

Oakland Landmarks Preservation Advisory Board

STAFF REPORT

Case File Number PLN17348

Revised May 14, 2018

Location:	3007 Telegraph/528 30th Street
Assessor's Parcel Number(s):	009-0708-004-00, 009-0708-005-00, 009-0708-006-00
Proposal:	Revisions to an application originally reviewed by the Landmarks Board March 12, 2018. The proposal is to construct a new multifamily facility for 45 units in a former parking lot serving 3007 Telegraph and to remodel portions of the existing building at 3007 Telegraph which is a Potential Designated Historic Property. The new multifamily facility would have 47 parking spaces serving both the new and historic structures.
Applicant:	Carlos Plazola
Contact Person/ Phone Number:	Carlos Plazola, 510 207-7238
Owner:	3007 Telegraph LLC
Case File Number:	PLN17348
Planning Permits Required:	Regular Design Review Tentative Parcel Map for Parcel Merger Variance/waiver for building height Variance/concession for open space
General Plan:	General Commercial and Urban Residential
Zoning:	CC-2, RU-2
Environmental Determination:	Environmental analysis to be conducted prior to any discretionary action
Historic Status:	Potential Designated Historic Property (PDHP); Survey rating: B/C3; determined eligible for Heritage Property designation in 2011.
City Council District:	3
Finality of Decision:	Provide recommendation to staff for Zoning Manager decision
For Further Information:	Contact case planner Rebecca Lind at (510) 238-3472 or rlind@oaklandnet.com

SUMMARY

This application for residential infill development at 3007 Telegraph Avenue/ 528 30th St. is before the Landmarks Preservation Board (LPAB) pursuant to 17.136.050(D) D. to review whether the addition, alterations and new construction on the site of the Potential Designated Historic Property (PDHP) matches or is compatible with the property's existing or historical design. The LPAB previously reviewed and commented on this project in March and April of 2018. The applicant has revised the proposed design, and staff requests LPAB comment on and recommendation regarding the currently proposed design.

REVISIONS TO THE PROPOSAL

The LPAB and community members previously reviewed this project on March 12th and April 9th and provided the following comments:

- Improve compatibility with the existing condominium building at 532 30th St.
- Maintain separation of the historic structure and the new infill structure
- Minimize alteration to the historic structure by retaining the 3rd bay projection at the rear of the historic structure

- “Quiet” the design of the infill structure so that it fits better with the historic structure
- Strengthen the architectural statement of the infill structure so that it has a separate identity from the historic structure
- Increasing window sizes on the south elevation (30th St and east elevation (Telegraph)

The applicant's revision includes the following changes.

1. Reduction of the stories/height of the new infill building from 5 stories/60 feet to 4 stories/ 44 feet for the first 15 feet of the floor area of the 5th floor area. This change reduces the height at the portion of the building abutting 532 30th Street by creating a 15' deep modulation in the west elevation (plan sheet A3.1).
2. Addition of building area on the north into the 10-foot setback on floors 2-5 for approximately 44 feet.
3. Addition of two dwelling units to the project under the provisions of the affordable housing density bonus for a total of 45 units.
4. Reorganization of dwelling units.
5. Modification of the group open space adding a 1,657-sf roof deck to the 5th floor.
6. Introduction of a new structural element on the south elevation facing 30th St.
7. Change in building materials reducing the amount of corrugated metal on the west and north elevations and substituting integral color medium white cement plaster.
8. Change in materials at the 30th St. entry and garage entry from concrete masonry block to integral color concrete. (See Plan sheet MO1).
9. Change in window size on 50% of the windows on the elevations facing the interior and the historic resource property.
10. The number of parking spaces and bicycle parking spaces and the amount of open space required are adjusted to reflect an increase in the number of units.
11. Retaining the 3rd bay projection on the historic building

BACKGROUND

The existing building at 3007 Telegraph, identified as “Chapel of the Oaks”, is a Potential Designated Historic Property in the Pill Hill Funerary Building Grouping of properties. The structure is located on the original site, and was built in 1926-27. The LPAB made a preliminary determination that the building is eligible for Heritage Property or Landmark designation in April 2011. A Notice of Intent to designate the group of funerary buildings, including the subject property was published October 26, 2012. The designation of the property as an Oakland Landmark was not formalized as the property owner did not support it and at the time, the Board had concern about the condition of the building. The OCHS inventory Rating for the existing building is B+3 (B= major importance, landmark quality, likely eligible for the National Register; 3= not in an identified district.

GENERAL PLAN AND ZONING

General Plan

The General Plan is General Commercial and Urban Residential. The purpose of these land use designations is the same as the intent of the zoning districts which implement them.

Zoning Code

Zoning is CC-2 and RU-2. CC-2 Zone is intended to create, maintain, and enhance areas with a wide range of commercial businesses with direct frontage and access along the City's corridors and commercial areas. The intent of the RU zone is to

create, maintain and enhance areas of the city appropriate for multifamily and other residential develop and neighborhood businesses. The CC-2 zone allows both commercial and multifamily development at a density of 1 unit/450 sf, height of 45 feet, and a non-residential FAR of 2.5. The RU-2 zone allows 1 unit per 800 sf. And a height of 50 feet.

Parking 20 bicycle parking spaces are required and 59 are provided. 40 parking spaces are required and 47 are provided including 2 ADA spaces. Residential parking exceeds code requirements by 3 spaces and commercial spaces exceed code by 4 spaces. The residential spaces will be unbundled so that residents could lease a parking space or not.

Open Space 5,447 sf of group open space are required and 5158 sf are provided. A minor variance for group open space is required.

Setbacks The consolidated (merged) lot is determined to have its front on Telegraph Ave. The land area is divided between the CC-2 and the RU-2 zone. Setbacks for commercial development in the CC zone are zero on all sides. In the RU-2 zone the rear setback is 15 feet for residential facilities. The project conforms to this standard. The interior side yard and street side setbacks are a minimum of 4 feet. The project will require minor variance of the minimum side yard setback for the upper stories on the north side of the revised structure and for the upper stories on 30th St. The first-floor entry conforms to the standard with a 5.5-foot setback, however the upper stories have decks and building Wall including enclosed stairs with a building wall at the property line. This feature will require a minor variance or waiver of the of the street side setback.

PROPERTY DESCRIPTION

The property currently is 27,369 sf of land area with a 13,064-sf commercial building and a 15-stall parking lot. The site is a corner lot with frontage on Telegraph Ave and 30th St. It is in an urban mixed use neighborhood and the adjacent property is developed with a mix of multifamily residential and commercial facilities. A four-story condominium building is immediately adjacent to the property on the west. The building is occupied by a marijuana dispensary, professional offices and a 15-stall parking lot.

PROJECT DESCRIPTION

Summary Project Description

The proposed project is a residential building including 45 dwelling units, 47 parking spaces, 59 bicycle spaces, and 5,158 sf of usable group open space and. The programmatic concept of the new building is to provide small studio units and shared 4 bedroom units as co-housing with common living/dining space on each floor in addition to the kitchen facilities in each unit. Leased office space would also be available to tenants in the existing commercial building. Two units of affordable housing are proposed. Two additional market rate units are added to the project with this revision. Group bicycle parking (59 spaces) would be provided in the existing historic structure. Parking for the existing commercial building and for the new residential building would be provided on the first floor of the new building.

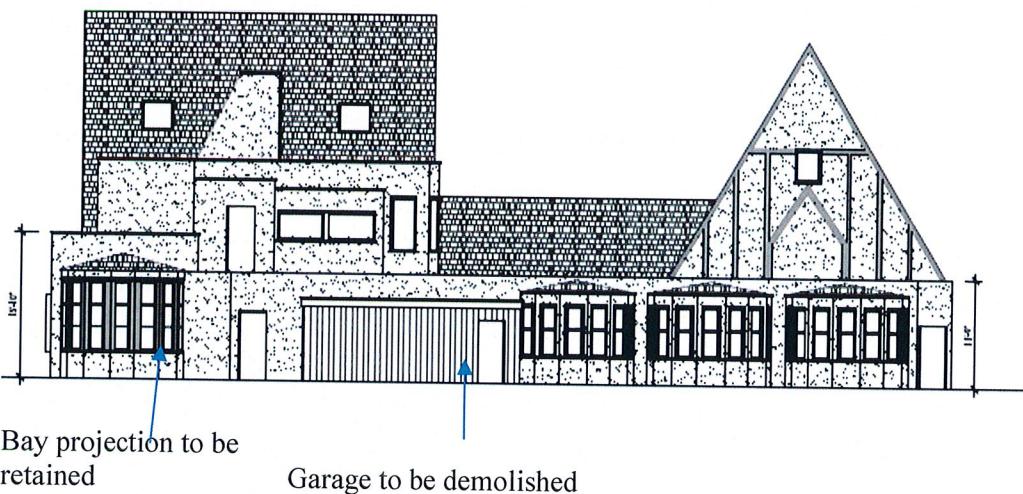
Historic Resource

The existing building is an eclectic style composed of Swiss Chalet architecture with. gabled exposed beams, gabled slate roof, Tudor revival on its north side with half-timber verticals, a diagonal steep sloped slate roof and a steep gable. The half-timbered A-frame front and the one-story curved bay rooms along the back make a continuous courtyard ensemble constituting the Local Register resource. The building is two and a half stories. It has a main entrance on Telegraph Avenue with entry stair and stone wall surrounding the site and extending down 30th Street at the parking lot frontage to the and driveway entry.

The existing East Elevation from Telegraph is shown below.



West Elevation 30th St.



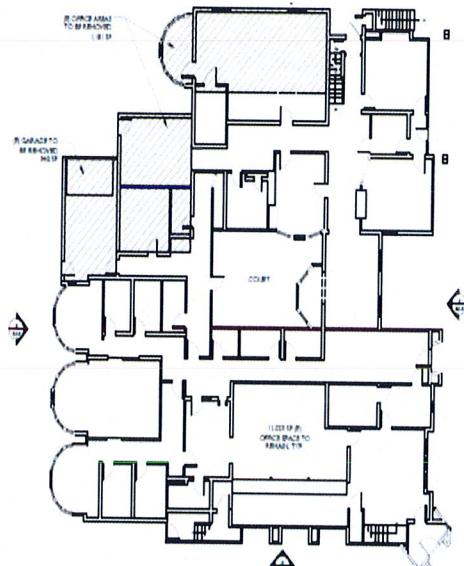
Modifications to the Historic Structure

1. Group open space serving the residents of the new building is proposed on a second-floor roof deck of the building facing the interior. This deck fulfills part of the open space requirement for the residential units but would also have access from the commercial building and would be available to tenants. This deck would be connected to the new building via a deck walkway and is the only physical connection between the two buildings.
2. Demolition and remodeling of the first floor would eliminate only the garage addition that is not part of the original building. This change would reduce the building size from 13,064 to 11,287 sf and provide for an approximately 60 space bicycle parking room. A new exterior wall would be created.

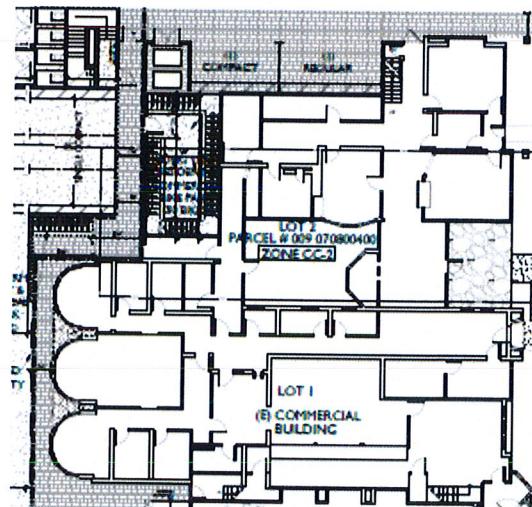
Prior First Floor Demolition Plan

Historic Building

- Shading shows the area proposed for modification

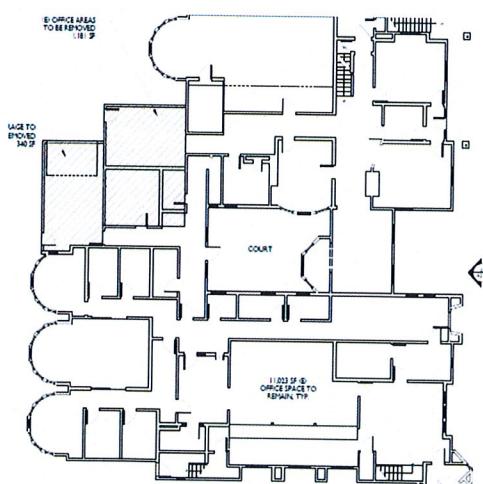


Prior Remodeled First Floor Plan

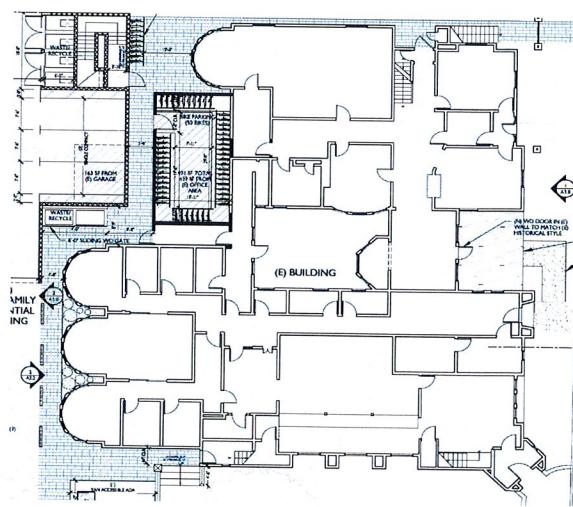


Revised First Floor Demolition Plan

Historic Building



Revised Remodeled First Floor Plan



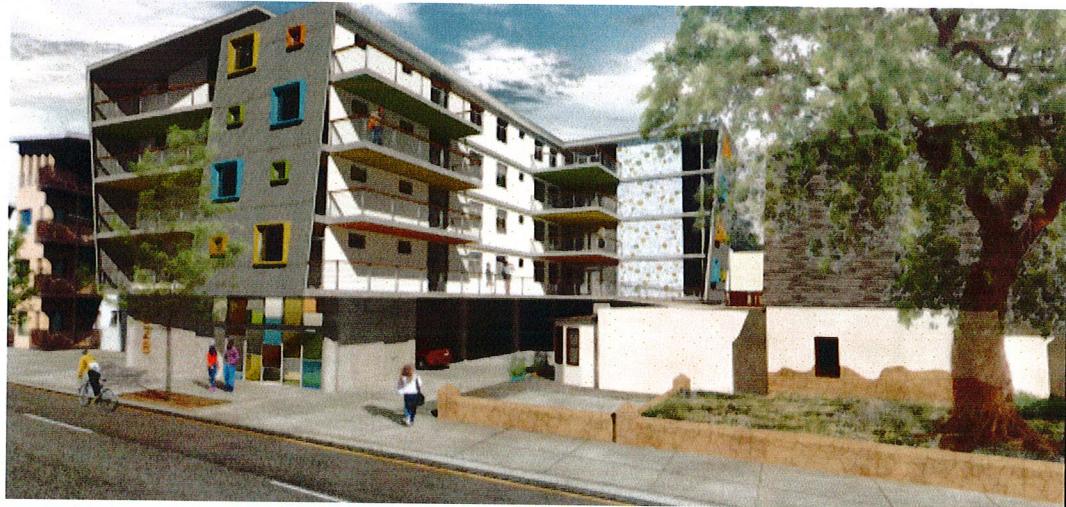
NEW BUILDING

Revised Perspective East Elevation and
the Interior facing the Historic Structure

E



Prior Submittal

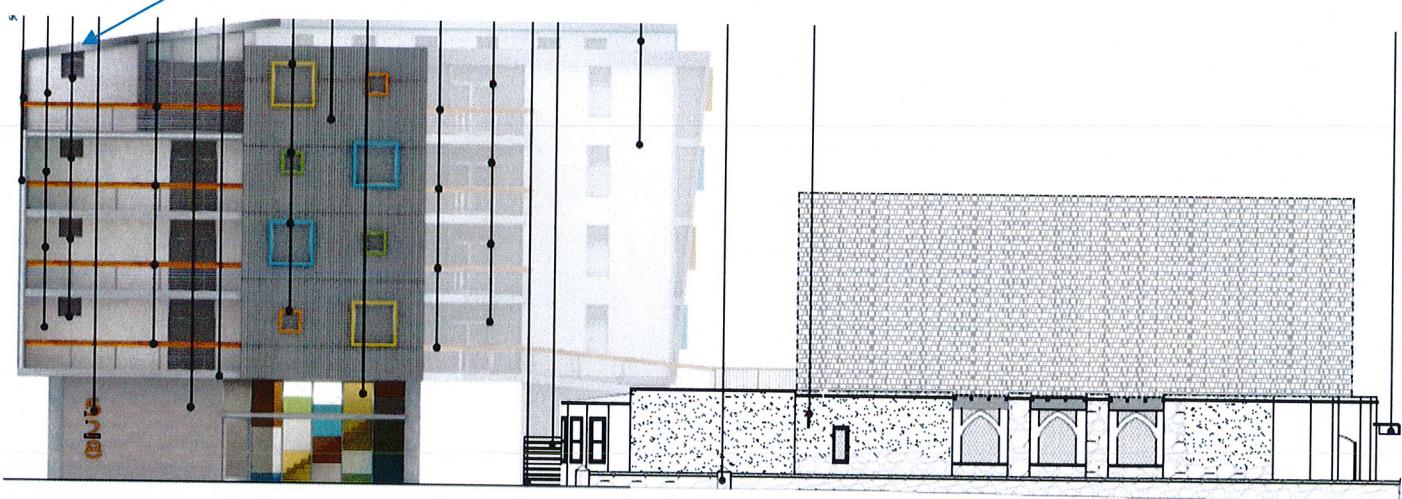


The Board requested modifications to the submittal to achieve a stronger and independent architectural concept for each building to quiet the design, increase window size and as much separation and open feeling as possible between the structures. On the 5th floor the exterior corridor is a new element painted blue.

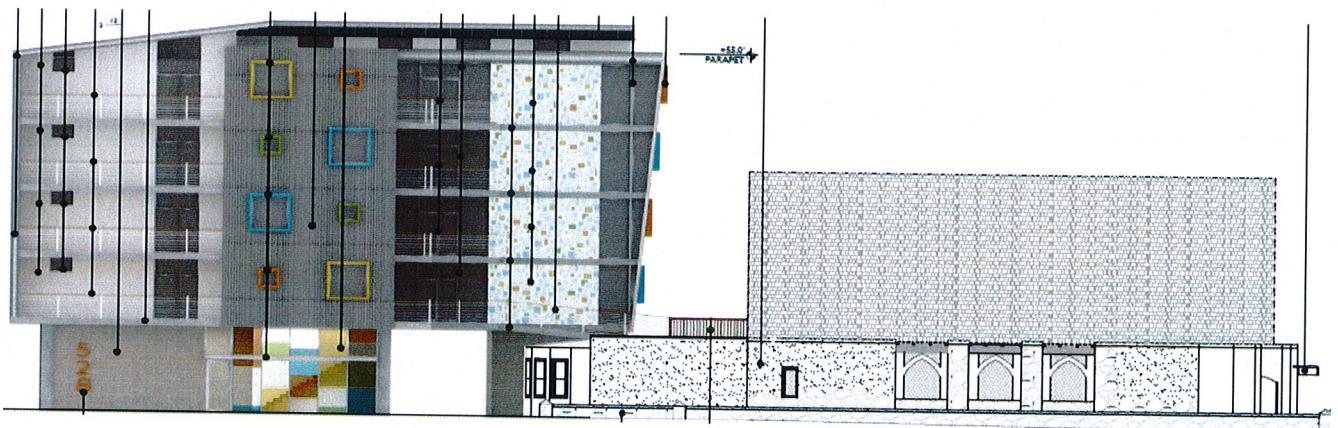
The mosaic shown in the prior submittal was eliminated and windows enlarged. Materials are concrete masonry natural grey, corrugated metal, in grey, white and medium grey cement plaster. Posts located on the front elevation and the interior of the courtyard parking entry are natural concrete. The color and material palette are shown on Plan Sheet MO.1

Revised South Elevation (30th St.)

The corner portion of this building façade occurs only at the north end of the building would be back 111' from 30th St.



Prior Submittal South Elevation (30th St)

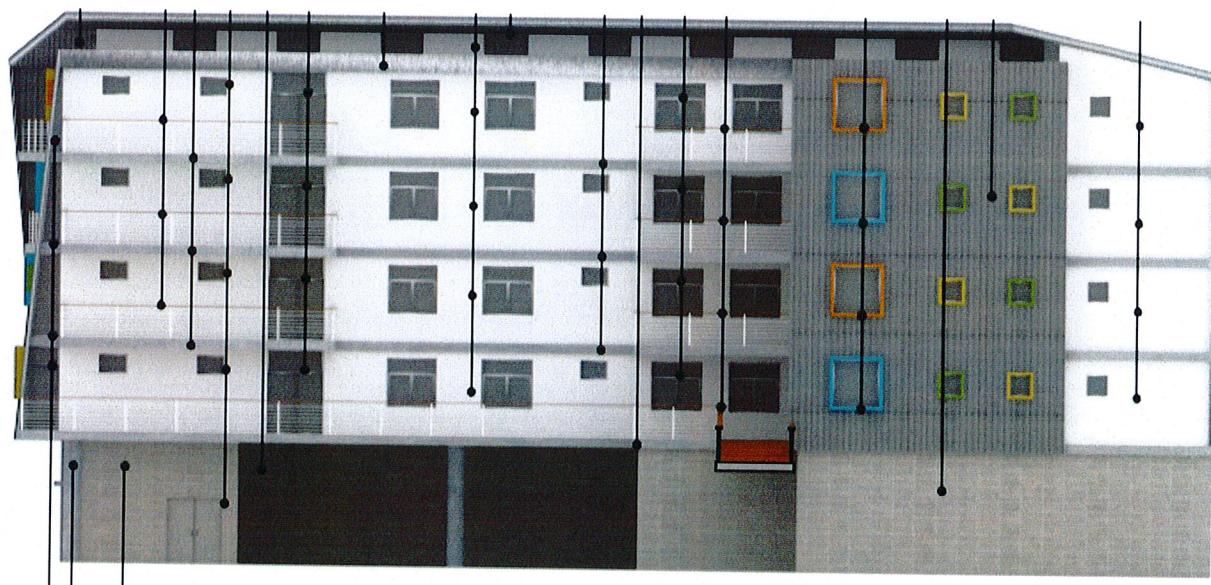


Revised East Elevation facing the interior of the lot and the Historic Building



Changes include larger windows, material changes, wood planting boxes on the balcony rail and the extension of the building to accommodate additional residential units on the north side of the building.

