

<b>Location:</b>	<b>5817 Shattuck Avenue</b>
<b>Assessor's Parcel Number:</b>	<b>015-1370-011-00</b>
<b>Proposal:</b>	To demolish existing structure (Dorsey's Locker) and construct a new 9-unit apartment development.
<b>Owner:</b>	Diller Capital
<b>Applicant:</b>	Jim Diller (650)269-4027
<b>Planning Permits Required:</b>	Major Conditional Use Permit for 7 or more residential units in the RM-4 Zone (9 units proposed); and Design Review for new construction.
<b>General Plan:</b>	Mixed Housing Residential
<b>Zoning:</b>	RM-4 Mixed Housing Residential Zone
<b>Environmental Determination:</b>	Exempt Section 15332; and Section 15183 of the CEQA Guidelines (projects consistent with a community plan, general plan, or zoning).
<b>Historic Status:</b>	Not a Potentially Designated Historic Property (PDHP); Survey Rating: N/A
<b>City Council District:</b>	1
<b>Status:</b>	Approved at the May 3, 2017 Planning Commission Meeting and referred to the Design Review Committee for further design refinements.
<b>Action to be Taken:</b>	Provide further design refinement comments.
<b>For Further Information:</b>	Contact case planner Maurice Brenyah-Addow at (510) 238-6342 or by email at <a href="mailto:mbrenyah@oaklandnet.com">mbrenyah@oaklandnet.com</a>

**Summary**

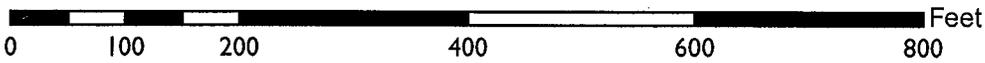
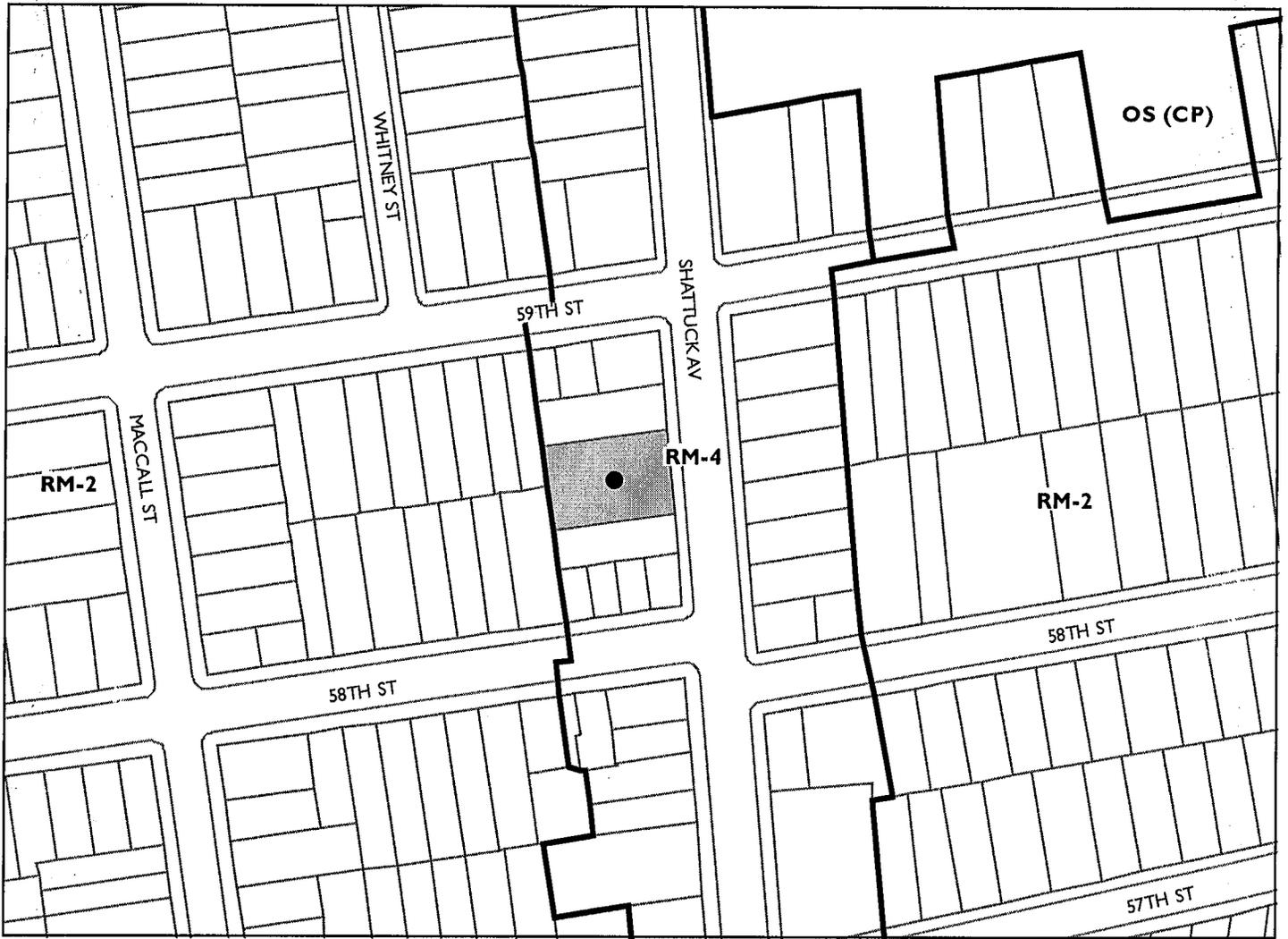
At the May 3, 2017 meeting, the Planning Commission approved the Major Conditional Use Permit application to demolish an existing structure (Dorsey's Locker) and construct a new 9-unit apartment development (May 3, staff report enclosed as Attachment B). The Commission referred the proposed design to the Design Review Committee for further design refinements, specifically requesting that the design be revised to better relate to the immediate architectural context.

The applicant has submitted a revised set of plans showing the originally proposed elevations and three other options of front elevation treatments for the Committee to consider (See page A0.5 of Attachment A).

Staff has the following comments about the form options:

- Option 1 – Not that different from the original design in terms of roof lines.
- Option 2 – Does not change the roof line but rather introduces angled elements that appear awkward
- Option 3 – Not that different from the original but begins to slant the foremost roofline down to minimize perceived bulk.

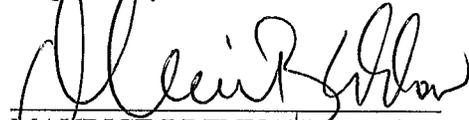
# CITY OF OAKLAND PLANNING COMMISSION



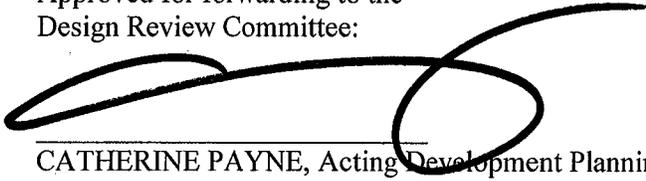
Case File: PLN17052  
Applicant: Jim Diller  
Address: 5817 Shattuck Avenue  
Zone: RM-4

In conclusion, staff supports Option 3 which applies a street-facing parapet that begins to gesture towards pitched roof of the adjacent structures recommend that the Committee provide further design refinement comments for the project.

Prepared By:

  
MAURICE BRENYAH-ADDOW  
Planner IV

Approved for forwarding to the  
Design Review Committee:



CATHERINE PAYNE, Acting Development Planning Manager  
Bureau of Planning

Attachments

- A Revised Plans
- B May 3, 2017 Staff Report



5817 SHATTUCK- FRONT FACADE OPTION 1











5817 SHATTUCK- NORTH WEST PERSPECTIVE



5817 SHATTUCK- SOUTH EAST PERSPECTIVE

&	AND	MTL	METAL
<	ANGLE, LESS THAN	(N)	NEW
>	ANGLE, GREATER THAN	NIC	NOT IN CONTRACT
@	AT	NOM	NOMINAL
/	PER	NTS	NOT TO SCALE
#	POUND OR NUMBER	D	DIAMETER
AB	ANCHOR BOLT	O/	OVER
ABV	ABOVE	OA	OVERALL
A/C	AIR CONDITIONING	OC	ON CENTER
AD	AREA DRAIN	OCEW	ON CENTER EACH WAY
ADJ	ADJUSTABLE	OD	OUTSIDE DIAMETER
AFF	ABOVE FINISHED FLOOR	OF	OUTSIDE FACE
AIA	AMERICAN INSTITUTE OF ARCHITECTS	OFCI	OWNER FURNISH, CONTRACTOR INSTALL
ALT	ALTERNATE	OH	OVERHANG
ALUM	ALUMINUM	OPP	OPPOSITE HAND
APPROX	APPROXIMATELY	OPNG	OPENING
ARCH	ARCHITECTURAL	OVID	OVERHEAD
ASPH	ASPHALT	PL	PLATE
AWG	AMERICAN WIRE GAGE	PLAM	PLASTIC LAMINATE
BD	BOARD	PLF	POUNDS PER LINEAL FOOT
BETW	BETWEEN	PLY	PLYWOOD
BLDG	BUILDING	PP	PAIR
BLKG	BLOCKING	PRCST	PRECAST
BM	BEAM	PSF	POUNDS PER SQUARE FOOT
BOF	BOTTOM OF FOOTING	PSI	POUNDS PER SQUARE INCH
BOT	BOTTOM	PT	PRESSURE TREATED WITH PRESERVATIVE
BUR	BUILT-UP ROOF	RD	ROOF DRAIN
C	CENTERLINE	REIN	REINFORCEMENT
CAB	CABINET	REQD	REQUIRED
CAR	COLD AIR RETURN	RESIL	RESILIENT
CB	CATCH BASIN	REV	REVISION OR REVISED
CC	CEMENT COATED	RH	RIGHT HAND
CEC	CALIFORNIA ENERGY COMMISSION	RJ	ROOF JOIST
CI	CAST IRON	RM	ROOM
CJ	CEILING JOIST	RO	ROUGH OPENING OR ROLL OUT
CLO	CLOSET	RS	RING SHANK
CLG	CEILING	RWD	REDWOOD
CMU	CONCRETE MASONRY UNIT	RWL	RAIN WATER LEADER
C.O.	CLEANOUT	SAD	SEE ARCHITECTURAL DRAWINGS
COAX	COAXIAL CABLE	SC	SOLID CORE
COL	COLUMN	SCHED	SCHEDULE
COMM	COMMUNICATION	SD	SMOKE DETECTOR
CONC	CONCRETE	SECT	SECTION
CONN	CONNECTION	SED	SEE ELECTRICAL DRAWINGS
CONST	CONSTRUCTION	SH	SHIELF
CONT	CONTINUOUS	SHT	SHEET
CONTR	CONTRACTOR	SIM	SIMILAR
CPTR	COMPUTER	SLD	SEE LANDSCAPE DRAWINGS
CU	CUBIC	SM	SHEET METAL
DBL	DOUBLE	SMD	SEE MECHANICAL DRAWINGS
DF	DOUGLAS FIR	SPD	SEE PLUMBING DRAWINGS
DET	DETAIL	SPEC	SPECIFICATION
DIA	DIAMETER	SPKR	SPEAKER
DIM	DIMENSION	SQ	SQUARE
DISP	DISPOSAL	SS	STAINLESS STEEL OR SANITARY
DIST	DISTRIBUTION	SSD	SEE STRUCTURAL DRAWINGS
DIV	DIVIDED OR DIVISION	STAGG'D	STAGGERED
DN	DOWN	STD	STANDARD
DR	DOOR	STL	STEEL
DSP	DOWNSPOUT	STRL	STRUCTURAL
DW	DISHWASHER	SUSP	SUSPEND (ED)
DWG	DRAWING	SYM	SYMMETRICAL
DWR	DRAWER	T & B	TOP & BOTTOM
EA	EACH	TC	TOP OF CURB
EAB	EXPANSION BOLT	T & G	TONGUE & GROOVE
EAF	EACH FACE	TEMP	TEMPERED
EJ	EXPANSION JOINT	THK	THICK
ELECT	ELECTRIC	TOB	TOP OF BEAM
ELEV	ELEVATION	TOC	TOP OF CONCRETE
EN	EDGE NAIL	TOF	TOP OF FOOTING
ENGR	ENGINEER	TOP	TOP OF PLATE
EQ	EQUAL	TOS	TOP OF STEEL
ES	EACH SIDE	TPH	TOILET PAPER HOLDER
EW	EACH WAY	TW, TOW	TOP OF WALL
(E) EXIST	EXISTING	TYP	TYPICAL
EXP	EXPANSION	UN	UNLESS OTHERWISE NOTED
EXT	EXTERIOR	VERT	VERTICAL
FB	FLAT BAR	VERT. GRAIN DOUG. FIR	(10 RING/IN. MIN.)
FD	FLOOR DRAIN	VIF	VERIFY IN FIELD
FDN	FOUNDATION	W/	WITH
FIN	FINISH	WC	WATER CLOSET
FJ	FLOOR JOIST	WD	WOOD
FL, FLR	FLOOR	WDW	WINDOW
FOC	FACE OF CONCRETE	WPF	WATERPROOF
FOF	FACE OF FINISH	WP'ING	WATERPROOFING
FOS	FACE OF STUD	WR	WALL REGISTER
FP	FIREPLACE OR FULL PENETRATION		
FR	FLOOR REGISTER		
FS	FAR SIDE		
FT	FOOT OR FEET		
FTG	FOOTING		
FURR	FURRING		
FUT	FUTURE		
G	GAS		
GA	GUAGE		
GALV	GALVANIZED		
GB	GRADE BEAM		
GEN	GENERAL		
GFI	GROUND FAULT INTERRUPTOR		
GI	GALVANIZED IRON		
GL	GLAZING OR GLASS		
GR	GRADE		
GSM	GALVANIZED SHEET METAL		
GYP	GYP SUM		
HB	HOSE BIBB		
HC	HOLLOW CORE		
HDC	HOT DIP GALVANIZED		
HDR	HEADER		
HORIZ	HORIZONTAL		
HT	HEIGHT		
HTR	HEATER		
HW	HOT WATER		
HHW	HOT WATER HEATER		
ID	INSIDE DIAMETER		
IF	INSIDE FACE		
IN	INCH		
INCL	INCLUDE		
INSUL	INSULATION		
INT	INTERIOR		
JST	JOIST		
JT	JOINT		
KD	KILN-DRIED		
LAV	LAVATORY		
LB	POUND		
LH	LEFT HAND		
LP	LOW POINT		
LT	LIGHT		
MAX	MAXIMUM		
MB	MACHINE BOLT		
MED	MEDIUM		
MEMB	MEMBRANE		
MEZZ	MEZZANINE		
MFR	MANUFACTURER		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MO	MASONRY OPENING		
MSRY	MASONRY		
MTD	MOUNTED		

**1 ABBREVIATIONS**

<b>GENERAL</b>	<b>DIMENSIONING</b>
	<b>BUILDING SECTION IDENTIFICATION</b>
	<b>EXTERIOR ELEVATION IDENTIFICATION</b>
	<b>INTERIOR ELEVATION IDENTIFICATION</b>
	<b>DATUM POINT</b>
	<b>CEILING HEIGHT</b>
	<b>SHEET NOTE</b>
	<b>ROOM IDENTIFICATION (SEE INTERIOR FINISH SCHEDULE FOR ALL FINISHES.)</b>
	<b>DRAWING REVISION (MOST RECENT IS CLOUDED; PRIOR REVISIONS ARE PERMANENT)</b>
<b>SCHEDULES</b>	<b>DOOR IDENTIFICATION (SEE DOOR/WINDOW SCHEDULE.)</b>
	<b>WINDOW TYPE (SEE DOOR/WINDOW SCHEDULE)</b>
	<b>WALL/PARTITION TYPE (SEE WALL SCHEDULE)</b>
	<b>APPLIANCE (SEE APPLIANCE SCHEDULE)</b>

**3 DRAWING SYMBOLS**

- ALL WORK SHALL CONFORM TO APPLICABLE CODES, REGULATIONS, LAWS AND ORDINANCES AS REQUIRED BY CODES AND REGULATIONS LISTED HEREIN AND AS REQUIRED BY THE STATE OF CALIFORNIA AND ALL RELEVANT REGULATORY BODIES.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY THE ARCHITECT PROMPTLY OF ANY DISCREPANCIES AND OBTAIN CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED WORK. FOLLOW NUMERICAL DIMENSIONS; DO NOT SCALE.
- FLOOR PLAN DIMENSIONS SHOWN ARE FACE OF FINISH AT NEW CONSTRUCTION.
- BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE AND THROUGHOUT THE COURSE OF WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE DOING THE WORK RELATED TO THAT BEING INSPECTED.
- BEFORE BEGINNING WORK AT THE SITE, INSPECT THE EXISTING SITE CONDITIONS AND DETERMINE THE EXTENT OF THE EXISTING FINISHES, SPECIALTIES, AND OTHER ITEMS WHICH MUST BE REMOVED AND INSTALLED IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT. COORDINATE AND MAKE THIS INSPECTION WITH THE OWNER.
- THE ARCHITECTURAL DRAWINGS SHOW PRINCIPLE AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SYSTEMS. SUCH WORK IS ALSO PART OF THIS CONTRACT.
- DO NOT DRILL OR CUT JOISTS, BEAMS, COLUMNS OR OTHER STRUCTURAL ELEMENTS UNLESS SPECIFICALLY INDICATED. MAKE OPENINGS OF PROPER SIZE FOR CONDUITS, DUCTS, PIPES, AND OTHER ITEMS PASSING THROUGH OPENINGS.
- WHERE "MATCH EXISTING" IS INDICATED, NEW CONSTRUCTION OR FINISHES, AS APPROPRIATE TO THE NOTE, SHALL MATCH TO THE SATISFACTION OF THE ARCHITECT.
- BEFORE BEGINNING WORK, CREATE AN ACCOUNT AT GREEN HALO TO MONITOR CONSTRUCTION AND DEMOLITION DEBRIS DISPOSAL. ENSURE THAT ALL DEBRIS DISPOSAL IS ACCOUNTED FOR ON PAPER RECEIPTS, WITH AMOUNT RECYCLED TRACKED.
- INDOOR PLUMBING: INSTALL WATER-EFFICIENT FIXTURES AND FITTINGS AS SUMMARIZED IN CALGREEN.
- PEST PROTECTION: ANNULAR SPACE AROUND PIPES, ELECTRICAL CABLES, CONDUITS, AND OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD FOR PROTECTION AGAINST RODENTS.
- CONTRACTOR TO VERIFY THAT WALL AND FLOOR FRAMING DOES NOT EXCEED 19% MOISTURE CONTENT PRIOR TO ENCLOSURE IN COMPLIANCE WITH CALGREEN 4.505.3.
- HVAC SYSTEM TO BE DESIGNED AND INSTALLED TO ACCA MANUAL J, D, AND S.
- HVAC INSTALLER TO BE TRAINED AND CERTIFIED VIA A STATE CERTIFIED APPRENTICESHIP PROGRAM, PUBLIC UTILITY TRAINING PROGRAM, OR OTHER PROGRAM ACCEPTABLE TO THE BUILDING SERVICES DIVISION.
- DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING ALL PHASES OF CONSTRUCTION WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM.
- ALL MATERIALS TO MEET MANDATORY REQUIREMENTS OF CALGREEN.

**2 GENERAL NOTES**

ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES AND THE CODES LISTED BELOW:

**2016 CALIFORNIA CODES**

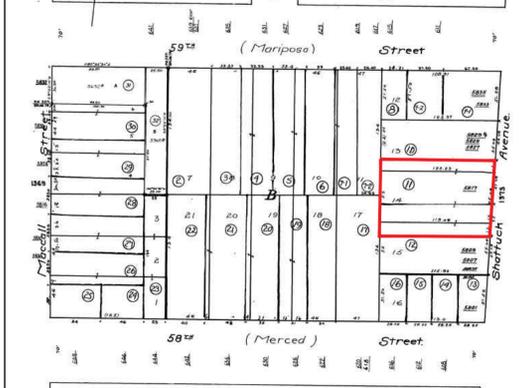
- 2016 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, CBSC
- 2016 CALIFORNIA BUILDING CODE (CBC), PART 2 CBSC (2012 IBC & CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, CBSC (2011 NATIONAL ELECTRICAL CODE & CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, CBSC (2012 UNIFORM PLUMBING CODE & CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA ENERGY CODE (CPC), PART 6, CBSC
- 2016 CALIFORNIA HISTORICAL BUILDING CODE, PART 8, CBSC
- 2016 CALIFORNIA FIRE CODE, PART 9, CBSC (2012 INTERNATIONAL FIRE CODE & CALIFORNIA AMENDMENTS)
- TITLE 19 C.C.R., PUBLIC SAFETY, SFM REGULATIONS
- 2016 CALIFORNIA MECHANICAL CODE
- NFPA 72 (2013)
- NFPA 13 (2013)

**OAKLAND AMENDMENTS**

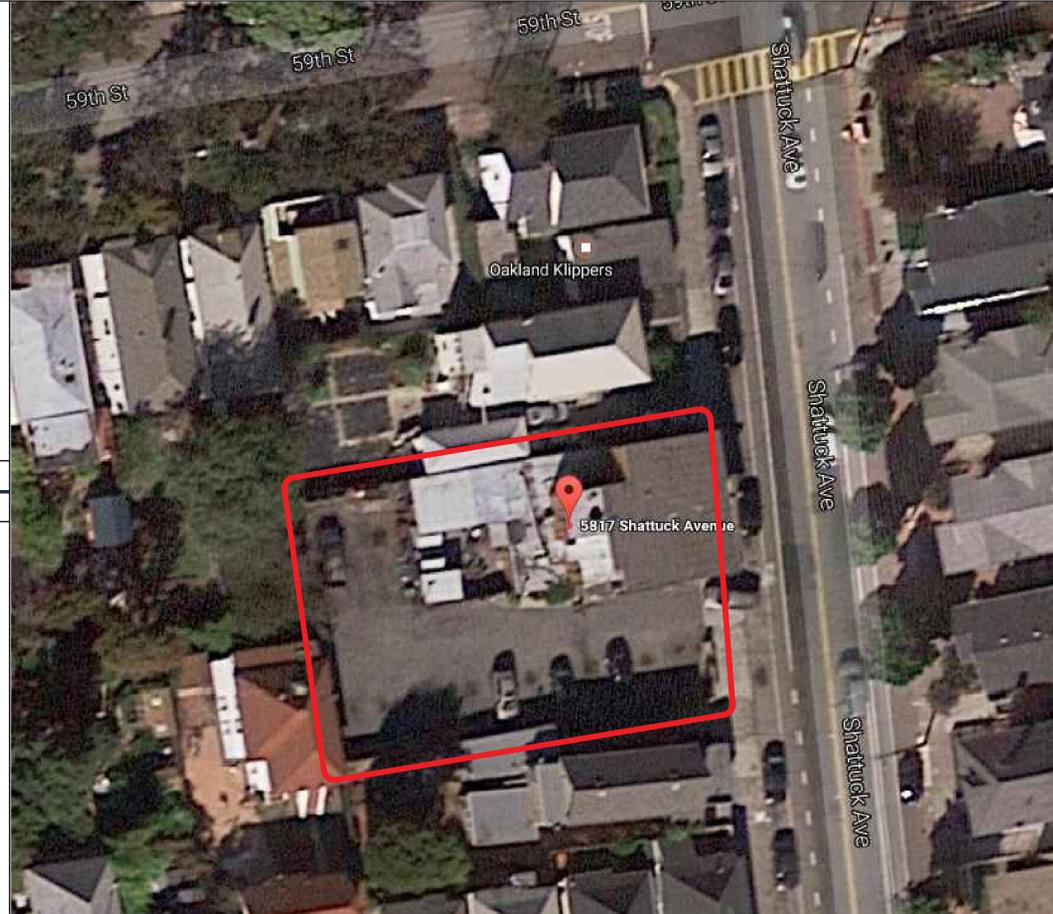
- 2013 OAKLAND BUILDING CONSTRUCTION CODE
- 2010 SUSTAINABLE GREEN BUILDING REQUIREMENTS FOR PRIVATE DEVELOPMENT

**APPLICABLE FEDERAL CODES & STANDARDS:**  
TITLE 11: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)

**5 APPLICABLE CODES**



**4 ASSESSOR'S MAP**

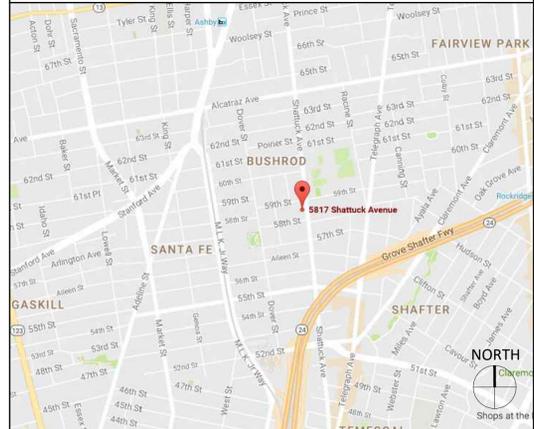


**8 AERIAL PHOTO NOT TO SCALE**

<b>OWNER:</b>	DILLER CAPITAL JIM DILLER, PRINCIPAL PO BOX 620341 WOODSIDE, CA 94062 TEL: 650.269.4027 EMAIL: jim@dillercapital.com
<b>PROJECT MANAGER/G.C.:</b>	HOWARD CONSTRUCTION KEVIN SMITH 2434 FENDER AVE. SUITE H FULLERTON, CA 92831 TEL: 714.242.9631 EMAIL: ksmith@howard-const.com
<b>ARCHITECT:</b>	CARRIE SHORES DILLER LARSON SHORES ARCHITECTURE + INTERIORS 1940 UNION STREET #22 OAKLAND, CA 94607 TEL: 510.444.9788 EMAIL: carrie@larsonshores.com
<b>ENGINEER:</b>	KEVIN TREAT KPW STRUCTURAL ENGINEERS 55 HARRISON STREET #550 OAKLAND, CA 94607 TEL: 510.208.3300 EMAIL: treat@kpwise.com

<b>ARCHITECTURAL:</b>	A0.0 PROJECT INFORMATION A0.1 CODE SUMMARY & SITE LAYOUT DIAGRAMS A0.2 SHADOW STUDY A0.3 SHADOW STUDY A0.4 RENDERINGS A0.5 RENDERINGS A0.6 GREEN POINT RATED CHECKLIST A1.0 PROPOSED SITE PLAN A2.1 PROPOSED OVERALL FIRST FLOOR PLAN A2.2 PROPOSED OVERALL SECOND FLOOR PLAN A2.3 PROPOSED OVERALL THIRD FLOOR PLAN A2.4 PROPOSED ROOF PLAN A3.0 PROPOSED EXTERIOR EAST & SOUTH ELEVATIONS A3.1 PROPOSED EXTERIOR WEST & NORTH ELEVATIONS A3.2 STREET CONTEXT ELEVATIONS A4.0 PROPOSED BUILDING SECTIONS
<b>LANDSCAPE:</b>	L.1 FIRST FLOOR LAYOUT PLAN L.2 THIRD FLOOR LAYOUT PLAN L.3 LAYOUT NOTES AND DETAILS L.4 FIRST FLOOR PLANTING PLAN L.5 FIRST FLOOR PLANTING PLAN L.6 FIRST FLOOR IRRIGATION PLAN 1/2 L.7 FIRST FLOOR IRRIGATION PLAN 2/2 L.8 THIRD FLOOR IRRIGATION PLAN L.9 IRRIGATION CALCULATIONS AND NOTES

**7 PROJECT TEAM**



**6 LOCATION MAP NOT TO SCALE**

**10 SHEET INDEX**

DESCRIPTION OF WORK: DEMOLISH EXISTING RESTAURANT, REPLACE WITH NINE-UNIT MULTIFAMILY RESIDENTIAL WITH ON-SITE PARKING.

ADDRESS:	5817 SHATTUCK AVE
ZONING DESIGNATION:	RM-4
APN:	015-1370-011-00
ACTUAL SITE AREA (SF):	10,077.85 SF
PROPOSED FLOOR AREA:	16,719 SF
PROPOSED NUMBER OF STORIES:	3
PROPOSED ON-SITE PARKING:	9 SPACES
PROPOSED BUILDING HEIGHT:	33'-8"
FIRE SPRINKLERS:	YES
CONSTRUCTION TYPE:	VA
EXISTING STRUCTURE:	EXISTING RESTAURANT TO BE DEMOLISHED
YEAR OF CONSTRUCTION:	UNKNOWN
OCHS RATING:	NONE

**9 PROJECT DATA**

**LARSON SHORES ARCHITECTURE AND INTERIORS**

**ARCHITECT:**  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES DILLER

**OWNER:**  
DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94062  
JIM@DILLERCAPITAL.COM



**DEVELOPMENT 5817 SHATTUCK AVE OAKLAND, CA 94609**

**SUBMITTAL:**  
PLANNING PERMIT SET  
APRIL 2019

**REVISIONS:**

#	DATE	DESCRIPTION
1	04/18/2019	PLAN MODIFICATIONS

**SHEET TITLE:**

These drawings, specifications, ideas, designs, and arrangements presented thereby are and shall remain the property of Larson Shores Architecture + Interiors. No part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they were prepared and developed without the written consent of Larson Shores Architecture + Interiors. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

**PROJECT INFORMATION**

**SHEET NUMBER:**  
**A0.0**

# CODE ANALYSIS

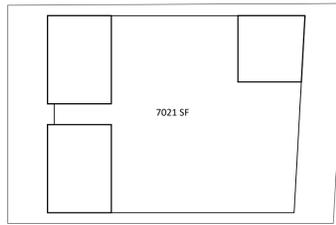
## PERMITTED DENSITY

OMC TABLE 17.17.03: PROPERTY DEVELOPMENT STANDARDS

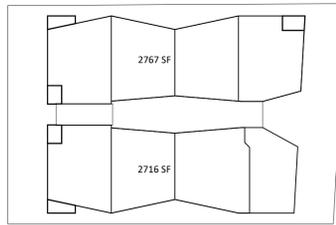
CONDITIONALLY PERMITTED DENSITY (ONLY FOR LOTS 4,000 SF. OR GREATER): FOR 5 OR MORE UNITS, 1 UNIT PER 1,100 SF. OF LOT AREA

LOT SIZE: 10,281 SF / (1 UNIT / 1100 SF) = 9 UNITS

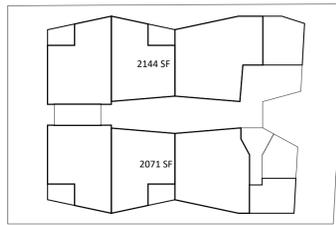
GROSS SQUARE FOOTAGE (FLOOR AREA): 16,719 SF



FIRST FLOOR



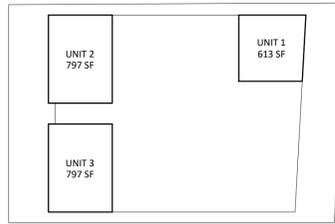
SECOND FLOOR



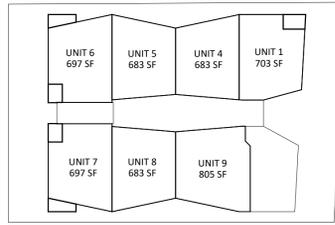
THIRD FLOOR

FLOOR	PERMITTED FLOOR AREA	GROSS SQUARE FOOTAGE
1	NO LIMIT	7021 SF
2	NO LIMIT	5483 SF
3	NO LIMIT	4215 SF
<b>TOTAL</b>		<b>16,719 SF</b>

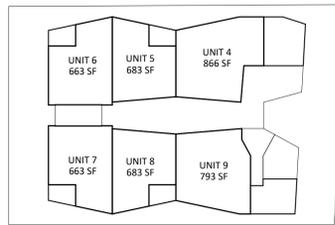
## FLOOR AREA & OPEN SPACE



FIRST FLOOR



SECOND FLOOR



THIRD FLOOR

### PROPOSED UNIT SIZES:

UNIT #	FLOOR AREA	PRIVATE OPEN SPACE	TOTAL
1	1316 SF	345 SF	1661 SF
2	797 SF	641 SF	1438 SF
3	797 SF	640 SF	1437 SF
4	1549 SF	270 SF	1819 SF
5	1366 SF	71 SF	1437 SF
6	1360 SF	150 SF	1510 SF
7	1360 SF	150 SF	1510 SF
8	1366 SF	71 SF	1437 SF
9	1598 SF	214 SF	1812 SF

## RECYCLING AND TRASH

OMC 17.118.030 - RECYCLING SPACE ALLOCATION REQUIREMENTS. THE DESIGN, LOCATION AND MAINTENANCE OF RECYCLING COLLECTION AND STORAGE AREAS MUST SUBSTANTIALLY COMPLY WITH THE PROVISIONS OF THE OAKLAND CITY PLANNING COMMISSION "GUIDELINES FOR THE DEVELOPMENT AND EVALUATION OF RECYCLING COLLECTION AND STORAGE AREAS," AS THEY MAY BE AMENDED. IN ADDITION, SPACE DEVOTED TO THE COLLECTION AND STORAGE OF RECYCLABLE MATERIALS SHALL BE ADEQUATE IN CAPACITY, NUMBER AND DISTRIBUTION TO SERVE THE AFFECTED DEVELOPMENT.

A. SPACE ALLOCATED FOR RECYCLING COLLECTION AND STORAGE AREAS WITHIN AFFECTED RESIDENTIAL PROJECTS SHALL BE PROVIDED IN THE AMOUNT OF TWO CUBIC FEET OF STORAGE AND COLLECTION SPACE PER RESIDENTIAL UNIT, WITH A MINIMUM REQUIREMENT THAT NOT LESS THAN TEN CUBIC FEET BE PROVIDED.



EACH UNIT PROVIDED WITH TRASH BIN AREA WITH MIN. 58 CUFT. SUFFICIENT TO HOLD 3 LARGE ROLLING BINS FOR TRASH, RECYCLING, AND COMPOSTABLES, TO BE PLACED AT THE CURB FOR COLLECTION WEEKLY BY OCCUPANT.

REQUIRED COLLECTION AREA: 16,608 GROSS SF / 1000 = 17 CUFT

PROVIDED COLLECTION AREA: 58 CUFT X 9 UNITS = 522 CUFT

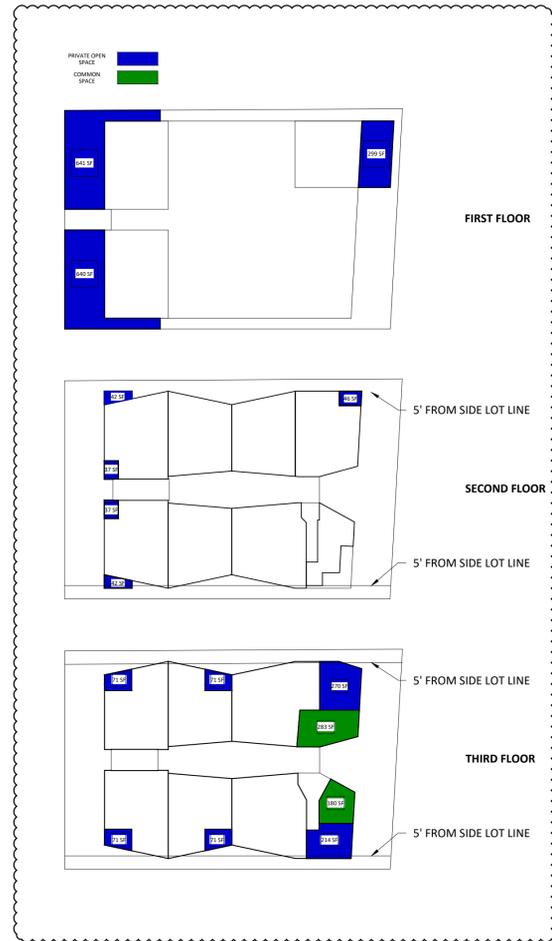
## GROUP & PRIVATE USABLE OPEN SPACE

OMC 17.126.030 - GROUP USABLE OPEN SPACE. ALL REQUIRED GROUP USABLE OPEN SPACE SHALL CONFORM TO THE FOLLOWING STANDARDS:  
C. SIZE AND SHAPE. AN AREA OF CONTIGUOUS SPACE SHALL BE OF SUCH SIZE AND SHAPE THAT A RECTANGLE INSCRIBED WITHIN IT SHALL HAVE NO DIMENSION LESS THAN FIFTEEN (15) FEET.

OMC 17.126.040 - PRIVATE USABLE OPEN SPACE. ALL REQUIRED PRIVATE USABLE OPEN SPACE SHALL CONFORM TO THE FOLLOWING STANDARDS:  
B. LOCATION. THE SPACE MAY BE LOCATED ANYWHERE ON THE LOT, EXCEPT THAT GROUND-LEVEL SPACE SHALL NOT BE LOCATED IN A REQUIRED MINIMUM FRONT YARD AND EXCEPT THAT ABOVE-GROUND-LEVEL SPACE SHALL NOT BE LOCATED WITHIN FIVE (5) FEET OF AN INTERIOR SIDE LOT LINE.  
C. SIZE AND SHAPE. AN AREA OF CONTIGUOUS GROUND-LEVEL SPACE SHALL BE OF SUCH SIZE AND SHAPE THAT A RECTANGLE INSCRIBED WITHIN IT SHALL HAVE NO DIMENSION LESS THAN TEN (10) FEET. AN AREA OF ABOVE-GROUND-LEVEL SPACE SHALL BE OF SUCH SIZE AND SHAPE THAT A RECTANGLE INSCRIBED WITHIN IT SHALL HAVE NO DIMENSION LESS THAN FIVE (5) FEET.  
F. ENCLOSURE. GROUND-LEVEL SPACE SHALL BE SCREENED FROM ABUTTING LOTS, STREETS, ALLEYS, AND PATHS, FROM ABUTTING PRIVATE WAYS, AND FROM OTHER AREAS ON THE SAME LOT BY A BUILDING WALL, BY DENSE LANDSCAPING NOT LESS THAN FIVE AND ONE-HALF (5½) FEET HIGH AND NOT LESS THAN THREE (3) FEET WIDE, OR BY A SOLID OR GRILLE, LUMBER OR MASONRY FENCE OR WALL NOT LESS THAN FIVE AND ONE-HALF (5½) FEET HIGH.

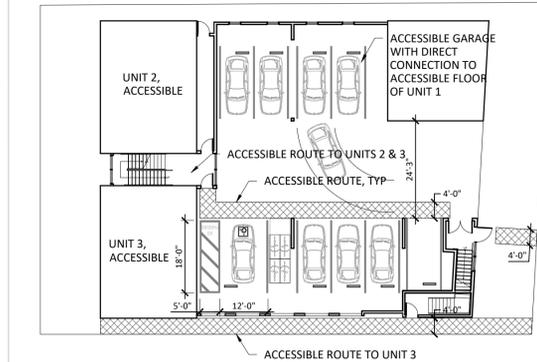
MINIMUM OPEN SPACE	RM-4
GROUP OPEN SPACE PER REGULAR UNIT	175 SF
OMC 17.126.020 - SUBSTITUTION OF PRIVATE SPACE FOR GROUP SPACE. EACH ONE (1) SQUARE FOOT OF PRIVATE USABLE OPEN SPACE CONFORMING TO THE PROVISIONS OF SECTION 17.126.040 SHALL BE CONSIDERED EQUIVALENT TO TWO (2) SQUARE FEET OF REQUIRED GROUP USABLE OPEN SPACE AND MAY BE SO SUBSTITUTED, SUBJECT TO ANY MINIMUM REQUIREMENTS FOR ACTUAL GROUP SPACE PRESCRIBED IN THE APPLICABLE INDIVIDUAL ZONE REGULATIONS.	
MINIMUM GROUP OPEN SPACE PER REGULAR UNIT WHEN PRIVATE OPEN SPACE SUBSTITUTED	70 SF
TOTAL REQUIRED GROUP OPEN SPACE (FOR 9 UNITS= 175 SF X 9)	1575 SF
COMMON SPACE PROVIDED (283 SF + 180 SF)	463 SF
REMAINING NEEDED (1575 SF- 463 SF)	1112 SF
PROVIDE AS PRIVATE (OMC 17.126.020), 1112 SF/2	556 SF
MINIMUM PRIVATE ONE SPACE NEEDED FOR EA. UNIT (556 SF / 9)	62 SF *

\* SEE PROPOSED UNIT SIZES TABLE IN ADJACENT COLUMN, MINIMUM PRIVATE OPEN SPACE PROVIDES 71 SF.



