

Location:	Peralta Hacienda Historical Park; 2465 34 th Avenue, 2484 –2540 Coolidge Avenue, and 3300 Paxton Avenue and all of the existing park area; APN: 027 089900100
Proposal:	Revision and update to the Master Plan for Peralta Hacienda Historical Park to show the phased work completed to date and anticipated in future phases, to remodel one (1) building, a single family home (Coolidge Cottage, 2496 Coolidge Ave.) for use as a Youth Activity Center and offices, construct a new interpretive pavilion/outdoor event space, complete furnishings including a community banquet table for food events, complete landscape and hardscape improvements along Coolidge Ave and throughout the park, and install site lighting and security fencing. The existing Peralta House Historical Landmark located within the park will be retained (LM75211 and LM02159).
Applicant:	Holly Alonzo, Peralta Hacienda Historical Park
Phone Number:	(510) 532-9142
Owner:	City of Oakland
Case File Number:	CM02160-R01
Planning Permits Required:	Revisions to the Major Conditional Use Permit (Master Plan); Regular Design Review for alterations to a designated Landmark site (LM75221); Minor Conditional Use Permit for park elements and both Enclosed and Open Non-Residential Facilities
General Plan:	Urban Park & Open Space
Zoning:	Open Space (OS); Special Use Park (SU)
Environmental Determination:	Pending; An Initial Study/Mitigated Negative Declaration for the 2002 Master plan was approved by the Planning Commission on November 20, 2002. CEQA Exemptions were granted for completion of Phases 3 – 4a with adoption of revised Conditions of Approval.
Historic Status:	2465 34 th Ave: City Landmark (LM75221); Antonio Maria Peralta House (approximately 25% of the site) as well as being a State of California landmark (No. 925) and listed on the National Register of Historic Places; DHP (Designated Historic Property); API anchor (Primary contributor); OCHS Rating A1+ Year 1996 Level R2. The Master Plan Update was reviewed by the Landmarks Preservation Advisory Board in April and July 2002. 2496 Coolidge Avenue: PDHP, possibly secondary importance, OCHS Rating C3 Year 1986 Level R1.
City Council District	5
Status:	Pending
Action to be Taken:	Provide recommendations on the revisions to Bureau of Planning staff
For further information:	Contact Contract Planner Becky Urbano at (510) 393-9274 or by email burbano@esassoc.com

SUMMARY

The Friends of Peralta Hacienda Historic Park (FPHHP), acting for the City of Oakland, has submitted an application to revise and update the Master Plan for Peralta Hacienda Historical Park (PHHP), an existing City-owned park located in the Fruitvale area of Oakland (**Attachment A**). PHHP is a unique park in the City of Oakland which combines historic interpretation and cultural programming with the traditional functions of a public park.

In 1999, the City and the FPHHP selected an interdisciplinary design team to update the master plan of the park completed prior to 1996 when the park opened and to undertake on-site archaeological investigations and historical research regarding the site. The culmination of that design and community

engagement process was the 2002 Master Plan Update approval in November of 2002 (*Attachment B*). Concurrently, an Initial Study / Mitigated Negative Declaration (IS/MND) (*Attachment C*), which concluded that the project would result in less-than-significant impacts, was also certified pursuant to the California Environmental Quality Act (CEQA). This approval included Conditions of Approval and a Mitigation Monitoring and Reporting Plan.

The 2002 Master Plan Update has been implemented in phases over the last 19 years. Minor revisions (Phase 3a, Phase 3b, Phase 3c, and Phase 4a) occurred in 2008, 2010, and 2017 related to trails, ADA facilities, signage, landscaping, interpretive exhibits, and the canopy pavilion over the 1821 adobe site. Additional minor revisions were approved during the building permit stage or in the field.

In December of 2019, the FPHHP submitted building permit plans to the City for implementation of Phase 4b which included the reconstruction and expansion of an existing stage, construction of a new pavilion to house a series of rotating display boards (“Urban Book Ramada”) and stage storage rooms, approximately 890 square feet of new landscaping, replacement/installation of concrete paving in the project area, and electrical and plumbing utilities to this portion of the site. The Bureau of Planning reviewed the proposal and determined that the proposal varied significantly in scope and complexity with the 2002 Master Plan Update. Furthermore, staff found many other aspects of the project were altered slightly between the dates of their approval by the City of Oakland and implementation. These changes included a reduction in the Native Plant Garden, change to the surface material of the historic core, the design and materials of the roof on the pavilion over the 1821 adobe site, and furnishings. As such, staff could not approve the plans or provide a CEQA exemption (*Attachment D*). Given the age of the 2002 Master Plan Update and its prior CEQA review, the City of Oakland required that a revision to the Master Plan be submitted which documents exactly the changes that were implemented as well as to consider the current proposed changes. Review of these new documents would then provide a reasonable baseline for project review moving forward.

The intent of the 2021 Master Plan Update is to implement Phase 4b of the previous 2002 Master Plan Update with several modifications to accommodate expanded use and financial considerations since it was adopted. Under Phase 4b, the area in the historic core previously known as the Urban Book Ramada and now the Community Assembly Structure will be constructed to allow full enclosure. It will have movable panels that can be positioned to enclose the interior space for community event use in the evenings or inclement weather. Adjacent to the Community Assembly Structure, a concrete community banquet table with tiled inlay to replicate flowing water will be installed along with a perimeter fence. At Coolidge Avenue, the existing single-family house at 2496 Coolidge will be renovated for use as a Youth Activity Center, snack shack and offices. Additional separate storage will be constructed near this building as well. The existing multiuse field along Coolidge Avenue will be replanted, fencing and lighting will be improved, and benches will be installed around the field. Additional lighting will be installed throughout the historic core, multiuse field, Peralta House, and 2496 Coolidge Avenue areas of the park. This proposal will require Regular Design Review with special consideration and Findings for Landmarks and Minor Conditional Use Permits for certain elements such as the gardens, fencing, lighting, public art, interpretive materials, concession, picnic areas, seating, storage and accessory structures/pavilions, ponds, playground, new restroom as well as for Enclosed and Open Non-Residential Facilities

Future phases with additional modifications will also complete the 2002 Master Plan. This future work has been divided into two priority categories. Implementation of these items is dependent on additional funding and could include additional review and Planning permits.

The Parks and Recreation Advisory Commission will review the proposal at the upcoming June 9, 2021 meeting.

Staff has reviewed the proposal and believes that changes are consistent with the look and feel of the existing park improvements, the Special Use Park's purpose as an interpretative area, and community assembly/recreational assembly area. No work is anticipated that would significantly alter the archeological or historic resources on-site; and no work on the 1870 Antonio Peralta House is included in as part of the 2021 Master Plan Update.

Staff is requesting that the Landmarks Preservation Advisory Board (LPAB) review the proposal as it relates to the 2002 Master Plan, historic and archeological resources and required Findings and provide feedback to the applicant and staff.

SITE DESCRIPTION

PHHP is bounded by and accessible from Coolidge Avenue, Hyde Street, 34th Avenue, Paxton Avenue and Davis Street. The six-acre park includes the 1870 Antonio Peralta House on the western edge of the site, a community center contained within a house fronting onto Coolidge Avenue, a playground, grassy open areas, community gardens, a wooded area with picnic tables and Peralta Creek which is both a flowing and culverted creek (referred to as "reconstituted") on the eastern (lower) portion of the site. The surrounding neighborhood is largely residential with Calvin Simmons Middle School and Patten College located nearby. Students from both schools and neighborhood residents are the primary users of the park along with visitors to the historic house and visitors to the future community center. The park's history of its creek, adobe rancho area and 1870 Italianate house, spans the nineteenth century, during which time the land was transformed in turn by settlers from Spain, Mexico and the United States, giving place to the present conditions of the site.

HISTORIC STATUS

The six-acre park and structures are historic because it incorporates the first European landholding in the East Bay and the location of the three Peralta homes built following the grant of 43,472 acres of land by the King of Spain in 1820 to Luis Maria Peralta in recognition of service to the Spanish Army. The grant required that a structure be built on the land within one year. In 1821 the Peralta family constructed an adobe building, the first non-indigenous structure in the region, at the current park site. The park contains the historic 1870 Antonio Peralta House, and archaeological remains of the 1821 adobe and an additional adobe built in 1840. The House and the portion of the park, containing the archeological remains of two previous adobes are a designated local landmark (LM75221) as well as a State of California Landmark (No. 925) and listed on the National Register of Historic Places.

PROJECT DESCRIPTION

The approved 2002 Master Plan Update included four major phases, three of which have been implemented with the following elements completed (*Attachment E*):

Upper Portion of the Park, along Coolidge Avenue and near the historic House:

- Demolition of two vacant residential buildings located at 2528 Coolidge Avenue and 3300 Paxton Avenue and installation of an enlarged lawn area along Coolidge Avenue (multiuse field);
- New Community Center consisting of two “cottages” made for various program support and community uses, including a restroom;
- Native California garden;
- Pear tree alley;
- Construction of an adobe wall with interpretive niches that also serves as a stage backdrop for community performances;
- A reduced version of the planned stage;
- One playground;
- Adobe brick making area;
- Protective cover and secured pavilion over the 1821 Adobe site;
- Protective cover over Barro Pit excavation site; and
- Concrete outline approximating 1840 adobe footprint.

Lower Portion of the Park, near Peralta Creek:

- New ramp and replacement of the existing stairway to connect the upper portion of the park with the lower portion of the park where Peralta Creek currently exists; and
- Area for use as a small outdoor amphitheater with bench seating.

General Park Improvements

- Interpretive signs and exhibits.

The revised 2021 Master Plan includes implementation of the remaining work outlined in the 2002 Master Plan with minor revisions. This is anticipated to occur in three or more phases as follows:

Phase 4b – to be implemented under current funding (Prop 68)

- Construct one (1) new Community Assembly Structure in the historic core. It will have movable panels that can be positioned to enclose the interior space for community event use in the evenings or inclement weather;
- Install a concrete community banquet table with tiled inlay to replicate flowing water will be installed;
- Install a new perimeter fence around the historic core;
- Rehabilitate the existing single-family house at 2496 Coolidge for use as a Youth Activity Center, snack shack and offices.
- Construct additional separate storage behind 2496 Coolidge Avenue
- Repair, replant, and expand the multiuse field;
- Install improved fencing and benches along Coolidge Avenue; and
- Install site lighting throughout the historic core, multiuse field, Peralta House, and 2496 Coolidge Avenue areas of the park.

Priority 1(contingent on future funding)

- Install three (3) new gardens between 2496 Coolidge Avenue and the Peralta House, including additional paving and security fencing;
- Incorporate public art into the existing niches on the adobe wall, along the ADA ramp to the creek, and along the allee between the Historic Core and Coolidge Avenue;
- Expand the existing stage to original intended dimensions;
- Install canvas shading between the Community Assembly Structure and the expanded concrete stage;
- Construct an additional restroom facility near the cul-du-sac at the end of 34th Avenue;
- Install playground improvements to augment the existing playground at 34th Avenue; and
- Install new paving at the cul-du-sac at the end of 34th Avenue.

Priority 2 (contingent on future funding)

- Construct a new pavilion over the Barro Pit excavation site that includes storage;
- Install additional interpretive materials near the creek to address ecological and Native American topics;
- Make improvements to the outdoor seating area at the foot of the creek ramp to increase seating capacity;
- Renovate and expand the current restroom at the creek to include new storage and teacher/classroom space;
- Install additional native garden landscaping at the creek;
- Implement improvements to the creek to create small ponds with retaining walls and additional hardscape for seating areas;
- Construct a new picnic area at the creek;
- Implement additional streetscape improvement along 34th and Coolidge avenues and Hyde Street that include trees, lighting, and walkway repairs as needed; and
- Construct a creek overlook platform with a built-in picnic table and bench.

KEY ISSUES

The key issues that are within the scope of the LPAB's review authority are the 1) design compatibility of the proposed Phase 4b project with the historic and architectural character of the PHHP and 2) recommendations on project consistency with the required Standards and Findings as identified below. Staff would like feedback from the LPAB on the project as it relates to these Standards and Findings.

Historic Element of the General Plan

According to Policy 2.4 (b) of the Historic Preservation Element of the General Plan: "Alterations or New Construction involving Landmarks or Preservation Districts will normally be approved if they are found to meet the Secretary of the Interior's Standards for the Treatment of Historic Properties or if certain other findings are made [that the project will not adversely affect the Landmark or Preservation District]." The required Rehabilitation Standards are identified below.

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Zoning Analysis

The project is subject to the Regular Design Review criteria, as well as additional design review criteria related to the property's designation as a Landmark. The design review criteria are identified below.

Regular Design Review Criteria

According to Planning Code Section 17.136.050 (B), regular design review approval may be granted only if the proposal conforms to the general design review criteria for nonresidential facilities, as follows:

1. *That the proposal will help achieve or maintain a group of facilities which are well related to one another and which, when taken together, will result in a well-composed design, with consideration given to site, landscape, bulk, height, arrangement, texture, materials, colors, and appurtenances; the relation of these factors to other facilities in the vicinity; and the relation of the proposal to the total setting as seen from key points in the surrounding area. Only elements of design which have*

some significant relationship to outside appearance shall be considered, except as otherwise provided in Section 17.136.060.

2. *That the proposed design will be of a quality and character which harmonizes with, and serves to protect the value of, private and public investments in the area.*
3. *That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control.*

Additional Design Review Criteria in Relation to Landmark

According to Planning Code Section 17.136.070 (C), proposals involving designated landmarks that require regular design review approval may be granted only upon determination that the proposal conforms to the regular design review criteria set forth in Section 17.136.050 (see above) and to the additional criteria set forth below:

1. *That the proposal will not adversely affect the exterior features of the designated landmark nor, when subject to control as specified in the designating ordinance for a publicly-owned landmark, its major interior architectural features.*
2. *That the proposal will not adversely affect the special character, interest, or value of the landmark and its site, as viewed both in themselves and in their setting.*
3. *That the proposal conforms with the Design Guidelines for Landmarks and Preservation Districts as adopted by the City Planning Commission and, as applicable for certain federally-related projects, with the Secretary of the Interior's Standards for the Treatment of Historic Properties.*

Staff Analysis

Long prior to becoming a city park, the area was developed as a residential neighborhood. These residential alterations resulted in the removal and relocation of previously existing historic structures and materials from the site; grading, filling, and paving over historic sites. These previous changes have largely obscured previously existing historic character, and none have acquired significance in its own right.

The project would not remove or alter the existing 1870 Antonio Peralta House, which is the historic centerpiece of the park. The project would retain and protect any remaining existing sub-surface archeological resources which characterize the historic core with implementation of the Mitigation Measures in the previous IS/MND and the City's Standard Conditions of Approval.

Staff believes the size and design of proposed alterations to the site are consistent with those features already present on the site – open pavilions, landscape planters, fencing, contemporary interpretive features. The material palette is composed of materials that are both compatible in color and style with those elements already within the park as well as within other City parks. None compete visually, obscure, or detract, from the 1870 Antonio Peralta House. In sum, staff has not identified any design concerns with the 2021 Master Plan Update.

ENVIRONMENTAL ANALYSIS

An IS/MND for the 2002 Master Plan Update was previously adopted on November 20, 2002 under the requirements of the California Environmental Quality Act (CEQA). An Addendum to the MND was certified for the Phase 4A project, which conforms to the 2002 Master Plan Update. Staff anticipates that the proposed work will be found to be consistent with the prior CEQA documents given the minimal extent of the proposed modifications related to a physical adverse effect on the environment.

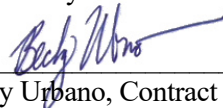
RECOMMENDATION

Staff has reviewed the proposal and believes that the changes are consistent with the look and feel of the existing park improvements, the Special Use Park's purpose as an interpretative area, and community assembly/recreational assembly area. No work is anticipated that would significantly alter the archeological or historic resources on-site; and no work on the Peralta House is included in as part of the 2021 Master Plan Update.

Staff is requesting that the Landmarks Preservation Advisory Board (LPAB) review the proposal as it relates to the 2002 Master Plan design, historic and archeological resources and required Findings and provide feedback to the applicant and staff. Specifically,

1. Review the 2021 Peralta Hacienda Historical Park Master Plan and supporting documents for confirmation of general compliance with the intent, look, and feel of the approved 2002 Master Plan.
2. Provide comments regarding compliance of the project with Policy 2.4 of the Historic Preservation Element.
3. Provide comments regarding compliance of the project with the Regular Design Review Findings and the Design Review Criteria for Designated Landmarks.

Prepared by:



Becky Urbano, Contract Planner

Approved for forwarding to the Landmarks Preservation Advisory Board:



Robert D. Merkamp
Zoning Manager, Bureau of Planning

ATTACHMENTS:

- A. Revised Major Project Review Application Package, dated April 2021

- B. 2002 Master Plan
- C. 2002 Initial Study and Mitigated Negative Declaration
- D. Bureau of Planning CEQA Determination Letter, August 2020
- E. Table of Proposed, Implemented and Future Work

PERALTA

HACIENDA HISTORICAL PARK

PERALTA HACIENDA HISTORICAL PARK
MASTER PLAN REVISION



04/20/2021

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MASTER PLAN REVISION

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INTRODUCTION

This document is intended to clarify the ways in which the current and future outdoor/open space improvements for the Peralta Hacienda Historical Park respect and respond to the 2001 Peralta Hacienda Historical Park Master Plan, and the subsequent 2001 PHHP Master Plan Update, approved by the City of Oakland in 2002. For the purpose of this document we will refer to the Master Plan as the 2002 PHHP Master Plan.

The Friends of Peralta Hacienda Historical Park (PHHP) have been working extremely hard in the past 20 years, piecing funding sources to build the ultimate vision of the Master Plan, while maintainign a myriad of community programs active. This effort has resulted in multiple construction phases that have expanded more than a decade. This slow-building process has generated some needed adaptations to the Master Plan, which emerged from the need to better respond to funders' requirements, comply with code updates in the 20-year period since the Master Plan was approved, and to "package" improvements in separate segments that can co-exist with the rest of the park as it evolves. None of these adaptations have in essence diverted from the original Master Plan vision and spirit. This document is set to clarify how this preservation of the original character and function of the park has been and will be achieved with the progressive implementation process of PHHP.

For the purposes of this document, and to simplify the comparison, we recognize (3) "periods" of park development as outlined below. Each of the "periods" is compared to the original Master Plan in this document, as applicable. This document is organized in (4) sections: the first showing the original 2002 Master Plan materials and the other (3) sections describing the "periods" of park development in comparison.

- **"Period" 1: As Built to Date:** Since 2002, there have been 4 phases of construction completed, some sub-divided into smaller sub-phases, but in summary they are as follows:
 - Phases I and II: Peralta Hacienda 1870 House restoration and museum curation (interior spaces) -- *these phases are not included in this document, since they affect only the museum facility.*
 - Phase III (A, B, C, D):
 - PHASE III-A: Area along Coolidge Avenue and some Historic Core elements (e.g. Adobe wall and interpretive niches, Native California Gardens, Multipurpose Lawn)
 - PHASE III-B: Community Area at corner of Hyde and Coolidge (e.g. New Community Room, Public Restroom)
 - PHASE III-C: Peralta Creek Nature Area (e.g. Stairs and ADA ramp down the creek slope)
 - Phase IV (A): 1821 Adobe Pavilion, preliminary Banquet Table, and Adobe Oven
- **"Period" 2: Phase IV-B Proposed Elements:** This "period" includes the development and implementation of (5) elements of the Master Plan, currently seeking funding from Prop 68:
 - 1827 Pavilion/Community Assembly Structure (Recreational Feature)
 - Coolidge House Renovation into new Youth Activity Center
 - Food Event Area and Banquet Table (to replace preliminary one built in Phase IV-A)
 - Restoration of existing Native Planting and Youth Multiuse Field
 - Additional lighting through the park
- **"Period" 3: Future Phases Proposed Elements:** This "period" lists the rest of the park elements that complete the Master Plan vision. There is no current funding identified to build these improvements, but it is anticipated that future funding cycles would allow their construction in the next few years.

BACKGROUND

Prior to 2002, the park was built with a first master plan, culminating in the restoration of the Peralta House to its 1870 conditions, which opened to the public in 2001. That first master plan was updated in 2002 by the current master plan.

The bullet points below show the [Peralta House restoration](#) and the research, fabrication and installation of permanent historical exhibits and community stories exhibits culminating in the award of the National Museum Medal for the site in 2017.

- **Restoration of Peralta House:** Friends of Peralta Hacienda Historical Park carried out the restoration of the historic house to its original 1870 conditions under a Measure I Bond \$893,000 from 1999-2001 in collaboration with SHPO. This structure is the one surviving historical building on the site.
- **Historical Exhibits:** Peralta Hacienda created, fabricated and installed historical exhibits in the Peralta House and exhibits for the outdoor alcoves under a grant of \$100,000 from the California Heritage Fund and a \$300,000 matching grant from the National Endowment for the Humanities, opening to the public in 2009, in partnership with Steade Craigo at SHPO.
- **Interpretative Elements in Native Plant Garden:** Peralta Hacienda received a grant of \$35,000 from the Walter and Elise Haas Foundation to design interpretive elements for the Native Plant Garden, which were installed in Phase IIIA.
- **Community Stories Exhibits:** Peralta Hacienda has also funded, fabricated and installed a series of community stories exhibits with approximately \$200,000 in combined funding from the National Endowment for the Arts, California Humanities, Alliance for CA Traditional Arts, and other funders, working with community groups to document their voices and histories and share them with the public through exhibits at the historic site, for which the organization received the prestigious National Museum Medal in 2017.

Section 1

PROJECT DESCRIPTION



PERALTA HACIENDA HISTORICAL PARK :: AERIAL

AERIAL 2019, current conditions prior to completion of the 1821 Pavilion.
 Park's Property Line per 2016 Survey, for graphic illustration purposes only.
 **Refer to the City of Oakland's park boundary definitions for legal boundary.

1. PROJECT DESCRIPTION

PROJECT HISTORY AND NEW IMPROVEMENTS PROPOSED

- a) Intent of New Improvements in this Phase [PHASE IV-B]

Urban Book Structure: Programmatic Functions

1. To commemorate the site of the vanished 1840 adobe.

This adobe represents the Mexican era of California history. The Peraltas used Native workers to build a larger adobe house next to the original 1821 adobe at the height of the hide and tallow trade when their herds grew to 8000 longhorns. Their fortunes rose as they sold to the ships from all over the world that plied the California coast before the US takeover from 1846-1848. In addition, they now had 11 children and needed more space!

2. To be an accessible outdoor gallery for changing community exhibits.

Peralta Hacienda collaborates with community cultural groups to tell their stories and present them to the public exhibits through photos, first-person text, and other media to promote understanding in our diverse society. The organization won the National Museum Medal for this work, deemed an "outstanding service to the community" by the Institute for Museum and Library Services. Peralta Hacienda exhibits have shared the stories of the Laotian Mien community, Black history and memories of Oakland, the formerly incarcerated and their families, Oakland's Cambodian refugee and immigrant community, undocumented Central American and Mexican day laborers, and many more. This community exhibit development program is a national model for community engagement. The outdoor, open design specifically promotes accessibility for populations who might otherwise not attend museums or galleries.

3. To provide a sheltered space to hold night-time community events.

One of Peralta Hacienda's most important functions for the community is producing forums on pressing issues, community meetings, workshops, classes and cultural celebrations for all ages. To hold night-time events in all seasons, the site needs a sheltered space that will accommodate at least 100 of people. (The Center for History and Community on the Coolidge side of the park holds a maximum of only 36 people.) The unique, flexible design of the Urban Book gallery panels will enable this outdoor space to convert easily to such a space, greatly increasing the organization's ability to serve community needs. The five community feedback meetings held in July 2019 reflected this as the community's strongest wish.

Section 2

PERALTA HACIENDA HISTORICAL PARK MASTER PLAN

BASELINE description

DIAGRAM 1

ILLUSTRATIVE PLAN FOR 2002 PPHP MASTER PLAN ELEMENTS

What elements were originally proposed in the 2002 Master Plan?

Per the Document Peralta Hacienda Historical Park, Master Plan Update Report, dated December 2001, the project areas and features as shown on the plan herein (DIAGRAM 1) include the following:

PARK MASTER PLAN update:

- / Adobe Wall and Stage
- / Enramada and Urban Book
- / 1821 Wall Ruin
- / Peralta House
- / Fencing
- / Ethnobotanical Historical Garden and Victorian Garden
- / Peralta Family Barro Pit and Well
- / Orchard
- / Multipurpose Community Room
- / Perpendicular Parking
- / Community Family Gardens
- / Tot Lot (1 to 5 years old)
- / Playground and Art Wall
- / Adobe Making Area and Oven
- / Lawn
- / Stairway Connection towards Creek Area
- / Interpretive Ramp

Refer to DIAGRAM 1 for Mater Plan image and key. These elements and their descriptions included on the next pages represent the baseline for our document's comparisons.

DIAGRAM 1

ILLUSTRATIVE PLAN FOR 2002 PPHP MASTER PLAN ELEMENTS

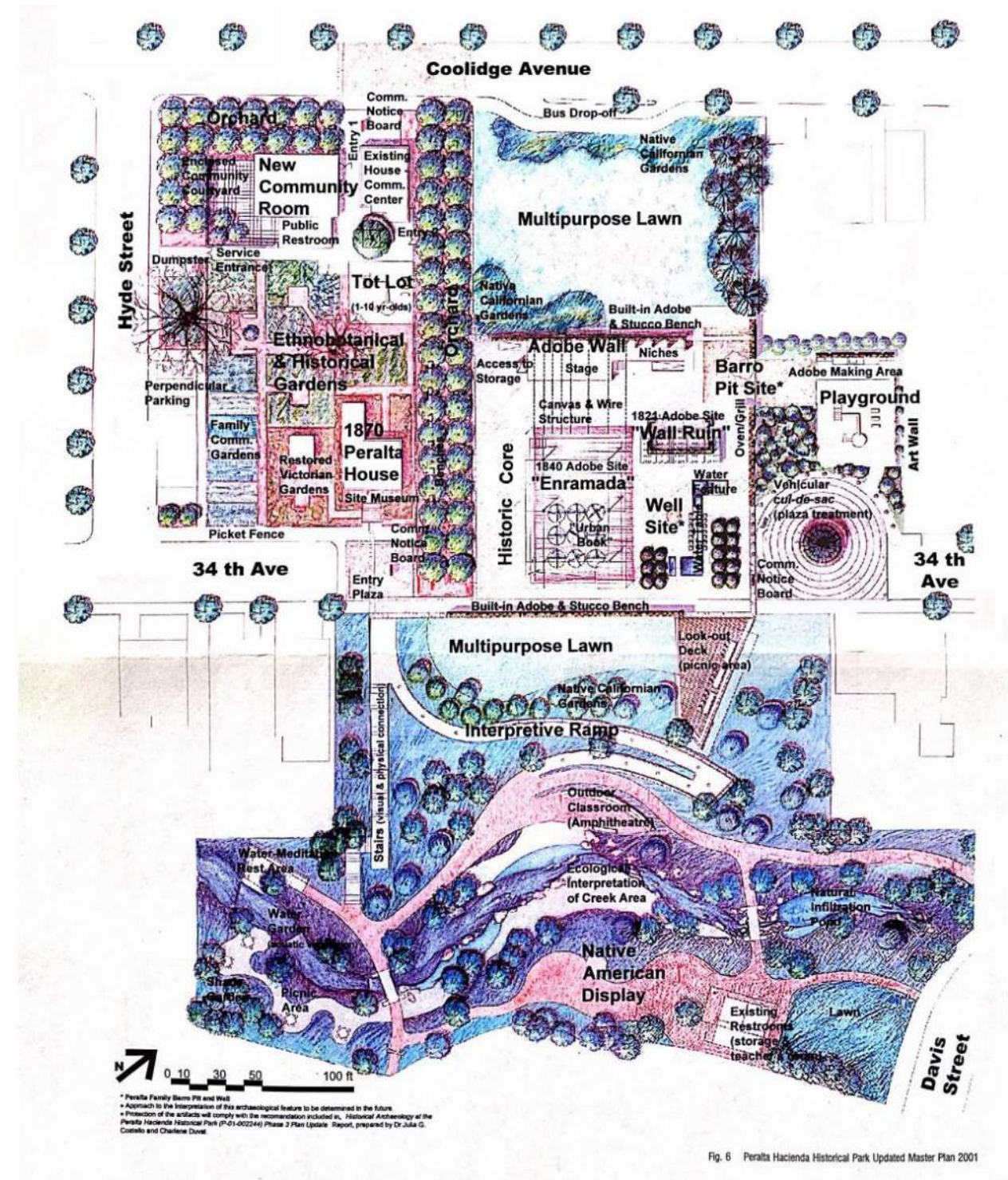


DIAGRAM 1: PARK MASTER PLAN UPDATE DIAGRAM (Dec 2001), 2002 PPHP MASTER PLAN BASELINE

ORIGINAL PARK FEATURES AND ELEMENTS PROPOSED

LIST 1

LIST OF 2002 PPHP MASTER PLAN ELEMENTS

What elements were originally proposed in the 2002 Master Plan?

Each of the following elements were described in the 2002 Master Plan as shown in the document excerpts included on the next 3 pages.

PARK MASTER PLAN update:

- / Adobe Wall and Stage
- / Enramada and Urban Book
- / 1821 Wall Ruin
- / Peralta House
- / Fencing
- / Ethnobotanical Historical Garden and Victorian Garden
- / Peralta Family Barro Pit and Well
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- / Lawn
- / Stairway Connection towards Creek Area
- / Interpretive Ramp

Refer to DIAGRAM 1 for Mater Plan image and key.

For additional details refer to excerpts from the Master Plan Update Report on the following pages.

LIST 1

LIST OF 2002 PPHP MASTER PLAN ELEMENTS

5.4

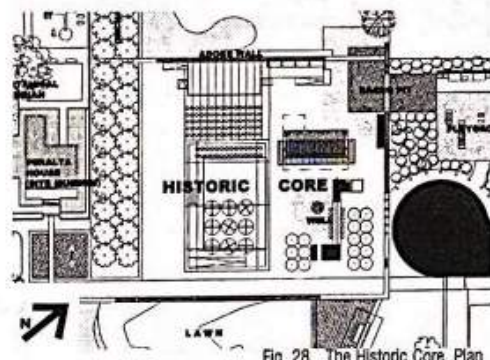


Fig. 28 The Historic Core, Plan




Fig. 29 The "Urban Book", Detail

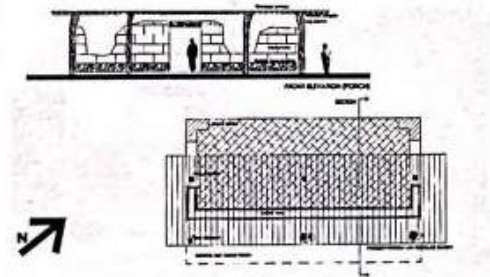


Fig. 30 The "wall ruin": Interpretation of the 1821 Adobe, Plan and Elevation

project areas & features

Adobe Wall and Stage

Space:

- Contains and restructures the Historic Core around the historical limits of the Peralta Rancho Headquarters.
- Creates a background for the performance stage.
- Generates an atmosphere that intensifies the Historical Emphasis of the Park.

Symbolism:

- Draws a strong and clear reference to the original Adobe Structures that the Peralta inhabited.
- From the street, the Adobe wall becomes a sign. This strong contemporary element defines the character of the Historical Park.

Function:

- Isolates the core from street noise, and concentrates the views towards the Historical Core, and the cultural and recreational activities that take place within.
- Creates a space, which refers to the Lean-to's in the form of niches, that works as a display for exhibition of artifacts, tools, and other objects that can be shown outside.
- The wood stage attached to the back of the wall, becomes the center of the park. Gatherings, lectures, concerts, etc. will take place here to keep the community involved.

Enramada and "Urban Book"

- The footprint of the 1840 adobe covered with ramada (trellis with vines) for shade.
- "Urban Books" a series of vertical display boards with "pages" (hinged moving panels) allow park users to "read" the history of the park and juxtapose different facts between "books" for a multi-layered understanding of the past of the site.

1821 Wall Ruin

- On the footprint of the original 1821 Peralta adobe, an approximate idea of the reconstructed portal of the building will display the original construction materials and practices of the region during the Rancho era.

Peralta House

- Living Site-Museum
- Ethnobotanical Historical Garden forms connection with the Community Center.

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PERALTA HACIENDA HISTORICAL PARK
December 2001

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project areas & features

LIST OF IMPROVEMENTS PER 2001 MASTER PLAN UPDATE, approved by the City in 2002.

LIST 1

LIST OF 2002 PPHP MASTER PLAN ELEMENTS

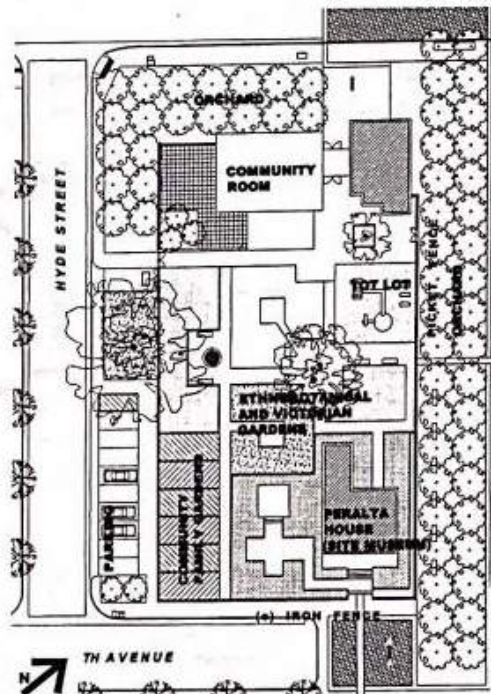


Fig. 31 The Victorian Area : Peralta House, Victorian Gardens. Plan



Fig. 32 Tot lot, View from Community Center

Fencing

- A picket fence will connect with the existing decorative iron fence, to enclose the area of the Gardens, the Peralta House and the Community Center.
- The enclosure facilitates control and management of these areas.

Ethnobotanical Historical Garden and Victorian Garden

- Display of native vegetation and cultural vegetation (European-introduced plants)
- Display of a variety of traditional plant uses including: medicinal plants, fruit trees, orchards, vegetable gardens.
- Rescue the atmosphere of the late California's Rancho Orchards
- This area is fenced in (picket fence and existing decorative iron fence) to facilitate control and management between the Peralta House, its gardens, and the Community Center.

Peralta Family Barro Pit and Well

- Approach to the interpretation of these archeological features to be determined in the future.
- Protection of the artifacts will comply with the recommendation included in *Historical Archeology at the Peralta Hacienda Historical Park (P-01-002244) Phase 3 Update Report*, prepared by Dr. Julia G. Costello and Charlene Duval.

Orchard

- Fruitvale tradition.
- Strong linear promenade.
- Penetrates Historic Core and unifies two historical periods of the region.
- Acts as a frame to the park and buffers Community Center and its courtyard from the street noise.

Multipurpose Community Room

- Approximately 1000 sq ft of usable space
- Intended for small meetings, exhibitions, social activities, etc.
- Outdoor-enclosed courtyard (patio) 1,750 sq ft.
- Public restrooms, storage, and service space.

Perpendicular Parking

- Creates space for Community Family Gardens.

Community Family Gardens

- Integrated into the Community Area.
- Display the community's active participation in the Park.

Tot Lot (1 to 10 years old)

- Located within the Community Center area
- Seating for supervising parents and close to restrooms.
- Enclosed by picket fence
- Sculptural animals captivate and educate kids

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PERALTA HACIENDA HISTORICAL PARK
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LIST OF IMPROVEMENTS PER 2001 MASTER PLAN UPDATE, approved by the City in 2002. (continues)

LIST 1

LIST OF 2002 PPHP MASTER PLAN ELEMENTS

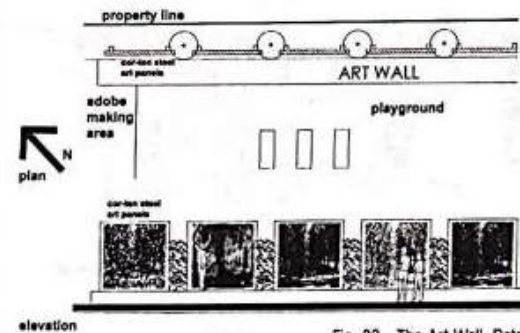


Fig. 33 The Art Wall, Detail

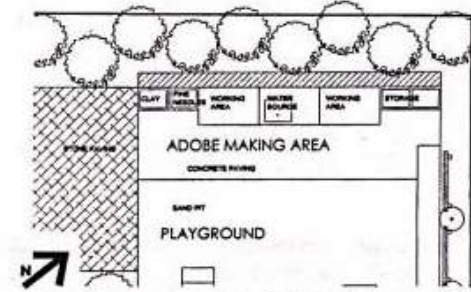


Fig. 34 Adobe Making area, Detail

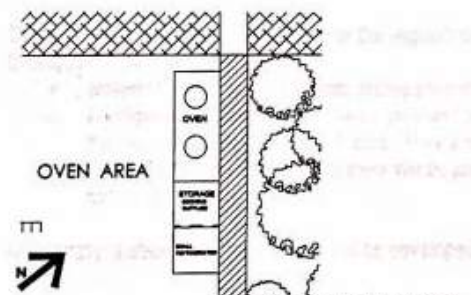


Fig. 35 Oven / Grill area, Detail

Playground and the Art Wall

- Located within a garden, adjacent to the adobe making area
- Vegetated buffer to separate from the *cul-de-sac*
- Large cor-ten steel panels enclose and protect the eastern side of the playground. Permanent of temporary murals will be displayed on the six panels.

Adobe Making Area and Oven

- As part of the park programs, kids will learn to make adobe bricks and other crafts.
- Both areas are located close to the Historic Core, but separated from the protected archeological features.

Lawn

- Multipurpose space of about 8,500 sq-ft.
- Surrounded by native California flowers and grasses.

Stairway Connection towards the Creek Area

- Visual and physical connection between Peralta Creek area and the upper level platform.

Interpretive Ramp

- Accessible physical and visual connection between the creek area and the Historic Core.
- Eases the descent to the creek.
- Generates a meaningful and interactive descent with legends or displays to describe the site.

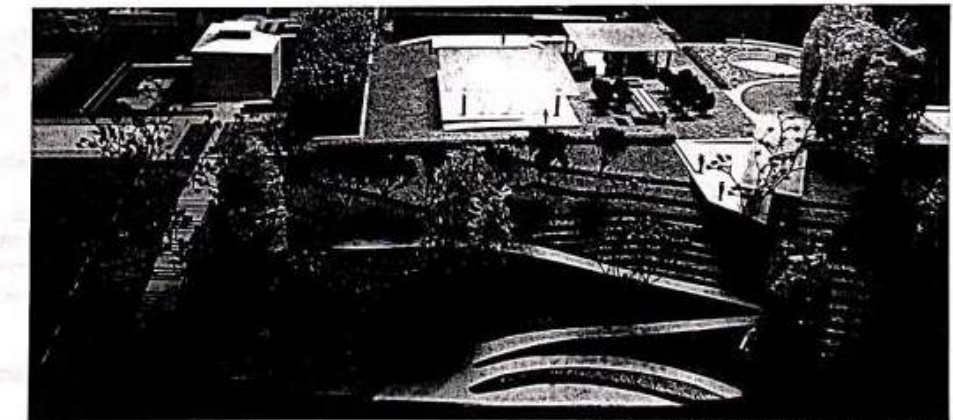


Fig. 36 Interpretive Ramp and Stairway, Site Model

master plan update report

PERALTA HACIENDA HISTORICAL PARK
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project areas & features

LIST OF IMPROVEMENTS PER 2001 MASTER PLAN UPDATE, approved by the City in 2002. (continues)

IMAGE BOARD / MATERIALS PALETTE 1

MATERIALS RECOMMENDED IN 2002 PPHP MASTER PLAN

What materials were originally proposed in the 2002 Master Plan?

The 2002 Master Plans provides a list of recommended materials, but do not specify material sources, detailed specifications, or reference images. With the purpose of creating a baseline to use in confirming that currently constructed and proposed materials in the park respond to the recommendations of the Master Plan, materials board/palette #1 is included in this section of the document.

Materials are color-coded to represent the four groups of materials as indicated on the LEGEND: paving, wall or fencing, special features, and overhead structures. The numbers not colored in the list on the next page represent planting, and thus were excluded from this materials list analysis.

Not all materials included in the Master Plan concept are currently included in the acceptable list of materials for PPHP; modifications are as follows (materials bolded and underline are the only materials included in the baseline palette):

1. **Concrete Paving:** included in baseline palette
2. **Red Crushed Stone Paving:** included in baseline palette but in golden color; lava rock is not approved by the City of Oakland as a feasible park material due to long-term availability for repairs
3. Cantera Stone Paving: NOT included in baseline palette due to cost
4. Grass-crete Block Paving: NOT included in baseline palette because it is not approved for pedestrian mobility
5. Stone Border Paving: NOT included in baseline palette because during initial phases of construction, the stone band was substituted by CIP color concrete and precast concrete pavers; these have become the new baseline for the Park's stone border paving applications
6. **Integral Color Concrete Paving:** included in baseline palette
7. Cobble Stone Paving: NOT included in baseline palette because it is not approved for pedestrian mobility
8. **Sand Pit:** included in baseline palette
9. Red Ceramic Tiles Paving: NOT included in baseline palette because during initial phases of construction, the red ceramic tiles for accent areas was substituted by CIP color concrete and precast concrete pavers; these have become the new baseline for the Park's red ceramic tiles paving applications
10. **Existing Concrete Sidewalk Paving:** included in baseline palette
11. **Blue Mexican Glazed Tiles (pool) Surface Material:** included in baseline palette as the metaphor for water on the Community's Banquet Table; refer to details in Schematic Design package
12. **Durawood Deck Paving:** included in baseline palette for overlook deck only
13. **Asphalt with Red Gravel Aggregate Paving:** included in baseline palette for ramp in future phases (at creek area)
14. Lawn: PLANTING, NOT part of materials board

IMAGE BOARD / MATERIALS PALETTE 1

MATERIALS RECOMMENDED IN 2002 PPHP MASTER PLAN



5.6

paving & materials concept



Fig. 39 Cantera Stone Paving

The park's paving palette includes materials used by the different cultures that inhabited this land in the last centuries. The overlapping of natural, textured and smooth materials, enriches the spatial composition of the park, and highlights the concept of "layering" earth to reflect history.

Materials from the Native American period include raw wood, and native grasses and perennials. The Rancho era is celebrated with cantera stone paving, actual adobe brick walls, and color tiles. Finally, materials like the iron fence, the wood deck and benches, in addition to the 1870 Peralta House represent the Victorian period of the site.

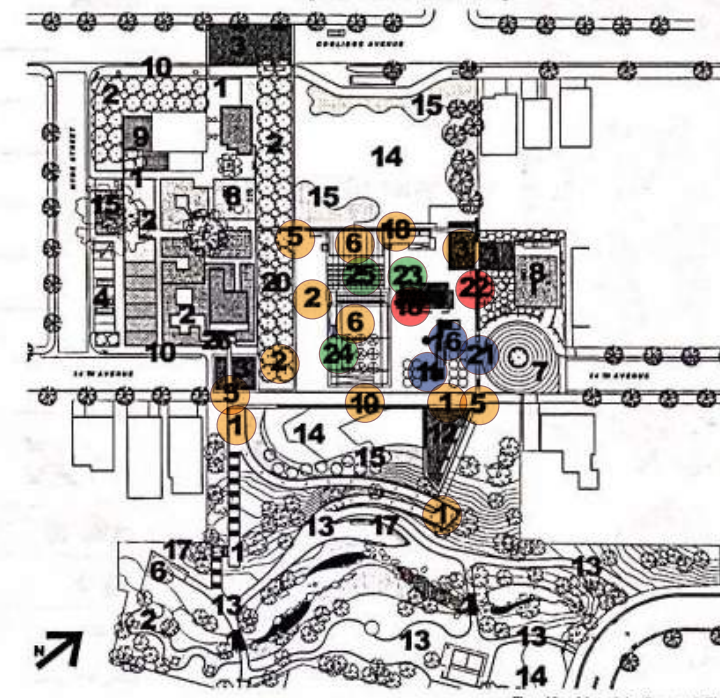


Fig. 40 Materials Concept Plan

list of paving, furnishings and canopy materials

- 1 Concrete Pavement
 - 2 Red Crushed Stone with binder
 - 3 Cantera Stone Paving
 - 4 Grass-crete block
 - 5 Stone Border
 - 6 Integral Color Concrete (polished)
 - 7 Cobble Stone
 - 8 Sand Pit
 - 9 Red Ceramic Tiles
 - 10 Existing Concrete Sidewalk
 - 11 Blue Mexican Glazed Tile (pool)
 - 12 Durawood Deck
 - 13 Asphalt with Red Gravel Aggregate
 - 14 Lawn
 - 15 Native California Grasses & Perennials
 - 16 Polished Concrete Table
 - 17 Concrete Bench
 - 18 Adobe Brick Wall (exposed)
 - 19 Adobe Brick Wall with Plaster
 - 20 Wood Bench
 - 21 Concrete Bollards
 - 22 Oven
 - 23 Wooden Pergola with Plexiglass
 - 24 "Enramada"
 - 25 Canvas & Wire Shade Structure (canopy)
 - 26 Decorative Iron Fence
- PLANTING: not part of materials palette

master plan update report
PERALTA HACIENDA HISTORICAL PARK
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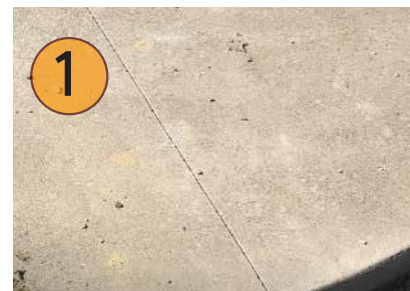
LIST OF MATERIALS PER
2002 MASTER PLAN UPDATE,
approved by the City in 2002.
(continues)

- LEGEND
- PAVING materials
 - WALL OR FENCING materials
 - SPECIAL FEATURES
 - OVERHEAD STRUCTURES materials

IMAGE BOARD / MATERIALS PALETTE 1

REPRESENTATIVE MATERIALS RECOMMENDED
IN 2002 PPHP MASTER PLAN

- 15. Native California Grasses & Perennials: PLANTING, NOT part of materials board
- 16. Polished Concrete Table Surface Material: included in baseline palette
- 17. Concrete Bench: NOT included in baseline palette; wood and other finishes are preferred by City of Oakland and PPHP
- 18. Adobe Brick Wall: included in baseline palette
- 19. Adobe Brick Wall with Plaster: included in baseline palette
- 20. Wood Bench: included in baseline palette
- 21. Concrete Bollards: included in baseline palette but replaced with wood bollards per currently installed bollards on 34th Street cul-de-sac
- 22. Oven: included in baseline palette
- 23. Wooden Pergola with Plexiglass: included in baseline palette **but substituted** with exposed wood framing and joist system. City of Oakland rejected the maintenance of a pergola in a park. This material modification was approved during the installation of the Phase IV-A pavilion (refer to section 3 of this document).
- 24. "Enramada": included in baseline palette **but substituted** with exposed wood framing and joist system. City of Oakland rejected the maintenance of a "ramada"/"enramada" in a park. This material modification was approved during the installation of the Phase IV-A pavilion (refer to section 3 of this document).
- 25. Canvas and Wire Share Structure: included in baseline palette
- 26. Decorative Iron Fence: included in baseline palette; design and details to be determined in implementation phases. No specific design was included in the Master Plan.



Concrete Pavement



Red Crushed Stone with binder;
replaced with golden color



Cantera Stone Paving; not used
due to cost and maintenance



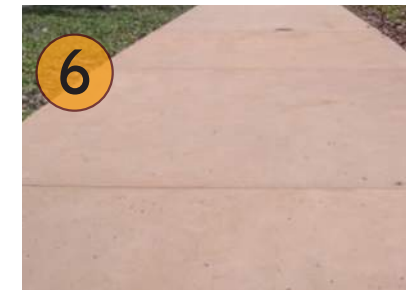
Stone Border; replaced by precast
concrete paver

LEGEND

- PAVING materials
- WALL OR FENCING materials
- SPECIAL FEATURES
- OVERHEAD STRUCTURES materials

IMAGE BOARD / MATERIALS PALETTE 1

REPRESENTATIVE MATERIALS RECOMMENDED
IN 2002 PPHP MASTER PLAN



Integral Color Concrete



Existing Concrete Sidewalk



Durawood Deck



Blue Mexican Glazed Tile



Polished Concrete Table



Concrete Bollards; replaced by wood
bollards currently installed in park



Decorative Iron Fence



Adobe Brick Wall



Adobe Oven



Wooden Pergola with Plexiglass (23) and "Enramada" (24); replaced by
wood or metal frame and joist structure with polycarbonate parapet



Canvas & Wire Shade Structure
(canopy)

CHARACTER VIEWS 1

PARK CHARACTER PROPOSED IN 2002 PHHP MASTER PLAN

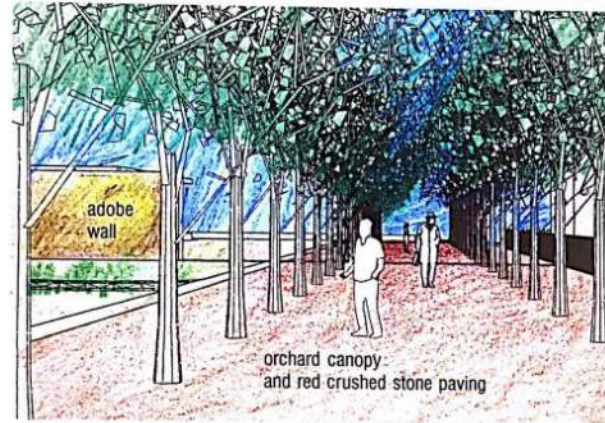


Fig. 8 Orchard Canopy Access - View from Coolidge Avenue



Fig. 9 View of the Historic Core - Water Feature and "Enramada"

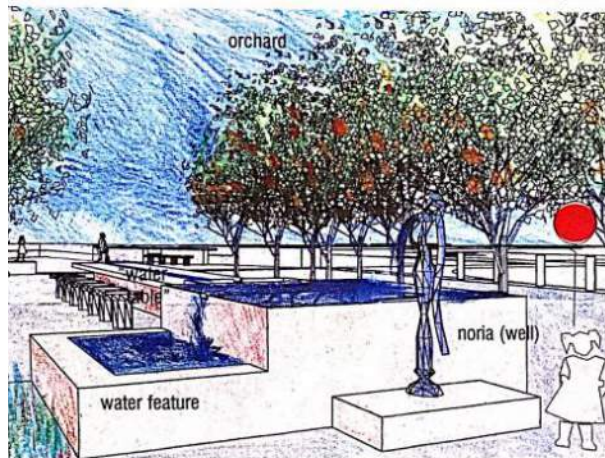


Fig. 10 View of Noria (well) and "Water Table" Feature

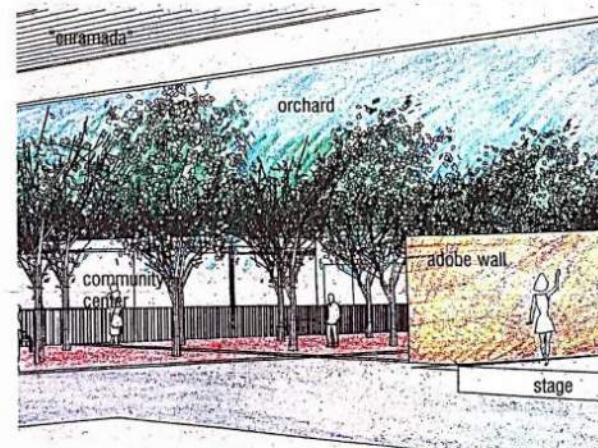


Fig. 11 View of Stage and Adobe Wall from under "Enramada"

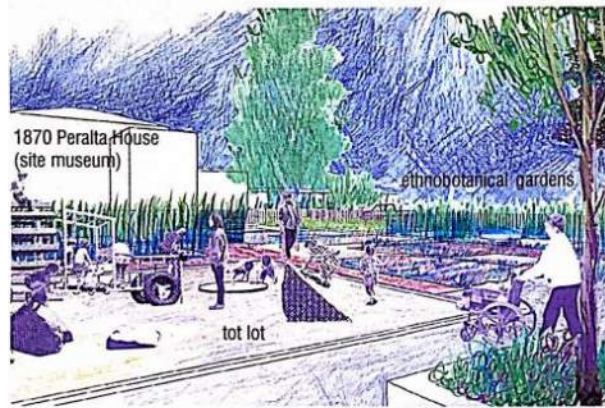


Fig. 12 View of Tot Lot and Ethnobotanical Gardens

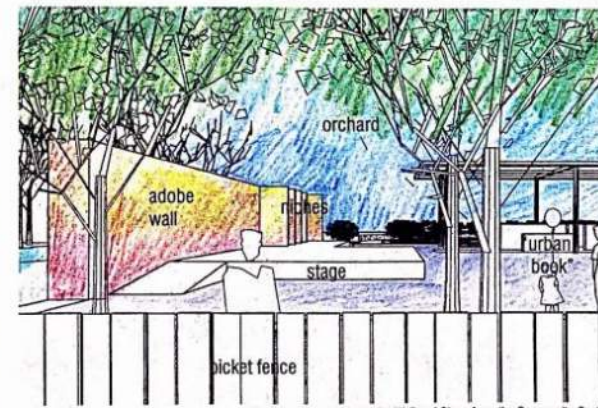


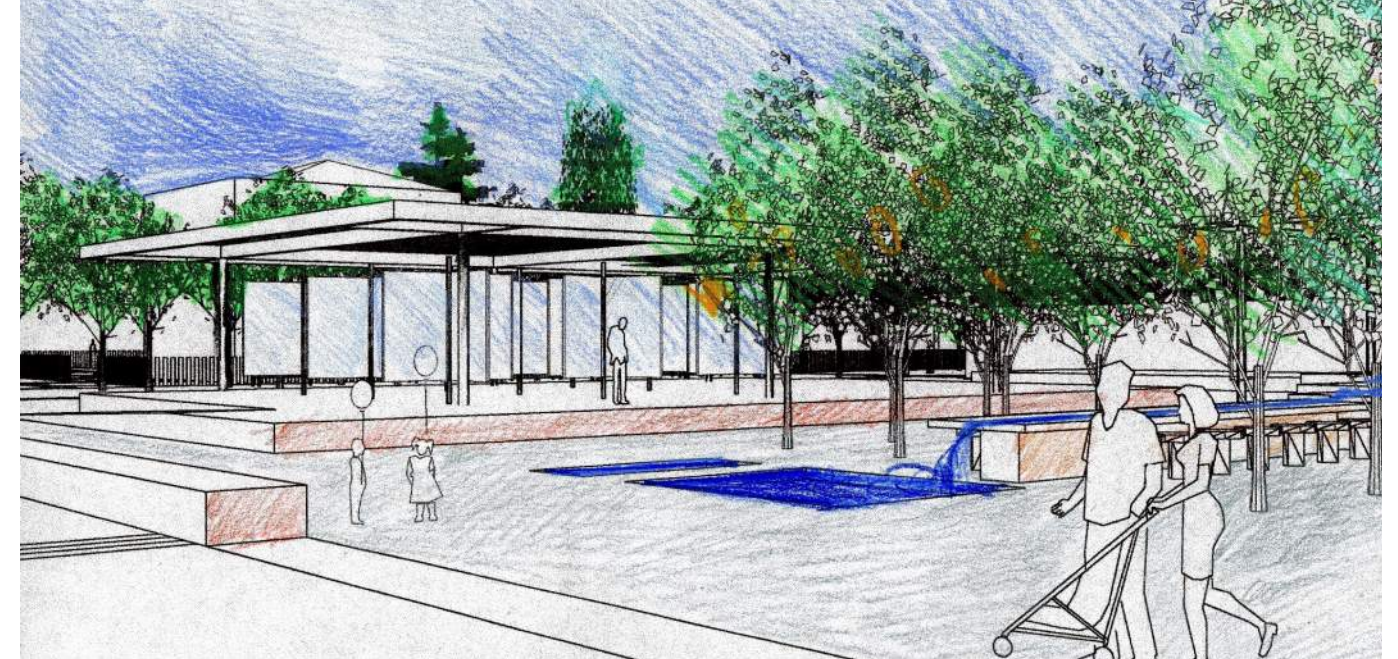
Fig. 13 View of the Adobe Wall and Stage from the Community Center

CHARACTER VIEWS 1: 2002 Park Master Plan update views (Dec 2001)

ORIGINAL PARK FEATURES AND ELEMENTS PROPOSED

CHARACTER VIEWS 1

PARK CHARACTER PROPOSED IN 2002 PHHP MASTER PLAN



CHARACTER VIEWS 1: 2002 Banquet Table and Community Assembly Structure concept

Community Assembly Structure is depicted with the "Urban Book" feature of pivoting display panels that can enclose the pavilion, creating a flexible space for gathering. In the Master Plan the **Community Banquet Table** was envisioned as a runnel/water feature. The City of Oakland has rejected the use of potable water on a feature as the one proposed in 2002 due to safety and health concerns in combining an open air water element in an element of the park dedicated to sharing of food. Instead of running water the runnel will be covered with Mexican blue glazed tile (a material recommended in the Master Plan) to represent the water.

CHARACTER VIEWS 1

PARK CHARACTER PROPOSED IN 2002 PPHP MASTER PLAN

CHARACTER VIEWS 1: 2002 Banquet Table concept

Community Banquet Table envisioned as a runnel/water feature. The City of Oakland has rejected the use of potable water on a feature. Instead of running water the runnel will be covered with Mexican blue glazed tile (a material recommended in the Master Plan) to represent the water.



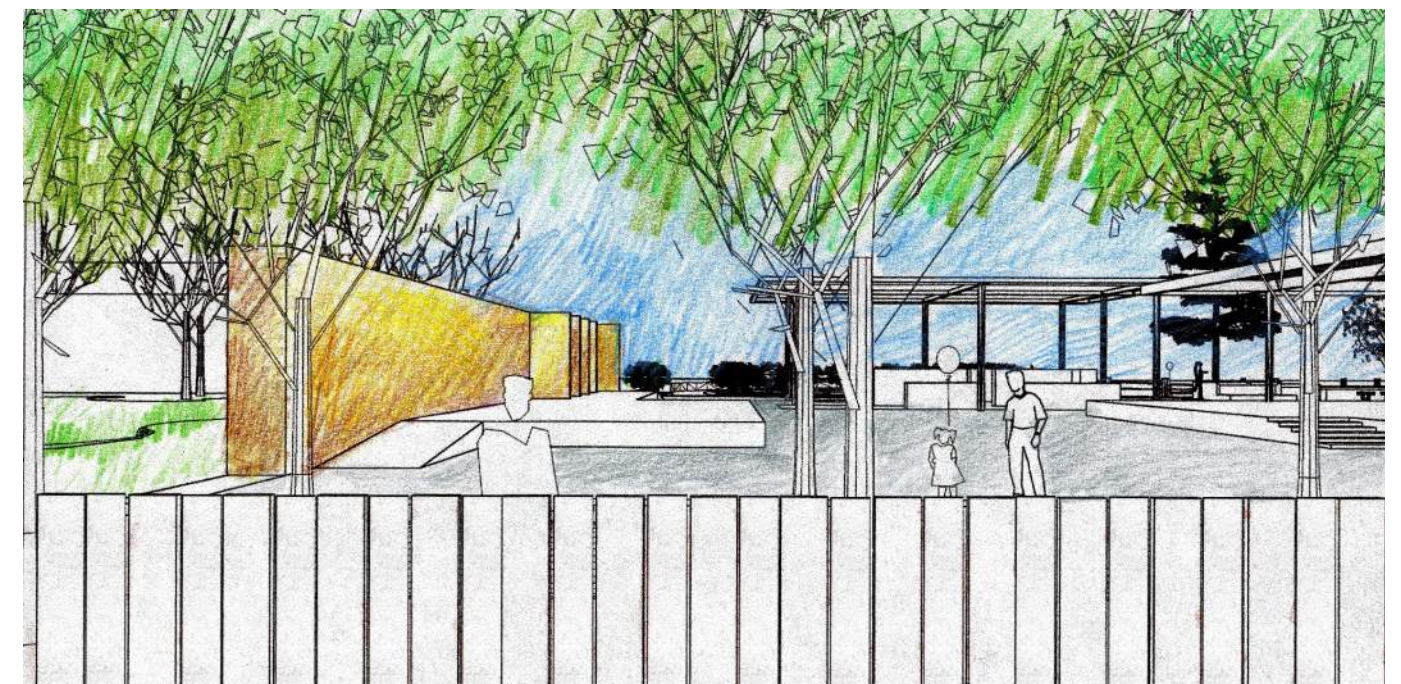
CHARACTER VIEWS 1

PARK CHARACTER PROPOSED IN 2002 PPHP MASTER PLAN



CHARACTER VIEWS 1: 2002 Stage Area concept

Stage Area, depicted with hard surface located in front of the new Community Assembly Structure. In subsequent community consultations, the stakeholders requested softer materials including lawn to be considered in the area around the stage to facilitate informal play and informal seating during performances. **Decorative Perimeter Fence is envisioned as a low picket metal or wood fence;** due to heightened security concerns, the Friends of PPHP have requested that the perimeter fence be changed to a taller barrier.



Section 3

PERALTA HACIENDA HISTORICAL PARK BUILT-TO-DATE IMPROVEMENTS

EXISTING CONDITIONS description

DIAGRAM 2

ILLUSTRATIVE PLAN OF PPHP MASTER PLAN ELEMENTS BUILT TO DATE

DIAGRAM 2 KEY





-  III A: Area along Coolidge Ave and some historic core elements
-  III B: Community area at corner of Hyde and Coolidge
-  III C: Peralta Creek nature area
-  IV A: Historic Core

DIAGRAM 2 LEGEND

- PHASE III-A
 - A. Adobe wall and interpretive niches
 - B. Native California Gardens
 - C. Multipurpose Lawn
 - D. Orchard
 - E. Playground
 - F. Stage
 - G. Signage (four interpretive signs)
 - H. Barro Pit Site (protective cover for archaeological deposit built in this phase)
- PHASE III-B
 - I. New Community Room
 - J. Public Restroom
 - K. Orchard (Heirloom Fruit Trees)
- PHASE III-C
 - L. Stairs to Creek Area
 - M. Interpretive ADA ramp down the creek slope
 - N. Outdoor Classroom (amphitheater) seating
 - O. Orchard: Pear Tree Pathway into the park from Coolidge Ave, second half
- PHASE IV-A: The Historic Core
 - P. 1821 Adobe Site Pavilion
 - Q. Adobe Oven

DIAGRAM 2

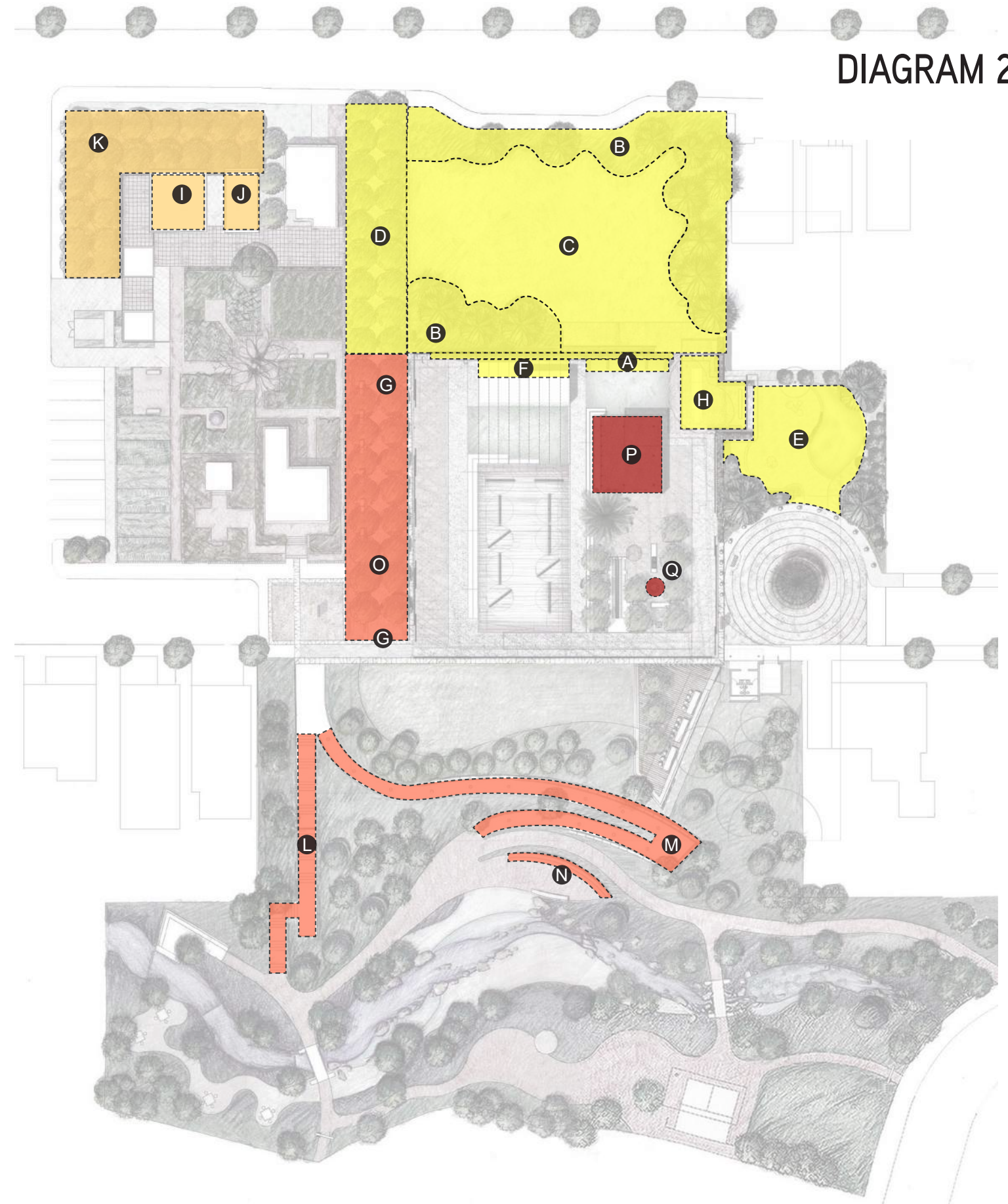


DIAGRAM 2: PARK MASTER PLAN IMPROVEMENTS BUILT TO DATE (2020)

LIST 2

LIST OF PPHP MASTER PLAN ELEMENTS BUILT TO DATE

List of Improvements Implemented to Date [PHASES III and IV-A]. This includes elements per the 2002 Master Plan and some adapted improvements as approved by the City of Oakland.

What master plan elements have been built?

PHASE III A Native Plant Garden area along Coolidge		
Master Plan Feature	Features Built to Date	Variance from Master Plan
A. Adobe Wall with Interpretive Niches	Adobe Wall with Interpretive Niches —(4) interpretive niches were built to respond to the Master Plan.	None as built —(1) additional nich is desired to expand the interpretation of the site.
B. Native California Gardens	Native California Gardens —an area around the multipurpose lawn and the playground was planted with native California plants and has been maintained since installation.	None as built —general maintenance of native gardens is needed after years of being established on site.
C. Multipurpose Lawn	Multipurpose Lawn —(-10,000) sqft of turf was built to allow for multiple recreational program, which is consistent with the Master Plan recommendation.	None
D. Orchard: Pear Tree Pathway, first half	Orchard: Pear Tree Pathway, first half —(18) [of a total of (34)] pear trees were planted along the tree alley to represent the orchard concept of the Master Plan.	None, but incomplete —Additional trees completed the orchard under Phase IIIB (see below).
E. Playground and plantings	Playground and plantings —An interpretive playground surrounded by native planting areas was built using the iconography of California bears, which follows the Master Plan intent.	None as built —After years in use, it is currently recommended to expand the playground to incorporate more modern play equipment that could accommodate users of all capacities. A recommendation for playground expansion is included for future development.
F. Stage—half built in this phase	Stage —a total area of 11x40 feet concrete stage was built in this phase, which corresponds to the Master Plan intent.	None as built —subsequent to its construction, stage users requested a larger stage size to accommodate better the performances that take place on it. A larger stage is anticipated for construction in future phases, to create a total area of 24x55 ft.
G. Interpretive Signage for Main entry, Native Plant Garden, etc., and Community Notice Board	Interpretive Signage and Community Notice Board —signage in pedestals and plaques imbedded in the paving were distributed around the park (see exhibits I.1 and I.2)	None as built
H. Barro Pit Site	Barro Pit Site —a protective cover for Archaeological Deposit was built in this phase; the ultimate recommendation for this area of the park is to create a pavilion where visitors could learn about the archaeological work of the site, and potentially experience hands-on the activities on an active dig.	None —but current condition only represents a temporary improvement to protect sensitive archaeological materials in place. Future pavilion is to be added once funding is available, currently not funded.

LIST 2

LIST OF PPHP MASTER PLAN ELEMENTS BUILT TO DATE

PHASE III B Corner of Hyde and Coolidge		
Master Plan Feature	Features Built to Date	Variance from Master Plan
I. New Community Room	New Community Room —(-800) sqft of room was built to allow for indoor programming and community gathering; steel structure and metal panel roof cover a CMU and stucco enclosure, painted in dark brick red; a decorative metal fence inspired by "papel picado" provides an interpretive barrier to the street.	None —the Master Plan did not include a physical design recommendation and thus materials utilized in the small pavilion were inspired by the overall character proposed by the Master Plan.
J. Public Restroom	Public Restroom —(-450) sqft bathroom including divided service for men and for women was built sharing the roof structure of the Community Room.	Not in Master Plan —a bathroom was not described or detailed in the Master Plan, but it was deemed necessary as part of the Community Room program and thus was added to the Park.
K. Orchard (Heirloom Fruit Trees)	Orchard (Heirloom Fruit Trees) —some small fruit trees were planted in the community garden area of the park.	None

PHASE III C Slope to Peralta Creek/Peralta Creek Nature Area		
Master Plan Feature	Features Built to Date	Variance from Master Plan
L. Stairs to Peralta Creek Area	Staircase to Creek	None as built
M. Interpretive ADA ramp to creek.	Interpretive ADA ramp to creek.	None as built
N. Outdoor Classroom (amphitheater) Seating	Outdoor Classroom (amphitheater) Seating; partial construction —A long concrete seatwall was constructed to form the initial edge of the amphitheater feature.	None, but incomplete —Additional seating elements are needed in this area to complete the full outdoor classroom.
O. Orchard Pear Tree Pathway, 2 nd half	Orchard: Pear Tree Pathway, 2 nd half —(16) pear trees were added along the east part of the tree alley to complete the orchard concept illustrated in the Master Plan.	None —Additional trees completed the orchard in this phase.

PHASE IV A The Historic Core		
Master Plan Feature	Features Built To Date	Variance from Master Plan
P. 1821 Adobe Site	1821 Adobe Site —(-1,700) sqft pavilion was built to provide a future home to a reconstructed traditional adobe wall. The structure followed the location and approximate proportions of the Master Plan's pergola recommended in the Master Plan, but the materials used per direction and approval of the City of Oakland were steel structure with wood frame and joist system to recreate the character and texture of the pergola without the maintenance issues	Approved Modification —Roof approved rather than trellis for protection of future adobe wall-ruin. Incomplete Elements —The pavilion included a temporary chain-link fence enclosure for security, in lieu of the final core area perimeter decorative fencing; the pavilion did not include the adobe wall reconstruction display, nor the partial wall panels anticipated for interpretive displays; it is assumed that those elements will come as part of Future Phases (not currently funded)
Q. Oven (adobe)	Oven (adobe) —Built by a traditional adobe maker, following the vision of the Master Plan	None

IMAGE BOARD / MATERIALS PALETTE 2

MATERIALS BUILT TO DATE

PER 2002 PPHP MASTER PLAN OR APPROVED ADAPTATIONS

The materials used in the built elements of the park to date followed the recommendations of materials listed in the 2002 Master Plan, with the exceptions described in IMAGE BOARD/MATERIALS PALETTE 1 of this document. This adapted materials palette takes precedence for maintaining park character in future phases, over the original materials listed in the Master Plan, but not used in the currently implemented improvements. Refer to descriptions herein and in section 1.

Materials used to date in the park are as follows:

1. **Concrete Paving:** included in baseline palette
2. **Red Crushed Stone Paving:** included in baseline palette but in golden color; lava rock is not approved by the City of Oakland as a feasible park material due to long-term availability for repairs
5. **Precast Concrete Pavers (APPROVED VARIANCE to Stone Border Paving):** precast concrete pavers in red color were used to "trace" the historic location of the Hacienda's perimeter adobe fence
6. **Integral Color Concrete Paving:** included in baseline palette
10. **Existing Concrete Sidewalk Paving:** included in baseline palette
18. **Adobe Brick Wall:** included in baseline palette
21. **Wood Bollards (APPROVED VARIANCE to Concrete Bollards):** currently installed bollards on 34th St cul-de-sac
22. **Oven:** included in baseline palette
- 23-1. **Steel and Corrugated Metal Roof Structure (APPROVED VARIANCE #1 to Wooden Pergola with Plexiglass):** steel frame and corrugated metal panels to form an overhead structure over CMU and stucco wall enclosure for Community Room and restroom. City of Oakland approved these finishes during Phase III-B implementation.
- 23-2. **Steel Structure and Wood Frame and Joist System (APPROVED VARIANCE #2 for Wooden Pergola with Plexiglass):** exposed wood framing and joist system used in 1821 Adobe Pavilion. City of Oakland rejected the maintenance of a pergola in a park. This material modification was approved during the installation of the Phase IV-A pavilion.
- 26-1. **Decorative Iron Fence:** (APPROVED INTERPRETATION #1): low perimeter fence for playground area with metal frame and welded wire mesh infill was approved by City of Oakland during intallation of Phase III-A improvements.
- 26-1. **Chain Link Fence:** (APPROVED TEMPORARY USE INTERPRETATION #2 to Decorative Iron Fence): the pavilion included a temporary chain-link fence enclosure for security, in lieu of the future core area perimeter decorative fencing to be installed in future phases.

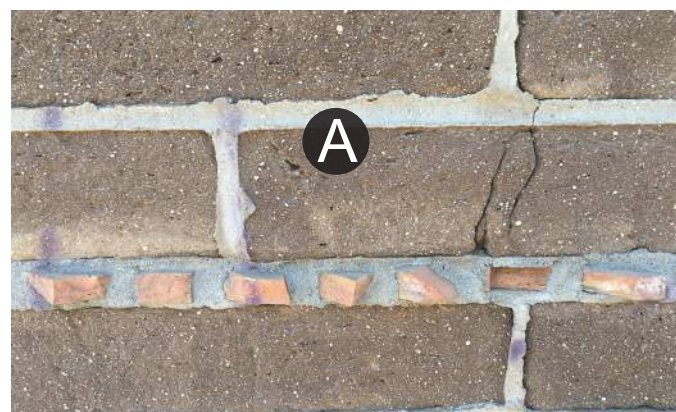


NOTE: materials shown herein as strikethrough represent Master Plan variances approved for implementation.

CHARACTER VIEWS 2

IMPROVEMENTS BUILT TO DATE

PER 2002 PPHP MASTER PLAN OR APPROVED ADAPTATIONS



CHARACTER VIEWS 2

IMPROVEMENTS BUILT TO DATE

PER 2002 PPHP MASTER PLAN OR APPROVED ADAPTATIONS

CHARACTER VIEWS 2 LEGEND

- PHASE III-A
 - A. Adobe wall and interpretive niches
 - B. Native California Gardens
 - C. Multipurpose Lawn
 - D. Orchard
 - E. Playground
 - F. Stage
 - G. Signage (four interpretive signs)
 - H. Barro Pit Site (protective cover for archaeological deposit built in this phase)
- PHASE III-B
 - I. New Community Room
 - J. Public Restroom
 - K. Orchard (Heirloom Fruit Trees)
- PHASE III-C
 - L. Stairs to Creek Area
 - M. Interpretive ADA ramp down the creek slope
 - N. Outdoor Classroom (amphitheater) seating
 - O. Orchard: Pear Tree Pathway into the park from Coolidge Ave, second half
- PHASE IV-A: The Historic Core
 - P. 1821 Adobe Site Pavilion
 - Q. Adobe Oven



CHARACTER VIEWS 2

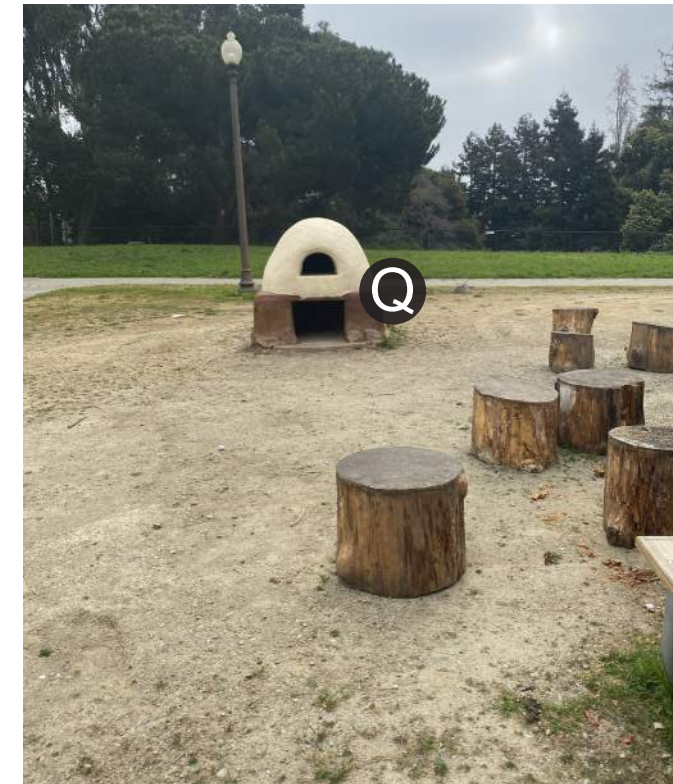
IMPROVEMENTS BUILT TO DATE

PER 2002 PPHP MASTER PLAN OR APPROVED ADAPTATIONS



CHARACTER VIEWS 2 LEGEND

- PHASE III-A
 - A. Adobe wall and interpretive niches
 - B. Native California Gardens
 - C. Multipurpose Lawn
 - D. Orchard
 - E. Playground
 - F. Stage
 - G. Signage (four interpretive signs)
 - H. Barro Pit Site (protective cover for archaeological deposit built in this phase)
- PHASE III-B
 - I. New Community Room
 - J. Public Restroom
 - K. Orchard (Heirloom Fruit Trees)
- PHASE III-C
 - L. Stairs to Creek Area
 - M. Interpretive ADA ramp down the creek slope
 - N. Outdoor Classroom (amphitheater) seating
 - O. Orchard: Pear Tree Pathway into the park from Coolidge Ave, second half
- PHASE IV-A: The Historic Core
 - P. 1821 Adobe Site Pavilion
 - Q. Adobe Oven



CHARACTER VIEWS 2

IMPROVEMENTS BUILT TO DATE

PER 2002 PPHP MASTER PLAN OR APPROVED ADAPTATIONS

Section 4

PERALTA HACIENDA HISTORICAL PARK PROPOSED FUTURE IMPROVEMENTS

PHASE IV-B description
+
FUTURE PHASES description

ILLUSTRATIVE MASTER PLAN ELEMENTS (original 2002)



DIAGRAM A: park master plan update diagram (Dec 2001) - AS APPROVED IN 2002

Based on the implemented improvements (section 3) and direction provided by the City during the development stages of phases III and IV-A, the following are the currently approved Master Plan variations.

DIAGRAM B supersedes the original DIAGRAM A included in the 2002 Master Plan document. Areas shown in lighter color represent areas of the Master Plan without modifications.

ILLUSTRATIVE PLAN for PROPOSED + BUILT ELEMENTS as of 2020



LEGEND

APPROVED ADAPTATIONS TO MASTER PLAN, BUILT COMPONENTS

New Community Room and Public Restroom configuration

1821 Adobe Site Pavilion materials and size are adapted to PPHP program requirements; character and function of pavilion remains consistent to Master Plan concept

REVISED MASTER PLAN for PHASE IV-B and FUTURE PHASES

Archaeological Site Pavilion; it is added since it was not included in Master Plan

New turf areas in Historic Core

Pivoting panels in Community Assembly pavilion are spaced to allow for ADA circulation

Community Table and orchard are reconfigured to current ADA accessibility code, and water feature is replaced with blue glazed tile

DIAGRAM B: PROPOSED + BUILT ELEMENTS AS OF 2020

DIAGRAM 3

ILLUSTRATIVE PLAN OF PPHP MASTER PLAN ELEMENTS PHASE IV-B

DIAGRAM 3 KEY


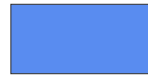

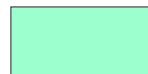
- | | | | |
|---|---------------|---|------------------------------------|
|  | Historic Core |  | Creek Nature Area |
|  | Urban Edge |  | Troughout the Site and Streetscape |

DIAGRAM 3 LEGEND PROP 68 SCOPE

1. Community Assembly Structure (Recreational Feature)
2. Renovate Coolidge House into new Youth Activity Center - Includes snack shack and storage shed
3. Food Event Area with water feature, banquet table, and fruit trees
4. Planting and Infrastructure and Youth Multiuse Field - Includes lighting and benches, fence along Coolidge Avenue, install border around and refurbish native plant garden
5. Lighting throughout the park

DIAGRAM 3

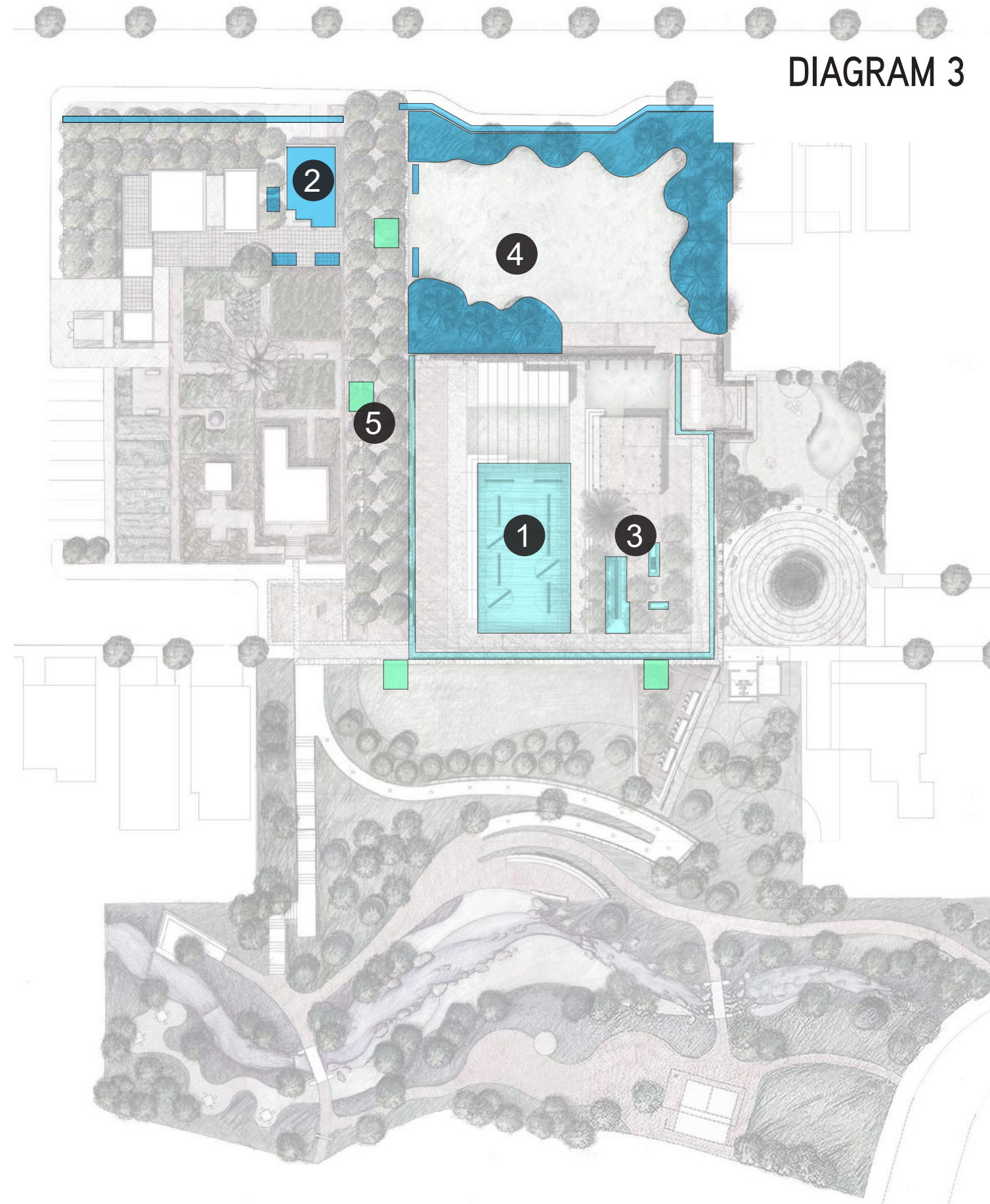


DIAGRAM 3: PARK MASTER PLAN IMPROVEMENTS FOR PHASE IV-B

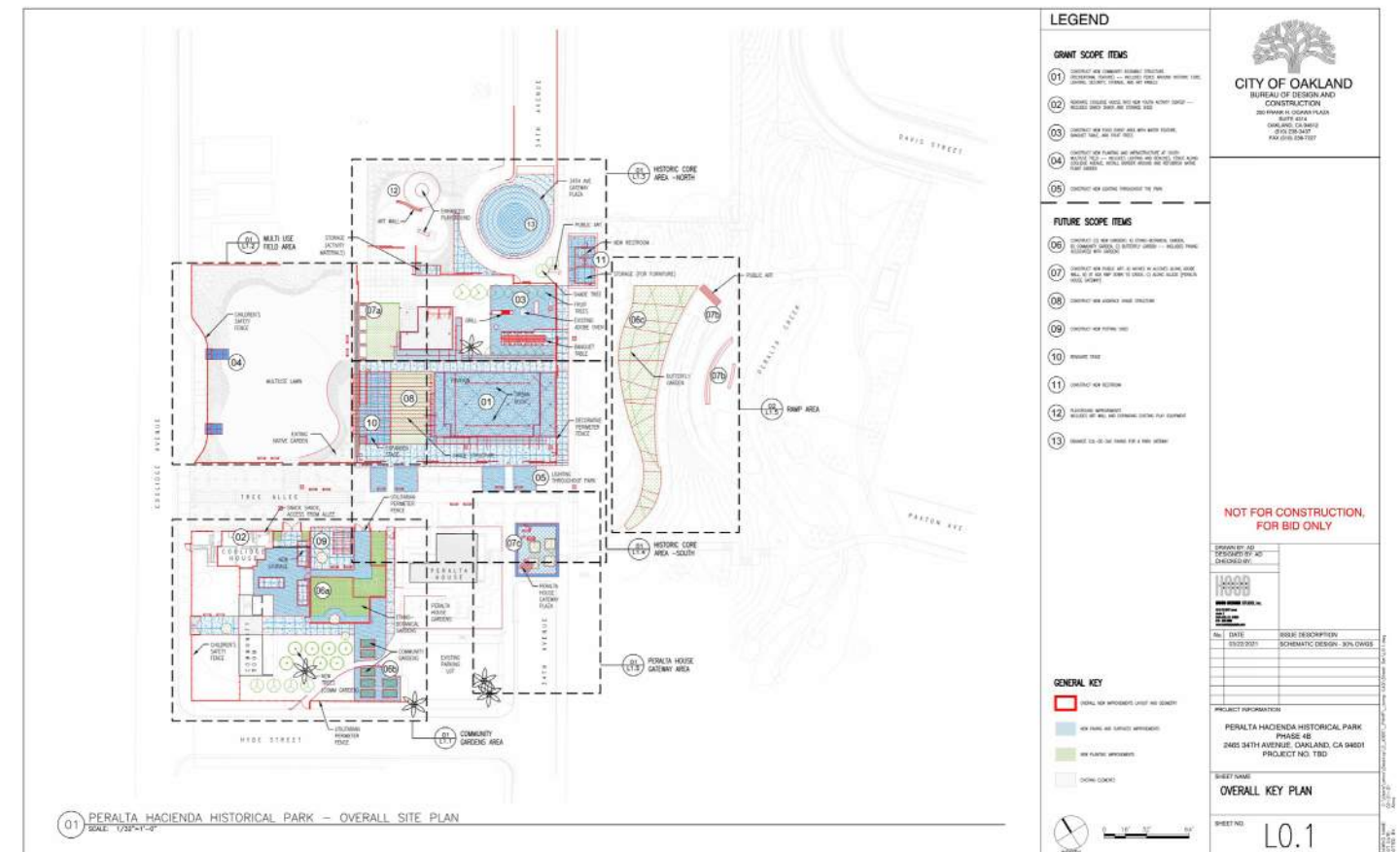
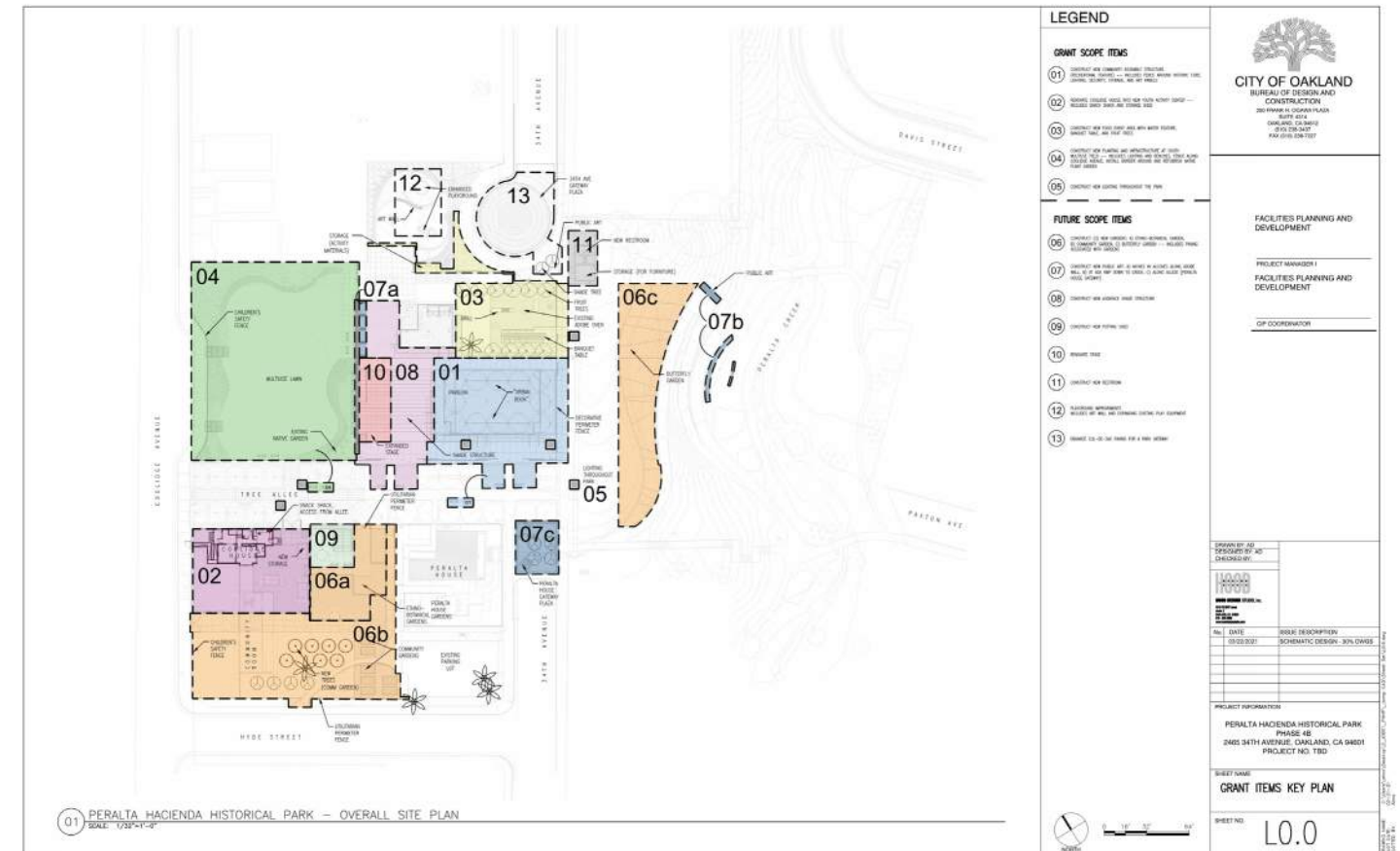
LIST 3

LIST OF PHHP MASTER PLAN ELEMENTS FOR PHASE IV-B

What Master Plan elements will be built with Prop 68 funds*?

PROP 68 SCOPE*			
Master Plan Feature	To Be Built with Prop 68 Funds	Variance from MP	Area of the Park
1. Community Assembly Structure	1840 adobe site "Ramada" Urban Book (called Museum without Walls in some documents); includes perimeter fence around Historic Core	Panels placed slightly closer to edge so they can be rotated to shelter audience for occasional events	Historic Core
2. Coolidge House into New Youth Activity Center	Existing House at 2496 Coolidge, rehab as Community Center	None	Urban Edge
3. Food Event Area	Community Banquet Table and Water Feature	None	Historic Core
4. Multiuse Field	Planting and infrastructure upgrades; include lighting and benches, fence along Coolidge Ave, install border around and refurbish native plant garden	None	Urban Edge
5. Lighting	New light fixtures using City standard	None	Throughout Park

Refer to DIAGRAM 3 for diagram of PHASE IV-B proposed elements.



