

Residential Appeals Committee

STAFF REPORT

Case File Number: APL19-017 (PLN18-513)

December 4, 2019

Location:	Vacant Parcel located between 6303 and 6311 Wood Drive (See map on reverse)
Assessors Parcel Number:	048C-7179-023-00
Proposal:	Appeal of the Zoning Manager's Administrative Approval of a Regular Design Review application to construct a new hillside single-family residence.
Appellants:	Kim Cardoso / (415) 505-0165 and Michael Steel / (415) 260-7320
Applicant:	John Newton / (510) 847-4108
Planning Permits Required:	Regular Design Review to construct a new residential single family dwelling unit on a vacant parcel.
General Plan:	Hillside Residential
Zoning:	RH-4 (Hillside Residential – Zone 4) S-9 Fire Protection Safety Combining Zone
Environmental Determination:	15303-new construction of small structures; and 15183-Projects Consistent with a Community Plan, General Plan or Zoning
Historic Status:	OCHS Rating: Non-Historic Property
City Council District:	4
Status:	Application Approved by the Zoning Manager on April 11, 2019 and subsequently Appealed on April 22, 2019
Staff Recommendation:	Deny the Appeal and uphold the Zoning Manager's Approval of the Regular Design Review Permit.
Finality of Decision:	Final (Not administratively Appealable Pursuant to OMC Sec. 17.132.030)
For Further Information:	Contact case planner Alexi Wordell at 510-238-3717 or awordell@oaklandca.gov

SUMMARY

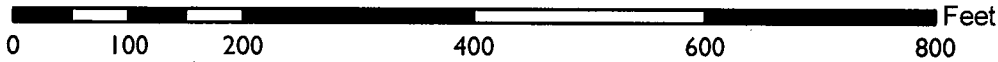
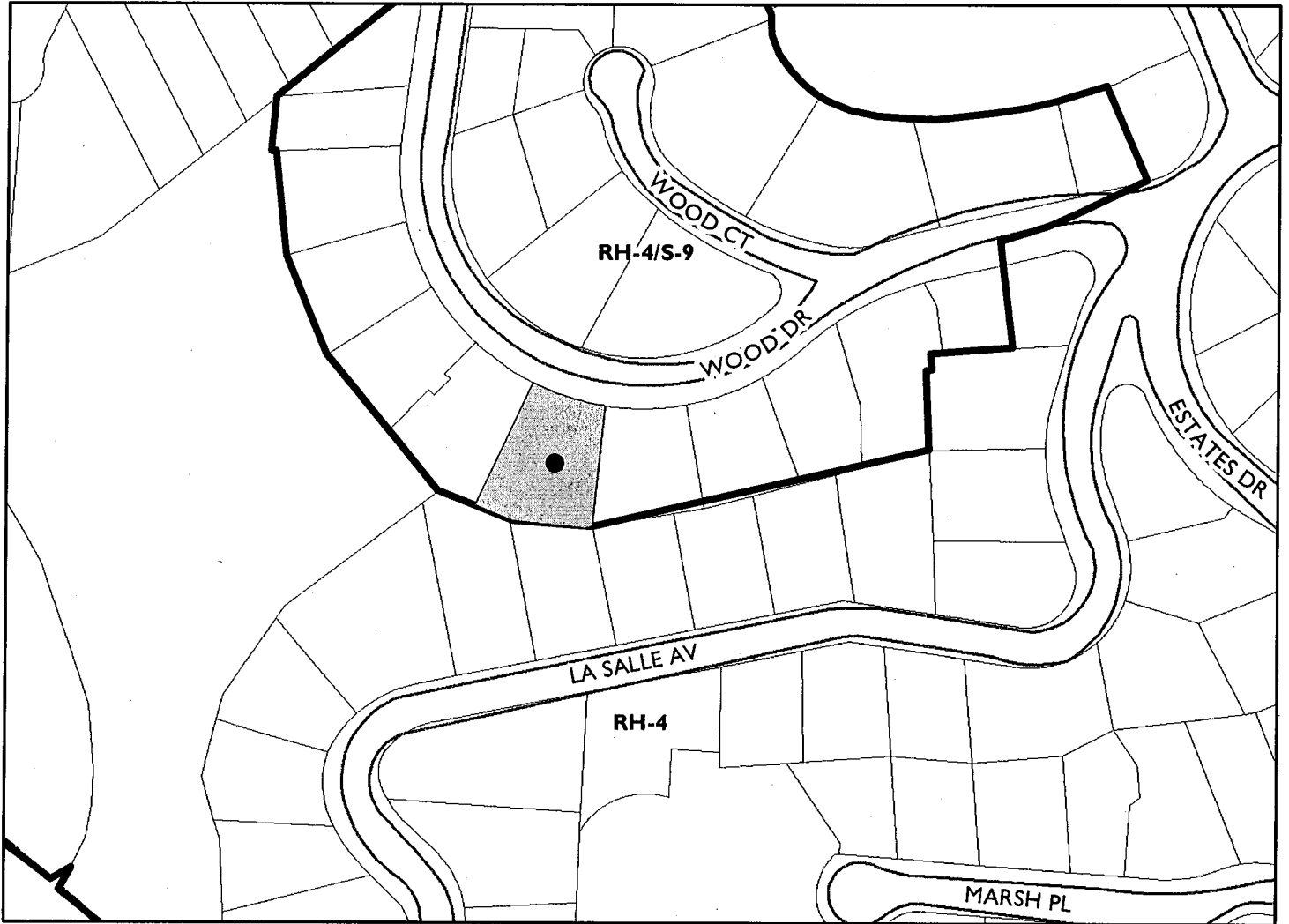
On December 3, 2018, John Newton (Applicant) filed a Regular Design Review application to construct a new single family dwelling at a vacant parcel located on the south side of Wood Drive between 6303 and 6311 Wood Drive. The subject site is in the Hillside Residential land use classification per the Land Use and Transportation Element (LUTE) of the City of Oakland's General Plan and in the RH-4 zone and S-9 combining district, where detached residential developments in hillside settings are permitted.

The Zoning Manager found that the project was consistent with the Planning Code, General Plan, and the City's adopted residential guidelines (*Design Review Manual for One- and Two-Unit Residences*) and met the required Findings for approval. The proposed project was subject to the Regular Design Review criteria of the Oakland Municipal Code and complied with the applicable development standards, including but not limited to, permitted density, minimum front, side, and rear yard setbacks, maximum height limits, required off-street parking, and driveway width and slope. In addition, the Zoning Manager determined that the project would not result in a physical impact on the environment, and was, therefore, exempt from the California Environmental Quality Act (CEQA). The project was duly publicized for public comments, subsequently revised, and on April 11, 2019, the Zoning Manager approved the project (Attachment B).

On April 22, 2019, Kim Cardoso and Michael Steel (Appellants), the owners of the adjacent properties located at 6311 and 6303 Wood Drive, respectively, filed a timely appeal, and appealed the Zoning Administrator's approval of the project, citing various reasons (See Attachment A for details). The arguments are summarized below in the *Basis for the Appeal* portion of the report, along with City staff's response to each argument.

Staff recommends that the Residential Appeals Committee deny the appeal, thereby upholding the Zoning Manager's approval on the grounds that the appellant fails to demonstrate that the Zoning Manager's decision was in error and was not supported by substantial evidence in the record.

CITY OF OAKLAND PLANNING COMMISSION



Case File: APL19017 (Appeal of PLN18513)
Applicant: John Newton
Appellants: Kim Cardoso and Michael Steel
Address: Vacant Parcel located between 6303 and 6311 Wood Drive
Zone: RH-4

BACKGROUND

On December 3, 2018, the applicant submitted an application for Design Review and a Minor Variance to construct a new single-family residence at the subject vacant parcel with a 0-foot front yard setback. After staff's initial review of the project, staff worked with the applicant to revise the design to comply with zoning district development standards and design guidelines, thus withdrawing the Variance request. The applicant subsequently provided two submissions of revised drawings, which included the following changes:

1. Provided a compliant 5-foot front yard setback;
2. Improved the massing of the structure to step with the natural topography by reducing the crawlspace height by approximately 3 feet, lowering the ceiling height by more than a foot, lowering the east elevation building height by approximately 5 feet and the west elevation height by approximately 2 feet;
3. Reduced the height of the skirt walls by approximately 2 feet;
4. Introduced material, color, and articulation to reduce the structure's bulk;
5. Minimized the driveway's visual appearance by increasing the downslope grade from the street to 2% to 10%;

On February 22, 2019, as part of the project review process, staff sent out a public notice to property owners with properties located within three hundred (300) feet of the subject site to make them aware of the proposed project and invite them to review the plans and submit comments. Following the public notice, neighbors expressed concerns about the proposal's bulk and mass and potential view, shadow, and privacy impacts and concerns regarding dust, noise, and hillside stability. Zoning staff considered all the comments and determined the concerns were addressable with a design revision.

At the request of staff, the Applicant coordinated with the adjacent neighbors and discussed the concerns, changed the project design to address issues raised by staff and the neighbors, and resubmitted plans. Changes included:

1. A massing and solar access study which showed no solar access impacts on the adjacent properties;
2. Reduction of the overall building height to 32 feet;
3. Reduction of the size of windows, raise sill height to 7 feet, and eliminate windows at the side-facing elevations; and,
4. Provide obscure glass at side-facing elevations to mitigate privacy impacts.

Despite the changes made to the proposal, the comments staff received by community members echoed the sentiment of the public notice plan set. Staff determined that the project complied with all applicable regulations and guidelines, and on April 11, 2019, the Zoning Manager approved the project described in more detail below.

NEIGHBORHOOD CONTEXT

The neighborhood consists of a variety of architectural styles. The prevailing neighborhood development pattern includes large, two- to three-story single-unit homes on medium-sized parcels. Buildings are generally located near the front yard setback and have medium side yard setbacks, as well as large rear open yards for open space. The properties are dense with vegetation typical of a hillside neighborhood. Homes are close to the street and driveways lead to one or two car garages at the front of the home. The homes are predominately Ranch-style as well as include more modern interpretations. Most neighborhood homes incorporate the use of stepped and/or staggered volumes or projected and recessed masses. Contextual roof forms include sheds, hip, gable, and flat roofs. A variety of exterior building materials are used including stucco, horizontal and vertical lap siding, board and batten and accentuating brick detailing.

BASIS FOR THE APPEAL

As further detailed in supporting Attachments included as part of this Appeal (See Exhibit A for details), below are the key points of the appeal followed by staff's responses.

Kim Cardoso (Appellant #1) – Owner and resident of 6311 Wood Drive¹:

1. ***Privacy*** – *That the proposed project’s main living areas (lower-floor) and master bedroom (upper floor) are oriented in a manner that do not minimize privacy impacts on the Appellant’s outdoor patio, garden, master bedroom, and office.*

Staff’s Response: Staff has worked with the applicant to address the privacy issue by reducing the size of the upper-floor windows and providing obscure glass as prescribed by the applicable guidelines. Furthermore, privacy concerns are sufficiently addressed because there will not be direct casual views into the adjacent neighbor at 6311 Wood Drive as the upper-floor bedroom windows are offset as suggested by the Guidelines and stepped back approximately 30 feet and 40 feet from the neighbor’s yard and side-facing windows at 6311 Wood Drive. Additionally, privacy impacts are further reduced with the existing dense landscaping between the residences. Figure 1 on the following page, a Google Earth image, shows the existing dense tree canopy on the subject site and 6311 Wood Drive to the east (left) of the subject vacant parcel. It is important to note that the Applicant has located and designed the home so as to protect all existing mature trees, with the exception of one tree on the western portion of the subject property that would be removed.

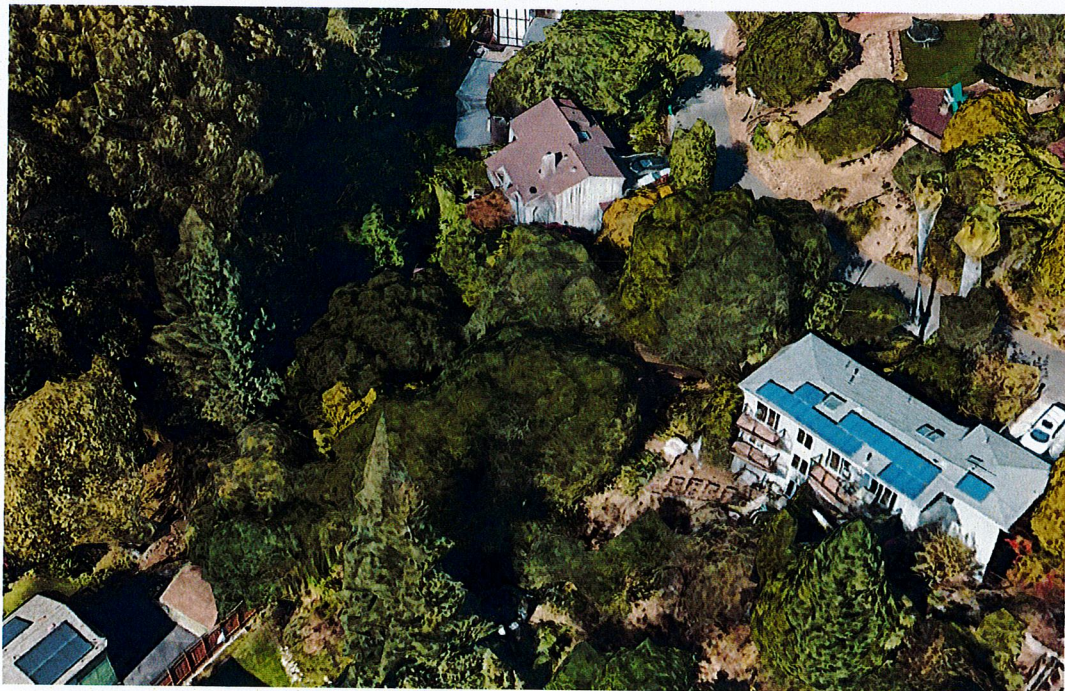


Figure 1 - Existing Canopy at Subject Property

2. ***Sunlight*** – *That the placement and height of the proposed residence will block the appellant’s afternoon sunlight.*

¹ The Appellant’s arguments have been summarized and do not reflect direct quotes. Please refer to Attachment A for the Appellant’s written Appeal.

Staff's Response: Solar access will not be impacted as a solar access study showed no shadows cast over 50% or more on actively used indoor or outdoor areas for at least two times in a day. Figure 2 on shows the solar access study results and no impact on the adjacent residences.



9 a.m. Noon 3 p.m.
Left: 6303 Wood Drive, Center: Subject Property, Right: 6311 Wood Drive
Figure 2- Solar Access Study – Rear Elevations

3. **Views** – That the placement and height of the proposed residence is within the appellant's living room and upper deck view corridor, blocking panoramic views and occasional views of the San Francisco Bridge when nearby trees are pruned.

Staff's Response: Criteria 1 of the City's adopted residential design guidelines notes that the project shall make reasonable effort to maintain the most significant views from primary living spaces of existing residences in close proximity to the lot and view protection is considered within view corridors, subject to view protection limitations. Significant views are defined as views of the bridges, downtown Oakland or San Francisco skyline, a large portion of the bay, a panoramic view of a major natural feature, or a prominent landmark. Primary living spaces are defined in order as main living room, master bedroom, view-oriented deck or patio, kitchen or dining area, or if none of the above, another bedroom. View corridors are defined as sight lines from primary living spaces to significant views; furthermore, a side-facing elevation view corridor is protected only on cross-slope lots steeper than 20% and a change in elevation between abutting residences of at least 10 feet.

As described above, the Appellant is incorrect in respect to potential view impacts pursuant to the design review criteria. There are no protected significant views at this property. The views of homes on the hill with vegetation is not a major natural feature. The Manual provides guidance here with examples of major features such as the Oakland/Berkeley hills, Mount Diablo, Lake Merritt, etc. Furthermore, as detailed in the Appeal, the pruning of trees on an adjacent lot, allowing the Appellant to "periodically" have views of "the bridge and San Francisco" is not a significant view. Figure 3 on the following page of a Google Earth image shows that the Appellant's property and primary living spaces face south, whereas the proposed project is located to the west, where a view corridor does not exist.

Although the Appellant's property does not have view corridors impacted by the proposed project, the Applicant revised the elevation facing the Appellant's property by lowering a portion of the overall building height by approximately 5 feet where facing the Appellant's property while maintaining a minimum distance of 20 feet from the house to the Appellant's home.



Figure 3 - Aerial View – Southwest-facing

4. **Height** – That the proposed residence could be lowered into the hillside and/or the ceiling height could be reduced.

Staff's Response: In accordance with the Regular Design Review Findings and Criteria 7 Bulk: Special Methods for Hillside, the building steps down the hillside as the elevation slopes down from the street to the rear of the property. At the request of staff and the neighbors, the Applicant further reduced the height of the structure by approximately 5 feet at the east-facing elevation (facing 6311 Wood Drive) and 2 feet at the west-facing elevation (facing 6303 Wood Drive). The Zoning allows buildings that are on a 20-40% building footprint slope to have a maximum wall height of 32'. The home has achieved a Zoning-compliant overall building height of 32 feet. Furthermore, as requested by staff and in accordance with Criteria 7.3: Skirt Walls, the Applicant further stepped the structure down with the slope to reduce the skirt walls to a maximum height of 3 feet along the east-facing elevation, reducing the perceived and actual bulk of the home.

5. **Setbacks** – That the home is inconsistent with the adjacent residences' front yard setbacks and should be moved uphill, resulting in a reduced front setback parallel with the adjacent lots, as well as increase the side yard setback at the rear elevation.

Staff's Response: The house is situated to provide Zoning-compliant setbacks, as detailed in the above *Zoning Analysis* section. The house is located well within the bounds of the allowable building envelope and situated to respect the existing site features and natural amenities of the lot. Specifically, the house is located on the flattest portion of the lot, avoiding excessive grading and retaining walls and maintaining the natural hillside downslope from the street, while also preserving twelve (12) of the thirteen (13) mature trees located on the site.

Had the Applicant shifted the structure north, closer to the front property line, the resulting design would compromise the natural hillside topography and existing vegetation, and likely result in a less desirable

structure footprint and floor plan. As approved, the building volumes are carefully organized to create transitions and maintain openness between the existing structures.

Furthermore, the Appellant noted in the Appeal that the neighbor located to the east has a side elevation located 35 feet from the side of their home; however, this building separation is not common in the neighborhood. As shown in Figure 4 below, the neighborhood does not have a context of 35-foot distances between side-facing elevations. Rather, the majority of structures are located far closer together, often times separated by less than 15 feet between adjacent building side elevations.



Figure 4 - Side Setback Context

6. Project Posting Procedure – That the City’s public notice procedure fosters distrust and poor faith.

Staff’s Response: The project was publicized in compliance with the Regular Design Review notification procedures as specified in Planning Code Section 17.136.040.C. Notice was given by mail to all property owners within three hundred (300) feet of the project site no less than seventeen (17) days prior to the date set for decision on the application by the Planning Director. On February 22, 2019 staff publicized the project by mailing notices via U.S. Mail and three days later also having a yellow sign posted at the subject project site. Pursuant to Planning Code Section 17.130.030, notice by mail is deemed given on the date the notice is placed into the U.S. Mail system. Following the notice, Planning staff received and considered comments from some interested parties. Staff received comments from neighbors and followed up numerous times by email and telephone. Following consideration of the comments and further modifications to the proposal made by the Applicant, the project was ultimately determined to comply with the Zoning standards and design guidelines and approved by the Director on April 11, 2019.

The Appellant is correct that the notice sign was posted on the subject parcel on February 25, 2019, three (3) days after the notice by mail was sent on February 22, 2019. Due to the delay, and by the request of staff, the notice sign remained posted onsite for an extended period of time to account for the delayed posting.

7. Noise, Dust and Structural Stability – That the Appellant will not tolerate construction noise beyond reasonable hours nor excessive dust on her garden, in her home, and breathed by her family; and that site drilling on the subject lot will threaten the stability of the hillside.

Staff Response: The Zoning Manger decision letter dated April 11, 2019 (Attachment B) includes standard conditions of approval (SCA) that address the Appellant’s above concerns relating to noise, dust, and structural stability. The following SCAs are included in the decision letter:

- **SCA #17 – Dust Controls – Construction Related**
- **SCA #18 – Criteria Air Pollutant Controls – Construction Related**
- **SCA #24 – Seismic Hazards Zone (Landslide/Liquefaction)**
- **SCA #27 – Erosion and Sedimentation Control Plan for Construction**
- **SCA #33 – Construction Days/Hours**
- **SCA #34 – Construction Noise**
- **SCA # 35 – Extreme Construction Noise**
- **SCA # 36 – Operational Noise**

Michael Steel (Appellant #2) – Owner and resident of 6303 Wood Drive²:

8. **Shadows** – *That the proposed project will adversely impact the solar access to the Appellant’s easterly-facing sun deck and floor to ceiling windows that allow light to the eating and living areas.*

Staff Response: Please see Staff’s response to Argument 2 referring to solar access impacts.

9. **Privacy** – *That the project’s ten (10) windows located at the west elevation will adversely impact the privacy of the Appellant’s bedroom, sun deck, hot tub and living room.*

Staff’s Response: Staff has worked with the applicant to address the privacy issue by reducing the size of the upper-floor window living room windows and providing obscure glass at the stairway as prescribed by the applicable guidelines. Furthermore, privacy concerns are mitigated because there will not be direct casual views into the adjacent neighbor at 6303 Wood Drive as the upper-floor windows are offset as suggested by the Guidelines and stepped back approximately 25 to 40 feet from the Appellant’s side-facing windows at 6303 Wood Drive. Furthermore, the dense landscaping between the residences visually obscures views into the windows and outdoor areas of 6303 Wood Drive. Figure 5 on the following page, a Google Earth image, shows the existing dense tree canopy on the subject site and 6303 Wood Drive to the west (left) of the subject vacant parcel.

² The Appellant’s arguments have been summarized and do not reflect direct quotes. Please refer to Attachment A for the Appellant’s written Appeal.



Figure 5 – Landscaping at 6303 Wood Drive and Subject Parcel

10. Massing – That the project’s monolithic massing does not step with the hillside topography and appears as a giant wall.

Staff’s Response: Criteria 7 of the design guidelines discusses special methods to reduce bulk on hillsides. These guidelines include, though are not limited to, stepping the building massing with the terrain, breaking the building into multiple volumes with staggered setbacks, maintaining openness between buildings, and providing strong shadow patterns on downslope elevations.

The project meets the guidelines. As shown in the approved plans (Attachment C) and Figures 6 and 7 on the following page, the building’s massing is proportionate to the Appellants’ homes. The building steps with the downslope terrain and the multiple volumes have staggered setbacks at the front and along the sides of the structure. Furthermore, the tapered building footprint with increased side yard setbacks beyond what the Zoning requires maintains openness between the home and the Appellants’ properties. In addition to the multiple volumes and stepped-back building footprint, the project incorporates modest projections and overhangs as well as recessed openings to provide strong shadow patterns to further reduce the bulk of the structure and provide visual interest.



Figure 6 - Massing at Rear Elevations (Left: 6303 Wood Dr, Center: Subject Parcel; Right: 6311 Wood Dr)

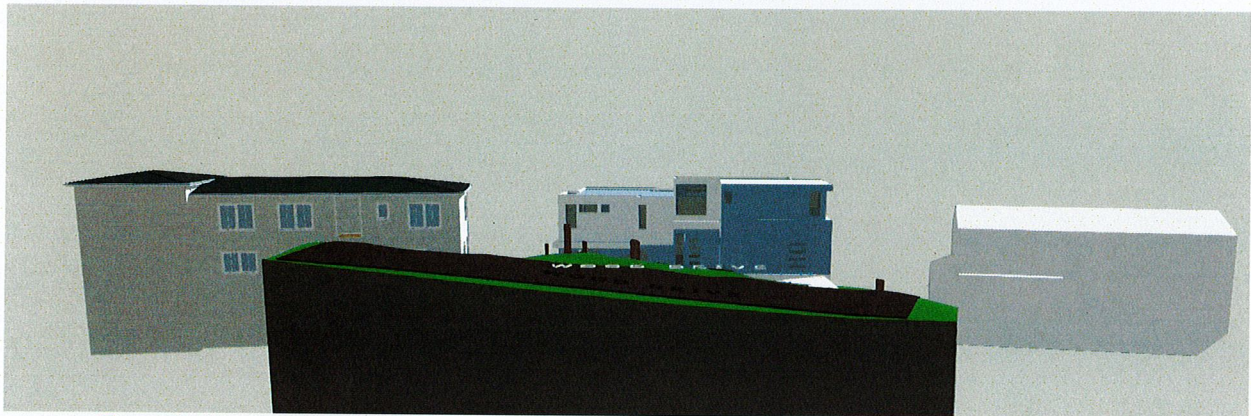


Figure 7 - Massing at Front Elevations (Left: 6311 Wood Dr, Center: Subject Parcel, Right: 6303 Wood Dr)

11. Windows – *That the project's ten (10) westerly windows are excessive and should be located a minimum of 5 feet above floor level, be removed, or reduced in size and/or transparency.*

Staff Comment: Please see Staff's response to Argument 9 referring to privacy and windows.

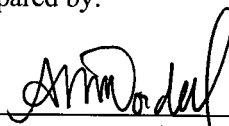
CONCLUSION

In conclusion, the Appellant fails to cite any error or abuse of discretion by the Zoning Manager and / or when the decision is not supported by evidence in the record. There is no reasonable basis for overturning staff's determination, as reflected in the Findings for Approval and this staff report. Staff recommends that the RAC uphold the Zoning Manager's decision and deny the Appeal.

RECOMMENDATIONS:

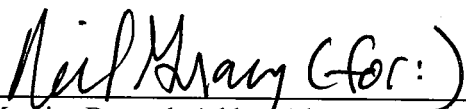
1. Uphold staff's CEQA environmental determination
2. Deny the appeal and uphold the Zoning Administrator's approval of the project based on this appeal report

Prepared by:



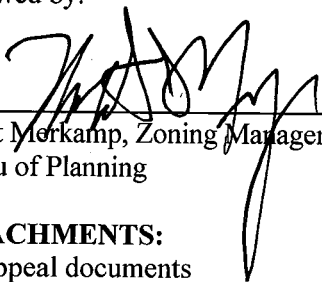
Alexi Wordell, Planner I

Reviewed by:



Maurice Brenyah-Addow, Planner IV

Reviewed by:



Robert Merkamp, Zoning Manager
Bureau of Planning

ATTACHMENTS:

- A. Appeal documents
- B. Zoning Manager Approval letter
- C. Approved Project Plans dated April 1, 2019



**CITY OF OAKLAND
 APPEAL FORM
 FOR DECISION TO PLANNING COMMISSION, CITY
 COUNCIL OR HEARING OFFICER**

PROJECT INFORMATION

Case No. of Appealed Project: PLN 18513
 Project Address of Appealed Project: Between 6303 and 6311 Wood Drive, south side
 Assigned Case Planner/City Staff: Alexi Wordel

APPELLANT INFORMATION:

Printed Name: Kim Cardoso + Michael Sted Phone Number: Kim 415-505-0165 Michael
 Mailing Address: 6311 and 6303 Wood. Alternate Contact Number: _____
 City/Zip Code Oakland, 94611 Representing: _____
 Email: kimthemicidwife@gmail.com mi msted@mofo.com

An appeal is hereby submitted on:

AN ADMINISTRATIVE DECISION (APPEALABLE TO THE CITY PLANNING COMMISSION OR HEARING OFFICER)

YOU MUST INDICATE ALL THAT APPLY:

- Approving an application on an Administrative Decision
- Denying an application for an Administrative Decision
- Administrative Determination or Interpretation by the Zoning Administrator
- Other (please specify) Appeal

Please identify the specific Administrative Decision/Determination Upon Which Your Appeal is Based Pursuant to the Oakland Municipal and Planning Codes listed below:

- Administrative Determination or Interpretation (OPC Sec. 17.132.020)
- Determination of General Plan Conformity (OPC Sec. 17.01.080)
- Design Review (OPC Sec. 17.136.080)
- Small Project Design Review (OPC Sec. 17.136.130)
- Minor Conditional Use Permit (OPC Sec. 17.134.060)
- Minor Variance (OPC Sec. 17.148.060)
- Tentative Parcel Map (OMC Section 16.304.100)
- Certain Environmental Determinations (OPC Sec. 17.158.220)
- Creek Protection Permit (OMC Sec. 13.16.450)
- Creek Determination (OMC Sec. 13.16.460)
- City Planner's determination regarding a revocation hearing (OPC Sec. 17.152.080)
- Hearing Officer's revocation/impose or amend conditions (OPC Sec. 17.152.150 &/or 17.156.160)
- Other (please specify) _____

(Continued on reverse)

(Continued)

- A DECISION OF THE CITY PLANNING COMMISSION (APPEALABLE TO THE CITY COUNCIL)** Granting an application to: OR Denying an application to:

YOU MUST INDICATE ALL THAT APPLY:

Pursuant to the Oakland Municipal and Planning Codes listed below:

- Major Conditional Use Permit (OPC Sec. 17.134.070)
- Major Variance (OPC Sec. 17.148.070)
- Design Review (OPC Sec. 17.136.090)
- Tentative Map (OMC Sec. 16.32.090)
- Planned Unit Development (OPC Sec. 17.140.070)
- Environmental Impact Report Certification (OPC Sec. 17.158.220F)
- Rezoning, Landmark Designation, Development Control Map, Law Change (OPC Sec. 17.144.070)
- Revocation/impose or amend conditions (OPC Sec. 17.152.160)
- Revocation of Deemed Approved Status (OPC Sec. 17.156.170)
- Other (please specify) _____

FOR ANY APPEAL: An appeal in accordance with the sections of the Oakland Municipal and Planning Codes listed above shall state specifically wherein it is claimed there was an error or abuse of discretion by the Zoning Administrator, other administrative decisionmaker or Commission (Advisory Agency) or wherein their/its decision is not supported by substantial evidence in the record, or in the case of Rezoning, Landmark Designation, Development Control Map, or Law Change by the Commission, shall state specifically wherein it is claimed the Commission erred in its decision. The appeal must be accompanied by the required fee pursuant to the City's Master Fee Schedule.

You must raise each and every issue you wish to appeal on this Appeal Form (or attached additional sheets). Failure to raise each and every issue you wish to challenge/appeal on this Appeal Form (or attached additional sheets), and provide supporting documentation along with this Appeal Form, may preclude you from raising such issues during your appeal and/or in court. However, the appeal will be limited to issues and/or evidence presented to the decision-maker prior to the close of the public hearing/comment period on the matter.

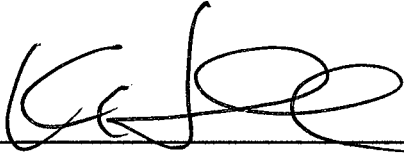
The appeal is based on the following: (Attach additional sheets as needed.)

Please see the attached documents which detail the errors regarding privacy, views, siting, use of outdoor space, prominence and perceived bulk, and lack of changes in early design stages. All issues remain from my first comments. Additional supporting documentation is included. No one from the city visited the site before approval. It is a complex hill side that can not be visualized from pictures alone.

Supporting Evidence or Documents Attached. (The appellant must submit all supporting evidence along with this Appeal Form; however, the appeal will be limited evidence presented to the decision-maker prior to the close of the public hearing/comment period on the matter.

(Continued on reverse)

(Continued)



Signature of Appellant or Representative of
Appealing Organization

4/22/19

Date

TO BE COMPLETED BY STAFF BASED ON APPEAL TYPE AND APPLICABLE FEE

APPEAL FEE:

\$ 1,622.57

Fees are subject to change without prior notice. The fees charged will be those that are in effect at the time of application submittal. All fees are due at submittal of application.

Below For Staff Use Only

Date/Time Received Stamp Below:

Cashier's Receipt Stamp Below:

All highlighted areas are of concern.

ATTACHMENT A: FINDINGS

This proposal meets all the required findings under the **Regular Design Review Criteria (Section 17.136.050)** of the **Oakland Planning Code (OMC Title 17)** as set forth below and which are required to approve your application. Required findings are shown in bold type; reasons your proposal satisfies them are shown in normal type.

- 1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures;**

The proposed project has a contemporary design that harmonizes with the adjacent single-family residential properties and surroundings in terms of setting, scale, bulk, height, exterior materials and treatments. Specifically, the proposed residential facility complies with the required setbacks, similarly to adjacent residences. The proposed side setbacks are greater than the minimum required, allowing for a pedestrian-oriented front facade with adequate distance for privacy between the adjacent residences. Furthermore, the proposed residence is composed of moderately-scale geometric volumes and planes, hierarchically organized to minimize perceived bulk while complying with the height requirements and maintaining massing that steps with the natural topography.

- 2. That the proposed design will protect, preserve, or enhance desirable neighborhood characteristics;**

The project maintains the single-family residential character of the neighborhood and neither proposes a higher density nor introduces a prohibited activity at the site. The proposed residence is sensitive to the natural environment, preserving the hillside character and dense landscaping, including all but one tree. In addition to the existing dense landscaping, the project is adequately stepped with the topography and oriented to minimize shadow, view, and privacy impacts to adjacent properties. The proposed improvements to the vacant site will provide a functional living space for the residents while maintaining a design that is complementary to the neighborhood. It will contribute to the City's goal of increasing the housing stock in Oakland.

- 3. That the proposed design will be sensitive to the topography and landscape.**

made from fill.
safety concern. *

The project is situated such that the building is located on the flattest portion of the site and the building volumes have been designed to align with the site contours in order to minimize the grading and need for retaining walls. The structure's footprint has been designed to preserve the existing vegetation, protecting all trees with the exception of one tree to be removed. The tree to be removed will be replaced with a new replacement tree species that is sensitive to the hillside vegetation.

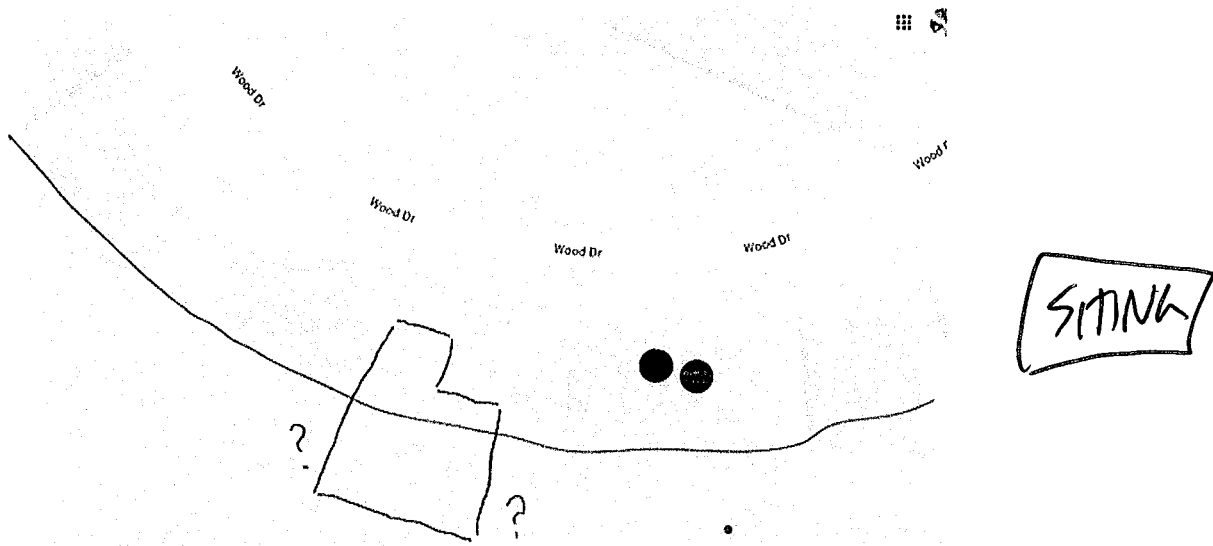
- 4. That, if situated on a hill, the design and massing of the proposed building relates to the grade of the hill;**

Consistent with the City's adopted residential guidelines, including hillside properties, the proposed building is massed such that it is designed into distinctive geometric volumes and planes, skillfully arranged to minimize the perceived bulk as well as mitigate shadow, view, or privacy impacts. Furthermore, to maintain openness between structures, the residence has been designed to have increased side yard setbacks between adjacent structures.

- 5. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.**

The project involves the construction of a detached single-family residence on a 12,428-square-foot vacant, down-sloping site within the Hillside Residential General Plan classification. The project is consistent with all significant respects of the General Plan, including but not limited to, maintaining the low density and residential hillside character of the land use classification.

The red line is the natural line of the back of the houses on Wood Drive. The proposed house juts way beyond this norm.

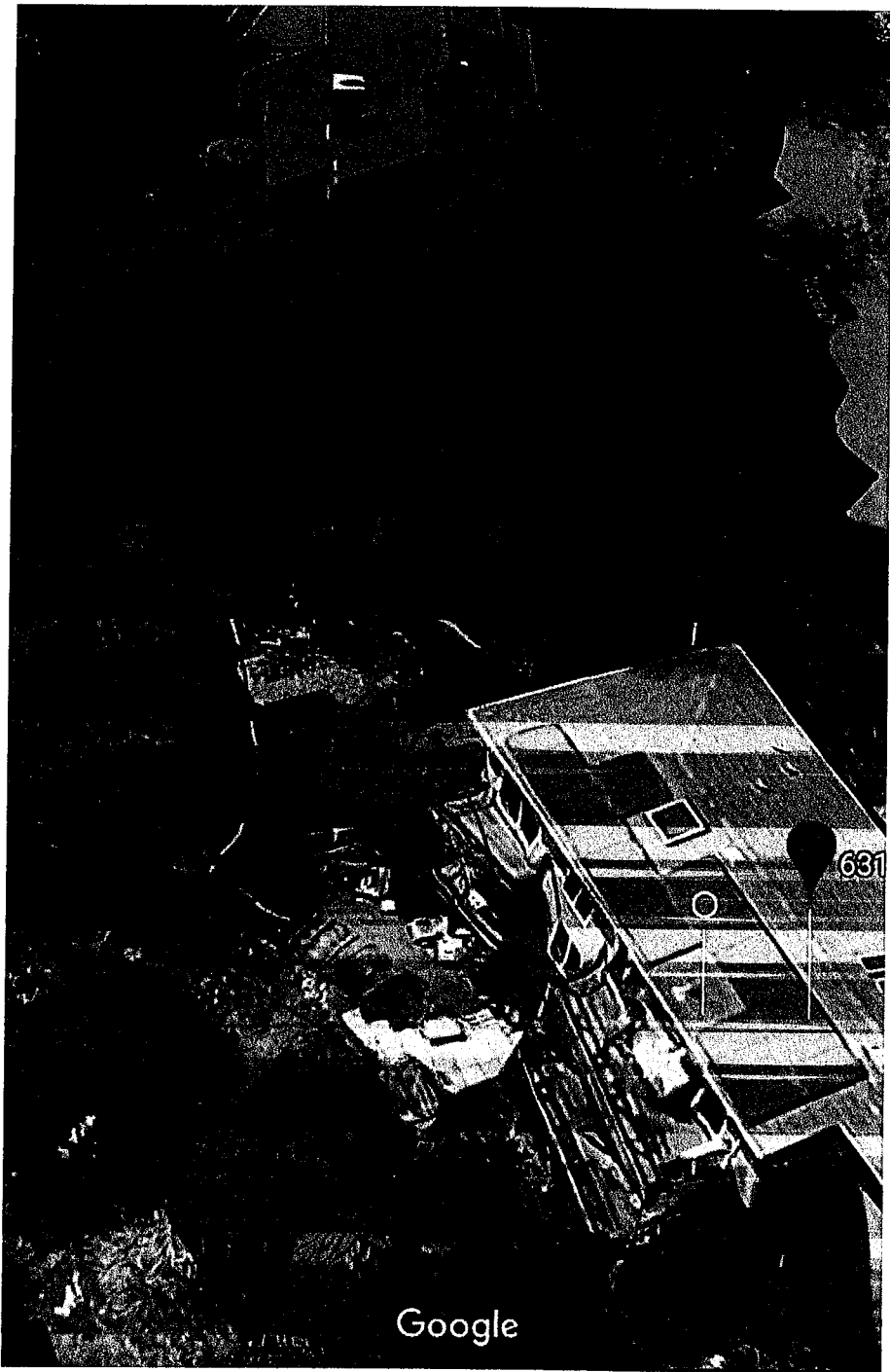


And the view from the kitchen window of the proposed house- looking at ALL of my principal outdoor areas: ⁶³¹



PRIVACY

Blue is tall oaks.
Red is prime outdoor living.
No tall vegetation between.



