ATTACHMENT B:

Proposed 98th and San Leandro PUD/PDP and Design Guidelines, dated October 30, 2020

98TH / SAN LEANDRO PRELIMINARY DEVELOPMENT PLAN

TABLE OF CONTENTS

PROJECT DIRECTORY

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98TH AVENUE | PUD/PDP APPLICATION PACKAGE

OAKLAND, CA | 10/30/2020

Date	Revision	
12/11/2018	Planning Submission	(All Sets)
6/12/2019	Planning Resubmission	(PDP/VTTM only)
8/26/2019	Planning Resubmission	(PDP only for DRC)
1/23/2020	Planning Resubmission	(All Sets)
5/26/2020	Planning Resubmission	(All Sets)

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UNIT & PARKING SUMMARY BY PARCEL	TOTALS	PARCEL A	PARCEL B	PARCEL C	PARCEL D	PARCEL E	PARCEL F	PARCEL G	PARCEL H	PARCEL J	PARCEL K
Parcel Size (sf)	**368,831**	**70,109**	**51,932**	**35,481**	**39,086**	**57,468**	**51,968**	**30,116**	**17,580**	**10,792**	**4,299**
Parcel Size (ac)	8.47	1.61	1.19	0.82	0.90	1.32	1.19	0.69	0.40	0.25	0.10
Building Footprint	225,189	47,807	39,771	20,087	30,114	38,016	33,025	16,368			
Work / Live units	9	9	0	0	0	0	0	0			
Live / Work units	7	7	0	0	0	0	0	0			
Apartments	270	90	86	34	60	0	0	0			
Townhouses	122	0	0	0	0	48	48	26			
Total Units	**408**	**106**	**86**	**34**	**60**	**48**	**48**	**26**			
Car Parking Spaces	**517**	106	77	36	54	96	96	52			
Parking Ratio (spaces/unit)		1.00	0.90	1.06	0.90	2.00	2.00	2.00			

PROJECT SUMMARY		
Total Area Summary	EXISTING	PROPOSED
Site Area	9.67 acres	8.47 acres
	420,907 sf	346,952 sf
Public Row Area	0.49 acres	1.69 acres
	21,647 sf	73,723 sf
TOTAL	10.16 acres	10.16 acres
	442,554 sf	420,675 sf
DENSITY CALCS (excluding Parcel H & K)		
Site Area *(excluding Parcel H & K in acres)*		7.97
Site Area *(excluding Parcel H & K in sf)*		346,952 sf
Max FAR for HBX-1		1.75
Max Allowable Floor Area *(Site Area * Max FAR)*		607,166 sf
Less Work/Live + Commercial Area		-14,156 sf
Residential Site Area		593,010 sf
Residential Capacity		97.67%
Max Allowable Density **per HBX-1: 1 unit/1000 sf of site area*		1,000 sf
Max Allowable Units *(Residential Site Area / 1000sf)*		**346 units**
Net Allowable Units *(per Residential Capacity)*		**338 units**
Max Allowable Units (with 25% PUD Bonus)		**423 units**
	MAXIMUM	PROPOSED
Density (*not including W/L units)	423 apt. units	399 apt. units
Density Units/Acre	53.1 du/a	50.1 du/a
FLOOR AREA RATIO		
Overall FAR (*without bldg. parking) HBX-1= 1.75 + 25% PUD bonus	2.19	1.72
Parcel A		2.00
Parcel B		2.26
Parcel C		1.36
Parcel D		2.01
Parcel E		1.63
Parcel F		1.52
Parcel G		1.27
Height (*75' when adjacent to BART tracks within 125' of tracks)	35' / *75'	35' - 60'
UNIT MIX		
Townhouses	122 units	
Live / Work units	7 units	
Apartment units	270 units	
TOTAL RESIDENTIAL UNITS	**399 units**	
Work / Live units	9 units	
	408 total units	
GROSS BUILDING AREAS		
Live/Work Area	9,226 sf	
Apartment Area	361,281 sf	
Townhouse Area	210,638 sf	
GROSS RESIDENTIAL AREA	581,146 sf	
WORK/LIVE AREA	11,688 sf	
COMMERCIAL AREA	2,468 sf	
TOTAL GROSS BUILDING AREA	**595,302 sf**	
COMMUNITY OPEN SPACES (NOT INCLUDED IN OPEN SPACE CALCS)		
Plaza Area @ Parcel A	4,768 sf	
Paseos @ Parcel E & F	3,080 sf	
Open Space @ Parcel G	1,988 sf	
Woonerf Area @ Parcel H	17,580 sf	
Woonerf Area @ Parcel K	4,299 sf	
Park Area @ Parcel J	10,792 sf	
COMMUNITY OPEN SPACE TOTAL	42,507 sf	
CAR PARKING		
	REQUIRED	PROPOSED
Parcel A-D 0.9:1 (10% reduction for car-share)	257 spaces	273 spaces
Parcel E-G 1:1 for Townhouses	122 spaces	244 spaces
Standard Parking	215 spaces	
Stacked Parking	58 spaces	
Townhouse Parking	244 spaces	
Carshare spaces	4 spaces	
TOTAL	**517 spaces**	
Off street loading spaces (1 space for buildings > 50,000 sf)	3 spaces	4 spaces

BIKE PARKING			
LONG TERM		SHORT TERM	
Retail *(1/12,000sf)*	2 spaces	Retail *(1/5000 sf)*	2 spaces
W/L *(1/4 units)*	2 spaces	W/L *(1/20 units)*	6 spaces
Apts & L/W *(1/4 units)*	70 spaces	Apts *(1/20 units)*	14 spaces
Townhouses	-	TH *(1/20 units)*	6 spaces
REQUIRED	74 spaces	**REQUIRED**	28 spaces
PROPOSED	**130 spaces**	**PROPOSED**	**78 spaces**

PROJECT DESCRIPTION

The master planned community at 98th Avenue & San Leandro Street will consist of 10 discrete development blocks, including a mix of commercial/retail uses, 270 apartment units, 7 live/work units, 9 work/live units, 122 townhomes, 2,468 sf ground floor retail and over 40,000 sf of community open space.

The proposed street design is based primarily on bringing the existing Blake Drive through the site to connect to Tubman Drive, and extending Garner and Tubman Drives into the site. In addition to providing necessary site circulation for cars, emergency and service vehicles, the centrally located woonerf enhances the pedestrian experience by providing an open area for social interaction.

Primary access to the project will be provided on 98th Avenue maintaining the existing alignment of Blake Drive with Medford Avenue across 98th Avenue. Secondary access is off of 92nd Ave through Ellington Way. The existing streets Blake Drive, Garner Drive, and Tubman Drive would be extended and incorporated into the new master planned community.

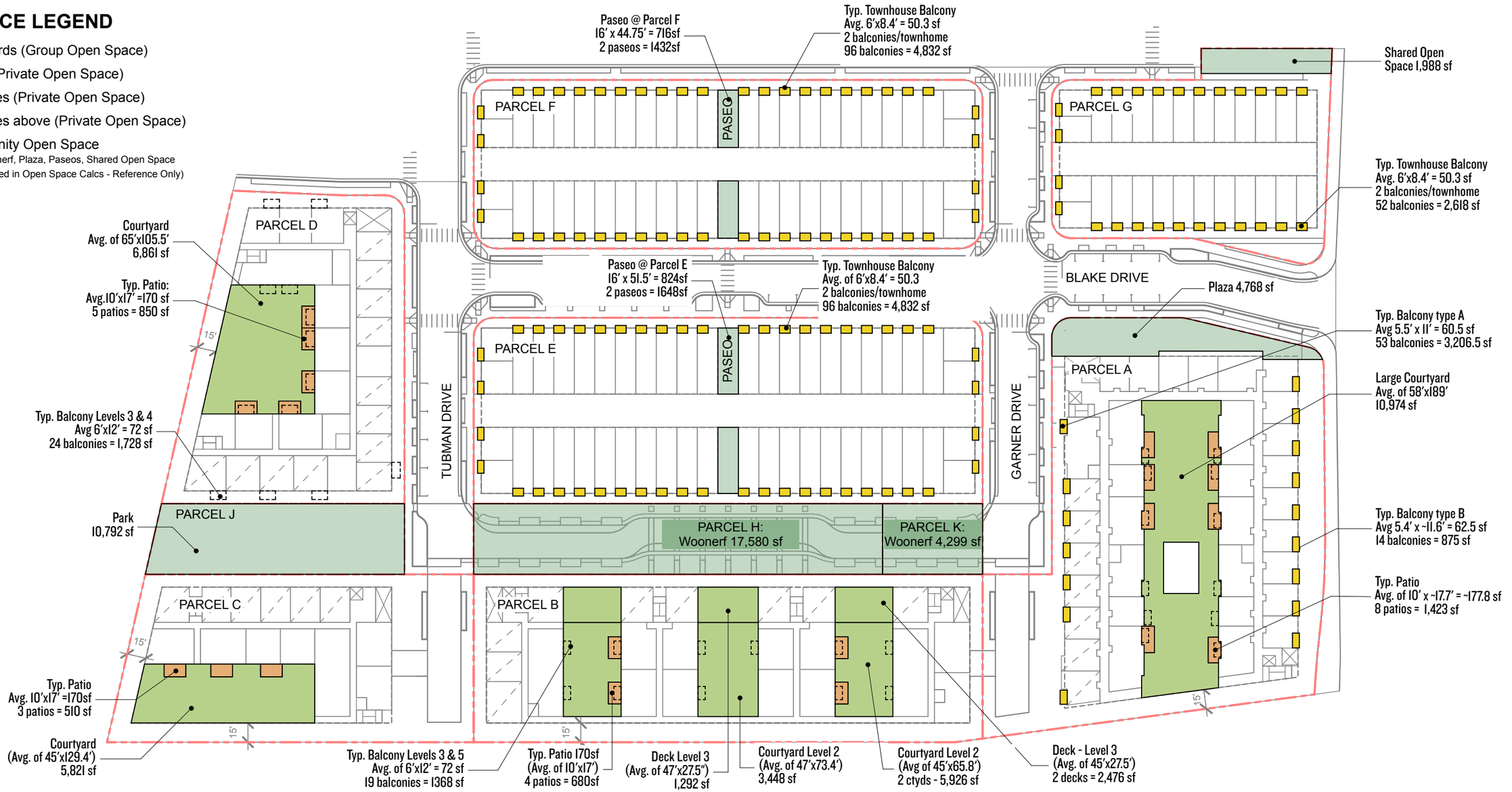
This document constitutes the Preliminary Development Plan for the Planned Unit Development of 98th & San Leandro Master Plan project. Additionally, Applicant is submitting the following related applications and documents to the City of Oakland:

- Vesting Tentative Tract Map
- 98th/San Leandro Design Guidelines
- Final Development Plan - Parcel A
- Final Development Plan - Master Street & Open Space Improvements

Individual Final Development Plans and final maps will be submitted by developers for each of the development parcels and related improvements.

OPEN SPACE LEGEND

- Courtyards (Group Open Space)
- Patios (Private Open Space)
- Balconies (Private Open Space)
- Balconies above (Private Open Space)
- Community Open Space
  Park, Woonerf, Plaza, Paseos, Shared Open Space
  (Not included in Open Space Calcs - Reference Only)



Minimum Usable Open Space Requirements for HBX-1 (17.65.120)	PARCEL A *90 apts + 7 L/W + 9 W/L*		PARCEL B *86 apts*		PARCEL C *34 apts*		PARCEL D *60 apts*		PARCEL E *48 Townhomes*		PARCEL F *48 Townhomes*		PARCEL G *26 Townhomes*		TOTAL OPEN SPACE	
Group Open Space requirement:	**Required**	**Proposed**	**Required**	**Proposed**	**Required**	**Proposed**	**Required**	**Proposed**	**Required**	**Proposed**	**Required**	**Proposed**	**Required**	**Proposed**	**Required**	**Proposed**
Residential = 200 sf/unit	18,000		17,200		6,800		12,000		9,600		9,600		5,200			
Live/Work = 200 sf/unit	1,400															
Work/Live = 75 sf/unit (17.65.150)	675															
Group Open Space Provided (sf)	20,075	**10,974**	17,200	**13,142**	6,800	**5,821**	12,000	**6,861**	9,600	**0**	9,600	**0**	5,200	**0**	80,475	**36,797**
Private Open Space Provided (sf)		5,504.50		2,048		510		2,578		4,832		4,832		2,618		
**1 sf private = 2 sf group (17.126.020)*																
Group Equivalent Private Open Space (sf)*		**11,009**		**4,096**		**1,020**		**5,156**		**9,664**		**9,664**		**5,236**		**45,845**
Total Open Space	**20,075**	**21,983**	**17,200**	**17,238**	**6,800**	**6,841**	**12,000**	**12,017**	**9,600**	**9,664**	**9,600**	**9,664**	**5,200**	**5,236**	**80,475**	**82,642**

Open Space provided is based on preliminary concept plan.
Actual Square footage will vary slightly depending on ultimate design but not to fall below requirements.

0 40' 80'

98TH AVENUE | OPEN SPACE EXHIBIT

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APPLICABLE CODES

ALL WORK SHALL BE IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND CITY ORDINANCES (IF CONFLICTS OCCUR, THE MORE STRINGENT REGULATION GOVI
REQUIREMENTS AS ESTABLISHED BY STATE AND LOCAL FIRE MARSHALS, AND THE RULES AND REGULATIONS OF THE UTILITY COMPANIES SERVING THIS PROJECT.

2019 OAKLAND BUILDING CODE AMENDMENTS OF THE CALIFORNIA BUILDING STANDARDS CODE [CALIFORNIA CODE OF REGULATIONS - TITLE 24]

OAKLAND BUILDING CODE AMENDMENTS	2019 EDITION
OAKLAND GREEN BUILDING STANDARDS CODE AMENDMENTS	2019 EDITION
OAKLAND FIRE CODE AMENDMENTS	2019 EDITION

2019 EDITION OF THE CALIFORNIA BUILDING CONSTRUCTION CODE INCLUDES AMENDMENTS OF THE CA BUILDING STANDARDS CODE (T24)

PART 2 - CALIFORNIA BUILDING CODE (CBC)	2019 EDITION
PART 3 - CALIFORNIA ELECTRICAL CODE	2019 EDITION
PART 4 - CALIFORNIA MECHANICAL CODE	2019 EDITION
PART 5 - CALIFORNIA PLUMBING CODE	2019 EDITION
PART 6 - CALIFORNIA ENERGY CODE	2019 EDITION
PART 7 - CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE	2019 EDITION
PART 9 - CALIFORNIA FIRE CODE	2019 EDITION
PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CalGreen)	2019 EDITION
OAKLAND MUNICIPAL CODE	2019 EDITION

CONSTRUCTION CLASSIFICATION

BUILDING OCCUPANCY TYPE FOR MULTIFAMILY BUILDINGS PARCELS A-D	CONSTRUCTION CLASSIFICATION	SPRINKLERING REQUIREMENTS
S-2, B * PARKING STRUCTURE, COMMERCIAL& WORK/LIVE [1 STORY ABOVE GRADE]	TYPE 1-A [CBC TABLE 503]	BLDG SPRINKLERING PER NFPA-13 REQUIRED
R-2, B WORK/LIVE AND RESIDENTIAL APARTMENT BLDG [4 STORIES ABOVE PODIUM]	TYPE V-A [CBC TABLE 503]	BLDG SPRINKLERING PER NFPA-13 REQUIRED

* B OCCUPANCY AT PARCEL A ONLY

FIRE SPRINKLER REQUIREMENTS

APPROVED AUTOMATIC SPRINKLER SYSTEM REQUIRED THROUGHOUT PER NFPA 13 REQUIREMENTS.
A STANDPIPE SYSTEM WILL BE REQUIRED THROUGHOUT TO MEET 2019 EDITION OF NFPA14 AND CBC 905. STANDPIPE CALCULATIONS REQUIRED.
A MANUAL ALARM SYSTEM IS REQUIRED PER 2019 EDITION NFPA 72 AND CBC 907.2.9.
* SPRINKLER SYSTEM NOTES ARE FOR REFERENCE ONLY. SPRINKLER SYSTEM SHALL BE DESIGN / BUILD AND DRAWINGS SHALL BE SUBMITTED BY SPRINKLER SUBCONTRACTOR UNDER SEPARATE PERMIT.
FIRE COMMAND CENTER IS REQUIRED IN ALL BUILDINGS OVER 3 STORIES PER OAKLAND MUNICIPAL CODE

ALLOWABLE HEIGHT AND STORIES

PARCELS A, B, C, D

BUILDING / ZONE DESIGNATION	OCCUPANCY GROUP	CONSTRUCTION TYPE	ALLOWABLE HEIGHT [CBC Table 504.3] Sprinklered with area increase	ALLOWABLE STORIES [CBC Table 504.4] Sprinklered with area increase	PROVIDED STORIES	ACTUAL HEIGHT
FLOOR 1	S-1, B*, R-2	TYPE 1-A	UNLIMITED	UNLIMITED	1 STORY	
FLOORS 2-5	R-2	TYPE V-A	60'	4 STORIES	4 OVER PODIUM (PARCELS A & B)	60' TOTAL (PARCELS A & B
					3 OVER PODIUM (PARCELS C & D)	45' TOTAL (PARCELS C & D)

* B OCCUPANCY AT PARCEL A ONLY

ALLOWABLE AREA

PARCEL A

OCCUPANCY GROUP	TYPE	ALLOWABLE AREA FACTOR		FRONTAGE INCREASE -	ALLOWABLE AREA	CONCEPTUAL BUILDING AREA		
		[CBC Table 506.2] SM (Sprinklered)		ALLOW. AREA[CBC 506.3.3] If=(F/P-0.25)W/30	ALLOW. AREA[CBC 506.2.3] (At+(NSxIf))xSa=Aa			
S-1	I-A	UNLIMITED						
B	I-A	UNLIMITED						
R-2	I-A	UNLIMITED		(776.35/1136.6-.25)*30/30	(36000+(12,000*.43)*2	TYPE 1-A =	47,807 SF	
R-2	V-A	36,000		0.43	82,393	TYPE V-A =	118,497 SF	BUILDING SEPARATION REQUIRED

PARCEL B

OCCUPANCY GROUP	TYPE	ALLOWABLE AREA FACTOR		FRONTAGE INCREASE -	ALLOWABLE AREA	CONCEPTUAL BUILDING AREA		
		[CBC Table 506.2] SM (Sprinklered)		ALLOW. AREA[CBC 506.3.3] If=(F/P-0.25)W/30	ALLOW. AREA[CBC 506.2.3] (At+(NSxIf))xSa=Aa			
S-1	I-A	UNLIMITED						
R-2	I-A	UNLIMITED		(467.66/1131.91-.25)*30/30	(36000+(12,000*.16)*2	TYPE 1-A =	40,011 SF	
R-2	V-A	36,000		0.16	75,916	TYPE V-A =	103,368 SF	BUILDING SEPARATION REQUIRED

PARCEL C

OCCUPANCY GROUP	TYPE	ALLOWABLE AREA FACTOR		FRONTAGE INCREASE -	ALLOWABLE AREA	CONCEPTUAL BUILDING AREA		
		[CBC Table 506.2] SM (Sprinklered)		ALLOW. AREA[CBC 506.3.3] If=(F/P-0.25)W/30	ALLOW. AREA[CBC 506.2.3] (At+(NSxIf))xSa=Aa			
S-1	I-A	UNLIMITED						
R-2	1-A	UNLIMITED		'(258.33/811.83-.25)*30/30	(36000+(12,000*.07)*2	TYPE 1-A =	20,087 SF	
R-2	V-A	36,000		-0.16	68,217	TYPE V-A =	40,927 SF	MEETS REQUIREMENTS

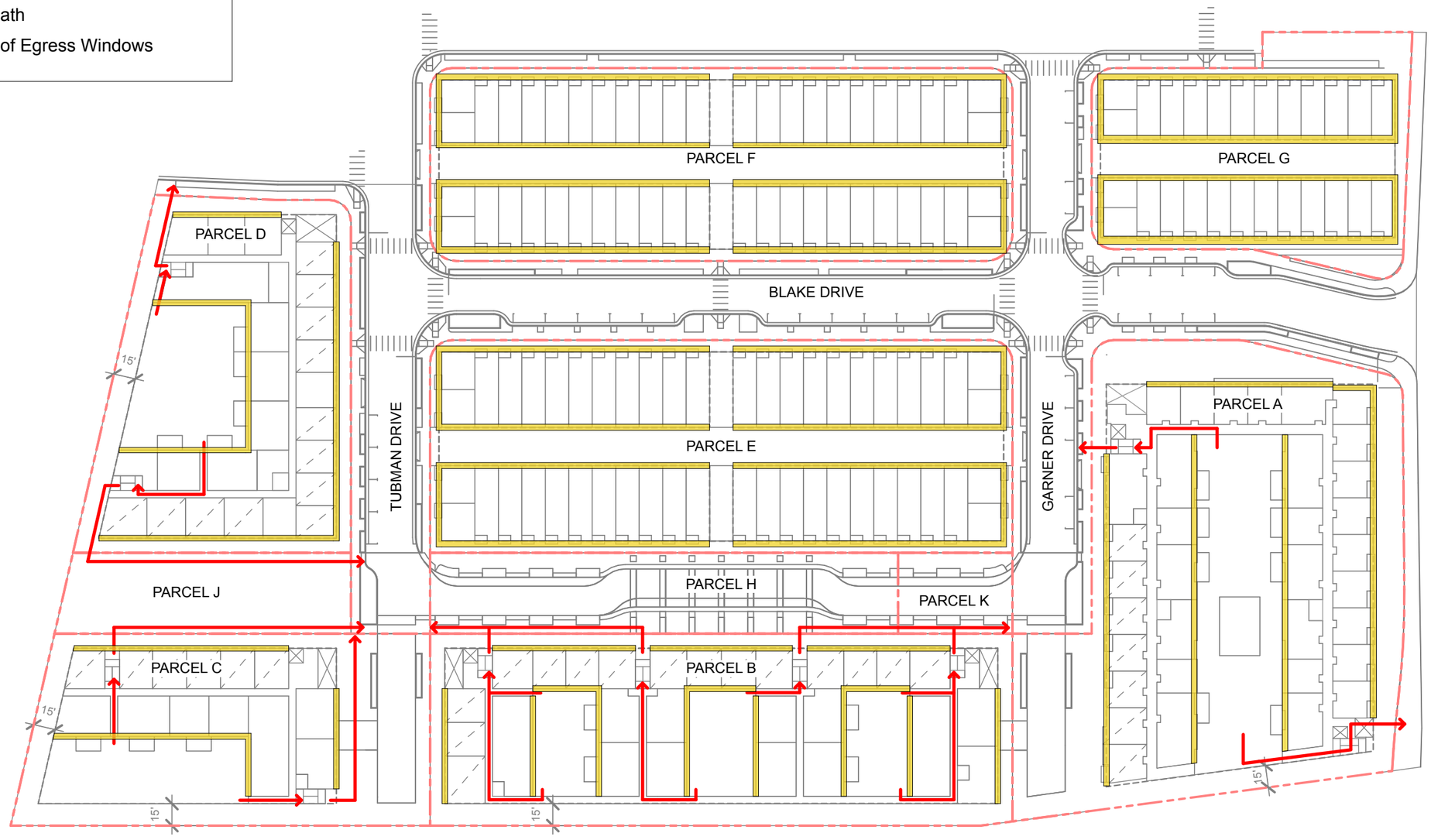
PARCEL D

OCCUPANCY GROUP	TYPE	ALLOWABLE AREA FACTOR		FRONTAGE INCREASE -	ALLOWABLE AREA	CONCEPTUAL BUILDING AREA		
		[CBC Table 506.2] SM (Sprinklered)		ALLOW. AREA[CBC 506.3.3] If=(F/P-0.25)W/30	ALLOW. AREA[CBC 506.2.3] (At+(NSxIf))xSa=Aa			
S-1	I-A	UNLIMITED						
R-2	I-A	UNLIMITED		(493.9/720.15-.25)*30/30	(36000+(12,000*.44)*2	TYPE 1-A =	30,114 SF	
R-2	V-A	36,000		0.44	82,460	TYPE V-A =	66,054 SF	MEETS REQUIREMENTS

LEGEND

Egress Path

Location of Egress Windows



98TH AVENUE | BUILDING EXITING DIAGRAM

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0 100' 200'

98TH AVENUE | SITE LOCATION AND CONTEXT

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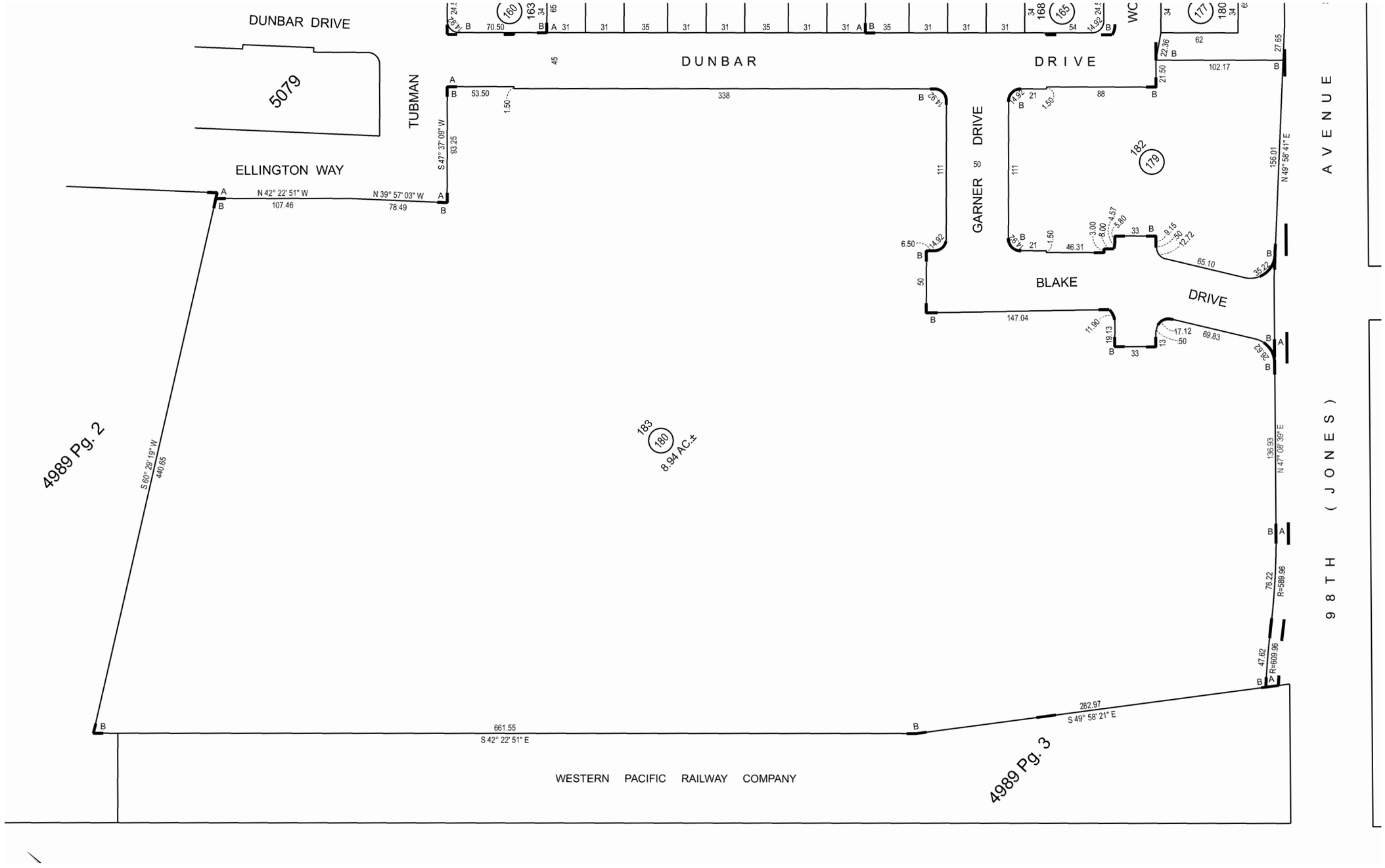

0 40' 80'

98TH AVENUE | ASSESSOR'S PARCEL MAP

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0 40' 80'

98TH AVENUE | SITE AERIAL / EXISTING CONDITIONS

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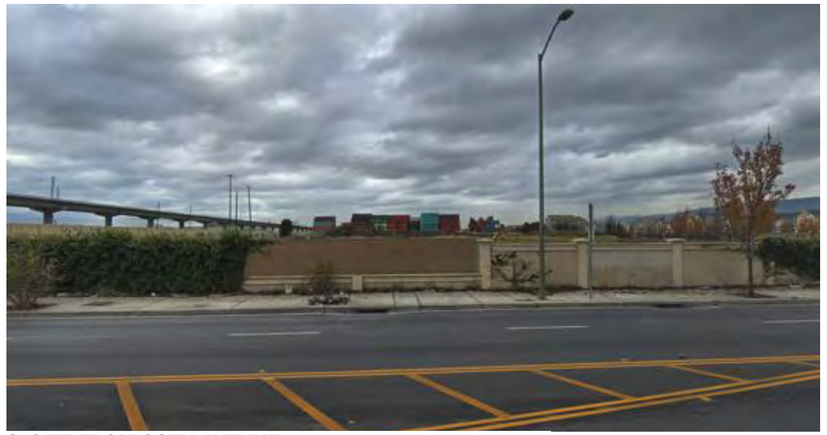
1. SITE FROM SAN LEANDRO ST



2. SITE FROM 98TH AVENUE

KEY PLAN

3. SITE LOOKING TOWARDS 98TH AVENUE

4. SITE FROM DUNBAR DR AND GARNER DR

5. SITE FROM DUNBAR DR

6. SITE FROM ELLINGTON WAY

98TH AVENUE | SITE PHOTOGRAPHS

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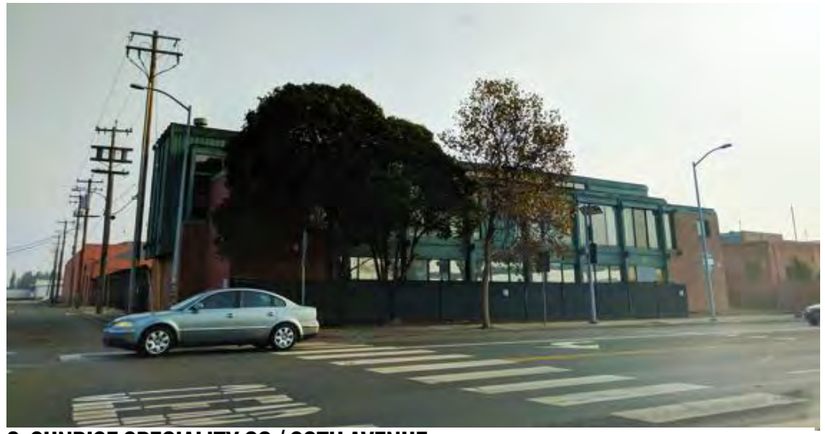
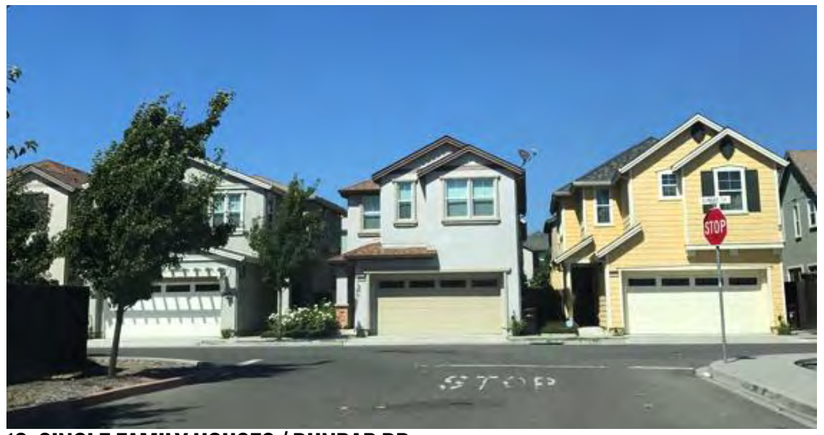
7. WAREHOUSES / SAN LEANDRO ST



8. SUNRISE SPECIALITY CO / 98TH AVENUE

KEY PLAN

9. WAREHOUSE / 98TH AVENUE



10. SINGLE FAMILY HOUSES / DUNBAR DR

11. SINGLE FAMILY HOUSES / DUNBAR DR

12. PUBLIC PARK / TUBMAN DR

98TH AVENUE | CONTEXT PHOTOGRAPHS

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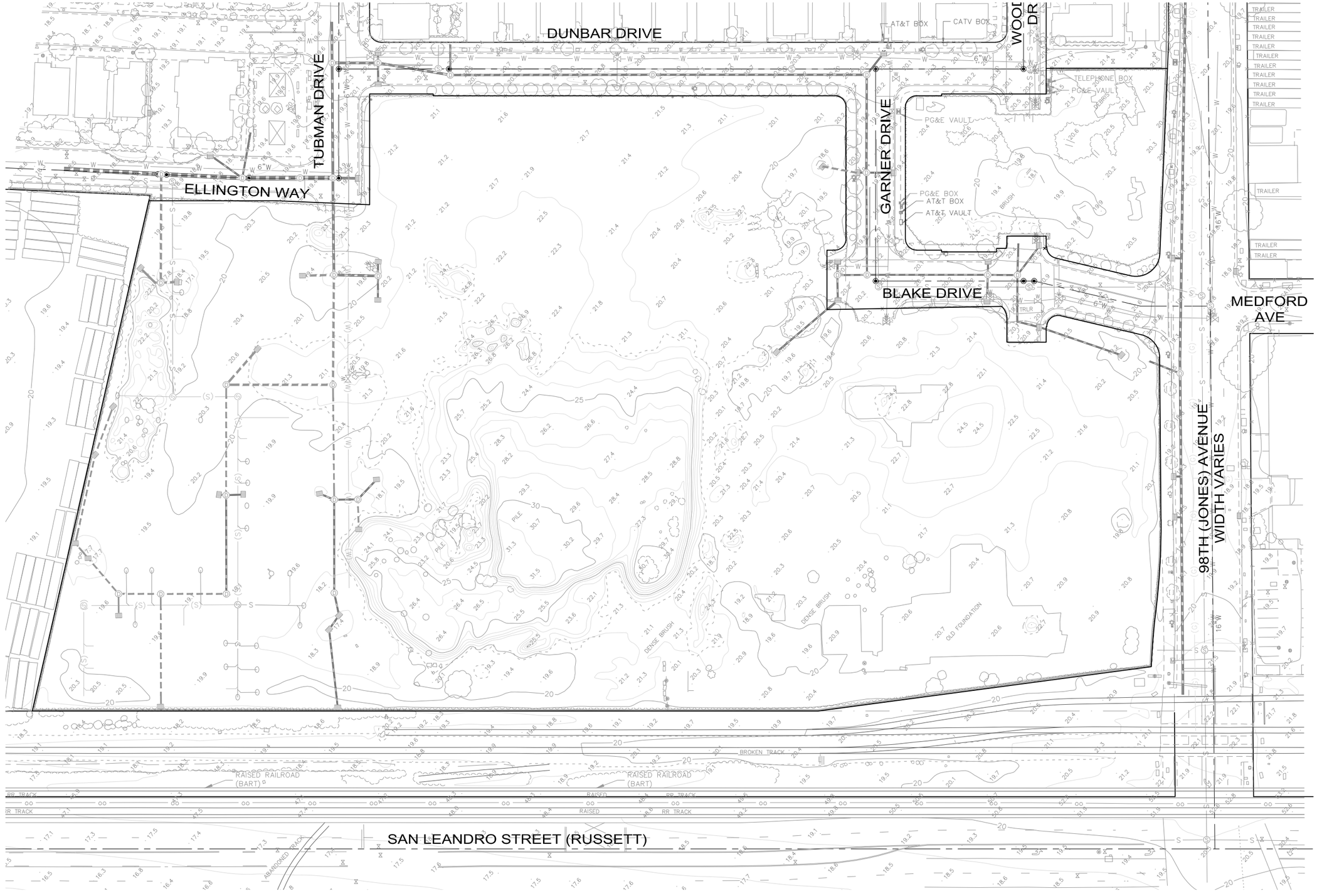

98TH AVENUE | SURVEY EXISTING CONDITIONS

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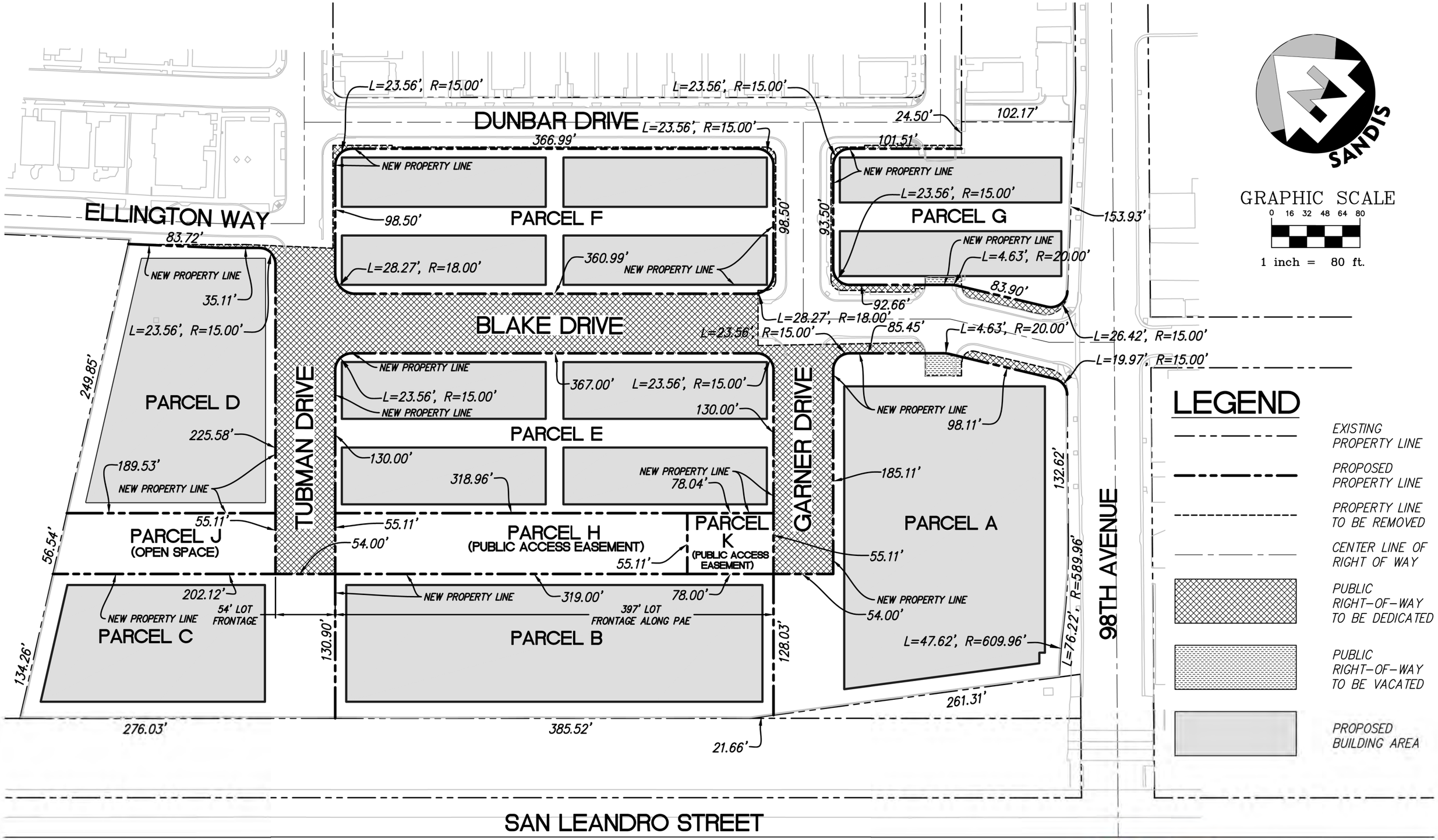

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GRAPHIC SCALE

0 16 32 48 64 80

1 inch = 80 ft.

