



HERDMAN
ARCHITECTURE + DESIGN

5441 INTERNATIONAL BLVD
OAKLAND, CA

04.02.2020
H-A+D JOB NO: A17-2096



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OAKLAND, CA

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EAST ELEVATION



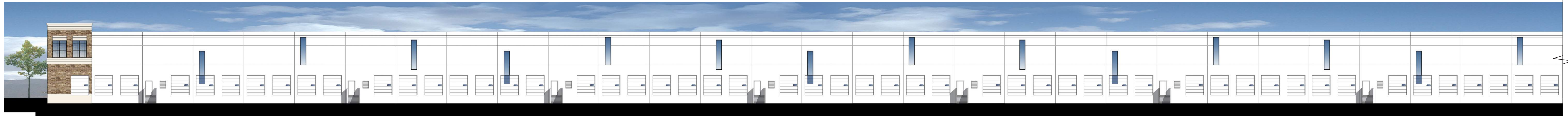
WEST ELEVATION



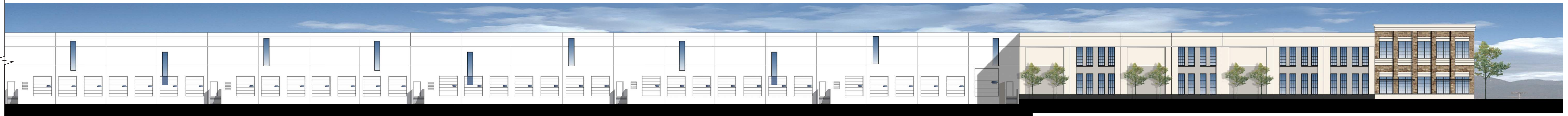
NORTH ELEVATION



NORTH ELEVATION CONT.



SOUTH ELEVATION



SOUTH ELEVATION CONT.



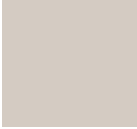




HERDMAN
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BRIDGE DEVELOPMENT
INTERNATIONAL BLVD - OAKLAND, CA

04.08.202
H-A+D JOB NO: A17-2096



-  A. SW 6071:
POPULAR GRAY
-  B. SW 7642:
PAVESTONE
-  C. TAUPE BRICK
-  D. SOLARBAN 60
INSULATED CLEAR &
CLEAR GLAZING
-  E. DECORATIVE
BREAK METAL

ENLARGED VIEW @ MAIN OFFICE ENTRY

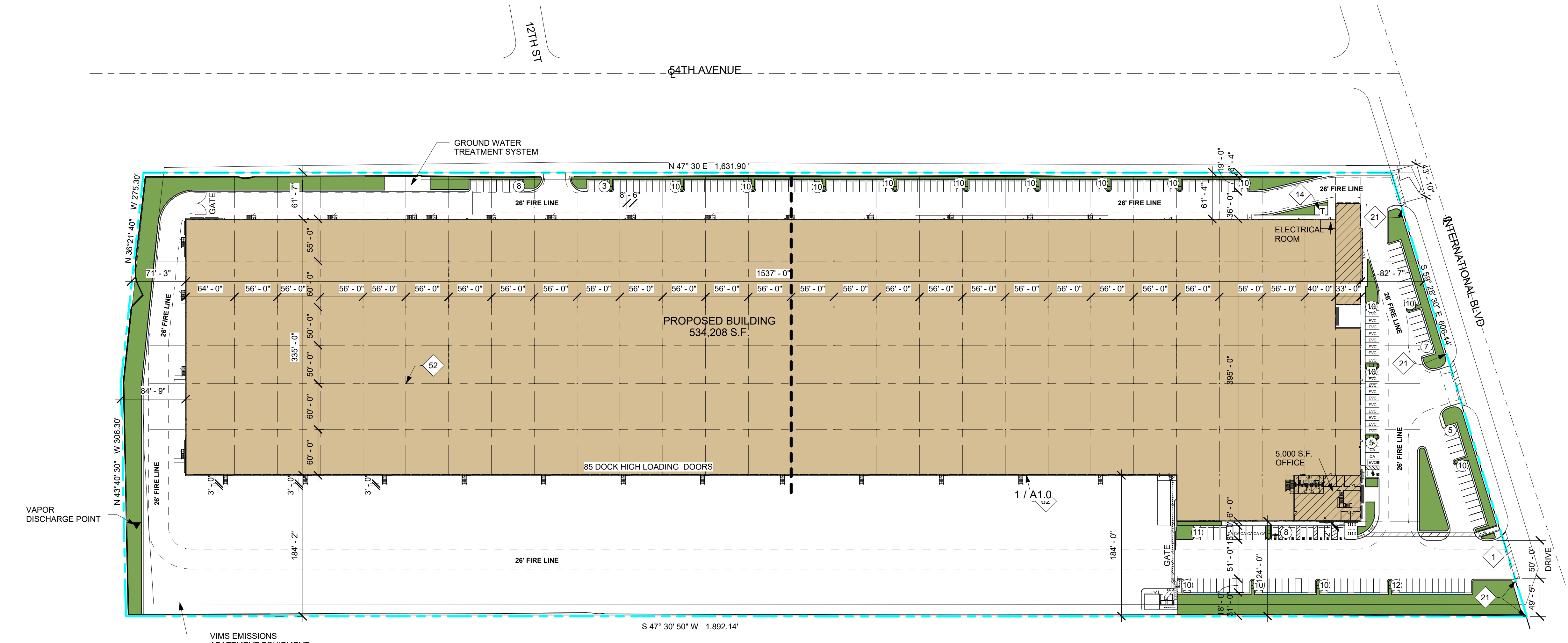


**BRIDGE DEVELOPMENT
INTERNATIONAL BLVD - OAKLAND, CA**

04.02.2020
H-AD JOB NO: A17-2096



<p>DEVELOPER/OWNER</p> <p>BRIDGE DEVELOPMENT PARTNERS, LLC. 1600 E. FRANKLIN AVE STE. D EL SEQUINDO, CA 90245 CONTACT: BRENDAN KOTLER PHONE: 818-674-6770 EMAIL: BKOTLER@BRIDGEDEV.COM</p> <p>APPLICANT'S REPRESENTATIVE/ARCHITECT</p> <p>HERDMAN ARCHITECTURE & DESIGN, INC. 18201 SCIENTIFIC WAY IRVINE, CA 92618 CONTACT: BRIDGET HERDMAN PHONE: 714.389.2800 EMAIL: BRIDGET@HERDMAN-AD.COM</p> <p>LEGAL DESCRIPTION</p> <p>ALL OF THAT LAND DESCRIBED AS PARCELS NOTE: ASSESSOR'S PARCEL NO. 041-3848-001-00</p> <p>UTILITY PROVIDERS</p> <p>WATER - CITY OF OAKLAND SEWER - CITY OF OAKLAND ELECTRIC - PG & E</p> <p>VICINITY MAP</p> <p>SITE LEGEND</p> <ul style="list-style-type: none"> LANDSCAPE AREA CONCRETE PAVING STANDARD PARKING STALL PER CITY REQUIREMENT TYP. ACCESSIBLE PARKING STALL WITH 5' ACCESS AISLE PER CBC 2016 11B 502.2 TYP. VAN ACCESSIBLE PARKING STALL WITH 8' ACCESS AISLE PER CBC 2016 11B 502.2 CLEAN AIR PARKING STALL: PAINT IN THE PAINT USED FOR STALL STRIPING, THE FOLLOWING CHARACTERS SUCH THAT THE LOWER EDGE OF THE LAST WORD ALIGNS WITH THE END OF STALL STRIPING AND IS VISIBLE BENEATH A PARKED VEHICLE: CLEAN AIR/ VANPOOL/ EV PER CALGREEN 5.106.5.2.1 ELECTRIC VEHICLE CHARGING STATION: EVCS STALL SHALL PROVIDE SURFACE MARKING STATING "EV CHARGING ONLY" IN LETTER 12" HIGH MINIMUM. THE LOWER EDGE OF THE LAST WORD ALIGNS WITH THE END OF STALL STRIPING AND IS VISIBLE BENEATH A PARKED VEHICLE PER CBC 2016 11B-812.9 FIRE HYDRANT STREET LIGHT PATH OF TRAVEL PROPERTY LINE DOCK HIGH DOOR DRIVE THRU. DOOR <p>PROJECT INFORMATION</p> <table border="1"> <tr> <td>PROJECT INFORMATION</td> <td>23.30 AC</td> <td>1,616,740 SF</td> <td>12.18.2019</td> </tr> <tr> <td>GROSS SITE AREA</td> <td></td> <td></td> <td></td> </tr> <tr> <td>CLEAR HEIGHT: 36' @ 6" INSIDE FIRST GRID LINE</td> <td></td> <td></td> <td></td> </tr> <tr> <td>TOTAL BUILDING AREA</td> <td></td> <td>534,208 SF</td> <td></td> </tr> <tr> <td>1ST FLOOR</td> <td></td> <td>528,208 SF</td> <td></td> </tr> <tr> <td>WAREHOUSE</td> <td></td> <td>528,208 SF</td> <td></td> </tr> <tr> <td>OFFICE</td> <td></td> <td>5,000 SF</td> <td></td> </tr> <tr> <td>MEZZANINE LEVEL</td> <td></td> <td>5,000 SF</td> <td></td> </tr> <tr> <td>OFFICE</td> <td></td> <td>5,000 SF</td> <td></td> </tr> <tr> <td>NET COVERAGE</td> <td></td> <td>52.85%</td> <td></td> </tr> <tr> <td>MAX FAR</td> <td></td> <td>0.00%</td> <td></td> </tr> <tr> <td>LANDSCAPE PROVIDED</td> <td></td> <td>88,316 SF</td> <td>8.74%</td> </tr> <tr> <td>LANDSCAPE REQUIRED</td> <td></td> <td></td> <td>5.00%</td> </tr> <tr> <td>PARKING REQUIRED</td> <td></td> <td></td> <td></td> </tr> <tr> <td>WAREHOUSE @ 1/2000</td> <td></td> <td>150</td> <td></td> </tr> <tr> <td>1ST FLOOR OFFICE @ 1/600</td> <td></td> <td>5</td> <td></td> </tr> <tr> <td>MEZZANINE OFFICE @ 1/15,000</td> <td></td> <td>5</td> <td></td> </tr> <tr> <td>TOTAL REQUIRED</td> <td></td> <td>164</td> <td>STALLS</td> </tr> <tr> <td>PARKING PROVIDED</td> <td></td> <td>216</td> <td>STALLS</td> </tr> <tr> <td>STANDARD</td> <td></td> <td>189</td> <td>AUTO</td> </tr> <tr> <td>ADA</td> <td></td> <td>7</td> <td>AUTO</td> </tr> <tr> <td>EV</td> <td></td> <td>1</td> <td>AUTO</td> </tr> <tr> <td>EV ADA</td> <td></td> <td>1</td> <td></td> </tr> <tr> <td>EV VAN ACCESSIBLE</td> <td></td> <td>1</td> <td></td> </tr> <tr> <td>CLEAN AIR</td> <td></td> <td>6</td> <td></td> </tr> <tr> <td>BICYCLE RACKS</td> <td></td> <td>16</td> <td></td> </tr> <tr> <td>TRAILER STALLS</td> <td></td> <td>0</td> <td>TRAILER</td> </tr> </table>	PROJECT INFORMATION	23.30 AC	1,616,740 SF	12.18.2019	GROSS SITE AREA				CLEAR HEIGHT: 36' @ 6" INSIDE FIRST GRID LINE				TOTAL BUILDING AREA		534,208 SF		1ST FLOOR		528,208 SF		WAREHOUSE		528,208 SF		OFFICE		5,000 SF		MEZZANINE LEVEL		5,000 SF		OFFICE		5,000 SF		NET COVERAGE		52.85%		MAX FAR		0.00%		LANDSCAPE PROVIDED		88,316 SF	8.74%	LANDSCAPE REQUIRED			5.00%	PARKING REQUIRED				WAREHOUSE @ 1/2000		150		1ST FLOOR OFFICE @ 1/600		5		MEZZANINE OFFICE @ 1/15,000		5		TOTAL REQUIRED		164	STALLS	PARKING PROVIDED		216	STALLS	STANDARD		189	AUTO	ADA		7	AUTO	EV		1	AUTO	EV ADA		1		EV VAN ACCESSIBLE		1		CLEAN AIR		6		BICYCLE RACKS		16		TRAILER STALLS		0	TRAILER	<p>KEYNOTES</p> <ol style="list-style-type: none"> NEW DRIVE CUT, PER CITY OR COUNTY STANDARDS. REFER TO LANDSCAPE DRAWINGS FOR ENHANCED PAVING DESIGN IF APPLICABLE. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFO. PROPOSED TRANSFORMER LOCATION. PROVIDE BOLLARDS PER UTILITY COMPANY REQUIREMENTS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. METAL TUBE STEEL FENCE, 6' HIGH STRUCTURAL BUILDING COLUMN. AIR INTAKE LOUVER, PAINT TO MATCH BUILDING WALL. TYP. SIZE HORIZONTAL 4' X 8'. PROVIDE BIRD SCREEN, FILTER AND BURGLAR BARS. <p>SCOPE OF WORK</p> <p>NEW SPECULATIVE CONCRETE TILT-UP BUILDING FOR WAREHOUSE & OFFICE USE. INCLUDES SITE IMPROVEMENTS AS SHOWN.</p> <p>SHEET INDEX</p> <table border="1"> <tr> <td>A1</td> <td>SITE PLAN</td> </tr> <tr> <td>A1.2</td> <td>SITE DETAILS</td> </tr> <tr> <td>A2</td> <td>FLOOR PLAN</td> </tr> <tr> <td>A3</td> <td>ROOF PLAN</td> </tr> <tr> <td>A4</td> <td>EXTERIOR ELEVATIONS</td> </tr> </table> <p>CIVIL DRAWINGS</p> <p>PRELIMINARY DRAINAGE AND GRADING PRELIMINARY UTILITIES PLAN DETAILS</p> <table border="1"> <tr> <td>L1.01</td> <td>CONCEPTUAL LANDSCAPE PLAN</td> </tr> <tr> <td>L1.02</td> <td>CONCEPTUAL LANDSCAPE PLAN</td> </tr> <tr> <td>L2.01</td> <td>CONCEPTUAL IRRIGATION PLAN</td> </tr> <tr> <td>L2.02</td> <td>CONCEPTUAL IRRIGATION PLAN</td> </tr> <tr> <td>L3.01</td> <td>CONCEPTUAL PLANT PALETTE</td> </tr> </table> <p>SITE PLAN GENERAL NOTES</p> <ol style="list-style-type: none"> SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS. GENERAL CONTRACTOR TO REVIEW SOILS REPORT PREPARED BY DATED AND ANY SUBSEQUENT AMENDMENTS. G.C. TO CONFIRM COMPLIANCE. REFER TO CIVIL DRAWINGS FOR ADDITIONAL UTILITY INFORMATION INCLUDING POINTS OF CONNECTION TO OFFSITE UTILITIES AND BUILDING POINTS OF CONNECTION. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION BETWEEN OFFSITES, CIVIL, M.E.P. & FP DRAWINGS. GRADES SURROUNDING BUILDING TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. REFER TO CIVIL DRAWINGS FOR FINISH GRADE ELEVATIONS AND PERCENTAGE SLOPES. GENERAL CONTRACTOR TO CONFIRM AND COMPLY WITH ALL BUILDING, FIRE, AND ENGINEERING DEPARTMENT REGULATIONS DURING CONSTRUCTION INCLUDING ANY TEMPORARY FACILITIES REQUIRED. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY 6" MIN. CONCRETE CURB TYPICAL UNLESS SPECIFICALLY NOTED OTHERWISE. ALL ADA PATHS OF TRAVEL NOTED ON PLANS TO MEET THE FOLLOWING MINIMUM REQUIREMENTS: NO ABRUPT CHANGES IN ELEVATION ALLOWABLE ALONG THE PATH OF TRAVEL. THE SLOPE AND CROSS-SLOPE SHALL NOT EXCEED 5% AND 2% RESPECTIVELY UNLESS AN ADA COMPLIANT RAMP OR CURB RAMP IS DESIGNED BY THE CIVIL ENGINEER. IF A WALK CROSSES OR ADJOINS A VEHICLE WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILING OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A 4" DEEP DETECTABLE WARNING WHICH IS 36" WIDE COMPLYING WITH CBC SECTION 11B-701.2.5. ALL SPECIFICATIONS ON DRAWINGS ARE MINIMUM REQUIREMENTS ONLY. GENERAL CONTRACTOR TO NOTIFY ARCHITECT IN WRITING OF ANY CONFLICTS IN DRAWINGS AND SPECIFICATIONS VIA "RFI". GENERAL CONTRACTOR TO REFER TO ARCHITECTURAL DETAIL SHEETS FOR TYPICAL MINIMUM SITE IMPROVEMENT STANDARDS. CONCRETE MOW STRIP PER ARCHITECTURAL DETAILS TO BE PROVIDED AT ALL GLAZING/STOREFRONT LOCATIONS WHERE ADJACENT TO LANDSCAPING. CONCRETE SPLASH BLOCK PER ARCHITECTURAL DETAILS TO BE PROVIDED AT ALL ROOF DRAIN/DOWN SPOUT TERMINATIONS AT NON-CONCRETE AREAS. BRASS LAMB'S TONGUE TO BE PROVIDED AT ALL ROOF DRAIN OVERFLOWS THAT DAYLIGHT AT FACE OF BUILDING WALL. GATES, FENCES, AND WALLS MAY BE SUBJECT TO DEFERRED SUBMITTAL REQUIREMENTS. GENERAL CONTRACTOR TO CONFIRM WITH CITY AND MUST SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL. 	A1	SITE PLAN	A1.2	SITE DETAILS	A2	FLOOR PLAN	A3	ROOF PLAN	A4	EXTERIOR ELEVATIONS	L1.01	CONCEPTUAL LANDSCAPE PLAN	L1.02	CONCEPTUAL LANDSCAPE PLAN	L2.01	CONCEPTUAL IRRIGATION PLAN	L2.02	CONCEPTUAL IRRIGATION PLAN	L3.01	CONCEPTUAL PLANT PALETTE
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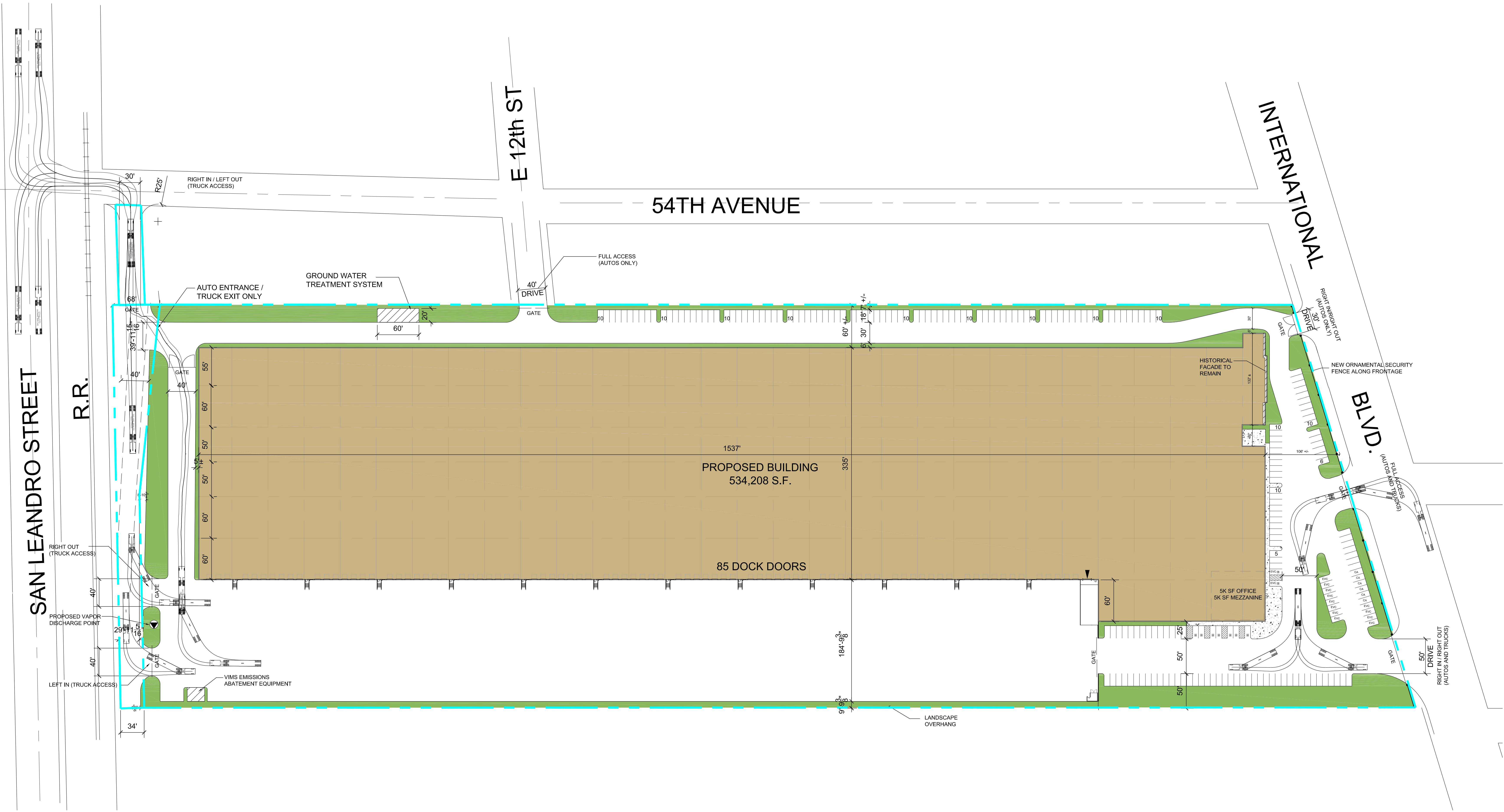
2 PROPOSED SITE PLAN
 1" = 80'-0"



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 A17-2096
 04.08.2020

SITE PLAN

A1



A CONCEPTUAL SITE PLAN
SCALE: 1" = 60'

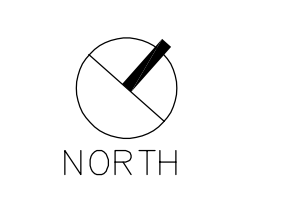
PROJECT INFORMATION		10.23.2019
GROSS SITE AREA	23.88 AC	1,040,200 SF
CLEAR HEIGHT: 36' @ 6" INSIDE FIRST GRID LINE		
TOTAL BUILDING AREA		534,208 SF
1ST FLOOR		529,208 SF
WAREHOUSE		524,208 SF
OFFICE		5,000 SF
MEZZANINE LEVEL		5,000 SF
OFFICE		5,000
NET COVERAGE		51.36%
MAX FAR		0.00%
LANDSCAPE PROVIDED	80,313 SF	7.72%
LANDSCAPE REQUIRED		5.00%
PARKING REQUIRED		
WAREHOUSE @ 1/3500	150	
1ST FLOOR OFFICE @ 1/600	9	
MEZZANINE OFFICE @ 1/1,000	5	
TOTAL REQUIRED	164	STALLS
PARKING PROVIDED	219	STALLS
	STANDARD	192 AUTO
	ADA	7 AUTO
	EV	12
	EV ADA	2
	CLEAN AIR	6
	TRAILER STALLS	0 TRAILER

PROJECT BRIDGE DEVELOPMENT
5441 INTERNATIONAL BOULEVARD, CA
SCHEME 3Q
SITE PLAN

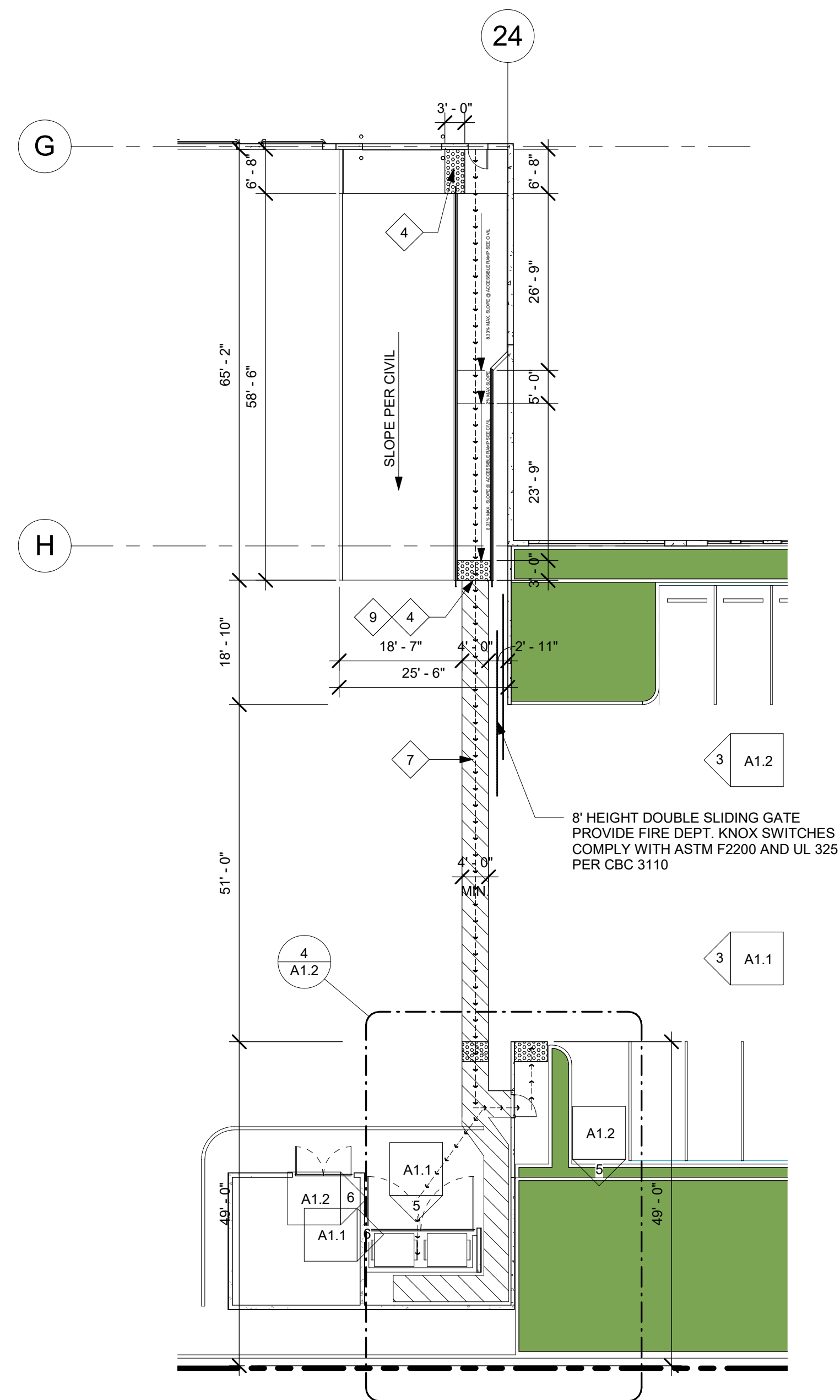


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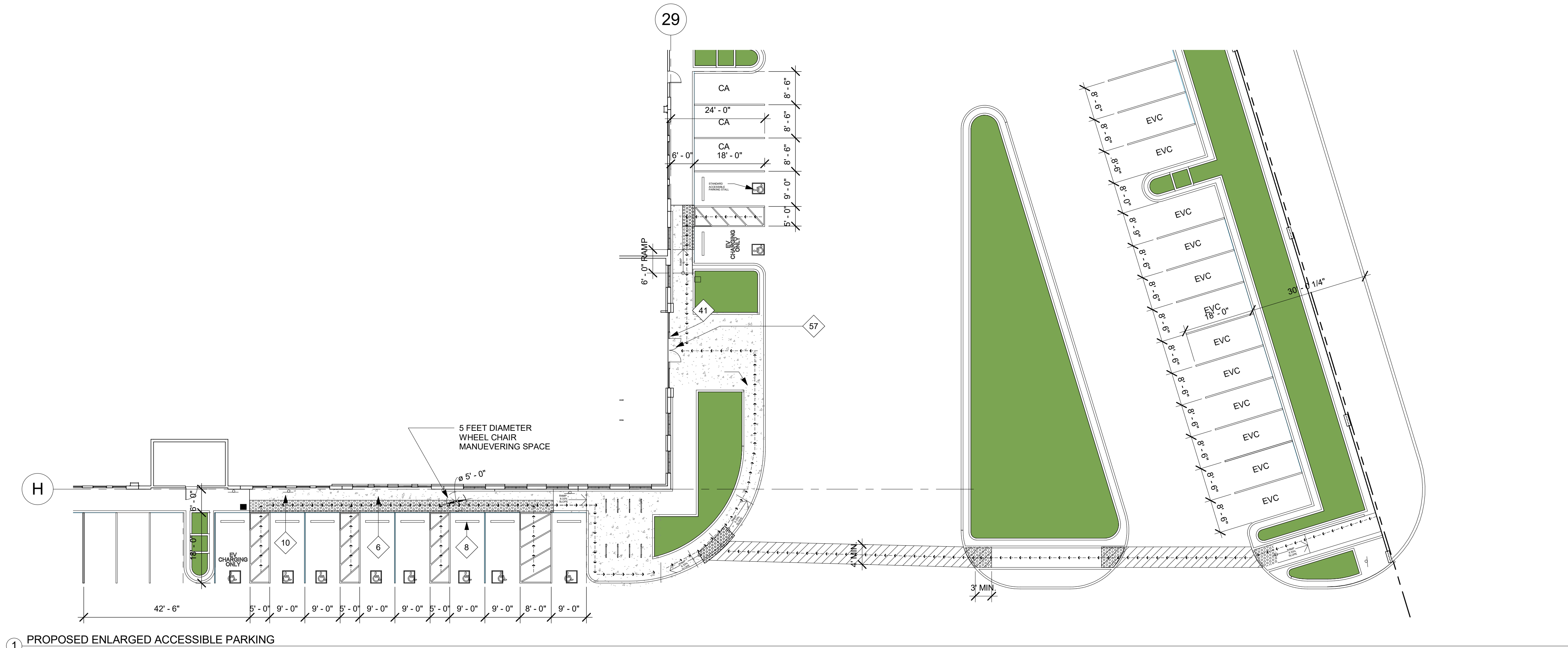
A17-2096
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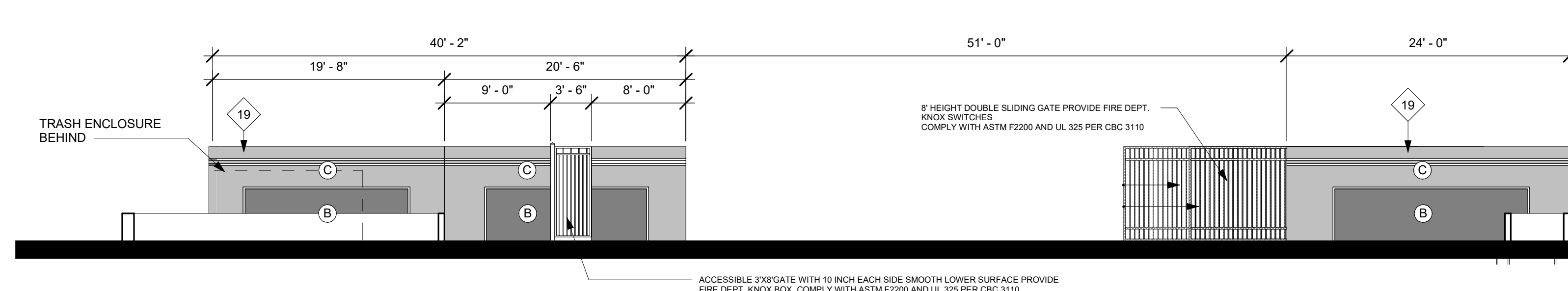
CONCEPTUAL
SITE PLAN



