

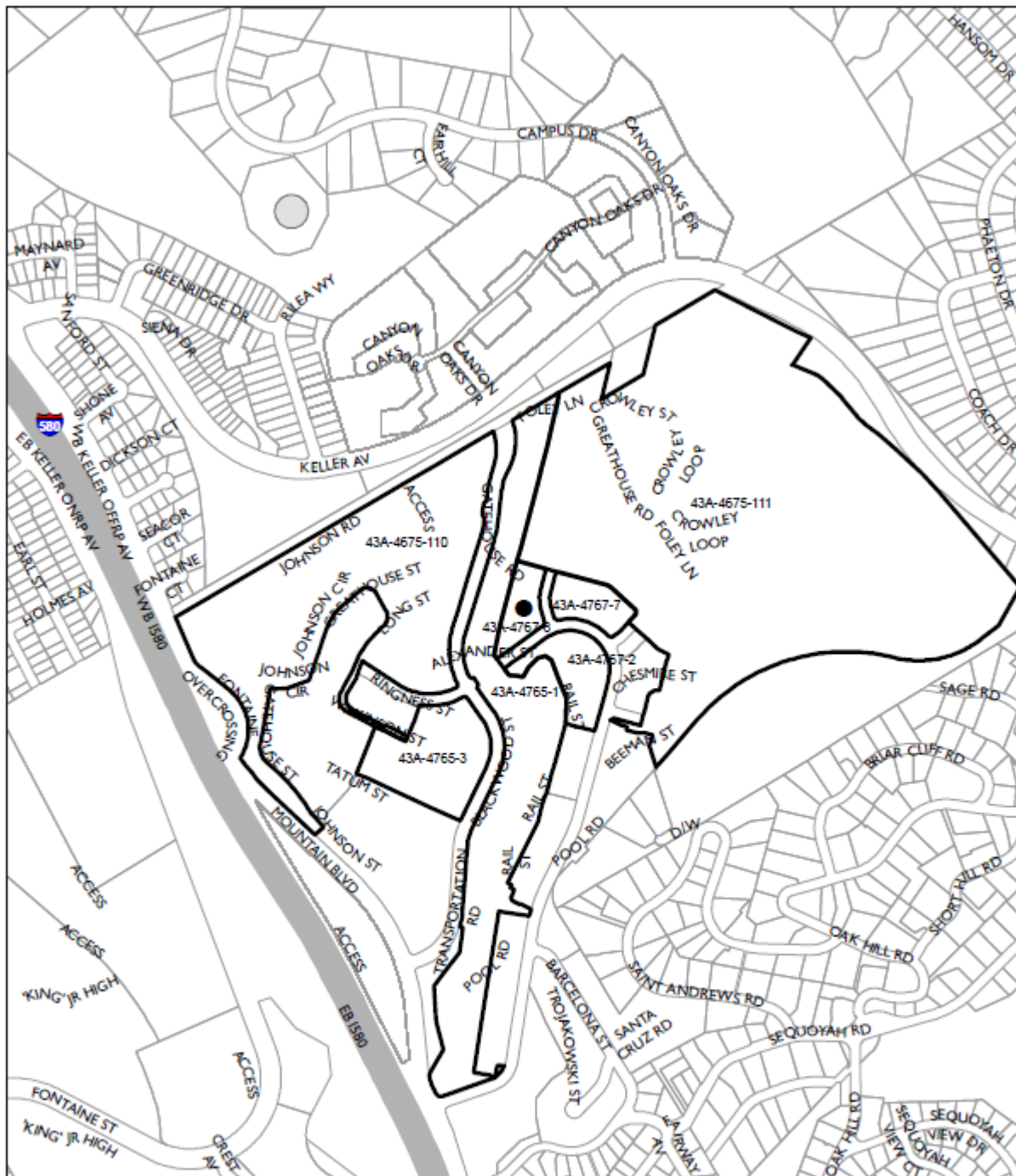
Oakland City Planning Commission
Design Review Committee

STAFF REPORT

Case File Number: PLN15378-PUDF10

July 26, 2023

Location:	Oak Knoll Development – Parcel 24; 8750 Mountain Boulevard (See map on reverse)
Assessor’s Parcel Numbers:	043A467500321
Proposal:	Design Review discussion for the proposed Oak Knoll Development Parcel 24 Final Development Plan (FDP). The proposal involves the construction of 25 detached single-family residences which requires a Conditional Use Permit (CUP) in the D-OK-3 zone.
Applicant:	Chris Hall, WHA Inc.
Contact:	(415) 658-1723 chrish@whainc.com
Planning Permits Required:	Regular Design Review (DR), Final Development Plan (FDP), Tree Removal Permit (T)
General Plan:	Mixed Housing Type Residential
Zoning:	Oak Knoll District Residential Zone - 3 (D-OK-3)
Environmental Determination:	Final Supplemental EIR certified on November 7, 2017
Historic Status:	Non-Historic Property
City Council District:	7
For further information:	Contact Case Planner Malinda Lim at (951) 756-4874 or by email at mllim@interwestgrp.com



0 Feet
1,000



PLN15378-PUDF10 (Lot 24)
8750 Mountain Blvd.
043A476700800

BACKGROUND

Planned Unit Development History

In 1996, the Naval Medical Center Oakland property was subject to a Final Reuse Plan that presented five land use alternatives for the reuse of the property. The Maximum Capacity Alternative within the Final Reuse Plan included: a) 584 residential units; b) 400,000 sq. ft. of commercial space; and c) 32 acres of open space. The Maximum Capacity Alternative was approved by the Oakland City Council as the preferred alternative.

In 2005, SunCal Oak Knoll, LLC proposed the “former Oak Knoll Project” which included 960 residential units, 82,000 sq. ft. of commercial space and 53 acres of open space. The “former Oak Knoll Project” was not approved.

Approved Oak Knoll Land Use Entitlements

The Oak Knoll Development was submitted in 2015 and approved in November 2017. The approval included General Plan Amendments, Rezoning, Planned Unit Development/Preliminary Development Plan, Final Development Plan for Master Developer Site Improvements, Final Development Permit (FDP) or Relocation and Rehabilitation of Club Knoll, Design Review, Vesting Tentative Tract Map, and a Creek Permit. The 2017 approved project is referred to as “Oak Knoll.”

Oak Knoll includes:

- 918 residential units of varying types;
- 72,000 sq. ft. of neighborhood serving commercial in the Village Center;
- 14,000 square feet of civic/commercial use, including relocation of the historic Club Knoll to the center of the Project site with 4,000 sq. ft. of community space and 10,000 sq. ft. of commercial space;
- Approximately 67.6 acres of open space and recreation areas, including four new public parks, a system of trails, bikeways, and walkways;
- Restoration and enhancement of the Rifle Range Creek, Powerhouse Creek and Hospital Creek corridors (16.7 acres);
- Three phases of development; and
- Street network designed as "complete streets" for the safe and comfortable travel of all transportation modes.

The following provides a summary of the current status of the Oak Knoll Development:

- Land Use Entitlement: The Oak Knoll Project Supplemental Environmental Impact Report (SEIR) was certified and the General Plan Amendment, Rezoning, Vesting Tentative Tract Map, Creek Permit, and the Oak Knoll PUD was approved on November 7, 2017.
- Construction-Related Permits:
 - Grading Permit: The applicant has received a Grading permit for Phase 1 of the development, which includes Parcel 6 and Parcel 12.
 - Bridge Permits: The applicant has received construction related permits for the pedestrian and vehicular bridge located in Phase 1.

- Public Improvements: The applicant has applied for and received the Public Infrastructure on Private Property (PX) permit for the public improvements in Phase 1, including the streets and utilities.
- Club Knoll: The historic Club Knoll has a series of Building Permits associated with it, including demolition, alteration, and reconstruction.
- Compliance with Conditions of Approval: The relocation and restoration of Club Knoll is underway. Public improvement permits, various alternate method construction permits and Private infrastructure permits for on-site improvements are under review. The City and the applicant are actively working on formation of the Community Facilities District (CFD), Geologic Hazard Abatement District (GHAD) and Subdivision Agreement.
- Tree Permit Amendment: An amendment to the approved Tree Removal Permit was received on May 3, 2021. The amendment proposes to remove 394 additional trees and requires compliance with California Environmental Quality Act (CEQA). The CEQA consultant has not yet finalized the scope of work in order to proceed with analysis.
- Final Development Permits:
 - FDP for Club Knoll was approved with the PUD on November 7, 2017;
 - FDP for Phase 1 Master Developer Site Improvements was approved with the PUD on November 7, 2017;
 - FDPs for Phase 1 Residential Development Parcels. The Master Developer has submitted eight FDPs for Phase 1, which are in various stages of City review:
 - Parcel 6: Townhomes. Approved by the Planning Commission on December 8, 2021. Revision to the FDP was approved on March 6, 2023;
 - Parcel 12: Townhomes. Approved by the Planning Commission on December 8, 2021. Revision to the FDP was approved on March 6, 2023;
 - Parcel 9: Court homes. Approved by the Planning Commission on April 6, 2022;
 - Parcel 10: Court homes. Approved by the Planning Commission on April 6, 2022;
 - Parcel 11: Alley homes. Deemed complete and under consideration by the Design Review Board.
 - Parcel 19: Alley homes. Deemed complete and under review;
 - Parcel 23: Alley homes. Deemed complete and under review;
 - Parcel 24: Alley homes. Deemed complete and under consideration by the Design Review Board at this meeting (and the subject of this report).

PROPERTY AND NEIGHBORHOOD DESCRIPTION

Oak Knoll Development encompasses an 84.7-acre site east of Interstate 580 (I-580) and is located approximately 9 miles southeast of downtown Oakland. Mountain Boulevard and the I-580 freeway to the west; Keller Avenue to the north and east; and Sequoyah Road, a City-owned property, and residential neighborhoods to the south. Parcel 24, the project site, is accessible by Creekside Loop which slopes down southwesterly.

PROJECT DESCRIPTION

The proposed Parcel 24 project includes 25, detached residential units. In Vesting Tentative Map No. 8320, 29 townhome units were envisioned for this parcel. A Conditional Use Permit (CUP) is required for 'one-family dwelling' and a CUP was submitted for this project. Each house consists of three floors and will be individual ownership detached single-family residences mapped on a single parcel, similar to the

townhomes on Parcels 6 and 12. However, the applicant wishes to create further market segmentation in the units offered for sale and this detached product would fill a ‘missing middle’ between a traditional townhome and the larger single-family detached residences in Parcel 7.

Plans, elevations, and illustrations are provided in **Attachment A** to this report. In general, the proposed plans include the following characteristics:

- **Style:** The proposed residential development includes stylistic references to common and vernacular California architectural styles, including Craftsman, Farmhouse and Mission architectural styles.
- **Site Planning:** The proposed FDP includes 25, detached single-family, alley court homes.
- **Unit Types:** Parcel 24 proposes three-story court homes which offer between three and four bedrooms depending on the floor plan of home.
- **Parking:** Each unit has a two-car attached garage, for a total of 50 off-street parking spaces.
- **Open Space:** The FDP includes a combination of open space, private balconies and ground floor porches.

GENERAL PLAN

The project site is in the Mixed Housing Type Residential Land Use classification. The Mixed Housing Type Residential area is intended to create, maintain, and enhance residential areas typically located near the City’s major arterials and characterized by a mix of single-family homes, townhouses, small multi-unit buildings, and neighborhood businesses where appropriate. The maximum floor area ratio in this general plan designation is thirty (30) units per gross acre.

ZONING

Parcel 24 is located within the Creekside Village 1 area of the Oakland hills in the D-OK-3 Oak Knoll District Residential Zone - 3 (D-OK-3). The intent of the D-OK-3 Zone is to create, maintain, and enhance areas suitable for medium density residential units, such as townhomes. The zoning district provides medium density housing development.

Criteria	OK-3	Proposed	Analysis
Land Use			
Permanent Residential	P	P	Allowed
Density	1 unit per 1,600 sf. of lot area on lots 5,000 sf. or greater	1 unit per 2,787 sf. (25 units total)	Complies
One-Family Dwelling	C	C	Conditional Use Permit required.
Maximum Lot Coverage	55%	35.5%	Complies
Minimum Setbacks			Complies
Front	8 ft.	14 ft.	
Side	4 ft.	6 ft.	
Street Side	5 ft.	5 ft.	
Rear	N/A	N/A	

Criteria	OK-3	Proposed	Analysis
Land Use			
Minimum garage front setback	18 ft.	3 ft.	Does not comply - Applicant is requesting an exception for 5 ft. setback from the private drive aisle.
Maximum wall height primary building	35 ft.	35 ft./3 stories	Complies
Maximum pitched roof height	40 ft.	35./3 stories ft	Complies
Open Space – Group Residential	170 sf. per unit (4,250 sf. required)	5,969 sf.	Complies
Parking	1 space per dwelling unit = 25 spaces	Individual two-car garages per unit	Complies

DESIGN

Staff worked with the applicant to refine the proposed residential designs and site layout for the project site.

Site Plan

The original site plan consisted of 26 units, less open space areas, and no pedestrian pathways to the open space areas nor to the sidewalk. Staff requested the applicant make the following changes which are incorporated into the plans:

- Consolidate the open space areas to meet the minimum dimension and area requirements and improve the usability of the space;
- Provide pedestrian pathways connecting to the open space areas and the sidewalk; and
- Provide a stop sign near the back row of homes.
 - The applicant provided a roundabout which better prevents car collisions and enhances the neighborhood.

Additional site plan changes were requested but could not be satisfied. These are discussed in the ‘Issues With Design Guidelines’ section below.

Issues With Design Guidelines

The project complies with the underlying zoning regulations. Staff reviewed the proposed project against the Oak Knoll Design Guidelines (see Attachment C). The project meets the following key guidelines:

Design Guideline	Compliance Analysis
<i>3.5 High Visibility Façades</i>	
Corner lot façades.	Complies
High Visibility Façades - Open Space	Complies

Corner lot court homes include entrances that face the street or creek and have been enhanced with quality design elements such as stone veneer columns with wide pedestals to add to the exterior material changes for visual impact. The use of pop-outs, porches, and balconies were incorporated into high visibility facades to help break up the building plane and have been designed with the privacy of the homeowner in mind.

In general, the project plans are responsive to the Oak Knoll Design Guidelines. The interior and exterior design of the homes for Parcel 24 are repeated for Parcel 11.

Staff identified the following design guideline issues related to the current Parcel 24 plans:

2.2 Neighborhood Streetscapes – Architectural Diversity and ‘The Monotony Code’

For each single-family detached lot type, there must be a minimum of three unique floor plan types, with three façade variations each;

Staff interpreted this guideline to require three floor plans with three architectural styles for a minimum of nine (9) plan type and architectural style combinations (i.e. Plan 1 Mission, Plan 2 Mission, and Plan 3 Mission). However, the applicant interpreted this guideline to refer to only three floor plans and three different architectural styles. There is minimal distinction between the facades of an architectural style. For instance, the Mission style has two façade variations – one with a shed roof over the front entry door or a porch across the front façade. This façade variation was also applied for the Craftsman architectural style.

- *A different porch or stoop type will be considered a façade variation;*

Staff had requested the applicant utilize several design techniques and materials to clearly distinguish one architectural style and plan type from another combination with the same architectural style (i.e. differentiation from a Plan 1 Mission and Plan 2 Mission). However, the applicant believes the extension of a porch (wrap-around porch) meets this guideline and qualifies as a different façade variation. Wrap-around porches are only offered on homes which are adjacent to the entrance of the parcel, face an open space, and/or located on the corner of the parcel and are provided to meet the last two bullet points of this guideline.

- *No two detached homes of the same design may be repeated within two adjacent lots on a given Block Face or a facing Block Face;*

In compliance. Staff worked with the applicant to meet this guideline and help reduce the overconcentration of the same plan type and architectural style combination within the parcel.

- *Homes on corner lots are encouraged to have architectural features such as wrapped porches, side porches, or bay windows facing the secondary street.*

In compliance. Staff worked with the applicant to meet this guideline. The applicant has stated that at construction, the residences with the wrap-around porches and/or pop-outs has the option to remove these enhancements. Staff informed the applicant that removal of these enhancements would require replacement with other architectural details to meet the Design Guidelines and would require a modification application.

- *Both the front as well as side facing facade on corner lots will be considered High Visibility Facades.*

In compliance. Staff worked with the applicant to meet this guideline. High visibility facades are marked on the site plan.

2.6 Driveways and Garage Placement

The project complies with the underlying zoning regulations, with the exception of the front setback for garages, where three (3) feet is proposed instead of the required 18 feet. Although the proposed garage setback incorporates a reduced length of three (3) feet, the Design Guidelines state that a reduced minimum setback may be granted as an exception to the design review process (*see* Guideline 3.9 Garages – Garage Dimensions). With the private drive aisle shared with multiple homes, the reduced driveway may serve to discourage parking along the private drive aisle and contribute to Guideline 3.9 intention of the creation of a “pleasing streetscape and a domestic ‘neighborhood’ feel” by placing the aisle between the row of homes, making it nonvisible from the right-of-way and creek. This exception was granted for Parcels 6 and 12.

3.3 Massing – Primary Volumes – Additive Building Elements.

The three architectural styles of the alley loaded home plans have minimal additive building exterior elements such as shutters, use of Spanish tiles, or other decorative details to help define the architectural style. More additive elements should be incorporated at the front and sides of the homes. The applicant did not want to incorporate additional building elements due to constraints of their budget costs. (Design Guidelines Compliance Matrix, **Attachment C**)

3.4 Roofs

The difference in the front elevations of the Mission plan types are minimal. Staff requested the applicant consider flat roof area(s) with shaped parapets to help distinguish the architectural style and help differentiate between the plan types. The applicant responded that they would like to proceed with the elevations as proposed.

In addition to the guidelines listed above, staff requested the applicant make the following changes to the parcel. Their response is in italics.

- The architectural design of the homes for this parcel should consider the architectural designs proposed for Parcel 23 and be differentiated. Consider switching to three other architectural styles for Parcel 24 for variation in Oak Knoll and across the street from Parcel 23.
We consider the whole area around Club Knoll to be one sub-neighborhood.
- Stagger the homes facing the street frontage to help enhance the streetscape and reduce the monotony.
Due to the constrained shape of this parcel, we cannot stagger the frontages significantly and achieve enough units. We consider the variation in porch types along Creekside loop to provide enough variation, and units 19-25 facing the street now have a linear open space along their frontage which will provide additional screening and variation to that frontage condition.
- Provide amenities such as benches, pergolas, and other features to the open space area.
Benches were added to the open space.

RECOMMENDATION

Staff recommends that the Committee review the proposed project and provide direction to staff and the project applicant.

Prepared by:



MALINDA LIM
Contract Planner

Approved:



CATHERINE PAYNE
Development Planning Manager

Attachments:

- A. Final Development Plan
- B. Oak Knoll Design Guidelines
- C. Design Guidelines Compliance Matrix for Parcel 24



OAK KNOLL

FINAL DEVELOPMENT PLAN PARCEL 24

08.31.20

Revision 5 by Platform: 02.03.23

Revision 6 by Platform: 03.20.23

CLIENT

SunCal

2392 Morse Avenue
Irvine, CA 92614

CONSULTANTS

Danielian Associates

ARCHITECT

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Irvine, CA 92606

(Revision 6 by Platform)

LANDSCAPE
ARCHITECT

PGAdesign

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Oakland, CA 94612

CIVIL ENGINEER

BKF Engineers

300 Frank Ogawa Plaza
Oakland, CA 94612

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THE PLAN

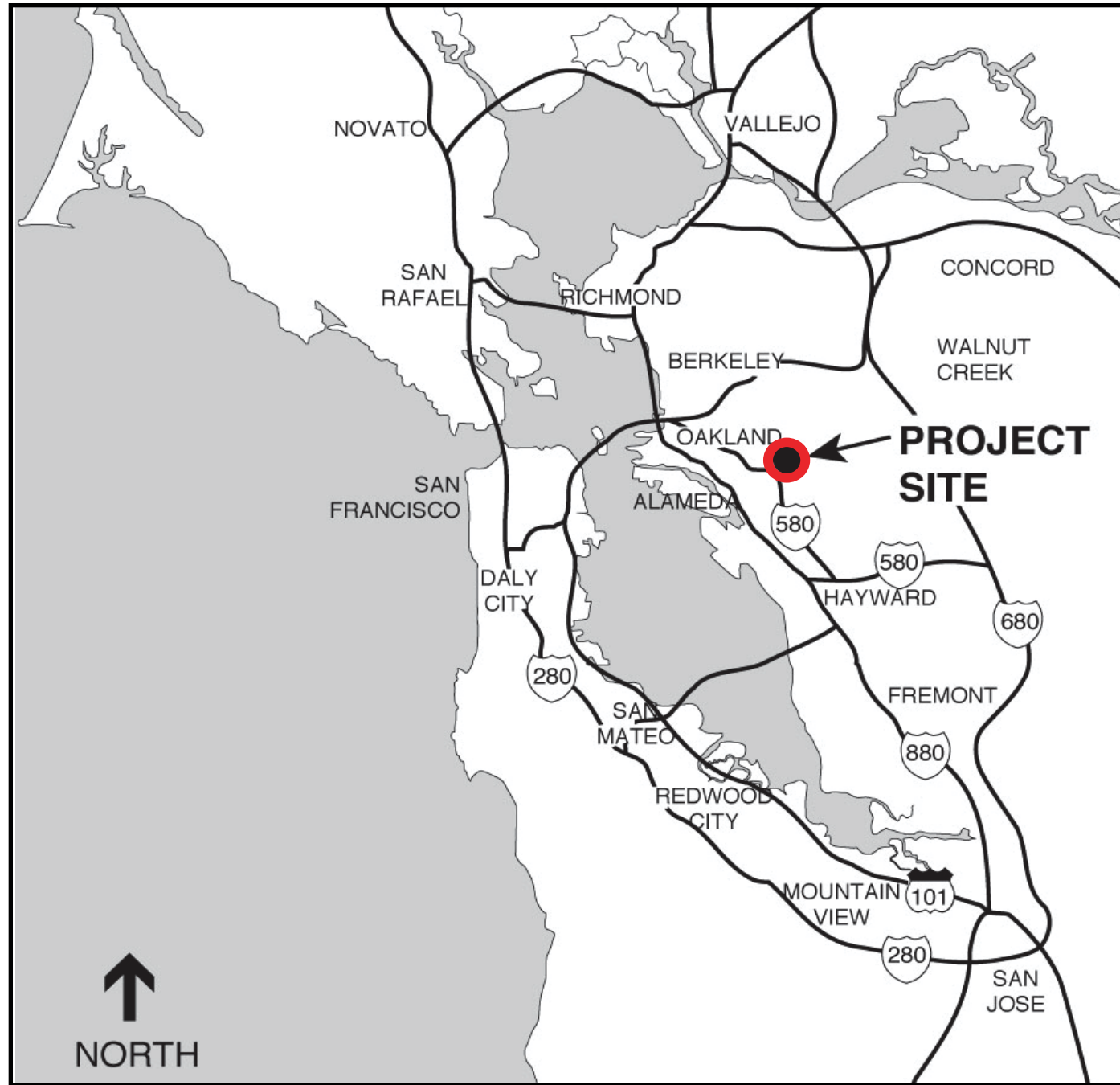
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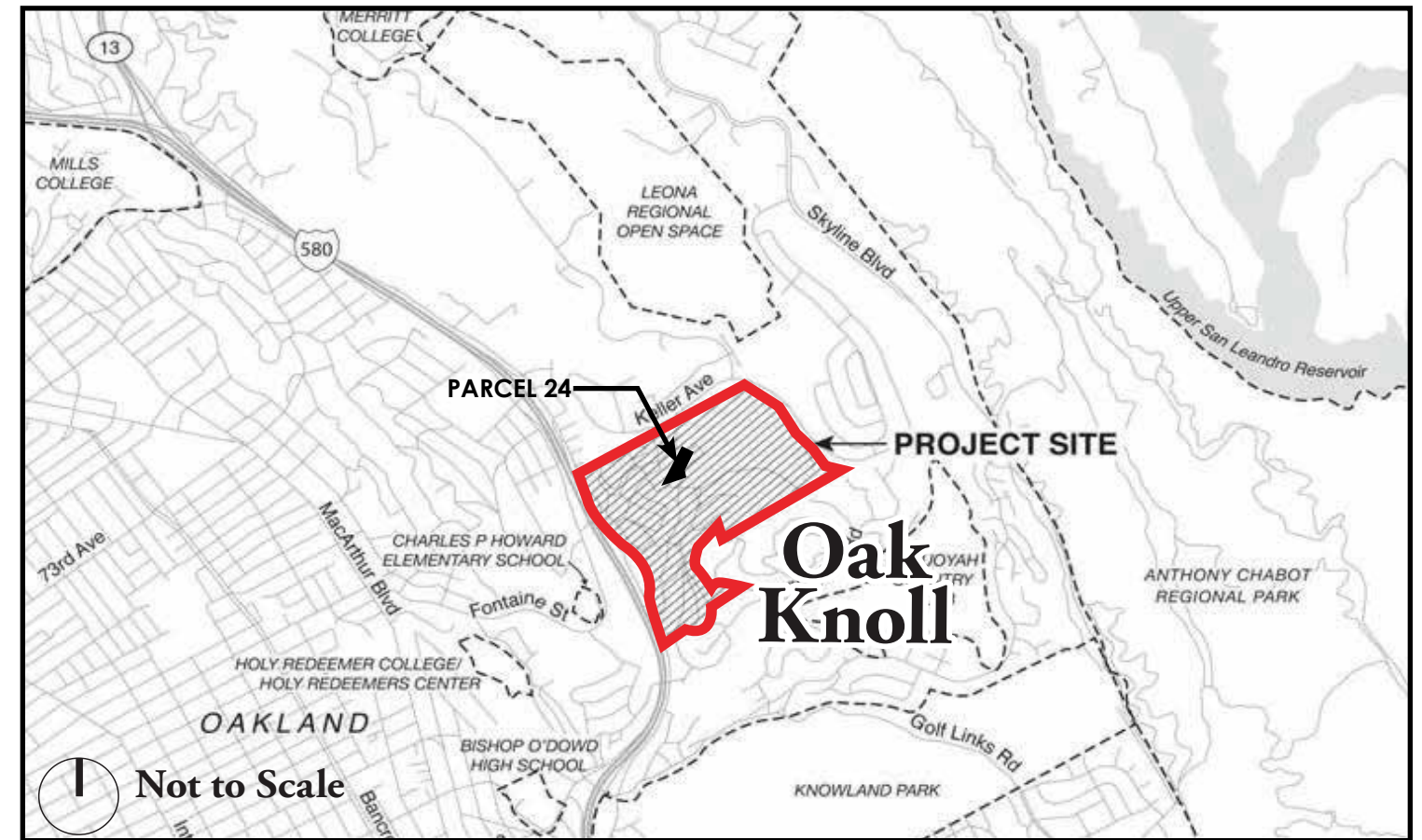
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An aerial photograph of a city and its surrounding landscape. The city is densely packed with buildings and roads, extending towards a large body of water in the distance. The foreground shows a mix of green fields, forests, and some industrial or commercial structures. A semi-transparent blue box is overlaid on the center of the image, containing the word "INTRODUCTION" in a blue, sans-serif font.

INTRODUCTION



LOCATION

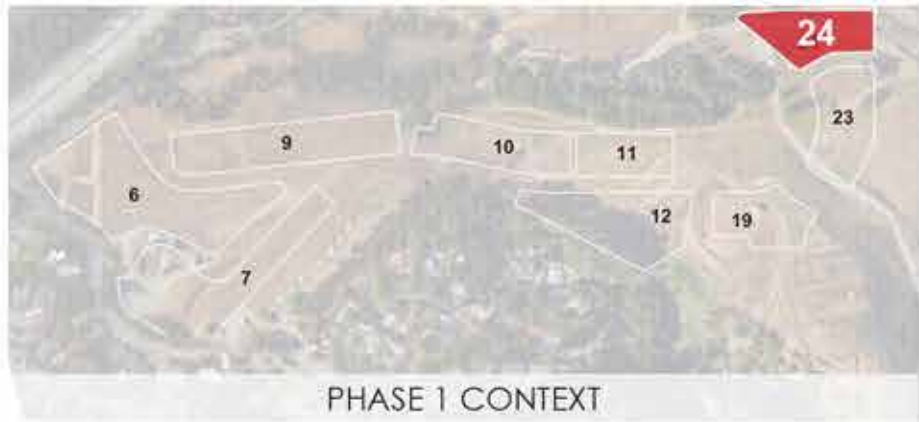


VICINITY

OAK KNOLL

LOCATION & VICINITY MAP
FINAL DEVELOPMENT PLAN - PARCEL 24





PHASE 1 CONTEXT



PARCEL VIEWS KEY MAP



1. LOOKING NORTH



2. LOOKING SOUTH



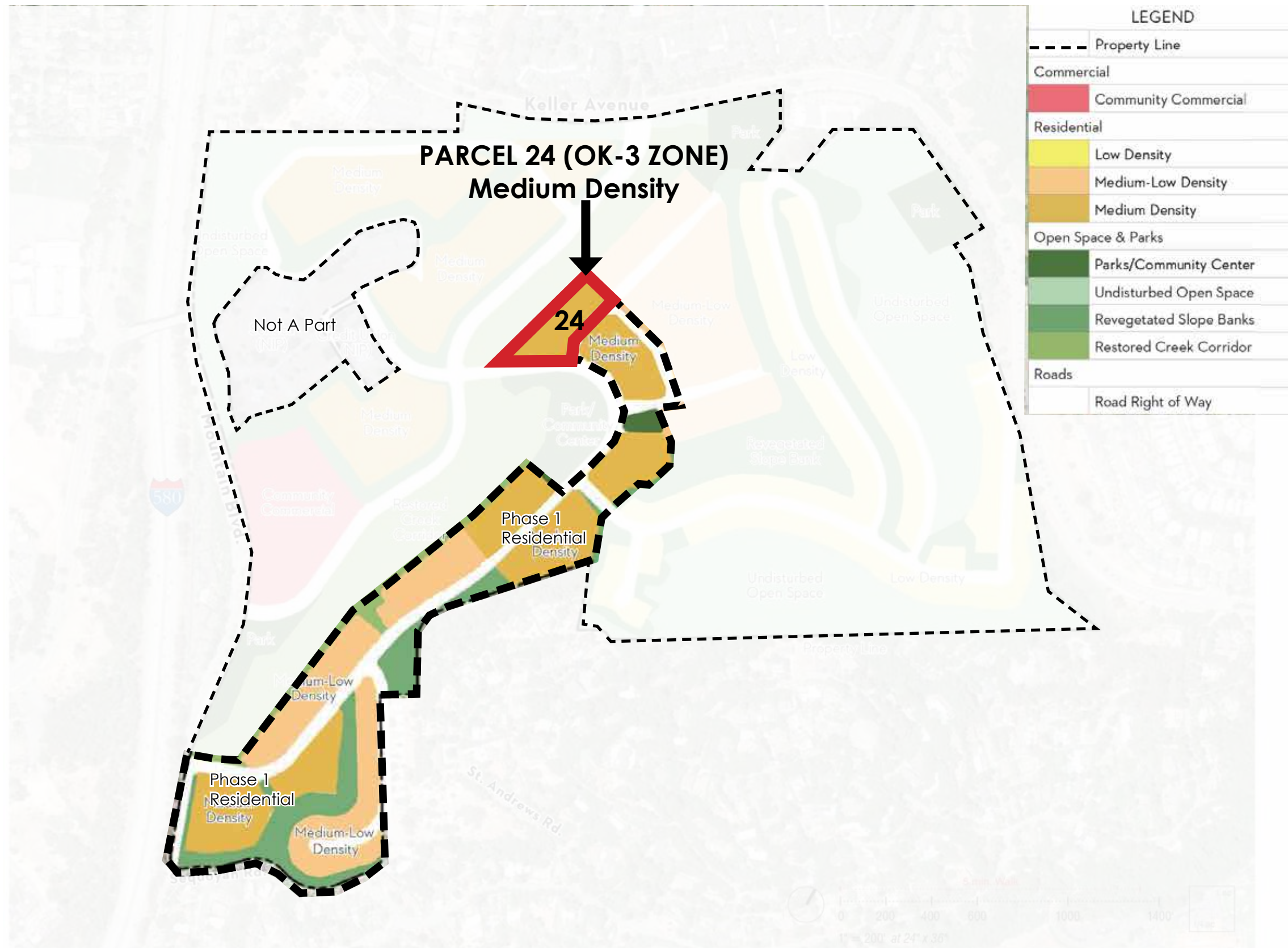
3. LOOKING EAST

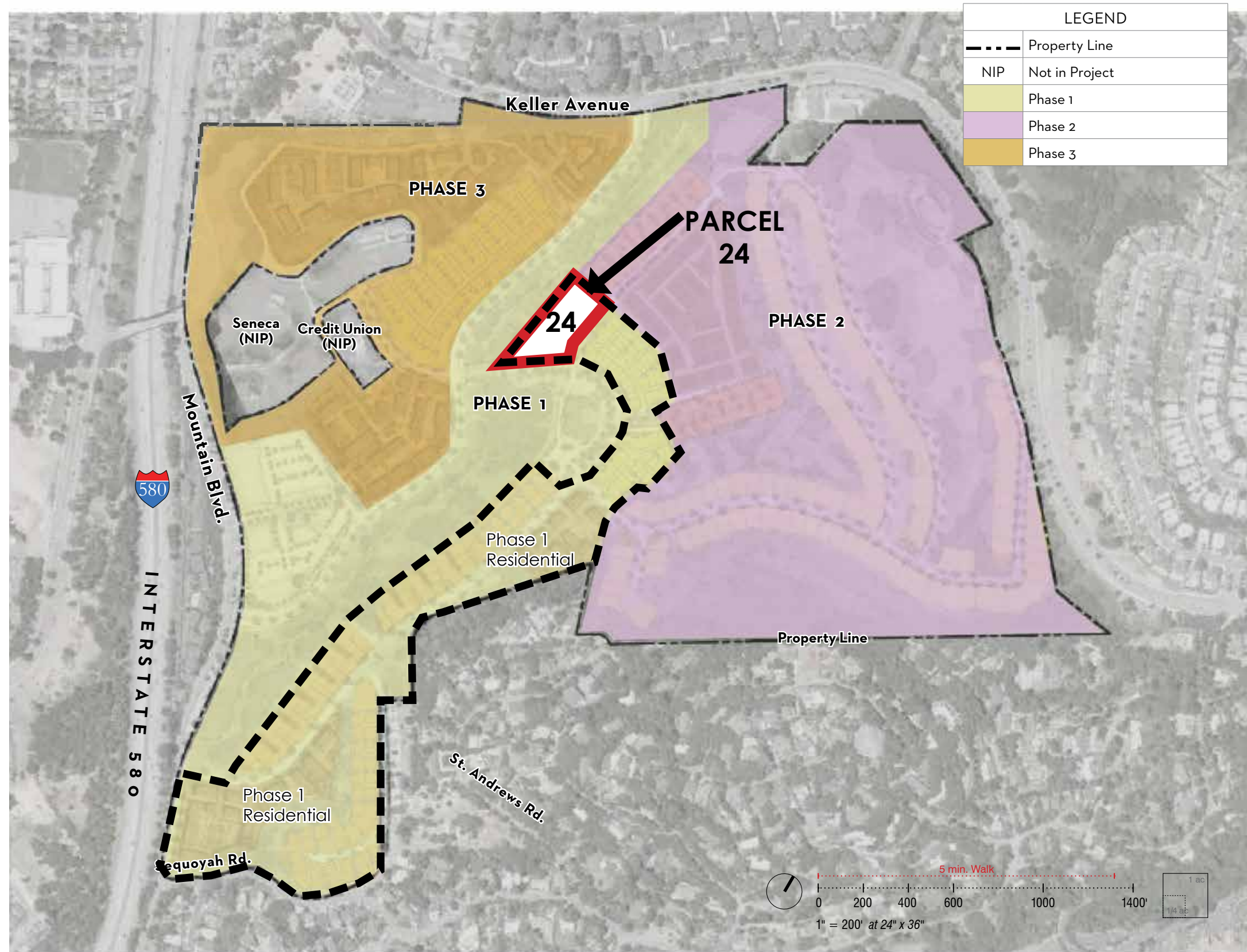


4. LOOKING WEST

OAK KNOLL

CONTEXT PHOTOS
FINAL DEVELOPMENT PLAN - PARCEL 24

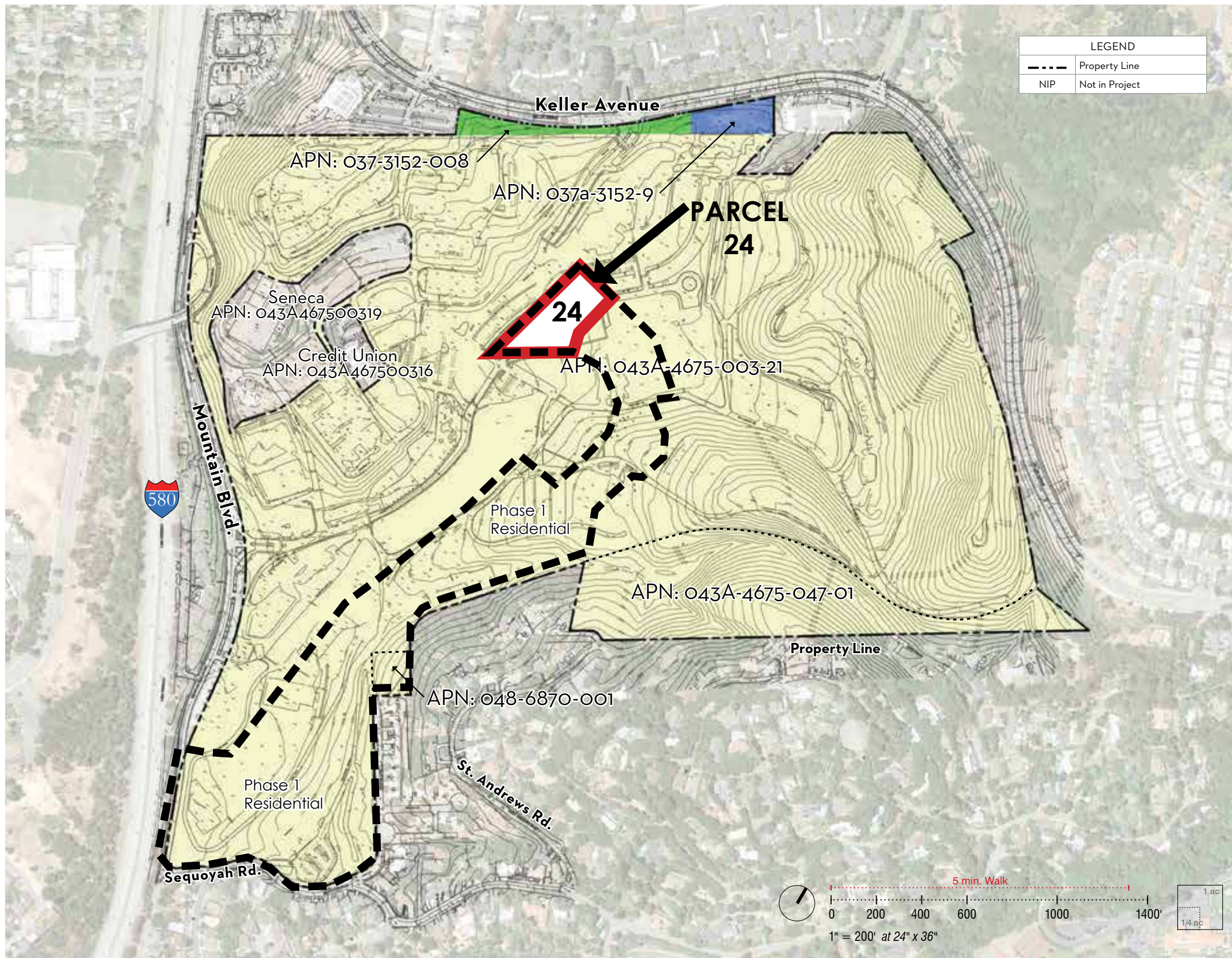




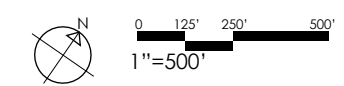
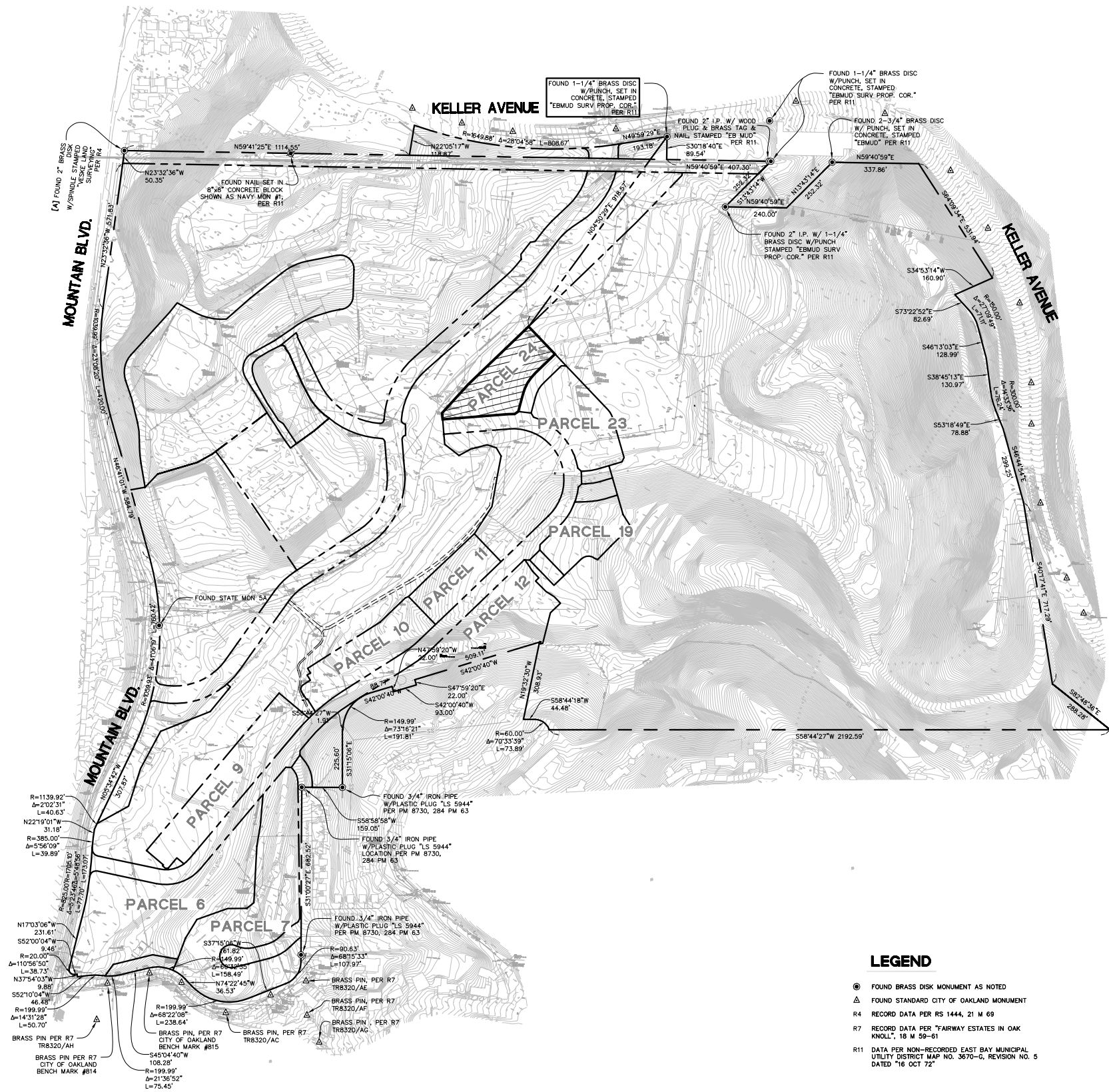
OAK KNOLL

PHASING & PHASE 1 RESIDENTIAL

FINAL DEVELOPMENT PLAN - PARCEL 24



NOTES:
 DATE OF AERIAL TOPOGRAPHIC SURVEY:
 09-24-13 BY PHOTO SCIENCE, INC.



OAK KNOLL

OVERALL PROPERTY BOUNDARY & TOPOGRAPHY

FINAL DEVELOPMENT PLAN - PARCEL 24





Keller Avenue

Park

Oak Knoll Park

Creekside Parkway

Community Center

Village Center

THE PLAN

Open Space

Property Line

Park

Creekside Loop

St. Andrews Rd.

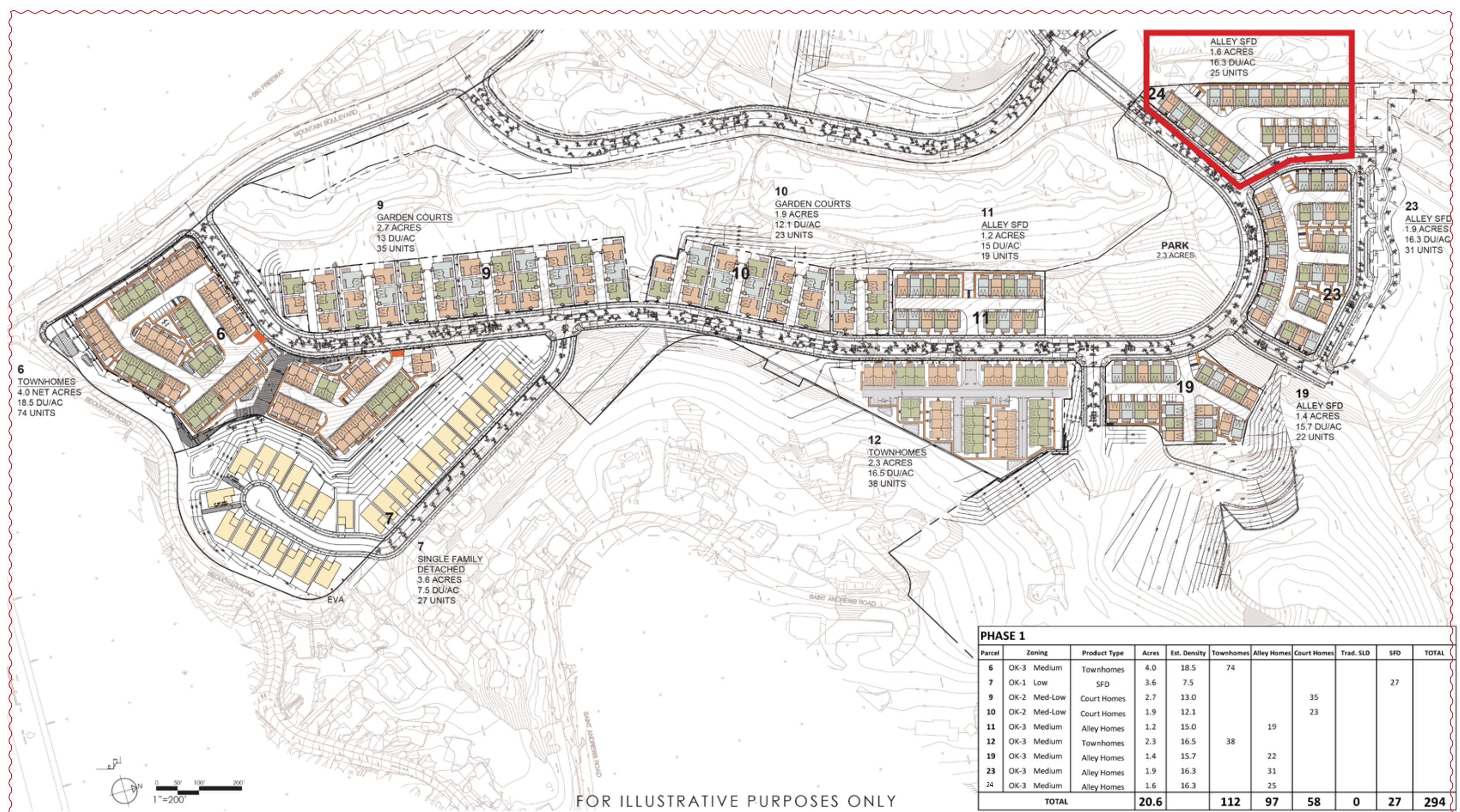
INTERSTATE 580

Mountain Blvd.

Sequoiah Rd.

EVA





FOR ILLUSTRATIVE PURPOSES ONLY

OAK KNOLL

PHASE 1 SITE PLAN

FINAL DEVELOPMENT PLAN - PARCEL 24





PARCEL 24

ZONE: OK-3 MEDIUM

UNIT TYPE:
ALLEY LOADED SMALL LOT SFD
(AKA Pull-Apart Townhome)

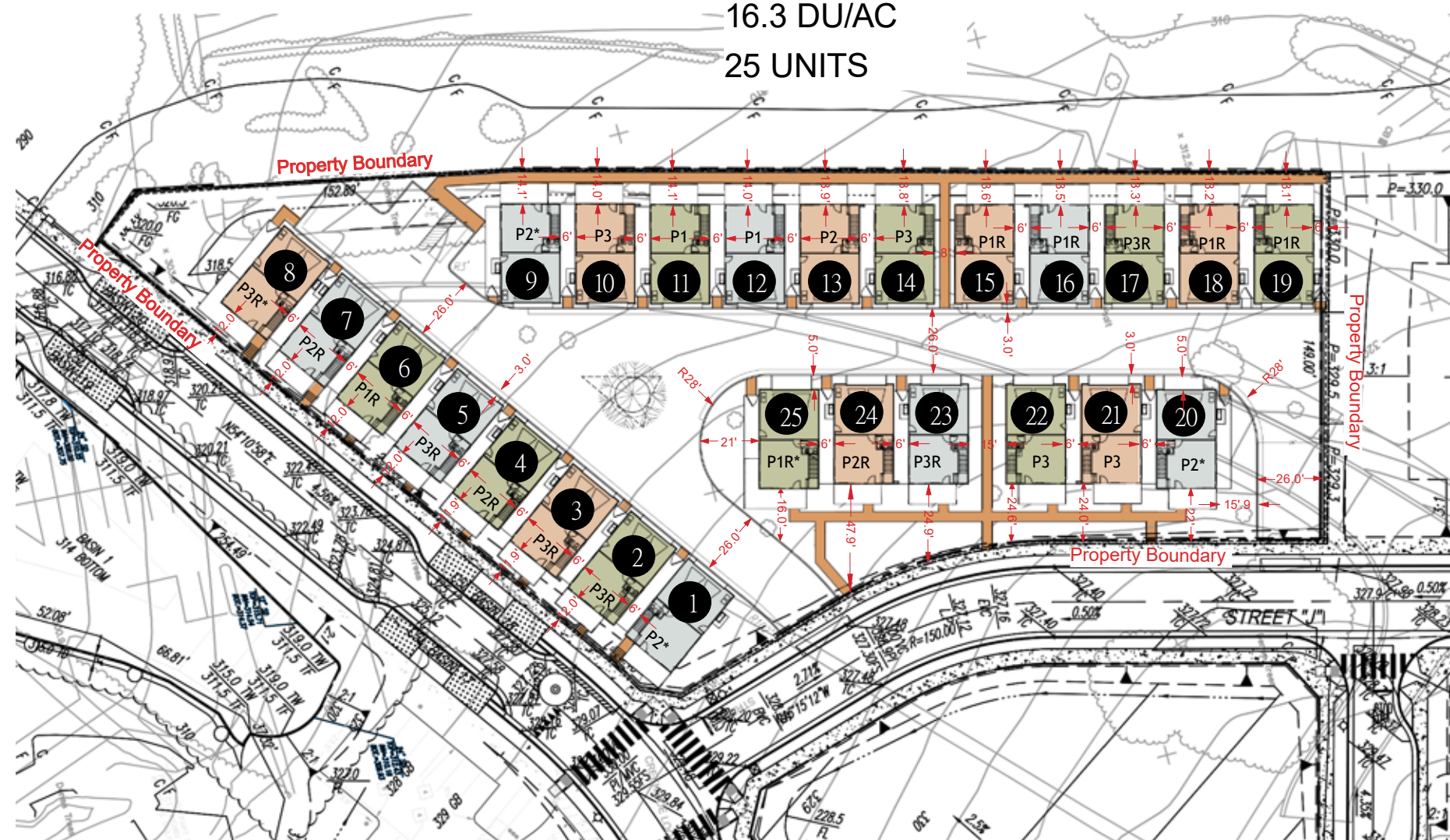
PLAN SIZE:
RANGING FROM 2,000 SF TO 2,500 SF

Note: Per Table 17.101J.02: Permitted and Conditionally Permitted Facilities of the Oakland Zoning Code, a "One-Family Dwelling" is conditionally permitted in the D-OK-3 zone. In conjunction with this Final Development Plan, an application for a Conditional Use Permit has been made to implement the small-lot detached alley home/pull-apart townhome home type in lieu of an attached townhome.

LOT COVERAGE:
35.5% (55% MAX. ALLOWED)

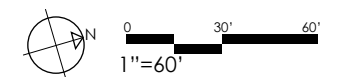
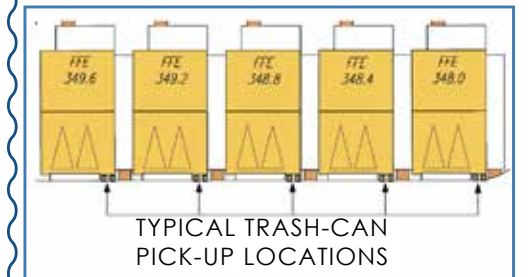
DEVELOPMENT STANDARDS PER OK-3 ZONING CODE:
FRONT SETBACK = 8' MIN.
SIDE SETBACK AT INTERIOR = 4' MIN.
SIDE SETBACK AT STREET = 5' MIN.
REAR SETBACK = N/A
MAX. HEIGHT (PRIMARY WALL) = 35'
MAX. HEIGHT (PITCHED ROOF) = 40'

24
ALLEY SFD
1.6 ACRES
16.3 DU/AC
25 UNITS



LEGEND

- # BUILDING NUMBERS
- PROPERTY BOUNDARY
- MISSION STYLE
- CRAFTSMAN STYLE
- FARMHOUSE STYLE
- * HIGH VISIBILITY FACADE



OAK KNOLL

PARCEL SITE PLAN

FINAL DEVELOPMENT PLAN - PARCEL 24

Notes:
Refer to engineer's drawings for details regarding retaining walls, precise location of boundaries, grading and slopes.
For details of the floorplans, please see the floorplans in the Architecture section of this document.
For landscaping and fence details refer to landscape plans of this document.