## HOUSING ACCESSIBILITY

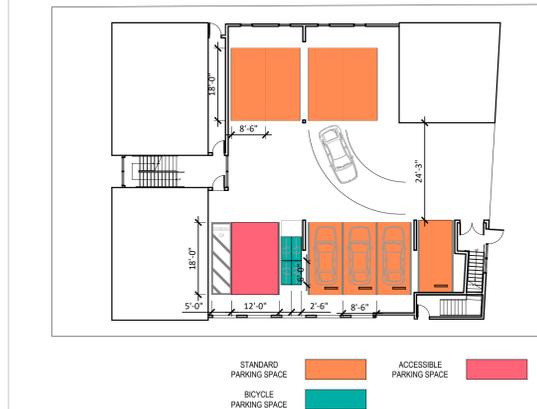
CODE REQUIREMENT	# UNITS REQUIRED	UNITS COMPLYING
1102A.3.1 MULTISTORY APARTMENT OR CONDOMINIUM DWELLINGS IN BUILDINGS WITH NO ELEVATOR: AT LEAST 10 PERCENT BUT NOT LESS THAN ONE OF THE MULTI-STORY DWELLINGS IN APARTMENT BUILDINGS WITH 3 OR MORE DWELLING UNITS AND/OR CONDOMINIUMS WITH 4 OR MORE DWELLING UNITS SHALL COMPLY WITH THE FOLLOWING:		
1. THE PRIMARY ENTRY TO THE DWELLING UNIT SHALL BE ON AN ACCESSIBLE ROUTE	1	1, 2, & 3 (3 UNITS COMPLY)
2. AT LEAST ONE ACCESSIBLE POWDER ROOM OR BATHROOM SHALL BE LOCATED ON THE PRIMARY ENTRY LEVEL, SERVED BY AN ACCESSIBLE ROUTE	1	1, 2, & 3 (3 UNITS COMPLY)
3. ALL ROOMS OR SPACES LOCATED ON THE PRIMARY ENTRY LEVEL SHALL BE SERVED BY AN ACCESSIBLE ROUTE AND SHALL BE ACCESSIBLE	1	1 & 2, UNIT 3 COMPLIES ON FIRST FLOOR (3 UNITS COMPLY)
CBC 1104A.1 ALL GROUND-FLOOR DWELLING UNITS IN NON-ELEVATOR BUILDINGS SHALL BE ADAPTABLE AND ON AN ACCESSIBLE ROUTE		
CBC 1117A.3 WHEN A GROUND FLOOR DWELLING UNIT OF A BUILDING HAS A SEPARATE ENTRANCE, EACH SUCH GROUND-FLOOR DWELLING UNIT SHALL BE SERVED BY AN ACCESSIBLE ROUTE	3	1 & 2, UNIT 3 COMPLIES ON FIRST FLOOR (3 UNITS COMPLY)



## PARKING

	ZONE	REQUIREMENT
MULTIFAMILY DWELLING	ANY OTHER ZONE, EXCEPT WHEN COMBINED WITH THE S-12 ZONE	ONE (1) SPACE FOR EACH DWELLING UNIT.
SPACES PROVIDED		9

CODE REQUIREMENT	CALCULATION	PROVIDED
CBC 1109A.4 ASSIGNED ACCESSIBLE PARKING SPACES. WHEN ASSIGNED PARKING SPACES ARE PROVIDED FOR A RESIDENT OR A GROUP OF RESIDENTS, AT LEAST 2 PERCENT OF THE ASSIGNED PARKING SPACES SERVING COVERED MULTIFAMILY DWELLING UNITS SHALL BE ACCESSIBLE IN EACH TYPE OF PARKING FACILITY. AT LEAST ONE SPACE OF EACH TYPE OF PARKING FACILITY SHALL BE MADE ACCESSIBLE EVEN IF THE TOTAL NUMBER EXCEEDS 2 PERCENT.	2% OF 9 SPACES = 0.18 SPACES (1 SPACE)	1 ACCESSIBLE STALL PARKING SPACE
		4 ACCESSIBLE PRIVATE GARAGE SPACES



## BICYCLE PARKING

OMC 17.117.090 - REQUIRED BICYCLE PARKING—RESIDENTIAL ACTIVITIES

	LONG-TERM BICYCLE PARKING REQUIREMENT	SHORT-TERM BICYCLE PARKING REQUIREMENT
4) MULTIFAMILY DWELLING		
A) WITH PRIVATE GARAGE FOR EACH UNIT	NO SPACES REQUIRED	1 SPACE FOR EACH 20 DWELLING UNITS. FOR D-BV ZONES, 1 SPACE FOR EACH 15 DWELLING UNITS. MINIMUM CITYWIDE REQUIREMENT IS 2 SPACES.
B) WITHOUT PRIVATE GARAGE FOR EACH UNIT.	1 SPACE FOR EACH 4 DWELLING UNITS. FOR D-BV ZONES, 1 SPACE FOR EACH 2 DWELLING UNITS. MINIMUM CITYWIDE REQUIREMENT IS 2 SPACES.	1 SPACE FOR EACH 20 DWELLING UNITS. FOR D-BV ZONES, 1 SPACE FOR EACH 15 DWELLING UNITS. MINIMUM CITYWIDE REQUIREMENT IS 2 SPACES.
SPACES PROVIDED	2	2

# LARSON SHORES ARCHITECTURE AND INTERIORS

ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES DILLER

OWNER:  
DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94062  
JIM@DILLERCAPITAL.COM



# DEVELOPMENT 5817 SHATTUCK AVE OAKLAND, CA 94609

SUBMITTAL:  
**PLANNING PERMIT SET  
APRIL 2019**

#	DATE	DESCRIPTION
1	04/18/2019	PLAN MODIFICATIONS

These drawings, specifications, ideas, designs, and arrangements presented hereby are and shall remain the property of Larson Shores Architecture + Interiors. No part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they were prepared and developed without the written consent of Larson Shores Architecture + Interiors. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

SHEET TITLE:

## CODE SUMMARY & SITE LAYOUT DIAGRAMS

SHEET NUMBER:

# A0.1

ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
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**DEVELOPMENT  
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OAKLAND, CA 94609**

SUBMITTAL:  
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APRIL 2019**

REVISIONS:

#	DATE	DESCRIPTION
1	04/18/2019	PLAN MODIFICATIONS

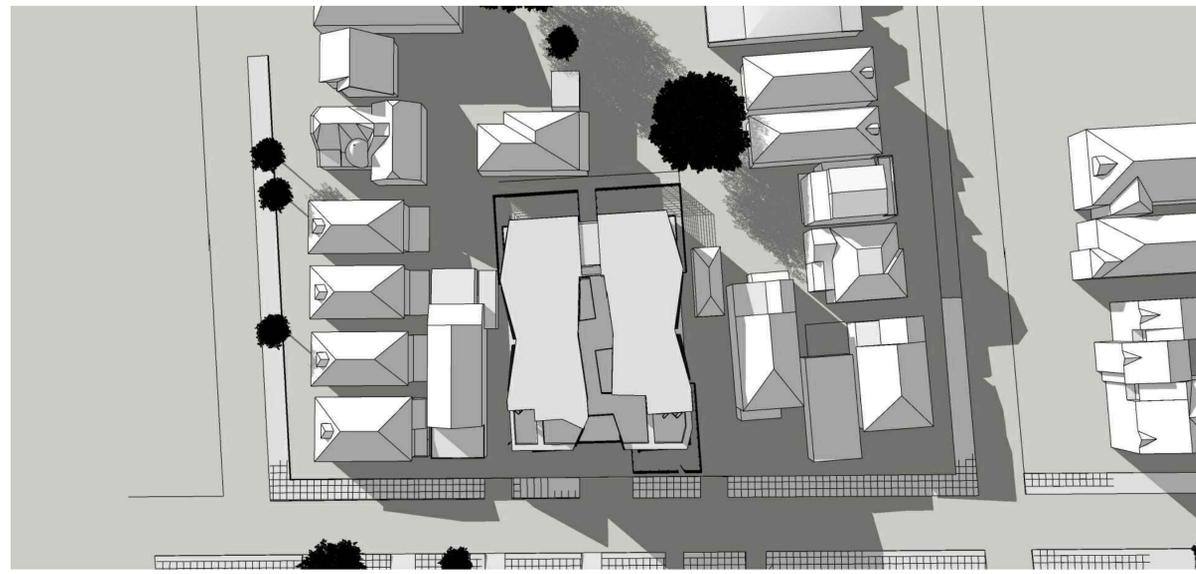
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SHEET TITLE:

**SHADOW  
STUDY**

SHEET NUMBER:

**A0.2**



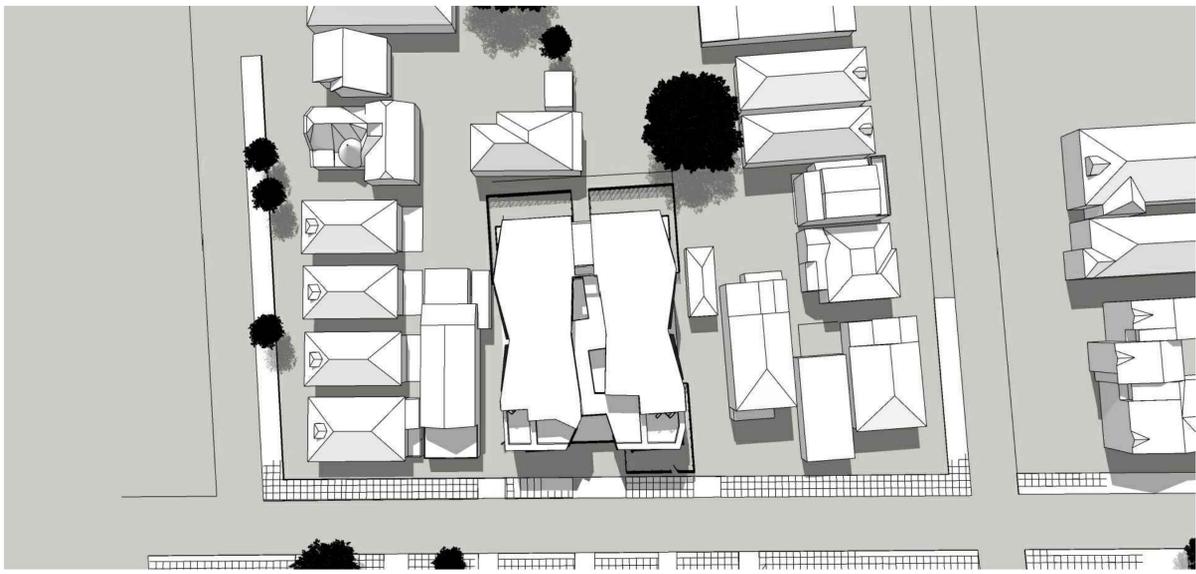
⑥ 3PM, DECEMBER 21



⑤ 12 PM, DECEMBER 21



④ 9 AM, DECEMBER 21



③ 3PM, JUNE 21



② 12 PM, JUNE 21



① 9 AM, JUNE 21

ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
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OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES DILLER

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**DEVELOPMENT  
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SHEET TITLE:

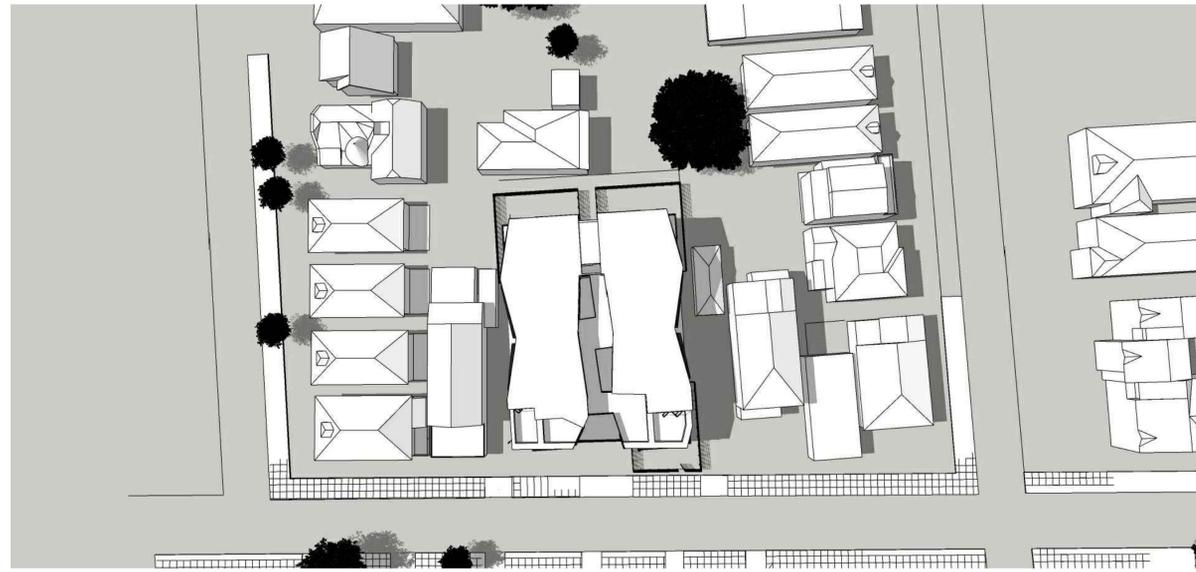
**SHADOW  
STUDY**

SHEET NUMBER:

**A0.3**



**6** 3PM, SEPTEMBER 23



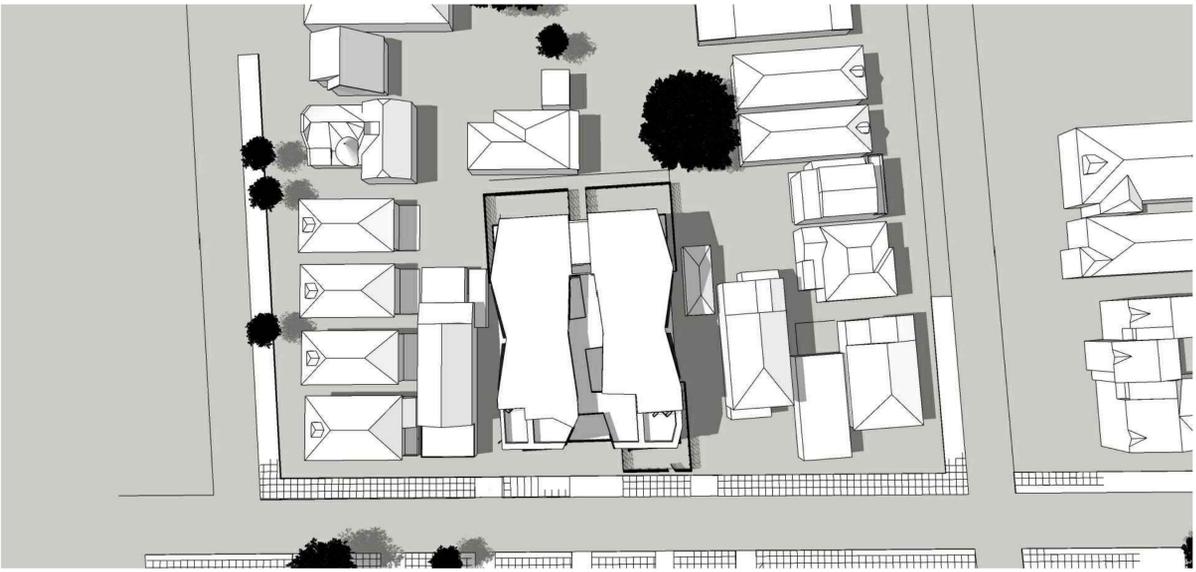
**5** 12 PM, SEPTEMBER 23



**4** 9 AM, SEPTEMBER 23



**3** 3PM, MARCH 21



**2** 12 PM, MARCH 21



**1** 9 AM, MARCH 21



STREET VIEW - OPTION 3  
THIS DRAWING SET HAS BEEN GENERATED BASED ON THIS OPTION

OUR PROPOSED BUILDING FACADE IS SEPARATED BY THE ENTRY INTO THE PARKING GARAGE. THIS APPROACH DEVOTES A "LEFT" & "RIGHT" SIDE OF THE BUILDING, BUT MORE IMPORTANTLY REPLICATES A SIMILAR SCALE OF MASSING TO THE ADJACENT NEIGHBORS. THE CONTEMPORARY FACADE CONTRIBUTES TO AN ECLECTIC NEIGHBORHOOD FABRIC CLEARLY STANDING IN CONTRAST TO THE MORE TRADITIONAL ROOF FRAMES; IN THIS CASE THE HIP & GABLE ROOF LINES. OUR DECISION IS TO PRESENT A MORE MODERN BUILDING FORM IS INTENDED TO GIVE A CLEAR DISTINCTION OF ARCHITECTURAL STYLE SO THAT THE VIEWER CAN EASILY DISTINGUISH A SPECIFIC MOMENT IN TIME, PERHAPS WHEN HIP & GABLE ROOF LINES WERE CONSIDERED "CONTEMPORARY" THEMSELVES.



NORTH WEST PERSPECTIVE



SOUTH EAST PERSPECTIVE



NORTH EAST PERSPECTIVE

ARCHITECT:  
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**DEVELOPMENT  
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#	DATE	DESCRIPTION
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SHEET TITLE:

**RENDERINGS**

SHEET NUMBER:

**A0.4**



STREET VIEW- PREVIOUSLY SUBMITTED



STREET VIEW- OPTION 1



STREET VIEW- OPTION 2



STREET VIEW- OPTION 3 (SEE ALSO 1/A0.4)

**LARSON  
SHORES**  
ARCHITECTURE  
AND INTERIORS

**ARCHITECT:**  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES DILLER

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**DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609**

**SUBMITTAL:**  
PLANNING PERMIT SET  
APRIL 2019

**REVISIONS:**

#	DATE	DESCRIPTION
1	04/18/2019	PLAN MODIFICATIONS

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**SHEET TITLE:**

**RENDERINGS**

**SHEET NUMBER:**  
**A0.5**

ARCHITECT:  
 LARSON SHORES ARCHITECTURE + INTERIORS  
 1940 UNION STREET #22  
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 PROJECT ARCHITECT: CARRIE SHORES DILLER

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 WOODSIDE, CA 94062  
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# DEVELOPMENT 5817 SHATTUCK AVE OAKLAND, CA 94609

SUBMITTAL:  
**PLANNING PERMIT SET**  
**APRIL 2019**

REVISIONS:

#	DATE	DESCRIPTION
1	04/18/2019	PLAN MODIFICATIONS

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SHEET TITLE:

## GREEN POINT RATED CHECKLIST

SHEET NUMBER:

# A0.6

MEASURES		Points Available	Points Earned	Notes
Yes	CA Green Res (REQUIRED)	4	4	
<b>A. SITE</b>				
No	A1. Construction Footprint	0	1	Previously developed. New design uses 87% of lot
Yes	A2. Job Site Construction Water Diversion	0	2	Model to be confirmed after construction
Yes	A2.1 100% CSD Waste Diversion (Building Alternative Only Count)	2	2	Arch needs to add note into drawings
Yes	A2.2 80% CSD Waste Diversion (Building Alternative Only Count)	0	1	Only if contractor uses Zanker Recycling. Probably not
No	A3. Recycled Content Base Material	0	1	Not noted in drawings
Yes	A4. Heat Island Effect (Roof Reflectance)	1	1	1.5 GCR rating and permeable paving in at least 50% of site
Yes	A5. Environmental Environmental Quality Management Plan Including Flush-Out	1	1	Arch needs to add note into drawings
<b>B. BIODIVERSITY</b>				
Yes	B1. Fly Asher and/or Slag in Concrete	0	1	Need at least 30% of all structural concrete. No. by structural engineer
No	B2. Ruston-Resistant Construction	0	2	
No	B3. Foundation Drainage System	0	2	No. by structural engineer
No	B4. Resistant to Seismic Displacement	0	1	No compliance on this project
No	B5. Structural Pest Control	0	1	
No	B6. Termite Shields and Separated Exterior Wood-to-Concrete Connections	0	1	None in drawings. No. by structural engineer
No	B7. Pallet Trucks, Bases, or Stems at Least 36 inches from the Foundation	0	1	Plans specified too close to perimeter walls
<b>C. LANDSCAPE</b>				
100%	Enter the landscape area percentage	0	1	Min 50% of site in LF or 25% of total LF
Yes	C1. Plants Grouped by Water Needs (Hydrozoning)	1	1	
No	C2. Three Inches or More in Planting Beds	0	1	None specified in landscaping drawings
<b>D. RESOURCES</b>				
Yes	D1. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D2. 3/4 inch Specimen Lined by CalPFO	1	1	Yes, note in L4 plant list
Yes	D3. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D4. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D5. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D6. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D7. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D8. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D9. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D10. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D11. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D12. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D13. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D14. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D15. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D16. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D17. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D18. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D19. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D20. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D21. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D22. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D23. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D24. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D25. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D26. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D27. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D28. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D29. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D30. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D31. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D32. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D33. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D34. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D35. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D36. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D37. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D38. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D39. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D40. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D41. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D42. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D43. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D44. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D45. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D46. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D47. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D48. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D49. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D50. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D51. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D52. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D53. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D54. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D55. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D56. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D57. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D58. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D59. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D60. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D61. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D62. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D63. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D64. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D65. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D66. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D67. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D68. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D69. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D70. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D71. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D72. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D73. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D74. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D75. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D76. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D77. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D78. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D79. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D80. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D81. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D82. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D83. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D84. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D85. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D86. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D87. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D88. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D89. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D90. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D91. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D92. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D93. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D94. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D95. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D96. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D97. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D98. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D99. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D100. 3/4 inch Specimen Lined by CalPFO	1	1	

© Build It Green GreenPoint Rated New Home Multifamily Checklist Version 7.0

MEASURES		Points Available	Points Earned	Notes
Yes	CA Green Res (REQUIRED)	4	4	
<b>A. SITE</b>				
No	A1. Construction Footprint	0	1	Previously developed. New design uses 87% of lot
Yes	A2. Job Site Construction Water Diversion	0	2	Model to be confirmed after construction
Yes	A2.1 100% CSD Waste Diversion (Building Alternative Only Count)	2	2	Arch needs to add note into drawings
Yes	A2.2 80% CSD Waste Diversion (Building Alternative Only Count)	0	1	Only if contractor uses Zanker Recycling. Probably not
No	A3. Recycled Content Base Material	0	1	Not noted in drawings
Yes	A4. Heat Island Effect (Roof Reflectance)	1	1	1.5 GCR rating and permeable paving in at least 50% of site
Yes	A5. Environmental Environmental Quality Management Plan Including Flush-Out	1	1	Arch needs to add note into drawings
<b>B. BIODIVERSITY</b>				
Yes	B1. Fly Asher and/or Slag in Concrete	0	1	Need at least 30% of all structural concrete. No. by structural engineer
No	B2. Ruston-Resistant Construction	0	2	
No	B3. Foundation Drainage System	0	2	No. by structural engineer
No	B4. Resistant to Seismic Displacement	0	1	No compliance on this project
No	B5. Structural Pest Control	0	1	
No	B6. Termite Shields and Separated Exterior Wood-to-Concrete Connections	0	1	None in drawings. No. by structural engineer
No	B7. Pallet Trucks, Bases, or Stems at Least 36 inches from the Foundation	0	1	Plans specified too close to perimeter walls
<b>C. LANDSCAPE</b>				
100%	Enter the landscape area percentage	0	1	Min 50% of site in LF or 25% of total LF
Yes	C1. Plants Grouped by Water Needs (Hydrozoning)	1	1	
No	C2. Three Inches or More in Planting Beds	0	1	None specified in landscaping drawings
<b>D. RESOURCES</b>				
Yes	D1. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D2. 3/4 inch Specimen Lined by CalPFO	1	1	Yes, note in L4 plant list
Yes	D3. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D4. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D5. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D6. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D7. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D8. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D9. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D10. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D11. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D12. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D13. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D14. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D15. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D16. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D17. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D18. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D19. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D20. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D21. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D22. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D23. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D24. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D25. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D26. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D27. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D28. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D29. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D30. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D31. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D32. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D33. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D34. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D35. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D36. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D37. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D38. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D39. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D40. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D41. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D42. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D43. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D44. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D45. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D46. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D47. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D48. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D49. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D50. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D51. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D52. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D53. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D54. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D55. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D56. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D57. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D58. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D59. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D60. 3/4 inch Specimen Lined by CalPFO	1	1	
Yes	D61. 1/4 inch Specimen Lined by CalPFO	1	1	
Yes	D62. 3/4 inch Specimen Lined by CalPFO	1	1	

**BASIS OF ELEVATION**

CITY OF OAKLAND BENCHMARK #2821  
 FIELD BOOK: BL 47 PAGE 19, ELEVATION 104.317  
 SQUARE CUT IN CONCRETE CURB, MID RETURN SOUTHWEST  
 CORNER OF AILEEN AND SHATTUCK STREET.

**BASIS OF BEARING**

MONUMENT LINE OF SHATTUCK AVENUE N06°10'14"W AS SHOWN  
 UPON PARCEL MAP NO. 10132 FILED FOR RECORD IN BOOK 326  
 AT PAGE 35, IS USED AS BASIS OF BEARING FOR THIS MAP.

**LEGAL DESCRIPTION**

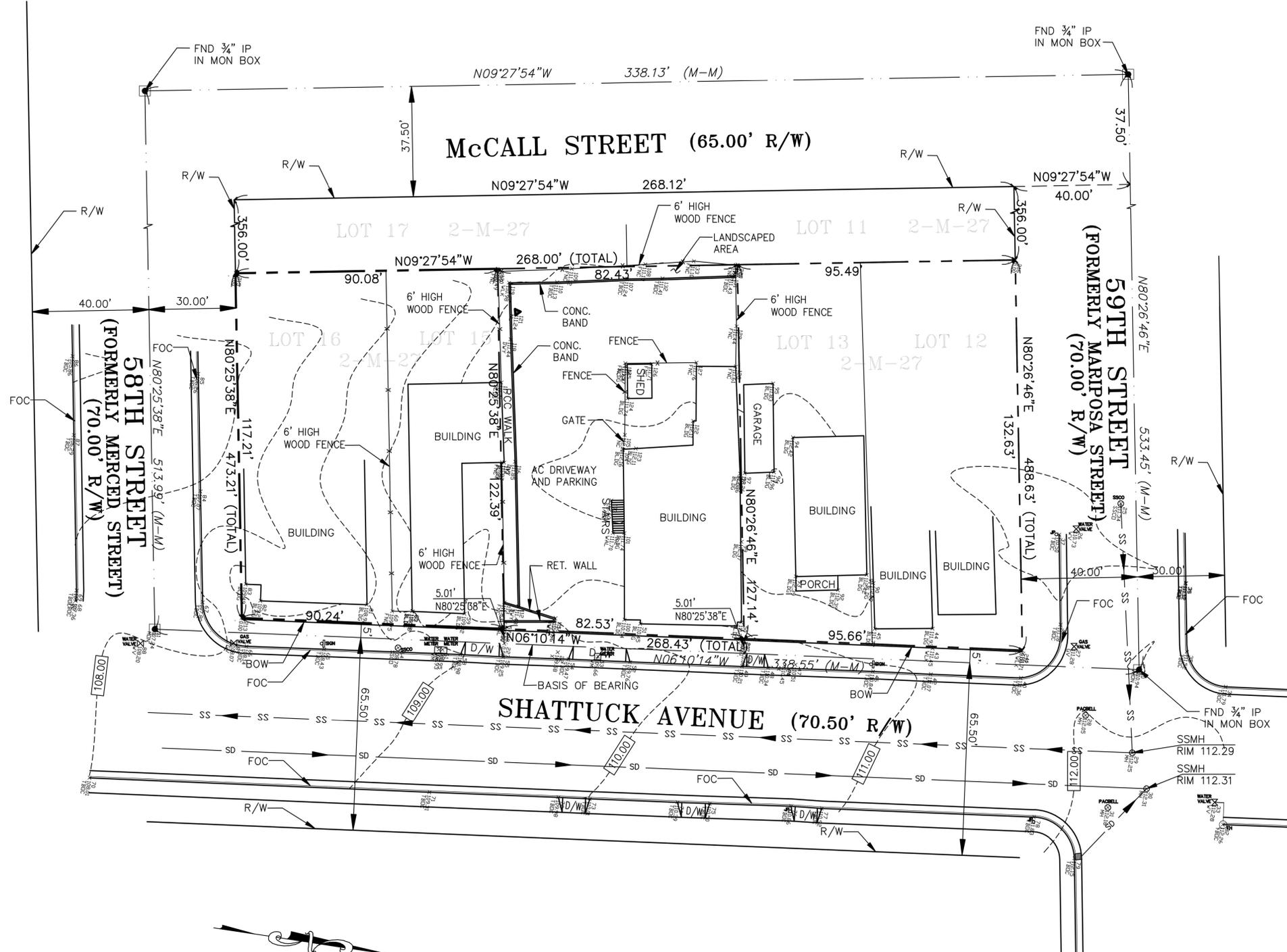
LOT 14 AND THOSE PORTIONS OF LOTS 13 AND 15, BLOCK B, "REDIVISION  
 MAP OF THAT PORTION OF THE BRUMAGIM TRACT, LYING WEST OF SHATTUCK  
 AVENUE", FILED APRIL 2, 1877, MAP BOOK 2, PAGE 27, ALAMEDA COUNTY  
 RECORDS.  
 NET AREA: 10281 SF  
 0.236 AC±

**ABBREVIATIONS**

A.B.	AGGREGATE BASE	MIN.	MINIMUM
A.C.	ASPHALT CONCRETE	M.V.C.	MIDDLE OF VERTICAL CURVE
B.C.	BEGINNING OF CURVE(HORIZONTAL)	M.W.	MONITORING WELL
BLDG	BUILDING	NO.	NUMBER
BOW/BWLK	BACK OF WALK	N.T.S.	NOT TO SCALE
B.V.C.	BEGINNING OF VERTICAL CURVE	P.C.C.	PORTLAND CEMENT CONCRETE
C.B.	CATCH BASIN	P.C.R.	POINT OF CURB RETURN
CLF	CHAIN LINK FENCE	P.P.B.	PEDESTRIAN PUSH BUTTON
C.O.	CLEAN OUT	PP&T	PLASTIC PLUG & TACK
CONT.	CONTINUOUS	P.V.C.	POLYVINYL CHLORIDE
D.I.	DRAINAGE INLET	P.V.I.	POINT OF VERTICAL INTERSECTION
D/W	DRIVEWAY	R	RADIUS
E.C.	END OF CURVE(HORIZONTAL)	R.C.P.	REINFORCED CONCRETE PIPE
ELEV.	ELEVATION	R/W	RIGHT-OF-WAY
EXIST.	EXISTING	S	SLOPE
E.V.C.	END OF VERTICAL CURVE	S.D.	STORM DRAIN
F.F.	FINISHED FLOOR ELEVATION	S.D.M.N	STORM DRAIN MANHOLE
F.G.	FINISHED GRADE	S.F.	SQUARE FEET
F.H.	FIRE HYDRANT	SHT.	SHEET
F.C.	FACE OF CURB	S.S.M.H.	SANITARY SEWER MANHOLE
F.L.	FLOW LINE	S.S.	SANITARY SEWER
FOC	FACE OF CURB	S/W	SIDEWALK
F.S.	FINISHED SURFACE	T.C.	TOP OF CURB
G.B.	GRADE BREAK	TFOC	TOP FACE OF CURB
G.V.	GATE VALVE	TYP.	TYPICAL
H.P.	HIGH POINT	U.O.N.	UNLESS OTHERWISE NOTED
I.D.	INSIDE DIAMETER	V.C.	VERTICAL CURVE
INV.	INVERT	V.C.P.	VITRIFIED CLAY PIPE (EXTRA STRENGTH)
J.P.	JOINT POLE	W	WATER
L.F.	LINEAL FEET	W.M.	WATER METER
L.P.	LOW POINT	W.V.	WATER VALVE
L&T	LEAD & TACK		
MAX.	MAXIMUM		
M.H.	MANHOLE		

**LEGEND**

DESCRIPTION	PROPOSED	EXISTING
WHEELCHAIR RAMP		
SANITARY MANHOLE		
STORM MANHOLE		
CITY SURVEY MONUMENT		
STANDARD HOODED INLET		
SANITARY SEWER		
STORM SEWER		
CENTER LINE		
PROPERTY LINE		
MONUMENT LINE		
MATCH LINE		
GAS LINE		
WATER LINE		
JOINT TRENCH		
GAS METER		
WATER METER		
GAS VALVE		
WATER VALVE		
EDGE OF PAVEMENT		
CURB AND GUTTER		
SIDEWALK		
DRIVEWAY		
PAVING CONFORM		
FIRE HYDRANT		
STREET SIGN		
FENCE(TYPE)		
ELECTRICAL CONDUIT		
OVERHEAD CONDUCTORS		
PULL BOX		
UTILITY POLE		
ELECTROLIER		



**ADVANCED DEVELOPMENT**

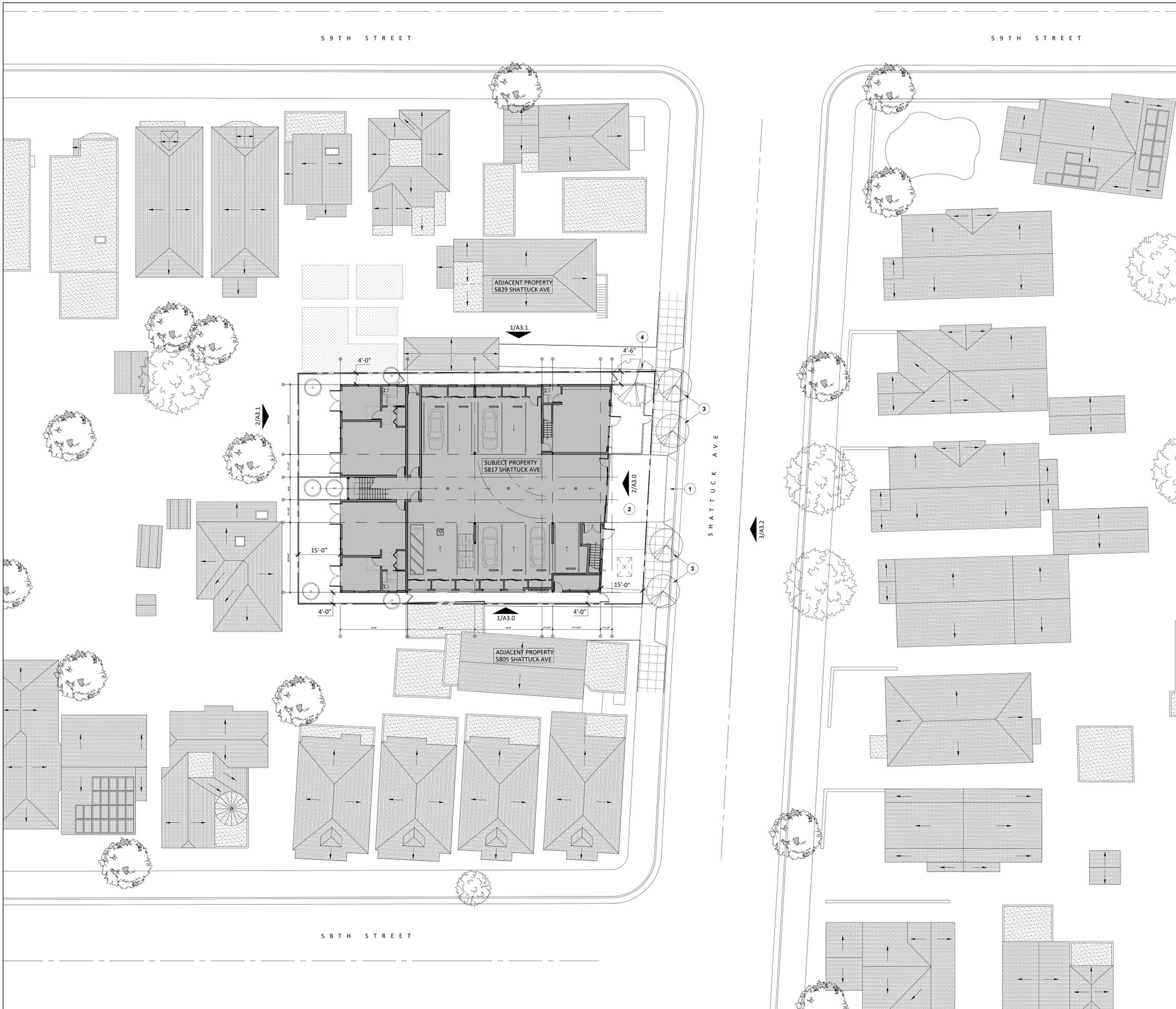
2933 BENJAMIN COURT  
 SAN JOSE, CALIFORNIA 95124  
 (408) 376-0570  
 JACOB SADIAN CIVIL ENGINEER

**TOPOGRAPHICAL & RECORD BOUNDARY SURVEY**  
 FOR: APN 015-137-011  
 5817 SHATTUCK AVENUE  
 OAKLAND, CALIFORNIA

APPROVED BY: JACOB SADIAN  
 JACOB SADIAN  
 No. 33503  
 Exp. 05/30/15  
 STATE CIVIL ENGINEER

Checked: JS  
 Drawn: AC  
 Designed: JS  
 Surveyed: JS  
 Date: 04-17-16

Sheet No. **1**  
 of 1  
 Job No. 341



- KEY NOTES:**
- ① (N) CURB
  - ② (N) DRIVEWAY
  - ③ (N) TREE ON SIDEWALK
  - ④ (N) TREE ON PROPERTY FOR PRIVACY

**GENERAL NOTES:**

- SEE A3.0 STREET CONTEXT ELEVATIONS TO UNDERSTAND NEIGHBORHOOD FABRIC

**ARCHITECT:**  
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PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES DILLER

**OWNER:**  
DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94062  
JIM@DILLERCAPITAL.COM



**DEVELOPMENT**  
**5817 SHATTUCK AVE**  
**OAKLAND, CA 94609**

**SUBMITTAL:**  
PLANNING PERMIT SET  
APRIL 2019

**REVISIONS:**

#	DATE	DESCRIPTION
△	04/18/2019	PLAN MODIFICATIONS

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**SHEET TITLE:**

**PROPOSED SITE PLAN**

**SHEET NUMBER:**  
**A1.1**





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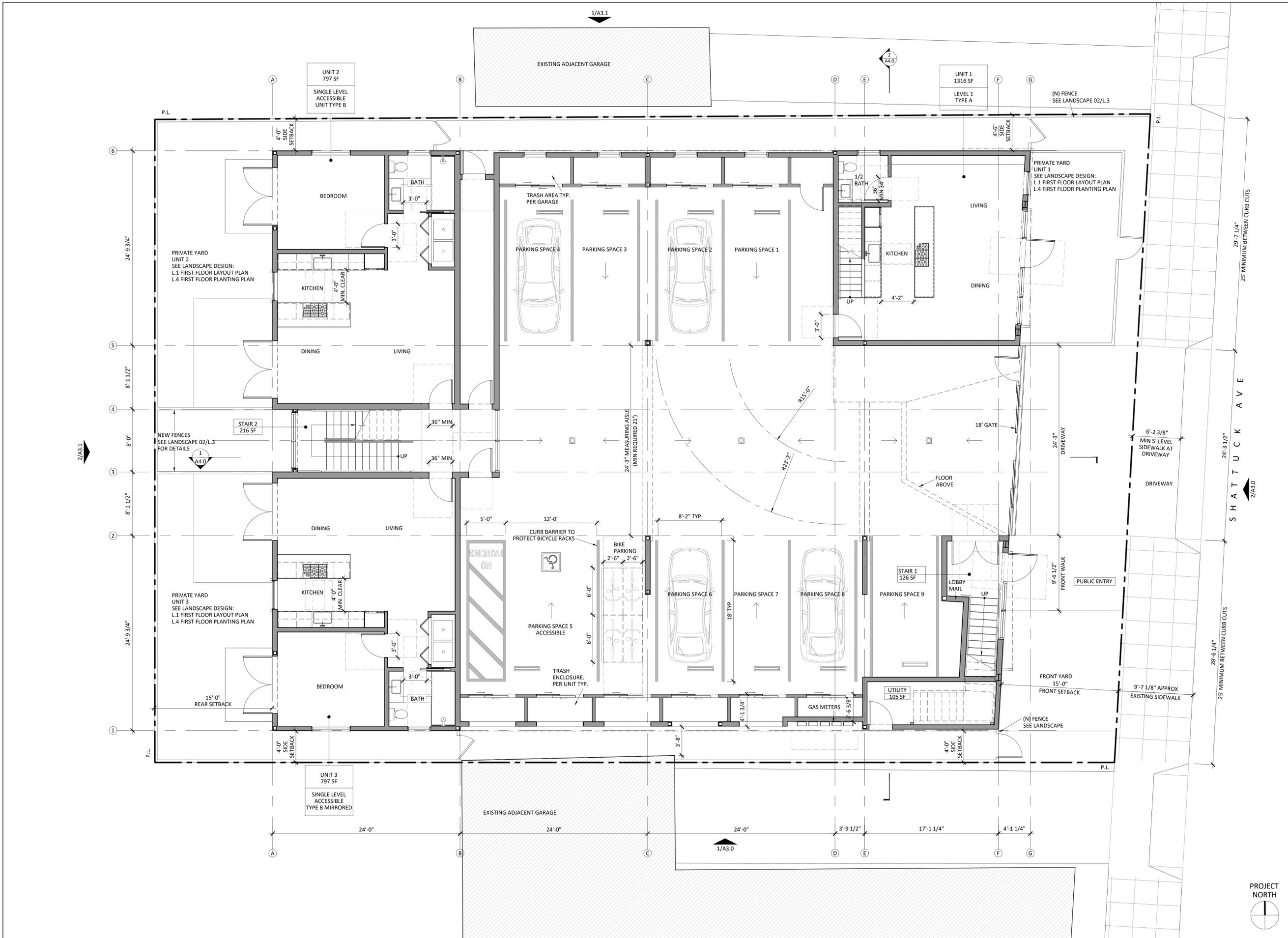
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SHEET TITLE:

**PROPOSED OVERALL FIRST FLOOR PLAN**

SHEET NUMBER:

**A2.1**



**1 PROPOSED OVERALL FIRST FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



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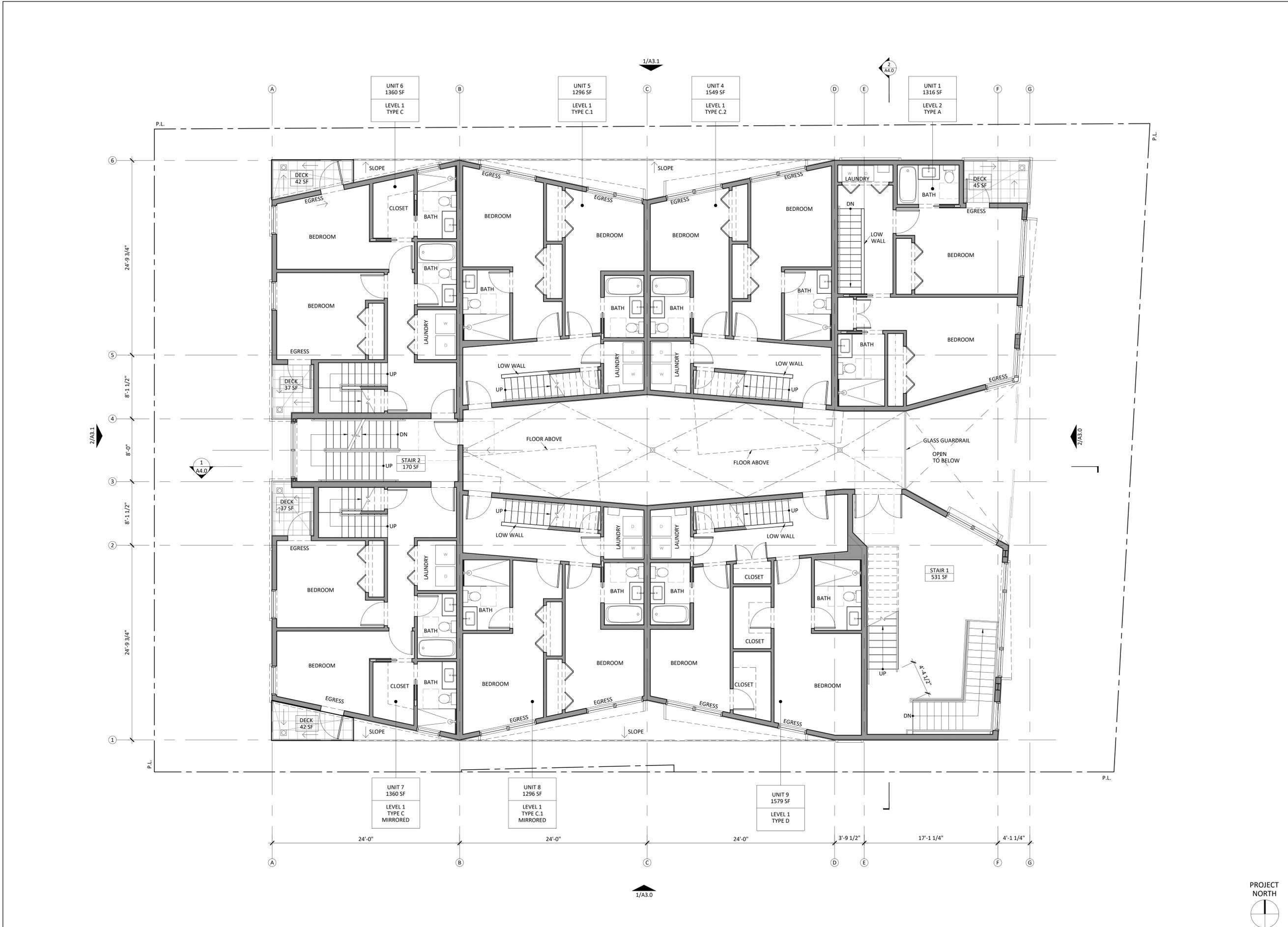
SHEET TITLE:

**PROPOSED**  
**OVERALL SECOND**  
**FLOOR PLAN**

SHEET NUMBER:

**A2.2**

DATE OF LATEST UPDATE: April 9, 2019



**1** PROPOSED OVERALL SECOND FLOOR PLAN  
SCALE: 3/16" = 1'-0"





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SHEET TITLE:

**PROPOSED OVERALL THIRD FLOOR PLAN**

SHEET NUMBER:

**A2.3**



**1 PROPOSED OVERALL THIRD FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



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**SHEET TITLE:**

**PROPOSED ROOF PLAN**

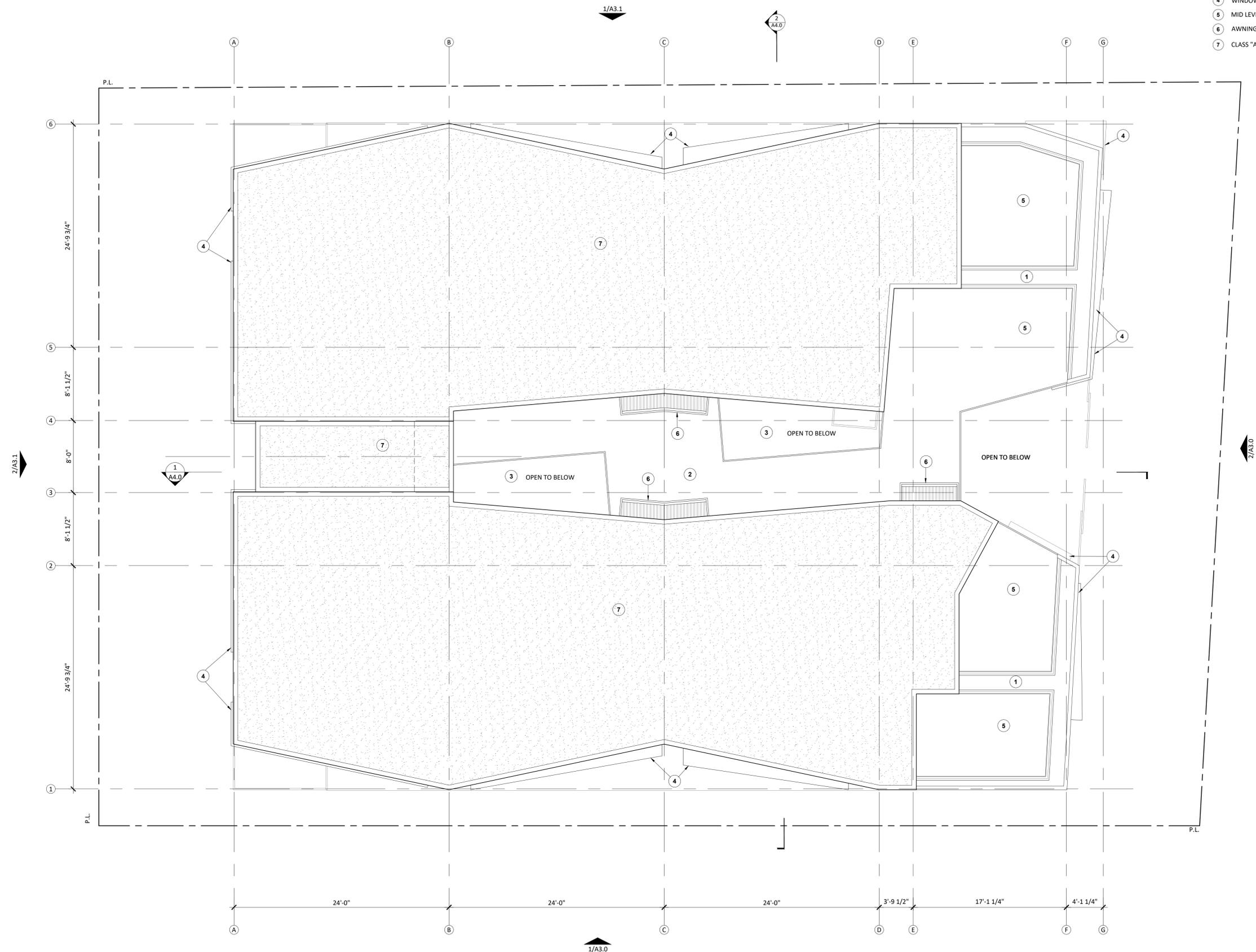
**SHEET NUMBER:**

**A2.4**

DATE OF LATEST UPDATE: April 16, 2019

**KEYNOTES**

- 1 ROOFTOP PLANTER, SEE LANDSCAPE L.2 & L.5
- 2 MID LEVEL OPEN BREEZEWAY
- 3 LIGHT WELL TO LOWER OPEN CORRIDOR
- 4 WINDOW TRIM / FINS
- 5 MID LEVEL TERRACE
- 6 AWNING
- 7 CLASS "A" ROOF