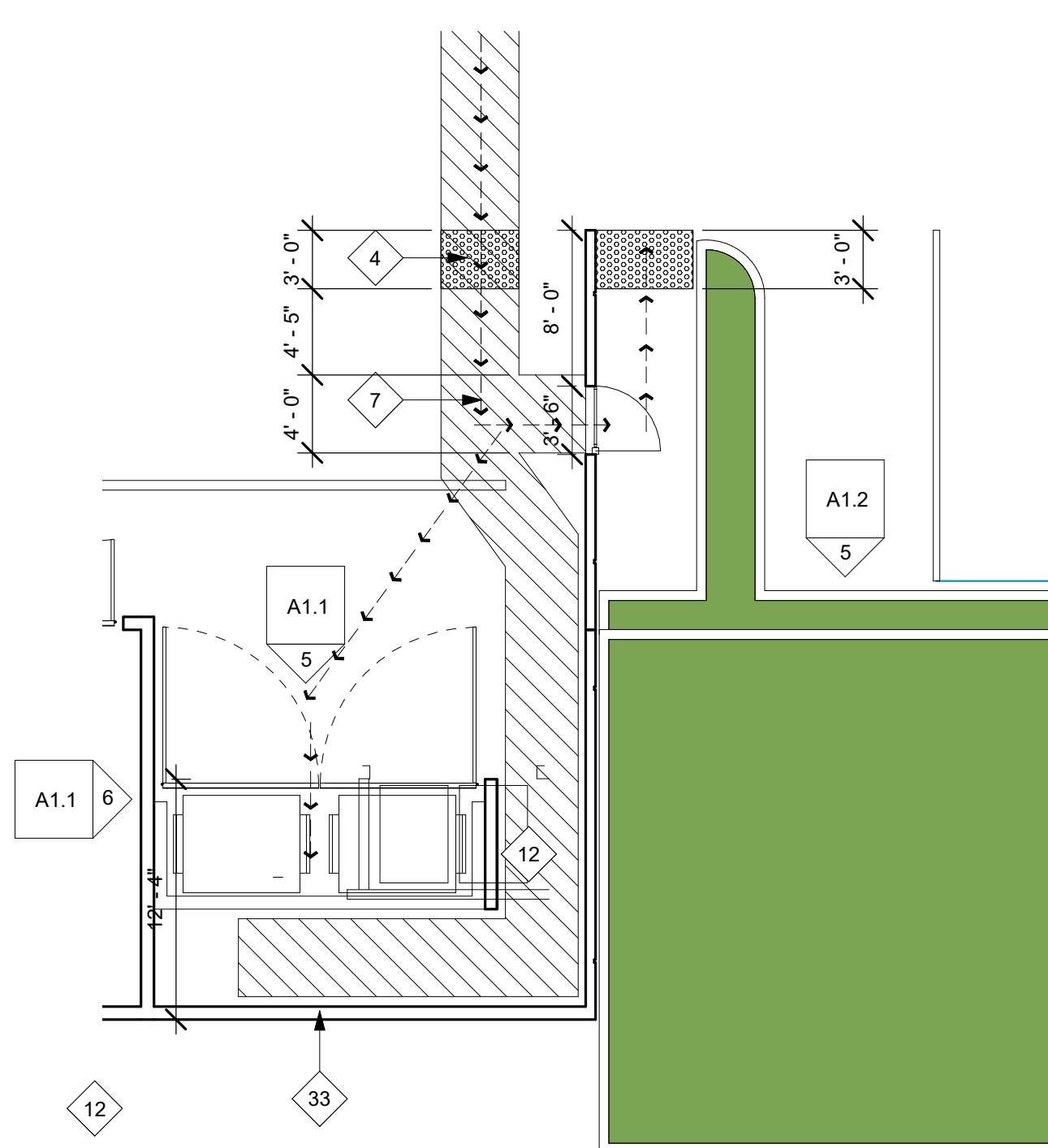
2 PROPOSED ENLARGED LOADING DOCK ACCESSIBLE RAMP
1/16" = 1'-0"



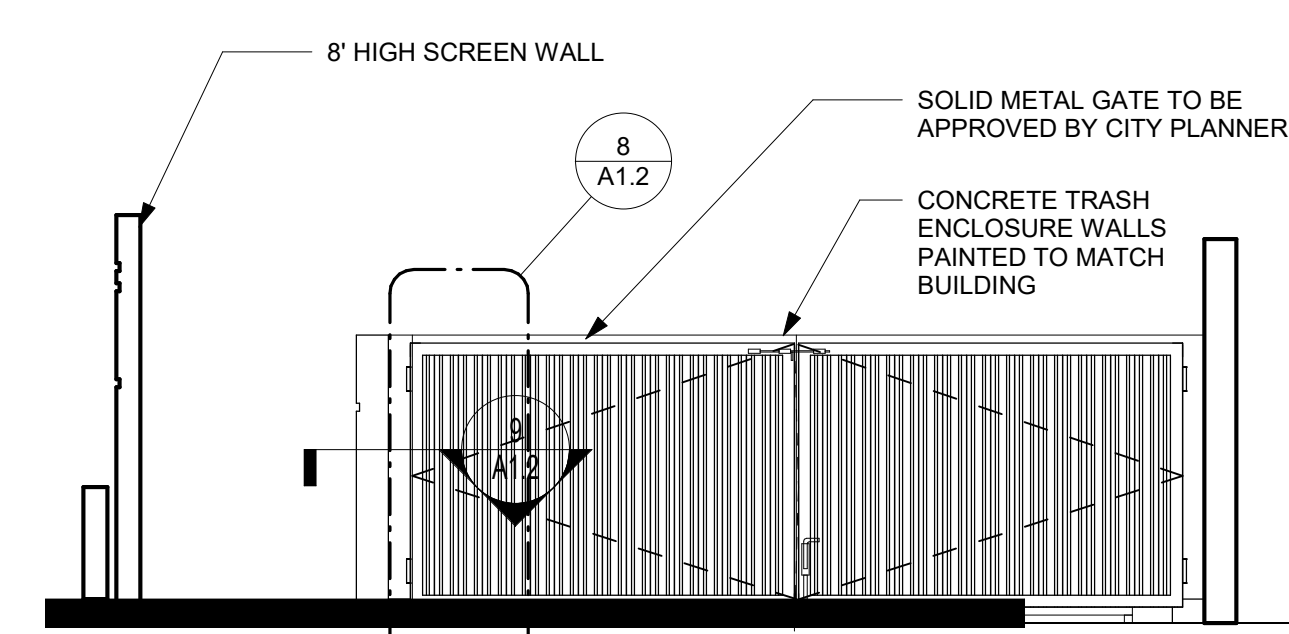
1 PROPOSED ENLARGED ACCESSIBLE PARKING
1/16" = 1'-0"



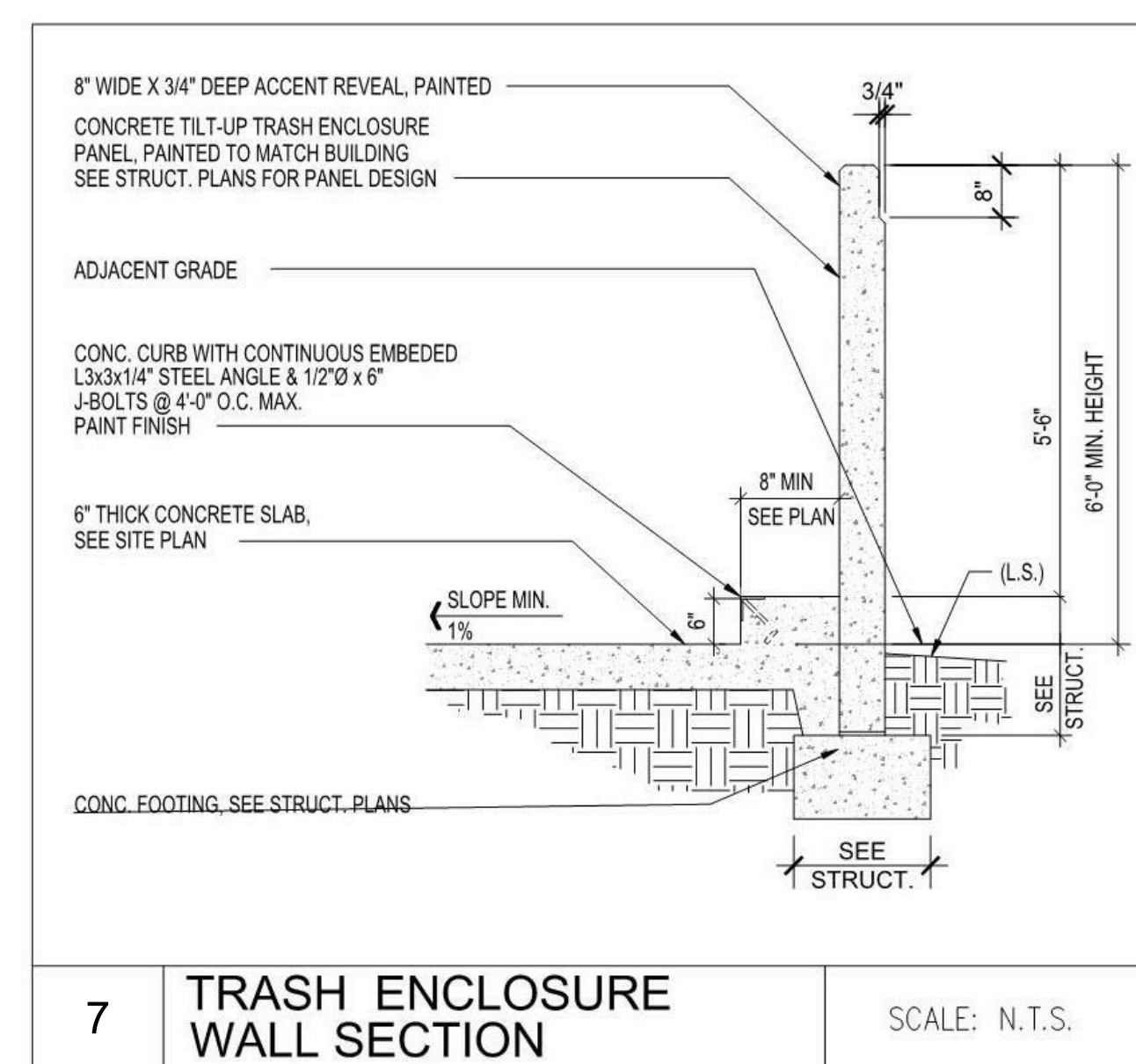
3 PROPOSED SITE WALL/GATE EAST ELEVATION
1/8" = 1'-0"



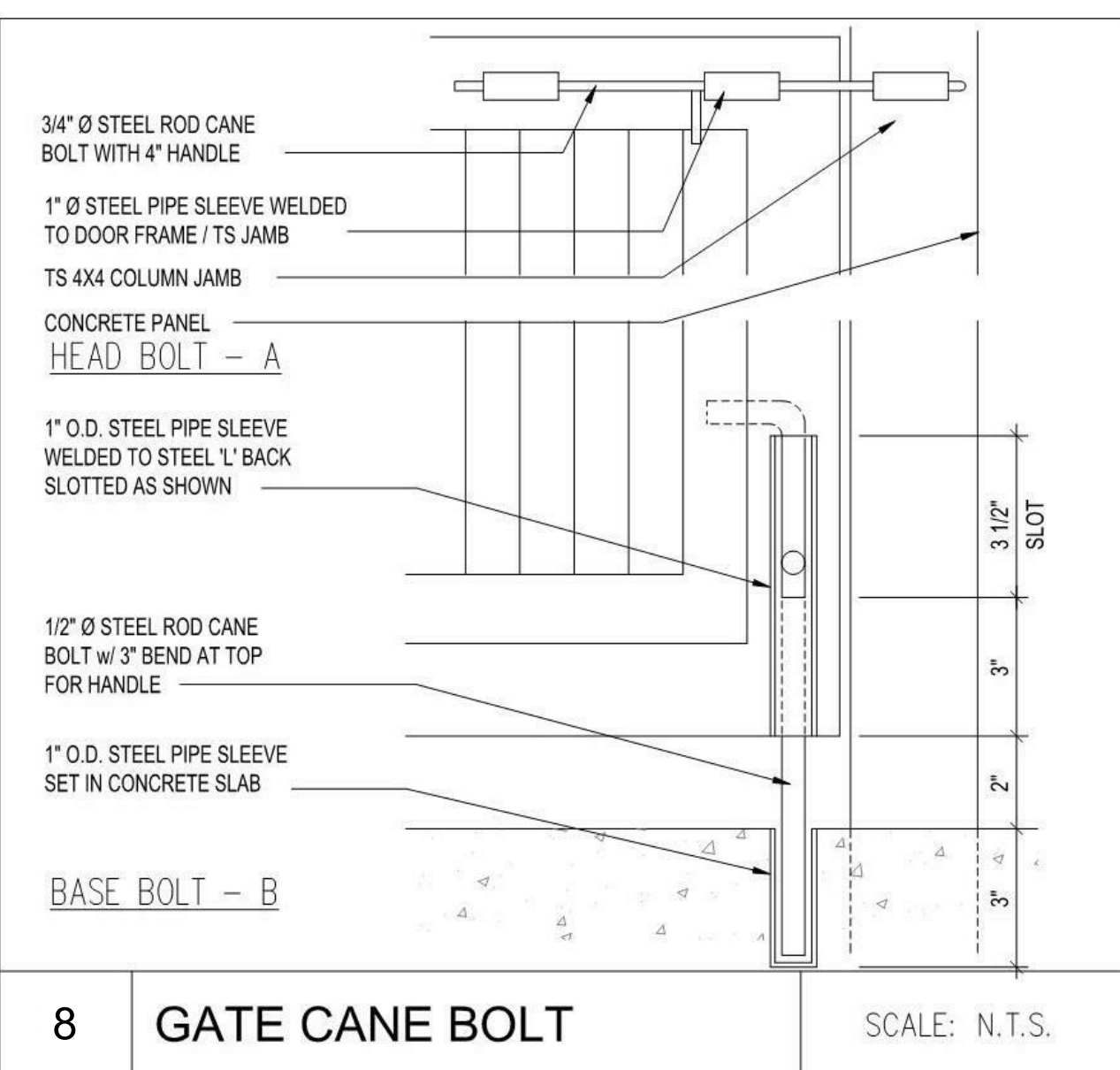
4 PROPOSED ENLARGED TRASH ENCLOSURE
1/8" = 1'-0"



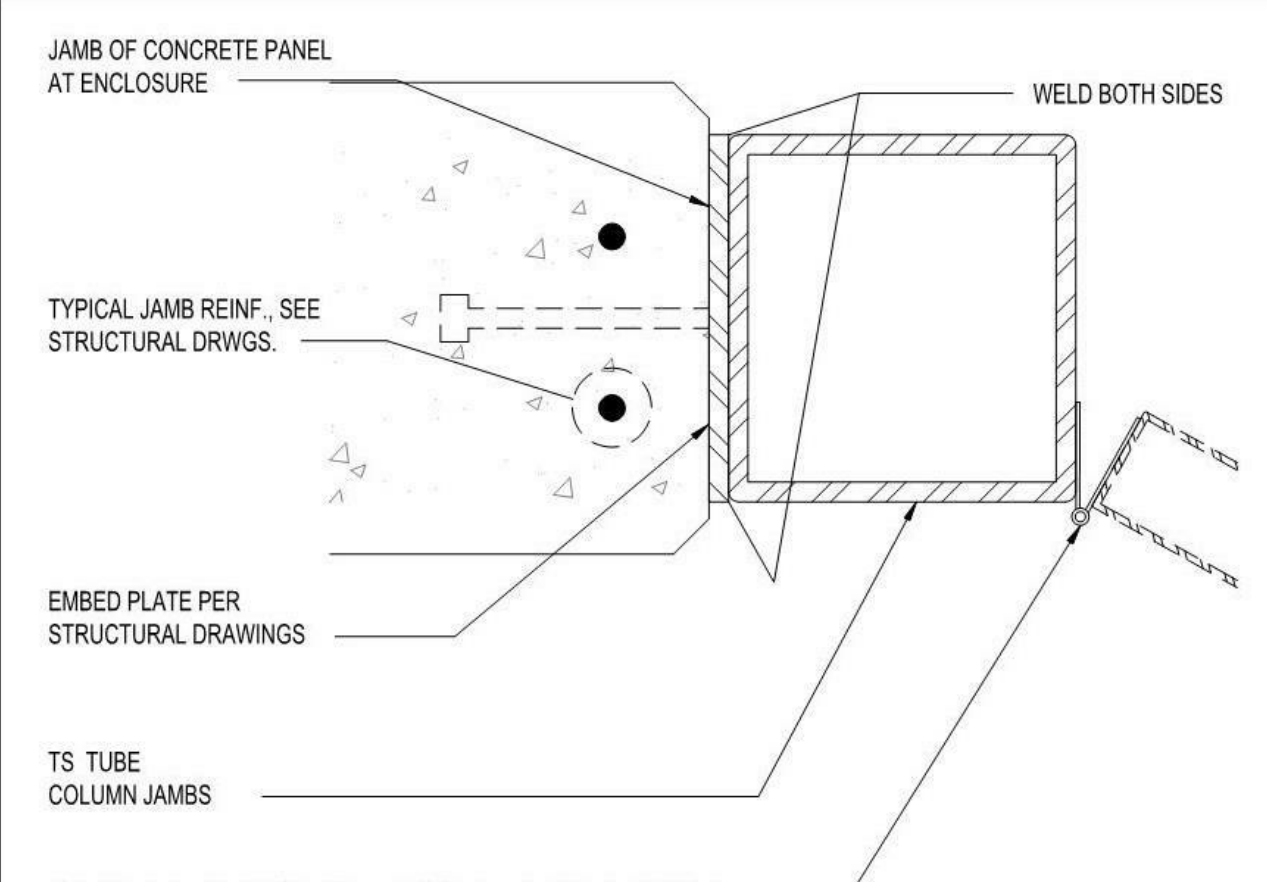
5 PROPOSED TRASH ENCLOSURE FRONT ELEVATION
1/4" = 1'-0"



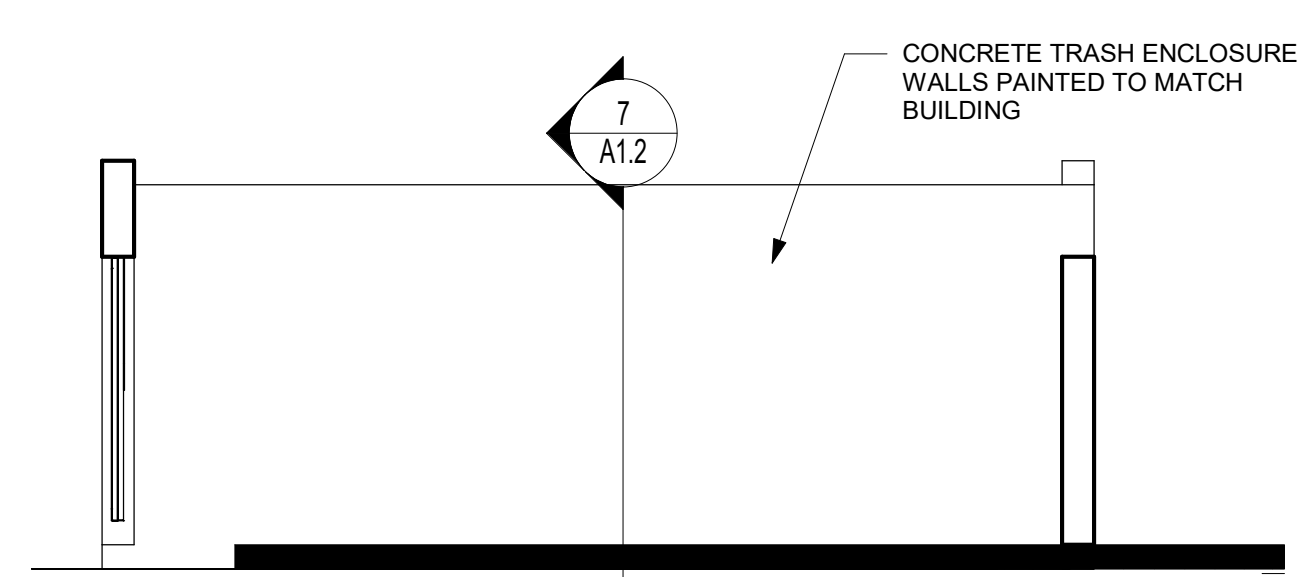
7 TRASH ENCLOSURE WALL SECTION
SCALE: N.T.S.



8 GATE CANE BOLT
SCALE: N.T.S.



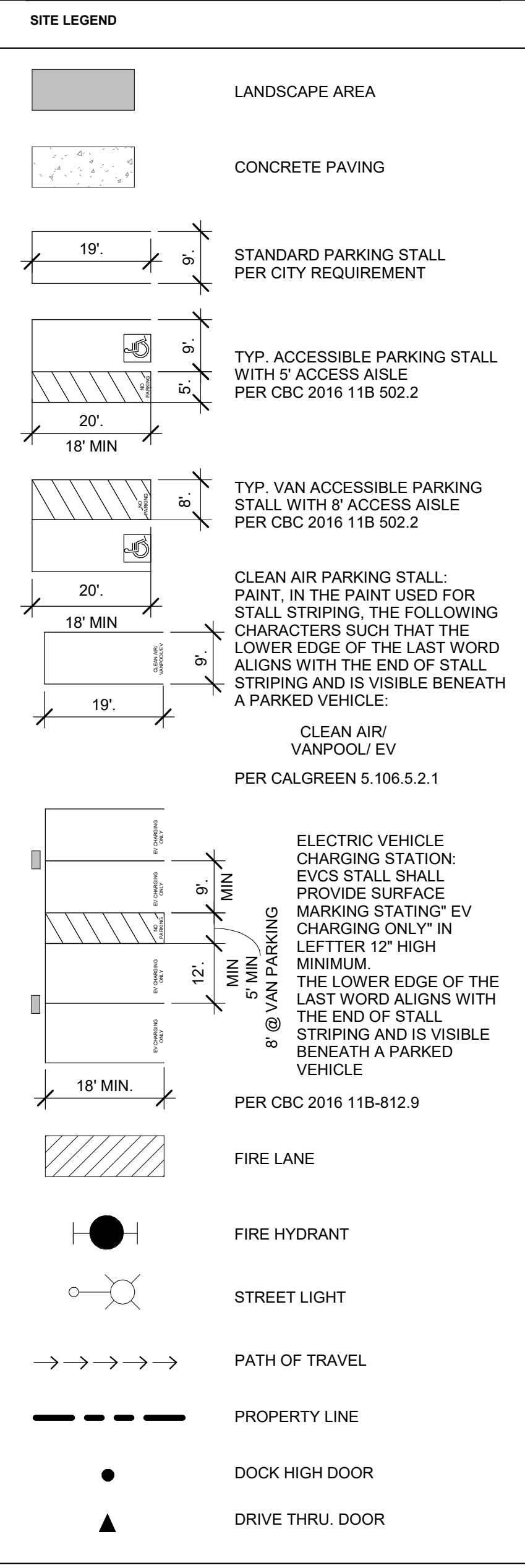
9 GATE JAMB
SCALE: N.T.S.