631

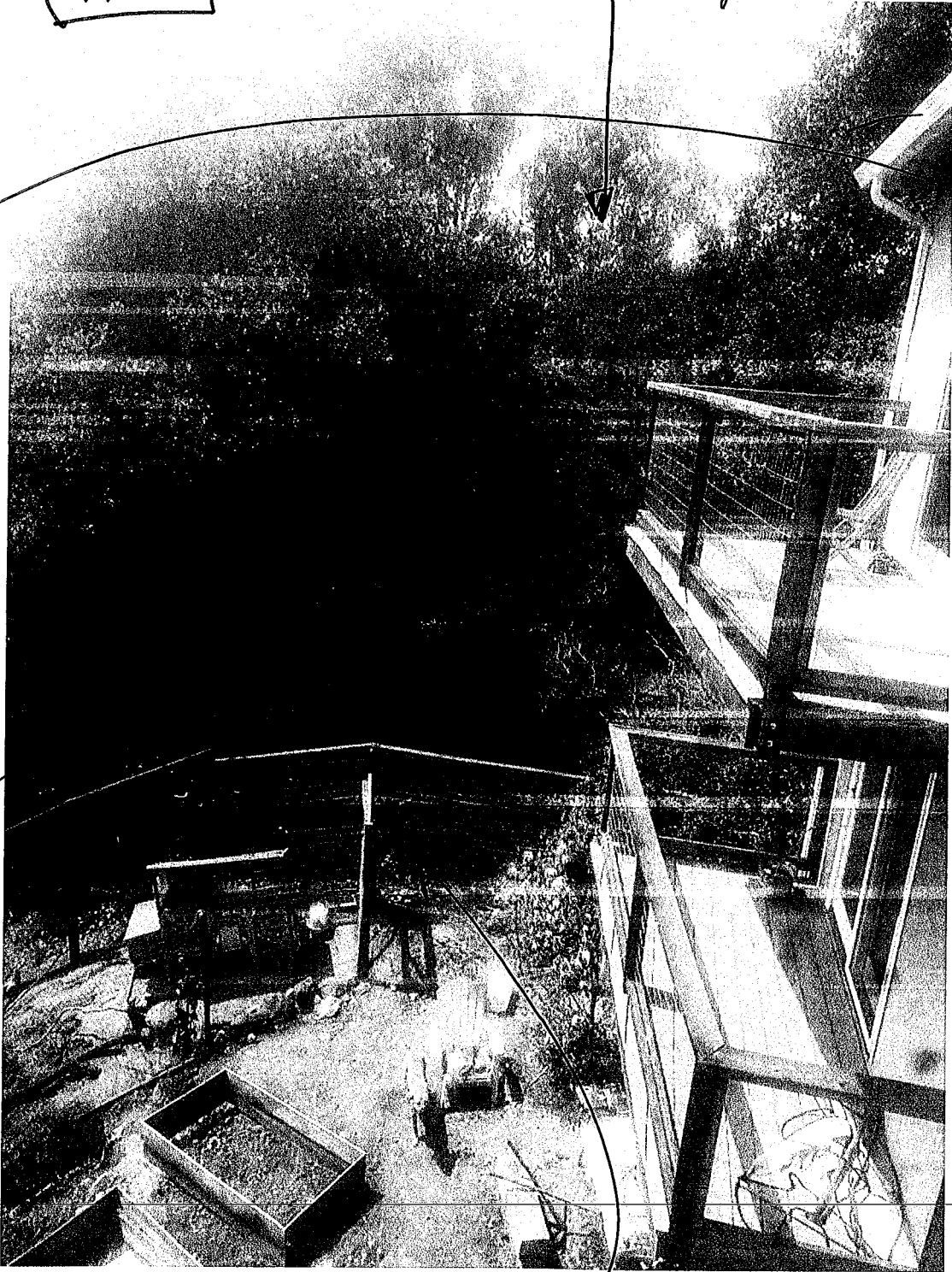
634

PRIVACY

VIEW

through here city lights,
bridge in winter and with privacy.

woodland
view
continues
to the
garden



BULK

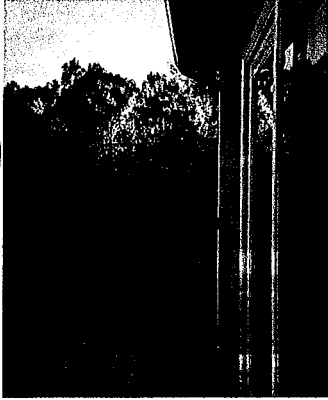
Only IVY between the lots at the point of garden and decks.

6311 - vacant

PRIVACY

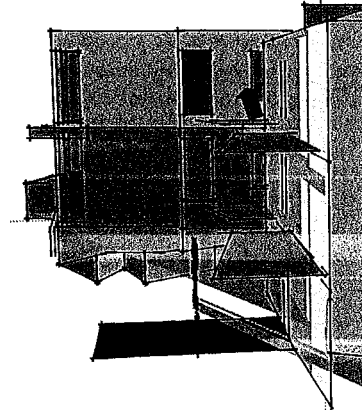
6311

10/27/18 6:36 pm. Sunset from upper West deck



SMSK
VIEW

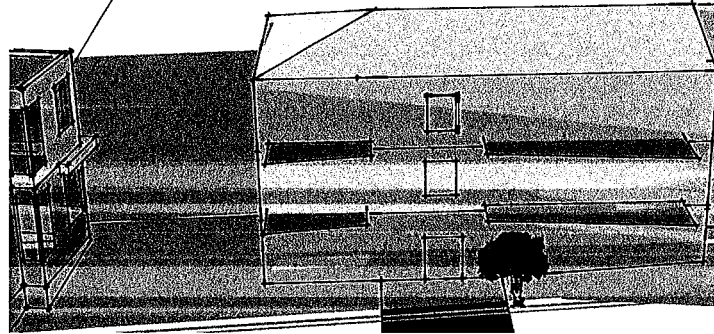
Will have view of a house instead of the sun setting through the magnificent oaks.



9/18/18 6:40 pm. Last rays of sun on the upper East deck.



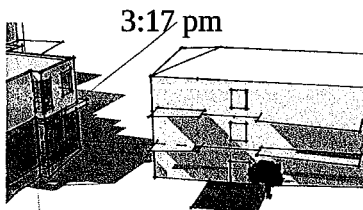
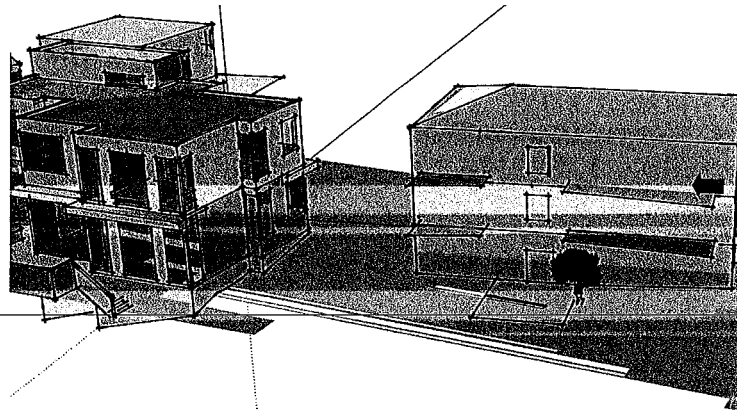
By 5:30, that deck is already in shadow, and we're still at work.



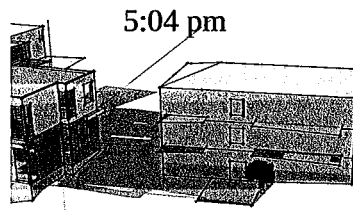
4/28/18 6:23 pm. Still enjoying bright rays of sunlight on the upper East deck.



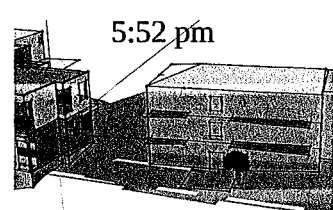
With new house, total shadow.



3:17 pm



5:04 pm



5:52 pm

Shadow progression for April 28: At 3:17, sun on our house. By 5 pm the lower patio is shaded, and the upper deck has limited sun. Before 6 pm the deck is in complete shadow. **The new construction robs us of an hour of our prime evening sun in the best outdoor seasons.**

6311

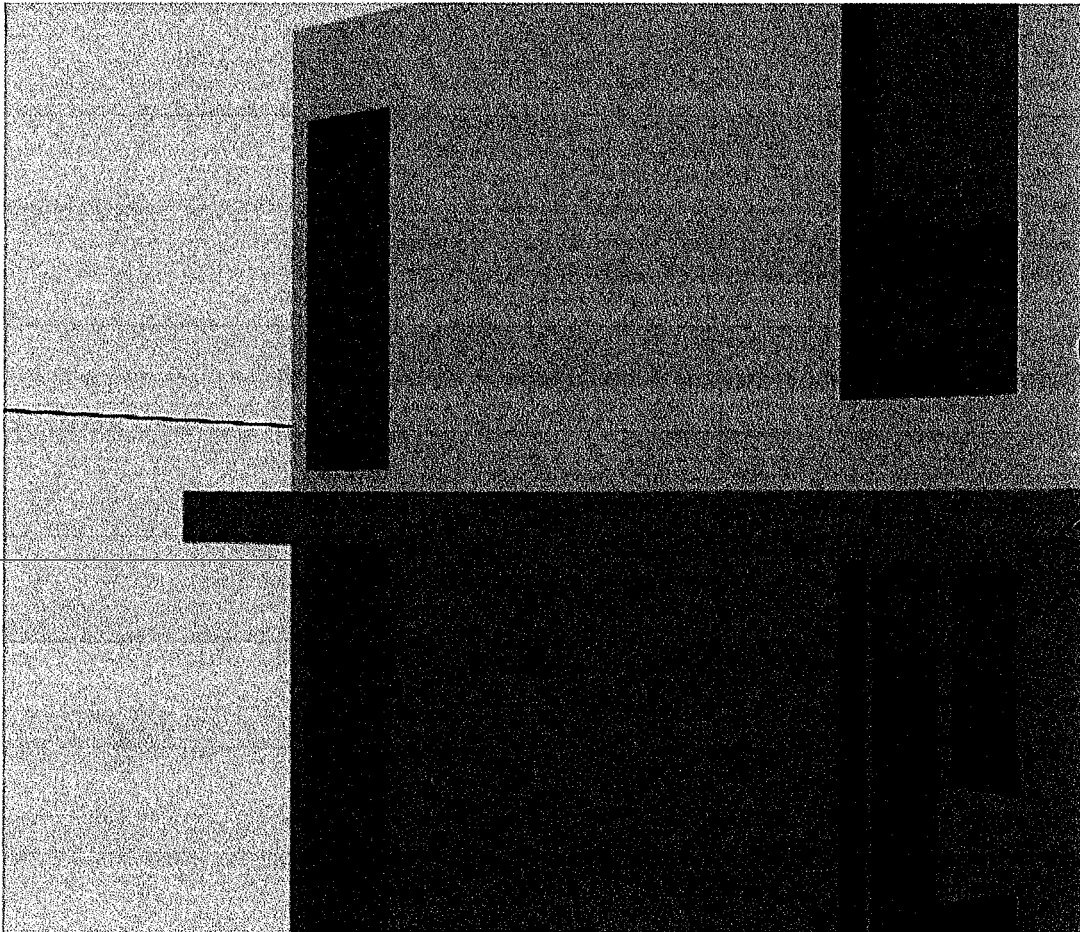
The proposed view from MY Main deck:



BULK

6311

Proposed view from MY Master bedroom:



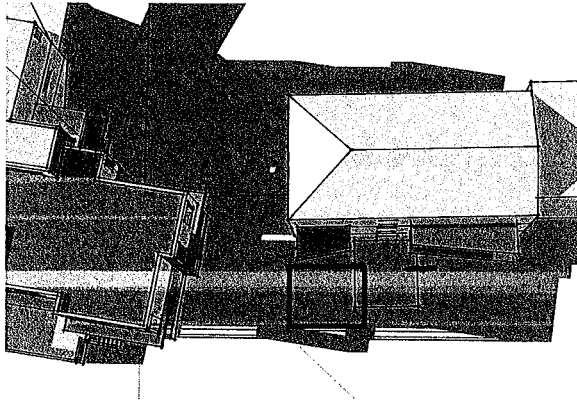
BULK

6311

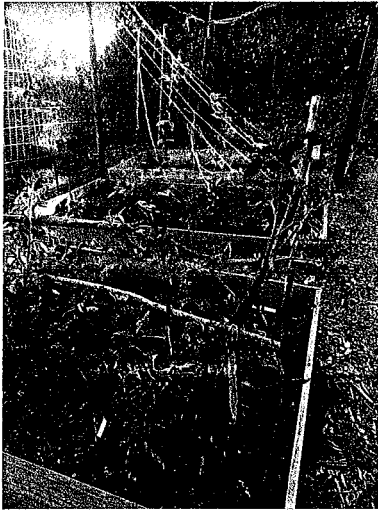
4/17/2018 5:27 pm. Sun in garden.



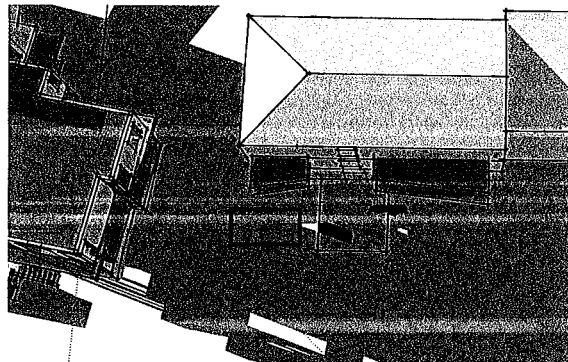
Total shade, entire backyard.



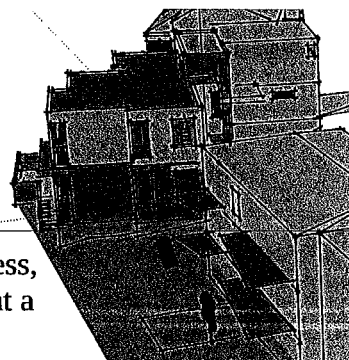
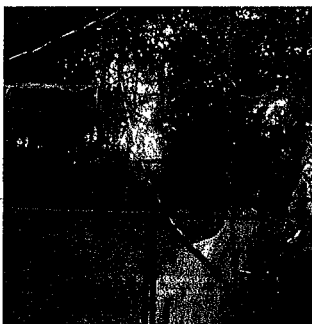
7/18/16 6:20 pm Summer sun on vegetables.



Total shade on outdoor living.



9/23/18 6:57 pm Glowing sunset from the garden.



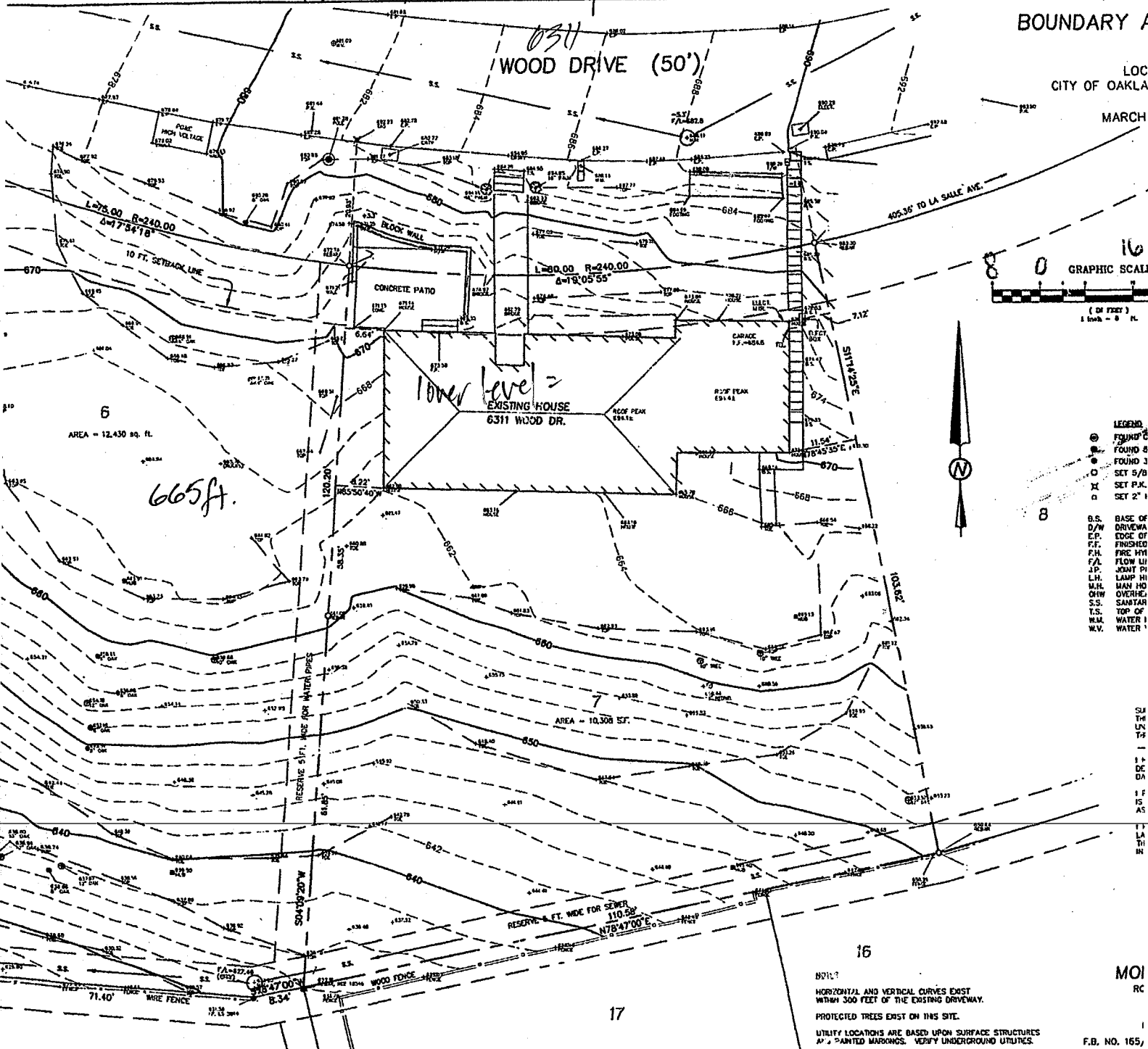
In darkness, looking at a house.

Sunset view from ramp level.

No trees other than the large oak they plan to remove

VIEW

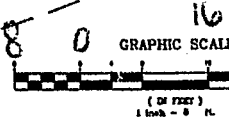
Cross slope + down slope



BOUNDARY A

LOC. CITY OF OAKLAND

MARCH



LEGEND

- FOUND 1
- FOUND 2
- FOUND 3
- SET 5/8
- SET P.K.
- SET 2" 1

- B.S. BASE OF DRIVEWAY
- D/W
- E.P. EDGE OF FINISHED
- F.F. FIRE HYD.
- F.L. FLOW LI
- J.P. JOINT PI
- L.H. LAMP HI
- M.H. MAN HO
- O.H. OVERHEAD
- S.S. SANITARY
- T.S. TOP OF WATER
- W.V. WATER

- SU
- TH
- UN
- T-2
- 1
- DC
- DA
- 1
- F
- IS
- AS
- 1
- LA
- TR
- IN

MOI RC

NOTE:
 HORIZONTAL AND VERTICAL CURVES EXIST WITHIN 300 FEET OF THE EXISTING DRIVEWAY.
 PROTECTED TREES EXIST ON THIS SITE.
 UTILITY LOCATIONS ARE BASED UPON SURFACE STRUCTURES AND PAINTED MARKINGS. VERIFY UNDERGROUND UTILITIES.

F.B. NO. 165,

Purpose, Objectives, and Emphasis of the Design Review Manual

<http://www2.oaklandnet.com/oakcal/groups/cedal/documents/webcontent/oak035210.pdf>

OAKLAND DESIGN REVIEW MANUAL FOR ONE AND TWO UNIT RESIDENCES

Purpose and Intent

The Design Review Manual for One- and Two-Unit Residences complements existing zoning regulations and the residential design review procedures of the Oakland Planning Code:

The Design Review Manual provides certainty and predictability in the design review process through the establishment of uniform Citywide decision-making criteria for all one- and two-unit projects subject to design review. The Manual serves as the basis for design review approval findings by City staff and, when necessary, the City Planning Commission and the City Council. The Manual is intended to be specific enough to guide development, while at the same time flexible enough to not preclude creative design solutions.

Design review objectives are: (1) to create safe, attractive and stable neighborhoods; (2) maintain property values; (3) provide attractive and highly livable housing that meets the needs of all Oakland residents; and (4) safeguard the City's architectural heritage.

Through the Design Review Manual, the City encourages residential designs that are sensitive to natural conditions and conserve, protect and enhance the unique character of Oakland neighborhoods. Emphasis is placed on the following design features: harmonious relationships between the proposal and existing conditions; the provision and maintenance of usable open space; effective orientation to sun and other elements; and efficiency of land use.

Oakland has many neighborhood environments that vary in landforms, vegetation, development patterns and development densities. Much of the Upper Hill Area is characterized by open canyons, steep natural landforms, native and other naturalistic vegetation, large lots and narrow winding roads. The Lower Hill Area is characterized by smaller hills of varied steepness, natural and ornamental vegetation and more urban development patterns and densities. The flatland areas are mostly characterized by grid street systems and ornamental rather than naturalistic vegetation.

Introduction

In between these areas are transitional neighborhoods, such as parts of Montclair, which share aspects of both natural and urban settings and are often considered rustic or informal. The Manual seeks to promote design solutions that recognize and are compatible with these different environments.

The Manual provides project sponsors, neighbors and the general public with clear documentation of the City's design objectives and expectations. Toward this end, the Manual presents design approaches which, if followed, will offer project sponsors a high level of certainty through the design review process, assuming their projects conform to all other applicable City standards.

How to Use the Manual's Design Review Criteria and Guidelines

The Design Review Manual consists of both Criteria and Guidelines. The Criteria set forth the overall policy which is then expressed more specifically in the Guidelines.

To be granted design review approval, a project must conform to all of the applicable Criteria. The Guidelines that follow each Criterion provide methods to interpret and help meet that Criterion.

The City recognizes the Manual cannot anticipate all acceptable solutions to a particular design problem. Therefore, the Guidelines are intended to encourage a variety of good design solutions and are not intended to dictate particular design methods. Methods other than those set forth in the Guidelines may often be appropriate. Strict conformity with the Guidelines may therefore not be necessary as long as the City determines that the relevant Criteria are met. Such determinations may require additional time to review the application.

CRITERION 1: View Impacts

OAKLAND DESIGN REVIEW MANUAL FOR ONE AND TWO UNIT RESIDENCES Criterion 1: View Impacts on Neighboring Properties

CRITERION 1: VIEWS

A project shall make a reasonable effort to maintain the most significant views from primary living spaces of existing residences on lots in close proximity to the project site. View protection is considered for views that are located within view corridors, subject to view protection limitations.

GUIDELINES:

1.1 DEFINITIONS

A. "Significant views" are distant views of the following scenic sites, in order of priority:

1. Golden Gate Bridge, Bay Bridge, other bridges, downtown Oakland or San Francisco skyline;
2. A large portion of San Francisco Bay and/or San Pablo Bay;
3. A panoramic view of a major natural feature, such as the Oakland/Piedmont/Berkeley Hills, a large open hillside, Mount Tamalpais, Mount Diablo, Lake Merritt, etc.;
4. A prominent structural landmark, such as U.C. Berkeley Campanile, Mormon Temple, etc.

B. "Primary Living Spaces" include, in order of priority:

1. Main living room or family room;
2. Master bedroom;
3. View-oriented deck or patio;
4. Dining area or kitchen; or
5. If none of above, another bedroom having the only significant view.

C. "View Corridors" are sight lines from "primary living spaces" (1.1B) to "significant views" (1.1A) extending outward from the following designated viewpoints:

1. Rear elevations on down-slope lots at least one level (about 10 feet) above adjacent grade;
2. Front elevations on up-slope lots at least one level (about 10 feet) above the street pavement;
3. The front and rear 15 feet of upper level side-facing elevations, but only on cross-slope lots steeper than 20% and a change in elevation between abutting residences of at least 10 feet (about one story).

(See Figure 1.1C)

1.2 VIEW IMPACT EVALUATION

- A. View protection will be considered for all existing residences abutting the project site or directly across the street (see Figure 1.2). View protection will also be considered for residences on lots within 300' of the project site in cases where the potential view impact is called to the City's attention.
- B. For purposes of the Manual, a "view impact" relates only to the potential view obstruction resulting from additions, alterations and/or new construction of one- and two-unit residences, and not from trees or other vegetation.
- C. If a significant view is wide angle or panoramic, then an obstruction of ten (10) degrees or more would usually be considered a view impact. If the view is instead toward a single object, such as the Golden Gate Bridge, then any level of obstruction may be considered a view impact.
- D. Sight lines toward a significant view begin at seated eye level (4' above floor level). Proposed roof lines should be a minimum of 2 feet below eye level but may need to be lower if significant distance separates the project and impacted building, due to the downward angle of views.
- E. Where more than one neighboring property has a view corridor over the project site, view protection priority will be given to the closer property(ies).
- F. Where a neighboring property has more than one view corridor over the project site, priority will be given to protecting the best available view as determined by the guidelines.
- G. Story poles may be required, at staff's discretion, to adequately evaluate potential impacts on views.

1.3 VIEW PROTECTION LIMITATIONS--REASONABLE EFFORTS

View protection techniques as described in guideline 1.4 below are typically not required if any of the following apply:

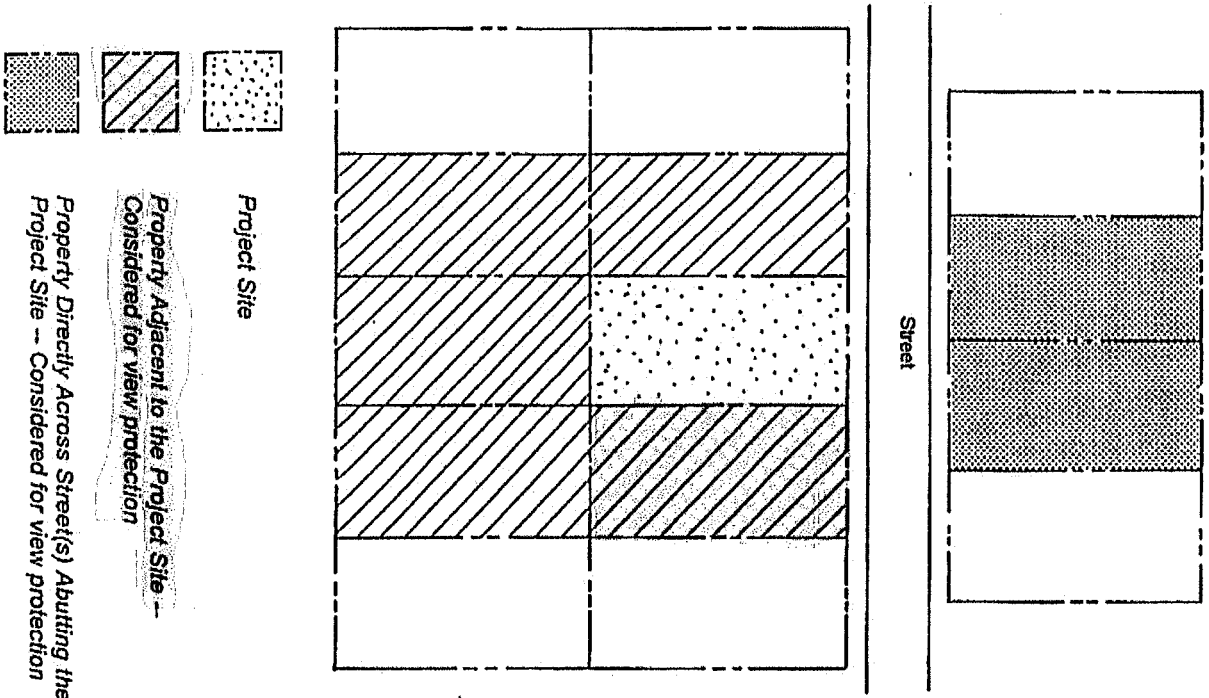
- A. The project maintains the best views from neighboring properties but other views are reduced or blocked, or
- B. View protection techniques would result in lesser or lower quality views for the project than neighboring properties, or
- C. View protection techniques would result in a house significantly smaller in floor area or height than neighboring residences on similar lots, or a house less than two stories in height (except for small portions that may need to be limited to one story to preserve a view), or
- D. View protection techniques would require reducing the project's height more than 20 percent below the Zoning Regulation's height limits (without a Variance or Conditional Use Permit) and/or reducing the buildable area as defined by the front, side or rear setbacks more than 20 percent.

1.4 VIEW PROTECTION TECHNIQUES

On the following pages are common design techniques affecting a home's height, siting, massing, or depth in order to maintain views from neighboring properties. These techniques should be used at the early stages of design.

Where a significant view is impacted by a proposed design, one or more of the following techniques may be required for mitigation:

FIGURE 1.1: PROPERTIES ELIGIBLE FOR VIEW PROTECTION



Project Site

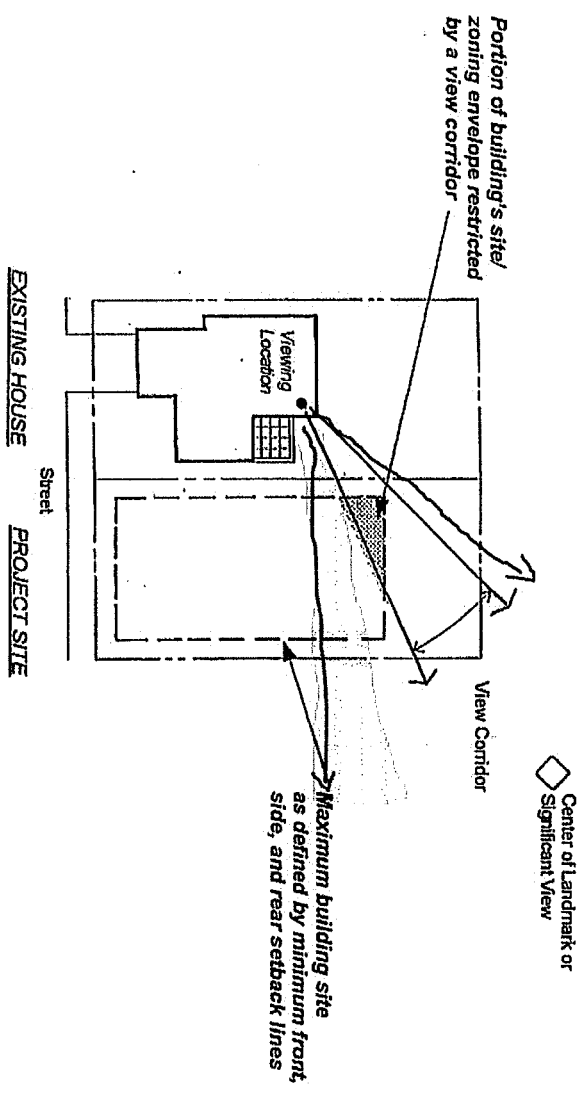
Property Adjacent to the Project Site --
Considered for view protection

Property Directly Across Street(s) Abutting the
Project Site -- Considered for view protection

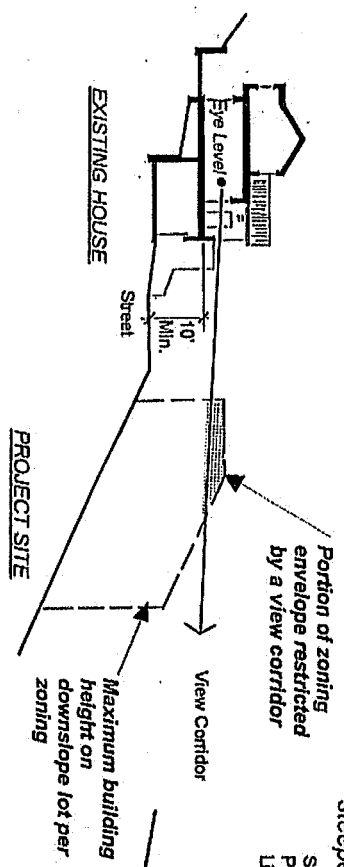
More than 10 degrees of the wide angle view would be obstructed

FIGURE 1.1C: VIEW CORRIDORS (PAGE 1 OF 1)

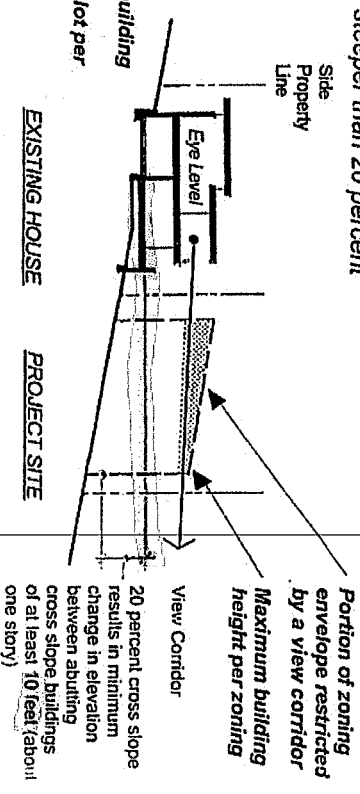
View Corridor 1 – Rear elevation of building on downslope lot



View Corridor 2 – Front portion of building on upslope lot



View Corridor 3 – Upper level side elevation on cross slope lots steeper than 20 percent

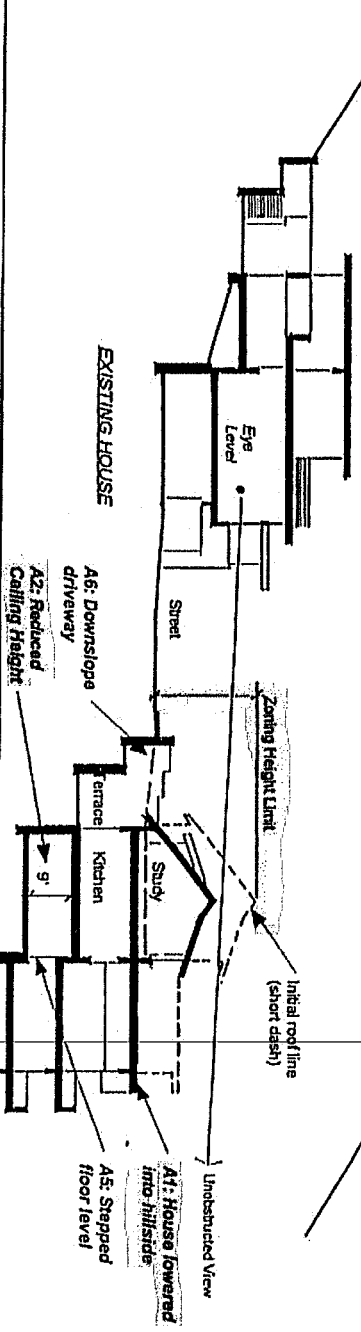
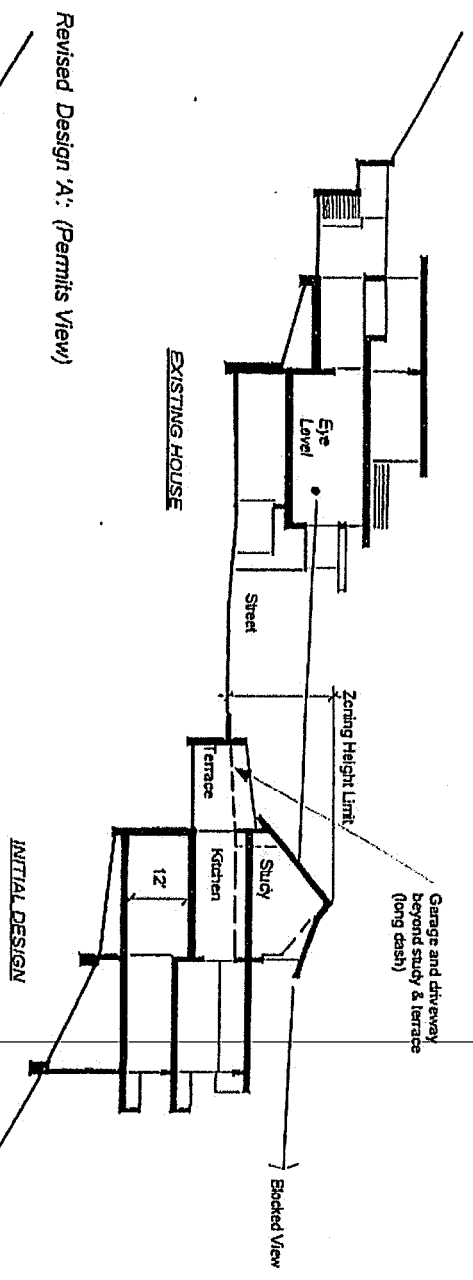


Sight lines obstructed when seated (per manual) and even when standing

Criterion 1: View Impacts on Neighboring Properties

FIGURE 1.4A. HEIGHT REDUCTION TECHNIQUES (Page 1 of 2)

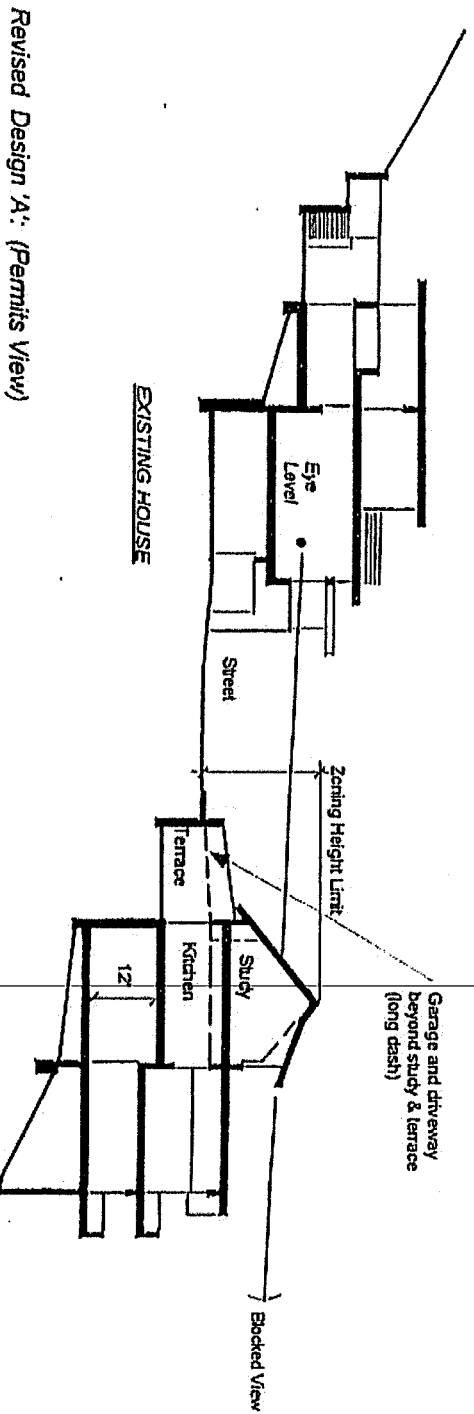
Initial Design: (Blocks View)



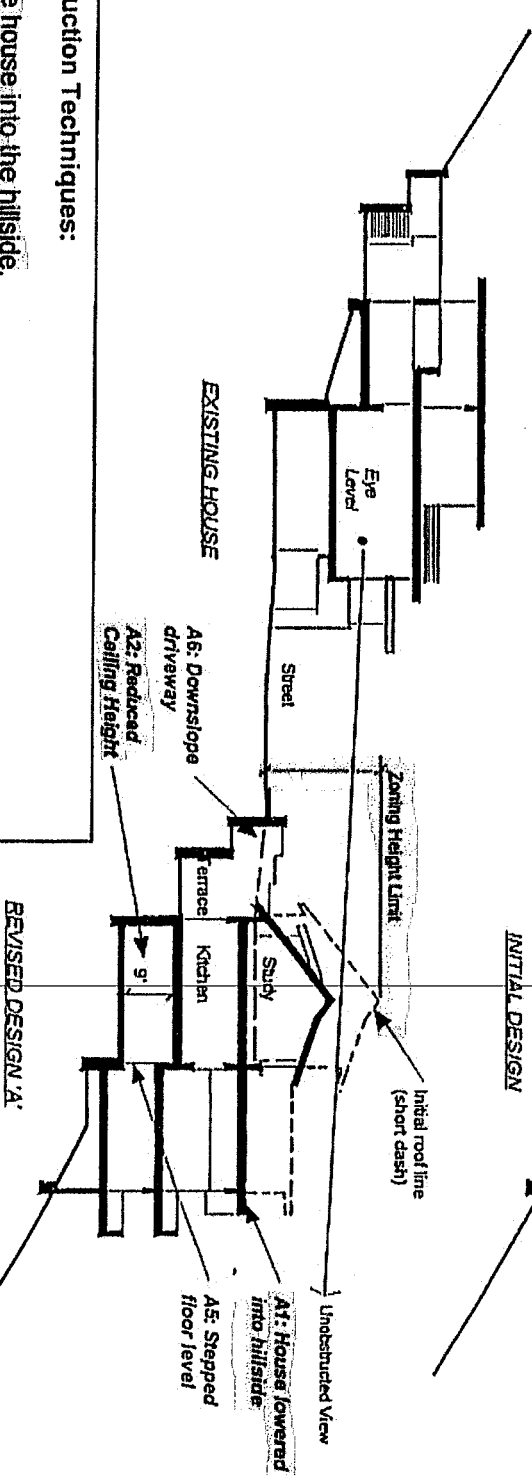
- 1.4A Height Reduction Techniques:**
1. Lowering the house into the hillside.
 2. Reducing ceiling height (9-foot with flat ceilings, but lower than 9 feet at walls of vaulted ceilings).
 3. Reducing roof pitches.
 4. Relocating upper floor space to an existing or new lower level.
 5. Using split-level floor plans.
 6. Sloping driveways down from the street on downslope lots.