**ARCHITECT:**  
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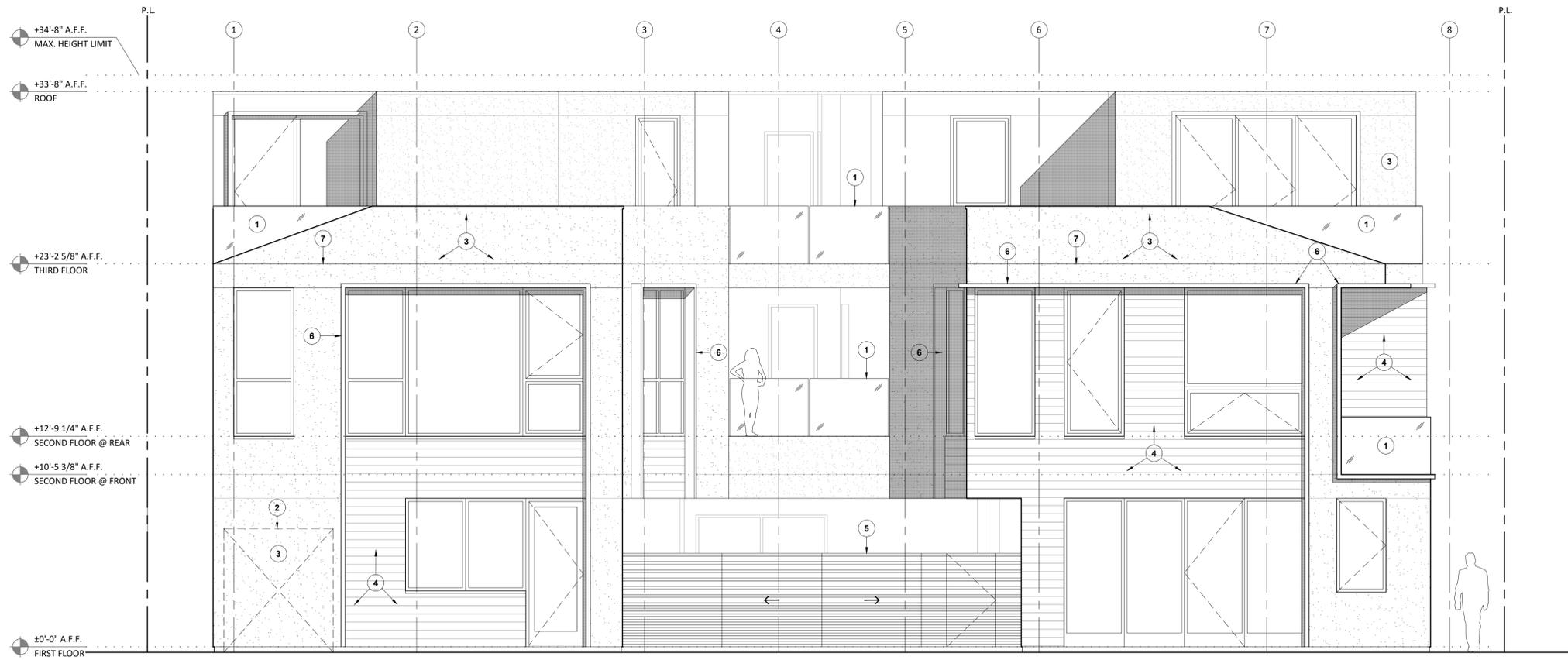
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JIM@DILLERCAPITAL.COM



**DEVELOPMENT**  
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**OAKLAND, CA 94609**

**KEY NOTES:**

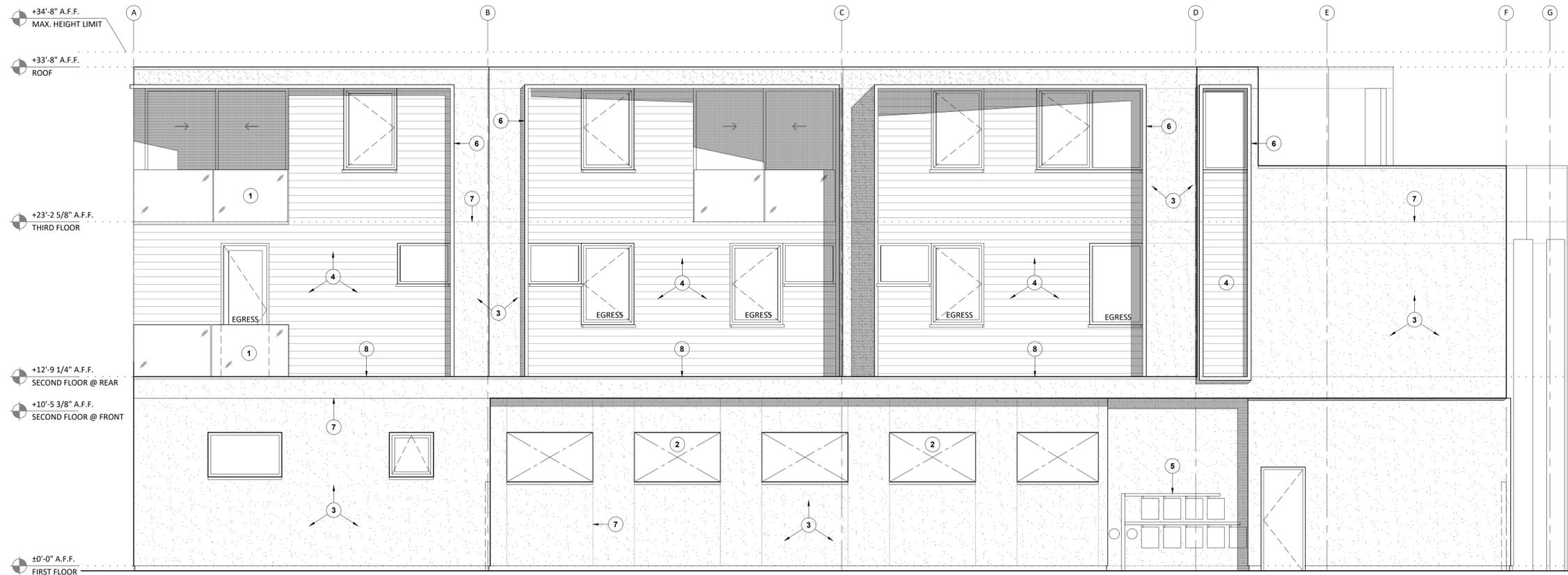
- ① GLASS GUARDRAIL, 42" AFF
- ② UTILITY BEYOND
- ③ CEMENT PLASTER, SMOOTH FINISH
- ④ HARDIE BOARD SIDING
- ⑤ METAL SLIDING GARAGE GATE W/ BUILT-IN PEDESTRIAN GATE
- ⑥ WINDOW FIN WITH GRAY ANODIZED ALUMINUM FINISH
- ⑦ CEMENT PLASTER CONTROL JOINT OR EXPANSION JOINT



**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**KEY NOTES:**

- ① GLASS GUARDRAIL, 42" AFF
- ② OPEN TO GARAGE
- ③ CEMENT PLASTER, SMOOTH FINISH
- ④ HARDIE BOARD SIDING
- ⑤ GAS METERS
- ⑥ WINDOW FIN WITH GRAY ANODIZED ALUMINUM FINISH
- ⑦ CEMENT PLASTER CONTROL JOINT OR EXPANSION JOINT
- ⑧ GRAY ANODIZED ALUMINUM ROOF BELOW



**1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

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**SHEET TITLE:**

**PROPOSED EXTERIOR ELEVATIONS**

**SHEET NUMBER:**

**A3.0**

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**SHEET TITLE:**

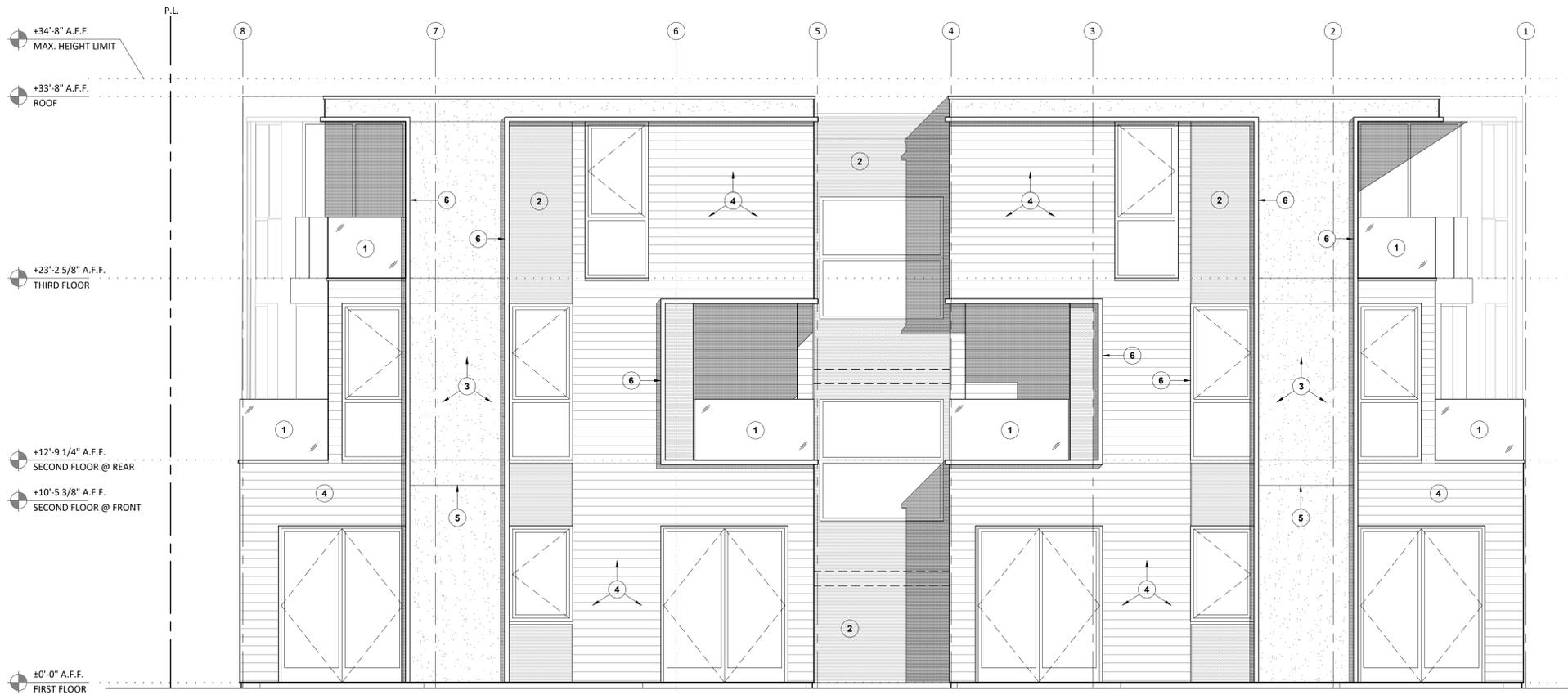
**PROPOSED EXTERIOR ELEVATIONS**

**SHEET NUMBER:**

**A3.1**

**KEY NOTES:**

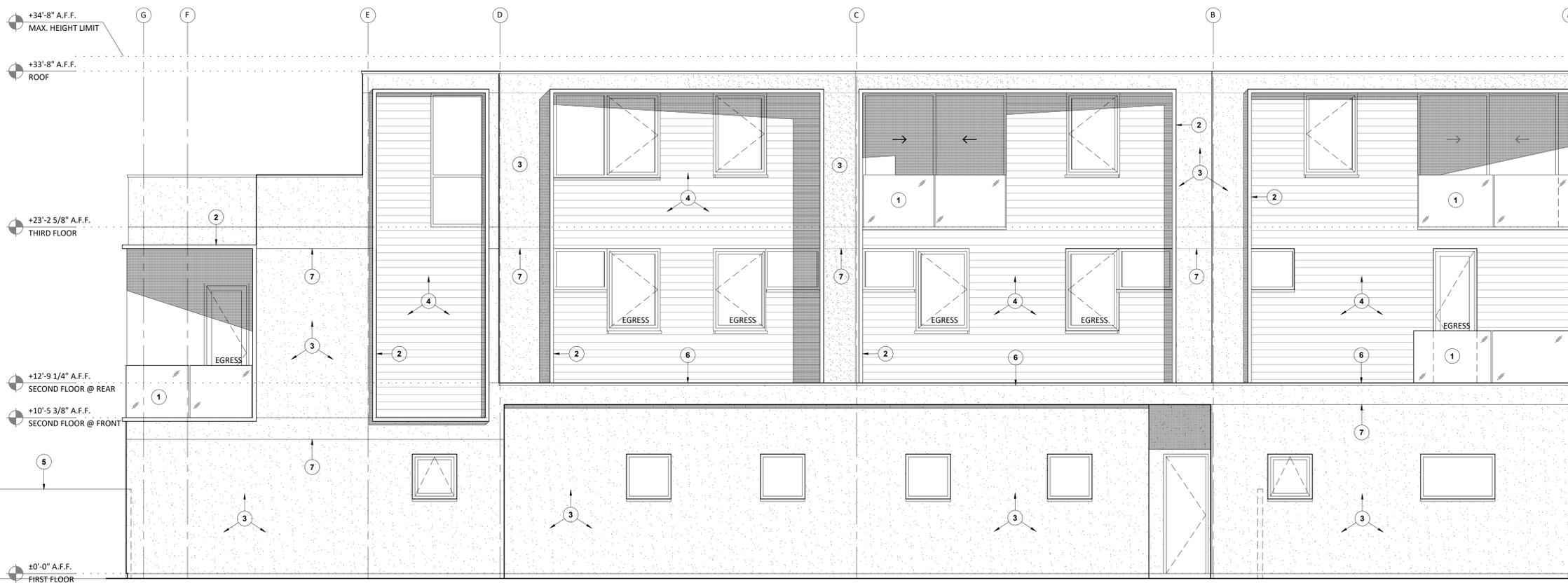
- 1 GLASS GUARDRAIL, 42" AFF
- 2 ANODIZED ALUMINUM PANEL
- 3 CEMENT PLASTER, SMOOTH FINISH
- 4 HARDIE BOARD SIDING
- 5 CEMENT PLASTER CONTROL JOINT OR EXPANSION JOINT
- 6 WINDOW FIN WITH GRAY ANODIZED ALUMINUM FINISH



**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**KEY NOTES:**

- 1 GLASS GUARDRAIL, 42" AFF
- 2 WINDOW FIN WITH GRAY ANODIZED ALUMINUM FINISH
- 3 CEMENT PLASTER, SMOOTH FINISH
- 4 HARDIE BOARD SIDING
- 5 GATE
- 6 GRAY ANODIZED ALUMINUM ROOF BELOW
- 7 CEMENT PLASTER CONTROL JOINT OR EXPANSION JOINT



**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609**

THE EDGES OF THE FAÇADE ARE FOLDED DOWN TO AT THE OUTSIDE CORNER TO MIMIC THE ADJACENT HIPS AND GABLE ROOF FORMS. THIS ARTICULATION IS INTENDED TO VISUALLY REDUCE THE OVERALL MASS OF THE FAÇADE AND REPEAT THE EXISTING NEIGHBORHOOD TYPOLOGY.



**3** PROPOSED STREET CONTEXT ELEVATION- OPTION 3  
SCALE: 3/32" = 1'-0"

THE ANGLES CREATED ON THE FAÇADE AT MATERIAL CHANGE BETWEEN BOARD AND STUCCO SIDING ARE THE EXACT ANGLES CREATED BY THE ROOF LINES OF THE ADJACENT HOUSES.



**2** PROPOSED STREET CONTEXT ELEVATION- OPTION 2  
SCALE: 3/32" = 1'-0"

THE ANGLES AT THE INSIDE EDGE OF THE FAÇADE ARE A NOD TO THE ADJACENT ROOF LINES. BY ANGLING THE INSIDE CORNERS, THE FORM VISUALLY REDUCES THE OVERALL SCALE OF THE FAÇADE ELEMENTS AND EMPHASIZES THEIR SEPARATION CREATING A SCALE THAT IS SIMILAR TO THE ADJACENT BUILDINGS. THIS ARTICULATION ALSO REINFORCES THE BUILDING ENTRY POINT.



**1** PROPOSED STREET CONTEXT ELEVATION- OPTION 1  
SCALE: 3/32" = 1'-0"

**SUBMITTAL:**  
PLANNING PERMIT SET  
APRIL 2019

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**SHEET TITLE:**

**STREET CONTEXT  
ELEVATIONS**

**SHEET NUMBER:**

**A3.2**



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**OAKLAND, CA 94609**

**SUBMITAL:**  
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**REVISIONS:**

#	DATE	DESCRIPTION
1	04/18/2019	PLAN MODIFICATIONS

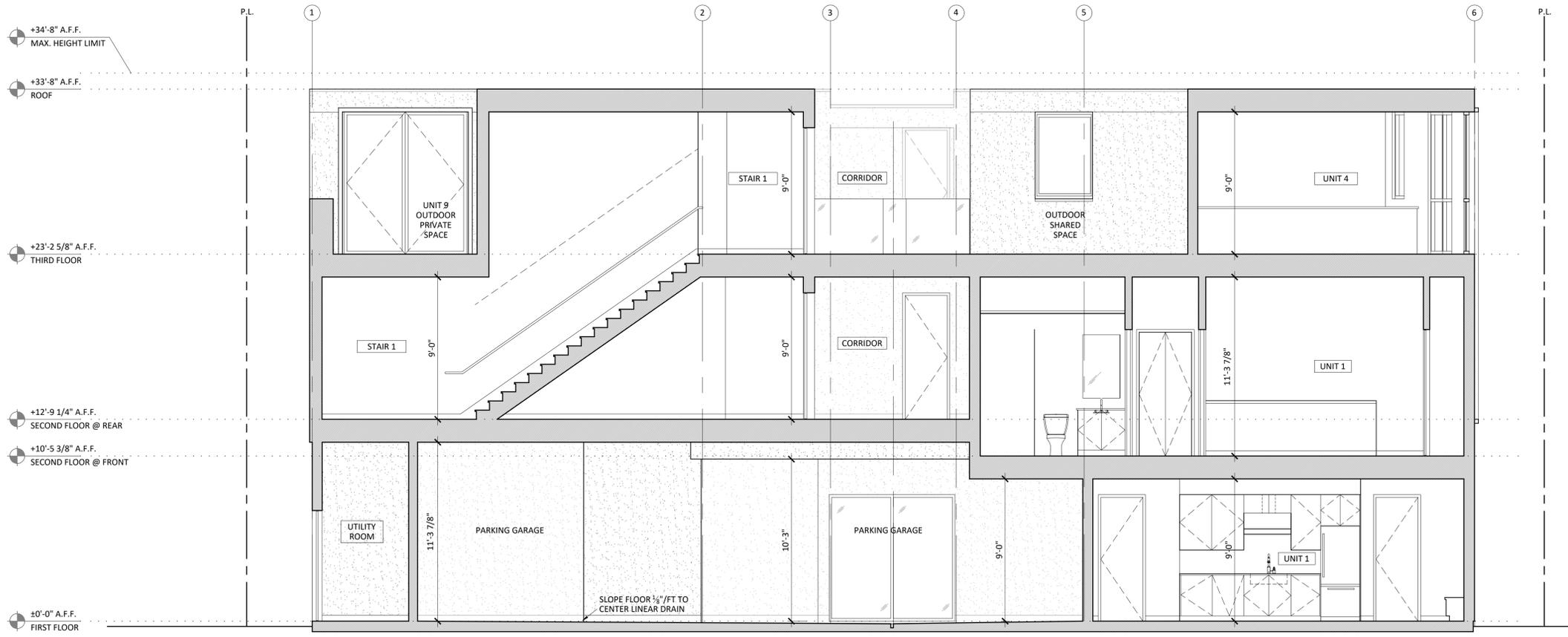
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**SHEET TITLE:**

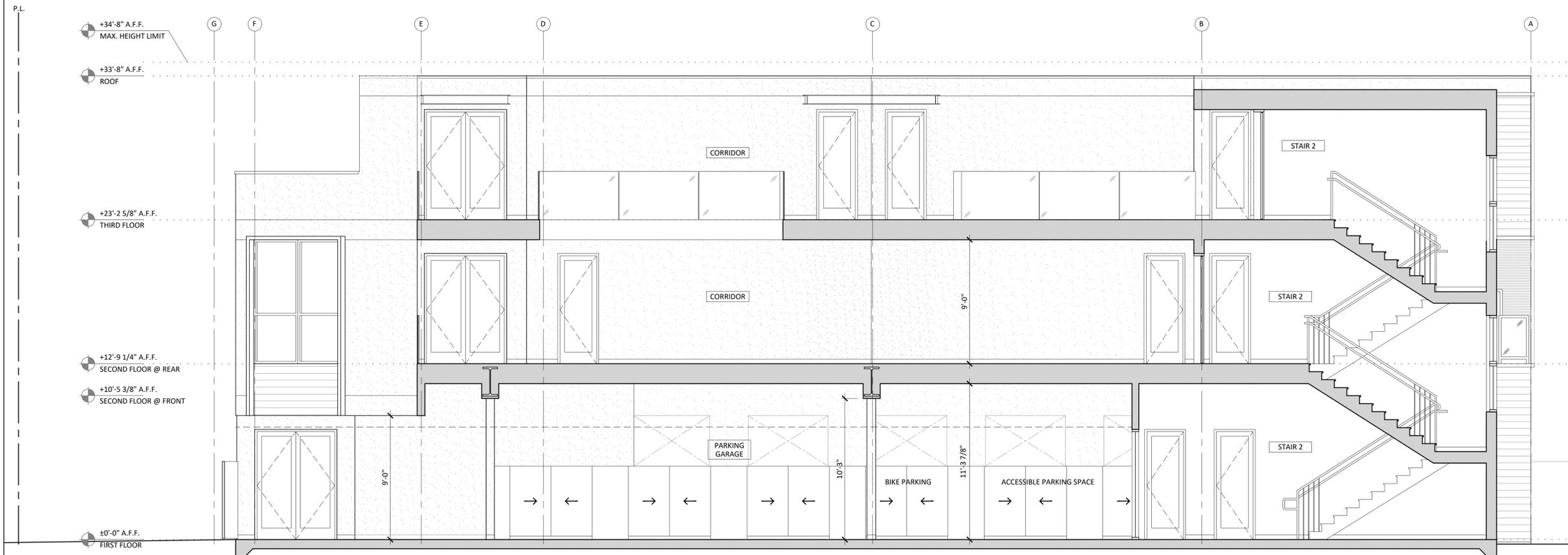
**PROPOSED BUILDING SECTIONS**

**SHEET NUMBER:**

**A4.0**



**2 NORTH-SOUTH BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**1 EAST-WEST BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

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SHEET TITLE:  
**FIRST FLOOR LAYOUT PLAN**

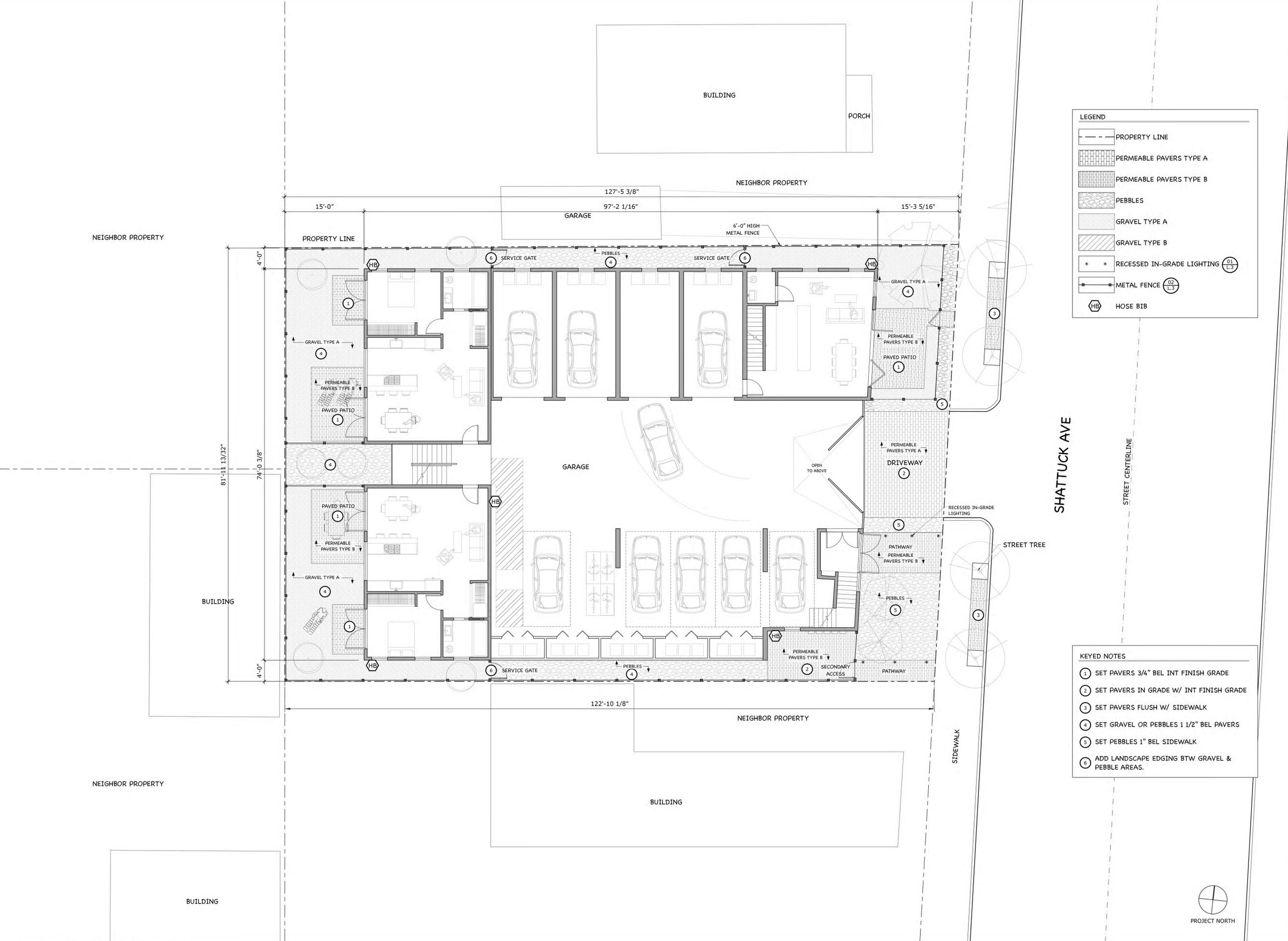
SHEET NUMBER:  
**L.1**

**LEGEND**

- PROPERTY LINE
- PERMEABLE PAVERS TYPE A
- PERMEABLE PAVERS TYPE B
- PEBBLES
- GRAVEL TYPE A
- GRAVEL TYPE B
- RECESSED IN-GRADE LIGHTING (01 L.3)
- METAL FENCE (02 L.3)
- HOSE BIB

**KEYED NOTES**

- 1 SET PAVERS 3/4" BEL INT FINISH GRADE
- 2 SET PAVERS IN GRADE W/ INT FINISH GRADE
- 3 SET PAVERS FLUSH W/ SIDEWALK
- 4 SET GRAVEL OR PEBBLES 1 1/2" BEL PAVERS
- 5 SET PEBBLES 1" BEL SIDEWALK
- 6 ADD LANDSCAPE EDGING BTW GRAVEL & PEBBLE AREAS.



**1 PROPOSED FIRST FLOOR LAYOUT PLAN**  
SCALE: 1/8"=1'-0"



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**DEVELOPMENT**  
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**OAKLAND, CA 94609**

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PLANNING PERMIT SET  
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**SHEET TITLE:**  
THIRD FLOOR  
LAYOUT PLAN

**SHEET NUMBER:**

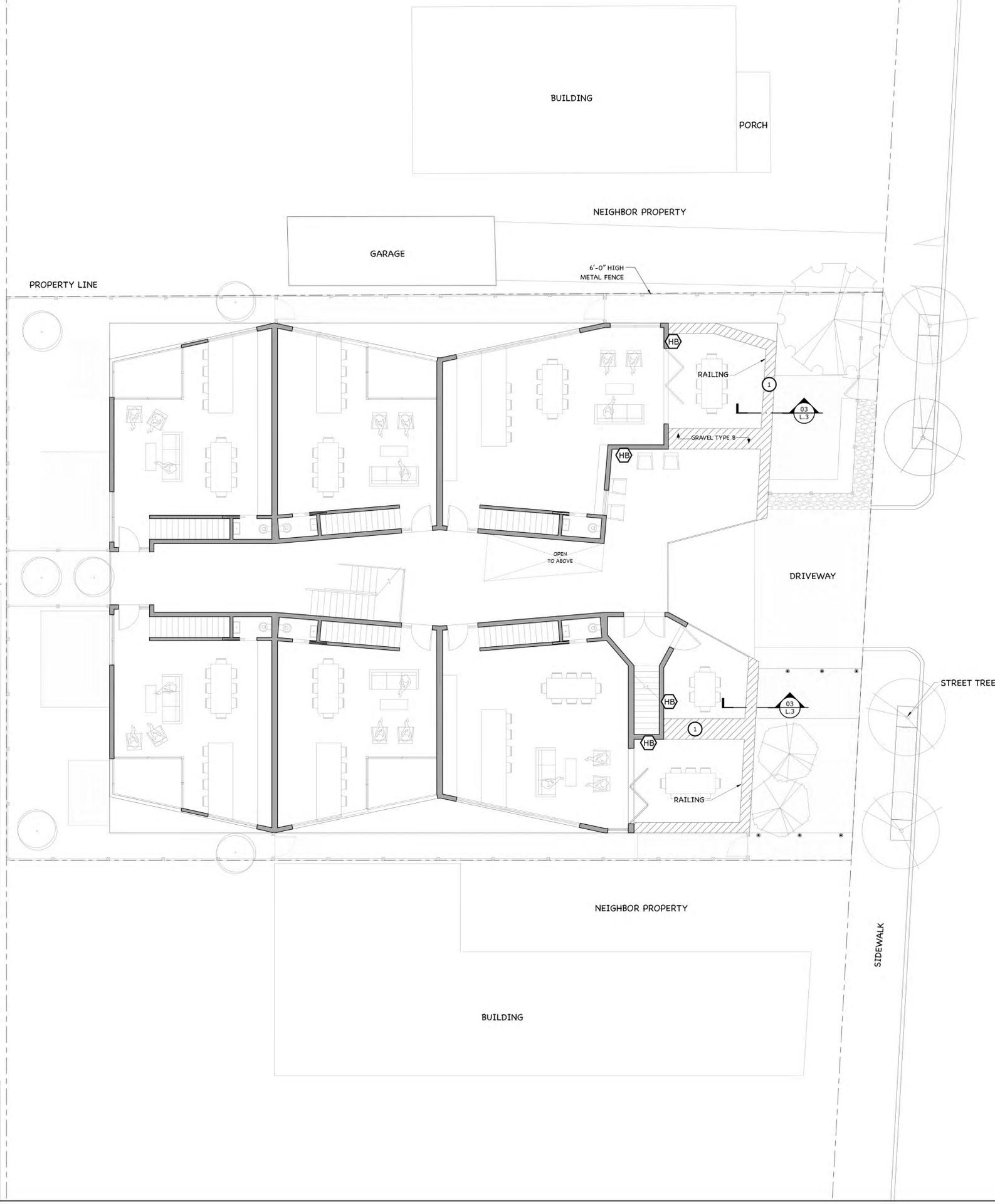
**L.2**

**LEGEND**

- PROPERTY LINE
- PERMEABLE PAVERS TYPE A
- PERMEABLE PAVERS TYPE B
- PEBBLES
- GRAVEL TYPE A
- GRAVEL TYPE B
- RECESSED IN-GRADE LIGHTING (01 L.3)
- METAL FENCE (02 L.3)
- HOSE BIB

**KEYED NOTES**

① PLANTER BOX W/ INTEGRATED RAILING





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**SHEET TITLE:**

**LAYOUT NOTES AND DETAILS**

**SHEET NUMBER:**

**L.3**

**GENERAL CONDITIONS NOTES:**

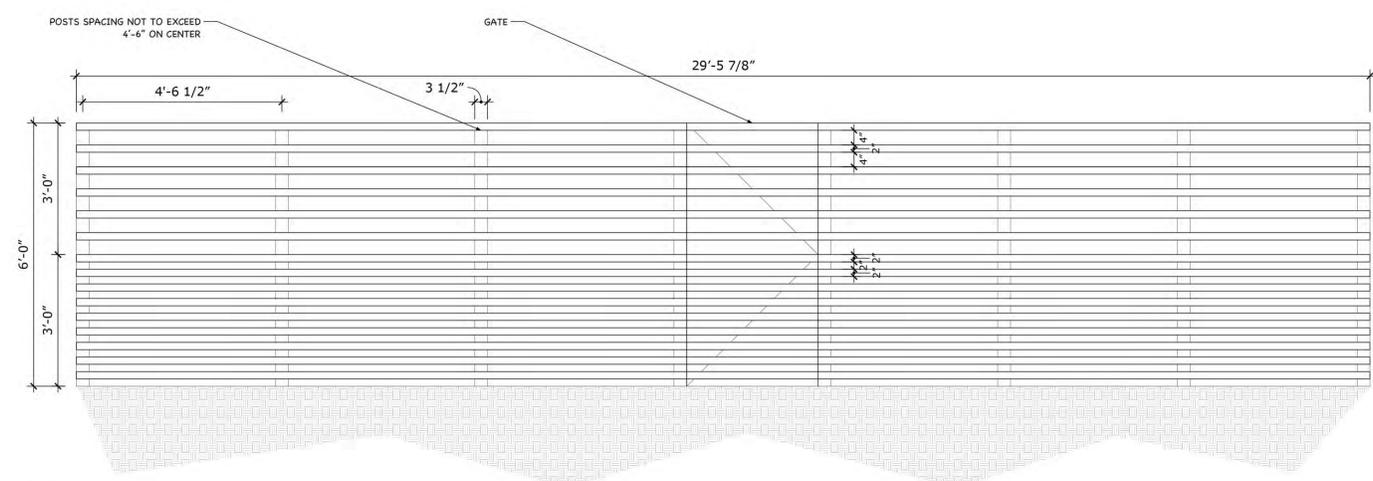
1. WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES AND REGULATIONS.
2. LOCATION OF PROPERTY LINES AND CORNERS ARE THE RESPONSIBILITY OF PROPERTY OWNER, CONTRACTOR, OR SURVEYOR.
3. CONTACT LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION, PRIOR TO COMMENCING WORK. **CALL 811 TO KNOW UTILITY LINES LOCATION.**
4. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND, IF NECESSARY.

**LAYOUT NOTES:**

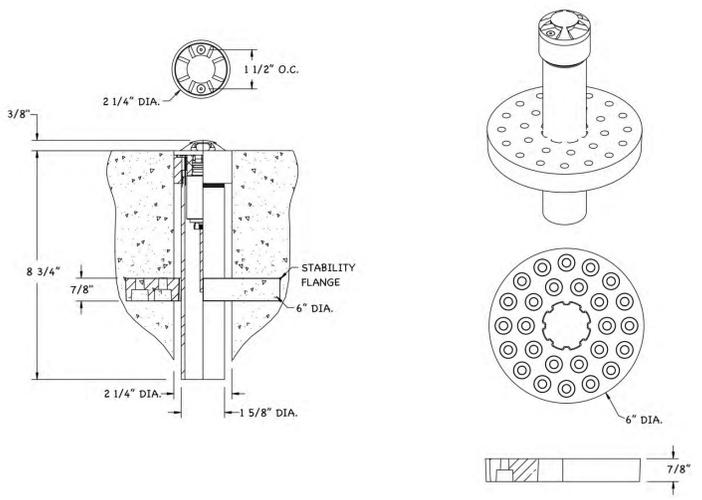
1. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE, LARGE SCALE OVER SMALLER SCALE, ADDENDA AND CLARIFICATIONS OVER PREVIOUS DOCUMENTS.
2. FOR DIMENSIONS OF EXISTING BUILDINGS, PROPOSED BUILDINGS AND RELATED WORK, REFER TO ARCHITECTURAL DRAWINGS.
3. WHERE DIMENSIONS ARE CALLED AS QUAL (EQ), SPACE REFERENCED ITEMS EQUALLY, MEASURED TO THEIR CENTER LINES.
4. MEASUREMENTS ARE TO FACE OF BUILDING, WALL OR FIXED SITE IMPROVEMENT. DIMENSIONS TO CENTER LINE IS AS INDICATED.
5. INSTALL INTERSECTING ELEMENTS AT 90 DEGREE ANGLES TO EACH OTHER UNLESS OTHERWISE NOTED.

**LIGHTING NOTES:**

1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT & DESIGN OF LOW-VOLTAGE WIRE NUTS.
2. IN-GRADE RECESSED LIGHTS TO BE INSTALL IN THE SAME SYSTEM AS EXTERIOR WALL LIGHT IN FRONT FAÇADE. CONTRACTOR TO PROVIDE SLEEVE. REFER TO ARCHITECTURAL DRAWINGS FOR ELECTRICAL PLAN.

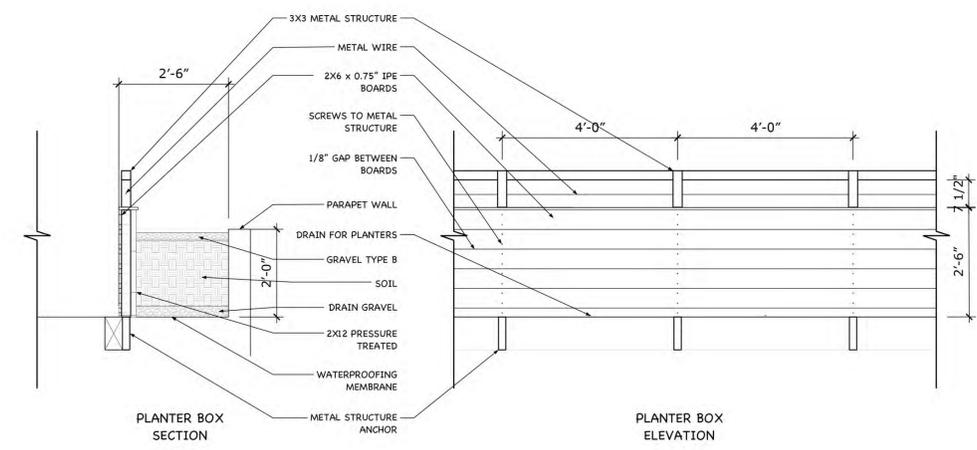


**02** BLACK POWDER COATED METAL FENCE AND GATE - TYP  
1/2" = 1'-0"



- SPECIFICATIONS:**
1. BRAND: BK-LIGHTING
  2. MODEL: MINI DRIVESTAR SURFACE MOUNT SOLID STATE (BKSSL) POWER OF 1/2

**01** RECESSED IN-GRADE LIGHTING  
N.T.S.



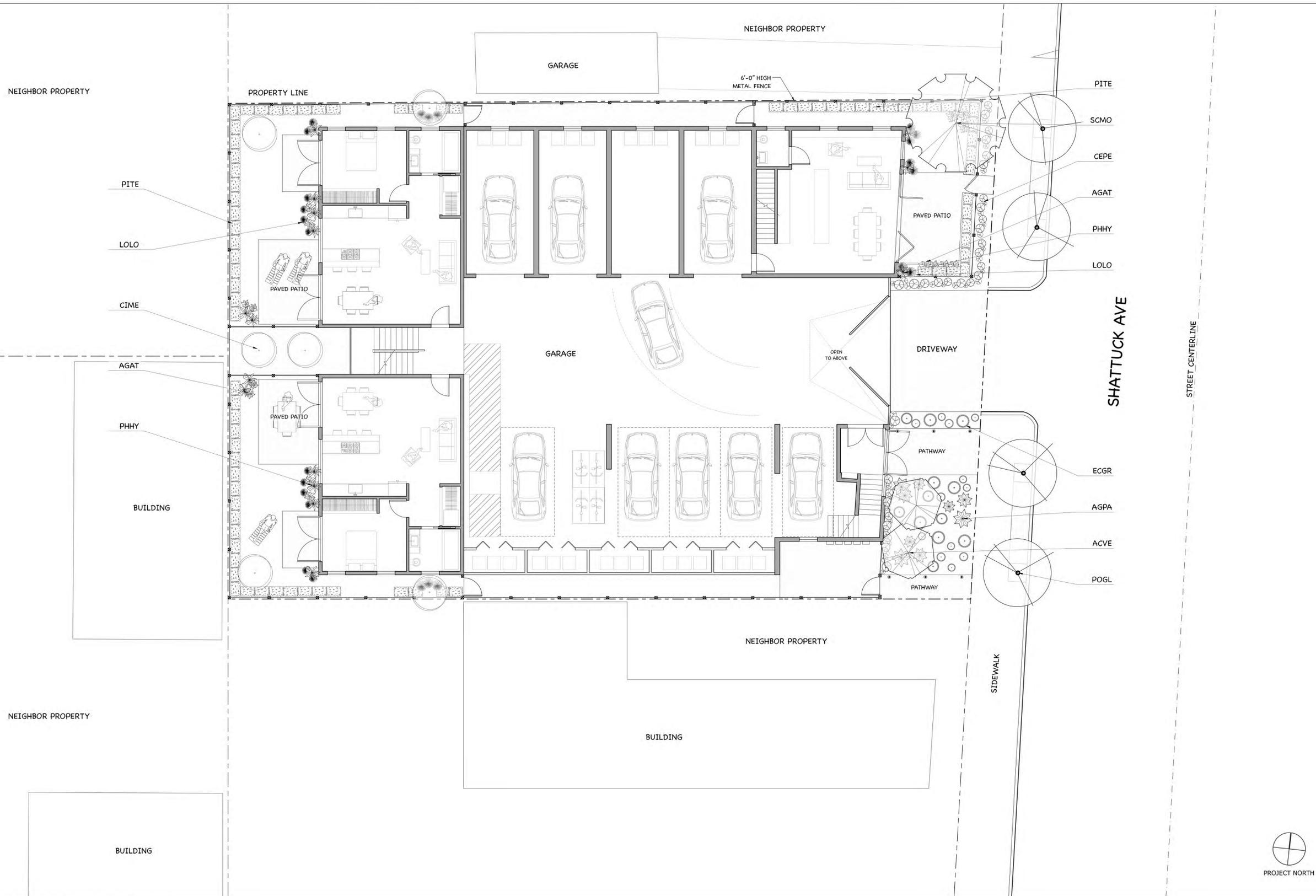
**03** PLANTER BOX SECOND AND THIRD FLOOR  
1/2" = 1'-0"

PLANT LIST FIRST FLOOR

LEGEND	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING (IN)	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
POGL		PODOCARPUS GLACILTOR	FERN PINE	4	24" BOX		20-60	10-20
SCMO		SCHINUS MOLLE	CALIFORNIA PEPPER TREE	1	24" BOX		25-40	25-40
ACVE		ACACIA VESTITA	HAIRY WATTLE	2	24" BOX		12-20	10-15
CIME		CITRUS X MEYERI	MEYER LEMON	6	15 GAL		12-18	8-12
PITE		PITTOSPORUM TENUIFOLIUM 'KRISTIE'	KRISTIE KOHUHU	81	5 GAL	30	4-6	4-6

LEGEND	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING (IN)	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
PHHY		PHORMIUM HYBRIDS 'DARK DELIGHT'	DARK DELIGHT FLAX	10	15 GAL		4	6
CEPE15		CEREUS PERUVIANUS	HEDGE CACTUS	20	15 GAL	48	8-10	4
CEPE5		CEREUS PERUVIANUS	HEDGE CACTUS	24	5 GAL	48	8-10	4
AGPA15		AGAVE PARRYI VAR. TRUNCATA	ARTICHOKE AGAVE	3	15 GAL		2-3	2-3
AGPA5		AGAVE PARRYI VAR. TRUNCATA	ARTICHOKE AGAVE	6	5 GAL		2-3	2-3

LEGEND	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING (IN)	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
EGGR15		ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	8	15 GAL	40	1-4	1-4
EGGR5		ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	8	5 GAL	40	1-4	1-4
EGGR1		ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	8	1 GAL	40	1-4	1-4
AGAT		AGAVE ATTENUATA	FOXTAIL AGAVE	15	5 GAL		4-5	6
LOLO		LOMANDRA LONGIFOLIA	BREEZE DWARF MAT RUSH	25	5 GAL		2-3	3-4



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**SHEET TITLE:**  
**FIRST FLOOR PLANTING PLAN**

**SHEET NUMBER:**





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**SHEET TITLE:**  
THIRD FLOOR  
PLANTING PLAN

**SHEET NUMBER:**

**L.5**

**PLANT LIST THIRD FLOOR**

LEGEND	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING (IN)	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
AGFL		AGONIS FLEXUOSA 'JERVIS BAY AFTERDARK'	AFTERDARK PEPPERMINT TREE	7	15 GAL		12	6-10
PHHY		PHORMIUM HYBRIDS 'SEA JADE'	SEA JADE FLAX	16	5 GAL		4-5	5-6
AGAT		AGAVE ATTENUATA	FOXTAIL AGAVE	17	5 GAL		4-5	6
LOLO		LOMANDRA LONGIFOLIA	BREEZE DWARF MAT RUSH	46	5 GAL		2-3	3-4
ROOF		ROSMARINUS OFFICINALIS 'PROSTATUS'	TRAILING ROSEMARY	17	5 GAL	24	2	4-8

**PLANTING NOTES:**

- A. SOIL PREPARATION:**
- SOIL PREPARATION IS A CRITICAL FACTOR IN CREATING A HEALTHY AND LONG-LASTING LANDSCAPE. REMOVE EXISTING TOP SOIL WHEN REMOVING PAVED AREAS IF ANY AND STOCKPILE ON SITE. TOPSOIL TO BE INCORPORATE BACK INTO THE SOIL AT A LATER DATE.
  - PRIOR TO THE INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIRONMENT FOR PLANT ROOT DEVELOPMENT.
  - CONTRACTOR TO DE-COMPACT SOILS IN PLANTING AREAS BY ROTOTILLING, DISKING OR RIPPING TO A DEPTH OF 6-8" MINIMUM AND PREFERABLY AT A DEPTH OF 12-18". DE-COMPACTION OF SOME PLANTING AREAS, SUCH AS THOSE IN THE DRIVEWAY AND PARKING LOT, MAY REQUIRE THE REMOVAL OF THE COMPACTED SOIL TO A DEPTH OF 18" OR MORE AND THEN RE-INSTALLED LOOSELY W/ REQUIRED AMENDMENTS.
  - ALWAYS REMOVE DEBRIS OVER 2" IN SIZE FROM THE SOIL.
  - WHEN PERFORMING SOIL DE-COMPACTION, MULTIPLE PASSES ACROSS THE AREA WILL BE REQUIRED AND, WHEN POSSIBLE, SHOULD BE AT VARYING ANGLES TO ENSURE ADEQUATE COVERAGE. WHEN USING DISC OR RIPPING EQUIPMENT, IT IS REQUIRED THAT THE FINAL PASSES OVER THE AREA BE MADE W/ A ROTOTILLING TO BREAK UP ANY LARGER CLUMPS TO MAKE FINAL GRADING EASIER.
  - AFTER INITIAL SOIL DE-COMPACTION PROCEDURES ARE PERFORMED, SOIL AMENDMENTS SHOULD BE ADDED. ALL AMENDMENTS SHOULD BE MIXED THOROUGHLY W/ EXISTING SOIL.
  - DURING THE REMAINDER OF THE LANDSCAPE INSTALLATION, VARIOUS AREAS OF THE SITE MAY BE RE-COMPACTED DUE TO THE USE OF EQUIPMENT AND VEHICLES. THIS COMPACTION IS TYPICALLY LIMITED TO THE UPPER 4-6" OF THE SOIL. PRIOR TO THE INSTALLATION OF PLANT MATERIAL IN THESE AREAS, THE COMPACTION SHALL BE REDUCED TO 80% OR LESS USING PREVIOUSLY DESCRIBED METHODS.
- B. SOIL AMENDMENTS:**
- SITE SOIL SHALL BE CAPABLE OF SUSTAINING HEALTHY PLANT LIFE BUT ADDITION OF SOME SUBSOIL MAY BE REQUIRED. EVALUATION OF SOIL FROM LANDSCAPE CONTRACTOR SHOULD BE PERFORMED AFTER EXISTING ASPHALT AND CONCRETE ARE REMOVED.
  - SOIL AMENDMENT: NITROLIZED REDWOOD SAWDUST. ADD 6 CUBIC YARDS PER 1000 SQ FT.
  - GYPSUM. ADD 50 LBS PER 1000 SQ FT.
  - FERTILIZER. APPLY AT A RATE THAT SUPPLIES 1 LB OF NITROGEN PER 1000 SQ FT.
- C. PLANT INSTALLATION:**
- VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS.
  - PLACE TREES, SHRUBS, GRASSES AND GROUNDCOVER IN LOCATIONS SHOWN ON PLANS.
  - DIG PITS AS DETAILED ON DRAWINGS. AFTER PITS ARE DUG, BREAK SIDES TO OPEN WALL OF PIT FOR ROOT PENETRATION.
  - BACKFILL BOTTOM 1/3 OF HOLE CONTAINING ROOTBALL W/ LOOSE SITE SOIL IN A FINELY DIVIDED CONDITION FREE FROM ROCKS OR CLODS. TOP 2/3 OF BACKFILL SHALL USED AMENDED SIT SOIL.
  - FOR TREES: SET TOP OF ROOT BALL 2" ABOVE FINISH GRADE. SHRUBS TO BE SET 1" ABOVE GRADE. THOROUGHLY STAURE BACKFILL SOIL AND ROOTBALL TO FULL DEPTH.
  - PROVIDE MATCHING FORMS AND SIZES FOR PLANTS MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.
- D. ESTABLISHMENT PERIOD:**
- ESTABLISHMENT PERIOD SHALL INCLUDE ALL PLANTING WORK AND EXTEND 60 CALENDAR DAYS AFTER WRITTEN APPROVAL AT TIME OF PRELIMINARY REVIEW.
  - MAINTAIN CONSTANT MOISTURE TO AN 8" DEPTH.
  - KEEP AREAS FREE OF UNDESIRABLE WEEDS BY HAND PULLING.
  - MAINTAIN IRRIGATION SYSTEMS IN FULL OPERATING ORDER, AND REPAIR AND REPLACE ALL DAMAGED IRRIGATION EQUIPMENT AS NECESSARY FOR COMPLETE OPERATION OF THE SYSTEM.
  - MAINTAIN TREES IN BEST CONDITIONS BY SPRAYING, PRUNING, WATERING, ETC. AS NECESSARY.
  - MAINTAIN TREE BASINS, AND STAKING FOR TREES.



