

Location:	419 4 th Street (See map on reverse)
Assessor's Parcel Number:	001 -0139-015-00
Proposal:	Modification of an existing one-story warehouse building to construct a seven-story 69-unit mixed-use building.
Applicant:	Mark Donahue, Lowney Architecture
Owner:	Dodwell Company, Inc.
Planning Permits Required:	Regular Design Review for modification of an existing one-story warehouse (front façade to remain) and construct a seven story 69-unit mixed use building. Conditional Use Permit for density.
General Plan:	EPP - Retail Dining Entertainment - 2
Zoning:	C-45 Community Shopping Commercial Zone / S-4 Design Review Combining Zone
Environmental Determination:	Determination Pending, Environmental analysis to be conducted prior to any discretionary action.
Historic Status:	Potentially Designated Historic Property (PDHP). Area of Primary Importance (API): Produce District. OCHS Rating Dc1+ "Noodle Factory" .
City Council District:	3
Status:	Under Review
Action to be Taken:	Receive public and Landmarks Preservation Advisory Board comments on the design .
For Further Information:	Contact Case Planner Jose M. Herrera-Preza at 510-238-3808 or by e-mail jherrera@oaklandca.gov

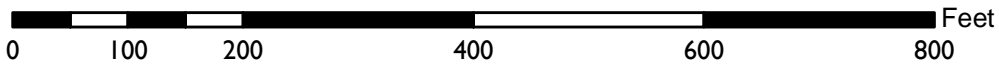
SUMMARY

Staff seeks input and design recommendations regarding the applicant’s proposal to modify an existing one-story warehouse building on the Local Register of Historical Resources, while preserving the original commercial façade and at least 25 percent of the wall area. The addition would be above and behind the existing ground floor facade and result in a seven-story, 68-dwelling unit, 80-foot-tall mixed-use building.

The project is located the Estuary Policy Plan’s Jack London District. The building is within the edge of and a contributor to the Produce Market District Area of Primary Importance (API), which is on the Local Register of Historic Places and recorded in the State Inventory as appearing eligible for the National Register of Historic Places. Its individual Oakland Cultural Heritage Survey (OCHS) rating is Dc1+, reflecting moderate alterations and API contributor status. Signs identify the occupant since 2015 as “HL Noodle Inc.”

As the project involves a California Environmental Quality Act (CEQA) historic resource per Policy 3.8 of the General Plan’s Historic Preservation Element, further historical analysis is needed to determine whether the project would have a significant effect either on the existing building or the API. However, this analysis cannot begin until an agreed upon design has been established. The Board’s comments are solicited at this meeting on both the anticipated effects and the current design proposal.

LANDMARKS PRESERVATION ADVISORY BOARD



Case File: PLN20137

Applicant: Mark Donahue, Lowney Architecture

Address: 419 4th Street

Zone: C-45/S-4

SITE DESCRIPTION

The property is a flat, rectangular, 13,986 square-foot, midblock parcel containing a one-story 1922 warehouse building currently occupied by a noodle processing facility. The site is on the south side of 4th Street, at the west edge of the Produce Market API. It is flanked by the locally designated Buswell Block building at 322 Broadway on the west, in the Lower Broadway ASI, and a two-story Produce Market District contributor at 415 4th Street on the east. The site is across 4th Street from the Alameda County Probation Center at 400 Broadway. The Produce Market API's industrial character is continued east of Webster Street by the separate and larger Waterfront Warehouse District API (on the National Register, at the request of its property owners) that extends from Webster to Jackson and 2nd to 5th. The Waterfront Warehouse District is on the National Register of Historic Places.

History and Context - Historic Background

Produce Market District

The project site is at the west end of the Oakland Produce Market District API. The district occupies portions of seven city blocks between Broadway and Webster and between the Embarcadero (1st Street and Southern Pacific tracks) and the Nimitz Freeway (5th Street). The district is centered on the original market buildings at 3rd and Franklin Streets. Western Pacific railroad tracks historically crossed the district on 3rd Street. Of the 27 buildings included in the district, all low-rise warehouses or produce related, five Designated Historic Properties (DHPs) are components of the original Fruit and Produce Realty (F&PR) Co. complex at 3rd and Franklin that establishes the district's character, 16 more are classified as contributing, three as noncontributing, and three as potential contributors when older or restored. Architecturally, the API's unique feature, and its physical and historical centerpiece, is the 1916-17 complex of one-story canopied, screen-fronted, concrete and stucco market buildings designed by Charles McCall for the Fruit and Produce Realty Company.

Surrounding the F&PR Co. buildings, other contributing buildings in the district are a mix of utilitarian warehouse, garage, and storefront styles, often adapted for produce market use with the wide bays and metal sidewalk canopies that define the district. Buildings in the district include the 1920's ornamental pressed brick storefront style adapted to market and warehouse use (400-14 and 416-26 3rd, 424 2nd, 116-26 Broadway), and the one-story garage with wide openings and shaped parapet such as the subject building at 419-35 4th Street.

419-435 4th Street, Subject Building

The proposed site is in the group of properties surrounding the F&PR Co. buildings. It is a one-story reinforced concrete and stucco garage building on an interior lot, 16 feet high, with a north-facing skylit sawtooth roof. Its facade consists of six bays separated by full-height paneled pilasters with stepped-pyramid tops and diamond patterns high on the panels. End bays have low gabled parapets, and parapet spandrels on all bays have plain panels with painted signs. Except where interrupted by three tall rolling doors, half a bay wide, each bay has a high transom with vertical mullions. Most bays have been partly or completely bricked in with smaller doors and windows. Bays were originally alternating store and garage entries. The rear of the building abuts 416-26 3rd Street, a former Lucky supermarket warehouse. For a time, these two buildings were connected.

According to permit 65760, issued December 10, 1921, 419 4th Street was built as a garage - including a machine shop and "garage laundry" - for the Bruzzone Estate, costing \$20,000, designed by engineer R. Vane Woods, who a year later designed the back-to-back 416-26 3rd Street warehouse for Hyman Davis. Directories through the 1920's identify it as the Merchant's Garage of James Doyne, J.A. Whitton, and E.J. Monni. The building's use became food oriented in the 1940's, as a warehouse for wholesale fish and wholesale groceries.

Despite the alterations, this is a good example of 1920's utilitarian construction. Its design and original use reflect the general industrial/warehouse history of the waterfront, and subsequent food related uses tie it to the produce district. The use by Lucky reflects the development of the supermarket as a system of food distribution parallel to and competing with that of the old-style, specialized produce merchants in the Franklin Street market. Therefore, the building is a contributor to the district

PROJECT DESCRIPTION

The proposed project would create a series of alterations and additions to the existing 11,527 square-foot commercial warehouse building. Alterations consist of removing the saw-tooth roof, the two off-street side walls and the rear wall. The front façade would remain and be integrated into the proposed development. The project would construct a total of seven stories behind and above the remaining front wall. The ground floor would contain 41 parking spaces (8,263 square-feet), a 1,422 square-foot commercial space, and 472 square-feet of residential amenities. Floors 2-7 would consist of 68 residential units divided into two detached towers separated by an "air canyon" designed to minimize the bulk of the building and allow each unit to have an entry from the exterior. The air canyon would be connected by a series of balconies. Floor 8 would consist of rooftop open space.

The preserved front wall of the building would be restored through the addition of clerestory windows, transom band glass, and restoration of the concrete ornamentation. The existing garage bays would be converted into commercial storefronts and ingress/egress points to the building. The proposal would consolidate the existing four curb cuts into one 25-foot curb cut. The existing façade and upper-story setback would distinguish the base of the building from the upper stories. The upper stories would be contemporary in style with industrial references and set back five feet from the ground floor façade.

GENERAL PLAN ANALYSIS

Applicable policies are found in the Estuary Policy Plan, the Land Use and Transportation Element, and the Historic Preservation Element.

Estuary Policy Plan

The subject site is located in the Lower Broadway within the Central Jack London District of the Estuary Policy Plan (EPP). (Note that what the EPP maps as the "Produce District" is only the central Fruit & Produce Realty group, not the Produce Market API.) The overall intent of the plan is: "to reinforce the Jack London District as the East Bay's primary dining and entertainment venue, by promoting mixture of retail, dining, entertainment and visitor servicing uses to significant gathering places". Specific goals for the Lower Broadway and Produce District area are as follows:

Lower Broadway

- *Encourage redevelopment and intensification of 100, 200, 300 and 400 blocks as entertainment (music and cinema) and dining destinations.*
- *Enhance 400 block and under-freeway blocks as gateways to Jack London Square (street kiosks, public art, enhanced streetscape etc.)*

Produce District

- *Preserve and rehabilitate existing buildings/awnings for food-oriented retail, galleries, small offices, and live-work uses.*
- *Stage weekly farmer's markets along Franklin Street to maintain produce identity and role of district.*

The site is in the Retail Dining Entertainment - 2 EPP Classification, which has a maximum nonresidential floor area ratio (FAR) of 7.0 and maximum residential density of one unit per 261 square feet of lot area. As referenced, the subject site is within the Produce Market API and has been identified as a contributor to the adjacent Produce Market Historic District, which has a maximum nonresidential FAR of 1.0 and maximum density of one unit per 1,089 square feet of lot area (see attachment B).

The proposal to construct a mixed-use building is consistent with the intent of the EPP's Jack London/Lower Broadway district and meets the policies (noted below) through residential intensification and the addition of ground floor commercial spaces.

Policy JL – 1.2: Intensify Phase 1 of Jack London Square. Phase 1 portion of Jack London Square is between Clay Street and Webster Street.

Policy JL – 4: Preserve the historic character of the Produce District and encourage activities that create a viable urban mixed-use district.

Policy JL -4.1 Encourage the sensitive rehabilitation and adaptive reuse of existing buildings.

Policy JL – 4.2: Provide for a mix of new uses in the Produce District.

Land Use and Transportation Element of the General Plan (LUTE)

The project conforms to the following LUTE Policies and Objective:

Policy I/C2.2 Reusing of Abandon Buildings.

The reuse of abandoned industrial buildings by non-traditional activities should be encouraged where the uses are consistent with and will assist in the attainment of, the goals and objectives of all elements of the Plan.

Policy D1.11 Supporting the Jack London District

The continuing commercial growth and success of Jack London Square should be supported and linkages such as the Bay Trail, bicycle lanes, and pedestrian walks to downtown Oakland and the airport should be improved.

Policy I/C3.2 Enhancing Business Districts

Retain and enhance clusters of similar types of commercial enterprises as the nucleus of distinctive business districts, such as the existing new and used automobile sales and related uses through urban design and business retention efforts.

Policy I/C3.4 Strengthening Vitality.

The vitality of existing neighborhood mixed use and community commercial areas should be strengthened and preserved.

Policy D10.6 Creating Infill Housing.

Infill housing that respects surrounding development and the streetscape should be encouraged in the downtown to strengthen or create distinct districts.

Historic Preservation Element

The Historic Preservation Element sets out a hierarchy of historic properties based on Survey ratings and local, state, and federal designations. About 20% of Oakland's buildings are classified as Potential Designated Historic Properties (PDHPs) which "warrant consideration for possible preservation" (HPE Policy 1.2). About 2% to 3%, individually or as district contributors, make up Oakland's Local Register of Historical Resources, the most significant properties as defined for CEQA and other regulatory purposes. These are properties individually rated A or B, formally designated, or within Areas of Primary Importance i.e. National Register quality districts.

The existing building is a PDHP and on the Local Register as a contributor to an API. The project affects both the individual building and the API. As such, the policies and goals of the General Plan's Historic Element apply to the project including the following:

- Policy 3.1 – Avoid of Minimize Adverse Historic Preservation Impacts Related to Discretionary City Actions - The City will make all reasonable efforts to avoid or minimize adverse effects on the Character-Defining Elements of existing or Potential Designated Historic Properties which could result from private or public projects requiring discretionary City actions.
- Policy 3.5 – Historic Preservation and Discretionary Permit Approvals - For additions or alteration to Heritage Properties or Potential Designated Historic Properties requiring discretionary City permits, the City will make a finding that: (1) the design matches or is compatible with, but not necessarily identical to, the property's existing or historical design; or (2) the proposed design comprehensively modifies and is at least equal in quality to the existing design and is compatible with the character of the neighborhood; or (3) the existing design is undistinguished and does not warrant retention and the proposed design is compatible with the character of the neighborhood.

ZONING ANALYSIS

The subject property is located within the C-45 Community Shopping Commercial Zone / S-4 Design Review Combining Zone. The intent of the C-45 Zone is: “to create, preserve, and enhance areas with a wide range of both retail and wholesale establishments serving both long- and short-term needs in compact locations oriented toward pedestrian comparison shopping, and is typically appropriate to commercial clusters near intersections of major thoroughfares.” The C-45 Zone does not have a general height limit but does have a 7.0 FAR. The base allowable density is one unit per 300 square-feet of lot area.

The S-4 Design Review Combining Zone requires approval for construction pursuant to the design review procedure in Chapter 17.136 of the Planning Code.

Planning Permits Required

The construction of residential units requires Regular Design Review approval pursuant to Planning Code Sections 17.101G.020 and 17.136.050 and is subject to the following Design Review Criteria:

Section 17.136.050. A – Regular Design Review Criteria (Residential Facilities)

1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures;
2. That the proposed design will protect, preserve, or enhance desirable neighborhood characteristics;
3. That the proposed design will be sensitive to the topography and landscape;
4. That, if situated on a hill, the design and massing of the proposed building relates to the grade of the hill;
5. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

Section 17.136.050(C) For Local Register Properties that are not Landmarks or located in the S-7 or S-20 Zone

1. That for additions or alterations, the proposal will not substantially impair the visual, architectural, or historic value of the affected site or facility. Consideration shall be given to design, form, scale, materials, texture, lighting, landscaping, Signs, and any other relevant design element or effect, and, where applicable, the relation of the above to the original design of the affected facility.

Demolition

Staff requests a recommendation from the LPAB regarding whether the proposal constitutes a demolition of the existing building per the Zoning Code Bulletin entitled: “How much of a building can be removed and still be considered existing” (see attachment C). The following passage from this bulletin describes the process and criteria for which the LPAB can make a recommendation to staff:

For buildings or structures...that are also properties with Oakland Cultural Heritage Survey ratings that would be subject to the Demolition Findings pursuant to Section

17.136.075 of the Planning Code, a recommendation on the Determination shall be made by the Landmarks Preservation Advisory Board (LPAB) on a case-by-case basis on whether the proposal results in a demolition subject to the Demolition Findings. The LPAB recommendation shall take into account the effect of the proposal on the features of the building that make up its historic significance or character defining features and whether remaining building components would continue to convey the historic significance or character in the overall context of the development proposal.

Staff does not believe the proposal should be considered a demolition due to the several factors including the location of the property and the retention of historic significant façade. As mentioned in the site description the parcel is a mid-block interior parcel, so the walls to be removed are not visible from the street or have any architectural distinction. The front façade contains most, if not all, the historic features of the district and conveys the historic significance of the API. The applicant proposes to demolish no more than 75 percent of the exterior walls and the walls proposed for demolition will not be seen by the public because the building is adjacent to neighboring buildings each side. The preservation of the front façade will continue to convey the historic significance and maintain the cultural fabric of the API.

If the project is considered a demolition, it would be required to meet the following findings:

1. The applicant demonstrates that: i) the existing property has no reasonable use or cannot generate a reasonable economic return and that the development replacing it will provide such use or generates such return, or ii) the applicant demonstrates that the structure constitutes a hazard and is economically infeasible to rehabilitate on its present site. For this criterion, a hazard constitutes a threat to health and safety that is not immediate; and
2. It is economically, functionally, architecturally, or structurally infeasible to incorporate the historic structure, or existing structure in the CIX-1A Zone, into the proposed development.
3. The design quality of the replacement structure is equal/superior to that of the existing structure; and
4. The design of the replacement project is compatible with the character of the district, and there is no erosion of design quality at the replacement project site and in the surrounding area. This includes, but is not necessarily limited to, the following additional findings:
5. The replacement project is compatible with the district in terms of massing, siting, rhythm, composition, patterns of openings, quality of material, and intensity of detailing;
6. New street frontage includes forms that reflect the widths and rhythm of the facades on the street and entrances that reflect the patterns on the street;
7. The replacement project provides high visual interest that either reflects the level and quality of visual interest of the district contributors or otherwise enhances the visual interest of the district;
8. If the design contrasts the new to the historic character, the replacement project enriches the historic character of the district;
9. The replacement project is consistent with the visual cohesiveness of the district. For the purpose of this item, visual cohesiveness is the architectural character, the sum of all visual

aspects, features, and materials that defines the district. A new structure contributes to the visual cohesiveness of a district if it relates to the design characteristics of a historic district. New construction may do so by drawing upon some basic building features, such as the way in which a building is located on its site, the manner in which it relates to the street, its basic mass, form, direction or orientation (horizontal vs. vertical), recesses and projections, quality of materials, patterns of openings and level of detailing. When a combination of some of these design variables are arranged in a new building to relate to those seen traditionally in the area, but integral to the design and character of the proposed new construction, visual cohesiveness results; and

10. The replacement project will not cause the district to lose its current historic status.

Development Standards

The following table describes key development standards for the project.

Regulation	Required	Proposed
Maximum Residential Density	1 unit per 300 square-feet of lot area.	1 unit per 150 square-feet of lot area.
Maximum Floor Area Ratio	7.0	7.0
Maximum Height	No prescribed maximum	78'-8"
Minimum Usable Open Space	150 per unit. – 10,350 square-feet	10,361
Minimum Parking	1 space per unit or 69 spaces. The applicant provided...which reduces the requirement to...	41 includes 50% reduction.

Landmarks Board Review

Prior to project approval, the following projects require a hearing in front of the LPAB for its recommendations and/or advice to the decision-making body:

1. Any construction of a new principal building in an API;
2. An addition to an API contributor when required by Subsection 17.136.055.B.2.f.
3. With the exception of additions that are not visible from a street or other public area, projects in an API that would result in a building taller than the character-defining height of the district, if any. Districts with a character-defining height and their character-defining height levels are designated on the zoning maps. An addition is considered "visible from a street or other public area" if it is located within the "critical design area," defined as the area within forty (40) feet of any street line, public alley, public path, park or other public area.
4. New construction or an addition to a building when required by Subsection 17.136.055.B.3.d.
5. Any proposal involving a Local Register Property that requires Regular Design Review approval

The proposal is required to appear before the Landmarks Preservation Advisory Board for a recommendation prior to a decision being made upon the application involving a Local Register Property that requires Regular Design Review approval. The project is also subject to a Conditional Use Permit to allow parking areas within 75 feet of the front property line.

ENVIRONMENTAL DETERMINATION

An analysis of the project's compliance with CEQA has not been completed. Analysis may be expected to include the effect of the modification of this API contributor both on the individual Local Register building and on the overall integrity of the district, with reference to the Secretary of the Interior's Standards.

KEY ISSUES

Barring anything to the contrary in the CEQA historic analysis yet to be prepared, staff believes that the project has some challenges to be consistent with the API in terms of setting, architectural context, and scale, but is compatible with the materials and quality, rhythm, composition, patterns of openings, and intensity of detailing. The design is a simple and classic interpretation of a mixed-use building typically found along a commercial corridor. The only part of the building that retains the character defining details of the existing building would be the proposed ground floor façade, which preserves and restores its historic ornamentation. The upper stories clearly distinguish itself from the ground floor in vocabulary and materials and incorporate design elements to reduce the perceived visual bulk through a mixture of setback, detailing, materials, and colors.

Staff requests input on whether the project meets the required design review findings (see above) and the following:

Step back. What is the recommended distance from the existing façade to the new construction to create a visual distinction between the two forms while contextually maintaining the one-story API context? The applicant has incorporated a 5'-8" step back to be used as private open space for the units on the 2nd floor.

Scale. The building would be the tallest on the block by at least five stories. Staff requests input regarding whether the proposed design sufficiently reduces the scale of the building through upper story step back and differentiation between the ground floor and upper stories in terms of materials and architectural treatments.

Windows. The 4th Street elevation uses standard window sizes for the majority of the facade and contains significant windowless area. Incorporation of floor to ceiling windows, symmetry in window size, deep window recess, and greater proportion of window area would be more reflective of the warehouse district.

Materials/Design.


- The proposed materials of the upper stories should differentiate from the historic building but also be reflective of the surrounding context.
- A thick metal cornice top to the building would provide a clear terminus to the building.
- The materials and design of the proposed building should connect to the district rhythm and forms to visually integrate the tower.

Overall, staff believes the proposed building design attempts to relate to the existing building and API yet is not faux historic, and gives a complementary contemporary feel to the architecture vocabulary of the project.

RECOMMENDATIONS:

1. Receive any testimony from the applicant and/or interested parties.
2. Provide direction and recommendations to staff and the applicant regarding Historic Resources.
3. Make a recommendation to staff regarding whether the proposal constitutes a demolition of the existing building.

Prepared by:



Jose M. Herrera-Preza
Planner III

Reviewed by:



Robert Merkamp
Zoning Manager

ATTACHMENTS:

- Attachment A: Plans, dated August 21, 2020 & January 22, 2021
- Attachment B: Estuary Policy Plan District Map
- Attachment C: Zoning Code Bulletin Dated June 18, 2019

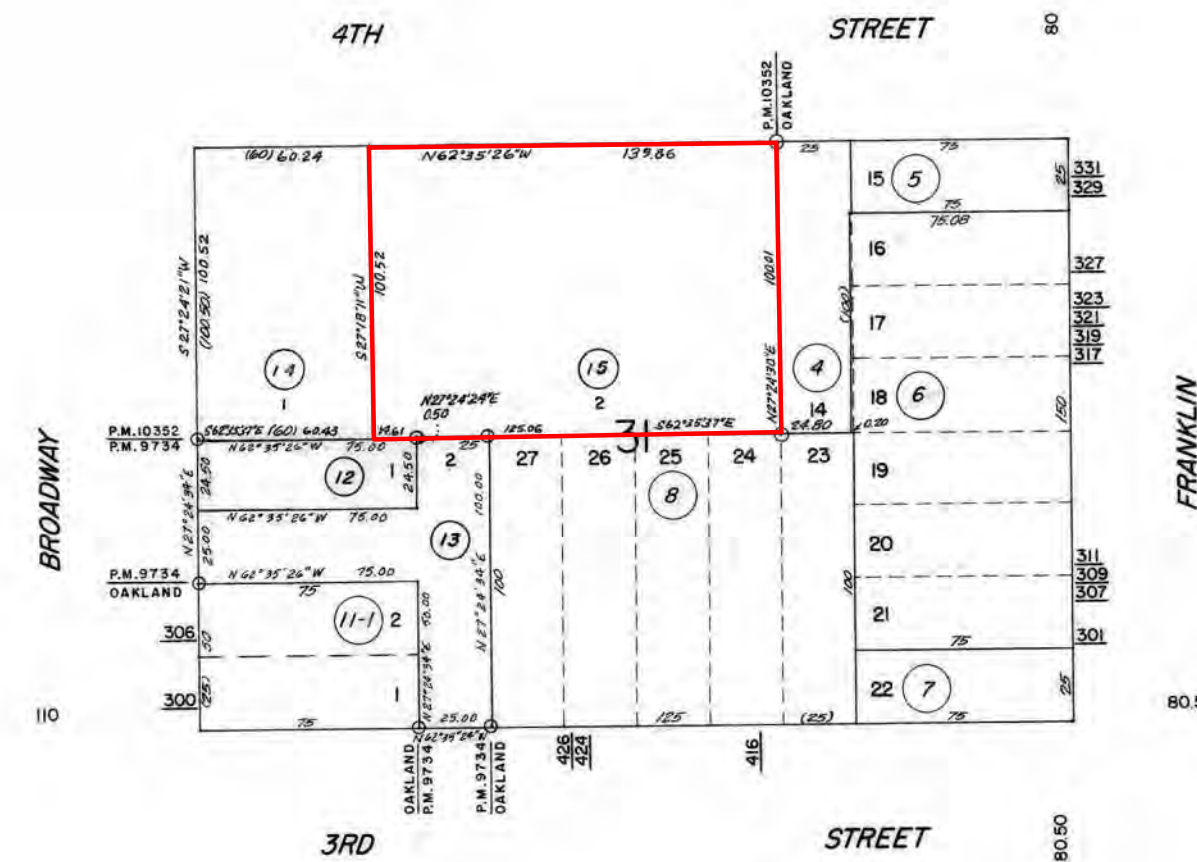


419 4TH STREET, OAKLAND CA

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	(N)	NEW
ACOUS	ACOUSTICAL	NEG	NEGATIVE
ADJ	ADJUSTABLE	NOM	NOMINAL
AL	ALIGN	NIC	NOT IN CONTRACT
ALT	ALTERNATE	NTS	NOT TO SCALE
AB	ANCHOR BOLT	NO	NUMBER
APROV	APPROVED		
ARCH	ARCHITECTURAL	OC	ON CENTER
AUTO	AUTOMATIC	OD	OUTSIDE DIAMETER
		OP	OPENING
BLDC	BUILDING	OPP	OPPOSITE
BLKG	BLOCKING	ORIG	ORIGINAL
BM	BEAM		
BD	BOARD	PART	PARTITION
BO	BOTTOM OF	PP	PARTIAL PENETRATION
BS	BOTH SIDES	PAF	POWDER ACTUATED FASTENER
		PLAM	PLASTIC LAMINATE
CAB	CABINET	PL	PLATE
CBC	CALIFORNIA BUILDING CODE	PN	PLATE NAILING
CI	CAST IRON	PLYWD	PLYWOOD
CIP	CAST IN PLACE	PT	POINT
COL	COLUMN	LB	POUND
CTR	CENTER	PRES	PRESSURE
CL	CENTER LINE		
CTC	CENTER TO CENTER	QUAL	QUALITY
CER	CERAMIC	QUAN	QUANTITY
CJ	CONSTRUCTION JOINT		
CL	CLEAR	PT	PRESSURE/ PRESERVATIVE TREATED
CMU	CONCRETE MASONRY UNIT	PS	PRESSED
CON	CONNECTION	PART	PARTITION
CONT	CONTINUOUS		
CP	COMPLETE PENETRATION	RAD	RADIUS
CS	COUNTERSUNK	RWL	RAIN WATER LEADER
CW	COLD WATER	RECPT	RECEPTACLE
DET	DETAIL	REF	REFERENCE
DEPT	DEPARTMENT	REIN	REINFORCEMENT, REINFORCED
DIA	DIAMETER	REQ	REQUIRED
DIV	DIVISION	RDWD	REDWOOD
DR	DOOR	RH	RIGHT HAND
DBL	DOUBLE	RHR	RIGHT HAND REVERSE
DF	DOUGLAS FIR	RM	ROOM
DN	DOWN	RND	ROUND
DS	DIAGONAL SHEATHING	RO	ROUGH OPENING
DWG	DRAWING	REV	REVISION
DRWR	DRAWER		
		SS	SANITARY SEWER
(E)	EXISTING	SAD	SEE ARCHITECTURAL DRAWINGS
EA	EACH	SCD	SEE CONSULTANT DRAWINGS
EF	EACH FACE	SED	SEE ELECTRICAL DRAWINGS
EW	EACH WAY	SKD	SEE KITCHEN CONSULTANT DRAWINGS
EN	EDGE NAILING	SSD	SEE STRUCTURAL DRAWINGS
EL	ELEVATION	SMD	SEE LANDSCAPE DRAWINGS
ELEV	ELEVATOR	SFMD	SEE MECHANICAL DRAWINGS
ELEC	ELECTRICAL	SPD	SEE FINISH CARPENTRY DRAWINGS
ENG	ENGINEER	SP	SEE PLUMBING DRAWINGS
EQ	EQUAL	SJ	SEISMIC JOINT
EQUIP	EQUIPMENT	SCHED	SCHEDULE, SCHEDULE SECTION
EX	EXHAUST	SHT	SHEET
EXP	EXPEDITE	SM	SHEET METAL
EXT	EXTERIOR	SIM	SIMILAR
		SP	SPACE
FAB	FABRICATE	SPEC	SPECIFICATION
FOC	FACE OF CONCRETE	SQ	SQUARE
FOF	FACE OF FINISH	SQFT	SQUARE FOOT
FOS	FACE OF STUD	ST	STAG
FOW	FACE OF WALL	STAG	STAGGED
FIN	FINISH	SSTL	STAINLESS STEEL
FF	FINISHED FLOOR	STAND	STANDARD
FE	FIRE EXTINGUISHER	STL	STEEL
FA	FIRE ALARM	STOR	STORAGE
FLR	FLOOR	SUS	STRUCTURAL
FLUOR	FLUORESCENT	STRUC	STRUCTURE
FL	FLUSH	SUS	SUSPENDED
FOUND	FOUNDATION	SYM	SYMMETRICAL
FTNG	FOOTING	SYS	SYSTEM
FR	FRAMING		
FUR	FURRING	TEMP	TEMPERED
		THR	THICKNESS
GA	GAUGE	THR	THREADED
GALV	GALVANIZED, GALVANIZING	TD	TIE DOWN
GL	GLASS, GLAZING	T&B	TOP AND BOTTOM
GLULAM	GLUE LAMINATED BEAM	TOC	TONGUE AND GROOVE
GYP BD	GYPSUM BOARD	TOF	TOP OF CONCRETE
		TOP	TOP OF FINISH
HVAC	HEATING VENTILATION & AIR CONDITIONING	TOS	TOP OF PLATE
HSR	HIGH STRENGTH RODS	TOW	TOP OF STEEL
HSB	HIGH STRENGTH BOLT	TN	TOP OF WALL
HT	HEIGHT	TYP	TYPICAL
HD	HOLD DOWN		
HORIZ	HORIZONTAL	UL	UNDER WRITERS LABORATORY
HW	HOT WATER	UON	UNLESS OTHERWISE NOTED
		UTIL	UTILITY, UTILITIES
INC	INCLUDING, INCLUDED	VERT	VERTICAL
INFO	INFORMATION	VIF	VERIFY IN FIELD
INT	INTERIOR	VER	VERIFY
		VEST	VESTIBULE
JH	JOIST HANGER		
JT	JOINT	WC	WATER CLOSET
		WH	WATER HEATER
LAM	LAMINATE	WJ	WITH
LH	LEFT HAND	WO	WITH OUT
LHR	LEFT HAND REVERSE	WD	WOOD
LT	LIGHT	YD	YARD
LTW	LIGHT WEIGHT		
L	LONG, LENGTH		
MB	MACHINE BOLTS		
MAINT	MAINTENANCE		
MAX	MAXIMUM		
MECH	MECHANICAL		
MANF	MANUFACTURER		
MTL	METAL		
MEZZ	MEZZANINE		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MTD	MOUNTED		
MUL	MULLION		

PARCEL MAP



PROJECT DIRECTORY

OWNER: SMART GROWTH, INC.
482 W. MACARTHUR BLVD,
OAKLAND, CA 94609
510-250-2499
510-250-5627 (FAX)
cporto@smartgrowth.co

ARCHITECT: LOWNEY ARCHITECTURE
360 17th STREET, SUITE 100
OAKLAND, CA 94612
510.836.5400
510.836.5454 (FAX)

LANDSCAPE ARCHITECT: LOWNEY ARCHITECTURE
360 17th STREET, SUITE 100
OAKLAND, CA 94612
510.836.5400
510.836.5454 (FAX)

CIVIL ENGINEER: COMPANY NAME
ADDRESS
ADDRESS
CONTACT
PHONE #
FAX #
EMAIL ADDRESS

PROJECT DESCRIPTION

CONSTRUCTION OF NEW MIXED USE BUILDING PRESERVING EXISTING BUILDING FACADE. NEW BUILDING HAS TWO PODIUM LEVELS IN TYPE I STRUCTURE AND FIVE LEVELS ABOVE IN TYPE III STRUCTURE.
GROUND LEVEL CONTAINS RETAIL SPACE, RESIDENTIAL LOBBY AND PARKING FOR 40 VEHICLES INCLUDING 2 ADA STALLS AND EV PARKING. SIX LEVELS ABOVE ARE RESIDENTIAL (69 UNITS TOTAL) AND AT THE ROOF LEVEL THERE IS A ROOF DECK ACCESSIBLE FOR RESIDENTS.

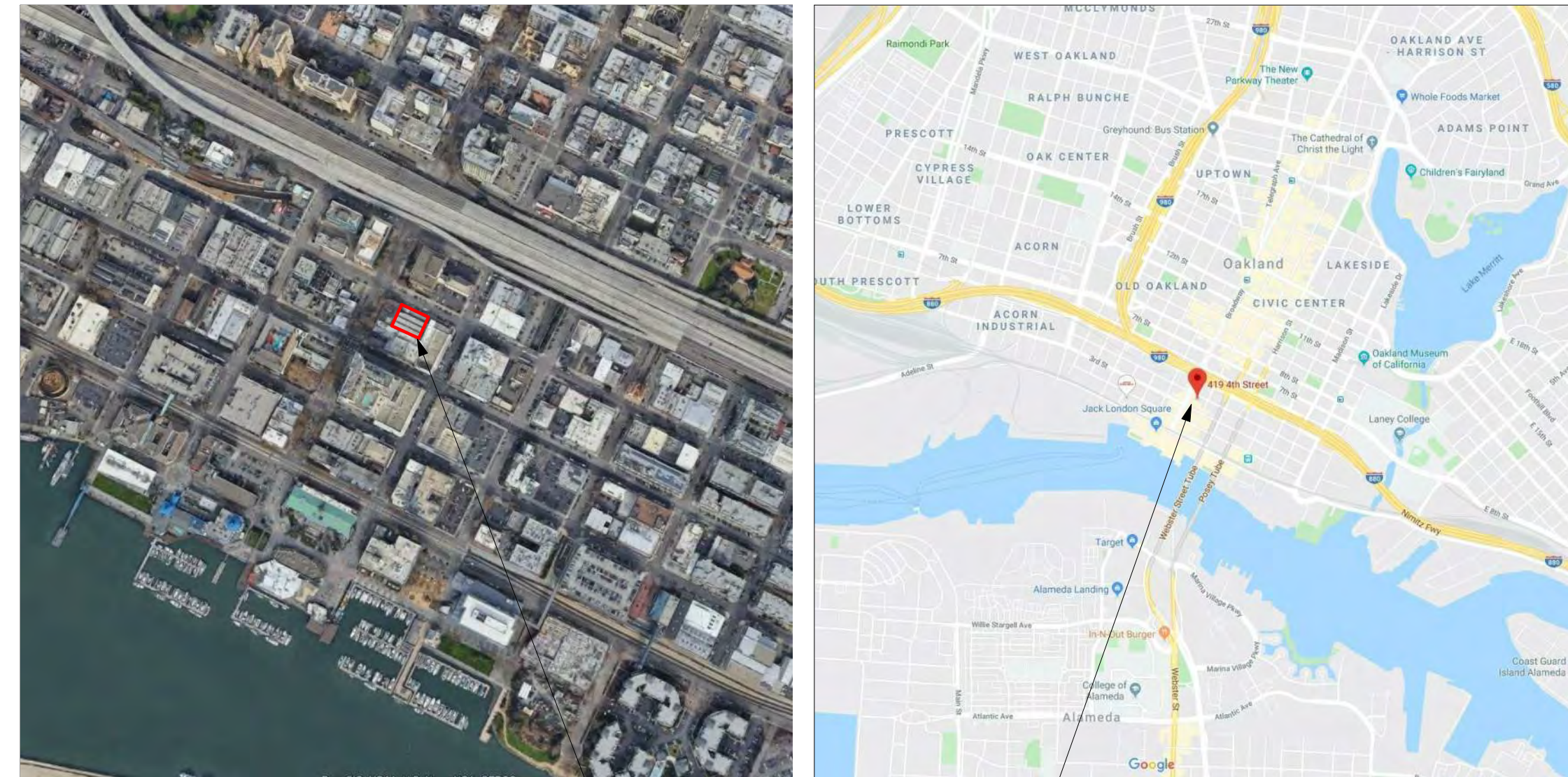
DRAWING LIST

DRAWING LIST	
SHEET NUMBER	SHEET NAME
GENERAL	
G0.0	COVER SHEET
G0.1	INDEX
G0.2	PROJECT DATA
G0.3	GREEN POINT CHECKLIST
G0.4	GREEN POINT CHECKLIST
G0.5	GREEN POINT CHECKLIST
G1.1	SITE PHOTOS
G2.1	3D VIEWS
G2.2	3D VIEWS
G3.3	3D VIEWS
G3.4	3D VIEWS
CIVIL	
C-2.0	PRELIMINARY GRADING & DRAINAGE PLAN
ARCHITECTURAL	
A1.0	SITE PLAN
A1.1	EXISTING BUILDING
A2.1	GROUND FLOOR PLAN
A2.2	LEVEL 2 PLAN
A2.3	LEVEL 3 PLAN
A2.4	LEVEL 4 PLAN
A2.5	LEVEL 5 PLAN
A2.6	LEVEL 6 PLAN
A2.7	LEVEL 7 PLAN
A2.8	LEVEL 8, ROOF LEVEL
A3.1	EXTERIOR ELEVATIONS - STREET FRONT
A3.2	EXTERIOR ELEVATIONS - EAST SIDE
A3.3	EXTERIOR ELEVATIONS - SOUTH SIDE
A3.4	EXTERIOR ELEVATIONS - WEST SIDE
A4.1	EAST-WEST SECTION
A4.2	NORTH - SOUTH SECTION
A4.3	NORTH - SOUTH SECTION
A5.1	ENLARGED UNIT PLANS
A6.1	SIGNAGE
A8.1	MATERIALS AND COLOR BOARD
LANDSCAPE	
L3.0	STREETSCAPE PLAN
L3.1	LANDSCAPE MATERIAL PLAN
L3.2	LANDSCAPE PLANTING PLAN
L3.3	BALCONY PLANTING PLAN
L3.4	LANDSCAPE HYDROZONE PLAN
L3.5	LIGHTING PLAN
SHEET TOTAL: 38	

GRAPHIC SYMBOLS

DETAIL REFERENCE	DRAWING NUMBER	---	#	---	
	SHEET NUMBER	---	#	---	
DETAIL SECTION REFERENCE	DRAWING NUMBER	---	#	---	
	SHEET NUMBER	---	#	---	
BUILDING SECTION REFERENCE	DRAWING NUMBER	---	#	---	
	SHEET NUMBER	---	#	---	
WALL SECTION REFERENCE	DRAWING NUMBER	---	#	---	
	SHEET NUMBER	---	#	---	
EXTERIOR ELEVATION REFERENCE	DRAWING NUMBER	---	1	---	#
	SHEET NUMBER	---	#	---	
INTERIOR ELEVATION REFERENCE	DRAWING NUMBER	---	1	---	#
	SHEET NUMBER	---	4	---	#
REVISION REFERENCE		---	#	---	
DOOR REFERENCE		---	##	---	
WINDOW REFERENCE		---	#	---	
ELEVATION DATUM		---	⊙	---	
ROOM NUMBER		---	###	---	
PARTITION TYPE		---	#	---	
FINISH CEILING HEIGHT		---	X'-X"	---	

PROJECT LOCATION



DEFERRED SUBMITTALS

FIRE SPRINKLERS
MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS

PROJECT DATA

BUILDING INFORMATION

BUILDING ADDRESS:	419 4TH STREET, OAKLAND CA
NUMBER OF STORIES:	7
ALLOWABLE HEIGHT:	NO GENERAL MAXIMUM HT PRESCRIBED
PROPOSED HEIGHT:	78' 8" (T.O. PARAPETS)
CONSTRUCTION TYPE:	TYPE III AND TYPE I-A
SPRINKLERED:	YES
OCCUPANCY CLASSIFICATION:	A2 (COMMUNITY SPACE) A3 (FITNESS) R2 M (MERCANTILE) S2 (PARKING)

ZONING INFORMATION

ASSESSOR'S PARCEL #:	001 013901500
ZONING DISTRICT:	C-45/S-4

LOT AREA

TOTAL	13,986 SF
-------	-----------

DENSITY

ZONE	ALLOWED DENSITY	LOT AREA	ALLOWED UNITS	PROPOSED UNITS
C-45/S-4	150 SF/UNIT	13,986 SF	93	69

SETBACKS

FRONT AT 4TH:	0 FT
SIDE:	0 FT
REAR:	8FT AND 14 FT

PARKING INFORMATION

	REQUIRED	PROVIDED	NOTES
RESIDENTIAL	1 FOR EACH DWELLING UNIT = 69 STALLS 30% REDUCTION FOR TAA = 48 STALLS 20% REDUCTION FOR CAR SHARE = 35 STALLS	41 STALLS	2 LEVEL PUZZLE PARKING SYSTEM
COMMERCIAL	5 SPACES 1 SPACE FOR EACH 600 SF	0 STALLS	

BICYCLE PARKING INFORMATION

	SHORT TERM REQUIRED	SHORT TERM PROVIDED	LONG TERM REQUIRED	LONG TERM PROVIDED	COMPLIANT
RESIDENTIAL	4 SPACES (1 SPACE FOR EACH 20 DWELLINGS)	20 SPACES	18 SPACES (1 SPACE FOR EACH 4 DWELLINGS)	32 SPACES	
COMMERCIAL	NONE REQ'D. FOR COMM. SPACE > 3,000 SF	0 SPACES	NONE REQ'D. FOR COMM. SPACE > 3,000 SF	0 SPACES	REF. 17.116.080

RECYCLING & GARBAGE SPACE ALLOCATION

	REQUIRED	PROVIDED	NOTES
RESIDENTIAL			
RECYCLING	1,032 GALLONS (2CF X 69 UNITS = 138 CF = 1,032 GAL)	1,056 GALLONS (11 x 96 GALLON TOWER CARTS)	
GARBAGE	11 CY (4.3CF X 69 UNITS = 297CF = 11 CY)	12 CY (2@6 YD BIN)	

PROJECT AREA COUNT

Area summary:

Lev #	Type	Parking	Retail	Leasable	Amenity	Res. Circ. Int	Mech.	Circ. Ext	Net sq ft	Gross sq ft	F to F height
8	Ame/Mech	-	-	560	-	305	710	-	1,575 nsf	1,552 gsf	- ' -
7	Residential	-	-	8,362	-	305	49	1,116	8,716 nsf	9,296 gsf	10 ' 0"
6	Res	-	-	8,362	-	305	49	1,112	8,716 nsf	9,538 gsf	10 ' 0"
5	Res	-	-	8,362	-	305	49	1,112	8,716 nsf	9,538 gsf	10 ' 0"
4	Res	-	-	8,362	-	305	49	1,112	8,716 nsf	9,538 gsf	10 ' 0"
3	Res	-	-	8,362	-	305	49	2,756	8,716 nsf	9,538 gsf	10 ' 0"
2	Res/Ame	-	-	4,430	1,715	1,770	49	-	7,964 nsf	11,675 gsf	10 ' 0"
1	Ret/Park	9,540	1,491	-	472	993	716	-	13,212 nsf	13,589 gsf	15 ' 0"
Total		9,540 sf	1,491 sf	46,800 sf	2,187 sf	4,593 sf	1,720 sf	7,208 sf	66,331 nsf	74,264 gsf	75 ' 0"

Unit mix square footage:

Level 2	Studio	1-BR	2-BR	3-BR	4-BR	Mezz.	Square footage	Unit count
	312	416	376				4,430 sf	12 1 level
	357	378	374				4,430 sf	12 1 levels
	357	376	376					
	359	375	374					
	404	376	376					
	387	371	377					
	403							

Level 3-7

Level 3-7	Studio	1-BR	2-BR	3-BR	4-BR	Mezz.	Square footage	Unit count
	397	582	702	949	1,139		8,362 sf	10 1 level
	431		752		1,135		41,810 sf	50 5 levels
					1,136			
					1,139			

Level 8

Level 8	Studio	1-BR	2-BR	3-BR	4-BR	Mezz.	Square footage	Unit count
						140	560 sf	4 1 level
						140	560 sf	4 1 levels
						140		
						140		

Grand total

Units #	Studio	1-BR	2-BR	3-BR	4-BR	Mezz.	Total unit Square footage	Total unit count
	29	5	10	5	20	4	46,800 sf	69 7 levels
%	42%	7%	14%	7%	29%			100%

OPEN SPACE CALCULATIONS

	# OF UNITS	NOTES
OPEN SPACE REQUIRED TOTAL	150 SF/UNIT 69 10,350 SF	17,56,180 - MINIMUM USABLE OPEN SPACE
PRIVATE OPEN SPACES:		
LEVEL 2	1,803 SF = 3,606 SF GROUP SPACE	
LEVEL 3-7	1,275 SF = 2,550 SF GROUP SPACE	
LEVEL 8	434 SF = 868 SF GROUP SPACE	1 SF PRIVATE OPEN SPACE = 2 SF GROUP OPEN SPACE
GROUP OPEN SPACES:		
LEVEL 2	142 SF GROUP SPACE	
LEVEL 8	3,195 SF GROUP SPACE	
OPEN SPACE PROVIDED TOTAL	10,361 SF	COMPLIANT



NEW HOME RATING SYSTEM, VERSION 8.0

MULTIFAMILY CHECKLIST

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Community (2) Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6); and meet the prerequisites CALGreen Mandatory, E5.2, H6.1, J5.1, O1, O7.

Directions for Use: Column A is a dropdown menu with the options of "Yes", "No", or "TBD" or a range of percentages to allocate points. Select the appropriate dropdown and the appropriate points will appear in the blue "points achieved" column.

The criteria for the green building practices listed below are described in the GreenPoint Rated New Home Rating Manual. For more information please visit www.builditgreen.org/greenpointrated. Build It Green is not a code enforcement agency.

