

Case File Number PLN22117

May 1, 2023

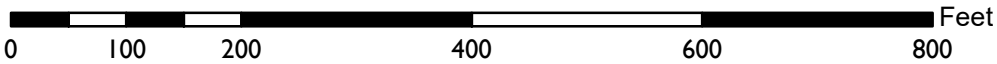
Location:	220 Alice Street (See map on reverse)
Assessor’s Parcel Number	001 015700100, 001 015700400, 001 015700500, 001 015700600
Proposal:	Demolition of nonresidential buildings and new construction of a five-story mixed-use building with 160 residential efficiency units (including 30 deed-restricted moderate-rate affordable units) and 1,250 square feet of ground-floor retail space. The applicant is seeking additional dwelling units and a concession for the minimum required amount of usable open space under the State Density Bonus Law.
Applicant:	Chris Batson, Riaz Capital
Phone Number:	978-549-0432
Owner:	Riaz Capital
Case File Number:	PLN22117
Planning Permits Required:	Regular Design Review for new construction and establishment of dwelling units. Minor Conditional Use Permit for density.
General Plan:	Estuary Policy Plan -- Mixed-Use District/ Estuary Policy Plan – Waterfront Warehouse District
Zoning:	C-45 Community Shopping Commercial Zone / S-4 Design Review Combining Zone
Environmental Determination:	Determination Pending, Environmental analysis to be conducted prior to any discretionary action.
Historic Status:	220 Alice Street is a Local Register Property and in the Waterfront Warehouse District Area of Primary Importance. OCHS Rating: 1
City Council district:	3
Status:	Under Review
Action to be Taken:	Receive public and Landmarks Preservation Advisory Board comments on the design.
For further information:	Contact Case Planner Jana Wismer at 314-203-1653 or by e-mail jwismer@interwestgrp.com

SUMMARY

This item is for review of a new mixed-use building partially located within the Waterfront Warehouse Area of Primary Importance. This project would demolish the Prime Smoked Meats Complex at 220 Alice Street (APN 001 015700100 and 001 015700500), 200 Alice Street (APN 001 105700600), and 236 2nd Street (APN 011 015700400). The building at 220 Alice Street is located in the Waterfront Warehouse API and is a non-contributor to the district. The project would demolish all three buildings to construct a new, five-story, mixed-use, multifamily building with 160 residential units and commercial retail on the ground floor. The applicant is seeking Category II demolition, which requires the existing building at 220 Alice Street to be determined of no particular interest (E-rating) by the Oakland Cultural Heritage Survey, a determination that the design quality of the replacement facility is equal or superior to that of the existing facility, and a determination that the replacement project is compatible with the character of the historic district.

Staff requests that the LPAB review and comment on the project plans contained in Attachment A (including the recently revised rendering) and provide input on the adequacy of the project’s compliance with the Category II findings. Specifically, does the documentation support an OCHS E-rating; is the replacement project equal or superior to the existing building at 220 Alice Street; and is the replacement project compatible with the character of the Waterfront Warehouse API.

LANDMARKS PRESERVATION ADVISORY BOARD



Case File: PLN22117

Applicant: Riaz Capital

Address: 200 Alice St, 220 Alice St, 239 3rd st

Zone: C-45/S-4

BACKGROUND

The project was submitted on June 28, 2022, for the demolition of a Category-II historic structure within an Area of Primary Importance (API), construction of a mixed-use building of seven stories with 210 units and 65 moderate-rate affordable units, and concessions for parking and open space. 2,520 square feet of retail space was proposed at the ground level.

On November 30, 2022, the project was revised to reduce the number of stories from seven to five the number of units from 210 to 165, the number of moderate-rate affordable units from 65 to 30, and the square footage of retail space from 2,520 to 1,250. The revision also included a modification of the previously proposed façades.

On November 29, 2022, the applicant held a remote informational community meeting, with the assistance of representatives from the Jack London Improvement District, to present the new design of the building. New plans were submitted to Planning staff shortly thereafter.

On February 2, 2023, in response to staff's comments, the applicant provided a revised rendering that included a terminus of the façade at the top level, an awning over the street-level entrance to the residential spaces, and modification of the façade to display a more regular grid pattern to better reflect the warehouse architecture in the district.

SITE AND DISTRICT DESCRIPTION

The four properties are flat, rectangular parcels totaling approximately 17,000 square feet. The site fronts on Alice, 2nd and 3rd Streets. 220 Alice Street is within the Waterfront Warehouse API (API or District) and contains a one- and two-story concrete and concrete block building formerly occupied by the Prime Smoked Meats company. To the west is 200 Alice Street, a corner lot currently occupied by a one-story concrete block building used as a sandwich shop. The third parcel is located to the south and contains a one-story concrete block building at 236 2nd Street that is used as office space.

The parcels containing the former Prime Smoked Meats company at 220 Alice Street are located within the western boundary of the Waterfront Warehouse API. The building was constructed in 1954 and is considered a non-contributing feature to the district. The nearest contributing buildings to the district are located across Alice Street (255 3rd Street, APN 001 015101700) and at the opposite end of the block containing the project site (201 3rd Street, APN 001015701700). Facing the project site across 3rd Street is a five-story, multi-family building at 200 3rd Street; across 2nd Street is the Amtrak Station; and across Alice Street is the aforementioned three-story district contributor at 255 3rd Street and a one-story former warehouse at 205 Alice Street (APN 001 015100400).

The API spans between Webster Street to the north, 5th Street to the east, Madison Street to the south, and a line running mid-block between 2nd and 3rd streets to the west. The overall API boundary is irregular in shape and is approximately centered on Alice Street with the highest concentration of remaining contributing features on 4th and Harrison Streets. The Waterfront Warehouse District is listed on the National Register.

History and Context

Waterfront Warehouse API

The project site is along the western border of the API. The district occupies portions of ten city blocks between Webster and Madison streets and between 3rd and 5th streets. The district is geographically concentrated along

Alice Street; however, the highest concentration of contributing buildings is centered on the intersection of Harrison and 4th Streets near the headhouse for the Posey Tube. The District was first identified as an Area of Primary Importance in 1985. It was listed on the National Register in 2000. Of the 30 buildings located within the district boundaries in 2000, 26 were one- to three-story warehouses. In 2000, there were 25 contributing buildings and structures to the district including five buildings or structures individually eligible for listing in the National Register, two of which are also City of Oakland Landmarks (299 3rd Street and the Posey Tube headhouse are City landmarks and 401, 247, and 255 4th Street are also National Register-eligible) and 19 Potential Designated Historic Properties.

The district's distinctiveness is expressed in its physical layout and unified architecture. Buildings conform to the city street grid and enclose the wide streets. Individual buildings are typically 1/8 to 1/4 block in size, use the brick, concrete, and steel sash construction and design vocabulary of the 1910s and 1920s, and were expressly located and designed for access to the Western Pacific Railroad 3rd Street tracks and the waterfront. 15 of the District contributors were constructed between 1917 and 1937, one was built in 1940, and eight were constructed between 1945 and 1954. They share a similar scale, massing, height, texturing, and materials and are simple and utilitarian in design, with flat roofs and stepped or decorative parapets, industrial sash, multicolored surface of brick or painted stucco, and prominent truck doors and loading bays.

The Oakland Waterfront Warehouse District is significant at the local level under National Register Criterion A in the areas of industry and commerce for its association with Oakland industrial development from World War I to shortly after World War II. Before World War I, Oakland's industrial economy was tied largely to other Bay Area cities. During and after World War I, Oakland's industrial activities expanded astronomically due largely to the growth of industry-supporting exports and infrastructure development. From World War I through a few years after World War II, Oakland's industrial economy stood on its own and earned the city the nickname 'Industrial Capital of the West'. Through the tonnage they shipped by rail, water, and land, the businesses in the Oakland Waterfront Warehouse District contributed to Oakland's industrial development. The architecture is also significant at the local level under National Register Criterion C because the district is Oakland's only intact concentration of buildings that convey the city's industrial past through its physical features.

Since 2000, the district has been subject to increased development, primarily on the many vacant lots located within the District's boundaries. New development has been largely residential or mixed-use with residential above commercial, 5-7 stories in height, and occupying from one-quarter to entire city blocks. Similar use, scale, and mass are present in other post-2000 developments located immediately adjacent to the district. Two district contributors, 430 Jackson Street and 428 Alice Street, have been demolished and redeveloped.

220 Alice Street, Subject Building

220 Alice Street includes the original 1953-1954 building constructed on a 0.22-acre parcel (APN 001 015700500) and a 0.04-acre parcel (APN 001 015700100). Alice Street runs north-south and 3rd Street runs east-west. The property is located at the corner of Alice and 3rd Streets, with the longer elevation facing Alice Street, and does not extend all the way to 2nd Street.

The site's one-and-a-half story, painted concrete block building is rectangular, features a flat roof, and was constructed in 1953-1954. According to permit records, modifications include an addition facing 3rd Street in 1967, a one-room addition in 1961, and a second-story storage room in 1983.

The 3rd Street elevation has two doorways, one on the ground floor under a metal structural brace and one at the upper story below the corrugated metal overhang. Both feature painted corrugated metal roll-up doors.

Based on a 1983 photo and a site visit, other window and door openings are infilled at the 3rd Street elevation. The Alice Street elevation has a clerestory window covered by screening, a recessed and raised loading dock with multiple doors, and other openings currently blocked off. The raised loading dock also has fixed transom windows and a mechanical box. A container is placed in front of the Alice Street elevation and former windows and doorways have been infilled on both the Alice Street and 3rd Street elevations. An extended eave with an angled metal cornice spans half of the 3rd Street elevation and stretches to about half of the Alice Street elevation, where it terminates in a triangular fin just beyond a recessed loading dock area. The 2nd Street elevation abuts the adjacent commercial building and is opaque.

Two signs that read “Prime Smoked Meats” are still visible at the 3rd Street elevation, slightly obscured by paint, and at the east wall of the second-story addition above.

Connor Turnbull Preservation Consulting has completed a historic resource evaluation for the City that concludes the building at 220 Alice Street does not meet the criteria for listing in the California Register and recommends the building for an OCHS E-Rating (Attachment B).

PROJECT DESCRIPTION

The proposed project (Attachment A for plans) would construct a five-story, 86,141 square-foot mixed-use, multi-family building on a combined lot spanning the entire width of the block on Alice Street between 2nd and 3rd streets. Note that the rendering in Attachment A is the most recent design and is not reflected in the elevation in the body of the plans.

The lobby and main residential entrance would be on Alice Street. The building would be 64'-9" to the top of the roofline. The proposal would contain 160 units (all studio/loft dwelling units), 1,410 square feet of space for residential amenities, and 1,250 square feet for retail. There is space for 80 bike parking spaces and no auto parking is included.

The proposed five-story mixed-use multi-family residence building is compatible with the District as a uniform building with no setback and that fills its lot. It is comparable in massing and features a flat roof and economy of material. The pattern of windows and stucco rectangles and square on the façade reference other District contributors, such as the C.L. Greeno building, and its dominant main opening on Alice Street is in keeping with the character of loading bays as the predominant relationship of the District contributors to the street. The building reflects the economy of means that is characteristic of this collection of warehouse buildings.

At 17'-2", the ground floor is double-height and generally transparent. This ground floor height is consistent with industrial-style buildings in the neighborhood. However, these buildings normally have a horizontal element such as an awning or strong cornice to create a human-scaled façade. This issue is further discussed in the “Key Issues and Impacts” Section of this report.

GENERAL PLAN ANALYSIS

Applicable policies are found in the Estuary Policy Plan and the Historic Preservation Element.

Estuary Policy Plan (EPP)

The site is in the EPP Mixed Use District land use classification, which has a maximum nonresidential floor area ratio (FAR) of 7.0 and a maximum residential density of one regular unit per 261 square feet of lot area. The project has a FAR of 4.92, which is less than the maximum under the EPP.

20 percent of the maximum allowed residential units will be reserved for moderate-income individuals, qualifying the project for a fifteen percent density bonus under State Density Bonus Law. The EPP permits one unit per 209 square feet of lot area. The Zoning Manager has determined in prior projects that, consistent with the Planning Code, efficiency units are allowed twice the maximum density as regular units under the Land Use and Transportation Element of the General Plan (LUTE). Carrying this determination to this site is appropriate because the EPP sets the LUTE policies for the Estuary Plan area. This formula allows one efficiency unit per 104.5 square of site area, allowing 167 efficiency units.

The project contains 160 efficiency units, which is within the density permitted under the EPP (with the granting of a Conditional Use Permit). The applicant has chosen to not take advantage of the State Density Bonus Law to add units above that allowed under the EPP.

The proposal is also consistent with the following EPP Policy:

Policy JL – 6: Encourage the preservation and adaptive reuse of existing buildings in a new Waterfront Warehouse District. Use of buildings and new infill development should include joint living and working quarters, residential, light industrial, warehousing and distribution, wholesaling, offices and other uses which preserve and respect the district's unique character.

Land Use and Transportation Element of the General Plan (LUTE)

The project conforms to the following LUTE Policies:

Policy I/C2.2 Reusing of Abandoned Buildings.

The reuse of abandoned industrial buildings by non-traditional activities should be encouraged where the uses are consistent with and will assist in the attainment of, the goals and objectives of all elements of the Plan.

Policy D1.11 Supporting the Jack London District

The continuing commercial growth and success of Jack London Square should be supported and linkages such as the Bay Trail, bicycle lanes, and pedestrian walks to downtown Oakland and the airport should be improved.

Policy I/C3.2 Enhancing Business Districts

Retain and enhance clusters of similar types of commercial enterprises as the nucleus of distinctive business districts, such as the existing new and used automobile sales and related uses through urban design and business retention efforts.

Policy I/C3.4 Strengthening Vitality.

The vitality of existing neighborhood mixed use and community commercial areas should be strengthened and preserved.

Policy D10.6 Creating Infill Housing.

Infill housing that respects surrounding development and the streetscape should be encouraged in the downtown to strengthen or create distinct districts.

Historic Preservation Element (HPE)

The HPE sets out a hierarchy of historic properties based on OCHS ratings and local, state, and federal designations. About 20% of Oakland's buildings are classified as Potential Designated Historic Properties (PDHPs) which "warrant consideration for possible preservation" (HPE Policy 1.2). About two to four percent, individually

or as district contributors, make up Oakland’s Local Register, the most significant properties as defined for CEQA and other regulatory purposes. These are properties individually rated A or B, formally designated, or within APIs, i.e. National Register quality districts.

The existing building is a non-contributing building within an API. It currently has no individual OCHS rating. The Applicant has submitted a report that recommends the building be assigned an E-Rating (of no particular interest). The project affects the API, which is considered a Class I Preservation District under the HPE. As such, the policies and goals of the HPE apply to the project including the following:

Policy 2.4 –Landmark and Preservation District Regulations

- (a) Demolitions and removals involving Landmarks or Preservation Districts will generally not be permitted or be subject to postponement unless certain findings are made. Demolition or removal of more important Landmarks and of most Preservation District properties will normally not be permitted without the required findings, while demolition or removal of less important Landmarks will be subject only to postponement.
- (b) Alterations or new construction involving Landmarks or Preservation Districts will normally be approved if they are found to meet the Secretary of the Interior’s Standards for the Treatment of Historic Properties or if certain other findings are made.
- (c) Findings for approval of demolitions, removals, alterations or New Construction involving Landmarks or Preservation Districts will seek to balance preservation of these properties with other concerns.

For alteration and new construction in a Class I Preservation District Policy 2.4 incorporates by reference certain regulations as presented in Table 4-2 of the HPE. These regulations have been codified into the Category II Demolition Findings requirements. These findings requirements apply to any property in an historic neighborhood defined as an Area of Primary Importance by the Oakland Cultural Heritage Survey.

Finding 1 (Contributing Properties): the existing property has no reasonable use or cannot generate a reasonable economic return and that the development replacing it will provide such use or generate such return.

Finding 2 (Contributing Properties): the property constitutes a hazard and is economically infeasible to rehabilitate on its present site. For this finding, a hazard constitutes a threat to health and safety that is not imminent.

Finding 3 (Noncontributing Properties): the existing facility is either (a) seriously deteriorated or a hazard or (b) the existing design is undistinguished and does not warrant retention. This finding, a hazard constitutes a threat to health and safety that is not imminent.

Finding 4 (All Properties): the design quality of the replacement facility is equal/superior to that of the existing facility.

Finding 5 (All Properties): for all properties in the district: the design of the replacement project is compatible with the character of the preservation District, and there is no erosion of design quality at the replacement project site and in the surrounding area.

Finding 6 (Contributing Properties): it is economically, functionally architecturally, or structurally infeasible to incorporate the historic building into the proposed development.

The proposed project would be subject to Findings 3, 4, and 5.

ZONING ANALYSIS

The subject property is within the C-45 Community Shopping Commercial (C-45) Zone / S-4 Design Review Combining (S-4) Zone. The intent of the C-45 Zone is: “to create, preserve, and enhance areas with a wide range of both retail and wholesale establishments serving both long- and short-term needs in compact locations oriented toward pedestrian comparison shopping, and is typically appropriate to commercial clusters near intersections of major thoroughfares.” The C-45 Zone does not have a general height limit but does have a 7.0 FAR. The base allowable density is one unit per 300 square-feet of lot area. The S-4 Zone requires approval for construction pursuant to the design review procedure in Chapter 17.136 of the Oakland Planning Code.

Development Standards

The following table describes key development standards for the project.

Regulation	Required	Proposed
Maximum Residential Density	Maximum one unit per 209 square feet of lot area for regular dwelling units and one unit 104.5 square feet of lot area for efficiency units, thus allowing 167 efficiency units.	160 efficiency units.
Maximum Floor Area Ratio	7.0	4.92
Maximum Height	No maximum	64’-9”
Minimum Usable Open Space	15,150 square feet of usable open space. (150 square feet of usable open space per required for regular units and 75 square feet required per efficiency units. Each square foot of private usable open space counts as two square feet of usable open space but a minimum of 30 square feet of group usable open space is required per unit.)	875 square feet of common outdoor usable open space, plus approximately 115 square feet of private usable open space for ground-floor units. The applicant has proposed a concession from the usable open space requirements per the State Density Bonus Law.
Parking	71 parking spaces (one parking space per unit, reduced by 30 percent due to proximity to public transit).	0 parking spaces. As of January 1, 2023, the project is not subject to any parking requirements under AB 2097.

ENVIRONMENTAL DETERMINATION

An analysis of the project’s compliance with the California Environmental Quality Act (CEQA) has not been completed. Analysis is expected to include the effect of the modification of this API contributor both on the individual Local Register building and on the overall integrity of the District, with reference to the Secretary of the Interior’s Standards and the City’s CEQA Thresholds of Significance.

KEY ISSUES AND IMPACTS

Staff requests that the LPAB review and provide input on the documentation supporting the qualification of the project for Category II demolition findings. This includes input on the adequacy of the documentation recommending an OCHS E-rating (of no particular interest) for the current building at 220 Alice Street (Attachment B), plans in Attachment A (including the recently revised rendering), and input on the adequacy of the proposed project to demonstrate that the design quality of the project is equal/superior to the existing building, and input on the compatibility of the proposed project with the characteristics of the Waterfront Warehouse API.

Staff recommends more recessed glazing to provide more shadowing to relate to other industrial-style buildings such as 125 2nd Street, 250 3rd Street, and 378 Embarcadero West. Staff also recommends ground-level treatments that create a more pedestrian scale and relate to other industrial-style buildings, such as additional awnings or a strong cornice that create an upper and lower set of windows or transom windows.

RECOMMENDATIONS:

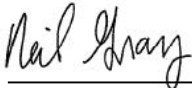
1. Receive any testimony from the applicant and/or interested parties.
2. Provide direction and recommendations to staff and the applicant regarding the design of the building.

Prepared by:



Jana Wismer
Contract Planner

Reviewed by:



Neil Gray, Planner IV
Bureau of Planning

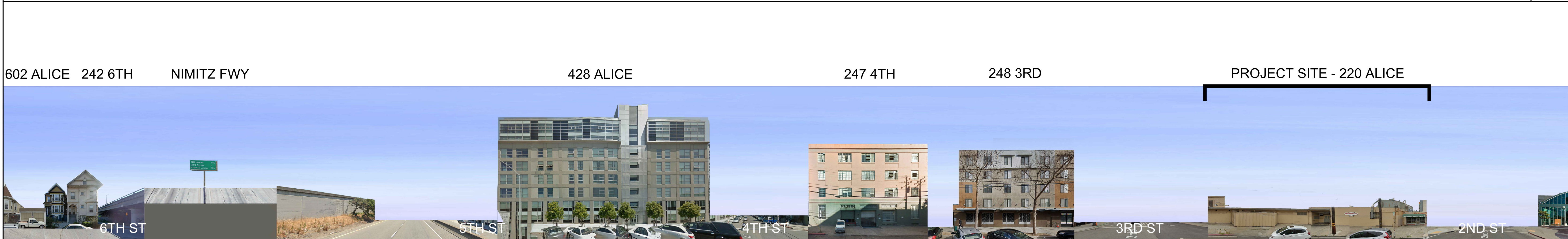
ATTACHMENTS:

- A. Plans, dated 4/15/2022, plus architectural rendering of the further revised façade dated 2/22/2023
- B. Historic Resource Evaluation





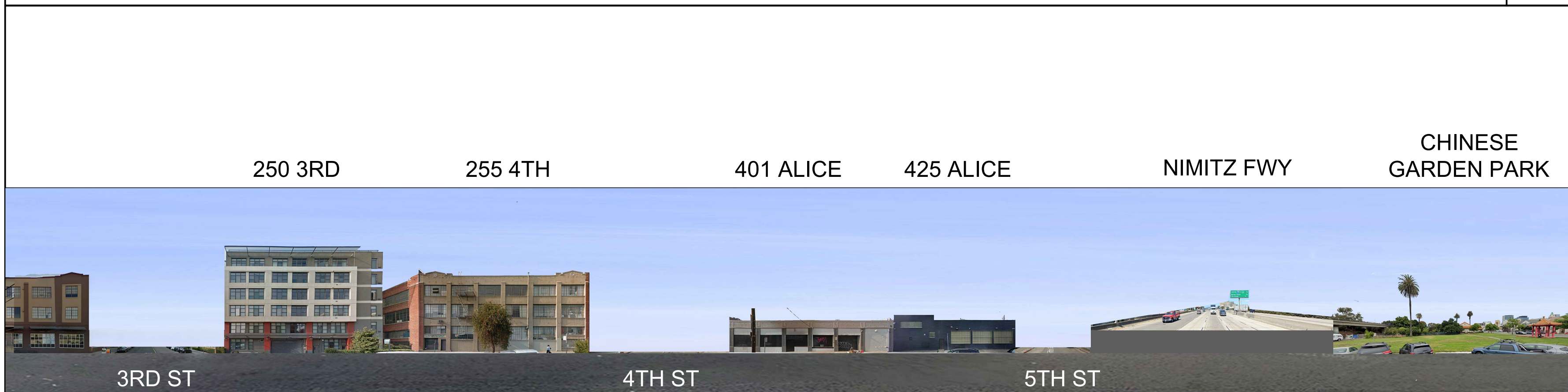
CONTEXT ELEVATION - ALICE STREET SOUTH (FACING SITE) 2B



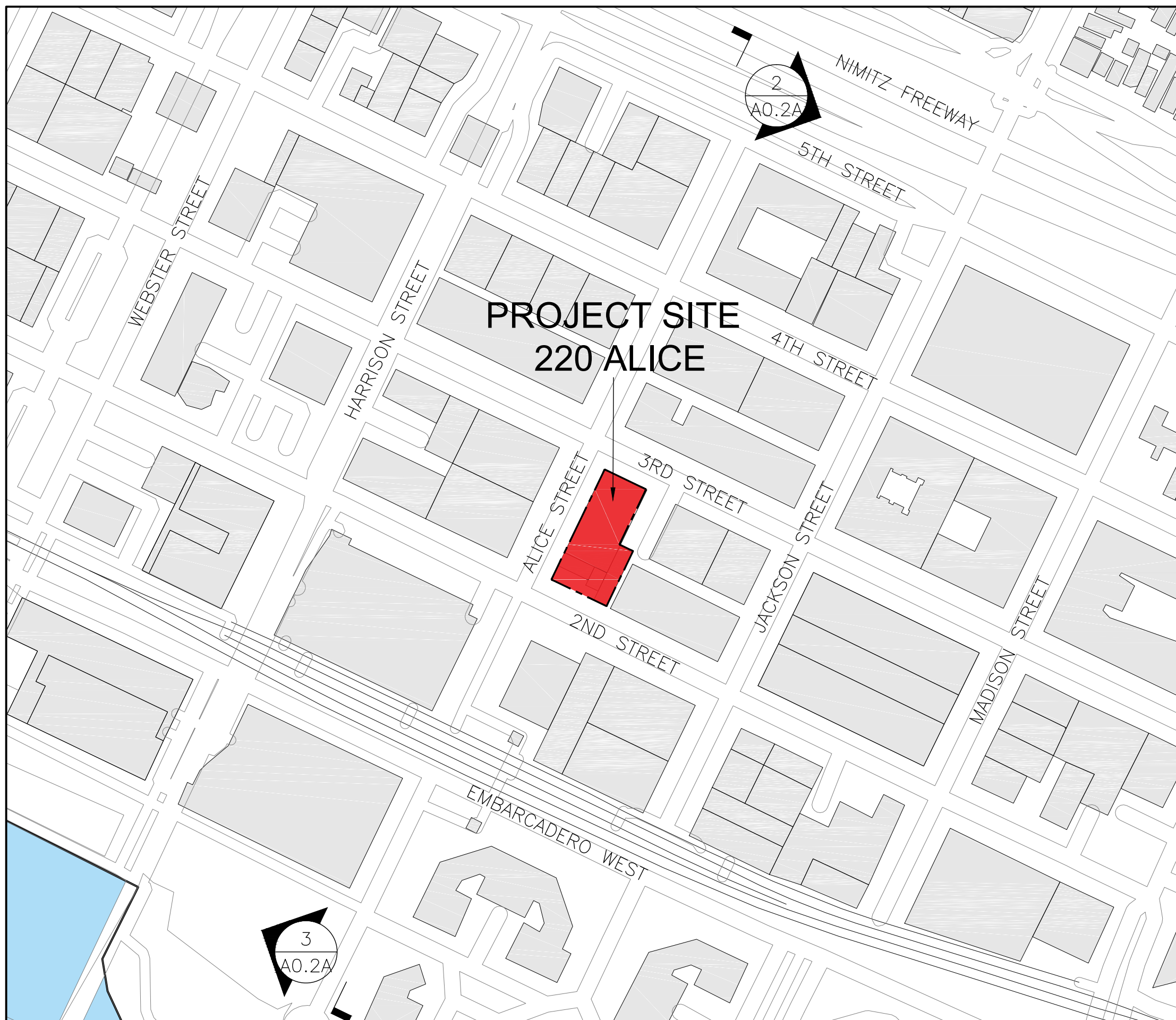
CONTEXT ELEVATION - ALICE STREET NORTH (FACING SITE) 2A



CONTEXT ELEVATION - ALICE STREET SOUTH (OPPOSING SITE) 3B



CONTEXT ELEVATION - ALICE STREET NORTH (OPPOSING SITE) 3A



LOCATION MAP 1

REVISIONS	DATE

OWNER:
RIAZ CAPITAL
 2744 East 11th Street
 Oakland, CA 94601
 T 510.925.1908

GENERAL CONTRACTOR:
TBD
 Address 1
 Address 2
 T XXX.XXX.XXXX

ARCHITECT:
STANLEY SAIOWITZ | NATOMA ARCHITECTS INC.
 1022 Natoma Street, No. 3
 San Francisco, CA 94103
 T 415.626.8977

LANDSCAPE ARCHITECT:
GATE + ASSOCIATES
 1655 N. Main Street, Suite 365
 Walnut Creek, CA 94596
 T 925.736.8176

CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
 2633 Camino Ramon #350
 San Ramon, CA 94583
 T 925.866.0322

220 ALICE STREET
 OAKLAND, CA 94607

SHEET TITLE:
CONTEXT ELEVATION

SET: PLANNING
 DATE: 04-15-2022
 SCALE: AS NOTED
 DRAWN: SSJINAI

SHEET NO:
A0.2A

PROJECT SITE - 220 ALICE

228 2ND

180 2ND

202 MADISON

138 2ND

128 2ND

126 2ND



CONTEXT ELEVATION - 2ND STREET EAST (FACING SITE) 2B

200 WEBSTER

332 2ND

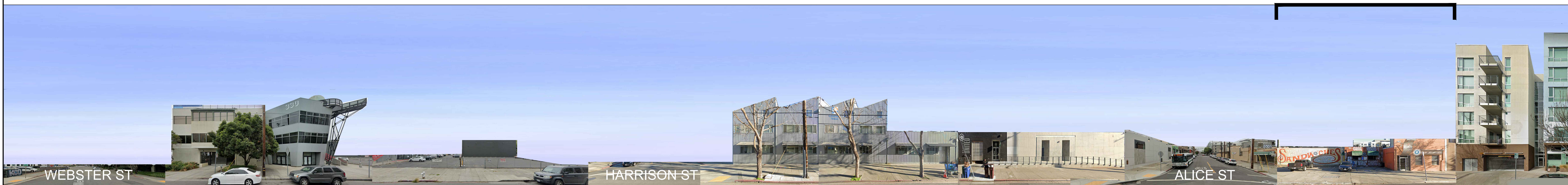
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200 HARRISON

262 2ND

PROJECT SITE - 220 ALICE

228 2ND



CONTEXT ELEVATION - 2ND STREET WEST (FACING SITE) 2A

225 2ND

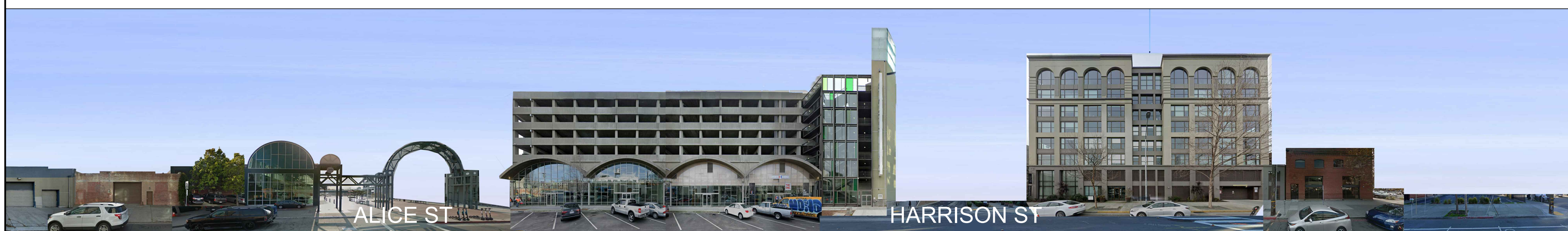
JACK LONDON SQ STATION

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311 2ND

331 2ND

100 WEBSTER



CONTEXT ELEVATION - 2ND STREET WEST (OPPOSITE SITE) 3B

105 2ND

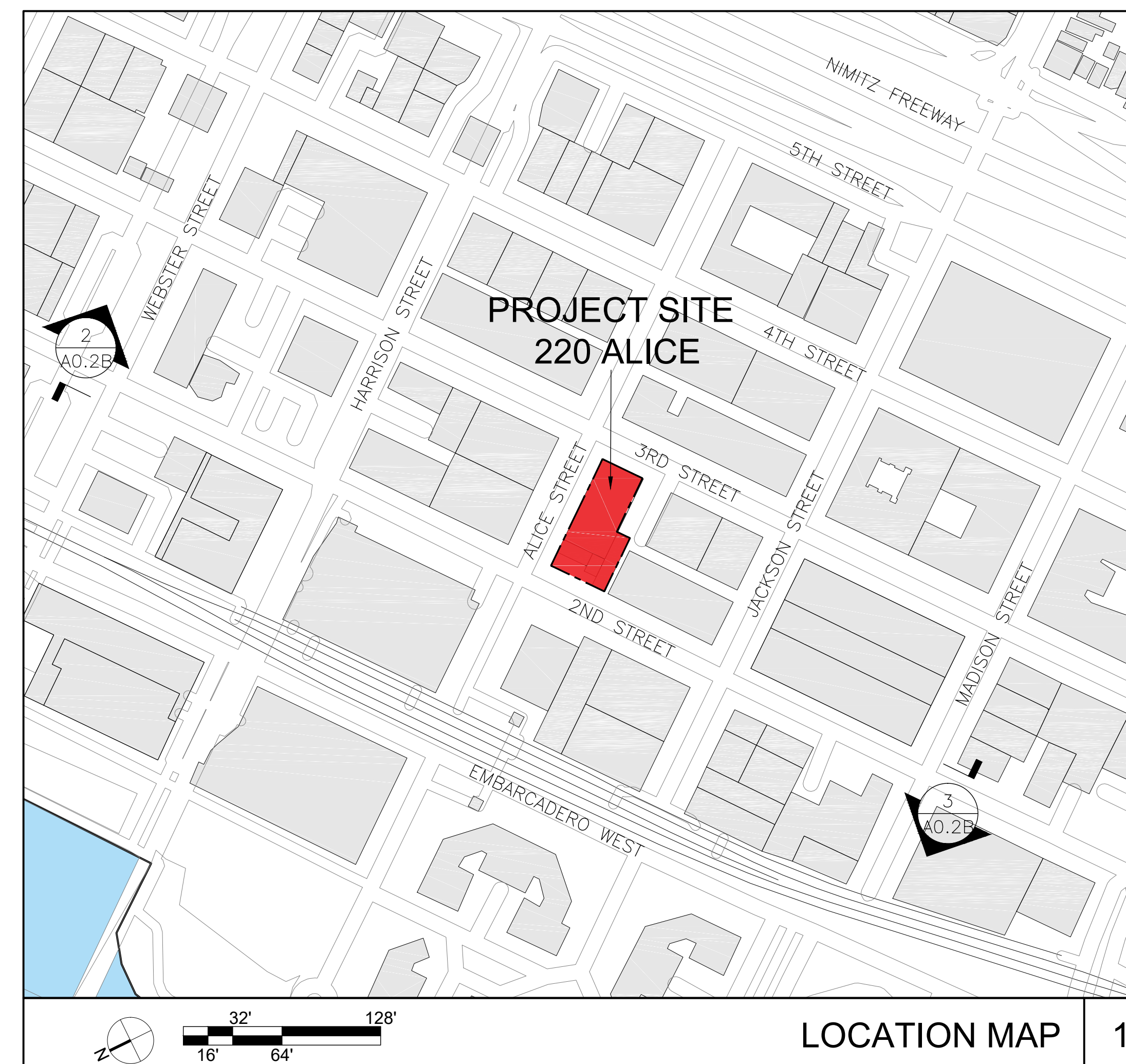
121 2ND

175 2ND

201 2ND



CONTEXT ELEVATION - 2ND STREET EAST (OPPOSITE SITE) 3A



LOCATION MAP 1

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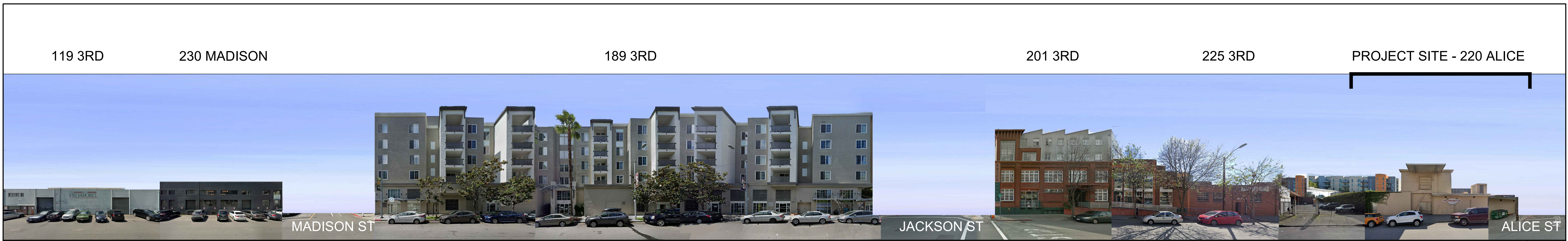
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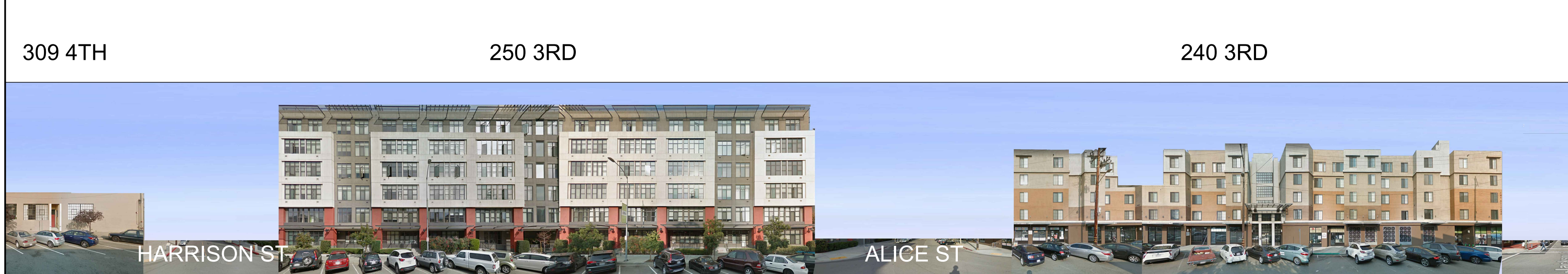
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CONTEXT ELEVATION - 2ND STREET EAST (FACING SITE) 2B



CONTEXT ELEVATION - 2ND STREET WEST (FACING SITE) 2A



CONTEXT ELEVATION - 2ND STREET EAST (OPPOSITE SITE) 3



LOCATION MAP 1

REVISIONS	DATE

OWNER:
RIAZ CAPITAL
 2744 East 11th Street
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GENERAL CONTRACTOR:
TBD
 Address 1
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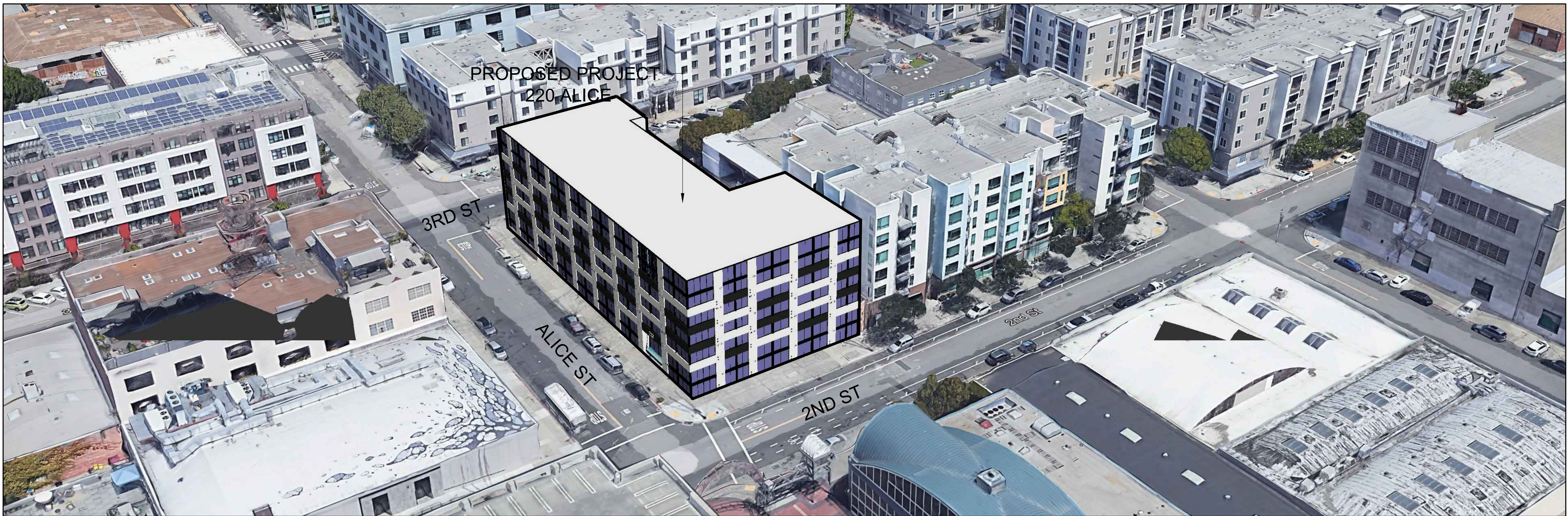
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 OAKLAND, CA 94607

SHEET TITLE:
CONTEXT ELEVATION

SET:	PLANNING
DATE:	04-15-2022
SCALE:	AS NOTED
DRAWN:	SSJINAI

SHEET NO:
A0.2C



AERIAL FROM SOUTHWEST 2



AERIAL FROM NORTH 1

REVISIONS	DATE

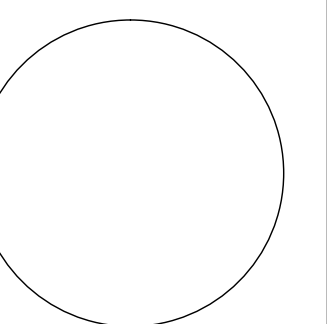
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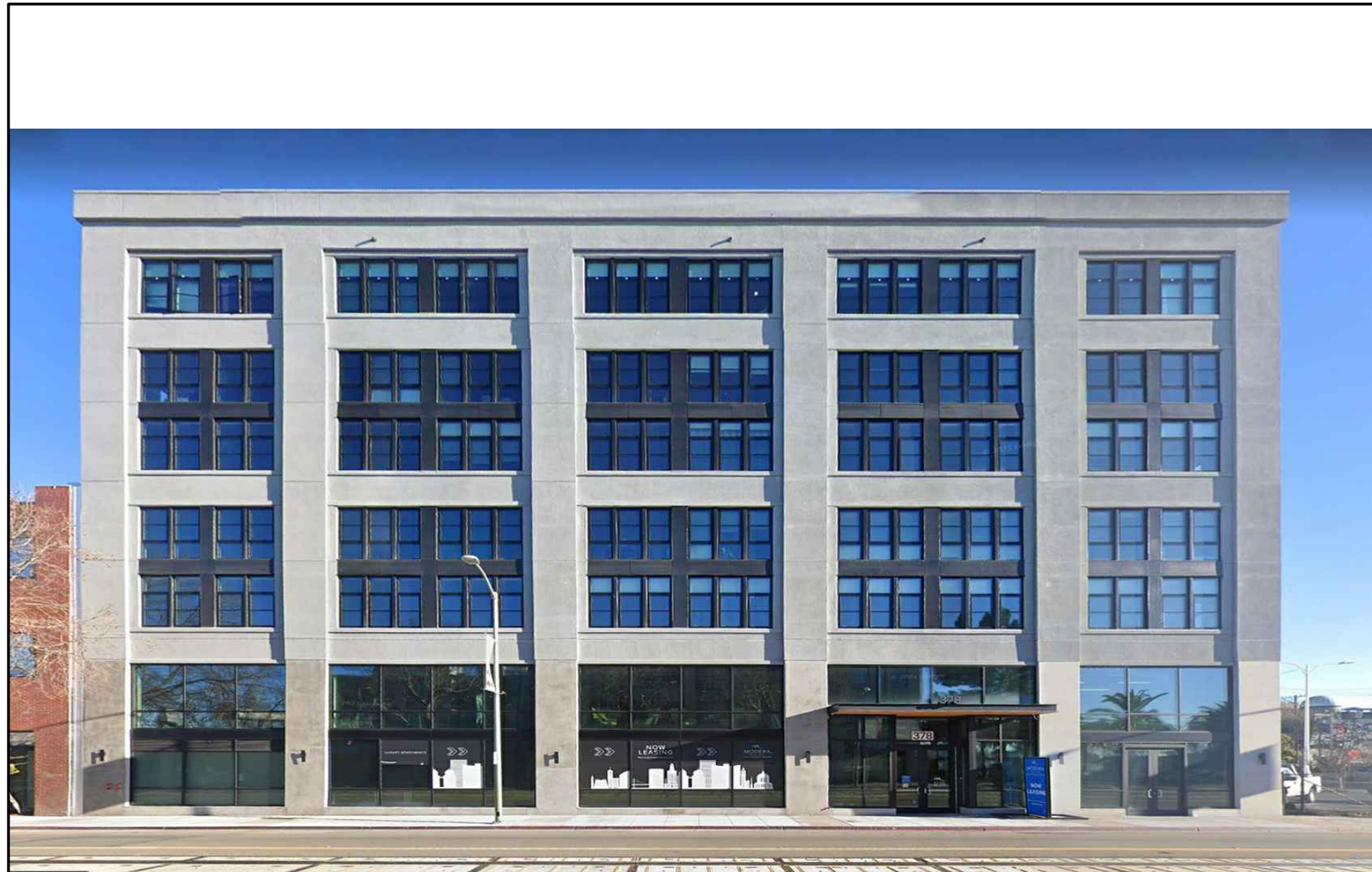
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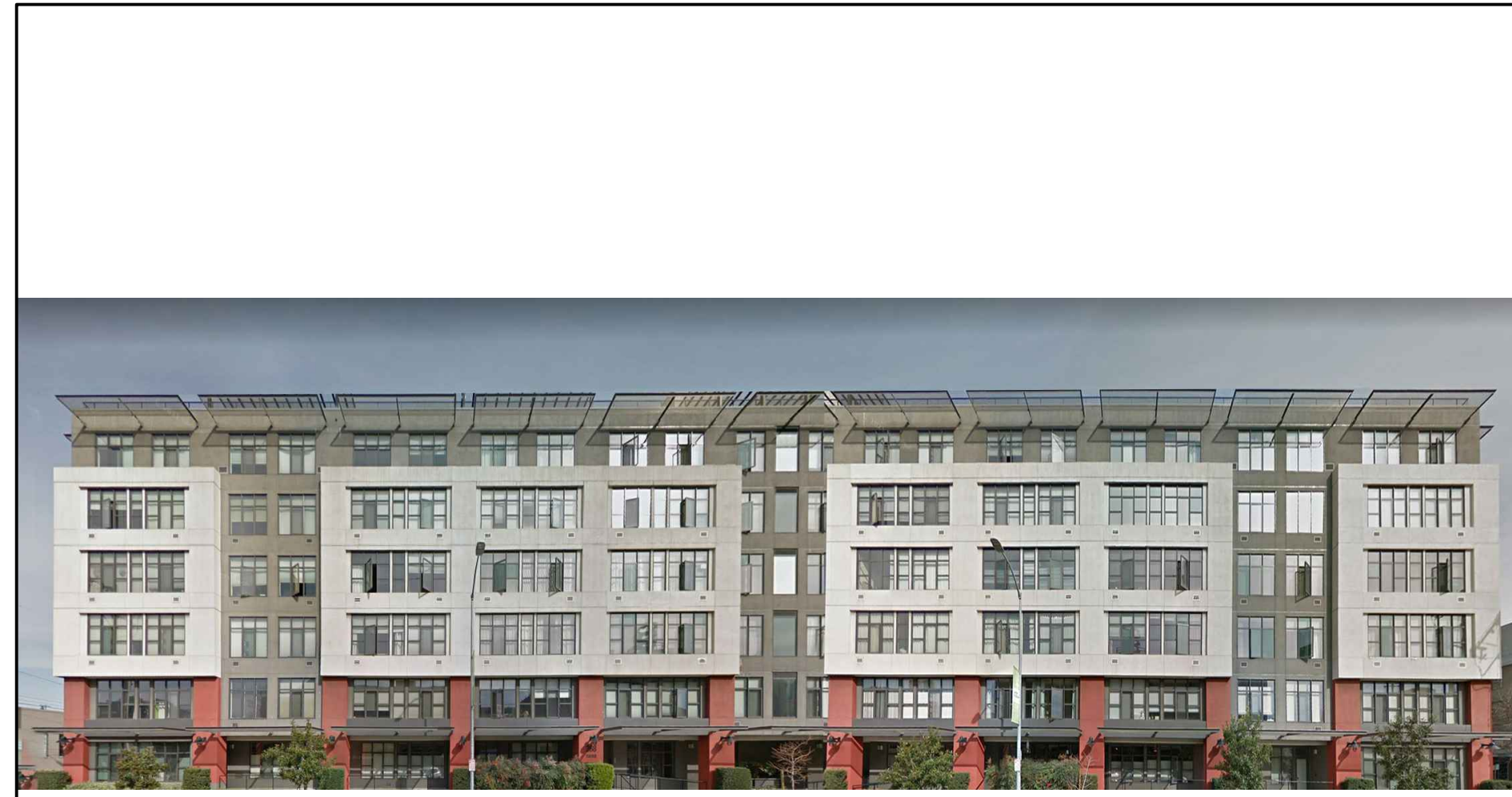
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DATE:	04-15-2022
SCALE:	AS NOTED
DRAWN:	SSJAI