PARCEL 24

OPEN SPACE SUMMARY

TOTAL USABLE GROUP OPEN SPACE

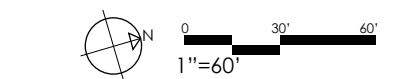
REQUIRED 170 SF PER UNIT (25 UNITS)= 4,250 SF
PROVIDED = 5,969 SF

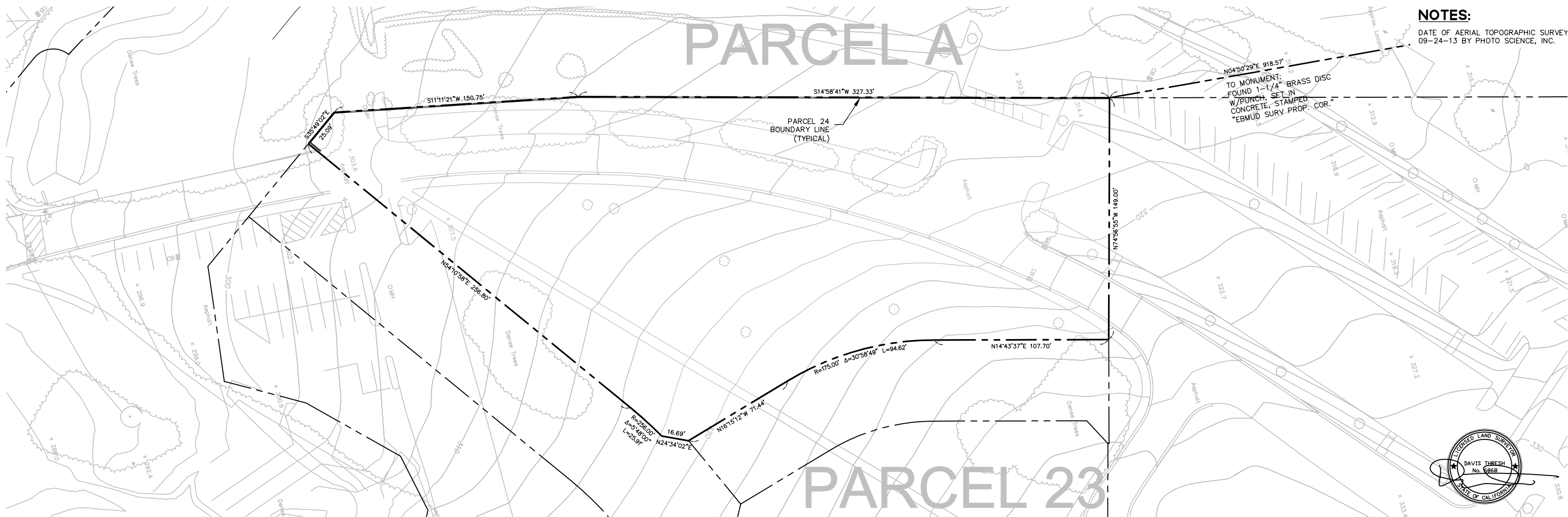


OAK KNOLL

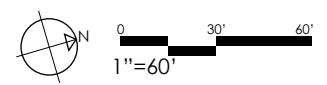
OPEN SPACE SUMMARY

FINAL DEVELOPMENT PLAN - PARCEL 24

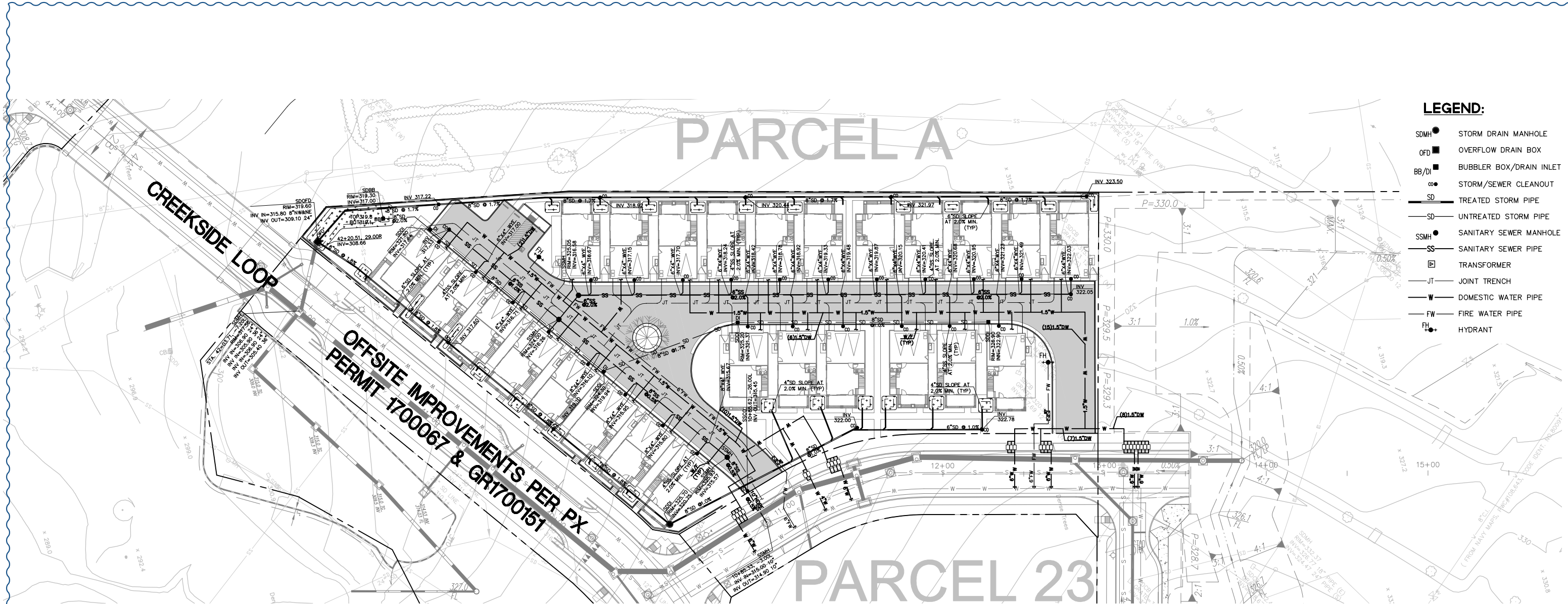




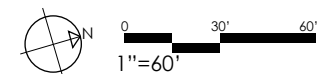
NOTES:
DATE OF AERIAL TOPOGRAPHIC SURVEY
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OAK KNOLL
PARCEL BOUNDARY
FINAL DEVELOPMENT PLAN - PARCEL 24



NOTE: REFER TO PARCEL SITE PLAN PAGE 10 FOR UNIT TYPES AND UNIT PLANS



OAK KNOLL

UTILITY PLAN

FINAL DEVELOPMENT PLAN - PARCEL 24





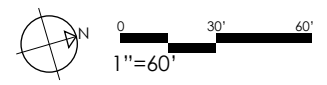
- KEY NOTE:**
- ① CONCRETE ROLLED CURB
 - ② CONCRETE CURB
 - ③ PRIVATE PEDESTRIAN WALK
- LEGEND:**
- ▭ PRIVATE ROAD
 - +++ STORM TREATMENT AREA
 - ← OVERLAND RELEASE

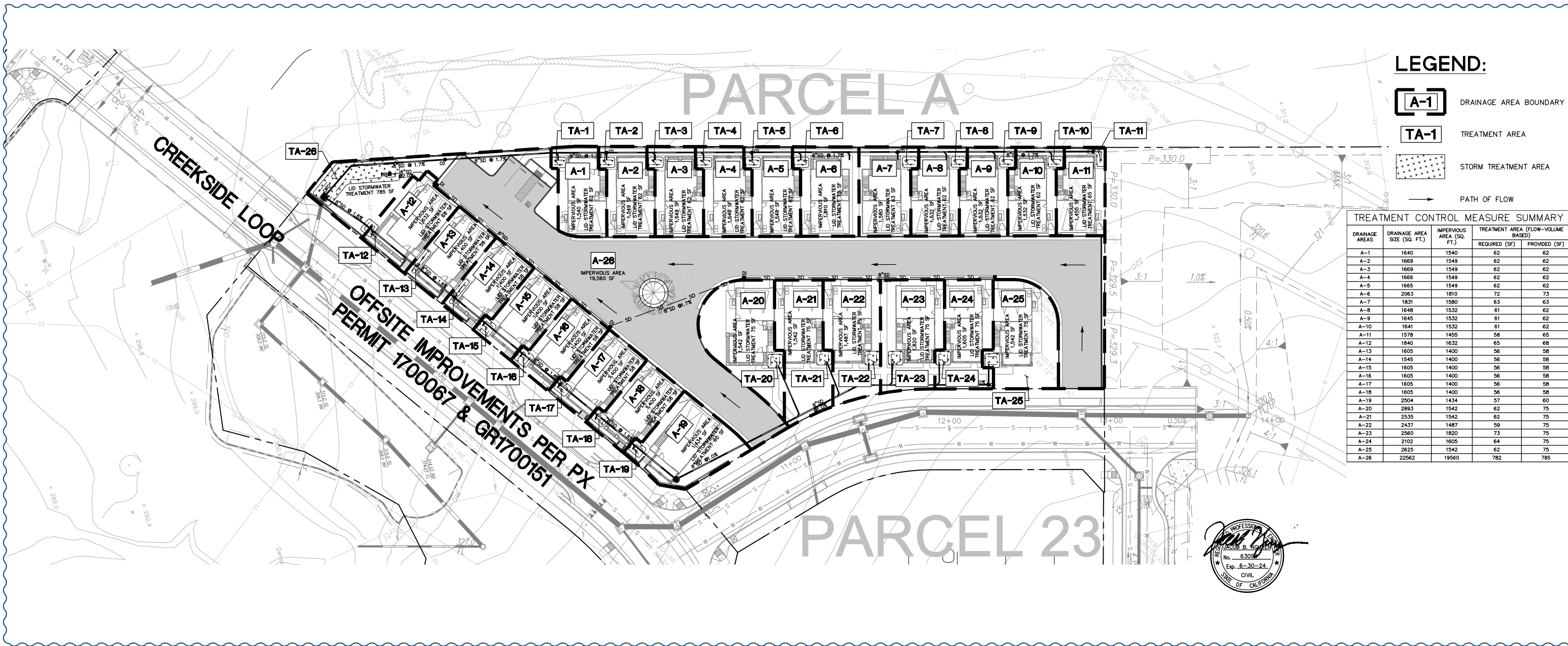


OAK KNOLL

GRADING & DRAINAGE PLAN

FINAL DEVELOPMENT PLAN - PARCEL 24



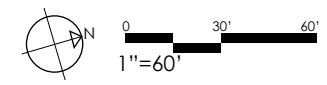


LEGEND:

- A-1 DRAINAGE AREA BOUNDARY
- TA-1 TREATMENT AREA
- STORM TREATMENT AREA
- PATH OF FLOW

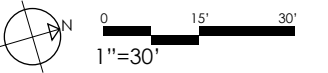
TREATMENT CONTROL MEASURE SUMMARY

DRAINAGE AREAS	DRAINAGE AREA SIZE (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	TREATMENT AREA (FLOW-VOLUME BASED)	
			REQUIRED (SF)	PROVIDED (SF)
A-1	1640	1540	62	62
A-2	1669	1549	62	62
A-3	1669	1549	62	62
A-4	1666	1549	62	62
A-5	1665	1549	62	62
A-6	2063	1810	72	73
A-7	1831	1580	63	63
A-8	1648	1532	61	62
A-9	1645	1532	61	62
A-10	1641	1532	61	62
A-11	1578	1455	58	65
A-12	1840	1632	65	68
A-13	1605	1400	56	58
A-14	1545	1400	56	58
A-15	1605	1400	56	58
A-16	1605	1400	56	58
A-17	1605	1400	56	58
A-18	1605	1400	56	58
A-19	2504	1434	57	60
A-20	2893	1542	62	75
A-21	2535	1542	62	75
A-22	2437	1487	59	75
A-23	2560	1820	73	75
A-24	2102	1605	64	75
A-25	2625	1542	62	75
A-26	22562	19560	782	785



OAK KNOLL
 STORMWATER TREATMENT PLAN
 FINAL DEVELOPMENT PLAN - PARCEL 24



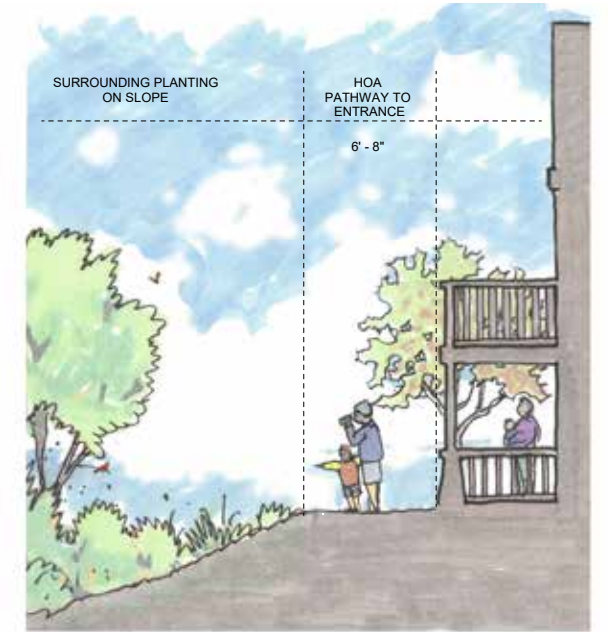
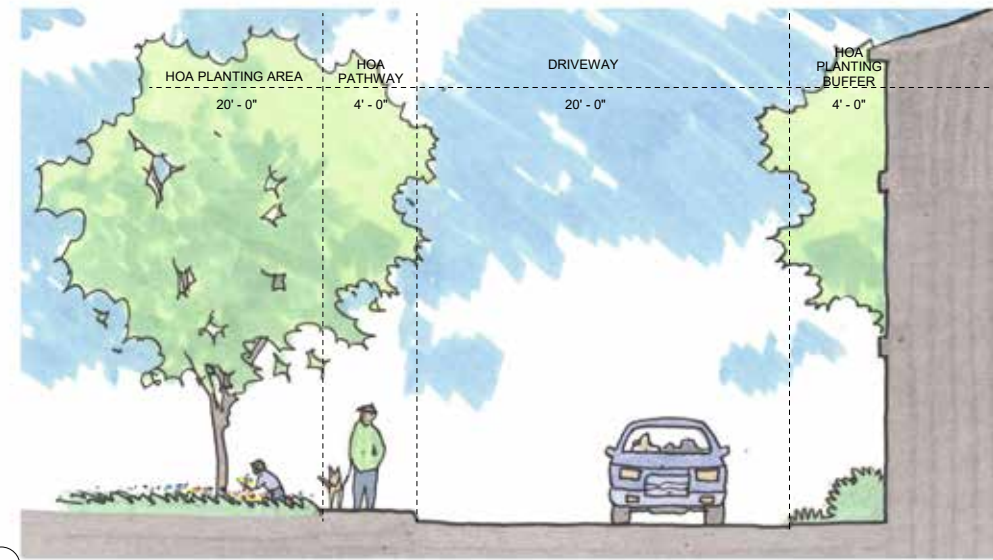
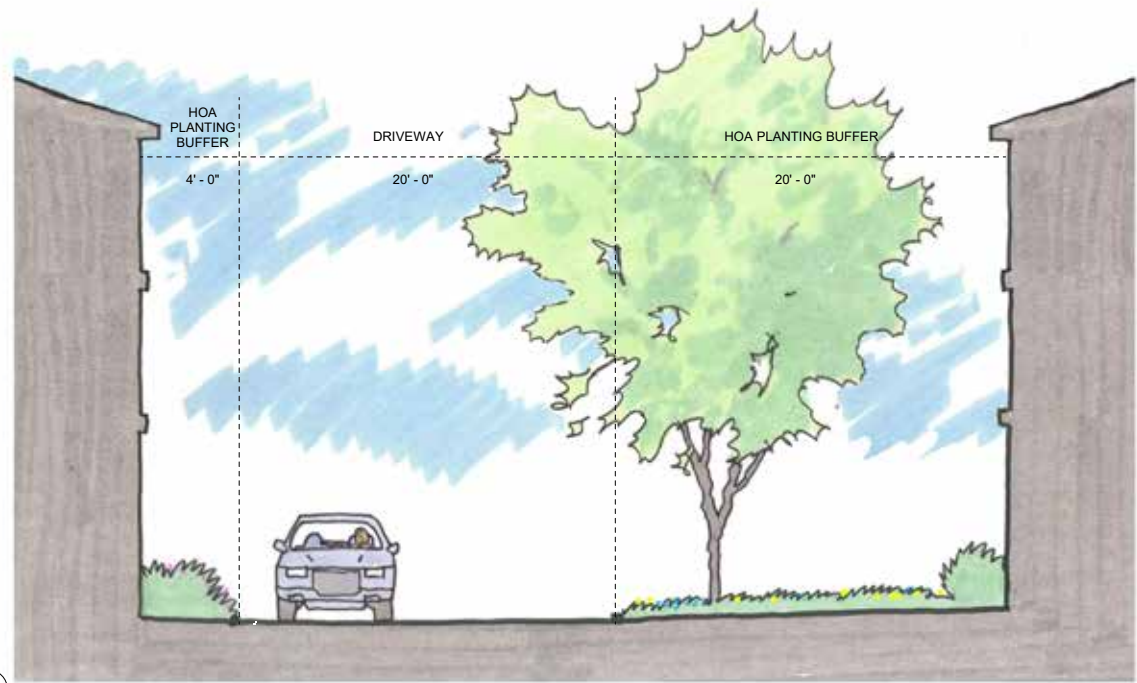




OAK KNOLL

LANDSCAPE CONCEPT

FINAL DEVELOPMENT PLAN - PARCEL 24



SEE PARCEL 24 LANDSCAPE CONCEPT
FOR SECTION LOCATIONS

TREE LIST				
SYMBOL	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	WATER USE
TREE				
	AESCLUSUS CALIFORNICA	CALIFORNIA BUCKEYE	24" BOX	VERY LOW
	ALBIZIA JULIBRISSIN	SILK TREE	24" BOX	LOW
	ARBUTUS UNEDO MULTI STEM	COMPACT STRAWBERRY TREE	24" BOX	LOW
	CEANOTHUS 'RAY HARTMAN'	RAY HARTMAN WILD LILAC	15 GAL	LOW
	JACARANDA MIMOSIFOLIA	JACARANDA	24" BOX	MODERATE
	LAGERSTROEMIA INDICA	CRAPE MYRTLE	24" BOX	LOW
	PLATANUS X ACERIFOLIA 'COLUMBIA'	LONDON PLANE TREE	24" BOX	MODERATE
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	VERY LOW

SHRUBS, GROUNDCOVERS & GRASSES				
Type	COMMON NAME	CONTAINER SIZE	SPACING	WATER USE
GRASS				
CAREX DIVULSA	BERKELEY SEDGE	1 GAL	2'-6"	LOW
FESTUCA 'SISKIYOU BLUE'	SISKIYOU BLUE FESCUE	1 GAL	18"	MODERATE
FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL	2'-6"	LOW
FESTUCA RUBRA 'PT. MOLATE'	MOLATE FESCUE	1 GAL	1'-6"	LOW
JUNCUS PATENS 'ELK BLUE'	ELK BLUE CALIFORNIA GRAY RUSH	1 GAL	2'-0"	LOW
MUHLENBERGIA RIGENS	DEERGRASS	1 GAL	3'-0"	LOW
SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GAL	1'-0"	MODERATE
GROUNDCOVER				
ACHILLEA MILLEFOLIUM	YARROW	1 GAL	1'-6"	LOW
ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	15 GAL	8'-0"	LOW
ARCTOTIS STOECHADIFOLIA	AFRICAN DAISY	1 GAL	1'-6"	LOW
BERBERIS REPENS	CREEPING BARBERRY	5 GAL	1'-6"	LOW
CISTUS CORBARIENSIS	ROCKROSE	5 GAL	6'-0"	LOW
ERIGERON GLAUCUS	SEASIDE DAISY	5 GAL	2'-0"	LOW
MYOPORUM PARVIFOLIUM 'PUTAH CREEK'	CREEPING MYOPORUM	1 GAL	1'-0"	LOW
ROSMARINUS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	5 GAL	8'-0"	LOW
SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL	4'-0"	LOW
SENECIO MANDRALISCAE	BLUE CHALKSTICKS	5 GAL	2'-0"	LOW
STACHYS BYZANTINA 'SILVER CARPET'	LAMB'S EARS	1 GAL	3'-0"	LOW
ZAUSCHNERIA CALIFORNICA 'ROUTE 66'	ROUTE 66 CALIFORNIA FUCHSIA	1 GAL	3'-0"	LOW
HIGH SHRUB				
ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'	HOWARD MCMINN MANZANITA	24" BOX	5'-0"	LOW
ARCTOSTAPHYLOS DENSIFLORA 'LUTSKO'S PINK'	MANZANITA	1 GAL	6'-0"	LOW
CARPENTERIA CALIFORNICA 'ELIZABETH'	BUSH ANEMONE	1 GAL	4'-0"	MODERATE
CEANOTHUS 'CONCHA'	CALIFORNIA LILAC	1 GAL	9'-0"	LOW
CEANOTHUS 'FROSTY BLUE'	CALIFORNIA LILAC	15 GAL	10'-0"	LOW
CEANOTHUS GLORIOSUS VAR. EXALTATUS 'EMILY BROWN'	NAVARRO CEANOTHUS	1 GAL	8'-0"	LOW
HETEROMELES ARBUTIFOLIA	TOYON	15 GAL	6'-0"	LOW
OLEA EUROPAEA 'MONTRA'	LITTLE OLIVE	15 GAL	4'-0"	VERY LOW
PHORMIUM 'BRONZE BABY'	NEW ZEALAND FLAX	5 GAL	3'-0"	LOW
PHORMIUM 'DARK DELIGHT'	NEW ZEALAND FLAX	5 GAL	4'-0"	LOW
RIBES SANGUINEUM 'CLAREMONT'	FLOWERING CURRANT	5 GAL	6'-0"	LOW
RIBES VIBURNIFOLIUM	CATALINA PERFUME	1 GAL	5'-0"	LOW
ROSA CALIFORNICA	CALIFORNIA WILD ROSE	5 GAL	3'-0"	LOW
SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL	5'-0"	LOW
SENECIO LEUCOSTACHYS	WHITE GROUNDSEL	5 GAL	4'-0"	LOW
WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	5 GAL	3'-0"	LOW
LOW SHRUB				
ANIGOZANTHOS 'BUSH LANTERN'	DWARF YELLOW KANGAROO PAW	1 GAL	2'-0"	LOW
ANIGOZANTHOS 'HARMONY'	KANGAROO PAW	5 GAL	2'-6"	LOW
ASCLEPIAS FASCICULARIS	NARROWLEAF MILKWEED	1 GAL	3'-0"	LOW
ASCLEPIAS SPECIOSA 'DAVIS'	SHOWY MILKWEED	1 GAL	3'-0"	LOW
ERYSIMUM LINIFOLIUM 'BOWLES' MAUVE'	WALLFLOWER	1 GAL	1'-6"	LOW
GALVEZIA SPECIOSA 'FIRECRACKER'	FIRECRACKER ISLAND BUSH SNAPDRAGON	1 GAL	4'-0"	LOW
IRIS DOUGLASIANA 'CANYON SNOW'	PACIFIC COAST HYBRID IRIS	1 GAL	1'-6"	LOW
LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	HIDCOTE BLUE ENGLISH LAVENDER	5 GAL	3'-0"	LOW
PHORMIUM 'CREAM DELIGHT'	NEW ZEALAND FLAX	5 GAL	2'-0"	LOW
PHORMIUM 'JACK SPRATT'	NEW ZEALAND FLAX	5 GAL	1' 0"	LOW
POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL	3'-0"	MODERATE
RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	COFFEEBERRY	24" BOX	6'-0"	LOW
ROSMARINUS OFFICINALIS 'COLLINGWOOD INGRAM'	DWARF ROSEMARY	1 GAL	4'-0"	LOW
SALVIA MICROPHYLLA 'BERZERKELEY'	BERZERKELEY SALVIA	1 GAL	2'-0"	LOW
TEUCRIUM CHAMAEDRYS	WALL GERMANDER	1 GAL	2'-0"	LOW
TREE				
AESCLUSUS CALIFORNICA	CALIFORNIA BUCKEYE	24" BOX	25'-0"	VERY LOW
ARBUTUS UNEDO MULTI STEM	COMPACT STRAWBERRY TREE	24" BOX	8'-0"	LOW
CEANOTHUS 'RAY HARTMAN'	RAY HARTMAN WILD LILAC	15 GAL	10'-0"	LOW
JACARANDA MIMOSIFOLIA	JACARANDA	24" BOX	30'-0"	MODERATE
LAGERSTROEMIA INDICA	CRAPE MYRTLE	24" BOX	20'-0"	LOW
PLATANUS X ACERIFOLIA 'COLUMBIA'	LONDON PLANE TREE	24" BOX	30'-0"	MODERATE
VINE				
SOLANUM JASMINOIDES	POTATO VINE	1 GAL	15'-0"	MODERATE
VITIS 'ROGER'S RED'	ROGER'S CALIFORNIA GRAPE	5 GAL	15'-0"	LOW

OAK KNOLL

PLANT LIST

FINAL DEVELOPMENT PLAN - PARCEL 24

IRRIGATION DESIGN INTENT & PERFORMANCE STANDARDS

1. ALL SHRUBS, GROUNDCOVERS, TREES AND VINES SELECTED FOR PLANTING ARE CLIMATE ADAPTED AND DROUGHT TOLERANT. ALL SHRUBS AND GROUNDCOVER AREAS (NON-TURF AREAS) TO BE IRRIGATED WITH DRIP IRRIGATION. ALL TURF AREAS IRRIGATED WITH HIGH EFFICIENCY SPRINKLERS.
2. LANDSCAPING TO BE DESIGNED TO BE IRRIGATED AT NO MORE THAN 70% OF THE REFERENCE EVAPOTRANSPIRATION FOR THE IRRIGATED AREA.
3. NO ORNAMENTAL TURF HAS BEEN SPECIFIED. ALL TURF IS FOR RECREATIONAL USE AND WILL NOT COVER MORE THAN 25% OF TOTAL IRRIGATED AREA.
4. TURF IS NOT ALLOWED IN AREAS LESS THAN 10' WIDE.
5. AUTOMATIC, SELF-ADJUSTING IRRIGATION CONTROLLERS ARE TO BE SPECIFIED ON ALL IRRIGATION SYSTEMS AND WILL AUTOMATICALLY ACTIVATE AND DEACTIVATE THE IRRIGATION SYSTEM BASED ON CHANGES IN THE WEATHER. ALL AUTOMATIC IRRIGATION SYSTEMS ARE EQUIPPED WITH RAIN SENSORS.
6. OVERHEAD SPRINKLER IRRIGATION FOR TURF AREAS ONLY, NO SPRINKLERS OR SPRAY HEADS IN AREAS LESS THAN 10' WIDE. LANDSCAPE DESIGN BEST PRACTICES WILL INCLUDE DISTRIBUTION UNIFORMITY, HEAD TO HEAD SPACING AND SETBACKS FROM WALKWAYS AND PAVEMENT.
7. HOMEOWNER AND DEVELOPER TO CONFORM TO EBMUD SECTION 31 WATER EFFICIENCY REQUIREMENTS FOR LANDSCAPE. PLANS PROVIDED INCLUDE SUGGESTED PLANT PALETTE, AND IRRIGATION DESIGN/BUILD SPECIFICATION TO CONFORM TO SECTION 31. HOMEOWNER TO REFER TO EBMUD BOOK "PLANTS AND LANDSCAPES FOR SUMMER-DRY CLIMATES OF THE SAN FRANCISCO BAY REGION" FOR FURTHER INFORMATION AND PLANT SELECTION. WWW.STOPWASTE.ORG WEB SITE PROVIDES ADDITIONAL INFORMATION REGARDING BAY FRIENDLY PLANTS AND PRACTICES FOR LANDSCAPING.
8. VALVES AND CIRCUITS TO BE SEPARATED (INDIVIDUAL HYDROZONES) BASED ON PLANT MATERIAL AND WATER USE.
9. STATIC PRESSURE AT POINT OF CONNECTION TO BE 60 PSI OR HIGHER. IRRIGATION DEMAND NOT TO EXCEED 20 GPM AT 60 PSI STATIC PRESSURE.
10. PROVIDE AUTOMATIC IRRIGATION SYSTEM THAT PROVIDES 100% UNIFORM COVERAGE AND MEETS CURRENT WATER EFFICIENCY STANDARDS FOR LANDSCAPE AREAS.
11. IRRIGATION BACKFLOW PREVENTION DEVICE TO BE LOCATED CLOSE TO STRUCTURE AWAY FROM EDGE OF ROAD OR PAVEMENT ON A CONCRETE PAD. A POLAR BLANKET AND STEEL CAGING TO BE PROVIDED FOR EACH BACKFLOW PREVENTER.
12. WATER USE ACCORDING TO "WUCOLS: WATER USE CLASSIFICATION OF LANDSCAPE SPECIES"

PLANTING DESIGN INTENT & NOTES

1. ALL LANDSCAPE AREAS ARE TO BE MAINTAINED BY HOME OWNERS' ASSOCIATION. PRIVATE PATIOS AND PRIVATE YARDS WILL BE MAINTAINED BY INDIVIDUAL HOME OWNERS.
2. PLANT LISTS ARE SUGGESTED PALETTE, PLANTS MAY BE SUBSTITUTED AT OWNER'S DISCRETION SO LONG AS THEY ARE CLIMATE ADAPTED, AND MEET WATER REQUIREMENTS.
3. PLANT ALL TREES A MINIMUM OF 5 FEET AWAY FROM ANY UNDERGROUND UTILITIES, A MINIMUM OF 15 FEET FROM A LIGHT POLE, AND A MINIMUM OF 30 FEET FROM THE FACE OF A TRAFFIC SIGNAL, OR AS OTHERWISE SPECIFIED BY THE CITY.
4. PROVIDE ROOT BARRIER FOR ALL TREES LOCATED WITHIN 7 FEET OF PAVED EDGES OR STRUCTURE. ROOT BARRIER IS 24 INCH DEEP BY APPROXIMATELY 6 FT LONG PANEL BARRIER, DEEP ROOT SM 24, AVAILABLE FROM VILLA LANDSCAPE PRODUCTS, INC. (714) 630-3181; ROOT SOLUTIONS (800)554-0914 OR APPROVED EQUIVALENT. INSTALL 12' LENGTH ALONG EDGE OF PAVEMENT CENTERED ON EACH TREE.
5. ALL SHRUBS, GROUNDCOVERS, TREES AND VINES SELECTED FOR PLANTING ARE CLIMATE ADAPTED AND DROUGHT TOLERANT. ALL SHRUBS AND GROUNDCOVER AREAS (NON-TURF AREAS) TO BE IRRIGATED WITH DRIP IRRIGATION. ALL TURF AREAS IRRIGATED WITH HIGH-EFFICIENCY SPRAY.
6. NON-TURF AREAS: AT LEAST 80% OF PLANTS SELECTED ARE CLIMATE APPROPRIATE LOW WATER USE SPECIES AND REQUIRE MINIMAL WATER ONCE ESTABLISHED. UP TO 20% OF THE PLANTS MAY BE NON-DROUGHT TOLERANT VARIETY AS LONG AS THEY ARE APPROPRIATELY GROUPED TOGETHER AND IRRIGATED SEPARATELY AND EFFICIENTLY.
7. WATER USE ACCORDING TO "WUCOLS: WATER USE CLASSIFICATION OF LANDSCAPE SPECIES"

STORMWATER TREATMENT PLANTING				
BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING	WATER USE
GRASS				
CAREX DIVULSA	BERKELEY SEDGE	1 GAL	2'-6"	LOW
FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL	2'-6"	LOW
JUNCUS PATENS 'ELK BLUE'	ELK BLUE CALIFORNIA GRAY RUSH	1 GAL	2'-0"	LOW
MUHLENBERGIA RIGENS	DEERGRASS	1 GAL	3'-0"	LOW
CHONDROPETALUM TECTORUM	CAPE RUSH	5 GAL	4'-0"	LOW
GROUNDCOVER				
ERIGERON GLAUCUS	SEASIDE DAISY	5 GAL	2'-0"	LOW
ACHILLEA MILLEFOLIUM	YARROW	1 GAL	1'-6"	LOW
BERBERIS REPENS	CREEPING BARBERRY	5 GAL	1'-6"	LOW
SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL	4'-0"	LOW
HIGH SHRUB				
RIBES SANGUINEUM 'CLAREMONT'	FLOWERING CURRANT	5 GAL	6'-0"	LOW
ROSA CALIFORNICA	CALIFORNIA WILD ROSE	5 GAL	3'-0"	LOW
LOW SHRUB				
ASCLEPIAS FASCICULARIS	NARROWLEAF MILKWEED	1 GAL	3'-0"	LOW
ASCLEPIAS SPECIOSA 'DAVIS'	SHOWY MILKWEED	1 GAL	3'-0"	LOW
GRINDELIA HIRSUTULA	HAIRY GUMPLANT	1 GAL	3'-0"	LOW
IRIS DOUGLASIANA 'CANYON SNOW'	PACIFIC COAST HYBRID IRIS	1 GAL	1'-6"	LOW

NO-MOW TURF PLANTING			
BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	WATER USE
GRASS			
FESTUCA RUBRA	MOLATE FESCUE	PART OF SOD MIX	LOW
STIPA PULCHRA	PURPLE NEEDLEGRASS	PART OF SOD MIX	LOW
STIPA CERNUA	NODDING NEEDLEGRASS	PART OF SOD MIX	LOW
KOELERIA MACRANTHA	PRARIE JUNEGRASS	PART OF SOD MIX	LOW

trees



Albizia julibrissin | Silk Tree



Ceanothus 'Ray Hartman' | Ray Hartman Wild Lilac



Platanus 'Columbia' | London Plane Tree



Aesculus californica | California Buckeye



Jacaranda mimosifolia | Jacaranda



Quercus agrifolia | Coast Live Oak



Arbutus undeeo | Strawberry Tree



Lagerstoemia indica | Crape Myrtle

grasses



Carex divulsa | Berkeley Sedge



Juncus 'Elk Blue' | Elk Blue Juncus



Festuca 'Siskiyou Blue' | Siskiyou Blue Fescue



Muhlenbergia rigens | Deer Grass



Festuca californica | California Fescue



Festuca rubra 'Pt Molate' | Molate Fescue



Sesleria autumnalis | Autumn Moor Grass

groundcover



Achillea millefolium | Yarrow



Berberis repens | Creeping Barberry



Senecio mandraliscae | Blue Chalksticks



Arctostaphylos 'Pacific Mist' | Pacific Mist Manzanita



Cistus corbariensis | Rockrose



Salvia spathacea | Hummingbird Sage



Arctotis stoechadifolia | African Daisy



Erigeron glaucus | Seaside Daisy



Myoporum parvifolium | Creeping Myoporum

shrubs



Anigozanthos, sp. | Kangaroo Paw



Ceanothus, sp. | Wild Lilac



Olea 'Little Ollie' | Little Ollie Olive



Salvia leucantha | Mexican Bush Sage



Arcostaphylos 'Howard McMinn' | Howard McMinn Manzanita



Aesclepias, sp. | Milkweed



Lavandula angustifolia 'Hidcote Blue' | English Lavender



Phormium, sp. | New Zealand Flax



Teucrium chamaedrys | Wall Germander



Carpenteria californica | Bush Anenome



Galvezia speciosa 'Firecracker' | Island Bush Snapdragon



Iris douglasiana 'Island Snow' | Pacific Coast Iris



Ribes sanguineum | Red Flowering Currant



Westringia 'Morning Light' | Morning Light Coast Rosemary



Rosmarinus officinalis 'Collingwood Ingram' | Dwarf Rosemary

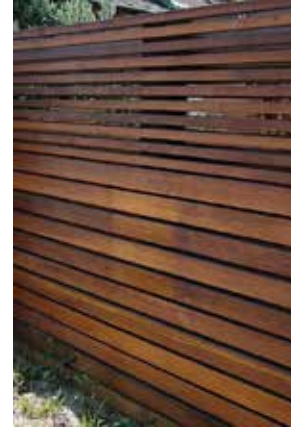
fencing



STEEL PICKET FENCE - 3' HEIGHT



STEEL PICKET FENCE ALONG PRIVATE COURTYARD - 6' HEIGHT



WOOD FENCE - HORIZONTAL BOARD, 6' HEIGHT. MATERIALS PER OAK KNOLL DESIGN GUIDELINES



WOOD FENCE - BOARD-ON-BATTEN, 6' HEIGHT. MATERIALS PER OAK KNOLL DESIGN GUIDELINES



COMMUNITY FENCE, CONCRETE PANEL, 6' TALL

paving



PRIVATE DRIVEWAY - INTEGRAL COLOR CONCRETE WITH SAWCUT JOINTS



PEDESTRIAN PAVING - INTEGRAL COLOR CONCRETE WITH ROCK SALT FINISH, SAWCUT JOINTS

retaining wall



ANCHOR HIGHLAND STONE RETAINING WALL, SIZES 6X6X12, 6X12X12, 6X18X12, WITH HIGHLAND CAP. COLOR: MONTECITO. AS AVAILABLE FROM BELGARD, WEB SITE: WWW.BELGARD.COM

bench



MAGLIN MLB870-W SERIES BENCH AS AVAILABLE FROM MAGLIN, WEB SITE: WWW.MAGLIN.COM

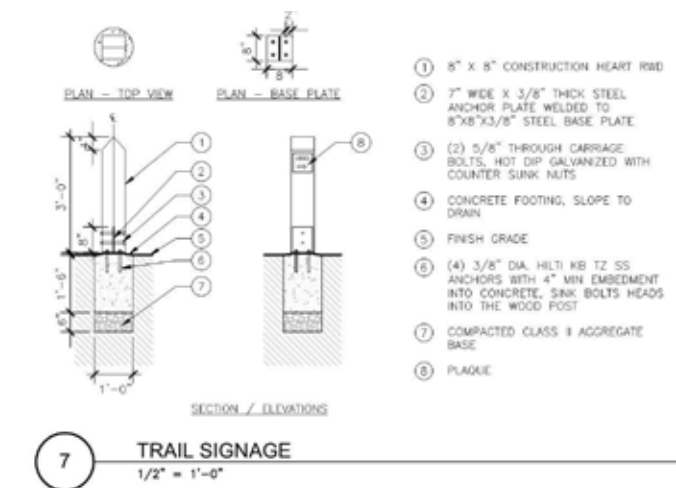
play structure



FREESTANDING SWINGING AND SPINNING ELEMENTS



entry sign



UDU-10176
Duomo 1 Bollard

7144 NE Progress Ct | Hillsboro, Oregon 97124 | T:503.645.0500 | F:503.645.8100 | www.ligmanlightingusa.com



Diameter - 6.3" | Height - 29.7"/28.9" | Weight 15.8 lbs
IP55 - Suitable For Wet Locations
IK04 - Impact Resistant (Vandal Resistant)

Construction

Aluminum.
Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre-paint
8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive - Silicon Gasket
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard 10kv surge suppressor provided with all fixtures.

BUG Rating
B0 - U3 - G1

Finishing.
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Opal Borosilicate Glass Lens
Provided with opal borosilicate impact resistant glass.

Optics & LED
Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Compact, screened bollard fixtures. Residential-scale, providing soft downward and vertical illumination.

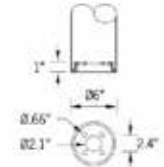
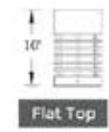
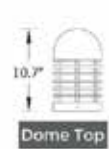
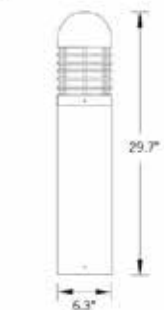
Duomo is a decorative bollard that is suitable for both modern and classic architecture. Ideal for creating visual guidance with exceptional visual comfort. This product was developed to complement the Duomo range of pillar lights, wall sconces and post tops. This sleek shape provides distinctive lighting effects by night and decorative urban effect during the day. Suitable for pedestrian precincts, building surrounds, shopping centers, squares and parks. The luminaire is provided with a opal borosilicate high impact glass lens that providing low glare vertical and horizontal illumination.

The Duomo Bollard comes standard with a unique waterproof internal driver housing compartment that is situated at the top of the pole to stop water and dust from entering the electrical components. This fixture is supplied completely wired with powercord and waterproof gland from the driver enclosure to the base of the bollard ensuring quick trouble-free installation. Custom bollard heights are available, please specify. Color temperature 2700K, 3000K and 4000K. Custom wattages can be provided to suit customer and Title 24 requirements. (Specify total watts per fixture)

Security Bollard:
The Duomo Bollard is available as a traffic rated security bollard. This optional design includes a 1/4" wall thickness galvanized steel security pole with 2 solid 1" galvanized steel cross support rods that are embedded into concrete.

This security bollard provides restraint of vehicular traffic in unauthorized areas. Impact studies shows this bollard will stop a 5,500lb vehicle, travelling at 30mph. For additional strength, the galvanized pole can be filled with concrete up to the waterproof driver housing to provide a solid concrete barrier.

Additional Options (Consult Factory For Pricing)



Duomo Product Family



Ligman Lighting USA reserves the right to change specifications without prior notice. Please contact factory for latest information. Due to the continual improvements in LED technology and components, specifications may change without notice.

UQB-20941
QBA Post Top

7144 NE Progress Ct | Hillsboro, Oregon 97124 | T:503.645.0500 | F:503.645.8100 | www.ligmanlightingusa.com



Length - 20.7"
Height - 17.3"
Weight 39.6 lbs
IP54
IK07
EPA - 1.33
POLE NOT INCLUDED

Construction

Aluminum.
Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre-paint
8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive - Silicon Gasket
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard 10kv surge suppressor provided with all fixtures.

BUG Rating
B1 - U3 - G1

Finishing.
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

High Impact Acrylic Lens
Manufactured with Ultra High Impact, Naturally UV Stabilized Injection Molded Acrylic.

Optics & LED
Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Sealed-optic urban post top. Traditional urban realm lighting post top, with external diffuser cover and clean lines

A modern post top luminaire with excellent downward symmetrical light distribution and visual appeal. The precision optical system gives very low glare rating, while reducing light pollution. Designed for lighting entrances, footpaths and car parks.

Color temperature 2700K, 3000K, 3500K and 4000K, LED CRI >80 and life time 50,000 Hours. Low copper content die-cast aluminium housing with high corrosion resistance. Stainless steel fasteners in grade 316. Durable silicone memory retentive gasket and clear prismatic UV stabilized acrylic lens. Housing is treated with a nickel and zinc phosphate protection before powder coating, ensuring high corrosion resistance.

High performance COB LED light engine. White coating aluminium reflector on the top of luminaire. This luminaire is provided prewired with power cord to the handhole to simplify installation

Additional Options (Consult Factory For Pricing)

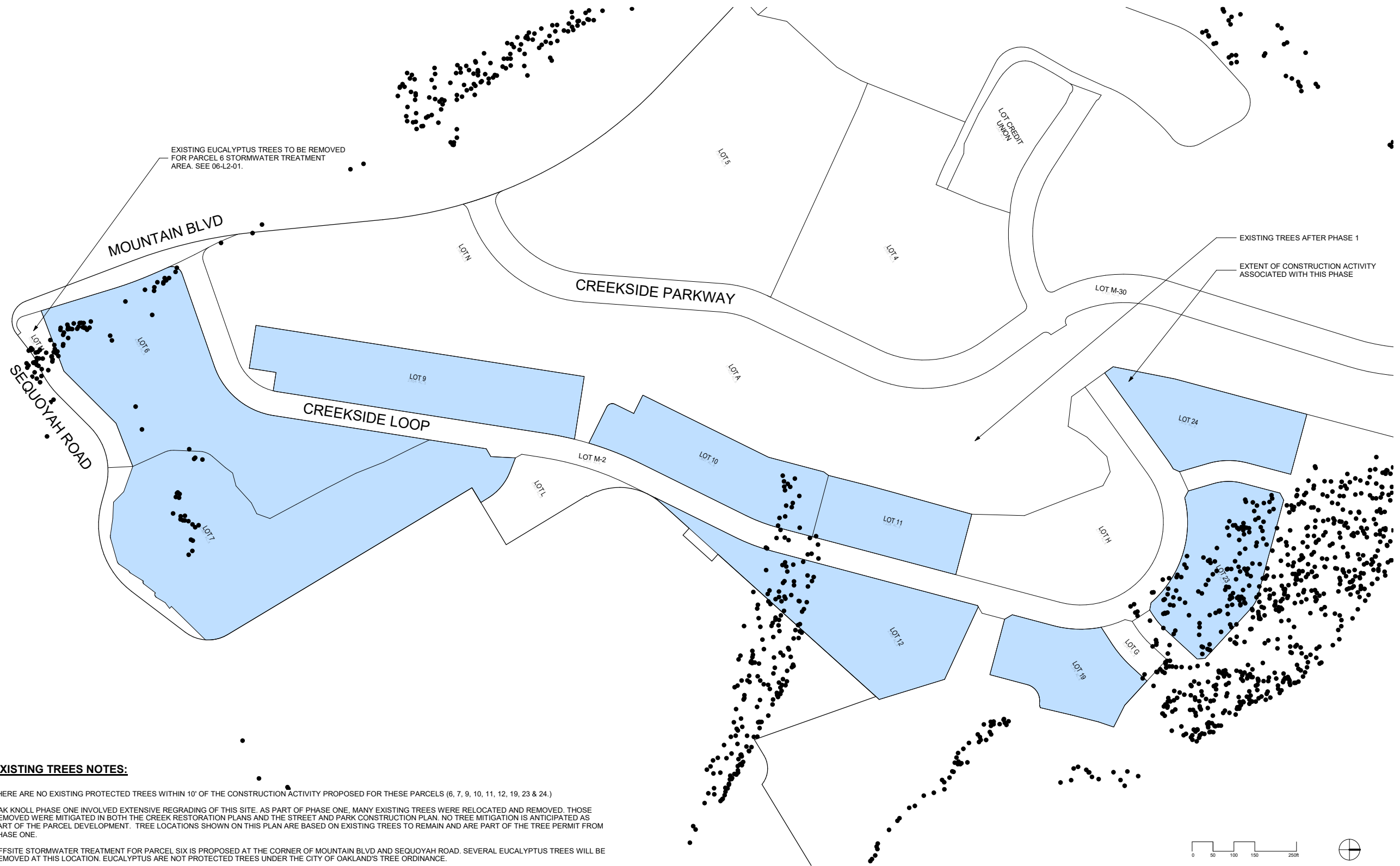


Ligman Lighting USA reserves the right to change specifications without prior notice. Please contact factory for latest information. Due to the continual improvements in LED technology and components, specifications may change without notice.

OAK KNOLL
LANDSCAPE LIGHTING

FINAL DEVELOPMENT PLAN - PARCEL 24





EXISTING TREES NOTES:

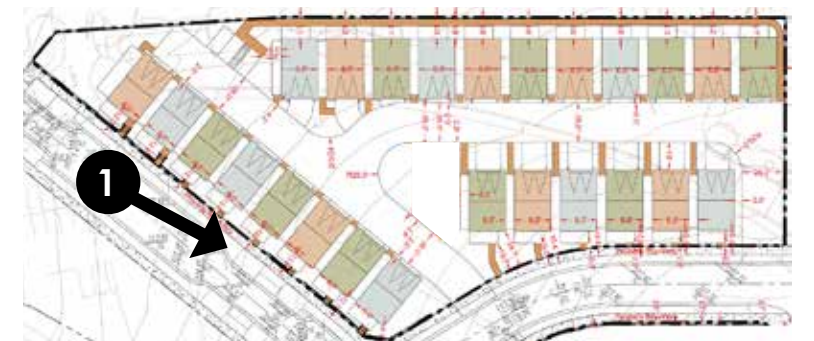
THERE ARE NO EXISTING PROTECTED TREES WITHIN 10' OF THE CONSTRUCTION ACTIVITY PROPOSED FOR THESE PARCELS (6, 7, 9, 10, 11, 12, 19, 23 & 24.)

OAK KNOLL PHASE ONE INVOLVED EXTENSIVE REGRADING OF THIS SITE. AS PART OF PHASE ONE, MANY EXISTING TREES WERE RELOCATED AND REMOVED. THOSE REMOVED WERE MITIGATED IN BOTH THE CREEK RESTORATION PLANS AND THE STREET AND PARK CONSTRUCTION PLAN. NO TREE MITIGATION IS ANTICIPATED AS PART OF THE PARCEL DEVELOPMENT. TREE LOCATIONS SHOWN ON THIS PLAN ARE BASED ON EXISTING TREES TO REMAIN AND ARE PART OF THE TREE PERMIT FROM PHASE ONE.

OFFSITE STORMWATER TREATMENT FOR PARCEL SIX IS PROPOSED AT THE CORNER OF MOUNTAIN BLVD AND SEQUOYAH ROAD. SEVERAL EUCALYPTUS TREES WILL BE REMOVED AT THIS LOCATION. EUCALYPTUS ARE NOT PROTECTED TREES UNDER THE CITY OF OAKLAND'S TREE ORDINANCE.

An architectural rendering of a modern, multi-story residential building. The building features a mix of light-colored stucco and wood siding, with gabled roofs and large windows. The scene is set in a bright, sunny environment with a clear blue sky and scattered clouds. In the foreground, there is a paved area, possibly a driveway or walkway, with some greenery and a few people walking. The word "ARCHITECTURE" is prominently displayed in the center of the image, enclosed in a thin blue rectangular border.

ARCHITECTURE





OAK KNOLL
SMALL LOT SINGLE-FAMILY HOME RENDERING
FINAL DEVELOPMENT PLAN - PARCEL 24



PLAN 1
MISSION
SHOWN HERE
ALSO WITH
CRAFTSMAN & FARMHOUSE STYLE
AND PORCH LAYOUT 'A'

2 BED + FAM. RM/OPT. BR, 2 BA + 2 PDR
LIVING AREA 2,307 SQ.FT
GARAGE AREA 487 SQ. FT

PLAN 2
FARMHOUSE
SHOWN HERE
ALSO WITH
MISSION & CRAFTSMAN STYLE
AND PORCH LAYOUT 'B'

2 BED + FAM. RM/OPT. BR, 2 BA + 2 PDR
LIVING AREA 2,396 SQ.FT
GARAGE AREA 487 SQ.FT

PLAN 3
CRAFTSMAN/BUGALOW
SHOWN HERE
ALSO WITH
MISSION & FARMHOUSE STYLE
AND PORCH LAYOUT 'C'

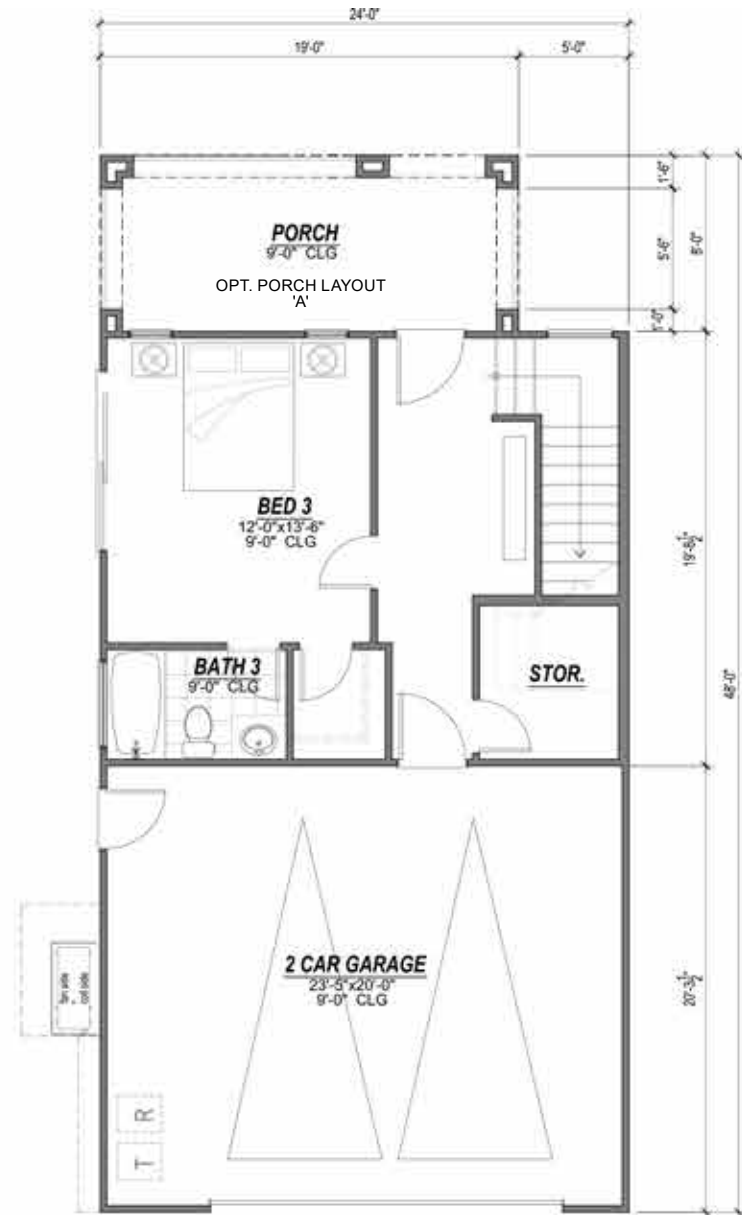
2 BED + FAM. RM/OPT. BR, 2 BA + 2 PDR
LIVING AREA 2,291 SQ.FT
GARAGE AREA 487 SQ

OAK KNOLL

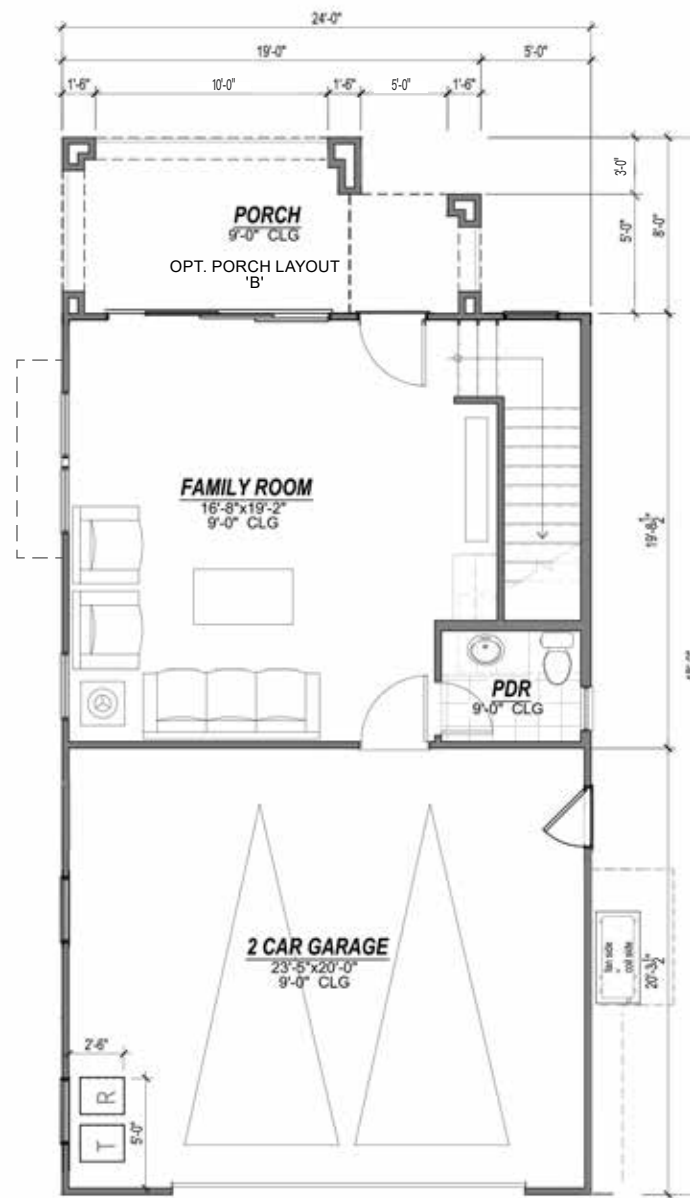
SMALL LOT SINGLE-FAMILY HOME ARCHITECTURAL STYLES

FINAL DEVELOPMENT PLAN - PARCEL 24

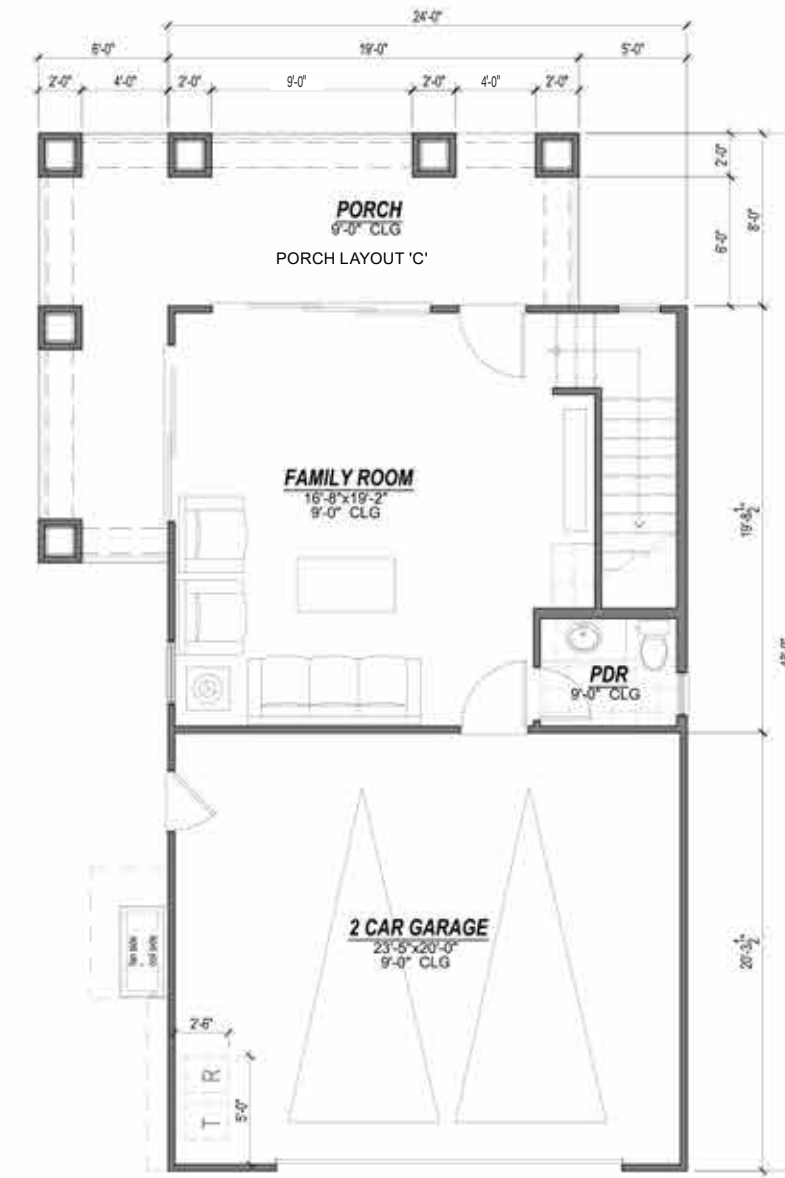
Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.