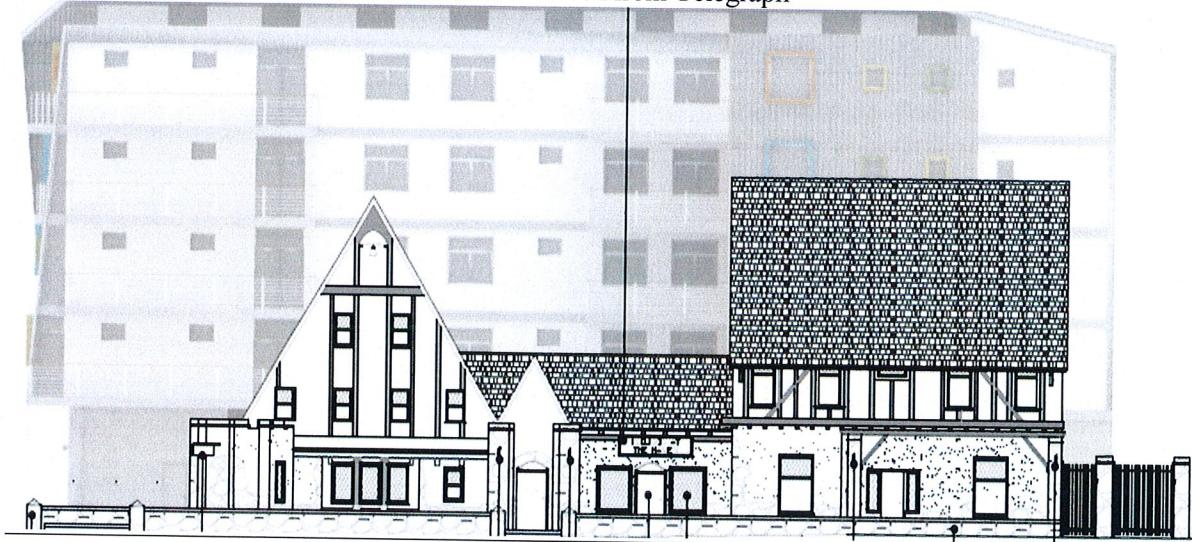
Prior East Elevation facing the interior of the lot and the Historic Building



Revised South Elevation with Historic Structure as seen from Telegraph



Prior South Elevation with Historic Structure as seen from Telegraph



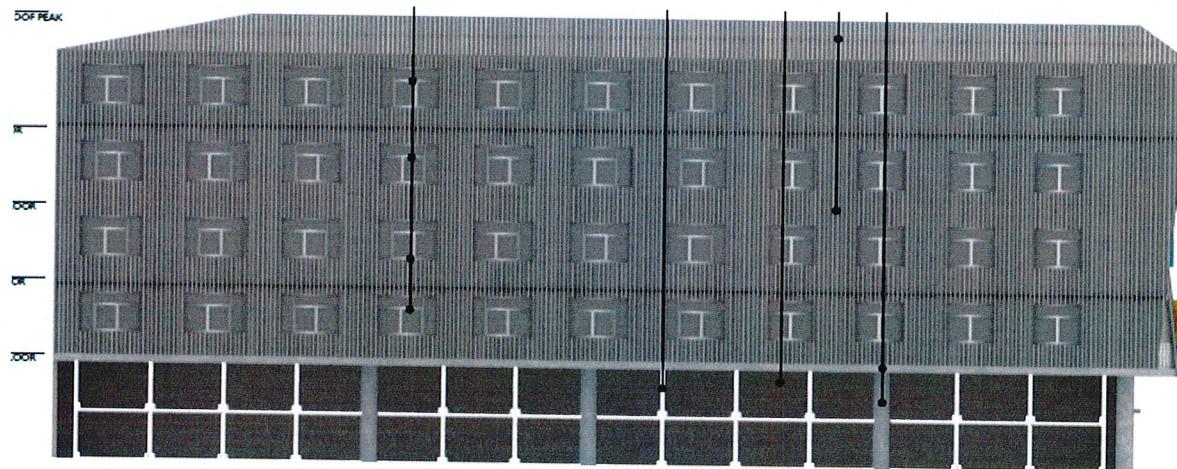
Revised West Elevation facing 532 30th St Condominiums

Relocated units with 60' height

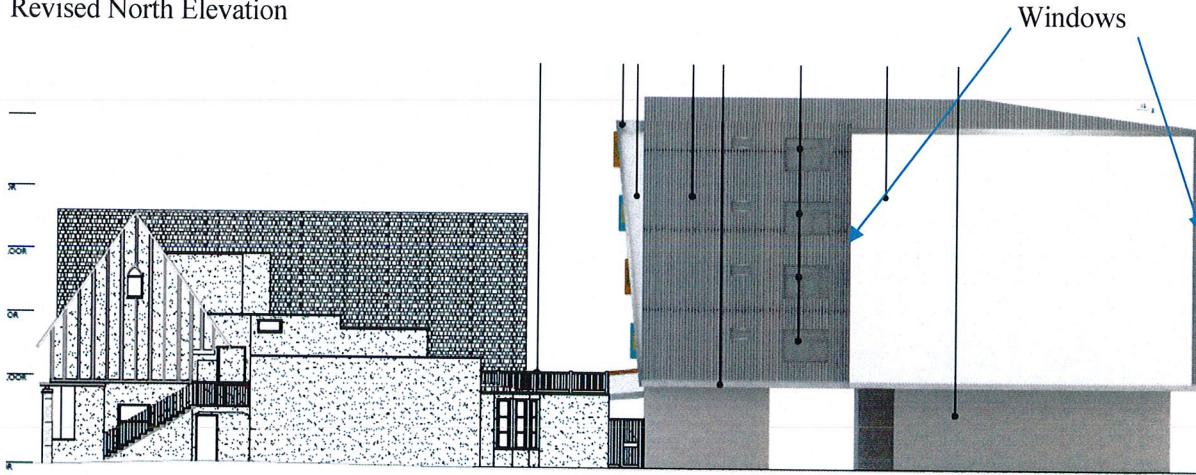


Changes include a 15' modulation created by removal of 7 units from the 5th floor which are replaced by a 25' roof deck and a 5' interior corridor. Building materials are also changed to reduce the amount of corrugated metal and substitute integral color medium white cement plaster. Prior West Elevation facing 532 30th St Condominiums

Prior West Elevation

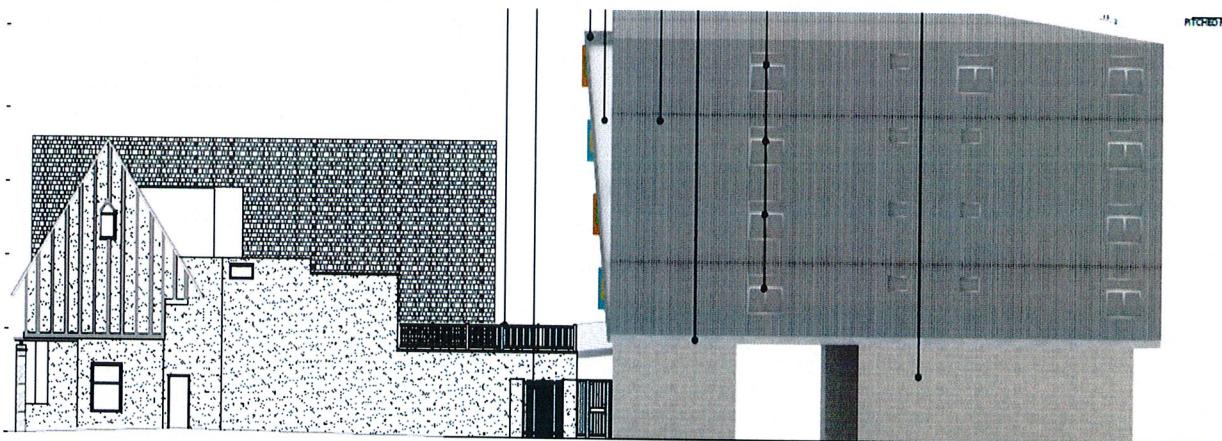


Revised North Elevation



Changes include retention of the 3rd Bay projection on the historic structure and materials change to integral color medium white cement plaster and removal of windows due to the zero-lot line. This façade is modulated approximately 4' back from the property line to provide windows for the relocated units

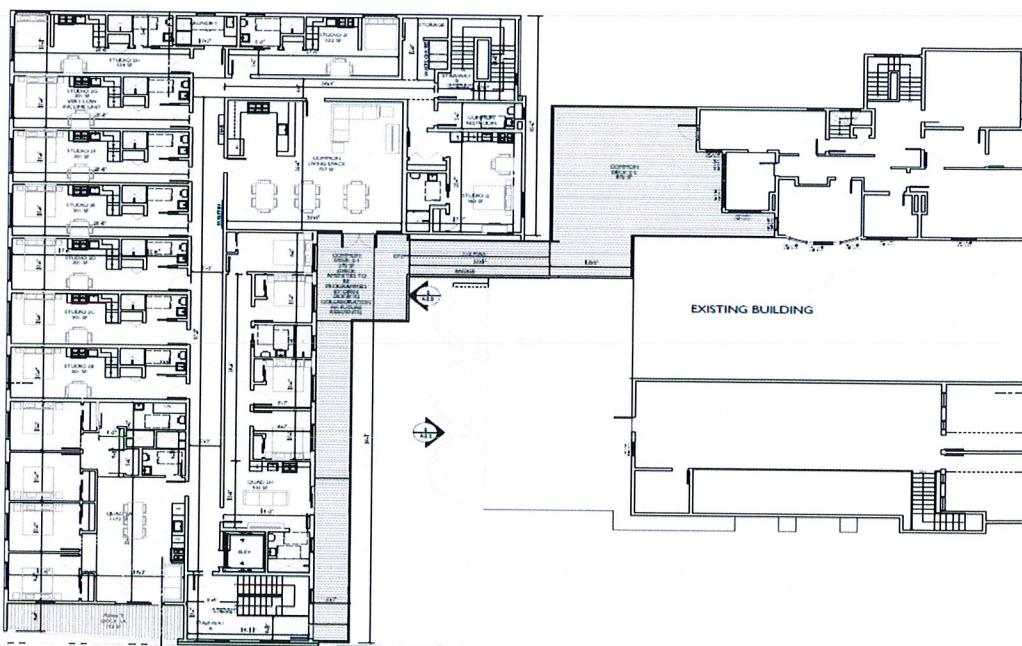
Prior North Elevation



The north elevation still shows the connection at the two trash enclosures.

Integration of the two structures on the site is most easily understood from the second level floor plan which shows the decking element between the two structures.

This proposal still connects the buildings with a walkway ramp to the new roof deck on the second story roof of the historic structure. Along the first-floor driveway the buildings are separated by 14' at the driveway entrance, and 21' feet along the internal drive aisle. The 'L" shape of the new building is still 5'6" from to the historic structure at the rear of the structure the graphic below shows this connection from 30th St.



The parking and open space will be shared by both buildings on the site. Parking for the commercial uses is provided in the entry courtyard while parking for the residents will be accessed from a separate 15'wide driveway off 30th St and will be provided via puzzle park along the side setback the required variances/waivers are still under review by Planning staff as part of the design review process but are mention in context of the Landmarks Board review because decking is proposed on the roof of the historic structure.

ANALYSIS

As recommended by the General Plan's Historic Preservation Element, staff has analyzed the compatibility of the project per the Secretary of the Interior's Standards for Rehabilitation (see below).

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Response: The historic use of this property was discontinued and replaced with the existing use in the 1970s without significantly changing the defining characteristics of the building. The proposal retains the current use of the existing structure but proposes a changed use on the site. Staff has encouraged the applicant to design the new use in a way that retains the integrity of the historic structure and separates it from the new building, minimizing the degree of change. The concept is to have two buildings, each with their own design concept but integrated through site plan elements such as color, landscaping, walkways and open space. The ancillary wall which now extends across the entire frontage of 30th would be reduced by 60 feet to allow construction of the new structure with two driveways and new building entry. The amount of wall removed is the minimum needed to provide access to the new structure.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided. Portions of the landscape wall

Response: The character of the building is retained on the street frontages at main entry (east elevation) on Telegraph and on 30th St. (south elevation). Although 60 feet of the existing retaining wall will be removed, this feature will be retained on the remainder of the site. Materials removed will be used to repair and restore the remaining wall.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Response: Not applicable

4. Most properties change over time; those changes that have acquired historic significance shall be retained and preserved.

Response: Not applicable

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

Response: The distinctive features of the Swiss Chalet architecture with gabled exposed beams, the gabled slate roof, Tudor revival elements on north side with half-timber verticals, a diagonal steep sloped slate roof, half-timbered A-frame front and the one-story curved bay rooms along the back are retained.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Response: The deteriorated stone retaining wall and columns will be repaired using stones from the portion of this wall removed from the 30th Street frontage.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Response: Not applicable

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Response: Not applicable

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Response: The new building is presented with its own design character and is clearly differentiated from the old. The separation of the buildings reduces the visual difference between the mass and scale of the new structure compared to the existing historic resource. The portion of the site that is changes is currently a surface parking lot that does not add to the character qualities of the historic resource.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Response: The old and new buildings will only be connected to a deck walkway at the second floor and a gate at the trash room which could be removed in the future.

The specific design review criteria contained in the Planning Code which apply to the project are listed below as findings in the section titled "Findings for Approval".

ENVIRONMENTAL DETERMINATION

The project would not have a significant effect on the environment, and it is declared to be categorically exempt from the requirement for the preparation of environmental documents pursuant to Section 15183 of the State CEQA Guidelines: Projects consistent with a community plan, general plan or zoning. Modification to the historic property are exempt under; Section 15331 of the State CEQA Guidelines: Maintenance, restoration, or reconstruction of Historic Resource consistent with Secretary of Interior standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer.

KEY ISSUES AND IMPACTS

The key issues are: a) whether addition, alterations and new construction on the site of the Potential Designated Historic Property (PDHP) at 3007 Telegraph Ave matches or is compatible with the property's existing or historical design.

Windows

Staff is still concerned about the window size shown on the revised elevations. Although windows have been enlarged along the side property line, the windows on the south (30th St), front elevation are of concern. The windows visible from the 30th Street frontage are small and do not support connectivity between the public right-of-way and the project. Staff recommends altering the windows to connect the building to the public realm and to make the building look more porous. The following additional changes are recommended.

- 1) Enlarging the 4 windows on each floor occurring at the private roof decks and in the stairways on the 30th building wall, and
- 2) Enlarging the windows on the 2nd, 3rd, and 4th floor Quad 2L unit type living area and the Studio 2K unit type living area wall facing 30th St.

Prepared by:



Rebecca Lind
Planner III

Reviewed by:


Catherine Payne
Acting Development Planning Manager

ATTACHMENTS:

- A. Project Plans

FINDINGS FOR APPROVAL

Regular Design Review Criteria

Demolition of the subject building may be granted only if the proposal conforms to the following Regular Design Review criteria:

For residential facilities:

- That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures;
- That the proposed design will protect, preserve, or enhance desirable neighborhood characteristics;
- That the proposed design will be sensitive to the topography and landscape;
- That, if situated on a hill, the design and massing of the proposed building relates to the grade of the hill;
- That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.¹

For Local Register Properties that are not Landmarks or located in the S-7 or S-20 Zone (including properties located within an API):

- That for additions or alterations, the proposal will not substantially impair the visual, architectural, or historic value of the affected site or facility. Consideration shall be given to design, form, scale, materials, texture, lighting, landscaping, signs, and any other relevant design element or effect, and, where applicable, the relation of the above to the original design of the affected facility.²
 - The replacement project is consistent with the visual cohesiveness of the district. For this item, visual cohesiveness is the architectural character, the sum of all visual aspects, features, and materials that defines the district. A new structure contributes to the visual cohesiveness of a district if it relates to the design characteristics of a historic district. New construction may do so by drawing upon some basic building features, such as the way in which a building is located on its site, the way it relates to the street, its basic mass, form, direction or orientation (horizontal vs. vertical), recesses and projections, quality of materials, patterns of openings and level of detailing. When a combination of some of these design variables are arranged in a new building to relate to those seen traditionally in the area, but integral to the design and character of the proposed new construction, visual cohesiveness results; and
 - The replacement project will not cause the district to lose its current historic status.³
- For additions, the proposal meets the Secretary of Interior's standards for the treatment of historic resources;
- For construction of new principal buildings:
 - The project will not cause alter the design or character of the existing PDHP.;
 - The proposal will result in a building or addition with exterior visual quality, craftsmanship, detailing, and high quality and durable materials that while a significantly different style does not reduce or modify the character of the resource property.

CONDITIONS OF APPROVAL

See Standard Conditions of Approval and Uniformly Applied Development Standards template.

¹ OPC Section 17.136.050 (A).

² OPC Section 17.136.050 (C).

³ OPC Section 17.136.075 (C) (3).

THE HAVEN

528 30TH STREET
OAKLAND, CA, 94609

PROJECT TEAM

OWNER

3007 TELEGRAPH LLC.
3007 TELEGRAPH AVENUE
OAKLAND, CA, 94609

ARCHITECT

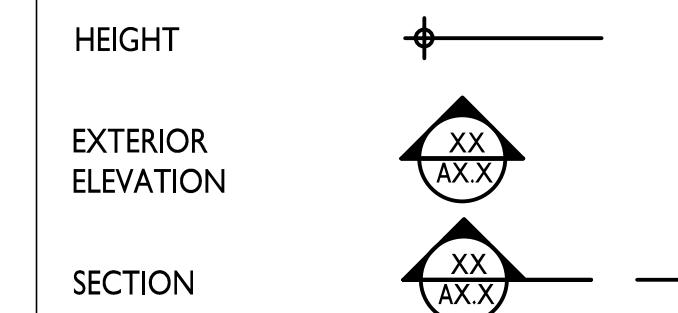
GUNKEL ARCHITECTURE
2295 SAN PABLO AVE.
BERKELEY, CA 94702
(510) 984-1112

SITE INFORMATION

PARCEL: 009 070800400; 009 070800500; 009 070800600
ZONING: CC-2 (4S), RU-2
LOT AREA: 27369 SF (TOTAL 3003 TELEGRAPH & 3007 TELEGRAPH)