SHEET NO:

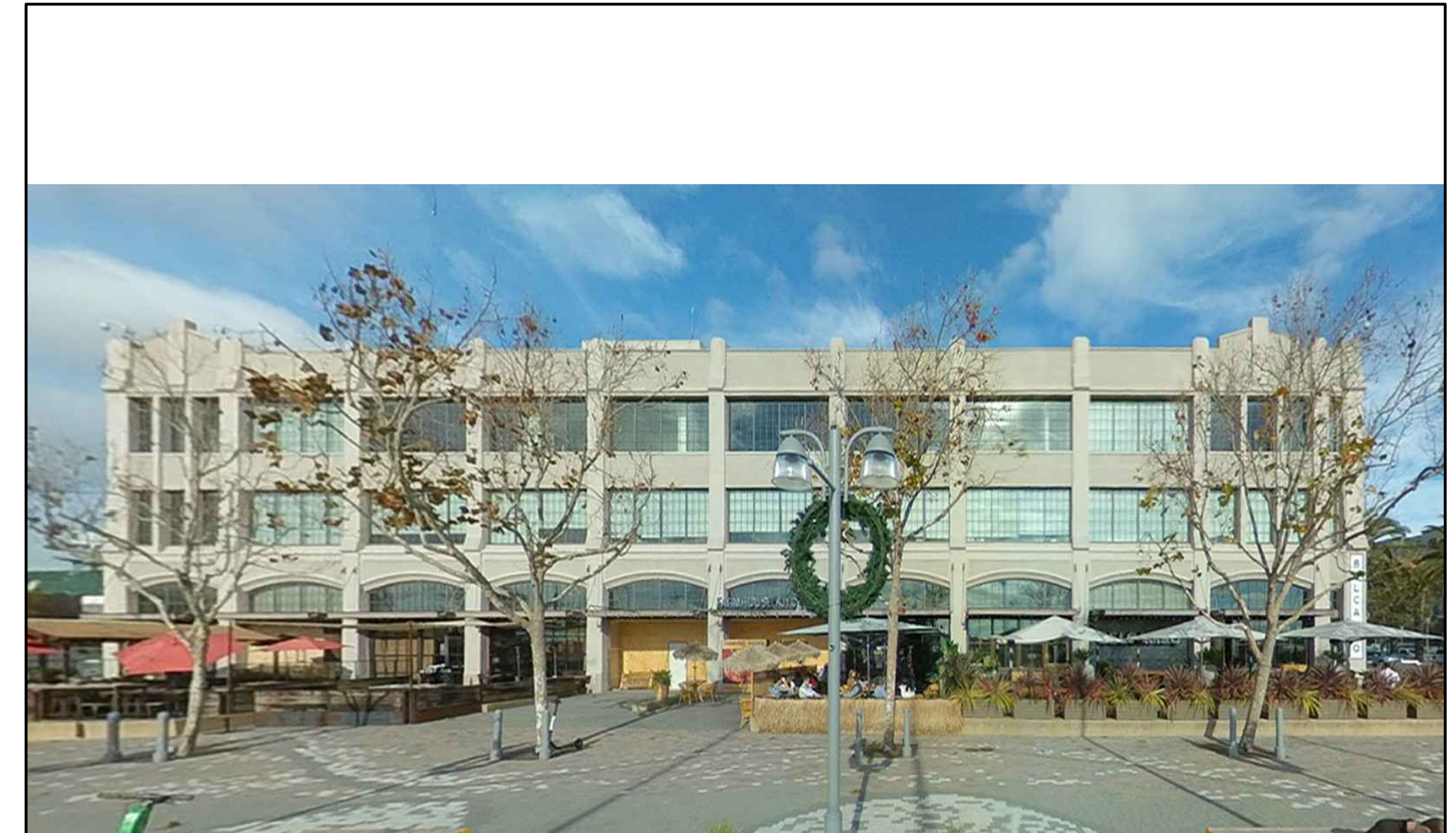
A0.2D



378 EMBARCADERO WEST C



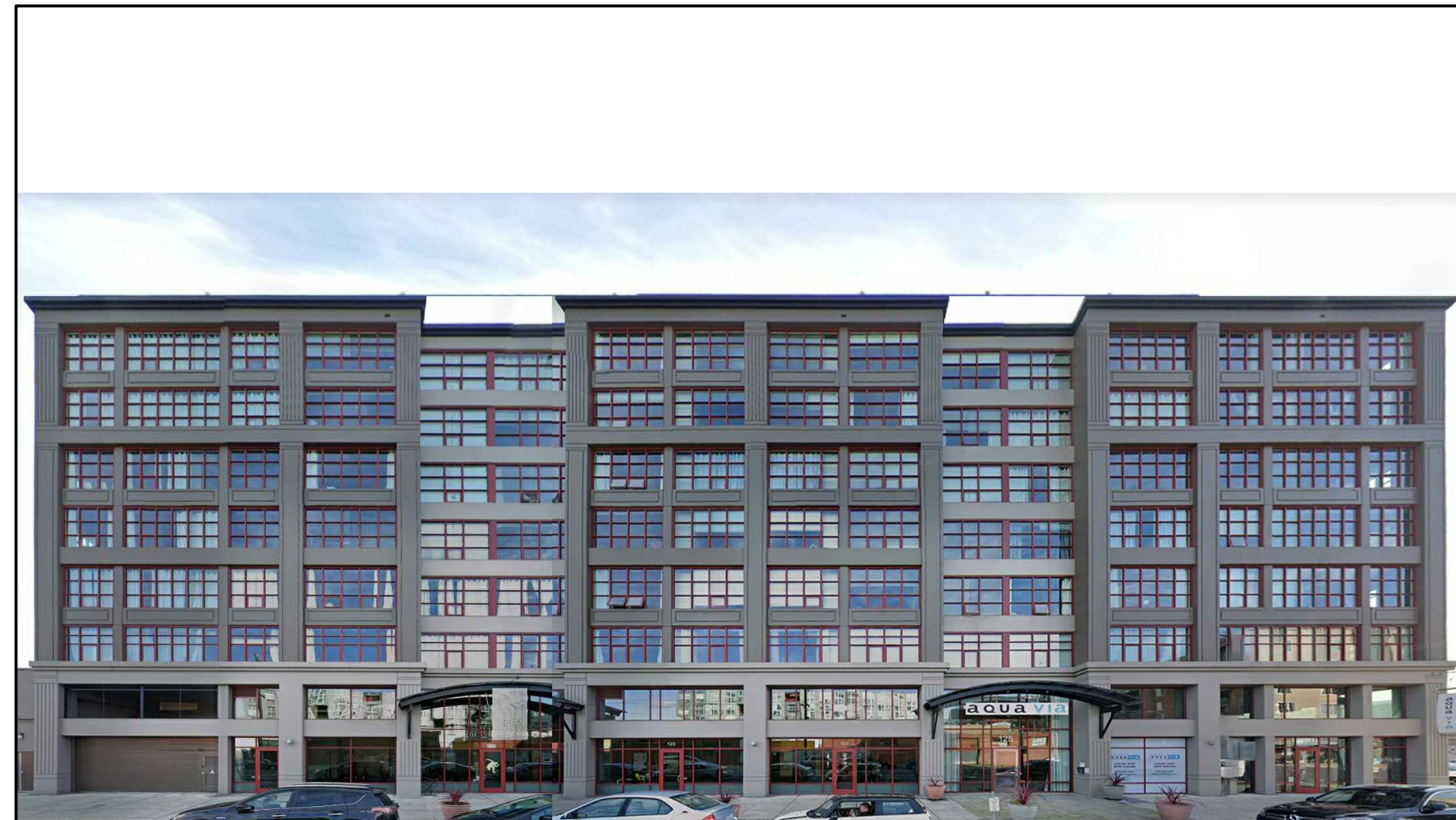
250 3RD B



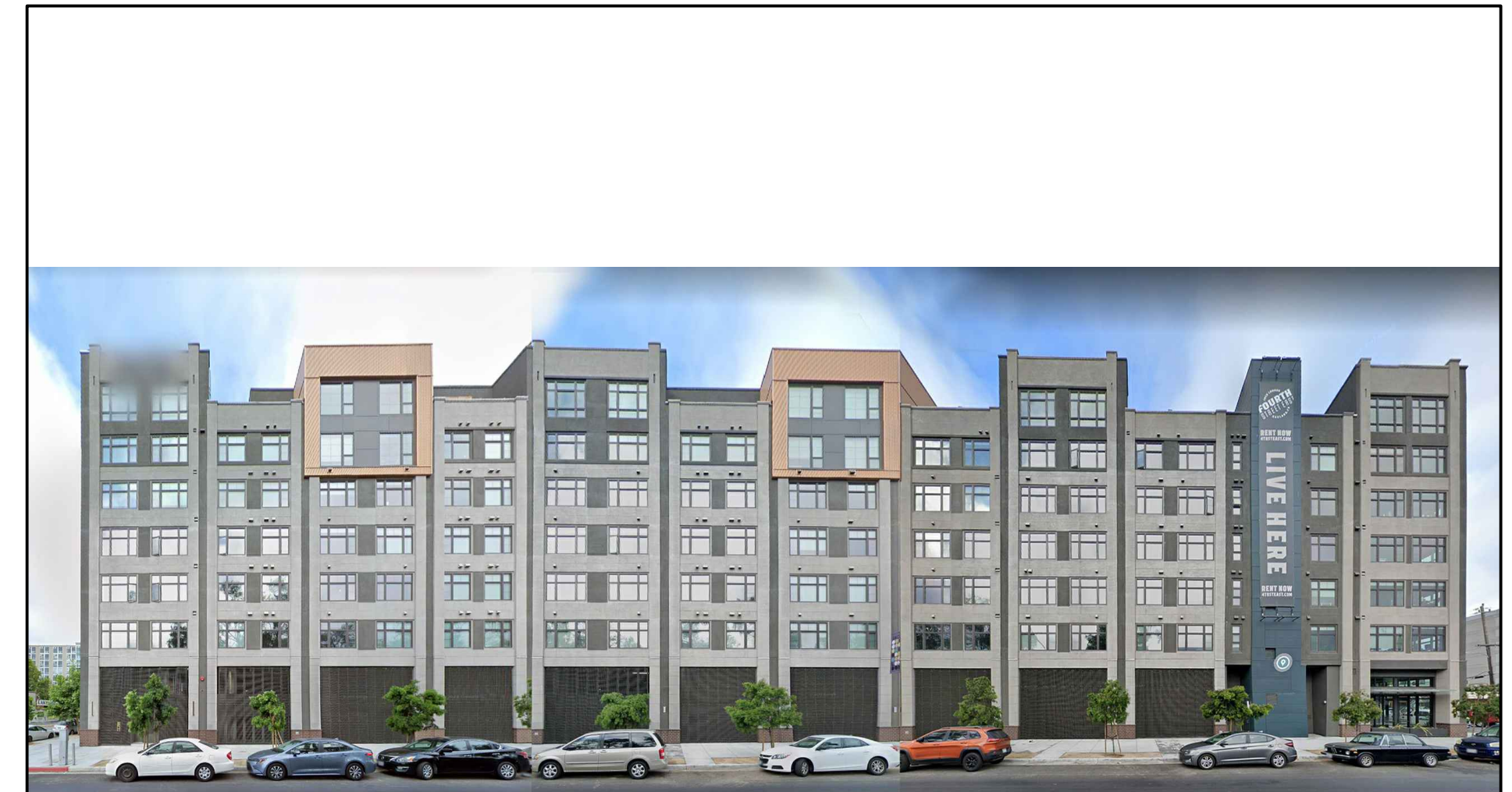
66 FRANKLIN A



737 2ND F



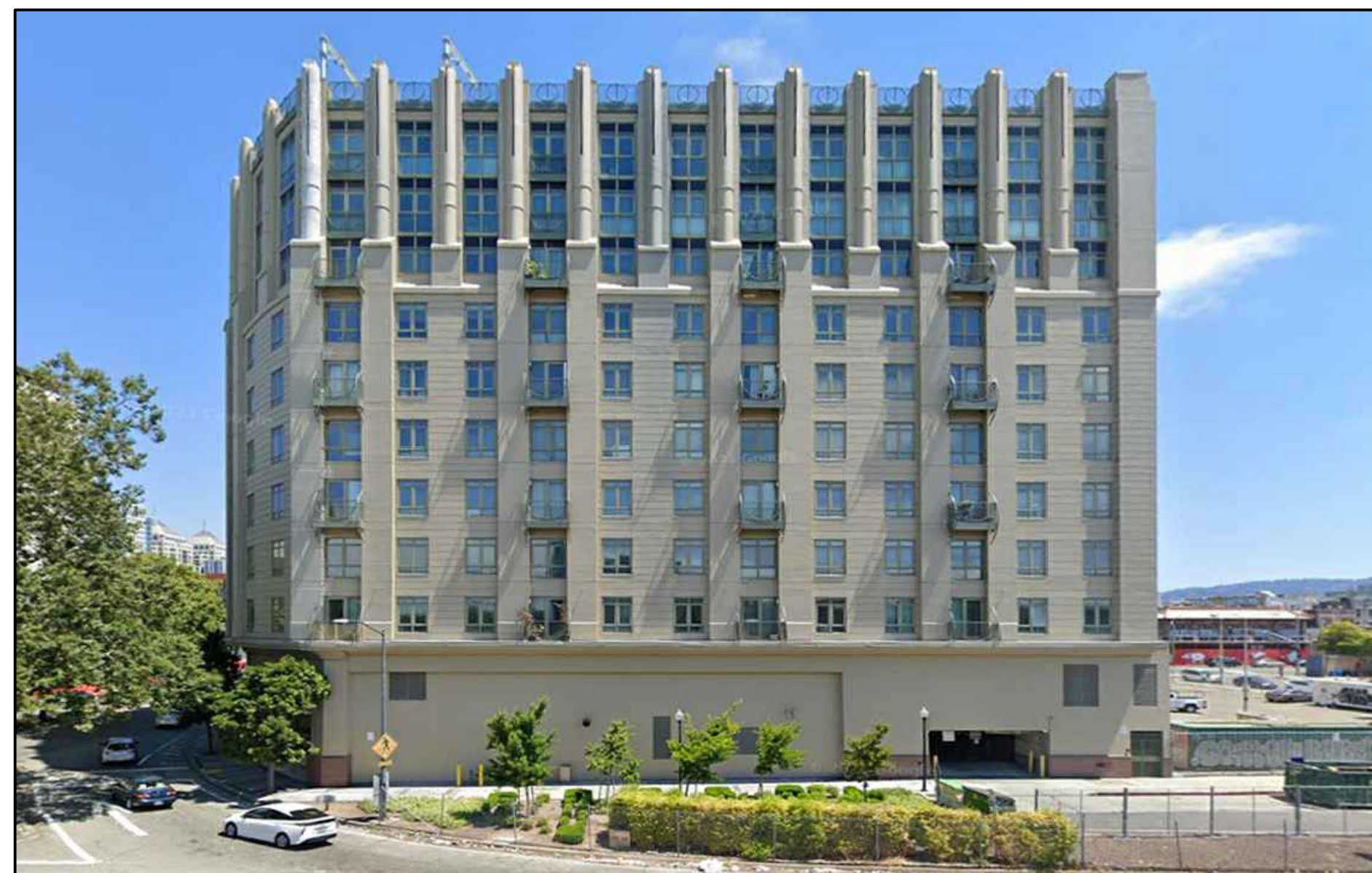
125 2ND E



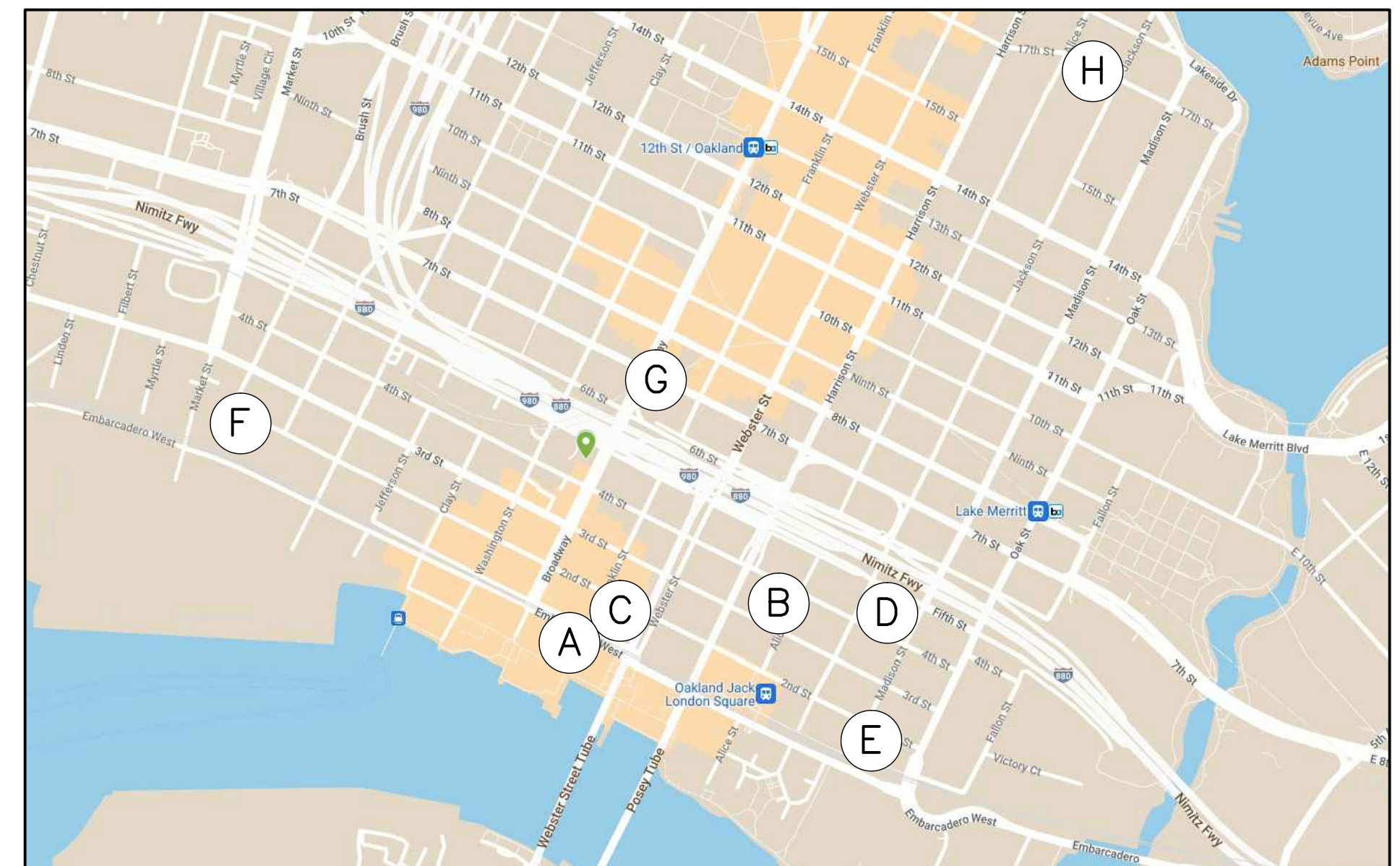
200 4TH D



1569 JACKSON H



423 7TH G



LOCATION MAP

REVISIONS	DATE

OWNER:
RIAZ CAPITAL
 2744 East 11th Street
 Oakland, CA 94601
 T 510.925.1908

GENERAL CONTRACTOR:
TBD
 Address 1
 Address 2
 T XXXX.XXX.XXXX

ARCHITECT:
STANLEY SAITOWITZ | NATOMA ARCHITECTS INC.
 1022 Natoma Street, No. 3
 San Francisco, CA 94103
 T 415.626.8977

LANDSCAPE ARCHITECT:
GATE + ASSOCIATES
 1655 N. Main Street, Suite 365
 Walnut Creek, CA 94596
 T 925.736.8176

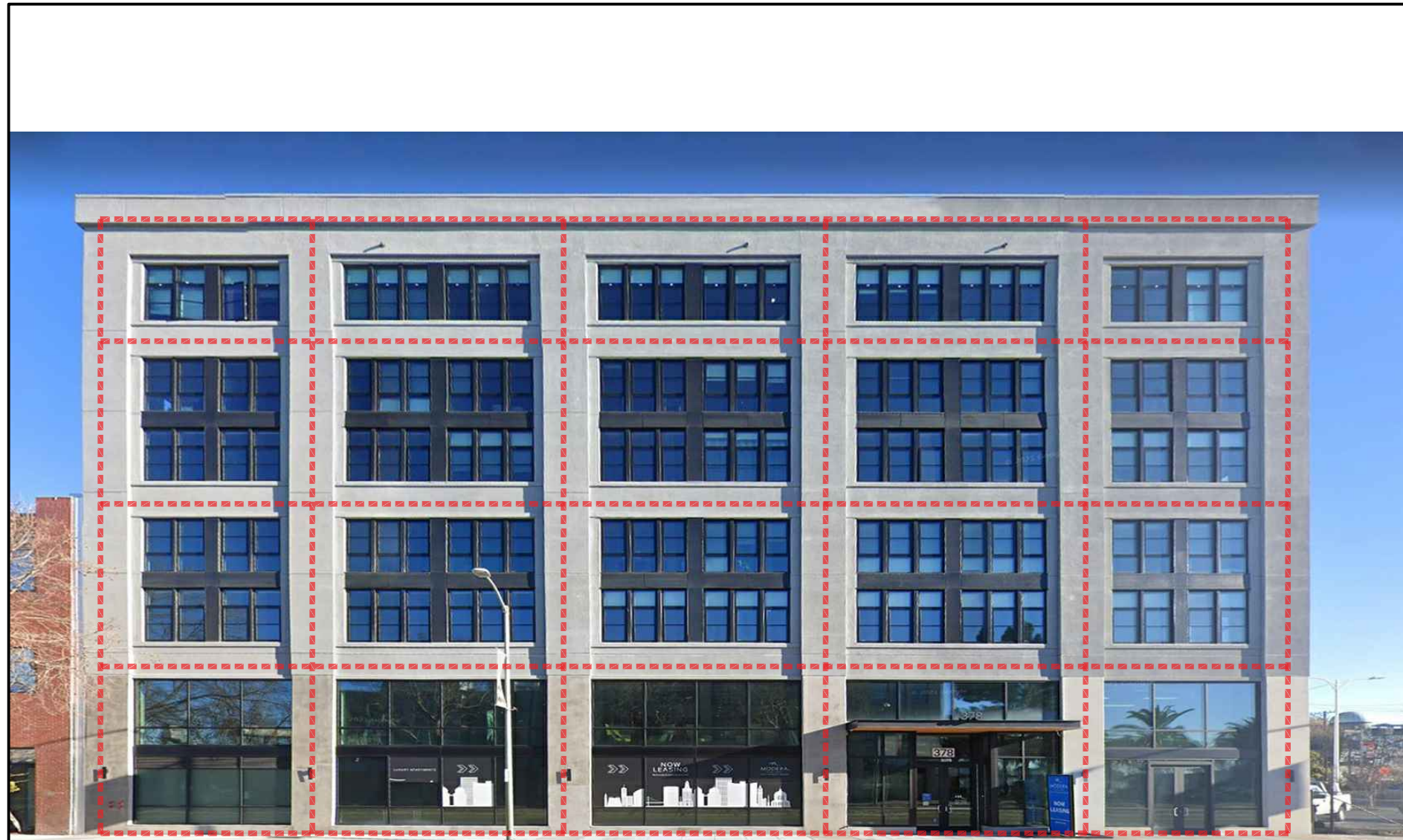
CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
 2633 Camino Ramon #350
 San Ramon, CA 94583
 T 925.866.0322

220 ALICE STREET
 OAKLAND, CA 94607

SHEET TITLE:
CONTEXT PRECEDENTS

SET:	PLANNING
DATE:	04-15-2022
SCALE:	AS NOTED
DRAWN:	SSJ/NAI

SHEET NO:
A0.3A



378 EMBARCADERO WEST



737 2ND



PROJECT PROPOSAL

RECTANGULAR WINDOWS / OPENINGS
FRAMED BY A GRID 3



250 3RD

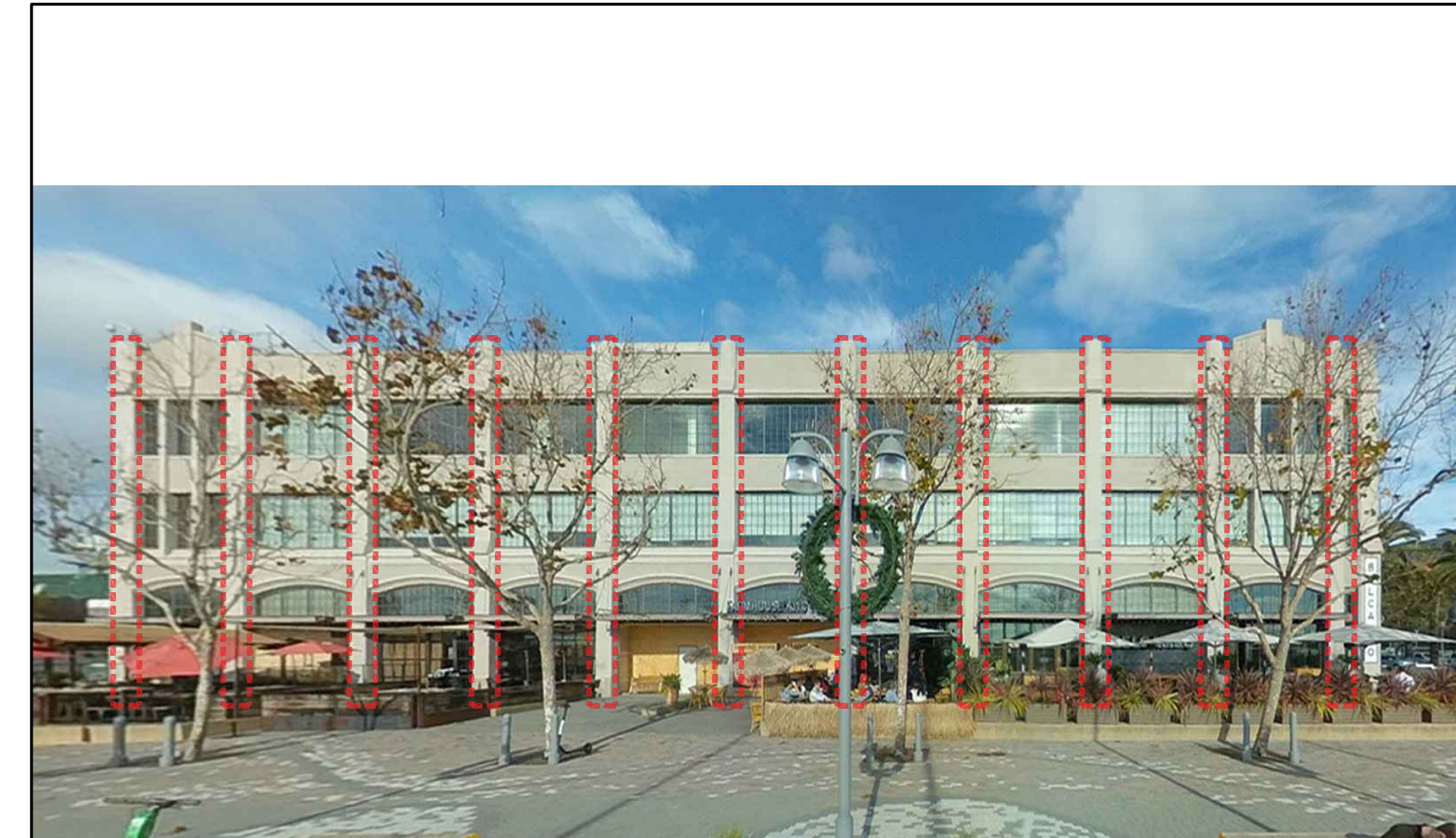


125 2ND



PROJECT PROPOSAL

RHYTHM OF ALTERNATING BAYS
TO BREAK UP BUILDING MASS 2



66 FRANKLIN



200 4TH



PROJECT PROPOSAL

SERIES OF VERTICAL PILASTER
DIVIDES BUILDING INTO EVEN BAYS 1

REVISIONS	DATE

OWNER:
RIAZ CAPITAL
2744 East 11th Street
Oakland, CA 94601
T 510.925.1908

GENERAL CONTRACTOR:
TBD
Address 1
Address 2
T XXXXXXXXXX

ARCHITECT:
**STANLEY SAIOWITZ |
NATOMA ARCHITECTS INC.**
1022 Natoma Street, No. 3
San Francisco, CA 94103
T 415.626.8977

LANDSCAPE ARCHITECT:
GATE + ASSOCIATES
1655 N. Main Street, Suite 365
Walnut Creek, CA 94596
T 925.736.8176

CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
2633 Camino Ramon #350
San Ramon, CA 94583
T 925.866.0322

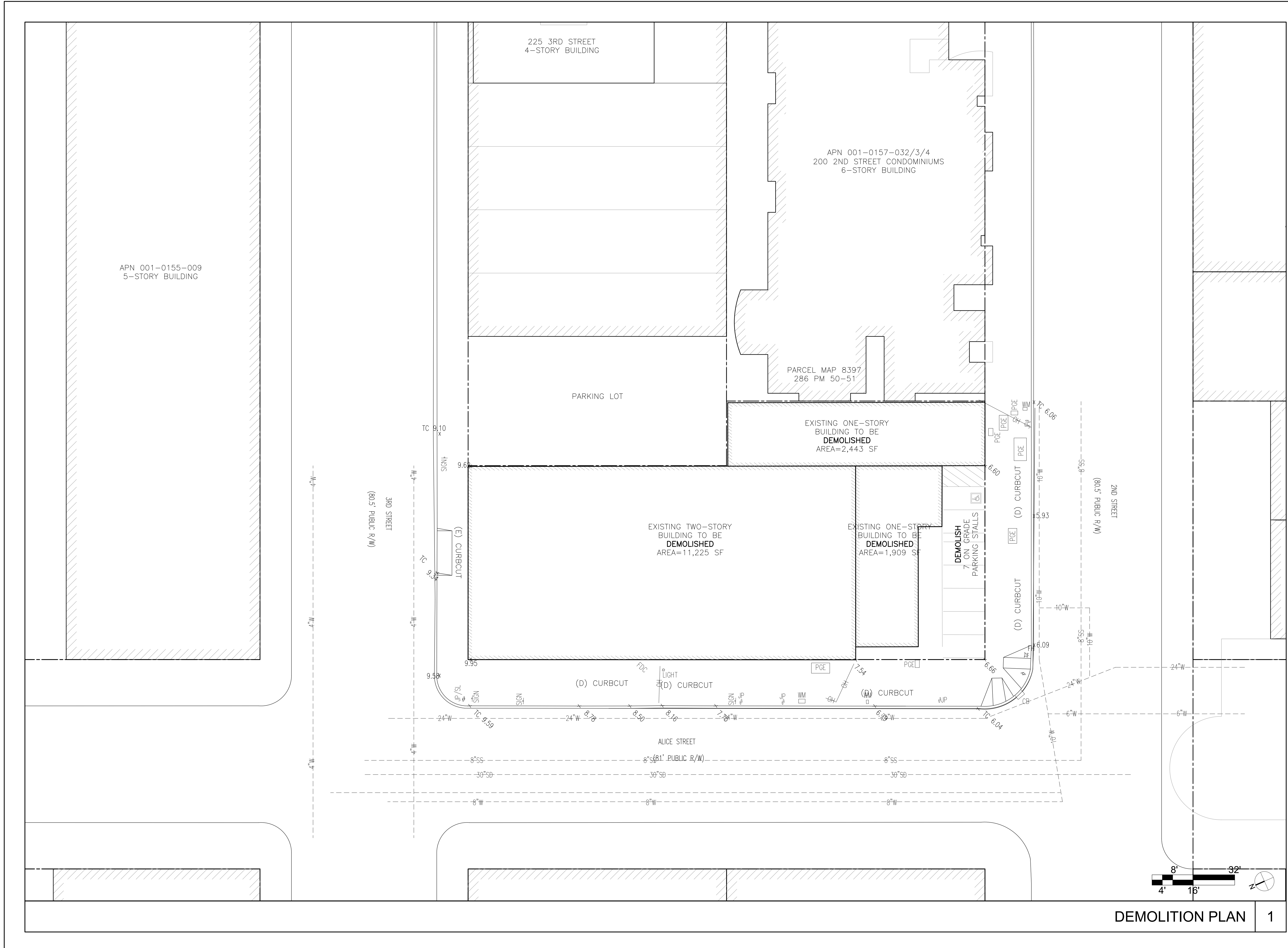
220 ALICE STREET
OAKLAND, CA 94607

SHEET TITLE:
**FACADE
ANALYSIS**

SET:	PLANNING
DATE:	04-15-2022
SCALE:	AS NOTED
DRAWN:	SSJINAI <small>© 2022 STANLEY SAIOWITZ NATOMA ARCHITECTS INC.</small>

SHEET NO:

A0.3B



REVISIONS	DATE

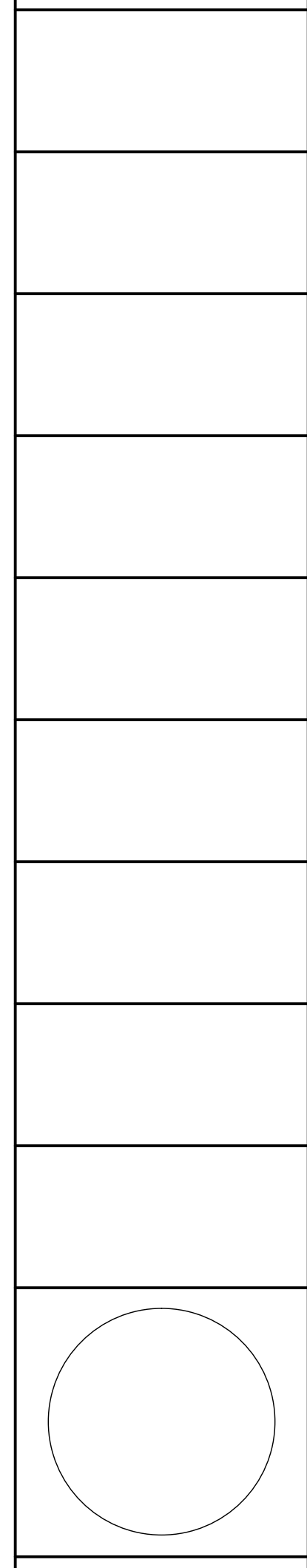
OWNER:
RIAZ CAPITAL
2744 East 11th Street
Oakland, CA 94601
T 510.925.1908

GENERAL CONTRACTOR:
TBD
Address 1
Address 2
T XXX.XXX.XXXX

ARCHITECT:
STANLEY SAIOWITZ | NATOMA ARCHITECTS INC.
1022 Natoma Street, No. 3
San Francisco, CA 94103
T 415.626.8977

LANDSCAPE ARCHITECT:
GATE + ASSOCIATES
1655 N. Main Street, Suite 365
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T 925.736.8176

CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
2633 Camino Ramon #350
San Ramon, CA 94583
T 925.866.0322

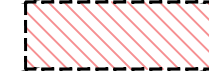



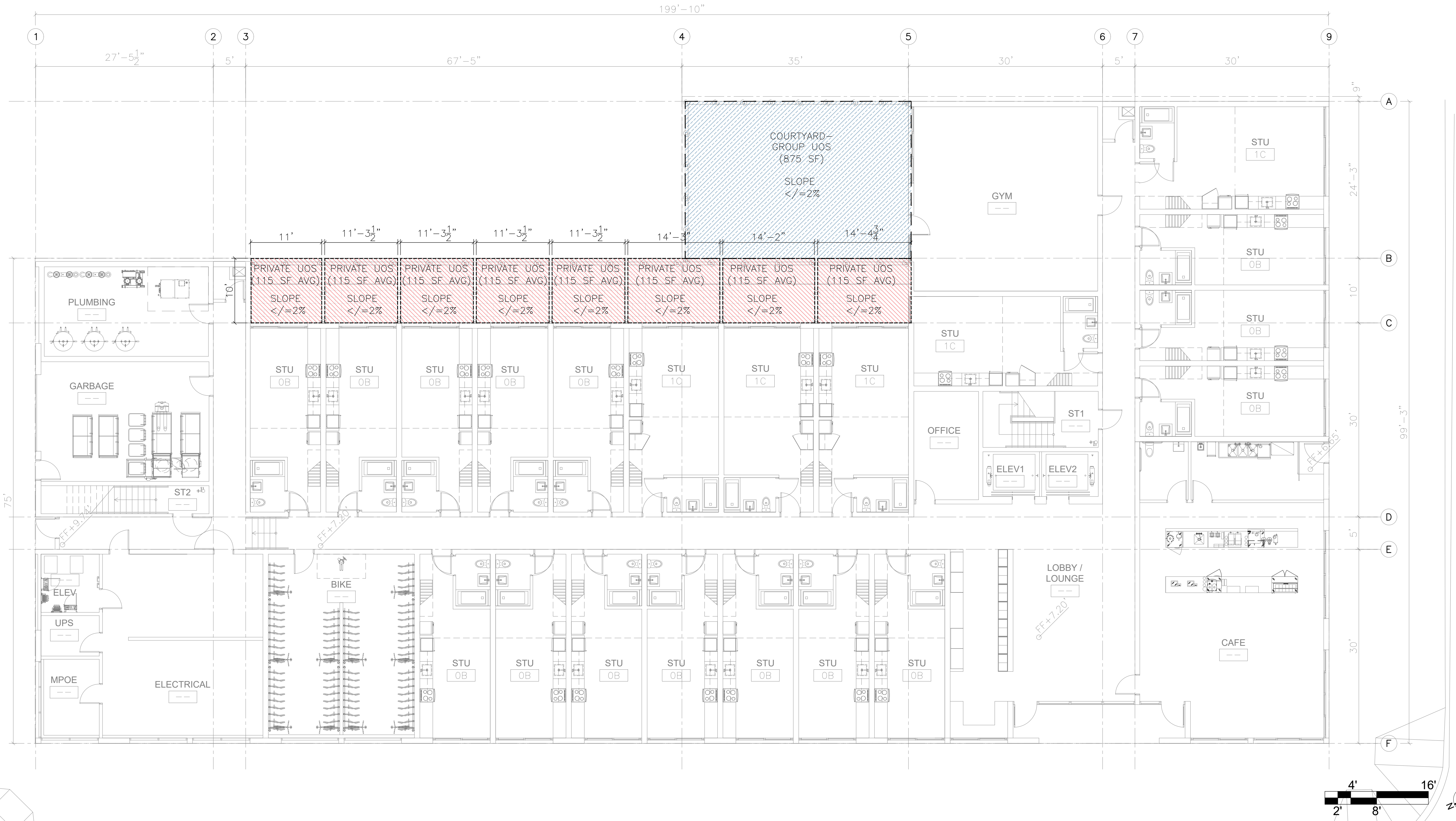
220 ALICE STREET
OAKLAND, CA 94607

SHEET TITLE:
DEMOLITION PLAN

SET: **PLANNING**
DATE: 04-15-2022
SCALE: 1/16" = 1'-0"
DRAWN: **SSJ/NI**

SHEET NO:
A0.5

HATCH/SYMBOL	NAME	MINIMUM DIMENSION PER 17.126	AREA
	PRIVATE USABLE OPEN SPACE	10 FT FOR SPACE ON GROUND FLOOR	920 SF (COUNTS FOR DOUBLE IN TOTAL UOS)
	GROUP USEABLE OPEN SPACE	15 FT	875 SF
	TOTAL USABLE OPEN SPACE PROVIDED	N/A	2,715 SF



USABLE OPEN SPACE CALCULATIONS (PER 17.56.180) 1

REVISIONS	DATE

OWNER:
RIAZ CAPITAL
 2744 East 11th Street
 Oakland, CA 94601
 T 510.925.1908

GENERAL CONTRACTOR:
TBD
 Address 1
 Address 2
 T XXXX.XXX.XXXX

ARCHITECT:
STANLEY SAIOWITZ | NATOMA ARCHITECTS INC.
 1022 Natoma Street, No. 3
 San Francisco, CA 94103
 T 415.626.8977

LANDSCAPE ARCHITECT:
GATE + ASSOCIATES
 1655 N. Main Street, Suite 365
 Walnut Creek, CA 94596
 T 925.736.8176

CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
 2633 Camino Ramon #350
 San Ramon, CA 94583
 T 925.866.0322

220 ALICE STREET
 OAKLAND, CA 94607

SHEET TITLE:
USABLE OPEN SPACE CALC

SET:	PLANNING
DATE:	04-15-2022
SCALE:	1/8" = 1'-0"
DRAWN:	SSJINAI

SHEET NO:

A0.7

REVISIONS	DATE

OWNER:
RIAZ CAPITAL
 2744 East 11th Street
 Oakland, CA 94601
 T 510.925.1908

GENERAL CONTRACTOR:
TBD
 Address 1
 Address 2
 T XXXX.XXX.XXXX

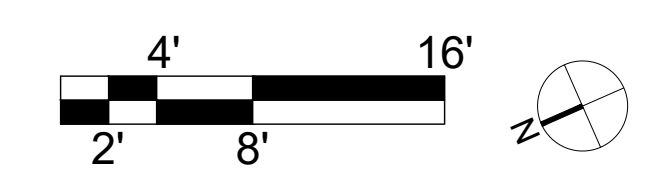
ARCHITECT:
STANLEY SAIOWITZ | NATOMA ARCHITECTS INC.
 1022 Natoma Street, No. 3
 San Francisco, CA 94103
 T 415.626.8977

LANDSCAPE ARCHITECT:
GATE + ASSOCIATES
 1655 N. Main Street, Suite 365
 Walnut Creek, CA 94596
 T 925.736.8176

CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
 2633 Camino Ramon #350
 San Ramon, CA 94583
 T 925.866.0322



- STUDIO 0A
- STUDIO 1A/1B
- STUDIO LOFT 0B/1C
- RETAIL
- AMENITY
- MEP/BOH
- OPEN SPACE



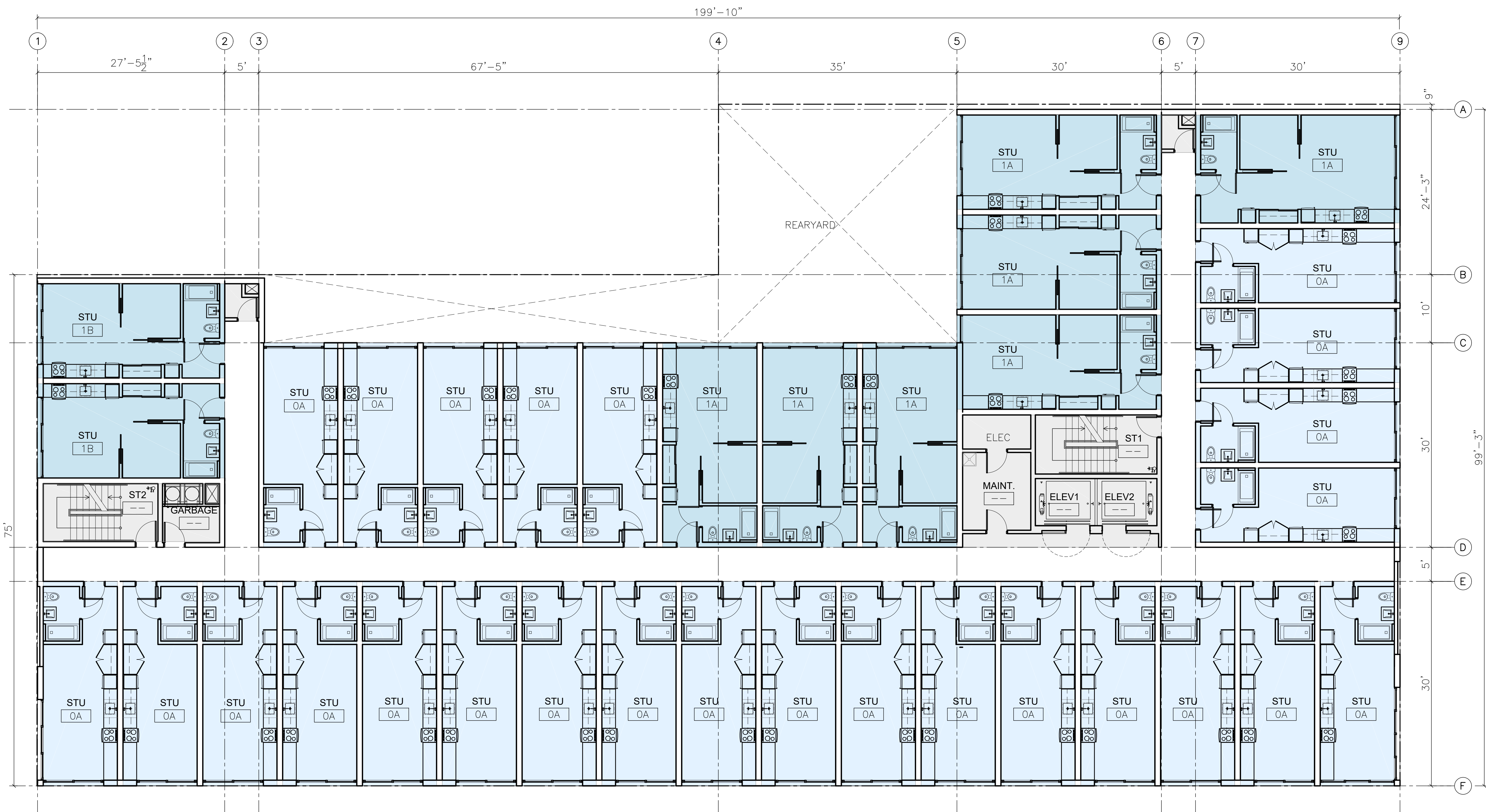
LEVEL 1 PLAN 1

220 ALICE STREET
 OAKLAND, CA 94607

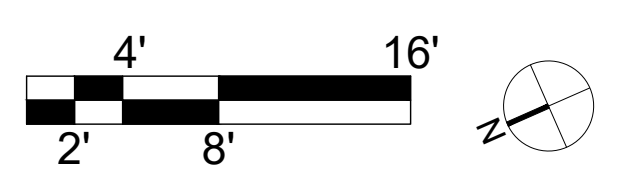
SHEET TITLE:
PLAN LEVEL 1

SET: PLANNING
 DATE: 04-15-2022
 SCALE: 1/8"= 1'-0"
 DRAWN: SSJINAI

SHEET NO:
A1.1



STUDIO 0A
 STUDIO 1A/1B
 STUDIO LOFT 0B/1C
 RETAIL
 AMENITY
 MEP/BOH
 OPEN SPACE



LEVELS 2-4 PLAN 1

REVISIONS	DATE

OWNER:
RIAZ CAPITAL
 2744 East 11th Street
 Oakland, CA 94601
 T 510.925.1908

GENERAL CONTRACTOR:
TBD
 Address 1
 Address 2
 T XXXX.XXX.XXXX

ARCHITECT:
STANLEY SAIOWITZ | NATOMA ARCHITECTS INC.
 1022 Natoma Street, No. 3
 San Francisco, CA 94103
 T 415.626.8977