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- PROPERTY LINE TO BE REMOVED
- CENTER LINE OF RIGHT OF WAY
- PUBLIC RIGHT-OF-WAY TO BE DEDICATED
- PUBLIC RIGHT-OF-WAY TO BE VACATED
- PROPOSED BUILDING AREA

98TH AVENUE | PROPOSED PARCEL PLAN

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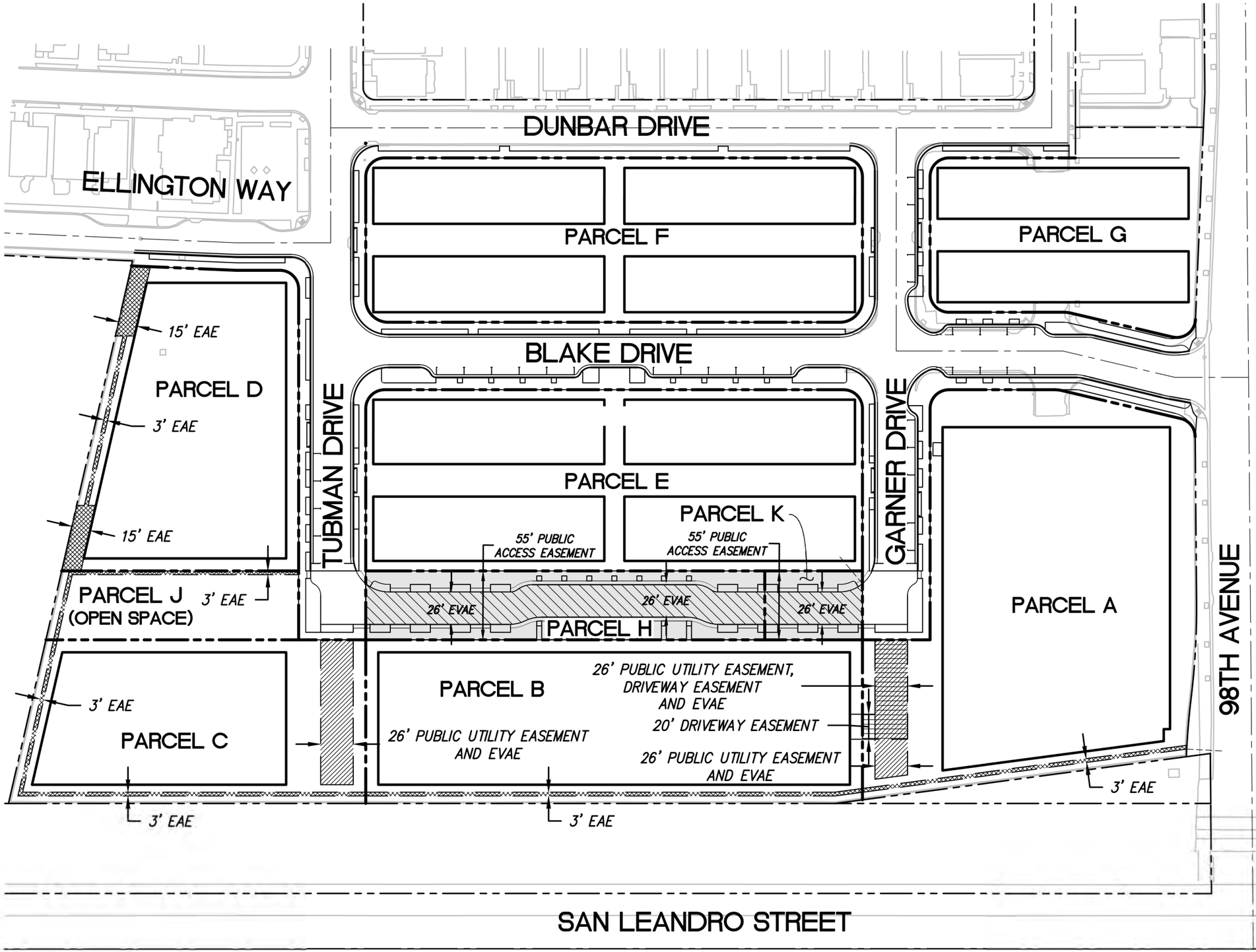

SANDIS

GRAPHIC SCALE

0 16 32 48 64 80

1 inch = 80 ft.

LEGEND

- EXISTING RIGHT OF WAY LINE
- PROPOSED PROPERTY LINE
- CENTER LINE OF RIGHT OF WAY
- UTILITY AND EMERGENCY VEHICLE ACCESS EASEMENT
- PUBLIC ACCESS EASEMENT
- EMERGENCY VEHICLE ACCESS EASMENT
- DRIVEWAY EASEMENT
- EMERGENCY ACCESS EASEMENT

EASEMENT NOTE:

FINAL LOCATION OF THE EAE IS TBD WITH FINAL MAP APPROVAL. EAE SHALL BE 3-FT WIDE MINIMUM EXCEPT AT BUILDING EGRESS WHERE 15-FT WIDE MINIMUM WILL BE PROVIDED.

98TH AVENUE | PROPOSED EASEMENT LAYOUT

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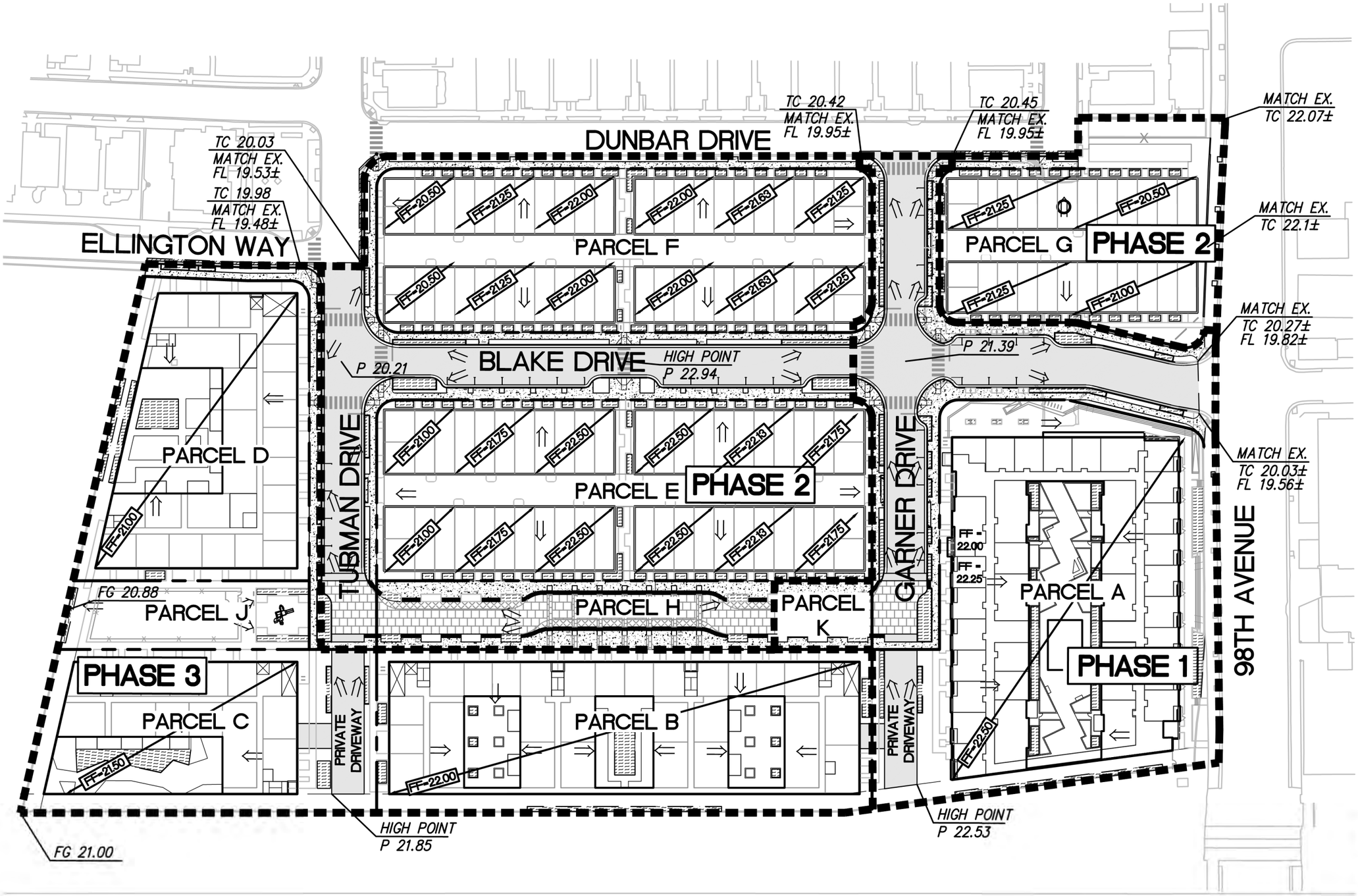

GRAPHIC SCALE

0 16 32 48 64 80

1 inch = 80 ft.

LEGEND

- PHASING LINES
- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- BIO-RETENTION AREA
- STAMPED ASPHALT
- CONCRETE PAVERS
- DIRECTION OF SURFACE FLOW

PHASING NOTE:

PARCEL K TO BE TEMP ASPHALT PAVED FOR EVAE ACCESS AS PART OF PHASE 1; FINAL CONSTRUCTION PER PLAN TO BE PART OF PHASE 2.

98TH AVENUE | PRELIMINARY GRADING PLAN

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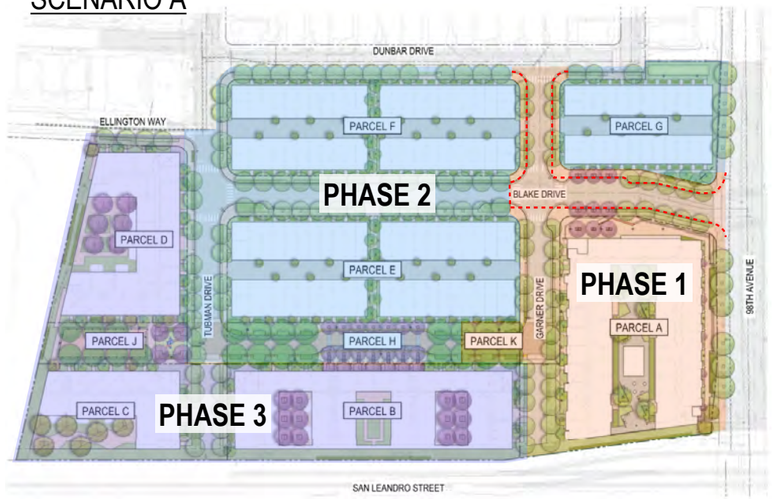
LEGEND

- Phase 1
- Phase 2
- Phase 3
- Existing portions of Blake Dr & Garner Dr

SCENARIO A



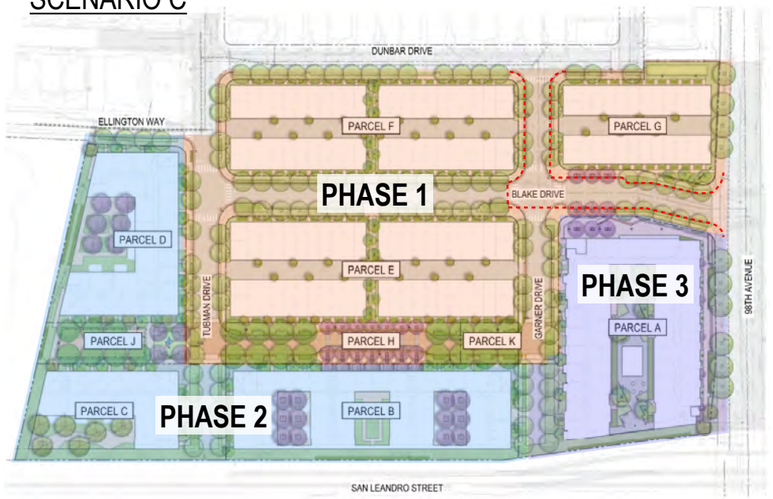
OPEN SPACE IMPROVEMENTS

PARCEL K TO BE TEMP ASPHALT PAVED FOR VEHICLE/FIRE/EV ACCESS AS PART OF PHASE 1.

PARCEL H TO BE TEMP ASPHALT PAVED FOR VEHICLE/FIRE/EV ACCESS AS PART OF PHASE 2.

PARCEL H, J & K TO BE CONSTRUCTED PER PLAN AS PART OF PHASE 3.

SCENARIO C

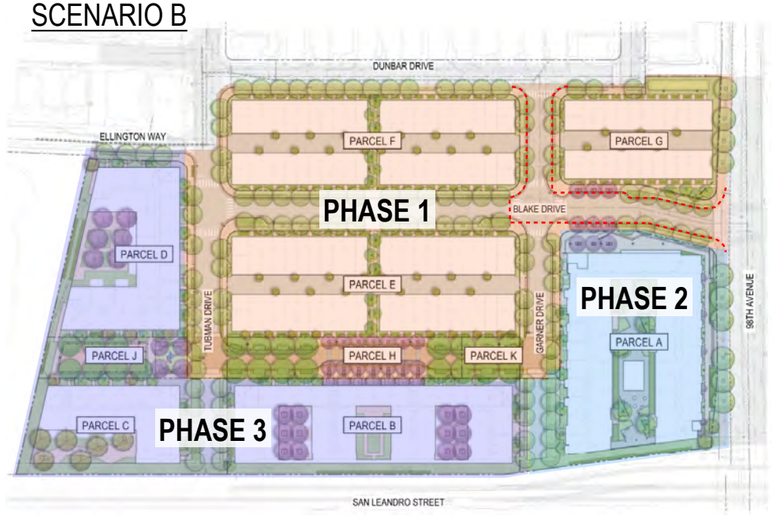


OPEN SPACE IMPROVEMENTS

PARCEL H & K TO BE TEMP ASPHALT PAVED FOR VEHICLE/FIRE/EV ACCESS AS PART OF PHASE 1.

PARCEL H, J & K TO BE CONSTRUCTED PER PLAN AS PART OF PHASE 2.

SCENARIO B

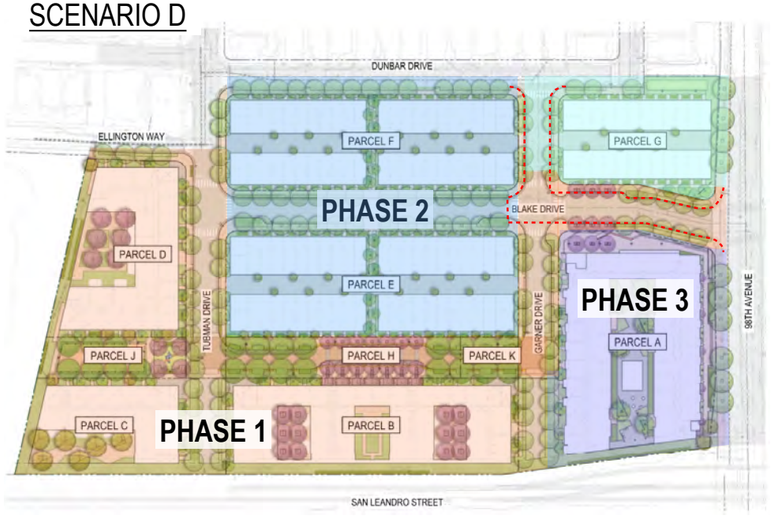


OPEN SPACE IMPROVEMENTS

PARCEL H & K TO BE TEMP ASPHALT PAVED FOR VEHICLE/FIRE/EV ACCESS AS PART OF PHASE 1.

PARCEL H, J & K TO BE CONSTRUCTED PER PLAN AS PART OF PHASE 3.

SCENARIO D



OPEN SPACE IMPROVEMENTS

PARCEL J TO BE CONSTRUCTED PER PLAN AS PART OF PHASE 1.

PARCEL H & K TO BE TEMP ASPHALT PAVED FOR VEHICLE/FIRE/EV ACCESS AS PART OF PHASE 1.

PARCEL H & K TO BE CONSTRUCTED PER PLAN AS PART OF PHASE 2.

0 50' 100'

98TH AVENUE | ILLUSTRATIVE PHASING SCENARIOS

OAKLAND, CA | 10/30/2020

SANDIS
JETT Landscape Architecture + Design
VAN METER WILLIAMS POLLACK LLP

A1.1

0 40' 80'

98TH AVENUE | ILLUSTRATIVE SITE PLAN

OAKLAND, CA | 10/30/2020

SANDIS
JETT Landscape Architecture + Design
VAN METER WILLIAMS POLLACK LLP

A1.2

98TH AVENUE | VIEW LOOKING WEST

OAKLAND, CA | 10/30/2020

SANDIS
JETT Landscape Architecture + Design
VAN METER WILLIAMS POLLACK LLP

A1.3

1. VIEW OF BUILDING A AND BLAKE DRIVE AT 98TH AVENUE

2. VIEW OF GARNER DRIVE LOOKING SOUTH

3. VIEW OF LINEAR PARK LOOKING NORTH-WEST

4. VIEW OF TUBMAN DRIVE LOOKING EAST

98TH AVENUE | SITE VIEWS

OAKLAND, CA | 10/30/2020

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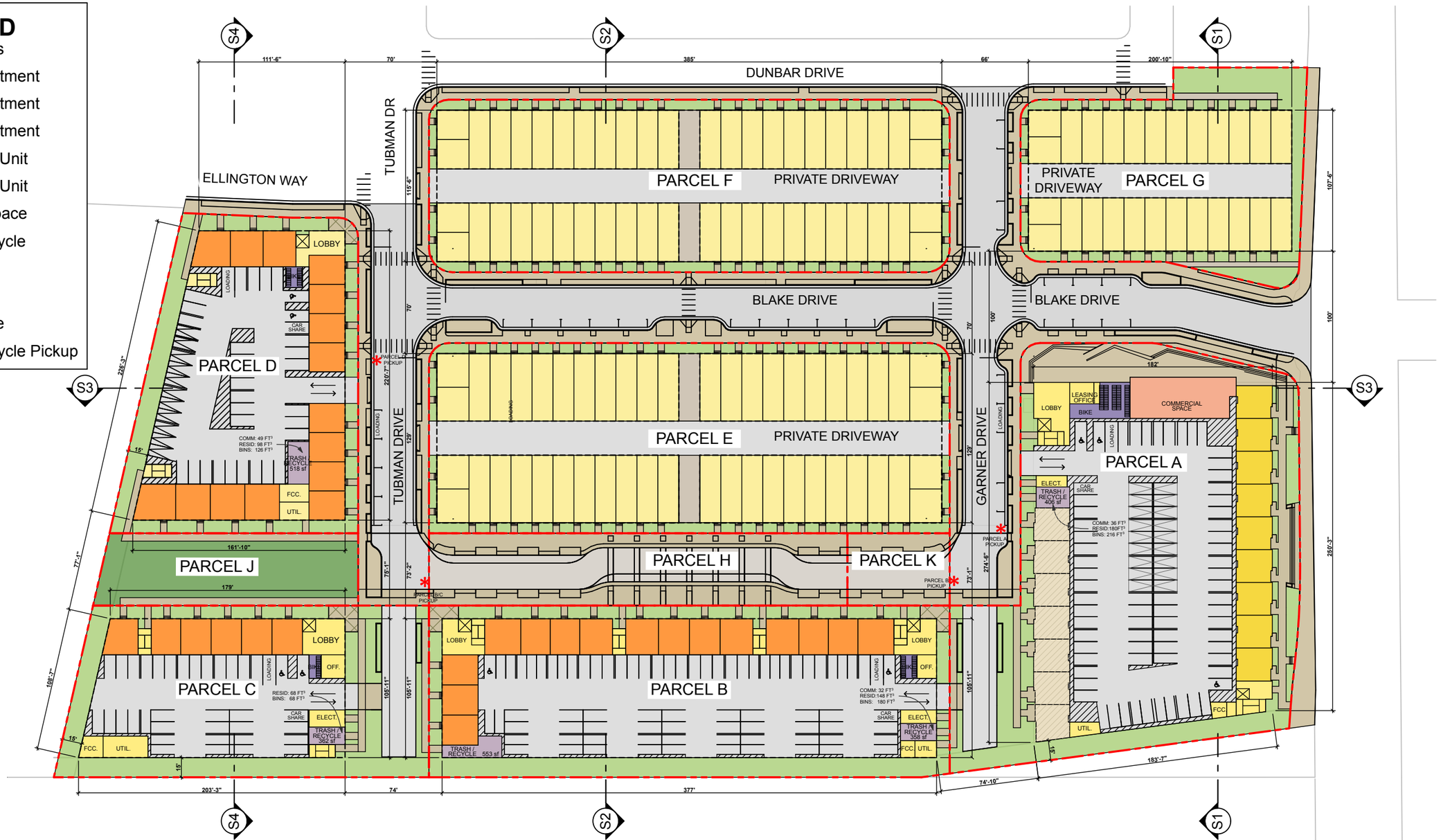
JETT Landscape Architecture + Design
VAN METER WILLIAMS POLLACK LLP

A1.4

LEGEND

- Townhouses
- 1 BDR Apartment
- 2 BDR Apartment
- 3 BDR Apartment
- Work / Live Unit
- Live / Work Unit
- Common space
- Trash / Recycle
- Bike Room
- Commercial
- Open Space
- ✱ Trash / Recycle Pickup



0 40' 80'

98TH AVENUE | SITE PLAN / FIRST FLOOR PLAN

OAKLAND, CA | 10/30/2020

SANDIS
JETT Landscape Architecture + Design
VAN METER WILLIAMS POLLACK LLP

A2.1

LEGEND

- Townhouses
- 1 BDR Apartment
- 2 BDR Apartment
- 3 BDR Apartment
- Work / Live Unit
- Live / Work Unit
- Common space
- Trash / Recycle
- Bike Room
- Commercial
- Open Space

0 40' 80'

98TH AVENUE | SECOND FLOOR PLAN

OAKLAND, CA | 10/30/2020

SANDIS
JETT Landscape Architecture + Design
VAN METER WILLIAMS POLLACK LLP

A2.2

LEGEND

- Townhouses
- 1 BDR Apartment
- 2 BDR Apartment
- 3 BDR Apartment
- Work / Live Unit
- Live / Work Unit
- Common space
- Trash / Recycle
- Bike Room
- Commercial
- Open Space

0 40' 80'

98TH AVENUE | THIRD FLOOR PLAN

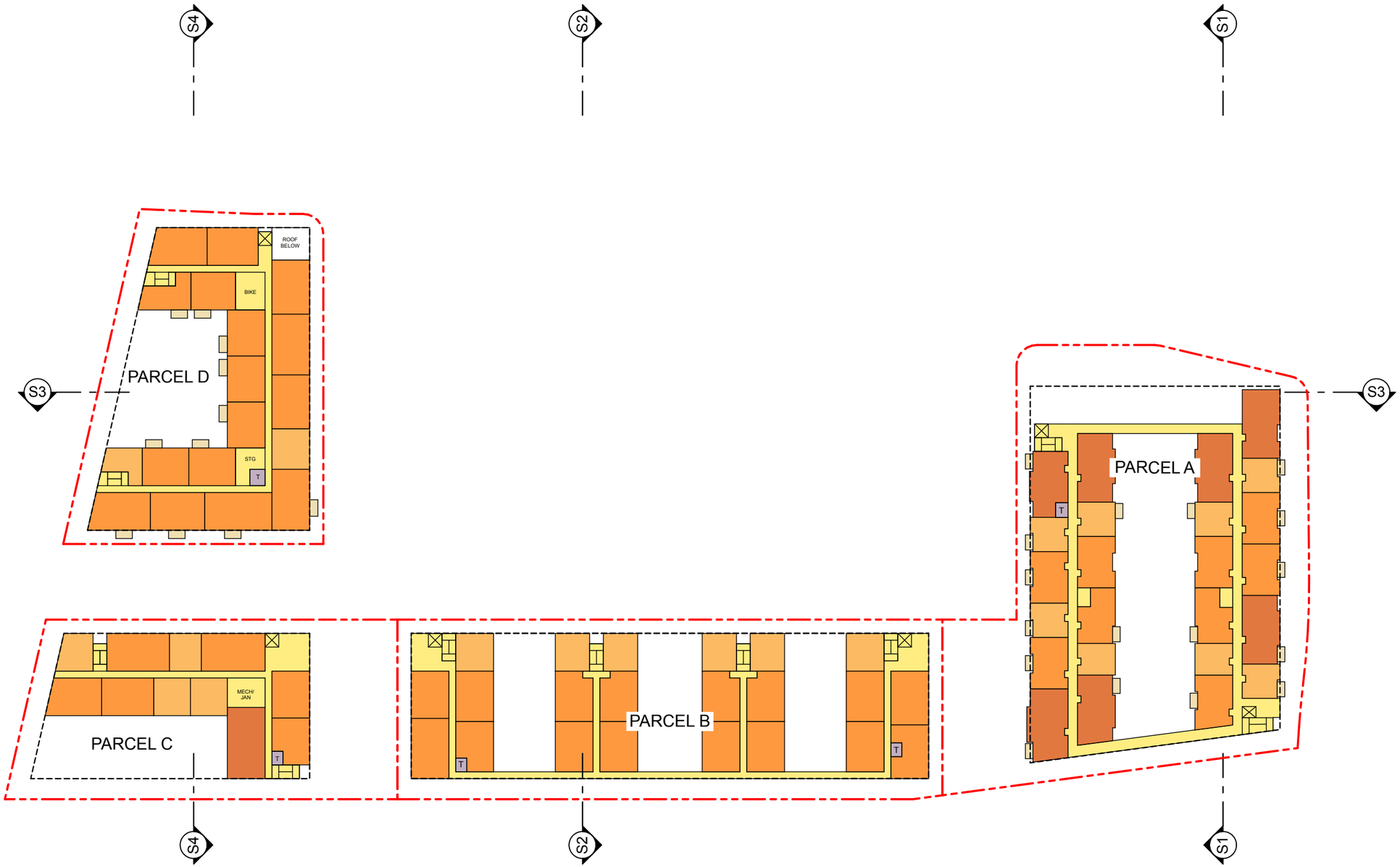
OAKLAND, CA | 10/30/2020

SANDIS
JETT Landscape Architecture + Design
VAN METER WILLIAMS POLLACK LLP

A2.3

LEGEND

- Townhouses
- 1 BDR Apartment
- 2 BDR Apartment
- 3 BDR Apartment
- Work / Live Unit
- Live / Work Unit
- Common space
- Trash / Recycle
- Bike Room
- Commercial
- Open Space



0 40' 80'

98TH AVENUE | FOURTH FLOOR PLAN

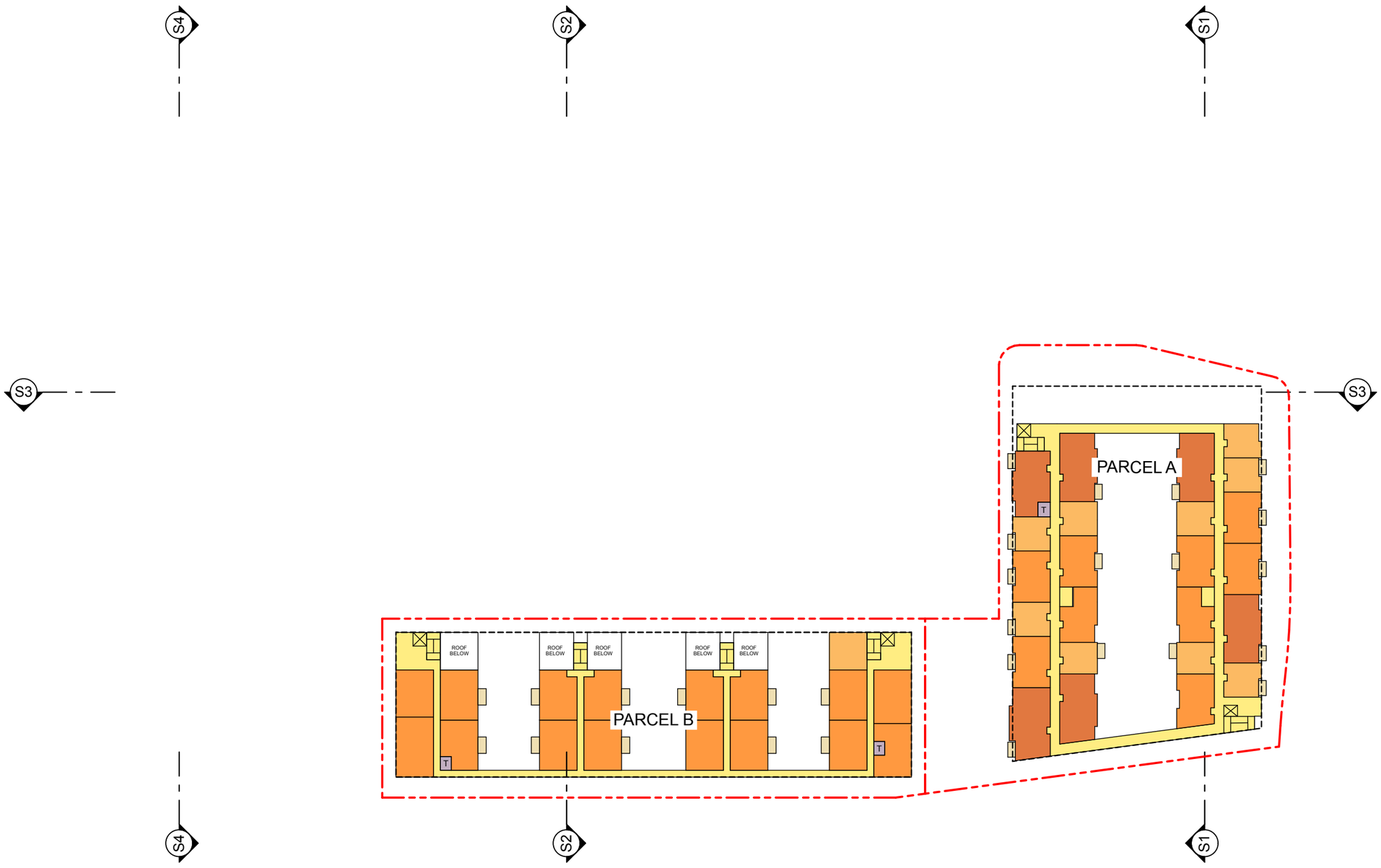
OAKLAND, CA | 10/30/2020

SANDIS
JETT Landscape Architecture + Design
VAN METER WILLIAMS POLLACK LLP

A2.4

LEGEND

- Townhouses
- 1 BDR Apartment
- 2 BDR Apartment
- 3 BDR Apartment
- Work / Live Unit
- Live / Work Unit
- Common space
- Trash / Recycle
- Bike Room
- Commercial
- Open Space



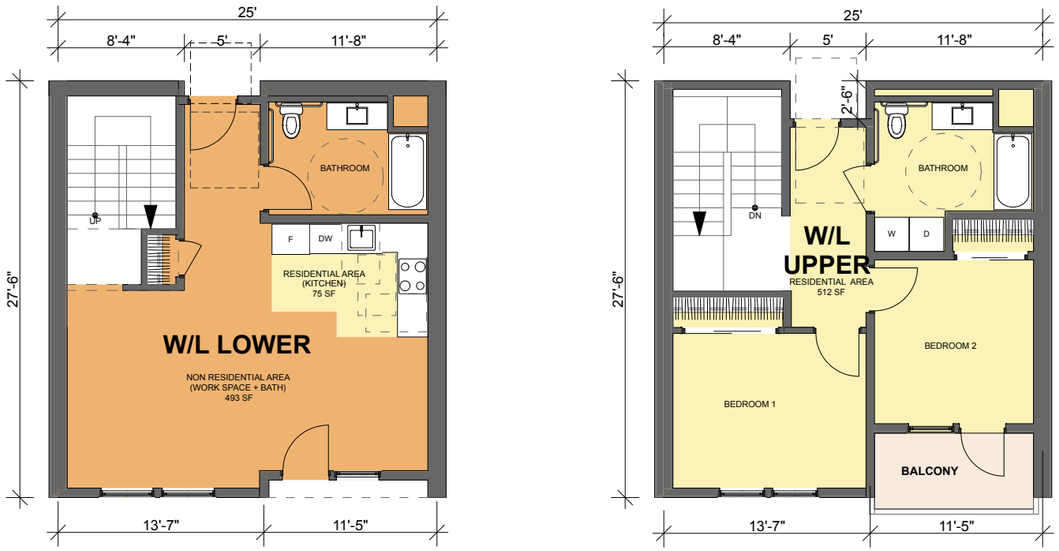
0 40' 80'

98TH AVENUE | FIFTH FLOOR PLAN

OAKLAND, CA | 10/30/2020

SANDIS
JETT Landscape Architecture + Design
VAN METER WILLIAMS POLLACK LLP

A2.5



1 **WORK/LIVE UNIT PLANS**

SCALE: 1" = 10'

WORK LIVE AREA CALCULATIONS				
TYPE 3	(55% RESIDENTIAL)	ALLOWABLE	ACTUAL	
	TOTAL SQUARE FEET	1091	1080	100%
	NON-RESID 45%	491	493	45.6%
	LEVEL 1	491	493	
	RESIDENTIAL 55%	600	587	54.4%
	KITCHEN	75	75	
	LEVEL 2	530	512	

*PER OAKLAND MUNICIPAL CODE 17.65.150 STAIR AREA EXCLUDED FROM WORK LIVE AREA CALCULATIONS

98TH AVENUE | WORK/LIVE UNIT PLAN

OAKLAND, CA | 10/30/2020

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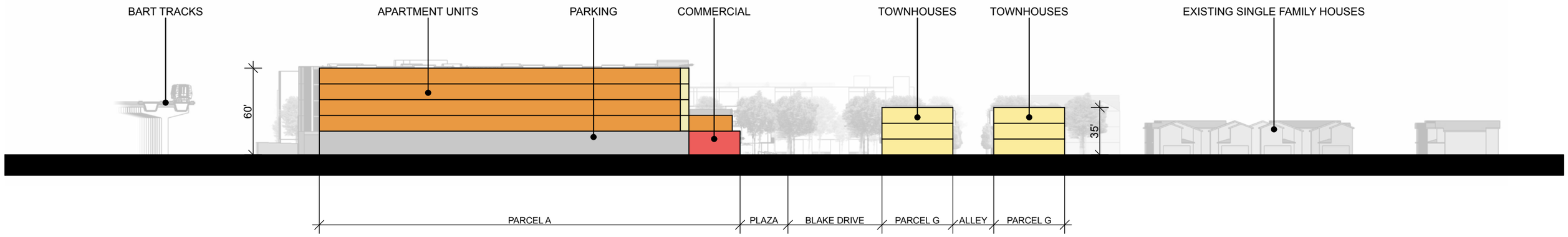
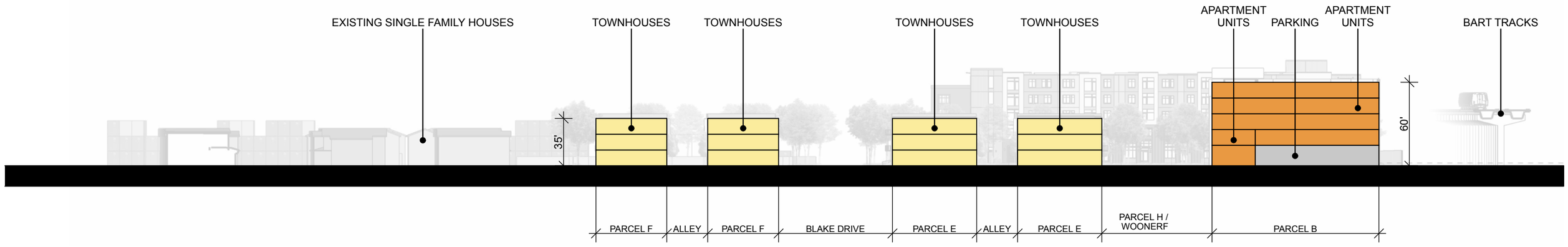
JETT Landscape Architecture + Design
VAN METER WILLIAMS POLLACK LLP

A2.6

SECTION 1



SECTION 2



0 30' 60'

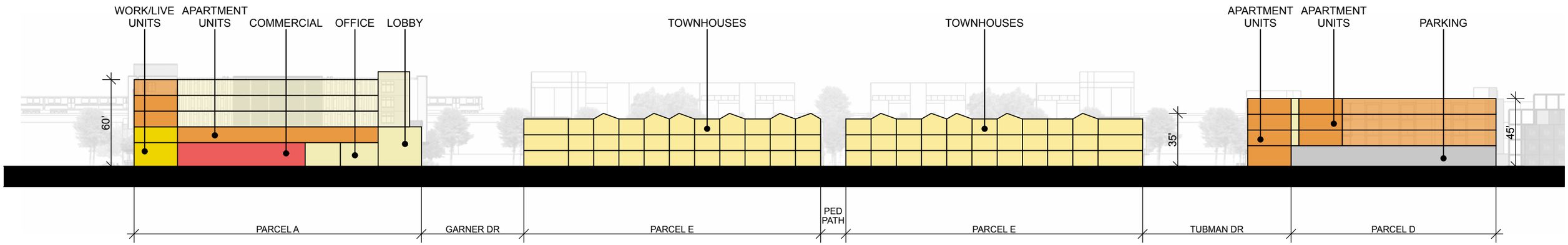
98TH AVENUE | SITE SECTIONS

OAKLAND, CA | 10/30/2020

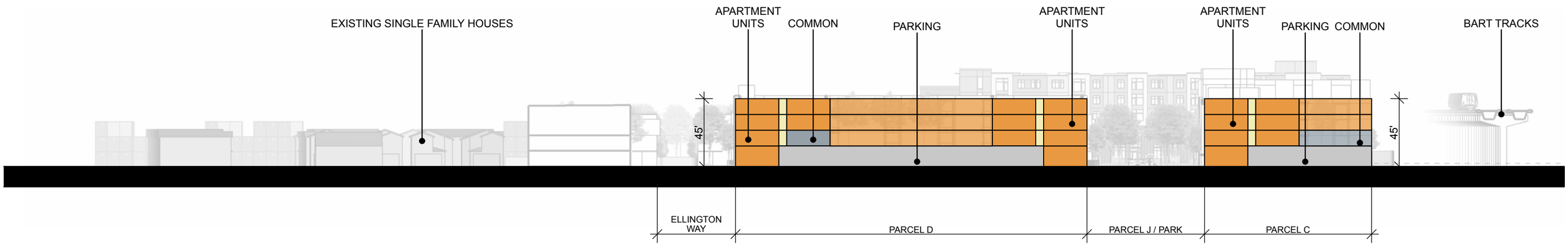
SANDIS
JETT Landscape Architecture + Design
VAN METER WILLIAMS POLLACK LLP

A3.1

SECTION 3



SECTION 4



0 30' 60'

98TH AVENUE | SITE SECTIONS

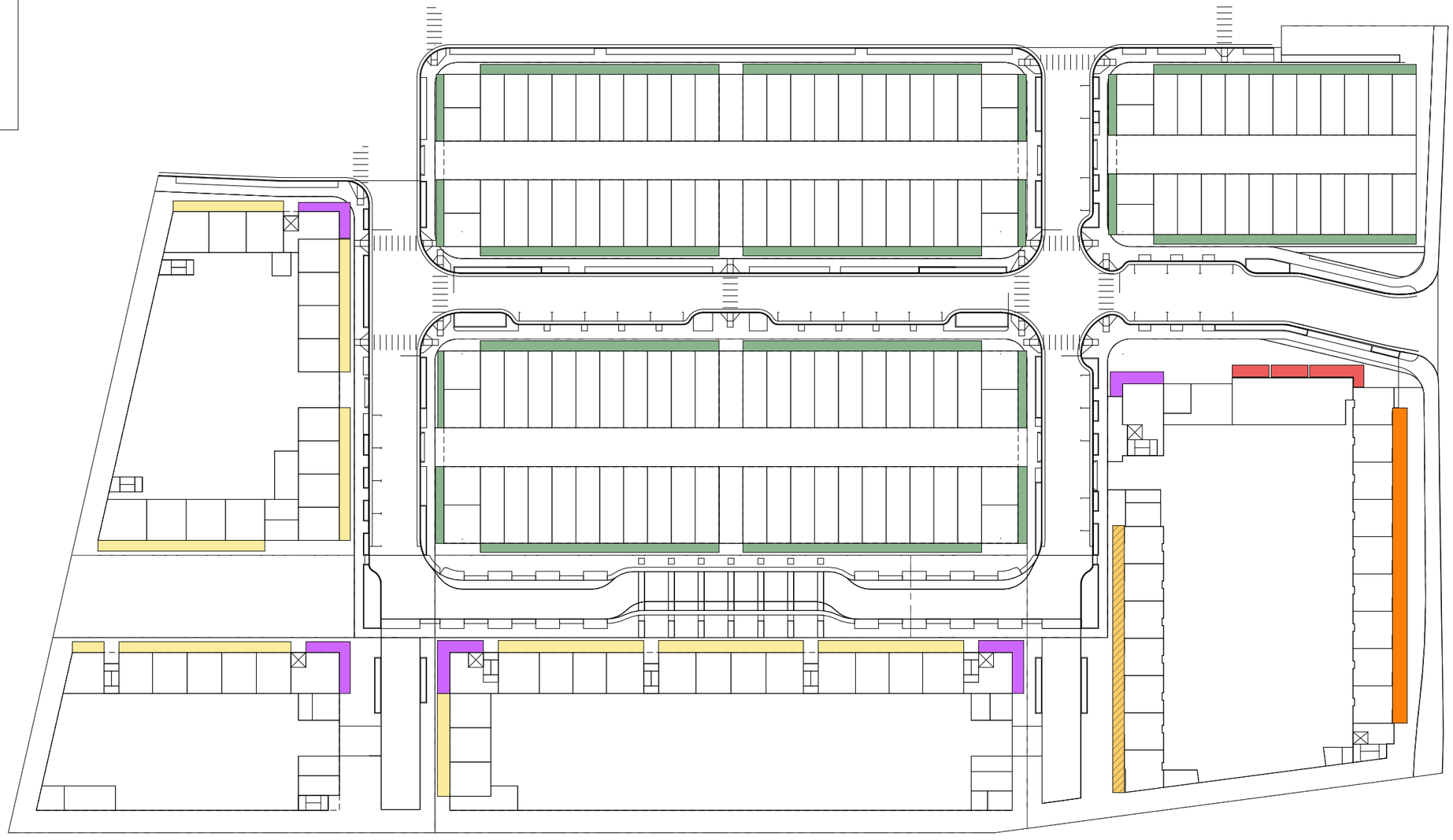
OAKLAND, CA | 10/30/2020

SANDIS
JETT Landscape Architecture + Design
VAN METER WILLIAMS POLLACK LLP

A3.2

LEGEND

- Work/Live
- Retail Signage
- Lobby Entries
- Live/Work
- Apartments
- Townhouses



0 40' 80'

98TH AVENUE | SIGNAGE PLAN

OAKLAND, CA | 10/30/2020

SANDIS
JETT Landscape Architecture + Design
VAN METER WILLIAMS POLLACK LLP

A4.1

1) WORK/LIVE AWNING SIGNAGE AND NUMBERS

2) RETAIL SIGNAGE - HORIZONTAL DISPLAY AND NUMBERS

3) LOBBY SIGNAGE - LIGHTED NUMBERS & NAME

4) LIVE/WORK SIGNAGE AND NUMBERS

5) LOWER LEVEL APARTMENT NUMBERS

6) TOWNHOUSE ENTRY NUMBERS

98TH AVENUE | SIGNAGE VIEWS

OAKLAND, CA | 10/30/2020

SANDIS JETT Landscape Architecture + Design

VAN METER WILLIAMS POLLACK LLP

A4.2

LEGEND

1. ENTRY PLAZA, SEE ENLARGEMENT PLAN
2. 98TH AVENUE FRONTAGE, SEE ENLARGEMENT PLAN
3. WOONERF, SEE ENLARGEMENT PLAN
4. PARK, SEE ENLARGEMENT PLAN
5. TYPICAL STREETSCAPE WITH SIDEWALK, STREET TREES, PLANTING, STREET LIGHTS, AND BIORETENTION TREATMENT, TYP. SEE STREET SECTIONS
6. PEDESTRIAN PASEO, SEE SECTIONS
7. (E) WALL ON PROPERTY LINE TO REMAIN
8. GOOD NEIGHBOR FENCE
9. (E) SIDEWALK TO REMAIN AT 98TH AVE
10. (E) 98TH AVENUE STREET TREE TO REMAIN, TYP
11. PLANTING AREA BETWEEN BUILDING AND (E) WALL. SELECTED VEGETATION TO NOT IMPEDE FIRE ACCESS.
12. PRIVATE DRIVE / EVAE ACCESS
13. BUFFER PLANTING
14. 9' TALL SOLID FENCE WITH GATE AND LOCK BOX FOR FIRE ACCESS

SEE SHEET L5.1 FOR CONCEPTUAL SITE FURNISHINGS IMAGERY.