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green. New Home Multifamily Version 8

Project Name: 419 4TH STREET
Project Street: 419 4TH STREET
Project City: Oakland
Project Zip: 94607

Points Targeted: 80
Certification Level Targeted: Silver
Compliance Pathway Targeted: None

POINTS REQUIRED
■ Minimum Points
■ Targeted Points



Measures		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
CALGreen								
Yes	CALGreen Res (REQUIRED)	4		1	1	1	1	
A. SITE								
Yes	A1. Construction Footprint (Site Preservation Plan Beyond Local Ordinance OR 40% of Site Undeveloped and Undisturbed)	1				1		
A2. Job Site Construction Waste Diversion								
TBD	A2.1 70% C&D Waste Diversion (Including Alternative Daily Cover)					2		
TBD	A2.2 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility					1		
Yes	A3. Recycled Content Base Material (Minimum 25% Post-Consumer Content)	1				1		
TBD	A4. Heat Island Effect Reduction (Non-Roof)			1				
TBD	A5. Construction Environmental Quality Management Plan Including Flush-Out				1			
A6. Stormwater Control: Prescriptive Path								
Yes	A6.1 Permeable Paving Material	1					1	
TBD	A6.2 Filtration and/or Bio-Retention Features						1	
TBD	A6.3 Non-Leaching Roofing Materials						1	
TBD	A6.4 Smart Stormwater Street Design		1					
TBD	A7. Stormwater Control: Performance Path (Capture and Treat 85% of Annual Runoff Onsite)						3	
B. FOUNDATION								
Yes	B1. Fly Ash and/or Slag in Concrete (Minimum of 30%)	1				1		
TBD	B2. Radon-Resistant Construction				2			
Yes	B3. Foundation Drainage System	2				2		
TBD	B4. Moisture Controlled Crawlspace				1			
B5. Structural Pest Controls								
TBD	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections					1		
Yes	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation	1				1		
C. LANDSCAPE								
0.00%	Enter the landscape area percentage. Points capped at 3 for less than 15%.							
TBD	C1. Plants Grouped by Water Needs (Hydrozoning)						1	
Yes	C2. Three Inches of Mulch in Planting Beds	1					1	
C3. Resource Efficient Landscapes								
TBD	C3.1 No Invasive Species Listed by Cal-IPC					1		
TBD	C3.2 Plants Chosen and Located to Grow to Natural Size (Limited Maintenance)					1		
TBD	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species						3	
C4. Minimal Turf in Landscape								
TBD	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide						2	
TBD	C4.2 Turf on a Small Percentage of Landscaped Area						2	
Yes	C5. Trees to Moderate Building Temperature (at least 50% of West Facing Glazing and Walls Shaded)	3		1	1		1	
TBD	C6. High-Efficiency Irrigation System						2	
TBD	C7. One Inch of Compost in the Top Six to Twelve Inches of Soil (with Soil Testing)						2	
TBD	C8. Rainwater Harvesting System						3	
TBD	C9. Recycled Wastewater Irrigation System						1	
TBD	C10. Submeter or Dedicated Meter for Landscape Irrigation						2	

Points Achieved	Community	Energy	IAQ/Health	Resources	Water		
TBD	C11. Landscape Meets Water Budget					1	
C12. Environmentally Preferable Materials for Site							
TBD	C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing					1	
TBD	C12.2 Play Structures and Surfaces Have an Average Recycled Content ≥ 20%					1	
Yes	1	1					
TBD	C13. Reduced Light Pollution (Exterior lighting fixtures shielded and directed downward)						
TBD	C14. Large Stature Tree(s)					1	
TBD	C15. Third Party Landscape Program Certification					1	
Yes	1				1		
TBD	C16. Maintenance Contract with Certified Professional (Bay-Friendly Qualified Professional or Equiv.)						
TBD	2						
D. STRUCTURAL FRAME AND BUILDING ENVELOPE							
D1. Optimal Value Engineering							
TBD	D1.1 Joists, Rafters, and Studs at 24 Inches on Center						
Yes		1		2			
TBD	D1.2 Non-Load Bearing Door and Window Headers Sized for Load					1	
TBD	D1.3 Advanced Framing Measures					2	
TBD	D2. Construction Material Efficiencies (Pre-assembled wall and roof framing for at least 80% of project)					1	
D3. Engineered Lumber							
Yes	D3.1 Engineered Beams and Headers					1	
Yes	D3.2 Wood I-Joists or Web Trusses for Floors					1	
TBD	D3.3 Engineered Lumber for Roof Rafters					1	
TBD	D3.4 Engineered or Finger-Jointed Studs for Vertical Applications					1	
Yes	D3.5 OSB for Subfloor					0.5	0.5
Yes	D3.6 OSB for Wall and Roof Sheathing					0.5	0.5
TBD	D4. Insulated Headers						
		1					
D5. FSC-Certified Wood							
TBD	D5.1 Dimensional Lumber, Studs, and Timber						6
TBD	D5.2 Panel Products						3
D6. Solid Wall Systems							
TBD	D6.1 At Least 90% of Floors						1
TBD	D6.2 At Least 90% of Exterior Walls						1
TBD	D6.3 At Least 90% of Roofs						1
Yes	D7. Energy Heels on Roof Trusses					1	1
16 inches	D8. Overhangs and Gutters					1	1
D9. Reduced Pollution Entering the Home from the Garage							
TBD	D9.1 Detached Garage						2
TBD	D9.2 Mitigation Strategies for Attached Garage						1
D10. Structural Pest and Rot Controls							
Yes	D10.1 All Wood Located At Least 12 Inches Above the Soil					1	1
TBD	D10.2 Wood Framing Treating With Borates or Factory-Impregnated, or Wall Materials Other Than Wood						1
Yes	D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)					2	1
E. EXTERIOR							
TBD	E1. Environmentally Preferable Decking						1
TBD	E2. Flashing Installation Third-Party Verified						2
TBD	E3. Rain Screen Wall System						2
TBD	E4. Durable and Non-Combustible Cladding Materials						1
E5. Durable Roofing Materials							
TBD	E5.1 Durable and Fire Resistant Roofing Materials or Assembly						1
TBD	E5.2 Roofing Warranty for Shingle Roofing					R	R
TBD	E6. Vegetated Roof					2	2
F. INSULATION							
F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content							
TBD	F1.1 Walls and Floors						0.5

Project Name: 419 4TH STREET Project Street: 419 4TH STREET Project City: Oakland Project Zip: 94607		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
TBD	F1.2 Ceilings					0.5	
F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions							
TBD	F2.1 Walls and Floors			0.5			
TBD	F2.2 Ceilings			0.5			
F3. Low GWP Insulation That Does Not Contain Fire Retardants							
TBD	F3.1 Cavity Walls and Floors			1			
TBD	F3.2 Ceilings			1			
TBD	F3.3 Interior and Exterior Insulation			1			
G. PLUMBING							
G1. Efficient Distribution of Domestic Hot Water							
Yes	G1.1 Insulated Hot Water Pipes	1		1			
TBD	G1.2 WaterSense Volume Limit for Hot Water Distribution					1	
TBD	G1.3 Increased Efficiency in Hot Water Distribution					2	
G2. Install Water-Efficient Fixtures							
TBD	G2.1 WaterSense Showerheads 1.8 gpm with Matching Compensation Valve					2	
TBD	G2.2 WaterSense Bathroom Faucets with ≤ 1.0 gpm					1	
TBD	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams 1.28 gpf OR 1.1 gpf					2	
TBD	G2.4 Urinals with Flush Rate of ≤ 0.1 gpf					1	
TBD	G3. Pre-Plumbing for Graywater System					1	
TBD	G4. Operational Graywater System					3	
TBD	G5. Thermostatic Shower Valve or Auto-Diversion Tub Spout					1	
Yes	G6. Submeter Water for Tenants	2				2	
H. HEATING, VENTILATION, AND AIR CONDITIONING							
H1. Sealed Combustion Units							
Yes	H1.1 Sealed Combustion Furnace	1			1		
Yes	H1.2 Sealed Combustion Water Heater	2			2		
TBD	H2. High Performing Zoned Hydronic Radiant Heating System			1	1		
H3. Effective Ductwork							
Yes	H3.1 Duct Mastic on Duct Joints and Seams	1		1			
Yes	H3.2 Pressure Balance the Ductwork System	1		1			
Yes	H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified	1			1		
H5. Advanced Practices for Cooling							
TBD	H5.1 ENERGY STAR® Ceiling Fans in Living Areas and Bedrooms			1			
TBD	H5.2 Operable Windows and Skylights Located to Induce Cross Ventilation in At Least One Room in 80% of Units			1			
H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality							
Yes	H6.1 Meet ASHRAE Standard 62.2-2016 Ventilation Residential Standards	Y	R	R	R	R	R
Yes	H6.2 Advanced Ventilation Standards	2			2		
TBD	H6.3 Outdoor Air is Filtered and Tempered				1		
H7. Effective Range Design and Installation							
Yes	H7.1 Effective Range Hood Ducting and Design	1			1		
TBD	H7.2 Automatic Range Hood Control				1		
Yes	H8. High Efficiency HVAC Filter (MERV 16+)	1			1		
TBD	H9. Advanced Refrigerants (low global warming potential refrigerants)				1		
I. RENEWABLE ENERGY							
0.00%	I1. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)	0		25			
I2. Low Carbon Homes							
TBD	I2.1 Near Zero Energy Home (offset at least 80% of annual site energy use)			2			
TBD	I2.2 Low Carbon Home (meet lbs CO2/sq. ft. threshold)			4			
TBD	I3. Energy Storage			1			
TBD	I4. Solar Hot Water Systems to Preheat Domestic Hot Water			4			
≥10% of residences	I5. Photovoltaic System for Multifamily Projects	8		8			

Project Name: 419 4TH STREET Project Street: 419 4TH STREET Project City: Oakland Project Zip: 94607		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
J. BUILDING PERFORMANCE AND TESTING							
TBD	J1. Third-Party Verification of Quality of Insulation Installation				1		
Yes	J2. Supply and Return Air Flow Testing	2		1	1		
Yes	J3. Mechanical Ventilation Testing	1			1		
TBD	J4. All Electric or Combustion Appliance Safety Testing				1		
Select Compliance Pathway for J5.1	J5. Building Energy Performance						Compliance Pathway Input
3							Climate Zone Input
10	J5.1 Home Meets or Exceeds Energy Compliance Pathway	0		25+			
3.40%	J5.2 Non-Residential Spaces Outperform Title 24	3.4		15			
TBD	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst			1			
TBD	J7. Participation in Utility Program with Third-Party Plan Review			1			
TBD	J8. ENERGY STAR® for Homes			1			
No	J9. EPA Indoor airPlus Certification				2		
TBD	J10. Blower Door Testing				3		
TBD	J11. Compartmentalization of Units (Minimize uncontrolled pathways for indoor air pollutants between units)			1	1		
K. FINISHES							
K1. Entryways Designed to Reduce Tracked-In Contaminants							
TBD	K1.1 Entryways to Individual Units (Deliberate hard surface at entrances and permanent assembly for shoe storage)				1		
TBD	K1.2 Entryways to Buildings (Deliberate hard surface at entrances and built-in, permanent walk-off mat or grill)				1		
TBD	K2. Zero-VOC Interior Wall and Ceiling Paints				2		
Yes	K3. Low-VOC Caulks and Adhesives	1			1		
K4. Environmentally Preferable Materials for Interior Finish							
TBD	K4.1 Cabinets					2	
TBD	K4.2 Interior Trim					2	
TBD	K4.3 Shelving					2	
TBD	K4.4 Doors					2	
TBD	K4.5 Countertops					1	
K5. Formaldehyde Emissions in Interior Finish Exceed CARB							
TBD	K5.1 Doors				1		
TBD	K5.2 Cabinets and Countertops				2		
TBD	K5.3 Interior Trim and Shelving				2		
TBD	K6. Products That Comply With the Health Product Declaration Open Standard				2		
TBD	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion				2		
No	K8. Comprehensive Inclusion of Low Emitting Finishes				1		
TBD	K9. Durable Cabinets (Plywood for casework and doors, ball bearing drawer slides, dovetail joints, two directional metal hinges)					2	
TBD	K10. At Least 25% of Interior Furniture Has Environmentally Preferable Attributes					1	
L. FLOORING							
≥25%	L1. Environmentally Preferable Flooring	1				3	
TBD	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential				3		
TBD	L3. Durable Flooring (All flooring is hard surface)					1	
Yes	L4. Thermal Mass Flooring	1		1			
M. APPLIANCES AND LIGHTING							
Yes	M1. ENERGY STAR® Dishwasher	1					1
M2. Efficient Clothes Washing and Drying							
TBD	M2.1 CEE-Rated Clothes Washer			1			2
Yes	M2.2 ENERGY STAR® Dryer	1		1			
TBD	M2.3 Solar Dryer/ Laundry Lines				0.5		
<25 cubic feet	M3. Size-Efficient ENERGY STAR® Refrigerator	1		2			
M4. Permanent Centers for Waste Reduction Strategies							
Yes	M4.1 Built-In Recycling Center	1				1	
TBD	M4.2 Built-In Composting Center					1	

Project Name: 419 4TH STREET Project Street: 419 4TH STREET Project City: Oakland Project Zip: 94607		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
M5. Lighting Efficiency							
Yes	M5.1 High-Efficacy Lighting	2		2			
TBD	M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant			2			
TBD	M6. Electric Vehicle Charging Stations and Infrastructure			2			
Yes	M7. Central Laundry	1				1	
TBD	M8. Gearless Elevator			1			
N. COMMUNITY							
N1. Smart Development							
TBD	N1.1 Infill Site		1			1	
TBD	N1.2 Designated Brownfield Site		1			1	
TBD	N1.3 Conserve Resources by Increasing Density			2		2	
TBD	N1.4 Cluster Homes for Land Preservation		1			1	
	N1.5 Home Size Efficiency					9	
	Enter the area of the home, in square feet						
	Enter the number of bedrooms						
N2. Home(s)/Development Located Near Major Transit Stop							
Yes	N2.1 Within 1 Mile of a Major Transit Stop	1	1				
TBD	N2.2 Within 1/2 mile of a Major Transit Stop		2				
N3. Pedestrian and Bicycle Access							
	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services		2				
	Enter the number of Tier 1 services						
	Enter the number of Tier 2 services						
Yes	N3.2 Connection to Pedestrian Pathways	1	1				
TBD	N3.3 Traffic Calming Strategies		2				
TBD	N3.4 Sidewalks Buffered from Roadways and 5-8 Feet Wide		1				
Yes	N3.5 Bicycle Storage for Residents	1	1				
Yes	N3.6 Bicycle Storage for Non-Residents	1	1				
TBD	N3.7 Reduced Parking Capacity		2				
N4. Outdoor Gathering Places							
TBD	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents		1				
TBD	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services		1				
N5. Social Interaction							
TBD	N5.1 Residence Entries with Views to Callers		1				
TBD	N5.2 Entrances Visible from Street and/or Other Front Doors		1				
Yes	N5.3 Porches Oriented to Street and Public Space	1	1				
N6. Passive Solar Design							
TBD	N6.1 Heating Load			2			
TBD	N6.2 Cooling Load			2			
N7. Adaptable Building							
TBD	N7.1 Universal Design Principles in Units		1		1		
TBD	N7.2 Full-Function Independent Rental Unit		1				
N8. Resiliency							
TBD	N8.1 Climate Impact Assessment (Cal-Adapt, Fortified Standard, HAZUS, FEMA P58, or Seismic Evaluation)		1		1	1	
TBD	N8.2 Strategies to Address Assessment Findings		1		1	1	
N9. Social Equity							
TBD	N9.1 Diverse Workforce (Supplier Diversity or Local Hire)		1			1	
TBD	N9.2 Community Location (Disadvantaged Community)		1		1		
N10. Affordability							
TBD	N10.1 Dedicated Units for Households Making 80% of AMI or Less		2				
TBD	N10.2. Units with Multiple Bedrooms for Households Making 80% of AMI or Less		1				
TBD	N10.3 At Least 20% of Units at 120% AMI or Less are For Sale		1				

Project Name: 419 4TH STREET Project Street: 419 4TH STREET Project City: Oakland Project Zip: 94607		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
N11. Mixed-Use Development							
Yes	N11.1 Live/Work Units Include a Dedicated Commercial Entrance	1	1				
TBD	N11.2 At Least 2% of Development Floor Space Supports Mixed Use		1				
TBD	N11.3 Half of the Non-Residential Floor Space is Dedicated to Community Services		1				
O. OTHER							
Yes	O1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	R
Yes	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors	2		0.5		1	0.5
Yes	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs	2		0.5	0.5	0.5	0.5
Yes	O4. Builder's or Developer's Management Staff are Certified Green Building Professionals	2		0.5	0.5	0.5	0.5
O5. Home System Monitors							
TBD	O5.1 Energy Home System Monitors			2			
TBD	O5.2. Water Home System Monitors						1
O6. Green Building Education							
Yes	O6.1 Marketing Green Building	2	2				
Yes	O6.2 Green Building Signage	1		0.5			0.5
Yes	O7. Green Appraisal Addendum	Y	R	R	R	R	R
TBD	O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation					1	
TBD	O9. Residents Are Offered Free or Discounted Transit Passes		2				
TBD	O10. Vandalism Deterrence Practices and Vandalism Management Plan					1	
TBD	O11. Smokefree Housing				2		
Yes	O12. Integrated Pest Management Plan	1				1	
P. DESIGN CONSIDERATIONS							
P1. Acoustics: Noise and Vibration Control							
	Enter the number of Tier 1 practices		1		1		
	Enter the number of Tier 2 practices						
P2. Mixed-Use Design Strategies							
TBD	P2.1 Tenant Improvement Requirements for Build-Outs				1		1
Yes	P2.2 Commercial Loading Area Separated for Residential Area	1			1		
TBD	P2.3 Separate Mechanical and Plumbing Systems				1		
P3. Commissioning							
TBD	P3.1 Design Phase			1	1		
TBD	P3.2 Construction Phase			2	1		
TBD	P3.3 Post-Construction Phase			2	1		
TBD	P4. Building Enclosure Testing			1	1	1	
Summary							
Total Available Points in Specific Categories		370	46	110	69	91	54
Minimum Points Required in Specific Categories		60	2	25	6	6	6
Total Points Achieved		80.4	9.0	25.4	16.0	19.0	11.0

EXISTING FRONT FACADE ON SITE



NEIGHBOURS FROM WEST SIDE



322 BROADWAY



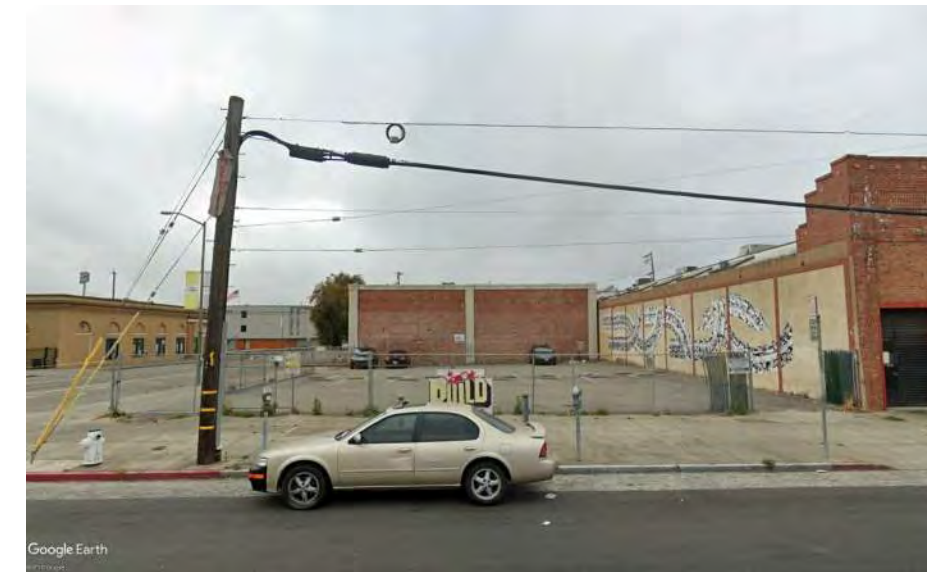
333 BROADWAY



469 4TH ST

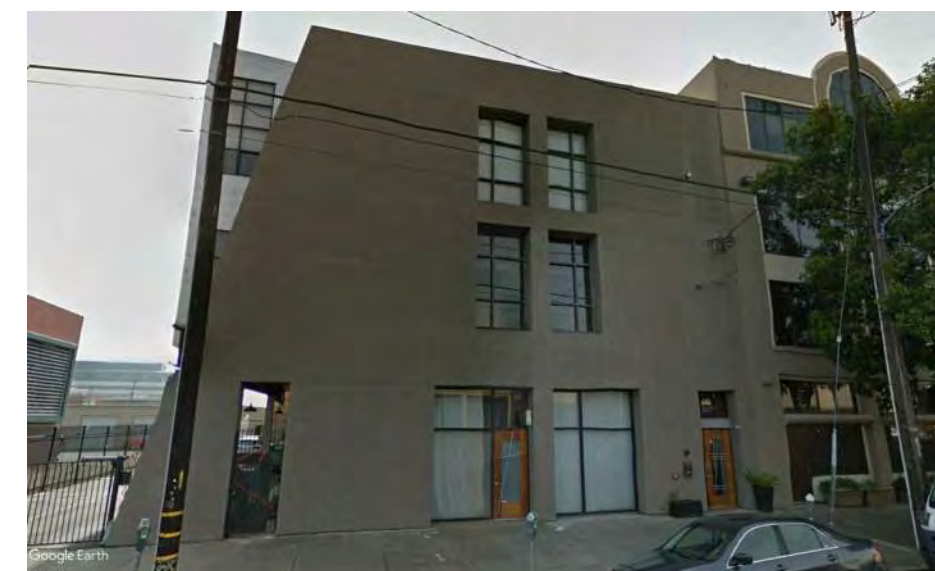


475 4TH ST

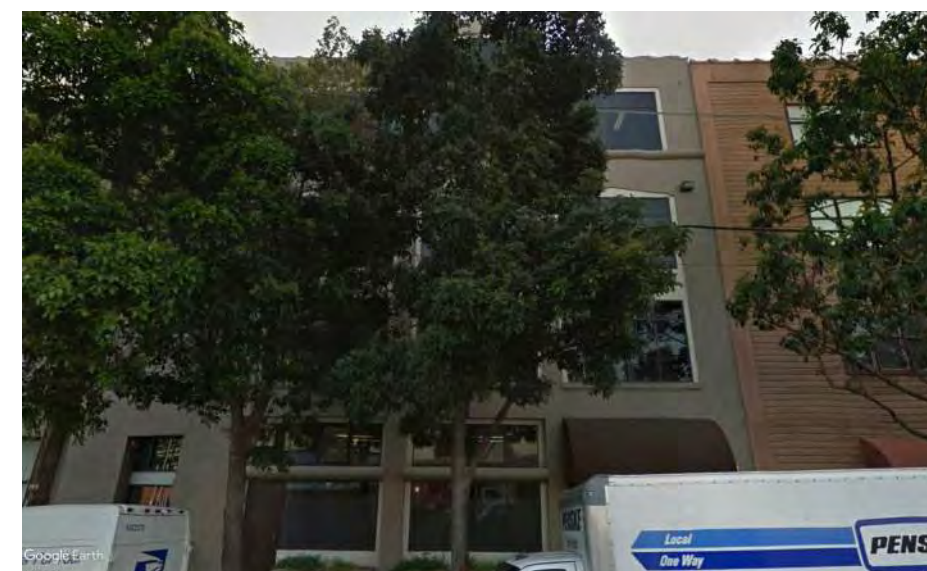


331 WASHINGTON ST

NEIGHBOURS FROM EAST SIDE



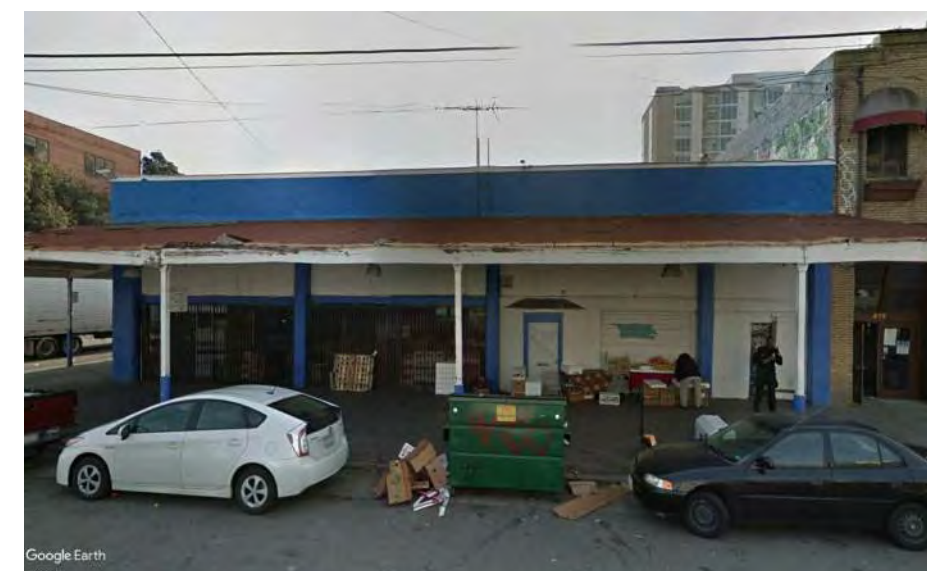
373 4TH ST



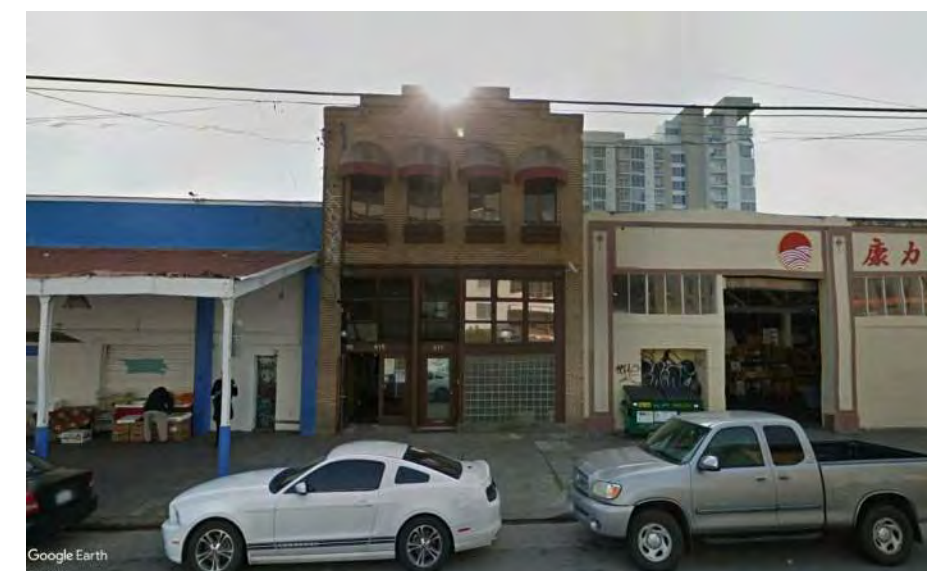
383 4TH ST



330 FRANKLIN ST



331 FRANKLIN ST



415 4TH ST

NEIGHBOURS ACROSS THE STREET



518 4TH ST



409 WASHINGTON ST



499 5TH ST



401 BROADWAY



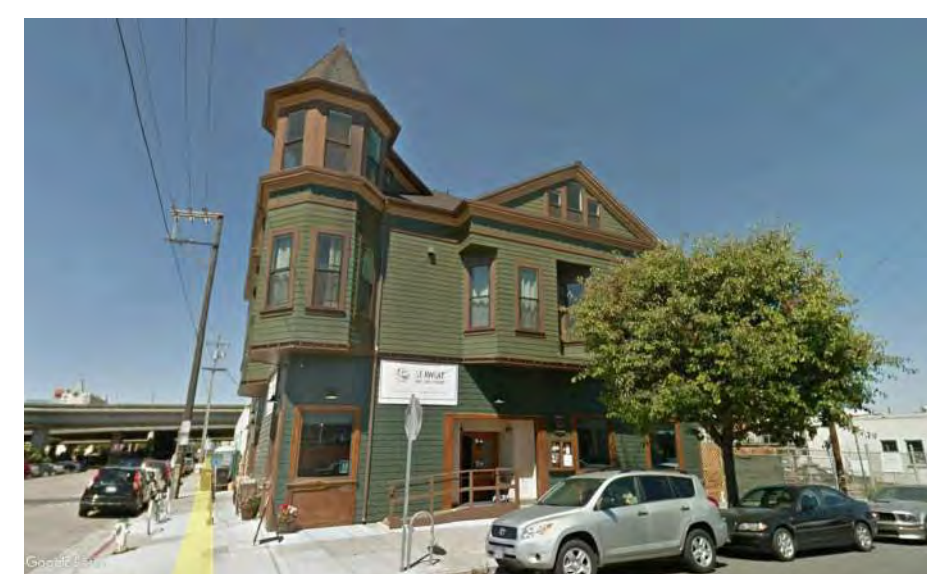
430 BROADWAY



400 FRANKLIN ST



WEBSTER ST



4TH ST



333 5TH ST



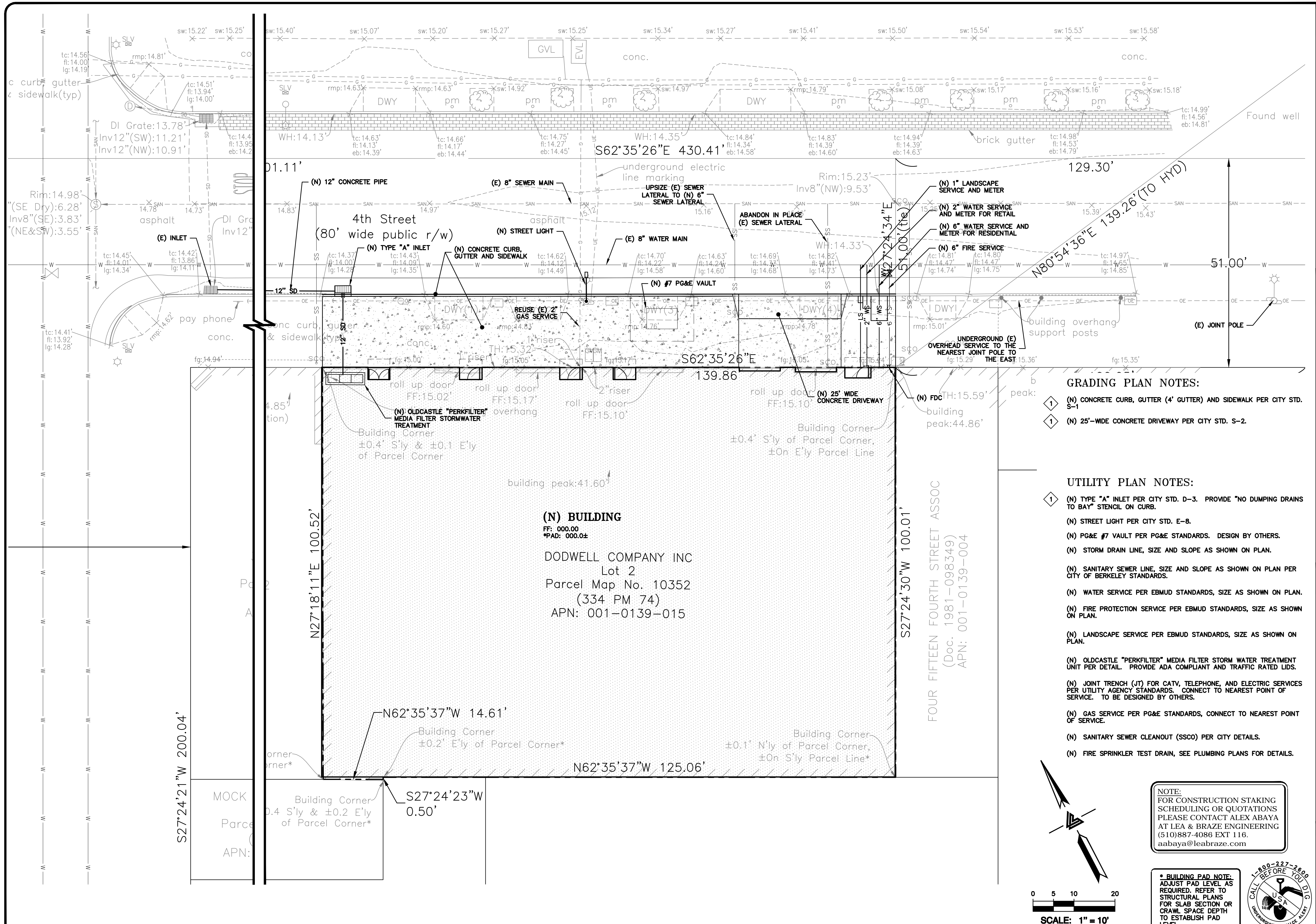
308 4TH ST







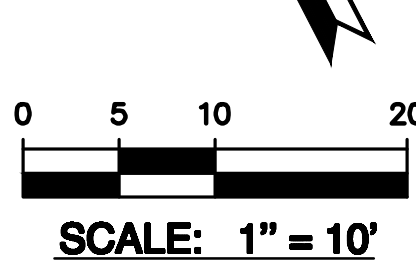




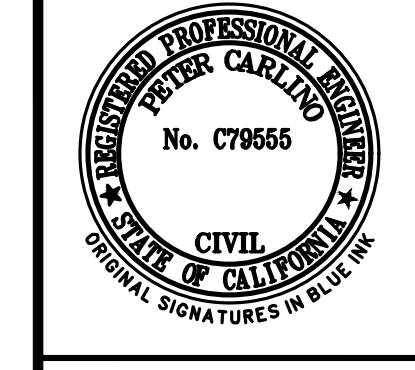
- GRADING PLAN NOTES:**
- 1 (N) CONCRETE CURB, GUTTER (4' GUTTER) AND SIDEWALK PER CITY STD. S-1
 - 1 (N) 25'-WIDE CONCRETE DRIVEWAY PER CITY STD. S-2.

- UTILITY PLAN NOTES:**
- 1 (N) TYPE "A" INLET PER CITY STD. D-3. PROVIDE "NO DUMPING DRAINS TO BAY" STENCIL ON CURB.
 - (N) STREET LIGHT PER CITY STD. E-8.
 - (N) PG&E #7 VAULT PER PG&E STANDARDS. DESIGN BY OTHERS.
 - (N) STORM DRAIN LINE, SIZE AND SLOPE AS SHOWN ON PLAN.
 - (N) SANITARY SEWER LINE, SIZE AND SLOPE AS SHOWN ON PLAN PER CITY OF BERKELEY STANDARDS.
 - (N) WATER SERVICE PER EBMUD STANDARDS, SIZE AS SHOWN ON PLAN.
 - (N) FIRE PROTECTION SERVICE PER EBMUD STANDARDS, SIZE AS SHOWN ON PLAN.
 - (N) LANDSCAPE SERVICE PER EBMUD STANDARDS, SIZE AS SHOWN ON PLAN.
 - (N) OLDCASTLE "PERKFILTER" MEDIA FILTER STORM WATER TREATMENT UNIT PER DETAIL. PROVIDE ADA COMPLIANT AND TRAFFIC RATED LIDS.
 - (N) JOINT TRENCH (JT) FOR CATV, TELEPHONE, AND ELECTRIC SERVICES PER UTILITY AGENCY STANDARDS. CONNECT TO NEAREST POINT OF SERVICE. TO BE DESIGNED BY OTHERS.
 - (N) GAS SERVICE PER PG&E STANDARDS, CONNECT TO NEAREST POINT OF SERVICE.
 - (N) SANITARY SEWER CLEANOUT (SSCO) PER CITY DETAILS.
 - (N) FIRE SPRINKLER TEST DRAIN, SEE PLUMBING PLANS FOR DETAILS.

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com



* BUILDING PAD NOTE: ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
REGIONAL OFFICES:
OAKLAND, CALIFORNIA 94612
SAN JOSE, CALIFORNIA 95128
(510) 887-4086
WWW.LEABRAZE.COM

**NOODLE FACTORY
MIXED-USE
419 4TH STREET
OAKLAND, CALIFORNIA**
ALAMEDA COUNTY APN: 001-0139-015

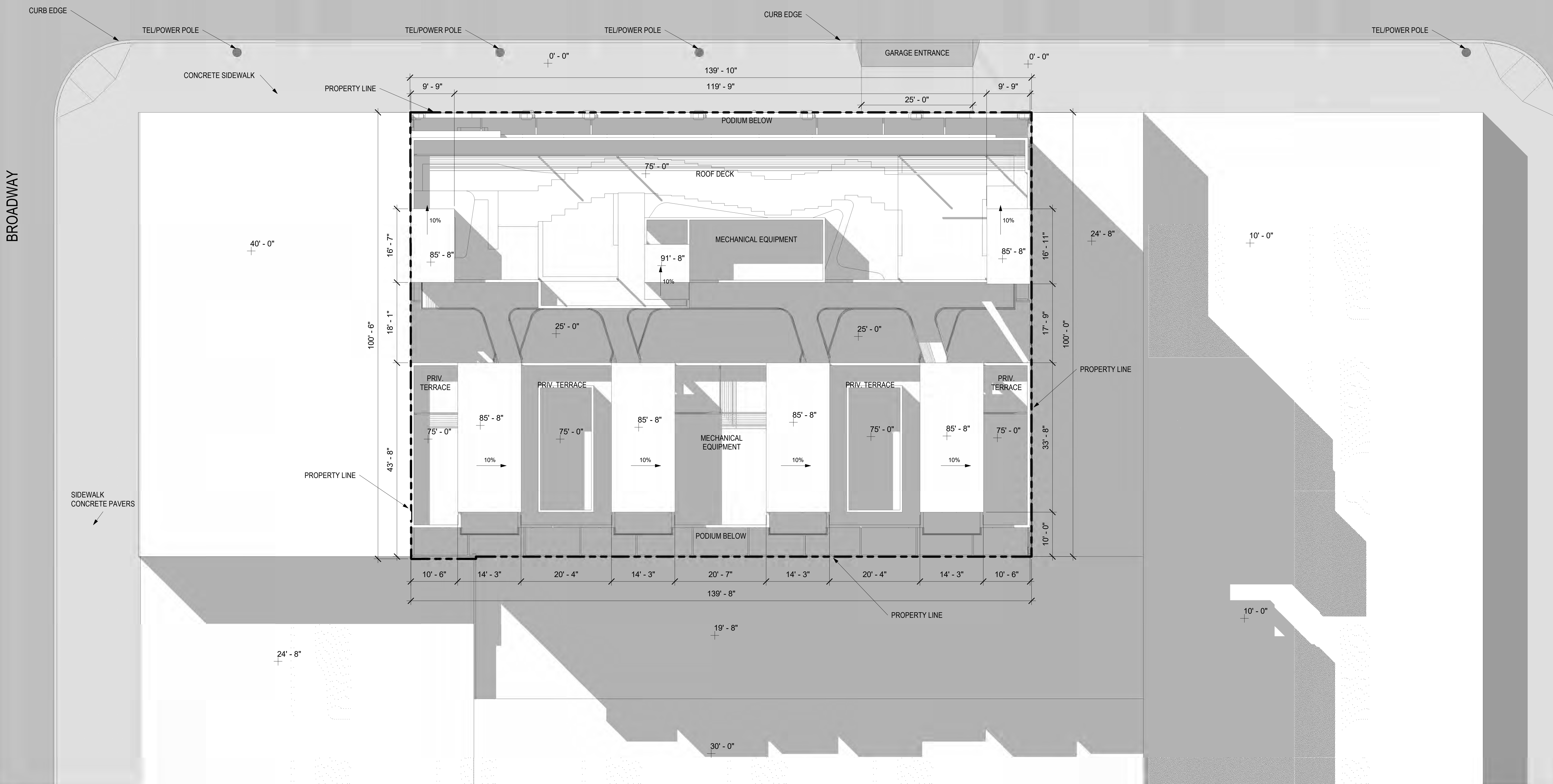
**PRELIMINARY
GRADING &
DRAINAGE PLAN**

REVISIONS	BY

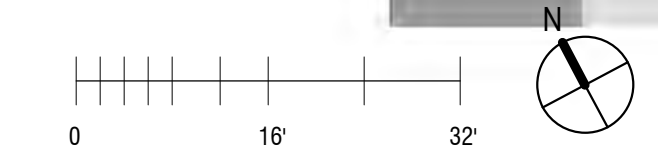
JOB NO:	2191493
DATE:	XX-XX-XX
SCALE:	AS NOTED
DESIGN BY:	DY
CHECKED BY:	XX
SHEET NO:	

C-2.0
03 OF XX SHEETS

4TH STREET



BROADWAY





SHEET NOTES

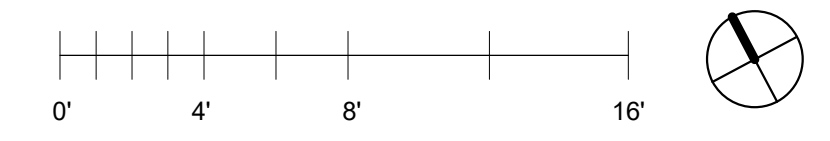
- 1. EXISTING FACADE TO PRESERVE
- 2. CONTRACTOR TO VERIFY EXISTING CONDITIONS. IN CASE OF CONFLICT BETWEEN DRAWINGS AND EXISTING CONDITIONS, NOTIFY THE ARCHITECT.

KEY NOTES

- 1 ROLL UP DOORS

LEGEND

- EXISTING EXTERIOR WALLS
- PROPERTY LINE
- EXISTING COLUMNS INCORPORATED IN FACADE



SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR BUILDING WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

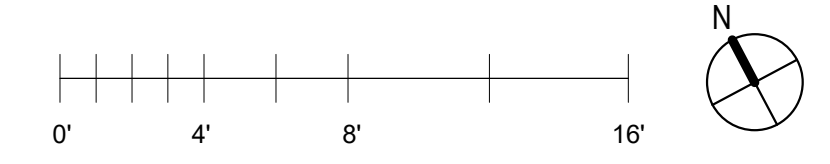
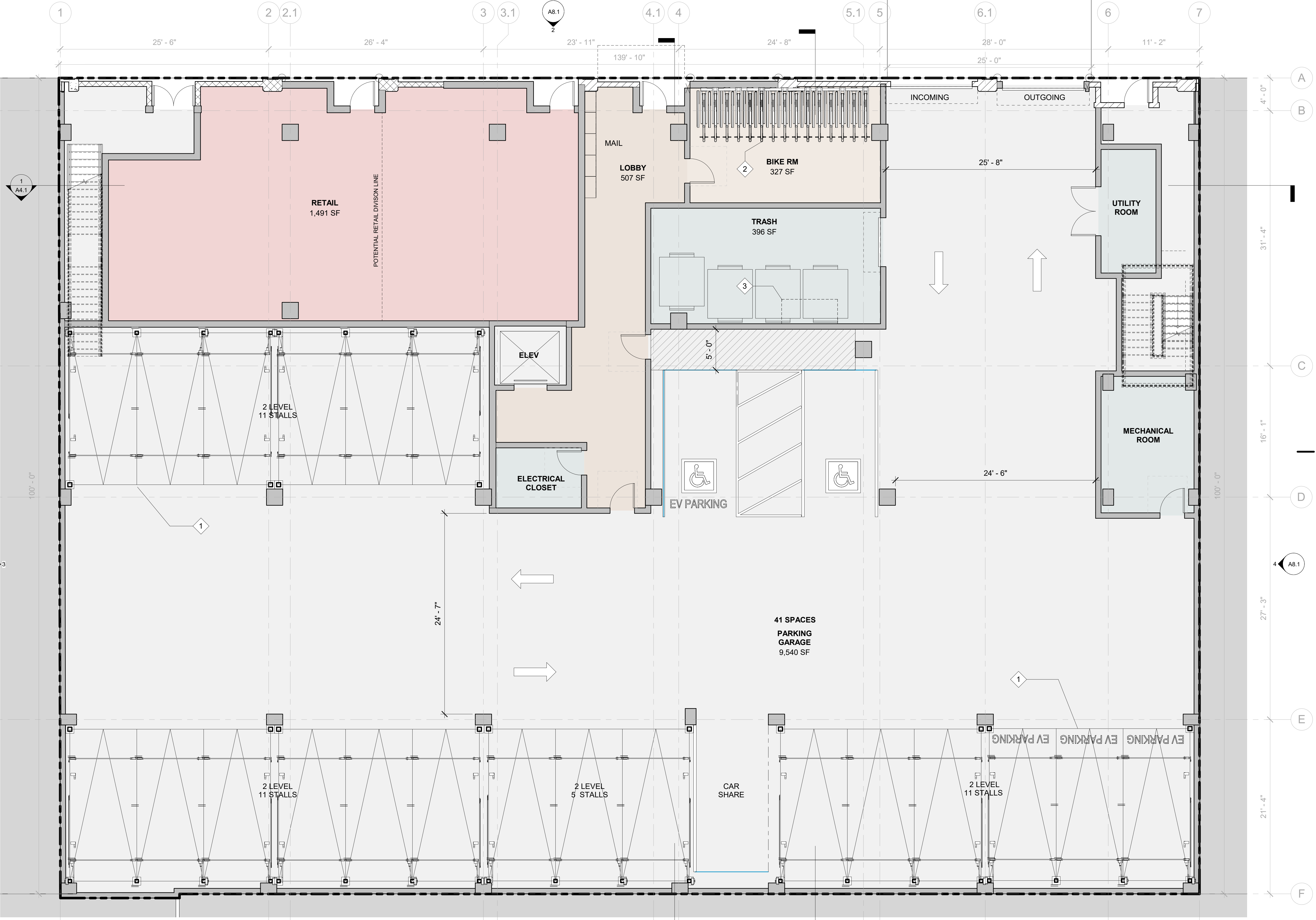
- 1 CITY LIFT PUZZLE 2 LEVEL PARKING SYSTEM
- 2 BIKE RACKS SPACE FOR 56 BIKES
- 3 TRASH CHUTE

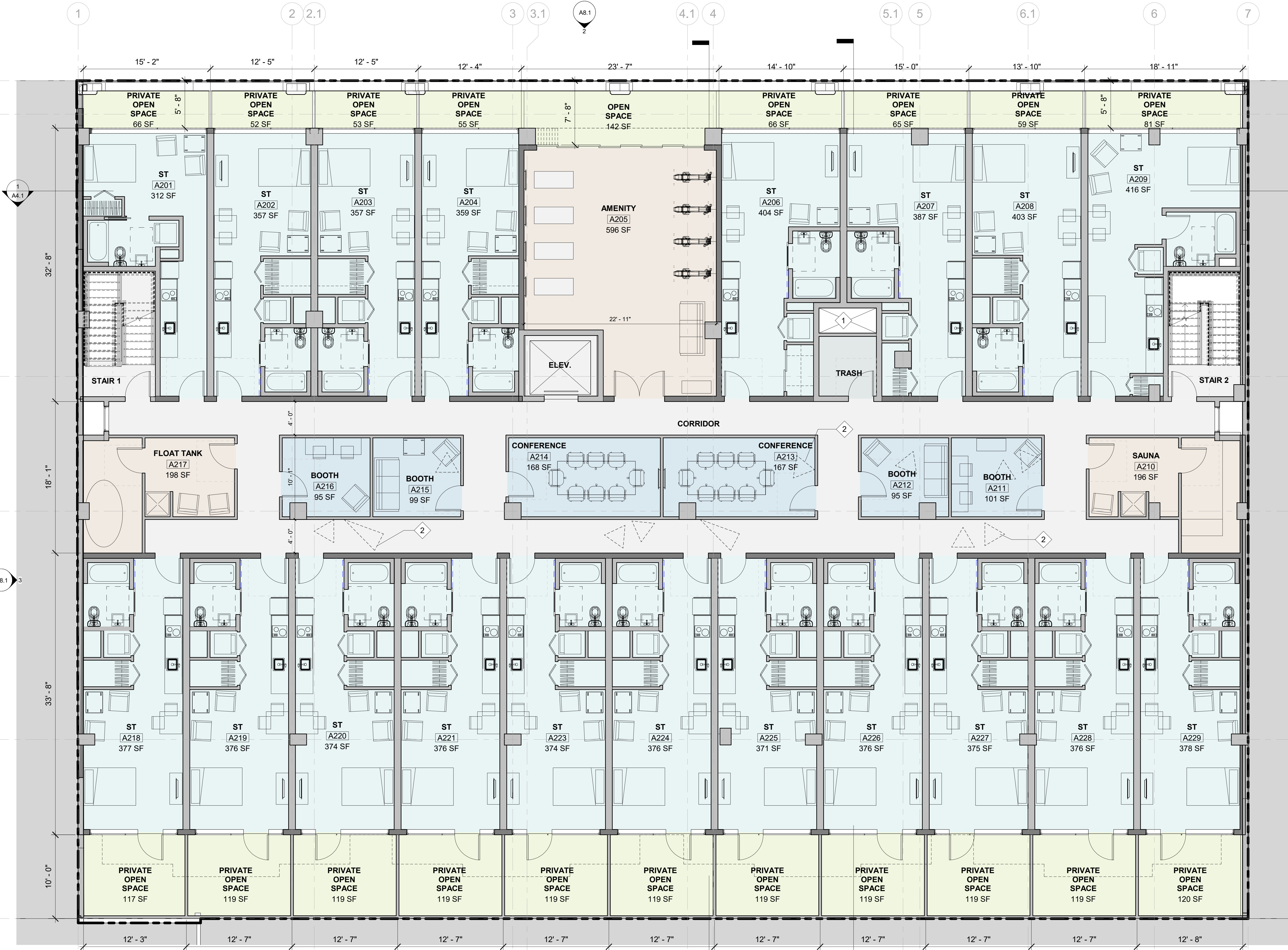
LEGEND

- WALLS
- COLUMNS
- PROPERTY LINE

Color Legend

- AMENITY
- CIRCULATION
- PARKING
- RESIDENTIAL LOBBY
- RETAIL
- UTILITY





SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

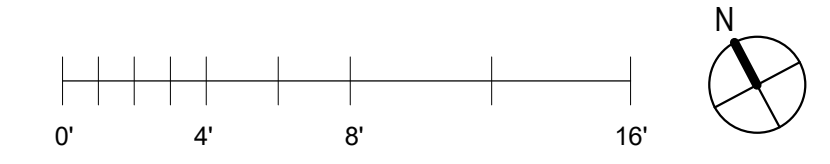
- 1 TRASH CHUTE
- 2 SKYLIGHTS
- 3 BALCONY PLANTING

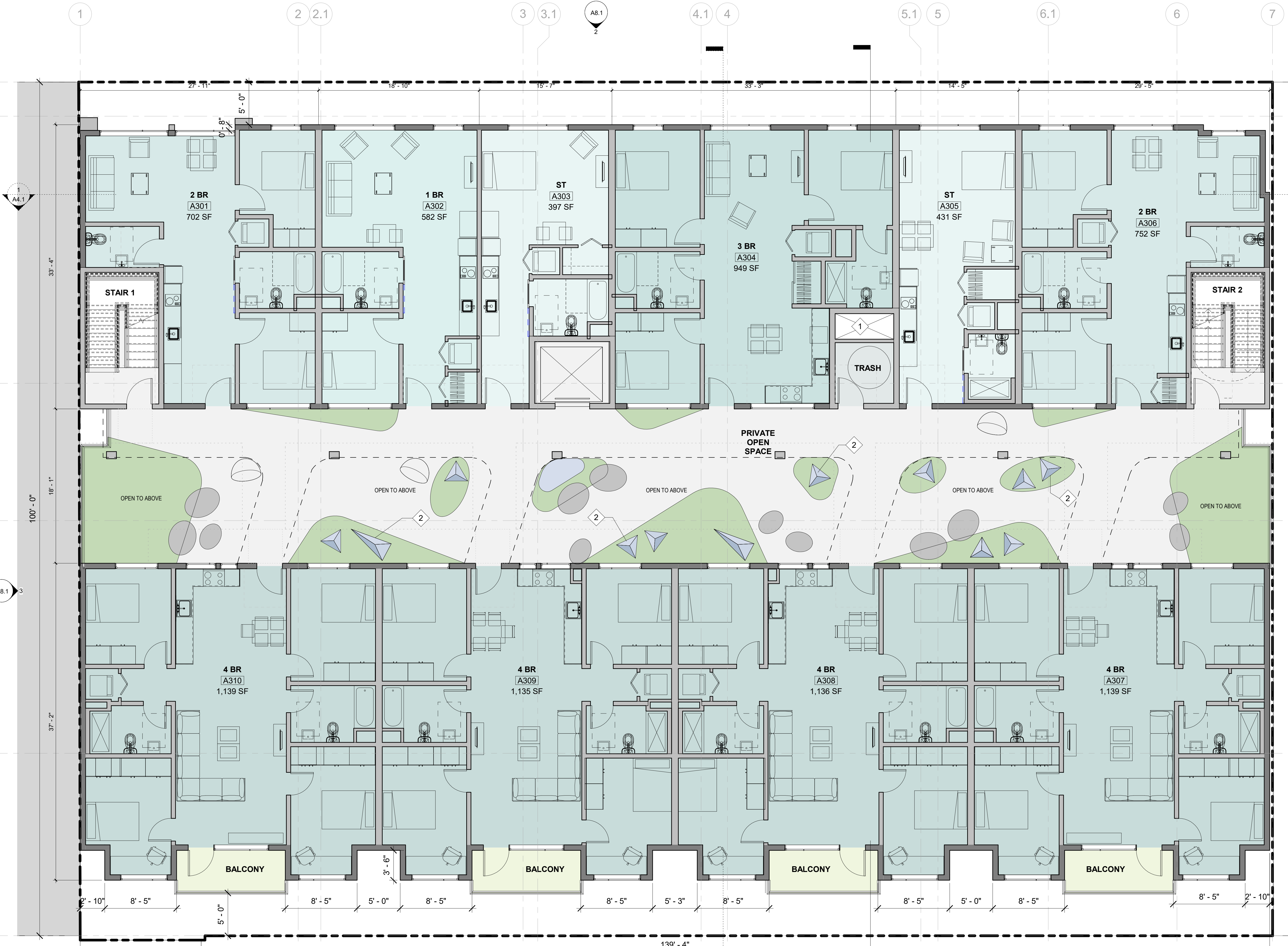
LEGEND

- WALLS
- - - PROPERTY LINE

Color Legend

- AMENITY
- CIRCULATION
- OFFICE
- OPEN SPACE
- STUDIO
- UTILITY





SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR BUILDING WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