LANDSCAPE ARCHITECT:
GATE + ASSOCIATES
 1655 N. Main Street, Suite 365
 Walnut Creek, CA 94596
 T 925.736.8176

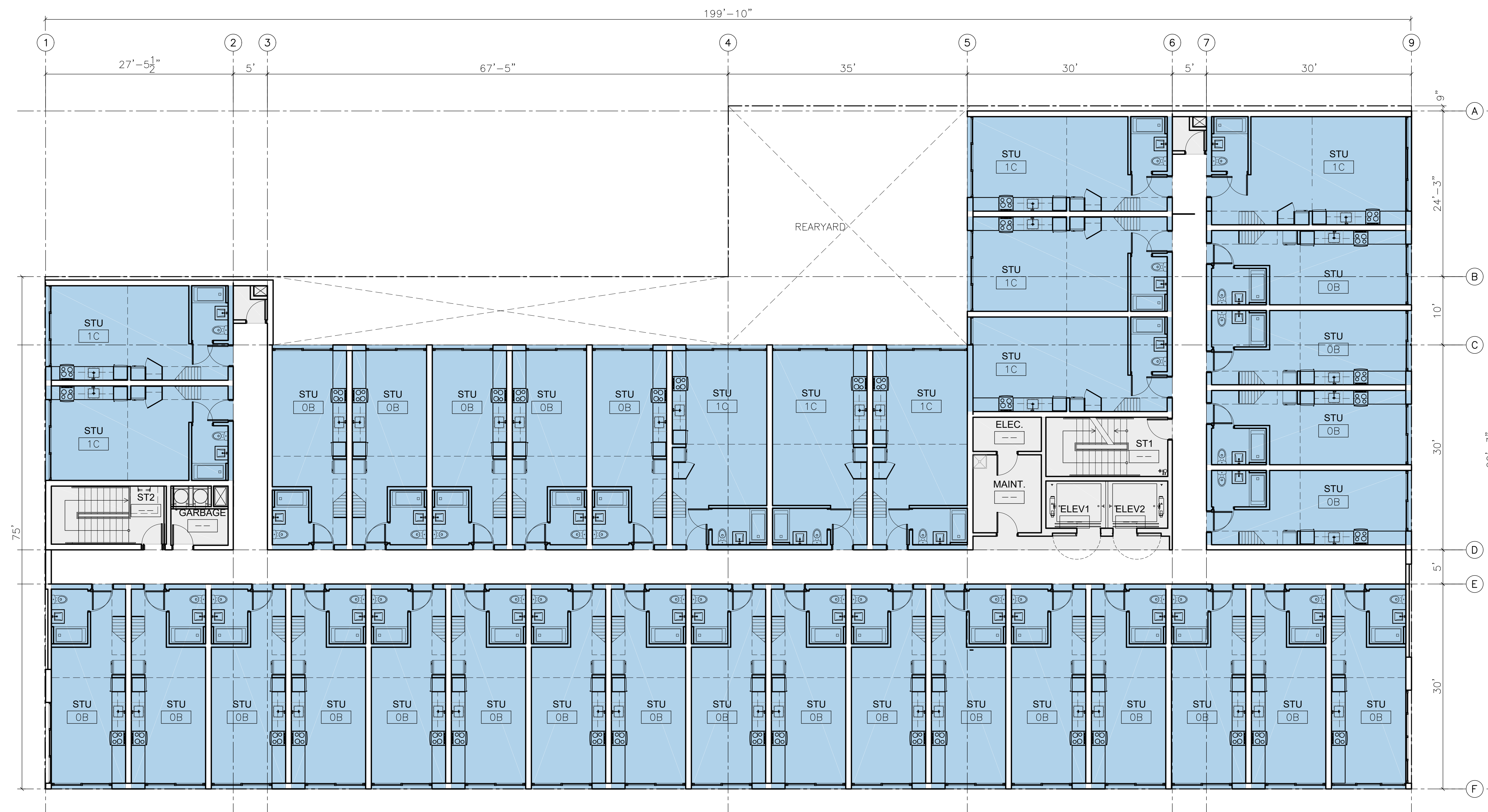
CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
 2633 Camino Ramon #350
 San Ramon, CA 94583
 T 925.866.0322

220 ALICE STREET
 OAKLAND, CA 94607

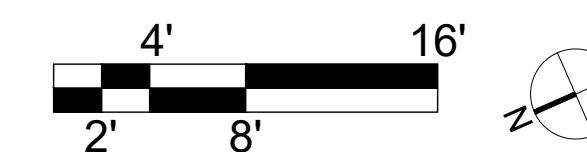
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PLAN LEVEL 2-4

SET:	PLANNING
DATE:	04-15-2022
SCALE:	1/8"= 1'-0"
DRAWN:	SSJINAI

SHEET NO:
A1.2



STUDIO 0A
 STUDIO 1A/1B
 STUDIO LOFT 0B/1C
 RETAIL
 AMENITY
 MEP/BOH
 OPEN SPACE



LEVEL 5 PLAN 1

REVISIONS	DATE

OWNER:
RIAZ CAPITAL
 2744 East 11th Street
 Oakland, CA 94601
 T 510.925.1908

GENERAL CONTRACTOR:
TBD
 Address 1
 Address 2
 T XXX.XXX.XXXX

ARCHITECT:
STANLEY SAIOWITZ | NATOMA ARCHITECTS INC.
 1022 Natoma Street, No. 3
 San Francisco, CA 94103
 T 415.626.8977

LANDSCAPE ARCHITECT:
GATE + ASSOCIATES
 1655 N. Main Street, Suite 365
 Walnut Creek, CA 94596
 T 925.736.8176

CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
 2633 Camino Ramon #350
 San Ramon, CA 94583
 T 925.866.0322

220 ALICE STREET
 OAKLAND, CA 94607

SHEET TITLE:
PLAN LEVEL 5

SET: PLANNING
 DATE: 04-15-2022
 SCALE: 1/8"= 1'-0"
 DRAWN: SSJAI

SHEET NO:
A1.3

REVISIONS	DATE

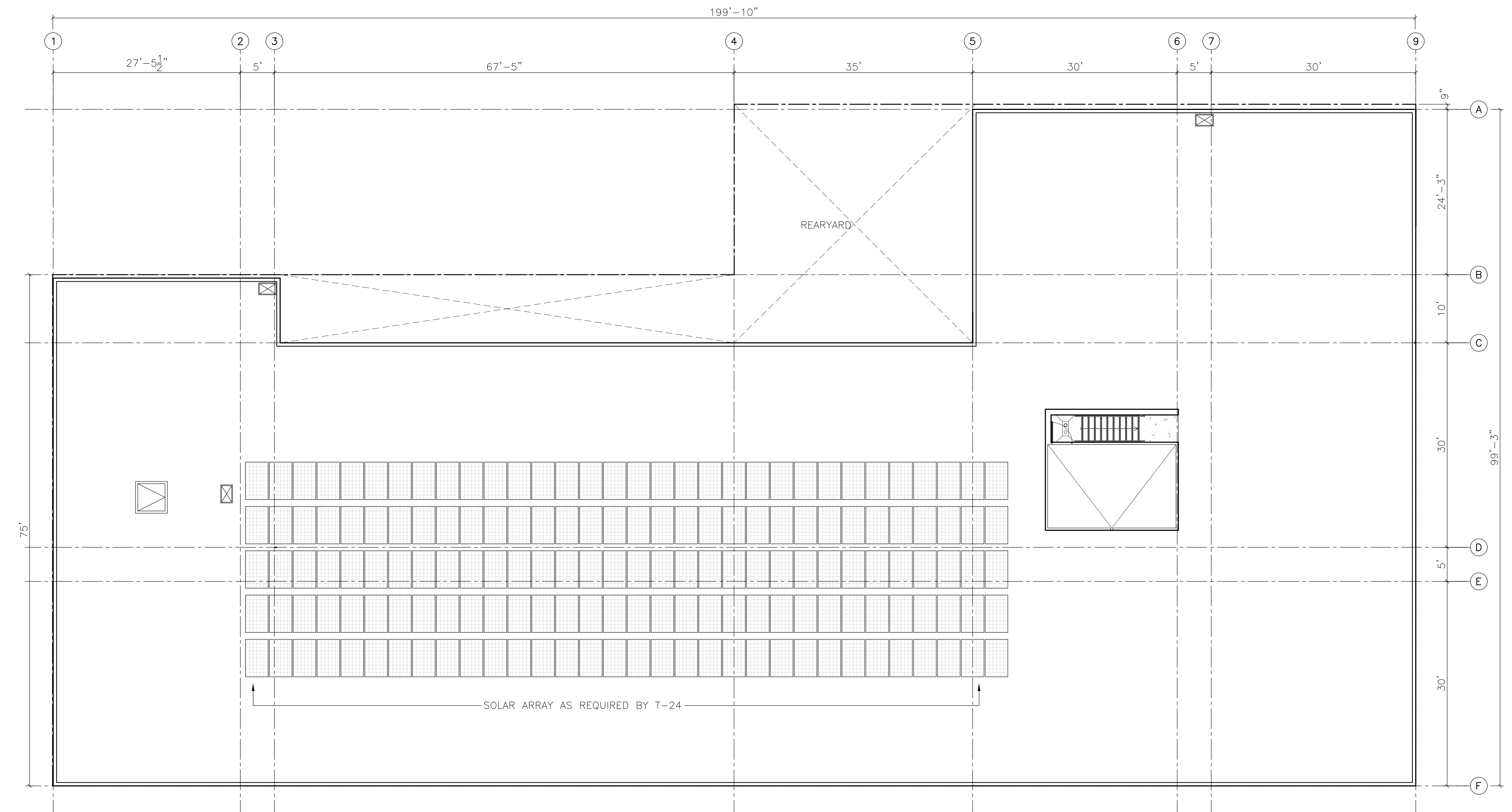
OWNER:
RIAZ CAPITAL
 2744 East 11th Street
 Oakland, CA 94601
 T 510.925.1908

GENERAL CONTRACTOR:
TBD
 Address 1
 Address 2
 T XXX.XXX.XXXX

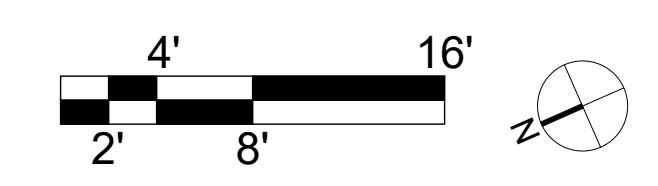
ARCHITECT:
STANLEY SAIOWITZ | NATOMA ARCHITECTS INC.
 1022 Natoma Street, No. 3
 San Francisco, CA, 94103
 T 415.626.8977

LANDSCAPE ARCHITECT:
GATE + ASSOCIATES
 1655 N. Main Street, Suite 365
 Walnut Creek, CA 94596
 T 925.736.8176

CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
 2633 Camino Ramon #350
 San Ramon, CA 94583
 T 925.866.0322



STUDIO 0A
 STUDIO 1A/1B
 STUDIO LOFT 0B/1C
 RETAIL
 AMENITY
 MEP/BOH
 OPEN SPACE



ROOF PLAN 1

220 ALICE STREET
 OAKLAND, CA 94607

SHEET TITLE:
PLAN
ROOF

SET:	PLANNING
DATE:	04-15-2022
SCALE:	1/8" = 1'-0"
DRAWN:	SSJ/NAI

SHEET NO:
A1.4

REVISIONS	DATE

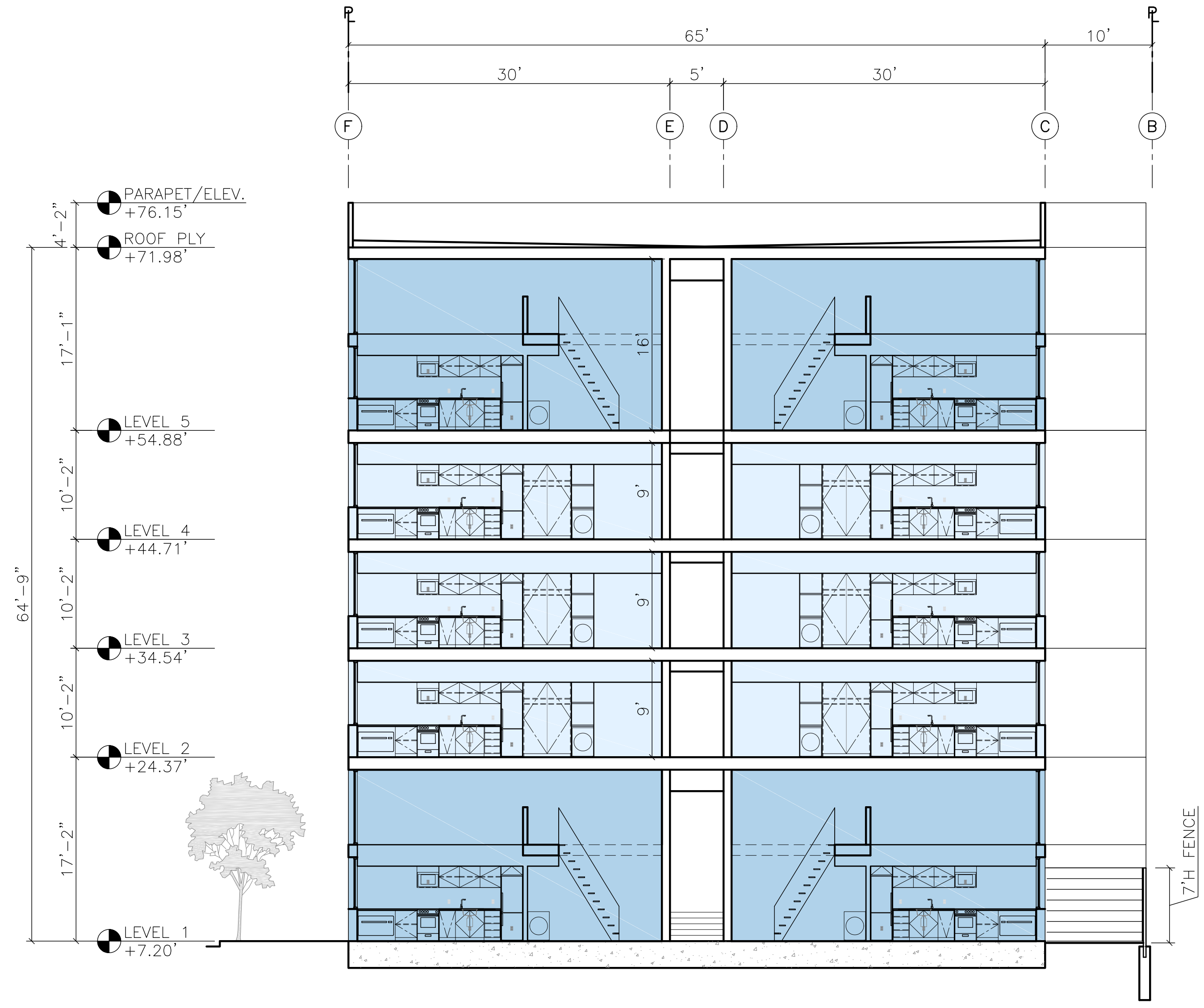
OWNER:
RIAZ CAPITAL
 2744 East 11th Street
 Oakland, CA 94601
 T 510.925.1908

GENERAL CONTRACTOR:
TBD
 Address 1
 Address 2
 T XXX.XXX.XXXX

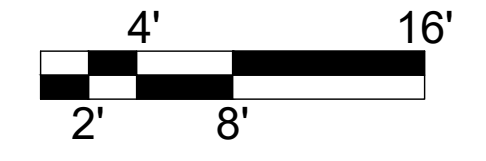
ARCHITECT:
STANLEY SAIOWITZ |
NATOMA ARCHITECTS INC.
 1022 Natoma Street, No. 3
 San Francisco, CA 94103
 T 415.626.8977

LANDSCAPE ARCHITECT:
GATE + ASSOCIATES
 1655 N. Main Street, Suite 365
 Walnut Creek, CA 94596
 T 925.736.8176

CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
 2633 Camino Ramon #350
 San Ramon, CA 94583
 T 925.866.0322



STUDIO 0A
 STUDIO 1A/1B
 STUDIO LOFT 0B/1C
 RETAIL
 AMENITY
 MEP/BOH
 OPEN SPACE



SECTION 1

220 ALICE STREET
 OAKLAND, CA 94607

SHEET TITLE:
SECTION

SET:	PLANNING
DATE:	04-15-2022
SCALE:	1/8" = 1'-0"
DRAWN:	SSJ/NAI

SHEET NO:
A2.1

REVISIONS	DATE

OWNER:
RIAZ CAPITAL
 2744 East 11th Street
 Oakland, CA 94601
 T 510.925.1908

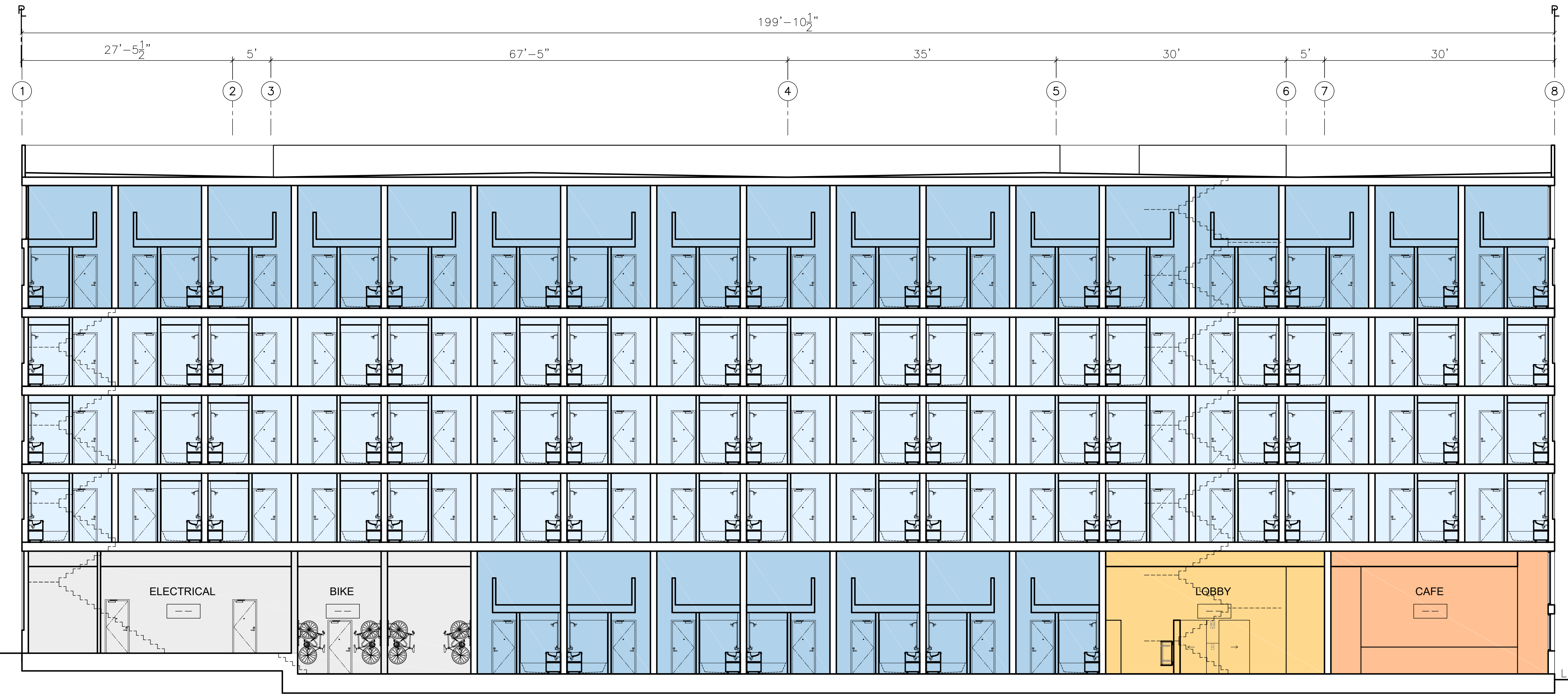
GENERAL CONTRACTOR:
TBD
 Address 1
 Address 2
 T XXX.XXX.XXXX

ARCHITECT:
STANLEY SAIOWITZ |
NATOMA ARCHITECTS INC.
 1022 Natoma Street, No. 3
 San Francisco, CA 94103
 T 415.626.8977

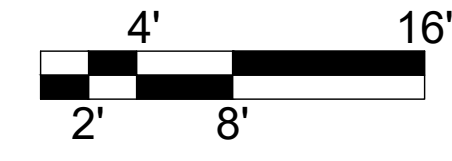
LANDSCAPE ARCHITECT:
GATE + ASSOCIATES
 1655 N. Main Street, Suite 365
 Walnut Creek, CA 94596
 T 925.736.8176

CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
 2633 Camino Ramon #350
 San Ramon, CA 94583
 T 925.866.0322

4'-2"	● PARAPET/ELEV.	+76.15'
	● ROOF PLY	+71.98'
17'-1"		
10'-2"	● LEVEL 5	+54.88'
10'-2"	● LEVEL 4	+44.71'
10'-2"	● LEVEL 3	+34.54'
10'-2"	● LEVEL 2	+24.37'
17'-2"		
14'-5 1/2"		
1'-9 3/4"	● LEVEL 1.4	+7.20'
	● LEVEL 1	+7.20'



■ STUDIO 0A
 ■ STUDIO 1A/1B
 ■ STUDIO LOFT 0B/1C
 ■ RETAIL
 ■ AMENITY
 ■ MEP/BOH
 ■ OPEN SPACE



SECTION 1

220 ALICE STREET
 OAKLAND, CA 94607

SHEET TITLE:
SECTION

SET:	PLANNING
DATE:	04-15-2022
SCALE:	1/8"= 1'-0"
DRAWN:	SSJINAI

SHEET NO:
A2.2

REVISIONS	DATE

OWNER:
RIAZ CAPITAL
 2744 East 11th Street
 Oakland, CA 94601
 T 510.925.1908

GENERAL CONTRACTOR:
TBD
 Address 1
 Address 2
 T XXX.XXX.XXXX

ARCHITECT:
STANLEY SAIOWITZ |
NATOMA ARCHITECTS INC.
 1022 Natoma Street, No. 3
 San Francisco, CA, 94103
 T 415.626.8977

LANDSCAPE ARCHITECT:
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CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
 2833 Camino Ramon #350
 San Ramon, CA 94583
 T 925.866.0322



247 4TH

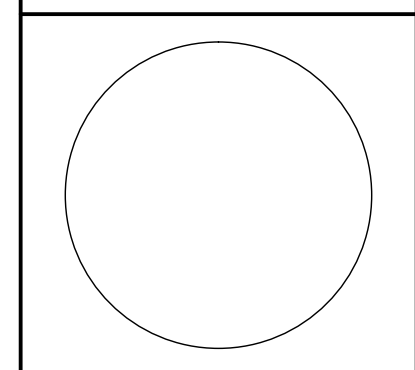
248 3RD

3RD ST

220 ALICE

2ND ST

JACK LONDON SQUARE STATION



220 ALICE STREET
 OAKLAND, CA 94607

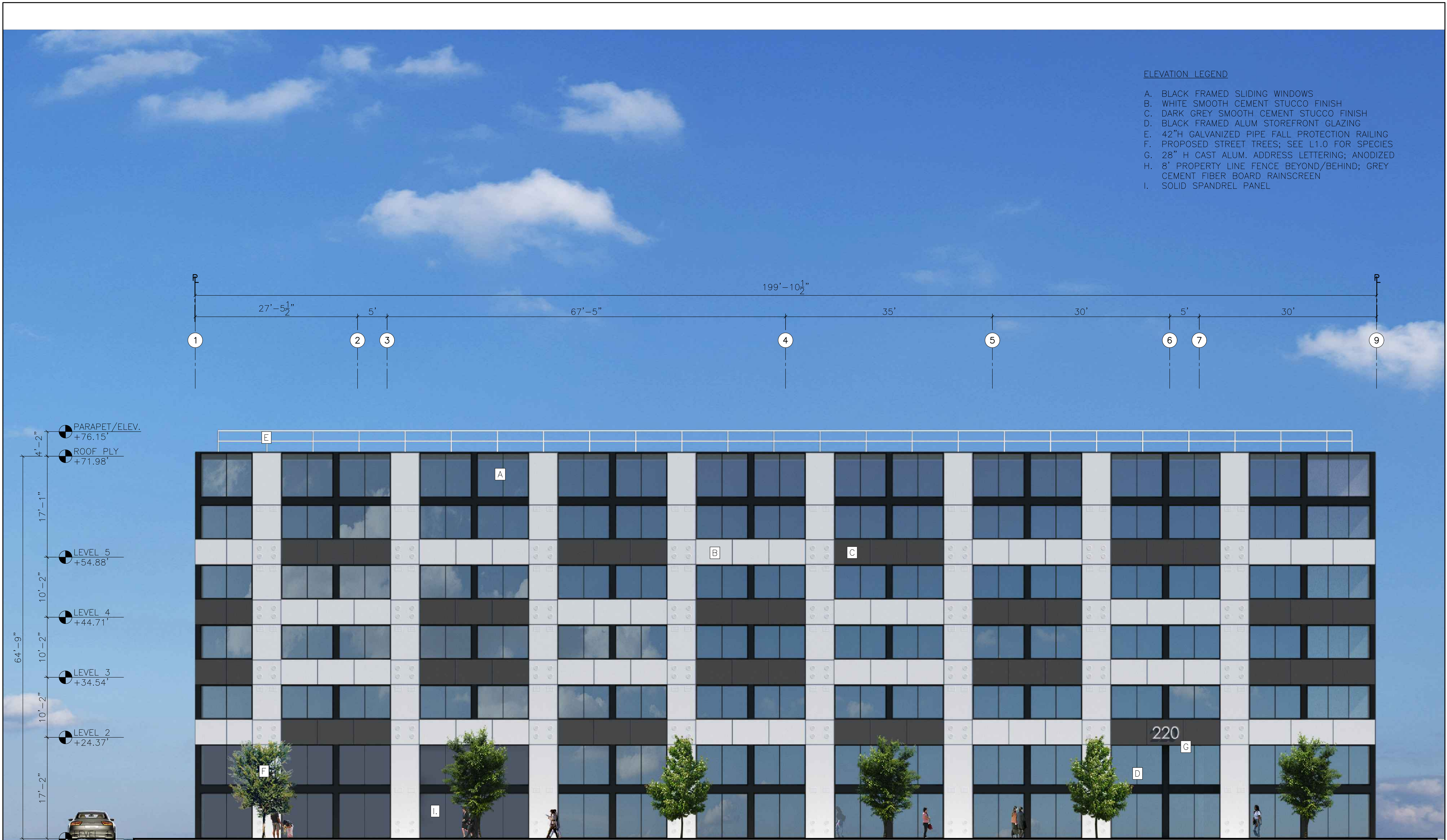
SHEET TITLE:
STREET ELEVATION

SET:	PLANNING
DATE:	04-15-2022
SCALE:	N.T.S.
DRAWN:	SSJNAI <small>© 2022 STANLEY SAIOWITZ NATOMA ARCHITECTS INC.</small>

SHEET NO:

A3.0

ALICE STREET ELEVATION 1



ELEVATION LEGEND

- A. BLACK FRAMED SLIDING WINDOWS
- B. WHITE SMOOTH CEMENT STUCCO FINISH
- C. DARK GREY SMOOTH CEMENT STUCCO FINISH
- D. BLACK FRAMED ALUM STOREFRONT GLAZING
- E. 42" H GALVANIZED PIPE FALL PROTECTION RAILING
- F. PROPOSED STREET TREES; SEE L1.0 FOR SPECIES
- G. 28" H CAST ALUM. ADDRESS LETTERING; ANODIZED
- H. 8' PROPERTY LINE FENCE BEYOND/BEHIND; GREY CEMENT FIBER BOARD RAINSCREEN
- I. SOLID SPANDREL PANEL

- PARAPET/ELEV. +76.15'
- ROOF PLY +71.98'
- LEVEL 5 +54.88'
- LEVEL 4 +44.71'
- LEVEL 3 +34.54'
- LEVEL 2 +24.37'

3RD ST

2ND ST

WEST ELEVATION 1

REVISIONS	DATE

OWNER:
RIAZ CAPITAL
 2744 East 11th Street
 Oakland, CA 94601
 T 510.925.1908

GENERAL CONTRACTOR:
TBD
 Address 1
 Address 2
 T XXX.XXX.XXXX

ARCHITECT:
STANLEY SAIOWITZ |
NATOMA ARCHITECTS INC.
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 San Francisco, CA 94103
 T 415.626.8977

LANDSCAPE ARCHITECT:
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 Walnut Creek, CA 94596
 T 925.736.8176

CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
 2633 Camino Ramon #350
 San Ramon, CA 94583
 T 925.866.0322

220 ALICE STREET
 OAKLAND, CA 94607

SHEET TITLE:
ELEVATION

SET:	PLANNING
DATE:	04-15-2022
SCALE:	1/8"=1'-0"
DRAWN:	SSJNAI <small>© 2022 STANLEY SAIOWITZ NATOMA ARCHITECTS INC.</small>

SHEET NO:
A3.1

REVISIONS	DATE

OWNER:
RIAZ CAPITAL
 2744 East 11th Street
 Oakland, CA 94601
 T 510.925.1908

GENERAL CONTRACTOR:
TBD
 Address 1
 Address 2
 T XXX.XXX.XXXX

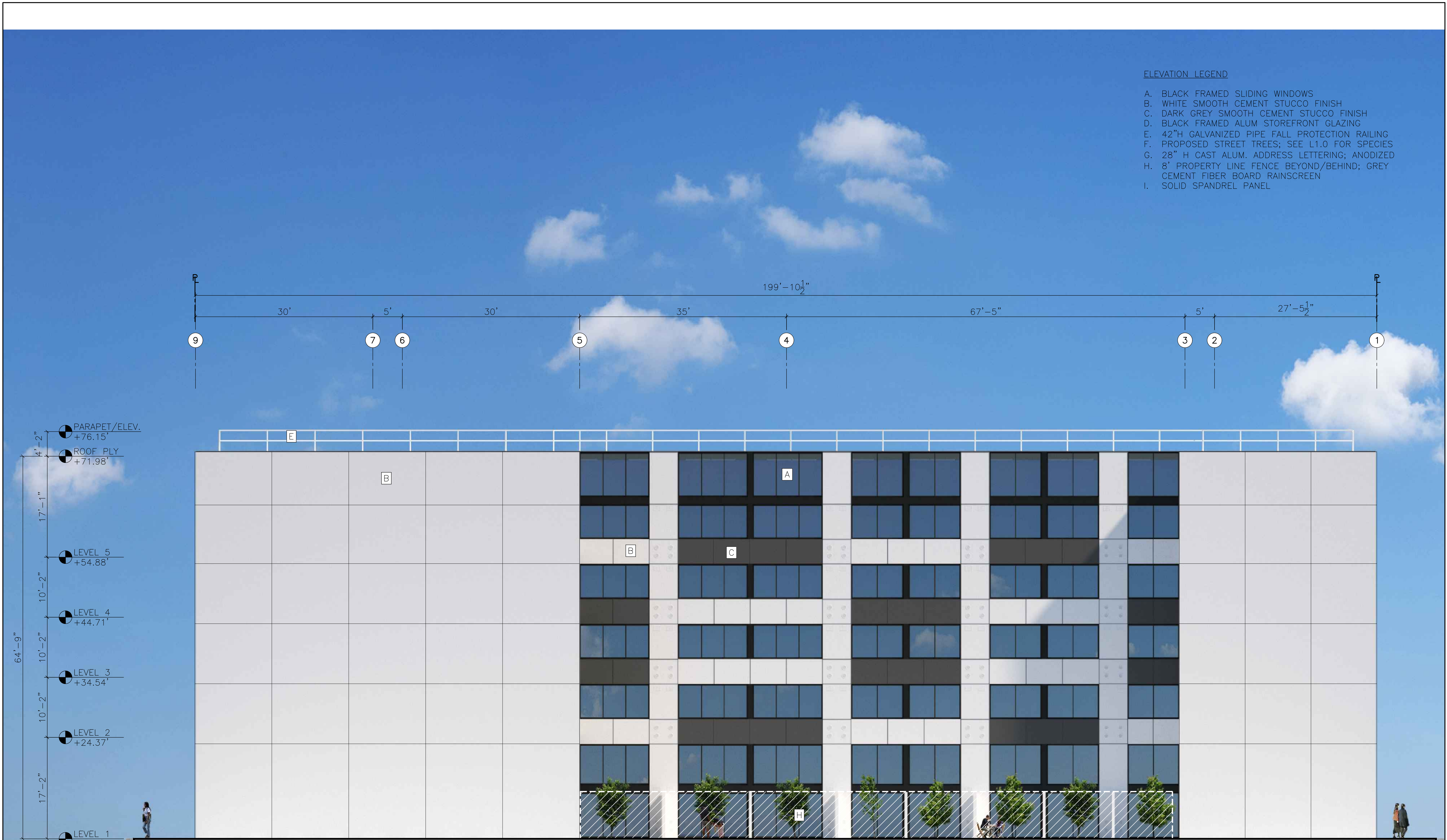
ARCHITECT:
STANLEY SAIOWITZ |
NATOMA ARCHITECTS INC.
 1022 Natoma Street, No. 3
 San Francisco, CA 94103
 T 415.626.8977

LANDSCAPE ARCHITECT:
GATE + ASSOCIATES
 1655 N. Main Street, Suite 365
 Walnut Creek, CA 94596
 T 925.736.8176

CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
 2633 Camino Ramon #350
 San Ramon, CA 94583
 T 925.866.0322

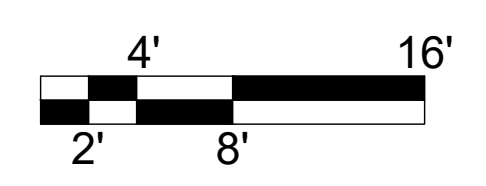
ELEVATION LEGEND

- A. BLACK FRAMED SLIDING WINDOWS
- B. WHITE SMOOTH CEMENT STUCCO FINISH
- C. DARK GREY SMOOTH CEMENT STUCCO FINISH
- D. BLACK FRAMED ALUM STOREFRONT GLAZING
- E. 42"H GALVANIZED PIPE FALL PROTECTION RAILING
- F. PROPOSED STREET TREES; SEE L1.0 FOR SPECIES
- G. 28" H CAST ALUM. ADDRESS LETTERING; ANODIZED
- H. 8' PROPERTY LINE FENCE BEYOND/BEHIND; GREY CEMENT FIBER BOARD RAINSCREEN
- I. SOLID SPANDREL PANEL



2ND ST

3RD ST



EAST ELEVATION 1

220 ALICE STREET
 OAKLAND, CA 94607

SHEET TITLE:
ELEVATION

SET:	PLANNING
DATE:	04-15-2022
SCALE:	1/8"=1'-0"
DRAWN:	SSJNAI <small>© 2022 STANLEY SAIOWITZ NATOMA ARCHITECTS INC.</small>

SHEET NO:
A3.2



ELEVATION LEGEND

- A. BLACK FRAMED SLIDING WINDOWS
- B. WHITE SMOOTH CEMENT STUCCO FINISH
- C. DARK GREY SMOOTH CEMENT STUCCO FINISH
- D. BLACK FRAMED ALUM STOREFRONT GLAZING
- E. 42" H GALVANIZED PIPE FALL PROTECTION RAILING
- F. PROPOSED STREET TREES; SEE L1.0 FOR SPECIES
- G. 28" H CAST ALUM. ADDRESS LETTERING; ANODIZED
- H. 8' PROPERTY LINE FENCE BEYOND/BEHIND; GREY CEMENT FIBER BOARD RAINSCREEN
- I. SOLID SPANDREL PANEL

REVISIONS	DATE

OWNER:
RIAZ CAPITAL
 2744 East 11th Street
 Oakland, CA 94601
 T 510.925.1908

GENERAL CONTRACTOR:
TBD
 Address 1
 Address 2
 T XXXX.XXX.XXXX

ARCHITECT:
STANLEY SAIOWITZ | NATOMA ARCHITECTS INC.
 1022 Natoma Street, No. 3
 San Francisco, CA 94103
 T 415.626.8977

LANDSCAPE ARCHITECT:
GATE + ASSOCIATES
 1655 N. Main Street, Suite 365
 Walnut Creek, CA 94596
 T 925.736.8176

CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
 2633 Camino Ramon #350
 San Ramon, CA 94583
 T 925.866.0322

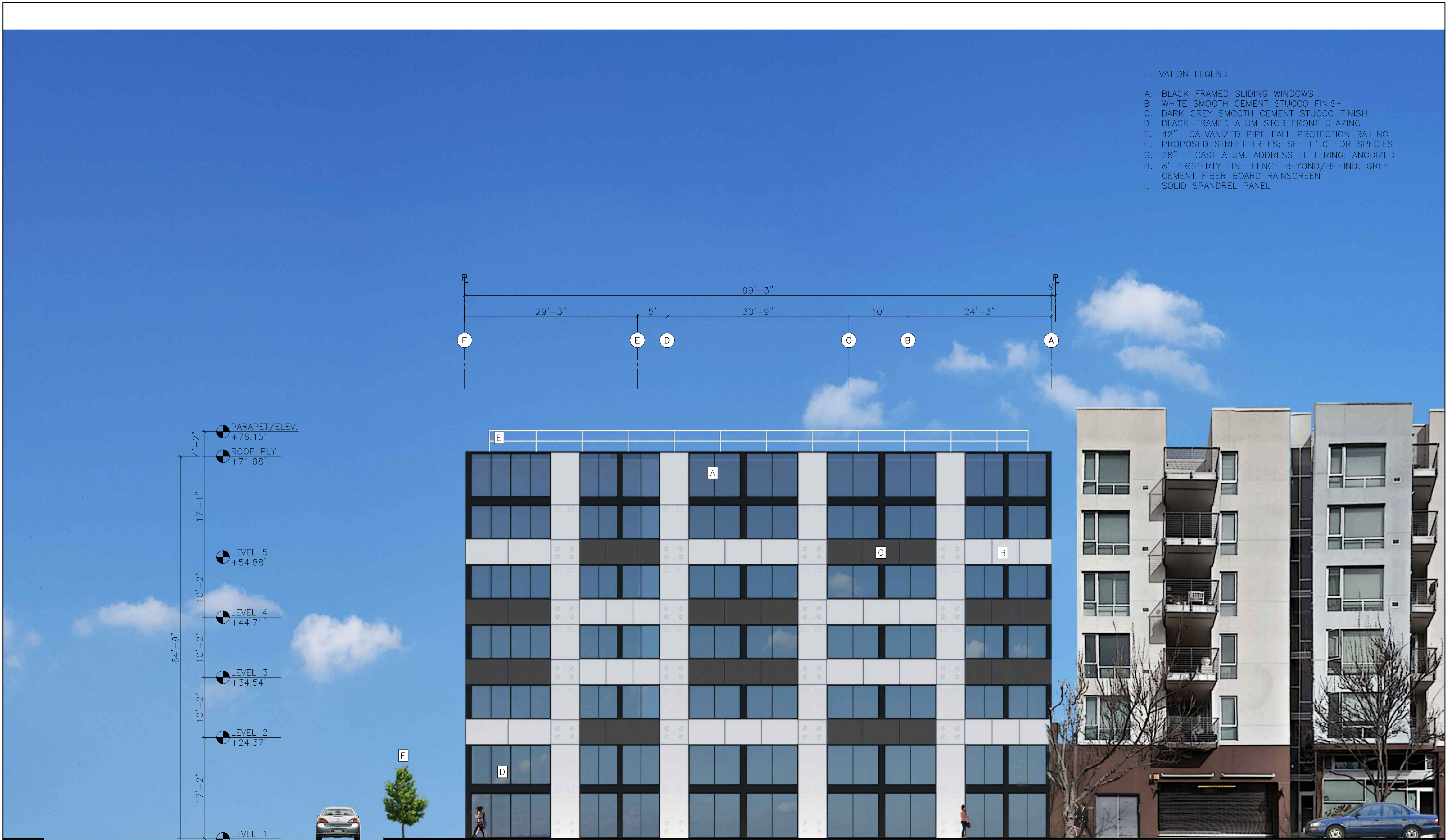
220 ALICE STREET
 OAKLAND, CA 94607

SHEET TITLE:
ELEVATION

SET:	PLANNING
DATE:	04-15-2022
SCALE:	1/8"=1'-0"
DRAWN:	SSJAI <small>© 2022 STANLEY SAIOWITZ NATOMA ARCHITECTS INC.</small>

SHEET NO:

A3.3



ELEVATION LEGEND

- A. BLACK FRAMED SLIDING WINDOWS
- B. WHITE SMOOTH CEMENT STUCCO FINISH
- C. DARK GREY SMOOTH CEMENT STUCCO FINISH
- D. BLACK FRAMED ALUM STOREFRONT GLAZING
- E. 42" H GALVANIZED PIPE FALL PROTECTION RAILING
- F. PROPOSED STREET TREES; SEE L1.0 FOR SPECIES
- G. 28" H CAST ALUM. ADDRESS LETTERING; ANODIZED
- H. 8" PROPERTY LINE FENCE BEYOND/BEHIND; GREY CEMENT FIBER BOARD RAINSCREEN
- I. SOLID SPANDREL PANEL

4'-2" ● PARAPET/ELEV. +76.15'
 ● ROOF PLY +71.98'
 17'-1" ● LEVEL 5 +54.88'
 10'-2" ● LEVEL 4 +44.71'
 10'-2" ● LEVEL 3 +34.54'
 10'-2" ● LEVEL 2 +24.37'
 17'-2" ● LEVEL 1 +7.20'
 64'-9"

ALICE ST

REVISIONS	DATE

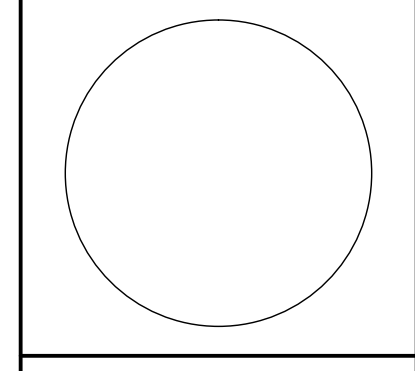
OWNER:
RIAZ CAPITAL
 2744 East 11th Street
 Oakland, CA 94601
 T 510.925.1908

GENERAL CONTRACTOR:
TBD
 Address 1
 Address 2
 T XXX.XXX.XXXX

ARCHITECT:
STANLEY SAIOWITZ | NATOMA ARCHITECTS INC.
 1022 Natoma Street, No. 3
 San Francisco, CA 94103
 T 415.626.8977

LANDSCAPE ARCHITECT:
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 T 925.736.8176

CIVIL ENGINEER:
CARLSON, BARBEE & GIBSON
 2633 Camino Ramon #350
 San Ramon, CA 94583
 T 925.866.0322



220 ALICE STREET
 OAKLAND, CA 94607

SHEET TITLE:
ELEVATION

SET:	PLANNING
DATE:	04-15-2022
SCALE:	1/8"=1'-0"
DRAWN:	SSJ/NAI

SHEET NO:

SOUTH ELEVATION 1

A3.4

REVISIONS	DATE

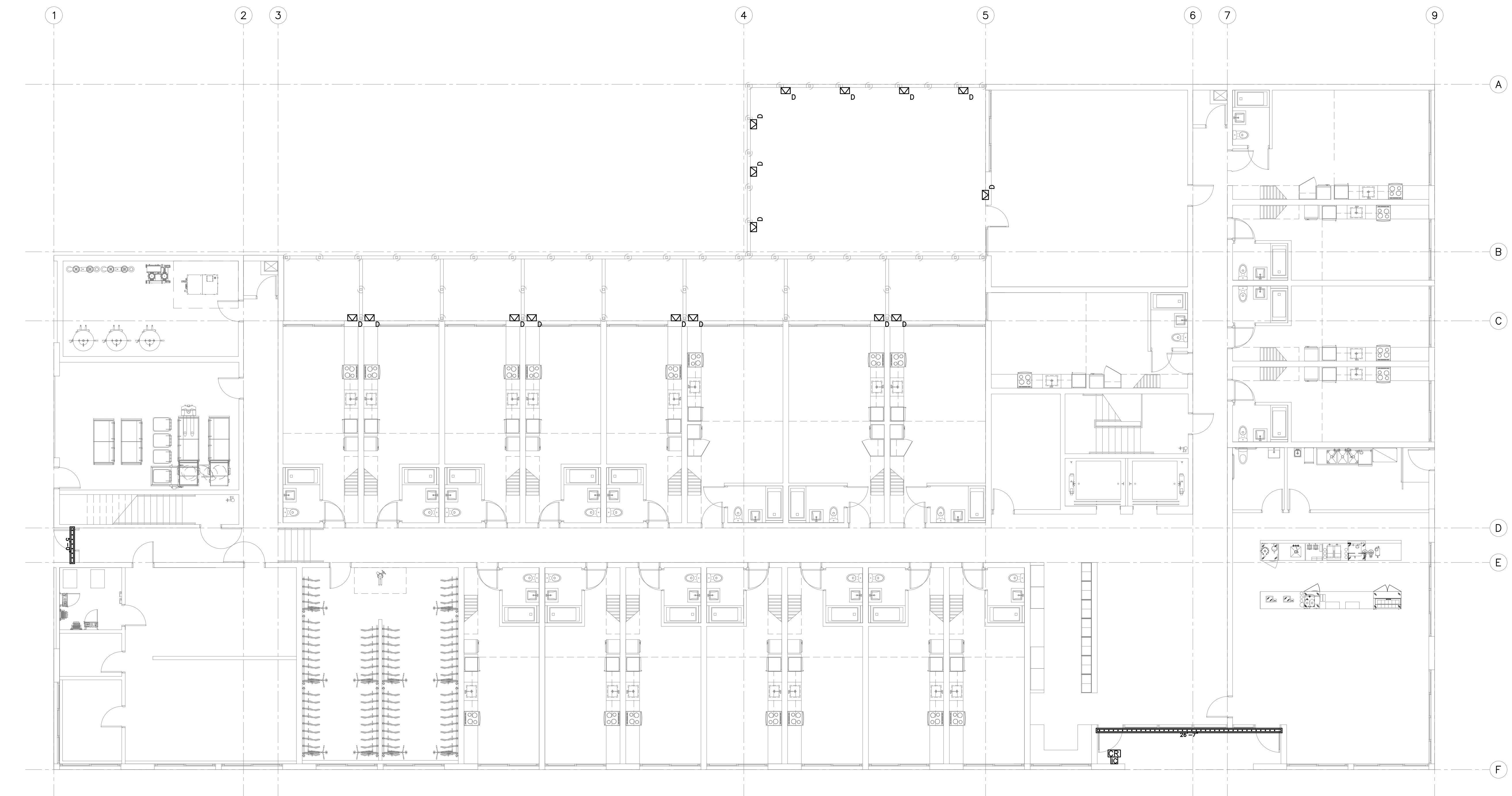
OWNER:
RIAZ CAPITAL
 2744 East 11th Street
 Oakland, CA 94601
 T 510.925.1908

GENERAL CONTRACTOR:
TBD
 Address 1
 Address 2
 T XXX.XXX.XXXX

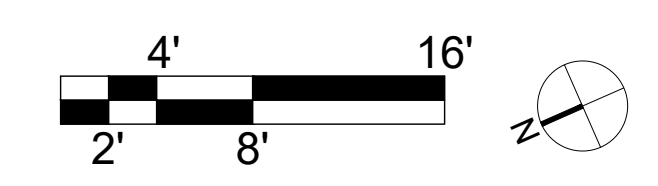
ARCHITECT:
STANLEY SAIOWITZ | NATOMA ARCHITECTS INC.
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LIGHTING LEGEND			
	EXTERIOR LINEAR LED W/ LENGTH KLUS SILER EXTRUSION OR APPROVED EQUAL		INTERCOM, LATCH OR APPROVED EQUAL
	EXTERIOR FLEXIBLE LINEAR LED W/ LENGTH QTRAN BOXA EXTRUSION OR APPROVED EQUAL		CARD READER, LATCH R OR APPROVED EQUAL
	EXTERIOR LED STEPLIGHT KUZCO CASA EW71305 OR APPROVED EQUAL		



LIGHTING PLAN 1

220 ALICE STREET
 OAKLAND, CA 94607

SHEET TITLE:
LIGHTING PLAN

SET: PLANNING
 DATE: 04-15-2022
 SCALE: 1/8" = 1'-0"
 DRAWN: SSJINAI

SHEET NO:
RCP 1.1



Date: April 5th, 2023

To: Chris Batson and Lisa Vilhauer, Riaz Capital
2744 E.11th Street, Oakland CA

From: Connor Ishiguro Turnbull,
Connor Turnbull, Preservation Consulting

Project Name: 220 Alice Street

Via: Email

Memorandum Re: 220 Alice Street, Oakland CA - Historic Resource Evaluation

I. Introduction and Methodology

This memorandum was produced at the request of Riaz Capital to assess the historic status and significance of the building at 220 Alice Street. Riaz Capital has proposed the demolition of 220 Alice Street to construct a five-story mixed-use, multi-family building. The adjacent properties at 200 Alice Street (Yia-Yia's Café) and 236 2nd Street (small office space) are not included in this evaluation. The subject property 220 Alice is comprised of an original 1953-1954 meat packing plant and former café (APN 001-0157-005) and a 1967 addition (APN-0157-001). The subject property has two associated secondary addresses: 239 3rd Street (the 1967 addition) and 247 3rd Street; however, the subject property will be referred to as 220 Alice Street in this report. The building is located at the southwest corner of Alice and 3rd Streets within the National Register Oakland Waterfront Warehouse District, an "Area of Primary Importance" (API) (see Figures 1&2). In both the State Historic Resources Inventory (1985) and the National Register of Historic Resources form (listed 2000) the subject property is rated as a non-contributing resource.