LIGHTING LEGEND

- CITY OF OAKLAND STD STREET LIGHT
- (E) CITY OF OAKLAND STD STREET LIGHT
- PEDESTRIAN-SCALE POLE LIGHT
- BOLLARD LIGHT

SEE SHEET L1.2 FOR LIGHTING PLAN & IMAGERY

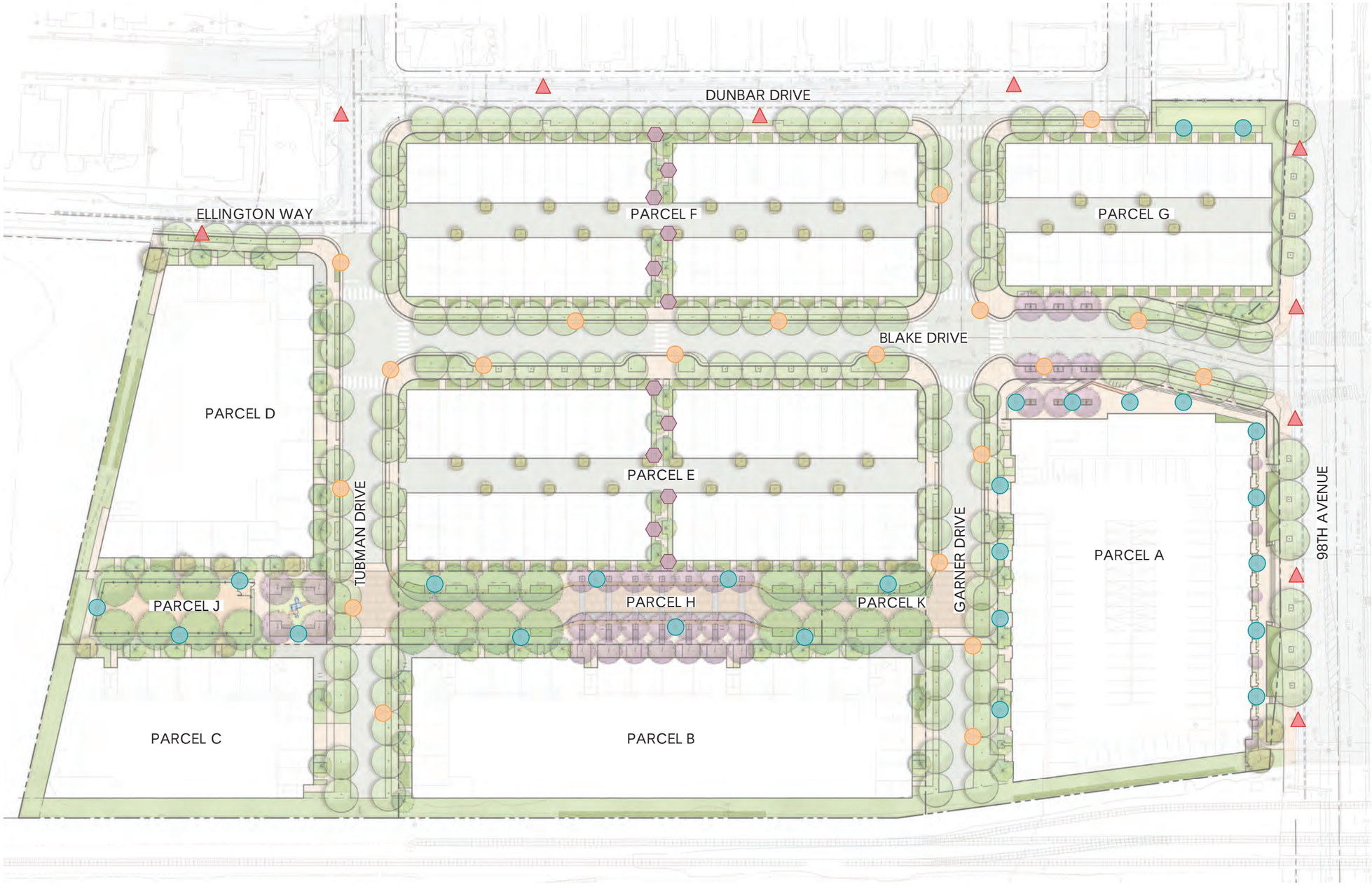
0 40' 80'

98TH AVENUE | LANDSCAPE PLAN

OAKLAND, CA | 10/30/2020

SANDIS JETT Landscape Architecture + Design VAN METER WILLIAMS POLLACK LLP

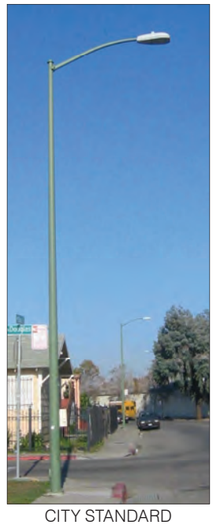
L1.1



LIGHTING LEGEND

- CITY OF OAKLAND STD STREET LIGHT
- (E) CITY OF OAKLAND STD STREET LIGHT
- PEDESTRIAN-SCALE POLE LIGHT
- BOLLARD LIGHT

LIGHT FIXTURE IMAGERY



CITY STANDARD STREET LIGHT

PEDESTRIAN-SCALE POLE LIGHT

BOLLARD LIGHT

0 40' 80'

98TH AVENUE | SITE LIGHTING PLAN

OAKLAND, CA | 10/30/2020

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JETT Landscape Architecture + Design
VAN METER WILLIAMS POLLACK LLP

L1.2

DUNBAR DRIVE

ELLINGTON WAY

PARCEL F

PARCEL G

BLAKE DRIVE

PARCEL D

TUBMAN DRIVE

PARCEL E

GARNER DRIVE

PARCEL A

98TH AVENUE

PARCEL J

PARCEL H

PARCEL K

PARCEL C

PARCEL B

BIKE PARKING LEGEND

- LOCATION OF BIKE RACKS
- (#) NUMBER OF BIKE RACKS
  NOTE: EACH BIKE RACK PROVIDES PARKING FOR 2 BICYCLES.

REQUIRED SHORT TERM PARKING:
28 BICYCLES (14 BIKE RACKS)

PROVIDED SHORT TERM PARKING:
78 BICYCLES (39 BIKE RACKS)

BIKE RACK STYLE AND LAYOUT WILL COMPLY WITH CITY OF OAKLAND STANDARDS.

BIKE RACKS

0 40' 80'

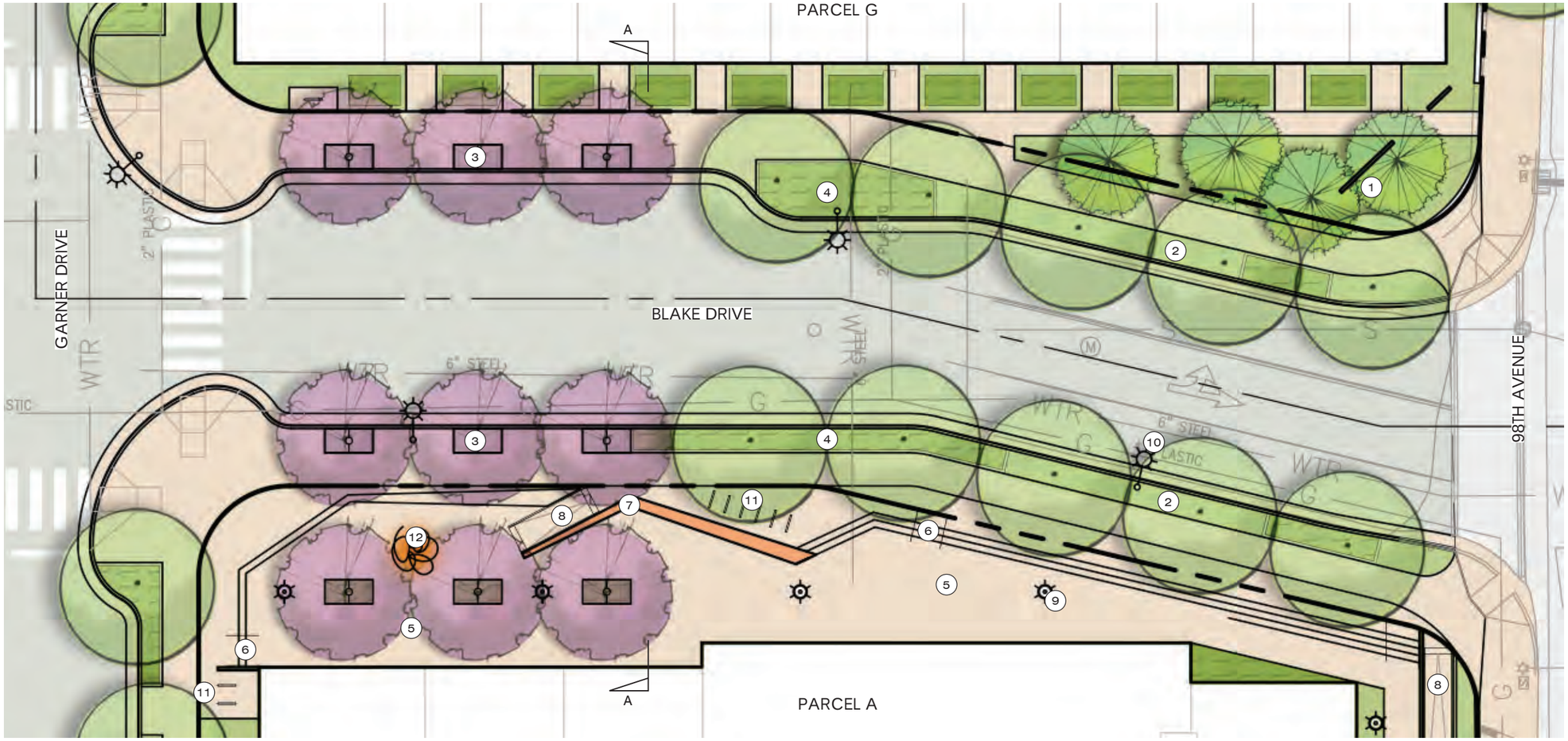
98TH AVENUE | BICYCLE PARKING PLAN

OAKLAND, CA | 10/30/2020

SANDIS JETT Landscape Architecture + Design

VAN METER WILLIAMS POLLACK LLP

LI.3



LEGEND

1. ACCENT ENTRY WALL
2. STREET TREE AND CONTINUOUS PLANTER STRIP, TYP
3. ACCENT TREES IN TREE GRATES, TYP
4. BIORETENTION PLANTERS, TYP
5. FLEXIBLE PATIO AREA
6. STEPS AND HANDRAILS, TYP
7. CONCRETE ACCENT WALL
8. ACCESSIBLE RAMPS, TYP
9. PEDESTRIAN-SCALE LIGHT POLES, TYP
10. STREET LIGHT, TYP
11. BIKE RACKS, TYP.
12. INTERACTIVE FURNITURE

SEE SHEET L5.1 FOR CONCEPTUAL SITE FURNISHINGS IMAGERY.

BIORETENTION PLANTING AT CURB

STEPPED PLAZA WITH ALLEE OF TREES INSPIRATION

INTERACTIVE FURNITURE

STEPPED PLAZA INSPIRATION

ACCENT WALL INSPIRATION

0 10' 20'

98TH AVENUE | ENTRY PLAZA ENLARGEMENT

OAKLAND, CA | 10/30/2020

SANDIS
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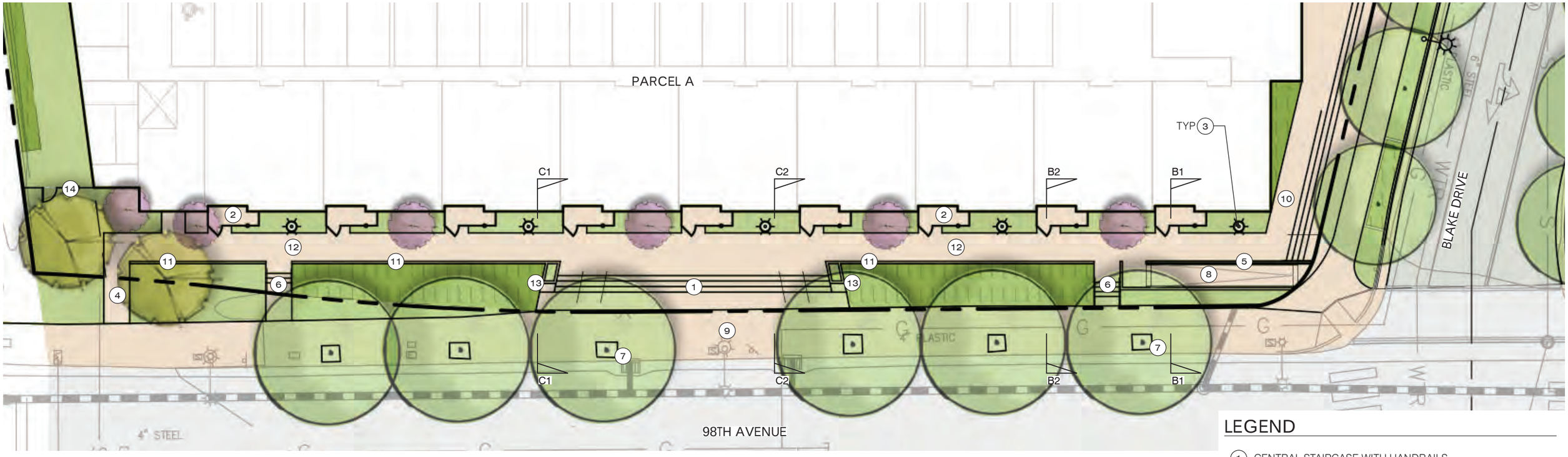
VAN METER WILLIAMS POLLACK LLP



LEGEND

1. CENTRAL STAIRCASE WITH HANDRAILS
2. ENCLOSED WORK/LIVE UNIT PATIOS, TYP
3. PEDESTRIAN SCALE POLE LIGHT, TYP
4. SLOPED WALK
5. CONCRETE ACCENT WALL
6. STAIRS WITH HANDRAILS, TYP
7. (E) 98TH AVENUE STREET TREE TO REMAIN, TYP.
8. ACCESSIBLE RAMP
9. (E) SIDEWALK TO REMAIN
10. ACCESS TO COMMERCIAL ENTRY PLAZA
11. CURB ALONG WALKWAY, TYP
12. 6'-0" WIDE ELEVATED WALKWAY
13. SEATWALL WITH RAISED PLANTER, TYP
14. 9' TALL SOLID FENCE WITH GATE AND LOCK BOX FOR FIRE ACCESS

SEE SHEET L5.2 FOR INSPIRATION IMAGERY & SHEET L5.3 FOR CONCEPTUAL RENDERINGS OF THE FRONTAGE. SEE SHEET L5.1 FOR CONCEPTUAL SITE FURNISHINGS IMAGERY.

0 10' 20'

98TH AVENUE | 98TH AVENUE FRONTAGE ENLARGEMENT

OAKLAND, CA | 10/30/2020

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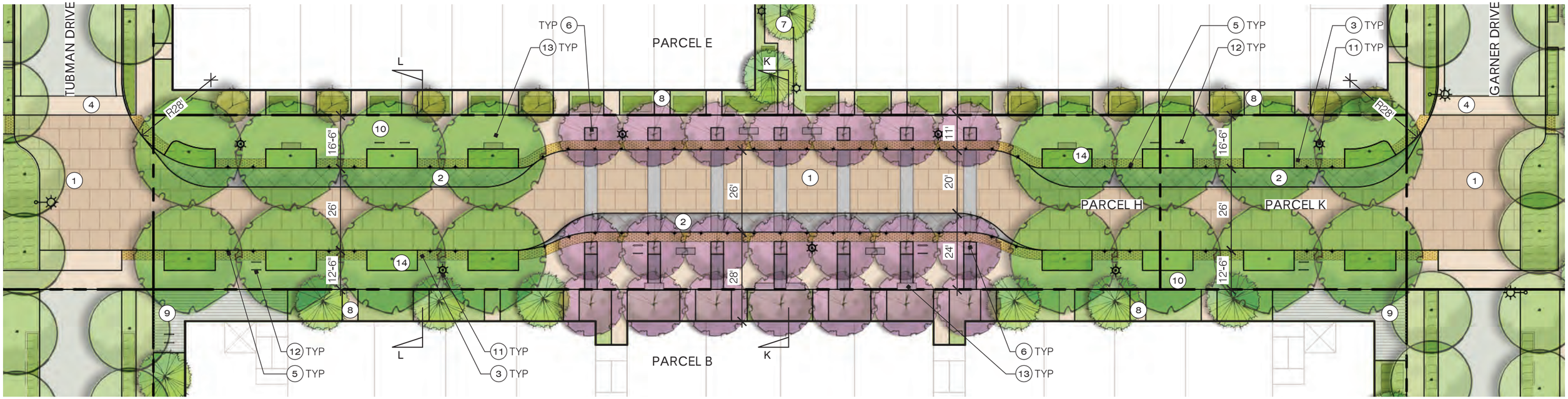
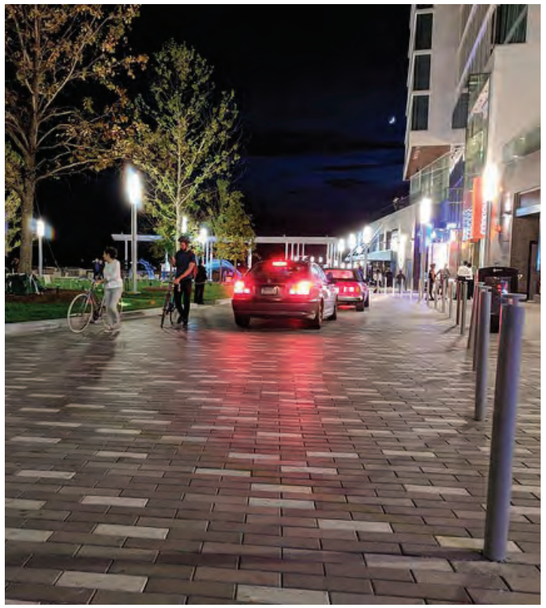
VAN METER WILLIAMS POLLACK LLP

L2.2



WOONERF WITH ENHANCED PAVING AND BUFFER PLANTING



WOONERF WITH ENHANCED PAVING AND BOLLARDS

TREE-LINED WOONERF

STAMPED ASPHALT PAVING

CONCRETE PAVERS

DETECTABLE WARNINIG TILES

LEGEND

1. STAMPED ASPHALT PAVING AT DRIVE AISLE, TYP
2. CONCRETE PAVERS AT EVA ZONE, TYP
3. DETECTABLE WARNINIG TILES, TYP
4. SPEED TABLE AT WOONDERF ENTRY, TYP OF 2
5. BOLLARDS, TYP
6. ACCENT TREES IN TREE GRATES, TYP
7. PASEO WITH BOLLARD LIGHTS
8. UNIT ENTRIES, TYP
9. LOBBY PLAZA WITH ACCENT PAVING, TYP
10. CONCRETE WALKWAY, TYP
11. PEDESTRIAN-SCALE LIGHT POLES, TYP
12. BIKE RACKS, TYP.
13. BENCH, TYP
14. LARGE SHADE TREES WITH BUFFER PLANTING, TYP

SEE SHEET L5.1 FOR CONCEPTUAL SITE FURNISHINGS IMAGERY AND SHEET L5.4 FOR WOONERF INSPIRATION IMAGERY.

0 15' 30'

ACCESSIBILITY NOTE: DETECTABLE WARNINIG TILES WILL BE USED TO INDICATE THE BOUNDARY BETWEEN PEDESTRIAN AND VEHICULAR ROUTES WHERE THERE IS A FLUSH INSTEAD OF A CURBED CONNECTION.

98TH AVENUE | WOONERF ENLARGEMENT

OAKLAND, CA | 10/30/2020

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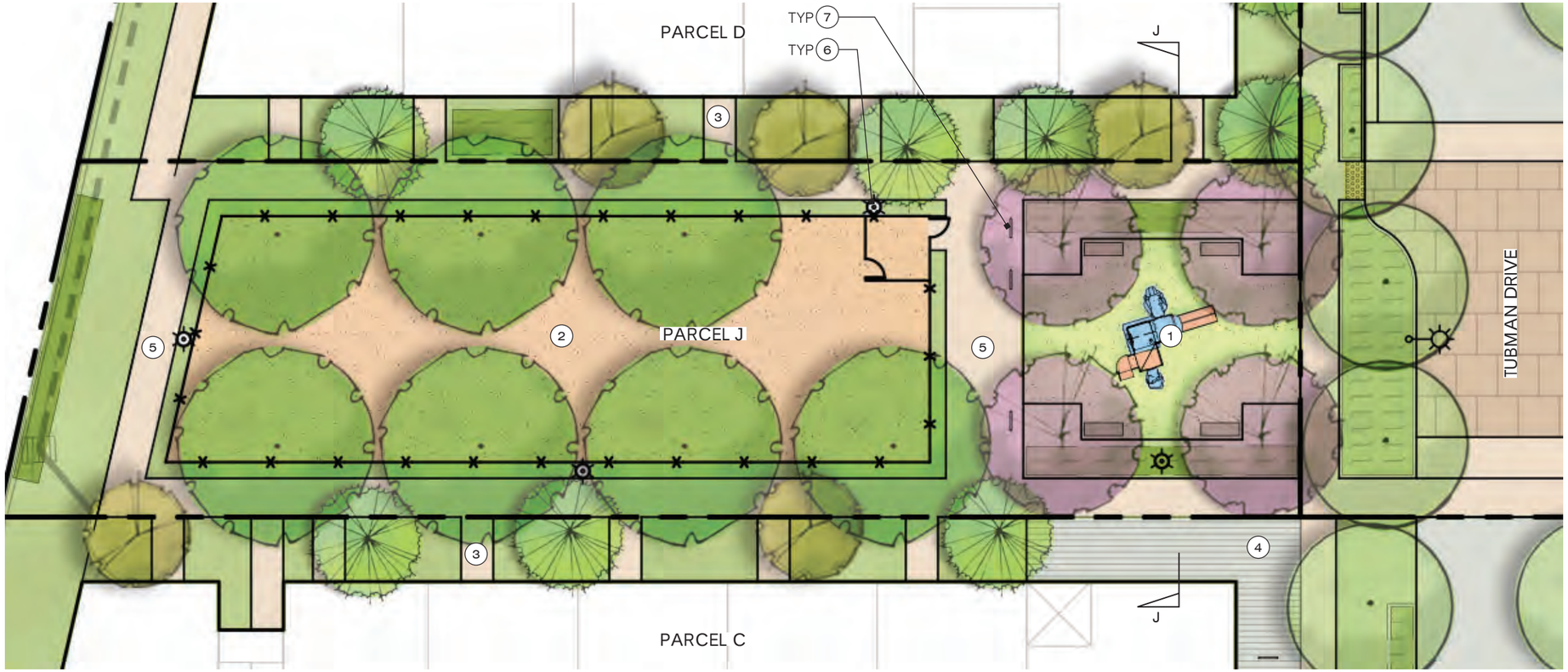
VAN METER WILLIAMS POLLACK LLP

L2.3



LEGEND

1. PLAY AREA WITH BENCH SEATING. OPPORTUNITY FOR ARTISTIC PLAY STRUCTURE AND/OR INCORPORATION OF ART ELEMENTS.
2. ENCLOSED DOG RUN
3. UNIT ENTRIES, TYP
4. LOBBY PLAZA WITH ACCENT PAVING
5. CONCRETE WALKWAY
6. PEDESTRIAN-SCALE LIGHT POLES, TYP
7. BIKE RACKS, TYP.

SEE SHEET L5.1 FOR CONCEPTUAL SITE FURNISHINGS IMAGERY.

ENCLOSED DOG RUN

CONCEPTUAL VIEW FROM TUBMAN DRIVE

PLAY AREA INSPIRATION

Spinnradl by WowHaus

Garden Guardians by WowHaus

Mosaic Sphere by True Mosaic Studio

Animaze by Peter Veres

Tiled Fish Play Sculpture by Indar Mosaics

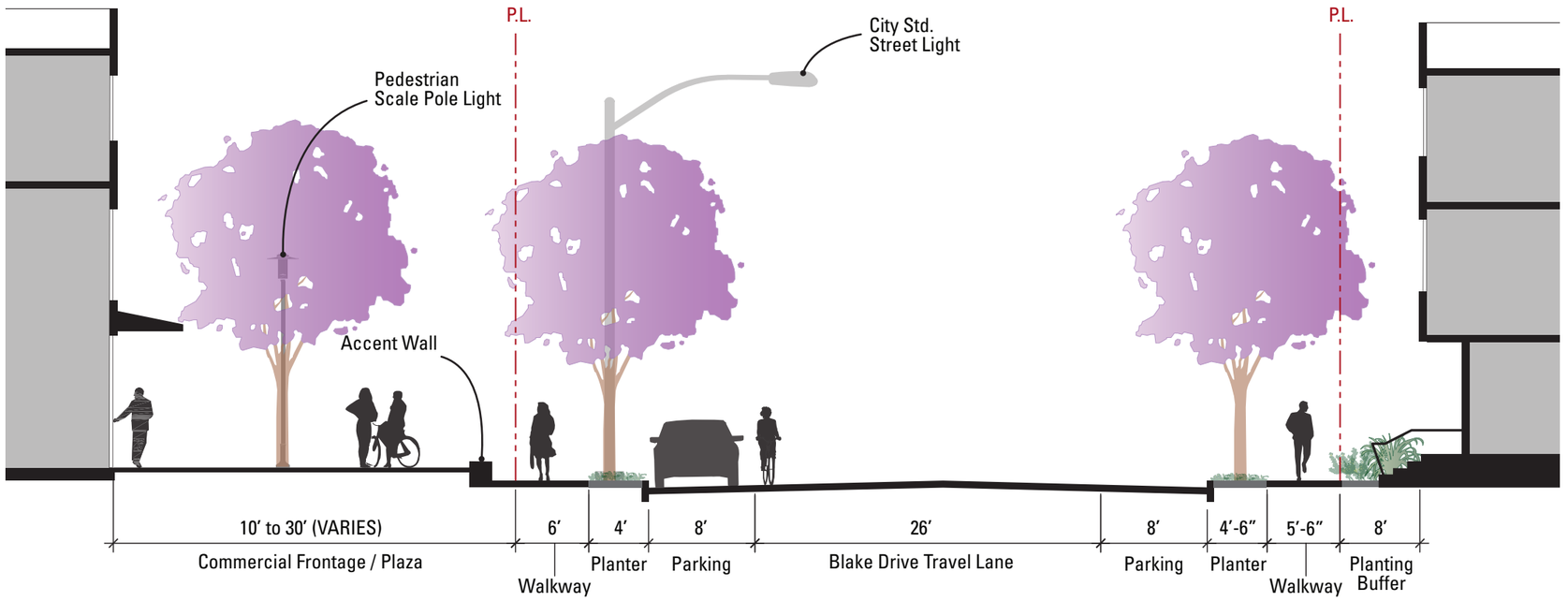
0 10' 20'

98TH AVENUE | PARK ENLARGEMENT

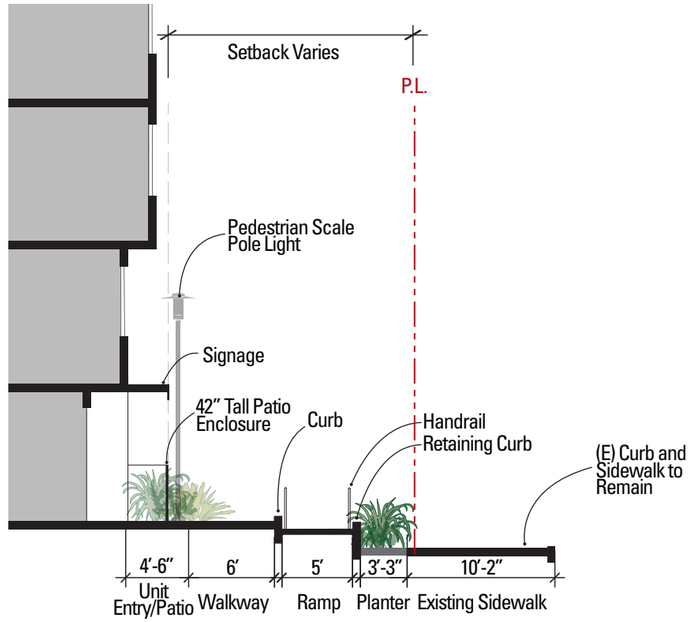
OAKLAND, CA | 10/30/2020

SANDIS JETT Landscape Architecture + Design VAN METER WILLIAMS POLLACK LLP

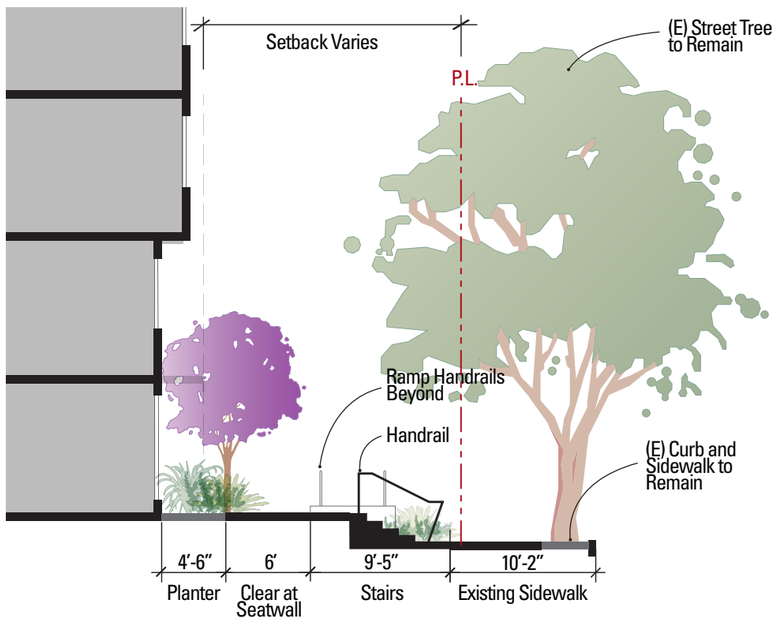
L2.5



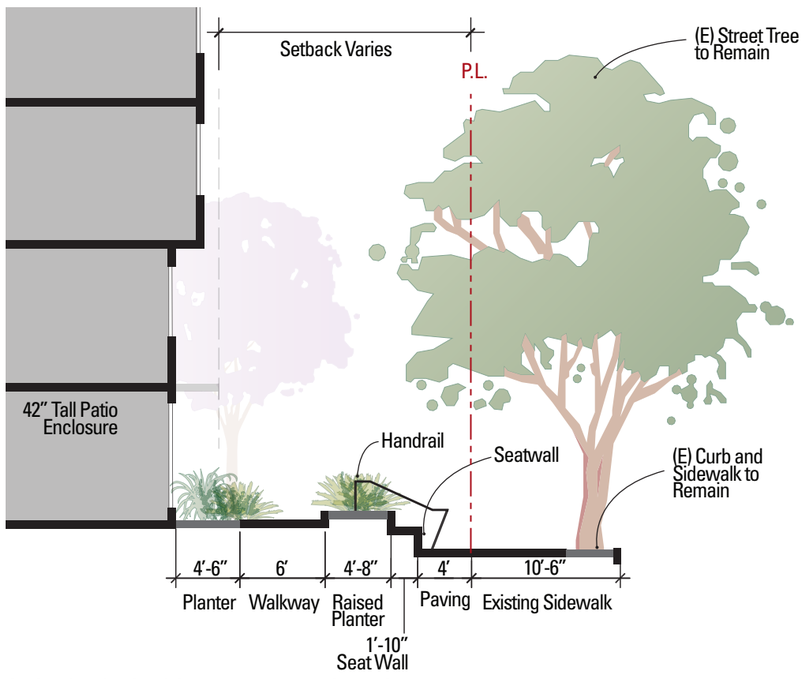
SECTION A-A. BLAKE DRIVE AT PLAZA



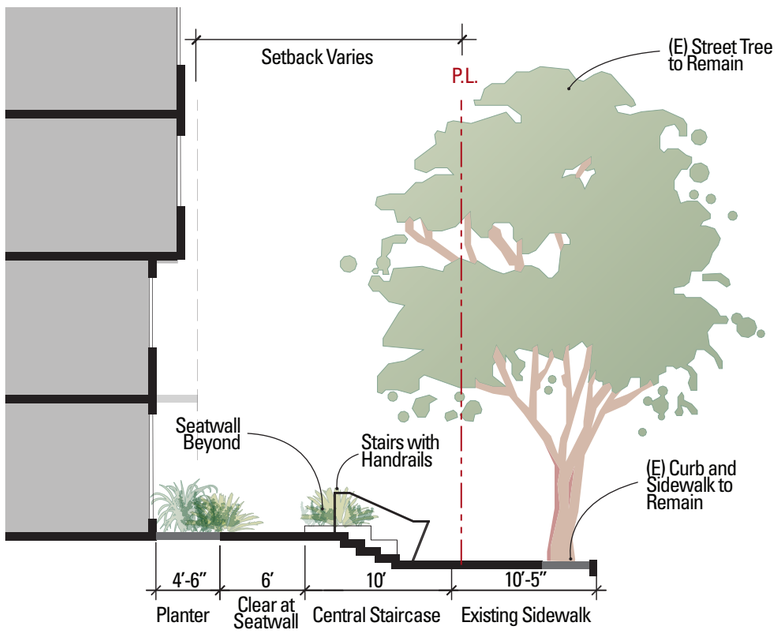
SECTION B1-B1. 98TH AVENUE FRONTAGE



SECTION B2-B2. 98TH AVENUE FRONTAGE



SECTION C1-C1. 98TH AVENUE FRONTAGE



SECTION C2-C2. 98TH AVENUE FRONTAGE

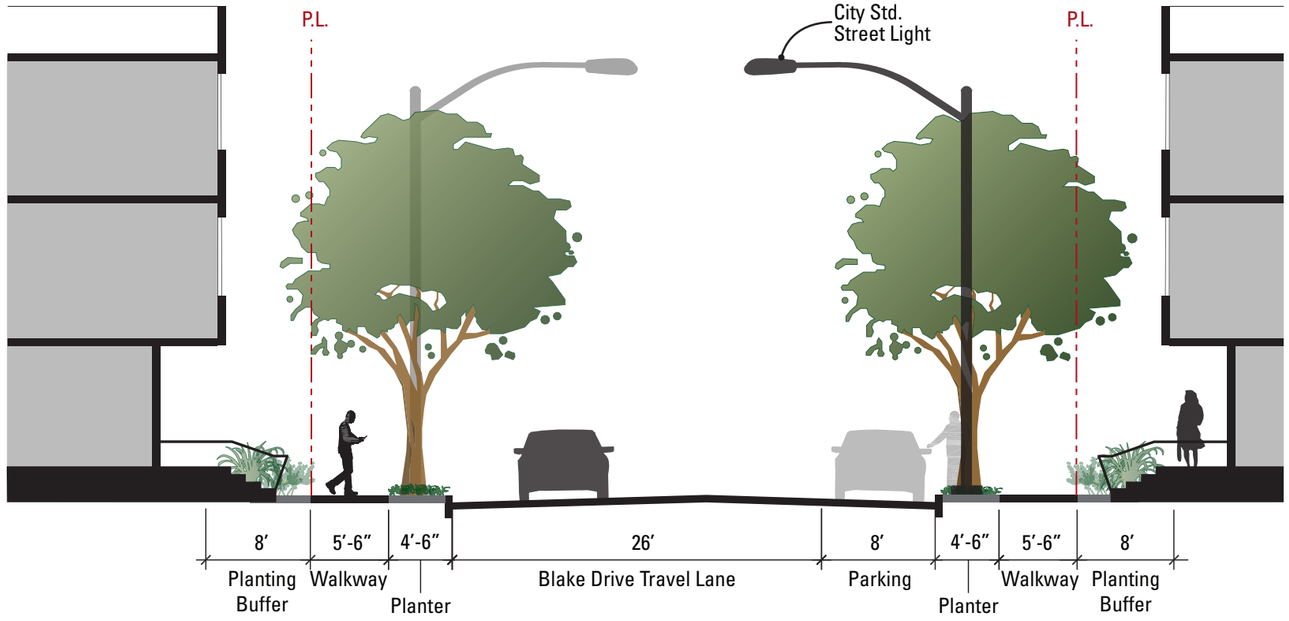
SCALE 3/32" = 1'-0"