FIGURE 1.4A: HEIGHT REDUCTION TECHNIQUES (Page 1 of 2)

Initial Design: (Blocks View)



Revised Design 'A': (Permits View)

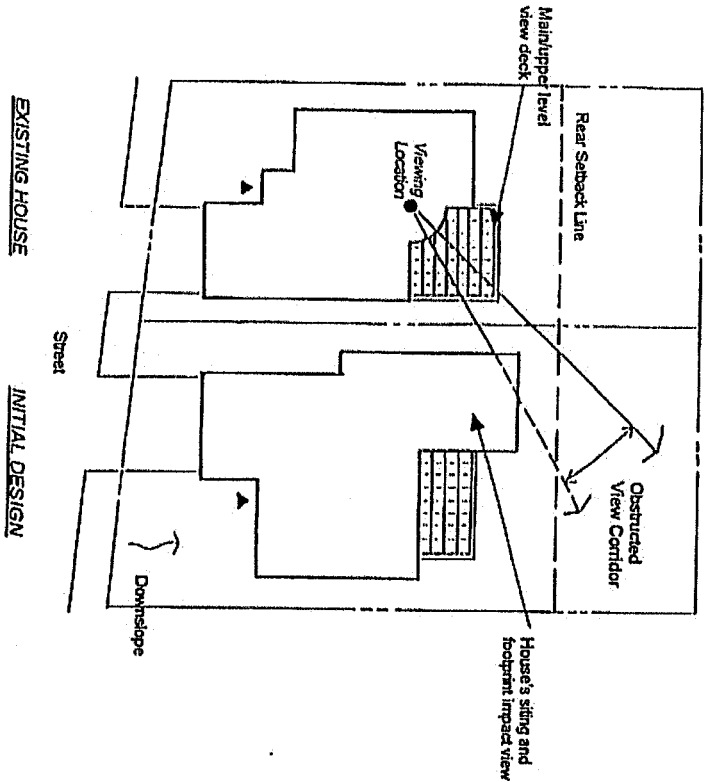


1.4A Height Reduction Techniques:

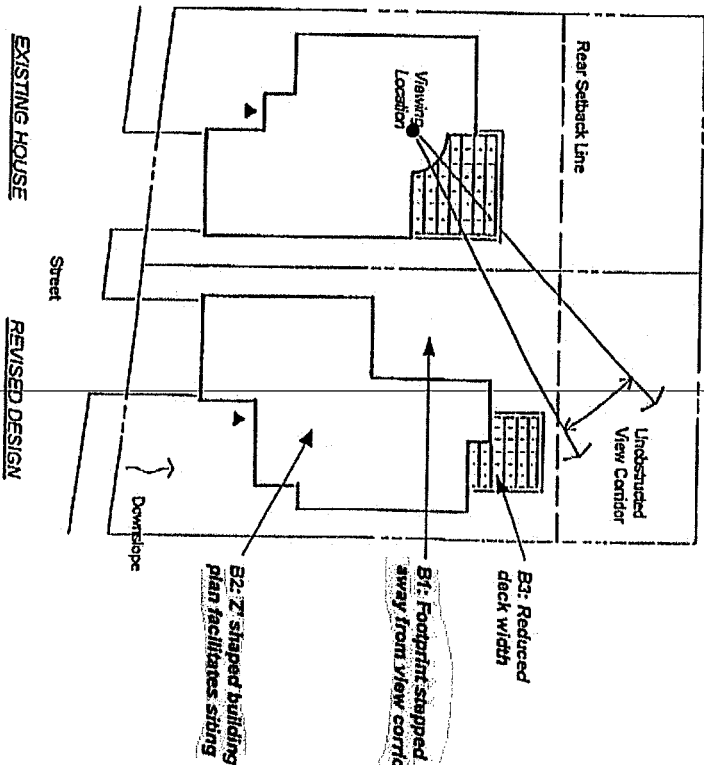
1. Lowering the house into the hillside.
2. Reducing ceiling height (9 feet with flat ceilings, but lower than 9 feet at walls of vaulted ceilings).
3. Reducing roof pitches.
4. Relocating upper floor space to an existing or new lower level.
5. Using split-level floor plans.
6. Sloping driveways down from the street on downslope lots.

FIGURE 1.4B: SITING TECHNIQUES (Page 1 of 2)
 (Downslope for example)

Initial Design: (Blocks View)



Revised Design: (Permits View)

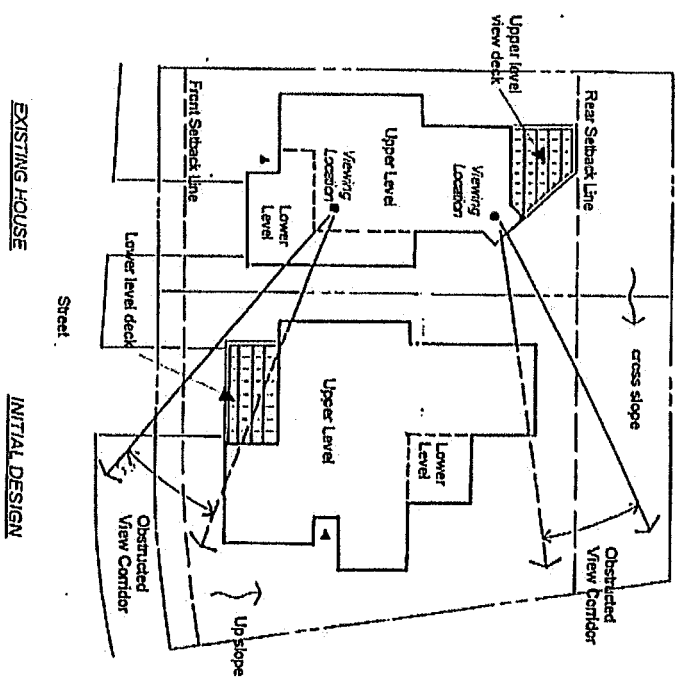


1.4B Siting Techniques:

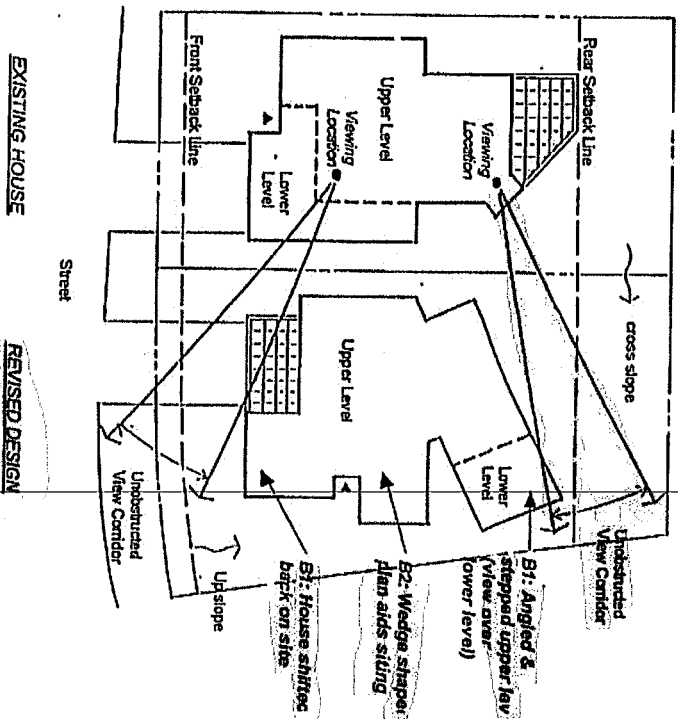
1. **Stepping, angling, shifting, or rotating the building's footprint or upper levels away from the view corridor.**
2. **Using an irregular-shaped footprint configuration, such as "L", "Z", "T" or wedge shape instead of a rectangular footprint.**
3. **Reducing the width or depth of a floor level, room, or deck.**
4. **Using a courtyard or similar gap in the house to create a view corridor.**

FIGURE 1.4B. SITING TECHNIQUES (Page 2 of 2)
(Irregularly sloped lot example)

Initial Design: (Blocks View)



Revised Design: (Permits View)



CRITERION 3: Privacy

OAKLAND DESIGN REVIEW MANUAL FOR ONE AND TWO UNIT RESIDENCES Criterion 3: Privacy Impacts on Neighboring Properties

CRITERION 3: PRIVACY

- a. A project shall make a reasonable effort to minimize privacy impacts from upper-level decks or windows on primary living spaces of residential lots abutting the SIDES OR REAR of the project site.
- b. The project shall be designed to minimize privacy impacts ON THE PROJECT from neighboring properties.

GUIDELINES

3.1 DEFINITIONS

- A. Privacy Impact. A "privacy impact" is the ability to obtain direct, casual observation of a property's inhabitants from an upper-level deck, terrace or window at the side or rear of an abutting residence, especially from large windows or decks that are unscreened and oriented towards facing windows or decks.

An upper-level deck or terrace is a deck or terrace surface higher than three feet above grade. An upper-floor window is a window with a sill higher than eight feet above grade.

A ground-level deck or terrace is a deck or terrace surface that is within three feet of grade. A ground-level window is a window with a sill less than eight feet above grade.

- B. Primary Living Spaces. The following "primary living spaces", listed in order of priority, are considered for privacy protection if these spaces about the sides or rear of the project site:
 1. Master bedroom suite
 2. Other bedrooms
 3. Kitchen
 4. Living or family room
 5. Main deck or patio

3.2 PRIVACY PROTECTION LIMITATIONS - REASONABLE EFFORTS

"Privacy protection techniques" as described in guideline 3.3 below are typically not required if any of the following apply:

- A. Providing privacy protection would result in the loss of significant views for the project that cannot be elsewhere accommodated.
- B. Providing privacy protection would result in large blank walls or other unfavorable design impacts.
- C. Reducing the size of the window causing the privacy impact would violate building code egress requirements.
- D. The privacy impact is from a street-facing side of the project, from which privacy is generally not protected.
- E. The privacy impact is from a ground-level window, deck, or terrace, from which privacy protection is generally limited to landscape or fence screening.
- F. Providing additional privacy would limit the use of the project site significantly more than that enjoyed by neighboring properties.

3.3 PRIVACY PROTECTION TECHNIQUES NORMALLY REQUIRED

One or more of the "privacy protection techniques" shown on the following pages are typically required when there is a "privacy impact". These techniques should be used at the early stages of design.

The level of mitigation required depends on the size of the impact, the available options for mitigation, and the consequences of mitigation.

Mitigation is intended to be balanced with the project's functional and visual qualities. Some loss of neighbors' privacy may still result even with skillful and sensitive design.

Criterion 3: Privacy Impacts on Neighboring Properties

FIGURE 3.3: PRIVACY PROTECTION TECHNIQUES (Page 1 of 2)
 Impacts from rear elevations and upper decks

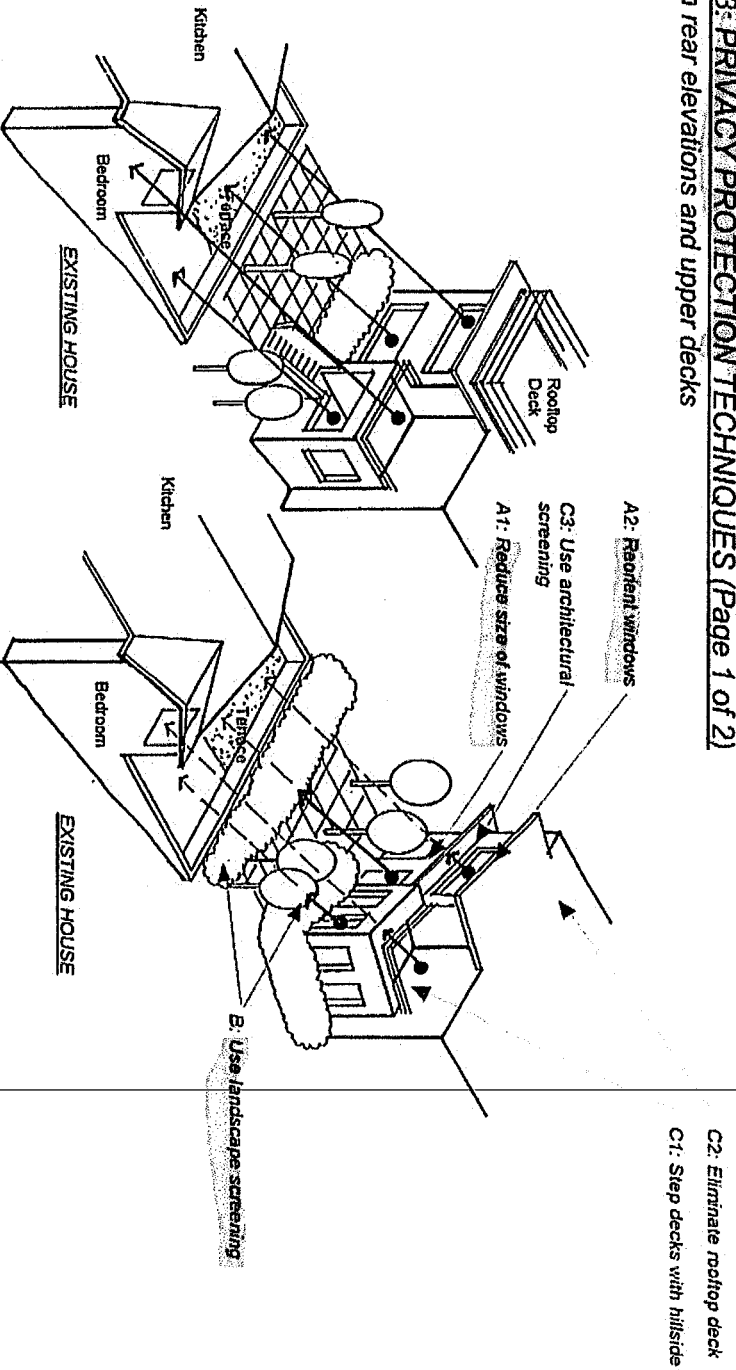


Figure 1: Initial Design (Impacts Privacy)
 Note: Line with arrow indicates unobstructed view

Figure 2: Revised Design (Maintains Privacy)
 Note: Dashed line indicates blocked view

- 3.3A. General Impacts (All Impacts From Sides or Rear of Project Site, Including Upper-Floor Decks):**
1. Reduce the size of very large windows.
 2. Angle/orient windows away from adjacent property's impacted areas.
- 3.3B. Impacts From Rear Elevations Only:**
- Use dense landscaping, fences, or hedges to augment architectural solutions. (Note: this approach should not be used if it causes view impacts.)
- 3.3C. Impacts From Upper-Floor Decks on Side or Rear Elevations:**
1. Step multi-level decks with the hillside so that the upper decks have lower impact
 2. Reduce the size of large decks close to property lines and avoid rooftop observation decks where there are privacy impacts.
 3. Use building wall extensions or other permanent architectural elements as screening devices.

FIGURE 3.3: PRIVACY PROTECTION TECHNIQUES (Page 2 of 2)
 Impacts from side elevations and upper decks

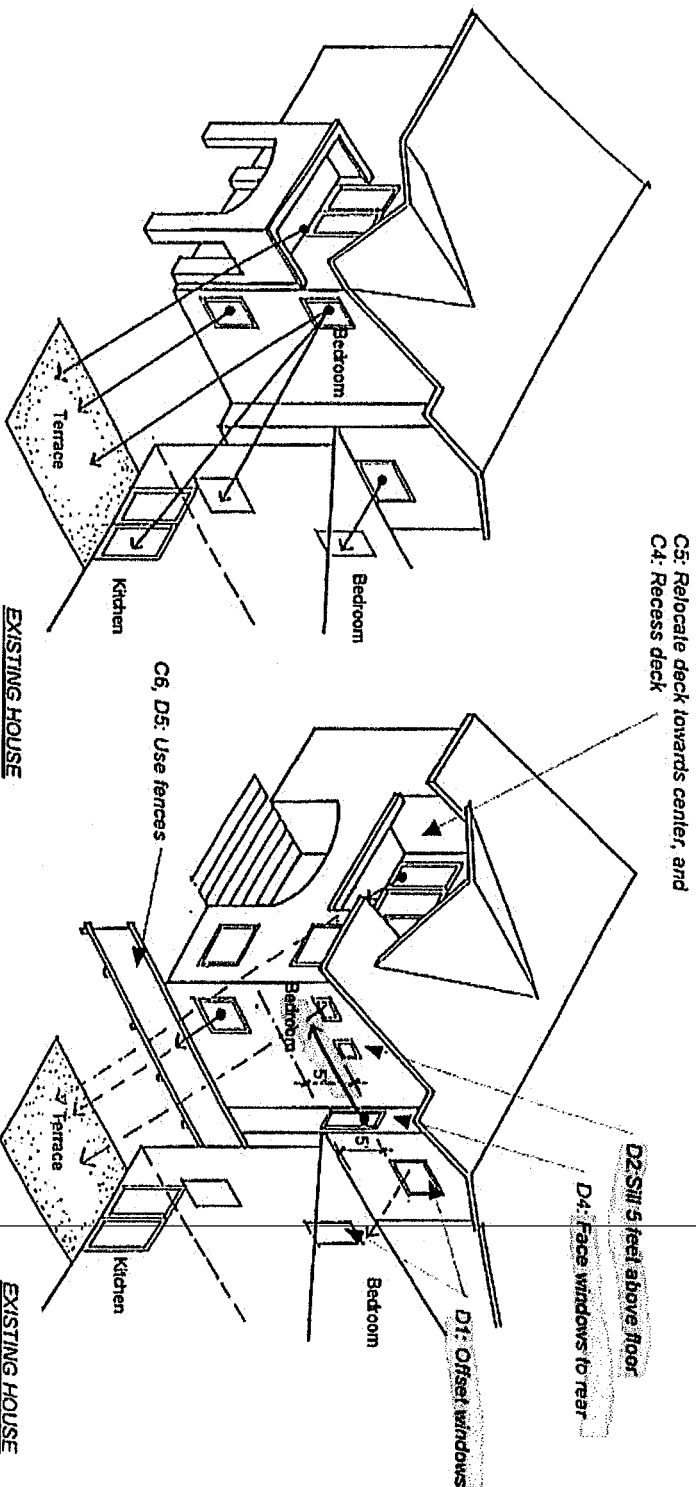


Figure 1: Initial Design (Impacts Privacy)
 Note: Line with arrow indicates unobstructed view

Figure 2: Revised Design (Maintains Privacy)
 Note: Dashed line indicates blocked view

3.3C. Impacts From Upper-Floor Decks on Side or Rear Elevations (continued):

4. Tuck the deck into the building envelope as screening device.
5. Locate or orient upper-floor decks away from side yards and towards the center of the lot to minimize direct sight lines to impacted areas of neighboring residences.
6. Use dense landscaping, fences, or hedges to augment architectural solutions. (Note: this approach should not be used if it causes view impacts.)

3.3D. Impacts From Side Elevations Only:

1. Offset windows.
2. Use windows with sills at least 5' above finished floor.
3. Use obscure glass.
4. Adjust the floor plan to face larger windows towards the front or rear yard and away from the side yard.
5. Use dense landscaping, fences, or hedges to augment architectural solutions. (Note: this approach should not be used if it causes view impacts.)

CRITERION 4: Site Design

VALUATION DESIGN REVIEW MANUAL FOR ONE AND TWO UNIT RESIDENCES

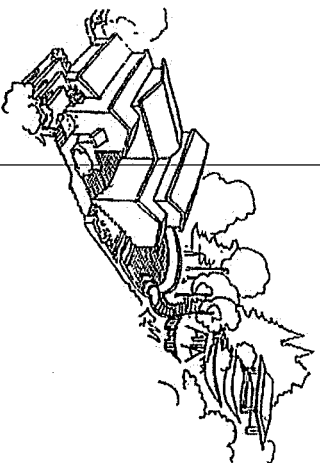
Criterion 4: Site Design

CRITERION 4: SITE DESIGN

- (a) The building or addition shall be sited in a manner that is compatible with adjacent properties and any existing site features, respects the configuration and natural amenities of the lot, and maintains or promotes useable open space.
- (b) Stairways, accessways, and corridors shall be designed to ensure the privacy and security of residents without adversely affecting the residential amenity of adjacent properties.
- (c) The primary pedestrian entrances shall be identifiable from the street, and, where desirable, pedestrian entry paths shall be distinct and separate elements from parking pads and driveways.
- (d) Outdoor spaces shall be an integral part of the overall design (distinct spaces and/or landscaped zones rather than left over spaces).
- (e) On hillsides, open spaces shall reinforce natural landforms (especially in canyon areas), provide for visual openness between houses and include livable outdoor areas such as courts, yards or terraces at or near grade.

GUIDELINES:

- 4.1 Consider the cumulative impact of site planning/open space design on the neighborhood, including any hillsides, as viewed from a distance.
- 4.2 Consider the impact of outdoor space(s) on adjacent properties. Outdoor space(s) abutting adjacent properties should be designed to enhance the visual and functional characteristics of the combined space.
- 4.3 Develop an open space design for the whole property. Consider including gardens, courts, paths, terraces etc.
- 4.4 Locate the front door and/or pedestrian entry path to clearly indicate the pedestrian entry sequence from the street.



ENCOURAGED

- ▶ An overall site design concept
- ▶ An integrated system of spaces that defines site access, site circulation and usable courts and terraces
- ▶ Design that creates ample open space between houses
- ▶ Outdoor spaces that assist in reducing building bulk



▶ Entry court, brick path and steps, and well composed landscaping provide a positive transition between this house and the street

CRITERION 6: BULK

OAKLAND DESIGN REVIEW MANUAL FOR ONE AND TWO UNIT RESIDENCES

Criterion 6: Bulk- All Projects

CRITERION 6: BULK- ALL PROJECTS.

The project shall manage mass, scale and composition, including materials and detailing, to minimize the building's actual and perceived bulk.

INTRODUCTION:

"Bulk" refers to those characteristics of a building that emphasize its size. A "bulky" building is not necessarily a big building but a building that looks big and is designed in a manner that exaggerates its bigness.

Conversely, a large building can be carefully designed so that it is not bulky. However, as a building becomes larger or taller, effective management of bulk becomes more difficult and more rigorous application of bulk mitigation techniques may become increasingly necessary.

Criteria 6 and 7 and their accompanying Guidelines seek to minimize both actual and perceived bulk in building design through a variety of techniques addressing building massing, siting, composition and relation to terrain and neighboring buildings. A building will usually look bulky because: (a) it overemphasizes large scale elements and/or (b) it has a disordered, unfocused composition that can look chaotic or busy. The guidelines below address these bulk problems.

In some cases, application of Criteria 6 and 7 and their Guidelines may reduce the project's zoning envelope (height limits, minimum setbacks and maximum lot coverage) from that allowed by the Zoning Regulations. Buildings built to the maximum limits of the zoning envelope, particularly those with tall and broad facades, are often boxy, and monolithic and overwhelming in scale. The zoning envelope is not intended to define a by-right volume or massing that may be used to its full extent, but rather to provide sufficient flexibility for a variety of design solutions.

Criteria 6 and 7 will, in most cases, apply only to structures with two or more stories.

GUIDELINES:

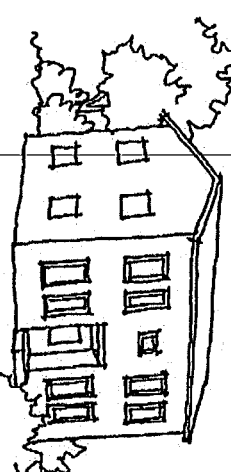
Techniques to Avoid or Deemphasize Large Scale Elements

6.1 Avoid or deemphasize large boxy forms that are both broad and tall. Emphasize smaller scale (human scale) elements, such as windows and other openings, building wings, detailing, and changes in materials.

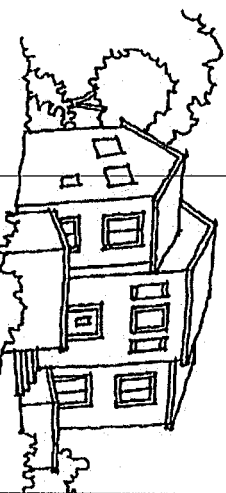
6.2 Subdivide building masses, including roof forms, into multiple volumes.

CRITERION 6.2:

TURNER RESIDENCE:



REVISED DESIGN:



CRITERION 7: Bulk Special Methods for Hillsides

OAKLAND DESIGN REVIEW MANUAL FOR ONE AND TWO UNIT RESIDENCES
 Criterion 7: Bulk - Special Methods for Hillsides

CRITERION 7: BULK: SPECIAL METHODS FOR HILLSIDES

- (a) *Hillside projects shall use methods that blend with the hillside setting and minimize the building's prominence.*
- (b) *On sloped sites, the project shall minimize perceived bulk when viewed along with neighboring structures from the downslope side.*

INTRODUCTION:

See Introduction for Criterion 6 (Bulk: All Projects)

GUIDELINES:

- 7.1 **Step building massing with terrain.**
- 7.2 **Break the building into multiple volumes with staggered setbacks to reflect the irregularity of hillside terrain.**

- 7.2A **Use smaller massing elements to soften taller elements.**
- 7.2B **Use one-story and lower scale elements such as terraces to transition from the building to the ground.**

7.2C Use detached garages and other detached or semidetached building volumes to maximize flexible siting.

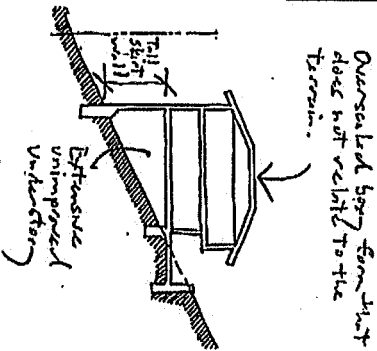
7.2D On low to moderate slopes (less than about 40 percent) provide access from the lowest floor to a ground level patio or terrace. Consider such access on steeper slopes.

7.3 Skirt Walls.

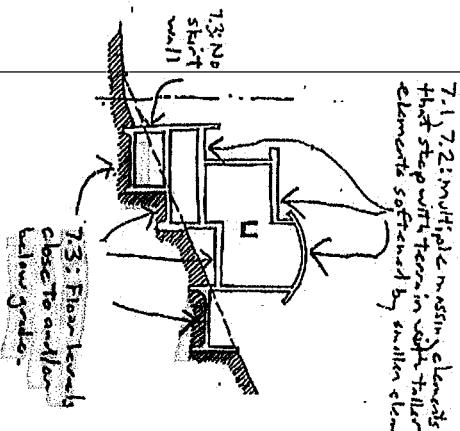
7.3A Place floor levels close to and/or partially inset into grade to avoid or minimize tall skirt walls and other tall support structures. In most cases, maximum acceptable skirt wall heights will increase as the building footprint slope increases. On slopes of 20-60%, skirt wall heights should normally not exceed 1-2' per each 10% of slope, with a maximum skirt wall height of about 6' on a 40% slope and about 12' (about one story) on a 60% slope. On steeper slopes, taller skirt walls may be acceptable if a 12' skirt wall would impose excessive constraints for a reasonably sized house, such as requiring three or more levels to obtain 2,400 square feet of living area.

Acceptable skirt wall heights will often require cutting the back portions of the bottom floors into the hillside by up to four feet on slopes up to about 40% and up to six feet or more on steeper slopes.

Original Design:



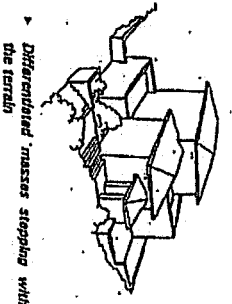
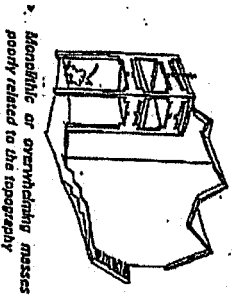
Revised Design:



7.2: Use one-story and lower scale elements such as terraces to transition from the building to the ground.

Original Design: [Sketch of a house with a tall skirt wall]

Revised Design: [Sketch of a house with multiple levels and terraces]



“In order to be approved, a project must conform with all of the applicable criteria.”

Design Review Approval Criteria

The following are the Design Review Manual's approval criteria. In order to be approved, a project must conform with all of the applicable criteria:

CRITERION 1: VIEWS

YES/NO A project shall make a reasonable effort to maintain the most significant views from primary living spaces of existing residences on lots in close proximity to the project site. View protection is considered for views that are located within view corridors, subject to view protection limitations.

(Refer to Guidelines 1.1- 1.4 for methods to help meet the 'Views' criterion).

CRITERION 2: SOLAR ACCESS

YES/NO A project shall make a reasonable effort to minimize solar access impacts on actively used outdoor or indoor areas of abutting residential properties.

(Refer to Guidelines 2.1- 2.3 for methods to help meet the 'Solar Access' criterion).

CRITERION 3: PRIVACY

YES/NO A project shall make a reasonable effort to minimize privacy impacts from upper-level decks or windows on primary living spaces of residential lots abutting the SIDES OR REAR of the project site.

(Refer to Guidelines 3.1- 3.3 for methods to help meet the 'Privacy' criterion).

YES/NO

CRITERION 4: SITE DESIGN

YES/NO The building or addition shall be sited in a manner that is compatible with adjacent properties and any existing site features, respects the configuration and natural amenities of the lot, and maintains or promotes useable open space.

(Stairways, accessways, and corridors shall be designed to ensure the privacy and security of residents without adversely affecting the residential amenity of adjacent properties.)

YES/NO The primary pedestrian entrances shall be identifiable from the street; and, where desirable, pedestrian entry paths shall be distinct and separate elements from parking pads and driveways.

(Outdoor spaces shall be an integral part of the overall design (distinct spaces and/or landscaped zones rather than left-over spaces).)

YES/NO On hillsides, open spaces shall reinforce natural landforms (especially in canyon areas), provide for visual openness between houses and include livable outdoor areas such as courts, yards or terraces at or near grade.

(Refer to Guidelines 4.1- 4.8 for methods to help meet the 'Site Design' criterion).

CRITERION 5: BUILDING DESIGN

- YES/ NO Each building shall have an architectural composition of forms that are well related to one another and the site in proportion, scale, geometry and style.
- YES/ NO Building elevations (walls, windows, roof/eave lines etc.) shall be composed in an ordered, unified and consistent manner that reinforces the design's basic composition, style and massing while providing visual interest.
- YES/ NO Complement neighborhood scale, development patterns and orientation of structures and not disrupt neighborhood appearance.
- YES/ NO The principal entryway shall be visually prominent and located either on the front elevation or on the front portion of a side elevation.
- YES/ NO Parking entrances and garages shall be integrated into the overall design so that they are not dominant features of facades.
- YES/ NO Detailing and use of materials shall enhance the design's appearance and reinforce the architectural composition and style.
- YES/ NO For additions and alterations, the scale, bulk, and massing shall be compatible with, but not necessarily identical to, the existing residence. Any new materials shall be integrated into the overall design even if they are not necessarily identical or similar to existing exterior treatments.

(Refer to Guidelines 5.1- 5.11 for methods to help meet the 'Building Design' criterion).

CRITERION 6: BULK- ALL PROJECTS

- YES/ NO The project shall manage mass, scale and composition, including materials and detailing, to minimize the building's actual and perceived bulk.

(Refer to Guidelines 6.1- 6.11 for methods to help meet the 'Bulk- All Projects' criterion).

CRITERION 7: BULK: SPECIAL METHODS FOR HILLSIDES

- YES/ NO Hillside projects shall use methods that blend with the hillside setting and minimize the building's prominence.
- YES/ NO On sloped sites, minimize perceived bulk when viewed along with neighboring structures from the downslope side.

(Refer to Guidelines 7.1- 7.9 for methods to help meet the 'Bulk: Special Methods for Hillside' criterion).

9 of 18 applicable criteria are not met

Kim Cardoso
6311 Wood Drive
Oakland, CA 94611
kimthemidwife@gmail.com
415-505-0165

March 11, 2018

Bureau of Planning- Zoning
250 Frank H. Ogawa Plaza, 2nd Floor
Oakland, CA 94612-2031
Attn: Alexi Wordell
Re: Case Number PLN18513, APN 048C717902300

Dear Ms. Wordell,

I am writing to express my concerns regarding the proposed new construction on the lot next to my home at 6311 Wood Drive in Oakland. I have talked with the developers of the lot, and although they have listened to my concerns, per the regulations of the planning department, I must submit these comments or forever hold my tongue. I have included an envelope for you to send me the decision.

Our concerns, detailed below, center around privacy, sunlight, and views. The references below are to the City of Oakland Design Review Manual (<http://www2.oaklandnet.com/oakca1/groups/ceda/documents/webcontent/oak035210.pdf>), available on the City's website, unless otherwise noted.

1. Privacy. Currently my back garden and master bedroom are 100% private. In the proposed construction, the windows of main living area (kitchen and living room) look directly into my main outdoor patio, garden, and master bedroom. The proposed master bathroom is directly across from my master bedroom and 5 feet higher, which means the new occupant could look down on us and I could look up on them while they are in the shower or at the sink. Likewise, my office window would look 5 feet down into the master tub. I request the new construction have fewer or higher windows or have obscure glass where logical. I imagine this desire would be mutual. As for the yard, we are a family of four who uses the backyard daily for play and entertainment. The proposed living room and kitchen window next to the range have a direct line of sight to my yard. This impact on my privacy is because of the proposed deep setback on the lot and placement and style of the windows.

Per section 3.3A and 3.3D, the new construction must reduce sight lines to my impacted primary living areas. Measures could include changed orientation of the home or floor plan, fewer windows, reduced window size, and privacy glazing.

2. Sunlight. Per Criterion 2, the development must minimize impacts on actively used outdoor areas. When we moved in 10 years ago, we located our patio and vegetable garden in the sunniest part of our property, which is directly next to the proposed construction. Our area is used for sunning, sitting, playing and growing vegetables. I am very concerned that the house will suck the afternoon light from our outdoor living area. Additionally, we have enjoyed watching the sun set through the oak trees for a decade. It's one of the reasons we chose this home as opposed to others when we purchased it. The placement of the house will completely rob us of this experience. Despite the developer insisting that my home is three stories and their build will be only two stories, the fact is that the back part of the proposed construction will be only 5 feet shorter than my home, leaving me boxed in.

3. Views. From our main living room, master bedroom, and view-oriented patio and decks we have a panoramic view of a large hillside filled with natural oaks and wildlife. The proposed construction is directly in our view corridor. The developer has suggested that our view is to the south, discounting the real enjoyment we have of our nature views right next door. Additionally, when the neighbor two properties to our west prunes his trees, as he does periodically, we have a bridge and San Francisco view. The proposed construction will block this view from all levels of our home. The elevation of the back part of the proposed construction is 687.8 ft. My upper deck and upper floor (main living area) are at 682.5 feet. That means that when I stand in my living room or on my upper deck, with my 5'4" height, I will not be able to see my westerly view over the proposed construction.

All three concerns, in addition to changing windows and floor plans, could be mitigated by reducing the height and setback of the proposed construction.

Height- Per section 1.4 A, there are several height reduction techniques. The home could be lowered into the hillside and/or the ceiling heights could be reduced. Currently the lower level has 10 foot ceilings and the upper level has 9 feet. Reducing both levels to 8 foot ceilings would take 3 feet from the overall height, and leave us with at least a sliver of our current westerly view and setting sun. It would also reduce the feeling of a tall building sitting in our backyard. Per section 7.4, it is recommended to position the building on the site to minimize the down slope. The illustrations show recommendations on nestling the home into the hillside.

Setback- Section 8.3 on building setback context states that new homes should be within 3 feet of the average building setback to maintain the prevalent setbacks. It even allows for variances in setback. In fact, in the Residential Zones, Summary of Regulations footnote 6 (<http://www2.oaklandnet.com/oak/groups/ceda/documents/report/oak040065.pdf>), it states, "If adjacent lots abutting the side lot lines of the subject lot both contain principal Residential Facilities that have front setbacks with a depth of less than the required front setback, the minimum front setback may be reduced up to a line parallel to the front lot line of the principal Residential Facility on the adjacent lots having the deeper front setback depth." Moving the living area of the proposed

construction uphill would not only preserve our panoramic natural view and protect our privacy and sunlight, but it would keep the proposed construction within the building setback context of our street. It would also increase the side yard setback at the rear elevation, per section 7.5 on maintaining openness. The proposed construction is 20 feet from my master bedroom. For perspective, the house on the other side is at least 35 feet away- from our garage wall.

Per the posted permit, the City forces the public to voice all concerns now, lest we lose our right to appeal anything not noted here. Although this regulation fosters distrust and poor faith, I am forced to enter any potential future concern into the record. Let it be know that we will not tolerate construction noise beyond reasonable hours, even though the city allows for it far too early and late, in my opinion. I will not tolerate excessive dust on my garden, in my home, and breathed by my asthmatic daughter. Lastly, I have great concerns about drilling a foundation on the level part of the lot. It is widely known by the neighbors to be flat because of concrete and stone fill placed there in the 1950s by the previous lot owner. I am worried that drilling, and ultimately placing the majority of a weight of a home on the level part, will threaten the stability of the hillside. If that hill goes down, I fear my home will go with it.

Thank you for the opportunity to comment on the proposed construction. In light of the detailed requirements posted by the City, I feel it is important to mention I am sending this comment via US mail and email. It is now March 11, 17 days from the 2/22 permit date. Unfortunately the sign on the lot was not posted until 2/25, and the letter arrived at my home only days ago, which means it is somewhat unclear when the actual 17 day period should end.

Sincerely,

Kim Cardoso

Michael J. Steel
6303 Wood Drive
Oakland, California 94611
msteel@mofo.com

March 8, 2019

Via U.S. Mail and email
awordell@oaklandca.gov
Ms. Alexi Wordell
Planner
City of Oakland
Bureau of Planning/Zoning Division
250 Frank Ogawa Plaza, 2nd Floor
Oakland, CA 94612

Re: 0 Wood Drive – APN 048C717902300

Dear Ms. Wordell:

Thank you for the opportunity to comment on the proposed development of 0 Wood Drive (the “Project”), which is adjacent to my home at 6303 Wood Drive. Following are my comments on the Project. It is my hope that by pointing out these issues, the applicant will meet with me to modify the Project.

As a preliminary matter, the site plan for the Project is incorrect. First, it does not reflect the actual location or configuration of my home at 6303 Wood Drive. Second, I believe it misstates the distances between 6303 Wood Drive and the Project. Third, I believe that it does not accurately depict the site contours between 6303 Wood Drive and the Project. With respect to the last inaccuracy, it appears not to recognize the significant slope between the two properties. These inaccuracies mask several significant design defects in the Project.

Following (in bold) are excerpts from the City’s Interim Design Review Manual, with comments on how the Project fails to meet the criteria set forth in the Manual.

- 1. A project shall make a reasonable effort to minimize solar access impacts on actively used outdoor or indoor areas of abutting residential properties.**

Impacts of Proposed Project:

The East elevation of 6303 Wood has a sundeck that enjoys morning sun, which be adversely affected by the height of the proposed project. See **Exhibit A**. The sundeck is approximately 30 feet lower than the top of the proposed structure and is likely to be shaded for much of the day.

The East elevation of 6303 Wood also has a floor to ceiling window approximately six feet wide that allows morning sun into an alcove with an eating area. This area will be cast in shadow by the close proximity and extreme height of the Project and much of the light enjoyed by the living room will be eliminated.

- 2. A project shall make a reasonable effort to minimize privacy impacts from upper-level decks or windows on primary living spaces of residential lots abutting the SIDES OR REAR of the project site.**

Impacts of Proposed Project:

The Project will have *ten windows* facing the side of 6303 Wood Drive, which has a sundeck, bedroom window and a living room window facing the Project. These ten windows are at three different elevations, all of which appear to be higher than the elevation of the windows on 6303 Wood Drive. The Project windows include bedroom, living room and a two-story stairwell window. All of these windows will look down and into the windows of 6303 Wood Drive and will adversely affect the privacy of the bedroom, sundeck and living room. See **Exhibit B**.

- 3. The project shall manage mass, scale and composition, including materials and detailing, to minimize the building's actual and perceived bulk.**

Impacts of Proposed Project:

The West elevation of the Project is a monolithic mass that does not conform to site topography and will appear as a giant wall extending 45 feet or more above the grade at 6303 Wood Drive. The roofline should step down from front to rear with the site topography. See **Exhibit C**.

- 4. Hillside projects shall use methods that blend with the hillside setting and minimize the building's prominence.**

Impacts of Proposed Project:

The Project essentially ignores the site topography and does not step down with the downhill slope of the lot. The roofline should step down from front to rear with the site topography. See **Exhibit D**.

- 5. General Impacts (All Impacts From Sides or Rear of Project Site, including Upper-Floor Decks)**
 - 1. Reduce the size of very large windows.**
 - 2. Angle/orient windows away from adjacent property's impacted areas.**

Impacts of Proposed Project:

Placing ten windows facing 6303 Wood Drive is excessive and unnecessary. The stairwell windows in particular are massive and allow a clear view into the bedroom of 6303 Wood Drive. The large mass of empty wall space, which we understand will be painted a dark color, will close in and darken the sundeck, bedroom and the living room of 6303 Wood Drive.

The floor-to-ceiling stairwell windows should be either clerestory windows or, at a minimum, reduced in size made opaque. All windows should be at least five feet above floor level. The two large windows on the first and second floors above the proposed rear deck should be eliminated as they look directly into the sundeck, living room and hot tub area of 6303 Wood Drive.

6. Impacts From Upper-Floor Decks on Side or Rear Elevations:

- 1. Step multi-level decks with the hillside so that the upper decks have lower impact.**
- 2. Reduce the size of large decks close to property lines and avoid rooftop observation decks where there are privacy impacts.**
- 3. Use building wall extensions or other permanent architectural elements as screening devices.**

Impacts From Side Elevations Only

- 1. Offset windows.**
- 2. Use windows with sills at least 5' above finished floor.**
- 3. Use obscure glass.**
- 4. Adjust the floor plan to face larger windows towards the front or rear yard and away from the side yard.**
- 5. Use dense landscaping, fences, or hedges to augment architectural solutions. (Note: this approach should not be used if it causes view impacts.)**

Impacts of Proposed Project:

All of the guidelines above should be adhered to. The wrap-around deck off the living room of the Project would have 15 feet looking down into the living room and hot tub area of the yard of 6303 Wood Drive. The deck should face the rear of the property, not 6303 Wood Drive. The floor-to-ceiling stairwell windows should be either clerestory windows or, at a minimum, reduced in size made opaque. All windows should be at least five feet above floor level. The two large windows on the first and second floors above the proposed rear deck should be eliminated as they look directly into the sundeck, living room and hot tub area of 6303 Wood Drive. See **Exhibit E**.