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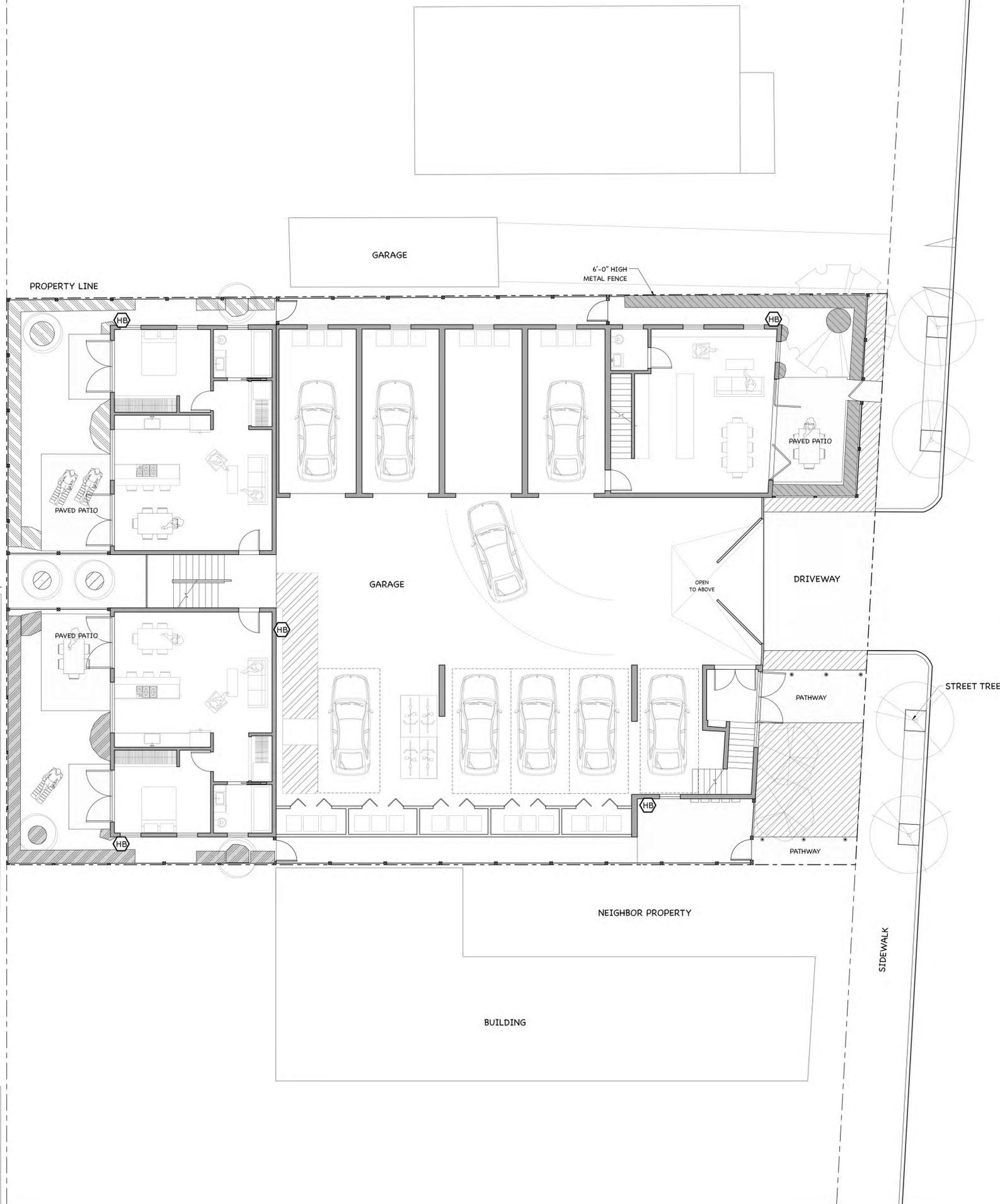
**SHEET TITLE:**  
FIRST FLOOR  
IRRIGATION PLAN  
1/2

**SHEET NUMBER:**

**L.6**

**HYDROZONES**

NUMBER	SYMBOL	NAME	AREA (SQ FT)
1		STREET AND ENTRANCE	411.1
2		NE UNIT	138.8
3		NW UNIT	126.9
4		SW UNIT	126.9
5		COMMON INTERIOR	10.8
6		THIRD FLOOR	172.9



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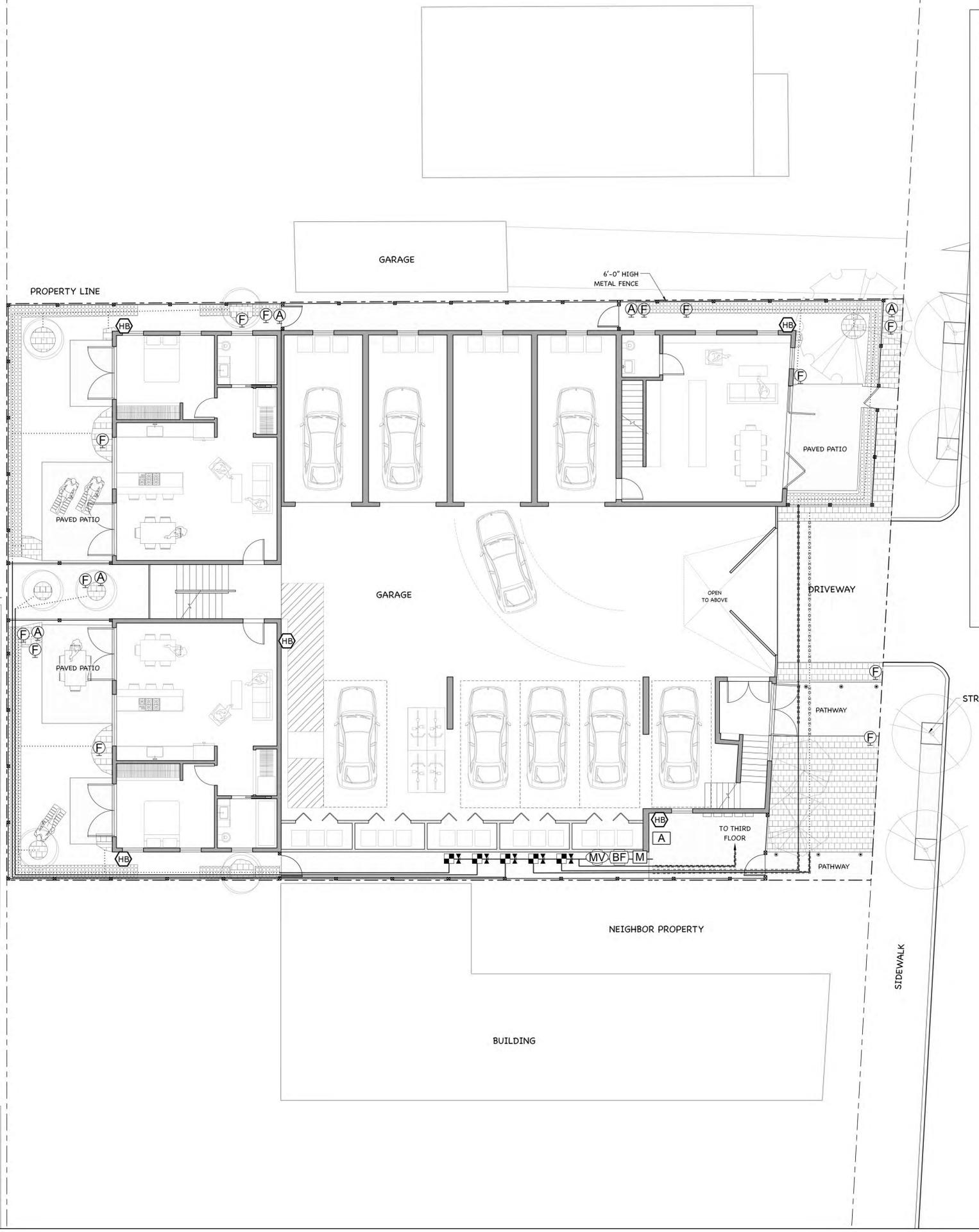
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**SHEET TITLE:**  
**FIRST FLOOR IRRIGATION PLAN**  
2/2

**SHEET NUMBER:**

**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT. 1" DV VALVE W/ 1" PRESSURE REGULATING FILTER AT 40PSI AND MDCF FITTING. 3GPM-15GPM	5
ⓕ	RAIN BIRD MDCFPCAP DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.	13
Ⓐ	RAIN BIRD ARV075 3/4" AIR RELIEF VALVE, MADE OF QUALITY RUST-PROOF MATERIALS, WITH A 6.0" DRIP VALVE BOX. USE WITH INSTALLATION BELOW SOIL. THE VALVE WILL ALLOW AIR TO ESCAPE THE PIPELINE, THUS PREVENTING WATER HAMMER OR BLOCKAGE. AREA TO RECEIVE SUBSURFACE DRIPLINE	5
■	RAINBIRD XFS-06-18-500 PRESSURE AT 8.5 TO 60PSI AREA TO RECEIVE PRESSURE COMPENSATING MODULES. RAINBIRD PC-05 PRESSURE AT 10 TO 50 PSI	250 LF
Ⓜ	Emitter Notes: 1 gal plant to receive 1 emitter 5 gal plant to receive 2 emitters 15 gal plant to receive 3 emitters 24" box to receive 4 emitters.	
⋯	RAINBIRD DRIPLINE STRIPE TUBING XB55008 TO CONNECT IRRIGATION AREAS AND INSTALLING RAINBIRD PC-05	500 LF
⚡	NIBCO T-580-56-R-66-LL STAINLESS STEEL BALL VALVE SHUT OFF VALVE	5
Ⓜ	GRISWOLD 2160LE 2" 2" SOLENOID, NORMALLY OPEN MASTER VALVE. EPOXY COATING. CAST IRON AND BRONZE MATERIAL. NPT END CONNECTION.	1
ⓑ	FEBCO 825YA 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER	1
Ⓐ	RAINBIRD ESP45MTE MODULAR OUTDOOR CONTROLLER W/ RAIN CHECK INCLUDED	1
ⓗ	HOSE BIB	5
Ⓜ	WATER METER 1"	1
—	IRRIGATION LATERAL LINE. PVC SCHEDULE 40 IRRIGATION PIPE	
⋯	PIPE SLEEVE: PVC SCHEDULE 40	
	VALVE BOXES: BROOKS OR EQUAL, BLACK COLOR.	FOR DRIP CONTROLS & AIR VALVES





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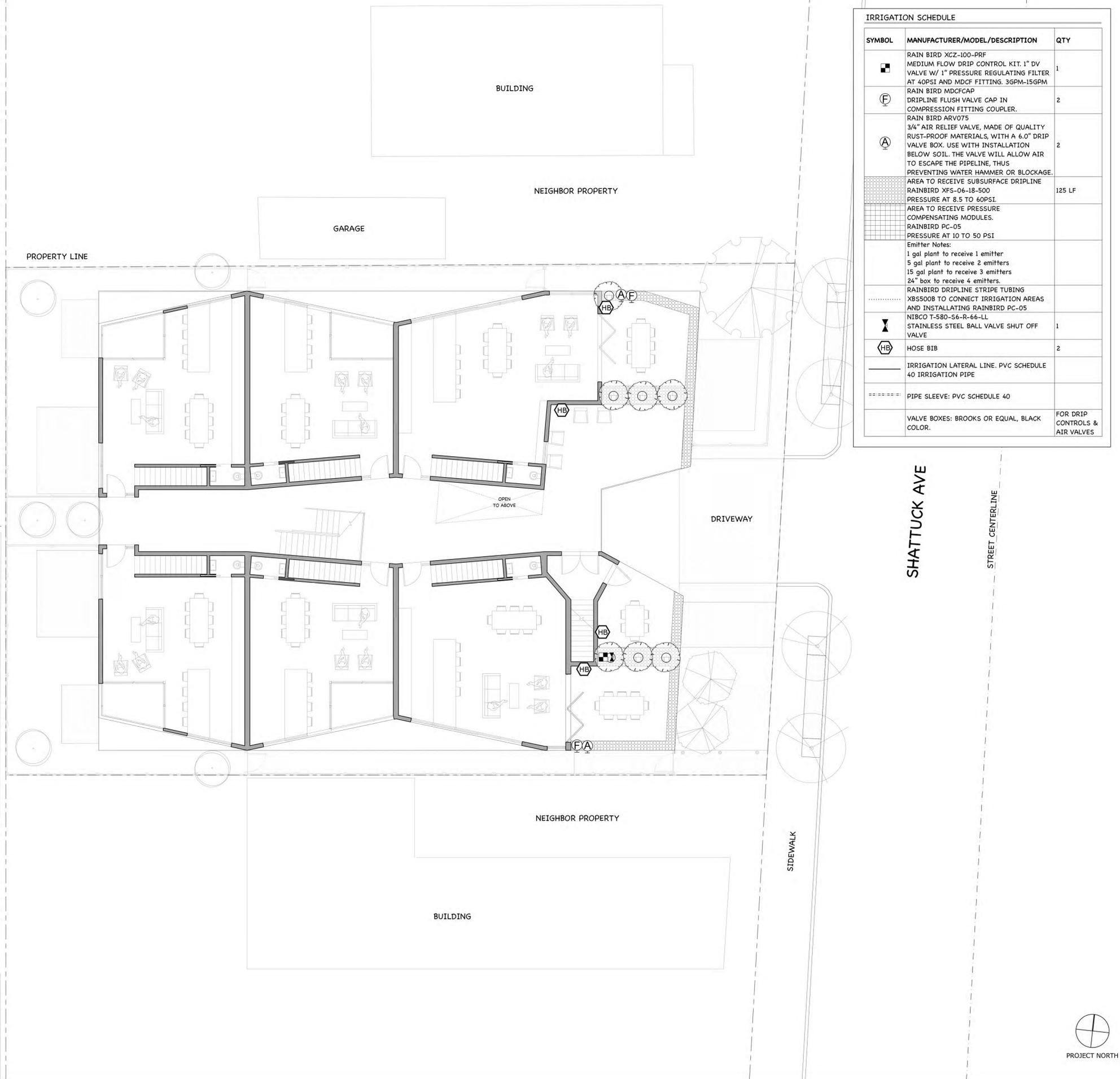
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**SHEET TITLE:**  
**THIRD FLOOR IRRIGATION PLAN**

**SHEET NUMBER:**

**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT. 1" DV VALVE W/ 1" PRESSURE REGULATING FILTER AT 40PSI AND MDCF FITTING. 3GPM-15GPM	1
Ⓣ	RAIN BIRD MDCFPCAP DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.	2
Ⓐ	RAIN BIRD ARV075 3/4" AIR RELIEF VALVE, MADE OF QUALITY RUST-PROOF MATERIALS, WITH A 6.0" DRIP VALVE BOX. USE WITH INSTALLATION BELOW SOIL. THE VALVE WILL ALLOW AIR TO ESCAPE THE PIPELINE, THUS PREVENTING WATER HAMMER OR BLOCKAGE. AREA TO RECEIVE SUBSURFACE DRIPLINE	2
[Hatched Box]	RAINBIRD XFS-06-18-500 PRESSURE AT 8.5 TO 60PSI	125 LF
[Hatched Box]	AREA TO RECEIVE PRESSURE COMPENSATING MODULES. RAINBIRD PC-05 PRESSURE AT 10 TO 50 PSI	
	Emitter Notes: 1 gal plant to receive 1 emitter 5 gal plant to receive 2 emitters 15 gal plant to receive 3 emitters 24" box to receive 4 emitters.	
[Dotted Line]	RAINBIRD DRIPLINE STRIPE TUBING XB5500B TO CONNECT IRRIGATION AREAS AND INSTALLING RAINBIRD PC-05	
⚡	NIBCO T-580-56-R-66-LL STAINLESS STEEL BALL VALVE SHUT OFF VALVE	1
Ⓜ	HOSE BIB	2
[Solid Line]	IRRIGATION LATERAL LINE. PVC SCHEDULE 40 IRRIGATION PIPE	
[Dashed Line]	PIPE SLEEVE: PVC SCHEDULE 40	
	VALVE BOXES: BROOKS OR EQUAL, BLACK COLOR.	FOR DRIP CONTROLS & AIR VALVES



**IRRIGATION CALCULATIONS**

**MAXIMUM APPLIED WATER ALLOWANCE**

$$MAWA = (ETo) \times 0.62 \times [(0.7 \times LA) + (0.3 \times SLA)]$$

MAWA: Maximum Applied Water Allowance  
 ETo: Evapotranspiration in inches per year  
 0.62: Conversion factor to gallons per square foot  
 0.7: ET adjustment factor for plant factors and irrigation efficiency (ETAF)  
 LA: Landscape Area  
 SLA: Portion of the landscape area identified as a special landscape area in sq ft.

PROJECT SITE: OAKLAND, CA in USDA ZONE 10b (41.80" Annual ETo)  
 TOTAL LANDSCAPE AREA: 987.4 SF  
 TOTAL SPECIAL LANDSCAPE AREA: 0 SF

$$\begin{aligned} MAWA &= 41.80 \times 0.62 \times [(0.7 \times 987.4) + (0.3 \times 0)] \\ &= 25,916 \times [691.18 + 0] \\ &= 17,912.6 \text{ GALLON PER YEAR} \end{aligned}$$

**MAWA = 17,912.6 GALLON PER YEAR**

**ESTIMATED TOTAL WATER USE**

$$ETWU = (ETo) \times 0.62 \times [(PF \times HA) / IE + SLA]$$

ETWU: Estimated Total Water Use in gallons per year  
 ETo: Evapotranspiration in inches per year  
 0.62: Conversion factor to gallons per square foot  
 PF: Plant Factor from WUCOLS  
 HA: Hydrozone area in sq ft. Each HA shall be classified based upon the data included in the landscape and irrigation plan as high, medium or low water use.  
 IE: Irrigation efficiency of the irrigation method used in the hydro zone.  
 SLA: Special landscape area in sq ft.

PROJECT SITE: OAKLAND, CA in USDA ZONE 10b (41.80" Annual ETo)  
 LANDSCAPE AREA: 987.4 SF  
 TOTAL SPECIAL LANDSCAPE AREA: 0 SF  
 TOTAL WATER FEATURE AREA: 0 SF  
 TOTAL LANDSCAPE AREA: 987.4 SF

HYDROZONE	SYSTEM	PLANT WATER USE TYPE	PLANT FACTOR (PF)	HYDROZONE AREA (HA) IN SQ FT	IE	(PF x HA) / IE
1	DRIP	VERY LOW	0.1	411.1	0.9	45.7
2	DRIP	LOW-MODERATE	0.38	138.8	0.9	58.6
3	DRIP	LOW-MODERATE	0.38	126.9	0.9	48.2
4	DRIP	LOW-MODERATE	0.38	126.9	0.9	48.2
5	DRIP	MODERATE	0.5	10.8	0.9	6.0
6	DRIP	LOW	0.2	172.9	0.9	38.4

$$\begin{aligned} ETWU &= 41.80 \times 0.62 \times [45.7 + 58.6 + 48.2 + 48.2 + 6.0 + 38.4 + 0] \\ &= 25,916 \times 245.1 \\ &= 6,352.01 \text{ GALLON PER YEAR} \end{aligned}$$

**Project Total ETWU = 6,352.01 GALLON PER YEAR**

**GENERAL IRRIGATION NOTES:**

1. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION AND SHALL REPORT ANY DIFFERENCES BETWEEN THE DESIGN WATER PRESSURE AND THE ACTUAL WORKING PRESSURE READING AT THE IRRIGATION P.O.C. TO OWNER'S REPRESENTATIVE
2. THIS DESIGN IS DIAGRAMMATIC. THESE DRAWINGS ARE INTENDED TO BE A SCHEMATIC REPRESENTATION OF THE FINISHED IRRIGATION SYSTEM. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING, AND ARCHITECTURAL FEATURES. CONTRACTOR SHALL MAKE ALL NECESSARY FIELD ADJUSTMENTS TO ACCOMMODATE ACTUAL SITE CONDITIONS.
3. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THESE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK.
4. CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THESE DRAWINGS WHEN IT IS OBVIOUS THAT FIELD OBSTRUCTIONS AND/OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MAY NOT HAVE BEEN CONSIDERED IN THE SYSTEM ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
5. CONTRACTOR TO COORDINATE SLEEVING UNDER ALL PAVING WITH OTHER TRADES AS NECESSARY. NO TEES OR ELLS SHALL BE INSTALLED UNDER PAVING. ALL SLEEVES SHALL EXTEND A MINIMUM OF TWENTY-FOUR INCHES (24") BEYOND EDGE OF PAVING. ALL SLEEVES LOCATED UNDER PAVING SHALL BE TWO (2) TIMES THE OUTSIDE DIAMETER OF THE PIPE TO BE SLEEVED, MINIMUM TWO-INCH (2") DIAMETER. CONTRACTOR TO INSTALL METALLIC BACKED TAPE ALONG THE ENTIRE LENGTH OF THE SLEEVE, TWELVE INCHES (12") DIRECTLY ABOVE THE SLEEVE. TAPE SHALL BE MARKED 'IRRIGATION' IN TWO INCH (2") CAPITAL LETTERS EVERY THREE FEET (3') ALONG THE TAPE.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED TO OPERATE AT A WATER VELOCITY NOT TO EXCEED FIVE (5) FEET PER SECOND.
7. REMOTE CONTROL VALVES SHALL BE INSTALL ADJACENT TO WALKWAY, IN PLANTING AREAS UNLESS OTHERWISE NOTED.
8. QUICK COUPLERS SHALL BE LOCATED AT A MAXIMUM SPACING OF 100' O.C.
9. CONTRACTOR SHALL FLUSH ALL MAIN LINES PRIOR TO INSTALLATION OF THE VALVES, AND SHALL FLUSH ALL LATERAL LINES PRIOR TO INSTALLATION OF THE DRIP SYSTEM.
10. CONTRACTOR SHALL ADJUST ALL SYSTEMS FOR OPTIMUM PERFORMANCE. THIS INCLUDES ADJUSTMENT OF THE FLOW CONTROL STEM AT EACH REMOTE CONTROL VALVE (TO OBTAIN THE OPTIMUM OPERATING FLOW/PRESSURE FOR THAT SYSTEM).
11. COORDINATE IRRIGATION WORK WITH PLANTING PLANS TO AVOID CONFLICTING LOCATIONS BETWEEN PIPING AND PLANT PITS. SPECIMEN TREE LOCATION TAKE PRECEDENCE OVER IRRIGATION PIPING. LOCATE SPECIMEN TREES PRIOR TO TRENCHING FOR IRRIGATION PIPING.
12. TRENCH MARKER. ALL DIRECT BURIAL WIRES SHALL BE MARKED WITH A CONTINUOUS RED COLORED TRENCH MARKER TAPE PLACED NINE INCHES (9") BELOW FINISH GARDE DIRECTLY ABOVE THE BURIED WIRES. MARKER TAPE SHALL BE EQUAL TO "ALARM TAPE" AS MANUFACTURED BY PAUL POTTER WARNING TAPE INC. SHALL BE FOUR INCHES (4") WIDE.
13. IRRIGATION SYSTEMS ARE TO BE INSTALLED AS DESIGNED AND IN ACCORDANCE WITH THE CRITERIA AND APPLICABLE STANDARDS AS OF THE APPROVED DATE OF THESE PLANS. ALL IRRIGATION SYSTEM COMPONENTS SHALL BE INSTALLED PER LOCAL CODE. CONTRACTORS SHALL SECURE ALL NECESSARY PERMITS.
14. FOR REMOTE CONTROL VALVE MANIFOLDS, BALL VALVE SIZE SHALL EQUAL THE SIZE OF THE LARGEST REMOTE CONTROL VALVE IN THE MANIFOLD.
15. PROVIDE PULL BOXES FOR CONTROL WIRING AT ALL CHANGES IN DIRECTION GREATER THAN FORTY-FIVE (45) DEGREES AND WHERE WIRE RUNS EXCEED THREE-HUNDRED FEET (300') IN LENGTH. IN-LINE WIRE SPLICES SHALL BE MADE ONLY IN PULL BOXES, WITH WATERPROOF CONNECTORS.
16. CONTRACTOR SHALL PROVIDE ONE (1) SET OF EXTRA CONTROL WIRES PER MANIFOLD. BUNDLE AND TAPE 10' OF ADDITIONAL WIRE AND INSTALL IN A PULL BOX ADJACENT TO THE VALVE MANIFOLD.
17. NO WIRE SPLICES SHALL BE ALLOWED ON RUNS OF LESS THAN 500'. ON RUNS GREATER THAN 500', SPLICES ARE TO BE MADE WITH AN APPROVED SPLICED UNIT, AND TO BE INSTALLED IN A CONCRETE PULL BOX.
18. BACKFILL MATERIALS SHALL BE CLEAN AND FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), AND OBJECTS WITH SHARP EDGES.
19. CONTRACTOR SHALL INSTALL IN-LINE ANTI-DRAIN VALVES AS WARRANTED BY THE SITE CONDITIONS TO ALLEVIATE LOW-HEAD DRAINAGE.
20. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY EXISTING IRRIGATION SYSTEM EQUIPMENT WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION.

**ARCHITECT:**  
 LARSON SHORES ARCHITECTURE + INTERIORS  
 1940 UNION STREET #22  
 OAKLAND, CA 94607  
 PHONE/FAX: 510-444-9788  
 PROJECT ARCHITECT: CARRIE SHORES DILLER

**OWNER:**  
 DILLER CAPITAL  
 PO BOX 620341  
 WOODSIDE, CA 94062  
 JIM@DILLERCAPITAL.COM



**DEVELOPMENT**  
**5817 SHATTUCK AVE**  
**OAKLAND, CA 94609**

**SUBMITAL:**  
 PLANNING PERMIT SET  
 APRIL 2019

**REVISIONS:**

#	DATE	DESCRIPTION

These drawings, specifications, ideas, designs, and arrangements presented thereby are and shall remain the property of Larson Shores Architecture + Interiors. No part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they were prepared and developed without the written consent of Larson Shores Architecture + Interiors. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

**SHEET TITLE:**  
 IRRIGATION CALCULATIONS AND NOTES

**SHEET NUMBER:**

**L.9**

**Case File Number: PLN17-052**

**May 3, 2017**

<b>Location:</b>	<b>5817 Shattuck Avenue</b>
<b>Assessors Parcel Number:</b>	<b>015-1370-011-00</b>
<b>Proposal:</b>	To demolish existing structure (Dorsey's Locker) and construct a new 9-unit apartment development.
<b>Owner:</b>	Diller Capital
<b>Applicant:</b>	Jim Diller (650)269-4027
<b>Case Number:</b>	<b>PLN17-052</b>
<b>Planning Permits Required:</b>	Major Conditional Use Permit for nine (9) residential units in the RM-4 Zone; and Design Review for new construction.
<b>General Plan:</b>	Mixed Housing Residential
<b>Zoning:</b>	RM-4 Mixed Housing Residential Zone
<b>Environmental Determination:</b>	Exempt Section 15332 (Infill development projects) of the CEQA Guidelines; and Section 15183 (projects consistent with a community plan, general plan, or zoning).
<b>Historic Status:</b>	Not a Potentially Designated Historic Property (PDHP); Survey Rating: N/A
<b>City Council District:</b>	1
<b>Status:</b>	Pending
<b>Finality of decision:</b>	Appealable to City Council within 10 days
<b>Action to be Taken:</b>	Decision based on staff report.
<b>For Further Information:</b>	Contact case planner Maurice Brenyah-Addow at (510) 238-6342 or by email at <a href="mailto:mbrenyah@oaklandnet.com">mbrenyah@oaklandnet.com</a>

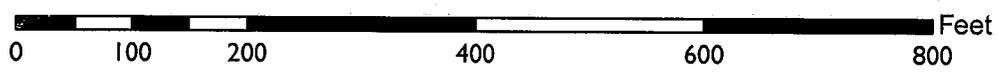
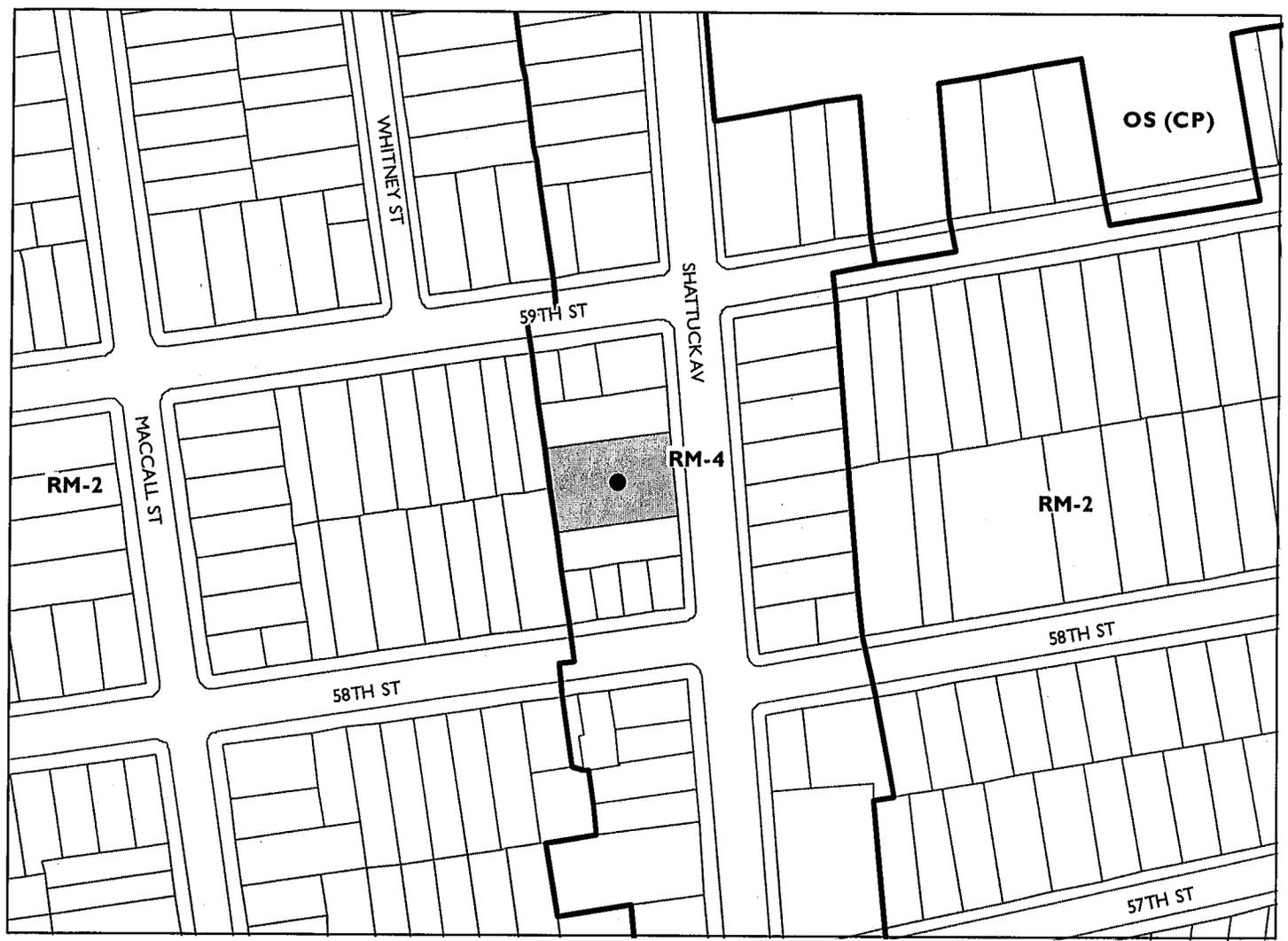
**SUMMARY**

Diller Capital has filed an application with the Bureau of Planning to demolish an existing structure, formerly used as a restaurant (Dorsey's Locker), and construct a new three-story, nine-unit apartment building. The subject 0.23-acre (10,077 sq. ft.) site is located midblock on Shattuck Avenue between 58<sup>th</sup> Street and 59<sup>th</sup> Street and within a block from Bushrod Park.

Pursuant to Section 17.17.050(A) of the Oakland Municipal Code (O.M.C), a Conditional Use Permit (CUP) is required for five or more residential units. Under Section 17.134.020(A.1)(c)(ii), the CUP becomes a Major CUP for seven or more units in the RM-4 Zone. Pursuant to Section 17.17.020 Regular Design Review is also required for demolition of the existing structure and construction of the new project.

The proposed project is a well-designed contemporary residential facility, designed to fit in with the existing context which is a mixture of small to medium scale housing types. The new nine-unit apartment development complies with the CUP and Design Review criteria and all the other applicable regulations and development standards for the RM-4 Zone. The proposed development will enhance the Shattuck Avenue corridor with a new contemporary design. Staff recommends that the Planning Commission approve the project, subject to the attached conditions of approval.

# CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN17052  
Applicant: Jim Diller  
Address: 5817 Shattuck Avenue  
Zone: RM-4

## **PROPERTY DESCRIPTION**

The subject 0.23-acre (10,077 sq. ft.) site is located midblock on Shattuck Avenue between 58<sup>th</sup> Street and 59<sup>th</sup> Street in North Oakland. The site contains a non-descript two-story building with surface parking that was previously used as a restaurant and bar (Dorsey's Locker) with an upper floor residential unit at some point in time. The vicinity has a variety of detached single-family and multi-family homes as well as incidental civic facilities such as a public park (Bushrod Park), an elementary school (Sankofa Academy) and commercial uses such as corner stores, medical offices, and book publishing (New Harbinger Publications). The former use has often been the subject of complaints from the nearby neighborhood for noise and nuisances associated with the bar.

## **PROJECT DESCRIPTION**

The proposed project involves the demolition of the existing two-story building formerly used as a restaurant (Dorsey's Locker), and construction of a new three-story, nine-unit apartment building. The proposed design involves a ground level podium that contains an entry lobby and accessways, a motor court and living space. The two upper levels contain living spaces and group and private open spaces. The building mass is split into two wings linked by a central circulation area. This composition breaks up the bulk of the front elevation to achieve moderately-scaled building volumes similar in scale and proportion to the immediate detached residential structures. The main exterior materials of the project include cement plaster, hardie board siding, metal and glass. The design incorporates various elements and detailing including projecting, recessed, angled wall planes, a series of grouped fenestration, a rhythm of shapes and forms, and material changes, to achieve a visually attractive development that features distinctive elements that come together as a unified whole.

## **CEQA ANALYSIS**

The project qualifies for Categorical Infill Exemption under Section 15332 of the state Environmental Quality Act (CEQA) Guidelines because: a) it is consistent with the Oakland General Plan; b) it occurs within city limits on a site less than 5 acres; c) the site has no value as habitat or endangered species; d) the project would not have significant effects on traffic, noise air quality or water quality; and, e) the site can be adequately served by required utilities and public services. On a separate and independent basis, the project qualifies under Section 15183 of the CEQA Guidelines for projects consistent with a community plan, general plan, or zoning.

## **GENERAL PLAN ANALYSIS**

The subject site is located in the Mixed Housing Type Residential classification of the Land Use and transportation element (LUTE) of the Oakland General Plan which is intended to create, maintain, and enhance residential areas typically located near the City's major arterials and characterized by a mix of single family homes townhouses, small multi-unit buildings and neighborhood businesses where

appropriate. The proposed project is a small multi-unit development located along Shattuck Avenue, which is a major transit corridor in Oakland, and is therefore, consistent with the character of the Mixed Housing Type Residential classification. The proposed project is consistent in all significant respects with the following LUTE objectives and policies:

- *Objective N3: Encourage the construction, conservation, and enhancement of housing resources in order to meet the current and future housing needs of the Oakland community.* The project will provide the North Oakland community with nine new housing units.
- *Policy N3.1, Facilitating Housing Construction: Facilitating the construction of housing units should be considered a high priority for the City of Oakland.* The City of Oakland’s Bureau of Planning staff have streamlined its systems in order to facilitate the construction of new homes and assist developers with navigating the permitting process smoothly and in a timely manner. Staff met with the applicant on several occasions to provide information and direction during the design development of the project.
- *Policy N3.2, Encouraging Infill Development: In order to facilitate the construction of needed housing units, infill development that is consistent with the General Plan should take place throughout the City Oakland.* The project is proposed for a site located in North Oakland. The new development will be an infill development for the currently underutilized site.

**ZONING ANALYSIS**

The subject site is located in the RM-4 Zone which is intended to create, maintain, and enhance residential areas typically located on or near the City's major arterials and characterized by a mix of single family homes, townhouses, small multi-unit buildings at somewhat higher densities than RM-3, and neighborhood businesses where appropriate. The project requires Regular Design Review for the demolition of the existing structure and construction of the project pursuant to Section 17.17.020 of the Oakland Municipal Code (O.M.C.) Furthermore and pursuant to Sections 17.17.050(A) and 17.134.020(A.1)(c)(ii) of the O.M.C., a Conditional Use Permit (CUP) is required for five or more residential units and a Major CUP is required for seven or more units in the RM-4 zone.

The project complies with the applicable development standards as follows:

**Development Standards**

<b>Development Standard</b>	<b>Required</b>	<b>Proposed</b>
Max. Residential Density	9 units (1,100 sq. ft./unit)	9 units
Max. Height	35 ft.	30 ft.
Min. setbacks	15ft. front; 4 ft. sides; 15 ft. rear	15 ft. front; 4 ft. sides; 15 ft. rear
Min. useable open space	1,575 sq. ft. (175 sq. ft./unit)	6,778 sq. ft./unit
Reqd. Bicycle Parking	2 Long term(LT)1/10 units 2 Short Term(ST) 1/20 units	2 LT 2 ST
Reqd. off-street parking	9 spaces	9 spaces

**KEY ISSUES AND IMPACTS**

Overall, the proposed project site plan and design is successful and consistent with the goal of creating a befitting medium-density housing development in North Oakland. The key issues and impacts are discussed below:

**New housing in North Oakland**

The proposed nine-unit housing development is located on Shattuck Avenue, which is a major transit corridor. The new housing will provide more housing stock and help ease the housing crises in Oakland. The setting provides opportunities for convenient accommodations with easy access to neighborhood shops, services and public transit.

**Automobile Parking**

The project provides nine off-street parking spaces within a ground level motor court that has a combination of four individual garages and five (5) open parking stall spaces.

**Site Plan, Building Design and Landscaping**

The site plan presents a medium-density development that responds to the context of urbanized development in the vicinity. The design achieves a visually attractive development that features distinctive elements that come together as a unified whole. The proposed landscaping include trees, shrubs, ground cover, as well as hardscape such as decorative pavers, planters and other features that enhance the visual quality, functionality, and experience of the open areas.

**Useable Open Space**

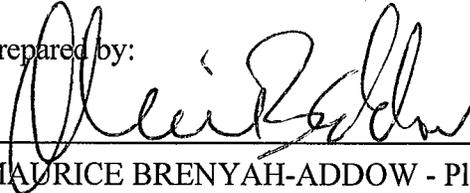
The RM-4 zone requires 175 square feet of useable open space per dwelling unit and a total of 1,575 square feet for the entire development. The project provides a total of 6,778 square feet. The project also incorporates landscaping (softscape and hardscape) to enhance the open areas to achieve a net reduction of peak flow stormwater run-off.

**RECOMMENDATIONS:**

Based on the analysis contained in this report, the findings, and the conditions of approval attached to this report and elsewhere within the administrative record, staff believes that the proposed project is an appropriate development that will further the overall objectives of the Oakland General Plan, particularly related to encouraging new infill housing. Thus, staff recommends that the Commission:

1. Affirm staff's CEQA determination; and
2. Approve the Design Review subject to the attached Findings and Conditions of Approval.

Prepared by:



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MAURICE BRENYAH-ADDOW - Planner III

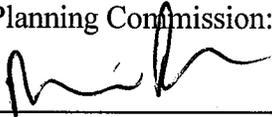
Reviewed by:



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SCOTT MILLER - Zoning Manager

Approved for forwarding to the  
City Planning Commission:



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DARIN RANELLETTI – Interim Director  
Planning and Building Department

**ATTACHMENTS:**    A. Project Plans

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**ATTACHMENT A: FINDINGS**

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This proposal meets the required findings and standards under Sections 17.134.050, *Conditional Use Permit* and 17.136.050, *Regular Design Review* criteria of the Oakland Planning Code as set forth below. Required findings are shown in normal type; reasons your proposal satisfies them are shown in **bold** type.

**SECTION 17.134.050:**

- (a) That the location, size, design, and operating characteristics of the proposed development will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to harmony in scale, bulk, coverage, and density to the availability of civic facilities and utilities; to harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity of surrounding streets; and to any other relevant impact of the development.

**Pursuant to Sections 17.17.050(A) and 17.134.020(A.1)(c)(ii) of the Oakland Municipal Code (O.M.C), a Conditional Use Permit (CUP) is required for five or more residential units and a Major CUP is required for seven or more units in the RM-4 zone. The proposed density is appropriate for the subject site because Shattuck Avenue is a major transit corridor that calls for higher density developments. The proposed nine residential units will be compatible with the mixed housing type neighborhood in that it is similar in scale, bulk, lot coverage and density to the small multi-family buildings in the vicinity.**

- (b) That the location, design, and site planning of the proposed development will provide a convenient and functional living, working, shopping, or civic environment, and will be as attractive as the nature of the use and its location and setting warrant.