98TH AVENUE | STREET SECTIONS

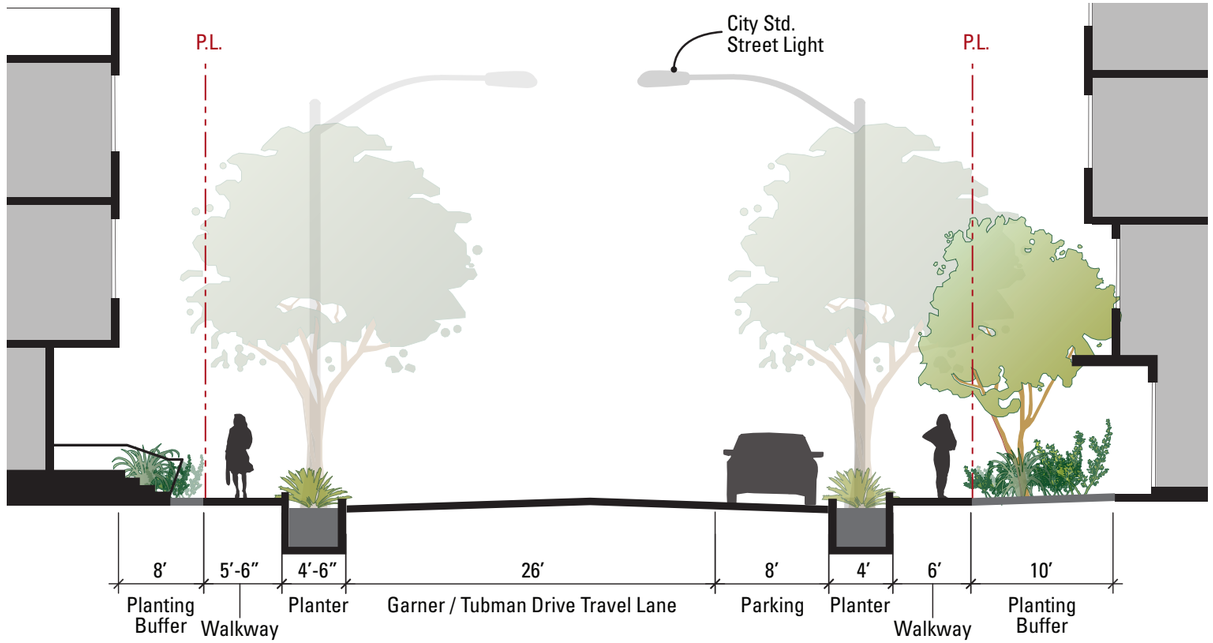
OAKLAND, CA | 10/30/2020

SANDIS
JETT Landscape Architecture + Design
VAN METER WILLIAMS POLLACK LLP

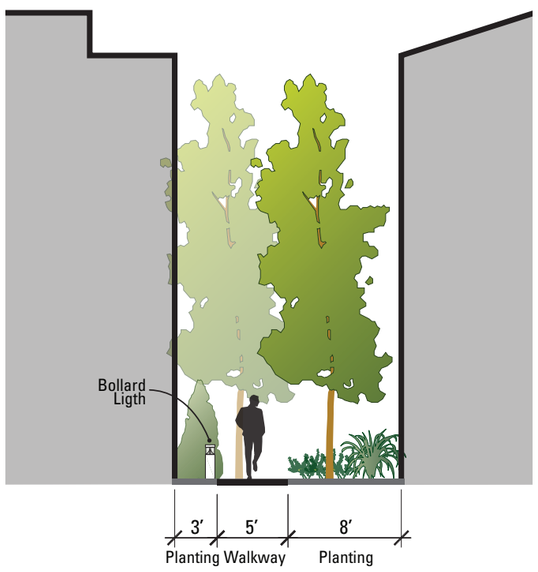
L3.1



SECTION D-D. TYPICAL BLAKE DRIVE

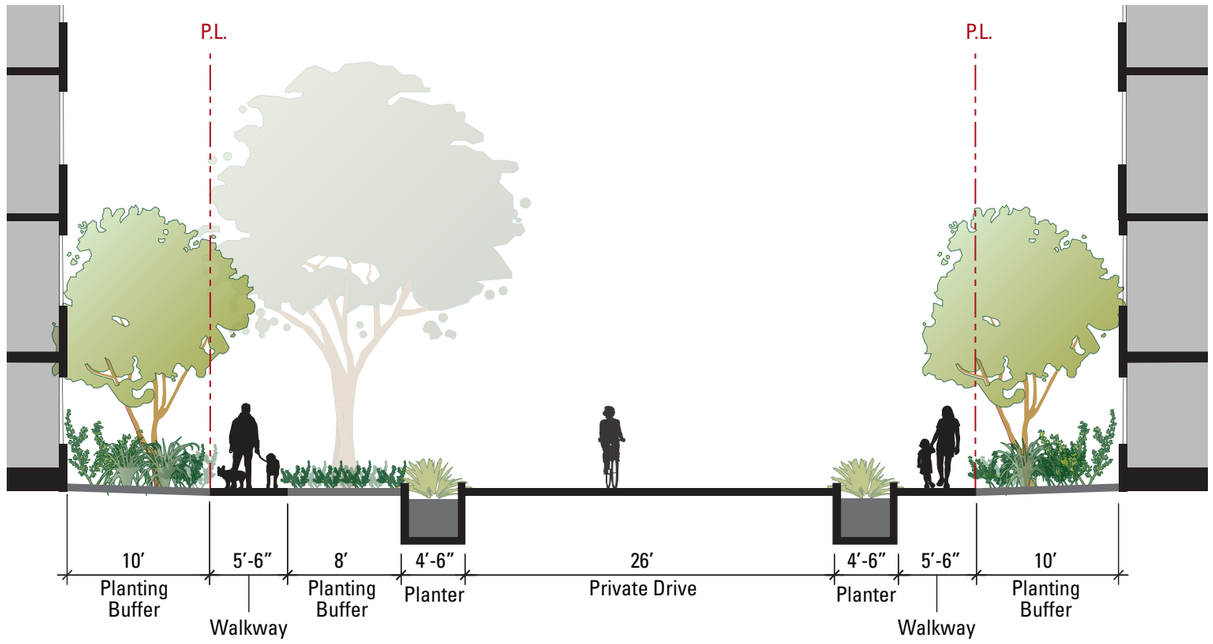


SECTION F-F. TYPICAL GARNER DRIVE & TUBMAN DRIVE



SECTION E-E. TYPICAL PASEO

SECTION G-G. TYPICAL TOWNHOUSE ALLEY



SECTION H-H. TYPICAL PRIVATE DRIVE

SCALE 3/32″ = 1′-0″

98TH AVENUE | STREET SECTIONS

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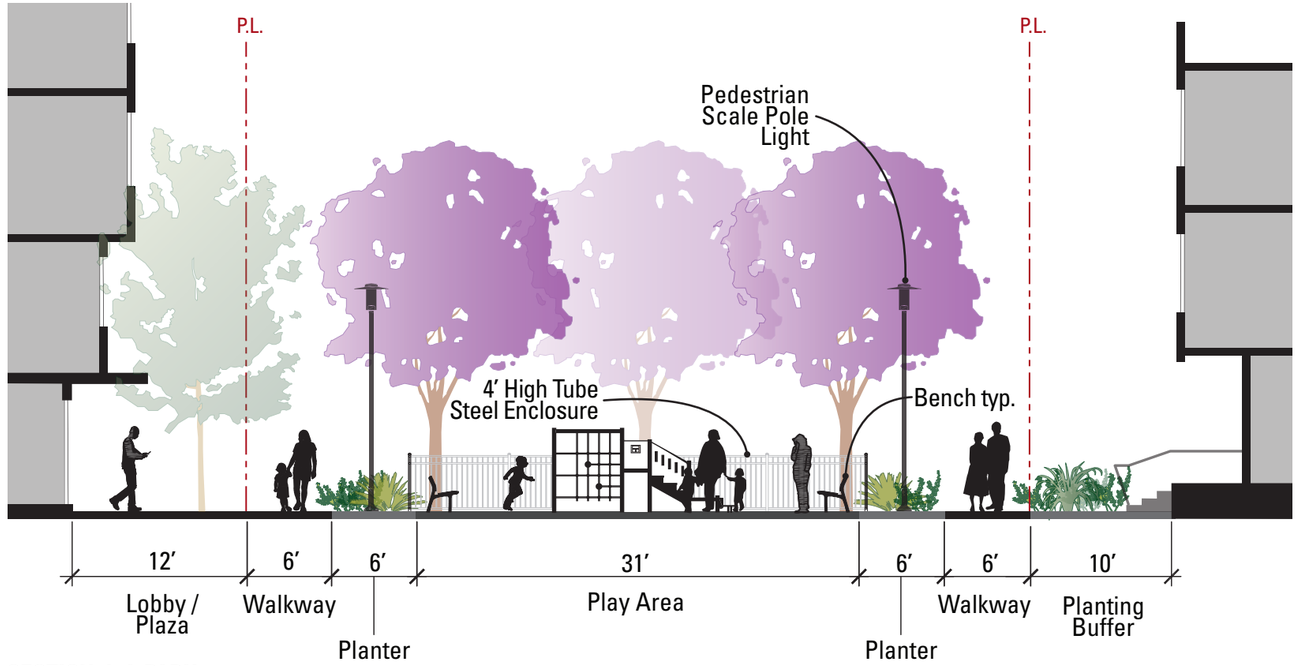
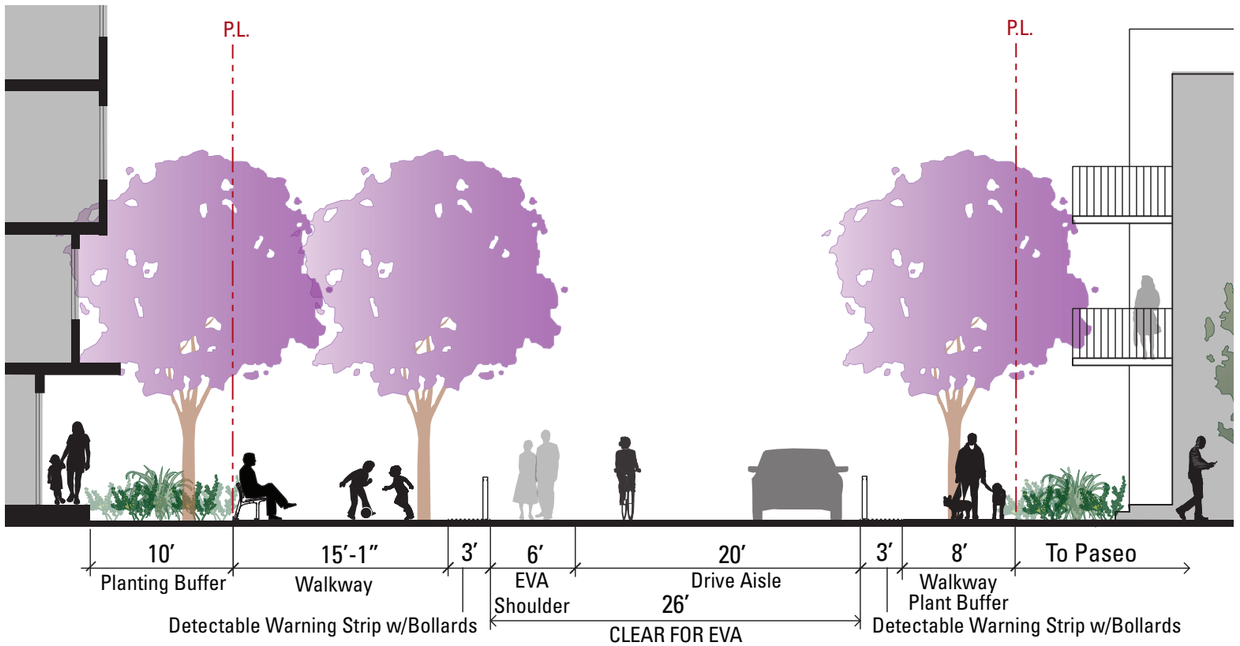
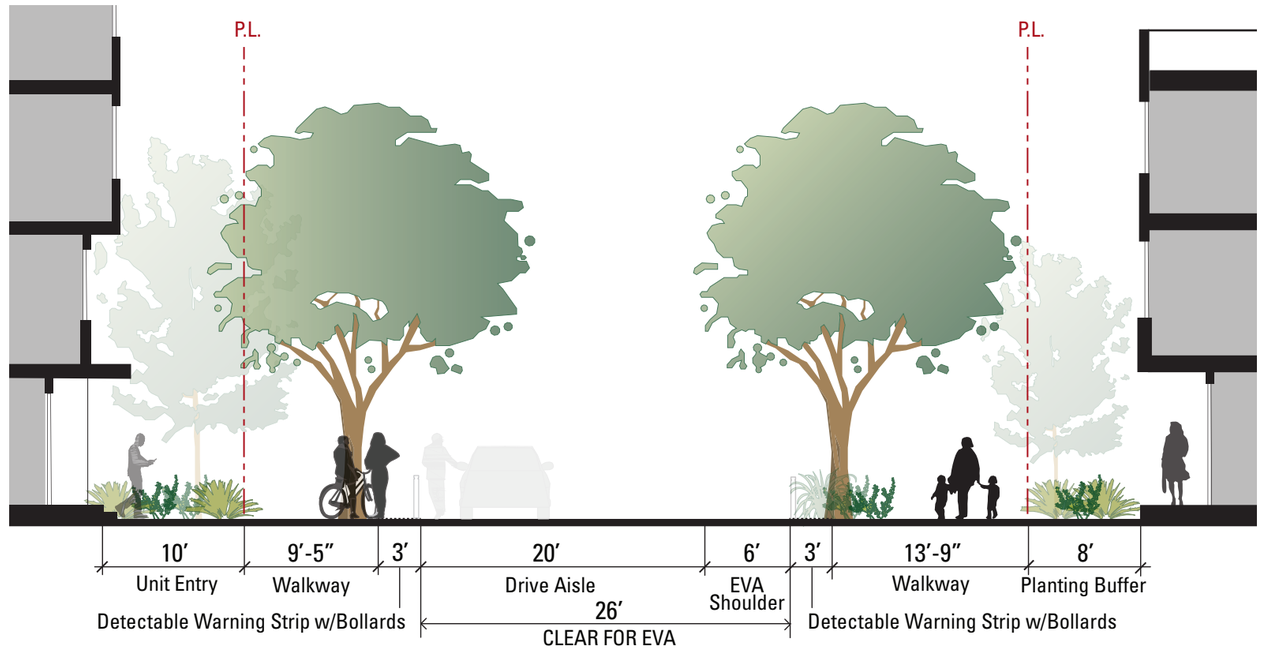


SECTION J-J. PARK



SECTION K-K. WOONERF

SCALE 3/32" = 1'-0"



SECTION L-L. WOONERF

98TH AVENUE | PARK / WOONERF SECTIONS

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PRELIMINARY PLANT PALETTE

BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS WATER USE
STREET TREES			
ACER NEGUNDO 'SENSATION'	SENSATION BOX ELDER	24" BOX	M
LAGERSTROEMIA 'MUSKOGEE'	LAVENDER CRAPE MYRTLE	24" BOX	L
QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	VL
QUERCUS PALUSTRIS	PIN OAK	24" BOX	M
TREES			
ACER PALMATUM	JAPANESE MAPLE	24" BOX	M
ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	24" BOX	L
GINKGO BILOBA	MAIDENHAIR TREE	24" BOX	M
CERCIS CANADENSIS	EASTERN REDBUD	24" BOX	M
LAGERSTROEMIA 'NATCHEZ'	WHITE CRAPE MYRTLE	24" BOX	L
LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	M
OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX	VL
QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	VL
TIBOUCHINA URVILLEANA	PRINCESS FLOWER	24" BOX	M
LARGE SHRUBS			
CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH	5 GAL	L
LOROPETALUM C. 'CAROLINA MOONLIGHT'	CHINESE FRINGE FLOWER	5 GAL	L
PITTOSPORUM TENUIFOLIUM	KOHUHU	5 GAL	M
PODOCARPUS M. MAKI	SHRUBBY YEW PINE	5 GAL	M
WESTRINGIA 'BLUE GEM'	BLUE GEM WESTRINGIA	5 GAL	L
MEDIUM AND SMALL SHRUBS			
ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL	L
ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	1 GAL	L
ANIGOZANTHOS 'BUSH GOLD'	DWARF KANGAROO PAW	1 GAL	L
AGAVE ATTENUATA 'NOVA'	BLUE FOX TAIL AGAVE	5 GAL	L
ASPIDISTRA ELATIOR	CAST IRON PLANT	1 GAL	L
CALAMAGROSTIS 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	L
CISTUS X PURPUREUS	ORCHID ROCKROSE	5 GAL	L
ECHEVERIA IMBRICATA	BLUE ROSE ECHEVERIA	1 GAL	L
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	5 GAL	M
HESPERALOE PARVIFOLIA 'BRAKELIGHT'	BRAKELIGHT YUCCA	1 GAL	L
LIMONIUM PEREZII	SEA LAVENDER	1 GAL	L
LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	L
LOROPETALUM 'SUZANNE'	SUZANNE FRINGE FLOWER	5 GAL	L
MAHONIA 'SOFT CARESS'	SOFT CARESS MAHONIA	1 GAL	L
PHORMIUM 'MAORI QUEEN'	NEW ZEALAND FLAX	5 GAL	L
PHORMIUM 'YELLOW WAVE'	NEW ZEALAND FLAX	5 GAL	L
PITTOSPORUM TOBIRA	CRÈME DE MINT MOCK ORANGE	1 GAL	L
SALVIA 'HEATWAVE BLAST'	HEATWAVE BLAST SAGE	1 GAL	L
SALVIA LEUCANTHA 'MIDNIGHT'	MEXICAN BUSH SAGE	5 GAL	L
SARCOCOCCA RUSCIFOLIA	SWEETBOX	5 GAL	L
GROUNDCOVERS			
ACHILLEA MILLEFOLIUM 'PAPRIKA'	YARROW	1 GAL	L
ARCTOSTAPHYLOS E. 'EMERALD CARPET'	MANZANITA	1 GAL	L
CEANOTHUS GRISEUS 'DIAMOND HEIGHTS'	CALIFORNIA LILAC	1 GAL	L
ERIGERON GLAUCUS	FLEABANE	1 GAL	L
MYOPORUM PARVIFOLIA	MYOPORUM	1 GAL	L
SENECIO MANDRALISCAE	KLEINIA	1 GAL	L
VINES			
HARDENBERGIA VIOLACEA	PURPLE LILAC VINE	5 GAL	M
PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	5 GAL	M
STORMWATER			
ACHILLEA MILLEFOLIUM 'MOONSHINE'	MOONSHINE YARROW	1 GAL	L
CHONDROPETALUM TECTORUM	CAPE RUSH	1 GAL	L
JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL	L
MIMULUS CARDINALIS	SCARLET MONKEY FLOWER	1 GAL	L
RHAMNUS C. 'MOUND SAN BRUNO'	COFFEEBERRY	1 GAL	L
SALVIA SONOMENSIS	CREEPING SAGE	1 GAL	L

*STREET TREES APPROPRIATE FOR BIORETENTION AREAS PER ALAMEDA COUNTYWIDE CLEAN WATER PROGRAM APPENDIX B.

PLANT IMAGERY

IRRIGATION DESIGN INTENT

1. THESE PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), THE CITY OF OAKLAND, AND ALAMEDA COUNTY WATER DISTRICT
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
3. THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP AND BUBBLER DISTRIBUTION, AND ROTORS WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE.
4. ALL SELECTED COMPONENTS SHALL BE PERMANENT, COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE AND MINIMUM MAINTENANCE REQUIREMENT, INSTALLED BELOW-GRADE, AND DESIGNED FOR 100% COVERAGE.
5. THE SYSTEM SHALL INCLUDE A MASTER CONTROL VALVE AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO DELIVER WATER TO HYDROZONES BASED ON MOISTURE REQUIREMENTS OF THE PLANT GROUPING.

PLANTING DESIGN INTENT

1. A MINUMUM OF (1) 15-GALLON TREE TO BE LOCATED EVERY 25' OF STREET FRONTAGE OR PORTION THEREOF. ON STREETS WITH SIDEWALKS WHERE THE DISTANCE FROM THE FACE OF THE CURB TO THE OUTER EDGE OF THE SIDEWALK IS AT LEAST 6'-6", THE TREES SHALL BE A STREET TREE TO THE SATISFACTION OF THE CITY'S TREE DIVISION.
2. ALL TREES WITHIN 5' OF PAVEMENT SHALL USE TREE ROOT BARRIERS.
3. THE PLANTING DESIGN SHALL UTILIZE A VARIETY OF MEDITERRANEAN-STYLE, NATIVE, AND DROUGHT-TOLERANT PLANT SPECIES TO CREATE LAYERS OF COLOR AND TEXTURE TO COMPLEMENT THE ARCHITECTURE AND SETTING.
4. PLANT SPECIES SHALL BE SELECTED BASED ON LOCAL CLIMATE SUITABILITY, DISEASE AND PEST RESISTANCE, AND WATER-USE AS LISTED IN THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) PLANT LIST, WUCOLS IV.
5. 80% OF PLANT MATERIAL TO BE NATIVE OR LOW WATER USE AND FOLLOW MWELO GUIDELINES.
6. TURF/LAWN SHALL NOT EXCEED 10% OF THE LANDSCAPE AREA. TURF SPECIES SHALL BE A FESCUE-BLEND TURF GRASS TO MINIMIZE WATER CONSUMPTION.
7. NO PLANT CONSIDERED INVASIVE IN THE REGION AS LISTED BY THE CAL-IPC WILL BE USED.
8. THE PLANTING DESIGN SHALL ALLOW FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE TO ELIMINATE THE NEED FOR EXCESSIVE PRUNING OR HEDGING.
9. PLANTS SHALL BE GROUPED IN HYDROZONES BASED ON WATER USE AND EXPOSURE.
10. TREE LOCATIONS SHALL BE DESIGNED FOR MAXIMUM AESTHETIC EFFECTS AND PASSIVE SOLAR BENEFITS, CREATING SUMMER SHADE AND WINTER SUN EXPOSURE.
11. ALL PLANTING AREAS SHALL RECEIVE A 3-INCH LAYER OF MULCH.
12. TREES/UTILITY CLEARANCE GUIDELINES:

5' CLEARANCE:	UTILITY & LIGHT POLES (NO LIGHT) RESIDENTIAL DRIVEWAYS FIRE HYDRANTS WATER OR GAS METERS VALVE BOXES SEWER LINES
10' CLEARANCE:	COMMERCIAL DRIVEWAYS UNDERGROUND ELECTRICAL GAS SEWER MAINS WATER MAINS BASEMENTS
20' CLEARANCE:	LIGHT POLES WITH LIGHTS INTERSECTIONS (FROM SIDE STREET CURB FACE TO FIRST STREET TREE)

CITY STANDARD STREET LIGHT

PEDESTRIAN-SCALE POLE LIGHT

BOLLARD LIGHT

SEAT WALL

GOOD NEIGHBOR FENCE

TREE GRATE

RECEPTACLES

BIKE RACKS

BENCH

98TH AVENUE | CONCEPTUAL SITE FURNISHINGS AND MATERIALS

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98TH AVENUE | INSPIRATION - WORK/LIVE UNITS FACING 98TH AVENUE

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98TH AVENUE | CONCEPTUAL RENDERINGS - WORK/LIVE UNITS FACING 98TH AVENUE

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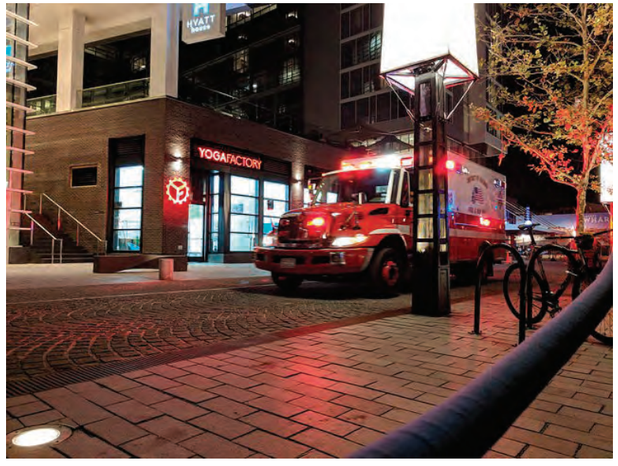

98TH AVENUE | INSPIRATION - WOONERF/SHARED STREET

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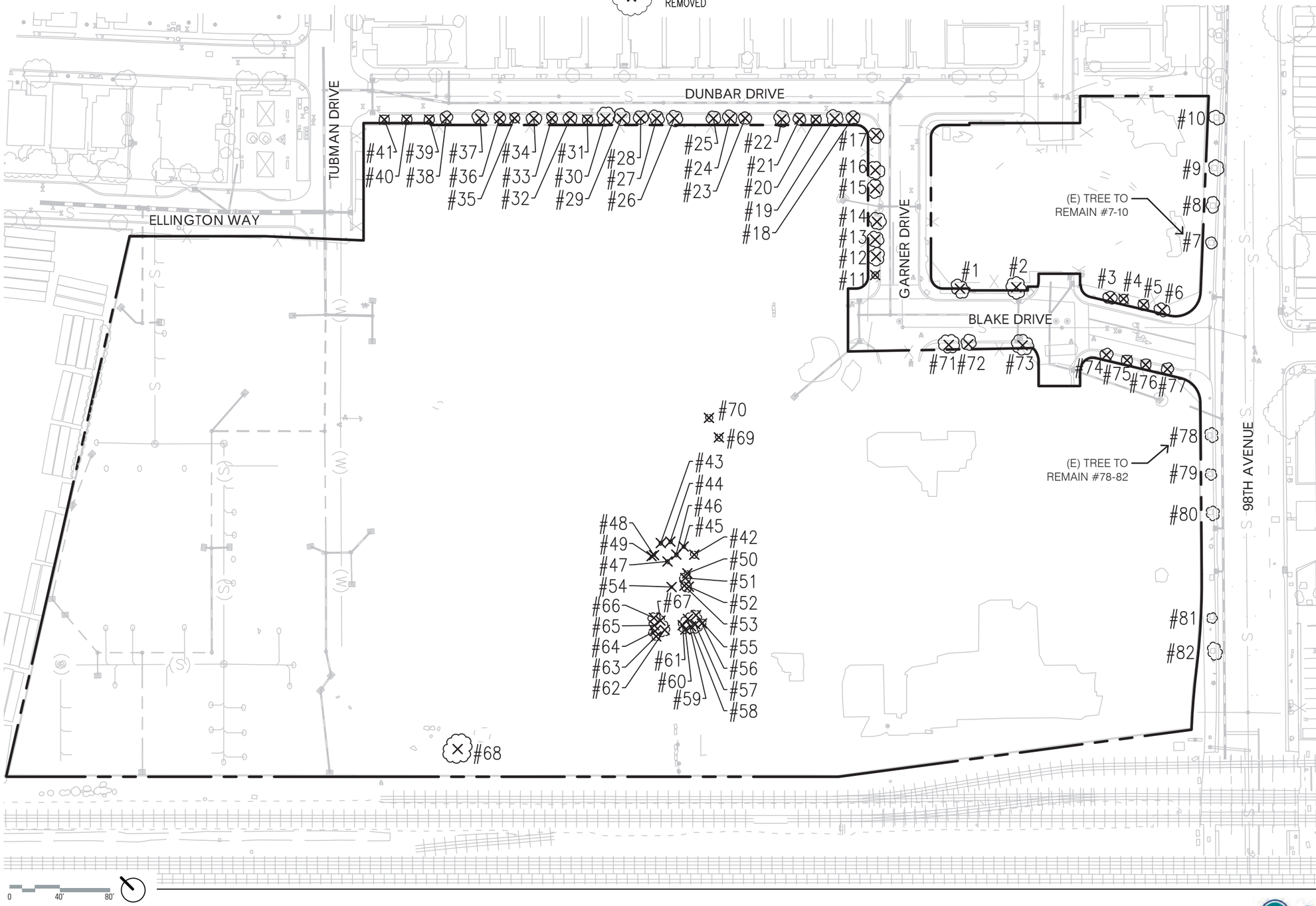
LEGEND

TREE TO BE REMOVED

NOTES

1. DBH IS THE TRUNK DIAMETER MEASURED AT FOUR AND ONE-HALF FEET ABOVE THE GROUND PER CITY OF OAKLAND MUNICIPAL CODE 12.36.020.



EXISTING TREE LIST

#	TYPE	DBH	STATUS	TO BE REMOVED
1	PYRUS	8"	HEALTHY	YES
2	PYRUS	8"	HEALTHY	YES
3	PYRUS	5"	HEALTHY	YES
4	PYRUS	3"	HEALTHY	YES
5	PYRUS	4"	HEALTHY	YES
6	PYRUS	5"	HEALTHY	YES
7	PYRUS	5"	HEALTHY	NO
8	PYRUS	6"	HEALTHY	NO
9	PYRUS	7"	HEALTHY	NO
10	PYRUS	6"	HEALTHY	NO
11	PYRUS	3"	HEALTHY	YES
12	PYRUS	6"	HEALTHY	YES
13	PYRUS	6"	HEALTHY	YES
14	PYRUS	7"	HEALTHY	YES
15	PYRUS	4"	HEALTHY	YES
16	PYRUS	7"	HEALTHY	YES
17	PYRUS	6"	HEALTHY	YES
18	PYRUS	5"	HEALTHY	YES
19	PYRUS	5"	HEALTHY	YES
20	FIEJOA SELLOWIANA	1"	HEALTHY	YES
21	PYRUS	4"	HEALTHY	YES
22	PYRUS	6"	HEALTHY	YES
23	FIEJOA SELLOWIANA	.5"	HEALTHY	YES
24	PYRUS	4"	HEALTHY	YES
25	PYRUS	5"	HEALTHY	YES
26	PYRUS	6"	HEALTHY	YES
27	PYRUS	6"	HEALTHY	YES
28	PYRUS	4"	HEALTHY	YES
29	PYRUS	5"	HEALTHY	YES
30	PYRUS	4"	HEALTHY	YES
31	FIEJOA SELLOWIANA	.5"	DEAD	YES
32	PYRUS	5"	HEALTHY	YES
33	PYRUS	4"	HEALTHY	YES
34	PYRUS	5"	HEALTHY	YES
35	PYRUS	3"	HEALTHY	YES
36	PYRUS	3"	HEALTHY	YES
37	PYRUS	5"	HEALTHY	YES
38	FIEJOA SELLOWIANA	.5"	DEAD	YES
39	PYRUS	4"	HEALTHY	YES
40	PYRUS	5"	HEALTHY	YES
41	FIEJOA SELLOWIANA	.5"	HEALTHY	YES
42	FIEJOA SELLOWIANA	.5"	HEALTHY	YES
43	ACACIA	.5"	HEALTHY	YES
44	ACACIA	1"	HEALTHY	YES
45	ACACIA	.5"	HEALTHY	YES
46	ACACIA	.5"	HEALTHY	YES
47	ACACIA	.5"	HEALTHY	YES
48	ACACIA	1"	HEALTHY	YES
49	ACACIA	.5"	HEALTHY	YES
50	ACACIA	1.5"	HEALTHY	YES
51	ACACIA	.5"	HEALTHY	YES
52	ACACIA	1.5"	HEALTHY	YES
53	ACACIA	1"	HEALTHY	YES
54	ACACIA	4"	HEALTHY	YES
55	ACACIA	1.5"	HEALTHY	YES
56	ACACIA	1.5"	HEALTHY	YES
57	ACACIA	1"	HEALTHY	YES
58	ACACIA	1.5"	HEALTHY	YES
59	ACACIA	1"	HEALTHY	YES
60	ACACIA	1"	HEALTHY	YES
61	ACACIA	3.5", 3"	HEALTHY	YES
62	ACACIA	.5"	HEALTHY	YES
63	ACACIA	.5"	HEALTHY	YES
64	ACACIA	.5"	HEALTHY	YES
65	ACACIA	.5"	HEALTHY	YES
66	ACACIA	.25"	HEALTHY	YES
67	ACACIA	.25"	HEALTHY	YES
68	ACACIA	7", 7", 6", 6", 5", 6"	HEALTHY	YES
69	ACACIA	2", 2"	HEALTHY	YES
70	ACACIA	1"	HEALTHY	YES
71	PYRUS	9"	HEALTHY	YES
72	PYRUS	6"	HEALTHY	YES
73	PYRUS	7"	HEALTHY	YES
74	PYRUS	5"	HEALTHY	YES
75	PYRUS	4"	HEALTHY	YES
76	PYRUS	3"	HEALTHY	YES
77	PYRUS	5"	HEALTHY	YES
78	PYRUS	5"	HEALTHY	NO
79	PYRUS	4"	HEALTHY	NO
80	PYRUS	5"	HEALTHY	NO
81	PYRUS	(9) 1" STEMS	HEALTHY	NO
82	PYRUS	6"	HEALTHY	NO

98TH AVENUE | TREE PRESERVATION AND REMOVAL PLAN

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98TH / SAN LEANDRO
DESIGN GUIDELINES

MAY 26, 2020

VAN METER
WILLIAMS
POLLACK LLP

TABLE OF CONTENTS

1.0 INTRODUCTION

1.1 VISION

98th/San Leandro is located in a historically industrial zone in East Oakland (See Figure 1.1), with storage and manufacturing uses fronting the site on three sides. As is common in HBX zones, each of the frontages adjacent to 98th/San Leandro presents very different contexts. 98th Avenue is a five-lane arterial truck route connecting the Nimitz Freeway to International Blvd. The western edge of the site is layered with an active Union Pacific rail line, elevated BART tracks and the primarily industrial San Leandro Boulevard. Arcadia Park, a single-family home development, is directly adjacent to the east (See Figure 1.2). 98th/San Leandro will replace what is currently a blighted, vacant lot with a vibrant new mixed-use neighborhood that serves as a bridge between the surrounding industrial and residential uses.

This dense residential development will become home to a diverse mix of residents and help to improve the safety of the neighborhood by providing "eyes on the streets" and connect to the existing residential neighborhood across Dunbar Drive.

The design of 98th/San Leandro will take cues from the industrial past while emphasizing the new pedestrian oriented, residential neighborhood. Strong building forms will front 98th Avenue to establish a prominent street presence, while providing protection from the street's traffic, and emphasizing the gateway at Blake Drive. The street character, open space and pedestrian experience within the neighborhood will create an active, pedestrian oriented community that provides a mix of high-quality work/live, live/work, residential units and commercial space in the urban neighborhood of East Oakland.

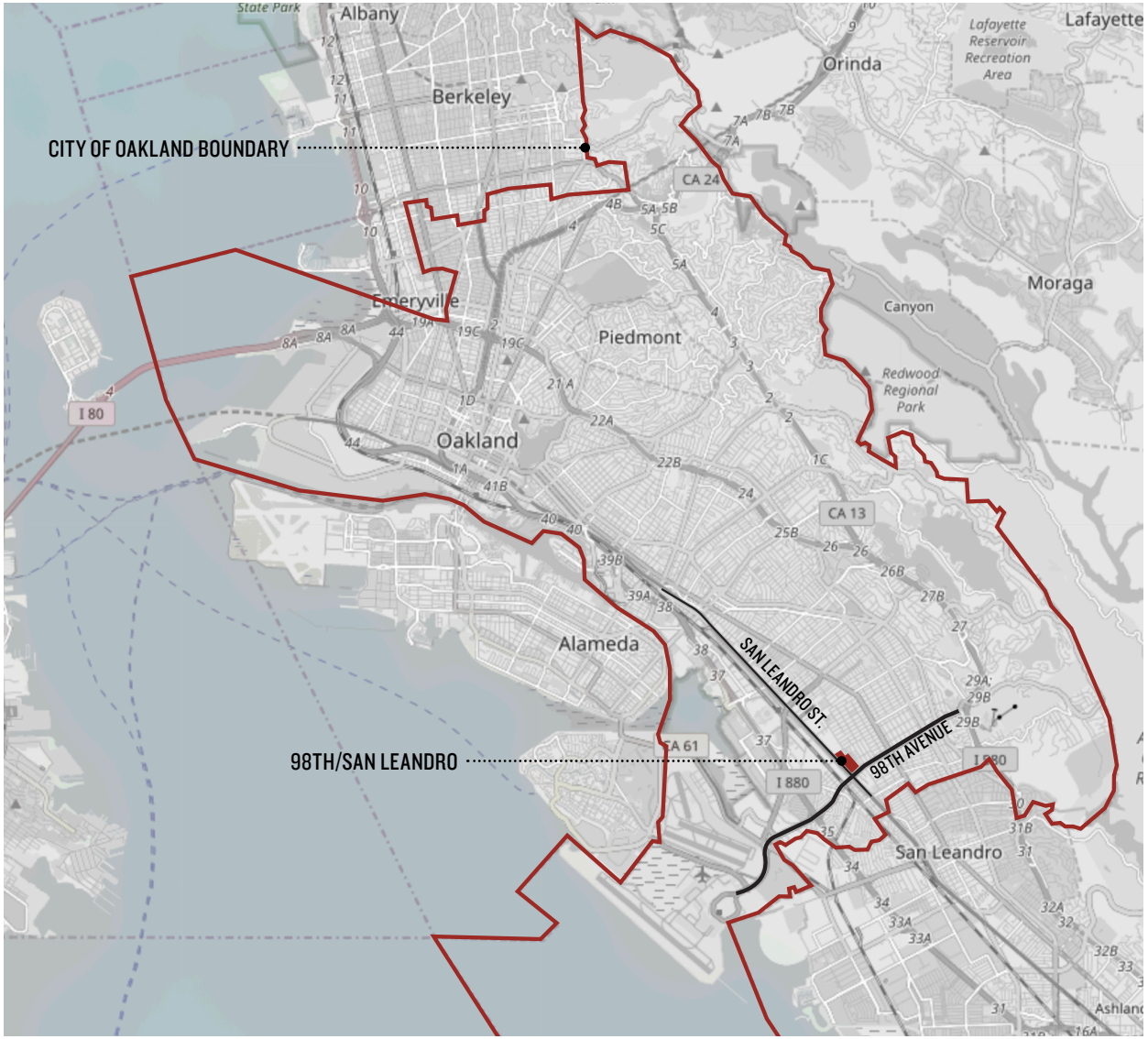


Figure 1.1 Site Location/City of Oakland Map

I.2 GUIDING PRINCIPLES & CONCEPTS

HOUSING + BUSINESS MIX GENERAL PLAN

The 98th/San Leandro site is designated Housing and Business Mix per the Oakland General Plan – Land Use & Transportation Element:

The Housing and Business Mix classification identifies areas of the city where a complex mix of residences and businesses has evolved due to converging historic development patterns…these areas may require additional attention to buffer the impacts of incompatible adjacencies, and the careful development and enforcement of performance standards to ensure compatible co-existence.

HBX ZONING

The site is located in the Housing and Business Mix (HBX-1) zoning district. The 98th/San Leandro site is zoned uniquely HBX-1 in an area consisting of residential uses to its east and industrial uses to its north, west and south. It will serve as a bridge between those two uses through a mix of uses. The purpose of the HBX Zoning designation is to:

1. Allow for mixed use districts that recognize both residential and business activities;
2. Establish development standards that allow residential and business activities to compatibly co-exist;
3. Provide a transition between industrial areas and residential neighborhoods;
4. Encourage development that respects environmental quality and historic patterns of development;
5. Foster a variety of small, entrepreneurial, and flexible home-based businesses.