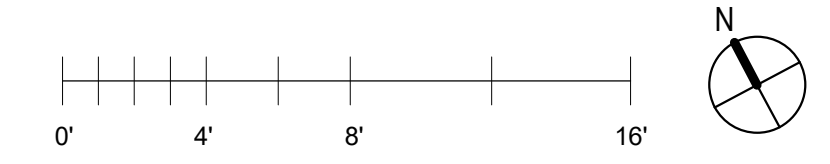
- 1 TRASH CHUTE
- 2 SKYLIGHTS
- 3 BALCONY PLANTING

LEGEND

- WALLS
- PROPERTY LINE

Color Legend

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- CIRCULATION
- OPEN SPACE
- STUDIO
- UTILITY



1 2 2.1 3 3.1 A8.1 4.1 4 5.1 5 6.1 6 7

SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR BUILDING WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

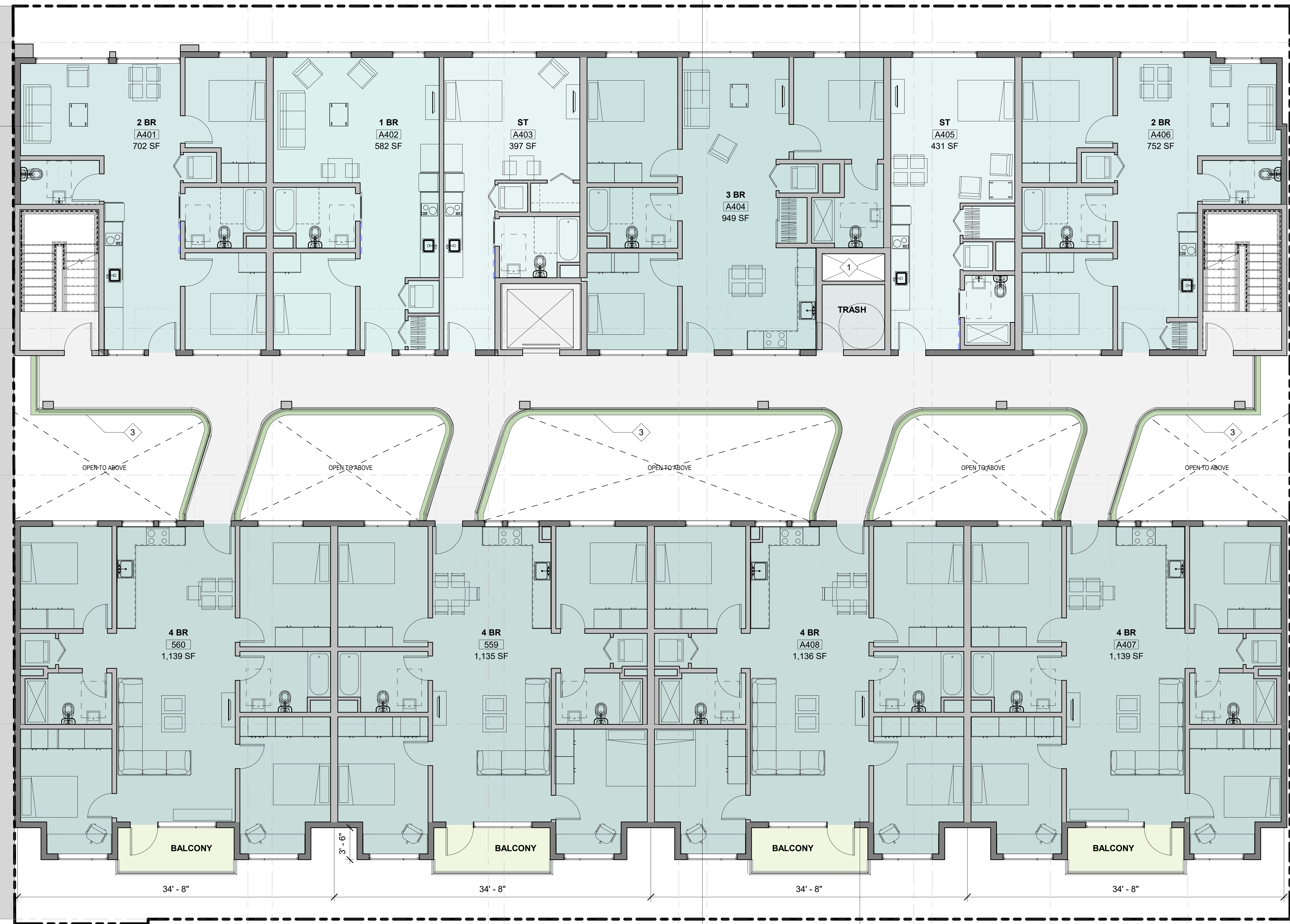
- 1 TRASH CHUTE
- 2 SKYLIGHTS
- 3 BALCONY PLANTING

LEGEND

- WALLS
- PROPERTY LINE

Color Legend

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- CIRCULATION
- OPEN SPACE
- STUDIO
- UTILITY



A
B
C
D
E
F

1 A4.1

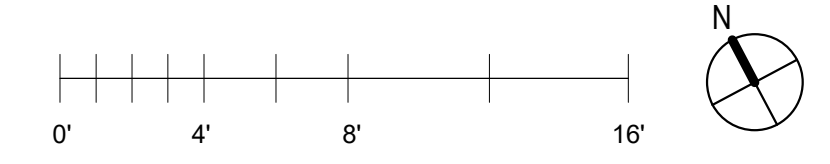
A8.1 3

4 A8.1

1 A8.1

1 A4.2

1 A4.3



1 2 2.1 3 3.1 A8.1 4.1 4 5.1 5 6.1 6 7

SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR BUILDING WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

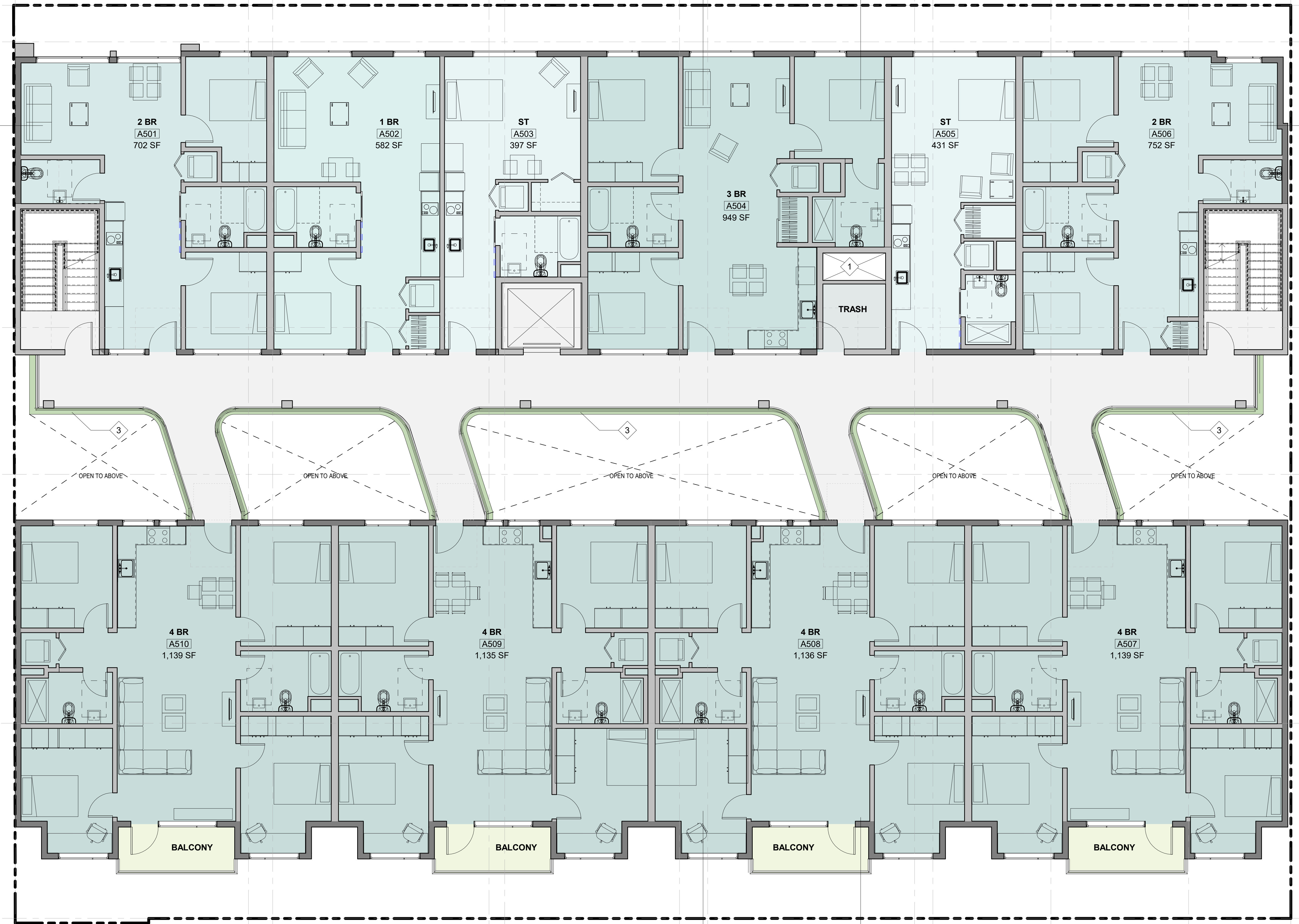
- 1 TRASH CHUTE
- 2 SKYLIGHTS
- 3 BALCONY PLANTING

LEGEND

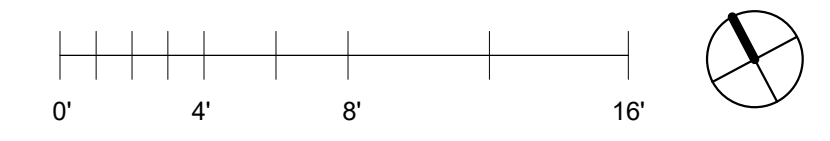
- WALLS
- PROPERTY LINE

Color Legend

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- CIRCULATION
- OPEN SPACE
- STUDIO
- UTILITY



F



1 2 2.1 3 3.1 A8.1 4.1 4 5.1 5 6.1 6 7

SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR BUILDING WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

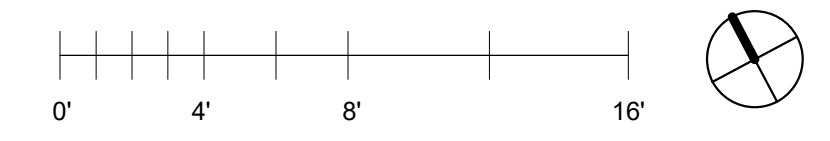
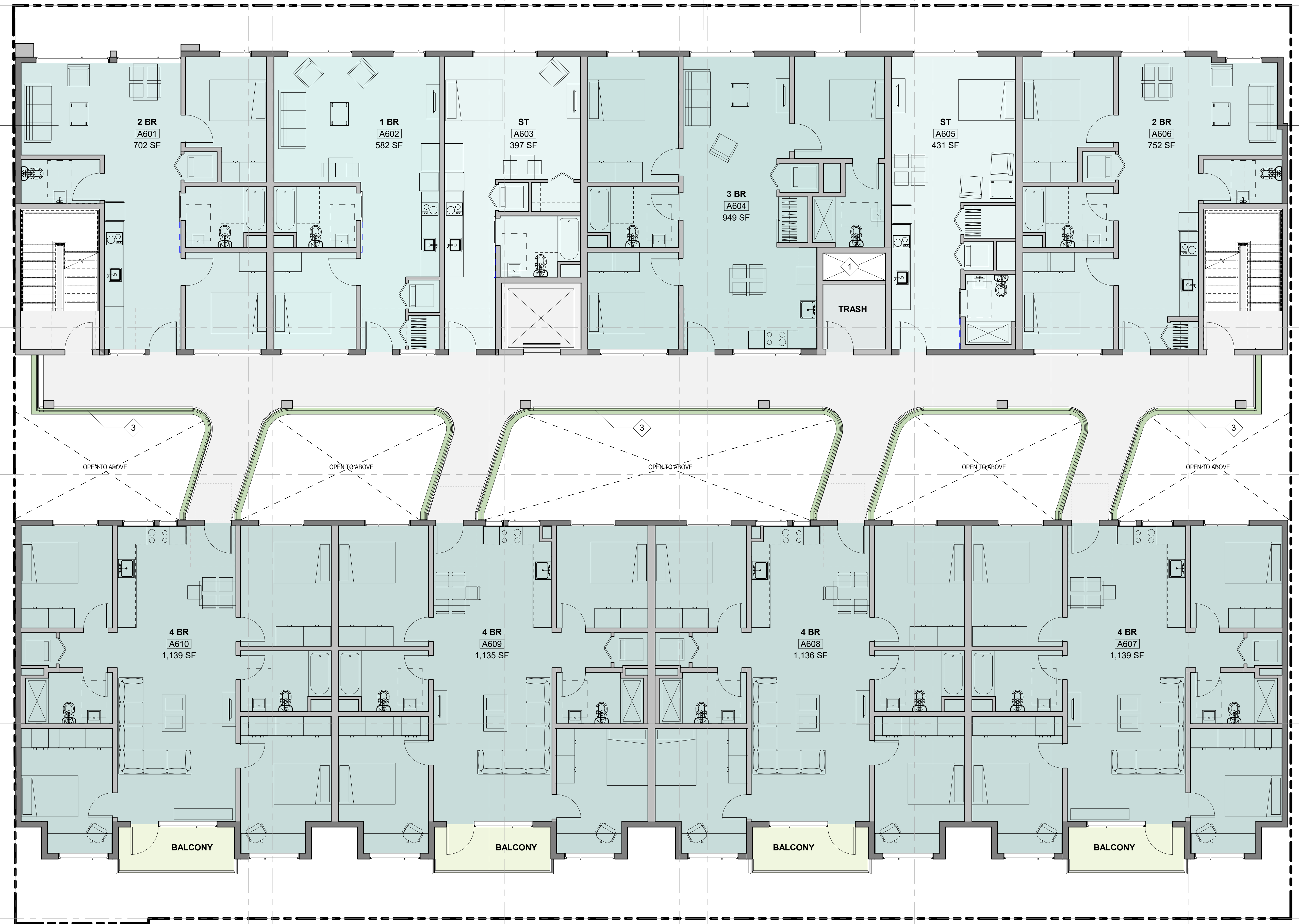
- 1 TRASH CHUTE
- 2 SKYLIGHTS
- 3 BALCONY PLANTING

LEGEND

- WALLS
- PROPERTY LINE

Color Legend

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- CIRCULATION
- OPEN SPACE
- STUDIO
- UTILITY



1 2 2.1 3 3.1 A8.1 4.1 4 5.1 5 6.1 6 7

SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR BUILDING WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

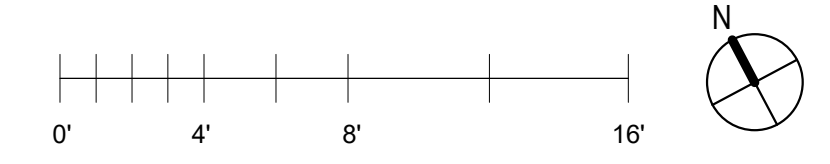
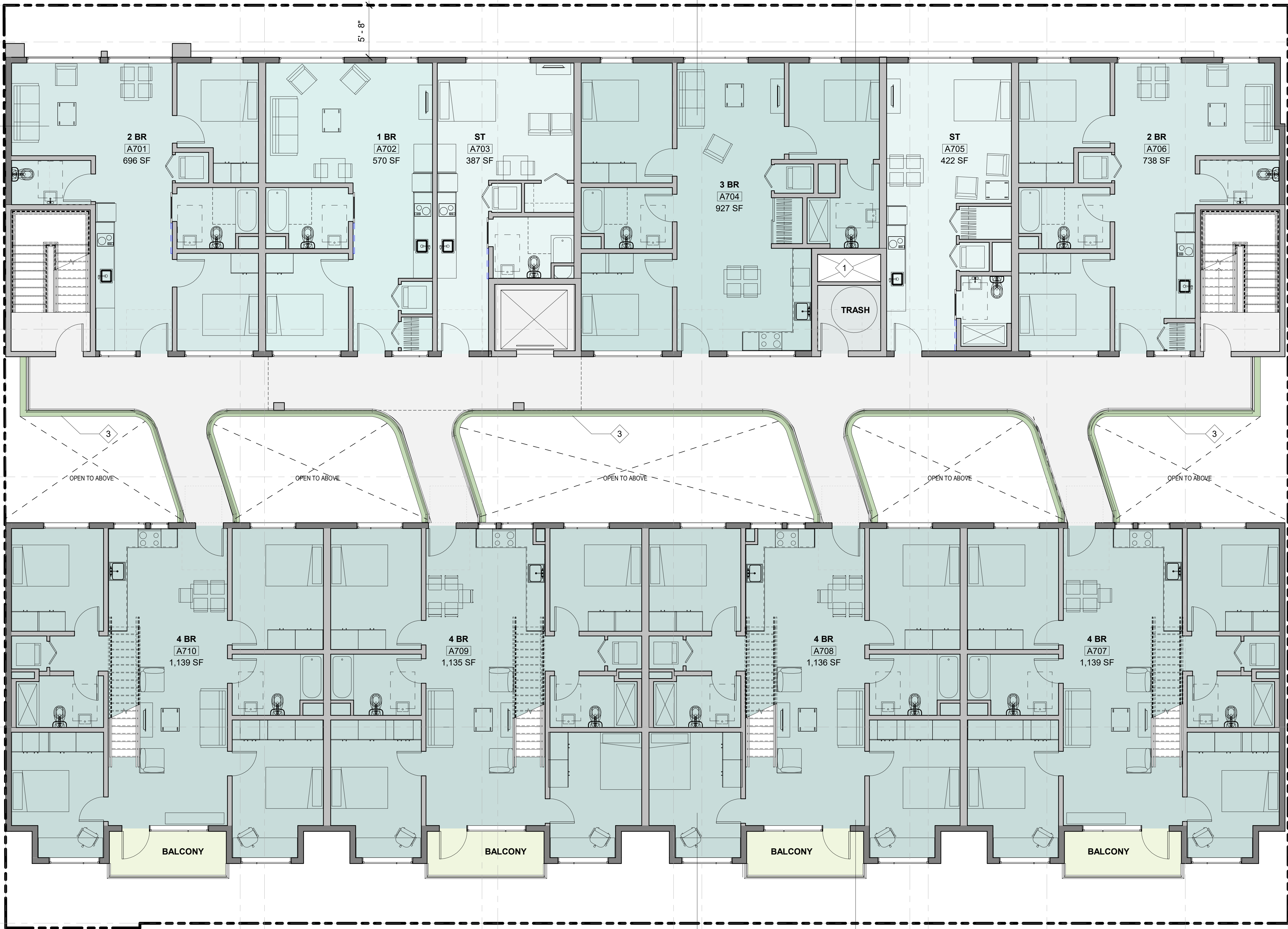
- 1 TRASH CHUTE
- 2 SKYLIGHTS
- 3 BALCONY PLANTING

LEGEND

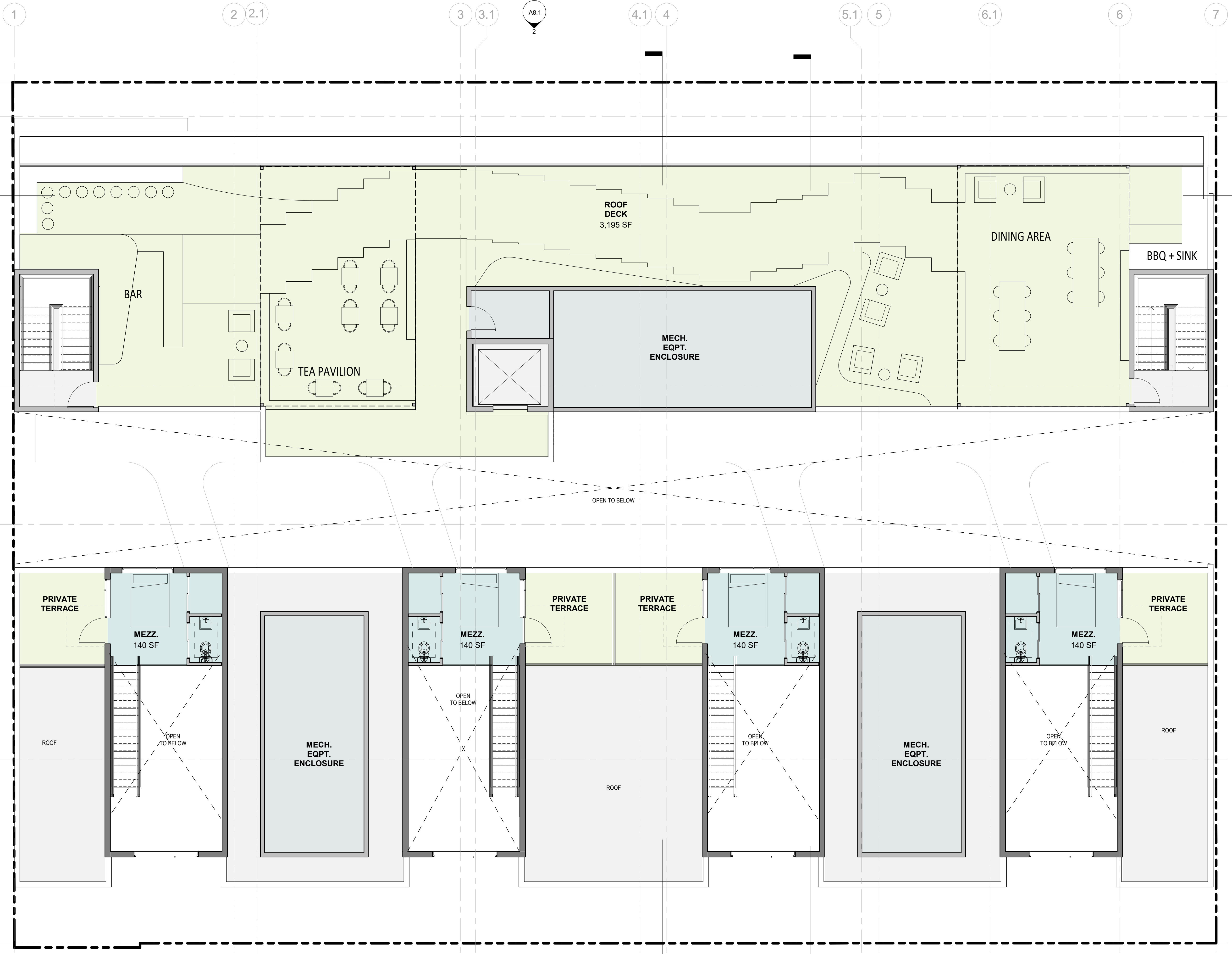
- WALLS
- PROPERTY LINE

Color Legend

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- CIRCULATION
- OPEN SPACE
- STUDIO
- UTILITY



A8.1 1 A4.2 1 A4.3



SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR BUILDING WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

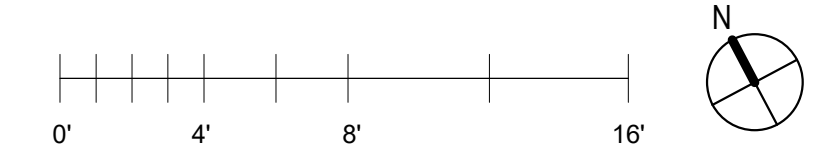
- 1 TRASH CHUTE
- 2 SKYLIGHTS
- 3 BALCONY PLANTING

LEGEND

- WALLS
- - - - - PROPERTY LINE

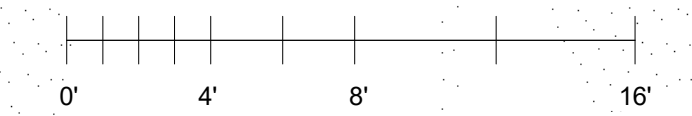
Color Legend

- 2 BEDROOM
- CIRCULATION
- OPEN SPACE
- UTILITY



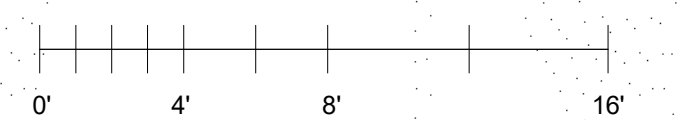


- T.O. STAIR ENCL. 85' - 8"
- T.O. PARAPET 78' - 8"
- LEVEL 8 75' - 0"
- LEVEL 7 65' - 0"
- LEVEL 6 55' - 0"
- LEVEL 5 45' - 0"
- LEVEL 4 35' - 0"
- LEVEL 3 25' - 0"
- EXISTING FACADE 20' - 10"
- LEVEL 2 15' - 0"
- LEVEL 1 0' - 0"



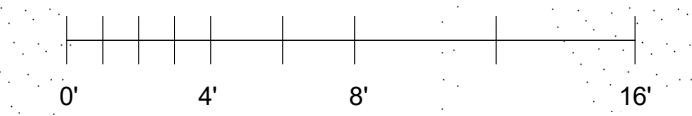


- T.O. STAIR ENCL. 85' - 8"
- T.O. PARAPET 78' - 8"
- LEVEL 8 75' - 0"
- LEVEL 7 65' - 0"
- LEVEL 6 55' - 0"
- LEVEL 5 45' - 0"
- LEVEL 4 35' - 0"
- LEVEL 3 25' - 0"
- EXISTING FACADE 20' - 10"
- LEVEL 2 15' - 0"
- LEVEL 1 0' - 0"



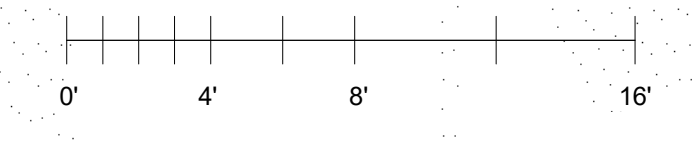


- T.O. STAIR ENCL. 85' - 8"
- T.O. PARAPET 78' - 8"
- LEVEL 8 75' - 0"
- LEVEL 7 65' - 0"
- LEVEL 6 55' - 0"
- LEVEL 5 45' - 0"
- LEVEL 4 35' - 0"
- LEVEL 3 25' - 0"
- EXISTING FACADE 20' - 10"
- LEVEL 2 15' - 0"
- LEVEL 1 0' - 0"





- T.O. STAIR ENCL. 85' - 8"
- T.O. PARAPET 78' - 8"
- - - LEVEL 8 75' - 0"
- - - LEVEL 7 65' - 0"
- - - LEVEL 6 55' - 0"
- - - LEVEL 5 45' - 0"
- - - LEVEL 4 35' - 0"
- - - LEVEL 3 25' - 0"
- EXISTING FACADE 20' - 10"
- - - LEVEL 2 15' - 0"
- - - LEVEL 1 0' - 0"





SHEET NOTES

1.

T.O. STAIR ENCL.
85' - 8"

T.O. PARAPET
78' - 8"

LEVEL 8
75' - 0"

LEVEL 7
65' - 0"

LEVEL 6
55' - 0"

LEVEL 5
45' - 0"

LEVEL 4
35' - 0"

LEVEL 3
25' - 0"

EXISTING FACADE
20' - 10"

LEVEL 2
15' - 0"

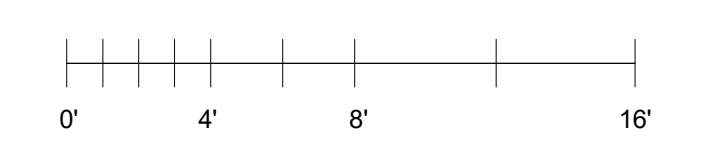
LEVEL 1
0' - 0"

KEY NOTES

- 1 ELEVATOR INCLOSURE
- 2 STAIRCASE INCLOSURE
- 3 BIKE RACKS
- 4 PARKING PUZZLE SYSTEM

LEGEND

- WALLS
- PROPERTY LINE





SHEET NOTES

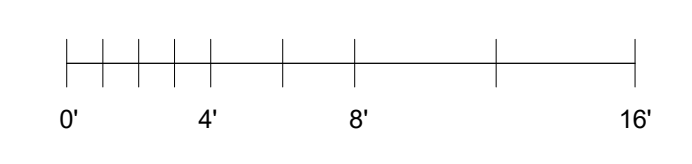
1.

KEY NOTES

- 1 ELEVATOR INCLOSURE
- 2 STAIRCASE INCLOSURE
- 3 BIKE RACKS
- 4 PARKING PUZZLE SYSTEM

LEGEND

- WALLS
- PROPERTY LINE





SHEET NOTES

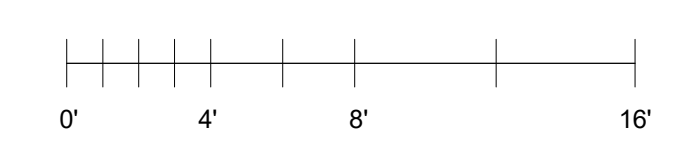
1.