**The project will create a convenient and functional living environment for future residents by means of providing spacious dwelling units with useable indoor and outdoor spaces and appropriate number of off-street parking. The new units will be an improvement to the currently underutilized site.**

- (c) That the proposed development will enhance the successful operation of the surrounding area in its basic community functions, or will provide an essential service to the community or region.

**The proposed project will be residential in nature and use. This will contribute to the successful operation of the surrounding area in its basic community function as a medium density residential area with incidental civic and commercial uses.**

**Further, the project meets the intent and character of the Mixed Housing Type LUTE designation.**

- (d) That the proposal conforms to all applicable design review criteria set forth in the DESIGN REVIEW PROCEDURES at Section 17.136.070(a). **The proposed**

***FINDINGS***

contemporary design applies techniques to minimize perceived bulk, scale down the building masses, and minimize potential adverse impacts on adjoining buildings and is therefore compatible with the development pattern and architectural styles in the neighborhood, and therefore, the proposal conforms to the applicable design review criteria.

- (e) That the proposal conforms in all significant respects with the Oakland General Plan and with any other applicable plan or development control map which has been adopted by the City Council. **The proposed small multi-family development, designed to the maximum allowed density and located on a major transit corridor conforms to the Mixed Housing Type Residential General Plan which encourages the development of medium density residential units along transit corridors. Specifically, the project is consistent with LUTE Policies N3.1, N3.2, N6.1 and N7.1.**

**SECTION 17.136.050(a)**

**REGULAR DESIGN REVIEW FINDINGS:**

1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures. **The proposed new development responds to the Shattuck Avenue corridor surroundings with a three-story structure that has a ground floor occupied space and parking. The design incorporates elements and materials that articulate the façades with recesses and projections to manage massing and minimize perceived bulk. The overall design relates well to the surrounding area in their setting, scale, bulk, height, materials and textures. Therefore, the proposed new project will be compatible with the surroundings in its setting, scale, bulk, height, materials and textures.**
2. That the proposed design will protect, preserve or enhance desirable neighborhood characteristics. **The proposed new housing development will result in a new and attractive building structure that will revitalize the neighborhood. The attached standard conditions of approval will ensure that all potential negative impacts have been reduced to less than significant.**
3. That the proposed design will be sensitive to the topography and landscape. **The proposed development is expected to involve minimal earthwork for foundations and other site improvements.**
4. That if situated on a hill, the design and massing of the proposed building relates to the grade of the hill. N/A
5. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable district plan or development control map which has been adopted by the City council. **See Section 17.134.050(e) above.**

***FINDINGS***

**CONDITIONS OF APPROVAL**

**1. Approved Use**

The project shall be constructed and operated in accordance with the authorized use as described in the approved application materials, Staff report and the approved plans **dated February 27, 2017 and submitted February 27, 2017**, as amended by the following conditions of approval and mitigation measures, if applicable (“Conditions of Approval” or “Conditions”).

**2. Effective Date, Expiration, Extensions and Extinguishment**

This Approval shall become effective immediately, unless the Approval is appealable, in which case the Approval shall become effective in ten calendar days unless an appeal is filed. Unless a different termination date is prescribed, this Approval shall expire **Two Calendar Years** from the Approval date, or from the date of the final decision in the event of an appeal, unless within such period all necessary permits for construction or alteration have been issued, or the authorized activities have commenced in the case of a permit not involving construction or alteration. Upon written request and payment of appropriate fees submitted no later than the expiration date of this Approval, the Director of City Planning or designee may grant a one-year extension of this date, with additional extensions subject to approval by the approving body. Expiration of any necessary building permit or other construction-related permit for this project may invalidate this Approval if said Approval has also expired. If litigation is filed challenging this Approval, or its implementation, then the time period stated above for obtaining necessary permits for construction or alteration and/or commencement of authorized activities is automatically extended for the duration of the litigation.

**3. Compliance with Other Requirements**

The project applicant shall comply with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to those imposed by the City’s Bureau of Building, Fire Marshal, and Public Works Department. Compliance with other applicable requirements may require changes to the approved use and/or plans. These changes shall be processed in accordance with the procedures contained in Condition #4.

**4. Minor and Major Changes**

- a. Minor changes to the approved project, plans, Conditions, facilities, or use may be approved administratively by the Director of City Planning.
- b. Major changes to the approved project, plans, Conditions, facilities, or use shall be reviewed by the Director of City Planning to determine whether such changes require submittal and approval of a revision to the Approval by the original approving body or a new independent permit/approval. Major revisions shall be reviewed in accordance with the procedures required for the original permit/approval. A new independent

permit/approval shall be reviewed in accordance with the procedures required for the new permit/approval.

**5. Compliance with Conditions of Approval**

- a. The project applicant and property owner, including successors, (collectively referred to hereafter as the “project applicant” or “applicant”) shall be responsible for compliance with all the Conditions of Approval and any recommendations contained in any submitted and approved technical report at his/her sole cost and expense, subject to review and approval by the City of Oakland.
- b. The City of Oakland reserves the right at any time during construction to require certification by a licensed professional at the project applicant’s expense that the as-built project conforms to all applicable requirements, including but not limited to, approved maximum heights and minimum setbacks. Failure to construct the project in accordance with the Approval may result in remedial reconstruction, permit revocation, permit modification, stop work, permit suspension, or other corrective action.
- c. Violation of any term, Condition, or project description relating to the Approval is unlawful, prohibited, and a violation of the Oakland Municipal Code. The City of Oakland reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the Approval or alter these Conditions if it is found that there is violation of any of the Conditions or the provisions of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions. The project applicant shall be responsible for paying fees in accordance with the City’s Master Fee Schedule for inspections conducted by the City or a City-designated third-party to investigate alleged violations of the Approval or Conditions.

**6. Signed Copy of the Approval/Conditions**

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times.

**7. Blight/Nuisances**

The project site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within 60 days of approval, unless an earlier date is specified elsewhere.

**8. Indemnification**

- a. To the maximum extent permitted by law, the project applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the Oakland City Council, the Oakland Redevelopment Successor Agency, the Oakland

City Planning Commission, and their respective agents, officers, employees, and volunteers (hereafter collectively called "City") from any liability, damages, claim, judgment, loss (direct or indirect), action, causes of action, or proceeding (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "Action") against the City to attack, set aside, void or annul this Approval or implementation of this Approval. The City may elect, in its sole discretion, to participate in the defense of said Action and the project applicant shall reimburse the City for its reasonable legal costs and attorneys' fees.

- b. Within ten (10) calendar days of the filing of any Action as specified in subsection (a) above, the project applicant shall execute a Joint Defense Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment, or invalidation of the Approval. Failure to timely execute the Letter of Agreement does not relieve the project applicant of any of the obligations contained in this Condition or other requirements or Conditions of Approval that may be imposed by the City.

**9. Severability**

The Approval would not have been granted but for the applicability and validity of each and every one of the specified Conditions, and if one or more of such Conditions is found to be invalid by a court of competent jurisdiction this Approval would not have been granted without requiring other valid Conditions consistent with achieving the same purpose and intent of such Approval.

**10. Special Inspector/Inspections, Independent Technical Review, Project Coordination and Monitoring**

The project applicant may be required to cover the full costs of independent third-party technical review and City monitoring and inspection, including without limitation, special inspector(s)/inspection(s) during times of extensive or specialized plan-check review or construction, and inspections of potential violations of the Conditions of Approval. The project applicant shall establish a deposit with the Bureau of Building, if directed by the Building Official, Director of City Planning, or designee, prior to the issuance of a construction-related permit and on an ongoing as-needed basis.

**11. Public Improvements**

The project applicant shall obtain all necessary permits/approvals, such as encroachment permits, obstruction permits, curb/gutter/sidewalk permits, and public improvement ("p-job") permits from the City for work in the public right-of-way, including but not limited to, streets, curbs, gutters, sidewalks, utilities, and fire hydrants. Prior to any work in the public right-of-way, the applicant shall submit plans for review and approval by the Bureau of Planning, the Bureau of Building, and other City departments as required. Public improvements shall be designed and installed to the satisfaction of the City.

**12. Construction Management Plan**

Prior to the issuance of the first construction-related permit, the project applicant and his/her general contractor shall submit a Construction Management Plan (CMP) for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments such as the Fire Department and the Public Works Department as directed. The CMP shall contain measures to minimize potential construction impacts including measures to comply with all construction-related Conditions of Approval (and mitigation measures if applicable) such as dust control, construction emissions, hazardous materials, construction days/hours, construction traffic control, waste reduction and recycling, stormwater pollution prevention, noise control, complaint management, and cultural resource management (see applicable Conditions below). The CMP shall provide project-specific information including descriptive procedures, approval documentation, and drawings (such as a site logistics plan, fire safety plan, construction phasing plan, proposed truck routes, traffic control plan, complaint management plan, construction worker parking plan, and litter/debris clean-up plan) that specify how potential construction impacts will be minimized and how each construction-related requirement will be satisfied throughout construction of the project.

**13. Regulatory Permits and Authorizations from Other Agencies**

Requirement: The project applicant shall obtain all necessary regulatory permits and authorizations from applicable resource/regulatory agencies including, but not limited to, the Regional Water Quality Control Board, Bay Area Air Quality Management District, Bay Conservation and Development Commission, California Department of Fish and Wildlife, U. S. Fish and Wildlife Service, and Army Corps of Engineers and shall comply with all requirements and conditions of the permits/authorizations. The project applicant shall submit evidence of the approved permits/authorizations to the City, along with evidence demonstrating compliance with any regulatory permit/authorization conditions of approval.

When Required: Prior to activity requiring permit/authorization from regulatory agency

Initial Approval: Approval by applicable regulatory agency with jurisdiction; evidence of approval submitted to Bureau of Planning

Monitoring/Inspection: Applicable regulatory agency with jurisdiction

**AESTHETICS**

**14. Graffiti Control**

Requirement:

- a. During construction and operation of the project, the project applicant shall incorporate best management practices reasonably related to the control of graffiti and/or the

mitigation of the impacts of graffiti. Such best management practices may include, without limitation:

- i. Installation and maintenance of landscaping to discourage defacement of and/or protect likely graffiti-attracting surfaces.
  - ii. Installation and maintenance of lighting to protect likely graffiti-attracting surfaces.
  - iii. Use of paint with anti-graffiti coating.
  - iv. Incorporation of architectural or design elements or features to discourage graffiti defacement in accordance with the principles of Crime Prevention Through Environmental Design (CPTED).
  - v. Other practices approved by the City to deter, protect, or reduce the potential for graffiti defacement.
- b. The project applicant shall remove graffiti by appropriate means within seventy-two (72) hours. Appropriate means include the following:
- i. Removal through scrubbing, washing, sanding, and/or scraping (or similar method) without damaging the surface and without discharging wash water or cleaning detergents into the City storm drain system.
  - ii. Covering with new paint to match the color of the surrounding surface.
  - iii. Replacing with new surfacing (with City permits if required).

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**15. Landscape Plan**

**a. *Landscape Plan Required***

Requirement: The project applicant shall submit a final Landscape Plan for City review and approval that is consistent with the approved Landscape Plan. The Landscape Plan shall be included with the set of drawings submitted for the construction-related permit and shall comply with the landscape requirements of chapter 17.124 of the Planning Code.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

**b. *Landscape Installation***

Requirement: The project applicant shall implement the approved Landscape Plan unless a bond, cash deposit, letter of credit, or other equivalent instrument acceptable to the Director of City Planning, is provided. The financial instrument shall equal the greater of \$2,500 or the estimated cost of implementing the Landscape Plan based on a licensed contractor's bid.

When Required: Prior to building permit final

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

**c. *Landscape Maintenance***

Requirement: All required planting shall be permanently maintained in good growing condition and, whenever necessary, replaced with new plant materials to ensure continued compliance with applicable landscaping requirements. The property owner shall be responsible for maintaining planting in adjacent public rights-of-way. All required fences, walls, and irrigation systems shall be permanently maintained in good condition and, whenever necessary, repaired or replaced.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**16. Lighting**

Requirement: Proposed new exterior lighting fixtures shall be adequately shielded to a point below the light bulb and reflector to prevent unnecessary glare onto adjacent properties.

When Required: Prior to building permit final

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**AIR QUALITY**

**17. Construction-Related Air Pollution Controls (Dust and Equipment Emissions)**

Requirement: The project applicant shall implement all of the following applicable air pollution control measures during construction of the project:

- a. Water all exposed surfaces of active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever feasible.
- b. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e., the minimum required space between the top of the load and the top of the trailer).
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.

- d. Pave all roadways, driveways, sidewalks, etc. within one month of site grading or as soon as feasible. In addition, building pads should be laid within one month of grading or as soon as feasible unless seeding or soil binders are used.
- e. Enclose, cover, water twice daily, or apply (non-toxic) soil stabilizers to exposed stockpiles (dirt, sand, etc.).
- f. Limit vehicle speeds on unpaved roads to 15 miles per hour.
- g. Idling times on all diesel-fueled commercial vehicles over 10,000 lbs. shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes (as required by the California airborne toxics control measure Title 13, Section 2485, of the California Code of Regulations). Clear signage to this effect shall be provided for construction workers at all access points.
- h. Idling times on all diesel-fueled off-road vehicles over 25 horsepower shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes and fleet operators must develop a written policy as required by Title 23, Section 2449, of the California Code of Regulations (“California Air Resources Board Off-Road Diesel Regulations”).
- i. All construction equipment shall be maintained and properly tuned in accordance with the manufacturer’s specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- j. Portable equipment shall be powered by electricity if available. If electricity is not available, propane or natural gas shall be used if feasible. Diesel engines shall only be used if electricity is not available and it is not feasible to use propane or natural gas.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**18. Asbestos in Structures**

Requirement: The project applicant shall comply with all applicable laws and regulations regarding demolition and renovation of Asbestos Containing Materials (ACM), including but not limited to California Code of Regulations, Title 8; California Business and Professions Code, Division 3; California Health and Safety Code sections 25915-25919.7; and Bay Area Air Quality Management District, Regulation 11, Rule 2, as may be amended. Evidence of compliance shall be submitted to the City upon request.

When Required: Prior to approval of construction-related permit

Initial Approval: Applicable regulatory agency with jurisdiction

Monitoring/Inspection: Applicable regulatory agency with jurisdiction

## BIOLOGICAL RESOURCES

### 19. Tree Permit

#### a. *Tree Permit Required*

Requirement: Pursuant to the City's Tree Protection Ordinance (OMC chapter 12.36), the project applicant shall obtain a tree permit and abide by the conditions of that permit.

When Required: Prior to approval of construction-related permit

Initial Approval: Permit approval by Public Works Department, Tree Division; evidence of approval submitted to Bureau of Building

Monitoring/Inspection: Bureau of Building

#### b. *Tree Protection During Construction*

Requirement: Adequate protection shall be provided during the construction period for any trees which are to remain standing, including the following, plus any recommendations of an arborist:

- i. Before the start of any clearing, excavation, construction, or other work on the site, every protected tree deemed to be potentially endangered by said site work shall be securely fenced off at a distance from the base of the tree to be determined by the project's consulting arborist. Such fences shall remain in place for duration of all such work. All trees to be removed shall be clearly marked. A scheme shall be established for the removal and disposal of logs, brush, earth and other debris which will avoid injury to any protected tree.
- ii. Where proposed development or other site work is to encroach upon the protected perimeter of any protected tree, special measures shall be incorporated to allow the roots to breathe and obtain water and nutrients. Any excavation, cutting, filing, or compaction of the existing ground surface within the protected perimeter shall be minimized. No change in existing ground level shall occur within a distance to be determined by the project's consulting arborist from the base of any protected tree at any time. No burning or use of equipment with an open flame shall occur near or within the protected perimeter of any protected tree.
- iii. No storage or dumping of oil, gas, chemicals, or other substances that may be harmful to trees shall occur within the distance to be determined by the project's consulting arborist from the base of any protected trees, or any other location on the site from which such substances might enter the protected perimeter. No heavy construction equipment or construction materials shall be operated or stored within a distance from the base of any protected trees to be determined by the project's consulting arborist. Wires, ropes, or other devices shall not be attached to any protected tree, except as needed for support of the tree. No sign, other than a tag showing the botanical classification, shall be attached to any protected tree.

- iv. Periodically during construction, the leaves of protected trees shall be thoroughly sprayed with water to prevent buildup of dust and other pollution that would inhibit leaf transpiration.
- v. If any damage to a protected tree should occur during or as a result of work on the site, the project applicant shall immediately notify the Public Works Department and the project's consulting arborist shall make a recommendation to the City Tree Reviewer as to whether the damaged tree can be preserved. If, in the professional opinion of the Tree Reviewer, such tree cannot be preserved in a healthy state, the Tree Reviewer shall require replacement of any tree removed with another tree or trees on the same site deemed adequate by the Tree Reviewer to compensate for the loss of the tree that is removed.
- vi. All debris created as a result of any tree removal work shall be removed by the project applicant from the property within two weeks of debris creation, and such debris shall be properly disposed of by the project applicant in accordance with all applicable laws, ordinances, and regulations.

When Required: During construction

Initial Approval: Public Works Department, Tree Division

Monitoring/Inspection: Bureau of Building

**c. *Tree Replacement Plantings***

Requirement: Replacement plantings shall be required for tree removals for the purposes of erosion control, groundwater replenishment, visual screening, wildlife habitat, and preventing excessive loss of shade, in accordance with the following criteria:

- i. No tree replacement shall be required for the removal of nonnative species, for the removal of trees which is required for the benefit of remaining trees, or where insufficient planting area exists for a mature tree of the species being considered.
- ii. Replacement tree species shall consist of *Sequoia sempervirens* (Coast Redwood), *Quercus agrifolia* (Coast Live Oak), *Arbutus menziesii* (Madrone), *Aesculus californica* (California Buckeye), *Umbellularia californica* (California Bay Laurel), or other tree species acceptable to the Tree Division.
- iii. Replacement trees shall be at least twenty-four (24) inch box size, unless a smaller size is recommended by the arborist, except that three fifteen (15) gallon size trees may be substituted for each twenty-four (24) inch box size tree where appropriate.
- iv. Minimum planting areas must be available on site as follows:
  - For *Sequoia sempervirens*, three hundred fifteen (315) square feet per tree;
  - For other species listed, seven hundred (700) square feet per tree.
- v. In the event that replacement trees are required but cannot be planted due to site constraints, an in lieu fee in accordance with the City's Master Fee Schedule may be substituted for required replacement plantings, with all such revenues applied toward tree planting in city parks, streets and medians.

- vi. The project applicant shall install the plantings and maintain the plantings until established. The Tree Reviewer of the Tree Division of the Public Works Department may require a landscape plan showing the replacement plantings and the method of irrigation. Any replacement plantings which fail to become established within one year of planting shall be replanted at the project applicant's expense.

When Required: Prior to building permit final

Initial Approval: Public Works Department, Tree Division

Monitoring/Inspection: Bureau of Building

## **CULTURAL RESOURCES**

### **20. Archaeological and Paleontological Resources – Discovery During Construction**

Requirement: Pursuant to CEQA Guidelines section 15064.5(f), in the event that any historic or prehistoric subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant shall notify the City and consult with a qualified archaeologist or paleontologist, as applicable, to assess the significance of the find. In the case of discovery of paleontological resources, the assessment shall be done in accordance with the Society of Vertebrate Paleontology standards. If any find is determined to be significant, appropriate avoidance measures recommended by the consultant and approved by the City must be followed unless avoidance is determined unnecessary or infeasible by the City. Feasibility of avoidance shall be determined with consideration of factors such as the nature of the find, project design, costs, and other considerations. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery, excavation) shall be instituted. Work may proceed on other parts of the project site while measures for the cultural resources are implemented.

In the event of data recovery of archaeological resources, the project applicant shall submit an Archaeological Research Design and Treatment Plan (ARDTP) prepared by a qualified archaeologist for review and approval by the City. The ARDTP is required to identify how the proposed data recovery program would preserve the significant information the archaeological resource is expected to contain. The ARDTP shall identify the scientific/historic research questions applicable to the expected resource, the data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. The ARDTP shall include the analysis and specify the curation and storage methods. Data recovery, in general, shall be limited to the portions of the archaeological resource that could be impacted by the proposed project. Destructive data recovery methods shall not be applied to portions of the archaeological resources if nondestructive methods are practicable. Because the intent of the ARDTP is to save as much of the archaeological resource as possible, including moving the resource, if feasible, preparation and implementation of the ARDTP would reduce the potential adverse impact to less than significant. The project applicant shall implement the ARDTP at his/her expense.

In the event of excavation of paleontological resources, the project applicant shall submit an excavation plan prepared by a qualified paleontologist to the City for review and approval. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by a qualified paleontologist, as appropriate, according to current professional standards and at the expense of the project applicant.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**21. Human Remains – Discovery During Construction**

Requirement: Pursuant to CEQA Guidelines section 15064.5(e)(1), in the event that human skeletal remains are uncovered at the project site during construction activities, all work shall immediately halt and the project applicant shall notify the City and the Alameda County Coroner. If the County Coroner determines that an investigation of the cause of death is required or that the remains are Native American, all work shall cease within 50 feet of the remains until appropriate arrangements are made. In the event that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of section 7050.5 of the California Health and Safety Code. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance, and avoidance measures (if applicable) shall be completed expeditiously and at the expense of the project applicant.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**GEOLOGY AND SOILS**

**22. Construction-Related Permit(s)**

Requirement: The project applicant shall obtain all required construction-related permits/approvals from the City. The project shall comply with all standards, requirements and conditions contained in construction-related codes, including but not limited to the Oakland Building Code and the Oakland Grading Regulations, to ensure structural integrity and safe construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**23. Soils Report**

Requirement: The project applicant shall submit a soils report prepared by a registered geotechnical engineer for City review and approval. The soils report shall contain, at a minimum, field test results and observations regarding the nature, distribution and strength of existing soils, and recommendations for appropriate grading practices and project design. The project applicant shall implement the recommendations contained in the approved report during project design and construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**24. Seismic Hazards Zone (Landslide/Liquefaction)**

Requirement: The project applicant shall submit a site-specific geotechnical report, consistent with California Geological Survey Special Publication 117 (as amended), prepared by a registered geotechnical engineer for City review and approval containing at a minimum a description of the geological and geotechnical conditions at the site, an evaluation of site-specific seismic hazards based on geological and geotechnical conditions, and recommended measures to reduce potential impacts related to liquefaction and/or slope stability hazards. The project applicant shall implement the recommendations contained in the approved report during project design and construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

## **HAZARDS AND HAZARDOUS MATERIALS**

**25. Hazardous Materials Related to Construction**

Requirement: The project applicant shall ensure that Best Management Practices (BMPs) are implemented by the contractor during construction to minimize potential negative effects on groundwater, soils, and human health. These shall include, at a minimum, the following:

- a. Follow manufacture's recommendations for use, storage, and disposal of chemical products used in construction;
- b. Avoid overtopping construction equipment fuel gas tanks;
- c. During routine maintenance of construction equipment, properly contain and remove grease and oils;
- d. Properly dispose of discarded containers of fuels and other chemicals;

- e. Implement lead-safe work practices and comply with all local, regional, state, and federal requirements concerning lead (for more information refer to the Alameda County Lead Poisoning Prevention Program); and
- f. If soil, groundwater, or other environmental medium with suspected contamination is encountered unexpectedly during construction activities (e.g., identified by odor or visual staining, or if any underground storage tanks, abandoned drums or other hazardous materials or wastes are encountered), the project applicant shall cease work in the vicinity of the suspect material, the area shall be secured as necessary, and the applicant shall take all appropriate measures to protect human health and the environment. Appropriate measures shall include notifying the City and applicable regulatory agency(ies) and implementation of the actions described in the City's Standard Conditions of Approval, as necessary, to identify the nature and extent of contamination. Work shall not resume in the area(s) affected until the measures have been implemented under the oversight of the City or regulatory agency, as appropriate.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

## **HYDROLOGY AND WATER QUALITY**

### **26. Erosion and Sedimentation Control Measures for Construction**

Requirement: The project applicant shall implement Best Management Practices (BMPs) to reduce erosion, sedimentation, and water quality impacts during construction to the maximum extent practicable. At a minimum, the project applicant shall provide filter materials deemed acceptable to the City at nearby catch basins to prevent any debris and dirt from flowing into the City's storm drain system and creeks.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

### **27. Erosion and Sedimentation Control Plan for Construction**

#### ***d. Erosion and Sedimentation Control Plan Required***

Requirement: The project applicant shall submit an Erosion and Sedimentation Control Plan to the City for review and approval. The Erosion and Sedimentation Control Plan shall include all necessary measures to be taken to prevent excessive stormwater runoff or carrying by stormwater runoff of solid materials on to lands of adjacent property owners, public streets, or to creeks as a result of conditions created by grading and/or construction operations. The Plan shall include, but not be limited to, such measures as short-term erosion control planting, waterproof slope covering, check dams, interceptor ditches, benches, storm drains, dissipation structures, diversion dikes, retarding berms

and barriers, devices to trap, store and filter out sediment, and stormwater retention basins. Off-site work by the project applicant may be necessary. The project applicant shall obtain permission or easements necessary for off-site work. There shall be a clear notation that the plan is subject to changes as changing conditions occur. Calculations of anticipated stormwater runoff and sediment volumes shall be included, if required by the City. The Plan shall specify that, after construction is complete, the project applicant shall ensure that the storm drain system shall be inspected and that the project applicant shall clear the system of any debris or sediment.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

***e. Erosion and Sedimentation Control During Construction***

Requirement: The project applicant shall implement the approved Erosion and Sedimentation Control Plan. No grading shall occur during the wet weather season (October 15 through April 15) unless specifically authorized in writing by the Bureau of Building.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**28. Site Design Measures to Reduce Stormwater Runoff**

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant is encouraged to incorporate appropriate site design measures into the project to reduce the amount of stormwater runoff. These measures may include, but are not limited to, the following:

- a. Minimize impervious surfaces, especially directly connected impervious surfaces and surface parking areas;
- b. Utilize permeable paving in place of impervious paving where appropriate;
- c. Cluster structures;
- d. Direct roof runoff to vegetated areas;
- e. Preserve quality open space; and
- f. Establish vegetated buffer areas.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: N/A

**29. Source Control Measures to Limit Stormwater Pollution**

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant is encouraged to incorporate appropriate source control measures to limit pollution in stormwater runoff. These measures may include, but are not limited to, the following:

- a. Stencil storm drain inlets “No Dumping – Drains to Bay;”
- b. Minimize the use of pesticides and fertilizers;
- c. Cover outdoor material storage areas, loading docks, repair/maintenance bays and fueling areas;
- d. Cover trash, food waste, and compactor enclosures; and
- e. Plumb the following discharges to the sanitary sewer system, subject to City approval:
- f. Discharges from indoor floor mats, equipment, hood filter, wash racks, and, covered outdoor wash racks for restaurants;
- g. Dumpster drips from covered trash, food waste, and compactor enclosures;
- h. Discharges from outdoor covered wash areas for vehicles, equipment, and accessories;
- i. Swimming pool water, if discharge to on-site vegetated areas is not feasible; and
- j. Fire sprinkler test water, if discharge to on-site vegetated areas is not feasible.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: N/A

**30. NPDES C.3 Stormwater Requirements for Small Projects**

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant shall incorporate one or more of the following site design measures into the project:

- a. Direct roof runoff into cisterns or rain barrels for reuse;
- b. Direct roof runoff onto vegetated areas;
- c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas;
- d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas;
- e. Construct sidewalks, walkways, and/or patios with permeable surfaces; or
- f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces.

The project drawings submitted for construction-related permits shall include the proposed site design measure(s) and the approved measure(s) shall be installed during construction. The design and installation of the measure(s) shall comply with all applicable City requirements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

## **NOISE**

### **31. Construction Days/Hours**

Requirement: The project applicant shall comply with the following restrictions concerning construction days and hours:

- a. Construction activities are limited to between 7:00 a.m. and 7:00 p.m. Monday through Friday, except that pier drilling and/or other extreme noise generating activities greater than 90 dBA shall be limited to between 8:00 a.m. and 4:00 p.m.
- b. Construction activities are limited to between 9:00 a.m. and 5:00 p.m. on Saturday. In residential zones and within 300 feet of a residential zone, construction activities are allowed from 9:00 a.m. to 5:00 p.m. only within the interior of the building with the doors and windows closed. No pier drilling or other extreme noise generating activities greater than 90 dBA are allowed on Saturday.
- c. No construction is allowed on Sunday or federal holidays.

Construction activities include, but are not limited to, truck idling, moving equipment (including trucks, elevators, etc.) or materials, deliveries, and construction meetings held on-site in a non-enclosed area.

Any construction activity proposed outside of the above days and hours for special activities (such as concrete pouring which may require more continuous amounts of time) shall be evaluated on a case-by-case basis by the City, with criteria including the urgency/emergency nature of the work, the proximity of residential or other sensitive uses, and a consideration of nearby residents'/occupants' preferences. The project applicant shall notify property owners and occupants located within 300 feet at least 14 calendar days prior to construction activity proposed outside of the above days/hours. When submitting a request to the City to allow construction activity outside of the above days/hours, the project applicant shall submit information concerning the type and duration of proposed construction activity and the draft public notice for City review and approval prior to distribution of the public notice.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

### **32. Construction Noise**

Requirement: The project applicant shall implement noise reduction measures to reduce noise impacts due to construction. Noise reduction measures include, but are not limited to, the following:

- a. Equipment and trucks used for project construction shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers,

ducts, engine enclosures and acoustically-attenuating shields or shrouds) wherever feasible.

- b. Except as provided herein, impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for project construction shall be hydraulically or electrically powered to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler can lower noise levels from the exhaust by up to about 10 dBA. External jackets on the tools themselves shall be used, if such jackets are commercially available, and this could achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever such procedures are available and consistent with construction procedures.
- c. Applicant shall use temporary power poles instead of generators where feasible.
- d. Stationary noise sources shall be located as far from adjacent properties as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or use other measures as determined by the City to provide equivalent noise reduction.
- e. The noisiest phases of construction shall be limited to less than 10 days at a time. Exceptions may be allowed if the City determines an extension is necessary and all available noise reduction controls are implemented.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

### 33. Extreme Construction Noise

#### *a. Construction Noise Management Plan Required*

Requirement: Prior to any extreme noise generating construction activities (e.g., pier drilling, pile driving and other activities generating greater than 90dBA), the project applicant shall submit a Construction Noise Management Plan prepared by a qualified acoustical consultant for City review and approval that contains a set of site-specific noise attenuation measures to further reduce construction impacts associated with extreme noise generating activities. The project applicant shall implement the approved Plan during construction. Potential attenuation measures include, but are not limited to, the following:

- i. Erect temporary plywood noise barriers around the construction site, particularly along on sites adjacent to residential buildings;
- ii. Implement “quiet” pile driving technology (such as pre-drilling of piles, the use of more than one pile driver to shorten the total pile driving duration), where feasible, in consideration of geotechnical and structural requirements and conditions;
- iii. Utilize noise control blankets on the building structure as the building is erected to reduce noise emission from the site;

- iv. Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings by the use of sound blankets for example and implement such measure if such measures are feasible and would noticeably reduce noise impacts; and
- v. Monitor the effectiveness of noise attenuation measures by taking noise measurements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

***b. Public Notification Required***

Requirement: The project applicant shall notify property owners and occupants located within 300 feet of the construction activities at least 14 calendar days prior to commencing extreme noise generating activities. Prior to providing the notice, the project applicant shall submit to the City for review and approval the proposed type and duration of extreme noise generating activities and the proposed public notice. The public notice shall provide the estimated start and end dates of the extreme noise generating activities and describe noise attenuation measures to be implemented.

When Required: During construction

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**34. Project-Specific Construction Noise Reduction Measures**

Requirement: The project applicant shall submit a Construction Noise Management Plan prepared by a qualified acoustical consultant for City review and approval that contains a set of site-specific noise attenuation measures to further reduce construction noise impacts. The project applicant shall implement the approved Plan during construction

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**35. Construction Noise Complaints**

Requirement: The project applicant shall submit to the City for review and approval a set of procedures for responding to and tracking complaints received pertaining to construction noise, and shall implement the procedures during construction. At a minimum, the procedures shall include:

- a. Designation of an on-site construction complaint and enforcement manager for the project;

- b. A large on-site sign near the public right-of-way containing permitted construction days/hours, complaint procedures, and phone numbers for the project complaint manager and City Code Enforcement unit;
- c. Protocols for receiving, responding to, and tracking received complaints; and
- d. Maintenance of a complaint log that records received complaints and how complaints were addressed, which shall be submitted to the City for review upon the City's request.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**36. Operational Noise**

Requirement: Noise levels from the project site after completion of the project (i.e., during project operation) shall comply with the performance standards of chapter 17.120 of the Oakland Planning Code and chapter 8.18 of the Oakland Municipal Code. If noise levels exceed these standards, the activity causing the noise shall be abated until appropriate noise reduction measures have been installed and compliance verified by the City.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

## **TRANSPORTATION/TRAFFIC**

**37. Construction Activity in the Public Right-of-Way**

**a. *Obstruction Permit Required***

Requirement: The project applicant shall obtain an obstruction permit from the City prior to placing any temporary construction-related obstruction in the public right-of-way, including City streets and sidewalks.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**b. *Traffic Control Plan Required***

Requirement: In the event of obstructions to vehicle or bicycle travel lanes, the project applicant shall submit a Traffic Control Plan to the City for review and approval prior to obtaining an obstruction permit. The project applicant shall submit evidence of City approval of the Traffic Control Plan with the application for an obstruction permit. The Traffic Control Plan shall contain a set of comprehensive traffic control measures for auto, transit, bicycle, and pedestrian detours, including detour signs if required, lane closure procedures, signs, cones for drivers, and designated construction access routes. The project applicant shall implement the approved Plan during construction.

When Required: Prior to approval of construction-related permit

Initial Approval Public Works Department, Transportation Services Division

Monitoring/Inspection: Bureau of Building

c. ***Repair of City Streets***

Requirement: The project applicant shall repair any damage to the public right-of way, including streets and sidewalks caused by project construction at his/her expense within one week of the occurrence of the damage (or excessive wear), unless further damage/excessive wear may continue; in such case, repair shall occur prior to approval of the final inspection of the construction-related permit. All damage that is a threat to public health or safety shall be repaired immediately.

When Required: Prior to building permit final

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**38. Bicycle Parking**

Requirement: The project applicant shall comply with the City of Oakland Bicycle Parking Requirements (chapter 17.118 of the Oakland Planning Code). The project drawings submitted for construction-related permits shall demonstrate compliance with the requirements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

## UTILITY AND SERVICE SYSTEMS

**39. Construction and Demolition Waste Reduction and Recycling**

Requirement: The project applicant shall comply with the City of Oakland Construction and Demolition Waste Reduction and Recycling Ordinance (chapter 15.34 of the Oakland Municipal Code) by submitting a Construction and Demolition Waste Reduction and Recycling Plan (WRRP) for City review and approval, and shall implement the approved WRRP. Projects subject to these requirements include all new construction, renovations/alterations/modifications with construction values of \$50,000 or more (except R-3 type construction), and all demolition (including soft demolition) except demolition of type R-3 construction. The WRRP must specify the methods by which the project will divert construction and demolition debris waste from landfill disposal in accordance with current City requirements. The WRRP may be submitted electronically at [www.greenhalosystems.com](http://www.greenhalosystems.com) or manually at the City's Green Building Resource Center. Current standards, FAQs, and forms are available on the City's website and in the Green Building Resource Center.

When Required: Prior to approval of construction-related permit

Initial Approval: Public Works Department, Environmental Services Division

Monitoring/Inspection: Public Works Department, Environmental Services Division

**40. Underground Utilities**

Requirement: The project applicant shall place underground all new utilities serving the project and under the control of the project applicant and the City, including all new gas, electric, cable, and telephone facilities, fire alarm conduits, street light wiring, and other wiring, conduits, and similar facilities. The new facilities shall be placed underground along the project's street frontage and from the project structures to the point of service. Utilities under the control of other agencies, such as PG&E, shall be placed underground if feasible. All utilities shall be installed in accordance with standard specifications of the serving utilities.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**41. Recycling Collection and Storage Space**

Requirement: The project applicant shall comply with the City of Oakland Recycling Space Allocation Ordinance (chapter 17.118 of the Oakland Planning Code). The project drawings submitted for construction-related permits shall contain recycling collection and storage areas in compliance with the Ordinance. For residential projects, at least two cubic feet of storage and collection space per residential unit is required, with a minimum of ten cubic feet. For nonresidential projects, at least two cubic feet of storage and collection space per 1,000 square feet of building floor area is required, with a minimum of ten cubic feet.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

**42. Green Building Requirements**

***a. Compliance with Green Building Requirements During Plan-Check***

Requirement: The project applicant shall comply with the requirements of the California Green Building Standards (CALGreen) mandatory measures and the applicable requirements of the City of Oakland Green Building Ordinance (chapter 18.02 of the Oakland Municipal Code).

- i. The following information shall be submitted to the City for review and approval with the application for a building permit:
  - Documentation showing compliance with Title 24 of the current version of the California Building Energy Efficiency Standards.
  - Completed copy of the final green building checklist approved during the review of the Planning and Zoning permit.

- Copy of the Unreasonable Hardship Exemption, if granted, during the review of the Planning and Zoning permit.
  - Permit plans that show, in general notes, detailed design drawings, and specifications as necessary, compliance with the items listed in subsection (ii) below.
  - Copy of the signed statement by the Green Building Certifier approved during the review of the Planning and Zoning permit that the project complied with the requirements of the Green Building Ordinance.
  - Signed statement by the Green Building Certifier that the project still complies with the requirements of the Green Building Ordinance, unless an Unreasonable Hardship Exemption was granted during the review of the Planning and Zoning permit.
  - Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.
- ii. The set of plans in subsection (i) shall demonstrate compliance with the following:
- CALGreen mandatory measures.
  - All pre-requisites per the green building checklist approved during the review of the Planning and Zoning permit, or, if applicable, all the green building measures approved as part of the Unreasonable Hardship Exemption granted during the review of the Planning and Zoning permit.
  - **53 points** per the appropriate checklist approved during the Planning entitlement process.
  - All green building points identified on the checklist approved during review of the Planning and Zoning permit, unless a Request for Revision Plan-check application is submitted and approved by the Bureau of Planning that shows the previously approved points that will be eliminated or substituted.
  - The required green building point minimums in the appropriate credit categories.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

**b. Compliance with Green Building Requirements During Construction**

Requirement: The project applicant shall comply with the applicable requirements of CALGreen and the Oakland Green Building Ordinance during construction of the project.

The following information shall be submitted to the City for review and approval:

- i. Completed copies of the green building checklists approved during the review of the Planning and Zoning permit and during the review of the building permit.

- ii. Signed statement(s) by the Green Building Certifier during all relevant phases of construction that the project complies with the requirements of the Green Building Ordinance.
- iii. Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**c. Compliance with Green Building Requirements After Construction**

Requirement: Within sixty (60) days of the final inspection of the building permit for the project, the Green Building Certifier shall submit the appropriate documentation to **Green Building Certification Institute** and attain the minimum required certification/point level. Within one year of the final inspection of the building permit for the project, the applicant shall submit to the Bureau of Planning the Certificate from the organization listed above demonstrating certification and compliance with the minimum point/certification level noted above.

When Required: After project completion as specified

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

**43. Sanitary Sewer System**

Requirement: The project applicant shall prepare and submit a Sanitary Sewer Impact Analysis to the City for review and approval in accordance with the City of Oakland Sanitary Sewer Design Guidelines. The Impact Analysis shall include an estimate of pre-project and post-project wastewater flow from the project site. In the event that the Impact Analysis indicates that the net increase in project wastewater flow exceeds City-projected increases in wastewater flow in the sanitary sewer system, the project applicant shall pay the Sanitary Sewer Impact Fee in accordance with the City's Master Fee Schedule for funding improvements to the sanitary sewer system.

When Required: Prior to approval of construction-related permit

Initial Approval: Public Works Department, Department of Engineering and Construction

Monitoring/Inspection: N/A

**44. Storm Drain System**

Requirement: The project storm drainage system shall be designed in accordance with the City of Oakland's Storm Drainage Design Guidelines. To the maximum extent practicable, peak stormwater runoff from the project site shall be reduced by at least 25 percent compared to the pre-project condition.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**Applicant Statement**

I have read and accept responsibility for the Conditions of Approval. I agree to abide by and conform to the Conditions of Approval, as well as to all provisions of the Oakland Planning Code and Oakland Municipal Code pertaining to the project.

---

\_\_\_\_\_  
Name of Project Applicant

\_\_\_\_\_  
Signature of Project Applicant

\_\_\_\_\_  
Date

**APPROVED BY:**

City Planning Commission: \_\_\_\_\_ (date) \_\_\_\_\_ (vote)

&	AND	MTL	METAL
<	ANGLE, LESS THAN	NI	NEW
>	ANGLE, GREATER THAN	NIC	NOT IN CONTRACT
@	AT	NOM	NOMINAL
/	PER	NTS	NOT TO SCALE
#	POUND OR NUMBER	O	OVER
AB	ANCHOR BOLT	OA	OVERALL
ABV	ABOVE	OC	ON CENTER
A/C	AIR CONDITIONING	OCW	ON CENTER EACH WAY
AD	AREA DRAIN	OD	OUTSIDE DIAMETER
ADJ	ADJUSTABLE	OF	OUTSIDE FACE
AFF	ABOVE FINISHED FLOOR	OFI	OWNER FURNISH, CONTRACTOR INSTALL
AIA	AMERICAN INSTITUTE OF ARCHITECTS	OH	OVERHANG
ALT	ALTERNATE	OP	OPPOSITE HAND
ALUM	ALUMINUM	OPNG	OPENING
APPROX	APPROXIMATELY	OVHD	OVERHEAD
ARCH	ARCHITECTURAL	PL	PLATE
ASPH	ASPHALT	PLM	PLASTIC LAMINATE
AWG	AMERICAN WIRE GAGE	PLF	POUNDS PER LINEAL FOOT
BD	BOARD	PLY	PLYWOOD
BETW	BETWEEN	PR	PAIR
BLDG	BUILDING	PRCST	PRECAST
BLKG	BLOCKING	PSI	POUNDS PER SQUARE FOOT
BM	BEAM	PSI	POUNDS PER SQUARE INCH
BOF	BOTTOM OF FOOTING	PT	PRESSURE TREATED WITH PRESERVATIVE
BOT	BOTTOM	RD	ROOF DRAIN
BUR	BUILT-UP ROOF	REIN	REINFORCEMENT
C	CENTERLINE	REQ	REQUIRED
CAB	CABINET	RESIL	RESILIENT
CAR	COLD AIR RETURN	REV	REVISION OR REVISED
CB	CATCH BASIN	RH	RIGHT HAND
CC	CEMENT COATED	RJ	ROOF JOIST
CEC	CALIFORNIA ENERGY COMMISSION	RM	ROOM
CI	CAST IRON	RO	ROUGH OPENING OR ROLL OUT
CJ	CEILING JOIST	RS	RING SHANK
CLO	CLOSET	RWD	REDWOOD
CLG	CEILING	RWL	RAIN WATER LEADER
CMU	CONCRETE MASONRY UNIT	SAD	SEE ARCHITECTURAL DRAWINGS
C.O.	CLEANOUT	SC	SOLID CORE
COAX	COAXIAL CABLE	SCHED	SCHEDULE
COL	COLUMN	SD	SMOKE DETECTOR
COMM	COMMUNICATION	SECT	SECTION
CONC	CONCRETE	SED	SEE ELECTRICAL DRAWINGS
CONN	CONNECTION	SH	SHIELD
CONST	CONSTRUCTION	SHT	SHEET
CONT	CONTINUOUS	SIM	SIMILAR
CONTR	CONTRACTOR	SLO	SEE LANDSCAPE DRAWINGS
CPTR	COMPUTER	SM	SHEET METAL
CU	CUBIC	SMD	SEE MECHANICAL DRAWINGS
DBL	DOUBLE	SPD	SEE PLUMBING DRAWINGS
DF	DOUGLAS FIR	SPC	SPECIFICATION
DET	DETAIL	SPKR	SPEAKER
DIA	DIAMETER	SS	STAINLESS STEEL OR SANITARY
DIM	DIMENSION	SSD	SEE STRUCTURAL DRAWINGS
DISP	DISPOSAL	STD	STANDARD
DIST	DISTRIBUTION	STL	STEEL
DIV	DIVIDED OR DIVISION	STR	STRUCTURAL
DN	DOWN	SUSP	SUSPEND (IED)
DR	DOOR	SYM	SYMMETRICAL
DSP	DOWNSPOUT	T & B	TOP & BOTTOM
DW	DISHWASHER	TC	TOP OF CURB
DWG	DRAWING	T & G	TONGUE & GROOVE
DWR	DRAWER	TEMP	TEMPERED
EA	EACH	THK	THICK
EB	EXPANSION BOLT	TOB	TOP OF BEAM
EF	EACH FACE	TOC	TOP OF CONCRETE
EJ	EXPANSION JOINT	TOF	TOP OF FOOTING
ELECT	ELECTRIC	TOP	TOP OF PLATE
ELEV	ELEVATION	TOS	TOP OF STEEL
EN	EDGE NAIL	TPH	TOILET PAPER HOLDER
ENGR	ENGINEER	TYP	TYPICAL
EQ	EQUAL	TYP	TYPICAL
ES	EACH SIDE	UON	UNLESS OTHERWISE NOTED
EW	EACH WAY	VERT	VERTICAL
(E) EXIST	EXISTING	VGF	VERT. GRAIN DOUG. FIR (10 RINGS/IN. MIN.)
EXP	EXPANSION	VIF	VERIFY IN FIELD
EXT	EXTERIOR	W/	WITH
FB	FLAT BAR	WC	WATER CLOSET
FD	FLOOR DRAIN	WD	WOOD
FDN	FOUNDATION	WOW	WINDOW
FIN	FINISH	WP	WATERPROOF
FJ	FLOOR JOIST	WR'NG	WATERPROOFING
FL	FLOOR	WR	WALL REGISTER
FOC	FACE OF CONCRETE		
FOF	FACE OF FINISH		
FOS	FACE OF STUD		
FP	FIREPLACE OR FULL PENETRATION		
FR	FLOOR REGISTER		
FS	FAR SIDE		
FT	FOOT OR FEET		
FTG	FOOTING		
FURR	FURRING		
FUT	FUTURE		
G	GAS		
GA	GAUGE		
GALV	GALVANIZED		
GB	GRADE BEAM		
GEN	GENERAL		
GFI	GROUND FAULT INTERRUPTOR		
GL	GALVANIZED IRON		
GL	GLAZING OR GLASS		
GR	GRADE		
GSM	GALVANIZED SHEET METAL		
GYP	GYPSONUM		
HB	HOSE BIBB		
HC	HOLLOW CORE		
HDG	HOT DIP GALVANIZED		
HDR	HEADER		
HORIZ	HORIZONTAL		
HT	HEIGHT		
HTR	HEATER		
HW	HOT WATER		
HWH	HOT WATER HEATER		
ID	INSIDE DIAMETER		
IF	INSIDE FACE		
IN	INCH		
INCL	INCLUDE		
INSUL	INSULATION		
INT	INTERIOR		
JST	JOIST		
JT	JOINT		
KD	KILN-DRIED		
LAV	LAVATORY		
LB	POUND		
LH	LEFT HAND		
LP	LOW POINT		
LT	LIGHT		
MAX	MAXIMUM		
MB	MACHINE BOLT		
MED	MEDIUM		
MEMB	MEMBRANE		
MEZZ	MEZZANINE		
MFR	MANUFACTURER		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MO	MASONRY OPENING		
MSRY	MASONRY		
MTD	MOUNTED		

### GENERAL

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO APPLICABLE CODES, REGULATIONS, LAWS AND ORDINANCES AS REQUIRED BY CODES AND REGULATIONS LISTED HEREIN AND AS REQUIRED BY THE STATE OF CALIFORNIA AND ALL RELEVANT REGULATORY BODIES.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY THE ARCHITECT PROMPTLY OF ANY DISCREPANCIES AND OBTAIN CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED WORK. FOLLOW NUMERICAL DIMENSIONS: DO NOT SCALE.
- FLOOR PLAN DIMENSIONS SHOWN ARE FACE OF FINISH AT NEW CONSTRUCTION.
- BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE AND THROUGHOUT THE COURSE OF WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE DOING THE WORK RELATED TO THAT BEING INSPECTED.
- BEFORE BEGINNING WORK AT THE SITE, INSPECT THE EXISTING SITE CONDITIONS AND DETERMINE THE EXTENT OF THE EXISTING FINISHES, SPECIALTIES, AND OTHER ITEMS WHICH MUST BE REMOVED AND INSTALLED IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT. COORDINATE AND MAKE THIS INSPECTION WITH THE OWNER.
- THE ARCHITECTURAL DRAWINGS SHOW PRINCIPLE AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SYSTEMS. SUCH WORK IS ALSO PART OF THIS CONTRACT.
- DO NOT DRILL OR CUT JOISTS, BEAMS, COLUMNS OR OTHER STRUCTURAL ELEMENTS UNLESS SPECIFICALLY INDICATED. MAKE OPENINGS OF PROPER SIZE FOR CONDUITS, DUCTS, PIPES, AND OTHER ITEMS PASSING THROUGH OPENINGS.
- WHERE "MATCH EXISTING" IS INDICATED, NEW CONSTRUCTION OR FINISHES, AS APPROPRIATE TO THE NOTE, SHALL MATCH TO THE SATISFACTION OF THE ARCHITECT.
- BEFORE BEGINNING WORK, CREATE AN ACCOUNT AT GREEN HALO TO MONITOR CONSTRUCTION AND DEMOLITION DEBRIS DISPOSAL. ENSURE THAT ALL DEBRIS DISPOSAL IS ACCOUNTED FOR ON PAPER RECEIPTS, WITH AMOUNT RECYCLED TRACKED.
- INDOOR PLUMBING: INSTALL WATER-EFFICIENT FIXTURES AND FITTINGS AS SUMMARIZED IN CALGREEN.
- PEST PROTECTION: ANNULAR SPACE AROUND PIPES, ELECTRICAL CABLES, CONDUITS, AND OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD FOR PROTECTION AGAINST RODENTS.
- CONTRACTOR TO VERIFY THAT WALL AND FLOOR FRAMING DOES NOT EXCEED 19% MOISTURE CONTENT PRIOR TO ENCLOSURE IN COMPLIANCE WITH CALGREEN 4.505.3.
- HVAC SYSTEM TO BE DESIGNED AND INSTALLED TO ACCA MANUAL J, D, AND S.
- HVAC INSTALLER TO BE TRAINED AND CERTIFIED VIA A STATE CERTIFIED APPRENTICESHIP PROGRAM, PUBLIC UTILITY TRAINING PROGRAM, OR OTHER PROGRAM ACCEPTABLE TO THE BUILDING SERVICES DIVISION.
- DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING ALL PHASES OF CONSTRUCTION WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM.
- ALL MATERIALS TO MEET MANDATORY REQUIREMENTS OF CALGREEN.