Figure 1.2 Context and Vicinity Map

HBX DESIGN GUIDELINES

As stated in the HBX Design Guidelines Manual, the convergence of different types of development over time has resulted in a context characterized by complex and inconsistent development patterns, making rigid and prescriptive zoning requirements ineffective as the sole regulatory tool to allow for well-designed developments. While the HBX Housing and Business Mix Commercial Zones Regulations (O.M.C.17.65) establish the regulatory framework to implement the General Plan's vision for Housing and Business Mix areas through its Design Objectives, the HBX Design Guidelines addresses massing, scale and site planning issues to provide for greater flexibility and site-specific design solutions.

The intent of this 98th/San Leandro Design Guidelines Manual is to:

a. Promote and reinforce the Intent and Design Objectives of the HBX Design Guidelines described below:

HBX INTENT

- Guide and transition the neighborhood into a more intense development pattern than has traditionally existed in HBX neighborhoods;
- Allow freedom to create buildings of varied designs and styles;
- Develop attractive street-scapes and urban spaces;
- Allow the compatible coexistence of residential and nonresidential activities; and
- Promote innovative building designs that exist compatibly with traditional development patterns.

HBX DESIGN OBJECTIVES

1. Create a development pattern that encloses the street space by defining a street wall and street section while providing transitions from existing patterns and respecting the light and air of residential properties, if present.
2. Site parking to maintain an attractive street-scape and preserve on-street parking.
3. Integrate functional open space into the design of the site.
4. Use design techniques to scale buildings appropriate to their location.
5. Consider a variety of architectural styles.
6. Provide visual interest to street facing areas.
7. Provide visual emphasis to buildings at street corners.
8. Provide well designed landscaping and buffering for street fronting yards, parking areas, nonresidential activities, and parking podiums.

b. Supplement the HBX Design Objectives and expand upon guidance to address more specific design issues found within the Preliminary Development Plan application for 98th / San Leandro by providing specific guidelines to implement the objectives on a parcel by parcel basis.

c. Develop a foundation of design for future developers and establish the basis for evaluation of Final Development Plan applications.

Final Development Plans for all parcels within the 98th/ San Leandro PUD shall be substantially consistent with the Preliminary Development Plan and shall conform to the design criteria of the HBX Design Guidelines Manual ("Manual") and the 98th/San Leandro Design Guidelines (together referred to as "Guidelines"). Guidelines provide methods to fulfill an associated design objective; however, they are not intended to restrict innovation, imagination and variety in design. An alternative design will be considered if it achieves the desired objectives of the manual to the same extent as the associated Guidelines.

I.3 RELATED DOCUMENTS

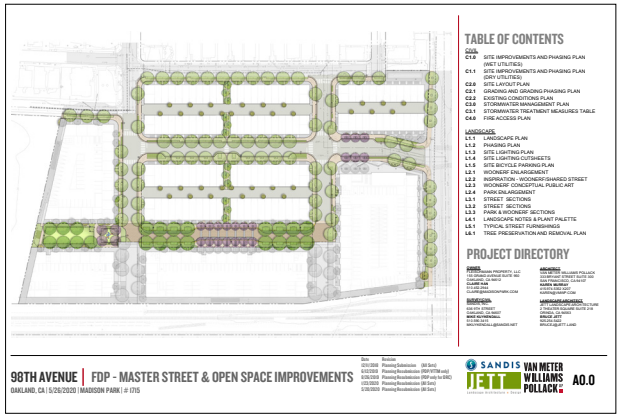
This Design Guidelines document is to be read and applied in conjunction with the following:

- City of Oakland Municipal Code
- HBX Housing and Business Mix Commercial Zones Regulations (O.M.C.17.65) - *Updated 12/01/2008*

  Housing and Business Mix – 1 (HBX-1) Commercial Zone
- HBX Design Guidelines Manual - *10/31/2006*

  Regular Design Review criteria (Chapters 17.136.040 and 17.136.050)
- 98th/San Leandro Vesting Tentative Tract Map 8492
- 98th/San Leandro Preliminary Development Plan - *(PLN18523)*
- 98th/San Leandro Final Development Plan - Master Street & Open Space Improvements - *(PLN18523-PUDF02)*

98th/San Leandro Preliminary Development Plan



98th/San Leandro FDP - Master Street & Open Space Improvements

2.0 URBAN DESIGN FRAMEWORK

2.1 STREET DESIGN

Due to the active Union Pacific Railroad railway along San Leandro Street and the neighboring property to its north, the 98th/San Leandro site can only be accessed on two sides. The street design is based primarily on extending the existing Blake Drive into the site and connecting to the existing Garner and Tubman Drives. In addition to providing necessary site circulation for cars, emergency and service vehicles, the centrally located Woonerf enhances the pedestrian experience by providing an open area for social interaction.

The streets at 98th/San Leandro will be designed to be safe and accommodating to all. The street design controls and guidelines are listed below with description and design intent described for each street. These streets are further described in the Preliminary Development Plan & Final Development Plan - Master Street & Open Space Improvements.

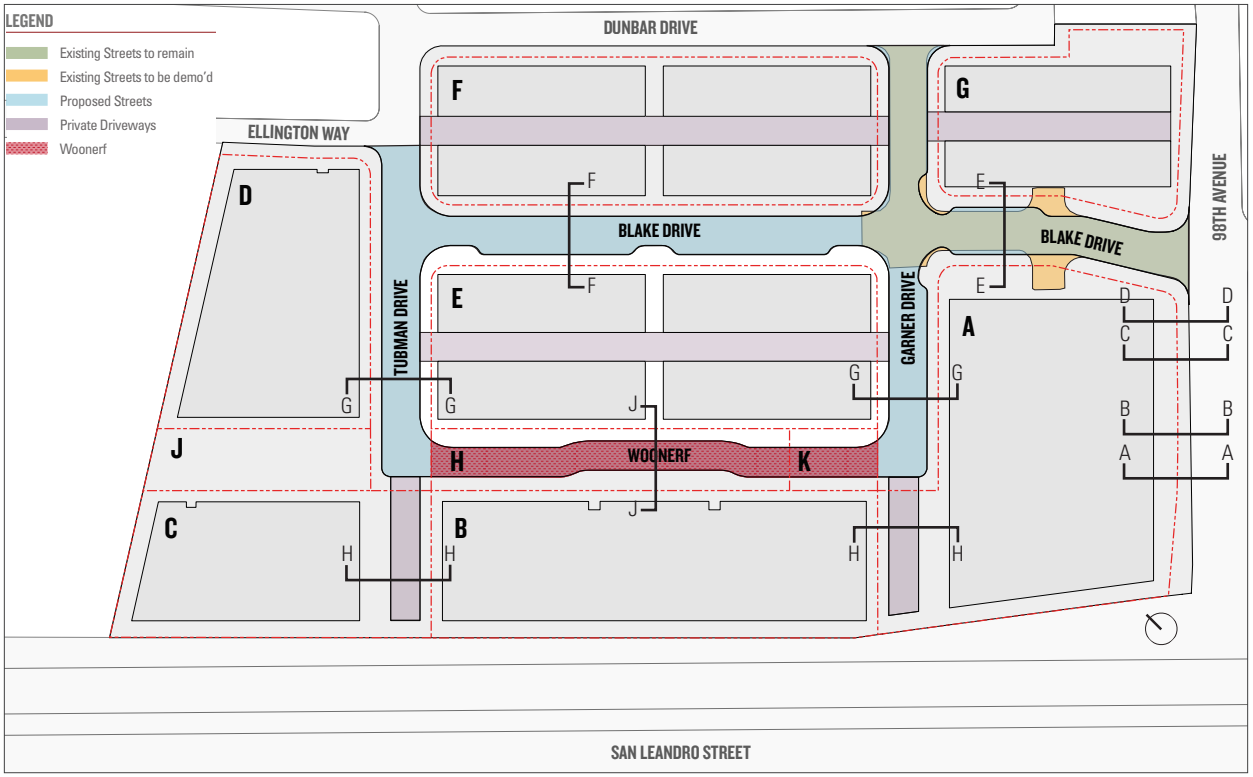


Figure 2.1 New and Existing Streets Diagram

GUIDELINES

G 2.1-1 Provide streets at locations specified in Figure 2.1

G 2.1-2 Design new public streets to support all modes of circulation: walking, bicycling, automotive, and anticipated parking needs.

G 2.1-3 Provide corner bulb-outs to slow traffic where feasible. Plant bulb-outs with native and/or drought-tolerant plants or bioretention planters as necessary.

G 2.1-4 Locate all utilities on new streets underground when feasible and as approved by the City of Oakland.

G 2.1-5 Minimize negative impact of a utility equipment on the public realm and adjacent properties by locating the area out of view and by screening with attractive architectural features and landscaping.

G 2.1-6 Locate all utilities such as transformers, utility meters, other site and building equipment within the building, at the rear of the property, or underground. When locating within the building or underground is not feasible, ensure these elements are away from public view, organized neatly in discreet areas, and screened with attractive landscaping, or enclosures.

Tree-lined street

Woonerf/shared street between pedestrians, bikes and cars

Woonerf/shared street showing low planting and bollards

Utility decorative metal screening to shield utilities

A. 98th Avenue

The mixed-use frontage at Parcel A on 98th Avenue serves as the public face of the new neighborhood and as such, must be designed to be accessible and welcoming. However, 98th Avenue is a five lane arterial truck route connecting the Nimitz Freeway to International Boulevard and particular care must be taken to protect pedestrian, residents and businesses located along the street frontage.

GUIDELINES

G 2.1.A -1 Provide a generous setback and sidewalk to create a landscaped buffer along the busy roadway while also serving as the main pedestrian access to the work/live units from the public sidewalk (See Figures 2.2 through 2.5).

G 2.1.A -2 Remove existing concrete wall on 98th Ave between San Leandro and Blake Drive in order to open the ground floor work/live units directly to the street and activate the ground floor experience. Focus the public entry to the east on Blake Drive.

G 2.1.A -3 Allow the existing wall to remain at Parcel G to enclose the side yards of the townhomes at 98th Avenue.

98th Avenue existing conditions

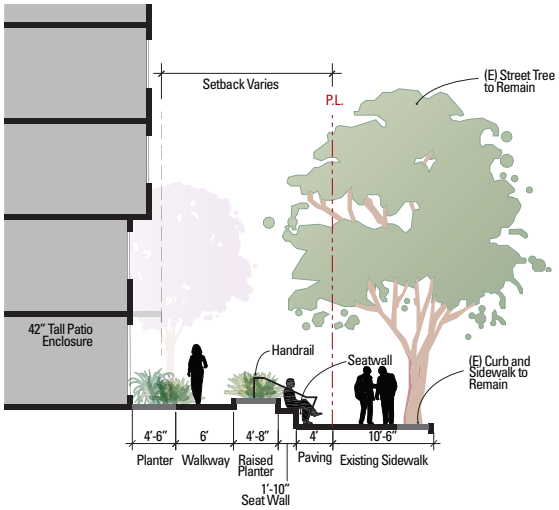


Figure 2.2 Section A. 98th Avenue at seatwall

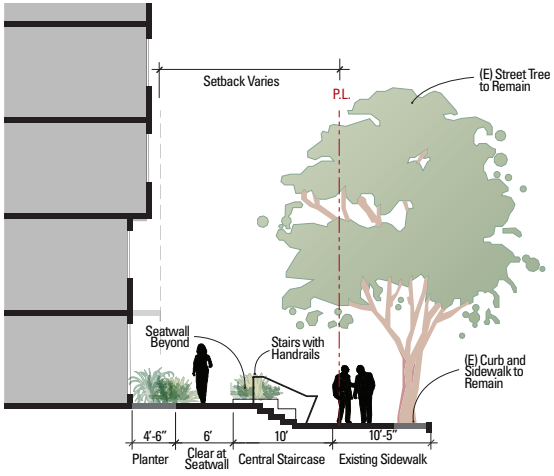


Figure 2.3 Section B. 98th Avenue at central staircase

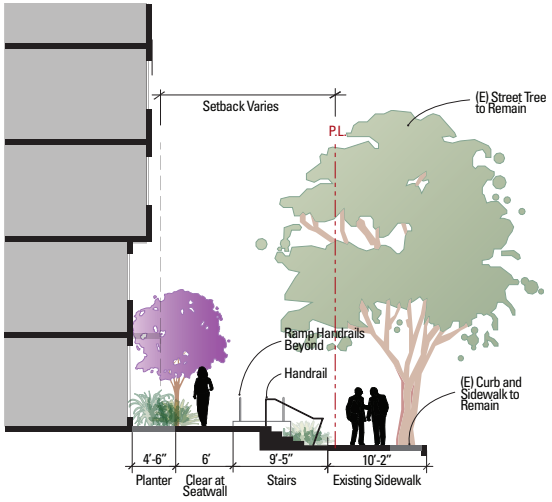


Figure 2.4 Section C. 98th Avenue at stair

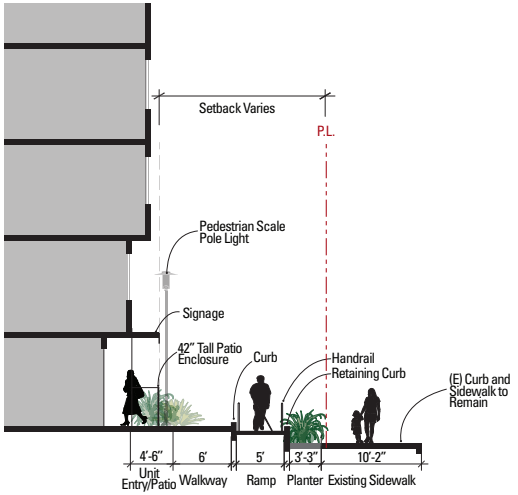


Figure 2.5 Section D. 98th Avenue at ramp

B. Blake Drive

The block of Blake Drive between 98th Avenue and Garner Drive was built in 2009 as part of the adjacent Arcadia Park development. This right-of-way (ROW) will remain, with some adjustments to reflect the new neighborhood design. To the east, front entries to three story townhouses line the block. This residential character continues in the typical blocks of Blake Drive to the north with townhouses fronting the ROW on both sides.

GUIDELINES

G 2.1.B -1 Provide a generous plaza area fronting Blake Drive at Parcel A adjacent to the commercial space (See Figure 2.6).

G 2.1.B -2 Provide an 8' landscaped setback at the townhouse blocks to give a sense of privacy to the townhouses while also allowing for direct access and visibility to front doors (See Figure 2.7).

Blake Drive existing conditions

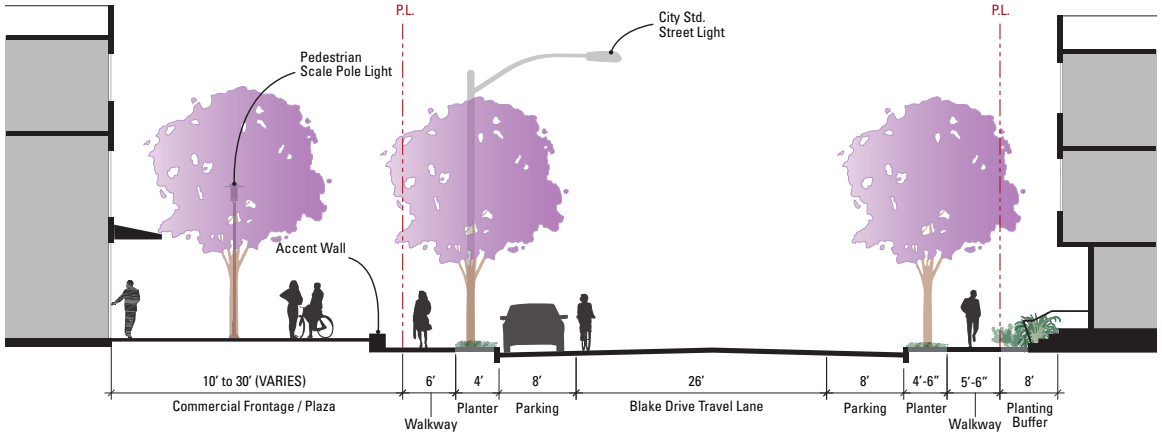


Figure 2.6 Section E. Blake Drive section at Parcel A plaza

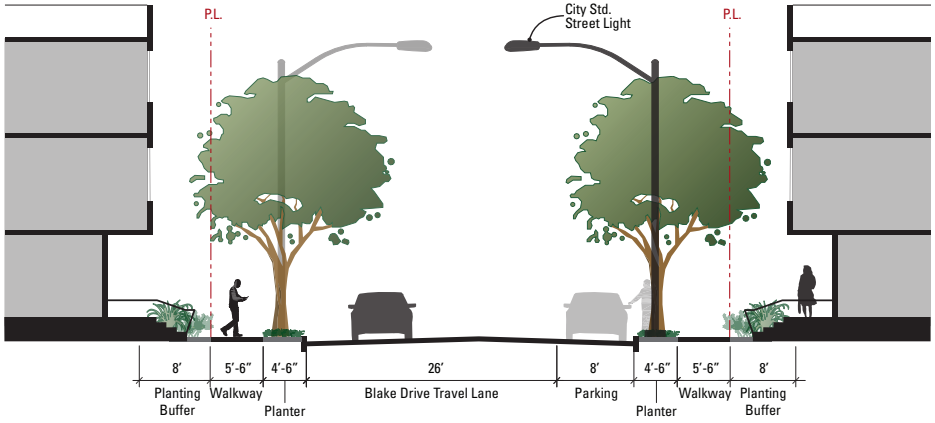


Figure 2.7 Section F. Blake Drive typical section

C. Garner & Tubman Drives

The existing Garner and Tubman Drives will be extended from the adjacent Arcadia Park neighborhood with both ground floor residential units and townhouses on either side. Both Garner and Tubman Drives terminate after parcels H/K and J, becoming private drives that give access to car parking garages at Parcels B and C.

GUIDELINES

G 2.1.C -1 Locate street parking at Garner and Tubman Drives adjacent to groundfloor residential units (See Figure 2.8).

G 2.1.C -2 Provide bioretention planters for public right-of way (ROW) stormwater (See Figure 2.8 and Figure 2.9).

Garner Drive existing conditions looking towards existing single family houses

Tubman Drive existing conditions at Dunbar Drive intersection looking towards the site

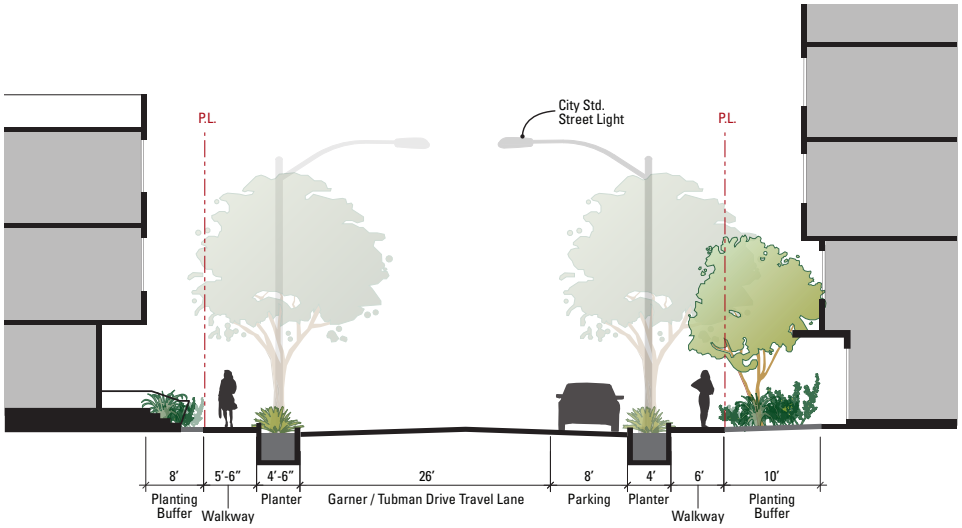


Figure 2.8 Section G. Garner Drive and Tubman Drive typical section

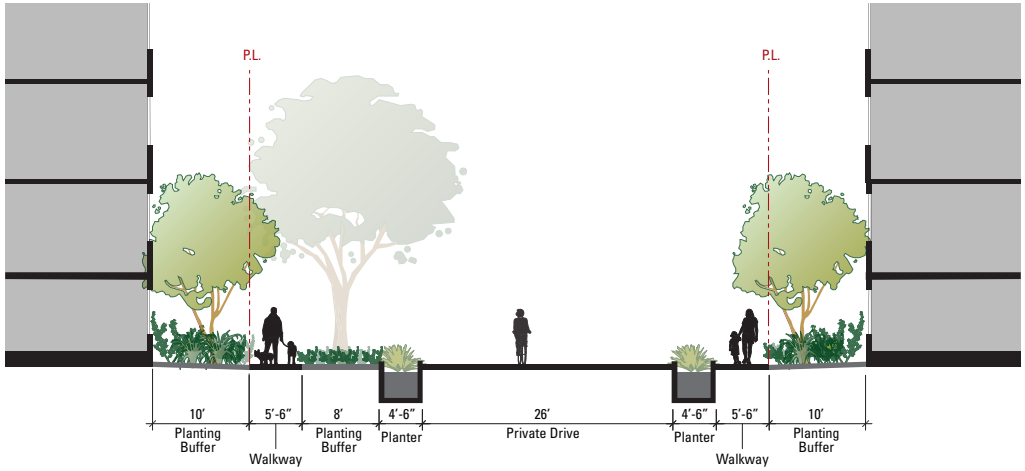


Figure 2.9 Section H. Garner Drive and Tubman private drive typical section

D. Woonerf

A Woonerf is a shared street designed to make the street much more welcoming and appealing for all drivers, cyclists, pedestrians and runners. Instead of dividing a street with barriers like curbs, sidewalks and bike lanes, Woonerfs open up the street and allow for every multiple use simultaneously.

GUIDELINES

G 2.1.D -1 Design the Woonerf to encourage pedestrian activity and discourage cars. (See Figure 2.10).

G 2.1.D -2 Provide overall site circulation for pedestrians, bicyclists, automobiles, emergency and service vehicles.

G 2.1.D -3 Locate primary entries of townhomes and residential units along Parcel H/K to have direct access to the woonerf.

G 2.1.D -4 Provide street with no curbs to deliberately blur the line between the car path and sidewalk, and articulate the entire Woonerf area as a shared open space.

G 2.1.D -5 Provide a jog in the middle of the street to further temper automobile speeds and encourage motorists to exercise caution.

G 2.1.D -6 Use variety of paving materials and colors (See Figure 2.11).

G 2.1.D -7 Incorporate a variety of streetscape amenities such as public seating areas, lighting, planting, and other hardscapes to promote pedestrian comfort.

G 2.1.D -8 Provide minimum width of 20' for vehicles and 26' for EVA.

G 2.1.D -9 Incorporate stormwater management into design - slope Woonerf to drain to its side.

G 2.1.D -10 Design Woonerf to serve as extension of the park in Parcel J.

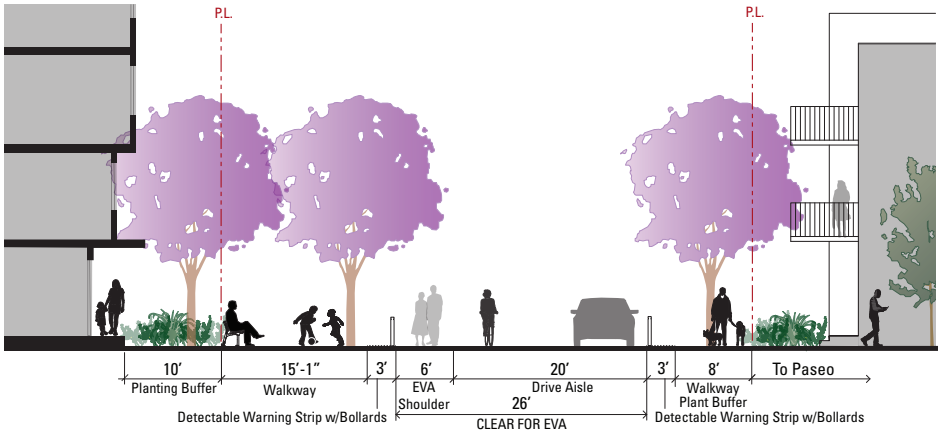


Figure 2.10 Section J. Woonerf section at Parcel H/K

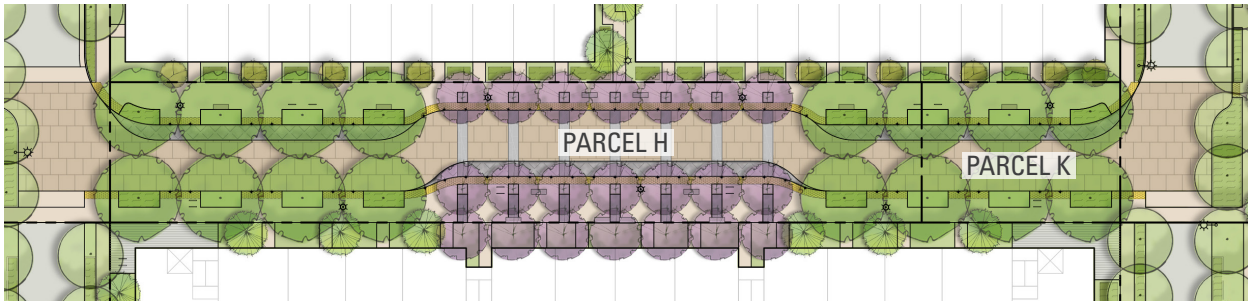


Figure 2.11 Woonerf plan enlargement

Woonerf with landscape and street furniture

Woonerf with enhanced paving and buffer planting

Woonerf with bollards

2.2 COMMUNITY OPEN SPACE

The 98th/San Leandro development provides open space for the neighborhood as shown in Figure 2.12. These open spaces are further described in the Preliminary Development Plan & Final Development Plan - Master Street & Open Space Improvements. As described in Section 2.1.D Woonerf at Parcel H and K, while technically considered a street, the Woonerf is intended to serve a dual function as community open space.

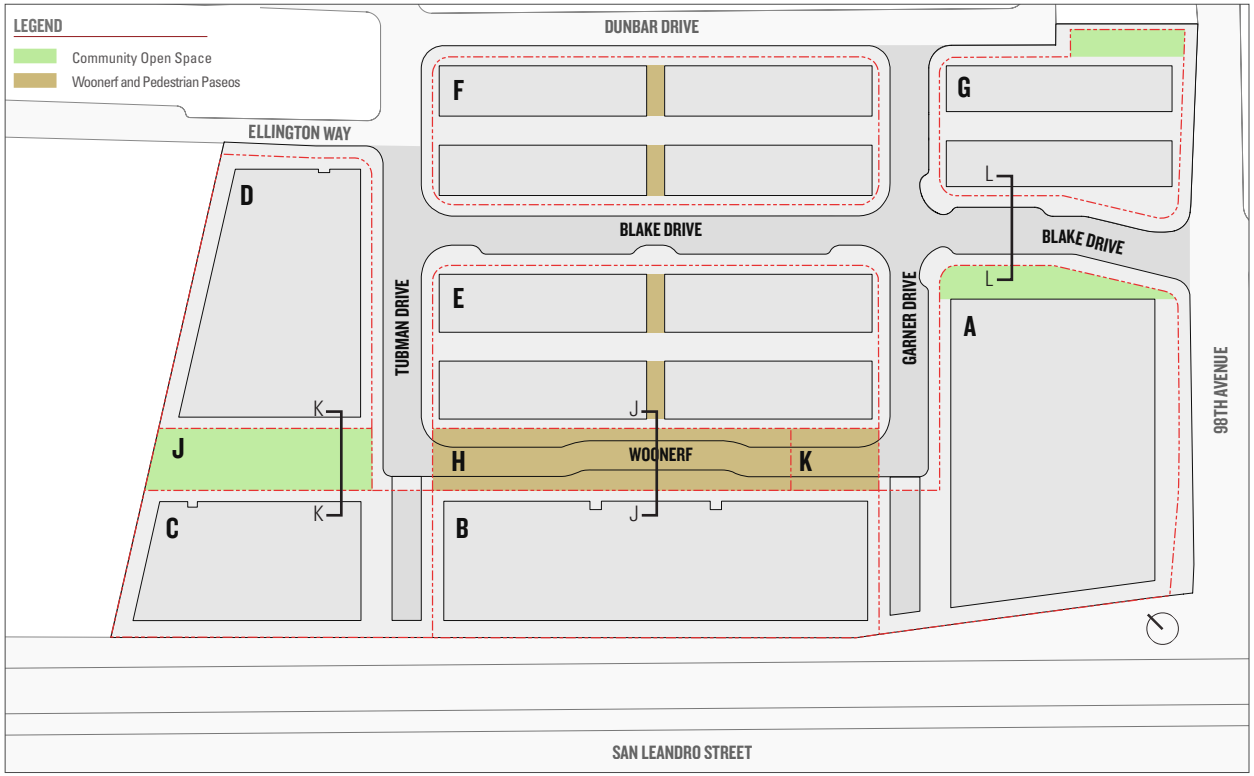


Figure 2.12 Open Space Diagram

GUIDELINES

Amenities/Design

G 2.2-1 Provide at least one pedestrian paseo from Parcel H to Dunbar Dr. as shown in Figure 2.12. See Section 3.7.C for further information.

G 2.2-2 Integrate light fixtures for all open spaces to enhance safety and security, as well as energy efficiency. See Section 2.3 Street Furniture.

G 2.2-3 Incorporate public art when feasible to enliven open spaces.

G 2.2-4 Design stairs and terraces fronting on the open spaces in a way that minimizes guardrails and walls that obstruct views.

G 2.2-5 Design and/or select site furnishings to form a coherent palette of elements for the entire site.

G 2.2-6 Design and select recreation equipment for a range of ages, to complement the design of the open space, and to integrate into the topography of the site.

G 2.2-7 Provide bike parking at open spaces to encourage alternatives to auto-circulation. See Section 2.3 Street Furniture.

G 2.2-8 Incorporate integrated pest management, and non-toxic fertilization techniques to manage open spaces whenever possible.

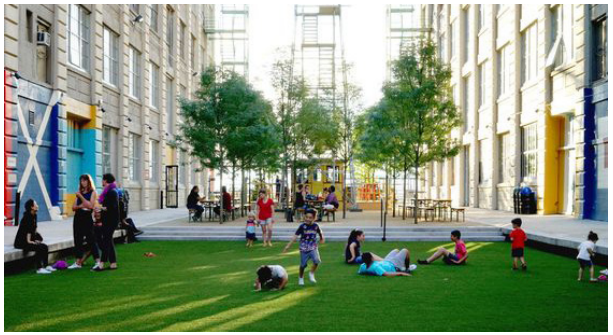
Water Usage

G 2.2-9 Follow the Bay-Friendly Landscape Guidelines recommendations for planting of native species, low water use, and avoidance of invasive species.

G 2.2-10 Reduce use of potable water for irrigation by installing smart (weather-based) irrigation controllers; by using drip, bubblers or low-flow sprinklers for all non-turf landscape areas; and by using recycled water if available.

Stormwater Management

G 2.2-11 Incorporate sustainable stormwater management features to reduce rainfall runoff. These may include but are not limited to use of vegetated swales, vegetated infiltration basins, flow through and infiltration planters, pervious pavement, and other methods.



Community open space

A. Open Space

Parcel J will provide an open space area that includes a play space with bench seating and an enclosed dog run area. The park is located between Parcels C and D and provides pedestrian access to the ground floor units of both multifamily buildings.

GUIDELINES

G 2.2.A -1 Provide entries facing the park for units fronting Parcel J (See Figure 2.13, Figure 2.14).

G 2.2.A -2 Provide children's play structure or consider interactive play sculpture (See Figure 2.14).

G 2.2.A -3 Provide 4' max fence for dog run.

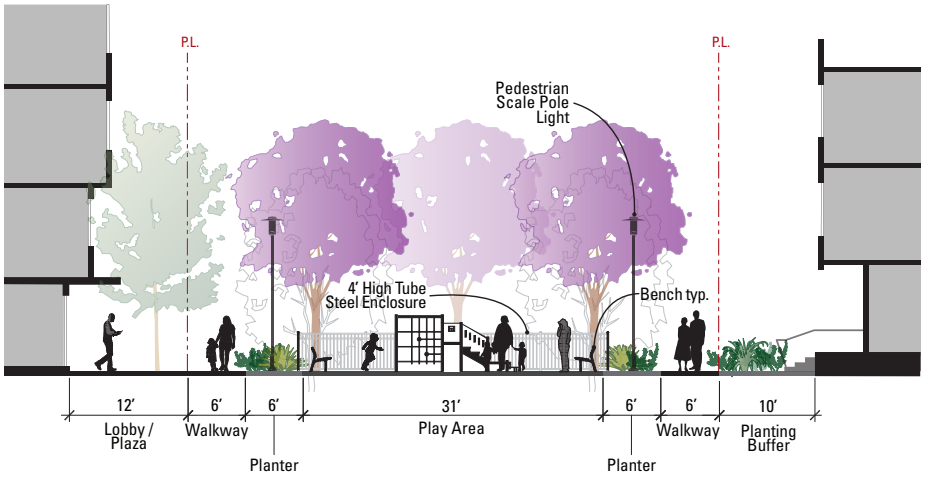


Figure 2.14 Section K. Park Section at Parcel J

Play structure

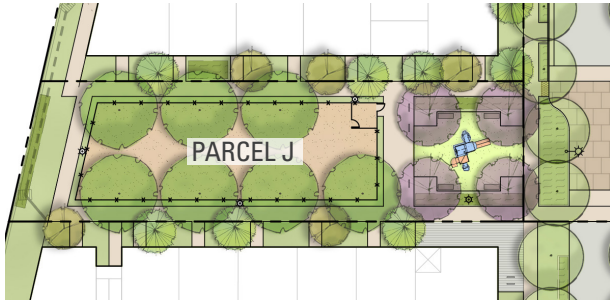


Figure 2.13 Park plan enlargement

Dog run area

Playground/kids play area with play structure

Playground/kids play area with interactive play structure

B. Plaza at Parcel A

The plaza at Parcel A will function as the gateway to the 98th/San Leandro development creating an inviting environment that welcomes visitors and residents to the new neighborhood. It provides a gathering place for the commercial space and the work/live units located at Parcel A.

GUIDELINES

G 2.2.B -1 Design a flexible patio area with accent walls that work as seating and gathering spaces (See Figure 2.15).

G 2.2.B -2 Provide bike parking to serve commercial spaces.

G 2.2.B -3 Locate trees to create shaded areas for gathering (See Figure 2.16).

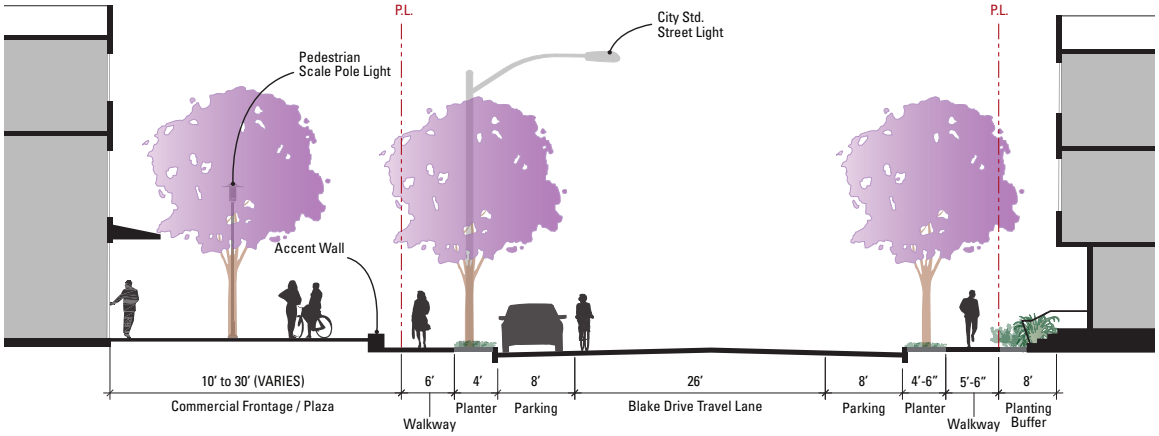
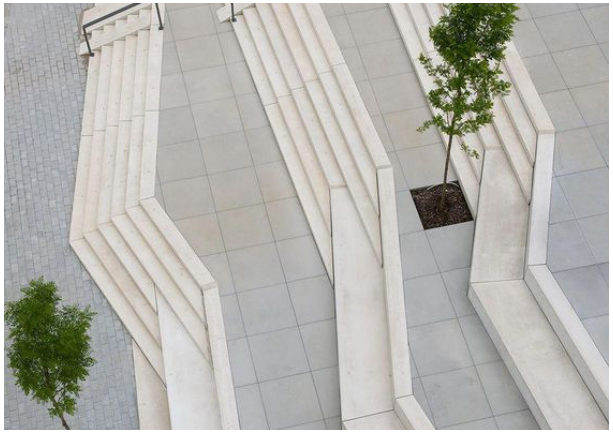


Figure 2.16 Section L. Blake Drive Section at Parcel A Plaza

Figure 2.15 Plaza Plan at Parcel A



Example of stepped plaza

Example of seating/accent wall

2.3 STREET FURNITURE

Street furnishings are intended to be amenities which support a wide variety of activities. Materials should be chosen for durability and comfort and be coordinated across the site to ensure continuity.

GUIDELINES

G 2.3-1 Utilize consistent sidewalk design (color, pattern, etc.), well-designed street furniture including seating, waste receptacles, and pedestrian-scaled street lights in new public streets.

G 2.3-2 Select street furniture to be consistent with other open space design elements throughout site:

Tree Grate: Iron Age ADA Compliant 'Rain' Heel Proof. Finish: Baked On Oil Finish;

Trash Receptacle: Urban Renaissance, 36-gallon, side opening litter & recycling receptacle, integrated recycle bin, dome lid w/ Fan Grillwork Design. Finish/Color: Powdercoated Black;

Bike Rack: Madrax Square UX Bike Rack, embed mount, Finish/Color: Powdercoated Black;

Bench: Victor Stanley Eva Bench, Steel Slats, surface mount, Finish/Color: Powdercoated Black;

or products of comparable style, quality and durability.

G 2.3-3 Use low voltage fixtures and LED lamps or comparable energy efficient bulbs per Public Works & City of Oakland Light Design Manual requirements for streetlights.

G 2.3-4 Use a hierarchy of street lights to create ambient light, visual rhythm and highlight key pedestrian routes: Street Light: City of Oakland Standard Street Light Cobra Head Luminaire w/ 6' arm on City Standard Pole. Color: Boxwood Green; Pedestrian Scale Pole Light: Borden Lighting 922 LED Indirect Post Top. Color: Black; Bollard Light: Bega 99058 Shielded LED Bollard. Color: Black

G 2.3-5 Coordinate metal finishes and colors with other site furnishings and building color palette.

G 2.3-6 Consider vandal/graffiti resistant clear coat finish for street furniture.

City standard street light

Pedestrian scale pole light

Bollard light

Tree grate

Bike rack

Trash receptacles with recycle bin

Durable metal bench

2.4 PLANT PALETTE

Street planting should be chosen to be climate adapted, durable and encourage pedestrian activity on the site.

GUIDELINES

G 2.4-1 Plant street trees per the City of Oakland Public Works Tree Planting Guidelines, acknowledging that actual tree spacing will be influenced by street character, lighting, tree species, lines of sight, utilities, architecture and other issues.

G 2.4-2 Choose tree species from the City of Oakland Master Street Tree List. Street trees located within stormwater treatment areas must be listed in the Alameda Countywide Clean Water Program Appendix B Plant List. Species include Acer negundo 'Sensation', Lagerstroemia 'Muskogee', Quercus agrifolia, and Quercus palustris.

G 2.4-3 Use different planting styles consistent with FDP site improvements document to delineate residential versus commercial or retail uses. Keep commercial and retail planting areas lower profiles for clear visibility.

G 2.4-4 Reduce or minimize water consumption by selecting native and drought-tolerant trees, sidewalk plantings and plant materials, when feasible.

G 2.4-5 Keep spacing as specified in Code Section 17.65.30(3): one 15-gallon tree for every 25' of street frontage or portion thereof.

BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS WATER USE
STREET TREES			
*ALNUS RHOMBIFOLIA	WHITE ALDER	24" BOX	H
PISTACIA CHINENSIS 'KEITH DAVEY'	CHINESE PISTACHE	24" BOX	L
PLATANUS X ACERFOLIA 'COLUMBIA'	LONDON PLANE TREE	24" BOX	M
*QUERCUS LOBATA	VALLEY OAK	24" BOX	L
ULMUS PARVIFOLIA 'TRUE GREEN'	TRUE GREEN ELM	24" BOX	L
TREES			
ACER PALMATUM	JAPANESE MAPLE	24" BOX	M
ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	24" BOX	L
GINKGO BILOBA	MAIDENHAIR TREE	24" BOX	M
CERCIS CANADENSIS	EASTERN REDBUD	24" BOX	M
LAGERSTROEMIA 'NATCHEZ'	WHITE CRAPE MYRTLE	24" BOX	L
LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	M
OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX	VL
QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	VL
TIBOUCHINA URVILLEANA	PRINCESS FLOWER	24" BOX	M
LARGE SHRUBS			
CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH	5 GAL	L
LOROPETALUM C. 'CAROLINA MOONLIGHT'	CHINESE FRINGE FLOWER	5 GAL	L
PITTOSPORUM TENUIFOLIUM	KOHUHU	5 GAL	M
PODOCARPUS M. MAKI	SHRUBBY YEW PINE	5 GAL	M
WESTRINGIA 'BLUE GEM'	BLUE GEM WESTRINGIA	5 GAL	L
MEDIUM AND SMALL SHRUBS			
ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL	L
ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	1 GAL	L
ANIGOZANTHOS 'BUSH GOLD'	DWARF KANGAROO PAW	1 GAL	L
AGAVE ATTENUATA 'NOVA'	BLUE FOX TAIL AGAVE	5 GAL	L
ASPIDISTRA ELATIOR	CAST IRON PLANT	1 GAL	L
CALAMAGROSTIS 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	L
CISTUS X PURPUREUS	ORCHID ROCKROSE	5 GAL	L
ECHEVERIA IMBRICATA	BLUE ROSE ECHEVERIA	1 GAL	L
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	5 GAL	M
HESPERALOE PARVIFOLIA 'BRAKELIGHT'	BRAKELIGHT YUCCA	1 GAL	L
LIMONIUM PEREZII	SEA LAVENDER	1 GAL	L
LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	L
LOROPETALUM 'SUZANNE'	SUZANNE FRINGE FLOWER	5 GAL	L
MAHONIA 'SOFT CARESS'	SOFT CARESS MAHONIA	1 GAL	L
PHORMIUM 'MAORI QUEEN'	NEW ZEALAND FLAX	5 GAL	L
PHORMIUM 'YELLOW WAVE'	NEW ZEALAND FLAX	5 GAL	L
PITTOSPORUM TOBIRA	CRÈME DE MINT MOCK ORANGE	1 GAL	L
SALVIA 'HEATWAVE BLAST'	HEATWAVE BLAST SAGE	1 GAL	L
SALVIA LEUCANTHA 'MIDNIGHT'	MEXICAN BUSH SAGE	5 GAL	L
SARCOCOCCA RUSCIFOLIA	SWEETBOX	5 GAL	L
GROUNDCOVERS			
ACHILLEA MILLEFOLIUM 'PAPRIKA'	YARROW	1 GAL	L
ARCTOSTAPHYLOS E. 'EMERALD CARPET'	MANZANITA	1 GAL	L
CEANOTHUS GRISEUS 'DIAMOND HEIGHTS'	CALIFORNIA LILAC	1 GAL	L
ERIGERON GLAUCUS	FLEABANE	1 GAL	L
MYOPORUM PARVIFOLIA	MYOPORUM	1 GAL	L
SENECIO MANDRALISCAE	KLEINIA	1 GAL	L
VINES			
HARDENBERGIA VIOLACEA	PURPLE LILAC VINE	5 GAL	M
PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	5 GAL	M
STORMWATER			
ACHILLEA MILLEFOLIUM 'MOONSHINE'	MOONSHINE YARROW	1 GAL	L
CHONDROPETALUM TECTORUM	CAPE RUSH	1 GAL	L
JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL	L
MIMULUS CARDINALIS	SCARLET MONKEY FLOWER	1 GAL	L
RHAMNUS C. 'MOUND SAN BRUNO'	COFFEEBERRY	1 GAL	L
SALVIA SONOMENSIS	CREEPING SAGE	1 GAL	L

*STREET TREES APPROPRIATE FOR BIORETENTION AREAS PER ALAMEDA COUNTYWIDE CLEAN WATER PROGRAM APPENDIX B.

Preliminary plant palette

Plant imagery

2.5 PUBLIC ART

Public art plays an important role in celebrating 98th/ San Leandro's unique industrial history and creating the new vibrant neighborhood. It should also foster community identity, enhance public life, and reflect community priorities.

Art is integral to the architectural and landscape design. Public art is encouraged to complement required design elements such as canopies, signage, paving, steps, lighting and other structures. Suggested enhancements include but are not limited to:

- Sculptural site structures
- Special graphics, finishes, and materials
- Street furniture
- Street murals

The guidelines below supplement requirements under Oakland code and the public art for private development checklist for on-site art projects. Public art must be approved by the public art coordinator prior to issuance of building permits. If proposed in a public right-of-way, public art must meet additional requirements for public right-of-way projects.

GUIDELINES

G 2.5-1 Fosters interaction and engagement with pedestrians of all ages. Art that invites play, represents the environment, and creates opportunities for participation are all encouraged.

G 2.5-2 Utilize vibrant colors and materials to reference the site's industrial history and community identity.

G 2.5-3 Design public art to include play structures – either explicitly for children, or sculptures that engage adults and children alike.

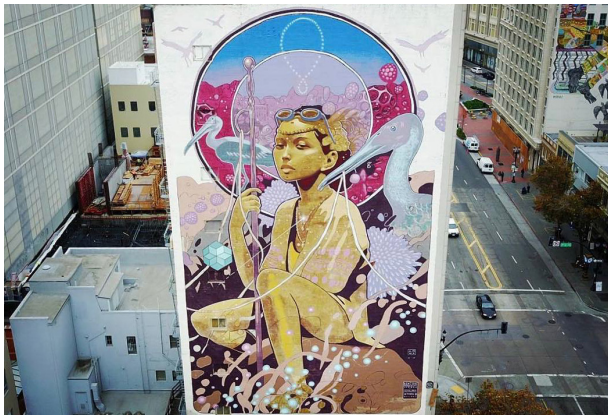
G 2.5-4 Consider street murals as expressions of public art.

G 2.5-5 Provide murals at large sound attenuation barrier facades facing the elevated BART tracks.

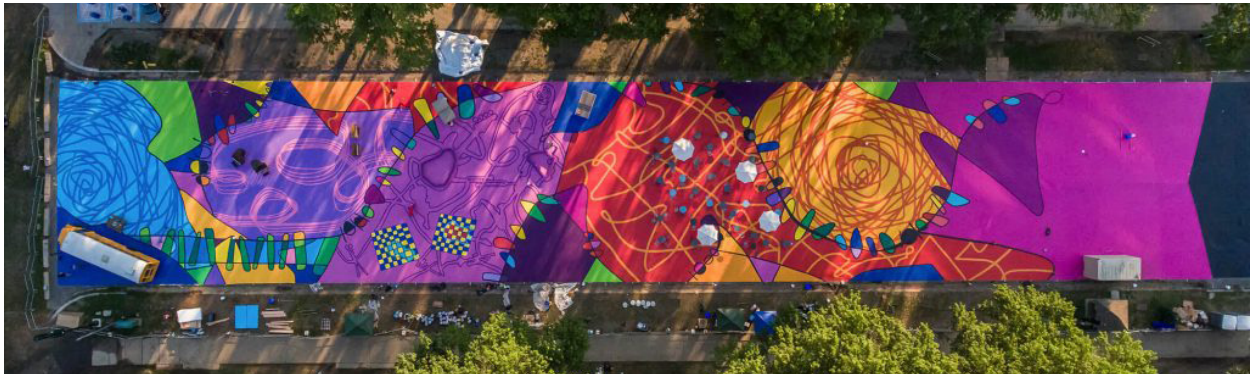
Public art play structure. "Animaze", Peter Veres

Public art play structure. "Tiled Fish Play Sculpture", Indar Mosaics

Los Trompos, Héctor Esrawe and Ignacio Cadena.



Street art mural, Joshua Mays



Street art mural at Philadelphia. "Rhythm & Hues Mural", Brad Carney

3.0 BUILDING DESIGN

3.1 OVERVIEW

The architectural design of 98th/San Leandro should take cues from the industrial past while emphasizing the new pedestrian oriented, residential neighborhood. Strong building forms along 98th Avenue lead to a gateway at Blake Drive. This gateway defines the street character, open space and pedestrian experience for this new neighborhood. The tallest buildings are sited closer to BART and San Leandro/98th Ave to mitigate light and air impacts for the existing single family residential neighborhood and help shield the neighborhood from noise and visual impacts of the BART tracks. Focusing the height at the BART tracks allows for the lower townhomes to provide a transition from the larger multifamily buildings to the existing single family neighborhood to the east.

3.2 BUILDING HEIGHTS

The height controls indicated in Figure 3.1 are intended to provide a transition from the BART tracks and industrial scale surrounding the site to the residential scale to the east.

Oakland Municipal Code Section 17.65.100.B allows structures adjacent to the BART corridor to be taller, up to 75'. Heights in excess of the HBX-1 base height of 35' are established through the Planned Unit Development (PUD) process and BART exception (see Figure 3.1).

Height measurements shall follow the requirements of the Oakland Municipal Code 17.09.040.

GUIDELINES

G 3.2-1 Vary building heights and roof shapes between blocks to create visual interest and avoid the appearance of monolithic development.

G 3.2-2 Where appropriate, step upper floors back from the façade to help break down the building's scale when adjacent to lower building heights.

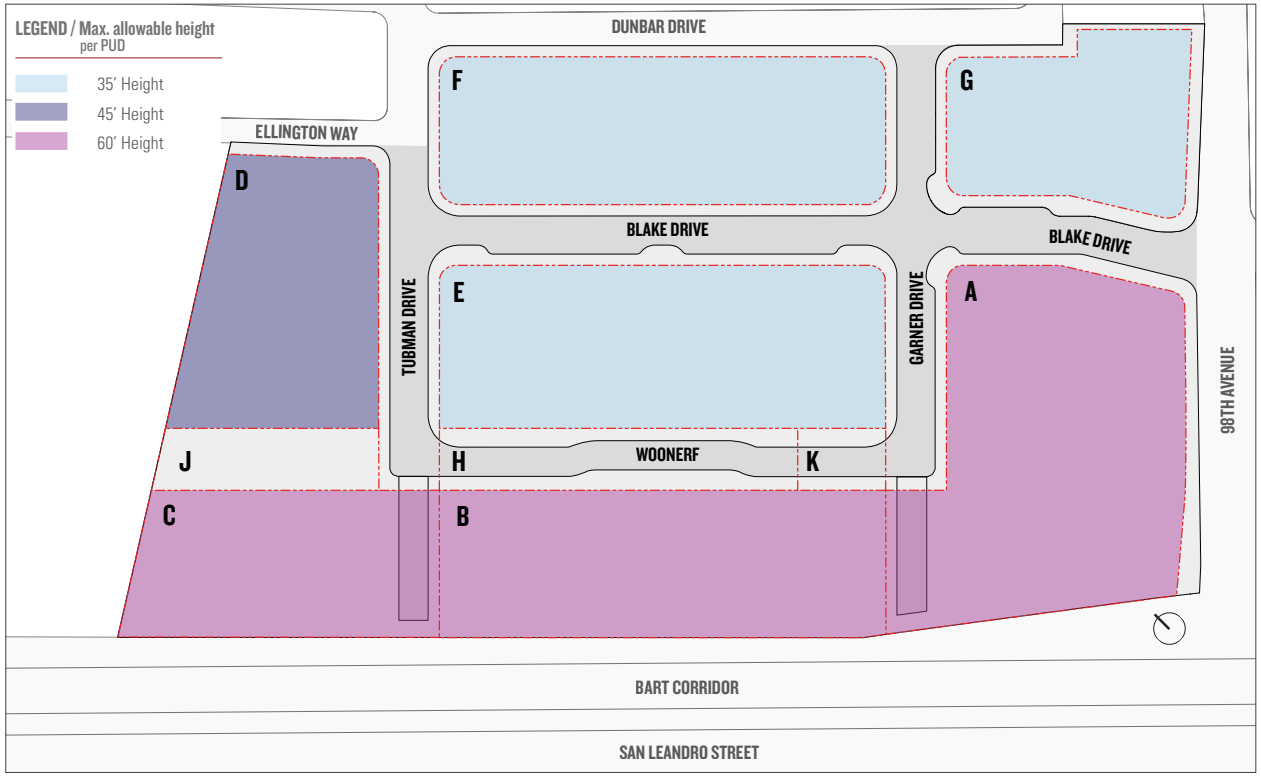


Figure 3.1 Building Height Diagram

3.3 SETBACKS

Ground floor setbacks will be provided at locations indicated in Figure 3.2 to enhance the pedestrian zone and provide added privacy between ground floor units and the public way. Setbacks are measured from face of finish at building to public right of way or to property line at open space. Setbacks may vary along irregular property line boundaries.

Multifamily parcel setbacks are wider than townhome parcel setbacks to reduce perceived massing from the street. Greater building setback creates more generous on site landscape and plazas. Parcels A-D will have a minimum 3' emergency access easement (EAE) located within the rear setback (width varies).

GUIDELINES

G 3.3-1 In setback areas designated as "Setback Varies" in Figure 3.2 Setback Diagram, provide the minimum setback indicated for the given parcel, and increase as the property line angles away from the building face.

G 3.3-2 Design setbacks at the 98th Avenue frontage (Parcel A) to protect pedestrians, residents and businesses from the adjacent industrial uses and truck traffic. Setbacks may vary, but should be a minimum of 9'.

G 3.3-3 Provide a minimum of 10' setback for multifamily buildings (Parcels B, C and D). Where setbacks vary in Figure 3.2, setbacks may be reduced to minimum noted.

G 3.3-4 Provide a minimum of 15' setback from the property line along San Leandro Street and along adjacent industrial parcel. Parcel B setback may be reduced to 13' at the south-eastern corner.

G 3.3-5 Provide a minimum of 8' setback from the property line to the building streetwall for townhome buildings (Parcels E, F and G). Parcel G setback may be reduced to 6' ath the south-western corner.

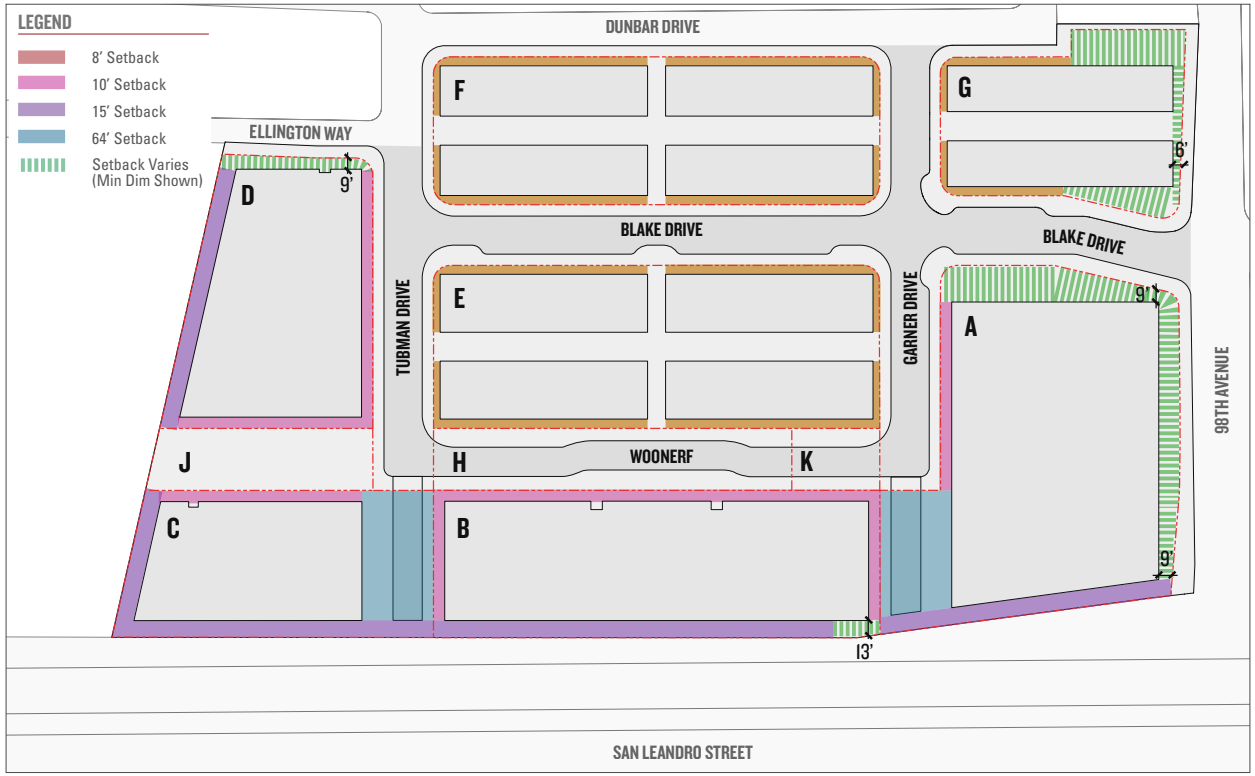


Figure 3.2 Setback Diagram

G 3.3-6 Design setback areas as extensions of the building architecture. Setbacks may accommodate stoops, stairs to stoops, private front patios and related landscaping that enhances both the architecture and the pedestrian experience. Under Oakland Municipal Code Section 15.48.010, fences not higher than 3', retaining walls, walks or stairway leading to buildings are allowed in setbacks.

G 3.3-7 Obstructions permitted within the required setbacks at the lowest story closest to street grade include: Stoops, steps and ramps, fences, balconies, and roofed porches.

G 3.3-8 Include a minimum of 40% planted area at all landscaped front yard setbacks at the public Right of Way, the Woonerf in Parcel H/K, and the Park in Parcel J. Depth of planting should not be less than 3' at all setbacks.

G 3.3-9 Enhance the privacy and security of the ground floor units while maintaining a line of sight between the front door and right of way by including planting in setbacks.

3.4 BUILDING OPEN SPACE

Open space requirements shall comply with HBX-1 (17.65.120) regulations, Oakland Municipal Code sections 17.126.030 and 17.126.030, as established in the 98th/San Leandro PDP.

Private and common spaces at each block are important neighborhood elements and should be well designed, well-lit and secure, with "eyes on the street".

GUIDELINES

G 3.4-1 Provide group usable open space through common gardens, building courtyards, or rooftop terrace spaces.

G 3.4-2 Allow access to group usable open space for all residents of the building.

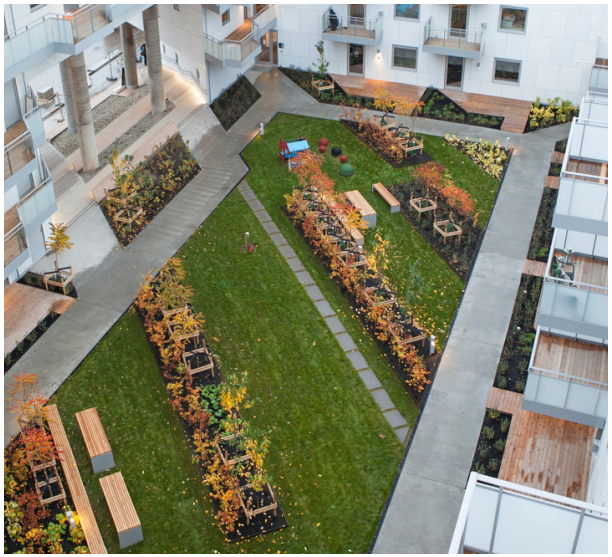
G 3.4-3 Provide private open space in the form of patios, yards, terraces or balconies. Minimum dimensions shall comply with Oakland Municipal Code Section 17.126 Usable Open Space Standards.

G 3.4-4 Clearly define private patios as differentiated from the common open space for units facing group usable open space.

G 3.4-5 Design group usable open space as usable surface area, containing both landscaped and hardscaped areas. Landscaped green and/or garden space should comprise more than 30% of the outdoor area where possible.

G 3.4-6 Limit projections into or over required private and/or building's group usable open space to balconies, bay windows, and decorative building facade features.

G 3.4-7 Provide adequate soil depth for podium landscaping subject to guidance from a certified arborist or landscape architect to ensure successful planting.



Building courtyard

Podium open space with balconies

Residential entries with patios

Townhome balconies

3.5 MATERIALS

Materials and colors should be chosen to help to define and differentiate building elements. They should also complement the site's industrial history.

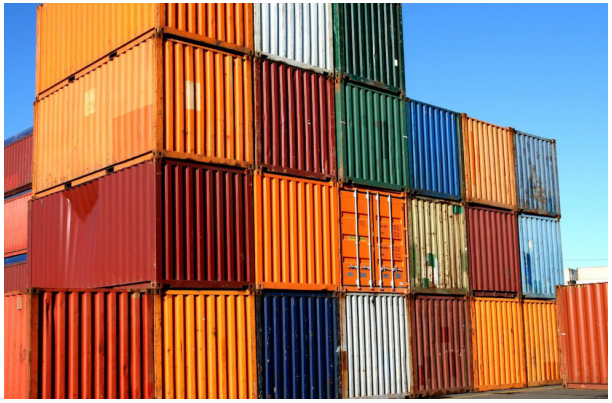
GUIDELINES

G 3.5-1 Take design cues for materials from the industrial history and neighbors. Brick and metal accents are encouraged.

G 3.5-2 Provide high quality materials at the base of the building to ensure long-term durability. Graffiti coating is encouraged.

G 3.5-3 Provide architectural interest at upper levels facing the BART and rail tracks up to 15' above grade. Blank facade is allowed only at the parking level facing the site wall. A mural or other public art is encouraged at BART facing facades.

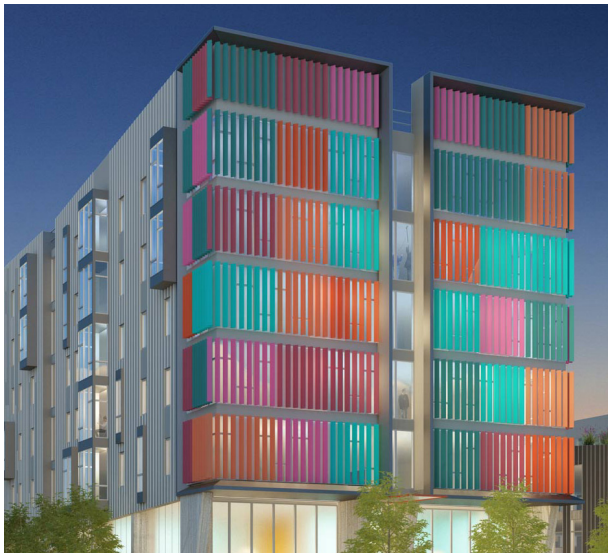
G 3.5-4 Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern or lend themselves to a high quality of detailing are encouraged.



Colorful shipping containers from the site's industrial history can inspire design of future elements

Stucco and cement fiber board structure simple forms

Metal and wood accents can provide texture and richness against stucco walls



Visual interest at facade facing public plaza

Industrial look work/live units. Brick accents are encouraged

3.6 MIXED-USE & APARTMENT BUILDINGS (PARCELS A-D)

The buildings at Parcels A through D take material and massing cues from their industrial neighbors in an elegant contemporary way, defining the entry to the new community. Building modulation, active ground floor uses, building and unit entries and materials will help to create a vibrant, pedestrian scaled neighborhood.

Located at the intersection of Blake Drive and 98th Avenue, Parcel A's frontage along 98th Avenue is presented with specific challenges and should be designed to protect users from the heavy truck traffic and industrial uses across the street. The building is envisioned as a 5 story building with 2 level work/live & live/work units and commercial space fronting Blake Drive at the ground floor.

Parcels B and C are located at the heart of the new neighborhood fronting the Woonerf and linear park. Parcel B is envisioned as a 5 story building and Parcel C is envisioned as a 4 story building. Both buildings will have ground floor parking, wrapped by two-story ground floor apartment units accessed from the linear park and Woonerf.

Parcel D fronts Tubman Drive and the linear park. The Arcadia Park neighborhood and future townhomes sit across Tubman Drive. Parcel D is envisioned as a 4 story building with 2-level apartment units along the ground floor. The corner of the building at Tubman Drive and Ellington Way steps down to relate to the lower Arcadia Park building to the north.

Work/Live units line the ground floor of this multifamily building

Entry lobby at corner of multifamily building

Multifamily building with ground floor unit entries

Commercial spaces activate the ground floor of this mixed-use building

A. Building Modulation

The intent of the building modulation and massing guidelines are to create a varied urban form and scale that relates to the neighborhood context. Guidelines are intended to mitigate the impact of multifamily buildings on the adjacent townhomes and single family neighborhood.

GUIDELINES

G 3.6.A -1 Provide a significant break at least 10' wide by 10' deep along building walls longer than 275'.

G 3.6.A -2 Modulate and articulate all building facades by providing breaks in the roof plane and using projections, subtractions or shallow facade variations to break up large masses on long walls.

G 3.6.A -3 Emphasize the key elements of the building including prominent corner locations, main entries, and shared amenities. Provide strong focal points at open space areas.

G 3.6.A -4 Create rhythm in the facade through the use of vertical recesses, balconies, shading devices, window reveals, punched openings, screens, or similar techniques.

G 3.6.A -5 Provide architectural breaks in vertical and/or horizontal planes of at least 2' at building facades over 50' in length.

G 3.6.A -6 Use one and two story elements such as entry porches, awnings and bays to provide pedestrian scale to four and five story buildings.

Building modulation through form

Building articulation through vertical bays and contrasting materials

Facade variations create a textured elevation

Window treatments and shading devices provide rhythm along walls

B. Ground Floor Activation

Activate the ground floor and provide a sense of connection with the neighborhood and add "eyes to the street" by providing a mix of active ground floor uses. Mixed-use and apartment buildings that are adjacent to a public way should present a street facade that encourages residents to actively engage with that street through a variety of design elements such as differentiated architectural features and landscaping along the side of the building.

GUIDELINES

G 3.6.B -1 In addition to improving the visual quality of the streetscape, design elements should allow residents and businesses to see and be seen from the street, enhancing neighborhood interaction and improving safety.

G 3.6.B -2 Residential buildings should have pedestrian access and visual orientation to the adjacent roadways and/or open space features.

G 3.6.B -3 Orient the primary entrance of buildings to a primary street, plaza, or the woonerf.

G 3.6.B -4 Organize and coordinate streetscape and landscape elements to support an attractive, functional, safe, and comfortable pedestrian environment.

G 3.6.B -5 Create a strong visual and physical connection between the building and public streetscape through the use of high-quality materials and design elements.

G 3.6.B -6 Emphasize front entrances with high quality architectural and landscape design and materials, including lighting of paths and entries.

G 3.6.B -7 Encourage clearly differentiated residential or commercial street level uses.

G 3.6.B -8 Use strong design elements in setbacks (e.g. sitting walls, raised patios, planters, paving changes, stoops, and porches) to indicate the transition from the public to private realm.

G 3.6.B -9 Provide secured entries and lobbies directly accessible from the sidewalk, public open space, or public right of way.

G 3.6.B -10 Relate the commercial use entries at Blake Drive to the adjacent plaza with potential to open up or 'spill out' with tables or movable furniture.

G 3.6.B -11 Design a street wall with generous setbacks to transition building heights and create a comfortable pedestrian scale that unifies the street space. Consider material changes or other architectural features to visually lower perceived height of the buildings and breakdown the mass of the buildings to a pedestrian scale.

Commercial uses along street level spark activity


Multiples uses at the ground floor level provide eyes on the street

Ground floor work/live entries with terraces at 98th Avenue

Apartment stoops can provide a comfortable perch over the street.

A corner entry invites residents into this apartment lobby entry

Ground floor townhome entries

Set back townhome entries are visible and connect to the street

Transparency and lighting activate this lobby inside and out.

C. Public Building Entries

Well-designed entries connect the public and private realm and support vibrant, walkable neighborhoods by activating the street frontage. Public and common entries should provide an easily distinguishable architectural feature that is proportional to the uses it serves.

GUIDELINES

G 3.6.C -1 Provide a primary building entry for each building that is either located directly from a public street or within 25' from the street.

G 3.6.C -2 Provide a clear and prominent path to the entry that is separate from any driveway.

G 3.6.C -3 Provide direct visual connection between active commercial space and the public right of way.

G 3.6.C -4 Design public entries, residential lobbies or commercial spaces, to be easily identifiable, distinguishable from individual unit entries and well lit. Include building-scaled elements as described in Section 3.4.A: Building Modulation.

G 3.6.C -5 Articulate building entries proportionate in size to the number of units served. i.e. larger entries for lobbies to apartment buildings, smaller entries to private front doors.

G 3.6.C -6 Use variation in building mass and height to pronounce a main entrance to the building.

G 3.6.C -7 Corner buildings have at least two facades visibly exposed to the street and should be designed to respond to their more prominent locations.

Multifamily building entry

Commercial space entry

Main building entry corner

Prominent residential entry lobby

D. Ground Floor Work/Live Entries

The ground floor work/live units along 98th Ave serve as the gateway into the predominantly residential community from the industrial uses in the surrounding area. The work/live frontage is highly visible to the public and define the edge and transition the pattern of industrial activities along this street into the residential uses in the rest of the Project.

GUIDELINES

G 3.6.D -1 Each ground floor HBX work/live unit shall have at least one (1) public entrance that is directly adjacent to non-residential floor area.

G 3.6.D -2 Provide ground floor entries to work/live units along street frontage at regular intervals. Entries should be visible and directly accessible from the sidewalk, public open space, or public right of way.

G 3.6.D -3 Work/live units along 98th Avenue should be elevated to protect residents and visitors from truck and auto traffic at the street level, while maintaining clear access and visibility.

G 3.6.D -4 Design work/live unit entries to be easily identified as businesses and accessible from and oriented towards the street or public way.

G 3.6.D -5 Provide transparent glazing for nonresidential activities facing the street, through use of large, storefront type windows.

G 3.6.D -6 Design private entryways not less than 5' wide at the building face.

G 3.6.D -7 Provide signage to identify work/live units and differentiate them from apartment units. See Section G - Building Signage for further information.

G 3.6.D -8 Provide landscaping at ground floor unit entries within the established setbacks (Section 3.3)

G 3.6.D -9 Recessed entries should be a minimum of 10' in height as measured from the sidewalk. (Figure 3.3).

G 3.6.D -10 Limit wall or fence height to no more than 42".

G 3.6.D -11 Provide distinguishable commercial style doorways with overhanging projections and doors with more glazing and transparency.

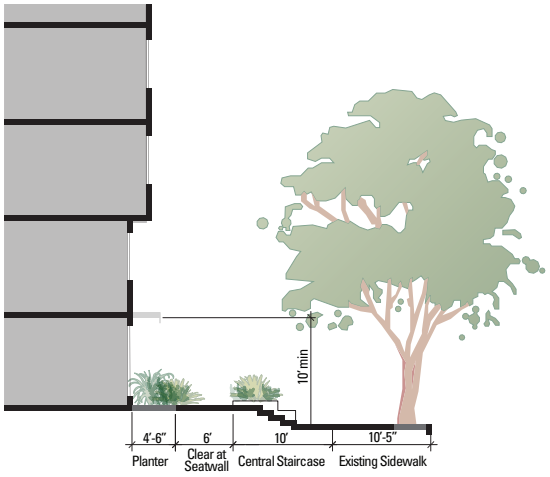
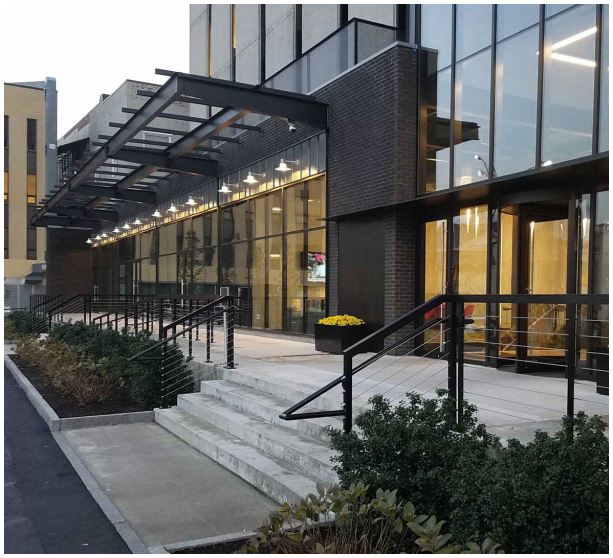


Figure 3.3 Work/live entry section at 98th Avenue



Central staircase and elevated walkway to enhance the commercial feeling of Work/Live units

Large windows and doors help define commercial Work/Live use

E. Ground Floor Live/Work Entries

The ground floor live/work units in Parcel A are intended to help further transition the new community away from the industrial uses nearby, and provide connection between the work/live units to the apartments and townhomes in the rest of the 98th & San Leandro community. Live/work units are a hybrid of the work/live and residential units and intended to accommodate both commercial and residential uses equally. Therefore, the design intent should be implemented through a combination of characteristics of each unit type.

GUIDELINES

G 3.6.E -1 Provide ground floor entries to live/work units along street frontages at regular intervals. Entries should be visible and directly accessible from the sidewalk, public open space, or public right of way.

G 3.6.E -2 Design live/work unit entries that can be easily identified as businesses and accessible from and oriented towards the street or public way.

G 3.6.E -3 Locate live/work entries at street level with no steps or elevation change.

G 3.6.E -4 Provide well designed ground floor live/work frontages that still provide privacy through the use of lighting, landscaping, stoops, porches, and front patios.

G 3.6.E -5 Design private entryways not less than 5' wide at the building face. Design grouped entryways to be not less than 8' wide.

G 3.6.E -6 Provide signage to easily identify live/work units that differentiate them from the ground floor work/live and apartment units. See Section G - Building Signage for further information.

G 3.6.E -7 Provide physical "threshold" features such as landscaping, walls or fences not more than 42", lighting, and/or transition in hardscape materials, to demarcate and bridge the boundary between public and private. Threshold features should filter but not block views to and from the street.

G 3.6.E -8 Provide distinguishable commercial style frontages, while simultaneously maintaining privacy for the occupants with reduced amount of glazing and less transparency on the windows and doors

Live/work unit with higher window sills for privacy

Live/work unit entries at grade

Live/work unit entries with landscaping

F. Ground Floor Apartment Entries

Ground floor apartment entries perform important roles in the overall design and character of the neighborhood. Apartment entries should be designed for security and privacy, while still contributing to an active landscape.

GUIDELINES

G 3.6.F -1 Provide a direct entry to ground floor units from the street. Entryways should occur frequently with entrances coupled or placed at regular intervals. Design individual private entryways to be not less than 5' wide at the building face.

G 3.6.F -2 Provide well designed ground floor residential frontages that still provide privacy through the use of lighting, landscaping, stoops, porches, front patios, and a judicious use of low railing/fencing.

G 3.6.F -3 Provide residential style doorways and windows with less glazing and transparency.

G 3.6.F -4 Provide raised stoops with direct entries to the street when alternate entries allow for ADA accessibility into the units. Elevate residential entries along the street to create a comfortable separation between residents and passersby. (Figure 3.4)

- Raised stoops should provide at least a 2.5' to 3' vertical separation between ground floor living space and the sidewalk grade to create a sense of privacy and buffer the residences from nearby traffic.
- The bottom of the ground floor windows facing the street should be 4' to 6' above sidewalk grade when stoops are provided.
- Stoops should be minimum depth of 5' measured from the face of building.
- Stoops should not be used as a rear balcony.

G 3.6.F -5 Buffer private outdoor spaces from the public sidewalk with low fences, planters and landscape layering that define the private space yet encourage social interaction, particularly along the street-edge to facilitate usable stoops and patios.

G 3.6.F -6 When alternate ADA accessible entries cannot be provided and/or existing grades do not allow for raised entries, define entries to individual units by layering the transition through setback design and landscape/hardscape materials.

- Recess unit entry doors a minimum of 2' beyond the setback line with a minimum of 9' in height to the bottom of the soffit as measured from the sidewalk at accessible entries.
- Provide physical "threshold" features such as landscape, lighting, railings/fencing and/or transition in hardscape materials, to demarcate and bridge the boundary between public and private. Threshold features should filter but not block views to and from the street and should help define individual units. Limit wall or fence height to no more than 42".
- Locate windows, translucent glass and/or window treatments and layer the transition using landscape so that pedestrians on the sidewalk cannot see directly into the lower half of the ground floor space while still ensuring adequate natural light into units.

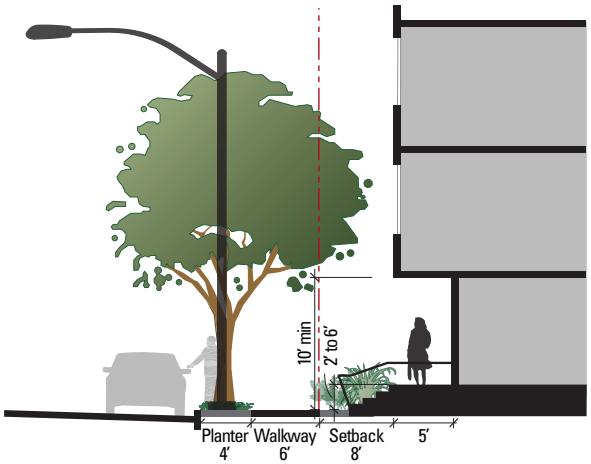


Figure 3.4 Ground floor unit entry with stoop diagram

Ground floor unit entry at street level

Ground floor unit entry with stoops

G. Building Signage

Satisfactory signage meets functional demands and provides aesthetic character to buildings and spaces. Signage should be designed to provide effective way-finding, increase resident safety, and contribute to the sense of place. Streetscape signage shall comply with City of Oakland's signage restrictions. See Figure 3.5 for signage type locations.

GUIDELINES

G 3.6.G -1 If project signage is provided at residential building lobbies, limit signs to a total face area of 25 square feet per building.

G 3.6.G -2 Design work/live and live/work unit signage to be visible from the street or public way. See Oakland Municipal Code Ch. 17.65 HBX regulations for additional standards.

G 3.6.G -3 Prohibit box signs, programmable digital signs, reflective signs, kinetic and inflatable signs, waterfall awnings, billboard signs, and freestanding signs at residential buildings.

G 3.6.G -4 Externally illuminate signage or include lighting integrated into sign design.

G 3.6.G -5 Conceal the illumination source within the design of integrally illuminated signage to minimize glare.

G 3.6.G -6 Conceal electrical elements including wires, conduit, junction boxes, transformers, ballasts, and panel boxes.

G 3.6.G -7 Orient signage parallel to building face or extend no further than 12" from face of building.

G 3.6.G -8 Incorporate similar forms, materials, and motifs as streetscape and site palette elements in signage design.

G 3.6.G -9 Locate signage to avoid interrupting key sight lines and views of common areas and entrances.