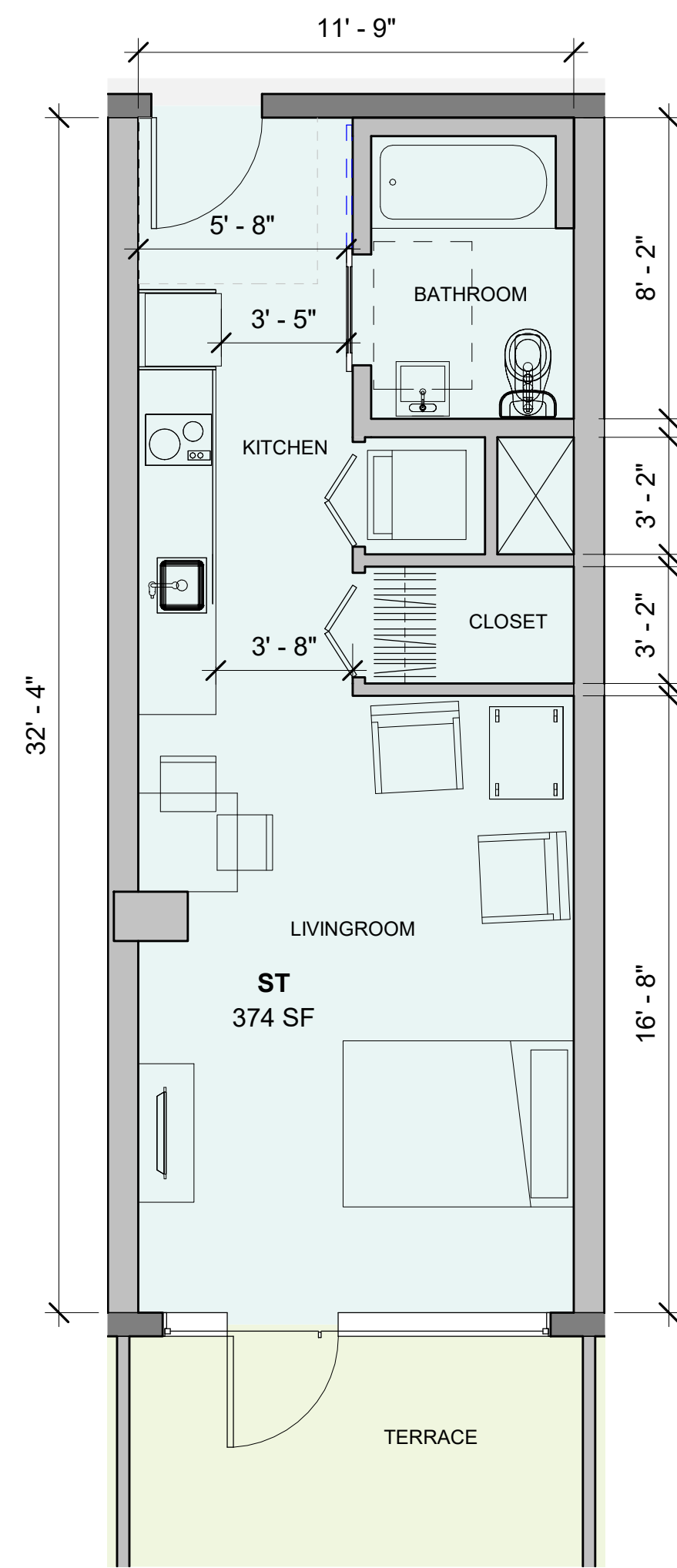
KEY NOTES

- 1 ELEVATOR INCLOSURE
- 2 STAIRCASE INCLOSURE
- 3 BIKE RACKS
- 4 PARKING PUZZLE SYSTEM

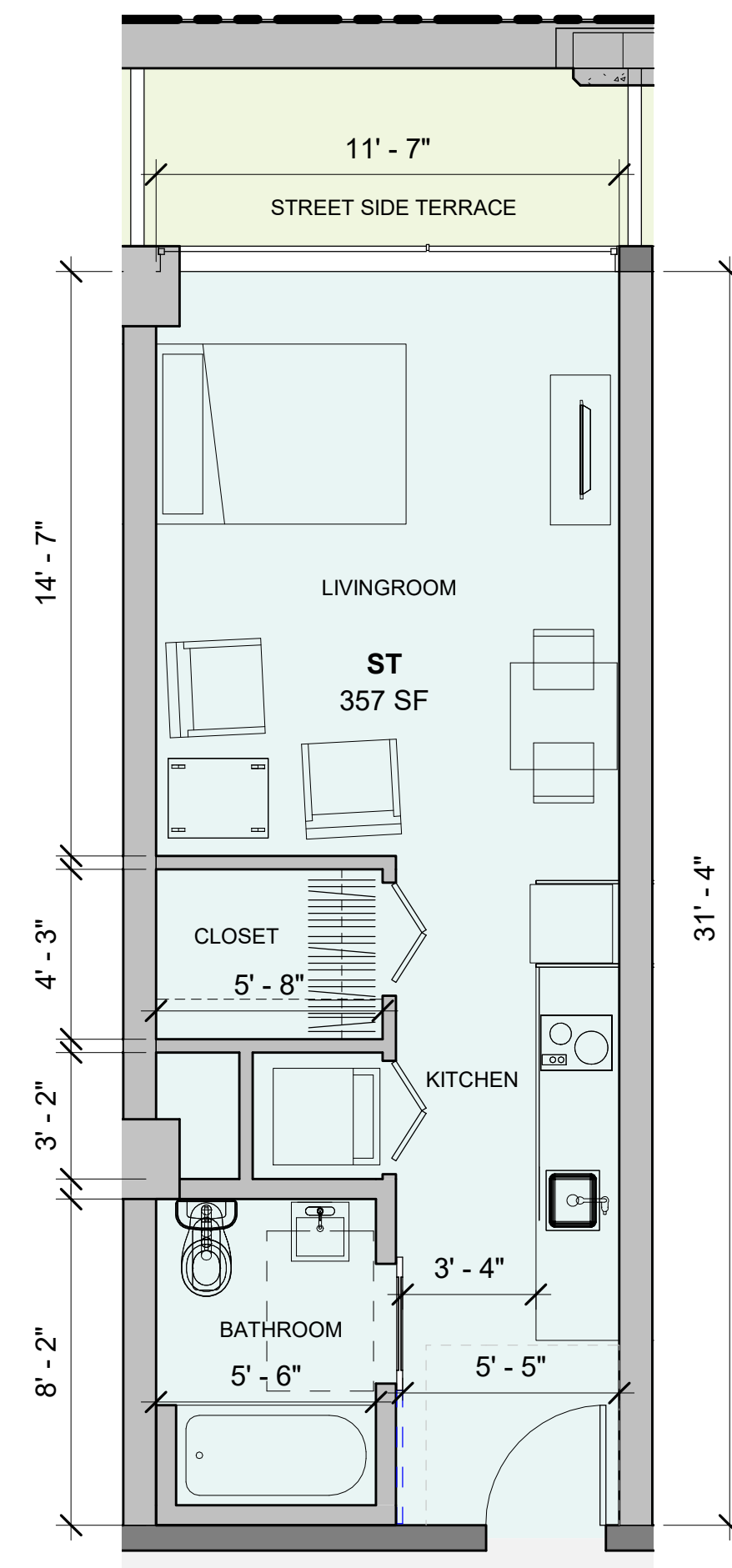
LEGEND

- WALLS
- - - PROPERTY LINE

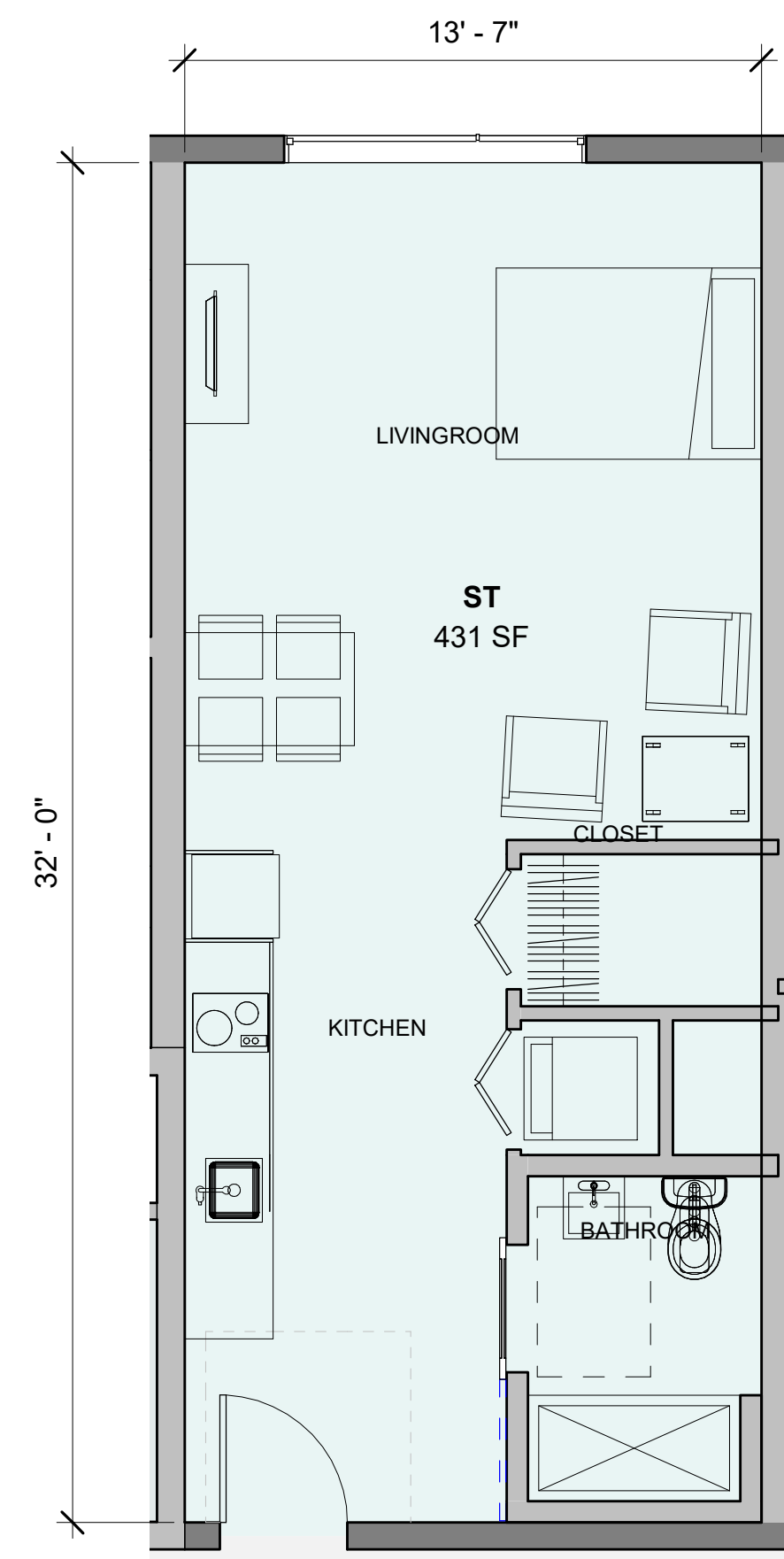




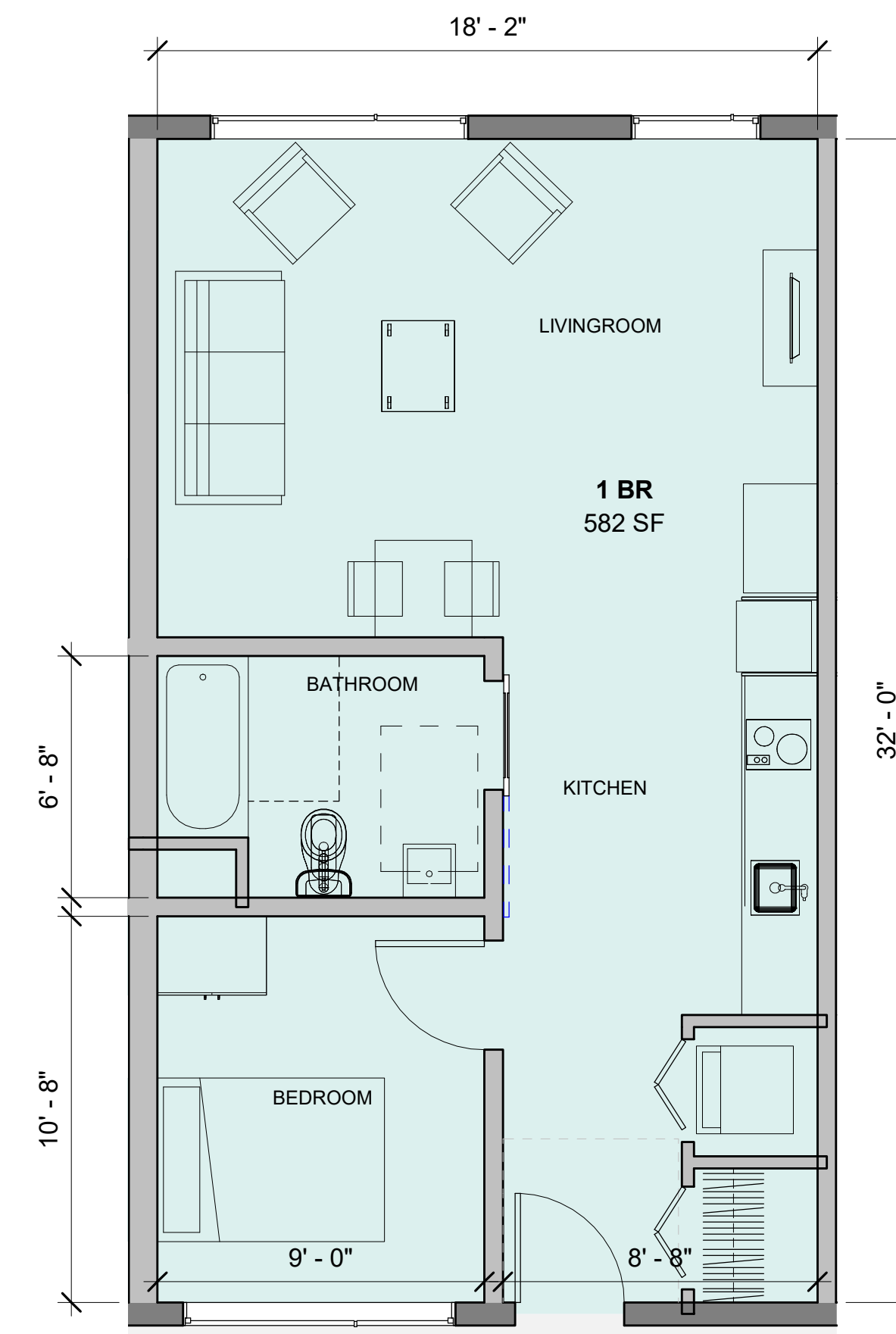
LEVEL 2 - TYPICAL STUDIO WITH PRIVATE TERRACE



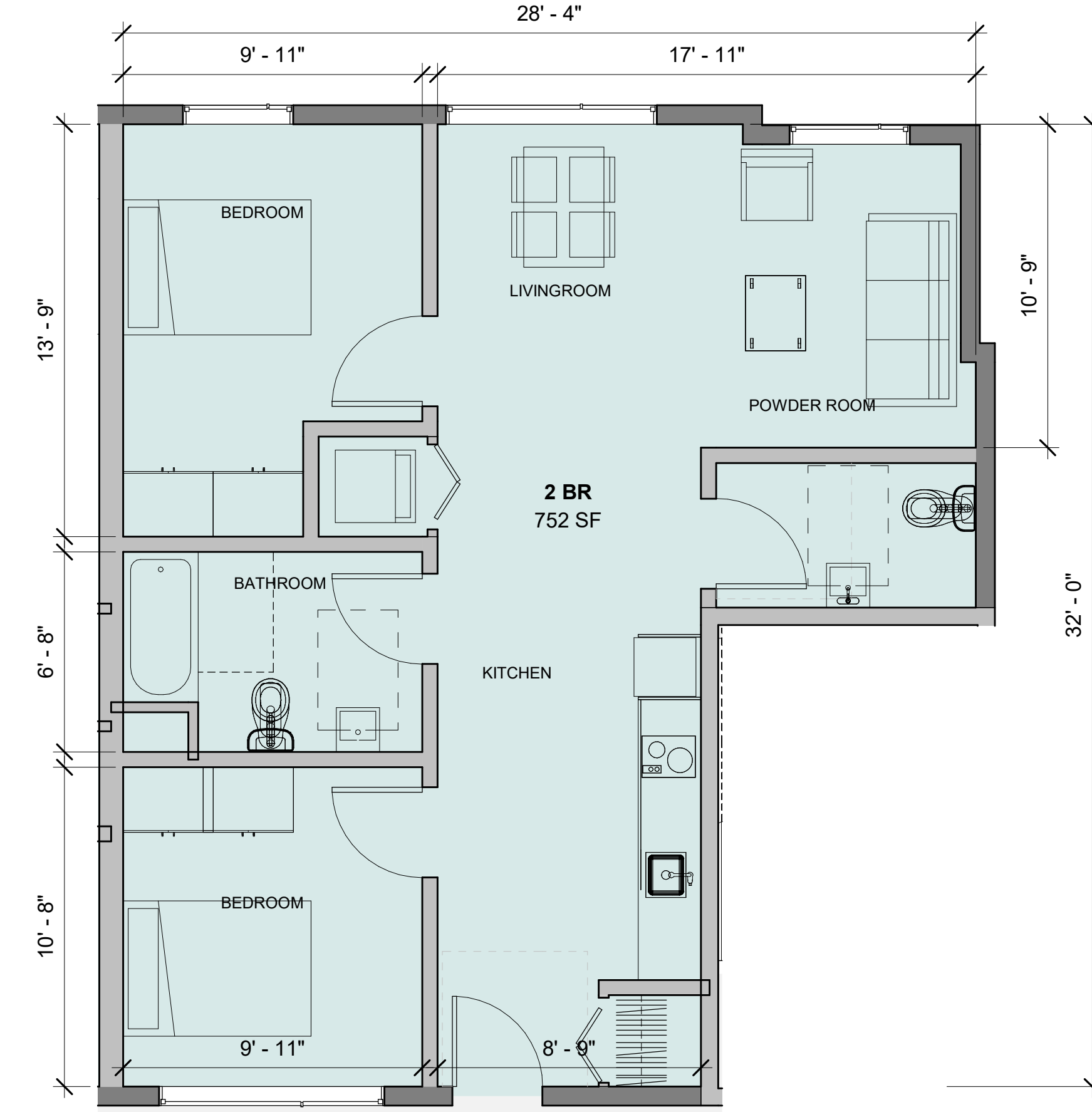
LEVEL 2 - TYPICAL STUDIO



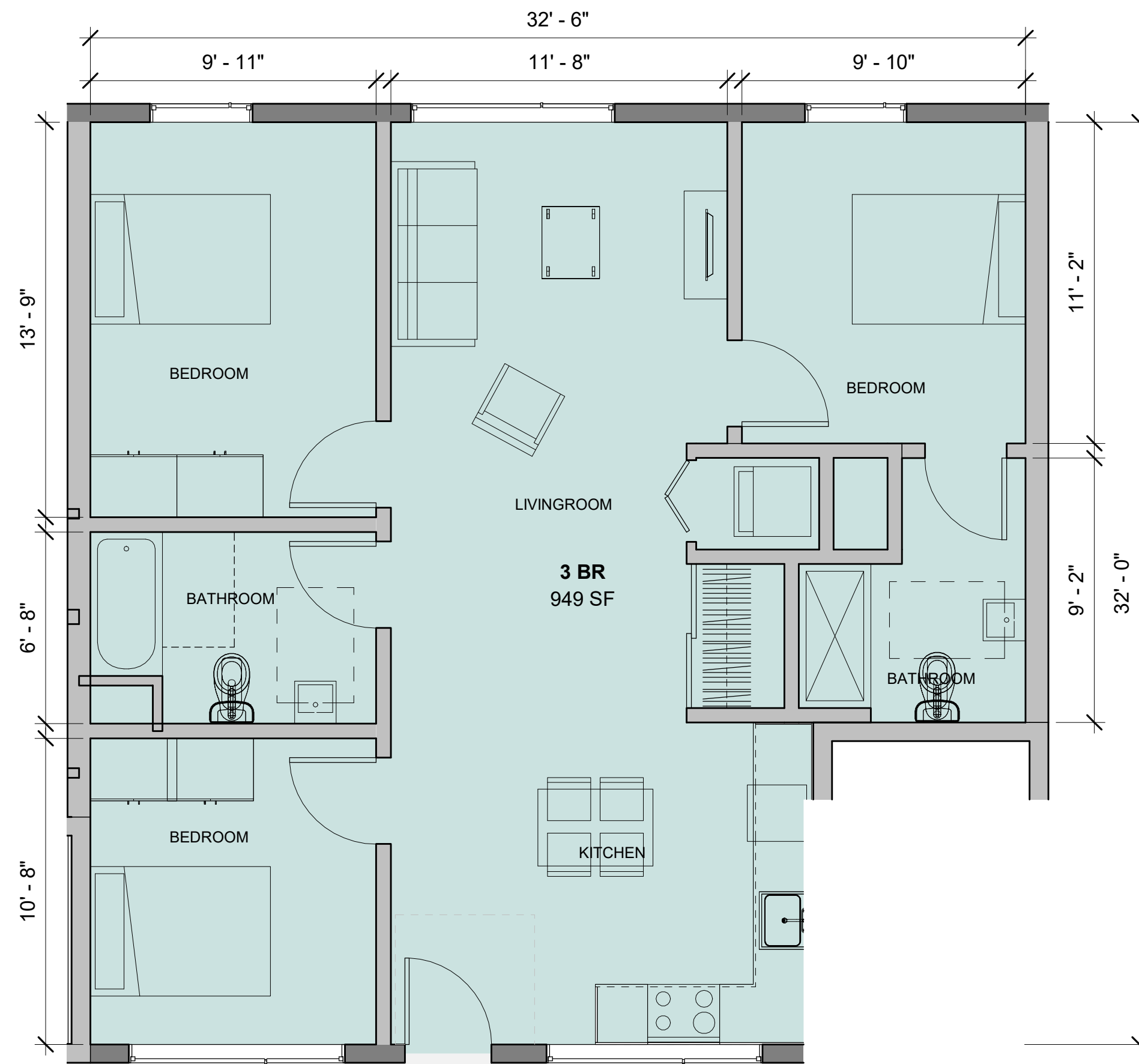
LEVEL 3-6 - TYPICAL STUDIO



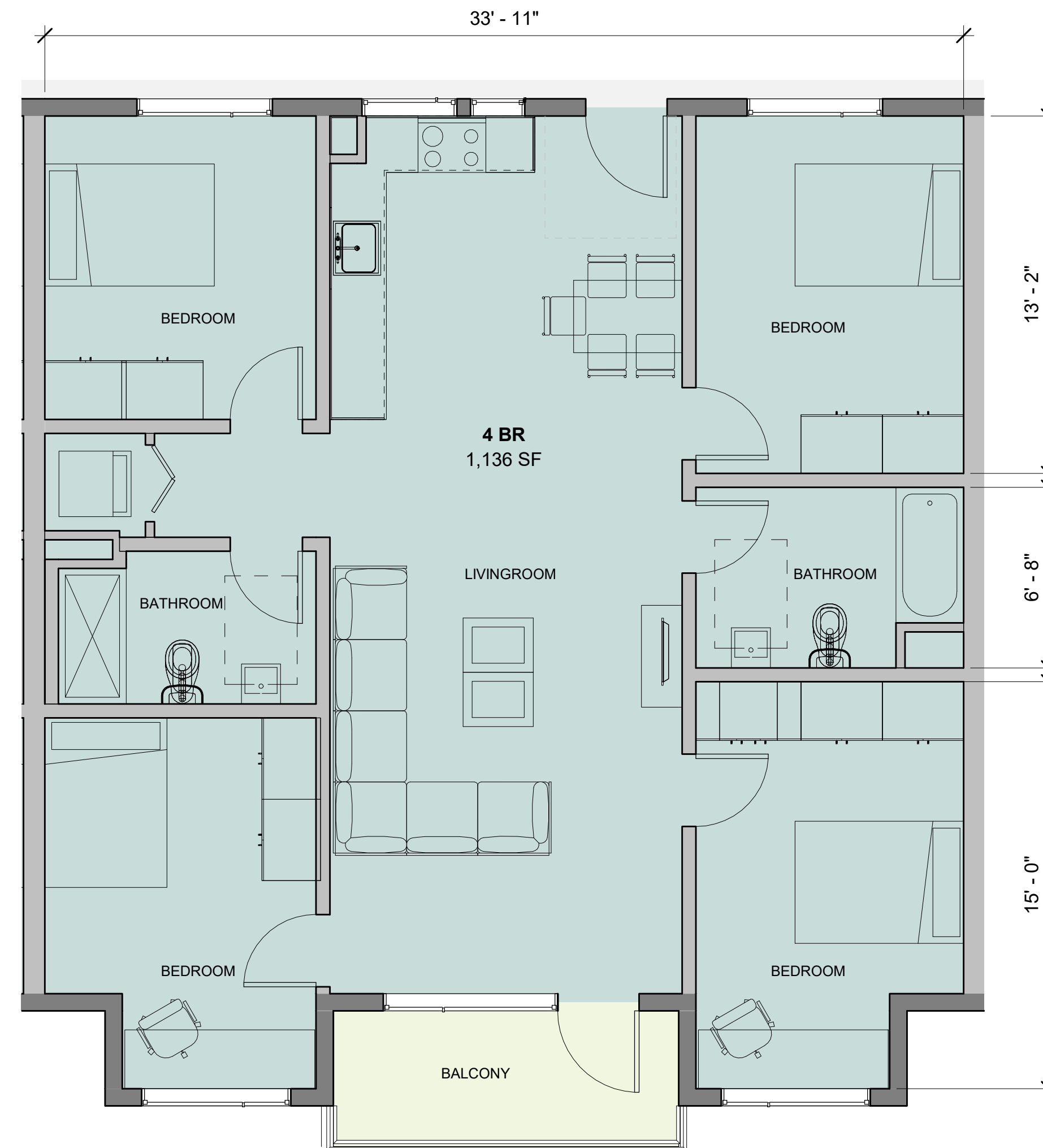
LEVEL 3-6 - TYPICAL 1 BEDROOM



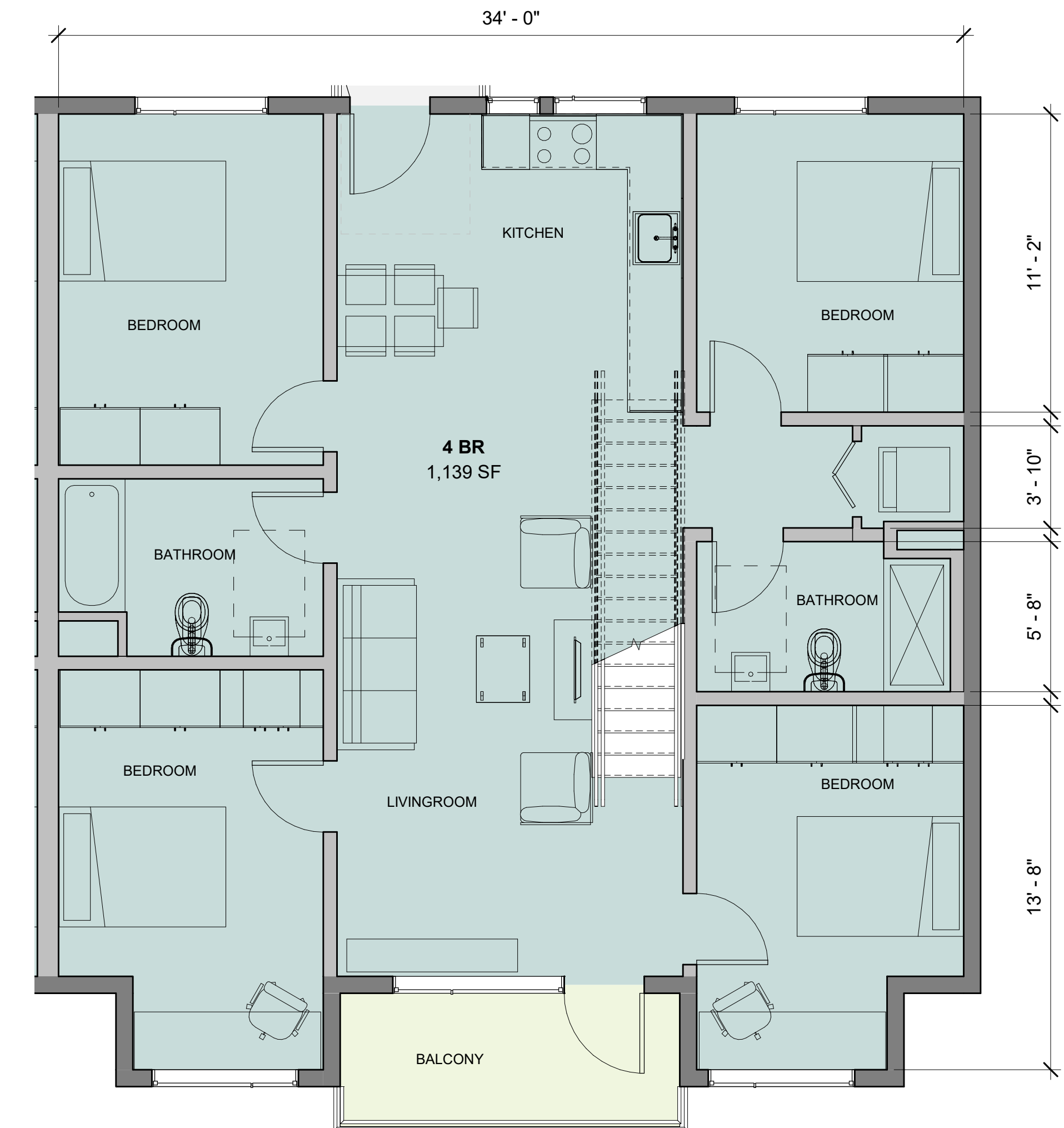
LEVEL 3-6 - TYPICAL 2 BEDROOM



LEVEL 3-6 - TYPICAL 3 BEDROOM

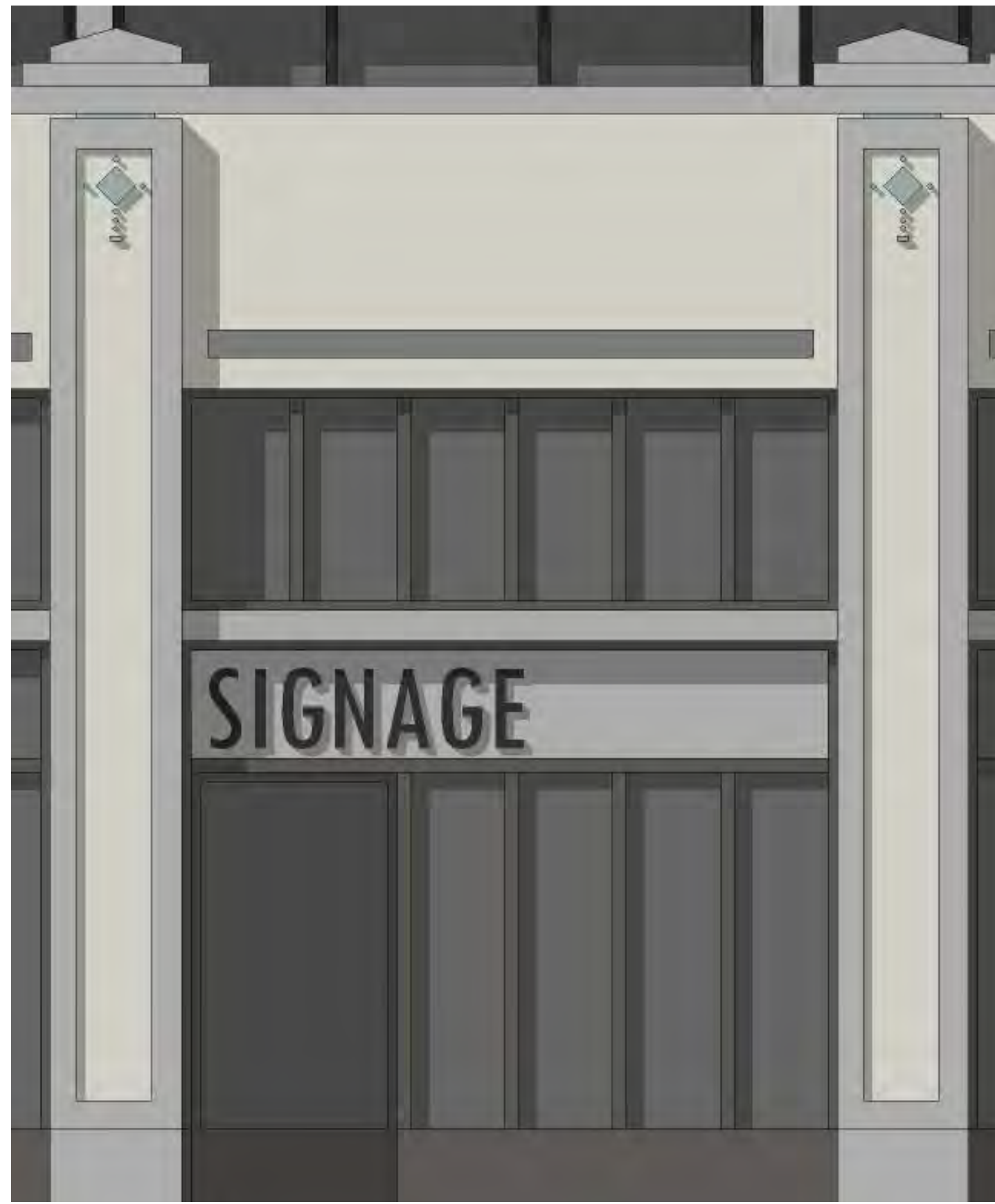


LEVEL 3-6 - TYPICAL 4 BEDROOM



LEVEL 7 - TYPICAL 4 BEDROOM

1 RETAIL SIGNAGE



2 LOBBY SIGNAGE



1 RETAIL SIGNAGE EXAMPLE



2 LOBBY SIGNAGE EXAMPLE

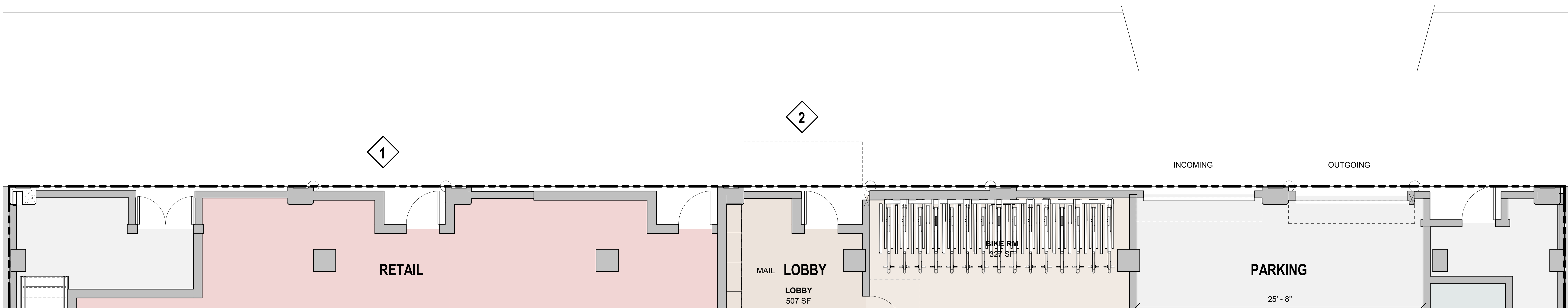


SHEET NOTES

1. SIGNAGE ABOVE RETAIL CAN BE MOUNTED TO THE STRIPE ON THE FACADE ABOVE THE ENTRANCE
2. SIGNAGE ABOVE LOBBY CAN BE MOUNTED ON THE TOP OF CANOPY
3. BOTH SIGNAGES ARE METAL LETTERS

KEY NOTES

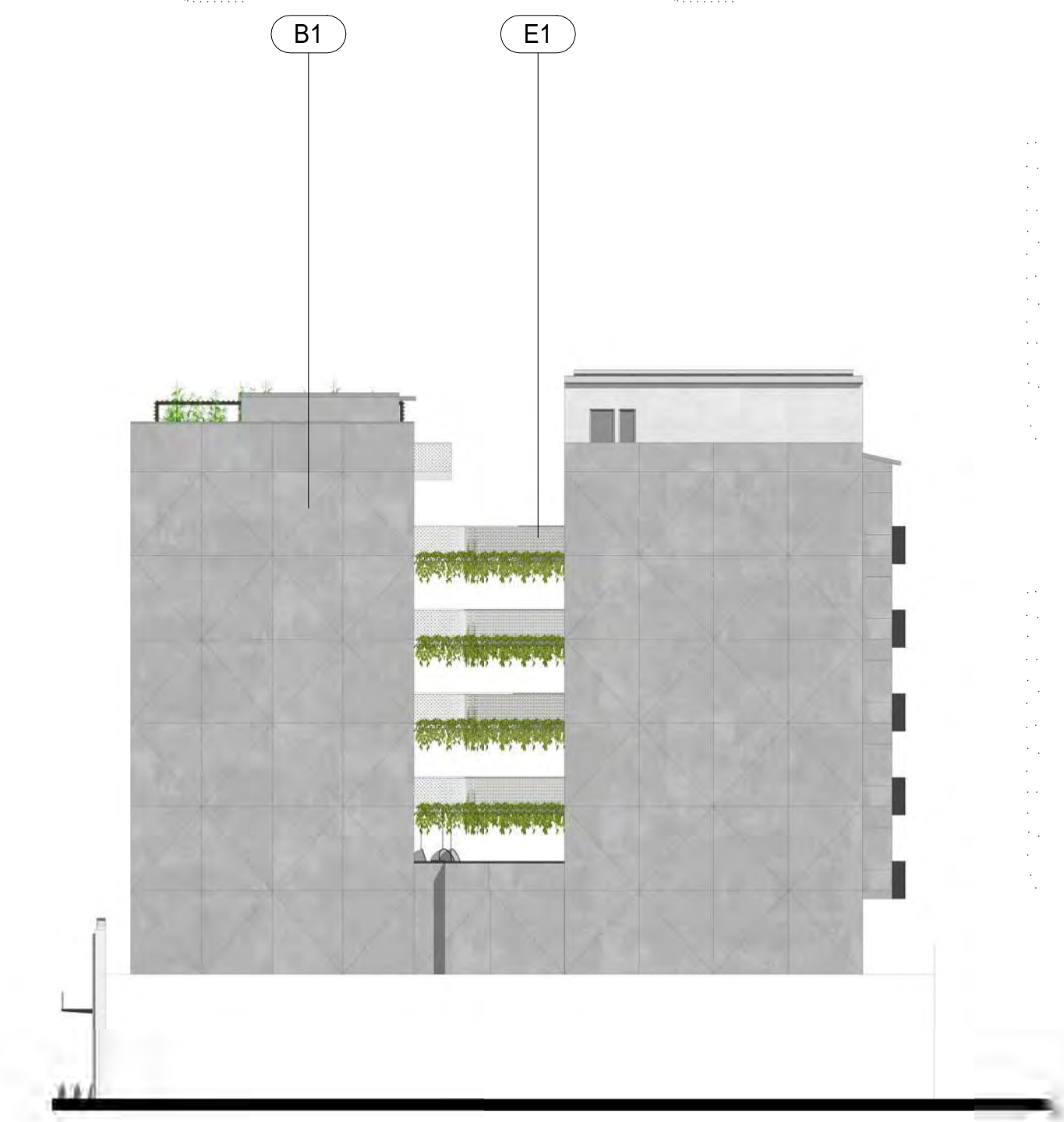
- 1 RETAIL SIGNAGE
- 2 LOBBY SIGNAGE



1 SITE PLAN
1/4" = 1'-0"



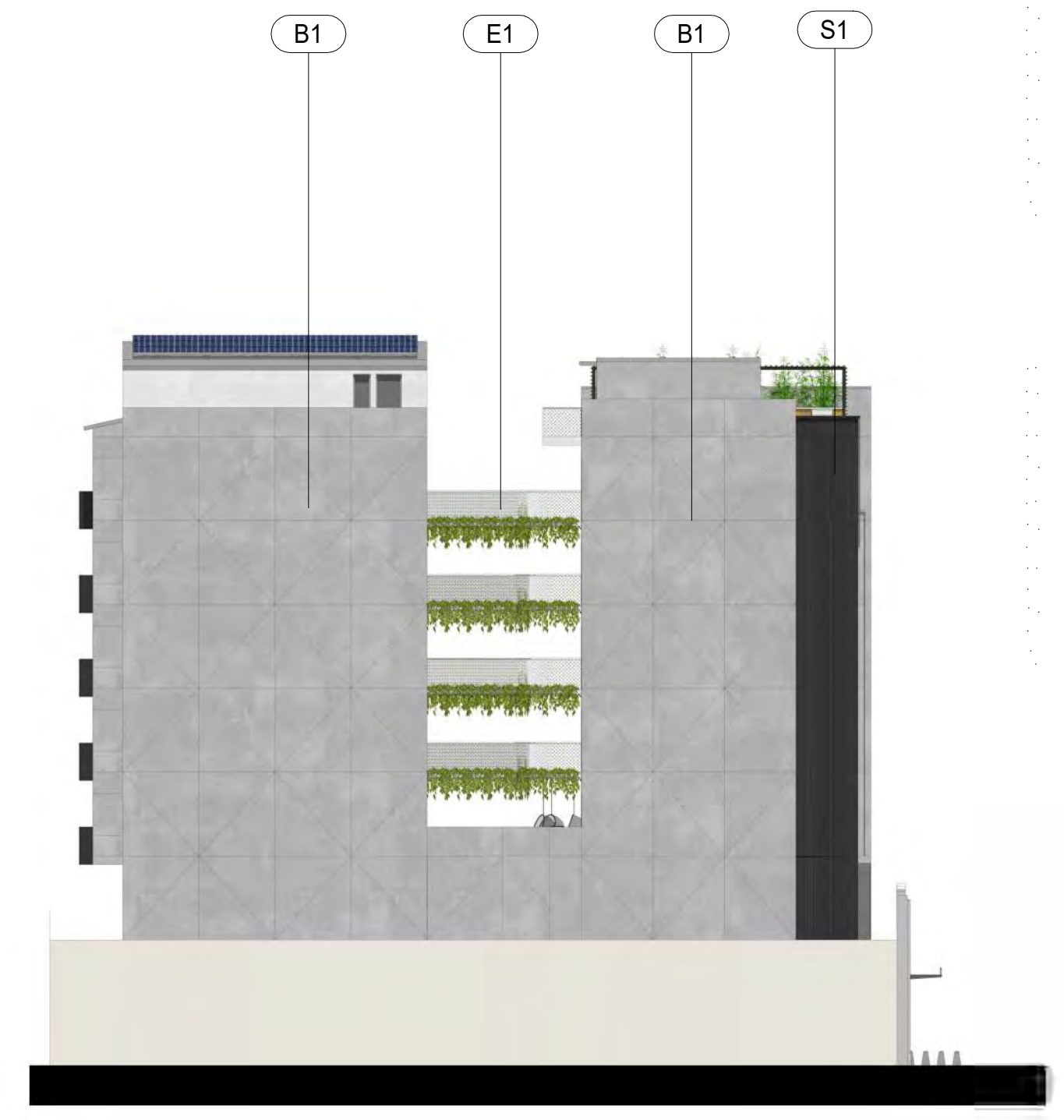
② STREET FRONT
1/16" = 1'-0"



③ WEST SIDE
1/16" = 1'-0"



① SOUTH SIDE
1/16" = 1'-0"



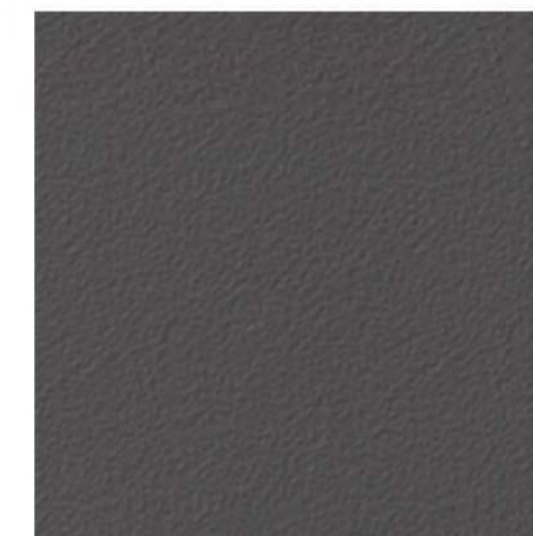
④ EAST SIDE
1/16" = 1'-0"



S1



B1



B2

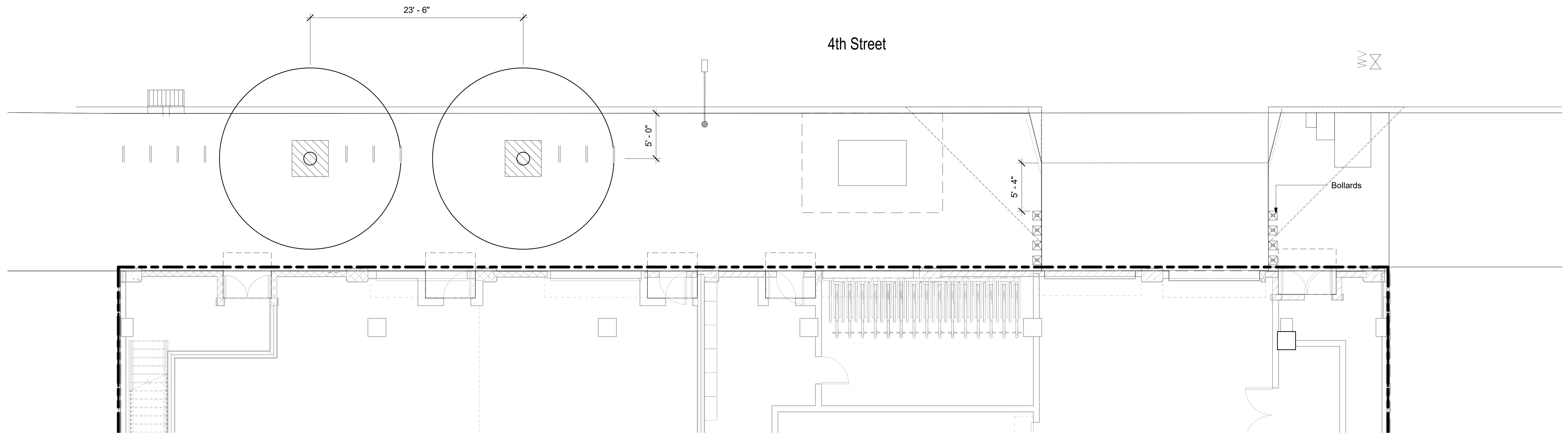


B3



E1

LEGEND	
S1	SUGI BAN
B1	SMOOTH PLASTER - GREY
B2	CEMBRIT FIBER CEMENT - PLUTO
B3	SMOOTH PLASTER - WHITE
E1	METAL PERFORATED RAILING



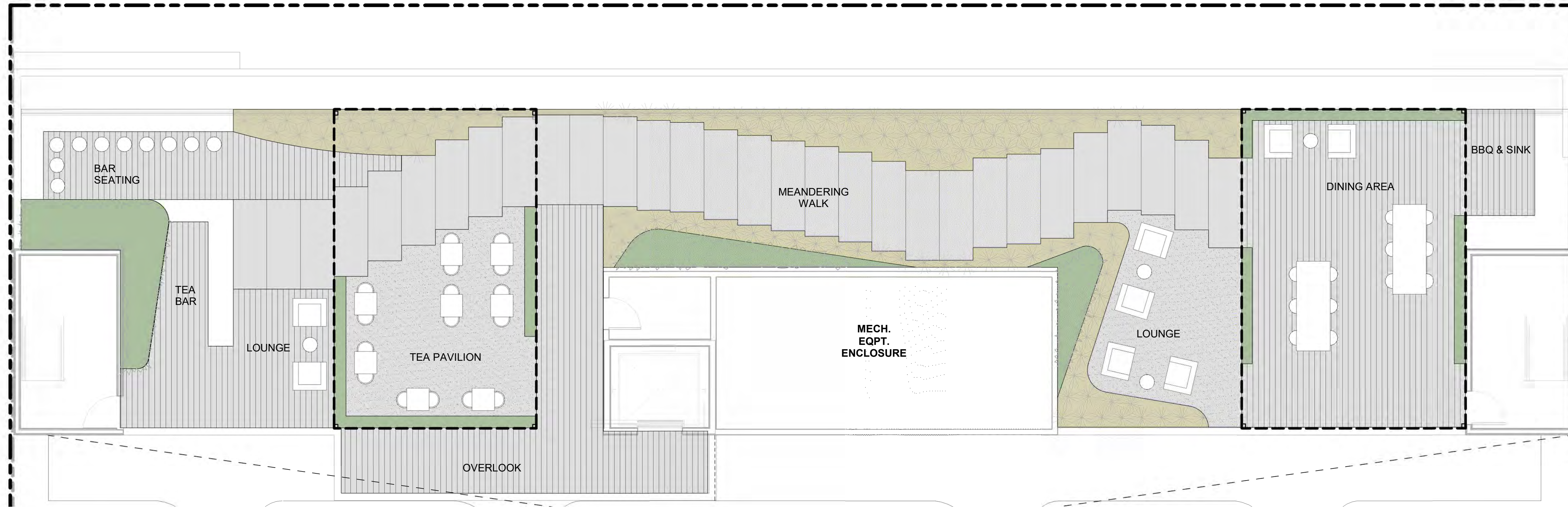
Trident Maple
Acer buergeranum



Inverted U
Bike Rack



Bollards



1 ROOF MATERIALS PLAN
3/16" = 1'-0"



- Planter Box
- Planting Tray
- Decking
- Gravel
- Paving Slabs
- Dining Table
- Floor Seating
- Lounge Chair
- Trellis Extents

- Planting Area
- Decking
- Hanging Pod Chair
- Skylight
- Seating Stone
- Fountain

ROOF GARDEN MATERIAL PALETTE

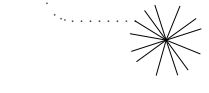
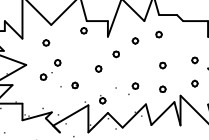


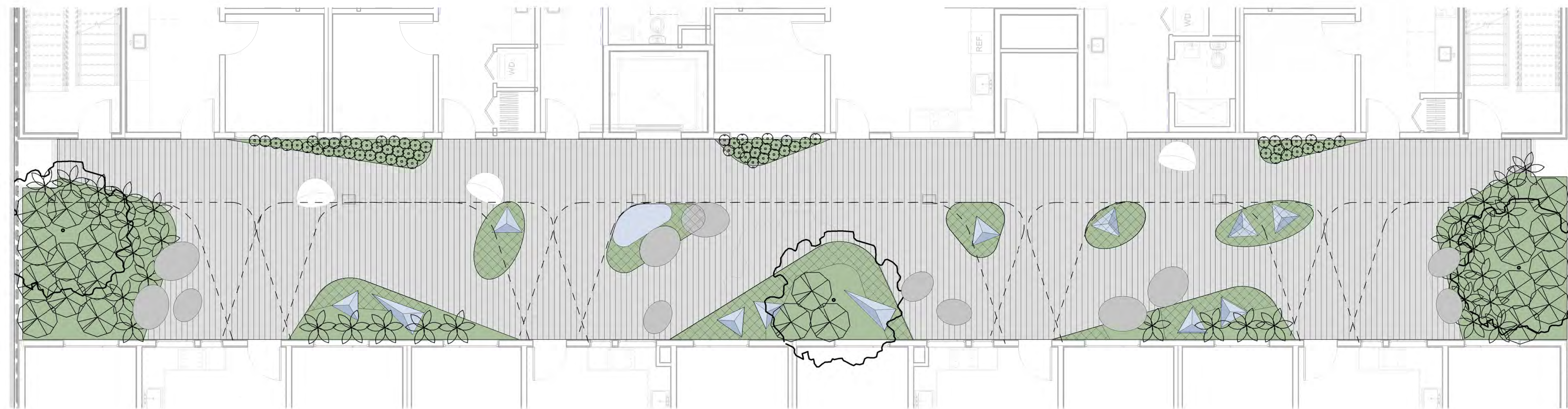
PODIUM GARDEN MATERIAL PALETTE



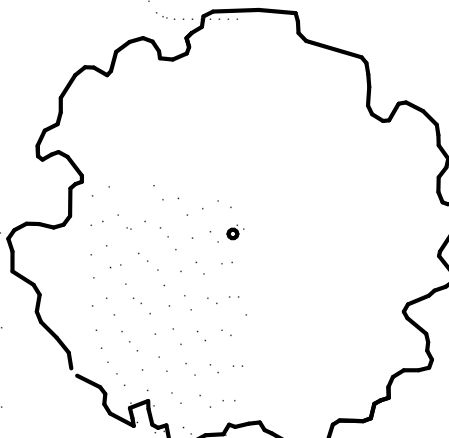
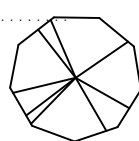


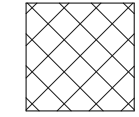


① ROOF GARDEN PLANTING PLAN
3/16" = 1'-0"

-  White Cloud Muhly
-  Fishpole Bamboo
-  Side Slat Panels w/ Plants



② PODIUM PLANTING PLAN
3/16" = 1'-0"

-  Vine Maple
-  Soft Caress Mahonia
-  Western Sword Fern
-  Meadow Rue
-  Wild Ginger

ROOF GARDEN PLANTING PALETTE



White Cloud Muhly
Muhlenbergia 'White Cloud'
L



Fishpole Bamboo
Phyllostachys aurea
L

PODIUM GARDEN PLANTING PALETTE



Vine Maple
Acer circinatum
M



Soft Caress Mahonia
Mahonia 'Soft Caress'
M



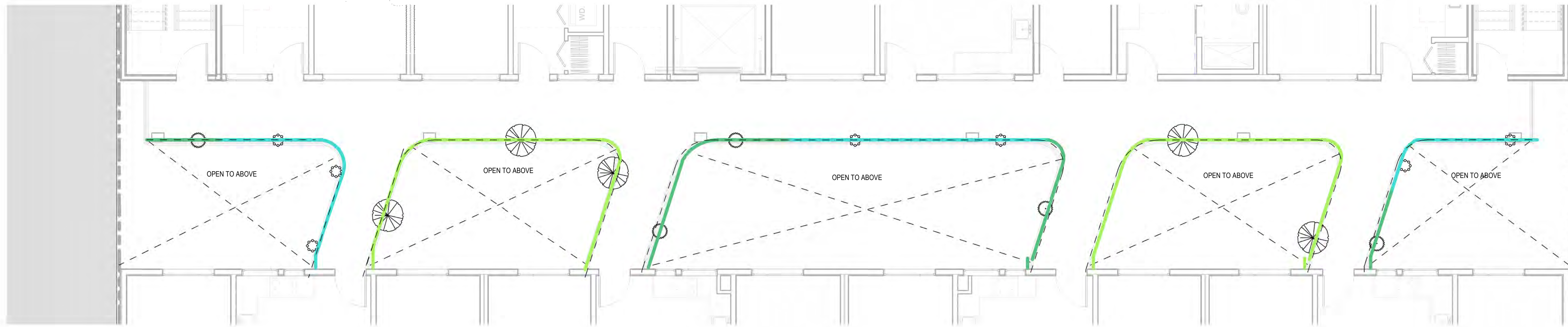
Western Sword Fern
Polystichum munitum
M



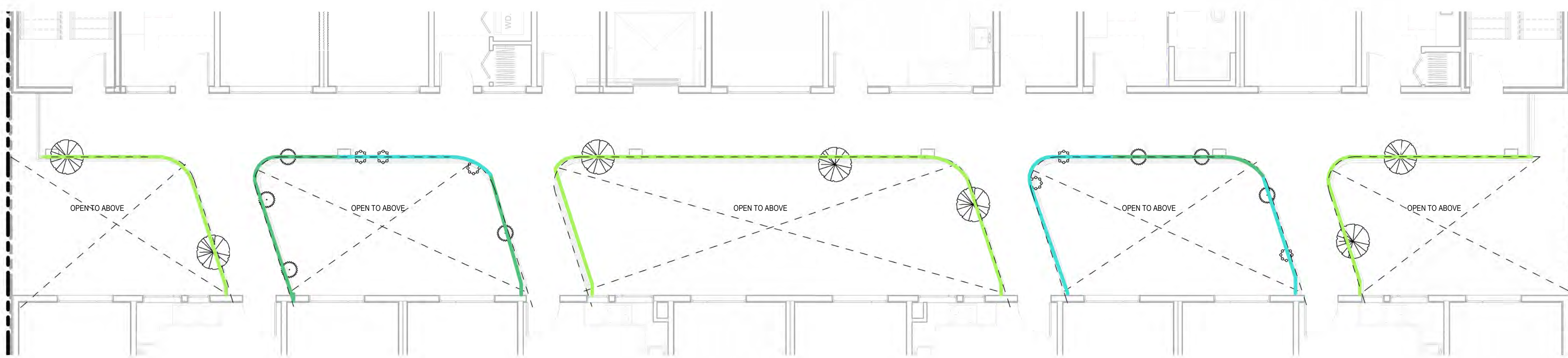
Meadow Rue
Thalictrum rochebruneanum
H



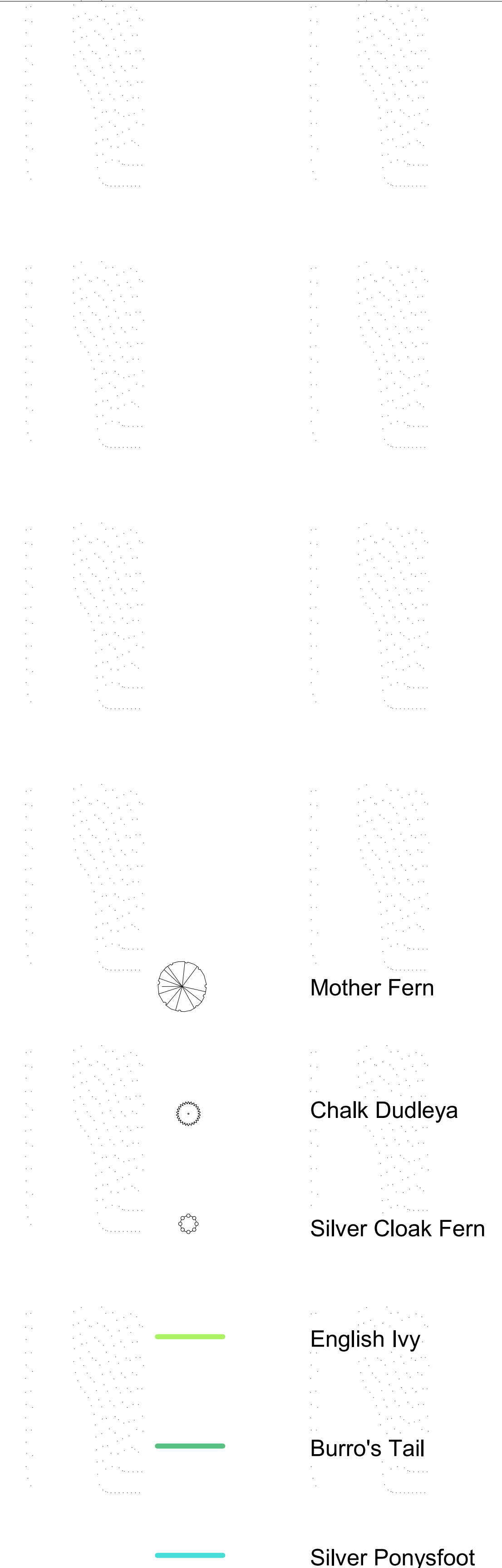
Wild Ginger
Asarum caudatum
M



① LEVEL 4 & 6 PLANTING PLAN
3/16" = 1'-0"

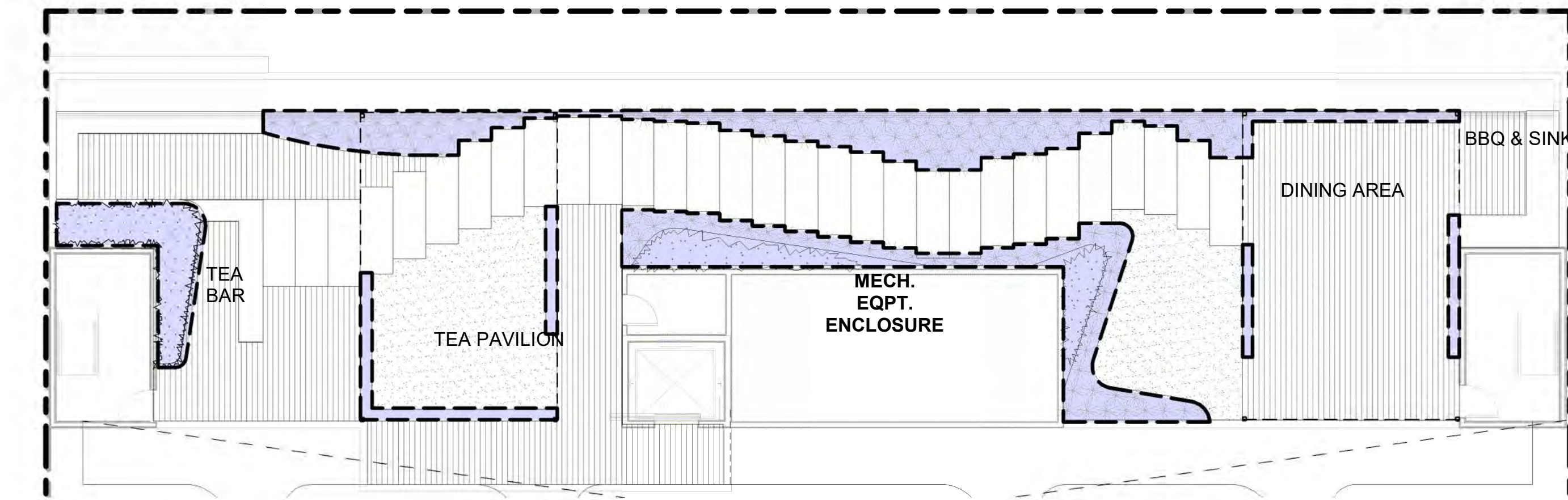


② LEVEL 3 & 5 PLANTING PLAN
3/16" = 1'-0"

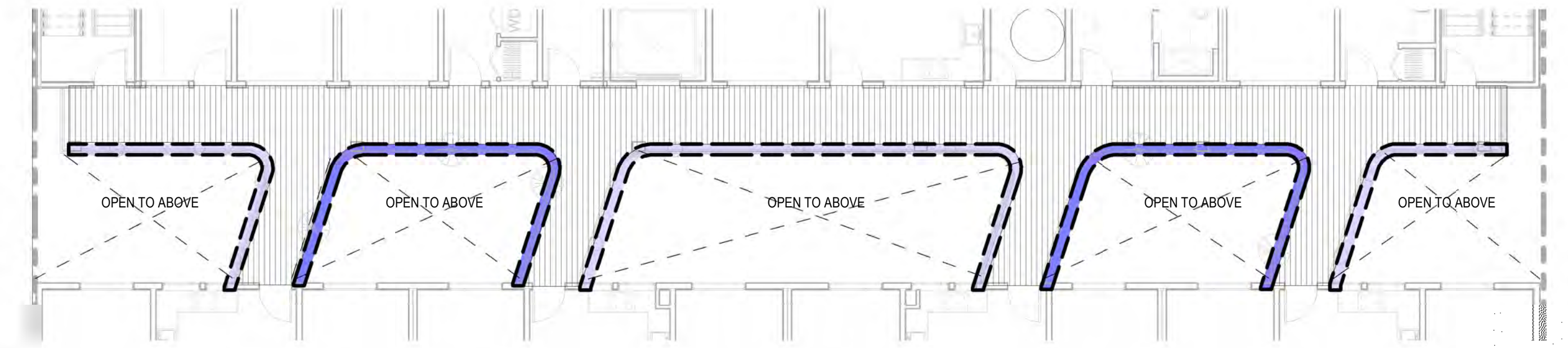


BALCONY AND TRELLIS PLANTING PALETTE

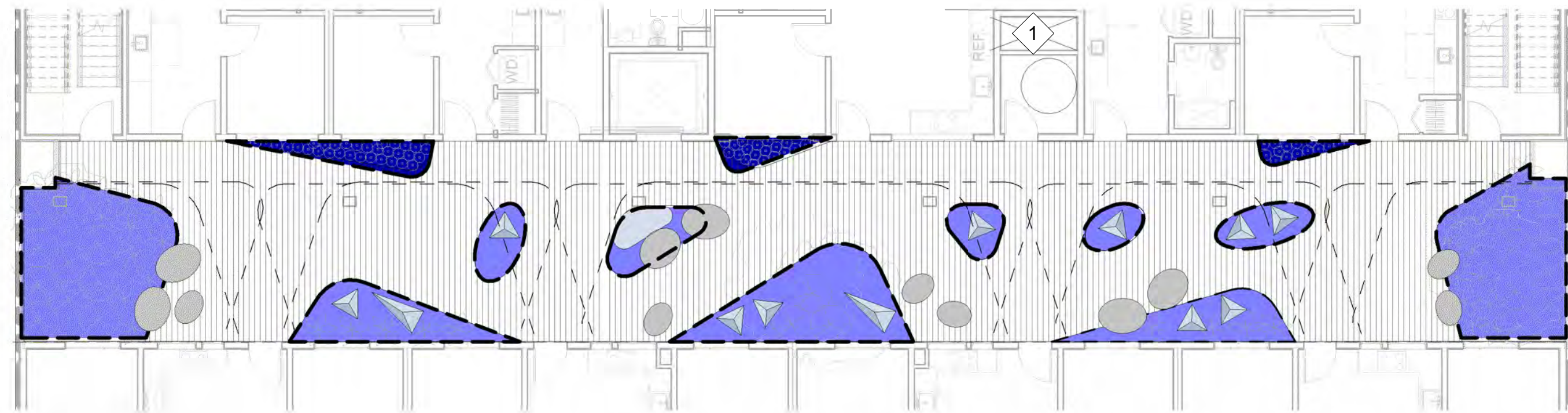




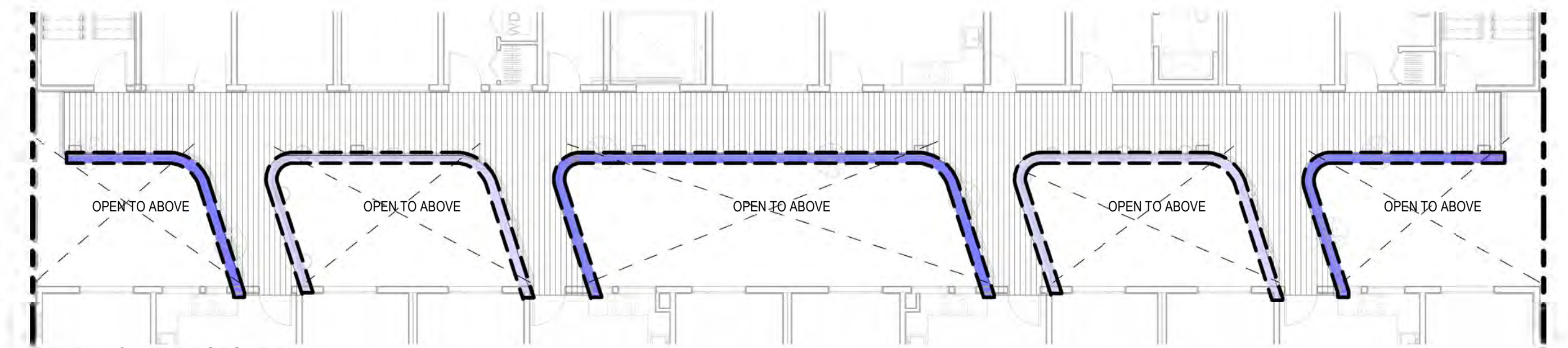
2 ROOF HYDROZONE PLAN
1" = 10'-0"



3 LEVEL 4 & 6 HYDROZONE PLAN
1" = 10'-0"



1 PODIUM HYDROZONE PLAN
1" = 10'-0"



4 LEVEL 3 & 5 HYDROZONE PLAN
1" = 10'-0"

Date:	1/6/2020
Project Name:	Noodle Factory
Project Contact:	Jennifer Ivanovich
Project Contact Email:	jennifer@lowneyarch.com

Maximum Applied Water Allowance (MAWA)	Project Type	ET _o	ETAF	Special Landscape Area (SLA)	Total Landscape Area including SLA	MAWA (gal/yr)
	Non-residential	41.8	0.45	-	2,241	26,135

$MAWA = (ET_o) * (0.82) * [(ETAF * LA) + ((1 - ETAF) * SLA)]$

Estimated Total Water Use (ETWU)	ET _o	(SF * PF) / IE	SLA	ETWU (gal/yr)
	41.8	900	-	23,312

$ETWU = (ET_o) * (0.82) * [(PF * SF) / IE + SLA]$

Difference between MAWA and ETWU: 2,823 **Project meets water budget.**

ETWU Calculation (Regular landscape areas)	Zone #	Description	Select irrigation	Square Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE
	1	ony Moderate	Drip	412	0.40	0.81	203
	2	BalconyLow	Drip	412	0.10	0.81	51
	3	um Moderate	Drip	719	0.40	0.81	355
	4	Podium High	Drip	64	0.70	0.81	55
	5	Roof Deck	Drip	634	0.30	0.81	235
	Landscape area (not including SLA)				2,241		900

ETWU Calculation (Special Landscape Areas (SLA))	Description	Square Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SF * PF) / IE
	Edible planting area		1.0	-
	Multi-use and sports field turf area		1.0	-
	Area irrigated with recycled water		1.0	-
	Pool		1.0	-
	Total SLA	0		0

Total Landscape Area (including SLA) from ETWU Calculation: 2,241

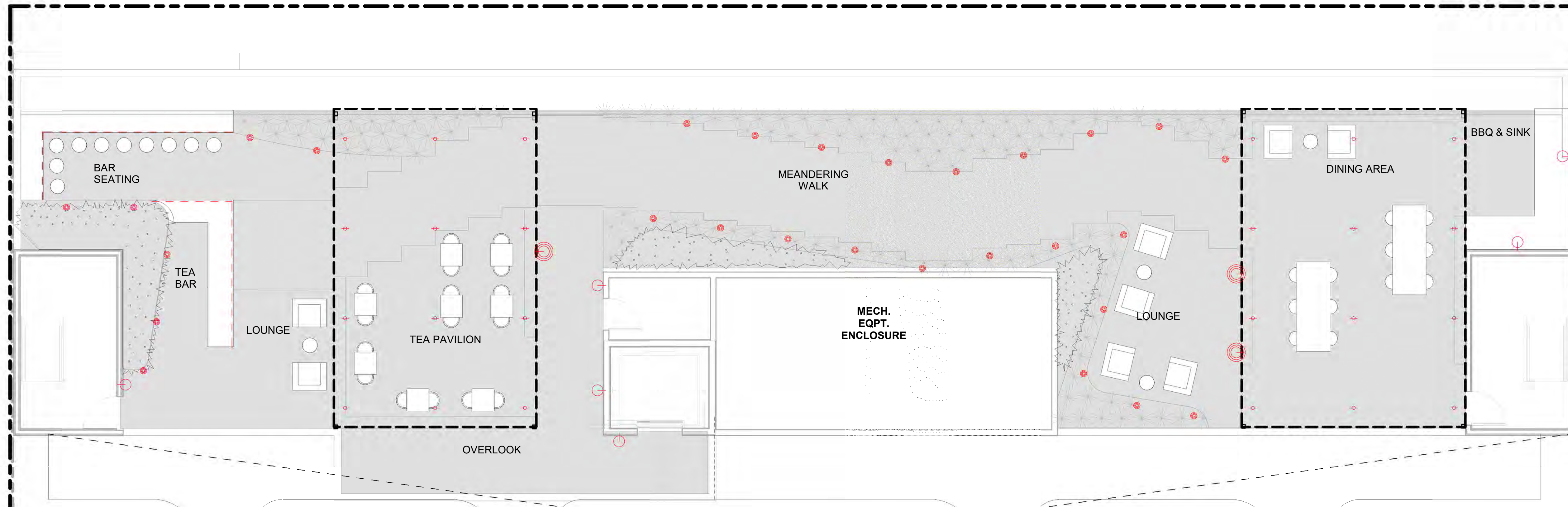
Irrigation design intent

Irrigation system is designed to provide the minimum amount of water necessary to sustain good plant health. All selected components are commercial grade, selected for durability, vandal resistance and minimum maintenance requirement. The system is a combination of subsurface irrigation and tree bubblers as appropriate to plant type, exposure, and slope conditions.