### GENERAL NOTES

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- ALL MATERIALS TO MEET MANDATORY REQUIREMENTS OF CALGREEN.

### APPLICABLE CODES

ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES AND THE CODES LISTED BELOW:

2016 CALIFORNIA CODES

- 2016 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, CBCS
- 2016 CALIFORNIA BUILDING CODE (CBC), PART 2 CBCS (2012 IBC & CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, CBCS (2011 NATIONAL ELECTRICAL CODE & CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, CBCS (2012 UNIFORM PLUMBING CODE & CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA ENERGY CODE (CEC), PART 6, CBCS
- 2016 CALIFORNIA HISTORICAL BUILDING CODE, PART 8, CBCS
- 2016 CALIFORNIA FIRE CODE, PART 9, CBCS (2012 INTERNATIONAL FIRE CODE & CALIFORNIA AMENDMENTS)
- TITLE 19 C.C.R., PUBLIC SAFETY, SFM REGULATIONS
- 2016 CALIFORNIA MECHANICAL CODE
- NFPA 72 (2013)
- NFPA 13 (2013)

OAKLAND AMENDMENTS

- 2013 OAKLAND BUILDING CONSTRUCTION CODE
- 2010 SUSTAINABLE GREEN BUILDING REQUIREMENTS FOR PRIVATE DEVELOPMENT

APPLICABLE FEDERAL CODES & STANDARDS:  
TITLE II: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)

### ASSESSOR'S MAP

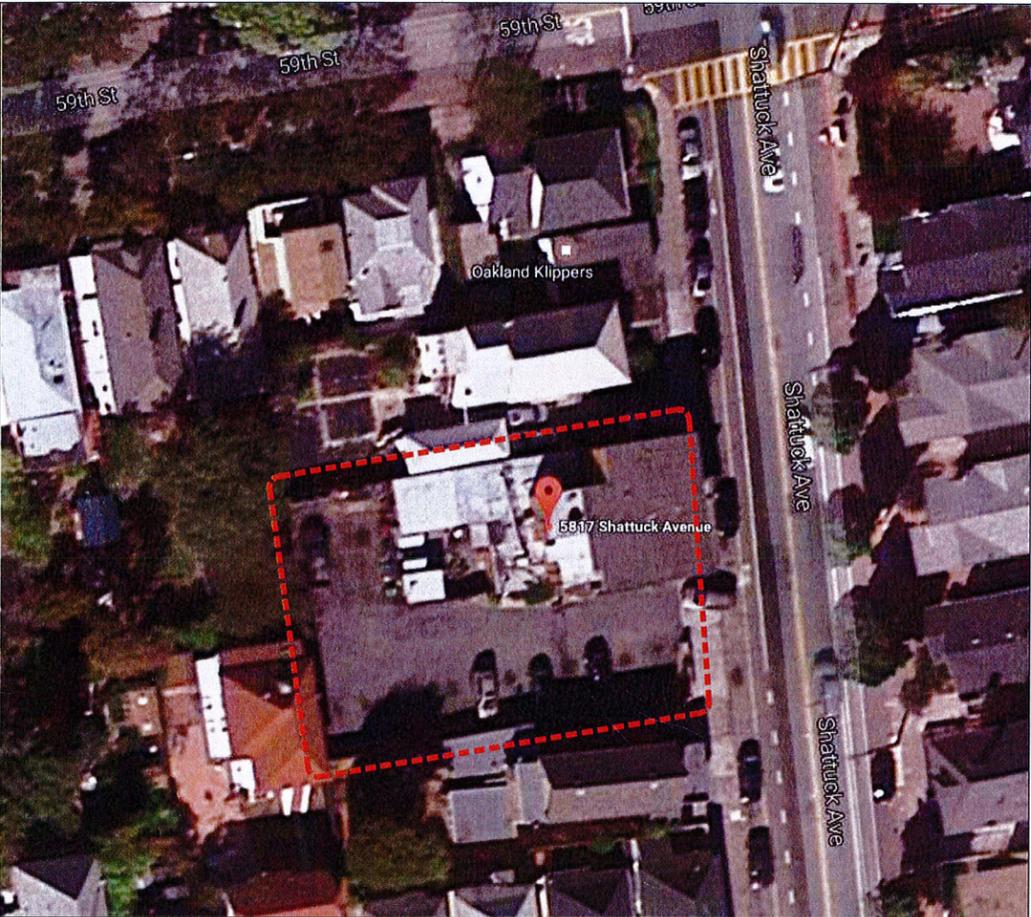
### PROJECT TEAM

OWNER: DILLER CAPITAL  
JIM DILLER, PRINCIPAL  
PO BOX 620341  
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EMAIL: jim@dillercapital.com

PROJECT MANAGER/G.C.: TBD

ARCHITECT: CARRIE SHORES  
LARSON SHORES ARCHITECTURE + INTERIORS  
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EMAIL: carrie@larsonshores.com

ENGINEER: KEVIN TREAT  
KPW STRUCTURAL ENGINEERS  
55 HARRISON STREET #550  
OAKLAND, CA 94607  
TEL: 510.208.3300  
EMAIL: treat@kpwise.com



### PROJECT TEAM

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OAKLAND, CA 94607  
TEL: 510.208.3300  
EMAIL: treat@kpwise.com

### LOCATION MAP

NOT TO SCALE

### PROJECT DATA

ARCHITECTURAL:

A0.0	PROJECT INFORMATION
A0.1	CODE SUMMARY & SITE DIAGRAM LAYOUTS
A0.2	SHADOW STUDIES
A0.3	RENDERINGS
A1.0	SITE SURVEY
A1.1	PROPOSED SITE/ROOF PLAN
A2.0	FIRST FLOOR OVERALL PLAN
A2.1	SECOND FLOOR OVERALL PLAN
A2.2	THIRD FLOOR OVERALL PLAN
A3.0	EAST & SOUTH ELEVATIONS
A3.1	WEST & NORTH ELEVATIONS
A3.2	STREET CONTEXT ELEVATIONS
A4.0	BUILDING SECTIONS

LANDSCAPE:

L.1	FIRST FLOOR LAYOUT PLAN
L.2	THIRD FLOOR LAYOUT PLAN
L.3	LAYOUT NOTES AND DETAILS 1/2
L.4	FIRST FLOOR PLANTING PLAN
L.5	THIRD FLOOR PLANTING PLAN
L.6	FIRST FLOOR IRRIGATION PLAN 1/2
L.7	FIRST FLOOR IRRIGATION PLAN 2/2
L.8	THIRD FLOOR IRRIGATION PLAN
L.9	IRRIGATION CALCS AND NOTES

### PROJECT DATA

DESCRIPTION OF WORK: DEMOLISH EXISTING RESTAURANT, REPLACE WITH NINE-UNIT MULTIFAMILY RESIDENTIAL WITH ON-SITE PARKING.

ADDRESS: 5817 SHATTUCK AVE.

ZONING DESIGNATION: RM-4

APN: 015-1370-011-00

ACTUAL SITE AREA (SF): 10,077.85 SF

PROPOSED FLOOR AREA: 16,608 SF

PROPOSED NUMBER OF STORIES: 3

PROPOSED ON-SITE PARKING: 9 SPACES

PROPOSED BUILDING HEIGHT: 30'-10"

FIRE SPRINKLERS: YES

CONSTRUCTION TYPE: VA

EXISTING STRUCTURE: EXISTING RESTAURANT TO BE DEMOLISHED

YEAR OF CONSTRUCTION: UNKNOWN

OCHS RATING: NONE

ARCHITECT: LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES

OWNER: DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94602  
JIM@DILLERCAPITAL.COM



**DEVELOPMENT**  
**5817 SHATTUCK AVE**  
**OAKLAND, CA 94609**

SUBMITAL: **PLANNING SET**  
FEBRUARY 2017

REVISIONS:

DATE	DESCRIPTION

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**PROJECT INFORMATION**

SHEET NUMBER: **A0.0**

# CODE ANALYSIS

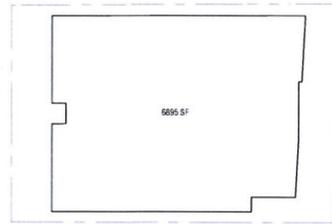
## PERMITTED DENSITY

OMC TABLE 17.17.03: PROPERTY DEVELOPMENT STANDARDS

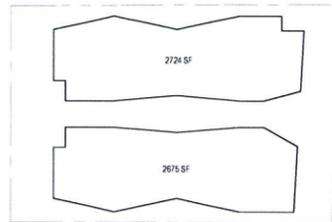
CONDITIONALLY PERMITTED DENSITY (ONLY FOR LOTS 4,000 SF. OR GREATER): FOR 5 OR MORE UNITS, 1 UNIT PER 1,100 SF. OF LOT AREA

LOT SIZE: 10,281 SF / (1 UNIT / 1100 SF) = 9 UNITS

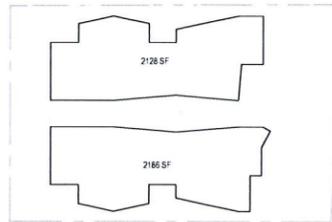
GROSS SQUARE FOOTAGE (FLOOR AREA):



FIRST FLOOR

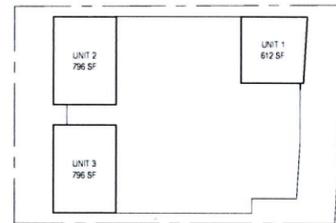


SECOND FLOOR

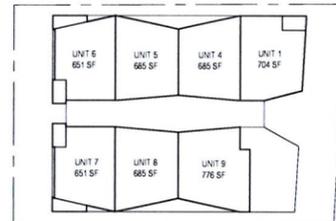


THIRD FLOOR

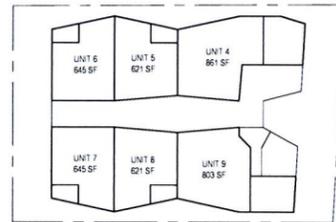
FLOOR	PERMITTED FLOOR AREA	GROSS SQUARE FOOTAGE
1	NO LIMIT	6895 SF
2	NO LIMIT	5399 SF
3	NO LIMIT	4314 SF
TOTAL		16,608 SF



FIRST FLOOR



SECOND FLOOR



THIRD FLOOR

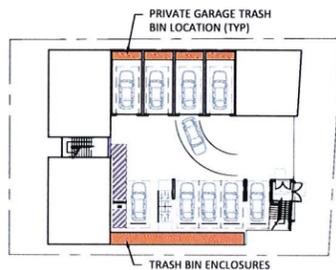
## PROPOSED UNIT SIZES:

UNIT #	FLOOR AREA	PRIVATE OPEN SPACE	TOTAL
1	1316 SF	457 SF	1773 SF
2	796 SF	636 SF	1432 SF
3	796 SF	634 SF	1430 SF
4	1546 SF	270 SF	1816 SF
5	1306 SF	63 SF	1369 SF
6	1296 SF	159 SF	1455 SF
7	1296 SF	159 SF	1455 SF
8	1306 SF	63 SF	1369 SF
9	1579 SF	231 SF	1810 SF

## RECYCLING AND TRASH

OMC 17.118.030 - RECYCLING SPACE ALLOCATION REQUIREMENTS. THE DESIGN, LOCATION AND MAINTENANCE OF RECYCLING COLLECTION AND STORAGE AREAS MUST SUBSTANTIALLY COMPLY WITH THE PROVISIONS OF THE OAKLAND CITY PLANNING COMMISSION "GUIDELINES FOR THE DEVELOPMENT AND EVALUATION OF RECYCLING COLLECTION AND STORAGE AREAS," AS THEY MAY BE AMENDED. IN ADDITION, SPACE DEVOTED TO THE COLLECTION AND STORAGE OF RECYCLABLE MATERIALS SHALL BE ADEQUATE IN CAPACITY, NUMBER AND DISTRIBUTION TO SERVE THE AFFECTED DEVELOPMENT.

A. SPACE ALLOCATED FOR RECYCLING COLLECTION AND STORAGE AREAS WITHIN AFFECTED RESIDENTIAL PROJECTS SHALL BE PROVIDED IN THE AMOUNT OF TWO CUBIC FEET OF STORAGE AND COLLECTION SPACE PER RESIDENTIAL UNIT, WITH A MINIMUM REQUIREMENT THAT NOT LESS THAN TEN CUBIC FEET BE PROVIDED.



EACH UNIT PROVIDED WITH TRASH BIN AREA WITH MIN. 58 CUFT. SUFFICIENT TO HOLD 3 LARGE ROLLING BINS FOR TRASH, RECYCLING, AND COMPOSTABLES, TO BE PLACED AT THE CURB FOR COLLECTION WEEKLY BY OCCUPANT.

REQUIRED COLLECTION AREA: 16,608 GROSS SF / 1000 = 17 CUFT

PROVIDED COLLECTION AREA: 58 CUFT X 9 UNITS = 522 CUFT

## PUBLIC & PRIVATE OPEN SPACE

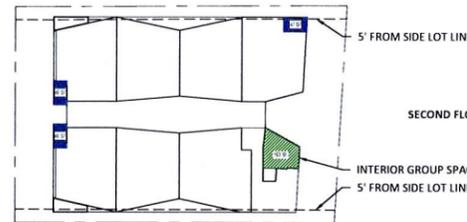
OMC 17.126.030 - GROUP USABLE OPEN SPACE. ALL REQUIRED GROUP USABLE OPEN SPACE SHALL CONFORM TO THE FOLLOWING STANDARDS:  
 C. SIZE AND SHAPE. AN AREA OF CONTIGUOUS SPACE SHALL BE OF SUCH SIZE AND SHAPE THAT A RECTANGLE INSCRIBED WITHIN IT SHALL HAVE NO DIMENSION LESS THAN FIFTEEN (15) FEET.

OMC 17.126.040 - PRIVATE USABLE OPEN SPACE. ALL REQUIRED PRIVATE USABLE OPEN SPACE SHALL CONFORM TO THE FOLLOWING STANDARDS:  
 B. LOCATION. THE SPACE MAY BE LOCATED ANYWHERE ON THE LOT, EXCEPT THAT ABOVE-GROUND-LEVEL SPACE SHALL NOT BE LOCATED IN A REQUIRED MINIMUM FRONT YARD AND EXCEPT THAT ABOVE-GROUND-LEVEL SPACE SHALL NOT BE LOCATED WITHIN FIVE (5) FEET OF AN INTERIOR SIDE LOT LINE.  
 C. SIZE AND SHAPE. AN AREA OF CONTIGUOUS GROUND-LEVEL SPACE SHALL BE OF SUCH SIZE AND SHAPE THAT A RECTANGLE INSCRIBED WITHIN IT SHALL HAVE NO DIMENSION LESS THAN TEN (10) FEET. AN AREA OF ABOVE-GROUND-LEVEL SPACE SHALL BE OF SUCH SIZE AND SHAPE THAT A RECTANGLE INSCRIBED WITHIN IT SHALL HAVE NO DIMENSION LESS THAN FIVE (5) FEET.  
 F. ENCLOSURE. GROUND-LEVEL SPACE SHALL BE SCREENED FROM ABUTTING LOTS, STREETS, ALLEYS, AND PATHS, FROM ABUTTING PRIVATE WAYS, AND FROM OTHER AREAS ON THE SAME LOT BY A BUILDING WALL, BY DENSE LANDSCAPING NOT LESS THAN FIVE AND ONE-HALF (5½) FEET HIGH AND NOT LESS THAN THREE (3) FEET WIDE, OR BY A SOLID OR GRILLE, LUMBER OR MASONRY FENCE OR WALL NOT LESS THAN FIVE AND ONE-HALF (5½) FEET HIGH.

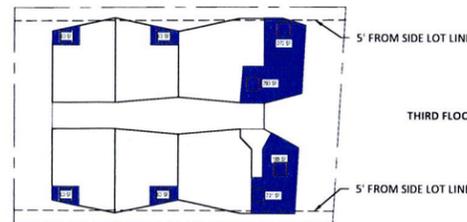
MINIMUM OPEN SPACE	RM-4
GROUP OPEN SPACE PER REGULAR UNIT	175 SF
OMC 17.126.020 - SUBSTITUTION OF PRIVATE SPACE FOR GROUP SPACE. EACH ONE (1) SQUARE FOOT OF PRIVATE USABLE OPEN SPACE CONFORMING TO THE PROVISIONS OF SECTION 17.126.040 SHALL BE CONSIDERED EQUIVALENT TO TWO (2) SQUARE FEET OF REQUIRED GROUP USABLE OPEN SPACE AND MAY BE SO SUBSTITUTED, SUBJECT TO ANY MINIMUM REQUIREMENTS FOR ACTUAL GROUP SPACE PRESCRIBED IN THE APPLICABLE INDIVIDUAL ZONE REGULATIONS.	
MINIMUM GROUP OPEN SPACE PER REGULAR UNIT WHEN PRIVATE OPEN SPACE SUBSTITUTED	70 SF
MINIMUM REQUIRED GROUP OPEN SPACE	630 SF
OUTDOOR GROUP OPEN SPACE PROVIDED	415 SF
INDOOR GROUP OPEN SPACE	163 SF
PRIVATE OPEN SPACE	3100 SF
GROUP OPEN SPACE (415 SF + 163 SF) + PRIVATE OPEN SPACE X 2 (3100 X 2 = 6200 SF) =	6778 SF



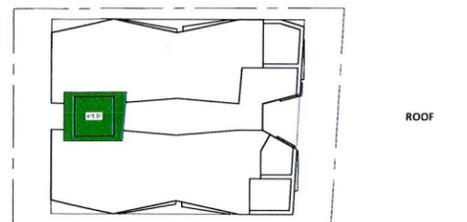
FIRST FLOOR



SECOND FLOOR



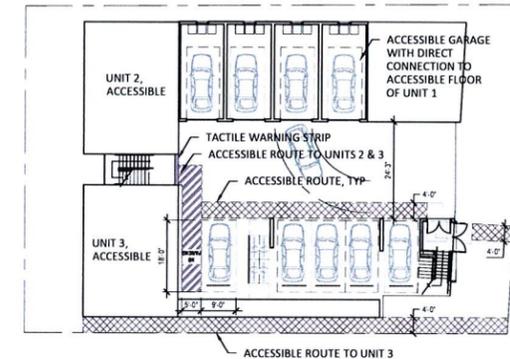
THIRD FLOOR



ROOF

## HOUSING ACCESSIBILITY

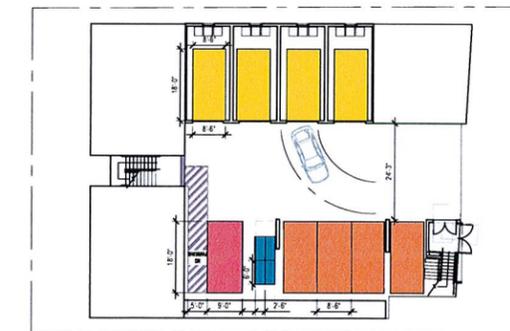
CODE REQUIREMENT	# UNITS REQUIRED	UNITS COMPLYING
1102A.3.1 MULTISTORY APARTMENT OR CONDOMINIUM DWELLINGS IN BUILDINGS WITH NO ELEVATOR: AT LEAST 10 PERCENT BUT NOT LESS THAN ONE OF THE MULTI-STORY DWELLINGS IN APARTMENT BUILDINGS WITH 3 OR MORE DWELLING UNITS AND/OR CONDOMINIUMS WITH 4 OR MORE DWELLING UNITS SHALL COMPLY WITH THE FOLLOWING:		
1. THE PRIMARY ENTRY TO THE DWELLING UNIT SHALL BE ON AN ACCESSIBLE ROUTE	1	1, 2, & 3 (3 UNITS COMPLY)
2. AT LEAST ONE ACCESSIBLE POWDER ROOM OR BATHROOM SHALL BE LOCATED ON THE PRIMARY ENTRY LEVEL, SERVED BY AN ACCESSIBLE ROUTE	1	1, 2, & 3 (3 UNITS COMPLY)
3. ALL ROOMS OR SPACES LOCATED ON THE PRIMARY ENTRY LEVEL SHALL BE SERVED BY AN ACCESSIBLE ROUTE AND SHALL BE ACCESSIBLE	1	1 & 2. UNIT 3 COMPLIES ON FIRST FLOOR (3 UNITS COMPLY)
CBC 1104A.1 ALL GROUND-FLOOR DWELLING UNITS IN NON-ELEVATOR BUILDINGS SHALL BE ADAPTABLE AND ON AN ACCESSIBLE ROUTE		
CBC 1117A.3 WHEN A GROUND FLOOR DWELLING UNIT OF A BUILDING HAS A SEPARATE ENTRANCE, EACH SUCH GROUND-FLOOR DWELLING UNIT SHALL BE SERVED BY AN ACCESSIBLE ROUTE	3	1 & 2. UNIT 3 COMPLIES ON FIRST FLOOR (3 UNITS COMPLY)



## PARKING

MULTIFAMILY DWELLING	ZONE	REQUIREMENT
SPACES PROVIDED	ANY OTHER ZONE, EXCEPT WHEN COMBINED WITH THE S-12 ZONE	ONE (1) SPACE FOR EACH DWELLING UNIT. 9

CODE REQUIREMENT	CALCULATION	PROVIDED
CBC 1109A.4 ASSIGNED ACCESSIBLE PARKING SPACES. WHEN ASSIGNED PARKING SPACES ARE PROVIDED FOR A RESIDENT OR A GROUP OF RESIDENTS, AT LEAST 2 PERCENT OF THE ASSIGNED PARKING SPACES SERVING COVERED MULTIFAMILY DWELLING UNITS SHALL BE ACCESSIBLE IN EACH TYPE OF PARKING FACILITY. AT LEAST ONE SPACE OF EACH TYPE OF PARKING FACILITY SHALL BE MADE ACCESSIBLE EVEN IF THE TOTAL NUMBER EXCEEDS 2 PERCENT.	2% OF 9 SPACES = 0.18 SPACES (1 SPACE)	1 ACCESSIBLE STALL PARKING SPACE 4 ACCESSIBLE PRIVATE GARAGE SPACES



## BICYCLE PARKING

OMC 17.117.090 - REQUIRED BICYCLE PARKING—RESIDENTIAL ACTIVITIES

	LONG-TERM BICYCLE PARKING REQUIREMENT	SHORT-TERM BICYCLE PARKING REQUIREMENT
A) MULTIFAMILY DWELLING WITH PRIVATE GARAGE FOR EACH UNIT	NO SPACES REQUIRED	1 SPACE FOR EACH 20 DWELLING UNITS. FOR D-BV ZONES, 1 SPACE FOR EACH 15 DWELLING UNITS. MINIMUM CITYWIDE REQUIREMENT IS 2 SPACES.
B) WITHOUT PRIVATE GARAGE FOR EACH UNIT	1 SPACE FOR EACH 4 DWELLING UNITS. FOR D-BV ZONES, 1 SPACE FOR EACH 2 DWELLING UNITS. MINIMUM CITYWIDE REQUIREMENT IS 2 SPACES.	1 SPACE FOR EACH 20 DWELLING UNITS. FOR D-BV ZONES, 1 SPACE FOR EACH 15 DWELLING UNITS. MINIMUM CITYWIDE REQUIREMENT IS 2 SPACES.
SPACES PROVIDED	2	2

# LARSON SHORES ARCHITECTURE AND INTERIORS

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 LARSON SHORES ARCHITECTURE + INTERIORS  
 1940 UNION STREET #22  
 OAKLAND, CA 94607  
 PHONE/FAX: 510-444-9788  
 PROJECT ARCHITECT: CARRIE SHORES

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# DEVELOPMENT 5817 SHATTUCK AVE OAKLAND, CA 94609

SUBMITAL:  
 PLANNING SET  
 FEBRUARY 2017

REVISIONS:	DATE	DESCRIPTION

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## CODE SUMMARY & SITE LAYOUT DIAGRAMS

SHEET NUMBER:

# A0.1

ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
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PHONE/FAX: 510-444-9788  
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5817 SHATTUCK AVE  
OAKLAND, CA 94609**

SUBMITTAL:  
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FEBRUARY 2017

REVISIONS:

DATE	DESCRIPTION

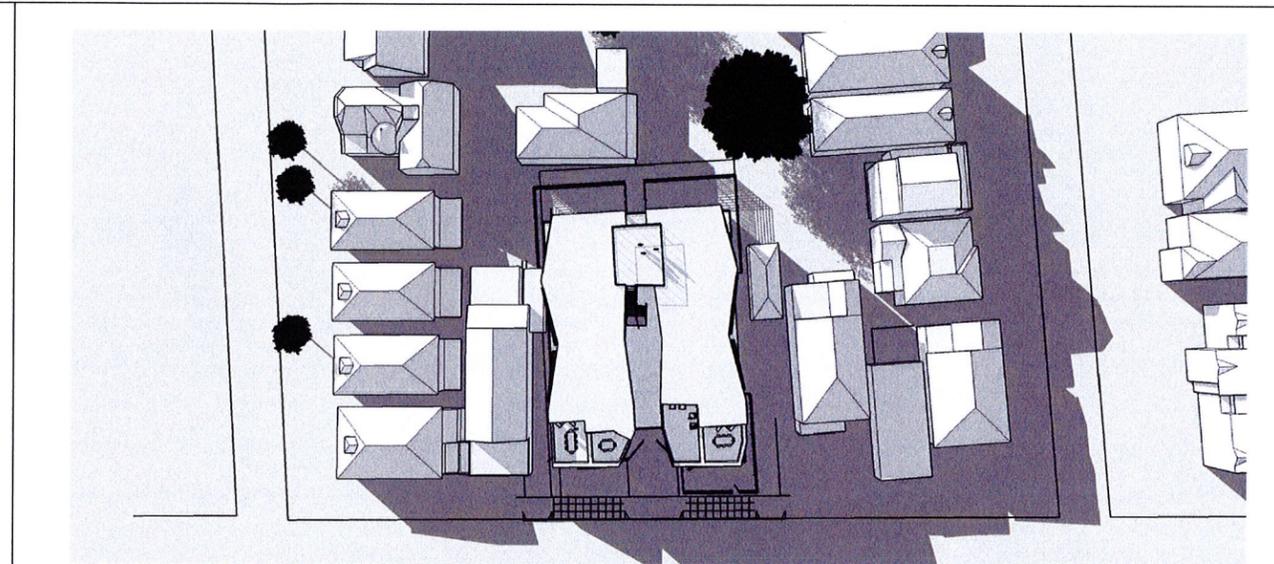
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SHEET TITLE:

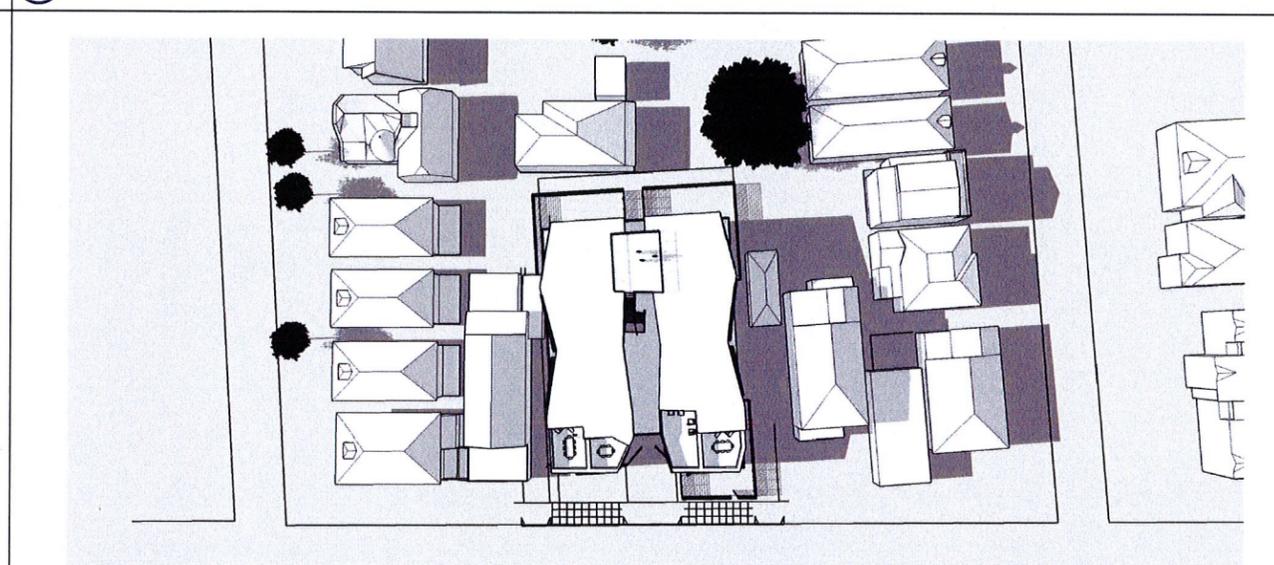
**SHADOW STUDIES**

SHEET NUMBER:

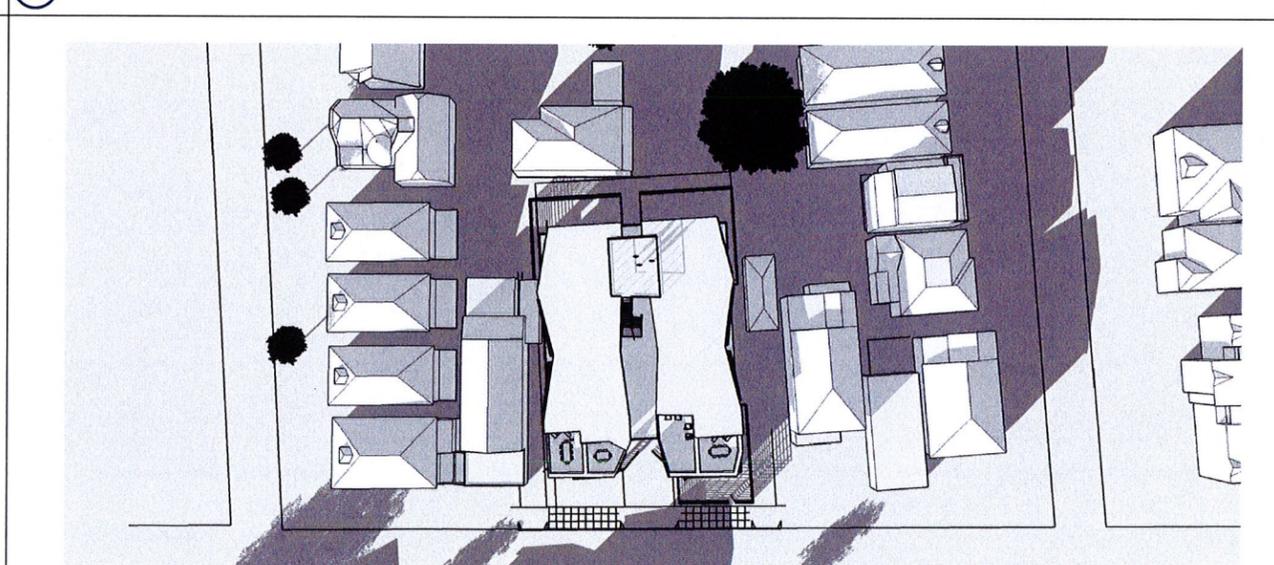
**A0.2**



③ 3PM, DECEMBER 21



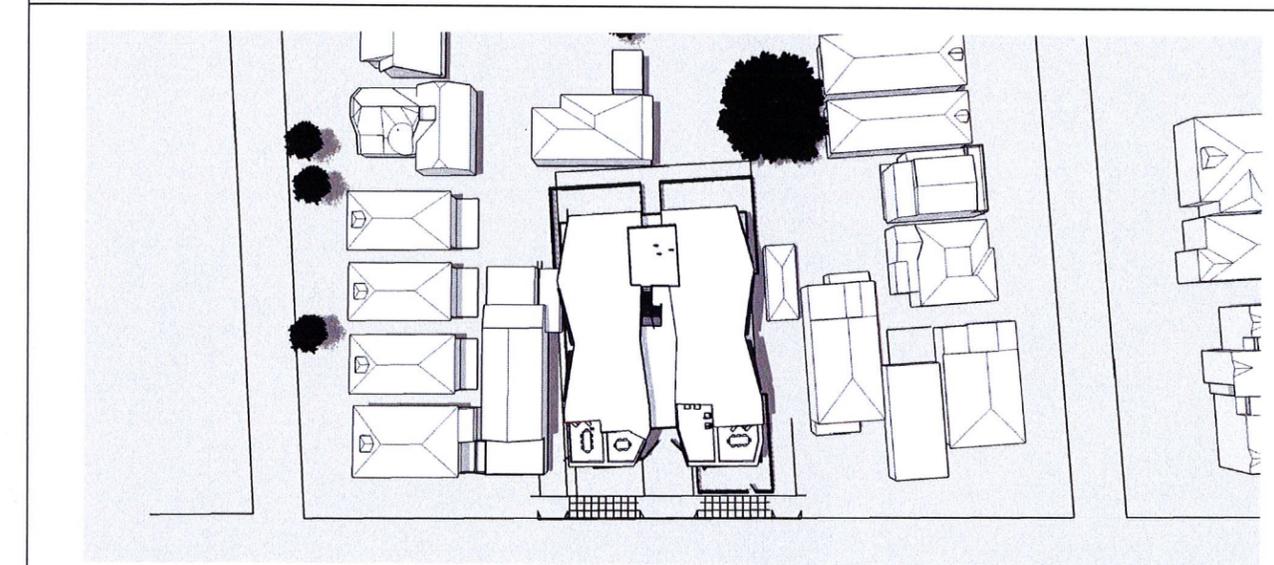
② 12 PM, DECEMBER 21



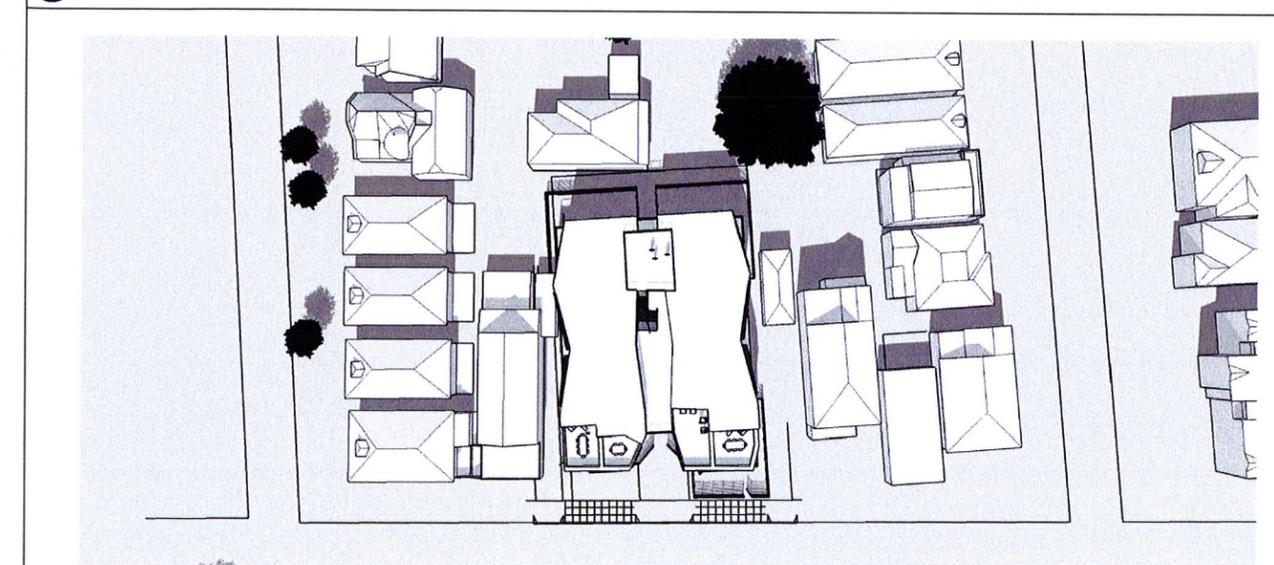
① 9 AM, DECEMBER 21



③ 3PM, JUNE 21



② 12 PM, JUNE 21



① 9 AM, JUNE 21

ARCHITECT:  
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**DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609**



STREET VIEW AT 58TH & SHATTUCK



EAST PERSPECTIVE

KEY NOTES

1. HEIGHT OF NEW STRUCTURE MEDIATES BETWEEN VARIOUS HEIGHTS OF NEIGHBORING RESIDENTIAL AND COMMERCIAL BUILDINGS
2. INTERNAL DRIVEWAY & PARKING PROVIDES VISUAL BUFFER BETWEEN UNITS
3. USE OF LOW SHRUBBERY AT THE EAST PROVIDES VISUAL AND SOUND PRIVACY TO UNIT 1
4. FACADE ANGLES AT THE NORTH & SOUTH SIDES OBSCURE NEIGHBORING VIEWS OF PRIVATE SPACES
5. BUILDING FINS HELP TO RE-DIRECT LIGHT AND SHADOW FROM INDIVIDUAL UNITS
6. BALCONY PLANTINGS DISTINGUISH BETWEEN PRIVATE AND PUBLIC SPACES AND MAINTAIN VISUAL AND SOUND PRIVACY TO ADJACENT UNITS



SOUTH EAST PERSPECTIVE



NORTH WEST PERSPECTIVE

SUBMITTAL:

PLANNING SET  
FEBRUARY 2017

REVISIONS:

DATE	DESCRIPTION

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SHEET TITLE:

**RENDERINGS**

SHEET NUMBER:

**A0.3**

ARCHITECT:  
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**5817 SHATTUCK AVE**  
**OAKLAND, CA 94609**

SUBMITAL:  
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**FEBRUARY 2017**

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SHEET TITLE:  
**PRELIMINARY GREEN POINT CHECKLIST**

SHEET NUMBER:  
**A0.4**

**NEW HOME RATING SYSTEM, VERSION 7.0**  
**MULTIFAMILY CHECKLIST**

GreenPoint Rated

Points Required: 58

Points Achieved: 58

Category	Item	Points	Pass/Fail	Notes	
A. BUILT	A1. Construction Footprint	4	Pass		
	A2. Job Site Construction Waste Diversion	1	Pass		
	A2.1 75% OSD Waste Diversion (Building Materials Only Cover)	1	Pass		
	A2.2 85% OSD Waste Diversion (Excluding Alternative Daily Cover)	1	Pass		
	A2.3 Recycling Rates from Third-Party Verified Materials Waste Facility	1	Pass		
	A3. Recycled Content Base Material	1	Pass		
	A4. Heat Island Effect Reduction (Non-Road)	1	Pass		
	A5. Construction Environmental Quality Management Plan Including Plu-It-Out	1	Pass		
	A6. Stormwater Control: Prescriptive Path	1	Pass		
	A6.1 Permeable Paving Score	1	Pass		
	A6.2 Erosion and Sedimentation Features	1	Pass		
	A6.3 Non-Landscaping Features	1	Pass		
	A6.4 Stormwater Inlet Design	1	Pass		
	A6.5 Stormwater Control Performance Plan	1	Pass		
	B. FOUNDATION	B1. Fly Ash and/or Slag in Concrete	1	Pass	
B2. Radon-Resistant Construction		1	Pass		
B3. Foundation Drainage System		1	Pass		
B4. Moisture Controlled Crawlspace		1	Pass		
B5. Structural Pest Controls		1	Pass		
B5.1 Termite Blocks and Resistant Exterior Wood-to-Concrete Connections		1	Pass		
B5.2 Painted Stairs or Stairs at Least 36 inches from the Foundation		1	Pass		
C. LANDSCAPE		C1. Three inches of Mulch in Planting Beds	1	Pass	
		C2. Three inches of Mulch in Planting Beds	1	Pass	
		C3. Permeable Efficient Landscapes	1	Pass	
		C3.1 No Invasive Species Listed by CIP-BC	1	Pass	
		C3.2 Plant Choice and Located to Grow to Mature Size	1	Pass	
		C3.3 Irrigation System, California Native, Mediterranean species, or Lower Water-Use Plants	1	Pass	
		C4. Minimal Turf in Landscapes	1	Pass	
		C4.1 No Turf in Open Space (10% and No Open Space in Areas Less Than Eight Feet Wide)	1	Pass	
	C4.2 Turf on a Bare Percentage of Landscape Area	1	Pass		
	C4.3 Turf in Moderate Building Temperature	1	Pass		
	C4.4 High-Efficiency Irrigation System	1	Pass		
	C4.5 One inch of Compost in the Top Six to Twelve Inches of Soil	1	Pass		
	C4.6 Recycled Water Harvesting System	1	Pass		
	C4.7 Recycled Water Harvesting System	1	Pass		
	C4.8 Submeter or Dedicated Meter for Landscape Irrigation	1	Pass		
C4.9 Landscaping Meets Water Budget	1	Pass			
C5. Environmentally Preferable Materials for Site	1	Pass			
C5.1 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.2 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.3 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.4 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.5 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.6 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.7 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.8 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.9 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.10 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.11 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.12 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.13 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.14 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.15 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.16 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.17 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.18 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.19 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.20 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
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C5.22 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.23 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.24 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.25 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.26 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.27 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.28 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.29 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.30 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.31 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.32 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.33 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.34 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
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C5.36 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.37 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
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C5.39 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.40 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.41 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
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C5.43 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.44 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.45 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.46 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.47 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.48 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.49 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.50 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.51 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.52 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.53 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.54 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.55 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.56 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.57 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.58 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.59 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.60 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.61 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.62 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.63 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.64 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.65 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.66 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.67 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.68 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.69 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.70 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.71 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.72 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.73 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.74 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.75 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.76 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.77 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.78 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.79 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.80 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.81 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.82 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.83 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.84 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.85 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.86 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.87 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.88 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.89 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.90 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.91 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.92 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.93 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.94 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.95 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.96 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.97 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.98 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.99 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			
C5.100 Environmentally Preferable Materials for 70% Non-Road Landscaping Elements and Paving	1	Pass			