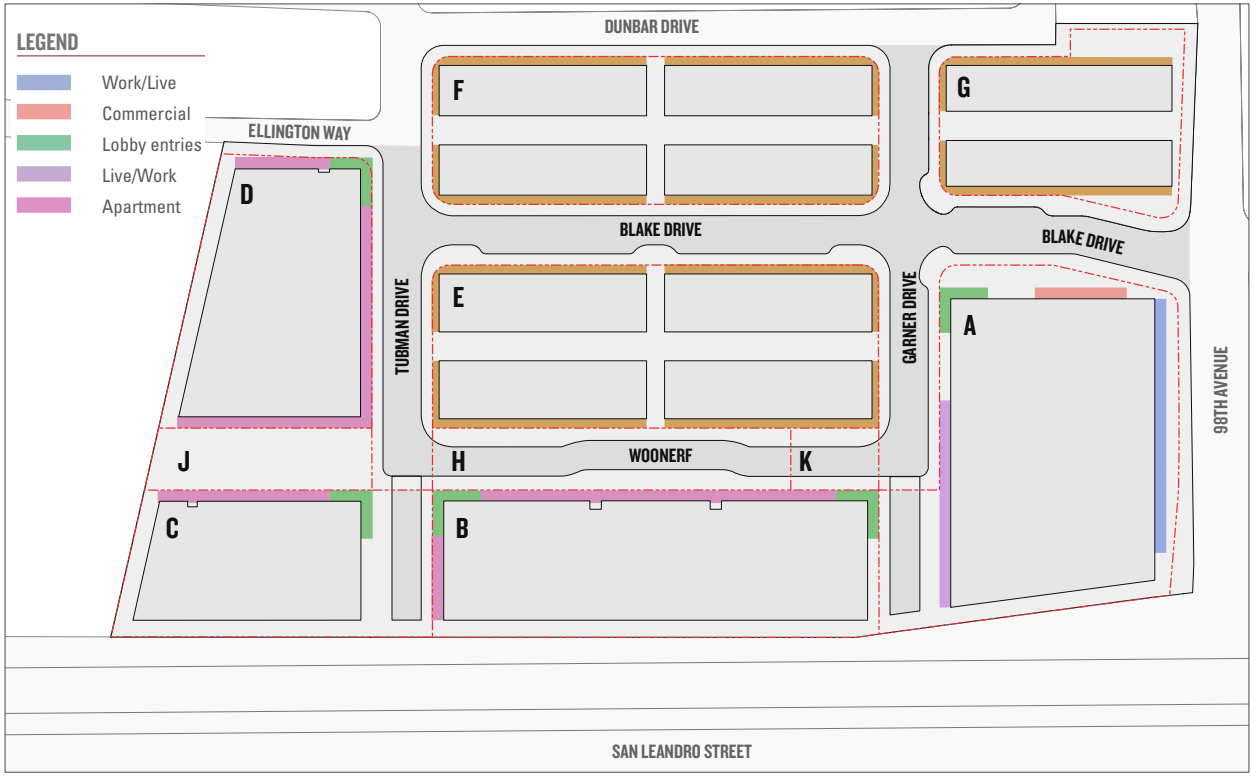


Figure 3.5 Building Signage Types

Commercial retail signage

Residential building signage

Residential unit numbers

H. Parking

Garage and service entries must be designed to minimize their impact on building architecture and public open spaces. On-site accessory parking must be internal and not exposed to the street (See Figure 3.6).

GUIDELINES

G 3.6.H -1 'Wrap' at-grade garages fronting streets or open spaces with active uses at least 25' deep. Uses may be a residential lobby, residence, amenity space, work/live unit, or commercial space.

G 3.6.H -2 Garage entrances are not allowed on 98th Avenue and Blake Drive.

G 3.6.H -3 Design garage entrances to be not wider than 20'.

G 3.6.H -4 If off-street loading is provided, integrate it into the auto entry with a combined width of no more than 20' and meet the requirements provided in the Oakland Municipal Code.

G 3.6.H -5 Design garage entrances and curb cuts to support the safety and vibrancy of the streetscape for pedestrians, cyclists and scooters.

G 3.6.H -6 Recess parking, loading and garage entries at a minimum of 2' from the building plane. Townhome buildings are exempt from this requirement, however, recessed entries are encouraged.

G 3.6.H -7 On lots 50' wide or wider, place entries to shared garages at least 10' from lobbies where possible.

G 3.6.H -8 Minimize curb cuts to allow maximum number of on-street parking spaces and to enhance pedestrian safety.

G 3.6.H -9 Coordinate bike parking and curb cuts to minimize conflicts between bicycles, pedestrians, and drivers.

G 3.6.H -10 Avoid locating garage entries directly across from building lobbies of adjacent properties.

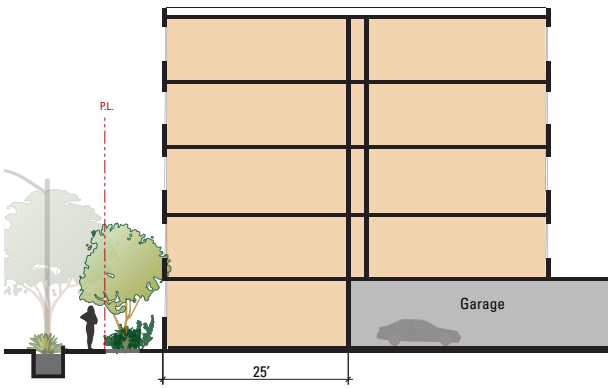
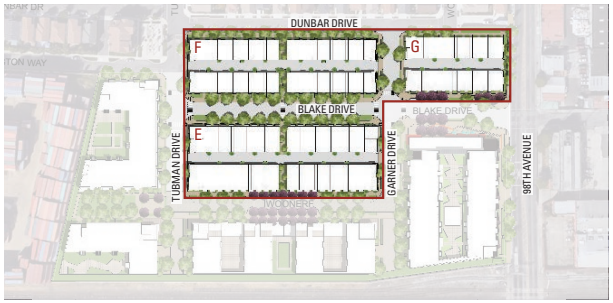


Figure 3.6 Garage with active uses lining the street

Multifamily building parking entry

Bike parking that minimizes conflicts with pedestrians

3.7 TOWNHOMES (PARCELS E-G)



Townhome buildings are defined as individual units, or interlocked townhome buildings without a podium garage. The townhomes at 98th/San Leandro provide an important transition between the mixed-use and apartment buildings and the single family neighborhood to the east.

Townhomes located in Parcels E, F, and G should be designed to create a sense of place for individual homes; provide functional and pedestrian friendly streetscapes; and transition from the existing homes in Arcadia Park to the taller multifamily buildings (See Figure 3.7).

Provide 200 square feet per unit of group usable open space per HBX-1 (OMC 17.65.120) requirements or equivalent 100 square feet per unit of private open space as allowed by OMC 17.126.020

A. Townhome Massing and Building Articulation

GUIDELINES

G 3.7.A -1 Provide vertical breaks at a spacing of 25' to 50' to reflect the residential scale. A vertical break may be a change in material, plane, roofline, or other design feature that defines the individuality of each townhome.

G 3.7.A -2 Use bays and balconies in a vertical proportion and pattern to provide further building articulation (See Figure 3.7).

G 3.7.A -3 Address adjacent streets and open space at corner units with windows or building entries.

Townhome building articulation

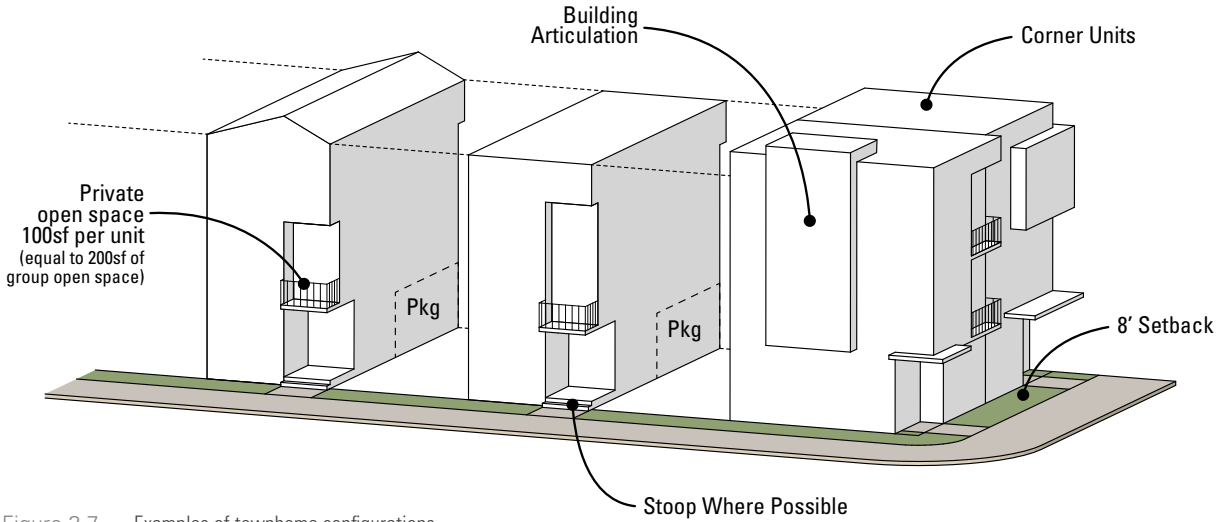


Figure 3.7 Examples of townhome configurations

B. Townhome Entries

GUIDELINES

G 3.7.B -1 Provide well designed ground floor residential frontages that still provide privacy through the use of lighting, landscaping, stoops, porches, front patios, and a judicious use of low railing/fencing.

G 3.7.B -2 Design individual private entryways to be not less than 5' wide at the building.

G 3.7.B -3 Provide residential style doorways and windows with less glazing and transparency.

G 3.7.B -4 Provide raised stoops with direct entries from the street in townhomes where grade and ADA accessibility allow. Residential entries along the street which are elevated create a comfortable separation between residents and passersby.

- Raised stoops should provide at least a 2.5' to 3' vertical separation between ground floor living space and the sidewalk grade to create a sense of privacy and buffer the residences from nearby traffic.
- Stoops shall not lead to a secondary entrance or be used as a rear balcony.
- Design stoops to be perpendicular to the building, rather than parallel to avoid creating blank street walls along the street.
- Either recessed or projecting stoops for buildings that are set back from the sidewalk can be appropriate.
- Recessed entries should have a minimum of 10' in height as measured from the sidewalk.
- Stoops should be minimum depth of 60" measured from the face of building.
- Stoops and stairs should have a minimum width of 40".
- The bottom of the ground floor windows facing the street should be 4' to 6' above sidewalk grade when stoops are provided.

G 3.7.B -5 Buffer private outdoor spaces from the public sidewalk with low fences, planters and landscape layering that define the private space yet encourage social interaction, particularly along the street-edge to facilitate usable stoops and patios.

G 3.7.B -6 When alternate ADA accessible entries cannot be provided and/or existing grades do not allow for raised entries, define entries to individual units by layering the transition through setback design and landscape/hardscape materials.

- Recess unit entry doors a minimum of 2' beyond the setback line with a minimum of 8' in height to the bottom of the soffit as measured from the sidewalk at accessible entries.
- Provide physical "threshold" features such as landscape, lighting, railings/fencing and/or transition in hardscape materials, to demarcate and bridge the boundary between public and private. Threshold features should filter but not block views to and from the street and should help define individual units. Limit wall or fence height to no more than 42".
- Locate windows, translucent glass and/or window treatments and layer the transition using landscape so that pedestrians on the sidewalk cannot see directly into the lower half of the ground floor space while still ensuring adequate natural light into units.

G 3.7.B -7 Provide a minimum of 10% of the townhomes meeting the requirements of CBC 1102A.3:

- The primary entry shall be on an accessible route.
- At least one powder room or bathroom shall be on the primary level.
- All rooms or spaces located on the primary entry level shall be on accessible route.

Street-facing townhome entries with stoops

ADA accessible townhome entries

C. Pedestrian Paseo

GUIDELINES

G 3.7.C -1 Include at least one 16' wide minimum mid-block paseo to provide a massing break at Parcels E and F and to allow for pedestrian circulation from Dunbar Drive to the Woonerf (See Figure 3.8).

G 3.7.C -2 Paseos should be attractively landscaped and well lit to provide a comfortable pedestrian experience (See Figure 3.8).

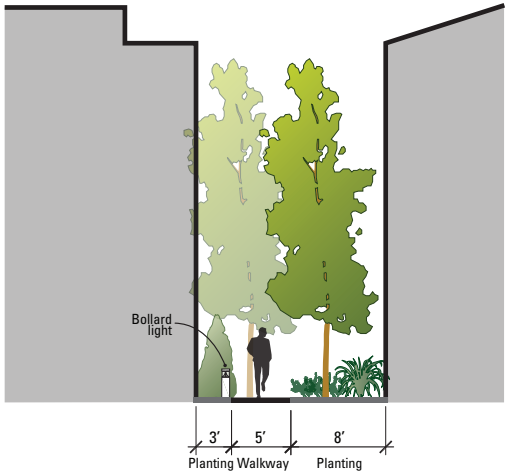


Figure 3.8 Typical pedestrian paseo section

Pedestrian paseo

D. Townhome Driveway and Garage Design

GUIDELINES

G 3.7.D -1 Access townhome garages from driveways, away from the public realm and public view.

G 3.7.D -2 Recess garage doors from the adjacent wall plane where possible.

G 3.7.D -3 Include landscaping as well as pervious and decorative pavement at driveways to encourage pedestrian use (See Figure 3.9).

G 3.7.D -4 Set driveway lighting occupancy controls to ensure a well-lit, safe place. This may be from buildings or poles but must be activated by sensor and centrally controlled.

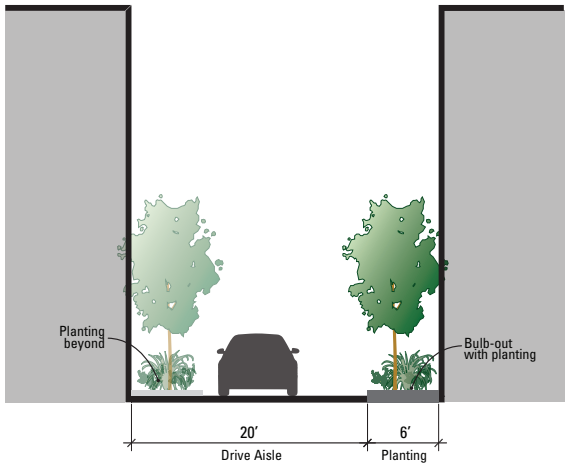


Figure 3.9 Typical driveway section

Townhome parking from landscaped alley

ATTACHMENT C:

Vesting Tentative Tract Map, 8492

VESTING TENTATIVE TRACT MAP 8492

COVER SHEET

921 & 999 98TH AVE

CITY OF OAKLAND, CALIFORNIA

A TEN LOT SUBDIVISION
A CONDOMINIUM PROJECT
PARCEL A CONTAINING 90 RESIDENTIAL UNITS, 9 WORK/LIVE UNITS, 7 LIVE/WORK UNITS AND UP TO 10 COMMERCIAL UNITS
PARCEL B CONTAINING 86 RESIDENTIAL UNITS
PARCEL C CONTAINING 34 RESIDENTIAL UNITS
PARCEL D CONTAINING 60 RESIDENTIAL UNITS
PARCEL E CONTAINING 48 RESIDENTIAL UNITS
PARCEL F CONTAINING 48 RESIDENTIAL UNITS
PARCEL G CONTAINING 26 RESIDENTIAL UNITS
PARCEL H FOR NONCONDOMINIUM PURPOSES
PARCEL J FOR NONCONDOMINIUM PURPOSES
PARCEL K FOR NONCONDOMINIUM PURPOSES
AS DESCRIBED IN THOSE CERTAIN GRANT DEEDS FILED FOR RECORD ON SEPTEMBER 17, 2012 AS DOCUMENT NUMBERS 2012303469, 2012303470, 2012303471, 2012303472, 2012303473, 2012303474 ALL IN THE OFFICIAL RECORDS OF ALAMEDA COUNTY, CALIFORNIA

Community and Economic Development Agency

CITY OF OAKLAND
TENTATIVE TRACT MAP
SUPPLEMENTAL SUBMITTAL REQUIREMENTS

TENTATIVE TRACT MAP
(5 or more lots/condominium conversions)

Supplemental Submittal Requirements:

1. Obtain the Tract Map Number from the Mapping Division of the Alameda County Recorder's Office. Please call (510) 208-9857 to determine what information they need in order to assign a Parcel Map number. **Applications cannot be accepted without this information.**
2. Twelve (12) **full-size** copies of the proposed Tentative Tract Map prepared by a California State licensed Land Surveyor or by a Civil Engineer with a license number below 33966 (licensed prior to January 1, 1982). Each copy must be folded to a size of no larger than 9" x 12". Maps must be no more than 3 years old from the time of submittal.
3. Two (2) **reduced** (8½" x 11" or 11" x 17") copies of the proposed Tentative Tract Map.
4. Prevalent lot size information:
   (a) a map of all parcels within or partially within 200' of the site perimeter (all using the same map scale).
   (b) a sequential list of all the parcels within or partially within 200' of the site perimeter, in order of lot area (including a notation of the median lot area).
   (c) a sequential list of all the parcels within or partially within 200' of the site perimeter, in order of lot width (including a notation of the median lot width).

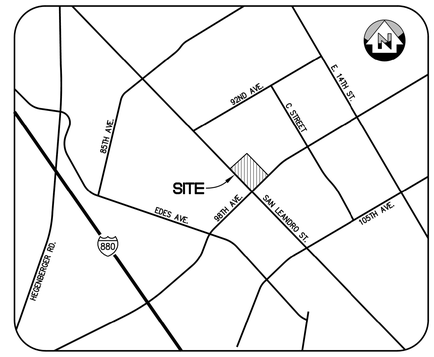
   Prevalent lot size information is not required for the following project types:
   - *Creation of new condominiums*
   - *Condominium conversions*
   - *Mini-lot developments with also involve a Conditional Use Permit pursuant to Section 17.102.320 O.P.C.*
   - *Planned Unit Developments (PUD's)*
   - *Subdivisions between existing principal buildings which also involve a Conditional Use Permit to waive the lot area and lot width requirements pursuant to Sections 17.102.330 and 17.106.010(B) O.P.C.*
   - *Projects which also involve a rezoning, or the creation of a Specific Plan or Development Control Map.*
5. For condominium conversions only: 60-day tenant notification as required by Sections 16.36.020-16.36.020 O.M.C.
6. For condominium conversions only: Copy of 3R report from Building Services documenting number of legal units.
7. For condominium conversions only: If units are vacant, a notarized letter stating when the units were vacant (must be at least 60 days).

Map Content:

☑	1.	Name and address of record property owner(s), the subdivider, and the licensed engineer or surveyor preparing the map.
☑	2.	Wet stamp and signature of the Land Surveyor or Civil Engineer who prepared the survey.
☑	3.	The Tract Map number assigned by the real estate records of the Alameda County Recorder's Office.
☑	4.	Contours with intervals of five (5) feet or less referred to City of Oakland datum, north arrow, date and scale.
☑	5.	Original lot boundaries with lot numbers, as shown on earlier tracts or parcel maps (or names of record owners for unsubdivided land), within and adjacent to boundary of proposed land division.
☑	6.	The location, width, improvement status, purpose, and names of all existing or platted streets (including distance to nearest intersecting street), easements, railroad rights-of-way, other public ways, and buildings within or adjacent to the tract.
☑	7.	Location of all political subdivision lines, corporation lines, water courses, and other physical features.
☑	8.	Location, type, and trunk diameter of trees measuring at least 9-inch diameter (4" diameter if Coast Live Oaks) at a location 4½' above grade.
☑	9.	Existing sewers, culverts or other underground structures within the tract and immediately adjacent thereto with pipe sizes, grades and location indicated.
☑	10.	The layout, numerical or alphabetic designation, dimensions, and square footage of all proposed lots, with the boundary lines accurate in scale.
☑	11.	Proposed vehicular access (including driveway width and slope) and building site location for each parcel.
☑	12.	The layout, names, and proposed width of streets, alleys and easements.
☑	13.	The profile of each street with tentative grades.
☑	14.	All parcels of land intended to be dedicated for public use or reserved for the use of property owners in the proposed subdivision, together with the purpose of any conditions or limitation of such reservation.
☑	15.	The cross sections of proposed streets showing roadway widths and sidewalk location and width.
☑	16.	A plan and profile of proposed sanitary and storm water sewers and other public utilities, with grades and sizes indicated.
☑	17.	Signed statement by subdivider indicating amount of street grading, paving, curbing, sidewalk and storm, sanitary and other improvements proposed to be constructed.
☑	18.	Statement of restrictions to be imposed by subdivider as to use or occupancy of land, building setbacks, yard areas, value of construction and any other restrictions.

These supplemental submittal requirements are in addition to the submittal requirements listed in the Basic Application

L:\Zoning Counter Files\Subdivisions (TPM, TTM, PMW, PUD)\TTM supplemental requirements (01-14-11) revision.doc Revised: 01/14/11



VICINITY MAP
N.T.S.

OWNER/APPLICANT FLEISHMANN PROPERTY, LLC
155 GRAND AVE, STE 950
OAKLAND, CA 94612

ENGINEER SANDIS
636 9TH STREET
OAKLAND, CA 94607

SHEET INDEX

SANDIS CIVIL ENGINEERS SURVEYORS PLANNERS
636 Ninth Street | Oakland, CA 94607 | P. 510.873.8866 | www.sandis.net
SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF

DATE: 11-03-20
SCALE: N.T.S.
DRAWN BY: CF
APPROVED BY: MAK
DRAWING NO: 618107

REGISTERED PROFESSIONAL ENGINEER MICHAEL A. KUYKENDALL No. 70870 Exp. 6/30/21 CIVIL STATE OF CALIFORNIA
DATE 11/12/2020
MICHAEL A. KUYKENDALL
R.C.E. NO. 70870, EXPIRES 6-30-21

PROFESSIONAL LAND SURVEYOR KELLY S. JOHNSON No. 9128 STATE OF CALIFORNIA
DATE 11/12/2020
KELLY S. JOHNSON
P.L.S. NO. 9128, EXPIRES 9-30-2022

No.	REVISION	DATE	BY
	TMAP RESUBMITTAL	06/12/19	
	TMAP RESUBMITTAL	01/23/20	
	TMAP RESUBMITTAL	05/26/20	
	TMAP RESUBMITTAL	11/03/20	

98TH AVENUE
OAKLAND CALIFORNIA

VESTING TENTATIVE TRACT MAP
No. 8492
COVER SHEET

SHEET T-1 OF 9 SHEETS

File: X:\P\618107\(4) ENGINEERING\(2) PLAN SETS\(3) SHEET SET\TMAP\T-1.dwg Date: Nov 12, 2020 - 11:47 AM

LEGEND

PROPOSED BOUNDARY
EXISTING BOUNDARY LINE TO REMAIN
EXISTING RIGHT OF WAY LINE
INTERNAL LOT LINE TO BE REMOVED
BUILDING LINE
BUILDING OVERHANG
CURB LINE
FENCE LINE
GAS LINE
COMMUNICATION LINE
OVERHEAD ELECTRIC LINE
UNDERGROUND ELECTRIC LINE
WATER LINE
SANITARY SEWER LINE
STORM DRAIN LINE

123.45 DESC 123.45 DESC 123.45 DESC — POINT, ELEVATION AND DESCRIPTION

123 — CONTOURS (1-FT INTERVALS)

<SIZE>-TYPE — TREE (DIAMETER SIZE IN INCHES)

ABBREVIATIONS

AC		ACRES	MISC-PB		MISCELLANEOUS PULLBOX
ACR		ACCESSIBLE CURB RAMP	OH		OVERHANG
BOL		BOLLARD	OHE		OVERHEAD ELECTRIC
CB		CATCH BASIN	P		PAVEMENT
COM-MH		COMMUNICATION MANHOLE	PM		PARKING METER
CONC		CONCRETE	PP		POWER POLE
DWY		DRIVEWAY	SDMH		STORM DRAIN MANHOLE
EP		EDGE OF PAVEMENT	SF		SQUARE FEET
EPB		ELECTRIC PULLBOX	SIGN		SIGNS
FG@DOOR		FINISHED GRADE AT DOOR	SSCO		SANITARY CLEANOUT
FL		FLOW LINE	SSMH		SANITARY MANHOLE
GM		GAS METER	STL		STREET LIGHT LAMP NO ARM
GUY		GUY WIRE OR POLE	STL-T		STREET LIGHT TRAFF SIGNAL
GV		GAS VALVE	STPB		STREET LIGHT PULLBOX
HE		HARDSCAPE ELEC LIGHT	TC		TOP OF CURB
JP		JOINT POLE	TREE		TREE SYMBOL
LIP		LIP OF GUTTER	VLT		ELEC VAULT
			WM		WATER METER
			WV		WATER VALVE

GENERAL NOTES

1. APN — 044-5080-179 AND 044-5080-180
2. EXISTING LAND USE: — VACANT LAND
3. EXISTING ZONING: — HBX-1
4. PROPOSE LAND USE: — MIXED USE RESIDENTIAL
5. PROPOSED ZONING: — HBX-1
6. PROPOSED SITE AREA: — 8.50 ACRES
7. EXISTING SITE IMPROVEMENTS: — ALL EXISTING ON-SITE SURFACE IMPROVEMENTS TO BE REMOVED.
8. EXISTING FRONTAGE IMPROVEMENTS: — ALL FRONTAGE STREET IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN.

TENTATIVE MAP NOTES

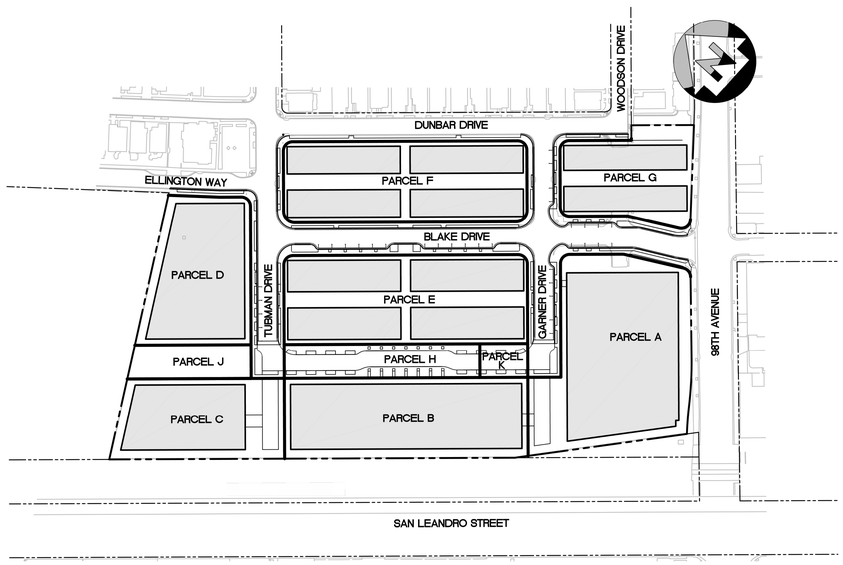
1. FOR EACH PORTION OF THE PROJECT THAT HAS OVER ONE ACRE OF DISTURBED AREA, A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) WILL BE SUBMITTED IN COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT REQUIREMENTS AND THE REGIONAL WATER QUALITY CONTROL BOARD. THE FILING OF NOTICES OF INTENT AND NOTICES OF TERMINATION WILL CORRESPOND TO THE PHASING OF THE PROJECT COMPONENTS.
2. TRAFFIC REGULATORY SIGNAGE MEETING CITY OF OAKLAND STANDARDS WILL BE IMPLEMENTED IN THE P-JOB PERMIT, SUBJECT TO REVIEW AND APPROVAL OF THE CITY'S TRANSPORTATION SERVICES DIVISION.

GENERAL NOTES

1. DEVELOPER RESERVES RIGHT TO FILE MULTIPLE FINAL MAPS. ONLY THE IMPROVEMENTS REQUIRED TO SUPPORT EACH LEVEL OF DEVELOPMENT OF EACH FINAL MAP NEEDS TO BE COMPLETED/BOUNDED.
2. APPROVAL OF MAP PROVIDES FOR DEVELOPER'S ABILITY TO CREATE UP TO 392 RESIDENTIAL CONDOMINIUM UNITS, 9 WORK/LIVE UNITS, 7 LIVE/WORK UNITS AND 2,468 SF OF COMMERCIAL SPACE, TO BE USED FOR PHASING, FINANCE/SALE OF ONE OR MORE PARCELS TO OTHER DEVELOPERS.
3. THIS IS AN APPLICATION FOR A DEVELOPMENT PERMIT PER THE PERMIT STREAMLINING ACT (SECTION 65920 ET SEQ OF THE GOVERNMENT CODE).
4. THIS EXHIBIT IS FOR TENTATIVE MAP PURPOSES ONLY. ALL SITE CHARACTERISTICS ARE TO BE VERIFIED.
5. PURSUANT TO THE PROJECT CONDITIONS OF APPROVAL, DEVELOPER MAY TRANSFER UP TO 10% OF THE ALLOCATED RESIDENTIAL UNITS FROM ONE PARCEL TO ANOTHER PARCEL WITH LIKE RESIDENTIAL UNITS UNDER THE SPECIFIC REQUIREMENTS SET FORTH IN SAID CONDITION. NO PARCEL SHALL RECEIVE AN INCREASE OF 10% OF THE ORIGINAL UNIT COUNT PER PARCEL AND THE TOTAL BUILD OUT SHALL NOT EXCEED THE ALLOWABLE RESIDENTIAL UNIT COUNT OF 399 UNITS.

CODE COMPLIANCE

THIS TENTATIVE MAP VESTS THE RIGHT TO CREATE THE PARCELS SHOWN AND TO DEVELOP THEM. EACH INDIVIDUAL PARCEL SHALL BE REQUIRED TO CONFORM TO THE APPLICABLE BUILDING AND FIRE CODES AT THE TIME OF THE APPLICATION FOR BUILDING PERMIT IS FILED. ADDITIONALLY EACH PARCEL SHALL CONFORM TO THE PROJECT CONDITIONS OF APPROVAL WHICH FURTHER DEFINE PROJECT REQUIREMENTS.



SITE MAP
1"=100'

EXISTING LOT INFORMATION

PARCEL	USE	LOT SIZE	LOT SIZE	APN	OWNER
182	VACANT LOT	31,691 SF±	0.73 A.C.±	044-5080-179	FLEISCHMANN PROPERTY, LLC
183	VACANT LOT	389,216 SF±	8.94 A.C.±	044-5080-180	FLEISCHMANN PROPERTY, LLC
PUBLIC ROW	STREETS	21,647 SF±	0.49 A.C.±	N/A	PUBLIC ROW
	TOTAL	442,554 SF±	10.16 A.C.±		

PROPOSED LOT INFORMATION

PARCEL	USE	LOT SIZE	LOT SIZE	LOT DESCRIPTION
A	MIXED USE	70,109 SF±	1.61 AC±	90 RESIDENTIAL UNITS, 9 WORK/LIVE UNITS, 7 LIVE/WORK UNITS AND 2,468 SF COMMERCIAL SPACE WITH UP TO 10 UNITS
B	MIXED USE	51,932 SF±	1.19 AC±	86 RESIDENTIAL UNITS
C	RESIDENTIAL USE	35,481 SF±	0.82 AC±	34 RESIDENTIAL UNITS
D	MIXED USE	39,086 SF±	0.90 AC±	60 RESIDENTIAL UNITS
E	RESIDENTIAL USE	57,468 SF±	1.32 AC±	48 RESIDENTIAL UNITS
F	RESIDENTIAL USE	51,968 SF±	1.19 AC±	48 RESIDENTIAL UNITS
G	MIXED USE	30,116 SF±	0.69 AC±	26 RESIDENTIAL UNITS
H	PRIVATE STREET WITH PUBLIC ACCESS EASEMENT	17,580 SF±	0.40 AC±	NONCONDOMINIUM PURPOSES
J	OPEN SPACE	10,792 SF±	0.25 AC±	NONCONDOMINIUM PURPOSES
K	PRIVATE STREET WITH PUBLIC ACCESS EASEMENT	4,299 SF±	0.10 AC±	NONCONDOMINIUM PURPOSES
PUBLIC ROW	STREETS	73,723 SF±	1.69 AC±	PUBLIC ROW
	TOTAL	442,554 SF±	10.16 AC±	

NOTE: NUMBER OF UNITS PER PARCEL SUBJECT TO CHANGE. SEE GENERAL NOTE #5, THIS SHEET.

SEISMIC HAZARD NOTE

PER THE CALIFORNIA GEOLOGICAL SURVEY, EARTHQUAKE ZONES OF REQUIRED INVESTIGATION, SAN LEANDRO QUADRANGLE, THIS REAL PROPERTY LIES WITHIN THE FOLLOWING HAZARDOUS AREA: A LIQUEFACTION HAZARD ZONE WHERE HISTORICAL OCCURRENCE OF LIQUEFACTION, OR LOCAL GEOLOGICAL, GEOTECHNICAL AND GROUND WATER CONDITIONS INDICATE A POTENTIAL FOR PERMANENT GROUND DISPLACEMENTS SUCH THAT MITIGATION AS DEFINED IN PUBLIC RESOURCES CODE SECTION 2693(C) WOULD BE REQUIRED. THESE HAZARDS MAY LIMIT YOUR ABILITY TO DEVELOP THE REAL PROPERTY, TO OBTAIN INSURANCE, OR TO RECEIVE ASSISTANCE AFTER A DISASTER. THE MAPS ON WHICH THESE DISCLOSURES ARE BASED ESTIMATE WHERE NATURAL HAZARDS EXIST. THEY ARE NOT DEFINITIVE INDICATORS OF WHETHER OR NOT A PROPERTY WILL BE AFFECTED BY A NATURAL DISASTER. TRANSFEREE(S) AND TRANSFEROR(S) MAY WISH TO OBTAIN PROFESSIONAL ADVICE REGARDING HAZARDS AND OTHER HAZARDS THAT MAY AFFECT THE PROPERTY.

FEMA NOTE

PER FEMA COMMUNITY-PANEL NUMBER 06001C0256G, THE PROJECT SITE LIES IN ZONE X. ZONE X IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.

BENCHMARK

CITY OF OAKLAND CUT CROSS LOCATED IN THE TOP OF CURB 29.8' SOUTHEASTERLY OF THE SOUTHEAST RETURN OF THE SOUTHERLY CORNER OF 98TH AVENUE AND SAN LEANDRO STREET. HAVING AN ELEVATION OF 19.290 FEET. CITY OF OAKLAND BENCHMARK #4036.

BASIS OF BEARINGS

TAKEN AS NORTH 42°22'51" WEST BETWEEN TWO FOUND MONUMENTS ON DUNBAR DRIVE, AS SHOWN IN PARCEL MAP NO. 8017 (315M9).

UNDERGROUND UTILITY NOTE

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

SURVEY NOTES

1. ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
2. THE BACKGROUND TOPOGRAPHIC SURVEYS SHOWN ARE A COMBINATION OF A TOPOGRAPHIC SURVEY PREPARED BY DK CONSULTING; DATED SEPTEMBER 8, 2017, AND A PARTIAL SUPPLEMENTAL TOPOGRAPHIC SURVEY PERFORMED BY SANDIS IN SEPTEMBER 2018.
3. HORIZONTAL CONTROL IS BASED ON A GPS SURVEY USING GNSS RTK METHODS CONNECTED TO THE LEICA SMARTNET REAL TIME NETWORK TIED INTO CALIFORNIA STATE PLANE COORDINATES NAD83, EPOCH 2017.750.

UTILITY NOTES:

STORM DRAIN:	STORM DRAINAGE TO BE INSTALLED TO COLLECT LOCAL RUNOFF WITHIN SITE AND CONNECT TO EXISTING PUBLIC STORM DRAIN SYSTEM. (CITY OF OAKLAND).
WATER:	SERVICE TO BE PROVIDED BY EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD)
SANITARY SEWER:	SANITARY SEWER TO BE INSTALLED TO DISPOSE SEWAGE DISCHARGE WITHIN SITE AND CONNECT TO EXISTING PUBLIC SEWER SYSTEM (CITY OF OAKLAND).
GAS & ELECTRIC:	SERVICE TO BE PROVIDED BY PACIFIC GAS & ELECTRIC (PG&E).
TELEPHONE:	SERVICE TO BE PROVIDED BY AT&T AND/OR COMCAST.

SANDIS CIVIL ENGINEERS SURVEYORS PLANNERS
636 Ninth Street | Oakland, CA 94607 | P. 510.873.8866 | www.sandis.net
SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF

DATE: 11-03-20
SCALE: N.T.S.
DRAWN BY: CF
APPROVED BY: MAK
DRAWING NO: 618107

DATE 11/12/2020 — REGISTERED PROFESSIONAL ENGINEER MICHAEL A. KUYKENDALL No. 70870 Exp. 6/30/21 CIVIL STATE OF CALIFORNIA
MICHAEL A. KUYKENDALL
R.C.E. NO. 70870, EXPIRES 6-30-21

DATE 11/12/2020 — PROFESSIONAL LAND SURVEYOR KELLY S. JOHNSON No. 9128 STATE OF CALIFORNIA
KELLY S. JOHNSON
P.L.S. NO. 9128, EXPIRES 9-30-2022

No.	REVISION	DATE	BY
	TMAP RESUBMITTAL	06/12/19	
	TMAP RESUBMITTAL	01/23/20	
	TMAP RESUBMITTAL	05/26/20	
	TMAP RESUBMITTAL	11/03/20	

98TH AVENUE
OAKLAND CALIFORNIA

VESTING TENTATIVE TRACT MAP
No. 8492
PROJECT NOTES

SHEET T-2 OF 9 SHEETS

File: X:\P\618107\(4) ENGINEERING\(2) PLAN SETS\(3) SHEET SET\TMAP\T-2.dwg Date: Nov 12, 2020 - 11:48 AM

SANDIS OAKLAND — SCALE: 1"=30'

DUNBAR DRIVE
TUBMAN DRIVE
ELLINGTON WAY
GARNER DRIVE
BLAKE DRIVE
WOODS DRIVE
MEDFORD AVE
98TH/JONES AVENUE
WIDTH VARIES

LOT 182
[315 M 9-15]

LOT 183
[315 M 9-15]
044-5080-179 & -180

STEPHENS 24 STEPHENS VII LLC
A CALIFORNIA LIMITED LIABILITY COMPANY
DEED NO. 2004252337

LANDS OF RASOOL M PITTMAN DEED NO 2011117985

LANDS OF WESTERN PACIFIC RAILWAY

WESTERN PACIFIC RAILWAY CO.
72' WIDE

RAISED RAILROAD (BART)

SAN LEANDRO STREET (RUSSETT)

AT&T BOX
CATV BOX
FOUND CUT "X" (TYP.)
TELEPHONE BOX
PG&E VAULT
PG&E VAU
PG&E BOX
AT&T BOX
AT&T VAULT
FOUND CUT "X" BM 4036

LEGEND
EXISTING PROPERTY LINE
EXISTING RIGHT OF WAY LINE

SANDIS CIVIL ENGINEERS SURVEYORS PLANNERS
636 Ninth Street | Oakland, CA 94607 | P. 510.873.8866 | www.sandis.net
SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF

DATE:	11-03-20
SCALE:	1"=30'
DRAWN BY:	CF
APPROVED BY:	MAK
DRAWING NO.:	618107

DATE 11/12/2020 — REGISTERED PROFESSIONAL ENGINEER MICHAEL A. KUYKENDALL No. 70870 Exp. 6/30/21 CIVIL STATE OF CALIFORNIA
MICHAEL A. KUYKENDALL R.C.E. NO. 70870, EXPIRES 6-30-21

DATE 11/12/2020 — PROFESSIONAL LAND SURVEYOR KELLY S. JOHNSON No. 9126 STATE OF CALIFORNIA
KELLY S. JOHNSON P.L.S. NO. 9126, EXPIRES 9-30-2022

No.	REVISION	DATE	BY
	TMAP RESUBMITTAL	06/12/19	
	TMAP RESUBMITTAL	01/23/20	
	TMAP RESUBMITTAL	05/26/20	
	TMAP RESUBMITTAL	11/03/20	

98TH AVENUE
OAKLAND CALIFORNIA

VESTING TENTATIVE TRACT MAP
No. 8492
EXISTING CONDITIONS

SHEET T-3 OF 9 SHEETS

File: X:\P\618107\(4) ENGINEERING\(2) PLAN SETS\(3) SHEET SET\TMAP\T-3.dwg Date: Nov 12, 2020 - 11:48 AM

A TEN LOT SUBDIVISION
A CONDOMINIUM PROJECT

PARCEL A:
90 RESIDENTIAL UNITS, 9 WORK/LIVE UNITS, 7 LIVE/WORK UNITS AND UP TO 10 COMMERCIAL UNITS
(1.61 AC) (70,109 SF)

PARCEL B:
86 RESIDENTIAL UNITS
(1.19 AC) (51,932 SF)

PARCEL C:
34 RESIDENTIAL UNITS
(0.82 AC) (35,481 SF)

PARCEL D:
60 RESIDENTIAL UNITS
(0.90 AC) (39,086 SF)

PARCEL E:
48 RESIDENTIAL UNITS
(1.32 AC) (57,468 SF)

PARCEL F:
48 RESIDENTIAL UNITS
(1.19 AC) (51,968 SF)

PARCEL G:
26 RESIDENTIAL UNITS
(0.69 AC) (30,116 SF)

PARCEL H:
NONCONDOMINIUM PURPOSES
(0.40 AC) (17,580 SF)

PARCEL J:
NONCONDOMINIUM PURPOSES
(0.25 AC) (10,792 SF)

PARCEL K:
NONCONDOMINIUM PURPOSES
(0.10 AC) (4,299 SF)

PUBLIC RIGHT OF WAY:
(1.69 AC) (73,723 SF)

30 0 15 30 60
SANDIS OAKLAND SCALE: 1"=30'

DUNBAR DRIVE (46.5' R/W)
ELLINGTON WAY (22' R/W)
BLAKE DRIVE (54' R/W)
TUBMAN DRIVE (60' R/W)
GARNER DRIVE (54' R/W)
98TH AVENUE (76' R/W)
SAN LEANDRO STREET 88' SAN LEANDRO STREET

PARCEL A
PARCEL B
PARCEL C
PARCEL D
PARCEL E
PARCEL F
PARCEL G
PARCEL H (PUBLIC ACCESS EASEMENT)
PARCEL J (OPEN SPACE)
PARCEL K (PUBLIC ACCESS EASEMENT)

L=23.56, R=15.00 Δ 90°00'00"
N42° 22' 51"W 366.99'
NEW PROPERTY LINE
S47° 37' 09"W 98.50'
N47° 37' 09"E 98.50'
L=28.27, R=18.00 Δ 90°00'00"
S42° 22' 51"E 360.99'
N42° 22' 51"W 102.17'
S47° 37' 09"W 3.00'
S47° 37' 09"W 21.50'
N42° 22' 51"W 101.51'
S47° 37' 09"W 93.50'
N49° 58' 41"E 153.83'
L=4.63, R=20.00 Δ 13°15'40"
S42° 22' 51"E 92.86'
S29° 07' 17"E 49.03'
L=26.42, R=15.00 Δ 100°54'02"
L=19.97, R=15.00 Δ 76°15'56"
S42° 22' 51"E 85.45'
S29° 07' 17"E 98.11'
N47° 37' 09"E 130.00'
S47° 37' 09"W 130.00'
N47° 37' 09"E 185.11'
N47° 37' 16"E 55.11'
S42° 22' 51"E 54.00'
S47° 08' 39"W 132.62'
Δ=7°24'08" L=76.22, R=589.96
L=47.62, R=609.96 Δ 4°28'23"
S47° 37' 09"W 128.03'
N49° 58' 21"W 261.31'
LANDS OF WESTERN PACIFIC RAILWAY
N49° 58' 21"W 21.66'
N42° 22' 51"W 375.52'
72' LANDS OF WESTERN PACIFIC RAILWAY
N42° 22' 51"W 286.03'
N60° 29' 19"E 249.85'
N47° 37' 09"E 225.58'
N39° 56' 59"W 83.72'
N42° 22' 51"W 35.11'
L=23.56, R=15.00 Δ 90°00'04"
S42° 22' 51"E 189.53'
N60° 29' 19"E 56.53'
S42° 22' 51"E 202.12'
N60° 29' 19"E 134.36'
N47° 37' 09"W 55.11'
N42° 22' 51"W 54.00'
S42° 22' 51"E 319.00'
S42° 22' 51"E 78.00'
S47° 37' 09"W 130.89'

LEGEND

- EXISTING PROPERTY LINE TO REMAIN
- PROPERTY LINE TO BE REMOVED
- PROPOSED PROPERTY LINE TO BE CREATED BY THIS MAP
- EXISTING RIGHT OF WAY LINE
- CENTER LINE OF RIGHT OF WAY
- EXISTING MONUMENT
- PROPOSED MONUMENT
- PUBLIC RIGHT-OF-WAY TO BE DEDICATED
- PUBLIC RIGHT-OF-WAY TO BE VACATED
- PROPOSED BUILDING AREA

SUPPLEMENTAL NOTE

BENCHMARK #1750 TO BE RESET PER CITY OF OAKLAND'S INSTRUCTIONS.