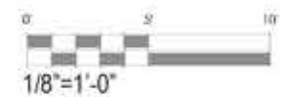
FIRST FLOOR (OPTION)
BED 3 + BATH 3



FIRST FLOOR
FOR HIGH VISIBILITY LOCATIONS



FIRST FLOOR OPTION WITH
WRAP PORCH / PORCH LAYOUT 'C'



Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

SMALL LOT SINGLE - FAMILY HOME - PLAN 1 TYPICAL FIRST FLOOR PLANS (CRAFTSMAN SHOWN HERE)

FINAL DEVELOPMENT PLAN - PARCEL 24





SECOND FLOOR



SECOND FLOOR
FOR HIGH VISIBILITY LOCATIONS



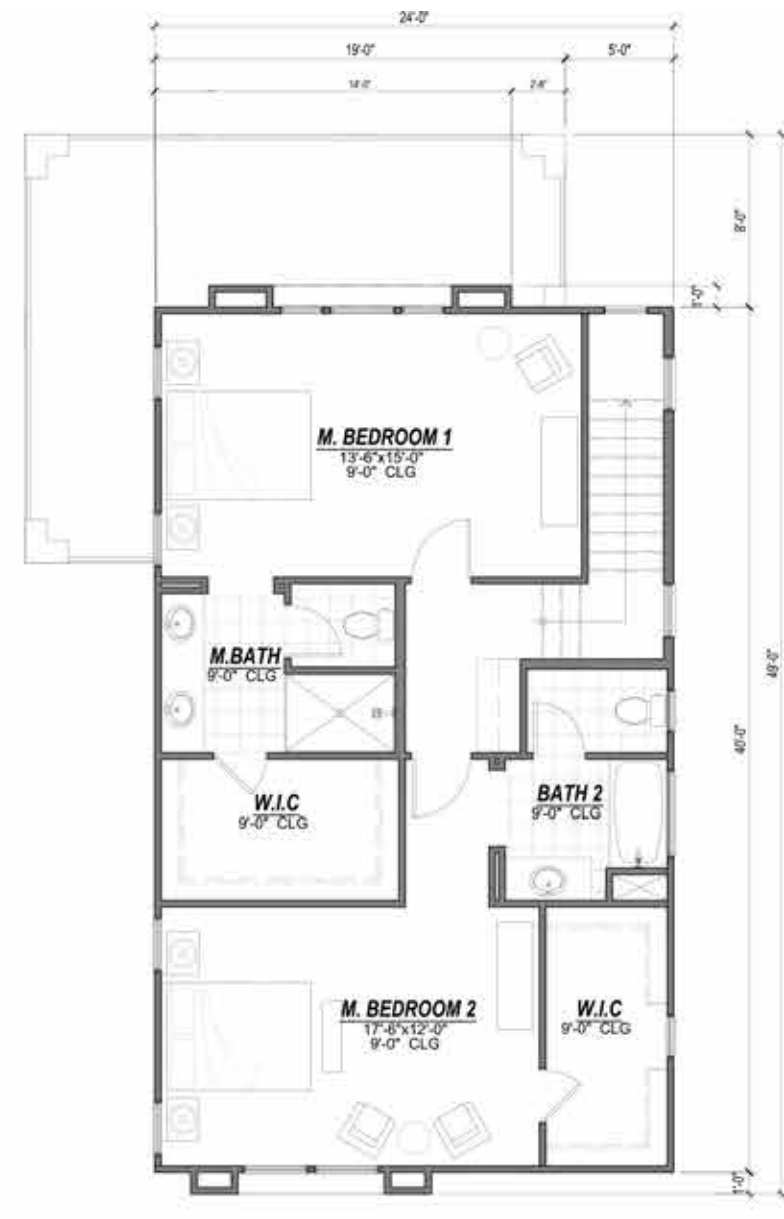
SECOND FLOOR OPTION
WRAP PORCH / PORCH LAYOUT 'C'



THIRD FLOOR



THIRD FLOOR
FOR HIGH VISIBILITY LOCATIONS



THIRD FLOOR OPTION WITH
WRAP PORCH / PORCH LAYOUT 'C'

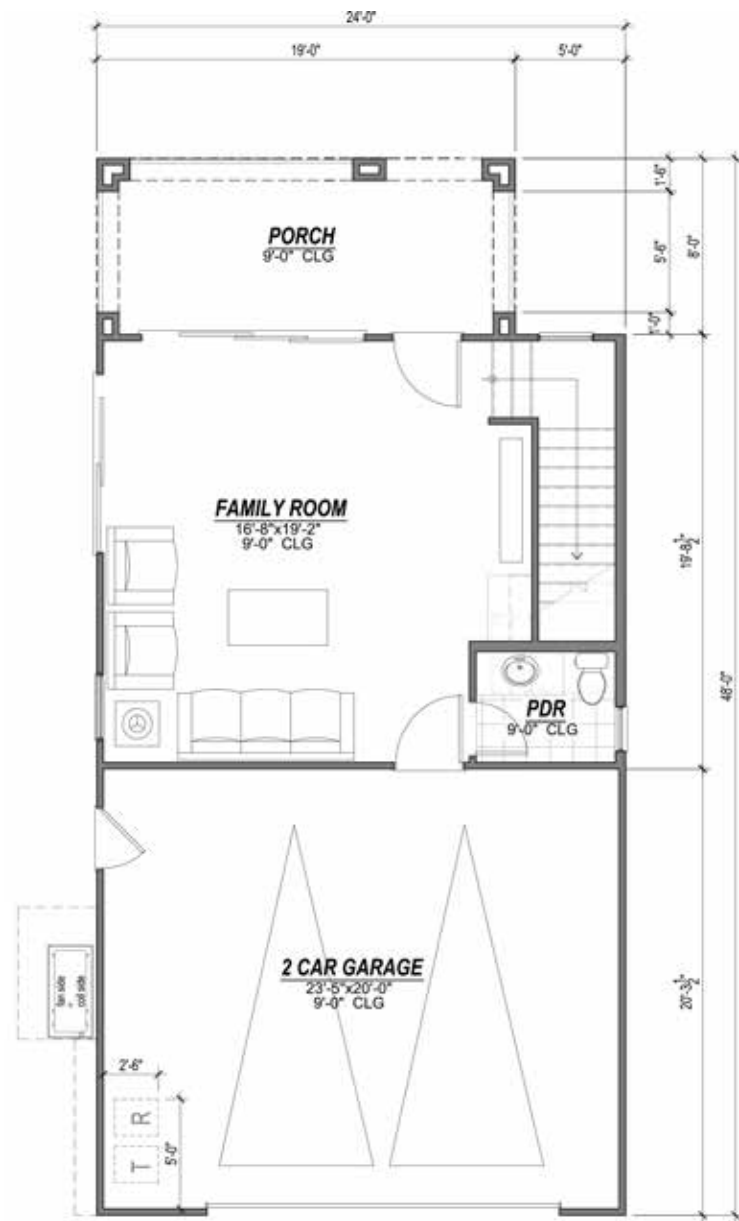
Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

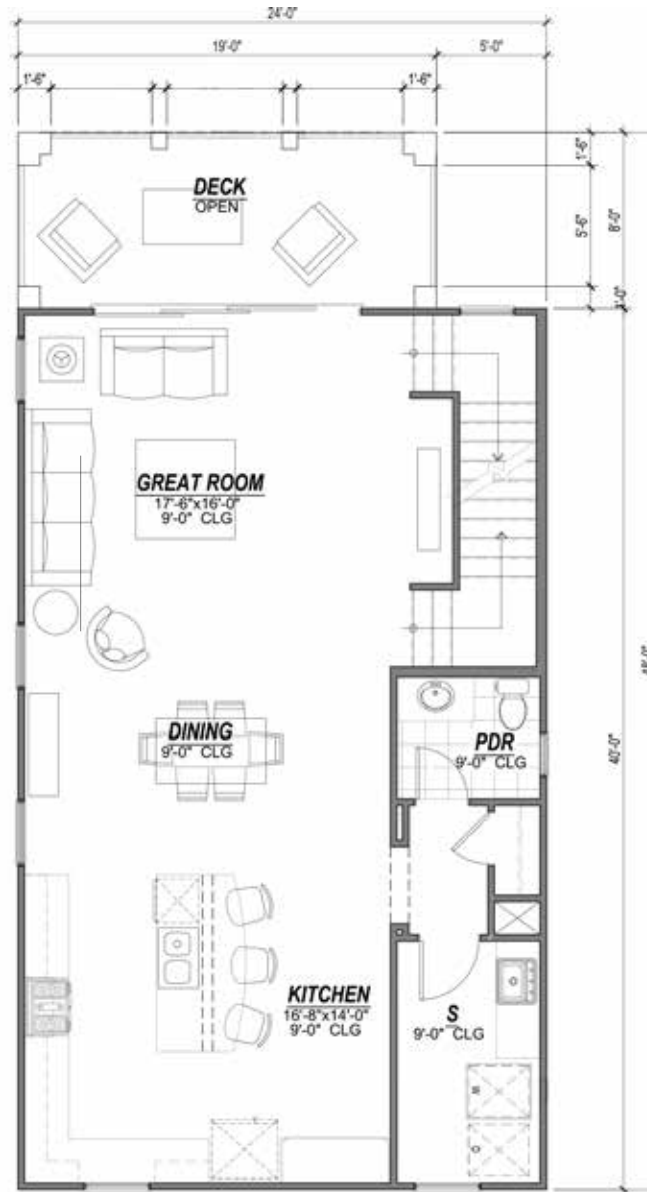
SMALL LOT SINGLE - FAMILY HOME - PLAN 1 TYPICAL THIRD FLOOR PLANS (CRAFTSMAN SHOWN HERE)

FINAL DEVELOPMENT PLAN - PARCEL 24

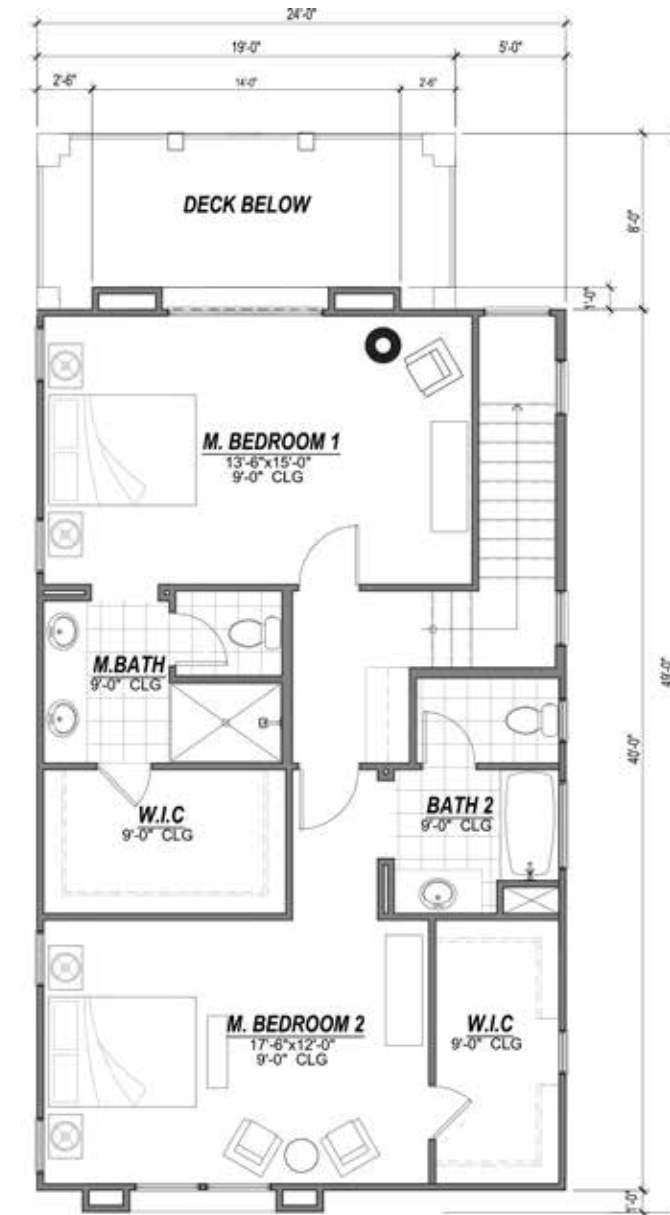




FIRST FLOOR



SECOND FLOOR



THIRD FLOOR



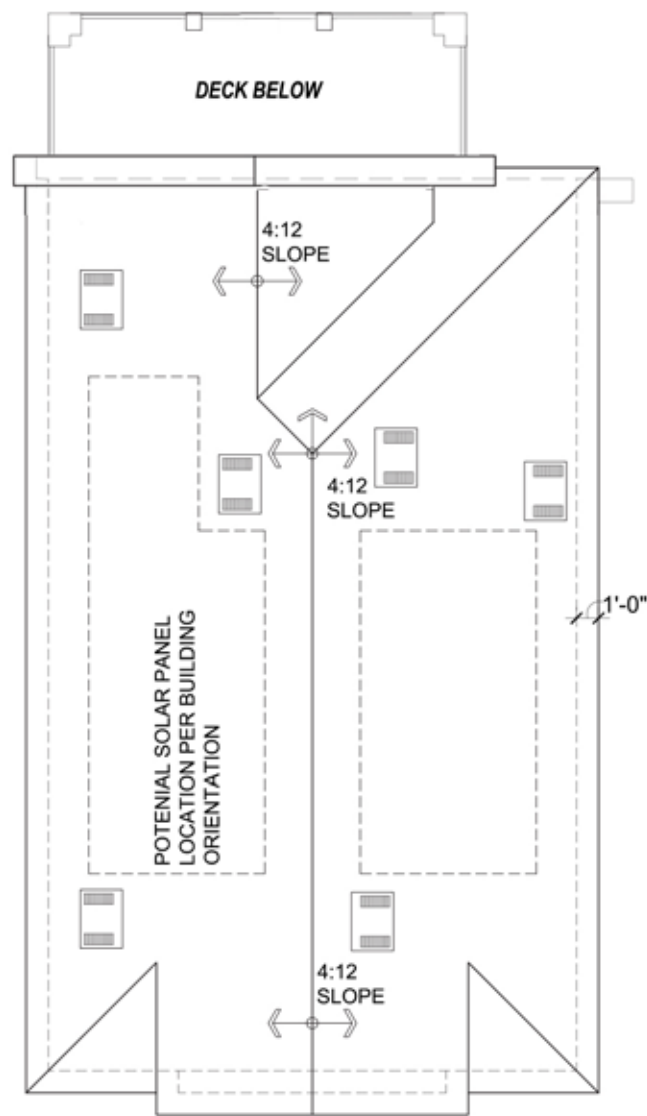
Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

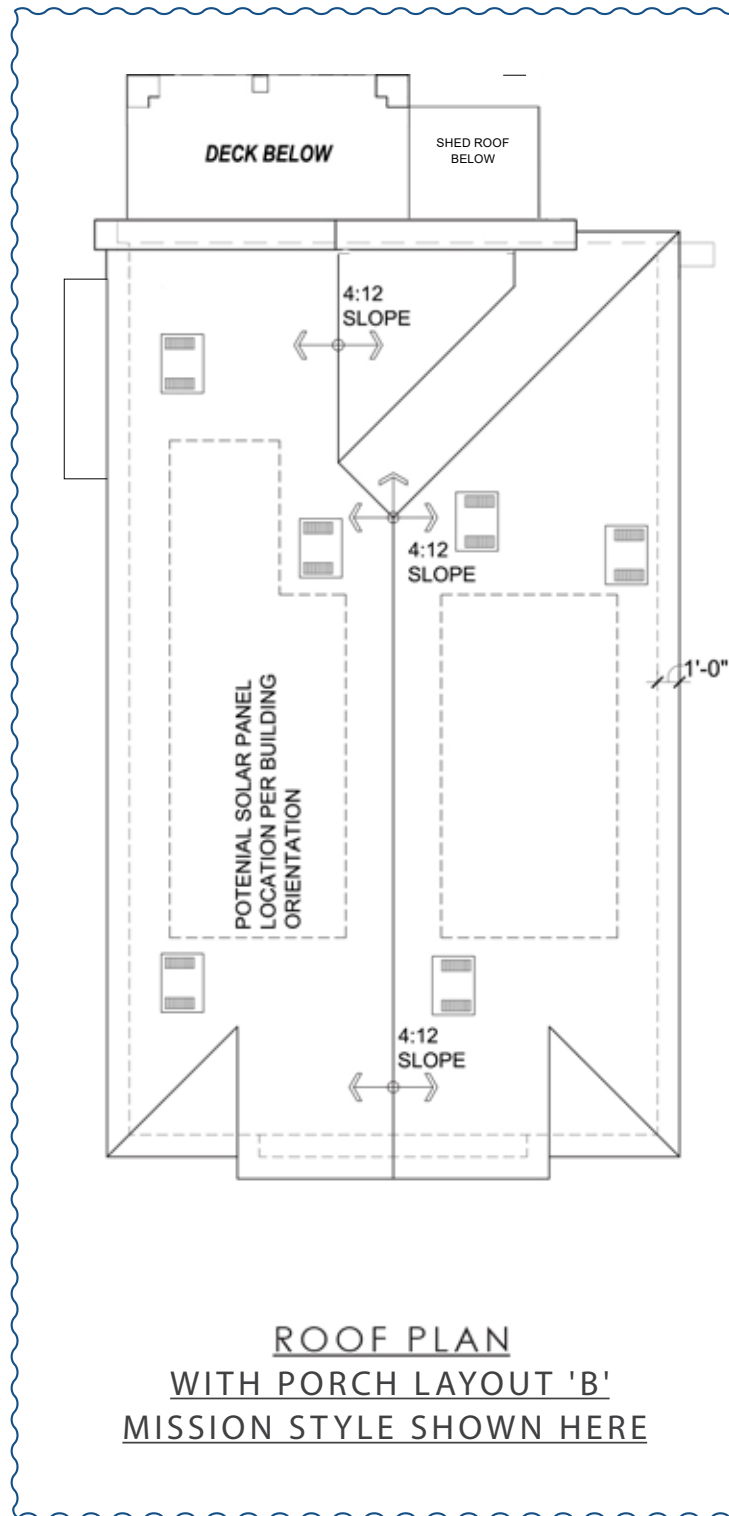
SMALL LOT SINGLE - FAMILY HOME - PLAN 1 TYPICAL - FLOOR PLANS (FARMHOUSE SHOWN HERE)

FINAL DEVELOPMENT PLAN - PARCEL 24

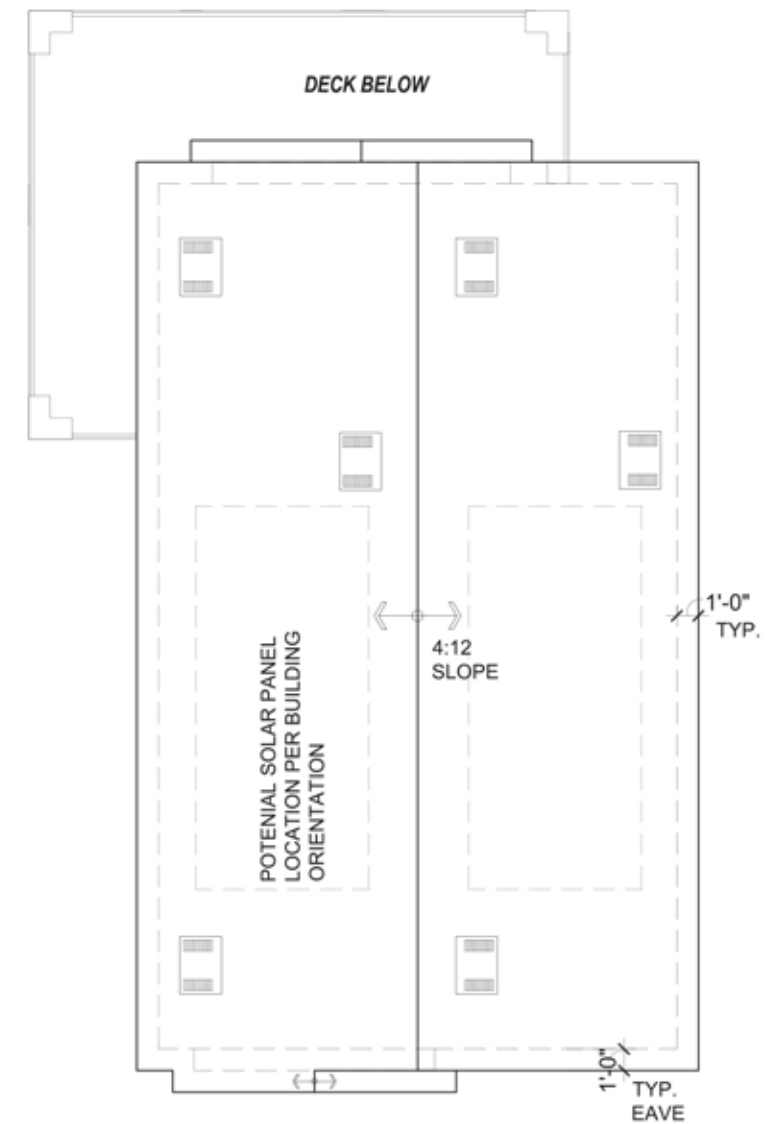




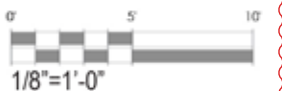
ROOF PLAN
WITH PORCH LAYOUT 'A'
MISSION STYLE SHOWN HERE

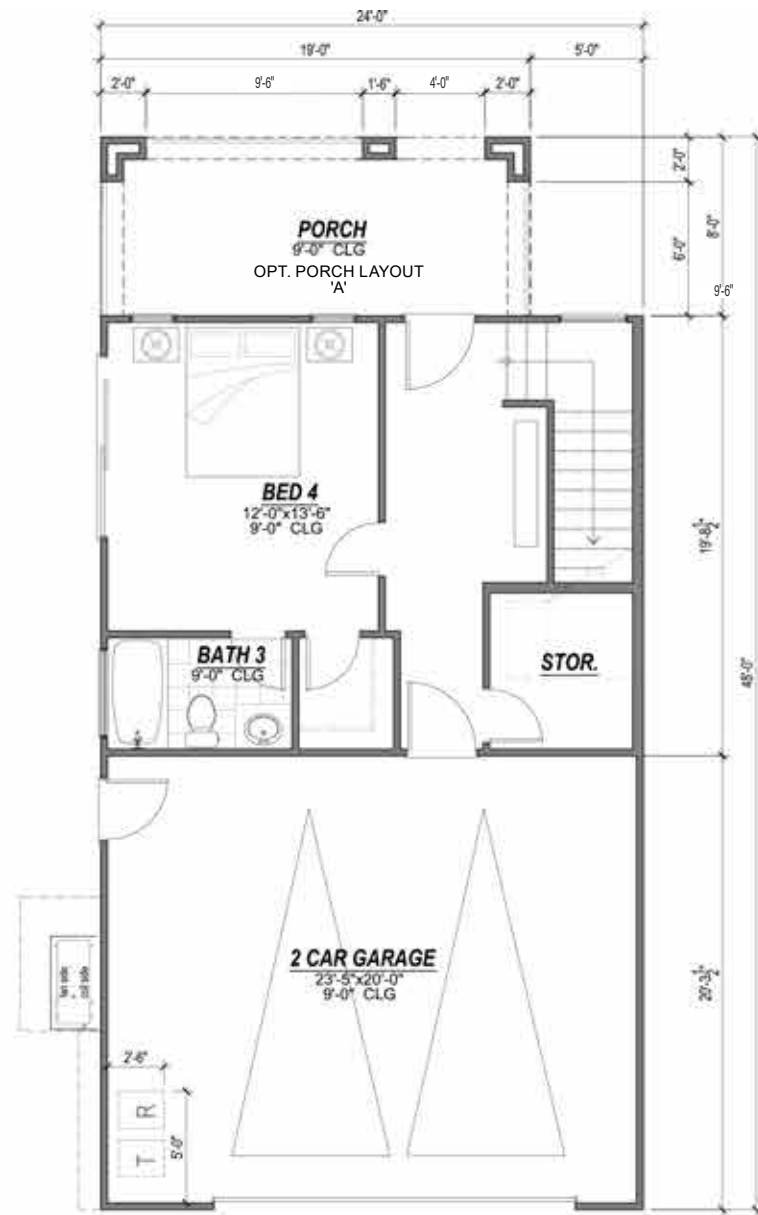


ROOF PLAN
WITH PORCH LAYOUT 'B'
MISSION STYLE SHOWN HERE

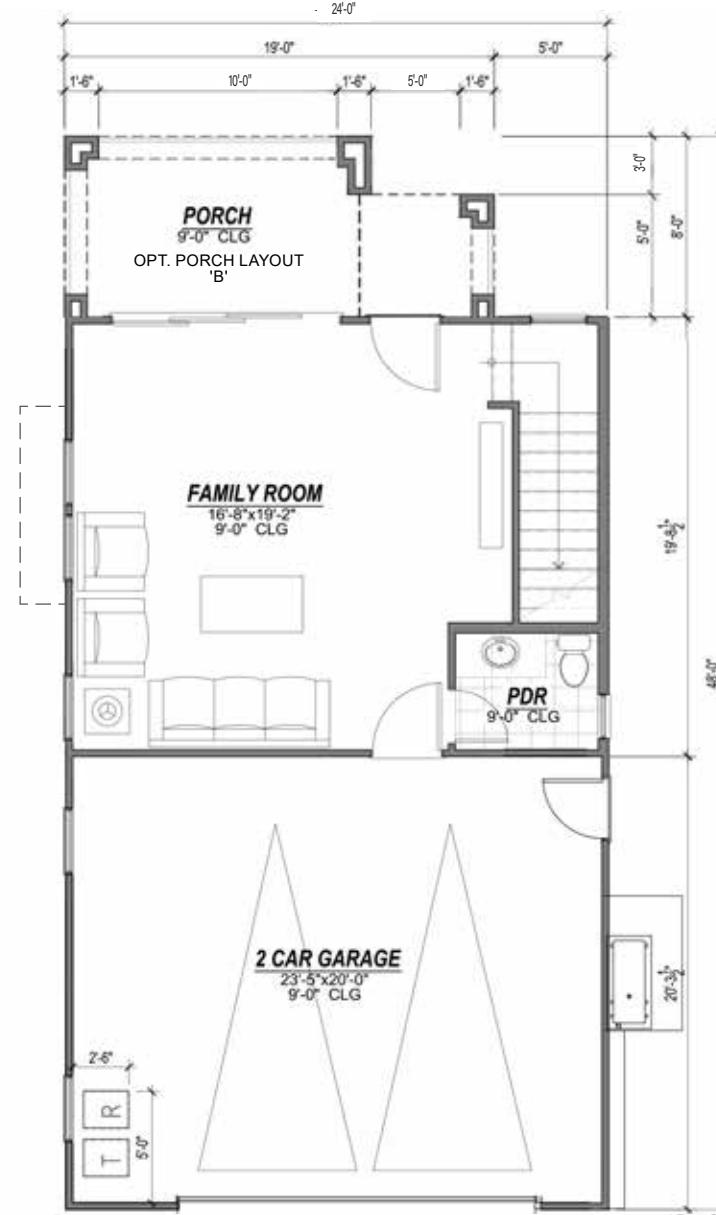


ROOF PLAN OPTION WITH
WRAP PORCH/ PORCH LAYOUT 'C'
CRAFTSMAN STYLE SHOWN HERE

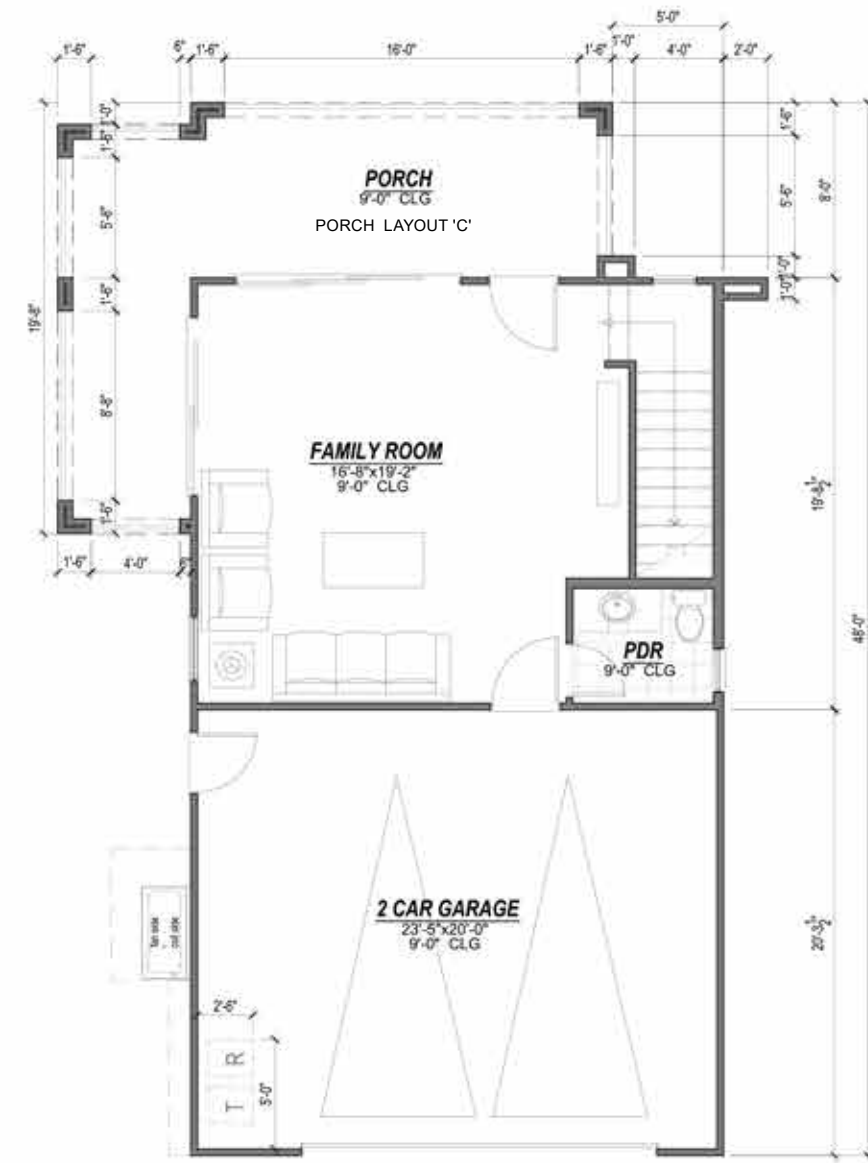




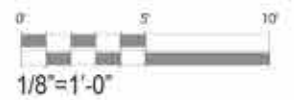
FIRST FLOOR (OPTION)
BED 4 + BATH 3



FIRST FLOOR
FOR HIGH VISIBILITY LOCATIONS



FIRST FLOOR OPTION WITH
WRAP PORCH / PORCH LAYOUT 'C'



Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

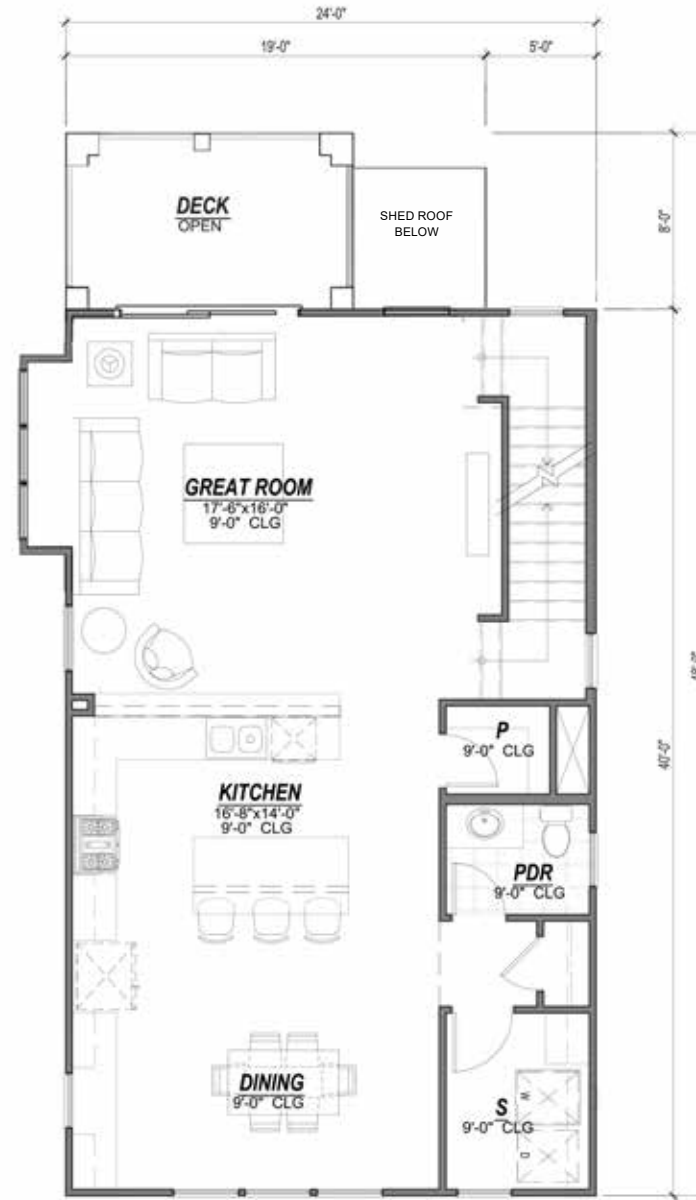
SMALL LOT SINGLE - FAMILY HOME - PLAN 2 TYPICAL FIRST FLOOR PLANS (FARMHOUSE SHOWN HERE)

FINAL DEVELOPMENT PLAN - PARCEL 24





SECOND FLOOR



SECOND FLOOR
FOR HIGH VISIBILITY LOCATIONS



SECOND FLOOR OPTION
WRAP PORCH / PORCH LAYOUT 'C'

OAK KNOLL

SMALL LOT SINGLE - FAMILY HOME - PLAN 2 TYPICAL SECOND FLOOR PLANS (FARMHOUSE SHOWN HERE)

FINAL DEVELOPMENT PLAN - PARCEL 24

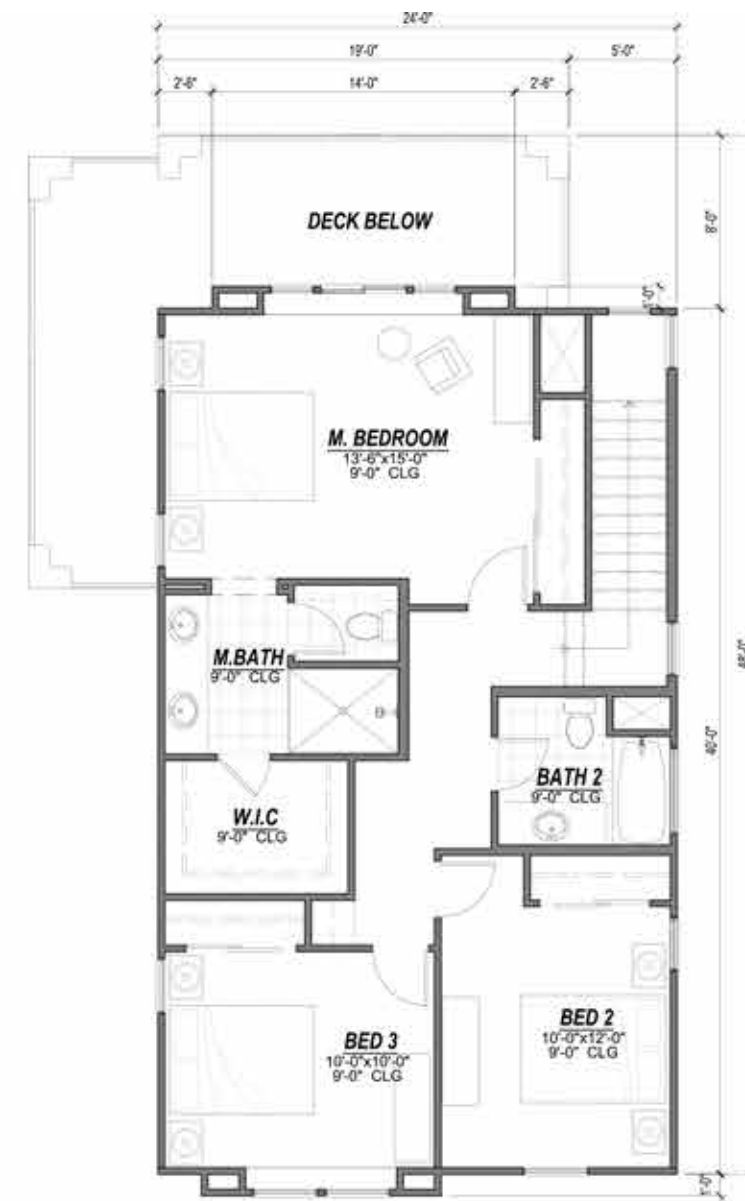
Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.



THIRD FLOOR



THIRD FLOOR
FOR HIGH VISIBILITY LOCATIONS



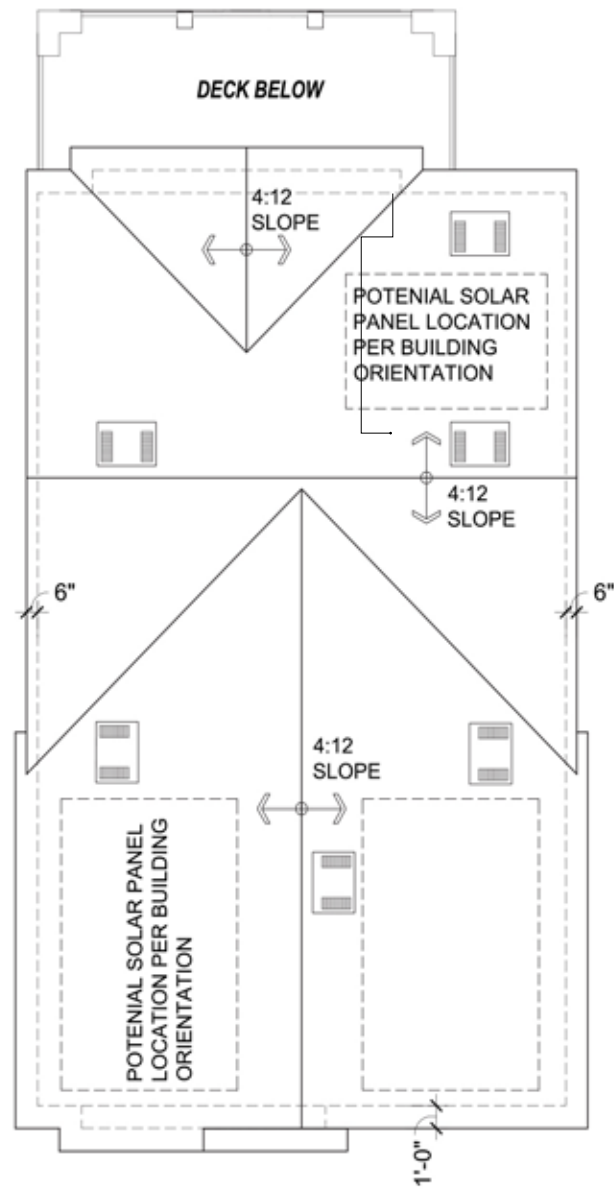
THIRD FLOOR OPTION WITH
WRAP PORCH / PORCH LAYOUT 'C'

Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

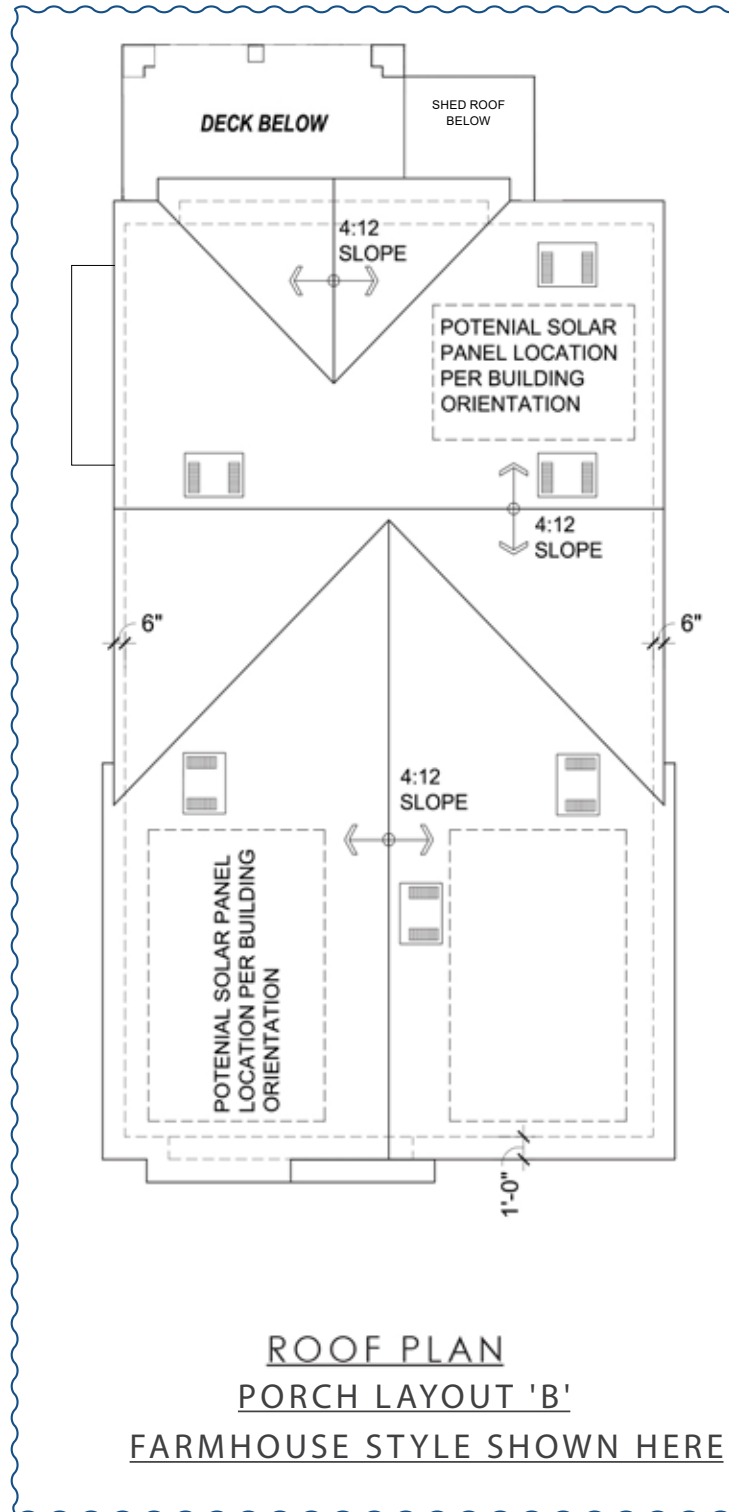
OAK KNOLL

SMALL LOT SINGLE - FAMILY HOME - PLAN 2 TYPICAL THIRD FLOOR PLANS (FARMHOUSE SHOWN HERE)

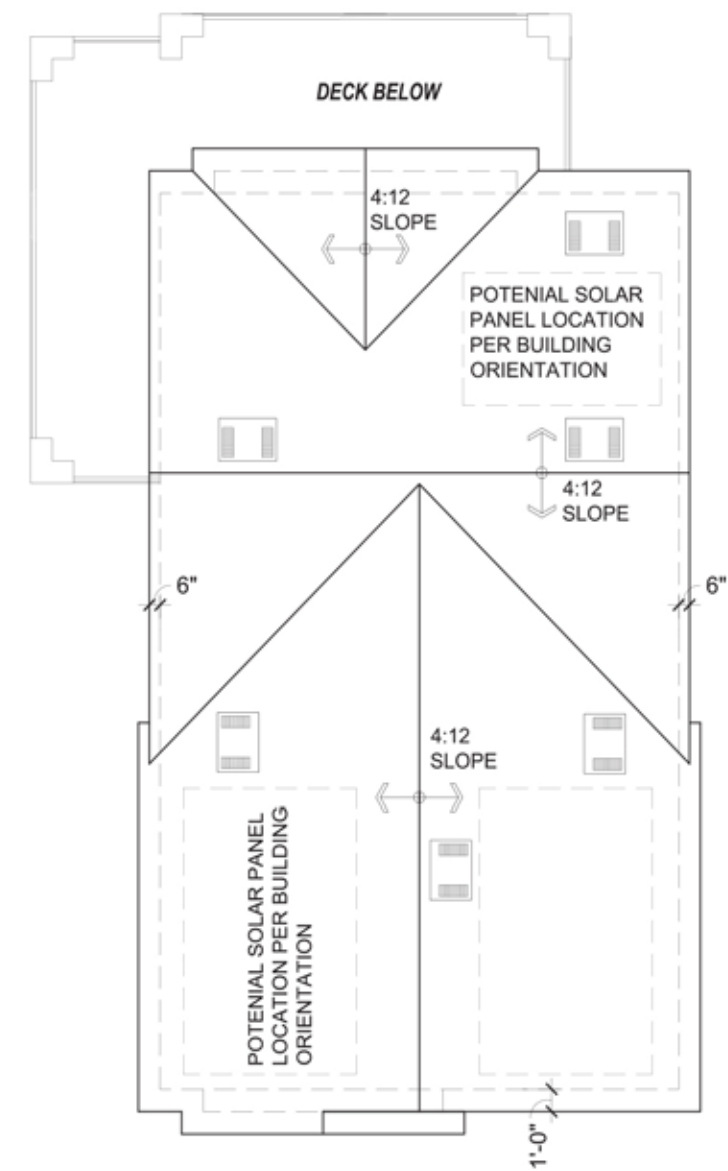
FINAL DEVELOPMENT PLAN - PARCEL 24



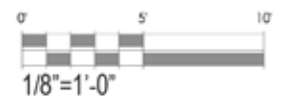
ROOF PLAN
PORCH LAYOUT 'A'
 FARMHOUSE STYLE SHOWN HERE

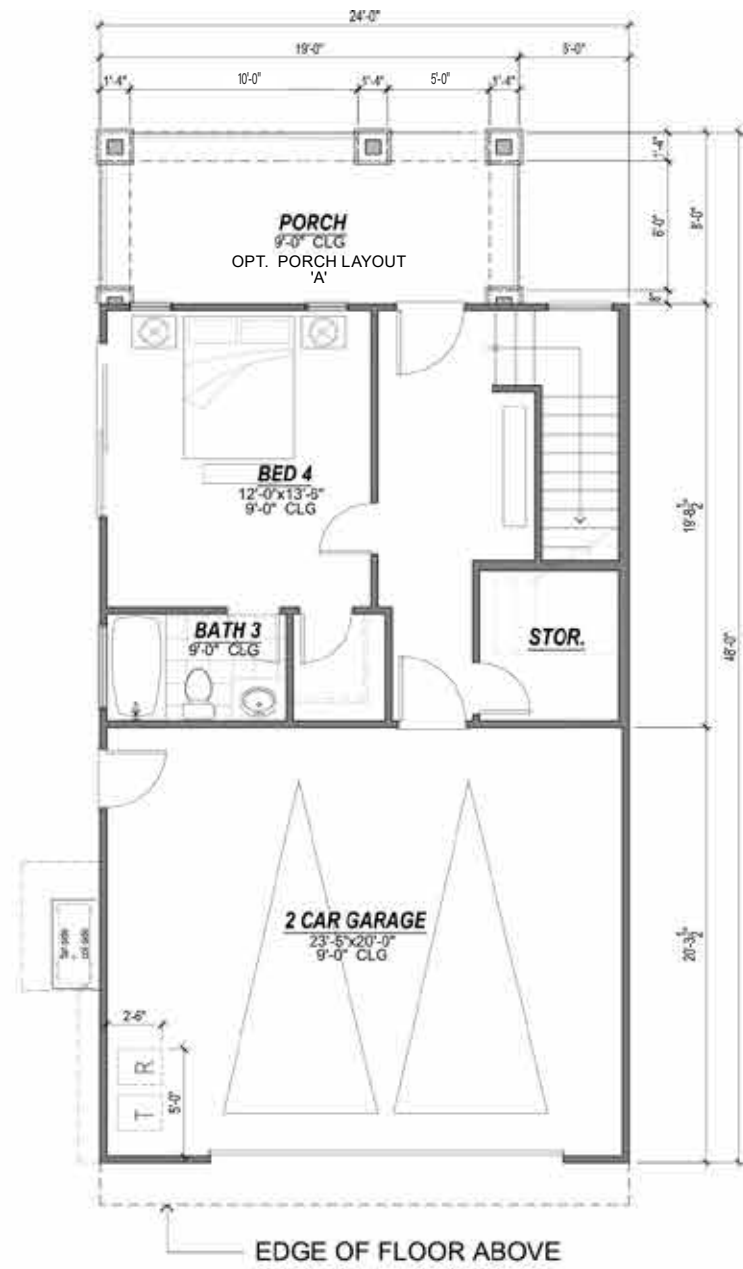


ROOF PLAN
PORCH LAYOUT 'B'
 FARMHOUSE STYLE SHOWN HERE

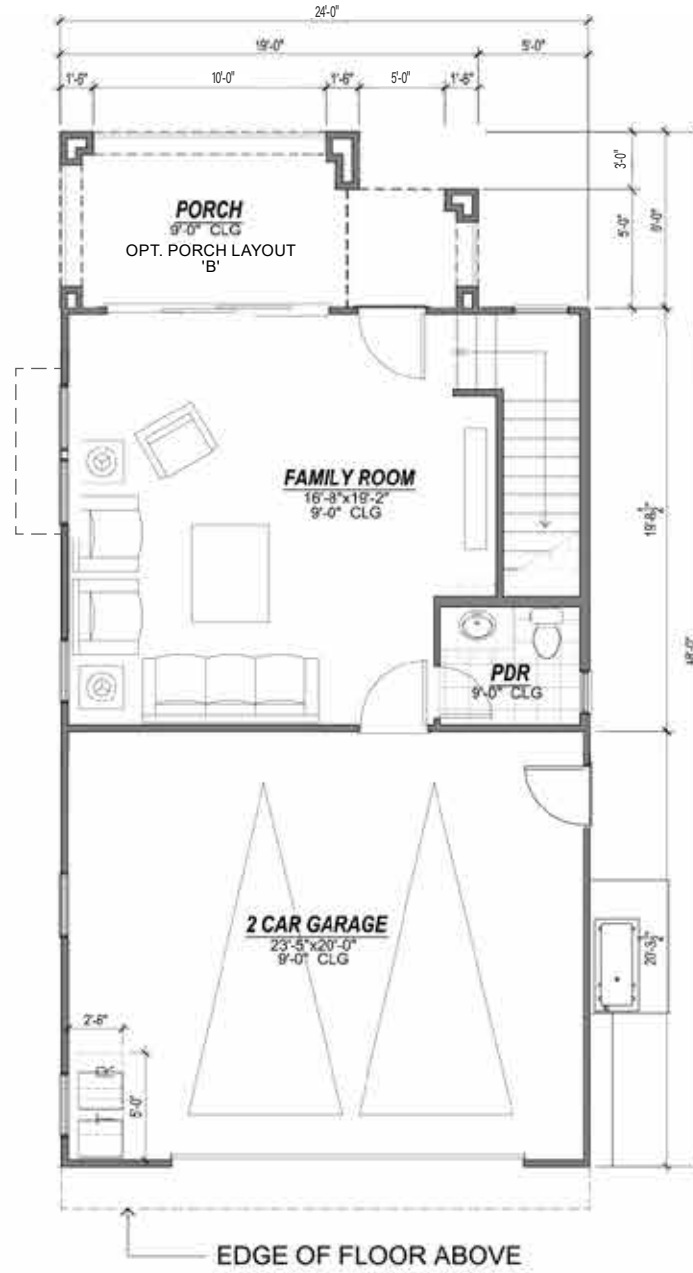


ROOF PLAN OPTION WITH
WRAP PORCH / PORCH LAYOUT 'C'
 FARMHOUSE STYLE SHOWN HERE

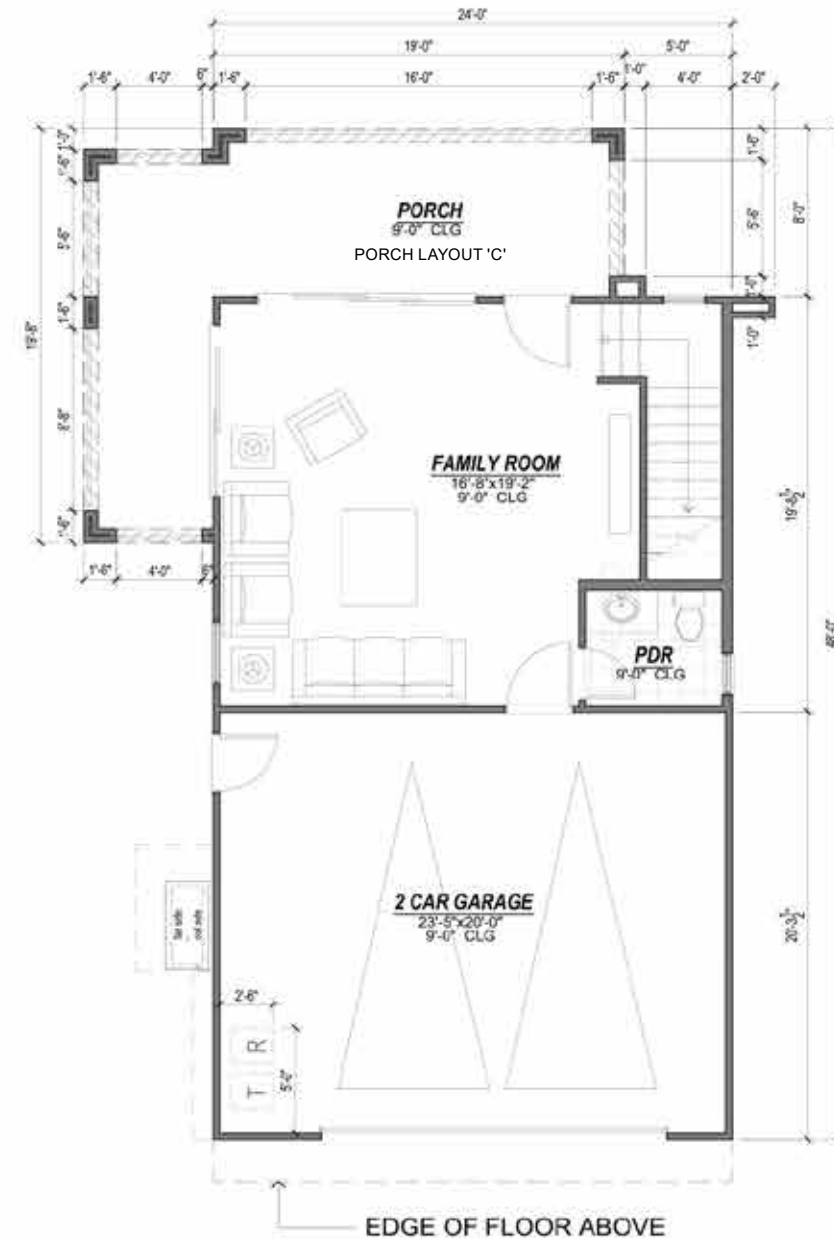




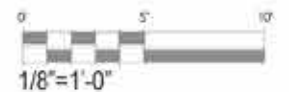
**FIRST FLOOR (OPTION)
BED 4 + BATH 3**
FARMHOUSE STYLE SHOWN HERE



**FIRST FLOOR
FOR HIGH VISIBILITY LOCATIONS**
FARMHOUSE STYLE SHOWN HERE



**FIRST FLOOR OPTION WITH
WRAP PORCH / PORCH LAYOUT 'C'**
MISSION STYLE SHOWN HERE



Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

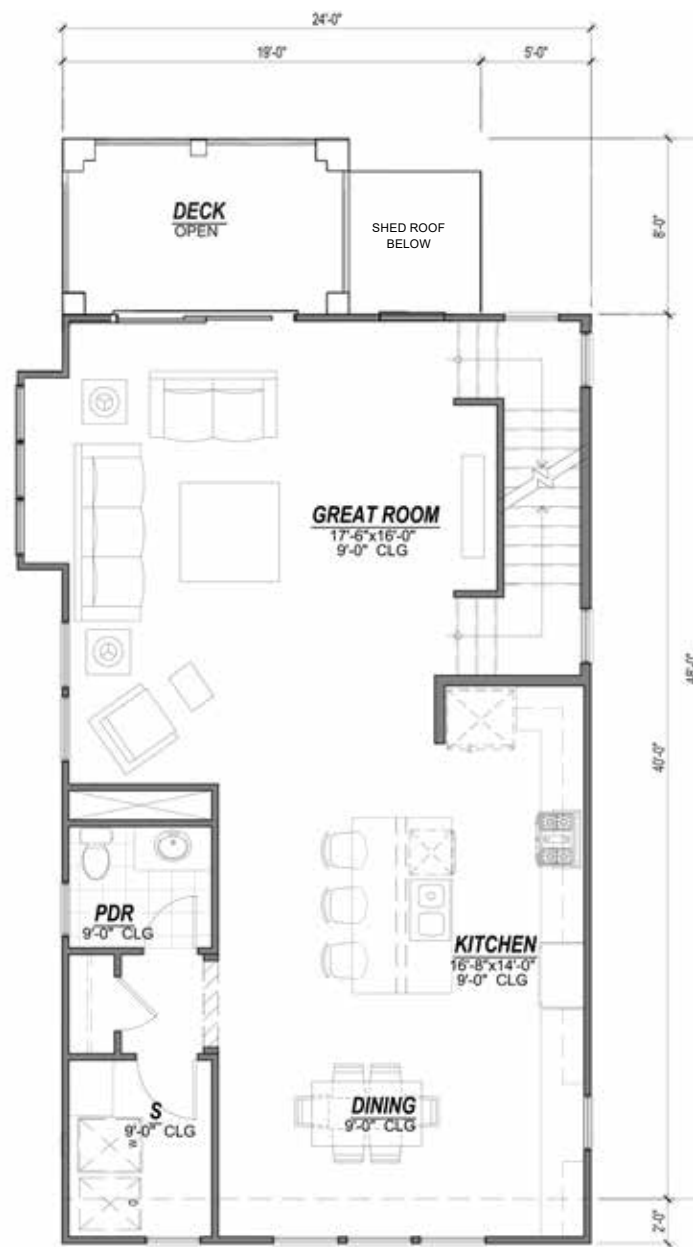
SMALL LOT SINGLE-FAMILY HOME - PLAN 3 TYPICAL FIRST FLOOR PLANS

FINAL DEVELOPMENT PLAN - PARCEL 24





SECOND FLOOR
FARMHOUSE STYLE SHOWN HERE



SECOND FLOOR
FOR HIGH VISIBILITY LOCATIONS
FARMHOUSE STYLE SHOWN HERE



SECOND FLOOR OPTION
WRAP PORCH / PORCH LAYOUT 'C'
MISSION STYLE SHOWN HERE

OAK KNOLL

SMALL LOT SINGLE-FAMILY HOME - PLAN 3 TYPICAL SECOND FLOOR PLANS

FINAL DEVELOPMENT PLAN - PARCEL 24

Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.