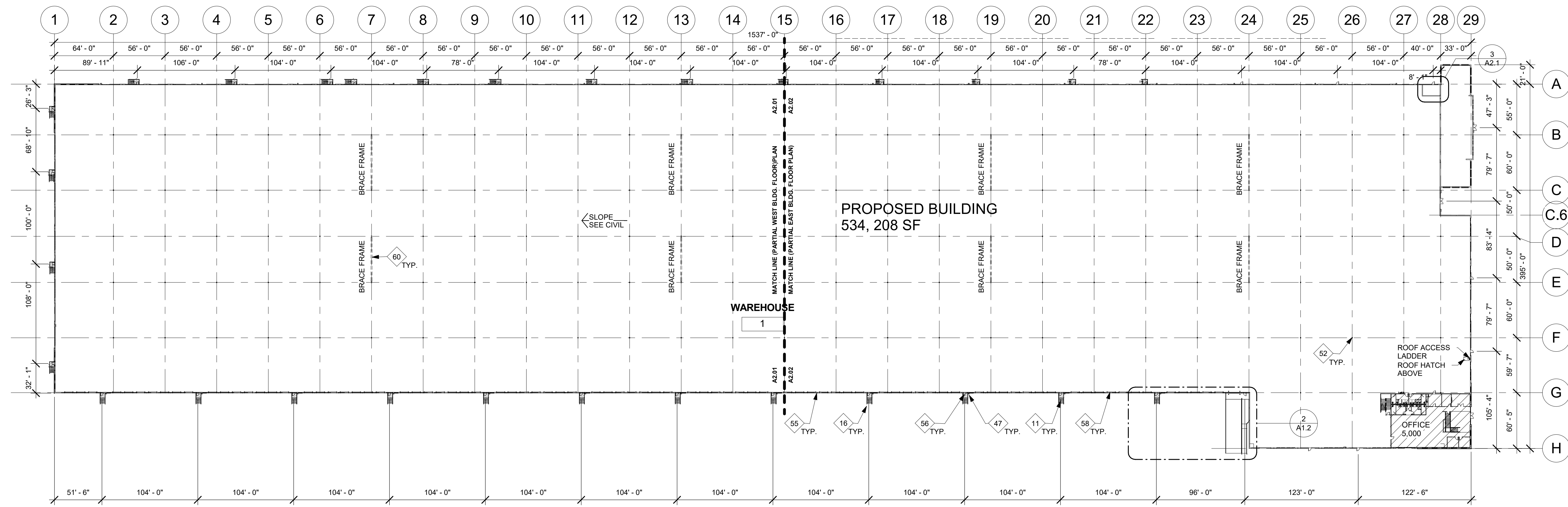


6 PROPOSED TRASH ENCLOSURE WEST ELEVATION
1/4" = 1'-0"

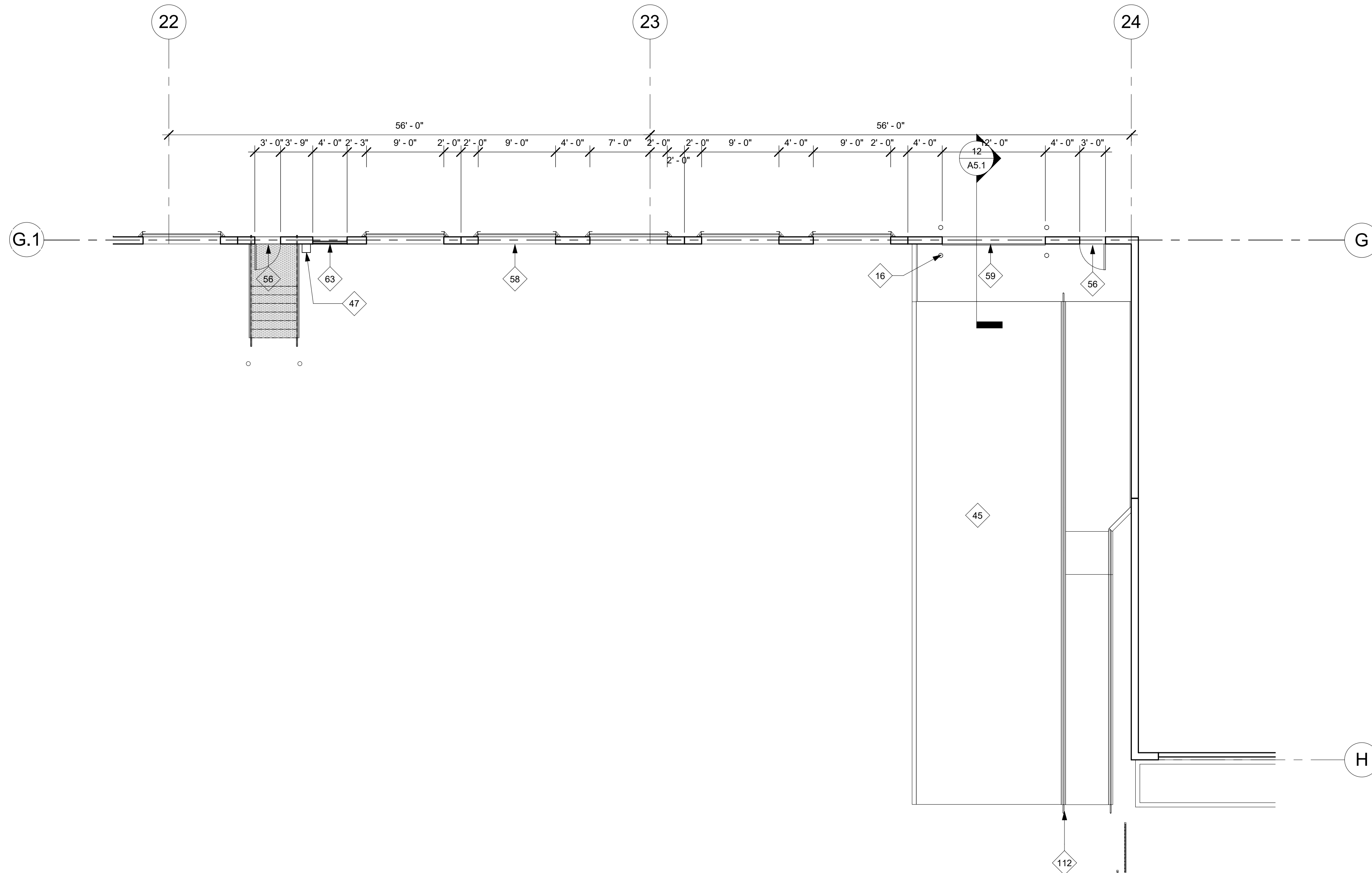
- KEYNOTES**
- 4 TRUNCATED DOMES
 - 6 ADA PARKING STALL SIGN PER CODE, TYP. PROVIDE AT ALL ADA STALLS.
 - 7 ADA PATH OF TRAVEL
 - 9 PRECAST CONCRETE WHEEL STOP
 - 8 ZERO CURB FACE.
 - 10 CONCRETE WALK - SEE SITE PLAN FOR ADA PATH OF TRAVEL. 4" MIN THICKNESS. SCORE CONCRETE @ 5' O.C. PROVIDE A LIGHT BROOM FINISH. REFER TO LANDSCAPE DRAWINGS FOR SPECIALTY CONCRETE FINISHING. TYP. REFER TO SOILS REPORT FOR ADDITIONAL MIN. REQ.
 - 12 LANDSCAPE AREA - SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION
 - 19 CONCRETE SCREEN WALL
 - 33 CONCRETE TRASH ENCLOSURE PER CITY REQUIREMENTS.
 - 41 AFFIX THE INTERNATIONAL ACCESSIBILITY SYMBOL AT ALL ACCESSIBLE ENTRANCES.
 - 57 EXTERIOR STOREFRONT DOOR, SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.

- EXTERIOR COLOR SCHEDULE**
- (A) WHITE EXTERIOR PAINT
COLOR: SW 7063 NEBULOUS WHITE
 - (B) LIGHT GREY EXTERIOR PAINT
COLOR: SW 7067 CITYSCAPE
 - (C) DARK GREY EXTERIOR PAINT
COLOR: SW 7674 PEPPERCORN
 - (D) ELDORADO TUNDRA BRICK
COLOR: IRONSIDE
- EXTERIOR STOREFRONT DOOR, SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.**
- TYP. PAINT NOTES:
PAINT MAN DOORS, GUARD WALLS, RAMP WALLS, STAIR WALLS, GUARD RAILS, ROOF DRAINS, AND LOUVERS TO MATCH ADJACENT BUILDING WALL U.N.O.
- TRUCK DOORS TO BE PRE-FINISHED BY MANUFACTURER IN WHITE FINISH





1 PROPOSED FLOOR PLAN
1" = 60'-0"



2 TYPICAL DOCK DOOR SPACING
1/8" = 1'-0"

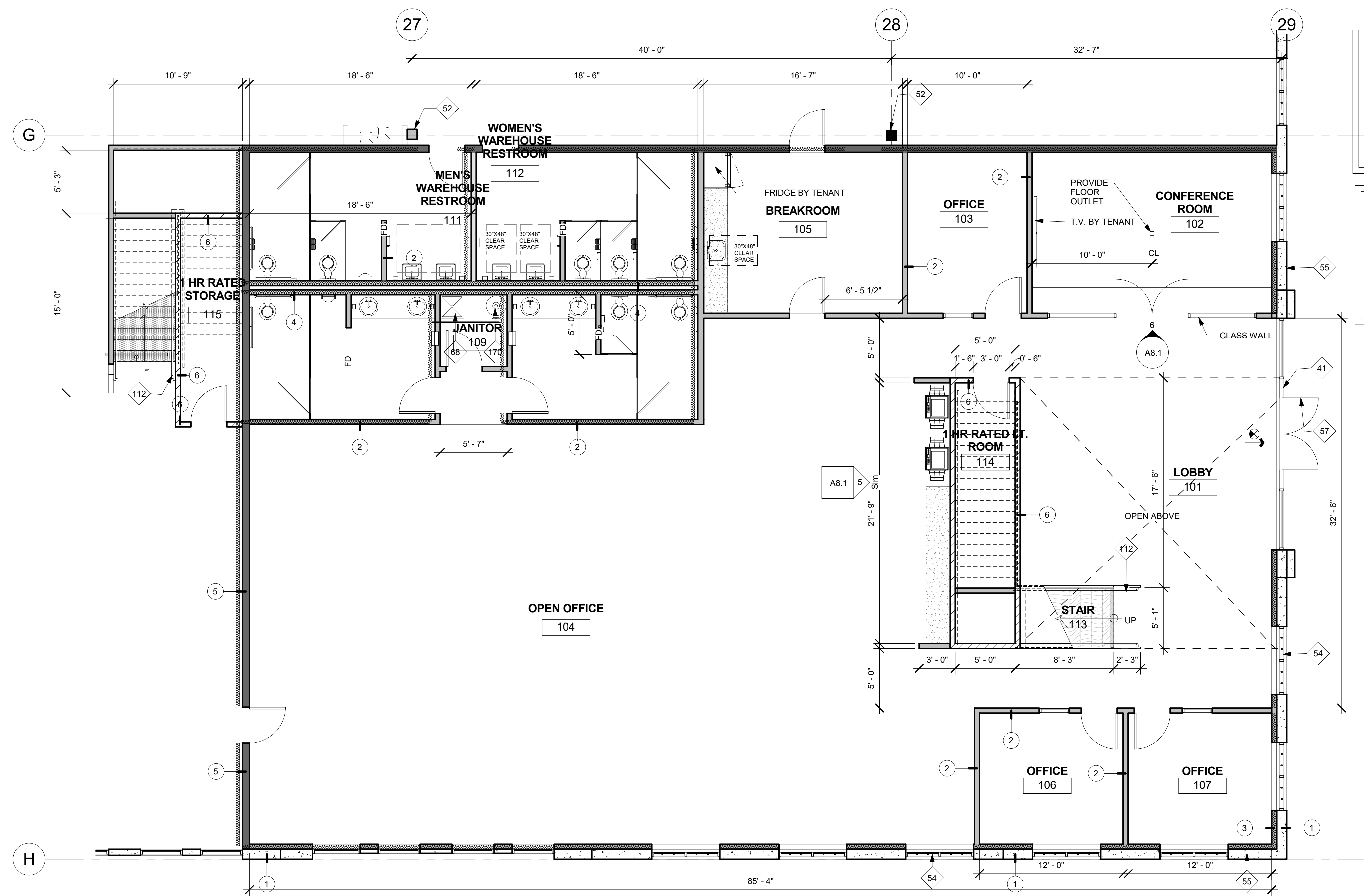
KEYNOTES	
11	EXTERIOR STEEL FRAMED EXIT STAIRS. REFER TO CIVIL AND STRUCTURAL DRAWINGS
16	PROTECTIVE METAL BOLLARDS, CONCRETE FILLED, PAINTED, TYP.
45	CONCRETE TRUCK RAMP WITH 42" HIGH CONC. TILT UP GUARD WALLS PAINTED TO MATCH BUILDING, SEE ELEVATIONS.
47	EXTERIOR METAL DOWNSPOUT AND OVERFLOW SCUPPERS PAINTED TO MATCH BUILDING. REFER TO PLUMBING PLANS FOR MINIMUM SCUPPER OPENINGS ALLOWABLE PER CODE.
52	STRUCTURAL BUILDING COLUMN.
55	CONCRETE TILT-UP PANEL, TYP. PAINTED, SEE EXTERIOR COLOR SCHEDULE. REFER TO ELEVATIONS AND 'S' DRAWINGS FOR ADDITIONAL INFORMATION.
56	EXTERIOR MAN DOOR 3'X7', HOLLOW METAL, PAINTED, SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.
58	DOCK-HI LOADING DOOR, 9'X10', WITH VISION GLAZING, PRE FINISHED BY MANUFACTURER PER COLOR SCHEDULE.
59	DRIVE THRU LOADING DOOR 12'X14' WITH VISION GLAZING, PRE FINISHED BY MANUFACTURER PER COLOR SCHEDULE.
60	STRUCTURAL BRACE FRAME, SEE 'S' DRAWINGS.
63	AIR INTAKE LOUVER, PAINT TO MATCH BUILDING WALL, TYP. SIZE VERTICAL 4'X 8', PROVIDE BIRD SCREEN, FILTER AND BURGLAR BARS.
112	METAL HANDRAIL PAINTED PER COLOR SCHEDULE

FLOOR PLAN GENERAL NOTES	
1.	FINISH FLOOR SLAB SLOPES, REFER TO CIVIL DRAWINGS FOR ELEVATIONS AND ADDITIONAL INFORMATION.
2.	PROVIDE STEICO WRAP 15MIL BARRIERS BELOW SLAB PER MANUFACTURERS INSTRUCTIONS AND PER SOILS REPORT IN LOCATIONS FOR PROPOSED OFFICE AREAS. SEE FLOOR PLAN LEGEND FOR HATCHED AREAS.
3.	REFER TO STRUCTURAL DRAWINGS FOR DESIGN OF FOUNDATION.
4.	POUR STRIP TO BE SLOPED TO EXTERIOR DOORS 1/2".
5.	PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT AND CBC/IFC.
6.	PROVIDE ILLUMINATED EXIT SIGNS AT ALL EXTERIOR EXIT DOORS, DOORS EXITING FROM TENANT SPACES, DOORS INTO EXIT ENCLOSURES, AND ANY ADDITIONAL LOCATIONS NOTED ON PLANS. SEE 'E' DRAWINGS FOR ADDITIONAL REQUIREMENTS SIGN TO BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN IN CASE OF PRIMARY POWER LOSS.
7.	ALL FIRE RATED PARTITIONS TO EXTEND TO DECK ABOVE, AND PENETRATIONS TO BE SEALED.
8.	DO NOT USE CURING COMPOUND OR RELEASE AGENTS TO CURE SLAB.
9.	CRANES, CONCRETE TRUCKS, AND SIMILAR HEAVY EQUIPMENT PROHIBITED ON SLAB.
10.	FLY ASH PROHIBITED IN CONCRETE SLAB MIX.
11.	FLOOR SLAB TO BE CLASS V PER ACI 302-IR-89
12.	FLOOR COMPACTION TO BE 95% MIN
13.	TRENCH COMPACTION TO BE 90% MIN
14.	SLAB FINISH TO BE STEEL FLOAT HARD TROWEL BURNISHED FINISH
15.	DIMENSIONS ARE TO FACE OF CONCRETE PANEL, FINISH FACE OF DRYWALL, FINISH OPENING, TYPICAL UNLESS NOTED OTHERWISE.
16.	PROVIDE EXIT SIGNS INCLUDING TACTILE SIGN REQUIRED BY SECTION 1011 OF 2016 CBC. SIGN TO BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN IN CASE OF PRIMARY POWER LOSS.
17.	ALL MAN DOORS, OVERHEAD DOORS, AND ROLL-UP DOORS TO BE DESIGNED FOR WIND LOAD AND EXPOSURE DETERMINED BY BUILDING CODE AND LOCAL JURISDICTION.
18.	ALL STOREFRONT SYSTEMS TO BE DESIGNED FOR WIND LOAD AND EXPOSURE DETERMINED BY THE BUILDING CODE AND LOCAL JURISDICTION STOREFRONT SYSTEMS TO BE DESIGN BUILD G.C. TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW
19.	REFER TO CIVIL DRAWINGS FOR ALL POINT OF CONNECTIONS FOR UTILITIES. CONTRACTOR TO VERIFY LOCATIONS.
20.	PROVIDE STEEL BOLLARDS FILLED WITH CONCRETE AND PAINTED PER FINISH SCHEDULE AT FIRE RISERS, PVS, TRANSFORMERS, AND OTHER LOCATIONS AS REQUIRED.
21.	CONTRACTOR TO MAINTAIN A CLEAN FLOOR SLAB, ALL TRUCKS AND EQUIPMENT TO BE DIAPERED.
22.	NO ACCESS HARDWARE ON THE EXTERIOR SIDE OF THE NON-ENTRY DOORS
23.	FOR TYPICAL DOOR LANDING CLEARANCES, REFER 21A0.2.2 FOR MORE INFORMATION
24.	NO SMOKING WITHIN 25' OF BUILDING ENTRIES, ACCORDING TO GREEN BUILDING STANDARD CODE DIVISION 5.504.7

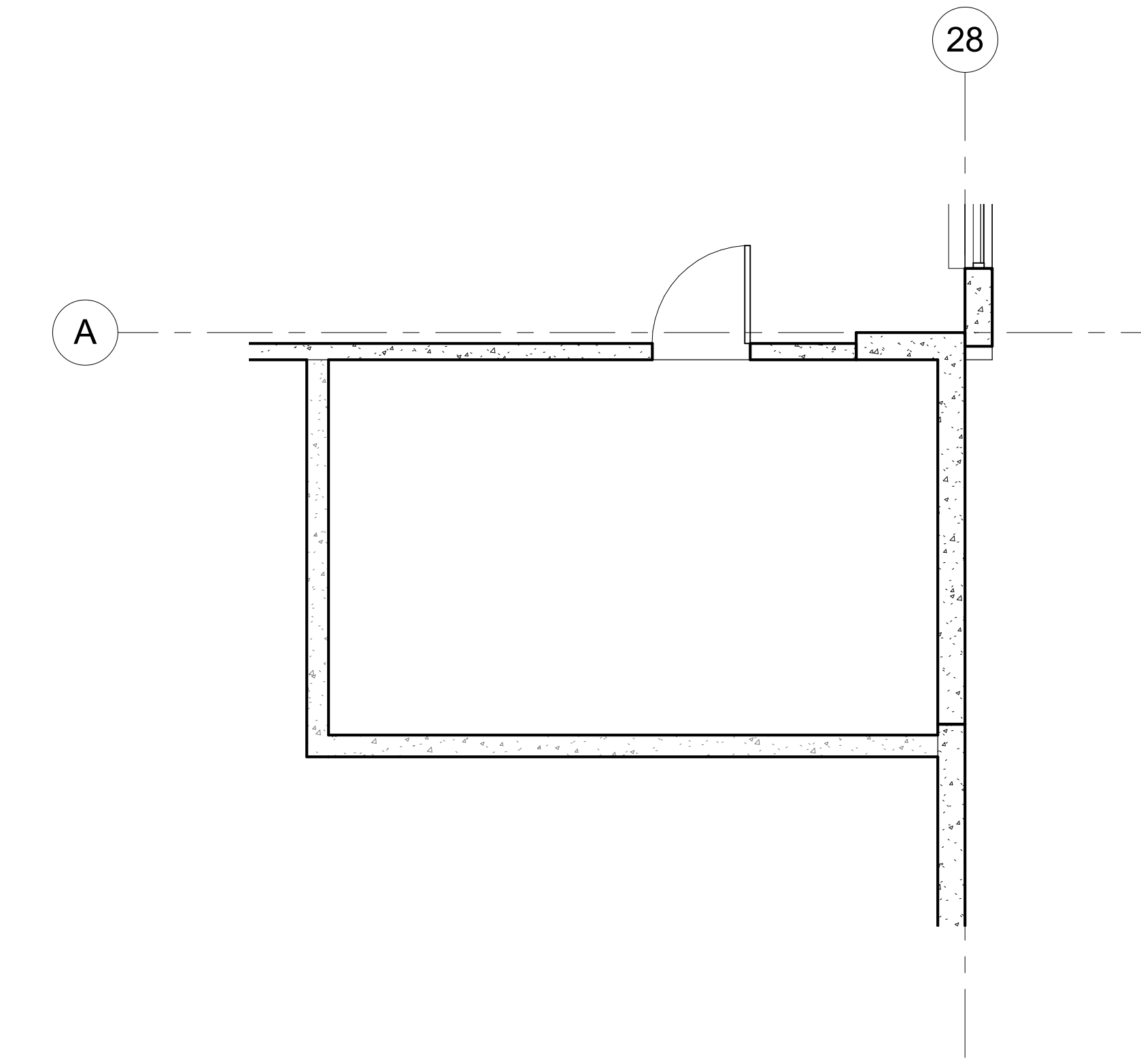


HERDMAN
ARCHITECTURE + DESIGN

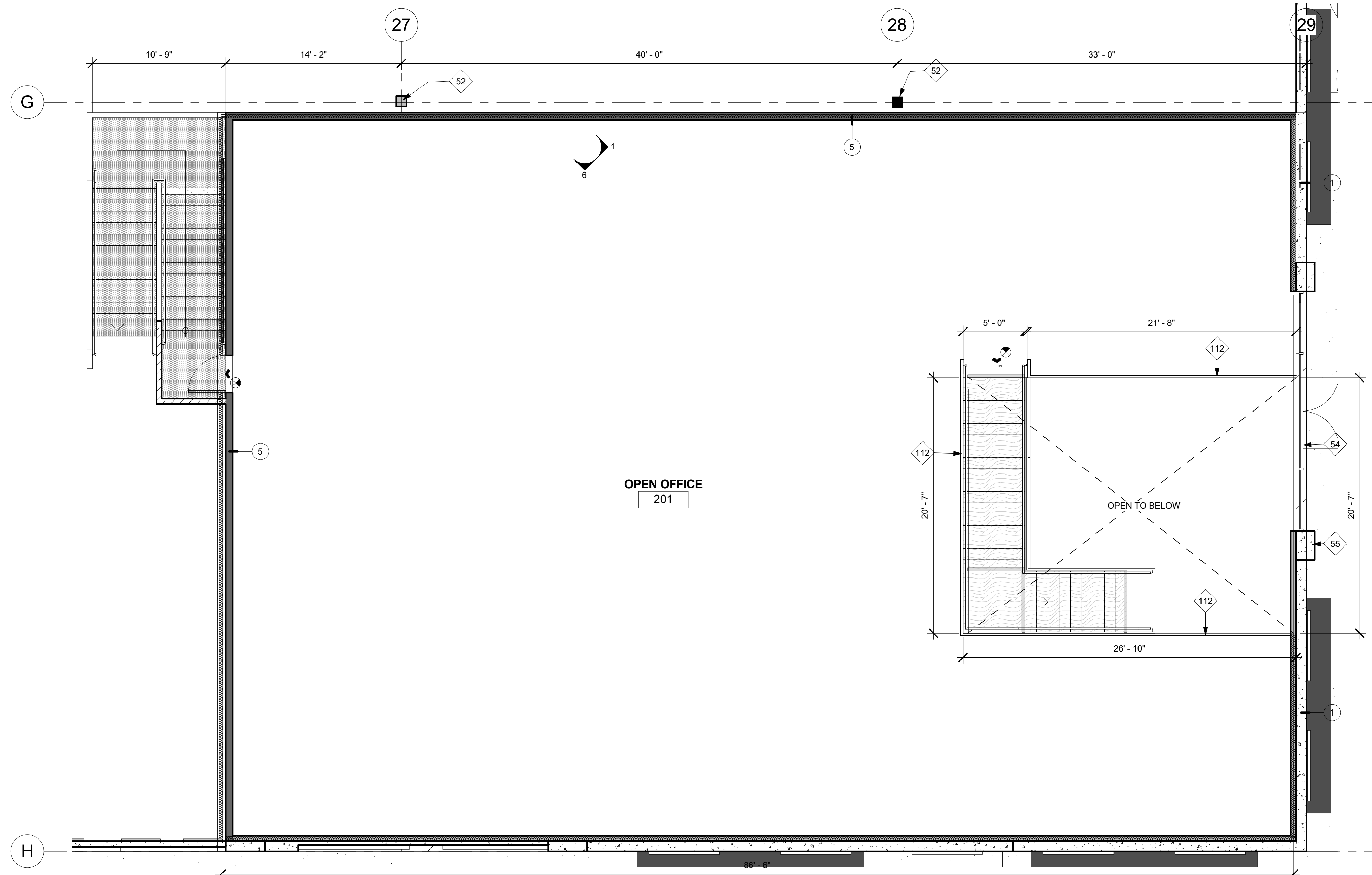
A17-2096
04.08.2020



1 PROPOSED ENLARGED OFFICE PLAN
3/16" = 1'-0"



3 PROPOSED ENLARGED ELECTRICAL ROOM
1/4" = 1'-0"



2 PROPOSED ENLARGED MEZZANINE FLOOR PLAN
3/16" = 1'-0"

KEYNOTES	
41	AFFIX THE INTERNATIONAL ACCESSIBILITY SYMBOL AT ALL ACCESSIBLE ENTRANCES.
52	STRUCTURAL BUILDING COLUMN.
54	STOREFRONT. SEE ELEVATIONS & EXTERIOR COLOR SCHEDULE. STORE FRONT TO BE DESIGNED TO RESIST WIND LOAD AS REQUIRED BY BUILDING CODES AND LOCAL JURISDICTION. DESIGN OF STOREFRONT FRAMING SYSTEM AND STRUCTURAL CALCULATIONS TO BE DESIGN BUILT BY G.C. AND UNDER DEFERRED SUBMITTAL.
55	CONCRETE TILT-UP PANEL, TYP. PAINTED. SEE EXTERIOR COLOR SCHEDULE. REFER TO ELEVATIONS AND "S" DRAWINGS FOR ADDITIONAL INFORMATION.
57	EXTERIOR STOREFRONT DOOR. SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.
68	MOP SINK.
112	METAL HANDRAIL PAINTED PER COLOR SCHEDULE
170	WATER HEATER
FLOOR PLAN WALL LEGEND	
	CONCRETE TILT UP WALL. SEE "S" DRAWINGS FOR ADDITIONAL INFORMATION. PROVIDE METAL STUD FURRING (SEE STUD SCHEDULE AD 2) AND FULL HEIGHT BATT INSULATION PER TITLE 24 REQUIREMENTS. SEE 3/AD.2 FOR CONNECTION DETAIL.
	STOREFRONT SYSTEM. UNDER DEFERRED SUBMITTAL. SEE ELEVATIONS FOR ARCHITECTURAL DETAILS.
	METAL STUD WALL. SEE 13/AD6 FOR STUD SIZE & DETAILS.
	METAL STUD FURRING. INSTALL INSULATION PER TITLE 24 REQUIREMENTS. PROVIDE 5/8" TYPE X GYP. BD. ON THE INTERIOR SIDE.
	ONE HOUR FIRE RATED WALL. SEE WALL CALL OUTS AND STUD SCHEDULE FOR ADDITIONAL INFORMATION.
	STRUCTURAL BUILDING COLUMNS.
	ILLUMINATED EMERGENCY EXIT SIGN PER CBC AND FIRE DEPT. SEE "E" DRAWINGS FOR LOCATION. SIGN SHALL BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN. IN CASE OF PRIMARY POWER LOSS.