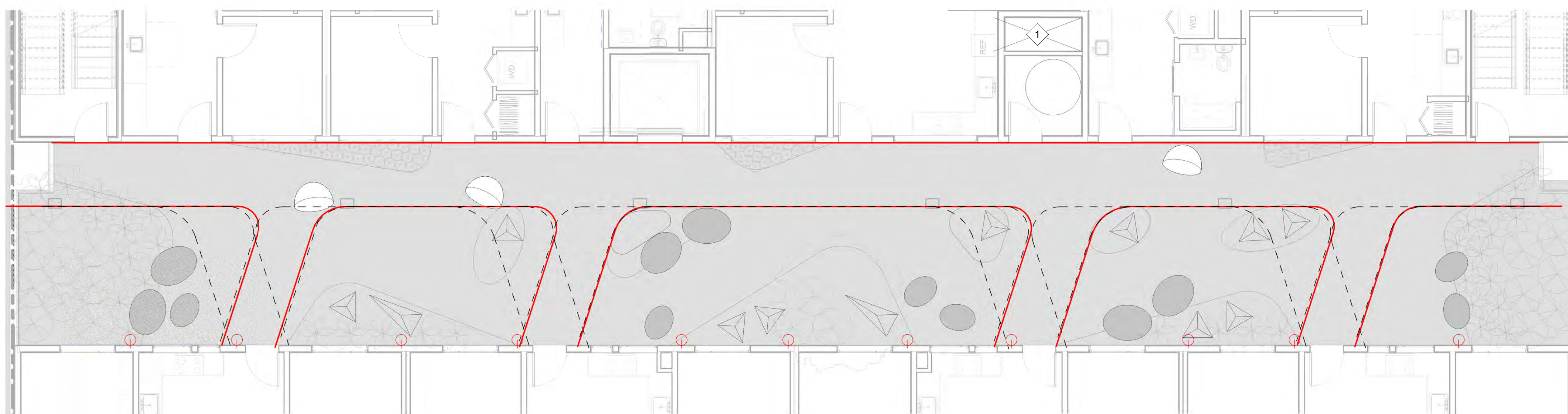
Control of the system is via a weather-enabled controller capable of daily self-adjustment based on real-time weather conditions as measured by an on-site weather sensor.

The system includes a master control valve and flow sensing capability which will shut down all or part of the system if leaks are detected.


- High Water Use
- Moderate Water Use
- Low Water Use





① ROOF LIGHTING PLAN
3/16" = 1'-0"




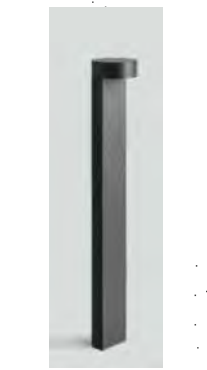
② PODIUM LIGHTING PLAN
3/16" = 1'-0"


- 

Tape Light
PH-PERFORMANCE 300 (OUTDOOR)
BY KELVIX
<https://kelvix.com>
- 

Can Light
LED CEILING-MOUNTED DOWNLIGHT
66975
BY BEGA
www.bega-us.com
- 

Wall Mount
"PITCH SINGLE" 700WSPIT
BY TECHLIGHTING
www.techlighting.com
- 

Wall Luminaire - Directed Light
33395
BY BEGA
www.bega-us.com
- 

Bollard
PATHWAY BOLLARD
77 263
By BEGA
www.bega-us.com
- 

Recessed Lights
Q-CAP Flexible Fixtures
BY Q TRAN
BOXA- SW
www.q-tran.com

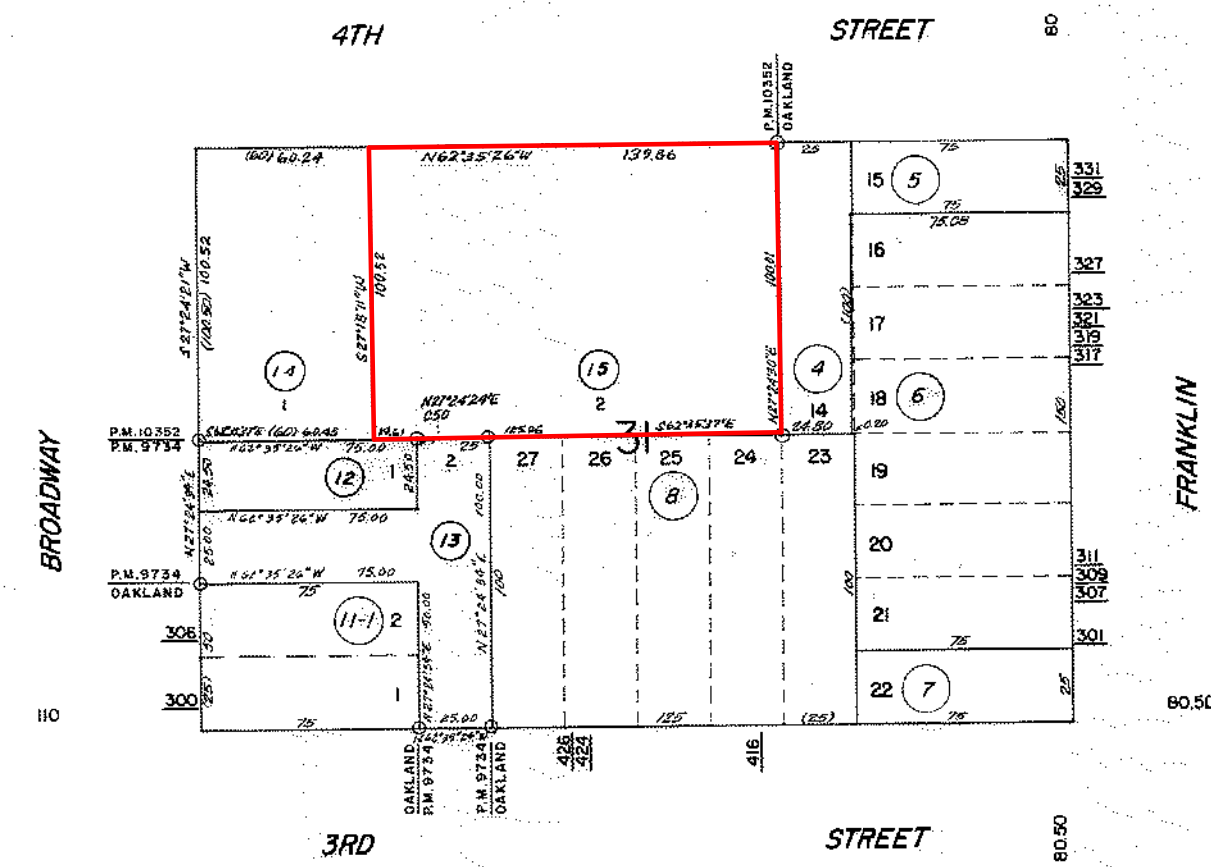


419 4TH STREET, OAKLAND CA

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	(N)	NEW
ACOUS	ACOUSTICAL	NEG	NEGATIVE
ADJ	ADJUSTABLE	NOM	NOMINAL
AL	ALIGN	NIC	NOT IN CONTRACT
ALT	ALTERNATE	NTS	NOT TO SCALE
AB	ANCHOR BOLT	NO	NUMBER
APROV	APPROVED		
ARCH	ARCHITECTURAL	OC	ON CENTER
AUTO	AUTOMATIC	OD	OUTSIDE DIAMETER
BLDC	BUILDING	OP	OPENING
BLKG	BLOCKING	OPP	OPPOSITE
BM	BEAM	ORIG	ORIGINAL
BD	BOARD	PART	PARTITION
BO	BOTTOM OF	PP	PARTIAL PENETRATION
BS	BOTH SIDES	PAF	POWDER ACTUATED FASTENER
		PLAM	PLASTIC LAMINATE
CAB	CABINET	PL	PLATE
CBC	CALIFORNIA BUILDING CODE	PN	PLATE NAILING
CI	CAST IRON	PLYWD	PLYWOOD
CIP	CAST IN PLACE	PT	POINT
COL	COLUMN	LB	POUND
CTR	CENTER	PRES	PRESSURE
CL	CENTER LINE		
CTC	CENTER TO CENTER	QUAL	QUALITY
CER	CERAMIC	QUAN	QUANTITY
CJ	CONSTRUCTION JOINT		
CL	CLEAR	PT	PRESSURE/PRESERVATIVE TREATED
CMU	CONCRETE MASONRY UNIT	PRESTRESSED	PRESTRESSED
CON	CONNECTION	PARTITION	PARTITION
CONT	CONTINUOUS		
CP	COMPLETE PENETRATION	RAD	RADIUS
CS	COUNTERSUNK	RWL	RAIN WATER LEADER
CW	COLD WATER	RECPT	RECEPTACLE
		REF	REFERENCE
DET	DETAIL	REIN	REINFORCEMENT, REINFORCED
DEPT	DEPARTMENT	REQ	REQUIRED
DIA	DIAMETER	RDWD	REDWOOD
DIV	DIVISION	RH	RIGHT HAND
DR	DOOR	RHR	RIGHT HAND REVERSE
DBL	DOUBLE	RM	ROOM
DF	DOUGLAS FIR	RND	ROUND
DN	DOWN	RO	ROUGH OPENING
DS	DIAGONAL SHEATHING	REV	REVISION
DWG	DRAWING		
DRWR	DRAWER	SS	SANITARY SEWER
		SAD	SEE ARCHITECTURAL DRAWINGS
(E)	EXISTING	SCD	SEE CONSULTANT DRAWINGS
EA	EACH	SED	SEE ELECTRICAL DRAWINGS
EF	EACH FACE	SKD	SEE KITCHEN CONSULTANT DRAWINGS
EW	EACH WAY	SSD	SEE STRUCTURAL DRAWINGS
EN	EDGE NAILING	SMD	SEE LANDSCAPE DRAWINGS
EL	ELEVATION	SFMD	SEE MECHANICAL DRAWINGS
ELEV	ELEVATOR	SPD	SEE FINISH CARPENTRY DRAWINGS
ELEC	ELECTRICAL	SJ	SEE PLUMBING DRAWINGS
ENG	ENGINEER	SCHED	SCHEDULE, SCHEDULE
EQ	EQUAL	SECT	SECTION
EQUIP	EQUIPMENT	SHT	SHEET
EX	EXHAUST	SM	SHEET METAL
EXP	EXPEDITE	SIM	SIMILAR
EXT	EXTERIOR	SP	SPACE
		SPEC	SPECIFICATION
FAB	FABRICATE	SQ	SQUARE
FOC	FACE OF CONCRETE	SQFT	SQUARE FOOT
FOF	FACE OF FINISH	ST	STRAP TIE
FOS	FACE OF STUD	STAG	STAGGERED
FOW	FACE OF WALL	SSSTL	STAINLESS STEEL
FIN	FINISH	STAND	STANDARD
FF	FINISHED FLOOR	STL	STEEL
FE	FIRE EXTINGUISHER	STOR	STORAGE
FA	FIRE ALARM	SUS	STRUCTURAL
FLR	FLOOR	STRUC	STRUCTURAL
FLUOR	FLUORESCENT	SUSP	SUSPENDED
FL	FLUSH	SYS	SYMMETRICAL
FOUND	FOUNDATION	SYSTEM	SYSTEM
FTNG	FOOTING	TEMP	TEMPERED
FR	FRAMING	THR	THICKNESS
FUR	FURRING	TD	THREADED
		T&B	TIE DOWN
GA	GAUGE	T&S	TOP AND BOTTOM
GALV	GALVANIZED, GALVANIZING	TOC	TONGUE AND GROOVE
GL	GLASS, GLAZING	TOF	TOP OF CONCRETE
GLULAM	GLUE LAMINATED BEAM	TOP	TOP OF FINISH
GYP BD	GYPSUM BOARD	TOS	TOP OF PLATE
		TOW	TOP OF STEEL
HVAC	HEATING VENTILATION & AIR CONDITIONING	TOW	TOP OF STEEL
HSR	HIGH STRENGTH RODS	TN	TOP OF WALL
HSB	HIGH STRENGTH BOLT	TYP	TYPICAL
HT	HEIGHT		
HD	HOLD DOWN	UL	UNDER WRITERS LABORATORY
HORIZ	HORIZONTAL	UNOT	UNLESS OTHERWISE NOTED
HW	HOT WATER	UTIL	UTILITY, UTILITIES
		VERT	VERTICAL
INC	INCLUDING, INCLUDED	VER	VERIFY IN FIELD
INFO	INFORMATION	VEST	VERIFY VESTIBULE
INT	INTERIOR		
		WC	WATER CLOSET
JH	JOIST HANGER	WH	WATER HEATER
JT	JOINT	WV	WATER VESTIBULE
		WO	WITH
LAM	LAMINATE	WO	WITH OUT
LH	LEFT HAND	WD	WOOD
LHR	LEFT HAND REVERSE	YD	YARD
LT	LIGHT		
LTW	LIGHT WEIGHT		
L	LONG, LENGTH		
MB	MACHINE BOLTS		
MAINT	MAINTENANCE		
MAX	MAXIMUM		
MECH	MECHANICAL		
MANF	MANUFACTURER		
MTL	METAL		
MEZZ	MEZZANINE		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MTD	MOUNTED		
MUL	MULLION		

PARCEL MAP



PROJECT DIRECTORY

OWNER: SMART GROWTH, INC.
482 W. MACARTHUR BLVD.
OAKLAND, CA 94609
510-250-2499
510-250-5627 (FAX)
cporto@smartgrowth.co

ARCHITECT: LOWNEY ARCHITECTURE
360 17th STREET, SUITE 100
OAKLAND, CA 94612
510.836.5400
510.836.5454 (FAX)

LANDSCAPE ARCHITECT: LOWNEY ARCHITECTURE
360 17th STREET, SUITE 100
OAKLAND, CA 94612
510.836.5400
510.836.5454 (FAX)

CIVIL ENGINEER: COMPANY NAME
ADDRESS
ADDRESS
CONTACT
PHONE #
FAX #
EMAIL ADDRESS

PROJECT DESCRIPTION

CONSTRUCTION OF NEW MIXED USE BUILDING PRESERVING EXISTING BUILDING FACADE. NEW BUILDING HAS TWO PODIUM LEVELS IN TYPE I STRUCTURE AND FIVE LEVELS ABOVE IN TYPE III STRUCTURE.
GROUND LEVEL CONTAINS RETAIL SPACE, RESIDENTIAL LOBBY AND PARKING FOR 40 VEHICLES INCLUDING 2 ADA STALLS AND EV PARKING. SIX LEVELS ABOVE ARE RESIDENTIAL (69 UNITS TOTAL) AND AT THE ROOF LEVEL THERE IS A ROOF DECK ACCESSIBLE FOR RESIDENTS.

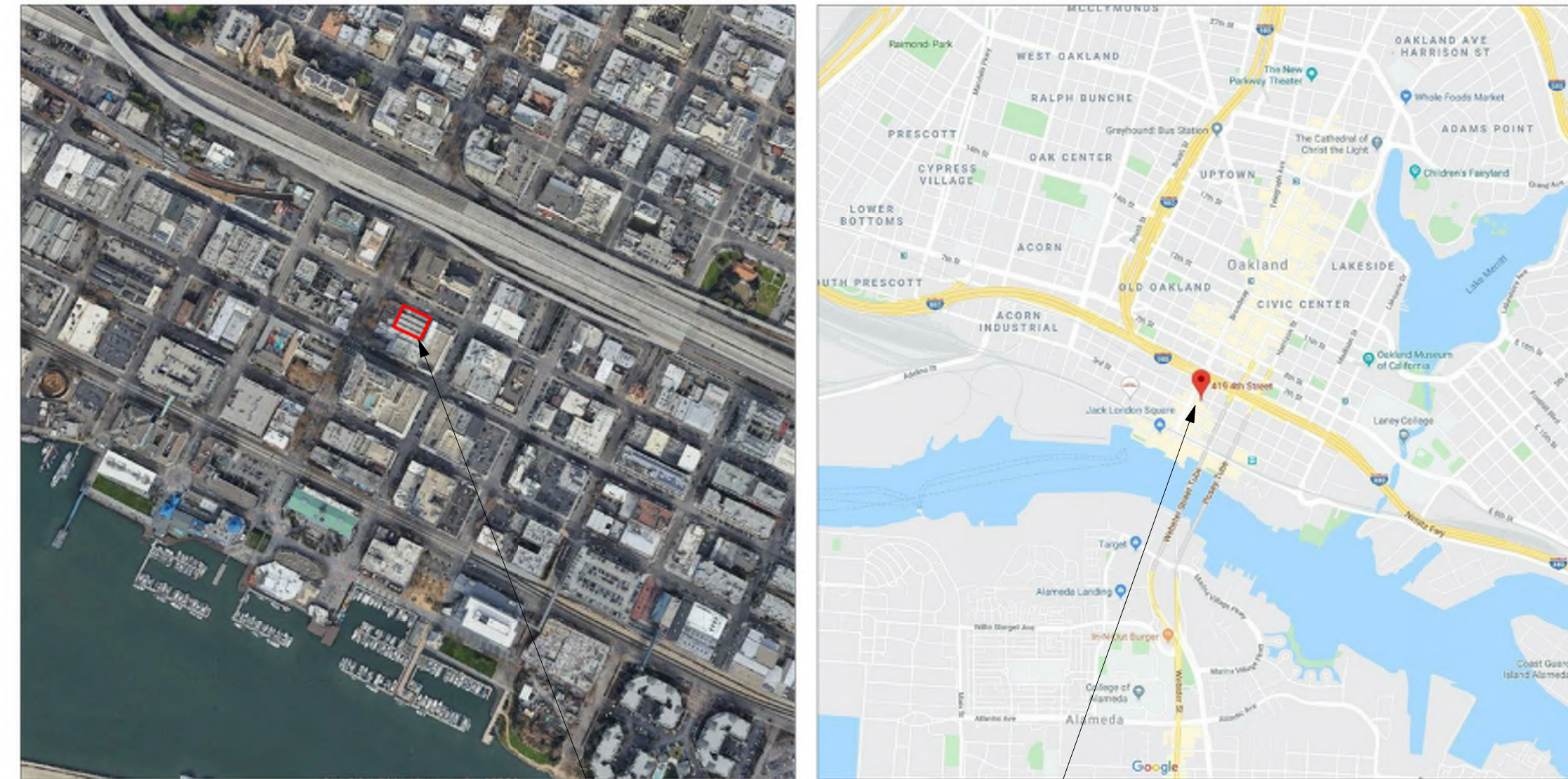
DRAWING LIST

SHEET NUMBER	SHEET NAME
GENERAL	
G0.0	COVER SHEET
G0.1	INDEX
G0.2	PROJECT DATA
G0.3	GREEN POINT CHECKLIST
G0.4	GREEN POINT CHECKLIST
G0.5	GREEN POINT CHECKLIST
G1.2	SITE PHOTOS
G2.1	3D VIEWS
G2.2	3D VIEWS
G3.3	3D VIEWS
G3.4	3D VIEWS
CIVIL	
C-2.0	PRELIMINARY GRADING & DRAINAGE PLAN
ARCHITECTURAL	
A1.0	SITE PLAN
A1.1	EXISTING BUILDING
A2.1	GROUND FLOOR PLAN
A2.2	LEVEL 2 PLAN
A2.3	LEVEL 3 PLAN
A2.4	LEVEL 4 PLAN
A2.5	LEVEL 5 PLAN
A2.6	LEVEL 6 PLAN
A2.7	LEVEL 7 PLAN
A2.8	LEVEL 8, ROOF LEVEL
A3.1	EXTERIOR ELEVATIONS - STREET FRONT
A3.2	EXTERIOR ELEVATIONS - EAST SIDE
A3.3	EXTERIOR ELEVATIONS - SOUTH SIDE
A3.4	EXTERIOR ELEVATIONS - WEST SIDE
A4.1	EAST-WEST SECTION
A4.2	NORTH - SOUTH SECTION
A4.3	NORTH - SOUTH SECTION
A5.1	ENLARGED UNIT PLANS
A6.1	SIGNAGE
A8.1	MATERIALS AND COLOR BOARD
LANDSCAPE	
L3.0	STREETSCAPE PLAN
L3.1	LANDSCAPE MATERIAL PLAN
L3.2	LANDSCAPE PLANTING PLAN
L3.3	BALCONY PLANTING PLAN
L3.4	LANDSCAPE HYDROZONE PLAN
L3.5	LIGHTING PLAN
SHEET TOTAL: 38	

GRAPHIC SYMBOLS

DETAIL REFERENCE	DRAWING NUMBER	---	#	---
	SHEET NUMBER	---	#	---
DETAIL SECTION REFERENCE	DRAWING NUMBER	---	#	---
	SHEET NUMBER	---	#	---
BUILDING SECTION REFERENCE	DRAWING NUMBER	---	#	---
	SHEET NUMBER	---	#	---
WALL SECTION REFERENCE	DRAWING NUMBER	---	#	---
	SHEET NUMBER	---	#	---
EXTERIOR ELEVATION REFERENCE	DRAWING NUMBER	---	1	---
	SHEET NUMBER	---	#	---
INTERIOR ELEVATION REFERENCE	DRAWING NUMBER	---	1	---
	SHEET NUMBER	---	4 # 2	---
	SHEET NUMBER	---	3	---
REVISION REFERENCE		---	#	---
DOOR REFERENCE		---	##	---
WINDOW REFERENCE		---	#	---
ELEVATION DATUM		---	⊙	---
ROOM NUMBER		---	###	---
PARTITION TYPE		---	#	---
FINISH CEILING HEIGHT		---	X'-X"	---

PROJECT LOCATION



DEFERRED SUBMITTALS

FIRE SPRINKLERS
MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS

PROJECT DATA

BUILDING INFORMATION

BUILDING ADDRESS:	419 4TH STREET, OAKLAND CA
NUMBER OF STORIES:	7
ALLOWABLE HEIGHT:	N/A
PROPOSED HEIGHT:	78' 8" (T.O. PARAPETS)
CONSTRUCTION TYPE:	TYPE III AND TYPE I-A
SPRINKLERED:	YES
OCCUPANCY CLASSIFICATION:	A2 (COMMUNITY SPACE) A3 (FITNESS) R2 M (MERCANTILE) S2 (PARKING)

ZONING INFORMATION

ASSESSOR'S PARCEL #:	001 013901500
ZONING DISTRICT:	C-45/S-4

LOT AREA

TOTAL	13,986 SF
-------	-----------

DENSITY

ZONE	ALLOWED DENSITY	LOT AREA	ALLOWED UNITS	PROPOSED UNITS
C-45/S-4	150 SF/UNIT	13,986 SF	93	69

SETBACKS

FRONT AT 4TH:	0 FT
SIDE:	0 FT
REAR:	8FT AND 14 FT

PARKING INFORMATION

	REQUIRED	PROVIDED	NOTES
RESIDENTIAL	1 FOR EACH DWELLING UNIT = 69 STALLS 30% REDUCTION FOR TAA = 48 STALLS 20% REDUCTION FOR CAR SHARE = 35 STALLS	41 STALLS	2 LEVEL PUZZLE PARKING SYSTEM
COMMERCIAL	5 SPACES 1 SPACE FOR EACH 600 SF	0 STALLS	

BICYCLE PARKING INFORMATION

	SHORT TERM REQUIRED	SHORT TERM PROVIDED	LONG TERM REQUIRED	LONG TERM PROVIDED	COMPLIANT
RESIDENTIAL	4 SPACES (1 SPACE FOR EACH 20 DWELLINGS)	20 SPACES	18 SPACES (1 SPACE FOR EACH 4 DWELLINGS)	32 SPACES	
COMMERCIAL	NONE REQ'D. FOR COMM. SPACE > 3,000 SF	0 SPACES	NONE REQ'D. FOR COMM. SPACE > 3,000 SF	0 SPACES	REF. 17.116.080

RECYCLING & GARBAGE SPACE ALLOCATION

	REQUIRED	PROVIDED	NOTES
RESIDENTIAL			
RECYCLING	1,032 GALLONS (2CF X 69 UNITS = 138 CF = 1,032 GAL)	1,056 GALLONS (11 x 96 GALLON TOWER CARTS)	
GARBAGE	11 CY (4.3CF X 69 UNITS = 297CF = 11 CY)	12 CY (2@6 YD BIN)	

PROJECT AREA COUNT

Area summary:

Lev #	Type	Parking	Retail	leasable	Amenity	Res.			Net sq ft	Gross sq ft	F to F height
						Circ. Int	Mech.	Circ. Ext			
8	Ame/Mech	-	-	476	-	305	710	-	1,491 nsf	1,800 gsf	- ' -
7	Residential	-	-	8,082	-	305	40	1,116	8,427 nsf	9,296 gsf	10 ' 0"
6	Res	-	-	8,082	-	305	40	1,112	8,427 nsf	9,296 gsf	10 ' 0"
5	Res	-	-	8,082	-	305	40	1,112	8,427 nsf	9,296 gsf	10 ' 0"
4	Res	-	-	8,082	-	305	40	1,112	8,427 nsf	9,296 gsf	10 ' 0"
3	Res	-	-	8,082	-	305	40	2,756	8,427 nsf	9,296 gsf	10 ' 0"
2	Res/Ame	-	-	4,113	1,718	1,770	40	-	7,641 nsf	11,535 gsf	10 ' 0"
1	Ret/Park	8,263	2,675	-	472	993	716	-	13,119 nsf	13,919 gsf	15 ' 0"
Total		8,263 sf	2,675 sf	44,999 sf	2,190 sf	4,593 sf	1,666 sf	7,208 sf	64,386 nsf	73,734 gsf	75 ' 0"

Unit mix square footage:

Level 2							Square footage	Unit count	
Studio	1-BR	2-BR	3-BR	4-BR	Mezz.				
311	409	328					4,113 sf	12	1 level
365	330	326					4,113 sf	12	1 levels
365	328	329							
367	327	328							
411	329	328							
405	326	330							
412									

Level 3-7

Studio	1-BR	2-BR	3-BR	4-BR	Mezz.	Square footage	Unit count	
396	582	693	955	1,070		8,082 sf	10	1 level
431		741		1,070		40,410 sf	50	5 levels
				1,070				
				1,074				

Level 8

Studio	1-BR	2-BR	3-BR	4-BR	Mezz.	Square footage	Unit count	
					119	476 sf	4	1 level
					119	476 sf	4	1 levels
					119			
					119			

Grand total

Units #	Studio	1-BR	2-BR	3-BR	4-BR	Mezz.	Total unit Square footage	Total unit count	
	29	5	10	5	20	4	44,999 sf	69	7 levels
%	42%	7%	14%	7%	29%			100%	

OPEN SPACE CALCULATIONS

	# OF UNITS			NOTES
OPEN SPACE REQUIRED TOTAL	150 SF/UNIT	69	10,350 SF	17,56,180 - MINIMUM USABLE OPEN SPACE
PRIVATE OPEN SPACES:				
LEVEL 2	1,854 SF	= 3,708 SF GROUP SPACE		
LEVEL 3-7	1,532 SF	= 3,064 SF GROUP SPACE		
LEVEL 8	686 SF	= 1,372 SF GROUP SPACE		1 SF PRIVATE OPEN SPACE = 2 SF GROUP OPEN SPACE
GROUP OPEN SPACES:				
LEVEL 2		115 SF GROUP SPACE		
LEVEL 8		3,082 SF GROUP SPACE		
OPEN SPACE PROVIDED TOTAL			11,345 SF	COMPLIANT



NEW HOME RATING SYSTEM, VERSION 8.0

MULTIFAMILY CHECKLIST

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Community (2) Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6); and meet the prerequisites CALGreen Mandatory, E5.2, H6.1, J5.1, O1, O7.

Directions for Use: Column A is a dropdown menu with the options of "Yes", "No", or "TBD" or a range of percentages to allocate points. Select the appropriate dropdown and the appropriate points will appear in the blue "points achieved" column.

The criteria for the green building practices listed below are described in the GreenPoint Rated New Home Rating Manual. For more information please visit www.builditgreen.org/greenpointrated. Build It Green is not a code enforcement agency.

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.

New Home Multifamily Version 8

Project Name: 419 4TH STREET
Project Street: 419 4TH STREET
Project City: Oakland
Project Zip: 94607

Points Targeted: 80
Certification Level Targeted: Silver
Compliance Pathway Targeted: None

POINTS REQUIRED

■ Minimum Points
■ Targeted Points



Measures		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
CALGreen								
Yes	CALGreen Res (REQUIRED)	4		1	1	1	1	
A. SITE								
Yes	A1. Construction Footprint (Site Preservation Plan Beyond Local Ordinance OR 40% of Site Undeveloped and Undisturbed)	1			1			
A2. Job Site Construction Waste Diversion								
TBD	A2.1 70% C&D Waste Diversion (Including Alternative Daily Cover)				2			
TBD	A2.2 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility				1			
Yes	A3. Recycled Content Base Material (Minimum 25% Post-Consumer Content)	1			1			
TBD	A4. Heat Island Effect Reduction (Non-Roof)			1				
TBD	A5. Construction Environmental Quality Management Plan Including Flush-Out				1			
A6. Stormwater Control: Prescriptive Path								
Yes	A6.1 Permeable Paving Material	1					1	
TBD	A6.2 Filtration and/or Bio-Retention Features						1	
TBD	A6.3 Non-Leaching Roofing Materials						1	
TBD	A6.4 Smart Stormwater Street Design		1					
TBD	A7. Stormwater Control: Performance Path (Capture and Treat 85% of Annual Runoff Onsite)						3	
B. FOUNDATION								
Yes	B1. Fly Ash and/or Slag in Concrete (Minimum of 30%)	1			1			
TBD	B2. Radon-Resistant Construction				2			
Yes	B3. Foundation Drainage System	2			2			
TBD	B4. Moisture Controlled Crawlspace				1			
B5. Structural Pest Controls								
TBD	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections				1			
Yes	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation	1			1			
C. LANDSCAPE								
0.00%	Enter the landscape area percentage. Points capped at 3 for less than 15%.							
TBD	C1. Plants Grouped by Water Needs (Hydrozoning)						1	
Yes	C2. Three Inches of Mulch in Planting Beds	1					1	
C3. Resource Efficient Landscapes								
TBD	C3.1 No Invasive Species Listed by Cal-IPC				1			
TBD	C3.2 Plants Chosen and Located to Grow to Natural Size (Limited Maintenance)				1			
TBD	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species						3	
C4. Minimal Turf in Landscape								
TBD	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide						2	
TBD	C4.2 Turf on a Small Percentage of Landscaped Area						2	
Yes	C5. Trees to Moderate Building Temperature (at least 50% of West Facing Glazing and Walls Shaded)	3	1	1			1	
TBD	C6. High-Efficiency Irrigation System						2	
TBD	C7. One Inch of Compost in the Top Six to Twelve Inches of Soil (with Soil Testing)						2	
TBD	C8. Rainwater Harvesting System						3	
TBD	C9. Recycled Wastewater Irrigation System						1	
TBD	C10. Submeter or Dedicated Meter for Landscape Irrigation						2	

Points Achieved	Community	Energy	IAQ/Health	Resources	Water	
TBD	C11. Landscape Meets Water Budget					
TBD	C12. Environmentally Preferable Materials for Site					
TBD				1		
TBD				1		
Yes	1	1				
TBD	C13. Reduced Light Pollution (Exterior lighting fixtures shielded and directed downward)					
TBD		1				
TBD	C14. Large Stature Tree(s)					
TBD					1	
Yes	1				1	
TBD	C15. Third Party Landscape Program Certification					
Yes	1				1	
TBD	C16. Maintenance Contract with Certified Professional (Bay-Friendly Qualified Professional or Equiv.)					
TBD	2					
D. STRUCTURAL FRAME AND BUILDING ENVELOPE						
D1. Optimal Value Engineering						
TBD			1		2	
Yes	1				1	
TBD					2	
TBD					1	
D2. Construction Material Efficiencies (Pre-assembled wall and roof framing for at least 80% of project)						
D3. Engineered Lumber						
Yes	1				1	
Yes	1				1	
TBD					1	
TBD					1	
Yes	0.5				0.5	
Yes	0.5				0.5	
TBD		1				
D4. Insulated Headers						
D5. FSC-Certified Wood						
TBD					6	
TBD					3	
D6. Solid Wall Systems						
TBD					1	
TBD			1		1	
TBD			1		1	
Yes	1	1				
16 inches	1	1			1	
D9. Reduced Pollution Entering the Home from the Garage						
TBD				2		
TBD				1		
D10. Structural Pest and Rot Controls						
Yes	1				1	
TBD					1	
Yes	2		1	1		
E. EXTERIOR						
TBD	E1. Environmentally Preferable Decking					
TBD	E2. Flashing Installation Third-Party Verified					
TBD	E3. Rain Screen Wall System					
TBD	E4. Durable and Non-Combustible Cladding Materials					
E5. Durable Roofing Materials						
TBD					1	
TBD		R	R	R	R	R
TBD	2	2				
F. INSULATION						
F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content						
TBD					0.5	

Project Name: 419 4TH STREET Project Street: 419 4TH STREET Project City: Oakland Project Zip: 94607		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
TBD	F1.2 Ceilings					0.5	
F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions							
TBD	F2.1 Walls and Floors			0.5			
TBD	F2.2 Ceilings			0.5			
F3. Low GWP Insulation That Does Not Contain Fire Retardants							
TBD	F3.1 Cavity Walls and Floors			1			
TBD	F3.2 Ceilings			1			
TBD	F3.3 Interior and Exterior Insulation			1			
G. PLUMBING							
G1. Efficient Distribution of Domestic Hot Water							
Yes	G1.1 Insulated Hot Water Pipes	1		1			
TBD	G1.2 WaterSense Volume Limit for Hot Water Distribution					1	
TBD	G1.3 Increased Efficiency in Hot Water Distribution					2	
G2. Install Water-Efficient Fixtures							
TBD	G2.1 WaterSense Showerheads 1.8 gpm with Matching Compensation Valve					2	
TBD	G2.2 WaterSense Bathroom Faucets with ≤ 1.0 gpm					1	
TBD	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams 1.28 gpf OR 1.1 gpf					2	
TBD	G2.4 Urinals with Flush Rate of ≤ 0.1 gpf					1	
TBD	G3. Pre-Plumbing for Graywater System					1	
TBD	G4. Operational Graywater System					3	
TBD	G5. Thermostatic Shower Valve or Auto-Diversion Tub Spout					1	
Yes	G6. Submeter Water for Tenants	2				2	
H. HEATING, VENTILATION, AND AIR CONDITIONING							
H1. Sealed Combustion Units							
Yes	H1.1 Sealed Combustion Furnace	1			1		
Yes	H1.2 Sealed Combustion Water Heater	2			2		
TBD	H2. High Performing Zoned Hydronic Radiant Heating System			1	1		
H3. Effective Ductwork							
Yes	H3.1 Duct Mastic on Duct Joints and Seams	1		1			
Yes	H3.2 Pressure Balance the Ductwork System	1		1			
Yes	H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified	1			1		
H5. Advanced Practices for Cooling							
TBD	H5.1 ENERGY STAR® Ceiling Fans in Living Areas and Bedrooms			1			
TBD	H5.2 Operable Windows and Skylights Located to Induce Cross Ventilation in At Least One Room in 80% of Units			1			
H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality							
Yes	H6.1 Meet ASHRAE Standard 62.2-2016 Ventilation Residential Standards	Y	R	R	R	R	R
Yes	H6.2 Advanced Ventilation Standards	2			2		
TBD	H6.3 Outdoor Air is Filtered and Tempered				1		
H7. Effective Range Design and Installation							
Yes	H7.1 Effective Range Hood Ducting and Design	1			1		
TBD	H7.2 Automatic Range Hood Control				1		
Yes	H8. High Efficiency HVAC Filter (MERV 16+)	1			1		
TBD	H9. Advanced Refrigerants (low global warming potential refrigerants)				1		
I. RENEWABLE ENERGY							
0.00%	I1. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)	0		25			
I2. Low Carbon Homes							
TBD	I2.1 Near Zero Energy Home (offset at least 80% of annual site energy use)				2		
TBD	I2.2 Low Carbon Home (meet lbs CO2e/sq.ft. threshold)				4		
TBD	I3. Energy Storage				1		
TBD	I4. Solar Hot Water Systems to Preheat Domestic Hot Water				4		
≥10% of residences	I5. Photovoltaic System for Multifamily Projects	8		8			

Project Name: 419 4TH STREET Project Street: 419 4TH STREET Project City: Oakland Project Zip: 94607		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
J. BUILDING PERFORMANCE AND TESTING							
TBD	J1. Third-Party Verification of Quality of Insulation Installation				1		
Yes	J2. Supply and Return Air Flow Testing	2		1	1		
Yes	J3. Mechanical Ventilation Testing	1			1		
TBD	J4. All Electric or Combustion Appliance Safety Testing				1		
Select Compliance Pathway for JS.1							Compliance Pathway Input
3	J5. Building Energy Performance						Climate Zone Input
10	J5.1 Home Meets or Exceeds Energy Compliance Pathway	0		25+			
3.40%	J5.2 Non-Residential Spaces Outperform Title 24	3.4		15			
TBD	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst			1			
TBD	J7. Participation in Utility Program with Third-Party Plan Review			1			
TBD	J8. ENERGY STAR® for Homes			1			
No	J9. EPA Indoor airPlus Certification				2		
TBD	J10. Blower Door Testing				3		
TBD	J11. Compartmentalization of Units (Minimize uncontrolled pathways for indoor air pollutants between units)			1	1		
K. FINISHES							
K1. Entryways Designed to Reduce Tracked-In Contaminants							
TBD	K1.1 Entryways to Individual Units (Deliberate hard surface at entrances and permanent assembly for shoe storage)				1		
TBD	K1.2 Entryways to Buildings (Deliberate hard surface at entrances and built-in, permanent walk-off mat or grill)				1		
TBD	K2. Zero-VOC Interior Wall and Ceiling Paints				2		
Yes	K3. Low-VOC Caulks and Adhesives	1			1		
K4. Environmentally Preferable Materials for Interior Finish							
TBD	K4.1 Cabinets					2	
TBD	K4.2 Interior Trim					2	
TBD	K4.3 Shelving					2	
TBD	K4.4 Doors					2	
TBD	K4.5 Countertops					1	
K5. Formaldehyde Emissions in Interior Finish Exceed CARB							
TBD	K5.1 Doors				1		
TBD	K5.2 Cabinets and Countertops				2		
TBD	K5.3 Interior Trim and Shelving				2		
TBD	K6. Products That Comply With the Health Product Declaration Open Standard				2		
TBD	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion				2		
No	K8. Comprehensive Inclusion of Low Emitting Finishes				1		
TBD	K9. Durable Cabinets (Plywood for casework and doors, ball bearing drawer slides, dovetail joints, two directional metal hinges)					2	
TBD	K10. At Least 25% of Interior Furniture Has Environmentally Preferable Attributes					1	
L. FLOORING							
≥25%	L1. Environmentally Preferable Flooring	1				3	
TBD	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential				3		
TBD	L3. Durable Flooring (All flooring is hard surface)					1	
Yes	L4. Thermal Mass Flooring	1		1			
M. APPLIANCES AND LIGHTING							
Yes	M1. ENERGY STAR® Dishwasher	1					1
M2. Efficient Clothes Washing and Drying							
TBD	M2.1 CEE-Rated Clothes Washer			1			2
Yes	M2.2 ENERGY STAR® Dryer	1		1			
TBD	M2.3 Solar Dryer/ Laundry Lines				0.5		
<25 cubic feet	M3. Size-Efficient ENERGY STAR® Refrigerator	1		2			
M4. Permanent Centers for Waste Reduction Strategies							
Yes	M4.1 Built-In Recycling Center	1				1	
TBD	M4.2 Built-In Composting Center					1	

Project Name: 419 4TH STREET Project Street: 419 4TH STREET Project City: Oakland Project Zip: 94607		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
M5. Lighting Efficiency							
Yes	M5.1 High-Efficacy Lighting	2		2			
TBD	M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant			2			
TBD	M6. Electric Vehicle Charging Stations and Infrastructure			2			
Yes	M7. Central Laundry	1				1	
TBD	M8. Gearless Elevator			1			
N. COMMUNITY							
N1. Smart Development							
TBD	N1.1 Infill Site		1			1	
TBD	N1.2 Designated Brownfield Site		1			1	
TBD	N1.3 Conserve Resources by Increasing Density			2		2	
TBD	N1.4 Cluster Homes for Land Preservation		1			1	
	N1.5 Home Size Efficiency					9	
	Enter the area of the home, in square feet						
	Enter the number of bedrooms						
N2. Home(s)/Development Located Near Major Transit Stop							
Yes	N2.1 Within 1 Mile of a Major Transit Stop	1	1				
TBD	N2.2 Within 1/2 mile of a Major Transit Stop		2				
N3. Pedestrian and Bicycle Access							
	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services		2				
	Enter the number of Tier 1 services						
	Enter the number of Tier 2 services						
Yes	N3.2 Connection to Pedestrian Pathways	1	1				
TBD	N3.3 Traffic Calming Strategies		2				
TBD	N3.4 Sidewalks Buffered from Roadways and 5-8 Feet Wide		1				
Yes	N3.5 Bicycle Storage for Residents	1	1				
Yes	N3.6 Bicycle Storage for Non-Residents	1	1				
TBD	N3.7 Reduced Parking Capacity		2				
N4. Outdoor Gathering Places							
TBD	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents		1				
TBD	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services		1				
N5. Social Interaction							
TBD	N5.1 Residence Entries with Views to Callers		1				
TBD	N5.2 Entrances Visible from Street and/or Other Front Doors		1				
Yes	N5.3 Porches Oriented to Street and Public Space	1	1				
N6. Passive Solar Design							
TBD	N6.1 Heating Load			2			
TBD	N6.2 Cooling Load			2			
N7. Adaptable Building							
TBD	N7.1 Universal Design Principles in Units		1		1		
TBD	N7.2 Full-Function Independent Rental Unit		1				
N8. Resiliency							
TBD	N8.1 Climate Impact Assessment (Cal-Adapt, Fortified Standard, HAZUS, FEMA P58, or Seismic Evaluation)		1		1	1	
TBD	N8.2 Strategies to Address Assessment Findings		1		1	1	
N9. Social Equity							
TBD	N9.1 Diverse Workforce (Supplier Diversity or Local Hire)		1			1	
TBD	N9.2 Community Location (Disadvantaged Community)		1		1		
N10. Affordability							
TBD	N10.1 Dedicated Units for Households Making 80% of AMI or Less		2				
TBD	N10.2. Units with Multiple Bedrooms for Households Making 80% of AMI or Less		1				
TBD	N10.3 At Least 20% of Units at 120% AMI or Less are For Sale		1				

Project Name: 419 4TH STREET Project Street: 419 4TH STREET Project City: Oakland Project Zip: 94607		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
N11. Mixed-Use Development							
Yes	N11.1 Live/Work Units Include a Dedicated Commercial Entrance	1	1				
TBD	N11.2 At Least 2% of Development Floor Space Supports Mixed Use		1				
TBD	N11.3 Half of the Non-Residential Floor Space is Dedicated to Community Services		1				
O. OTHER							
Yes	O1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	R
Yes	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors	2		0.5		1	0.5
Yes	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs	2		0.5	0.5	0.5	0.5
Yes	O4. Builder's or Developer's Management Staff are Certified Green Building Professionals	2		0.5	0.5	0.5	0.5
O5. Home System Monitors							
TBD	O5.1 Energy Home System Monitors			2			
TBD	O5.2. Water Home System Monitors						1
O6. Green Building Education							
Yes	O6.1 Marketing Green Building	2	2				
Yes	O6.2 Green Building Signage	1		0.5			0.5
Yes	O7. Green Appraisal Addendum	Y	R	R	R	R	R
TBD	O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation					1	
TBD	O9. Residents Are Offered Free or Discounted Transit Passes		2				
TBD	O10. Vandalism Deterrence Practices and Vandalism Management Plan					1	
TBD	O11. Smokefree Housing				2		
Yes	O12. Integrated Pest Management Plan	1				1	
P. DESIGN CONSIDERATIONS							
P1. Acoustics: Noise and Vibration Control							
	Enter the number of Tier 1 practices		1		1		
	Enter the number of Tier 2 practices						
P2. Mixed-Use Design Strategies							
TBD	P2.1 Tenant Improvement Requirements for Build-Outs				1		1
Yes	P2.2 Commercial Loading Area Separated for Residential Area	1			1		
TBD	P2.3 Separate Mechanical and Plumbing Systems				1		
P3. Commissioning							
TBD	P3.1 Design Phase			1	1		
TBD	P3.2 Construction Phase			2	1		
TBD	P3.3 Post-Construction Phase			2	1		
TBD	P4. Building Enclosure Testing			1	1	1	
Summary							
Total Available Points in Specific Categories		370	46	110	69	91	54
Minimum Points Required in Specific Categories		60	2	25	6	6	6
Total Points Achieved		80.4	9.0	25.4	16.0	19.0	11.0