OVERALL PLAN, as included in Schematic Design Package, dated 3/22/21

DIAGRAM 4

ILLUSTRATIVE PLAN OF PPHP MASTER PLAN ELEMENTS FOR FUTURE PHASES

DIAGRAM 4 KEY

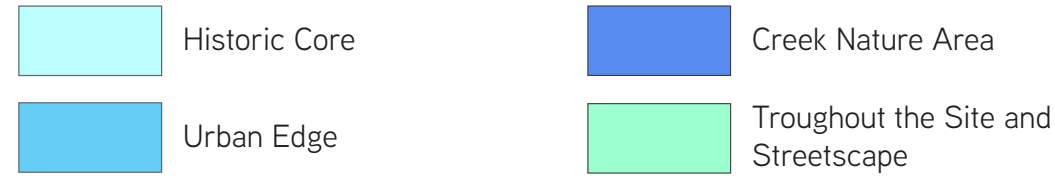


DIAGRAM 4 LEGEND FUTURE PHASES SCOPE

PRIORITY 1

- 6. Three (3) Gardens:
A) Ethno-Botanical Garden; B) Community Garden; C) Butterfly Garden - Includes paving and fencing associated with gardens
- 7. Public Art:
A) Niches in alcoves along adobe wall; B) Along allee
- 8. Audience Shade Structure
- 10. Renovated Stage

PRIORITY 2

- 7. Public Art:
C) At ADA ramp down to creek
- 9. Potting Shed
- 11. Restroom
- 12. Playground Improvements
- 13. Park Gateway
- 15. Ecological Interpretation of Creek Area
- 16. Surface in front of outdoor seating
- 17. Structure Existing Restroom, New Storage, New Teacher's Room
- 18. Native American Display
- 19. Native California Gardens
- 20. Water-Meditation Area
- 21. Picnic Area at Peralta Creek
- 22. Street Planting and other streetscape improvements
- 23. Creek Overlook Platform

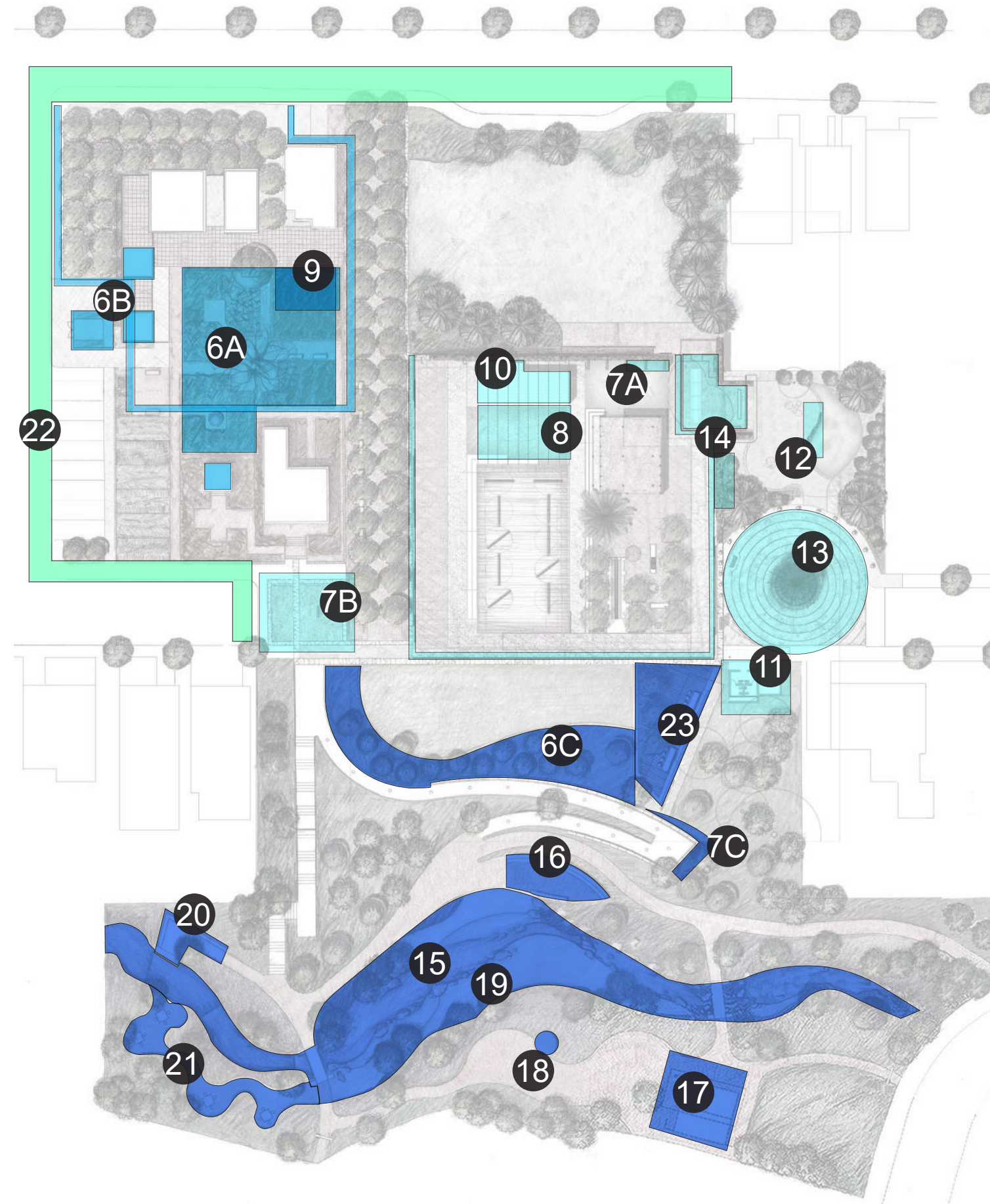


DIAGRAM 4: PARK MASTER PLAN IMPROVEMENTS FOR FUTURE PHASES

LIST 4

LIST OF PPHP MASTER PLAN ELEMENTS FUTURE PHASES

What Master Plan elements will be built with future funding?

FUTURE PHASES			
PRIORITY 1			
Master Plan Feature	To Be Built with FUTURE Funds	Variance from MP	Area of the Park
6. Gardens	6A. Ethno-Botanical Garden	None	Urban Edge
	6B. Community Garden	None	Urban Edge
	6C. Butterfly Garden	None	Creek Nature Area
7. Public Art	7A. Niches in alcoves along Adobe Wall	None	Historic Core
	7C. Along allee	None	Historic Core
8. Audience Shade Structure	Canvas and wire adjustable awning structure for audience area	None	Historic Core
10. Renovated Stage	Extend existing stage; concrete	None	Historic Core
FUTURE PHASES			
PRIORITY 2			
Master Plan Feature	To Be Built with FUTURE Funds	Variance from MP	Area of the Park
7. Public Art	7C. At ADA ramp down to creek	None	Creek Nature Area
9. Potting Shed	Metal structure	Added/ approved Phase IIIB	Urban Edge
11. Restroom	Not mentioned in Master Plan; includes restroom (same scale and functions as per existing restroom near Community Room) and new storage area for furniture to be used on Community Assembly Strucuter and stage.	Not mentioned in Master Plan; located at 34 th Ave's cul-de-sac	Historic Core

LIST 4

LIST OF PPHP MASTER PLAN ELEMENTS FUTURE PHASES

12. Playground Improvements	Improvements to existing playground developed in Phase IIIA; includes adding a new slide and a new modern play structure	Original playground included in the MP, this improvement to the built elements add to the original program but maintains the MP intention	Historic Core
13. Park Gateway	Vehicular Cul-de-sac (plaza treatment)	None	Historic Core
14. Barro Pit Site Pavilion and additional Storage	Archaeological Reveal. Julia Costello re-discovered two archaeology deposits during master planning through an exhaustive investigation. Archaeological reveals will show the two deposits in a new pavilion structure with storage and space for teaching and learning.	Expanded program and footprint compared on original MP concept	Historic Core
15. Ecological Interpretation of Creek Area	Ecological Interpretation of Creek ie filtration pond, water garden.	None	Creek Nature Area
16. Surface at Creek Area	Surface in front of outdoor seating at foot of access ramp providing additional overlook area	None	Creek Nature Area
17. Structure Existing Restroom, New Storage, New Teacher's Room	Existing Restroom, New Storage and Teacher's Room	None	Creek Nature Area
18. Native American Display	Native American Display	None	Creek Nature Area
19. Native California Gardens	Native Californian Gardens	None	Creek Area
20. Water-Meditation Area	Water-Meditation Area is a place where there would be creek pooling and flowing and people could sit peacefully and watch the water. Improvements include paving and a long seating wall.	None	Creek Nature Area
21. Picnic Area and Peralta Creek	Picnic Area	None	Creek Nature Area
22. Streetscape Improvements	Streetscape, including new trees, and lighting or sidewalk repairs if/as needed	None	34 th Ave, Coolidge Ave and Hyde
23. Creek Overlook Platform	Wood deck on metal structure to create an overlook facing the creek area. Deck is accessed from the Historic Core Area, and includes picnic long table and a long bench on the edge of the overlook.	None	Historic Core and Creek Nature Area

Refer to DIAGRAM 4 for future phases proposed elements.

IMAGE BOARD / MATERIALS PALETTE 3+4

MATERIALS PROPOSED FOR PHASE IV-B AND FUTURE PHASES
PER 2002 PPHP MASTER PLAN AND AS-BUILT ELEMENTS

The materials proposed for future elements of the park will follow the recommendations of materials listed in the 2002 Master Plan, plus the approved variations described in IMAGE BOARD/MATERIALS PALETTE 1 and 2 of this document. Refer to descriptions in sections 1 and 2.
Materials to be used in the park are as follows:

1. **Concrete Paving:** included in baseline palette
2. **Red Crushed Stone Paving:** included in baseline palette but in golden color; lava rock is not approved by the City of Oakland as a feasible park material due to long-term availability for repairs
6. **Integral Color Concrete Paving:** included in baseline palette
7. **Precast Concrete Pavers (APPROVED VARIANCE to Cobble Stone):** proposed for 34th St cul-de-sac; some details of cobble stone may be included in vehicular areas
10. **Existing Concrete Sidewalk Paving:** included in baseline palette
11. **Blue Mexican Glazed Tiles (pool) Surface Material:** included in baseline palette as the metaphor for water on the Community's Banquet Table; refer to details in Schematic Design package
16. **Polished Concrete Table Surface Material:** included in baseline palette
12. **Durawood Deck Paving:** included in baseline palette for overlook deck only

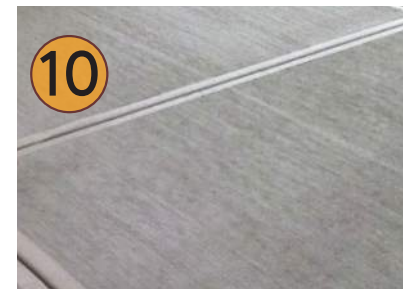
- 23-2. **Steel Structure and Wood Frame and Joist System and polycarbonate panels (APPROVED VARIANCE #2 for Wooden Pergola with Plexiglass):** exposed wood framing and joist system used in 1821 Adobe Pavilion. City of Oakland rejected the maintenance of a pergola in a park. This material modification was approved during the installation of the Phase IV-A pavilion.
25. **Canvas and Wire Share Structure:** included in baseline palette
26. **Decorative Iron Fence:** new design for Historic Core perimeter fence, based on a combination of picket fence and adobe wall (CMU with painted stucco).



DIAGRAM FOR MATERIALS PALETTE 3+4

IMAGE BOARD / MATERIALS PALETTE 3+4

MATERIALS PROPOSED FOR PHASE IV-B AND FUTURE PHASES
PER 2002 PPHP MASTER PLAN AND AS-BUILT ELEMENTS



NOTE: materials shown herein as strikethrough represent Master Plan variances approved for implementation.

REVISIONS
TO MASTER PLAN

Community Assembly Pavilion materials and size are adapted to PPHP program requirements; character and function of pavilion remains consistent to Master Plan concept

Pivoting panels in Community Assembly pavilion are spaced to allow for ADA circulation

Community Table and orchard are reconfigured to current ADA accessibility code, and water feature is replaced with blue glazed tile

CHARACTER VIEWS 3+4

IMPROVEMENTS for PHASE IV-B and FUTURE PHASES
PER 2002 PPHP MASTER PLAN AND PROPOSED REVISIONS



VIEW OF COMMUNITY ASSEMBLY PAVILION (and URBAN BOOK)



New turf areas in front of stage

IMPROVEMENTS for PHASE IV-B and FUTURE PHASES
PER 2002 PPHP MASTER PLAN AND PROPOSED REVISIONS



VIEW TOWARDS PERALTA HOUSE & CREEK FROM COMMUNITY ASSEMBLY PAVILION

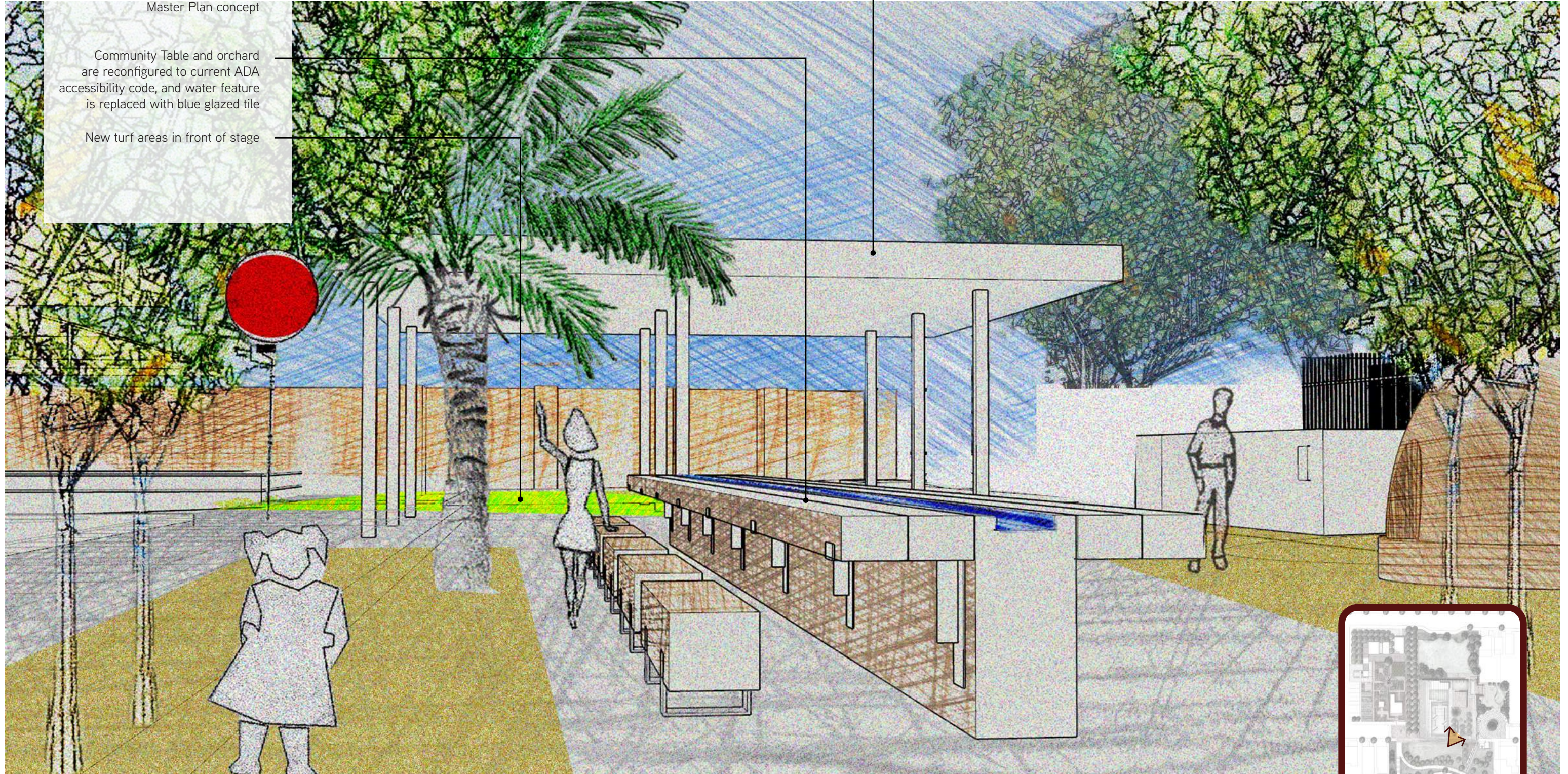


REVISIONS
TO MASTER PLAN

1821 Adobe Pavilion materials and size are adapted to PPHP program requirements; character and function of pavilion remains consistent to Master Plan concept

Community Table and orchard are reconfigured to current ADA accessibility code, and water feature is replaced with blue glazed tile

New turf areas in front of stage



CHARACTER VIEWS 3+4

IMPROVEMENTS for PHASE IV-B and FUTURE PHASES
PER 2002 PPHP MASTER PLAN AND PROPOSED REVISIONS

VIEW TOWARDS 1821 PAVILLION; COMMUNITY TABLE IN FOREGROUND



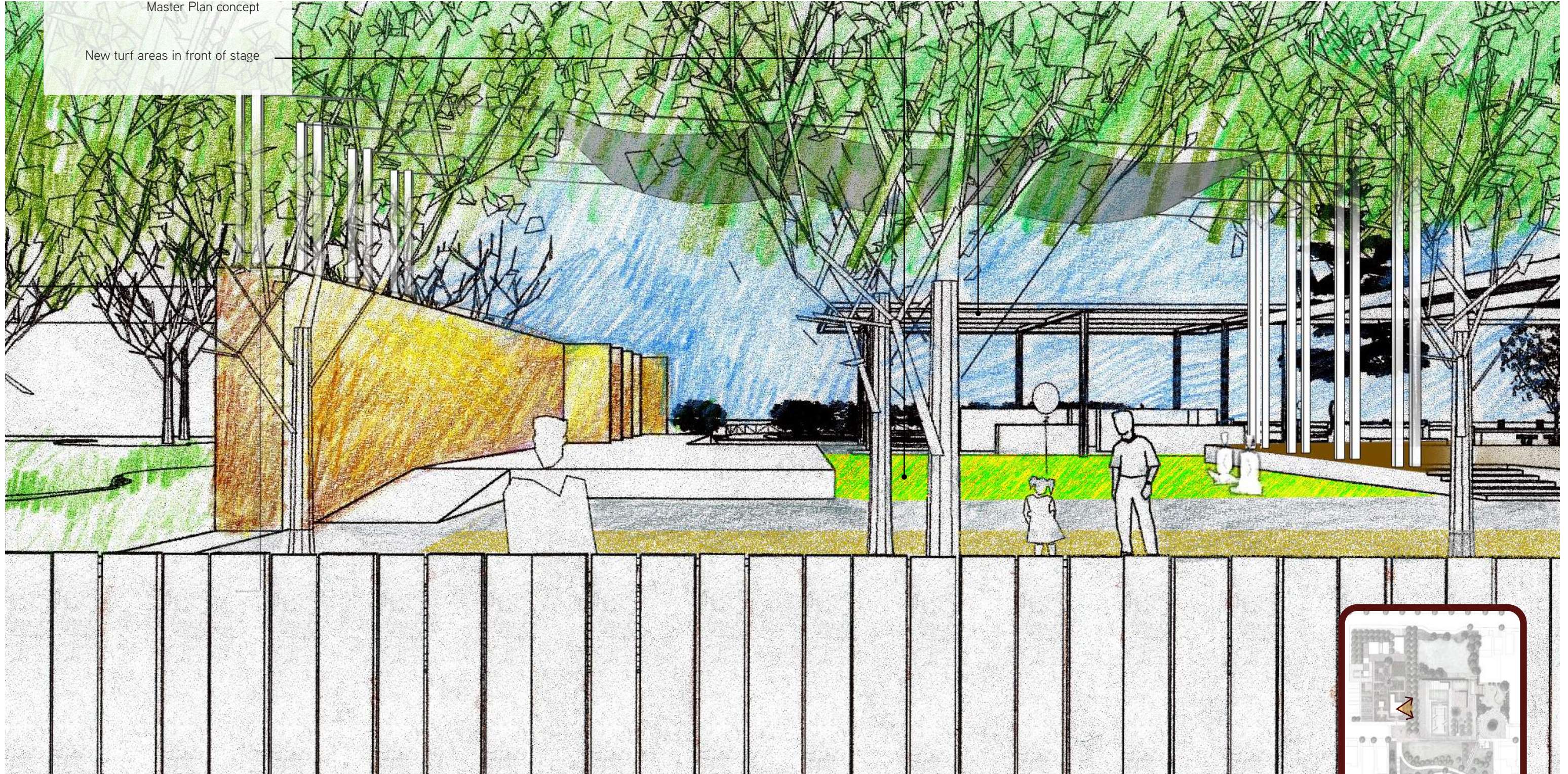
REVISIONS
TO MASTER PLAN

1821 Adobe Pavilion materials and size are adapted to PPHP program requirements; character and function of pavilion remains consistent to Master Plan concept

CHARACTER VIEWS 3+4

IMPROVEMENTS for PHASE IV-B and FUTURE PHASES
PER 2002 PPHP MASTER PLAN AND PROPOSED REVISIONS

New turf areas in front of stage



VIEW OF STAGE AND URBAN BOOK FROM PERALTA HOUSE



PERALTA HACIENDA HISTORICAL PARK
MASTER PLAN REVISION



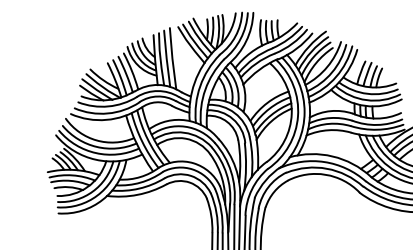


THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AND THE CITY PUBLIC WORKS AGENCY AT LEAST 48 HOURS (2 WORKING DAYS) PRIOR TO BEGINNING ANY EXCAVATION IN THE VICINITY OF UNDERGROUND FACILITIES.

PLANS FOR THE CONSTRUCTION OF PERALTA HACIENDA HISTORICAL PARK PHASE 4B

2465 34TH AVENUE, OAKLAND, CA 94601

FUNDED BY TBD
CITY PROJECT NO. TBD



CITY OF OAKLAND
BUREAU OF DESIGN AND CONSTRUCTION
250 FRANK H. OGAWA PLAZA
SUITE 4314
OAKLAND, CA 94612
(510) 238-3437
FAX (510) 238-7227

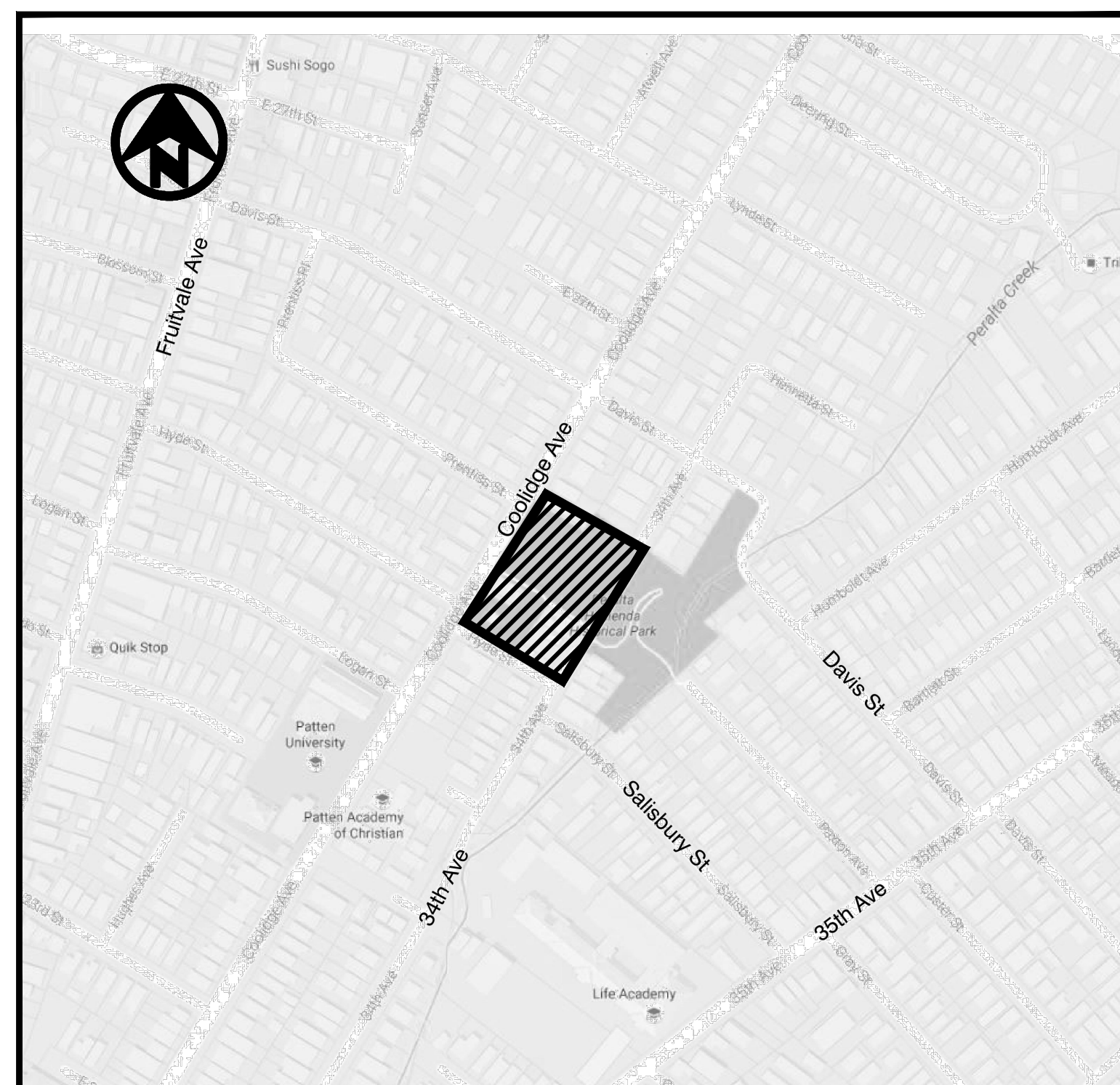
PROJECT TEAM

LANDSCAPE ARCHITECT
HOOD DESIGN STUDIO, INC.
3016 FILBERT ST. #2
OAKLAND, CA 94608
TEL (510) 595-0688
FAX (510) 595-1486
CONTACT: ALMA DU SOLIER
ALMA@HOODDESIGNSTUDIO.COM

ARCHITECT
CAHA DESIGN
478 25TH STREET, SUITE A
OAKLAND, CA 94612
TEL (510) 863-0012
FAX (510) 595-1486
CONTACT: HALLIE CHEN
HALLIE@CAHASTUDIO.COM

SHEET INDEX

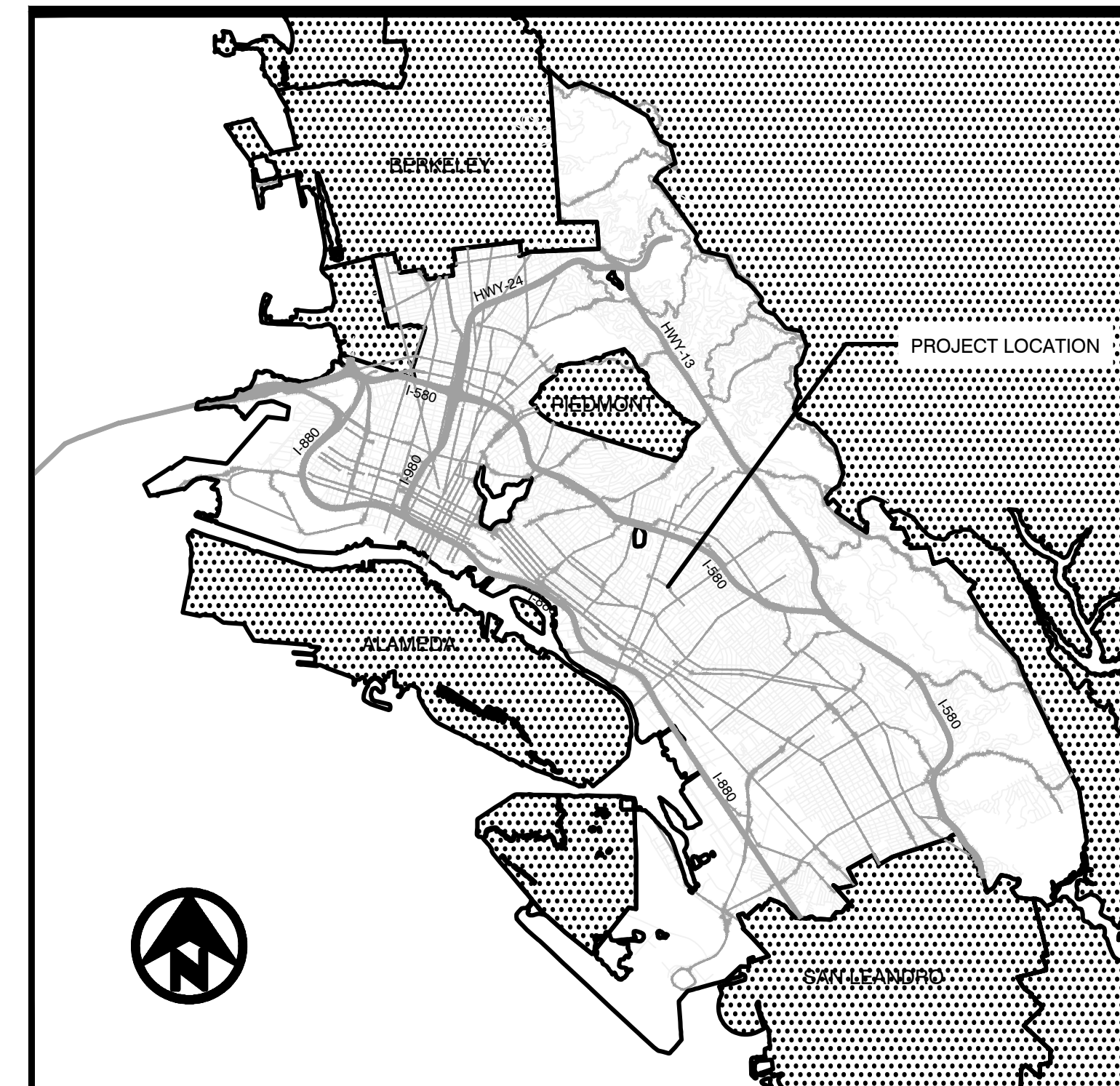
G0.0	COVER SHEET
G0.1A	GENERAL NOTES & LEGEND
G0.1B	GENERAL NOTES & LEGEND
G0.2	CONDITIONS OF APPROVAL
G0.3	CONDITIONS OF APPROVAL
G0.4	POLLUTION PREVENTION PLAN
PARK IMPROVEMENTS	
V0.1	EXISTING CONDITIONS
D1.0	DEMOLITION/SALVAGE PLAN
C0.0	SITE GRADING NOTES
C1.0	GRADING & DRAINAGE PLAN
C2.0	POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN
L0.0	OVERALL IMPROVEMENTS KEY
L0.1	OVERALL SITE PLAN
L0.2	LANDSCAPE SCHEDULES
L1.1	ENLARGEMENT PLAN AREA 1
L1.2	ENLARGEMENT PLAN AREA 2
L1.3	ENLARGEMENT PLAN AREA 3
L1.4	ENLARGEMENT PLAN AREA 4
L1.5	ENLARGEMENT PLAN AREA 5
L8.1	LANDSCAPE DETAILS - PAVING
L8.2	LANDSCAPE DETAILS - FENCING
L8.3	LANDSCAPE DETAILS - FURNISHINGS, COMM. TABLE
L8.4	LANDSCAPE DETAILS - GRILL FEATURE
L8.5	LANDSCAPE DETAILS - RAILING, EDGES
L8.6	LANDSCAPE DETAILS - POTTING SHED
L8.7	LANDSCAPE DETAILS - SHADE STRUCTURE
L9.1	VIEWS
IR1.0	IRRIGATION NOTES
IR1.1	IRRIGATION PLAN
E0.1	ELECTRICAL LEGEND & DETAILS
E1.1	ELECTRICAL PLAN - CONCEPT
P0.1	PLUMBING LEGEND & DETAILS
P1.1	PLUMBING PLAN - CONCEPT
COOLIDGE HOUSE	
A1.0	ARCHITECTURAL SITE PLAN
A1.1	ARCHITECTURAL ELEVATIONS
A3.0	EXISTING & PROPOSED LEVEL 1
A3.1	EXISTING & PROPOSED LEVEL 2
NEW PARK PAVILION	
A4.0	ARCHITECTURAL NOTES
A5.1	FLOOR PLAN
A6.1	REFLECTED CEILING PLAN
A6.2	ROOF PLAN
A7.1	BUILDING SECTIONS
A7.2	EXTERIOR ELEVATIONS



LOCATION MAP

NOT TO SCALE

LIMITS OF WORK



CITY OF OAKLAND MAP

TBD
ASSISTANT DIRECTOR
BUREAU OF ENGINEERING AND CONSTRUCTION

CONSULTANT INFO

CHECKED BY	HOOD DESIGN STUDIO
DESIGNED BY	HOOD DESIGN STUDIO
DRAWN BY	ALMA DU SOLIER

FACILITIES PLANNING AND DEVELOPMENT

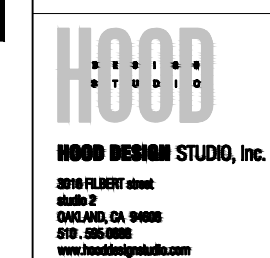
PROJECT MANAGER I

FACILITIES PLANNING AND DEVELOPMENT

CIP COORDINATOR

NOT FOR CONSTRUCTION

DRAWN BY: AD
DESIGNED BY: AD
CHECKED BY:



No.	DATE	ISSUE DESCRIPTION
04/30/2021		SCHEMATIC DESIGN - 30% DWGS

PROJECT INFORMATION

PERALTA HACIENDA HISTORICAL PARK
PHASE 4B
2465 34TH AVENUE, OAKLAND, CA 94601
PROJECT NO. TBD

SHEET NAME

COVERSHEET

SHEET NO.

GO.0

DRAWING NAME: C:\Users\alma\Desktop\2_0855_PHPH\temp_CAD\Sheet_Sht\GO.0.dwg
PLOT DATE: 05-02-21
PLOTTED BY: Alma

GENERAL PROJECT DESCRIPTION

THE PERALTA HACIENDA HISTORICAL PARK PHASE 4B PROJECT REPRESENTS THE FIFTH INSTALLMENT OF IMPROVEMENTS TO THE SIX-ACRE PARK LOCATED ON 2465 34TH AVENUE, IN THE FRUITVALE AREA OF OAKLAND, CA, KNOWN AS THE PERALTA HACIENDA HISTORICAL PARK (PHHP). THIS PROJECT IS DEVELOPED IN A PARTNERSHIP BETWEEN THE CITY OF OAKLAND AND THE FRIENDS OF PERALTA HACIENDA HISTORICAL PARK (THE FRIENDS), A NONPROFIT ORGANIZATION WHICH OPERATES THE MUSEUM AND HISTORIC SITE. THE CURRENT SET OF DRAWINGS ILLUSTRATE IMPROVEMENTS FOR PHASE 4B. THESE IMPROVEMENTS ARE LISTED IN SHEET L.O.O.

IF QUESTIONS ARISE ABOUT TASKS OR ACTIVITIES INDICATED IN THESE DRAWINGS, COORDINATE WITH THE CITY, PRIOR TO BEGINNING THOSE TASKS.

CITY TO PROVIDE HISTORICAL ARCHAEOLOGIST TO MONITOR CONSTRUCTION ACTIVITIES AS REQUIRED BY THE PROJECT'S CONDITIONS OF APPROVAL. REFER TO CONDITIONS OF APPROVAL SHEETS GO.2 AND GO.3.

IF ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER EXCAVATION, EARTHWORK WITHIN 100 FEET OF THESE SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS A MEMBER OF THE REGISTER OF PROFESSIONAL HISTORICAL ARCHAEOLOGISTS HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES.

OBTAIN COPY AND READ THE HISTORICAL ARCHAEOLOGY REPORT OF THE PERALTA HACIENDA HISTORICAL PARK (CASE: PLN.17062) ALSO KNOWN AS "PROJECT CONDITIONS OF APPROVAL", ORIGINALLY PREPARED BY DR. JULIA G. COSTELLO AND CHARLENE DUVAL. COPY INCLUDED ON SHEETS GO.3 & GO.4 AND ON FILE WITH THE CITY.

PROJECT ITEMS

GRANT SCOPE ITEMS

- 01 CONSTRUCT NEW COMMUNITY ASSEMBLY STRUCTURE (RECREATIONAL FEATURE) -- INCLUDES FENCE AROUND HISTORIC CORE, LIGHTING, SECURITY, STORAGE, AND ART PANELS
- 02 RENOVATE COOLIDGE HOUSE INTO NEW YOUTH ACTIVITY CENTER -- INCLUDES SNACK SHACK AND STORAGE SHED
- 03 CONSTRUCT NEW FOOD EVENT AREA WITH WATER FEATURE, BANQUET TABLE, AND FRUIT TREES
- 04 CONSTRUCT NEW PLANTING AND INFRASTRUCTURE AT YOUTH MULTIUSE FIELD -- INCLUDES LIGHTING AND BENCHES, FENCE ALONG COOLIDGE AVENUE, INSTALL BORDER AROUND AND REFURBISH NATIVE PLANT GARDEN
- 05 CONSTRUCT NEW LIGHTING THROUGHOUT THE PARK

FUTURE SCOPE ITEMS

- 06 CONSTRUCT (3) NEW GARDENS: A) ETHNO-BOTANICAL GARDEN, B) COMMUNITY GARDEN, C) BUTTERFLY GARDEN -- INCLUDES PAVING ASSOCIATED WITH GARDENS
- 07 CONSTRUCT NEW PUBLIC ART: A) NICHES IN ALCOVES ALONG ADOBE WALL, B) AT ADA RMP DOWN TO CREEK, C) ALONG ALLEE [PERALTA HOUSE GATEWAY]
- 08 CONSTRUCT NEW AUDIENCE SHADE STRUCTURE
- 09 CONSTRUCT NEW POTTING SHED
- 10 RENOVATE STAGE
- 11 CONSTRUCT NEW RESTROOM
- 12 PLAYGROUND IMPROVEMENTS INCLUDES ART WALL AND EXPANDING EXISTING PLAY EQUIPMENT
- 13 ENHANCE CUL-DE-SAC PAVING FOR A PARK GATEWAY

GENERAL PROJECT NOTES

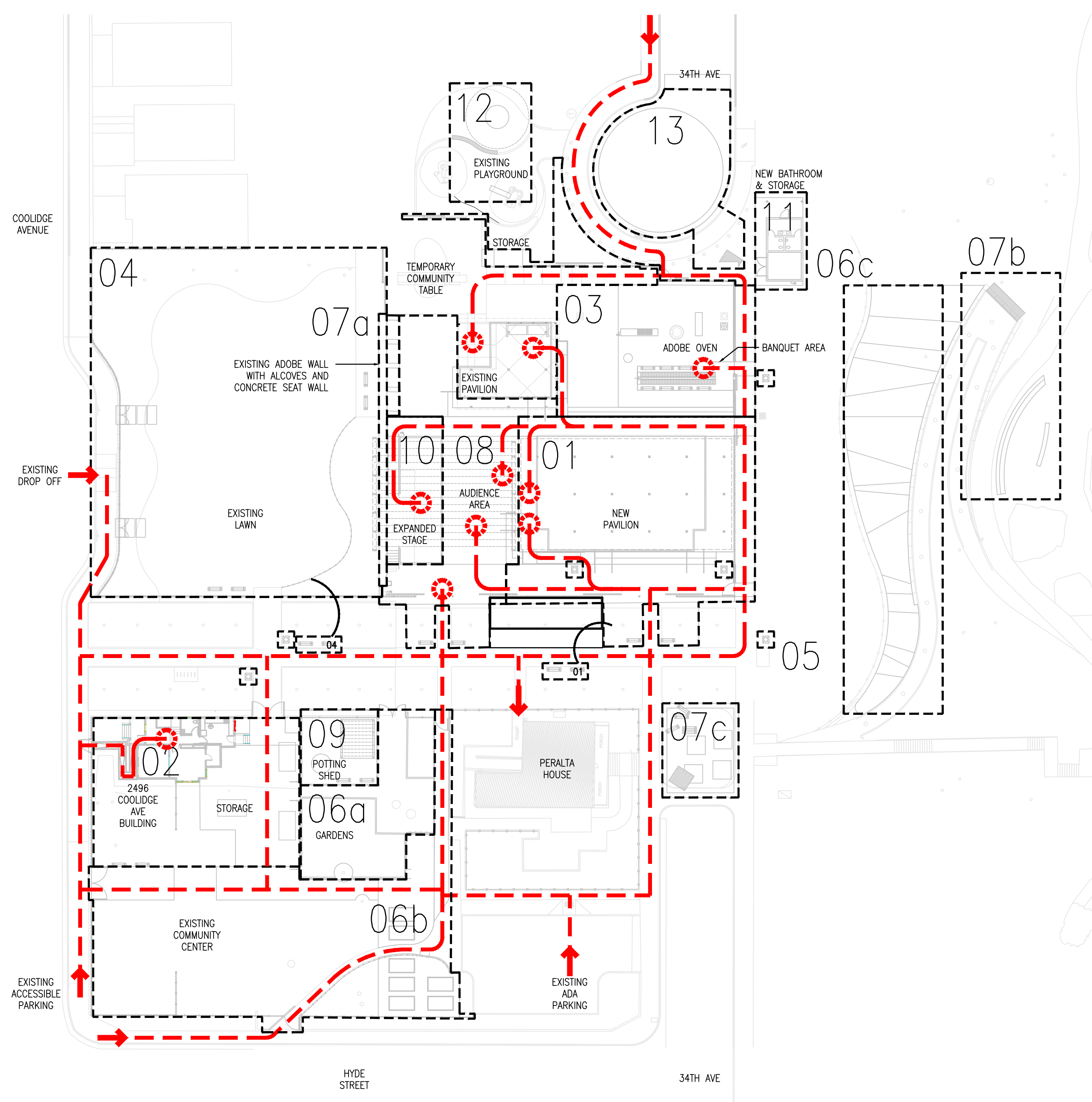
1. VERIFY PROPERTY BOUNDARIES AND LOT LINES PRIOR TO COMMENCEMENT OF WORK.
2. "TYP." OR TYPICAL SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY NOTED "TYP." ONLY ONCE WHEN THEY FIRST OCCUR.
3. NOTES AND SYMBOLS ON ONE DRAWING APPLY TO OTHER SIMILAR DETAILS AND CONDITIONS.
4. BECOME ACQUAINTED WITH UNDERGROUND UTILITIES, PIPES AND STRUCTURES. SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY CITY. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR DAMAGE ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT SHOWN ON PLANS.
5. COORDINATE WITH SUBCONTRACTORS AS REQUIRED.
6. REPLACE EXISTING MATERIALS DAMAGED DURING CONSTRUCTION.
7. QUANTITIES PROVIDED ARE FOR INFORMATION ONLY, VERIFY QUANTITIES AND NOTIFY CITY OF DISCREPANCIES.
8. WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES INCLUDING THE CURRENT CALIFORNIA BUILDING CODE, THE 2013 CALIFORNIA HISTORICAL BUILDING CODE, AND THE CURRENT EDITION OF THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES, WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING AND RECONSTRUCTING HISTORIC BUILDINGS, NATIONAL PARK SERVICE.
9. APPROPRIATE CONNECTIONS TO UTILITIES REQUIRED TO SUPPORT THE WORK ARE TO BE COMPLETED.
10. KEEP THE STAMPED SET OF PLANS AND SPECIFICATIONS, ARCHAEOLOGY REPORT, GEOTECH REPORT, AND STORM WATER POLLUTION

PREVENTION PLAN (IF REQUIRED TO COMPLETE) ON THE JOB SITE AND AVAILABLE TO AUTHORIZED REPRESENTATIVES OF THE CITY OF OAKLAND. THERE SHALL BE NO DEVIATIONS FROM THE STAMPED PLANS AND SPECIFICATIONS WITHOUT APPROVAL IN WRITING BY THE CITY.

11. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATION OF THE WORK.
12. VERIFY DIMENSIONS AND EXISTING CONDITIONS ON THE DRAWINGS AND NOTIFY CITY OF DISCREPANCIES PRIOR TO STARTING WORK.
13. WHERE PUBLIC UTILITY LINES OR EQUIPMENT MUST BE REMOVED OR RELOCATED, OBTAIN THE NECESSARY APPROVALS FROM THE APPROPRIATE UTILITY DEPARTMENT PRIOR TO STARTING WORK.
14. PROTECT THE ADJACENT PROPERTIES, INCLUDING BUT NOT LIMITED TO POLLUTION, TRASH, OR DAMAGES DUE TO DEMOLITION, EXCAVATION, CONSTRUCTION EROSION, OR FLOODING ORIGINATING ON THIS SITE.
15. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT OR WHERE THERE APPEARS TO BE A DISCREPANCY BETWEEN THE DRAWINGS AND FIELD CONDITIONS, NOTIFY THE CITY AS SOON AS POSSIBLE FOR PROCEDURE TO BE FOLLOWED. IF THE CONTRACTOR PROCEEDS WITHOUT INSTRUCTIONS FROM THE CITY, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECTS.
16. CAREFULLY EXAMINE THE CONDITIONS AFFECTING THE WORK BEFORE PROCEEDING, AND REPORT TO THE CITY CONDITION WHICH WOULD PREVENT THE PROPER AND LEGAL COMPLETION OF THE WORK. NOT REPORTING SUCH UNSUITABLE CONDITIONS WILL CONSTITUTE ACCEPTANCE BY THE CONTRACTOR.
17. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE CITY.
18. THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING

SAFETY OF PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONTRACTOR FURTHER AGREES, LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXEMPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF LANDSCAPE ARCHITECT AND CITY.

19. PROVIDE FOR INGRESS AND EGRESS FOR PRIVATE PROPERTY ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.
20. AT NO TIME SHALL CAMPERS, TRAILERS, MOTOR HOMES, OR ANY OTHER VEHICLE BE USED AS LIVING OR SLEEPING QUARTERS ON THE CONSTRUCTION SITE. OBTAIN APPROVAL FROM THE CITY OF OAKLAND FOR LOCATION OF STORAGE CONTAINER & EQUIPMENT.
21. PRIOR TO BIDDING, VISIT AND INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AFFECTING THE NEW WORK. THE CONTRACTORS SHALL NOT DISPUTE, COMPLAIN, OR ASSERT THAT THERE IS MISUNDERSTANDING IN REGARDS TO LOCATION, EXTENT, OR AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT DUE TO THE CONTRACTOR'S FAILURE TO INSPECT THE SITE.
22. CONTACT THE CITY OF OAKLAND TO ARRANGE FOR A REQUIRED PRE-CONSTRUCTION CONFERENCE PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR WILL COMPLY WITH CITY OF OAKLAND POLLUTION CONTROL ORDINANCES INCLUDING WATERSHED IMPROVEMENT PROGRAM AS WELL AS COMPLYING WITH STATE WATER RESOURCES CONTROL BOARD (SWRCB) REGULATIONS AND COMPLETING STORM WATER POLLUTION PREVENTION PLAN.
24. PROJECT IDENTIFICATION SIGN AND FUNDER'S SIGN TO BE LOCATED IN LOCATION DETERMINED BY CITY.



1 ACCESSIBLE PATHWAY
SCALE: NTS

- LIMIT OF WORK
- - - ACCESSIBLE PATHWAY
- 66" TURNING RADIUS
- ↑ ACCESSIBLE POINT OF ENTRY OR CURB RAMP

GENERAL SYMBOLS & ABBREVIATIONS

- 1 L7.1 DETAIL IDENTIFICATION NO.
- 1 L7.2 DRAWING NO. WHERE DETAIL OR SECTION IS LOCATED
- ⊕ CENTERLINE
- LIMIT OF WORK
- 2 KEY NOTE CALLOUT
- EQ. EQUAL
- O.C. ON CENTER
- N.I.C. NOT IN CONTRACT
- VIF VERIFY IN FIELD
- NUMBER NO.
- TYP. TYPICAL
- SAD SEE ARCHITECTURAL DRAWINGS
- SCD SEE CIVIL DRAWINGS



FACILITIES PLANNING AND DEVELOPMENT

PROJECT MANAGER I

FACILITIES PLANNING AND DEVELOPMENT

CIP COORDINATOR

NOT FOR CONSTRUCTION

DRAWN BY: AD
DESIGNED BY: AD
CHECKED BY:



No.	DATE	ISSUE DESCRIPTION
04/30/2021		SCHEMATIC DESIGN - 30% DWGS

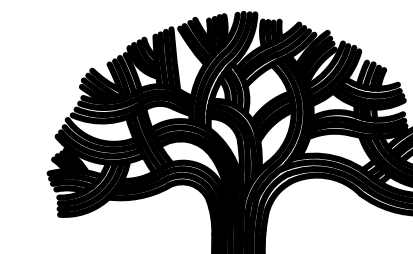
PROJECT INFORMATION

PERALTA HACIENDA HISTORICAL PARK
PHASE 4B
2465 34TH AVENUE, OAKLAND, CA 94601
PROJECT NO. TBD

SHEET NAME
GENERAL NOTES & LEGEND

SHEET NO. **GO.1A**

DRAWING MADE FROM DATA PROVIDED BY THE CITY OF OAKLAND



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FACILITIES PLANNING AND
 DEVELOPMENT

PROJECT MANAGER I

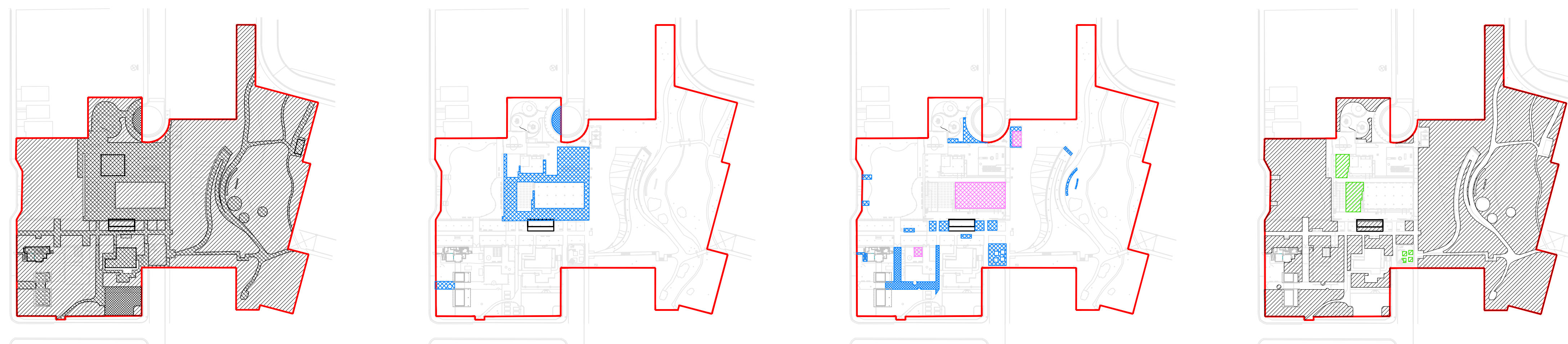
FACILITIES PLANNING AND
 DEVELOPMENT

CIP COORDINATOR

**NOT FOR
 CONSTRUCTION**

LEGEND

- NEW PERVIOUS AREAS
- NEW AND REPLACED IMPERVIOUS AREAS
- NEW ROOF AREAS
- PERVIOUS AREAS
- IMPERVIOUS AREAS



PRE-PROJECT AREAS

ROOF	5,851
PAVED AREAS	43,151
UNCOVERED PARKING	3,311
STREETS (PUBLIC)	0
STREETS (PRIVATE)	662

TOTAL PRE-PROJECT IMPERVIOUS	52,975 SF
TOTAL PRE-PROJECT PERVIOUS	130,657 SF

TOTAL PROJECT AREA	183,632 SF
	4.22 ACRES

IMPERVIOUS AREAS TO BE REPLACED

ROOF	0
PAVED AREAS	11,198
UNCOVERED PARKING	0
STREETS (PUBLIC)	0
STREETS (PRIVATE)	662

TOTAL	11,860 SF
-------	-----------

IMPERVIOUS AREAS NEW

ROOF	5,104
PAVED AREAS	6,859
UNCOVERED PARKING	0
STREETS (PUBLIC)	0
STREETS (PRIVATE)	0

TOTAL	11,963 SF
-------	-----------

POST-PROJECT PERVIOUS AREAS

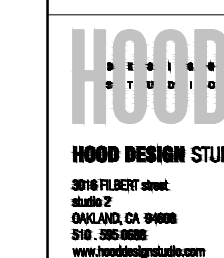
TOTAL PRE-PROJECT	130,657 SF
PRESERVED + REPLACED	118,573 SF
NEW	2,914 SF

TOTAL	121,487 SF
-------	------------

TOTAL IMPERVIOUS NEW+REPLACED 23,823 SF

TOTAL PRE-PROJECT IMPERVIOUS 52,975 SF
 PERCENT COMPARED NEW+REPLACED TO PRE-PROJECT 45%

DRAWN BY: AD
 DESIGNED BY: AD
 CHECKED BY:



No.	DATE	ISSUE DESCRIPTION
04/30/2021		SCHEMATIC DESIGN - 30% DWGS

PROJECT INFORMATION

PERALTA HACIENDA HISTORICAL PARK
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 PROJECT NO. TBD

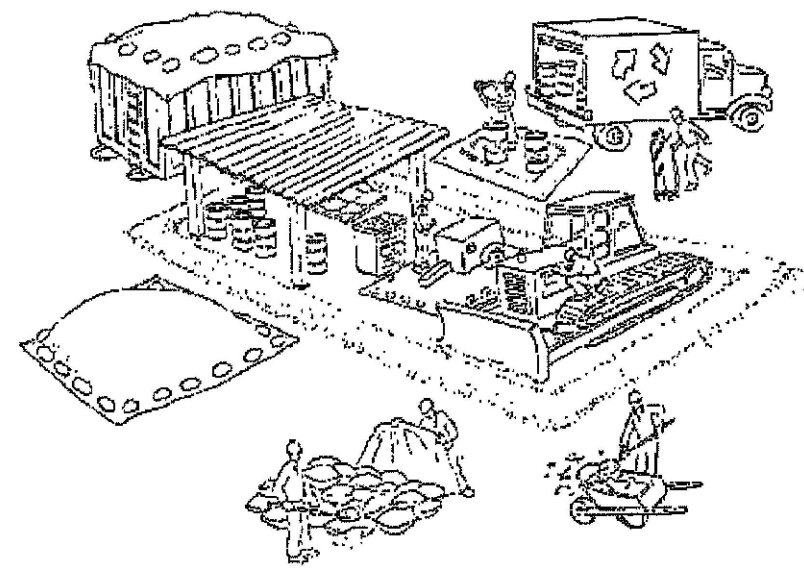
SHEET NAME
GENERAL NOTES & LEGEND

SHEET NO.
GO.1B

1 PERVIOUS AND IMPERVIOUS ANALYSIS
 SCALE: NTS

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 04/30/21
 AD
 AD
 AD

Pollution Prevention - It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with City of Oakland requirements.

Materials storage & spill cleanup

Non-hazardous materials management

- ✔ Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✔ Use (but don't overuse) reclaimed water for dust control as needed.
- ✔ Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water.
- ✔ Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with City of Oakland Ordinances for recycling construction materials, wood, gyp board, pipe, etc.
- ✔ Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly.
- ✔ Cover all dumpsters with a tarp at the end of every work day or during wet weather.

Hazardous materials management

- ✔ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.
- ✔ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
- ✔ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
- ✔ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✔ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✔ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain.
- ✔ Never wash spilled material into a gutter, street, storm drain, or creek.
- ✔ Dispose of all containment and cleanup materials properly.
- ✔ Report any hazardous materials spills immediately! Dial 911 or City of Oakland, Public Works Agency hotline at (510) 615-5566.

Construction Entrances and Perimeter

- ✔ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ✔ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

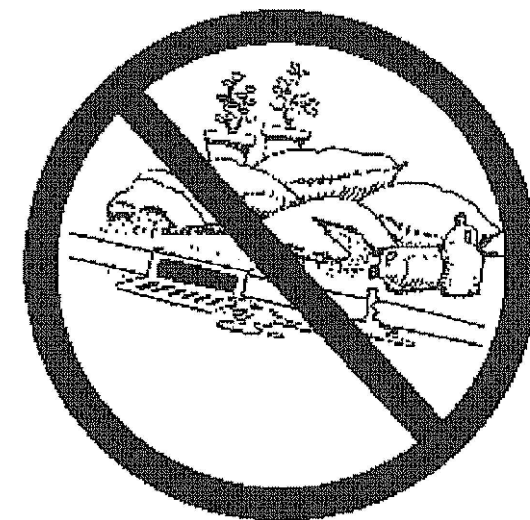
Vehicle and equipment maintenance & cleaning

- ✔ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✔ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✔ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- ✔ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Earthwork & contaminated soils

- ✔ Keep excavated soil on the site where it will not collect in the street.
- ✔ Transfer to dump trucks should take place on the site, not in the street.
- ✔ Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.

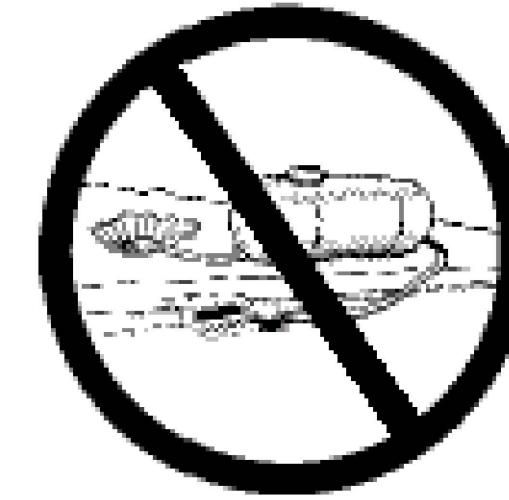


- ✔ Earth moving activities shall be approved by the City Resident Engineer in the Field.
- ✔ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✔ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.

- ✔ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of contaminated soil according to their instructions.

Dewatering operations

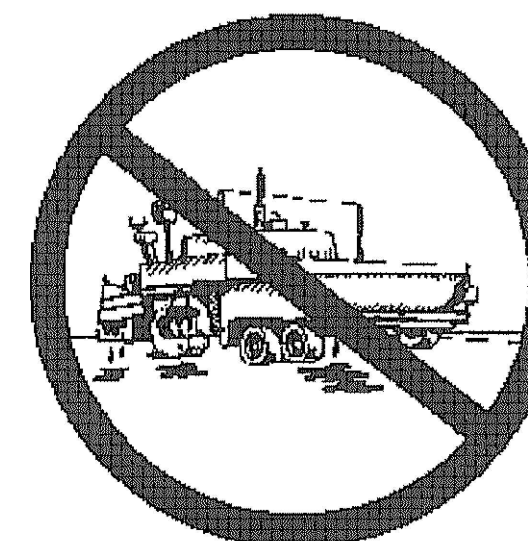
- ✔ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.
- ✔ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✔ Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✔ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✔ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- ✔ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✔ If saw cut slurry enters a catch basin, clean it up immediately.

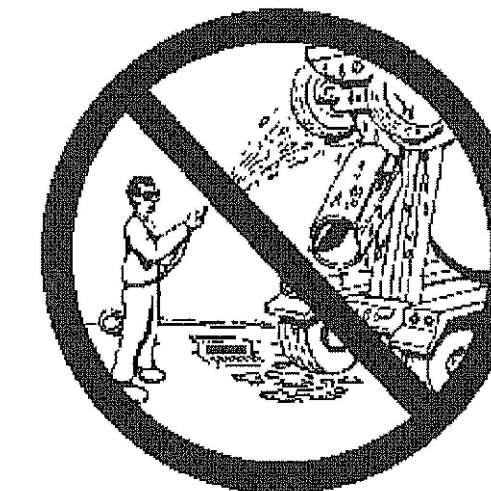
Paving/asphalt work



- ✔ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✔ Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- ✔ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✔ Do not use water to wash down fresh asphalt concrete pavement.

Concrete, grout, and mortar storage & waste disposal

- ✔ Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.
- ✔ Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.
- ✔ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.



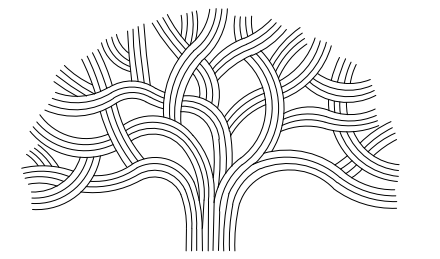
Painting

- ✔ Never rinse paint brushes or materials in a gutter or street!
- ✔ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.
- ✔ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✔ Filter paint thinners and solvents for reuse whenever possible.
- ✔ Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Landscape Materials

- ✔ Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✔ Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.



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PROJECT MANAGEMENT

SUPERVISING CIVIL ENGINEER
PROJECT MANAGEMENT

CIP COORDINATOR

**NOT FOR
CONSTRUCTION**

DRAWN BY: AD
DESIGNED BY: AD
CHECKED BY:



HOOD DESIGN STUDIO, Inc.
2000 17th Ave
Oakland, CA 94612
510.434.1100
www.hooddesignstudio.com

No.	DATE	ISSUE DESCRIPTION
	04/30/2021	SCHEMATIC DESIGN - 30% DWGS

PROJECT INFORMATION

PERALTA HACIENDA HISTORICAL PARK
PHASE 4B
2465 34TH AVENUE, OAKLAND, CA 94601
PROJECT NO. TBD

SHEET NAME

POLLUTION PREVENTION PLAN

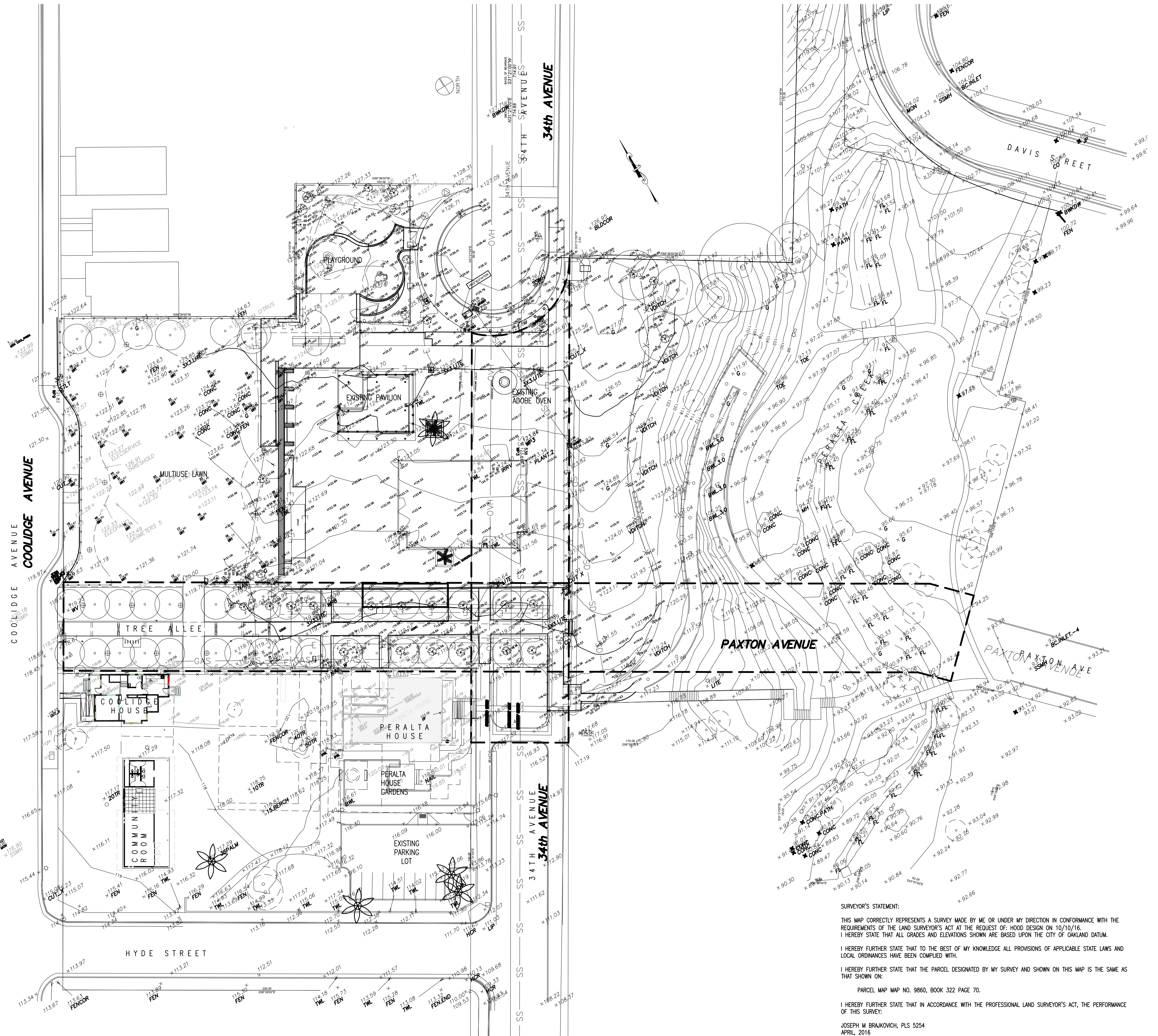
SHEET NO.

GO.4

Storm drain polluters may be liable for fines of \$10,000 or more per day!

LEGEND

- GUY
- ⊕ ELECTROILER
- ⊕ FIRE HYDRANT
- ⊕ GAS VALVE
- ⊕ POWER POLE
- ⊕ SANITARY SEWER CLEAN OUT
- ⊕ SANITARY SEWER MANHOLE
- ⊕ SIGN
- ⊕ STORM DRAIN MANHOLE
- ⊕ TELEPHONE MANHOLE
- ⊕ TRAFFIC SIGNAL
- ⊕ WATER VALVE
- ⊕ UTILITY PULL BOX
- ⊕ UTILITY VAULT
- ⊕ CATCHBASIN/AREA DRAIN
- ⊕ SURVEY CONTROL POINT
- ⊕ SAMPLE LOCATION
- SURVEY MONUMENT
- SD STORM DRAIN LINE
- SS SANITARY SEWER LINE
- COM COMMUNICATIONS LINE
- W WATER LINE
- PLAQUE
- SH SPRINKLER HEAD
- AD AREA DRAIN
- BC BUILDING CORNER
- BL BUILDING LINE
- BW BOTTOM OF WALL
- CB CATCH BASIN
- C CONCRETE
- COM COMMUNICATION UTILITY
- DWY DRIVE WAY
- E- ELECTRIC BOX
- EC EDGE OF CONCRETE
- ENT ENTRANCE
- FCYC CYCLONE FENCE
- FL FLOW LINE
- G GROUND
- GM GAS METER
- GR GRATE
- HC HANDICAP RAMP
- IRR IRRIGATION BOX
- IRR-V IRRIGATION VALVE
- IC INTERCONNECT BOX
- LIP LIP OF CUTTER
- MH MANHOLE
- P PAVEMENT
- PL PLANTER
- TEL TELEPHONE BOX
- TC TOP OF CURB
- TCR TOP OF ROLLED CURB
- TV- TV BOX
- TW TOP OF WALL
- UBX UTILITY BOX
- MH UTILITY MANHOLE
- WM WATER METER



SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AT THE REQUEST OF: HOOD DESIGN ON 10/10/16. I HEREBY STATE THAT ALL GRADES AND ELEVATIONS SHOWN ARE BASED UPON THE CITY OF OAKLAND DATUM.

I HEREBY FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

I HEREBY FURTHER STATE THAT THE PARCEL DESIGNATED BY MY SURVEY AND SHOWN ON THIS MAP IS THE SAME AS THAT SHOWN ON:

PARCEL MAP NO. 9860, BOOK 322 PAGE 70.

I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE PROFESSIONAL LAND SURVEYOR'S ACT, THE PERFORMANCE OF THIS SURVEY:

JOSEPH M BRAJKOVICH, PLS 5254
APRIL, 2016

LEGEND

NOTES

SURVEY NOTES:

HORIZONTAL COORDINATE VALUES ARE BASED ON - CALIFORNIA COORDINATE SYSTEM, NAD83, ZONE 3.
VERTICAL ELEVATIONS, GRADES, AND CONTOURS ARE BASED ON - CITY OF OAKLAND DATUM.

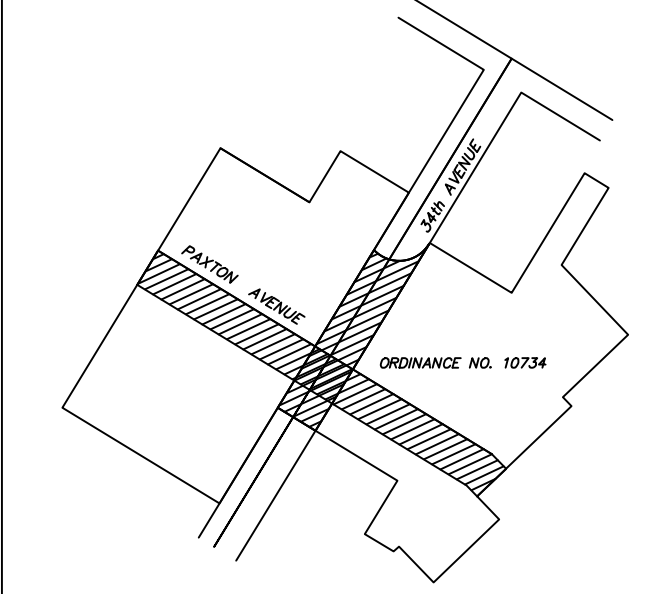
BASIS OF BEARINGS FOR BOUNDARY CALCULATION - A LINE BETWEEN THE MONUMENT AT 34TH AVENUE AND DAVIS STREET, AND THE MONUMENT AT 34TH AVENUE AND SAUSURRY STREET. TAKEN AS: N33°21'00"E, 714.91 FEET PER PARCEL MAP NO. 9860 BK 322 PG 70.

THE CLOSEST FIRE HYDRANT IS LOCATED ON THE SOUTHERLY SIDE OF PAXTON STREET. A SECOND FIRE HYDRANT EXISTS ON THE WESTERLY SIDE OF COOLIDGE AVENUE, JUST NORTHERLY OF PAXTON ST.

THE LOCATION OF UTILITIES SHOWN SHALL BE VERIFIED BY THE CONTRACTOR/OWNER PRIOR TO ANY CONSTRUCTION.
CALL USA @ 1-800-227-2600 PRIOR TO ANY WORK.

ORDINANCE NO. 10734 MAINTAINS 34TH AVENUE AND PAXTON AVENUE FULL WIDTH OF THE RIGHT OF WAY AS A "...PERMANENT EASEMENT AND RIGHT AT ANY TIME... TO CONSTRUCT, MAINTAIN, OPERATE, REPLACE, REMOVE, RENEW AND ENLARGE..." UTILITIES. "...TO KEEP CLEAR THE EASEMENT PROPERTY FREE OF BUILDING AND OTHER STRUCTURES AND INFLAMMABLE MATERIALS, AND WOOD GROWTH, AND OTHERWISE PROTECT THE SAME FROM ALL HAZARDS..."

SEE ORDINANCE 10734 FOR COMPLETE TEXT.



PUBLIC ADVISORY:

THIS MAP IS BASED ON PRIVATE SURVEYS PERFORMED BY LICENSED PROFESSIONALS AND WILL NOT BE UPDATED OR CORRECTED BY THE CITY OF OAKLAND AFTER ITS FILING. NO WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE BY THE CITY OF OAKLAND THAT THIS MAP AND THE SURVEY INFORMATION ON WHICH IT IS BASED IS CORRECT, ACCURATE, OR CURRENT. NOR THAT THE CITY WILL RETAIN FOR PUBLIC INSPECTION ANY RELATED INFORMATION WHICH MAY BE SUBSEQUENTLY SUBMITTED TO THE CITY, INCLUDING ALLEGED OR ACTUAL DISCREPANCIES, INACCURACIES, DEFICIENCIES, AND ERRORS.



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NOT FOR CONSTRUCTION

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DESIGNED BY: AD
CHECKED BY:



No.	DATE	ISSUE DESCRIPTION
	04/30/2021	SCHEMATIC DESIGN - 30% DWGS

PROJECT INFORMATION

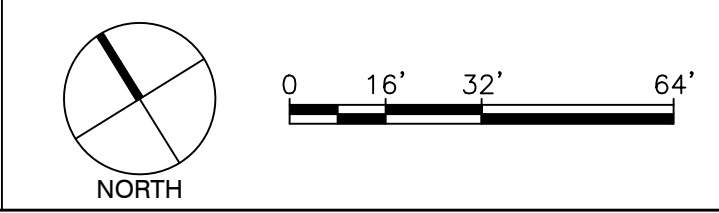
PERALTA HACIENDA HISTORICAL PARK
PHASE 4B
2465 34TH AVENUE, OAKLAND, CA 94601
PROJECT NO. TBD

SHEET NAME

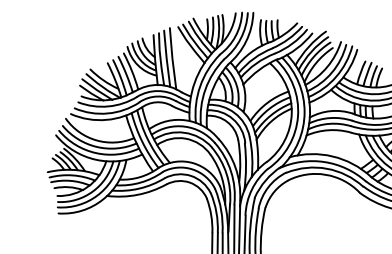
EXISTING CONDITIONS PLAN

SHEET NO.

V0.1



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PLOT DATE: 05-02-21
PLOTTED BY: Almo



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LEGEND

DEMOLITION LEGEND

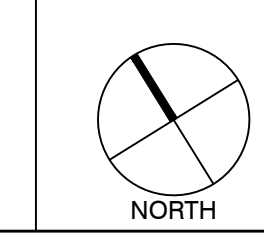
- D01 DEMOLISH CONCRETE PLANTER CURB
- D02 DEMOLISH EXISTING SIDEWALK;
EXTENTS OF DEMOLITION PER GRADING PLAN
- D03 SELECTIVE DEMOLITION OF EXISTING CONCRETE PLATFORM STAGE;
ADJUST TO CONFORM WITH NEW STAGE DIMENSIONS
- D04 REMOVE EXISTING PALM TREE
- D05 DEMOLISH EXISTING TEMPORARY STORAGE FACILITIES AND GARDEN
FENCES; CONSULT WITH FRIENDS OF PERALTA HACIENDA HISTORICAL
PARK FOR DISPOSAL
- D06 TRANSPLANT TREE TO NEW LOCATION PER PLANS; CONSULT WITH
FRIENDS OF PERALTA HACIENDA HISTORICAL PARK FOR TRANSPLANTING
PROCEDURES.

NOTES

1. PRESERVE ALL ELEMENTS AND PARK FEATURES NOT INDICATED
FOR DEMOLITION.
2. REFER TO CONDITIONS OF APPROVAL SHEETS FOR GUIDELINES
AND REQUIREMENTS REGARDING SITE PRESERVATION OF CULTURAL
RESOURCES AND REQUIRED MONITORING.

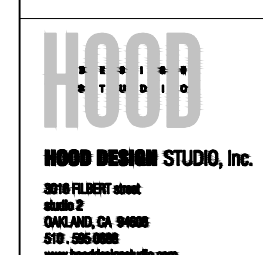
GENERAL KEY

EXISTING ELEMENTS



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CONSTRUCTION**

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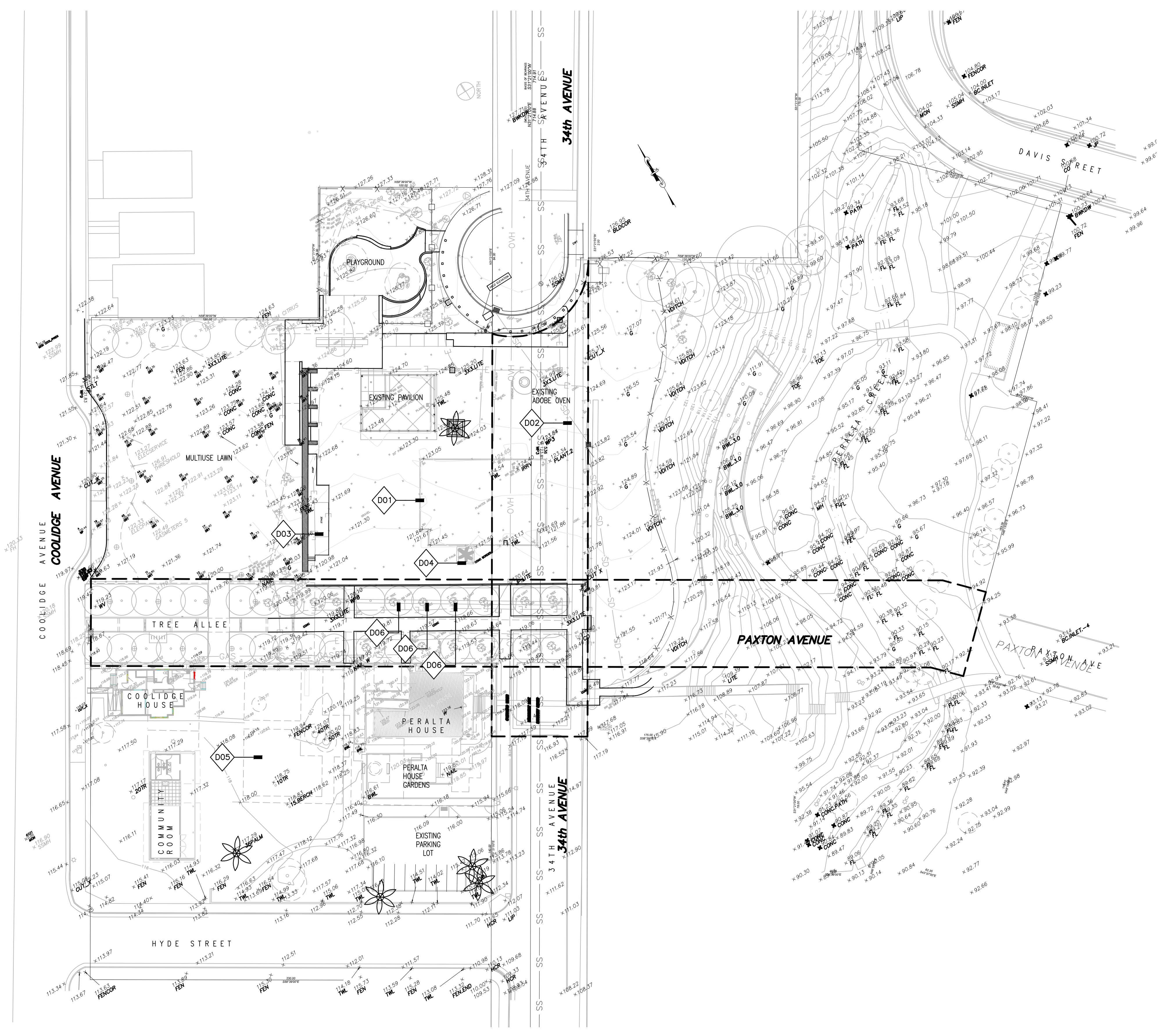
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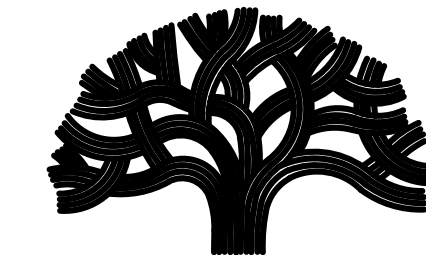
SHEET NAME
DEMOLITION PLAN

SHEET NO.
D0.1



01 PERALTA HACIENDA HISTORICAL PARK – DEMOLITION PLAN
 SCALE: 1/32"=1'-0"

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 PLOT DATE: 05-02-21
 PLOTTED BY: Almo



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FACILITIES PLANNING AND
 DEVELOPMENT

PROJECT MANAGER I

FACILITIES PLANNING AND
 DEVELOPMENT

CIP COORDINATOR

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 CONSTRUCTION**

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No.	DATE	ISSUE DESCRIPTION
	04/30/2021	SCHEMATIC DESIGN - 30% DWGS

PROJECT INFORMATION
 PERALTA HACIENDA HISTORICAL PARK
 PHASE 4B
 2465 34TH AVENUE, OAKLAND, CA 94601
 PROJECT NO. TBD

SHEET NAME
CIVIL AND GRADING NOTES

SHEET NO.
CO.0

GENERAL CIVIL NOTES

CIVIL NOTES

1. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS SHOWN ON PLAN.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR WORKING AROUND AND PROTECTING ALL EXISTING FACILITIES ADJACENT TO WORK AREA. THESE FACILITIES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: EXISTING TO BE RETAINED TREES, LANDSCAPING, AND UTILITIES. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY AND ALL EXISTING FACILITIES, ITEMS, AND/OR ADJACENT PROPERTIES THAT ARE DISTURBED OR DAMAGE AS A RESULT OF CONSTRUCTION ACTIVITIES TO A CONDITION EQUAL OR BETTER THAN ORIGINAL CONDITION AT NO ADDITIONAL COST TO OWNER.
3. CONSTRUCTION SHALL BE IN CONFORMANCE WITH SPECIFIED REFERENCES AND STANDARDS WHEN NOTED ON DRAWINGS AND SPECIFICATIONS. THE 2018 EDITION, OR LATEST, OF THE CALTRANS STANDARD PLANS AND CALTRANS STANDARD SPECIFICATIONS SHALL BE USED FOR THIS PROJECT UNLESS NOTED OTHERWISE ON THE PLANS.
4. PROTECT EXISTING UTILITIES WITHIN THE WORK AREA DURING CONSTRUCTION. WHERE UTILITIES ARE ENCOUNTERED OR ARE IN CONFLICT WITH WORK, CONTACT UTILITY OWNER.

UTILITIES NOTES

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION.
2. EXISTING UTILITIES SHALL BE PROTECTED IN PLACE, UNLESS OTHERWISE NOTED ON PLANS.
3. IDENTIFY ALL OVERHEAD POWER LINES AND MAINTAIN SAFE WORKING DISTANCES.
4. CONTRACTOR TO ADJUST EXISTING MANHOLES, UTILITY BOXES, AND THE RIMS OF ALL ABOVE GRADE APPURTENANCES WITHIN THE LIMITS OF WORK AS REQUIRED TO MATCH FINAL GRADE.
5. STORM DRAIN UTILITIES MUST CROSS ABOVE SANITARY UTILITIES MAINTAINING A MINIMUM 1' CLEAR BETWEEN OUTSIDE OF PIPES.
6. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT 1-800-227-2660 AT LEAST 24-HOURS BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
7. UTILITIES SHALL ABIDE BY THE CLEARANCES OUTLINED IN TABLE 5.

GRADING NOTES

1. CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
2. THE GEOTECHNICAL ENGINEER SHALL APPROVE ALL MATERIAL TO BE PLACED AS FILL AS WELL AS ANY IMPORTED MATERIALS FOR FILL BEFORE BEING BROUGHT TO THE SITE.
3. ALL SITE EXCAVATION, FILL, COMPACTION, OVER-EXCAVATION, AND MAXIMUM SLOPE INCLINATIONS SHALL COMPLY WITH RECOMMENDATIONS PROVIDED BY THE GEOTECHNICAL ENGINEER.
4. MINIMUM 1 FT SOIL SHALL BE PROVIDED MEASURED FROM TOP OF EXISTING TANK FOOTING TO FINISHED GRADE.
5. ALL EXCESS EARTH MATERIAL SHALL BE DISPOSED BY THE CONTRACTOR AT APPROPRIATE FACILITIES / LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY APPROVALS FOR RELOCATING EXCESS MATERIALS WITHIN OR OUTSIDE OF THE CITY AND/OR COUNTY AS REQUIRED.
6. SURFACES SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES.
7. MAINTAIN EXISTING GRADE AT "EXISTING TREES TO REMAIN". DO NOT DISTURB GRADE WITHIN DRIP LINE OF TREES INDICATED BY "EXISTING PLANT MATERIAL TO REMAIN AND BE PROTECTED" UNLESS OTHERWISE NOTED.
8. IF VISIBLY CONTAMINATED OR CHEMICALLY ODOROUS SOIL IS ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL STOP WORK IN THE AREA AND CONTACT THE CITY INSPECTOR IMMEDIATELY.
9. NO EQUIPMENT, STOCKPILING, OR DEBRIS MAY BE STORED WITHIN TREE ROOT ZONE. REFER TO PROJECT SPECIFICATIONS AND THE SITE PROTECTION AND DEMOLITION PLAN FOR REQUIRED AREAS OF TREE PROTECTION.

1. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT AND WORKMANSHIP FOR ALL WORK REQUIRED HEREIN IN ACCORDANCE TO ALL CITY, STATE, AND FEDERAL CODES, ORDINANCES AND REQUIREMENTS, AND ALL APPLICABLE SAFETY REGULATIONS.
2. THESE DRAWINGS ARE INTENDED TO WORK TOGETHER AND COMPLEMENTARY WITH THE PROJECT SPECIFICATIONS. THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE PROJECT SPECIFICATIONS IN ALL CASES OF DISCREPANCY, CONFLICT, OR AMBIGUITY.
3. THE CITY SHALL BE IMMEDIATELY NOTIFIED IN WRITING OF ANY MATERIAL CONDITIONS THAT DIFFER FROM THESE PLANS AND SPECIFICATIONS. ANY REVISIONS TO THE IMPROVEMENT PLAN WILL BE PROCESSED IN ACCORDANCE WITH GENERAL CONDITIONS.
4. CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TEMPORARY MEASURES TO CONTROL DUST, NOISE, AIR QUALITY, EROSION AND SEDIMENT AND WASTE CONTROL IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, LOCAL CODE AND REGULATIONS. PROJECT CONDITIONS OF APPROVAL AND MITIGATION MONITORING AND REPORTING PROGRAM.

HORIZONTAL AND VERTICAL CONTROL NOTES:

1. HORIZONTAL COORDINATE VALUES ARE BASED ON - CALIFORNIA COORDINATE SYSTEM, NAD83, ZONE 3.
2. VERTICAL ELEVATIONS, GRADES, AND CONTOURS ARE BASED ON - CITY OF OAKLAND DATUM.
3. BASIS OF BEARINGS FOR BOUNDARY CALCULATION - A LINE BETWEEN THE MONUMENT AT 34TH AVENUE AND DAVIS STREET, AND THE MONUMENT AT 34TH AVENUE AND SALISBURY STREET, TAKEN AS: N31°21'00"E, 714.91 FEET PER PARCEL MAP NO. 9860 BK 322 PG 70.
4. THE CLOSEST FIRE HYDRANT IS LOCATED ON THE SOUTHERLY SIDE OF PAXTON STREET; A SECOND FIRE HYDRANT EXISTS ON THE WESTERLY SIDE OF COOLIDGE AVENUE JUST NORTHERLY OF PAXTON ST.
5. THE LOCATION OF UTILITIES SHOWN SHALL BE VERIFIED BY THE CONTRACTOR/OWNER PRIOR TO ANY CONSTRUCTION.
6. CALL USA @ 1-800-227-2600 PRIOR TO ANY WORK.

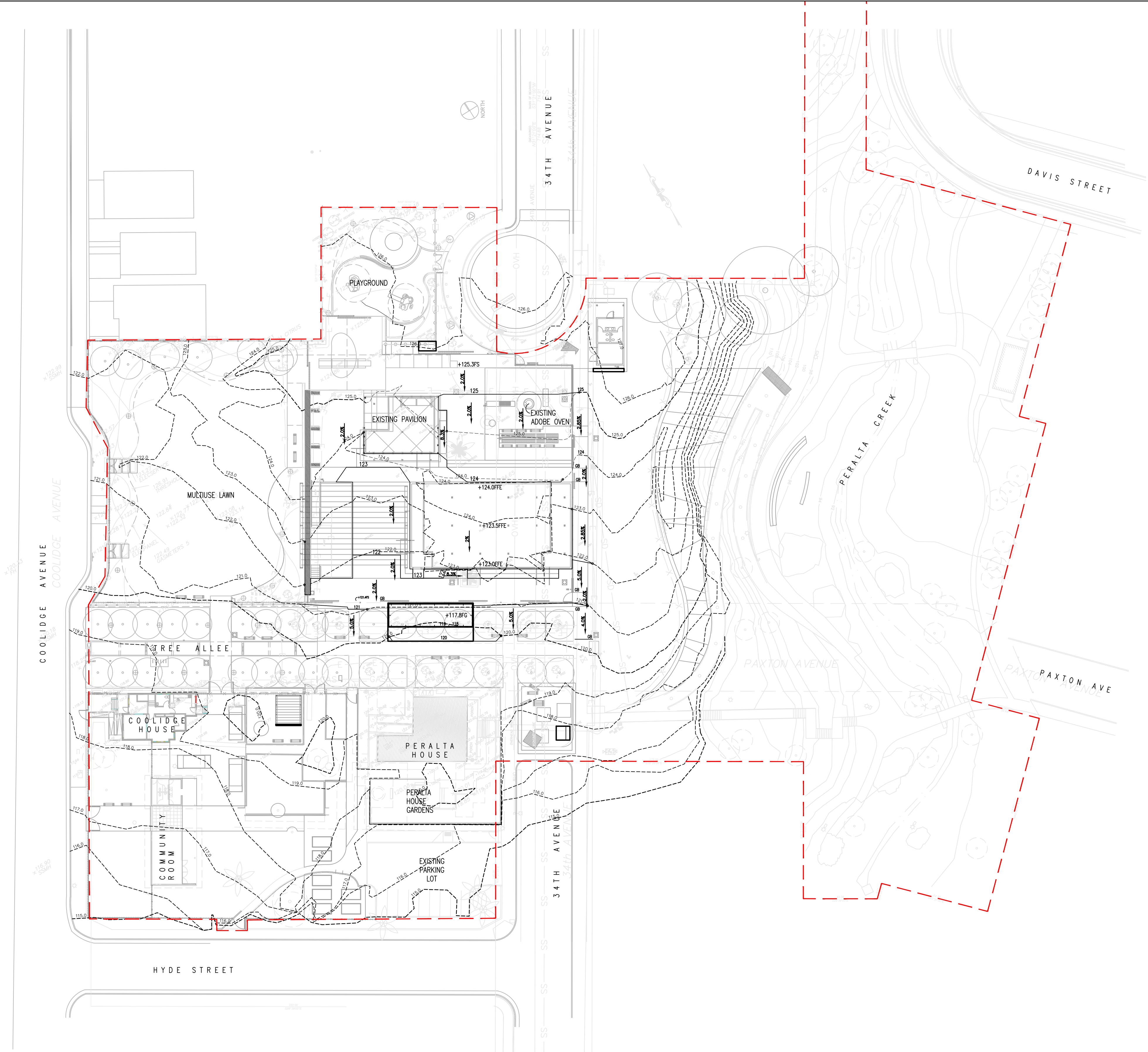
5. Table - Horizontal Utility Main Separation

All distances are minimums from outside diameter of pipe to outside edge of structures^{1,2&6}

Utility Separations	Sanitary Sewer (gravity and force main) *footnotes 3 & 4	Storm Drain Sewer *footnotes 3 & 4	Potable Water	Recycled Water (Tertiary)	Supplemental Fire Water System	Joint Trench	Face of Curb (including bulb-outs)
Sanitary Sewer (gravity and force main) *footnotes 3 & 4	3.5' *footnote 5	3.5'	10.0' (per DPH requirements and CCR Title 22, Section 64572)	3.5'	3.5'	3.5'	4.0'
Storm Drain Sewer *footnotes 3 & 4	---	3.5' *footnote 5	4.0' (per DPH requirements and CCR Title 22, Section 64572)	3.5'	3.5'	3.5'	4.0'
Potable Water	---	---	3.5' *footnote 5	4.0' (per DPH requirements and CCR Title 22, Section 64572)	4.0' (per DPH requirements and CCR Title 22, Section 64572)	4.0'	4.5'
Recycled Water (Tertiary)	---	---	---	3.5' *footnote 5	3.0'	3.0'	4.0'
Supplemental Fire Water System	---	---	---	---	*footnote 5	3.0'	4.0'
Joint Trench	---	---	---	---	---	---	---
Face of Curb (including bulb-outs)	---	---	---	---	---	---	---

*Footnotes:
 1. For the initial Sub-phase of construction, alternative separation distances, if any, shall be identified on the Street Improvement Plans. In such cases, Variations or Exceptions shall be processed according to the applicable provisions of Sec. III of these Regulations.
 2. "Outside edge of structure" shall be the edge of the structure that is closest to the affected utility.
 3. To allow maintenance, repair, and replacement of sanitary manholes and storm sewer manholes and catch basins, these assets require horizontal separation from the utility structures identified in this table. Horizontal separation values subject to revision where required for safe work conditions in deep excavations. At a minimum, sanitary and storm sewer manhole barrels (outside edge) shall be separated from (i) the face of curb by a horizontal distance of 4.0'; and (ii) other sewer mains by 2.0'. Similarly, stormwater catch basins shall be separated from sanitary sewer mains by 4.0'. To increase feasibility of repair and replacement work, including provision of safety structures needed for deep excavations (e.g., shoring), separation distances for deeper utilities, such as sewer mains, will be maximized in detailed design.
 4. To allow access for maintenance and excavation equipment, the above-ground roadway area shall have a minimum 8.0' clearance above sewer and storm drain mains and an adjacent minimum 10.0' clearance (total 18' clearance, the approximated clearance for an excavator and dump truck).
 5. This separation applies where parallel mains may be present (e.g., separation of gravity sewer and force main).
 6. "----" = Separation value identified elsewhere in table.

DRAWING LINES PLotted BY: G. JAMES/AD/04/30/21/11:51 AM



LEGEND

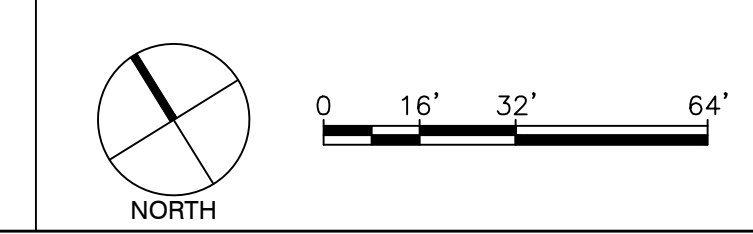
- NOTES**
- REFER TO SHEET C0.0 FOR GRADING AND DRAINAGE NOTES.
 - REFER TO CONDITIONS OF APPROVAL SHEETS FOR GUIDELINES AND REQUIREMENTS REGARDING SITE PRESERVATION OF CULTURAL RESOURCES AND REQUIRED MONITORING.