THIRD FLOOR
FARMHOUSE STYLE SHOWN HERE



THIRD FLOOR
FOR HIGH VISIBILITY LOCATIONS
FARMHOUSE STYLE SHOWN HERE



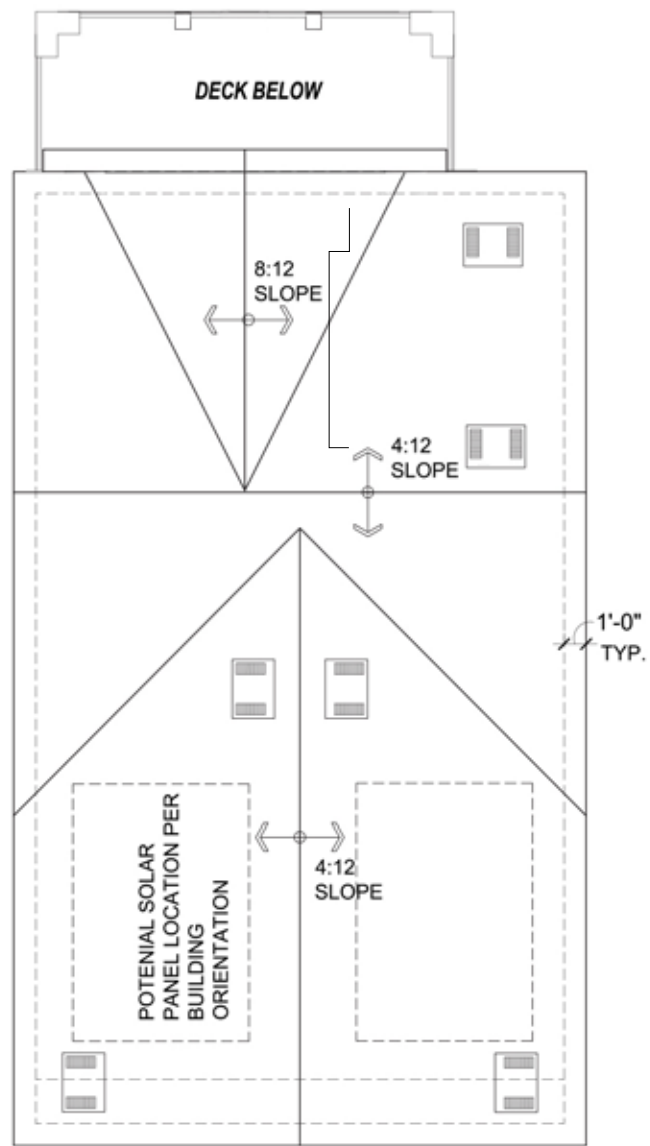
THIRD FLOOR OPTION WITH
WRAP PORCH / PORCH LAYOUT 'C'
MISSION STYLE SHOWN HERE

Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

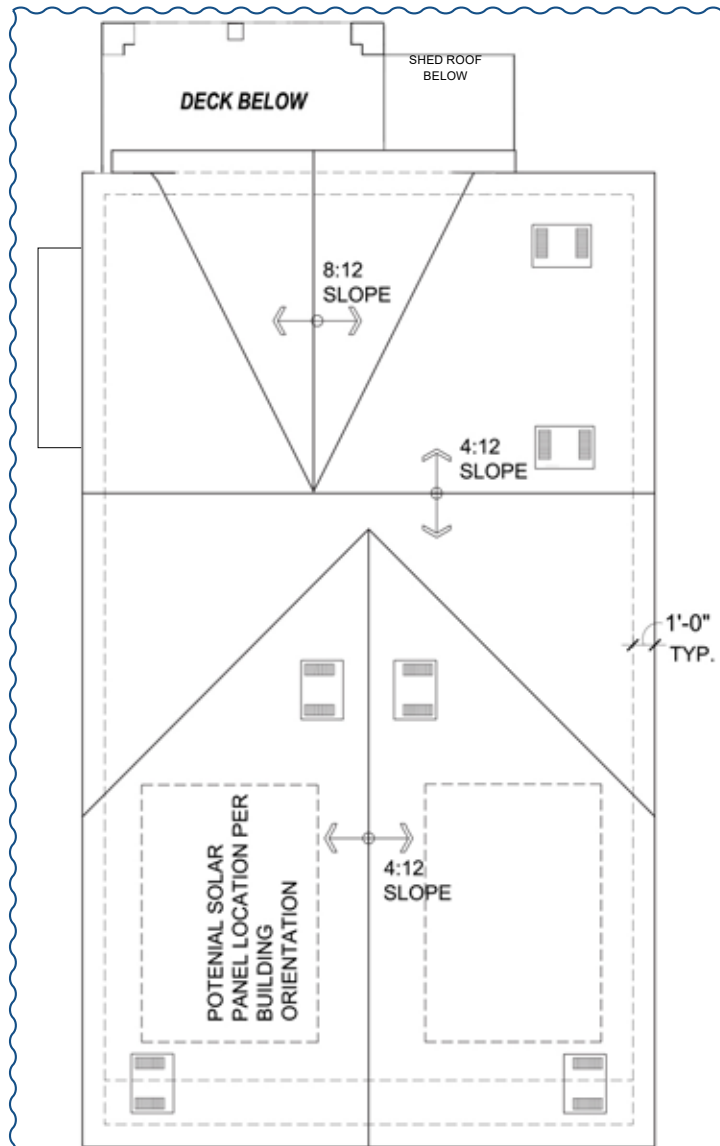
OAK KNOLL

SMALL LOT SINGLE-FAMILY HOME - PLAN 3 TYPICAL THIRD FLOOR PLANS

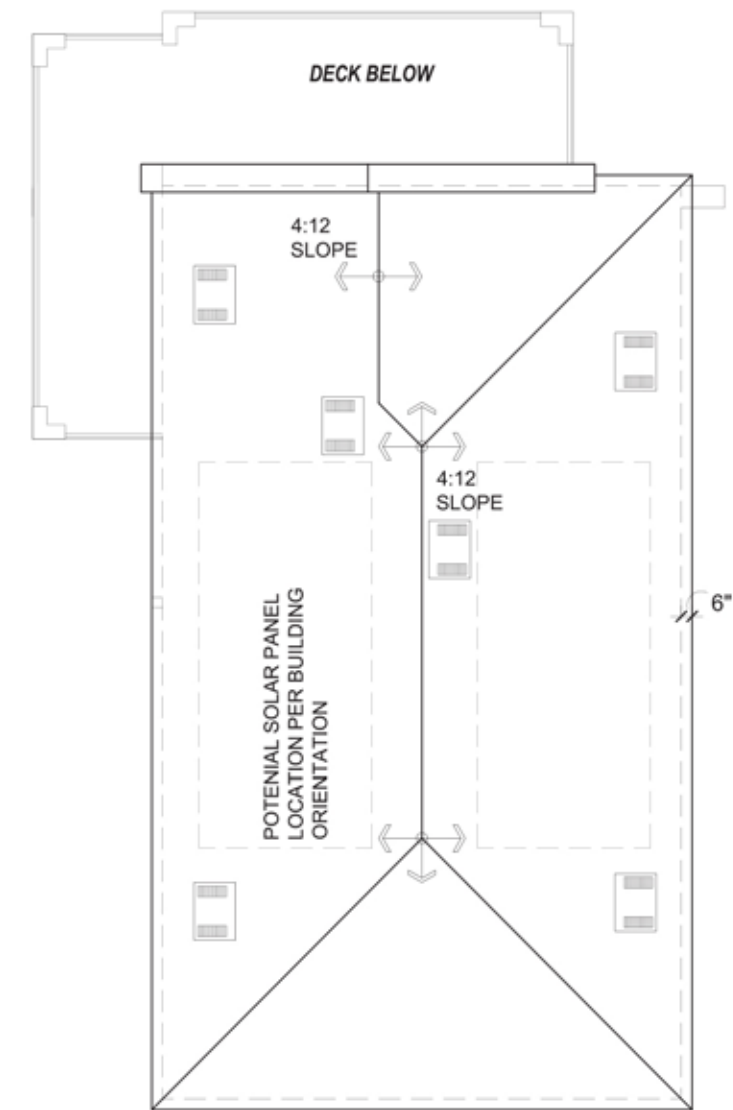
FINAL DEVELOPMENT PLAN - PARCEL 11



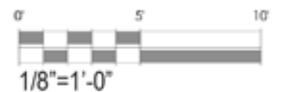
ROOF PLAN
PORCH LAYOUT 'A'
 FARMHOUSE STYLE SHOWN HERE

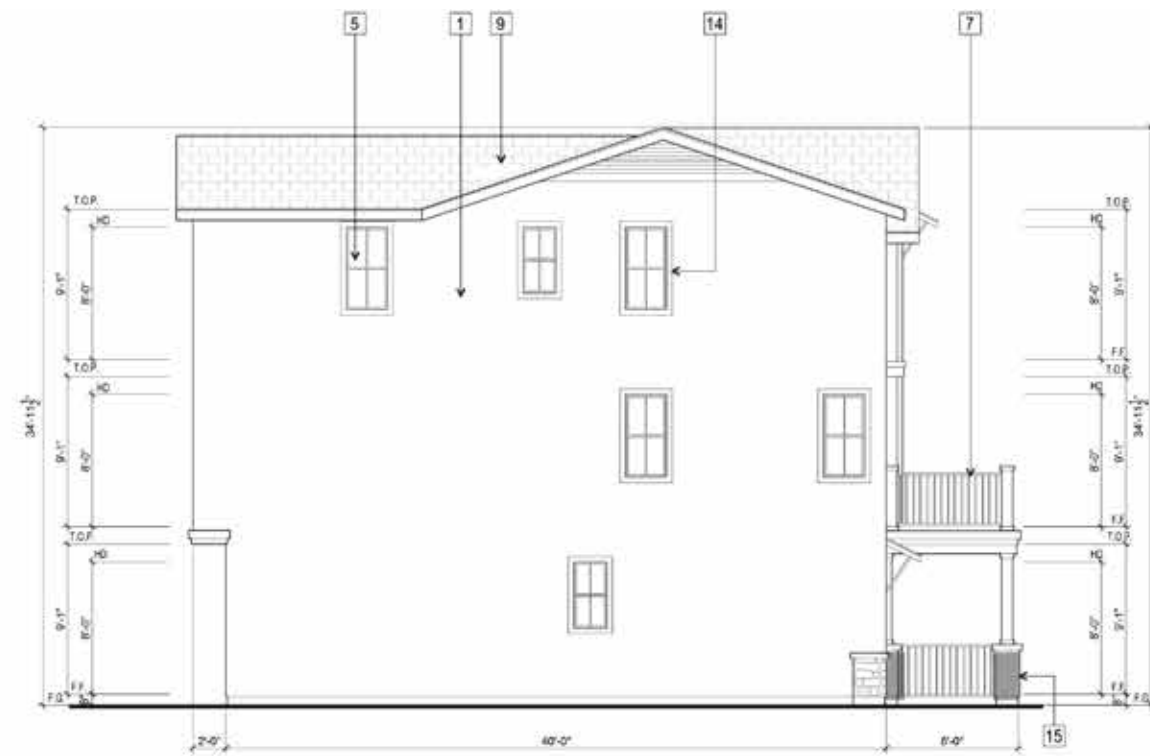


ROOF PLAN
PORCH LAYOUT 'B'
 FARMHOUSE STYLE SHOWN HERE



ROOF PLAN OPTION WITH
WRAP PORCH / PORCH LAYOUT 'C'
 MISSION STYLE SHOWN HERE





LEFT ELEVATION



FRONT ELEVATION

- 1 STUCCO
- 2 HORIZONTAL SIDING
- 3 BOARD & BATT SIDING
- 4 SHINGLE SIDING
- 5 VINYL WINDOW
- 6 SHUTTERS AT ENHANCED ELEVATION
- 7 WROUGHT IRON RAILING
- 8 STANDING SEAM METAL ROOF
- 9 FLAT CONCRETE TILE ROOF
- 10 S-TILE ROOF
- 11 GARAGE DOOR
- 12 STANDING SEAM METAL CANOPY
- 13 JULIET BALCONY
- 14 WINDOW WOOD TRIM
- 15 STONE VENEER
- 16 EXTERIOR LIGHTING
- 17 UTILITY LOCATION / ROOM TO BE DETERMINED
- 18 A/C LOCATION
- 19 PRIVACY FENCE AT END UNIT
- 20 TILE ACCENT
- 21 DECORATIVE WOOD RAIL

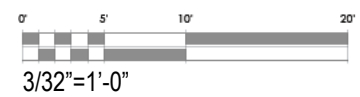
ELEVATION KEY NOTES



REAR ELEVATION



RIGHT ELEVATION



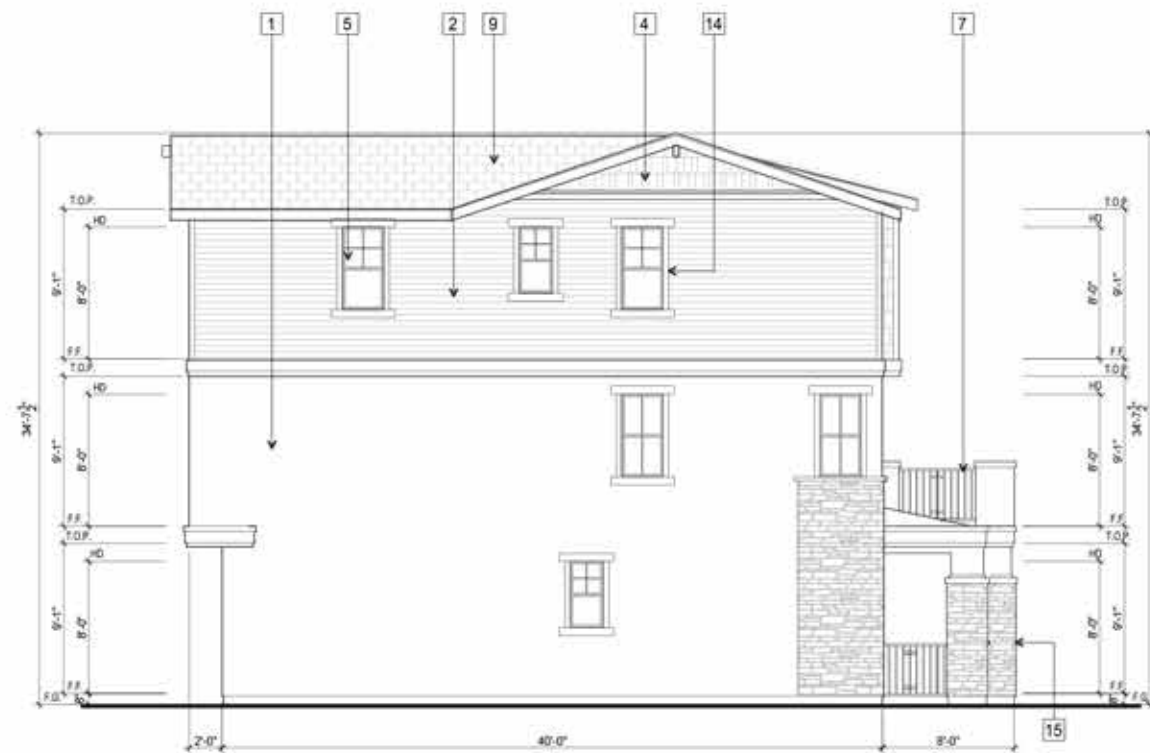
Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

BUILDING 1 ELEVATIONS - PLAN 2 FARMHOUSE WITH PORCH 'A' LAYOUT - HIGH VISIBILITY (REVERSED)

FINAL DEVELOPMENT PLAN - PARCEL 24





LEFT ELEVATION



FRONT ELEVATION

- 1 STUCCO
- 2 HORIZONTAL SIDING
- 3 BOARD & BATT SIDING
- 4 SHINGLE SIDING
- 5 VINYL WINDOW
- 6 SHUTTERS AT ENHANCED ELEVATION
- 7 WROUGHT IRON RAILING
- 8 STANDING SEAM METAL ROOF
- 9 FLAT CONCRETE TILE ROOF
- 10 S-TILE ROOF
- 11 GARAGE DOOR
- 12 STANDING SEAM METAL CANOPY
- 13 JULIET BALCONY
- 14 WINDOW WOOD TRIM
- 15 STONE VENEER
- 16 EXTERIOR LIGHTING
- 17 UTILITY LOCATION / ROOM TO BE DETERMINED
- 18 AC LOCATION
- 19 PRIVACY FENCE AT END UNIT
- 20 TILE ACCENT
- 21 DECORATIVE WOOD RAIL

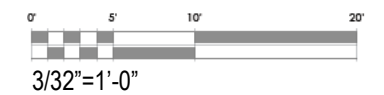
ELEVATION KEY NOTES



REAR ELEVATION



RIGHT ELEVATION

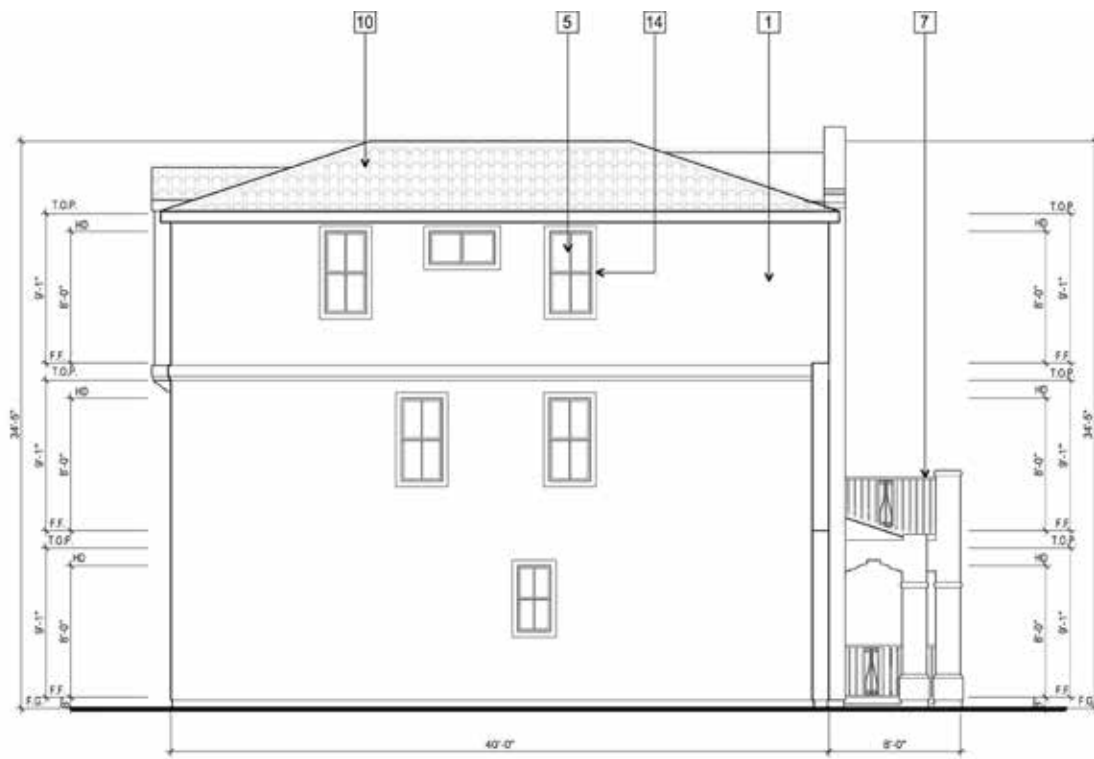


OAK KNOLL

BUILDING 2 ELEVATIONS - PLAN 3 CRAFTSMAN W/ PORCH 'B' LAYOUT

FINAL DEVELOPMENT PLAN - PARCEL 24

Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.



LEFT ELEVATION



FRONT ELEVATION

- 1 STUCCO
- 2 HORIZONTAL SIDING
- 3 BOARD & BATT SIDING
- 4 SHINGLE SIDING
- 5 VINYL WINDOW
- 6 SHUTTERS AT ENHANCED ELEVATION
- 7 WROUGHT IRON RAILING
- 8 STANDING SEAM METAL ROOF
- 9 FLAT CONCRETE TILE ROOF
- 10 S-TILE ROOF
- 11 GARAGE DOOR
- 12 STANDING SEAM METAL CANOPY
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- 14 WINDOW WOOD TRIM
- 15 STONE VENEER
- 16 EXTERIOR LIGHTING
- 17 UTILITY LOCATION / ROOM TO BE DETERMINED
- 18 A/C LOCATION
- 19 PRIVACY FENCE AT END UNIT
- 20 TILE ACCENT
- 21 DECORATIVE WOOD RAIL

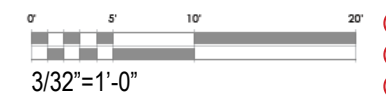
ELEVATION KEY NOTES



REAR ELEVATION



RIGHT ELEVATION



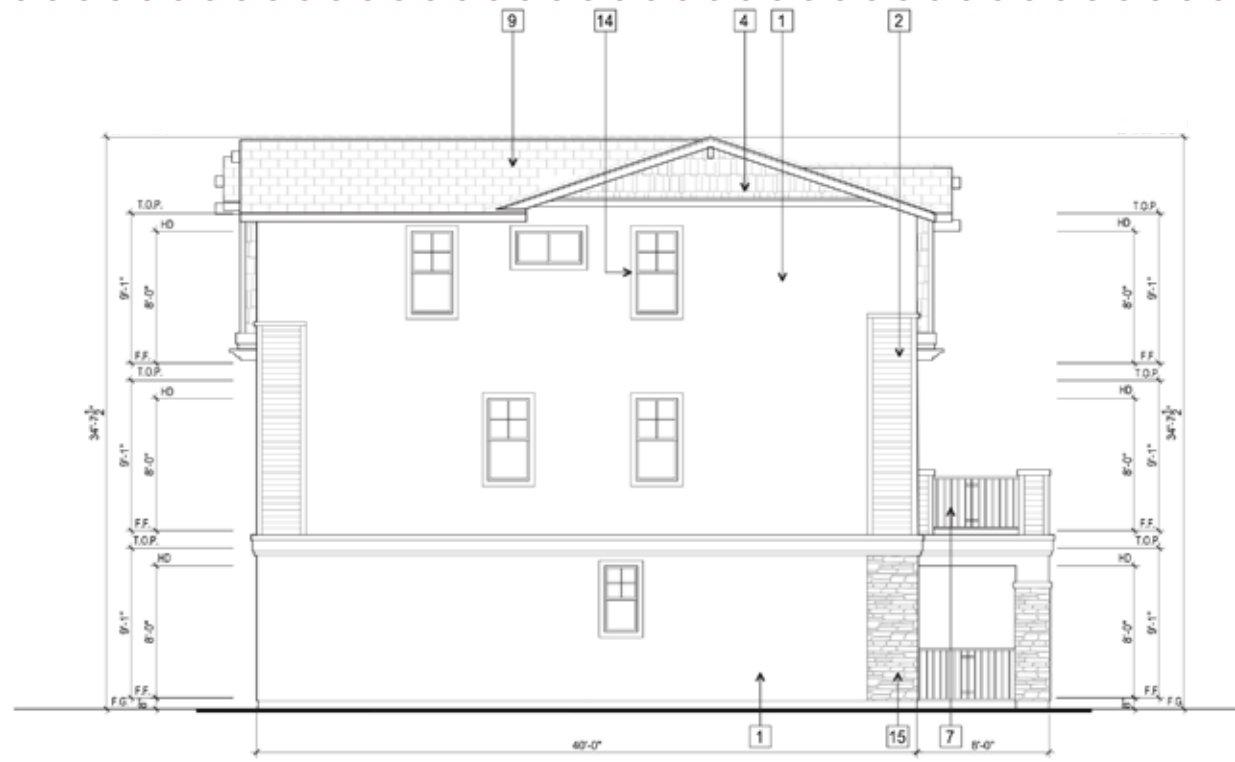
Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

BUILDING 3 ELEVATIONS - PLAN 3 MISSION W/ PORCH 'B' LAYOUT (REVERSED)

FINAL DEVELOPMENT PLAN - PARCEL 24





LEFT ELEVATION



FRONT ELEVATION

- 1 STUCCO
- 2 HORIZONTAL SIDING
- 3 BOARD & BATT SIDING
- 4 SHINGLE SIDING
- 5 VINYL WINDOW
- 6 SHUTTERS AT ENHANCED ELEVATION
- 7 WROUGHT IRON RAILING
- 8 STANDING SEAM METAL ROOF
- 9 FLAT CONCRETE TILE ROOF
- 10 S-TILE ROOF
- 11 GARAGE DOOR
- 12 STANDING SEAM METAL CANOPY
- 13 JULIET BALCONY
- 14 WINDOW WOOD TRIM
- 15 STONE VENEER
- 16 EXTERIOR LIGHTING
- 17 UTILITY LOCATION / ROOM TO BE DETERMINED
- 18 A/C LOCATION
- 19 PRIVACY FENCE AT END UNIT
- 20 TILE ACCENT
- 21 DECORATIVE WOOD RAIL

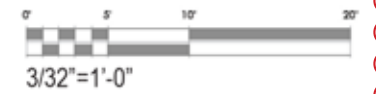
ELEVATION KEY NOTES



REAR ELEVATION



RIGHT ELEVATION

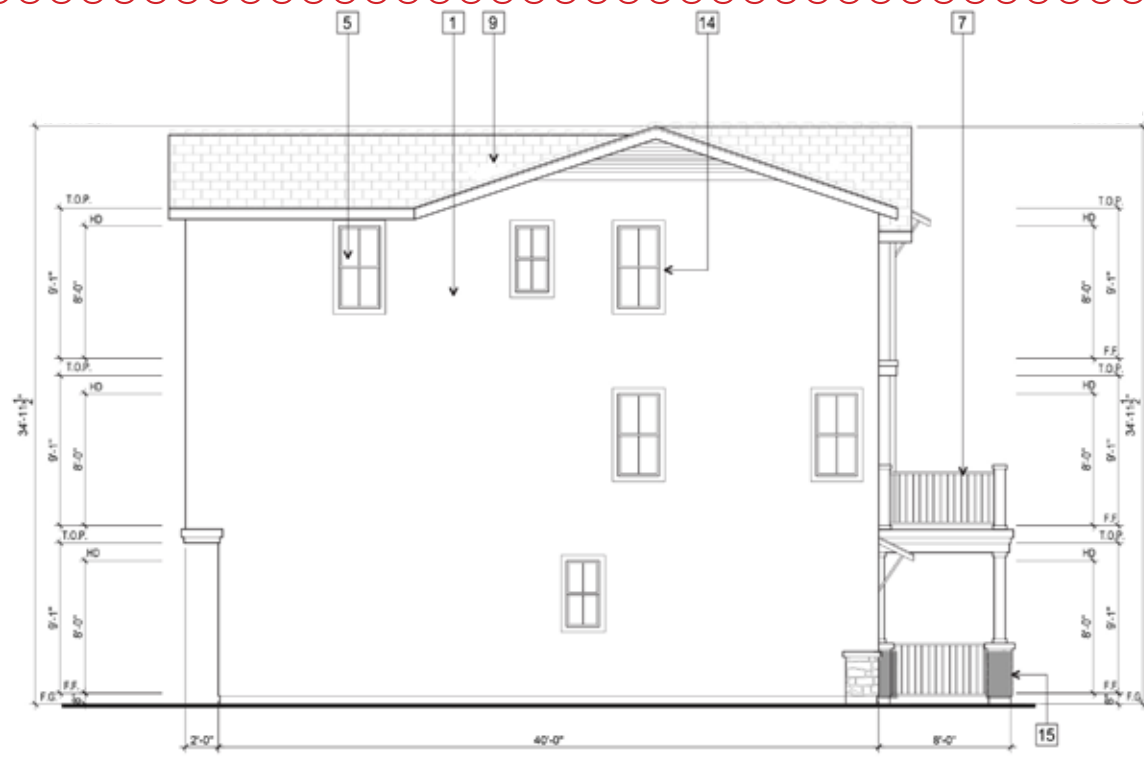


OAK KNOLL

BUILDING 4 ELEVATIONS - PLAN 2 CRAFTSMAN WITH PORCH 'A' LAYOUT (REVERSED)

FINAL DEVELOPMENT PLAN - PARCEL 24

Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.



LEFT ELEVATION



FRONT ELEVATION

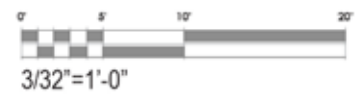
- 1 STUCCO
 - 2 HORIZONTAL SIDING
 - 3 BOARD & BATT SIDING
 - 4 SHINGLE SIDING
 - 5 VINYL WINDOW
 - 6 SHUTTERS AT ENHANCED ELEVATION
 - 7 WROUGHT IRON RAILING
 - 8 STANDING SEAM METAL ROOF
 - 9 FLAT CONCRETE TILE ROOF
 - 10 S-TILE ROOF
 - 11 GARAGE DOOR
 - 12 STANDING SEAM METAL CANOPY
 - 13 JULIET BALCONY
 - 14 WINDOW WOOD TRIM
 - 15 STONE VENEER
 - 16 EXTERIOR LIGHTING
 - 17 UTILITY LOCATION / ROOM TO BE DETERMINED
 - 18 A/C LOCATION
 - 19 PRIVACY FENCE AT END UNIT
 - 20 TILE ACCENT
 - 21 DECORATIVE WOOD RAIL
- ELEVATION KEY NOTES**



REAR ELEVATION



RIGHT ELEVATION



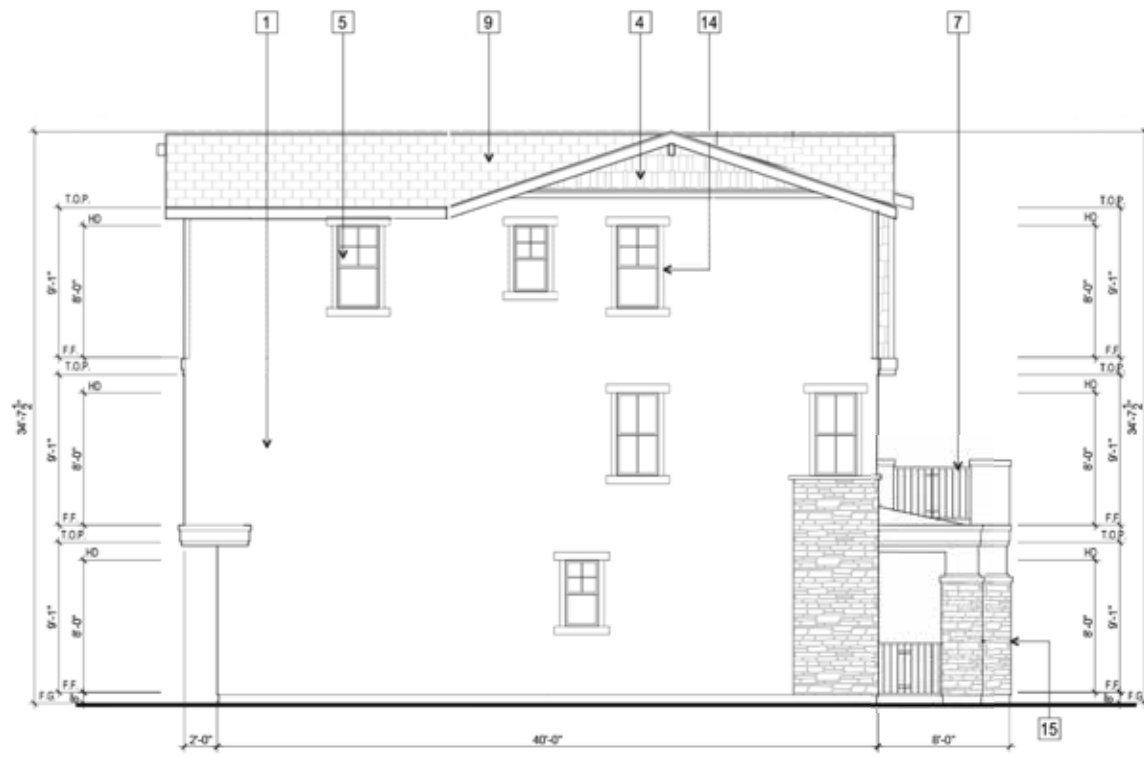
Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

BUILDING 5 ELEVATIONS - PLAN 3 FARMHOUSE WITH PORCH 'A' LAYOUT (REVERSED)

FINAL DEVELOPMENT PLAN - PARCEL 24





LEFT ELEVATION



FRONT ELEVATION

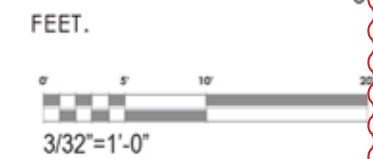
- | | |
|----|--|
| 1 | STUCCO |
| 2 | HORIZONTAL SIDING |
| 3 | BOARD & BATT SIDING |
| 4 | SHINGLE SIDING |
| 5 | VINYL WINDOW |
| 6 | SHUTTERS AT ENHANCED ELEVATION |
| 7 | WROUGHT IRON RAILING |
| 8 | STANDING SEAM METAL ROOF |
| 9 | FLAT CONCRETE TILE ROOF |
| 10 | S-TILE ROOF |
| 11 | GARAGE DOOR |
| 12 | STANDING SEAM METAL CANOPY |
| 13 | JULIET BALCONY |
| 14 | WINDOW WOOD TRIM |
| 15 | STONE VENEER |
| 16 | EXTERIOR LIGHTING |
| 17 | UTILITY LOCATION / ROOM TO BE DETERMINED |
| 18 | A/C LOCATION |
| 19 | PRIVACY FENCE AT END UNIT |
| 20 | TILE ACCENT |
| 21 | DECORATIVE WOOD RAIL |
- ELEVATION KEY NOTES**

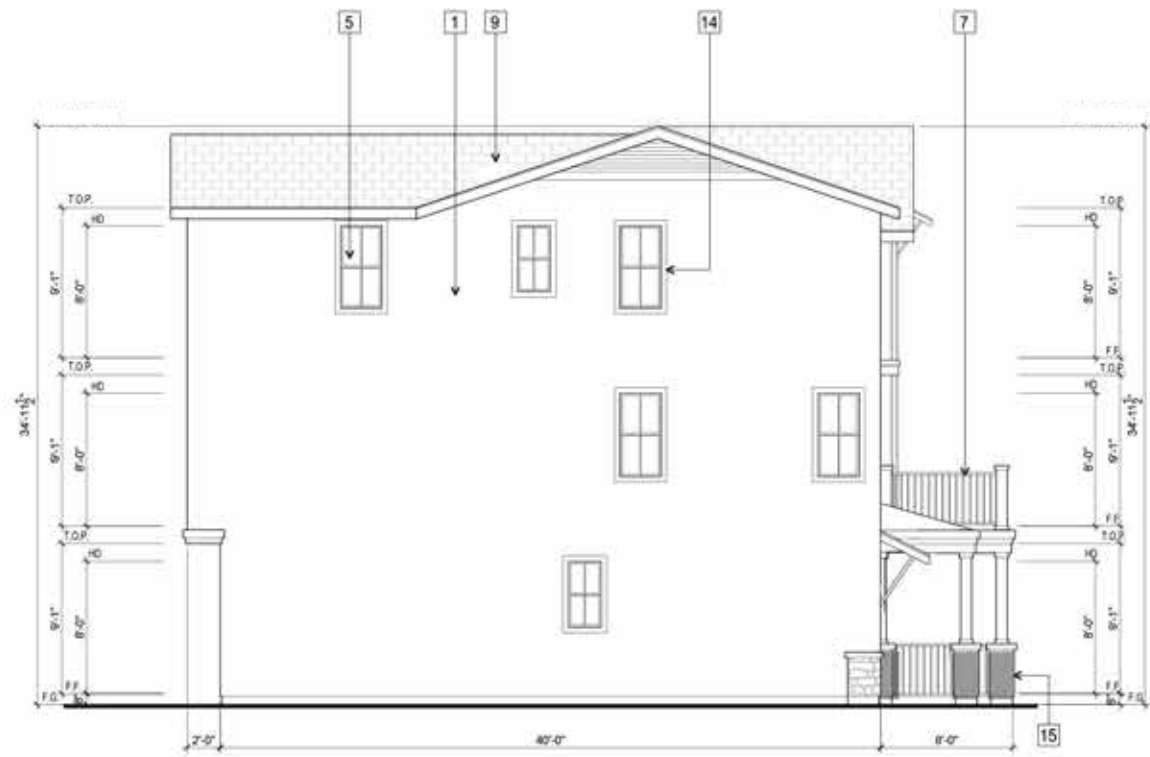


REAR ELEVATION



RIGHT ELEVATION





LEFT ELEVATION



FRONT ELEVATION

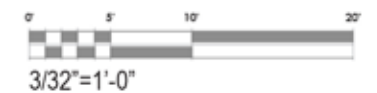
- | | |
|----|--|
| 1 | STUCCO |
| 2 | HORIZONTAL SIDING |
| 3 | BOARD & BATT SIDING |
| 4 | SHINGLE SIDING |
| 5 | VINYL WINDOW |
| 6 | SHUTTERS AT ENHANCED ELEVATION |
| 7 | WROUGHT IRON RAILING |
| 8 | STANDING SEAM METAL ROOF |
| 9 | FLAT CONCRETE TILE ROOF |
| 10 | S-TILE ROOF |
| 11 | GARAGE DOOR |
| 12 | STANDING SEAM METAL CANOPY |
| 13 | JULIET BALCONY |
| 14 | WINDOW WOOD TRIM |
| 15 | STONE VENEER |
| 16 | EXTERIOR LIGHTING |
| 17 | UTILITY LOCATION / ROOM TO BE DETERMINED |
| 18 | A/C LOCATION |
| 19 | PRIVACY FENCE AT END UNIT |
| 20 | TILE ACCENT |
| 21 | DECORATIVE WOOD RAIL |
- ELEVATION KEY NOTES**



REAR ELEVATION



RIGHT ELEVATION



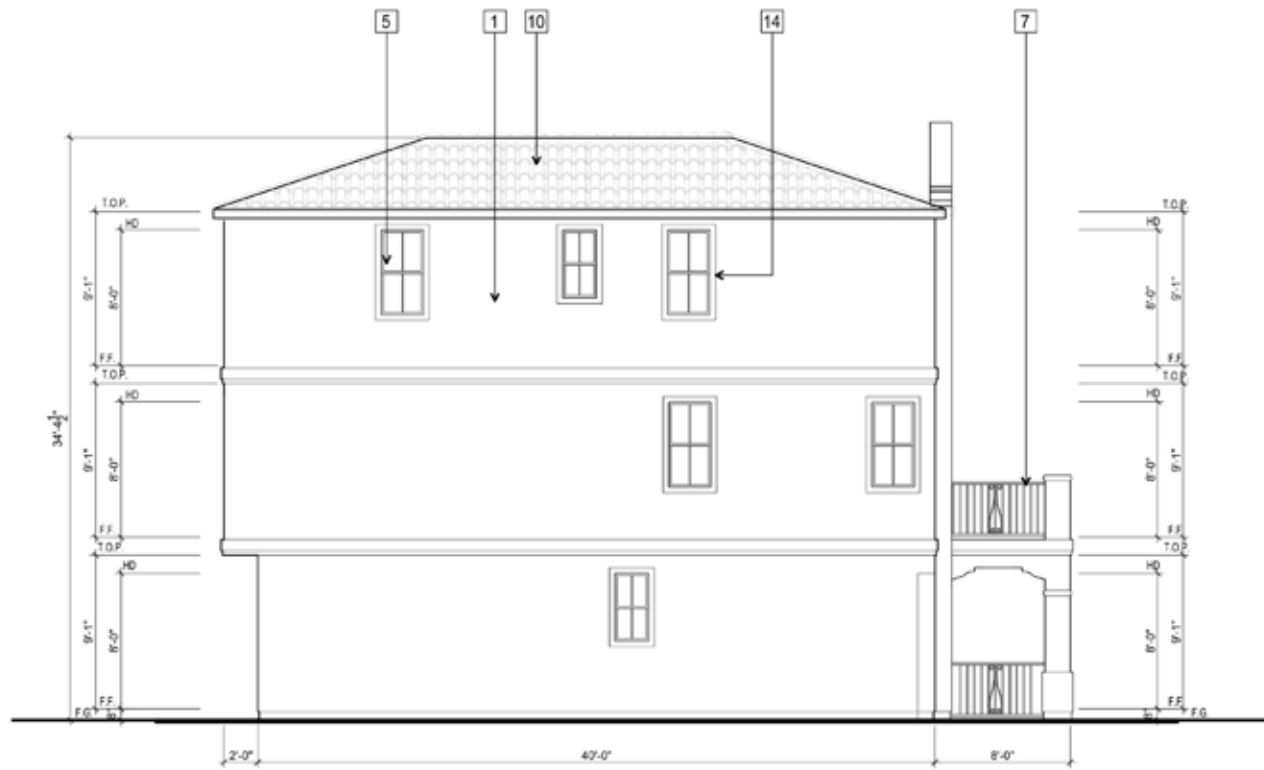
Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

BUILDING 7 ELEVATIONS - PLAN 2 FARMHOUSE W/ PORCH 'B' LAYOUT (REVERSED)

FINAL DEVELOPMENT PLAN - PARCEL 24





LEFT ELEVATION



FRONT ELEVATION

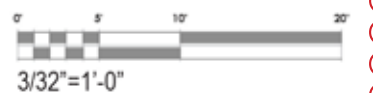
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|----|--|
| 1 | STUCCO |
| 2 | HORIZONTAL SIDING |
| 3 | BOARD & BATT SIDING |
| 4 | SHINGLE SIDING |
| 5 | VINYL WINDOW |
| 6 | SHUTTERS AT ENHANCED ELEVATION |
| 7 | WROUGHT IRON RAILING |
| 8 | STANDING SEAM METAL ROOF |
| 9 | FLAT CONCRETE TILE ROOF |
| 10 | S-TILE ROOF |
| 11 | GARAGE DOOR |
| 12 | STANDING SEAM METAL CANOPY |
| 13 | JULIET BALCONY |
| 14 | WINDOW WOOD TRIM |
| 15 | STONE VENEER |
| 16 | EXTERIOR LIGHTING |
| 17 | UTILITY LOCATION / ROOM TO BE DETERMINED |
| 18 | A/C LOCATION |
| 19 | PRIVACY FENCE AT END UNIT |
| 20 | TILE ACCENT |
| 21 | DECORATIVE WOOD RAIL |
- ELEVATION KEY NOTES**

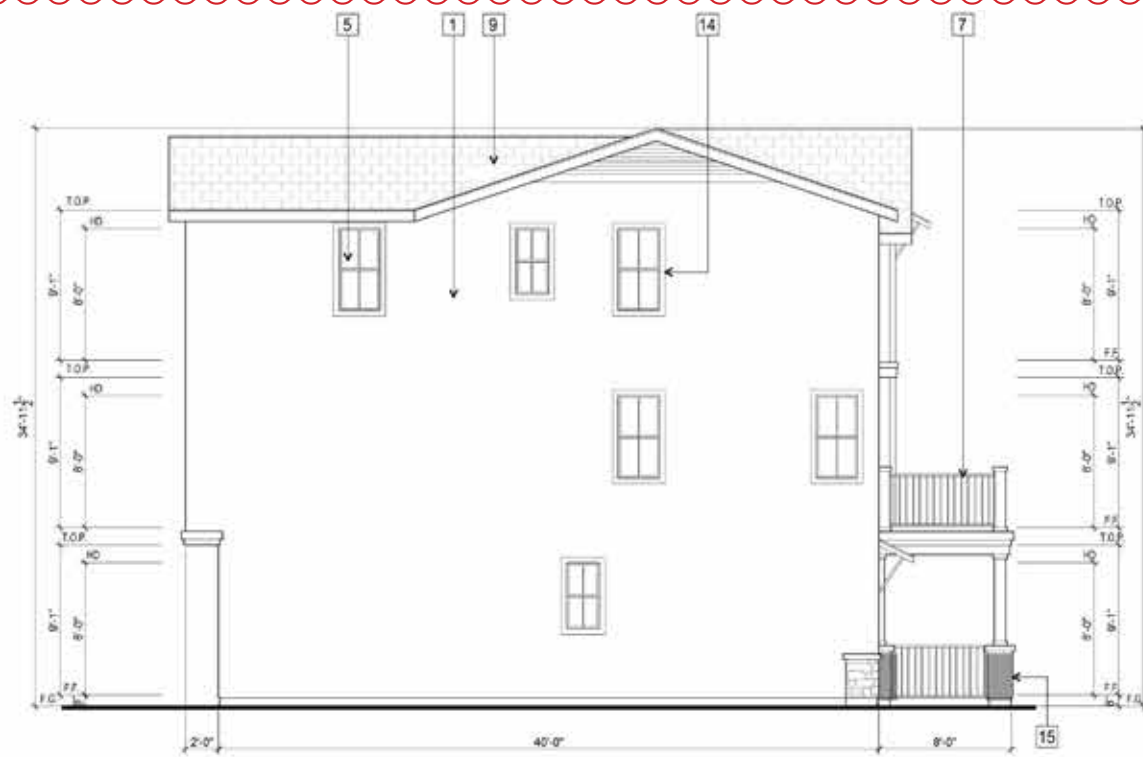


REAR ELEVATION



RIGHT ELEVATION





LEFT ELEVATION



FRONT ELEVATION

- 1 STUCCO
- 2 HORIZONTAL SIDING
- 3 BOARD & BATT SIDING
- 4 SHINGLE SIDING
- 5 VINYL WINDOW
- 6 SHUTTERS AT ENHANCED ELEVATION
- 7 WROUGHT IRON RAILING
- 8 STANDING SEAM METAL ROOF
- 9 FLAT CONCRETE TILE ROOF
- 10 S-TILE ROOF
- 11 GARAGE DOOR
- 12 STANDING SEAM METAL CANOPY
- 13 JULIET BALCONY
- 14 WINDOW WOOD TRIM
- 15 STONE VENEER
- 16 EXTERIOR LIGHTING
- 17 UTILITY LOCATION / ROOM TO BE DETERMINED
- 18 A/C LOCATION
- 19 PRIVACY FENCE AT END UNIT
- 20 TILE ACCENT
- 21 DECORATIVE WOOD RAIL

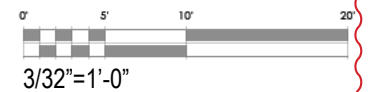
ELEVATION KEY NOTES



REAR ELEVATION



RIGHT ELEVATION



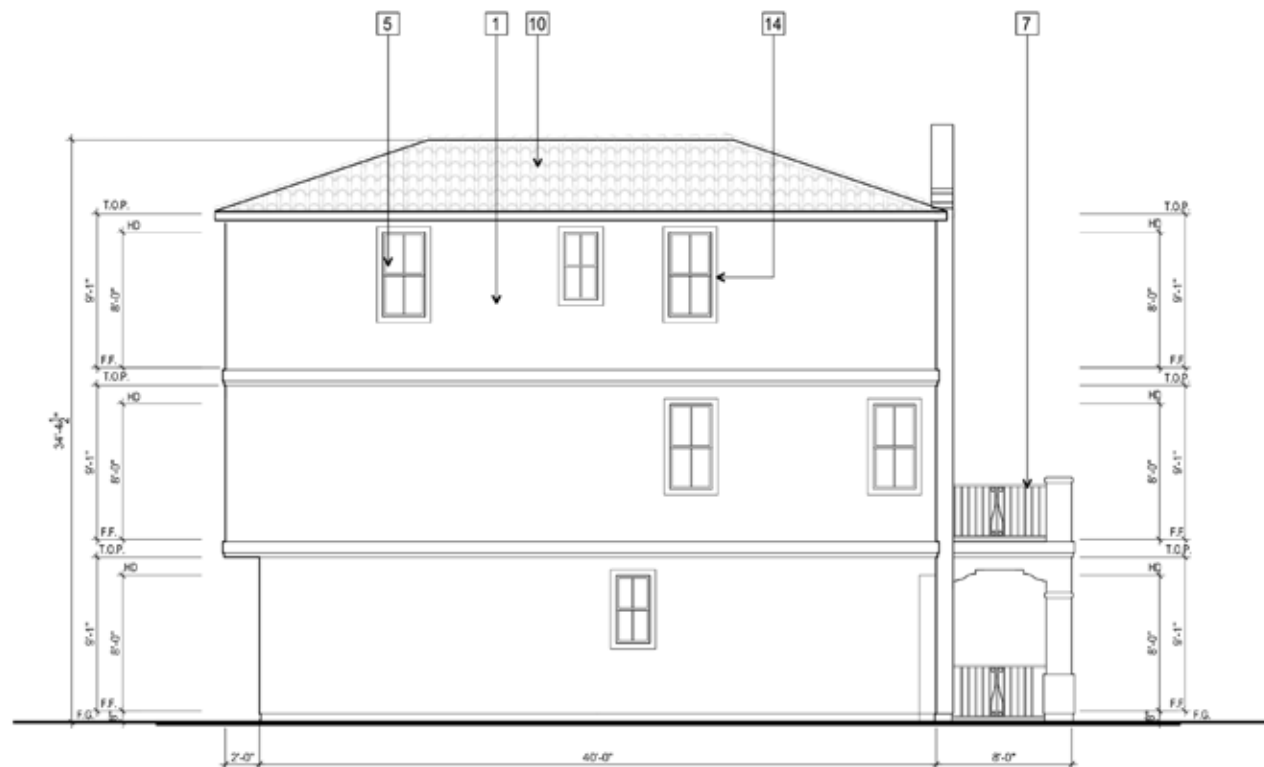
Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

BUILDING 9 ELEVATIONS - PLAN 2 FARMHOUSE WITH PORCH 'A' LAYOUT - HIGH VISIBILITY

FINAL DEVELOPMENT PLAN - PARCEL 24





LEFT ELEVATION



FRONT ELEVATION

- 1 STUCCO
- 2 HORIZONTAL SIDING
- 3 BOARD & BATT SIDING
- 4 SHINGLE SIDING
- 5 VINYL WINDOW
- 6 SHUTTERS AT ENHANCED ELEVATION
- 7 WROUGHT IRON RAILING
- 8 STANDING SEAM METAL ROOF
- 9 FLAT CONCRETE TILE ROOF
- 10 S-TILE ROOF
- 11 GARAGE DOOR
- 12 STANDING SEAM METAL CANOPY
- 13 JULIET BALCONY
- 14 WINDOW WOOD TRIM
- 15 STONE VENEER
- 16 EXTERIOR LIGHTING
- 17 UTILITY LOCATION / ROOM TO BE DETERMINED
- 18 A/C LOCATION
- 19 PRIVACY FENCE AT END UNIT
- 20 TILE ACCENT
- 21 DECORATIVE WOOD RAIL

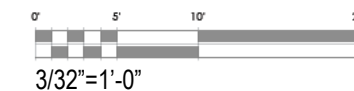
ELEVATION KEY NOTES



REAR ELEVATION



RIGHT ELEVATION

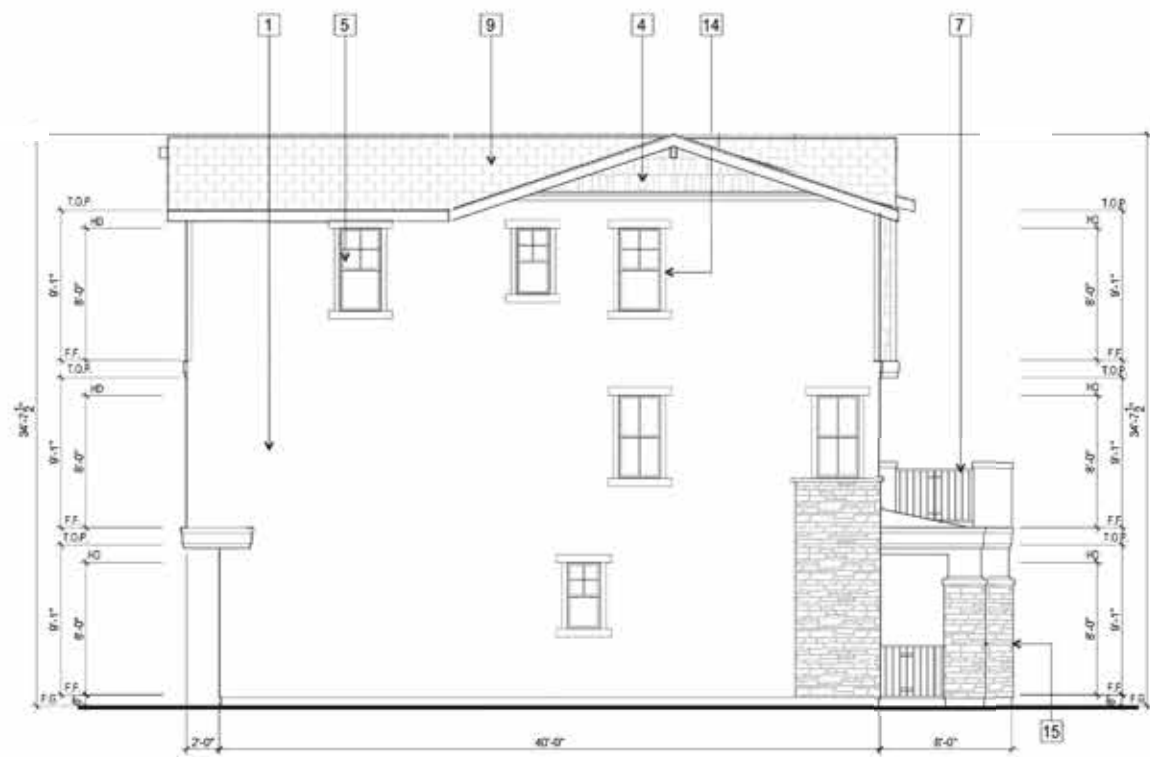


OAK KNOLL

BUILDING 10 ELEVATIONS - PLAN 3 MISSION WITH PORCH 'A' LAYOUT

FINAL DEVELOPMENT PLAN - PARCEL 24

Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.