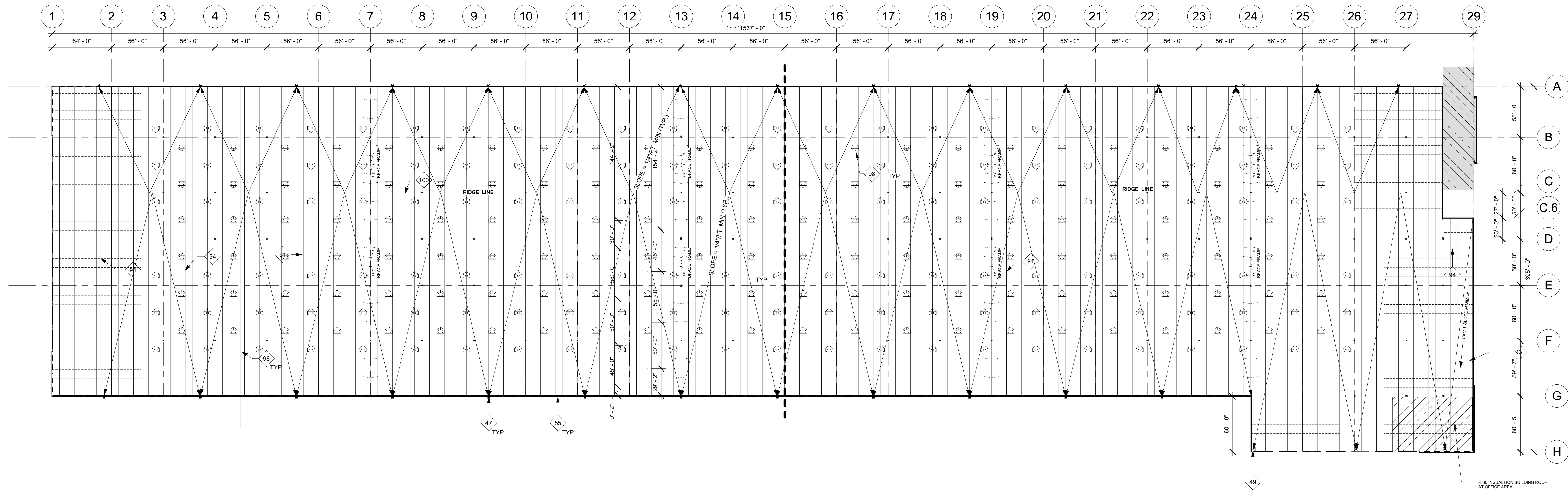
BRIDGE DEV. - 5441 INTERNATIONAL BLVD
OAKLAND, CA
PROJECT
3RD ENTITLEMENT SUBMITTAL



A17-2096
04.08.2020

ENLARGED OFFICE & MEZZ PLAN

A2.1



1 PROPOSED ROOF PLAN
 1" = 50'-0"

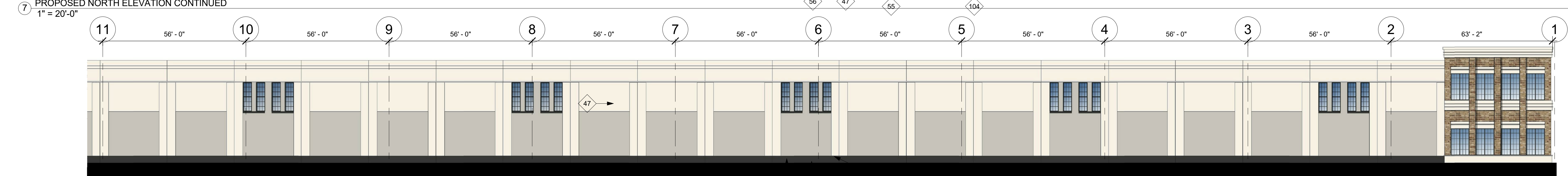
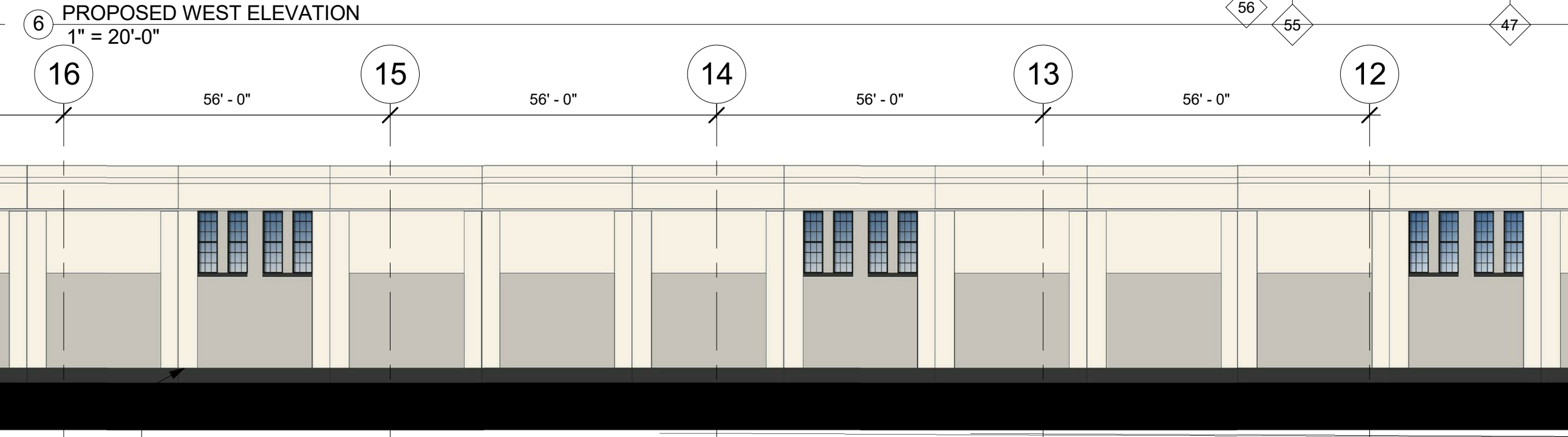
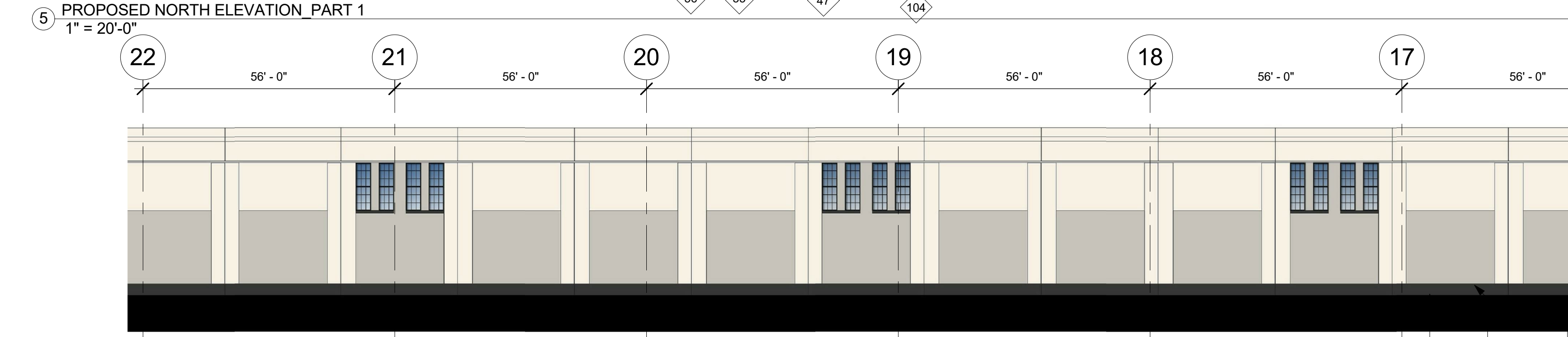
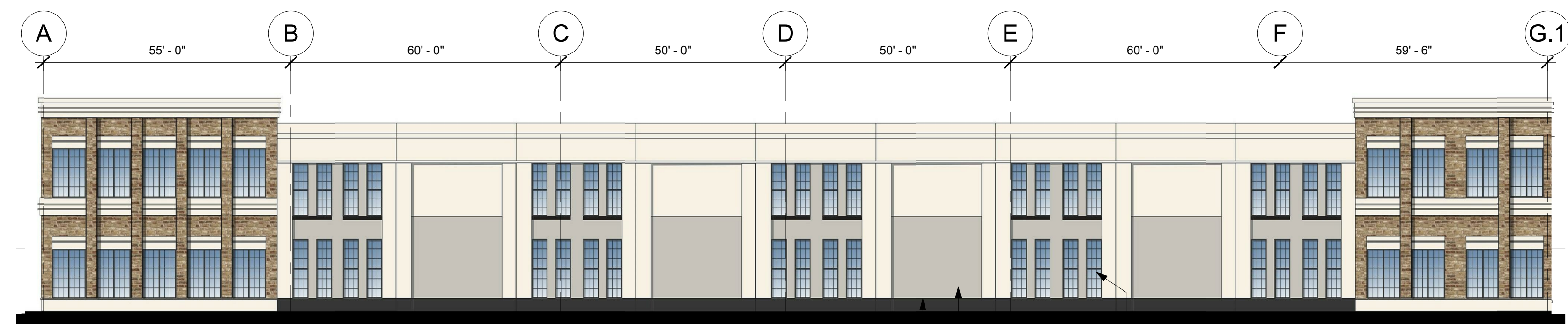
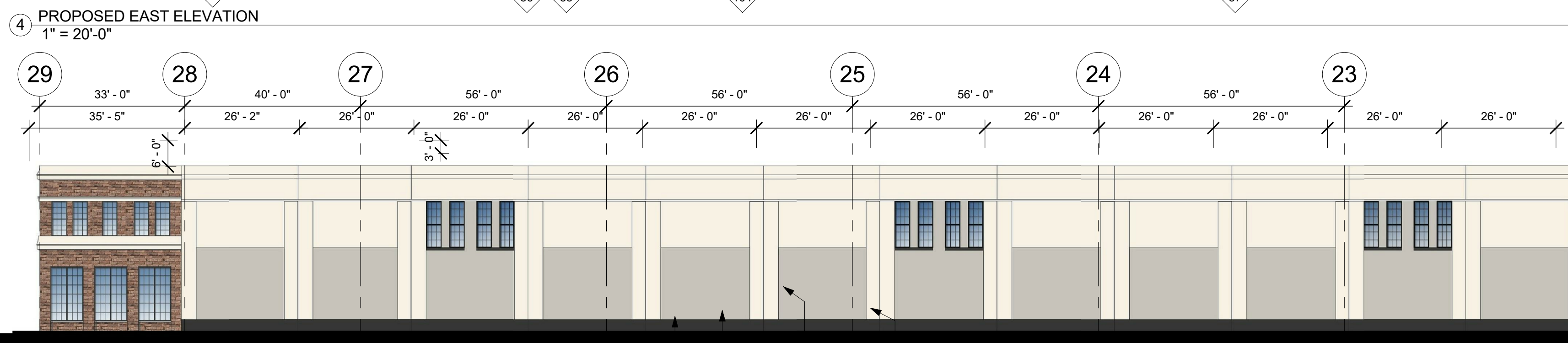
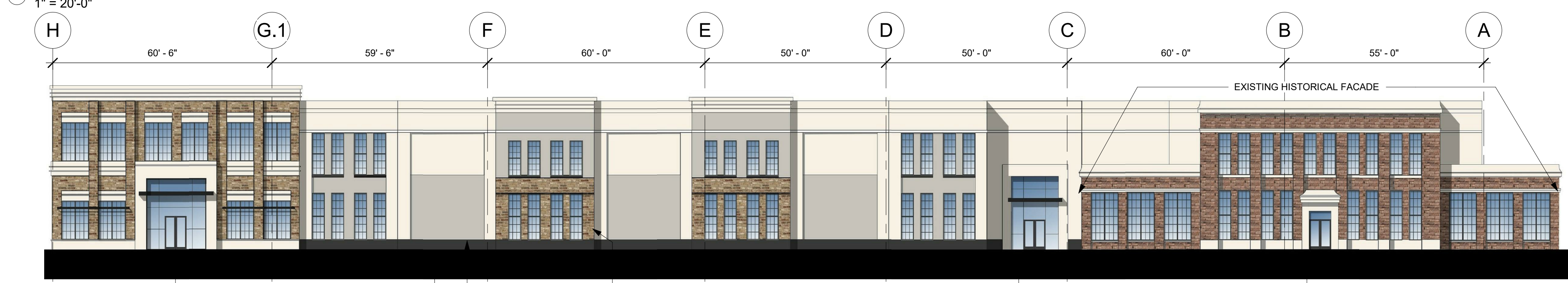
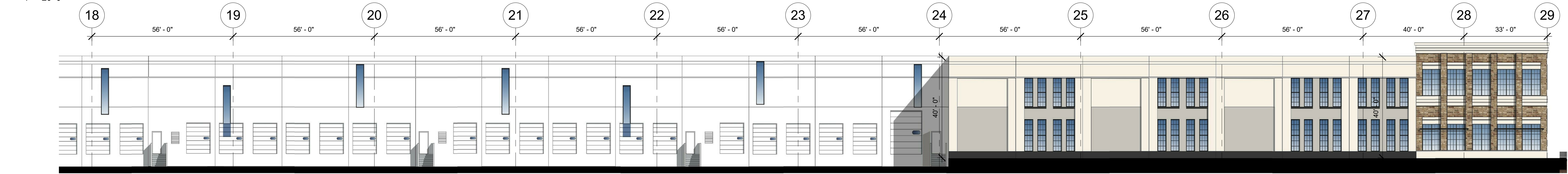
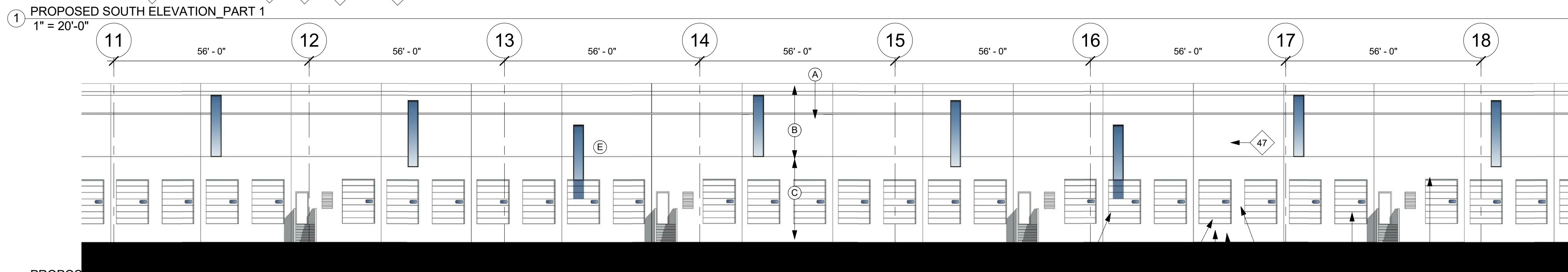
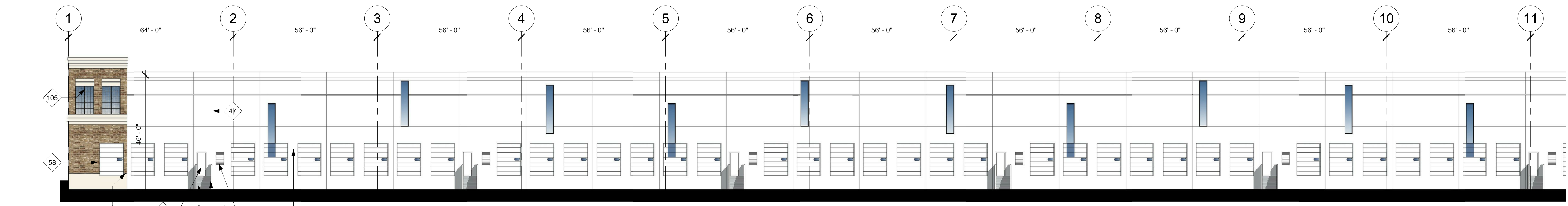
ROOF PLAN LEGEND	ROOF PLAN GENERAL NOTES
4' X 8' SKYLIGHT 4' X 8' SMOKE HATCH 4' X 8' ROOF HATCH OFFICE AREA. LOCATION OF EQUIPMENT T.B.D.	<ol style="list-style-type: none"> CONTRACTOR TO VERIFY POSITIVE ROOF DRAINAGE. ROOFING CONTRACTOR TO VERIFY PRIOR TO INSTALLING RIGID INSULATION OR ROOFING. SEE "S" DRAWINGS FOR CRICKETS, ETC. BUILT UP ROOFING TO BE CLASS 1 UL LISTED ROOFING ASSEMBLY DESIGNED TO RESIST 90MPH OR AS REQUIRED. SEE STRUCTURAL DRAWINGS FOR ROOF ELEVATIONS. TYP. REFER TO DETAIL 1/AD.1 FOR TYPICAL ROOF SECTION. PROVIDE CRICKETS ON (HIGH SIDE) OF ALL MECHANICAL UNITS AND ROOF EQUIPMENT AT SKYLIGHTS & SMOKE HATCHES. PROVIDE POSITIVE DRAINAGE AROUND UNITS AT 1/2" PER SLOPE MINIMUM. CONTRACTOR TO COORDINATE ALL ROOF PENETRATIONS. SEE ROOF DETAIL SHEET FOR PENETRATIONS. ALL SKYLIGHTS TO BE DESIGNED TO MEET WINDLOAD AS DETERMINED BY THE BUILDING CODE AND LOCAL JURISDICTION. ALL MECHANICAL CONDENSATE DRAINS TO BE BELOW ROOF. G.C. TO CONFIRM REQUIREMENT FOR ROOF WALK PADS WITH OWNER. ROOFING CAP SHEET TO HAVE MINIMUM AGED SOLAR REFLECTANCE EQUAL TO OR GREATER THAN 0.63, AND AN SRI EQUAL TO OR GREATER THAN 72 PER 2014 COUNTY OF LOS ANGELES GREEN BUILDING STANDARDS CODE. ROOF ELEVATIONS TO BE VERIFIED WITH TABLE VERIFY # WITH STRUCTURAL DRAWINGS. FOR ALL PIPE AND DUCT PENETRATIONS THRU ROOF. SEE DETAILS ON AD SHEETS. ALL CONDESATE LINES FROM HVAC UNITS MUST BE INSTALLED BELOW ROOF. ALL MECHANICAL EQUIPMENT WEIGHTS ARE OPERATING WEIGHTS. PROVIDE A FULL TIME OSB MOISTURE INSPECTION AND GAP DISTANCE. BY A QUALIFIED ROOFING INSPECTION FIRM APPROVED BY THE OWNER AND THE OSB MANUFACTURER. INSPECTION FIRM TO BE ON SITE PRIOR TO THE START OF ANY BUILT UP ROOFING WORK. ALL WOOD CURBS TO BE P.T.D.F. ROOF EXHAUST FANS SHALL BE CENTERED DIRECTLY ABOVE A SPRINKLER HEAD. VERIFY WITH FIRE PROTECTION PLANS PRIOR TO INSTALLATION. ALL SUB-PURLIN HANGERS SHALL BE "Z-MAX" TRIPLE ZINC COATED AS MANUF. BY SIMPSON OR APPROVED EQUAL. AUTOMATIC SPRINKLER SYSTEMS SERVING MORE THAN 100 SPRINKLER HEADS SHALL BE SUPERVISED BY AN APPROVED CENTRAL PROPRIETARY, OR REMOTE STATION SERVICE, OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT CONSTANTLY ATTENDED LOCATION.
<p>SKYLIGHTS</p> <p>PROPOSED BUILDING, PER SECTION 110.10 - MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS</p> <p>AREA OF ROOF: 534,208 SF AREA OF SKYLIGHTS REQUIRED 1.66%: 8,868 SF AREA OF SKYLIGHTS PROVIDED: 9,024 SF ORIENTATION: 110 DEGREES AND 270 DEGREES OF TRUE NORTH SKYLIGHTS: BRISTOLITE ESR - 3177</p> <p>KEYNOTES</p> <p>47 EXTERIOR METAL DOWNSPOUT AND OVERFLOW SCUPPERS PAINTED TO MATCH BUILDING. REFER TO PLUMBING PLANS FOR MINIMUM SCUPPER OPENINGS ALLOWABLE PER CODE.</p> <p>49 INTERIOR ROOF DRAIN AND OVERFLOW SCUPPERS PAINTED TO MATCH BUILDING. REFER TO PLUMBING PLANS FOR MINIMUM SCUPPER OPENINGS ALLOWABLE PER CODE.</p> <p>55 CONCRETE TILT-UP PANEL, TYP. PAINTED. SEE EXTERIOR COLOR SCHEDULE. REFER TO ELEVATIONS AND "S" DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p>91 4-PLY BUILT UP ROOFING CLASS "A". REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION. VERIFY WARRANTY REQUIREMENTS WITH OWNER.</p> <p>93 ROOF ACCESS HATCH.</p> <p>94 ROOF FRAMING BELOW, TYP., REFER TO "S" DRAWINGS FOR SIZES AND ADDITIONAL INFORMATION.</p> <p>98 4' X 8' SKYLIGHT.</p> <p>100 RIDGE/HIGH POINT OF ROOF.</p>	



A17-2096
 04.08.2020

ROOF PLAN

A3



PROPOSED NORTH ELEVATION CONTINUED 2
 1" = 20'-0"

KEYNOTES	
11	EXTERIOR STEEL FRAMED EXIT STAIRS. REFER TO CIVIL AND STRUCTURAL DRAWINGS
16	PROTECTIVE METAL BOLLARDS, CONCRETE FILLED, PAINTED, TYP.
47	EXTERIOR METAL DOWNSPOUT AND OVERFLOW SCUPPERS PAINTED TO MATCH BUILDING. REFER TO PLUMBING PLANS FOR MINIMUM SCUPPER OPENINGS ALLOWABLE PER CODE.
55	CONCRETE TILT-UP PANEL, TYP. PAINTED. SEE EXTERIOR COLOR SCHEDULE. REFER TO ELEVATIONS AND 'S' DRAWINGS FOR ADDITIONAL INFORMATION.
56	EXTERIOR MAN DOOR 3'X7' HOLLOW METAL, PAINTED. SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.
57	EXTERIOR STOREFRONT DOOR. SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.
58	DOCK-HI LOADING DOOR, 9'X10', WITH VISION GLAZING PRE-FINISHED BY MANUFACTURER PER COLOR SCHEDULE.
63	AIR INTAKE LOUVER. PAINT TO MATCH BUILDING WALL. TYP. SIZE VERTICAL 4'X 8'. PROVIDE BIRD SCREEN, FILTER AND BURGULAR BARS.
104	PANEL JOINT, TYP.
105	2" DECORATIVE CONCRETE REVEAL WITH CHAMFERED EDGES, TYP.

GLAZING LEGEND	
VISION GLAZING:	
NON VISION GLAZING:	
TEMPERED:	

NOTE:
 REFER TO ELEVATIONS FOR TEMPERED GLAZING LOCATIONS.

NON VISION GLAZING NOTES:
 1. SINGLE PANE GLAZING PAINT FACE OF CONCRETE PANEL BEHIND BLACK. NO COATING REQUIRED.
 2. PROVIDE BREATHABLE MULLION SYSTEM @ NON-VISION GLAZING SECTIONS. NO HOLES REQUIRED IN CONCRETE.
 3. PROVIDE SHADE CLOTH BEHIND GLASS IN AREAS INTENDED TO BE NON-VISION WHEN THERE IS NO SPANDREL CONCRETE. TENCATE MIRAFI 140N 12.5' X 360' FILTER FABRIC

TEMPERED GLAZING NOTES:
 1. IN OPERABLE DOORS, WINDOWS AND WITHIN 18" OF WALKING SURFACE TO BE TEMPERED.

EXTERIOR COLOR SCHEDULE	
	A) EXTERIOR PAINT COLOR: SW 7063 NEBULOUS WHITE
	B) EXTERIOR PAINT COLOR: SW 6071 POPULAR GRAY
	C) EXTERIOR PAINT COLOR: SW 7642 PAVESTONE
	D) DARK GREY EXTERIOR PAINT COLOR: SW 7674 PEPPERCORN
	E) ELDORADO TUNDRA BRICK COLOR: LATIGO
	F) STOREFRONT SOLARBAN 60 INSULATED CLEAR GLAZING
	G) DECORATIVE BREAK METAL TO MATCH MULLIONS

TYP PAINT NOTES:
 PAINT MAN DOORS, GUARD WALLS, RAMP WALLS, STAIR WALLS, GUARD RAILS, ROOF DRAINS, AND LOUVERS TO MATCH ADJACENT BUILDING WALL U.I.N.O.

TRUCK DOORS TO BE PRE-FINISHED BY MANUFACTURER IN WHITE FINISH



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 04.08.2020

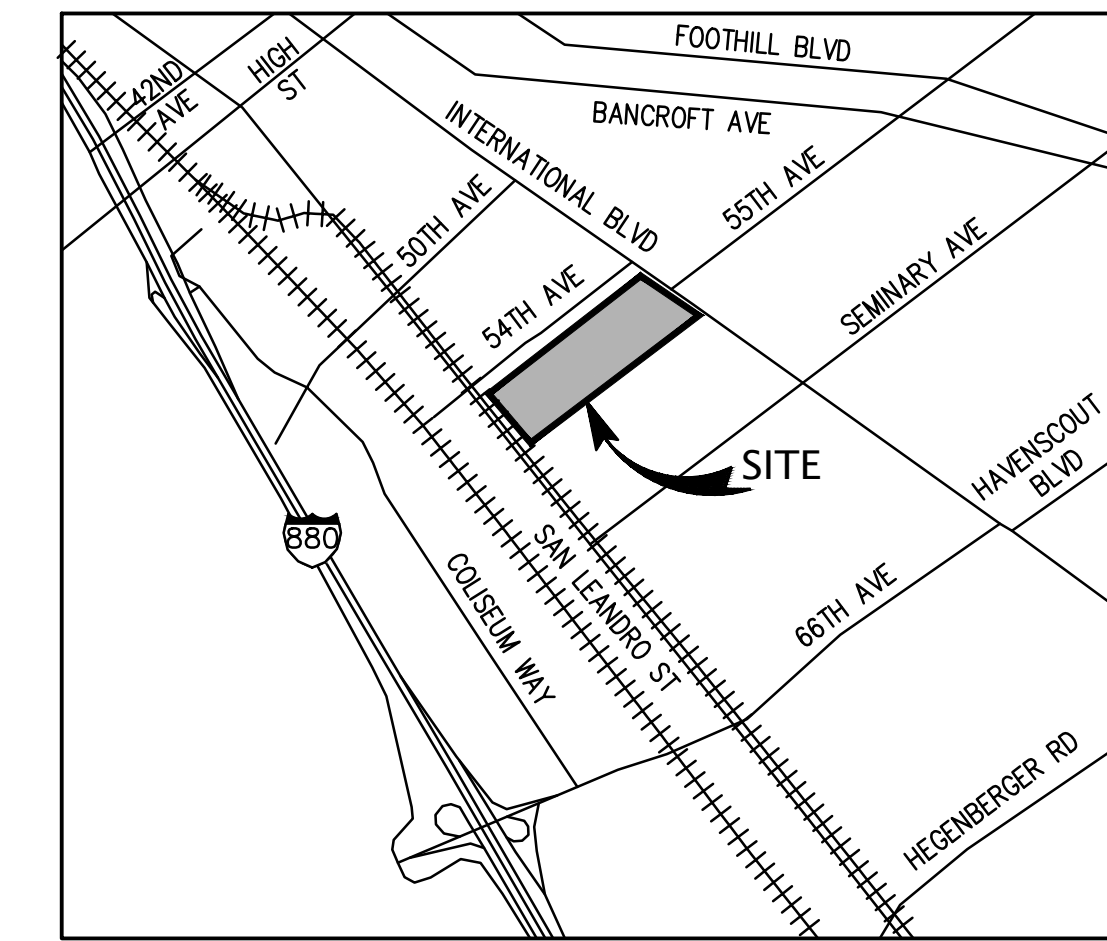
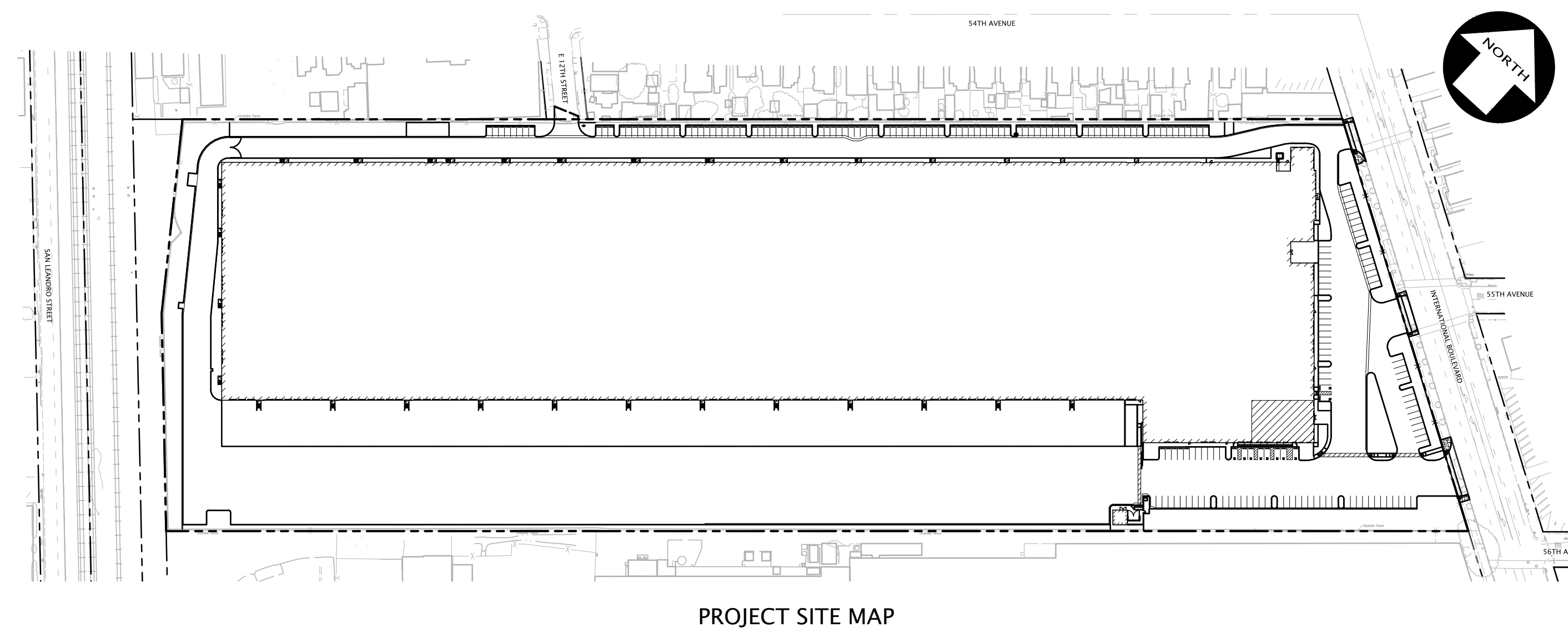
EXTERIOR
 ELEVATIONS

A4

PRELIMINARY SITE IMPROVEMENT PLANS

OF
5441 INTERNATIONAL BOULEVARD
FOR
BRIDGE DEVELOPMENT

OAKLAND, CALIFORNIA



SHEET INDEX

SHEET	DESCRIPTION
CIVIL	COVER SHEET
C1.0	DETAILS
C1.1	TOPOGRAPHIC SURVEY
C2.0	TOPOGRAPHIC SURVEY
C2.1	PRELIMINARY GRADING & DRAINAGE PLAN
C3.0	PRELIMINARY GRADING & DRAINAGE PLAN
C3.1	PRELIMINARY UTILITY PLAN
C4.0	PRELIMINARY UTILITY PLAN
C4.1	PRELIMINARY EROSION CONTROL PLAN
C5.0	PRELIMINARY EROSION CONTROL PLAN
C6.0	PRELIMINARY STORM WATER QUALITY CONTROL PLAN

DEVELOPER

BRIDGE DEVELOPMENT PARTNERS
ATTN: BRENDAN KOTLER
1600 E. FRANKLIN AVE., SUITE D
EL SECONDO, CA 90245
PHONE: 213.805.6350

CIVIL ENGINEER

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
ATTN: ADAM MAHONEY, P.E., L.S.
2850 COLLIER CANYON ROAD
LIVERMORE, CA 94551
PHONE: 925.245.8788

SOIL ENGINEER

CORNERSTONE EARTH GROUP, INC.
ATTN: DAVID T. TRAM, P.E.
1259 OAKMEAD PKWY.,
SUNNYVALE, CA 94085
PHONE: 408.245.4600

ARCHITECT

HERDMAN ARCHITECTURE + DESIGN
ATTN: BRIDGET HERDMAN, AIA
16201 SCIENTIFIC WAY,
IRVINE, CA 92618
PHONE: 714.389.2800

LANDSCAPE ARCHITECT

JETT LANDSCAPE ARCHITECTURE + DESIGN
ATTN: BRUCE JETT
ADDRESS: 2 THEATRE SQUARE, #218
ORINDA, CA 94563
PHONE: 925.254.5422

NO.	BY	REVISION
1		12.06.2019 - ENTITLEMENT SUBMITTAL
2		04.17.2020 - ENTITLEMENT SUBMITTAL

NO.	BY	REVISION

KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
2850 COLLIER CANYON ROAD
LIVERMORE, CALIFORNIA 94551
PHONE: (925) 245-8788
FAX: (925) 245-8796
www.kierwright.com

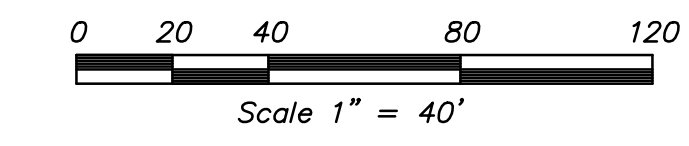
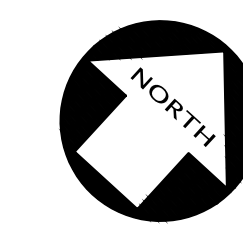


COVER SHEET
OF
5441 INTERNATIONAL BOULEVARD
FOR
BRIDGE DEVELOPMENT
OAKLAND, CALIFORNIA

DATE	APRIL, 2020
SCALE	AS SHOWN
DESIGNER	KR
DRAFTER	CC
JOB NO.	A18535
SHEET	C1.0
OF	10 SHEETS



Know what's below.
Call before you dig.