This memorandum covers property-specific information that supplements the existing State of California Department of Parks and Recreation (DPR) 523 historic survey form (including as an appendix to this memorandum). Background research includes the subject property's permit history, supplemental information about the owner(s) and their business, and the builder and engineer of the original 1953-1954 building. Research was conducted at the City of Oakland, Oakland History Center where historic photographs, aerials, newspaper clipping files, city directories (1944-1966 unavailable) and maps were examined in person and online. Other online sources include the Built Environment Resource Directory (BERD); historic newspapers (newspapers.com) and the California Digital Newspaper Collection (<https://cdnc.ucr.edu/>); Census records, City Directories, and other biographical information (ancestry.com); and maps (davidrumsey.com). The permit history was available online through the City of Oakland online microfiche records (<https://www.oaklandca.gov/resources>).

This memorandum addresses whether 220 Alice Street qualifies for listing on the California Register of Historical Resources (CRHR) in accordance with Article 5, § 15064.5 of the

California Environmental Quality Act (CEQA) Guidelines. Properties that are greater than 45 years in age and are proposed for either major alteration or demolition require research to determine whether they meet the California Register criteria and qualify as “historical resources” under the California Environmental Quality Act (CEQA). 220 Alice Street was also evaluated under the Oakland Cultural Heritage Survey (OCHS) “Evaluation Methods” and using its “Evaluation Criteria and Ratings” as laid out in Appendix C the City of Oakland General Plan, Historic Preservation Element.

On December 28, 2022, Connor Turnbull undertook a site visit to photograph 220 Alice Street and assess the subject property, as well as the District context. Connor Ishiguro Turnbull, owner of Connor Turnbull, Preservation Consulting qualifies under the Secretary of the Interior’s Professional Qualification Standards (Code of Federal Regulations, 36 CFR Part 61).

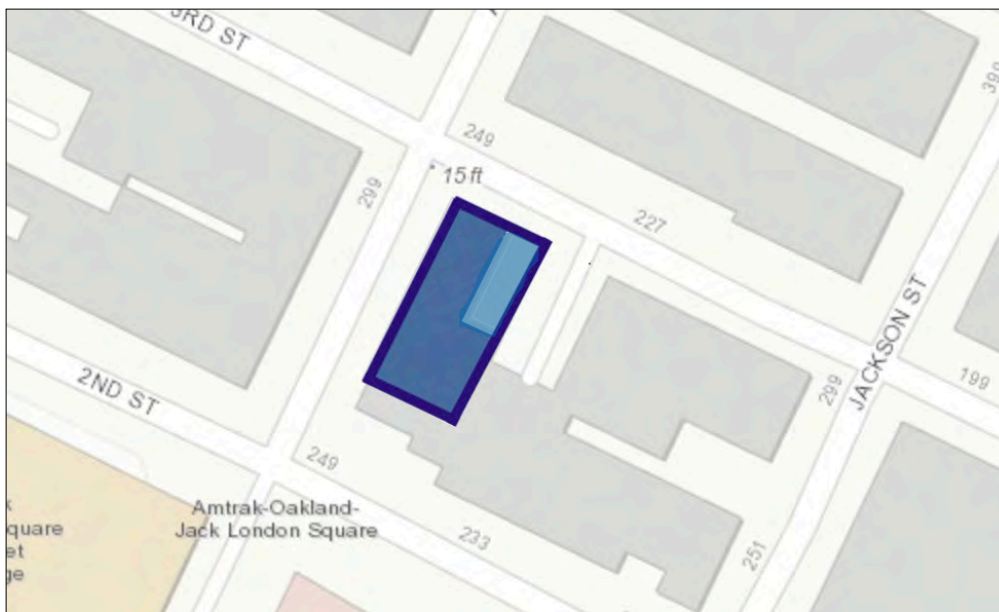


Figure 1: 220 Alice Street site - original building in dark blue, and 1967 addition in light blue (base map <https://oakgis.maps.arcgis.com/home/index.html>, edited by Turnbull)

II. Oakland’s Waterfront Warehouse District

According to the National Register of Historic Places Registration Form, the 16-acre Oakland Waterfront Warehouse District is comprised of 24 contributing buildings and one contributing structure, as well as five non-contributing buildings. The period of significance is 1914-1954. This form was prepared in 1999 by Wilda L. White, President of the Jack London Neighborhood Association. The buildings include one to three-story buildings, and some four to five-story buildings such as the five-story Safeway Stores Corporate Headquarters (201 4th Street) and the Western States Grocery warehouse (247 4th Street). The buildings are either warehouses or processing facilities and their products ranged from produce, poultry, and groceries to paper and burlap bags, plumbing supplies, and machine bearings. Stylistically the contributing buildings include early 20th century Utilitarian architecture, with some buildings incorporating Beaux-Arts derivative or Art Deco elements. The Posey Tube Oakland Portal is the contributing structure. Amongst the contributing buildings there is a uniformity of material, scale, massing, height, and

texture. Fifteen of the contributors were constructed between 1917 and 1937, one was built in 1940, and eight were constructed after WWII between 1945 and 1954. The latter group of buildings are mostly brick and clustered in the vicinity of the Posey Tube Oakland Portal. The earlier buildings exhibit the brick, concrete, and steel sash found in buildings of the 1910s and 1920s. The earlier buildings were arranged to access the Western Pacific Railroad 3rd Street tracks that generated the creation of the warehouse area. The later buildings, and the Posey Tube, incorporate automobile and trucking oriented elements. A majority of the buildings feature flat roofs with stepped or decorative parapets, multi-color surfaces of brick or painted stucco, prominent truck doors and loading bays and industrial sash. Additionally, the buildings conform to the street grid and are not set back. The District includes one National Register Building (American Bag Building, 299 3rd Street), while the Safeway Stores Corporate Headquarters (201 4th Street), the Western Shores Grocery Warehouse (247 4th Street), the C.L. Greeno Building (255 4th Street), and the Posey Tube (415 Harrison Street) are identified as potential National Register buildings, and the Posey Tube and American Bag Company are City Landmarks.

In the period between the State Historic Resources Survey (1985) and the National Register Nomination Form (listed 2000), several of the warehouse buildings were adapted to residential or office uses. Since the National Register form was created, new mixed-use residential buildings were added to the area and include two projects in the vicinity of 220 Alice Street - 240 3rd Street occupies half the block facing 3rds Street across from the subject property, and 250-270 3rd Street occupies the former site of the Western Pacific Railroad Depot on 3rd Street between Alice Street and Jackson Street (see Figure 8). The contributors to the District continue to anchor the character of the area and are generally clustered to the north and west of the subject property at 220 Alice Street (see Figure 2).

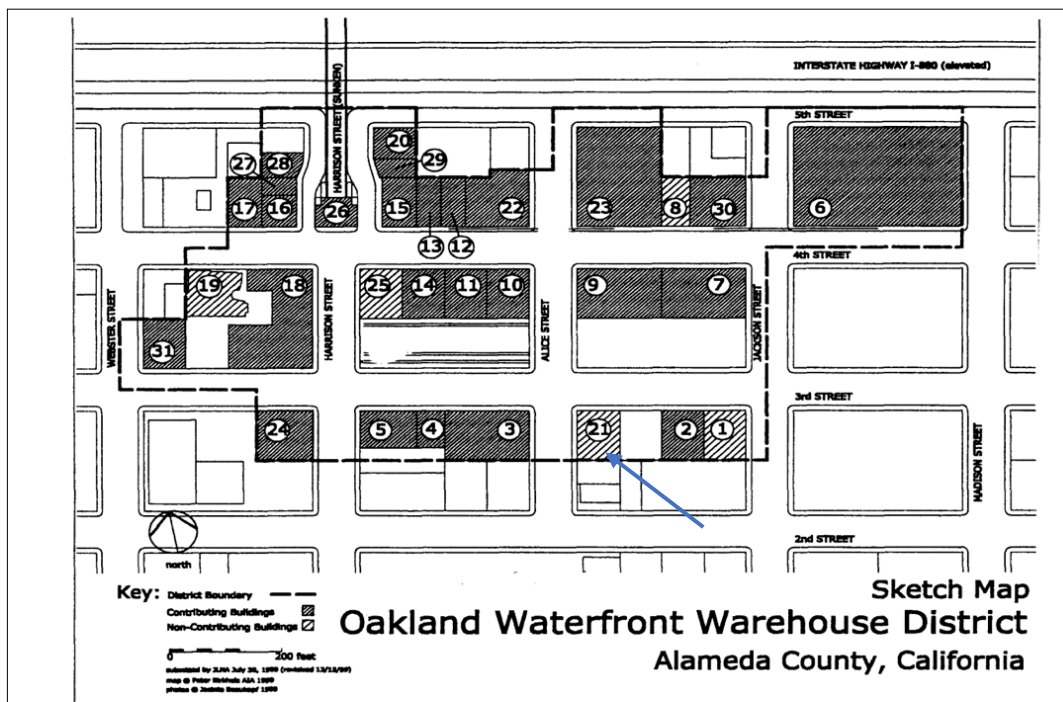


Figure 2: Oakland Waterfront Warehouse District, property indicated with arrow (form courtesy of Betty Marvin, City of Oakland, Oakland Cultural Heritage Survey)

III. Description of 220 Alice Street (239 3rd Street/247 3rd Street – secondary addresses)



220 Alice Street includes the original 1953-1954 building, a 0.22 acre parcel identified as APN 1-157-5 and a 0.04 acre parcel (239 3rd St) identified as APN 1-157-1 and collectively is known as 220 Alice Street. Alice Street runs north-south and 3rd Street runs east-west. The property is located at the corner of Alice Street and 3rd Street, with the longer elevation facing Alice Street and does not extend all the way to 2nd Street (see Figure 1).

The subject property was constructed in 1953-1954 (APN 001-0157-005) with an addition at the 3rd Street elevation in 1967 (APN 001-0157-001). According to permit records (see permit table below) the building underwent other changes including a 1961 one-room addition, and a second story storage room in 1983. The one-and-a-half story, painted concrete block building is rectangular in plan and features a flat roof. Three, second story, non-contiguous, discreet additions are visible. Two at the 3rd Street end of the building and one at the 2nd Street end of the building. The larger of these second story additions constructed in 1983 is placed towards the center of the 3rd Street elevation and is rectangular with a corrugated metal overhang. A one room enclosure is situated at the corner of Alice and 3rd Streets, and a square mechanical room is situated closer to 2nd Street (see Figures 3-5).

The 3rd Street elevation has two extant doorways, one on the ground floor under a metal structural brace and one at the upper story below the corrugated metal overhang. Both feature painted corrugated metal roll up doors. Based on a 1983 photo and the site visit reconnaissance, other window and door openings are infilled at the 3rd Street elevation (see Figure 9). The Alice Street elevation has an extant clerestory window covered by screening, and a recessed and raised loading dock with multiple doors and other openings currently blocked off. The raised loading dock also has fixed transom windows and a mechanical box. A container is placed in front of the Alice Street elevation and former windows and doorways have been infilled on both the Alice Street and 3rd Street elevations (see Figures 3- 10). An extended eave with an angled metal cornice spans half of the 3rd Street elevation and stretches to about half of the Alice Street elevation where it terminates in a triangular fin just beyond a recessed loading dock area (see Figures 6-7).¹ The 2nd Street elevation abuts the adjacent commercial building and is opaque. 220 Alice Street appears as it did in a 2015 (see Figure 10).

Two signs that read “Prime Smoked Meats” are still visible at the 3rd Street elevation, slightly obscured by paint, and at the east wall of the second story addition above.

Site Photos



Figure 3: 3rd Street Elevation, Prime Smoked Meats signs visible (Turnbull site visit December 2022)



Figure 4: 3rd Street Elevation (Turnbull site visit December 2022)

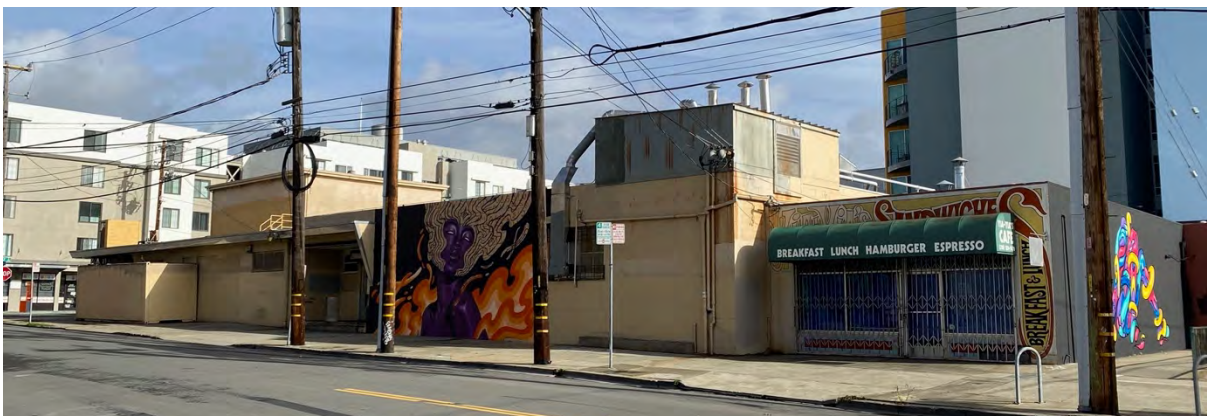


Figure 5: Alice Street Elevation, looking northeast (Turnbull site visit December 2022)



Figure 6: corner of 3rd and Alice Streets (Turnbull site visit December 2022)



Figure 7: Alice Street Elevation, loading dock (Turnbull site visit December 2022)

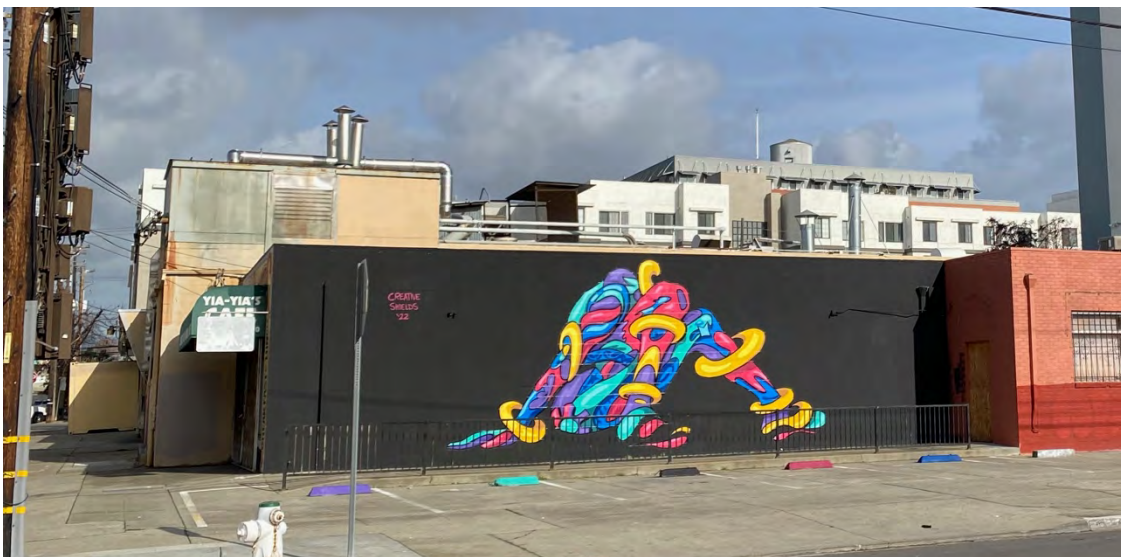


Figure 8: 2nd Street Elevation, partially obscured by neighbour building with mural wall (Turnbull site visit December 2022)



Building Permit Table (220 Alice Street/237 3rd Street/247 3rd Street)

Date	Permit #	Names	Description/ Cost
July 13, 1953	B48347	Davidson Pork Products, owner; Edward Smith, contractor; K. Olsen, engineer	Erect new 9,400 sq.ft., one-story, concrete block warehouse & café building on 50'x150'-25'x75' lot; addresses 220 Alice and 247 3 rd Streets; \$46,500.00
October (illegible), 1961	B98572	Joe Karren, owner; Ernest A. (illegible), contractor	Relocation of overhead door using existing fire door, close up Alice St. door; \$250.00
November 28, 1961	B99270	Fred and Joe Karren, owners (Karren & Karren); Ernest Wringle (almost illegible)	Addition – 15'x 24' room; \$1,000.00
December 20, 1961	B99612	Joe Karren, owner; Cooper Refrigeration, contractor	Insulate existing 33'x 22'x12' dry storage and create refrigerated storage room; \$5,800.00
November 12, 1964	C19461	Mr. A. Sacks, owner; Norman C. Hynding Co., contractor	Add new 15'x 25' concrete block building; \$6,000.00
September 6, 1967	C38832	Prime Smoked Meats, Inc., owner; George Kalmar & Son, contractor; George Slavich, architect	Addition 25'x75' concrete block building, install new men's toilet and locker room; \$40,000.00
November 15, 1968	C45634	Prime Smoked Meats - Mr. Al Sacks, owner; Cooper-Hawkins Refrigeration & Engineering Co., contractor	Replace plastic roof with new corrugated metal roof at alley receiving area, per federal regulations; \$600.00
January 3, 1969	C48585	Al Sacks, owner; W.A. Rose Co., contractor	Repair fire damage, replace burnt roof joist, sheathing and trim; \$12,000.00
September 22, 1983	D30464	Prime Smoked Meats, owner; Steve Christian, architect; Eric E. Anderson Inc., contractor; H.A. Bowen Electric. Inc.; Jim Bustos Plumbing; Jenson Mechanical Equipment;	2 nd story addition within existing footprint, new area for non-food dry storage; \$80,000.00

The style of 220 Alice Street is listed in both the Historic Resources Inventory and the National Register Nomination as “Mid-20th century utilitarian warehouse, the architect is identified as K. Olsen, however, on permit #B48347 he is listed as the licensed engineer, and the contractor is Edward Smith (referred to in this document as the builder). The description in both the documents is the same and it reads:

One story concrete and concrete-block warehouse with flat roof, irregularly distributed (and redistributed) doors and windows, and ‘Prime Smoked Meats’ pig logo several places on the pink-painted walls. There are vestiges of 1950s styling – a corner porch with pipe columns, and a cantilevered canopy over the loading door on 3rd Street. Large windows on both frontages have been filled in. Permit B48347, 1953, and Sanborn maps show that the original section of this property was built for \$46,500 as a warehouse and restaurant for Davidson Pork Products, replacing a two-story Victorian house. The closed-off windows and corner porch are apparently traces of the original restaurant design. The 1967 addition (permit C38842) was for Prime Smoked Meats, the present occupant. Though compatible with the district in scale and use, this building’s recent date and dissimilar appearance render it a non-contributing District building. (National Register Nomination form, Section 7, pages 23-24)



Figure 9: 220 Alice Street in 1983, corner café with pipe columns mentioned in the DPR forms is still visible (photograph courtesy of Carey& Co., Inc.)



Google Maps Street View, September 2015 (retrieved on October 14, 2015)

Figure 10: 220 Alice Street in 2015, note Prime Smoked Meats, Inc. terminated business at this location around this time (courtesy of Carey & Co., Inc.)

Photos of Neighbouring Buildings



Figure 11: 220 Alice Street - north and northwest neighbours across 3rd Street (Turnbull December 2023)



Figure 12: 220 Alice Street – east neighbour along 3rd Street (Turnbull December 2023)



Figure 13: 220 Alice Street - west neighbour across Alice Street, at the corner of Alice and 3rd Streets (Turnbull December 2023)

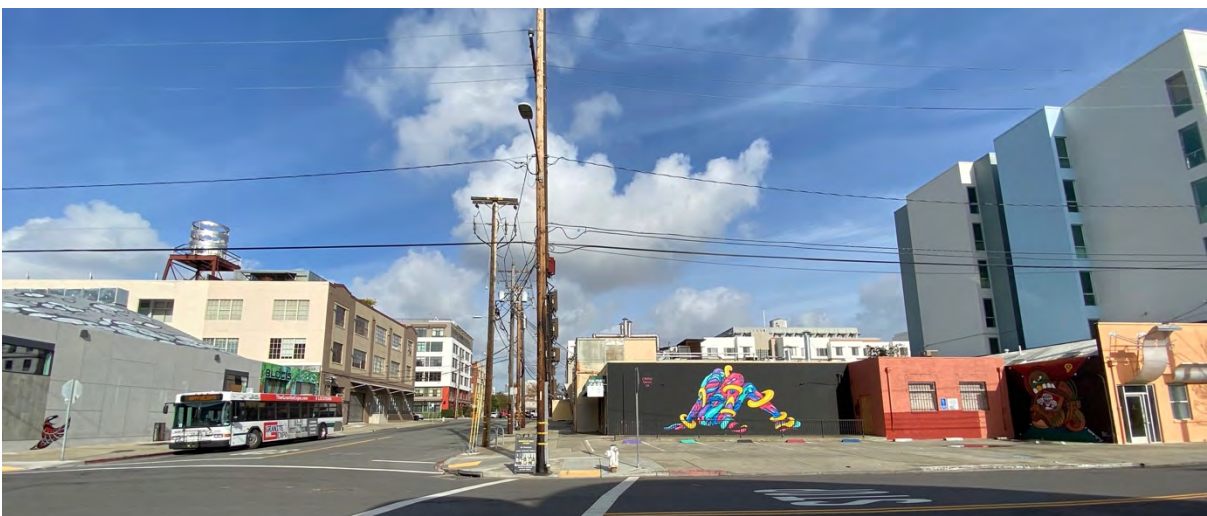


Figure 14: 220 Alice Street – view of Alice and 2nd Street neighbours (Turnbull December 2023)



IV. **Builder/Engineer/Architect of 220 Alice Street**

Edward Smith- Builder

Edward Smith appears in the original permit record as the contractor of the 1953-1954 concrete warehouse and café at 220 Alice Street. Edward Smith does not appear in records of the City of Oakland, Oakland History Center collection nor does he appear with any frequency in historical newspapers. One mention is in a June 15th, 1954 edition of the *Oakland Tribune* where he is listed as the contractor for an East Bay Municipal Utility District pumping station located in Lafayette-Walnut Creek area.²

K. Olsen - Engineer (note: listed as architect on Inventory and NR forms)

K. Olsen is listed as the Engineer on permit #B4837 to erect a new 9,400 square foot, concrete block warehouse and café at 220 Alice Street, 247 3rd Street. K. Olsen does not appear in records of the City of Oakland, Oakland History Center collection nor does he appear in historical newspapers. Other resources available through ancestry.com did not provide clear information about K. Olsen.

V. **Owners - Davidson's Pork Products/Prime Smoked Meats Inc.**

The original owner of 220 Alice Street was Phil Davidson, proprietor of Davidson's Pork Products. Davidson's Pork Products is listed on the original permit #B48347. In the 1950 Census record retrieved from ancestry.com, Phil Davidson, a 39-year-old "Retail and Wholesale Meat Proprietor and Buyer" lives at 21 Hillwood Place in Oakland with his 41-year-old wife Irene, and their three children – 17-year-old Joyce, 12-year-old Jacklyn, and 9-year-old Sheldon. Both Irene and Joyce work as a "meat saleslady" of a Retail and Wholesale Meat Co. on the census record. In 1955 Phil and Irene divorced and in a March 6th edition of the *Oakland Tribune* the "community assets" include Davidson's Pork Products located at 220 Alice Street.³

The next owner of 220 Alice Street listed on the permit records is a general contractor Karren & Karren who added a refrigerated storage room. From the 1940 Census record it appears that Joe Karren and Fred Karren listed on the permit were father and son. The Karren family lived in on Trestle Glen Road in Oakland and the Joe Karren's 1985 obituary in the *San Francisco Examiner* does not discuss his career, only his children and grandchildren.⁴ The Karren's owned 220 Alice in 1961 but, per the permit history, the property passed on to the Sacks family by 1964. The Sacks family were the proprietors of Prime Smoked Meats, Inc.

According to the 1950 Census record, the Karren and the Sacks families both lived on Trestle Glen Road in Oakland. Albert Sacks is listed in the census as a 37-year-old proprietor of a retail dairy food distributor. His son Steven Michael was 3 years old in 1950. The Sacks family were responsible for the larger 1967 addition, as well as the 1983 larger second story addition to the subject property. Steven Sacks assumed proprietorship of Prime Smoked Meats, Inc. from his father and was responsible for its closure in 2016. Riaz Capital purchased 220 Alice Street from the Sacks family in 2021.



VI. Significance Evaluation

California Register of Historical Resources

The California Register of Historical Resources (CRHR) is an inventory of significant architectural, archaeological, and historical resources in the State of California. Resources can be listed in the CRHR through several methods. State Historical Landmarks and National Register of Historic Places (NRHP)-listed properties are automatically listed in the CRHR. Properties can also be nominated to the CRHR by local governments, private organizations, or citizens.

The evaluative criteria used by the CRHR for determining eligibility are closely based on those developed by the National Park Service for the NRHP. According to PRC Section 5024.1(c), a resource, either an individual property or a contributor to a historic district, may be listed in the CRHR if the State Historical Resources Commission determines that it meets one or more of the following criteria, which are modeled on NRHP criteria:

- **Criterion 1:**
It is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.
- **Criterion 2:**
It is associated with the lives of persons important in our past.
- **Criterion 3:**
It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.
- **Criterion 4:**
It has yielded, or may be likely to yield, information important in history or prehistory.

In addition to meeting the applicable eligibility criteria, a property must retain historic integrity, which is defined in National Register Bulletin 15 as the "ability of a property to convey its significance" (National Park Service 1990). In order to assess integrity, the National Park Service recognizes seven aspects or qualities that, considered together, define historic integrity. To retain integrity, a property must possess certain aspects of integrity, which are defined in the following manner in National Register Bulletin 15 – location, Design, Setting, Materials, Workmanship, Feeling, and Association. Resources nominated to the CRHR must retain enough of their historic character or appearance to convey the reasons for their significance. Resources whose historic integrity does not meet NRHP criteria may still be eligible for listing in the CRHR.

Criterion 1

The property at 220 Alices Street does not appear to be associated with events or patterns important to local, state, or national history. 220 Alice Street was constructed in 1953-1954, with later additions and alterations including a 1967 addition at its 3rd Street elevation. Although it is located within the Oakland Waterfront Warehouse District, research in the meat packing clippings and the produce market clippings folders of the Oakland Public Library made no

mention of either Davidson's Pork Products, or Prime Smoked Meats, and neither companies appear to have played a large or important role in the industry or within the warehouse district commercial activity. As such, 220 Alice Street does not rise to the level of significance required for individual eligibility under CRHR Criterion 1.

Criterion 2

The property at 220 Alice Street does not appear to be associated with significant individuals, organizations, or businesses. Davidson Pork Products, owned by Phil Davidson, constructed 220 Alice Street to serve as a meat packing plant and café. However, he sold it as part of his divorce in 1955. The next known owners were a father and son named Joe and Fred Karren who appear to have been in the construction business as Karren & Karren. The Karren family were neighbours of the Sacks family on Trestle Glen Road in Oakland and the property's ownership passed on to Albert Sacks in 1964. The Sacks family were the proprietors of Prime Smoked Meats, Inc. operating out of 220 Alice Street until 2016. There are few references to any of these owners in local histories or newspapers. None of the tenants, or owners, of 220 Alice Street appear to have had any major role in the City of Oakland, California or Nationally; therefore, 220 Alice Street does not appear to possess the significance required for individual eligibility under CRHR Criterion 2.

Criterion 3

220 Alice Street was constructed as a meat packing plant and the property included a café program at the time of construction. The building is a mid- 20th Century utilitarian warehouse but has been altered such that any ornamental characteristics have been removed or obscured. Even from the 1983 photograph the building does not appear to be an important example of the warehouse typology found in the surrounding context. The property at 220 Alice Street does not embody the distinctive characteristics of a type, period, region, or method of construction. It does not represent the work of an important creative individual, or possess high artistic values and thus 220 Alice does not appear to possess the significance required for individual eligibility under CRHR Criterion 3.

Criterion 4

The evaluation of the property for the potential to yield information that is important in history or prehistory was beyond the scope of this memorandum.

Integrity

An integrity evaluation is not required for properties that do not possess significance under the CRHR criteria.

Oakland Cultural Heritage Survey (OCHS)

General Plan, Historic Preservation Element, Appendix C

The Oakland Cultural Heritage Survey (OCHS) has been evaluating potential historic resources in the City of Oakland since 1981 using a system developed from Harold Kalman's *The Evaluation of Historic Buildings* and the San Francisco Downtown Inventory. In Appendix C of the Oakland General Plan, Historic Preservation Element (1993) it states that the categories, ratings and guidelines for interpretation closely follow the *National Register Bulletin 15* Sections IV and V

(“How to Identify The Type of Significance of A Property”); (“How to Determine If a Property Has Integrity”). OCHS uses a five-tier, A-B-C-D-E rating system for individual properties and these ratings are explained in the Oakland General Plan, Historic Preservation Element and are evaluated under 17 different aspects under four general areas:

- Visual Quality/Design: Evaluation of exterior design, interior design, materials and construction, style or type, supporting elements, feelings of association, and importance of designer.
- History/Association: Association of person or organization, the importance of any event, association with patterns, and the age of the building.
- Context: Continuity and familiarity of the building within the district.
- Integrity/Reversibility: Evaluation of the building’s condition, its exterior and interior alterations, and any structural removals.

Properties with conditions or circumstances that could change substantially in the future are assigned both an “existing” and a “contingency” rating. The existing rating describes the property under its present condition, while the contingency rating describes it under possible future circumstances, such as if the property were restored. The existing rating is denoted by an upper case letter and is the present rating of the building. The contingency rating, if any, is shown second, and is denoted by a lower-case letter.

The OCHS survey identifies districts in two categories: Areas of Primary Importance (API) and Areas of Secondary Importance (ASI). The main differentiation between an API and ASI is that an API are National Register eligible and that properties whose changes may be reversed may count as contributors in an ASI but not an API.

Properties are also given a Multiple Property Rating (1, 2, or 3) based on an assessment of the significance of the area in which the property is located: properties within an Area of Primary Importance (an area that appears eligible for the National Register) are rated “1”; those in an Area of Secondary Importance are rated “2”; and those outside an identified district are rated “3.” A plus (+) or minus (-) sign indicates whether the property contributes or not to the API or ASI.

If a feature has experienced known losses of integrity (Criteria Group D), Criteria Groups A ,B, C should normally be applied to the feature as it existed *before those losses were sustained*. Criteria Group D should then be applied to the feature to reflect those losses of integrity. However, if the original appearance of the feature is unknown or if the alterations resulting in the losses of integrity have special significance in themselves, or if it is known that none of the original appearance remains then Criterion Groups A, B, and C should be applied to the feature as it presently exists with no deductions in Criteria Group D for losses of integrity.

In the State Historic Resource Inventory Form for the Waterfront Warehouse District 220 Alice Street is listed as a non-contributing resource due to its age in 1983 when the form was created, but also, although deemed compatible to the district in scale and use, its appearance was not



deemed of value enough to rate as contributing resource. In order to assess the building now that it is of age, the following evaluation has been undertaken using the OCHS rating. The following evaluation is based on the research undertaken and the survey conducted of the subject property located at 220 Alice Street as described in the previous sections of the report. The OCHS Criterion has been applied to the subject property and each of the 17 different aspects has been evaluated.

Criteria A (Visual Quality/Design): The exterior is undistinguished; Interior out of scope; Construction - of no particular interest; Designer - unknown or of no particular interest; Type - of no particular interest; Supportive Elements - no supportive elements.

220 Alice Street is an undistinguished painted concrete block building built by the contractor Edward Smith and engineer K. Olsen (referred to in previous documents as the architect). It is a mid-20th century utilitarian warehouse building but is of no particular interest. The building's windows and corner café entry have been infilled, and other entrances have been blocked off. 220 Alice Street does not have any supportive elements.

Criteria B (History/Association): Person/Organization - person or organization of tertiary importance; Event – no connection with event of importance; Patterns – no connection with patterns of importance; Age – established since 1945.

220 Alice Street is not associated with any persons or organizations of importance, the owners of Davidson's Pork Products and Prime Smoked Meats, Inc. are of tertiary importance. The subject property is not connected with any important events and although part of the warehouse district, the building did not play a role in the patterns of the Warehouse Waterfront District. 220 Alice Street was constructed in 1953-1954, an age established after 1945.

Criteria C (Context): Continuity – Incompatible with an Area of Primary Importance; Familiarity – Not particularly conspicuous or familiar

220 Alice Street, although aligned with the district in scale and former use, this building's appearance and date render it incompatible with the API. The subject property is not particularly conspicuous or familiar.

Criteria D (Integrity): Condition – exhibits considerable surface wear; Exterior Alterations – yes; Overall character - changed but recognizable; Interior Alterations (N/A); Structural Removals – No Important Structural Removals; Site – Has Not Been Removed;

220 Alice Street has not been moved, nor has it experienced any structural removals; however, the exterior has been altered such that the corner café entry at Alice and 3rd Streets has been infilled, as have other windows and door openings. Openings at the loading dock area are barricaded. The building's exterior exhibits considerable surface wear but the subject property is still recognizable.

Criterion E (Reversibility): N/A

Historic Preservation Element Rating:

As a result, the subject property located at 220 Alice Street is determined to be “E: Of No Particular Interest” using the City Oakland General Plan, Historic Preservation Element rating system.

Oakland Waterfront Warehouse District

The description of the Oakland Waterfront Warehouse District has been described previously in this memorandum. 220 Alice Street was identified in the State Historic Resource Survey Inventory and the National Register Nomination forms for the Oakland Waterfront Warehouse District (both attached to this memorandum) as a non-contributing resource. In the Built Environment Resource Directory (BERD) available through the Office of Historic Preservation, the property at 220 Alice Street is rated as a 6x “Determined Ineligible for NR by the SHRC or the Keeper.”⁵

VII. Conclusion

Connor Turnbull, Preservation Consulting evaluated the property located at 220 Alice Street and determined that, in conjunction with the State Historic Resource Inventory and National Register forms, along with supplemental research both online and in person, and a site visit to assess the current condition of the subject property, that 220 Alice Street/239 3rd Street/247 3rd Street continues to be a non-contributor to the Oakland Waterfront Warehouse District and that it is a building “of no particular interest” as defined by the City of Oakland General Plan, Historic Preservation Element.



Endnotes

¹ This appears to be a remnant of the 1950s original building.

² *Oakland Tribune*, June 15th, 1954, p.36 (retrieved from newspapers.com). The article says it will be called the Diablo Vista Pumping Plant.

³ _____ "Meat Market Owner Sues for Divorce" *Oakland Tribune*, March 6th, 1955, v.162, no.65 (retrieved from <https://cdnc.ucr.edu/>)

⁴ Obituary section of the *San Francisco Examiner*, May 5th, 1985, p.29 (retrieved from newspapers.com). The Karren family were Jewish and they had two children Fred and Ann.

⁵ Rating retrieved from https://ohp.parks.ca.gov/?page_id=30338 (accessed April 3, 2023)

IDENTIFICATION

- 1. Common name: Prime Smoked Meats, Inc. Processing Plant
- 2. Historic name: Unknown
- 3. Street or rural address: (i) 239 3rd Street (ii) 247 3rd St./220 Alice St.
City Oakland Zip 94607 County Alameda
- 4. Parcel number: (i) 1-157-1 (ii) 1-157-5
- 5. Present Owner: (i & ii) Prime Smoked Meats Inc Address: (i) 239 3rd Street
(ii) 220 Alice Street
City Oakland Zip 94607 Ownership is: Public _____ Private x
- 6. Present Use: Meat processing and storage Original use: Unknown

DESCRIPTION

- 7a. Architectural style: Mid-20th Century Utilitarian
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

One story concrete and concrete-block warehouse with flat roof, irregularly distributed (and redistributed) doors and windows, and "Prime Smoked Meats" pig logo several places on the pink-painted walls. There are vestiges of 1950's styling - a corner porch with pipe columns, and a cantilevered canopy over the loading door on 3rd Street. Large windows on both frontages have been filled in.



- 8. Construction date: 1953,
Estimated _____ Factual add. 196
- 9. Architect K. Olsen
- 10. Builder Edward Smith
- 11. Approx. property size (in feet)
Frontage _____ Depth (i) 25
or approx. acreage (ii) 50
x
- 12. Date(s) of enclosed photograph(s)
198 3

289-34 239-47 3rd St.

13. Condition: Excellent Good _____ Fair _____ Deteriorated _____ No longer in existence _____
14. Alterations: _____
15. Surroundings: (Check more than one if necessary) Open land _____ Scattered buildings _____ Densely built-up
Residential _____ Industrial Commercial _____ Other: Railroad
16. Threats to site: None known Private development _____ Zoning _____ Vandalism _____
Public Works project _____ Other: _____
17. Is the structure: On its original site? Moved? _____ Unknown? _____
18. Related features: _____

SIGNIFICANCE

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

Permit B48347, 1953, and Sanborn maps show that the original section of this property was built for \$46,500 as a warehouse and restaurant for Davidson Pork Products, replacing a 2-story Victorian house. The closed-off windows and corner porch are apparently traces of the original restaurant design. The 1967 addition (permit C38842) was for Prime Smoked meats, the present owner.

Though compatible with the district in scale and use, this building's recent date and different appearance rank it as the only non contributing building in the district.

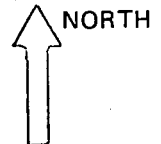
20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)
Architecture 2 Arts & Leisure _____
Economic/Industrial 1 Exploration/Settlement _____
Government _____ Military _____
Religion _____ Social/Education _____

21. Sources (List books, documents, surveys, personal interviews and their dates).

22. Date form prepared April 30, 1983
By (name) Staff and Consultants
Organization Oakland Cultural Heritage Survey
Address: City Planning Dept., City Hall
City Oakland Zip 94612
Phone: (415) 273-3941

© 1985 City of Oakland

Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



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NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in How to Complete the National Register of Historic Places Registration Form (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name Oakland Waterfront Warehouse District
other names/site number _____

2. Location

street & number Portions of 3rd, 4th, and 5th Streets between Madison and Webster Streets
city or town Oakland not for publication NA
vicinity NA
state California code CA county Alameda code 001 zip code 94607

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1986, as amended, I hereby certify that this _____ nomination / _____ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property _____ meets / _____ does not meet the National Register Criteria. I recommend that this property be considered significant _____ nationally _____ statewide / _____ locally. (____ See continuation sheet for additional comments.)

Signature of certifying official _____ Date _____

State or Federal agency and bureau _____

In my opinion, the property _____ meets / _____ does not meet the National Register criteria. (____ See continuation sheet for additional comments.)

Signature of commenting or other official _____ Date _____

State or Federal agency and bureau _____

4. National Park Service Certification

I hereby certify that this property is:

- _____ entered in the National Register _____
_____ See continuation sheet.
- _____ determined eligible for the _____
_____ National Register _____
_____ See continuation sheet.
- _____ determined not eligible for the _____
_____ National Register _____
- _____ removed from the National Register _____
- _____ other (explain): _____

Signature of Keeper _____ Date of Action _____

5. Classification

Ownership of Property (Check as many as apply)

- private
- public-local
- public-State
- public-Federal

Category of Property (Check only one box)

- building(s)
- district
- site
- structure
- object

Number of Resources within Property

Contributing	Noncontributing
<u>24</u>	<u>5</u> buildings
	<u>0</u> sites
<u>1</u>	<u>0</u> structures
	<u>0</u> objects
<u>25</u>	<u>5</u> Total

Number of contributing resources previously listed in the National Register 1

Name of related multiple property listing (Enter "N/A" if property is not part of a multiple property listing.) N/A

6. Function or Use

Historic Functions

(Enter categories from instructions)

- Trade/Warehouse
- Transportation/Railroad
- Transportation/Road-related
- Agricultural/Processing
-
-
-

Current Functions

(Enter categories from instructions)

- Trade/Warehouse
- Transportation/Road-related
- Domestic/Multiple dwelling
- Commerce/Business
- Commerce/Professional
- Agricultural/Processing
- Trade

7. Description

Architectural Classification Enter categories from instructions)

- Other/Utilitarian
- Late 19th and 20th Century Revivals/Beaux Arts
- Modern Movement/Moderne
- Modern Movement/Art Deco

Materials (Enter categories from instructions)

- foundation Concrete
- walls Brick
- Concrete
- roof Composition
- other Stucco
- Cont'd on page 32

Narrative Description (See pages 5 to 32)

(Describe the historic and current condition of the property on one or more continuation sheets.)

8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing)

- X A Property is associated with events that have made a significant contribution to the broad patterns of our history.
B Property is associated with the lives of persons significant in our past.
X C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
D Property has yielded, or is likely to yield information important in prehistory or history.

Criteria Considerations (Mark "X" in all the boxes that apply.)

- A owned by a religious institution or used for religious purposes.
B removed from its original location.
C a birthplace or a grave.
D a cemetery.
E a reconstructed building, object, or structure.
F a commemorative property.
G less than 50 years of age or achieved significance within the past 50 years.

Areas of Significance (Enter categories from instructions)

INDUSTRY
ARCHITECTURE
COMMERCE

Period of Significance 1914 - 1954

Significant Dates 1914

Significant Person (Complete if Criterion B is marked above)

Cultural Affiliation N/A

Architect/Builder Couchot, Rosenwald & Roeth
Meyers, Henry
Owen, W. K.
Smith, A. W.
Thomas, Leonard H.
Cont'd on page 33

Narrative Statement of Significance (See pages 33 to 41)
(Explain the significance of the property on one or more continuation sheets.)