FOR PROJECT SPECIFIC INFORMATION SEE
CODE ANALYSIS SHEET CA1.0
OPEN SPACE ANALYSIS CA2.0
EXISTING DIAGRAM CA3.0

SYMBOLS



ABBREVIATIONS

A.B./ANCHOR BOLT	D.F./DRINKING FOUNTAIN	F.TG./FOOTING	& PLUMBING	R.B./RUBBER BASE	S.2/SURFACE TWO SIDES	W/O/WITHOUT
ABV./ABOVE	DIA./DIAMETER	FURR./FURRING	MET./METAL	R.C.P./REFLECTED CEILING	S.S./STAINLESS STEEL	W.P./WORKING POINT
A.C./ASPHALTIC CONCRETE	DIM./DIMENSION	FUT./FUTURE	MFR./MANUFACTURER	PLAN	SVC./SERVICE	WSCT./WAINTSCOT
A.C.T./ACOUSTICAL CEILING	DIR./DIRECTION	G.A./GAUGE	MIC/TC/MICROWAVE	R.D./ROOF DRAIN	STOR./STORAGE	W.S.P./WET STANDPIPE
TILE	DISP./DISPOSAL	GALV./GALVANIZED	TOASTER OVEN	REF/REFERENCE	SUSP./SUSPENDED	WT./WEIGHT
A/C/AIR CONDITIONING	DIST./DISTRIBUTION	G.L.B./GLUE-LAMINATED	MIN/MINIMUM	R.EF/REFRIGERATOR	S.W./SOUTHWEST	W.W.F./WELDED WIRE FABRIC
ACOUS./ACOUSTICAL	DIV./DIVISION	(WOOD) BEAM	MIR./MIRROR	R.EF/REFRIGERATION	S.W.S./SEE WINDOW SCHEDULE	
A.D./AREA DRAIN	DN/DOWN	GND./GROUND	MISC./MISCELLANEOUS	REINF./REINFORCED	SYM./SYMMETRICAL	
ADMIN./ADMINISTRATION	DR./DOOR	G.R.G./GLASS REINFORCED	MK./MARK	REQD./REQUIRED	&/AND	
ADJ./ADJUSTABLE	D.S./DOWNSPOUT	GYP./GYPSUM	M.O./MASONRY OPENING	REV./REVISION OR REVISED	@/AT	
A.F./ABOVE FINISHED FLOOR	D.S.A./ DIVISION OF STATE	G.S.M./GALVANIZED SHEET	MTD./MOUNTED	RESIL./RESILIENT	[/CHANNEL	
AGGR./AGGREGATE	ARCHITECT	METAL	MUL./MULLION	R.H./RIGHT HAND	d/PENNY	
AL./ALUMINUM	D.S.P./DRY STAND PIPE	G.Y.P./GYPSUM	NORTH	R.M./ROOM	#/POUND OR NUMBER	
ALT./ALTERNATE	DWG./DRAWING	G.W.B./GYPSUM WALL BOARD	(N)NEW	R.O./ROUGH OPENING	TECH./TECHNOLOGY	
A.P./ACCES PANEL	E/EAST	H.B./HOSE BIBB	N.E./NORTH	RWD./REDWOOD	TELE/TELEPHONE	
APP./APPLICATION	(E)EXISTING	H.C./HOLLOW CORE	(N)NEAR	R.W.L./RAINWATER LEADER	TEMP./TEMPERED	
APPROX./APPROXIMATE	EA/EACH	HDWR./HARDWARE	N.I.C./NOT IN CONTRACT	TER/TERRAZZO	or TEMPERATURE	
ARCH./ARCHITECTURAL	E.J./EXPANSION JOINT	ELAS./ELASTOMERIC	NO/NUMBER	T & G/TONGUE & GROOVE		
ASPH./ASPHALT	EL./ELEVATION	ELEC./ELECTRICAL	NOM/NOMINAL	THK./THICK		
ATTEN./ATTENUATING	EMER./EMERGENCY	ELEV./ELEVATOR	N.T.S./NOT TO SCALE	THRES./THRESHOLD		
BD./BOARD	ENCL./ENCLOSURE	H.M./HOLLOW METAL	N.W./NORTHWEST	T.O./TOP OF		
BET./BETWEEN	ENGR./ENGINEER	HORIZ./HORIZONTAL	SCHED./SCHEDULE	T.O.C./TOP OF CURB or		
B.F./BRACED FRAME	EQ./EQUAL	H.P./HIGH POINT	S.D./STORM DRAIN	CONCRETE		
BLDG./BUILDING	EQUIP./EQUIPMENT	HVAC/HEATING, VENTILATING,	S.D./SEE DOOR SCHEDULE	T.O.D./TOP OF DECKING		
BLK./BLOCKING	E.S./EACH SIDE	AIR CONDITIONING	S.E./OUTSIDE DIAMETER	T.O.M./TOP OF MASONRY		
BM./BEAM	EXP./EXPANSION	OPNG./OPENING	or DIMENSION	T.O.P./TOP OF PAVEMENT or		
BOT./BOTTOM	EXH./EXHAUST	OBS./OBSCURE	SECT./SECTION	PARAPET		
CAB/CABINET	EXIST./EXISTING	O.C./ON CENTER	S.F./SQUARE FOOT (FEET)	T.O.S./TOP OF STEEL		
C/C/CENTER TO CENTER	EXT./EXTERIOR	O.D./OUTSIDE DIAMETER	S.F./SEE (ROOM) FINISH	T.O.W./TOP OF WALL		
CEM./CEMENT	E.W./EACH WAY	OPNG./OPENING	S.G./SEE ELECTRICAL	T.S./TUBULAR STEEL		
CER./CERAMIC	F./FREEZER	O.PP. HD./ OPPOSITE HAND	DRAWINGS	T.S.C./TOILET SEAT COVER		
C.F./CUBIC FEET	F.A./FIRE ALARM	OZ./OUNCE	S.E.D./SEE SECTION	DISPENSER		
CH/CHANNEL	F.A.F./FORCED AIR FURNACE	JAN./JANITOR	S.F./SEE LANDSCAPE	T.T.D./TOILET TISSUE DISPENSER		
C.I./CAST IRON	F.D./FLOOR DRAIN	JST./JOIST	DRAWINGS	TV/TELEVISION		
C.J./CONTROL JOINT	FND./FOUNDATION	JT./JOINT	S.M./SHEET METAL	TYP./TYPICAL		
C.L./CENTERLINE	F.E./FIRE EXTINGUISHER	KIT./KITCHEN	SL./SLOPE			
CLG./CEILING	F.E.C./FIRE EXTINGUISHER &	K.P./KICK PL				
CLKG./CAULKING	CABINET	PERIM./PERIMETER				
CLO./CLOSET	FED./FEDERAL	LAB/LABORATORY				
CLR./CLEAR	F.V./FIELD VERIFY	LAM/LAMINATE				
C.M.U./CONCRETE MASONRY	F.F./FINISH FLOOR	LAV/LAVATORY				
UNIT	F.H.C./FIRE HOSE CABINET	LB./POUND				
COL./COLUMN	FIN./FINISH	L.F./LINEAR FEET				
COMP./COMPUTER	FIX./Fixture	L.H./LEFT HAND				
CONC./CONCRETE	FL./FLOW LINE	LIN/LINEAR				
CONF./CONFERENCE	FLR./FLOOR	LKR./LOCKER				
CONT./CONTINUOUS	FLUOR./FLUORESCENT	LL.H./LONG LEG HORIZONTAL				
CONTR./CONTRACTOR	F.O./FACE OF	LP./LOW POINT				
CONST./CONSTRUCTION	F.O.C./FACE OF CONCRETE	LT./LIGHT				
CORR./CORRIDOR	F.O.F./FACE OF FINISH	LVR./LOUVER				
CPT./CARPET	F.O.M./FACE OF MASONRY	MACH/MACHINE				
C.R./COLD-ROLLED	F.O.S./FACE OF STUD	MAINT./MAINTENANCE				
CSMT./CASEMENT	F.O.W./FACE OF WALL	PT./POINT				
C.T./CERAMIC TILE	FPRF./FIREPROOF(ING)	MATL./MATERIAL				
CTR./CENTER	FRMG./FRAMING	MAS./MASONRY				
CTSK./COUNTERSUNK	F.R.T./FIRE RETARDANT	MAX./MAXIMUM				
C.Y./CUBIC YARDS	TREATED	M.B./MARKER BOARD or				
D/DRYER	F.R.P./FIBERGLASS REINFORCED	MACHINE BOLT				
DBL./DOUBLE	POLYESTER	M.C./MEDICINE CABINET				
DECK/DECKING	F.S./FLOOR SINK	MECH./MECHANICAL				
DEG./DEGREE	F.S.E./FOOD SERVICE EQUIPMENT	MEMB./MEMBRANE				
DEMO./DEMOLITION	F.T./FOOT OR FEET	MEP/MECHANICAL/ELECTRICAL				
DEPT./DEPARTMENT		R./RISER OR REFRIGERATOR				
DET./DETAIL		(R)/REMOVE				
		R.A./RETURN AIR				
		STL./STEEL				
		STR/L./STRUCTURAL				
		SAS/SURFACE FOUR SIDES				

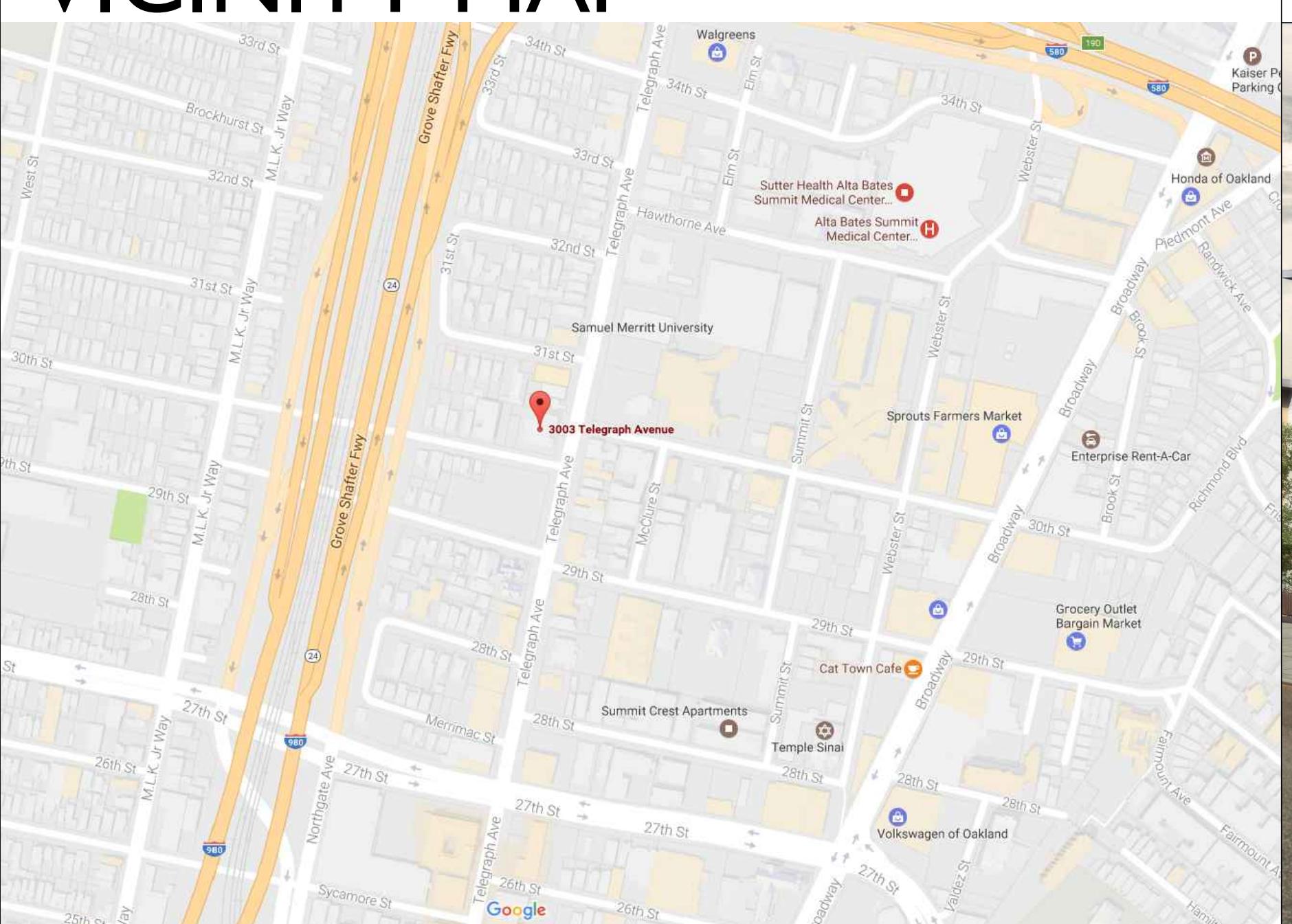


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THE HAVEN
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VICINITY MAP



SHEET INDEX

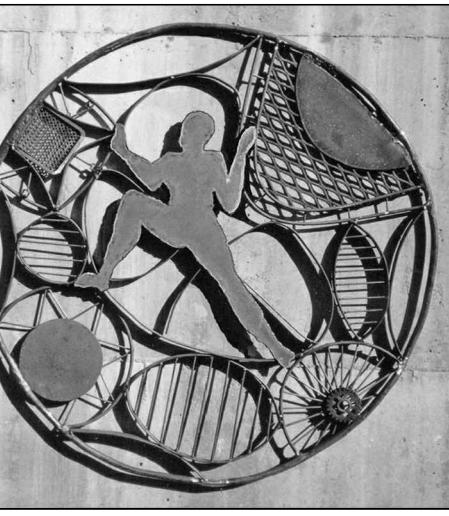
T0.1	TITLE SHEET
R0.1	RENDERING
R0.2	RENDERING
PV0.1	PROJECT VISION
PC	PARTNERS
M0.1	MATERIALS & PLANTER DETAIL SURVEY
CA0.1	CODE ANALYSIS
CA0.2	OPEN SPACE ANALYSIS
CA0.3	EXISTING DIAGRAM
A0.1	SITE PLAN
A1.0	EXISTING FLOOR PLANS
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	FOURTH FLOOR PLAN
A1.5	FIFTH FLOOR PLAN
A1.6	ROOF PLAN
A2.0	EXISTING ELEVATIONS
A3.0	ELEVATIONS
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A4.0	BUILDING SECTIONS

TITLE SHEET

DESIGN REVIEW

DATE: 2/16/2018

TO.1



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THE HAVEN

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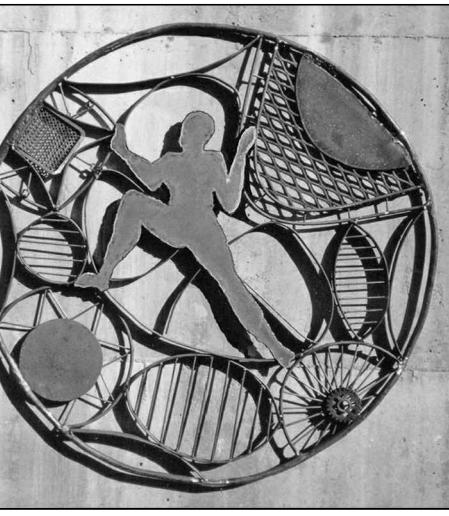
RENDERING

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DATE: 2/16/2018

RO. 1





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RENDERING

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DATE: 2/16/2018

RO.2



RENDERING WITHOUT PLANTS

1



COMMUNITY



CREATIVITY



HOLISTIC
LIVING



TECHNOLOGY



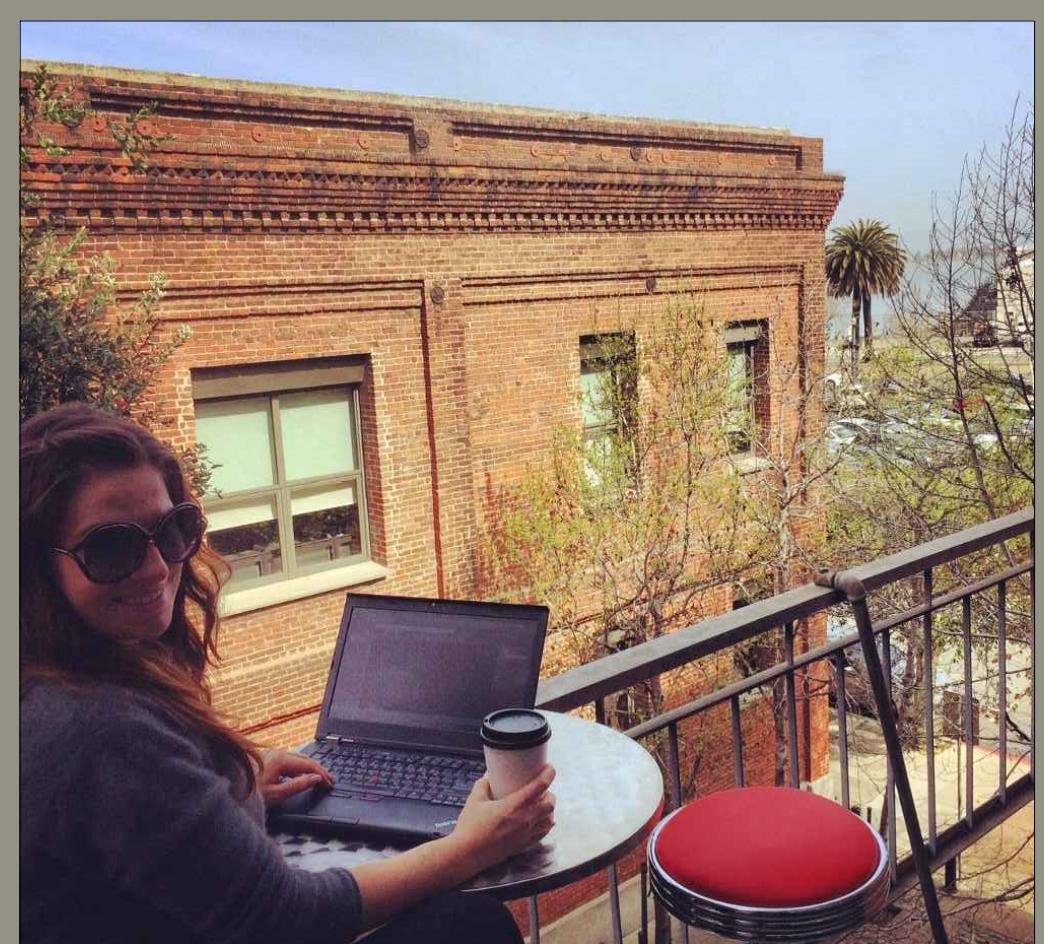
INSPIRATION



EMPOWERMENT



SUSTAINABILITY

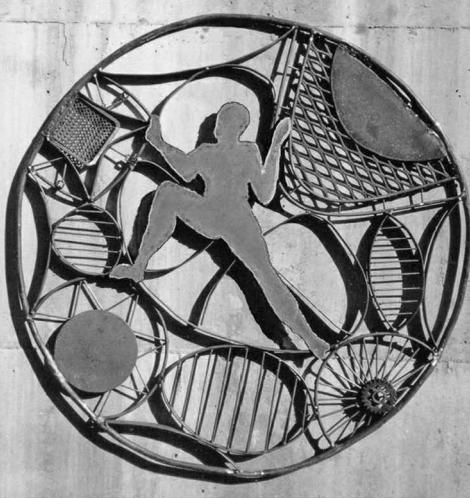


PROJECT
VISION

DESIGN REVIEW

DATE: 2/16/2018

PVO.1



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PARTNERS IN BUILDING COMMUNITY



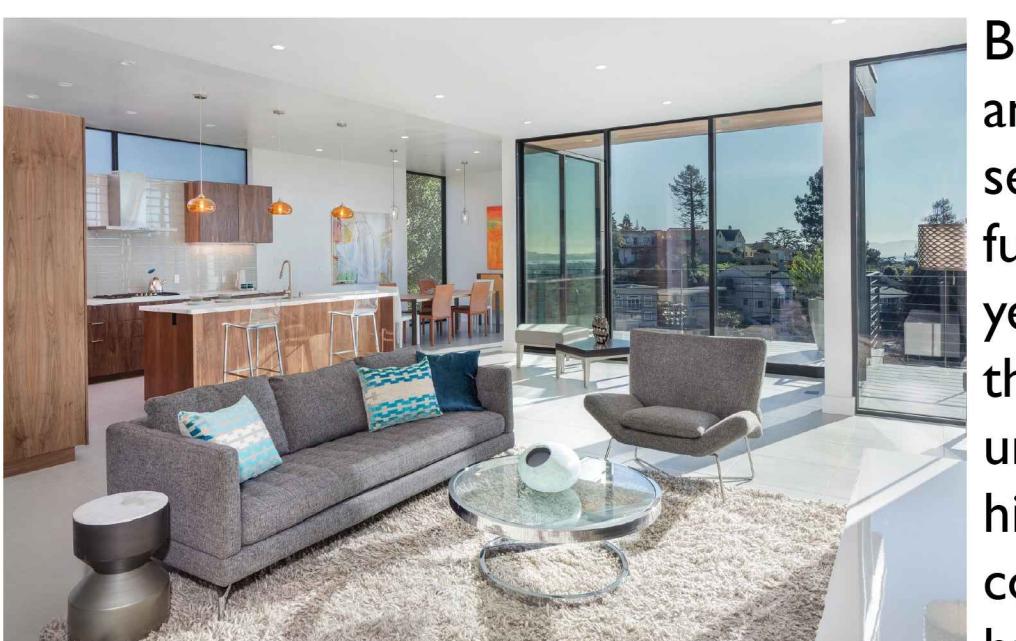
BuildZig

Dream it. Build it. Zig it.



Since 2006, the BuildZig team has been building sustainable and community-oriented projects throughout the Bay Area, with a primary focus in Oakland. BuildZig is proud to be an Oakland-based company with each of the principals residing in Oakland. Each development project undertaken by BuildZig has a strong focus on environmental sustainability and, when possible, an equally strong commitment to historic preservation.

In 2016, BuildZig won the Partners in Preservation Award from the Oakland Heritage Alliance for its preservation project at 412 Monte Vista. In 2017, BuildZig will complete two more historic preservation projects, each with a strong focus on sustainability, including solar panels, EV chargers, water storage and conservation, and exceeding state Title 24 requirements.



BuildZig's reputation as a progressive and reputable builder with a strong sense of the past, as well as of the future, is growing stronger year by year, and we're proud to bring forth this new project with an unprecedented commitment to historic preservation, innovation, community, sustainability, and the human pursuit of purpose.



OpenDoor

About OpenDoor.

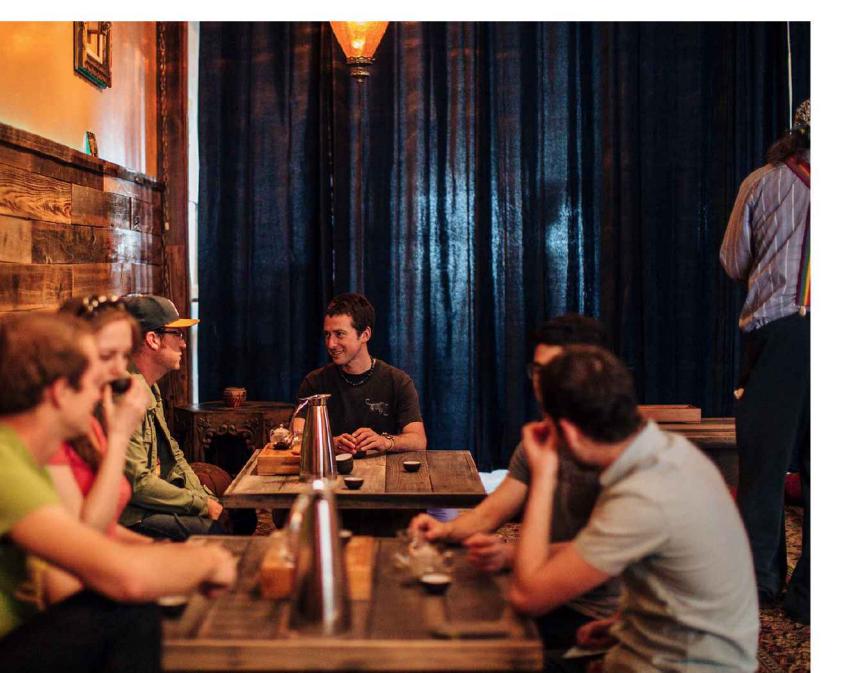
As a leading coliving brand, OpenDoor operates shared living spaces for young professionals. Our communities consist of pods where members rent studios and private rooms, coming together to share common



spaces, meals, host events, socialize, and more. Launched in 2013, we operate three properties with at 1000+ person waitlist and 140 units in our property pipeline. We are building a national network of spaces for more connected living.