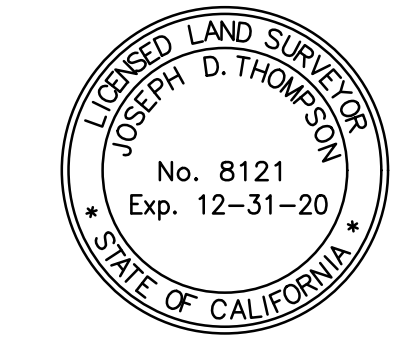
LEGEND

	BUILDING LINE
	CONCRETE CURB
	CONCRETE CURB & GUTTER
	CONTOUR LINE
	EDGE OF PAVEMENT
	DRIVEWAY
	FENCE LINE
	GAS METER
	GUARD RAIL
	LOT LINE
	MONUMENT/MONUMENT LINE
	PROPERTY LINE
	SANITARY SEWER-MANHOLE & CLEANOUT
	SPOT ELEVATION
	STORM DRAIN-MANHOLE & CATCH BASIN
	BACKFLOW PREVENTION DEVICE
	ELECTROLINER
	GROUNDWATER EXTRACTION WELL
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	JUNCTION BOX
	POST INDICATOR VALVE
	POWER POLE/JOIST POLE
	TRAFFIC SIGN
	UTILITY BOX
	ANGLE POINT
	AREA DRAIN
	AUTOMATIC SPRINKLER RISER
	BACKFLOW PREVENTION DEVICE
	BUILDING LINE
	BOTTOM OF STAIRS
	BOTTOM OF WALK
	SURVEY CONTROL POINT
	CATCH BASIN
	CONCRETE
	CLEAN OUT
	DOOR
	DRIVEWAY
	DAY LIGHT LINE
	ELECTRIC BOX
	EDGE OF CONCRETE
	EDGE OF PAVEMENT
	EDGE OF WALK
	FACE OF CURB
	FIRE DEPARTMENT CONNECTION
	FOUND MONUMENT
	FINISH FLOOR
	FIRE HYDRANT
	FLOW LINE
	FENCE
	FACE OF WALL
	GUY ANCHOR
	GRADE BREAK
	GAS MARKER/METER
	GROUND
	GAS VALVE
	HANDICAP RAMP
	HIGH POINT
	HEADWALL
	HOSEBIB
	INVERT ELEVATION
	LOW POINT
	LIP OF GUTTER
	MONUMENT TO MONUMENT
	MONITORING WELL
	PAVEMENT
	POST INDICATOR VALVE
	POWER POLE
	RIM ELEVATION
	STORM DRAIN MANHOLE
	STREET LIGHT
	STREET LIGHT BOX
	SANITARY SEWER MANHOLE
	TELEPHONE BOX
	TOP OF CURB
	TREE
	TOP OF STAIRS
	TOP OF WALL
	UNKNOWN UTILITY BOX
	WATER BOX
	WATER METER
	WATER VALVE

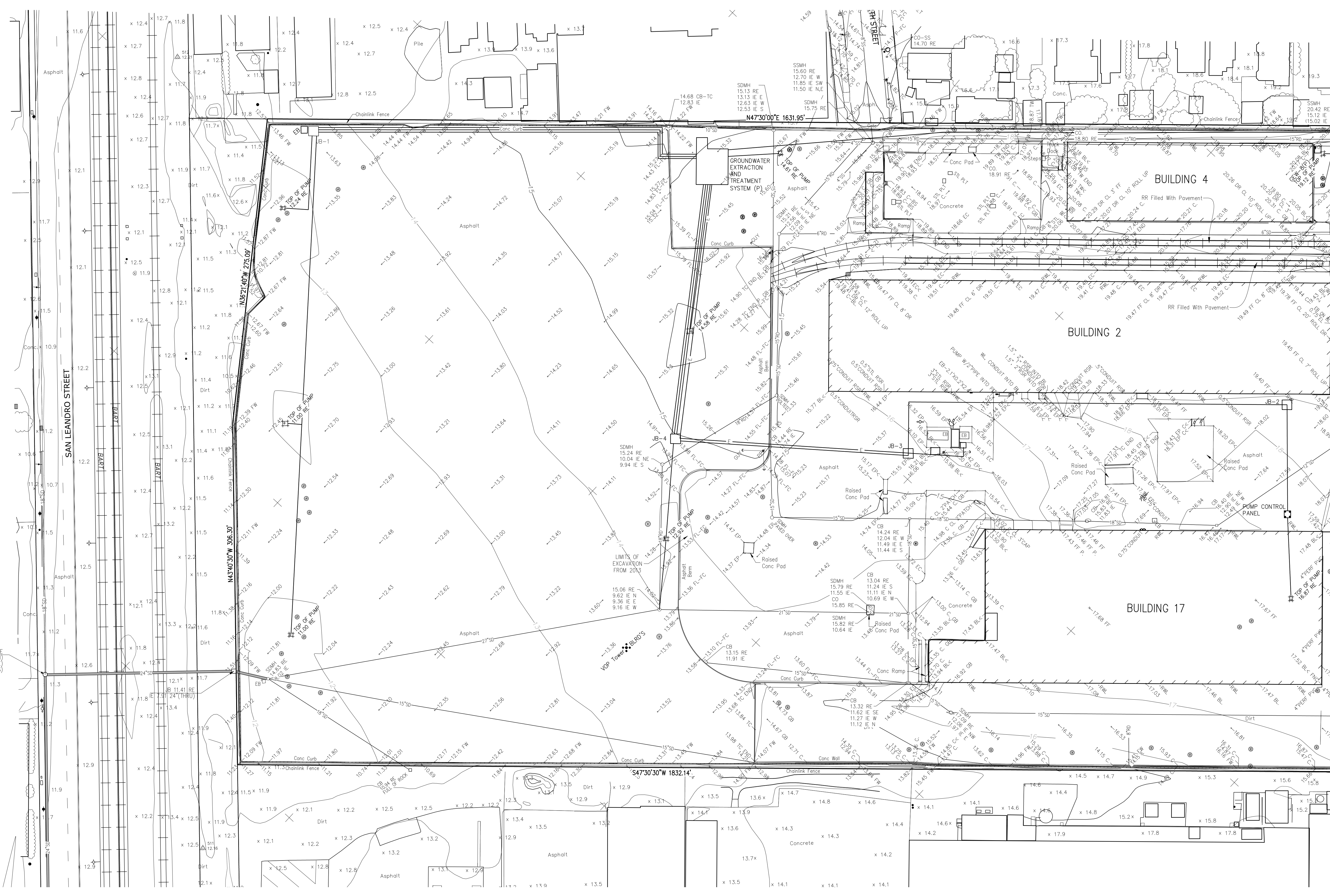
NOTES

1. THIS IS NOT A BOUNDARY SURVEY. BOUNDARY INFORMATION SHOWN HEREON WAS PREPARED FROM RECORD DATA INFORMATION. NO LIABILITY IS ASSUMED BY KIER & WRIGHT FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY OR TITLE RECORDS NOT SHOWN ON THIS DRAWING.
2. ALL DISTANCES SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
3. BENCHMARK: USCGS STANDARD DISC SET IN A SQUARE CONCRETE POST NEAR THE CENTERLINE OF 54TH STREET AS SHOWN ON PARCEL MAP NO. 9104 FILED FOR RECORD ON FEBRUARY 5, 2003 IN BOOK 270 OF MAPS, PAGES 5 & 6, ALAMEDA COUNTY RECORDS WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
4. BASIS OF BEARINGS: THE BEARING OF S 59°28'30" E TAKEN ON THE MONUMENT LINE OF EAST 14TH STREET AS SHOWN ON PARCEL MAP NO. 9104 FILED FOR RECORD ON FEBRUARY 5, 2003 IN BOOK 270 OF MAPS, PAGES 5 & 6, ALAMEDA COUNTY RECORDS WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
5. THE AERIAL MAPPING WAS PREPARED USING COMPUTER ASSISTED, PHOTOGRAMMETRIC METHODS BY H/W GEOSPATIAL, INC. IN OAKLAND CALIFORNIA, JOB NUMBER 10-070. IN AREAS OF DENSE VEGETATION, ACCURACY OF CONTOURS MAY DEVIATE FROM ACCEPTED ACCURACY STANDARDS. DATE OF PHOTOGRAPHY 6-21-10, ORIGINAL COORDINATE MAP SCALE 1"=40', CONTOUR INTERVAL OF 1 FOOT. THE GRID IS BASED ON LOCAL ASSUMED COORDINATE SYSTEM. CONTROL SURVEY PERFORMED BY KIER & WRIGHT, PLEASANTON, CA.

Joseph D. Thompson
 PREPARED BY OR UNDER THE SUPERVISION OF
 JOSEPH D. THOMPSON, L.S. 8121
 LICENSE EXPIRES: 12-31-20



MATCH LINE - SEE SHEET C2.1



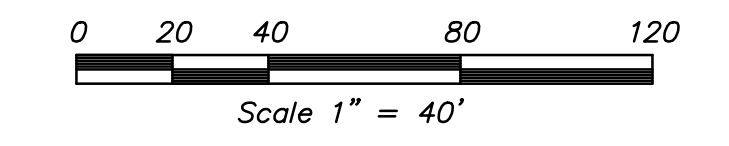
DATE	APRIL, 2020
SCALE	AS SHOWN
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SHEET	C2.0
OF	10 SHEETS

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TOPOGRAPHIC SURVEY
 OF
5441 INTERNATIONAL BOULEVARD
 FOR
BRIDGE DEVELOPMENT

OAKLAND, CALIFORNIA



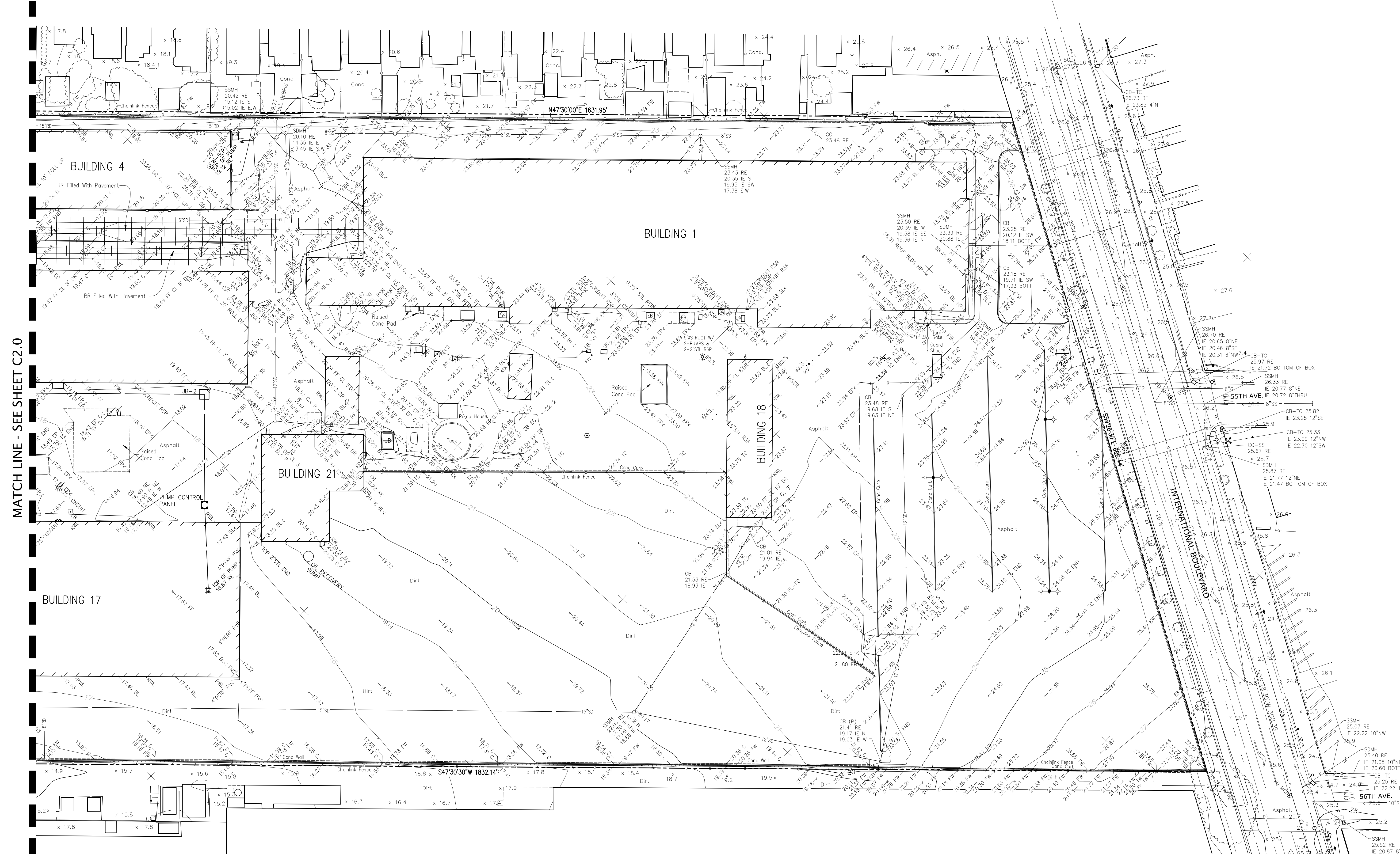
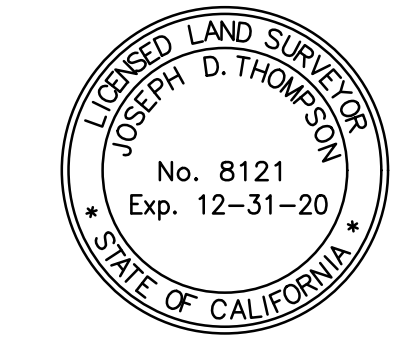
LEGEND

	BUILDING LINE
	CONCRETE CURB
	CONCRETE CURB & GUTTER
	CONTOUR LINE
	EDGE OF PAVEMENT
	DRIVEWAY
	FENCE LINE
	GAS METER
	GUARD RAIL
	LOT LINE
	MONUMENT/MONUMENT LINE
	PROPERTY LINE
	SANITARY SEWER-MANHOLE & CLEANOUT
	SIDE WALL
	SPOT ELEVATION
	STORM DRAIN-MANHOLE & CATCH BASIN
	BACKFLOW PREVENTION DEVICE
	ELECTROLINER
	GROUNDWATER EXTRACTION WELL
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	JUNCTION BOX
	POST INDICATOR VALVE
	POWER POLE/JOIST POLE
	TRAFFIC SIGN
	TREE
	UTILITY BOX
	ANGLE POINT
	AREA DRAIN
	AUTOMATIC SPRINKLER RISER
	BACK FLOW PREVENTION DEVICE
	BUILDING LINE
	BOTTOM OF STAIRS
	BOTTOM OF WALK
	SURVEY CONTROL POINT
	CATCH BASIN
	CONCRETE
	CLEAN OUT
	DOOR
	DRIVEWAY
	DAY LIGHT LINE
	ELECTRIC BOX
	EDGE OF CONCRETE
	EDGE OF PAVEMENT
	EDGE OF WALK
	FACE OF CURB
	FIRE DEPARTMENT CONNECTION
	FOUND MONUMENT
	FINISH FLOOR
	FLOW LINE
	FENCE
	FACE OF WALL
	GUY ANCHOR
	GRADE BREAK
	GAS MARKER/METER
	GROUND
	GAS VALVE
	HANDICAP RAMP
	HIGH POINT
	HEADWALL
	HOSEBIB
	INVERT ELEVATION
	LOW POINT
	LIP OF GUTTER
	MONUMENT TO MONUMENT
	MONITORING WELL
	PAVEMENT
	POST INDICATOR VALVE
	POWER POLE
	RIM ELEVATION
	STORM DRAIN MANHOLE
	STREET LIGHT
	STREET LIGHT BOX
	SANITARY SEWER MANHOLE
	TELEPHONE BOX
	TOP OF CURB
	TREE
	TOP OF STAIRS
	TOP OF WALL
	UNKNOWN UTILITY BOX
	WATER BOX
	WATER METER
	WATER VALVE

NOTES

- THIS IS NOT A BOUNDARY SURVEY. BOUNDARY INFORMATION SHOWN HEREON WAS PREPARED FROM RECORD DATA INFORMATION. NO LIABILITY IS ASSUMED BY KIER & WRIGHT FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY OR TITLE RECORDS NOT SHOWN ON THIS DRAWING.
- ALL DISTANCES SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- BENCHMARK: US&GS STANDARD DISC SET IN A SQUARE CONCRETE POST NEAR THE CENTERLINE OF 54TH AVENUE AND IN THE NORTHEAST SIDE OF THE RAILROAD RIGHT OF WAY IN EAST OAKLAND. NGS PID HTD003. ELEVATION = 11.50 (NAVD83).
- BASIS OF BEARINGS: THE BEARING OF S 59°28'30" E TAKEN ON THE MONUMENT LINE OF EAST 14TH STREET AS SHOWN ON PARCEL MAP NO. 9104 FILED FOR RECORD ON FEBRUARY 5, 2003 IN BOOK 270 OF MAPS, PAGES 5 & 6, ALAMEDA COUNTY RECORDS WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
- THE AERIAL MAPPING WAS PREPARED USING COMPUTER ASSISTED, PHOTOGRAMMETRIC METHODS BY H.W. GEOSPATIAL, INC. IN OAKLAND CALIFORNIA, JOB NUMBER 10-070. IN AREAS OF DENSE VEGETATION, ACCURACY OF CONTOURS MAY DEVIATE FROM ACCEPTED ACCURACY STANDARDS. DATE OF PHOTOGRAPHY 6-21-10, ORIGINAL COMPILED MAP SCALE 1"=40', CONTOUR INTERVAL OF 1 FOOT. THE GRID IS BASED ON LOCAL ASSUMED COORDINATE SYSTEM. CONTROL SURVEY PERFORMED BY KIER & WRIGHT, PLEASANTON, CA.

Joseph D. Thompson
 PREPARED BY OR UNDER THE SUPERVISION OF
 JOSEPH D. THOMPSON, L.S. 8121
 LICENSE EXPIRES: 12-31-20



MATCH LINE - SEE SHEET C2.0

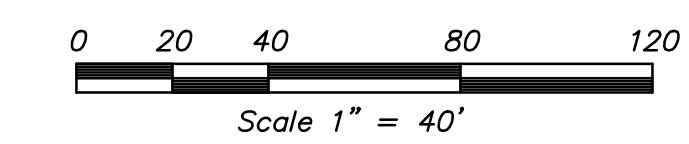
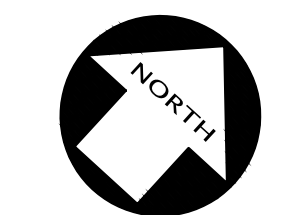
DATE	APRIL, 2020
SCALE	AS SHOWN
DESIGNER	KR
DRAFTER	CC
JOB NO.	A18535
SHEET	C2.1
OF	10 SHEETS

TOPOGRAPHIC SURVEY
 OF
 5441 INTERNATIONAL BOULEVARD
 FOR
 BRIDGE DEVELOPMENT

KIER & WRIGHT
 CIVIL ENGINEERS & SURVEYORS, INC.
 2850 Collier Canyon Road
 Livermore, California 94551
 Phone (925) 245-8788
 Fax (925) 245-8796
 www.kierwright.com



REVISION	NO.	DATE	DESCRIPTION
REVISION	12.06.2019	ENTITLEMENT SUBMITTAL	
REVISION	04.17.2020	ENTITLEMENT SUBMITTAL	



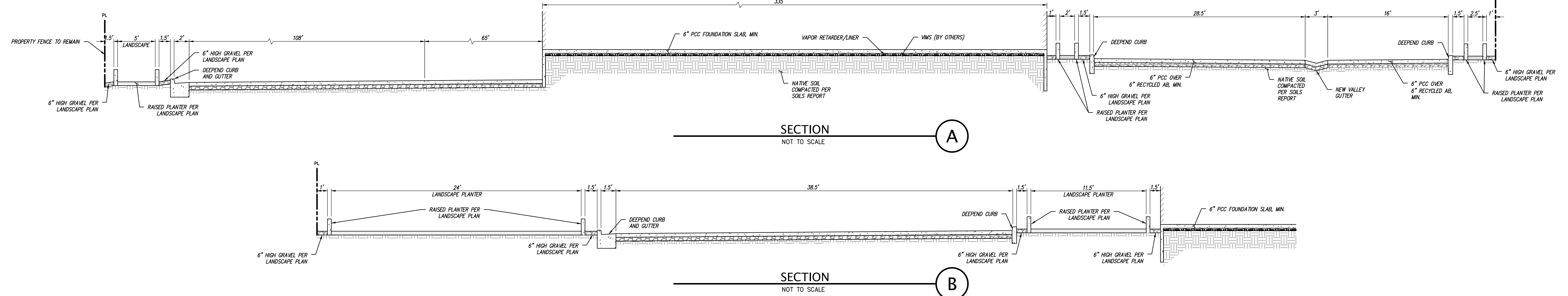
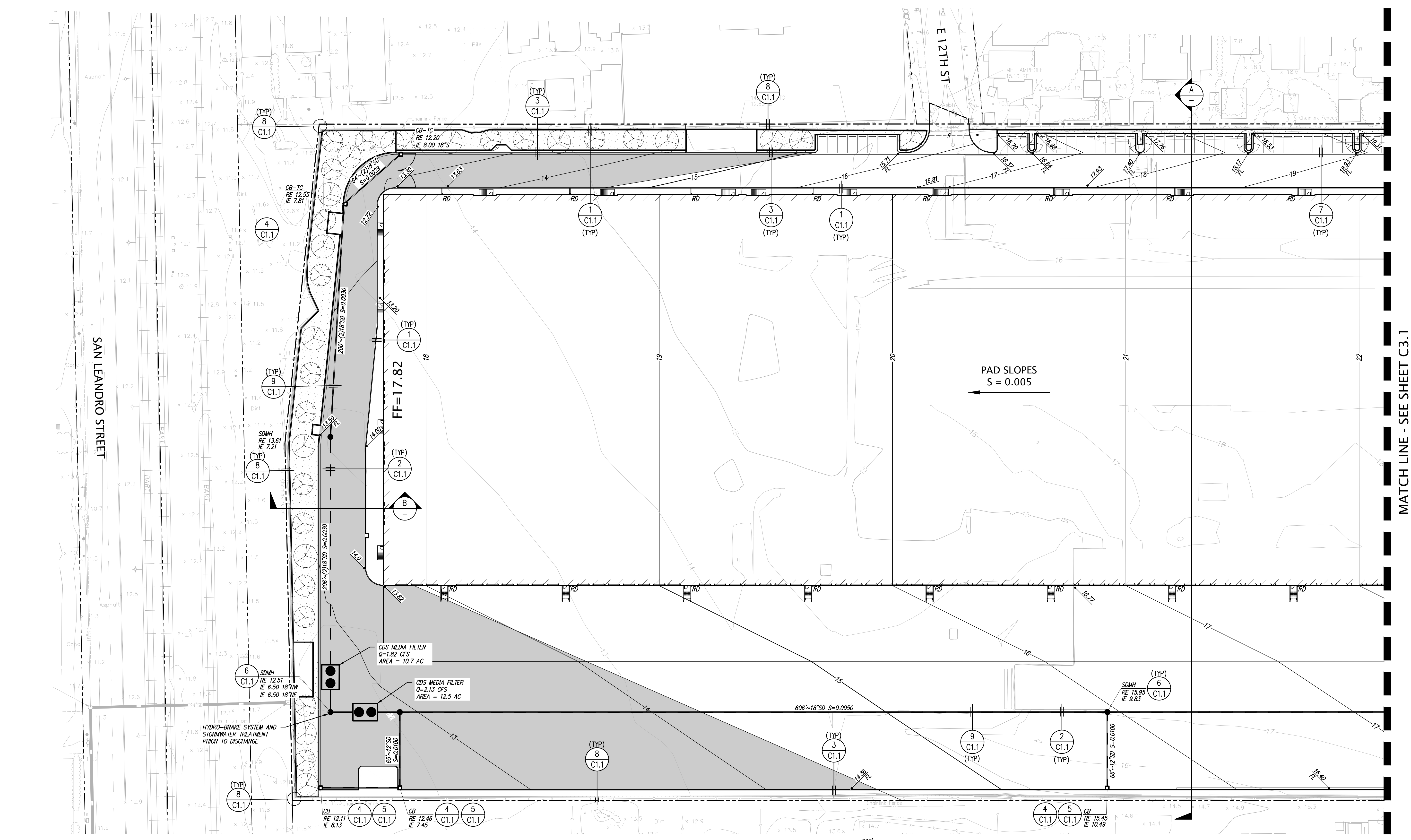
LEGEND

- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- STORM DRAIN CLEANOUT
- FL FLOW LINE
- FF FINISH FLOOR
- PV PAVEMENT
- RE RIM ELEVATION
- 2.3.8 SPOT ELEVATION
- S^{SD} STORM DRAIN LINE
- TC TOP OF CURB

POTENTIAL SURFACE PONDING AREA (DEPTH VARIES FROM 5" TO 12")

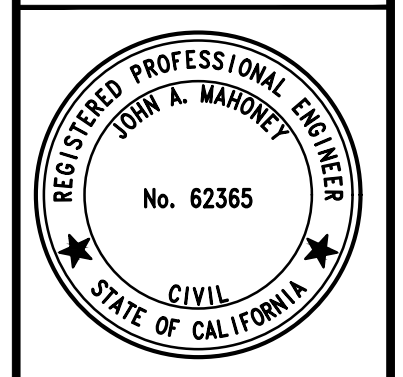
NOTE:

1. EXISTING WALLS ARE TO REMAIN AND PROTECT IN PLAN UNTIL NEW PAVEMENT AND LANDSCAPE GRADING ARE COMPLETED AND INSTALLED.
2. STORMWATER MANAGEMENT AND SEDIMENT REMOVAL APPROACH TO BE DEVELOPED PENDING HYDRAULIC ANALYSIS TO MEET LOCAL AND STATE REQUIREMENTS. SURFACE PONDING WITH THE USE OF HYDRO-BRAKE SYSTEM SHOWN HERE IS ONE POTENTIAL ALTERNATIVE UNDER CONSIDERATION.



NO.	BY	DATE	REVISION
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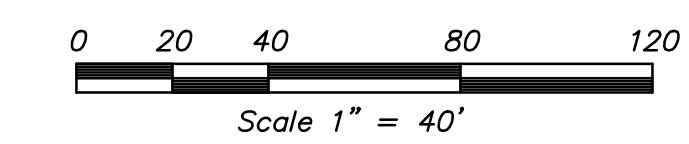
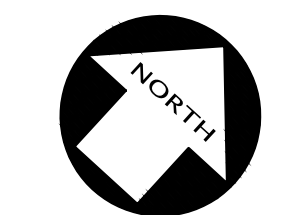
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CALIFORNIA
PRELIMINARY GRADING & DRAINAGE PLAN
 OF
5441 INTERNATIONAL BOULEVARD
 FOR
BRIDGE DEVELOPMENT
 OAKLAND.