9. Major Bibliographical References

Bibliography (See pages 42 - 44)
(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS)

- preliminary determination of individual listing (36 CFR 67) has been requested.
previously listed in the National Register
previously determined eligible by the National Register
designated a National Historic Landmark
recorded by Historic American Buildings Survey #
recorded by Historic American Engineering Record #

Primary Location of Additional Data

- State Historic Preservation Office
Other State agency
Federal agency
X Local government
University
Other

Name of repository: Oakland Cultural Heritage Survey, Community and Economic Development Agency, City of Oakland

10. Geographical Data

Acreage of Property 16

UTM References (Place additional UTM references on a continuation sheet)

Zone Easting Northing		Zone Easting Northing	
1	<u> </u> <u> </u> <u> </u>	3	<u> </u> <u> </u> <u> </u>
2	<u> </u> <u> </u> <u> </u>	4	<u> </u> <u> </u> <u> </u>

 See continuation sheet

Verbal Boundary Description (Describe the boundaries of the property on a continuation sheet.) (p. 45)

Boundary Justification (Explain why the boundaries were selected on a continuation sheet.) (p. 45)

11. Form Prepared By

name/title Wilda L. White, President
 organization Jack London Neighborhood Association date 8/9/99
 street & number 247 Fourth Street, #201 telephone (510) 452-3355
 city or town Oakland state CA zip code 94607

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets

Maps

- A USGS map (7.5 or 15 minute series) indicating the property's location.
- A sketch map for districts and properties with large acreage or numerous resources.

Photographs

Representative **black and white photographs** of the property.

Additional items

(Check with the SHPO or FPO for any additional items)

Property Owner

(Complete this item at the request of the SHPO or FPO.)

name _____
 street & number _____ telephone _____
 city or town _____ state _____ zip code _____

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including the time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Project (1024-0018), Washington, DC 20503.

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7. Description

7. Narrative Description

Located in an industrial area four blocks northeast of the Port of Oakland's Inner Harbor and two blocks north of Southern Pacific Railroad's waterfront tracks, the Oakland Waterfront Warehouse District encompasses a coherent group of 30 buildings and one structure, most in the style of early 20th Century utilitarian and some with Beaux Arts Derivative and Art Deco elements. With the exception of the five-story Safeway Stores Corporate Headquarters, 201 4th Street (7), and the adjoining four-story Western States Grocery warehouse, 247 4th Street (9), the District's buildings are one to three-story warehouses. While there have been alterations to some of the warehouses over the years, the District still retains its overall integrity and significance.

The 16-acre District lies on portions of 10 blocks bounded by the Nimitz Freeway (5th Street) on the north, 2nd Street on the south, Webster Street on the west, and Madison Street on the east. The Posey Tube, an underwater automobile subway between the cities of Alameda and Oakland, passes beneath the District under Harrison Street. The 55-foot tall Posey Tube Oakland Portal, 415 Harrison Street (26), sits in the center of Harrison Street at 4th Street.

Until 1996, Western Pacific Railroad tracks traversed the District on 3rd Street. A mid-block spur track north of 3rd Street also extended about seven hundred feet from Jackson Street to Harrison Street where Western Pacific's main Oakland freight depot stood until the late 1970s. The District includes two unimproved lots on the north side of 3rd Street between Harrison and Jackson Streets. The unimproved lot at 3rd and Harrison Streets, the former Western Pacific Freight Depot site, contains a railroad "end of line bumper" (32) and two mid-block spur tracks (32). A mid-block spur track also traverses 4th Street between Harrison and Madison Streets (32).

The District's distinctiveness is expressed in its physical layout and unified architecture. Buildings conform to the city street grid and enclose wide streets. Individual buildings are typically an eighth to a quarter block in size, use the brick, concrete and steel sash construction and design vocabulary of the 1910s and 1920s, and were expressly located and designed for access to the Western Pacific Railroad 3rd Street tracks and the waterfront.

Of the 31 structures and buildings that make up the District, 24 are contributing buildings, one is a contributing structure, five are non-

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contributing buildings, and one is already listed on the National Register of Historic Places. Three contributing buildings and one contributing structure are both prominent visual landmarks in the District and are considered individually eligible for listing on the National Register. They include the Posey Tube, 415 4th Street (26); Safeway Stores Corporate Headquarters, 201 4th Street (7); Western States Grocery warehouse, 247 4th Street (9); and the fanciful three-story brick and concrete C. L. Greeno building, 255 4th Street (10). The richly textured, polychrome brick American Bag Building, 299 3rd Street (5) was placed on the National Register on August 13, 1999. Both the Posey Tube and the American Bag Building are designated City Landmarks.

All the contributing buildings were built as warehouses or processing facilities for a variety of products including produce, poultry, paint, paper and burlap bags, groceries, plumbing supplies, and machine bearings. Although some of the larger warehouses have been converted to offices and live-work lofts, many of the District's historical industrial activities endure and the District's visual integrity is strong.

Fifteen of the District's 24 contributing buildings were constructed between 1917 and 1937 and share a similar scale, massing, height, textures, and materials. The buildings are simple and utilitarian. Ornamentation is achieved through an economy of means and materials. Nearly all the buildings possess flat roofs with stepped or decorative parapets, industrial sash, multi-color surfaces of brick or painted stucco, and prominent truck doors and loading bays.

One contributing building was constructed in 1940 (308 4th Street (17)). The remaining eight contributing buildings were constructed between 1945 and 1954 during Oakland's post-World War II building boom. Six of the post-World War II District contributors form a cluster of one-story, brick warehouses situated on truncated lots adjacent to the Posey Tube Oakland Portal. Each has identical American common bond brickwork. While the six warehouses form their own coherent subgroup, in their setting, size, style, uses, and materials, they relate to the District's older warehouses and with the older warehouses form a distinctive, cohesive, recognizable group.

Most of the Oakland Waterfront Warehouse District appears today as it did in 1954, the end of the District's period of significance. The Western Pacific Freight Depot on 3rd Street between Harrison and Jackson was demolished around 1970. The Cudahy Packing Company Meat Warehouse on 3rd Street between Alice and Jackson Streets was demolished in the late 1980s. The 3rd Street railroad tracks were removed in 1996.

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Of the five non-contributing buildings, two are non-contributors because of their ages and dissimilar architecture (19 and 21). Three (1, 8, and 25) have become non-contributors because their character-defining elements were materially altered during adaptive reuse.

Properties adjacent to the Oakland Waterfront Warehouse District and defining its boundaries include newer offices and warehouses, Oakland's Produce Market District, two unimproved lots, a gas station, and the Nimitz Freeway.

Individual Properties

[The following individual descriptions are keyed by number to the district sketch map at page 46.]

- | | |
|--|---|
| <p>1. 201 3RD Street/SW corner of Jackson Street
W.P. Fuller and Co. Warehouse (h)
/Brickhouse Lofts (c)
Early 20th century utilitarian
1914
architect: Walter D. Reed</p> | <p>NON-CONTRIBUTING BUILDING
APN 001-0157-015 thru 027;
029

(permit 35116)
builder: Schnebly,
Hostrawser & Pengrifi</p> |
|--|---|

201 3rd Street is the District's oldest warehouse. The original 30-foot tall, two-story brick-clad concrete frame warehouse on a corner lot was built in 1914 for the W.P. Fuller Paint Company of Sacramento. A ten course tall corbelled brick cornice runs the entire perimeter of the building. The building has a solid brick base and prominent bay and pilaster construction with the corner bays emphasized by a larger fenestration area. Windows are multi-paned four-part transomed metal sash that imitates wood sash. Like many buildings in the district, the building's first floor level is at the height of a rail car floor to facilitate loading and unloading from the Western Pacific Railroad tracks that ran down Third Street.

In 1997, the original building received a one-story and mezzanine, wood-frame rooftop addition that is set back 18 inches. The rooftop addition has two large-scale windows with multiple small panes of glass surmounted by a bracketed cornice, and is clad in a red brick veneer and corrugated, galvanized metal. The skyline profile is a bold sawtooth with a simple metal coping. The addition's regular patterns of square-shaped, white aluminum framed windows are a contemporary interpretation of the historic windows.

In the conversion from warehouse to the live-work loft condominiums, the loading dock doors on 3rd Street were replaced with an aluminum and glass storefront system. A concrete and brick entry stair/handicapped ramp was added to the building's main entry.

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2. **225 3rd Street** **CONTRIBUTING BUILDING**
W.P. Fuller and Co. Warehouse Annex (h) /
West Office Exhibition Design (c) APN 001-0157-028
Mid 20th century utilitarian warehouse
1937; addition 1945 & 1950 (permits A68038, B7481,
B32493)
architect: C.S. Repogle & Alben Froberg builder: Christensen &
Lyons

225 3rd Street was built as a loading shed annex at the west side of the W. P. Fuller warehouse (201 3rd Street) in 1937 and converted in 1997 to offices for a museum design firm. The annex is a very tall one-story structure, rectangular in plan, located on an interior lot. It houses two overhead cranes that remain prominent features of the building. Its roof slopes down from a height of 30 feet to about 15 feet behind a stepped brick false front wall. Reinforced concrete columns support the roof and front wall. The cranes have an independent support structure.

The tallest portion of the loading shed, built in 1937, is adjacent to the main warehouse and has a 45-foot frontage on 3rd Street. It houses a gantry crane whose dual tracks project 15 feet over the sidewalk and street, and travel back the entire 100-foot depth of the shed. Although unused in recent years, the crane and its tracks are completely intact. In 1997 a mezzanine level was inserted in the craneway. Adjacent is a smaller, lower crane whose single track is still intact but no longer operational. The 96-foot long front elevation of the loading shed has two large openings for the cranes, infilled in 1997 with an aluminum and glass storefront system, three high metal-sash windows, a pedestrian door, and a brick parapet that steps down in five steps before climbing once in front of a butterfly roof.

The architect for the two later additions, who designed the distinctive parabolic sweep of stepped parapets, was Alben Froberg, known for numerous Moderne commercial and industrial buildings in Oakland. This utilitarian warehouse addition is a characteristic pattern of industrial streetscape, and, with the original Fuller warehouse, anchors the southeast corner of the District and spans its period of significance.

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3. **255 3rd Street/SW corner of Alice Street** **CONTRIBUTING BUILDING**
Unknown (h)/Tower Lofts (c) APN 001-0151-009 thru 044
Early 20th century utilitarian with
Gothic/Art Deco elements (permit A22888)
1926-27
architect: Hugh C. White; engineer: Trygve Ronneberg
builder: F.A. Muller

255 3rd Street, currently known as Tower Lofts, is an early 20th century utilitarian warehouse that was converted in 1994 into live/work lofts. The building is 47 feet tall and is located on a northeast corner quarter blocklot.

It is rectangular in shape, 150 feet or seven bays on 3rd Street and 100 feet or five bays on Alice Street. It is three stories in height made of reinforced concrete, and is topped by a 50,000 gallon water tower. End bays of each facade are capped by low triangular parapets. Rectangular piers in low relief divide the bays on the upper stories, and there are shallow projecting windowsills and a first floor belt course. Each upper floor has large industrial sash windows in each bay. Ground floor bays have been converted from their original use as loading docks to large industrial windows and an entranceway. There are metal canopies over the front entranceway and the adjacent bays.

Building permit A22888, issued December 3, 1926, indicates that the building was built, at a cost of \$78,000, for Hyman Davis and M. Parker by F. A. Muller. The original plans specify a small cutting room on the first floor and a packing room on the second floor. From 1927-37, it housed the Sussman & Wormser (S&W) Company. Later the building was occupied by several wholesale grocers, Montgomery Wards, a felt hat warehouse for the Dorfman Cap Co., the Salvation Army, and a candle maker.

4. **281 3rd Street** **CONTRIBUTING BUILDING**
American Bag Co. Annex (h)/
Graphic Visions (c) APN 001-0151-002
20th Century utilitarian (permit B50961)
1954
architect: Cecil S. Moyer builder: A.J. Holmes & Son

281 3rd Street is a 5,000 square foot, one-story reinforced concrete, red brick surfaced rectangular block. It is attached to the east side of the American Bag building (5). A large vehicular entry with roll-up corrugated metal door is in the center, with a pedestrian entry and window at the lower right below a horizontal glass block window. A second concrete-framed vehicular entry has been added to the left of the front entry.

This building was constructed as a final expansion of the American Bag building in 1954. Building permit #B50961, issued January 26, 1954 for the

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annex identified the builder as A.J. Holmes and Son, the architect as C.S. Moyer, and the cost as \$12,680. The permit indicates the annex was finished by April 1, 1954.

Although lacking the decorative elements of its predecessor, the American Bag building, the addition continued the District's theme of utilitarian design through an economy of means. It is similar in its simplicity to the other post-World War II District warehouses. The current owners of the building effected a parcel split of this building in 1994 and it is currently rented to a graphics company. The exterior was not altered although an interior opening joining the American Bag building and the newly separated building was bricked over. The building remains in excellent.

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5. **299 3rd Street/228 Harrison Street** **CONTRIBUTING BUILDING**
American Bag and Union Hide Co. Bldg. (h) / **APN 001-0151-046**
American Bag Building (c)
20th Century utilitarian
1923 (Permit 45500)
architect: Leonard H. Thomas builder: J. Sokolow

299 3rd Street, the American Bag and Union Hide Co. building, is located on a 50 by 100-foot corner lot at 3rd and Harrison Streets. This three-story rectangular brick building with a flat roof and raised basement was constructed in 1917 (building permit 45500). Leonard H. Thomas designed the building at the request of Kalman Gluck, proprietor and manager of the Union Hide and American Bag Company.

It is a low-rise warehouse covering the entire lot and providing no setback from the property line. It was oriented toward 3rd Street with loading docks facing the Western Pacific tracks and freight depot. The American Bag Building is the most decorative of the warehouses in the District. It is distinguished by the rich textures and patterns of its three dimensional polychrome brickwork and by the rhythm of its arched windows. The two street facades have dark red brick surfaces with a richly patterned cream brick detailing in a two-part vertical composition, a one-story and basement base and a two story upper zone. The windows and doors, which are all deeply recessed, are segmentally arched and have cream brick sills. The sash is wood with four over four double hung windows. Archivots vary on each level in cream or polychrome brick in gauged or paneled patterns. A cream brick belt course with depressed square red brick panels divides the base and upper zone. A prominent corbeled polychrome brick cornice extends around the top of the building. The ground floor vehicular entries and the loading bays are straight-headed and numbered.

The building's integrity is outstanding. In 1994 in order to provide office and loft space, the current owner undertook a renovation of the interior space. The 3rd Street vehicular entry was modified to provide the main pedestrian entry to the renovated building, keeping the dimensions identical to the original opening. The original freight elevator, with its first floor exterior loading by has been maintained in original condition. All original windows were restored and maintained. The exterior of the building retains its original "American Bag Co." signage. The flumes and bins, located on the roof that had been a part of the burlap bag cleaning process were maintained as an historical and architectural feature.

Like many other buildings within the Waterfront Warehouse District, the American Bag building is an outstanding example of early twentieth century utilitarian warehouse construction. It typifies the construction and architectural treatments typical of the warehouses of that era, while embellishing that treatment with details reflective of the best materials

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available. The American Bag building was placed on the National Register of Historic Places on August 13, 1999.

6. 200 4th Street/400 Jackson Street/175 5th Street/Madison Street **CONTRIBUTING BUILDING**
S&W Fine Foods, Inc. Warehouse (h)/Cost Plus World Market International APN 001-0161-001
Headquarters (c) permit A66276)
Moderne warehouse builder: John F. Tulloch,
1937, add. 1946 Tulloch Construction Co.
architect: Jesse Rosenwald (eng.)

200 4th Street is a one-story, Moderne warehouse, rectangular in plan. The original warehouse filled a 45,000 square foot, three-frontage lot. A later addition increased the building's lot coverage to its current 60,000 square feet - a full city block.

The original and the addition's foundation is concrete. The structure is reinforced concrete and wood post and beam. The exterior walls are concrete and stucco. The windows are tall, narrow, deep-set metal sash. The original building has a straight parapet with fluted pilasters and plain round medallions. The later addition is plain with no detailing. The roof is composition with sixty skylights.

The Fourth Street side of the building had spur track facilities that could accommodate six rails cars at once. These freight loading facilities have been partially filled-in. A partial spur track remains.

The Jackson Street side of the building was devoted to truck shipping and receiving, with the office on the Fifth Street corner. The Jackson Street loading docks have also been partially filled in. A new entrance has also been cut out on the 4th Street elevation. The building presently houses the international headquarters of Cost Plus World Market. The building is in excellent condition; its integrity is good.

The building was designed in 1937 by Jesse Rosenwald, who as a member of Couchot, Rosenwald & Roeth, participated in the design of the Western States Grocery warehouse and Safeway Stores Corporate Headquarters at 247 and 201 Fourth Street, respectively. The builder, John F. Tulloch of Oakland-based Tulloch Construction Company, built many major northern California East Bay industrial plants.

The building served initially as S & W Fine Foods, Inc.'s shipping, receiving, and branch warehouse. Originally known as the Sussman & Wormser Company (the first occupant of the 1927 warehouse at 255 3rd Street), by the time it commissioned its own warehouse, S & W Fine Foods was a major participant in the packaged foods market.

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The warehouse is significant as a reflection of Oakland's waterfront industrial development and the District's strong ties to food processing and distribution.

7. **201 4th Street/SW corner of Jackson Street** **CONTRIBUTING BUILDING**
Safeway Stores Corporate Headquarters (h)/ **APN 001-0155-008**
Safeway Building (c)
Early 20th century utilitarian office
building with Beaux Arts elements
1929-30
architect: Couchot, Rosenwald & Roeth
(permit A38455)
builder: Clinton
Construction Co.

201 4th Street is an early 20th century utilitarian office and warehouse. Completed in 1929, the building is an attached five-story concrete shear wall structure with concrete slabs supported by heavy columns and pilasters. The structure is stuccoed reinforced concrete rectangular block on a corner lot with slightly raised basement.

Although primarily utilitarian in style, the building in its three-part vertical composition and minimal classical detailing reflects the influence of the Ecole de Beaux Arts. The building was originally designed as a warehouse on the lower three floors with offices above, but was later converted entirely to offices. In its original design, the distribution of the office and warehouse functions was expressed by the warehouse loading bays and industrial sash on the lower three floors and the office portion's wood double-hung windows on the top floors, an element that remains intact.

Visible alterations to date include filled-in freight loading docks and vehicle doors as well as the addition of security grilles. The building is presently undergoing adaptive reuse as 46 live-work loft condominiums. In the adaptive reuse, modifications are proposed to the exterior windows, doors, and roof. At the lower three floors, the windows would be enlarged, but would retain their appearance through the use of compatible industrial sash. At the upper two floors, the proposed design acknowledges the difference between the upper and lower level windows. The design proposes the use of double hung windows in modified openings. New doors and transoms are proposed for the main entrance and other secondary entrances to the building. A roof top addition of one story, set back from the existing building envelope is also proposed. The top of the addition would be 82 feet, five inches high or approximately eight feet higher than the existing parapet. The proposed addition would be set back approximately 12 feet on all sides.

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An historic preservation review of the proposed design by San Francisco's Carey & Company Inc. Architecture concluded:

...the proposed project alterations would not disqualify the property from Landmark or Preservation District eligibility or have substantial adverse impacts on the property's Character-Defining Elements. The proposed project alterations would not affect the ratings of either the building itself or the Waterfront Warehouse District. The existing status would be preserved and eligibility for listing on the National Register would not be affected.

As Safeway Stores Corporate Headquarters, the building is significant as the general administrative offices of one of the world's pioneering supermarket chains, a function it retained from its construction in 1929, when Safeway was in a significant period of rapid growth, until 1996 when Safeway relocated its corporate headquarters to Pleasanton, California. The building is a prime contributor to the Waterfront Warehouse District as a reflection of industrial and commercial development in Oakland in the 20th century and the location of national businesses and industries in Oakland.

<p>8. 220 4th Street Unknown (h)/Porthole Building (c) Late 20th century utilitarian 1947-48 Architect: William C. Helms</p>	<p>NON-CONTRIBUTING BUILDING APN 001-0155-006 (permit B17396) builder: R.J. Gholar</p>
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220 4th Street is a one-story brick-fronted concrete block warehouse with truss roof, on an interior lot. The original red brick facade is consistent in color and pattern with the other late 1940s buildings in the district.

Unfortunately, a mid-1980s remodel and use conversion from warehouse to office has partially covered the brickwork with a postmodern stucco cornice and overscaled pediment with abstract keystone that is pasted onto the facade at mid-level. During this remodel, openings were added and the existing openings were enlarged. The original industrial sash and roll up door have been replaced with contemporary aluminum sash windows.

Permit #B17396, issued August 29, 1947, for this \$18,500 warehouse, identifies the owner as Irving Bruder, the builder as R. J. Gholar, and the architect as W. C. Helms. Bruder is listed in the 1943 city directory as in the wholesale notions business; the 1953 bird's eye map shows the building as "General Supply Co.;" Sanborn maps show nonspecific "warehouse and "wholesale store."

Though physically isolated from the cluster of late-1940s brick buildings around the Posey Tube Oakland Portal, it is part of the same theme in the District: a postwar building boom of warehouse infill on hitherto residential sites. This building has been significantly altered, however, and is therefore not a contributor to the District unless its integrity is restored.

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9. **247 4th Street** **CONTRIBUTING BUILDING**
Western States Grocery Co. (h)/Fourth Street APN 001-0155-010 thru 050
Lofts (c)
Early 20th century utilitarian warehouse
1926 (permit A18428)
Architect: Couchot, Rosenwald & Roeth builder: Industrial
Construction Co.

247 4th Street is a four story, 60-foot tall reinforced concrete building, rectangular in plan, on a quarter-block corner lot. There are multi-paned industrial sash windows with center casements regularly placed on the three upper floors. It has a low stepped parapet and molded belt courses. Exterior walls are stucco over concrete. Roof is composition. Sanborn maps describe it as fireproof construction.

The building is joined almost into one with its five-story neighbor, 201 4th Street (Safeway Stores Corporate Headquarters) by molded belt courses above the first and fourth stories. When the building was converted to live-work lofts in the early 1990s, the ground floor was altered to replace ground floor loading docks bays with store windows in horizontal sash. A trellis-like awning was added over the center entry.

The building was built in 1926 as a warehouse for Joseph T. Young for his Carr and Preston Company which soon after became Western States Grocery Company of California, and eventually became Safeway Stores' wholesale grocery subsidiary. According to the April 26, 1926 issue of Oakland Chamber of Commerce *Nuts and Bolts*, Carr and Preston was an Oregon corporation and a large shipper of canned goods in the northwest, attracted to the area "by the phenomenal growth of Oakland."

247 4th Street was occupied by Safeway Stores executives while Safeway Stores built its adjacent 1929 office and warehouse at 201 4th Street. Couchot Rosenwald and Roeth were the architects and engineers of both buildings. The Safeway Building and the Western Streets building form an imposing, block-long streetwall at the east end of the District and represent the high point of the District's grocery warehouse function. In the 1950s, Montgomery Ward occupied the building. In the 1980s, the building housed Sierra Designs' camping equipment factory. In the 1990s, it was adapted for reuse as 37 live-work and three commercial condominium loft units.

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10. **255 4th Street/SW corner of Alice Street** **CONTRIBUTING BUILDING**
C.L. Greeno Co. Pacific Coast **APN 001-0153-015**
Headquarters (h)/C. L. Greeno building (c)
Early 20th century commercial building with
Beaux Arts derivative and Arts and Crafts
elements
1923 (permit 76700)
architect: W.K. Owen builder: W.K. Owen

255 4th Street is an early 20th century Beaux Arts-influenced derivative warehouse on an eighth-block corner lot. It is three-story, brick masonry and partial steel-frame loft building with first floor mezzanine and flat roof. The 4th Street elevation is approximately symmetrical, six bays wide dark red pressed brick surfaces and light gray stucco or cast stone trim.

Bays contain paired twelve, sixteen, and twenty light industrial sash each with four-light pivoted centers. The bays are separated by narrow slightly projecting pier buttresses that extend just above the top floor windows where they terminate with sloped stucco caps. The end buttresses have tall vertical panels in the brickwork with simple geometric embellishment at the tops. A stucco coping extends along the top of the parapet. Over each end bay is a peaked and stepped parapet with a red and white brick medallion. The monumental main entry is located in the right center bay below a cast stone segmentally arched pediment on ornate consoles with "The C.L. Greeno Co." in the frieze. The original entry infill has been replaced with a glazed aluminum door, sidelight, and signs. A vehicle entry with roll-up corrugated metal door is in the far right bay. Some of the first floor and mezzanine level brick has been sandblasted.

The six-bay Alice Street (east) side is similar to the 4th Street side, including the pier buttresses, except that it is stuccoed. The rear (south) elevation is surfaced in common brick, but maintains the skeletal articulation and end bay parapets of the other two elevations.

Architecturally, the building's ornamental pressed brick surfaces and architectural embellishments make it one of Oakland's more elaborate 20th century warehouses. The raised end parapets are a common elaboration of the basic utilitarian type, probably derived from the Arts and Crafts or Mission Revival styles. The monumental entry hood reflects the early 20th century's "City Beautiful" trend to embellish utilitarian buildings with historicist architectural treatments.

Building permit 76700, issued February 27, 1923 for this structure, described the building as "brick and concrete lofts" and identified the owner as the C. L. Greeno Co., the "designer" and builder as W. K. Owen, and the cost as \$40,000. The permit is stamped "inspected November 7, 1923" indicating the date of completion. Mr. Owen was an Oakland contractor and self-taught "designer" with other decorative brick industrial and commercial buildings to his credit in Oakland and Berkeley. He had an imaginative inclination that is reflected in the striking entry of the Greeno building.

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11. **267 4th Street** **CONTRIBUTING BUILDING**
Oakland Wholesale Grocery Co. Inc. East **APN 001-0153-014**
Annex No. 2 (h)/
Steve Christian Building (c)
1920s decorative brick commercial
- 1920 (permit 54590)
architect: A.W. Smith builder: Day & Gimbal

267 4th Street is a one-story and mezzanine, yellow pressed brick truss-roofed warehouse on an interior lot. The original framing of paneled brick frieze and pilasters remains (except for one pilaster), but bay infill has been altered in the process of converting the building into two floors of offices.

On both floors there are new plate glass windows with dark brown stucco bases in the five right bays; the two left bays have been combined into an inset atrium with brown stucco inset canopy. At one time this building shared an iron sidewalk canopy with its neighbor to the west.

Permit #54590 shows that this \$11,500 warehouse was built in early 1920 for Day & Gimbal and designed by Oakland architect A. W. Smith. The plans specified salesroom, fileroom, offices, and a pit for scales. A. F. Gimbal was with the Pacific Woodenware and Paper Company; Sanborn maps do not specify the use of this building until 1927 when it was "heavy hardware and auto supplies." Later occupants included wholesale liquors in the 1930's, United Grocers and Oakland Wholesale Grocery (who occupied all three buildings from here to Harrison Street, and joined them all with a sidewalk canopy), and an acoustic material and insulation warehouse. Though more seriously altered than A. W. Smith's other buildings in the district at 401 Alice Street (22) and 300 Webster Street (31), it retains enough of its original scale and materials to contribute as one of several early 1920s small brick storefront-style warehouses in the district.

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12. **270 4th Street** **CONTRIBUTING BUILDING**
Nelson Lee Paper Co. (h)/Food Cash & Carry APN 001-0153-008
Annex (c)
Early 20th century commercial (permit 83089)
1923 builder: F.A. Muller
Architect: Unknown

270 4th Street is a small one story and mezzanine brick warehouse, rectangular in plan, three bays wide, on an interior lot. Four plain brick pilasters support a simply paneled brick frieze; the base is brick and there is a minimal step (two bricks high) at each end of the parapet. There are industrial sash clerestories in the outer bays, with modern slat awnings. The center bay has been altered, with a tall garage door, awning and new smaller clerestory. Original storefront windows have been covered.

Building permit 83089 identifies the owner of this one-story brick store as Nelson Lee Paper Co., the builder as F. A. Muller, and the cost as \$18,000. Sanborn maps show it as a paper warehouse until at least 1934, and a wholesale grocer from at least 1947. The present occupants, Food Cash & Carry, continue this historic use within the District, and the building contributes visually as a moderately altered representative of the early 1920s brick storefront style, and a part of the one and two-story brick streetscape along the north side of 4th Street near the Posey Tube.

13. **278 4th Street** **CONTRIBUTING BUILDING**
Makins Produce Co. Warehouse (h)/French APN 001-0153-009
Fries (c)
Early 20th century utilitarian warehouse (permit A32002)
1928 builder: Austin Co. of California
builder: Austin Co. of California

278 4th Street is a two-story dark red brick warehouse, 20 feet tall, on an interior lot, in apparently original condition. There is extensive ornamental brickwork: corbeled cornice, band of vertical bricks over the upstairs windows, and framing around the central ground floor loading door and side pairs of windows. Wood-sash windows (all but two) are tall two over two with the upper section smaller like a transom. Ground floor windows, including the glass in the central double door and left-hand paneled office door, are protected by heavy wire screening. A signboard for "French Fries, Inc." hangs on the wall above the center door.

Building permit #A32002, 1928, states that this \$11,500 warehouse was owned, designed, and built by the Austin Company of California, engineers and builders, San Francisco, for the Makins or Matkins Produce Company, produce commission merchants. A special feature was a two-story space for an icebox in the center of the building. By 1934 Sanborn maps show the use as a machine shop, in 1947 an unspecified wholesale store; today's occupants manufacture

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french fries. In addition to its compatible District uses, 278 4th Street is an exceptionally fine and intact 1920s brick utilitarian building, and as such contributes both to the District as a whole and to the small-scale brick streetscape on 4th Street surrounding the Posey Tube Oakland Portal.

14. **283 4th Street** **CONTRIBUTING BUILDING**
Oakland Wholesale Grocery Co. Inc. East APN 001-0153-013
Annex No. 2 (h)/Allied Paper Company (c)
Early 20th century utilitarian warehouse
1928 (permit A33645)
architect: N.B. Green builder: F.R. Siegrist

283 4th Street is a 44-foot tall, three-story reinforced concrete warehouse on an interior lot. Facade is four bays wide, upper stories filled almost floor to ceiling and pilaster to pilaster with small-paned industrial windows. There are blue square and diamond shaped tiles on the narrow spandrels, an "Allied Paper" sign painted across the frieze, and low triangular parapets atop the end bays. The ground floor has a suspended metal canopy, freight doors in the two right-hand bays, a store entrance (with new paneling), and an office window on the left. Side walls are blank; the rear of the building faces the Western Pacific tracks (formerly freight depot) and has a plain parapet, painted sign, industrial windows, and four loading doors with high, small-paned transoms.

Building permit A33645 was issued May 19, 1928 for this three-story \$48,000 concrete warehouse. The permit identifies the architect as N. B. Green, the builder as F. R. Siegrist, and the owner as Oakland Wholesale Grocery Co. Oakland Wholesale Grocery Co. previously shared the building to the west (291-5 4th Street) and over the years also expanded east into 261 4th Street (Sanborn maps). Along with the Safeway Stores Corporate Headquarters-Western States Grocery complex and United Grocers on either side of 4th Street between Jackson and Alice, this at its height was one of the major grocery wholesale operations that dominated the District in the 1930s and 40s. The present Allied Paper building is visually important in the district for its striking expanse of windows, its sidewalk canopy, and its triangular parapets which echo those on other multi-story warehouses at 255 4th Street and 255 3rd Street.

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15. **292 4th Street/NE corner of Harrison Street** **CONTRIBUTING BUILDING**
Wright's West Warehouse (h)/Paper Works APN 001-0153-010
International Inc. (c)
Moderne warehouse (permit B6876)
1945 builder: California
architect: Ralph E. Wastell Builders Inc.

292 4th Street is a Moderne warehouse. It is high one story and mezzanine, rectangular plan, on a corner lot. It has a straight parapet and walls of red common brick in common bond. Smooth, sharply rectangular wall surfaces have minimal brick ornamentation: slightly projecting window sills and parapet band (302 4th Street is the same). Windows are industrial sash, in a single band across the mezzanine story on 4th Street, and placed high on either side of the ground-floor doors on both frontages. The building is in excellent condition; its integrity is excellent.

According to permit #B6876, this \$14,000 warehouse/office for Herman Fiene was built between July 1945 and May 1946, early in the postwar commercial infill of the area around the Posey Tube Oakland Portal. The first use recorded for this building (Sanborn map) is wholesale drugs and the 1952 bird's eye map shows G & R Drug Co. This building is an unassuming example of a Moderne warehouse; like the other postwar buildings in the Posey Tube group, it continues the visual pattern of the earlier one and two-story brick buildings in the immediate area, and the pattern of industrial and warehousing uses in the District

16. **302 4th Street/NW corner Harrison Street** **CONTRIBUTING BUILDING**
Impurgia Warehouse (h)/Hirsch Wright & APN 001-0147-006
Associates (c)
Mid 20th century utilitarian warehouse (permit B4384)
1944-45, rem c. 1980 builder: A.S. Holmes &
architect: R.A. Hutchison E.B. Stark

302 4th Street is a small mid-20th century utilitarian red brick warehouse remodeled into offices, on a corner lot. Exterior walls are common brick in American common bond, with a narrow parapet band and soldier courses over the door and window openings. The 4th Street facade originally had four bays, with freight doors in the outer two, window and office door in the others. This was altered for offices around 1980 when openings were rearranged and filled with dark plate glass.

Originally designed near the end of World War II by R.A. Hutchison for C.C. Impurgia, the building's initial tenant is unknown. The first identified owner and commercial occupant, about 1952-67, was Ricker Machinery Co., a use typical of the postwar light industrial activity at this end of the District. Its brick surface seems to have served a year later as the model for 292 4th

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Street across Harrison Street. Though remodeled circa 1980 the building preserves the form and surface that define the brick infill group around the Posey Tube Oakland Portal and contributes to the continuity of the District.

17. **308 4th Street** **CONTRIBUTING BUILDING**
Oakland Poultry Co. (h) / **APN 001-0147-007**
Oakland Fish, Inc. (c)
Mid 20th Century Utilitarian warehouse
1940 (permit A84891)
architect: Francis Plant builder: Edward Sommarstrom

308 4th St. is a mid-20th century utilitarian brick warehouse, 18 feet high with a truss roof, on an interior lot. Its facade is two stories; side parapets step down slightly to a rear one-story section. Exterior walls are constructed with large red bricks, with parapet and window tops edged in yellow brick. The three upstairs windows are small-paned industrial sash; loading doors are at either end of the ground floor with office door and window between. A black and white freehand "Oakland Fish Inc." sign is painted on the upper wall. The building appears unaltered.

308 4th Street was originally built as a warehouse for Oakland Poultry Co.; 1940s Sanborn maps and 1953 bird's eye map show Oakland Fisheries here. The earliest of the 1940's one- and two-story brick infill group around the Posey Tube Oakland Portal, this building continued and still continues the historical wholesale food uses in the District. Visually, the infill group is compatible with the early 20th century industrial character of the rest of the district, and forms a distinctive postwar streetscape of its own around the Posey Tube.

18. **309 4th Street/Harrison Street/3rd Street** **CONTRIBUTING BUILDING**
Oakland Plumbing Supply/P.E. O'Hair **APN 001-0147-022 thru 046**
Co. (h)/Portico Lofts (c)
Early 20th century utilitarian warehouse
with Beaux Arts elements
1929 rem 1998 (Permit A38775)
architect: Edward A. Eames builder: Barrett & Hilp

309 4th St. is a high one-story concrete warehouse that occupies approximately half a city block. Architectural detailing is confined to the office wing facing 4th Street; other frontages have a series of large, plain, multi-paned industrial sash windows set in reinforced concrete exterior walls.

The 4th Street facade has stucco imitation stonework on the pilasters, frieze edging, and center portico with molded pediment. Windows are plate glass, with a band of small panes at transom level. The former office interior is to the right of the center entry, and the former showroom up four steps to the left. An open gable beamed ceiling over both spaces is an especially notable

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feature. The Mediterranean style former showroom has a dark red herringbone tile floor and is approached by a tile stairway, with glazed polychrome risers. The office-showroom wing has been vacant since 1997 when the property was sold. The former warehouse areas facing Harrison Street and 4th Street have been converted into 20 residential lofts, each with a mezzanine level. Exterior changes have been minor, infilling three vehicle doors with concrete and industrial sash windows, and adding an exit doorway on 3rd Street.

Designed and built in 1929 by and for Edward A. Eames, owner of Oakland Plumbing Supply Co. and P.E. O'Hair Co. in San Francisco, the building was used continuously until 1997 as a wholesale plumbing supply warehouse: Oakland Plumbing Supply Co. until the 1970's and then P.E. O'Hair Co. According to a history in the June 1936 *Port of Oakland Compass*, the company was founded in 1909 in "a little store at 512 Broadway, and by 1929 required this new 30,000 square foot building. The Oakland Plumbing Supply Company occupies the position of being one of the largest distributors of plumbing, heating and engineering supplies on the Pacific Coast and in the course of each year accounts for a goodly share of the total tonnage handled through the terminals of the Port of Oakland." Although an exception to the prevailing 1920s grocery uses in the District, this building is a fine example of warehouse construction, and despite its conversion to live-work lofts in 1998, remains a strong contributor to the district.

19. **311 4th Street**
Portico Lofts (h)/same (c)
Contemporary faux-industrial
1998
architect: NPH Architects

NON-CONTRIBUTING BUILDING
APN 001-0147-014 thru 021

builder: unknown

311 4th St. is a high one-story and mezzanine building constructed mid-block on what, until 1997, was the storage yard for the adjacent Oakland Plumbing Supply/P.E. O'Hair Co. (see 309 4th St.) A double-loaded corridor parallel to the sidewalk has four residential condominium lofts on each side: four live-work lofts facing onto the sidewalk and four onto the parking lot.

The front elevation is divided into four major parts by progressive 15 foot step-backs at each loft, and a fifth 15 foot step-back near the entrance gate for the entire Portico Lofts complex. The vertical line of each step-back is emphasized by a whimsical four foot round metal downspout that runs from a metal scupper mounted on the surface of the parapet to a drainpipe beneath the sidewalk. The façade of each of the four live-work lofts is similar, with a wide band of stucco above aluminum-framed windows and vertically mounted corrugated metal. Each loft has a double door street entrance of wood with a single light in each leaf.

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Due to its very recent construction date, the building does not contribute to the significance of the historic district, although it is compatible in scale and its modern design respects the industrial character of the district.

- | | |
|--|---|
| <p>20. 287 5th Street/444 Harrison Street
Unknown (h)/Stephanos Building (c)
Mid 20th century utilitarian warehouse
1950-51
architect: J. Y. Long (engineer)</p> | <p>CONTRIBUTING BUILDING
APN 001-0153-001

(permit B34109)
builder: F.H. White</p> |
|--|---|

287 5th Street is an 18-foot high, one-story warehouse on a corner lot. The Harrison Street frontage has a concrete base, an unusually tall rolling freight door, two small, high industrial sash windows, and a windowless office door with the adjacent window blocked out; the 5th Street side is similar. Shape is sharply rectangular; brickwork is identical to the other five buildings on this block of Harrison Street, with narrow windowsills and parapet band, and common bond with a row of headers every six courses.

Building Permit #B34109, issued October 13, 1950, identifies the owner of this one story masonry warehouse as George Block, the builder as F.H. White, and the engineer/designer as J.Y. Long. The 1953 bird's eye map shows the occupant as Western Tool and Supply Co. and later Sanborn maps show photo equipment repair and electronics specialty. This is the last one of a 1945-50 light industrial infill group on Harrison around the Posey Tube Oakland Portal. Though it shares the American common bond brickwork and industrial sash of the other five buildings in the group, the articulation of this later building seems to approach the later 20th century warehouse style of blank walls and randomly placed openings. In size, materials, and use, this building is part of a coherent subgroup extending the patterns of the main warehouse district into the 1940s and into a previously undeveloped block around the Posey Tube Oakland Portal.

- | | |
|--|---|
| <p>21. 220 Alice Street/SE corner of 3rd Street
Prime Smoked Meats, Inc. Processing
Plant(h)/Prime Smoked Meats (c)
Mid 20th century utilitarian warehouse
1953; addition 1967
Architect: K. Olsen</p> | <p>NON-CONTRIBUTING BUILDING
APN 001-0157-001 and APN
001-0157-005

(permits B48347, C38842)
builder: Edward Smith</p> |
|--|---|

220 Alice Street is a one story concrete and concrete-block warehouse with flat roof, irregularly distributed (and redistributed) doors and windows, and "Prime Smoked Meats" pig logo several places on the beige-painted walls. There are vestiges of 1950's styling - a corner porch with pipe columns, and a cantilevered canopy over the loading door on 3rd Street. Large windows on both frontages have been filled in.

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Permit B48347, 1953, and Sanborn maps show that the original section of this property was built for \$46,500 as a warehouse and restaurant for Davidson Pork Products, replacing a two-story Victorian house. The closed-off windows and corner porch are apparently traces of the original restaurant design. The 1967 addition (permit C38842) was for Prime Smoked Meats, the present occupant.

Though compatible with the district in scale and use, this building's recent date and dissimilar appearance render it a non-contributing District building.

22. **401 Alice Street/NW corner of 4th Street** **CONTRIBUTING BUILDING**
Autocar Sales and Service Co. (h)/Food Cash APN 001-0153-007
& Carry Trading Co. Inc. (c)
Early 20th century commercial building (permit 54970)
1920 builder: Autocar Sales and
architect: A.W. Smith Service

401 Alice Street is a one-story truss-roofed yellow pressed brick warehouse (originally a garage), 18 feet tall, on a corner lot. Brick pilasters between bays rest on a concrete base and are topped by a narrow brick frieze/parapet. Ornamentation consists of slightly raised bands outlining panels on the frieze and pilasters. The four bays along 4th Street (the original garage section) have freight doors; bays toward and on Alice (showroom and stock room) have large-paned steel-frame windows. On all bays, transoms have been filled in, and some windows and entrances are altered. Most of the brick has been painted.

The brick garage, originally valued at \$23,000, was built for Autocar Sales and Service Co. and designed by noted Oakland architect A. W. Smith. Like Smith's other buildings in the District--the 1923 Tyre Bros. building at 300 Webster and the 1920 Day and Gimbal building at 267 4th Street--this building is an adaptation to warehouse use of a typical 1920s storefront with decorative pressed brick frame and transoms. 401 Alice Street is significant as an early automotive use in the district. Subsequent occupants have included a produce warehouse in the late 1930s, wholesale liquors in the 1950s, and a wholesale food distribution business today.

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23. **426 Alice Street/4th Street/5th Street** **CONTRIBUTING BUILDING**
United Grocers Company Warehouse (h)/ APN 001-0155-001
Wheelink (c)
Early 20th century utilitarian warehouse (permits A47956 and A48032)
1931-32 architect: unknown builder: Nick Wierh

426 Alice Street is a one-story reinforced concrete warehouse, 14 feet tall, filling the west half of a city block, apparently built in two sections. The north half has a truss roof, and simple concrete pilaster and parapet detailing on the 5th Street side; the south half has rolling freight doors and small metal sash windows along 4th Street.

The main Alice Street facade has both pedestrian and freight doors, and a metal canopy along most of its length (added or extended in 1955 according to building permits). Over the main office door (408 Alice) is a triangular parapet and group of three clerestory windows that have been filled in. The building is now painted peach. Some doors and windows along Alice and 5th Streets have been filled in. A 1953 bird's eye drawing appears to show mission tile on the Alice Street parapet. If so, it has been removed.

Building permits A47956 (NE corner 5th [sic] and Alice) and A48032 (SE corner 5th and Alice), were issued in September 1931 to Pacific Freight Lines and builder Nick Wierh for this warehouse. In 1933 it was occupied by United Grocers Ltd. (city directories), and by 1947 (Sanborn map) by Wellman Peck & Co., wholesale grocers. The columned sidewalk canopy and the triangular pediments are recurring features in the District.

24. **229 Harrison Street/307 3rd Street** **CONTRIBUTING BUILDING**
Poultry Producers of Central California APN 001-0149-006
Distribution Center (h)/The Egghouse (c)
Early 20th Century Utilitarian with Art
Deco Elements (permit A40411)
1929 architect: H.C. Baumann builder: John Diestel

229 Harrison is a two-story flat-roofed concrete and stucco warehouse on a corner lot, with pilaster-and-bay warehouse construction, six bays on each side. End bays are articulated by art deco detailing of stepped parapets and triangular vertical ridging; there are also small vertical fins at the tops of the inner pilasters. Windows are multi-paned industrial sash. Four ground floor bays on Harrison Street and two on 3rd Street are occupied by metal freight doors (originally wood) and loading docks. There is a suspended metal canopy all along the Harrison Street frontage.

Designed by the prolific San Francisco architect H. C. Baumann, the warehouse was occupied from 1929 to 1950 by Poultry Producers of Central California, branch manager L. A. Stern, "a founder of the Nulaid Egg industry" (Alameda

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Times-Star, Oct. 23, 1970). This company moved a few blocks west in 1950. Subsequent occupants included Carlson's Bakers' and Confectioners' Supply (1953 bird's eye map), a ceramic tile warehouse (Sanborn map), and miscellaneous wholesale and warehousing businesses. Current occupants include two warehouse spaces and six artist studios, two with living quarters attached. The building contributes to the District by association with a major wholesale food business; as a typical warehouse with bay construction, metal sash, and sidewalk canopy; and because its style strongly communicates the mid-point in the District's period of significance.

- 25. **318 Harrison Street/SE corner 4th Street** **NON-CONTRIBUTING BUILDING**
Saroni Wholesale Sugar and Rice Warehouse APN 001-0153-012-01
(h)/318 Harrison (c)
 Early 20th century utilitarian
 1922 (permit 69130)
 architect: R. Vane Woods (engineer) builder: Henry J. Christensen

318 Harrison Street is a low three-story brick building on a corner lot. The building was built in two sections which until recently were owned separately and maintained separate entrances. Each half of the facade has a checkerboard frieze of light colored brick, and an unusual arrangement of three unequal bays, the center one wider than the outer ones.

A 1980s remodel has significantly altered the historic appearance of the building. During this remodel, the two warehouses were internally joined to become one office building with a common entrance on the center of the Harrison Street facade. This Harrison Street entrance was given a postmodern exterior treatment consisting of a thinly applied stucco tower which extends one story above the existing building. The tower is capped off with a pyramidal green metal roof. Additional bands of stucco wrap the street sides of the building at the base and first floors. During this remodel, the historic metal canopy at the sidewalk, and all loading doors onto Harrison Street were removed. A loading dock was in-filled with brick on the side of the building facing the railway spur.

Building permit #69130 issued May 13, 1922 and original plans indicate that this double warehouse was designed by engineer R. Vane Woods, built at a cost of \$30,000 by Henry J. Christensen for sugar wholesaler A.B. Saroni and the Oakland Grocers' Investment Co., who separately owned the west and east halves respectively. This was the first warehouse in the district built for wholesale grocery businesses: six others followed it in the 1920's. The Saroni family were San Francisco sugar wholesalers who established Oakland offices after the 1906 earthquake. Alfred B. Saroni expanded the Oakland branch into the rice business, and after World War I, it lost no time in "building a three-story warehouse at 4th and Harrison, together with spur track" and access to the waterfront; in 1930 a powered sugar mill was added (*Port of Oakland Compass* April 1936). The Saroni Company was on these premises until at least 1953 (bird's eye map) Oakland Grocers' Investment Co.