**NEW HOME RATING SYSTEM, VERSION 7.0**  
**MULTIFAMILY CHECKLIST**

GreenPoint Rated

Points Required: 58

Points Achieved: 58

Category	Item	Points	Pass/Fail	Notes	
D. STRUCTURE, INTERIORS AND FINISHES	D1. Optional View Enhancement	1	Pass		
	D1.1 Glass Balcony Enclosure at 54 Inches or Closer	1	Pass		
	D1.2 Non-Glass Balcony Enclosure at 54 Inches or Closer	1	Pass		
	D1.3 Advanced Framing Measures	1	Pass		
	D2. Construction Material Efficiency	1	Pass		
	D2.1 Engineered Beams and Joists	1	Pass		
	D2.2 Wood Joists or Truss Trusses for Floors	1	Pass		
	D2.3 Engineered Lumber for Roof Trusses	1	Pass		
	D2.4 Engineered or Prefabricated Studs for Vertical Application	1	Pass		
	D2.5 OSB for Subfloor	1	Pass		
	D2.6 OSB for Wall and Roof Sheathing	1	Pass		
	D2.7 Insulated Headers	1	Pass		
	D2.8 FSC-Certified Wood	1	Pass		
	D2.9 Dimensional Lumber: Bulk and Timber	1	Pass		
	D2.10 Panel Products	1	Pass		
D2.11 Solid Wall Systems	1	Pass			
D2.12 Low VOC Paints	1	Pass			
D2.13 Low VOC Adhesives	1	Pass			
D2.14 Low VOC Sealants	1	Pass			
D2.15 Low VOC Caulks	1	Pass			
D2.16 Low VOC Grouts	1	Pass			
D2.17 Energy Efficient Window Treatments	1	Pass			
D2.18 Outer Panels and Glazing	1	Pass			
D2.19 Reduced Pollution Storing the House from the Damage	1	Pass			
D2.20 Durable Storage	1	Pass			
D2.21 Storage Strategies for Stacked Storage	1	Pass			
D2.22 Structural Pest and Rot Controls	1	Pass			
D2.23 Wood Lumber: All Lumber 12 Inches Above the Soil	1	Pass			
D2.24 Wood Framing: Treat with Borates of Fluoropolymer, or Vinyl Urethane Other Than Wood	1	Pass			
D2.25 Moisture Resistant Materials in Wet Areas (such as Kitchens, Bathrooms, Utility Rooms, and Basements)	1	Pass			
E. EXTERIOR	E1. Environmentally Preferable Coatings	1	Pass		
	E2. Flashing or Sealant: Third-Party Verified	1	Pass		
	E3. Rain Screen Wall System	1	Pass		
	E4. Durable and Non-Combustible Cladding Materials	1	Pass		
	E5. Durable and Non-Combustible Cladding Materials	1	Pass		
	E6. Durable and Non-Combustible Cladding Materials	1	Pass		
	E7. Durable and Non-Combustible Cladding Materials	1	Pass		
	E8. Durable and Non-Combustible Cladding Materials	1	Pass		
	E9. Durable and Non-Combustible Cladding Materials	1	Pass		
	E10. Durable and Non-Combustible Cladding Materials	1	Pass		
	E11. Durable and Non-Combustible Cladding Materials	1	Pass		
	E12. Durable and Non-Combustible Cladding Materials	1	Pass		
	E13. Durable and Non-Combustible Cladding Materials	1	Pass		
	E14. Durable and Non-Combustible Cladding Materials	1	Pass		
	E15. Durable and Non-Combustible Cladding Materials	1	Pass		
F. INSULATION	F1. Insulation with 50% Post-Consumer or 60% Post-Industrial Recycled Content	1	Pass		
	F1.1 Walls and Floors	1	Pass		
	F1.2 Ceilings	1	Pass		
	F2. Insulation that Meets the COPM Standard Method-Reside Wall for Low Emissions	1	Pass		
	F2.1 Walls and Floors	1	Pass		
	F2.2 Ceilings	1	Pass		
	F3. Insulation that Does Not Contain Fire Retardants	1	Pass		
	F3.1 Walls and Floors	1	Pass		
	F3.2 Ceilings	1	Pass		
	F3.3 Interior and Exterior Insulation	1	Pass		
	G. INTERIORS	G1. Efficient Distribution of Domestic Hot Water	1	Pass	
		G1.1 Insulated Hot Water Pipes	1	Pass	
		G1.2 Water-Saving Volume Units for Hot Water Distribution	1	Pass	
		G1.3 Water-Saving Volume Units for Hot Water Distribution	1	Pass	
		G2. Insulate Water-Heating Elements	1	Pass	
G2.1 Water-Saving Volume Units for Hot Water Distribution		1	Pass		
G2.2 Water-Saving Volume Units for Hot Water Distribution		1	Pass		
G2.3 Water-Saving Volume Units for Hot Water Distribution		1	Pass		
G2.4 Water-Saving Volume Units for Hot Water Distribution		1	Pass		
G2.5 Water-Saving Volume Units for Hot Water Distribution		1	Pass		
G2.6 Water-Saving Volume Units for Hot Water Distribution		1	Pass		
G2.7 Water-Saving Volume Units for Hot Water Distribution		1	Pass		
G2.8 Water-Saving Volume Units for Hot Water Distribution		1	Pass		
G2.9 Water-Saving Volume Units for Hot Water Distribution		1	Pass		
G2.10 Water-Saving Volume Units for Hot Water Distribution		1	Pass		
G2.11 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.12 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.13 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.14 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.15 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.16 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.17 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.18 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.19 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.20 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.21 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.22 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.23 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.24 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.25 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.26 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.27 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.28 Water-Saving Volume Units for Hot Water Distribution	1	Pass			
G2.29 Water-Saving Volume Units for					

**BASIS OF ELEVATION**

CITY OF OAKLAND BENCHMARK #2821  
 FIELD BOOK: BL 47 PAGE 19, ELEVATION 104.317  
 SQUARE CUT IN CONCRETE CURB, MID RETURN SOUTHWEST  
 CORNER OF AILEEN AND SHATTUCK STREET.

**BASIS OF BEARING**

MONUMENT LINE OF SHATTUCK AVENUE N06°10'14"W AS SHOWN  
 UPON PARCEL MAP NO. 10132 FILED FOR RECORD IN BOOK 326  
 AT PAGE 35, IS USED AS BASIS OF BEARING FOR THIS MAP.

**LEGAL DESCRIPTION**

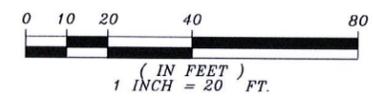
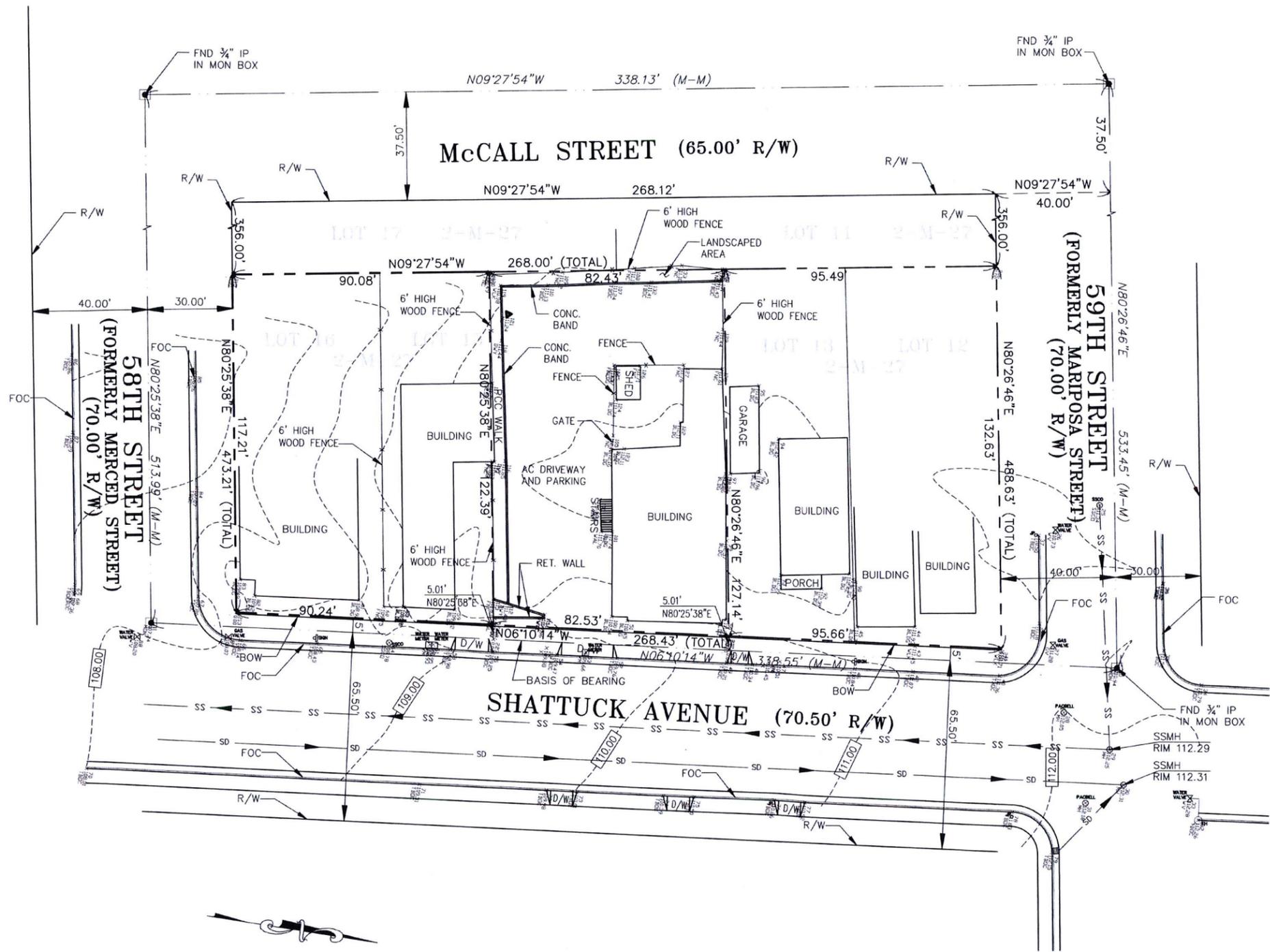
LOT 14 AND THOSE PORTIONS OF LOTS 13 AND 15, BLOCK B, "REDIVISION  
 MAP OF THAT PORTION OF THE BRUMAGIM TRACT, LYING WEST OF SHATTUCK  
 AVENUE", FILED APRIL 2, 1877, MAP BOOK 2, PAGE 27, ALAMEDA COUNTY  
 RECORDS.  
 NET AREA: 10281 SF  
 0.236 AC±

**ABBREVIATIONS**

A.B.	AGGREGATE BASE	MIN.	MINIMUM
A.C.	ASPHALT CONCRETE	M.V.C.	MIDDLE OF VERTICAL CURVE
B.C.	BEGINNING OF CURVE(HORIZONTAL)	M.W.	MONITORING WELL
BLDG	BUILDING	NO.	NUMBER
BOW/BWLK	BACK OF WALK	N.T.S.	NOT TO SCALE
B.V.C.	BEGINNING OF VERTICAL CURVE	P.C.C.	PORTLAND CEMENT CONCRETE
C.B.	CATCH BASIN	P.C.R.	POINT OF CURB RETURN
CLF	CHAIN LINK FENCE	P.P.B.	PEDESTRIAN PUSH BUTTON
C.O.	CLEAN OUT	PP&T	PLASTIC PLUG & TACK
CONT.	CONTINUOUS	P.V.C.	POLYVINYL CHLORIDE
D.I.	DRAINAGE INLET	P.V.I.	POINT OF VERTICAL INTERSECTION
D/W	DRIVEWAY	R	RADIUS
E.C.	END OF CURVE(HORIZONTAL)	R.C.P.	REINFORCED CONCRETE PIPE
ELEV.	ELEVATION	R/W	RIGHT-OF-WAY
EXIST.	EXISTING	S	SLOPE
E.V.C.	END OF VERTICAL CURVE	S.D.	STORM DRAIN
F.F.	FINISHED FLOOR ELEVATION	S.D.M.N	STORM DRAIN MANHOLE
F.G.	FINISHED GRADE	S.F.	SQUARE FEET
F.H.	FIRE HYDRANT	SHT.	SHEET
F.C.	FACE OF CURB	S.S.M.H.	SANITARY SEWER MANHOLE
F.L.	FLOW LINE	S.S.	SANITARY SEWER
FOC	FACE OF CURB	S/W	SIDEWALK
F.S.	FINISHED SURFACE	T.C.	TOP OF CURB
G.B.	GRADE BREAK	TFOC	TOP FACE OF CURB
G.V.	GATE VALVE	TYP.	TYPICAL
H.P.	HIGH POINT	U.O.N.	UNLESS OTHERWISE NOTED
I.D.	INSIDE DIAMETER	V.C.	VERTICAL CURVE
INV.	INVERT	V.C.P.	VITRIFIED CLAY PIPE (EXTRA STRENGTH)
J.P.	JOINT POLE	W	WATER
L.F.	LINEAL FEET	W.M.	WATER METER
L.P.	LOW POINT	W.V.	WATER VALVE
L&T	LEAD & TACK		
MAX.	MAXIMUM		
M.H.	MANHOLE		

**LEGEND**

DESCRIPTION	PROPOSED	EXISTING
WHEELCHAIR RAMP		
SANITARY MANHOLE		
STORM MANHOLE		
CITY SURVEY MONUMENT		
STANDARD HOODED INLET		
SANITARY SEWER		
STORM SEWER		
CENTER LINE		
PROPERTY LINE		
MONUMENT LINE		
MATCH LINE		
GAS LINE		
WATER LINE		
JOINT TRENCH		
GAS METER		
WATER METER		
GAS VALVE		
WATER VALVE		
EDGE OF PAVEMENT		
CURB AND GUTTER		
SIDEWALK		
DRIVEWAY		
PAVING CONFORM		
FIRE HYDRANT		
STREET SIGN		
FENCE(TYPE)		
ELECTRICAL CONDUIT		
OVERHEAD CONDUCTORS		
PULL BOX		
UTILITY POLE		
ELECTROLIER		



**ADVANCED DEVELOPMENT**

2033 BENJAMIN COURT  
 SAN JOSE, CALIFORNIA 95124  
 (408) 376-0570  
 JACOB SHADAN  
 CIVIL ENGINEER

---

**TOPOGRAPHICAL & RECORD BOUNDARY SURVEY**  
 FOR: APN 015-137-011  
 5817 SHATTUCK AVENUE  
 OAKLAND, CALIFORNIA

APPROVED BY: JACOB SHADAN  
 LICENSE NO. 33509  
 EXPIRES 06/30/16

CHECKED BY: JACOB SHADAN  
 DRAWN BY: JACOB SHADAN  
 SURVEYED BY: JACOB SHADAN  
 SCALE: 1"=20'  
 DATE: 04-17-16

Sheet No. **1**  
 Of 1  
 Job No. 341



**DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609**

SUBMITTAL:  
PLANNING SET  
FEBRUARY 2017

REVISIONS:

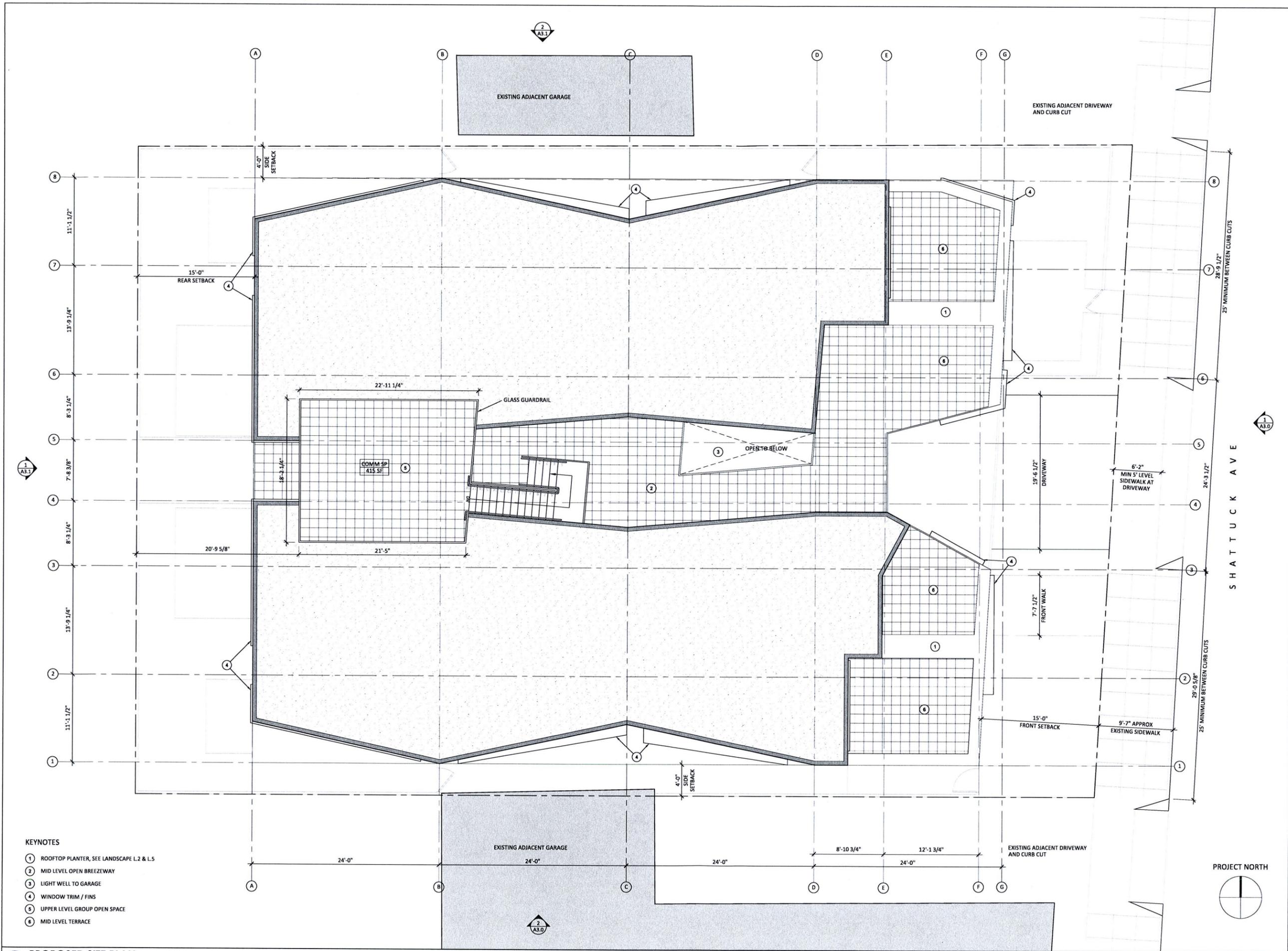
DATE	DESCRIPTION

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SHEET TITLE:  
**PROPOSED SITE  
PLAN & ROOF PLAN**

SHEET NUMBER:

**A1.1**



- KEYNOTES**
- ① ROOFTOP PLANTER, SEE LANDSCAPE L.2 & L.5
  - ② MID LEVEL OPEN BREEZEWAY
  - ③ LIGHT WELL TO GARAGE
  - ④ WINDOW TRIM / FINS
  - ⑤ UPPER LEVEL GROUP OPEN SPACE
  - ⑥ MID LEVEL TERRACE

**1 PROPOSED SITE PLAN**  
SCALE: 3/16" = 1'-0"



**DEVELOPMENT**  
**5817 SHATTUCK AVE**  
**OAKLAND, CA 94609**

SUBMITTAL:

PLANNING SET  
FEBRUARY 2017

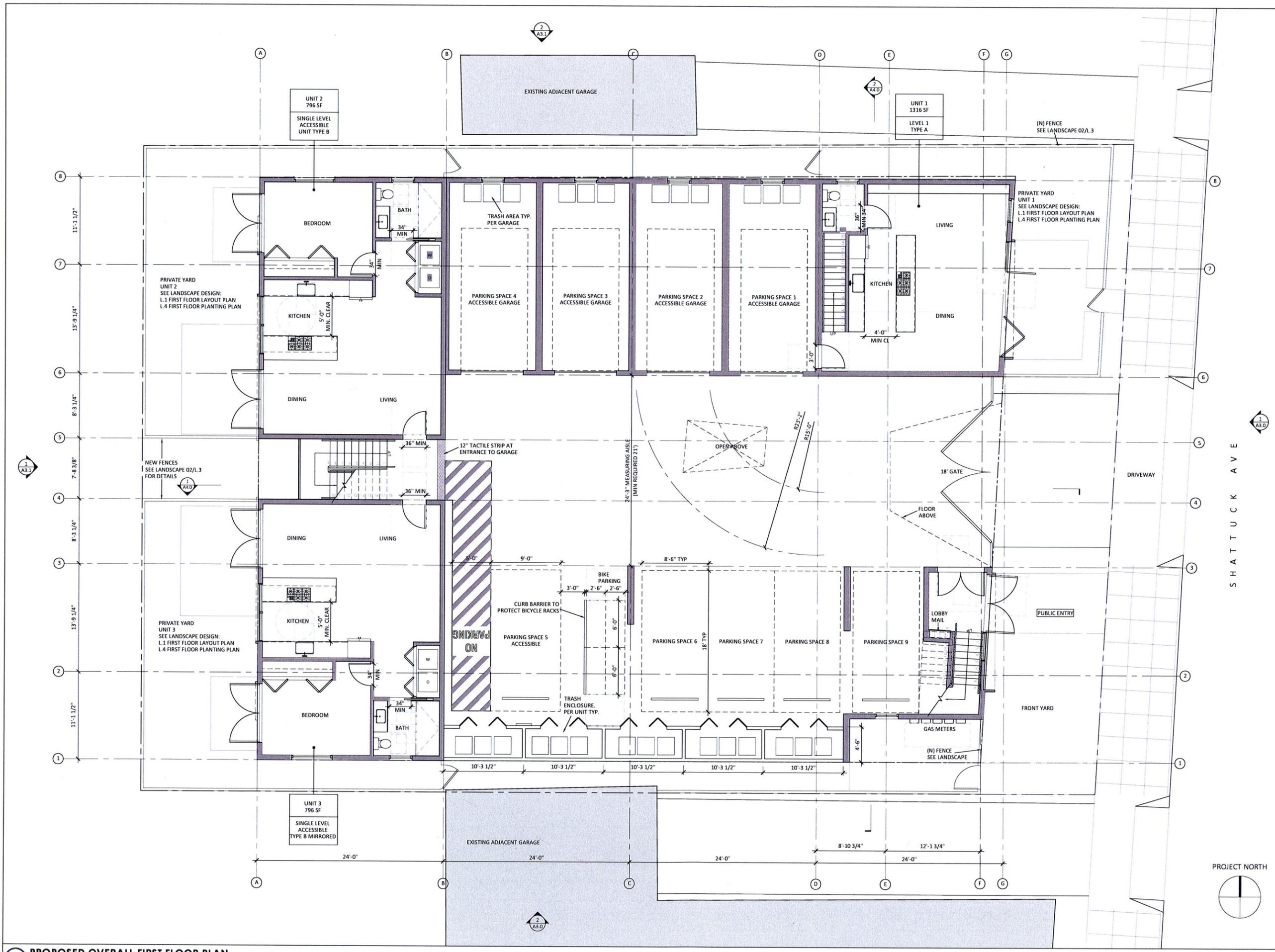
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DATE	DESCRIPTION

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SHEET TITLE:  
**PROPOSED OVERALL FIRST FLOOR PLAN**

SHEET NUMBER:  
**A2.0**



**1 PROPOSED OVERALL FIRST FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



**DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609**

SUBMITTAL:  
**PLANNING SET  
FEBRUARY 2017**

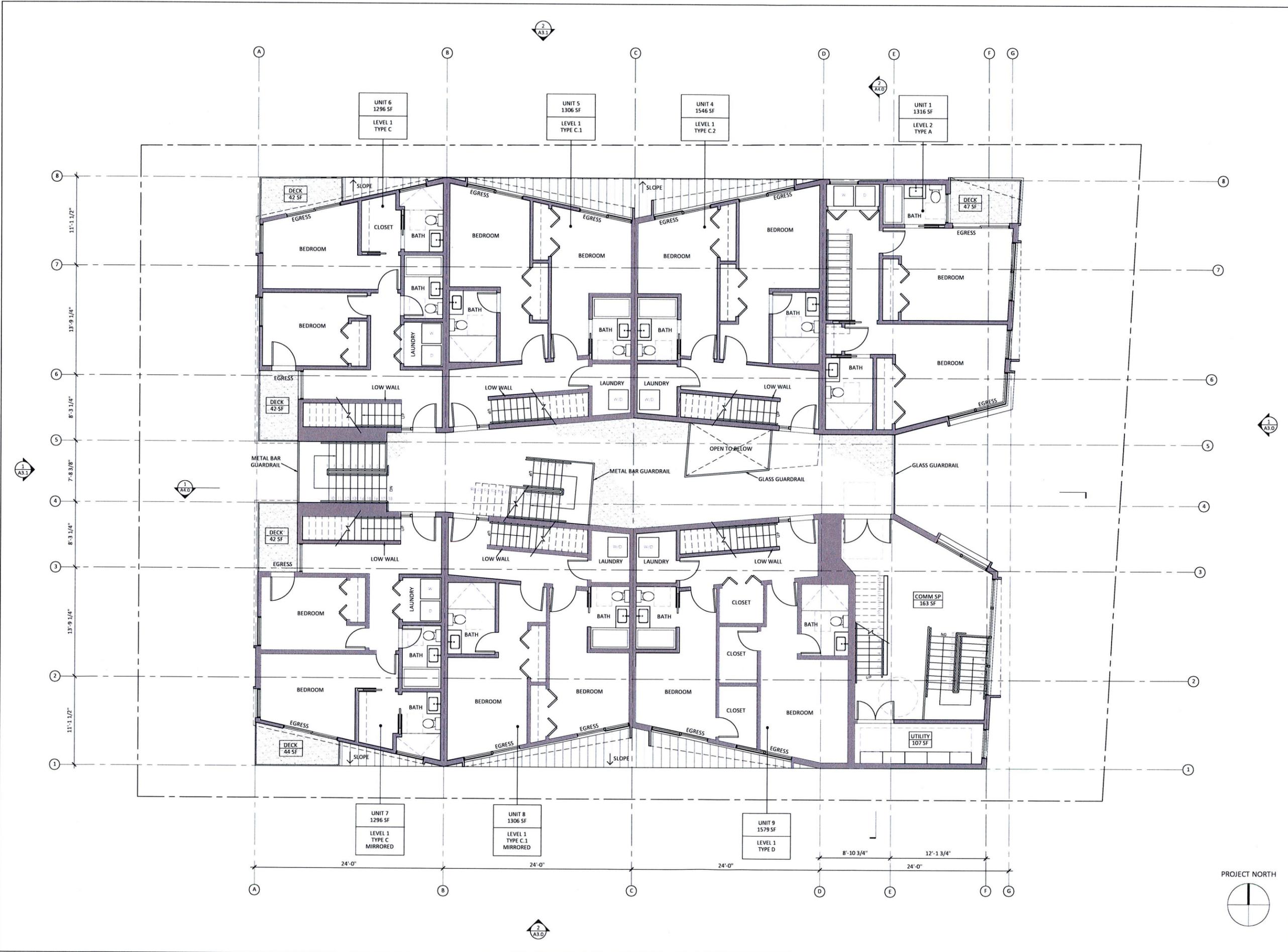
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DATE	DESCRIPTION

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SHEET TITLE:  
**PROPOSED  
OVERALL SECOND  
FLOOR PLAN**

SHEET NUMBER:  
**A2.1**



**1** PROPOSED OVERALL SECOND FLOOR PLAN  
SCALE: 3/16" = 1'-0"



**DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609**

SUBMITAL:

PLANNING SET  
FEBRUARY 2017

REVISIONS:

DATE	DESCRIPTION

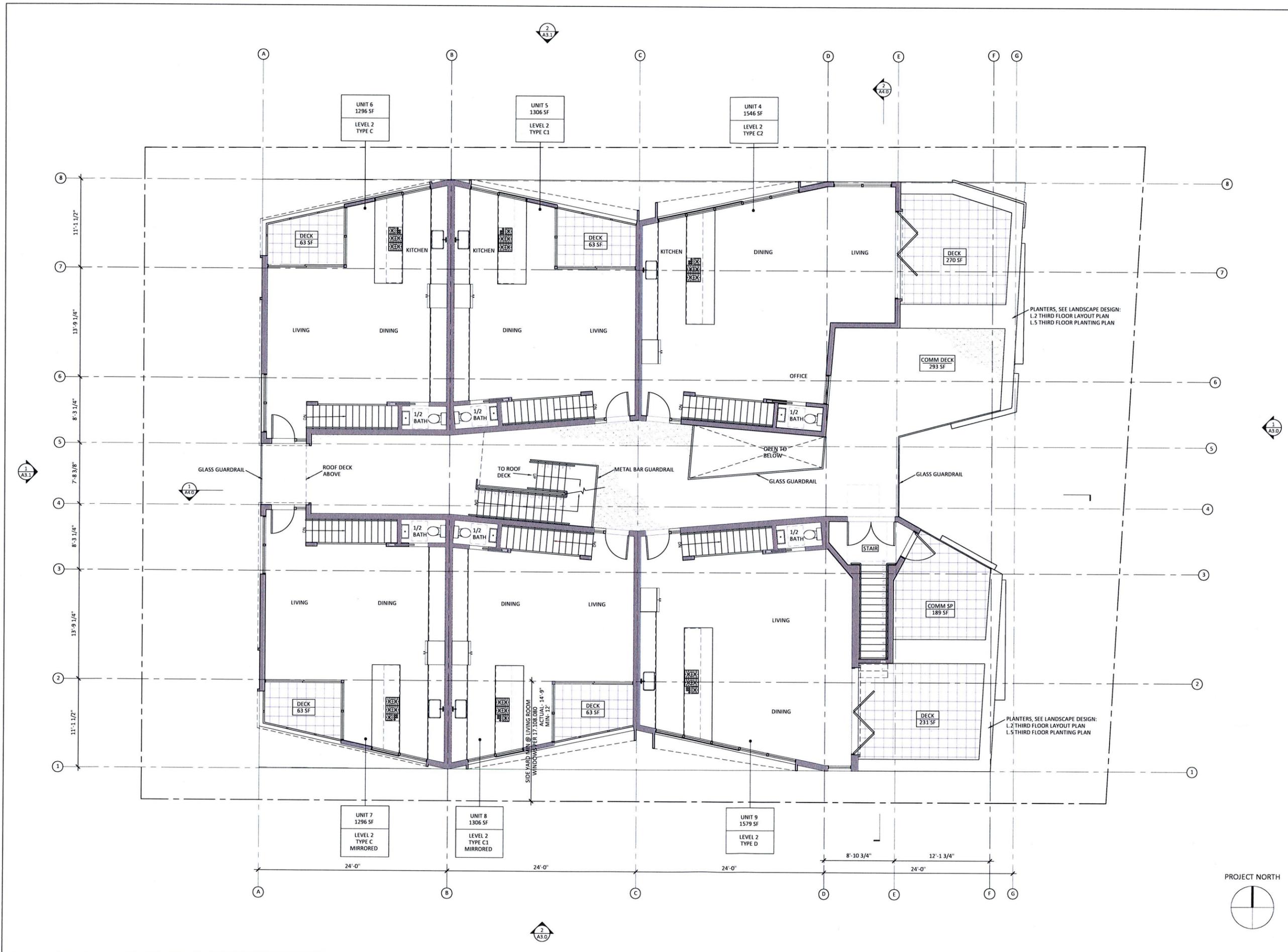
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SHEET TITLE:

**PROPOSED  
OVERALL THIRD  
FLOOR PLAN**

SHEET NUMBER:

**A2.2**



**1 PROPOSED OVERALL THIRD FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



**DEVELOPMENT**  
**5817 SHATTUCK AVE**  
**OAKLAND, CA 94609**

SUBMITAL: \_\_\_\_\_

PLANNING SET  
FEBRUARY 2017

REVISIONS: \_\_\_\_\_

Δ	DATE	DESCRIPTION

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SHEET TITLE: \_\_\_\_\_

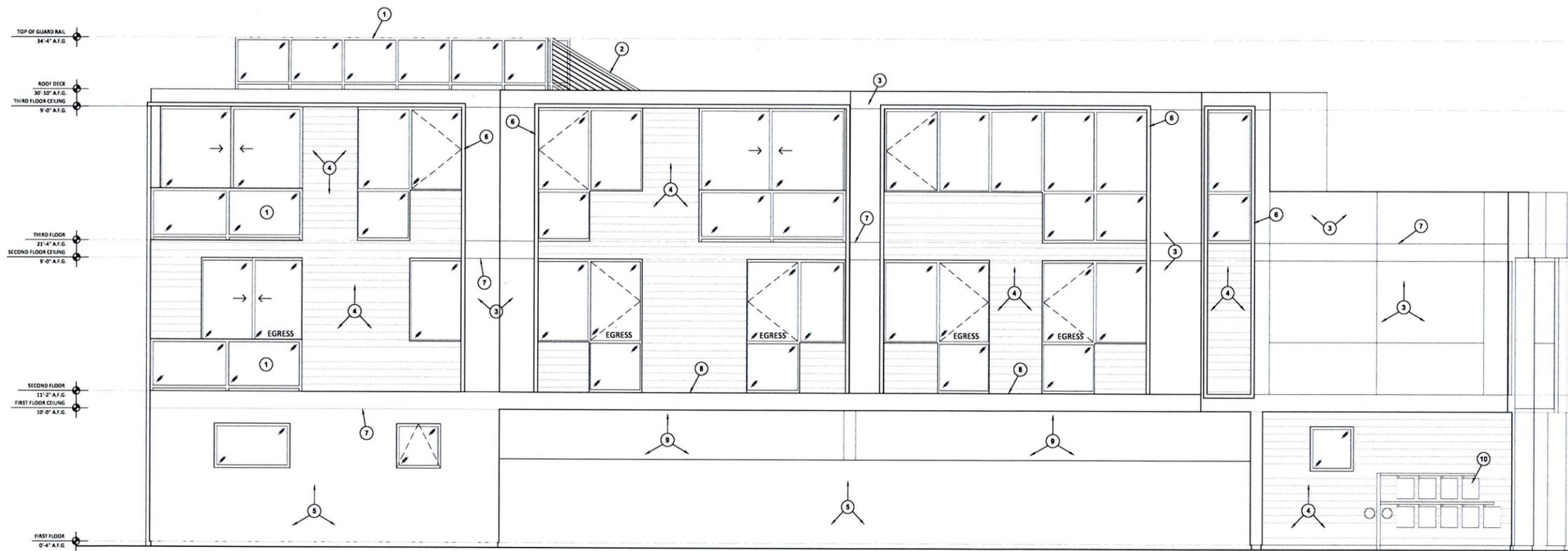
**SOUTH & EAST ELEVATIONS**

SHEET NUMBER: \_\_\_\_\_

**A3.0**

KEYNOTES

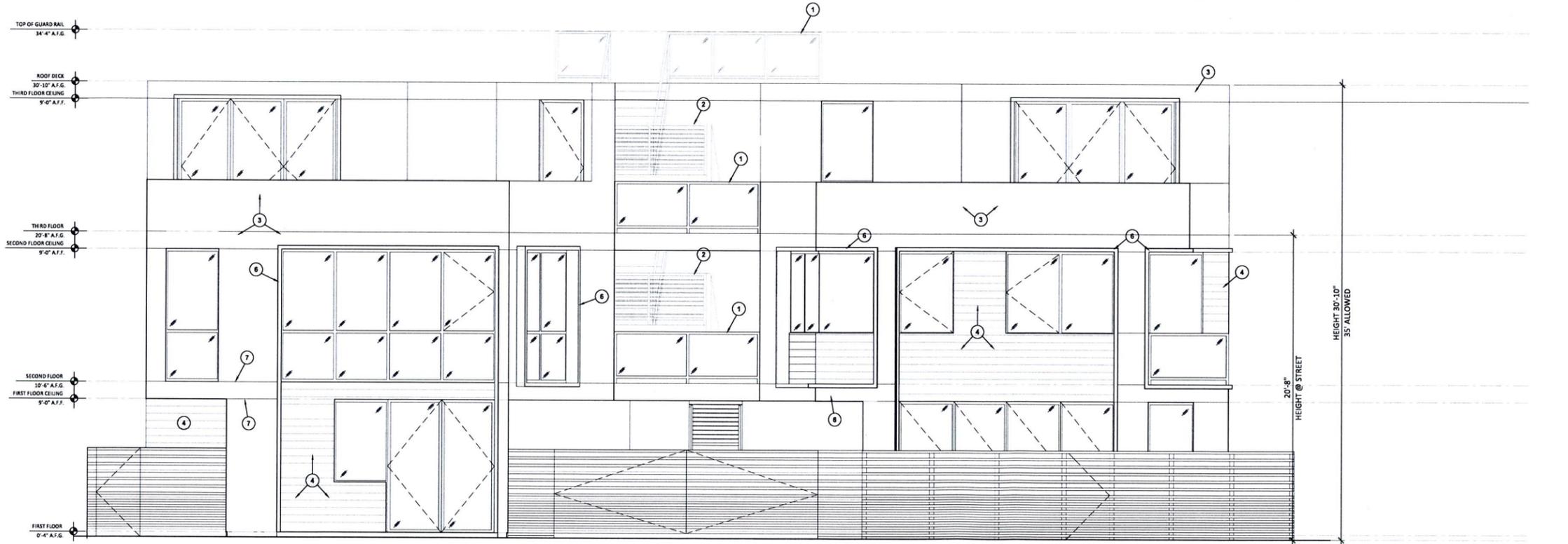
- 1 METAL & GLASS GUARDRAIL, 42" AFF
- 2 METAL GUARDRAIL WITH HORIZONTAL BARS, 42" AFF
- 3 CEMENT PLASTER, SMOOTH FINISH, WHITE
- 4 HARDIE BOARD SIDING
- 5 CEMENT PLASTER, SMOOTH FINISH, GRAY
- 6 GRAY ANODIZED ALUMINUM FINISH
- 7 CEMENT PLASTER CONTROL JOINT OR EXPANSION JOINT
- 8 GRAY ANODIZED ALUMINUM ROOF BELOW
- 9 OPEN TO GARAGE
- 10 GAS METERS



**2 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

KEYNOTES

- 1 METAL & GLASS GUARDRAIL, 42" AFF
- 2 METAL GUARDRAIL WITH HORIZONTAL BARS, 42" AFF
- 3 CEMENT PLASTER, SMOOTH FINISH, WHITE
- 4 HARDIE BOARD SIDING
- 5 CEMENT PLASTER, SMOOTH FINISH, GRAY
- 6 GRAY ANODIZED ALUMINUM FINISH
- 7 CEMENT PLASTER CONTROL JOINT OR EXPANSION JOINT
- 8 GRAY ANODIZED ALUMINUM ROOF BELOW



**1 EAST ELEVATION (FRONT)**  
SCALE: 1/4" = 1'-0"



**DEVELOPMENT**  
**5817 SHATTUCK AVE**  
**OAKLAND, CA 94609**

SUBMITAL:  
**PLANNING SET**  
FEBRUARY 2017

REVISIONS:

Δ	DATE	DESCRIPTION

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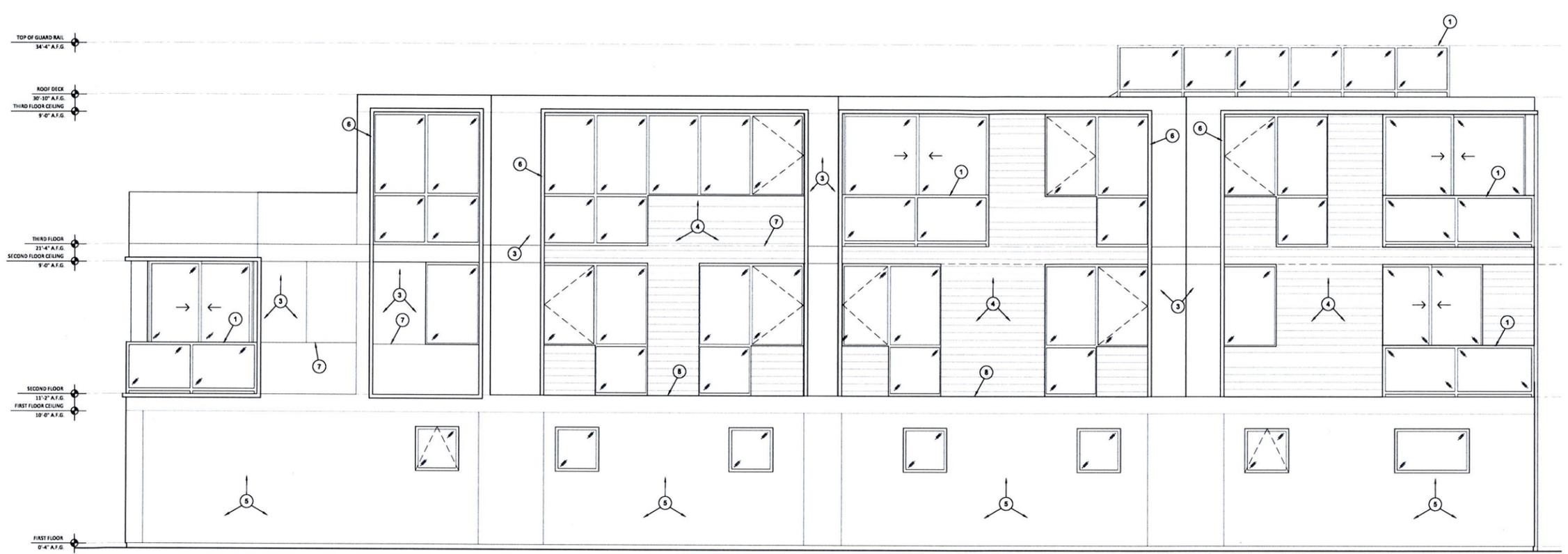
SHEET TITLE:

**NORTH & WEST ELEVATIONS**

SHEET NUMBER:

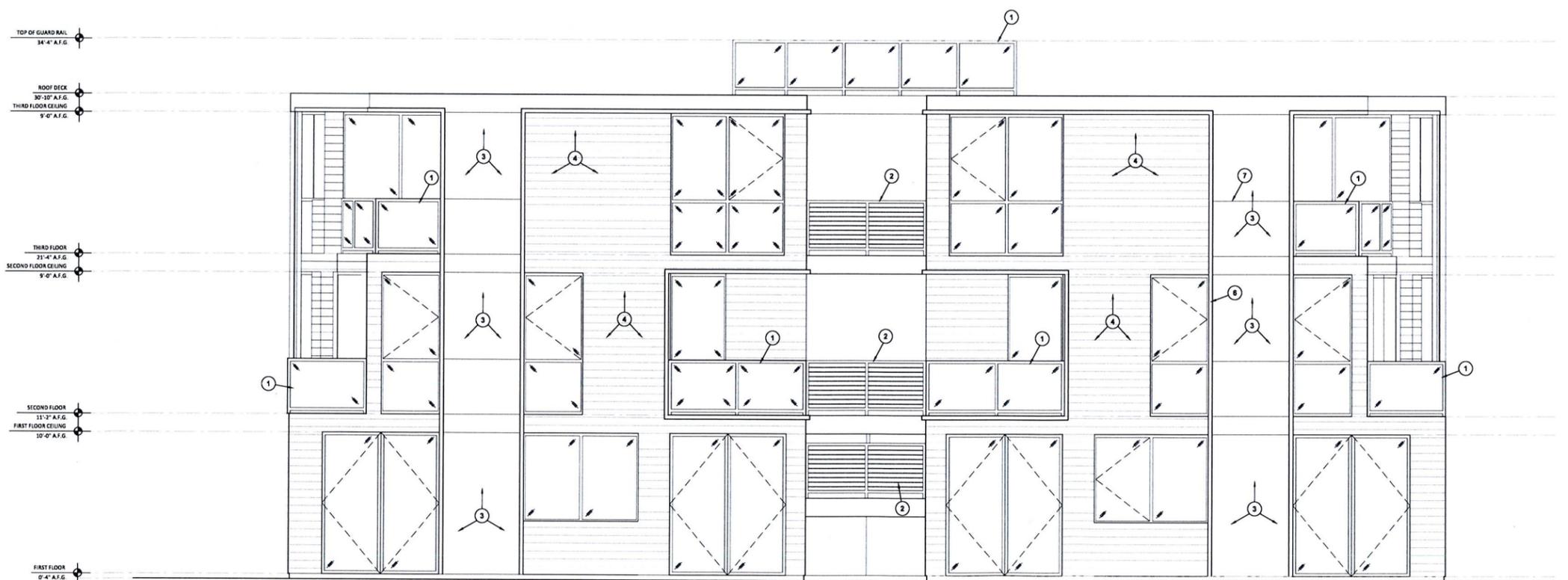
**A3.1**

- KEYNOTES
- 1 METAL & GLASS GUARDRAIL, 42" AFF
  - 2 METAL GUARDRAIL WITH HORIZONTAL BARS, 42" AFF
  - 3 CEMENT PLASTER, SMOOTH FINISH, WHITE
  - 4 HARDIE BOARD SIDING
  - 5 CEMENT PLASTER, SMOOTH FINISH, GRAY
  - 6 GRAY ANODIZED ALUMINUM FINISH
  - 7 CEMENT PLASTER CONTROL JOINT OR EXPANSION JOINT
  - 8 GRAY ANODIZED ALUMINUM ROOF BELOW
  - 9 OPEN TO GARAGE
  - 10 GAS METERS