Our Coliving Model. As part of the sharing economy, coliving has emerged as a burgeoning movement in cities across the globe. We operate our properties as vibrant community living spaces, curating residents around common interests, and providing community events, programming, and more. Our coliving model enable affordable-by-design housing options in expensive urban areas through efficient layouts and sharing of space; all without a compromise on real estate returns.



Our Approach to Operations.

Our mission is to live better together, and we maintain a rabid focus on delivering a high-quality resident experience, going far beyond standard property management. From thoughtfully designed common spaces, to value-added services and engaging community programming, our operations combines aspects of multifamily and hospitality to deliver a better resident experience.



GUNKEL ARCHITECTURE

Gunkel Architecture is a recognized authority in sustainable, community-focused design. Understanding the ability of community to empower individuals, Brad Gunkel brought America its first all-affordable rental cohousing development. He has authored articles and presented nationally on the subjects of urban community development, community-focused affordable housing and holistic sustainability.



In our highly transient society, community is a rare and valuable resource often sought out in any forum available. More and more people, however, are not satisfied with virtual or part-time community and seek the chance to live and work in an environment that suits their emotional, economic

and spiritual needs while enjoying the support and camaraderie of a tight-knit community of neighbors and colleagues.

Through the experience of designing, building and living and working in developments at the forefront of community-focused architecture and inclusive management, Gunkel Architecture is uniquely aware of the social impacts of each design and planning decision to be made. This understanding is not simply a matter

of conjecture – it is experiential. Gunkel Architecture recognizes the importance of creating an environment that nurtures the inspiring, empowering and comforting essence of community both internally and throughout the greater urban fabric.



PARTNERS

DESIGN REVIEW

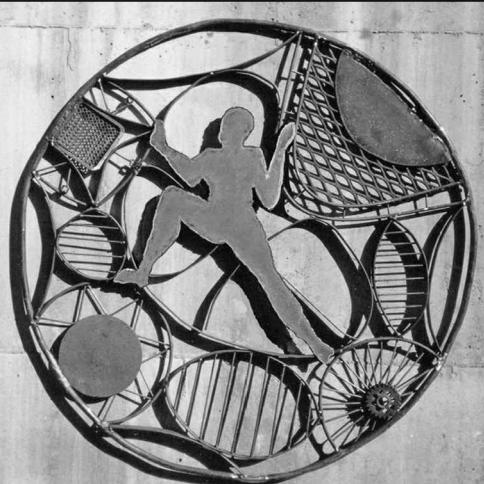
DATE: 2/16/2018

PC

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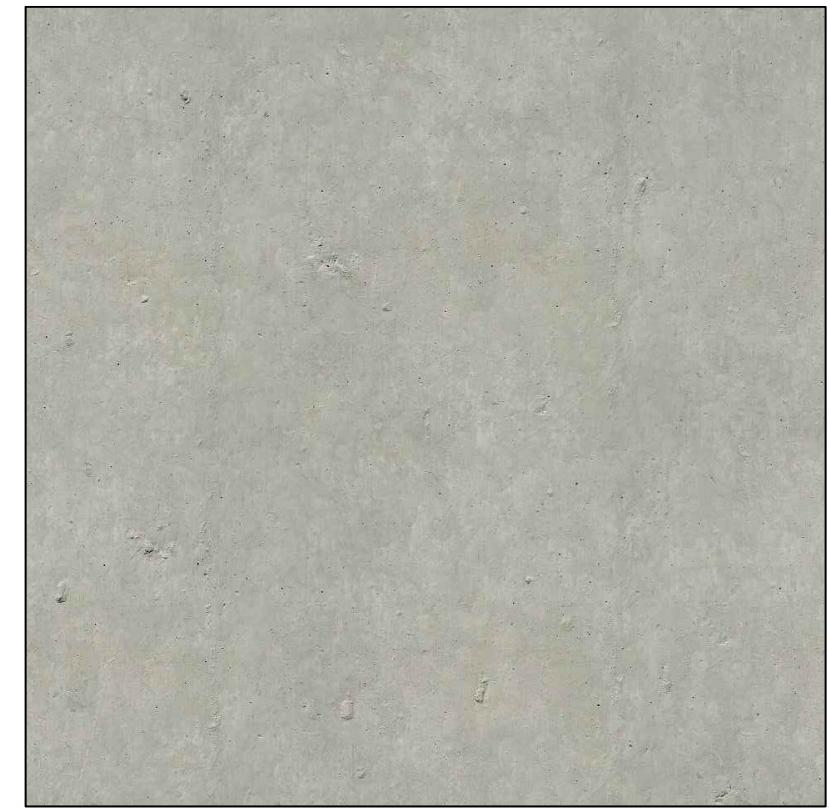




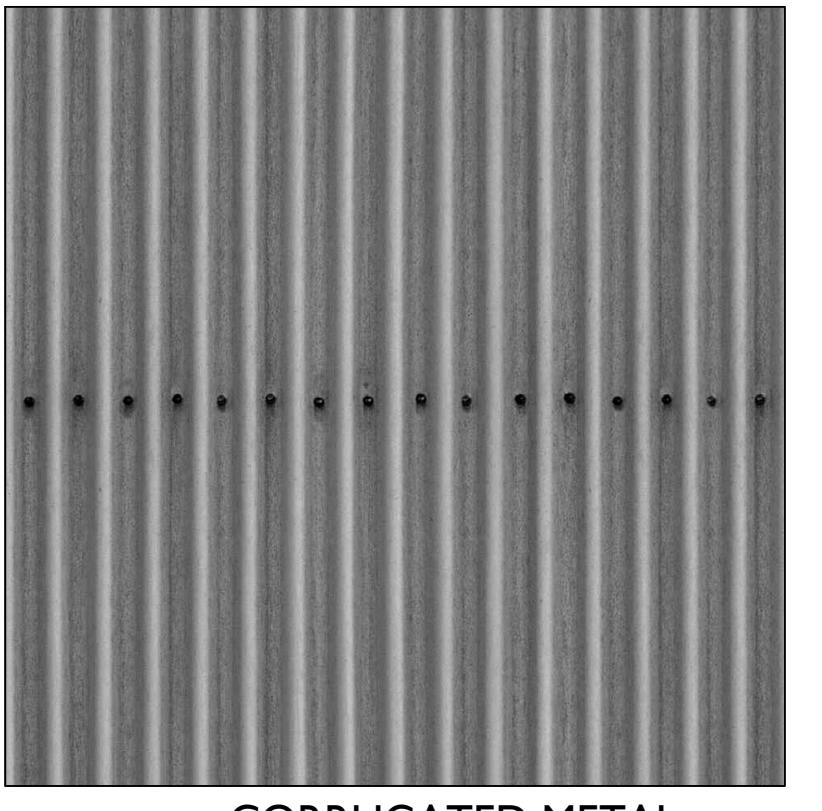
(1) (N) MONUMENT & FLAGSTONE WALL TO MATCH (E)



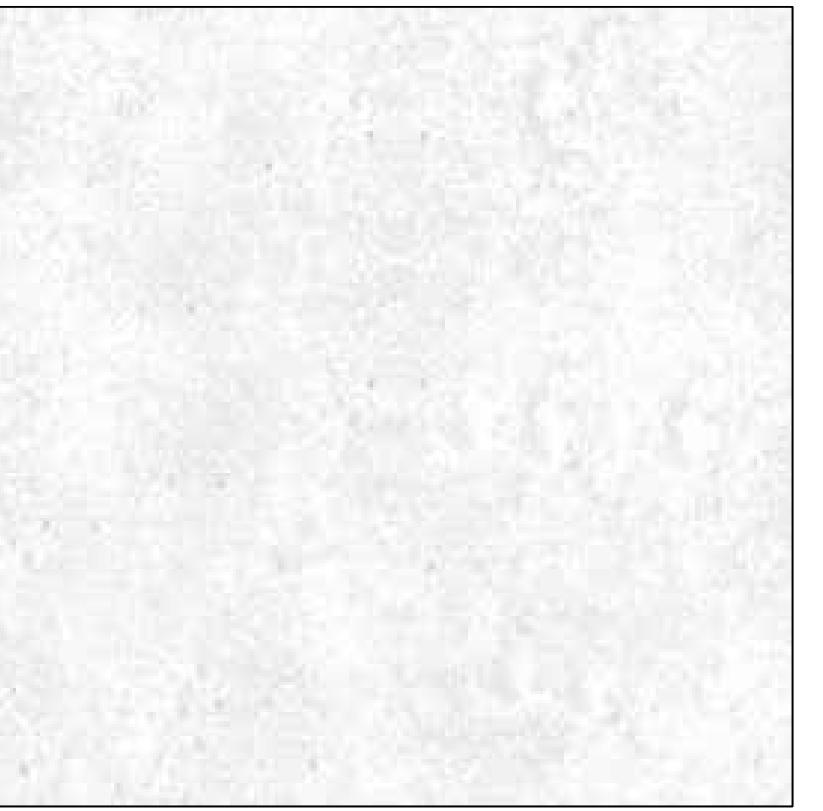
(2) BRUSHED CLEAR ANODIZED ALUMINUM WINDOWS, DOORS, LETTERS & FASCIA. SEE ELEV FOR SIGN INFO



(3) INTEGRAL COLOR CONCRETE



(4) CORRUGATED METAL (GAVALUM WEATHERED GREY)



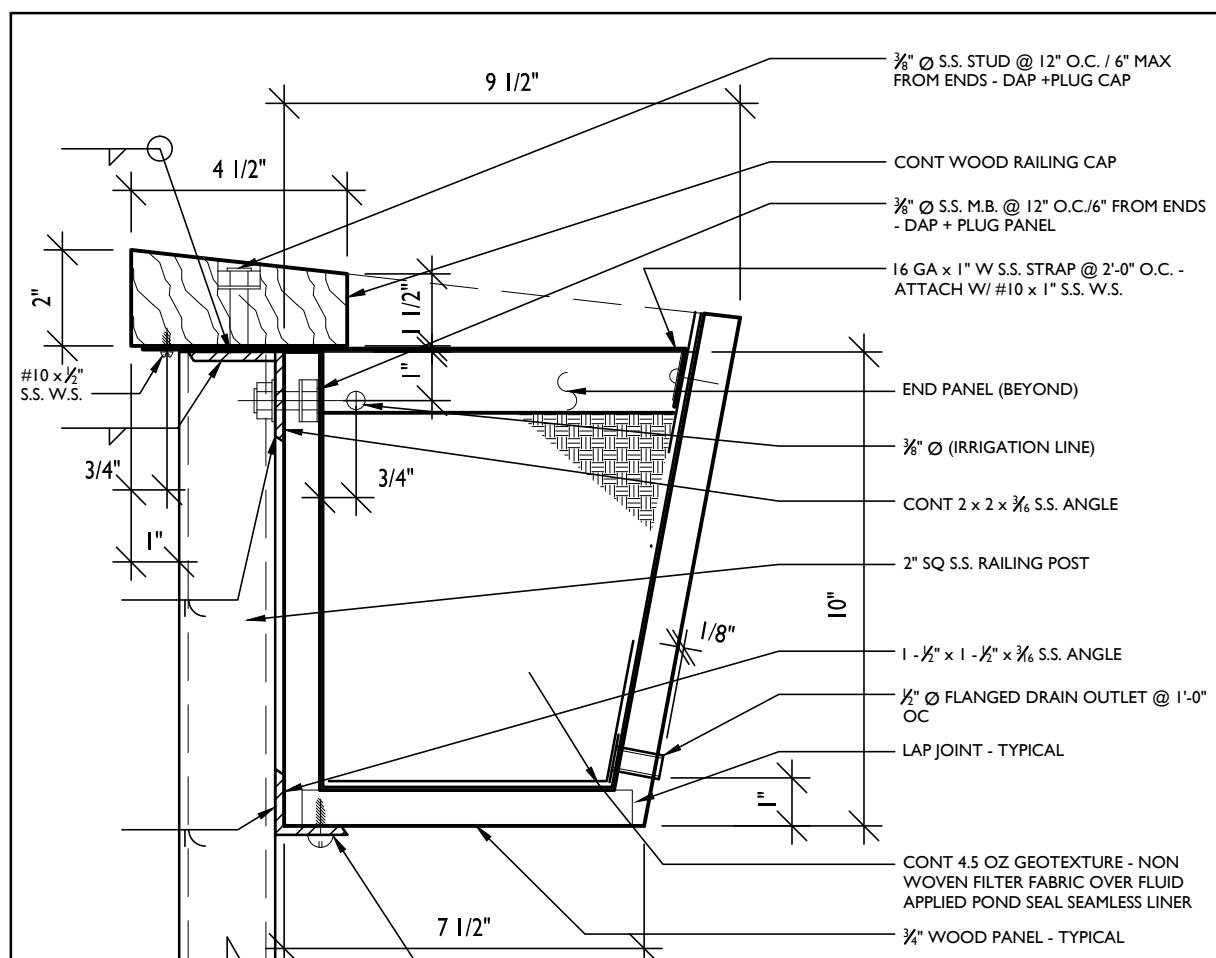
(5) INTEGRAL COLOR MEDIUM WHITE CEMENT PLASTER



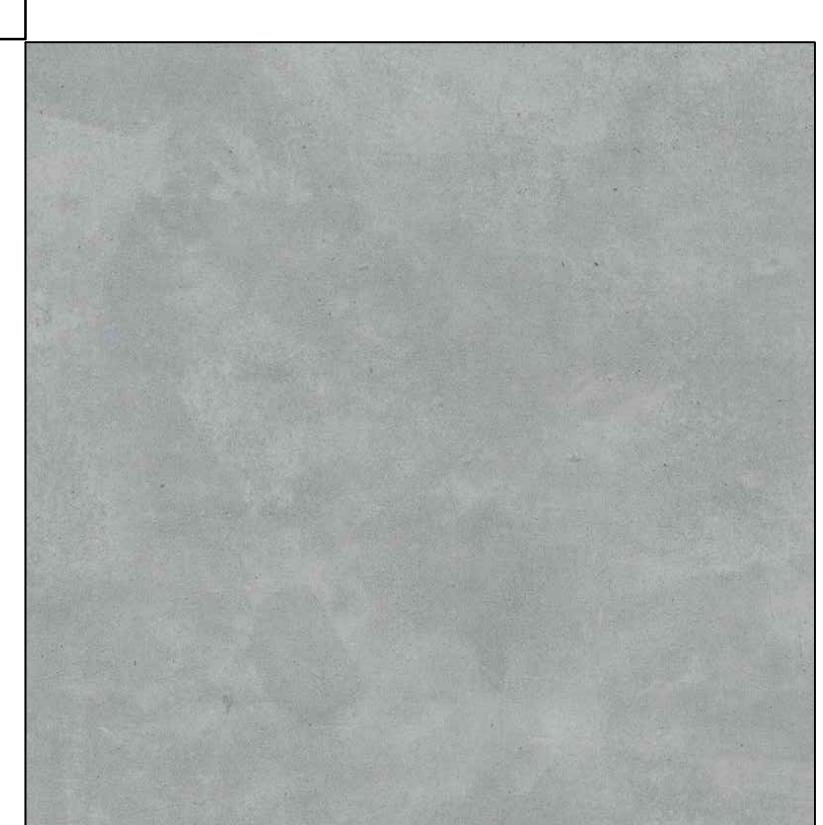
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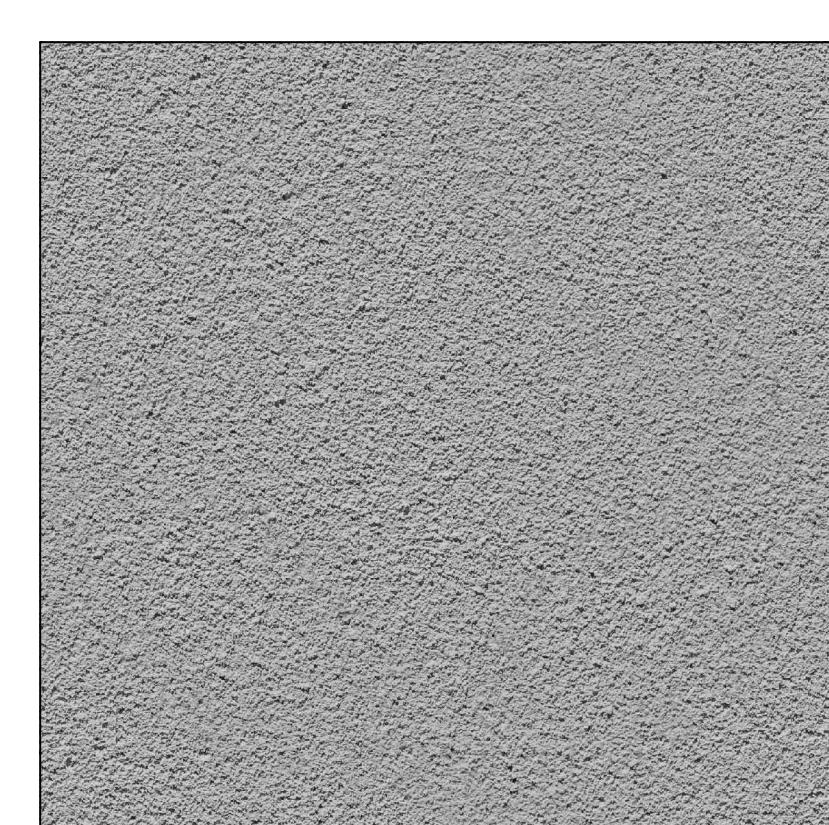
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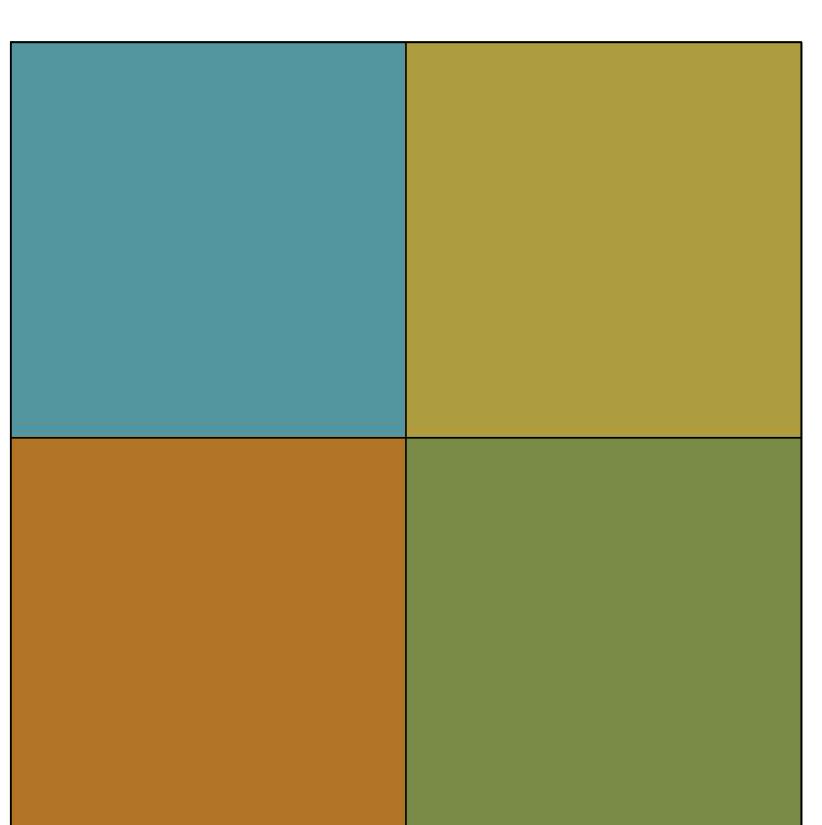
RAILING PLANTER



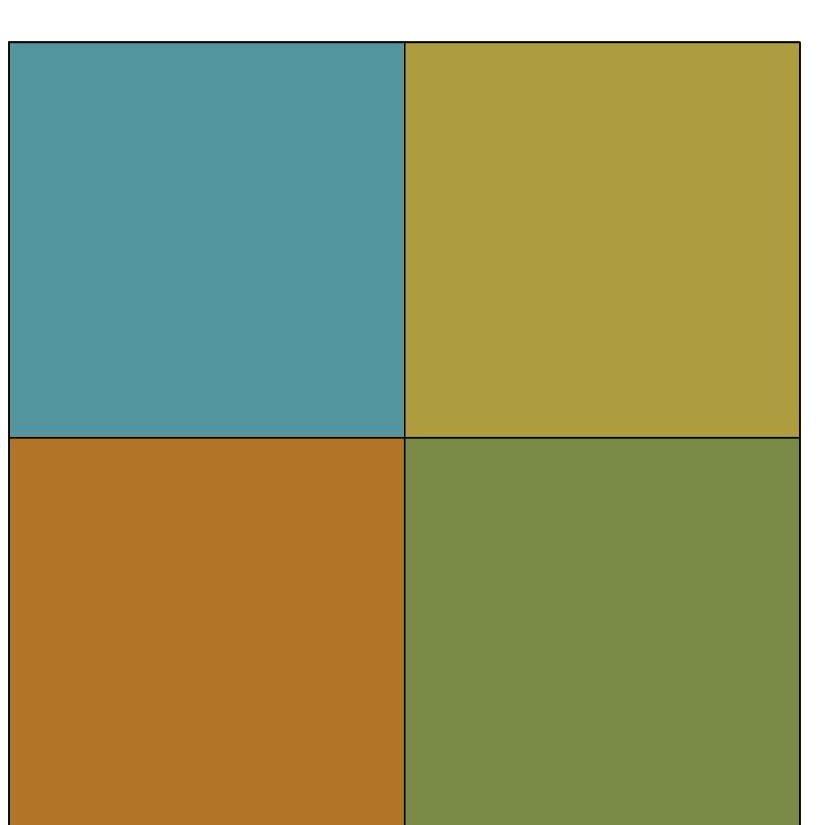
(7) NATURAL CONCRETE



(8) INTEGRAL COLOR MEDIUM GREY CEMENT PLASTER



(9) ALUMINUM TRIM OR ADDRESS NUMBER W/ COLOR COATING



(10) COLORED TRANSPARENT GLASS PANELS

MATERIALS SHEET

DESIGN REVIEW

DATE: 2/16/2018

MO. 1

OAKLAND ISLAMIC
CENTER, INC.
(2000-267398)

SNYDERS
(19 M 30)

BUILDING LINE
 \pm ON P.L.