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seems also to have been known as Oakland Grocery Association, and also in some way overlapped with Oakland Wholesale Grocery at 283-7 4th.

The building's massing, brickwork and windows remain intact. With the removal of the stucco bands and tower element, the building could again be a contributor.

26. **415 Harrison Street at North R/W line of 4th Street** **CONTRIBUTING STRUCTURE**
George A. Posey Tube Oakland Portal APN Caltrans Route 260 post
(h)/Posey Tube Oakland Portal (c) mile R1.20
Beaux Arts derivative/Art Deco
1925-28
architect: Henry H. Meyers builder: Crocker Company
engineer: Austin W. Earl

The George A. Posey Tube Oakland Portal houses the ventilation system for the an underwater tunnel beneath the Oakland-Alameda Estuary that connects the cities of Oakland and Alameda, California, and two portal buildings at each end of the subsurface road section.

The Oakland portal building is generally rectangular in plan and of fireproof reinforced concrete construction combining Beaux Arts symmetry with Art Deco massing and detailing. It consists of a three-story central mass flanked by two story side wings, with a one-story wing projecting from the front. The high central portion of the structure consists of two parallel rectangular three story tower sections with pyramid roofs flanking gigantic arched windows at the second and third story levels. Large interior exhaust chambers open to the sky. The wings contain large fans that draw "vitiated" air from ducts above the tunnel's roadway through vents to the exhaust chambers.

A one-story flat-roofed wing, as wide as the high central portion, projects forward at the front of the building. A short flight of stairs leads to entries on each end wall with riveted metal doors and ornamental iron sconces. This front wing houses the control rooms and offices.

The building is ornamented by vertical piers and diamond-patterned screens. The recessed piers are rendered in bas-relief concrete. These surmount a narrow band a vertical pleated pattern. This band continues across the top central concrete arch flanking metal letters forming the words "OAKLAND PORTAL."

An inclined roadway 400 feet in length leads from beneath the Oakland Portal building to the surface street system. Retaining walls extend upward to approximately six feet above ground level where the walls are punctuated by vertical openings and projecting pedestals that served as electrolier bases. The original ornamental iron electroliers have been replaced with modern fluorescent lights with poles curving over the roadway. Ornate 25-foot pylons at the ends of the retaining walls have been sheared to about one-half their

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height and the balustrades along the street approach are truncated to accommodate the adjacent elevated Interstate 880 Nimitz Freeway.

The Oakland Portal building was also painted pale orange and cream in the mid-1980s. The glass curtain walls were also painted over at this time.

Despite the aforementioned modifications, the Oakland Portal maintains its historic integrity. It is a familiar landmark with a powerful architectural presence and a prime contributor to the District.

27. 417 Harrison Street	CONTRIBUTING BUILDING
Industrial Bearing Co. Building (h)/	APN 001-0147-005
Metropolitan Press (c)	
Moderne industrial building	
1946	(permit B11119)
architect: Francis Harvey Slocombe	builder: Shale Ortzow

417 Harrison Street is a small one-story red brick industrial building on an interior lot. It has a tall, plain brick parapet that occupies almost half of the building's 18-foot height; a narrow streamlined metal hood immediately above the door and window openings; red glazed tile baseboard; conical bulkheads at the freight door; and brickwork in common bond with a row of headers every six courses. The building is rectangular on a lot with angled front, so that its north end is set back about four feet from the sidewalk and from the front of its rather similar neighbor 425 Harrison Street. Later modifications include replacement of warehouse windows with full tinted windows and the placement of security grates on windows and door.

Building permit #B11119 identifies this structure as a \$15,000, two-room machine shop for Industrial Bearing Co. of Oakland and San Francisco. The architect was Francis Harvey Slocombe of Oakland, who was known for period revival houses and commercial buildings in Oakland and Berkeley.

This is one of a group of seven small brick commercial and industrial buildings on the truncated lots surrounding the Posey Tube Oakland Portal which were constructed between 1945 and 1954. They share common materials and uses with their earlier neighbors and several, including this one, have some stylistic interest, and are good representatives of their period. All are in good condition with integrity intact. This is one in a group of post-World War II warehouses that are significant in their reflection of the District's second building boom.

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28. **425 Harrison Street** **CONTRIBUTING BUILDING**
Western California Fish Co. (h)/Roger's APN 001-0147-004
Automotive (c)
Moderne industrial building (permit B15647)
1947 builder: George J. Mauer
architect: John B. Anthony

425 Harrison is a one-story, 18-foot high, red common brick industrial building on an irregularly shaped corner lot adjacent to the entrance to the Posey Tube Oakland Portal. The facade curves along the front of the lot; vertical bricks rim the top, and common bond walls have a header course every sixth course. A narrow metal streamlined hood runs across the tops of three tall industrial sash windows and a (1953) rolling freight door on the left two-thirds of the facade. On the right are a lower metal-sash window and a small, brick-screened opening. Both the height and hood tie this building very closely architecturally to its neighbor, 417 Harrison Street. Spanning the upper brick face, the original "California Fish Co." sign is faintly visible.

Building permit B15647, issued April 28, 1947, indicates that this building cost the Western California Fish Co. \$20,000. It was designed by John B. Anthony, Oakland architect of a number of distinguished Streamlined Moderne houses and store buildings throughout the East Bay. 425 Harrison is a contributor to the District as a representative example of the Moderne industrial building type constructed in the immediate post-World War II years. In its original use by California Fish, it carried on the original District industries of food handling and storage.

29. **432-38 Harrison Street** **CONTRIBUTING BUILDING**
Quong Tai Shrimp Company (h)/Old World APN 001-0153-002
Building (c)
Mid 20th century utilitarian commercial (permit B9999)
building builder: Shale Ortow
1946-47
architect: F.H. Slocombe

438 Harrison Street is a mid-block, two story, zero lot line, masonry building. The front property line and facade are skewed reflecting the street shape created by the Posey Tube rising through the center of Harrison Street at this block. The ground floor consists of three bays framed by narrow columns of brick; windows in the outer two bays were replaced with concrete block, small doors and tiny high windows in 1976. The second floor has five industrial sash windows evenly spaced. Brickwork, identical to the other five buildings in this group on Harrison, features narrow projecting window sills, a narrow parapet band, and a common American bond pattern.

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According to building permit #B9999, 432 Harrison Street was built as a store and offices for Garr Lee in 1946, at a cost of \$14,000. The building is in excellent condition, and could be restored to its original appearance with the removal of the lower bays infill.

Plans indicate that the proposed ground floor was to be used as offices and that a partial second floor was to be left unfinished for future office use. Oral history indicates that the building was owned by Garr Lee, owner of the Quong Tai Shrimp Company which was expanding food processing operations from an existing retail fish store at 2118 12th Avenue. A portion of the ground floor was used as a Chinese restaurant. The remaining two-thirds of the ground floor was used as a shrimp drying and soy sauce manufacturing plant. After Mr. Lee's death in the late 1970s, redwood fermentation vats were removed from the rooftop. The unfinished upstairs office space was converted into an apartment where members of the Lee family lived until the early 1960s. The building remained abandoned until its purchase by Bill Davis in 1978. Since then it has been occupied as ground floor commercial with residential above.

The year after building 432 Harrison Street, the architect, Francis Harvey Slocombe, and the builder, Shale Ortzow, built the machine shop across the street at 417 Harrison. Both are part of a group of small brick 1940s commercial and industrial buildings around the Posey Tube Oakland Portal that form a coherent streetscape of their own as well as carry on the historical and visual themes of the District.

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| 30. | 401 Jackson/NW corner of 4 th Street
Unknown (h)/Del Monte Meats (c)
Mid 20 th century utilitarian warehouse
1946
architect: Stolte Inc. | CONTRIBUTING BUILDING
APN 001-0155-005

(permit B9912)
builder: Stolte Inc. |
|-----|--|---|

401 Jackson Street is a one-story reinforced concrete flat-roofed warehouse building, 18 feet tall, on a corner lot. Small and large industrial sash windows and pedestrian and freight doors penetrate concrete walls in a utilitarian arrangement without any visual pattern. Surfaces are thinly stuccoed concrete, showing the imprints of the wooden forms.

Building Permit #B9912 was issued May 25, 1946 to Edward Amaro (current owner) for a \$30,000 concrete poultry market, designed and built by Stolte Inc. Its concrete surfaces are compatible to the Safeway building across the street. Like the group of brick buildings at the Posey Tube Oakland Portal, and the American Bag Co. additions, this is part of a postwar infill building boom in the District, compatible with the older buildings in scale, use, and materials.

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| 31. | 300-10 Webster Street/NE corner of 3 rd Street | CONTRIBUTING BUILDING |
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**Tyre Bros. Glass Co. (h) /Bay Cities
Produce (c)**
Early 20th century commercial warehouse
1923
architect: A.W. Smith

APN 001-0147-012

(permit 76400)
builder: A.W. Smith

300-310 Webster St. is a high one-story and mezzanine 1920s decorative brick warehouse on a corner lot. It is rectangular in plan and has a straight parapet, a sky lit truss roof, and pilaster and bay composition. Exterior walls are tan pressed brick above a 30-foot high base of dark red common brick. The building has a prominent corbelled brick cornice and basketweave brickwork in the frieze on both street frontages. The Webster Street facade has paneled freight doors in the four central bays, small-paned transoms in the upper parts of all six bays, and a suspended wooden canopy which is a 1955 replacement similar to the original. Openings on the 3rd Street side have been mostly covered up with vertical-grooved plywood.

300-10 Webster Street was designed in 1923 by Oakland architect A.W. Smith (1864-1933) whose numerous commercial and residential works in Oakland and Berkeley span a forty year career. The first occupant (city directory, 1926) seems to have been Tyre Bros. Glass Co., of San Francisco, Los Angeles and Fresno; it had planned to build at 7th and Cypress Streets but apparently settled here since this site had the railroad spur it needed. According to the March 17, 1924 Chamber of Commerce manufacturers' newsletter *Bolts and Nuts*, the amount of building going on in Oakland "made it imperative for the firm to enter this field with headquarters here." By 1934 (Sanborn maps) the building was occupied by a wholesale grocery, a use perpetuated today by the building's current occupant, Bay Cities Produce Co. This is a very good example of a 1920's storefront, with brick frieze and transom, adapted to warehouse design. The canopy and bays are recurring themes in the district.

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7. Description

Materials (continued)

other Ceramic Tile
other Glass
other Corrugated galvanized metal
other Steel
other Wood

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8. Statement of Significance

Architect/Builder (continued)

Reed, Walter D.
Woods, R. Vane
White, H. C.
Austin Co. Of California
Green, N. B.
Eames, Edward A.
Baumann, H. C.
Replogle, C. S.
Rosenwald, Jesse
Plant, Francis
Hutchison, R. A.
Wastell, Ralph E.
Slocombe, Francis H.
Stolte Inc.
Anthony, John B.
Helner, W. C.
Long, J. Y.
Olsen, K.
Flynn, Teri
NPH Architects

Summary Paragraph

The Oakland Waterfront Warehouse District is significant at the local level under Criterion A in the areas of industry and commerce for its association with Oakland's industrial development from World War I to shortly after World War II. Before World War I, Oakland's industrial economy was considered tied largely to other East Bay cities. During and after World War I, Oakland industry expanded astronomically due largely to the growth of industries supporting its port and infrastructure development. From World War I through a few years after World War II, Oakland's industrial economy stood on its own and earned the city the nickname "Industrial Capital of the West." Through the tonnage they shipped by rail, water, and land, the businesses that made up the area known today as the Oakland Waterfront Warehouse District contributed to Oakland's industrial development. The property is also significant at the local level under Criterion C in the area of architecture. The District is Oakland's only intact concentration of buildings that convey through its physical features the City's industrial past.

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PERIOD OF SIGNIFICANCE

The District's period of significance is 1914 to 1954. Exceptional significance is not, however, claimed because the majority of the contributing buildings are more than fifty years old. The one building less than fifty years old claimed as a contributor is an integral part of the District.

STATEMENT OF SIGNIFICANCE

Criterion A: Pattern of Events Significant in Oakland's Development

Before the District's development, in an area west of the District, a Produce Exchange and a number of wholesalers and jobbers set up shop in a neighborhood known at the time as the "wholesale district." Most occupants of this early "wholesale district" were branches of San Francisco enterprises. According to an *Oakland Tribune* report at the time, these concerns primarily supplied the local retail market.

The expansion of these "wholesale district" businesses had been limited for 40 years by Southern Pacific's waterfront monopoly. This monopoly ended in 1909 when Western Pacific Railroad Company won a court battle affirming the City of Oakland's right to grant Western Pacific a "wharfing out" franchise and to control docks and other tidelands improvements. In 1909, Western Pacific completed its track and built a freight depot in the heart of the area known today as the Oakland Waterfront Warehouse District. Western Pacific's Oakland arrival was a major milestone in Oakland's development because the railroad made it possible for Oakland to recover control of and reap the benefits of its waterfront.

In 1914, one "wholesale district" occupant struck out to expand its market. W. P. Fuller Paint Co., at the time the largest and oldest paint company on the Pacific Coast, constructed the District's first warehouse at 201 3rd Street (1). From this location, W. P. Fuller began to distribute paint and painting supplies throughout the western United States via the Western Pacific railroad.

The Oakland Waterfront Warehouse District's period of significance begins in 1914 with the construction of the W. P. Fuller Paint Co. warehouse.

Three years later, in 1917, The American Bag & Union Hide Co. re-located from the "wholesale district" to 299 Third Street (5), across the street from the Western Pacific freight depot. At its inception, The American Bag & Union Hide Co. dealt in hides and wool and processed used bags for resale to local feed mills and farmers in nearby communities. After moving into the District, the company developed an innovative process for vacuum cleaning and mending used burlap and cotton bags. The American Bag & Union Hide Co. eventually came to offer a complete line of new and used textile bags to, among others, rail and water shippers.

Between 1920 and 1923, six firms erected warehouses in the District. They included Autocar Sales and Service Co., 401 Alice Street (22); Day & Gimbal,

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267 4th Street (11); Saroni Wholesale Sugar and Rice, 318 Harrison Street (25); Tyre Bros. Glass, 300-10 Webster Street (31); C. L. Greeno, 255 4th Street (10); and Nelson Lee Paper Co., 270 4th Street (12). Two of the six firms - Saroni Wholesale Sugar and Rice, 318 Harrison Street (25); Tyre Bros. Glass, 300-10 Webster Street (31) - re-located to the District from the "wholesale district."

Business publications of the day reported that the businesses were drawn to the District by Western Pacific's presence. Each of the businesses built spurs off Western Pacific's tracks and became major railroad customers. For example, Tyre Bros. Glass (31), one of California's largest glass corporations, distributed its plate, window, and building glass products by rail throughout the western United States. C. L. Greeno Company (10), a Cincinnati-based firm, located its Pacific Coast headquarters in the District to receive upholstery and bedding supplies via rail from its Ohio factory for distribution throughout the area west of Denver. Favorable rail rates made it more economical for firms wishing to reach western markets to establish a distribution outlet on the Pacific Coast rather than build manufacturing plants in western cities.

While the early District warehouses distributed a wide variety of products, after 1923 most new warehouses were built for wholesale grocery purposes. And while the early warehouses solidified Western Pacific's triumph, it is these latter warehouses that, through the tonnage they shipped by water, directly contributed to the port's expansion and Oakland's industrial development.

Before 1926, Oakland was purely a local port. The cargo passing over its piers consisted largely of low-grade bulk commodities such as sand, coal, sulphur, ores, and lumber. No foreign steamship lines were calling on a regular schedule. As an early Port of Oakland article attested:

Steamship companies will not serve a port and send all of its vessels to such port regularly unless a reasonable amount of cargo is made available for each vessel. The tonnage of a few large shippers is not sufficient. Shipments of numerous small shippers are required to supplement the tonnages of large shippers.

The District's businesses, particularly the ones arriving in the mid-1920s through the end of the next decade, upgraded the port's cargo mix, introducing high valued packaged goods such as canned fruits and vegetables, and manufactured articles.

In 1926, Western States Grocery Co. built a four-story warehouse, 247 4th Street (9) in the District. Western States Grocery served retail grocers from Klamath Falls, Oregon to Bakersfield, California and east into Nebraska. At the time it settled in the District, it was the largest grocery wholesaler on the Pacific Coast.

In 1926, for example, Western States Grocery distributed 4,000 bags of California walnuts; 1,500 bags of California almonds; 50 carloads of

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California raisins; 150 carloads of California watermelons and cantaloupes; 125 carloads of California sweet potatoes; 50 carloads of grapes; and 250,000 cases of California fruits and vegetables.

Western States Grocery, which operated its own coffee roasting department, also imported and distributed annually by water and rail more than 250,000 pounds of coffee; 120,000 pounds of tea; 1,000 bags of Italian filberts; and 2,000 bags of Brazil nuts.

Safeway Stores, which is often credited with introducing an innovative warehouse distribution system, subsequently purchased Western States Grocery Co. In 1928, Safeway Stores, 201 4th Street (7), broke ground on a warehouse adjoining the Western States Grocery Co. warehouse.

Safeway Stores employed both warehouses to receive and distribute canned goods and foodstuffs to its 2,400 retail branches and support facilities on three continents. Safeway Stores also housed its executive offices in its 201 4th Street (7) warehouse.

This mutual relationship between the Port and the District's wholesale grocers continued unabated through the 1930s. In 1926, the predecessor to S&W Fine Foods, Inc. moved into a three-story concrete warehouse at 255 3rd Street (3). In 1928, Oakland Wholesale Grocery built a three-story concrete warehouse at 283 4th Street (14) and the Makins Produce Co. completed a two-story brick warehouse at 278 4th Street (13). Two years later, in 1929, Poultry Producers of Central California built a two-story, concrete warehouse at 229 Harrison Street (24). Although built in 1931 for Pacific Freight Lines, the one-story concrete warehouse at 426 Alice Street (23) was leased and occupied by United Grocers Ltd. From this location, United Grocers received and distributed canned goods and groceries to its 800 retail branches. By the mid-1930s, nearly all the District's warehouses were converted to wholesale grocery uses.

The one building built during this period that did not serve a wholesale grocery purpose was the 1929 Oakland Plumbing Supply Company warehouse, 309 4th Street (18). Oakland Plumbing Supply Company was one of the largest distributors of plumbing, heating, and engineering supplies on the Pacific Coast. Although not a grocer, the company was nevertheless a significant Port customer. A 1936 Port of Oakland publication noted that the Oakland Plumbing Company "in the course of each year accounts for a goodly share of the total tonnage handled through the terminals of the Port of Oakland."

The Posey Tube, constructed beneath the District in 1928, facilitated both the expansion of Oakland's shipping facilities and also ushered in the automobile age. The Posey Tube replaced two swing-span bridges that crossed Oakland's estuary. The bridges drew the ire of both large vessels whose movement was delayed and motorists subjected to long and frequent delays when the bridge closed for ship passage. The architect of the Posey Tube's portals set a decorative automobile wheel in the portal's concrete facade to underscore the Tube's connection with the automobile age.

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The District's businesses also supported economically the development of Oakland's car and truck transportation infrastructure. Saroni Sugar & Rice, which had located to the District in 1922 and among other things imported sugar cane from China, noted in a 1936 Port of Oakland publication that its business now required spur track access as well as two Autocar trucks.

In 1937, S&W Fine Foods, Inc. built its own warehouse at 200 4th Street (6), leaving its leased location at 255 3rd Street. The warehouse was built to accommodate both railroad and truck shipping and receiving. The 4th Street side of the one-story steel and concrete warehouse had spur track facilities that could handle six rail cars at one time. The warehouse's Jackson Street side was devoted to truck shipping and receiving. Up to 12 trucks could be accommodated at one time. While the District's earlier warehouse loading docks were designed at rail car height, S&W's 1937 warehouse included truck height loading docks.

Notwithstanding its dependence on truck transportation, S&W Fine Foods remained a significant Port of Oakland shipper, importing by rail and water such goods as Hawaiian papaya juice, Louisiana rice, Florida grapefruit, New York apple sauce, Maine blueberries, Indian tea, and South and Central American coffee.

Mirroring a general economic downturn in the 1930s, new construction in the District slowed until after World War II. During the economic revival that followed the end of the war, six one-story, Moderne brick warehouses were added to the District. Built with truck openings rather than rail car loading docks, these buildings also contributed to the development and rise of Oakland's road transportation network and the new economic development it supported.

The District's period of significance ends in 1954 after a few wholesale grocers began to leave the District and those that remained became collectively less significant factors in the port's and Oakland's economic development. 1954 also marks the completion of the elevated downtown section of the Nimitz freeway constructed at the District's northern edge. The freeway's construction opened up outlying areas for development and rendered it less necessary for industry to locate near the waterfront for rail and water access. While warehousing activities continue in the District today (Safeway Stores Corporate Headquarters did not leave the District until 1996), unlike their predecessors, the current warehousing activities are not major engines of Oakland's economy.

Nonetheless, the Oakland Waterfront Warehouse District retains its historic character and integrity and is today the area that best conveys through its physical features the close connections between the Port of Oakland, the railroads, and the City's rise to prominence as an industrial and shipping center in the early 20th century.

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Criterion C: Distinctive Characteristics of a Period; Significant and Distinguishable Entity

Unified, distinctive, and well-preserved, the Oakland Waterfront Warehouse District's architecture represents Oakland's best and largest collection of utilitarian buildings of the first half of the 20th century. Recurring building types in the District include a range of early 20th century utilitarian architecture: the multi-story loft building, which housed manufacturing, offices, and warehousing (Allied Paper, 283 4th Street (14); Safeway Stores, 201 4th Street (7); W. P. Fuller Co., 201 3rd Street (1)); the decorative brick storefront-type adapted to industrial use (Tyre Bros., 300 Webster Street (31); Autocar Sales, 401 4th Street (22)); and the postwar functional, slightly, streamlined, small brick box (Industrial Bearing, 417 Harrison (27); Western California Fish Co., 425 Harrison Street (28)).

Before 1900 most industrial buildings were constructed of brick, wood, and iron in a limited number of structural types (balloon or platform framing; heavy timber framing with wood, brick or corrugated iron cladding; or brick buildings with wood or iron internal structures). Whether brick, frame, or metal, typical forms had one or two stories, a gable or series of gable roofs, and tall regularly spaced windows. The building footprints rarely exceeded 50 x 100. When they did, the larger buildings were a series of smaller buildings built side by side or end to end.

After the turn of the century, building codes became more developed and their enforcement became more professional. Insurance companies and professional societies had a growing influence on how buildings were built and scientific and technological developments gradually made industrial buildings more complex and sophisticated. Along with the new technology came increased attention to industrial design, both functional and aesthetic. On the national level Albert Kahn was the leading practitioner and theorist from the 1890s on, promoting efficiency, light and air, employee welfare, room for expansion, and "pleasing appearance." In practice, this typically meant larger steel and/or concrete-framed buildings, with steel truss or concrete slab roofs, concrete columns, wide steel sash windows in a regular grid of narrow pilasters, spandrels and wall surfaces of either concrete or brick, three-part or other symmetrical composition, sometimes with modified Secessionist or classical allusions in the treatment of pilasters or parapet.

In their scale, aesthetics, and functionality, the District's warehouses embody the elements of Kahn-inspired, early 20th century utilitarian architecture. The warehouses have a unifying sense of scale and proportion. With the exception of the four story Western States Grocery warehouse and the five-story Safeway Stores warehouse, the District's warehouses are one to three stories. All are an eighth to one-half block in size (100' x 75' to 100' x 300').

The District's warehouses are substantial in construction and efficient in the concentration of space. Most are constructed of steel and/or concrete. Many incorporate pilaster and bay construction (Tower Lofts, 255 3rd Street (3); C.

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L. Greeno, 255 4th Street (10); Poultry Producers, 229 Harrison Street (24)). Large expanses of industrial sash predominate (Saroni Sugar & Rice, 318 Harrison (25); Oakland Plumbing, 309 4th Street (18); Allied Paper (14)).

Ornamentation is achieved with an economy of means and materials and can be found in nearly every building: the restrained decorative detailing on pilaster of C. L. Greeno (10); the Art Deco elements of the S&W warehouse, 200 4th Street (6); the stepped parapet of the W. P. Fuller Company Annex, 225 3rd Street (2); the polychrome brick of Saroni Rice & Sugar (25) and the American Bag Building, 299 3rd Street, (5); and the blue, diamond-shaped tile of the Allied Paper warehouse (14).

The District stands in stark contrast to the neighboring Produce Market District, a District also considered National Register-eligible by the Oakland Cultural Heritage Survey. With its wood frame, low-scale, horizontal construction, the Produce Market District recalls the architecture of the late 1800s. The Produce Market District is also set apart from the Oakland Waterfront Warehouse District by its metal sidewalk canopies, screened fronts, and clerestories.

The District is also unique and more architecturally significant compared to three other National Register-eligible industrial districts identified by the Oakland Cultural Heritage Survey. The District includes a more diverse range of early 20th century utilitarian architecture with a variety of vintages. In contrast, the 57th Avenue Industrial District is a self-contained strip developed by General Electric, the Austin Company, Stokely, and Mutual Stores in the 1920s as an early industrial park for food, vehicular, and building material plants. While outstanding in itself, the 57th Avenue Industrial District's homogenous architecture includes primarily one-story, brick warehouses of nearly identical vintage.

The same is true of the Star-Durant Plant, essentially a single-structure auto plant. The District's warehouses, on the other hand, range in vintage from 1914 to 1954 and its 32 buildings and structures include a full range of utilitarian building types. In addition, concentrated within the District are some of Oakland's finest examples of early 20th century utilitarian architecture: the highly decorative American Bag Building (5); the fanciful C. L. Greeno warehouse (10); and the eclectic, Art Deco-inspired Posey Tube Oakland Portal.

Oakland's final National Register-eligible industrial district, the Southern Pacific Industrial Landscape, is recognized for its several expansive, full-block manufacturing complexes of the 1890s and 1920s. A significant portion of this West Oakland district has unfortunately been demolished. The District, on the other hand, is largely intact and represents utilitarian buildings of the first half of the 20th century.

Most of the District's buildings and structures were state-of-the-art when constructed. For example, in 1917, the American Bag Building (5) was embellished with the decorative brickwork just then becoming popular in

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industrial architecture. The American Bag Building architect used all available options open to him in the arena of brick masonry building materials and was at the forefront of mixing the multitude of available brick choices.

In 1926, in reporting the opening of the Western States Grocery warehouse (247 4th Street (9)) the *Oakland Tribune* described the building as "one of the most modern and efficiently planned of any similar plant on the Pacific Coast."

Two years later, the *Oakland Tribune* called the design of the adjoining Safeway Stores warehouse (7), the "most modern and up-to-date."

As noted earlier, the C. L. Greeno warehouse (10) is one of Oakland's most elaborate examples of the early 20th century utilitarian warehouse and with its monumental entry hood reflects the early 20th century's "City Beautiful" trend to embellish utilitarian buildings with historicist architectural treatments.

The Posey Tube Oakland Portal (415 Harrison Street (26)) incorporated the Art Deco style in the early years of the style's popularity. Commenting in 1996, California historian Frank Lortie called the Oakland Portal, "a monumental, though restrained, statement about America's architectural trends in the 1920s."

In describing its new 1937 warehouse, S&W Fine Foods (6) said in a Port of Oakland publication: "Every possible innovation for efficiency and happy employees has been taken into consideration. ... Fifty skylights are spaced on the roof, which makes all parts of the building as light as day."

Unlike most early 20th century utilitarian architecture, notable architects designed most of the District's warehouses. Couchot, Rosenwald & Roeth designed the four-story Western States Grocery Co. warehouse, 247 4th Street (9) and the five-story Safeway Stores Corporate Headquarters, 201 4th Street (7), the District's most imposing buildings. Maurice Couchot (c. 1871-1933) was an internationally prominent structural engineer and reinforced concrete expert.

Walter Reed, who as a member of the Oakland firm Reed & Corlett, designed many of Oakland's institutional buildings, designed the District's first warehouse (201 3rd Street (1)).

San Francisco architect H. C. Baumann (1890-1960), who specialized in elaborate apartment buildings, designed the Poultry Producers warehouse (229 Harrison Street (24)). Before turning to industrial design, Baumann reportedly designed over 500 San Francisco apartment buildings between 1925 and 1931.

Noted Moderne architects Francis Harvey Slocombe (417 Harrison Street (27) and 432 Harrison Street (29)) and John B. Anthony (425 Harrison Street (28)) designed three of the District's post-World War II Moderne warehouses.

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The much sought-after architect Henry Meyers (1867-1943), in his capacity as Alameda County architect, designed the monumental Posey Tube Oakland Portal. Meyers is credited with overseeing the completion of the Kohl Building, reputedly San Francisco's first steel-frame office building and a model for San Francisco's subsequent steel-frame construction. During his forty-year career, he designed mostly commercial buildings and public structures, including ten Veterans Memorial Buildings.

The prolific Oakland architect A. W. Smith (1864-1933) designed three District buildings: 300 Webster Street (31); 267 4th Street (11); and 401 Alice Street (22). Smith was known for his design of highly individual buildings, most notably mannered and exuberant Craftsman and Shingle houses and decorative brick commercial buildings, the latter of which describes his three District contributions.

While some of the District's warehouses have been converted recently to office and live-work lofts, most conversions have been sensitively accomplished and have maintained the overall appearance and warehouse character of the original structures. All of the buildings remain in excellent condition and the District itself continues to be a significant concentration of well-preserved buildings and structures representative of Oakland's early 20th century utilitarian architecture.

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10. Geographical Data

Verbal Boundary Description:

The boundary of the nominated district is shown on the sketch map at page 46.

Boundary Justification:

The district boundary demarcates a coherent group of buildings of similar styles, uses, and ages associated with the industrial, shipping, and warehousing activities that developed in the early 20th century adjacent to the Port of Oakland's Inner Harbor along the Western Pacific Railroad Third Street tracks. It includes all the warehouses and adjoining properties which were expressly located proximate to the Western Pacific Freight Depot and Third Street railroad and spur tracks as well as the warehouses which sprung up around the Posey Tube during Oakland's post-World War II building boom.

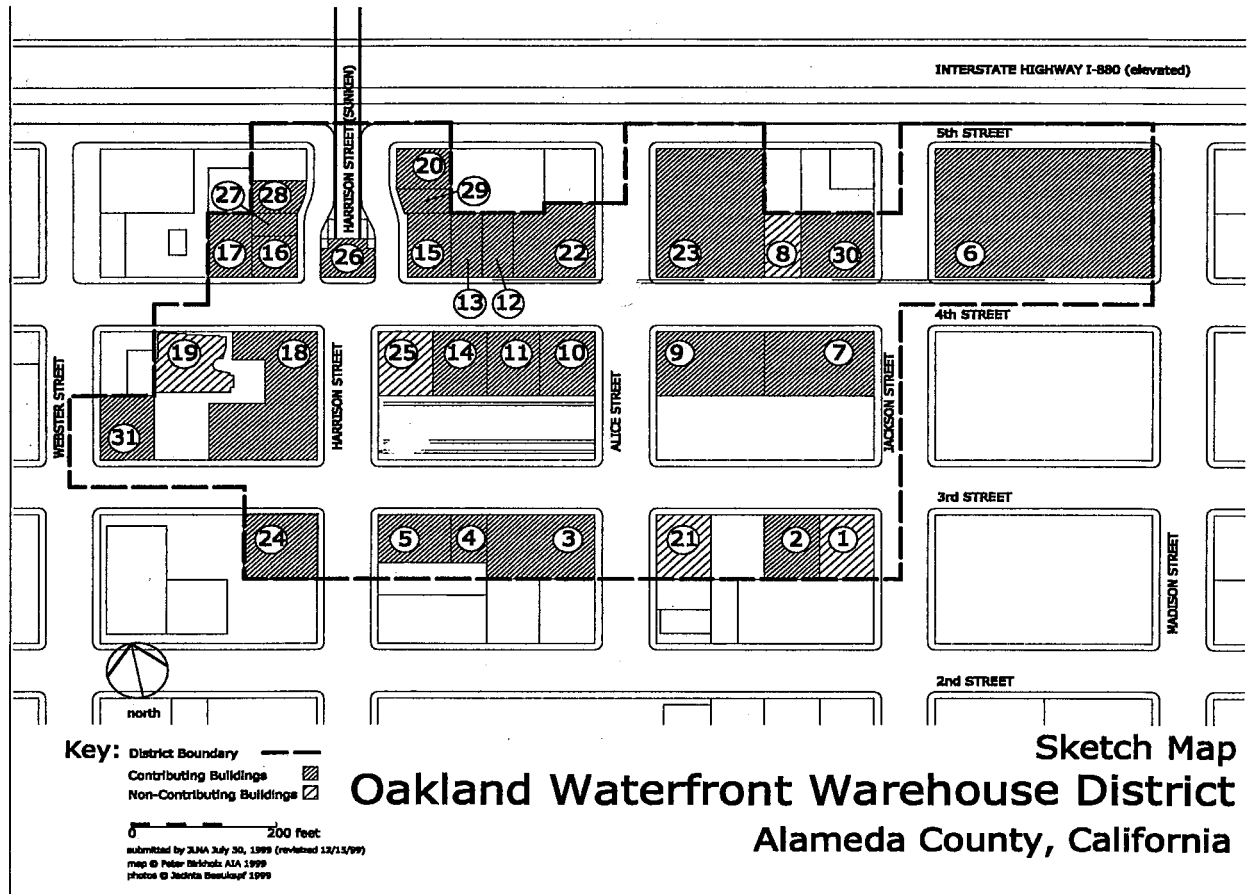
The north, south, east, and west boundaries are true to the district's historical architectural styles, uses and ages. The western edge of the district is fixed by vacant lots, some new construction, and Oakland's Produce Market District, a commercially and architecturally distinctive area that for over 80 years has served as the East Bay region wholesale produce center. The eastern boundary stops at an unimproved lot employed historically as a rail yard for the Western Pacific Railroad Company. Interstate 880 demarcates the northern boundary. The southern boundary terminates at a line of buildings of different ages and historical uses.

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Sketch Map

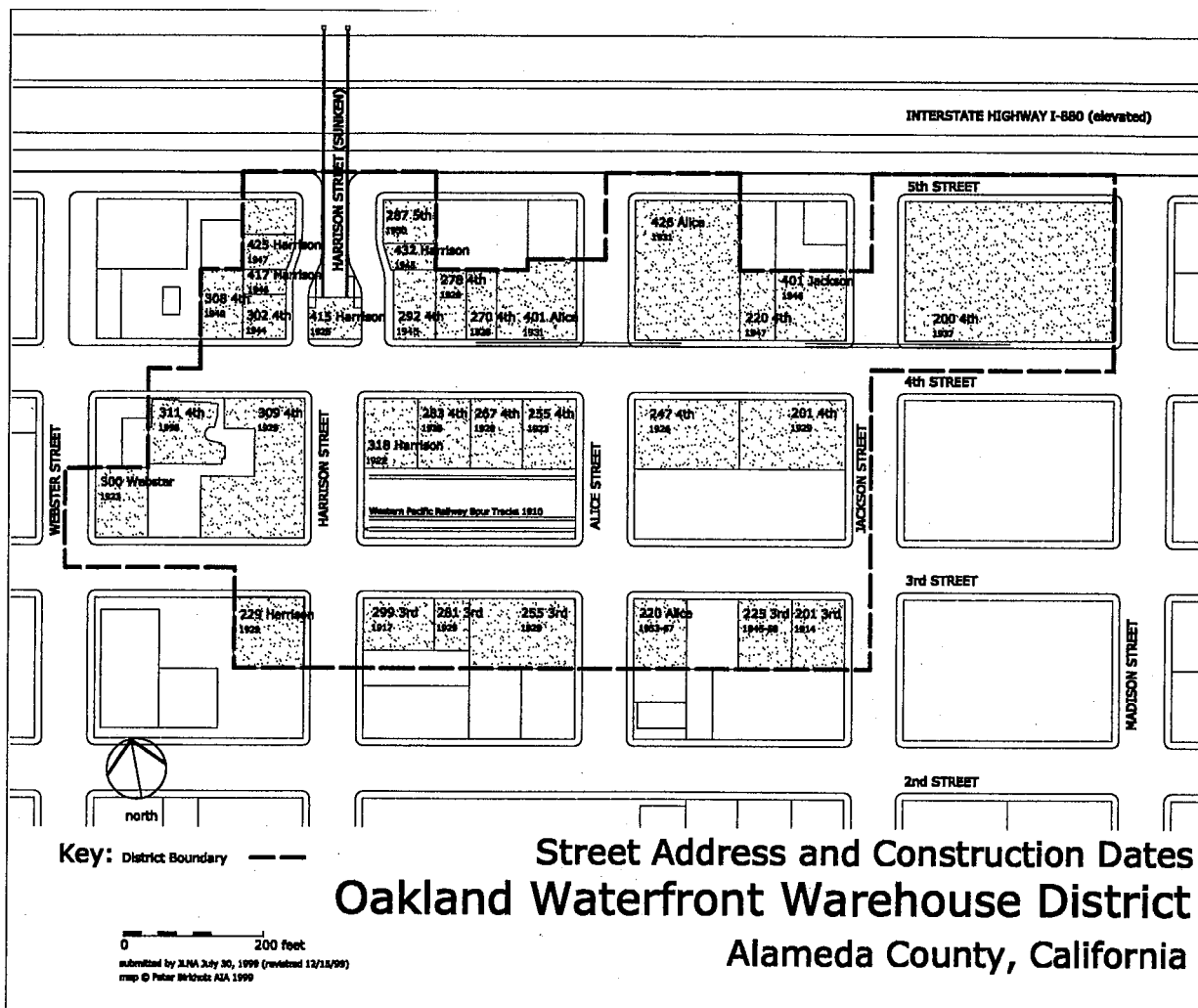


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Street Addresses and Construction Dates Map



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Additional Documentation

11. Photographs

Unless otherwise specified, all negatives are located with Jacinta Bouwkamp, c/o Jack London Neighborhood Association, 247 Fourth Street, Loft 201, Oakland, California 94607. Photographs identified as Oakland Cultural Heritage Survey (OCHS) photographs are identified by OCHS roll and negative number.

Buildings are identified in captions by name at photograph date, current address, and the item number used in both the text (Section 7) and on the sketch map.

- a. Aerial view of Waterfront Warehouse District, from the top, the Nimitz Freeway (Interstate 880), the northern boundary; the north-south streets from L to R, Webster, Harrison, Alice, and Jackson; the east-west streets from bottom to top, Embarcadero, Second (both outside the District), and 3rd, 4th, 5th Streets (within the District).

Negative Number AV6100-9-33, Photographer Pacific Aerial Surveys, 8407 Edgewater Drive, Oakland, CA 94621, August 24, 1998

- b. Roger's Automotive, 425 Harrison Street (28), view looking northwest.

Photographer Jacinta Bouwkamp, July 1999.

- c. 4th Street, looking east, circa 1950: L, foreground to background, G & R Drug Co., 292 4th Street (15); French Fries, Inc. 278 4th Street (13); Cello-Pak, 270 4th Street (12); Food Cash & Carry, 401 Alice Street (22); United Grocers Ltd., 426 Alice Street (23); R, foreground to background, Envy Enterprises, 318 Harrison Street (25); Allied Paper Company, 283 4th Street (14); Christian Building, 267 4th Street (11); C. L. Greeno, 255 4th Street (10); Western States Grocery Warehouse, 247 4th Street (9); Safeway Stores Corporate Headquarters, 201 4th Street (7).

Oakland Cultural Heritage Survey, Oakland City Planning Department, 250 Frank H. Ogawa Plaza, Suite 3330, Oakland, CA 94607; (510) 238-3941.

- d. 4th Street, looking east: L, foreground to background, Posey Tube Portal, 415 Harrison Street (26); Paper Works, 292 4th Street (15); French Fries, Inc., 278 4th Street (13); Food Cash & Carry Annex, 270 4th Street (12); Food Cash & Carry, 401 Alice Street (22); R, foreground to background, 318 Harrison, 318 Harrison Street (25); Allied Paper Company, 283 4th Street (14); Christian Building, 267 4th Street (11); C. L. Greeno, 255 4th Street (10); Fourth Street Lofts, 247 4th Street (9).

Photographer Jacinta Bouwkamp, July 1999

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- e. Structure ornament, cast concrete decorative automotive wheel, Posey Tube Oakland Portal, 415 Harrison Street (26), closeup view looking south.
Photographer Jacinta Bouwkamp, July 1999.
- f. Stephanos Building, 287 5th Street (20), northeast view.
Photographer Jacinta Bouwkamp, July 1999.
- g. Cost Plus World Market International Headquarters, 200 4th Street (6), view from 5th and Jackson Streets looking east.
Photographer Jacinta Bouwkamp, July 1999.
- h. 4th Street, looking west, spur track (32); L to R: Allied Paper Co., 283 4th Street (14); 318 Harrison, 318 Harrison Street (25); Posey Tube Portal, 415 Harrison Street (26); Paper Works, 292 4th Street (15); French Fries, 278 4th Street (13); Food Cash & Carry Annex, 270 4th Street (12); Food Cash & Carry, 401 Alice Street (22).
Photographer Jacinta Bouwkampe, July 1999.
- i. Safeway Stores Corporate Headquarters, 201 4th Street (7), view from corner of 4th and Jackson Streets looking west.
Photographer Jacinta Bouwkamp, July 1999.
- j. C. L. Greeno, 255 4th Street (10), view from 4th and Alice Streets looking southwest.
Photographer Jacinta Bouwkamp, July 1999.
- k. Building entry pediment, ornamental plaster and painted wood, C. L. Greeno, 255 4th Street (10), close up view looking south.
Photographer Jacinta Bouwkamp, July 1999.
- l. American Bag Company/Union Hide Company, 299 3rd Street (5) circa 1917, view looking southeast.
Wickham Havens Album, 1917 edition, p.50. Oakland Public Library, Oakland History Room, 125 14th Street, Oakland, CA 94612.
- m. Foreground, railroad bumper (32), at 300 Harrison Street looking northeast. Background L to R, southern façade of Allied Paper Company, 283 4th Street (14); Christian Building, 267 4th Street (11); and C. L. Greeno, 255 4th Street (10).
Photographer Jacinta Bouwkamp, July 1999.

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- n. Harrison Street looking north: foreground to background, clockwise, The Egghouse, 229 Harrison Street (24); Portico Lofts, 309 4th Street (18); Posey Tube, 415 Harrison Street (26); 318 Harrison, 318 Harrison Street (25); American Bag Building, 299 3rd Street (5).

Photographer Jacinta Bouwkamp, July 1999.

- o. Bay Cities Produce, 300-10 Webster Street (31).

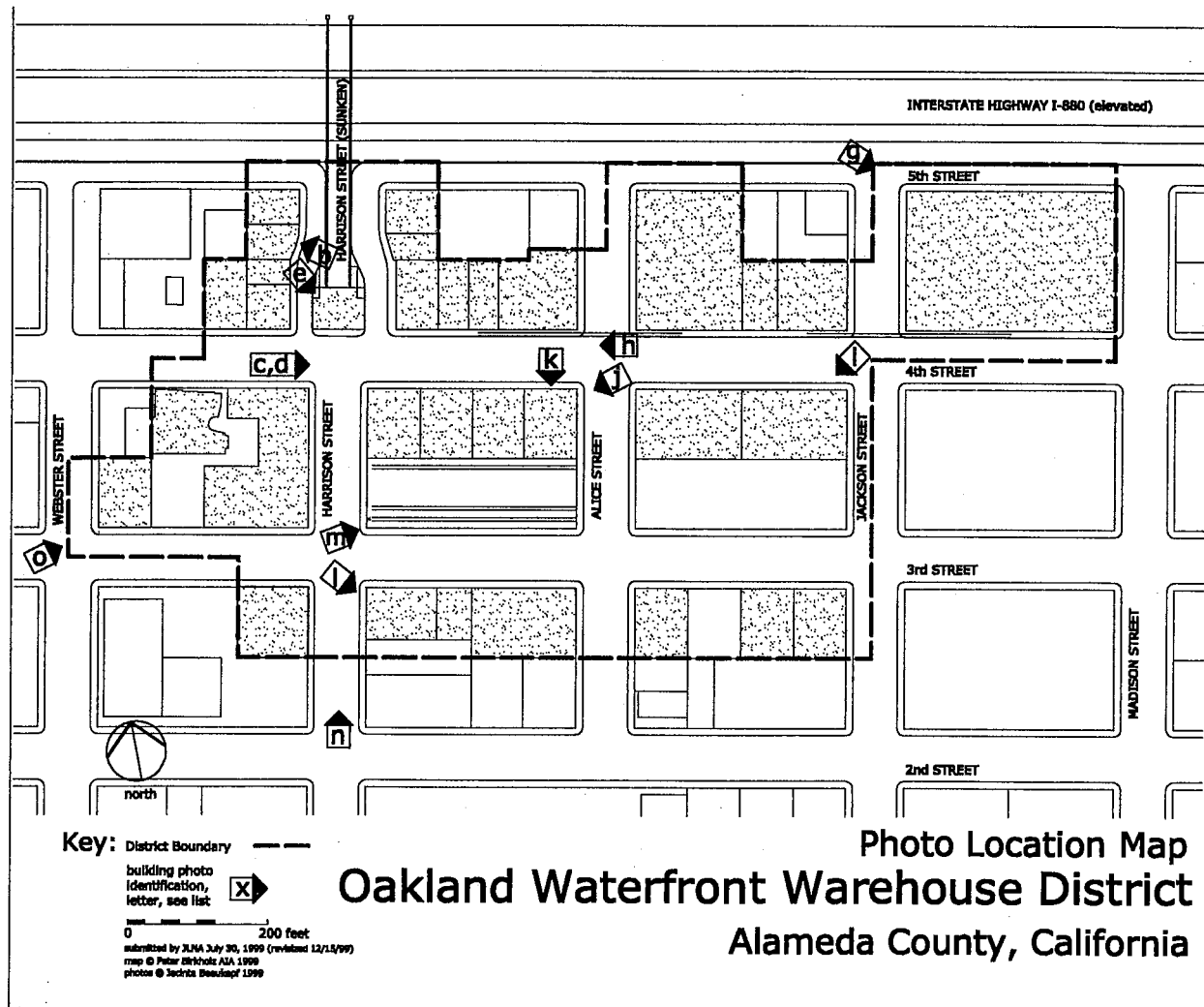
Photographer Jacinta Bouwkamp, July 1999

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Photo Location Map

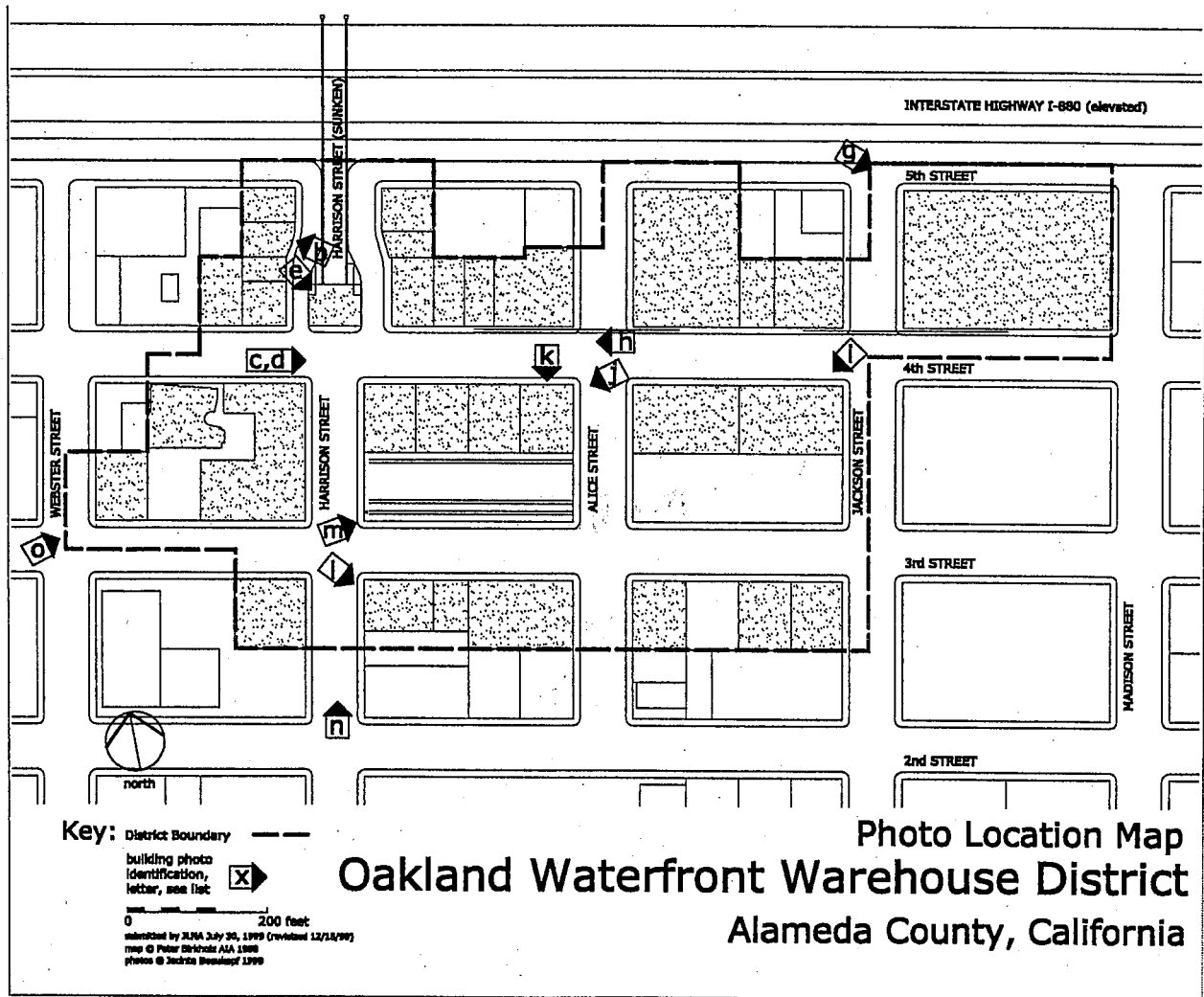


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Photo Location Map



ALICE ST

220

CROSS REFERENCE SHEET

Name or Subject Cooper-Hawkins Refrig. & Engr. Company File No.