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SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF

DATE:	11-03-20
SCALE:	1"=30'
DRAWN BY:	CF
APPROVED BY:	MAK
DRAWING NO.:	618107

DATE 11/12/2020
REGISTERED PROFESSIONAL ENGINEER MICHAEL A. KUYKENDALL No. 70870 Exp. 6/30/21 CIVIL STATE OF CALIFORNIA
MICHAEL A. KUYKENDALL
R.C.E. NO. 70870, EXPIRES 6-30-21

DATE 11/12/2020
PROFESSIONAL LAND SURVEYOR KELLY S. JOHNSON No. 9126 STATE OF CALIFORNIA
KELLY S. JOHNSON
P.L.S. NO. 9126, EXPIRES 9-30-2022

No.	REVISION	DATE	BY
	TMAP RESUBMITTAL	06/12/19	
	TMAP RESUBMITTAL	01/23/20	
	TMAP RESUBMITTAL	05/26/20	
	TMAP RESUBMITTAL	11/03/20	

98TH AVENUE
OAKLAND CALIFORNIA

VESTING TENTATIVE TRACT MAP No. 8492
PROPOSED PARCELS

SHEET **T-4A** OF **9** SHEETS

File: X:\P\618107\(4) ENGINEERING\(2) PLAN SETS\(3) SHEET SET\TMAP\T-4A.dwg Date: Nov 12, 2020 - 11:48 AM

SANDIS OAKLAND — SCALE: 1"=30'

DUNBAR DRIVE (46.5' R/W)

ELLINGTON WAY (22' R/W)

S39° 56' 59"E 15.25'

PARCEL F

PARCEL G

BLAKE DRIVE (54' R/W)

PARCEL D

PARCEL E

TUBMAN DRIVE (54' R/W)

GARNER DRIVE (54' R/W)

98TH AVENUE (76' R/W)

PARCEL A

15' EAE

N60° 29' 19"E 57.53'

N60° 29' 19"E 56.69'

N42° 22' 51"W 6.15'

3' EAE

N60° 29' 19"E 139.08'

N42° 22' 51"W 6.15'

S47° 37' 09"W 55.11'

N47° 37' 09"E 3.00'

L=21.15, R=28.41
Δ 42°39'34"

L=12.79, R=20.00
Δ 36°39'11"

L=5.76, R=9.00
Δ 36°39'11"

L=12.79, R=20.00
Δ 36°39'10"

L=5.76, R=9.00
Δ 36°39'10"

L=19.55, R=28.00
Δ 40°00'25"

S73°37'37"W(R)

S47° 37' 16"W 55.11'

S47° 37' 18"W 32.55'

S42° 22' 51"E 319.00'

S47° 37' 09"W 32.55'

S42° 22' 51"E 96.15'

L=13.00, R=29.00
Δ 25°41'34"

S42° 22' 51"E 130.87'

L=13.08, R=29.34
Δ 25°32'20"

L=13.00, R=29.35
Δ 25°23'07"

S42° 22' 51"E 37.75'

S42° 22' 51"E 78.00'

S42° 22' 51"E 60.00'

26' EVAE

S42° 22' 51"E 114.85'

S42° 22' 51"E 117.40'

S42° 22' 51"E 36.57'

S42° 22' 51"E 78.00'

N47° 37' 09"E 55.11'

S42° 22' 51"E 26.00'

S42° 22' 51"E 319.00'

S42° 22' 51"E 78.00'

S42° 22' 51"E 26.00'

PARCEL J

(OPEN SPACE)

N42° 28' 48"W 6.16'

S42° 22' 38"E 174.14'

S42° 22' 51"E 180.98'

N60° 29' 19"E 56.54'

N60° 29' 19"E 53.46'

S42° 22' 51"E 3.08'

PARCEL C

PARCEL B

55' PUBLIC ACCESS EASEMENT

55' PUBLIC ACCESS EASEMENT

26' DRIVEWAY EASEMENT

N47° 37' 09"E 79.50'

S47° 37' 09"W 59.50'

N42° 22' 51"W 10.00'

26' EMERGENCY VEHICLE ACCESS EASEMENT

26' PUBLIC UTILITY EASEMENT

20' DRIVEWAY EASEMENT

S47° 37' 09"W 20.00'

S42° 22' 51"E 36.00'

S47° 37' 09"W 111.56'

S47° 37' 09"W 108.10'

L=3.05, R=609.96
Δ 0°17'13"

N39°21'13"W(R)

N60° 29' 19"E 168.11'

N60° 29' 19"E 126.10'

S47° 37' 06"W 115.89'

N47° 37' 06"E 115.89'

N42° 22' 51"W 274.74'

N42° 22' 51"W 278.50'

N42° 22' 51"W 374.93'

N42° 22' 51"W 375.13'

N49° 58' 21"W 261.77'

N49° 58' 21"W 261.60'

LANDS OF WESTERN PACIFIC RAILWAY

N49° 58' 21"W 22.27'

N49° 58' 21"W 22.07'

N47° 37' 09"E 3.03'

S49° 58' 21"E 26.23'

72' LANDS OF WESTERN PACIFIC RAILWAY

SAN LEANDRO STREET

88' SAN LEANDRO STREET

LEGEND

- EXISTING PROPERTY LINE TO REMAIN
- PROPERTY LINE TO BE REMOVED
- PROPOSED PROPERTY LINE TO BE CREATED BY THIS MAP
- EXISTING RIGHT OF WAY LINE
- CENTER LINE OF RIGHT OF WAY
- PROPOSED EASEMENT LINE
- PUBLIC UTILITY EASEMENT AND EMERGENCY VEHICLE ACCESS EASEMENT
- PUBLIC ACCESS EASEMENT
- EMERGENCY VEHICLE ACCESS EASEMENT
- EMERGENCY ACCESS EASEMENT
- DRIVEWAY EASEMENT

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SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF

DATE:	11-03-20
SCALE:	N.T.S.
DRAWN BY:	CF
APPROVED BY:	MAK
DRAWING NO.:	618107

DATE 11/12/2020 — REGISTERED PROFESSIONAL ENGINEER MICHAEL A. KUYKENDALL No. 70870 Exp. 6/30/21 CIVIL STATE OF CALIFORNIA
MICHAEL A. KUYKENDALL
R.C.E. NO. 70870, EXPIRES 6-30-21

DATE 11/12/2020 — PROFESSIONAL LAND SURVEYOR KELLY S. JOHNSON No. 9126 STATE OF CALIFORNIA
KELLY S. JOHNSON
P.L.S. NO. 9126, EXPIRES 9-30-2022

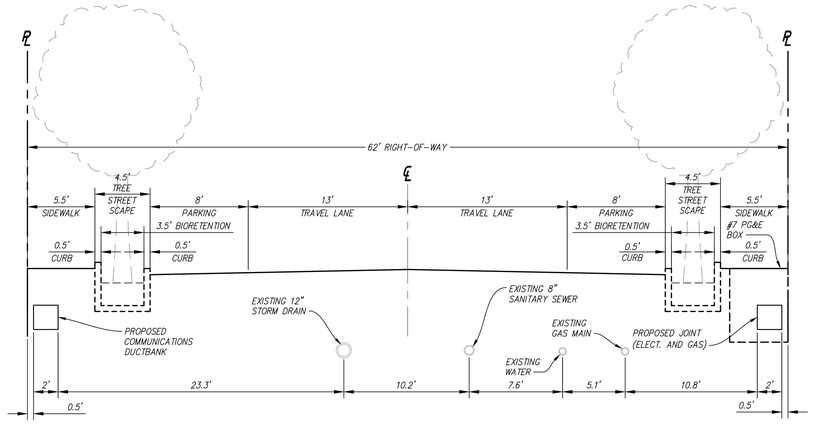
No.	REVISION	DATE	BY
	TMAP RESUBMITTAL	06/12/19	
	TMAP RESUBMITTAL	01/23/20	
	TMAP RESUBMITTAL	05/26/20	
	TMAP RESUBMITTAL	11/03/20	

98TH AVENUE
OAKLAND CALIFORNIA

VESTING TENTATIVE TRACT MAP No. 8492 EASEMENT LAYOUT

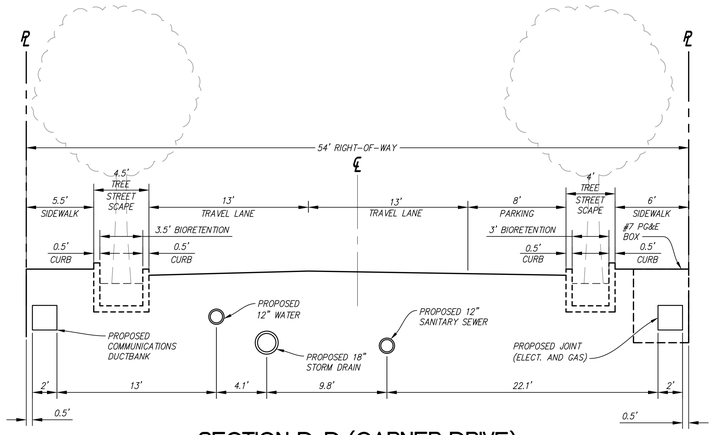
SHEET **T-4B** OF 9 SHEETS

File: X:\P\618107\(4) ENGINEERING\(2) PLAN SETS\(3) SHEET SET\TMAP\T-4B.dwg Date: Nov 12, 2020 - 11:48 AM



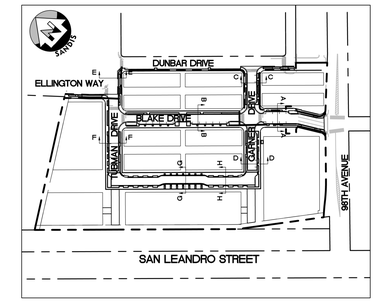
SECTION A-A (BLAKE DRIVE)

SCALE 1"=5'



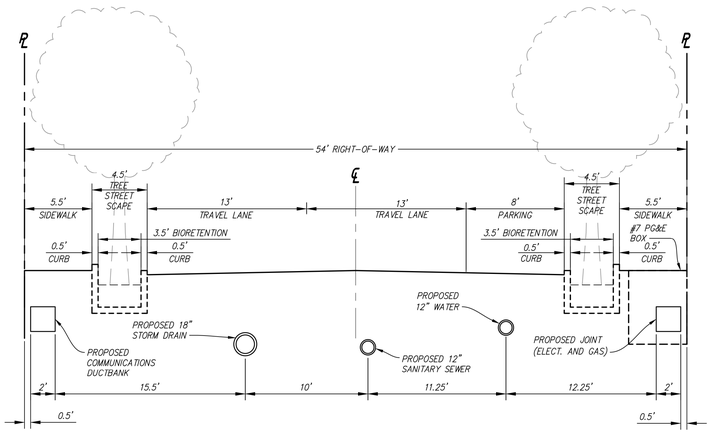
SECTION D-D (GARNER DRIVE)

SCALE 1"=5'



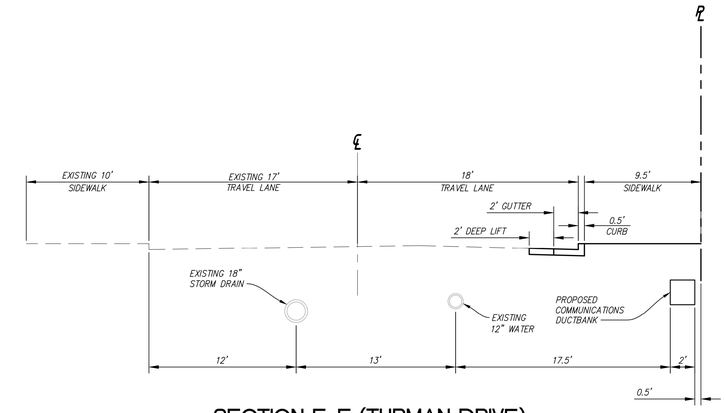
SECTION KEYPLAN

SCALE 1"=200'



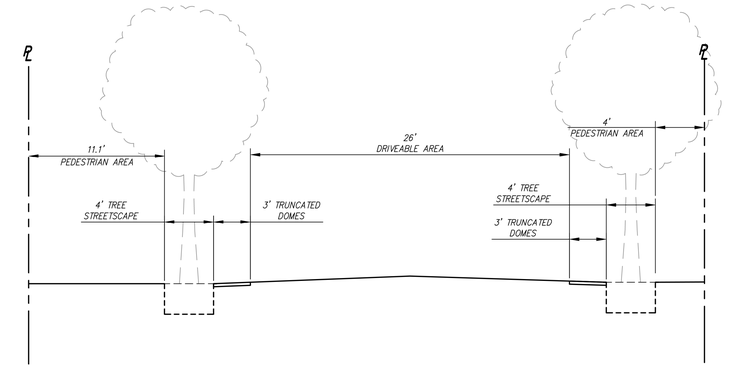
SECTION B-B (BLAKE DRIVE)

SCALE 1"=5'



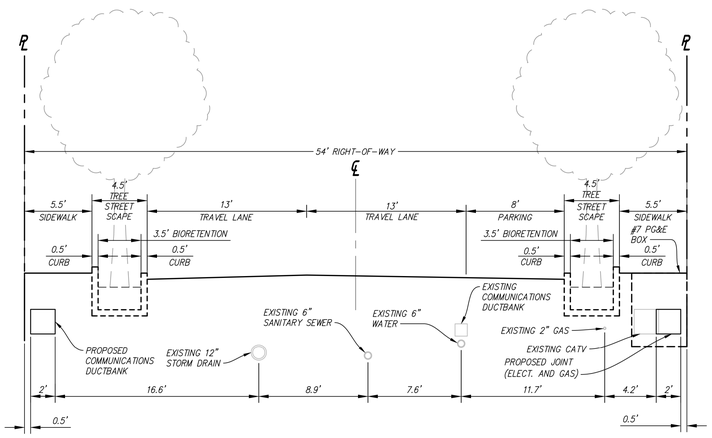
SECTION E-E (TUBMAN DRIVE)

SCALE 1"=5'



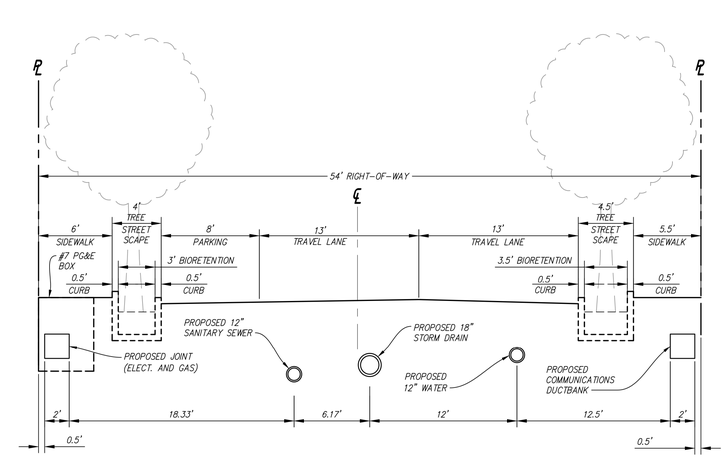
SECTION G-G (PARCEL H WITH PUBLIC ACCESS EASEMENT)

SCALE 1"=5'



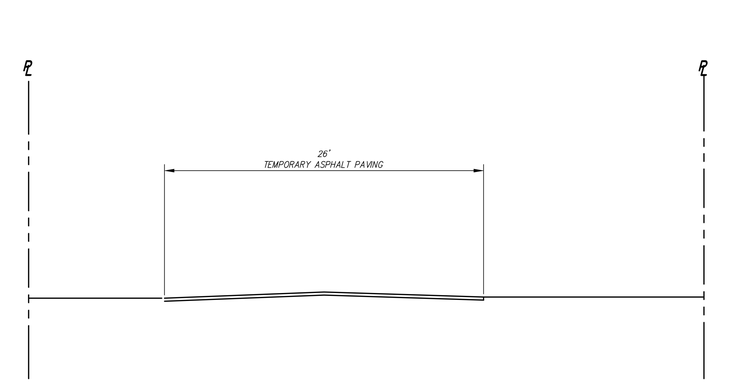
SECTION C-C (GARNER DRIVE)

SCALE 1"=5'



SECTION F-F (TUBMAN DRIVE)

SCALE 1"=5'



SECTION H-H (PARCEL K WITH TEMPORARY ASPHALT PAVING FOR FIRE ACCESS)

SCALE 1"=5'

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SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF

DATE:	11-03-20
SCALE:	AS SHOWN
DRAWN BY:	CF
APPROVED BY:	MAK
DRAWING NO.:	618107

DATE 11/12/2020
MICHAEL A. KUYKENDALL, R.C.E. NO. 70870, EXPIRES 6-30-21

No.	REVISION	DATE	BY
	TMAP RESUBMITTAL	06/12/19	
	TMAP RESUBMITTAL	01/23/20	
	TMAP RESUBMITTAL	05/26/20	
	TMAP RESUBMITTAL	11/03/20	

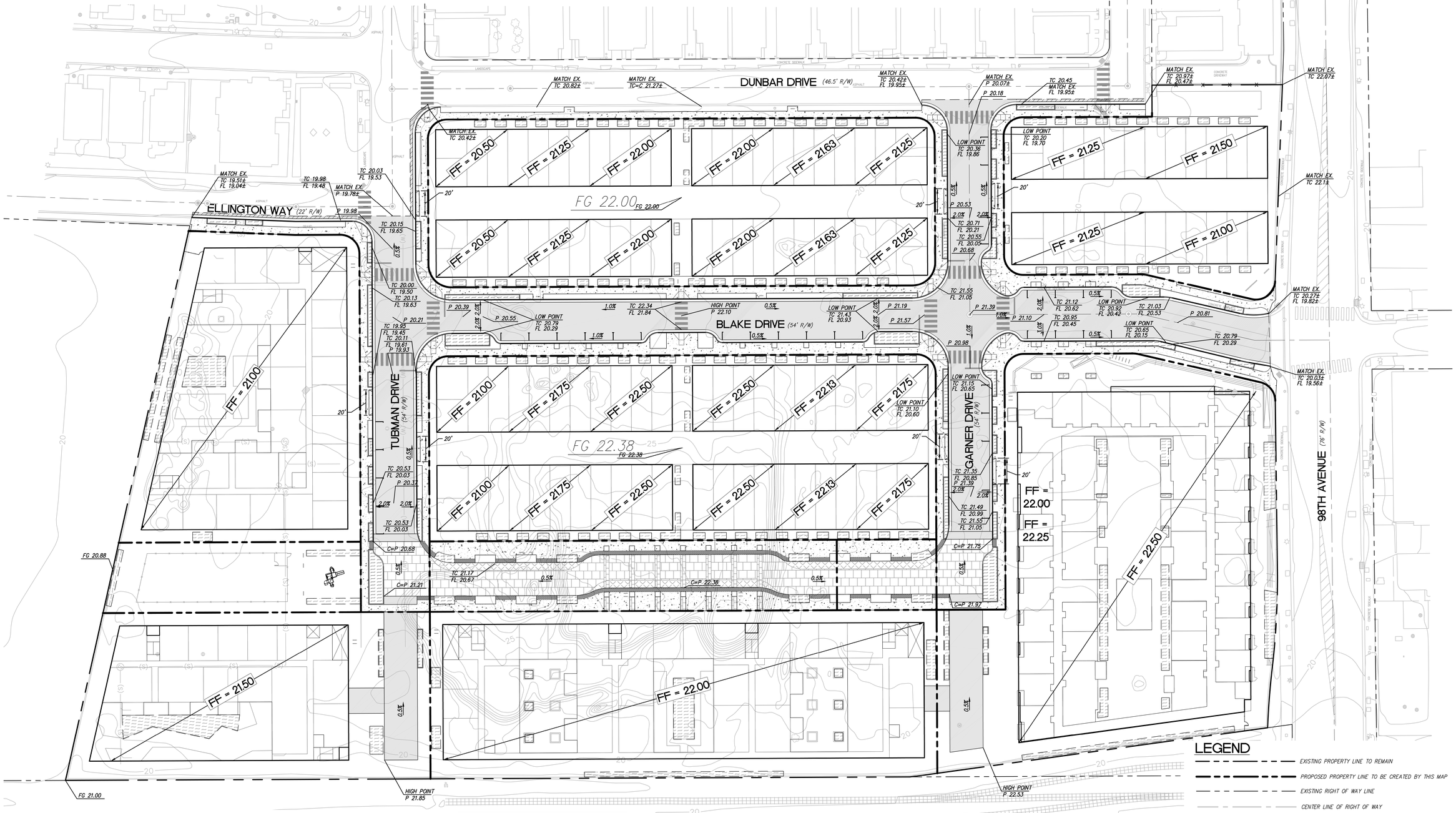
98TH AVENUE
OAKLAND CALIFORNIA

VESTING TENTATIVE TRACT MAP
No. 8492
ROAD SECTIONS

SHEET **T-5** OF 9 SHEETS

File: X:\P\618107\(4) ENGINEERING\(2) PLAN SETS\(3) SHEET SET\TMAP\T-5.dwg Date: Nov 12, 2020 - 11:48 AM

SANDIS OAKLAND — SCALE: 1"=30'



SUBDIVIDERS STATEMENT:

EXISTING STREET GRADES WILL BE MAINTAINED AT THE PROJECT PERIMETER ALONG ELLINGTON WAY, DUNBAR DRIVE, TUBMAN DRIVE AND 98TH AVENUE. NEW CURBING WILL BE INSTALLED ALONG ELLINGTON WAY, TUBMAN DRIVE, A PORTION OF DUNBAR DRIVE AND THE NEW ROADWAYS. SIDEWALK EXTENSIONS WILL BE INSTALLED AROUND THE PROJECT PERIMETER AT ELLINGTON WAY, DUNBAR DRIVE, TUBMAN DRIVE AND GARNER DRIVE, WITH NEW SIDEWALKS ALONG THE NEW ROADWAYS.

AREA OF DISTURBANCE:

442,554 SF

HAUL ROUTE:

98TH AVENUE TO INTERSTATE 880

EARTHWORK SUMMARY

	CUT (CY)	FILL (CY)	NET (CY)
GRADE DEVELOPMENT AREA TO SUB-GRADE ELEVATIONS	8,700	1,500	7,200 (CUT)

LEGEND

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED PROPERTY LINE TO BE CREATED BY THIS MAP
- EXISTING RIGHT OF WAY LINE
- CENTER LINE OF RIGHT OF WAY
- AC PAVEMENT
- CONCRETE SIDEWALK
- DEEP LIFT
- BIO-TREATMENT AREA
- STAMPED CONCRETE
- CONCRETE PAVERS

NOTES:

1. DRIVEWAY OPENING SLOPES SHALL BE 16.7%

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SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF

DATE:	11-03-20
SCALE:	1"=30'
DRAWN BY:	CF
APPROVED BY:	MAK
DRAWING NO.:	618107

DATE 11/12/2020

REGISTERED PROFESSIONAL ENGINEER MICHAEL A. KUYKENDALL No. 70870 Exp. 6/30/21 CIVIL STATE OF CALIFORNIA

MICHAEL A. KUYKENDALL R.C.E. NO. 70870, EXPIRES 6-30-21

No.	REVISION	DATE	BY
	TMAP RESUBMITTAL	06/12/19	
	TMAP RESUBMITTAL	01/23/20	
	TMAP RESUBMITTAL	05/26/20	
	TMAP RESUBMITTAL	11/03/20	

98TH AVENUE
OAKLAND CALIFORNIA

VESTING TENTATIVE TRACT MAP No. 8492 GRADING PLAN

SHEET **T-6** OF 8 SHEETS

File: X:\P\618107\(4) ENGINEERING\(2) PLAN SETS\(3) SHEET SET\TMAP\T-6.dwg Date: Nov 12, 2020 - 11:49 AM

EBMUD FIRE SERVICE AVAILABLE FLOW AND PRESSURE:

DATE PROVIDED BY EBMUD: AUGUST 21, 2018

LOCATION 1: OFF 6-INCH MAIN (6SMB08) IN BLAKE DRIVE, ON THE SOUTH SIDE OF BLAKE DRIVE, APPROXIMATELY 280' WEST OF 98TH AVENUE

CONNECTION POINT STATIC PRESSURE (PSI): 61
RESIDUAL PRESSURE AT 750 GPM (PSI): 57
RESIDUAL PRESSURE AT 1500 GPM (PSI): 52
RESIDUAL PRESSURE AT 1850 GPM (PSI): 49

LOCATION 2: OFF 6-INCH MAIN (6SMB07) IN ELLINGTON WAY, ON THE SOUTH SIDE OF ELLINGTON WAY, APPROXIMATELY 30' WEST OF TUBMAN DRIVE

CONNECTION POINT STATIC PRESSURE (PSI): 58
RESIDUAL PRESSURE AT 750 GPM (PSI): 55
RESIDUAL PRESSURE AT 1500 GPM (PSI): 49
RESIDUAL PRESSURE AT 1850 GPM (PSI): N/A

SANDIS OAKLAND — SCALE: 1"=30'

DUNBAR DRIVE
ELLINGTON WAY
GARNER DRIVE
BLAKE DRIVE
TUBMAN DRIVE
98TH AVENUE
SAN LEANDRO STREET
PARCEL A
PARCEL B
PARCEL C
PARCEL D
PARCEL E
PARCEL F
PARCEL G
PARCEL H (PUBLIC ACCESS EASEMENT)
PARCEL J (OPEN SPACE)
PARCEL K (PUBLIC ACCESS EASEMENT)

CONNECT TO EX. SDMH
EX. SDMH, RIM=TG
EX. 18" INV. IN=14.21 (SE)
EX. 18" INV. IN=13.74 (NE)
EX. 36" INV. OUT=13.16 (NW)

CONNECT TO EX. SD LINE
8 LF ~ 6" @ S=0.02

54 LF ~ 6" @ S=0.02

CONNECT TO EX. SD LINE

CONNECT TO EX. SD LINE

CONNECT TO EX. 6" WATER LINE

CONNECT TO EX. SDMH
EX. SDMH, RIM=17.21
6" INV. IN=15.72 (S)
6" INV. IN=15.72 (W)
EX. 12" INV. IN=15.62 (SW)
EX. 12" INV. OUT=15.62 (NE)

CONNECT TO EX. SDMH
EX. SDMH, RIM=20.24
18" INV. IN=15.82 (SW)
EX. 12" INV. IN=15.74 (SE)
EX. 12" INV. BIDIRECTIONAL=16.53 (NW)
EX. 12" INV. OUT=15.74 (NE)

CONNECT TO EX. 6" WATER LINE

CONNECT TO EX. SDMH
EX. SDMH, RIM=17.89
6" INV. IN=16.40 (E)
6" INV. IN=16.40 (SW)
EX. 12" INV. OUT=16.30 (NW)

CONNECT TO EX. 6" WATER LINE

CONNECT TO EX. SSMH, RIM=20.35
12" INV. IN=12.53 (SW)
12" INV. IN=12.53 (NW)
EX. 8" INV. IN=12.53 (NE)
EX. 8" INV. OUT=12.53 (SE)

CONNECT TO EX. SSMH
EX. SSMH, RIM=18.85
12" INV. IN=14.59 (SE)
EX. 18" INV. OUT=14.59 (NW)

SSMH, RIM=TG
12" INV. IN=15.34 (SW)
12" INV. OUT=15.24 (NW)

WATER MAIN EXTENSION
130 LF ~ 12" @ S=0.005

SANITARY SEWER MAIN EXTENSION

83 LF ~ 12" @ S=0.005

CONNECT TO EX. SDMH
18" INV. IN=14.23 (SW)
18" INV. IN=14.22 (SE)
22" INV. OUT=13.68 (NE)

SSMH, RIM=TG
12" INV. IN=15.86 (SE)
12" INV. IN=15.86 (SW)
12" INV. OUT=15.76 (NE)

SSMH, RIM=TG
12" INV. OUT=16.86 (NE)

SDMH, RIM=TG
18" INV. OUT=15.37 (NE)

SSMH, RIM=TG
12" INV. OUT=14.67 (SE)

SDMH, RIM=TG
18" INV. IN=15.32 (SE)
18" INV. OUT=15.32 (NW)

225 LF ~ 18" @ S=0.005
220 LF ~ 12" @ S=0.01
182 LF ~ 18" @ S=0.005
160 LF ~ 12" @ S=0.01

SSMH, RIM=TG
12" INV. OUT=18.09 (NW)

SDMH, RIM=20.29
6" INV. IN=16.63 (SW)
6" INV. IN=16.63 (E)
18" INV. OUT=16.31 (NW)

199 LF ~ 18" @ S=0.006

206 LF ~ 12" @ S=0.005

220 LF ~ 18" @ S=0.01

273 LF ~ 8" SD

273 LF ~ 8" SD

SDMH, RIM=TG
18" INV. OUT=17.02 (NE)

STORM DRAIN MAIN EXTENSION
SANITARY SEWER MAIN EXTENSION
WATER MAIN EXTENSION

SSMH, RIM=TG
12" INV. OUT=13.66 (NE)

CONNECT TO EX. 6" WATER LINE

CONNECT TO EX. 4" GAS LINE

LEGEND

- EXISTING PROPERTY LINE TO REMAIN
- PROPERTY LINE TO BE REMOVED
- PROPOSED PROPERTY LINE TO BE CREATED BY THIS MAP
- EXISTING RIGHT OF WAY LINE
- CENTER LINE OF RIGHT OF WAY
- SD — STORM DRAIN LINE
- SS — SANITARY SEWER LINE
- WTR — WATER LINE
- E — ELECTRIC LINE
- JT — JOINT TRENCH, INCLUDING GAS & ELECTRIC
- G — GAS LINE
- COMM — TELECOM
- FIRE HYDRANT
- CATCH BASIN
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE

SUBDIVIDERS STATEMENT:

STORM DRAIN IMPROVEMENTS CONSIST OF ON-SITE CAPTURE AND CONVEYANCE OF STORMWATER TO NEW PUBLIC STORM DRAINS ON BLAKE DRIVE, TUBMAN DRIVE AND GARNER DRIVE. SANITARY SEWER IMPROVEMENTS INCLUDE NEW SEWER MAINS IN BLAKE DRIVE, TUBMAN DRIVE AND GARNER DRIVE TO SERVE THE DEVELOPMENTS OCCUPYING THE NEW PARCELS.

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SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF

DATE: 11-03-20
SCALE: 1"=30'
DRAWN BY: CF
APPROVED BY: MAK
DRAWING NO.: 618107

DATE 11/12/2020
MICHAEL A. KUYKENDALL
R.C.E. NO. 70870, EXPIRES 6-30-21

No.	REVISION	DATE	BY
	TMAP RESUBMITTAL	06/12/19	
	TMAP RESUBMITTAL	01/23/20	
	TMAP RESUBMITTAL	05/26/20	
	TMAP RESUBMITTAL	11/03/20	

98TH AVENUE
OAKLAND CALIFORNIA

VESTING TENTATIVE TRACT MAP No. 8492 UTILITY PLAN

SHEET T-7 OF 9 SHEETS

File: X:\P\618107\(4) ENGINEERING\(2) PLAN SETS\(3) SHEET SET\TMAP\T-7.dwg Date: Nov 12, 2020 - 11:49 AM

SANDIS OAKLAND — SCALE: 1"=30'

DUNBAR DRIVE
ELLINGTON WAY
TUBMAN DRIVE
BLAKE DRIVE
GARNER DRIVE
98TH AVENUE
PARCEL D
PARCEL F
PARCEL G
PARCEL E
PARCEL J
PARCEL H
PARCEL K
PARCEL A
PARCEL C
PARCEL B

SUBDIVIDERS STATEMENT:

STORM DRAIN IMPROVEMENTS CONSIST OF ON-SITE CAPTURE AND CONVEYANCE OF STORMWATER TO NEW PUBLIC STORM DRAINS ON BLAKE DRIVE, TUBMAN DRIVE AND GARNER DRIVE. SANITARY SEWER IMPROVEMENTS INCLUDE NEW SEWER MAINS IN BLAKE DRIVE, TUBMAN DRIVE AND GARNER DRIVE TO SERVE THE DEVELOPMENTS OCCUPYING THE NEW PARCELS.

STORMWATER MANAGEMENT NOTES

1. THIS PLAN PRESENTS METHODS AND CALCULATIONS FOR COMPLYING WITH THE REQUIREMENTS OF PROVISION C.3 OF THE MUNICIPAL REGIONAL STORMWATER PERMIT IN ACCORDANCE WITH THE ALAMEDA COUNTY AND THE CITY OF OAKLAND REQUIREMENTS. THESE REQUIREMENTS INCLUDE BOTH STORMWATER TREATMENT AND FLOW-CONTROL (IT IS BELIEVED THIS PROJECT IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS PER THE EXEMPTIONS LISTED IN THE STORMWATER HANDBOOK).
2. BIO-RETENTIONS NOTED ON PLANS ABOVE ARE CALLED OUT TO SPECIFY TREATMENT FACILITIES WITHIN DRAINAGE MANAGEMENT AREAS AND HAVE BEEN SPLIT UP IN ORDER TO CAPTURE RUNOFF FROM VARIOUS AREAS WITHIN THE DMA.

C.3 STORMWATER TREATMENT MEASURES

AREA ID	BMP ID	REQUIRED TREATMENT AREA (SF)	PROPOSED TREATMENT AREA (SF)
DMA-01	B-01	2,592	3,535
DMA-02	B-02	2,078	2,111
DMA-03	B-03	1,420	1,690
DMA-04	B-04	1,455	1,547
DMA-05	B-05	2,327	2,365
DMA-06	B-06	2,100	2,172
DMA-07	B-07	1,093	1,123
DMA-08	B-08	275	283
DMA-09	B-09	267	293
DMA-10	B-10	75	122
DMA-11	B-11	164	205
DMA-12	B-12	106	125
DMA-13	B-13	74	107
DMA-14	B-14	130	142

C.3 STORMWATER TREATMENT MEASURES

AREA ID	BMP ID	REQUIRED TREATMENT AREA (SF)	PROPOSED TREATMENT AREA (SF)
DMA-15	B-15	112	160
DMA-16	NOT USED	N/A	N/A
DMA-17	B-17	201	203
DMA-18	B-18	270	309
DMA-19	B-19	197	202
DMA-20	B-20	269	307
DMA-21	B-21	63	106
DMA-22	B-22	103	130
DMA-23	B-23	45	46
DMA-24	B-24	164	176
DMA-25	B-25	167	578
DMA-26	NOT USED	N/A	N/A
DMA-27	B-27	104	106
DMA-28	B-28	103	117

C.3 STORMWATER TREATMENT MEASURES

AREA ID	BMP ID	REQUIRED TREATMENT AREA (SF)	PROPOSED TREATMENT AREA (SF)
DMA-29	B-29	579	589
DMA-30	B-30	220	557
DMA-31	B-31	239	270
DMA-32	B-32	129	173
DMA-33	B-33	113	518
DMA-34	B-34	134	193
	PP-1	1,556	1,556
	PP-2	465	465

LEGEND

- EXISTING PROPERTY LINE TO REMAIN
- PROPERTY LINE TO BE REMOVED
- PROPOSED PROPERTY LINE TO BE CREATED BY THIS MAP
- EXISTING RIGHT OF WAY LINE
- CENTER LINE OF RIGHT OF WAY
- DMA BOUNDARY AREA
- BIO-RETENTION AREA
- PROPOSED BUILDING AREA
- CONCRETE PAVERS
- DMA-# DRAINAGE MANAGEMENT AREA ID
- DIRECTION OF SURFACE FLOW

SANDIS CIVIL ENGINEERS SURVEYORS PLANNERS
636 Ninth Street | Oakland, CA 94607 | P. 510.873.8866 | www.sandis.net
SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF

DATE: 11-03-20
SCALE: 1"=30'
DRAWN BY: CF
APPROVED BY: MAK
DRAWING NO: 618107

DATE 11/12/2020
REGISTERED PROFESSIONAL ENGINEER MICHAEL A. KUYKENDALL No. 70870 Exp. 6/30/21 CIVIL STATE OF CALIFORNIA
MICHAEL A. KUYKENDALL R.C.E. NO. 70870, EXPIRES 6-30-21

No.	REVISION	DATE	BY
	TMAP RESUBMITTAL	06/12/19	
	TMAP RESUBMITTAL	01/23/20	
	TMAP RESUBMITTAL	05/26/20	
	TMAP RESUBMITTAL	11/03/20	

98TH AVENUE
OAKLAND CALIFORNIA

VESTING TENTATIVE TRACT MAP No. 8492 STORMWATER MANAGEMENT PLAN

SHEET T-8 OF 9 SHEETS

File: X:\P\618107\(4) ENGINEERING\(2) PLAN SETS\(3) SHEET SET\TMAP\T-8.dwg Date: Nov 12, 2020 - 11:49 AM