Thank you again for the opportunity to comment on the Project. I remain hopeful that the Project can be modified to address these concerns.

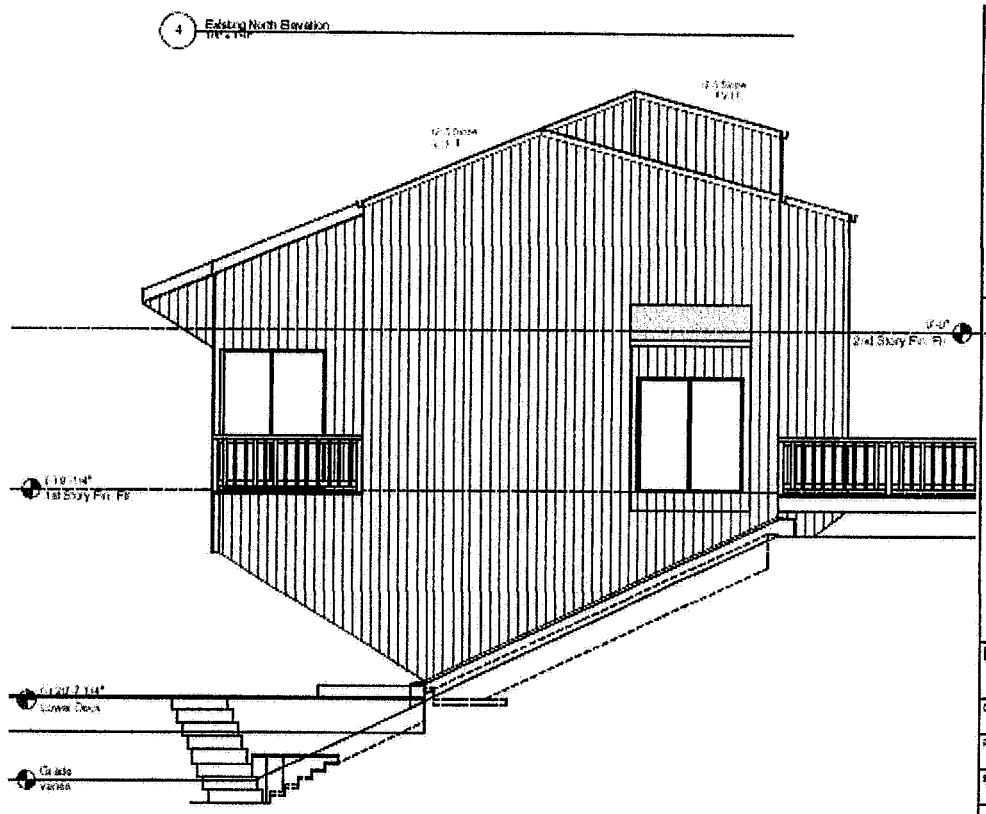
Sincerely,



Michael J. Steel

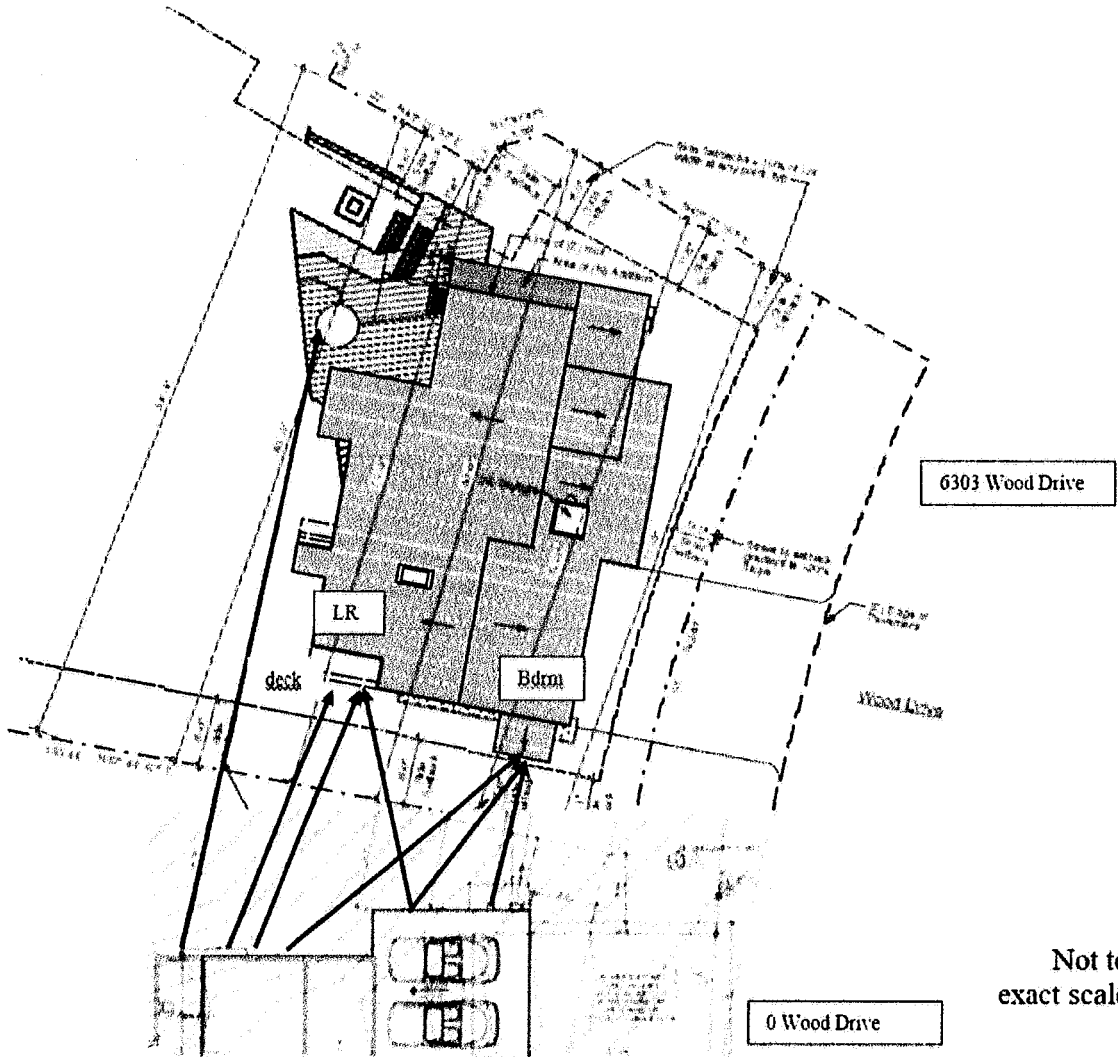
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EXHIBIT A



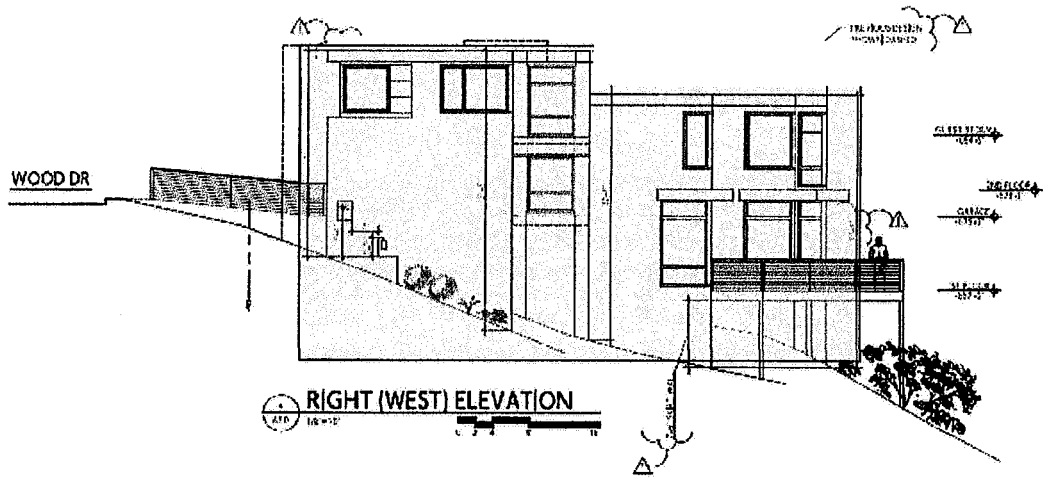
**EAST ELEVATION OF 6303 WOOD DRIVE
FACING THE PROJECT**

EXHIBIT B



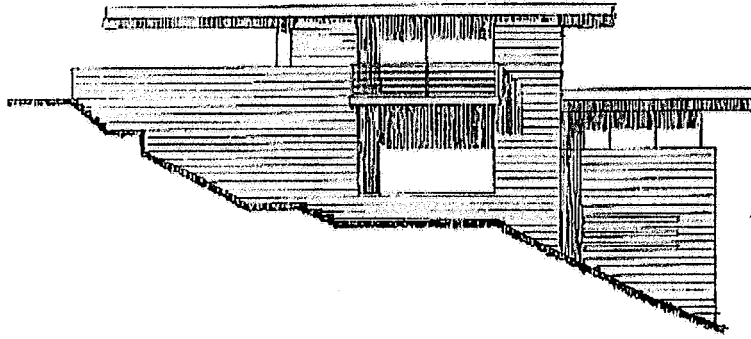
PRIVACY IMPACTS
Corrected site plan and sight lines

EXHIBIT C



MONOLITHIC MASSING

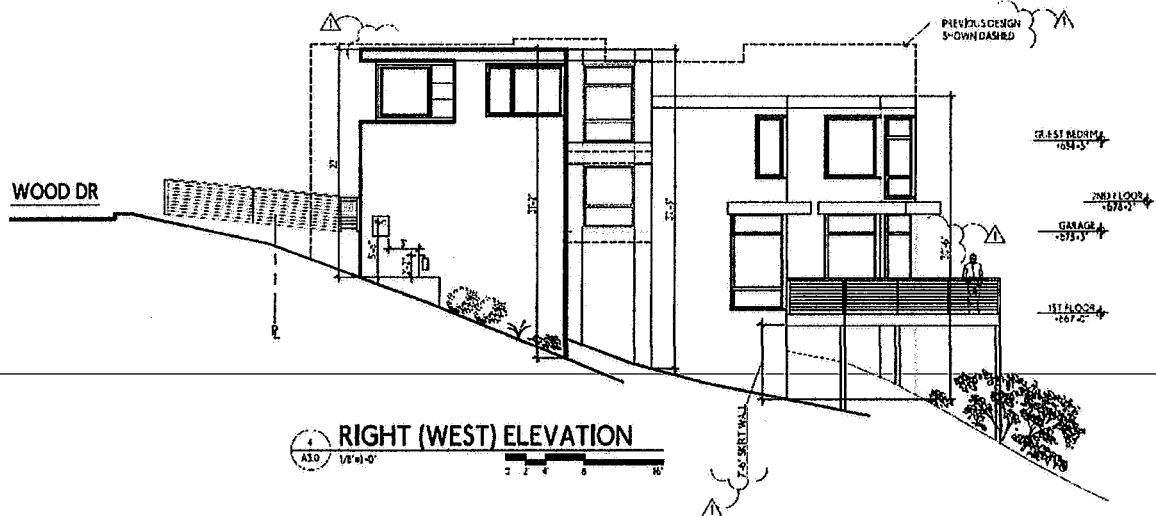
EXHIBIT D



SIDE ELEVATION/DOWNSLOPE LOT

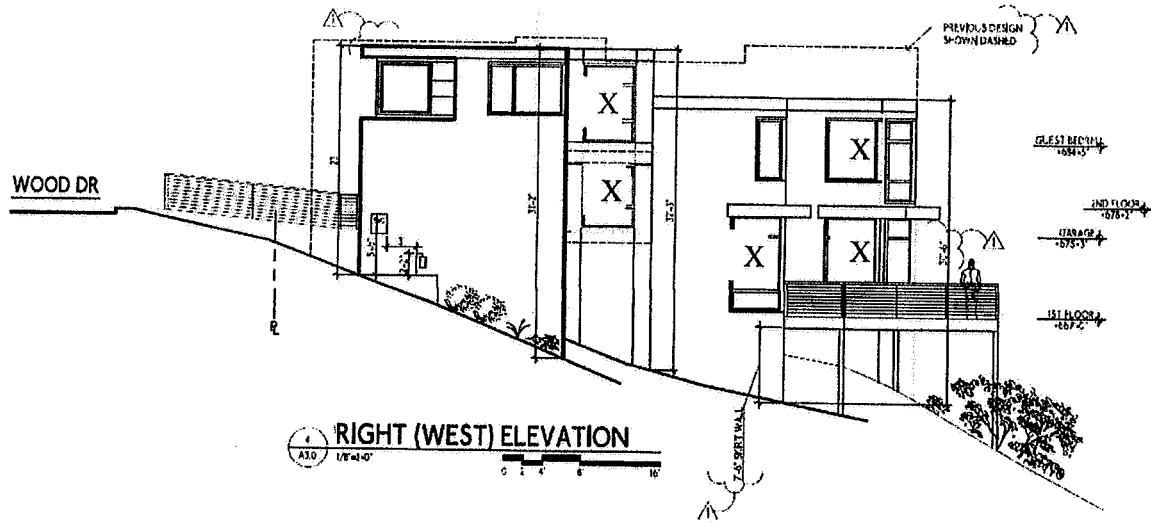
- ▶ Strong horizontal lines created by floating roof plane and horizontal emphasis of wall planes, windows, siding, and railings
- ▶ Secondary vertical lines accentuate profile of wall edges corners
- ▶ Windows occupy zones such as between wall and roof planes

Design Manual Page 5-4



PROPOSED PROJECT INADEQUATE STEP DOWN

EXHIBIT E



WINDOWS TO BE ELIMINATED OR CONVERTED TO CLERESTORY
Remaining windows to conform to 5' from floor guideline

Michael J. Steel
6303 Wood Drive
Oakland, California 94611
msteel@mofo.com

April 5, 2019

Via U.S. Mail and email
awordell@oaklandca.gov
Ms. Alexi Wordell
Planner
City of Oakland
Bureau of Planning/Zoning Division
250 Frank Ogawa Plaza, 2nd Floor
Oakland, CA 94612

Re: 0 Wood Drive – APN 048C717902300

Dear Ms. Wordell:

Thank you for the opportunity to provide additional comments on the proposed development of 0 Wood Drive (the “Project”), which is adjacent to my home at 6303 Wood Drive. Following are my additional comments on the Project.

We had hoped to that, by pointing out these issues, the applicant would meet with us to modify the Project. Unfortunately, the applicant has been completely unwilling to make any change beyond frosting one of the *ten windows* looking into the bedroom and living room of my home.

We enclose our earlier comments, which have not been addressed by either the applicant or the City, for the record.

Shadows

Exhibit A1, which depicts morning shadows cast by the Project, shows that the bedroom windows of my home will be shaded in the morning each month throughout the year. The excessive height of the Project should be reduced to mitigate this impact. We also note, for the record, that the height measurements that the applicant and the City rely upon are measured not from the natural grade of the property, but from a pad created by the previous owner who dumped, without any permits, concrete rubble and debris on the property and then covered it with dirt.

The Project will have *ten windows* facing the side of 6303 Wood Drive, which has a sundeck, bedroom window and a living room window facing the Project. **Exhibit B1** shows the views from five of these windows into the bedroom of my home.

Privacy

Exhibit C1 shows the views from three of the ten windows into my living room. This is a completely unnecessary invasion of my privacy. The Project includes eleven windows facing the rear; there is no need to have an additional ten facing my home.

Placing ten windows facing my home is excessive and unnecessary. The upper stairwell window in particular is massive and would allow a clear view into the bedroom and living room of my home.

As recommended in the City's Interim Design Review Manual, all windows should be at least five feet above floor level. The two large windows on the first and second floors above the proposed rear deck should be eliminated as they look directly into the sundeck, living room and hot tub area of 6303 Wood Drive.

The Design Review Manual should be adhered to. As it stands, the Design Review Manual has been completely ignored.

Thank you again for the opportunity to comment on the Project. I remain hopeful that the Project can be modified to address these concerns.

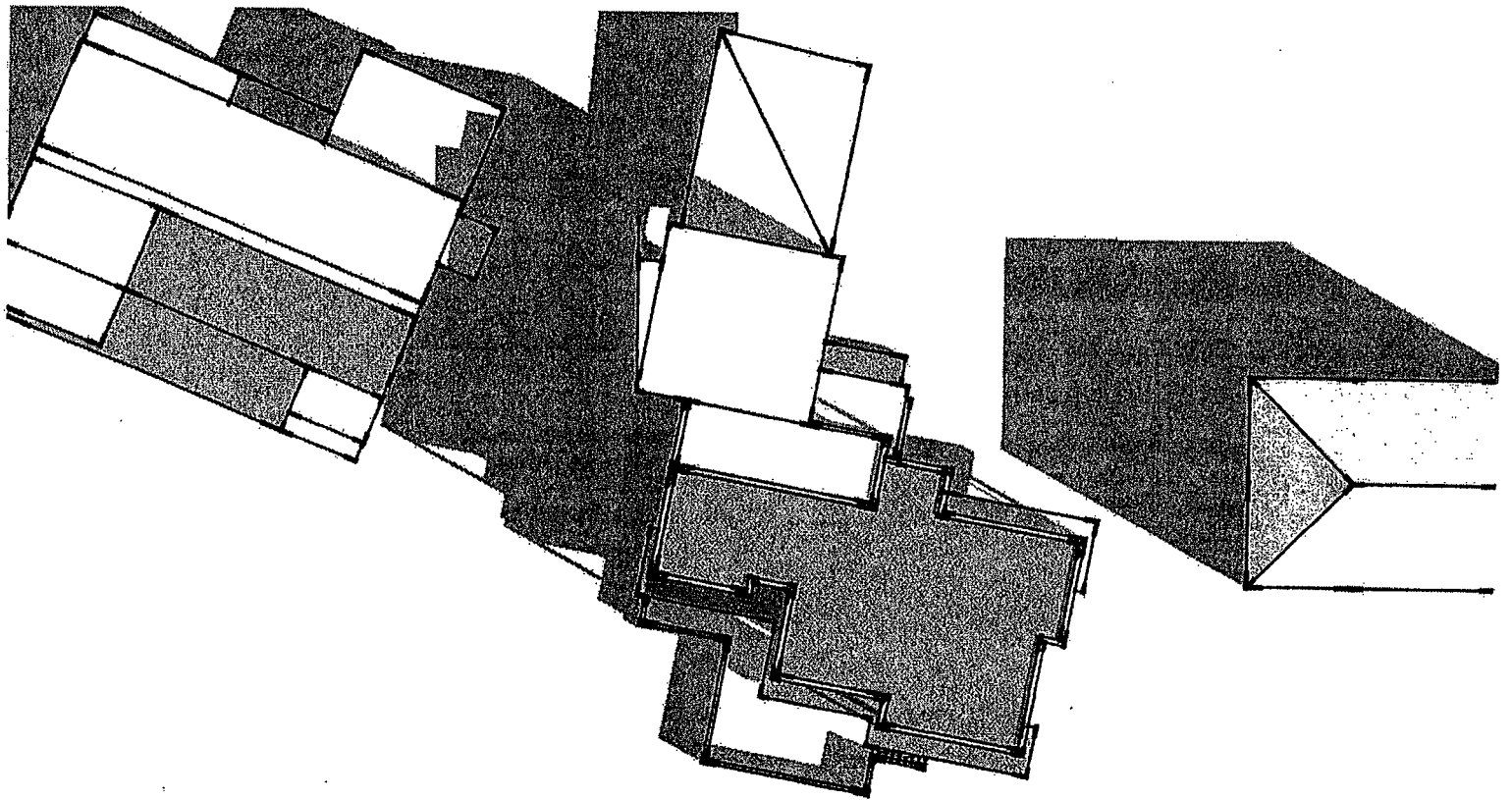
Sincerely,

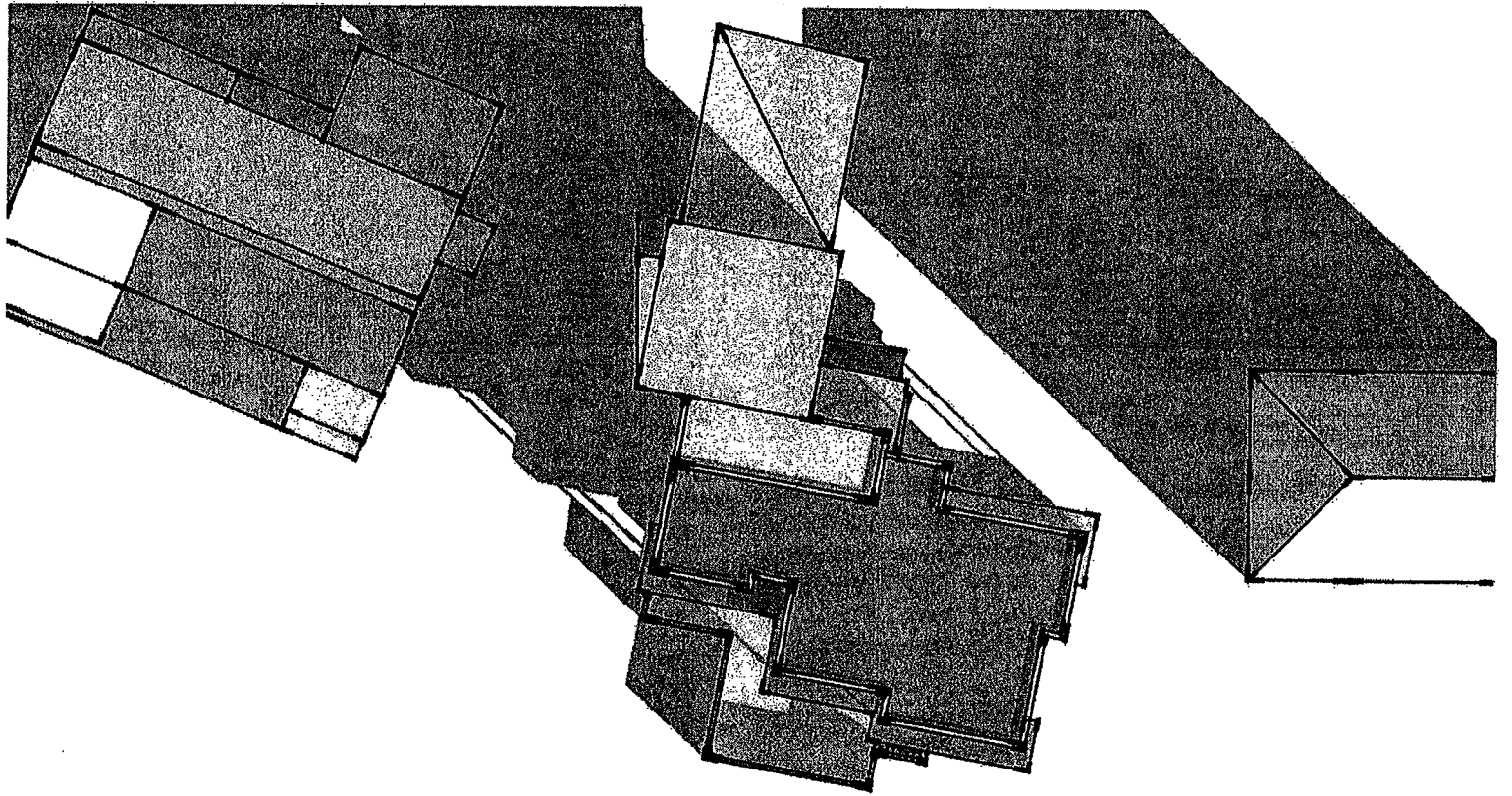
A handwritten signature in black ink, appearing to read "Michael Steel". The signature is written in a cursive, flowing style with a long horizontal stroke extending to the left.

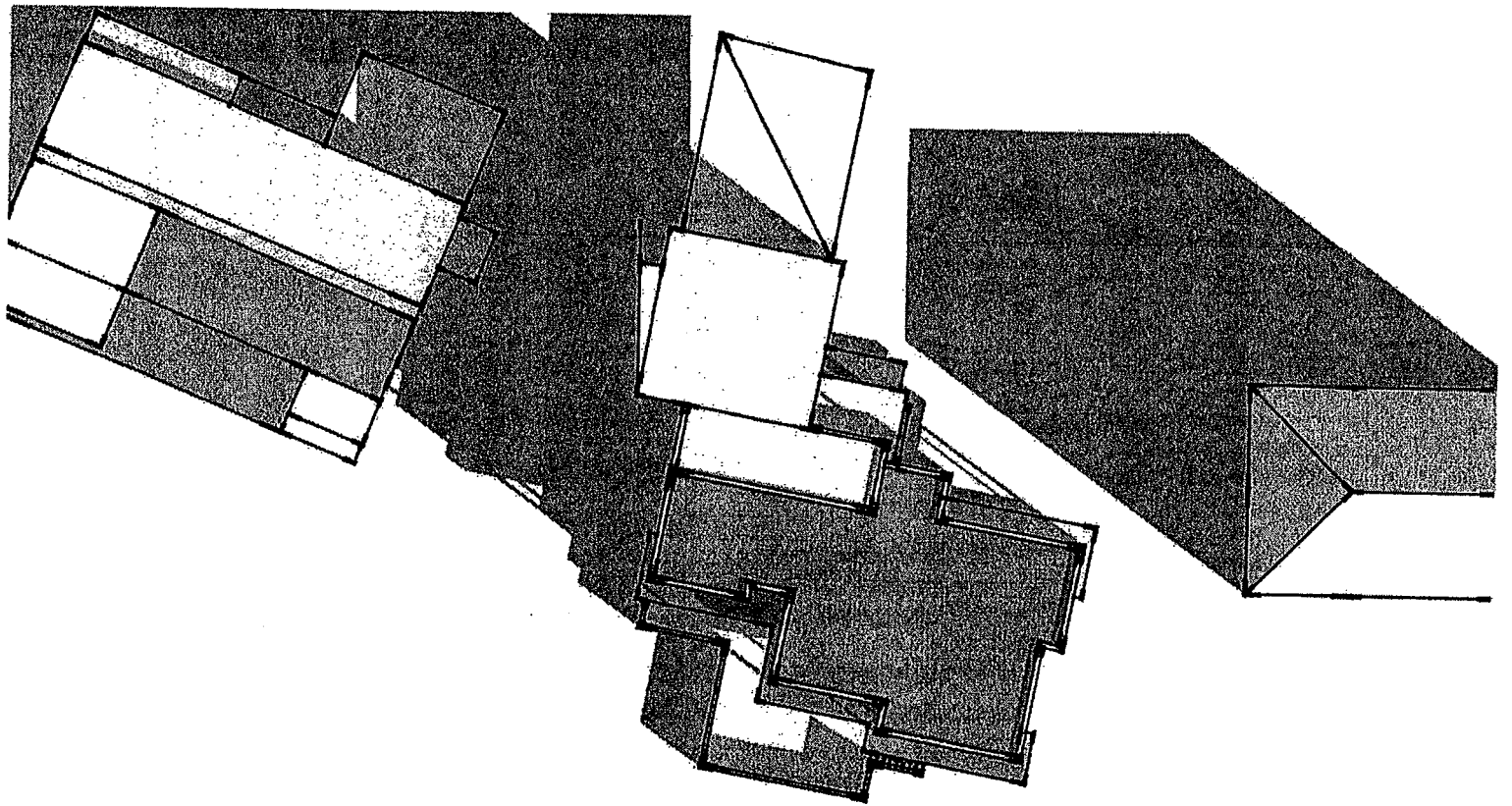
Michael J. Steel

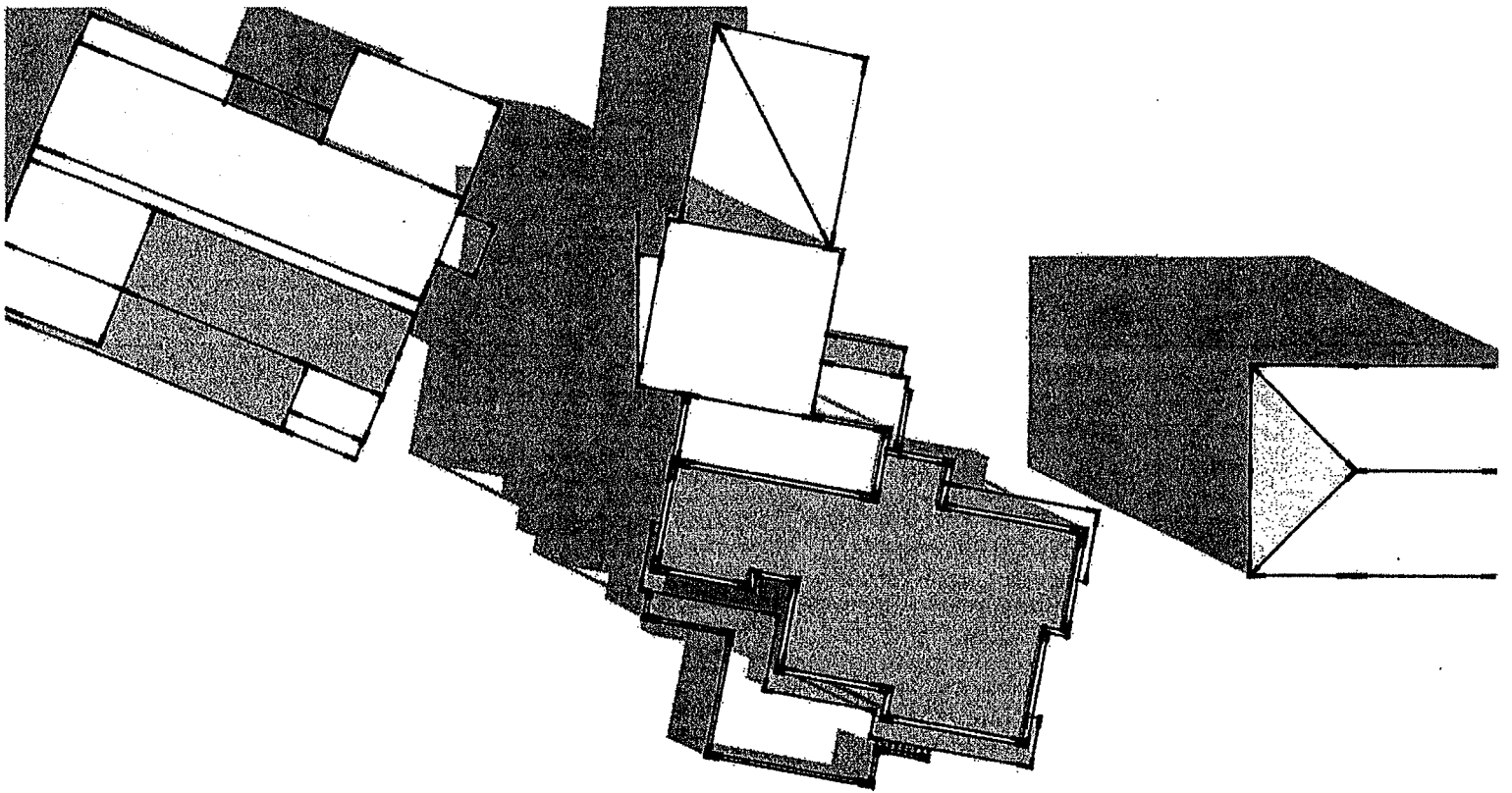
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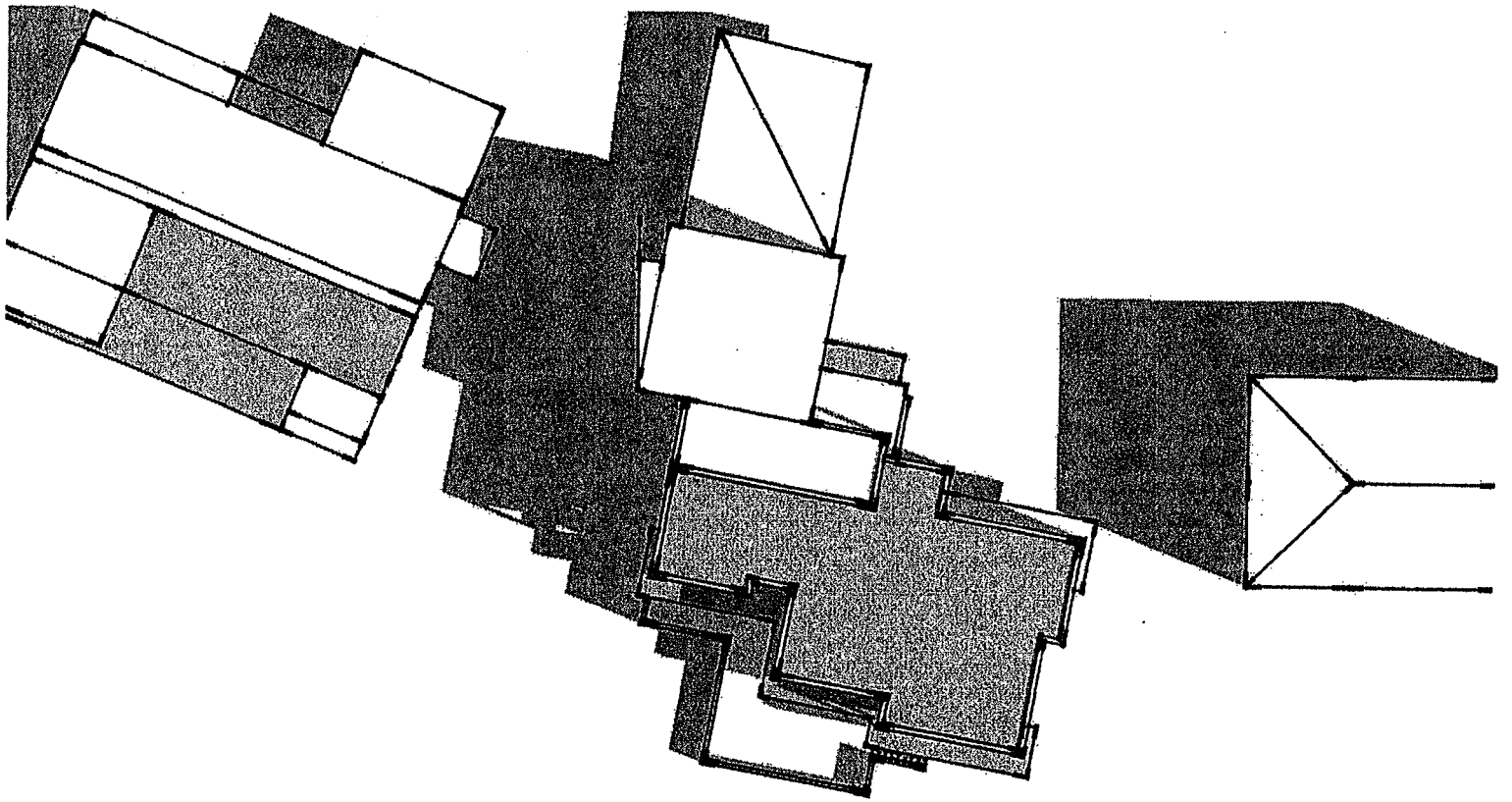
EXHIBIT A1