- KEY**
- EXISTING 1-FT CONTOURS
 - PROPOSED 1-FT CONTOURS
 - SPOT ELEVATIONS
 - SLOPE DIRECTION
 - PROPERTY LINE

- GUY
- ELECTRODER
- FIRE HYDRANT
- GAS VALVE
- POWER POLE
- SANITARY SEWER CLEAN OUT
- SANITARY SEWER MANHOLE
- SIGN
- STORM DRAIN MANHOLE
- TELEPHONE MANHOLE
- TRAFFIC SIGNAL
- WATER VALVE
- UTILITY PULL BOX
- UTILITY WALK
- CATCHBASIN/AREA DRAIN
- SURVEY CONTROL POINT
- SAMPLE LOCATION
- SURVEY MONUMENT
- SD STORM DRAIN LINE
- SS SANITARY SEWER LINE
- COM COMMUNICATIONS LINE
- W WATER LINE
- PLAQUE
- SH SPRINKLER HEAD

- AD AREA DRAIN
- BC BUILDING CORNER
- BL BUILDING LINE
- BW BOTTOM OF WALL
- CB CATCH BASIN
- C CONCRETE
- COM COMMUNICATION UTILITY
- DWY DRIVE WAY
- E-E+ ELECTRIC BOX
- EC EDGE OF CONCRETE
- ENT ENTRANCE
- FCYC CYCLONE FENCE
- FL FLOW LINE
- G GROUND
- GM GAS METER
- GR GRATE
- HC HANDICAP RAMP
- IRR IRRIGATION BOX
- IRR-V IRRIGATION VALVE
- IC INTERCONNECT BOX
- LIP LIP OF GUTTER
- MH MANHOLE
- P PAVEMENT
- PL PLANTER
- TEL TELEPHONE BOX
- TC TOP OF CURB
- TCR TOP OF ROLLED CURB
- TV-TV* TV BOX
- TW TOP OF WALL
- UBX UTILITY BOX
- MH UTILITY MANHOLE
- WM WATER METER

- GENERAL KEY**
- EXISTING ELEMENTS



FACILITIES PLANNING AND DEVELOPMENT

PROJECT MANAGER I

FACILITIES PLANNING AND DEVELOPMENT

CIP COORDINATOR

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PROJECT INFORMATION

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PHASE 4B
2465 34TH AVENUE, OAKLAND, CA 94601
PROJECT NO. TBD

SHEET NAME

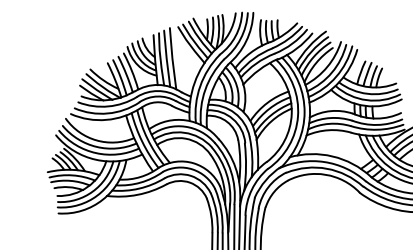
GRADING AND DRAINAGE PLAN

SHEET NO.

C1.0

01 PERALTA HACIENDA HISTORICAL PARK — GRADING AND DRAINAGE PLAN
SCALE: 1/32"=1'-0"

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 PLOTTED BY: Almo



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FACILITIES PLANNING AND
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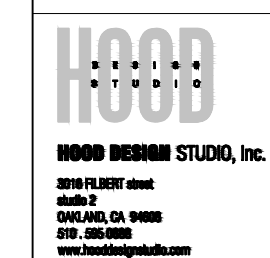
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PROJECT INFORMATION

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 PHASE 4B
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SHEET NAME

**POST-CONSTRUCTION
 STORMWATER MANAGEMENT PLAN**

SHEET NO.

C2.0

LEGEND

NOTES

1. REFER TO SHEET C0.0 FOR GRADING AND DRAINAGE NOTES.
2. REFER TO SHEET C1.0 FOR GRADING AND DRAINAGE PLAN.
3. REFER TO CONDITIONS OF APPROVAL SHEETS FOR GUIDELINES AND REQUIREMENTS REGARDING SITE PRESERVATION OF CULTURAL RESOURCES AND REQUIRED MONITORING.

KEY

- PROPERTY LINE
- IMPERVIOUS AREAS
- PERVIOUS AREAS

**STORMWATER TREATMENT
 CALCULATION TABLE**

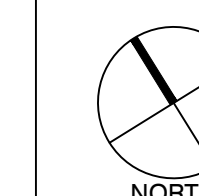
AREAS TREATED BY FLOW-THROUGH PLANTERS						
DRAINAGE AREA NO.	TOTAL AREA SF	IMPERV. AREA SF	SIZING FACTOR	MIN. BIO SF	DESIGN BIO SF	TREATMENT METHOD
1	2,090	1,354	0.04	54	54	DRAWING TO BID 1
2	767	767	0.04	31	31	DRAWING TO BID 2
3	17,327	16,587	0.04	663	663	DRAWING TO BID 3
7	237	237	0.04	9	9	DRAWING TO BID 7
8	1,316	1,071	0.04	43	43	DRAWING TO BID 8

SELF-RETAINING AREAS					
DRAINAGE AREA NO.	TOTAL AREA SF	IMPERV. AREA SF	PERV. AREA SF	RATIO	RATION LESS THAN 2:1?
4	1,270	243	1,027	0.24 : 1	YES
5	2,500	312	2,188	0.14 : 1	YES
6	2,191	616	1,575	0.39 : 1	YES
10	16,000	2,636	13,364	0.20 : 1	YES

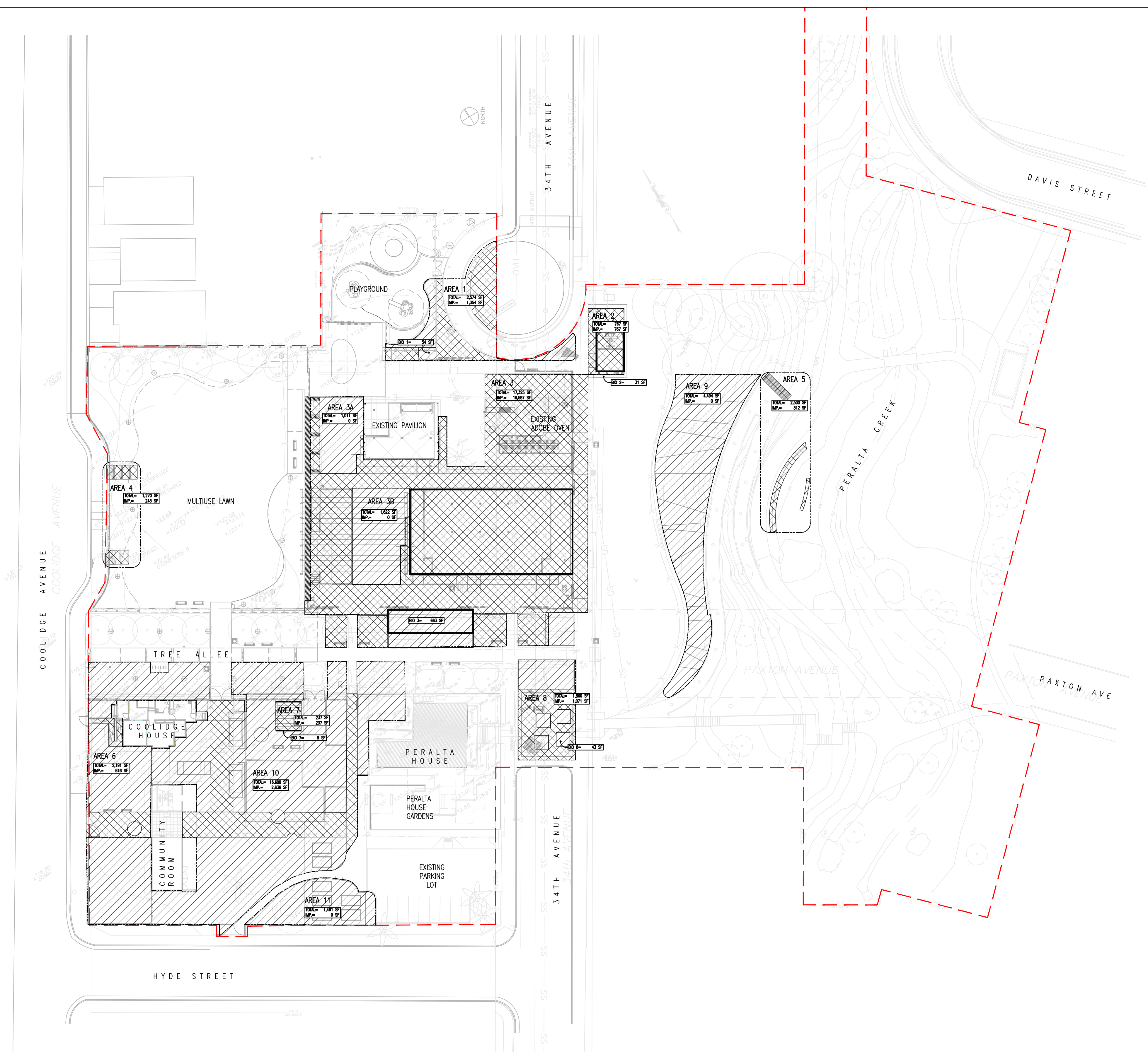
SELF-TREATING AREAS			
DRAINAGE AREA NO.	TOTAL AREA SF	IMPERV. AREA SF	RATION LESS THAN 2:1?
3A	1,011	0	LANDSCAPE AREA, NEW TURF
3B	1822	0	LANDSCAPE AREA, NEW TURF
9	4,494	0	LANDSCAPE AREA, NEW BUTTERFLY GARDEN
11	1,461	0	LANDSCAPE AREA, UPDATED COMMUNITY GARDEN

GENERAL KEY

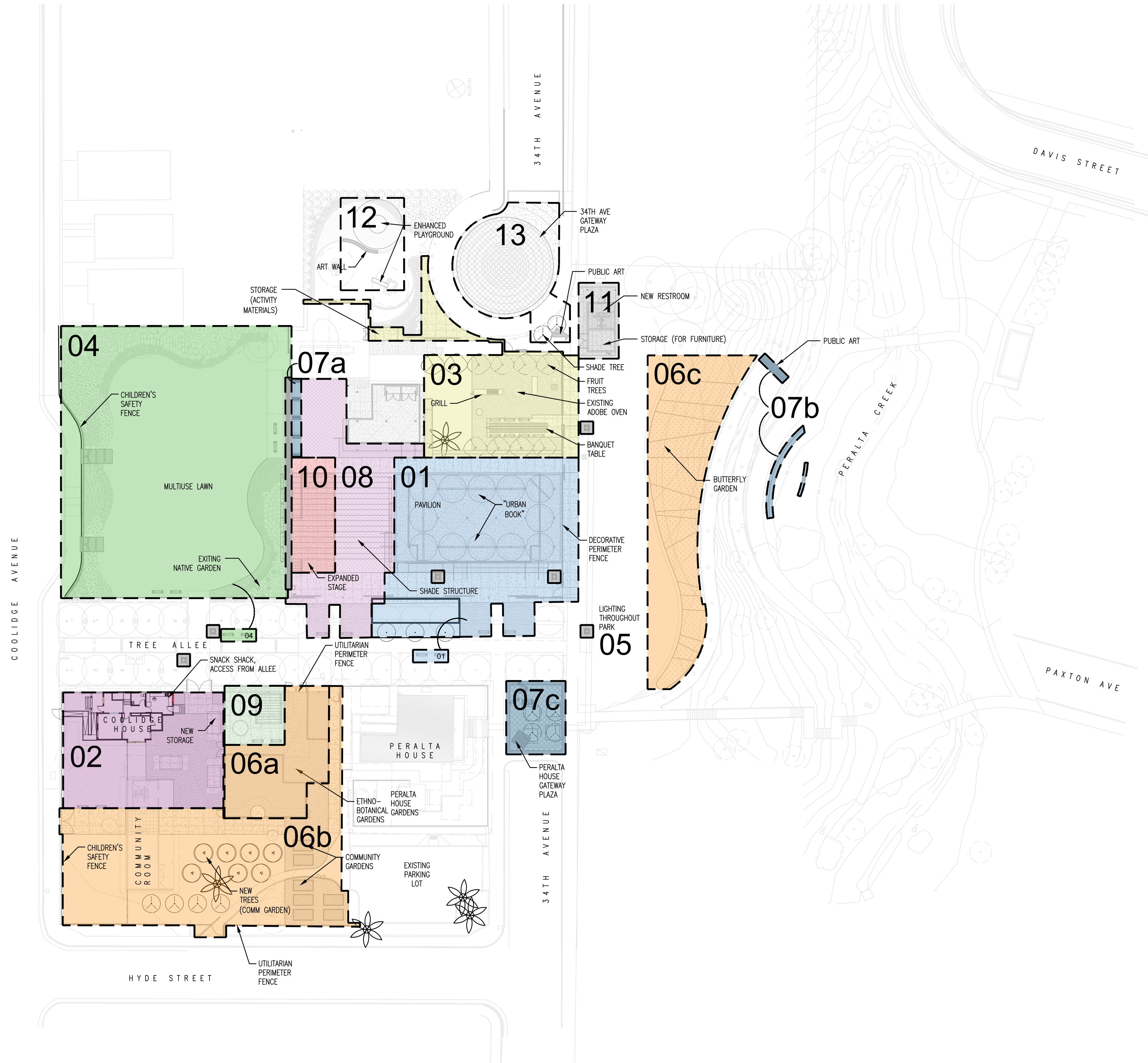
- EXISTING ELEMENTS



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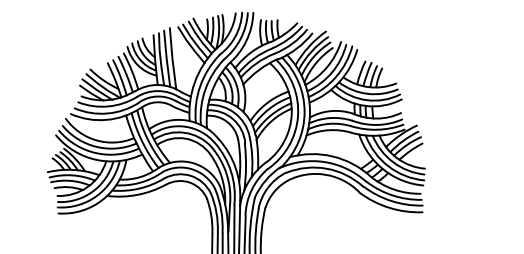
LEGEND

GRANT SCOPE ITEMS

- 01 CONSTRUCT NEW COMMUNITY ASSEMBLY STRUCTURE (RECREATIONAL FEATURE) --- INCLUDES FENCE AROUND HISTORIC CORE, LIGHTING, SECURITY, STORAGE, AND ART PANELS
- 02 RENOVATE COOLIDGE HOUSE INTO NEW YOUTH ACTIVITY CENTER --- INCLUDES SNACK SHACK AND STORAGE SHED
- 03 CONSTRUCT NEW FOOD EVENT AREA WITH WATER FEATURE, BANQUET TABLE, AND FRUIT TREES
- 04 CONSTRUCT NEW PLANTING AND INFRASTRUCTURE AT YOUTH MULTISENSE FIELD --- INCLUDES LIGHTING AND BENCHES, FENCE ALONG COOLIDGE AVENUE, INSTALL BORDER AROUND AND REFURBISH NATIVE PLANT GARDEN
- 05 CONSTRUCT NEW LIGHTING THROUGHOUT THE PARK

FUTURE SCOPE ITEMS

- 06 CONSTRUCT (3) NEW GARDENS: A) ETHNO-BOTANICAL GARDEN, B) COMMUNITY GARDEN, C) BUTTERFLY GARDEN --- INCLUDES PAVING ASSOCIATED WITH GARDENS
- 07 CONSTRUCT NEW PUBLIC ART: A) NICHES IN ALCOVES ALONG ADOBE WALL, B) AT ADA RAMP DOWN TO CREEK, C) ALONG ALLEE [PERALTA HOUSE GATEWAY]
- 08 CONSTRUCT NEW AUDIENCE SHADE STRUCTURE
- 09 CONSTRUCT NEW POTTING SHED
- 10 RENOVATE STAGE
- 11 CONSTRUCT NEW RESTROOM
- 12 PLAYGROUND IMPROVEMENTS INCLUDES ART WALL AND EXPANDING EXISTING PLAY EQUIPMENT
- 13 ENHANCE OUL-DE-SAC PAVING FOR A PARK GATEWAY



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FACILITIES PLANNING AND DEVELOPMENT

PROJECT MANAGER I
 FACILITIES PLANNING AND DEVELOPMENT

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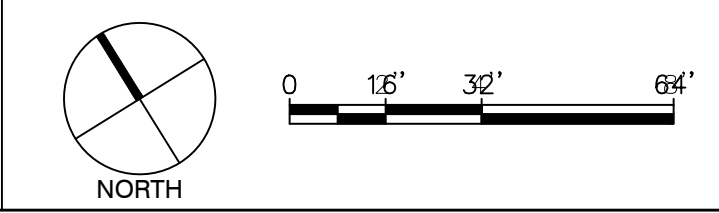
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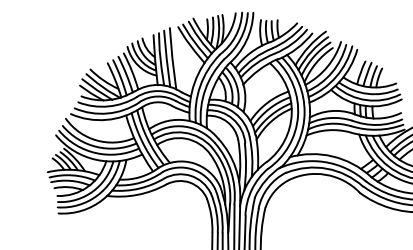
SHEET NAME
GRANT ITEMS KEY PLAN

SHEET NO.
L0.0

01 PERALTA HACIENDA HISTORICAL PARK - OVERALL SITE PLAN
 SCALE: 1/32"=1'-0"



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LEGEND

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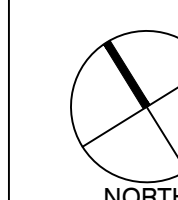
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FUTURE SCOPE ITEMS

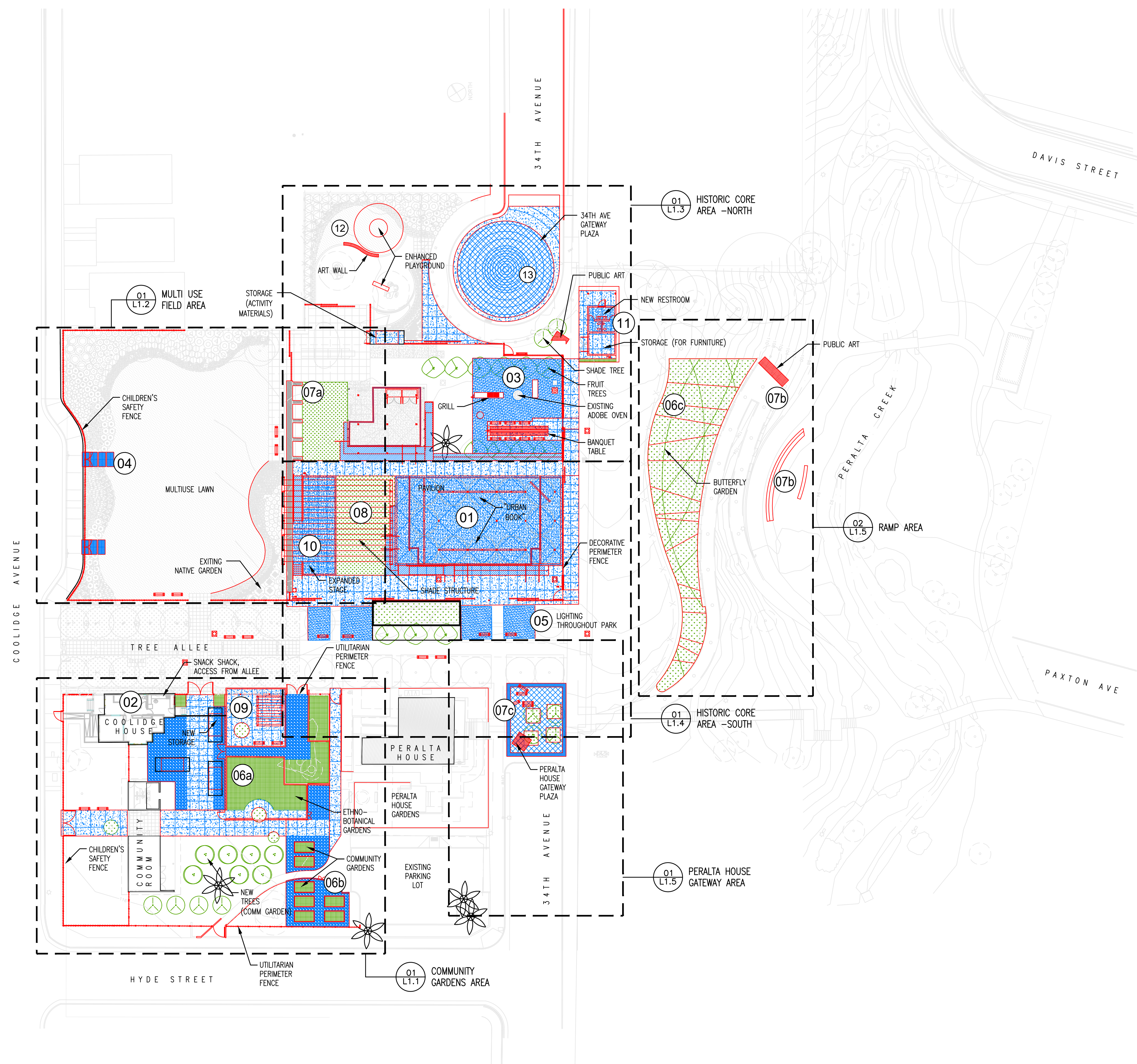
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- 13 ENHANCE OUL-DE-SAC PAVING FOR A PARK GATEWAY

GENERAL KEY

- OVERALL NEW IMPROVEMENTS LAYOUT AND GEOMETRY
- NEW PAVING AND SURFACES IMPROVEMENTS
- NEW PLANTING IMPROVEMENTS
- EXISTING ELEMENTS

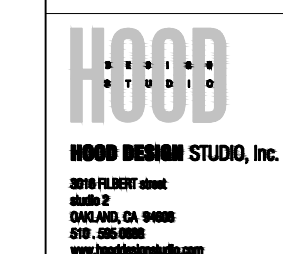


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SHEET NAME

OVERALL KEY PLAN

SHEET NO.

L0.1

01 PERALTA HACIENDA HISTORICAL PARK - OVERALL SITE PLAN
 SCALE: 1/32"=1'-0"

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 PLOT DATE:
 PLOTTED BY:

PAVING (P) SCHEDULE							
KEY	SYMBOL	ITEM	DETAIL(S)	QTY	COLOR	FINISH	NOTES
P1		COLORED CIP CONCRETE WITH TOPCAST	01/L8.1	5,842 SF	INTEGRAL COLOR, "ADOBE" #61078 BY DAVIS COLORS OR EQUAL, WITH TOPCAST #10, OR PER APPROVAL MOCKUP	TOPCAST #10 TO IMITATE SANDBLAST	INCLUDES PAVILION FLOOR, BATHROOM FLOOR, AND EXTENDED STAGE SURFACE FINISH.
P2		NATURAL BROOM CIP CONCRETE	01/L8.1	11,534 SF	NO COLOR ADDED, FINISH TO MATCH EXISTING SIDEWALK PAVING	MATCH EXISTING	FOR SIDEWALK RECONSTRUCTION AND ACCESS PATHS; INCLUDES CONCRETE PADS FOR STORAGE UNITS NEAR COOLIDGE HOUSE.
P3		NATURAL BROOM CIP CONCRETE STEPS AND RAMPS	05/L8.1	STEPS: 450.4 LF RAMP: 456.2 SF	COLOR AND FINISH TO MATCH EXISTING SIDEWALK PAVING	MATCH P2 FINISH AND COLOR	FOR PAVILION VERTICAL CONNECTIONS; QUANTITY PROVIDED IN LINEAR FEET, TYPICAL STEP WIDTH IS 2-FT. RAMPS ARE INDICATED IN SQUARE FEET.
P4		DECOMPOSED GRANITE	03/L8.1	3,149 SF	COLOR GOLD FINES TO MATCH EXISTING MATERIAL INSTALLED	-	FOR HISTORIC CORE ACTIVITY AREAS, WHERE INDICATED IN PLANS; ALSO TO BE USED ON COMMUNITY AND ETHNO-BOTANICAL GARDENS' PATHS
P5		PRECAST CONCRETE PAVERS	06/L8.1	3,567 SF	8X8-INCH SQUARE SHAPE, COLOR RED TO MATCH EXISTING PAVER BANDS IN TREE ALLEE	BRICK RED	FOR 34TH STREET GATEWAYS' ACCENT PAVING, TO MATCH PRECAST CONCRETE PAVERS USED IN EXISTING TREE ALLEE'S ACCENT BANDS. INCLUDES "STEPPING STONES" TO ACCESS MULTI-USE FIELD FROM COOLIDGE AVE.
P6		GRAVEL	-	3,325 SF	1/2-INCH DRAIN GRAVEL	DARK GRAY	

FENCE AND EDGES (F) SCHEDULE							
KEY	SYMBOL	ITEM	DETAIL(S)	QTY	COLOR	FINISH	NOTES
F1		8-FT HIGH PAINTED METAL PICKET FENCE WITH STUCCO WALL SEGMENTS AND SWING GATES	04+07/L8.2	FENCE: 342 LF WALL: 59.8 LF TOTAL: 359.8 LF	LIGHT GRAY METAL AND TAN COLOR PAINT ON STUCCO WALL SEGMENTS (ROUNDED EDGES)	POWDERCOATED PAINT ON METAL, STUCCO AND PAINT ON WALLS	DECORATIVE SECURITY FENCE ENCLOSING THE HISTORIC CORE AREA; DESIGN COMBINES METAL PICKET FENCE WITH CMU WALLS WITH STUCCO AND PAINT TO WORK WITH EXISTING DISPLAY ADOBE WALL. TOTAL LENGTH INCLUDES (3) SWING GATES, TOTAL LENGTH OF GATES 15.5-LF.
F1A		8-FT HIGH PAINTED METAL PICKET SLIDING GATES	04/L8.2 SIM.	133.4 LF (9 GATES)	LIGHT GRAY METAL AND TAN COLOR PAINT ON STUCCO WALL SEGMENTS (ROUNDED EDGES)	POWDERCOATED PAINT ON METAL, STUCCO AND PAINT ON WALLS	DECORATIVE SECURITY SLIDING GATES WITH SUPPORT RAIL AND RAIL-SLIDER (AVERAGE LENGTH OF GATE IS 16-FT LONG) TO PROVIDE FREE ACCESS DURING DAYLIGHT HOURS, REFER TO PLANS FOR LOCATIONS AND INDIVIDUAL GATE LENGTHS.
F2		8-FT CHAIN LINK FENCE WITH VINYL COATING (1-INCH OPENING MESH)	02+03/L8.2	257.4 LF	BLACK	VINYL COATED	CHAIN-LINK FENCE TO MATCH EXISTING 1821 PAVILION TEMPORARY FENCING, WITH 1-INCH OPENING MESH AND VINYL COATED. TOTAL LENGTH INCLUDES (6) SWING GATES (LEAFS), EACH GATE LEAF'S LENGTH AS SHOWN ON DRAWINGS VARIES FROM 5.6 TO 7.7-LF (TOTAL 39.1-LF).
F3		4-FT HIGH PAINTED METAL FENCE WITH PERFORATED METAL INFILL	05/L8.2	506.8 LF	BLACK	POWDERCOATED PAINT ON METAL	LOW FENCE TO PROTECT CHILDREN IN OPEN AREAS; SIMILAR TO EXISTING SAFETY FENCE AT PLAYGROUND. TOTAL LENGTH INCLUDES (7) SWING GATES (LEAFS), (2) ARE 6.5-LF & (5) ARE 4-LF EACH DOOR LEAF (TOTAL 32.5-LF).
F4		6-FT METAL MESH FENCE WITH VINYL COATING (1/4-INCH OPENING MESH)	08/L8.2	294.3 LF	BLACK	SHOP PAINTED	SUB-ENCLOSURE FENCE WITHIN COMMUNITY GARDENS AREA TO PROTECT GARDENERS' AREA. TOTAL LENGTH INCLUDES (4) SWING GATES (LEAFS), 4-LF EACH DOOR LEAF (TOTAL 16-LF).
F5		METAL GARDEN EDGE	09/L8.2	96.4 LF	BLACK STEEL	WEATHERED STEEL	SURE-LOC BLACK STEEL EDGE, 1/4 X 5-INCH METAL HEADER.
F6		HANDRAILS FOR STEPS AND RAMPS	01/L8.5	288.23 LF	STAINLESS STEEL TUBING	STAINLESS STEEL	

SITE FURNISHING (SF) SCHEDULE							
KEY	SYMBOL	ITEM	DETAIL(S)	QTY	COLOR	FINISH	NOTES
SF1		WOODEN BENCH, BACKLESS	01/L8.3	28	GALVANIZED METAL AND OILED NATURAL WOOD	OILED WOOD, GALVANIZED METAL	(15) BENCHES DISTRIBUTED IN PARK, PLUS (7) LOCATED ON BANQUET TABLE, SEE PLANS.
SF2		LIGHT POLE	-	6	BLACK TO MATCH CITY STANDARD	PAINT	LIGHTING DISTRIBUTION TO BE CONFIRMED WITH CITY OF OAKLAND.

PLANT LIST							
KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	QTY	FORM	NOTES
AECA		CALIFORNIA BUCKEYE	AESCULUS CALIFORNICA	24-INCH BOX	6	TALL CANOPIES, UPRIGHT SHAPE	
UMCA		CALIFORNIA BAY	UMBELLULARIA CALIFORNICA	24-INCH BOX	7	TALL CANOPIES, UPRIGHT SHAPE, SELECT FOR BEST FORM	
PYCA		FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'	24-INCH BOX	13	TALL CANOPIES, UPRIGHT SHAPE	
TURF		TURF	FESCUE SP.	SOD	2,634 SF		RECOMMENDED TO CONSIDER LAWN ALTERNATIVES TO MINIMIZE WATER NEEDS.
NAT GAR		NATURAL GARDENS, NATIVE PLANTS	VARIES, PLANTS T.B.D.	ASSUME ALL 1-GAL CONTAINERS	4,910 SF		THIS AREA INCLUDES 4,495 SF BUTTERFLY GARDEN, TO BE LOCATED ON THE SLOPES ADJACENT TO THE ADA RAMP ACCESSING THE CREEK.
EDIBLE		EDIBLE GARDENS, COMMUNITY GARDENS, ETHNO-BOTANICAL GARDENS	VARIES, PLANTS T.B.D.	ASSUME ALL 1-GAL CONTAINERS	2,180 SF		INCLUDES (8) X 60-SF EA. RAISED GARDEN BOX

LEGEND

NOTES

1. REFER TO PLANS AND DETAILS FOR ADDITIONAL INFORMATION.

GRANT SCOPE ITEMS

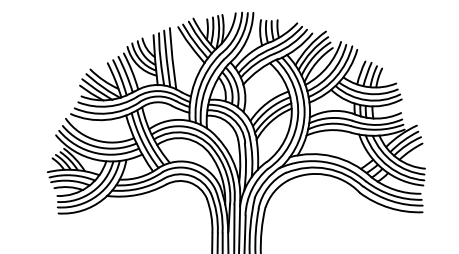
- 01 CONSTRUCT NEW COMMUNITY ASSEMBLY STRUCTURE (RECREATIONAL FEATURE) --- INCLUDES FENCE AROUND HISTORIC CORE, LIGHTING, SECURITY, STORAGE, AND ART PANELS
- 02 RENOVATE COOLIDGE HOUSE INTO NEW YOUTH ACTIVITY CENTER --- INCLUDES SNACK SHACK AND STORAGE SHED
- 03 CONSTRUCT NEW FOOD EVENT AREA WITH WATER FEATURE, BANQUET TABLE, AND FRUIT TREES
- 04 CONSTRUCT NEW PLANTING AND INFRASTRUCTURE AT YOUTH MULTIPURPOSE FIELD --- INCLUDES LIGHTING AND BENCHES, FENCE ALONG COOLIDGE AVENUE, INSTALL BORDER AROUND AND REFURBISH NATIVE PLANT GARDEN
- 05 CONSTRUCT NEW LIGHTING THROUGHOUT THE PARK

FUTURE SCOPE ITEMS

- 06 CONSTRUCT (3) NEW GARDENS: A) ETHNO-BOTANICAL GARDEN, B) COMMUNITY GARDEN, C) BUTTERFLY GARDEN --- INCLUDES PAVING ASSOCIATED WITH GARDENS
- 07 CONSTRUCT NEW PUBLIC ART: A) NICHES IN ALCOVES ALONG ADOBE WALL, B) AT ADA RAMP DOWN TO CREEK, C) ALONG ALLEE [PERALTA HOUSE GATEWAY]
- 08 CONSTRUCT NEW AUDIENCE SHADE STRUCTURE
- 09 CONSTRUCT NEW POTTING SHED
- 10 RENOVATE STAGE
- 11 CONSTRUCT NEW RESTROOM
- 12 PLAYGROUND IMPROVEMENTS INCLUDES ART WALL AND EXPANDING EXISTING PLAY EQUIPMENT
- 13 ENHANCE CUL-DE-SAC PAVING FOR A PARK GATEWAY

GENERAL KEY

- NEW PAVING AND SURFACES IMPROVEMENTS
- NEW PLANTING IMPROVEMENTS



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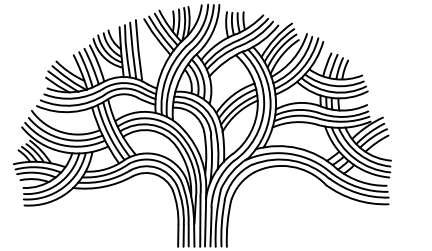
PROJECT INFORMATION
PERALTA HACIENDA HISTORICAL PARK
PHASE 4B
2465 34TH AVENUE, OAKLAND, CA 94601
PROJECT NO. TBD

SHEET NAME
LANDSCAPE SCHEDULES

SHEET NO.
L0.2

01 PHHP - MATERIALS AND PLANTING SCHEDULES
SCALE: NTS

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PLOT DATE: 05-02-21
PLOT BY: Almo



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 DEVELOPMENT

PROJECT MANAGER I
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 DEVELOPMENT

CIP COORDINATOR

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PROJECT INFORMATION

PERALTA HACIENDA HISTORICAL PARK
 PHASE 4B
 2465 34TH AVENUE, OAKLAND, CA 94601
 PROJECT NO. TBD

SHEET NAME

**LANDSCAPE PLAN
 COMMUNITY GARDEN AREA**

SHEET NO.

L1.1

LEGEND

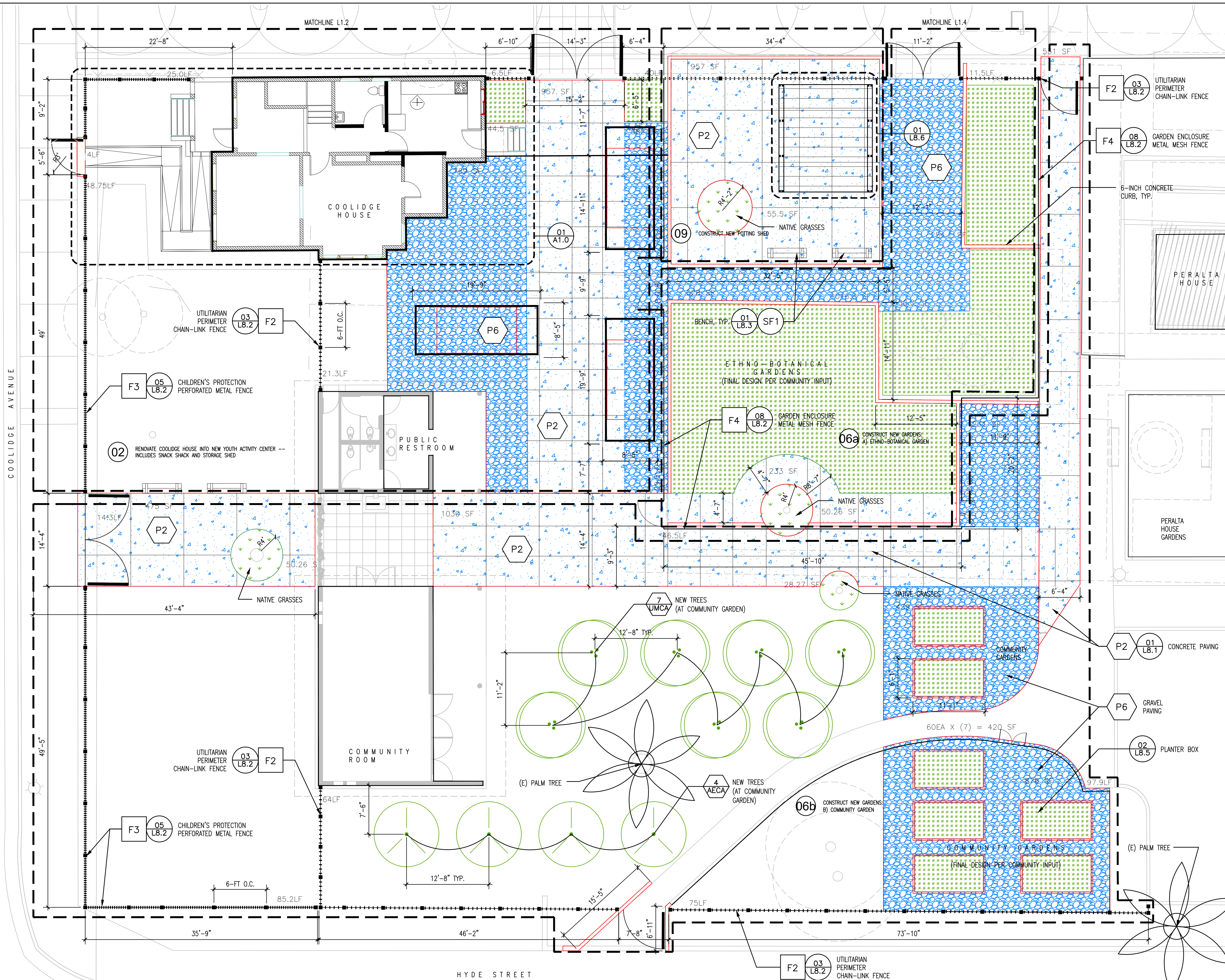
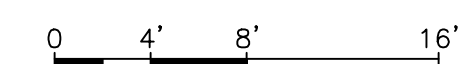
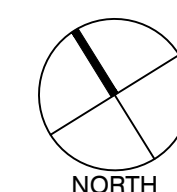
PAVING (P) SCHEDULE		
KEY	SYMBOL	ITEM
P1		COLORLED CIP CONCRETE WITH TOPCAST
P2		NATURAL BROOM CIP CONCRETE
P3		NATURAL BROOM CIP CONCRETE STEPS AND RAMPS
P4		DECOMPOSED GRANITE
P5		PRECAST CONCRETE PAVERS
P6		GRAVEL

FENCE AND EDGES (F) SCHEDULE		
KEY	SYMBOL	ITEM
F1		8-FT HIGH PAINTED METAL PICKET FENCE WITH STUCCO WALL SEGMENTS AND SWING GATES
F1A		8-FT HIGH PAINTED METAL PICKET SLIDING GATES
F2		8-FT CHAIN LINK FENCE WITH VINYL COATING (1-INCH OPENING MESH)
F3		4-FT HIGH PAINTED METAL FENCE WITH PERFORATED METAL INFILL
F4		6-FT METAL MESH FENCE WITH VINYL COATING (1/4-INCH OPENING MESH)
F5		METAL GARDEN EDGE
F6		HANDRAILS FOR STEPS AND RAMPS

SITE FURNISHING (SF) SCHEDULE		
KEY	SYMBOL	ITEM
SF1		WOODEN BENCH, BACKLESS
SF2		LIGHT POLE

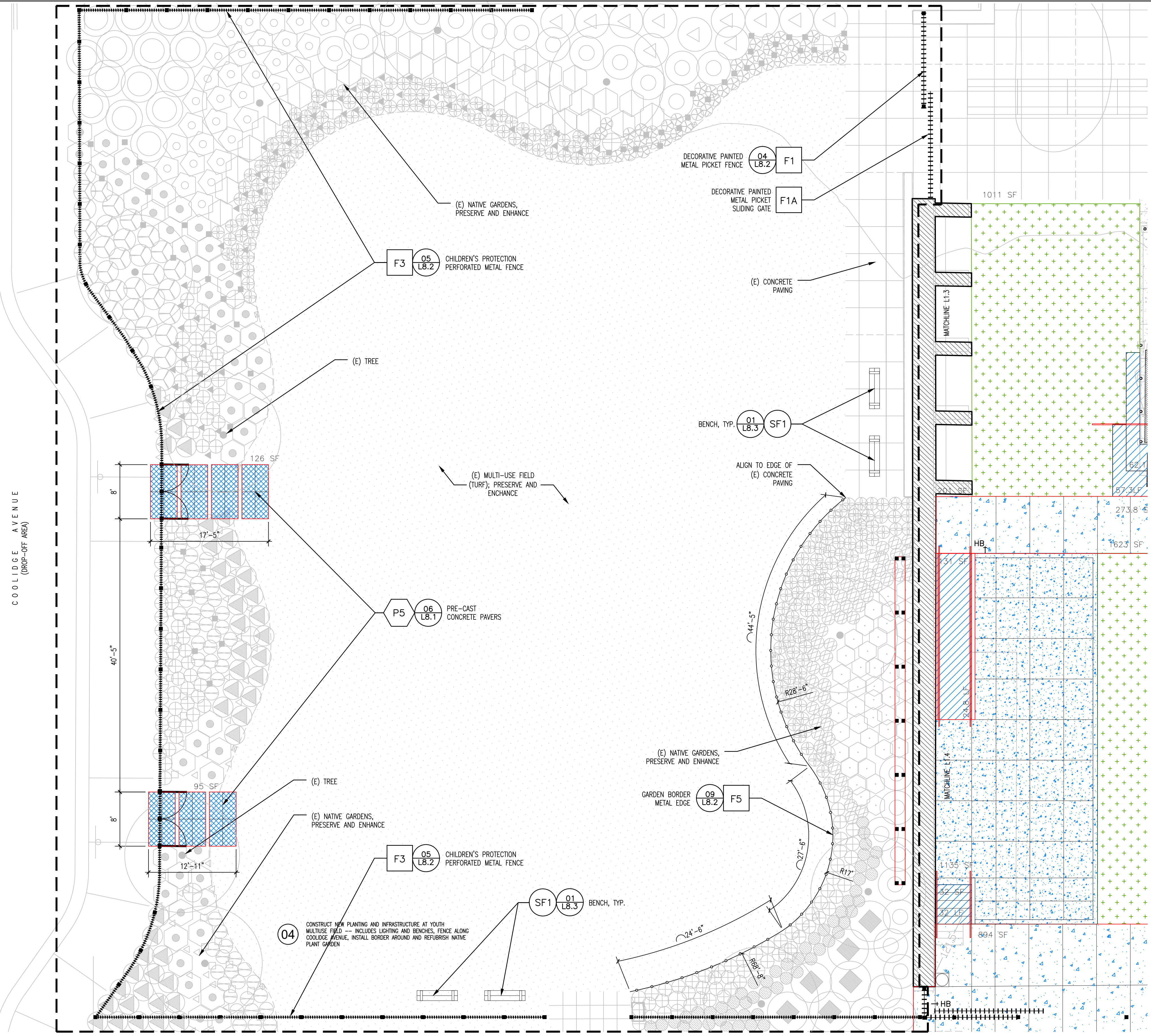
PLANT LIST		
KEY	SYMBOL	COMMON NAME
AECA		CALIFORNIA BUCKEYE
UMCA		CALIFORNIA BAY
PYCA		FLOWERING PEAR
TURF		TURF
NAT GAR		NATURAL GARDENS, NATIVE PLANTS
EDIBLE		EDIBLE GARDENS, COMMUNITY GARDENS, ETHNO-BOTANICAL GARDENS

--- SCOPE AREAS, REFER TO SHEET L0.0
 [Red Outline] OVERALL NEW IMPROVEMENTS LAYOUT AND GEOMETRY
 [Blue Hatched] NEW PAVING AND SURFACES IMPROVEMENTS
 [Green Hatched] NEW PLANTING IMPROVEMENTS



01 LANDSCAPE PLAN - COMMUNITY GARDENS AREA
 SCALE: 1/8"=1'-0"

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 PLOT DATE: 05-02-21
 PLOTTED BY: Alim



01 LANDSCAPE PLAN -- MULTI-USE FIELD AREA
SCALE: 1/8"=1'-0"

LEGEND

PAVING (P) SCHEDULE		
KEY	SYMBOL	ITEM
P1		COLORED CIP CONCRETE WITH TOPCAST
P2		NATURAL BROOM CIP CONCRETE
P3		NATURAL BROOM CIP CONCRETE STEPS AND RAMPS
P4		DECOMPOSED GRANITE
P5		PRECAST CONCRETE PAVERS
P6		GRAVEL

FENCE AND EDGES (F) SCHEDULE		
KEY	SYMBOL	ITEM
F1		8-FT HIGH PAINTED METAL PICKET FENCE WITH STUCCO WALL SEGMENTS AND SWING GATES
F1A		8-FT HIGH PAINTED METAL PICKET SLIDING GATES
F2		8-FT CHAIN LINK FENCE WITH VINYL COATING (1-INCH OPENING MESH)
F3		4-FT HIGH PAINTED METAL FENCE WITH PERFORATED METAL INFILL
F4		6-FT METAL MESH FENCE WITH VINYL COATING (1/4-INCH OPENING MESH)
F5		METAL GARDEN EDGE
F6		HANDRAILS FOR STEPS AND RAMPS

SITE FURNISHING (SF) SCHEDULE		
KEY	SYMBOL	ITEM
SF1		WOODEN BENCH, BACKLESS
SF2		LIGHT POLE

PLANT LIST		
KEY	SYMBOL	COMMON NAME
AECA		CALIFORNIA BUCKEYE
UMCA		CALIFORNIA BAY
PYCA		FLOWERING PEAR
TURF		TURF
NAT GAR		NATURAL GARDENS, NATIVE PLANTS
EDIBLE		EDIBLE GARDENS, COMMUNITY GARDENS, ETHNO-BOTANICAL GARDENS

SCOPE AREAS, REFER TO SHEET L0.0
 OVERALL NEW IMPROVEMENTS LAYOUT AND GEOMETRY
 NEW PAVING AND SURFACES IMPROVEMENTS
 NEW PLANTING IMPROVEMENTS

NORTH
 0 4' 8' 16'



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PROJECT MANAGER I
FACILITIES PLANNING AND DEVELOPMENT

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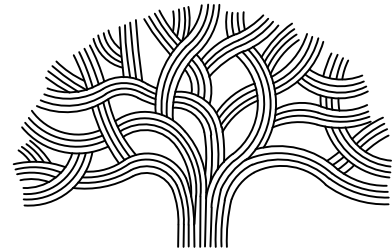
PROJECT INFORMATION

PERALTA HACIENDA HISTORICAL PARK
PHASE 4B
2465 34TH AVENUE, OAKLAND, CA 94601
PROJECT NO. TBD

SHEET NAME
**LANDSCAPE PLAN
MULTIUSE FIELD AREA**

SHEET NO.
L1.2

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 PLOT DATE: 05-02-21
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PROJECT MANAGER I

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PROJECT INFORMATION

PERALTA HACIENDA HISTORICAL PARK
 PHASE 4B
 2465 34TH AVENUE, OAKLAND, CA 94601
 PROJECT NO. TBD

SHEET NAME

**LANDSCAPE PLAN
 HISTORIC CORE AREA - NORTH**

SHEET NO.

L1.3

LEGEND

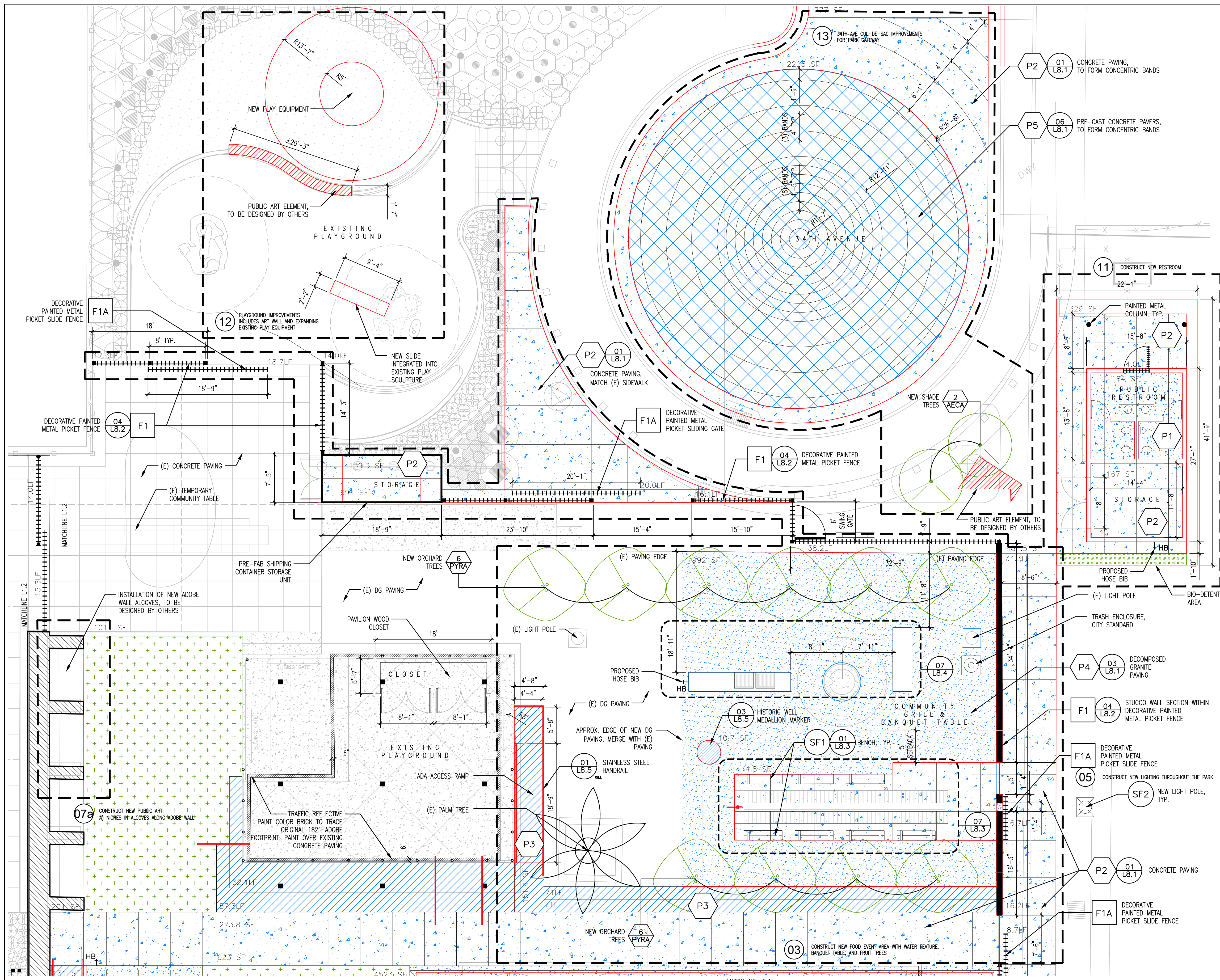
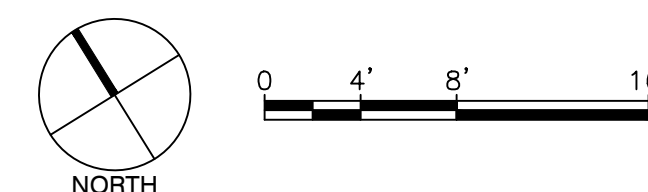
PAVING (P) SCHEDULE		
KEY	SYMBOL	ITEM
P1		COLORED CIP CONCRETE WITH TOPCAST
P2		NATURAL BROOM CIP CONCRETE
P3		NATURAL BROOM CIP CONCRETE STEPS AND RAMPS
P4		DECOMPOSED GRANITE
P5		PRECAST CONCRETE PAVERS
P6		GRAVEL

FENCE AND EDGES (F) SCHEDULE		
KEY	SYMBOL	ITEM
F1		8-FT HIGH PAINTED METAL PICKET FENCE WITH STUCCO WALL SEGMENTS AND SWING GATES
F1A		8-FT HIGH PAINTED METAL PICKET SLIDING GATES
F2		8-FT CHAIN LINK FENCE WITH VINYL COATING (1-INCH OPENING MESH)
F3		4-FT HIGH PAINTED METAL FENCE WITH PERFORATED METAL INFILL
F4		6-FT METAL MESH FENCE WITH VINYL COATING (1/4-INCH OPENING MESH)
F5		METAL GARDEN EDGE
F6		HANDRAILS FOR STEPS AND RAMPS

SITE FURNISHING (SF) SCHEDULE		
KEY	SYMBOL	ITEM
SF1		WOODEN BENCH, BACKLESS
SF2		LIGHT POLE

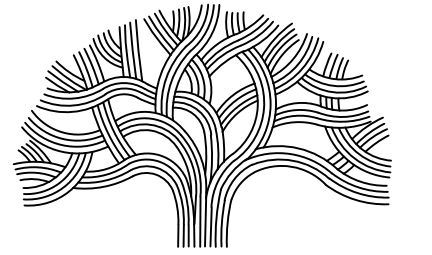
PLANT LIST		
KEY	SYMBOL	COMMON NAME
AECA		CALIFORNIA BUCKEYE
UMCA		CALIFORNIA BAY
PYCA		FLOWERING PEAR
TURF		TURF
NAT GAR		NATURAL GARDENS, NATIVE PLANTS
EDIBLE		EDIBLE GARDENS, COMMUNITY GARDENS, ETHNO-BOTANICAL GARDENS

--- SCOPE AREAS, REFER TO SHEET L0.0
 --- OVERALL NEW IMPROVEMENTS LAYOUT AND GEOMETRY
 --- NEW PAVING AND SURFACES IMPROVEMENTS
 --- NEW PLANTING IMPROVEMENTS



01 LANDSCAPE PLAN - HISTORIC CORE AREA NORTH
 SCALE: 1/8"=1'-0"

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 PLOTTED BY: Almo



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 PROJECT NO. TBD

SHEET NAME

**LANDSCAPE PLAN
 HISTORIC CORE AREA - SOUTH**

SHEET NO.

L1.4

LEGEND

PAVING (P) SCHEDULE

KEY	SYMBOL	ITEM
P1		COLORED CIP CONCRETE WITH TOPCAST
P2		NATURAL BROOM CIP CONCRETE
P3		NATURAL BROOM CIP CONCRETE STEPS AND RAMPS
P4		DECOMPOSED GRANITE
P5		PRECAST CONCRETE PAVERS
P6		GRAVEL

FENCE AND EDGES (F) SCHEDULE

KEY	SYMBOL	ITEM
F1		8-FT HIGH PAINTED METAL PICKET FENCE WITH STUCCO WALL SEGMENTS AND SWING GATES
F1A		8-FT HIGH PAINTED METAL PICKET SLIDING GATES
F2		8-FT CHAIN LINK FENCE WITH VINYL COATING (1-INCH OPENING MESH)
F3		4-FT HIGH PAINTED METAL FENCE WITH PERFORATED METAL INFILL
F4		6-FT METAL MESH FENCE WITH VINYL COATING (1/4-INCH OPENING MESH)
F5		METAL GARDEN EDGE
F6		HANDRAILS FOR STEPS AND RAMPS

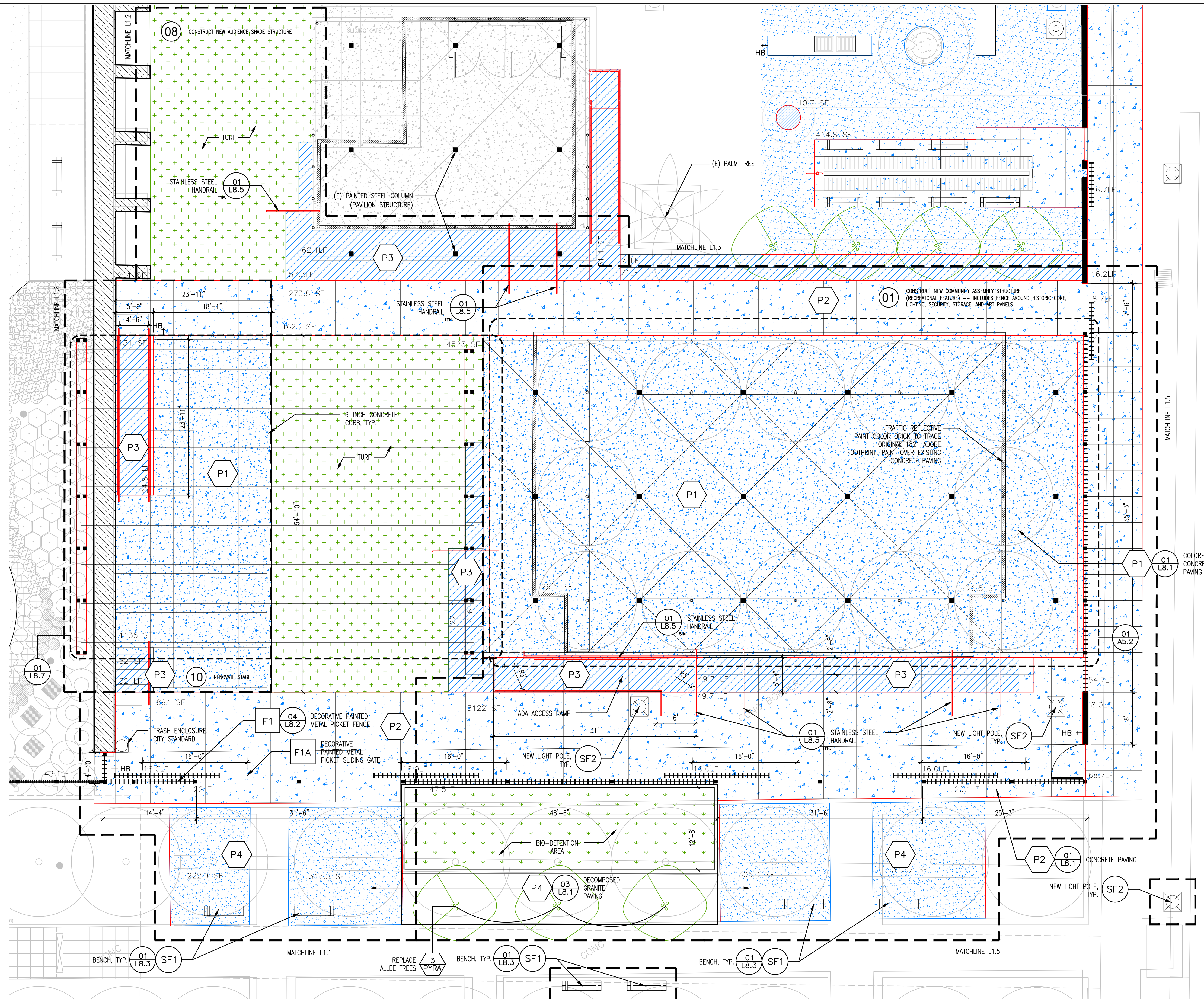
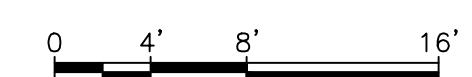
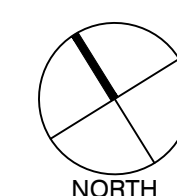
SITE FURNISHING (SF) SCHEDULE

KEY	SYMBOL	ITEM
SF1		WOODEN BENCH, BACKLESS
SF2		LIGHT POLE

PLANT LIST

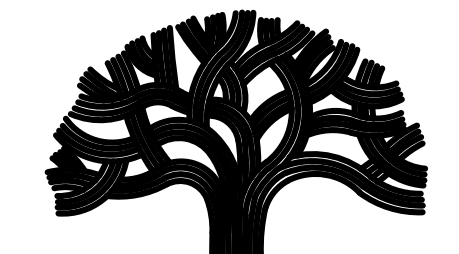
KEY	SYMBOL	COMMON NAME
AECA		CALIFORNIA BUCKEYE
UMCA		CALIFORNIA BAY
PYCA		FLOWERING PEAR
TURF		TURF
NAT GAR		NATURAL GARDENS, NATIVE PLANTS
EDIBLE		EDIBLE GARDENS, COMMUNITY GARDENS, ETHNO-BOTANICAL GARDENS

- SCOPE AREAS, REFER TO SHEET L0.0
- OVERALL NEW IMPROVEMENTS LAYOUT AND GEOMETRY
- NEW PAVING AND SURFACES IMPROVEMENTS
- NEW PLANTING IMPROVEMENTS



01 LANDSCAPE PLAN - HISTORIC CORE AREA SOUTH
 SCALE: 1/8"=1'-0"

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PROJECT INFORMATION
 PERALTA HACIENDA HISTORICAL PARK
 PHASE 4B
 2465 34TH AVENUE, OAKLAND, CA 94601
 PROJECT NO. TBD

SHEET NAME
**LANDSCAPE PLAN
 GATEWAY AND RAMP AREAS**
 SHEET NO.
L1.5

LEGEND

PAVING (P) SCHEDULE		
KEY	SYMBOL	ITEM
P1		COLORED CIP CONCRETE WITH TOPCAST
P2		NATURAL BROOM CIP CONCRETE
P3		NATURAL BROOM CIP CONCRETE STEPS AND RAMPS
P4		DECOMPOSED GRANITE
P5		PRECAST CONCRETE PAVERS
P6		GRAVEL

FENCE AND EDGES (F) SCHEDULE		
KEY	SYMBOL	ITEM
F1		8-FT HIGH PAINTED METAL PICKET FENCE WITH STUCCO WALL SEGMENTS AND SWING GATES
F1A		8-FT HIGH PAINTED METAL PICKET SLIDING GATES
F2		8-FT CHAIN LINK FENCE WITH VINYL COATING (1-INCH OPENING MESH)
F3		4-FT HIGH PAINTED METAL FENCE WITH PERFORATED METAL INFILL
F4		6-FT METAL MESH FENCE WITH VINYL COATING (1/4-INCH OPENING MESH)
F5		METAL GARDEN EDGE
F6		HANDRAILS FOR STEPS AND RAMPS

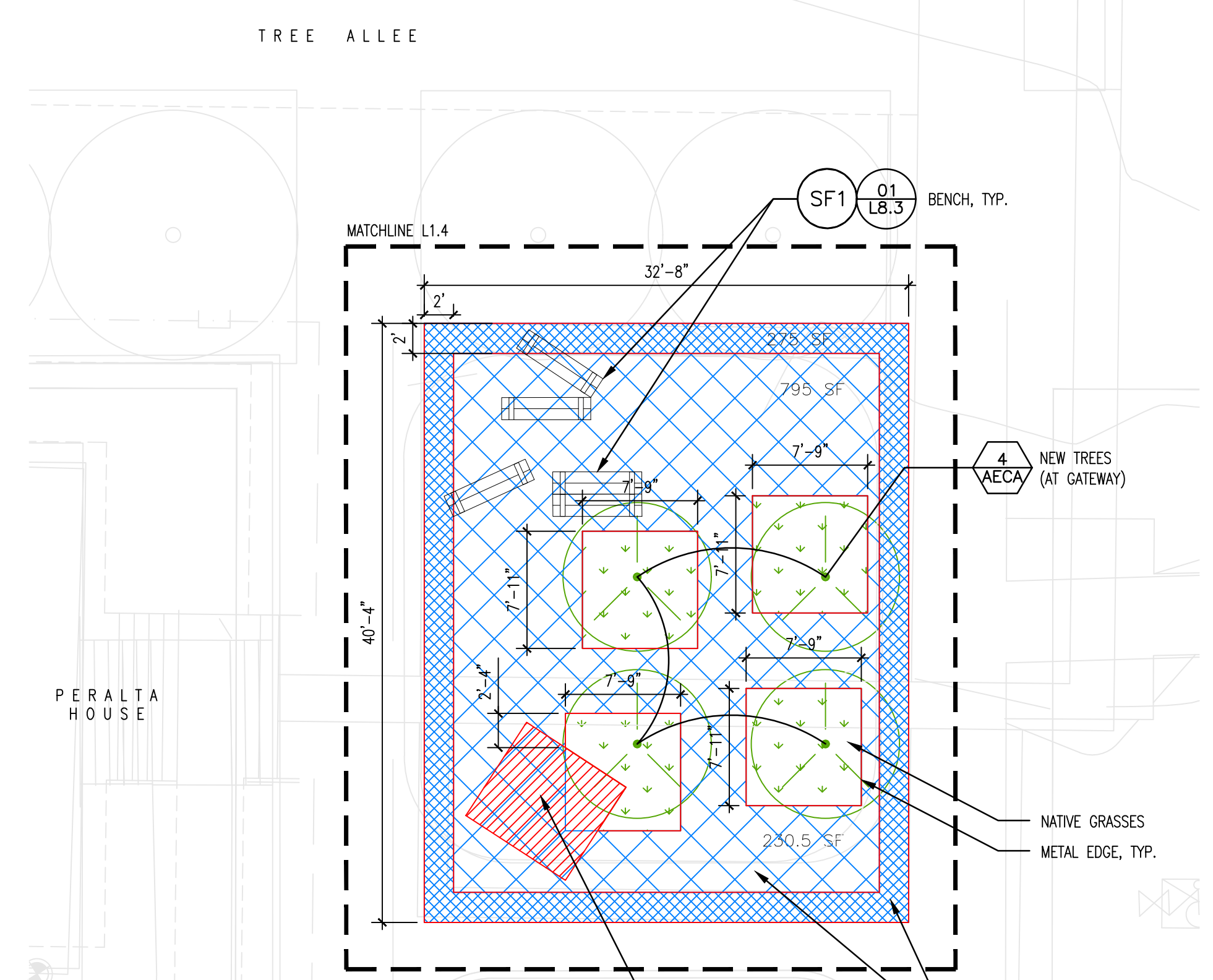
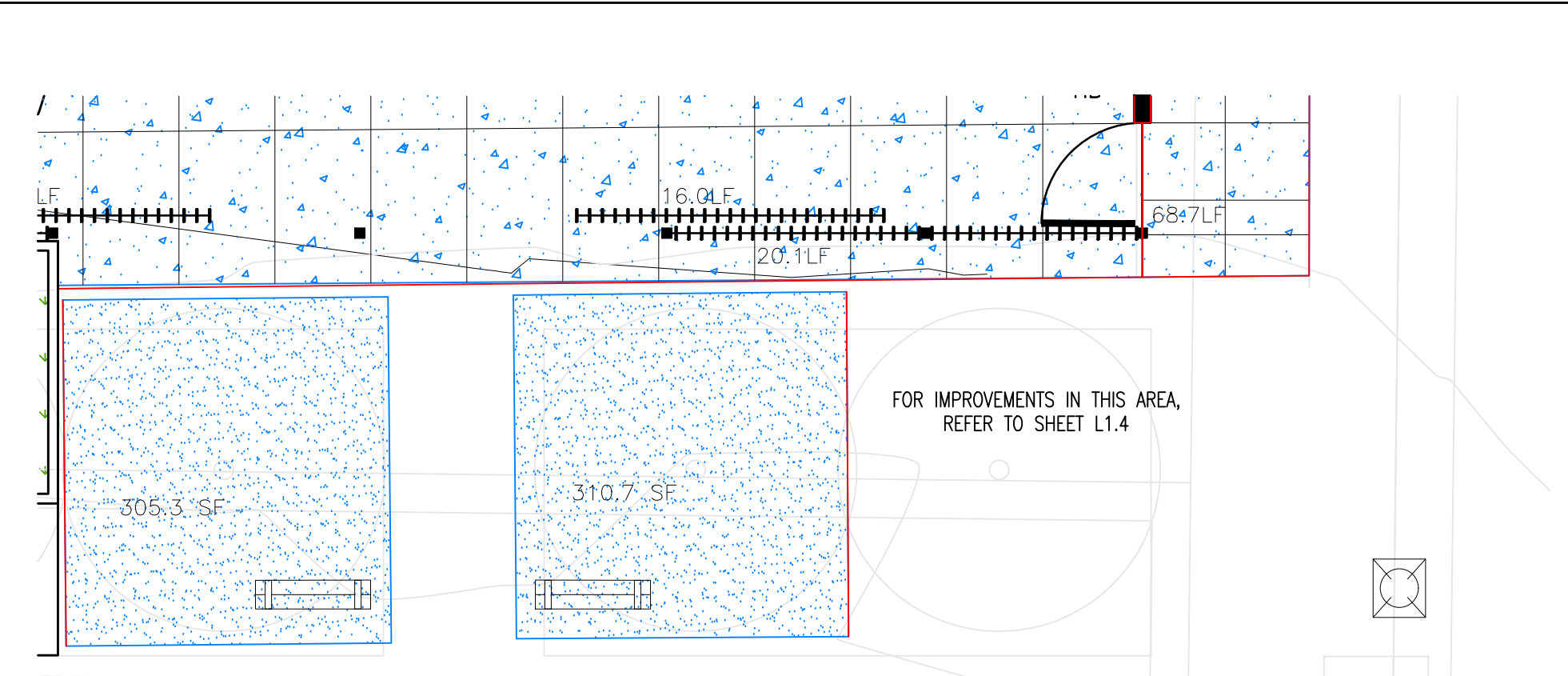
SITE FURNISHING (SF) SCHEDULE		
KEY	SYMBOL	ITEM
SF1		WOODEN BENCH, BACKLESS
SF2		LIGHT POLE

PLANT LIST		
KEY	SYMBOL	COMMON NAME
AECA		CALIFORNIA BUCKEYE
UMCA		CALIFORNIA BAY
PYCA		FLOWERING PEAR
TURF		TURF
NAT GAR		NATURAL GARDENS, NATIVE PLANTS
EDIBLE		EDIBLE GARDENS, COMMUNITY GARDENS, ETHNO-BOTANICAL GARDENS

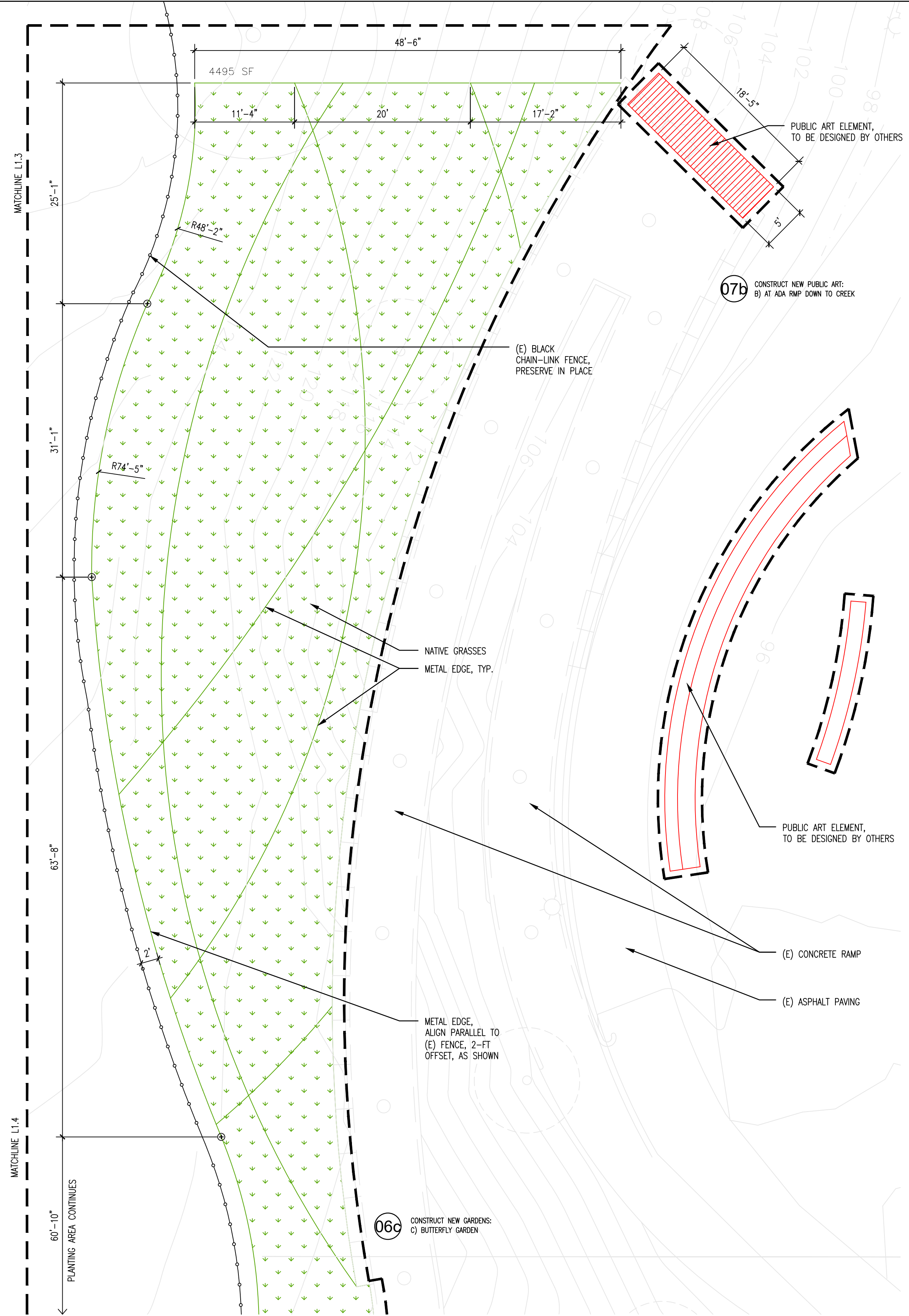
--- SCOPE AREAS, REFER TO SHEET L0.0
 OVERALL NEW IMPROVEMENTS LAYOUT AND GEOMETRY
 NEW PAVING AND SURFACES IMPROVEMENTS
 NEW PLANTING IMPROVEMENTS

NORTH

0 4' 8' 16'

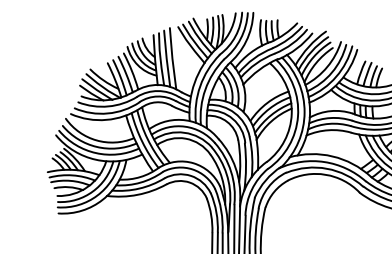


02 LANDSCAPE PLAN — GATEWAY AREA
 SCALE: 1/8"=1'-0"



01 LANDSCAPE PLAN — RAMP AREA
 SCALE: 1/8"=1'-0"

DRAWING NAME: G:\Projects\Historical Park\Phase 4B\Drawings\Site\02_Landscapes\01_Landscape Plan Ramp Area.dwg
 PLOT DATE: 04/30/2021 10:58:21 AM
 PLOTTED BY: AD



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CIP COORDINATOR

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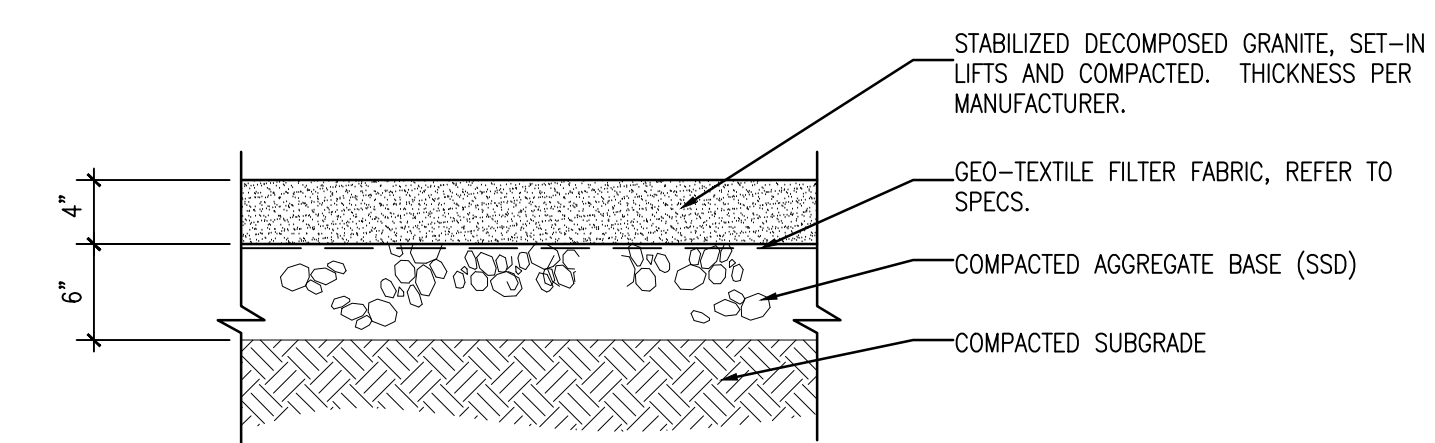
No.	DATE	ISSUE DESCRIPTION
04/30/2021	04/30/2021	SCHEMATIC DESIGN - 30% DWGS

PROJECT INFORMATION
 PERALTA HACIENDA HISTORICAL PARK
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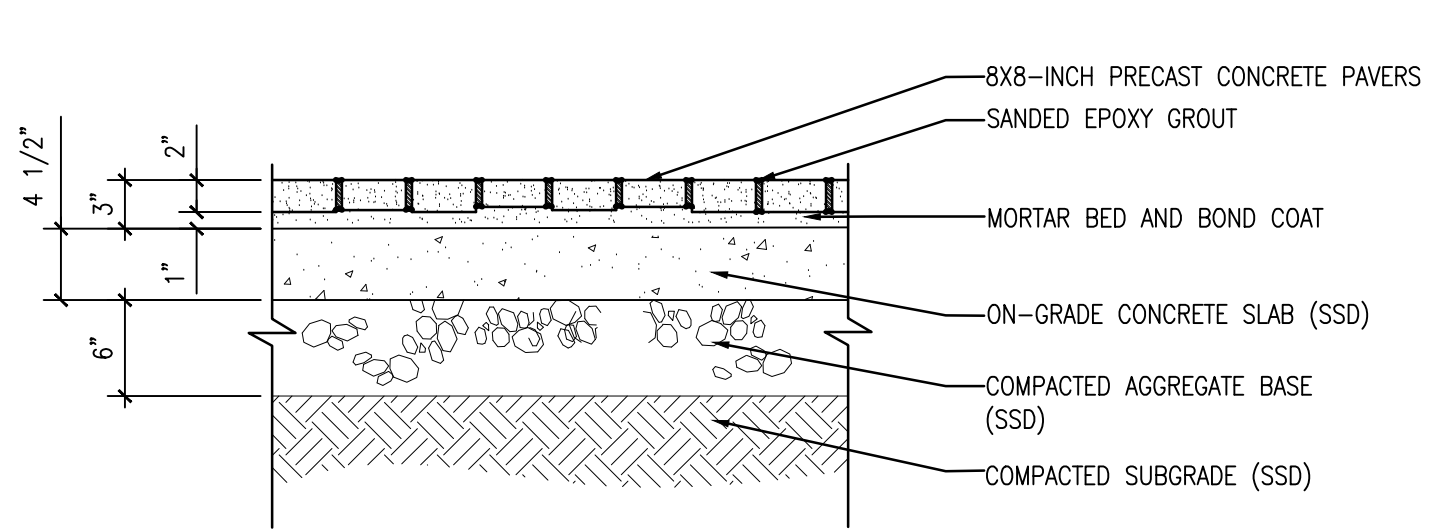
SHEET NAME
**LANDSCAPE DETAILS -
 PAVING**

SHEET NO.
L8.1

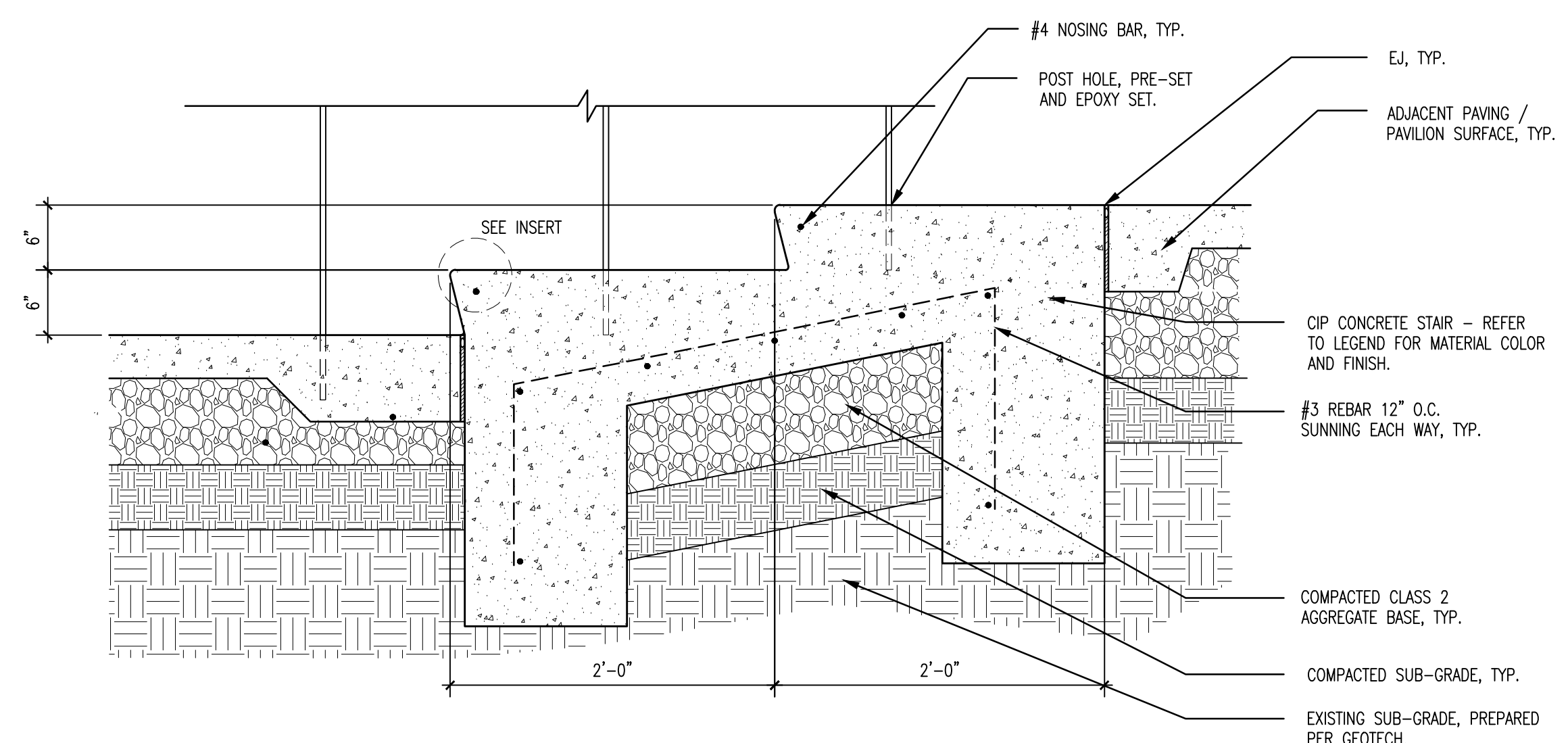
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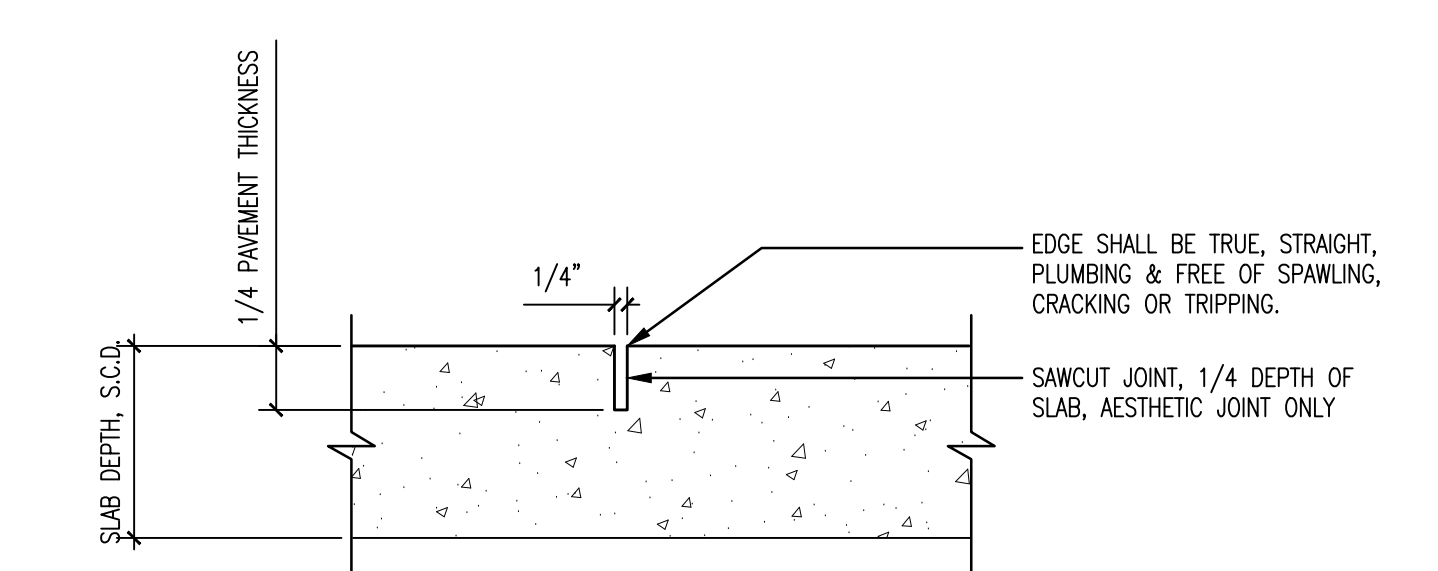
03 P4 - DECOMPOSED GRANITE
 SCALE: 1" = 1' - 0"



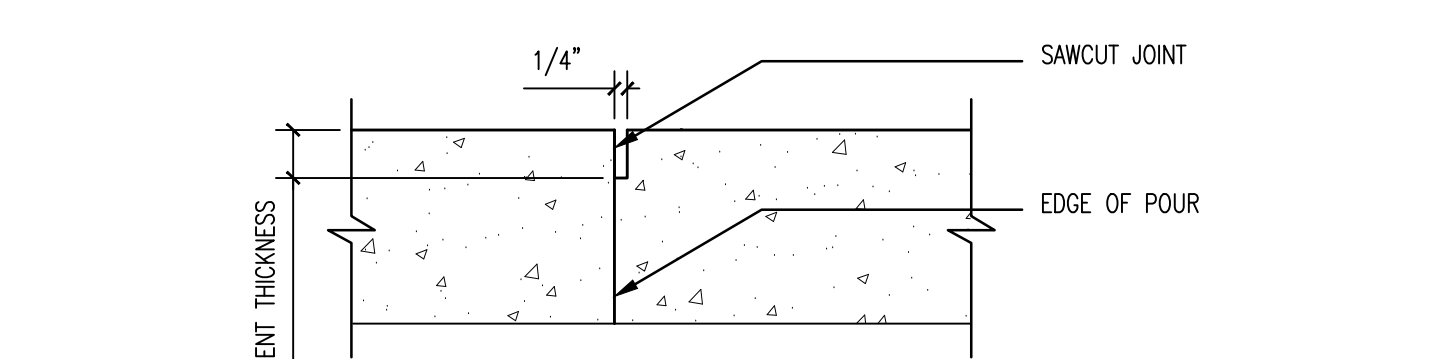
06 P5 - PRECAST CONCRETE PAVERS
 SCALE: 1" = 1' - 0"



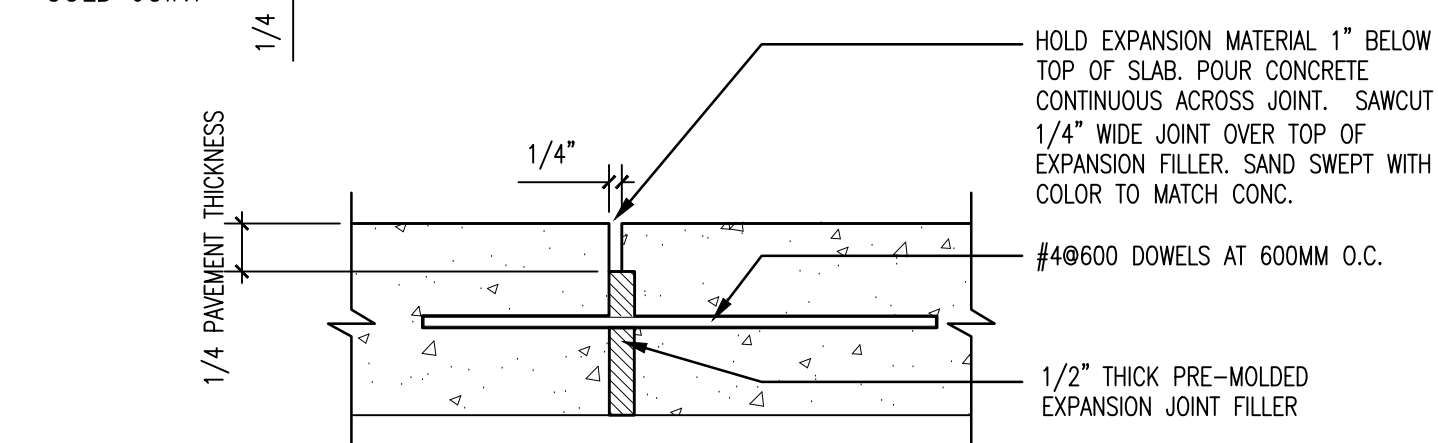
05 P3 - CIP CONCRETE STEP AND RAILING AT PAVILION EDGE, TYPICAL
 SCALE: 1" = 1' - 0"



CONTROL/SCORE JOINT



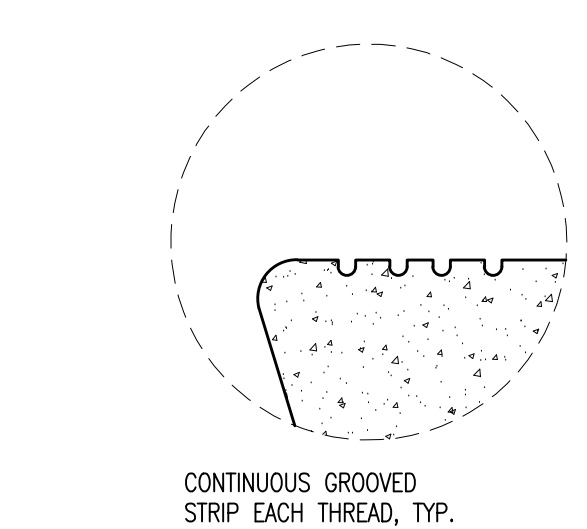
COLD JOINT



EXPANSION JOINT

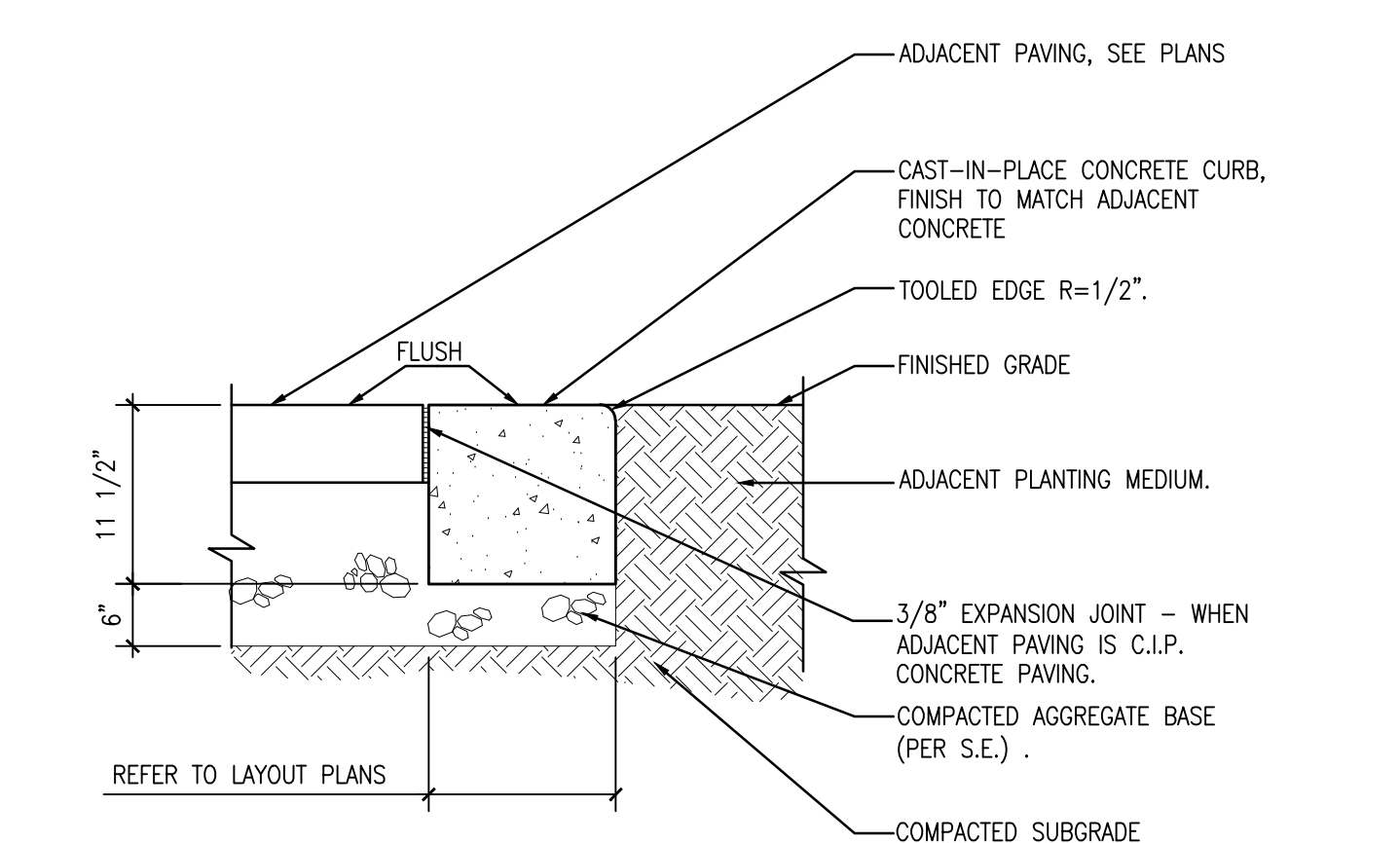
NOTE: JOINT LOCATION AND SPACING PER PLAN UNLESS OTHERWISE NOTED.

08 P1 - CIP CONCRETE PAVING JOINTS, TYP.
 SCALE: 3" = 1' - 0"

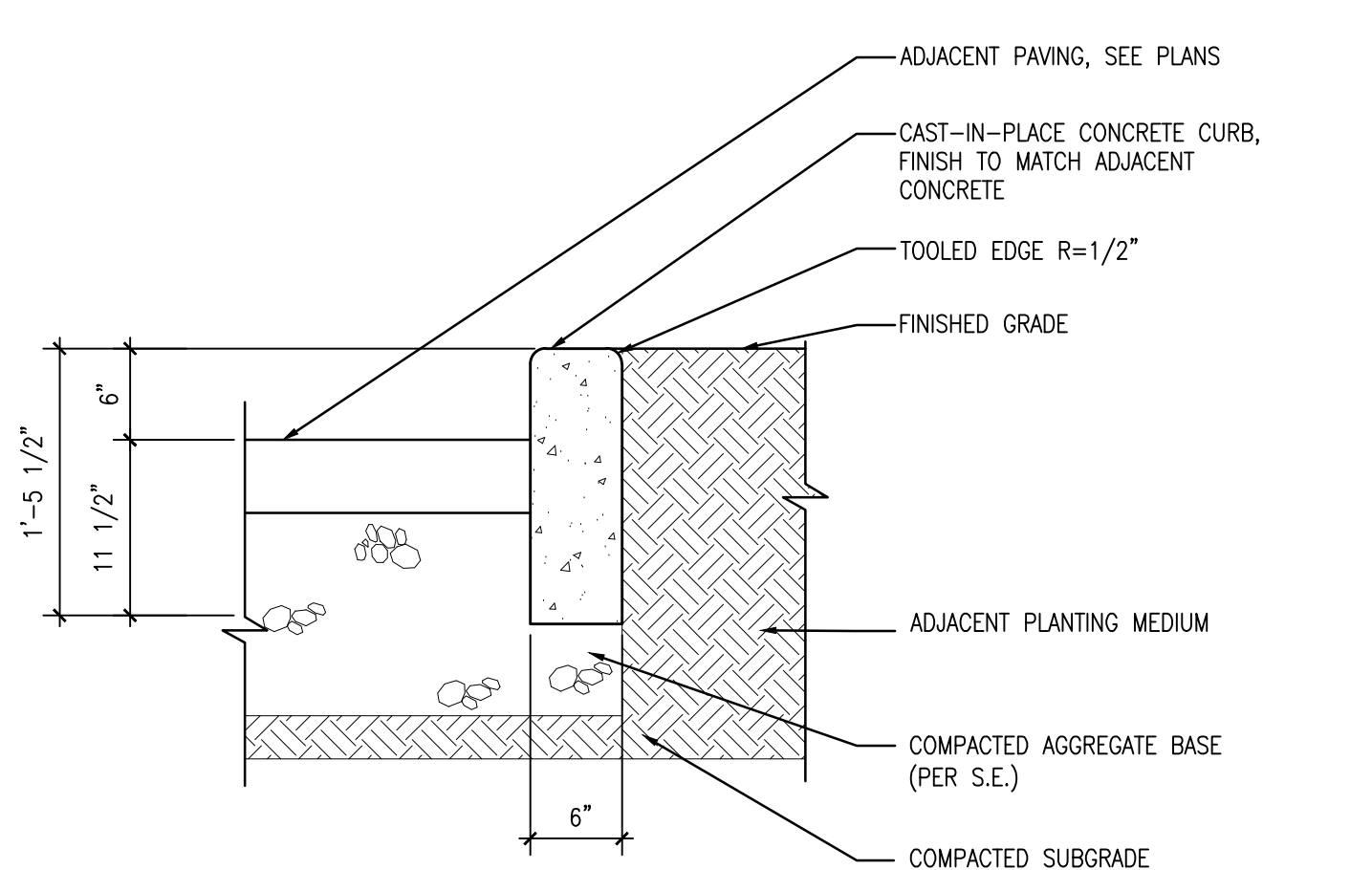


CONTINUOUS GROOVED STRIP EACH THREAD, TYP.