LEFT ELEVATION



FRONT ELEVATION

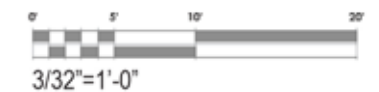
- | | |
|----|--|
| 1 | STUCCO |
| 2 | HORIZONTAL SIDING |
| 3 | BOARD & BATT SIDING |
| 4 | SHINGLE SIDING |
| 5 | VINYL WINDOW |
| 6 | SHUTTERS AT ENHANCED ELEVATION |
| 7 | WROUGHT IRON RAILING |
| 8 | STANDING SEAM METAL ROOF |
| 9 | FLAT CONCRETE TILE ROOF |
| 10 | S-TILE ROOF |
| 11 | GARAGE DOOR |
| 12 | STANDING SEAM METAL CANOPY |
| 13 | JULIET BALCONY |
| 14 | WINDOW WOOD TRIM |
| 15 | STONE VENEER |
| 16 | EXTERIOR LIGHTING |
| 17 | UTILITY LOCATION / ROOM TO BE DETERMINED |
| 18 | A/C LOCATION |
| 19 | PRIVACY FENCE AT END UNIT |
| 20 | TILE ACCENT |
| 21 | DECORATIVE WOOD RAIL |
- ELEVATION KEY NOTES**



REAR ELEVATION



RIGHT ELEVATION



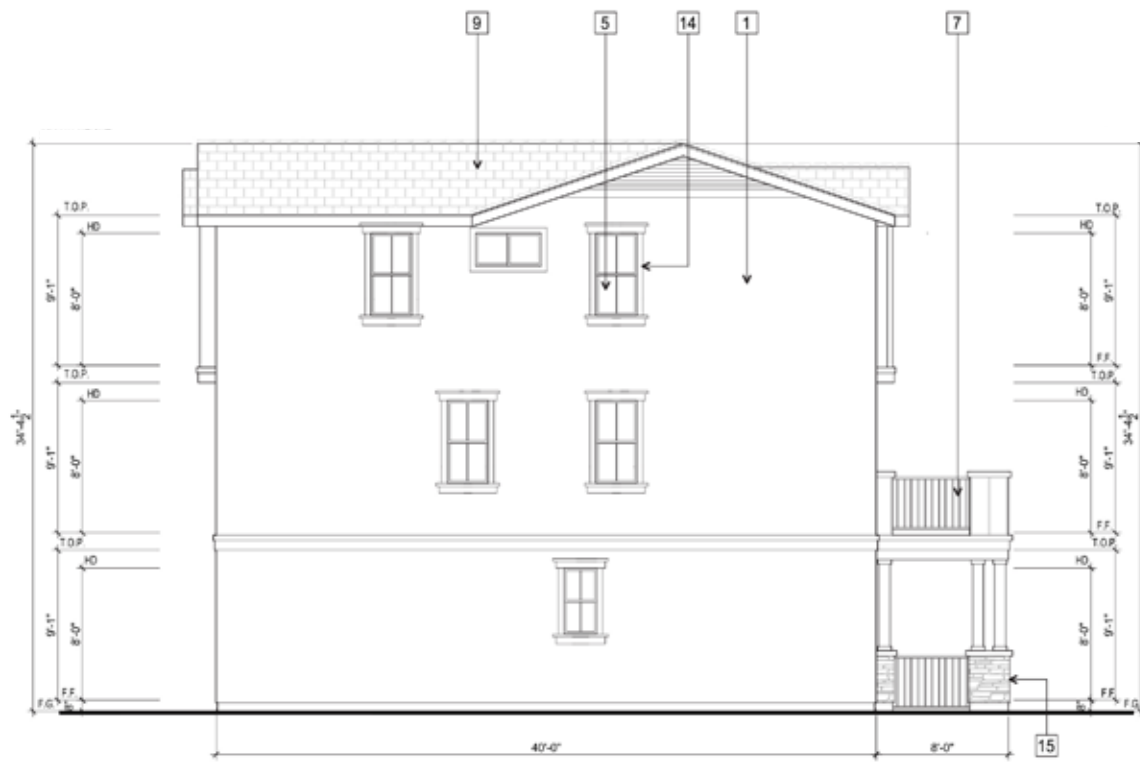
Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

BUILDING 11 ELEVATIONS - PLAN 1 CRAFTSMAN W/ PORCH 'B' LAYOUT

FINAL DEVELOPMENT PLAN - PARCEL 24





LEFT ELEVATION



FRONT ELEVATION

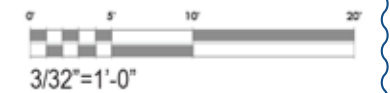
- | | |
|----|--|
| 1 | STUCCO |
| 2 | HORIZONTAL SIDING |
| 3 | BOARD & BATT SIDING |
| 4 | SHINGLE SIDING |
| 5 | VINYL WINDOW |
| 6 | SHUTTERS AT ENHANCED ELEVATION |
| 7 | WROUGHT IRON RAILING |
| 8 | STANDING SEAM METAL ROOF |
| 9 | FLAT CONCRETE TILE ROOF |
| 10 | S-TILE ROOF |
| 11 | GARAGE DOOR |
| 12 | STANDING SEAM METAL CANOPY |
| 13 | JULIET BALCONY |
| 14 | WINDOW WOOD TRIM |
| 15 | STONE VENEER |
| 16 | EXTERIOR LIGHTING |
| 17 | UTILITY LOCATION / ROOM TO BE DETERMINED |
| 18 | A/C LOCATION |
| 19 | PRIVACY FENCE AT END UNIT |
| 20 | TILE ACCENT |
| 21 | DECORATIVE WOOD RAIL |
- ELEVATION KEY NOTES**

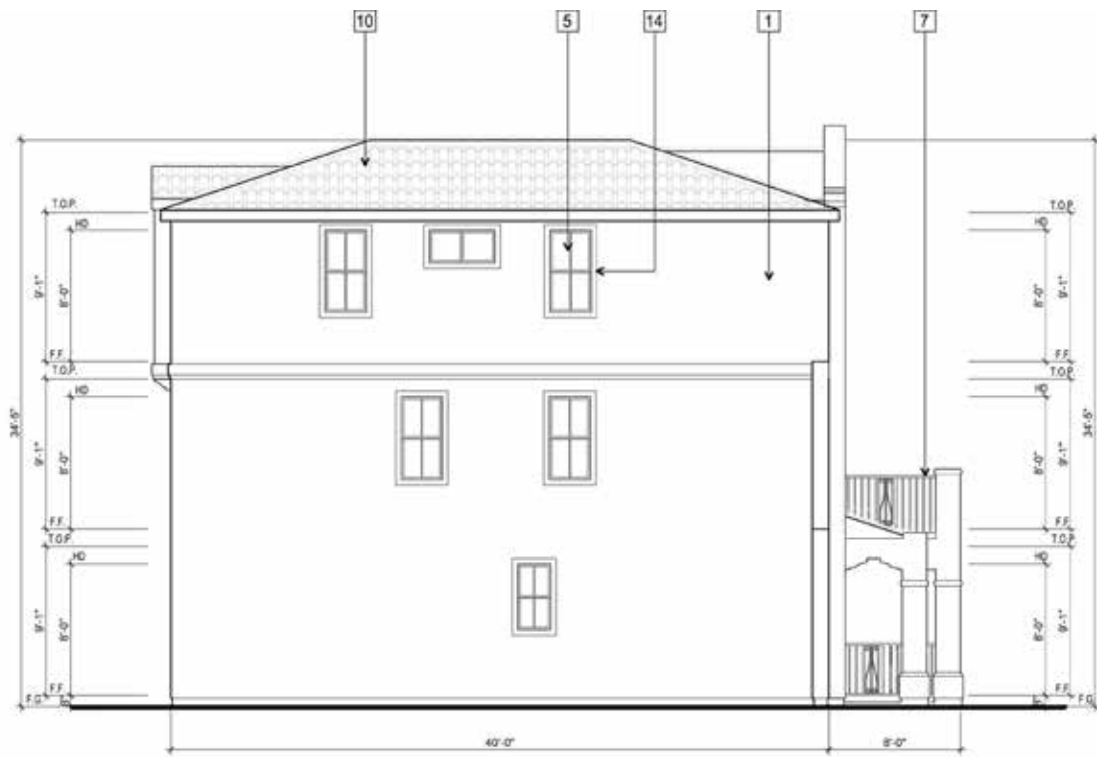


REAR ELEVATION



RIGHT ELEVATION





LEFT ELEVATION



FRONT ELEVATION

- 1 STUCCO
- 2 HORIZONTAL SIDING
- 3 BOARD & BATT SIDING
- 4 SHINGLE SIDING
- 5 VINYL WINDOW
- 6 SHUTTERS AT ENHANCED ELEVATION
- 7 WROUGHT IRON RAILING
- 8 STANDING SEAM METAL ROOF
- 9 FLAT CONCRETE TILE ROOF
- 10 S-TILE ROOF
- 11 GARAGE DOOR
- 12 STANDING SEAM METAL CANOPY
- 13 JULIET BALCONY
- 14 WINDOW WOOD TRIM
- 15 STONE VENEER
- 16 EXTERIOR LIGHTING
- 17 UTILITY LOCATION / ROOM TO BE DETERMINED
- 18 A/C LOCATION
- 19 PRIVACY FENCE AT END UNIT
- 20 TILE ACCENT
- 21 DECORATIVE WOOD RAIL

ELEVATION KEY NOTES



REAR ELEVATION



RIGHT ELEVATION



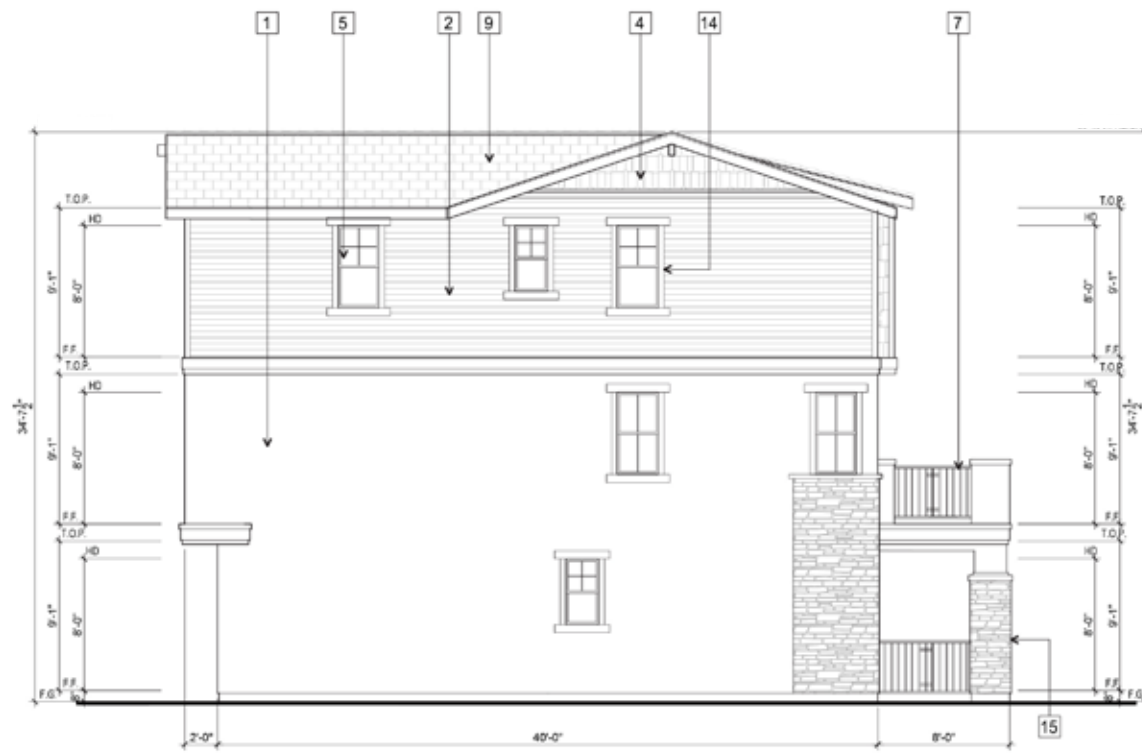
Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

BUILDING 13 ELEVATIONS - PLAN 2 MISSIONW/ PORCH 'B' LAYOUT

FINAL DEVELOPMENT PLAN - PARCEL 24





LEFT ELEVATION



FRONT ELEVATION

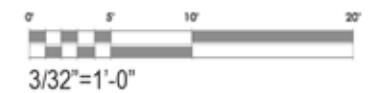
- | | |
|----|--|
| 1 | STUCCO |
| 2 | HORIZONTAL SIDING |
| 3 | BOARD & BATT SIDING |
| 4 | SHINGLE SIDING |
| 5 | VINYL WINDOW |
| 6 | SHUTTERS AT ENHANCED ELEVATION |
| 7 | WROUGHT IRON RAILING |
| 8 | STANDING SEAM METAL ROOF |
| 9 | FLAT CONCRETE TILE ROOF |
| 10 | S-TILE ROOF |
| 11 | GARAGE DOOR |
| 12 | STANDING SEAM METAL CANOPY |
| 13 | JULIET BALCONY |
| 14 | WINDOW WOOD TRIM |
| 15 | STONE VENEER |
| 16 | EXTERIOR LIGHTING |
| 17 | UTILITY LOCATION / ROOM TO BE DETERMINED |
| 18 | A/C LOCATION |
| 19 | PRIVACY FENCE AT END UNIT |
| 20 | TILE ACCENT |
| 21 | DECORATIVE WOOD RAIL |
- ELEVATION KEY NOTES**



REAR ELEVATION



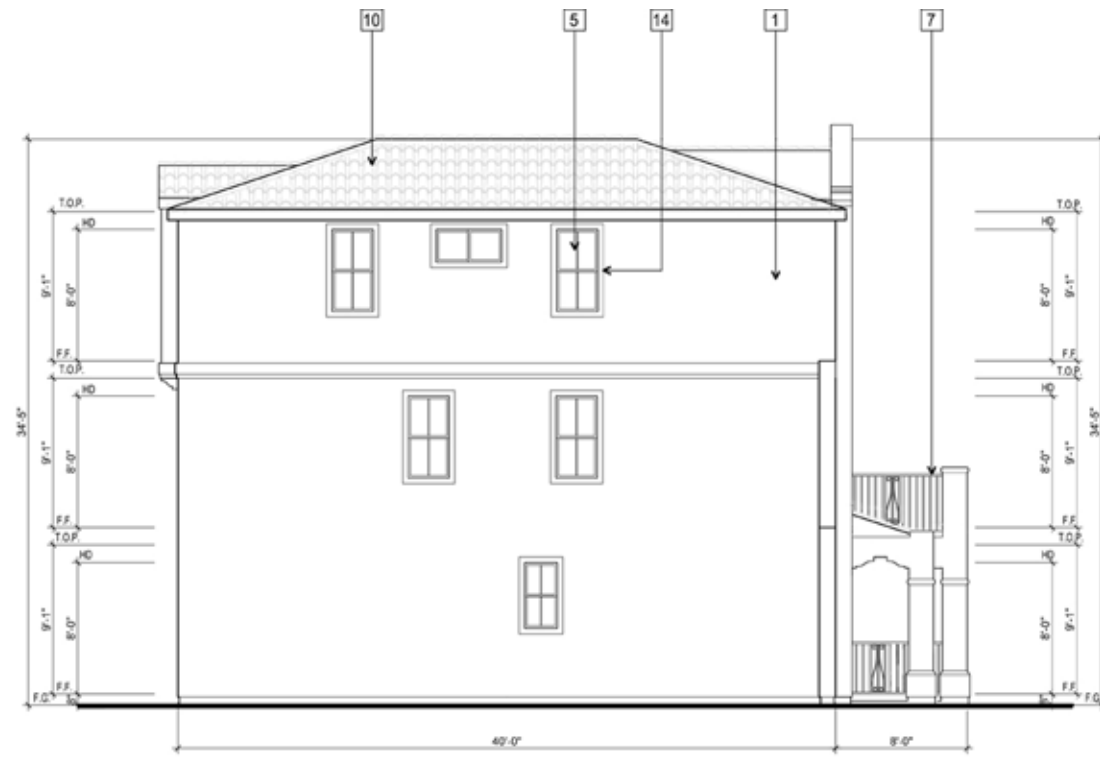
RIGHT ELEVATION



OAK KNOLL

BUILDING 14 ELEVATIONS - PLAN 3 CRAFTSMAN WITH PORCH 'A' LAYOUT
FINAL DEVELOPMENT PLAN - PARCEL 24

Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.



LEFT ELEVATION



FRONT ELEVATION

- 1 STUCCO
- 2 HORIZONTAL SIDING
- 3 BOARD & BATT SIDING
- 4 SHINGLE SIDING
- 5 VINYL WINDOW
- 6 SHUTTERS AT ENHANCED ELEVATION
- 7 WROUGHT IRON RAILING
- 8 STANDING SEAM METAL ROOF
- 9 FLAT CONCRETE TILE ROOF
- 10 S-TILE ROOF
- 11 GARAGE DOOR
- 12 STANDING SEAM METAL CANOPY
- 13 SHUTTERS AT ENHANCE CONDITION FACING STREET
- 14 WINDOW WOOD TRIM
- 15 STONE VENEER
- 16 EXTERIOR LIGHTING
- 17 UTILITY LOCATION / ROOM TO BE DETERMINED
- 18 A/C LOCATION
- 19 PRIVACY FENCE AT END UNIT

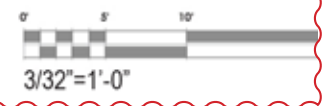
ELEVATION KEY NOTE



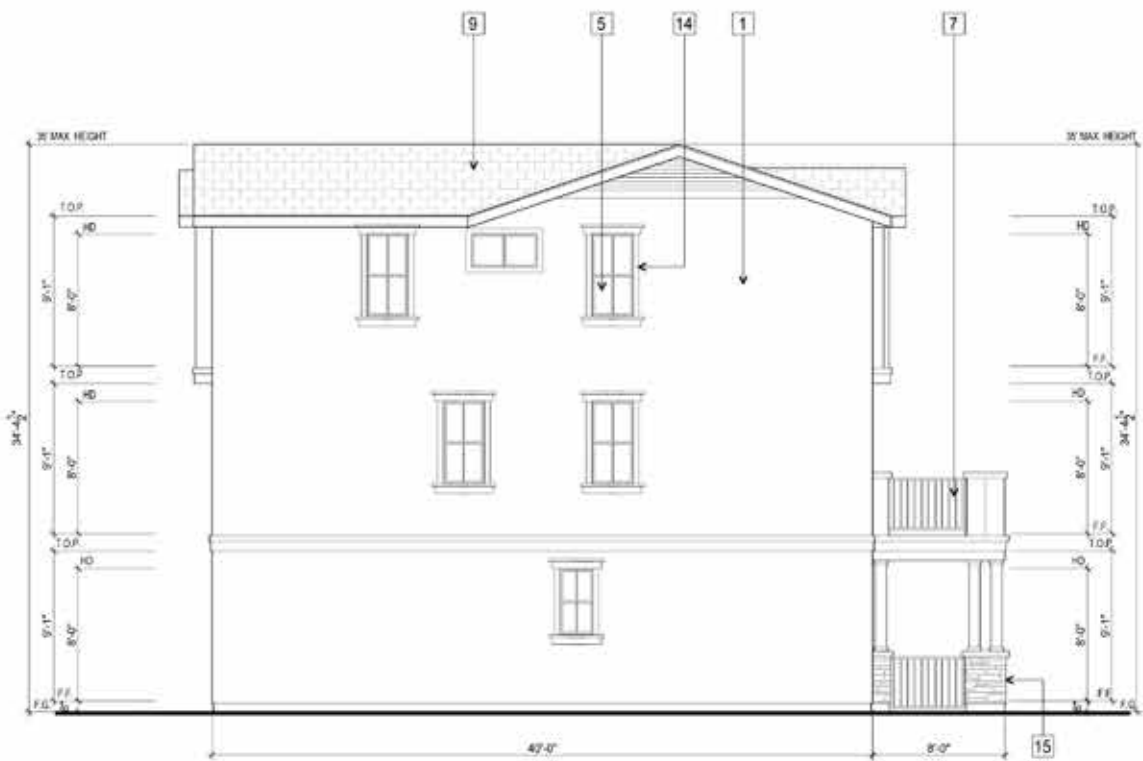
REAR ELEVATION



RIGHT ELEVATION



BUILDING 15 ELEVATIONS - PLAN 1 MISSION WITH PORCH 'B' LAYOUT (REVERSE)



LEFT ELEVATION



FRONT ELEVATION

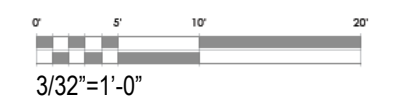
- | | |
|----|--|
| 1 | STUCCO |
| 2 | HORIZONTAL SIDING |
| 3 | BOARD & BATT SIDING |
| 4 | SHINGLE SIDING |
| 5 | VINYL WINDOW |
| 6 | SHUTTERS AT ENHANCED ELEVATION |
| 7 | WROUGHT IRON RAILING |
| 8 | STANDING SEAM METAL ROOF |
| 9 | FLAT CONCRETE TILE ROOF |
| 10 | S-TILE ROOF |
| 11 | GARAGE DOOR |
| 12 | STANDING SEAM METAL CANOPY |
| 13 | JULIET BALCONY |
| 14 | WINDOW WOOD TRIM |
| 15 | STONE VENEER |
| 16 | EXTERIOR LIGHTING |
| 17 | UTILITY LOCATION / ROOM TO BE DETERMINED |
| 18 | A/C LOCATION |
| 19 | PRIVACY FENCE AT END UNIT |
| 20 | TILE ACCENT |
| 21 | DECORATIVE WOOD RAIL |
- ELEVATION KEY NOTES**



REAR ELEVATION



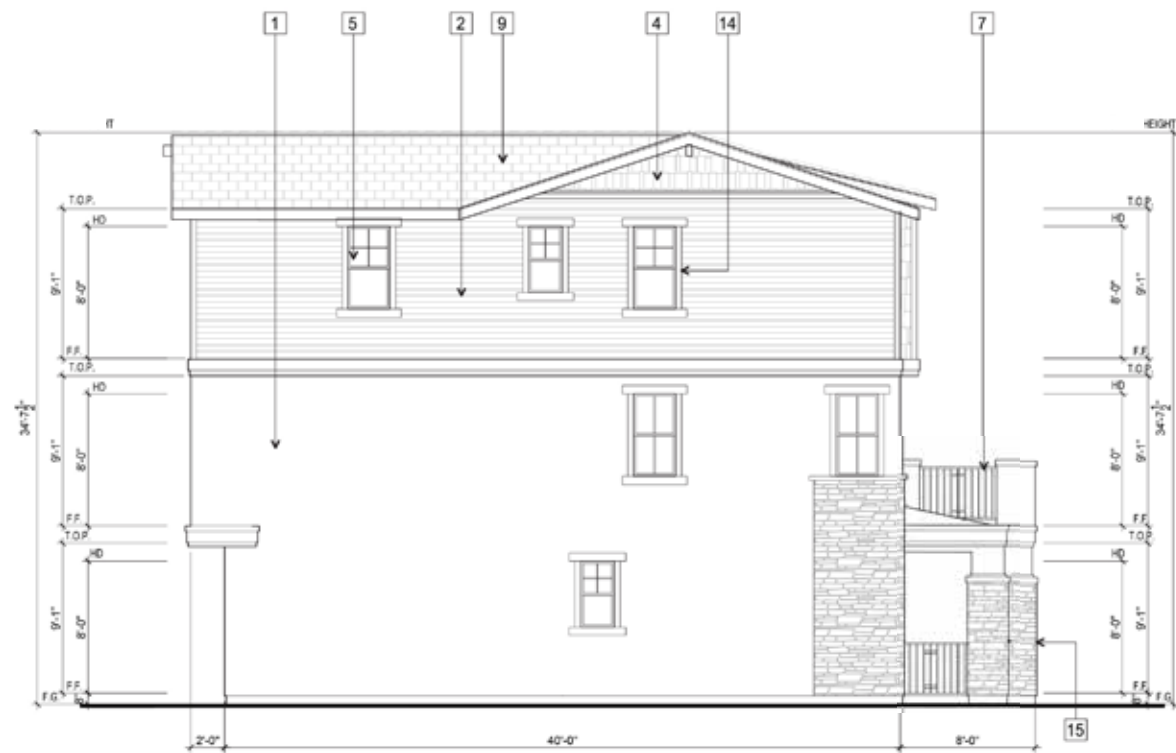
RIGHT ELEVATION



OAK KNOLL

BUILDING 16 ELEVATIONS - PLAN 1 FARMHOUSE W/ PORCH 'A' LAYOUT (REVERSE)
FINAL DEVELOPMENT PLAN - PARCEL 24

Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.



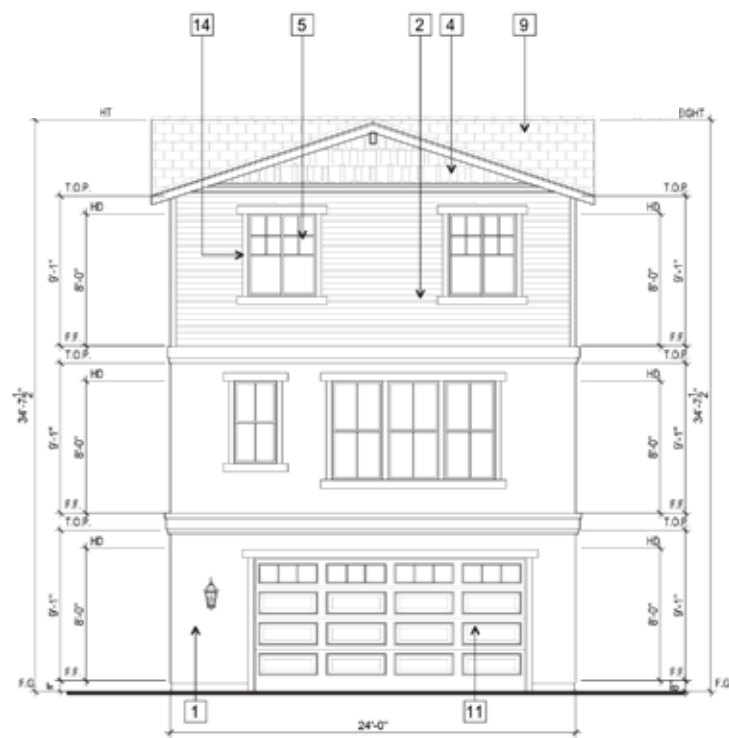
LEFT ELEVATION



FRONT ELEVATION

- 1 STUCCO
- 2 HORIZONTAL SIDING
- 3 BOARD & BATT SIDING
- 4 SHINGLE SIDING
- 5 VINYL WINDOW
- 6 SHUTTERS AT ENHANCED ELEVATION
- 7 WROUGHT IRON RAILING
- 8 STANDING SEAM METAL ROOF
- 9 FLAT CONCRETE TILE ROOF
- 10 S-TILE ROOF
- 11 GARAGE DOOR
- 12 STANDING SEAM METAL CANOPY
- 13 JULIET BALCONY
- 14 WINDOW WOOD TRIM
- 15 STONE VENEER
- 16 EXTERIOR LIGHTING
- 17 UTILITY LOCATION / ROOM TO BE DETERMINED
- 18 A/C LOCATION
- 19 PRIVACY FENCE AT END UNIT
- 20 TILE ACCENT
- 21 DECORATIVE WOOD RAIL

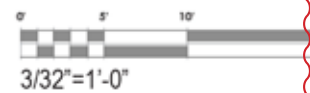
ELEVATION KEY NOTE



REAR ELEVATION



RIGHT ELEVATION



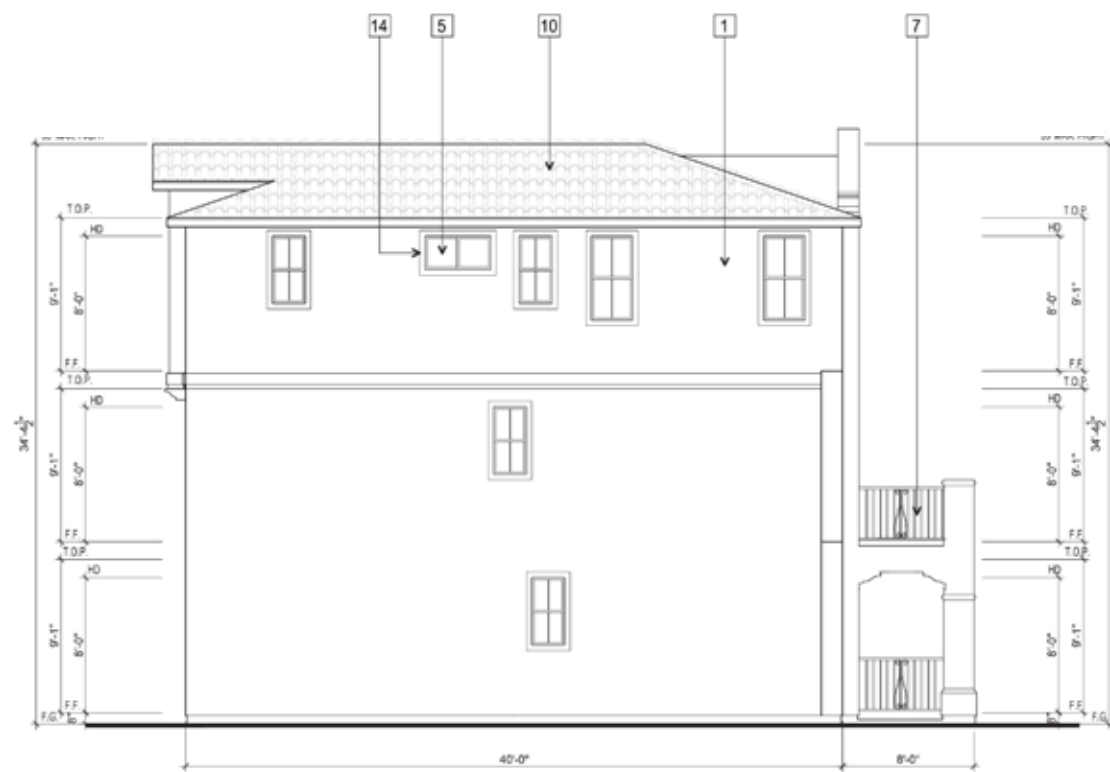
Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL
 BUILDING 17 ELEVATIONS - PLAN 3 CRAFTSMAN WITH PORCH 'B' LAYOUT (REVERSE)

BUILDING 17 ELEVATIONS - PLAN 3 CRAFTSMAN

FINAL DEVELOPMENT PLAN - PARCEL 24



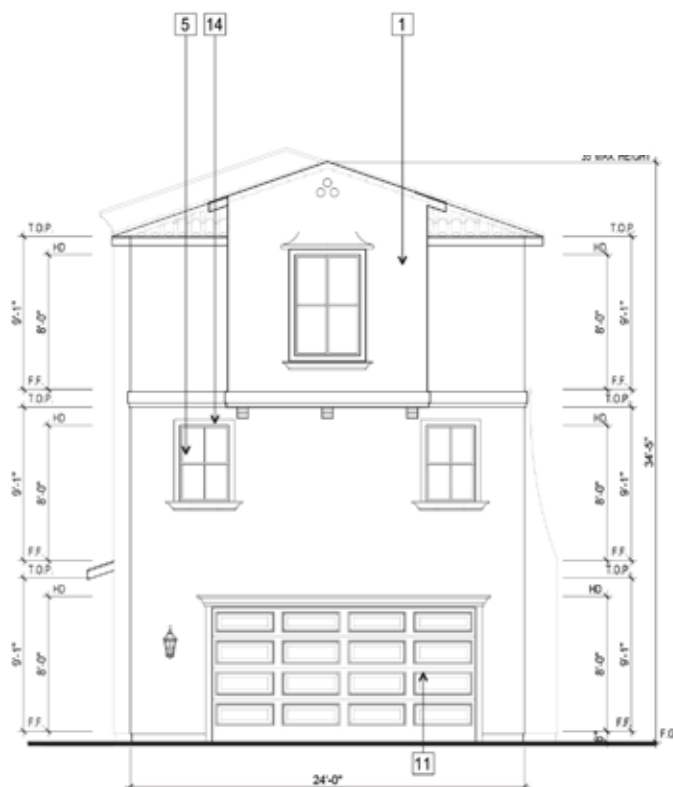


LEFT ELEVATION



FRONT ELEVATION

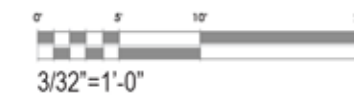
- | | |
|----|--|
| 1 | STUCCO |
| 2 | HORIZONTAL SIDING |
| 3 | BOARD & BATT SIDING |
| 4 | SHINGLE SIDING |
| 5 | VINYL WINDOW |
| 6 | SHUTTERS AT ENHANCED ELEVATION |
| 7 | WROUGHT IRON RAILING |
| 8 | STANDING SEAM METAL ROOF |
| 9 | FLAT CONCRETE TILE ROOF |
| 10 | S-TILE ROOF |
| 11 | GARAGE DOOR |
| 12 | STANDING SEAM METAL CANOPY |
| 13 | JULIET BALCONY |
| 14 | WINDOW WOOD TRIM |
| 15 | STONE VENEER |
| 16 | EXTERIOR LIGHTING |
| 17 | UTILITY LOCATION / ROOM TO BE DETERMINED |
| 18 | A/C LOCATION |
| 19 | PRIVACY FENCE AT END UNIT |
| 20 | TILE ACCENT |
| 21 | DECORATIVE WOOD RAIL |
- ELEVATION KEY NOTES**

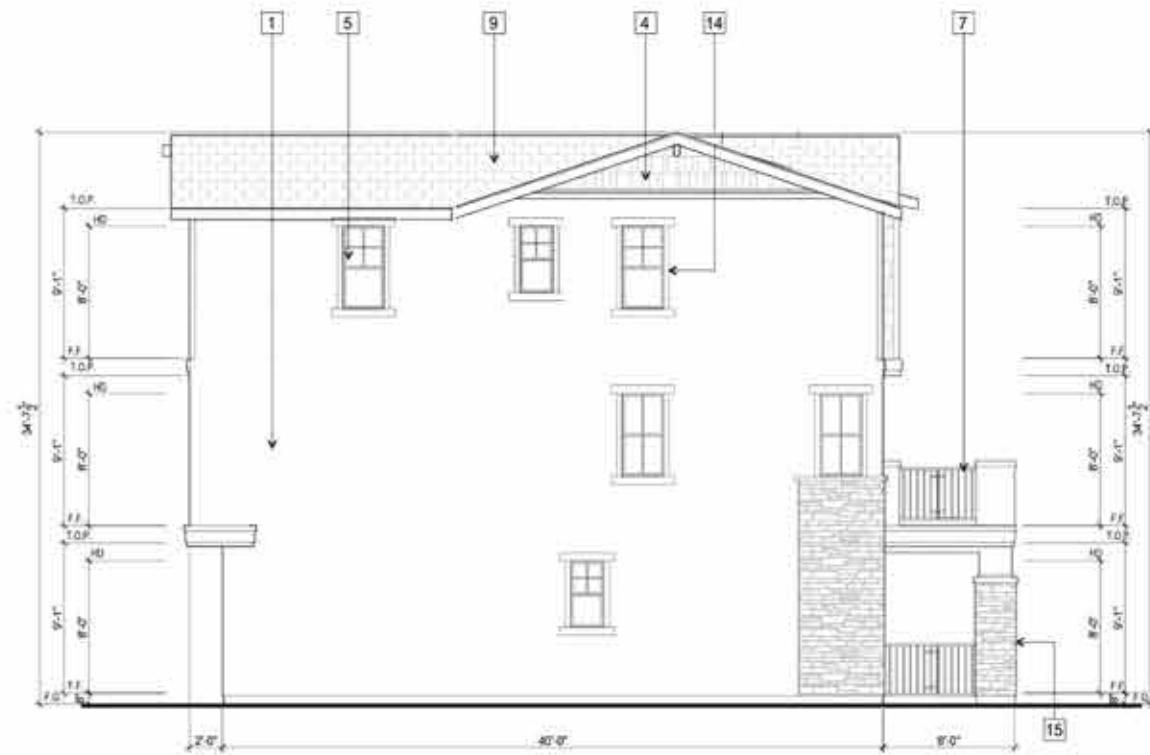


REAR ELEVATION



RIGHT ELEVATION





LEFT ELEVATION



FRONT ELEVATION

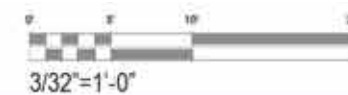
- | | |
|----|--|
| 1 | STUCCO |
| 2 | HORIZONTAL SIDING |
| 3 | BOARD & BATT SIDING |
| 4 | SHINGLE SIDING |
| 5 | VINYL WINDOW |
| 6 | SHUTTERS AT ENHANCED ELEVATION |
| 7 | WROUGHT IRON RAILING |
| 8 | STANDING SEAM METAL ROOF |
| 9 | FLAT CONCRETE TILE ROOF |
| 10 | S-TILE ROOF |
| 11 | GARAGE DOOR |
| 12 | STANDING SEAM METAL CANOPY |
| 13 | JULET BALCONY |
| 14 | WINDOW WOOD TRIM |
| 15 | STONE VENEER |
| 16 | EXTERIOR LIGHTING |
| 17 | UTILITY LOCATION / ROOM TO BE DETERMINED |
| 18 | A/C LOCATION |
| 19 | PRIVACY FENCE AT END UNIT |
| 20 | TILE ACCENT |
| 21 | DECORATIVE WOOD RAIL |
- ELEVATION KEY NOTES**



REAR ELEVATION



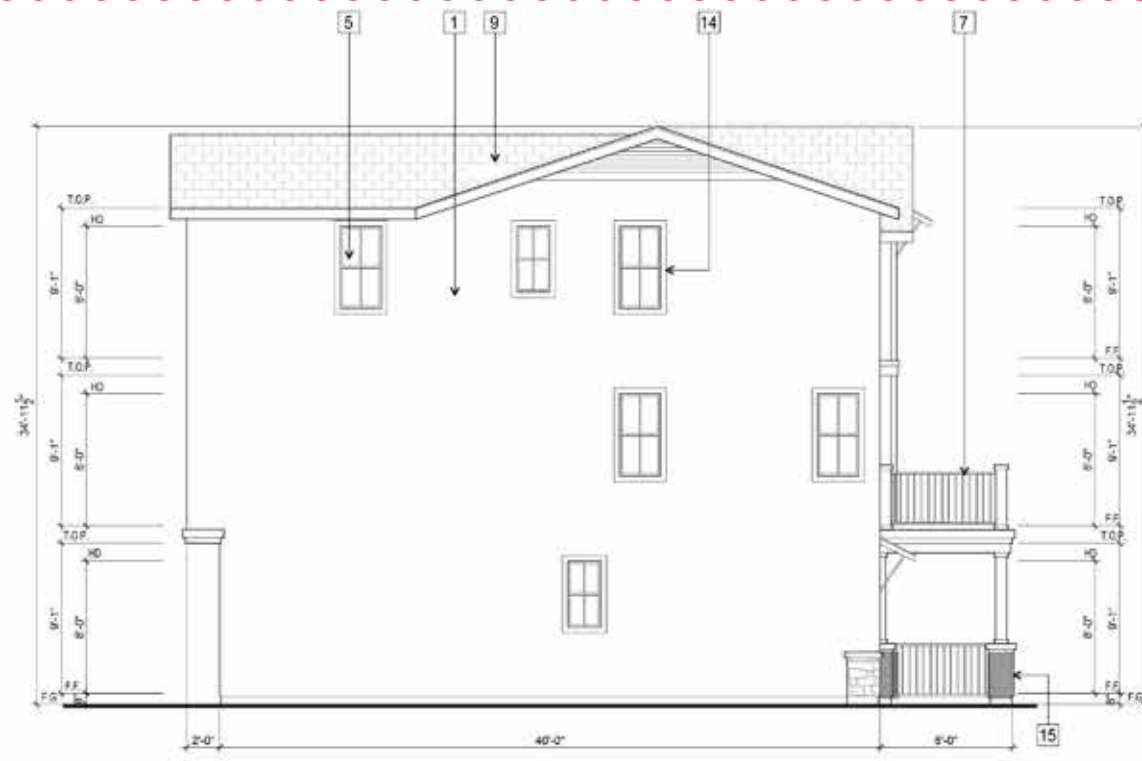
RIGHT ELEVATION



OAK KNOLL

BUILDING 19 ELEVATIONS - PLAN 1 CRAFTSMAN W/ PORCH 'A' LAYOUT (REVERSE)

Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.



LEFT ELEVATION



FRONT ELEVATION

- 1 STUCCO
- 2 HORIZONTAL SIDING
- 3 BOARD & BATT SIDING
- 4 SHINGLE SIDING
- 5 VINYL WINDOW
- 6 SHUTTERS AT ENHANCED ELEVATION
- 7 WROUGHT IRON RAILING
- 8 STANDING SEAM METAL ROOF
- 9 FLAT CONCRETE TILE ROOF
- 10 S-TILE ROOF
- 11 GARAGE DOOR
- 12 STANDING SEAM METAL CANOPY
- 13 JULIET BALCONY
- 14 WINDOW WOOD TRIM
- 15 STONE VENEER
- 16 EXTERIOR LIGHTING
- 17 UTILITY LOCATION / ROOM TO BE DETERMINED
- 18 A/C LOCATION
- 19 PRIVACY FENCE AT END UNIT
- 20 TILE ACCENT
- 21 DECORATIVE WOOD RAIL

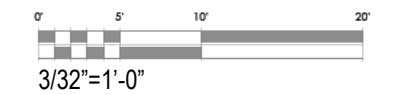
ELEVATION KEY NOTES

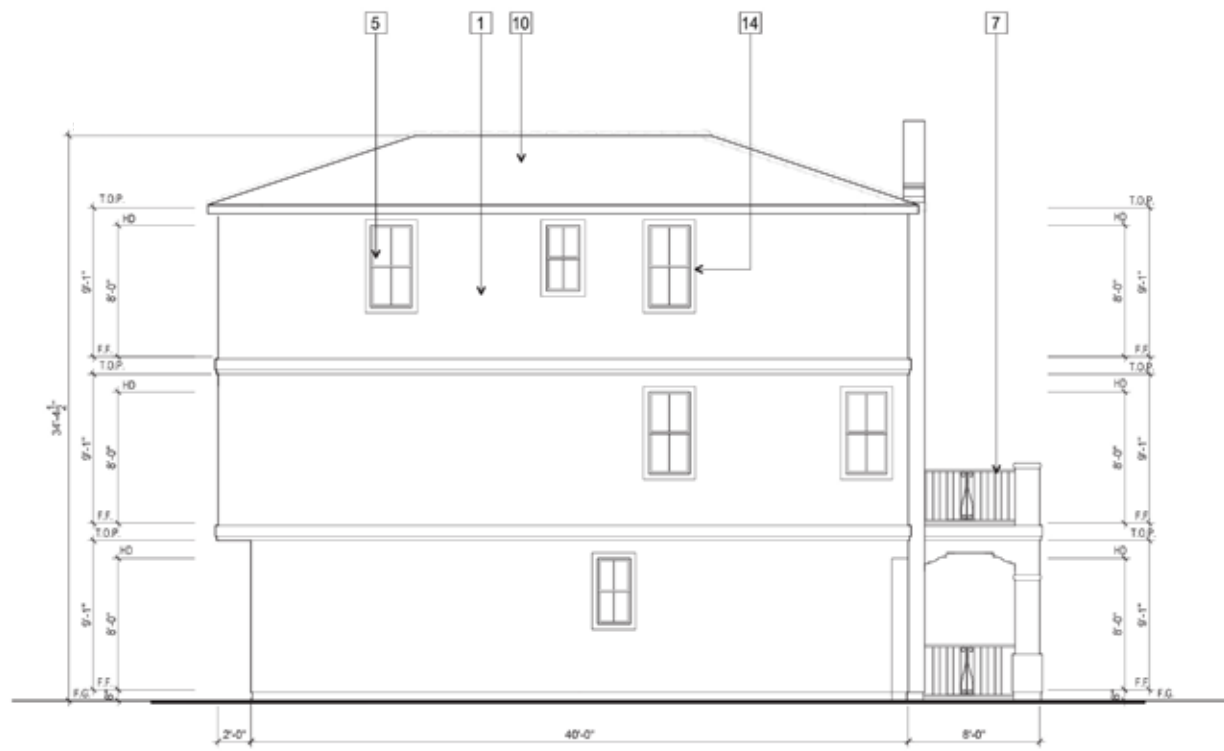


REAR ELEVATION



RIGHT ELEVATION





LEFT ELEVATION



FRONT ELEVATION

- 1 STUCCO
- 2 HORIZONTAL SIDING
- 3 BOARD & BATT SIDING
- 4 SHINGLE SIDING
- 5 VINYL WINDOW
- 6 SHUTTERS AT ENHANCED ELEVATION
- 7 WROUGHT IRON RAILING
- 8 STANDING SEAM METAL ROOF
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- 10 S-TILE ROOF
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- 17 UTILITY LOCATION / ROOM TO BE DETERMINED
- 18 A/C LOCATION
- 19 PRIVACY FENCE AT END UNIT
- 20 TILE ACCENT
- 21 DECORATIVE WOOD RAIL

ELEVATION KEY NOTES



REAR ELEVATION



RIGHT ELEVATION



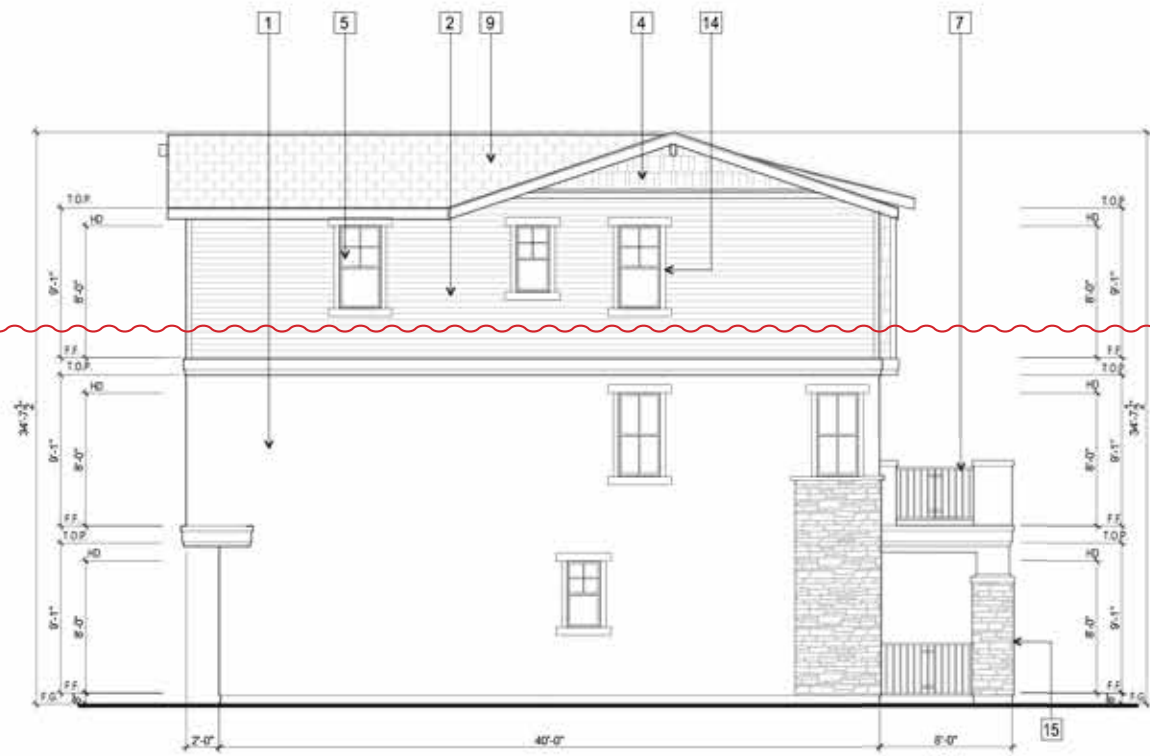
Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

BUILDING 21 ELEVATIONS - PLAN 3 MISSION WITH PORCH 'A' LAYOUT

FINAL DEVELOPMENT PLAN - PARCEL 24





LEFT ELEVATION



FRONT ELEVATION

- 1 STUCCO
- 2 HORIZONTAL SIDING
- 3 BOARD & BATT SIDING
- 4 SHINGLE SIDING
- 5 VINYL WINDOW
- 6 SHUTTERS AT ENHANCED ELEVATION
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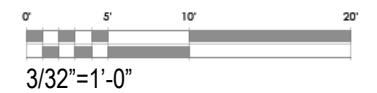
ELEVATION KEY NOTES



REAR ELEVATION



RIGHT ELEVATION

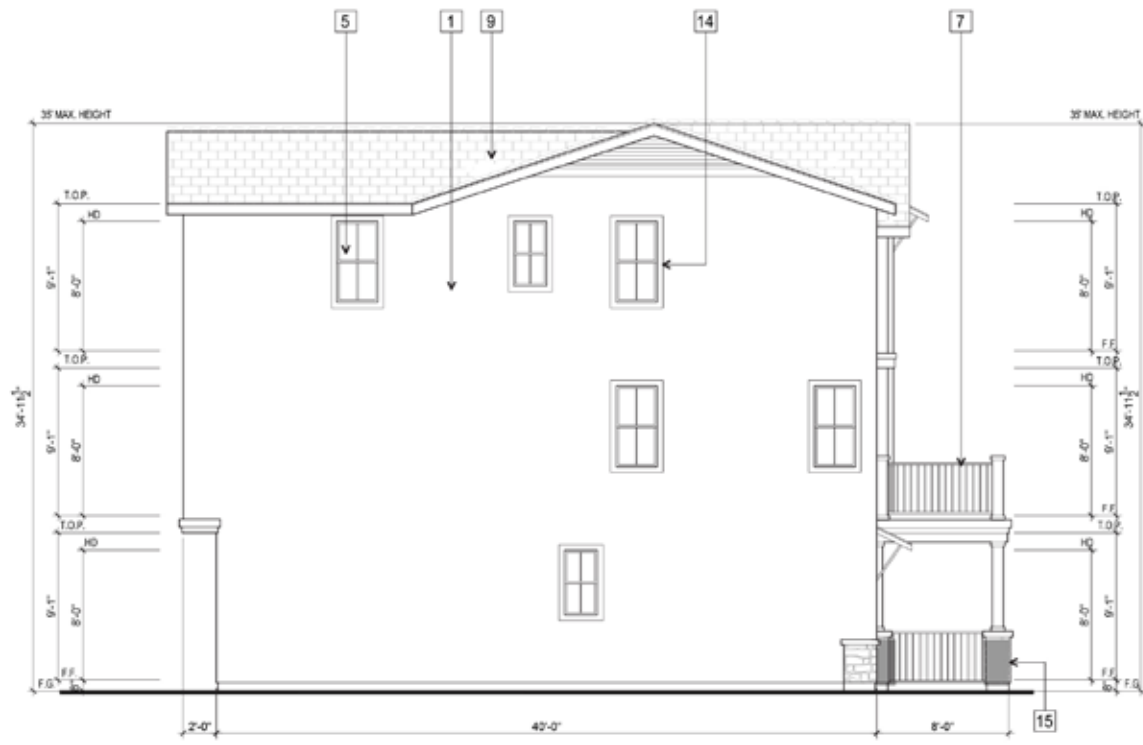


OAK KNOLL

BUILDING 22 ELEVATIONS - PLAN 3 CRAFTSMAN W/ PORCH 'A' LAYOUT

FINAL DEVELOPMENT PLAN - PARCEL 24

Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.