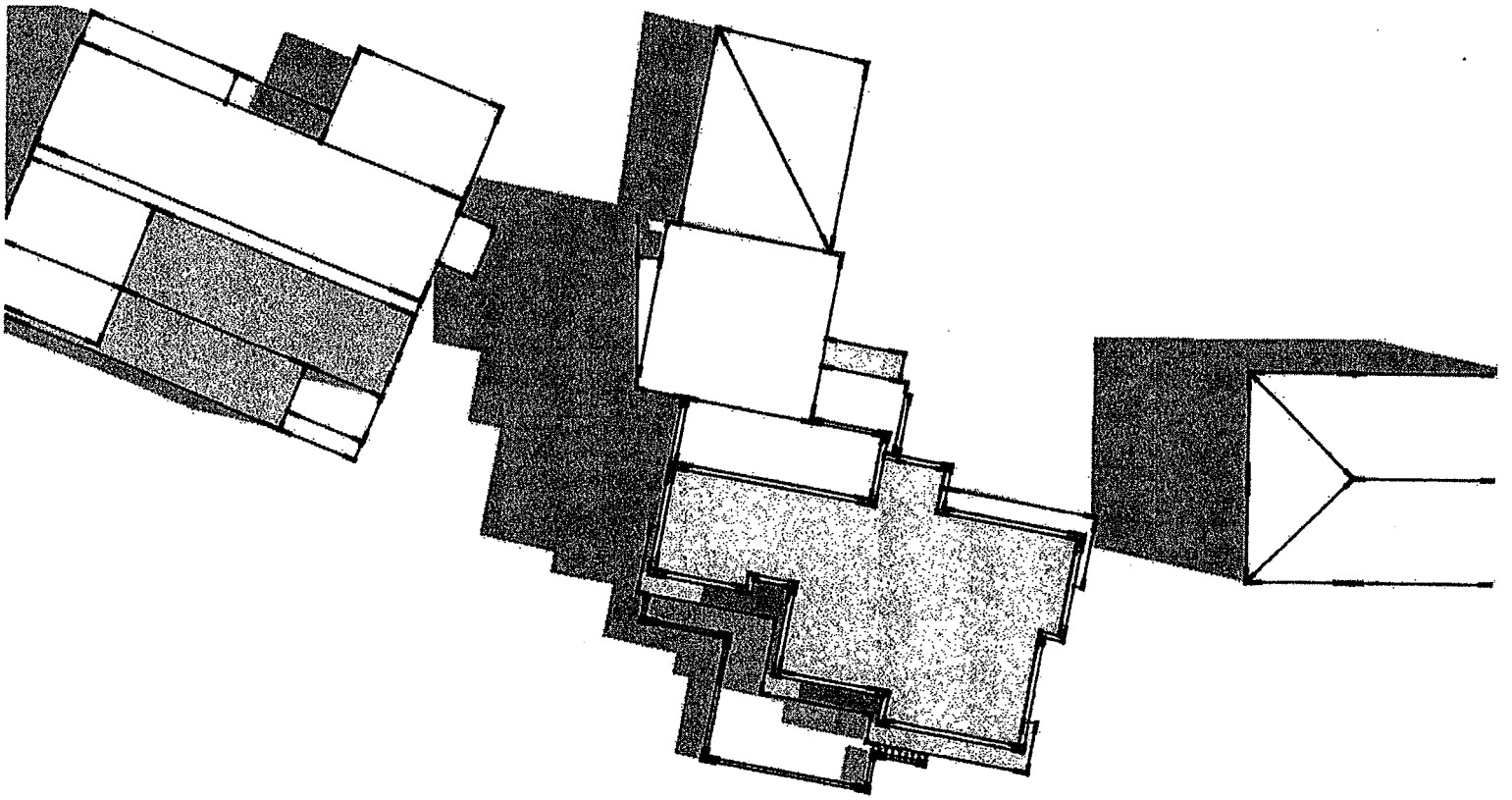


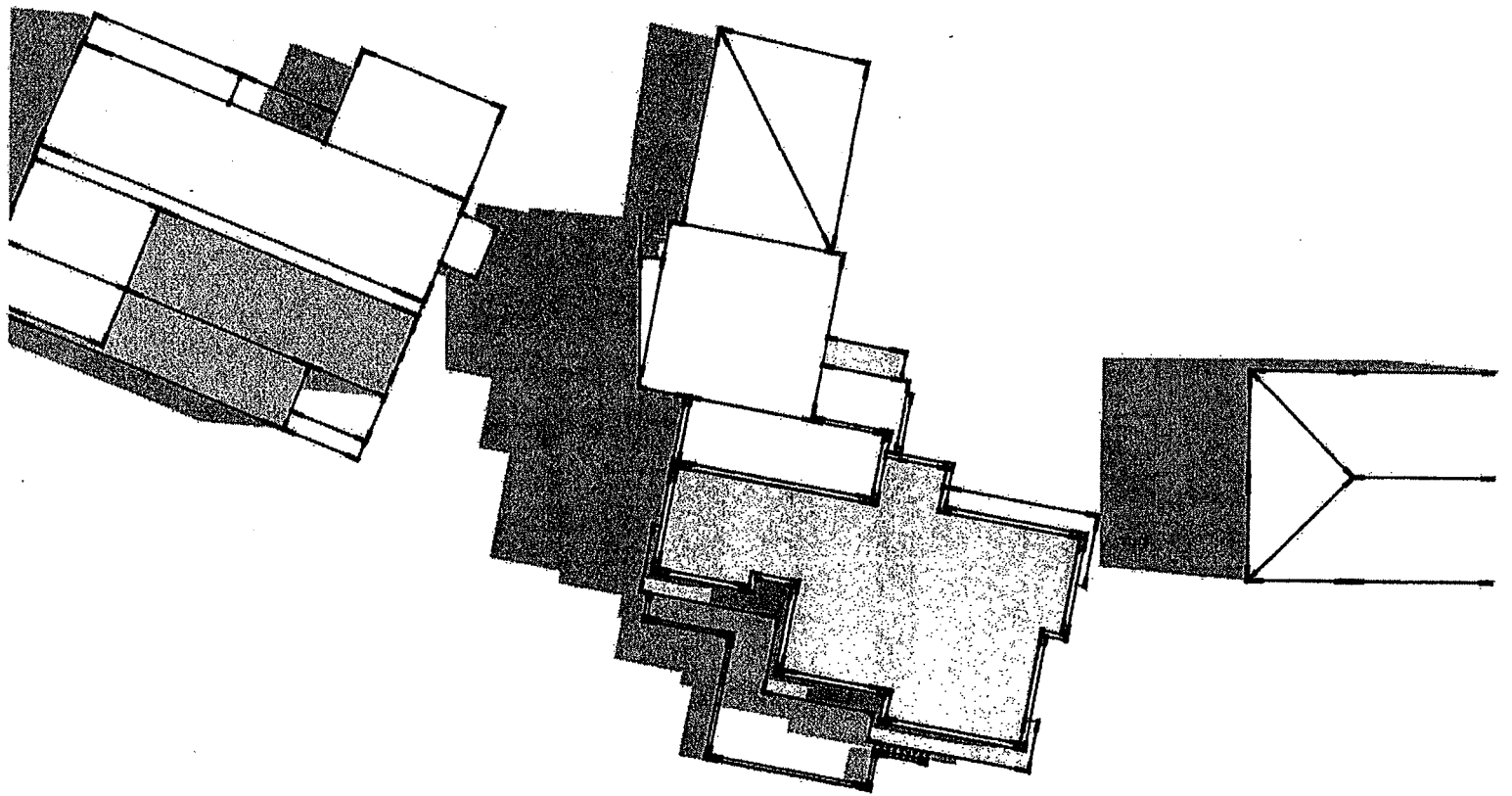


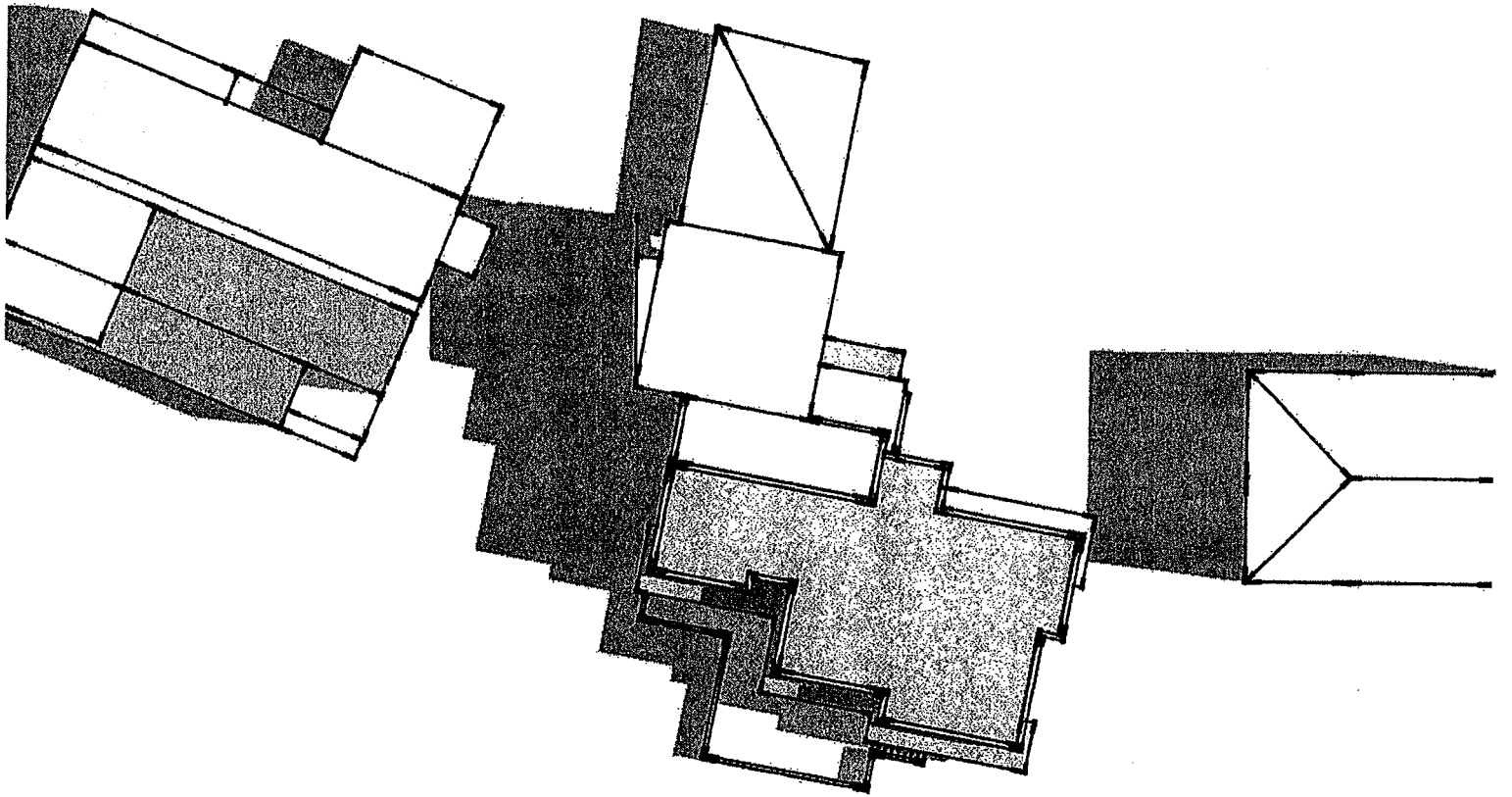


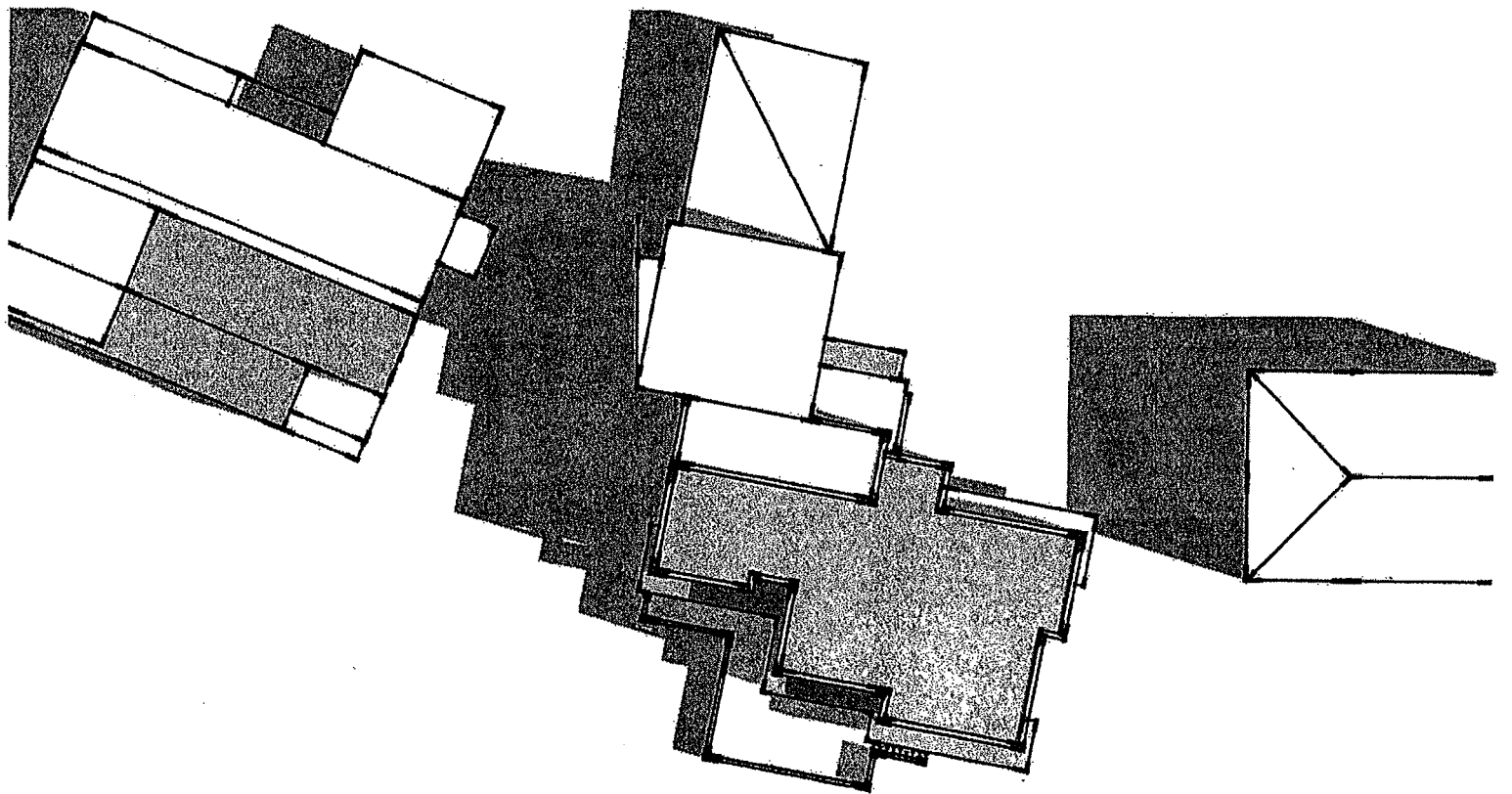


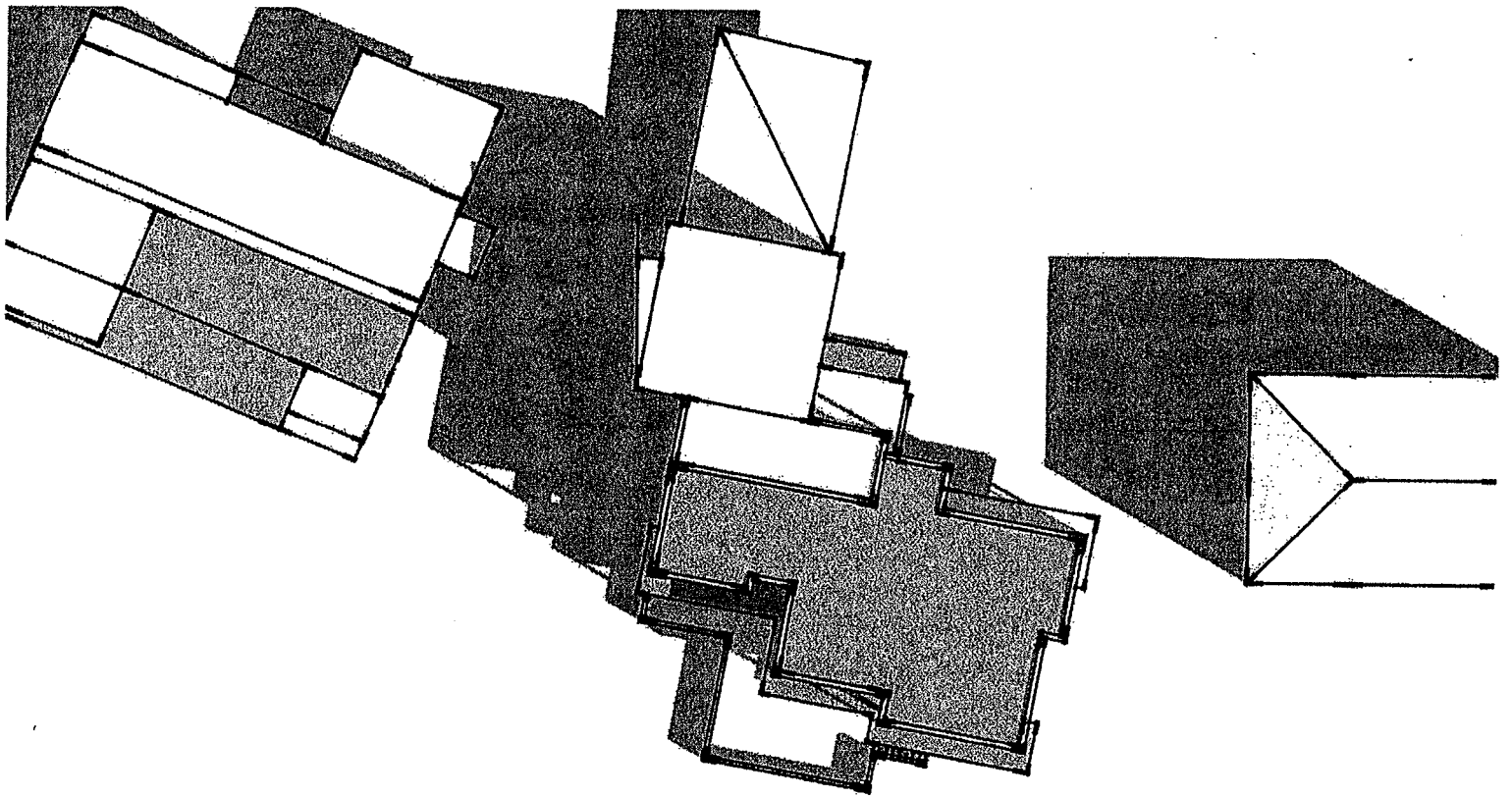


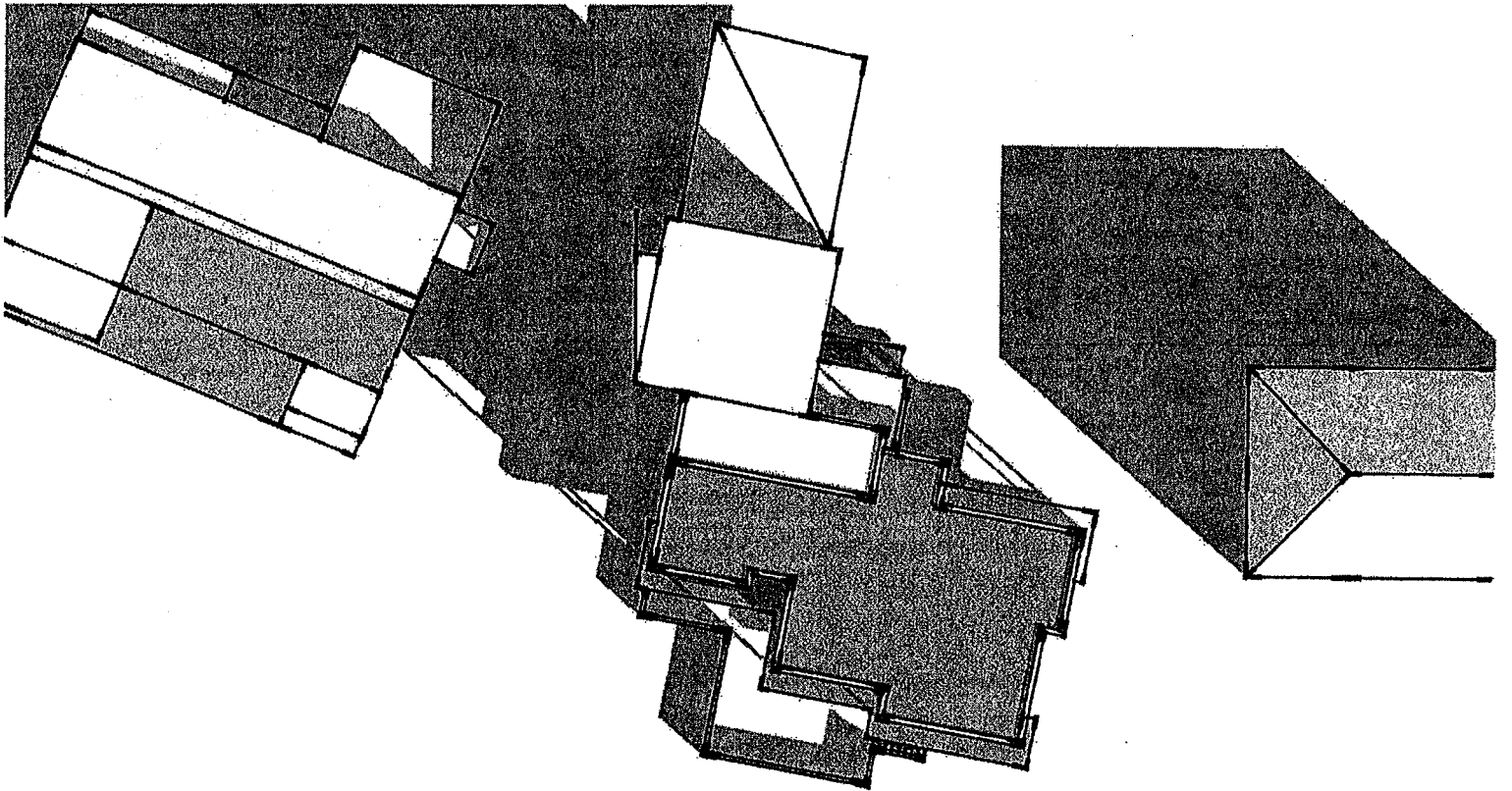


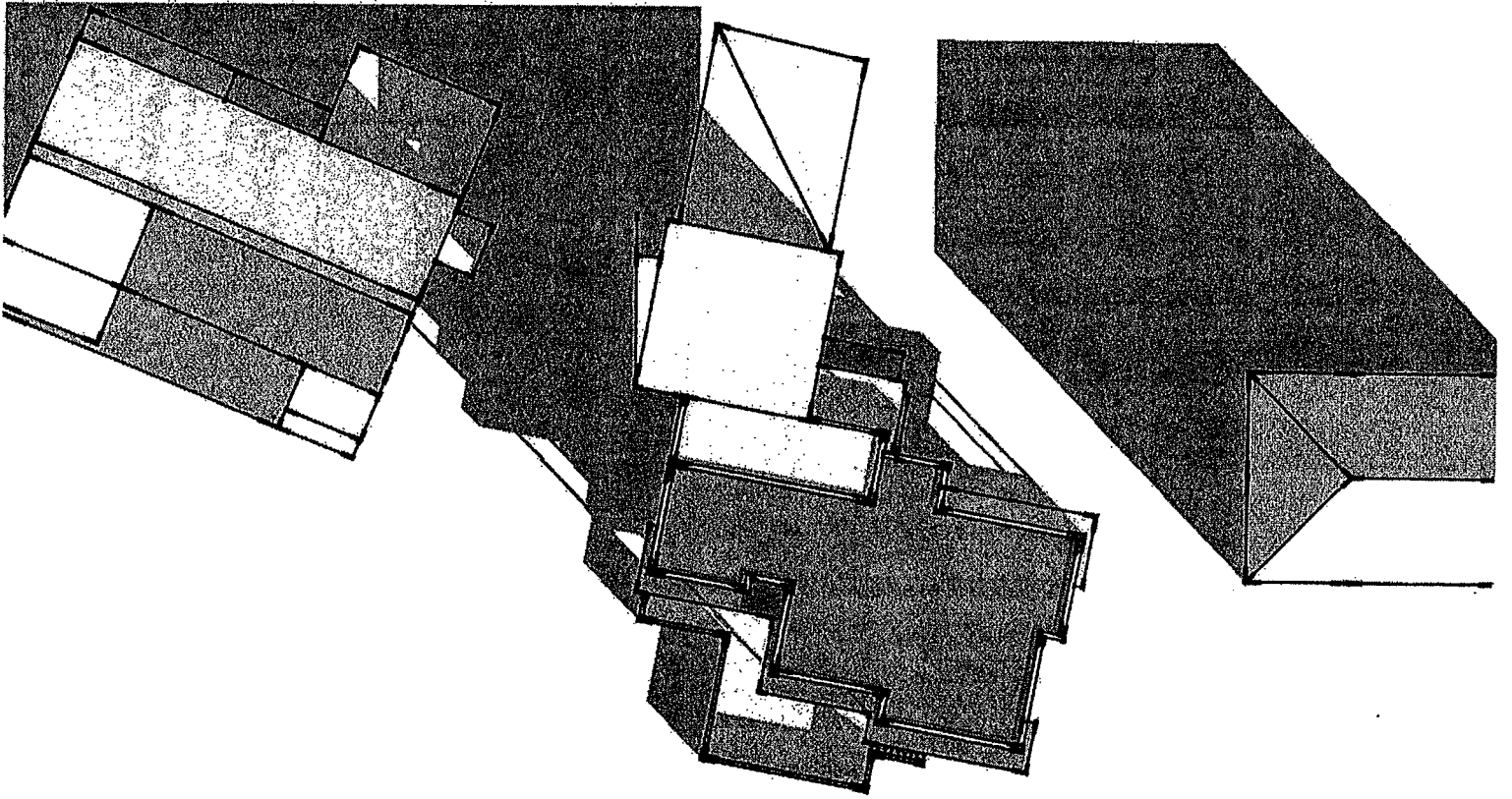












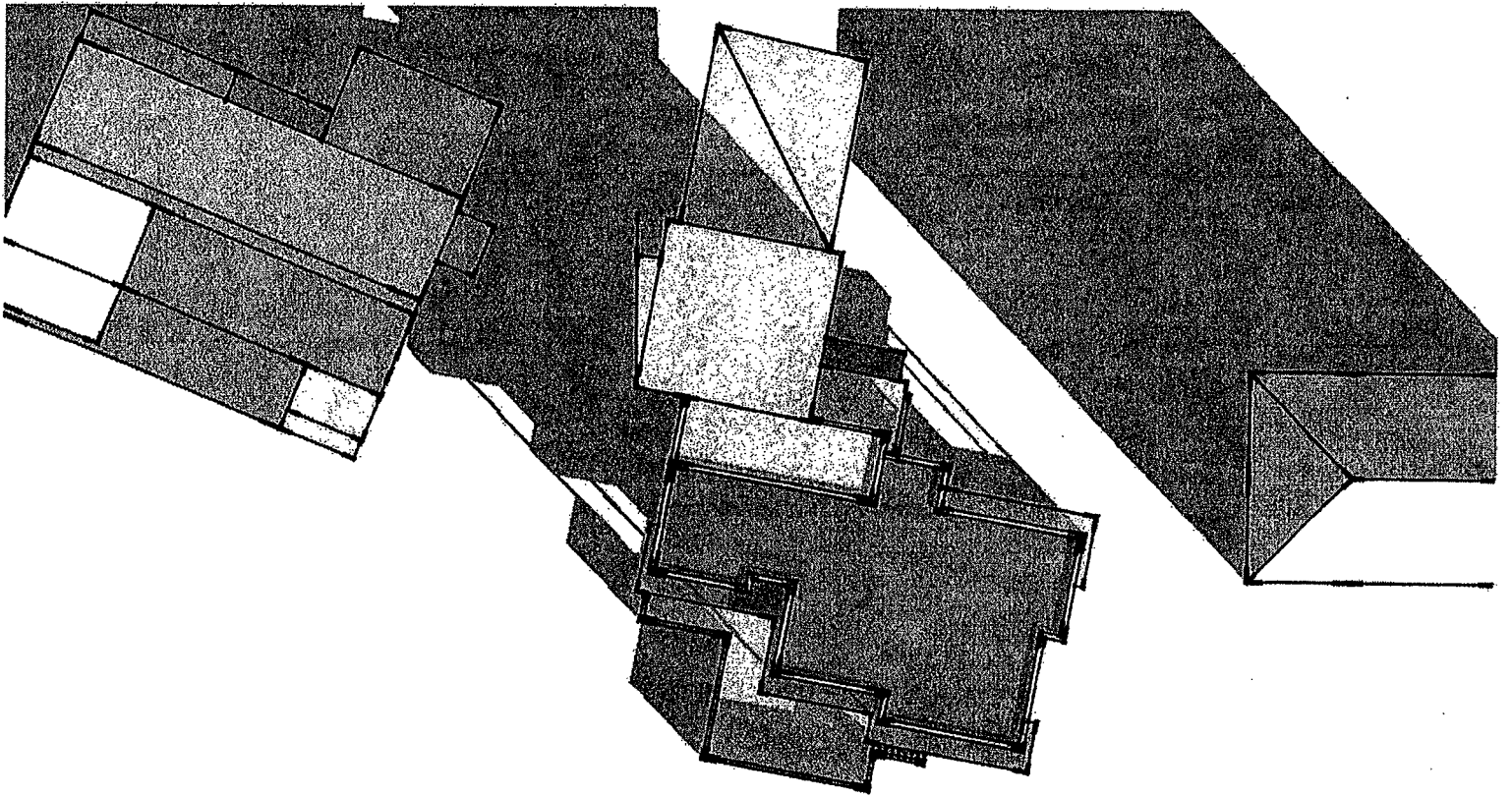
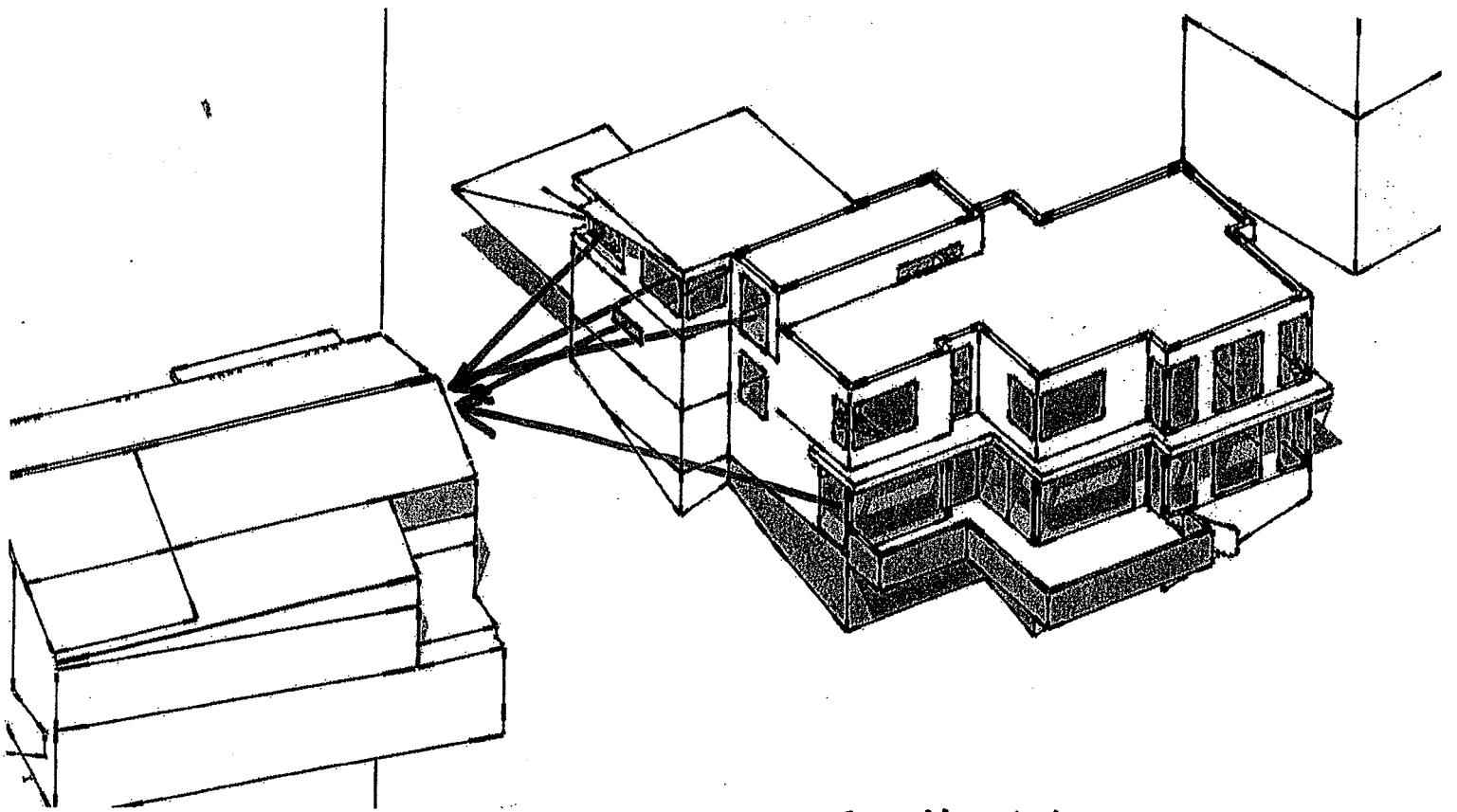
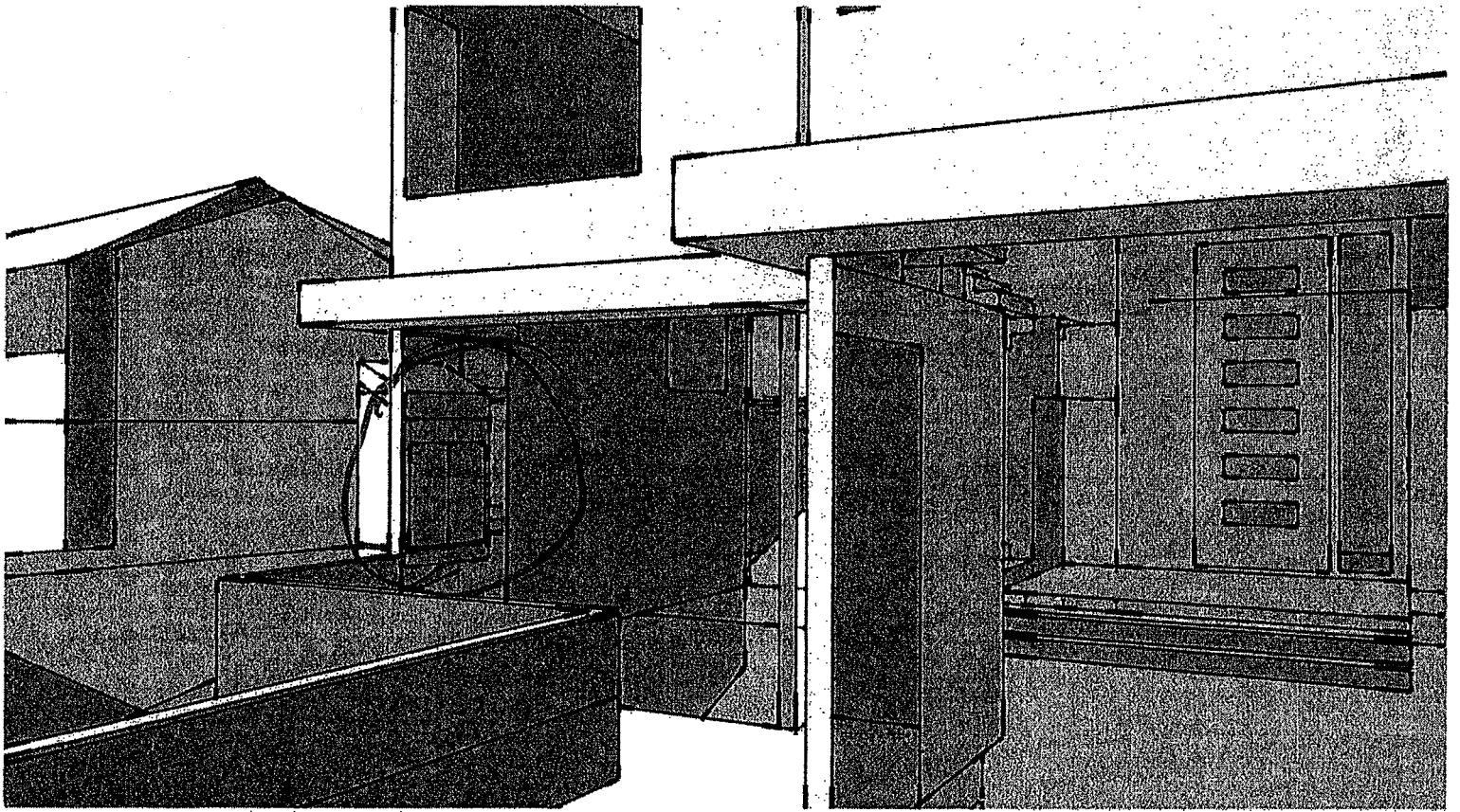


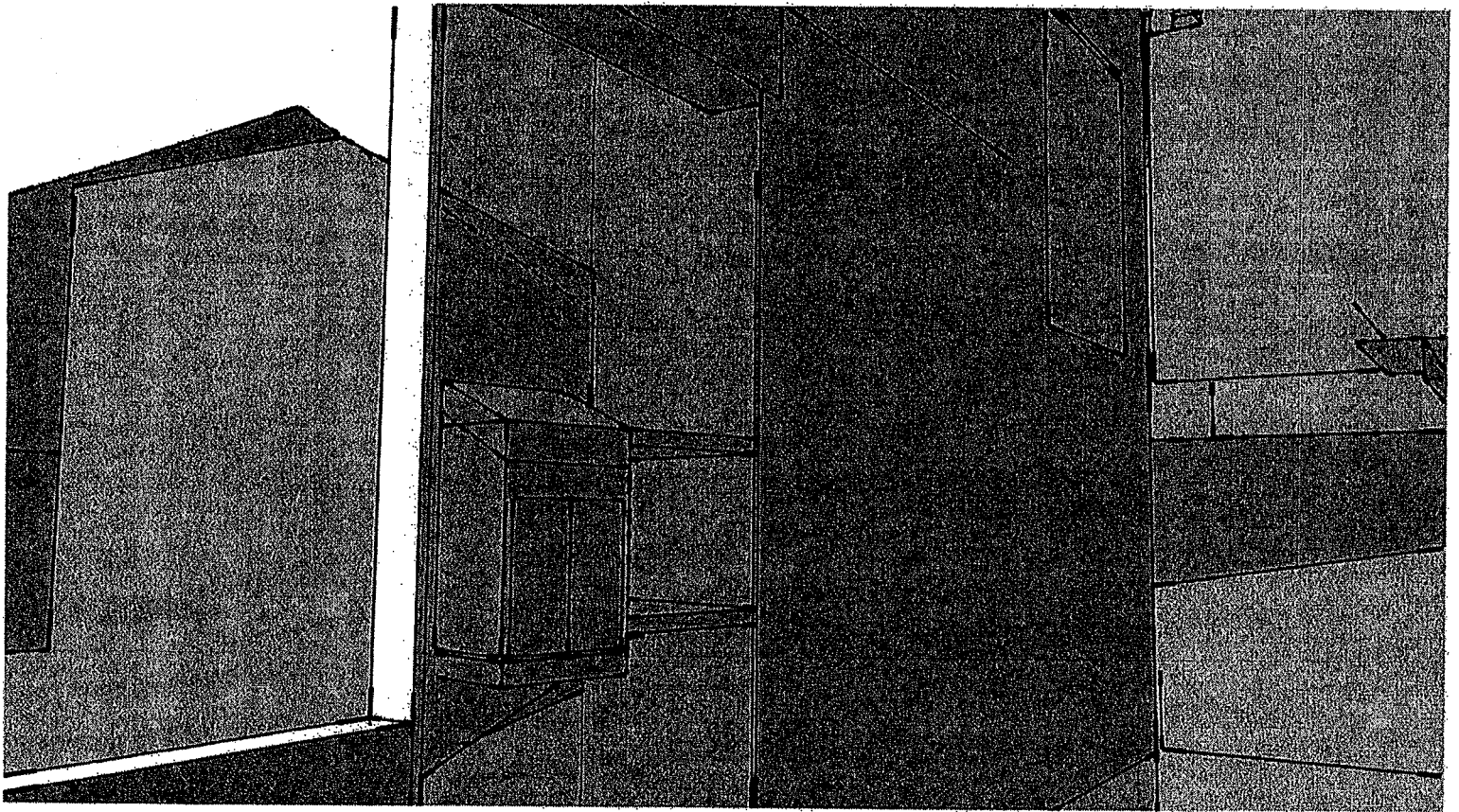
EXHIBIT B1



5 WINDOWS WITH
VIEWS INTO
BEDROOM



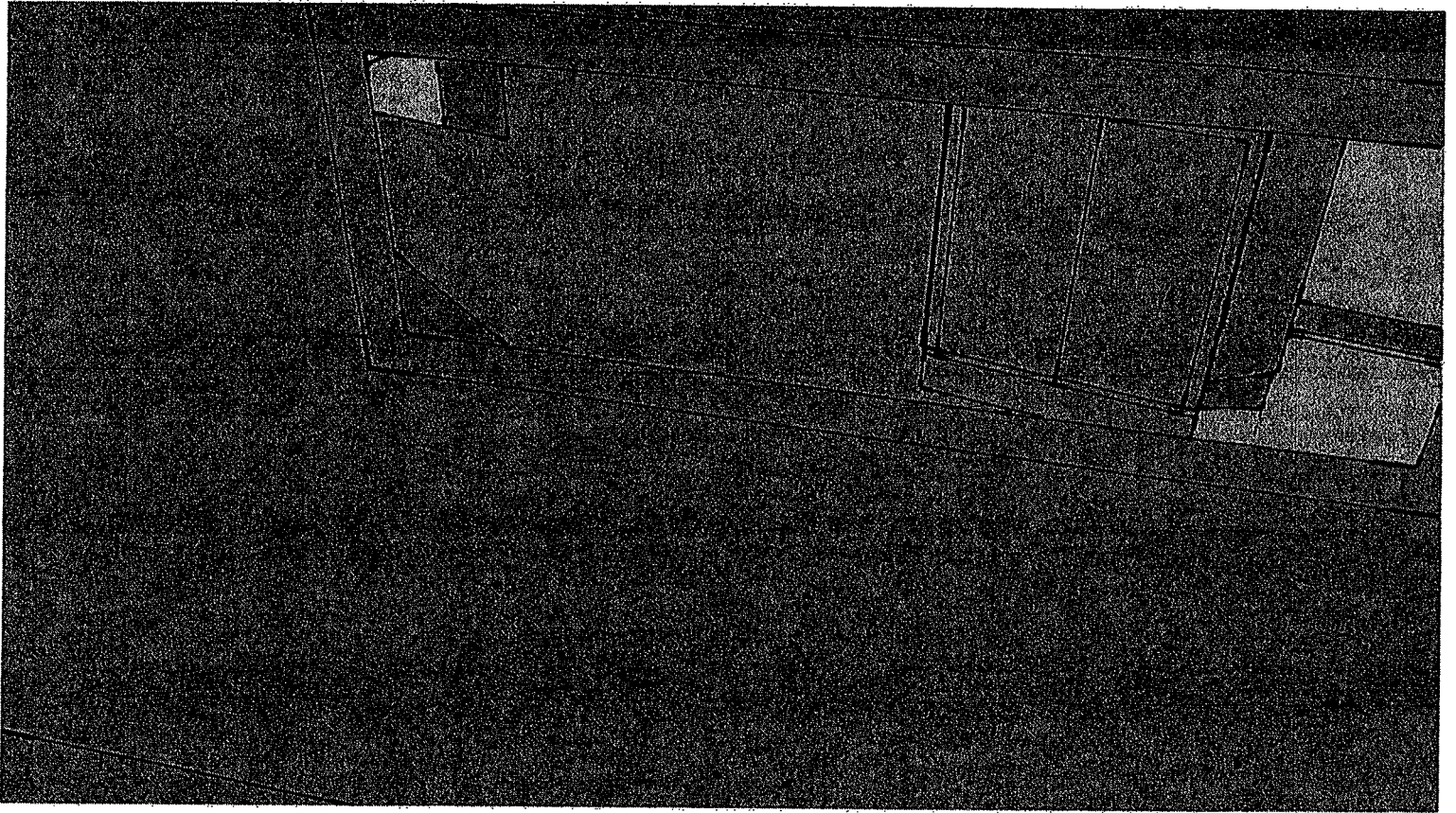
O WOOD DR
LIVING ROOM VIEW INTO
BEDROOM
of
6303 WOOD



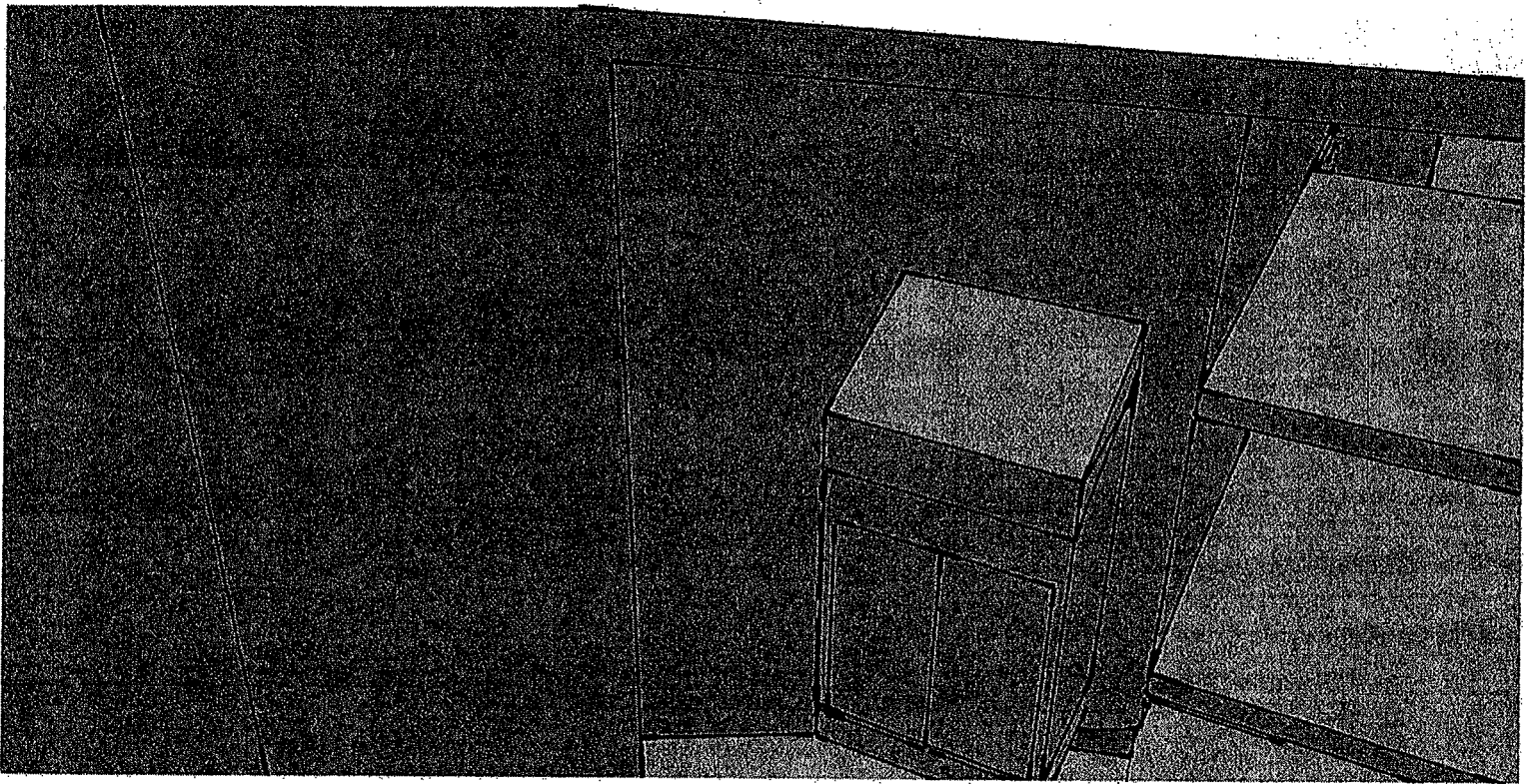
O WOOD DR
LIVING ROOM VIEW INTO
BEDROOM OF
6303 WOOD DR.