Regarding 220 Alice Street Date

SEE ITEM #2- July 24, 1969 meeting Board of Examiners
and Appeals.
Name or Subject File No.

File cross reference form under name or subject at top of the sheet and by the latest date of papers. Describe matter for identification purposes. The papers, themselves, should be filed under name or subject after "SEE."

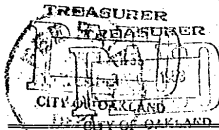
PLOT PLAN

Inspected
No. B48347

APPLICATION FOR A PERMIT
TO ERECT A BUILDING

Case No. _____
Plan No. _____
Davidson Park
Edward Smith Contractor
Job Location
No. 220 Alice St.
247 3rd St.
46,500 113
Date Jul 13 1953

F.O.K. 7-30-53 RKH
 Not OK 7/10/53 RKH
 Not OK 7/14/53 RKH
 F.O.K. 11-2-53 RKH
 Not OK 10-30-53 RKH
 5th OK 9-17-53 RKH
 W.O.K. 11-6-53 RKH
 permit 11/6/53 RKH
 L.O.K.



Permission is hereby granted to erect the building or structure described in this application in accordance with Ordinance No. 2475 C.M.S., and all other Ordinances related thereto in the City of Oakland, and to the satisfaction of the Building Inspector.

Approved M. P. Kitchel
Building Inspector

By CA

PLASTER O.K.

FINAL O.K. 1-20-54 RKH

"WARNING: This proposed construction may be in violation of National Production Authority Orders, or other Federal restrictions or prohibitions. You are cautioned to consult with appropriate Federal authorities before commencing the work authorized by this permit.

Above Warning Noted:

Permittee

FOR OFFICE USE ONLY

BUILDING & HOUSING DEPARTMENT - CITY OF OAKLAND
WRITE IN INK - FILE ALL COPIES

220 - ALICE ST. KE

FILE MARKED APPROVAL
CITY ENGINEER PERMIT NO.
ARCHING PERMIT NUMBER
PORT OF OAKLAND APPROVAL
PLUMBING PERMIT NO.
HEALTH DEPT. APPROVAL
ZONING OR PLANNING NO.
BOARD OF TRADE & APPEALS PER. NO. DATE
HOUSING ADVISORY & APPEALS PER. NO.

LATE FILED
DATE ISSUED OCT 27 1951 PERMIT NO. Inspected
APPLICATION FOR PERMIT TO:
ALTER ADD TO NEW CONSTR.
REPAIR WRECK OTHER
JOB LOCATION 220 - Alice St.
OWNER'S NAME Joe Kansen
OWNER'S ADDRESS 236 W. Grand Ave.
OWNER'S PHONE NO. 4-42767
FIELD CHECK BY _____ DATE _____
APPROVED YES _____ NO _____
REMARKS (handwritten notes)

VALUE \$ 250.00 FEES \$ 4.00
General Fee \$
Checking Fee \$
TOTAL FEES \$
ADDITIONAL COST:
Add'l Fee \$
Date _____
Checking Fee \$
TOTAL VALUE \$
TOTAL FEES \$

NEW CONSTRUCTION
Size of new building _____ Number of Families _____
Height to highest point _____ Size of lot _____
No. of Stories _____ Material of Exterior Walls _____
Specific type of Occupancy _____
State how many buildings now on lot and give use of each _____
Footing Width _____ Depth in Ground _____ Width of Wall _____ Moduli _____
Soils _____ Floor Joists _____ Ceiling Joists _____
Esters _____ Roof Covering _____

VALUATION OF PROPOSED WORK
Including all labor and material and all patented lighting, heating, ventilating, water supply, plumbing, fire, electric, electric wiring and elevator equipment therein or thereon, and
COST OF WORK TO BE CHECKED BEFORE FINAL INSPECTION.
GENERAL INSTRUCTIONS: If the work herein described is not commenced within one hundred twenty (120) days after the issuing of this permit, or if the work is suspended or abandoned at any time after the work is commenced for a period of one hundred twenty (120) days, this permit shall expire by limitation, and become null and void as provided in the Oakland Building Code.
Permission is hereby granted to do the work described in this application in accordance with the provisions of the Oakland Building Code and related ordinances.
Approved LAWRENCE A. LAINE
Building Inspector

TO BE SIGNED ONLY WHEN ISSUED TO OWNER.
I hereby certify that I am the applicant for a Building Permit, and that in the performance of the work for which such permit is issued, I will not employ any person or persons in any manner so as to become subject to the provisions of the Labor Code of the State of California relating to workmen's compensation insurance.
Signature of Owner _____

PLAN FILED Yes _____ No _____ SURVEYS FILED Yes _____ No _____
MAP NO. 157 TRACT NAME/NO _____
TYPE OF BUILDING I II III IV V HT. 1 N N
OCCUPANCY GROUP A B C D E F O H I J EW. 1 2 3 4 S
ZONING DISTRICT AA A B CC C D E F G H I O S I L T UR
FILE ZONE I 2 3 4
FLOOR CERTIFICATE OF OCCUPANCY NO. _____ DATE _____

ADDITION ALTERATION REPAIR
Present use of building OFFICE & WARE HOUSE Families _____
Proposed use of building office Families _____
Size of existing building _____ Number of stories high one
Describe briefly all proposed construction work: relaxation of overhead door opening, REPAIR FIRE DOOR, CLOSE UP DOOR ON ALICE ST. SIDE.

CONTRACTOR, his name James E. Wagoner Capital 114,200
Address 9 Selborne Drive Piedmont
Phone No. RE-3-0677 Licensed Civil Engineer
State License No. 128322 License Issued July 1962
I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any way accrue against the City in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street or sub-structure, or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.
James E. Wagoner
Signature of Contractor

Case No. _____
Plan, Com.

City Manager's
Permit _____

WRITE IN INK — FILE TWO COPIES

Application to Erect a New Building
CITY OF OAKLAND, BUILDING DEPARTMENT

Number Third & Alice 247 3rd St. Avenue
Street

1. Type of Building I, II, III IV, V
2. Type of Occupancy A, B, C, D, E, F, G, H, I, J
3. City Zone A, B, C, D, E, F, G, H, I
4. Fire Zone 1, 2, 3, 4
5. If in Port Area, file three applications.
6. Size of new building 9400 Sq Ft. No. of Stories 1
Height to highest point 14' Number of Families _____
7. Material of Exterior Walls Cono Block Size of Lot 50x150 - 25x75
8. Occupancy Warehouse & Cafe
(Dwelling, Garage, privy, public, Service Station, Factory, etc.)
9. State how many buildings now on lot and give use of each None
(Store, Dwelling, Apartment House, Hotel or other purpose)
10. Footing: Width _____ Depth in Ground _____ Width of Wall _____ Mud sill _____
Size of Studs See Plans Size of Floor Joists _____
Size of Rafters _____ Roof Covering _____

For Office Use Only

11. VALUATION OF PROPOSED WORK:

Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electric wiring and elevator equipment thereon, 46,500 COST OF WORK TO BE CHECKED BEFORE FINAL INSPECTION

I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street or sub-sidewalk, or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.

Contractor (if any) Edward Smith I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City ordinances and State laws regulating building construction.
Address 483 - 30th St. Oakland Signature of _____
Certified Architect _____ State License No. _____ Owner Davidson Pork Products
Address 521 Clay - Oakland
Licensed Engineer K. Olsen State License No. 7596 Authorized Agent Frank Williams

Do not lath, sheath, or otherwise conceal any portion of walls or ceiling until the inspection card has been signed by the ELECTRICAL and PLUMBING INSPECTORS. Following the approval of the ELECTRICAL and PLUMBING INSPECTORS, call the BUILDING INSPECTOR before proceeding further with the work.

The Department will call up Telephone No. Hu 3-4328 if any alterations or changes are necessary on the plans submitted.

CONTRACTOR'S STATE LICENSE No. 122623 AND CITY LICENSE No. _____

If the work herein described is not commenced within sixty (60) days after the issuing of this permit, this permit becomes null and void as provided in Section 19 of Part 1 of Ordinance 2745 C.M.S.

PLOT PLAN

APPROVAL SECURED BY STREET AND ENGINEERING DEPARTMENTS

There are no PROPOSED STREET OPENINGS, PUBLIC EASEMENTS OF RECORD
or
in this Department which are in conflict with this application.

REMARKS:

STREET AND ENGINEERING DEPARTMENT

By _____ Date _____

FORMS OK

LATH OK

ROUGH OK

GYPSUM
PLASTER OK

WIRE OK

FINAL OK

5-8-62-VWJ
C

REPLACE OK

BUILDING & HOUSING DEPARTMENT - CITY OF OAKLAND
WRITE IN INK - FILE ALL COPIES

220 ALICE ST

DATE FILED: NOV 28 1961 PERMIT NO: B99270 VALUE: 1000 FEES: 10

DATE ISSUED: NOV 28 1961 APPLICATION FOR PERMIT TO: REPAIR

ADD TO: NEW CONSTRUCTION

REPAIR: REPAIR WORK: OTHER

JOB LOCATION: 220 ALICE ST

OWNER'S NAME: JOE KAPLAN

OWNER'S ADDRESS: 220 ALICE AVE

OWNER'S PHONE NO: 442-2721

FIELD CHECK BY: _____ DATE: _____

Approved YES _____ NO _____

REMARKS (conditions noted): _____

PLAN FILED Yes _____ No _____ SURVEYS FILED Yes _____ No _____

MAP NO: _____ TRACT NAME (NO): _____

TYPE OF BUILDING: I H (11) IV V HI I N (11)

OCCUPANCY GROUP: A B C D E (1) O H I J (1) K L (1) S 4 5

ZONING DISTRICT: AA A B CC C D E F G H (1) I J U R

FIRE ZONE: 1 (1) 2 3 4

PRIOR CERTIFICATE OF OCCUPANCY NO: _____ DATE: _____

ADDITION ALTERATION REPAIR

Present use of building: Commercial use Families: _____

Proposed use of building: _____ Families: _____

Size of existing building: see plan Number of stories high: 1

Describe briefly all proposed construction work: addition of new room 15' x 20'

CONTRACTOR: (if emp.) Edward J. Ryan Licensed Architect

Address: 162 Webster St

Phone No: 44-2712 Licensed Civil Engineer

State License No: 108302 City License No: 6-62

I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit from the use or occupancy of any sidewalk, street or sub-division, or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.

Edward J. Ryan
Contractor

Lawrence A. Lane
Building Inspector

FOR INSPECTIONS TELEPHONE TE 2-3460, LOCAL 301

TO BE SIGNED ONLY WHEN ISSUED TO OWNER

I hereby certify that I am the applicant for a Building Permit, and that in the performance of the work for which such permit is issued, I will not employ any person or persons in any manner so as to become subject to the provisions of the Labor Code of the State of California relating to workmen compensation insurance.

Signature of Owner: _____

DEPARTMENT COPY
FORM 394 - 6-52

BUILDING & HOUSING DEPARTMENT - CITY OF OAKLAND
WRITE IN INK - FILE ALL COPIES

220 ALICE ST

DATE FILED: Dec 18 1961 PERMIT NO: B99612 VALUE: 3800 FEES: 30

DATE ISSUED: DEC 20 1961 APPLICATION FOR PERMIT TO: REPAIR

ADD TO: NEW CONSTRUCTION

REPAIR: REPAIR WORK: OTHER

JOB LOCATION: 220 ALICE ST

OWNER'S NAME: Joe Kaplan

OWNER'S ADDRESS: 220 ALICE AVE

OWNER'S PHONE NO: 444-3921

FIELD CHECK BY: _____ DATE: _____

Approved YES _____ NO _____

REMARKS (conditions noted): _____

PLAN FILED Yes _____ No _____ SURVEYS FILED Yes _____ No _____

MAP NO: 154 TRACT NAME (NO): _____

TYPE OF BUILDING: I H (11) IV V HI I N (11)

OCCUPANCY GROUP: A B C D E (1) O H I J (1) K L (1) S 4 5

ZONING DISTRICT: AA A B CC C D E F G H (1) I J U R

FIRE ZONE: 1 (1) 2 3 4

PRIOR CERTIFICATE OF OCCUPANCY NO: _____ DATE: _____

ADDITION ALTERATION REPAIR

Present use of building: dry storage Families: _____

Proposed use of building: Refurbished storage Families: _____

Size of existing building: 33 x 22 Number of stories high: 1

Describe briefly all proposed construction work: Remove existing concrete floor, install new floor over concrete slab, apply resurfacing to walls, ceiling, plaster walls & ceiling.

CONTRACTOR: (if emp.) Seaper Refurbisher Licensed Architect

Address: 162 Webster St

Phone No: 44-1-0211 Licensed Civil Engineer

State License No: 136825 City License No: JULY 62

I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit from the use or occupancy of any sidewalk, street or sub-division, or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.

Seaper Refurbisher
Contractor

Lawrence A. Lane
Building Inspector

FOR INSPECTIONS TELEPHONE TE 2-3460, LOCAL 301

TO BE SIGNED ONLY WHEN ISSUED TO OWNER

I hereby certify that I am the applicant for a Building Permit, and that in the performance of the work for which such permit is issued, I will not employ any person or persons in any manner so as to become subject to the provisions of the Labor Code of the State of California relating to workmen compensation insurance.

Signature of Owner: _____

DEPARTMENT COPY
FORM 394 - 6-52

APPROVAL REQUIRED BY STREET AND ENGINEERING DEPARTMENT.
There are no PROPOSED STREET OPENINGS, PUBLIC EASEMENTS OF RECORD
or _____
in this Department which are in conflict with this application.
REMARKS _____

NOT PLAN

STREET AND ENGINEERING DEPARTMENT
By *Shelton* Date *11-27-61*

FOAMS OK

LATH OK

ROUGH OK

GYPSON
PLASTER OK

WIRE OK

FINAL OK *1-25-62* *AWJ*

REPLACE OK

TREASURER
PAID
NOV 27 1961
CITY OF OAKLAND

PLOT PLAN

APPROVAL REQUIRED BY STREET AND ENGINEERING DEPARTMENT.
There are no PROPOSED STREET OPENINGS, PUBLIC EASEMENTS OR RECORD
or
in this Department which are in conflict with this application.

REMARKS:
STREET AND ENGINEERING DEPARTMENT
By _____ Date _____

FORMS OK

LANE OK

ROUGH OK

GYPHUM
PLASTER OK

WIRE OK

FINAL OK

REPLACE OK

3-27-62

TREASURER
PAID
DEC 21 1961
CITY OF OAKLAND

FO2 OFFICE USE ONLY

BUILDING DIVISION

APPLY MARKS AND STAMPS

CITY MANAGER PERM. NO.

MOVING PERMIT NO.

TESTS OF CONCRETE APPROVAL

PLUMBING PERMIT NO.

HEALTH DEPT. APPROVAL

ZONING OF PLANS NO.

B OF E & A ITEM NO.

H & A & E FES NO.

BUILDING & HOUSING DEPARTMENT - CITY OF OAKLAND

WRITE IN INK - FILE ALL COPIES

DATE PAID: 11/16/64

DATE ISSUED: NOV 17 1964

PERMIT NO. C19461

REMARKS (CONDY'S NOTES)

APPLICATION FOR PERMIT TO:

ALTER: ADD TO: NEW CONSTR

REPAIR: WRECK: OTHER:

JOB LOCATION: 220 ALICE ST

OWNER'S ADDRESS: 220 ALICE ST

OWNER'S PHONE NO: 895-3776

FEED CHECK BY: Hahn DATE: 11/16/64

APPROVED YES: NO:

220 Alice St

VALUE: 6000

Address Fee \$: 2000

General Fee \$: 1500

Crating Fee \$: 1500

REPERMITS

ADDITIONAL COST: TOTAL FEES \$: 4500

TOTAL VALUE: TOTAL FEES \$:

NEW CONSTRUCTION

Size of new building: 20' x 20'

Height to highest point: 12'

No. of stories: 2

Specific type of Occupancy: MEAT PRODUCT

State how many buildings now on lot and give use of each: 0210

Footing: 2' x 2' x 16" MIN. Width of Wall: 8" x 16" blocks

Studs: 2' x 4' x 16" Floor Joists: 2' x 4' x 16" Ceiling Joists: 2' x 4' x 16"

Roofing: 2' x 4' x 16" Roof covering:

VALUATION OF PROPOSED WORK:

Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electric wiring and elevator equipment therein or thereon \$: 6000

COST OF WORK TO BE CHECKED BEFORE FINAL INSPECTION:

GENERAL INSTRUCTIONS: If the work herein described is not commenced within one hundred twenty (120) days after the issuing of this permit, or if the work is suspended or abandoned at any time other than as provided for in this permit, this permit shall expire by limitation and become null and void as provided in the Oakland Building Code.

Permission is hereby granted to do the work described in this application in accordance with the provisions of the Oakland Building Code and related ordinances.

Approved: LAWRENCE A. LANE
Building Inspector

TO BE SIGNED ONLY WHEN ISSUED TO OWNER.

I hereby certify that I am the applicant for a Building Permit, and that in the performance of the work for which such permit is issued, I will not employ any person or persons in any manner so as to become subject to the provisions of the Labor Code of the State of California relating to workmen's compensation insurance.

Signature of Owner: _____

FORM 312 (11-64)

PLANS FILED: YES: NO: SURVEYS FILED: YES: NO:

MAP NO. 157 TRACE NAME NO.

TREE OF BUILDING: I W @ N @ HE IN: 11

OCCUPANCY GROUP: A B C D E G H I J DW 1 2 3 4 5

ZONING DISTRICT: AA A B CC C D E F G H @ 1 1 1 1 U P

FIRE ZONE: 1 0 2

CONDITION: ALTERATION REPAIR

Present use of building: MEAT PRODUCT Families: Rms:

Proposed use of building: SAME Families: Rms:

Size of existing building: _____ Number of stories high: 1

Describe briefly all proposed construction work: Add new conc. block walls
Remove non bearing walls - Add one new wall
Cover lay concrete slabs, new floor drains
15 X 25 ADDITION

Contractor (Name): MEMORIAL BUILDING CO. Certified Architect

Address: 114 STARBUCK ST. SO. SAN FRANCISCO CALIF.

Phone No.: JIN 9-0990

State License No. 204814 License No. 85352 Licensed Civil Engineer

I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street or subside-way, or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.

Signature of Applicant: Joseph L. LeCompte

FOR INSPECTIONS TELEPHONE 373-3441

Henry Hahn 895-3776

DEPARTMENT COPY

APPROVAL REQUIRED BY STREET AND ENGINEERING DEPARTMENT:
 There are no PROPOSED STREET OPENINGS, PUBLIC ENCROACHMENTS OF RECORD

in this Department which you in conflict with this application.
 REMARKS: *Notice of Public Hearing - location*
request, no right of way
 STREET AND ENGINEERING DEPARTMENT
 By: *[Signature]* Date: *11-6-64*

FORMS OK *11/10/64 - HN*

LATH OK *12/17/64 - HN*

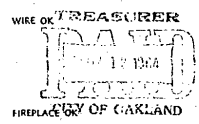
11/27/64 - El. 1022 OK - HN

ROUGH OK
12/1/64 - Box Subj to El. 440

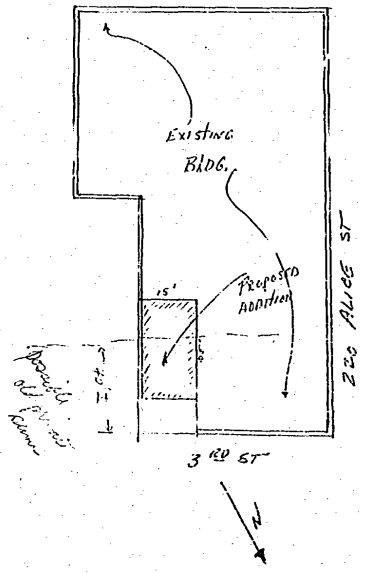
GYPSUM
 FLASTER OK

WIRE OK

FINAL OK *1/25/65 - HN*



FLOOR PLAN



FOR OFFICE USE ONLY

BUILDING & HOUSING DEPARTMENT - CITY OF OAKLAND
WRITE IN INK - FILE ALL COPIES

HOUSING DIVISION _____
 FIRE MARSHAL APPROVAL _____
 CITY MANAGER PERMIT NO. _____
 MOVING PERMIT NO. _____
 PORT OF OAKLAND APPROVAL _____
 PLUMBING PERMIT NO. _____
 HEALTH DEPT. APPROVAL _____
 O.D.E. & A. ITEM NO. _____
 M & A & B.E.E. NO. _____
 ZONING OF PLANNING NO. M-40.91
new plan dated
8/2-9/67

DATE FILED August 23, 1967 PERMIT NO. C38832
 DATE ISSUED 8-1-67
 APPLICATION FOR PERMIT TO:
 ALTER X ADD TO X NEW CONSTR. _____
 REPAIR _____ WRECK _____ OTHER _____
 JOB LOCATION 220 ALICE ST.
 OWNER'S NAME PRIME SMOKE HEATS, INC.
 OWNER'S ADDRESS 220 ALICE ST.
 OWNER'S PHONE NO. 832-9167
 FIELD CHECK BY _____ DATE _____
 Approved YES _____ NO _____
 REMARKS (conditions noted) _____

NEW CONSTRUCTION

Site of new building _____ Number of Families _____
 Height to Highest point _____ Size of lot _____
 No. of Stories _____ Material of Exterior Walls _____
 Specific type of Occupancy _____
 State law entry buildings rear on lot and give use of each _____
 Footing Width _____ Depth in Ground _____ Width of Wall _____ Midwall _____
 Stairs _____ @ _____ cts. Riser joints _____ cts. Ceiling joints _____ cts.
 Rafters _____ @ _____ cts. Roof covering _____

EVALUATION OF PROPOSED WORK

Including all labor and material and all permanent lighting, heating, venting, water supply, plumbing, fire sprinkler, electric wiring and elevator equipment therein or thereon.

COST OF WORK TO BE CHECKED BEFORE FINAL INSPECTION.

GENERAL INSTRUCTIONS: If the work herein described is not commenced within one hundred twenty (120) days after the issuing of this permit, or if the work is suspended or abandoned at any time after the work is commenced for a period of one hundred twenty (120) days, this permit shall expire by limitation and become null and void as provided in the Oakland Building Code.

Permittee is hereby granted to do the work described in this application in accordance with the provisions of the Oakland Building Code and related ordinances.

Approved: LAWRENCE LANE
 Building Inspector

TO BE SIGNED ONLY WHEN ISSUED TO OWNER.

I hereby certify that I am the applicant for a Building Permit, and that in the performance of the work for which such permit is issued, I will not employ any person or persons in any manner so as to become subject to the provisions of the Labor Code of the State of California relating to workmen's compensation insurance.
 Signature of Owner _____

FORM 338-6 (10-66) DEPARTMENT COPY

FOR OFFICE USE ONLY

220 ALICE ST
220 ALICE ST

VALUE: 20,000 Address Fee _____
 General Fee 106.00 Reg. No. _____
 Checking Fee 50.00 0232

ADDITIONAL COST: TOTAL FEES 156.00

Address Fee _____
 Date _____
 Checking Fee _____

TOTAL VALUE: _____
 TOTAL FEES _____

PLAN FILED Yes / No _____ SURVEYS FILED Yes / No _____

MAP NO. 154 TRACT NAME NO. _____

TYPE OF BUILDING 1 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

OCCUPANCY GROUP A B C D E F G H I J K L M N O P Q R S T U V W X Y Z

ZONING DISTRICT M-40 GH 12

FIRE ZONE 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

(ADDITION) ALTERATION REPAIR

Present use of building MEAT PACKING PLANT Families _____ Res. _____

Proposed use of building SALES Families _____ Res. _____

Size of existing building 150' x 75' Number of stories high 1

Describe briefly all proposed construction work ADDITION OF NEW 25' x 75' CONCRETE BLOCK BUILDING

INSTALLATION OF NEW HEAVY TOILET & LOCKER ROOM.

Contractor: (if any) GEORGE KALNIAL & SON Certified Architect

Address 655 SCHLITZ DR. OAKLAND GEORGE SLAVICH Licensed Civil Engineer

Phone No. 654-2524 161502 City License No. 19161

I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street or sub-street, or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.

J. Arnold Halperin
 Signature of Applicant

FOR INSPECTIONS TELEPHONE 723-2441

APPROVAL REQUIRED BY STREET AND ENGINEERING DEPARTMENT:
There are no PROPOSED STREET OPENINGS, PUBLIC EASEMENTS OF RECORD
or
in this Department which are in conflict with this application.
REMARKS:

PLOT PLAN

STREET AND ENGINEERING DEPARTMENT
By _____ Date _____

FORMS OK

7-16-67 *Exposing steel*
OK AND

7-28-67 *Cone bl. walls*
Steel 1/2 to 8' high OK

8-29-67 *Rebar steel OK*
Cone bl. walls OK

ROUGH OK

11-16-67 *Roof Joists*
10-11-67 *Roof SH. OK AND*

FIREPLACE OK

WIRE (EXT.) OK

LATH (INT.) OK 10-25-67 *AND*
11-21-67 *ADD'L INSIDE*
LATH OK AND

GYPSUM OK
PLASTER

FINAL OK 1-30-68 *MG*

CITY OF OAKLAND-BUILDING & HOUSING DEPARTMENT
BUILDING DIVISION

C-38832 PLAN CHECK
ADDRESS 220 Alice St ZONE 1140 SANBORN BY wh

FTU _____ CUP _____ DSGN DIST. _____
LSR _____ Bd. Adj. _____ PORT _____
Freeze _____ ADAM'S POINT _____ BD. EXAM. & APPEALS _____
COUNCIL RESOLUTION _____

CITY MANAGER PERMITS
GARAGE _____ SIDEWALK BASEMENT _____ SPEC. DIST. _____
ASSEMBLY _____ SERVICE STATION _____

MARQUEE _____ FOOD HANDLING COUNTY _____ STATE 8-14

STATE FIRE MARSHAL _____ STATE BUREAU HOSPITALS _____

FIRE ZONE 1 2 3
OCCUPANCY _____ A B C D E F2 G H I J

YARD (Actual Ft.) Front 0 Right 0 Left 0 Rear 0
WALL REQUIRED _____ STAIR _____
OPENING _____ PARAPET _____

CONSTRUCTION TYPE I II III IV V lhr. HT N

AREA ALLOWED: BASIC FROM TABLE 5-C or 1302 (b) 12,
DEDUCT FOR FIRE ZONE 1 _____
ADD FOR STREETS & YARDS 6,
ADD FOR AUTO. SPRINKLERS (not otherwise required) _____
INDUSTRIAL (Outside Fire Zones 1 and 2) _____
INCREASE (Over 1 story) _____

TOTAL 18,000
AREA PROPOSED: NEW 1900
EXIST. 8950
TOTAL 10,850
 $4100 \div 300 = 13$
 $6753 \div 100 = 67$
8000

HEIGHT Table 5-D _____ Ft. _____ Stories _____ F A A
PROPOSED _____ Ft. _____ / _____ Stories _____
SIDEWALK ENCROACHMENT _____ CLEARED (Ext. 3546) BY _____
STREET WIDENING _____ REDEVELOPMENT AREA _____
FIRE AND PANIC OCCUPANT LOAD 80

EXIT DOORS: Number Swing _____ Hardware _____
Self-Closing _____ Fusible Link _____

EXIT SIGNS: YES _____ NO EXIT LIGHTS: YES _____ NO _____

EXTINGUISHERS: TYPE A TYPE B _____

STANDPIPES: WET _____ DRY _____ ALARM _____

STAIRS: Enclosure _____ Openings _____ Interior _____ Exterior _____

~~CORRIDOR~~: Enclosure _____ Openings _____

ROOFING _____ ~~DRAFT STOPS~~ _____ ~~SKYLIGHTS~~ _____

BASEMENT _____ MECH. VENTILATION _____ AUTO. SPRINKLERS _____

~~RAFPROOFING~~ _____

ENGINEERING DESIGN (Computations submitted by: Architect Engineer _____ Designer _____)

Vertical _____ Soil Report _____

Lateral _____ Special Insp. _____

Signature

ESTIMATE OF VALUE OF BUILDING OR STRUCTURE _____ X _____
1900x6. \$11,400

DATE 8-31-7

FOR OFFICE USE ONLY

BUILDING & HOUSING DEPARTMENT - CITY OF OAKLAND
WRITE IN INK - FILE ALL COPIES

INSPECTED
C45634

DATE FILED: NOV 15 1968 PERMIT NO. C45634

DATE ISSUED: NOV 15 1968

APPLICATION FOR PERMIT TO:
ALTER ADD TO NEW CONSTR. REPAIR WRECK OTHER

OWNER'S NAME: Person Small Meat - M.A.I. Sach

OWNER'S ADDRESS: 220 Alice St

OWNER'S PHONE NO.:

FIELD CHECK BY: CASTRO DATE: _____

APPROVED YES _____ NO _____

REMARKS (if conditions noted): PLASTIC ROOF

RECEIVED
NOV 15 1968

CONSTRUCTION

Site of new building: _____ Number of Families: _____

Height to highest point: _____ Site of lot: _____

No. of stories: _____ Material of exterior walls: _____

Specific type of occupancy: Building and Housing Department

and give use of each: Building Division

Footings: _____

Depth in ground: _____ Width of wall: _____

Studs: _____ Floor joists: _____ Ceiling joists: _____

Rafter: _____ @ _____ cts. Roof covering: Copayrol gal bar guise

VALUATION OF PROPOSED WORK: \$ 600

Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electric wiring and elevator equipment thereon or thereon.

COST OF WORK TO BE CHECKED BEFORE FINAL INSPECTION.

GENERAL INSTRUCTIONS: If the work herein described is not commenced within one hundred twenty (120) days after the issuing of this permit, or if the work is suspended or abandoned at any time after the work is commenced for a period of one hundred twenty (120) days, this permit shall expire by limitation and become null and void as provided in the Oakland Building Code.

Permission is hereby granted to do the work described in this application in accordance with the provisions of the Oakland Building Code and related ordinances.

Approved: LAWRENCE A. JANE
Building Inspector

TO BE SIGNED ONLY WHEN ISSUED TO OWNER.

I hereby certify that I am the applicant for a Building Permit, and that in the performance of the work for which such permit is issued, I will not employ any person or persons in any manner so as to become subject to the provisions of the Labor Code of the State of California relating to workmen's compensation insurance.

Signature of Owner: _____

FOR OFFICE USE ONLY

220 ALICE ST.

VALUE: \$ 600 Agent Fee \$ _____
\$ 12.00 Admin Fee \$ 12.00 Receipt No. _____
Checking Fee \$ _____

ADDITIONAL COST: TOTAL FEES \$ 12.00

ADD'l Fee \$ _____
Date: _____
Check'g Fee \$ _____

TOTAL VALUE: \$ _____
TOTAL FEES \$ _____

PLAN FILED Yes Attached _____ SURVEYS FILED Yes _____ No _____

MAP NO. 2574 TRACT NAME/NO. _____

TYPE OF BUILDING I 1 II 0 III 0 IV 0 V 0 VI 0 VII 0 VIII 0 IX 0 X 0

OCCUPANCY GROUP A 0 B 0 C 0 D 0 E 0 F 0 G 0 H 0 I 0 J 0

ZONING DISTRICT R 0 C 0 M 0 S 0

FIRE ZONE 0

ADDITION ALTERATION REPAIR

Present use of building: _____ Families _____ Rm. _____

Proposed use of building: Unloading area Families _____ Rm. _____

Site of existing building: _____ Number of stories high: _____

Describe briefly all proposed construction work: A roof over an Alley way. This is a receiving area for fresh meat. Fresh meat is the new Federal Meat Reg. Cell for receiving area to be covered to protect meat product from rain.

Contractor: (if any) Cooper-Haykin Certified Architect
Address: 2144 San Pablo Ave - Berk.

Phone No. 845-4225 Licensed Civil Engineer

State License No. 185625 City License No. 04522

I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any way accrue against the City in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street or subsideway, or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.

James O. Cooper
Signature of Architect

FORM 338-6 (4-68) DEPARTMENT COPY

FOR INSPECTIONS TELEPHONE 273-3141

118-1023

APPROVAL REQUIRED BY STREET AND ENGINEERING DEPARTMENTS:

There are no PROPOSED STREET OPENINGS, PUBLIC EASEMENTS OF RECORD or in this Department which are in conflict with this application.

REMARKS:

STREET AND ENGINEERING DEPARTMENT
 Received Date 11-15-68

CONSTRUCTION TENDER
 (OF HOLES, TRENCHES)

PLOT PLAN

Name None

Address

Street Address

City, State

FORMS OK

11-29-68 CAR'S M/C
 1-6-69 NOT CAR'S M/C
 2-3-69 SAME M/C
 2-19-69 SAME M/C
 3-6-69 FBI FOR P. M. D.
 4-18-69 WILL STILL PLASTIC & STR
 4-18-69 WILL STILL PLASTIC & STR
 3-25-69 NO CHANGE M/C
 4-18-69 SAME M/C
 6-2-69 DUTTO M/C
 6-8-69 COOPER PHOENIX M/C
 WILL FILE 4/8/69 M/C

FIREPLACE OK

WIRE (EXT.) OK

LATH (INT.) OK

SYMBOL OK
 PLASTER

FINAL OK 7-16-69 M/C

[Handwritten signature]

Re 220 Alice St.

Warren

Tom Coogan phoned at 8:45
AM & said that plastic roof at
subject premises has been
replaced with a complying
roof. He was not able to
get at it sooner because
of the weather.

He has requested a
final inspection.

3-5-69 P00

c.c. jls

FOR OFFICE USE ONLY

HOUSING DIVISION _____
 FIRE MARSHAL APPROVAL _____
 CITY MANAGER PERMIT NO. _____
 MOVING PERMIT NO. _____
 PORT OF OAKLAND APPROVAL _____
 PLUMBING PERMIT NO. _____
 HEALTH DEPT. APPROVAL _____
 B O F & A ITEM NO. _____
 H A & A RES. NO. _____
 ZONING OF PLANNING NO. _____

BUILDING & HOUSING DEPARTMENT - CITY OF OAKLAND
 WRITE IN INK - FILE ALL COPIES

DATE FILED _____
 DATE ISSUED 1-11-69 PERMIT NO. 68585
 APPLICATION FOR PERMIT TO:
 ALTER _____ ADD TO _____ NEW CONSTR. _____
 REPAIR X WRECK _____ OTHER _____
 JOB LOCATION 220 Alice St
 OWNER'S NAME 220 Alice St
 OWNER'S ADDRESS 220 Alice St
 OWNER'S PHONE NO. 832-7167
 FIELD CHECK BY W.C. By Shere DATE 5-29-69
 Approved YES NO _____
 REMARKS (conditions noted) _____

FOR OFFICE USE ONLY

220-Alice-St.
 VALUE: Address Fee \$ _____
 \$ 12,000 General Fee \$ 50.00 Receipt No. _____
 Checking Fee \$ 25.00
 TOTAL FEES \$ 75.00
 ADDITIONAL COST:
 Add'l Fee \$ _____
 Date _____
 Checking Fee \$ _____
 TOTAL VALUE:
 \$ _____ TOTAL FEES \$ _____
 PLAN FILED Yes _____ No _____ SURVEYS FILED Yes _____ No _____
 MAP NO. 159 TRACT NAME/NO. _____
 TYPE OF BUILDING I II III IV V KIT. N
 OCCUPANCY GROUP A B C D E G H I J
 ZONING DISTRICT R C M S
 FIRE ZONE I II

NEW CONSTRUCTION
 No. of Stories _____
 Specific Use _____
 State how many buildings new on lot _____
 Building and Housing Department
 Building Division
 Footing Depth in Ground _____ Width of Wall _____
 Slabs _____ ctrs. Floor Joists _____ ctrs. Ceiling Joists _____
 Rafters _____ ctrs. Roof Covering _____

VALUATION OF PROPOSED WORK: \$ 12,000
 Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electric wiring and elevator equipment therein or thereon.
 COST OF WORK TO BE CHECKED BEFORE FINAL INSPECTION.
 Permission is hereby granted to do the work described in this application in accordance with the provisions of the Oakland Building Code and related ordinances.
 Approved: LAWRENCE A. LAKE
 Building Inspector

TO BE SIGNED ONLY WHEN ISSUED TO OWNER.	CONSTRUCTION LENDER (If none, write none)
I hereby certify that I am the applicant for a Building Permit, and that in the performance of the work for which such permit is issued, I will not employ any person or persons in any manner to act in becoming subject to the provisions of the Labor Code of the State of California relating to workmen's compensation insurance.	Name _____ Branch _____ Street Address _____ City _____ State _____ Zip _____
Signature of Owner _____	

ADDITION ALTERATION REPAIR
 Present use of building Meat Plant Families _____ Rooms _____
 Proposed use of building Meat Plant Families _____ Rooms _____
 Site of existing building _____ Number of stories high _____
 Describe briefly all proposed construction work: Repair damage caused by fire. Replace burnt steel joist, sheathing & trim.
 Contractor (if any) W.A. Rose Co. Certified Architect
 Address 422-25th St
 Phone No. 444-6186 Licensed Civil Engineer
 State License No. 16060 City License No. 23057
 I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any way accrue against the City in consequence of the granting of this permit or from the use or occupancy of any structure, street or sidewalk, or otherwise by virtue hereof, and will file with the City a copy with the conditions under which this permit is granted.

APPROVAL REQUIRED BY STREET AND ENGINEERING DEPARTMENT:
There are no PROPOSED STREET OPENINGS, PUBLIC EASEMENTS OF RECORD
or
in this Department which are in conflict with this application.
REMARKS:

PLOT PLAN

STREET AND ENGINEERING DEPARTMENT

By _____ Date _____

FORMS OK

FIREPLACE OK

WIRE (EXT.) OK

LATH (INT.) OK

ROUGH OK

GYPSUM OK
PLASTER

6-6-69 RP OK TO PROT

FINAL OK *8-21-69 ME*

GENERAL REQUEST FORM

CITY OF OAKLAND
BUILDING AND HOUSING DEPARTMENT
Building Division

DATE 12-12-61 LOCATION 220 Albee St

REQUEST BY Elect Section ADDRESS Gen. Ambrose PHONE _____

OWNER'S NAME _____ ADDRESS _____ PHONE _____

INFORMATION RECEIVED see attached with show Gen.

Please investigate & inform Gen of your
findings

INFORMATION RECEIVED BY FPO

ROUTING

TO DEPUTY BUILDING INSPECTOR W. E. Lynch

ZONE _____ FIRE ZONE _____ OCCUPANCY _____ TYPE _____ STORIES _____ MAP NO. _____

REPORT ON INVESTIGATION AND ACTION TAKEN _____

All studs not listed
12-15-61 by F.P.O.

DATE OF REPORT _____ SIGNED _____ FOLLOW-UP DATE _____
ATTACH DATA TO THIS FORM IF ADDITIONAL EXPLANATION OF PROGRESS NECESSARY

FINAL DISPOSITION OF MATTER _____

DATE _____

SIGNED _____

Re 220 Albee St file

Talked to Joe Karen Gen. and over phone - the sub. (got to Cooper Ry. Co.

Karen need for permit with me showing Cooper over phone. He stated he thought it to an app. reviewed with current personal & ~~was not~~ seemed impression that since this was a Gen. Cont on pt he did not have to obtain a permit.

There apparently was a misunderstanding. Perhaps, ~~but~~ ~~got~~ ~~personal~~ ~~in~~ ~~the~~ ~~cont.~~ ~~was~~ ~~going~~ ~~to~~ ~~take~~ ~~out~~ ~~a~~ ~~permit~~.

Mr. Cooper said he was going to be in Monday morning to take out a city permit.

I explained how that there was a problem regarding the paving of concrete over fill which had elect. cables that were not reviewed by the elect. dept. He said that he had reviewed it with Mr. John Ambrose & everything is under control.

12-15-41 Fao

CITY OF OAKLAND
BUILDING AND HOUSING DEPARTMENT
JACK E. TAYLOR, ADMINISTRATOR

BUILDING DIVISION
LAWRENCE A. LANE
BUILDING INSPECTOR

CITY HALL
OAKLAND 12, CALIFORNIA
CRESTVIEW 3-9000

HOUSING DIVISION
ENRICO LA BARBERA
URBAN RENEWAL

April 29, 1965

Sun Roofing Co.
745 Kevin Court
Oakland, California 94621

Re: 247 - 3rd Street

*Roof Permit
23005
4/22/65
for
220 Alice St
Permit*

Gentlemen:

A recent inspection at the above address revealed that the building is being re-roofed without a permit from this office.

Please obtain a permit from this department as required by Section 301(a) of the Oakland Building Code.

It will be necessary that a double fee totaling \$6 be submitted with the application as required by Section 303(a) of the Code. Do not send in a permit from the Roofing Permit Book. If you will fill in the information on the bottom of this letter, with your check in the above amount, we will mail the permit to you.

If there are any questions, feel free to call Deputy Building Inspector Henry Holm, 273-3587 during the hour of 8:00 and 9:00 a.m., Monday through Friday.

Very truly yours,

PETER A. ORTOLJO
Supervising Building Inspector

Please note: City of Oakland permit WAS taken out. Job address is 220 Alice St Oakland - not 247 3rd St.

Please check your files for this Deputy Building Inspector permit. If there are any questions do not hesitate to call us. Mrs. B. Otterson

Name of owner Prime Smoked Meats

Type of roof covering _____

Cost _____

License numbers (City) _____ (State) _____

Phone number 4-3800

December 4, 1968

Cooper - Hawkins
2144 San Pablo Avenue
Berkeley, California 94702

Attention: Ivan Coop

Re: 220 Alice Street
Oakland, California

Gentlemen:

A recent inspection by Deputy Building Inspector Castain of the work being performed at the above address under Building Permit C45634 revealed that the following corrections are necessary:

1. The roof projects more than the maximum allowable four feet (Section 4504 Oakland Building Code)
2. The roof covering shall be fire-retardant. (Section 1603 and 1704 of the Oakland Building Code)

Please call this office for an inspection when the corrections have been completed.

If there are any questions, feel free to call Mr. Castain, 273-3582, between 8:00 and 9:00 a.m., Monday through Friday.

Very truly yours,

PETER A. ORIOLO
Supervising Building Inspector

By
W. CASTAIN
Deputy Building Inspector

WC:jb

January 9, 1969

Cooper-Haskins
2144 San Pablo Avenue
Berkeley, California 94702

Attention: Ivan Coop

Re: 220 Alise Street

Gentlemen:

A reinspection by Deputy Building Inspector Castain of the work being performed at the above address under Building Permit C45634 revealed that the following corrections are necessary and have not been completed as requested in our letter of December 4, 1968:

1. The roof projects more than the maximum allowable four feet (4'). Section 6504 Oakland Bldg Code.
2. The roof covering shall be fire-retardant. Section 1603 and 1704 Oakland Building Code.

Please have the corrections made within ten days from the date of this letter, after which time the permittee will be expected for compliance.

If there are any questions, feel free to call Mr. Castain, 273-3582, between 8:00 and 9:00 a.m., Monday through Friday.