LEFT ELEVATION



FRONT ELEVATION

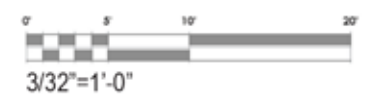
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|----|--|
| 1 | STUCCO |
| 2 | HORIZONTAL SIDING |
| 3 | BOARD & BATT SIDING |
| 4 | SHINGLE SIDING |
| 5 | VINYL WINDOW |
| 6 | SHUTTERS AT ENHANCED ELEVATION |
| 7 | WROUGHT IRON RAILING |
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| 9 | FLAT CONCRETE TILE ROOF |
| 10 | S-TILE ROOF |
| 11 | GARAGE DOOR |
| 12 | STANDING SEAM METAL CANOPY |
| 13 | JULIET BALCONY |
| 14 | WINDOW WOOD TRIM |
| 15 | STONE VENEER |
| 16 | EXTERIOR LIGHTING |
| 17 | UTILITY LOCATION / ROOM TO BE DETERMINED |
| 18 | A/C LOCATION |
| 19 | PRIVACY FENCE AT END UNIT |
| 20 | TILE ACCENT |
| 21 | DECORATIVE WOOD RAIL |
- ELEVATION KEY NOTES**



REAR ELEVATION



RIGHT ELEVATION



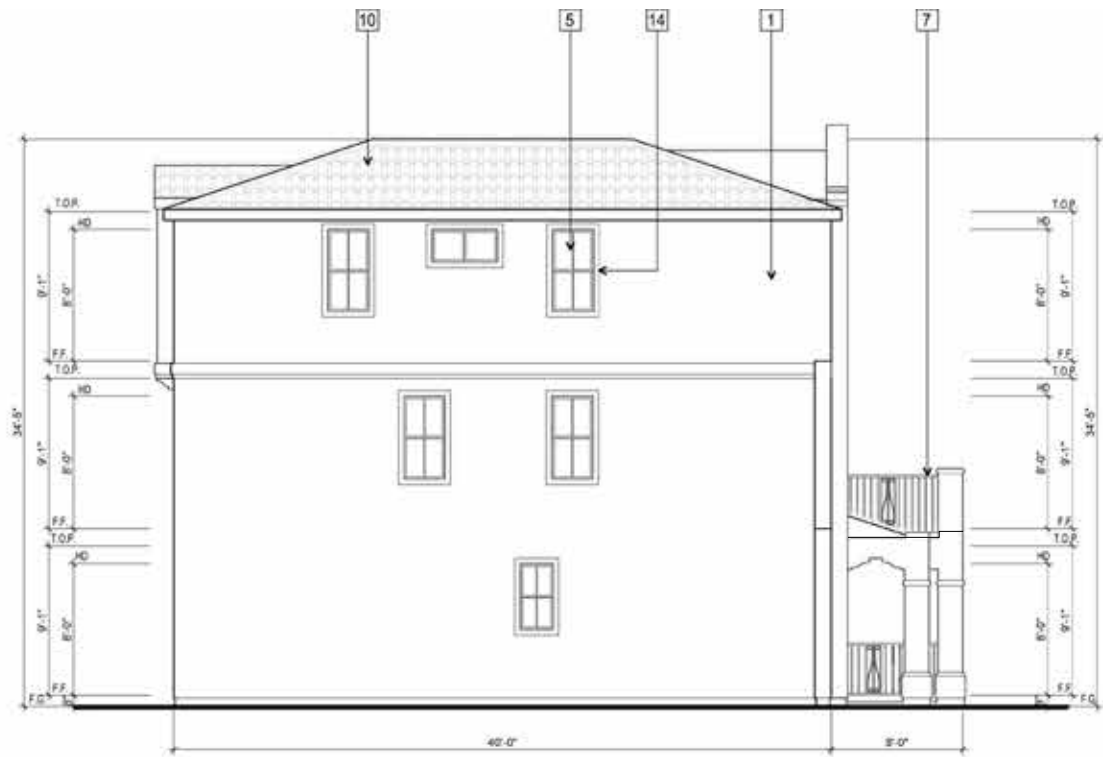
Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

BUILDING 23 ELEVATIONS - PLAN 3 FARMHOUSE WITH PORCH 'A' LAYOUT (REVERSED)

FINAL DEVELOPMENT PLAN - PARCEL 24





LEFT ELEVATION



FRONT ELEVATION

- 1 STUCCO
- 2 HORIZONTAL SIDING
- 3 BOARD & BATT SIDING
- 4 SHINGLE SIDING
- 5 VINYL WINDOW
- 6 SHUTTERS AT ENHANCED ELEVATION
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- 20 TILE ACCENT
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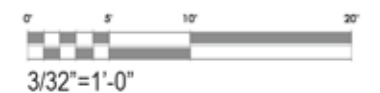
ELEVATION KEY NOTES



REAR ELEVATION



RIGHT ELEVATION

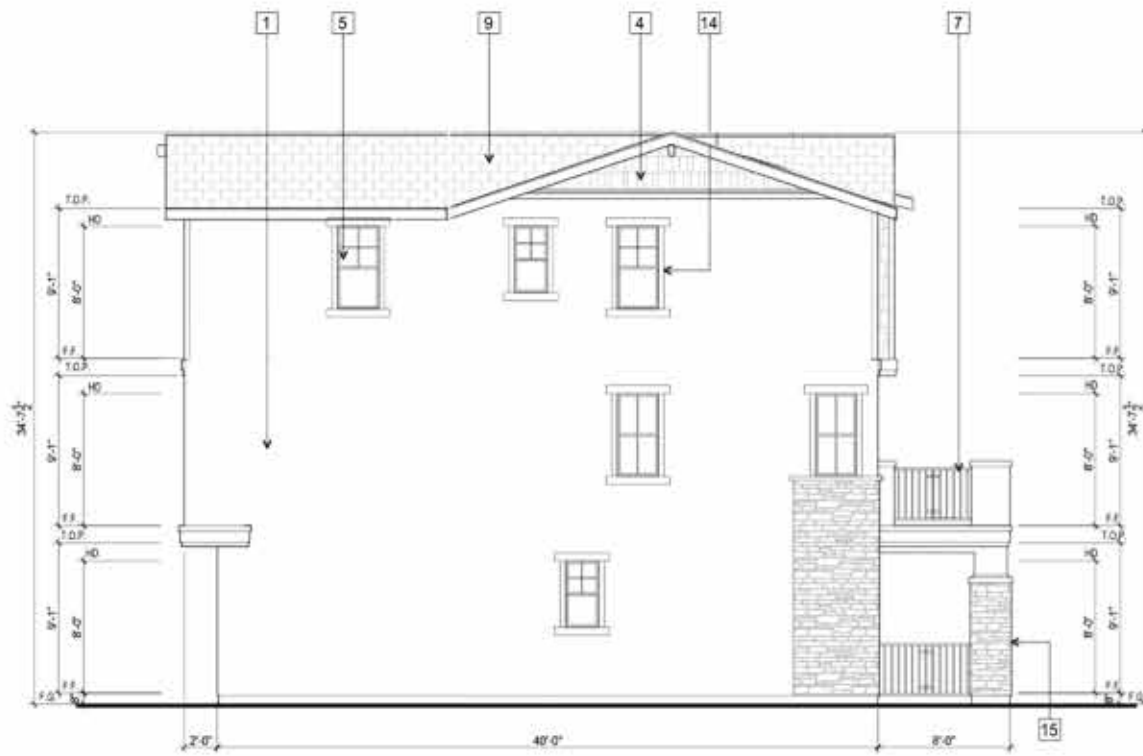


OAK KNOLL

BUILDING 24 ELEVATIONS - PLAN 2 MISSION W/ PORCH 'B' LAYOUT (REVERSED)

FINAL DEVELOPMENT PLAN - PARCEL 24

Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.



LEFT ELEVATION



FRONT ELEVATION

- 1 STUCCO
- 2 HORIZONTAL SIDING
- 3 BOARD & BATT SIDING
- 4 SHINGLE SIDING
- 5 VINYL WINDOW
- 6 SHUTTERS AT ENHANCED ELEVATION
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- 21 DECORATIVE WOOD RAIL

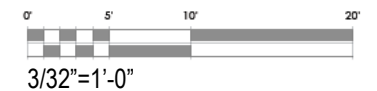
ELEVATION KEY NOTES



REAR ELEVATION



RIGHT ELEVATION



Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

BUILDING 25 ELEVATIONS - PLAN 1 CRAFTSMAN WITH PORCH 'C' LAYOUT (REVERSED)

FINAL DEVELOPMENT PLAN - PARCEL 24





Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

CREEKSIDE LOOP STREETSCENE ELEVATION (SOUTHERN PARCEL BOUNDARY)

FINAL DEVELOPMENT PLAN - PARCEL 24





PLAN 1
CRAFTSMAN
BLDG 19

PLAN 1
MISSION
BLDG 18

PLAN 3
CRAFTSMAN
BLDG 17

PLAN 1
FARMHOUSE
BLDG 16

PLAN 1
MISSION
BLDG 15

PLAN 3
CRAFTSMAN
BLDG 14

PLAN 2
MISSION
BLDG 13

PLAN 1
FARMHOUSE
BLDG 12

PLAN 1
CRAFTSMAN
BLDG 11

PLAN 3
MISSION
BLDG 10

PLAN 2
FARMHOUSE
BLDG 9



OAK KNOLL

WESTERN PARCEL BOUNDARY ELEVATION

FINAL DEVELOPMENT PLAN - PARCEL 24



Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

NORTHERN PARCEL BOUNDARY ELEVATION

FINAL DEVELOPMENT PLAN - PARCEL 24

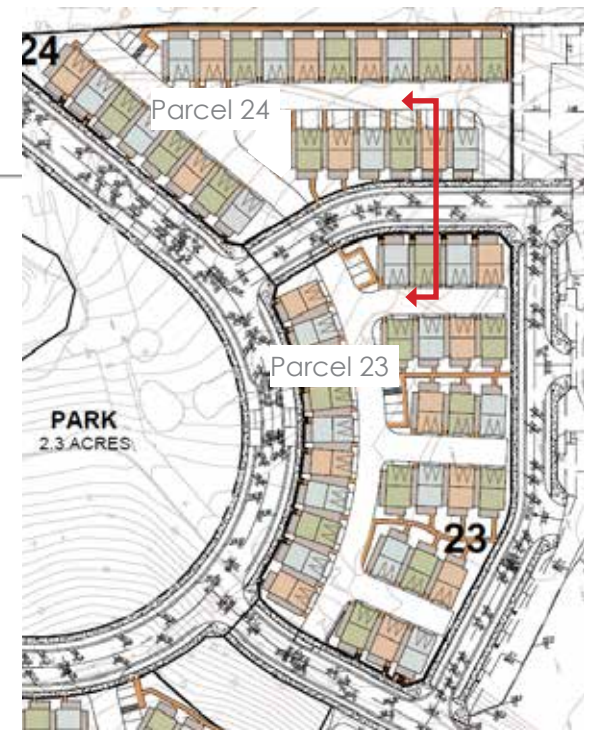


OAK KNOLL

STREET "J" STREETSCENE ELEVATION (EASTERN PARCEL BOUNDARY)

FINAL DEVELOPMENT PLAN - PARCEL 24

Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

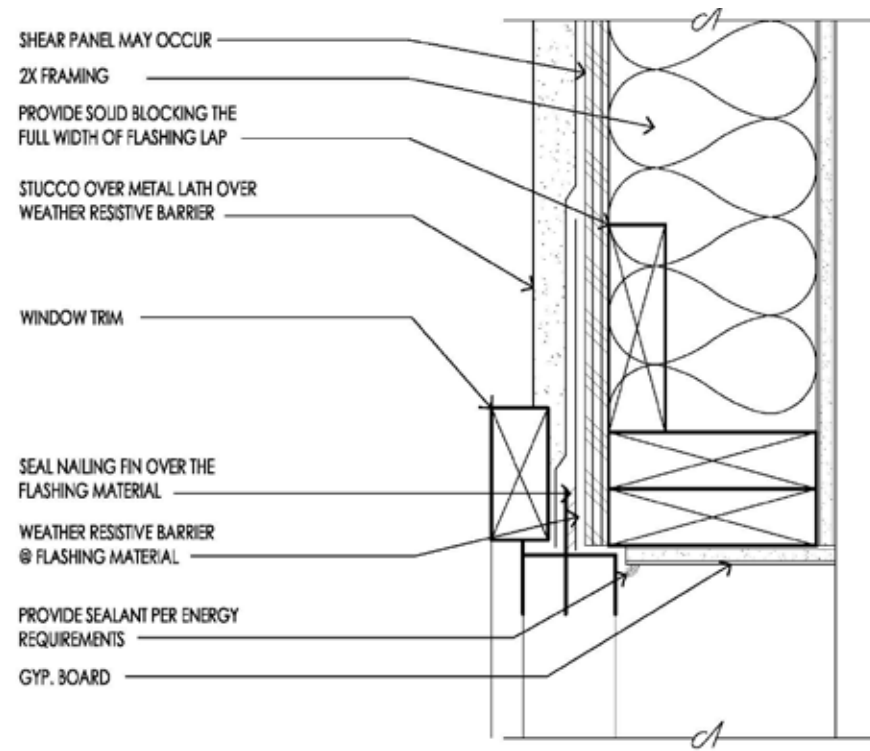


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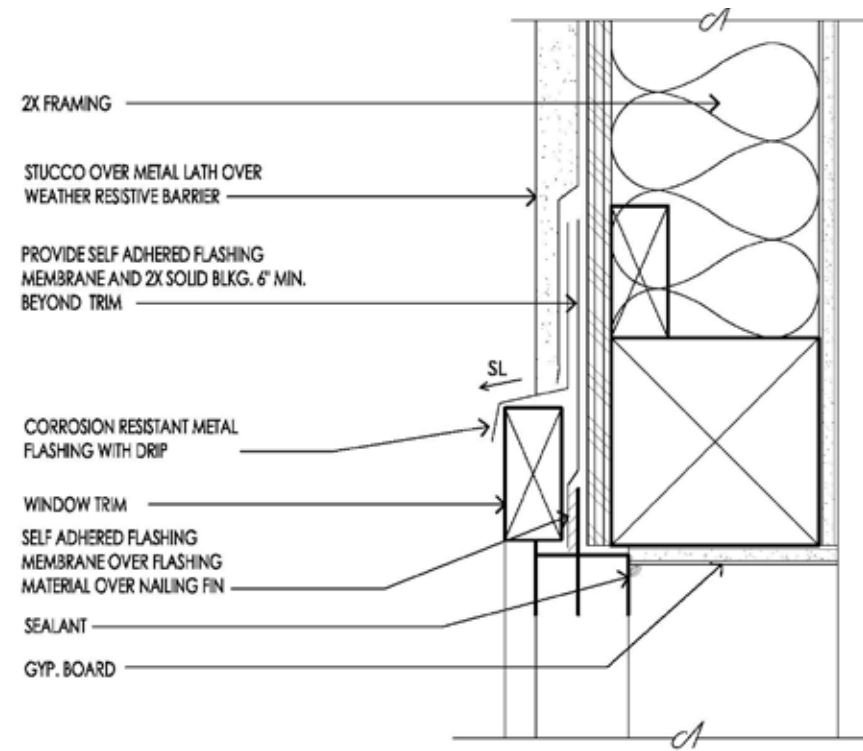
OAK KNOLL

PARCELS 23 & 24 SITE SECTION

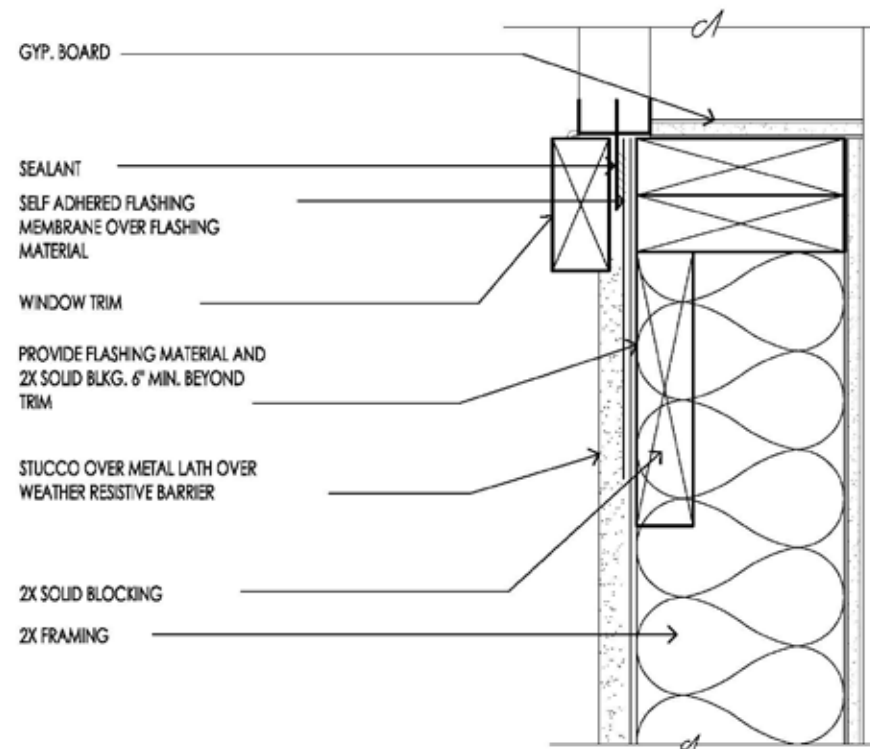
FINAL DEVELOPMENT PLAN - PARCEL 24



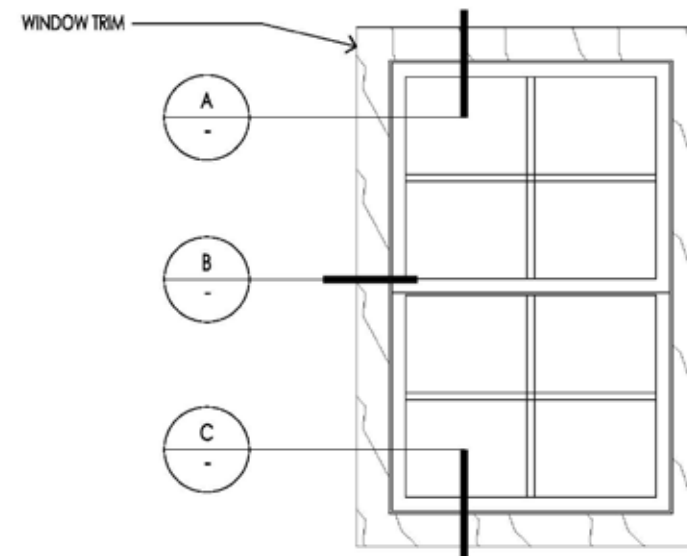
B WINDOW JAMB



A WINDOW HEADER



C WINDOW SILL



WINDOW WITH TRIM
3 COAT STUCCO

N.T.S.
DA © 2017 WDW1-VI-F-04

THE FINAL WINDOW MANUFACTURER CONTRACTED BY THE BUILDER AT THE TIME OF CONSTRUCTION PERMITS MUST ADHERE TO THE FOLLOWING REQUIREMENTS BASED ON TITLE 24, LOCAL CODE REQUIREMENTS, CITY REQUIREMENTS AND DESIGN INTENT OF THE ELEVATION STYLE AS FOLLOWS:

WINDOWS MAY BE MULLED TOGETHER TO ACHIEVE WIDER EXPANSES OF GLASS, BUT SHALL NOT EXCEED 12' IN TOTAL WIDTH. WINDOWS MAY HAVE DIVIDED LITES, A 2 OVER 2, 4 OVER 1, 4 OVER 4, 6 OVER 1, OR 6 OVER 6 MUNTIN PATTERN. TRUE DIVIDED LITES ARE PREFERRED, SIMULATED DIVIDED LITES, BETWEEN THE GLASS, ARE ACCEPTABLE, AND REMOVABLE DIVIDED LITES, ON TOP OF THE GLASS, ARE PROHIBITED. WOOD AND COMPOSITE TRIM MATERIALS ARE PERMITTED. FOAM TRIM IS NOT ALLOWED.



1	STUCCO
2	HORIZONTAL SIDING
3	BOARD & BATT SIDING
4	SHINGLE SIDING
5	VINYL WINDOW
6	SHUTTERS AT ENHANCED ELEVATION
7	WROUGHT IRON RAILING
8	STANDING SEAM METAL ROOF
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16	EXTERIOR LIGHTING
17	UTILITY LOCATION / ROOM TO BE DETERMINED
18	A/C LOCATION
19	PRIVACY FENCE AT END UNIT
20	TILE ACCENT
21	DECORATIVE WOOD RAIL

ELEVATION KEY NOTES

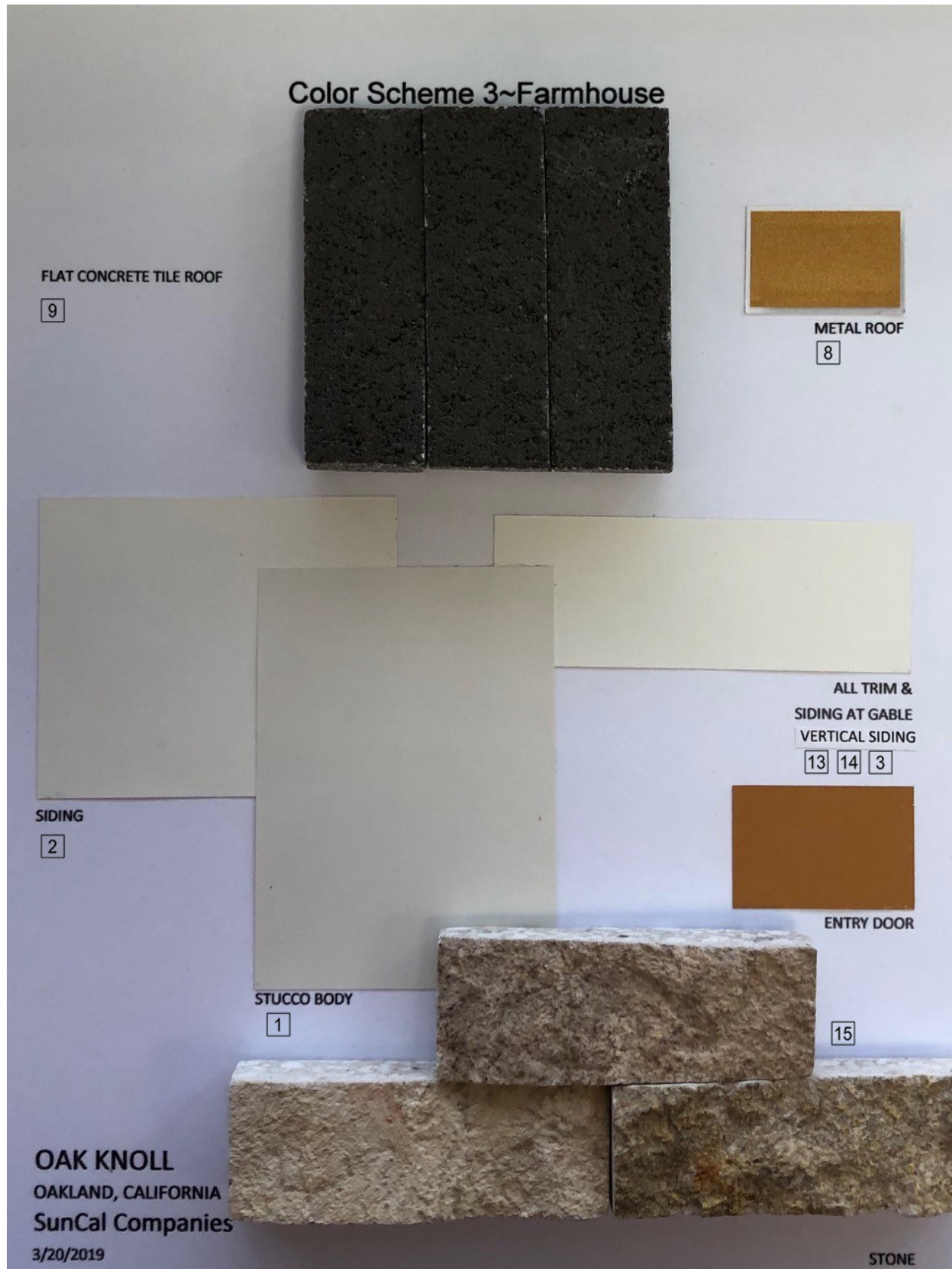
Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

MATERIALS AND COLORS BOARDS

FINAL DEVELOPMENT PLAN - PARCEL 24





- 1 STUCCO
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ELEVATION KEY NOTES



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ELEVATION KEY NOTES

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OAK KNOLL

MATERIALS AND COLORS BOARDS

FINAL DEVELOPMENT PLAN - PARCEL 24





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ELEVATION KEY NOTES

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OAK KNOLL

MATERIALS AND COLORS BOARDS

FINAL DEVELOPMENT PLAN - PARCEL 24





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ELEVATION KEY NOTES



Mission Style Outdoor Wall Light
For balcony, porch or near doorways



Mission Style Outdoor Wall Light
For balcony, porch or near doorways



Craftsman Style Outdoor Wall Light
For balcony, porch or near doorways



Craftsman Style Outdoor Wall Lamp
For balcony, porch or near doorways



Farmhouse Style Outdoor Wall Sconce
For balcony, porch or near doorways



Farmhouse Style Outdoor Wall Mount Lantern
For balcony porch or near doorways

NOTE:
THESE ARE TYPICAL EXAMPLES.
SUBSTITUTIONS & SPECIFIC MODELS
MAY BE CHOSEN FOR FINAL DESIGNS

Imagery shown is to indicate design intent. Actual floorplans, colors or materials may vary slightly.

OAK KNOLL

EXTERIOR LIGHT FIXTURES

FINAL DEVELOPMENT PLAN - PARCEL 24

OAK KNOLL  **SunCal**



OAK KNOLL

Design Guidelines

July 2017

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1.0 INTRODUCTION





View looking east from new bridge over Rifle Range Creek

1.1 COMMUNITY VISION

The Community at Oak Knoll is planned as a walkable system of neighborhoods anchored by a community scale retail village, neighborhood parks, and natural and accessible open space. The neighborhoods are woven together through an extensive system of trails and carefully designed streets. The primary landscape feature around which the land plan is shaped is the restored branch of the Rifle Range Creek and the surrounding upland areas to the north, south and east of the creek.

The local climate at Oak Knoll is characterized by temperate weather and is considered one of California's finest for habitation as well as horticulture. Because of this, the masterplan and residences are organized around the outdoors and integration with the landscape. In addition to the architectural features of the homes that provide links to the outdoors (porches, stoops, verandas, courtyards, decks, etc.), the abundance of trees and plants produces a vibrant natural setting.

Integrated into this landscape and streetscape vision, the residential neighborhoods will have a diverse mix of residential sizes and types and are planned to be executed in a range of architectural styles appropriate to the setting.



Retail Village



Community Open Space and Trails



OAK KNOLL DESIGN GUIDELINES | JULY 2017

Figure 1.1- Illustrative Master Plan

1.2 HOW TO USE THESE GUIDELINES

These Design Guidelines provide design principles to future builder/ applicants. Final Development Plans shall be substantially consistent with the Preliminary Development Plan. The Design Guidelines refine and clarify the direction in the Planned Unit Development and Preliminary Development Plan.

Where the Design Guidelines are silent or vague, the Preliminary Development Plan shall be used for the purposes of interpretation, and/or directly applied as appropriate.

This book is divided into three chapters: Planning, Architecture and Landscape, each of which addresses topics critical to achieving the community vision. The appendices to this book include materials, color, and plant palettes. Final Development Plans will be reviewed for their consistency with the principles and regulations set forth in these three chapters. Below is an outline of the content of each chapter:

PLANNING

The Planning chapter addresses the selection of an appropriate plan type, the placement of the building on the lot, driveway and garage design, and building façade regulations as they relate to general neighborhood planning principles.

ARCHITECTURE

The Architecture chapter introduces the principles of Oak Knoll architecture and how they are applied in the detailed design of a home or building. This includes the massing, roof forms, components, details, and finishes of all vertical improvements.

LANDSCAPE

The Landscape chapter addresses landscape elements within community streetscapes, community open spaces and residential lots. This includes fences and site walls, , planting requirements, plant lists and signage regulations.



Oak Knoll Community

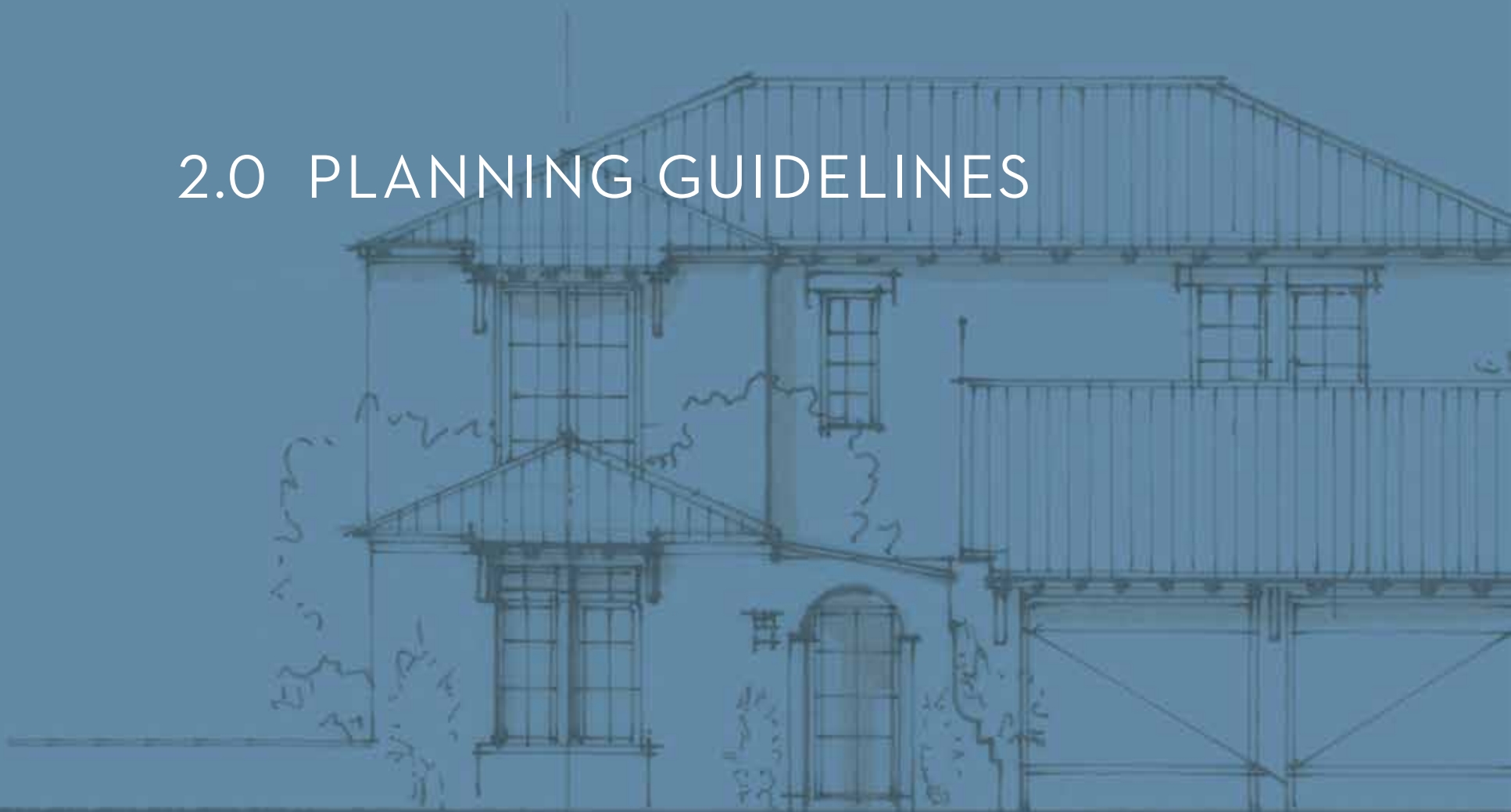


Typical Residential Neighborhood



Hillside Residential

2.0 PLANNING GUIDELINES



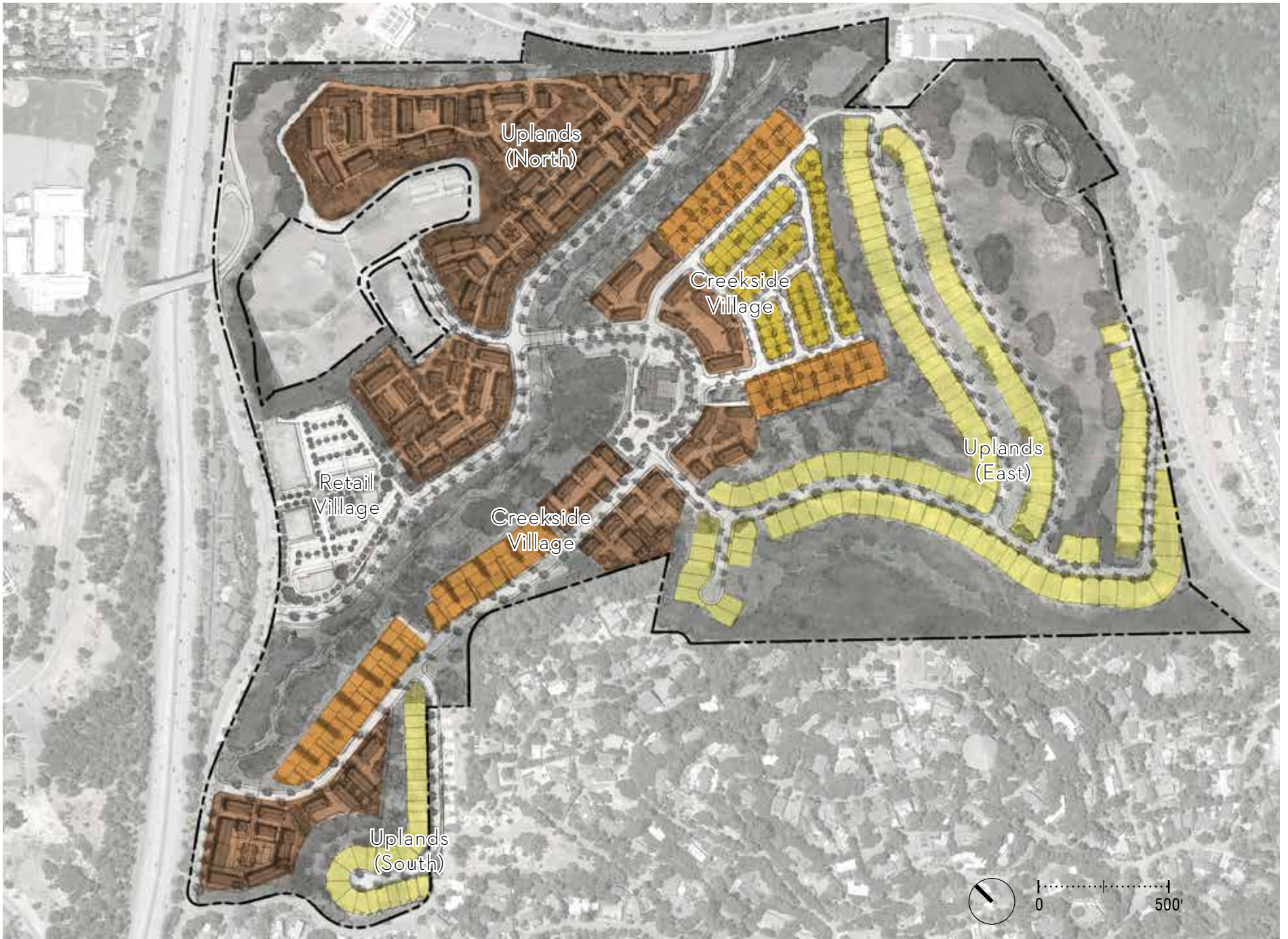


Figure 1.2- Neighborhoods Plan

2.1 OAK KNOLL NEIGHBORHOODS

The site at Oak Knoll features three upland areas surrounding a lowland valley with a creek running through it. The neighborhoods that make up this community are defined as the Retail Village, Creekside Village, and the Uplands areas. See Figure 1.2 Neighborhoods Plan on the facing page.

RETAIL VILLAGE

The Retail Village area is designed as a modestly-sized gathering spot to provide basic needs to the community (such as groceries, restaurants, banking). It is envisioned as a cluster of buildings at varying scales fronting a 'Principal Drive' and a 'Plaza'. It will feature landscape and street furnishings that give it a distinct identity similar to other neighborhood centers in the Oakland hills.

CREEKSIDE VILLAGE

The Creekside Village neighborhoods are medium density residential areas laid out in the lowland areas flanking the restored Rifle Range Creek corridor. These neighborhoods are compact and walkable and feature a framework of parks and open space which connect to the creek. The Creekside Village will offer a range of residential product types from townhomes to single family detached residences as well as the relocated and refurbished Club Knoll at its center. Club Knoll will serve as a 'community center' gathering spot.

THE UPLANDS

Residential development in the Uplands is designed to maximize views as well as provide a pleasing appearance as viewed from adjacent areas. The Uplands neighborhoods offer a range of residential product types from townhomes to single family detached residences. The Uplands connect to the surrounding community via a system of trails and preserved open space.



Retail Village - Main Street and Plaza



Club Knoll- Community Center

2.2 NEIGHBORHOOD STREETSCAPES

The Oak Knoll neighborhood streets are designed to be pedestrian friendly in both function and appearance. A line of street trees flanks either side of the street, with a generous sidewalk. Planting and fences in the front yard zone between the sidewalk and the homes is designed to define an appropriate transition to the semi-private yard and porch zone. Porches will be designed as outdoor rooms and lighted to provide a sense of security to the pedestrian. Please refer to the Landscape Chapter of these Design Guidelines for specific proposed street sections.



Typical Neighborhood Streetscape



Integrated Stormwater Treatment - "Rain Gardens"



Street Trees

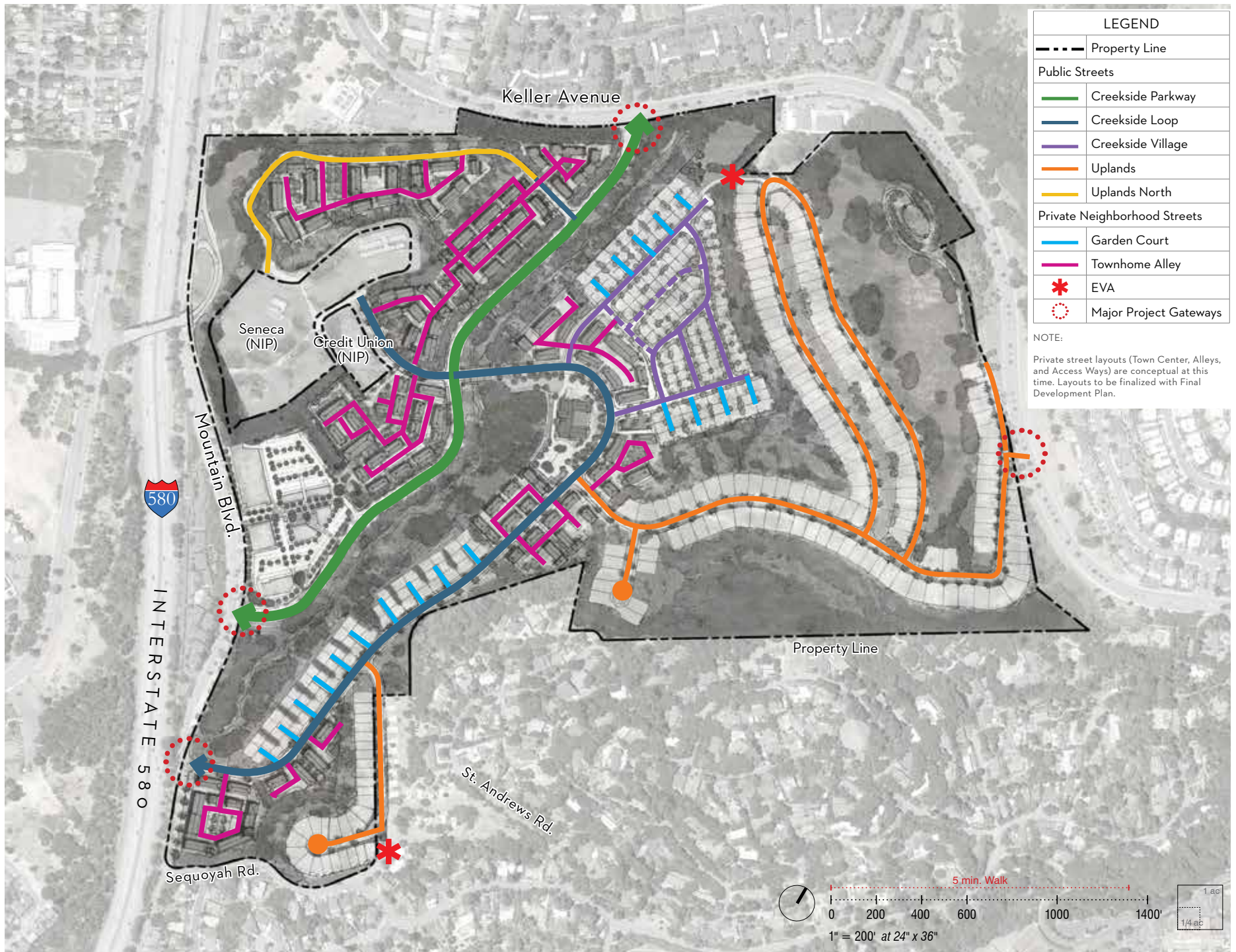


Figure 1.3- Circulation Plan

HIGH VISIBILITY FACADES - STREET FACING

All facades which are visible from the street, including setback garages and all sections of side facing façades which are in front of garages must follow High Visibility standards as defined in the Architectural Guidelines of this book.

HIGH VISIBILITY FACADES -OPEN SPACE FACING

The intention for an open space facing home is to present a pleasing appearance towards the open space and to take advantage of views towards the surrounding creek or woodland areas. These facades must follow High Visibility standards as well.

ARCHITECTURAL DIVERSITY AND ‘THE MONOTONY CODE’

The purpose of the Monotony Code is to create variation and hierarchy within the Oak Knoll streetscape, giving the community an appearance of growth over time. This can be done by designing a range of home layouts and sizes that respond to the location of the lot within the overall neighborhood. The Monotony Code will be enforced through the use of a matrix tracking the following:

For each single-family detached lot type, there must be a minimum of three unique floor plan types, with three façade variations each;

- A different porch or stoop type will be considered a façade variation;
- No two detached homes of the same design may be repeated within two adjacent lots on a given Block Face or a facing Block Face;
- Homes on corner lots are encouraged to have architectural features such as wrapped porches, side porches, or bay windows facing the secondary street.
- Both the front as well as side facing facade on corner lots will be considered High Visibility Facades.



The Monotony Code aims to produce neighborhoods that have diverse streetscapes and architectural features like the images on the facing page.

The Monotony Code aims to prevent uniform streetscapes and architecture like the image to the left.



Typical Streetscapes - Creekside Village



Typical Streetscapes - Uplands



Typical Streetscapes - Uplands

2.3 COMMERCIAL

The Retail Village at Oak Knoll will provide public gathering spots and convenience shopping for local residents. It is envisioned as urban in character similar to other local neighborhood commercial corridors (such as sections of Park Boulevard or Lakeshore Avenue) and shall feature retail facades on the Principal Drive. The following guidelines will apply to the Retail Village:

Design Objectives:

- Building placement that reinforces the concept of the Plaza and orients service areas away from the Plaza while keeping them screened from view from Mountain Blvd.
- 70% glazing on facades directly fronting the plaza and 50% glazing on facades fronting pedestrian pathways
- Awnings and trellis overhead canopies to provide outdoor shade and shaded gathering areas
- Sidewalk widths at primary retail facades sufficient to provide tree planting, signage, furnishings, lighting and outdoor seating areas where appropriate to adjacent retail use
- Hardscape and Planting that reinforces the outdoor pedestrian realm, but provides equal access to vehicular traffic

A final design for the retail village will be submitted by a retail developer. Retail signage locations and design shall be reviewed at the Final Development Plan submittal stage, and a Signage Master Plan will be submitted as part of that application.



Retail Village



Retail Facade Treatment Example

RETAIL PLAZA

The Retail Village shall be designed around a centrally-located plaza. The plaza should be located at the intersection of the two primary vehicular circulation paths: one that connects Mountain Blvd and the proposed Creekside Pkwy; and one that circulates vehicles around the perimeter of the site. The plaza should be centrally located to establish the image for the project, and serve as the gathering area flanked on all sides by retail uses.

The Principal Drive section adjacent the plaza should be designed so that it may be closed off to allow for neighborhood activities such as weekend markets and street fairs. The perimeter route will continue to provide vehicular access to the surrounding retail shops and parking.

Buildings directly fronting the plaza shall orient towards the plaza. All other buildings shall orient towards the nearest primary pedestrian path.

ARCHITECTURAL AND LANDSCAPE CHARACTER

The Character of the Retail village should be inspired by the open-air neighborhood shopping districts typical to the Bay Area. These districts are typified by simple facades with ample glazing, clerestory windows, awnings and shade structures. Recommended materials, colors and plant palettes are similar to the residential guidelines and are contained in Appendix A. The photo references on the following two pages show the features showing appropriate character for the retail buildings.



Figure 1.6- Facade Treatments, Architectural Elements,

This example of Retail Village Conceptual Layout is intended to show compliance with the design objectives of a 'Principal Drive' and 'Plaza'. Actual site and building configuration may vary.

Figure 1.5- 'Principal Drive' Conceptual Section



Trellis Structures and Integrated Planting



Clerestory Windows and Natural Lighting



Outdoor Seating Areas



Example of typical row of retail facades



Awnings and Shading Devices



Simple Facades



Lighting and Signage



Trees and plantings informally integrated into public areas



Arcades

2.4 TOWNHOMES

Townhome development at Oak Knoll will be designed to create functional and pedestrian friendly streetscapes. The orientation and layout of buildings should create 'addresses' and a sense of place for individual homes. Townhomes will feature required open space as defined in the City of Oakland's Zoning Ordinance. Final design of towhhome parcels will be submitted to the City of Oakland in a form of a Final Development Plan, and designs will be evaluated using these guidelines.

Design Objectives:

- Create a 'sense of address' and a front door for each unit by providing 'door yards', gates, and access to public streets and paseos;
- All units should feature covered entry areas either in the form of a stoop or entry porch;
- Variation of design is encouraged, and corner units should be treated differently than middle units;
- End facades should be treated as high visibility and should feature windows, entries where appropriate, and other design features normally on the front facade.
- Odd numbers of units in a row are encouraged;
- Stepping between units is encouraged to provide private balconies and a varied building frontage as viewed from the street.
- Landscape planting should be integrated in with streetscapes and provide screening for parking & alleys. Please refer to the Preliminary Development Plan for example designs for Paseos and Pocket Parks.



'Door yards' and orientation of entry onto a street or pedestrian path



Typical Elevation Example



Corner 'End Facades'



Stepped Massing



Balconies and Individualized Unit Designs



Typical Elevation Example



Typical Elevation Example

2.5 BUILDING MASSING AND PLACEMENT

Building setback and height requirements are contained in Zoning Ordinance and vary according to lot size and building type. In addition to those standards, the intent of these guidelines is to address additional massing considerations such as 'under the roof' or 'attic' 1/2 stories, and setback garages. These considerations are described further in the Architectural chapter.

Within the small lot area (lots of less than 4000 sf), a one story covered porch is allowed to encroach into the front yard setback as defined in the Zoning Ordinance.

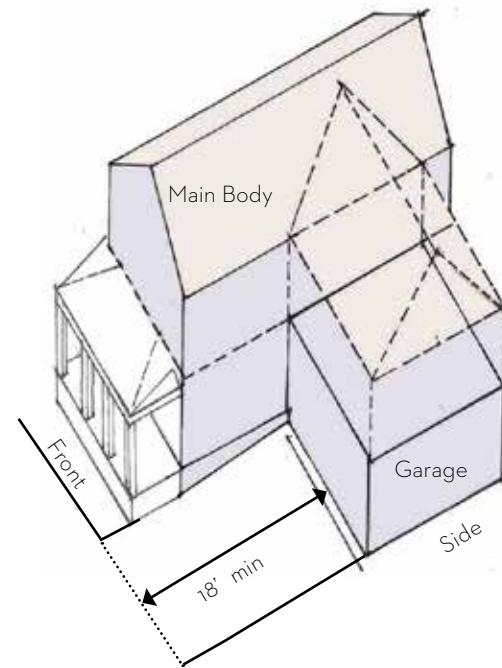


Figure 1.7, Porch and Garage Placement

2.5 DRIVEWAYS AND GARAGE PLACEMENT

Driveways and garages within Oak Knoll should be designed to reinforce the dominance of a tree-lined streetscape.

Limiting curb cuts to 16' in width is strongly encouraged, where feasible, for front loaded lots.

Driveway width in front of 2 car garages should be 18' wide at garage entry allowing for two off-street parking spaces in front of garage. Refer to adjacent Figure 1.8.

Refer to Chapter 4.0, Landscape Guidelines, for allowable paving materials for driveways

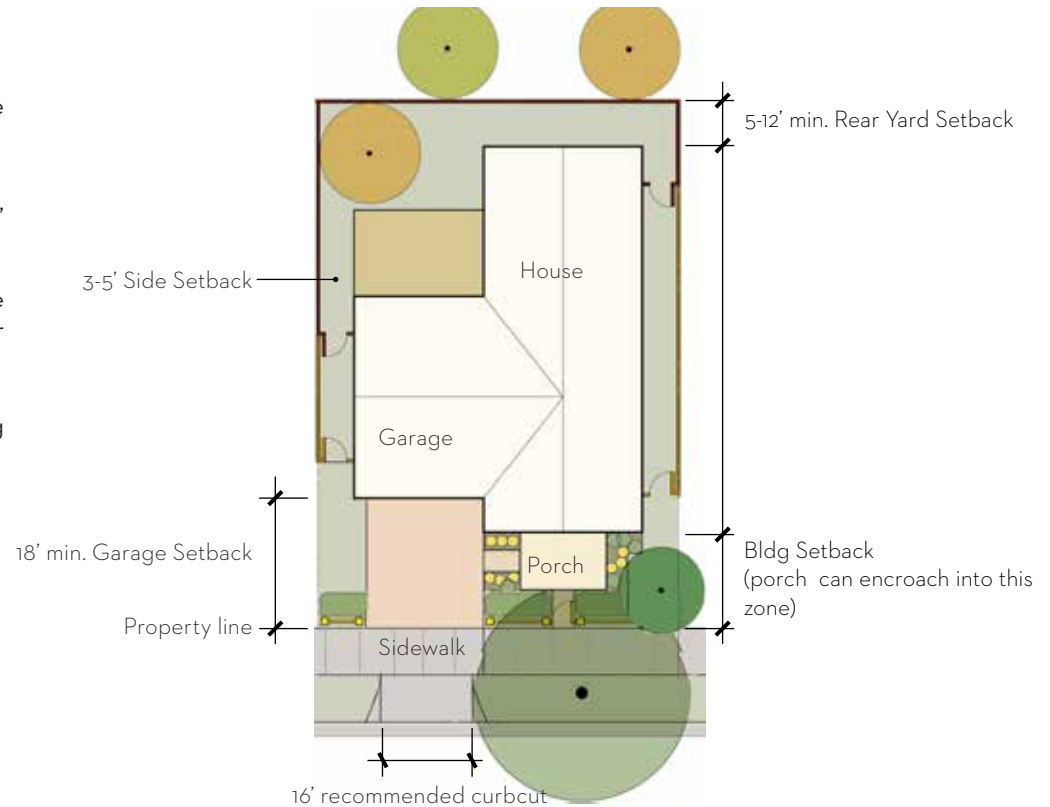


Figure 1.8, Small Lot Typical Siteplan

An architectural sketch of a building facade, rendered in a light brown or sepia tone. The drawing shows a multi-story structure with a prominent gable roof on the left side. The gable contains a window. Below the gable, there is a large window with a decorative frame. To the right of this, there are several more windows of varying sizes and styles, some with decorative elements like small balconies or lintels. The sketch is detailed, showing window panes, frames, and structural elements like roof trusses and chimneys. The overall style is that of a hand-drawn architectural study.

3.0 ARCHITECTURAL GUIDELINES

3.1 THE 'BAY AREA' REGIONAL STYLE

The Bay Area has a unique and home-grown residential character which has evolved in response to the local climate, cultural history, and lifestyle of its inhabitants. Many respected names in the field of architecture, landscape design and development have contributed to this character throughout history. The East Bay's early development phase included names like Bernard Maybeck, Julia Morgan, Walter Ratcliff, Henry Gutterson, Mason/McDuffie, and Frederick Law Olmsted; the mid-century included names like Joseph Eichler, William Wurster, Joe Esherick, Charles Moore, and many others. While the styles that make up this character are diverse, they are bound by common themes that form a sense of place and will inform the identity of Oak Knoll. Among these themes are:

- Buildings which connect to and are inspired by the natural setting
- Simple building mass with additive elements
- Natural Materials (wood, stone, terra cotta, stucco)
- Subdued earth-tone paint colors and light colored stuccos



Bay Area Regional Style - Shingle



Bay Area Regional Style - Contemporary



Bay Area Regional Style - Mid Century Modern

For the purposes of style classification, the following styles are identified as typical to the area and considered appropriate to Oak Knoll:

ARTS & CRAFTS

- Craftsman Bungalow
- Shingle
- Tudor
- Arts and Crafts

MEDITERRANEAN

- Spanish Colonial
- Mission
- Tuscan

CALIFORNIAN

- Farmhouse
- California Modern (mid-century modern)
- California Contemporary



Bay Area Regional Style - Arts and Crafts



Bay Area Regional Style - Spanish Colonial

THE HISTORIC PRECEDENTS

The style of the architecture at Oak Knoll draws from examples of the historic styles typical in the area. These images show inspirational historic 'ancestors'; new homes will not be replications of these but rather derived from similar design principles. These principles will then be applied to current designs taking into consideration today's materials, construction practices, and modern lifestyles.