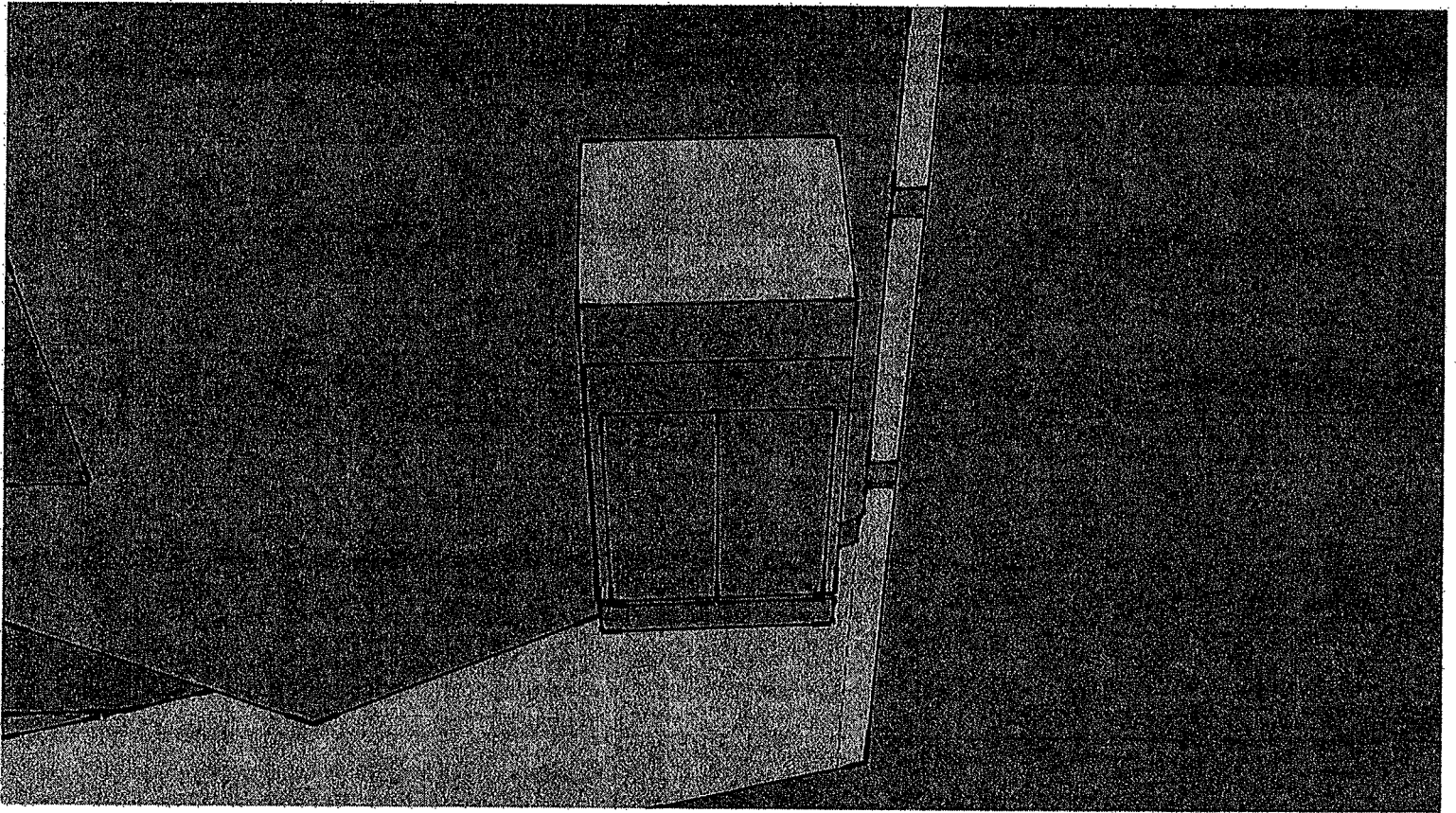
O WOOD DR
VIEW FROM UPPER
STAIR WINDOW
INTO BEDROOM
OF 6303 WOOD



0 WOOD DR
GARAGE WINDOW
VIEW INTO BEDROOM
OF 6303 WOOD DR

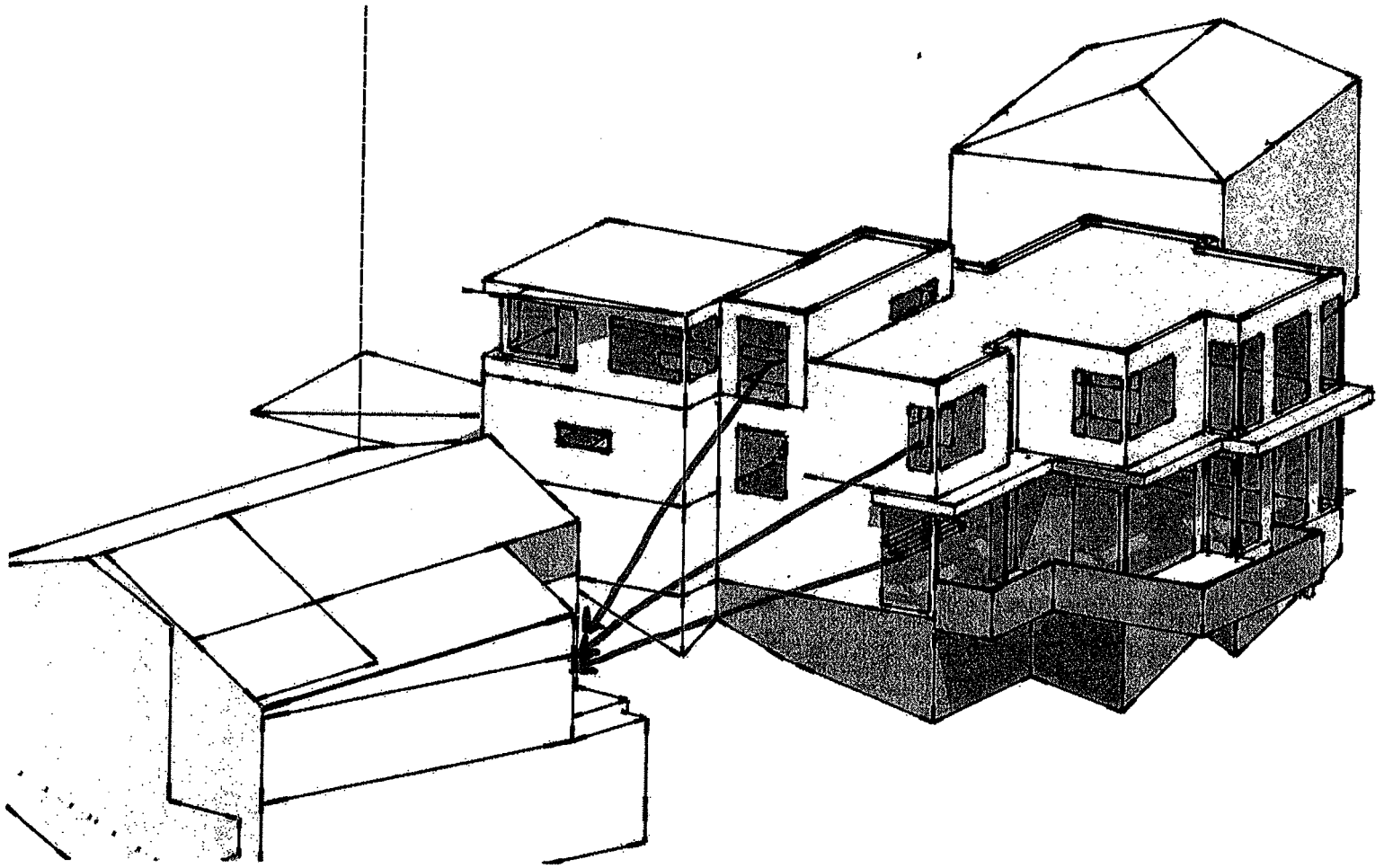


O WOOD DR
VIEW FROM GUEST BDRM
INTO BEDROOM OF
6303 WOOD
(FROM NORTH WINDOW)

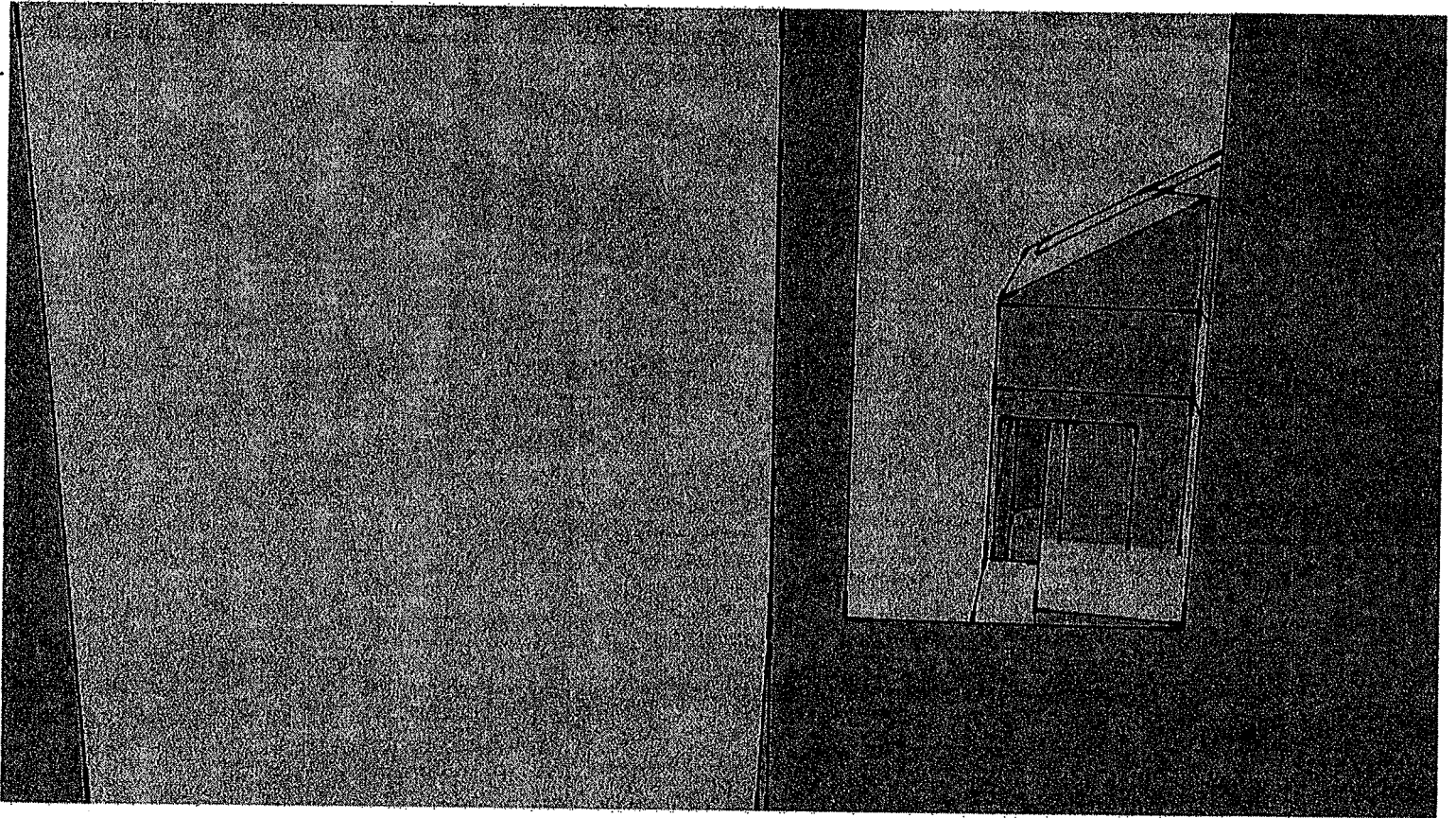


0 WOOD DR
GUEST BEDROOM
VIEW INTO BEDROOM
OF 6303 WOOD DR.
(FROM SOUTH WINDOW)

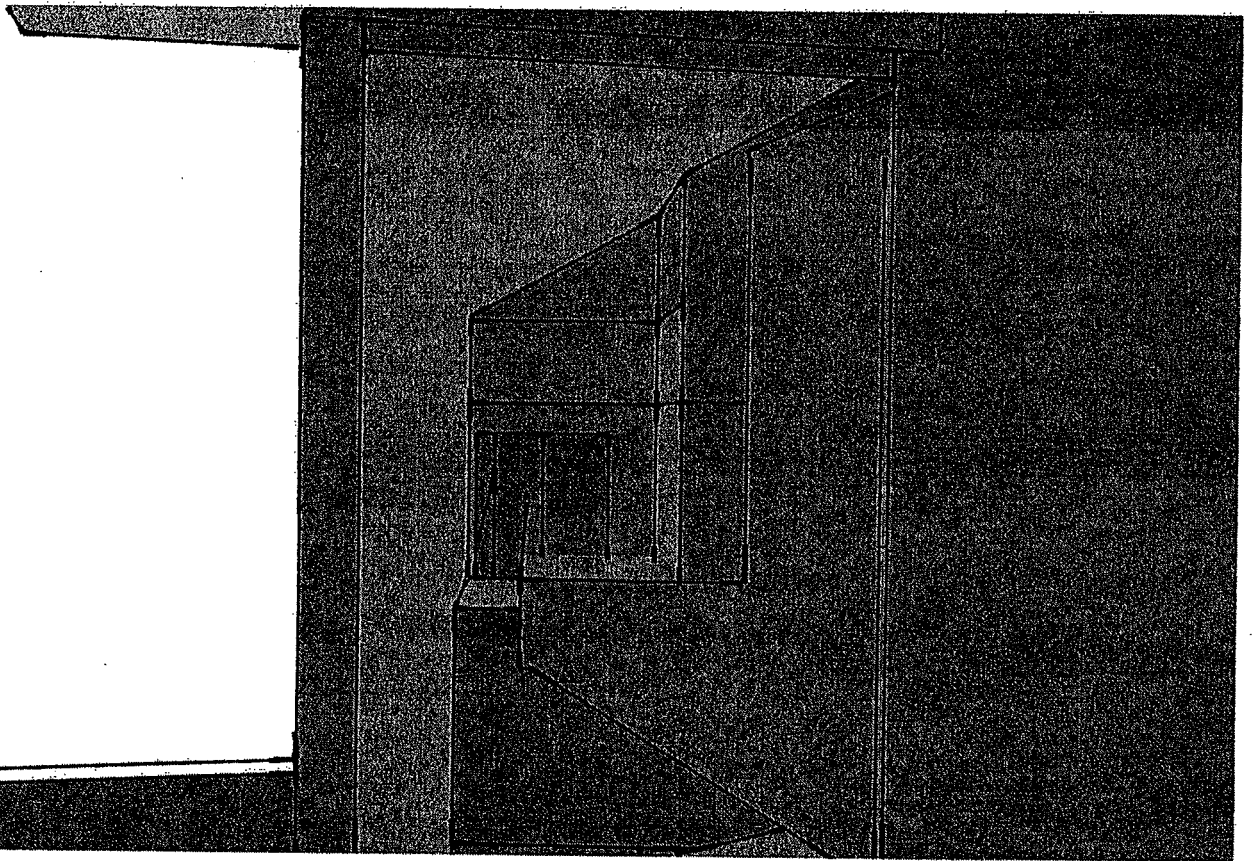
EXHIBIT C1



3 WINDOWS WITH VIEWS
INTO LIVING ROOM
OF 6303 WOOD DR



0 WOOD DR
VIEW FROM BDRM 1
INTO LIVING ROOM
OF 6303 WOOD



O WOOD DRIVE
VIEW FROM LIVING RM
TO LIVING ROOM
OF 6303 WOOD

BACKGROUND

On December 3, 2018, the applicant submitted an application for Design Review and a Minor Variance to construct a new single-family residence at the subject vacant parcel with a 0-foot front yard setback. After staff's initial review of the project, staff worked with the applicant to revise the design to comply with zoning district development standards and design guidelines, thus withdrawing the Variance request. The applicant subsequently provided two submissions of revised drawings, which included the following changes:

1. Provided a compliant 5-foot front yard setback;
2. Improved the massing of the structure to step with the natural topography by reducing the crawlspace height by approximately 3 feet, lowering the ceiling height by more than a foot, lowering the east elevation building height by approximately 5 feet and the west elevation height by approximately 2 feet;
3. Reduced the height of the skirt walls by approximately 2 feet;
4. Introduced material, color, and articulation to reduce the structure's bulk;
5. Minimized the driveway's visual appearance by increasing the downslope grade from the street to 2% to 10%;

On February 22, 2019, as part of the project review process, staff sent out a public notice to property owners with properties located within three hundred (300) feet of the subject site to make them aware of the proposed project and invite them to review the plans and submit comments. Following the public notice, neighbors expressed concerns about the proposal's bulk and mass and potential view, shadow, and privacy impacts and concerns regarding dust, noise, and hillside stability. Zoning staff considered all the comments and determined the concerns were addressable with a design revision.

At the request of staff, the Applicant coordinated with the adjacent neighbors and discussed the concerns, changed the project design to address issues raised by staff and the neighbors, and resubmitted plans. Changes included:

1. A massing and solar access study which showed no solar access impacts on the adjacent properties;
2. Reduction of the overall building height to 32 feet;
3. Reduction of the size of windows, raise sill height to 7 feet, and eliminate windows at the side-facing elevations; and,
4. Provide obscure glass at side-facing elevations to mitigate privacy impacts.

Despite the changes made to the proposal, the comments staff received by community members echoed the sentiment of the public notice plan set. Staff determined that the project complied with all applicable regulations and guidelines, and on April 11, 2019, the Zoning Manager approved the project described in more detail below.

NEIGHBORHOOD CONTEXT

The neighborhood consists of a variety of architectural styles. The prevailing neighborhood development pattern includes large, two- to three-story single-unit homes on medium-sized parcels. Buildings are generally located near the front yard setback and have medium side yard setbacks, as well as large rear open yards for open space. The properties are dense with vegetation typical of a hillside neighborhood. Homes are close to the street and driveways lead to one or two car garages at the front of the home. The homes are predominately Ranch-style as well as include more modern interpretations. Most neighborhood homes incorporate the use of stepped and/or staggered volumes or projected and recessed masses. Contextual roof forms include sheds, hip, gable, and flat roofs. A variety of exterior building materials are used including stucco, horizontal and vertical lap siding, board and batten and accentuating brick detailing.

BASIS FOR THE APPEAL

As further detailed in supporting Attachments included as part of this Appeal (See Exhibit A for details), below are the key points of the appeal followed by staff's responses.

Kim Cardoso (Appellant #1) – Owner and resident of 6311 Wood Drive¹:

- 1. Privacy*** – That the proposed project’s main living areas (lower-floor) and master bedroom (upper floor) are oriented in a manner that do not minimize privacy impacts on the Appellant’s outdoor patio, garden, master bedroom, and office.

Staff’s Response: Staff has worked with the applicant to address the privacy issue by reducing the size of the upper-floor windows and providing obscure glass as prescribed by the applicable guidelines. Furthermore, privacy concerns are sufficiently addressed because there will not be direct casual views into the adjacent neighbor at 6311 Wood Drive as the upper-floor bedroom windows are offset as suggested by the Guidelines and stepped back approximately 30 feet and 40 feet from the neighbor’s yard and side-facing windows at 6311 Wood Drive. Additionally, privacy impacts are further reduced with the existing dense landscaping between the residences. Figure 1 on the following page, a Google Earth image, shows the existing dense tree canopy on the subject site and 6311 Wood Drive to the east (left) of the subject vacant parcel. It is important to note that the Applicant has located and designed the home so as to protect all existing mature trees, with the exception of one tree on the western portion of the subject property that would be removed.

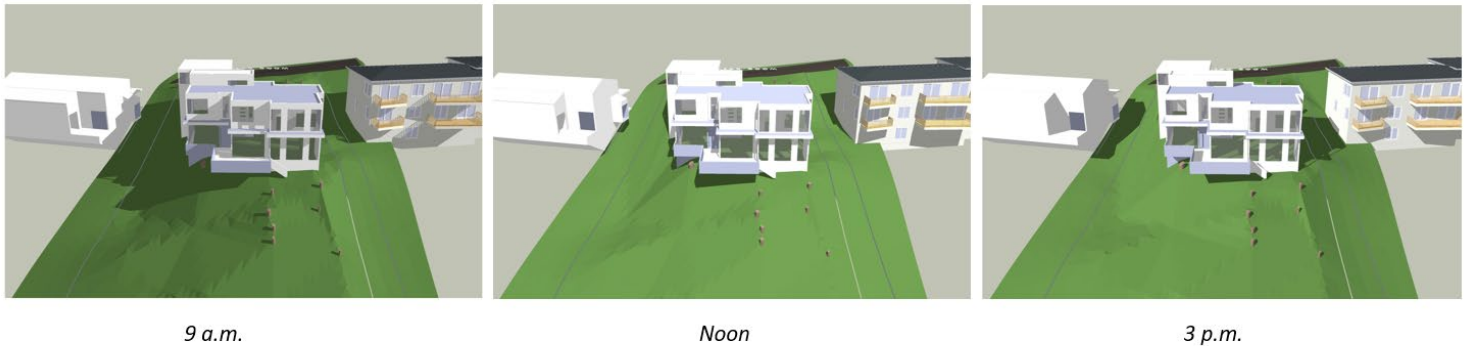


Figure 1 - Existing Canopy at Subject Property

- 2. Sunlight*** – That the placement and height of the proposed residence will block the appellant’s afternoon sunlight.

¹ The Appellant’s arguments have been summarized and do not reflect direct quotes. Please refer to Attachment A for the Appellant’s written Appeal.

Staff's Response: Solar access will not be impacted as a solar access study showed no shadows cast over 50% or more on actively used indoor or outdoor areas for at least two times in a day. Figure 2 on shows the solar access study results and no impact on the adjacent residences.



9 a.m. Noon 3 p.m.
Left: 6303 Wood Drive, Center: Subject Property, Right: 6311 Wood Drive
Figure 2- Solar Access Study – Rear Elevations

3. **Views** – *That the placement and height of the proposed residence is within the appellant's living room and upper deck view corridor, blocking panoramic views and occasional views of the San Francisco Bridge when nearby trees are pruned.*

Staff's Response: Criteria 1 of the City's adopted residential design guidelines notes that the project shall make reasonable effort to maintain the most significant views from primary living spaces of existing residences in close proximity to the lot and view protection is considered within view corridors, subject to view protection limitations. Significant views are defined as views of the bridges, downtown Oakland or San Francisco skyline, a large portion of the bay, a panoramic view of a major natural feature, or a prominent landmark. Primary living spaces are defined in order as main living room, master bedroom, view-oriented deck or patio, kitchen or dining area, or if none of the above, another bedroom. View corridors are defined as sight lines from primary living spaces to significant views; furthermore, a side-facing elevation view corridor is protected only on cross-slope lots steeper than 20% and a change in elevation between abutting residences of at least 10 feet.

As described above, the Appellant is incorrect in respect to potential view impacts pursuant to the design review criteria. There are no protected significant views at this property. The views of homes on the hill with vegetation is not a major natural feature. The Manual provides guidance here with examples of major features such as the Oakland/Berkeley hills, Mount Diablo, Lake Merritt, etc. Furthermore, as detailed in the Appeal, the pruning of trees on an adjacent lot, allowing the Appellant to "periodically" have views of "the bridge and San Francisco" is not a significant view. Figure 3 on the following page of a Google Earth image shows that the Appellant's property and primary living spaces face south, whereas the proposed project is located to the west, where a view corridor does not exist.

Although the Appellant's property does not have view corridors impacted by the proposed project, the Applicant revised the elevation facing the Appellant's property by lowering a portion of the overall building height by approximately 5 feet where facing the Appellant's property while maintaining a minimum distance of 20 feet from the house to the Appellant's home.



Figure 3 - Aerial View – Southwest-facing

- 4. Height** – That the proposed residence could be lowered into the hillside and/or the ceiling height could be reduced.

Staff's Response: In accordance with the Regular Design Review Findings and Criteria 7 Bulk: Special Methods for Hillside, the building steps down the hillside as the elevation slopes down from the street to the rear of the property. At the request of staff and the neighbors, the Applicant further reduced the height of the structure by approximately 5 feet at the east-facing elevation (facing 6311 Wood Drive) and 2 feet at the west-facing elevation (facing 6303 Wood Drive). The Zoning allows buildings that are on a 20-40% building footprint slope to have a maximum wall height of 32'. The home has achieved a Zoning-compliant overall building height of 32 feet. Furthermore, as requested by staff and in accordance with Criteria 7.3: Skirt Walls, the Applicant further stepped the structure down with the slope to reduce the skirt walls to a maximum height of 3 feet along the east-facing elevation, reducing the perceived and actual bulk of the home.

- 5. Setbacks** – That the home is inconsistent with the adjacent residences' front yard setbacks and should be moved uphill, resulting in a reduced front setback parallel with the adjacent lots, as well as increase the side yard setback at the rear elevation.

Staff's Response: The house is situated to provide Zoning-compliant setbacks, as detailed in the above *Zoning Analysis* section. The house is located well within the bounds of the allowable building envelope and situated to respect the existing site features and natural amenities of the lot. Specifically, the house is located on the flattest portion of the lot, avoiding excessive grading and retaining walls and maintaining the natural hillside downslope from the street, while also preserving twelve (12) of the thirteen (13) mature trees located on the site.

Had the Applicant shifted the structure north, closer to the front property line, the resulting design would compromise the natural hillside topography and existing vegetation, and likely result in a less desirable

structure footprint and floor plan. As approved, the building volumes are carefully organized to create transitions and maintain openness between the existing structures.

Furthermore, the Appellant noted in the Appeal that the neighbor located to the east has a side elevation located 35 feet from the side of their home; however, this building separation is not common in the neighborhood. As shown in Figure 4 below, the neighborhood does not have a context of 35-foot distances between side-facing elevations. Rather, the majority of structures are located far closer together, often times separated by less than 15 feet between adjacent building side elevations.



Figure 4 - Side Setback Context

6. *Project Posting Procedure* – *That the City’s public notice procedure fosters distrust and poor faith.*

Staff’s Response: The project was publicized in compliance with the Regular Design Review notification procedures as specified in Planning Code Section 17.136.040.C. Notice was given by mail to all property owners within three hundred (300) feet of the project site no less than seventeen (17) days prior to the date set for decision on the application by the Planning Director. On February 22, 2019 staff publicized the project by mailing notices via U.S. Mail and three days later also having a yellow sign posted at the subject project site. Pursuant to Planning Code Section 17.130.030, notice by mail is deemed given on the date the notice is placed into the U.S. Mail system. Following the notice, Planning staff received and considered comments from some interested parties. Staff received comments from neighbors and followed up numerous times by email and telephone. Following consideration of the comments and further modifications to the proposal made by the Applicant, the project was ultimately determined to comply with the Zoning standards and design guidelines and approved by the Director on April 11, 2019.

The Appellant is correct that the notice sign was posted on the subject parcel on February 25, 2019, three (3) days after the notice by mail was sent on February 22, 2019. Due to the delay, and by the request of staff, the notice sign remained posted onsite for an extended period of time to account for the delayed posting.

7. *Noise, Dust and Structural Stability* – *That the Appellant will not tolerate construction noise beyond reasonable hours nor excessive dust on her garden, in her home, and breathed by her family; and that site drilling on the subject lot will threaten the stability of the hillside.*

Staff Response: The Zoning Manger decision letter dated April 11, 2019 (Attachment B) includes standard conditions of approval (SCA) that address the Appellant’s above concerns relating to noise, dust, and structural stability. The following SCAs are included in the decision letter:

- **SCA #17 – Dust Controls – Construction Related**
- **SCA #18 – Criteria Air Pollutant Controls – Construction Related**
- **SCA #24 – Seismic Hazards Zone (Landslide/Liquefaction)**
- **SCA #27 – Erosion and Sedimentation Control Plan for Construction**
- **SCA #33 – Construction Days/Hours**
- **SCA #34 – Construction Noise**
- **SCA # 35 – Extreme Construction Noise**
- **SCA # 36 – Operational Noise**

Michael Steel (Appellant #2) – Owner and resident of 6303 Wood Drive²:

8. ***Shadows*** – *That the proposed project will adversely impact the solar access to the Appellant’s easterly-facing sun deck and floor to ceiling windows that allow light to the eating and living areas.*

Staff Response: Please see Staff’s response to Argument 2 referring to solar access impacts.

9. ***Privacy*** – *That the project’s ten (10) windows located at the west elevation will adversely impact the privacy of the Appellant’s bedroom, sun deck, hot tub and living room.*

Staff’s Response: Staff has worked with the applicant to address the privacy issue by reducing the size of the upper-floor window living room windows and providing obscure glass at the stairway as prescribed by the applicable guidelines. Furthermore, privacy concerns are mitigated because there will not be direct casual views into the adjacent neighbor at 6303 Wood Drive as the upper-floor windows are offset as suggested by the Guidelines and stepped back approximately 25 to 40 feet from the Appellant’s side-facing windows at 6303 Wood Drive. Furthermore, the dense landscaping between the residences visually obscures views into the windows and outdoor areas of 6303 Wood Drive. Figure 5 on the following page, a Google Earth image, shows the existing dense tree canopy on the subject site and 6303 Wood Drive to the west (left) of the subject vacant parcel.

² The Appellant’s arguments have been summarized and do not reflect direct quotes. Please refer to Attachment A for the Appellant’s written Appeal.



Figure 5 – Landscaping at 6303 Wood Drive and Subject Parcel

- 10. Massing** – *That the project’s monolithic massing does not step with the hillside topography and appears as a giant wall.*

Staff’s Response: Criteria 7 of the design guidelines discusses special methods to reduce bulk on hillsides. These guidelines include, though are not limited to, stepping the building massing with the terrain, breaking the building into multiple volumes with staggered setbacks, maintaining openness between buildings, and providing strong shadow patterns on downslope elevations.

The project meets the guidelines. As shown in the approved plans (Attachment C) and Figures 6 and 7 on the following page, the building’s massing is proportionate to the Appellants’ homes. The building steps with the downslope terrain and the multiple volumes have staggered setbacks at the front and along the sides of the structure. Furthermore, the tapered building footprint with increased side yard setbacks beyond what the Zoning requires maintains openness between the home and the Appellants’ properties. In addition to the multiple volumes and stepped-back building footprint, the project incorporates modest projections and overhangs as well as recessed openings to provide strong shadow patterns to further reduce the bulk of the structure and provide visual interest.

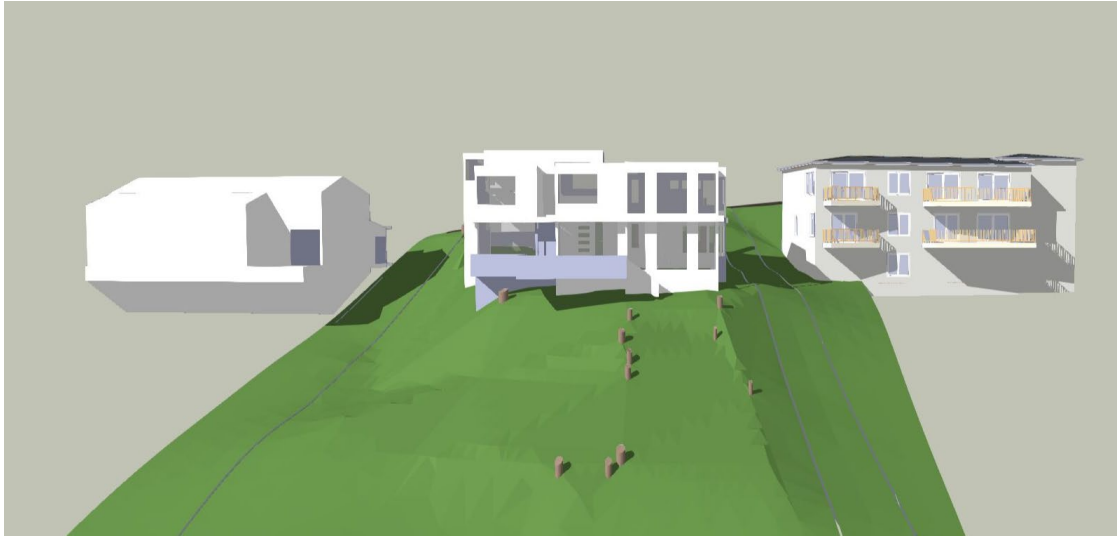


Figure 6 - Massing at Rear Elevations (Left: 6303 Wood Dr, Center: Subject Parcel; Right: 6311 Wood Dr)



Figure 7 - Massing at Front Elevations (Left: 6311 Wood Dr, Center: Subject Parcel, Right: 6303 Wood Dr)

11. Windows – That the project’s ten (10) westerly windows are excessive and should be located a minimum of 5 feet above floor level, be removed, or reduced in size and/or transparency.

Staff Comment: Please see Staff’s response to Argument 9 referring to privacy and windows.

CONCLUSION

In conclusion, the Appellant fails to cite any error or abuse of discretion by the Zoning Manager and / or when the decision is not supported by evidence in the record. There is no reasonable basis for overturning staff’s determination, as reflected in the Findings for Approval and this staff report. Staff recommends that the RAC uphold the Zoning Manager’s decision and deny the Appeal.

RECOMMENDATIONS:

1. Uphold staff’s CEQA environmental determination
2. Deny the appeal and uphold the Zoning Administrator’s approval of the project based on this appeal report

Prepared by:

Alexi Wordell, Planner I

Reviewed by:

Maurice Brenyah-Addow, Planner IV

Reviewed by:

Robert Merkamp, Zoning Manager
Bureau of Planning

ATTACHMENTS:

- A. Appeal documents
 - B. Zoning Manager Approval letter
 - C. Approved Project Plans dated April 1, 2019
-

CITY OF OAKLAND



DALZIEL BUILDING • 250 FRANK H. OGAWA PLAZA • SUITE 3315 • OAKLAND, CALIFORNIA 94612

Planning and Building Department
Bureau of Planning

(510) 238-3941
FAX (510) 238-6538
TDD (510) 238-3254

April 11, 2019

John Newton
5666 Telegraph Avenue
Oakland, CA 94609

RE: Case File No. PLN18513 – Vacant Parcel (located on the south side of Wood Drive between 6303 & 6311 Wood Drive) – APN: 048C-7179-023-00

Dear John Newton:

Your application, as described below, has been **APPROVED** for the reasons stated in Attachment A, which contains the findings required to support this decision. Attachment B contains the Conditions of Approval for the project. This decision is effective ten (10) days after the date of this letter unless appealed as explained below.

The following table summarizes the proposed project:

Proposal:	To construct a new 3,060-square-foot, two-story single-family residence with a 462-square-foot attached garage on a vacant 0.28-acre down-sloping (approximately 30%) parcel. The project includes a Tree Removal Permit to remove one (1) 24-inch Oak Tree and Tree Preservation Permit to protect four (4) trees.
Planning Permits Required:	Regular Design Review for new residential construction
General Plan:	Hillside Residential
Zoning:	RH-4/S-9 (Hillside Residential – Zone 4; Fire Safety Protection Combining Zone)
Environmental Determination:	15303 – New Construction or Conversion of Small Structures; and 15183 – Projects Consistent with a Community Plan, General Plan or Zoning
Historic Status:	Non-Historic Property
City Council District:	4

If you, or any interested party, seeks to challenge this decision, an appeal **must** be filed by no later than ten calendar (10) days from the date of this letter, by **4:00 pm on April 22, 2019**. An appeal shall be on a form provided by the Bureau of Planning of the Planning and Building Department, and submitted to the same at 250 Frank H. Ogawa Plaza, Suite 2114, to the attention of **Alexi Wordell, Planner I**. The appeal shall state specifically wherein it is claimed there was error or abuse of discretion by the Zoning Manager or wherein his/her decision is not supported by substantial evidence and must include payment of \$1,622.57 in accordance with the City of Oakland Master Fee Schedule. Failure to timely appeal will preclude

ATTACHMENT A: FINDINGS

This proposal meets all the required findings under the Regular Design Review Criteria (Section 17.136.050) of the Oakland Planning Code (OMC Title 17) as set forth below and which are required to approve your application. Required findings are shown in **bold type**; reasons your proposal satisfies them are shown in normal type.

1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures;

The proposed project has a contemporary design that harmonizes with the adjacent single-family residential properties and surroundings in terms of setting, scale, bulk, height, exterior materials and treatments. Specifically, the proposed residential facility complies with the required setbacks, similarly to adjacent residences. The proposed side setbacks are greater than the minimum required, allowing for a pedestrian-oriented front facade with adequate distance for privacy between the adjacent residences. Furthermore, the proposed residence is composed of moderately-scale geometric volumes and planes, hierarchically organized to minimize perceived bulk while complying with the height requirements and maintaining massing that steps with the natural topography.

2. That the proposed design will protect, preserve, or enhance desirable neighborhood characteristics;

The project maintains the single-family residential character of the neighborhood and neither proposes a higher density nor introduces a prohibited activity at the site. The proposed residence is sensitive to the natural environment, preserving the hillside character and dense landscaping, including all but one tree. In addition to the existing dense landscaping, the project is adequately stepped with the topography and oriented to minimize shadow, view, and privacy impacts to adjacent properties. The proposed improvements to the vacant site will provide a functional living space for the residents while maintaining a design that is complementary to the neighborhood. It will contribute to the City's goal of increasing the housing stock in Oakland.

3. That the proposed design will be sensitive to the topography and landscape.

The project is situated such that the building is located on the flattest portion of the site and the building volumes have been designed to align with the site contours in order to minimize the grading and need for retaining walls. The structure's footprint has been designed to preserve the existing vegetation, protecting all trees with the exception of one tree to be removed. The tree to be removed will be replaced with a new replacement tree species that is sensitive to the hillside vegetation.

4. That, if situated on a hill, the design and massing of the proposed building relates to the grade of the hill;

Consistent with the City's adopted residential guidelines, including hillside properties, the proposed building is massed such that it is designed into distinctive geometric volumes and planes, skillfully arranged to minimize the perceived bulk as well as mitigate shadow, view, or privacy impacts. Furthermore, to maintain openness between structures, the residence has been designed to have increased side yard setbacks between adjacent structures.

5. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

The project involves the construction of a detached single-family residence on a 12,428-square-foot vacant, down-sloping site within the Hillside Residential General Plan classification. The project is consistent with all significant respects of the General Plan, including but not limited to, maintaining the low density and residential hillside character of the land use classification.

enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the Approval or alter these Conditions if it is found that there is violation of any of the Conditions or the provisions of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions. The project applicant shall be responsible for paying fees in accordance with the City's Master Fee Schedule for inspections conducted by the City or a City-designated third-party to investigate alleged violations of the Approval or Conditions.

6. Signed Copy of the Approval/Conditions

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times.

7. Signed Copy of the Approval/Conditions

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times.

8. Blight/Nuisances

The project site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within sixty (60) days of approval, unless an earlier date is specified elsewhere.

9. Indemnification

- a. To the maximum extent permitted by law, the project applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the Oakland City Council, the Oakland Redevelopment Successor Agency, the Oakland City Planning Commission, and their respective agents, officers, employees, and volunteers (hereafter collectively called "City") from any liability, damages, claim, judgment, loss (direct or indirect), action, causes of action, or proceeding (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "Action") against the City to attack, set aside, void or annul this Approval or implementation of this Approval. The City may elect, in its sole discretion, to participate in the defense of said Action and the project applicant shall reimburse the City for its reasonable legal costs and attorneys' fees.
- b. Within ten (10) calendar days of the filing of any Action as specified in subsection (a) above, the project applicant shall execute a Joint Defense Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment, or invalidation of the Approval. Failure to timely execute the Letter of Agreement does not relieve the project applicant of any of the obligations contained in this Condition or other requirements or Conditions of Approval that may be imposed by the City.

10. Severability

The Approval would not have been granted but for the applicability and validity of each and every one of the specified Conditions, and if one or more of such Conditions is found to be invalid by a court of competent jurisdiction this Approval would not have been granted without requiring other valid Conditions consistent with achieving the same purpose and intent of such Approval.

11. Special Inspector/Inspections, Independent Technical Review, Project Coordination and Monitoring

The project applicant may be required to cover the full costs of independent third-party technical review and City monitoring and inspection, including without limitation, special inspector(s)/inspection(s) during times of extensive or specialized plan-check review or construction, and inspections of potential violations of the Conditions of Approval. The project applicant shall establish a deposit with Engineering Services and/or the Bureau of Building, if directed by

15. Landscape Plan

a. Landscape Plan Required

- Requirement: The project applicant shall submit a final Landscape Plan for City review and approval that is consistent with the approved Landscape Plan. The Landscape Plan shall be included with the set of drawings submitted for the construction-related permit and shall comply with the landscape requirements of chapter 17.124 of the Planning Code. Proposed plants shall be predominantly drought-tolerant. Specification of any street trees shall comply with the Master Street Tree List and Tree Planting Guidelines (which can be viewed at <http://www2.oaklandnet.com/oakca1/groups/pwa/documents/report/oak042662.pdf> and <http://www2.oaklandnet.com/oakca1/groups/pwa/documents/form/oak025595.pdf>, respectively), and with any applicable streetscape plan.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: N/A

b. Landscape Installation

Requirement: The project applicant shall implement the approved Landscape Plan unless a bond, cash deposit, letter of credit, or other equivalent instrument acceptable to the Director of City Planning, is provided. The financial instrument shall equal the greater of \$2,500 or the estimated cost of implementing the Landscape Plan based on a licensed contractor's bid.