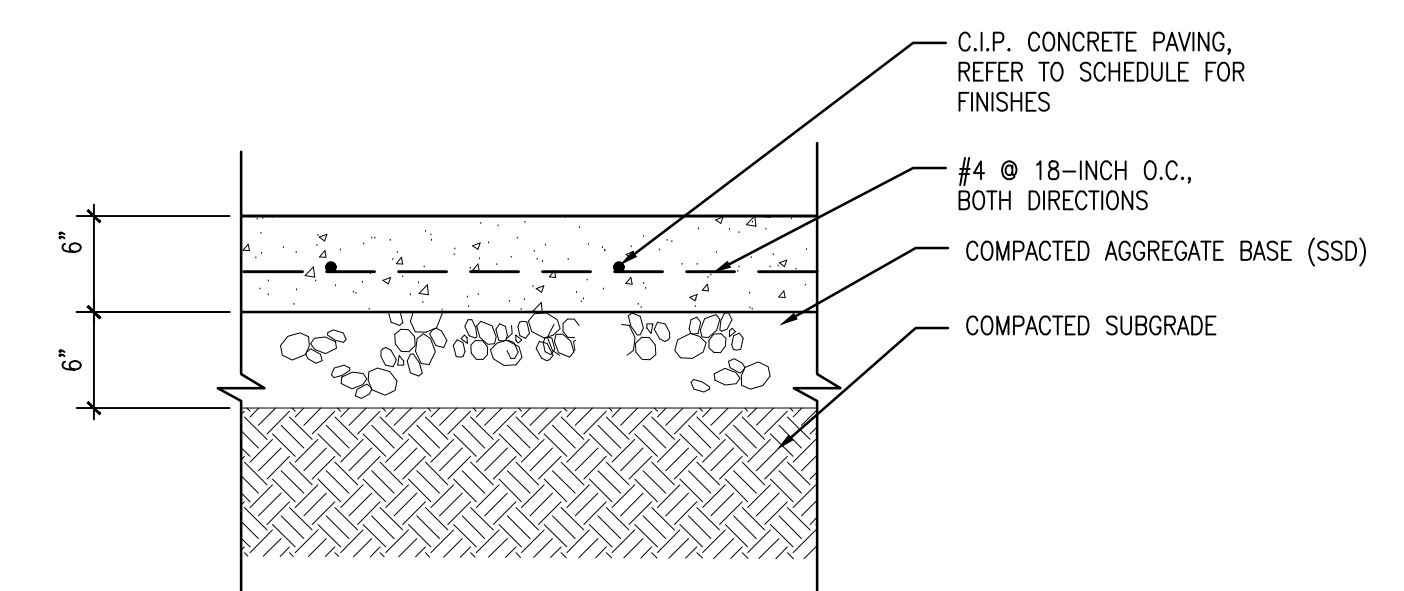
NOTE: STAIR FOOTING SHALL ACHIEVE AT LEAST 6" OF EMBEDMENT INTO COMPETENT ALLUVIUM AND/OR ENGINEERED FILL, AS DETERMINED BY A REPRESENTATIVE OF MURRAY ENGINEERS.



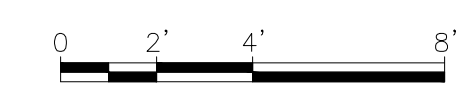
07 C.I.P. CONCRETE BAND
 SCALE: 1" = 1' - 0"



04 C.I.P. CONCRETE CURB
 SCALE: 1" = 1' - 0"

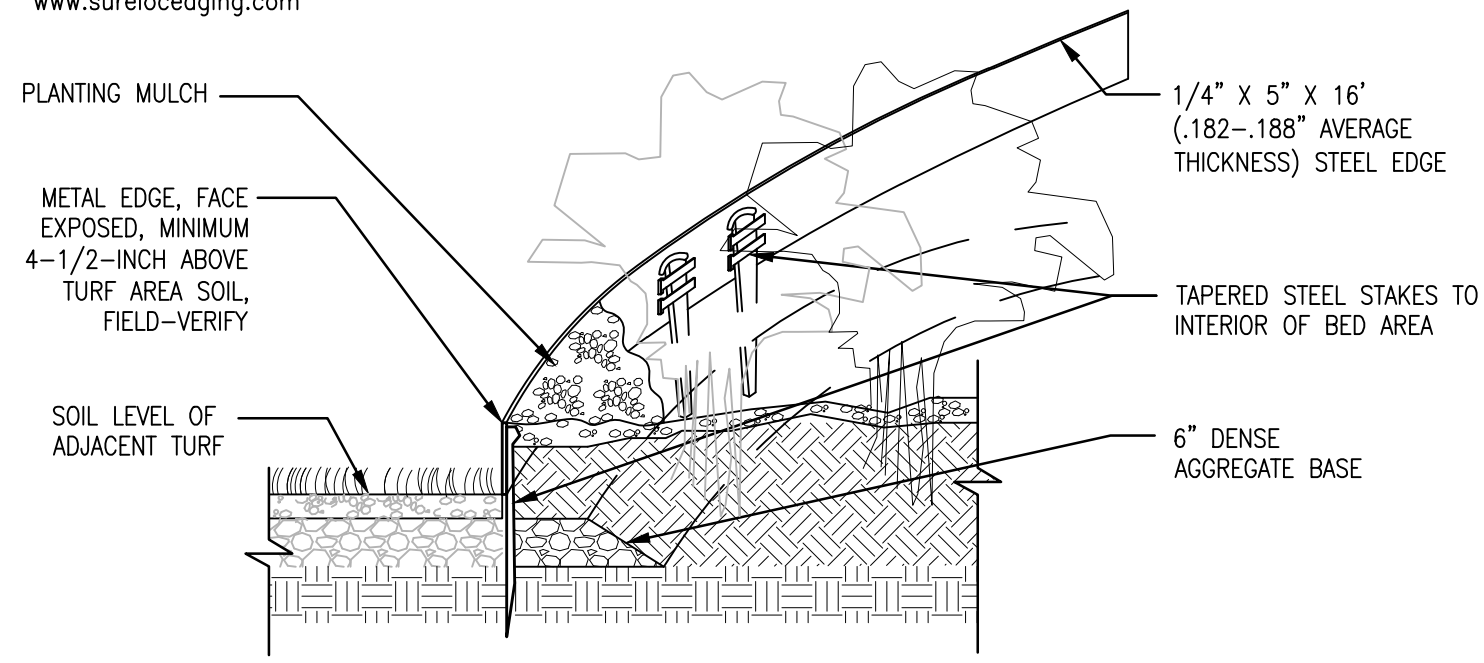


01 P1 & P2 - CIP CONCRETE PAVING
 SCALE: 1" = 1' - 0"



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 PLOT DATE: 05-02-21
 PLOTTED BY: Almo

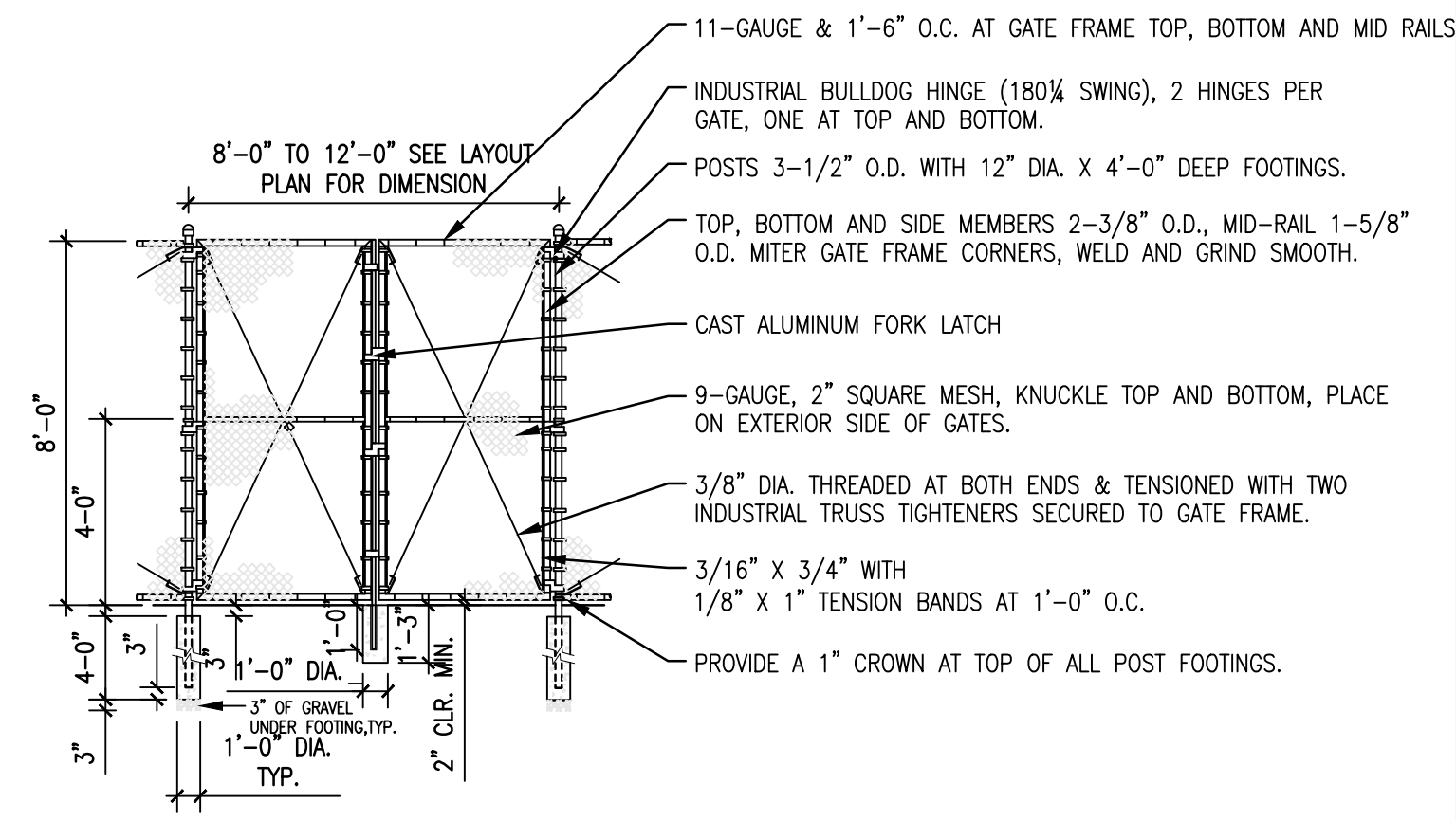
SURE-LOC ALUMINUM EDGING CORPORATION
 494 EAST 64TH STREET
 HOLLAND, MI 49423
 TOLL FREE: (800) 787-3562
 PHONE: (616) 392-3209
 FAX: (616) 392-5134
 www.surelocedging.com



- NOTES:
- CONTRACTORS NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 200-003.
 - STEEL EDGING TO BE INSTALLED 4-1/2-INCH ABOVE ADJACENT FINISH GRADE, AS DIRECTED ON FIELD BY OWNER.



F5 - GARDEN EDGE REFERENCE IMAGE



F2 - CHAIN LINK GATE, TYP.
 SCALE: 12" = 1' - 0"

LEGEND

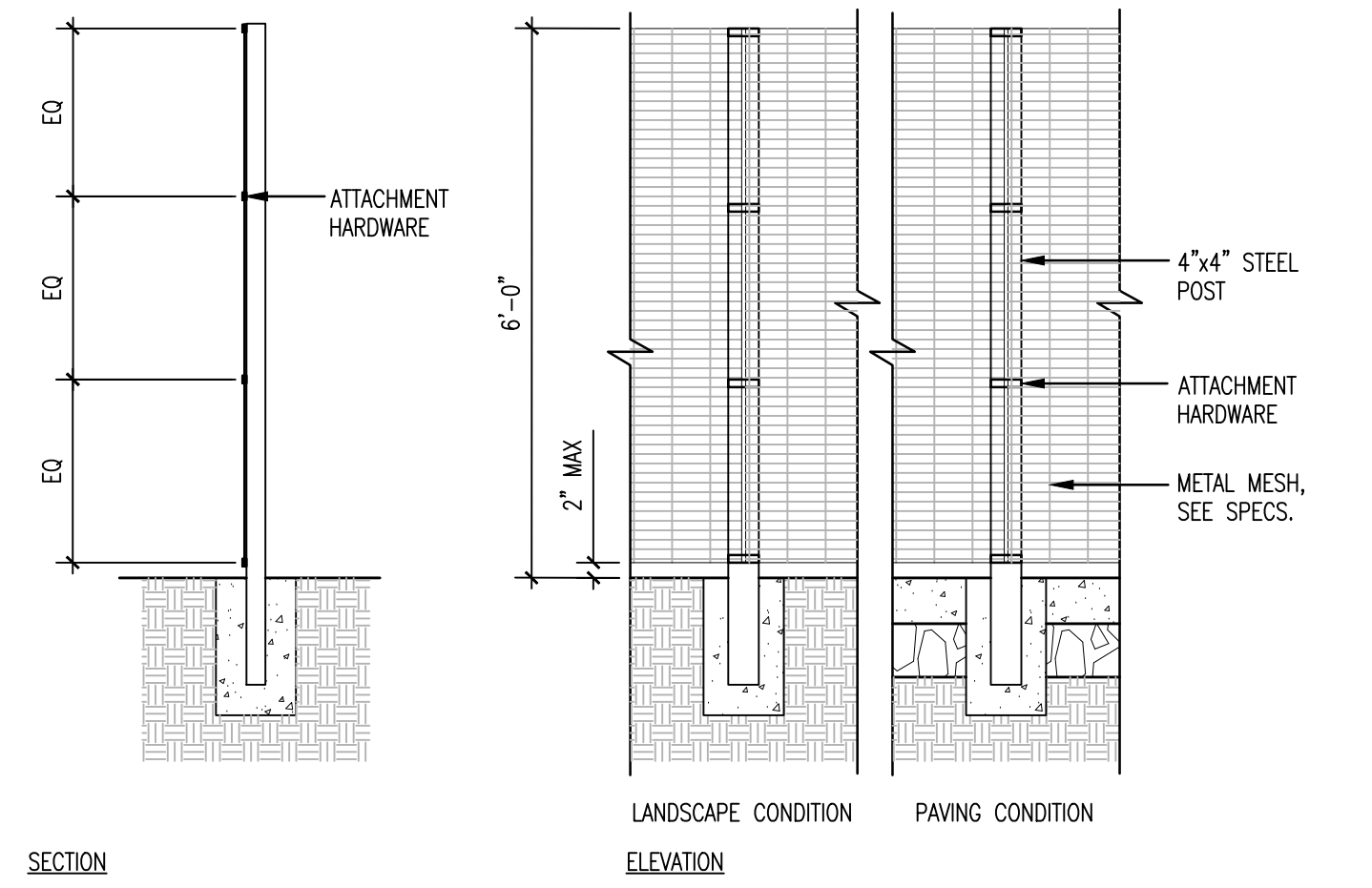
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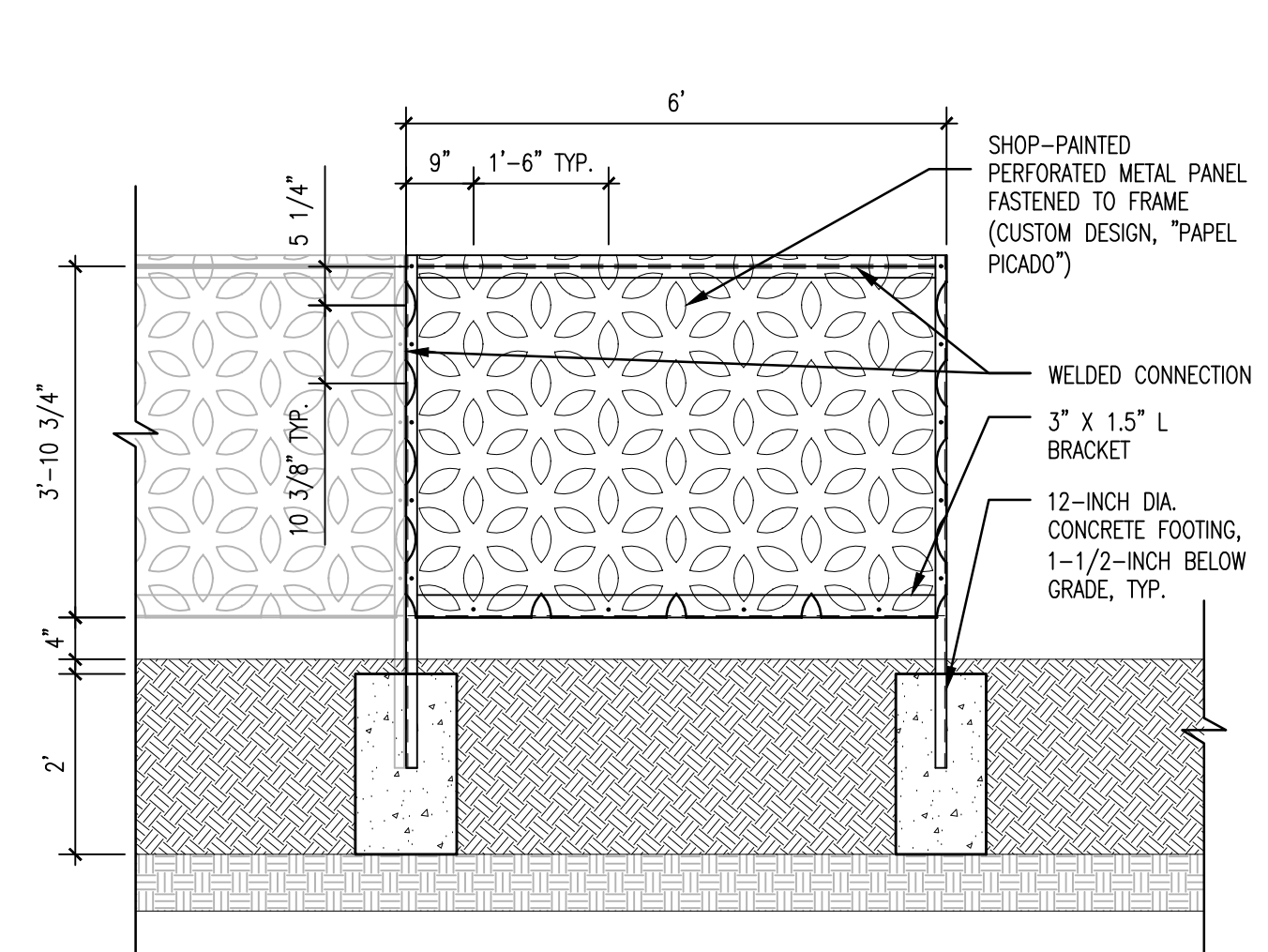
PROJECT MANAGER I
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CIP COORDINATOR

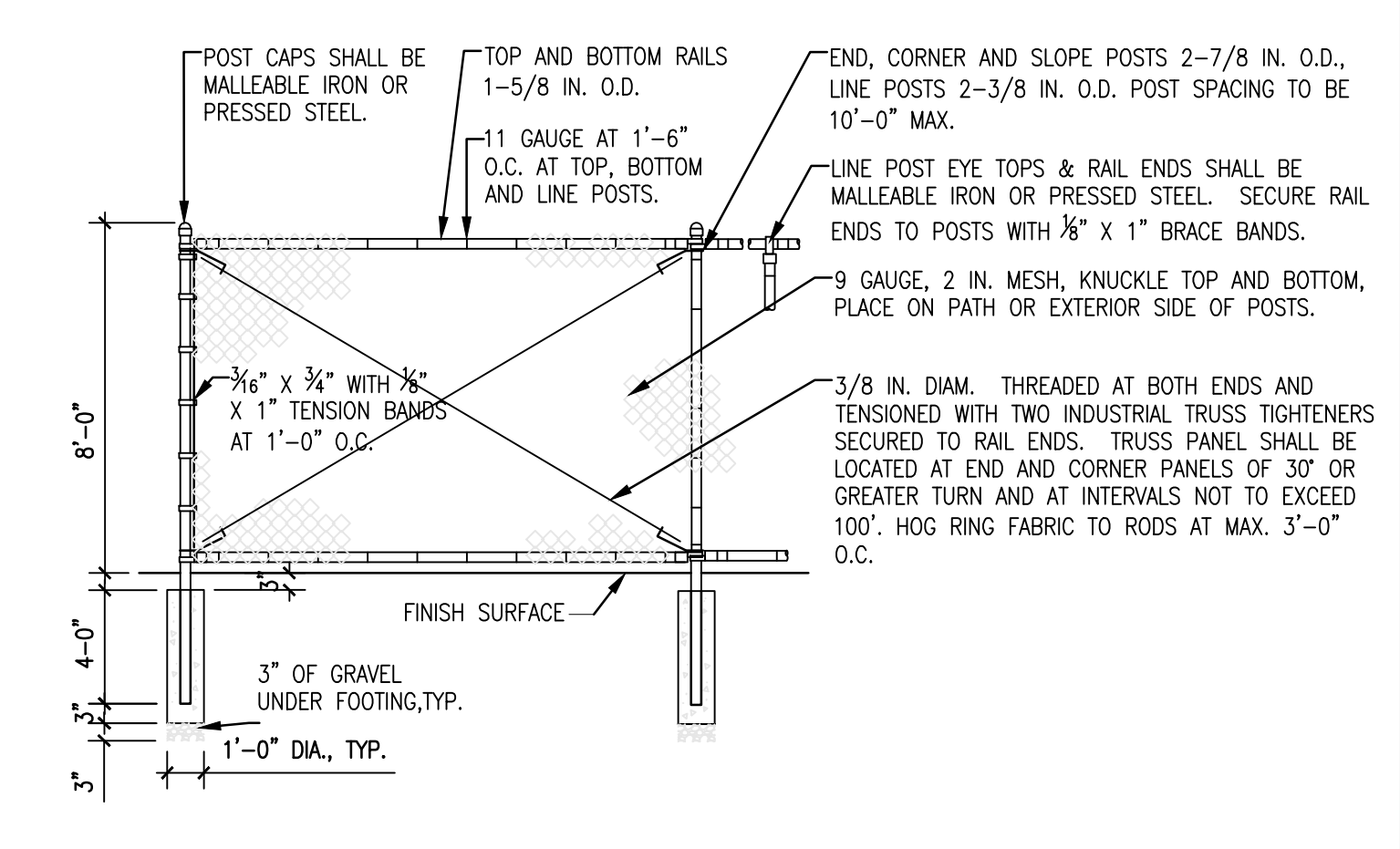
09 F5 - GARDEN BORDER, STEEL METAL EDGE, TYP.
 SCALE: 3/4" = 1' - 0"



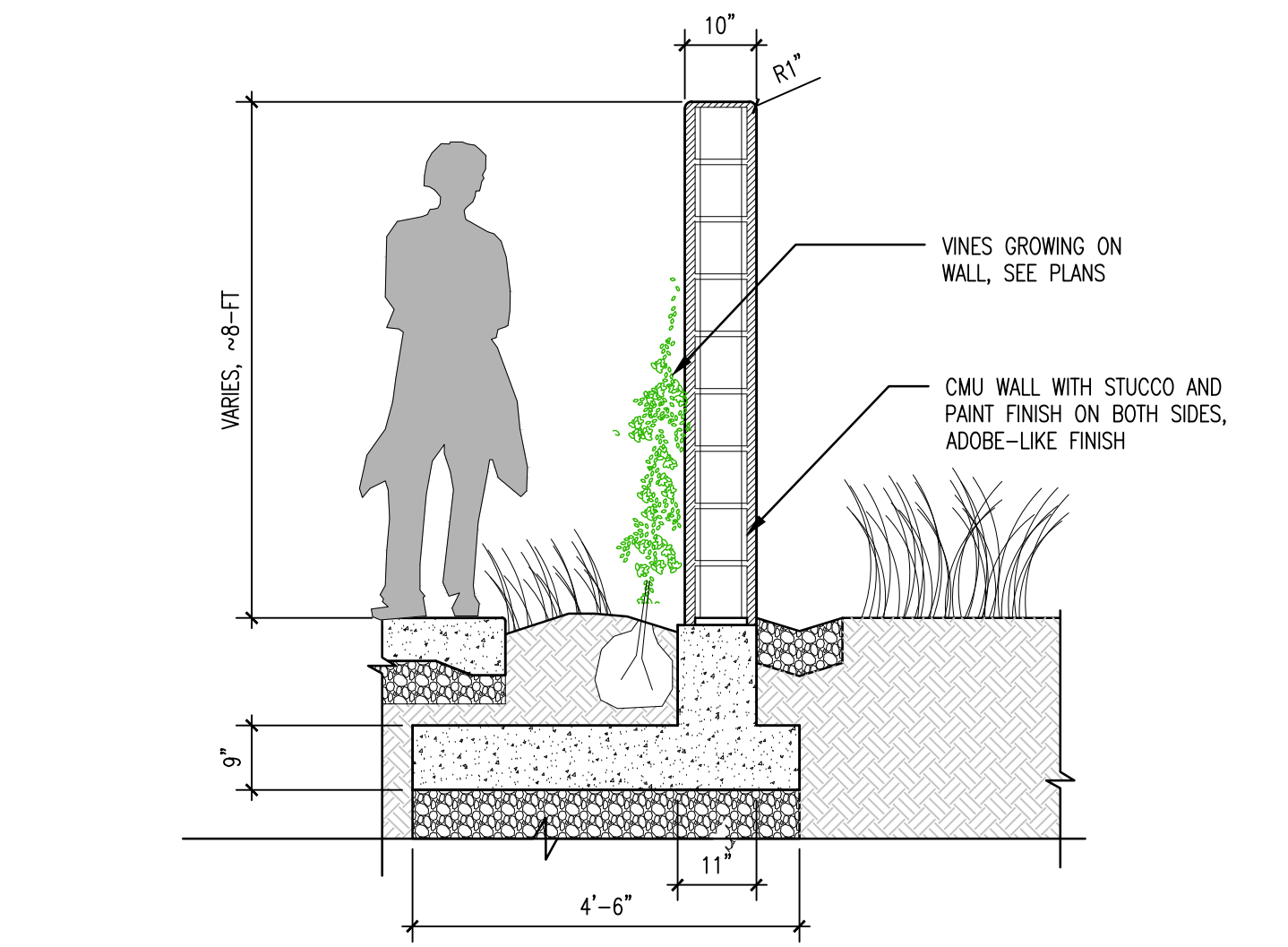
08 F4 - METAL MESH FENCE, TYP.
 SCALE: 1/2" = 1' - 0"



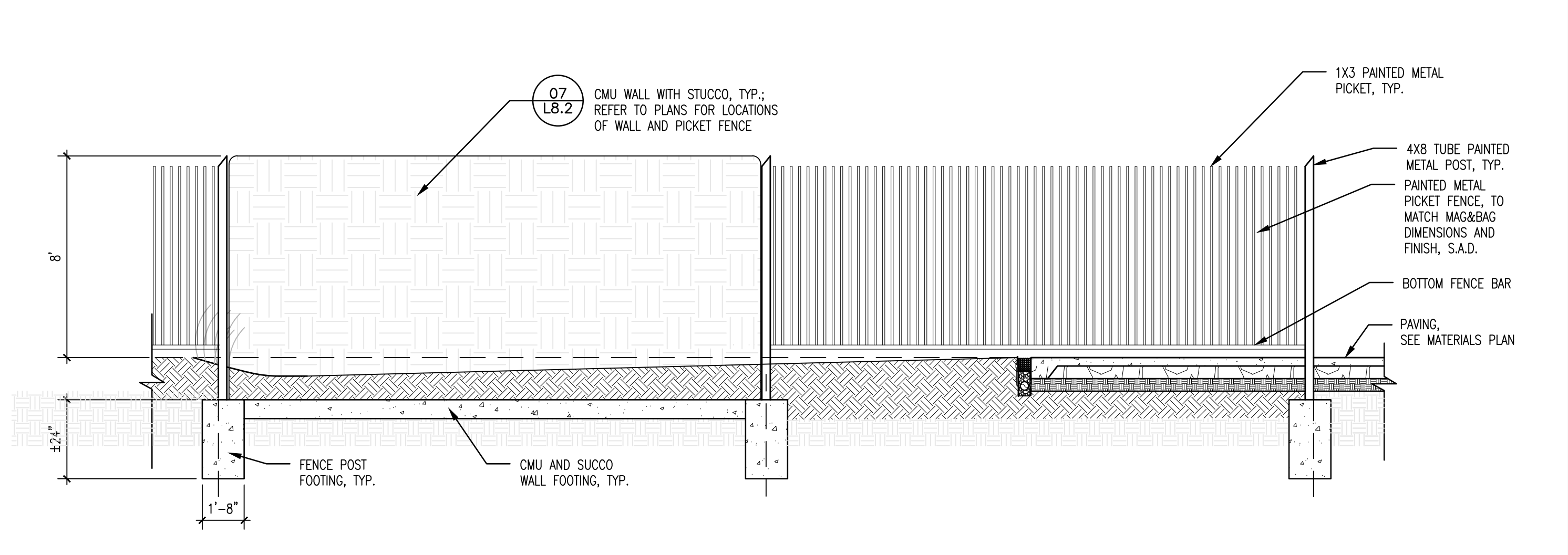
05 F3 - CHILDREN PROTECTIVE FENCE
 SCALE: 1/2" = 1' - 0"



02 F2 - CHAIN LINK FENCE, TYP.
 SCALE: 12" = 1' - 0"



07 F1 - CMU WALL WITH STUCCO
 SCALE: 1/2" = 1' - 0"



04 F1 - PERIMETER PICKET AND WALL FENCE
 SCALE: 1/4" = 1' - 0"

NOT FOR CONSTRUCTION

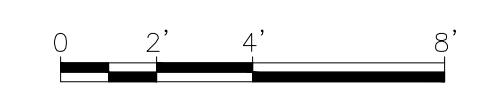
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No.	DATE	ISSUE DESCRIPTION
04/30/2021		SCHEMATIC DESIGN - 30% DWGS

PROJECT INFORMATION

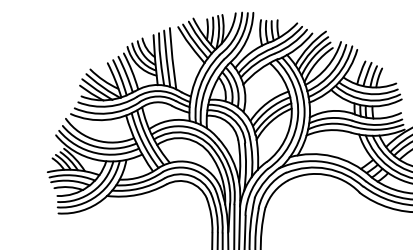
PERALTA HACIENDA HISTORICAL PARK
 PHASE 4B
 2465 34TH AVENUE, OAKLAND, CA 94601
 PROJECT NO. TBD

SHEET NAME
LANDSCAPE DETAILS - FENCING

SHEET NO.
L8.2



DRAWING NAME: LANDSCAPE DETAILS - FENCING
 PLOT DATE: 05-02-21
 PLOTTED BY: Almo
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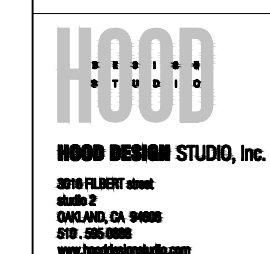
PROJECT MANAGER I

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No.	DATE	ISSUE DESCRIPTION
04/30/2021		SCHEMATIC DESIGN - 30% DWGS

PROJECT INFORMATION

PERALTA HACIENDA HISTORICAL PARK
 PHASE 4B
 2465 34TH AVENUE, OAKLAND, CA 94601
 PROJECT NO. TBD

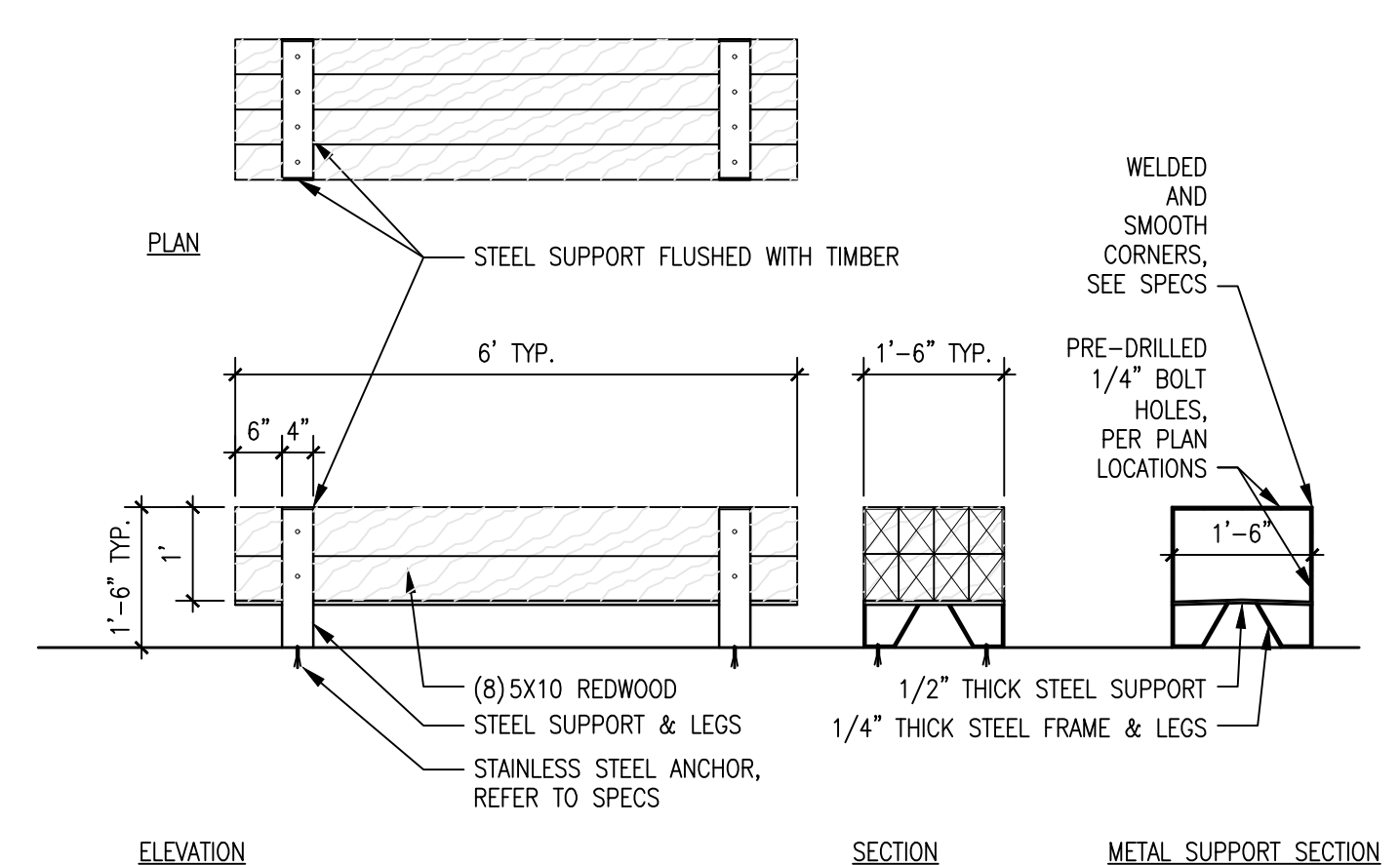
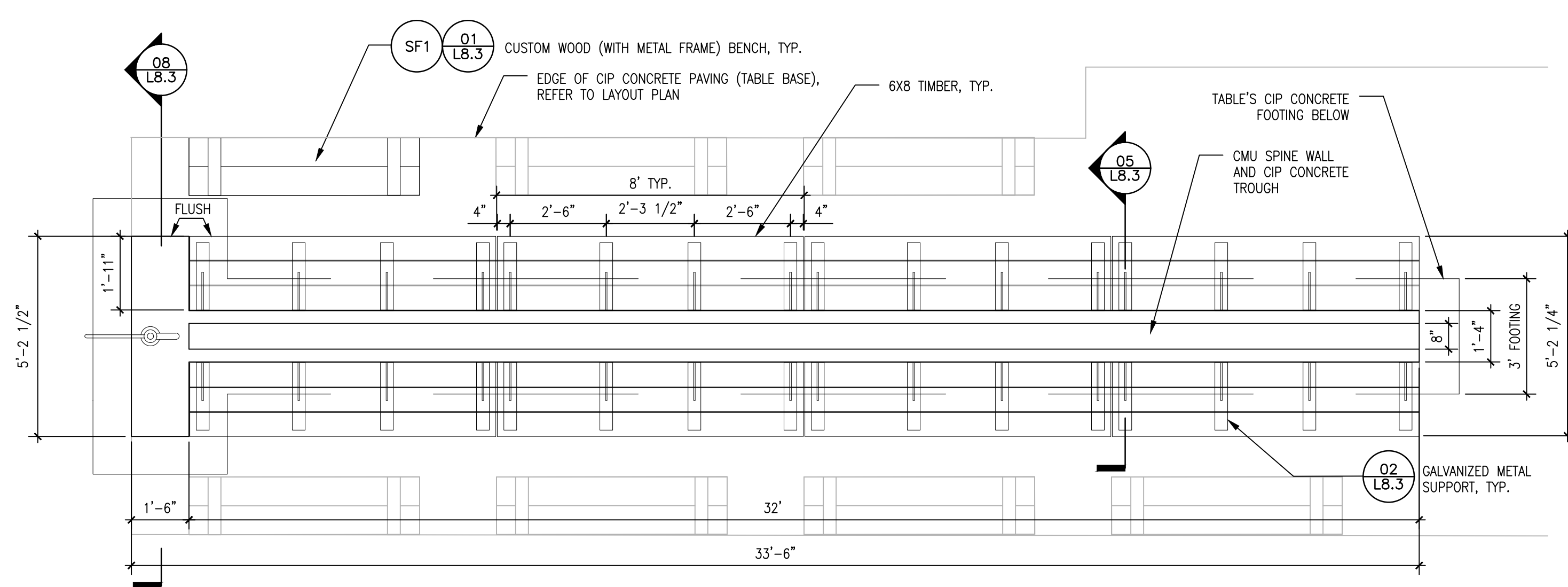
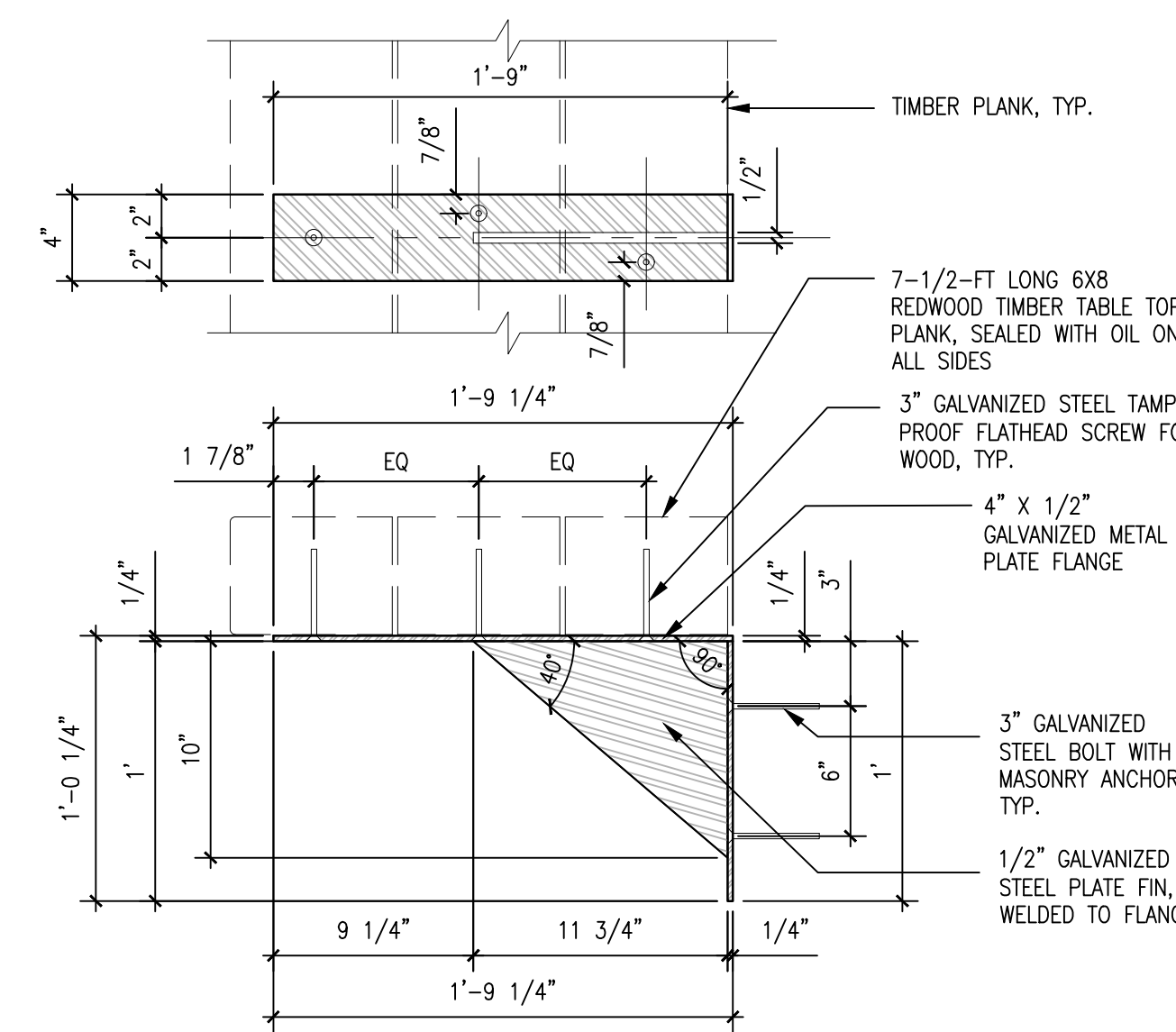
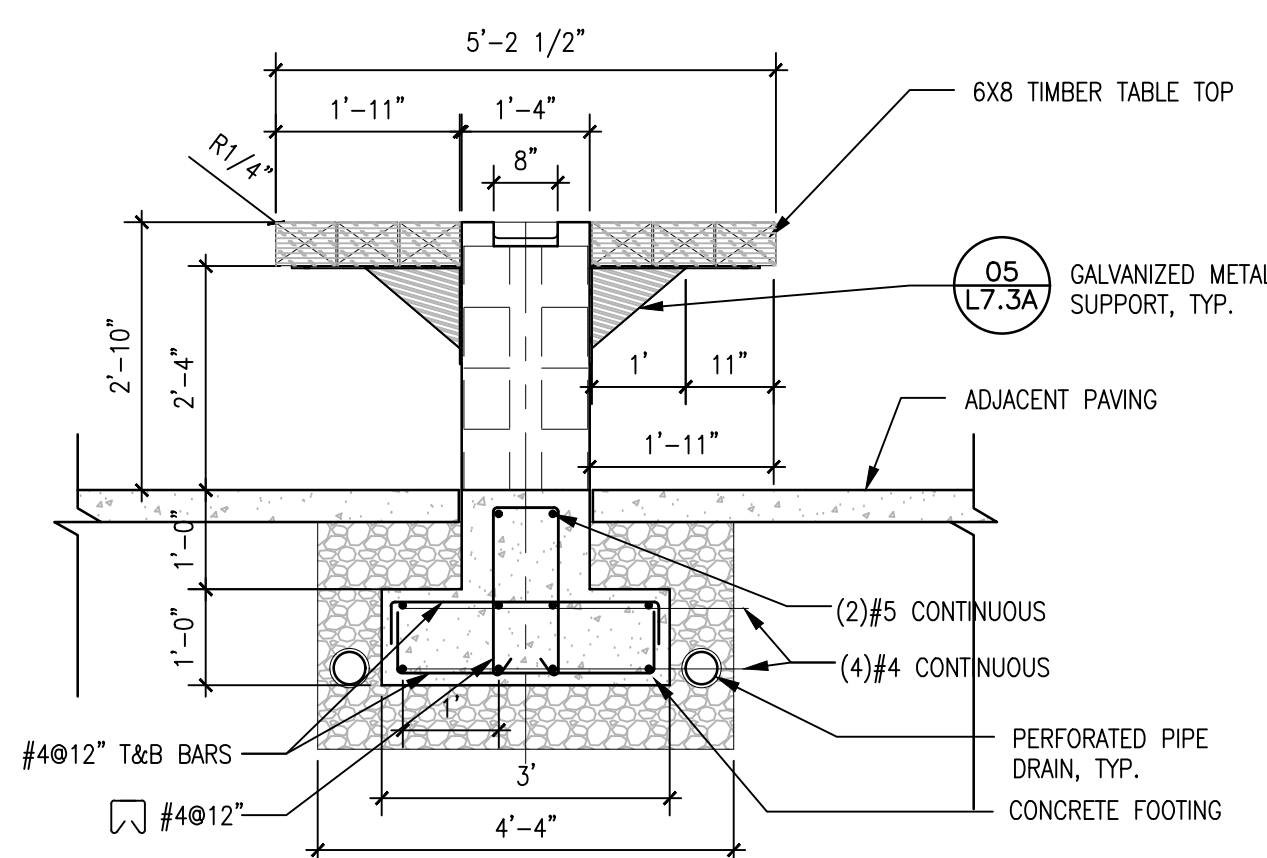
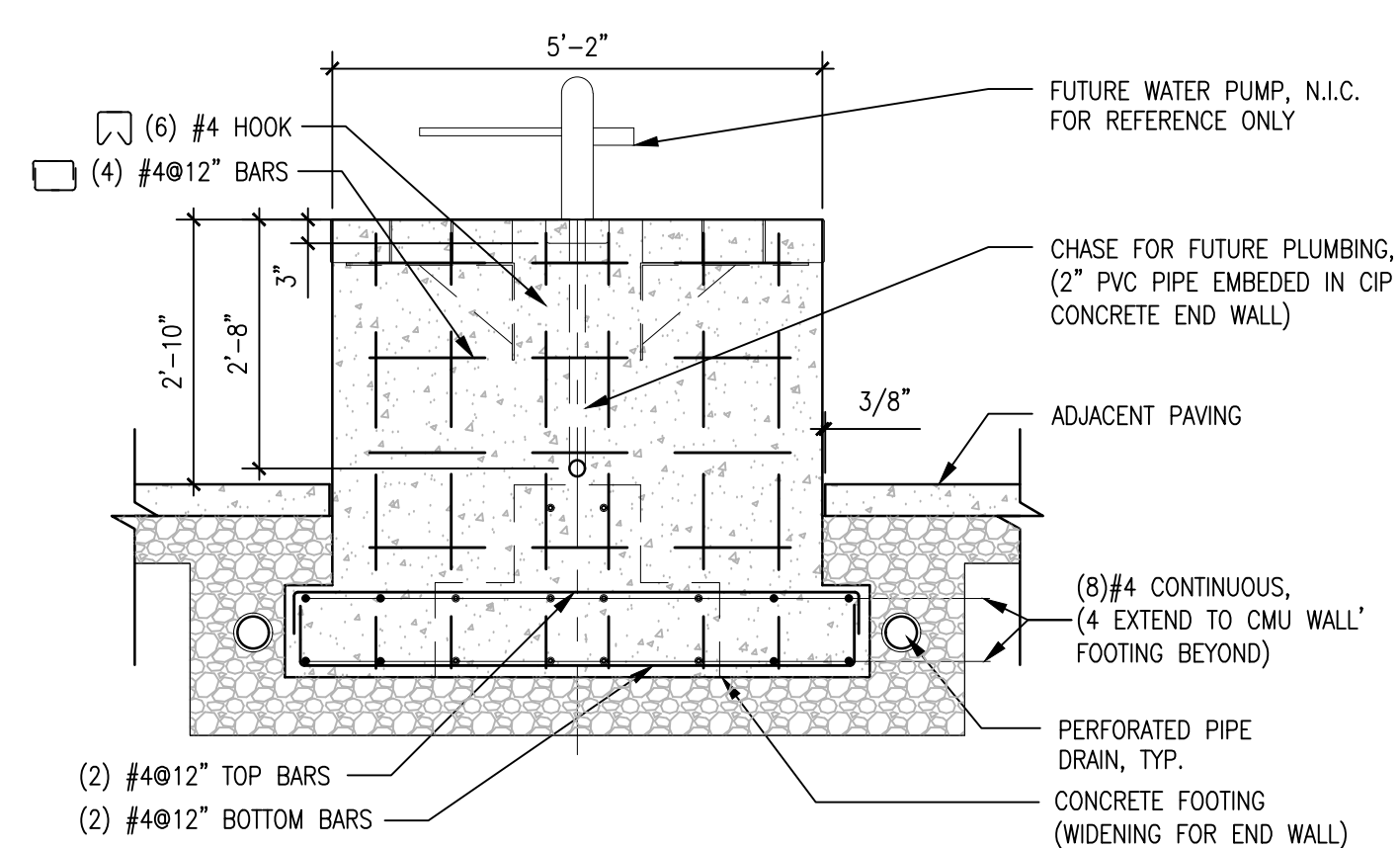
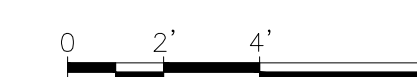
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**LANDSCAPE DETAILS –
 FURNISHINGS & COMM. TABLE**

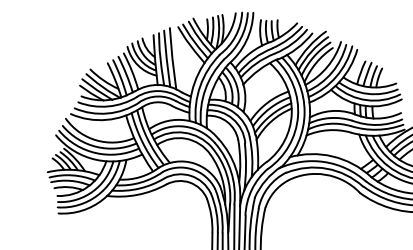
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L8.3

LEGEND



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 Almo
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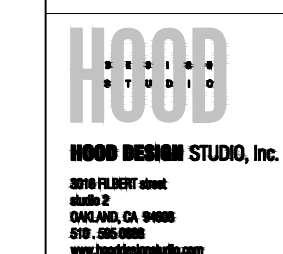
PROJECT MANAGER I

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PROJECT INFORMATION

PERALTA HACIENDA HISTORICAL PARK
 PHASE 4B
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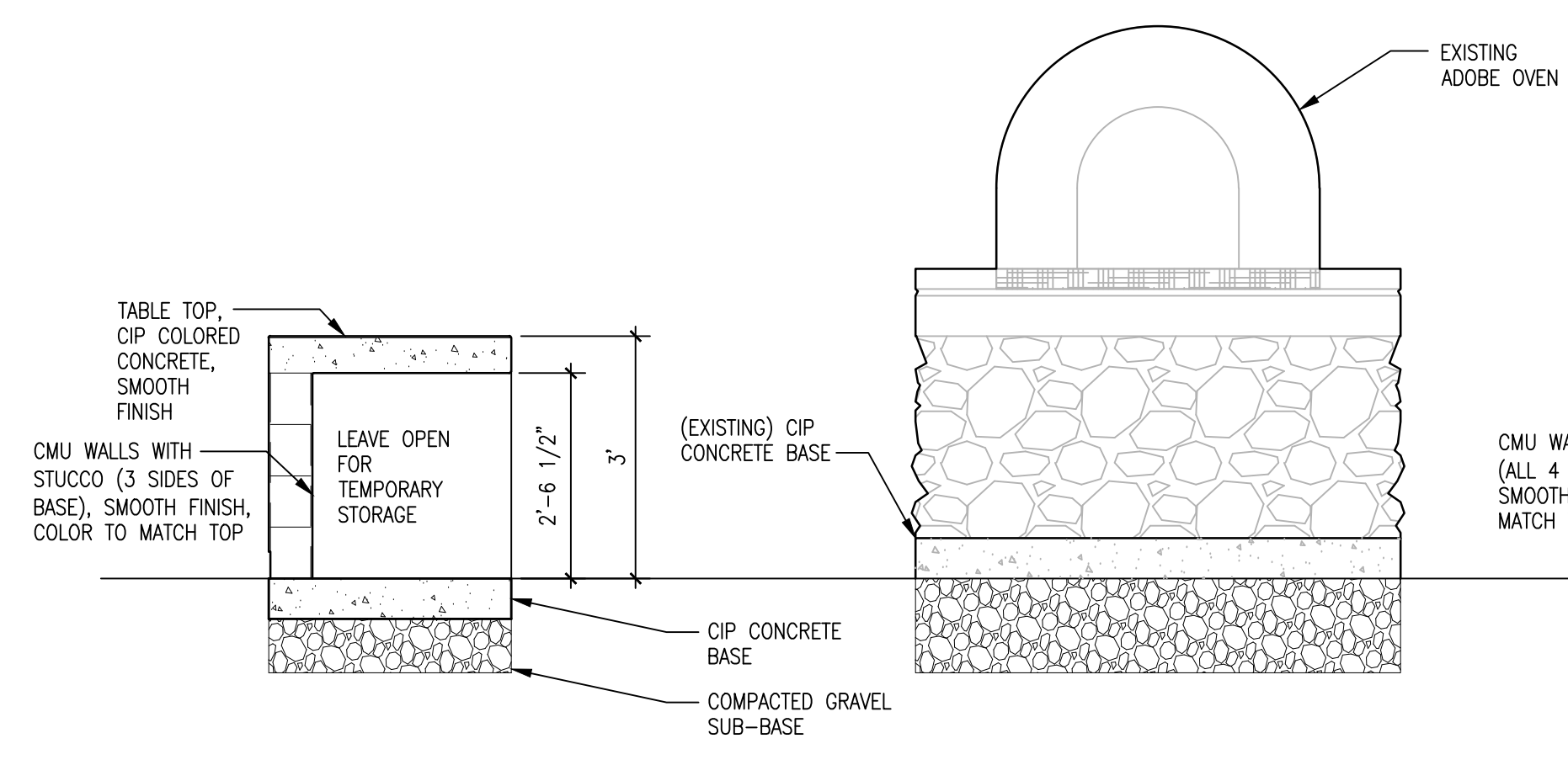
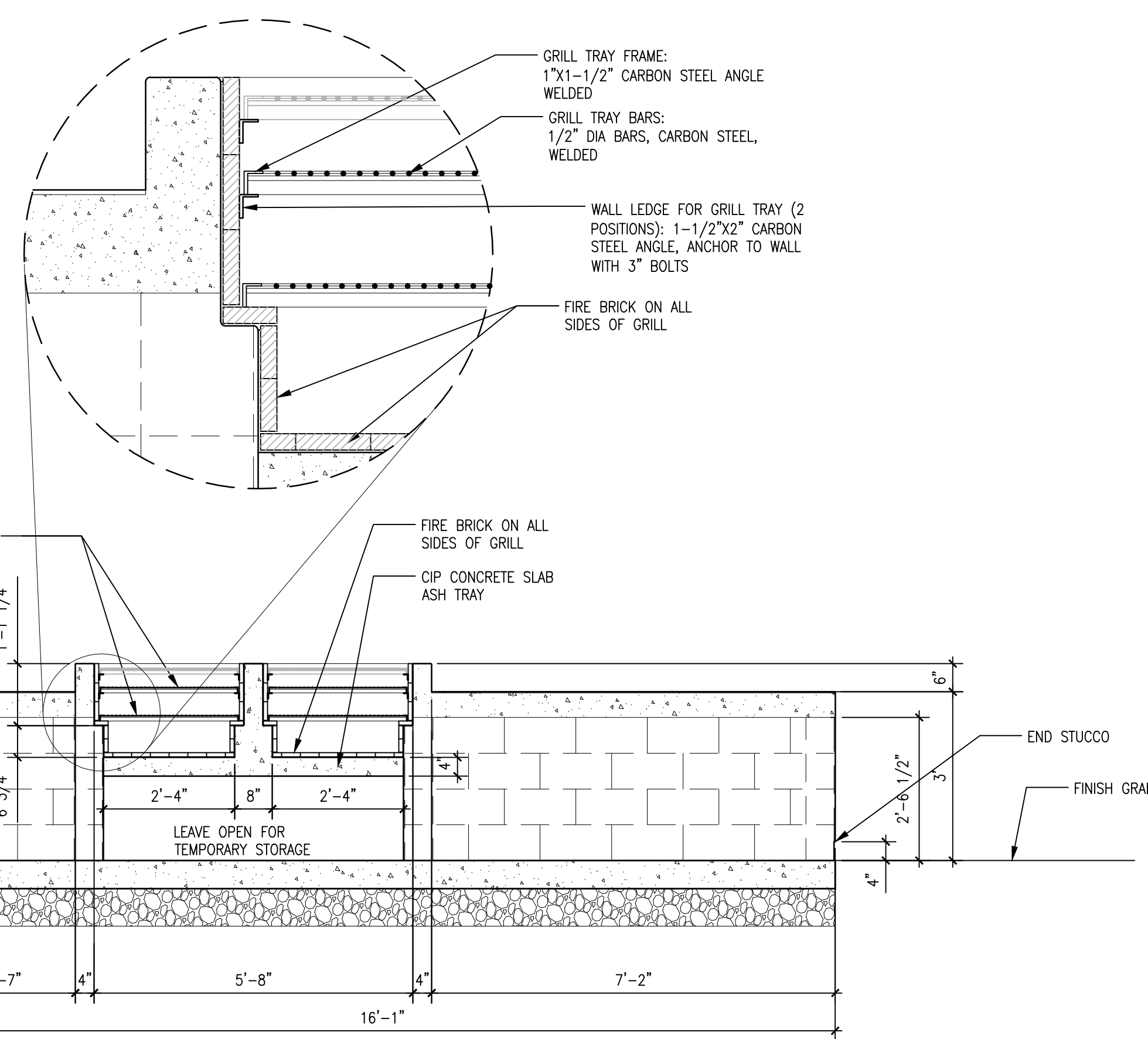
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**LANDSCAPE DETAILS –
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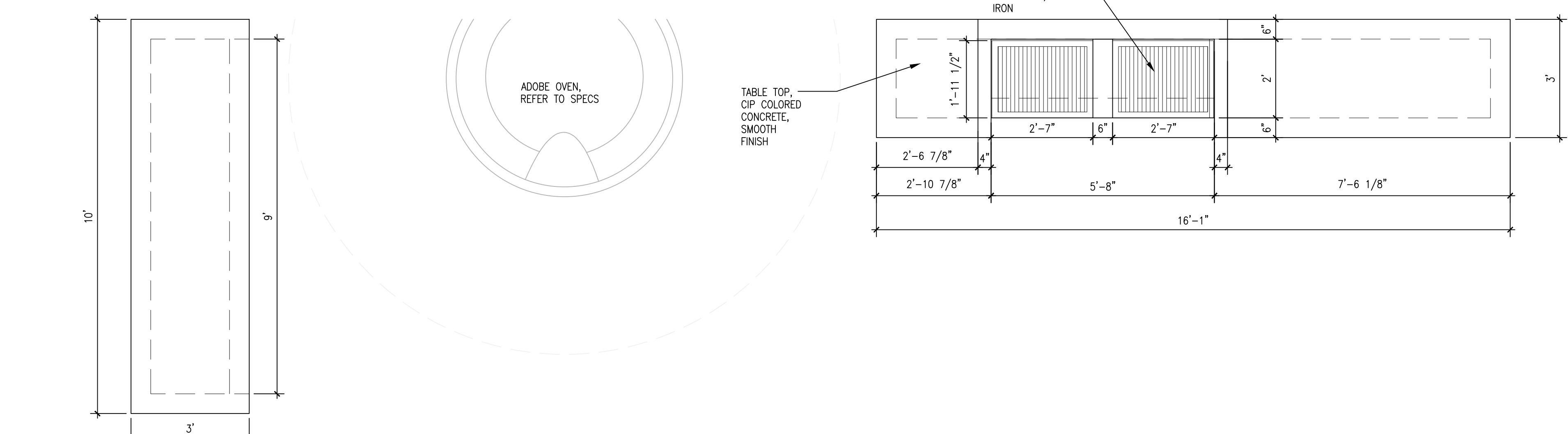
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L8.4

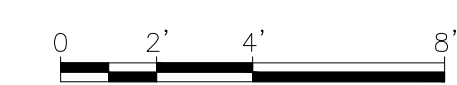
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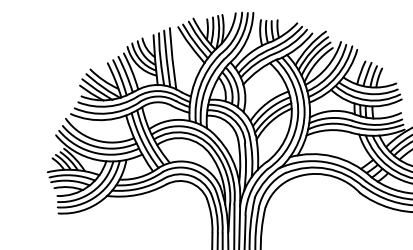
08 GRILL BASE + WOOD STORAGE BASE – ELEVATION
 SCALE: 1/2" = 1' - 0"



07 GRILL BASE + WOOD STORAGE BASE – PLAN VIEW
 SCALE: 1/2" = 1' - 0"



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 PLOT DATE: 05-02-21
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 2000 CALIFORNIA STREET
 OAKLAND, CA 94612
 www.hooddesignstudio.com

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 PHASE 4B
 2465 34TH AVENUE, OAKLAND, CA 94601
 PROJECT NO. TBD

SHEET NAME

**LANDSCAPE DETAILS -
 RAILINGS & EDGES**

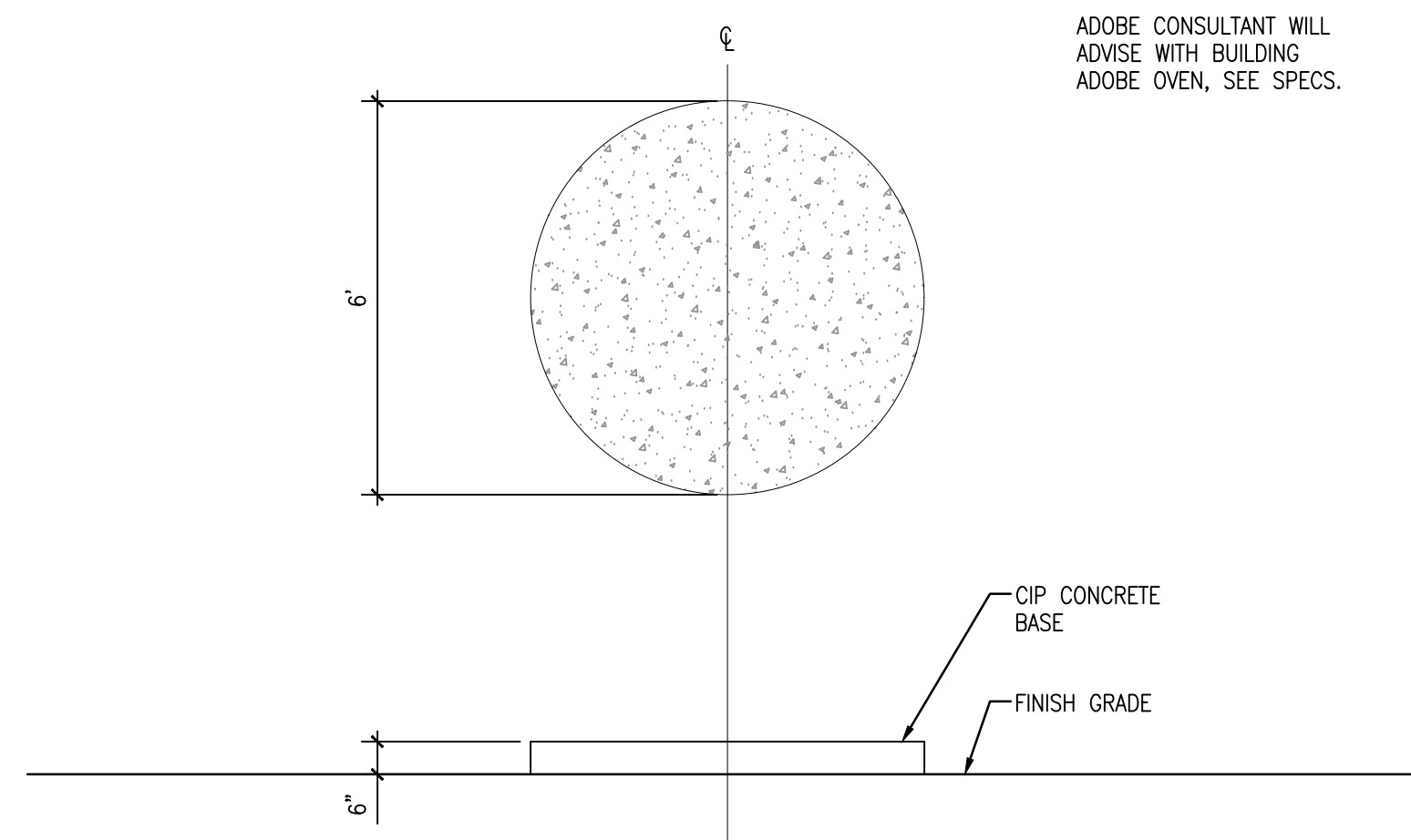
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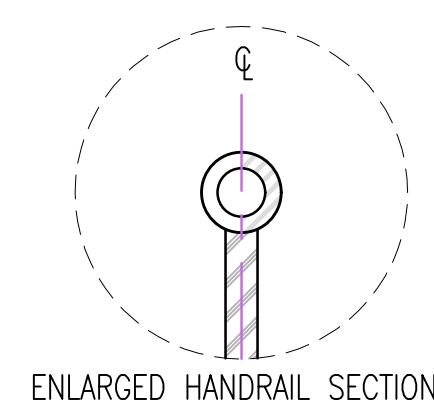
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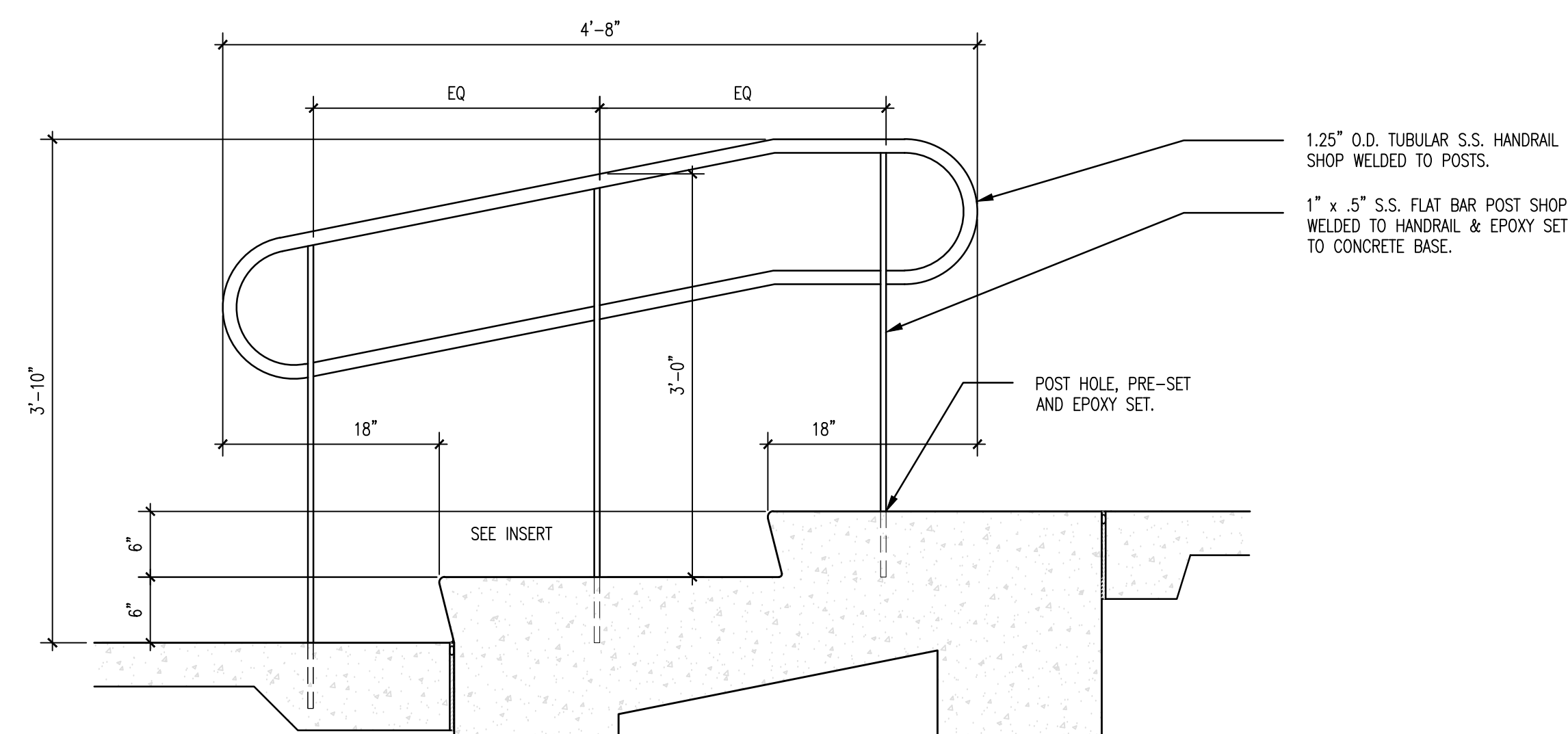
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 ADVISE WITH BUILDING
 ADOBE OVEN, SEE SPECS.



03 HISTORIC WELL MEDALLION
 SCALE: 3/8" = 1' - 0"

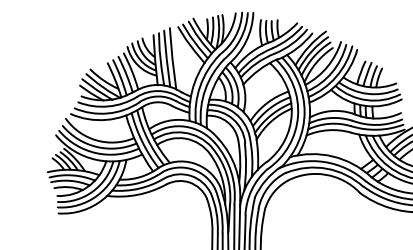


ENLARGED HANDRAIL SECTION



01 STAINLESS STEEL RAILING AT PAVILION EDGE, TYPICAL
 SCALE: 1" = 1'-0"

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 Alina
 PLOT DATE: 05-02-21
 DRAWING NAME:
 PLOTTED BY:



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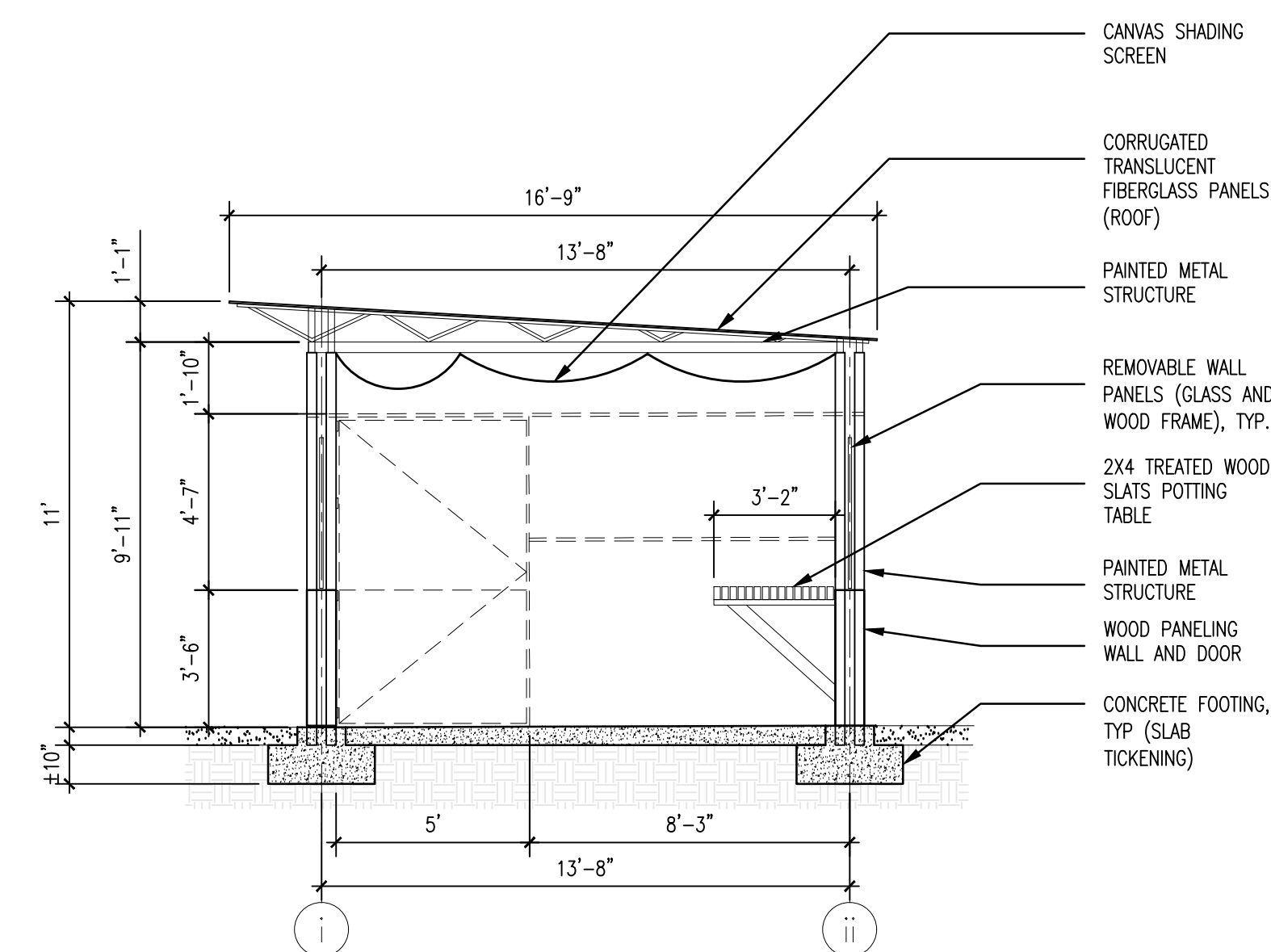
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**LANDSCAPE DETAILS –
 POTTING SHED**

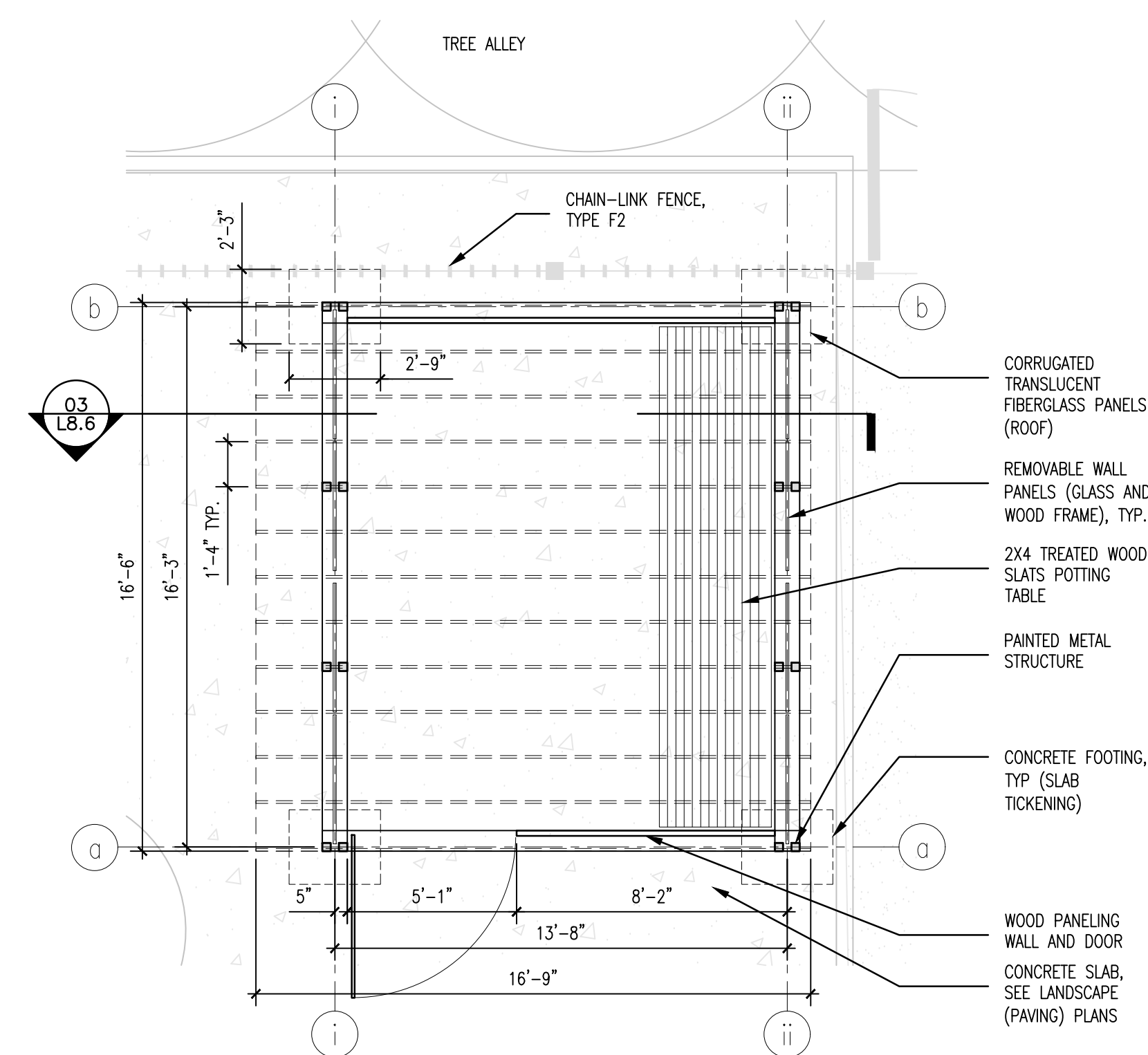
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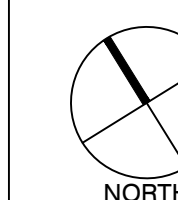
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 SCALE: 1/4"=1'-0"



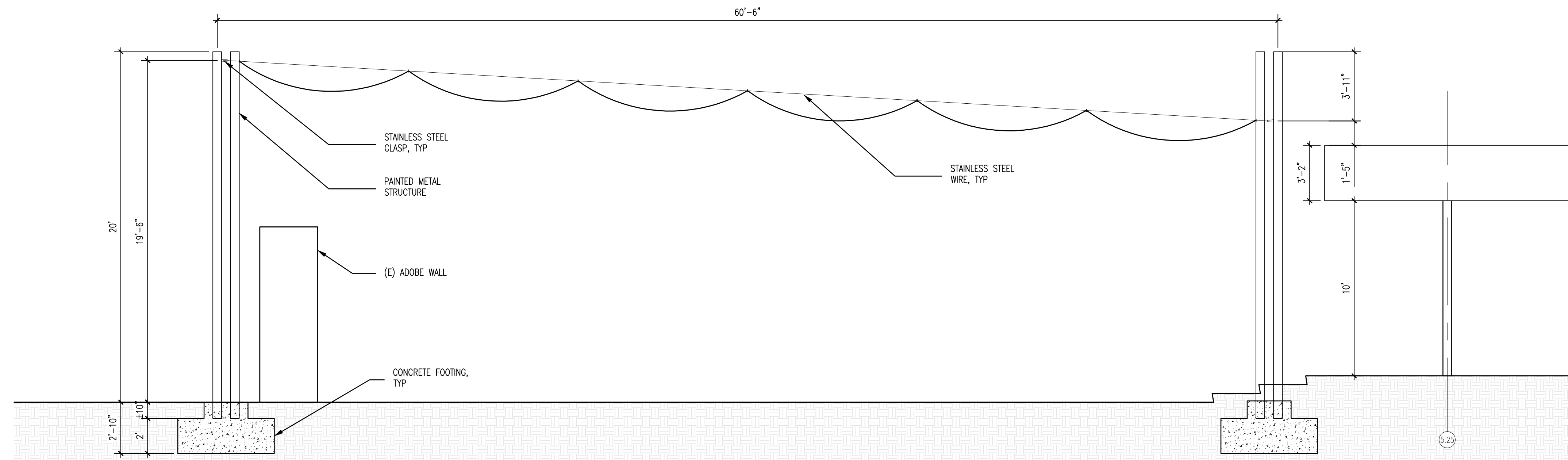
01 POTTING SHED PLAN
 SCALE: 1/4"=1'-0"



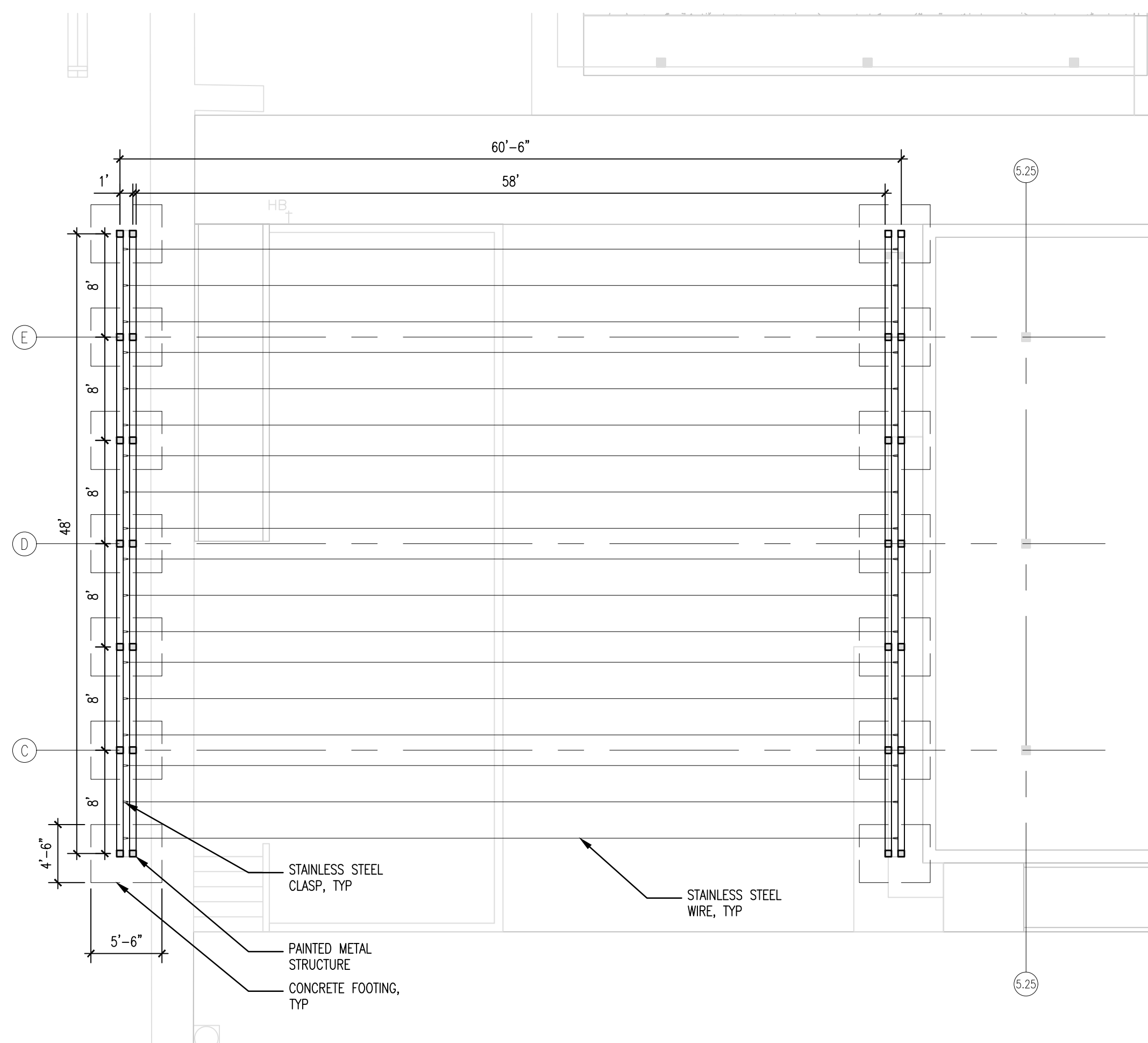
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 SCALE: NTS



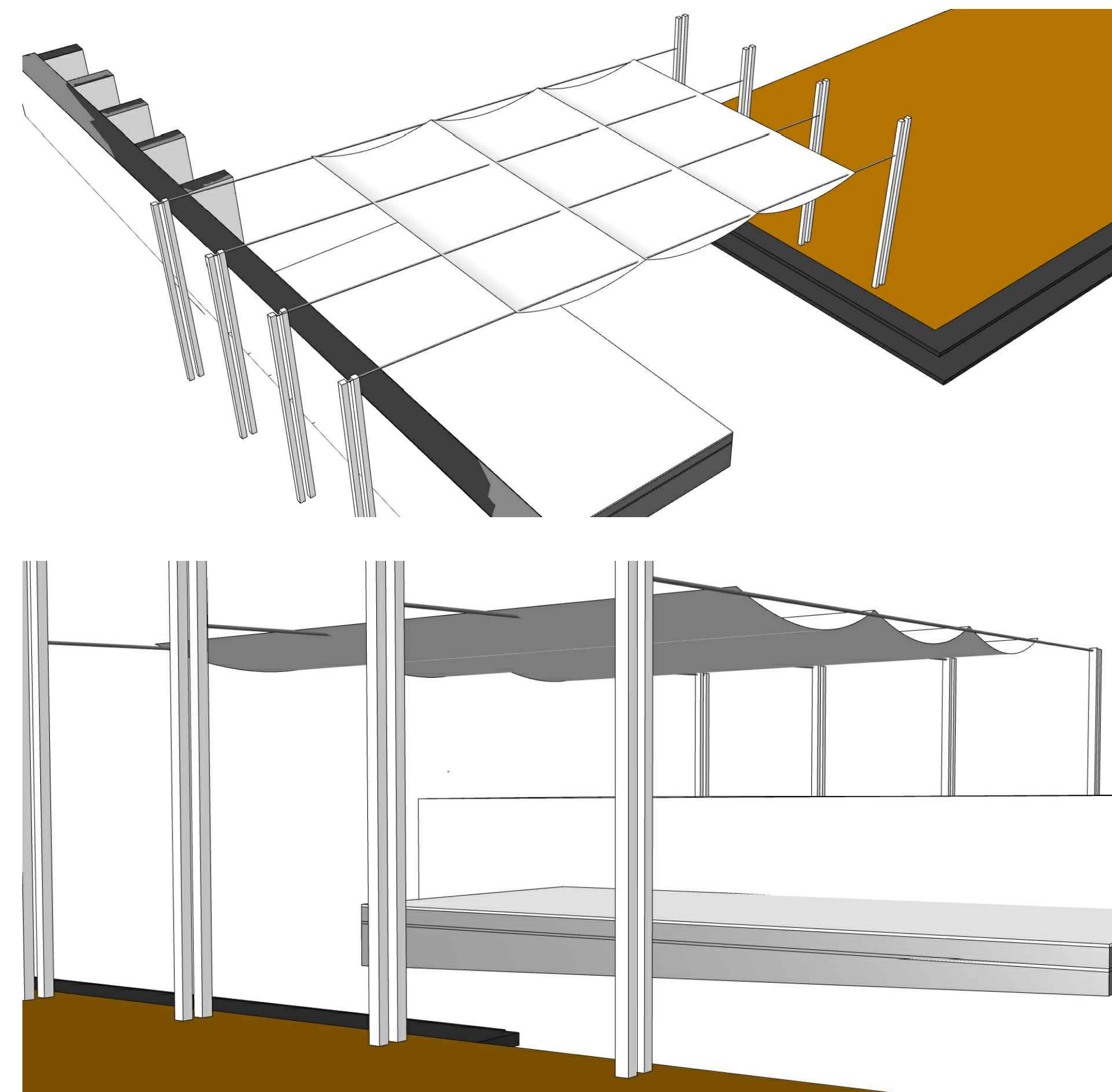
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 PLOT DATE: 05-02-21
 PLOTTED BY: Almo



03 SHADE STRUCTURE SECTION
SCALE: 1/4"=1'-0"

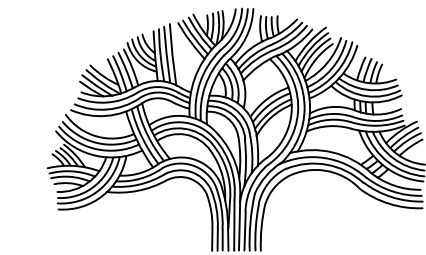


02 SHADE STRUCTURE PLAN
SCALE: 1/8"=1'-0"



01 SHADE STRUCTURE VIEWS
SCALE: NTS

LEGEND



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ARCHITECTS AND
INTERIORS
2000 CALIFORNIA STREET
SAN FRANCISCO, CA 94109
www.hooddesignstudio.com

No.	DATE	ISSUE DESCRIPTION
	04/30/2021	SCHEMATIC DESIGN - 30% DWGS

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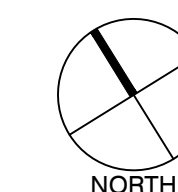
PERALTA HACIENDA HISTORICAL PARK
PHASE 4B
2465 34TH AVENUE, OAKLAND, CA 94601
PROJECT NO. TBD

SHEET NAME

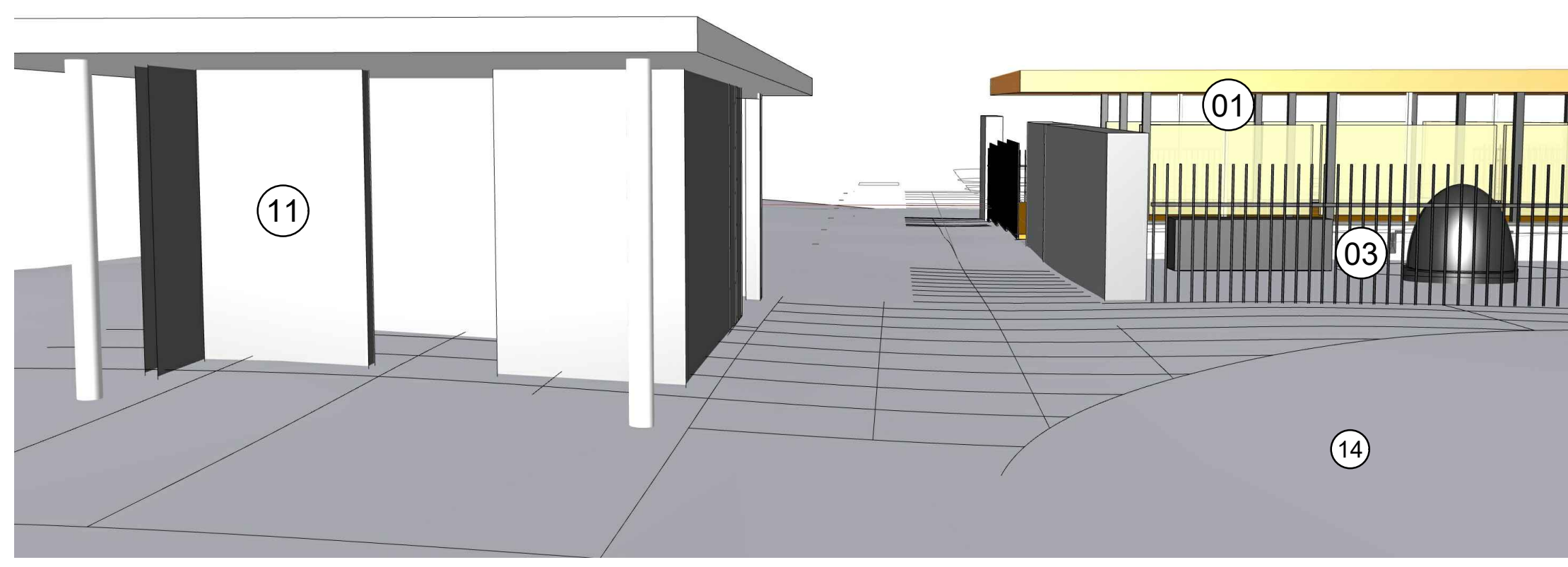
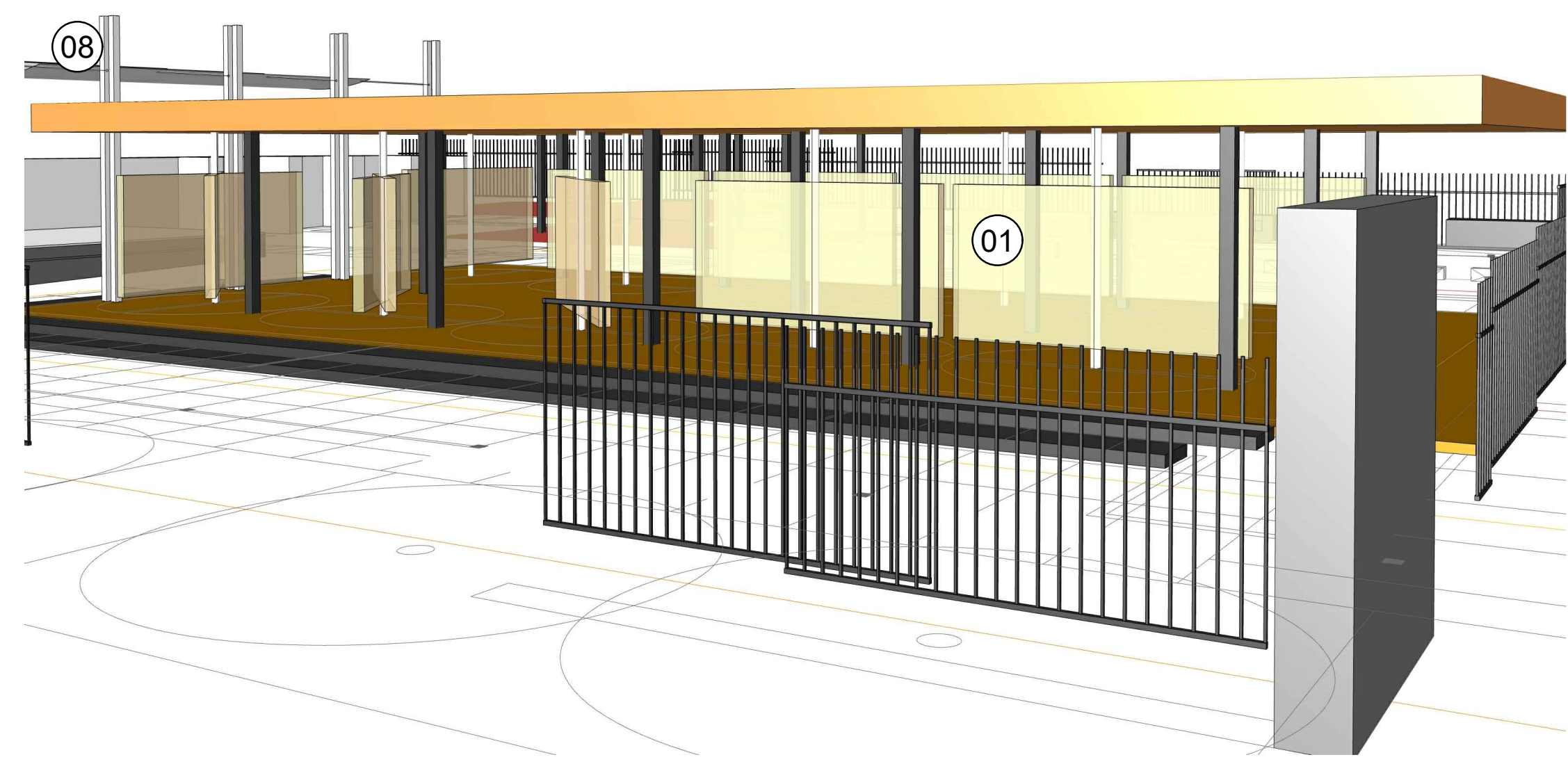
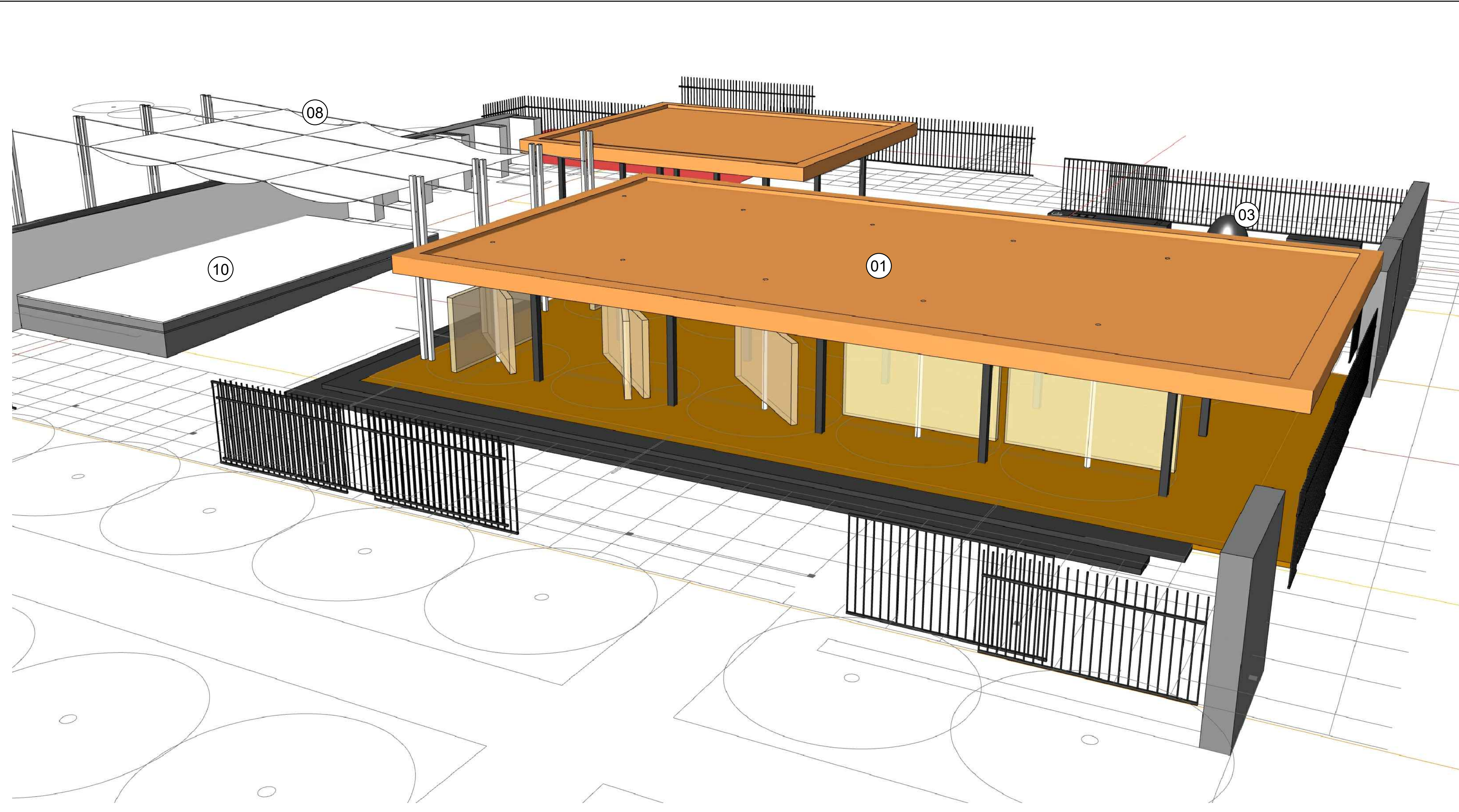
**LANDSCAPE DETAILS -
SHADE STRUCTURE**

SHEET NO.