EXISTING BUILDING
B.C. $0.1' \pm$ N'LY OF P.L.

EXISTING BUILDING
B.C. $0.1' \pm$ N'LY OF P.L.

EXISTING BUILDING
B.C. $0.1' \pm$ N'LY OF P.L.

GARDNER
(2001-173442)

B.C. $0.1' \pm$ N'LY OF P.L.

EXISTING BUILDING
B.C. $0.1' \pm$ N'LY OF P.L.

S.S.M.H.
RIM=44.01'
F/L=33.17'

S.N.E.76
FOUND 1/4" NAIL IN MONUMENT WELL AT 31ST STREET & TELEGRAPH AVENUE

GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

PARCEL MAP NO. 8391

(1282 PM 39)

43

886.04'

ROWLAND TRACT
(5 M 26)

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CODE ANALYSIS, 3003 TELEGRAPH AVENUE, OAKLAND

PARCEL: (TO BE COMBINED)	#	SIZE	ZONE
	009 070800400	19,147 SF	CC-2
	009 070800500	3,555 SF	RU-2
	009 070800600	4,667 SF	RU-2

ZONING: CC-2, RU-2

LOT SIZE: 27,369 SF (INCLUDES PROPOSED & EXISTING BUILDING)

MAX. RESIDENTIAL DENSITY: CC-2 ZONE: [19,147 - (13,064 / 2.5 (F.A.R.))] / 450 = 31,
RU-2 ZONE: 8,232 / 800 = 10

(41) BY RIGHT + (2) VERY LOW-INCOME(5% OF TOTAL) + (6) DENSITY BONUS= (49) TOTAL

ACTUAL DENSITY: 45

F.A.R.: CC-2 ZONE (45): 2.5 MAX. NON-RESIDENTIAL F.A.R.

ACTUAL NON-RESIDENTIAL F.A.R.: 12,512 SF / 19,147 SF = 0.65

BIKE STORAGE ANALYSIS

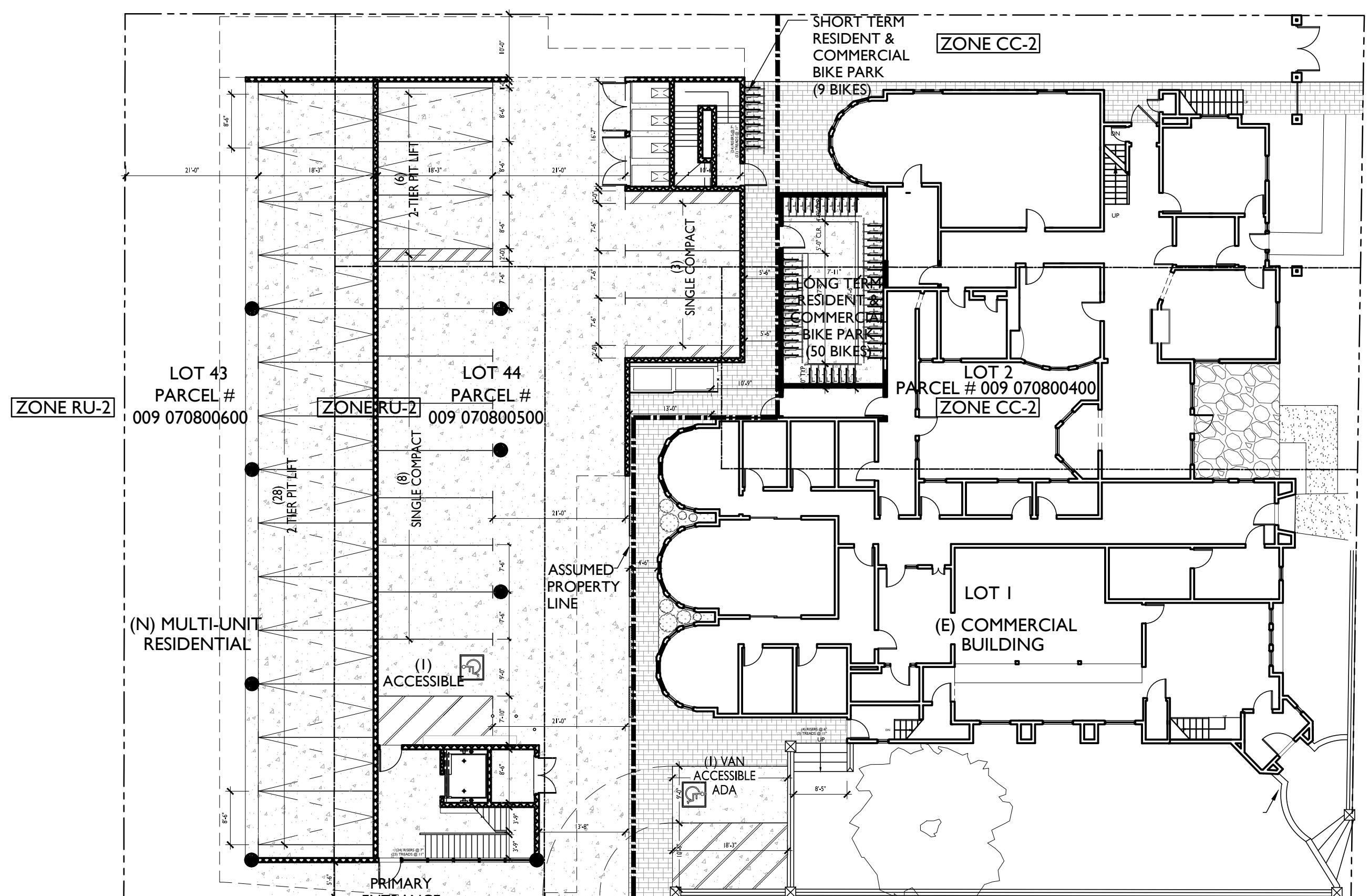
	REQUIRED	PROVIDED
LONG TERM RESIDENTIAL:	45 / 4 = 11.25 =	12
SHORT TERM RESIDENTIAL:	45 / 20 = 2.25 =	3
LONG TERM COMMERCIAL:	12,512 / 12,000 =	2
SHORT TERM COMMERCIAL:	12,512 / 5,000 =	3
TOTAL:	20	59

PARKING ANALYSIS

	REQUIRED	PROVIDED
RESIDENTIAL: 1 PER UNIT & 0.5 PER B.M.R. UNIT	23*	26
COMMERCIAL: 1/ 600 SF @ GROUND FL. + 1/ 1000 SF @ OTHER FL. :	17	21
TOTAL:	40	47 (INC. (2) ACCESSIBLE PARKING)

* 43 x 0.5 (30% REDUCTION FOR TRANSIT ACCESSIBLE AREA + 20% FOR ONE CAR SHARE SPACE)
2 x 0.5 (50% REDUCTION FOR B.M.R.)

ZONE RU-1



PROPOSED BUILDING AREA (EXCLUDING OPEN SPACE, PARKING & DRIVE AISLES):

(N) MULTI UNIT RESIDENTIAL	
1ST FLOOR	= 722 SF
2ND FLOOR	= 8,487 SF
3RD FLOOR	= 8,496 SF
4TH FLOOR	= 8,505 SF
5TH FLOOR	= 6,957 SF
TOTAL	= 32,445 SF

(E) COMMERCIAL BUILDING	
1ST FLOOR	= 8,460 SF (E)
2ND FLOOR	= 3,967 SF (E)
3RD FLOOR	= 637 SF (E)
TOTAL	= 13,064 SF (E)
	7,908 SF (N)
	3,967 SF (N)
	637 SF (N)
	12,512 SF (N)

(N) MULTI UNIT RESIDENTIAL	(E) COMMERCIAL BUILDING
V-A / I-A	V-B
R-2 / S-2	B
SPRINKLERS:	YES (FIRE RESISTANCE)

SETBACK ANALYSIS

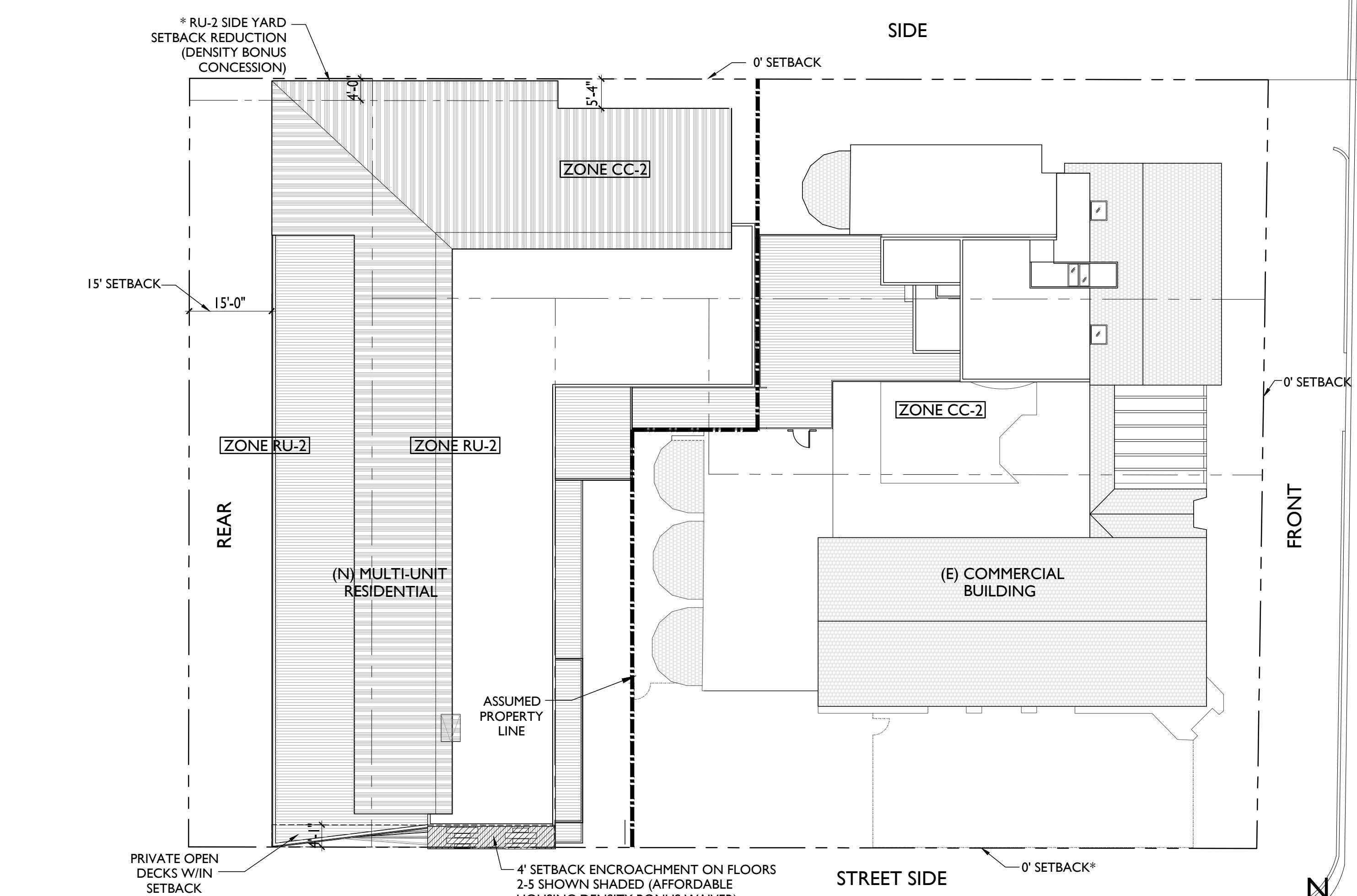
ZONE RU-2 SETBACK:
SIDE: 4'-0" *
REAR: 15'-0"

ZONE CC-2 SETBACK:
FRONT: 0'-0"
STREET SIDE: 0'-0"
SIDE: 0'-0"

ZONING HEIGHT ANALYSIS

MAX. ALLOWABLE HEIGHT:
RU-2 ZONE: 50'-0"
CC-2 ZONE (45): 45'-0"

ACTUAL HEIGHT:
RU-2 ZONE: 59'-0" (AFFORDABLE HOUSING DENSITY BONUS WAIVER)
CC-2 ZONE (45): 59'-0" (AFFORDABLE HOUSING DENSITY BONUS WAIVER)



PARKING DIAGRAM

1/16"=1'-0" 0 8' 16' 32'

2

SETBACK & HEIGHT DIAGRAM

1/16"=1'-0" 0 8' 16' 32'

1

CODE
ANALYSIS

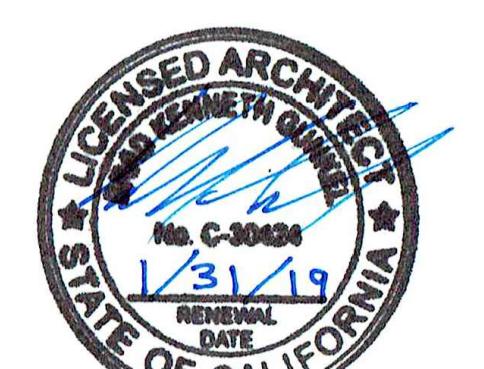
DESIGN REVIEW

DATE: 2/16/2018

CAO. 1



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OPEN SPACE CALCULATIONS

GROUP OPEN SPACE REQUIRED PER UNIT: 150 SF (CC-2 ZONE). MIN 30 W/ PRIVATE
175 SF (RU-2 ZONE). MIN 50 W/ PRIVATE

NUMBER OF UNITS IN CC-2 ZONE: 12
NUMBER OF UNITS IN RU-2 ZONE: 33

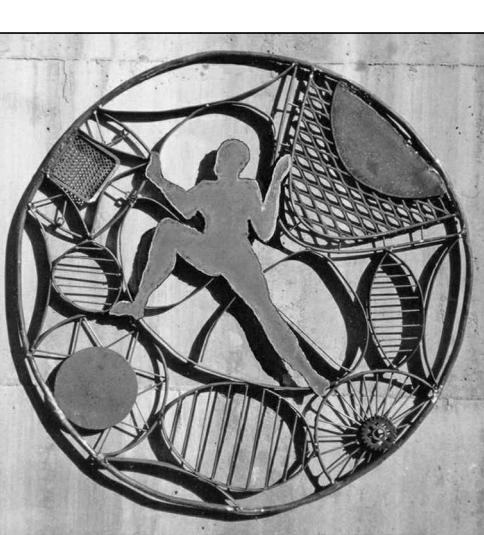
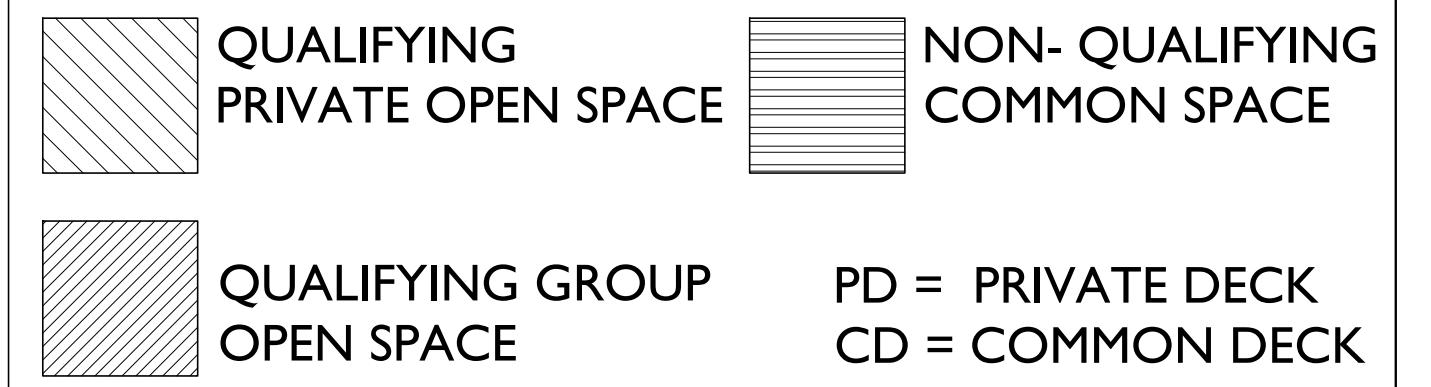
GROUP OPEN SPACE REQUIRED: $(12 \times 150 \text{ SF}) + (33 \times 175 \text{ SF}) = 7,575 \text{ SF}$
MINIMUM GROUP OPEN SPACE REQUIRED: $(12 \times 30 \text{ SF}) + (33 \times 50 \text{ SF}) = 2010 \text{ SF}$

PRIVATE OPEN SPACE PROVIDED: 172 SF (PD2-I) + 180 SF (PD3-I) + 180 SF (PD3-2) + 172 SF (PD4-I) +
180 SF PD4-2) + 180 SF (PD5-I) = 1,064 SF PRIVATE
GROUP OPEN SPACE REQ'D: 7,575 GROSS - (1,064 PRIVATE $\times 2$) = 5,447 SF GROUP REQ'D

QUALIFYING GROUP OPEN SPACE PROVIDED:
1720(YARD) + 701 SF (CD 2-3) + 270 SF (CD 2-I) + 270 (CD 3-I) + 270 (CD 4-I) +
270 (CD 5-I) + 1,657(CD-2)= 5,158 SF GROUP PROVIDED

NON-QUALIFYING COMMON INTERIOR SPACE: 759 PER FLOORS 2-4 + 1,134 PER FLOOR 5
= 3,411SF TOTAL

LEGEND



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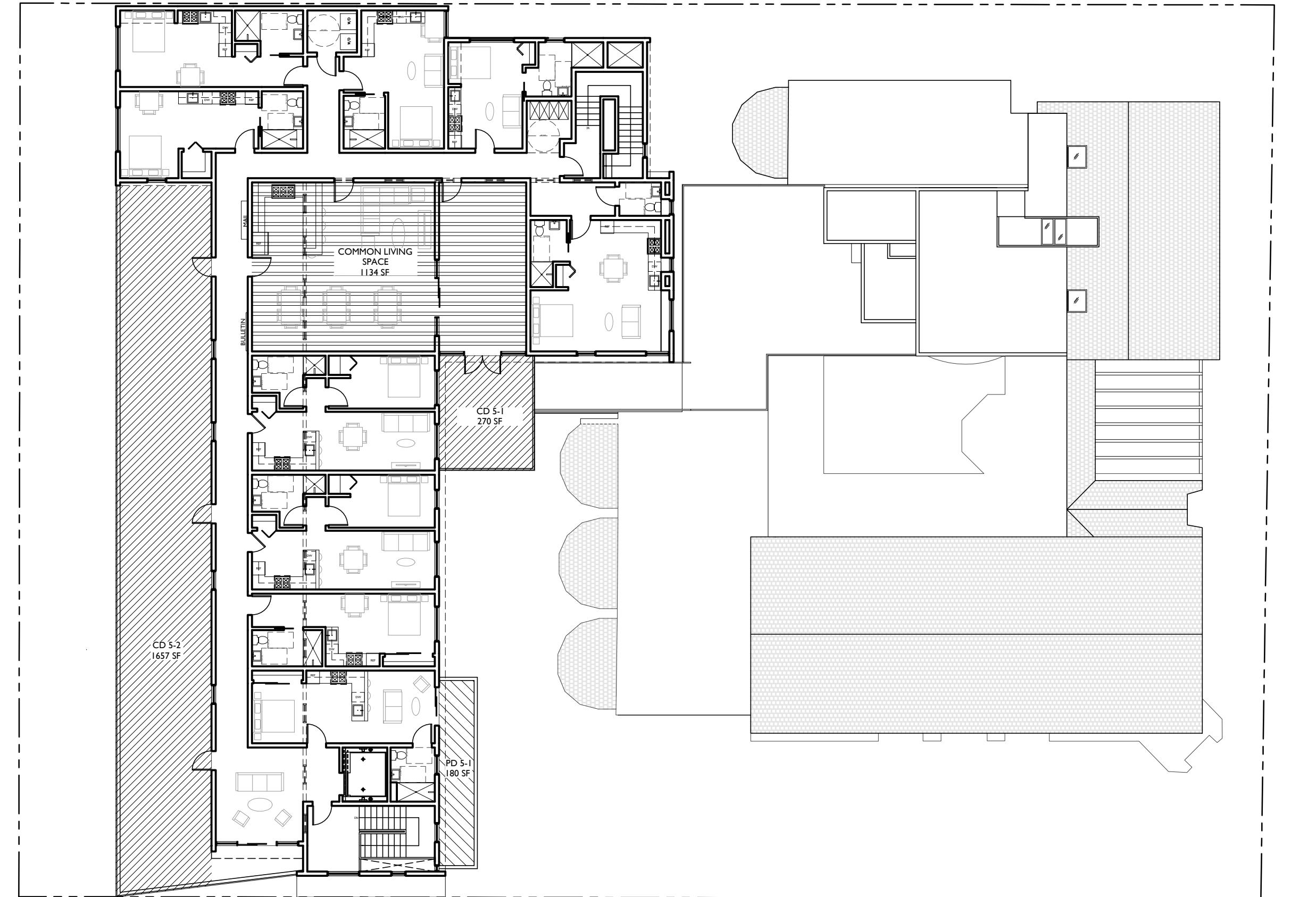
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OAKLAND, CA 94609