When Required: Prior to building permit final

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

c. Landscape Maintenance

Requirement: All required planting shall be permanently maintained in good growing condition and, whenever necessary, replaced with new plant materials to ensure continued compliance with applicable landscaping requirements. The property owner shall be responsible for maintaining planting in adjacent public rights-of-way. All required fences, walls, and irrigation systems shall be permanently maintained in good condition and, whenever necessary, repaired or replaced.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

16. Lighting

Requirement: Proposed new exterior lighting fixtures shall be adequately shielded to a point below the light bulb and reflector to prevent unnecessary glare onto adjacent properties.

When Required: Prior to building permit final

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

17. Dust Controls – Construction Related

Requirement: The project applicant shall implement all of the following applicable dust control measures during construction of the project:

- a. Water all exposed surfaces of active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever feasible.

disturbance to birds nesting in the urban environment, but these buffers may be increased or decreased, as appropriate, depending on the bird species and the level of disturbance anticipated near the nest.

When Required: Prior to removal of trees

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

20. Tree Permit

a. **Tree Permit Required**

Requirement: Pursuant to the City's Tree Protection Ordinance (OMC chapter 12.36), the project applicant shall obtain a tree permit and abide by the conditions of that permit.

When Required: Prior to approval of construction-related permit

Initial Approval: Permit approval by Public Works Department, Tree Division; evidence of approval submitted to Bureau of Building

Monitoring/Inspection: Bureau of Building

b. **Tree Protection During Construction**

Requirement: Adequate protection shall be provided during the construction period for any trees which are to remain standing, including the following, plus any recommendations of an arborist:

- i. Before the start of any clearing, excavation, construction, or other work on the site, every protected tree deemed to be potentially endangered by said site work shall be securely fenced off at a distance from the base of the tree to be determined by the project's consulting arborist. Such fences shall remain in place for duration of all such work. All trees to be removed shall be clearly marked. A scheme shall be established for the removal and disposal of logs, brush, earth and other debris which will avoid injury to any protected tree.
- ii. Where proposed development or other site work is to encroach upon the protected perimeter of any protected tree, special measures shall be incorporated to allow the roots to breathe and obtain water and nutrients. Any excavation, cutting, filling, or compaction of the existing ground surface within the protected perimeter shall be minimized. No change in existing ground level shall occur within a distance to be determined by the project's consulting arborist from the base of any protected tree at any time. No burning or use of equipment with an open flame shall occur near or within the protected perimeter of any protected tree.
- iii. No storage or dumping of oil, gas, chemicals, or other substances that may be harmful to trees shall occur within the distance to be determined by the project's consulting arborist from the base of any protected trees, or any other location on the site from which such substances might enter the protected perimeter. No heavy construction equipment or construction materials shall be operated or stored within a distance from the base of any protected trees to be determined by the project's consulting arborist. Wires, ropes, or other devices shall not be attached to any protected tree, except as needed for support of the tree. No sign, other than a tag showing the botanical classification, shall be attached to any protected tree.
- iv. Periodically during construction, the leaves of protected trees shall be thoroughly sprayed with water to prevent buildup of dust and other pollution that would inhibit leaf transpiration.
- v. If any damage to a protected tree should occur during or as a result of work on the site, the project applicant shall immediately notify the Public Works Department and the project's consulting arborist shall make a recommendation to the City Tree Reviewer as to whether the damaged tree can be preserved. If, in the professional opinion of the Tree Reviewer, such tree cannot be preserved in a healthy state, the Tree Reviewer shall require replacement of any tree removed with another tree or trees on the same site deemed adequate by the Tree Reviewer to compensate for the loss of the tree that is removed.

In the event of data recovery of archaeological resources, the project applicant shall submit an Archaeological Research Design and Treatment Plan (ARDTP) prepared by a qualified archaeologist for review and approval by the City. The ARDTP is required to identify how the proposed data recovery program would preserve the significant information the archaeological resource is expected to contain. The ARDTP shall identify the scientific/historic research questions applicable to the expected resource, the data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. The ARDTP shall include the analysis and specify the curation and storage methods. Data recovery, in general, shall be limited to the portions of the archaeological resource that could be impacted by the proposed project. Destructive data recovery methods shall not be applied to portions of the archaeological resources if nondestructive methods are practicable. Because the intent of the ARDTP is to save as much of the archaeological resource as possible, including moving the resource, if feasible, preparation and implementation of the ARDTP would reduce the potential adverse impact to less than significant. The project applicant shall implement the ARDTP at his/her expense.

In the event of excavation of paleontological resources, the project applicant shall submit an excavation plan prepared by a qualified paleontologist to the City for review and approval. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by a qualified paleontologist, as appropriate, according to current professional standards and at the expense of the project applicant.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

22. Human Remains – Discovery During Construction

Requirement: Pursuant to CEQA Guidelines section 15064.5(e)(1), in the event that human skeletal remains are uncovered at the project site during construction activities, all work shall immediately halt and the project applicant shall notify the City and the Alameda County Coroner. If the County Coroner determines that an investigation of the cause of death is required or that the remains are Native American, all work shall cease within 50 feet of the remains until appropriate arrangements are made. In the event that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of section 7050.5 of the California Health and Safety Code. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance, and avoidance measures (if applicable) shall be completed expeditiously and at the expense of the project applicant.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

23. Construction-Related Permit(s)

Requirement: The project applicant shall obtain all required construction-related permits/approvals from the City. The project shall comply with all standards, requirements and conditions contained in construction-related codes, including but not limited to the Oakland Building Code and the Oakland Grading Regulations, to ensure structural integrity and safe construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

24. Seismic Hazards Zone (Landslide/Liquefaction)

Requirement: The project applicant shall submit a site-specific geotechnical report, consistent with California Geological Survey Special Publication 117 (as amended), prepared by a registered geotechnical engineer for City review and approval containing at a minimum a description of the geological and geotechnical conditions at the site, an evaluation of site-specific seismic hazards based on geological and geotechnical conditions, and recommended

b. Fire Safety During Construction

Requirement: The project applicant shall require the construction contractor to implement spark arrestors on all construction vehicles and equipment to minimize accidental ignition of dry construction debris and surrounding dry vegetation.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

27. Erosion and Sedimentation Control Plan for Construction

a. Erosion and Sedimentation Control Plan Required

Requirement: The project applicant shall submit an Erosion and Sedimentation Control Plan to the City for review and approval. The Erosion and Sedimentation Control Plan shall include all necessary measures to be taken to prevent excessive stormwater runoff or carrying by stormwater runoff of solid materials on to lands of adjacent property owners, public streets, or to creeks as a result of conditions created by grading and/or construction operations. The Plan shall include, but not be limited to, such measures as short-term erosion control planting, waterproof slope covering, check dams, interceptor ditches, benches, storm drains, dissipation structures, diversion dikes, retarding berms and barriers, devices to trap, store and filter out sediment, and stormwater retention basins. Off-site work by the project applicant may be necessary. The project applicant shall obtain permission or easements necessary for off-site work. There shall be a clear notation that the plan is subject to changes as changing conditions occur. Calculations of anticipated stormwater runoff and sediment volumes shall be included, if required by the City. The Plan shall specify that, after construction is complete, the project applicant shall ensure that the storm drain system shall be inspected and that the project applicant shall clear the system of any debris or sediment.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

b. Erosion and Sedimentation Control During Construction

Requirement: The project applicant shall implement the approved Erosion and Sedimentation Control Plan. No grading shall occur during the wet weather season (October 15 through April 15) unless specifically authorized in writing by the Bureau of Building.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

28. Drainage Plan for Post-Construction Stormwater Runoff on Hillside Properties

Requirement: The project applicant shall submit and implement a Drainage Plan to be reviewed and approved by the City. The Drainage Plan shall include measures to reduce the volume and velocity of post-construction stormwater runoff to the maximum extent practicable. Stormwater runoff shall not be augmented to adjacent properties, creeks, or storm drains. The Drainage Plan shall be included with the project drawings submitted to the City for site improvements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

29. Site Design Measures to Reduce Stormwater Runoff

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant is encouraged to incorporate appropriate site

32. Architectural Copper

Requirement: The project applicant shall implement Best Management Practices (BMPs) concerning the installation, treatment, and maintenance of exterior architectural copper during and after construction of the project in order to reduce potential water quality impacts in accordance with Provision C.13 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES). The required BMPs include, but are not limited to, the following:

- a. If possible, use copper materials that have been pre-patinated at the factory;
- b. If patination is done on-site, ensure rinse water is not discharged to the storm drain system by protecting storm drain inlets and implementing one or more of the following:
 - i. Discharge rinse water to landscaped area;
 - ii. Collect rinse water in a tank and discharge to the sanitary sewer, with approval by the City; or haul off-site for proper disposal;
 - iii. During maintenance activities, protect storm drain inlets to prevent wash water discharge into storm drains; and
 - iv. Consider coating the copper with an impervious coating that prevents further corrosion.

When Required: During construction; ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

33. Construction Days/Hours

Requirement: The project applicant shall comply with the following restrictions concerning construction days and hours:

- a. Construction activities are limited to between 7:00 a.m. and 7:00 p.m. Monday through Friday, except that pier drilling and/or other extreme noise generating activities greater than 90 dBA shall be limited to between 8:00 a.m. and 4:00 p.m.
- b. Construction activities are limited to between 9:00 a.m. and 5:00 p.m. on Saturday. In residential zones and within 300 feet of a residential zone, construction activities are allowed from 9:00 a.m. to 5:00 p.m. only within the interior of the building with the doors and windows closed. No pier drilling or other extreme noise generating activities greater than 90 dBA are allowed on Saturday.
- c. No construction is allowed on Sunday or federal holidays.

Construction activities include, but are not limited to, truck idling, moving equipment (including trucks, elevators, etc.) or materials, deliveries, and construction meetings held on-site in a non-enclosed area.

Any construction activity proposed outside of the above days and hours for special activities (such as concrete pouring which may require more continuous amounts of time) shall be evaluated on a case-by-case basis by the City, with criteria including the urgency/emergency nature of the work, the proximity of residential or other sensitive uses, and a consideration of nearby residents'/occupants' preferences. The project applicant shall notify property owners and occupants located within 300 feet at least 14 calendar days prior to construction activity proposed outside of the above days/hours. When submitting a request to the City to allow construction activity outside of the above days/hours, the project applicant shall submit information concerning the type and duration of proposed construction activity and the draft public notice for City review and approval prior to distribution of the public notice.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

34. Construction Noise

Requirement: The project applicant shall implement noise reduction measures to reduce noise impacts due to construction. Noise reduction measures include, but are not limited to, the following:

duration of extreme noise generating activities and the proposed public notice. The public notice shall provide the estimated start and end dates of the extreme noise generating activities and describe noise attenuation measures to be implemented.

When Required: During construction

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

36. Operational Noise

Requirement: Noise levels from the project site after completion of the project (i.e., during project operation) shall comply with the performance standards of chapter 17.120 of the Oakland Planning Code and chapter 8.18 of the Oakland Municipal Code. If noise levels exceed these standards, the activity causing the noise shall be abated until appropriate noise reduction measures have been installed and compliance verified by the City.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

37. Affordable Housing Impact Fee

Requirement: The project applicant shall comply with the requirements of the City of Oakland Affordable Housing Impact Fee Ordinance (chapter 15.72 of the Oakland Municipal Code).

When Required: Prior to issuance of building permit; subsequent milestones pursuant to ordinance

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

38. Capital Improvements Impact Fee

Requirement: The project applicant shall comply with the requirements of the City of Oakland Capital Improvements Fee Ordinance (chapter 15.74 of the Oakland Municipal Code).

When Required: Prior to issuance of building permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

39. Construction Activity in the Public Right-of-Way

a. Obstruction Permit Required

Requirement: The project applicant shall obtain an obstruction permit from the City prior to placing any temporary construction-related obstruction in the public right-of-way, including City streets, sidewalks, bicycle facilities, and bus stops.

When Required: Prior to approval of construction-related permit

Initial Approval: Department of Transportation

Monitoring/Inspection: Department of Transportation

b. Traffic Control Plan Required

Requirement: In the event of obstructions to vehicle or bicycle travel lanes, bus stops, or sidewalks, the project applicant shall submit a Traffic Control Plan to the City for review and approval prior to obtaining an obstruction permit. The project applicant shall submit evidence of City approval of the Traffic Control Plan with the application for an obstruction permit. The Traffic Control Plan shall contain a set of comprehensive traffic control measures for auto, transit, bicycle, and pedestrian accommodations (or detours, if accommodations are not feasible), including detour signs if required, lane closure procedures, signs, cones for drivers, and designated construction access routes. The Traffic Control Plan shall be in conformance with the City's Supplemental Design Guidance for Accommodating Pedestrians, Bicyclists,

43. Underground Utilities

Requirement: The project applicant shall place underground all new utilities serving the project and under the control of the project applicant and the City, including all new gas, electric, cable, and telephone facilities, fire alarm conduits, street light wiring, and other wiring, conduits, and similar facilities. The new facilities shall be placed underground along the project's street frontage and from the project structures to the point of service. Utilities under the control of other agencies, such as PG&E, shall be placed underground if feasible. All utilities shall be installed in accordance with standard specifications of the serving utilities.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

44. Green Building Requirements

a. Compliance with Green Building Requirements During Plan-Check

Requirement: The project applicant shall comply with the requirements of the California Green Building Standards (CALGreen) mandatory measures and the applicable requirements of the City of Oakland Green Building Ordinance (chapter 18.02 of the Oakland Municipal Code).

- i. The following information shall be submitted to the City for review and approval with the application for a building permit:
 - Documentation showing compliance with Title 24 of the current version of the California Building Energy Efficiency Standards.
 - Completed copy of the final green building checklist approved during the review of the Planning and Zoning permit.
 - Copy of the Unreasonable Hardship Exemption, if granted, during the review of the Planning and Zoning permit.
 - Permit plans that show, in general notes, detailed design drawings, and specifications as necessary, compliance with the items listed in subsection (ii) below.
 - Copy of the signed statement by the Green Building Certifier approved during the review of the Planning and Zoning permit that the project complied with the requirements of the Green Building Ordinance.
 - Signed statement by the Green Building Certifier that the project still complies with the requirements of the Green Building Ordinance, unless an Unreasonable Hardship Exemption was granted during the review of the Planning and Zoning permit.
 - Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.
- ii. The set of plans in subsection (i) shall demonstrate compliance with the following:
 - CALGreen mandatory measures.
 - Build It Green: Single Family GreenPoint Rated minimum of 23 points (3 Community; 6 IAQ/Health; 6 Resources; 8 Water) per the appropriate checklist approved during the Planning entitlement process.
 - All green building points identified on the checklist approved during review of the Planning and Zoning permit, unless a Request for Revision Plan-check application is submitted and approved by the Bureau of Planning that shows the previously approved points that will be eliminated or substituted.
 - The required green building point minimums in the appropriate credit categories.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

b. Compliance with Green Building Requirements During Construction

- o Water Budget Calculations with Maximum Applied Water Allowance (MAWA) and Estimated Total Water Use
- iii. Soil Management Report
- iv. Landscape Design Plan
- v. Irrigation Design Plan, and
- vi. Grading Plan

Upon installation of the landscaping and irrigation systems, the Project applicant shall submit a Certificate of Completion and landscape and irrigation maintenance schedule for review and approval by the City. The Certificate of Compliance shall also be submitted to the local water purveyor and property owner or his or her designee.

For the specific requirements within the Water Efficient Landscape Worksheet, Soil Management Report, Landscape Design Plan, Irrigation Design Plan and Grading Plan, see the link below:

<https://www.water.ca.gov/LegacyFiles/wateruseefficiency/landscapeordinance/docs/Title%202023%20extract%20-%20Official%20CCR%20pages.pdf>

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

Project-Specific Conditions:

46. Exterior Materials and Finishes

The applicant shall provide the following details:

- a. Physical samples of exterior materials, colors, obstructed glass glazing, and other exterior building finishes;
- b. Window details showing a two-inch (2”) minimum recess from surrounding exterior walls; and,
- c. Details of the rear deck showing material(s) and design.

When Required: Prior to application for building permits

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

Applicant Statement

I have read and accept responsibility for the Conditions of Approval. I agree to abide by and conform to the Conditions of Approval, as well as to all provisions of the Oakland Planning Code and Oakland Municipal Code pertaining to the project.

Name of Project Applicant

Signature of Project Applicant

Date

***ENVIRONMENTAL DECLARATION**
(CALIFORNIA FISH AND GAME CODE SECTION 711.4)

LEAD AGENCY
City of Oakland
Bureau of Planning
250 Frank H. Ogawa Plaza, Suite 2114
Oakland, CA 94612

FOR COUNTY CLERK USE ONLY

FILE NO: _____

CLASSIFICATION OF ENVIRONMENTAL DOCUMENT:
(PLEASE MARK ONLY ONE CLASSIFICATION)

NOTICE OF EXEMPTION / STATEMENT OF EXEMPTION

A - STATUTORILY OR CATEGORICALLY EXEMPT

\$ 50.00 - COUNTY CLERK HANDLING FEE

NOTICE OF DETERMINATION (NOD)

A - NEGATIVE DECLARATION (OR MITIGATED NEG. DEC.)

\$ 2,354.75 - STATE FILING FEE

\$ 50.00 - COUNTY CLERK HANDLING FEE

B - ENVIRONMENTAL IMPACT REPORT (EIR)

\$ 3,271.00 - STATE FILING FEE

\$ 50.00 - COUNTY CLERK HANDLING FEE

OTHER:

*****A COPY OF THIS FORM MUST BE COMPLETED AND SUBMITTED WITH EACH COPY OF AN ENVIRONMENTAL DECLARATION BEING FILED WITH THE ALAMEDA COUNTY CLERK.*****

BY MAIL FILINGS:

PLEASE INCLUDE FIVE (5) COPIES OF ALL NECESSARY DOCUMENTS AND TWO (2) SELF-ADDRESSED ENVELOPES.

IN PERSON FILINGS:

PLEASE INCLUDE FIVE (5) COPIES OF ALL NECESSARY DOCUMENTS AND ONE (1) SELF-ADDRESSED ENVELOPES.

ALL APPLICABLE FEES MUST BE PAID AT THE TIME OF FILING.

FEES ARE EFFECTIVE JANUARY 1, 2019

MAKE CHECKS PAYABLE TO: ALAMEDA COUNTY CLERK

LANDSCAPE PLAN SCHEDULE

SEE SEPARATE LANDSCAPE (L1) AND IRRIGATION (L2) PLANS

- (E) TREE TO BE REMOVED & TREE PERMIT I.D.
- (E) TREE TO REMAIN & TREE PERMIT I.D. IF APPLICABLE

NOTE: DRIP IRRIGATION SYSTEM WILL BE INSTALLED TO PROVIDE WATER FOR TREES & SHRUBS AS INDICATED ON SITE PLAN

OWNER/DEVELOPER DRAWING NOTE

TYPICAL OWNER/DEVELOPER BUILDING PERMIT SET OF DRAWINGS:

THESE DRAWINGS ARE INTENDED FOR BUILDING PERMIT APPROVAL AND ARE NOT INTENDED TO BE A COMPREHENSIVE SET OF DRAWINGS INDICATING SPECIFIC CABINETRY, PAINT COLORS, SPECIFIC PLUMBING FIXTURES, LIGHTING FIXTURES, INTERIOR FINISHES, DOOR & WINDOW HARDWARE, INTERIOR & EXTERIOR DETAILS OR FINISH CARPENTRY (STAIR RAILS, ETC.). OWNER/DEVELOPER IS RESPONSIBLE FOR THE SELECTION OF THESE ITEMS AND CLARIFICATION AND COORDINATION OF THESE WITH THE CONTRACTOR AS PART OF THE BUILDING CONTRACT AND CONSTRUCTION PROCESS. ADDITIONAL DETAILS, DRAWINGS AND COORDINATION MAY BE PROVIDED BY THE DESIGNER AS AN ADDITIONAL SERVICE AND BE CONSIDERED AN ADDENDUM TO THE BUILDING PERMIT SET OF DRAWINGS IF REQUESTED BY OWNER.

NEW RESIDENCE

Wood Drive, Oakland, CA 94611

APN# 48C-7179-23

SYMBOL LEGEND

- HEIGHT
- SECTION
- DETAIL
- GRID LINE
- DOOR
- WINDOW

VICINITY MAP



GENERAL NOTES

1. REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT ALL WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE DESIGNER OF RECORD FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH ASSOCIATED WORK.
2. IN CASE OF CONFLICT BETWEEN ARCHITECTURAL AND ENGINEERING DOCUMENTS, THE ARCHITECTURAL DOCUMENTS SHALL GOVERN FOR LOCATIONAL PURPOSES. INFORM THE DESIGNER OF RECORD IN WRITING OF ALL DISCREPANCIES.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, STATUTES AND REGULATIONS HAVING JURISDICTION OVER THE BUILDING SITE.
4. SECURE AND CONTROL ACCESS TO THE SITE AND ALL AREAS OF CONSTRUCTION AND ENFORCE ALL REQUIRED RULES OF SAFETY.
5. THESE DOCUMENTS ARE COMPLIMENTARY. WHAT IS SHOWN OR REFERRED TO ON ANY DRAWING SHALL BE PROVIDED AS IF SHOWN ON ALL. THOSE MATERIALS IN THESE DOCUMENTS WHICH ARE SPECIFIED BY BRAND NAME ARE TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ALL REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED FOR DESIGNER APPROVAL AND SUCH SUBSTITUTIONS SHALL NOT BE A CAUSE FOR DELAY OF THE PROJECT.
6. MAINTAIN A COMPLETE AND CURRENT SET OF ALL CONSTRUCTION DOCUMENTS, SUBMITTALS, AND CLARIFICATIONS ON THE JOBSITE AT ALL TIMES.
7. ALL DIMENSIONS ARE GIVEN TO FACE OF STUD UNLESS OTHERWISE NOTED. ELEVATION OF FLOOR DECK AND ROOF LEVELS ARE GIVEN TO FINISH FLOOR U.O.N. ALLOW 3/4" THICKNESS FOR FLOOR FINISH MATERIAL, TYPICAL.
8. ALL WORK SHOWN ON THE DRAWINGS IS NEW UNLESS OTHERWISE NOTED.

PROJECT INFORMATION

ZONING: RH4
 LOT SIZE: 12,428 SF
 CONSTRUCTION: TYPE 5 UNPROTECTED WOOD FRAME
 BUILDING OCCUPANCY: SINGLE FAMILY RESIDENCE R-3; U-1
 SPRINKLER: YES

PROPOSED HOUSE: 3,060 SF + 462 SF GARAGE,
 FOOTPRINT 1,950 SF; LOT COVERAGE: 15.7%

DESCRIPTION OF WORK

NEW 3,157 SF 2-STORY RESIDENCE WITH 462 SF GARAGE ON VACANT DOWNSLOPE LOT

CODE COMPLIANCE

- 2016 CALIFORNIA BUILDING CODE (CBC)
- 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2016 CALIFORNIA ENERGY CODE (CEES)
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
- 2016 CALIFORNIA FIRE CODE (CFC)

SHEET INDEX

- A1.0 SITE PLAN & PROJECT INFORMATION
- A2.0 FLOOR PLANS
- A3.0 ELEVATIONS & SECTION

TOPO SURVEY

DESIGNER'S STATEMENT

THIS PLOT PLAN CORRECTLY REPRESENTS A PLOT PLAN MADE BY ME OR UNDER MY DIRECTION.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

I HEREBY FURTHER STATE THAT ALL PROPOSED GRADES, ELEVATIONS, AND CONTOURS DELINEATED UPON THIS PLOT PLAN ARE BASED UPON A SURVEY BY PAUL CANUMAY PLS 3272 DATED NOVEMBER 19, 2018 THAT WAS INDICATED THEREON BY THE SURVEYOR THEREOF AS BEING BASED UPON CITY OF OAKLAND DATUM.

DESIGNER

JOHN NEWTON
 JANUARY 1, 2019
 DATE
 DESIGNER
 TITLE

John Newton
 Design & Development
 5666 Telegraph Ave, Ste A
 Oakland, CA 94609
 (510) 526-7370

NEW RESIDENCE

PROJECT ADDRESS:
 Wood Drive
 Oakland, CA 94611
 APN: 48C-7179-23

OWNER:
 Jonathan Quint and
 Mary Lynn Hansen
 Revocable Trust
 3911 Harrison Street
 Oakland, CA 94611
 (510) 595-9130

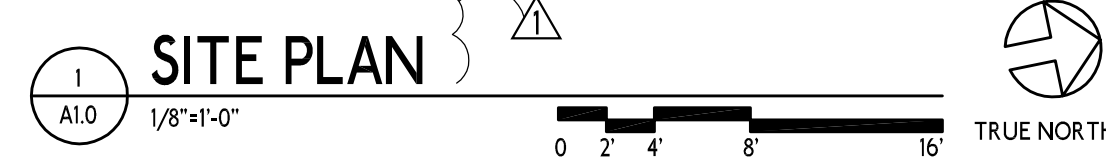
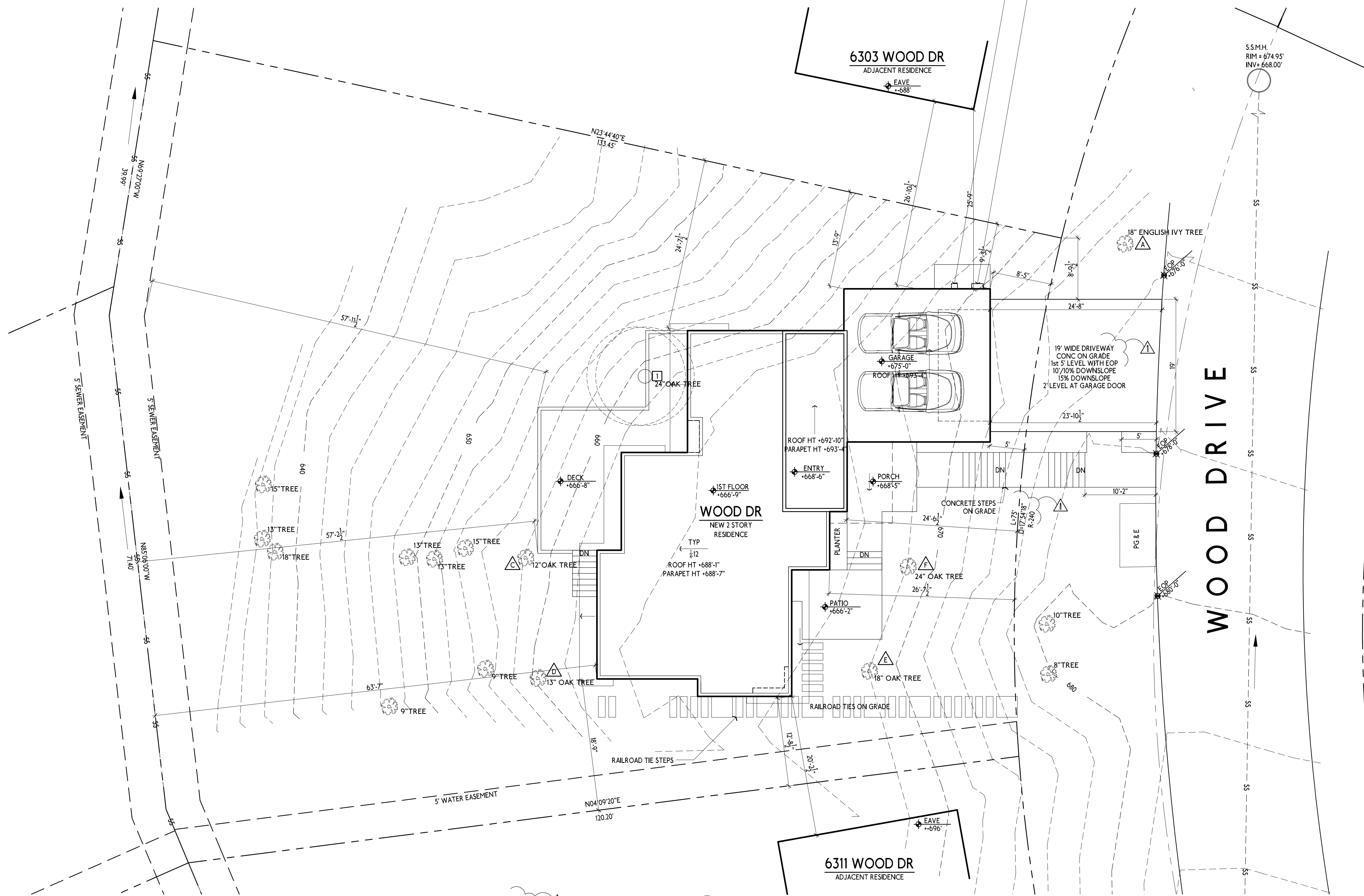
SITE PLAN & PROJECT INFORMATION

REVISION

No.	Description	Date
△	DESIGN REV	1/26/19
△	DESIGN REV	4/1/19

PROJECT No.:
 DRAWN BY: JMN
 CHECKED BY: JMN
 DATE: 1/8/19

A1.0



150 AMP ELECTRICAL SERVICE/METER-INSTALL PER PG&E REQ'TS PER CEC 250.94
 NEW ELEC. PANEL BREAKERS AND SHUT OFF GROUNDED WITH 20' #4 GAUGE COPPER UFER GROUND
 ELEC. SUBCONTRACTOR TO PROVIDE INTERSYSTEM BONDING ELECTRODE WHICH INCLUDES PROVISIONS FOR CONNECTING AT LEAST THREE GROUNDING OR BONDING CONDUCTORS REQUIRED FOR COMMUNICATION SYSTEMS. INSTALL EXTERNALLY AT THE SERVICE ENTRANCE PANEL PER CEC800.100(B) AND CEC 250.94
 GAS METER- PROVIDE AUTOMATIC GAS SHUT-OFF VALVE, CERTIFIED FOR USE BY THE OFFICE OF STATE ARCHITECT (OSA) - INSTALL IN ACCORDANCE TO MANUFACTURER'S INSTRUCTIONS

John Newton
 Design & Development
 5666 Telegraph Ave, Ste A
 Oakland, CA 94609
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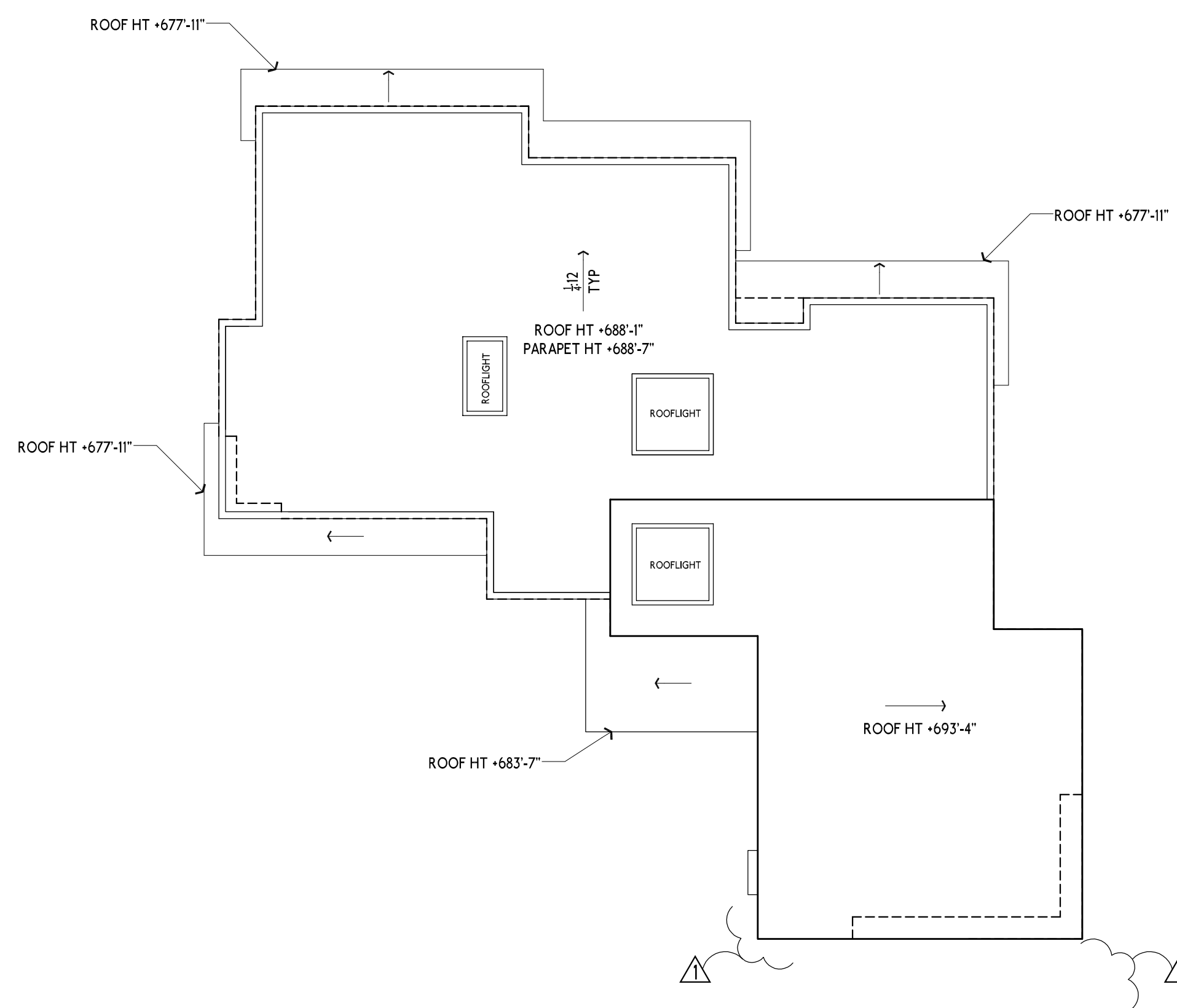
FLOOR
 &
 ROOF PLANS

REVISION

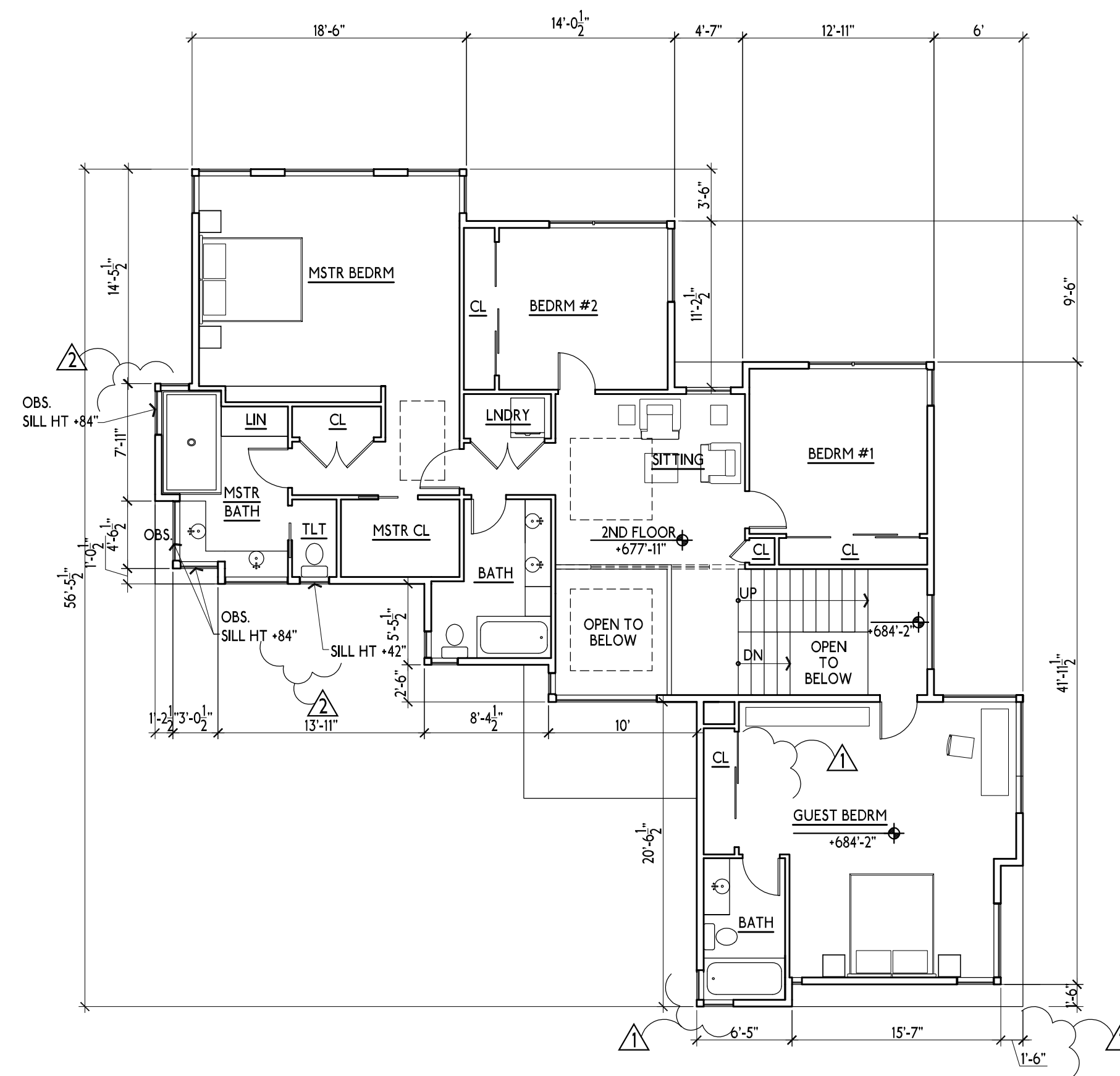
No.	Description	Date
1	DESIGN REV	1/26/19
2	DESIGN REV	4/1/19