L8.7



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PLOT DATE: 05-02-21
PLOT BY: Almo



01 PERALTA HACIENDA HISTORICAL PARK – ANNOTATED VIEWS (FOR REFERENCE)
SCALE: NTS

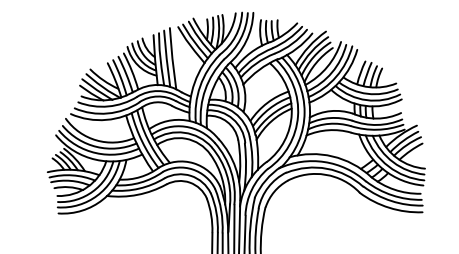
LEGEND

GRANT SCOPE ITEMS

- 01 CONSTRUCT NEW COMMUNITY ASSEMBLY STRUCTURE (RECREATIONAL FEATURE) --- INCLUDES FENCE AROUND HISTORIC CORE, LIGHTING, SECURITY, STORAGE, AND ART PANELS
- 02 RENOVATE COOLIDGE HOUSE INTO NEW YOUTH ACTIVITY CENTER --- INCLUDES SNACK SHACK AND STORAGE SHED
- 03 CONSTRUCT NEW FOOD EVENT AREA WITH WATER FEATURE, BANQUET TABLE, AND FRUIT TREES
- 04 CONSTRUCT NEW PLANTING AND INFRASTRUCTURE AT YOUTH MULTIPURPOSE FIELD --- INCLUDES LIGHTING AND BENCHES, FENCE ALONG COOLIDGE AVENUE, INSTALL BORDER AROUND AND REFURBISH NATIVE PLANT GARDEN
- 05 CONSTRUCT NEW LIGHTING THROUGHOUT THE PARK

FUTURE SCOPE ITEMS

- 06 CONSTRUCT (3) NEW GARDENS: A) ETHNO-BOTANICAL GARDEN, B) COMMUNITY GARDEN, C) BUTTERFLY GARDEN --- INCLUDES PAVING ASSOCIATED WITH GARDENS
- 07 CONSTRUCT NEW PUBLIC ART: A) NICHES IN ALCOVES ALONG ADOBE WALL, B) AT ADA RAMP DOWN TO CREEK, C) ALONG ALLEE [PERALTA HOUSE GATEWAY]
- 08 CONSTRUCT NEW AUDIENCE SHADE STRUCTURE
- 09 CONSTRUCT NEW POTTING SHED
- 10 RENOVATE STAGE
- 11 CONSTRUCT NEW RESTROOM
- 12 PLAYGROUND IMPROVEMENTS INCLUDES ART WALL AND EXPANDING EXISTING PLAY EQUIPMENT
- 13 ENHANCE OUL-DE-SAC PAVING FOR A PARK GATEWAY



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DESIGNED BY: AD
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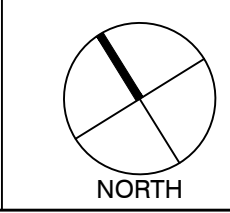


No.	DATE	ISSUE DESCRIPTION
04/30/2021	04/30/2021	SCHEMATIC DESIGN - 30% DWGS

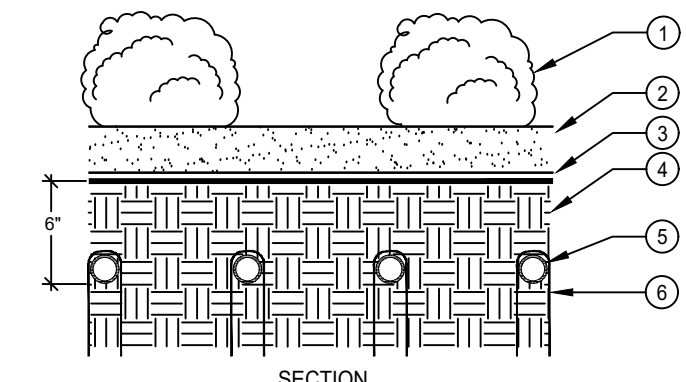
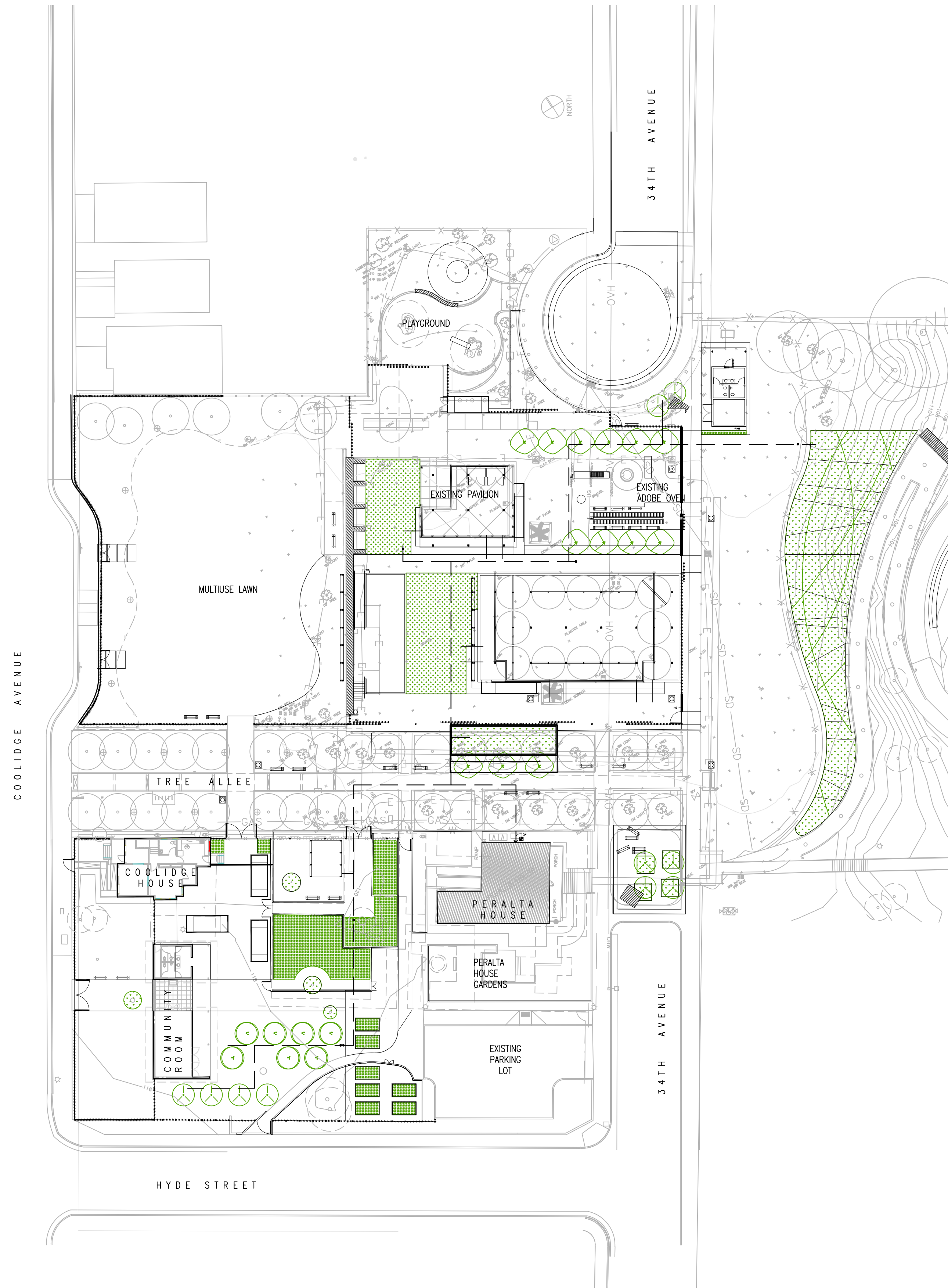
PROJECT INFORMATION
**PERALTA HACIENDA HISTORICAL PARK
PHASE 4B
2465 34TH AVENUE, OAKLAND, CA 94601
PROJECT NO. TBD**

SHEET NAME
**HISTORIC CORE VIEWS
(FOR REFERENCE)**

SHEET NO.
L9.1

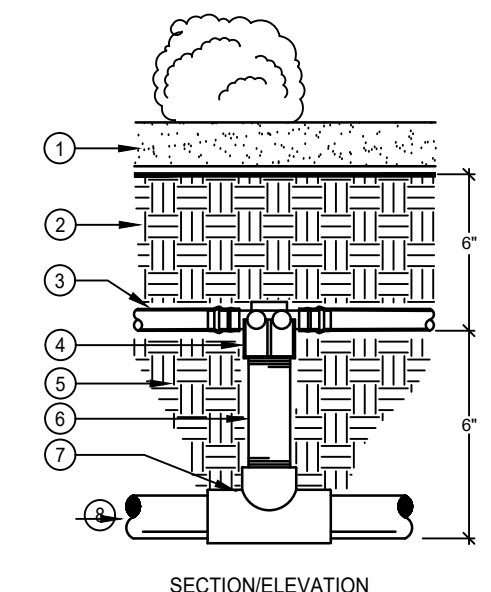


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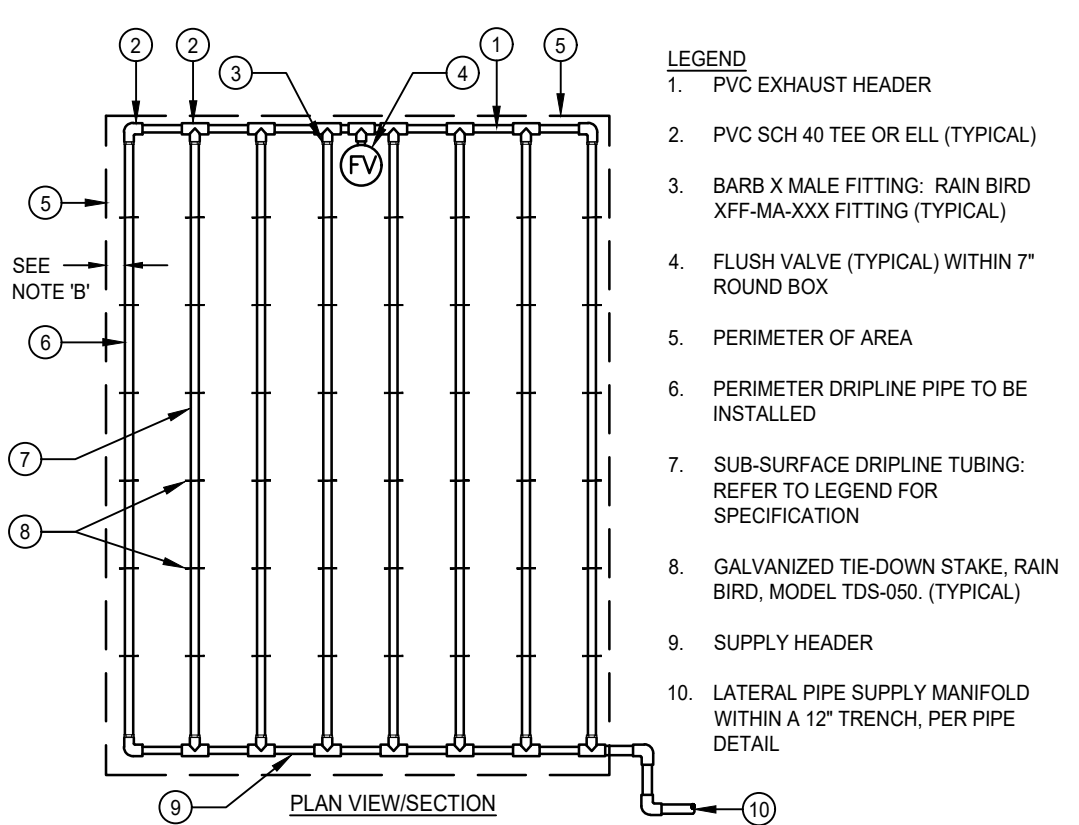
- NOTES:**
- A. TO INSURE EVEN PARALLEL AND LEVEL TUBING ROWS IT IS RECOMMENDED THAT THE SOIL LEVEL IN THE PLANTER AREAS BE BROUGHT TO SIX INCHES BELOW FINISH GRADE, LEVELED, AND PROPERLY COMPACTED AS PER THE LANDSCAPE DRAWINGS PRIOR TO THE INSTALLATION OF THE TUBING.
 - B. INSTALL TUBING AS INDICATED ON THESE DRAWINGS AND SECURE TO GRADE USING GALVANIZED WIRE HOOP STAKES AT 4 O.C. SPACING.
- LEGEND**
- 1. SHRUBS/GROUND COVER
 - 2. MULCH LAYER. REFER TO LANDSCAPE DRAWINGS FOR TYPE AND DEPTH
 - 3. FINISH GRADE
 - 4. AMENDED SOIL. REFER TO LANDSCAPE DRAWINGS FOR SPECIFICATION
 - 5. DRIPLINE TUBING. INSTALLATION: 6" BELOW FINISH GRADE
 - 6. GALVANIZED WIRE STAKE. SPACE AT 4 FEET O.C. ALONG ALL TUBING

A DRIPLINE INSTALLATION
SCALE: N.T.S.



- LEGEND**
- 1. MULCH LAYER. REFER TO LANDSCAPE DRAWINGS FOR TYPE AND DEPTH
 - 2. AMENDED SOIL. REFER TO LANDSCAPE DRAWINGS FOR SPECIFICATION
 - 3. SUB-SURFACE DRIPLINE TUBING. REFER TO LEGEND FOR SPECIFICATION
 - 4. 17mm BARB TEE x 3/4" THRD. FITTING. REFER TO LEGEND FOR SPECIFICATION
 - 5. AMENDED SOIL / BACKFILL MATERIAL
 - 6. 3/4" SCH 80 PVC NIPPLE. LENGTH AS REQUIRED
 - 7. SCH 40 PVC TEE 5x3/4", LINE SIZE BY 3/4"
 - 8. PVC SUPPLY MANIFOLD HEADER LATERAL LINE

B DRIPLINE CONNECTION
SCALE: N.T.S.



- LEGEND**
- 1. PVC EXHAUST HEADER
 - 2. PVC SCH 40 TEE OR ELL (TYPICAL)
 - 3. BARB X MALE FITTING; RAIN BIRD XFF-MA-XXX FITTING (TYPICAL)
 - 4. FLUSH VALVE (TYPICAL) WITHIN 7" ROUND BOX
 - 5. PERIMETER OF AREA
 - 6. PERIMETER DRIPLINE PIPE TO BE INSTALLED
 - 7. SUB-SURFACE DRIPLINE TUBING. REFER TO LEGEND FOR SPECIFICATION
 - 8. GALVANIZED TIE-DOWN STAKE, RAIN BIRD, MODEL TDS-050. (TYPICAL)
 - 9. SUPPLY HEADER
 - 10. LATERAL PIPE SUPPLY MANIFOLD WITHIN A 12" TRENCH, PER PIPE DETAIL
- NOTES:**
- A. DISTANCE BETWEEN LATERAL ROWS TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. MAXIMUM SPACING SHALL BE 14" APART FOR TURF AREAS. MAXIMUM SPACING SHALL BE 18" APART FOR FLAT SHRUB AREAS. FOR ADDITIONAL INFORMATION SEE RAIN BIRD DRIPLINE INSTALLATION GUIDE FOR SUGGESTED SPACING.
 - B. INSTALL SUB-SURFACE TUBING MAXIMUM 3" FROM ANY HARDSCAPE EDGE IN TURF AND 9" IN SHRUBS.
 - C. PLACE TIE DOWN STAKES EVERY 3' IN SAND, 4' IN LOAM, AND 5' IN CLAY.
 - D. MAXIMUM TUBING LENGTH OF RUN SHALL NOT EXCEED 150' FROM LATERAL PIPE SUPPLY MANIFOLD.

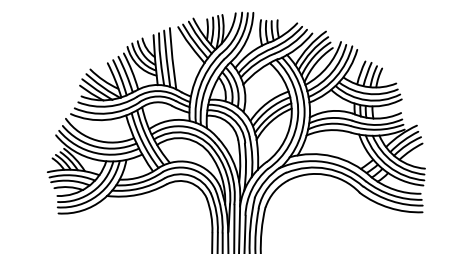
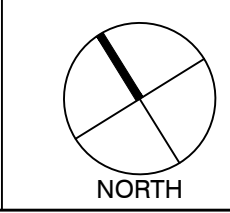
C DRIPLINE- END FEED LAYOUT
SCALE: N.T.S.

LEGEND

- IRRIGATION LEGEND**
- MAINLINE
 - IRRIGATION AREAS

GENERAL KEY

- EXISTING ELEMENTS



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PROJECT INFORMATION

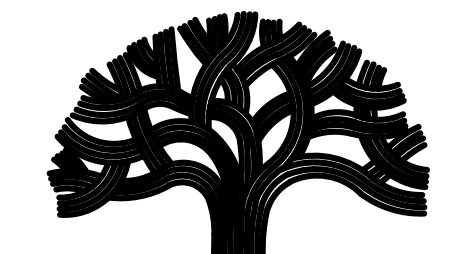
PERALTA HACIENDA HISTORICAL PARK
PHASE 4B
2465 34TH AVENUE, OAKLAND, CA 94601
PROJECT NO. TBD

SHEET NAME
IRRIGATION PLAN

SHEET NO.
IR1.1

01 PERALTA HACIENDA HISTORICAL PARK – IRRIGATION PLAN
SCALE: 1/32"=1'-0"

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 DRAWING NAME: IR1.1
 PLOT DATE: 05-02-21
 PLOTTED BY: Almo



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FACILITIES PLANNING AND
 DEVELOPMENT

PROJECT MANAGER I

FACILITIES PLANNING AND
 DEVELOPMENT

CIP COORDINATOR

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DRAWN BY: AD		HOOD DESIGN STUDIO, Inc. 2541 RIVER ST OAKLAND, CA 94612 510.238.3437 www.hooddesign.com
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No.	DATE	ISSUE DESCRIPTION
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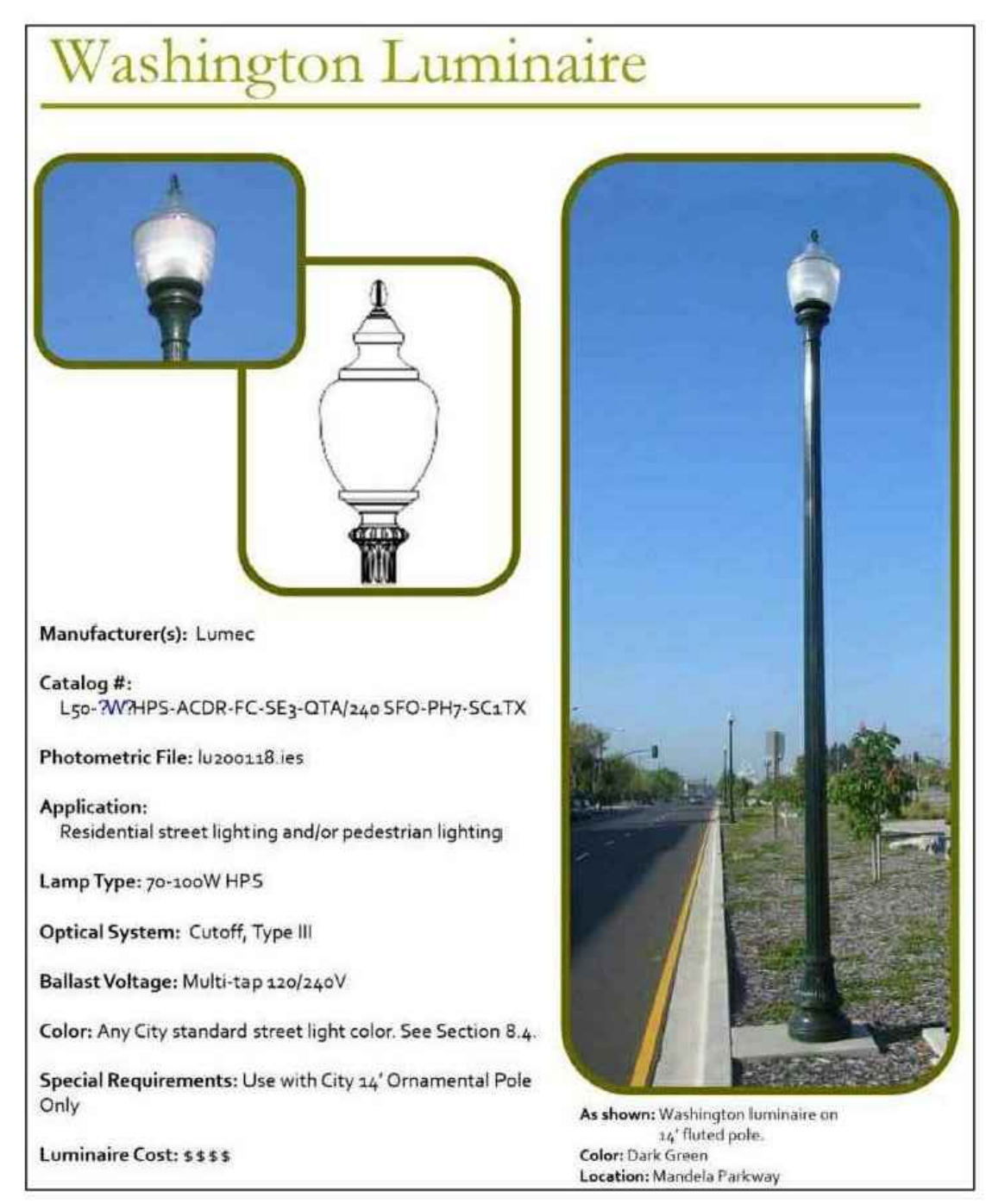
PROJECT INFORMATION
 PERALTA HACIENDA HISTORICAL PARK
 PHASE 4B
 2465 34TH AVENUE, OAKLAND, CA 94601
 PROJECT NO. TBD

SHEET NAME
ELECTRICAL NOTES
 SHEET NO.
E0.1

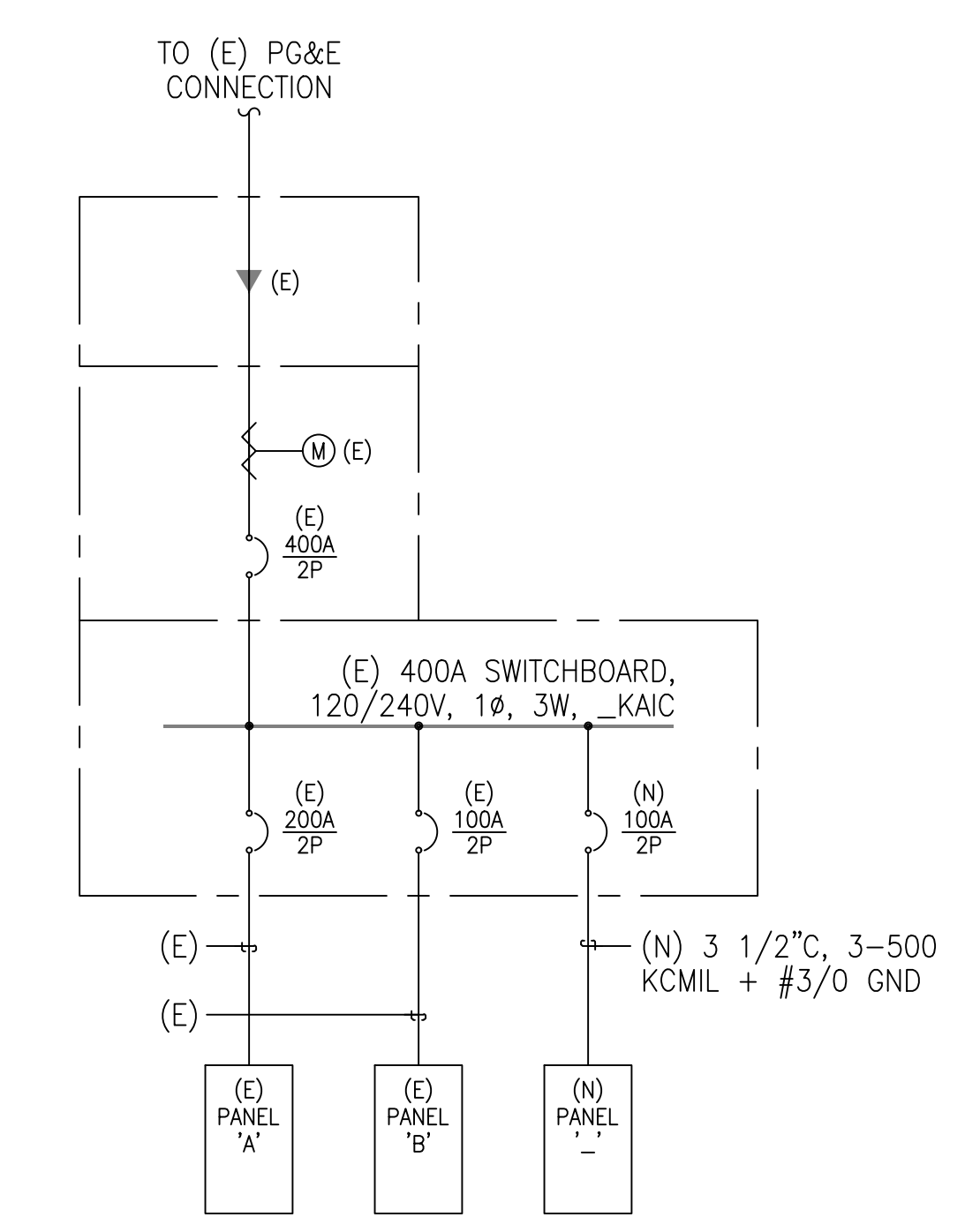
LEGEND

- CIRCUITING**
- HOMERUN CONDUIT AND CONDUCTORS TO PANEL 'A' CIRCUIT 1; SLASH MARKS INDICATE NUMBER OF CONDUCTORS, 2 #12 AWG + 1 #12 GND, UON
 - CIRCUIT CONCEALED IN WALL OR CEILING
 - CIRCUIT CONCEALED IN FLOOR OR UNDERGROUND
 - CIRCUIT EXPOSED
 - CONDUIT UP
 - CONDUIT DOWN
 - ANNOTATED WIRE, LETTER INDICATES WIRE USAGE
 EM - EMERGENCY CIRCUIT
 EMS - ENERGY MANAGEMENT SYSTEM
 FA - FIRE ALARM
 T - TELEPHONE
 TD - TELEPHONE/DATA
 TV - TELEVISION SYSTEM
 W - WIREMOLD
 - CONDUIT CAP
 - CONDUIT CONTINUED
- ELECTRICAL APPARATUS AND EQUIPMENT**
- SAFETY DISCONNECT SWITCH, FUSED AND NON-FUSED
 - FAN OUTLET
 - MOTOR OUTLET
 - MOTOR STARTER: STARTER ONLY, COMBINATION TYPE
 - MANUAL MOTOR STARTER, HP RATED
 - METER
 - GROUND TO EARTH
 - MAGNETIC CONTACTOR
 - TRANSFORMER, SINGLE OR THREE PHASE, SINGLE LINE
 - CURRENT TRANSFORMER WITH UTILITY METER & SOCKET
 - UNDERGROUND TERMINATION POINT
- PANELBOARDS AND RELATED EQUIPMENT**
- SWITCHBOARD OR MOTOR CONTROL CENTER AS INDICATED
 - PANELBOARD, SURFACE OR RECESSED
 - TELEPHONE TERMINAL BOARD

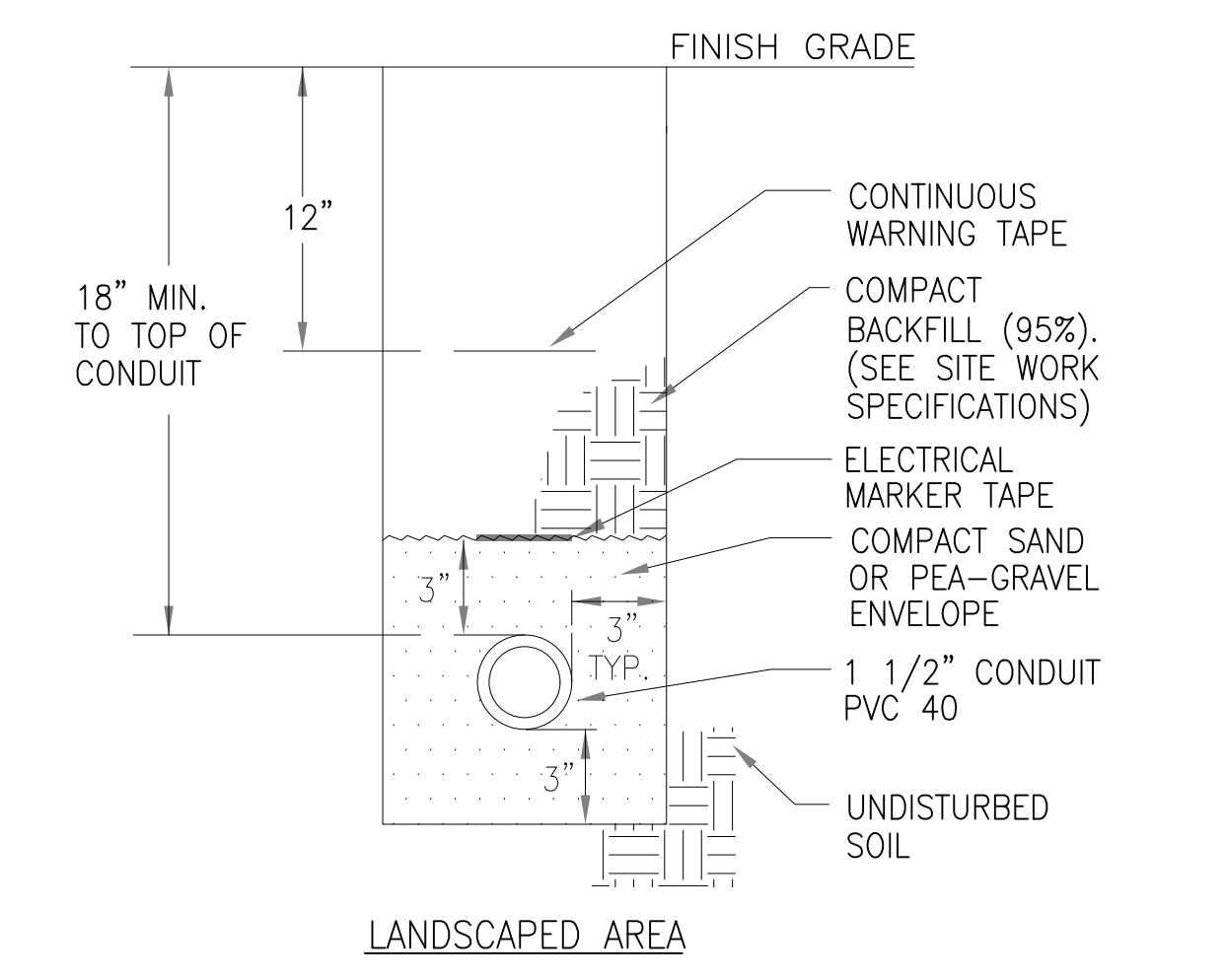
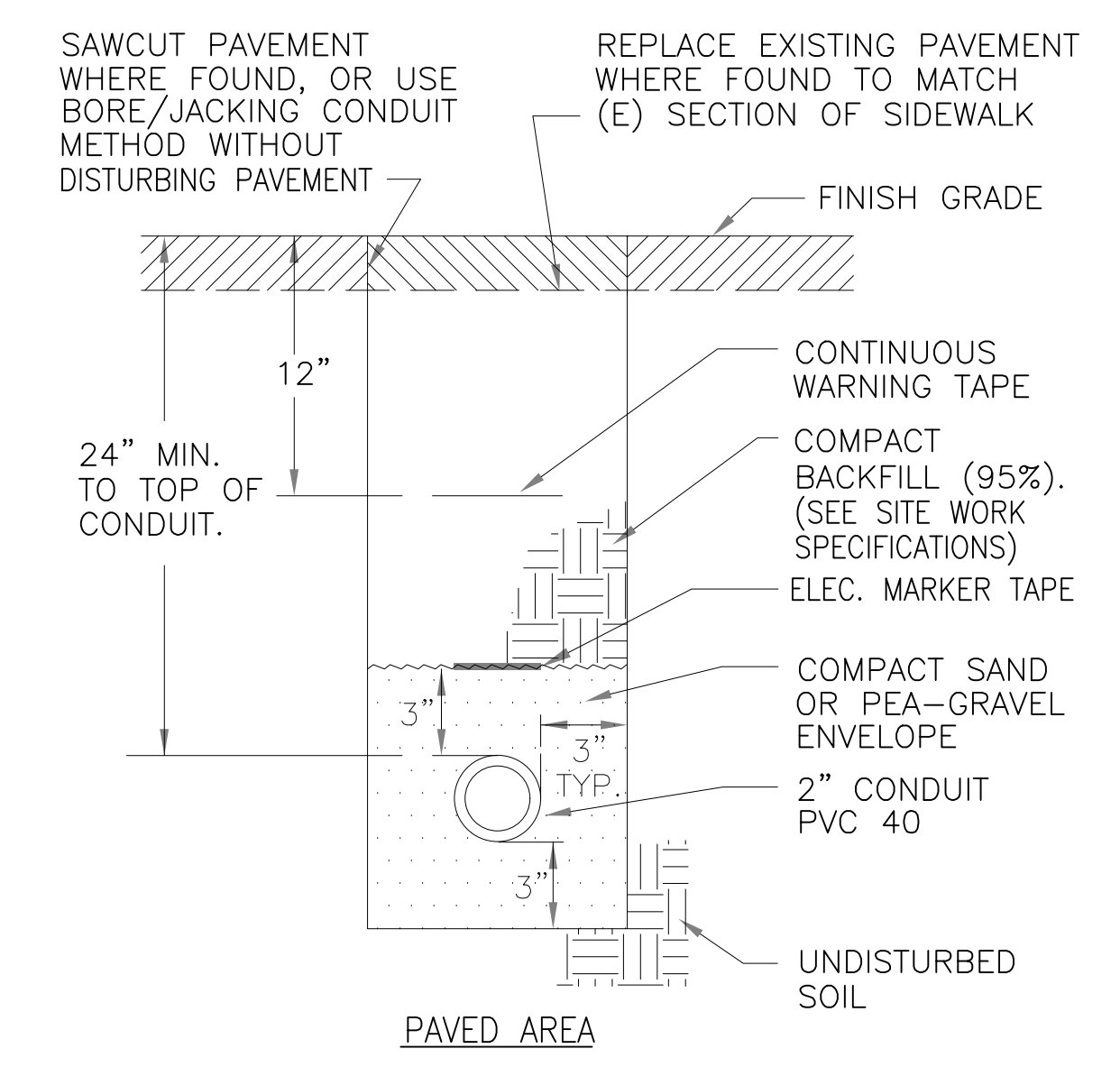
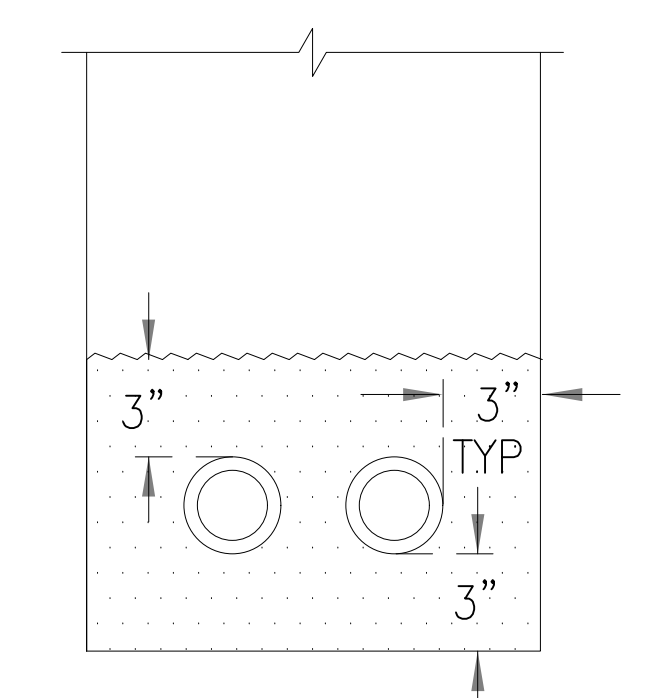
- OUTLETS**
- JUNCTION BOX; CEILING, WALL OR FLOOR MOUNTED
 - SIMPLEX RECEPTACLE, +15" AFF UON
 - DUPLEX RECEPTACLE, +15" AFF UON
 - FOURPLEX RECEPTACLE, +15" AFF UON
 - ANNOTATED DEVICE (ASTERISK IS NOT PART OF SYMBOL), SUBSCRIPT LETTER INDICATES RECEPTACLE USAGE
 D - DEDICATED CIRCUIT
 GFCI - GROUND FAULT CIRCUIT INTERRUPTER
 IG - ISOLATED GROUND
 WP - WEATHERPROOF
 - DUPLEX FLOOR RECEPTACLE
 - FOURPLEX FLOOR RECEPTACLE
 - DUPLEX CEILING RECEPTACLE
 - FOURPLEX CEILING RECEPTACLE
 - SPECIAL PURPOSE RECEPTACLE
 - SPECIAL PURPOSE RECEPTACLE WITH THE FOLLOWING ACTIVE FUNCTIONS:
 TELEPHONE - 2 LINES
 DATA - CAT 5
 CABLE TV - RG6
 - WALL TELEPHONE OUTLET, +15" AFF UON
 - FLOOR TELEPHONE OUTLET
 - WALL DATA COMMUNICATION OUTLET, +15" AFF UON
 - FLOOR DATA COMMUNICATION OUTLET
 - WALL TEL/DATA COMMUNICATION OUTLET, +15" AFF UON
 - FLOOR TEL/DATA COMMUNICATION OUTLET
 - CLOCK
- TAGS**
- DETAIL TAG
 e.g., 1 IS THE DETAIL NUMBER
 E1 IS THE SHEET NUMBER
 - LIGHT FIXTURE TAG, FIXTURE TYPE F WITH 2-34W LAMPS
 - LIGHT FIXTURE TAG, FIXTURE TYPE F1
- ABBREVIATIONS**
- E - EXISTING TO REMAIN
 - N - NEW
 - R - EXISTING TO BE REMOVED
 - RL - RELOCATED EXISTING



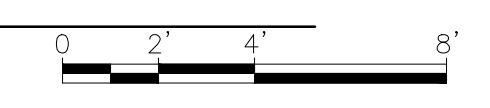
03 CITY STANDARD LIGHT POLE
 NTS



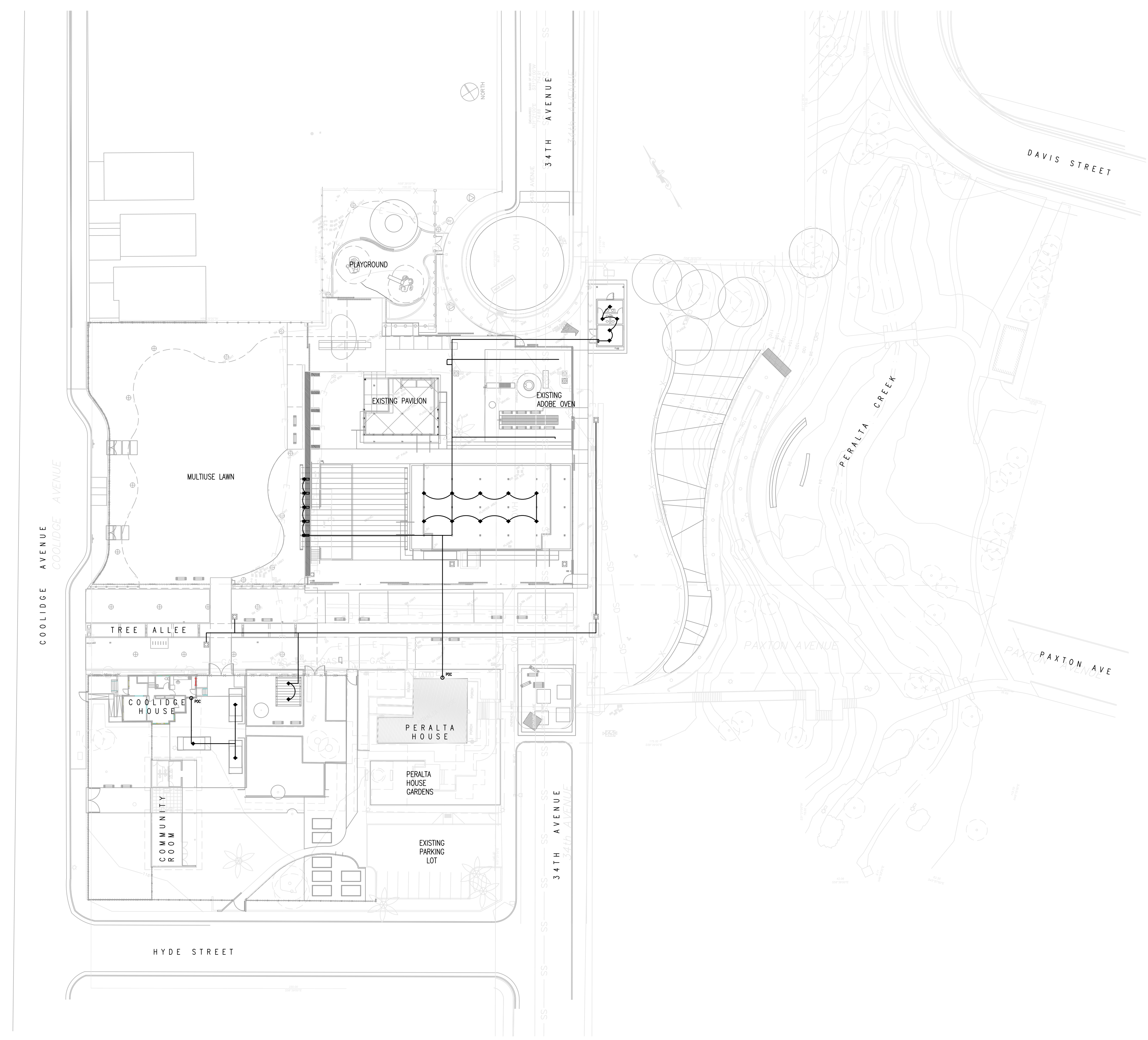
02 SINGLE LINE DIAGRAM
 NTS



01 SINGLE LINE DIAGRAM
 NTS



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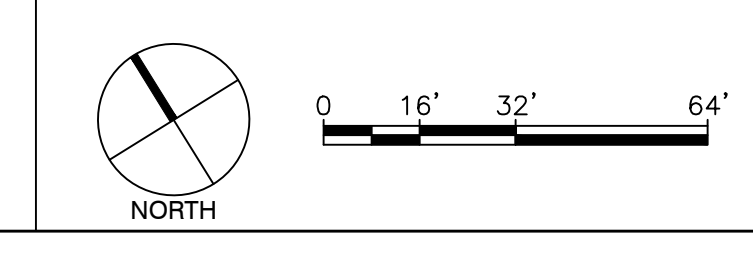


LEGEND

- NOTES**
- REFER TO SHEET ED.1 FOR ELECTRICAL NOTES.
 - REFER TO CONDITIONS OF APPROVAL SHEETS FOR GUIDELINES AND REQUIREMENTS REGARDING SITE PRESERVATION OF CULTURAL RESOURCES AND REQUIRED MONITORING PRIOR TO TRENCHING.

- KEY**
- CEILING LIGHT
 - SPECIAL STAGE LIGHT
 - PARK POLE LIGHT
 - MAIN CONDUIT
 - POINT OF CONNECTION

- GENERAL KEY**
- EXISTING ELEMENTS



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No.	DATE	ISSUE DESCRIPTION
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PROJECT INFORMATION

PERALTA HACIENDA HISTORICAL PARK
 PHASE 4B
 2465 34TH AVENUE, OAKLAND, CA 94601
 PROJECT NO. TBD

SHEET NAME

ELECTRICAL PLAN – CONCEPT

SHEET NO.

E1.1

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 DRAWING NAME:
 PLOT DATE:
 PLOTTED BY: Alima

GENERAL NOTES

- BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS, ELEVATIONS AND CHARACTERISTICS OF ALL UTILITIES AND PIPING, AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- EXACT LOCATIONS AND MOUNTING HEIGHTS OF PLUMBING FIXTURES SHALL BE OBTAINED FROM THE ARCHITECTURAL DRAWINGS.
- SEE ARCHITECTURAL DRAWINGS FOR ADA FIXTURE LOCATIONS AND MOUNTING HEIGHTS. (INSULATE ALL EXPOSED HOT AND COLD WATER AND DRAIN
- TRAPS FOR ALL LAVATORIES AND SINKS SHALL TRAP STRAIGHT BACK TO WALL WITH ALL REQUIRED OFFSETS HAPPENING WITHIN THE WALL.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH UTILITY COMPANIES FOR SERVICE IN THE NAME OF THE OWNER AND SHALL PAY ALL MATERIAL AND LABOR COSTS INCIDENTAL TO AN OPERABLE UTILITY SERVICE AS REQUIRED BY THE DESIGNATED GOVERNING AUTHORITIES OF THE CITY.
- ALL PLUMBING WORK SHALL BE INSTALLED SO AS TO AVOID INTERFERENCE WITH ELECTRICAL AND MECHANICAL EQUIPMENT AND STRUCTURAL FRAMING.
- THE PLUMBING CONTRACTOR SHALL PROVIDE THE WATER, SEWER AND STORM DRAIN SYSTEMS TO A POINT OF CONNECTION SHOWN ON FLOOR PLANS AND SHALL MEET THE INVERT ELEVATION AS FIELD VERIFIED WHILE MAINTAINING REQUIRED PIPE GRADE.
- ANY ALTERATIONS TO A STRUCTURAL MEMBER, SUCH AS CUTTING, BORING, BRAZING, DRILLING, WELDING, ETC. SHALL HAVE PRIOR WRITTEN APPROVAL OF ARCHITECT AND STRUCTURAL ENGINEER.
- ALL CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. THE CONTRACTOR SHALL COORDINATE ALL CLEANOUT LOCATIONS WITH EQUIPMENT, CABINETS, ETC., AND THE ARCHITECT PRIOR TO ANY INSTALLATION.
- ALL PLUMBING FIXTURE VENTS TO TERMINATE A MIN. OF 12 INCHES FROM ANY VERTICAL SURFACE AND 10 FEET FROM ANY OUTSIDE AIR INTAKES.
- ALL VALVES, UNIONS, ETC. TO BE SAME SIZE AS PIPE UNLESS OTHERWISE INDICATED ON DRAWINGS.
- CONTRACTOR SHALL COORDINATE LAYOUT OF ALL BELOW GRADE PIPING AND COMPONENTS WITH GENERAL CONTRACTOR PRIOR TO BID TO DETERMINE EXTENT OF REQUIRED SAW CUTTING, EXCAVATION, AND SUBSEQUENT REPAIR/RESTORATION OF ALL AFFECTED HARDSCAPE AND SOFTSCAPE SURFACES. ALL SUCH ITEMS SHALL BE INCLUDED IN BID.
- BEFORE FABRICATION OR INSTALLATION THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT AND EQUIPMENT PROVIDED UNDER ANOTHER SECTION OF SPECIFICATIONS. EXACT ROUGH-IN LOCATIONS AND REQUIREMENTS SHALL BE COORDINATED IN FIELD.
- ALL POINTS OF CONNECTION SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR PRIOR TO BID.
- ALL WASTE AND VENT PIPING SHALL SLOPE AT 2% UNLESS OTHERWISE INDICATED.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH AND BE CONSIDERED TO BE A PART OF SEPARATE AND COMPLETE MECHANICAL SPECIFICATIONS.
- CONNECTION BETWEEN INCOMPATIBLE MATERIALS ABOVE GRADE AND INSIDE BUILDING SHALL BE MADE WITH TWO (2) DIELECTRIC UNIONS SEPARATED BY A SIX INCH (6") SECTION OF RED BRASS PIPE.
- ALL EXTERIOR WATER SHUT OFF VALVES AND/OR SEWER CLEANOUTS BELOW GROUND SHALL BE INSTALLED IN YARD BOXES WITH THE COVERS CONSPICUOUSLY MARKED "GAS", "WATER", AND "SEWER" RESPECTIVELY.
- THE CONTRACTOR SHALL VERIFY THE EXACT ELEVATIONS AND LOCATION OF EXISTING DRAINAGE SYSTEM PIPING PRIOR TO CONNECTION OF ANY PIPING.
- ALL HORIZONTAL PIPING LINES EXTENDED AND CONNECTED TO EQUIPMENT SHALL BE RUN AT THE HIGHEST POSSIBLE ELEVATIONS AND NOT LESS THAN 6" ABOVE THE FLOOR TO PROVIDE CLEARANCE FOR CLEANING. AT WALL OR COLUMN LOCATIONS, PIPING ROUGH-IN SHALL BE STUBBED IN WALLS WHENEVER POSSIBLE.
- CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION ALL EXISTING TO REMAIN STRUCTURE AND NEW CONSTRUCTION DAMAGED BY HIS OPERATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING ALL PAVED AREAS WHICH ARE EXCAVATED AND/OR DAMAGED BY HIS
- ALL PATCHING AND REPAIRING OF CONCRETE PAVING AND/OR WALKS SHALL BE UNDER ANOTHER SECTION OF THE SPECIFICATIONS.
- ALL EXISTING PIPING DAMAGED DURING EXCAVATION SHALL BE REPAIRED WITH MATERIALS TO MATCH EXISTING BY THE CONTRACTOR AT NO COST TO THE OWNER.
- ALL CUTTING OF EXISTING PAVING, WALKS AND/OR FLOORS SHALL BE BY MACHINE SAW CUTTING. HOLES FOR PIPES IN CONCRETE WALLS OR FLOORS SHALL BE DONE BY CORE DRILLING EQUIPMENT.
- ALL PIPING, EXCEPT PIPING OF NONFERROUS MATERIAL, INSTALLED WITHIN THE GROUND SHALL BE PROTECTED AGAINST CORROSION BY A PROTECTIVE COVERING SUITABLE FOR THE PURPOSE AND SUBJECT TO THE APPROVAL OF THE BUILDING OFFICIAL. ANY PIPING SUBJECT TO UNDUE CORROSIVE ACTION SHALL BE PROTECTED IN A MATTER SUITABLE FOR THE PURPOSE AND SUBJECT TO THE APPROVAL OF THE BUILDING OFFICIAL.
- ALL PENETRATIONS AND OPENINGS IN PARTY WALLS AND ROOF/FLOOR/CEILING ASSEMBLIES DUE TO PLUMBING WORK SHALL BE SEALED LINED, INSULATED OR OTHERWISE TREATED TO MAINTAIN THE REQUIRED FIRE AND SOUND RATING.

PLUMBING FIXTURE SCHEDULE						
FIXTURE	MARK	ROUGH IN CONNECTIONS				DESCRIPTION
		HW	CW	WASTE	VENT	
SINK	<u>S-1</u>	1/2"	1/2"	2"	2"	ADVANCE TABCO DI-3-1410 50" X 21" X 10" DROP IN 3 COMPARTMENT SINK, 18 GAUGE, TYPE 304 STAINLESS STEEL. FAUCET: ADVANCE TABCO K-50 DECK MOUNTED 8" SWING SPOUT, HOT AND COLD WATER, CHROME PLATED, VANDAL PROOF LEVER HANDLES. ANGLE STOPS/P-TRAP/PIPE WRAP: SEE SHEET SPECIFICATIONS.
SINK	<u>S-2</u>	--	1/2"	2"	2"	ADVANCE TABCO DI-1-68 19" X 19" X 8" DROP IN SINK 18 GAUGE, TYPE 304 STAINLESS STEEL. FAUCET: ADVANCE TABCO K-190 METERED FAUCET, COLD WATER ONLY, 2 3/4" SPOUT. ANGLE STOPS/P-TRAP/PIPE WRAP: SEE SHEET SPECIFICATIONS.
PUMP HEAD	<u>P-1</u>	--	1 1/4"	--	--	LEHMANS 110801 VERSATILE PUMP HEAD.
MOP SINK	<u>MS-1</u>	3/4"	3/4"	3"	2"	ACORN 1630 24" X 24" X 10" MOP SINK, 16 GAUGE, TYPE 304 STAINLESS STEEL, SEAMLESS WELDED CONSTRUCTION, SATIN FINISH. FAUCET: ACORN #8121 3/4" HOSE BIBB FLUSH MOUNT, REMOVABLE LOOSE KEY WHEEL HANDLE, COMPLETE WITH VACUUM BREAKER.
GREASE INTERCEPTOR	<u>GI-1</u>	--	--	4"	2"	ZURN GT2700-25 26 1/8" X 19 7/8" X 17" GREASE INTERCEPTOR, CORROSION RESISTANT COATED FABRICATED STEEL, NO HUB, FLOW DIFUFUSING BAFFLE, INTREGAL TRAP, VENTED INLET FLOW CONTROL.
FLOOR SINK	<u>FS-1</u>	-	-	2"	2"	ZURN #Z1751 FLOOR SINK 16 GAUGE, TYPE 304 STAINLESS STEEL, SQUARE SLOTTED LIGHT DUTY GRATE, COMPLETE WITH STAINLESS STEEL ANTI-SPLASH INTERIOR BOTTOM DOME STRAINER.
HOSE BIBB	<u>HB-1</u>	-	3/4"	-	-	ACORN #8121 3/4" HOSE BIBB FLUSH MOUNT, REMOVABLE LOOSE KEY WHEEL HANDLE, COMPLETE WITH VACUUM BREAKER.
HOSE BIBB	<u>HB-2</u>	-	3/4"	-	-	ACORN #8104 3/4" HOSE BOX RECESSED WITH CAM LOCK, REMOVABLE LOOSE KEY WHEEL HANDLE, COMPLETE WITH VACUUM BREAKER.
TRAP PRIMER	<u>TP-1</u>	-	1/2"	-	-	PRECISION PLUMBING PRODUCTS P2-500 TRAP PRIMER, CORROSION RESISTANT BRASS, PISTON OPERATED.

NOTES:
 1. ITEM DESCRIPTIONS INCLUDED IN THIS SCHEDULE ARE INTENDED TO DESCRIBE GENERAL FIXTURE CONFIGURATIONS, AND DO NOT INCLUDE ALL REQUIREMENTS. REFER TO SPECIFICATION SECTION 22 00 00 FOR ADDITIONAL REQUIREMENTS.
 2. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS AND REQUIRED CLEARANCES OF ALL FIXTURES.
 3. ALL FIXTURES, TRIM, AND VALVING SHALL COMPLY WITH CALIFORNIA'S LEAD FREE PLUMBING LAW, HEALTH AND SAFETY CODE AND CA ASSEMBLY BILL 1953.

ELECTRIC WATER HEATER SCHEDULE											
ITEM	MANUFACTURER	MODEL NO.	SERVICE	STORAGE (GAL.)	VOLT	PHASE	KW	RECOVERY @ 90°F (GAL)	INLET TEMP (°F)	OUTLET TEMP (°F)	OPERATING WEIGHT (LBS)
<u>EWH-1</u>	AO SMITH	EJCS-20	DOMESTIC WATER	19	120	1	2.5	11	60	120	227

LEGEND

PLUMBING LEGEND		
SYMBOL	ABBREVIATION	DESCRIPTION
-----	W	M
-----	V	WASTE/SANITARY VENT PIPING
-----	(E)W	EXISTING SANITARY SEWER PIPING
-----	CW	DOMESTIC COLD WATER PIPING
-----	HW	DOMESTIC HOT WATER PIPING
-----	(E)CW	EXISTING COLD WATER PIPING
-----	(E)G	EXISTING NATURAL GAS PIPING
C		PIPE GOING DOWN
O		PIPE GOING UP
∩		TEE
⊕	FCO	FLOOR CLEANOUT/CLEANOUT TO GRADE
⊗		P-TRAP
⊕	POC	POINT OF CONNECTION
▷	WCO	WALL CLEANOUT
+	HB	HOSE BIBB
⊗	SOV	SHUT-OFF VALVE
⊗	SOVAP	SHUT-OFF VALVE IN ACCESS PANEL
⊗	SOVYB	SHUT-OFF VALVE IN YARD BOX
⊙	FD	FLOOR DRAIN
⊕	FS	FLOOR SINK
XX-X		EQUIPMENT OR FIXTURE
	CONT.	CONTINUED/CONTINUATION
	DFM	DISTANCE FROM METER
	FR.	FROM
	BEL.	BELOW
	DN.	DOWN
	VTR	VENT THROUGH ROOF
	S.A.D.	SEE ARCHITECTURAL DRAWINGS
	S.C.D.	SEE CIVIL DRAWINGS



FACILITIES PLANNING AND DEVELOPMENT

PROJECT MANAGER I

FACILITIES PLANNING AND DEVELOPMENT

CIP COORDINATOR

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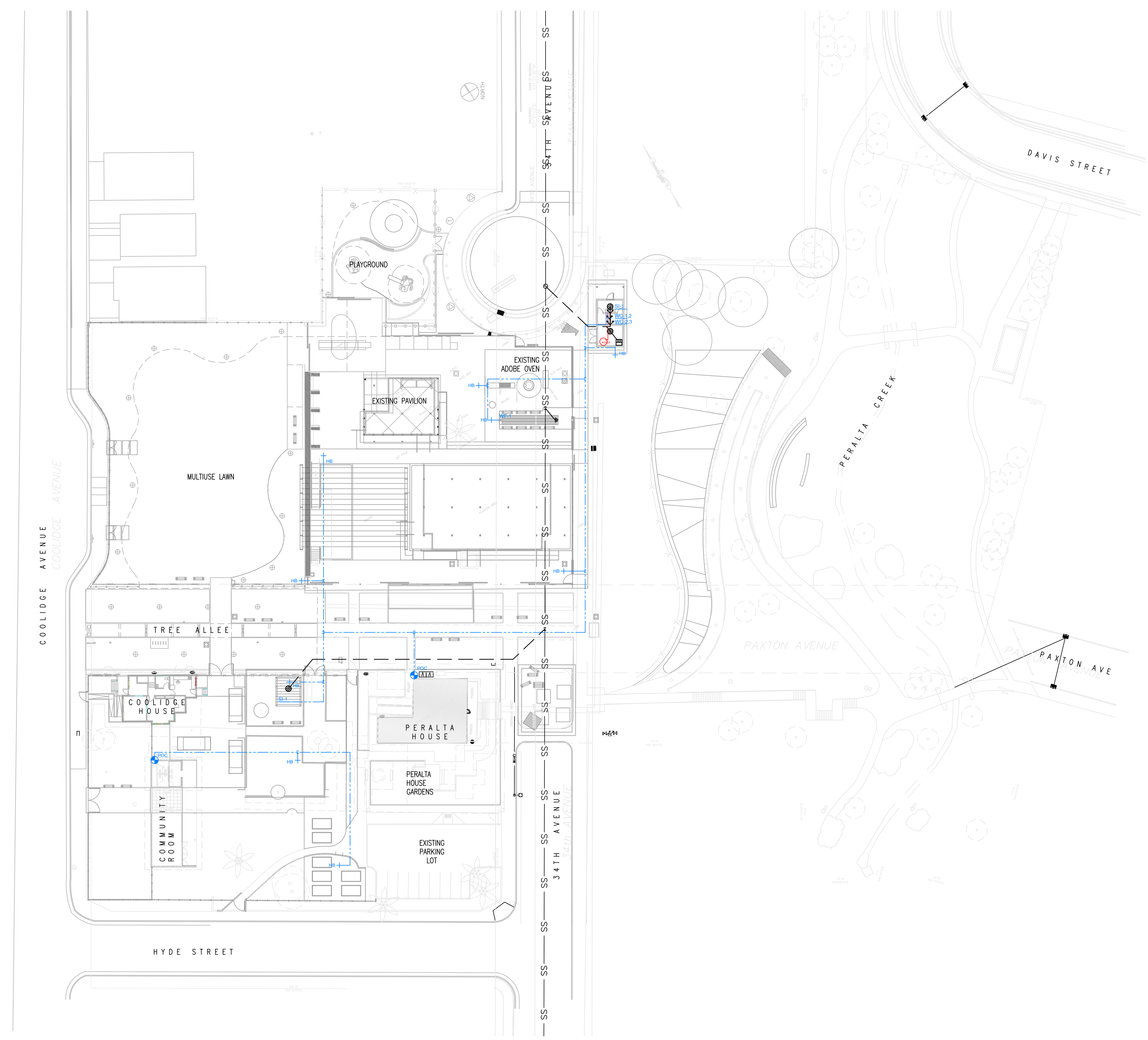
No.	DATE	ISSUE DESCRIPTION
	04/30/2021	SCHEMATIC DESIGN - 30% DWGS

PROJECT INFORMATION
 PERALTA HACIENDA HISTORICAL PARK
 PHASE 4B
 2465 34TH AVENUE, OAKLAND, CA 94601
 PROJECT NO. TBD

SHEET NAME
PLUMBING NOTES

SHEET NO.
P0.1

DRAWING MADE BY: AD, DATE: 04/30/21, CHECKED BY: AD, SCALE: AS SHOWN



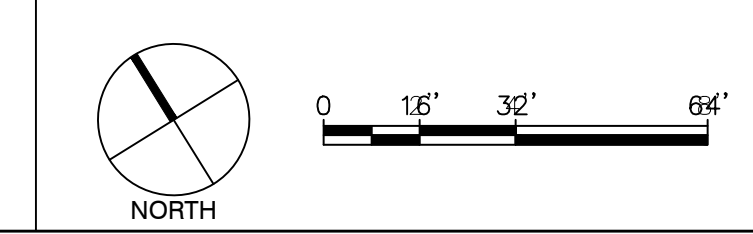
LEGEND

- NOTES**
- REFER TO SHEET P0.1 FOR PLUMBING NOTES.
 - REFER TO CONDITIONS OF APPROVAL SHEETS FOR GUIDELINES AND REQUIREMENTS REGARDING SITE PRESERVATION OF CULTURAL RESOURCES AND REQUIRED MONITORING PRIOR TO TRENCHING.

- KEY**
- SS — (E)W EXISTING SANITARY SEWER PIPING
 - - - S SANITARY SEWER PIPING
 - - - CW DOMESTIC COLD WATER PIPING
 - - - HW DOMESTIC HOT WATER PIPING
 - - - (E)CW EXISTING COLD WATER PIPING
 - - - GAS EXISTING NATURAL GAS PIPING
 - c PIPE GOING DOWN
 - o PIPE GOING UP
 - tee TEE
 - FCO FLOOR CLEANOUT/CLEANOUT TO GRADE
 - P-TRAP P-TRAP
 - POC POINT OF CONNECTION
 - WCO WALL CLEANOUT
 - HB HOSE BIBB
 - SOV SHUT-OFF VALVE
 - SOVAP SHUT-OFF VALVE IN ACCESS PANEL
 - SOVYB SHUT-OFF VALVE IN YARD BOX
 - FD FLOOR DRAIN
 - FS FLOOR SINK
 - xxx EQUIPMENT OR FIXTURE

GENERAL KEY

EXISTING ELEMENTS



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No.	DATE	ISSUE DESCRIPTION
	04/30/2021	SCHEMATIC DESIGN - 30% DWGS

PROJECT INFORMATION

PERALTA HACIENDA HISTORICAL PARK
 PHASE 4B
 2465 34TH AVENUE, OAKLAND, CA 94601
 PROJECT NO. TBD

SHEET NAME

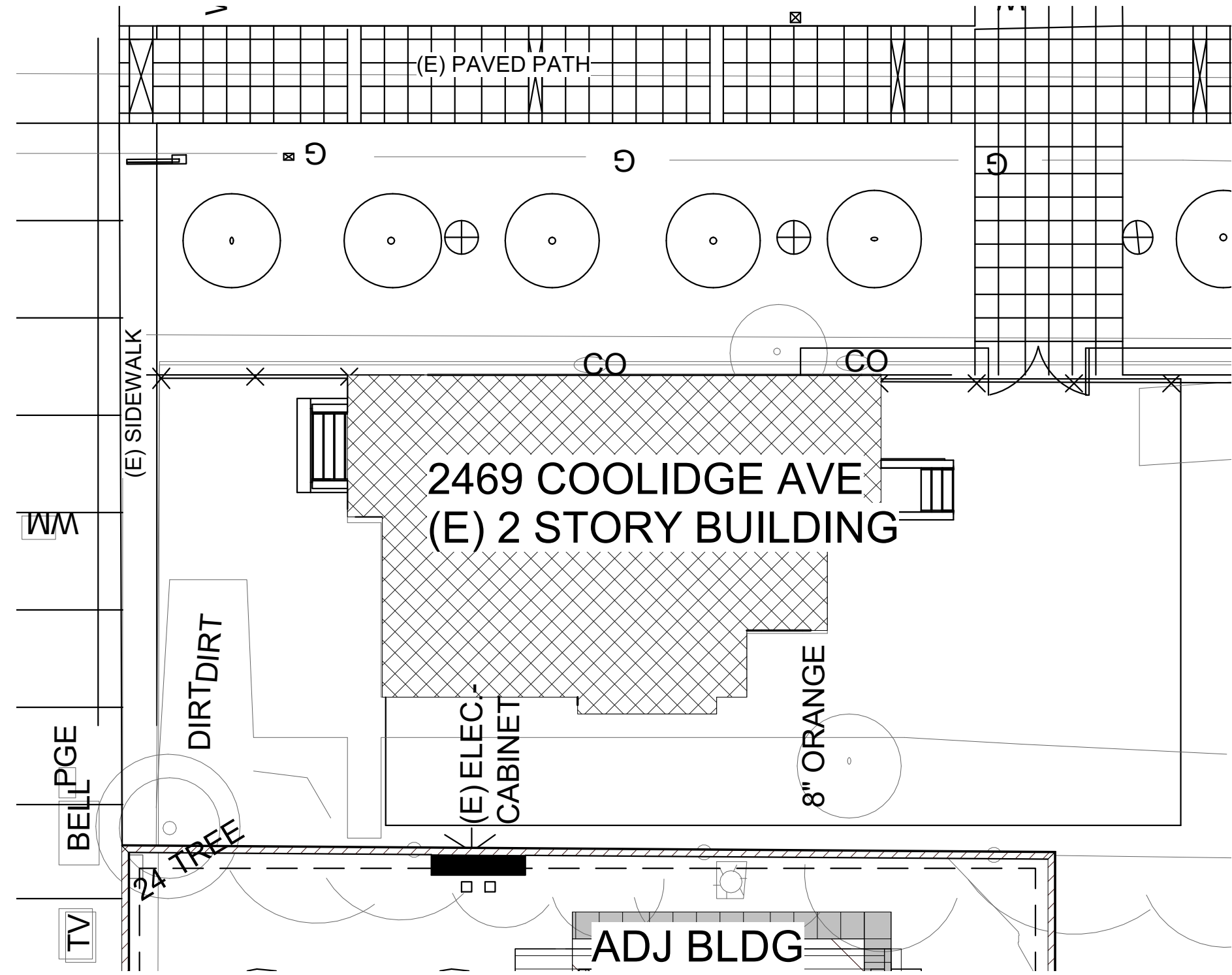
PLUMBING PLAN – CONCEPT

SHEET NO.

P1.1

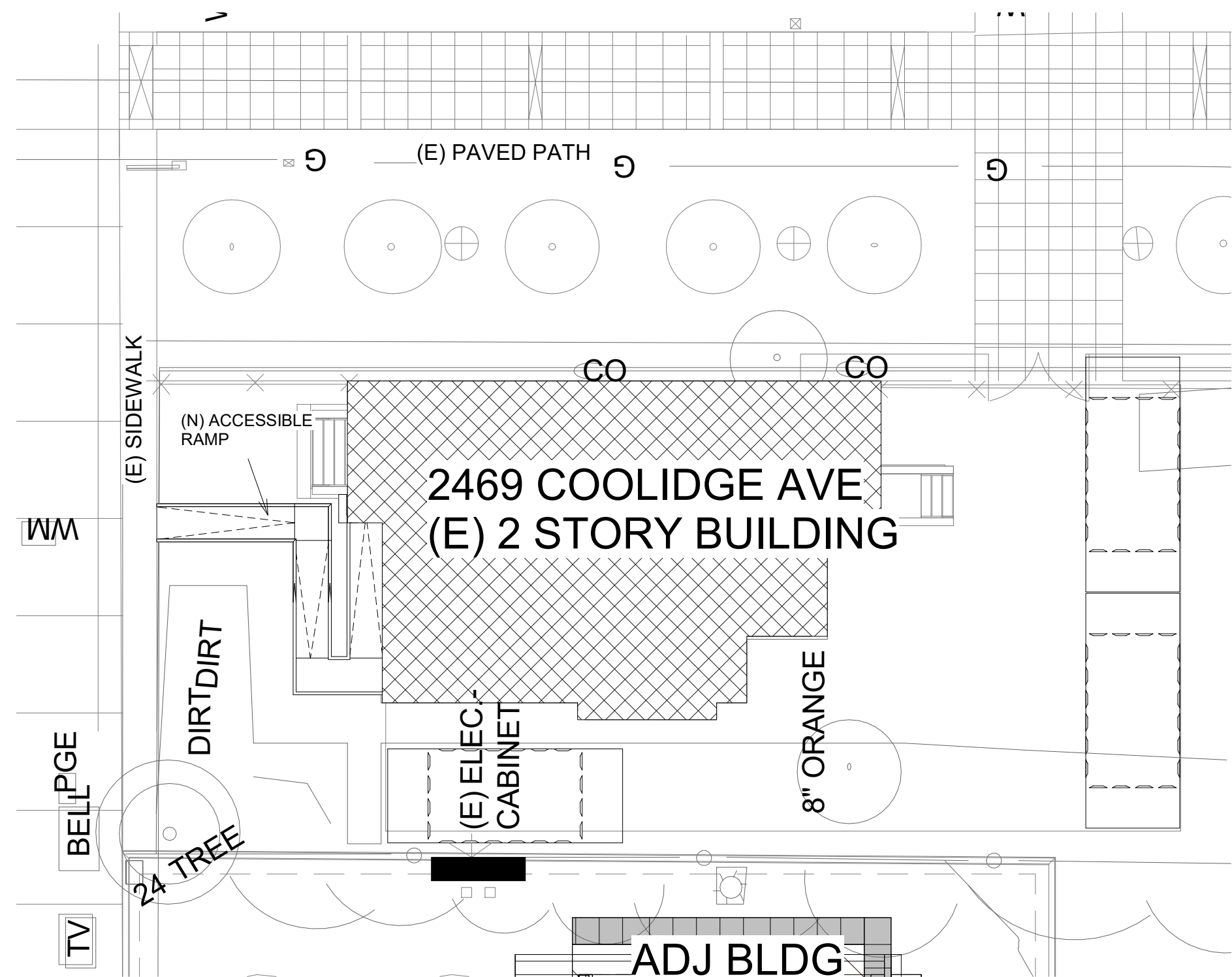
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 DRAWING NAME:
 PLOT DATE:
 PLOTTED BY:

COOLIDGE AVE



2 SITE - EXISTING
3/32" = 1'-0"

COOLIDGE AVE



1 SITE - PROPOSED
3/32" = 1'-0"

COOLIDGE HOUSE RENOVATION

PROJECT DESCRIPTION

THIS (E) SINGLE FAMILY HOME IS CURRENTLY UNABLE TO BE USED BY THE PUBLIC DUE TO ITS LACK OF ACCESSIBILITY.

THE PRIMARY GOAL OF THIS RENOVATION IS TO CREATE A SAFE AND ACCESSIBLE BUILDING AS PART OF THE PERALTA HACIENDA HISTORICAL PARK CAMPUS IN ORDER TO FURTHER AUGMENT THE ONGOING PROGRAMMING FOR THE COMMUNITY.

THE PRIMARY FUNCTIONS OF THIS BUILDING WILL BE:

- FLEXIBLE GATHERING SPACE FOR THE COMMUNITY, ART GALLERY, AND COMMUNITY EVENTS AND EXHIBITIONS (WILL SUPPORT DISTANCE LEARNING, YOUTH PROGRAMMING AND INDIGENOUS CENTER ACTIVITIES)
- A SMALL COMMERCIAL KITCHEN TO SUPPORT EVENTS AND USE BY THE COMMUNITY
- AN ACCESSIBLE ENTRANCE AND RAMP
- AN ACCESSIBLE RESTROOM ON THE GROUND FLOOR
- A LIBRARY
- (2) PRIVATE ROOMS TO SERVE AS CLASSROOMS AND OFFICE SPACE UPSTAIRS
- A FULL BATHROOM UPSTAIRS TO BE USED BY PROGRAM ATTENDANTS AND STAFF AND POTENTIAL PART-TIME RESIDENT
- A 1-BEDROOM FLAT THAT CAN BE USED AS EITHER AN ARTIST-IN-RESIDENCE FLAT W A SMALL KITCHENETTE/LIVING ROOM AND WHEN NOT IN USE AS A RESIDENCE, THESE ROOMS WILL SERVE AS A CONFERENCE ROOM AND A BREAK ROOM FOR THE STAFF AND BOARD OF PHHP

SCOPE OF WORK

LEVEL 1 (1030 SF)

- (N) ADA RAMP FROM PUBLIC RIGHT OF WAY TO LANDING/ENTRANCE FRONT ENTRY
- DEMOLITION OF (E) FULL HEIGHT PARTITIONS, (E) RESTROOM, (E) KITCHEN, (E) DOORS
- (N) FULL HEIGHT PARTITIONS
- (N) ACCESSIBLE RESTROOM W/ TOILET AND SINK AND MOP SINK, FLOOR TILE (51 SF), WALL TILE (120 SF)
- (N) COMMERCIAL KITCHEN WITH FRP COVERED WALLS, TILE COVE BASE, QUARRY TILE FLOOR (162 SF), (N) STAINLESS STEEL FIXTURES AND APPLIANCES, (N) SOLID SURFACE COUNTERTOPS, (N) MILLWORK CABINETS
- (N) WINDOW TO REAR YARD IN KITCHEN

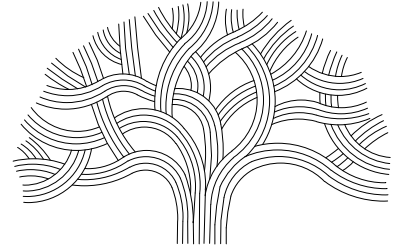
LEVEL 2 (837 SF)

- DEMOLITION OF EXISTING FULL HEIGHT PARTITIONS AND DOORS
- RENOVATION OF FULL BATHROOM (N) FINISHES AND FIXTURES THROUGHOUT. 53 SF FLOOR TILE, 120 SF WALL TILE
- (N) FULL HEIGHT PARTITIONS
- (N) KITCHENETTE W (N) 2 BURNER INDUCTION COOKTOP, (2) APPLIANCES (DISHWASHER, REFRIDGERATOR) SINK, (N) SOLID SURFACE COUNTERS AND (N) MILLWORK CABINETS
- (N) INTERIOR WINDOWS TO CLASSROOM AND OFFICE

GENERAL

- (N) PLUMBING
- (N) ELECTRICAL
- (N) LIGHTING FIXTURES
- (N) INSULATION
- SAND AND RESEAL (E) FLOORS WHEREVER POSSIBLE
- (N) PAINT AND FINISHES THROUGHOUT
- PATCH AND REPAIR (E) CONDITIONS AS REQUIRED

LEGEND



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No.	DATE	ISSUE DESCRIPTION
	04/30/2021	SCHEMATIC DESIGN - 30% DWGS

PROJECT INFORMATION

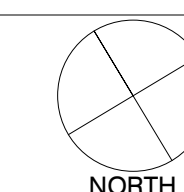
PERALTA HACIENDA HISTORICAL PARK
PHASE 4B
2465 34TH AVENUE, OAKLAND, CA 94601
PROJECT NO. 1000646

SHEET NAME

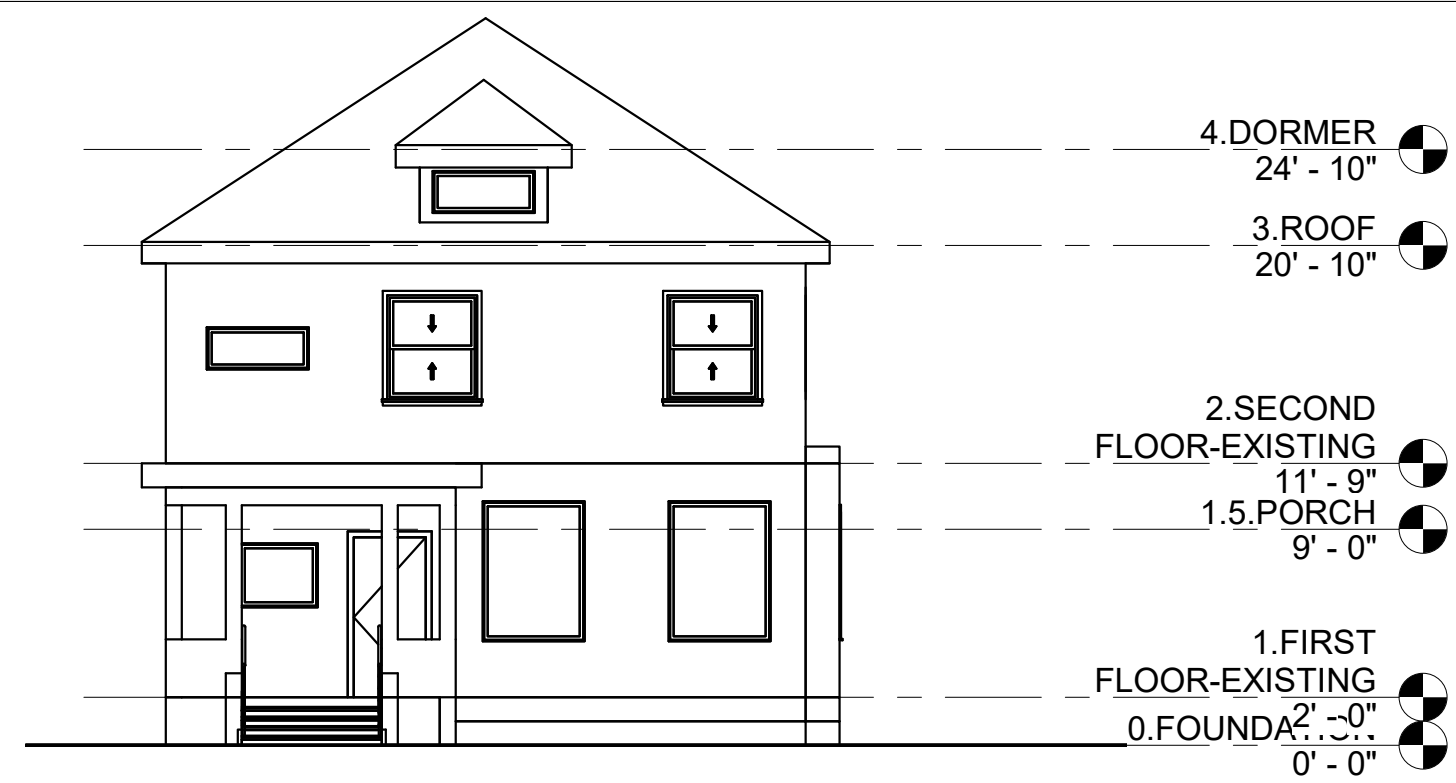
Site Plan

SHEET NO.

A1.0



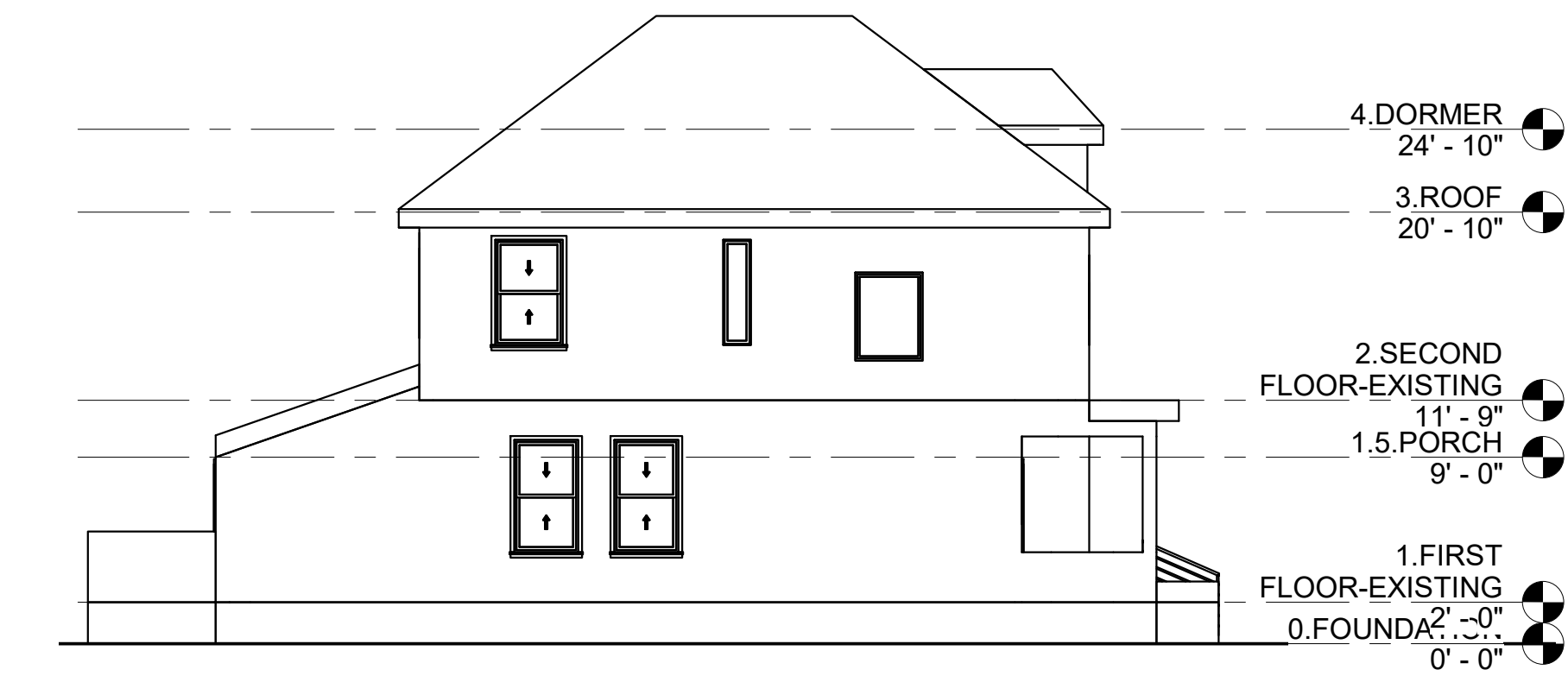
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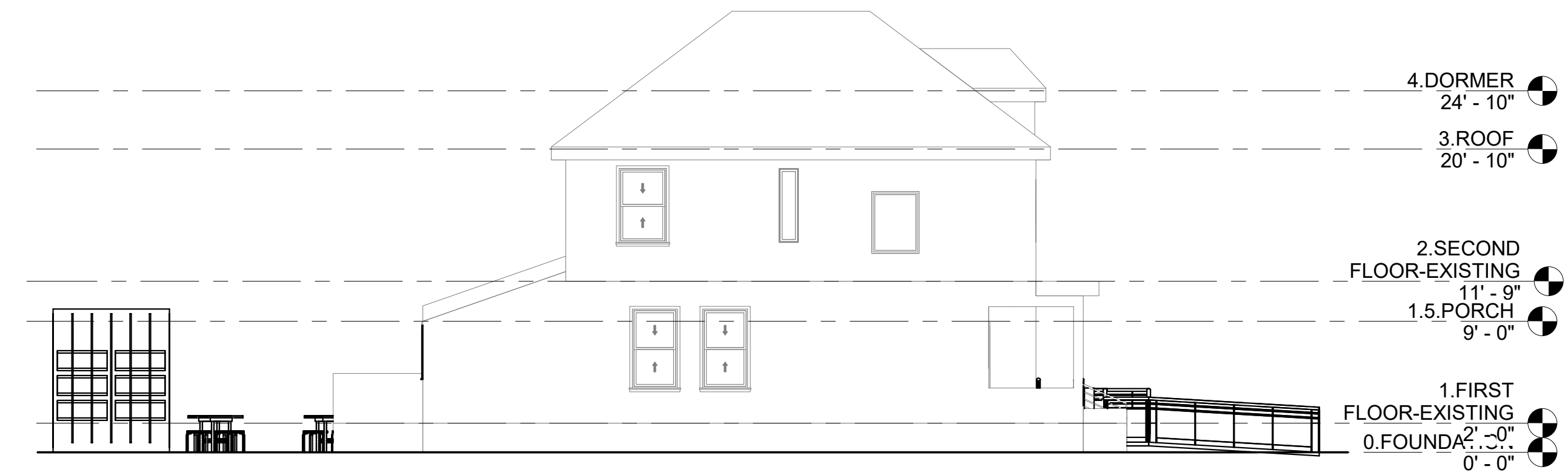
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1/8" = 1'-0"



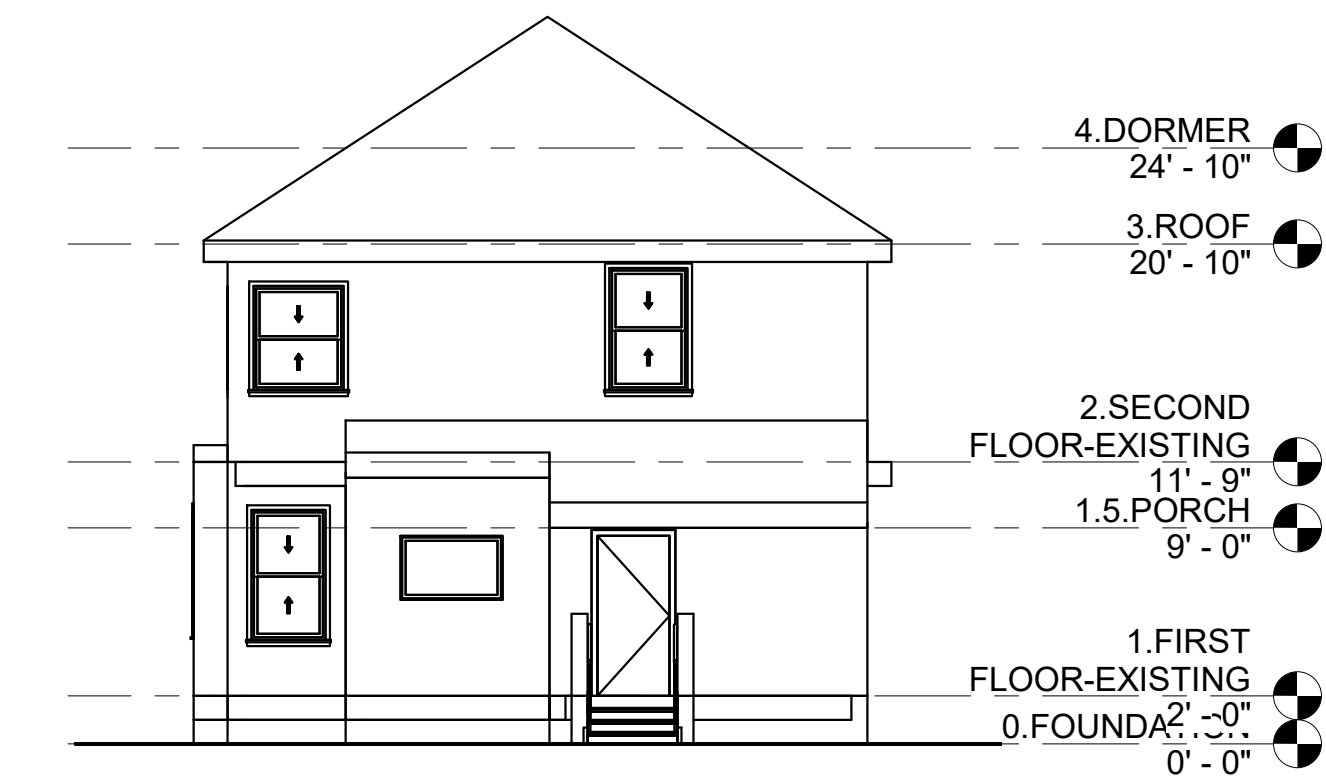
5 WEST - PROPOSED
1/8" = 1'-0"



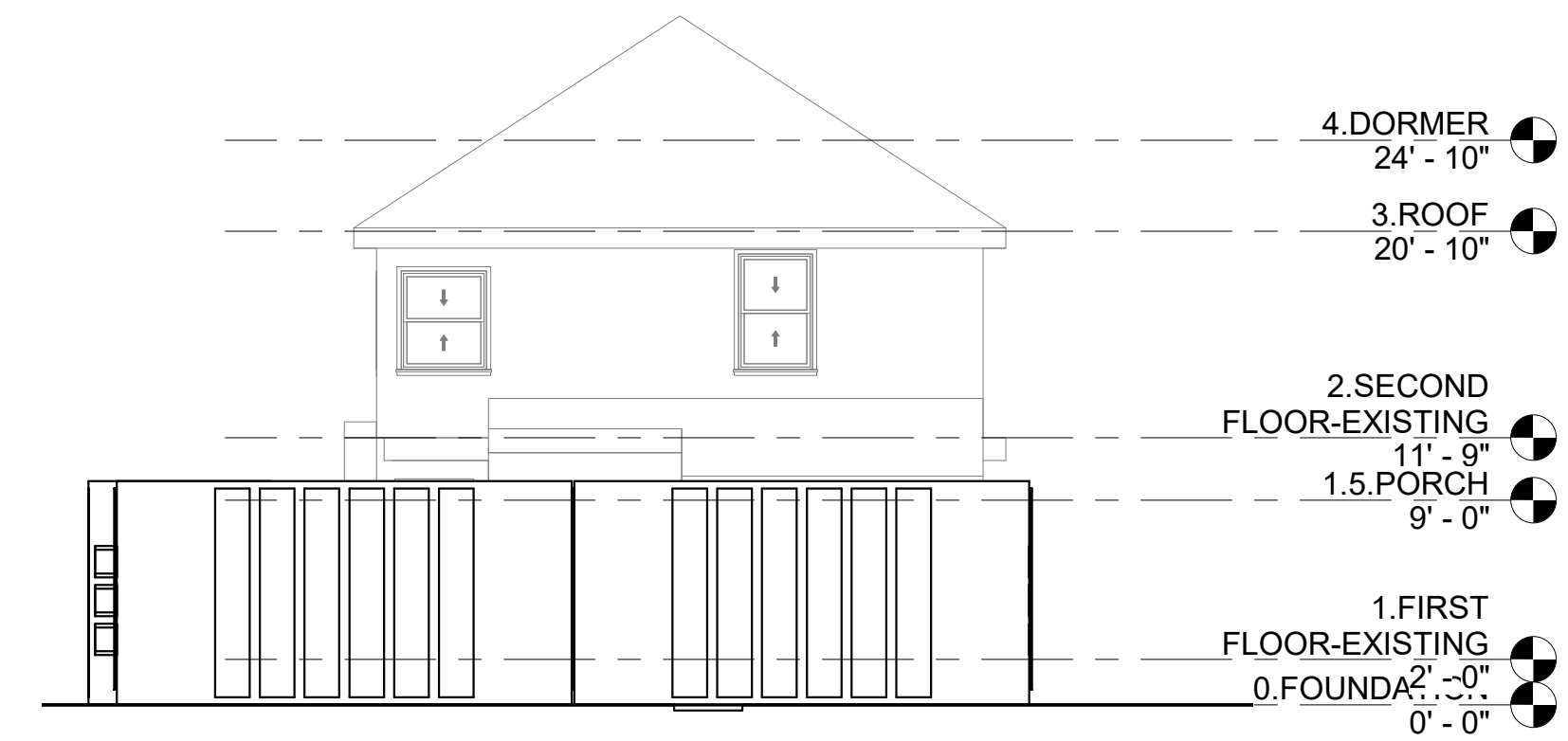
3 NORTH - EXISTING
1/8" = 1'-0"



6 NORTH - PROPOSED
1/8" = 1'-0"



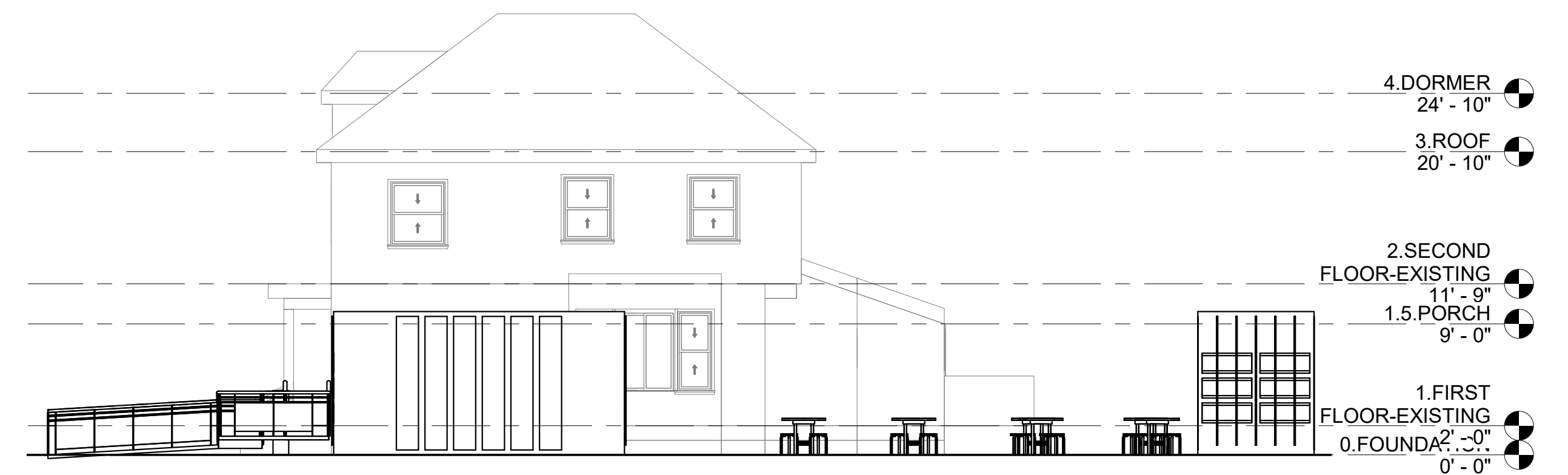
2 EAST - EXISTING
1/8" = 1'-0"



7 EAST - PROPOSED
1/8" = 1'-0"

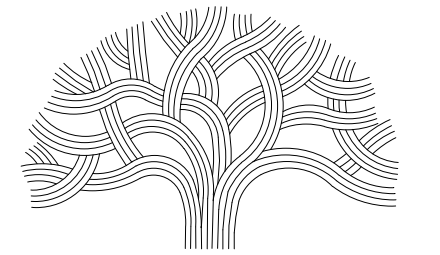


4 SOUTH - EXISTING
1/8" = 1'-0"



8 SOUTH - PROPOSED
1/8" = 1'-0"

LEGEND



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No.	DATE	ISSUE DESCRIPTION
	04/30/2021	SCHEMATIC DESIGN - 30% DWGS

PROJECT INFORMATION

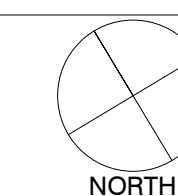
PERALTA HACIENDA HISTORICAL PARK
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2465 34TH AVENUE, OAKLAND, CA 94601
PROJECT NO. 1000646

SHEET NAME

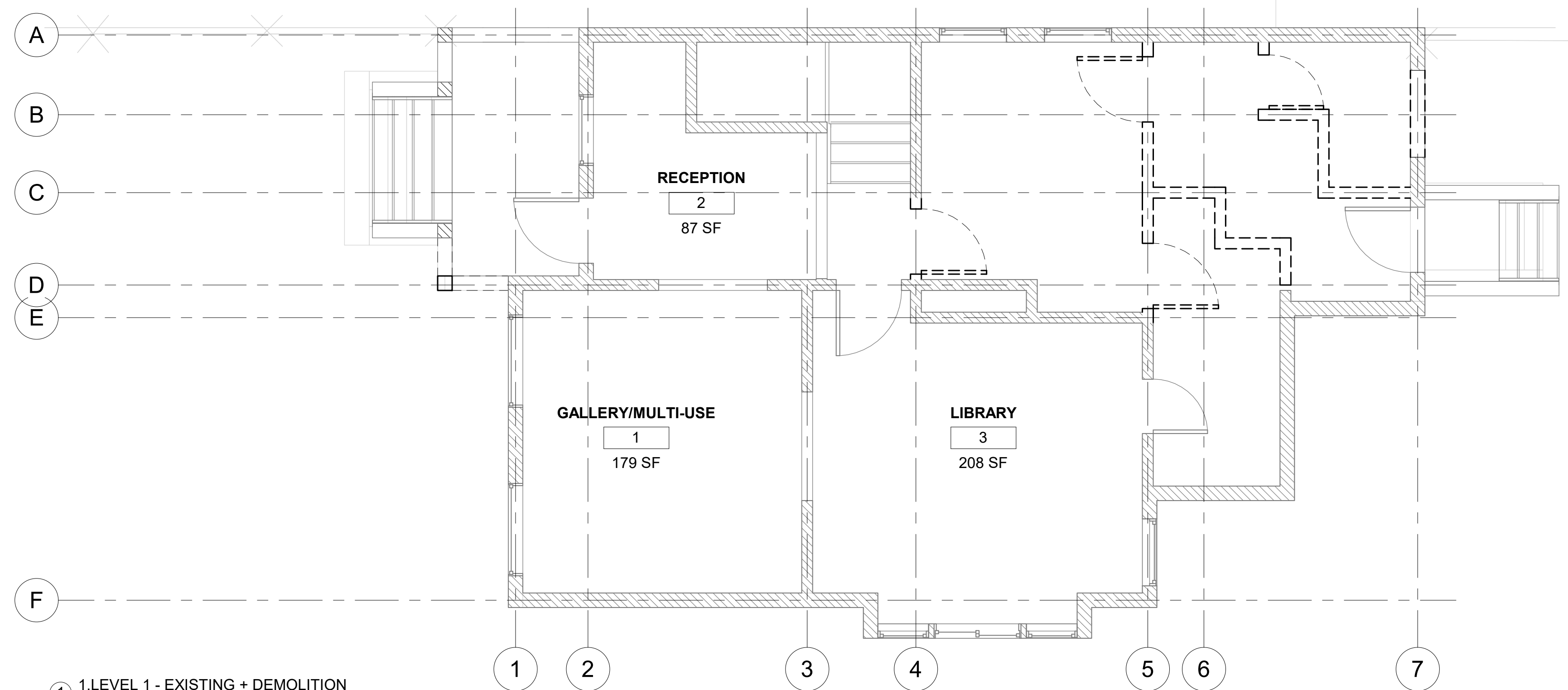
Existing and Proposed Elevations

SHEET NO.