DATE	APRIL, 2020
SCALE	AS SHOWN
DESIGNER	KR
DRAFTER	CC
JOB NO.	A18535
SHEET	C3.0
OF	10 SHEETS

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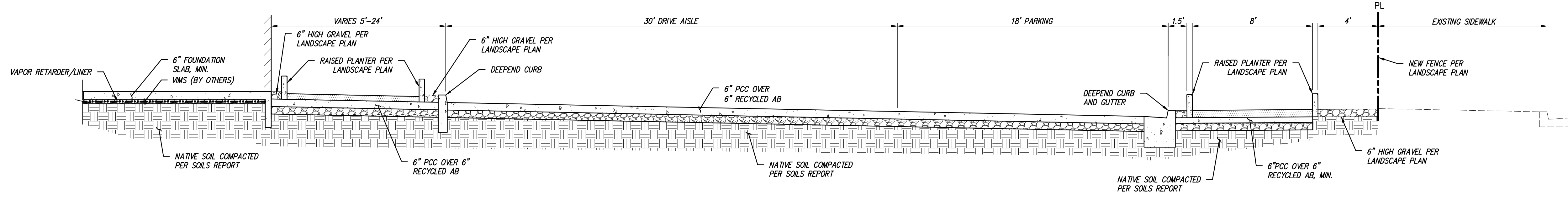
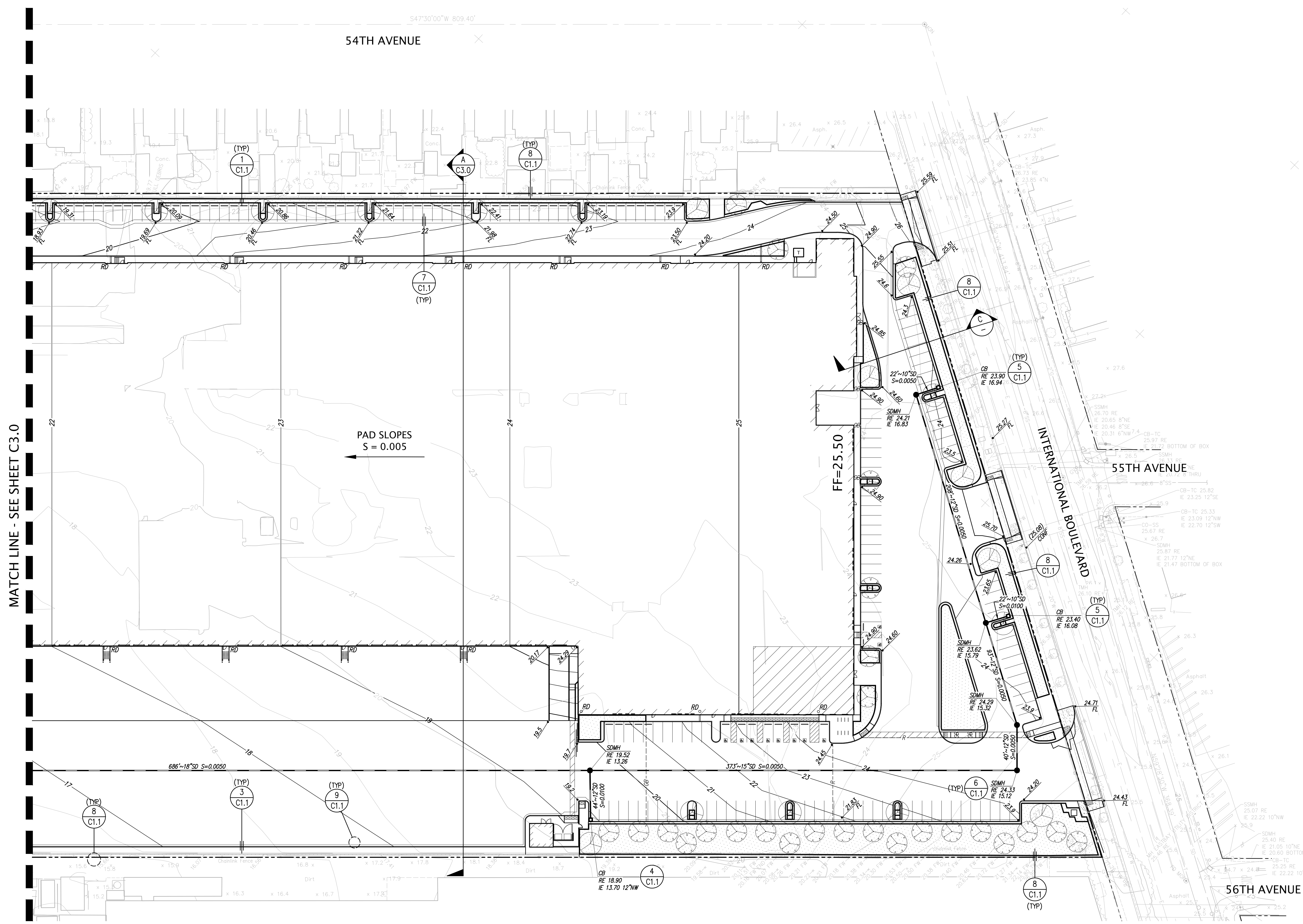


LEGEND

- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- STORM DRAIN CLEANOUT
- FL FLOW LINE
- FF FINISH FLOOR
- PV PAVEMENT
- RE RIM ELEVATION
- 23.8 SPOT ELEVATION
- X-SP STORM DRAIN LINE
- TC TOP OF CURB

NOTE:

1. EXISTING WALLS ARE TO REMAIN AND PROTECT IN PLAN UNTIL NEW PAVEMENT AND LANDSCAPE GRADING ARE COMPLETED AND INSTALLED.
2. STORMWATER MANAGEMENT AND SEDIMENT REMOVAL APPROACH TO BE DEVELOPED. PENDING HYDRAULIC ANALYSIS TO MEET LOCAL AND STATE REQUIREMENTS. SURFACE PONDING WITH THE USE OF HYDRO-BRAKE SYSTEM SHOWN HERE IS ONE POTENTIAL ALTERNATIVE UNDER CONSIDERATION.



SECTION C

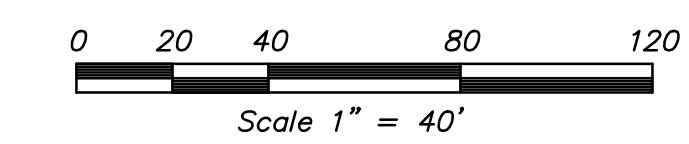
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2	[Signature]	04.17.2020	ENTITLEMENT SUBMITTAL	
3	[Signature]			
4	[Signature]			
5	[Signature]			

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. 2850 Collier Canyon Road Livermore, California 94551 Phone (925) 245-8788 Fax (925) 245-8796 www.kierwright.com	 REGISTERED PROFESSIONAL ENGINEER CIVIL STATE OF CALIFORNIA
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PRELIMINARY GRADING & DRAINAGE PLAN OF 5441 INTERNATIONAL BOULEVARD FOR BRIDGE DEVELOPMENT	CALIFORNIA OAKLAND
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DATE	APRIL, 2020
SCALE	AS SHOWN
DESIGNER	KR
DRAFTER	CC
JOB NO.	A18535
SHEET	C3.1
OF	10 SHEETS

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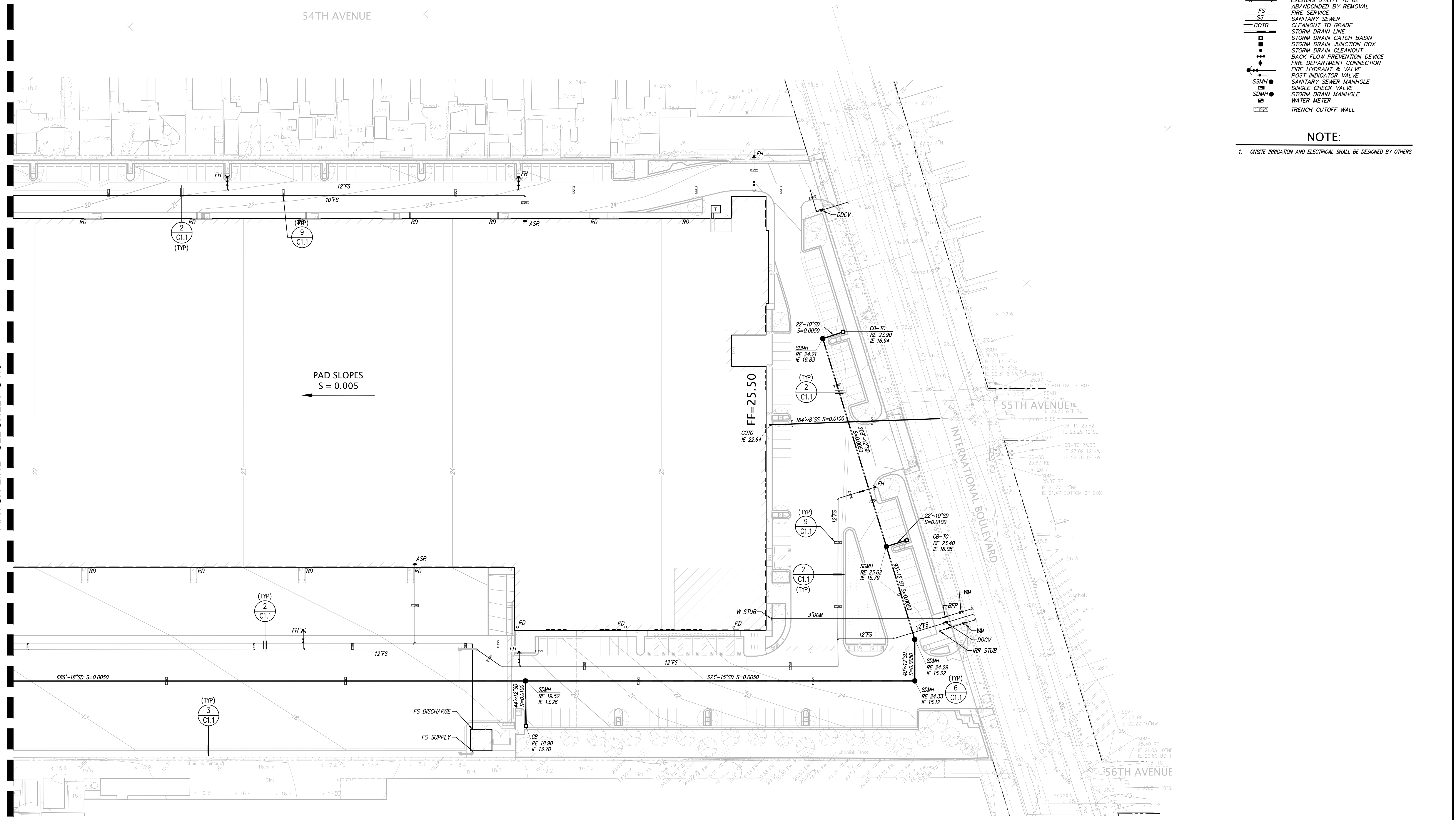
LEGEND

- ASR AUTOMATIC SPRINKLER RISER
- RE RIM ELEVATION
- IE INVERT ELEVATION
- TC TOP OF CURB
- WS WATER SERVICE
- EXISTING UTILITY TO BE ABANDONED BY REMOVAL
- FS FIRE SERVICE
- SS SANITARY SEWER
- CLEANOUT TO GRADE
- STORM DRAIN LINE
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN CLEANOUT
- BACK FLOW PREVENTION DEVICE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT & VALVE
- POST INDICATOR VALVE
- SANITARY SEWER MANHOLE
- SINGLE CHECK VALVE
- STORM DRAIN MANHOLE
- WATER METER
- TRENCH CUTOFF WALL

NOTE:

1. ON-SITE IRRIGATION AND ELECTRICAL SHALL BE DESIGNED BY OTHERS

MATCH LINE - SEE SHEET C4.0



PAD SLOPES
S = 0.005

FF=25.50

NO.	REV.	DESCRIPTION
1	A	12.06.2019 - ENTITLEMENT SUBMITTAL
2	B	04.17.2020 - ENTITLEMENT SUBMITTAL

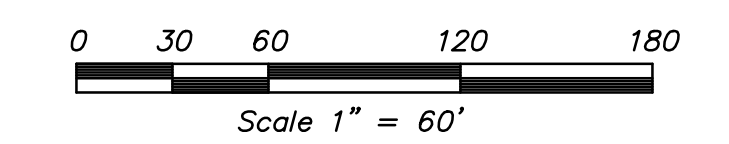
KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. 2850 Collier Canyon Road Livermore, California 94551 Phone (925) 245-8788 Fax (925) 245-8796 www.kierwright.com	 REGISTERED PROFESSIONAL ENGINEER CIVIL STATE OF CALIFORNIA No. 62385
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PRELIMINARY UTILITY PLAN
 5441 INTERNATIONAL BOULEVARD
 FOR
 BRIDGE DEVELOPMENT

OAKLAND, CALIFORNIA

DATE	APRIL, 2020
SCALE	AS SHOWN
DESIGNER	KR
DRAFTER	CC
JOB NO.	A18535
SHEET	C4.1
OF	10 SHEETS

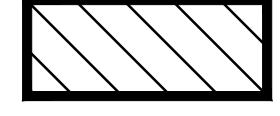

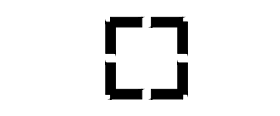

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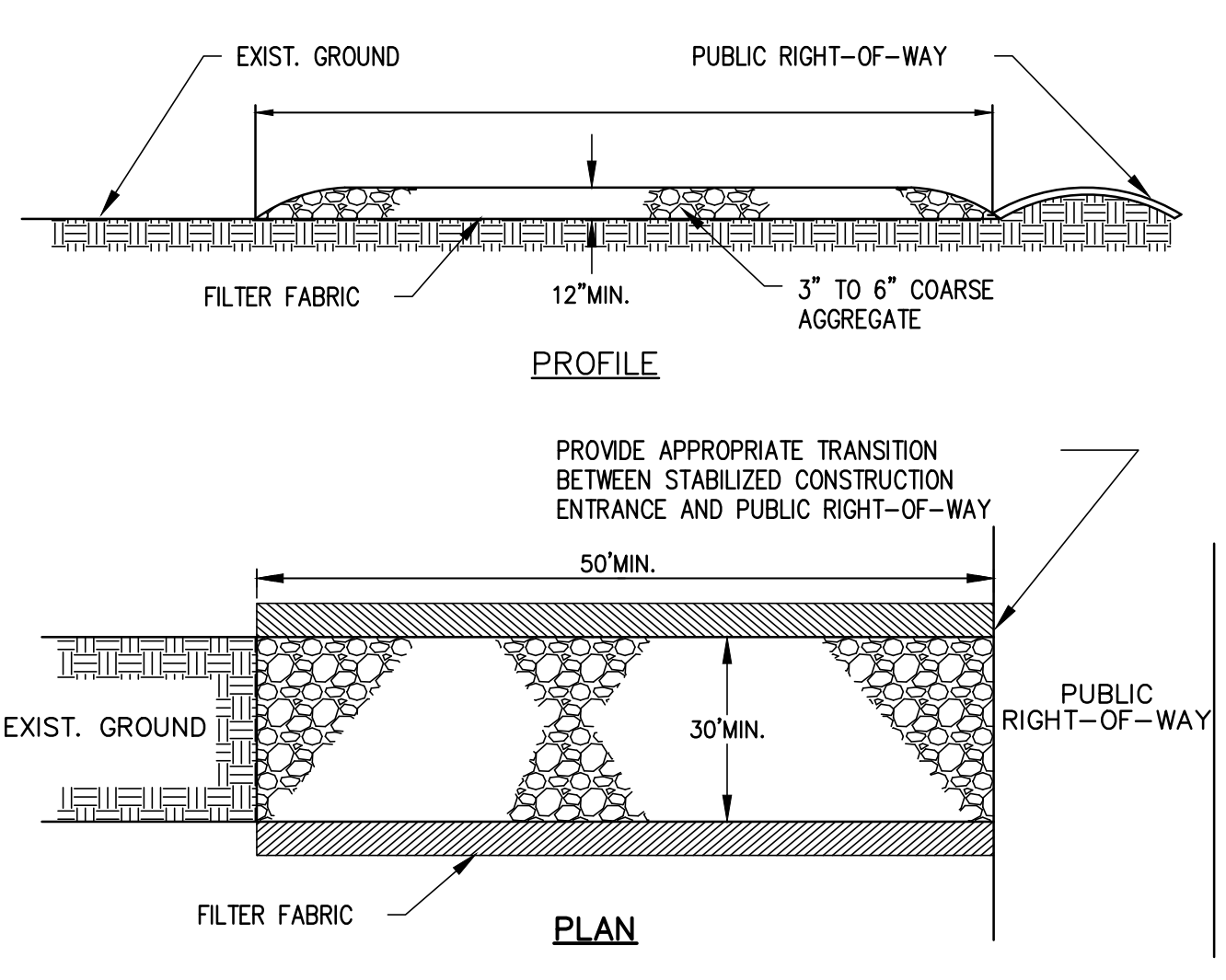
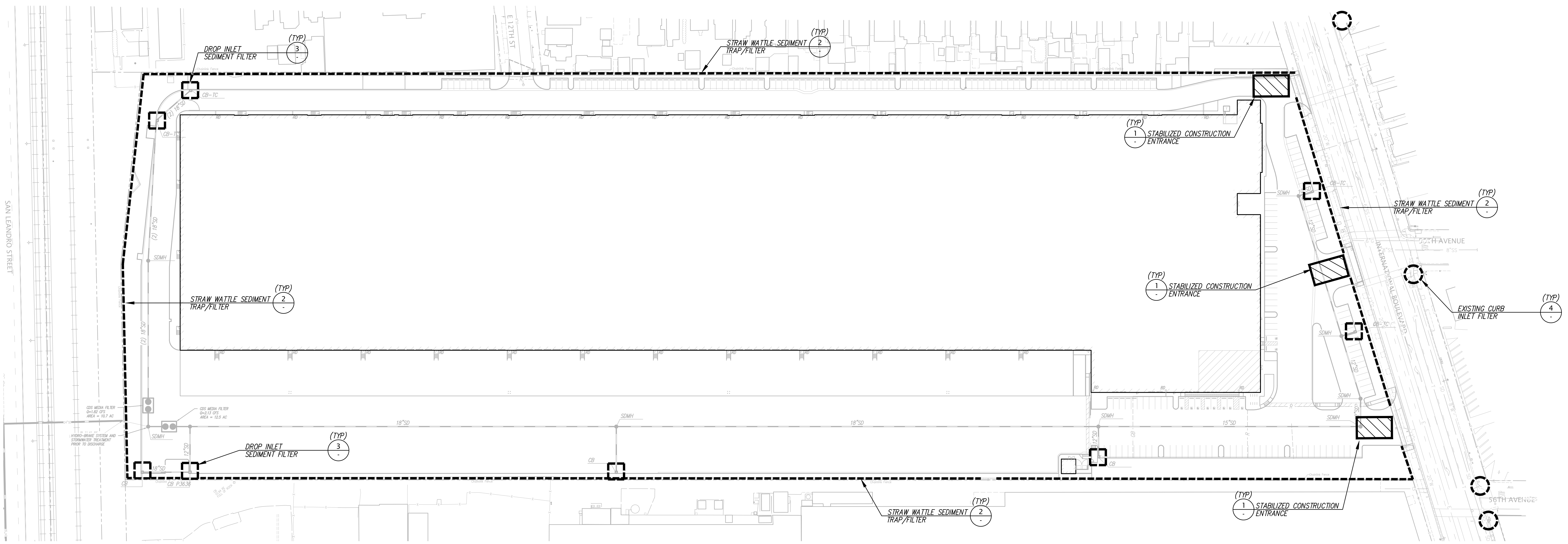


NOTE

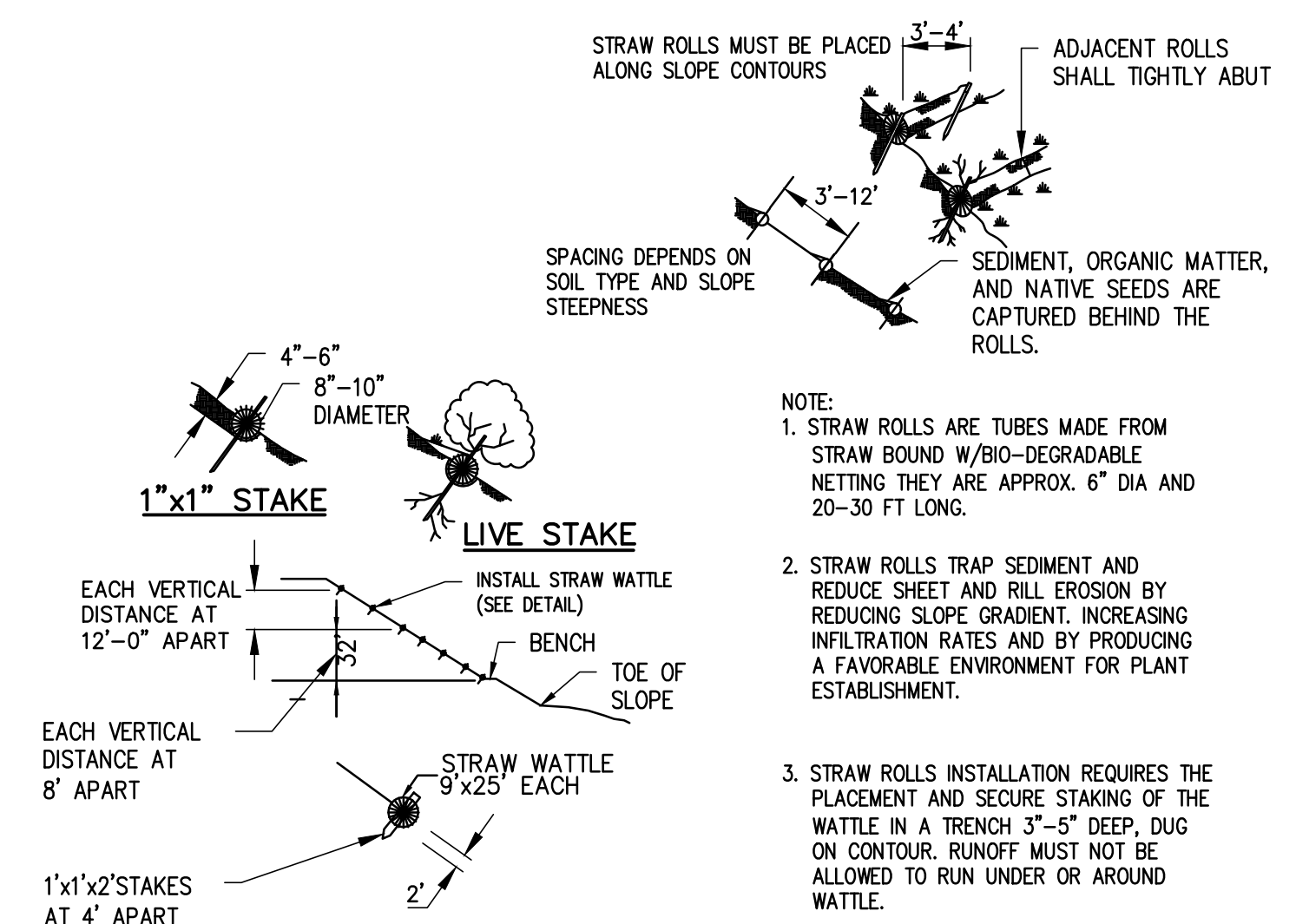
PRIOR TO AND DURING THE CONSTRUCTION OF THE NEW STORM DRAIN SYSTEM, ALL ON-SITE STORMWATER RUNOFF WILL BE RETAINED ON-SITE BY THE EXISTING CONCRETE CURBS AT THE SITE PERIMETER AND THE DRIVEWAY BERMS.

LEGEND

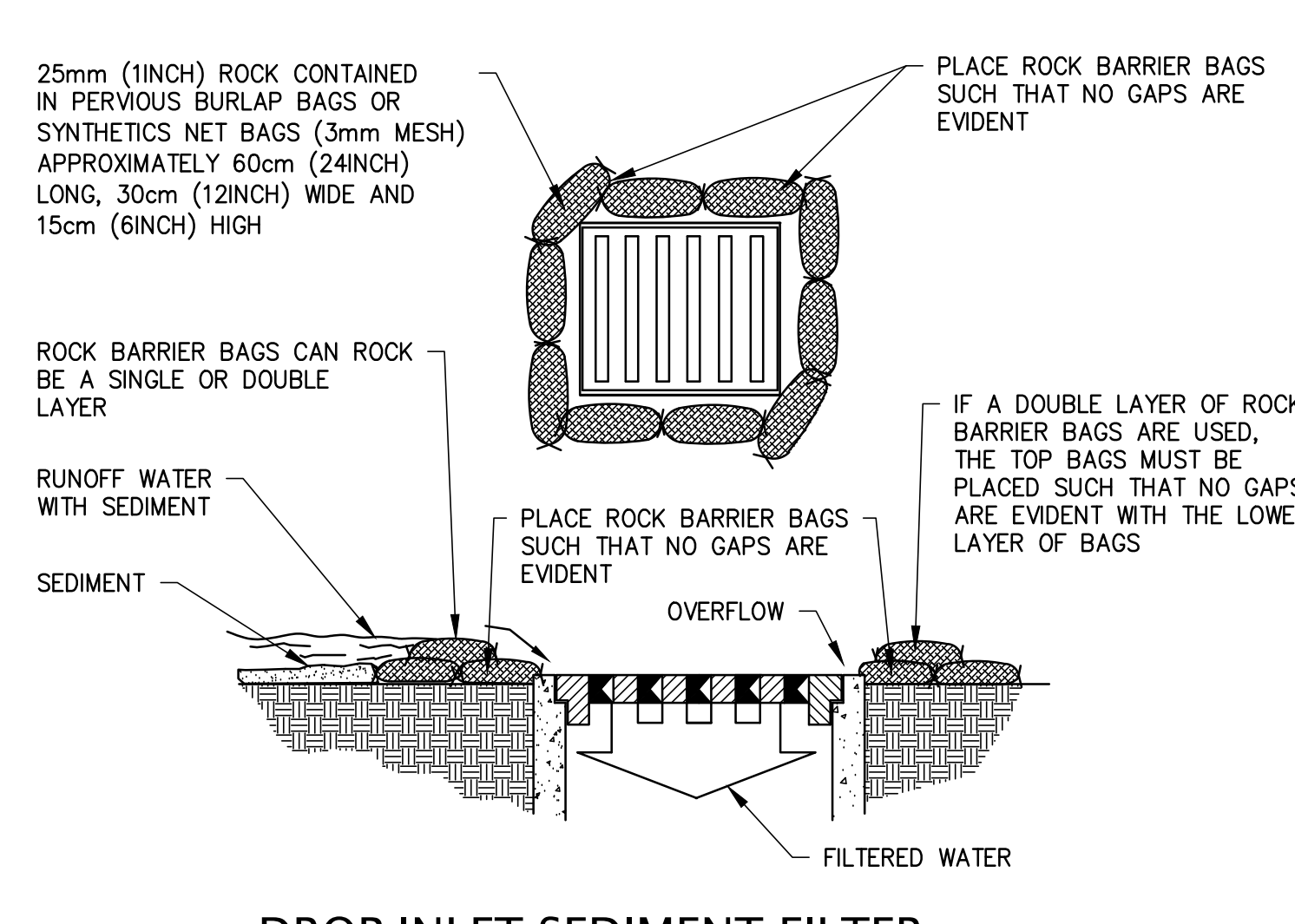
-  1 STABILIZED CONSTRUCTION ENTRANCE
-  2 STRAW WATTLE SEDIMENT TRAP/FILTER
-  3 DROP INLET SEDIMENT FILTER
-  4 EXISTING CURB INLET FILTER