OPEN SPACE
ANALYSIS

DESIGN REVIEW

DATE: 2/16/2018

CAO.2

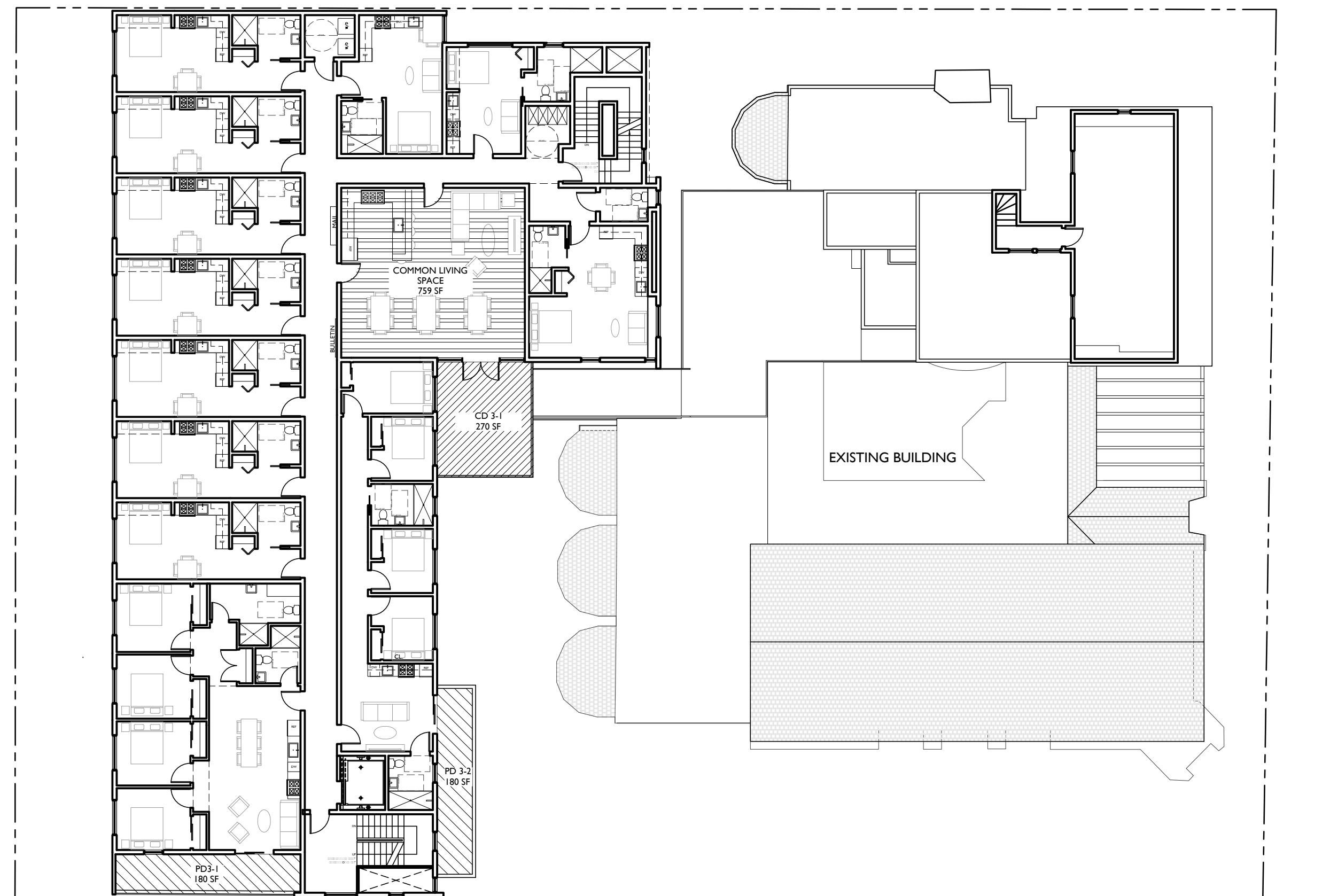


FIFTH FLOOR PLAN

1/16"=1'-0" 0 8' 16' 32'

4 FOURTH FLOOR PLAN

1/16"=1'-0" 0 8' 16' 32' 3

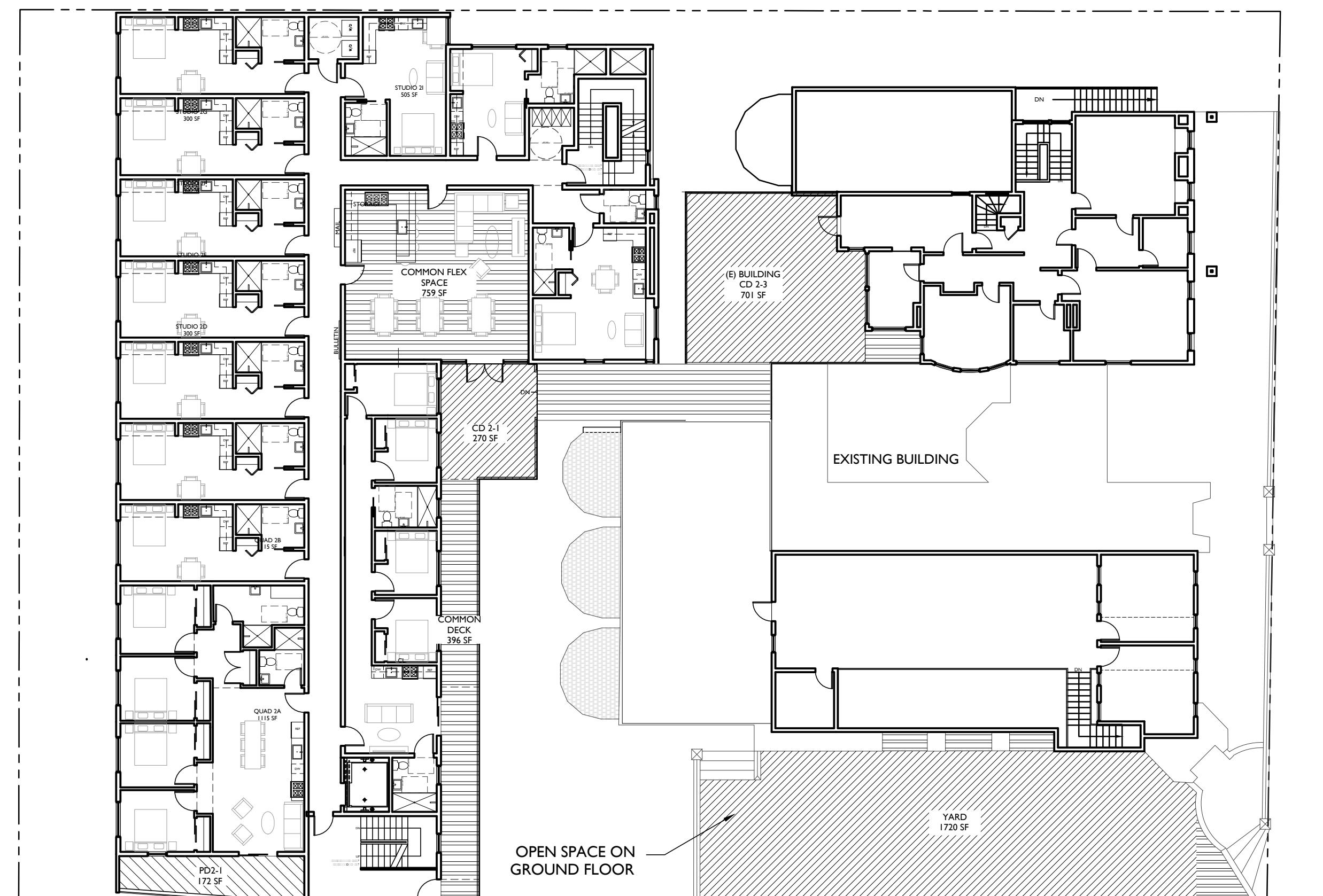


THIRD FLOOR PLAN

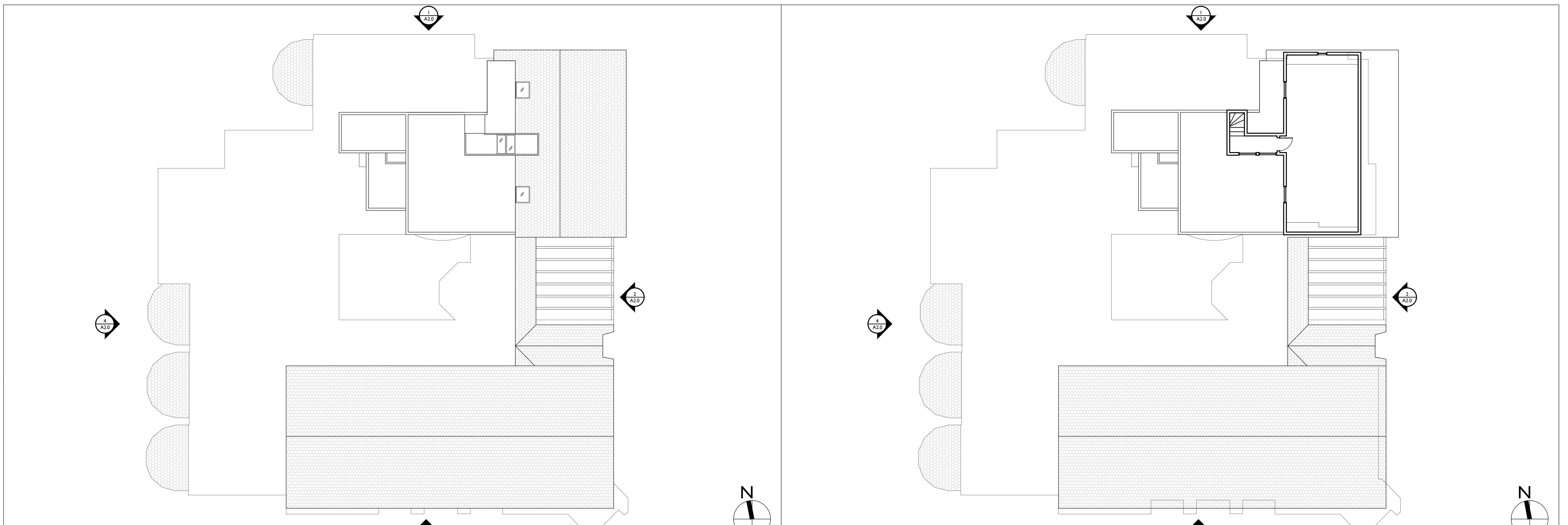
1/16"=1'-0" 0 8' 16' 32'

2 SECOND FLOOR PLAN

1/16"=1'-0" 0 8' 16' 32' 1



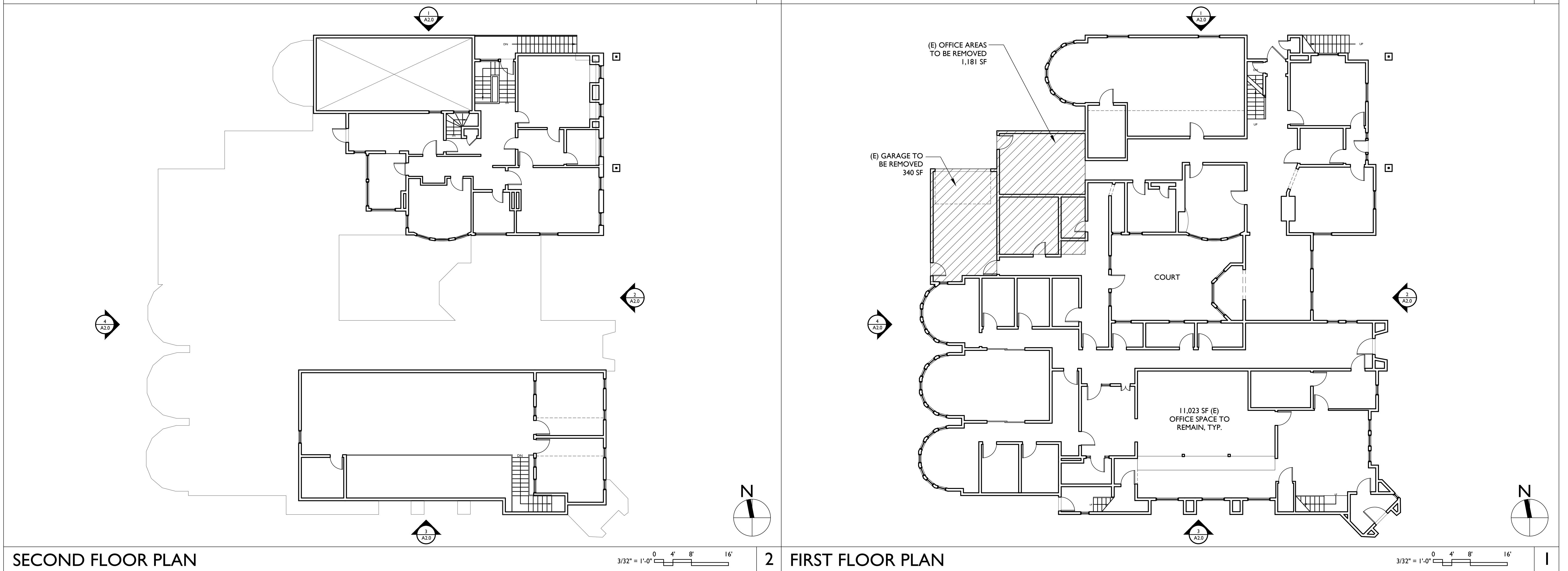
OPEN SPACE ON GROUND FLOOR
YARD 1720 SF



ROOF PLAN

4 THIRD FLOOR PLAN

THE HAVEN
528 30TH STREET
OAKLAND, CA 94609



SECOND FLOOR PLAN

2 FIRST FLOOR PLAN

EXISTING
BUILDING
PLANS

DESIGN REVIEW

DATE: 2/16/2018

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THE HAVEN
528 30TH STREET
OAKLAND, CA 94609

DESIGN REVIEW

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THE HAVEN
528 30TH STREET
AKLAND, CA 9460

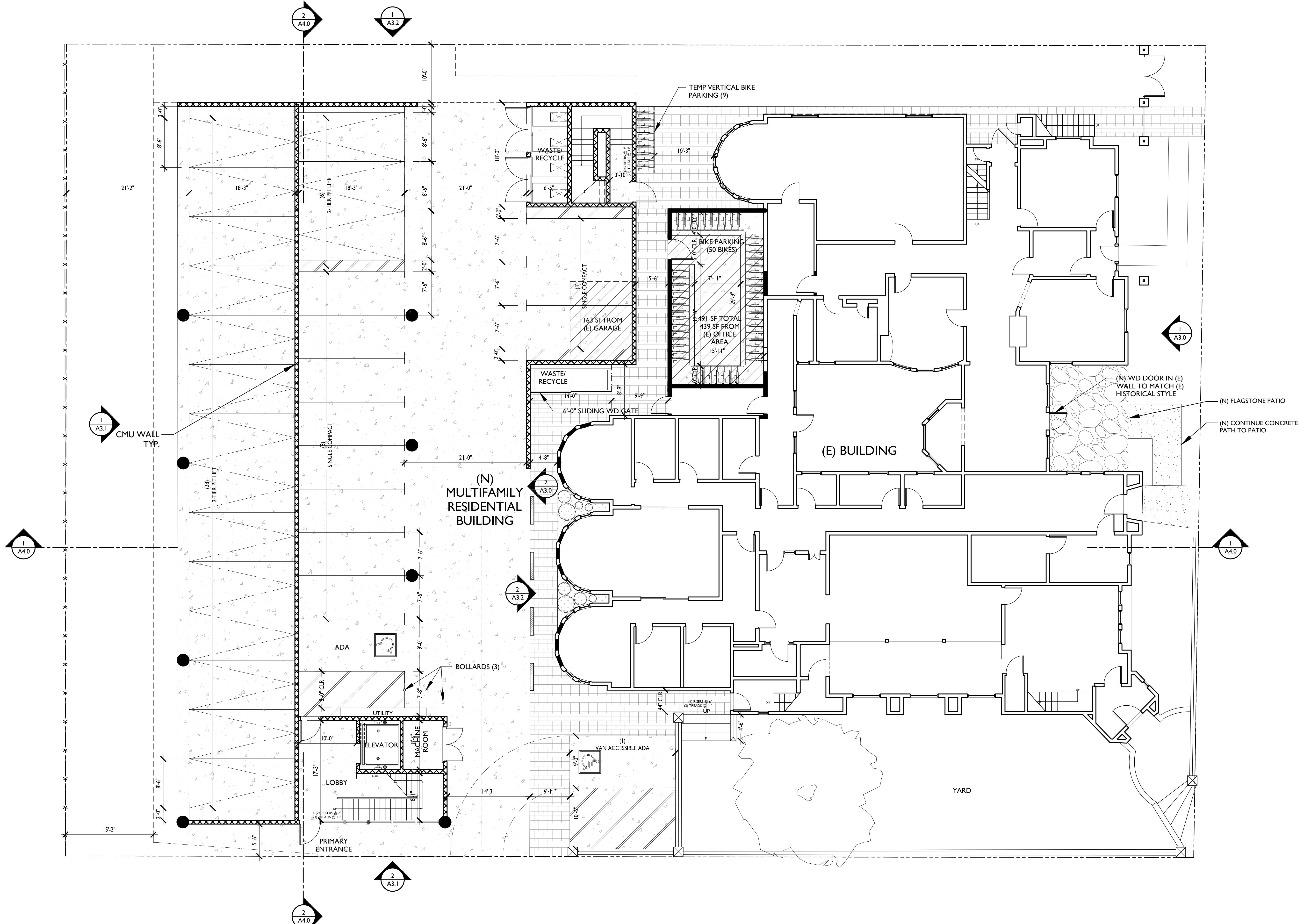
**HAWAIIAN
528 30TH STREET
OAKLAND, CA 94609**

1000-10000 mg/m³

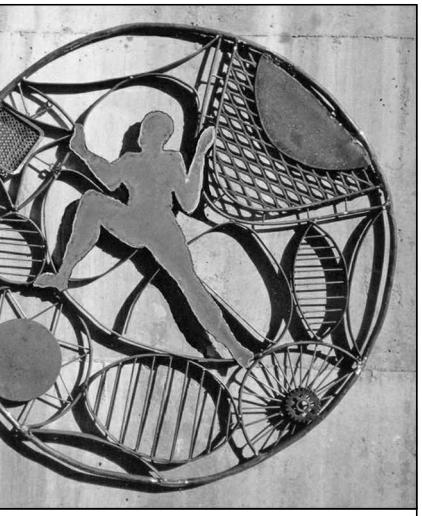
FIRST FLOOR PLAN

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FIRST FLOOR PLAN



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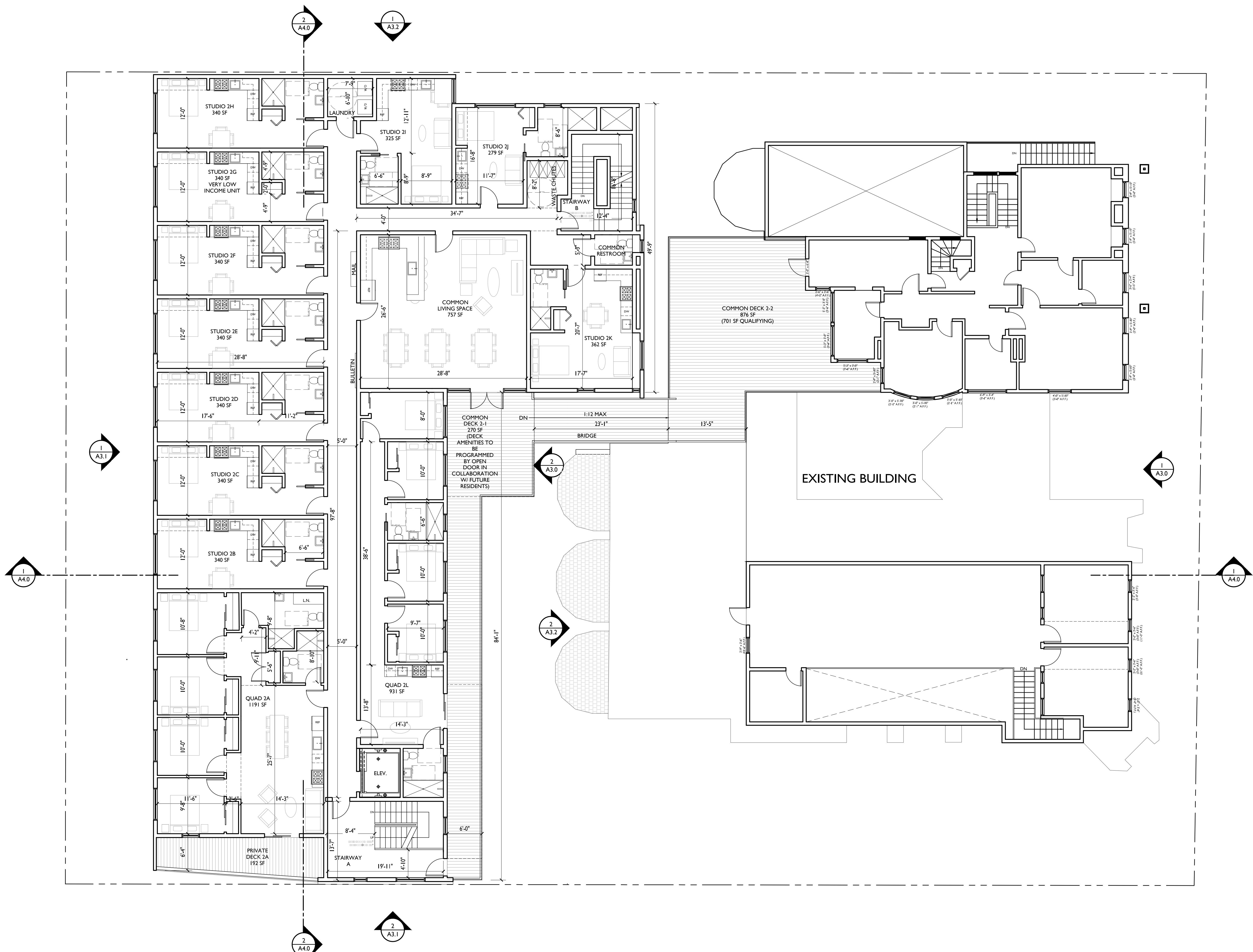
528 30TH STREET
OAKLAND, CA 94609