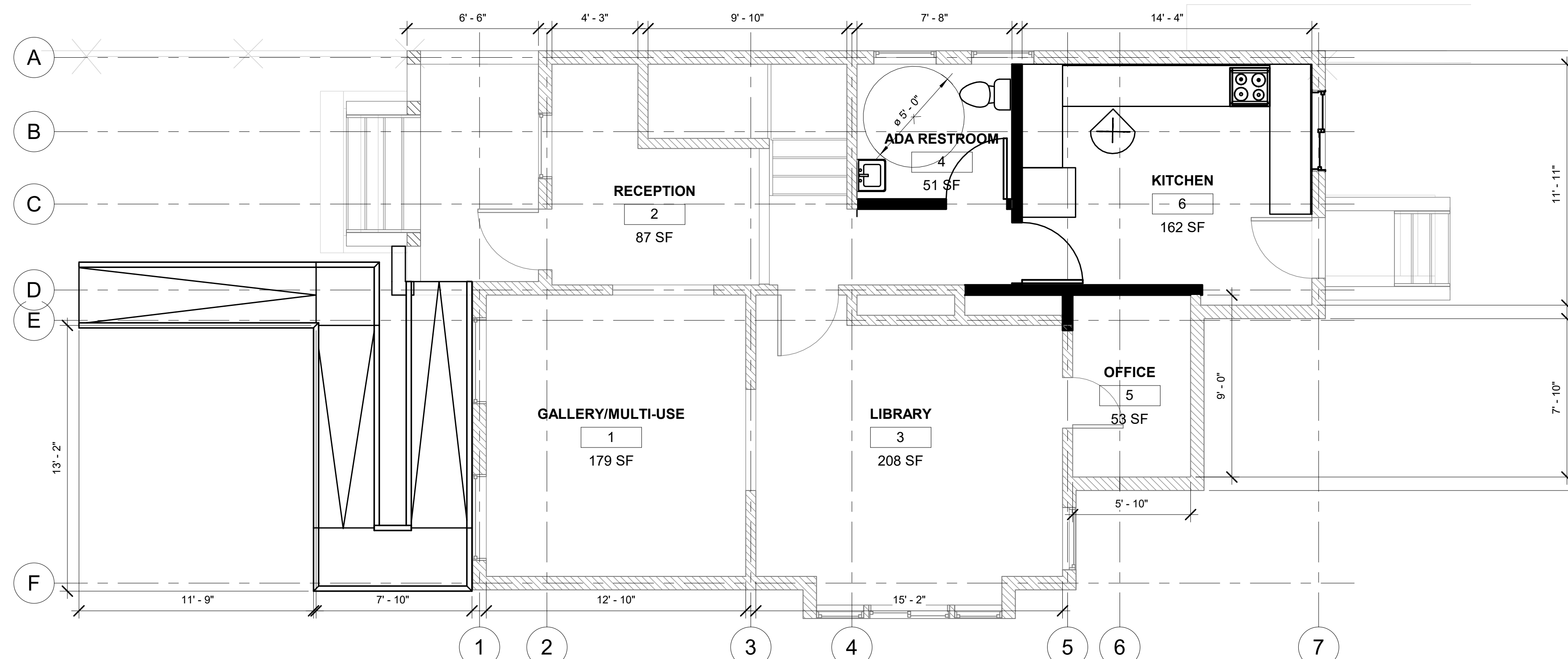
A1.1



0 8' 16' 32'
SCALE: AS NOTED



1 LEVEL 1 - EXISTING + DEMOLITION
1/4" = 1'-0"



2 LEVEL 1 - PROPOSED
1/4" = 1'-0"

LEGEND

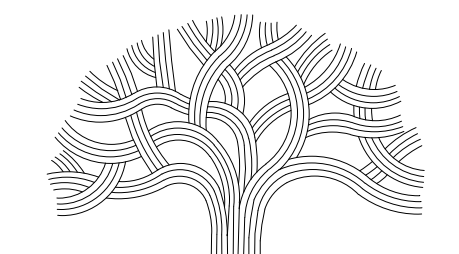
PARTITION LEGEND

SYMBOL	TYPE
	TYPICAL EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	NEW WALL

Partition Legend
1/4" = 1'-0"

KEYNOTE LEGEND

Keynote Legend	
Key Value	Keynote Text



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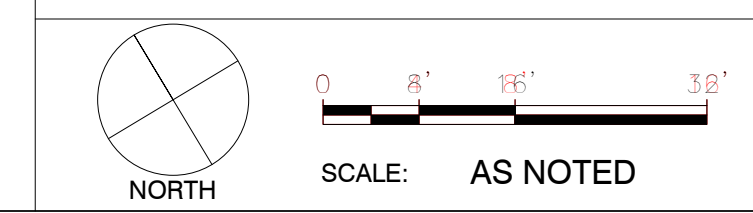


No.	DATE	ISSUE DESCRIPTION

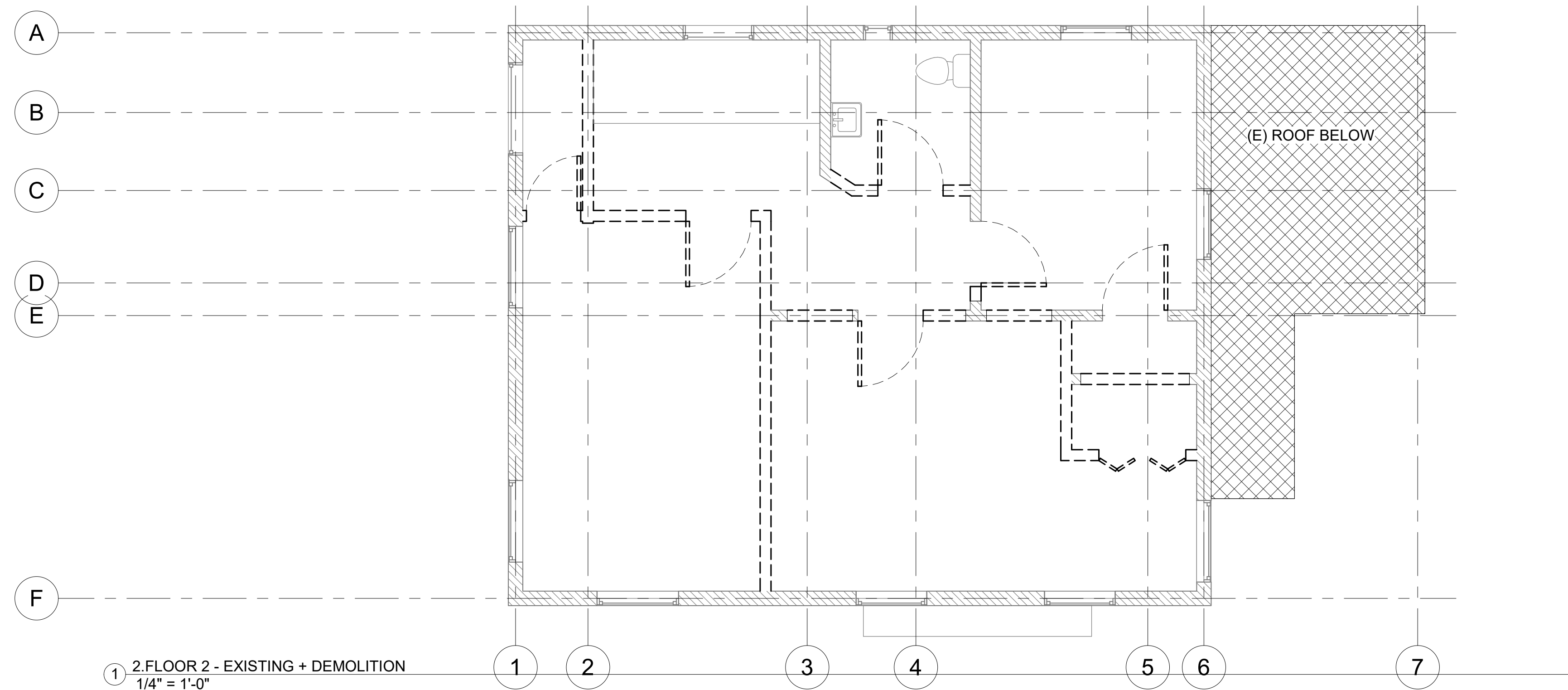
PROJECT INFORMATION

PERALTA HACIENDA HISTORICAL PARK
PHASE 4B
2465 34TH AVENUE, OAKLAND, CA 94601
PROJECT NO. 1000646

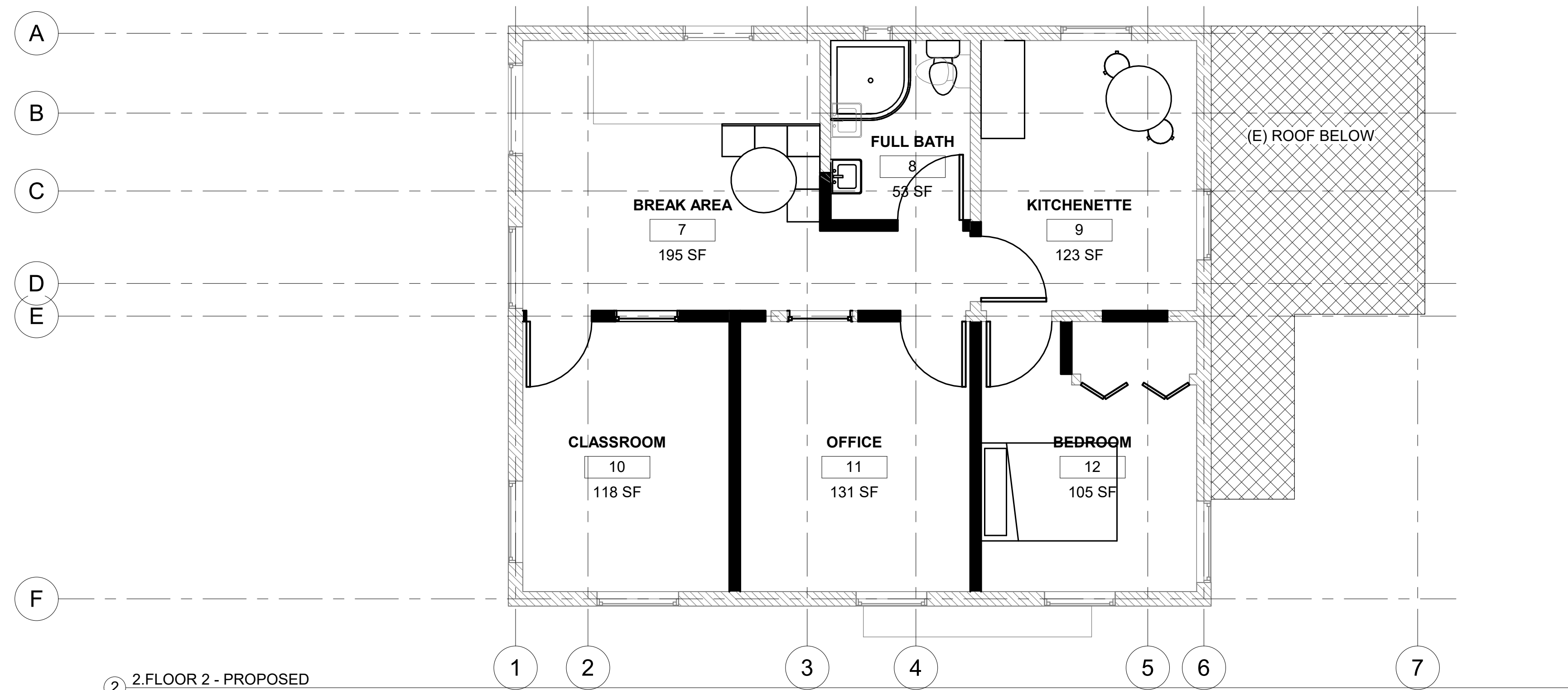
SHEET NAME
Existing & Proposed Level 1 Plans



SHEET NO.
A3.0



1 2.FLOOR 2 - EXISTING + DEMOLITION
1/4" = 1'-0"



2 2.FLOOR 2 - PROPOSED
1/4" = 1'-0"

LEGEND

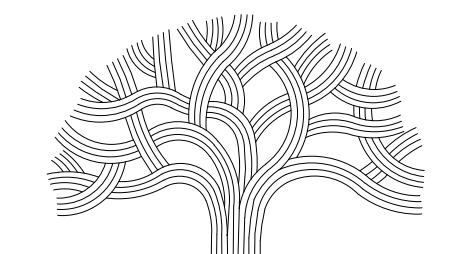
PARTITION LEGEND

SYMBOL	TYPE
	TYPICAL EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	NEW WALL

Partition Legend
1/4" = 1'-0"

KEYNOTE LEGEND

Keynote Legend	
Key Value	Keynote Text



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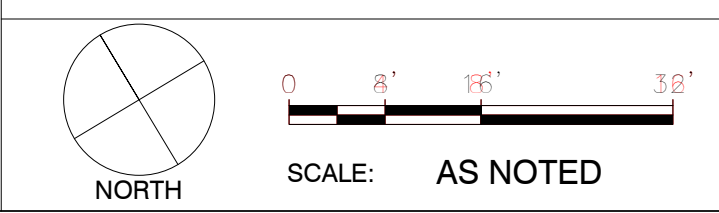


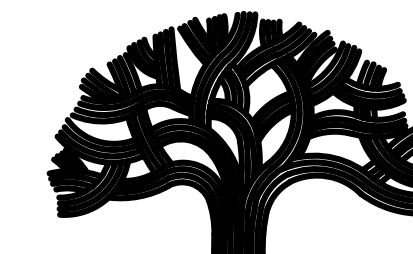
No.	DATE	ISSUE DESCRIPTION

PROJECT INFORMATION
**PERALTA HACIENDA HISTORICAL PARK
PHASE 4B**
2465 34TH AVENUE, OAKLAND, CA 94601
PROJECT NO. 1000646

SHEET NAME
Existing & Proposed Level 2 Plans

SHEET NO.
A3.1





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 DEVELOPMENT

PROJECT MANAGER I

FACILITIES PLANNING AND
 DEVELOPMENT

CIP COORDINATOR

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No.	DATE	ISSUE DESCRIPTION
	04/30/2021	SCHEMATIC DESIGN - 30% DWGS

PROJECT INFORMATION

PERALTA HACIENDA HISTORICAL PARK
 PHASE 4B
 2465 34TH AVENUE, OAKLAND, CA 94601
 PROJECT NO. TBD

SHEET NAME
ARCHITECTURAL NOTES

SHEET NO.
A4.0

ABBREVIATIONS

©	AT
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
APPR.	APPROXIMATELY
B.O.S	BOTTOM OF STEEL
CL	CENTERLINE
CLR	CLEAR
CONC.	CONCRETE
CONT.	CONTINUOUS
DIA	DIAMETER
(E)	EXISTING
ELEV.	ELEVATION
E.W.	EACH WAY
FT	FOOT
F.P.	FLUSH PANEL
GA. (ga)	GAUGE
GSM	GALVANIZED SHEET METAL
H.	HORIZONTAL
HDG	HOT DIP GALVANIZED
HM	HOLLOW METAL
HSS	HOLLOW STRUCTURAL SECTION
K.D.	KILN DRIED
MM	MILLIMETER
(N)	NEW
N.I.C.	NOT IN CONTRACT
O.C. (OC)	ON CENTER
OSB	ORIENTED STRAND BOARD
O.C.E.W.	ON CENTER EACH WAY
PL	PLATE (property line)
PG&E	PACIFIC GAS AND ELECTRIC
P.O.C.	POINT OF CONNECTION
REINF.	REINFORCING
REQ'D	REQUIRED
RM	ROOM
SHTG.	SHEETING
SIM	SIMILAR
SLD	SEE LANDSCAPE DRAWINGS
S.S. (SS)	STAINLESS STEEL
S.S.D. (SSD)	SEE STRUCTURAL DRAWINGS
T&G	TONGUE AND GROOVE
T.O.S.	TOP OF STEEL
TPO	THERMOPLASTIC POLYOLEFIN
TS	TUBE STEEL
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.	VERTICAL
V.I.F.	VERIFY IN FIELD
W (WF)	WIDE FLANGE
W/	WITH

GENERAL NOTES

SEE PROJECT COVER SHEET FOR ADDITIONAL GENERAL NOTES AND OTHER PROJECT REQUIREMENTS.

- ALL WORK SHALL COMPLY WITH APPLICABLE CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC., AS REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL COMPLY. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO THE CURRENT APPLICABLE EDITIONS OR PUBLICATIONS OF THE FOLLOWING (OR OTHERWISE NOTED):
 - A. 2019 CALIFORNIA BUILDING CODE
 - B. 2019 CALIFORNIA MECHANICAL CODE
 - C. 2019 CALIFORNIA ELECTRICAL CODE
 - D. 2019 CALIFORNIA PLUMBING CODE
 - E. 2019 GREEN BUILDING CODE
 - F. 2019 CALIFORNIA ENERGY CODE
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS INCLUDING THOSE APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTOR'S WORK.
- CONTRACTOR SHALL EXAMINE THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND SATISFY HIMSELF AS TO THE CURRENT CONDITIONS INCLUDING SITE ACCESS PRIOR TO SUBMISSION OF BID.
- NO ALLOWANCES WILL SUBSEQUENTLY BE MADE IN BEHALF OF THE CONTRACTOR BY REASON OF HIS FAILURE TO INCLUDE THE COSTS OF ALL ITEMS OF WORK, EITHER LABOR OR MATERIALS, WHETHER THEY ARE OR ARE NOT SPECIALLY OR PARTICULARLY SHOWN OR NOTED, BUT ARE IMPLIED OR REQUIRED TO ATTAIN THE COMPLETED CONDITIONS INDICATED IN THE DRAWINGS.
- ALL SUBCONTRACTORS COMMUNICATIONS SHALL BE ADDRESSED TO THE GENERAL CONTRACTOR FOR RESOLUTION.
- CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, AND ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
- CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOBSITE SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR TO NOTIFY OWNER OF ANY LONG LEAD ITEMS THAT MAY NEGATIVELY AFFECT THE SCHEDULE.
- ALL CONSTRUCTION MATERIALS EQUIPMENT AND SUPPLIES SHALL BE STORED, HANDLED AND INSTALLED ACCORDING TO MANUFACTURER'S PRINTED INSTRUCTIONS AND OTHER RECOMMENDATIONS.
- IF ERRORS OR OMISSIONS ARE SUSPECTED IN THE DRAWINGS THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THESE DRAWINGS SCHEMATICALLY INDICATE THE COMPLETED CONSTRUCTION OF THE PAVILION. THIS WORK IS A PART OF A LARGER PROJECT AND THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THIS WORK WITH THE OVERALL PROJECT.
- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT.
- ALL DIMENSIONS TO BE TAKE FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED FROM DRAWINGS. THE SIZE OF THESE DRAWINGS ARE 34" x 22". IF THEY DO NOT MEASURE ACCORDINGLY THEY HAVE BEEN ALTERED IN REPRODUCTION.
- THESE NOTES APPLY TO ALL DRAWINGS RELATED TO THE PAVILION INCLUDING WORK DESIGNED BY OTHER PROFESSIONS. SEE SPECIFICATIONS AND DRAWINGS PREPARED BY OTHERS.
- OVERALL DIMENSIONS ARE TO CENTERLINE OR FACE OF FRAMING, UNLESS OTHERWISE NOTED.

CODE ANALYSIS FOR
 COMMUNITY ASSEMBLY STRUCTURE (PAVILION)

PER 2019 CBC

OCCUPANCY CLASSIFICATION PER SEC. 303.4:
 A-3 MUSEUM

CONSTRUCTION TYPE:
 TYPE V -B

PER TABLE 601 TYPE V-B CONSTRUCTION:

UNRATED STRUCTURE, WALLS,
 PARTITIONS, FLOOR AND ROOF
 CONSTRUCTION

ALLOWABLE AREA PER TABLE 506.2
 A-3 OCCUPANCY; V-B CONST. 6,000 SF
 PAVILION AREA 4,285 SF OK

TOTAL OCCUPANCY PER TABLE 1004.1.2:
 30 SF/ OCCUPANT = 55 OCCUPANTS
 2 EXITS REQUIRED
 PAVILION IS OPEN ON ALL 4 SIDES

NOTE:

THIS PARK IS SERVED BY TOILET ROOMS
 CONSTRUCTED IN 2009
 PERMIT NUMBERS B0805155 AND B0805199

SEE PROJECT COVER SHEET FOR THE INDEX
 OF ARCHITECTURAL DRAWINGS

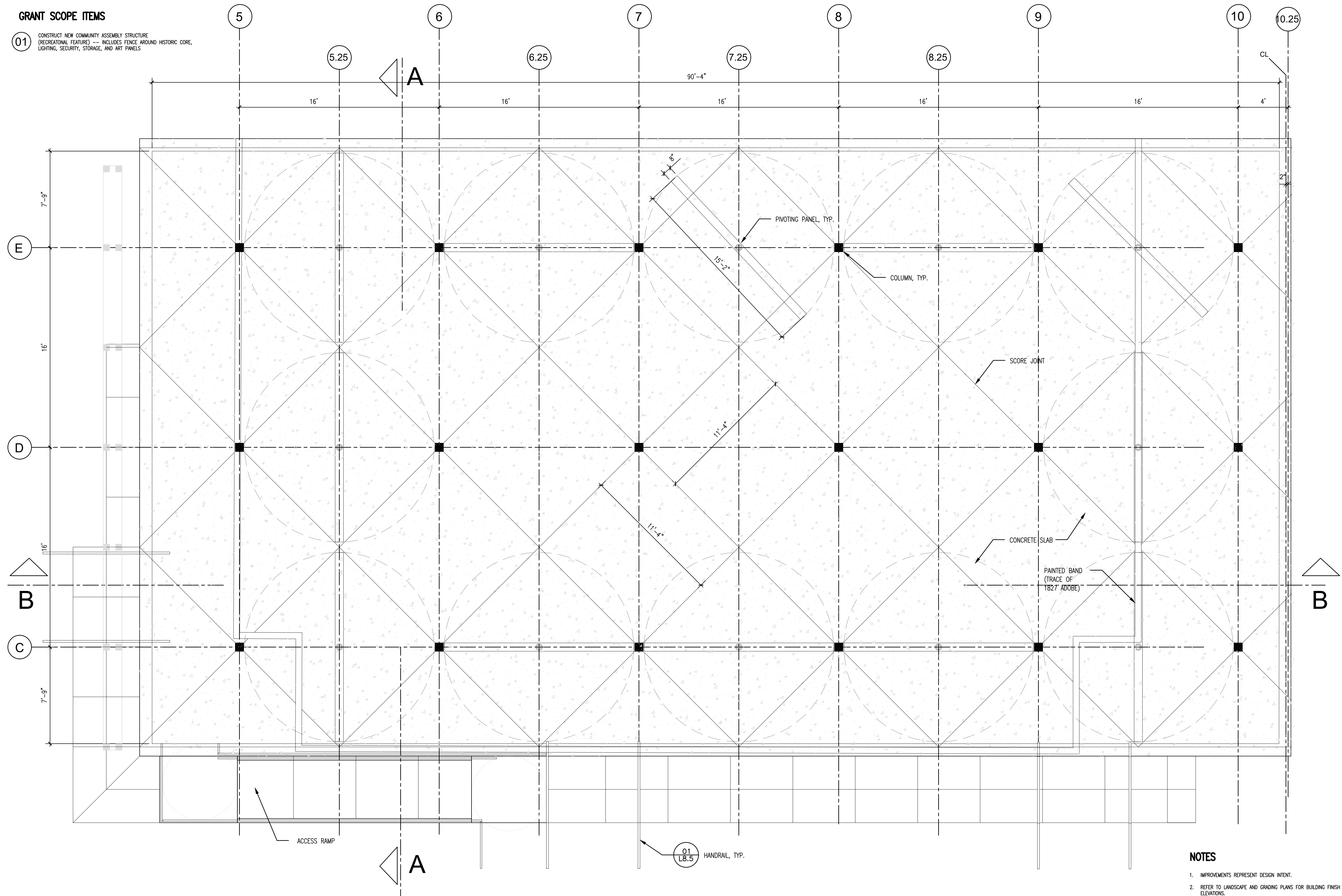
SEE LANDSCAPE DRAWINGS FOR ACCESSIBLE
 ROUTE PLAN



DRAWING MADE FROM 2021 PERALTA HACIENDA HISTORICAL PARK PHASE 4B ARCHITECTURAL NOTES SHEET A4.0.dwg
 04/30/2021 10:00 AM
 PLUT DAVIS
 ARCHITECTS

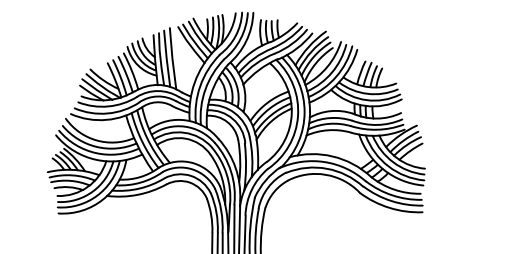
GRANT SCOPE ITEMS

- 01 CONSTRUCT NEW COMMUNITY ASSEMBLY STRUCTURE (RECREATIONAL FEATURE) -- INCLUDES FENCE AROUND HISTORIC CORE, LIGHTING, SECURITY, STORAGE, AND ART PANELS



01 COMMUNITY ASSEMBLY STRUCTURE (PAVILION) – FLOOR PLAN
SCALE: 1/4"=1'-0"

- NOTES**
- IMPROVEMENTS REPRESENT DESIGN INTENT.
 - REFER TO LANDSCAPE AND GRADING PLANS FOR BUILDING FINISH FLOOR ELEVATIONS.
 - REFER TO NOTES ON A4.0.



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CIP COORDINATOR

NOT FOR CONSTRUCTION

DRAWN BY: AD
DESIGNED BY: AD
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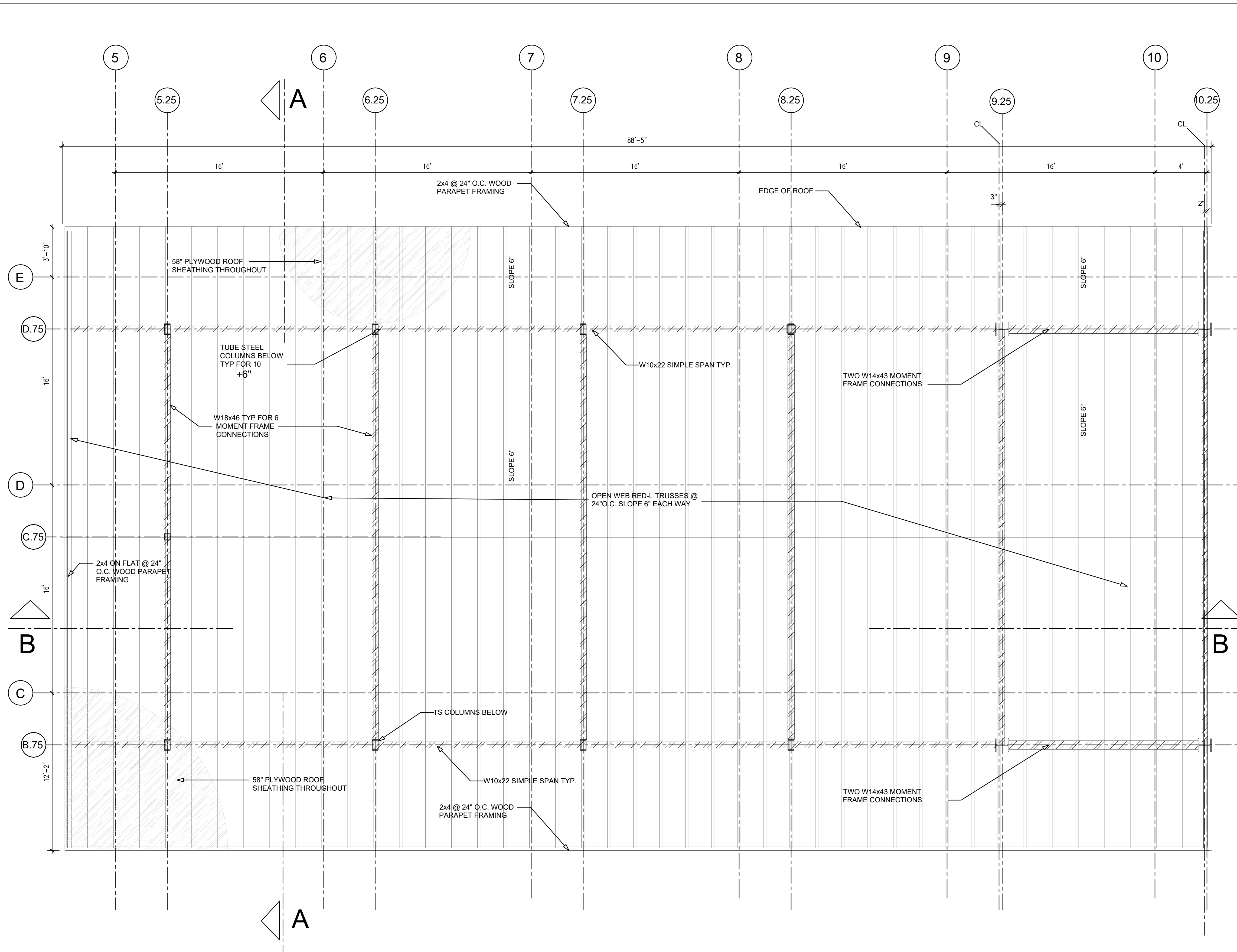
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04/30/2021	04/30/2021	SCHEMATIC DESIGN - 30% DWGS

PROJECT INFORMATION
PERALTA HACIENDA HISTORICAL PARK
PHASE 4B
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PROJECT NO. TBD

SHEET NAME
PAVILION – FLOOR PLAN

SHEET NO.
A5.1

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PLOTTED BY: Almo



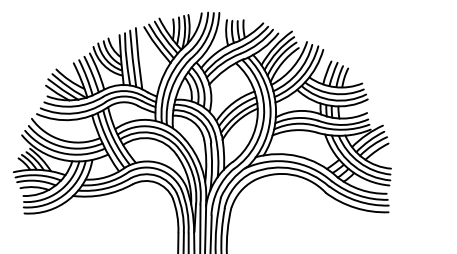
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GRANT SCOPE ITEMS

01 CONSTRUCT NEW COMMUNITY ASSEMBLY STRUCTURE (RECREATIONAL FEATURE) --- INCLUDES FENCE AROUND HISTORIC CORE, LIGHTING, SECURITY, STORAGE, AND ART PANELS

NOTES

1. IMPROVEMENTS REPRESENT DESIGN INTENT.
2. REFER TO LANDSCAPE AND GRADING PLANS FOR BUILDING FINISH FLOOR ELEVATIONS.
3. REFER TO NOTES ON A4.0.



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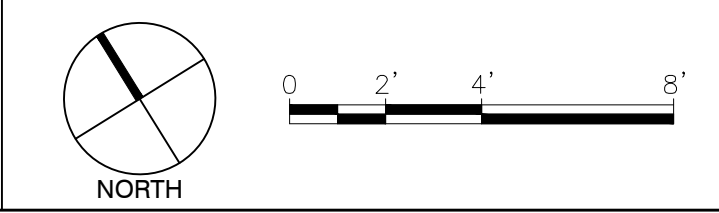
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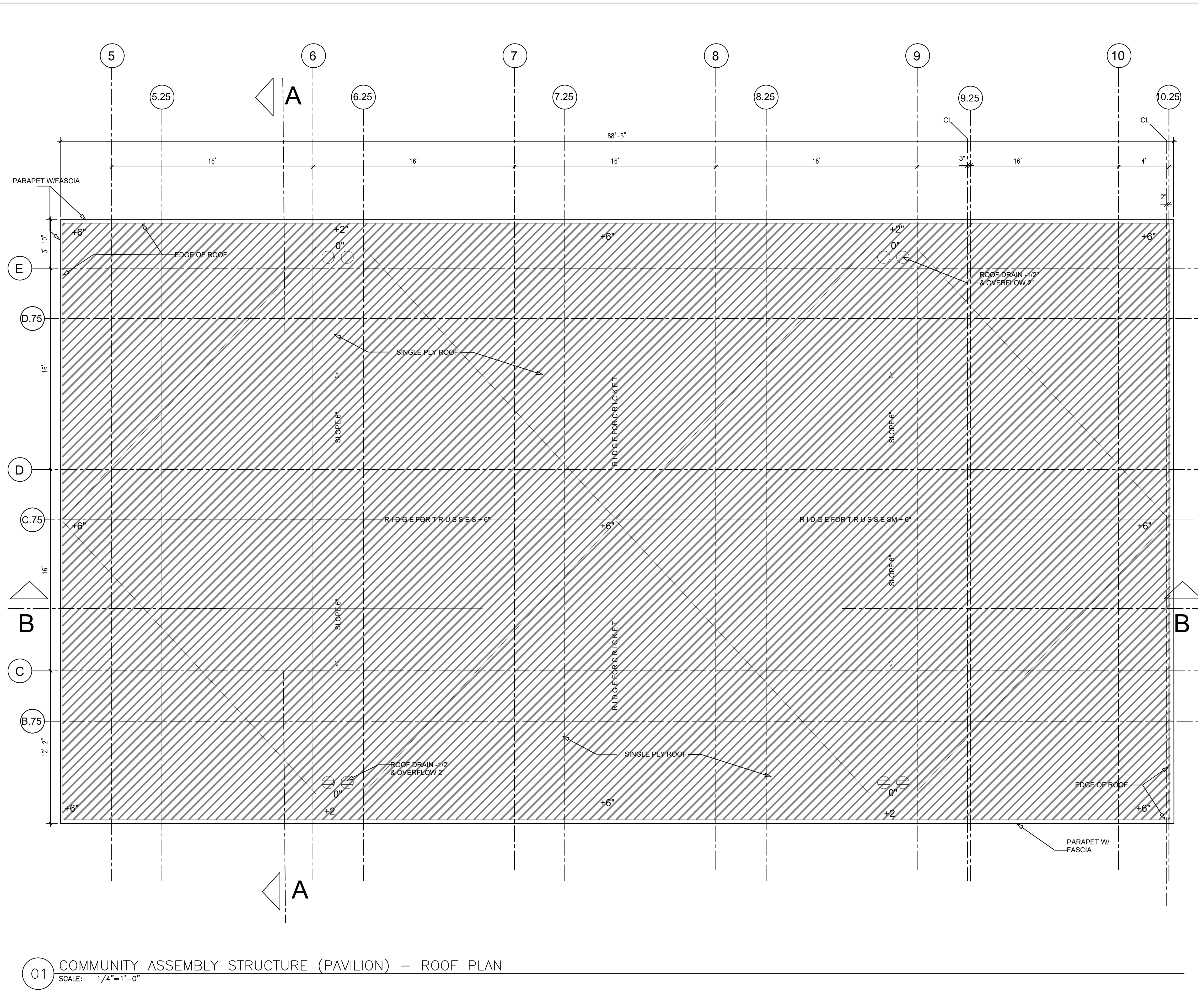
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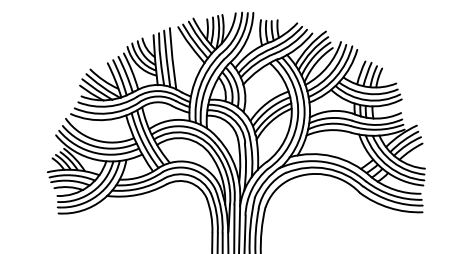
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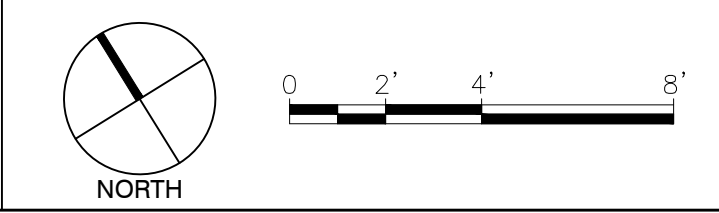
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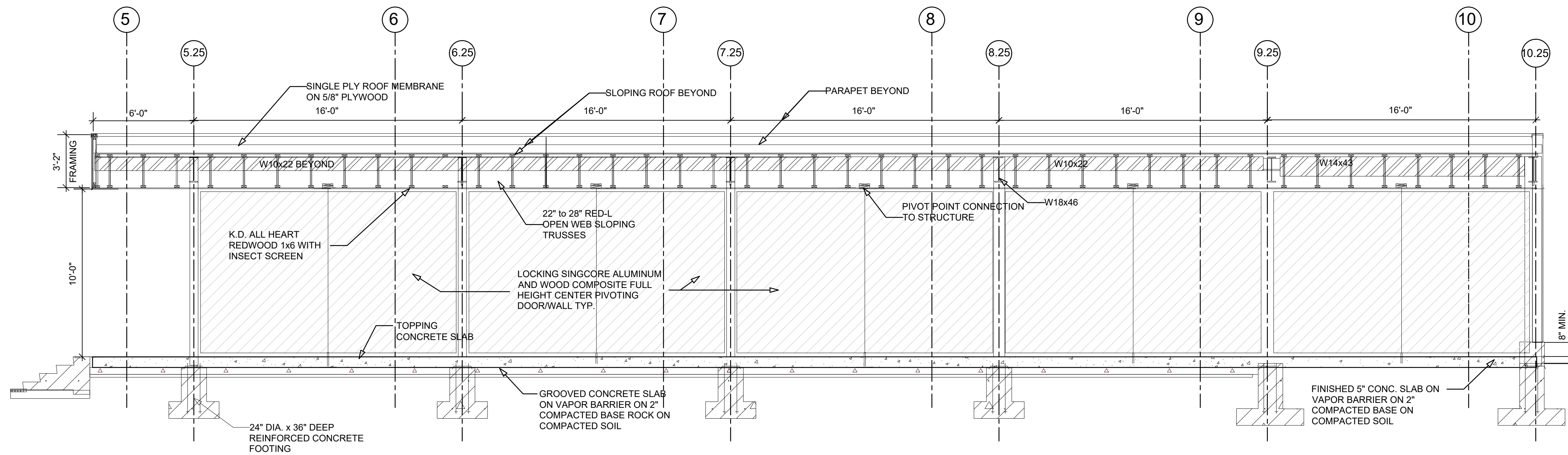
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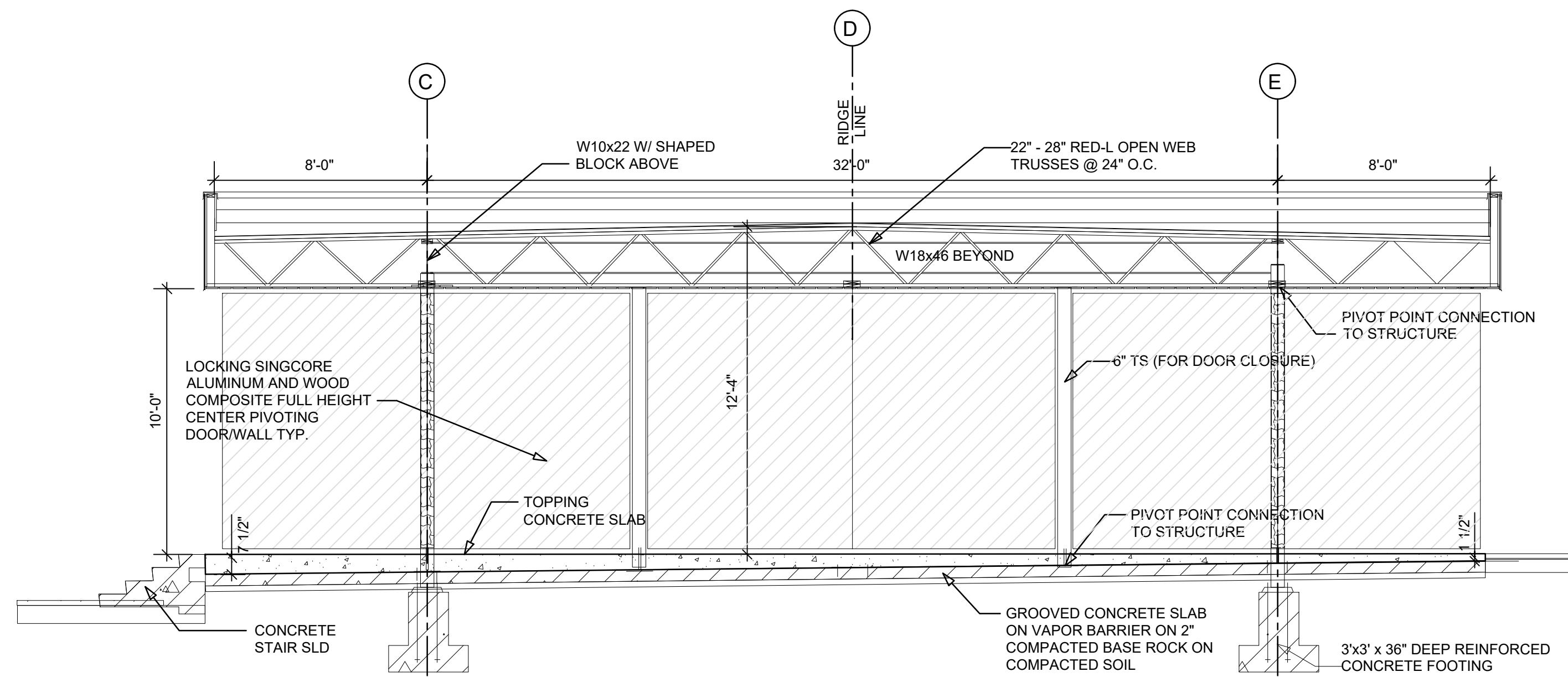
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02 COMMUNITY ASSEMBLY STRUCTURE (PAVILION) – LONG SECTION
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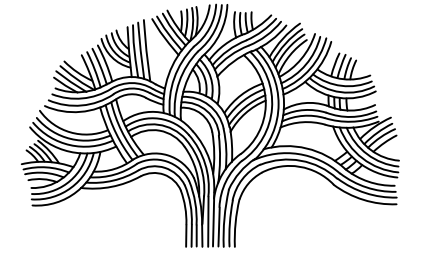
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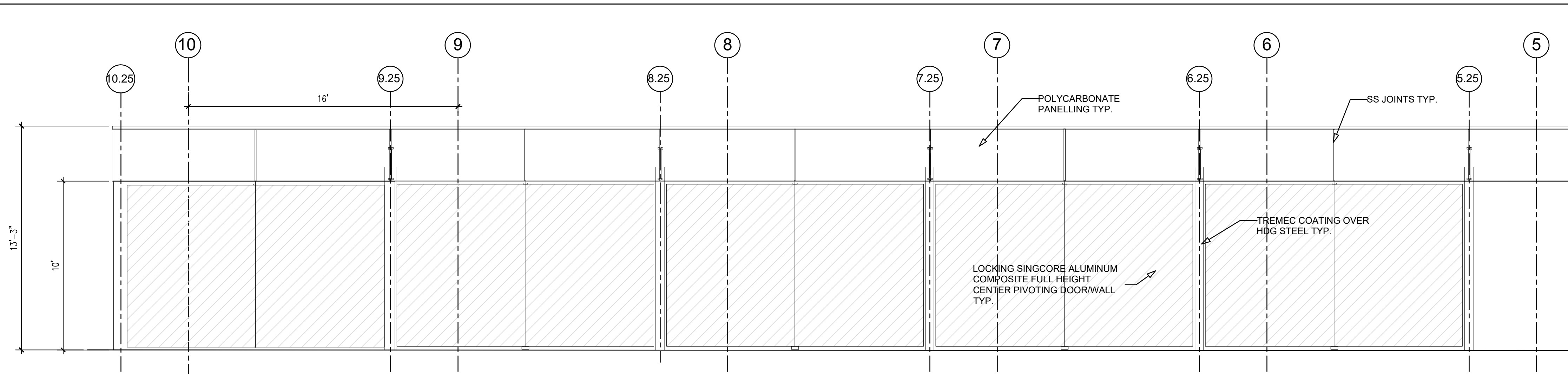
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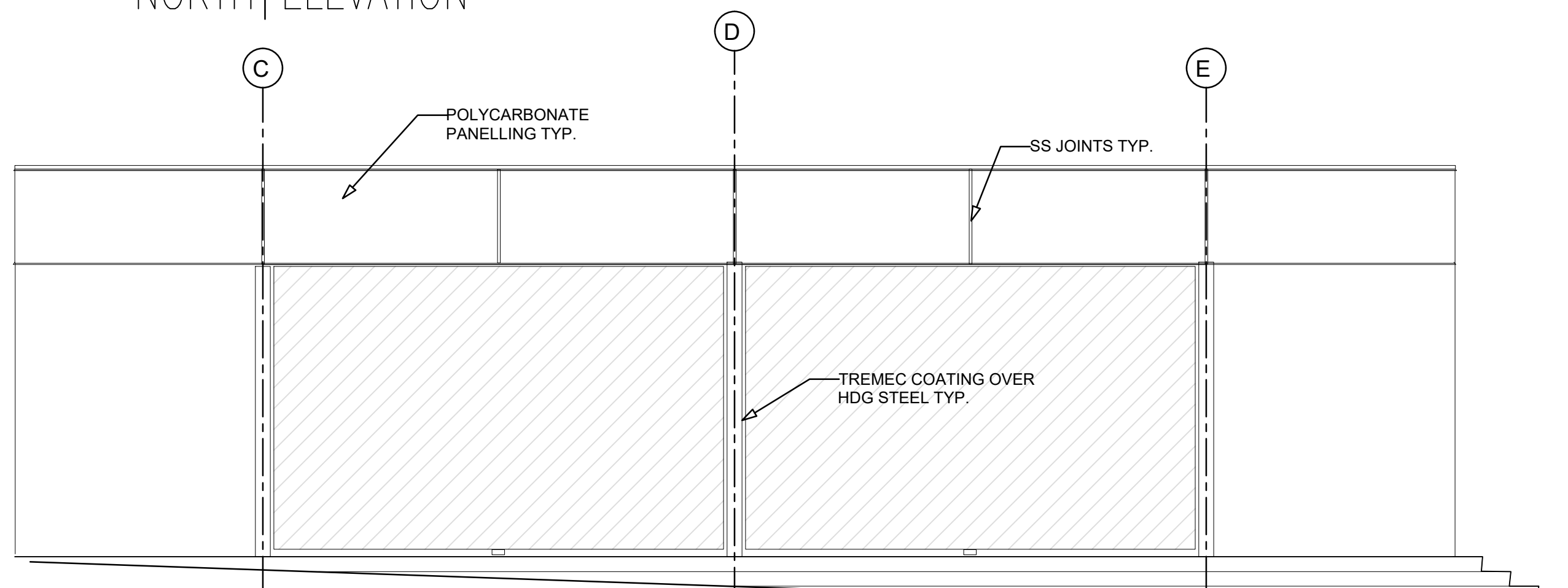
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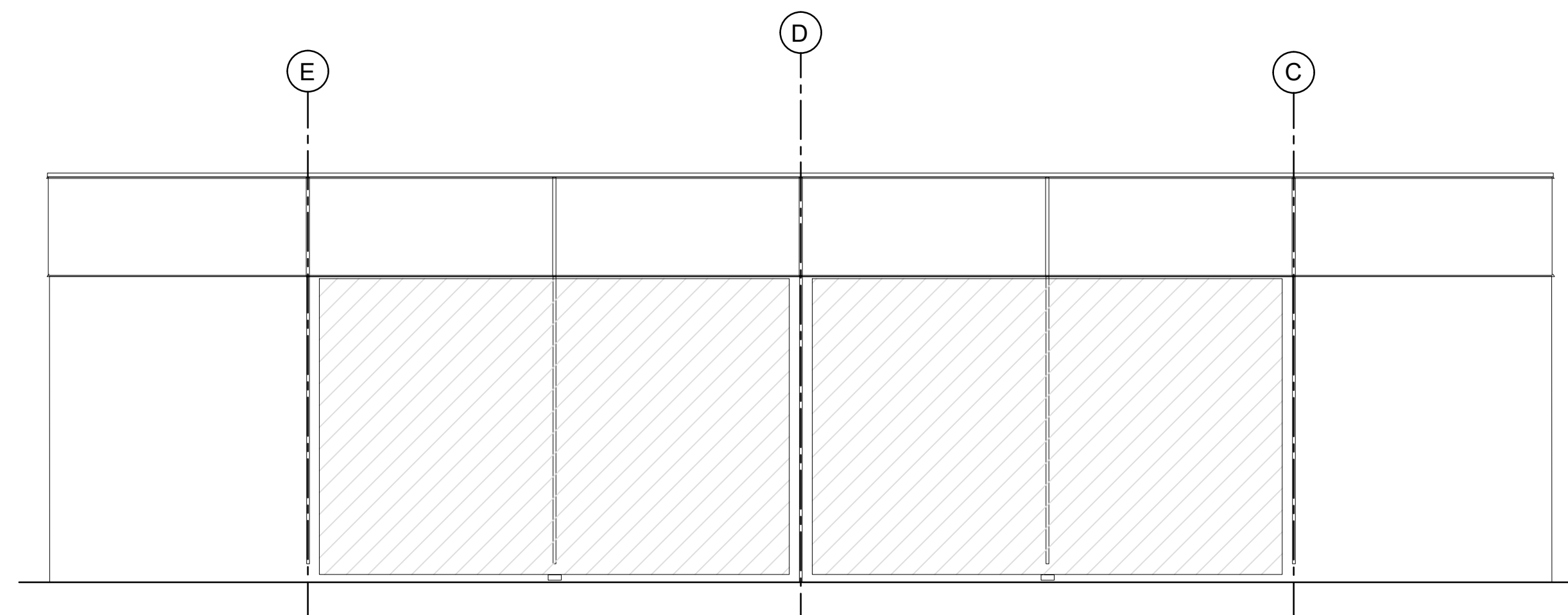




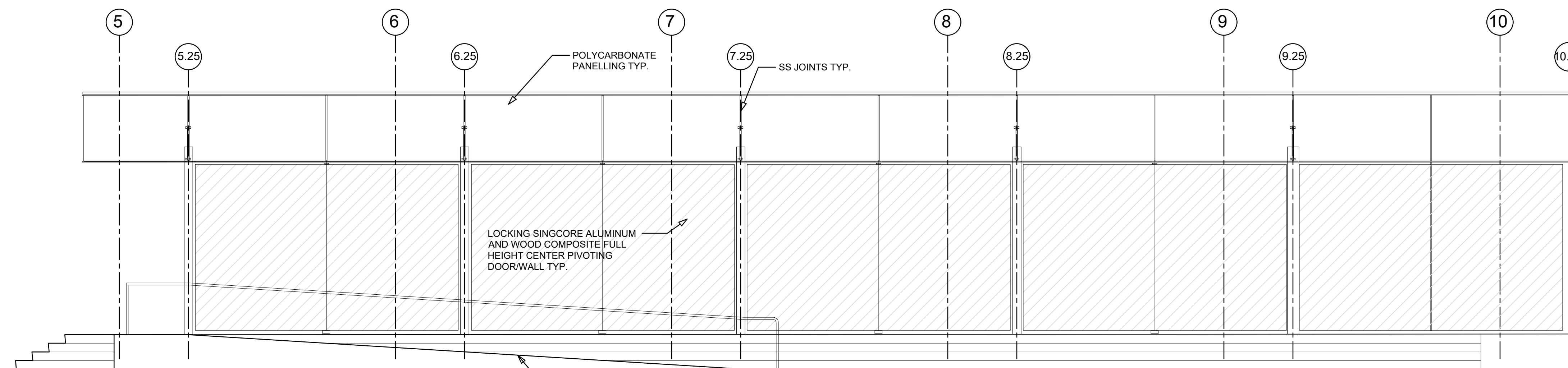
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WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

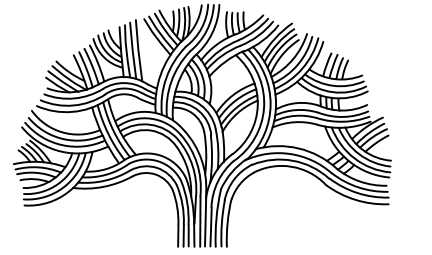
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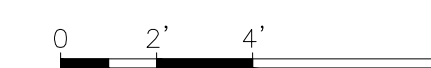
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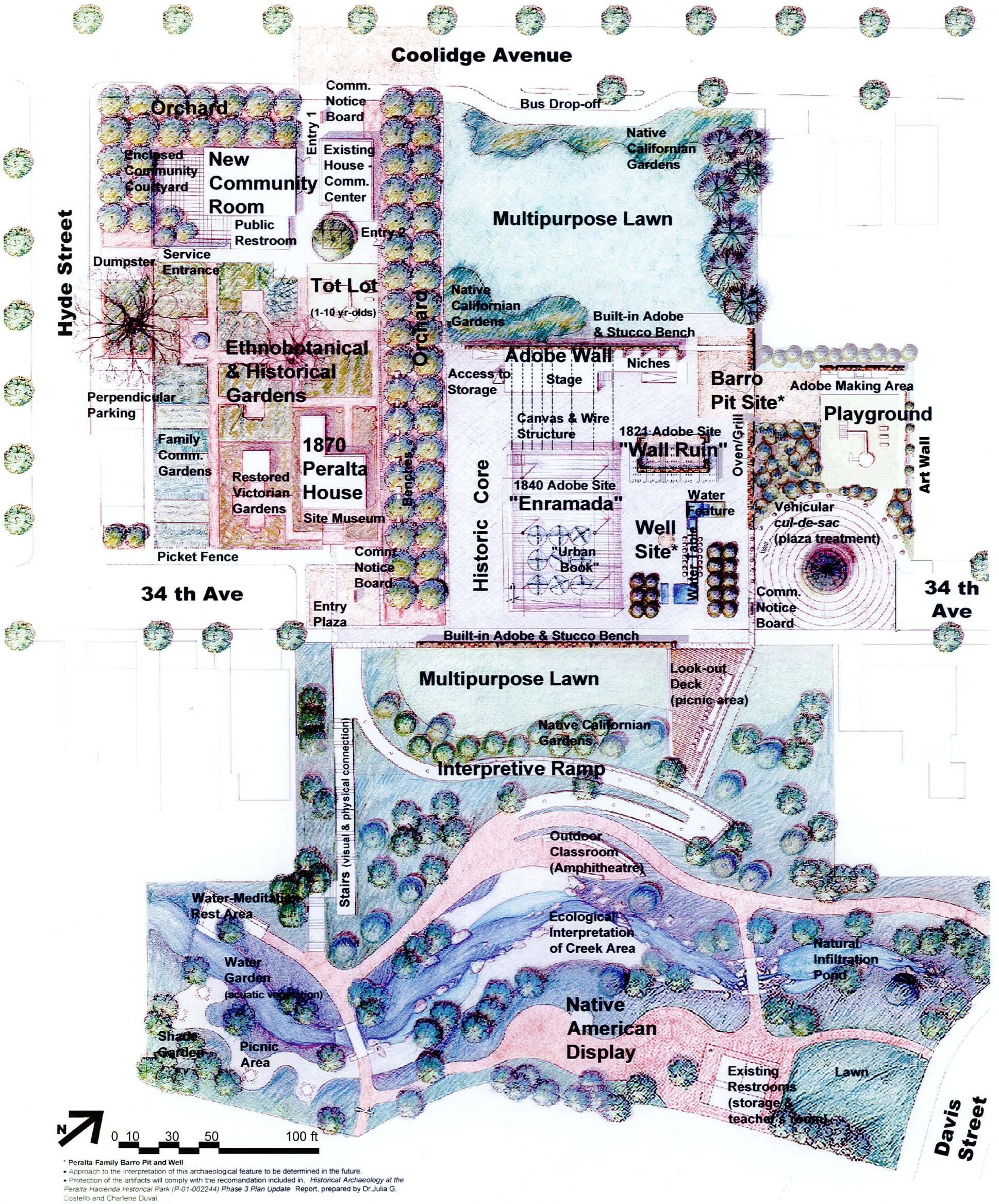
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01 COMMUNITY ASSEMBLY STRUCTURE (PAVILION) – BUILDING ELEVATIONS

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 PLOTTED BY: Alina



* Peralta Family Barro Pit and Well
 • Approach to the interpretation of this archaeological feature to be determined in the future.
 • Protection of the artifacts will comply with the recommendation included in, *Historical Archaeology at the Peralta Hacienda Historical Park (P-01-002244) Phase 3 Plan Update* Report, prepared by Dr. Julia G. Costello and Charlene Duval

Fig. 6 Peralta Hacienda Historical Park Updated Master Plan 2001



Fig. 8 Orchard Canopy Access - View from Coolidge Avenue

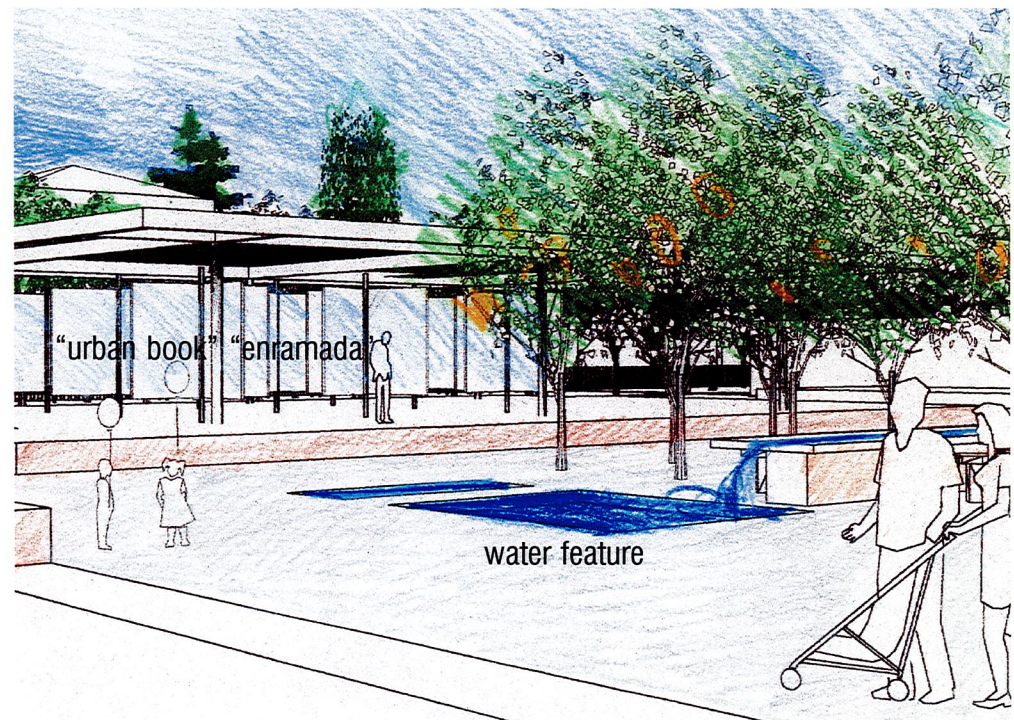


Fig. 9 View of the Historic Core - Water Feature and "Enramada"

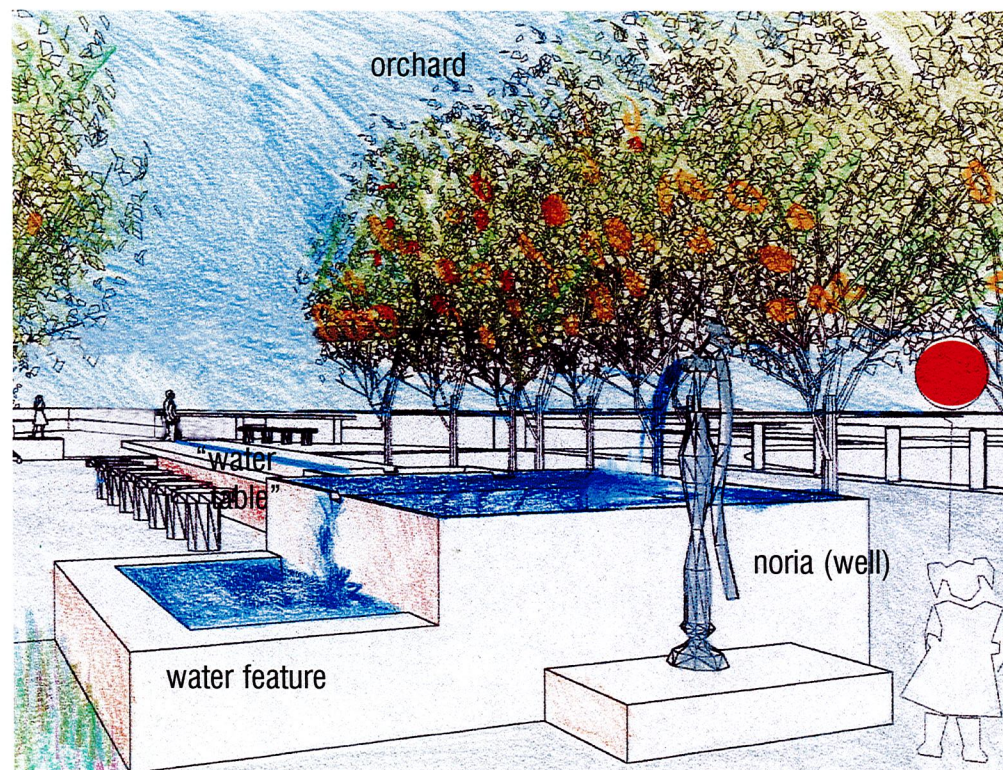


Fig. 10 View of Noria (well) and "Water Table" Feature

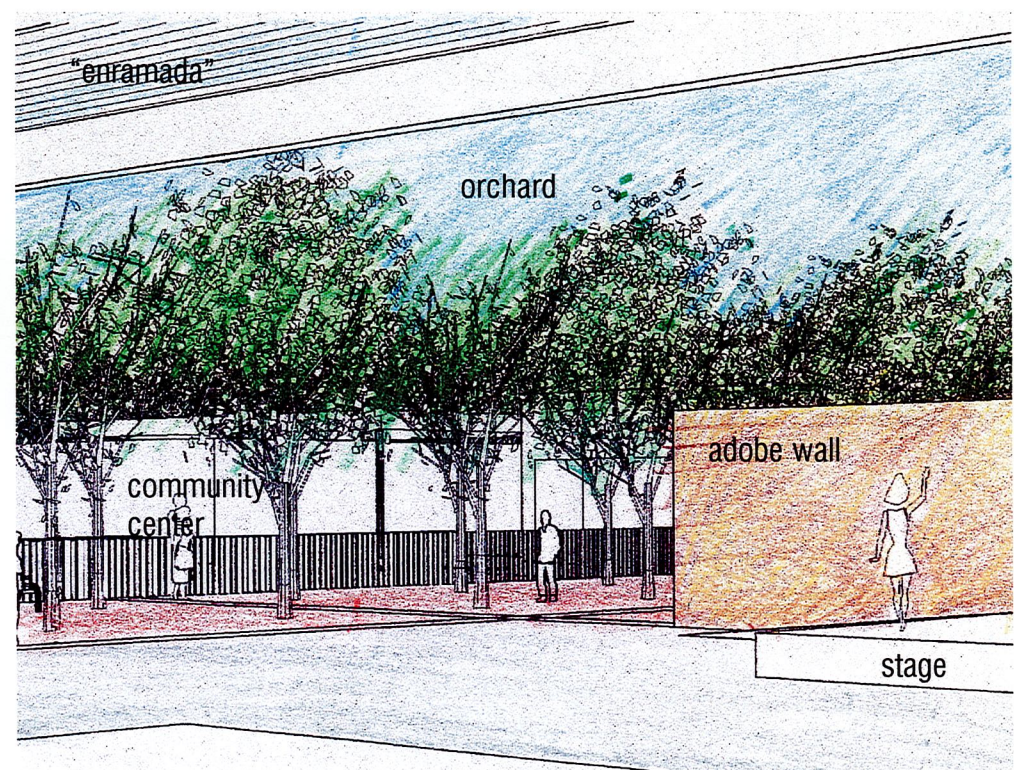


Fig. 11 View of Stage and Adobe Wall from under "Enramada"

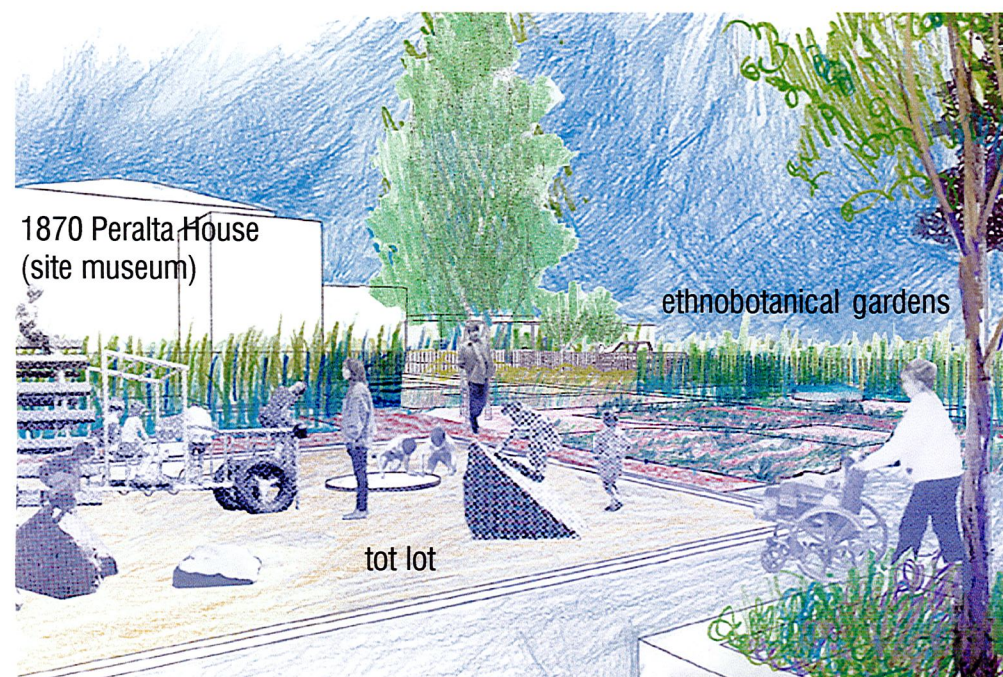


Fig. 12 View of Tot Lot and Ethnobotanical Gardens

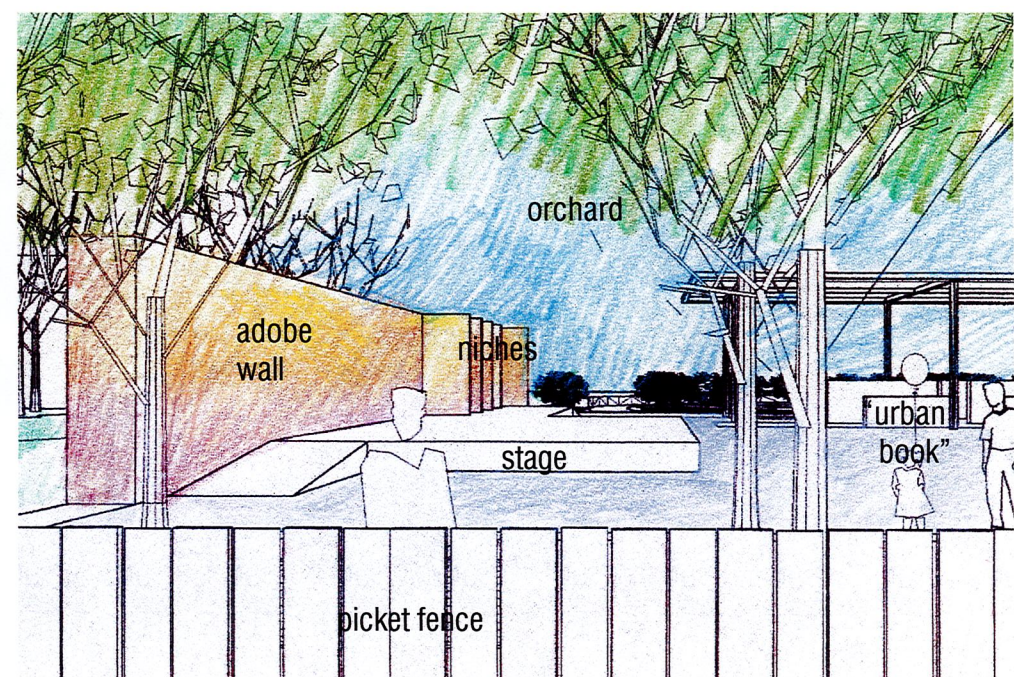


Fig. 13 View of the Adobe Wall and Stage from the Community Center

1970s
1970s
1970s

1970s
1970s

1970s
1970s

1970s
1970s

PERALTA HACIENDA HISTORICAL PARK

**master plan
update report**

PHASE III

Layers of earth as time collage

April 2002

master plan update report

PERALTA HACIENDA HISTORICAL PARK

PHASE III

A Plan for a Renewed Oakland City Park Sponsored by

City of Oakland
Friends of Peralta Hacienda Historical Park
Fruitvale Community Development District Board

April 2002

design team

Pattillo & Garrett Associates (PGA) - Prime, Landscape Architects

Mario Schjetnan, Grupo de Diseno Urbano (GDU) - Lead Designer, Landscape Architect

Foothill Resources, Ltd. - Archeologists, Historic Research

Matthew Potteiger - Cultural Landscape Architect

Gregory Lamphier - Environmental Consultants

PSL Surveys Inc. – Surveyors

Don Todd Associates – Cost Estimators

Manna Consultants – Engineers

acknowledgements

The Oakland City Council: Jane Brunner, Henry Chang, Ignacio De La Fuente, Mosses L. Mayne Jr., Nancy Nadel, Larry Reid, Dick Spees, Danny Wan
Jeanne Zastera, Project Manager, Public Works Agency
Kerry Jo Ricketts-Ferris, Project Manager, Life Enrichment Agency
Christine Calebrese, ADA Programs & Facilities
Leslie Estes and Kristin Hathaway, Public Works Agency, Environmental Services Division

Friends of Peralta Hacienda Historical Park , Board of Directors & Staff

Holly Alonso, Executive Director

Lorne Lentz, Board Chair
Rita Torres-Gonzalez, Vice Chair
Rosario Flores, Vice Chair
Dale Hagen, Board Treasurer
Helen Lore, Board Secretary
Claudia Albano, Board Member
Rosa Drew, Board Member
Ray Edwards, Board Member
Joanne Jasson, Board Member
Beverly Blythe, Board Member
Janis Knox, Board Member

Hazel Manica, Hon. Life Member

Mary-Jo Wainwright, Project Historian
Grey Kolevzon, Assistant
Susan Faumann and Cassidy Puckett,
Americorps VISTA workers

Associated Design Team

Gilbert Chan, Architect, Project Manager for the Community Center
Wolfe Mason Associates, Consulting Landscape Architect for the Creek Restoration

National Endowment for the Humanities (NEH) Workshop Participants

Alex Saragoza, Lisbeth Haas, Mary-Jo Wainwright, Randal Milliken, Douglas Monroy, **Scholars**
Grey Kolevzon, **Community Activist**
David Montes de Oca, Sara Oremland, **Teachers**
John Knoop, **Videographer**
L. Thomas Frye, Bev Ortiz, Jeff Norman, Wells Twombly, Karen Hampton, Nikki Silva, **Interpretive Specialists**

Funding Sources

City of Oakland Community Development Block Grant. Measure K, Series C. Measure I.
Measure B. Municipal Open Space Bond Program. National Endowment for the Humanities

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This Master Plan update report was generated at the request of the City of Oakland, California to describe the community-based design process undertaken in 2000, to design and prioritize a revised landscape and interpretive plan for the Peralta Hacienda Historical Park (PHHP).

In 1981, the City of Oakland approved the original Master Plan for the development of Peralta Hacienda Historical Park, to be implemented in phases. Phase I construction was implemented immediately and included an expanse of lawn on the 34th Avenue edge of the park, and the restoration of the Peralta creek.

Friends of Peralta Hacienda Historical Park (Friends) was incorporated as a non-profit organization in 1985 to promote the development of the neighborhood park, to restore the 1870 Italianate-style house, and to raise the community's and region's awareness of the site and its significance to California and the western United States.

Phase II was completed in 1996: A six-unit public housing complex was purchased, demolished and moved off the site. Footprints interpreting the two adobes and the adobe wall were built. During construction, construction crews trenching a "soft spot" on the site, hit an artifact-rich feature dated from the Rancho era, and the City hired archeologists to remove and study these artifacts.

The discovery increased attention from the community and researchers to the historic site. Friends organized –with the sponsorship of the City- a series of community meetings and events to present the new archeological discoveries and to gather input about the needs and visions for the PHHP.

In 1999, Friends secured a grant from the National Endowment for the Humanities (NEH) for an interpretive programming plan for the park. The grant sponsored two 2-day workshops, which included historians, landscape architects, interpretive specialists, community members and agencies, Friends members, school kids, teachers and City of Oakland staff.

Concurrently, in 1999 the City of Oakland's Public Works and Life Enrichment Agencies, using Measure K, Series C bond funds, worked with Friends to form an interdisciplinary design team to update the Master Plan, expand the archeological research, interpret the archeological feature found in 1996, and incorporate new input received from both community and specialists.

The design team assembled by Patillo & Garrett Associates as local consultants, and Mario Schjetman as lead designer, developed the Updated Master Plan presented in this document. New archeological field work and historical research, and the feedback from three broad-based community meetings were considered in the design development process.

This update report presents the design response to all the stories, needs and visions that the City of Oakland and Friends of Peralta Hacienda Historical Park have compiled during the 25 years they have worked together to build the Peralta Hacienda Historical Park.

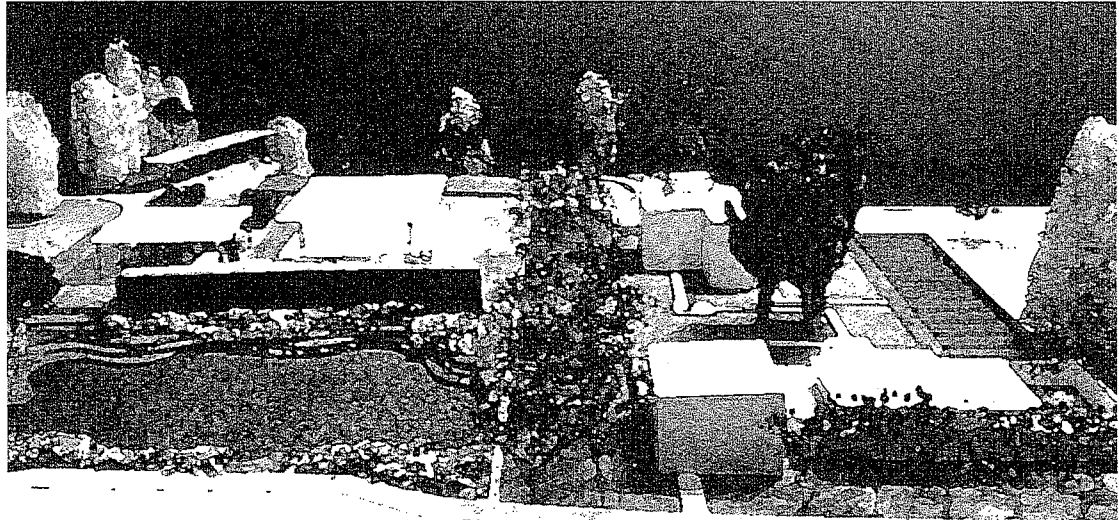


Fig. 1 View of Peralta Hacienda Historical Park (site model) (1)

Peralta Hacienda Historical Park (PHHP) reflects the long and complex human context in the populated coastal areas of California, from the time of the pre-European Native Americans, to the diverse modern community of the present day. The history of its creek, adobe rancho area and 1870 Italianate house spans the nineteenth century, during which time the land was transformed in turn by settlers from Spain, Mexico and the United States, giving place to the present conditions of the site.

The main goal of the PHHP Master Plan is to tell the stories of the many peoples who have occupied the site, as well as the history of the land itself. The updated Master Plan envisions the park as the common ground where memories and practices in motion intermingle to illuminate the community's identity and celebrate its past, present and future. The design aims to create a multi-layered place with traces and remnants of different historic periods, and to develop a format where people can see part of their own history as well.

The physical site design is flexible and adaptable, open to change, embracing the on-going processes of the present and future social and natural communities.

The revised design seeks to forge a unified approach to accommodate the historic and native landscapes, the interpretive activities, and the community's need for open space into one unique park.

- 1769** First Spanish settlement in California. Native Peoples have inhabited this territory for 15,000 years.
- 1797** The Spanish established Mission San Jose. This was the first settlement on *Contra Costa* (the coast opposite San Francisco).
- early 1800's** Native Peoples of the future Rancho San Antonio area had either entered the missions or lived in nearby rancherías or had fled to the interior of the Spanish territory, known as Alta California.
- 1820** Pablo Vicente de Sola, the last Spanish governor of Alta California, granted Rancho San Antonio – 44,800 acres of land in the northwest corner of present-day Alameda County- to Luis Maria Peralta. Antonio Peralta, Luis's son, built a temporary structure on the site to lay claim to the land, probably with help from his brothers.
- 1821** Antonio Peralta built the first permanent adobe on the portion of the rancho that later became the Fruitvale / East Oakland area. The Peralta occupation of Rancho San Antonio was the first permanent settlement, after the Mission San Jose, on the east side of San Francisco Bay, and the adobe was the first non-Native structure in the region. The Peraltas brought 800 head of cattle to the rancho. (By the 1840's, their herds had increased to over 8000 head of cattle and 2000 horses.)
- 1840** Antonio Peralta constructed a new larger adobe at the compound.
- 1842** Luis Peralta unofficially divided his rancho among his four sons. Antonio Peralta was given the portion of the rancho where he had been living for nearly 20 years, where the original 1821 adobe and his new 1840 adobe stood.
- 1846** The United States declared war on Mexico.
- 1848** The United States acquired the Mexican province of California in the Treaty of Guadalupe Hidalgo. Gold was discovered in the Sierra foothills, starting the "Gold Rush" to California.
- 1849** Foreign lumbermen erected several sawmills in the redwoods in the hills above Antonio's portion of Rancho San Antonio. Lumbering became a profitable enterprise until the early 1850's when the resources were depleted.
- 1850** California achieved statehood. Moses Chase and the two Patten brothers –the first squatters on Rancho San Antonio—took up residence on the east side of what is now known as Lake Merritt. They convinced Antonio Peralta to lease them 300 acres for farming. Antonio himself is known to have farmed extensively, growing cabbages, potatoes and other crops which he sold to traders along the coast.
- 1851** The United States government created the California Land Claims Commission to validate the titles granted by the Mexican government prior to statehood. They tried to determine legal ownership and establish fixed boundaries. By the end of the process, which lasted up to 17 years, the California cattle ranchers lost much of their original property when they paid attorneys in land for representing their cases before the commission. Luis Peralta died, and a probate fight ensued between the Peralta brothers and their sisters who also claimed an interest in the rancho lands.

- 1859** The litigation between the Peralta siblings was settled in favor of the Peralta brothers by the California Supreme Court.
- 1860-1864** Periods of severe drought affected the Bay Area. One million head of cattle perished in California in 1864.
- 1868** A strong earthquake shook the Bay Area, seriously damaging the adobe constructed in 1840. Antonio Peralta and his family took up residence in the 1821 adobe still extant on the property.
- late 1860's** By this time, large portions of the original Peralta rancho lands had been lost, either stolen, sold, or paid in legal fees. Ranching became unprofitable through natural causes and economic changes in the new California.
- 1870** Antonio Peralta moved his family into a new frame, Italianate-style residence that still stands today. During the construction project, all the buildings built during the rancho period, with the exception of the 1821 adobe, were demolished. The well of the compound was relined with bricks.
- 1874** Antonio received a patent from the US government for his share of the rancho.
- 1879** Antonio, the last of the Peralta brothers, died. Francisco Galindo, who married Antonio's daughter Inez, had acquired Antonio's home. At that point all that was left from Antonio's original 16,967-acre part of the rancho, were 23 acres of land including the site of the original adobes.
- 1897** Inez Peralta sold the remaining property to Henry Z. Jones, who subdivided the parcel into house lots known as the Galindo Tract. He razed the ruins of the 1821 Peralta adobe at this time, and moved the 1870 frame building to its present location. He allowed the remaining bricks to be taken by Dennis Dimond who used them to build a lodge on his property, which is now part of Dimond Park.
- 1936** The former Antonio Peralta house was converted in four apartments.
- 1951** As part of his research of Bay Area adobes, J.N. Bowman published the first historical study of the Peralta site.
- late 1970's** Community activists, led by resident Claudia Albano, rediscovered the significance of the historic site. They began their effort to acquire land, once owned by the Peralta family, to plan and build a public open space to celebrate the significance of this important place.

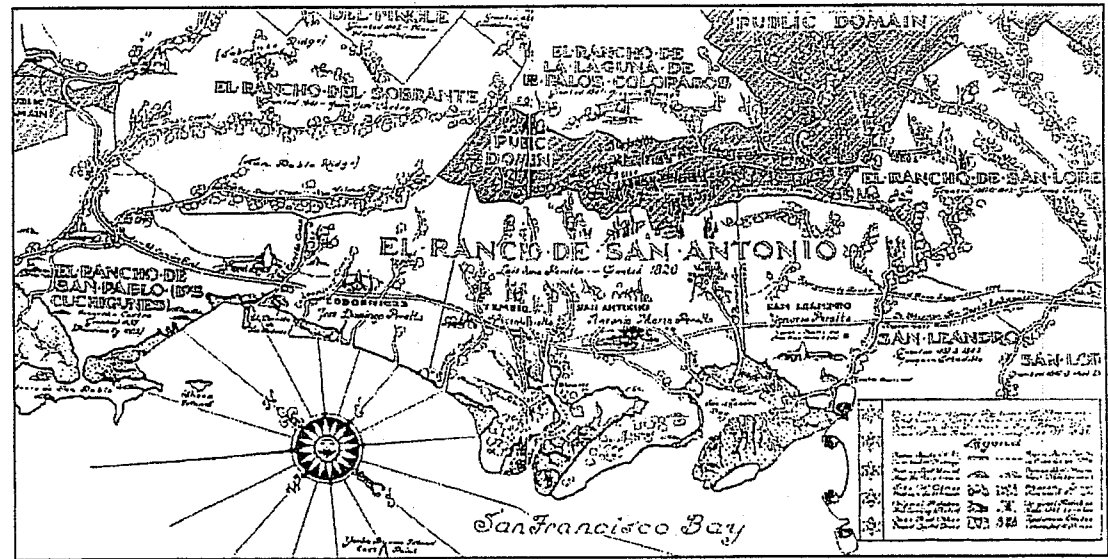


Fig. 2 Rancho San Antonio (Source: Peralta Hacienda Historical Park- Technical Reports by PGA)

- 1970's-1980's** The City of Oakland incrementally purchased the land to create a park on the historic Peralta's headquarters site. The City acquired a total of 26 house lots for this purpose.
- 1976** The Peralta's 1870 Italianate home – property of the City of Oakland at this time — was listed in the California Inventory of Historic Resources.
- 1977** The 1870 building was listed on the National Register of Historic Places.
- 1978** The existing Peralta 1870 house became State Historic Landmark #925. Archeologists Peter Banks and Fredrickson probed the site with metal rods, tentatively identifying the locations of the 1821 and 1840 adobes, and verifying the location of the well.
- 1981** The City of Oakland approved a Master Plan for the development of Peralta Hacienda Historical Park, for implementation in three phases. With Rich Seyfarth as the Landscape Architect, Phase I construction of the 34th Ave lawn, and the restoration of the Peralta creek was completed.
- 1983** Archeologist Banks excavated and described the historic well.
- 1985** Friends of Peralta Hacienda Historical Park (Friends) was incorporated as a non-profit organization to keep promoting the development of a neighborhood park, to restore the 1870 Italianate-style house, and raise the community's and region's awareness of the site and its significance to California and the western United States.
- 1996** Rich Seyfarth, Landscape Architect began Phase II construction. An apartment building was moved off the site and interpretations of the two adobes and the adobe wall were built as part of Master Plan's Phase II. Construction crews hit an artifact-rich feature. The City hired archeologist Kathryn Flynn to remove these artifacts that were inadvertently discovered during construction.
- 1996-1999** Friends organized—with the sponsorship of the City of Oakland—a series of community meetings and events to present the new archeological discoveries and to gather input about the needs of the neighborhood.
- 1999** Friends secured a grant from the National Endowment for the Humanities (NEH) for an update on the Master Plan and interpretive programming for the park. The grant sponsored two 2-day workshops, which included historians, landscape architects, interpretive specialists, community members and agencies, Friends members, school kids, teachers and City of Oakland staff.
- 2000** The City of Oakland and Friends assembled an interdisciplinary design team to update the Master Plan, expand the archeological research, and incorporate the new input from the community and interpretation of the archeological feature found in 1996. The design team with Pattillo and Garrett Associates as prime consultant, and Mario Schjetnan as lead designer, developed the Updated Master Plan presented in this document. During this time, three public meetings were held to involve the community in the design process and consider their needs and suggestions.

context

Peralta Hacienda Historical Park is located in East Oakland, on a rise that looks east to the Oakland Hills and west to the San Francisco Bay. It stands in the heart of the ethnically diverse, low-income Fruitvale District, which is the geographic center of the City of Oakland, California. The District's population is 38% Latino, 32% African American, 19% Asian/Pacific Islander, 9% European American and 2% Native American.