EXISTING FRONT FACADE ON SITE



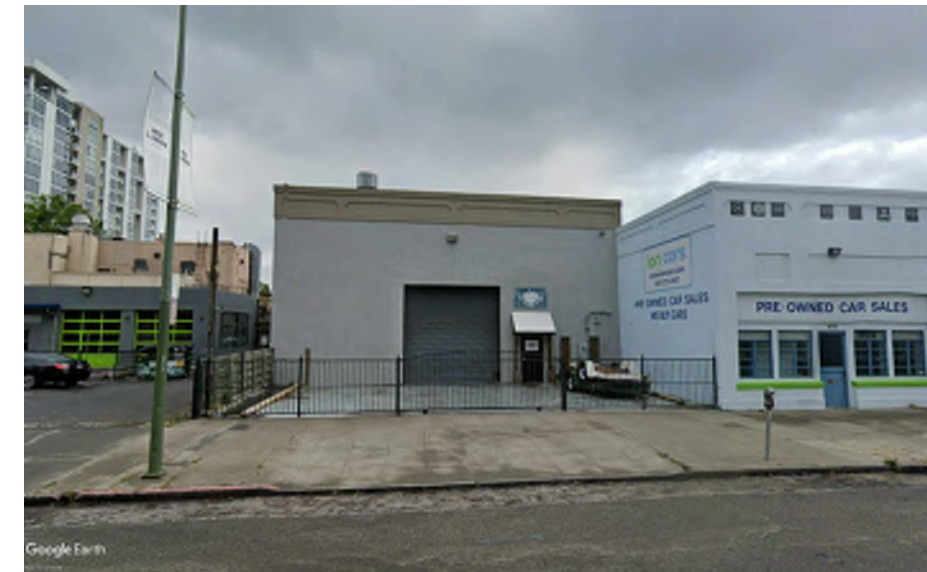
NEIGHBOURS FROM WEST SIDE



322 BROADWAY



333 BROADWAY



469 4TH ST

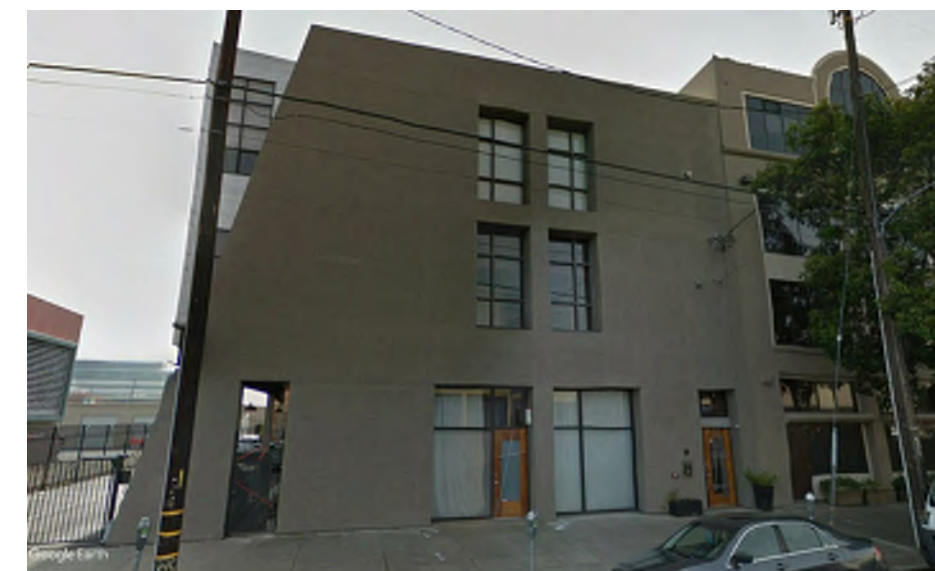


475 4TH ST



331 WASHINGTON ST

NEIGHBOURS FROM EAST SIDE



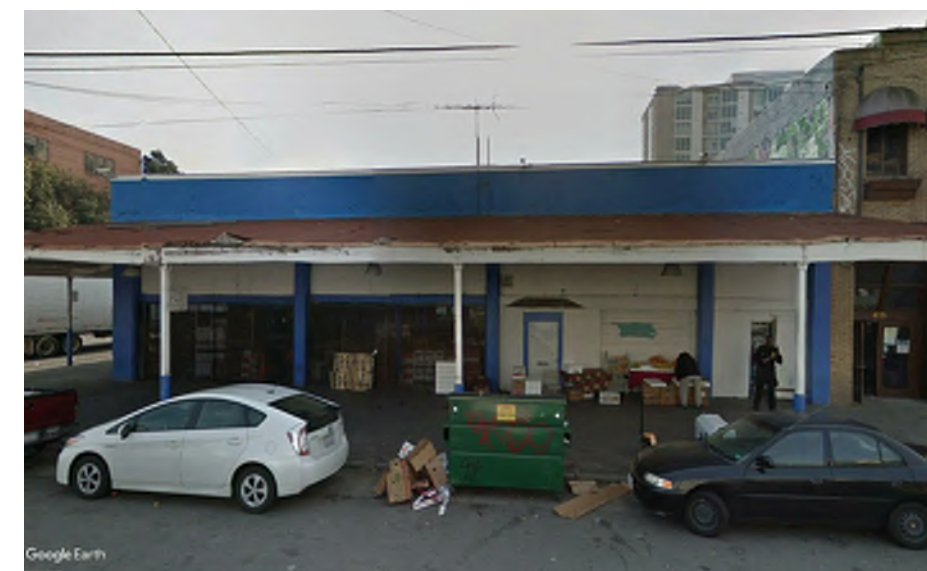
373 4TH ST



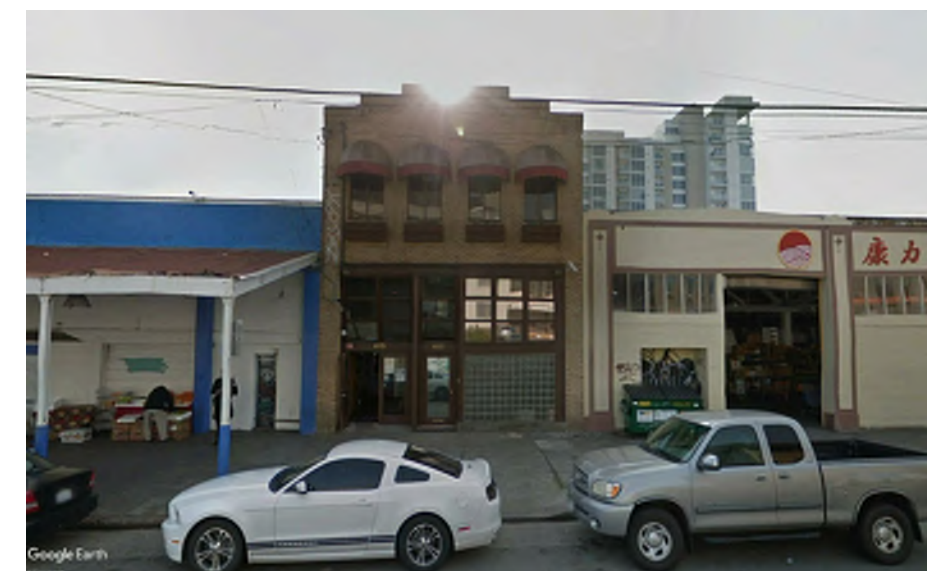
383 4TH ST



330 FRANKLIN ST



331 FRANKLIN ST



415 4TH ST

NEIGHBOURS ACROSS THE STREET



518 4TH ST



409 WASHINGTON ST



499 5TH ST



401 BROADWAY



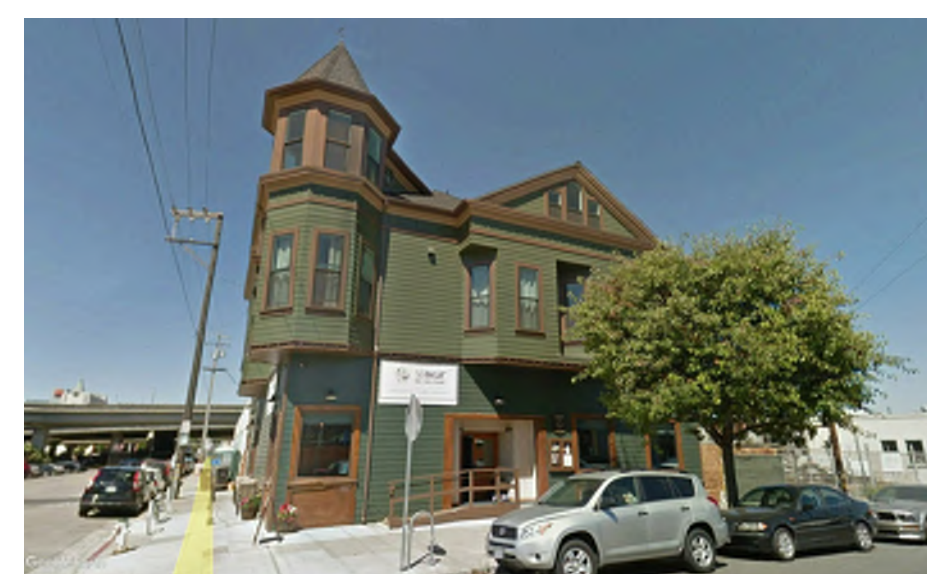
430 BROADWAY



400 FRANKLIN ST



WEBSTER ST



4TH ST



333 5TH ST



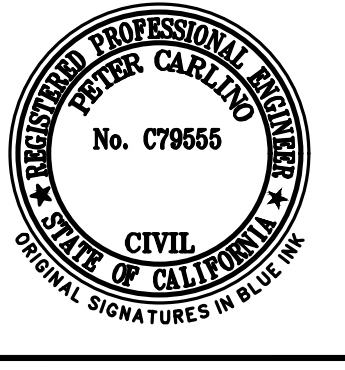
308 4TH ST











LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 REGIONAL OFFICES:
 OAKLAND, CALIFORNIA 94612
 SAN JOSE, CALIFORNIA 95131
 (510) 887-4086
 WWW.LEABRAZE.COM

**NOODLE FACTORY
 MIXED-USE
 419 4TH STREET
 OAKLAND, CALIFORNIA**
 ALAMEDA COUNTY
 APN: 001-0139-015

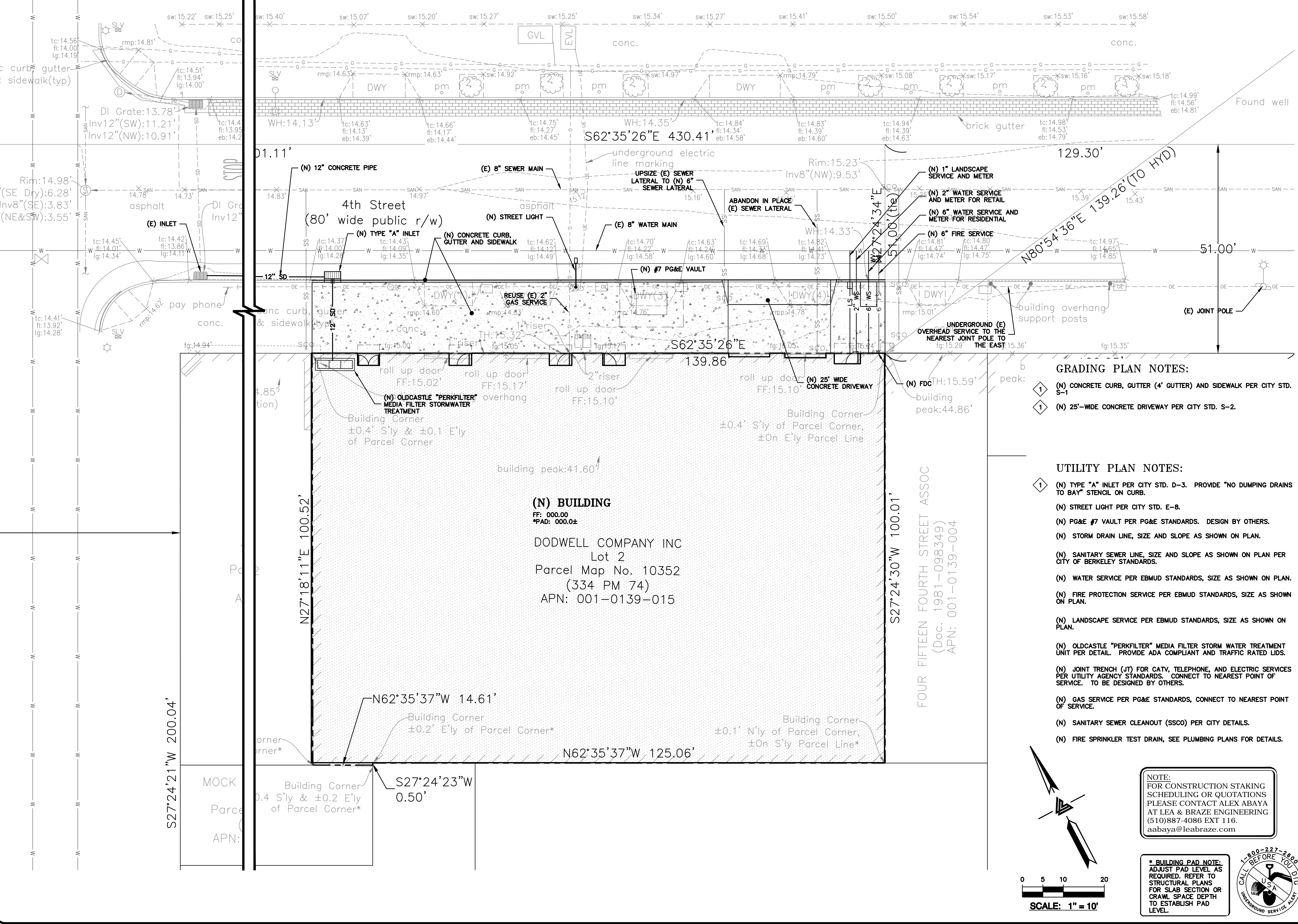
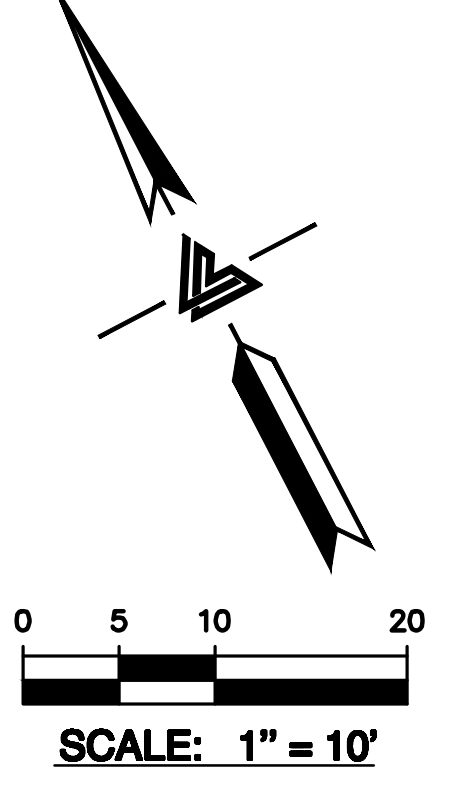
**PRELIMINARY
 GRADING &
 DRAINAGE PLAN**

REVISIONS	BY

- GRADING PLAN NOTES:**
- 1 (N) CONCRETE CURB, GUTTER (4' GUTTER) AND SIDEWALK PER CITY STD. S-1
 - 1 (N) 25'-WIDE CONCRETE DRIVEWAY PER CITY STD. S-2.
- UTILITY PLAN NOTES:**
- 1 (N) TYPE "A" INLET PER CITY STD. D-3. PROVIDE "NO DUMPING DRAINS TO BAY" STENCIL ON CURB.
 - (N) STREET LIGHT PER CITY STD. E-8.
 - (N) PG&E #7 VAULT PER PG&E STANDARDS. DESIGN BY OTHERS.
 - (N) STORM DRAIN LINE, SIZE AND SLOPE AS SHOWN ON PLAN.
 - (N) SANITARY SEWER LINE, SIZE AND SLOPE AS SHOWN ON PLAN PER CITY OF BERKELEY STANDARDS.
 - (N) WATER SERVICE PER EBMUD STANDARDS, SIZE AS SHOWN ON PLAN.
 - (N) FIRE PROTECTION SERVICE PER EBMUD STANDARDS, SIZE AS SHOWN ON PLAN.
 - (N) LANDSCAPE SERVICE PER EBMUD STANDARDS, SIZE AS SHOWN ON PLAN.
 - (N) OLDCASTLE "PERKFILTER" MEDIA FILTER STORM WATER TREATMENT UNIT PER DETAIL. PROVIDE ADA COMPLIANT AND TRAFFIC RATED LIDS.
 - (N) JOINT TRENCH (JT) FOR CATV, TELEPHONE, AND ELECTRIC SERVICES PER UTILITY AGENCY STANDARDS. CONNECT TO NEAREST POINT OF SERVICE. TO BE DESIGNED BY OTHERS.
 - (N) GAS SERVICE PER PG&E STANDARDS, CONNECT TO NEAREST POINT OF SERVICE.
 - (N) SANITARY SEWER CLEANOUT (SSCO) PER CITY DETAILS.
 - (N) FIRE SPRINKLER TEST DRAIN, SEE PLUMBING PLANS FOR DETAILS.

NOTE:
 FOR CONSTRUCTION STAKING
 SCHEDULING OR QUOTATIONS
 PLEASE CONTACT ALEX ABAYA
 AT LEA & BRAZE ENGINEERING
 (510)887-4086 EXT 116.
 aabaya@leabraze.com

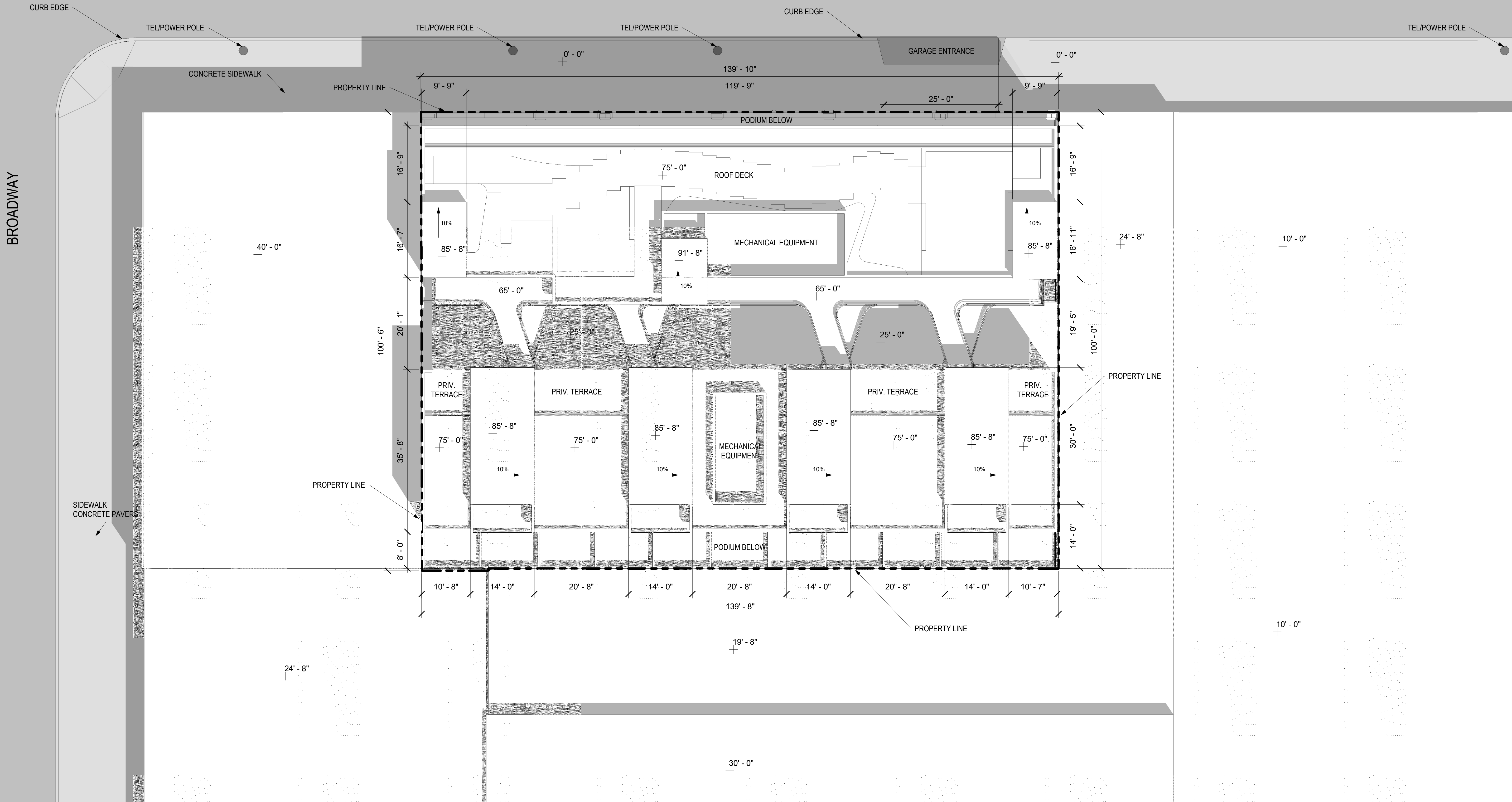
*** BUILDING PAD NOTE:**
 ADJUST PAD LEVEL AS
 REQUIRED. REFER TO
 STRUCTURAL PLANS
 FOR SLAB SECTION OR
 CRAWL SPACE DEPTH
 TO ESTABLISH PAD
 LEVEL.

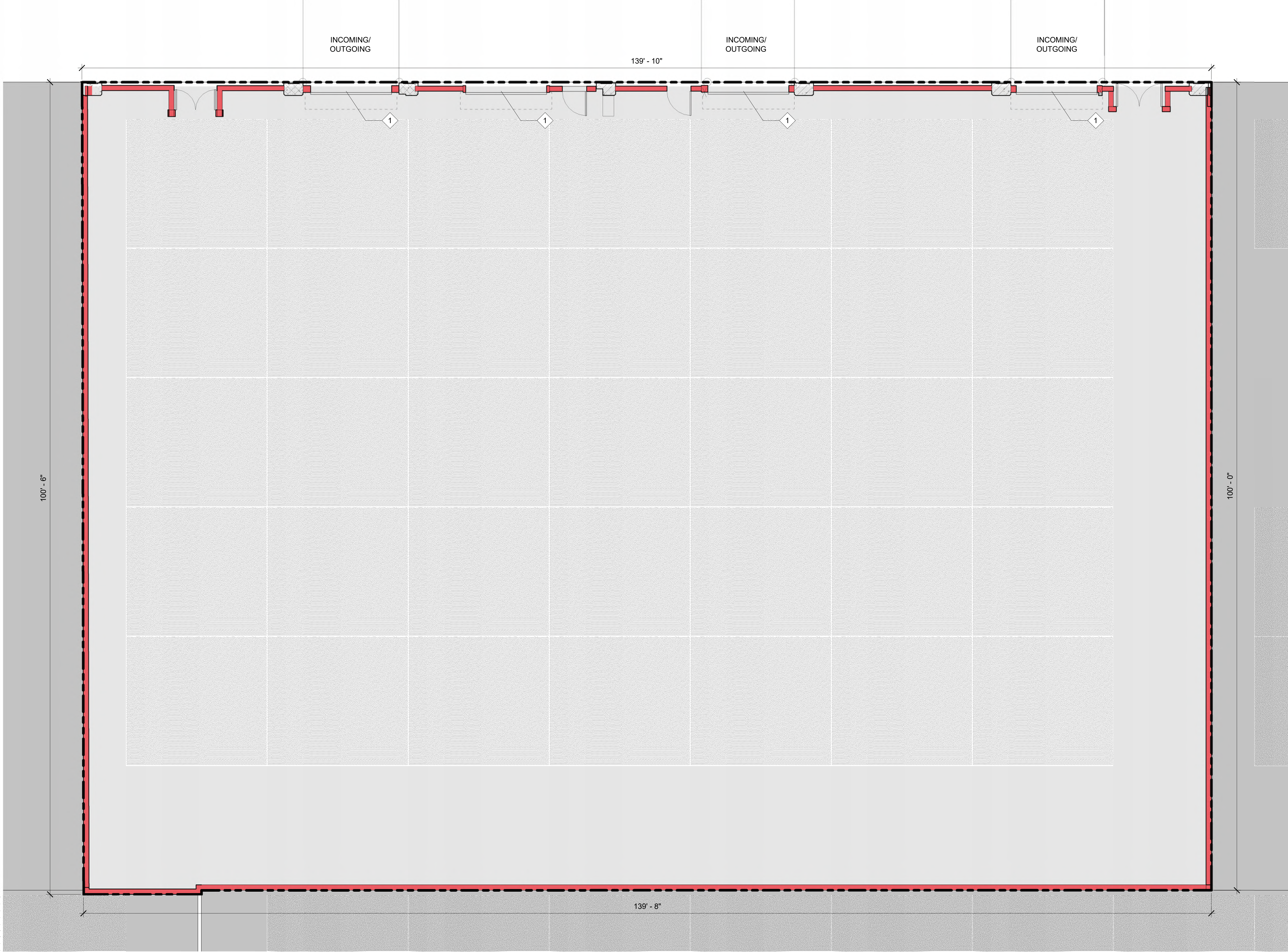


4TH STREET

CURB EDGE TEL/POWER POLE CURB EDGE TEL/POWER POLE TEL/POWER POLE

BROADWAY





SHEET NOTES

- 1. EXISTING FACADE TO PRESERVE
- 2. CONTRACTOR TO VERIFY EXISTING CONDITIONS. IN CASE OF CONFLICT BETWEEN DRAWINGS AND EXISTING CONDITIONS, NOTIFY THE ARCHITECT.

KEY NOTES

- 1 ROLL UP DOORS

LEGEND

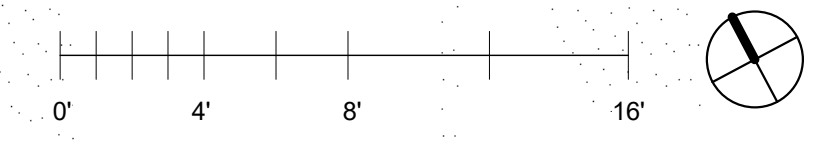
- EXISTING EXTERIOR WALLS
- - - - - PROPERTY LINE
- EXISTING COLUMNS INCORPORATED IN FACADE

100' - 6"

139' - 10"

139' - 8"

100' - 0"





SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR BUILDING WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

- 1 CITY LIFT PUZZLE 2 LEVEL PARKING SYSTEM
- 2 BIKE RACKS SPACE FOR 56 BIKES
- 3 TRASH CHUTE

LEGEND

- WALLS
- COLUMNS
- PROPERTY LINE

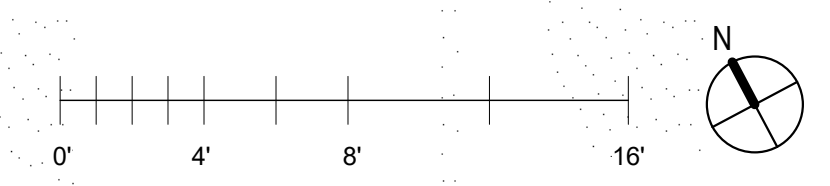
Color Legend

- AMENITY
- CIRCULATION
- PARKING
- RESIDENTIAL LOBBY
- RETAIL
- UTILITY

GROUND FLOOR PLAN

ENTITLEMENT SET - 8/21/20

A2.1





SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR BUILDING WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

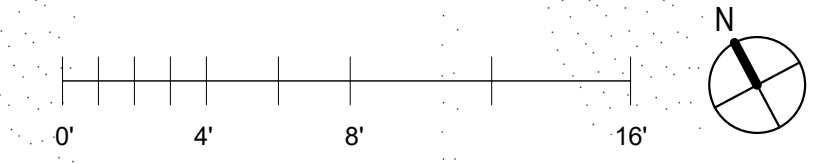
- 1 TRASH CHUTE
- 2 SKYLIGHTS
- 3 BALCONY PLANTING

LEGEND

- WALLS
- PROPERTY LINE

Color Legend

- AMENITY
- CIRCULATION
- OFFICE
- OPEN SPACE
- STUDIO
- UTILITY





SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR BUILDING WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

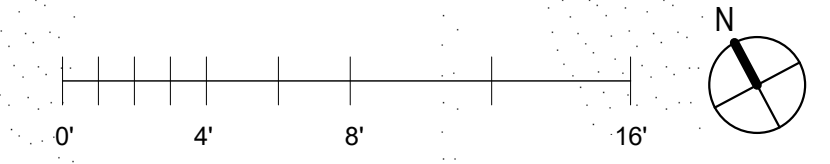
- 1 TRASH CHUTE
- 2 SKYLIGHTS
- 3 BALCONY PLANTING

LEGEND

- WALLS
- PROPERTY LINE

Color Legend

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- CIRCULATION
- OPEN SPACE
- STUDIO
- UTILITY



LEVEL 3 PLAN
ENTITLEMENT SET - 8/21/20

A2.3

1 2 2.1 3 3.1 A8.1 4.1 4 5.1 5 6.1 6 7

SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR BUILDING WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

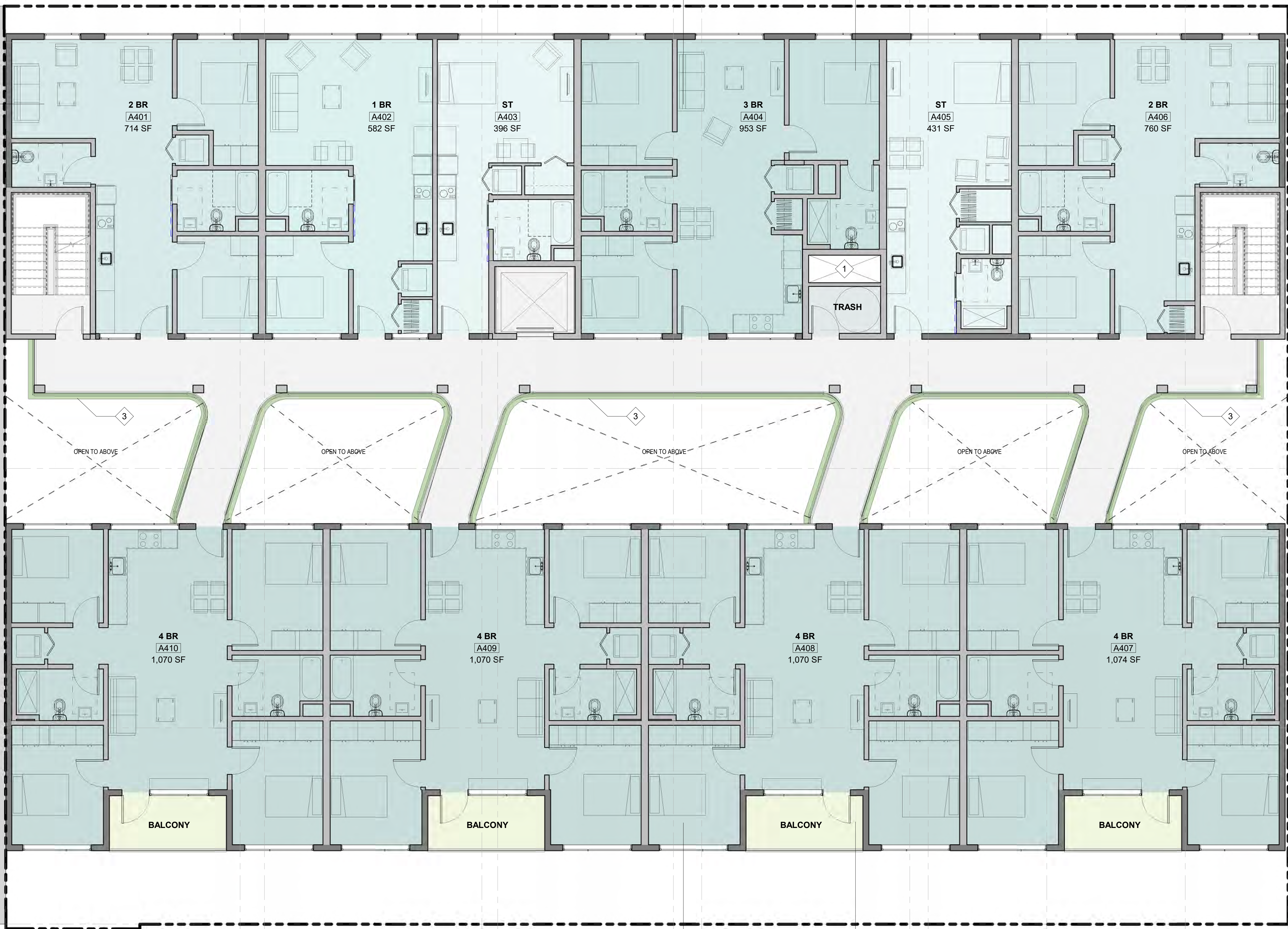
- 1 TRASH CHUTE
- 2 SKYLIGHTS
- 3 BALCONY PLANTING

LEGEND

- WALLS
- PROPERTY LINE

Color Legend

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- CIRCULATION
- OPEN SPACE
- STUDIO
- UTILITY



A8.1

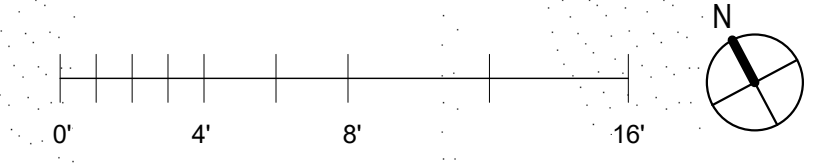
A4.1

A8.1

A8.1

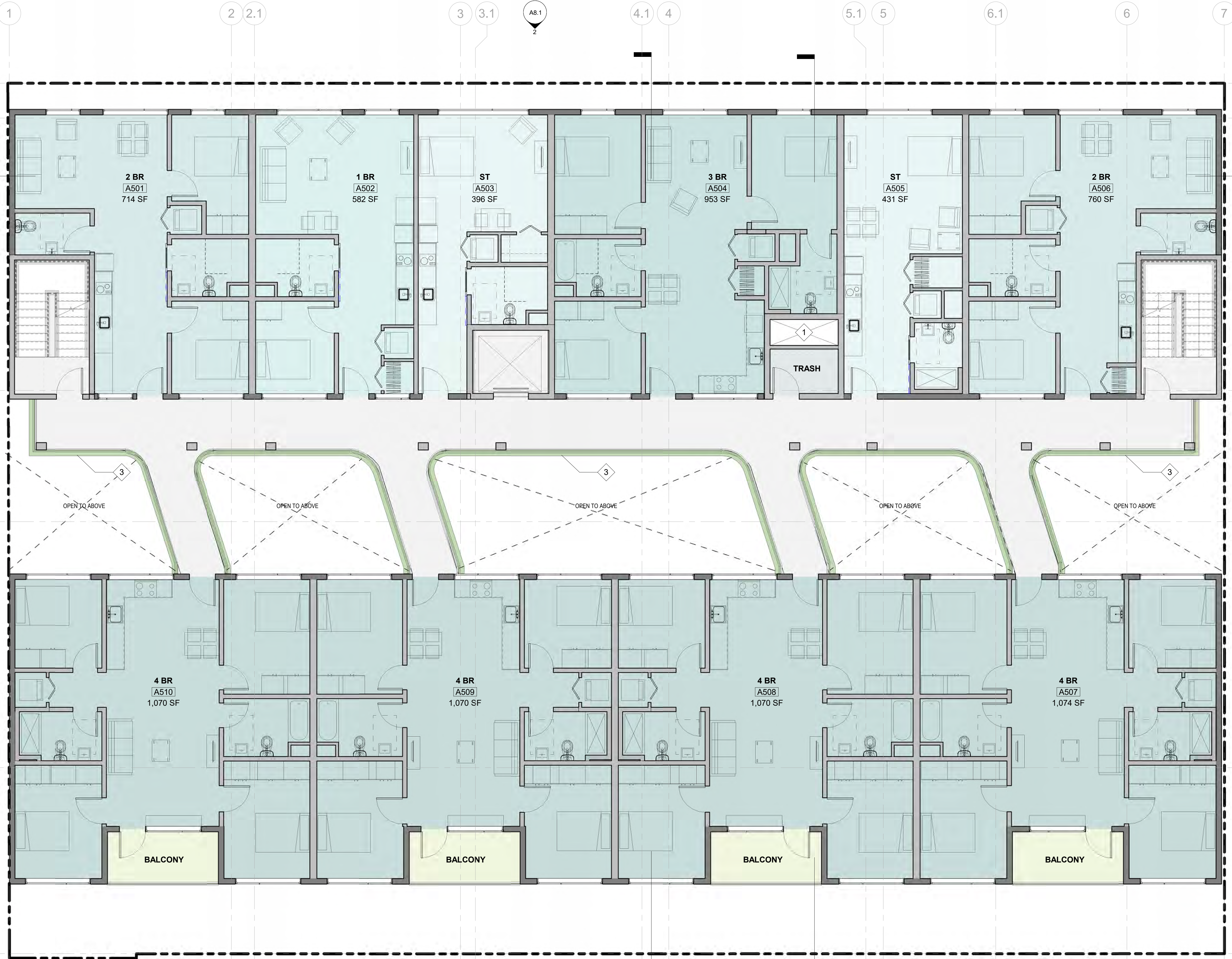
A4.2

A4.3



LEVEL 4 PLAN
ENTITLEMENT SET - 8/21/20

A2.4



SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR BUILDING WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

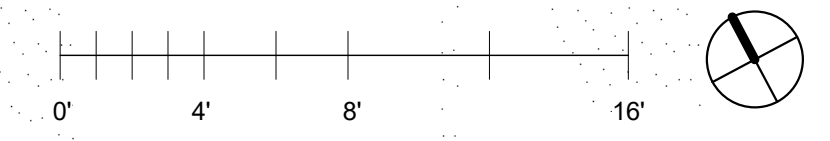
- 1 TRASH CHUTE
- 2 SKYLIGHTS
- 3 BALCONY PLANTING

LEGEND

- WALLS
- PROPERTY LINE

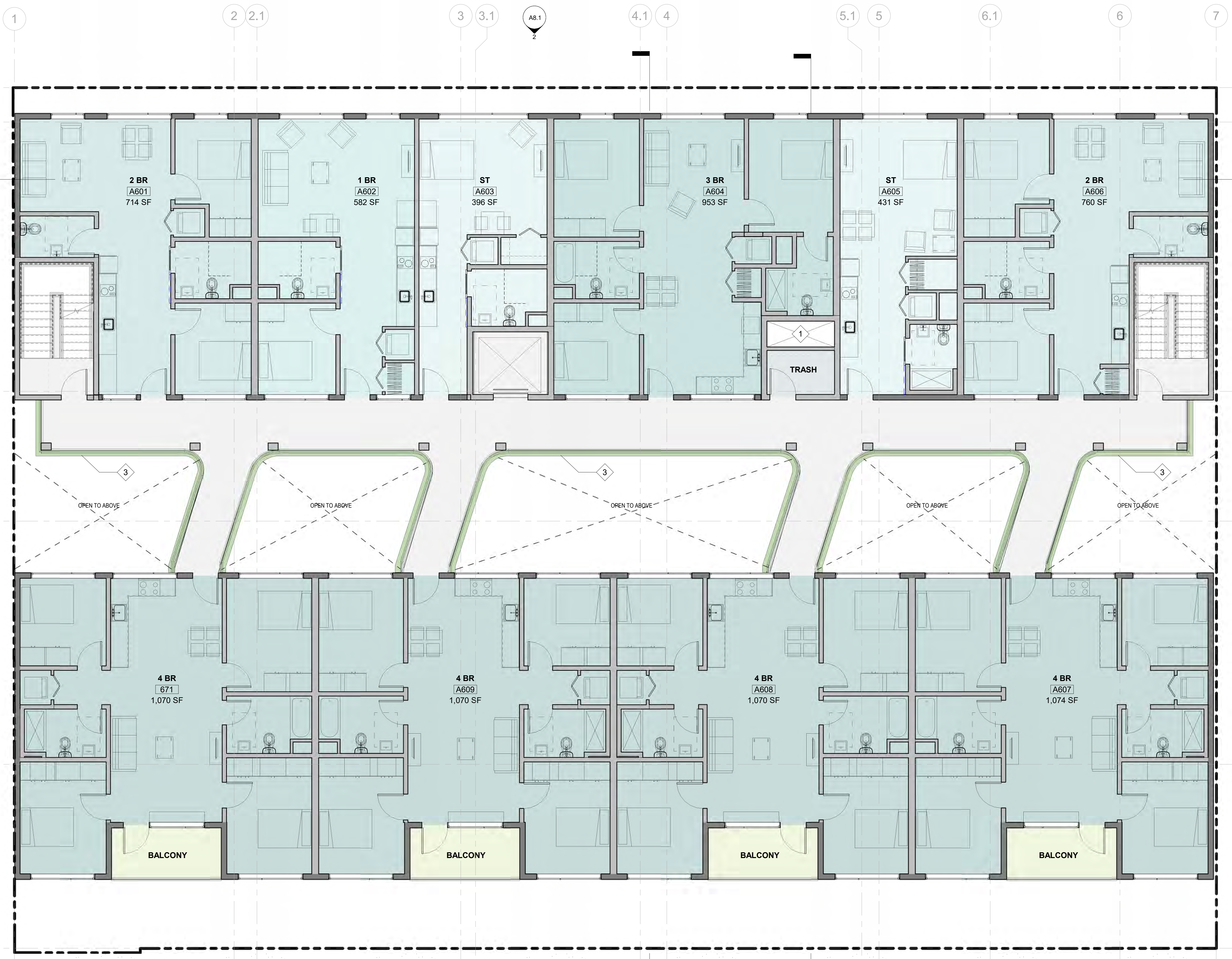
Color Legend

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- CIRCULATION
- OPEN SPACE
- STUDIO
- UTILITY



LEVEL 5 PLAN
ENTITLEMENT SET - 8/21/20

A2.5



SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR BUILDING WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

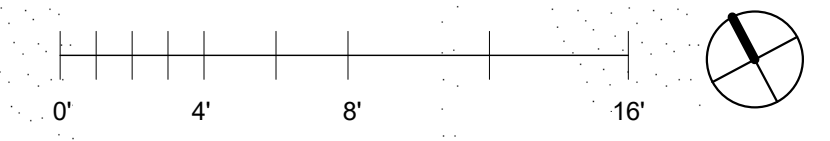
- 1 TRASH CHUTE
- 2 SKYLIGHTS
- 3 BALCONY PLANTING

LEGEND

- WALLS
- PROPERTY LINE

Color Legend

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- CIRCULATION
- OPEN SPACE
- STUDIO
- UTILITY



LEVEL 6 PLAN
ENTITLEMENT SET - 8/21/20

A2.6

1 2 2.1 3 3.1 A8.1 4.1 4 5.1 5 6.1 6 7

SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR BUILDING WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

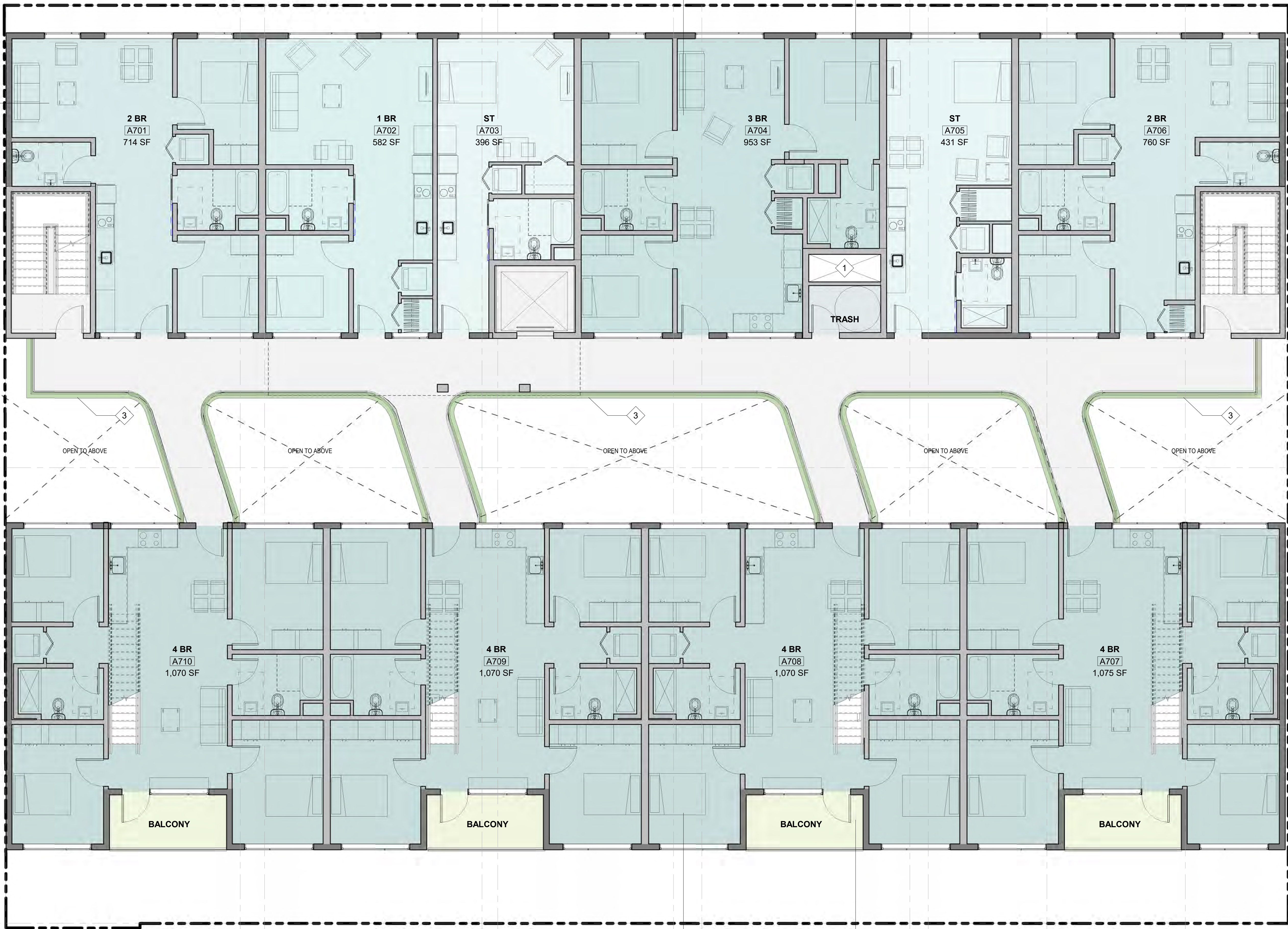
- 1 TRASH CHUTE
- 2 SKYLIGHTS
- 3 BALCONY PLANTING

LEGEND

- WALLS
- PROPERTY LINE

Color Legend

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- CIRCULATION
- OPEN SPACE
- STUDIO
- UTILITY



A
B
C
D
E
F

1 A4.1

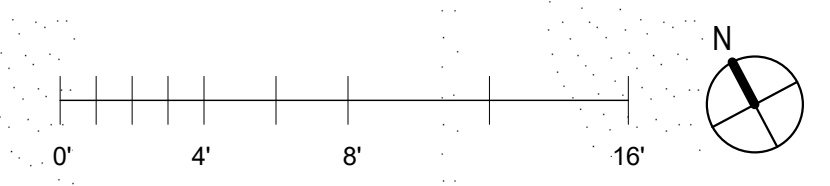
A8.1

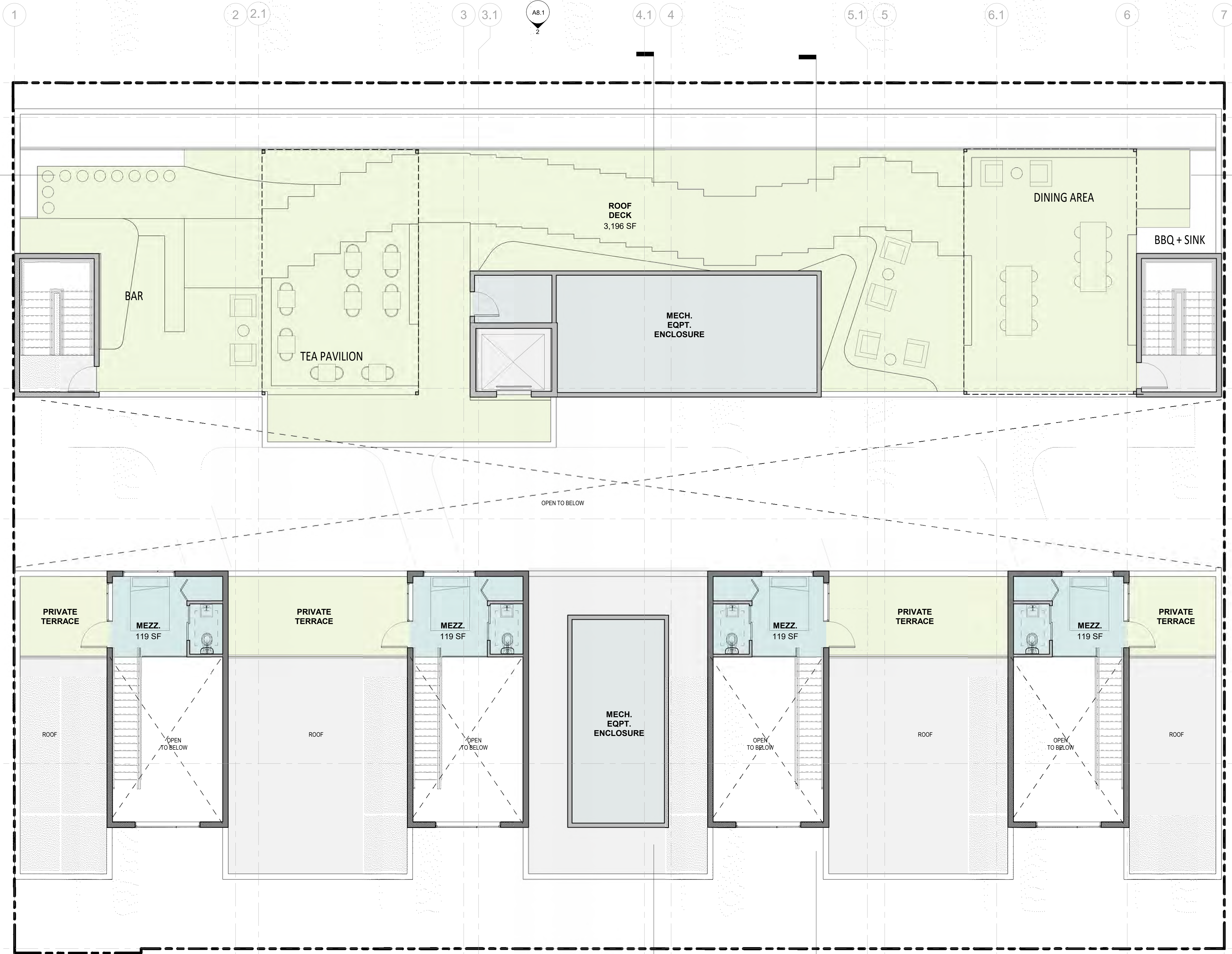
A8.1

A8.1

1 A4.2

1 A4.3





SHEET NOTES

- 1. NEW BUILDING STRUCTURE WITHIN PARAMETER OF EXISTING EXTERIOR BUILDING WALLS;
- 2. EXISTING EXTERIOR WALLS ARE LOCATED ALONG PROPERTY LINE;

KEY NOTES

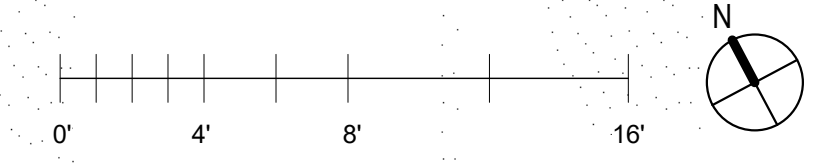
- 1 TRASH CHUTE
- 2 SKYLIGHTS
- 3 BALCONY PLANTING

LEGEND

- WALLS
- PROPERTY LINE

Color Legend

- 2 BEDROOM
- CIRCULATION
- OPEN SPACE
- UTILITY



LEVEL 8, ROOF LEVEL
ENTITLEMENT SET - 8/21/20

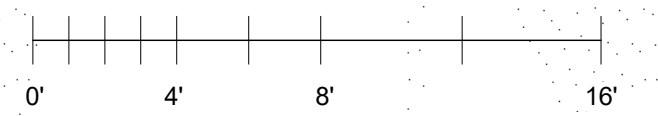
A2.8



T.O. STAIR ENCL. 85'-8"
T.O. PARAPET 78'-8"
LEVEL 8 75'-0"
LEVEL 7 65'-0"
LEVEL 6 55'-0"
LEVEL 5 45'-0"
LEVEL 4 35'-0"
LEVEL 3 25'-0"
EXISTING FACADE 20'-10"
LEVEL 2 15'-0"
LEVEL 1 0'-0"

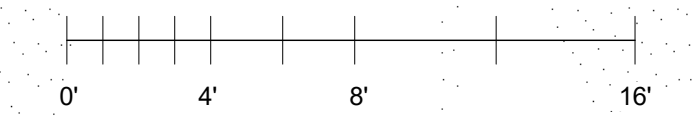


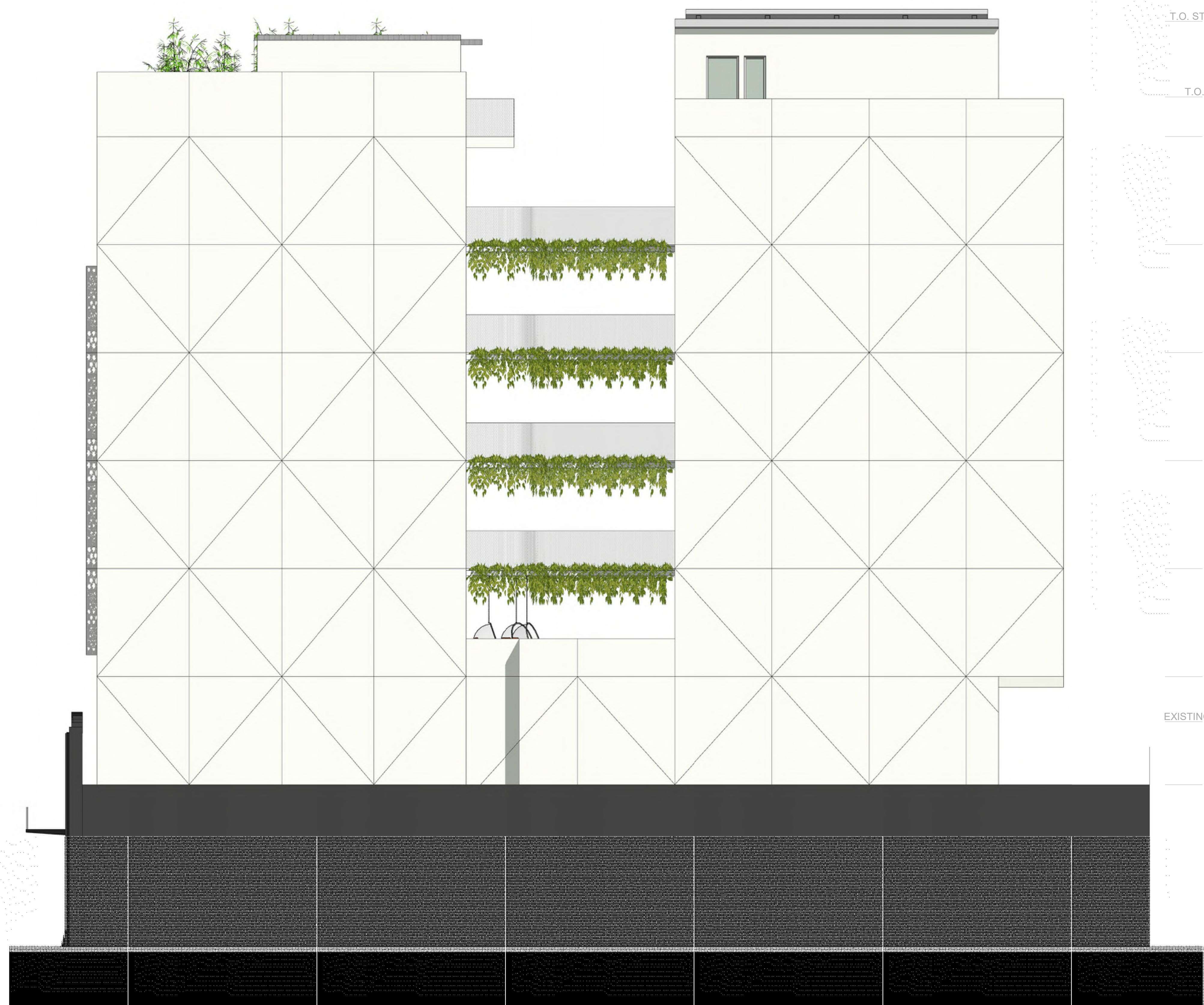
- T.O. STAIR ENCL. 85' - 8"
- T.O. PARAPET 78' - 8"
- LEVEL 8 75' - 0"
- LEVEL 7 65' - 0"
- LEVEL 6 55' - 0"
- LEVEL 5 45' - 0"
- LEVEL 4 35' - 0"
- LEVEL 3 25' - 0"
- EXISTING FACADE 20' - 10"
- LEVEL 2 15' - 0"
- LEVEL 1 0' - 0"



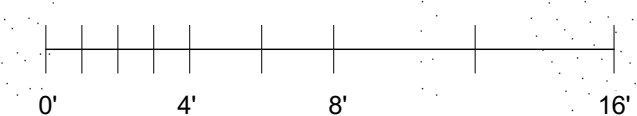


- T.O. STAIR ENCL. 85' - 8"
- T.O. PARAPET 78' - 8"
- LEVEL 8 75' - 0"
- LEVEL 7 65' - 0"
- LEVEL 6 55' - 0"
- LEVEL 5 45' - 0"
- LEVEL 4 35' - 0"
- LEVEL 3 25' - 0"
- EXISTING FACADE 20' - 10"
- LEVEL 2 15' - 0"
- LEVEL 1 0' - 0"





- T.O. STAIR ENCL.
85' - 8"
- T.O. PARAPET
78' - 8"
- LEVEL 8
75' - 0"
- LEVEL 7
65' - 0"
- LEVEL 6
55' - 0"
- LEVEL 5
45' - 0"
- LEVEL 4
35' - 0"
- LEVEL 3
25' - 0"
- EXISTING FACADE
20' - 10"
- LEVEL 2
15' - 0"
- LEVEL 1
0' - 0"





SHEET NOTES

1.