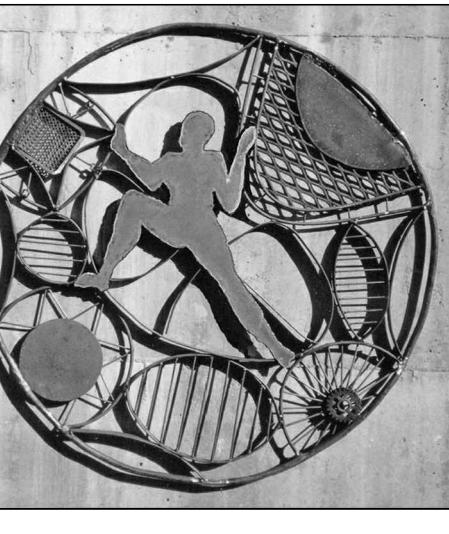
SECOND
FLOOR
PLAN

DESIGN REVIEW

DATE: 2/16/2018

A1.2





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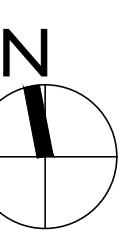
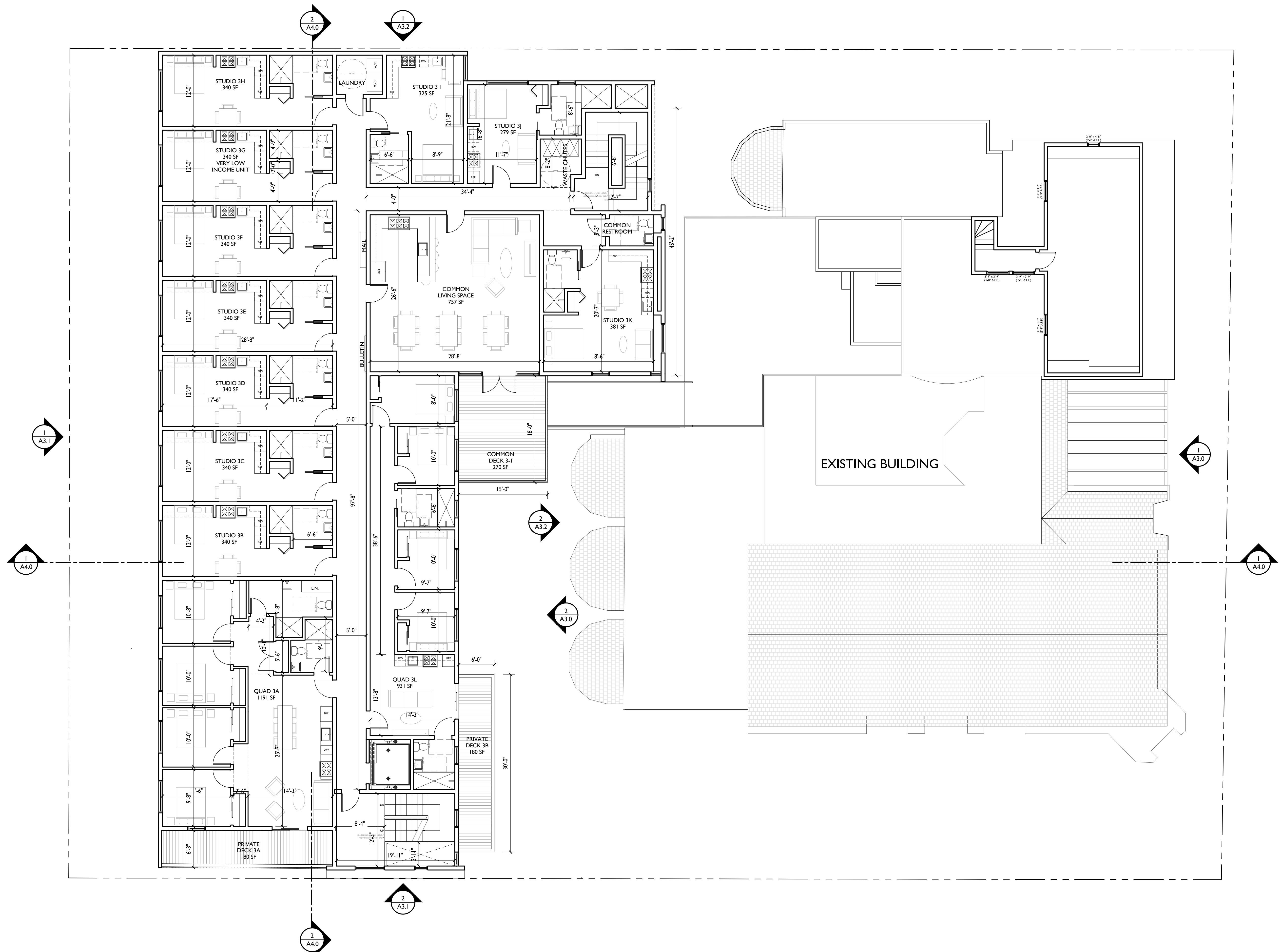
528 30TH STREET
OAKLAND, CA 94609

THIRD
FLOOR
PLAN

DESIGN REVIEW

DATE: 2/16/2018

A1.3





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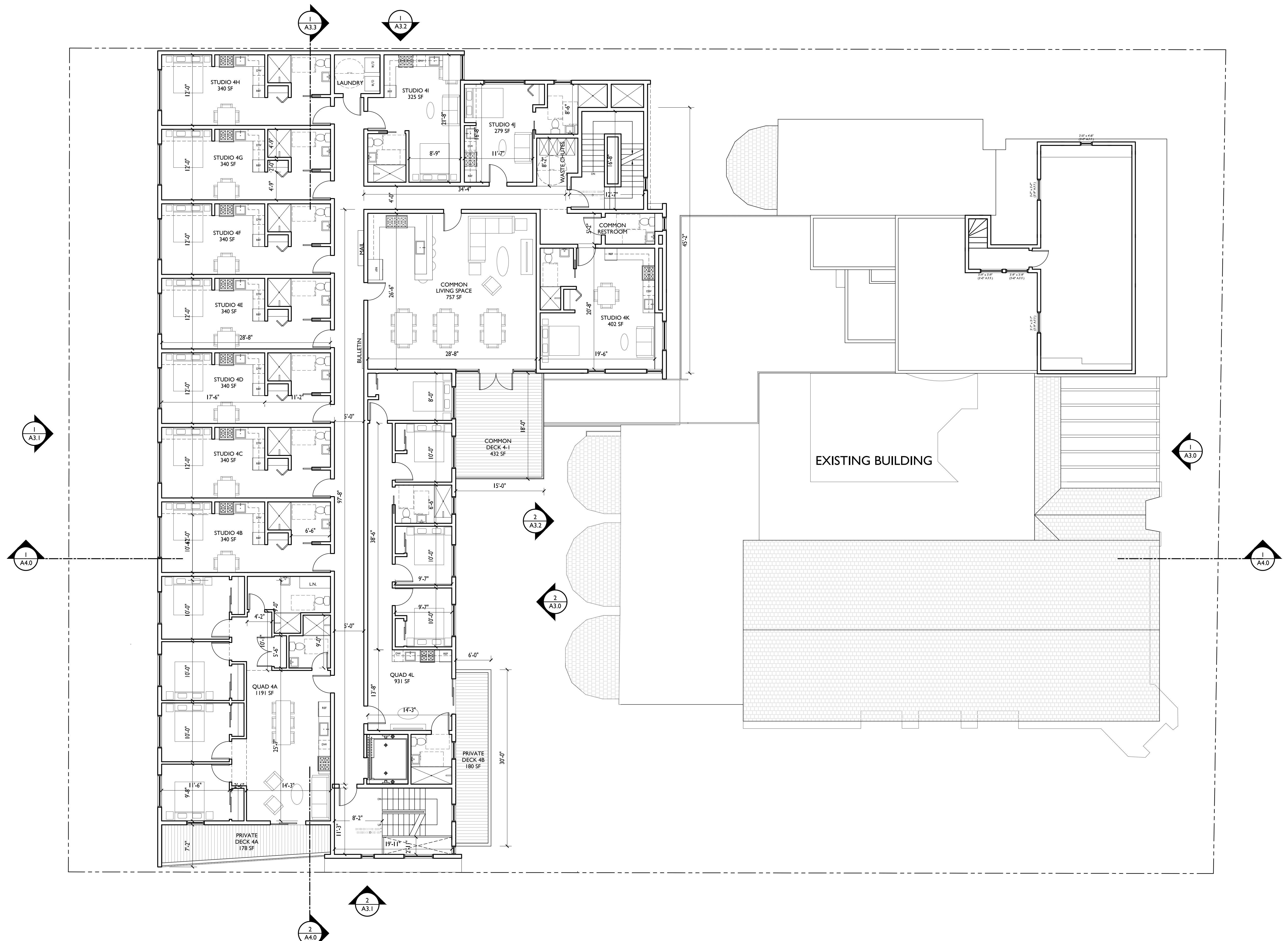
THE HAVEN
528 30TH STREET
AKLAND, CA 9460

HAVEN
528 30TH STREET
OAKLAND, CA 94609

FOURTH FLOOR PLAN

DESIGN REVIEW

DATE: 2/16/2018



FOURTH FLOOR PLAN

Diagram showing a horizontal line with tick marks at 0, 4', 8', and 16'. Below the line, a bracket indicates a total length of 1'-0".

A 14

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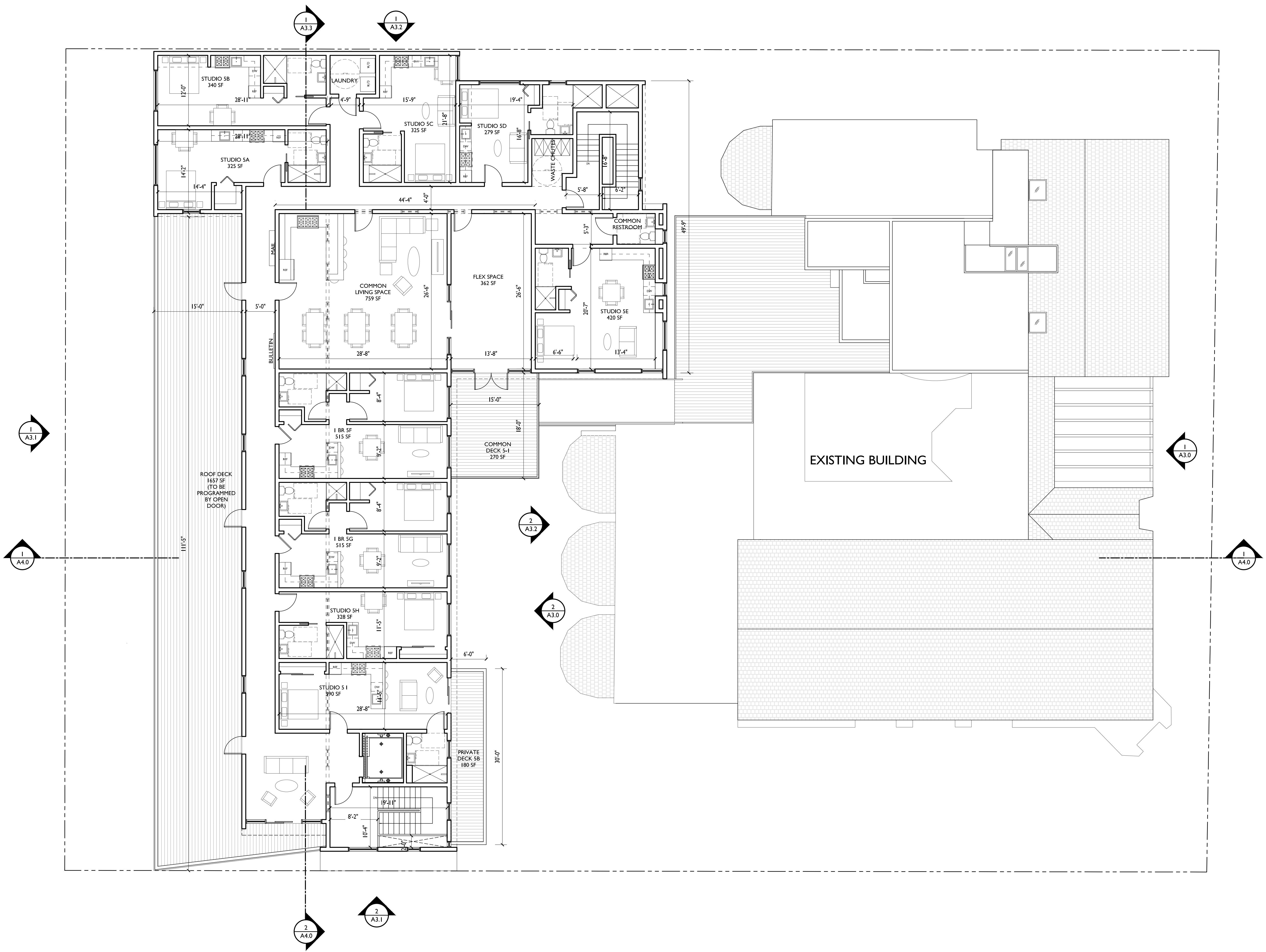
FIFTH FLOOR PLAN

SIGN REVIEW

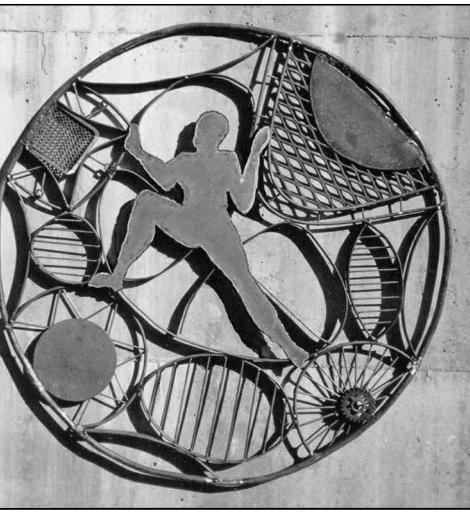
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1 / 1

113



FIFTH FLOOR PLAN



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THE HAVEN

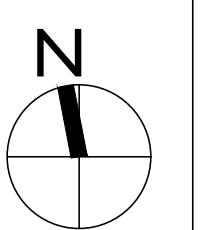
528 30TH STREET
OAKLAND, CA 94609

ROOF PLAN

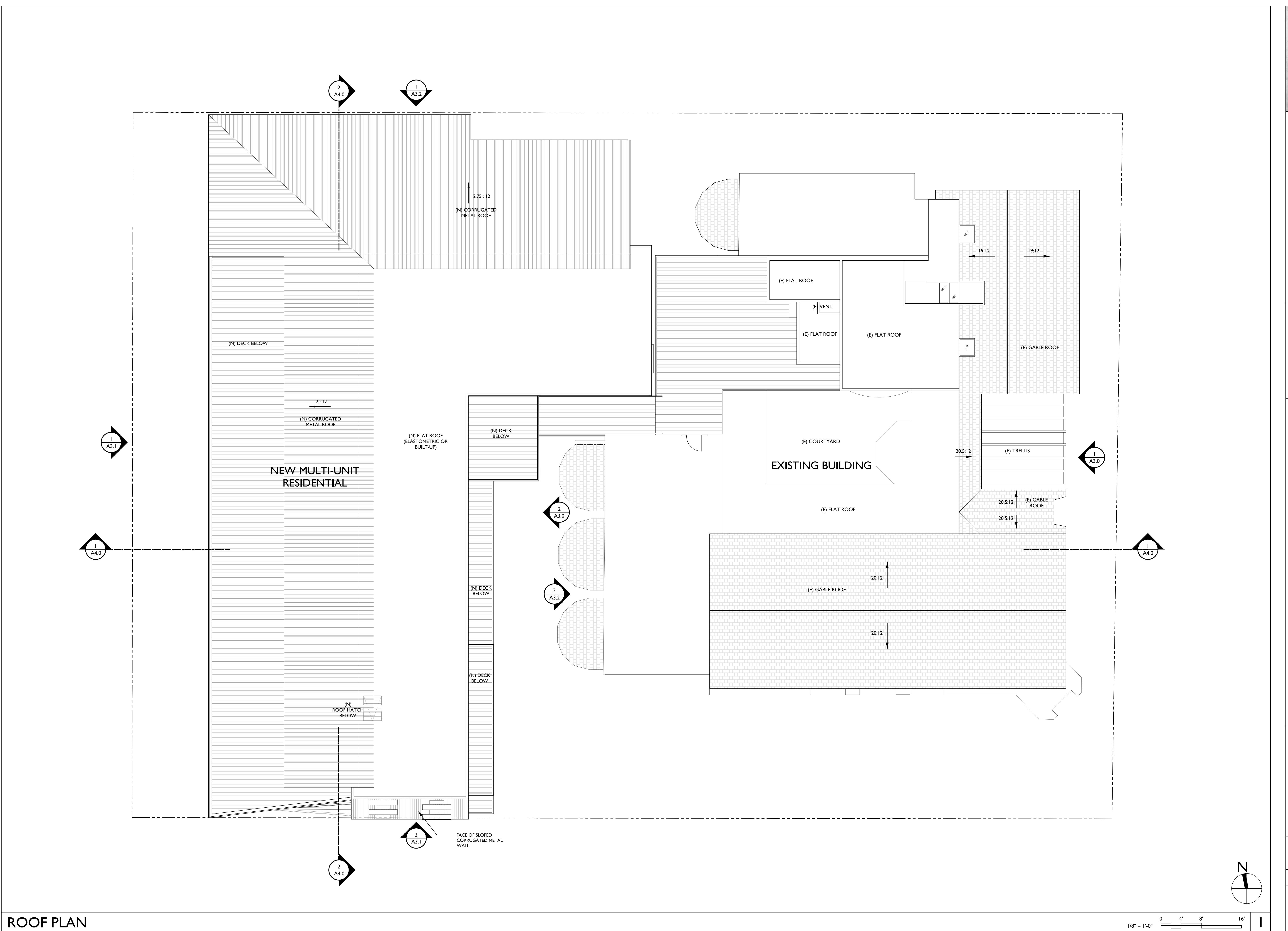
DESIGN REVIEW

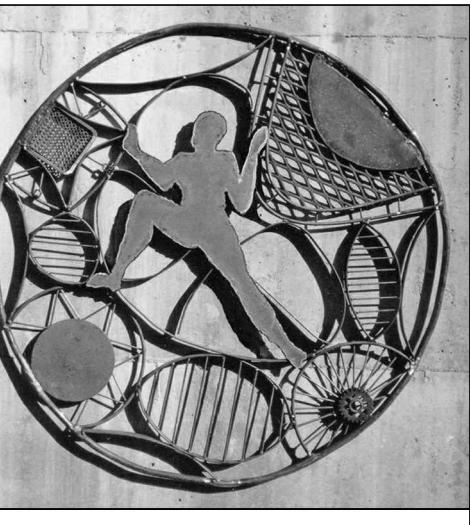
DATE: 2/16/2018

A1.6



1/8" = 1'-0" 0' 4' 8' 16'