Very truly yours,

PETER A. OSTOLLO
Supervisor, Building Inspector

By
W. CASTAIN
Deputy Building Inspector

WC:jb

February 19, 1969

CERTIFIED LETTER
RETURN RECEIPT REQUESTED

Cooper - Hawkins
2144 San Pablo Avenue
Berkeley, California 94702

Re: 220 Alice Street

ATTENTION: Ivan Coop

Dear Mr. Coop:

An inspection of your premises at the above address by Deputy Building Inspector Castain revealed that the work has not been completed as required by the Oakland Building Code.

A review of our letters of December 8, 1968 and January 9, 1969, will acquaint you with our concern in this matter.

Since the required work has not been performed, it becomes necessary for us to request that you or your representative come to the Building Division office, 11th floor, City Hall, on Wednesday, March 5, 1969, at 9:00 a.m., in order that we may review your responsibility and our concern in this matter.

Very truly yours,

PETER A. OSTOLJO
Supervising Building Inspector

By
W. CASTAIN
Deputy Building Inspector

WC:ls

Mr. Wm. H. Street

NO. 220 Miss Street

INSTRUCTIONS TO DELIVERING EMPLOYEE

Show to whom and date delivered Show to whom, date, and address where delivered Deliver ONLY to addressee
(Additional charges required for these services)

RECEIPT
Received the numbered article described below.

REGISTERED NO.	SIGNATURE OR NAME OF ADDRESSEE (Must always be filled in)
CERTIFIED NO. 480954	SIGNATURE OF ADDRESSEE'S AGENT, IF ANY <i>[Signature]</i>
INSURED NO.	
DATE DELIVERED 7/26/69	SHOW WHERE DELIVERED (only if requested)

R-269

Returned Receipt Received
2-27-69

^{file}
Re 220 Alice St.

Warren

Mr. Cooper phoned at 8:45
PM & said that plastic roof at
subject premises has been
replaced with a complying
roof. He was not able to
get at it soon because
of the weather.

He has requested a
final inspection.

3-5-69 Poo

c.c. file

March 14, 1969

Cooper - Hawkins
2184 San Pablo Street
Berkeley, California 94702

ATTENTION: Ivan Cooper

Re: 220 Alice Street

Dear Mr. Cooper:

A recent inspection of the work being performed at the above address under Building Permit C45634 revealed that the following corrections are necessary:

The mid roof covering shall be fire retardant. (Sec. 1603 and 1704)

The side roof covering of corrugated metal requires solid sheathing under the application. (Sec. 3203(d) 5.)

Please call this office for an inspection when the corrections have been completed.

If there are any questions, feel free to call Mr. Castain, 273-3582, between 8:00 and 9:00 a.m., Monday through Friday.

Very truly yours,

PETER A. ORTOLJO
Supervising Building Inspector

By
W. CASTAIN
Deputy Building Inspector

WC:ls

FIRE DAMAGE INVESTIGATION REPORT

City Of Oakland
Building and Housing Department
Building Division

Address: 220 ALICE ST Date: 5-28-69
Owner's Name: PRIME SMOKE MEAT-AL SOFTS Owner's Address: _____
Inspection Requested By: _____ Address: _____
Building Inspector: W. CASTAIN
Zone: M-40 Fire Zone: 2 Occupancy: F-2 Type: III N Stories: 1 Total No. of Units: _____
Occupancy: MEAT PROCESSING

Report

ROOF JOISTS, ETC

OK TO ISSUE

W.A. ROSE CO

W. Castain

5-28-69

CITY OF OAKLAND
BUILDING AND HOUSING DEPARTMENT

JACK E. TAYLOR, ADMINISTRATOR

CITY HALL
OAKLAND, CALIFORNIA 94612
271 3000

June 4, 1969

APR 15 1969
LAWRENCE A. LANE
DIRECTOR

APR 15 1969
EMILIO LA HERRERA
DIRECTOR

Cooper-Hawkins
2144 San Pablo Avenue
Berkeley, California 94702

Attention: Ivan Cooper

Re: 220 Alice Street
Oakland, California

Gentlemen:

A reinspection by Deputy Building Inspector Castain of the work being performed at the subject premises under Building Permit C45634 revealed that the work has not been completed as requested in our letter of March 14, 1969.

The following work required to be completed was noted in our previous letter:

1. The mid roof covering shall be fire retardant.
Section 1603 and 1704, Oakland Building Code
2. The side roof covering of corrugated metal requires solid sheathing under the application.
Section 3203(d)-5.

Please have the work completed within ten days from the date of this letter, after which time the premises will be reinspected for compliance.

If there are any questions, feel free to call Mr. Castain, 273-3582, between 8:00 and 9:00 a.m., Monday through Friday.

Very truly yours,

PETER A. ORTOLJO
Supervising Building Inspector

W. Castain by em

By
W. CASTAIN
Deputy Building Inspector

WC:jb

**COOPER-HAWKINS
REFRIGERATION & ENGINEERING CO.**

INDUSTRIAL CONTRACTING - SALES & SERVICE
AMMONIA - FREON - AIR CONDITIONING
2144 San Pablo Ave. • Berkeley 12, California

845-4225
June 30, 1969

RECEIVED

JUL 1 1969

Building and Housing Department
Building Division

Board of Examiners
Lawrence Lane
Oakland City Hall
Oakland, California

Subject: Variance for Roof over
Receiving Alleyway at 220
Alice Street.

Gentlemen:

We installed a roof over receiving alleyway at 220 Alice Street for the purpose of protecting meat products from rain during unloading from trucks to the building. The alleyway was not enclosed or in any other way altered.

Because it was a small job and it didn't affect the building except divert the rain from the alleyway to the roof of the existing building, we did not take out a permit.

The Building Inspection Department did note the addition and requested a permit. We made up our application and were told the fibre glass panels would have to be removed and corrugated iron substituted. However, the framing and structure was all right with one exception; that the roof was two feet over the sidewalk and would have to be shortened.

We removed the fibre glass panels, shortened the roof so that it was flush with the existing building and installed the recommended 22 gauge galvanized corrugated roof sheeting. Upon the subsequent inspection we were told that the corrugated sheeting would have to be removed and a plywood underlay would have to be installed. We requested information from the building department as to why this wasn't indicated on the approved plans and also the justification for a plywood underlay. The reply from the inspector was (1) an apparent slip-up in Engineering at the Building Department. (2) That solid sheeting was required to give the roof more support so that it could be walked upon.

We had four men walking on that roof during construction and we know that the roof with a 22 gauge corrugated metal is alot stronger than 3/8" sheeting that is normally used. We therefore, feel that a variance in this particular case is justified.

Very truly yours,

Ivan O. Cooper
Ivan O. Cooper

IOC:fmc

July 10, 1969

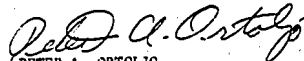
Memorandum to:

Lawrence A. Lane
Building Inspector

RE: 220 Alice Street, Oakland
(Item #2- July 24, 1969 Board of
Examiners and Appeals meeting)

It appears to me that there is no violation, in that I am not able to find in the Oakland Building Code where it is required to have solid sheeting under corrugated metal.

I also reviewed this with Warren Castain, and it appears that Section 3203 (d) paragraph 5 of the Code was interpreted incorrectly.


PETER A. ORTOLIO
Supervising Building Inspector

PAO:arc

July 14, 1969

Mr. Ivan O. Cooper
Cooper-Hawkins Refrigeration
and Engineering Company
2144 San Pablo Avenue
Berkeley, California 94702

RE: Variance for roof over receiving alleyway-
220 Alice Street, Oakland

Dear Mr. Cooper:

I have reviewed your June 30, 1969 request to the Board of Examiners and Appeals with reference to the subject property.

This, together with review of applicable sections of the Oakland Building Code, demonstrates that there is no need for application to the Board, since the corrugated metal roof, as constructed, is adequate.

Very truly yours,

LAWRENCE A. LANE
Secretary
Board of Examiners and Appeals

LAL:arc
Encis. (7)

CITY OF OAKLAND
 INSPECTORIAL SERVICES DEPARTMENT
 CITY HALL 11TH FLOOR
 14TH & WASHINGTON ST.
 OAKLAND, CALIF. 94612
 PHONE (415) 273-3291



PLMB 113 45.00
 MISC 113 .45
 SUBTOTAL 45.45
 CHECK 7L 45.45

PLUMBING PERMIT APPLICATION

THIS IS YOUR PERMIT WHEN PROPERLY
 FILLED OUT SIGNED & VALIDATED. 2

#30465 0001 R01 T1147
 09/23/83

BUILDING ADDRESS 220 Alice St.
TRACT BLOCK PAGE LOT PARCEL

OWNER
 NAME Prime Smoked Meats
 ADDRESS 220 Alice St.
 CITY Oakland

ARCH. ENGR.
 NAME LICENSE #
 ADDRESS PHONE
 CITY ST ZIP

CONTRACTOR
 I hereby affirm that I am licensed under provisions of Chapter 9 (commensurate with Section 7000) of Division 3 of the Business and Professions Code.
 LICENSE # 351329 CLASS C36 CITY BUSINESS TAX # 359173
 CONTRACTOR NAME Jim Bustos Plumbing
 ADDRESS 1373 Mound
 CITY Alameda CA ZIP 94501 PHONE 521-1516
 SIGNATURE Jim Bustos DATE

OWNER - BUILDER
 I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code. Any city, or county which requires a permit to construct, alter, improve, demolish, or any structure, prior to its issuance, also requires the applicant for such a permit to file a signed statement that he is licensed pursuant to the provisions of the Licensing Law Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, or that he is exempt therefrom and in any event Section 7031.5 by any applicant for a permit of not more than five hundred dollars (\$500).
 I, as owner of the property, or my agent, will do the work, and the structure if not otherwise provided for in the Contract, and I will be responsible for the work myself or through my own employees, provided that such improvement is not intended or offered for sale. If, however, the building or improvement is subsequently sold, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)
 I am exempt under Sec. B & P.C. for this reason:
 Signature Date

WORKERS COMPENSATION
 I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof (Sec. 2600, Lab. C.)
 Policy # 84665-00 9200 Company Name Royal Globe
 Certified copy is hereby furnished.
 Certified copy is filed with the county building inspection department
 Signature Jim Bustos Date Sept 28 83
 (This section need not be completed if the permit is for one hundred dollars (\$100) or less.)
 I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.
 Signature Date

LENDER
 I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)
 LENDER'S NAME
 LENDER'S ADDRESS

DATE ISSUED 9/23
PERMIT NUMBER 016552
 NEW REPAIR ADDITION
 MOVE ALTERATION OTHER
BUILDING PERMIT NUMBER: D30464

REMARKS:

PLUMBING	QUANTITY	UNIT PRICE	TOTAL
TOILETS RESET	1	5	5
BATHS			
BASINS RESET	1	5	5
SINKS			
SHOWERS			
LAUNDRY TRAYS			
FLOOR DRAINS	3	5	15
URINALS			
DRINKING FOUNTAIN			
AUTO CLOTHES WASHER			
AUTO DISH WASHER			
GARAGE DISPOSAL			
INTERIOR LEADERS			
AREA DRAINS			
STORM LINES TO CURB			
GREASE TRAP			
WATER ALTERATION	1	500	500
WATER SERVICE			
GAS OUTLETS			
GAS METERS (TEST)			
DRYERS			
RANGES			
WATER HEATERS			
CIRCULATING HEATERS			
FRYERS - STEAMERS			
COOKERS - BARBECUES			
LOG LIGHTERS			
GAS LIGHT - GAS TORCH			
BUNSEN BURNERS			
MISC. BURNERS (SMALL)			
FLUES			
VENTS (KIT - BATH)			
INDIRECT WASTES			
EJECTORS - SUMPS			
SEPTIC TANKS			
PHIVIES			
POOL - SPAS - HOT TUBS			
ROMAN TUB BAPTISTRIES			
FINE LINE CONNECTIONS			
PRESSURE REDUCING VALVE			
LAWN SPRINKLER ZONES			
BASIC FEE		45	45
SURCHARGE	1%	20	20
TOTAL		45.45	45.45

9/27 Called
 9/29 CALLED
 10/13 called

APPLICANT
 I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION GIVEN IS TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL LOCAL ORDINANCES AND STATE LAWS RELATING TO BUILDING CONSTRUCTION AND I MAKE THIS STATEMENT UNDER PENALTY OF LAW. I HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY/COUNTY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES. NOTICE: THIS PERMIT WILL EXPIRE BY LIMITATION IF WORK IS NOT STARTED IN _____ DAYS OR IF WORK IS ABANDONED FOR MORE THAN _____ DAYS DO NOT CONCEAL OR COVER ANY CONSTRUCTION UNTIL THE WORK IS INSPECTED AND THE INSPECTION IS RECORDED ON THE BACK OF THE JOB COPY OF THIS PERMIT. ALL INSPECTION REQUESTS ARE REQUIRED 24 HOURS IN ADVANCE OF THE INSPECTION.
 Contractor
 Owner
 Agent for
 Signature Jim Bustos Date 9-23-83
 Signature of Contractor or Agent

DATE	INSPECTION	INSPECTOR
9-23-83	UNDERGR. UND.	D. Bustos
10-13-83	ROUGH	D. Bustos
	GAS TEST	
	OK BLD-PGE	

PERMIT NO.

016552

ADDRESS

220 Alice St.

CITY OF OAKLAND
INSPECTIONAL SERVICES DEPARTMENT
 CITY HALL 11TH FLOOR
 14TH & WASHINGTON ST.
 OAKLAND, CALIF. 94612
 PHONE (415) 273-3231



MECHANICAL PERMIT APPLICATION

THIS IS YOUR PERMIT WHEN PROPERLY
 FILLED OUT SIGNED & VALIDATED.

BUILDING ADDRESS
 220 Alice Street

TRACT _____ BLOCK PAGE _____ LOT/PARCEL _____

OWNER
 NAME: Prime Smoked Meats
 ADDRESS: 220 Alice Street
 CITY: Oakland STATE: CA ZIP: _____

ARCH. ENGR.
 NAME _____ LICENSE # _____
 ADDRESS _____ PHONE _____
 CITY _____ ST _____ ZIP _____

DATE ISSUED 2/23/88 APPROVED BY [Signature]

NEW REPAIR ADDITION
 MOVE ALTERATION OTHER

BUILDING PERMIT NUMBER: _____

REMARKS:

CONTRACTOR
 LICENSE # AND CLASS: 429076 C20 CITY BUSINESS TAX # _____
 CONTRACTOR NAME: JENSON MECHANICAL EQUIPMENT
 ADDRESS: 44755-CGRIMMER BLVD
 CITY: Fremont STATE: CA ZIP: 94578-450-8277
 SIGNATURE: [Signature] DATE: 6-17-83

MECHANICAL	NO.	FEES	POST DATES
CENTRAL FURNACE			
DUAL UNIT HTG/CHG			
WALL FURNACE			
FLOOR FURNACE			11/30
UNIT HEATER			12/31
A. C. UNITS			
BOILERS			
DUCT HEATERS			
REGISTERS			
CONNECTORS			
PANELS - COILS			
FANS - BLOWERS	1	15.00	
HOODS (COOKING)			
FLUES			
VENTS (KIT - BATH)			
PIPING DAMPERS			
Smog Bag		30.00	
Exhaust Duct 3		12.00	
INCINERATORS			
KILNS			
CONVERSION BURN.			
INDUSTRIAL BURN			
FIREPLACE			

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7044.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).)

I, as owner of the property, or my employees with wages as their sole compensation will do the work, and the structure, not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law).

I am exempt under Sec. _____ B. & P.C. for this reason _____

Signature _____ Date _____

WORKERS' COMPENSATION
 I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.)
 Policy: Unigard Ins Company No: WC500634
 Certified copy is being furnished for the coming from ins. CO. Date _____
 Certified copy is filed with the city or filing inspection department.

(This section need not be completed if the permit is for over one hundred dollars (\$100) or less.)
 I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.
 Signature _____ Date _____

LENDER
 I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)
 LENDING NAME: _____
 ADDRESS: _____

APPLICANT
 I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION GIVEN IS TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL LOCAL ORDINANCES AND STATE LAWS RELATING TO BUILDING CONSTRUCTION AND I MAKE THIS PERMIT UNDER PENALTY OF LAW. I HEREBY AUTHORIZE REPRESENTATIVE OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES. NOTICE: THIS PERMIT WILL EXPIRE BY LIMITATION OF TIME IS NOT STARTED IN 180 DAYS OR IF WORK IS ABANDONED FOR MORE THAN 180 DAYS. DO NOT CONCEAL OR COVER ANY CONSTRUCTION UNTIL THE WORK IS INSPECTED AND THE INSPECTION IS RECORDED ON THE BACK OF THE JOB COPY OF THIS PERMIT. ALL INSPECTION REQUESTS ARE REQUIRED 24 HOURS IN ADVANCE OF THE INSPECTION.
 Owner
 Agent for Contractor
 Owner
 Signature: [Signature] Date: 6-17-83

Address of Agent: _____ CITY _____ STATE _____ ZIP _____ TELEPHONE _____

CHRYERS			
RANGES			
WATER HEATERS			
CIRCULATING HEATERS			
FRYERS - STEAMERS			
COOKERS BARBECUES			
LOG LIGHTERS			
GAS LIGHT - GAS TORCH			
BURNER BURNERS			
MISC. BURNERS (SMALL)			
(S.P.H.E.X.) INSPECTION			
GAS OUTLETS			
GAS METERS (TEST)			
BASIC FEE		40.00	
SUB TOTAL		97.00	
SURCHARGE	1%	97.00	
TOTAL		\$ 97.97	
DATE	INSPECTION	INSPECTOR	
UNDEVELOPED			
ROUGH			
GAS TEST			
GAS OK - OLD P.O.E			
FINAL			

PERMIT NO. 015133
 DISTRICT NO. 9
 ADDRESS 220 Alice St

CITY OF OAKLAND
 INSPECTIONAL SERVICES DEPARTMENT
 CITY HALL 11TH FLOOR
 14TH & WASHINGTON ST.
 OAKLAND, CALIF. 94612
 PHONE (415) 273-3461



BUILDING PERMIT APPLICATION

THIS IS YOUR PERMIT WHEN PROPERLY FILLED OUT, SIGNED, VALIDATED & FEES PAID.

BLDG 111 363.50
 MICR 111 7.27
 SHIP 913 5.60
 SUBTOTAL 376.37
 CHECK TL 376.37

L30464

#30395 C001 R01 T14:52

BUILDING ADDRESS: 220 ALICE ST OAKLAND
 TRACT: BLOCK PAGE LOT PARCEL
 NAME: PRIME SMOKED MEATS INC
 ADDRESS: 220 ALICE ST PHONE: 832-7167
 CITY: OAKLAND ST. CA ZIP: 94607
 NAME: STEVE CHRISTIAN AIA LICENSE #
 ADDRESS: 267 4TH ST PHONE: 833-1093
 LICENSE # AND CLASS: B-82540
 CONTRACTOR NAME: ERIC F. ANDERSON INC
 ADDRESS: 1033 YERBA BUENA CA 94602
 CITY: OAKLAND ST. CA ZIP: 94602 PHONE:
 SIGNATURE: [Signature] DATE: AUG 29, 1983

DATE ISSUED: SEP 22 1983 DATE FILED: 8/29/83
 NEW REPAIR ADDITION
 MOVE ALTERATION DEMOLITION
 OTHER

DESCRIBE BRIEFLY ALL PROPOSED CONSTRUCTION WORK.
 2ND STORY ADDITION AND MINOR REMODELING TO EXISTING MEAT PROCESSING PLANT. NEW AREA TO BE USED FOR NON-FOOD DRY STORAGE.

Plan Filed: YES Survey filed: NO
 Size of Bldg. X
 No. of Stories: 2 Number of Units: -
 Height at Highest Point: -
 Proposed Use of Bldg.: Meat Packing
 Present Use of Bldg.: -
 Number of Bldgs. on lot: -
 Use of eacn: -
 Lot Size: -
 TYPE OF BUILDING: I II III IV V F.R. H.T. I th N
 OCCUPANCY GROUP: A B2 E H I R M
 ZONING: R C M-30
 Roof Covering: -
 Exterior Wall: -
 Valuation of Proposed Work: \$80,000
 Include all labor and materials, all lighting, heating, ventilation, water supply, plumbing, electrical, fire sprinklers, elevator equipment therein and thereon.

VALUE:

B.P. Tax	\$	10.00
Checkng Fee	\$	218.10
TOTAL	\$	228.10
General Fee	\$	363.00
Checkng Fee	\$	7.27
Mic. Sur.	\$	5.60
SMIP	\$	
Address Fee	\$	
TOTAL	\$	376.37
Add'l Fee	\$	
Add'l Ch Fee	\$	
Add'l SMIP	\$	
Add'l Sur.	\$	
TOTAL	\$	

I hereby affirm that I am exempt from the Contractor's license law for the following reason (Sec. 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, or that he is exempt therefrom and the basis for the alleged exemption. A violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).
 I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure if not intended or offered for sale (Sec. 704, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended to be offered for sale. If, however, building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such project with a contractor(s) licensed pursuant to the Contractor's License Law.
 I am exempt under Sec. _____, B.P.C. for this reason _____
 Signature: [Signature] Date: [Date]

I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof (Sec. 3300, Labor Code).
 Policy #: 06966247 Company Name: Republic Indemnity
 Certified copy is hereby furnished.
 Certified copy is filed with the city building inspection department.
 Signature: [Signature] Date: 8-31-83
 (This section need not be completed if the permit is for one hundred dollars (\$100) or less.)
 I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.
 Signature: [Signature] Date: [Date]

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.
 I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 7077, Civil Code).
 LENDERS: NONE
 LENDERS ADDRESS:
 I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION GIVEN IS TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL LOCAL ORDINANCES AND STATE LAWS RELATING TO BUILDING CONSTRUCTION AND I MAKE THIS STATEMENT UNDER PENALTY OF LAW. I HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES. NOTICE: THIS PERMIT WILL EXPIRE BY LIMITATION IF WORK IS NOT STARTED IN 180 DAYS OR IF WORK IS ABANDONED FOR MORE THAN 180 DAYS. DO NOT CONCEAL OR COVER ANY CONSTRUCTION UNTIL THE WORK IS INSPECTED AND THE INSPECTION IS RECORDED ON THE BACK OF THE CITY COPY OF THIS PERMIT. ALL INSPECTION REQUESTS ARE REQUIRED 24 HOURS IN ADVANCE OF THIS INSPECTION.
 I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street or public way, or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.
 Contractor: [Signature] 8-31-83
 for Contractor Owner
 of Agent: [Signature] 8-31-83

OFFICIAL USE ONLY

HOUSING CONSERVATION	
FIRE MARSHAL	[Signature]
SPECIAL ACTIVITY NO.	
MOVING PERMIT NO.	
PORT OF OAKLAND	
PLUMBING PERMIT NO.	
HEALTH DEPT.	
BERA ITEM NO.	
HA&B RES. NO.	
ZONING & PLANNING NO.	6C
OTHER:	
APPLICATION APPROVED BY:	[Signature]
FIELD CHECK	SFS
FINAL INSPECTION	SFS

PERMIT NO. L30464
 INSPECTOR ADDRESS 220 ALICE ST.
 DATE FILED 8/29/83

APPROVAL REQUIRED BY OFFICE OF PUBLIC WORKS

There are no PROPOSED STREET OPENINGS, PUBLIC EASEMENTS OF RECORD

or in this Office which are in conflict with this application

REMARKS:

OFFICE OF PUBLIC WORKS

By: _____ DATE _____

FORBIS OK 11-1-83 SFB

Footings MERS (1) OK
9-23-83 SFB

0304/6

FIREPLACE

WIRE (EXT.) OK

RDL 11-15-83

LATH (INT.) OK

Ⓢ

ROUGH OK - Interior 11-2-83 SFB

GYPSUM BD. OR PLASTER OK

RDL 11-15-83

R/p Roof Nail 11-3-83 SFB

FINAL OK

12-27-83 SFB

R/p floor joists in
blow nail -- 10-25-83 SFB

11-8-83 Need revised plans
for stairs will const.
advise builder to check
if he needs to correct
knowledge of stairwell.
RDL

R/p floor nail on
11-11-83 SFB

OH
HLS

HALES TESTING LABORATORIES

TESTING & INSPECTION SERVICES

SAN FRANCISCO
BAY AREA
SAN JOSE



INT. 1210 ARLA CODE 415
TELEX. 126113
2126 FOLEY STREET
P.O. BOX 6124
HAYWARD, CALIFORNIA 94540

September 12, 1983

HTL NO.: 4015-1 M
LAB NO.: 3-8990

030964

RECEIVED

SEP 21 1983

Inspection Services, Inc.
Building Inspection

200 Webster Street Associates
c/o ICD Co.
100 Webster Street, Suite 103
Oakland, CA 94607

Attention: J. Sredaker

Gentlemen:

SUBJECT: Tensile Test of Two (2) 1/2"Ø Seven Wire
Prestressing Strands
Project: 200 Webster Street Office Building
Oakland, CA

On August 31, 1983, we received two (2) lots of seven wire prestressing strands, heat number P58-593 which were sampled by our inspector Kjell Aspy for subject testing. The results of the tests are as follows:

Coil No.	9	22	Min. Requirement A416 Gr. 270
Nominal Dia., In.:	0.500	0.500	
Nominal Area, Sq.In.:	0.1547	0.1547	
Yield Strength @ 1% Ext., Lbs.:	38200	38700	35100
Tensile Strength, Psi:	43000	43600	41300
Elongation in 24", %:	4.7	5.2	3.5
Modulus of Elasticity, Psi:	28.8x10 ⁶	29.2x10 ⁶	Information

Both samples meet the tensile requirements of ASTM A 416-74, grade 270 and the project specification.

Respectfully submitted,

HALES TESTING LABORATORIES

Staff Engineer

SJO:sa
lc: Hansen/Murakami/Eshima
lc: Robert Vanderbosch
lc: Coburn Construction
Jlc: Bldg. Inspection Dept., Oakland

Name of Job:

Address of Job:

Owner's name and address:

Name and address of owner's agent if one is engaged:

Special Inspector's name:

Address:

City:

State:

Zip code:

Telephone number:

License number:

(Please include the license number if the Special Inspector is a California licensed architect or a California registered civil or structural engineer.)

A resume of the Special Inspector's qualifications is required if he is other than a California licensed architect or a California registered civil or structural engineer. The resume is to include the Special Inspector's education, training, employment, and experience. The resume is to be attached to this format when forwarded to the Chief Building Inspector.

If the Special Inspector is relieved or discharged, he and/or his employer shall immediately notify the Chief Building Inspector.

Submitted by:

Owner (please type):

Owner's signature:

and/or

Owner's agent (please type):

Owner's agent's signature:

Date:

PAO/jhh

Hizle's Testing Lab -
23284 Foley ST
Hayward -
CALIFORNIA
94540
884-1430 -
D30469



CERTIFICATE OF CONFORMANCE

THE UNDERSIGNED MANUFACTURER HEREBY CERTIFIES that the products identified below and on attached sheets Nos. _____ are marked with the Collective Mark of the AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) and were manufactured in conformance with applicable provisions of American National Standard ANSI/AITC A190.1-1983, Structural Glued Laminated Timber, and that such manufacture has been at our plant in SPRINGFIELD, OREGON, which plant has a quality control system approved by the Inspection Bureau of the AMERICAN INSTITUTE OF TIMBER CONSTRUCTION and inspected periodically by such Bureau.

The manufacture of these members complies with the manufacturing and fabricating provisions of Chapter 25 of the Uniform Building Code.

JOB NAME: UNKNOWN (GLU LAM TIMBERS)
 JOB LOCATION: UNKNOWN
 CUSTOMER'S ORDER NO. 1343 DATE 9/1/83 MFGR'S ORDER NO. 1107-C

SIGNATURE [Signature] COMPANY ROSBORO LUMBER COMPANY
 TITLE QUALITY CONTROL ADDRESS 501 22ND STREET DATE 10/28/83

AITC HEREBY CERTIFIES that the said company at its said plant is licensed by the AMERICAN INSTITUTE OF TIMBER CONSTRUCTION to use the AITC Collective Mark in respect of products which comply with applicable provisions of said Standard, that the adequacy of the quality control system in effect at said plant is periodically inspected and verified by the Inspection Bureau of the AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, and that, in the judgment of AITC, said company is capable of complying with applicable manufacturing and testing provisions of said Standard in respect of products manufactured at said plant. Conformance with the Standard in respect of any specific or particular product is the sole responsibility of the manufacturer; AITC's guarantee hereunder being that the said company is qualified to produce a product meeting the said Standard and that its plant is periodically inspected and verified by the AITC Inspection Bureau.



AITC Certificate No. **01155 A**
 AMERICAN INSTITUTE OF TIMBER CONSTRUCTION

ERIC F. ANDERSON, INC.
 1033 Yerba Buena Ave. P. O. Box 8483
 OAKLAND, CALIFORNIA 94652

Phone 653-2226

TO CITY OF OAKLAND
INSPECTIONAL SERVICES DEPARTMENT
14TH AND WASHINGTON ST.
OAKLAND, CALIFORNIA

D30469
LETTER OF TRANSMITTAL

DATE	11-15-83	JOB NO.	1343
ATTENTION	MR. SPENCER M. BURLING		
RE:	PRIME SMOKED MEAT		
	220 ALICE ST.		
	OAKLAND		

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

- Shop drawings Prints Plans Samples Specifications
 Copy of letter Change order _____

COPIES	DATE	NO.	DESCRIPTION
			CERTIFICATE OF CONFORMANCE FOR THE GLU LAM TIMBERS THAT WERE USED AT THE PRIME SMOKED MEAT BUILDING 220 ALICE ST. OAKLAND.
			PER YOUR REQUEST
			RECEIVED
			NOV 15 1983
			Inspectional Services Dept Building Inspection

THESE ARE TRANSMITTED as checked below:

- For approval Approved as submitted Resubmit _____ copies for approval
 For your use Approved as noted Submit _____ copies for distribution
 As requested Returned for corrections Return _____ corrected prints
 For review and comment _____
 FOR BIDS DUE _____ 19 _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS _____

COPY TO _____ SIGNED: *[Signature]*

CITY OF OAKLAND
INSPECTIONAL SERVICES DEPARTMENT
 CITY HALL 11TH FLOOR
 14TH & WASHINGTON ST
 OAKLAND, CALIF. 94612
 PHONE (415) 273-3291



Name
MECHANICAL PERMIT APPLICATION

THIS IS YOUR PERMIT WHEN PROPERLY
 FILLED OUT SIGNED & VALIDATED.

PLMB 115 62.50
 MICR 115 .63
 SUSTOTAL 63.13
 CHECK TL 63.13
 AMOUNT DUE TO THE CITY 63.13

BUILDING ADDRESS *3-22-3016*
220 Alice St

OWNER *PRIME SMOKE MEATS*
 ADDRESS *220 ALICE STS 94612-7167*
 CITY *OAKLAND*

ARCH. ENGR. NAME _____ LICENSE # _____
 ADDRESS _____ PHONE _____
 CITY _____ ST _____ ZIP _____

CONTRACTOR LICENSE # *184480* CITY # *60891*
 CONTRACTOR NAME *Scott Co.*
 ADDRESS *1919 MARKET ST 94607 834-2333*
 CITY *OAK* ZIP *94612*
 SIGNATURE *MORRIS* DATE *5/26/82*

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code. Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law, Chapter 11 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).)

I, as owner of the property, or my employees with wages as the sole co-operator will do the work, and the structure, not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such project with a contractor's licensed pursuant to the Contractor's License Law.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such project with a contractor's licensed pursuant to the Contractor's License Law.

I am exempt under Sec. _____ B & P C. for this reason _____

Signature _____ Date _____

WORKERS COMPENSATION I hereby affirm that I have a certificate of contract to self-insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof (Sec. 1033, Lab. C.).
 Policy *on record* Company Name *on record*
 Certified copy is hereby furnished. Date *5/1/83*
 Certified copy is filed with the city building inspection department. Date _____
 Signature *MORRIS* Date *5-26-82*

WORKERS COMPENSATION (This section need not be completed if the permit is for one hundred dollars (\$100) or less.)
 I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.
 Signature *MORRIS* Date *5-26-82*

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LEADER I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).
 LENDER'S NAME _____
 LENDER'S ADDRESS _____

APPLICANT I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION GIVEN IS TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL LOCAL ORDINANCES AND STATE LAWS RELATING TO BUILDING CONSTRUCTION AND I MAKE THIS STATEMENT UNDER PENALTY OF LAW. I HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES. NOTICE: THIS PERMIT WILL EXPIRE BY LIMITATION IF WORK IS NOT STARTED IN 60 DAYS OR IF WORK IS ABANDONED FOR MORE THAN 180 DAYS. DO NOT CONSIDER OR COVER ANY CONSTRUCTION UNTIL THE WORK IS INSPECTED AND THE INSPECTION IS RECORDED ON THE BACK OF THE JOB COPY OF THIS PERMIT. ALL INSPECTION REQUESTS ARE REQUIRED 24 HOURS IN ADVANCE OF THE INSPECTION.
 Co-Operator
 Contractor
 Signature of Contractor Owner & Agent *Scott Co Oakland* CITY STATE ZIP TELEPHONE *834-2333 94612*
 DATE *5/26/82*

9
 DATE ISSUED *6/9/82* APPROVED BY *Name*
 NEW REPAIR ADDITION
 MOVE ALTERATION OTHER

BUILDING PERMIT NUMBER: _____
 REMARKS: _____

MECHANICAL	NO.	FEES	POST DATES
CENTRAL FURNACE			
DUAL UNIT HTG CHG	<i>2</i>	<i>15.00</i>	
WALL FURNACE			
FLOOR FURNACE			
UNIT HEATER			
A. C. UNITS			
BOILERS			
DUCT HEATERS			
REGISTERS			
CONVECTORS			
PANELS - COILS			
FANS - BLOWERS	<i>1</i>	<i>7.50</i>	
HOODS (COM)			
FLUES			
VENTS (KIT - BATH)	<i>4</i>	<i>8.00</i>	
FIRE DAMPERS			
<i>PHASES INV</i>	<i>4</i>	<i>30.00</i>	
INCINERATORS			
KILNS			
CONVERSION BURN			
INDUSTRIAL BURN			
FIREPLACE			

DRYERS			
RANGES			
WATER HEATERS			
CIRCULATING HEATERS			
FRYERS - STEAMERS			
COOKERS - BARBECUES			
LOG LIGHTERS			
GAS LIGHT - GAS TORCH			
BUNSEN BURNERS			
MISC. BURNERS (SMALL)			
(S.P.) HEAVY INSPECTION			
GAS OUTLETS	<i>2</i>	<i>2.00</i>	
GAS METERS (TESI)			
BASIC FEE	<i>1</i>	<i>10.00</i>	
SUB TOTAL		<i>62.50</i>	<i>62.50</i>
SURCHARGE		<i>1.63</i>	
TOTAL		<i>64.13</i>	
DATE	INSPECTION	INSPECTOR	
<i>6/11/82</i>	ROUGH	<i>Name</i>	
	GAS TEST		
	CAS OK - BLD. PAGE		
	FINAL	<i>Name</i>	

PERMIT NO. **010549**
 DISTRICT NO. **9**
 ADDRESS **220 Alice St**

OAKLAND REGIONAL SERVICES DEPARTMENT
 CITY OF OAKLAND
 14TH & WASHINGTON ST.
 OAKLAND, CALIF. 94612
 PHONE (415) 273-3441



SPEC INSP. STRUCTURAL WELDING BUILDING PERMIT APPLICATION

THIS IS YOUR PERMIT WHEN PROPERLY FILLED OUT, SIGNED, VALIDATED & FEES PAID.

BLDG 111 363.50
 FLOOR 111 7.27
 SMIP 913 5.64
 SUB TOTAL 376.37
 CHECK TL 376.37
 #22709 0001 001 109:09

BUILDING ADDRESS 220 ALICE
 TRACT _____ BLOCK PAGE _____ LOT PARCEL _____
 NAME A. Saxe (Prime Smoke Meats)
 ADDRESS 220 Alice PHONE 832-7167
 CITY ST. L. ZIP _____
 NAME G.T. Kuntz LICENSE # _____
 ADDRESS 656 Motaque PHONE 357-4320
 CITY S.L. ZIP 94577
 LICENSE # 194450 CITY BUSINESS TAX # 60881
 NAME MARKET ST ADDRESS 94607
 CITY OAK ZIP 94607
 SIGNATURE MORRIS DATE 5/13/82

D 2907 DATE ISSUED _____ DATE FILED 05/02/83
 NEW REPAIR ADDITION
 MOVE ALTERATION DEMOLITION
 OTHER

DESCRIBE BRIEFLY ALL PROPOSED CONSTRUCTION WORK.
Replace Burned out Roof Joists - with steel material

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).)

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I am exempt under Sec. _____, B&P.C. for this reason _____

Plan Filed Yes Survey filed No
 Size of Bldg. _____ X _____
 No. of Stories one Number of Units 0
 Height at Highest Point _____
 Proposed Use of Bldg. Smoke Meat House
 Present Use of Bldg. _____
 Number of Bldgs. on lot _____
 Use of each _____
 Lot Size _____

TYPE OF BUILDING I II III IV V F.R. H.T. 1 hr. N
 OCCUPANCY GROUP A B E H I R M
 ZONING R C M 3Ds
 Roof Covering _____
 Exterior Wall _____
 Valuation of Proposed Work \$ _____
 Include all labor and materials, all lighting, heating, ventilation, water supply, plumbing, electrical, fire sprinklers, elevator equipment therein and thereon.

VALUE:

B.R. Tax	\$ _____
Pl. Pl. Rev.	\$ _____
Checking Fee	\$ <u>218 10 45764</u>
TOTAL	\$ <u>363 50</u>
General Fee	\$ _____
Checking Fee	\$ _____
Mic. Sur.	\$ <u>7.27</u>
SMIP	\$ <u>5.60</u>

ADDITIONAL COST:

Address Fee	\$ _____
TOTAL	\$ <u>376.37</u>
Date	_____
Add'l Fee	\$ _____
Add'l Ch Fee	\$ _____
Add'l SMIP	\$ _____
Add'l Sur.	\$ _____
TOTAL	\$ _____

I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation insurance, or a certified copy thereof (Sec. 2600, Lab. C.).
 Policy # 1200041389 Date 5/1/82
 Certified copy is hereby furnished to the City of Oakland.
 Certified copy is filed in the City of Oakland.
 Signature MORRIS Date 5/13/82

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)
 I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.
 Signature MORRIS Date 5/13/82

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.
 I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).
 LENDERS NAME NONE
 LENDERS ADDRESS _____

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION GIVEN IS TRUE AND CORRECT; I AGREE TO COMPLY WITH ALL LOCAL ORDINANCES AND STATE LAWS RELATING TO BUILDING CONSTRUCTION AND I MAKE THIS STATEMENT UNDER PENALTY OF LAW. I HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROJECT FOR INSPECTION PURPOSES. NOTICE: THIS PERMIT WILL EXPIRE BY LIMITATION IF WORK IS NOT STARTED IN 180 DAYS OR IF WORK IS ABANDONED FOR MORE THAN 180 DAYS. DO NOT CONCEAL OR COVER ANY CONSTRUCTION UNTIL THE WORK IS INSPECTED AND THE INSPECTION IS RECORDED ON THE BACK OF THE JOB COPY OF THIS PERMIT. ALL INSPECTION REQUESTS ARE REQUIRED 24 HOURS IN ADVANCE OF THIS INSPECTION.

I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street or subsidewalk, or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.
 Signature MORRIS Date 5/13/82
 Owner Agent Contractor Other
 Signature of Contractor Owner or Agent _____ Date _____

5/13/82	HOUSING CONSERVATION	
	FIRE MARSHAL	
	SPECIAL ACTIVITY NO.	
	MOVING PERMIT NO.	
	PORT OF OAKLAND	
	PLUMBING PERMIT NO.	
5/13/82	HEALTH DEPT. <u>in restaurant of F&W</u>	
	DE&A ITEM NO.	
	HA&AB RES. NO.	
5-13-82	ZONING & PLANNING NO.	F&W
	OTHER	
6-2-83	APPLICATION APPROVED	
	BY <u>Castano</u>	
5-14-82	JOHN DEWEE FIELD CHECK	

PERMIT #22709 0001 001 109:09

ADDRESS 220 ALICE ST

DATE FILED 5/14/82

029107

Name of Job: ROOF RENOVATION - PRIME SMOCKED MEATS INC

Address of Job: 220 ALICE ST (AKLAND)

Owner's name and address: S Saxe 1 E AUBURN RD ALICE

Name and address of owner's agent if one is engaged: TRUITT CONST.

GENERAL CONTRACTOR 751 MIDWAY AVE OAKLAND

Special Inspector's name: G.T. KUNTZ CONSULTING ENGINEER

Address: 655 MIDWAY AVE

City: SAN LEANARD

State: CA

Zip code: 94577

Telephone number: 357-4330

License number: CIVIL ENGINEER 7321

(Please include the license number if the Special Inspector is a California licensed architect or a California registered civil or structural engineer.)

A resume of the Special Inspector's qualifications is required if he is other than a California licensed architect or a California registered civil or structural engineer. The resume is to include the Special Inspector's education, training, employment, and experience. The resume is to be attached to this format when forwarded to the Chief Building Inspector.

If the Special Inspector is relieved or discharged he and/or his employer shall immediately notify the Chief Building Inspector.

Submitted by:

Owner (please type):

Owner's signature:

and/or

Owner's agent (please type):

Owner's agents signature:

Date:

PAO/jhh
(Original 2/18/72)
(Revised 3/14/73, 7/8/74, 5/6/76,
2/23/78 and 11/26/80)

(PLEASE SEE OTHER SIDE)

CITY OF OAKLAND

INSPECTIONAL SERVICES DEPARTMENT
CITY HALL 11TH FLOOR
14TH & WASHINGTON ST.
OAKLAND, CALIF. 94612
PHONE (415) 273-3341



ELECTRICAL PERMIT APPLICATION

THIS IS YOUR PERMIT WHEN PROPERLY
FILLED OUT SIGNED & VALIDATED.

ELEC 112 26.25
MISC 112 .26
SUBTOTAL 26.51
CHECK TL 26.51
#46347 C001 R01 T13+26
05/24/82

BUILDING ADDRESS: 220 Alice, Oakland
TRACT BLOCK PAGE LOT PARCEL

CONTRACTOR: Prime Smoked Meats Co
ADDRESS: 220 Alice, Oakland, CA 94612
PHONE: 832-7167
CITY: OAKLAND ST. CO. ZIP: 94612
LICENSE #: 103394 CITY BUSINESS TAX #

CONTRACTOR NAME: CALIFORNIA ELECTRIC COMPANY
ADDRESS: 3015 Adeline St., Oakland, Calif. 94608
PHONE: 655-8100

SIGNATURE: [Signature] DATE: 5/11/82

OWNER: I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code; The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)

COMPANY: PR-13698 Zenith Insurance Co.
Certified copy is hereby furnished.
Certified copy is filed with the building inspection department.
Signature: Frank P. [Signature] Date: 5/14/82

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions of this permit; it shall be deemed revoked.

APPLICANT: I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).
Signature: Frank P. [Signature] Date: 5/14/82

DATE ISSUED: 5-24-82 APPROVED BY: [Signature]

NEW REPAIR ADDITION
 MOVE ALTERATION DEMOLITION
 OTHER

REF.	DESCRIPTION	NO.	EACH	FEES
15	SERVICE			
16	METERS (EXTRA)			
17	CIRCUITS	5	1.92	5.26
2	APARTMENTS			
18	OUTLETS (ROUGH)			
21	FIXTURES	3	0.50	1.50
22	SWITCHES	2	0.25	0.50
23	RECEPTACLES	1	0.25	0.25
3	RANGE			
4	DRYFR			
4	RANGE TOP			
4	OVEN			
5	FAN (EXHAUST)			
6	DISPOSAL			
6	DISHWASHER			
7	AIR CONDITIONER			
24	HEATERS (AIR)			
24	HEATERS (WATER)			
29	FURNACE			
14	SWIMMING POOL			
8	BEVERAGE CASE			
8	FREEZER CASE			
12	VEGETABLE CASE			
9	DENTAL UNIT			
11	STERILIZER			
10	GASOLINE DISP.			
13	MOTION PICTURE MACH.			
26	SIGN (NEW)			
27	SIGN (EXISTING)			
28	OUTLINE LIGHTING			
30	MOVED BLDG.			
31	SERVICE (TEMPORARY)			
32	MISC. APPARATUS			
	Meters 1811P	3	.50	9.00
1	APPLICATION FEE			5.10
	SUB TOTAL			26.25
5	MINIMUM FEE			
33	SURCHARGE 1%			.26
	GRAND TOTAL			26.51

DATE: _____ INSPECTION: _____ INSPECTOR: _____

UNDERGROUND
 ROUGH
 UTILITY NOTIFIED

CONTRACTOR'S LICENSE # 103394
 CITY BUSINESS TAX #
 CONTRACTOR NAME: CALIFORNIA ELECTRIC COMPANY
 ADDRESS: 3015 Adeline St., Oakland, Calif. 94608
 PHONE: 655-8100
 SIGNATURE: [Signature] DATE: 5/11/82
 OWNER'S SIGNATURE: [Signature] DATE: 5/14/82
 APPLICANT'S SIGNATURE: [Signature] DATE: 5/14/82

PERMIT NO. 99930
 DISTRICT NO. 4
 ADDRESS 220 Alice

G. T. KUNTZ

CONSULTING ENGINEER

655 MCNTAGUE AVENUE, SAN LEANDRO, CALIFORNIA 94577

TELEPHONE 415 357-4330

June 27, 1983

Oakland City Hall
Inspectional Services Department
Building Inspection-Room 1123
1421 Washington Street
Oakland, CA 94612

Attn: Mr. James W. Bartham
Chief Building Inspector

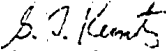
PROJECT: Prime Smoked Meats
PROJECT ADDRESS: 220 Alice St.
Oakland
BLDG. PERMIT NO. D29107

Gentlemen:

This is to certify that in accordance with Section 306 of the Oakland Building Code we have provided special inspection of the structural welding for the subject project.

This inspection was performed by the undersigned. To the best of my knowledge the work was in conformance with the approved plans and specifications and the requirements of the Oakland Building Code.

Yours very truly,



G. T. Kuntz P. C. No. 7321

cc

CITY OF OAKLAND

CITY HALL • 510 AND WASHINGTON STREETS • OAKLAND, CALIFORNIA 94612

Official Public Works

June 7, 1983

Scott Company of California
1919 Market Street
Oakland, California 94607

Re: 220 Alice Street

Gentlemen:

A recent inspection by Building Inspector Spencer Burling of the work being performed at subject premises under Building Permit No. D29107 revealed that the following is still required:

Special Inspector's Report for structural welding

When the above requirement has been met, please call this office for an inspection.

If there are any questions, feel free to call Mr. Burling at 273-3441 between 8:00 and 9:00 a.m. any week day.

Very truly yours,

PETER A. ORTOLJO
Supervising Building Inspector

SPENCER BURLING
Building Inspector

SB:hn