T.O. STAIR ENCL.
85' - 8"

T.O. PARAPET
78' - 8"

LEVEL 8
75' - 0"

LEVEL 7
65' - 0"

LEVEL 6
55' - 0"

LEVEL 5
45' - 0"

LEVEL 4
35' - 0"

LEVEL 3
25' - 0"

EXISTING FACADE
20' - 10"

LEVEL 2
15' - 0"

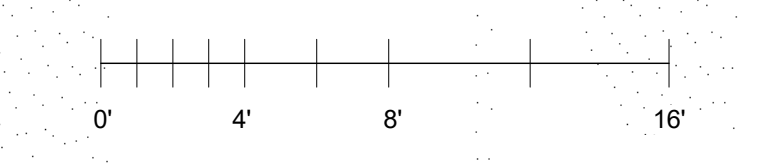
LEVEL 1
0' - 0"

KEY NOTES

- 1 ELEVATOR INCLOSURE
- 2 STAIRCASE INCLOSURE
- 3 BIKE RACKS
- 4 PARKING PUZZLE SYSTEM

LEGEND

- WALLS
- PROPERTY LINE





SHEET NOTES

1.

KEY NOTES

- 1 ELEVATOR INCLOSURE
- 2 STAIRCASE INCLOSURE
- 3 BIKE RACKS
- 4 PARKING PUZZLE SYSTEM

LEGEND

- WALLS
- PROPERTY LINE

T.O. STAIR ENCL.
85' - 8"

LEVEL 8
75' - 0"

LEVEL 7
65' - 0"

LEVEL 6
55' - 0"

LEVEL 5
45' - 0"

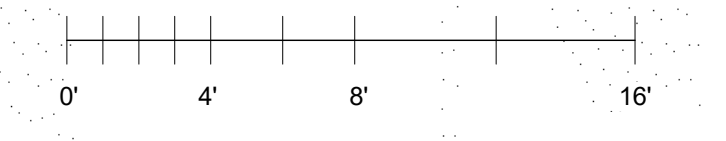
LEVEL 4
35' - 0"

LEVEL 3
25' - 0"

EXISTING FACADE
20' - 10"

LEVEL 2
15' - 0"

LEVEL 1
0' - 0"





SHEET NOTES

1.

KEY NOTES

- 1 ELEVATOR INCLOSURE
- 2 STAIRCASE INCLOSURE
- 3 BIKE RACKS
- 4 PARKING PUZZLE SYSTEM

LEGEND

- WALLS
- PROPERTY LINE

T.O. STAIR ENCL.
85' - 8"

LEVEL 8
75' - 0"

LEVEL 7
65' - 0"

LEVEL 6
55' - 0"

LEVEL 5
45' - 0"

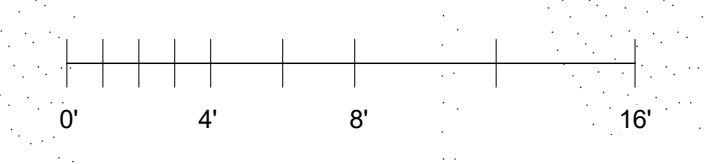
LEVEL 4
35' - 0"

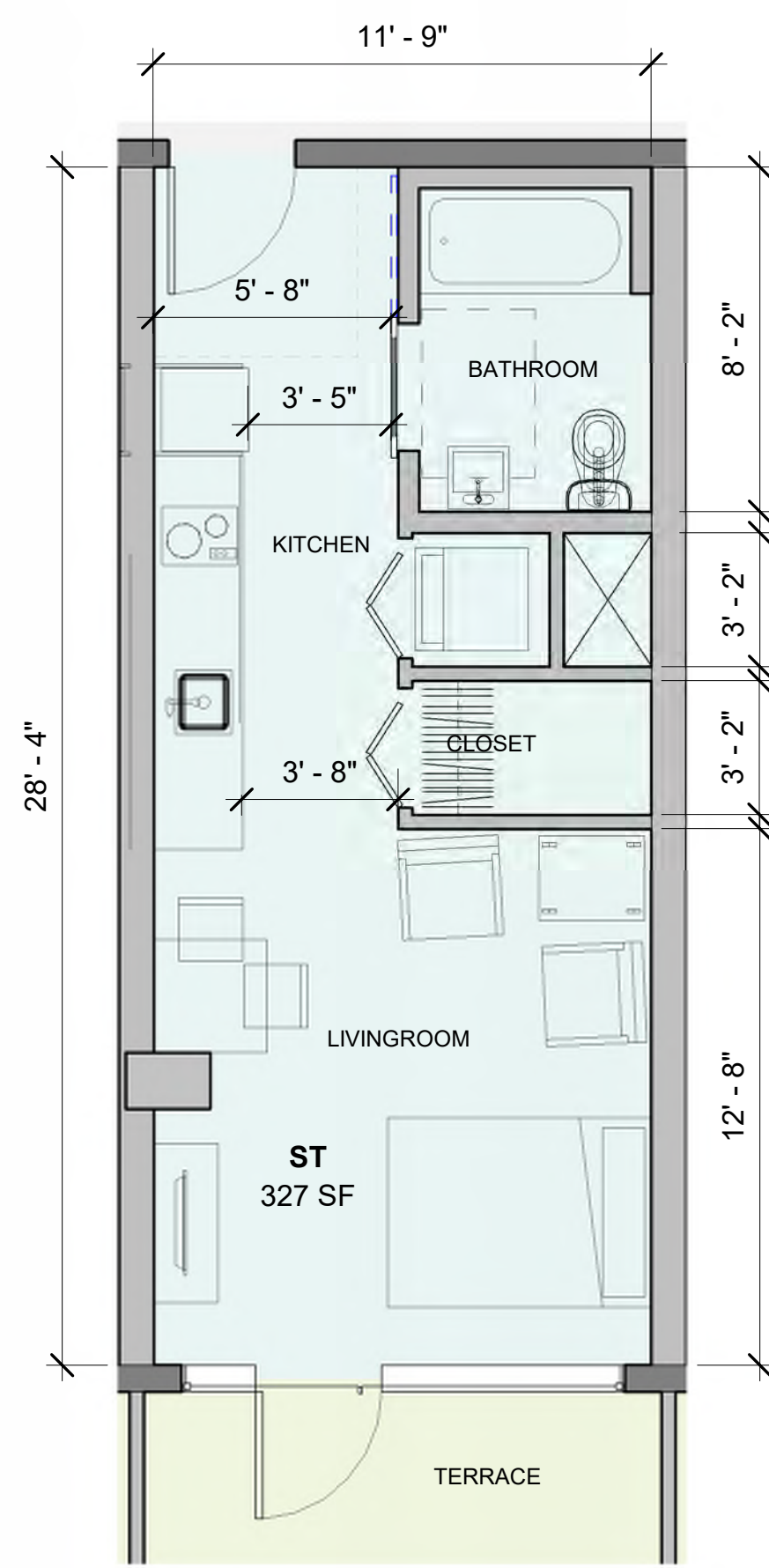
LEVEL 3
25' - 0"

EXISTING FACADE
20' - 10"

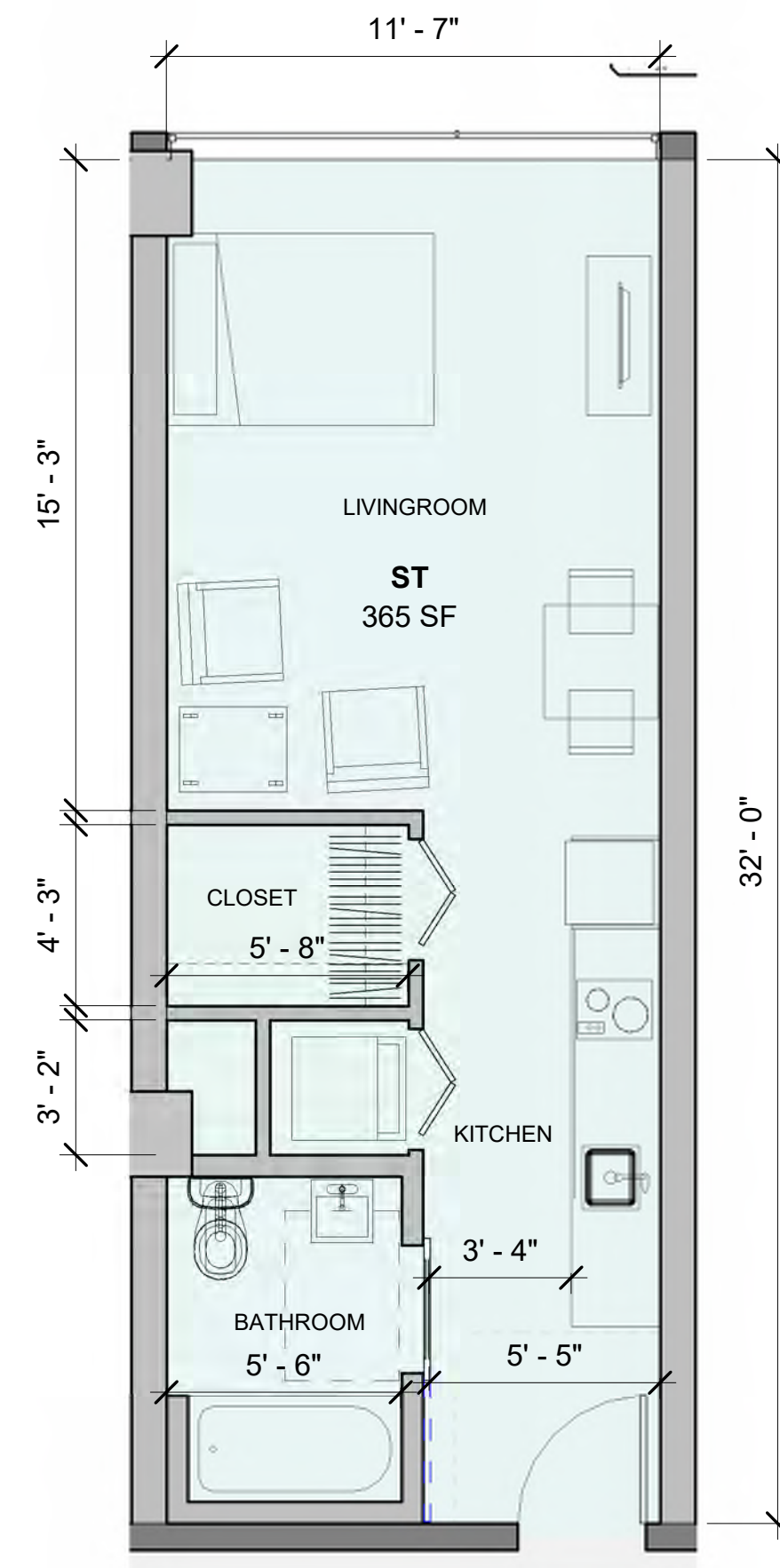
LEVEL 2
15' - 0"

LEVEL 1
0' - 0"

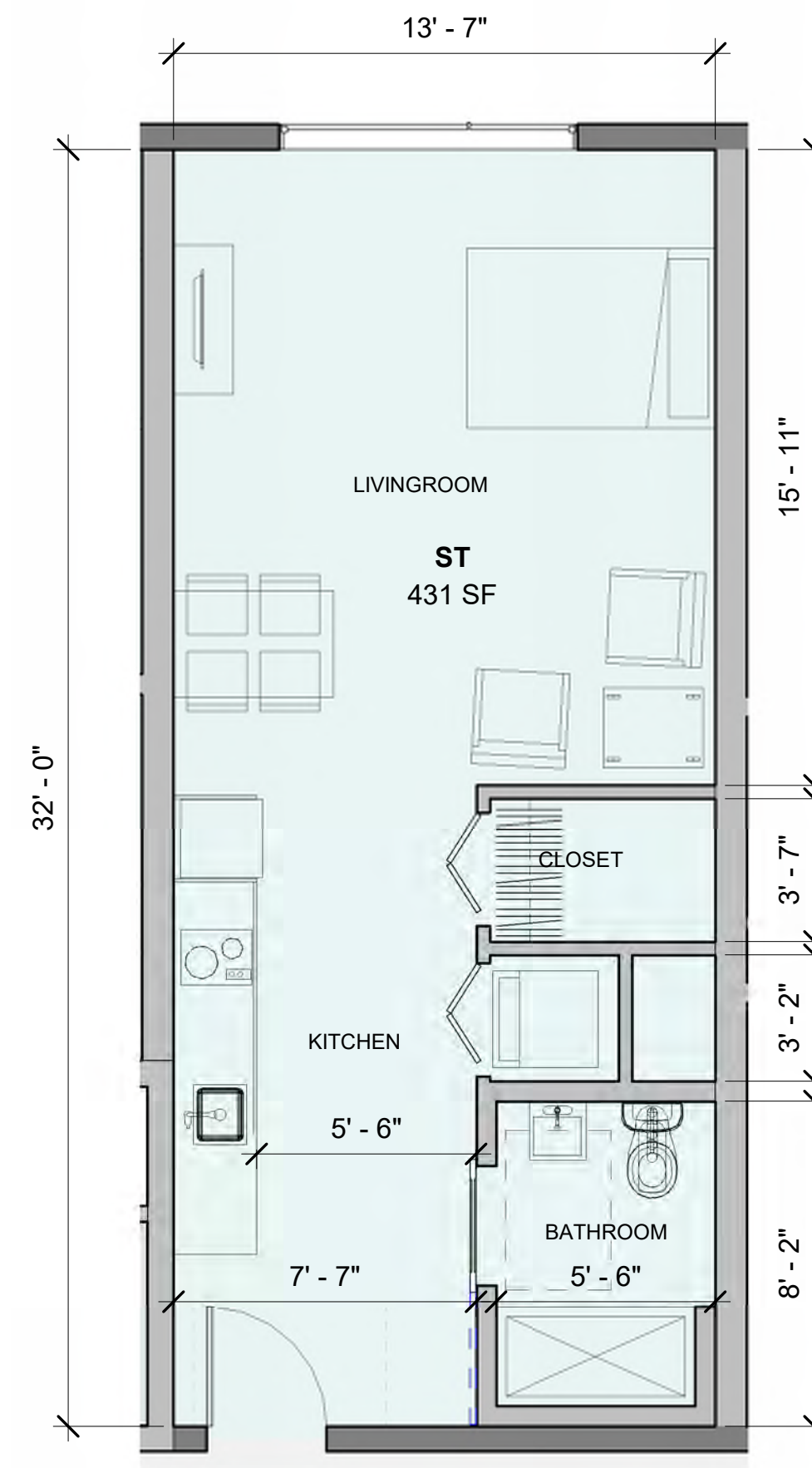




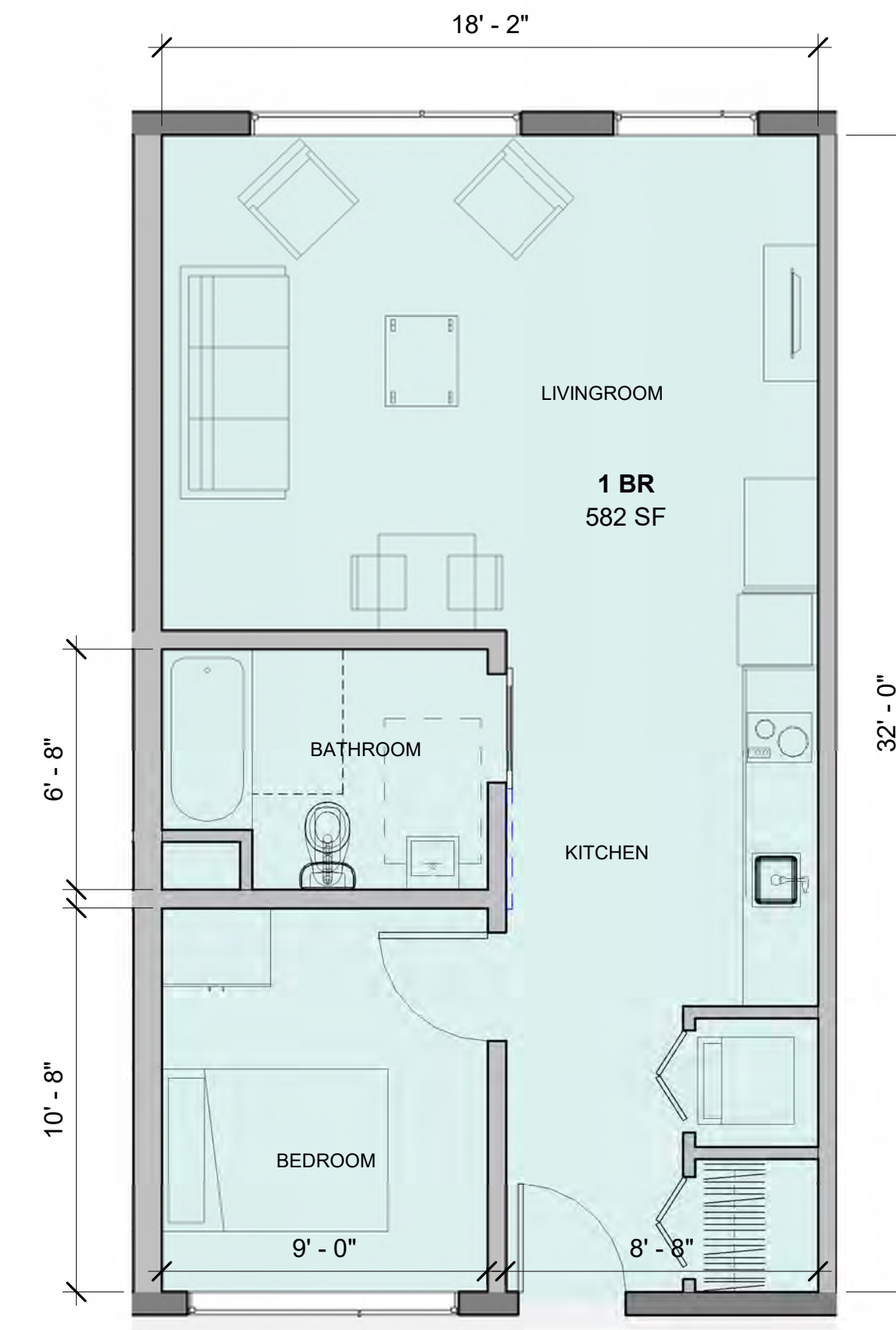
LEVEL 2 - TYPICAL STUDIO WITH PRIVATE TERRACE



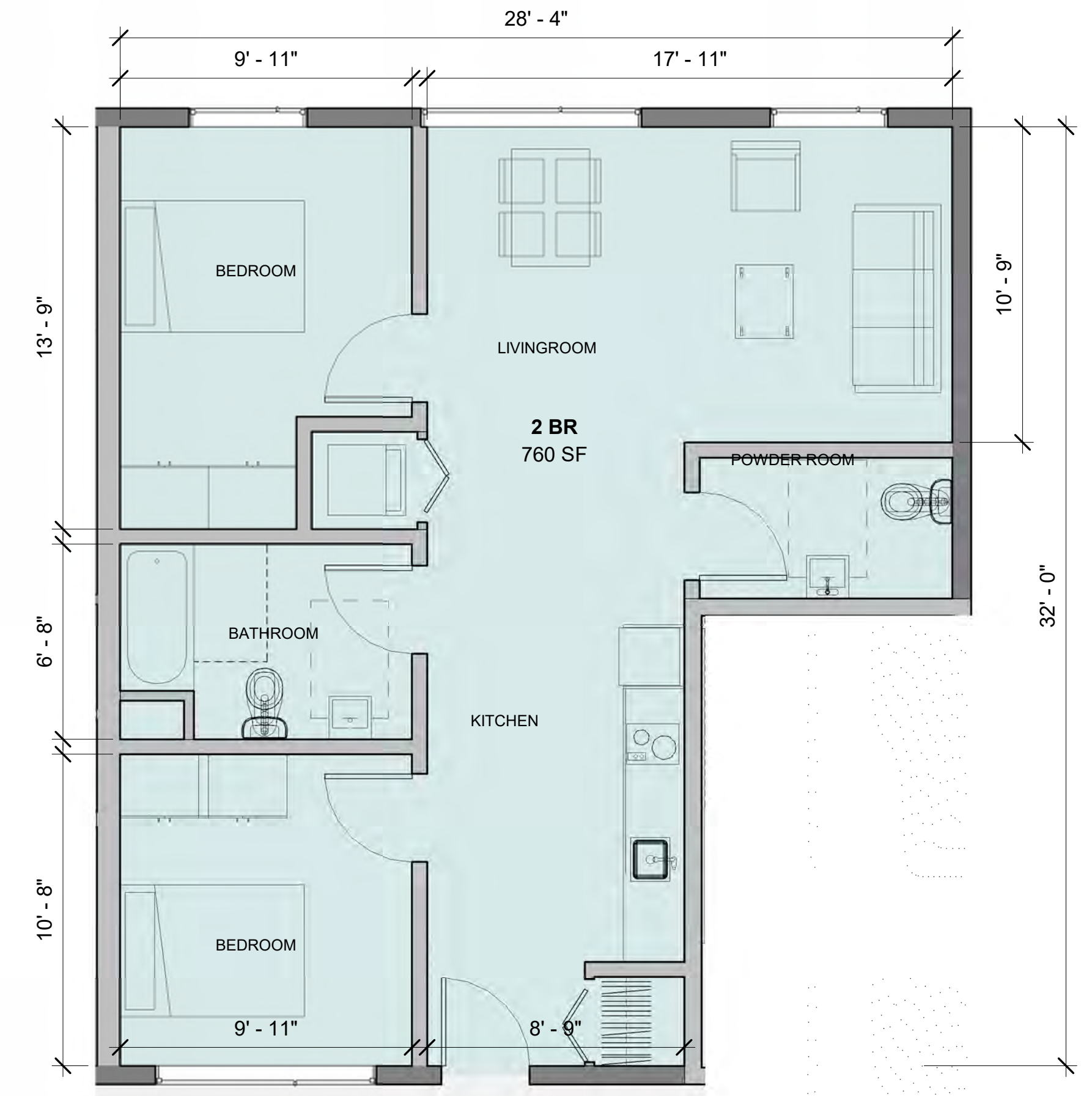
LEVEL 2 - TYPICAL STUDIO



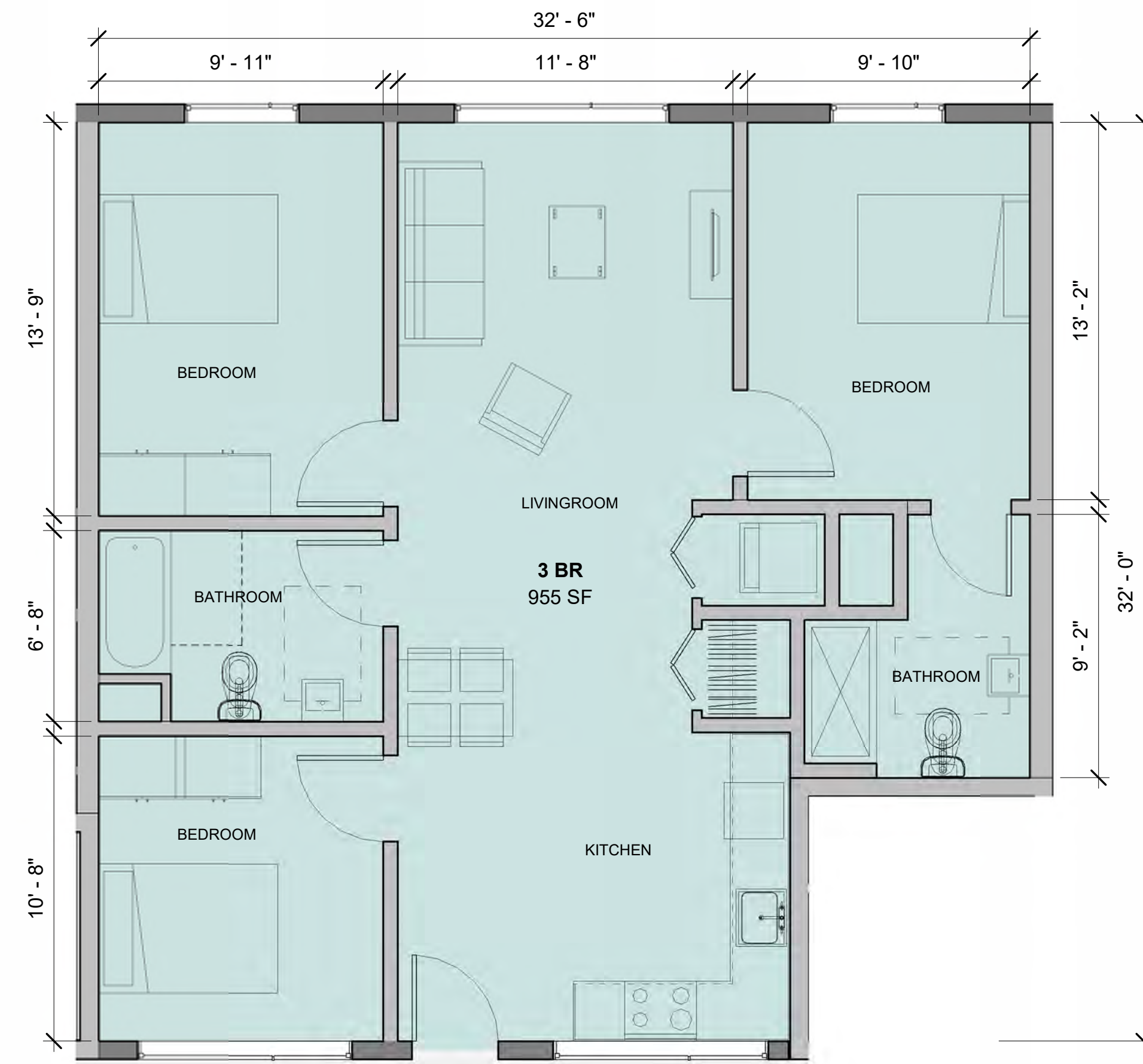
LEVEL 3-6 - TYPICAL STUDIO



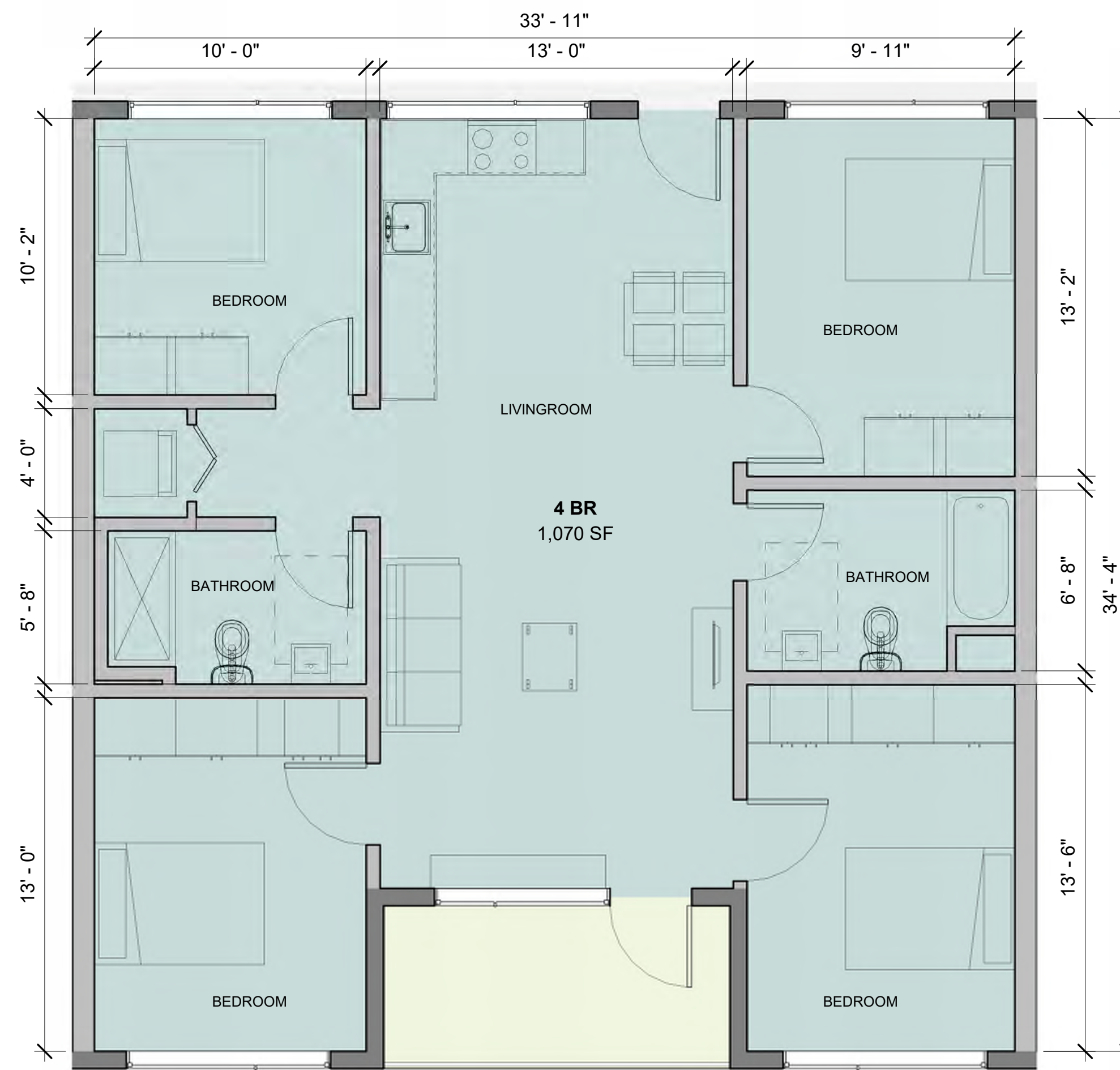
LEVEL 3-6 - TYPICAL 1 BEDROOM



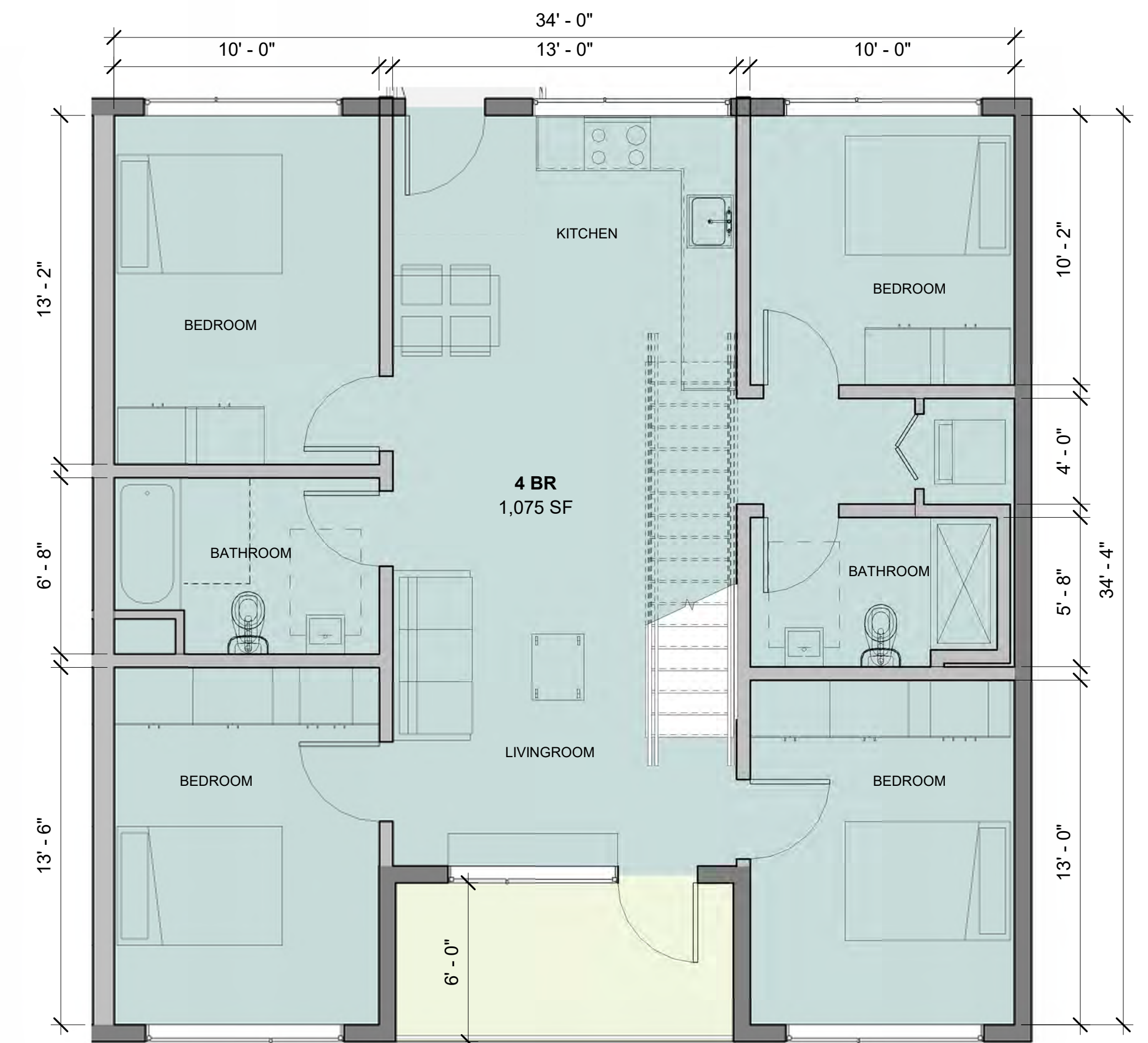
LEVEL 3-6 - TYPICAL 2 BEDROOM



LEVEL 3-6 - TYPICAL 3 BEDROOM



LEVEL 3-6 - TYPICAL 4 BEDROOM



LEVEL 7 - TYPICAL 4 BEDROOM

1 RETAIL SIGNAGE



2 LOBBY SIGNAGE



1 RETAIL SIGNAGE EXAMPLE



2 LOBBY SIGNAGE EXAMPLE



SHEET NOTES

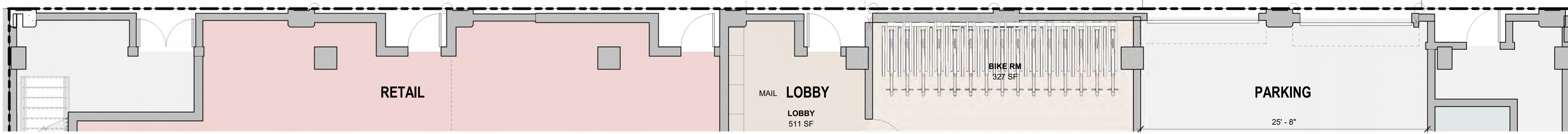
1. SIGNAGE ABOVE RETAIL CAN BE MOUNTED TO THE STRIPE ON THE FACADE ABOVE THE ENTRANCE
2. SIGNAGE ABOVE LOBBY CAN BE MOUNTED ON THE TOP OF CANOPY
3. BOTH SIGNAGES ARE METAL LETTERS

KEY NOTES

- 1 RETAIL SIGNAGE
- 2 LOBBY SIGNAGE

1

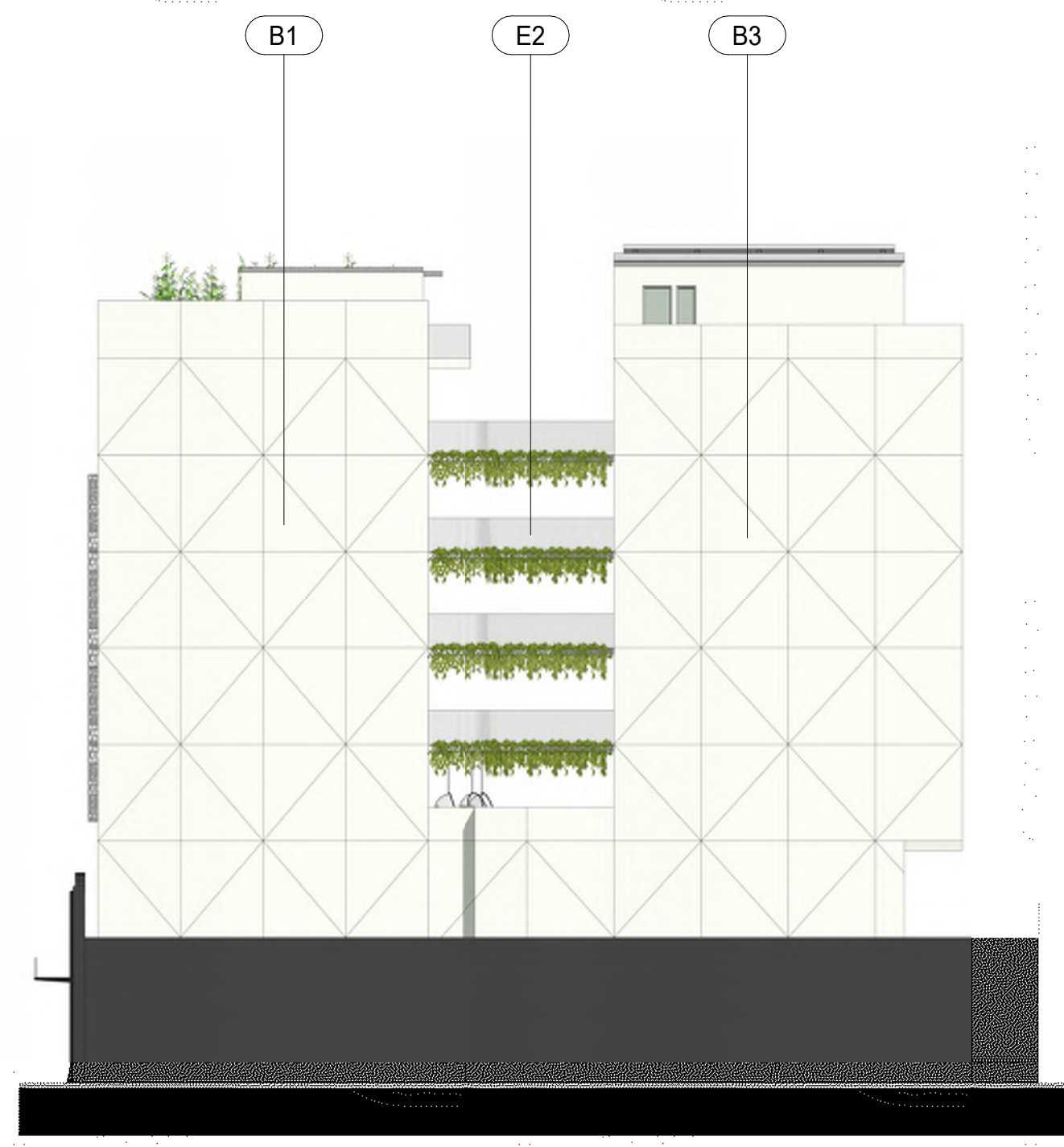
2



1 SITE PLAN
1/4" = 1'-0"



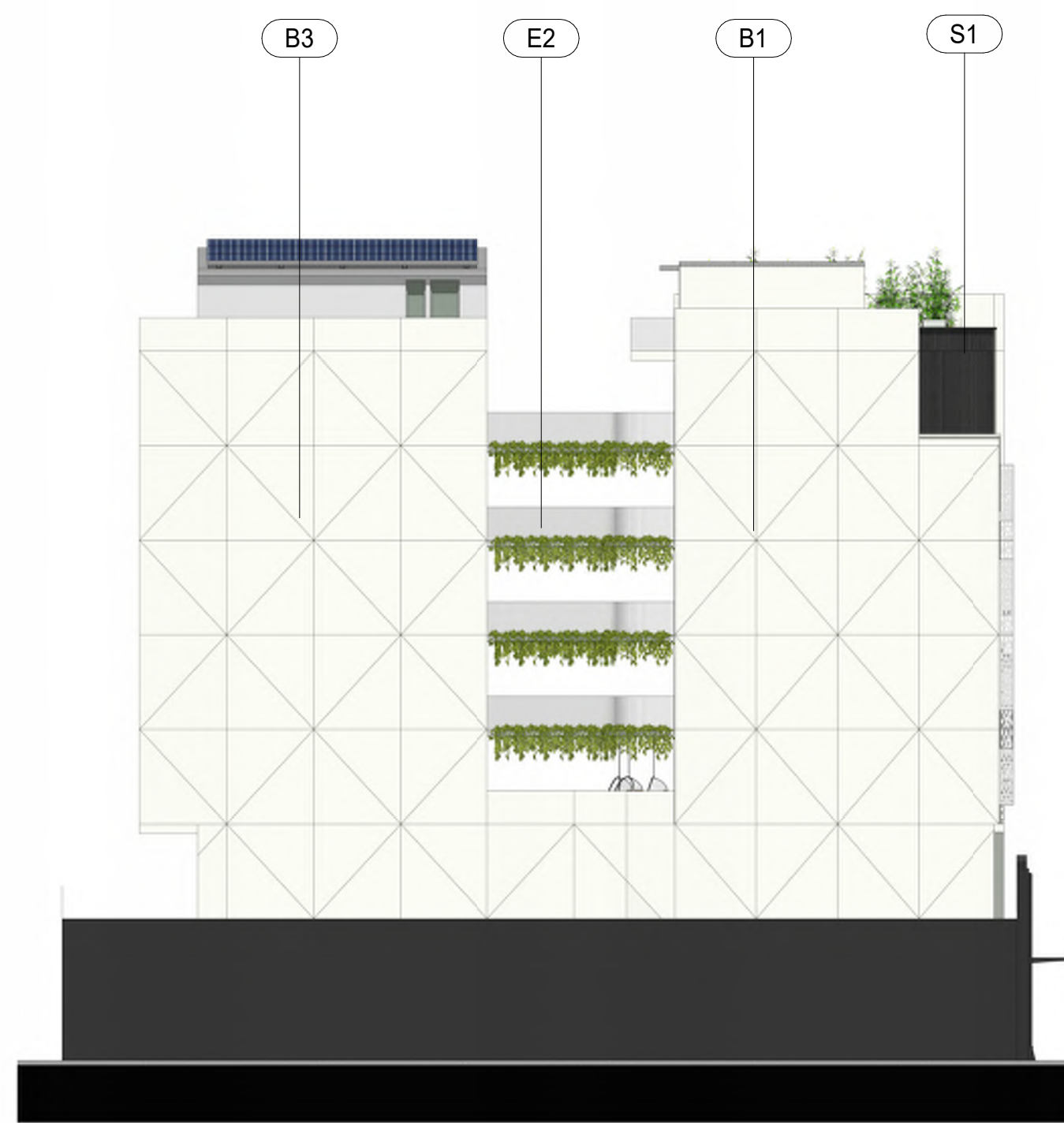
2 STREET FRONT
1/16" = 1'-0"