Bay Area Regional Style - Craftsman Bungalow



Bay Area Regional Style - Tuscan



Bay Area Regional Style - Arts and Crafts



Bay Area Regional Style - Contemporary

3.2 ARCHITECTURAL STYLE MATRIX - BY FAMILY

	Massing / Roof Form	Windows and Doors	Porches / Balconies and Details	Materials and Color*
ARTS AND CRAFTS				
Craftsman Bungalow	<ul style="list-style-type: none"> Lower pitch gable roofs (4/12 - 8/12) Broad eaves with exposed rafters Wide shed dormers 1/2 story upper floors 	<ul style="list-style-type: none"> Double hungs, single or grouped Casements, single or grouped Bay windows Wide panelled entry doors 	<ul style="list-style-type: none"> Wide porches, often covered by primary roof form, integrated into primary mass Thick porch columns 	<ul style="list-style-type: none"> Wood or composite siding and trim Cast stone brick used as accent materials Subdued earth tone colors with warm accent colors
Shingle	<ul style="list-style-type: none"> Medium pitch gable and hip roofs (6/12 - 12/12) Gable and shed dormers 1/2 story upper floors 	<ul style="list-style-type: none"> Cottage style double hungs Casements, single or grouped Bay windows Panelled entry doors 	<ul style="list-style-type: none"> "innie" porches, often covered by primary roof form, integrated into primary mass 	<ul style="list-style-type: none"> Wood shingle with wood or composite trim Natural stained base color with darker accent color on trim
Tudor Arts and Crafts	<ul style="list-style-type: none"> Steeper pitch gable roofs (8/12 - 18/12) Cross-gables and dormers 1/2 story upper floors Assymetric massing 	<ul style="list-style-type: none"> Casements, single or grouped Bay windows Arched entry doors, pointed or round 	<ul style="list-style-type: none"> Assymetric entry features (stoops or porches) integrated into primary bldg mass 	<ul style="list-style-type: none"> Wood and stucco walls Brick used as accent material White or rich earth tone base color with darker accent color on trim
MEDITERRANEAN				
Spanish Colonial Mission Revival	<ul style="list-style-type: none"> Lower pitch hip roofs (4/12-8/12) Secondary shed roofs Secondary flat roofs areas with shaped parapets 	<ul style="list-style-type: none"> Casements, single or grouped Tall double hungs Arched entry doors 	<ul style="list-style-type: none"> Covered entry arcades Juliet balconies Painted metal railings and window grilles 	<ul style="list-style-type: none"> Stucco walls Terra cotta roof tiles Colored glazed tile and cast ornamental details as accents Light colored walls
Tuscan	<ul style="list-style-type: none"> Lower pitch hip roofs (4/12-8/12) Projected eaves with flat soffit and corbels 	<ul style="list-style-type: none"> Tall casement style windows Pedimented front entry 	<ul style="list-style-type: none"> Loggias at entry or upper level Balconies with balustrades or painted metal railings 	<ul style="list-style-type: none"> Stucco walls Cast stone as accents Earth colored walls (sienna and umber)
CALIFORNIAN				
Farmhouse Traditional	<ul style="list-style-type: none"> Medium pitch gable roofs (6/12 - 12/12) and simple primary mass Gable and shed dormers 1/2 story upper floors 	<ul style="list-style-type: none"> Double hungs, single or grouped Casements, single or grouped Panelled entry doors 	<ul style="list-style-type: none"> Front or side porches - shed roof, additive to primary mass Shed awnings 	<ul style="list-style-type: none"> Vertical wood or composite siding, board and batten White and light colors
Mid Century Modern	<ul style="list-style-type: none"> Lower pitch gable and hip roofs (3/12 - 6/12) Broad horizontal eavelines, with exposed rafters or flat soffits Secondary shed roofs Secondary low-pitch shed roofs 	<ul style="list-style-type: none"> Wide horizontal window rows Sliding, double hung, or casement Corner windows 	<ul style="list-style-type: none"> Wide extended eaves over entry areas 	<ul style="list-style-type: none"> Vertical or horizontal wood or composite siding Subdued natural colors
Contemporary	<ul style="list-style-type: none"> Stepped building massing Flat roofs Monopitch roof, split gable monopitch 	<ul style="list-style-type: none"> Large expanses of glass, gridded or single frame Sliding or casement Corner windows 	<ul style="list-style-type: none"> Flat roof or shed awning over entry 	<ul style="list-style-type: none"> Vertical or horizontal wood or composite siding Smooth-textured stucco walls Whites and subdued natural colors

*See Appendix A for detailed spreads of recommended Materials and Colors



Craftsman Bungalow



Shingle



Tudor



Arts and Crafts



Spanish Colonial



Spanish Colonial



Mission



Tuscan



Farmhouse



Mid Century Modern



Contemporary



Contemporary

3.3 MASSING – PRIMARY VOLUMES

BUILDING ORIENTATION

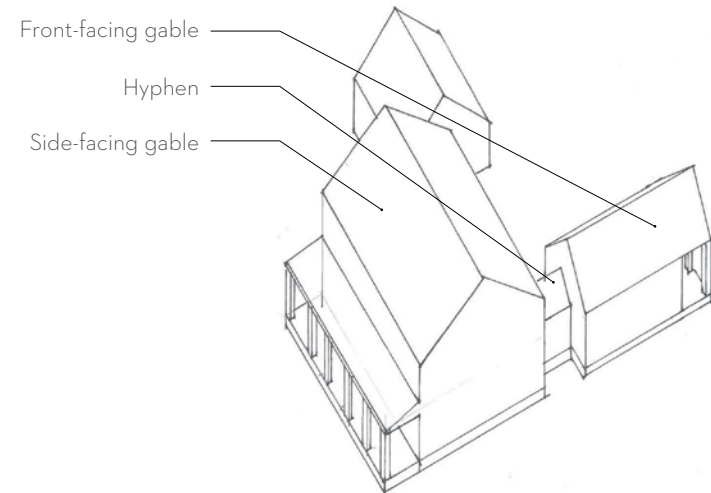
A variety of symmetrical and asymmetrical massings can be used when laying out an Oak Knoll home. First, it is important to determine the building orientation based on lot conditions. Typically, this will be perpendicular to the street.

SECONDARY VOLUMES

Next, an assessment of secondary volumes -- garages and additional building wings -- will help determine the appropriate roof profile. This may be gable, gambrel, hip, shed, or a combination thereof. For further information on roof profiles, see Section 3.3: Roofs.

ADDITIVE BUILDING ELEMENTS

Ultimately, the massing should be simple and understated, and should provide a backdrop to unique building elements like porches, dormers, and other details while logically shaping the interior spaces.



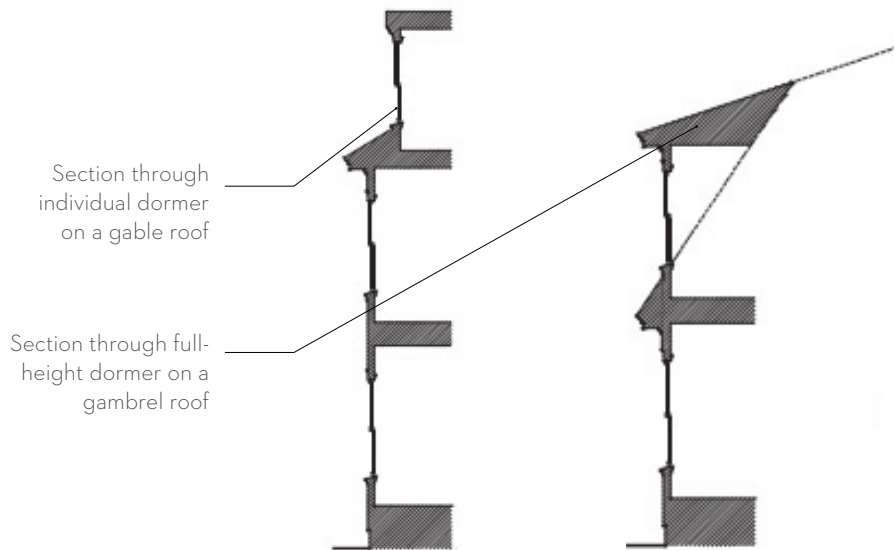
Primary and Secondary Volumes

3.4 ROOFS

ROOF TYPES AND SLOPES

Acceptable roof types include front-facing and side-facing gable, gambrel, hip, and shed roofs, or some combination thereof. Flat roofs are permissible but will be reviewed during the Final Development Plan (FDP) process for their visual impact on adjacent properties. Please refer to the Architectural Style Matrix on page 30 for roof design recommendations by style.

As appropriate to the chosen style, 'under the roof' style upper levels are encouraged to diminish the bulk of 2 and 3 story homes. These are referred to 1.5 or 2.5 story homes in this document.



Flat roofs



12/12 steeper pitch roof with dormers



3/12 shed roof



12/12 steeper pitch roof with dormers



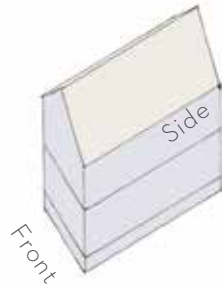
4/12 tile roof

1. PRIMARY VOLUME

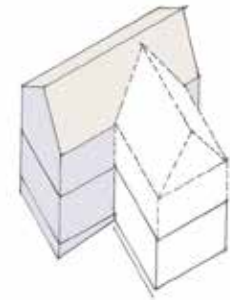
2. SECONDARY VOLUME

DETACHED LOTS

- Most small lots will have Primary Volumes that are oriented perpendicular to the street.
- May be one to 2.5 stories.



- Most Secondary Volumes on small lots will be oriented perpendicular to Primary Volumes
- Shall be setback from the Primary Volume a minimum of two (2) feet
- May be one to 2.5 stories.
- May be detached from the Primary Volume.

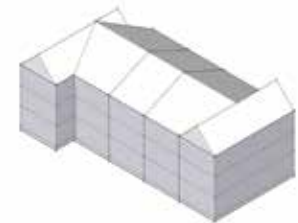


ATTACHED UNITS - TOWNHOMES

- Primary Volumes oriented parallel to the street or entry walk
- May be three stories



- Create secondary volumes to differentiate roofscape where appropriate
- Corner Units should be differentiated

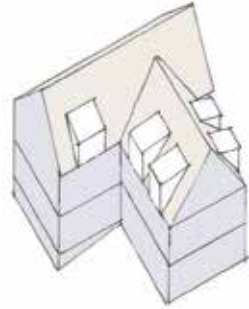


3. COMPONENTS/FEATURES

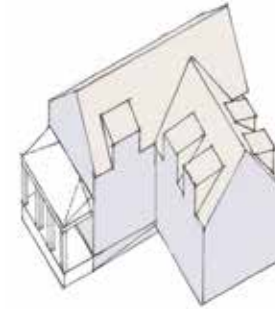
4. PORCHES

DETACHED LOTS

- Dormers, chimneys, bay windows, and other facade components shall be added to provide facade interest.

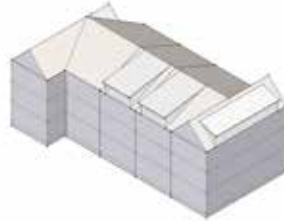


- Porches may be single-bay, full-width, wraparound or stacked.
- Refer to pages 46 and 47 for examples of porch types.

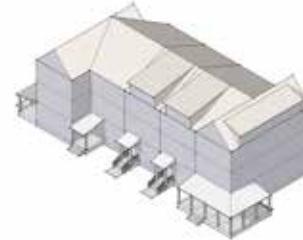


ATTACHED LOTS - TOWNHOMES

- Dormers, chimneys, bay windows, and other facade components shall be added to provide facade interest.

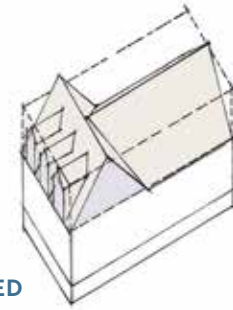
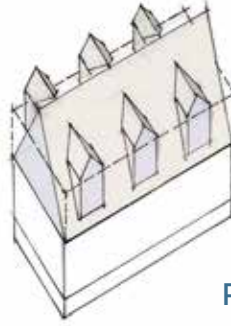
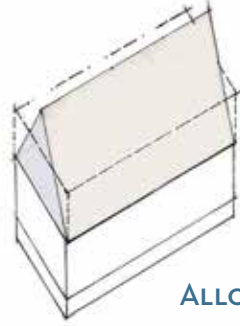
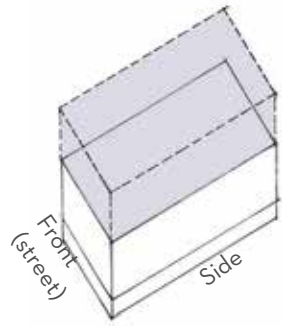


- Porches may be single-bay, full-width, wraparound or stacked.
- Refer to pages 46 and 47 for examples of porch types.

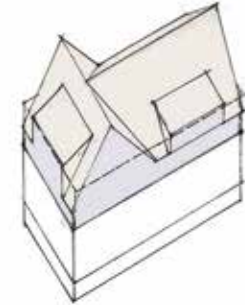
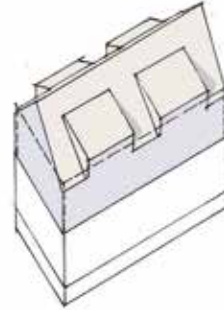
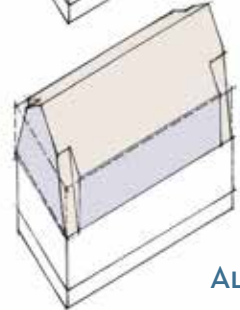
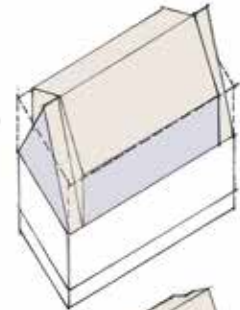
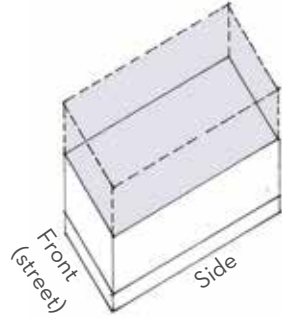


ROOF & DORMER OPTIONS- PERPENDICULAR TO THE STREET

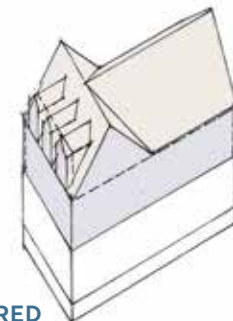
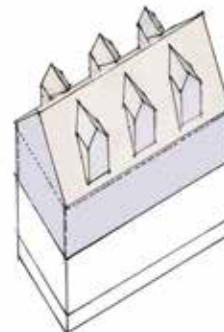
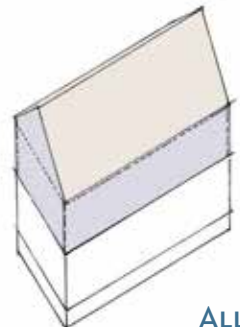
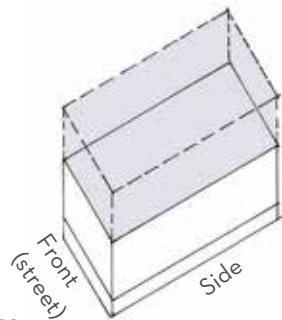
1.5 STORIES



2 STORIES

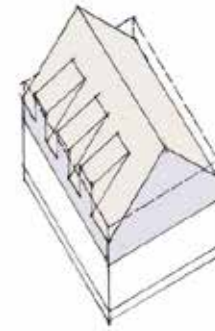
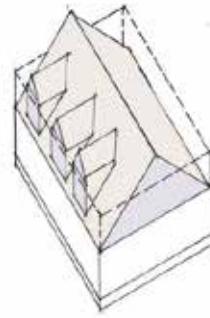
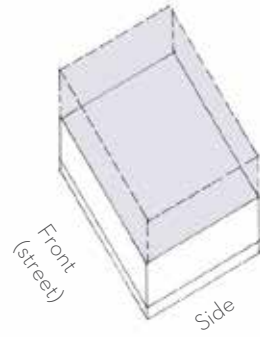


2.5 STORIES



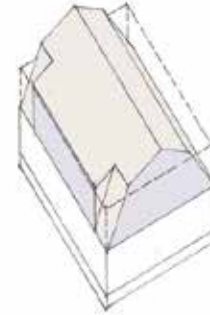
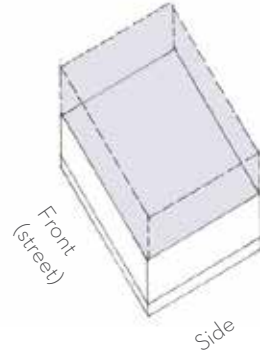
ROOF & DORMER OPTIONS- PARALLEL TO THE STREET

1.5 STORIES



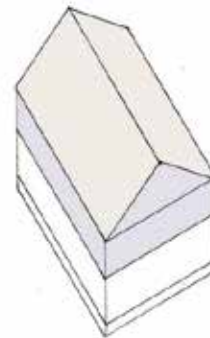
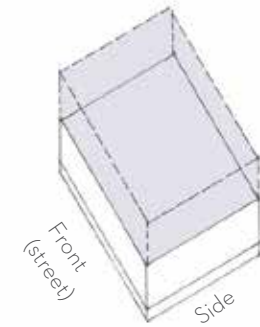
PREFERRED

2 STORIES



ALLOWED

2.5 STORIES



ALLOWED

ROOF MATERIALS

Please refer to the Appendix A for acceptable roof materials.

SUCCESSFUL ROOF DESIGNS

While a variety of roof types suit the Oak Knoll home, successful designs will support the simple massing of primary and secondary volumes and interior spaces, visually reduce the scale of the home, and provide adequate shading.

DORMER SIZING

Dormers are an important element that allow upper stories of a home to be usable as well as visually diminishing the scale of the upper level. Dormers may contain one window, or a string of windows, depending on the functional needs of the spaces within.

Dormer eaves and overhang details should be scaled accordingly, and should be consistent with the overall roof details.

All dormers shall be functional and bring light into occupiable interior spaces.

DORMER SIDING

Siding may be applied on the side or front walls of dormers either horizontally or sloped to match the adjacent roof.



1/2 Story 2nd floor with dormers

3.5 HIGH VISIBILITY FACADES

High Visibility Facades are visible from the street and from open space. High Visibility Facades are entry facades; hillside rear facades (facing the view); and corner lot facades. The High Visibility Facade of all homes should welcome residents, be inviting to neighbors and guests, and must follow guidelines defined in this section.

HIGH VISIBILITY FACADES - OPEN SPACE

While the entry facades of all homes in Oak Knoll shall be considered High Visibility Facades, select facades that face the Open Space shall also be considered High Visibility Facades. Use of porches and balconies are encouraged on these facades, and they should be designed with their visibility in mind, as well as the privacy of the homeowner.

CORNER LOT FACADES

Corner lot facades should carry distinct compositional and material elements from the entry facade to the side facade, to create a dynamic perspective of the home from the street. Corner lot facades shall have consistent details and elements on elevations facing both streets. The rhythm of openings established on the entry facade shall continue on the side facade that faces the street, and divided window patterns shall be consistent on both elevations. If shutters are incorporated on the entry facade they shall likewise be incorporated on the side facade that faces the street.

ADDITIVE FACADE ELEMENTS

Once the design of the High Visibility Facade openings has been determined, additive building elements like porches and dormers should follow the rhythm of the facade composition. Wraparound porches are encouraged on corner lots, as well as projected window bays. Porch columns should be spaced equally to either side of facade openings. Satellite dishes and external antennas are not permitted on High Visibility Facades.

SUCCESSFUL EXECUTION OF SECONDARY FACADES

Secondary Facades that successfully follow the above guidelines will support a composition of the Bay Area home that is balanced and continuous rather than one-sided and fragmented.



Secondary Facades

3.6 OPENINGS - WINDOWS

WINDOW TYPES

Homes may have single-hung, double-hung, triple-hung, awning, and casement windows. Slider style windows are also permissible where appropriate to the chosen style (see style matrix on page 30). Square transom windows are allowed on Secondary Facades, and may be used in bedrooms, bathrooms, stairwells, etc. Arch windows shall be permitted where appropriate to the style. Please refer to the Architectural Style Matrix on page 30 for window recommendations by style. Bay windows may encroach into front and rear yard as permitted by zoning and building codes. All windows shall be fully trimmed on the exterior with appropriate head, side, and sill details. Mitered joints are not permitted.

WINDOW PROPORTIONS AND TRIM

Windows may be mullioned together to achieve wider expanses of glass, but shall not exceed 12' in total width. Windows may have no muntins, a 2 over 2, 4 over 1, 4 over 4, 6 over 1, or 6 over 6 muntin pattern. True divided lites are preferred, simulated divided lites are acceptable, and removable muntins are prohibited. Wood and composite trim materials are permitted and foam trim is not allowed.

SHUTTERS

If shutters are incorporated in Primary Facades they should likewise be incorporated in High Visibility Facades. Each shutter shall be a minimum of half of the window dimension. Louvered or panelized shutters are acceptable.



Casement Style Windows



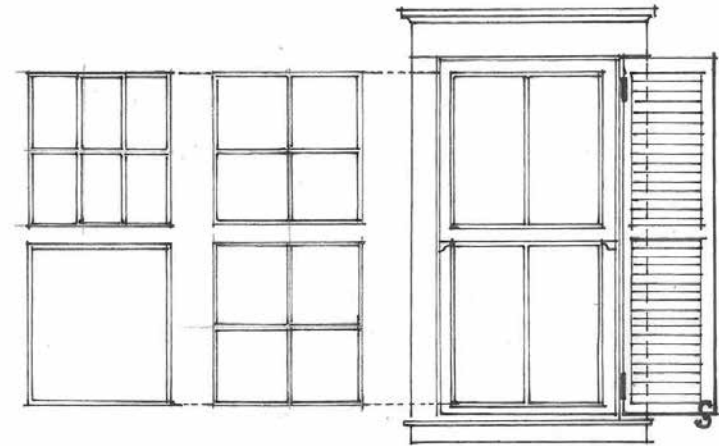
Double-hung Windows



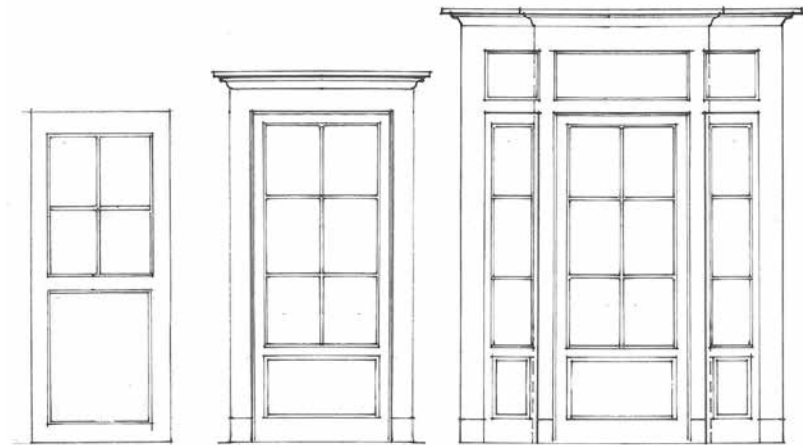
Casement Style Windows



Casement Style Windows



6 over 1; 4 over 4; and 2 over 2 muntin patterns



3.7 EXTERIOR DOORS

Exterior Main Entry doors can be flat or traditionally paneled doors. Please refer to the Architectural Style Matrix on page 30 for design recommendations by style.

3.8 PORCHES & STOOPS

TYPES

The porch or stoop is the signature element of an Oak Knoll home. As such, all homes must have either a porch or stoop. Multiple types are acceptable and encouraged, from single-bay to full-width, wraparound, and stacked. Pages 41 and 42 illustrate examples of porch and stoop types. Entry Courts are also an entry feature of certain styles of homes and are addressed in the landscape section.

PORCH DIMENSIONS

All porches or stoops on detached homes shall have a minimum covered area as defined in the Zoning Ordinance, and designed in a manner appropriate to the style of architecture.

Single story covered porches are allowed encroachments into front yard setbacks as defined in the Zoning Ordinance.



Entry Porches

PORCH DETAILS

Porch columns should be with round or square profiles, and shall have a minimum dimension of six (6) inches. Columns shall have defined capitals and bases. Porch design should be consistent with the chosen style of the house. Please refer to the Architectural Style Matrix on page 30 for design recommendations by style.

Porch beams shall align over supporting columns. Porch eaves and rakes should extend beyond porch beams. Porch ceilings must be fully trimmed.

Porch railings and balusters where required by code should be designed in a manner appropriate to the chosen style.

STOOPS

Stoops should be detailed in a similar way to porches, but are smaller in size and may be in the form of a recessed entry that indents into the building wall. The landings and covered areas of stoops shall have minimum dimensions as defined in the Zoning Ordinance.



Entry Porch



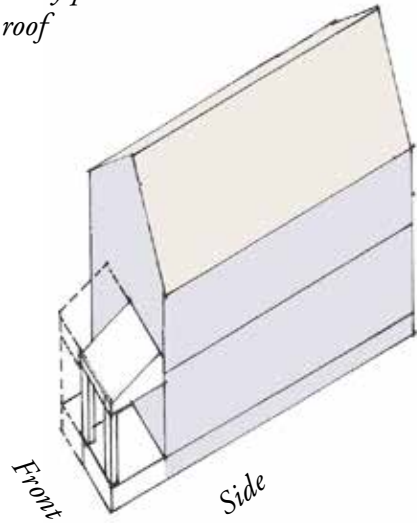
Recessed Entry



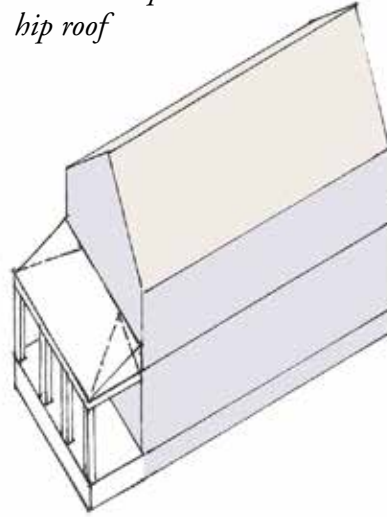
Entry Porch

3.6 PORCHES- Porch and Stoop Types

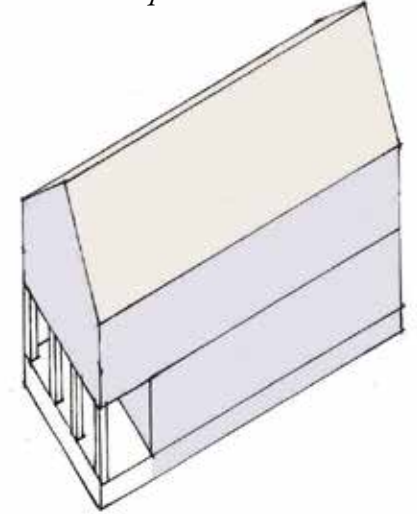
Single-bay porch with shed roof



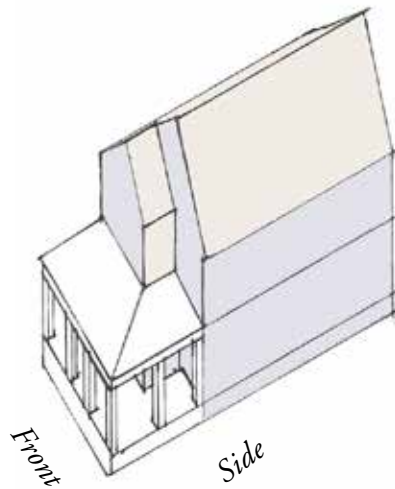
Full-width porch with hip roof



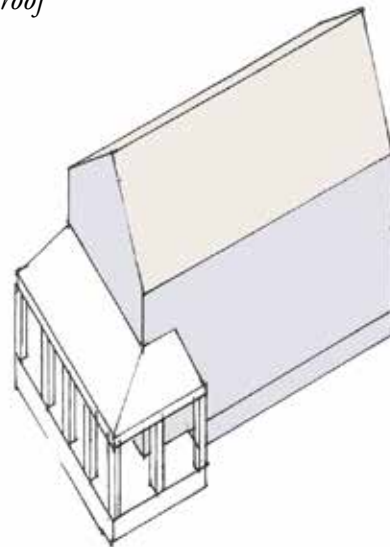
Full-width porch



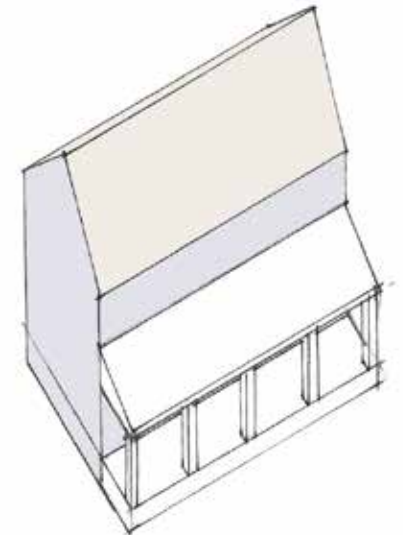
Wraparound porch with hip roof



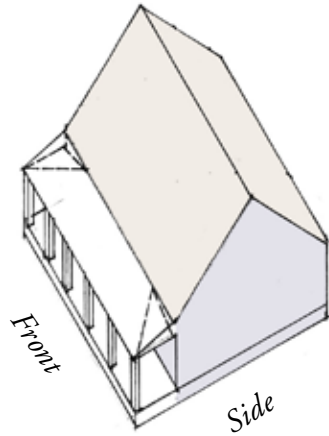
Wraparound porch with hip roof



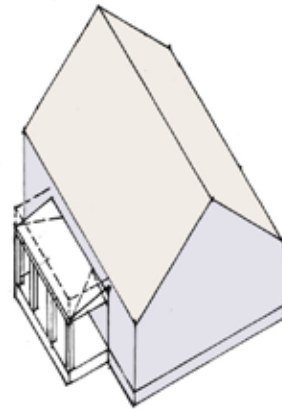
Side porch with shed roof



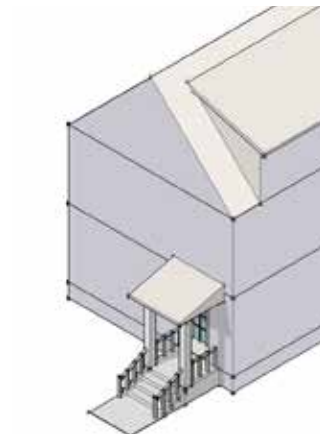
Full-width porch



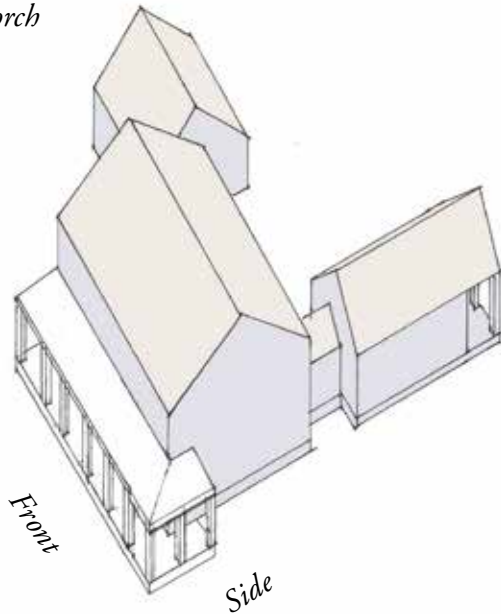
Single-bay porch



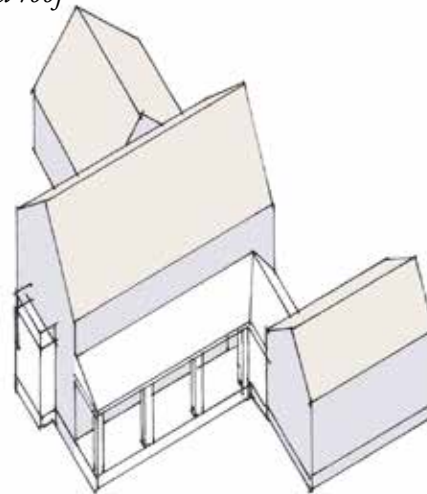
Standard Stoop



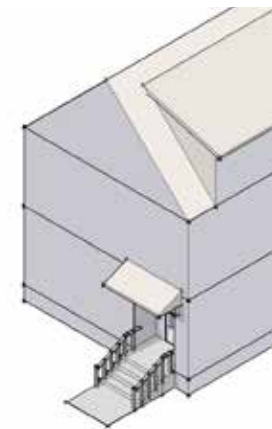
Full-width porch



Single-bay porch with flat roof; side porch with shed roof



Inset Stoop



PORCH MATERIALS

Porches may be constructed from wood, wood-like composites, stucco, or concrete faced with brick or stone veneer. Entry stoops, porches, and stairs that are constructed with wood shall be screened with wood or manufactured wood trim or lattice.

Entry stoops or porches constructed of masonry may have stair risers and treads constructed of masonry and may be finished with brick pavers. When finished walking surfaces, including stair treads, are brick pavers, all vertical surfaces from the top of the porch deck to grade shall be of brick. Bare or painted concrete is also a permitted finish material.

The porch ceiling may be composite bead-board planks or wood with appropriate molding.

Composites, and fiberglass trim moldings are allowed on a case-by-case basis as reviewed in Design Review. Vinyl or foam trim is prohibited. Refer to Chapter 4.0: Landscape for planting requirements at base of porch.



3.9 GARAGES

GARAGE DIMENSIONS

The design and placement of garages is important to the creation of a pleasing streetscape and a domestic 'neighborhood' feel. A minimum setback is required to allow a parked car in front of garage within the lot and not overlapping with adjacent sidewalks or common drive aisles. Exceptions may be granted through the Design Review process to allow the garage face closer to the front lot line.

Garages preferably will have individual carriage doors, but double garage doors are permissible as well. Garage doors must abide by the minimum and maximum dimensions defined in the Zoning Ordinance. Garage doors should be traditionally panelled, and windows courses at the upper panel are desirable features. Single car garages and tandem garages are also encouraged where circumstances favor this layout on the lot.

GARAGE DETAILS

Where the garage is not integrated into the primary mass of the home, they shall be considered a Secondary Volume, and shall have the same or shallower roof pitch than that of the Primary Volume of the home, and set back from the Primary Volume. Garage doors should incorporate details that complement the design of Entry and Secondary Facades, such as windows, patterned paneling, trellis and roof details.



3.10 LIGHTING

ARCHITECTURAL LIGHTING

A well-lighted porch or stoop is a critical element to the Oak Knoll streetscape. As such, all homes must have porch lighting appropriate to the style of the house.

Garages should also have exterior lighting integrated over or adjacent to the door bays, and should be shielded.

No uplighting of buildings is permitted.



4.0 LANDSCAPE GUIDELINES



View looking east from new bridge over Rifle Range Creek

4.1 LANDSCAPE VISION

The landscape design for Oak Knoll is intended to integrate the new community into an existing context of hillsides, creeks and drainages, and oak woodland. Proposed landscape elements will reinforce the new patterns of buildings, roads, public spaces, and recreational and open space amenities, creating a framework for the new community while also providing for habitat restoration and sustainability.

The proposed landscape elements are also intended to celebrate the rich heritage and historic context of the North Oakland communities, celebrating historic community values of respect for land, nature, and a tradition of craftsmanship that was expressed by neighborhood community designs at the turn-of-the century in the East Bay neighborhoods of Berkeley, Claremont, Piedmont, and Rockridge.

The community landscape is shaped to provide accessible open space and access to nature, and to encourage active and healthy outdoor living. Neighborhoods are woven together with natural open space settings and carefully designed streets with generous sidewalks, punctuated by neighborhood and pocket parks. Landscape materials emphasize the use of native materials and plant communities within natural settings, intended to restore the site's ecology and benefit wildlife, while presenting a unique, nature-rich environment for the residents of the community.

In order to promote the conservation and efficient use of water, landscaping shall comply with the provisions established in the California Code of Regulations Title 23, Division 2, Chapter 2.7 Model Water Efficient Landscape Ordinance (MWELO).

4.2 STREETScape DESIGN

Street trees are important thematic elements of the neighborhoods, where strong patterns reinforce the neighborhood identity, define road edges and provide a shaded overstory. A strong overhead tree canopy will modify the climate and bring streets into a more balanced scale with the overall landscape.

The community streetscape features a natural setting of Coastal Oak woodland, comprised of native London Plane and Coast Live Oak along street edges. Plantings are low groundcovers in composed drifts, using selections from the Approved Plant List. (Refer to the Preliminary Development Plan (PDP) for public street sections.)

The Creekside Village, Retail Village, Creekside Townhomes and Garden Court neighborhoods utilize native Oak woodland as the predominant framework plantings, with London Plane, Trident Maple, Red Maple and Brisbane Box as canopy street or parking lot trees.

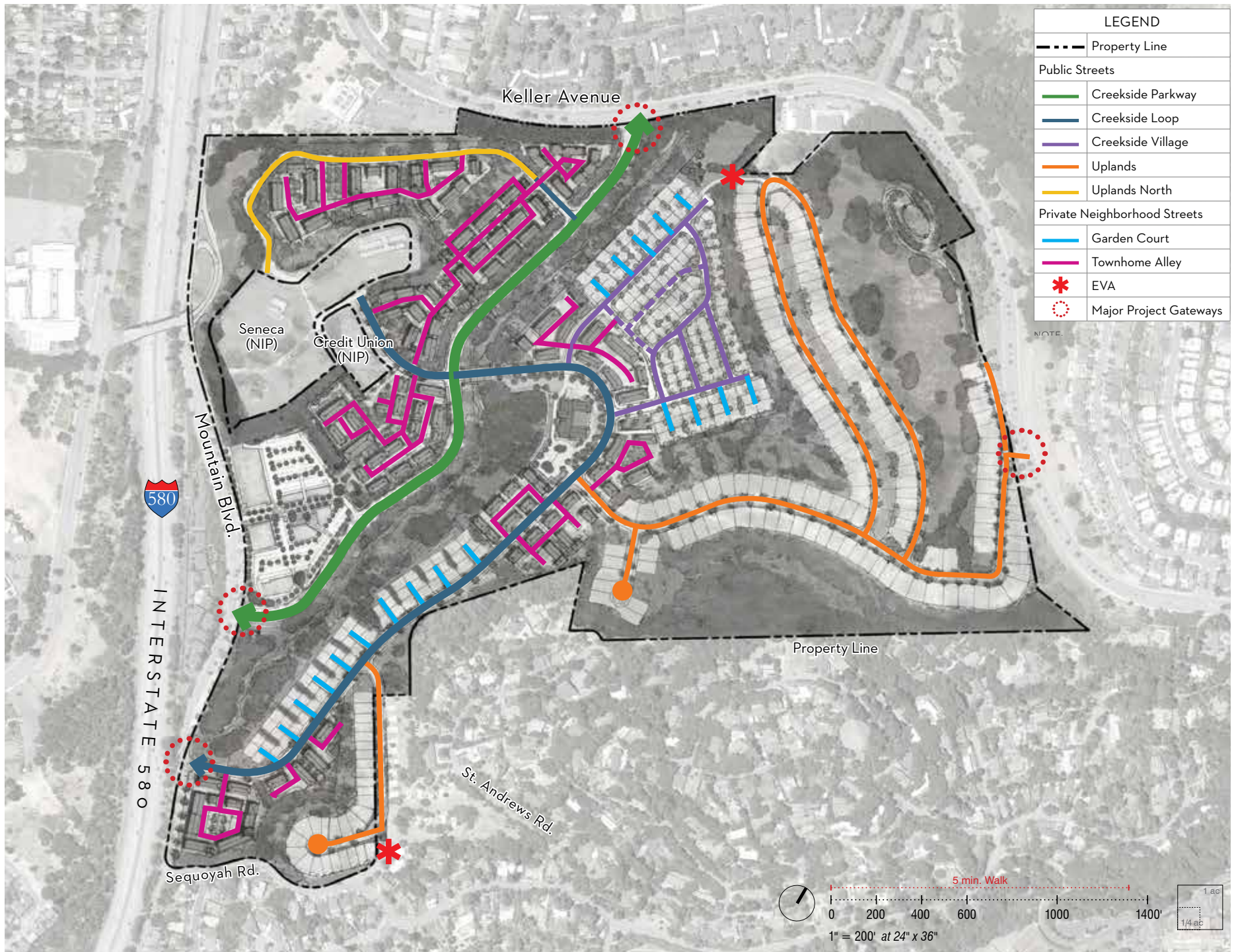


Figure 4.1- Circulation Network

	CREEKSIDE PARKWAY	CREEKSIDE LOOP	CREEKSIDE VILLAGE	UPLANDS	TOWNHOME ALLEY	GARDEN COURT
On-street Parking	Parallel on 2 Sides	Parallel on 1 Side	Primary: Parallel on 1 side Secondary: None	Primary: Parallel on 2 sides Secondary: Parallel on 1 side	None	None
Bike Lane	Class I multi-use path	Class III	None	None	None	None
Landscape Character	- Large deciduous street tree	- Large deciduous street trees	- Large deciduous street trees with medium evergreen and deciduous alley trees - Fall color	- Large evergreen street tree	- small to medium deciduous or evergreen narrow trees - Fall color	- Medium deciduous trees - Fall color
Drainage	Bulb-out Infiltration Basins in ROW	Bulb-out Infiltration Basins in ROW	Localized detention and infiltration basins	Bulb-out Infiltration Basins in ROW/ In Board Bioswales	In-tract detention and infiltration basins	Localized detention and infiltration basins
Drainage in R.O.W.	Yes	Yes	No	Yes except Uplands North	No	No
Representative Landscape Species	STREET TREE: - London Plane or - Accolade Elm	STREET TREE: - London Plane 'Columbia'	STREET TREE: - London Plane ALLEY TREE: - Trident Maple - 'Elegant' Brisbane Box	STREET TREE: - Coast Live Oak	STREET TREES (North Creekside): - 'Redpointe' Red Maple (South Creekside): - Trident Maple	COURT TREE: - 'Redpointe' Red Maple



London Plane



Coast Live Oak



'Redpointe' Red Maple

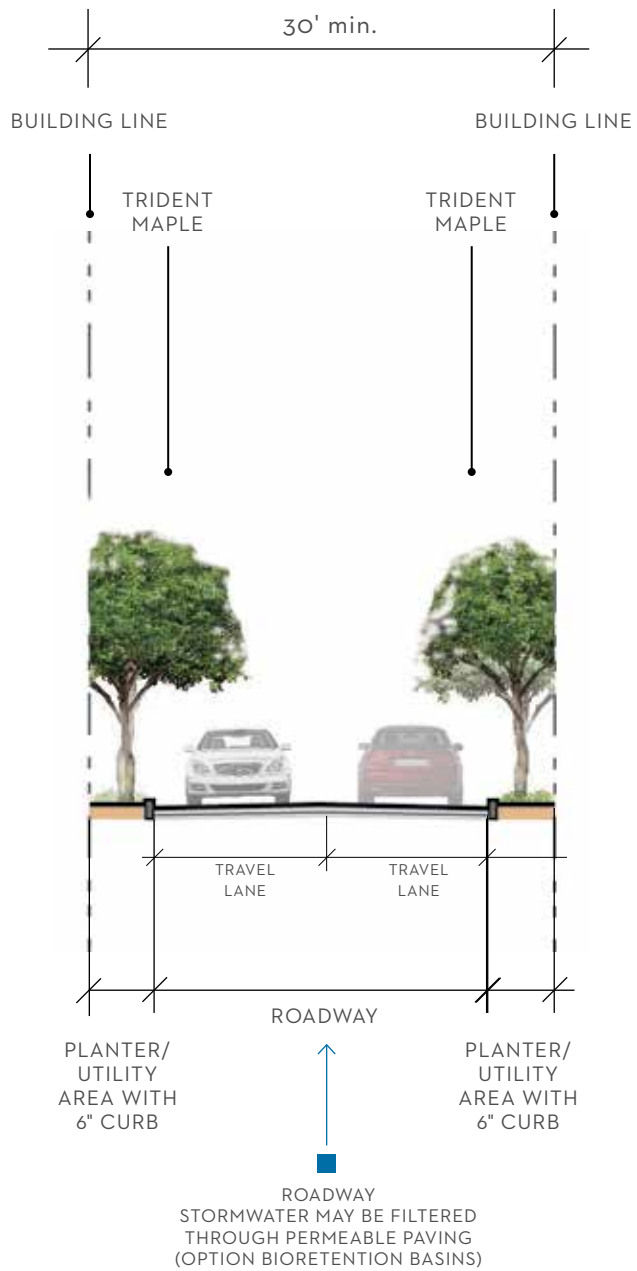


Trident Maple

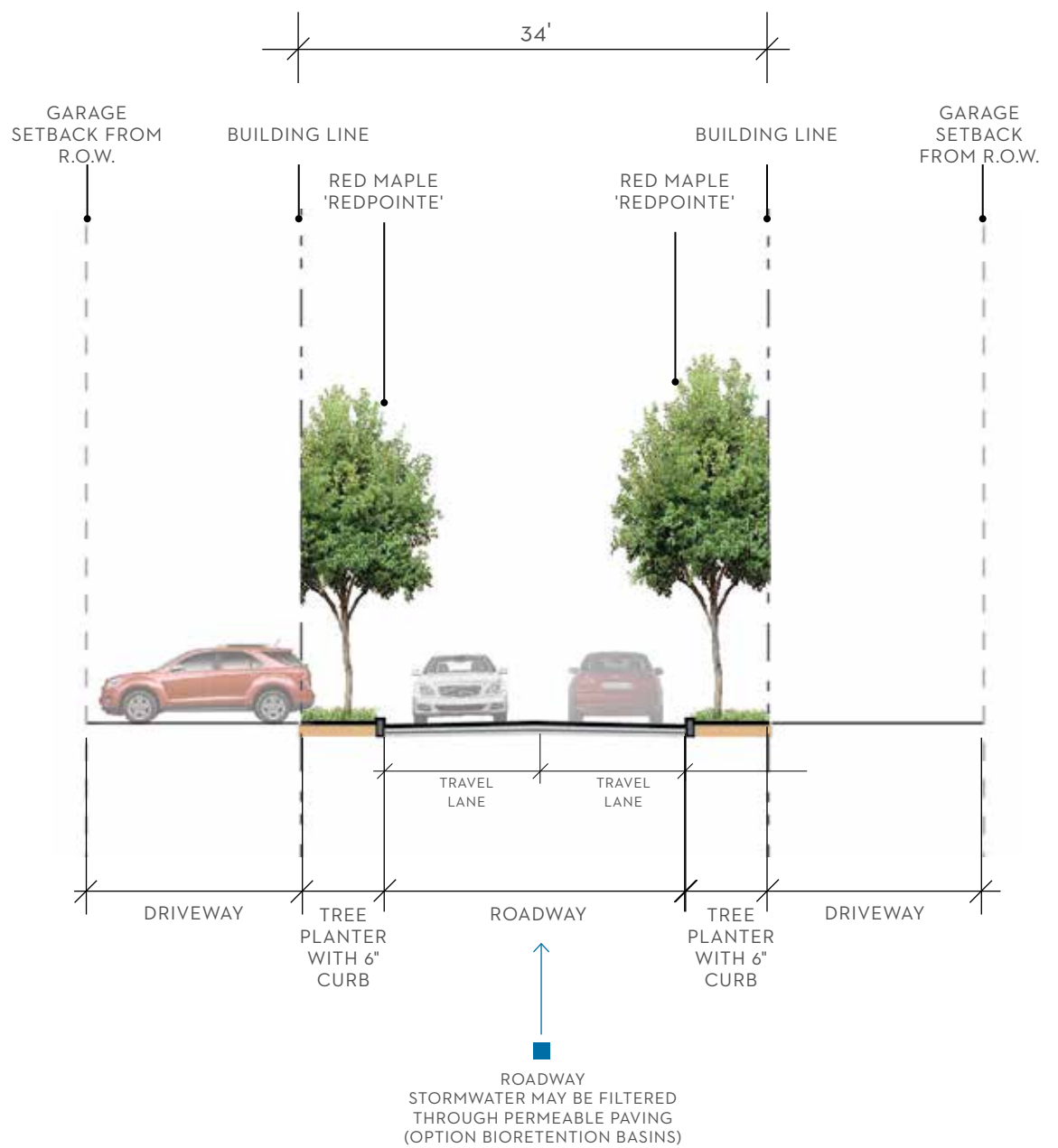


Brisbane Box

TOWNHOME ALLEY 'TYPICAL'



GARDEN COURT 'TYPICAL'



Neighborhood Streetscape

Proposed Plant List

Botanical Name	Common Name	Native	Size/ Foliage Character								Fall Color	Wildlife Forage
			Large Deciduous Trees >30'	Large Evergreen Trees > 30'	Small Deciduous Trees <30'	Small Evergreen Trees <30'	Large Deciduous Shrubs >4'	Large Evergreen Shrubs >4'	Small Deciduous Shrubs <4'	Small Evergreen Shrubs <4'		
Trees												
<i>Acer buergeranum</i>	Trident Maple				x							x
<i>Acer rubrum</i> 'Redpointe'	Red Maple		x									x
<i>Magnolia soulangiana</i> 'Alexandrina'	Saucer Magnolia											
<i>Platanus acerifolia</i> 'Yarwood' or 'Columbia'	London Plane		x									x
<i>Quercus agrifolia</i>	Coast Live Oak	x		x								x
<i>Sequoia sempervirens</i> (Parks only)	Coast Redwood	x										
<i>Tristania laurina</i>	Brisbane Box											
<i>Tristania laurina</i> 'Elegant'	Elegant Brisbane Box					x						
<i>Ulmus Japonica</i> + <i>U. Wilsoniana</i>	Accolade Elm		x									x
Shrubs												
<i>Arbutus unedo</i> 'Compacta'	Compact Strawberry Tree								x			x
<i>Arctostaphylos densiflora</i> 'Howard McMinn'	Vine Hill Manzanita	x							x			
<i>Arctostaphylos densiflora</i> 'Lutsko's Pink'	Manzanita	x							x			
<i>Arctostaphylos hookeri</i> 'Wayside'	Monterey Manzanita	x									x	
<i>Ceanothus</i> 'Dark Star'	Dark Star Wild Lilac	x							x			
<i>Ceanothus</i> 'Julia Phelps'	Julia Phelps Lilac	x							x			
<i>Cercis occidentalis</i>	Western Redbud	x						x				x
<i>Heteromeles arbutifolia</i>	Toyon											
<i>Mahonia</i> 'Golden Abundance'	Oregon Grape											
<i>Phormium</i> spp.	Flax	x							x			
<i>Rhamnus</i> 'Mound San Bruno'	Mound San Bruno Coffeeberry											x
<i>Rhamnus californica</i> 'Eve Case'	Eve Case Coffeeberry	x							x			
<i>Rhamnus californica</i> 'Seaview'	Seaview Coffeeberry	x							x			
<i>Rhamnus californica</i> 'Leatherneck'	Leatherneck Coffeeberry	x										x
<i>Rosmarinus</i> spp.	Rosemary	x							x			
<i>Salvia leucantha</i>	Mexican Bush Sage	x										

Neighborhood Streetscape

Proposed Plant List

Botanical Name	Common Name	Native
Ground Covers, Perennials and Grasses		
<i>Anigozanthos cultivars (dwarf)</i>	Kangaroo Paws	
<i>Arctostaphylos 'Emerald Carpet'</i>	Emerald Carpet Manzanita	x
<i>Arctostaphylos edmundsii 'Carmel Sur'</i>	Carmel Sur Manzanita	x
<i>Arctostaphylos uva-ursi 'Point Reyes'</i>	Point Reyes Manzanita	x
<i>Berberis 'Crimson Pygmy'</i>	Berberis	
<i>Calamagrostis foliosa</i>	Pacific Reed Grass	x
<i>Ceanothus gloriosus exaltatus 'Valley Violet'</i>	Wild Lilac	x
<i>Cotoneaster 'Lowfast' and 'Coral Beauty'</i>	Cotoneaster	
<i>Echium fastuosum</i>	Pride of Madeira	
<i>Eriogonum fasciculatum</i>	California Buckwheat	x
<i>Erisimum linifolium 'Bowles Mauve'</i>	Wallflower	
<i>Festuca mairei</i>	Atlas Fescue	
<i>Festuca 'Molate'</i>	Molate Fescue	x
<i>Festuca 'Siskiyou Blue'</i>	Fescue	x
<i>Lavandula angustifolia</i>	English Lavender	
<i>Lavandula ang. Hidcote Improved</i>	Hidcote Lavender	
<i>Myoporum parvifolium 'Putah Creek'</i>	Creeping Myoporum	
<i>Pennisetum spathiolatum</i>	Slender Veldt Grass	
<i>Ribes viburnifolium</i>	Catalina Fragrance	x
<i>Rosmarinus 'Huntington Carpet'</i>	Huntington Carpet Rosemary	
<i>Teucrium chamaedrys dwarf</i>	Dwarf Germander	

4.3 OPEN SPACE DESIGN

The open space network consists of a range of open spaces including existing undisturbed open space, the restored Rifle Range Creek Corridor, revegetated hillsides and publicly accessible neighborhood parks.

- The existing grassland on the upper hillside and areas of existing preserved oak woodland are protected natural resources.
- The lower hillside will be extensively planted as a restored oak woodland natural setting, consisting of several native oak species, Toyon and California Buckeye.
- The restored Rifle Range Creek will be revegetated with an appropriate and diverse native plant community to recreate a natural setting that benefits wildlife, and includes a multi-use trail serving the community. Refer to the Oak Knoll Mixed Use Community Development Project Regulatory Permit Application Package.
- Tree mitigation occurs site-wide in a variety of locations. Refer to the Tree Removal Permit Package for recommended mitigation locations and species.





Figure 4.2- Open Space and Parks

4.4 PARKS AND PLAZA DESIGN INTENT

There are three kinds of public parks offering active and passive recreational opportunities as described in the PDP. Larger more active community parks (see Figure 4.2) include the park areas at the Club Knoll community center and the neighborhood park near the project's northern boundary. Smaller more passive neighborhood parks are planned near the Community Center and within the townhome in-tract parcels. The plaza at the retail Village Center will serve as a social gathering and event space for the community, with decorative hardscape, benches, informal seating and canopy shade trees. Landscape guidelines for parks and plazas include:

- The parks should emphasize use of native trees, shrubs, and groundcovers in both organic and formal settings. Refer to the Neighborhood Streetscape Plant List for Proposed Plants.
- Parks should incorporate community-wide furnishings and signage consistent with other design elements in the community.
- Parks should provide shaded seating areas, picnic tables, and trash receptacles.
- Hardscape areas should avoid asphalt and large expanses of concrete. Natural stone, pavers, high quality stamped concrete, and decomposed granite should be utilized in the appropriate settings.
- A tot lot with play structures and picnic benches and lawn areas will be located at two locations and should include play equipment that is durable, safe, appropriately scaled, shaded and maintainable.
- Recreation areas such as playfields and multi-use courts should employ high quality turf and/or hardscape surfaces. Site drainage shall be extensively utilized on playfields and other higher impact natural areas.
- All fencing should be natural in character and follow these design guidelines, see Appendix B.
- Parks should provide connections and wayfinding to the project-wide trail and bikeway system.
- Where public art is included in park settings, designers should coordinate with artists prior to park design to ensure art elements are well integrated, accessible and compliment other elements of the park design.

COMMUNITY PARK



RETAIL VILLAGE



NEIGHBORHOOD PARKS



4.5 COMMUNITY TRAILS AND RECREATION

An extensive network of trails extend throughout the community, affording a range of experiences, challenges levels and activity options, including running, hiking, walking, dog walking and accessibility.

- Emphasis is on use of natural materials and simple treatments that are intended to integrate fully with the natural setting.
- Use of reclaimed timber for benches, signage, and trail markers with opportunities to incorporate hand-crafted artisan designs.

Trails for Oak Knoll are classified as follows:

- Hiking Trails
- Multi-Use Path (Walking/ Running/Biking)
- Neighborhood Path
- Bike Route

Location of the trails systems should meet the following design objectives:

- Safety
- Connectivity to on-site and off-site destinations
- Diversity in experiences and user types
- Conforms to site attributes, opportunities and constraints



Wayfinding Sign



Trailhead Signage



Bay View telescope at Vista Point



Soil cement surface



Unique wood benches

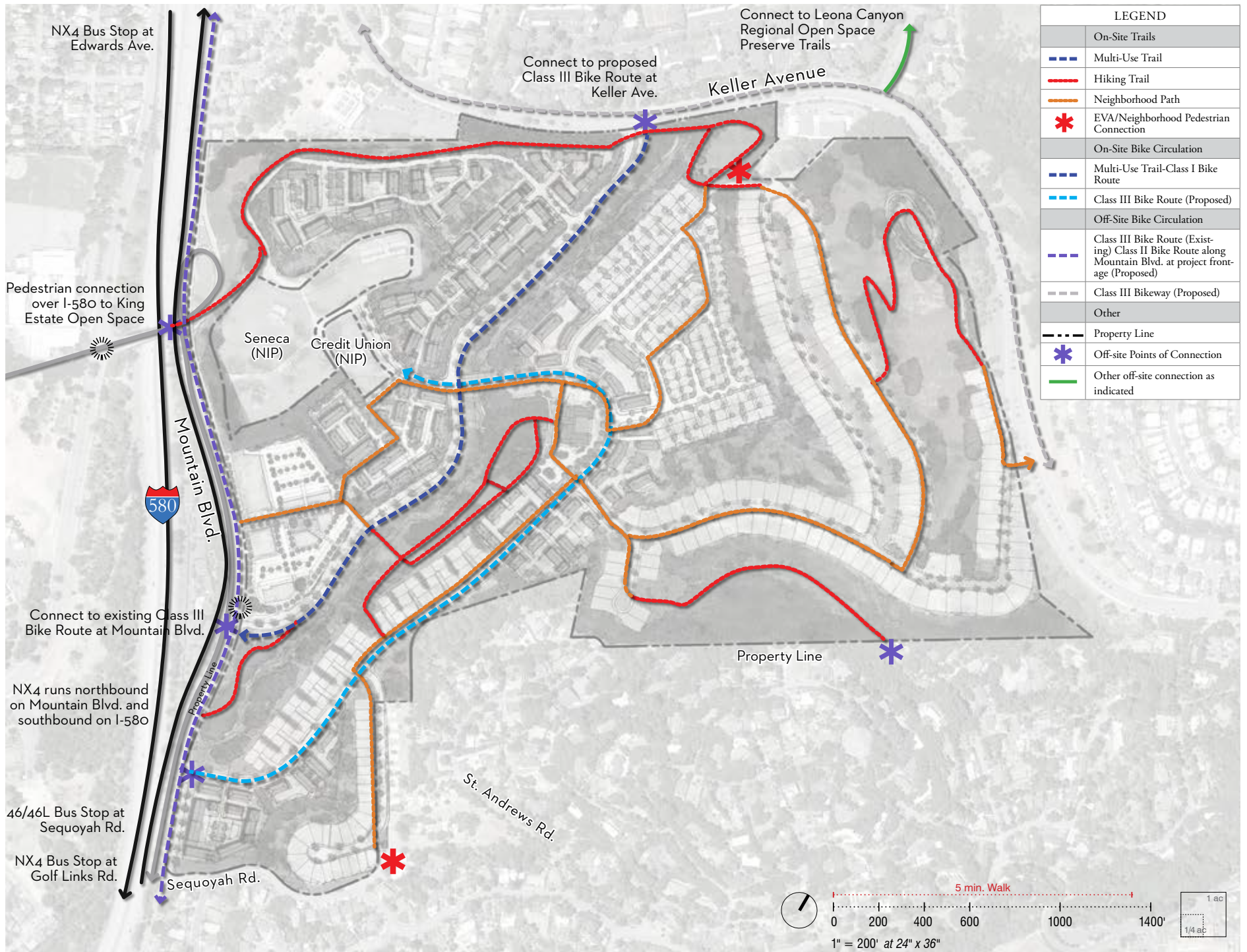


Figure 4.3- Bike and Pedestrian Trails and Connections

4.6 SIGNAGE AND MONUMENTATION

Stone piers with historic details are envisioned for use to celebrate the main entry points and secondary neighborhood entry points. A hierarchy of scale will differentiate the entry and neighborhood monuments, while incorporating unique details and establishing a common approach. Materials and craftsmanship will employ a unified approach to unify the community design, including stone details at the vehicular bridge crossing the creek and community center entrance.