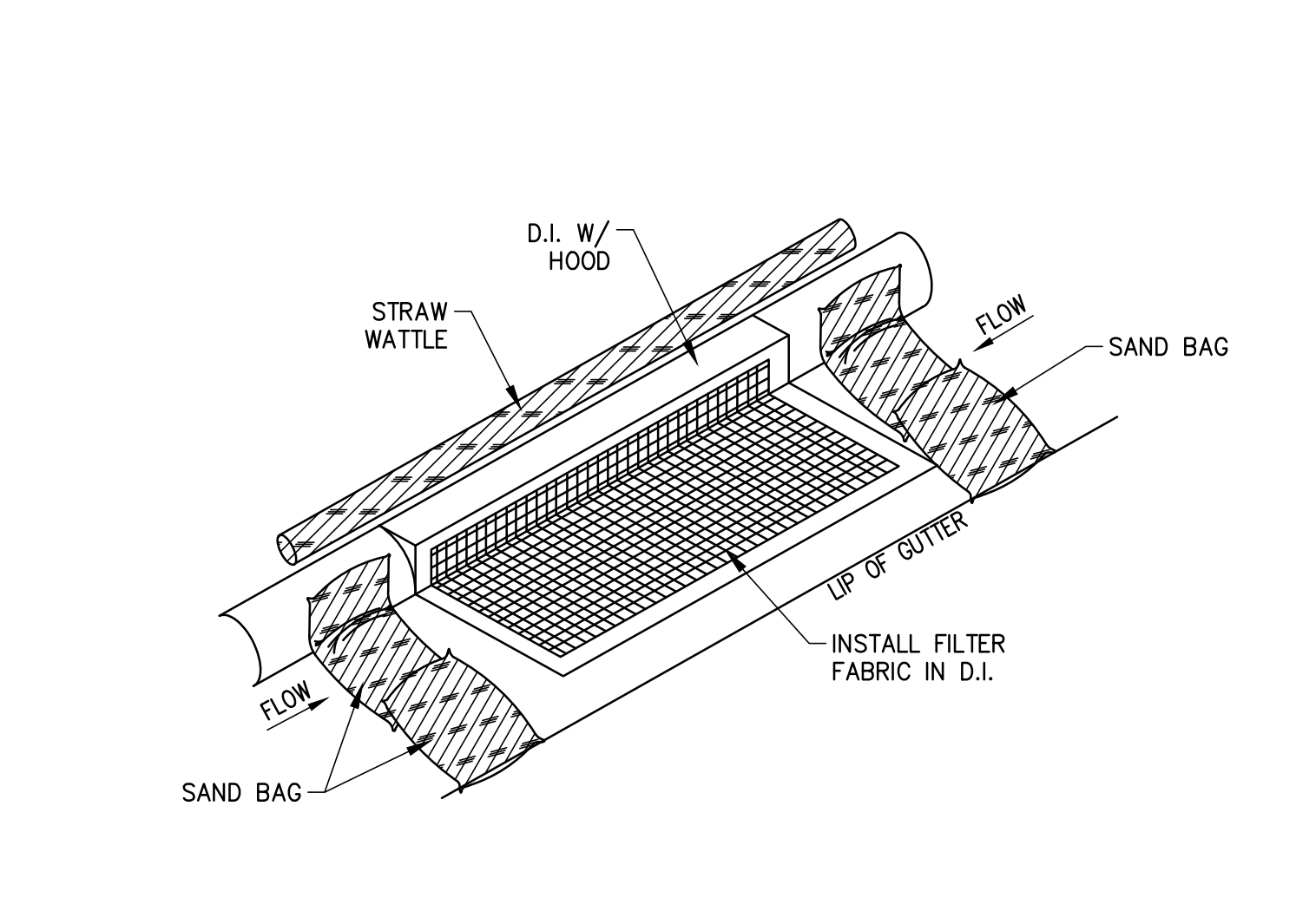
STABILIZED CONSTRUCTION ENTRANCE (1)
NOT TO SCALE



STRAW WATTLE (2)
NOT TO SCALE



DROP INLET SEDIMENT FILTER UTILIZING ROCK BARRIER BAGS (3)
NOT TO SCALE



EXISTING CURB INLET FILTER DETAIL (4)
NOT TO SCALE

NO.	BY	REVISION
1		12.06.2019 - ENTITLEMENT SUBMITTAL
2		04.17.2020 - ENTITLEMENT SUBMITTAL
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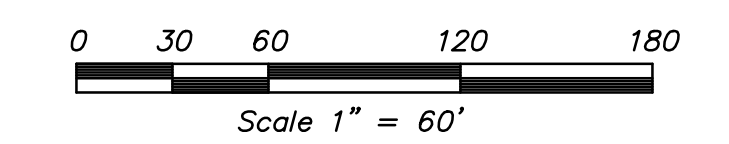
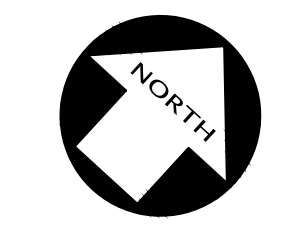
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KIER & WRIGHT
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 2850 Collier Canyon Road
 Livermore, California 94551
 www.kierwright.com
 Fax (925) 245-8796

REGISTERED PROFESSIONAL ENGINEER
 JOHN L. MADONNET
 No. 62385
 CIVIL
 STATE OF CALIFORNIA

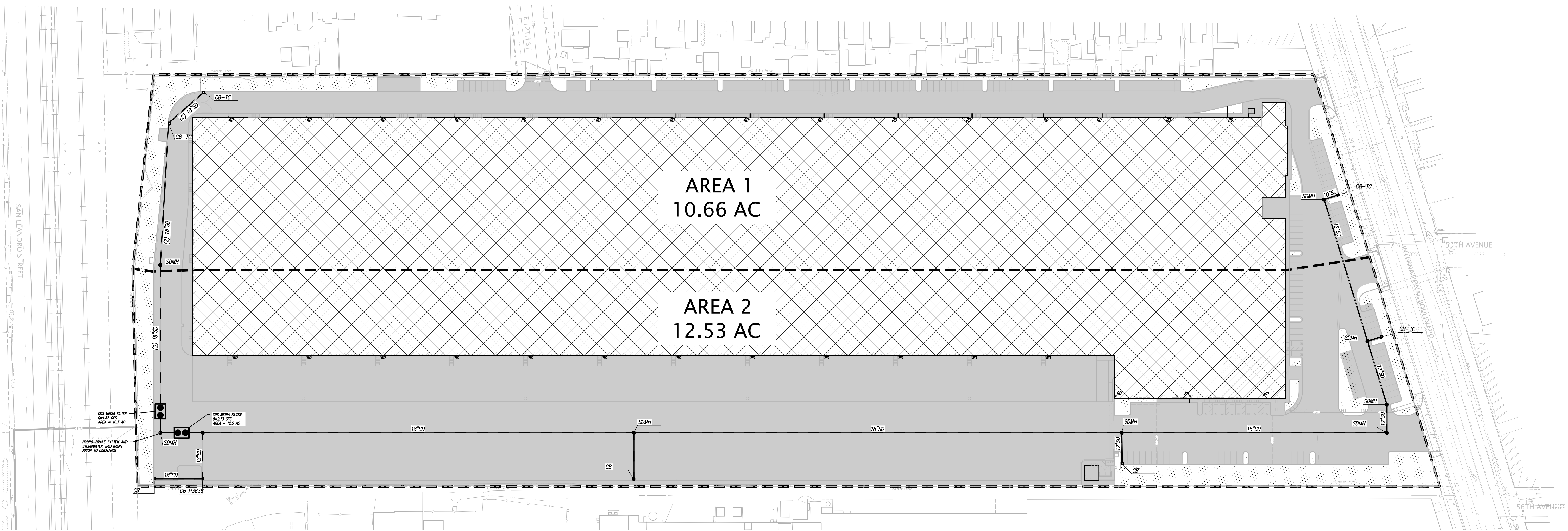
CALIFORNIA
 PRELIMINARY EROSION CONTROL PLAN
 OF
 5441 INTERNATIONAL BOULEVARD
 FOR
 BRIDGE DEVELOPMENT
 OAKLAND.

DATE	APRIL, 2020
SCALE	AS SHOWN
DESIGNER	KR
DRAFTER	CC
JOB NO.	A18535
SHEET	C5.0
OF	10 SHEETS



LEGEND

- TRIBUTARY AREA LIMITS
- LANDSCAPE AREA
- IMPERVIOUS ROOFTOP DRAINING TO CDS MEDIA FILTER
- IMPERVIOUS PAVEMENT DRAINING TO CDS MEDIA FILTER



NO.	BY	REVISION							
1	BT	12.06.2019 - ENTITLEMENT SUBMITTAL	1	1	1	1	1	1	1
2	BT	04.17.2020 - ENTITLEMENT SUBMITTAL	1	1	1	1	1	1	1
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 2850 Collier Canyon Road
 Livermore, California 94551
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 www.kierwright.com

PRELIMINARY STORM WATER QUALITY CONTROL PLAN
 OF
5441 INTERNATIONAL BOULEVARD
 FOR
BRIDGE DEVELOPMENT

CALIFORNIA
OAKLAND.

DATE	APRIL, 2020
SCALE	AS SHOWN
DESIGNER	KR
DRAFTER	CC
JOB NO.	A18535
SHEET	C6.0
OF	10 SHEETS

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GENERAL NOTES

- PLANS ARE BASED UPON CIVIL DRAWINGS PREPARED BY HERDMAN ARCHITECTURE & DESIGN AND KIER WRIGHT CIVIL ENGINEERING. CONTRACTOR SHALL REVIEW THESE DOCUMENTS, CONFIRM ALL DIMENSIONS AND ELEVATIONS AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES, EITHER ON THE PLANS OR OBSERVED IN THE FIELD PRIOR TO COMMENCING WORK.
- ALL WORK SHALL BE PERFORMED BY QUALIFIED LICENSED CONTRACTORS OR SUBCONTRACTORS HAVING AT LEAST 5 YEARS EXPERIENCE WITH SIMILAR PROJECTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND PAYING ALL FEES RELATED TO THE SCOPE OF WORK, UNLESS STATED OTHERWISE IN THE CONTRACT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK WITH THAT OF OTHER SUBCONTRACTORS ON THE SITE TO AVOID CONFLICTS WITH WORK SEQUENCE AND DELAYS IN THE PROGRESS OF WORK BY OTHERS.
- CODES AND STANDARDS: ALL WORK SHALL BE IN ACCORDANCE WITH STANDARDS STATED IN THE PROJECT SPECIFICATIONS AND ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES, INCLUDING BUT NOT LIMITED TO:
 AMERICAN DISABILITIES ACT
 UNIFORM BUILDING CODE
 2016 CALIFORNIA BUILDING CODE
 CALIFORNIA STATE TITLE 24
 CALIFORNIA STATE BOARD OF CONSUMER AFFAIRS FOR AREAS OF WORK GOVERNED BY APPLICABLE LICENCE REQUIREMENTS
 CITY OF OAKLAND
 ALAMEDA COUNTY
- CONSTRUCTION LAYOUT: CONTRACTOR SHALL STAKE IN THE FIELD ALL ITEMS SHOWN ON THESE PLANS TO BE CONSTRUCTED FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. IF CONFLICTS BETWEEN PROPOSED CONSTRUCTION AND EXISTING SURFACE AND SUBSURFACE CONDITIONS ARE APPARENT, NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY AND DO NOT PROCEED WITH WORK UNTIL AUTHORIZED TO PROCEED. ALL CHANGES TO PROPOSED CONSTRUCTION WORK MUST BE AUTHORIZED BY LANDSCAPE ARCHITECT IN WRITING. UNAUTHORIZED WORK SHALL BE SUBJECT TO REMOVAL AND PROPERLY CONSTRUCTED IN ACCORDANCE WITH CONDITIONS IDENTIFIED ON THE DRAWINGS AND PROJECT SPECIFICATIONS OR AS AMENDED IN WRITING BY THE LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- GRADING AND DRAINAGE: CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH ALL RELATED PLANS, DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING WORK, INCLUDING BUT NOT LIMITED TO: ARCHITECTURAL, CIVIL, STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS. NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR OBSTRUCTIONS RELATED TO THE WORK IMMEDIATELY FOR DIRECTIONS OR MODIFICATIONS TO THE PROPOSED PLANS. DO NOT PROCEED WITH WORK WHICH MODIFIES OR CHANGES THE PLANS WITHOUT AUTHORIZATION BY THE OWNER'S REPRESENTATIVE.
- INSPECTIONS: PROVIDE MINIMUM 48 HOURS PRIOR NOTICE TO LANDSCAPE ARCHITECT TO SCHEDULE INSPECTIONS. INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING ITEMS. CONTRACTOR TO MAKE EVERY EFFORT TO COMBINE ITEMS FOR INSPECTION WHENEVER POSSIBLE.
 - PRE-CONSTRUCTION SITE WALK THROUGH
 - CONSTRUCTION LAYOUT
 - GRADING AND FORM WORK
 - IRRIGATION MAINLINES AND VALVING, PRIOR TO BACK FILLING TRENCHES (INCLUDES FULLY PRESSURIZED MAIN LINES)
 - IRRIGATION HEAD LAYOUT PRIOR TO INSTALLATION AND PLANTING LAYOUT PRIOR TO INSTALLATION
- SUBMITTALS: CONTRACTOR SHALL ALLOW 21 DAYS REVIEW BY OWNER'S REPRESENTATIVE FOR APPROVAL OF SUBMITTAL ITEMS. CONTRACTOR TO IDENTIFY LEAD TIMES FOR PRODUCTION, MANUFACTURE AND DELIVERY OF ALL SUBMITTAL ITEMS IDENTIFIED IN THE SPECIFICATIONS AND PROVIDE ADEQUATE TIME FOR REVIEW BY OWNER'S REPRESENTATIVE. DELAYS TO THE WORK SCHEDULE RESULTING FROM INADEQUATE TIME TO REVIEW SUBMITTAL ITEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THESE PLANS COMPLY WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENCY ORDINANCE AND APPLY THOSE CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

LAYOUT NOTES

- DIMENSIONS ARE TO FACE OF CURB, FACE OF WALL, FACE OF COLUMN, AND EDGE OF PAVING UNLESS OTHERWISE NOTED.
- VERIFY EXISTING AND NEW UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ANY CONFLICTS OR DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- AFTER NOTIFYING UNDERGROUND SERVICE ALERT AND HAVING MARKED & LOCATED UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE WHICH UTILITIES, IF ANY, HAVE BEEN ABANDONED BY EACH SPECIFIC UTILITY COMPANY.
- NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR OBSTRUCTIONS RELATED TO THE WORK IMMEDIATELY FOR DIRECTIONS OR MODIFICATIONS TO THE PROPOSED PLANS. DO NOT PROCEED WITH WORK WHICH MODIFIES OR CHANGES THE DESIGN WITHOUT AUTHORIZATION BY OWNER'S REPRESENTATIVE.
- STAKE PROPOSED IMPROVEMENTS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- COORDINATE ALL CONSTRUCTION ELEMENTS PRIOR TO INSTALLATION. VERIFY CRITICAL DIMENSIONS, REFERENCE, AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING WORK.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY HIS OPERATIONS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE WITHOUT ANY ADDITIONAL CHARGE.
- CONTRACTOR SHALL NOT PLACE ANY PAVING WITHOUT APPROVAL OF FORMWORK BY THE OWNER'S REPRESENTATIVE. NOTIFY OWNER'S REPRESENTATIVE IF THERE IS ANY DISCREPANCY BETWEEN EXISTING CONDITIONS & PROPOSED GRADING OR LAYOUT. ANY UN-APPROVED CONCRETE POURED NOT CONSISTENT WITH PLANS OR EXISTING CONDITIONS WILL BE REMOVED & REPLACED AT CONTRACTOR'S EXPENSE.

PLANTING AND SOIL PREPARATION NOTES

- ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH PLANTING WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
- SOIL MANAGEMENT REPORT: CONTRACTOR SHALL FURNISH SOIL ANALYSIS BY A QUALIFIED SOIL-TESTING LABORATORY FOR ALL IMPORT TOPSOIL AND ANY ON-SITE TOPSOIL TO REMAIN. SOIL ANALYSIS TO INCLUDE SOIL TEXTURE, INFILTRATION RATE, PH, TOTAL SOLUBLE SALTS, SODIUM, ESSENTIAL NUTRIENTS, AND PERCENT ORGANIC MATTER. SOIL ANALYSIS LAB TO MAKE RECOMMENDATIONS FOR AMENDING THE TOPSOIL WITH COMPOST TO BRING ORGANIC MATTER TO A MINIMUM OF 5% DRY WEIGHT WITH A MINIMUM OF 4 CUBIC YARDS COMPOST PER 1000 SQUARE FEET (1.3" COMPOST PER 1000SF) AND INCORPORATING NON-SYNTHETIC FERTILIZERS TO RECOMMENDED LEVELS FOR PLANTING AREA. TESTING OF IMPORT TOPSOIL SHALL OCCUR PRIOR TO PLACEMENT.
- CONTRACTOR SHALL AMEND IMPORT TOPSOIL AND ANY ON-SITE TOPSOIL PER THE RECOMMENDATIONS OF THE SOIL ANALYSIS.
- INSTALLATION OF IMPORT TOPSOIL: AMEND LOOSENEED SOIL AS RECOMMENDED IN THE SOILS REPORT. PLACE 9-INCHES OF IMPORTED PLANTING TOPSOIL IN 3-INCH LIFTS. ROTOTILL THE REMAINING LIFTS INTO THE PREVIOUS LIFTS A MINIMUM OF 2-INCHES. SOIL SHALL BE IN A MOIST, NOT WET, CONDITION AT TIME OF MIXING. DO NOT AMEND OR INSTALL IMPORT TOPSOIL WHEN SOIL OR SUBGRADE IS MUDDY, FROZEN, OR EXCESSIVELY WET.
- ALL BOXED MATERIALS SHALL BE HAND-PICKED AND TAGGED BY THE LANDSCAPE ARCHITECT AT THEIR PLACE OF ORIGIN. BOXED MATERIALS PLANTED WITHOUT SELECTION BY LANDSCAPE ARCHITECT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE OWNER.
- PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD BY THE OWNER'S REPRESENTATIVE. PLANT LOCATIONS ARE TO BE ADJUSTED IN THE FIELD AS NECESSARY TO SCREEN UTILITIES BUT NOT SIGNS NOR TO IMPEDE ACCESS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS, AND DELETIONS IN THE PLANTING SCHEME AS THEY FEEL NECESSARY WHILE WORK IS IN PROGRESS UPON APPROVAL OF THE OWNER. SUCH CHANGES ARE TO BE ACCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE IF NECESSARY.
- ALL TREES ARE TO BE STAKED AS SHOWN ON THE TREE STAKING DIAGRAMS. BRANCHING HEIGHT OF TREES SHALL BE A 6'-0" MINIMUM ABOVE FINISH PAVING. ALL TREES IN A FORMAL GROUP PLANTING SHALL BE MATCHING IN SIZE AND SHAPE. LANDSCAPE ARCHITECT SHALL BE CONSULTED REGARDING ORIENTATION OF TREES PRIOR TO PLANTING AND/OR BACKFILLING. TREES INSTALLED WITHOUT THIS APPROVAL WILL BE SUBJECT TO REMOVAL AND REPLANTING TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- TREES MUST HAVE AN UN-CUT LEADER WITH A UNIFORM TAPER FROM BASE TO TIP. TREES MUST MEET AT LEAST NORMAL CALIPER AND HEIGHT FOR CONTAINER SIZE. TREES WHICH ARE OVERGROWN, UNDERSIZED, ROOT BOUND, OR WITH CO-DOMINANT LEADERS ARE NOT ACCEPTABLE AND SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- PLANT COUNT IS FOR THE CONVENIENCE OF THE CONTRACTOR. IN CASE OF DISCREPANCIES, THE PLAN SHALL GOVERN.
- ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF MULCH. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING.

UTILITY NOTES

- REFER TO CIVIL DRAWINGS FOR GENERAL UTILITIES REQUIREMENTS, INCLUDING IRRIGATION LINES AND TRENCH. SEE SHEET C1.1
- ALL UTILITY TRENCHES AND BELOW-GROUND FEATURES SHALL BE INSTALLED WITH IMPORT BACKFILL "CLEAN CORRIDORS" IN ACCORDANCE WITH THE RDIP ADDENDUM SECTION 2.25 AND 3.11 AND IMPORT FILL REQUIREMENTS. MARKER FABRIC SHALL BE PLACED AT THE INTERFACE BETWEEN IMPORT FILL AND NATIVE SOIL. SEE CIVIL DRAWING SHEET C2.0.

ABBREVIATIONS

AD	AREA DRAIN	MIN	MINIMUM
ADJ	ADJACENT	MFR	MANUFACTURER
AGG	AGGREGATE	(N)	NEW
AL	ALIGN	NTS	NOT TO SCALE
BR	BOTTOM OF RAMP	OC	ON CENTER
BS	BOTTOM OF STAIR	PA	PLANTING AREA
BW	BOTTOM OF WALL	PN	PROJECT NORTH
CB	CATCH BASIN	POB	POINT OF BEGINNING
CIP	CAST IN PLACE	PTDS	PRESSURE TREATED DOUG FIR
CJ	CONTROL JOINT	R	RISER
CL	CENTERLINE	RE	RIM ELEVATION
CLR	CLEARANCE	ROW	RIGHT OF WAY
CO	CLEAN OUT	SAD	SEE ARCHITECTURAL DRAWINGS
CONC	CONCRETE	SCD	SEE CIVIL ENGINEERING DRAWINGS
CONF	CONFIGURATION	SDS	STORM DRAIN SYSTEM
CONT	CONTINUOUS	SED	SEE ELECTRICAL ENGINEERING DRAWINGS
DBH	DIAMETER AT BREAST HT	SD	STORM DRAIN
DG	DECOMPOSED GRANITE	SIM	SIMILAR
DWG	DRAWING(S)	SJ	SCORE JOINT
(E)	EXISTING	SMD	SEE MECHANICAL ENGINEERING DRAWINGS
EJ	EXPANSION JOINT	SPECS	SPECIFICATIONS
EQ	EQUAL	SS	STRUCTURAL SLAB
EW	EACH WAY	SSD	SEE STRUCTURAL ENGINEERING DRAWINGS
FF	FINISH FLOOR	SST	STAINLESS STEEL
FG	FINISHED GRADE	STL	STEEL
FOB	FACE OF BUILDING	TC	TOP OF CURB
FOW	FACE OF WALL	TF	TOP OF FENCE
FP	FINISH PAVING	THLD	THRESHOLD
GAL	GALLON	TP	TOP OF PLANTER
GFRC	GLASS FIBER REINFORCED CONCRETE	TR	TOP OF RAMP
GB	GRADE BREAK	TS	TOP OF STAIR
HP	HIGH POINT	TW	TOP OF WALL
HPS	HIGH POINT SWALE	TYP	TYPICAL
HT	HEIGHT	UON	UNLESS OTHERWISE NOTED
IE	INVERT ELEVATION	VIF	VERIFY IN FIELD
INT	INTERSECTION	WPM	WATERPROOF MEMBRANE
INV	INVERT	WP	WATERPROOFING
LT	LIGHT		
MAX	MAXIMUM		

SHEET LIST	
SHEET NUMBER	SHEET TITLE
L0.01	COVER SHEET
L1.01	CONCEPTUAL LANDSCAPE PLAN
L1.02	CONCEPTUAL LANDSCAPE PLAN
L2.01	CONCEPTUAL IRRIGATION PLAN
L2.02	CONCEPTUAL IRRIGATION PLAN
L3.01	PLANT PALETTE

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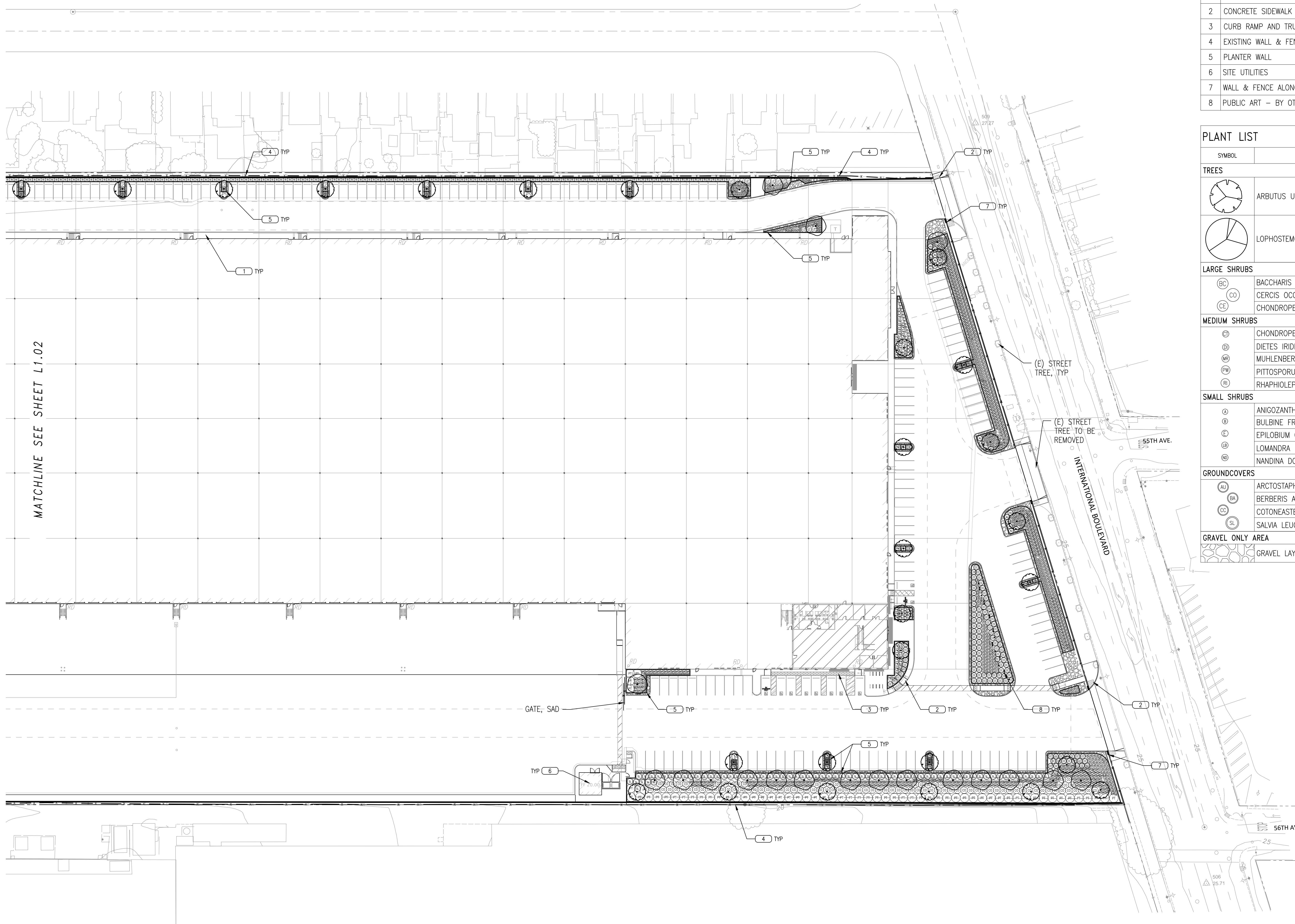
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**CONCEPTUAL
 COVER SHEET**

L0.01



MATCHLINE SEE SHEET L1.02

KEY	DESCRIPTION	DETAIL
1	CONCRETE PAVING & CURB	SCD
2	CONCRETE SIDEWALK & CURB CUT	SCD
3	CURB RAMP AND TRUNCATED DOMES	SCD
4	EXISTING WALL & FENCE TO REMAIN	-
5	PLANTER WALL	-
6	SITE UTILITIES	SAD, SCD
7	WALL & FENCE ALONG INTERNATIONAL BLVD.	SAD
8	PUBLIC ART - BY OTHER	-

PLANT LIST							
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WTR USE	HEIGHT X SPREAD	
TREES							
	ARBUTUS UNEDO	STRAWBERRY TREE	24" BOX	PER PLAN	L	18' X 18'	
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	PER PLAN	M	25' X 20'	
LARGE SHRUBS							
	BACCHARIS P. CONSANGUINEA	COYOTE BRUSH	5 GAL	5'-0" OC	L		
	CERCIS OCCIDENTALIS	WESTERN REDBUD	5 GAL	6'-0" OC	VL		
	CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH	5 GAL	6'-0" OC	L		
MEDIUM SHRUBS							
	CHONDROPETALUM TECTORUM	CAPE RUSH	5 GAL	3'-0" OC	L		
	DIETES IRIDIOIDES 'JOHN'S RUNNER'	FORTNIGHT LILY	5 GAL	3'-0" OC	L		
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	3'-0" OC	L		
	PITTIOSPORUM T. 'WHEELER'S DWARF'	DWARF MOCK ORANGE	5 GAL	4'-0" OC	L		
	RHAPHIOLEPIS INDICA 'CLARA'	INDIA HAWTHORNE	5 GAL	4'-0" OC	L		
SMALL SHRUBS							
	ANIGOZANTHOS 'BUSH RANGER'	KANGAROO PAW	5 GAL	2'-6" OC	L		
	BULBINE FRUITESCENS	STALKED BULBINE	1 GAL	2'-6" OC	L		
	EPILOBIUM CANUM	CALIFORNIA FUCHSIA	1 GAL	3'-0" OC	L		
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	3'-0" OC	L		
	NANDINA DOMESTICA 'LEMON LIME'	HEAVENLY BAMBOO	5 GAL	3'-0" OC	L		
GROUNDCOVERS							
	ARCTOSTAPHYLOS UVA-URSI	MANZANITA	1 GAL	5'-0" OC	L		
	BERBERIS AQUIFOLIUM 'REPENS'	CREeping BARBERRY	1 GAL	5'-0" OC	L		
	COTONEASTER D. 'CORAL BEAUTY'	COTONEASTER	1 GAL	5'-0" OC	L		
	SALVIA LEUCOPHYLLA 'POINT SAL'	PURPLE SAGE	1 GAL	6'-0" OC	L		
GRAVEL ONLY AREA							
	GRAVEL LAYER	-	-	-	-	-	-