Calvin Simmons Middle School with 1200 students, is one short block from the park's 34th Ave entry. Patten College is PHHP's near neighbor on Coolidge.



Fig. 4a Site Photographs: existing Community Center, 1999 (By PGA)

site

The western part of PHHP spans the intersections of Coolidge Avenue, 34th Avenue, and Paxton Street, while the eastern portion slopes downhill to encompass both banks of Peralta Creek.

The present park is a six-acre facility composed with about 26 house lots and portions of several streets that have been closed to traffic.

The 1870 Antonio Peralta house (California State Landmark #925) stands on the western edge of the site. The City has rehabilitated the building with federal Community Development Block Grant funds to turn it into a Site Museum. The historic landmark has a Victorian-style iron fence and ornamental planting around it.

Concrete curbs filled with decomposed granite represent the presumed locations of the two original adobe structures built in 1821 and 1840, when the site was called Rancho San Antonio. The outline of the hacienda exterior wall is also portrayed.

Three frame residences from the tract development still stand facing Coolidge Avenue and Paxton Street.

Peralta creek is culverted on the eastern (lower) portion of the site. In 1981, a project was built to divert some of the water from the culvert to the surface. Since then, it has been maintained by the City of Oakland and Friends. Restoration efforts continue to date to revive and improve the vegetation and wildlife communities of this natural feature.

The upper and lower levels of the park are presently connected with a set of stairs, and a lawn area with picnic tables.

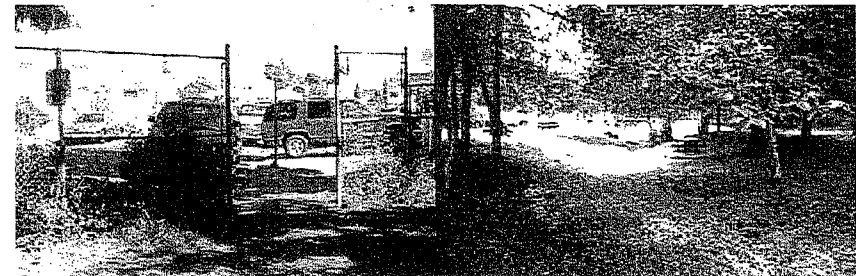


Fig. 4b Site Photographs: creek area, 1999 (By PGA)



Fig. 4c Site Photographs, 1999 (By PGA)

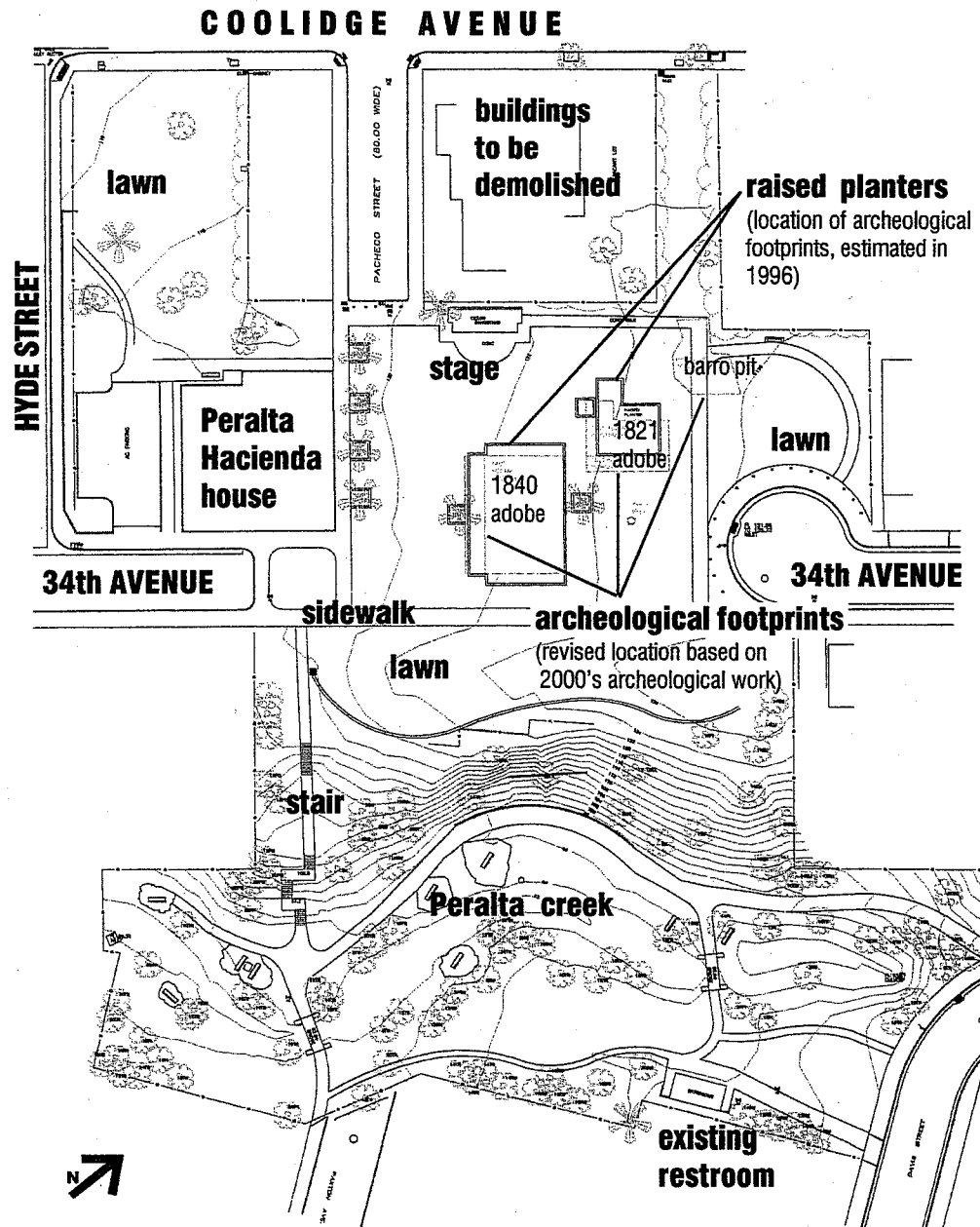


Fig. 3 Peralta Hacienda Historical Park Site's Survey, NTS (PSL Surveys Inc., 1999)

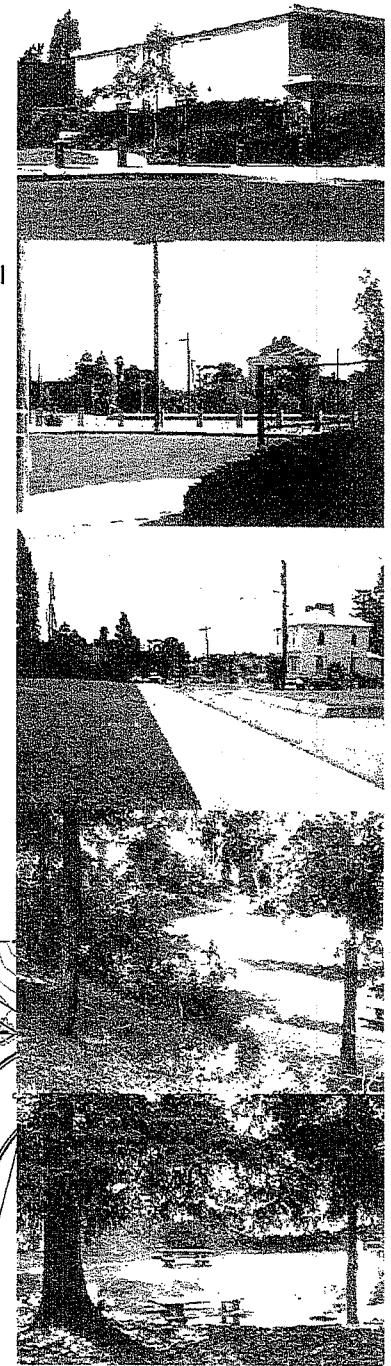


Fig. 4d Site Photographs, 1999 (By PGA)

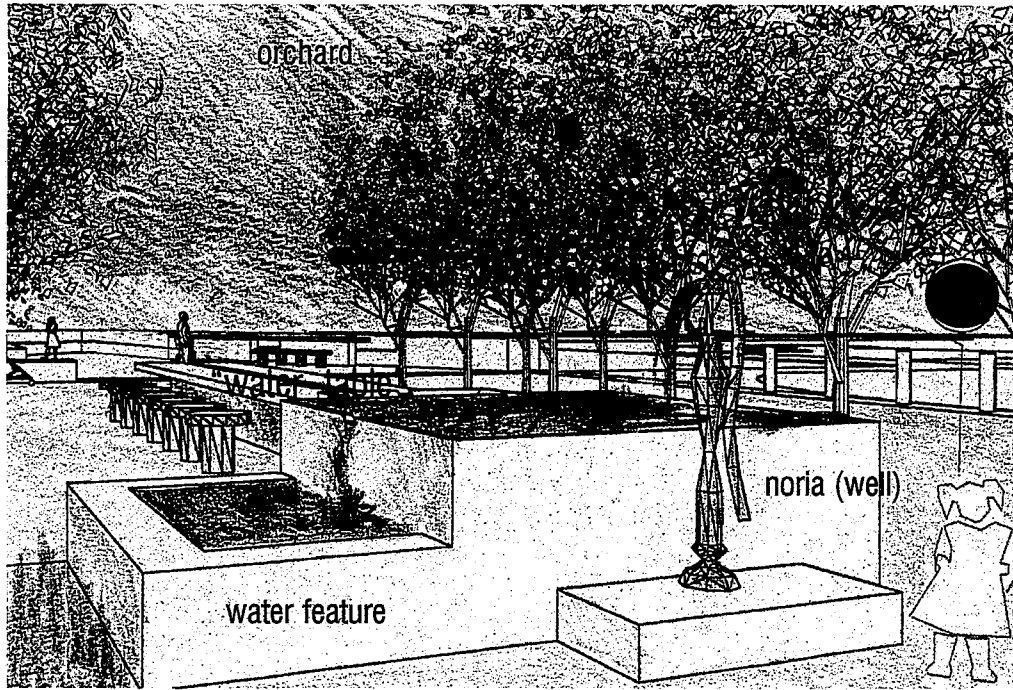


Fig. 10 View of Noria (well) and "Water Table" Feature

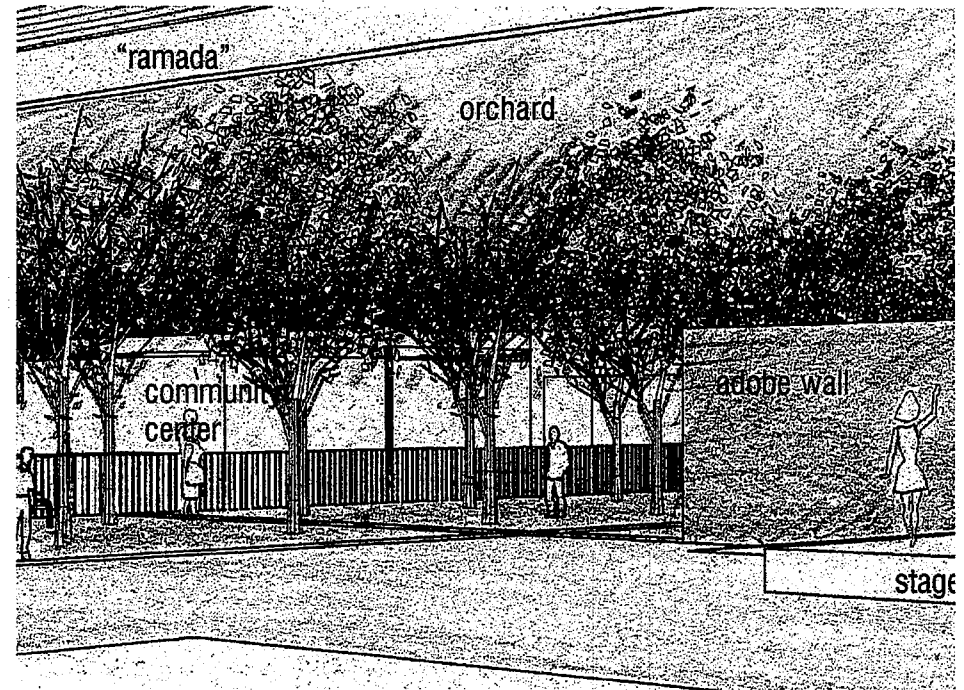


Fig. 11 View of Stage and Adobe Wall from under "Ramada"

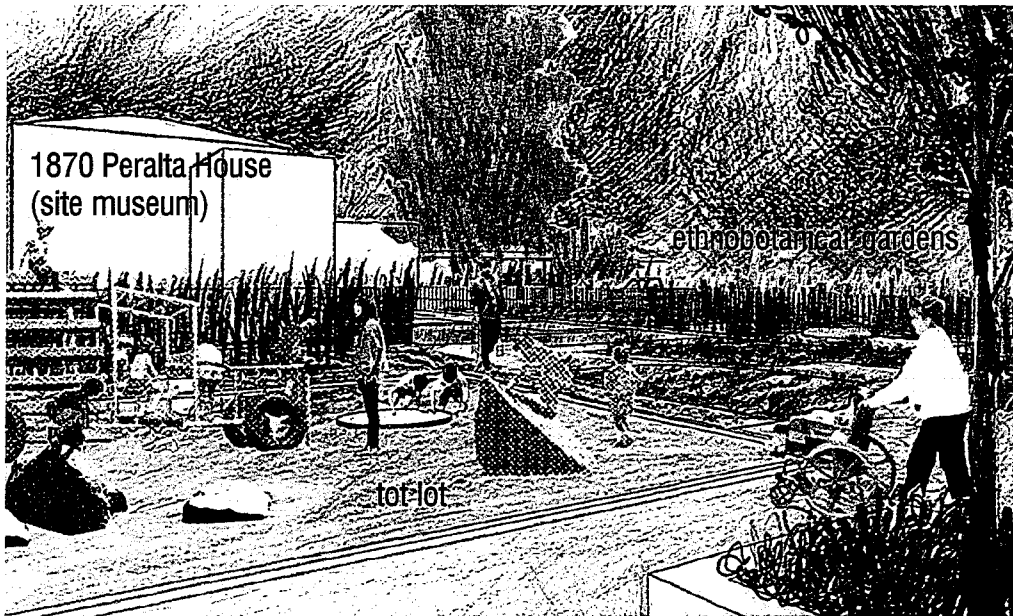


Fig. 12 View of Tot Lot and Ethnobotanical Gardens

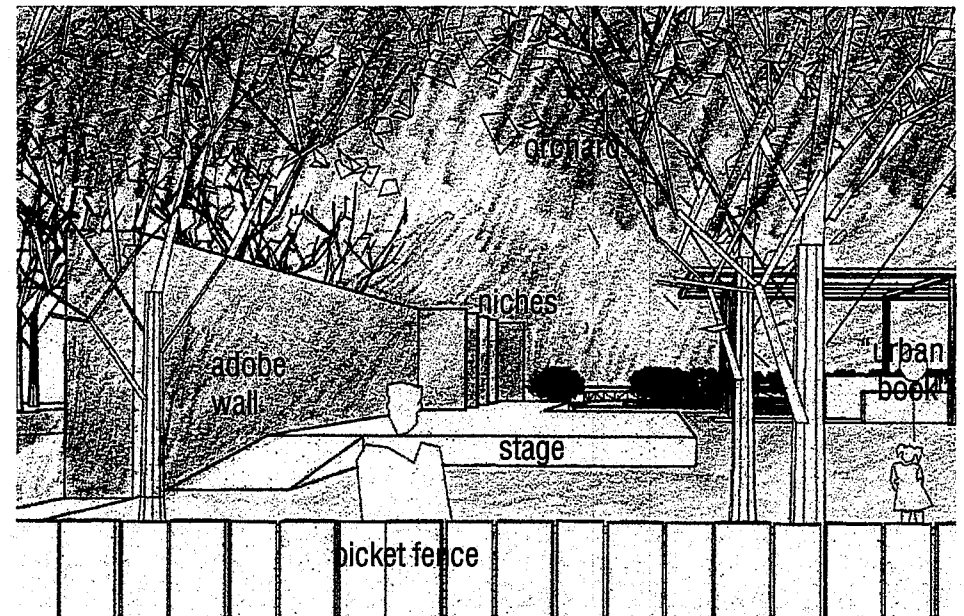


Fig. 13 View of the Adobe Wall and Stage from the Community Center

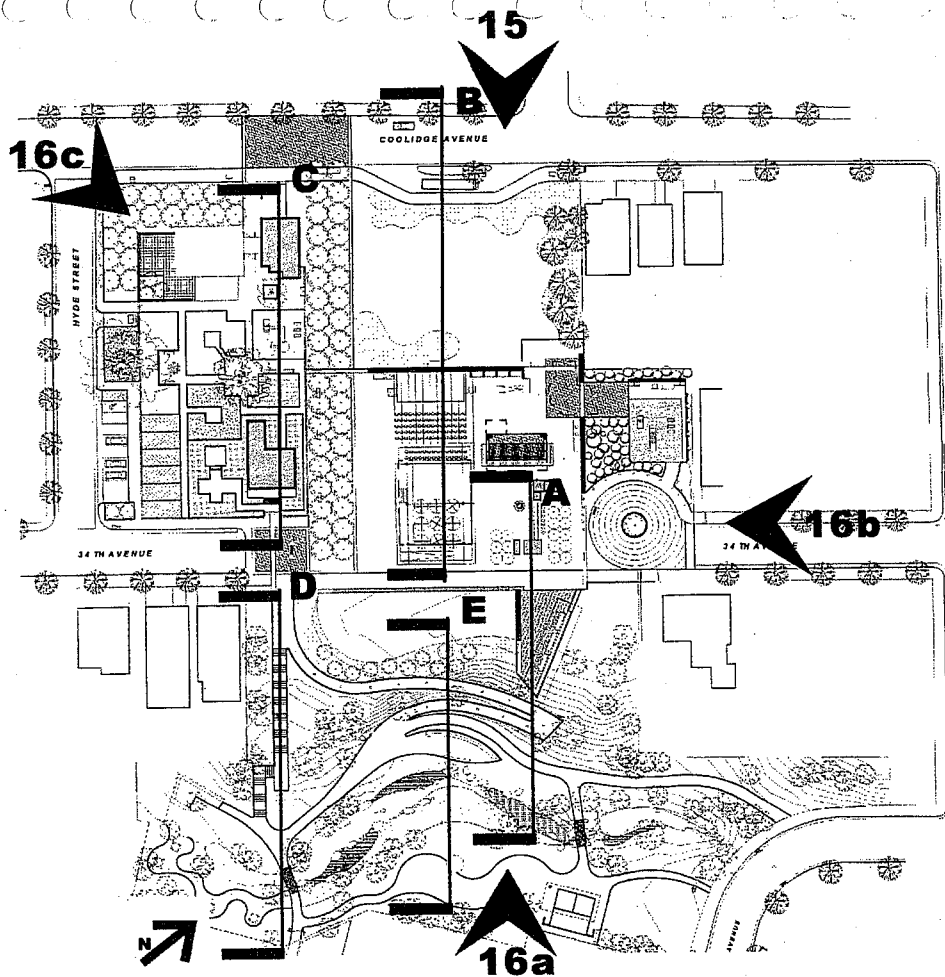


Fig. 14 Key Plan for Sections and Model Views

site model views

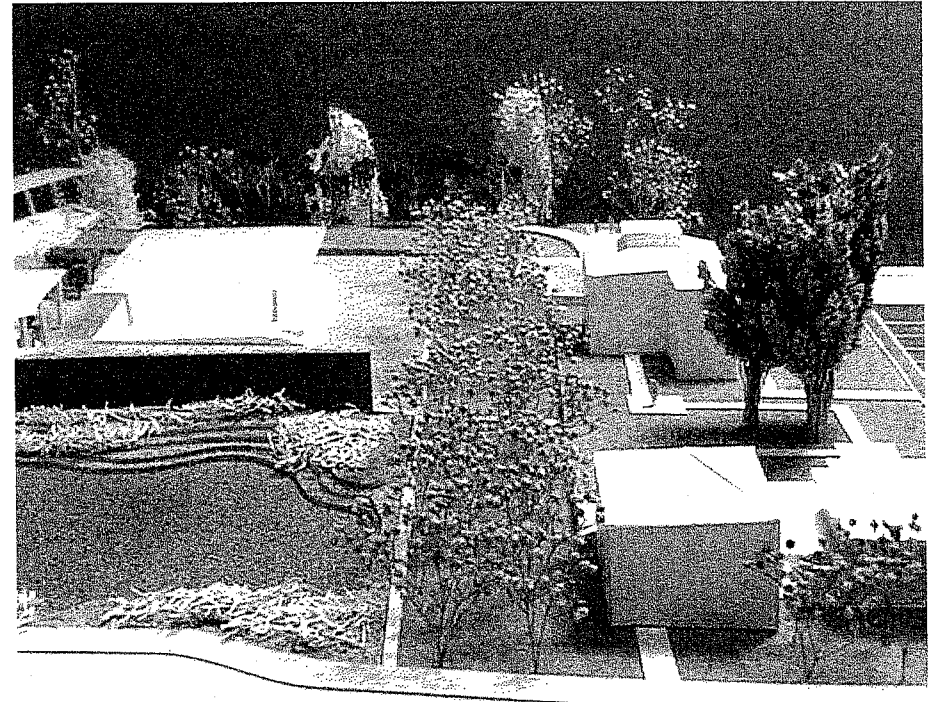


Fig. 15 Overview of Park from Coolidge Avenue, Site Model

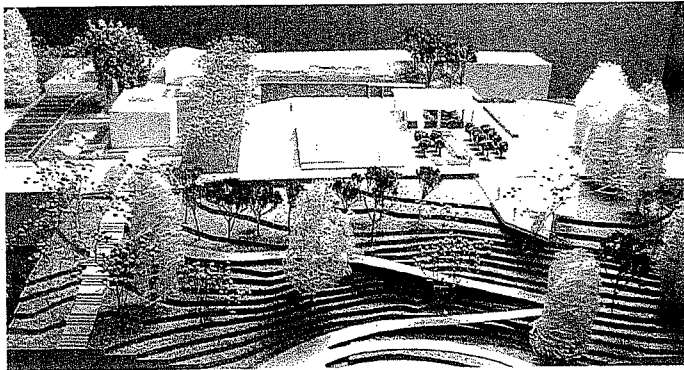


Fig. 16a View of Interpretive Ramp and Stair, Site Model

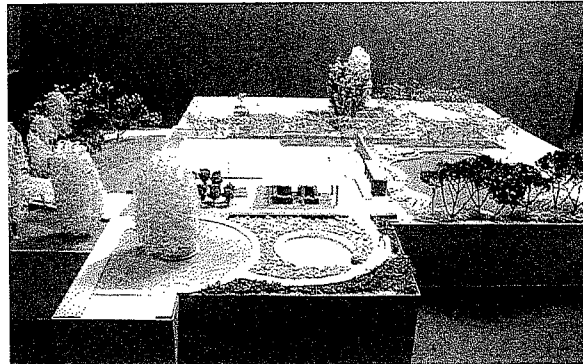


Fig. 16b Cul de Sac on 34th Avenue, Site Model

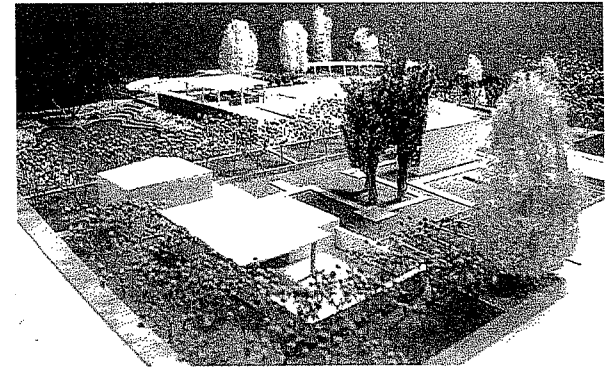


Fig. 16c New Community Center and Gardens, Site Model

site sections

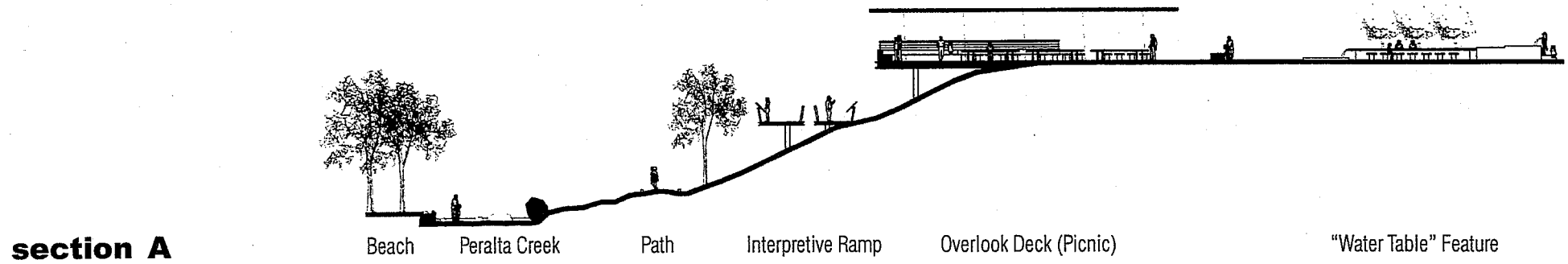


Fig. 17 Section A : Overlook Deck

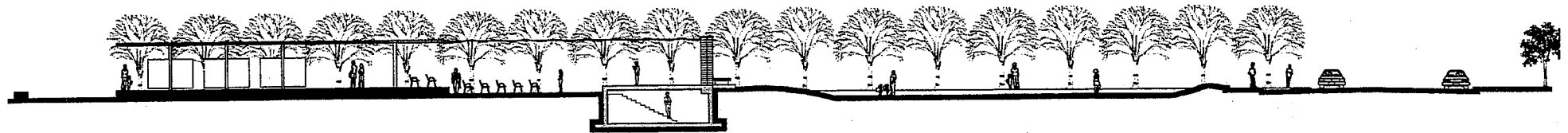


Fig. 18 Section B : Historic Core

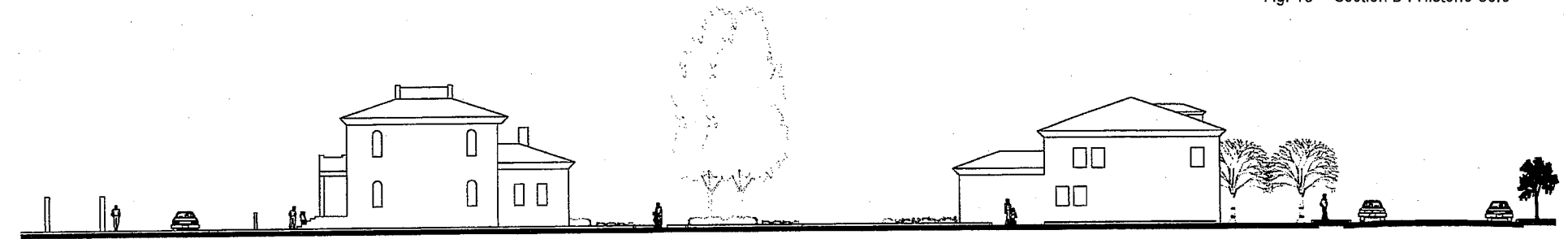


Fig. 19 Section C : Ethnobotanical and Victorian Gardens

section D

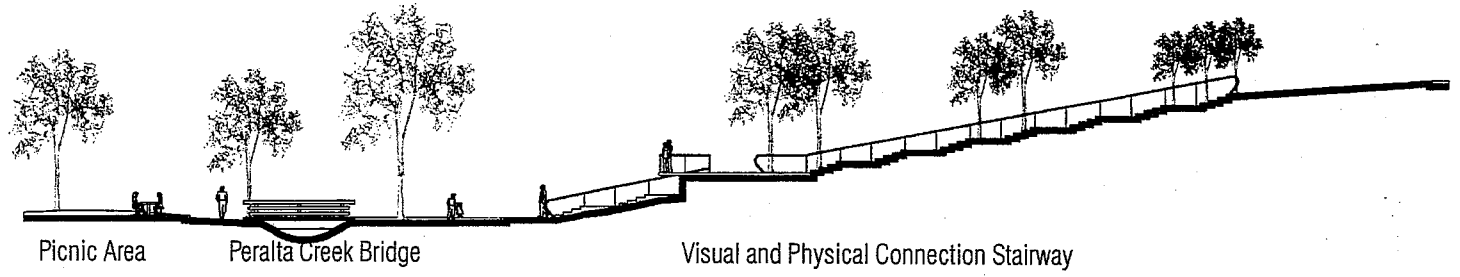


Fig. 20 Section D : Stairway and Picnic Area

section E

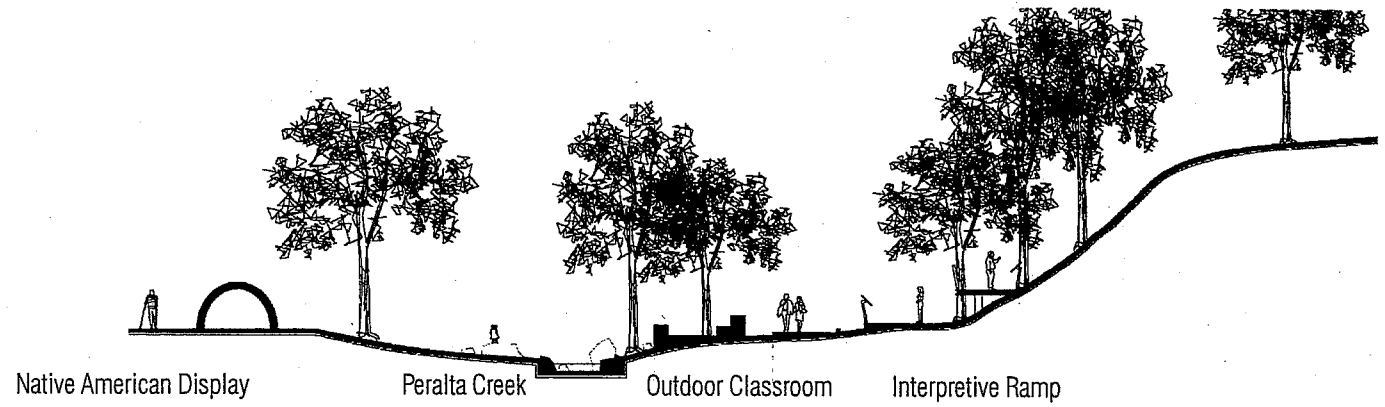


Fig. 21 Section E : Outdoor Classroom and Creek

5.1

community design & input process

community participation process

The City and Friends have solicited input from the community over a span of many years, generating a long wish-list that has served as a starting point for the designers.

The City of Oakland sponsored Community Workshops in 1998 and 1999 where people repeatedly expressed the wish for a space for recreation, and community interface. The community desired a place to understand and improve their environment, to celebrate and increase their culture and to illuminate and decipher their history.

Friends of PPHP sponsored two workshops with a grant from the National Endowment for the Humanities (NEH). The workshops included historians, landscape architects, interpretive specialists, community members and agencies, Friends members, school kids, teachers and City of Oakland staff. Very valuable input sprouted from these two events.

Once the Design Team for the Master Plan update was assembled, the design process began with an introductory meeting held March 2000, followed by 2 subsequent public meetings in the park with drawings, historic photographs, and a landscape model on display. The meetings focused on discussing preliminary Master Plan Alternatives for the park. Mario Schjetnan, principal of Grupo de Diseno Urbano, presented these design alternatives.

Comments about the two Preliminary Master Plan Alternatives were gathered and incorporated into the preferred alternative or Draft Master Plan Update prior to the third community meeting. During this meeting, held on September 30, 2000, the Draft Master Plan Update was presented and discussed, and priorities for phasing of the construction were defined. Archeologists Foothill Resources reported on the status of the archeological work and discussed the direction to take to address the remaining archeological material still in the ground. Holly Alonso of Friends presented an update of the Interpretive Program for the site.

Members of the design team also collaborated with Friends and the City during a festival event which took place at the site and coincided with the archeological excavation work in July, 2000.

After the Archeological Report was done, and the latest input from the community was received, the design team incorporated the archeological recommendations and community's feedback into the final Master Plan Update.



Fig. 22 Holly Alonso (Friends) addresses a community meeting. (Photo provided by PGA).

project goals developed at community meetings (5)

Members of the diverse community around the site responded to the efforts of all the parties involved in the project, and generated a long wish-list of their visions and desires for the park. These ideas ranged from the simple and small – like “planting roses”- to the large and complex – like “rebuild the adobes”- and provided the starting point to develop project goals.

community’s ideas for Peralta Hacienda Historical Park (5)

Recreation: *Green space. Ball playing. Football. Soccer. Swimming. Basketball. A chess club. A good walking trail. Community Center. A bike trail. Bike racks. Resource Center...*

Safety: *Need to improve park security. Make the park feel safe. Open sight-lines. Police on horseback in the park. Full time staff to oversee the park and programs. Integrate upper and lower park areas. Add lighting...*

Environment: *Restore the historic landscape. Fruit trees. Corn field. Historic food plants and shrubs. Community garden. Interactive urban garden. Have kids compost green waste from park and use on the site...*

Landscape Amenities: *Art Sculpture Garden. Fountain with tiles. Rebuild adobes. Rebuild Hacienda walls. Restore well and pump. Vegetable and herb garden with traditional and useful plants from different cultures...*

Community Interface: *Farmer’s market. Neighborhood barbeques. A place to sit and have coffee in historical atmosphere. Summer lunches joining seniors and school kids together. Breakfast for kids during school year...*

Culture: *Latino Cultural Center at the house. Cultural Center with museum. Art classes. Have plays, skits, storytelling, dance. Celebrations (“fandango”, annual barbeque). Interactive rancho exhibit. Traditional music of the community. Dancing, music stage, puppet shows...*

History: *House used as interpretive center. History that is interesting. “Living history”, sound/voices. Activities learning hands-on about the Native Americans, Californios and early Yankees. Interactive exhibits...*

Education: *Regular field trips from schools. Children’s activities. Have kids make bricks to help rebuild adobes. Summer programs. Oral history project. Educational programs and displays. Make a movie of the Peraltas. Reading Center. Homework Center. Classes for all ages...*

Commercial: *Reception space. Space in the house for smaller events. Gift Shop. Farmer’s Market...*

community objectives / project goals (4)

- To provide a community gathering place.
- To promote community stewardship.
- To engage visitors actively in the past and present narrative of their neighborhood.
- To nurture youth through activities at the site.
- To have spaces for different kinds of participation for different people at different times, i.e. gardens, history room; to have changing spaces and fixed spaces.
- To involve the five senses in the interpretation of the site.
- To create gardens and orchards which serve multiple functions.
- To encourage questioning and dialogue about historical assumptions.

5.2

materials & historical references

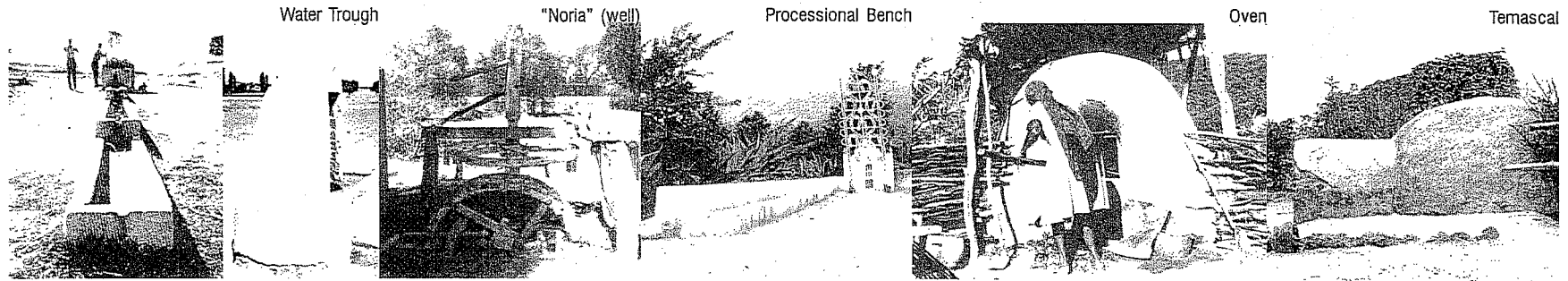


Fig. 23 Historic Artifacts and Furnishings

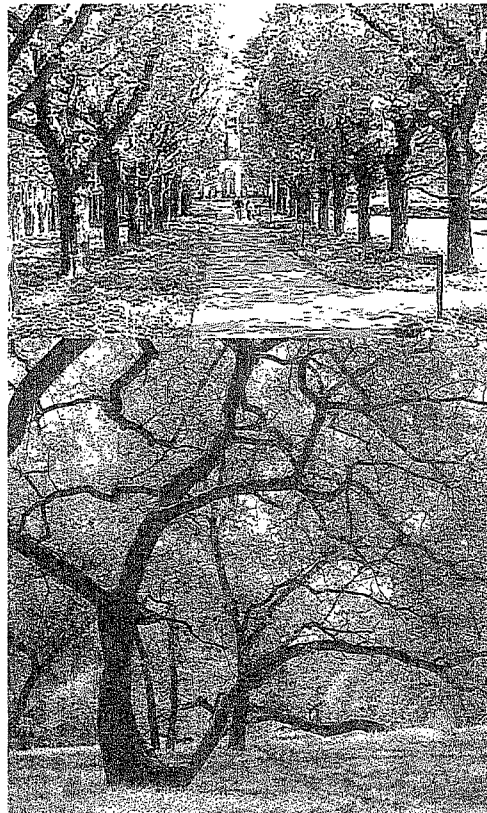


Fig. 24 Native Vegetation (Oaks & grasses) and Cultivated Trees (orchard)

Each one of the cultures that have inhabited this place -Native Americans, Spanish, Mexican and American- had particular and distinctive life-styles and aspirations. In order to survive and connect to their land, each culture brought and/or developed different artifacts and materials. They utilized the vegetation they found, and introduced new plant material.

The identification and understanding of the practices and rituals of each culture, as well as the related objects and their use, was an important part of the design process in Peralta Hacienda Historical Park, as a way to understand the physical evolution of the site. Some of these daily-life objects and materials became reference and inspiration for the park's design.

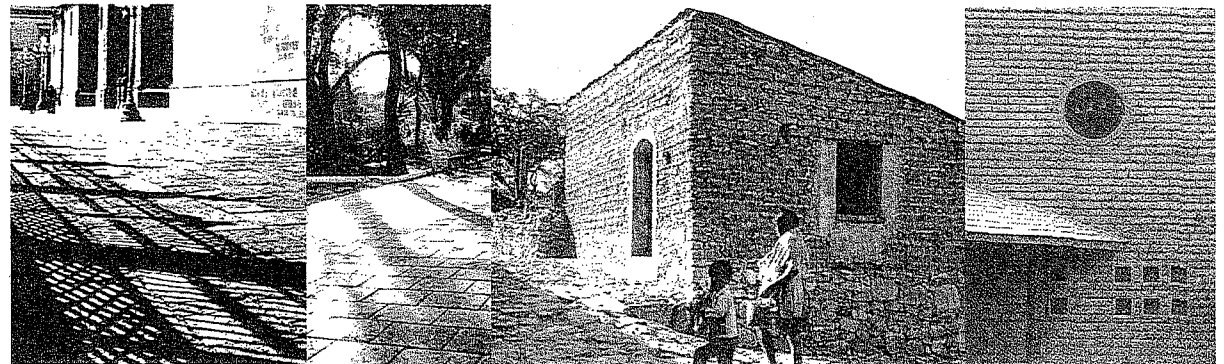


Fig. 25 Traditional materials from the Rancho period: Cantera Stone, Adobe Walls.

5.3

design concepts (3)

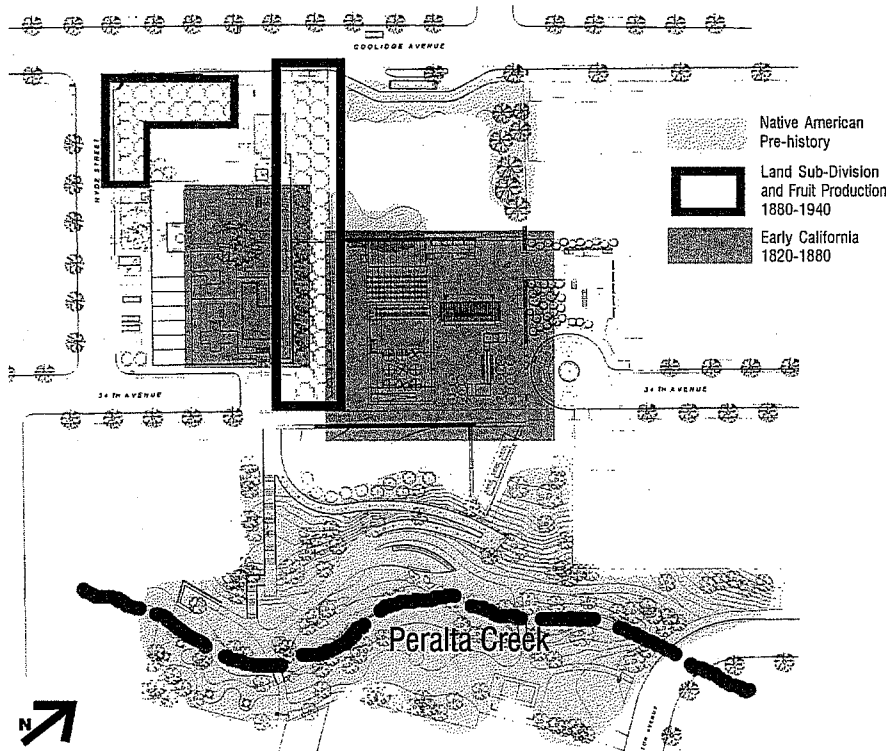


Fig. 26 Historic Periods layered on the site's design

The site's three distinct eras are highlighted by the design in specific areas:

- **Native American Pre-history:** Creek restoration, Native vegetation on the creek banks and around the multi-purpose lawn by Coolidge Avenue.
- **Early California 1820 to 1880:** This period concentrated in the Historic Precinct (Historic Core) of the park, includes the interpretation of the 1821 adobe, the "urban book" display under the "enramada" located on the 1840 adobe footprint, the restored 1870 Peralta Italianate-style house, and the actual adobe wall by the stage.
- **Land Sub-Division and Fruit Production 1880 to 1940:** The first quarter of the park is surrounded by double rows of citrus trees to remember the former orchards that cover large extensions of the Fruitvale region.

The history of this place has left physical layers – ruins, buildings, artifacts, soil – on the site. The main concept of the landscape design aims to highlight and recognize each one of the historic periods of the site, using a multi-layered composition of spaces... i.e. the Fruitvale orchard overlaps with a trace of the adobe wall, etc.

The landscape is a time collage where previous layers are often only partially erased and merge almost imperceptively into contemporary patterns. Simultaneously, the design present distinct moments in space that represent time periods and offer difference for inspection, imagination and interpretation.

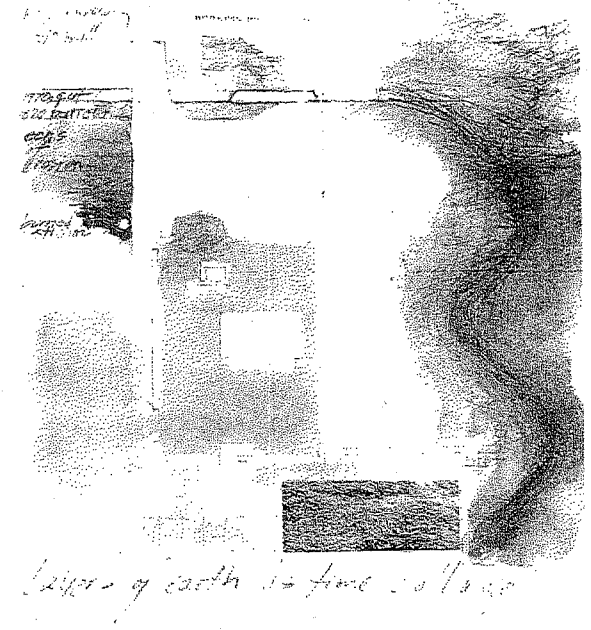


Fig. 27 Layers of Earth as Time Collage (Drawing by Matthew Potteiger)

5.4

project areas & features

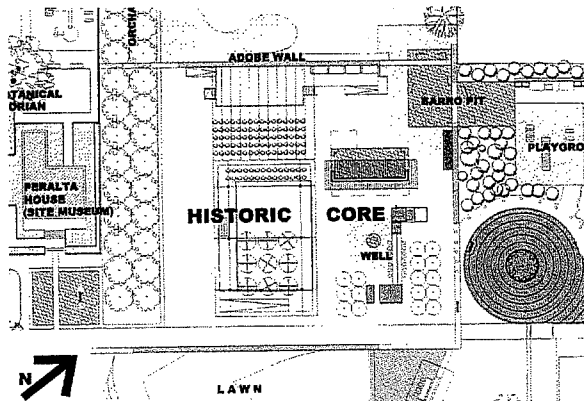


Fig. 28 The Historic Core, Plan

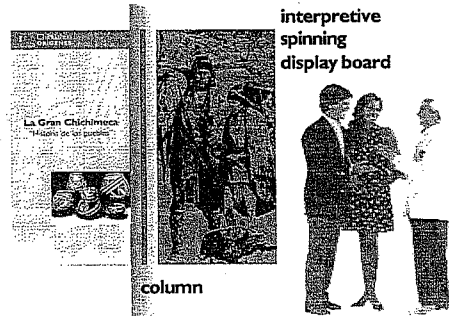


Fig. 29 The "Urban Book", Detail

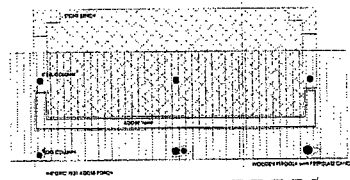
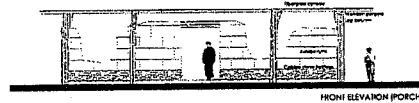


Fig. 30 The "wall ruin": interpretation of the 1821 Adobe, Plan and Elevation

Adobe Wall and Stage

Space:

- Contains and restructures the Historic Core around the historical limits of the Peralta Rancho Headquarters.
- Creates a background for the performance stage.
- Generates an atmosphere that intensifies the historical emphasis of the park.

Symbolism:

- Draws a strong and clear reference to the original adobe structures that the Peralta inhabited.
- From the street, the Adobe wall becomes a sign that provides identity. This strong contemporary element defines the character of the park.

Function:

- Isolates the core from street noise, and concentrates the views towards the Historical Core, and the cultural and recreational activities that take place within.
- Creates a space, which refers to the Lean-to's in the form of niches, that works as a display for exhibition of artifacts, tools, and other objects that can be shown outside.
- The wood stage attached to the back of the wall, becomes the center of the park. Gatherings, lectures, concerts, etc. will take place here to keep the community involved.

Ramada and "Urban Book"

- The footprint of the 1840 adobe covered with a ramada (trellis with vines) for shade.
- "Urban Books" a series of vertical display boards with "pages" (hinged moving panels) allow park users to "read" the history of the park and juxtapose different facts between "books" for a multi-layered understanding of the past of the site.

1821 Wall Ruin

- On the footprint of the original 1821 Peralta adobe, an approximate idea of the reconstructed portal of the building will display the original construction materials and practices of the region during the Rancho era.

Peralta House

- Living Site-Museum
- Ethnobotanical Historical Garden forms connection with the Community Center.

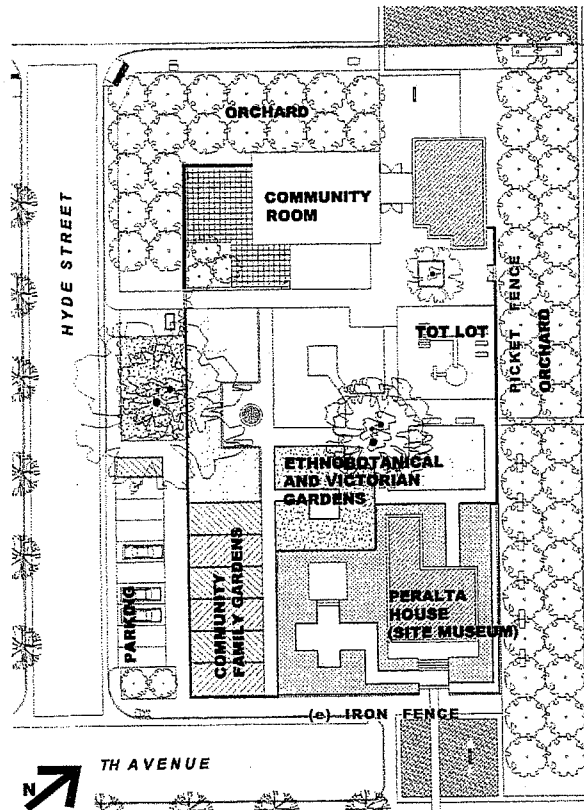


Fig. 31 The Victorian Area : Peralta House, Victorian Gardens. Plan

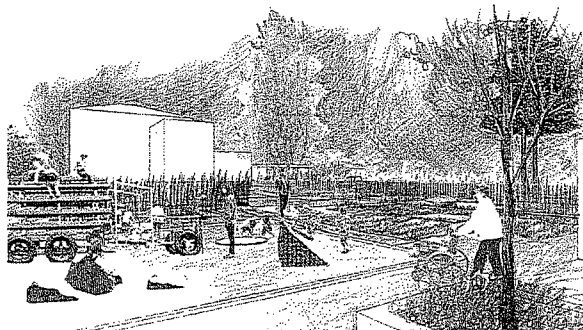


Fig. 32 Tot lot, View from Community Center

Fencing

- A picket fence will connect with the existing decorative iron fence, to enclose the area of the Gardens, the Peralta House and the Community Center.
- The enclosure facilitates control and management of these areas.

Ethnobotanical Historical Garden and Victorian Garden

- Display of native vegetation and cultural vegetation (European-introduced plants)
- Display of a variety of traditional plant uses including: medicinal plants, fruit trees, orchards, vegetable gardens.
- Restore the atmosphere of the late California's Rancho Orchards
- This area is fenced in (picket fence and existing decorative iron fence) to facilitate control and management between the Peralta House, its gardens, and the Community Center.

Peralta Family Barro Pit and Well

- Approach to the interpretation of these archeological features is being developed by Friends.
- Protection of the artifacts will comply with the recommendations included in *Historical Archeology at the Peralta Hacienda Historical Park (P-01-002244) Phase 3 Update Report*, prepared by Dr. Julia G. Costello and Charlene Duval.

Orchard

- Fruitvale tradition.
- Strong linear entry promenade.
- Penetrates Historic Core and unifies two historical periods expressed in the park. It connects Coolidge Ave. with the core of the park.
- At Coolidge Ave. & Hyde St., acts as a frame to the park and buffers Community Center and its courtyard from street noise.

Multipurpose Community Room

- Approximately 1000 sq ft of usable space
- Intended for small meetings, exhibitions, social activities, etc.
- Outdoor-enclosed courtyard (patio) 1,750 sq ft.
- Public restrooms, storage, and service space.

Perpendicular Parking

- Reconfigured parking that reates space for the Community Family Gardens.

Community Family Gardens

- Integrated into the Community Area.
- They become a "display" of the community's active participation in the park.

Tot Lot (1 to 5 years old)

- Located within the Community Center area
- Seating for supervising parents and close to restrooms.
- Enclosed by picket fence
- Innovative, custom-design play elements captivate and educate kids.

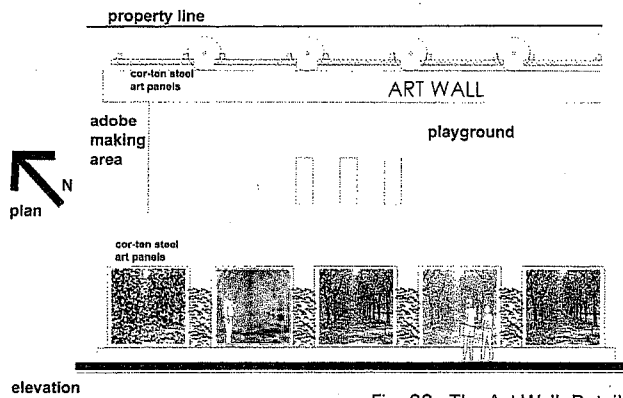


Fig. 33 The Art Wall, Detail

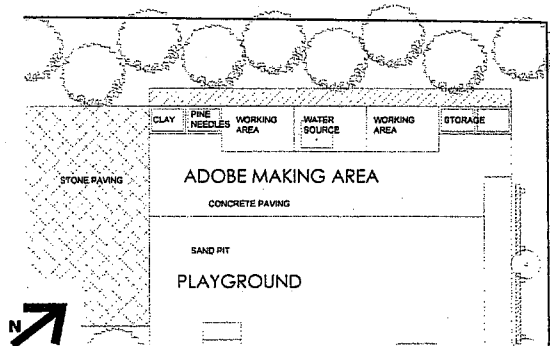


Fig. 34 Adobe Making area, Detail

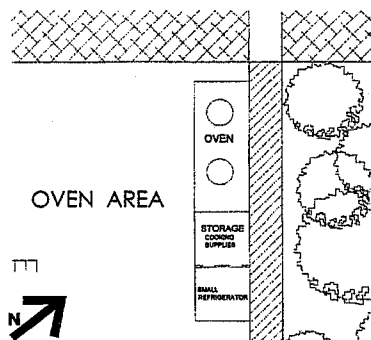


Fig. 35 Oven / Grill area, Detail

Playground (5 to 10 years old) and the Art Wall

- Located within a garden, adjacent to the adobe making area
- Vegetated buffer to separate from the *cul-de-sac*
- Large cor-ten steel panels enclose and protect the eastern side of the playground and provide a buffer for the adjacent apartment building. Permanent or temporary murals will be displayed on the six Art Wall panels.

Adobe Making Area and Oven

- As part of the park programs, kids will learn to make adobe bricks and other crafts.
- Both areas are located close to the Historic Core, but separated from the protected archeological features.

Lawn

- Multipurpose space of about 8,500 sq-ft.
- Surrounded by native California shrubs, grasses and oak trees.

Stairway Connection to the Creek Area

- Visual and physical connection between Peralta Creek area and the upper level platform.

Interpretive Ramp

- Accessible connection between the creek area and the Historic Core that integrates interpretive elements into the ramp surface and the railing.

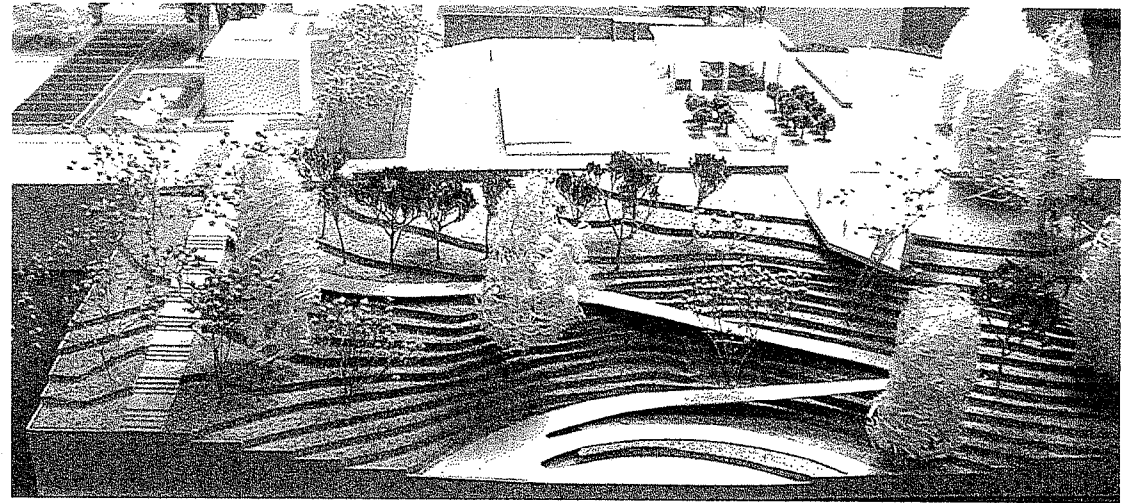


Fig. 36 Interpretive Ramp and Stairway, Site Model

5.5

vegetation concept

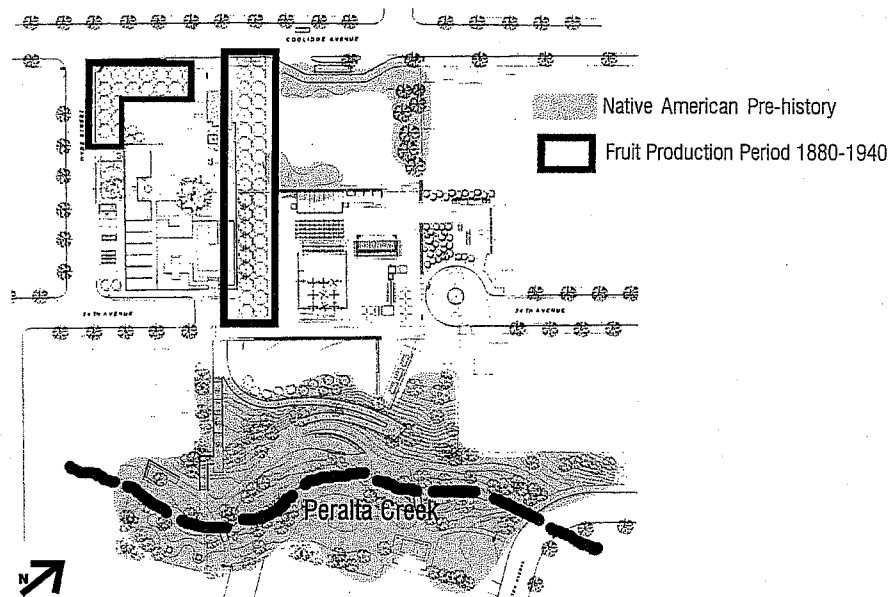


Fig. 37 Historic Periods, Interpreted with Vegetation, Plan Diagram

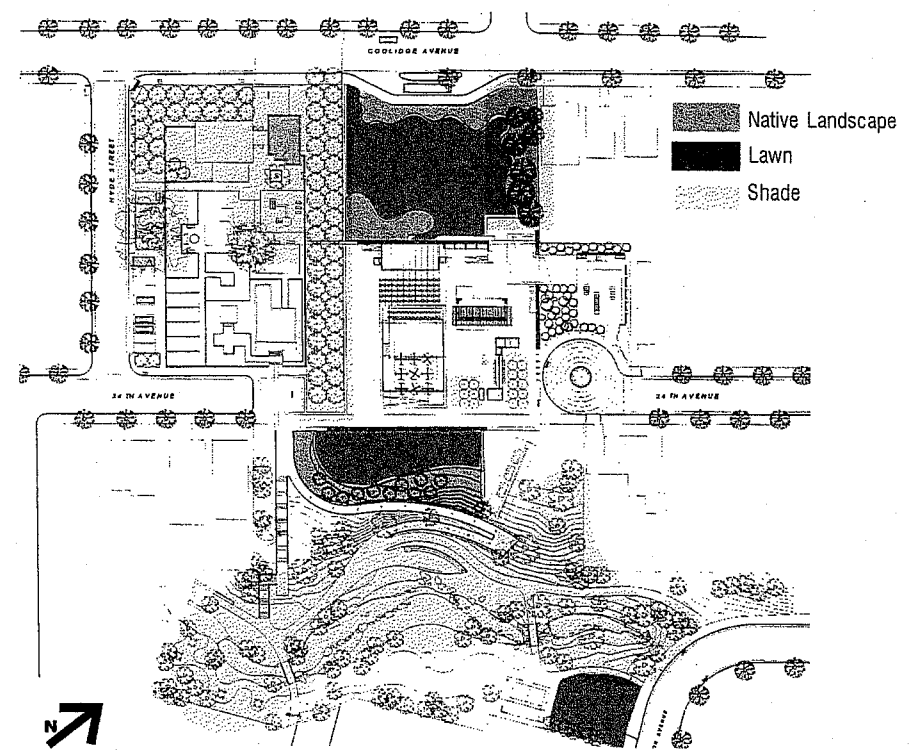


Fig. 38 Vegetation Concept, Plan Diagram

The vegetation plays an important role in telling the stories of the site, and in creating the boundaries of the sub-areas for the park. The plant material becomes a layer in conjunction with the built structures and the paving surfaces.

There are three main areas considered in the vegetation concept for the park, in addition of the historic layers of vegetation (the Native American period and the Fruitvale Orchard):

- **Native California Landscape:** Native perennials, annuals, grasses, trees and shrubs will be grown with the care of the community.
- **Multipurpose Lawn:** Open spaces provide "breathing" space between the features of the park. There is one located at Coolidge Avenue and a second one between the Historic Core and the creek area. They are intended for recreation and passive leisure of the neighbors.
- **Shaded Areas:** Existing trees will be preserved, new tree corridors will be planted to provide strategic shaded and sunny areas to inhabit comfortably year-round.

The Master Plan includes new street trees for all streets surrounding the park.

5.6

paving & materials concept



Fig. 39 Cantera Stone Paving

The park's paving palette includes materials used by the different cultures that inhabited this land in the last centuries. The overlapping of natural, textured and smooth materials, enriches the spatial composition of the park, and highlights the concept of "layering" earth to reflect history.

Materials from the Native American period include wood, and native grasses and perennials. The Rancho era is celebrated with cantera stone paving, actual adobe brick walls, and color tiles. Finally, materials like the iron fence, the wood deck and benches, in addition to the 1870 Peralta House represent the Victorian period of the site.

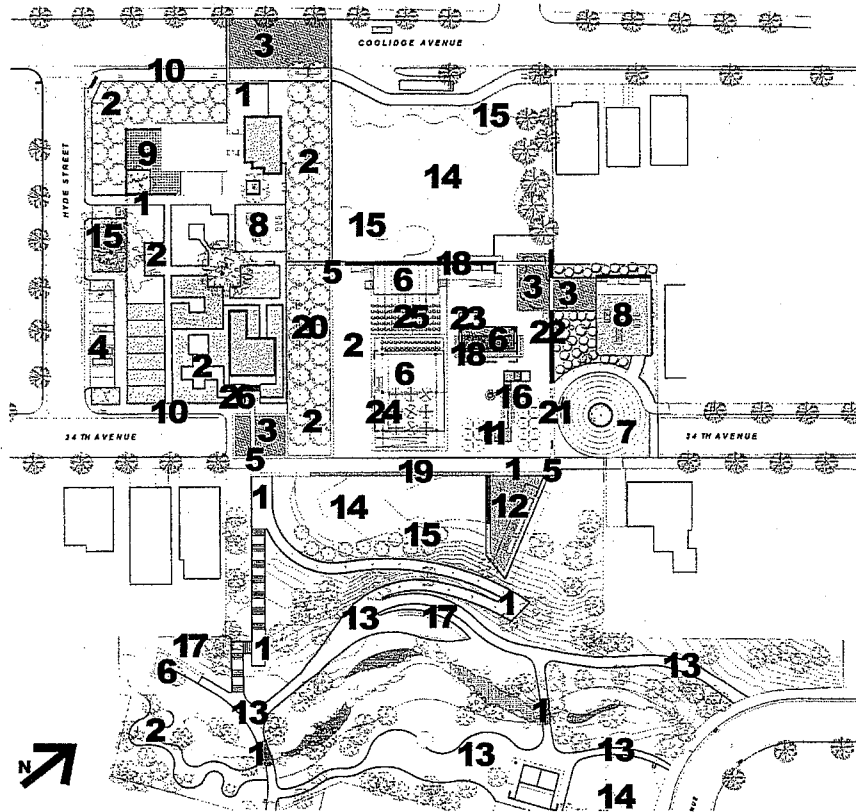


Fig. 40 Materials Concept Plan

list of paving, furnishings and canopy materials

- 1 Concrete Pavement
- 2 Red Crushed Stone with binder
- 3 Cantera Stone Paving
- 4 Grass-crete, (concrete precasted pavers)
- 5 Stone Border
- 6 Integral Color Concrete (polished)
- 7 Cobble Stone
- 8 Sand Pit
- 9 Red Ceramic Tiles
- 10 Existing Concrete Sidewalk
- 11 Blue Mexican Glazed Tile (pool)
- 12 Durawood Deck
- 13 Asphalt with Red Gravel Aggregate
- 14 Lawn
- 15 Native California Grasses & Perennials
- 16 Polished Concrete Table
- 17 Concrete Bench
- 18 Adobe Brick Wall (exposed)
- 19 Adobe Brick Wall with Plaster
- 20 Wood Benches
- 21 Concrete Bollards
- 22 Adobe oven
- 23 Wooden Pergola with corrugated polycarbonate panels
- 24 "Ramada": branches and sticks
- 25 Canvas & Wire Shade Structure (canopy)
- 26 Decorative Iron Fence

5.7

lighting concept

The lighting concept for the PPHP attempts to highlight and elevate the existing and restored historic features of the park, and to provide a safe and secure environment. A modern light/reflector fixture is introduced in the Historic Core and the "historic" existing lights are moved around the 1870 Peralta House.

Uplights are located under the orchard trees. Bollard fixtures illuminate the Ethnobotanical and Victorian gardens, and the ramp and stairs.

The existing cobra-lights are used in the creek area.

lighting legend













	light projector	10
	flood light	16
	uplight	42
	downlight under canopies	27
	bollard fixture	129
	existing cobra light	9
	existing Victorian light	9
	existing City light	4
	existing light removed for relocation	10
	relocated existing light	10
	new cobra light	6
	sconce	8



Fig. 41
uplight
under trees

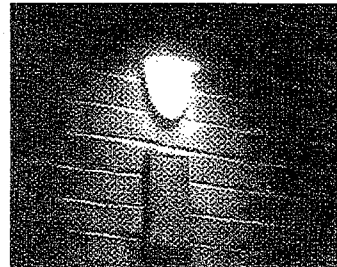


Fig. 42
sconce

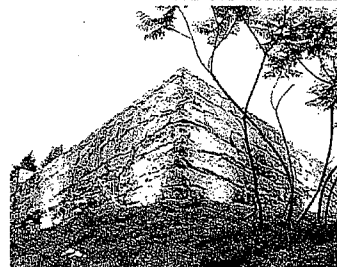


Fig. 43
flood light
on adobe wall

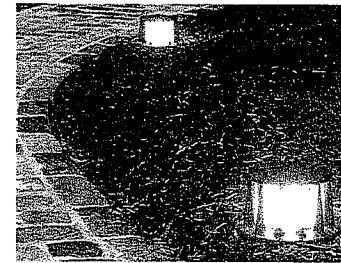


Fig. 44
bollard fixture A
(at interpretive ramp
& stairway)

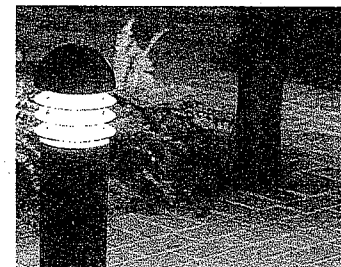


Fig. 45
bollard fixture B
(at community &
ethnobotanical
gardens)

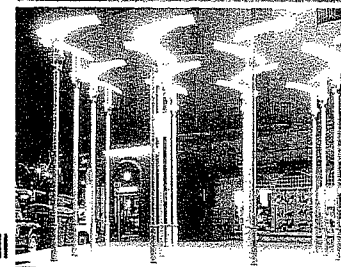


Fig. 46
light projector(reflector)

lighting concept

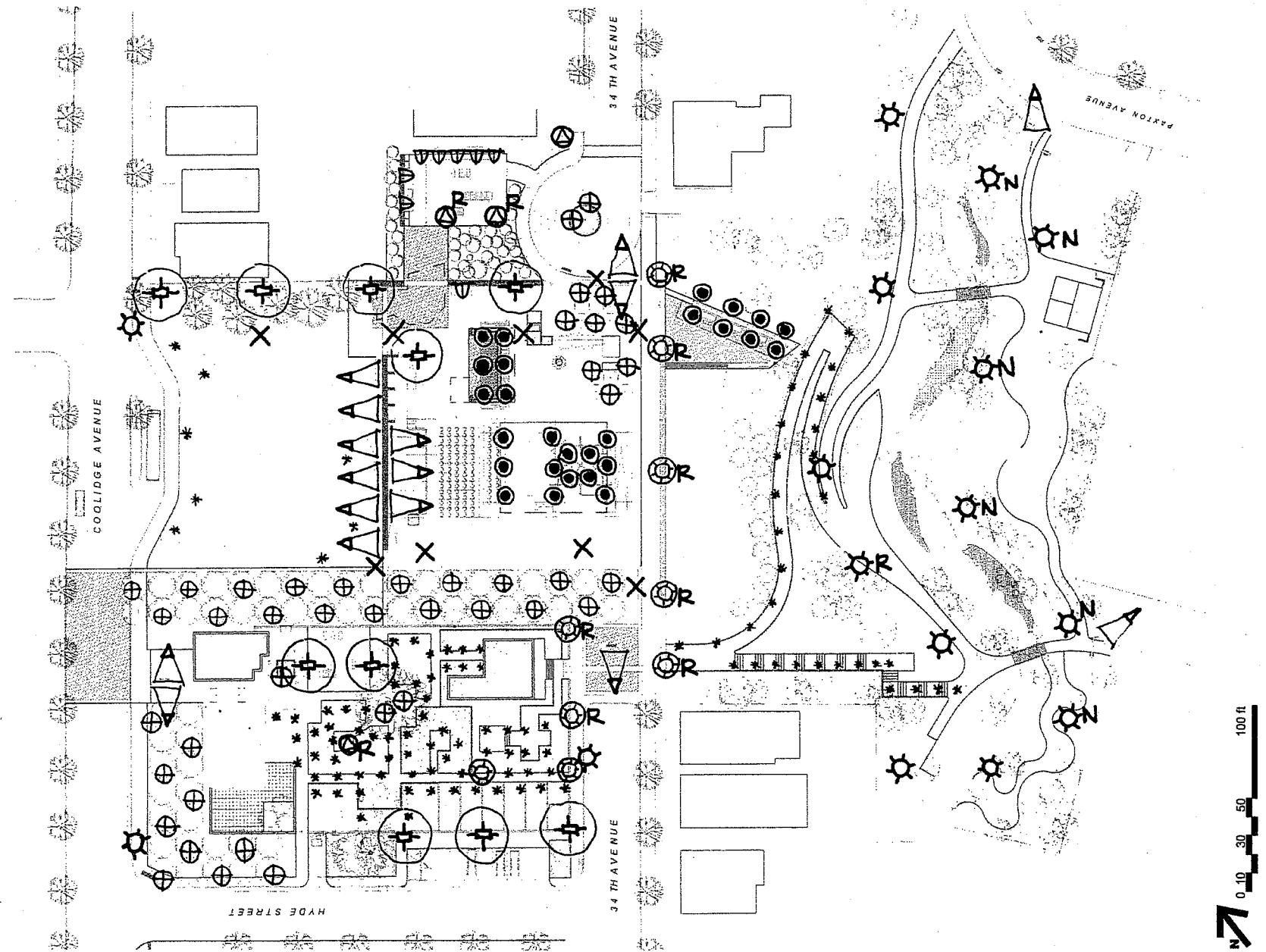


Fig. 47 Lighting Concept Plan












5.8

site furnishings

There are two types of site furnishings in the PPHP: standard and custom made.

The standard furnishings are the ones that provide the amenities necessary to enjoy the park (benches, bike racks, picnic tables, trash receptacles, etc.), but the park gets enriched mostly with the various custom-made, and built-in tables, benches, and structures. Such elements provide an interpretation to historic moments, in addition to facilitate diverse usage of the park. Furnishings like the "Water Table", the "Noria" or the "Urban Book" become attractive features, and didactic resources.

furnishing legend

	benches	15
	built-in benches	450 lf
	picnic tables	7
	bicycle racks	2
	water features	3
	trash receptacle	15
	handrail	1000 lf
	community notice board	5
	picket fence	415 lf
	"Victorian" fence	282 lf
	removable chair	108

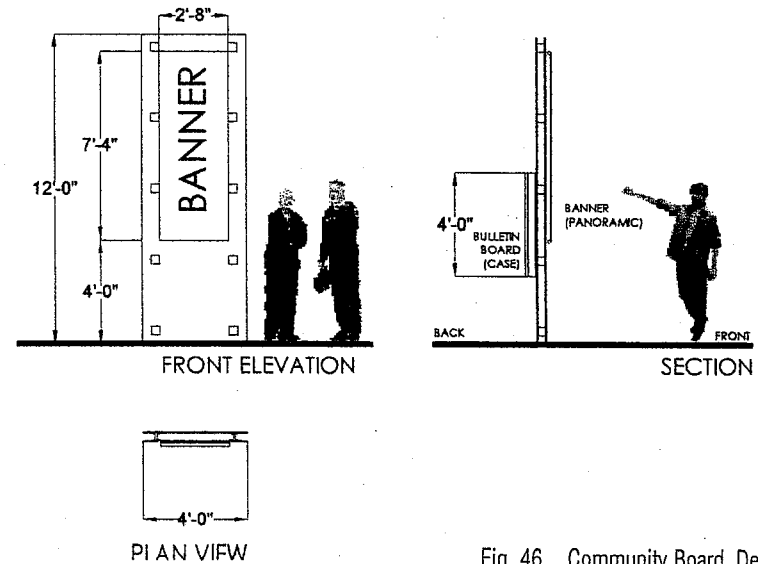


Fig. 46 Community Board, Detail

site furnishings

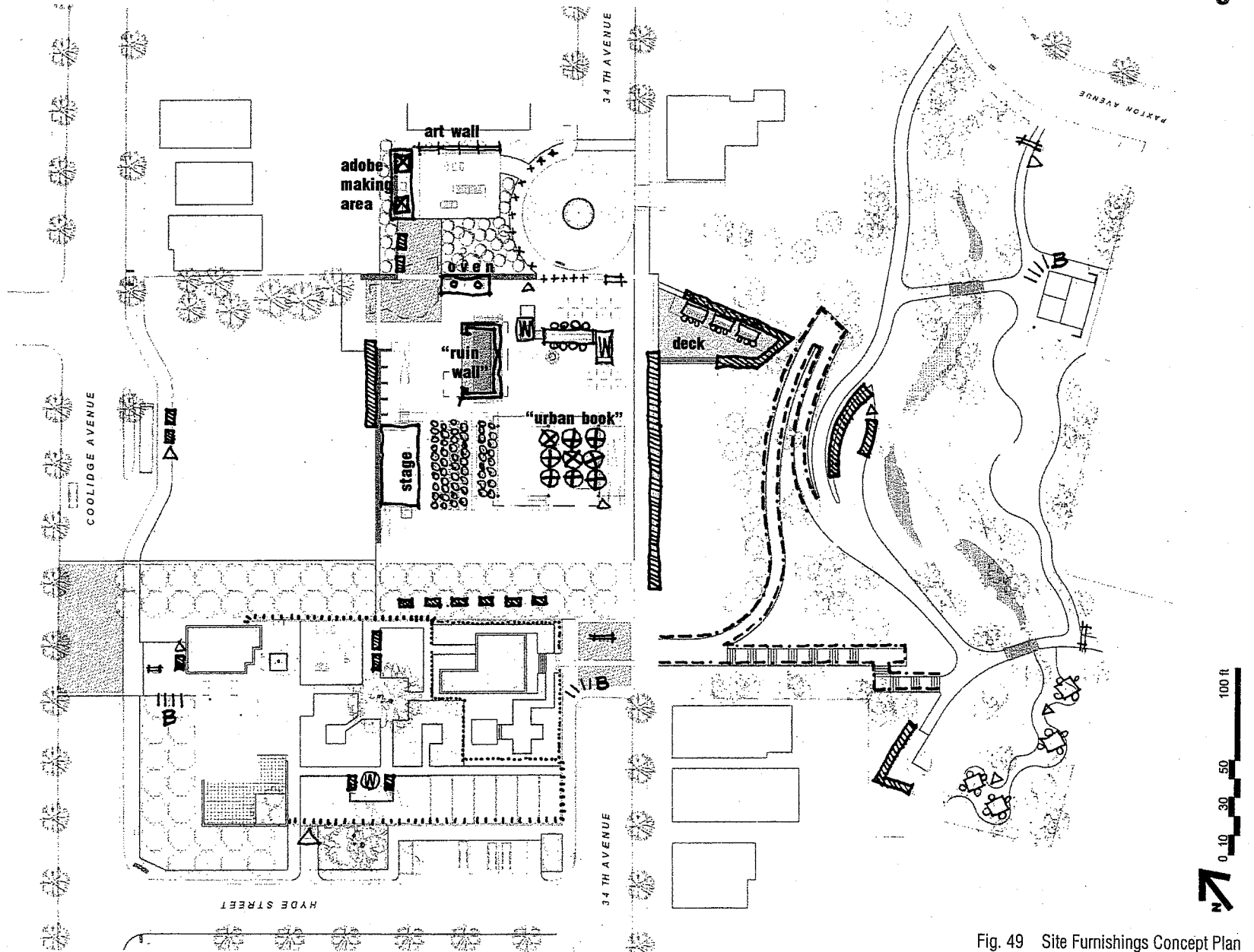


Fig. 49 Site Furnishings Concept Plan

5.9

irrigation concept

The park will be irrigated with an automatic, combination standard spray and heavy-duty bubbler irrigation system that conforms with current City of Oakland standards.

Existing irrigation components such as the water meters, backflow devices, controllers, remote control valves, quick couplers, and main line will be protected during construction and re-used if in good working condition and in conformance with city standards.

All existing equipment will be tested to confirm proper working order.

*gathering
transformation
perspectives*

*natural
global
individual*

*time
eternity*



Fig. 50 Kids playing at Picnic Area
(Photo by Friends)



Fig. 51 Kids at the creek (Photo by Friends)

The interpretive plan and the landscape plan for Peralta Hacienda Historical Park were conceived together in a unique collaboration of landscape architects, historians, neighbors and staff of Friends working from 1999 through 2001 under the National Endowment for the Humanities planning grant, referred to earlier in this report. The participants, assembled by project directors Holly Alonso and Alex Saragoza, included Mario Schjetnan and Matthew Potteiger, eventually chosen as Lead Designer and Design Consultant for the schematic design by the City of Oakland. The interdisciplinary NEH group sought ways to illuminate the extraordinary scope of the site's history.

Pooling all relevant historical data about the site, from continental invasions to the minutiae of Peralta family history, they shaped the project's themes: the porous layering of histories, cultures and ecologies; the far-flung global connections to what happened at the site; its lost perspectives; the persistent unknowns, and open-endedness of this—of any—history; each generation's need to re-examine, redefine, rediscover history—leading to greater understanding and engagement in the present. Sub-themes emerged such as the importance of food to cultural identity, the dignity of work. These themes are the foundation for the interpretive plan, woven into arts and educational programming, into the texts and images for signage, the exhibits with their artifacts from the barrow pit and other objects, into publications, audio tours, an introductory video documentary; and informing the very shapes, colors and textures of the built structures and the choices for plantings and contours of the landscape itself.

As the reader knows from the preceding sections of this report, landscape elements include two historical survivals: the Peralta House from the rancho's final years, and the barrow pit, an outstanding archaeological deposit, from its first years. These will both be prime areas for interpretation through signage, activities, and dialogue with visitors. Other landscape elements recapture the essence of vanished historical structures, or create settings for performances, gatherings, and contemplation. Special landscape elements provide space for extensive text, images and exhibits. The following are brief examples of six features, their themes and interpretive functions:

- **Plaza** This enclosure commemorates the area within the adobe wall at the rancho headquarters, where smells of hide and tallow and cooking pots over open fires, mingled; where sounds of carpentry, babies crying, Indian languages and Spanish blended; where the movements of men, women and children, chickens, horses and dogs created a communal hubbub. The implementation of the interpretive plan will fill the plaza with cultural festivals, artisan and farmers markets, school field trips, adult and family tours and historical celebrations as well as daily community use.
- **Urban Book.** This installation provides rich context for all the elements of the historic core. A graphic display of source texts and human images in the interior "rooms", landscapes and maps spreading over several exterior panels, it is enhanced with photos, documents, letters and poetry. Docent tours explore the Urban Book. Neighbors return again and again on self-guided tours.

- **Alcoves in adobe wall:** 22 lean-tos once served as workers' living spaces, store-rooms and workshops. The alcoves now at the same location act as mini-theaters for living history activities drawing connections to people's work today. Three-dimensional exhibits, created with artists, will conjure up the adobe, leather, dance, cooking, agriculture, horsemanship of the rancho and suggest how these activities expressed cultural blending, were influenced by the global economy, and caused ecological change.
- **Peralta House** explores the human dimensions of the cultural and linguistic transformations of the late 19th century, and the dawn of the new Oakland. The Faces of Fruitvale Community Heritage Exhibit connects the period of the Peralta and Native American eclipse to the living memory of the community of today. Web-based and oral genealogy and storytelling activities, adding stories to the Fruitvale Storybook Web Site, and a study center for school projects on local history involve visitors directly.
- **Ethnobotanical Garden,** a timeline in plants including the History Garden, Peralta Victorian and kitchen gardens, and contemporary community gardens, dramatizes the transformation from managed wilderness, to rancho, to farm, to a city shared by cultures from all over the world. Ohlone herbalists and other interpreters are special guests. Extensive stewardship programs are already functioning as part of the Peralta Hacienda Afterschool Program.
- **ADA Ramp** The designation of the park as a site on the new National Park Service Anza Trail will bring thousands of state and national visitors here each year to learn of the site's connection to the Anza expedition. The 1000 mile trek brought Luís Peralta to California to begin the odyssey of removing Native People from their ancestral lands in the service of the Spanish crown, and participating in the founding of San Francisco, San Jose, Santa Clara and Santa Cruz. The ramp, with its symbolic location between Peralta Creek and the Historic Core and empty wall space, is suited to creating the link with the Anza expedition with art, maps and source texts. The tri-racial Mexican mestizaje—black, Indian and Spanish—is part of this context.

The programs that bring the site to life include school field trips, tours, celebrations, classes, social events, performances of all kinds, and crafts and farmers markets. For two years Friends has offered a full curriculum-related field trips program for middle school students. This program will be expanded to include fourth grade and high school curriculum in the ideal setting of the new landscape. Regularly scheduled self-guided and docent-led tours will cover all the areas of the park, providing an unforgettable experiential history lesson for visitors. Tours will be tailored to special perspectives, such as the Native American view of the rancho. Community docent training is a key component of the interpretive program. Food and performance events will bring people from many cultures to the site to explore their connections to time and eternity, and to each other.

Crucial supplementary materials of the interpretive plan include 1) printed guides and a multicultural history of the site, 2) audio tours and an introductory video documentary on the Peraltas and the East Bay, entitled "The Land Is Our Gold," 3) supplies and curriculum guides for program activities and 4) publicity materials.

The descriptions above are based on detailed specifications in the Implementation Plan. These specifications also include a development plan, description of staffing requirements, training of docents and caretakers, ongoing role of historians, musicians, teachers, gardeners, students, audience profiles and projections from region, state and nation, in addition to a full description of programming, schedules, and a catalogue of texts, images, supplementary materials. The Implementation Plan is included in the Technical Reports (5).

Implementation of the Phase III park improvements involves several steps including the preparation of a master plan update and its associated construction cost estimate, the identification of funding sources, and a phasing plan. This document and its associated attachments represent the Master Plan update.

An Estimate of Probable Construction Cost has been prepared for the proposed Phase III park improvements. This estimate is divided into nine priority areas as shown on the phasing plan (fig. 52). A summary of the probable construction cost is shown in page 32. The full and detailed cost estimate is included in the Technical Reports (5).

funding

The following summarizes funding sources that have been identified and the amounts available from each source.

secured funding commitments

City of Oakland, Measure I and K for a Tot Lot & the park - \$380,000
 Proposition 12, Roberti-Z'berg Funds - \$500,000
 Council Member Ignacio De la Fuente, discretionary projects funds – \$50,000

potential funding sources

Council Member Ignacio De la Fuente, additional discretionary projects funds – \$50,000
 City of Oakland, Community Development Block Grant - \$100,000
 National Endowment for the Humanities - \$300,000
 California Heritage Fund (State Proposition 12) - \$370,000
 Save Americas Treasures - \$100,000 – 200,000
 National Park Service – \$30,000
 Murray Hayden Grant Urban Parks and Youth Services Fund (State Proposition 12) - \$350,000

The plan divides the park into logical construction packages.

The numbers indicate the general priority preferences that have been developed by Friends of Peralta Hacienda Historical Park in conjunction with the City.

The actual implementation order will be adjusted depending on what funding sources become available.

1. Coolidge Open Space & Tot Lot
2. Community Center & Parking
3. Historic Core
4. Barro Pit Analysis & Interpretation
5. Upper Lawn & Deck
6. The Gardens
7. Creek Area
8. Ramp & Amphitheater
9. Tot Lot & East Entrance

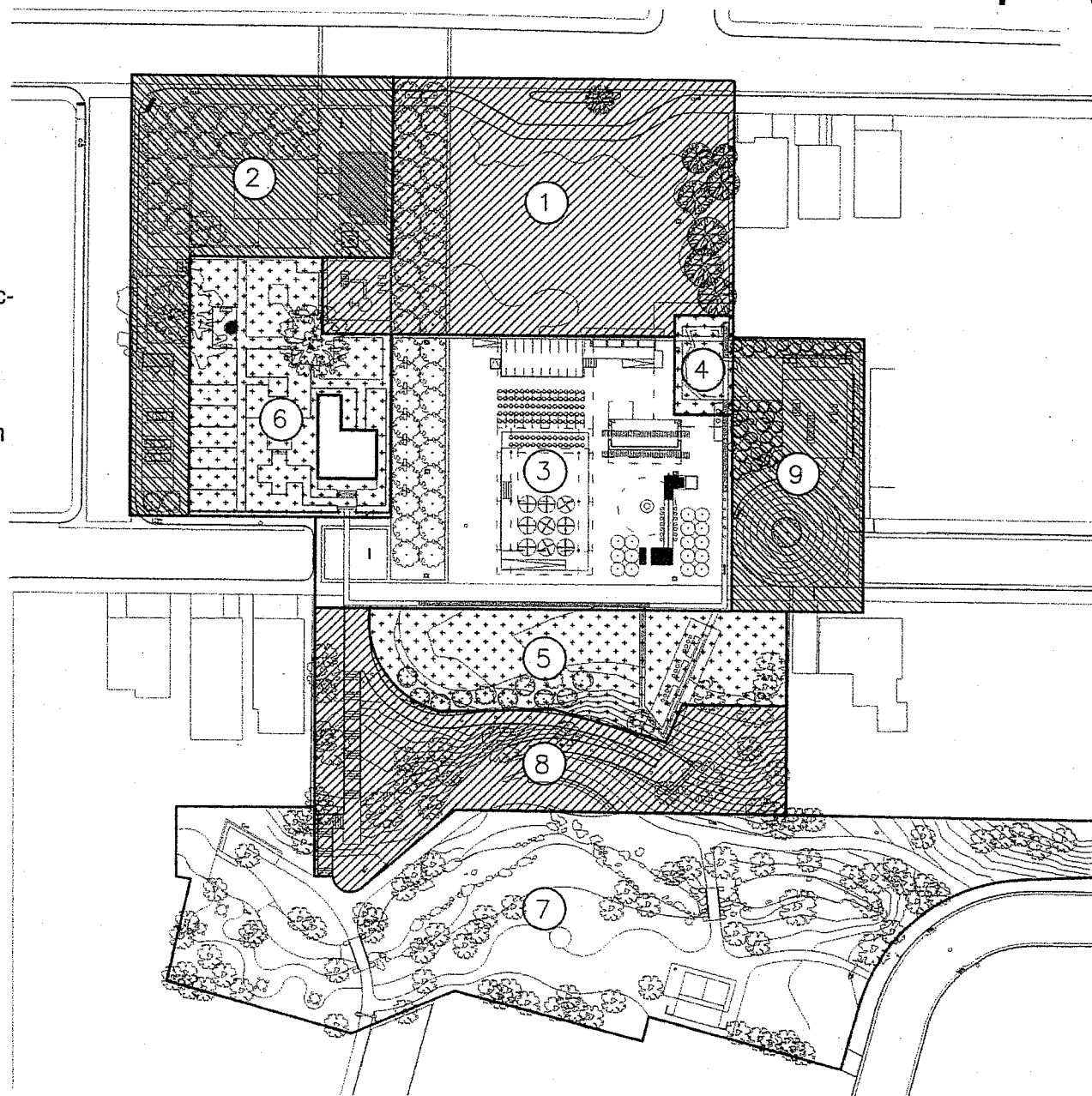


Fig. 52 Phasing Plan

summary of probable construction cost

order or magnitude

DESCRIPTION	TOTAL PROJECT COST
1. Priority Area #1 – Coolidge Open Space & Tot Lot	\$ 550,787
2. Priority Area #2 – Community Center & Parking	\$ 1,402,569
3. Priority Area #3 – Historic Core	\$ 2,567,743
4. Priority Area #4 – Barro Pit Analysis & Interpretation	\$ 321,222
5. Priority Area #5 – Upper Lawn & Deck	\$ 367,675
6. Priority Area #6 – The Gardens	\$ 1,124,113
7. Priority Area #7 – Creek Area	\$ 801,897
8. Priority Area #8 – Ramp & Amphitheater	\$ 744,295
9. Priority Area #9 – Tot Lot & East Entrance	\$ 472,328
OVERALL TOTAL	<u>\$ 8,352,628</u>

Note: Priority Areas #1 through 9 – Numbers correspond to numbered items shown on Fig. 52.

Note 2: Detailed Estimate of Probable Construction Cost, see Peralta Hacienda Historical Park - Technical Reports, April 2002.

- (1) All the drawings and images were provided by Grupo de Diseno Urbano – Mexico, and Mario Schjetnan Garduno, Landscape Architect, unless noted.
- (2) Historical data and facts provided by Julia G. Costello and her team at Foothill Resources, Ltd. Excerpts from their document *Historical Archeology at the Peralta Hacienda Historic Park (P-01-112244; CA-ALA-585H) Phase III, Plan Update* were included in this report to provide a historical framework. For specific archeological information consult the archeological document see Technical Reports, (5).
- (3) The concepts and ideas presented in this document were developed in conjunction with Matthew Potteiger. His document *Landscape Narrative Practices: A Summary for Peralta Hacienda Historical Park* encompassed interpretations and translations from the site's historic events, cultural practices, and the physical environment, in response to the design proposal presented by Mario Schjetnan. Parts of his work for this project were used in this document to explain the conceptual background of the design.
- (4) Excerpts from the *Peralta Hacienda Historical Park Interpretive Plan* prepared by Holly Alonso were included in this report to provide a summary of the ongoing and revised park programming and a description of the current activities at the site.
- (5) For detailed meeting results and community input wish-lists, consult the *Peralta Hacienda Historical Park Phase III Master Plan Update – Technical Reports*, prepared by Pattillo & Garrett Associates.
- (6) This document represents the work and ideas of the entire design team with Pattillo & Garrett Associates as the project's Prime Consultants, and Mario Schjetnan as Lead Designer. The *Peralta Hacienda Historical Park – Technical Reports*, prepared by Pattillo & Garrett Associates contains additional information, including the community participation and design processes, construction cost estimates and detailed phasing strategy.

bibliography & resources

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Oakland, California
Document submitted to PGA and City of Oakland, January 2001

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Landscape Narrative Practices: A Summary for Peralta Hacienda Historical Park
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The Peraltas and Their Houses
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Holly Alonso
2001

Master Plan Conceptual Design Process

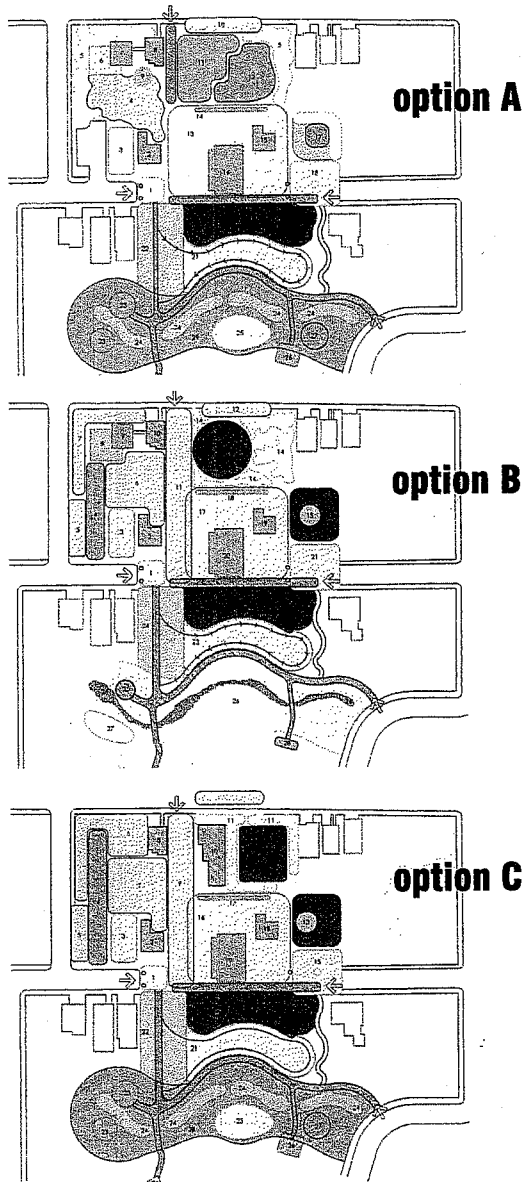


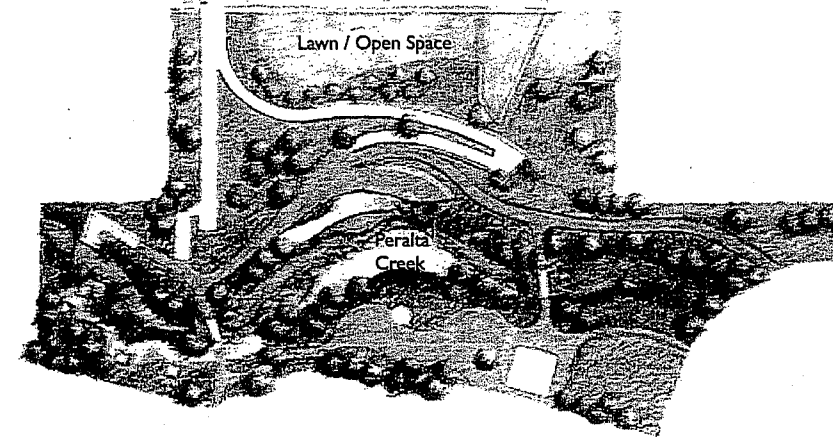
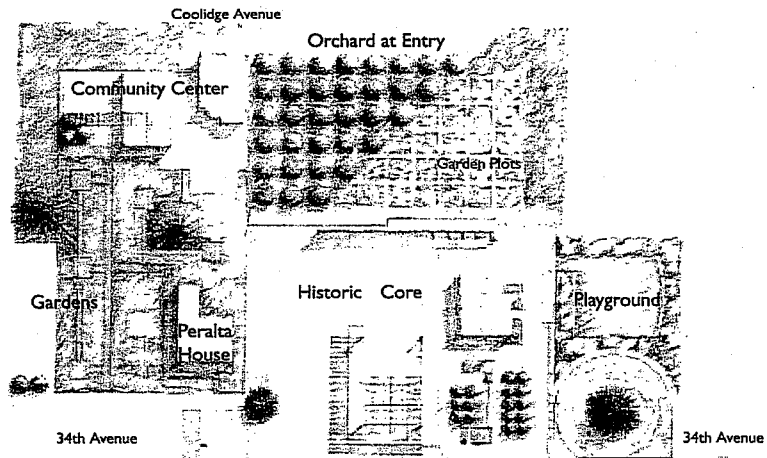
Fig. 53 Three Diagrammatic Options

The present Master Plan Update is the result of a rich process, where designers, community, authorities, experts and advocates collaborated to transform a vision into a real design.