The vision for the main entry monument on Mountain Boulevard and Keller Avenue is for a collection of native trees (oaks, manzanita, etc) in a naturalized composition with stone piers marking the entry. Community signage may be integrated into the piers similar to the tradition of the neighborhood street names at neighborhood entries.



Community Entry Monument Concept



Stone Neighborhood Entry Piers



Community Entry Conceptual Plan - Mountain Boulevard and Creekside Parkway (NTS)



Figure 4.4 - Signage and Monumentation Plan

4.7 WALLS

SITE RETAINING WALLS

Retaining walls will be needed due to the sloping topography of the site. See the Appendices for Approved Retaining Wall. Low shrubs are required where space between the face of retaining walls and right of way or swale exceeds 2'. Retaining walls greater than 4' tall require top of wall planting, Retaining walls greater than 6' tall shall have vines planted on the face of walls in drifts of single species; each drift of vine planting should not exceed 50' before blending into another species.

Retaining walls taller than 30" shall incorporate a 42" guardrail. See figure and detail in Appendix B. Fences shall be set behind the top of wall (or top of wall swale where occurs) 4' to allow for shrub massing.

The Approved Plants include the following:

Vines for Retaining Walls (plant on face in drifts of single species, 8' spacing to achieve 50% cover when mature):

- Parthenocissus tricuspidata 'Veitchii'/Dwarf Boston Ivy
- Solanum rantonetti/Potato vine

Shrub massing for base of walls, where planting area (clear of drainage swales) measures 2'-4':

- 40% Ceanothus gloriosus 'Valley Violet'/Valley Violet Wild Lilac
- 40% Westringia fruticosa 'Grey Box' or 'Jervis Gem'
- 20% Erysimum Bowle's Mauve'

Shrub massing for base of walls (clear of drainage swales) where planting area measure 4' to 10':

- 40% low shrub massings:
- Ceanothus maritimus cultivars planted in drifts alternating with Manzanita:
- "Frosty Dawn", 'Valley Violet' and/or 'Point Sierra'
- 30% Arctostaphylos hookeri 'Wayside'
- 30% Feijoa sellowiana/Pineapple Guava (taller shrub massings where walls exceed 7 feet)

The Approved Site Retaining Wall is:

- Pavestone 'Anchor Diamond Pro' Retaining Wall
- Face Style: Straight
- Color: Sandstone Blend



Vines planted on face of retaining wall

4.8 RESIDENTIAL LANDSCAPE DESIGN

The following principles embedded in the landscape design philosophy closely mirror the architectural design principles:

- Oak Knoll landscapes and gardens are versatile, imaginative and offer a range of expressions.
- Landscapes encourage a relaxed, informal and practical approach while accommodating contemporary lifestyles.
- Landscapes are designed to respond to unique characteristics, such as lot configuration, topography, existing vegetation, and the design and location of the house and ancillary structures.

Residential landscaping will be the responsibility of the individual Homeowners and Builders and shall be thoughtfully designed according to these guidelines. A palette of plant and landscape materials is established in these guidelines to ensure visual unity within visible lot areas while allowing room for individual creative design solutions.

4.9 SINGLE FAMILY RESIDENTIAL

Landscape guidelines and requirements within this Section address unique landscape conditions that occur for the single family residential lots found at Oak Knoll.

OBJECTIVES

- Integrate the built environment with a dominant landscape.
- Blend landscapes between lots and neighborhood streets as a unified community landscape setting.
- Establish a healthy, sustainable and natural landscape environment.
- Prioritize front yard landscapes to reinforce neighborhood streets as livable, walkable places. The combination of front porches and front yard gardens within the private frontages activate the streetscape, and shall contribute to a consistent, high quality neighborhood landscape.
- Low groundcovers have low water requirements and are composed in drifts, using selections from the Approved Plant (see Appendices).

Three general landscape zones have been defined for each home site. Objectives and guidelines regarding landscaping, planting, paving, walls and fencing within each zone are described in this chapter. The three landscape zones are described as follows:

FRONT YARD ZONE

The front yard is defined by the area between the front property line and the front face of the building, extending to the side property lines. The objectives within this zone are to reinforce and enrich the neighborhood street scene and to provide a transition from the street to the private landscape. All plantings within this zone are to occur prior to home occupation.

SIDE YARD ZONE

The side yard areas maintain privacy for indoor and outdoor living spaces while also providing access around the home. A range of creative solutions such as using architectural site walls and fences combined with neat vertical plantings and groundcovers are encouraged. Sensitivity to neighboring lots is required in the design of side yards in order to avoid blocking light or creating maintenance and nuisance issues, while protecting for privacy.

REAR YARD ZONE

This area is defined as the area between the rear property line and the rear face of the building, extending to the side property lines. The objective within this zone is to provide privacy, pleasant outdoor living spaces and shade for building western exposures. Sensitivity to neighboring lots is required in the design of the rear yard areas in order to avoid blocking light or creating maintenance and nuisance issues.

Refer to Figure 4.5: Typical Home Site Planting Diagram for planting requirements for each zone.



Figure 4.5: Typical Home Site Planting Diagram

PLANTING PALETTE

Small Trees

(4) 15 gallon total

- Arbutus unedo/Strawberry Tree (compact form)
- Magnolia x s. 'Lilliputian'/ Saucer Magnolia (dwarf form)

Medium Trees

(1) 15 gallon total

- Quercus agrifolia/Coast Live Oak
- Arbutus 'Marina'/ 'Marina' Madrone

Planting Type 1

(perennials, low shrubs and groundcover)

Lavandula angustifolia 'Hidcote'/English Lavender (dwarf cultivars) qty:10

- Arctostaphylos 'Point Reyes'/Manzanita
- Ceanothus gloriosus 'Frosty Dawn'/Wild Lilac
- Rhamnus 'Seaview'/Seaview Coffeeberry
- Festuca rubra 'Molate'/Creeping Red Fescue

Planting Type 2

(rain garden grasses/perennials, accent taller shrubs and fence vine)

- Festuca rubra 'Molate'/Creeping Red Fescue
- Ribes sanguineum/Pink winter Currant
- Pacific Coast Iris cultivars
- Hardenbergia comptoniana/Lilac Vine

Planting Type 3

(lawn, meadow grasses, groundcovers and low shrubs)

- Dwarf Tall Fescue lawn sod or seed
- Carex pansa/California Meadow Sedge pots or plugs
- Calamagrostis foliosa/Feather Reed Grass
- Rhamnus 'Leatherneck'/Coffeeberry

FRONT YARDS ON SLOPED LOTS

Lots located on streets with slopes greater than 10% shall be completely vegetated and may use a combination of low walls and plantings to achieve changes in grade. Plants that aid in erosion control are recommended.

GUIDELINES

- Front yard slopes may not exceed 2:1.
- Retaining walls, if used, should be terraced where possible and not exceed a maximum height as set forth in the Zoning Ordinance.
- Retaining walls shall be integrated with shrub planting to soften and screen walls.

See Section 4.11 Retaining Walls on Lots for Approved Materials.



Sloped Lot Planting



Combination of Planting and Retaining Walls at Sloped Lots

4.10 SIDE AND REAR YARD FENCING

Side yard fencing is required for functional and safety reasons. All fencing shall use quality materials and follow the Approved Standard Fence Details in Appendix B.

GUIDELINES

- All fencing may either slope with grades or adjust as a vertical offset between panels. Offsets shall not exceed 12 inches.
- All fencing between adjoining lots shall have a height of 6 feet. Corner lots and end lots are encouraged to reduce fence heights at side yards to allow views with a minimum height of 4 feet.
- All fencing shall be softened with flowering vines and shrubs to soften their visual appearance where visible from public areas.
- A few upper hillside home sites with sloped rear yards in excess of 20% shall utilize the Approved Hillside Fence in the rear yard.
- Lots with pools and spas require fencing and gates that meet all applicable codes.
- Typical side and rear yard fencing is a solid cedar or redwood fence with a stained finish.
- For upland lots with rear yards with onsite and offsite visibility, rear yard fencing, if used, shall use the Approved Hillside Fence to ensure visual consistency.
- For lots with side or rear yards that front on the creek corridor, a neighborhood park or open space, please refer to appropriate wall design examples in Appendix B.



Typical Side Yard Board-on Batten Style Privacy Fence



Typical Hillside Fence where slopes exceed 20% (stepped or sloping rear yard conditions)

4.11 RETAINING WALLS ON LOTS

Retaining walls may be needed due to sloping topography on individual lots. Retaining walls shall be minimized and designed to fit the topography. Retaining walls in the side or rear yard shall use the Approved Retaining Wall design shown in the Appendices.

GUIDELINES

- Use of stucco, brick, painted brick or natural stone veneer may be used for site walls in front and side yards that are visible from public areas. Materials shall complement the building architecture.
- Wall heights shall be appropriate to context and shall not exceed 6' in height per Code.
- Tiered walls shall be integrated landscape design.
- Tops of walls may either slope or step with the topography as required. Walls may slope at 1:8 maximum or use vertical offsets of 12" maximum.
- Use of vines, trailing evergreen groundcovers and shrub massings are encouraged to soften walls.
- Retaining walls in side and rear yards- Walls not closely associated with the architecture and not visible from public areas may use the Approved Standard Wall System described in the Appendices.
- Retaining walls in rear yards shall be located a minimum of 4' from the property line to allow room for fencing.
- Retaining walls and steps at front walkways are allowed to resolve site grading.

- The following retaining wall materials are allowed:
 - Brick
 - Painted brick
 - Natural stone veneer
 - Approved concrete block wall system in rear and side yards (refer to Appendices)
 - Gabions
 - Pressure-treated wood
- The following retaining wall materials are **not** allowed:
 - Railroad ties
 - Metal cribs
 - Concrete pylons



APPENDICES

APPENDIX A

The following colors and materials have been assembled to give developers guidance. They are intended to communicate the vision of the Oak Knoll character. Nonetheless, creativity is encouraged, and alternatives to these materials, which adhere to the spirit of these guidelines will be considered by the DRC. A more detailed and design-specific palette of colors and materials shall accompany all FDP applications and be reviewed by the DRC.

APPENDIX A - APPROVED MATERIALS & COLOR PALETTE

**ARCHITECTURAL BRICK (FACE BRICK) AND STONE
VENEER PALETTE**



EXAMPLES OF ACCEPTABLE BRICK FINISHES



EXAMPLES OF ACCEPTABLE STONE VENEER FINISHES



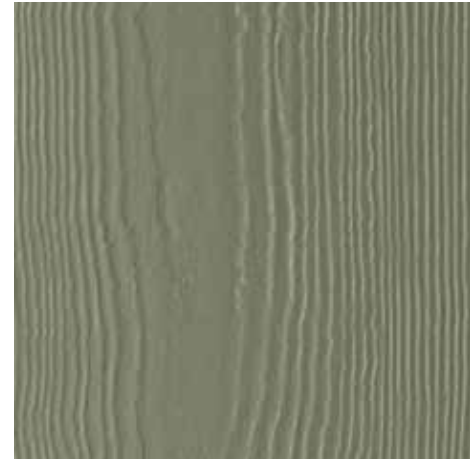
ARCHITECTURAL SIDING AND ROOF PALETTE



STAINED OR PAINTED SHINGLE SIDING



STAINED OR PAINTED SHINGLE SIDING



PAINTED WOOD OR WOOD COMPOSITE SIDING



CLAY TILE ROOF

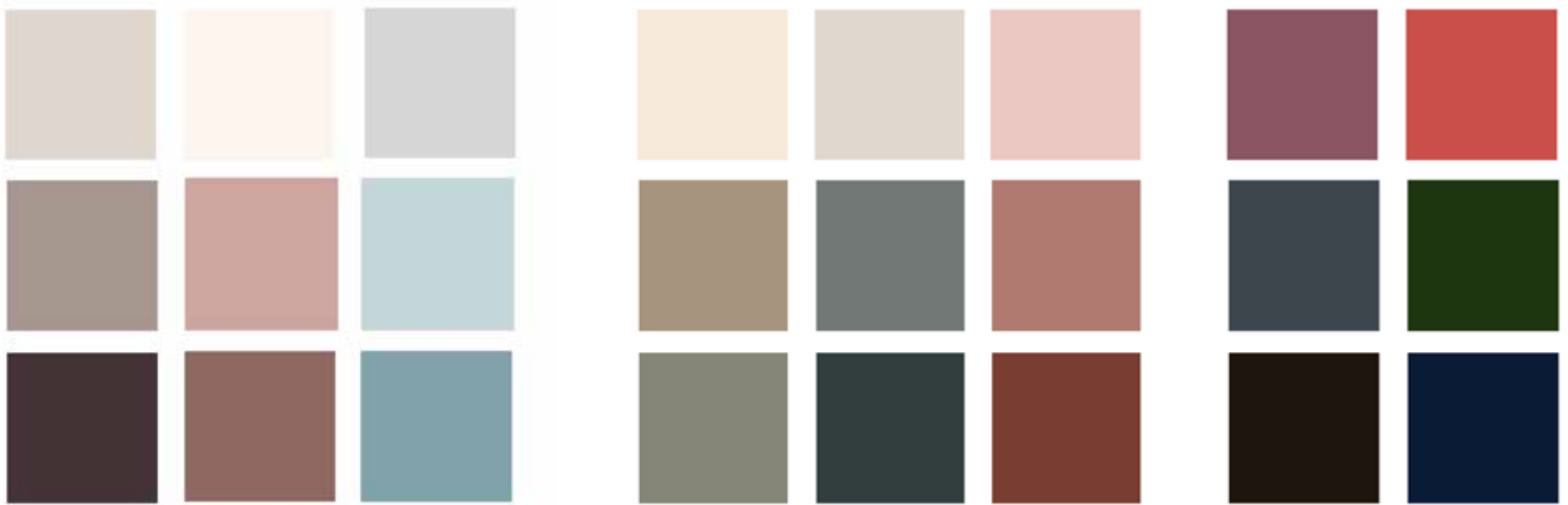


ASPHALT TILE ROOF - GRAY



ASPHALT TILE ROOF - BLACK

ARCHITECTURAL PAINT COLORS





APPENDIX B

APPROVED STANDARD RETAINING WALL SYSTEM ON LOTS

- 'Anchor Highland Stone Retaining Wall 6" Combo' (Product 876) by Pavestone, Inc. : 3 piece system, sizes 18"x12"x6", 12"x12"x6", and 6"x12"x6". Color to be determined. Cap #819. (<http://www.pavestone.com/anchor-highland-stone-retaining-wall-6-combo/>)

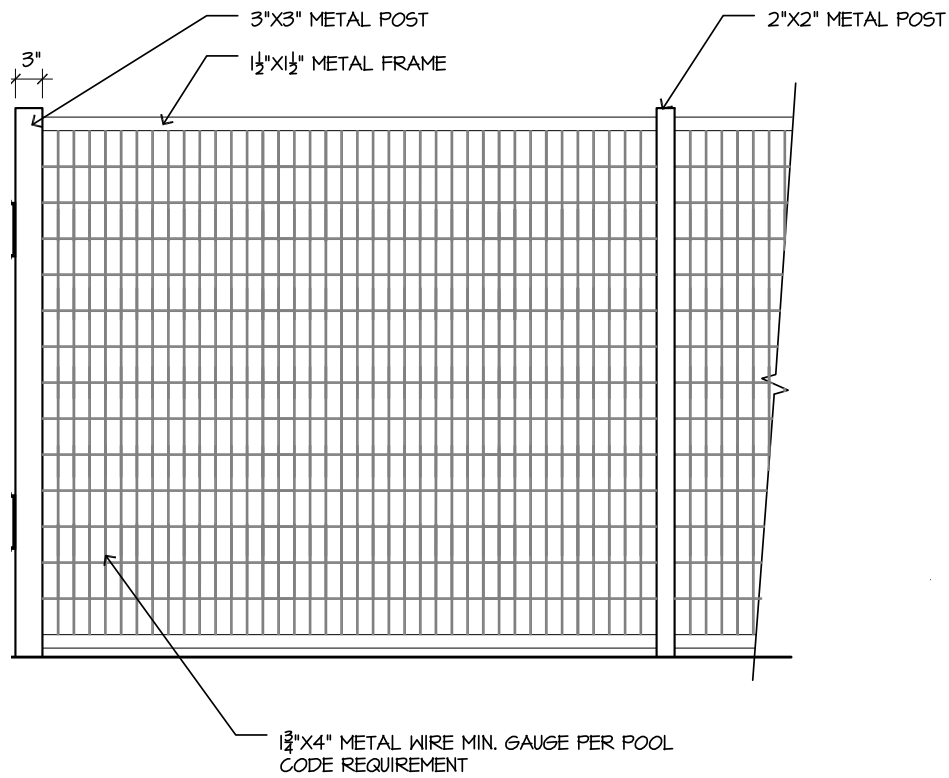


STANDARD APPROVED SIDE YARD AND REAR YARD FENCES

- Minimum Standard Material: #1 grade Western Red Cedar or Redwood
- Stain finish: Cabot 'Red Cedar'
- Note: Both sides are finished equally
- 4x6 posts Western Red Cedar posts 6' apart
- Boards: 1x8, Battens: 1x3 (both sides), Cap: 1x6 with 1x4 facer
- Height: 6'-0"
- add low plants at base like a low grass or liriop



STANDARD APPROVED GUARDRAIL



APPENDIX C

The following Approved Plant List and Prohibited Plant List are intended to communicate the vision of the Oak Knoll landscape character. Nonetheless, creativity is encouraged, and alternatives to these materials, which adhere to the spirit of these guidelines will be considered.

APPENDIX C - APPROVED PLANT LIST

Botanical Name	Common Name	Street Trees	Large	Medium	Small	Native	Full Sun	Part Sun/Shade	Full Shade	Rain Garden
TREES										
<i>Acer buergeranum</i>	Trident Maple			x	x		x		x	
<i>Arbutus 'Marina'</i>	Madrone 'Marina'			x			x		x	
<i>Agonis flexuosa</i>	Peppermint Tree				x		x			
<i>Acer japonicum</i>	Japanese Maple			x			x		x	
<i>Lagerstroemia indica</i>	Crape Myrtle			x	x		x			
<i>Lepotospermum scoparium</i>	New Zealand Tea Tree				x		x	x		
<i>Magnolia grandifolia 'Little Gem'</i>	Dwarf Southern Magnolia				x		x	x		
<i>Magnolia soulangiana 'Lilliputian'</i>	Dwarf Saucer Magnolia				x		x	x		
<i>Ceanothus 'Ray Hartman'</i>	Ray Hartman Wild Lilac				x	x	x			
<i>Cercis occidentalis</i>	Western Redbud				x	x	x	x		
<i>Heteromeles arbutifolia</i>	Toyon				x	x	x	x		
<i>Arbutus unedo</i>	Strawberry Tree				x		x	x		
<i>Malus floribunda</i>	Crabapple				x		x	x		
<i>Citrus - dwarf cultivars</i>					x		x			
<i>Fruit Trees - dwarf cultivars</i>					x		x			

SHRUBS										
<i>Carpenteria californica</i>	Bush Anemone			x		x	x	x		
<i>Ceanothus spp.</i>	Wild Lilac		x			x	x			
<i>Camelia sasanqua</i>	Apple Blossom		x				x	x	x	
<i>Chondropetalum tectorum</i>	Cape Rush					x				x
<i>Ribes sanguineum</i>	Pink Flowering Currant			x		x	x	x		
<i>Loropetalum chinense</i>	Fringe Flower					x				
<i>Hebe species</i>	Hebe			x	x		x	x		
<i>Mahonia aquifolium</i>	Oregon Grape		x			x	x	x		
<i>Phormium spp. (dwarf cultivars)</i>	Flax			x	x		x	x		
<i>Rhamnus californica cultivars</i>	Coffeeberry		x			x	x	x		
<i>Podocarpus gracilior</i>	Fern Pine			x		x	x			
<i>Viburnum suspensum</i>	Sandankwa Viburnum		x				x	x		

Botanical Name	Common Name	Street Trees								Notes
		Large	Medium	Small	Native	Full Sun	Part Sun/Shade	Full Shade	Rain Garden	
GROUNDCOVERS, PERENNIALS AND GRASSES										
<i>Anigozanthos flavidus</i>	Kangaroo Paws		x	x		x				
<i>Arctostaphylos 'Emerald Carpet'</i>	'Emerald Carpet' Manzanita			x	x	x				
<i>Arctostaphylos edmundsii 'Carmel Sur'</i>	'Carmel Sur' Manzanita			x	x	x				
<i>Arctostaphylos uva ursi 'Pt. Reyes'</i>	'Pt. Reyes' Manzanita			x	x	x	x			
<i>Berberis 'Crimson Pygmy'</i>	Burberry			x		x	x			
<i>Calamagrostis foliosa</i>	Pacific Reed Grass			x	x	x				
<i>Ceanothus griseus horizontalis</i>	Wild Lilac			x	x	x	x			
<i>Ceanothus gloriosus</i>	Point Reyes Ceanothus			x	x	x	x			
<i>Ceanothus 'Hearts Desire'</i>	Heart's Desire Ceanothus			x	x	x	x			
<i>Ceanothus 'Centennial'</i>	Centennial Lilac			x	x	x	x			
<i>Cotoneaster dammeri Lowfast' and 'Coral Beauty'</i>	Cotoneaster			x		x	x			
<i>Dymondia margaratae</i>	Dymondia			x		x	x			
<i>Erigeron species</i>	Seaside Daisy					x				
<i>Festuca rubra 'Molate'</i>	'Molate' Red Fescue			x	x	x	x		x	
<i>Festuca 'Siskiyou Blue'</i>	Fescue			x		x	x			
<i>Lavandula angustifolia 'Munstead'</i>	English Lavender			x		x				
<i>Lavandula ang. 'Hidcote Improved'</i>	'Hidcote' Lavender			x		x				
<i>Myoporum parvifolium</i>	Creeping Myoporum			x		x	x			
<i>Teucrium chamaedrys 'Nanum'</i>	Dwarf Germander			x		x				
<i>Iris PCH 'Canyon Snow'</i>	Pacific Coast Iris			x	x	x	x			
<i>Euphorbia characias</i>	Euphorbia		x			x				
<i>Lessingia filaginifolia 'Silver Carpet'</i>	Silver Carpet Beach Aster			x	x	x				
<i>Carex testacea</i>	New Zealand Sedge		x			x				
<i>Libertia grandiflora</i>	New Zealand Iris			x		x	x			
<i>Festuca glauca</i>	Blue Fescue			x	x	x				
<i>Agrostis pallens</i>	Bent Grass			x	x	x				Lawn substitute
<i>Carex pansa</i>	California Meadow Sedge			x	x	x				Lawn substitute
<i>Sesleria autumnalis</i>	Autumn Moor Grass			x	x	x				
<i>Carex divulsa</i>	Berkeley Sedge		x		x	x			x	
<i>Carex praegracilis</i>	Western Meadow Grass			x	x	x			x	
<i>Achillea spp.</i>	Yarrow		x			x				

APPENDIX C - APPROVED PLANT LIST

Botanical Name	Common Name	Street Trees								Notes
		Large	Medium	Small	Native	Full Sun	Part Sun/Shade	Full Shade	Rain Garden	
GROUNDCOVERS, PERENNIALS AND GRASSES										
<i>Aeonium</i> spp.	Canary Island Rose			x		x	x			
<i>Baccharis pilularis</i> 'Pigeon Pt.'	Dwarf Coyote Bush			x	x	x	x			
<i>Dietes</i> species	Fortnight Lily		x			x	x			
<i>Penstemon</i> spp.	Penstemon		x	x	x	x	x			
<i>Salvia greggii</i>	Salvia		x	x		x	x			
<i>Stachys byzantina</i>	Lamb's Ears			x	x	x	x			
<i>Zauschneria</i> spp.	California Fuchsia			x	x	x	x			
<i>Helictotrichon sempervirens</i>	Blue Oat Grass			x		x				
<i>Geranium</i> spp.	Geranium			x		x	x			
<i>Lantana sellowiana</i>	Lantana			x		x				
<i>Juncus patens</i>	California Gray Rush		x	x	x	x	x		x	
<i>Liriope muscari</i>	Lily Turf			x		x	x			
<i>Libertia peregrinans</i>	New Zealand Iris			x		x				

Botanical Name	Common Name	Street Trees								Notes
		Large	Medium	Small	Native	Full Sun	Part Sun/Shade	Full Shade	Rain Garden	
VINES										
<i>Clytostoma callistegioides</i>	Lavendar Trumpet vine					x	x			
<i>Ficus repens</i>	Creeping Fig					x	x			
<i>Hardenbergia violacea</i>	Lilac Vine					x	x			
<i>Mandevilla laxa</i>	Chilean Bower Vine					x	x			
<i>Rosa</i> spp.	Roses					x	x			
<i>Solanum jasminoides</i>	Potato Vine					x	x			
<i>Vitis californica</i>	California Grape				x	x	x			
<i>Calystegia macrostegia</i>	Coastal Morning Glory				x	x				
<i>Jasminum polyanthum</i>	Pink Jasmine					x	x			
<i>Gelsemium sempervirens</i>	Carolina Jessamine					x	x			
<i>Pandorea jasminoides</i>	Bower Vine					x	x			

PROHIBITED PLANT LIST

The following list of invasive species are prohibited. As information is constantly changing, this list may be updated from time to time. This list is derived from Cal-IPC.

Latin binomial / Common names

Acacia dealbata / Silver wattle
Acacia melanoxylon / Blackwood acacia
Acanthus mollis / Bears breech
Agapanthus spp. / Lily of the Nile
Ailanthus altissima / Ailanthus, Tree-of-heaven
Albizia julibrissen / Silk floss
Alhagi maurorum / Camelthorn
Aptenia cordifolia / Red apple, Baby sun rose
Arcotroche calendula / Capeweed, Cape dandelion
Arundo donax / Giant reed, Giant cane
Atriplex semibaccata / Australian saltbush
Avena barbata / Slender oat
Avena fatua / Wild oats
Bassia hyssopifolia / Five-hook bassia, Thorn orache
Bellardia trixago / Bellardia, Mediterranean linseed
Brassica spp. / Mustards
Bromus madritensis ssp. rubens / Foxtail chess
Bromus tectorum / Cheatgrass, Downy brome
Cardaria chalepensis / Lens-podded hoary cress
Cardaria draba / Heart-podded hoary cress, White-top
Cardaria pubescens / Hairy whitetop
Carduus spp. / Thistles
Carpobrotus edulis / Highway iceplant
Centaurea spp. / Hardheads, Knapweed

Centranthus rubra / Valarian
Cirsium spp. / Thistles
Cistus ladanifer / Crimson spot rock rose
Conicosia pugioniformis / Narrow-leafed iceplant
Conium maculatum / Poison hemlock
Cortaderia spp. / Pampasgrass
Cotoneaster spp. / Cotoneaster
Crataegus monogyna / Singleseed hawthorn
Cynara cardunculus / Artichoke thistle, Cardoon
Cytisus spp. / Broom
Delairea odorata / Cape ivy, German ivy
Digitalis purpurea / Foxglove
Dimorphotheca sinuata / African daisy
Drosantemum spp. / Ice plant
Echium candicans, E. fastuosum / Pride-of-Madeira
Egeria densa / Brazilian egeria
Ehrharta spp. / Veldtgrass
Eichhornia crassipes / Water hyacinth
Elaeagnus angustifolia / Russian olive, Oleaster
Elaeagnus pungenis / Silverberry
Erechtites spp. / Fireweed
Eucalyptus camaldulensis / Red gum
Eucalyptus globulus / Bluegum
Euphorbia spp. / Spurge
Festuca arundinacea / Tall fescue
Ficus carica / Edible fig, Common fig
Foeniculum vulgare / Fennel, Sweet anise
Gazania linearis / Gazania
Genista spp. / Broom
Halogeton glomeratus / Halogeton
Hedera helix / English ivy

APPENDIX C - APPROVED PLANT LIST

Hedera canariensis / Algerian ivy
Helichrysum petiolare / Licorice plant
Holcus lanatus / Common velvet grass
Hydrilla verticillata / Hydrilla, Water thyme
Hypericum spp. / St. John's Wort
Ilex aquifolium / English holly
Iris pseudacorus / Yellow flag iris
Juniperus spp. / Juniper
Lampranthus spp. / Ice plant
Lepidium latifolium / Perennial pepperweed
Leucanthemum vulgare / Ox-eye daisy
Ligustrum lucidum / Glossy privet
Ludwigia hexapetala / Creeping water primrose
Ludwigia peploides / California water primrose
Lythrum hyssopifolium / Hyssop loosestrife
Lythrum salicaria / Purple loosestrife
Malephora spp. / Ice plant
Marrubium vulgare / Horehound
Maytenus boaria / Mayten
Mentha pulegium / Pennyroyal
Mesembryanthemum spp. / Iceplant
Myoporum laetum / Ngaio tree
Myriophyllum aquaticum / Brazilian watermilfoil
Myriophyllum spicatum / Spike watermilfoil
Nandina spp. / Bamboo
Olea spp. / Olive
 *Except Fruitless cultivar 'Swan Hill'
Pennisetum spp. / Fountain grass
Pistacia chinensis / Chinese pistache
 *Except Fruitless cultivar 'Keith Davey'
Phalaris aquatica / Harding grass
Pittosporum spp. / Mock orange
Platanus acerifolia / Bloodgood plane tree
Pyracantha spp. / Firethorn
Retama monosperma / Bridal veil broom
Ricinus communis / Castor bean
Robinia pseudoacacia / Black locust
Rubus armeniacus / Himalayan blackberry
Saponaria officinalis / Bouncing bet
Schinus terebinthifolius / Brazilian pepper tree
Schismus spp. / Mediterranean grass, Arabian grass
Senecio jacobaea / Tansy ragwort, Ivy
Sesbania punicea / Scarlet wisteria
Silybum spp. / Thistles
Spartina spp. / Cord grass, Marsh grass
Spartina patens / Salt marsh hay
Stipa manicata / Tropical needlegrass
Taeniatherum caput-medusae / Medusahead
Tamarix parviflora / Tamarisk, Saltcedar
Ulex europaeus / Common gorse
Verbena bonariensis / Tall vervain
Verbascum spp. / Mullein
Vinca spp. / Periwinkle
Zantedeschia aethiopica / Calla lily

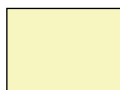
APPENDIX D

ADMIRALS RIDGE HILLSIDE GUIDELINES

The Admirals Ridge area includes 18 single family lots on the eastern edge of the project flanking Keller Ave. Due to the increased visibility of the 13 lots west of the road, special height standards will be applied (see section diagrams on facing page).



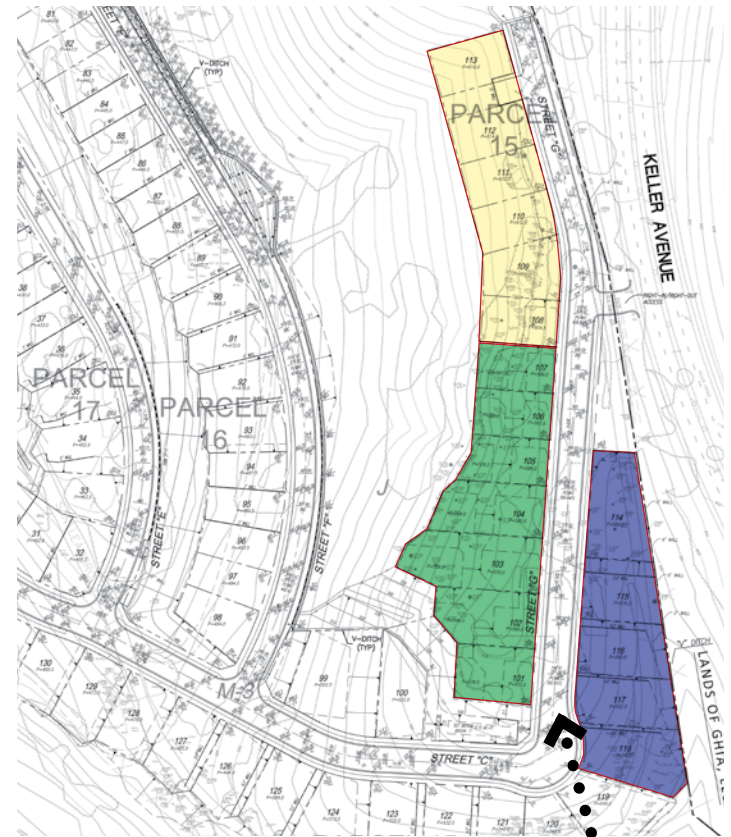
Terraced Lots. These lots have terraced building pads to better integrate into the hillside topography, height limits are applied as shown in figure 4.6.



Sloped Lots. These lots are located in the most visible area to the north and the majority of the area within the buildable envelope is sloped, height limits are applied as shown in figure 4.6.



Padded Lots. These lots are padded to allow for a full flat building site and are not located in the highly visible areas west of the road.



ADMIRALS RIDGE LOT TYPES



ADMIRALS RIDGE FOCUS AREA

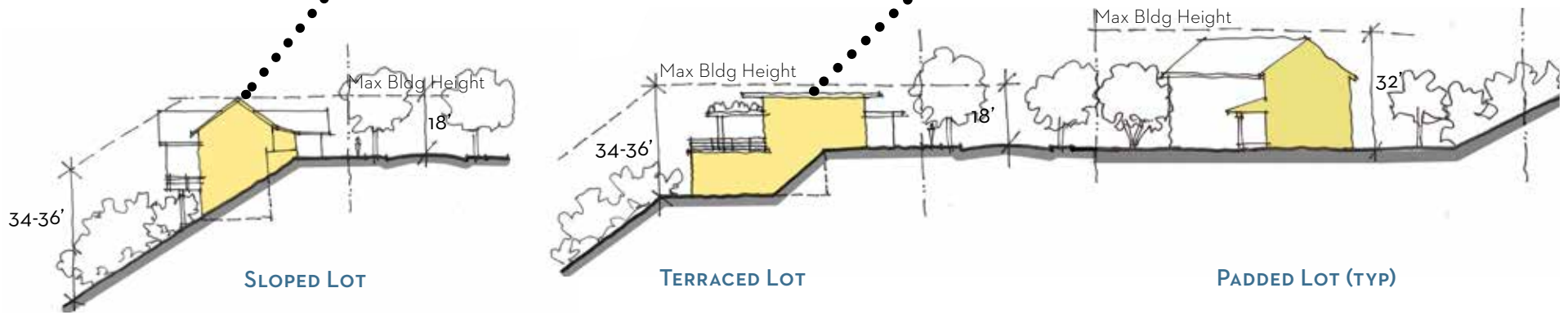


Figure 4.6: Section and Building Height diagrams at hillside lots.

DESIGN GUIDELINES COMPLIANCE MATRIX - PARCEL 24

Design Guideline	Compliance Analysis	Discussion
2.0 Planning Guidelines		
<i>2.1 Oak Knoll Neighborhoods</i>		
Retail Village area is designed as a modestly-sized gathering spot to provide basic needs to the community (such as groceries, restaurants, banking).	Not applicable	Parcel 24 is not located in a Retail Village. This guideline is intended for development that "a cluster of buildings at varying scales fronting a 'Principal Drive' and a 'Plaza.'"
Creekside Village neighborhoods are medium density residential areas laid out in the lowland areas flanking the restored Rifle Range Creek corridor.	Complies	Parcel 24 is located in the Creekside Village neighborhood.
The Uplands is the residential development designed to maximize views as well as provide a pleasing appearance as viewed from adjacent areas.	Not applicable	Parcel 24 is not located in The Upland neighborhood.
<i>2.2 Neighborhood Streetscape</i>		
High Visibility Façades -- Street Facing	Complies	Use of pop-outs, porches, and balconies were incorporated into high visibility facades to help break up the building plane and have been designed with the privacy of the homeowner in mind.
High Visibility Façades -- Open Space Facing	Complies	Use of pop-outs, porches, and balconies were incorporated into high visibility facades to help break up the building plane and have been designed with the privacy of the homeowner in mind.

DESIGN GUIDELINES COMPLIANCE MATRIX - PARCEL 24

Design Guideline	Compliance Analysis	Discussion
Architecture Diversity and 'The Monotony Code' - For each single-family detached lot type, there must be a minimum of three (3) unique floor plan types, with three (3) façade variations each.	Does not comply	There is minimal distinction between the facades of an architectural style. For instance, the Mission style has two façade variations – one with a shed roof over the front entry door or a porch across the front façade. This façade variation was also applied for the Craftsman architectural style.
A different porch or stoop type will be considered a façade variation;	Does not comply	Porches have little variation for each architectural style. Main difference in porch design is the size of the porch.
No two (2) detached homes of the same design may be repeated within two (2) adjacent lots on a given Block Face or a facing Block Face;	Complies	Homes were plotted to meet this guideline.
Homes on corner lots are encouraged to have architectural features such as wrap porches, side porches, or bay windows facing the secondary street.	Complies	The homes on the corner lots do not propose wrap around covered porches.
Both the front as well as side facing façade on corner lots will be considered High Visibility Facades.	Complies	Use of pop-outs, porches, and balconies were incorporated into high visibility facades to help break up the building plane and have been designed with the privacy of the homeowner in mind.
2.3 Commercial		
Building placement that reinforces the concept of the Plaza and orients and service areas away from the Plaza while keeping them screened from view from Mountain Blvd.	Not applicable	This is a proposal for a residential development.
70% glazing on facades directly fronting the plaza and 50% glazing on facades fronting pedestrian pathways.	Not applicable	This is a proposal for a residential development.

DESIGN GUIDELINES COMPLIANCE MATRIX - PARCEL 24

Design Guideline	Compliance Analysis	Discussion
Awning and trellis overhead canopies to provide outdoor shade and shaded gathering areas.	Not applicable	This is a proposal for a residential development.
Sidewalk widths at primary retail facades sufficient to provide tree planting, signage, furnishings, lighting, and outdoor seating areas where appropriate to adjacent retail use.	Not applicable	This is a proposal for a residential development.
Hardscape and Planting that reinforces the outdoor pedestrian realm, but provides equal access to vehicular traffic.	Not applicable	This is a proposal for a residential development.
Retail Plaza	Not applicable	This is a proposal for a residential development.
Architectural and Landscape Character - The Character of the Retail village should be inspired by the open-air neighborhood shopping districts typical to the Bay Area	Not applicable	This is a proposal for a residential development.
2.4 Townhomes		
Create a 'sense of address' and a front door for each unit by providing 'door yards,' gates, and access to public streets and paseos.	Not applicable	This is a proposal for detached alley homes, not townhomes.
All units should feature covered entry areas either in the form of a stopp or entry porch.	Not applicable	This is a proposal for detached alley homes, not townhomes.
Variation of design is encouraged and corner units should be treated differently than middle units.	Not applicable	This is a proposal for detached alley homes, not townhomes.
End facades should treated as high visibility and should feature windows, entries where appropriate, and other design features normally on the front façade.	Not applicable	This is a proposal for detached alley homes, not townhomes.
Odd numbers of units in a row are encouraged.	Not applicable	This is a proposal for detached alley homes, not townhomes.
Stepping between units is encouraged to provide private balconies and a varied building frontage as viewed from the street.	Not applicable	This is a proposal for detached alley homes, not townhomes.

DESIGN GUIDELINES COMPLIANCE MATRIX - PARCEL 24

Design Guideline	Compliance Analysis	Discussion
Landscape planting should be integrated in with streetscapes and provide screening for parking and alleys. Please refer to the Preliminary Development Plan for example designs for Paseos and Pocket Parks.	Not applicable	This is a proposal for detached alley homes, not townhomes.
2.5 Building Massing and Placement		
Building setback and height requirements are contained in Zoning Ordinance and vary according to lot size and building type. In addition to those standards, the intent of these guidelines is to address additional massing considerations such as ‘under the roof’ or ‘attic’ 1/2 stories, and setback garages. Massing, building setback and height are considered in more detail in the Architectural Guidelines.	Does not comply	The applicant seeks an exception to allow the garage face to be five feet from the front lot line.
2.5 (aka 2.6) Driveways and Garage Placement		
Driveways and garages within Oak Knoll should be designed to reinforce the dominance of a tree-lined streetscape...Refer to Chapter 4.0, Landscape Guidelines, for allowable paving materials for driveways.	Does not comply	The applicant seeks an exception to allow the garage face to be five feet from the front lot line.

DESIGN GUIDELINES COMPLIANCE MATRIX - PARCEL 24

Design Guideline	Compliance Analysis	Discussion
3.0 Architectural Guidelines		
3.1 The 'Bay Area' Regional Style		
Building which connect to and are inspired by the natural setting.	Complies	The alley homes are in earth tones and incorporate natural materials to blend connect with the natural setting.
Simple building mass with additive elements	Does not fully comply	The alley homes incorporate additive elements but the design remains boxy.
Natural materials (wood, stone, terra cotta, stucco)	Complies	Exterior materials such as wood, stucco, stone veneer and board and batten siding are proposed.
Subdued earth-tone paint colors and light colored stuccos.	Complies	The exterior colors incorporate earth-tone paint colors, stuccos, s-tiled roofs, and stone.
3.2 Architectural Style Matrix - By Family		
Arts & Crafts: Craftsman Bungalow; Shingle; Tudor; Arts and Craft	Complies	The proposal includes Craftsman styled alley homes.
Mediterranean: Spanish Colonial; Mission; Tuscan	Complies	The proposal includes Mission styled alley homes.
Californian: Farmhouse; California Modern (mid-century modern); California Contemporary	Complies	The proposal includes Farmhouse styled alley homes.
3.3 Massing - Primary Volumes		
<i>Building orientation</i>		
Secondary Volumes	Does not comply	The Craftsman Plan 1 home has a simple, single gable roof design.
Additive Building Elements	Does not comply	More additive elements should be incorporated at the sides of the homes.
3.4 Roofs		
Roof materials	Complies	Flat concrete tile, standing seam metal, s-tile roofs are proposed.

DESIGN GUIDELINES COMPLIANCE MATRIX - PARCEL 24

Design Guideline	Compliance Analysis	Discussion
Successful roof designs	Does not comply	The Craftsman Plan 1 home has a simple, single gable roof design.
Dormer sizing	Not applicable	The proposed architectural styles do not propose any dormers.
Dormer siding	Not applicable	The proposed architectural styles do not propose any dormers.
<i>3.5 High Visibility Façades</i>		
High Visibility Façades - Open Space - Use of porches and balconies are encouraged on these facades, and they should be designed with their visibility in mind, as well as the privacy of the homeowner	Complies	Porches and balconies have been included on high visibility façades of corner lots.
Corner lot façades - Corner lot façades shall have consistent details and elements on elevations facing both streets. The rhythm of openings established on the entry façade shall continue on the side façade that faces the street, and divided window patterns shall be consistent on both elevations.	Complies	Entrances that face the street and have been enhanced with high quality design elements such as stone veneer columns with wide pedestals to add to the exterior material changes for visual impact but the building plane could be further broken up.
Additive façade elements - Once the design of the High Visibility Facade openings has been determined, additive building elements like porches and dormers should follow the rhythm of the facade composition. Wraparound porches are encouraged on corner lots, as well as projected window bays. Porch columns should be spaced equally to either side of facade openings.	Complies	Porches and balconies have been included on high visibility façades of corner lots.

DESIGN GUIDELINES COMPLIANCE MATRIX - PARCEL 24

Design Guideline	Compliance Analysis	Discussion
Successful execution of second façade - Secondary Facades that successfully follow the above guidelines will support a composition of the Bay Area home that is balanced and continuous rather than one-sided and fragmented.	Complies	Follows design guidelines.
3.6 Openings - Windows		
Window types	Complies	Casement, single-hung, true or simulated divided lite windows with wood trim.
Window proportions and trim	Complies	The proposed design provides details on window proportions and trim and complies with this guideline.
Shutters - If shutters are incorporated in Primary Facades they should likewise be incorporated in High Visibility Facades.	Not applicable	This guideline does not apply. Shutters are not incorporated into the proposed designs. Shutters are listed as exterior materials for enhanced elevations, but they are not used as a design element.
3.7 Exterior Doors		
Exterior main entry doors can be flat or traditionally paneled doors. Please refer to the Architectural Style Matrix on page 30 for design recommendations by style.	Complies	Exterior main entry doors are traditionally paneled.
3.8 Porches and Stoops		
Types - The porch or stoop is the signature element of an Oak Knoll home. As such, all homes must have either a porch or stoop.	Complies	The proposed design complies with this guideline.
Porch Dimensions	Complies	The proposed design complies with this guideline.

DESIGN GUIDELINES COMPLIANCE MATRIX - PARCEL 24

Design Guideline	Compliance Analysis	Discussion
Porch Details	Complies	The proposed design complies with this guideline.
Stoops	Complies	The proposed design complies with this guideline.
Porch Materials	Complies	The proposed design complies with this guideline.
<i>3.9 Garages</i>		
Garage Dimensions	Complies	Each home has an attached garage able to accommodate 2 cars.
Garage Details	Complies	The proposed design complies with this guideline.
<i>3.10 Lighting</i>		
Architectural Lighting	Complies	Different porch lighting styles are proposed for each architectural style.

DESIGN GUIDELINES COMPLIANCE MATRIX - PARCEL 24

Design Guideline	Compliance Analysis	Discussion
4.0 Landscape Guidelines		
<i>4.1 Landscape Vision</i>		
<i>4.2 Streetscape Design</i>		
<i>4.3 Open Space Design</i>		
The existing grassland on the upper hillside and areas of existing preserved oak woodland are protected natural resources.	Not applicable	Not applicable to this parcel.
The lower hillside will be extensively planted as a restored oak woodland natural setting, consisting of several native oak species, Toyon and California Buckeye.	Not applicable	Not applicable to this parcel.
The restored Rifle Range Creek will be revegetated with an appropriate and diverse native plant community to recreate a natural setting that benefits wildlife, and includes a multi-use trail serving the community. Refer to Oak Knoll Mixed Use Community Development Project Regulatory Permit Application Package.	Not applicable	Not applicable to this parcel.
Tree mitigation occurs site-wide in a variety of locations. Refer to the Tree Removal Permit Package for recommended mitigation locations and species.	Not applicable	Not applicable to this parcel.
<i>4.4 Parks and Plaza Design Intent</i>		
The parks should emphasize use of native trees, shrubs, and groundcovers in both organic and formal settings. Refer to the Neighborhood Streetscape Plant List for Proposed Plants.	Complies	Plants proposed for the park are from the plant list.
Parks should incorporate community-wide furnishings and signage consistent with other design elements in the community.	Complies	Benches provided will be used in other neighborhoods for design consistency.
Parks should provide shaded seating areas, picnic tables, and trash receptacles.	Complies	Benches will be provided.
Hardscape areas should avoid asphalt and large expanses of concrete. Natural stone, pavers, high quality stamped concrete, and decomposed granite should be utilized in the appropriate settings.	Complies	Pedestrian paving will be color concrete with rock salt finish.

DESIGN GUIDELINES COMPLIANCE MATRIX - PARCEL 24

Design Guideline	Compliance Analysis	Discussion
A tot lot with play structures and picnic benches and lawn areas will be located at two locations and should include play equipment that is durable, safe, appropriately scaled, shaded and maintainable.	Not applicable	Not applicable
Recreation areas such as playfields and multi-use courts should employ high quality turf and/or hardscape surfaces. Site drainage shall be extensively utilized on playfields and other higher impact natural areas.	Not applicable	Not applicable
All fencing should be natural in character and follow these design guidelines, see Appendix B.	Complies	Fencing material follows design guidelines for acceptable material.
Parks should provide connections and wayfinding to the project-wide trail and bikeway system.	Complies	Parks connect to the sidewalk which lead to the trail and bikeway system.
Where public art is included in park settings, designers should coordinate with artists prior to park design to ensure art elements are well integrated, accessible and compliment other elements of the park design.	Not applicable	Not applicable
4.5 Community Trails and Recreation		
Emphasis is on use of natural materials and simple treatments that are indeed to integrate fully with the natural setting.	Not applicable	Not applicable to this parcel.
Use of reclaimed timber for benches, signage, and trail markers with opportunities to incorporate hand-crafted artisan designs.	Not applicable	Not applicable to this parcel.
Trails for Oak Knoll are classified as follows: Hiking Trails; Multi-Use Path (Walking/Running/Biking); Neighborhood Path; Bike Route	Not applicable	Not applicable to this parcel.
Location of the trails system should meet the following design objectives: Safety; Connectivity to on-site and off-site destinations; Diversity in a experiences and user types; conforms to site attributes, opportunities, and constraints.	Not applicable	Not applicable to this parcel.
4.6 Signage and Monumentation		

DESIGN GUIDELINES COMPLIANCE MATRIX - PARCEL 24

Design Guideline	Compliance Analysis	Discussion
The vision for the main entry monument on Mountain Boulevard and Keller Avenue is for a collection of native trees (oaks, manzanita, etc) in a naturalized composition with stone piers marking the entry. Community signage may be integrated into the piers similar to the tradition of the neighborhood street names at neighborhood entries.	Not applicable	Not applicable to this parcel.
4.7 Walls		
Site Retaining Walls		
The approved site retaining wall is: Pavestone 'Anchor Diamond Pro' Retaining Wall; Face Style; Straight; Color: Sandstone Blend.	Complies	The proposed design complies with this guideline.
4.8 Residential Landscape Design		
Oak Knoll landscapes and gardens are versatile, imaginative, and offer a range of expressions.	Complies	The proposed design complies with this guideline.
Landscapes encourage a relaxed, informal, and practical approach while accommodating contemporary lifestyles.	Complies	The proposed design complies with this guideline.
Landscapes are designed to respond to unique characteristics, such as lot configuration, topography, existing vegetation, and the design and location of the house and ancillary structures.	Complies	The proposed design complies with this guideline.
4.9 Single Family Residential		
Integrate the built environment with a dominant landscape	Complies	The proposed design complies with this guideline.
Blend landscapes between lots and neighborhood streets as a unified community landscape setting.	Complies	The proposed design complies with this guideline.
Establish a healthy, sustainable, and natural landscape environment.	Complies	The proposed design complies with this guideline.

DESIGN GUIDELINES COMPLIANCE MATRIX - PARCEL 24

Design Guideline	Compliance Analysis	Discussion
Prioritize front yard landscapes to reinforce neighborhood streets as livable, walkable places. The combination of front porches and front yard gardens within the private frontages activate the streetscape, and shall contribute to a consistent, high quality neighborhood landscape.	Complies	The proposed design complies with this guideline.
Low groundcovers have low water requirements and are composed in drifts, using selections from the Approved Plant (see Appendices).	Complies	Climate adapted and drought tolerant groundcover and low shrubs are proposed for ornamental planting.
Three general landscape zones have been defined for each home site: front yard zone, side yard zone, and rear yard zone.	Complies	The proposed design complies with this guideline.
Front yards on sloped lots guidelines: Front yard slopes may not exceed 2:1; Retaining walls, if used, should be terraced where possible and not exceed a maximum height as set forth in the Zoning Ordinance; and Retaining walls shall be integrated with shrub planting to soften and screen walls.	Complies	The proposed design complies with this guideline.
4.10 Side and Rear Yard Fencing		
All fencing may either slope with grades or adjust as vertical offset between panels. Offsets shall not exceed 12-inches.	Complies	Plans did not provide this information.
All fencing between adjoining lots shall have a height of 6-feet. Corner lots and end lots are encouraged to reduce fence heights at side yards to allow views with a minimum height of 4-feet.	Complies	Plans indicated 6-foot high wooden fencing is provided but hard to identify locations on plans.
All fencing shall be softened with flowering vines and shrubs to soften their visual appearance where visible from public areas.	Complies	The proposed design complies with this guideline.
A few upper hillside home sites with sloped rear yards in excess of 20% shall utilize the Approved Hillside Fence in the rear yard.	Not applicable	Not applicable to this parcel.
Lots with pools and spas require fencing and gates that meet all applicable codes.	Not applicable	Not applicable to this parcel.

DESIGN GUIDELINES COMPLIANCE MATRIX - PARCEL 24

Design Guideline	Compliance Analysis	Discussion
Typical side and rear yard fencing is a solid cedar or redwood fence with a stained finish.	Complies	Plans indicated 6-foot high wooden fencing is provided but hard to identify locations on plans.
For upland lots with rear yards with onsite and offsite visibility, rear yard fencing, if used, shall use the Approved Hillside Fence to ensure visual consistency.	Not applicable	Not applicable to this parcel.
4.11 Retaining Walls on Lots		
Use of stucco, brick, painted brick, or natural stone veneer may be used for site walls in front and side yards that are visible from public areas. Materials shall complement the building architecture.	Complies	Highland stone retaining walls will be used.
Wall heights shall be appropriate to context and shall not exceed 6 feet in height per code.	Complies	The proposed design complies with this guideline.
Tiered walls shall be integrated landscape design.	Complies	The proposed design complies with this guideline.
Tops of walls may either slope or step with the topography as required. Walls may slope at 1:8 maximum or use vertical offsets of 12-inch maximum.	Complies	The proposed design complies with this guideline.
Use of vines, trailing evergreen groundcovers and shrub massings are encouraged to soften walls.	Complies	The proposed design complies with this guideline.
Retaining walls in side and rear yards. Walls not closely associated with the architecture and not visible from public areas may use the Approved Standard Wall System described in the Appendices.	Not applicable	Not applicable to this parcel.
Retaining walls in rear yards shall be located a minimum of four feet from the property line to allow room for fencing.	Complies	The proposed design complies with this guideline.
Retaining walls and steps at front walkways are allowed to resolve site grading.	Complies	The proposed design complies with this guideline.

DESIGN GUIDELINES COMPLIANCE MATRIX - PARCEL 24

Design Guideline	Compliance Analysis	Discussion
The following retaining wall materials are allowed: brick; painted brick; natural stone veneer; approved concrete block wall system in rear and side yards (refer to Appendices); gabions; and pressure-treated wood.	Complies	Highland stone retaining walls will be used.
The following retaining wall materials are not allowed: railroad ties; metal cribs; and concrete pylons.	Does not fully comply	Highland stone retaining walls will be used.