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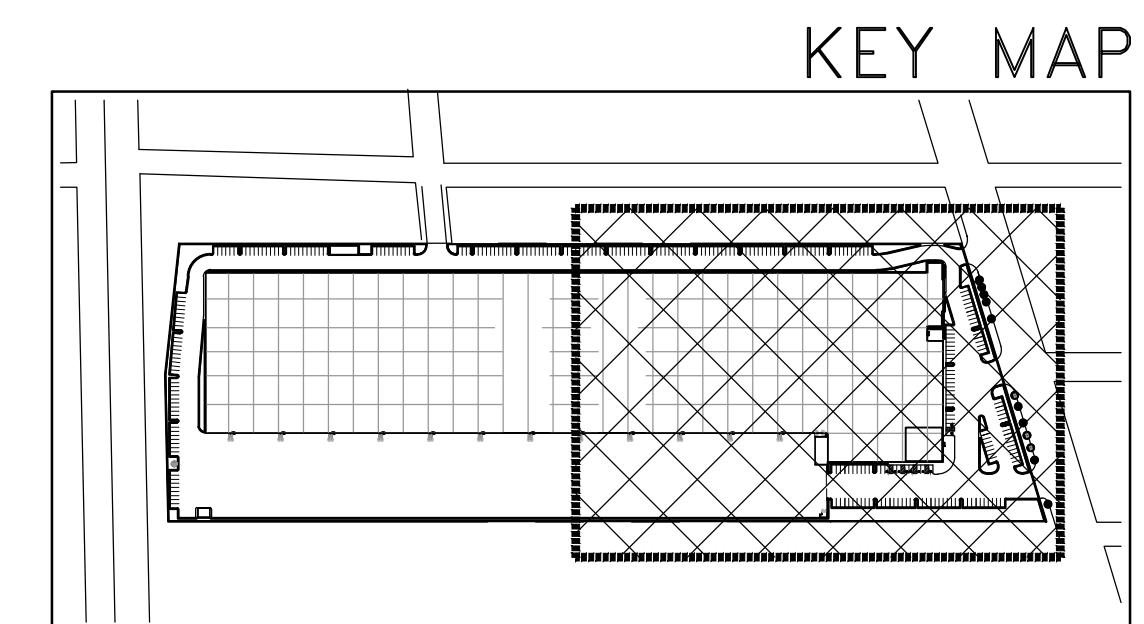
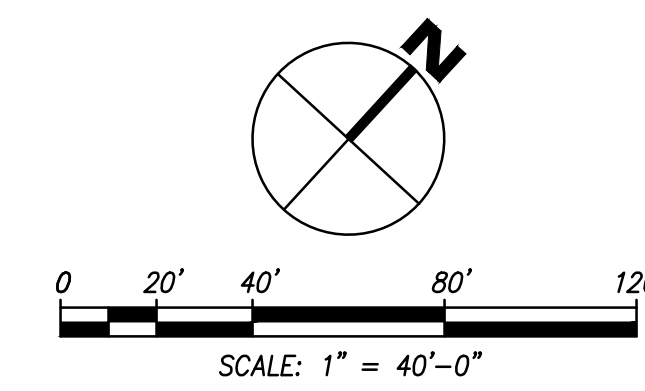
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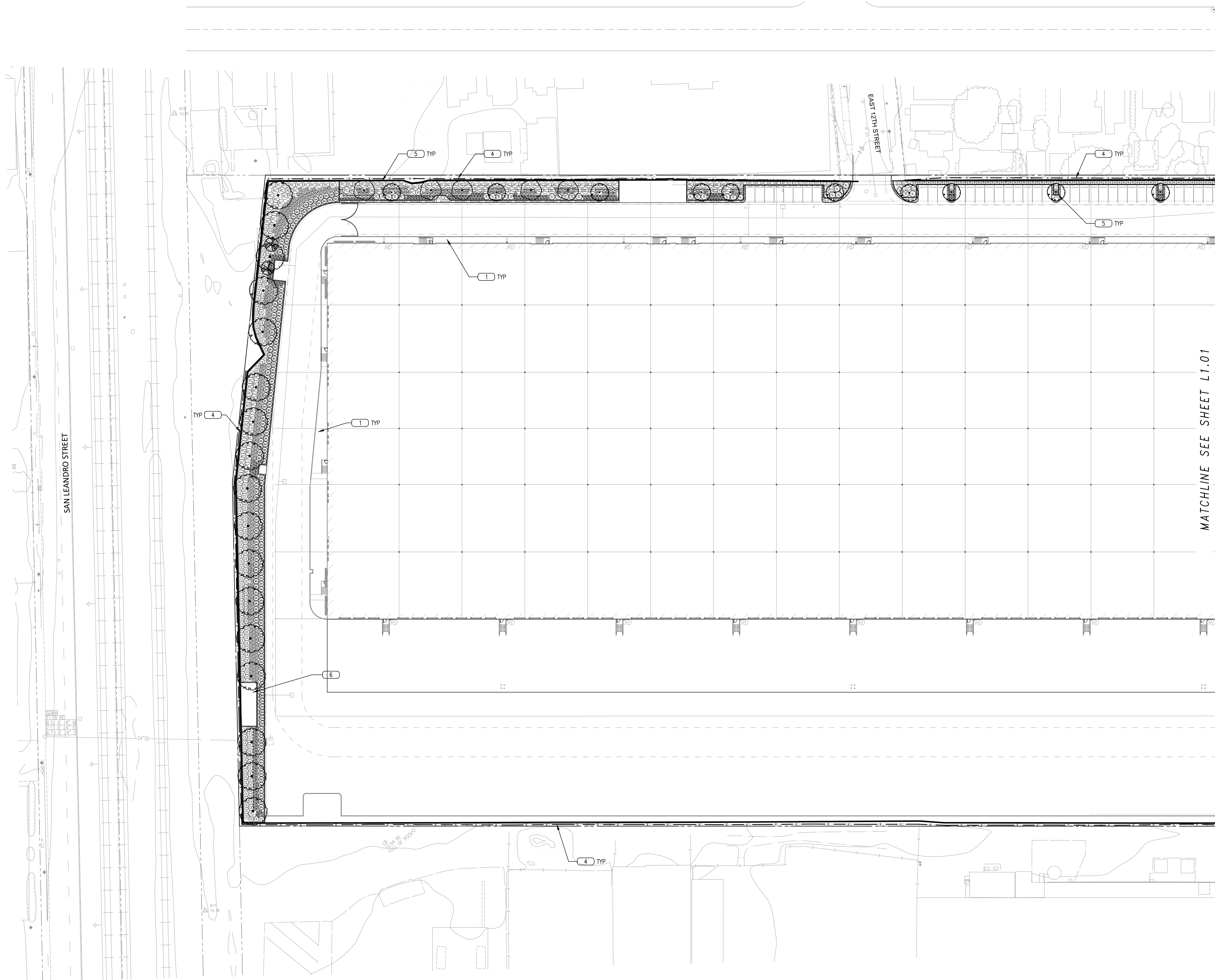
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CONCEPTUAL
LANDSCAPE PLAN

L1.01



LEGEND		
KEY	DESCRIPTION	DETAIL
1	CONCRETE PAVING & CURB	SCD
2	CONCRETE SIDEWALK & CURB CUT	SCD
3	CURB RAMP AND TRUNCATED DOMES	SCD
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GRAVEL ONLY AREA							
	GRAVEL LAYER	-	-	-	-	-	-

MATCHLINE SEE SHEET L1.01

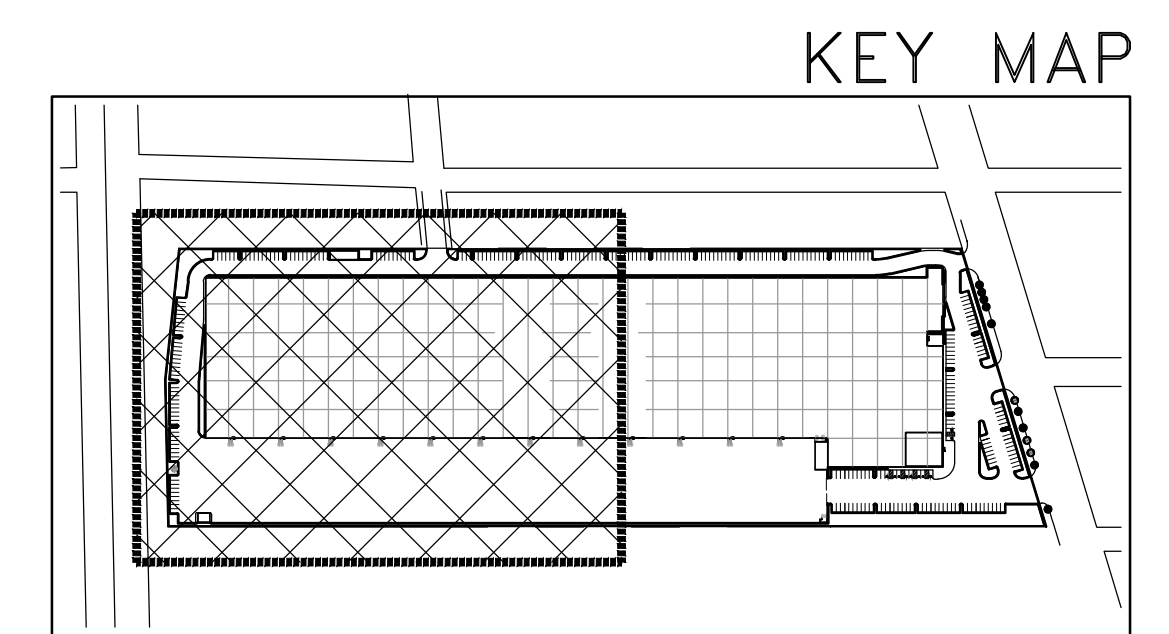
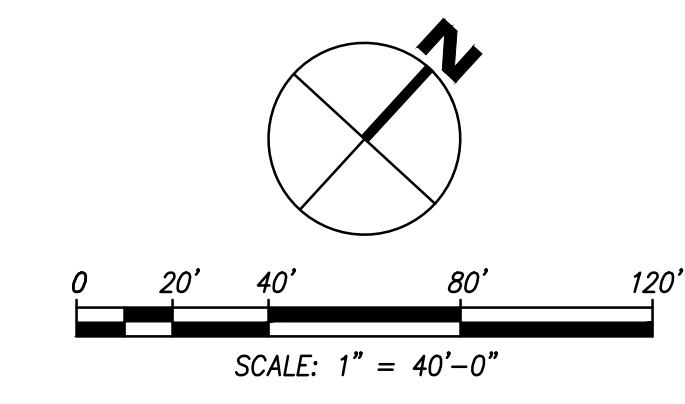
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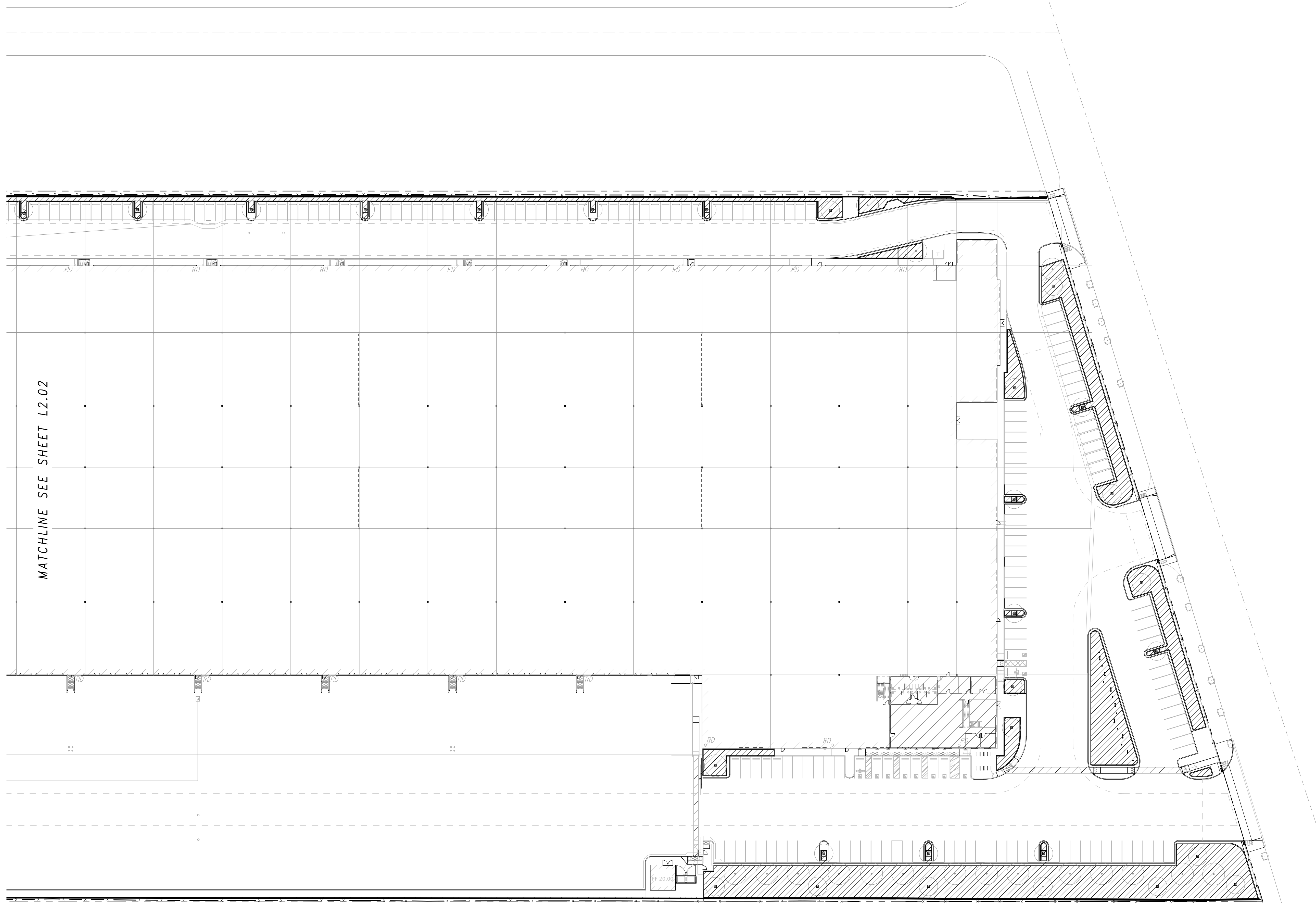
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CONCEPTUAL
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L1.02



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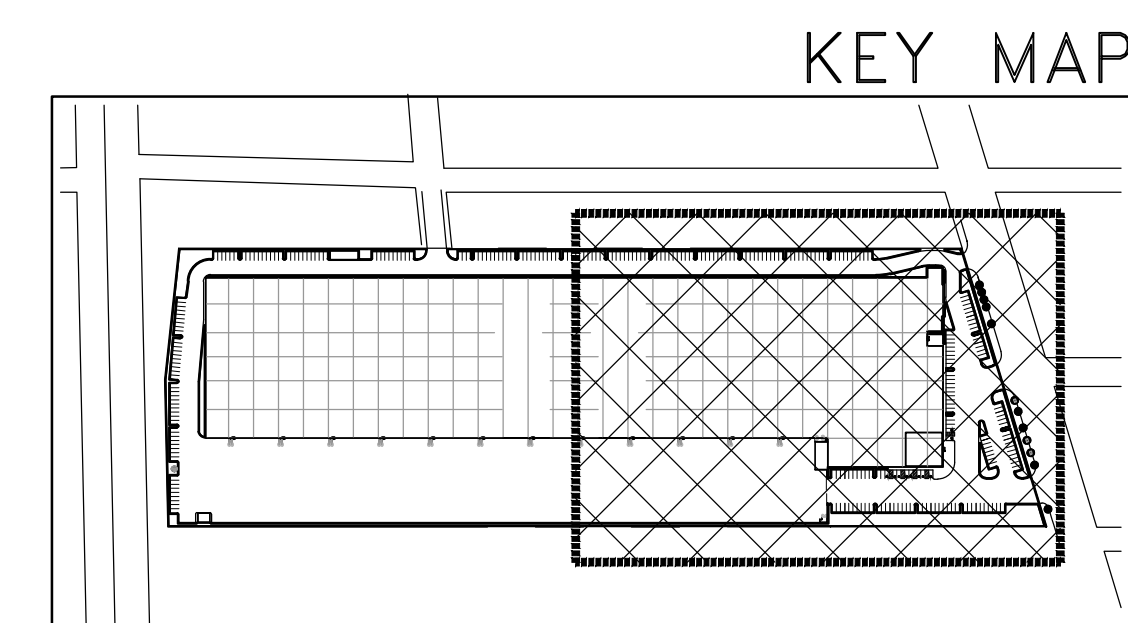
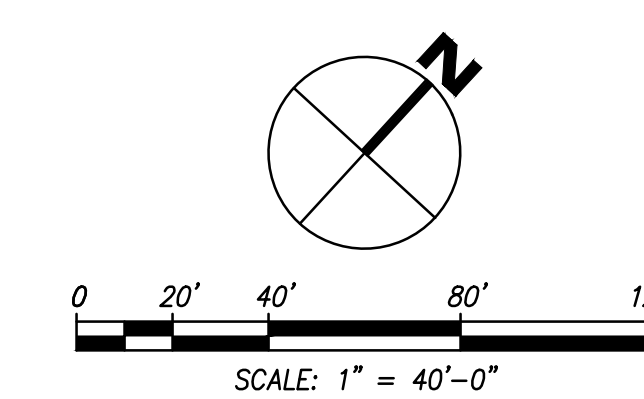
HYDROZONE LEGEND							
SYMBOL	ZONE	HYDROZONE	PLANT TYPE	IRRIGATION TYPE	AREA (SF)	TOTAL (SF)	% LANDSCAPE
	1	LOW WATER USE	SHRUB/G.COVER	DRIP	44,375	44,543.0	100%
	2	LOW WATER USE	TREES	BUBBLER	168		
	3	MODERATE WATER USE	TREES	BUBBLER	144	144.0	<1%
					TOTAL	44,687.0	100%

IRRIGATION DESIGN INTENT

1. THIS PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), CITY OF OAKLAND, AND EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD).
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
3. THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP, BUBBLER DISTRIBUTION, AND ROTOR WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE.
4. ALL SELECTED COMPONENTS SHALL BE PERMANENT, COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE AND MINIMUM MAINTENANCE REQUIREMENT, INSTALLED BELOW-GRADE, AND DESIGNED FOR 100% COVERAGE.
5. THE SYSTEM SHALL INCLUDE A MASTER CONTROL VALVE AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO DELIVER WATER TO HYDROZONES BASED ON MOISTURE REQUIREMENTS OF THE PLANT GROUPING.

IRRIGATION CALCULATION:

HYDROZONE INFORMATION TABLE									
REFERENCE ANNUAL ET ₀ FOR:		OAKLAND (WUCOLS)		41.8					
ET ADJUSTMENT FACTOR	0.45	ET ADJ FACTOR PER MWELO & CALGREEN: 0.80= EXISTING NON-REHABILITATED LANDSCAPE, 0.65= SCHOOL 0.55= RESIDENTIAL, 0.45= NON-RESIDENTIAL		SLA ADDITIONAL WATER ALLOWANCE (1.0-ETAF)	0.55				
HYDROZONE	WUCOLS IV PLANT FACTOR (PF)	IRR METHOD DRIP:0.81 BUBB:0.81	ROTOR:0.75 SPRAY:0.75	IRRIGATION EFFICIENCY (IE)	ETAF _z (PF/IE)	LANDSCAPE AREA (SQ FT)	ETAF _z X AREA	ESTIMATED TOTAL WATER USE (ETWU)	
1	.3	D		0.81	0.37	44375	16435.19	425934.26	
2	.3	B		0.81	0.37	168	62.22	1612.55	
3	.6	B		0.81	0.74	144	106.67	2764.37	
					TOTAL	44687.00	16604.07	430,311.18	
SPECIAL LANDSCAPE AREAS									
---					1	0	0.00	0.00	
---					0	0	0.00	0.00	
					TOTAL	0	0.00	0.00	
TOTAL LANDSCAPE AREA (LA + SLA)						44,687.00			
TOTAL ETWU	TOTAL ETWU ALL AREAS (SLA AND REGULAR LA)						TOTAL ETWU	430,311.18	
MAWA	(ANNUAL ET ₀)(0.62 CONVERSION FACTOR) [(ET ADJUSTMENT FACTOR)(TOTAL LANDSCAPE AREA) + (1-ETAF)*SLA]]						MAWA	521,148.73	
AVERAGE ETAF	SUM(ETAF _z X AREA) / TOTAL AREA (AVERAGE ETAF AS DESIGNED, EXCLUSIVE OF SLA _s)							0.37	
SITEWIDE ETAF	TOTAL ETAF X AREA / TOTAL LANDSCAPE AREA (INCLUDES SLA _s)							0.37	



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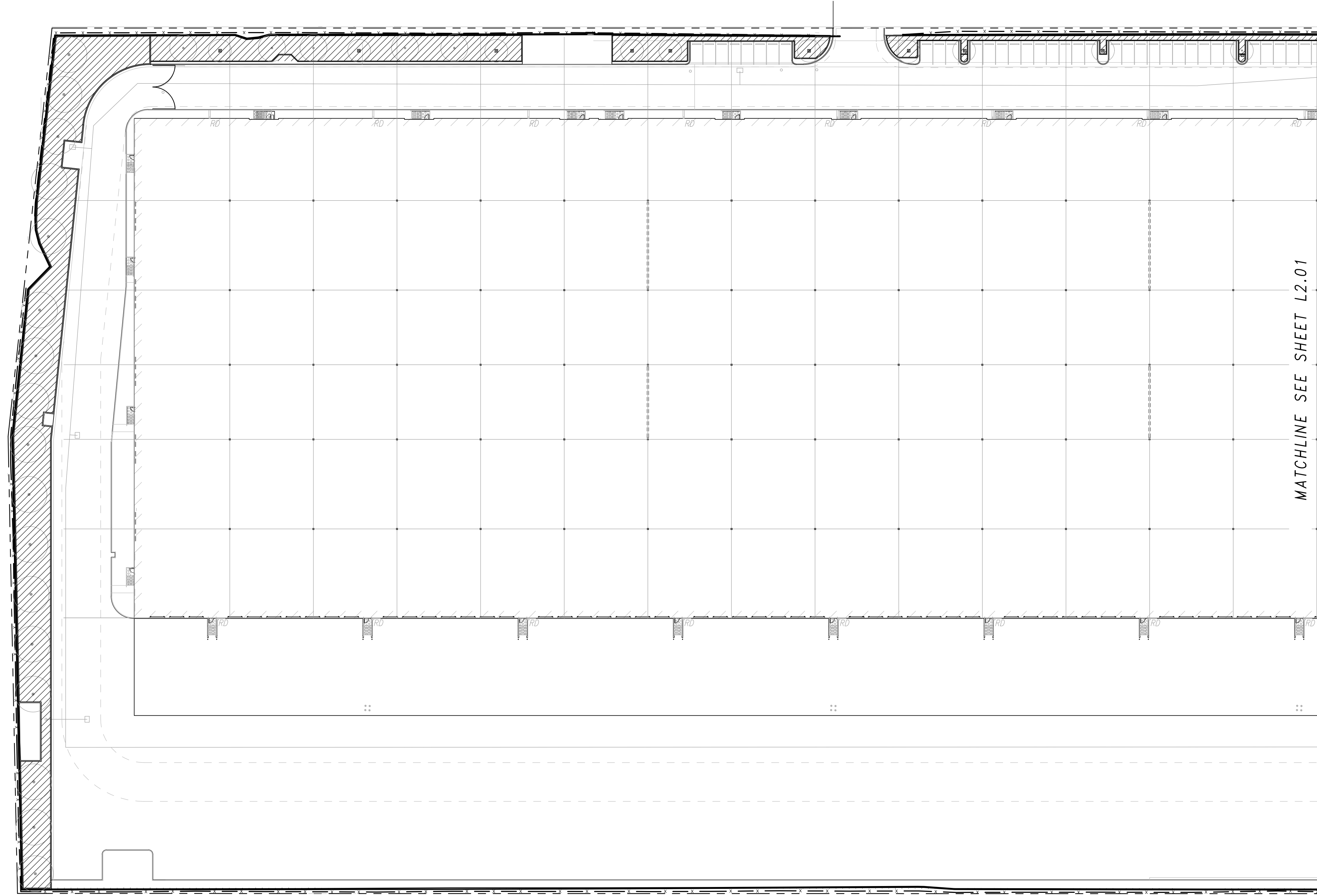
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CONCEPTUAL IRRIGATION PLAN

L2.01

SEE SHEET L2.01 FOR NOTES AND LEGEND

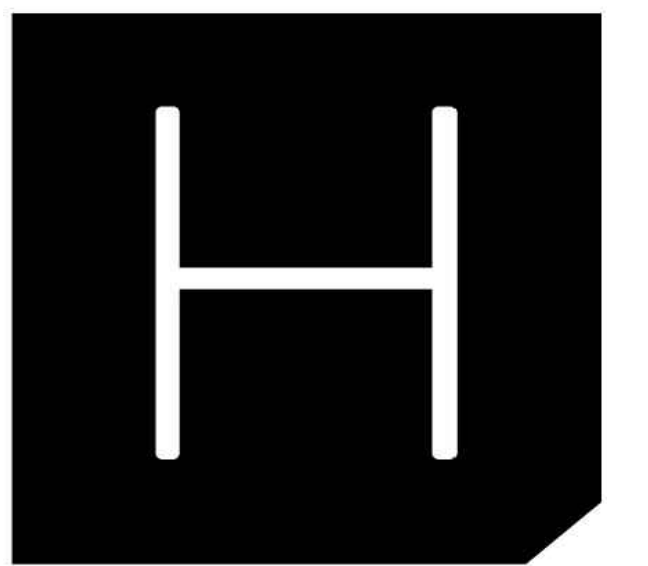


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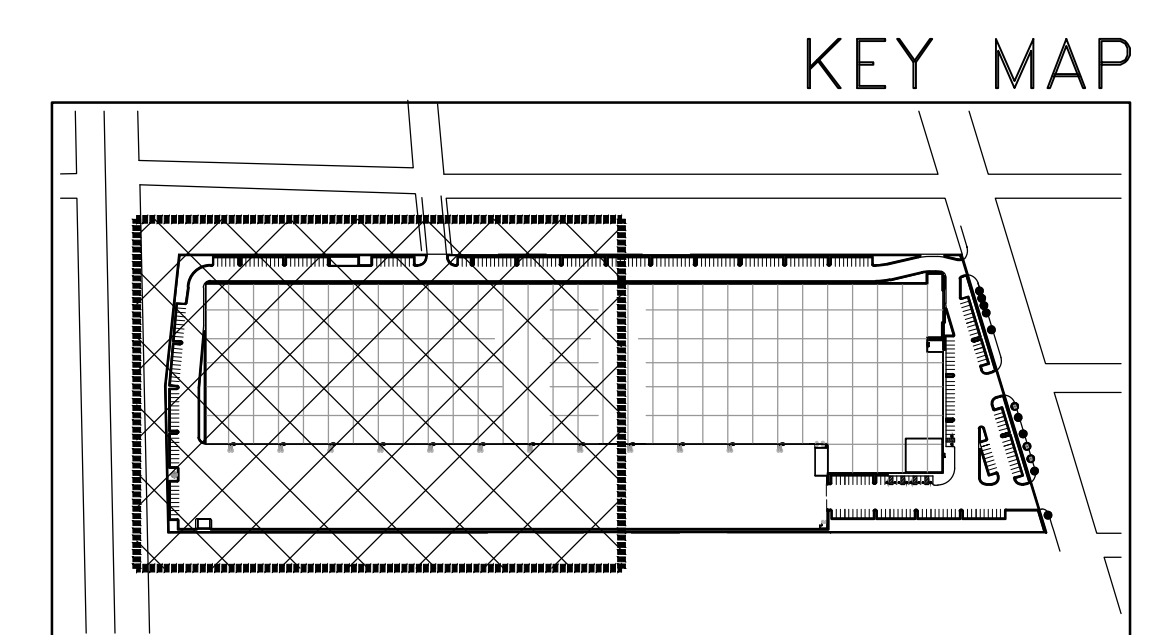
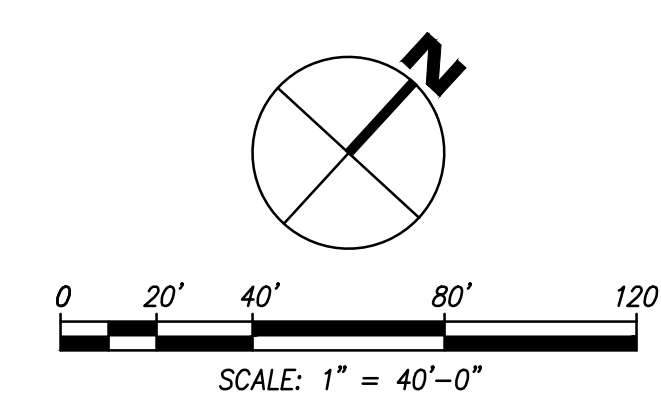
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CONCEPTUAL
IRRIGATION PLAN

L2.02

TREES



ARBUTUS UNEDO



LOPHOSTEMON CONFERTUS

NOTES:

1. IRRIGATION SYSTEM TO BE FULLY AUTOMATIC WEATHER-BASED SYSTEM UTILIZING A WEATHER-BASED EVAPOTRANSPIRATION/SMART CONTROLLER WITH A RAIN SENSING SYSTEM.
2. IRRIGATION SHALL BE IN ACCORDANCE WITH REGULATIONS OF THE CITY OF OAKLAND, EBMUD – EAST BAY MUNICIPAL UTILITY DISTRICT, & STATE WATER ORDINANCE.
3. PLANT MATERIAL SHALL BE NATIVE OR DROUGHT TOLERANT SPECIES.

SHRUBS AND GROUNDCOVERS



ARCTOSTAPHYLOS UVA-URSI



ANIGOZANTHOS 'PINK JOEY'



BACCHARIS P. CONSANGUINEA



BULBINE FRUTESCENS



CERCIS OCCIDENTALIS



CHONDROPETALUM TECTORUM



COTONEASTER 'CORAL BEAUTY'



DIETES IRIDOIDES 'JOHN'S RUNNER'



EPIOBIUM CANUM



LOMANDRA LONGIFOLIA 'BREEZE'



MUHLENBERGIA RIGENS



NANDINA DOMESTICA 'LEMON LIME'



PITTOSPORUM TOBIRA 'WHEELER'S DWARF'



RHAPHIOLEPIS INDICA 'CLARA'



RHAMNUS CALIFORNICA 'EVE CASE'