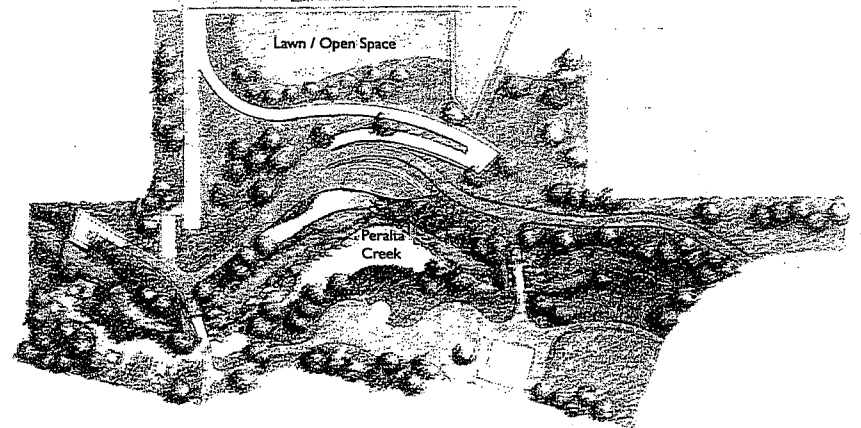
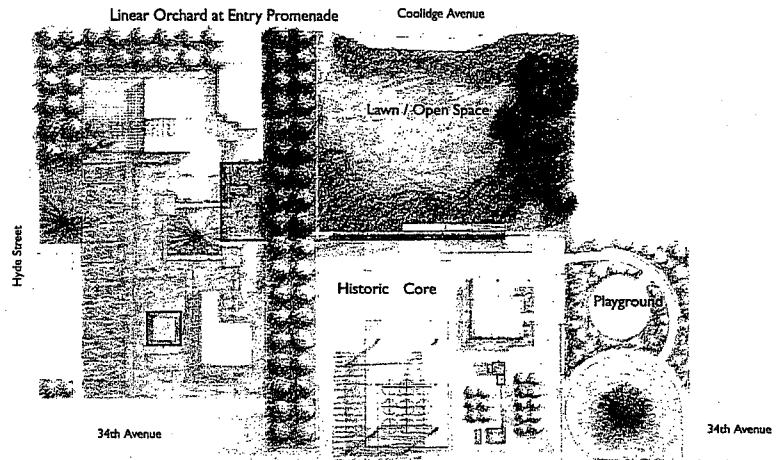
This design process began with the designer’s presentation to the community of three diagrammatic options (Fig. 53). On each option, program elements were placed in different locations and with varying relationships to each other. Option A provided an entry with a large orchard and community gardens at Coolidge Avenue, while Hyde Street’s edge was treated with native Californian vegetation. Option B opened up the Coolidge Avenue edge with an extensive lawn area. The orchard became a central alley of fruit trees that connected Coolidge Avenue with the Historic Core area. Hyde Street had a linear orchard as well, and a new parking layout. Finally, Option C was conceptually similar to option B, except that it retained the existing apartment building on Coolidge Avenue.

After receiving comments about the three diagrams, they were advanced, and two alternatives for the park (Fig. 54) were developed and presented again. These alternatives offered two approaches to the park’s edges at Coolidge Avenue and Hyde Street. Alternative B with a long linear orchard promenade to connect the park’s entry to the Historic Core was preferred over Alternative A that proposed an orthogonal orchard interlocking with garden plots along Coolidge Avenue.

Alternative B was later developed into the Master Plan that is presented in this document (Fig. 6). A number of the elements of the Alternative B were refined, and some specific elements from Alternative A were included into the updated Master Plan.



alternative A



alternative B (preferred)

Fig. 54 Two Design Alternatives

Report prepared by Alma Luisa Du Solier
Grupo de Diseno Urbano, Mexico

Oakland, California . April 2002

INITIAL STUDY AND PROPOSED
MITIGATED NEGATIVE DECLARATION

PERALTA HACIENDA
HISTORICAL PARK
MASTER PLAN UPDATE

PREPARED BY LAMPHIER - GREGORY
1944 EMBARCADERO WAY
OAKLAND, CA 94606

MARCH 21, 2002

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MITIGATED NEGATIVE DECLARATION

Application

This Mitigated Negative Declaration is for:

- A Master Plan Update for Peralta Hacienda Historical Park

Applicant

The project applicant is the City of Oakland Public Works Agency.

Project Objective

The project objective is to implement the Peralta Hacienda Historical Park Master Plan Update.

Location

As shown in **Figure 1, Project Location** the project site is bounded by and is accessible from Coolidge Avenue, Hyde Street, 34th Avenue, Paxton and Davis Street in Oakland, California.

Project Description

The Peralta Hacienda Historical Park has evolved over the past 25 years through the efforts of the City of Oakland, the Fruitvale Community Development District Board and Friends of Peralta Hacienda Historical Park (PHHP). The Park Master Plan was revised and updated to provide greater emphasis on the significant history associated with the site. The proposed Park Master Plan Update retains many of the park's existing elements, modifies some and adds several new features.

The following provides a listing and brief description of each of the elements planned for different areas of the park:

Coolidge Avenue Entry and Lawn. The Master Plan currently requires demolition or relocation of all existing structures on the site except the Peralta House. The Plan Update modifies this Plan to demolish or relocate two of the three remaining residential properties on Coolidge to open up the park to the street. New features include a two car pull out at the curb, a 12,000 square foot multi-purpose lawn surrounded by a grove of live oak trees with an under story of native grasses and wild flowers, a 250 foot allee of trees which connects the historic core to Coolidge Avenue, and a 48 foot long bench facing Coolidge Avenue integrated with the adobe wall. The current plan for phase three included a parking lot for 18 cars plus buses. Trees would not be planted within the flat area to deter recreational use.

Community Center. The addition of the new community meeting place along with proposed renovations of 2496 Coolidge Avenue, will serve all age groups. Features would include the renovated 2,000 square foot 2496 Coolidge Avenue house and an addition of 1,200 to 1,500 square feet for community gatherings, an entry plaza located on Coolidge Avenue, a fenced outdoor patio accessible from the Community Center or garden, a bicycle storage and repair area, an orchard, tot lot and terrace.

Ethno-botanical and Community Gardens. One of the interpretive themes for the Master Plan Update includes food and plants introduced by successive residents of the Fruitvale District. The updated plan incorporates elements that feature food and other plants. Elements in this area of the park include a 5,000 square foot garden area devoted to plants that are representative of the different peoples who occupied the site and neighborhood. This portion of the project also includes 2,000 square feet of community gardens, renovation of the Victorian garden surrounding the Peralta house and preservation of existing trees.

Historic Core. The area referred to as the historic core is where Antonio Peralta built the first non-indigenous adobe structure in the East Bay. As his family grew, he constructed a larger home, in 1840. Enclosing these two structures was an eight foot high, three foot thick adobe wall. The core of PHHP is formed by interpretations of these elements, as well as the barro pit. The Master Plan Update proposes a 100 foot long modern adobe wall with alcoves reminiscent of the original 22 lean-to's the Peraltas built for workshops and guest houses. The Plan also proposes a covering of ramada (trellis with vines) over the footprint of the 1840 adobe, with an "Urban Books" display (a series of vertical panels with pages that allow for a variety of juxtapositions of interpretive material); the Peralta barro pit with a brick making area, interpretation of the 1820

adobe, 200 linear feet of seat-height adobe walls defining the historic core area and a 25 foot long community table flanked by a citrus grove. Water would flow down the length of the community table in a tile-lined channel and spill into a basin and planted pond. (As cited in Draft Master Plan Update Report, March 2001, p.6, 7)

Site Grading. Only minor grading would occur throughout the park where necessary to correct drainage problems. The lawn area on Coolidge would be graded to lower the lawn 12 to 18 inches below sidewalk level. Soil removed from this area would be used to build low mounds surrounding the lawn. This would provide a protected bowl with good visual access. The multi-purpose lawn at 34th Avenue would be lowered about two feet to improve visual access. Some grading would occur on the slope between the upper and lower portions of the park to reduce erosion and help with the establishment of a vegetative cover. There would also be some minor grading on Hyde Street.

Site Utilities. Relocating an existing utility line outside the park is one of the major costs included in the Master Plan, estimated at \$100,000 in September 2000. The Plan Update revises the existing Plan which calls for limiting outdoor lighting to security lamps. Other site utilities, to be detailed during the construction documents phase, include area drains, modifications to existing underground sewer, modification and additions to the existing irrigation system and enhancement of existing lighting. Other utility work would be associated with the community center project, including new electrical service for 2496 Coolidge Avenue, fire protection, plumbing, heating, ventilating and air conditioning. All utilities for the Peralta Victorian house were upgraded and brought up to code as part of the house renovation effort.

The project will require the City of Oakland's approval of the following entitlements:

- A Master Plan Update for Peralta Hacienda Historical Park

Potentially Significant Impacts Requiring Mitigation

The project has been determined to have the following potentially significant impacts which would require mitigation to ensure that significant impacts to the environment are avoided or reduced to a "less than significant" level:

1. The project would involve the augmentation of existing site lighting in the historic core to create a well-lighted area suitable for evening activities, possibly directing excessive amounts of light toward nearby residences.

2. Grading, earthmoving and construction activities at the project site would be expected to create dust and exhaust from construction equipment, which could have a potentially significant impact on local air quality and might result in exposure of sensitive receptors to air pollutants temporarily during the construction period.
3. Construction related activities undertaken during implementation of the proposed project could result in inadvertent damage to historical/archaeological resources such as the brick-lined well and artifact-filled barro pit as well as other unknown but potentially present cultural resources.
4. The project site is located in an area where previous occurrences of landslide movement, or local topographic, geological, geotechnical and subsurface water conditions indicate a potential for permanent ground displacements resulting from seismic activity. The Peralta House, its associated structures, and people that visit them could be negatively impacted by a seismic event.
5. The project site is located in an area where historic occurrences of liquefaction, or local geological, geotechnical and groundwater conditions indicate a potential for permanent ground displacements resulting from seismic activity.
6. Construction at the project site could result in a temporary increase in existing noise levels, although these noise levels would not be regarded as severe.
7. Peralta Creek Improvements. Future creek improvements would require a Streambed Alteration Permit.

Planning Director's Decision

After due consideration, the Planning Director of the City of Oakland has found that with the implementation of mitigation measures identified in this Mitigated Negative Declaration (listed separately in **Appendix A** of this document), the proposed project will not have a significant effect on the environment. Therefore, the project will not require the preparation of an Environmental Impact Report, and the requirements of the California Environmental Quality Act (CEQA) will be met by the preparation of this Mitigated Negative Declaration. This decision is supported by the following findings:

- a. The updated project does not have the potential to degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or pre-history because: there is no identified area at the project site which is habitat for rare or endangered species, or which represents unique examples of California history or prehistory; the project is within the scope of use contemplated in the General Plan; and the project does not have any significant, unavoidable adverse impacts. Implementation of specified mitigation measures will avoid or reduce the effects of the project on the environment and thereby avoid any significant impacts.

- b. The updated project does not involve impacts which are individually limited but cumulatively considerable, because the described project will incorporate both project-specific mitigation measures and city-wide mitigation measures to avoid significant impacts of the project in the context of continued growth and development in Oakland.

- c. The updated project does not have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly, because the proposed development will enhance the existing residential and commercial uses within the immediate area, provide the City with additional park area, and all adverse effects of the project will be mitigated to an insignificant level.

Public Review

The Initial Study and Proposed Mitigated Negative Declaration was circulated for a 30-day public review period. The City of Oakland Planning Commission held a public hearing in the Initial Study and Proposed Mitigated Negative Declaration on [REDACTED]

Adoption of the Mitigated Negative Declaration does not constitute approval of the project itself, which is a separate action to be taken by the Planning Commission. Approval or denial of the project can take place only after the Mitigated Negative Declaration has been adopted.

Lead Agency

The Lead Agency for this Mitigated Negative Declaration is the City of Oakland Planning Department.

Determination

On the basis of the evaluation in this Mitigated Negative Declaration and Initial Study:

- I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on an attached sheet have been added to the project. A **NEGATIVE DECLARATION** will be prepared.
- I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

Date

Leslie Gould
Planning Director

(510) 238-3941
Phone

INITIAL STUDY

CITY OF OAKLAND

Planning Department
250 Frank Ogawa Plaza #3330
Oakland, CA 94612

General Information

Applicant: City of Oakland

Project Name

Peralta Hacienda Historical Park Master Plan Update: Phase 3

PROJECT SITE AND DESCRIPTION

Location and Setting

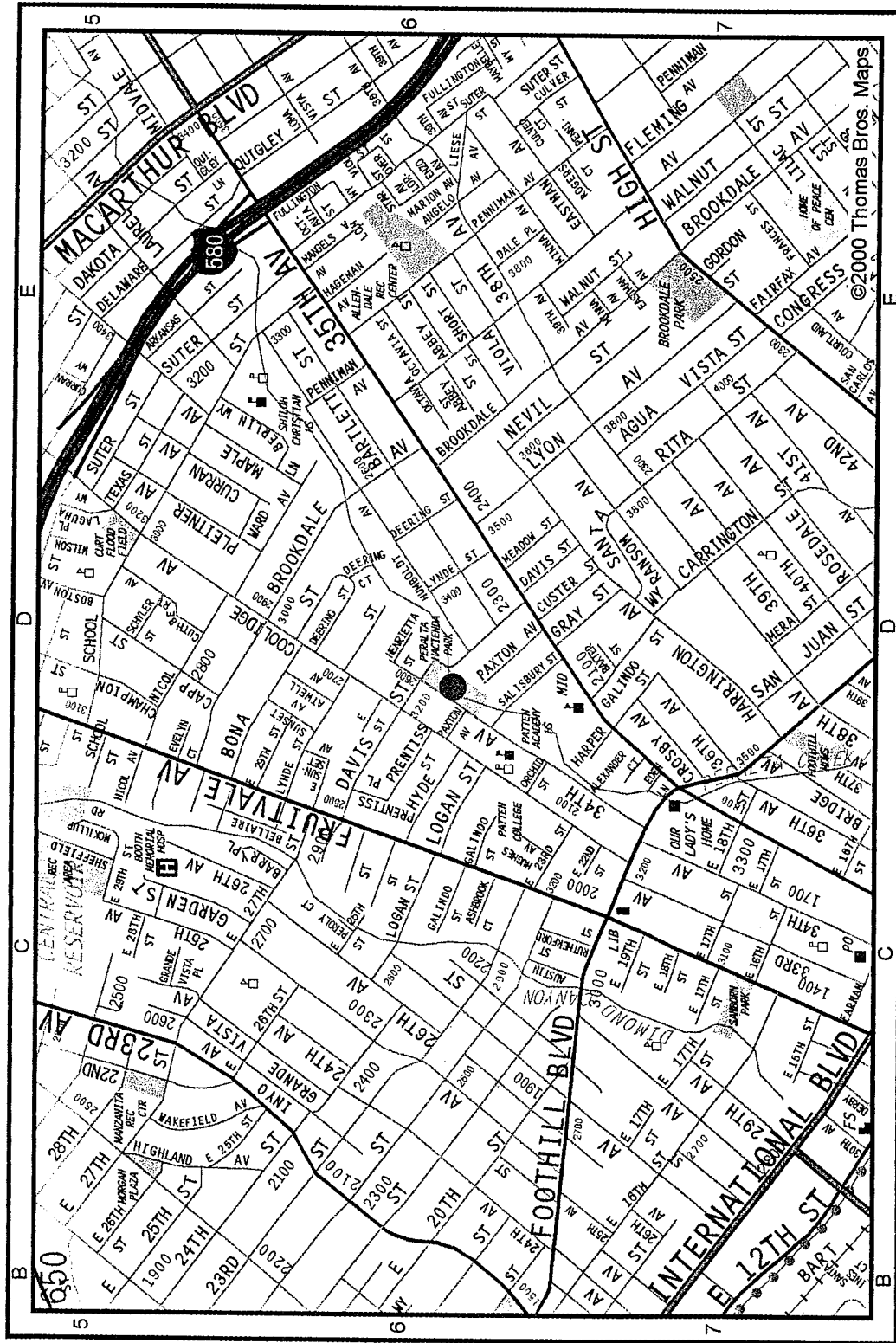
As shown in Figure 1, Project Location, the Peralta Hacienda Historical Park (PHHP) is bounded by and accessible from Coolidge Avenue, Hyde Street, 34th Avenue, Paxton and Davis Street. The neighborhood where it is located is largely residential, with Calvin Simmons Middle School and Patten College located nearby. Students from both schools as well as others in the surrounding neighborhood currently use the park.

Project Site

The primary elements of the park as it exists today are:

Figure 1

Project Location



● : Project Site

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A Victorian House, the third residence built by the Peralta family, in 1870, that is Historic Site #925, listed by the State Parks Office of Historic Preservation;

- A small parking area west of the Victorian house;
- 2496 Coolidge, known as the VISTA House (Volunteers In Service To America), currently used as a community building;
- A lawn at the corner of Hyde and Coolidge Avenue;
- Raised pads or “footprints” with lawn surfaces identifying the approximate size and location of the 1821 and 1840 adobe buildings;
- Delineation of the approximate location of the hacienda wall shown by concrete block pavers;
- A stage;
- A multi-use lawn area;
- 460 feet of the reconstituted Peralta Creek. The actual creek runs under the site in a culvert approximately 12 to 15 feet underground. The creek is fed by water pumped from the underground portion of the creek to create a managed flow;
- A wooded slope 35 feet high, dividing the reconstituted Peralta Creek from the main, upper portion of the site;
- A restroom building with a community mural located near the creek;
- Picnic tables and benches.

Circulation Characteristics

Most visitors access the site by foot, walking from nearby homes. People who drive to the site park in the eight space parking area or in one of many street parking spaces surrounding the site. AC Transit operates buses along Coolidge Avenue, providing direct park access, while the nearest BART station is the Fruitvale station located one mile from the site.

Zoning

The project site is currently zoned “Park and Urban Open Space” and “Mixed Housing Type Residential”.

Site Ownership

The PHHP is a City owned park in the City of Oakland’s Fruitvale District.

PROJECT CONTEXT AND DESCRIPTION

In 1820 the King of Spain granted 43,472 acres of land to Luis Maria Peralta, in recognition of his years of service in the Spanish Army. The terms of the grant required that a structure be built on the land within one year. In 1821 the Peralta family constructed an adobe building, the first non-indigenous structure in the region, in what is now the heart of Oakland’s Fruitvale neighborhood. This land grant covered an area which today includes the cities of Oakland, Piedmont, Berkeley, Emeryville, Alameda and portions of San Leandro and Albany.

In the late 1970s, community activists led by resident Claudia Albano rediscovered the significance of this site. With assistance from the City, the community began an effort to acquire land once owned by the Peralta family to plan and build a neighborhood historic park, to restore the 1870 Victorian style home built by Antonio Peralta, son of Luis, and raise the community’s and region’s awareness of the site and its significance to California and the western United States. Friends of Peralta Hacienda Historical Park (Friends) was incorporated in 1985 as a non-profit organization. The City of Oakland has collaborated with the Fruitvale Community Development District Board and Friends to develop Peralta Hacienda Historical Park.

The Park Master Plan was updated to provide greater emphasis on the significant history associated with the site. The Park Master Plan Update retains many of the park’s existing elements, modifies some and adds several new features.

The Project Site Plan is shown in **Figure 2, Project Site Plan**. The following provides a listing and brief description of each of the elements planned for different areas of the park.



PERALTA HACIENDA HISTORICAL PARK
2465 34th Avenue Oakland, California
JUNE 2001



Project
Site Plan

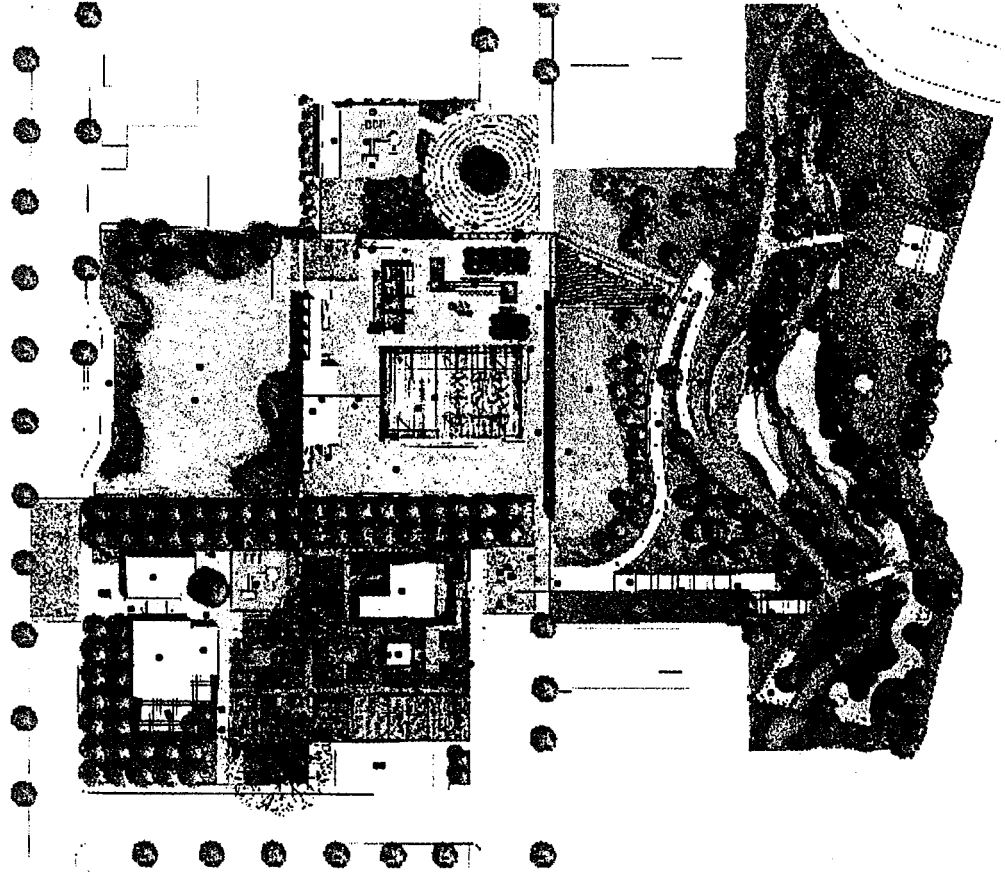
Figure 2

Scale: 1" = 40'

North Arrow

LEGEND

- 1 Entry Plaza
- 2 Service Entrance
- 3 Entry 1
- 4 Entry 2
- 5 Existing Peralta Victorian House
- 6 Restored Victorian Gardens
- 7 Family Community Gardens / Turf
- 8 Perpendicular Parking on Hyde Street
- 9 Ethnobotanical & Historical Gardens (4)
- 10 Fruitvale Orchard
- 11 Enclosed Community Courtyard
- 12 New Community Room
- 13 Services and Public Bathrooms
- 14 Existing House - Community Center
- 15 New Drop-Off
- 16 Multipurpose Lawn
- 17 "Natural" Californian Gardens
- 18 Tot Lot (1-10 Years Old)
- 19 Playground
- 20 Garden Buffer
- 21 Historical Precinct
- 22 Adobe Wall / Stage
- 23 Covered 1821 Adobe Footprint,
- 24 Archeological "Ruins"
(approximated reconstruction of adobe portal under pergola)
- 25 Adobe Making Area and Storage
- 26 Covered 1840 Adobe Footprint (Pergola)
- 27 Historical Narrative Exhibit (Urban Book)
- 28 Vehicular Cul-de-Sac with Plaza treatment
- 29 Look-out Deck (Picnic chairs & tables)
- 30 Interpretive Nature Ramp
- 31 Visual & Physical Connection Stairs
- 32 Water-Meditation Rest Area
- 33 Ecological Interpretation of Creek Area
- 34 Open Classroom / Amphitheatre
- 35 Existing Restrooms, Storage, and Teacher's Room
- 36 Access to Storage (Under Stage)
- 37 Picnic Area
- 38 Native American Display
- 39 Shade Garden
- 40 Water Garden (aquatic vegetation)
- 41 Natural Infiltration Pond
- 42 Built-in adobe & stucco Benches
- 43 Water Table
- 44 Peralta Family Barro Pit Archeological Site *
- 45 Covered Brick Well (Archeological Feature)
- 46 Oven / Grill
- 47 Art Well
- 48 Picket Fence
- 49 Canvas & Wine Structure (shading device for stage)
- 50 Dumpster (72" x 42")
- 51 Community Notice Boards at park entries



* According to the interpretation of the archeologist team, the location of the Barro Pit is shown in this plan.

Site Features

Coolidge Avenue Entry and Lawn. Two of the three remaining residential properties on Coolidge would be demolished and the park, which is hidden behind them, will be opened up to the street. New features include a two car pull out at the curb, a 12,000 square foot multi-purpose lawn surrounded by a grove of live oak trees with an under story of native grasses and wildflowers, a 250 foot allee of trees which connects the historic core to Coolidge Avenue, and a 48 foot long bench facing Coolidge Avenue integrated with the adobe wall. The current plan for phase three included a parking lot for 18 cars plus buses. Trees would not be planted within the flat area to deter recreational use.

Community Center. The addition of the new community center along with completed renovations of the Peralta's Victorian house, will serve all age groups. Features include the renovated 2,000 square foot 2496 Coolidge Avenue house and an addition of 1,200 to 1,500 square feet, an entry plaza located on Coolidge Avenue, a fenced outdoor patio accessible from the Community Center or garden, a bicycle storage and repair area, an orchard, tot lot and terrace.

Ethno-botanical and Community Gardens. One of the interpretive themes for PHHP is food and other plants introduced by successive residents of Fruitvale. The new park incorporates elements that feature food and other plants. Elements in this area of the park include a 5,000 square foot garden area devoted to plants that are representative of the different peoples who occupied the site and neighborhood. This portion of the project also includes 2,000 square feet of community gardens, renovation of the Victorian garden surrounding the Peralta house and preservation of existing trees.

Historic Core. The area referred to as the historic core is where Antonio Peralta built the first non-indigenous structure in the East Bay. As his family grew he constructed a larger home, also of adobe, in 1840. Enclosing these two structures was an eight foot high, three foot thick adobe wall. Interpretations of these elements plus the barro pit form the core of PHHP. The Master Plan proposes a 100 foot long modern adobe wall with alcoves reminiscent of the original 22 lean-tos the Peraltas built as workshops and guest houses that would feature interpretive material and a stage. The Plan also proposes a covering of ramada (trellis with vines) over the footprint of the 1840 adobe, "Urban Books" (a series of vertical display boards with pages that allow for a variety of juxtapositions of interpretive material), the Peralta barro pit with interpretation, interpretation of the 1820 adobe, 200 linear feet of seat-height adobe walls defining the historic core area and a 25 foot long community table surrounded by a citrus grove. Water would flow down the length of the community table in a tile-lined channel and spill into a basin and planted pond.

Site Grading

Only minor grading would occur throughout the park where necessary to correct drainage problems. The lawn area on Coolidge would be graded to lower the lawn 12 to 18 inches below sidewalk level. Soil removed from this area would be used to build low mounds surrounding the lawn. This would provide a protected bowl with good visual access. The multi-purpose lawn at 34th Avenue would be lowered about two feet to improve visual access. Some grading would occur on the slope between the upper and lower portions of the park to reduce erosion and help with the establishment of a vegetative cover.

Site Utilities

Relocating an existing utility line outside the park is one of the major costs included in the Master Plan, estimated at \$100,000 in September 2000. Other site utilities, to be detailed during the construction documents phase, include area drains, modifications to existing underground sewer, modification and additions to the existing irrigation system and enhancement of existing lighting. Other utility work would be associated with the community center project, including new electrical service for 2496 Coolidge Avenue, fire protection, plumbing, heating, ventilating and air conditioning. All utilities for the Peralta Victorian house were upgraded and brought up to code as part of the house renovation effort.

REQUIRED DISCRETIONARY APPROVALS

The project would require the City of Oakland's approval of the following entitlement:

- A Master Plan for Peralta Hacienda Historical Park

INITIAL STUDY CHECKLIST

The following section of this report consists of the City of Oakland Initial Study Checklist. Explanations of answers on the Initial Study Checklist follow.

	Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
1. AESTHETICS – Would the project:				
a) Have a substantial adverse effect on a scenic vista?	[]	[]	[]	[✓]
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	[]	[]	[]	[✓]
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	[]	[]	[]	[✓]
d) Create a new source of substantial light or glare, which would adversely affect day or nighttime views in the area?	[]	[✓]	[]	[]

Comments to Questions 1a, b, c, and d:

a, b and c) The project would not have an adverse effect on a scenic vista, would not damage scenic resources, nor would it degrade the existing visual character or quality of the site and its surroundings. The project would have a *beneficial and enhancing impact* on the existing visual character of the site and its surroundings, in that an important purpose of the project is to restore and beautify the site. Beautification of the site would involve establishment of considerable landscaping, ranging from lawn areas to native grasses, garden areas and wild flowers, fruit trees and Live Oaks.

d) New sources of nighttime lighting which could introduce significant amounts of glare are proposed for the project.

■ **IMPACT 1: Nighttime Lighting Impact on Sensitive Receptors**

The project would involve the augmentation of existing site lighting in the historic core to create a well-lighted area suitable for evening activities, possibly directing excessive amounts of light toward nearby residences. This would be a *potentially significant impact* of the project.

MITIGATION MEASURE 1: Careful Placement of Lighting Sources

All new lighting shall be shielded or hooded to avoid glare and be directed onto the project site and away from sensitive receptors such as nearby residences. Implementation of this mitigation measure would reduce the impact of nighttime lighting to a level of *less than significant*.

	Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
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2. AGRICULTURAL RESOURCES – Would the project:

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance to non-agricultural use?	[]	[]	[]	[✓]
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	[]	[]	[]	[✓]
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of farmland to non-agricultural use?	[]	[]	[]	[✓]

Comments to Questions 2a, b and c:

a) Although located on land with a rich agricultural history, the project site is in the midst of an urban area which has already been developed in a mix of residential and commercial uses. No Prime Farmlands, Unique Farmlands or Farmlands of Statewide Importance have been identified at, or in the vicinity of, the project site. Project development would not result in the conversion of any Prime Farmlands, Unique Farmlands or Farmlands of Statewide Importance to non-agricultural uses.

b) There are no areas in the vicinity of the project site which have been zoned for agricultural uses, and no parcels near the project site are currently under Williamson Act contracts. Project development would not result in the conversion of any land currently zoned for agricultural use or in Williamson Act contracts to non-agricultural uses.

c) Although there are gardens at the project site and in the surrounding neighborhood, no commercial-scale agricultural activities are currently in operation in the vicinity of the project site. The project features community gardens, orchards and ethno-botanical areas which are intended to help strengthen resident's ties with their local agricultural heritage. The proposed project involves no activities which would result in the conversion of farmland or other land in agricultural to non-agricultural uses.

	Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
3. AIR QUALITY - Would the project:				
a) Conflict with or obstruct implementation of the applicable air quality plan?	[]	[]	[]	[✓]
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	[]	[]	[]	[✓]
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	[]	[]	[]	[✓]
d) Expose sensitive receptors to substantial pollutant concentrations?	[]	[✓]	[]	[]
e) Create objectionable odors affecting a substantial number of people?	[]	[]	[]	[✓]

Comments to Questions 3a, b, c, d and e:

a, b, c and e) The project as proposed would not violate any air quality standard and would not contribute to any existing or projected air quality violation. It would not significantly alter air movement, air moisture or air temperature, would not alter the climate and would not create any objectionable odors. However, construction activity undertaken during project implementation could have a temporary impact on air quality.

d) The project could temporarily expose sensitive receptors to pollutants released into the air by construction related activities.

■ **IMPACT 2: Construction-Related Air Pollution**

Grading, earthmoving and construction activities at the project site would be expected to create dust and exhaust from construction equipment, which could have a potentially significant impact on local air quality and might result in exposure of sensitive receptors to air pollutants temporarily during the construction period. This would represent a *potentially significant environmental impact* associated with project development.

MITIGATION MEASURE 2: Dust Suppression Measures

Spillage resulting from hauling operations along or across any public or private property shall be removed immediately and paid for by the contractor. Dust nuisances originating from the contractor's operations shall be controlled at the contractor's expense. The implementation of conventional dust suppression measures such as watering exposed soil surfaces as necessary, covering stockpiles of debris, the routine sweeping of the construction area and adjacent streets, and the suspension of grading and other earthmoving activities during high winds would reduce the potential impact to a level of *less than significant*.

	Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
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4. BIOLOGICAL RESOURCES – Would the project:

a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	[]	[]	[]	[✓]
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	[]	[]	[]	[✓]
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act? (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	[]	[]	[]	[✓]
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	[]	[]	[]	[✓]
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	[]	[]	[]	[✓]
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	[]	[]	[]	[✓]

Comments to Questions 4a, c, d, e and f:

a, c - f) The project would not result in any impacts to any endangered, threatened or rare species or their habitats, or to any federally protected wetlands or wildlife corridors. The project would not conflict with any adopted habitat conservation plan or tree preservation policy.

b) The Updated Master Plan addresses the creek on the lower portion of the plan area. It recommends that the creek be reconfigured to enhance existing ponds and waterfalls. At this time there are no detailed plans for these improvements. When plans are developed, a Streambed Alteration Permit would be required from the California Department of Fish and Game. At that time the environmental review will address the specific impacts of the creek.

	Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
5. CULTURAL RESOURCES – Would the project:				
a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?	[]	[✓]	[]	[]
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	[]	[✓]	[]	[]
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	[]	[]	[]	[✓]
d) Disturb any human remains, including those interred outside of formal cemeteries?	[]	[]	[]	[✓]

Comments to Questions 5a, b, c and d:

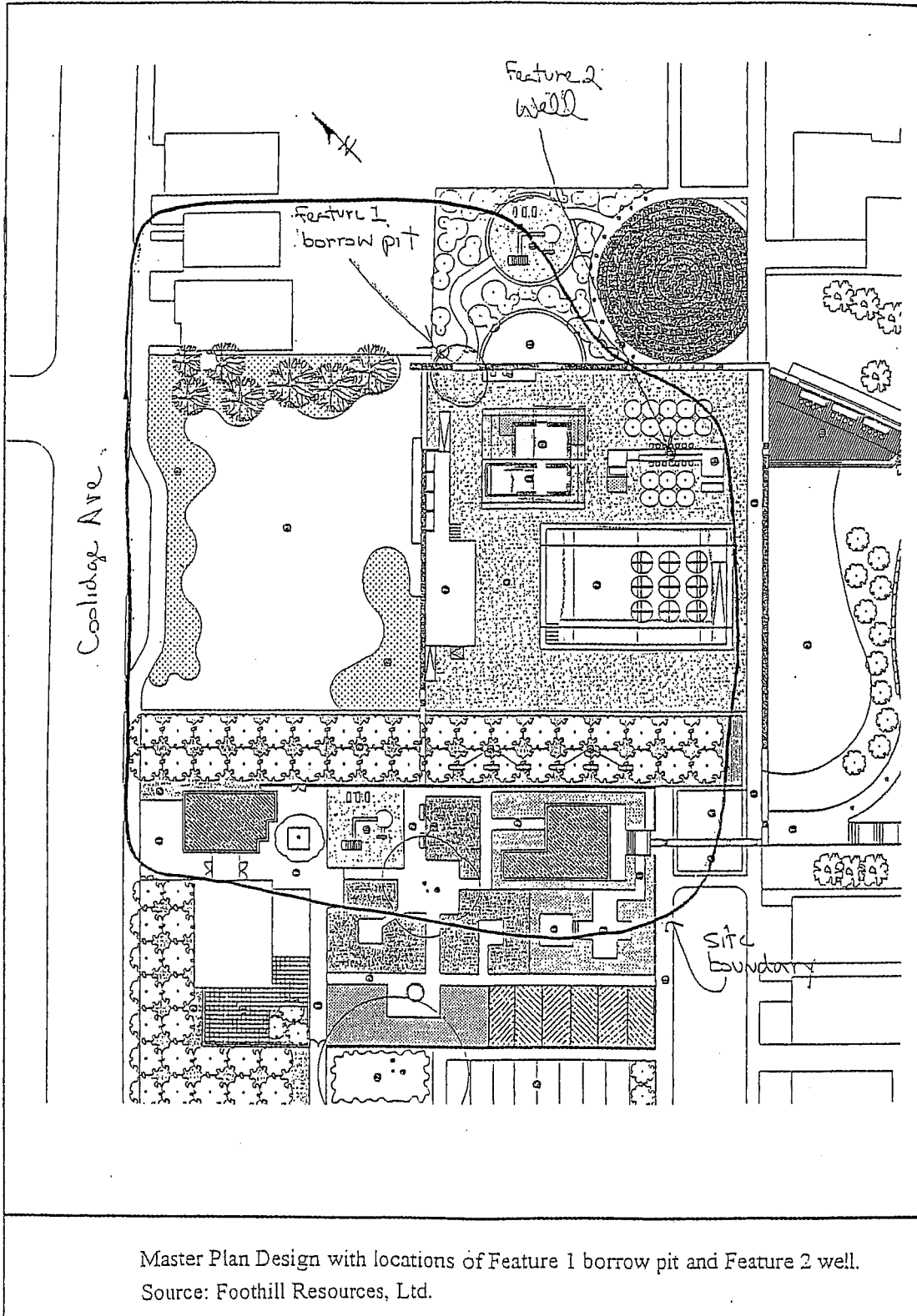
a and b) The Peralta Rancho Headquarters site (P-01-002244; CA-ALA-585H) appears to be eligible for the California Register of Historical Resources.¹ It contains the archaeological and architectural remains of the Peralta family Rancho and home site (1823-1897), which represents the first permanent settlement, after Mission San Jose, on the east side of San Francisco Bay. The site is associated with Antonio Maria Peralta and Maria Antonio Galindo, founders of the first non-Native American family household to occupy East Bay lands. The site boundaries were determined by the presence of intact, 19th Century ground surfaces and features related to the Peralta occupation of the land. The 1870 Peralta Hacienda, the centerpiece of the historical park, is listed on the California and National Register, and is California Historic Landmark No. 925.

Two archaeological features are extant: an artifact-filled barro pit (Feature 1) and a brick-lined filled well (Feature 2). The location of these Features is shown in **Figure 3**. Both are evaluated as being potentially important historical resources.

The brick-lined well meets two of four CEQA criteria for identification of historical resources, in that it is associated with events that have made a significant contribution to the broad patterns of local and regional history, and to the cultural heritage of California. It is also associated with the lives of persons important to local and California history. The barro pit meets one of the four criteria for identification as a historical resource.

¹ Foothill Resources, Ltd, *Historical Archaeology at the Peralta Hacienda Historical Park (P-01-002244): Phase 3 Plan Update, Oakland, California, January 2001*, p. 35.

Brick-Lined Well. The brick-lined well was constructed by the Peralta family to provide water for household use. Its date of construction is not known. It may have been built in the 1820s, concurrently with the earliest structures, and



was most likely serviceable by 1828 when Antonio Peralta and Maria Galindo took up residence. At some point the well was apparently re-lined with American style bricks, perhaps in 1870 at the same time the Hacienda was constructed. The well may have continued in service until the installation of City water in the last quarter of the 19th Century. The archaeological study revealed that the well does not hold any caches of artifacts that could provide important historic information.

The integrity of the well is good in terms of its location, design, materials and workmanship. However, its integrity of setting and feeling is poor. The well's association with the Peralta family is well established, and therefore excellent. Although the well would not likely qualify individually for the California Register, as a contributing element of the Peralta's Mexican-period Rancho headquarters, it satisfies criteria for importance.

Artifact-Filled Barro Pit. This feature consists of the barro pit, where mud was mixed for adobe bricks as well as the quantities of household refuse which later filled it. The pit measures 26 feet long by 18 feet wide and was originally about 3.5 to 4 feet deep. Presently only about 1.3 feet of its lowest portion remains. The artifacts filling the pit were deposited by the adjacent Peralta household, which consisted of family, friends and resident workers.

The artifact deposit is a rare record of life in Mexican California. It contains unique data on the residents of this Rancho that cannot be found in documentary sources. The large quantities of bone contain information on ranching practices, slaughtering and butchering, household diet, hunting activities and other food related topics. Ceramics and other kitchen related artifacts can provide information the family's economic status, purchasing patterns and dining practices. Imported items also provide insight into Alta California's role in the development of world trading networks, and Alta California's growing ties to England and the United States. Locally made items provide a measure of the rancheros' self-sufficiency, while Native American artifacts attest to the presence of an indigenous work force and perseverance of their traditional practices. Macrofloral (seed) and pollen remains from the pit will supply data on the East Bay environment during the Mexican Period.

Although an unknown portion of Feature 1 was destroyed by construction grading and another disturbed segment salvaged during construction, the deposit appears to retain sufficient integrity to qualify for the California Register.

Other Potential Resources. Other archaeological resources may be present in the ungraded portions of the site located adjacent to Coolidge Avenue. Although Spanish Rancho sites rarely contain privies (outhouses), it is possible that privy features may be present in this area. Other features common to Rancho sites are adjacent structures such as wells, garden walls, cook houses and ovens and butchering sites. All of these types of features from Mexican Ranchos are rare in California and could contribute important information to local and state history.

Resources dating to the post-1897 development of the Galindo Tract may also be present in this vicinity, although the early introduction of city water and sewer to this development reduces the likelihood of finding substantial deposits of artifacts.

■ IMPACT 3: Potential Adverse Change to Historical/Archaeological Resources

Construction related activities undertaken during implementation of the proposed project could result in inadvertent damage to historical/archaeological resources such as the brick-lined well and artifact-filled barro pit as well as other unknown but potentially present cultural resources. This would be a *significant impact* of the project.

MITIGATION MEASURE 3: Monitoring, Testing and Protection of Sensitive Areas

The proposed Park Master Plan has incorporated measures to ensure that it will have no negative impacts on the properties eligible for the California Register. These are:

Archaeological Testing of Sensitive Areas. Areas of the Peralta Hacienda Park where historic ground levels still remain intact will be mechanically scraped to reveal any important features, particularly those related to the Peralta Rancho. Additional artifact deposits, similar to Feature 1, as well as undocumented structures or activity areas may be located in the proximity of the Rancho headquarters (a neighbor reported what appear to be bones from Rancho period cattle butchering in his lot about 1.5 blocks away from the project site). Although Rancho sites rarely contain privies - a common source of artifact deposits - the Peralta adobe was occupied well into the American period when these facilities became universal. It is possible that privy features may be present in this area.

Foothill Resources Ltd.'s Test Area TA-1 describes two currently vacant lots, northern-most of the Coolidge Avenue frontage; TA-2 denotes Lots 2520 and 2528, where dwellings and outbuildings currently stand; TA-3 includes the backyard of 2496 Coolidge, presently covered by a garage and wooden deck, and the rear of the 1870 Peralta home. Prior to scraping, all lots will be prepared by removing buildings, structures and substantial vegetation. This clearing will be done carefully, without disturbing sub-surface soils. Building footings will remain in place, along with concrete slabs, basements, utility lines and other buried features. Trees and large shrubs will be cut off one to two feet above ground level, with their root systems left intact. During demolition and clearing, only rubber-tired vehicles will be allowed on the ground surface.

Scraping with a backhoe bucket blade, archaeologists will systematically remove soils to a depth of two to three feet. All located features will be mapped and described. Soils removed through scraping will be spread back over the site when testing is completed. The results of this phase of testing will be summarized in a report following standards put forth by the Office of Historic Preservation.

Given the likelihood that prehistoric cultural resources, as well as pre-1945 historic archaeological deposits, could exist on the project site, it is recommended that an archaeologist be retained during site grading. Once construction commences, intermittent monitoring or examination of the area should occur as frequently as necessary and at the discretion of the Principal Archaeologist, to ensure that intact cultural deposits are addressed if encountered. If the archaeologist can coordinate with construction to have input into scheduling, it is possible to keep the archaeological work to a minimum and yet retain some confidence that cultural resource

impacts would be mitigated.

It is also standard practice as part of the environmental review process, especially in light of the possible proximity of prehistoric resources, to make contact with the Native American Heritage Commission in Sacramento to 1) have them check their "Sacred Lands File" for any resources in or near the area, and 2) to provide a list of interested local Native American entities should the City of Oakland decide to obtain their comments or observations on the proposed project.

Should any previously undiscovered historic or prehistoric resources be found during construction, work shall stop, in accordance with CEQA regulations, until such time that the resource can be evaluated and appropriate mitigative action taken as determined necessary by the City of Oakland.

Project Construction Monitoring. During park design construction, any earthmoving activities in the vicinity of Features 1 and 2 shall be done with the utmost care. Prior to the beginning of construction activity, both features shall be fenced off to protect them from impacts from heavy machinery. Construction of design elements within the features' protective zones should occur within the presence of an archaeological monitor. This monitor should be on-site during activities that disturb soils to a depth greater than two feet within the boundaries of Site P-01-002244. Although every effort has been made to identify archaeological resources, there is always the possibility that deeply buried, intact features (such as Feature 1) have survived.

Protection of Archaeological Remains. The two legally important archaeological features identified at the site are the barro pit (Feature 1) and the well (Feature 2). These will be preserved through Protective Zones and through controlled landscape planting.

Protective Zones. Protective Zones describe a "no impact" area of about two feet above and on all sides around sensitive features that will be filled with sterile soils. The Park Master Plan Update ensures that graded surfaces, wall and structure footings, utilities and all other park construction will not extend into these protective zones. The ideal preservation of buried archaeological features is under a paved surface.

Feature 1, with an elevation of 123.3 feet, has a Protective Zone elevation of 125.3 feet. This zone extends immediately over the remains and within a Protective Zone of five feet on all sides. Feature 2, closer to the surface with an elevation of 123.7 feet, will require sterile fill to be added to the top of this feature to bring it to 125.7 feet. Horizontally, the Zone describes a two foot radius from the feature edges.

Landscape Planting. Plantings have been eliminated from all Protective Zones. Plantings have also been eliminated from areas surrounding Protective Zones where roots might reach archaeological remains. Large plants, such as trees, are excluded from a greater distance around features than small plants, such as shrubs. Watering has also been eliminated from areas around Protective Zones as preservation of archaeological remains, particularly the bones of Feature 1, is enhanced by maintenance of a dry environment.

Preservation of Barro Pit. A protective zone shall be established around the barro pit, in order to prevent it from being disturbed. The pit shall be covered with a layer of sterile soil and protective paving, or other material to be approved. In order to avoid impact to the pit, the adobe making area proposed for the site as well as irrigation-dependent landscaping shall be located at least 15 feet away from it to preclude moisture seepage.

Three Houses Facing Coolidge Avenue. Three houses extant on Coolidge Avenue will be evaluated for their eligibility for the California Register following procedures established by the State Office of Historic Preservation. The house at 2528 Coolidge and the four-plex at 3300 Paxton are planned to be demolished. The house at 2496 Coolidge will be renovated for use as part of a Community Center. Any ground disturbing construction or landscaping around the building should be accompanied by a testing plan or archaeological monitoring.

When taken together, these mitigation measures would reduce the project's potential impacts to cultural resources to a level of *less than significant*.

c and d) It does not appear that any unique paleontological resources, unique geologic features or human remains exist at the project site.

	Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
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6. GEOLOGY AND SOILS – Would the project:

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:

i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map for the area or based on substantial evidence of a known fault?

[] [] [] [✓]

ii) Strong seismic ground shaking?

[] [] [✓] []

iii) Seismic-related ground failure, including liquefaction?

[] [✓] [] []

iv) Landslides?

[] [✓] [] []

b) Result in substantial soil erosion or the loss of topsoil?

[] [] [✓] []

c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?

[] [✓] [] []

d) Be located on expansive soil creating substantial risks to life or property?

[] [] [✓] []

e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

[] [] [] [✓]

Comments to Questions 6a, b, c, d and e:

a -i) The project site is located approximately 1.80 miles west of the Hayward Fault, and is not within any Alquist-Priolo Geologic Hazards Special Studies Zone. People and structures at the project site would not be subject to potential adverse effects associated with a rupture of any known earthquake fault.

a-ii) During a major seismic event, the project site would be subject to strong seismic ground shaking. Consistent with City practices, an engineering analysis along with detailed engineering drawings will be submitted to the Building Services division prior to any excavation, grading or construction activities to ensure that all structures at the site conform with the City of Oakland's seismic safety requirements. Compliance with the provisions of the seismic safety code would reduce potential impacts associated with strong seismic ground shaking to a level of *less than significant*.

a-iii) Seismically induced ground failures, which are secondary seismic effects related to soil, bedrock and groundwater conditions, could occur near buildings or other facilities, resulting in injury to persons and economic loss due to structural damage as a result of differential settlement and liquefaction. Common measures for mitigating these hazards include over excavation and recompaction of foundation soils, densification of site soils or providing a mat or other type of reinforced foundation.

iv) According to the California Department of Conservation, the project site is located in an area susceptible to earthquake induced landslides.

■ **IMPACT 4: Susceptibility to Earthquake Induced Landslides**

The project site is located in an area where previous occurrences of landslide movement, or local topographic, geological, geotechnical and subsurface water conditions indicate a potential for permanent ground displacements resulting from seismic activity.

This represents a *potentially significant impact* to people and physical structures at the project site.

MITIGATION MEASURE 4: Employment of Established Engineering Practices

The California Department of Conservation recommends adherence to California Public Resources Code Section 2693(c) in order to mitigate the potential impact of earthquake induced landslides. The Code defines mitigation as those measures that are consistent with established engineering practices and that will reduce risks associated with seismic activity to acceptable levels.

Implementation of this mitigation measure would reduce the impact of earthquake induced landslides to a *less than significant* level.

b) In order to minimize wind or water erosion on the site during construction, a construction period erosion control plan shall be submitted to the Building Services division for approval prior to the issuance of grading and building permits, consistent with standard City practices. The plan shall be in effect for a period of time sufficient to stabilize the construction site throughout all phases of the project. Furthermore, storm drainage facilities shall be designed to meet applicable regulations. Thus, the proposed project would not result in significant impacts regarding erosion.

c) According to the California Department of Conservation, the project site is located in an area susceptible to liquefaction.

■ **IMPACT 5: Susceptibility to Liquefaction**

The project site is located in an area where historic occurrences of liquefaction, or local geological, geotechnical and groundwater conditions indicate a potential for permanent ground displacements resulting from seismic activity.

This represents a *potentially significant impact* to people and physical structures at the project site.

MITIGATION MEASURE 5: Employment of Established Engineering Practices

The California Department of Conservation recommends adherence to California Public Resources Code Section 2693(c) in order to mitigate the potential impact of liquefaction. The Code defines mitigation as those measures that are consistent with established engineering practices and that will reduce risks associated with seismic activity to acceptable levels.

Implementation of this mitigation measure would reduce the impact of liquefaction to a *less than significant* level.

d) The project site is located in an area composed of expansive soils. The Urban Land-Tierra complex has a slow permeability rate, restricting water penetration. The shrink-swell potential of the sub-soil is high, requiring the use of a sand base under slab-like structures in order to reduce cracking hazards.

e) Because the project site is located in a built-out, urban area, and has been previously developed, the proposed project would be able to connect to the existing sewer system, which provides wastewater collection service for the City of Oakland. Therefore, the project would not result in any significant impacts on soils incapable of adequately supporting septic tanks or alternative wastewater disposal systems, since neither septic tanks or alternative wastewater disposal systems are proposed to serve the project.

	Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
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7. HAZARDS AND HAZARDOUS MATERIALS - Would the project:

a) Create a significant hazard to the public or the environment through the routine transport, use or disposal of hazardous materials?	[]	[]	[]	[✓]
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	[]	[]	[]	[✓]
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	[]	[]	[]	[✓]
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and as a result, would it create a significant hazard to the public or the environment?	[]	[]	[]	[✓]
e) For a project located within an airport land use plan, or where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	[]	[]	[]	[✓]
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	[]	[]	[]	[✓]
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	[]	[]	[]	[✓]
h) Expose people or structures to a significant risk of loss, injury, or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	[]	[]	[]	[✓]

Comments to Questions 7a, b, c, d, e, f, g and h:

- a - d) The project is not located on a site that is included on a hazardous materials site list nor would it create a significant hazard to the public or the environment through the routine transport, use or disposal of hazardous materials or through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. The project would not involve production of hazardous emissions or handling of acutely hazardous materials, substances or waste.
- e) The project site is not located within two miles of a public airport or public use airport, and development of the site as proposed would not result in an aviation-related safety hazard for those using the site.
- f) The project site is not located in the vicinity of any private airstrip, and development of the site as proposed would not result in an aviation-related safety hazard for those using the site.
- g) In evaluating the project as it relates to the City of Oakland's Multi-Hazard Functional Plan ("City Emergency Plan"), the proposed project would not significantly interfere with emergency response plans or evacuation plans. Development of the project site as proposed would not adversely affect the City's response and operational procedures in the event of a large scale disaster or emergency situation.
- h) The project site is located in a built-out, urban area, and is not intermixed with, or located adjacent to, any wildland areas or open land. Any new structures built on the site will be required to comply with all applicable Fire Code provisions. For these reasons, the proposed project would not expose people or structures to significant risks associated with wildland fires.

	Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
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8. HYDROLOGY AND WATER QUALITY – Would the project:

a) Violate any water quality standards or waste discharge requirements?	[]	[]	[✓]	[]
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	[]	[]	[✓]	[]
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	[]	[]	[]	[✓]
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?	[]	[]	[]	[✓]
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	[]	[]	[]	[✓]
f) Otherwise substantially degrade water quality?	[]	[]	[]	[✓]
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	[]	[]	[]	[✓]
h) Place within a 100-year flood hazard area structures which would impede or redirect flood				

flows?	[]	[]	[]	[✓]
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	[]	[]	[]	[✓]
j) Result in inundation by seiche, tsunami, or mudflow?	[]	[]	[]	[✓]

Comments to Questions 8a, b, c, d, e, f, g, h, i and j:

- a) All development proposed at the project site will be required to comply with all applicable regulatory standards pertaining to remediation and to project-related grading and excavation prior to issuance of grading and building permits, consistent with standard City practices. This would reduce potential project-related effects on water quality to a level of *less than significant*.
- b) Although some watering may be required on-site as part of remediation for project-related construction activities (i.e., dust control), this watering is not anticipated to substantially affect the groundwater level. The local groundwater is not considered potable, and is not utilized in the public drinking water supply.
- c) The proposed project would not substantially alter the existing drainage pattern of the site or area, resulting in substantial erosion or siltation on or off site.
- d) The project would not substantially alter the existing drainage pattern of the site or area or substantially increase the rate or amount of surface runoff.
- e) The proposed project would not create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems, nor would it provide substantial additional sources of polluted runoff.
- f) In order to minimize any construction-related or long-term impacts on surface water quality, the project shall be required to comply with applicable standards and regulations, which typically include the following:
 - b) Grading unpaved areas to control surface drainage and redirect surface water away from areas of activity during excavation and construction; and
 - c) Compliance with applicable provisions of the Clean Water Act with regard to the preparation of a storm water discharge plan.

In addition, consistent with current regulations, on-site grading and drainage plans shall be submitted to the Building Services division for review prior to commencement of construction or grading activities on site, to ensure that surface runoff during construction and during day-to-day use of the park is adequately controlled. The proposed project *would not result in significant adverse impacts* with respect to erosion and water quality.

g, h, i) According to the Flood Insurance Rate Map (FIRM) Floodplain Map, the project site is located within Area C, which indicates that the site is neither in a 100-year or 500-year floodplain. The project site is not located near a levee or dam.

j) The project site is not located in an area that would be subject to inundation by seiche or tsunami.

	Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
9. LAND USE AND PLANNING – Would the project:				
a) Physically divide an established community?	[]	[]	[]	[✓]
b) Conflict with applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to, the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	[]	[]	[]	[✓]
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?	[]	[]	[]	[✓]

Comments to Questions 9a, b and c:

- a) The project would acquire two occupied properties. However, since the park is surrounded by residences and through streets on all sides, the project would not physically divide the community.
- b) The General Plan currently designates the project site as “Park and Urban Open Space” and “Mixed Housing Type Residential”. The project would not be in conflict with this General Plan designation. The project as proposed would be consistent with City of Oakland environmental policies, as indicated below:

General Plan Land Use and Transportation Element Policies

Policy N 9.4 - Facilitating Public Events: Public events, such as street fairs and parades, contribute to vibrant neighborhood life. The City should facilitate and support these events and work with area residents and businesses to manage their impacts.

The project’s interpretive park program (see “Recreation” section) as well as other programs held at the facility would be available to the public and would contribute to vibrant neighborhood life in Oakland’s Fruitvale District.

Policy N 9.5 - Marking Significant Sites Identify locations of interest and historic significance by markers, signs, public art, landscape, installations or by other means.

A principal goal of the proposed project is to preserve and enhance what remains of the Peralta Hacienda Historical site (see “Cultural Resources” section).

Policy N 9.6 - Respecting Diversity

The City's diversity in cultures and populations should be respected and built upon.

The proposed project intends to capitalize on the rich history of the project site in a manner that incorporates the site's historical features and informs park users about the site's role in California history during its time under Mexican control as well as during U.S. statehood.

*Policy N 9.7 - Creating Compatible,
Diverse Development*

Diversity in Oakland's built environment should be as valued as the diversity in population. Regulations and permit processes should be geared toward creating compatible and attractive development, rather than "cookie cutter" development.

The Peralta Hacienda Historical Park is a unique City of Oakland facility that reflects the history of the Peralta family and their role in California history. Implementation of the proposed project would allow for creation of attractive elements at the site that would conform to the style and scale of existing structures and uses at the park.

Policy N 9.9 - Respecting Architectural Integrity

The City encourages rehabilitation efforts which respect the architectural integrity of a building's original style.

See comment for Policy N 9.9.

c) The project site is not located in an area which is governed by any habitat conservation plan or natural community conservation plan. Therefore, the proposed project would not conflict with any applicable habitat conservation plan or natural community conservation plan affecting the area.

	Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
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10. MINERAL RESOURCES – Would the project:

- | | | | | |
|--|-----|-----|-----|-------|
| a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? | [] | [] | [] | [✓] |
| b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan? | [] | [] | [] | [✓] |

Comments to Questions 10a and b:

- a) The project site is located in an area which has been previously developed, and that has no known existing mineral resources.
- b) Development of the project site as proposed would not require quarrying, mining, dredging, or extraction of locally important mineral resources on-site, nor would it deplete any mineral resource.

	Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
11. NOISE – Would the project result in:				
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	[]	[]	[]	[✓]
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	[]	[]	[]	[✓]
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	[]	[]	[]	[✓]
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	[]	[✓]	[]	[]
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	[]	[]	[]	[✓]
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	[]	[]	[]	[✓]

Comments to Questions 11a, b, c, d, e and f:

a) The proposed project would presumably attract a larger amount of visitors, including school-aged children on field trips, and would host a more varied schedule of events that could increase noise above current levels. However, this occasional increase would not exceed established City of Oakland standards.

b, c) The proposed project would not be a significant source of ground borne vibration or ground borne noise, nor would it lead to a substantial permanent increase in ambient noise levels.

d) Construction at the project site could result in a temporary increase in existing noise levels.

■ **IMPACT 6: Construction Related Noise**

Construction at the project site could result in a temporary increase in existing noise levels, although these noise levels would not be regarded as severe. This would represent a *potentially significant impact* associated with project development.

MITIGATION MEASURE 6: Limitation of Construction Hours/Noise Abatement

Hours of construction activity shall be 8:00 AM to 6:00 PM Monday through Friday. There shall be no start-up of machines or equipment, no delivery of materials or equipment and no cleaning of machines or equipment before or after the hours of operation. There shall be no construction, grading or deliveries of materials or equipment on weekends, except for the work necessary for emergency work which must be performed immediately to preserve the public safety, health and welfare. With reasonable construction practices (muffling and properly maintaining construction equipment used at the project site, etc.), this impact would be reduced to a level of *less than significant*.

e) The project site is not located within two miles of a public airport or public use airport, and the development of the project site as proposed would not result in significant noise impacts with respect to this airport proximity perspective.

f) The project site is not located within two miles of a private airstrip, and the development of the project site as proposed would not result in significant noise impacts with respect to this airstrip proximity perspective.

	Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
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12. POPULATION AND HOUSING - Would the project:

a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments to Questions 12a, b and c:

a) The project does not propose new houses or businesses, nor would it any extend roads. The project would involve utility work associated with the community center to provide new electrical service to 2496 Coolidge Avenue, as well as fire protection, plumbing, heating, ventilating and air conditioning. Other site utilities, to be detailed during the construction documents phase, include area drains and modification to the existing underground sewer. None of these infrastructure activities would induce population growth in the area.

b and c) Two occupied houses currently exist at 2520 and 2528 Coolidge Avenue that would be acquired and torn down as part of the project. The City of Oakland is currently negotiating acquisition and relocation costs with the property owners. Though the project would displace two housing units and their occupants, this is not viewed as placing a substantial burden on the City's housing market.

Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
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13. PUBLIC SERVICES

Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, or the need for new or physically altered governmental facilities, the construction of which would cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for any of the following public services:

a) Fire protection?	[]	[]	[]	[✓]
b) Police protection?	[]	[]	[]	[✓]
c) Schools?	[]	[]	[]	[✓]
d) Parks?	[]	[]	[]	[✓]
e) Other public facilities?	[]	[]	[]	[✓]

Comments to Questions 13a, b, c, d and e:

a) The project site is located in an urban area which is already served by the Oakland Fire Department. The Community Services Analysis prepared for the Land Use & Transportation Element of the General Plan stated that future in-fill development through the General Plan horizon year of 2015 would not be likely to impose a burden on existing public services. In accordance with standard City practices, the Fire Services division will review the project plans at the time of building permit issuance to ensure that adequate fire and life safety measures are designed into the project.

b) The project site is located in an urban area which is already served by the Oakland Police Department. The Community Services Analysis prepared for the Land Use & Transportation Element of the General Plan stated that future in-fill development through the General Plan horizon year of 2015 would not be likely to impose a burden on existing public services.

c) The project would not induce population growth and therefore would not increase demand for local school services, nor would it require the construction of new school facilities. Project implementation would be a *beneficial impact* for the local school system, in that the park's programs would be useful to school children during field trips as well as extra-curricular visits.

d) The project site is located in the Fruitvale area of Oakland, which has the highest amount of school children and the lowest amount of park and open space acreage in the City. The project would have a *beneficial impact* on recreational facilities.

e) The project would not have an impact on any other public facilities.

	Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
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14. RECREATION – Would the project:

a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

[] [] [] [✓]

b) Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

[] [] [] [✓]

Comments to Questions 14a and b:

a and b) An important goal of the proposed project is to preserve and enhance features of the existing Peralta Hacienda Historical Park in order to provide a better recreational setting for residents of Oakland and its surrounding communities. A park interpretive plan and other park programs would be implemented as part of the project. A regular interpretive schedule would include guided tours for neighbors and outside visitors of the entire site or focused areas such as the Peralta House or Peralta Creek. There would also be regular school field trips and special activities including gardening, cooking, adobe-making, arts, rancho crafts, document research, archaeological classifying, genealogy, bike trips and walking.

The project site is located in the Fruitvale area of Oakland, which has the highest amount of school children and the lowest amount of park and open space acreage in the City. The project would have a *beneficial impact* on recreational facilities.

	Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
15. TRANSPORTATION/TRAFFIC – Would the project:				
a) Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?	[]	[]	[✓]	[]
b) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways?	[]	[]	[✓]	[]
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	[]	[]	[]	[✓]
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	[]	[]	[]	[✓]
e) Result in inadequate emergency access?	[]	[]	[]	[✓]
f) Result in inadequate parking capacity?	[]	[]	[]	[✓]
g) Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?	[]	[]	[]	[✓]

Comments to Questions 15a, b, c, d, e, f and g:

a and b) It is expected that the project would make Peralta Park a more attractive place to visit, resulting in more trips to the site. However, most people who currently visit the park usually travel on foot. Any increase in automobile traffic around the park resulting from project implementation would not exceed any level of service standards and is expected to be less than significant.

c and d) The project would have no impact on air traffic patterns, nor would it increase hazards due to design

features such as sharp curves, dangerous intersections or incompatible uses.

e) Adequate emergency access is provided at the site.

f) The project would not lead to inadequate parking capacity on or off-site, since most visitors to the park access the site on foot. Furthermore, there is sufficient parking in the area around the park to accommodate visitors arriving in automobiles.

g) The project would not conflict with any adopted policies, plans or programs supporting alternative transportation.

Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
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16: UTILITIES AND SERVICE SYSTEMS – Would the project:

a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	[]	[]	[]	[✓]
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	[]	[]	[]	[✓]
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	[]	[]	[✓]	[]
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	[]	[]	[✓]	[]
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	[]	[]	[✓]	[]
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	[]	[]	[✓]	[]
g) Comply with federal, state, and local statutes and regulations related to solid waste?	[]	[]	[]	[✓]

Comments to Questions 16a, b, c, d, e, f and g:

- a) The project would not exceed wastewater treatment requirements of the Regional Water Quality Control Board.
- b) The project would not result in the construction of new water or wastewater treatment facilities nor would it require expansion of existing facilities.

- c) The project would require relocation of an existing utility line outside the park, estimated at \$100,000 in September 2000. Other site utilities, to be detailed during the construction documents phase, include area drains, modifications to existing underground sewer and modification and additions to the existing irrigation system. These activities would represent a *less than significant impact*.
- d) It is not expected that water demand at the project site would require new or expanded entitlements. Existing entitlements and resources are sufficient to meet the project's needs.
- e) The waste water treatment provider for the project site would be the East Bay Municipal Utility District. There is sufficient waste water treatment facility capacity to serve the project site.
- f) There is sufficient landfill capacity to serve the project site.
- g) The project would comply with federal, state and local statutes and regulations related to solid waste.

	Potentially Significant Impact	Less Than Significant w/ Mitigation	Less Than Significant Impact	No Impact
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17. MANDATORY FINDINGS OF SIGNIFICANCE

a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	[]	[]	[]	[✓]
b) Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)	[]	[]	[]	[✓]
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	[]	[]	[]	[✓]

Comments to Questions 17a, b and c:

a) The project as proposed does not have the potential to significantly degrade the quality of the environment, nor would it reduce the habitat of any fish or wildlife species, causing it to drop below sustaining levels. It would not threaten to eliminate any plant or animal community and would not reduce the number or restrict the range of any rare or endangered plant or animal.

The project would have a *beneficial impact* on important examples of California history, in that it would preserve and enhance remnants of material culture left by Native Americans and the Peralta family, who previously occupied the site.

b) The proposed project would not significantly add to the existing level of development in what is already a highly urbanized area. It does not involve impact which are individually limited but cumulatively considerable, because the project will incorporate project specific mitigation measures to avoid potentially significant impacts which may be associated with the proposed project.

c) The proposed project would not cause any substantial adverse environmental effects on human beings either directly or indirectly. All potentially adverse environmental impacts that may be associated with the proposed project will be mitigated to a level that is less than significant through implementation of the mitigation measures identified in this Mitigated Negative Declaration.

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APPENDIX A

LIST OF MITIGATION MEASURES

■ IMPACT 1: Nighttime Lighting Impact on Sensitive Receptors

The project would involve the augmentation of existing site lighting in the historic core to create a well-lighted area suitable for evening activities, possibly directing excessive amounts of light toward nearby residences. This would be a *potentially significant impact* of the project.

MITIGATION MEASURE 1: Careful Placement of Lighting Sources

All new lighting shall be shielded or hooded to avoid glare and be directed onto the project site and away from sensitive receptors such as nearby residences. Implementation of this mitigation measure would reduce the impact of nighttime lighting to a level of *less than significant*.

■ IMPACT 2: Construction-Related Air Pollution

Grading, earthmoving and construction activities at the project site would be expected to create dust and exhaust from construction equipment, which could have a potentially significant impact on local air quality and might result in exposure of sensitive receptors to air pollutants temporarily during the construction period. This would represent a *potentially significant environmental impact* associated with project development.

MITIGATION MEASURE 2: Dust Suppression Measures

Spillage resulting from hauling operations along or across any public or private property shall be removed immediately and paid for by the contractor. Dust nuisances originating from the contractor's operations shall be controlled at the contractor's expense. The implementation of conventional dust suppression measures such as watering exposed soil surfaces as necessary, covering stockpiles of debris, the routine sweeping of the

construction area and adjacent streets, and the suspension of grading and other earthmoving activities during high winds would reduce the potential impact to a level of *less than significant*.

■ **IMPACT 3: Potential Adverse Change to Historical/Archaeological Resources**

Construction related activities undertaken during implementation of the proposed project could result in inadvertent damage to historical/archaeological resources such as the brick-lined well and artifact-filled barro pit as well as other unknown but potentially present cultural resources. This would be a *significant impact* of the project.

MITIGATION MEASURE 3: Monitoring, Testing and Protection of Sensitive Areas

The proposed Park Master Plan has incorporated measures to ensure that it will have no negative impacts on the properties eligible for the California Register. These are:

Archaeological Testing of Sensitive Areas. Areas of the Peralta Hacienda Park where historic ground levels still remain intact will be mechanically scraped to reveal any important features, particularly those related to the Peralta Rancho. Additional artifact deposits, similar to Feature 1, as well as undocumented structures or activity areas may be located in the proximity of the Rancho headquarters (a neighbor reported what appear to be bones from Rancho period cattle butchering in his lot about 1.5 blocks away from the project site). Although Rancho sites rarely contain privies - a common source of artifact deposits - the Peralta adobe was occupied well into the American period when these facilities became universal. It is possible that privy features may be present in this area.

Foothill Resources Ltd.'s Test Area TA-1 describes two currently vacant lots, northern-most of the Coolidge Avenue frontage; TA-2 denotes Lots 2520 and 2528, where dwellings and outbuildings currently stand; TA-3 includes the backyard of 2496 Coolidge, presently covered by a garage and wooden deck, and the rear of the 1870 Peralta home. Prior to scraping, all lots will be prepared by removing buildings, structures and substantial vegetation. This clearing will be done carefully, without disturbing sub-surface soils. Building footings will remain in place, along with concrete slabs, basements, utility lines and other buried features. Trees and large shrubs will be cut off one to two feet above ground level, with their root systems left intact. During demolition and clearing, only rubber-tired vehicles will be allowed on the ground surface.

Scraping with a backhoe bucket blade, archaeologists will systematically remove soils to a depth of two to three feet. All located features will be mapped and described. Soils removed through scraping will be spread back over the site when testing is completed. The results of this phase of testing will be summarized in a report following standards put forth by the Office of Historic Preservation.

Given the likelihood that prehistoric cultural resources, as well as pre-1945 historic archaeological deposits, could exist on the project site, it is recommended that an archaeologist be retained during site grading. Once construction commences, intermittent monitoring or examination of the area should occur as frequently as necessary and at the discretion of the Principal Archaeologist, to ensure that intact cultural deposits are addressed if encountered. If the archaeologist can coordinate with construction to have input into scheduling, it is possible to keep the archaeological work to a minimum and yet retain some confidence that cultural resource impacts would be mitigated.

It is also standard practice as part of the environmental review process, especially in light of the possible proximity of prehistoric resources, to make contact with the Native American Heritage Commission in Sacramento to 1) have them check their "Sacred Lands File" for any resources in or near the area, and 2) to provide a list of interested local Native American entities should the City of Oakland decide to obtain their comments or observations on the proposed project.

Should any previously undiscovered historic or prehistoric resources be found during construction, work shall stop, in accordance with CEQA regulations, until such time that the resource can be evaluated and appropriate mitigative action taken as determined necessary by the City of Oakland.

Project Construction Monitoring. During park design construction, any earthmoving activities in the vicinity of Features 1 and 2 shall be done with the utmost care. Prior to the beginning of construction activity, both features shall be fenced off to protect them from impacts from heavy machinery. Construction of design elements within the features' protective zones should occur within the presence of an archaeological monitor. This monitor should be on-site during activities that disturb soils to a depth greater than two feet within the boundaries of Site P-01-002244. Although every effort has been made to identify archaeological resources, there is always the possibility that deeply buried, intact features (such as Feature 1) have survived.

Protection of Archaeological Remains. The two legally important archaeological features identified at the site are the barro pit (Feature 1) and the well (Feature 2). These will be preserved through Protective Zones and through controlled landscape planting.

Protective Zones. Protective Zones describe a “no impact” area of about two feet above and on all sides around sensitive features that will be filled with sterile soils. The Park Master Plan Update ensures that graded surfaces, wall and structure footings, utilities and all other park construction will not extend into these protective zones. The ideal preservation of buried archaeological features is under a paved surface.

Feature 1, with an elevation of 123.3 feet, has a Protective Zone elevation of 125.3 feet. This zone extends immediately over the remains and within a Protective Zone of five feet on all sides. Feature 2, closer to the surface with an elevation of 123.7 feet, will require sterile fill to be added to the top of this feature to bring it to 125.7 feet. Horizontally, the Zone describes a two foot radius from the feature edges.

Landscape Planting. Plantings have been eliminated from all Protective Zones. Plantings have also been eliminated from areas surrounding Protective Zones where roots might reach archaeological remains. Large plants, such as trees, are excluded from a greater distance around features than small plants, such as shrubs. Watering has also been eliminated from areas around Protective Zones as preservation of archaeological remains, particularly the bones of Feature 1, is enhanced by maintenance of a dry environment.

Preservation of Barro Pit. A protective zone shall be established around the barro pit, in order to prevent it from being disturbed. The pit shall be covered with a layer of sterile soil and protective paving, or other material to be approved. In order to avoid impact to the pit, the adobe making area proposed for the site as well as irrigation-dependent landscaping shall be located at least 15 feet away from it to preclude moisture seepage.

Three Houses Facing Coolidge Avenue. Three houses extant on Coolidge Avenue will be evaluated for their eligibility for the California Register following procedures established by the State Office of Historic Preservation. The house at

2528 Coolidge and the four-plex at 3300 Paxton are planned to be demolished. The house at 2496 Coolidge will be renovated for use as part of a Community Center. Any ground disturbing construction or landscaping around the building should be accompanied by a testing plan or archaeological monitoring.

When taken together, these mitigation measures would reduce the project's potential impacts to cultural resources to a level of *less than significant*.

■ **IMPACT 4: Susceptibility to Earthquake Induced Landslides**

The project site is located in an area where previous occurrences of landslide movement, or local topographic, geological, geotechnical and subsurface water conditions indicate a potential for permanent ground displacements resulting from seismic activity.

This represents a *potentially significant impact* to people and physical structures at the project site.

MITIGATION MEASURE 4: Employment of Established Engineering Practices

The California Department of Conservation recommends adherence to California Public Resources Code Section 2693(c) in order to mitigate the potential impact of earthquake induced landslides. The Code defines mitigation as those measures that are consistent with established engineering practices and that will reduce risks associated with seismic activity to acceptable levels.

Implementation of this mitigation measure would reduce the impact of earthquake induced landslides to a *less than significant* level.

■ **IMPACT 5: Susceptibility to Liquefaction**

The project site is located in an area where historic occurrences of liquefaction, or local geological, geotechnical and groundwater conditions indicate a potential for permanent ground displacements resulting from seismic activity.

This represents a *potentially significant impact* to people and physical structures at the project site.

MITIGATION MEASURE 5: Employment of Established Engineering Practices

The California Department of Conservation recommends adherence to California Public Resources Code Section 2693(c) in order to mitigate the potential impact of liquefaction. The Code defines mitigation as those measures that are consistent with established engineering practices and that will reduce risks associated with seismic activity to acceptable levels.

Implementation of this mitigation measure would reduce the impact of liquefaction to a *less than significant* level.

■ **IMPACT 6: Construction Related Noise**

Construction at the project site could result in a temporary increase in existing noise levels, although these noise levels would not be regarded as severe. This would represent a *potentially significant impact* associated with project development.

MITIGATION MEASURE 6: Limitation of Construction Hours/Noise Abatement

Hours of construction activity shall be 8:00 AM to 6:00 PM Monday through Friday. There shall be no start-up of machines or equipment, no delivery of materials or equipment and no cleaning of machines or equipment before or after the hours of operation. There shall be no construction, grading or deliveries of materials or equipment on weekends, except for the work necessary for emergency work which must be performed immediately to preserve the public safety, health and welfare. With reasonable construction practices (muffling and properly maintaining construction equipment used at the project site, etc.), this impact would be reduced to a level of *less than significant*.

CITY OF OAKLAND



DALZIEL BUILDING • 250 FRANK H. OGAWA PLAZA • SUITE 3315 • OAKLAND, CALIFORNIA 94612

Planning and Building Department
Bureau of Planning

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TDD (510) 238-3254

August 20, 2020

Aubra Levine
The Unity Council
1900 Fruitvale Avenue, Suite 2A
Oakland, CA 94601

RE: Case File ERX19001; 2465 34th Avenue; APN: 027 087800200
CEQA Determination for the Peralta Hacienda Historical Park Phase 4B Master Plan Implementation

Dear Ms. Levine,

This letter is in response to your request for a CEQA Exemption determination for implementation of Phase 4b of the 2002 Peralta Hacienda Historical Park Master Plan Update. Bureau of Planning staff reviewed the proposed scope of work (dated/ revised 9/5/2018, 3/26/2019, and 11/22/2019) which was submitted as part of the building permit plan set. This proposed work is primarily concentrated in the historic core area of the park and includes reconstruction and expansion of an existing stage, construction of a new pavilion to house a series of rotating display boards (“Urban Book”) and stage storage rooms, approximately 890 square feet of new landscaping, and replacement/installation of concrete paving in project area. The expansion of electrical and plumbing utilities to this portion of the site is also proposed.

The Peralta Hacienda Historical Park (Park) is a designated City of Oakland Landmark (LM75211 and LM02159). As such, per Section 17.136.070 of the Planning Code, special design review findings must be met to ensure that the improvements are compatible and will not adversely affect the historic character of the resource. Specifically, Section 17.136.070.B: Design Review for Construction or Alteration states:

Except for projects that are exempt from design review as set forth in Section 17.136.025, no Building Facility, Telecommunications Facility, Sign, or other associated structure on any designated landmark site shall be constructed or established, or altered in such a manner as to affect exterior appearances unless plans for the proposal have been approved pursuant to the design review procedure in this Chapter and the applicable provisions of this Section. Furthermore, for a publically owned landmark, the designating ordinance may require such approval of proposed changes to major interior architectural features.

In 2002, stewards of the Park submitted a request (Case File CM02160) to the Bureau of Planning to update the Master Plan. The Master Plan update included the following desired changes: demolition of a single family home, a four-plex, and a building located within the park used as a volunteer center; construction of indoor and outdoor community gathering and activity spaces, recreational areas, and exhibits; landscape and creek improvements; new lighting; and access improvements from the upper to the lower park, additional parking and a bus loading area. Staff analyzed these improvements and the possible effects on historic and archeological resources pursuant to the California Environmental Quality Act (CEQA) in an Initial Study and Mitigated Negative Declaration (ISMND) (Case File ER02008). The ISMND was adopted and the Master Plan approved by the Planning Commission on November 20, 2002.

Since then Park stewards have requested several revisions to the 2002 Master Plan Update including in 2008, 2010 and in

2017. These revisions also included an environmental analysis of the improvements.

The elements included in current project, Phase 4B, are described in the 2002 Master Plan under the headings *Adobe Wall and Stage* and *Ramada and "Urban Book"*. As shown in the submitted materials, the existing stage reflects the approximate size and placement of the stage represented in the Master Plan. The proposed stage would be rebuilt to a larger footprint under the current project. The area proposed for the new pavilion covers the presumed location of the 1840 adobe archaeological site. The Master Plan calls for construction of a "trellis with vines" over this site. The proposed project would construct a more substantial structure, with footings, a concrete slab, raised floor, roof, utilities, and elements that could potentially enclose the structure.

After review of the 2002 Master Plan Update, 2002 ISMND for the Master Plan Update, and documents submitted for review for a CEQA Exemption Determination for Phase 4B, we find that the proposed project **does not** qualify for a CEQA exemption for the following reasons:

1. The proposed project varies significantly in scope and complexity from that described in the 2002 Master Plan Update.

- a. In the 2002 Master Plan Update, this area is shown as "En Ramada" and "Urban Book." The "ramada" is described as a trellis with vines for shade. The "urban book" is described as a series of vertical display boards with hinged moving panels. These display boards are illustrated in a concentrated cluster with each panel approximately six feet wide and eight feet tall. Illustrations in the 2002 Master Plan show this area as open with views through it to other areas of the park.

There is currently a low concrete retaining wall outlining the presumed 1840 Adobe site. The 2002 Master Plan Update describes this area as "concrete curbs filled with decomposed granite" and it is meant to mark the "presumed location" of the 1840 adobe. On the current submitted architectural drawings this area is called out as a raised planter.

- b. The proposed project includes construction of a pavilion within the historic core, on the presumed site of the 1840 adobe. This structure includes a reinforced concrete grade beam foundation between 36-inch square, 36-inch deep concrete footings, a raised wood deck floor on top of a 5-inch thick concrete slab, single-ply membrane roof, extensive interior lighting, as well as secure storage rooms complete with electrical and plumbing connections. The rotating displays are located at the edges of the pavilion (as opposed to grouped in the center as shown on the 2002 Master Plan Update). If positioned as shown, they would in effect form walls to fully enclose the structure, making it more akin to a one-story building than an open-air pavilion. Furthermore, in discussions with the applicant, the intent to allow for the building to be enclosed and used for sheltered events a couple of times per year. This is not consistent with the trellis and vine covering or the purpose of the structure proposed in the 2002 Master Plan Update.

2. The proposed paving materials and locations are not consistent with the 2002 Master Plan Update.

- a. In the 2002 Master Plan Update, the historic core is covered in a variety of surfaces. The paving palette was chosen to "include materials used by the different cultures that inhabited this land in the last centuries. The overlapping of natural, textured, and smooth materials, enriches the spatial composition of the park, and highlights the concept of 'layering' earth to reflect history."

The current plan shows a portion of the 1840 adobe site capped with a polished slab of integral color concrete. To the south, the existing site is paved with "red crushed stone with binder." It appears that this is the predominant surface on the north and west sides of the adobe site as well, with small areas covered with pavers in a variety of materials (stone unit "cantera" pavers, integral color polished concrete, blue Mexican glazed tile for a pool feature in the northeast corner of the historic core.) Generally, walking surfaces in the historic core are shown as covered with permeable materials more akin to what would be found around a 19th century dwelling. Throughout the park, the 2002 Master Plan shows limited use of non-permeable surfaces (including concrete).

- b. The proposed project includes installation of concrete paving over the majority of the historic core area. Only the area between the proposed pavilion and the expanded stage is covered with permeable materials (decomposed granite). The limited use of concrete in the 2002 Master Plan was a specific design approach. Apart from modern sidewalks concrete was used to highlight specific uses and areas of the park. The creation of an extensive area of concrete is out of character with the 2002 Master Plan. It also necessitates greater ground preparation, including excavation and grading, within an area of known archaeological sensitivity.
3. The majority of proposed construction, including subsurface work for foundations and utilities, is on the presumed site of the 1840 adobe. This is potentially the oldest non-native dwelling in the City of Oakland and represents a highly important archaeological site. The site has been subjected to various archaeological studies between 1978 and 2000. These studies looked at both the larger park site as well as areas of known deposits (the Barrow Pit and Well). None was able to locate remains of either the 1821 or the 1840 adobe. Currently there is a concrete retaining wall outlining the site, called out as a planting area on the submitted plans. As proposed, the project has potential to encounter archeological materials.
4. The CEQA Guidelines include exceptions to use of an Exemption. One of these exceptions is “(f) Historical Resources. A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.” As noted above, the site is historic resource. The correct process is a review of the plans and Addendum findings which note that the project, as proposed, is consistent with the analysis and Mitigation Measures in the 2002 ISMND. Specifically, Section 15164 of the CEQA Guidelines states: “(a) The lead agency or responsible agency shall prepare an addendum to a previously certified MND if some changes or additions are necessary but none of the conditions described in Section 15162 calling for preparation of a subsequent MND have occurred.”

That said, staff also reviewed the proposal for consistency with the Master Plan Update, which has taken place through various phased projects. A review of the existing documentation indicates that many aspects of these projects were altered slightly between the dates of their approval by the City of Oakland and the completion of implementation. These changes include a reduction in the Native Plant Garden, change to the surface material of the historic core, addition of toilets, roof on the 1821 adobe structure, and furnishings. It is unclear how significantly these differ from the 2002 Master Plan Update, the effects of these changes on the character of the site, and how they were approved. Limited review suggests that the project documentation on file (plans, staff reports, permits, etc.) do not accurately reflect what was ultimately constructed on the site. Furthermore, there is inconsistency between the proposal and the 2002 Master Plan Update in terms, of intent/purpose of the structure, location and size of the “Urban Book” panels, surface materials, roofing materials, flooring, footings/foundations, awning structure, storage, and plumbing as detailed above. Given the age of the 2002 Master Plan Update and its prior CEQA review, the City of Oakland requires a revision to the Master Plan be submitted pursuant to Section 17.11.060, 17.135.030, 17.135.040 and possibly 17.135.050A which documents exactly the changes that were implemented as well as to consider the current proposed changes. Review of these new documents would then provide a reasonable baseline for project review moving forward or a modified proposed project that meets the 2002 Master Plan Update document.

In summary, the proposed project is not eligible for CEQA determination of exemption, and per the Planning Code, the changes require additional permitting and review.

If you, or any interested party, seeks to challenge this decision, an appeal **must** be filed by no later than ten (10) calendar days from the date of this letter, by **4:00 p.m. on August 31, 2020**. An appeal shall be on a form provided by the Bureau of Planning of the Planning and Building Department, and submitted via email to: (1) **Heather Klein, Planner IV**, hklein@oaklandca.gov, (2) **Robert Merkamp, Zoning Manager**, at Rmerkamp@oaklandca.gov, and (3) Catherine Payne, Development Planning Manager, at Cpayne@oaklandca.gov. The appeal form is available online at <https://www.oaklandca.gov/documents/appeal-application-form>. The appeal shall state specifically wherein it is claimed there was error or abuse of discretion by the Zoning Manager or decision-making body or wherein the decision is not supported by substantial evidence. Applicable appeal fees in the amount of **\$2,404.01** in accordance with the City of Oakland Master Fee Schedule must be paid within five (5) business days of filing the appeal. Failure to timely appeal (or to timely pay all appeal fees) will preclude you, or any interested party, from challenging the City’s

decision in court. The appeal itself must raise each and every issue that is contested, along with all the arguments and evidence in the record which supports the basis of the appeal; failure to do so may preclude you, or any interested party, from raising such issues during the appeal and/or in court. However, the appeal will be limited to issues and/or evidence presented to the Zoning Manager prior to the close of the previously noticed public comment period on the matter. For further information, see the attached Interim City Administrator Emergency Order No. 3 and Interim Procedures for Appeals of City Planning Bureau Decisions for Development Projects.

If you have further questions regarding this matter, please contact Heather Klein, Planner IV at (510) 238-3659 or hklein@oaklandca.gov or Becky Urbano at (BUrbano@esassoc.com).

Sincerely,



Robert D. Merkamp
Zoning Manager

Attachments:

Interim City Administrator Emergency Order No. 3 and Interim Procedures for Appeals of City Planning Bureau Decisions for Development Projects

cc:

Becky Urbano, ESA, BUrbano@esassoc.com

Betty Marvin, Historic Preservation Planner, OCHS, bmarvin@oaklandca.gov

Lily Soo Hoo, Public Works Division, lsoohoo@oaklandca.gov

Holly Alonso, Executive Director, Peralta Hacienda Historic Park, hollyalonso@earthlink.net

Comparison of Peralta Hacienda Historical Plan Original Master Plan (Dec 2002) and Revised Master Plan (Dec 2021)

Revised Master Plan December 2021	Original Master Plan December 2002	Current Status	Revision from Original Plan, if applicable
1. Elements are completed and installed per the 2002 Master Plan. Revisions from the original plan noted below.			
Adobe Wall Niches	Adobe Wall Niches	Completed (Phase III.A)	
1821 Adobe Site Pavilion	1821 Wall Ruin	Completed (Phase IV.A). Traditional adobe wall ruins to be reconstructed in future phases (Not prioritized)	Roof approved rather than trellis for protection of future adobe wall ruin
Peralta House Museum	Peralta House Museum	Completed in 2001	
Peralta Family Barro Pit and Well	Peralta Family Barro Pit and Well	Paving over Archeological Deposit installed as protective cover (Phase III.A) See below for proposed work in future phases.	
Orchard	Orchard	Completed (Phase III.A and III.C)	
Multipurpose Community Room patio, restrooms (aka Center for History and Community)	Multipurpose Community Room and patio, restrooms	Completed (Phase III.B)	Updated footprint on the illustrative diagram matches as-built structure
Perpendicular Parking	Perpendicular Parking	Completed	
N/A	Tot Lot (1 to 5 years old)	Removed from plan.	
Playground and coreten street Art Wall	Playground and coreten steal Art Wall	Completed (Phase III.A). See below for proposed work in future phases.	
Adobe Making Area and Oven	Adobe Making Area and Oven	Complete (Phase IV.A)	Oven built in different place than originally proposed. Revised plan shows as-built location.
Stairway Connection towards Creek Area	Stairway Connection towards Creek Area	Completed (Phase III.C)	
Interpretive Ramp	Interpretive Ramp	Completed (Phase III.C)	
Outdoor amphitheater	Outdoor amphitheater	Completed (Phase III.C). See below for proposed work in future phases.	
Creek Restroom	Built prior to 2002 Plan	Completed prior to 2002 plan. Renovations anticipated for future phases (Priority 2 #17)	
Interpretive Signage for Main entry, Native Plant	Interpretative Plan and Park Programs (Section 6)	Completed (Phase III.A)	

Garden, etc., and Community Notice Board			
Decorative iron and stucco fencing throughout park	Fencing picket fence to enclose gardens community house and Peralta House	Decorative iron fence installed around playground (Phase III.A)	
Lawn and Native CA gardens	Lawn and Native CA gardens	Completed (Phase III.A)	
2. Elements prioritize for construction in current phase or near future. Proposed revisions from original plan noted below.			
Community Assembly Structure	Enramada (aka "Ramada") and "Urban Book" (aka "Museum without Walls")	Prop 68 grant scope (Phase IV.B #01)	Wood pergola changed to Steel Structure per City requirement on previous phases. "Urban book" panels moved to outer edges of pavilion.
Decorative iron and stucco fencing throughout park	Fencing picket fence to enclose gardens community house and Peralta House	Decorative iron and stucco fencing to be installed around Historic Core, Youth Education Center, and Multiuse Field (Phase IV.B #01, #02, #04) Fencing around garden areas (Priority 1 #06)	Three additional types of fencing are included in the plan (refer to SD set for fence types F1 to F4) to respond to specific park security and privacy needs.
Ethnobotanical Historical Garden and Victorian Garden	Ethnobotanical Historical Garden and Victorian Garden	Future phases (Priority 1 #06)	
Community Family Gardens	Community Family Gardens	Future Phases (Priority 1 #06B)	Improvement to the existing Lu Mien community garden, which was built in a different location from what is shown on the 2002 Master Plan.
Lawn and Native CA gardens	Lawn and Native CA gardens	Refurbish plantings, lighting, and fencing (Phase IV.B #04)	
Water Feature	Water Feature	Prop 68 grant scope (Phase IV.B #03)	Blue tiles will provide figurative interpretation of water element
Community Banquet Table	Community table and planting	Prop 68 grant scope (Phase IV.B #03)	Reconfigured to ADA accessibility code
Lighting	Lighting Concept (Section 5.7)	Prop 68 grant scope (Phase IV.B #05)	
Public art	Interpretative Plan and Park Programs (Section 6)	Future phases (Priority 1 #07)	Additional location along allee proposed
Youth Activity Center (aka Coolidge House)	Not included in 2002 Plan	Prop 68 grant scope (Phase IV.B #02)	Interior remodel and addition of 3 storage sheds

Stage Area Shade Structure	Not included in 2002 Plan	Future phases (Priority 1 #08)	Canvas and wire adjustable awning over audience area
3. Elements prioritize for construction in future phases. Timeline unknown. Proposed revisions from original plan noted below.			
Potting Shed	Not included in 2002 Plan	Future phases (Priority 2 #09)	
Restroom near Historic Core	Not included in 2002 Plan	Future phases (Priority 2 #11)	
Streetscape Planting and Improvements	Not included in 2002 Plan	Future planning (Priority 2 #22)	
Peralta Family Barro Pit	Peralta Family Barro Pit	Plans to uncover Pit and create viewing area/pavilion part of future phases (Priority 2 #14)	Expanded educational program in creating reveal and create viewing area/pavilion. Interpretive plaque to mark Well location. This is shown in sheet L1.3 of SD set, and in detail 03/L8.5.
Playground	Playground	Request to upgrade and modernize equipment in future phases (Priority 2 #12)	Improve/modernize the existing playground off of 34 th Ave. Details will be proposed following additional community outreach.
Creek Interpretation and Improvements	Stairway Connection towards Creek Area; expanded programming not anticipated in original plan	Ecological interpretation, Native American Display, Native Gardens, Water-Mediation Area, Picnic Area, and Overlook Platform proposed for future phases (Priority 2 #15, 16, 18-21, 23)	
Park Gateway (vehicular cul-de-sac)	East Entrance	Future phases (Priority 2 #13)	
Creek Restroom	Built prior to 2002 Plan	Renovations anticipated for future phases (Priority 2 #17)	Add storage and teacher's room
Outdoor amphitheater	Outdoor amphitheater	Future phases (Not prioritized)	Additional seating required to meet current needs