3 WEST SIDE
1/16" = 1'-0"



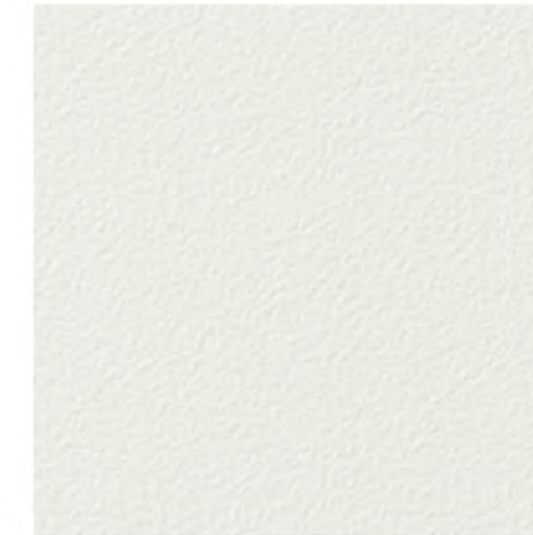
1 SOUTH SIDE
1/16" = 1'-0"



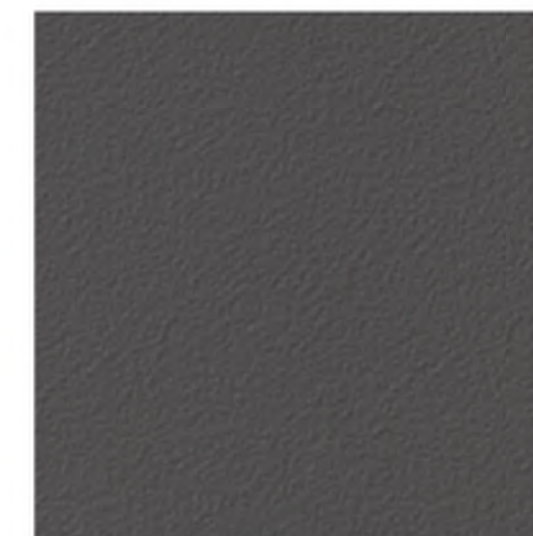
4 EAST SIDE
1/16" = 1'-0"



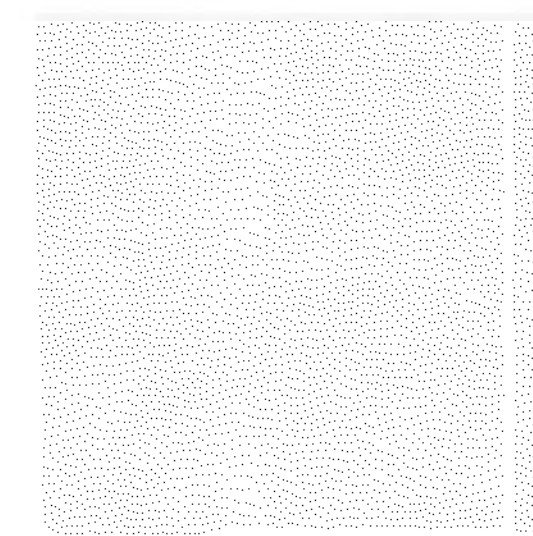
S1



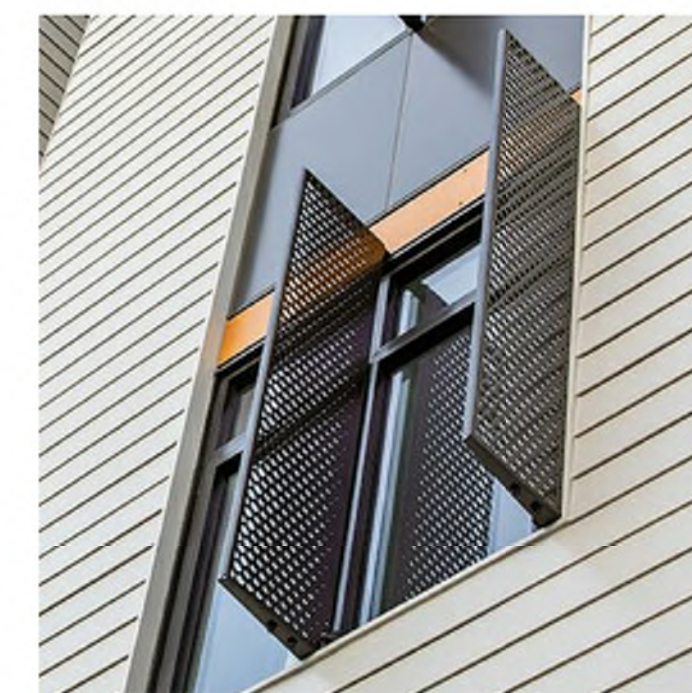
B1



B2



B3



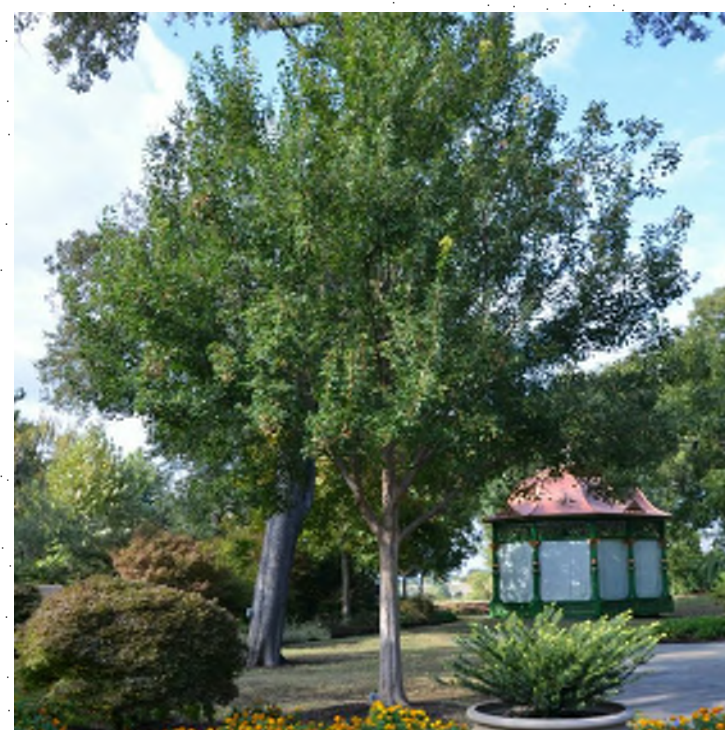
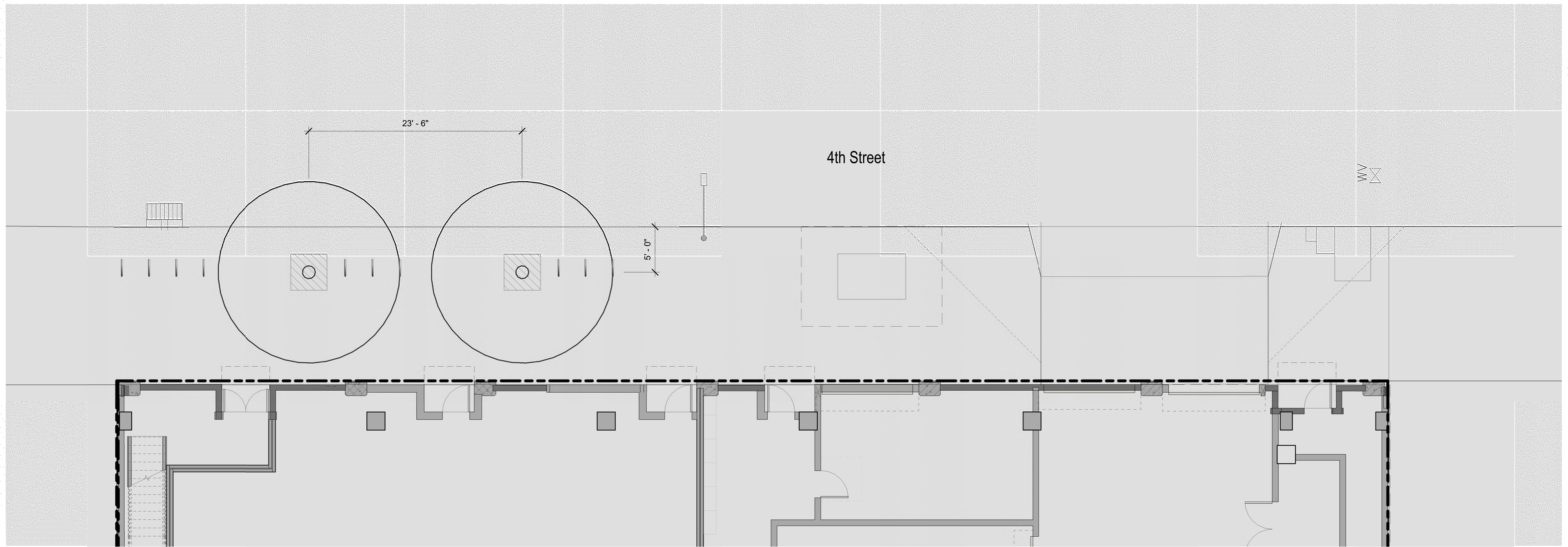
E1



E2

LEGEND

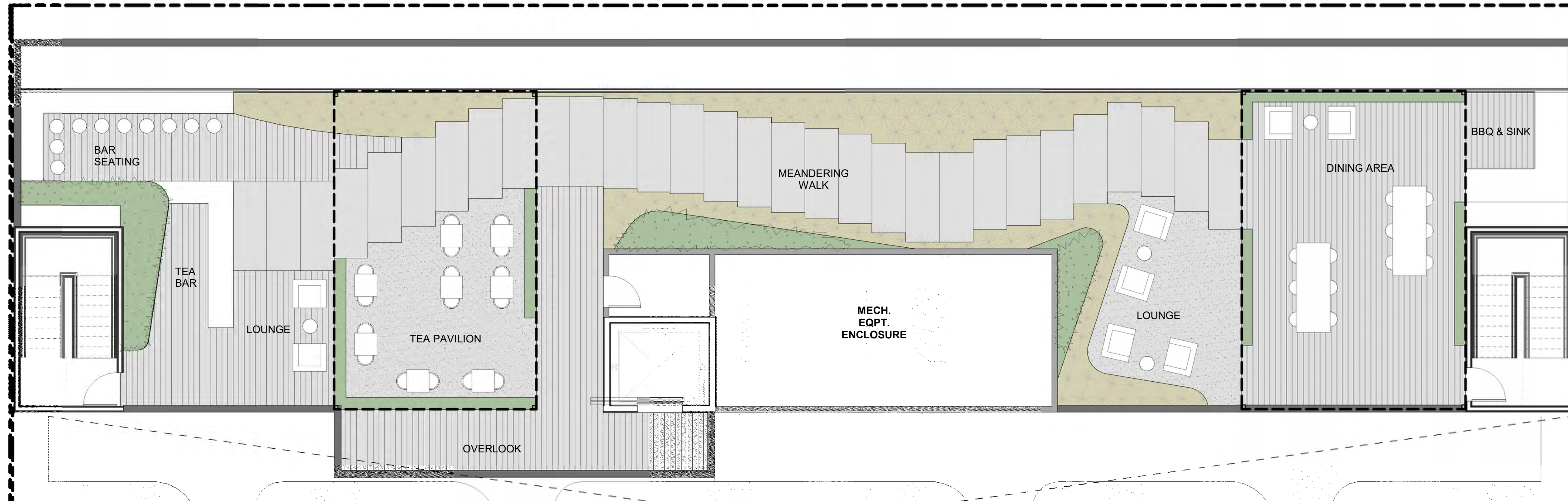
- S1 SUGI BAN
- B1 CEMBRIT FIBER CEMENT - LUNA
- B2 CEMBRIT FIBER CEMENT - PLUTO
- B3 SMOOTH PLASTER - WHITE
- E1 SUNSHADE
- E2 METAL PERFORATED RAILING



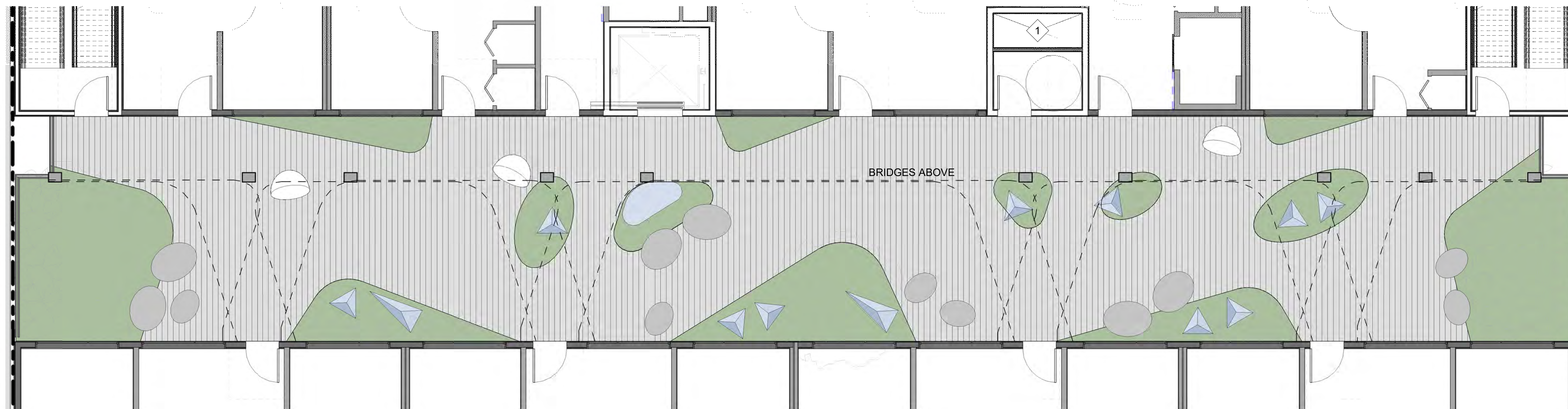
Trident Maple
Acer buergeranum



Inverted U
Bike Rack



1 ROOF MATERIALS PLAN
3/16" = 1'-0"



2 PODIUM MATERIALS PLAN
3/16" = 1'-0"

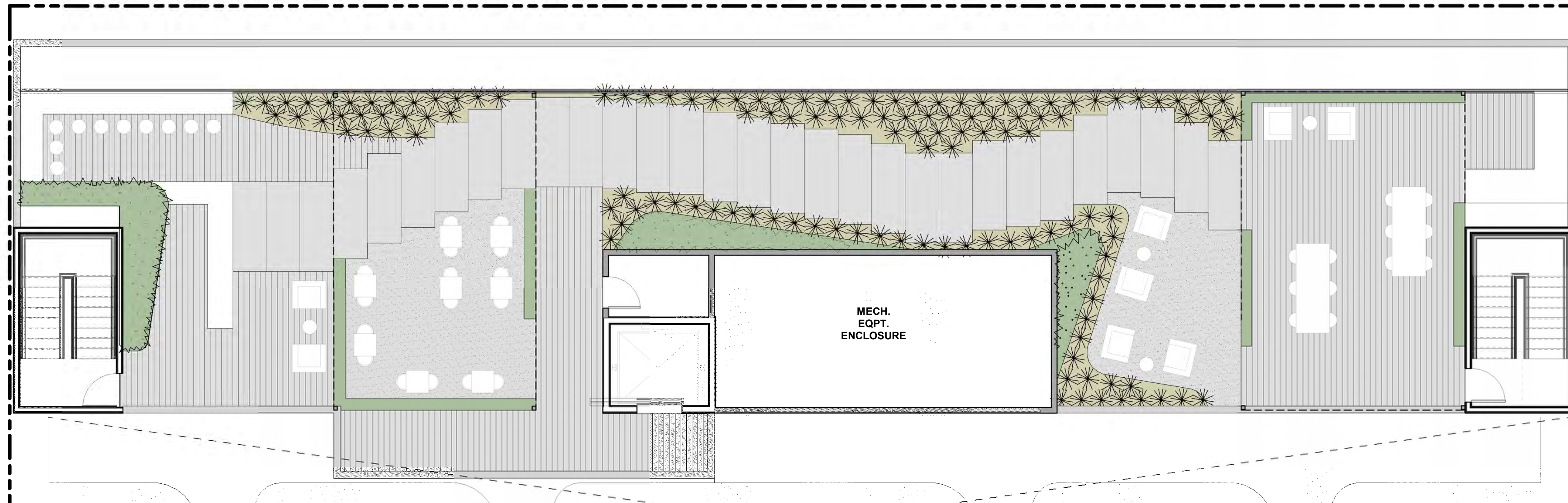
- Planter Box
- Planting Tray
- Decking
- Gravel
- Paving Slabs
- Dining Table
- Floor Seating
- Lounge Chair
- Trellis Extents
- Planting Area
- Decking
- Hanging Pod Chair
- Skylight
- Seating Stone
- Fountain

ROOF GARDEN MATERIAL PALETTE

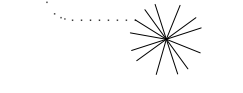




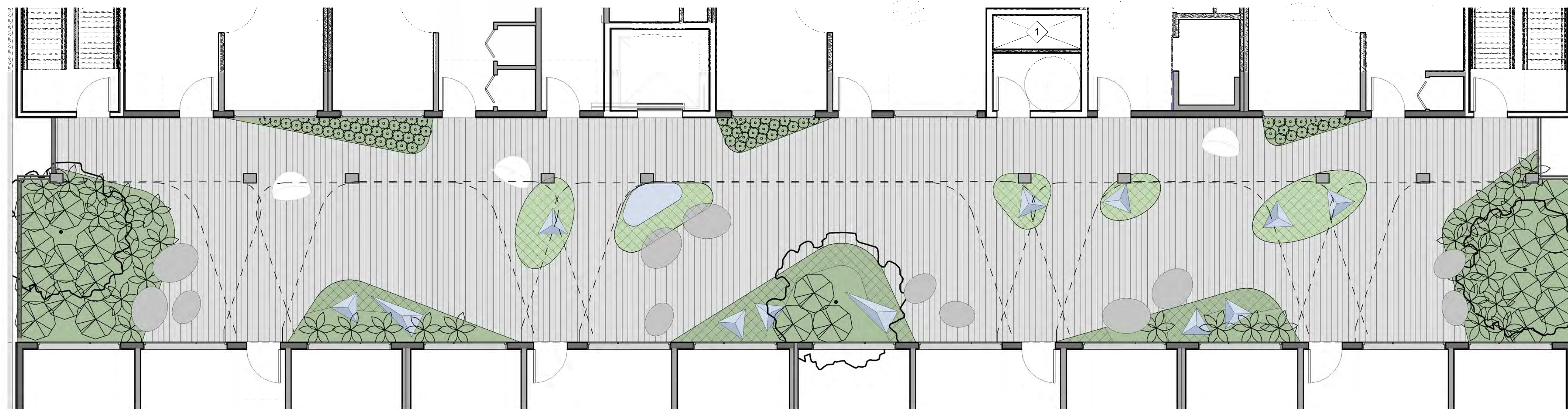
PODIUM GARDEN MATERIAL PALETTE



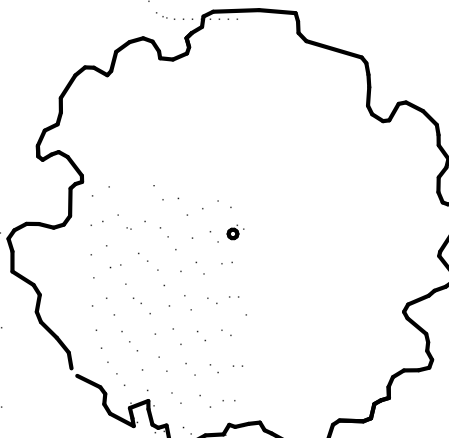
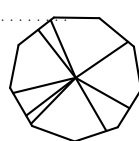
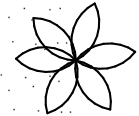

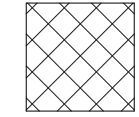


① ROOF GARDEN PLANTING PLAN
3/16" = 1'-0"

-  White Cloud Muhly
-  Fishpole Bamboo
-  Side Slat Panels w/ Plants



② PODIUM PLANTING PLAN
3/16" = 1'-0"

-  Vine Maple
-  Soft Caress Mahonia
-  Western Sword Fern
-  Meadow Rue
-  Wild Ginger

ROOF GARDEN PLANTING PALETTE

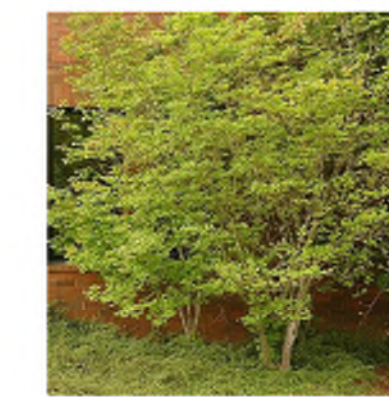


White Cloud Muhly
Muhlenbergia 'White Cloud'
L



Fishpole Bamboo
Phyllostachys aurea
L

PODIUM GARDEN PLANTING PALETTE



Vine Maple
Acer circinatum
M



Soft Caress Mahonia
Mahonia 'Soft Caress'
M



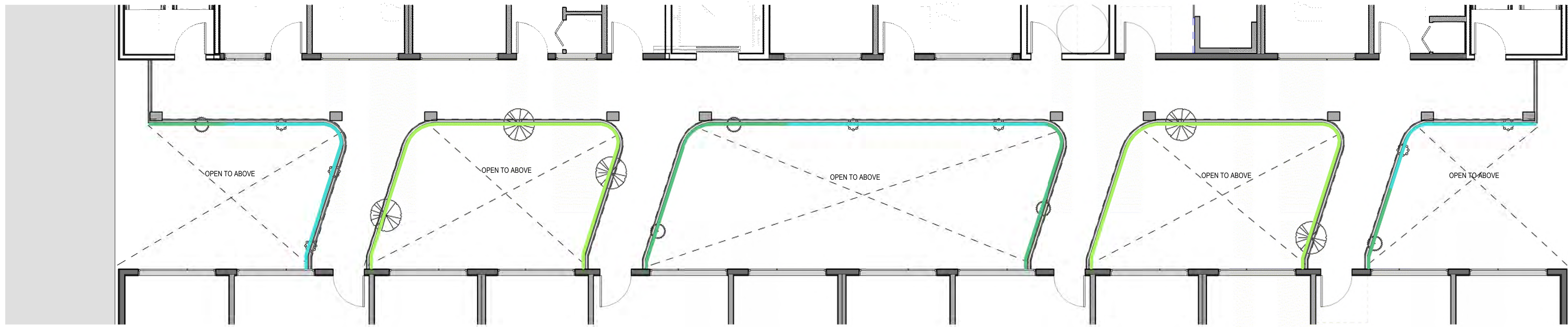
Western Sword Fern
Polystichum munitum
M



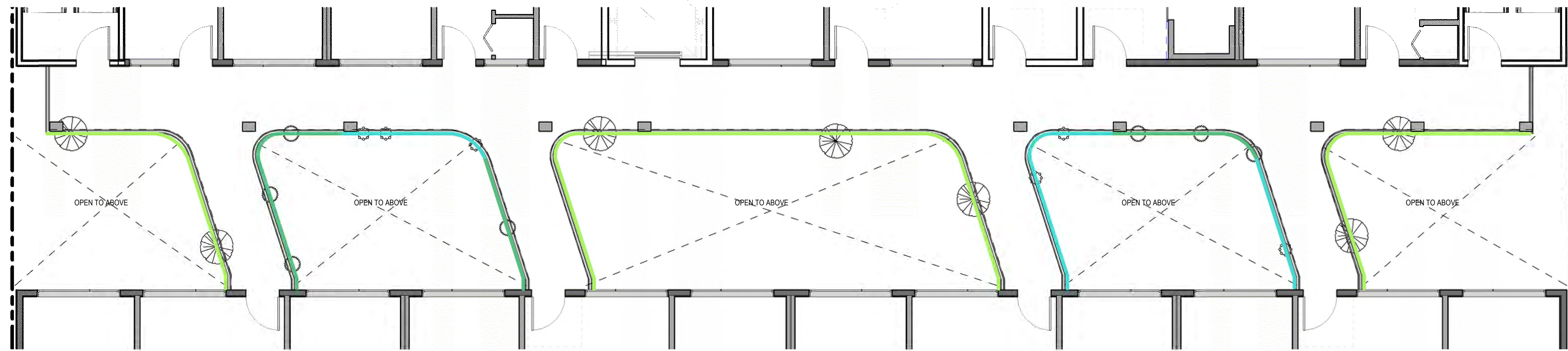
Meadow Rue
Thalictrum rochebruneanum
H



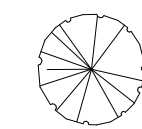
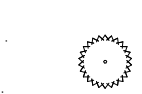
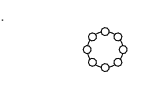



Wild Ginger
Asarum caudatum
M



① LEVEL 4 & 6 PLANTING PLAN
3/16" = 1'-0"



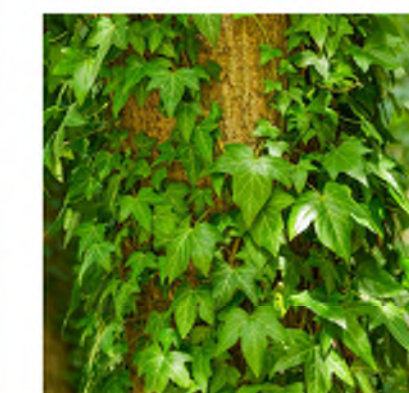
② LEVEL 3 & 5 PLANTING PLAN
3/16" = 1'-0"

-  Mother Fern
-  Chalk Dudleya
-  Silver Cloak Fern
-  English Ivy
-  Burro's Tail
-  Silver Ponyfoot

BALCONY AND TRELLIS PLANTING PALETTE



Silver Ponyfoot
Dichondra sericea 'Silver Falls'
L



English Ivy
Hedera helix
M



Burro's Tail
Sedum morganianum
L



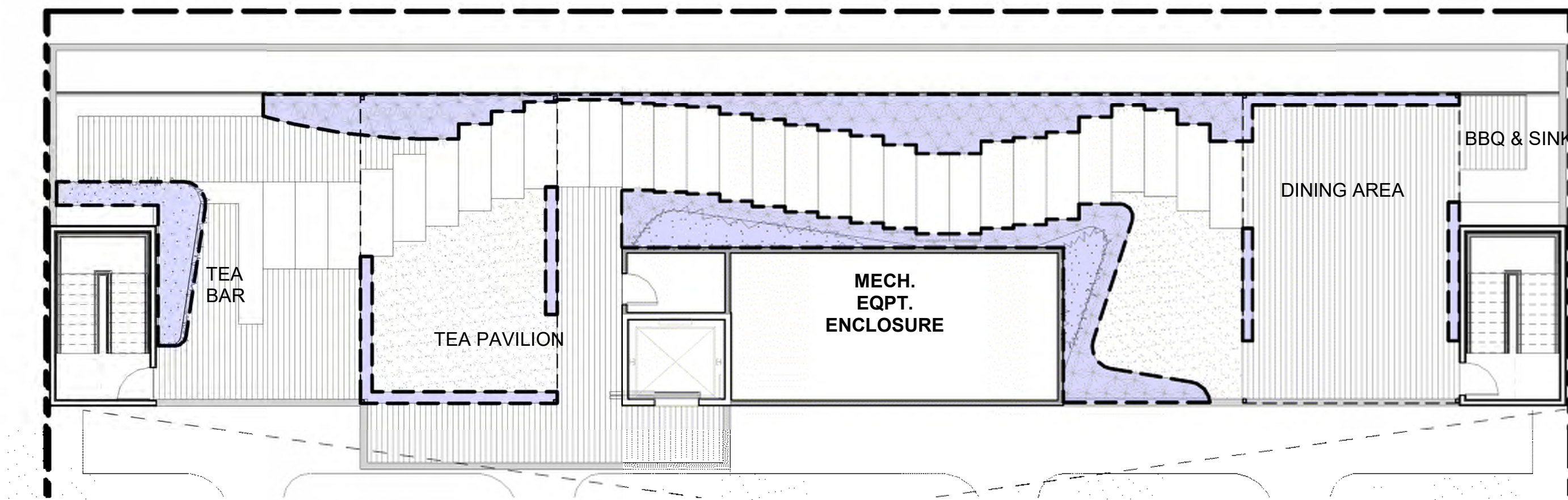
Silver Cloak Fern
Cheilanthes argentea
L



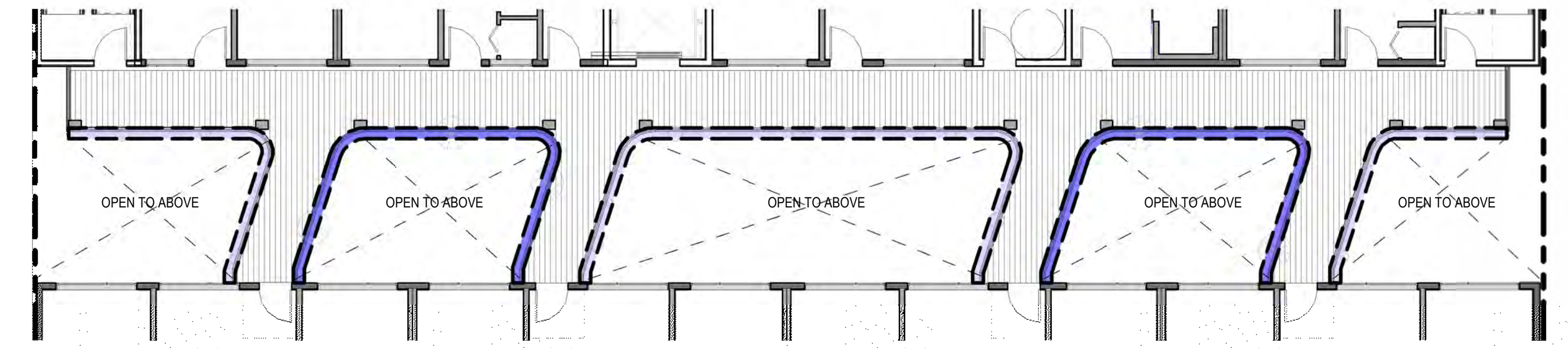
Chalk Dudleya
Dudleya pulverulenta
L



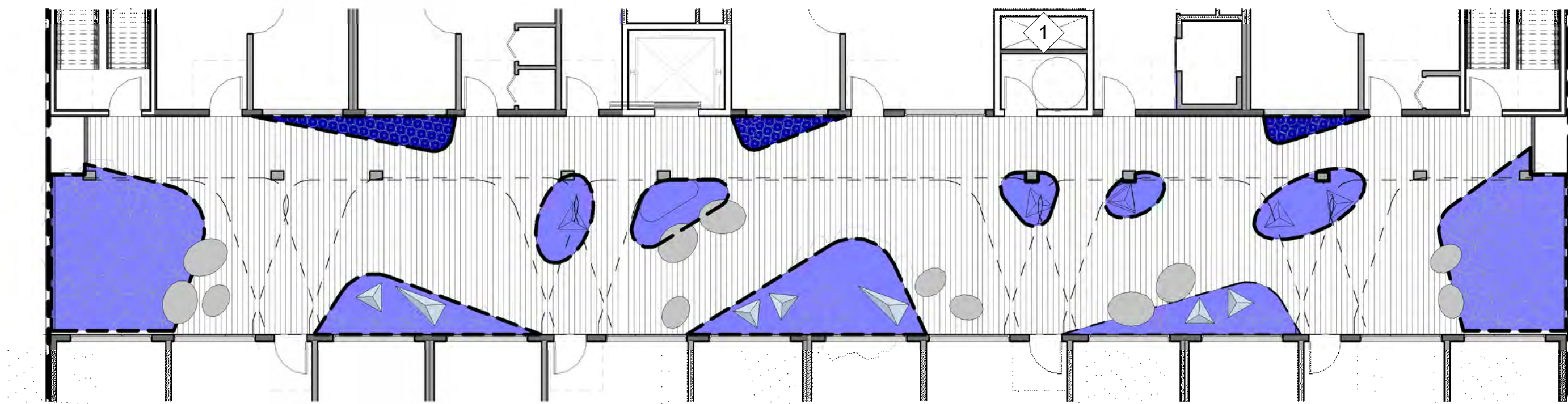
Mother Fern
Asplenium bulbiferum
M



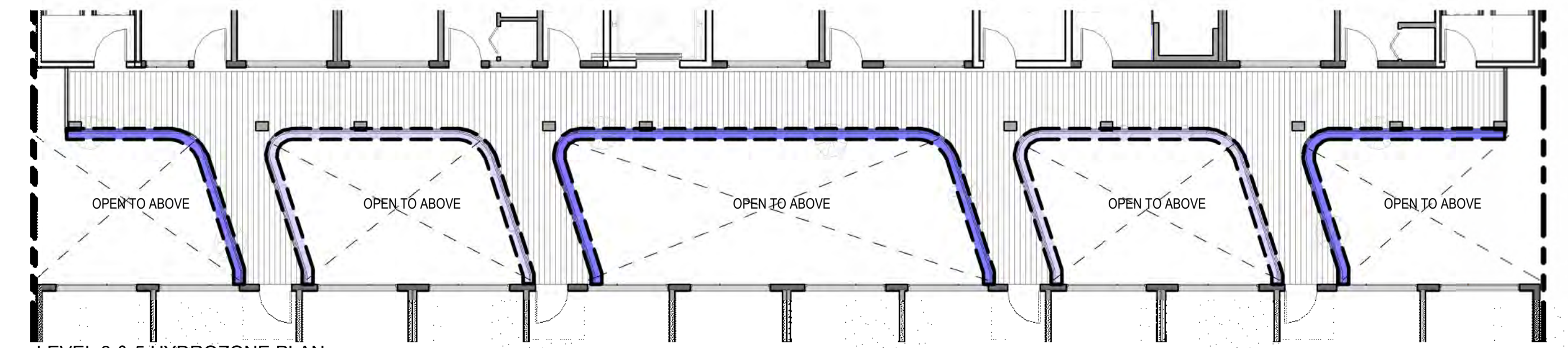
2 ROOF HYDROZONE PLAN
1" = 10'-0"



3 LEVEL 4 & 6 HYDROZONE PLAN
1" = 10'-0"



1 PODIUM HYDROZONE PLAN
1" = 10'-0"



4 LEVEL 3 & 5 HYDROZONE PLAN
1" = 10'-0"

Date:	1/6/2020
Project Name:	Noodle Factory
Project Contact:	Jennifer Ivanovich
Project Contact Email:	jennifer@lowneyarch.com

Maximum Applied Water Allowance (MAWA)	Project Type	ET _c	ETAF	Special Landscape Area (SLA)	Total Landscape Area including SLA	MAWA (gal/yr)
	Non-residential	41.8	0.45	-	2,241	26,135
MAWA = (ET _c) * (0.82) * [(ETAF * LA) + ((1 - ETAF) * SLA)]						
Estimated Total Water Use (ETWU)		ET _c	(SF * PF) / IE	SLA	ETWU (gal/yr)	
		41.8	900	-	23,312	
ETWU = (ET _c) * (0.82) * [(PF * SF) / IE + SLA]						
Difference between MAWA and ETWU						2,823
Project meets water budget.						

ETWU Calculation (Regular landscape areas)	Zone #	Description	Select irrigation	Square Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE
	1	ony Moderate	Drip	412	0.40	0.81	205
	2	BalconyLow	Drip	412	0.10	0.81	51
	3	um Moderate	Drip	719	0.40	0.81	355
	4	Podium High	Drip	64	0.70	0.81	55
	5	Roof Deck	Drip	634	0.30	0.81	235
	Landscape area (not including SLA)			2,241			880

ETWU Calculation (Special Landscape Areas (SLA))	Description	Square Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SF * PF) / IE
	Edible planting area		1.0	-
	Multi-use and sports field turf area		1.0	-
	Area irrigated with recycled water		1.0	-
	Pool		1.0	-
	Total SLA	0		0




Total Landscape Area (including SLA) from ETWU Calculation	2,241
--	-------

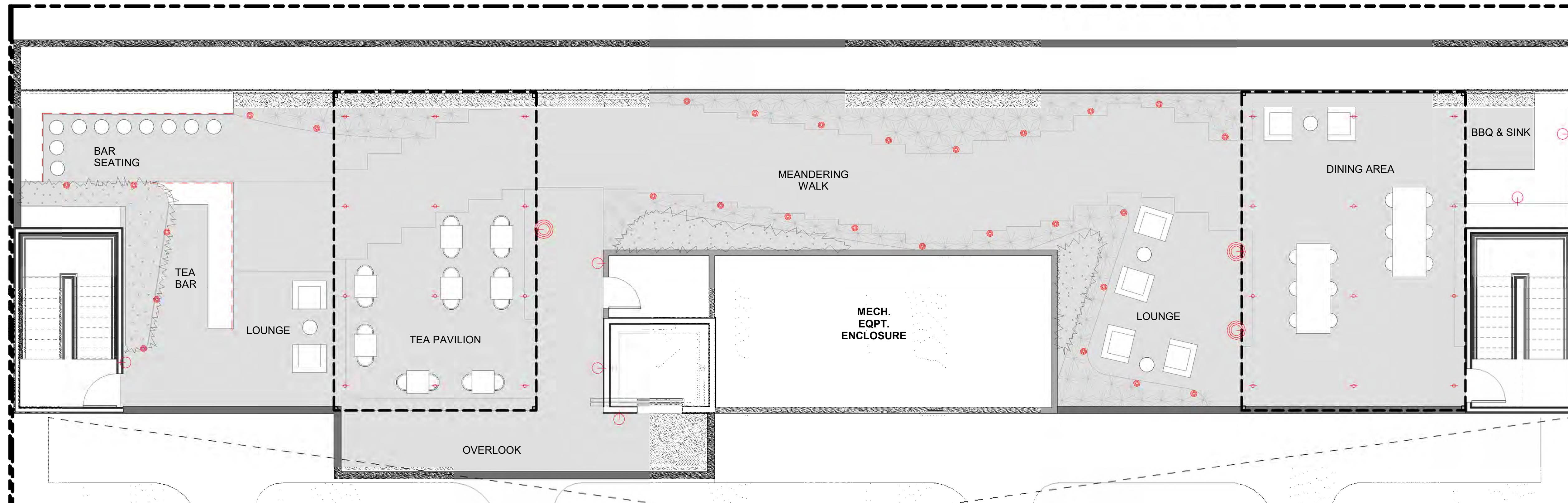
Irrigation design intent

Irrigation system is designed to provide the minimum amount of water necessary to sustain good plant health. All selected components are commercial grade, selected for durability, vandal resistance and minimum maintenance requirement. The system is a combination of subsurface irrigation and tree bubblers as appropriate to plant type, exposure, and slope conditions.

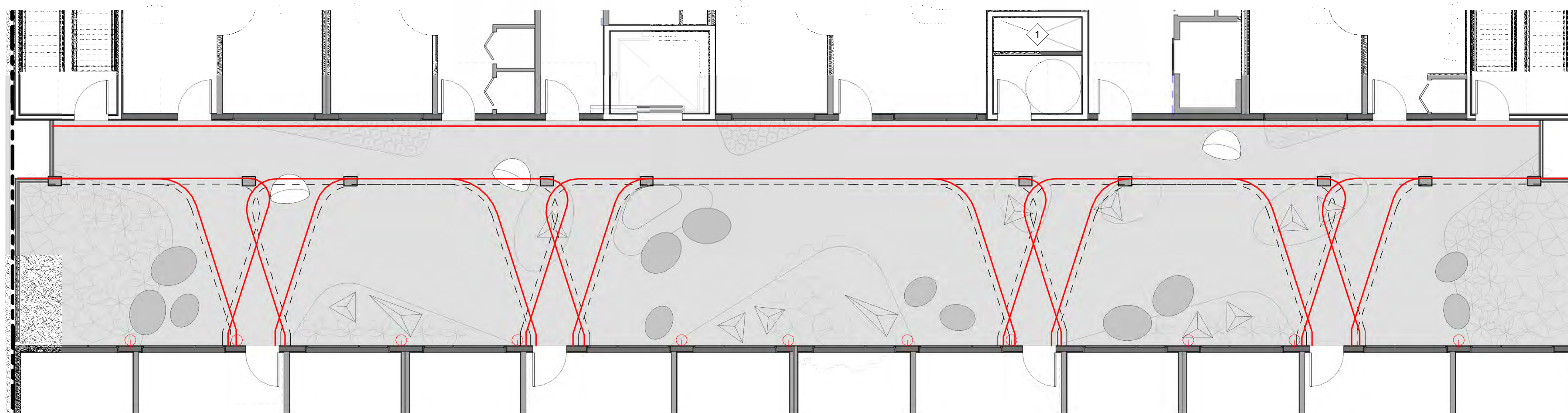
Control of the system is via a weather-enabled controller capable of daily self-adjustment based on real-time weather conditions as measured by an on-site weather sensor.

The system includes a master control valve and flow sensing capability which will shut down all or part of the system if leaks are detected.


-  High Water Use
-  Moderate Water Use
-  Low Water Use




① ROOF LIGHTING PLAN
3/16" = 1'-0"




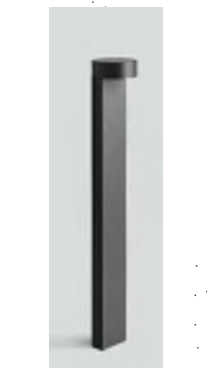
② PODIUM LIGHTING PLAN
3/16" = 1'-0"


- 

Tape Light
PH-PERFORMANCE 300 (OUTDOOR)
BY KELVIX
<https://kelvix.com>
- 

Can Light
LED CEILING-MOUNTED DOWNLIGHT
66975
BY BEGA
www.bega-us.com
- 

Wall Mount
"PITCH SINGLE" 700WSPIT
BY TECHLIGHTING
www.techlighting.com
- 

Wall Luminaire - Directed Light
33395
BY BEGA
www.bega-us.com
- 

Bollard
PATHWAY BOLLARD
77 263
By BEGA
www.bega-us.com
- 

Recessed Lights
Q-CAP Flexible Fixtures
BY Q TRAN
BOXA- SW
www.q-tran.com

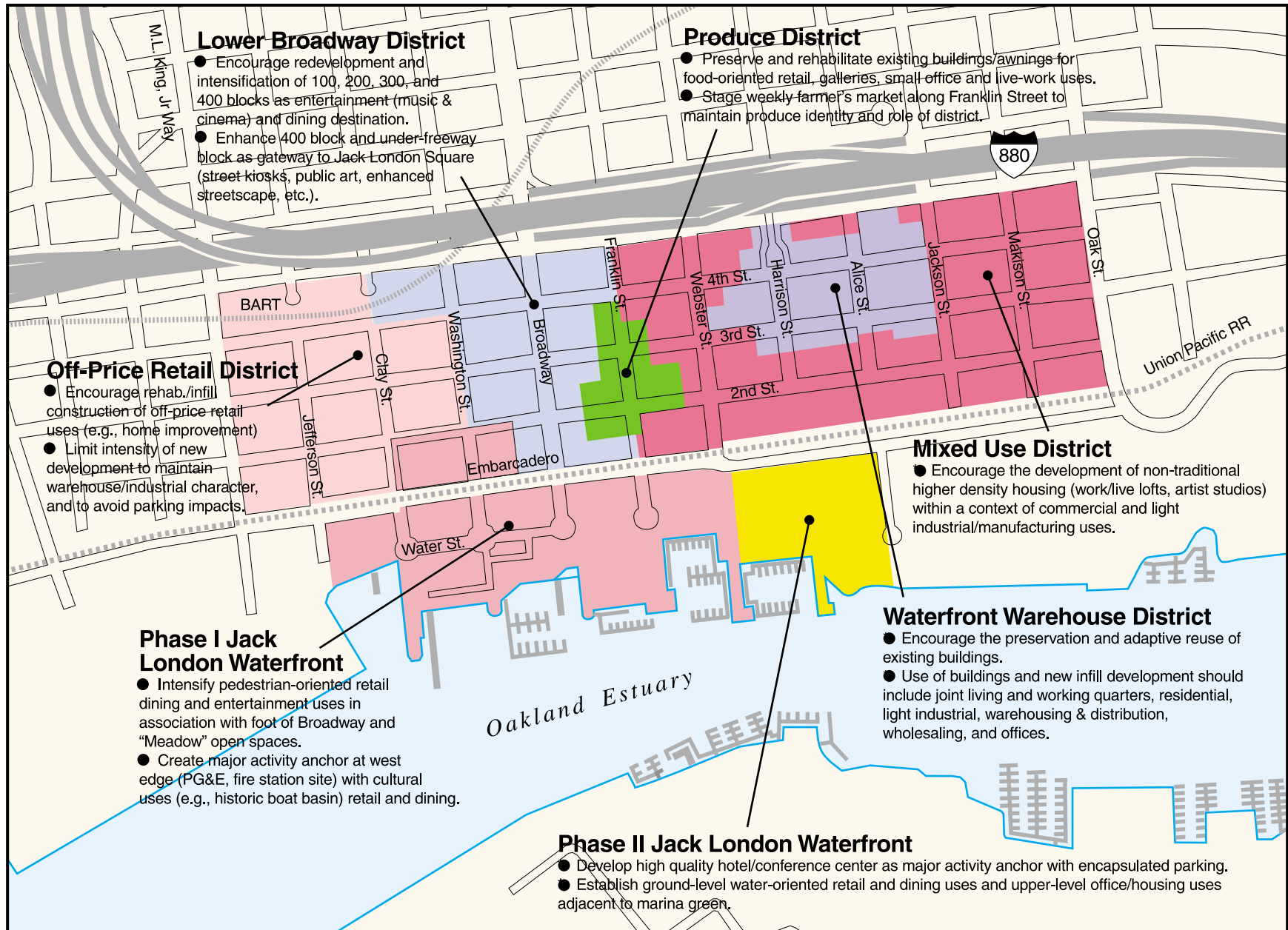


FIGURE III-3: Central Jack London District Illustrative Development Strategy



Department of Planning
and Building

ZONING CODE BULLETIN

DATE EFFECTIVE: June 18, 2019

ZONING TOPICS: How much of a building can be removed and still be considered “existing”?

PERTINENT CODE SECTIONS: Section 17.102.190, 17.102.195, 17.73.040(C)(1)(b), and 17.136.040

Background

This code bulletin describes when a building is no longer considered “existing” under the Planning Code after parts of it are removed. A definition of an existing building is required to determine whether a development is considered new construction or the modification of an existing building. This is an important distinction for the legal creation of joint living and work quarters and Category One Secondary Units, and to determine the type of design review process required for a project. This code bulletin does not apply to the replacement of parts of nonconforming facilities that have been involuntarily damaged or destroyed; it only applies to voluntary demolition. Involuntary damage or destruction includes damage or destruction caused by a natural disaster such as an earthquake or other causes such as a fire, dry rot, or termite damage that renders a structure (or part of a structure) unsafe to preserve. Section 17.114 contains the regulations regarding nonconforming facilities that have been damaged or destroyed.

Sections 17.102.195 and 17.73.040(C)(1)(b) of the Planning Code state that Residentially Oriented Joint Living and Working Quarters in the Central Business District and Work/Live units in the CIX, IG, and IO zones must involve the conversion of an existing building originally designed for commercial or industrial activities. Therefore, these units cannot be created within a building that is demolished to an extent that it no longer exists. It is important to define what “no longer exists” means because open space, parking, and loading requirements do not apply to the conversion of existing buildings to Residentially Oriented Joint Living and Working Quarters or Work/Live units.

According to Section 17.103.080(B), Category One Secondary Units are those that are located within an existing single family home or a detached accessory structure that was legally in existence prior to January 1, 2017. Therefore, like joint living and work quarters, Category One Secondary Units cannot be created within a building that is demolished to an extent that it no longer exists. This is an important distinction because Category One Secondary Units have relaxed parking, size, and setback requirements compared to Category Two Secondary Units.

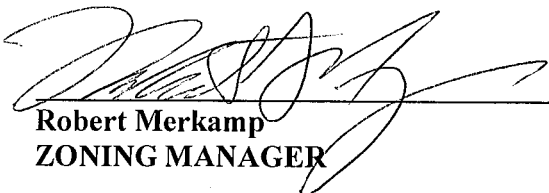
Section 17.136.040 of the Planning Code states that a Regular Design Review Process is required for the construction of a new principal building in each commercial and residential zone. When parts of a building are removed, staff is frequently required to determine if it is no longer considered “existing” to determine whether the Regular Design Review process is required.

Determination

It is determined that for the purposes under the Planning Code a building is no longer existing if a majority (more than 50 percent) of the square footage of the surface area of the perimeter walls are removed. Interior walls, roofs, and foundations are not counted in this calculation. The lifting of a building to create a new first story is not considered a demolition if 50 percent or more of the surface area of the perimeter walls of the lifted building is preserved. The relocation of a building on the same site is not considered a demolition if the lifted building is not demolished as defined in this bulletin. The removal of wall surface area for the moving or expansion of a window shall be evaluated on a case by case basis. The evaluation of whether window relocation or expansion constitutes a demolition shall be based on whether the alteration is an effective design solution that improves the appearance, livability, and operational efficiency of the building.

For buildings or structures that meet this determination that are also properties with Oakland Cultural Heritage Survey ratings that would be subject to the Demolition Findings pursuant to Section 17.136.075 of the Planning Code, a recommendation on the Determination shall be made by the Landmarks Preservation Advisory Board (LPAB) on a case by case basis on whether the proposal results in a demolition subject to the Demolition Findings. The LPAB recommendation shall take into account the effect of the proposal on the features of the building that make up its historic significance or character defining features and whether remaining building components would continue to convey the historic significance or character in the overall context of the development proposal.

REVIEWED AND APPROVED BY:



Robert Merkamp
ZONING MANAGER