PROJECT No. :
 DRAWN BY: JMN
 CHECKED BY: JMN
 DATE: 1/8/19

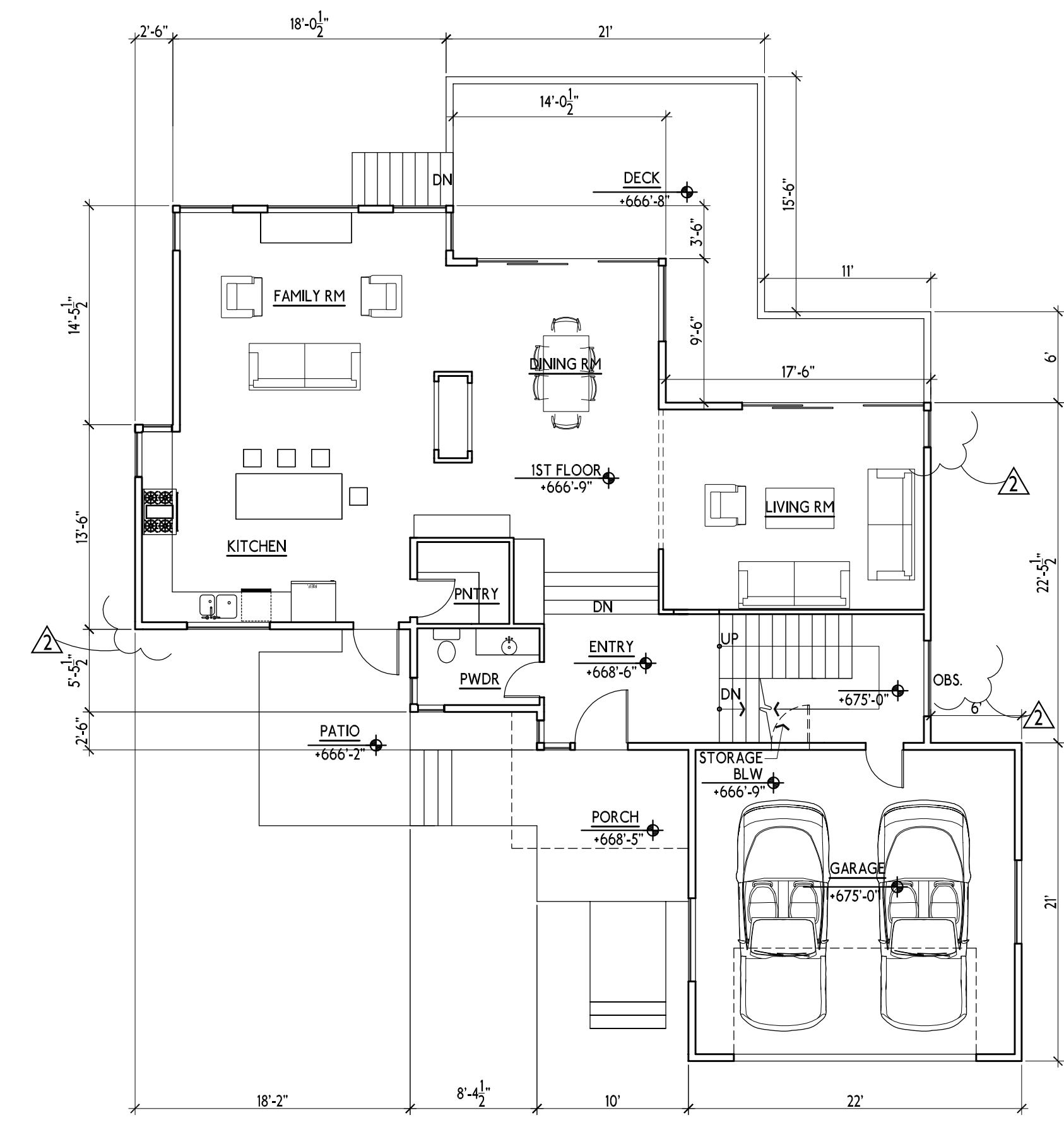
A2.0



3 ROOF PLAN
 A2.0 1/8"=1'-0"
 0 2' 4' 8' 16'
 TRUE NORTH



2 2nd FLOOR PLAN
 A2.0 1/8"=1'-0" 1,659 SF
 0 2' 4' 8' 16'
 TRUE NORTH



1 1st FLOOR PLAN
 A2.0 1/8"=1'-0" 1st FLR: 1,401 SF
 GARAGE: 462 SF
 TOTAL: 3,060 SF
 0 2' 4' 8' 16'
 TRUE NORTH

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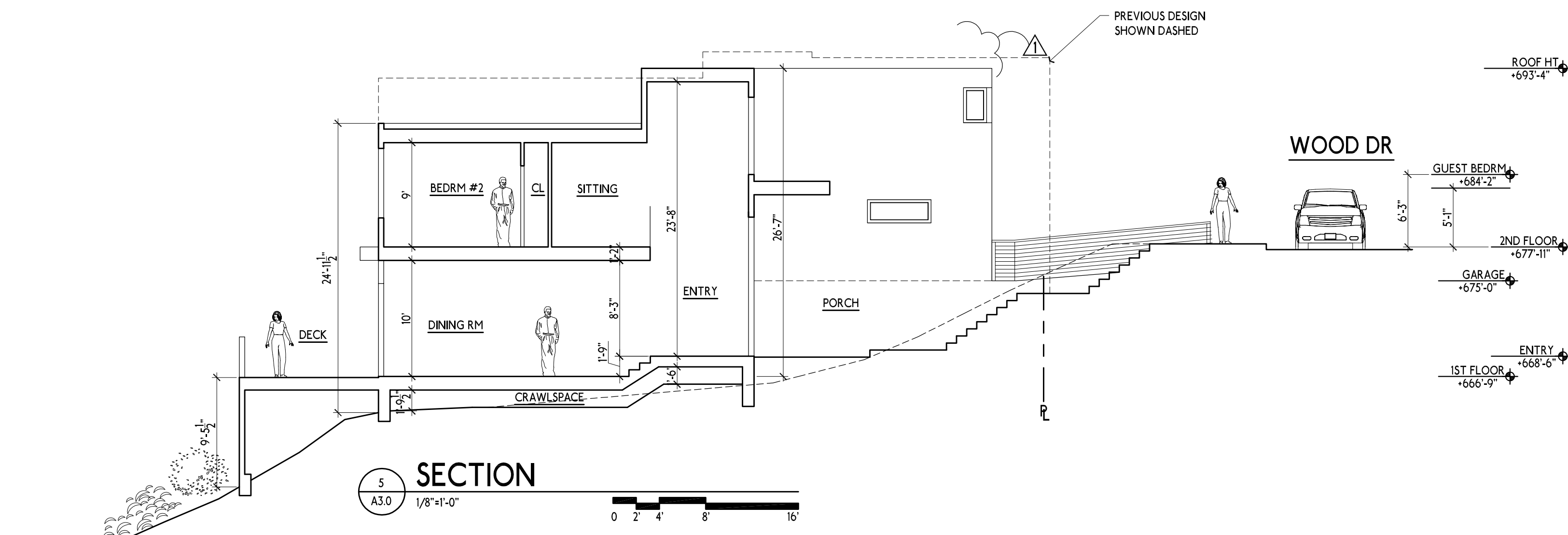
**ELEVATIONS
 &
 SECTION**

REVISION

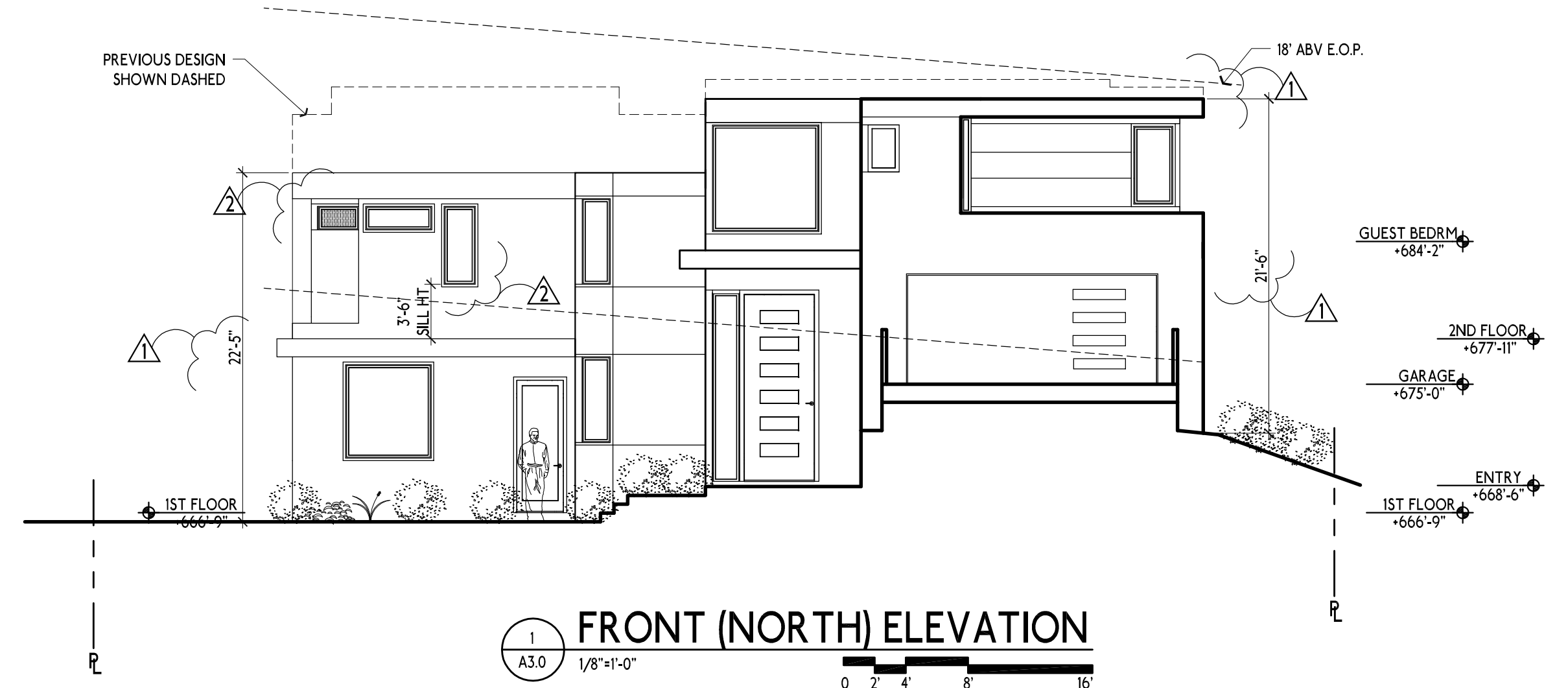
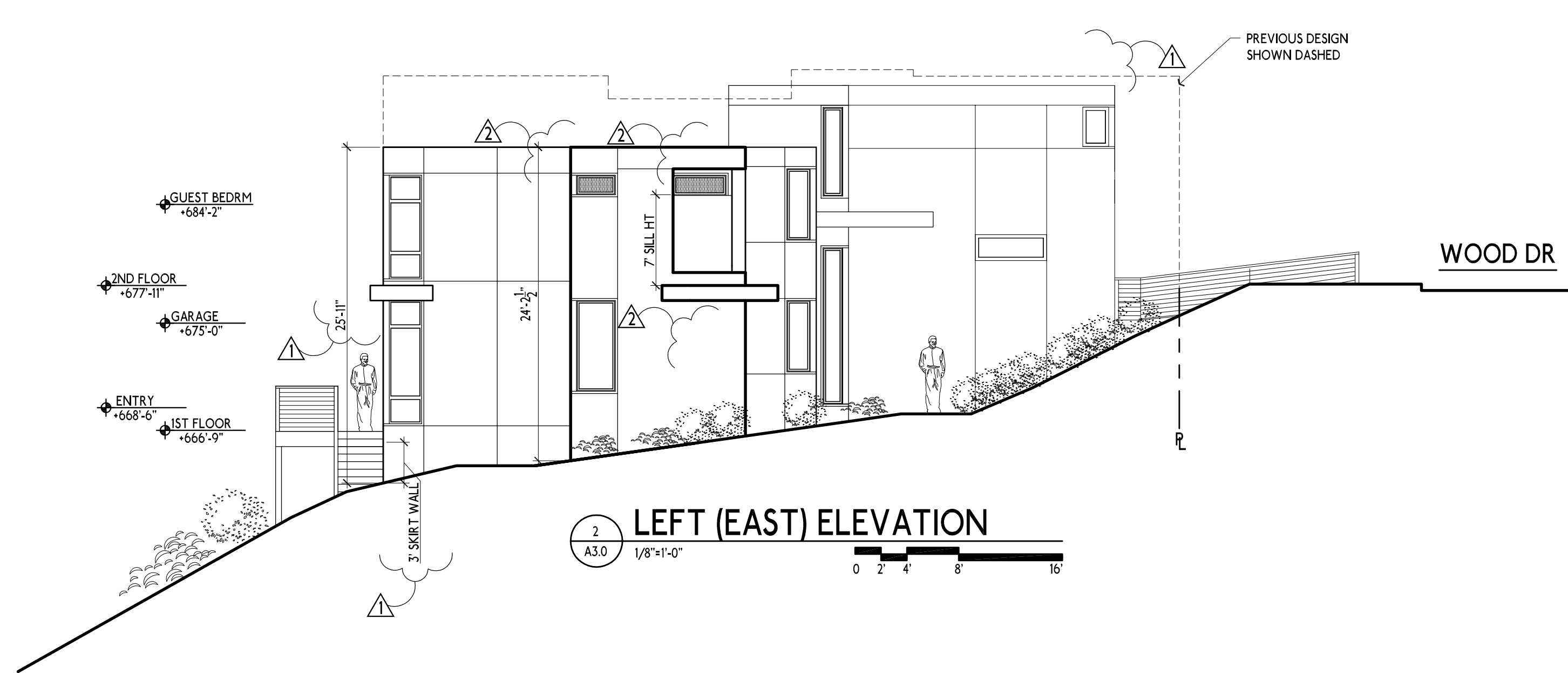
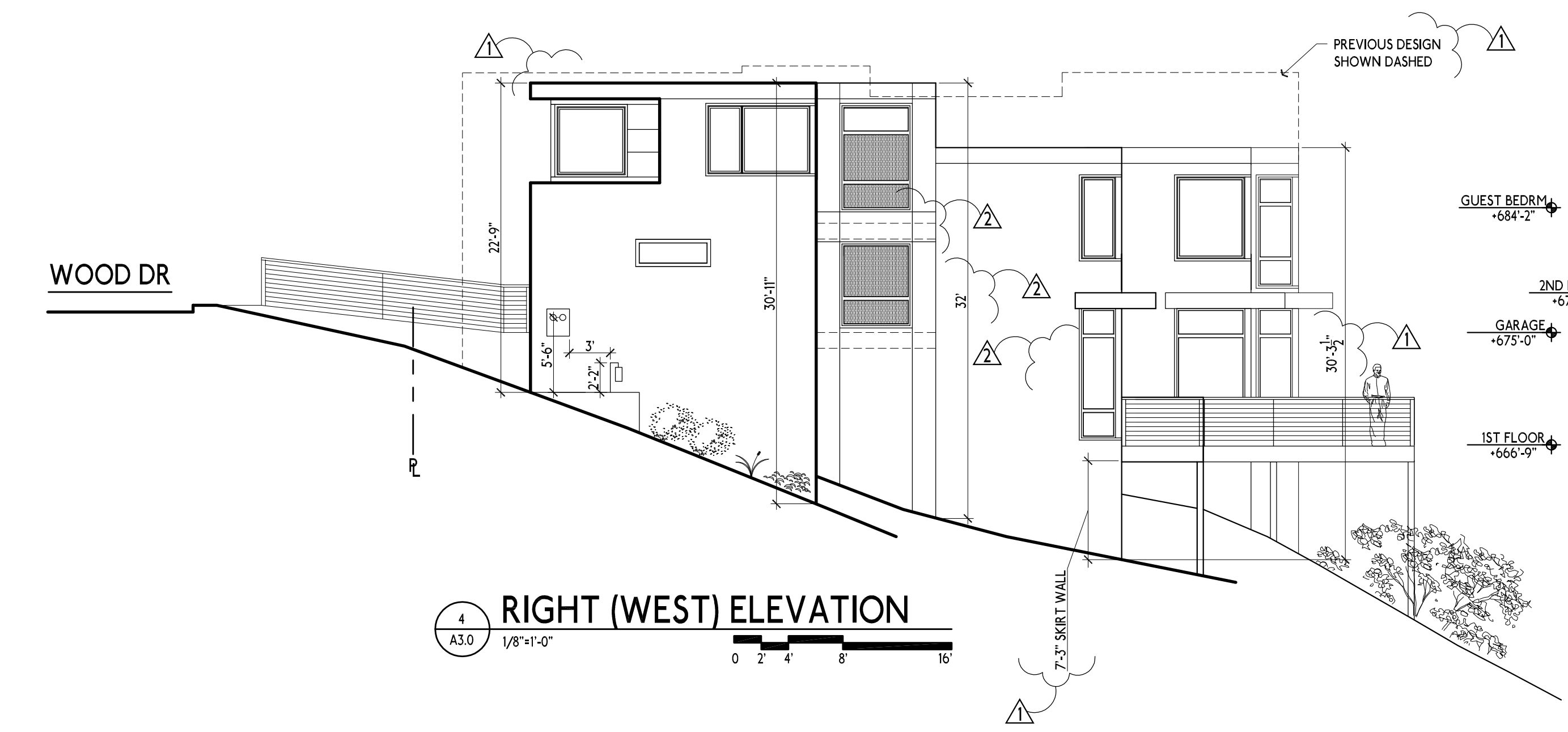
No.	Description	Date
△	DESIGN REV	1/26/19
△	DESIGN REV	4/1/19

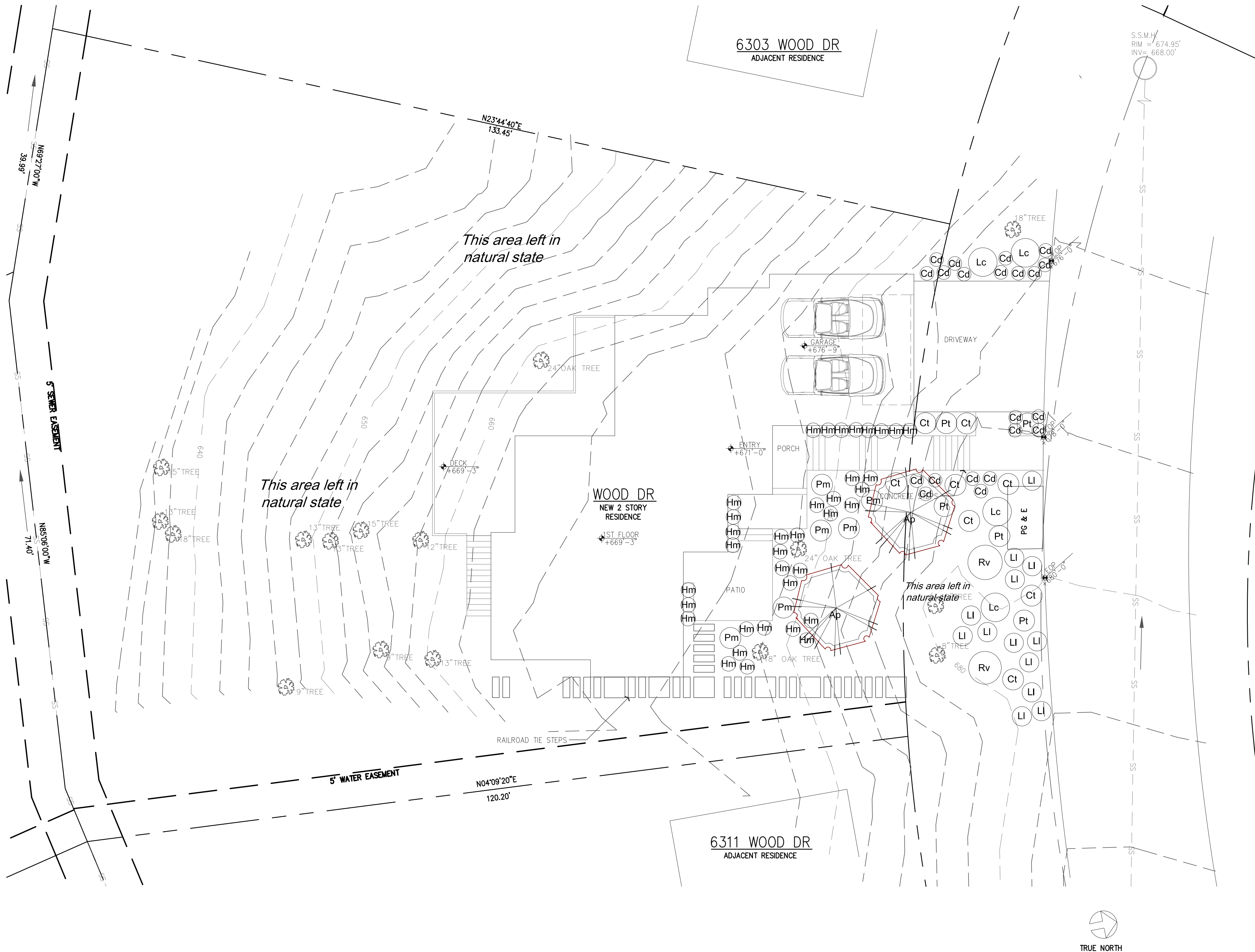
PROJECT No.:
DRAWN BY: JM
CHECKED BY: JM
DATE: 1/8/19

A3.0



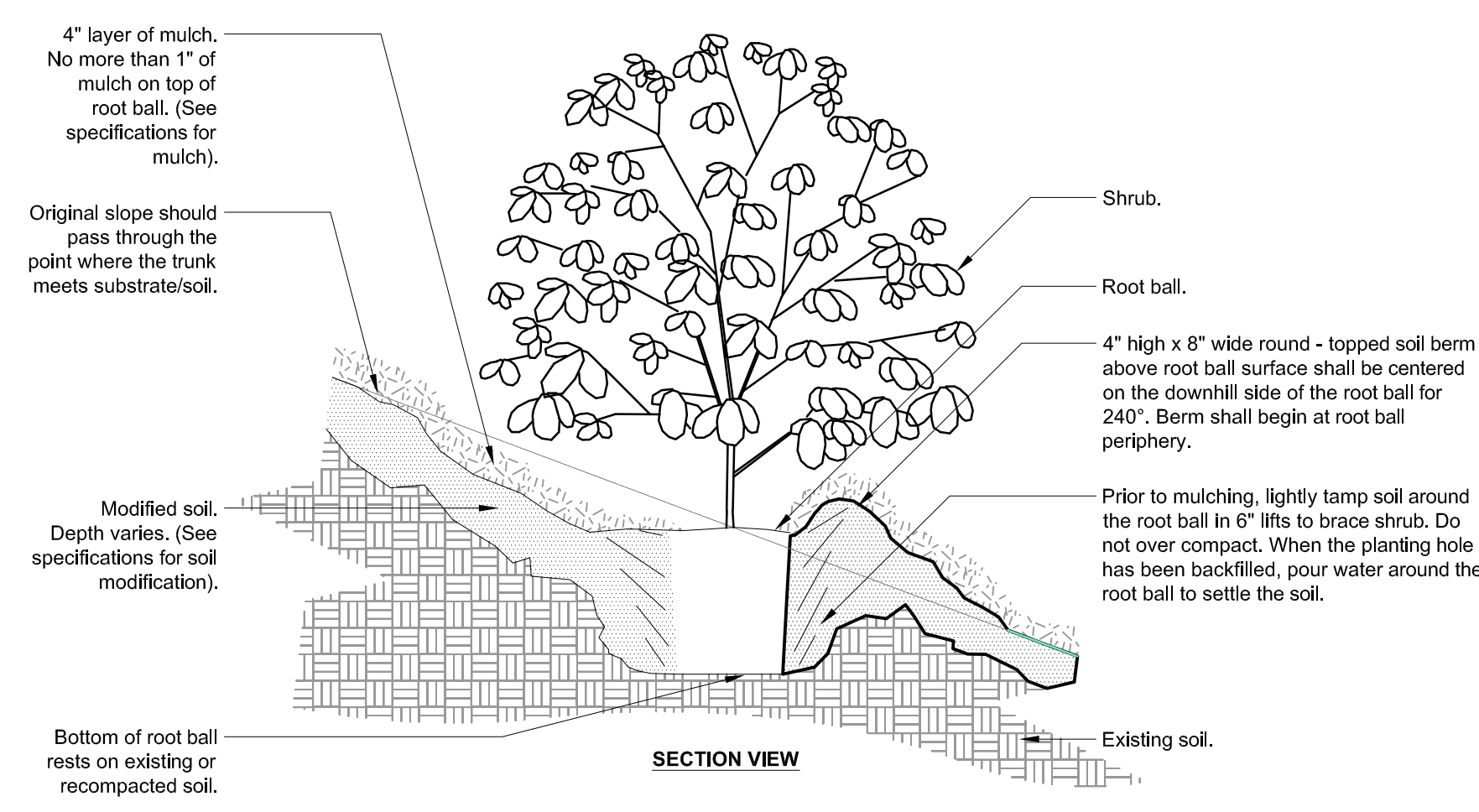
TYPICAL MATERIALS:
 ROOF: PARAPET WITH CLASS "A" BITUTHENE TORCH-DOWN MEMBRANE, ADVANTAGE PINE FASCIA
 SIDING: SMOOTH STUCCO TYP (COLOR ACCENTS WHERE SHOWN)
 WINDOWS: DUAL-PANE MARVIN INTEGRITY
 DOORS: DUAL-PANE MARVIN INTEGRITY; SOLID WOOD AT ENTRY; ALUMINUM/GLASS AT GARAGE DOOR.
 DECK/RAILING: HORIZONTAL STEEL RAILS TYP.





PLANT LEGEND

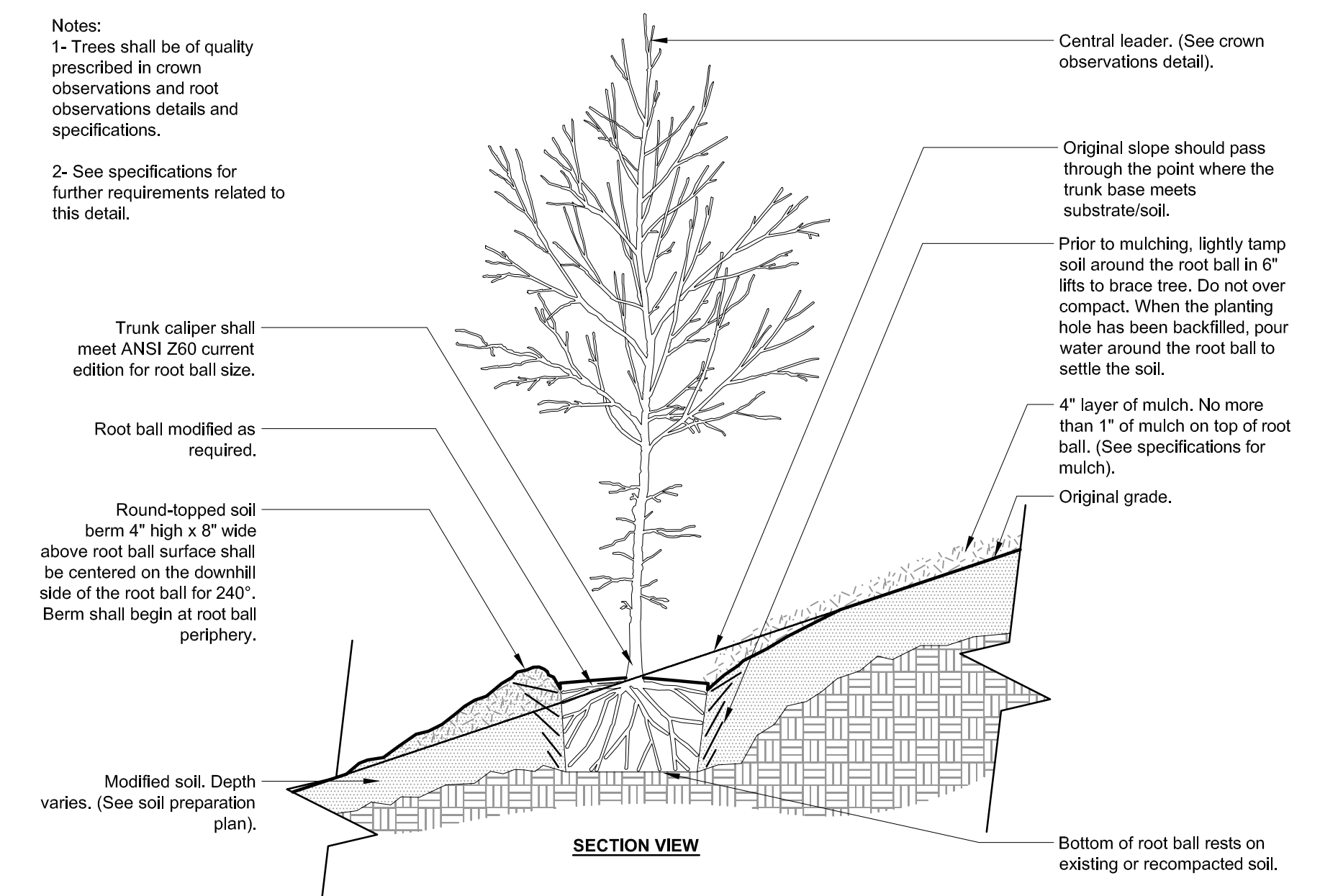
TREES			
Ap	Acer palmatum 'Bloodgood'	24" box	2 mod
SHRUBS/GRASSES			
Cd	Carex divulsa	1 gal	21 low
Ct	Chondropetalum tectorum	5 gal	5 low
Hm	Heuchera micrantha 'Martha Roderick'	1 gal	36 mod
Lc	Loropetalum chinense 'Rubrum'	5 gal	4 low
Ln	Lomandra longifolia 'Breeze'	5 gal	33 low
Ln	Laurus nobilis	15 gal	25 low
Pm	Polystichum munitum	5 gal	6 mod
Pt	Phormium tenax 'Rainbow Maiden'	5 gal	5 low
Rv	Ribes viburnifolium	5 gal	2 low



Notes:
 1- Shrubs shall be of quality as prescribed in the root observations detail and specification.
 2- See specifications for further requirements related to this detail.

SHRUB ON SLOPE 5% (20:1) TO 50% (2:1) - MODIFIED SOIL

3/4" = 1'-0"



TREE ON SLOPE 5% (20:1) TO 50% (2:1) (EXISTING SOIL MODIFIED)

1/2" = 1'-0"

Soil and Planting Notes:

1. A minimum of 8" of non-mechanically compacted soil shall be available for water absorption and root growth in planting areas.
2. Incorporate compost or natural fertilizer into the soil to a minimum depth of 8" at a minimum rate of 6 cubic yards per 1000 square feet or per specific amendment recommendations from a soils laboratory report.
3. A minimum 3" layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers or direct seeding applications.

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the planting design"

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 OAKLAND, CA 94611

PLANTING PLAN

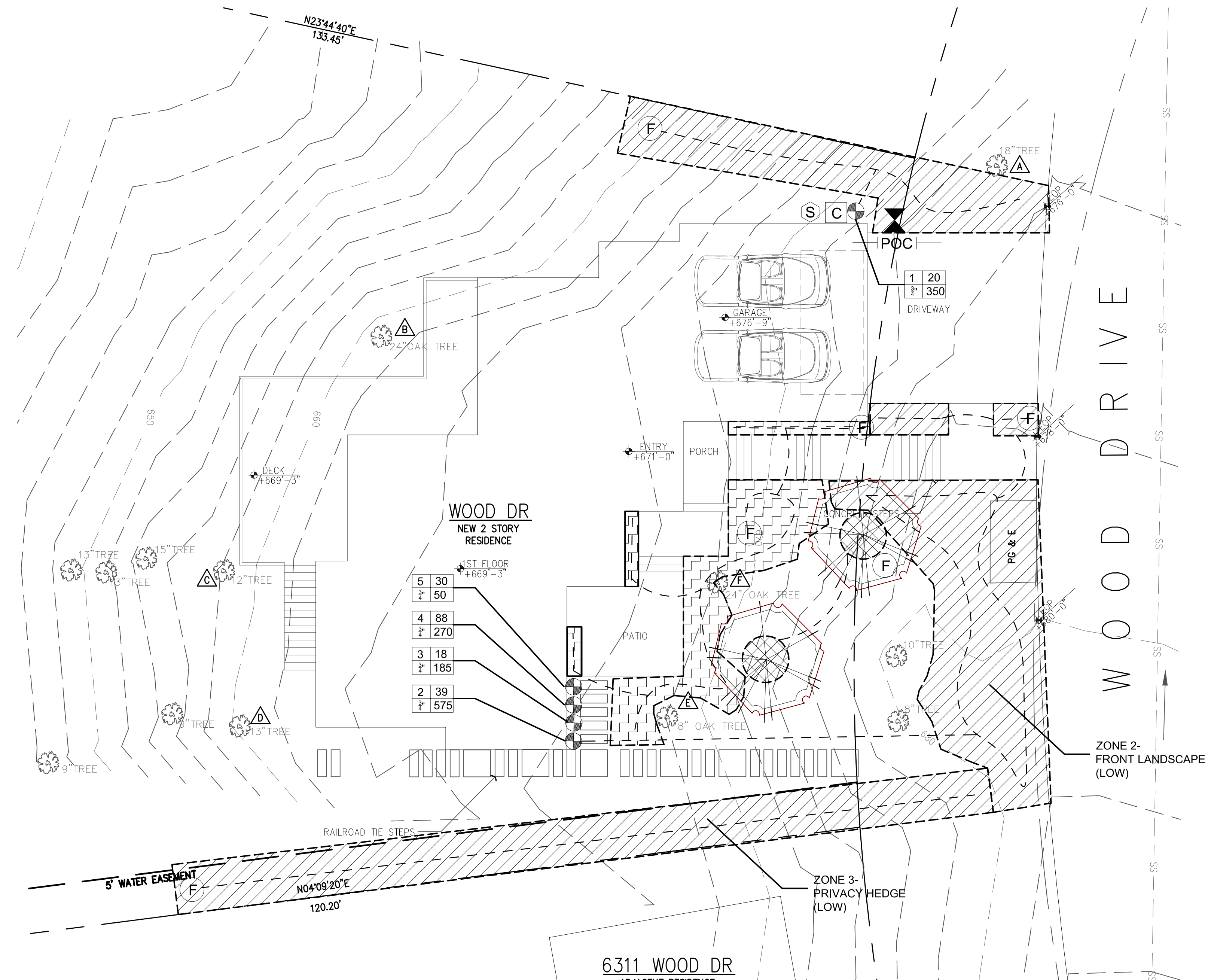
REVISIONS:	DATE	DESCRIPTION

SCALE
 1/8" = 1'-0"

DATE
 11/27/18

L1

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WELO - NOTES:

1. Backflow preventer and shut-off valves are located upstream of the mainline.
2. Calculations for the Maximum Allowable Water Allotment (WELO Appendix A)
3. Control system has the ability to run multiple operating cycles, and implement global increase or decrease by percentage to match plant water requirements, environmental conditions, and the soil's infiltration rate.
4. Hydrozones are separated by plant type, solar exposure, soil type, and microclimate. Flow rate, application rate, and design pressures are shown for each hydrozone.
5. No overhead spray irrigation is used on this project.
6. Drip irrigation has integrated check valves and pressure regulation, and will provide even coverage throughout planted areas.
7. Station operation times shall not exceed the soil's infiltration rate.
8. Upon completion of the installation the contractor shall submit to the building department a completed and signed "Certificate of Completion" stating that the project has been installed as designed.
9. The Certificate of Completion shall be accompanied by an irrigation audit, irrigation schedule, and maintenance schedule as described in the City Ordinance.
10. A final City inspection shall be performed. The installation contractor shall attend this inspection, and make all required repairs and adjustments to achieve approval and completion from the City.

Project Notes:

Total landscaped area: 1720 sf
 -100% of landscaped area on drip irrigation (no spray heads)
 -Low and moderate water use plants on separate valves
 -Trees on separate valves
 -Dedicated irrigation meter not required because landscaped area is less than 5000 sf
 -Certificate of completion: applicant shall submit a landscape audit report verifying installation and irrigation efficiency per design on a form provided by the East Bay Municipal Utility District

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the irrigation design"

Hydrozone Legend

- LOW WATER USE - HYDROZONE SHRUBS & GROUNDCOVERS
- MOD WATER USE - HYDROZONE SHRUBS & GROUNDCOVERS
- MOD WATER USE - HYDROZONE TREES

Irrigation Legend

- RAINBIRD SMART IRRIGATION CONTROLLER- SEE SPECS ON THIS SHEET
- RECOMMENDED RAIN SENSOR LOCATION
- NEW VALVE LOCATION. ALL IRRIGATION VALVES FOR DRIP AND INLINE EMITTERS TO HAVE 30 PSI PRESSURE REDUCER
- VALVE/ZONE NUMBER
FLOW RATE (GALLONS PER HOUR)
ZONE AREA IN SQUARE FEET
VALVE SIZE
- FLUSH VALVE LOCATION
- POINT OF CONNECTION
- MAIN LINE
-
- BACKFLOW PREVENTION DEVICE AND MANUAL SHUTOFF LOCATION

Irrigation Notes

- USE BELOW GROUND VALVES AND LOCATE IN AREAS HIDDEN FROM VIEW IF POSSIBLE.
- USE RAINBIRD SMART CONTROLLER WITH RAINSENSOR AND SEASONAL ADJUSTMENT
- ALL PLANTINGS TO USE DRIP IRRIGATION UNLESS OTHERWISE NOTED
- BERM AROUND ALL TREES. PLACE MULTIPLE EMITTERS AT LEAST 6-12" AWAY FROM TRUNK OF TREE. TREES TO BE ON SEPARATE VALVE FROM LANDSCAPE PLANTS
- SEE PLANTING PLAN FOR EXACT NUMBER OF EMITTERS NECESSARY
- NO SPRINKLERS OR OVERHEAD SPRAY DEVICES ARE TO BE USED ON THIS PROJECT

Maximum Applied Water Allowance Calculations for New and Rehabilitated Residential Landscapes

Enter value in Pale Blue Cells
 Tan Cells Show Results
 Messages and Warnings

Oakland		Name of City
ET _c of City from Appendix A	41.80	ET _c (inches/year)
	0	Overhead Landscape Area (ft ²)
	1720	Drip Landscape Area (ft ²)
	0	SLA (ft ²)
Total Landscape Area		1,720.00
Results: (ET _c) x (0.62) x [(0.55 x LA) + (1.0 - 0.55) X SLA]		Gallons
		Cubic Feet
		HCF
		Acre-feet
		Millions of Gallons
MAWA calculation incorporating Effective Precipitation (Optional)		
Precipitation (Optional)		
ET _c of City from Appendix A	41.80	ET _c (inches/year)
Total Landscape Area	1,720.00	LA (ft ²)
Special Landscape Area	0.00	SLA (ft ²)
	24	Total annual precipitation (inches/year)
Enter Effective Precipitation	6.00	Eppt (in/yr)(25% of total annual precipitation)
Results:		21,001.20 Gallons
MAWA = [(ET _c - Eppt) x (0.62)] x [(0.65 x LA) + ((1.0 - 0.55) x SLA)]		2,807.46 Cubic Feet
		28.07 HCF
		0.06 Acre-feet
		0.02 Millions of Gallons

Estimated Total Water Use

ion: ETWU = ET_c x 0.62 x [(PF x HA)/IE] + SLA; Considering precipitation ETWA = (ET_c - Eppt) x 0.62 x [(PF x HA)/IE]

Enter values in Pale Blue Cells
 Tan Cells Show Results
 Messages and Warnings

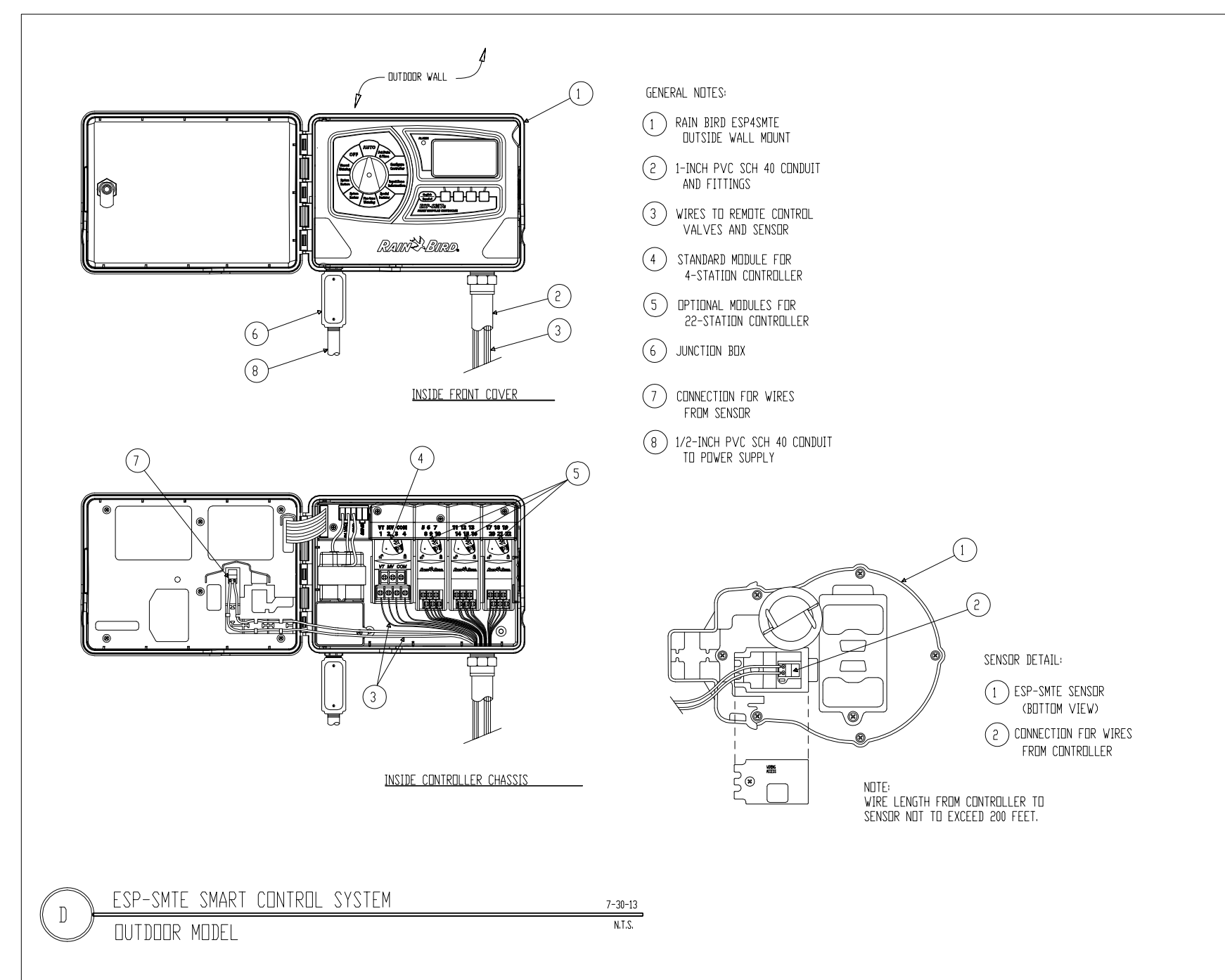
Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.

Plant Water Use Type	Plant Factor
Very Low	0 - 0.1
Low	0.2 - 0.3
Medium	0.4 - 0.6
High	0.7 - 1.0
SLA	1

Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft ²) Without SLA	Irrigation Efficiency (IE)	(PF x HA) / IE
Zone 1	Drip	Low	0.20	350	0.81	86
Zone 2	Drip	Low	0.20	575	0.81	142
Zone 3	Drip	Low	0.20	475	0.81	117
Zone 4	Drip	Medium	0.50	270	0.81	167
Zone 5	Drip	Low	0.20	50	0.81	12
SLA						0
Sum						1,720

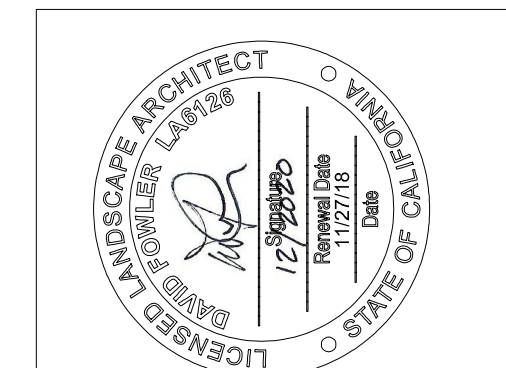
Results

MAWA =	21,001	ETWU =	11,648 Gallons	ETWU complies with MAWA
			1,557 Cubic Feet	
			16 HCF	
			0 Acre-feet	
			0 Millions of Gallons	



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IRRIGATION PLAN

REVISIONS:	DATE	DESCRIPTION

SCALE
 1/8"=1'-0"

DATE
 11-27-18

L2