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THE HAVEN

528 30TH STREET
 OAKLAND, CA 94609

EXISTING
 ELEVATIONS

DESIGN REVIEW

DATE: 2/16/2018

A2.0

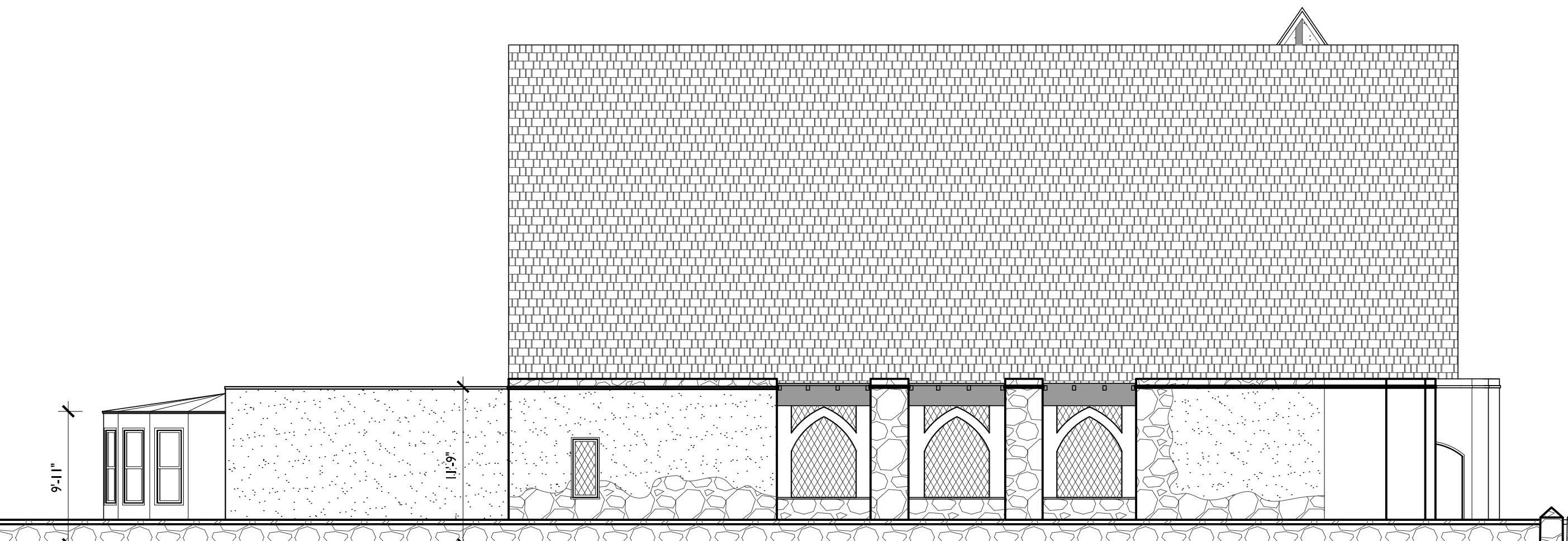


WEST ELEVATION

1/4"=1'-0"

0 2' 4' 8'

4 SOUTH ELEVATION



1/4"=1'-0"

0 2' 4' 8'

3

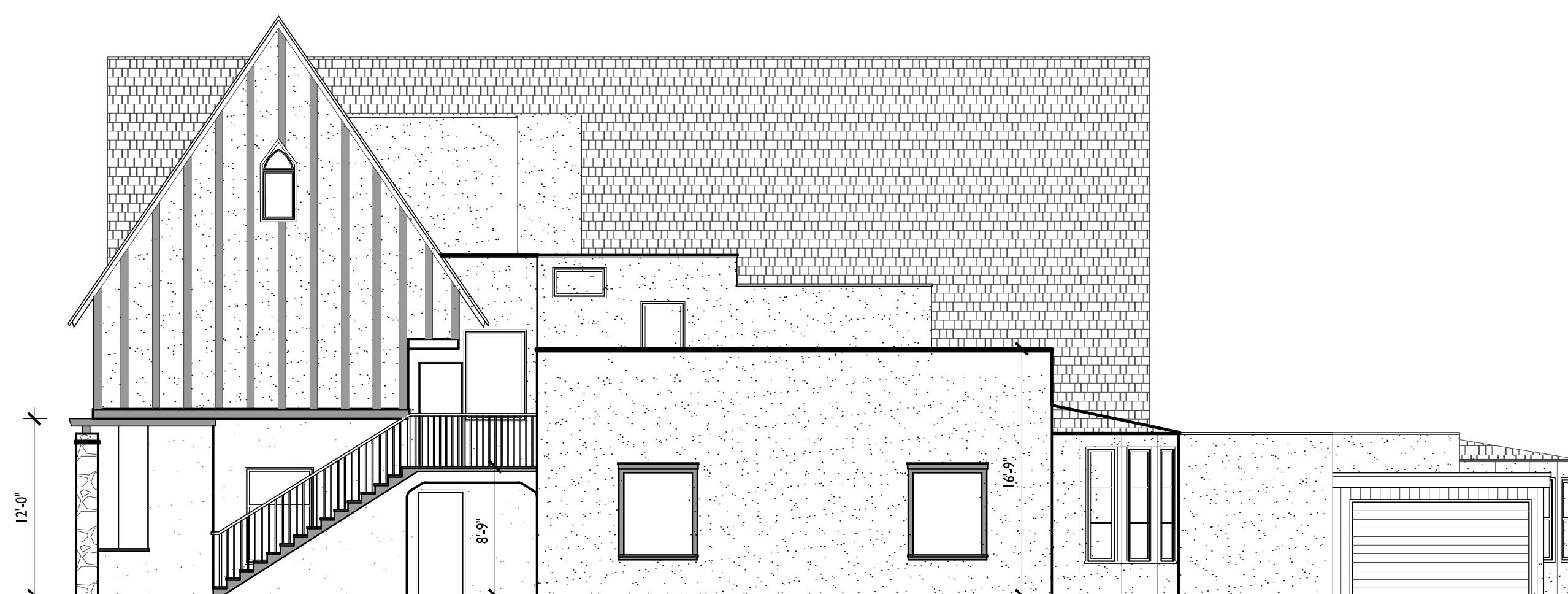


EAST ELEVATION

1/4"=1'-0"

0 2' 4' 8'

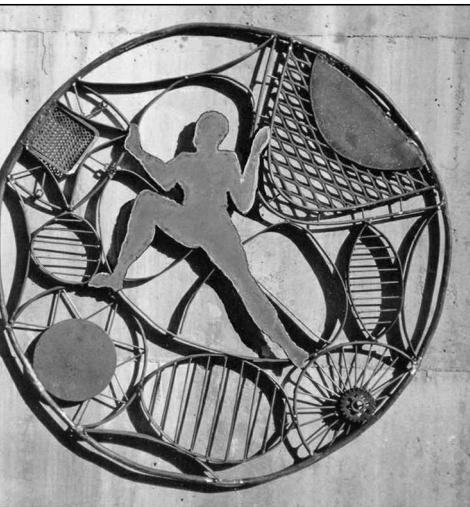
2 NORTH ELEVATION



1/4"=1'-0"

0 2' 4' 8'

1



MATERIAL LEGEND

- 1 (N) MONUMENT & FLAGSTONE WALL TO MATCH (E)
- 2 BRUSHED CLEAR ANODIZED ALUMINUM WINDOWS, DOORS
- 3 INTEGRAL COLOR CONCRETE
- 4 GALVANIZED STEEL PARKING LIFT W/ PIT
- 5 INTEGRAL COLOR MEDIUM WHITE CEMENT PLASTER
- 6 NATURAL WOOD TOP RAIL & PLANTER W/ STAINLESS STEEL POSTS & BOTTOM RAIL W/ INTERMEDIATE CABLE RAILS
- 7 9'-0"x2'-4" BROWN PAINTED WD SIGN WITH WHITE PAINTED RECESSED 8" LETTERS. FINAL DESIGN TO BE PART OF MASTER SIGNAGE PLAN. SUBMITTED AS CONDITION OF APPROVAL PRIOR TO ISSUANCE OF BLDG PERMIT
- 8 INTEGRAL COLOR MEDIUM GREY CEMENT PLASTER
- 9 NATURAL CONCRETE
- 10 CORRUGATED METAL (GALVALUM WEATHERED GREY)
- 11 NOT USED
- 12 PLANTER (COLOR COATED)
- 13 CUSTOM WD SIGN ON METAL BRACKET, FINAL DESIGN TO BE PART OF MASTER SIGNAGE PLAN. SUBMITTED AS CONDITION OF APPROVAL PRIOR TO ISSUANCE OF BLDG PERMIT
- 14 (N) WD DOOR IN (E) WALL TO MATCH (E) HISTORIC STYLE, REPLACE (E) NON-MATCHING WINDOW TO MATCH ADJACENT
- 15 REPAIR (E) MONUMENT, TYP. (4)
- 16 ALUMINUM TRIM OR ADDRESS NUMBERS W/ COLOR COATING. SEE ELEVATIONS FOR COLOR. "528" NUMBERS ARE 24" TALL, FONT: AVIANO SANS
- 17 WOOD RAIL, POSTS, & PICKETS. PAINT BROWN TO MATCH (E) BUILDING TRIM
- 18 SCREEN ATE BEYOND
- 19 COLORED TRANSPARENT GLASS PANEL. SEE ELEVATION FOR COLOR
- 20 CEMENT PLASTER WALL TO MATCH (E) COLOR/ TEXTURE ADJACENT
- 21 REPLACE ANGLED CAPSTONE WALL TO MATCH (E) ADJACENT

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THE HAVEN
528 30TH STREET
OAKLAND, CA 94609

ELEVATIONS

DESIGN REVIEW

DATE: 2/16/2018

A3.



EAST ELEVATION

1/8" = 1'-0" 0 4' 8' 16' 2



EAST ELEVATION W/ (E) BUILDING

1/8" = 1'-0" 0 4' 8' 16' 1



MATERIAL LEGEND

- 1 (N) MONUMENT & FLAGSTONE WALL TO MATCH (E)
- 2 BRUSHED CLEAR ANODIZED ALUMINUM WINDOWS, DOORS
- 3 INTEGRAL COLOR CONCRETE
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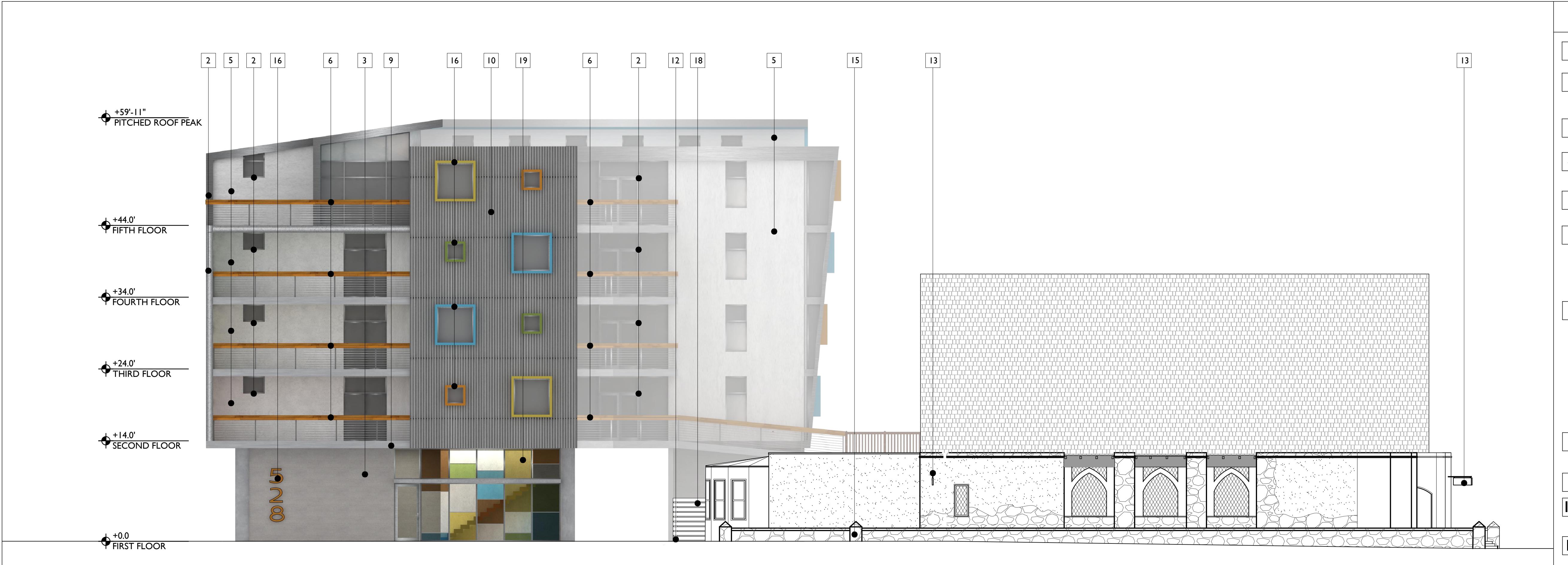


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ELEVATIONS

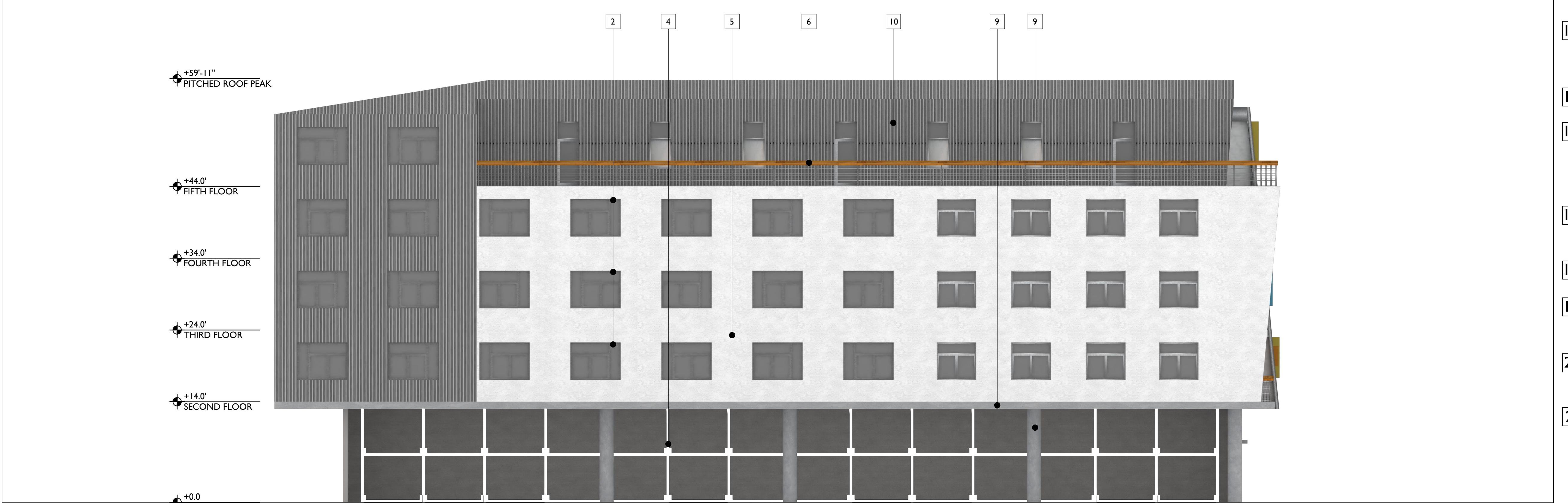
DESIGN REVIEW
DATE: 2/16/2018

A3.1



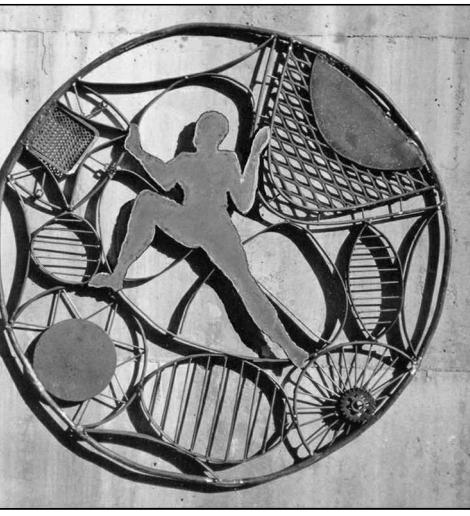
SOUTH ELEVATION

1/8" = 1'-0" 0 4' 8' 16' 2



WEST ELEVATION

1/8" = 1'-0" 0 4' 8' 16' 1



MATERIAL LEGEND

- 1 (N) MONUMENT & FLAGSTONE WALL TO MATCH (E)
- 2 BRUSHED CLEAR ANODIZED ALUMINUM WINDOWS, DOORS
- 3 INTEGRAL COLOR CONCRETE
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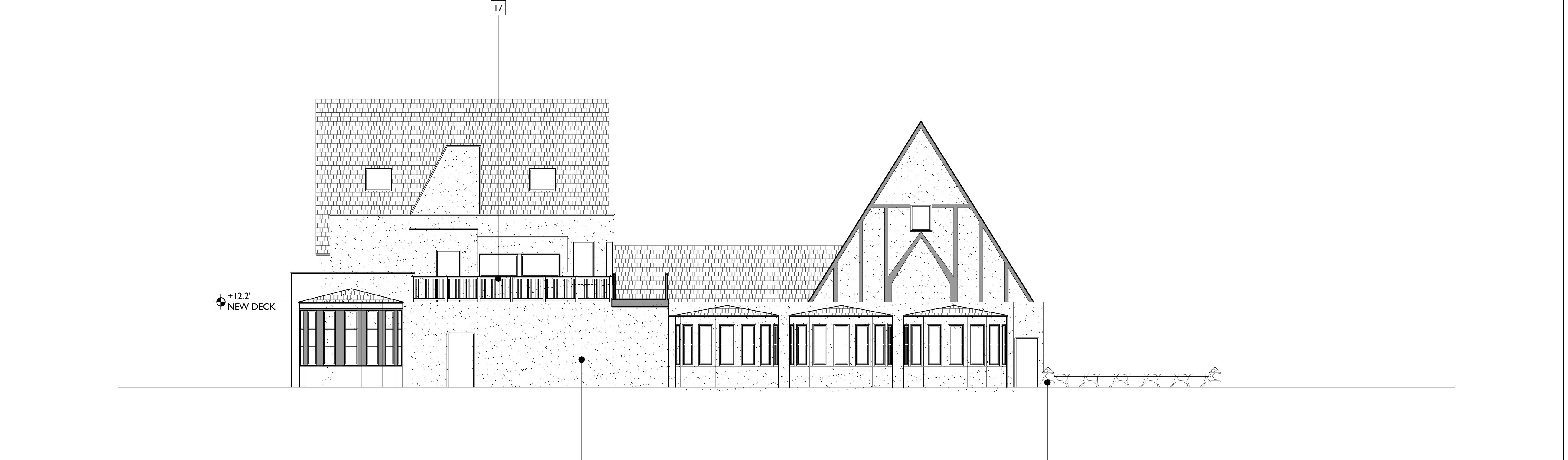
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ELEVATIONS

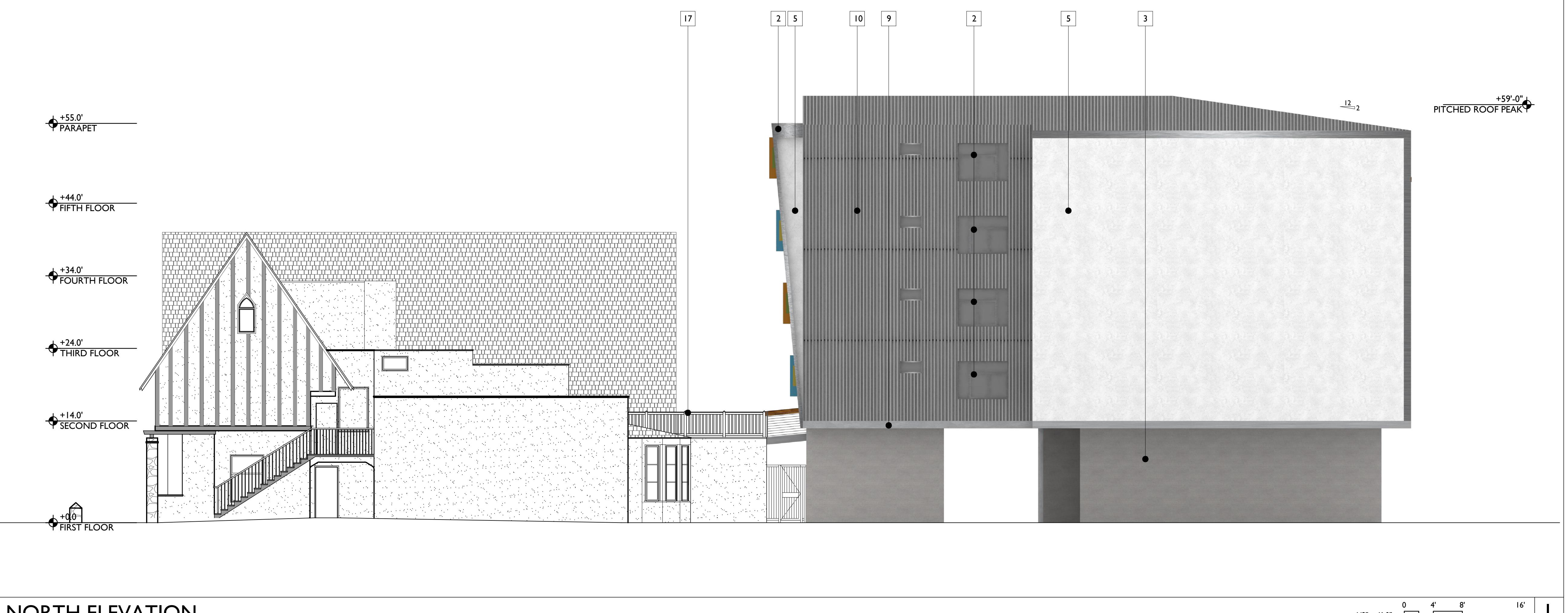
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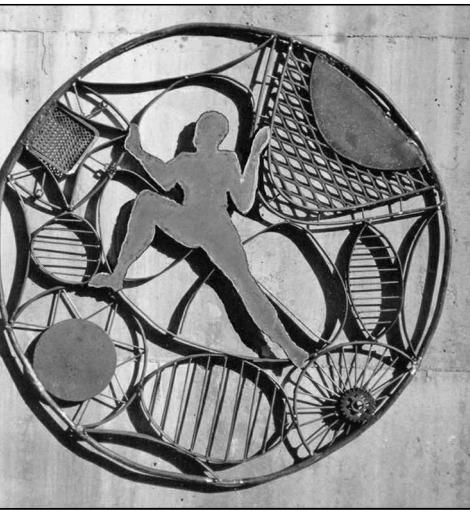
A3.2



WEST ELEVATION OF EXISTING BUILDING



NORTH ELEVATION



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THE HAVEN

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SECTIONS

DESIGN REVIEW

DATE: 2/16/2018

A4.0