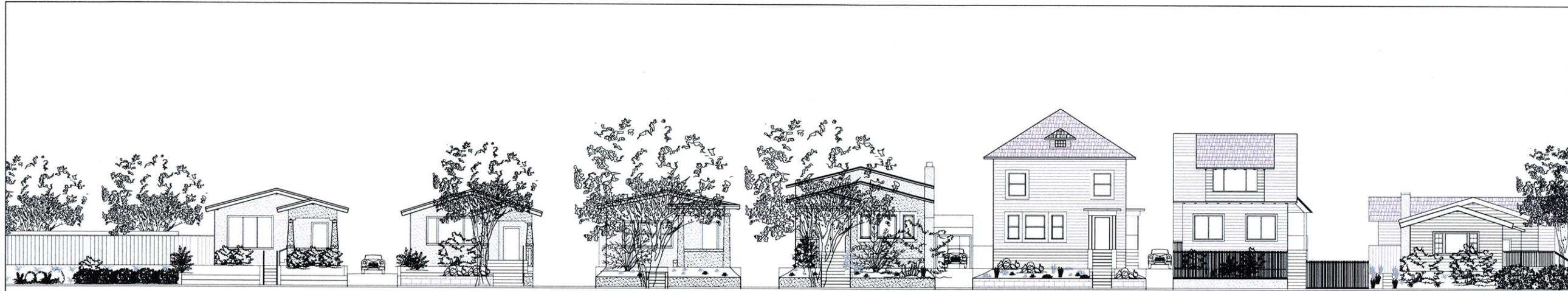


**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

- KEYNOTES
- 1 METAL & GLASS GUARDRAIL, 42" AFF
  - 2 METAL GUARDRAIL WITH HORIZONTAL BARS, 42" AFF
  - 3 CEMENT PLASTER, SMOOTH FINISH, WHITE
  - 4 HARDIE BOARD SIDING
  - 5 NOT USED
  - 6 GRAY ANODIZED ALUMINUM FINISH
  - 7 CEMENT PLASTER CONTROL JOINT OR EXPANSION JOINT



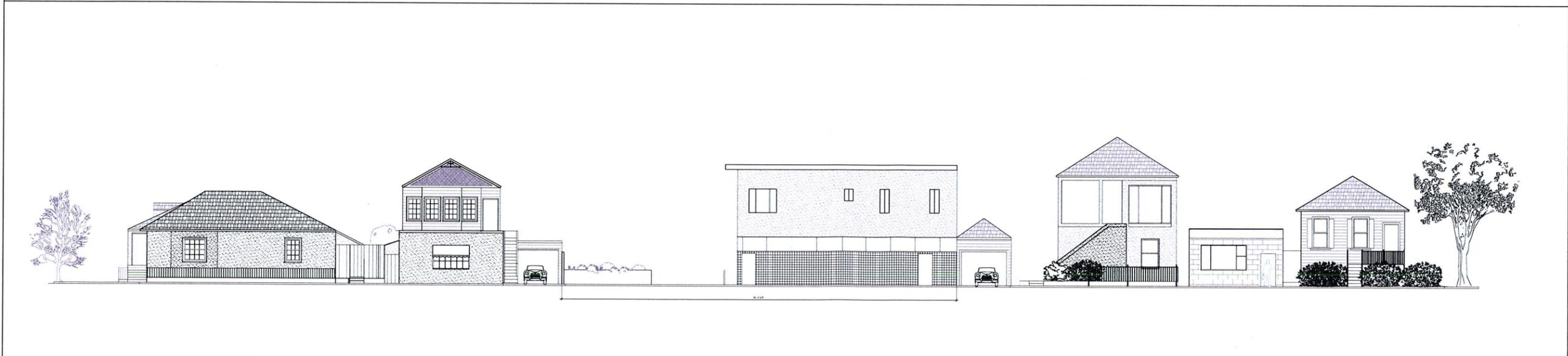
**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3** EXISTING STREET CONTEXT ELEVATION - ACROSS SHATTUCK  
SCALE: 3/32" = 1'-0"



**2** PROPOSED STREET CONTEXT ELEVATION  
SCALE: 3/32" = 1'-0"



**1** EXISTING STREET CONTEXT ELEVATION  
SCALE: 3/32" = 1'-0"

**DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609**

SUBMITTAL:  
**PLANNING SET  
FEBRUARY 2017**

REVISIONS:

DATE	DESCRIPTION

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SHEET TITLE:  
**STREET CONTEXT  
ELEVATIONS**

SHEET NUMBER:  
**A3.2**



**DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609**

SUBMITAL:  
**PLANNING SET  
FEBRUARY 2017**

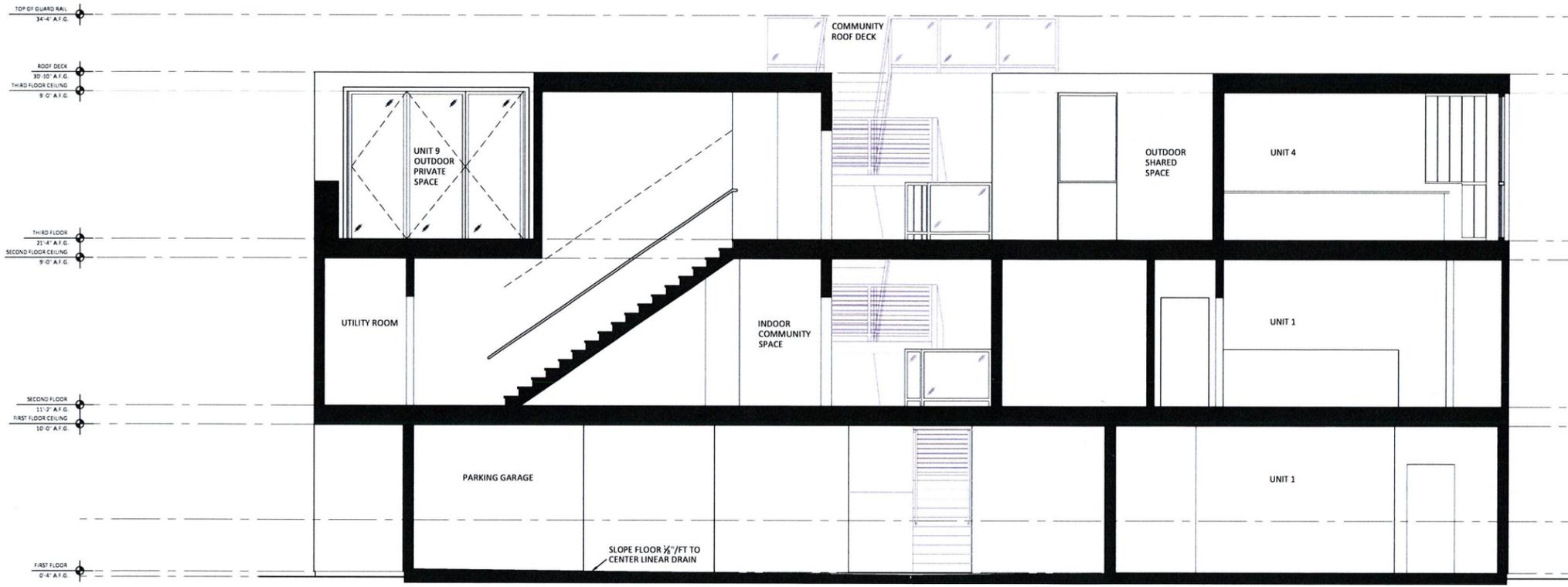
REVISIONS:

△	DATE	DESCRIPTION

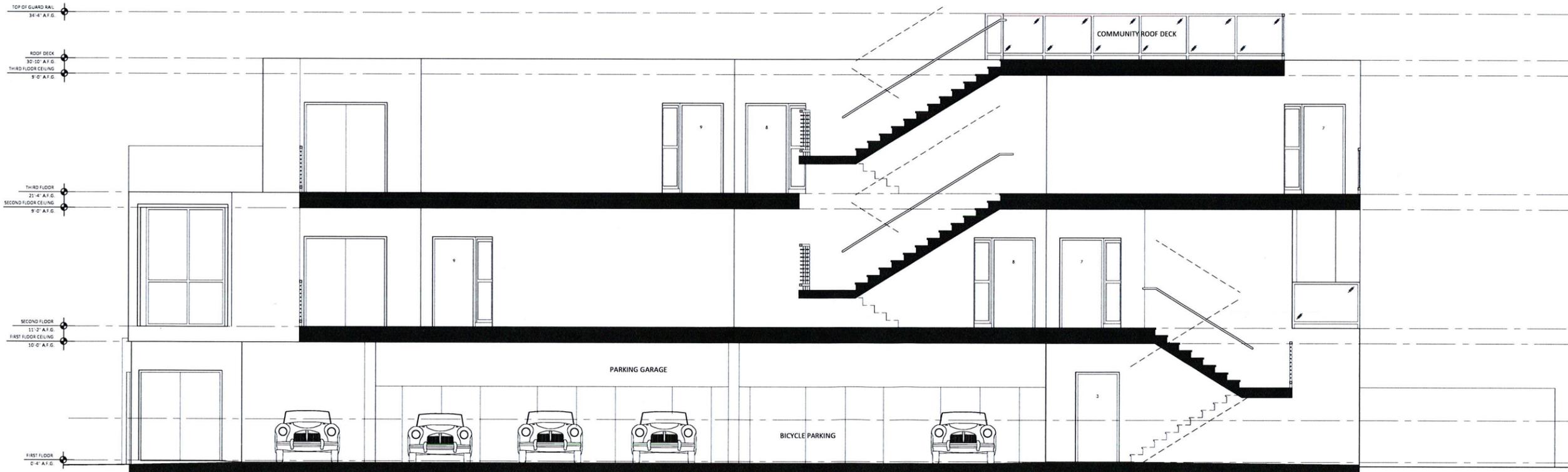
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SHEET TITLE:  
**BUILDING SECTIONS**

SHEET NUMBER:  
**A4.0**



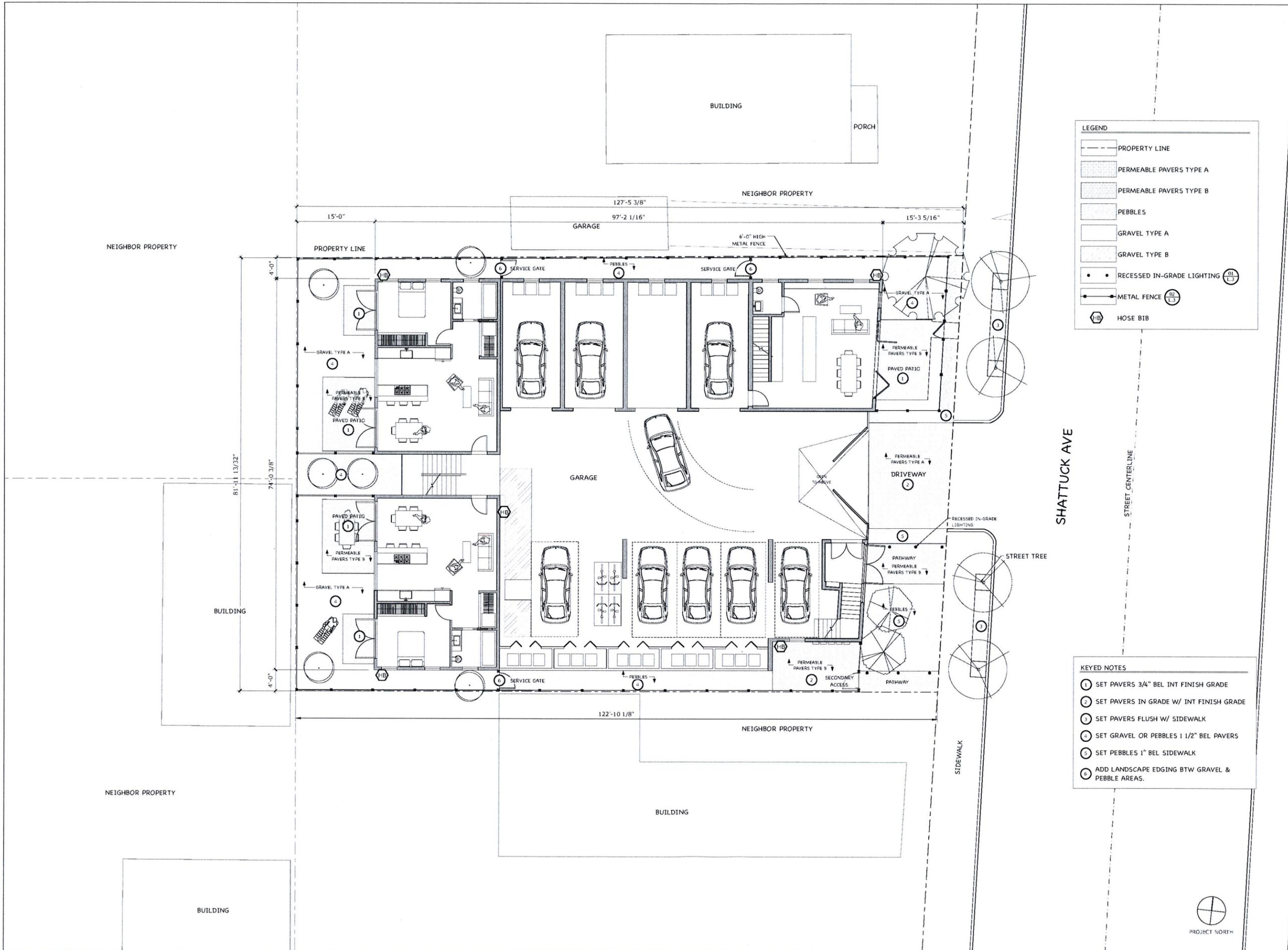
**2 NORTH-SOUTH BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**1 EAST-WEST BUILDING SECTION AT PARKING**  
SCALE: 1/4" = 1'-0"

**5817 SHATTUCK AVE  
OAKLAND, CA**

DATE	DESCRIPTION



**LEGEND**

- PROPERTY LINE
- PERMEABLE PAVERS TYPE A
- PERMEABLE PAVERS TYPE B
- PEBBLES
- GRAVEL TYPE A
- GRAVEL TYPE B
- RECESSED IN-GRADE LIGHTING (01 L.S.)
- METAL FENCE (02 L.S.)
- HOSE BIB

**KEYED NOTES**

- 1 SET PAVERS 3/4" BEL INT FINISH GRADE
- 2 SET PAVERS IN GRADE W/ INT FINISH GRADE
- 3 SET PAVERS FLUSH W/ SIDEWALK
- 4 SET GRAVEL OR PEBBLES 1 1/2" BEL PAVERS
- 5 SET PEBBLES 1" BEL SIDEWALK
- 6 ADD LANDSCAPE EDGING BTW GRAVEL & PEBBLE AREAS.

**1 PROPOSED FIRST FLOOR LAYOUT PLAN**  
SCALE: 1/8"=1'-0"

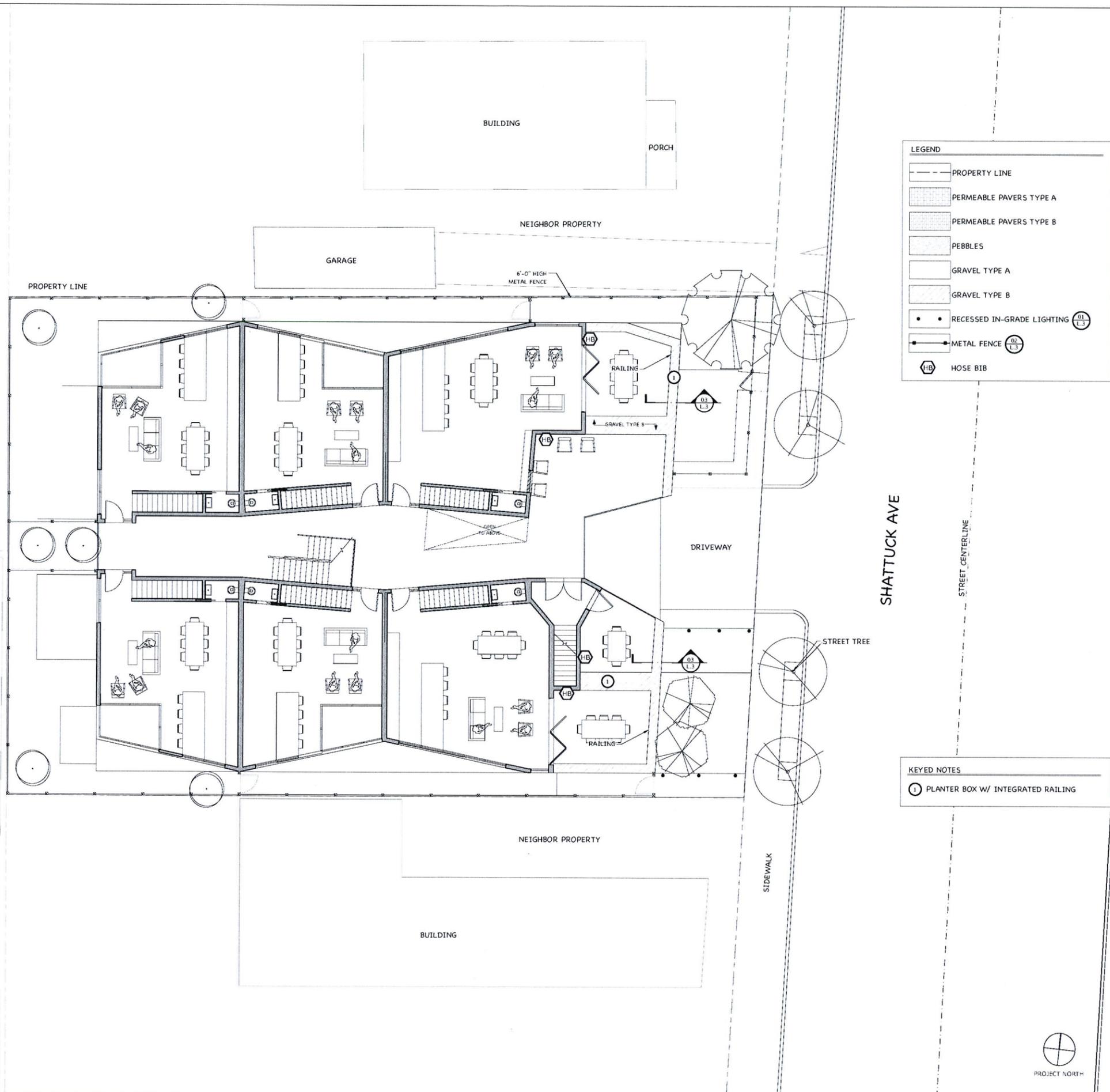


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**THIRD FLOOR  
LAYOUT PLAN**



**LEGEND**

- PROPERTY LINE
- [Pattern] PERMEABLE PAVERS TYPE A
- [Pattern] PERMEABLE PAVERS TYPE B
- [Pattern] PEBBLES
- [Pattern] GRAVEL TYPE A
- [Pattern] GRAVEL TYPE B
- RECESSED IN-GRADE LIGHTING (01, 02, 03)
- METAL FENCE (02, 03)
- ⊕ HOSE BIB

**KEYED NOTES**

- ① PLANTER BOX W/ INTEGRATED RAILING

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REVISIONS:

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SHEET TITLE:

LAYOUT NOTES  
AND DETAILS

SHEET NUMBER:

**L.3**

GENERAL CONDITIONS NOTES:

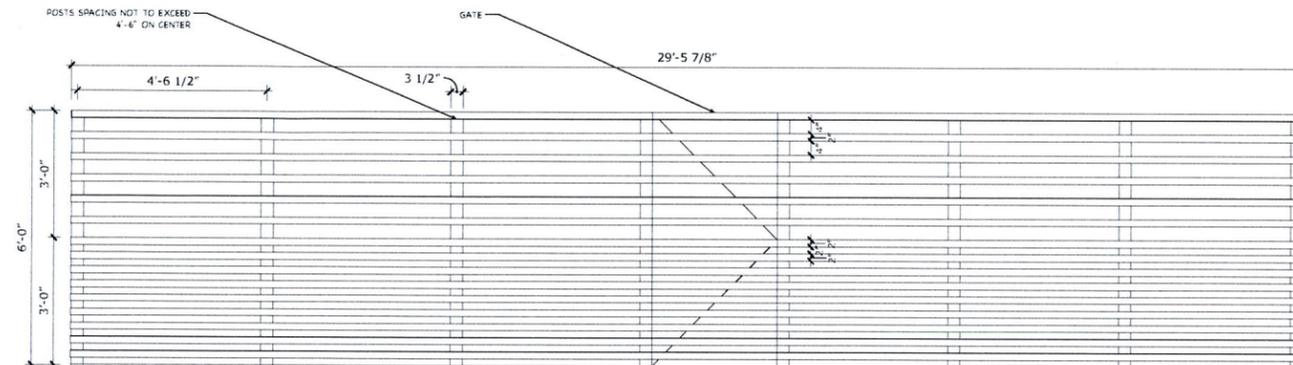
1. WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES AND REGULATIONS.
2. LOCATION OF PROPERTY LINES AND CORNERS ARE THE RESPONSIBILITY OF PROPERTY OWNER, CONTRACTOR, OR SURVEYOR.
3. CONTACT LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION, PRIOR TO COMMENCING WORK. CALL 811 TO KNOW UTILITY LINES LOCATION.
4. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND, IF NECESSARY.

LAYOUT NOTES:

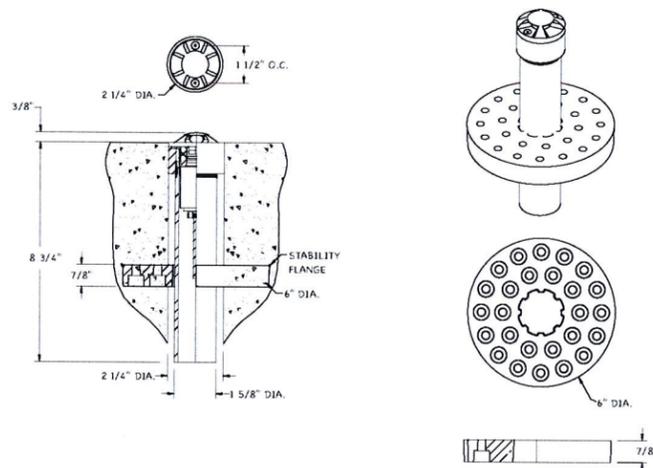
1. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE, LARGE SCALE OVER SMALLER SCALE, ADDENDA AND CLARIFICATIONS OVER PREVIOUS DOCUMENTS.
2. FOR DIMENSIONS OF EXISTING BUILDINGS, PROPOSED BUILDINGS AND RELATED WORK, REFER TO ARCHITECTURAL DRAWINGS.
3. WHERE DIMENSIONS ARE CALLED AS QUAL (EQ), SPACE REFERENCED ITEMS EQUALLY, MEASURED TO THEIR CENTER LINES.
4. MEASUREMENTS ARE TO FACE OF BUILDING, WALL OR FIXED SITE IMPROVEMENT. DIMENSIONS TO CENTER LINE IS AS INDICATED.
5. INSTALL INTERSECTING ELEMENTS AT 90 DEGREE ANGLES TO EACH OTHER UNLESS OTHERWISE NOTED.

LIGHTING NOTES:

1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT & DESIGN OF LOW-VOLTAGE WIRE NUTS.
2. IN-GRADÉ RECESSED LIGHTS TO BE INSTALL IN THE SAME SYSTEM AS EXTERIOR WALL LIGHT IN FRONT FAÇADE. CONTRACTOR TO PROVIDE SLEEVE. REFER TO ARCHITECTURAL DRAWINGS FOR ELECTRICAL PLAN.

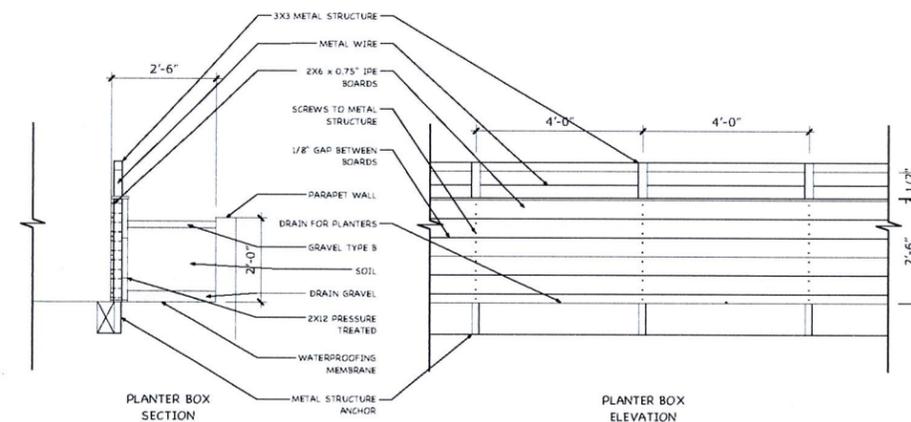


02 BLACK POWDER COATED METAL FENCE AND GATE - TYP  
1/2" = 1'-0"



- SPECIFICATIONS:
1. BRAND: BK-LIGHTING
  2. MODEL: MINI DRIVESTAR SURFACE MOUNT SOLID STATE (BKSSL) POWER OF 'e'

01 RECESSED IN-GRADE LIGHTING  
N.T.S.



03 PLANTER BOX SECOND AND THIRD FLOOR  
1/2" = 1'-0"

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SHEET TITLE:

FIRST FLOOR  
PLANTING PLAN

SHEET NUMBER:

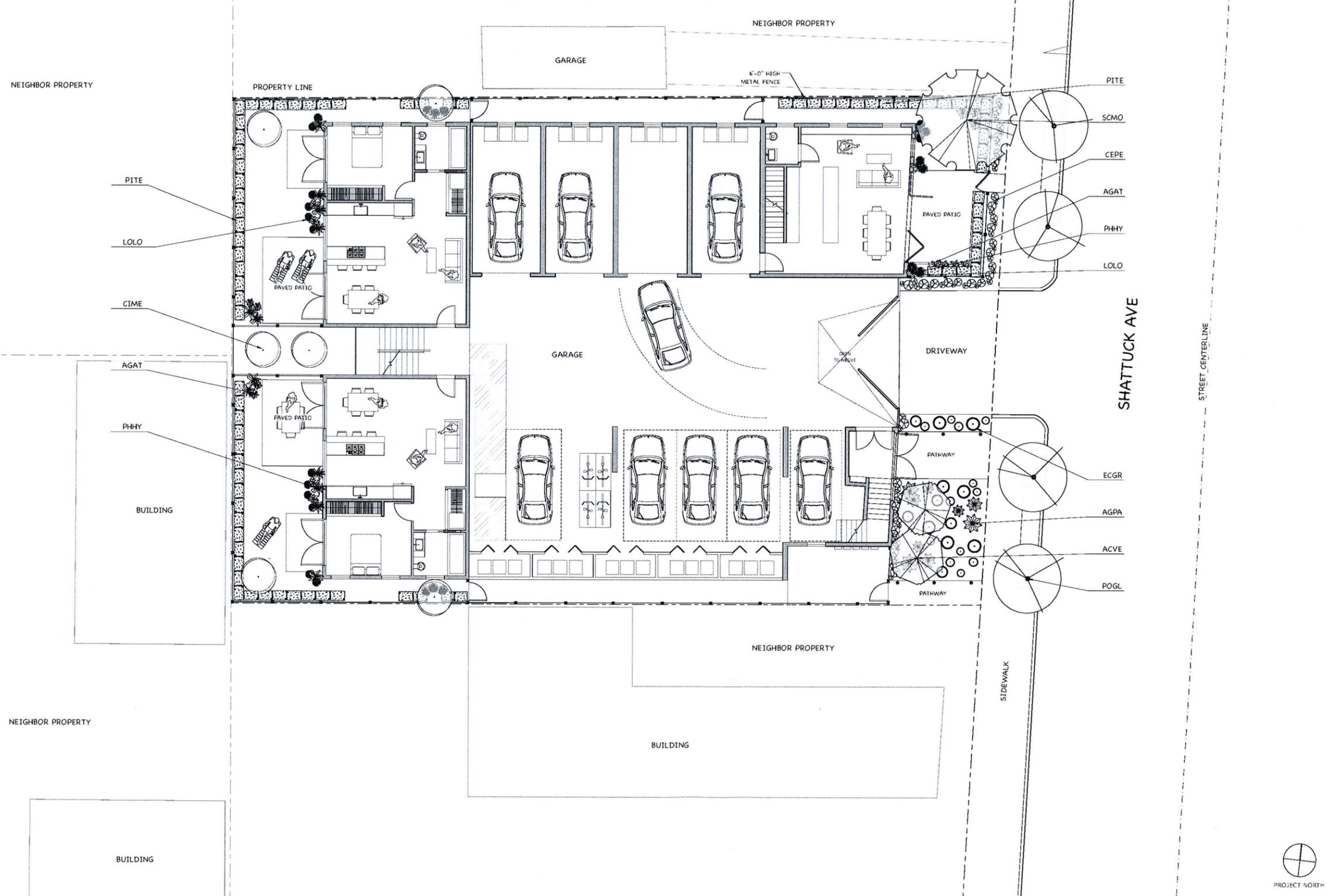
**L.4**

PLANT LIST FIRST FLOOR

LEGEND	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING (IN)	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
POGL		PODOCARPUS GLACILIOR	FERN PINE	4	24" BOX		20-60	10-20
SCMO		SCHINUS MOLLE	CALIFORNIA PEPPER TREE	1	24" BOX		25-40	25-40
ACVE		ACACIA VESTITA	HAIRY WATTLE	2	24" BOX		12-20	10-15
CIME		CITRUS X MEYERI	MEYER LEMON	6	15 GAL		12-18	8-12
PITE		PITTIOSPORUM TENUIFOLIUM 'KRISTIE'	KRISTIE KOHUHU	8	5 GAL	30	4-6	4-6

LEGEND	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING (IN)	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
PHHY		PHORMIUM HYBRIDS 'DARK DELIGHT'	DARK DELIGHT FLAX	10	15 GAL		4	6
CEPE15		CEREUS PERUVIANUS	HEDGE CACTUS	20	15 GAL	48	8-10	4
CEPE5		CEREUS PERUVIANUS	HEDGE CACTUS	24	5 GAL	48	8-10	4
AGPA15		AGAVE PARRYI VAR. TRUNCATA	ARTICHOKE AGAVE	3	15 GAL		2-3	2-3
AGPA5		AGAVE PARRYI VAR. TRUNCATA	ARTICHOKE AGAVE	6	5 GAL		2-3	2-3

LEGEND	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING (IN)	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
EGGR15		ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	8	15 GAL	40	1-4	1-4
EGGR5		ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	8	5 GAL	40	1-4	1-4
EGGR1		ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	8	1 GAL	40	1-4	1-4
AGAT		AGAVE ATTENUATA	FOXTAIL AGAVE	15	5 GAL		4-5	6
LOLO		LOMANDRA LONGIFOLIA	BREEZE DWARF MAT RUSH	25	5 GAL		2-3	3-4



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SHEET TITLE:

**THIRD FLOOR  
PLANTING PLAN**

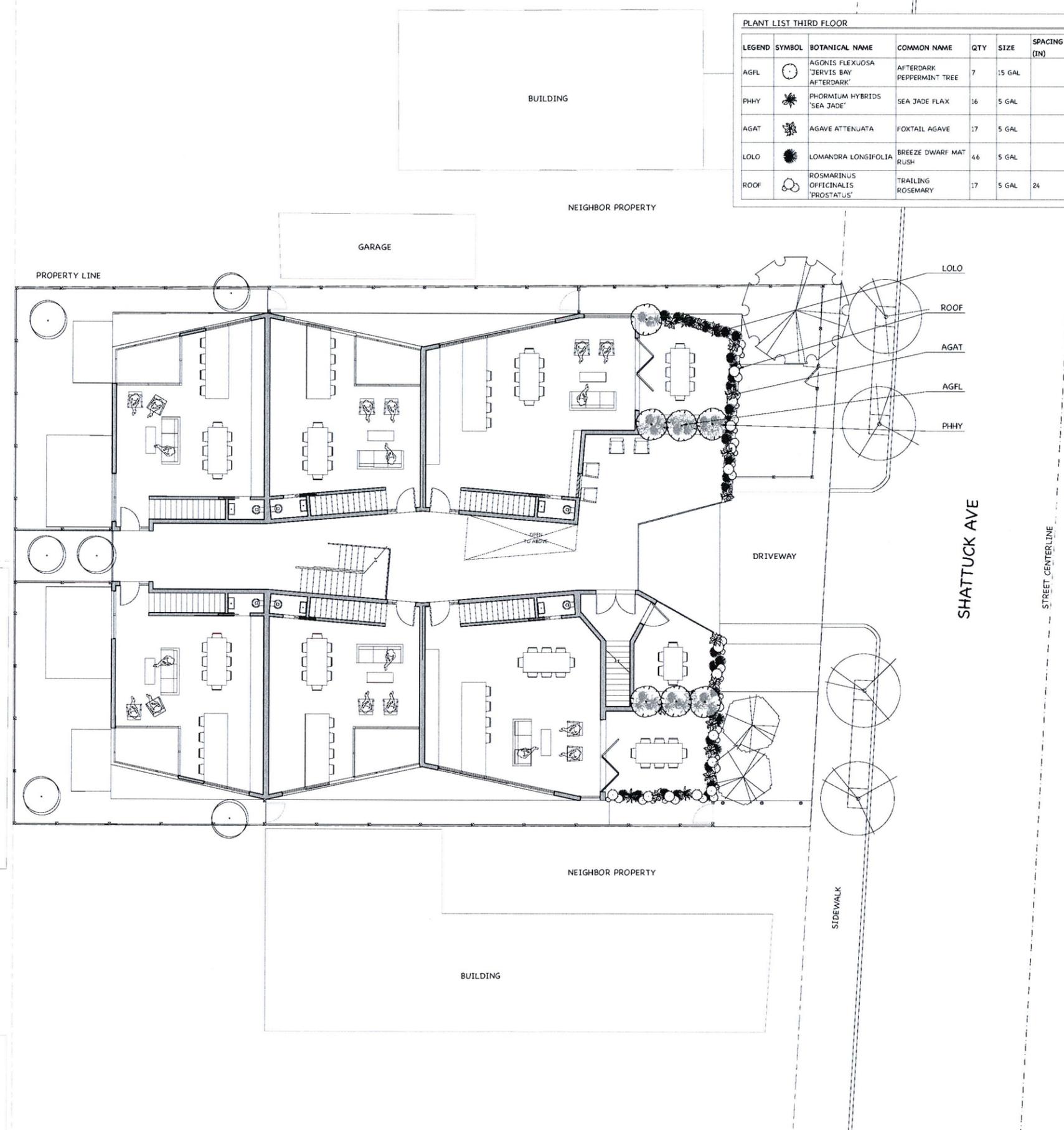
SHEET NUMBER:

**L.5**

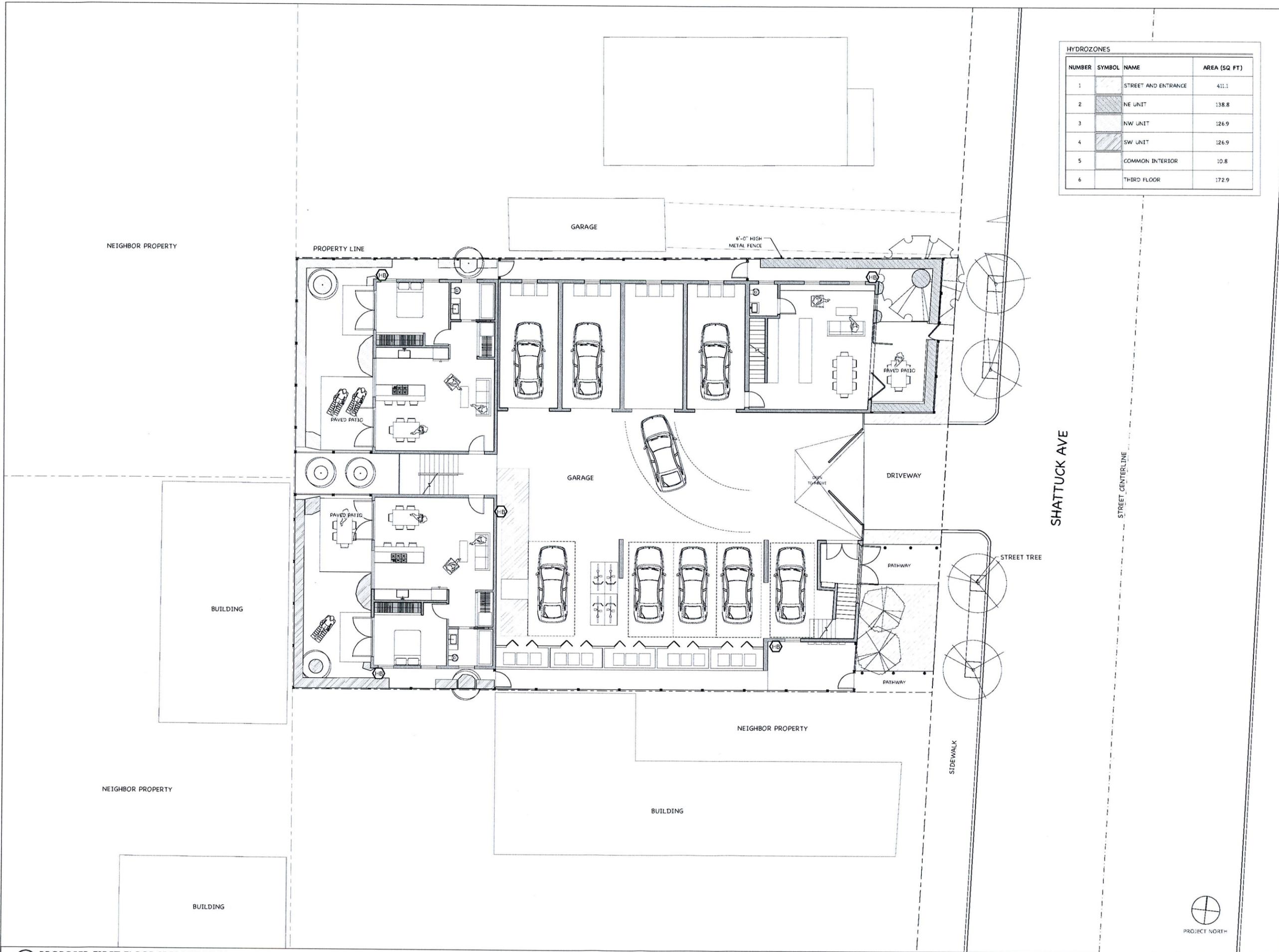
**PLANT LIST THIRD FLOOR**

LEGEND	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING (IN)	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
AGFL		AGONIS FLEXUOSA 'JERVIS BAY' 'AFTERDARK'	AFTERDARK PEPPERMINT TREE	7	15 GAL		12	6-10
PHHY		PHORMIUM HYBRIDS 'SEA JADE'	SEA JADE FLAX	16	5 GAL		4-5	5-6
AGAT		AGAVE ATTENUATA	FOXTAIL AGAVE	17	5 GAL		4-5	6
LOLO		LOMANDRA LONGIFOLIA	BREEZE DWARF MAT RUSH	46	5 GAL		2-3	3-4
ROOF		ROSMARINUS OFFICINALIS 'PROSTATUS'	TRAILING ROSEMARY	17	5 GAL	24	2	4-8

- PLANTING NOTES:**
- A. SOIL PREPARATION:**
- SOIL PREPARATION IS A CRITICAL FACTOR IN CREATING A HEALTHY AND LONG-LASTING LANDSCAPE. REMOVE EXISTING TOP SOIL WHEN REMOVING PAVED AREAS IF ANY AND STOCKPILE ON SITE. TOPSOIL TO BE INCORPORATE BACK INTO THE SOIL AT A LATER DATE.
  - PRIOR TO THE INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIRONMENT FOR PLANT ROOT DEVELOPMENT.
  - CONTRACTOR TO DE-COMPACT SOILS IN PLANTING AREAS BY ROTO-TILLING, DISKING OR RIPPING TO A DEPTH OF 6-8" MINIMUM AND PREFERABLY AT A DEPTH OF 12-18". DE-COMPACTON OF SOME PLANTING AREAS, SUCH AS THOSE IN THE DRIVEWAY AND PARKING LOT, MAY REQUIRE THE REMOVAL OF THE COMPACTED SOIL TO A DEPTH OF 18" OR MORE AND THEN RE-INSTALLED LOOSELY W/ REQUIRED AMENDMENTS.
  - ALWAYS REMOVE DEBRIS OVER 2" IN SIZE FROM THE SOIL.
  - WHEN PERFORMING SOIL DE-COMPACTON, MULTIPLE PASSES ACROSS THE AREA WILL BE REQUIRED AND, WHEN POSSIBLE, SHOULD BE AT VARYING ANGLES TO ENSURE ADEQUATE COVERAGE. WHEN USING DISC OR RIPPING EQUIPMENT, IT IS REQUIRED THAT THE FINAL PASSES OVER THE AREA BE MADE W/ A ROTOTILLING TO BREAK UP ANY LARGER CLUMPS TO MAKE FINAL GRADING EASIER.
  - AFTER INITIAL SOIL DE-COMPACTON PROCEDURES ARE PERFORMED, SOIL AMENDMENTS SHOULD BE ADDED. ALL AMENDMENTS SHOULD BE MIXED THOROUGHLY W/ EXISTING SOIL.
  - DURING THE REMAINDER OF THE LANDSCAPE INSTALLATION, VARIOUS AREAS OF THE SITE MAY BE RE-COMPACTED DUE TO THE USE OF EQUIPMENT AND VEHICLES. THIS COMPACTON IS TYPICALLY LIMITED TO THE UPPER 4-6" OF THE SOIL. PRIOR TO THE INSTALLATION OF PLANT MATERIAL IN THESE AREAS, THE COMPACTON SHALL BE REDUCED TO 80% OR LESS USING PREVIOUSLY DESCRIBED METHODS.
- B. SOIL AMENDMENTS:**
- SITE SOIL SHALL BE CAPABLE OF SUSTAINING HEALTHY PLANT LIFE BUT ADDITION OF SOME SUBSOIL MAY BE REQUIRED. EVALUATION OF SOIL FROM LANDSCAPE CONTRACTOR SHOULD BE PERFORMED AFTER EXISTING ASPHALT AND CONCRETE ARE REMOVED.
  - SOIL AMENDMENT: NITROLIZED REDWOOD SAWDUST, ADD 6 CUBIC YARDS PER 1000 SQ. FT.
  - GYPSUM, ADD 50 LBS PER 1000 SQ. FT.
  - FERTILIZER, APPLY AT A RATE THAT SUPPLIES 1 LB OF NITROGEN PER 1000 SQ. FT.
- C. PLANT INSTALLATION:**
- VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS.
  - PLACE TREES, SHRUBS, GRASSES AND GROUND COVER IN LOCATIONS SHOWN ON PLANS.
  - DIG PITS AS DETAILED ON DRAWINGS. AFTER PITS ARE DUG, BREAK SIDES TO OPEN WALL OF PIT FOR ROOT PENETRATION.
  - BACKFILL BOTTOM 1/3 OF HOLE CONTAINING ROOTBALL W/ LOOSE SITE SOIL IN A FINELY DIVIDED CONDITION FREE FROM ROCKS OR CLODS. TOP 2/3 OF BACKFILL SHALL USED AMENDED SIT SOIL.
  - FOR TREES: SET TOP OF ROOT BALL 2" ABOVE FINISH GRADE. SHRUBS TO BE SET 1" ABOVE GRADE. THOROUGHLY STAURE BACKFILL SOIL AND ROOTBALL TO FULL DEPTH.
  - PROVIDE MATCHING FORMS AND SIZES FOR PLANTS MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.
- D. ESTABLISHMENT PERIOD:**
- ESTABLISHMENT PERIOD SHALL INCLUDE ALL PLANTING WORK AND EXTEND 60 CALENDAR DAYS AFTER WRITTEN APPROVAL AT TIME OF PRELIMINARY REVIEW.
  - MAINTAIN CONSTANT MOISTURE TO AN 8" DEPTH.
  - KEEP AREAS FREE OF UNDESIRABLE WEEDS BY HAND PULLING.
  - MAINTAIN IRRIGATION SYSTEMS IN FULL OPERATING ORDER, AND REPAIR AND REPLACE ALL DAMAGED IRRIGATION EQUIPMENT AS NECESSARY FOR COMPLETE OPERATION OF THE SYSTEM.
  - MAINTAIN TREES IN BEST CONDITIONS BY SPRAYING, PRUNING, WATERING, ETC. AS NECESSARY.
  - MAINTAIN TREE BASINS, AND STAKING FOR TREES.



HYDROZONES			
NUMBER	SYMBOL	NAME	AREA (SQ FT)
1	[Symbol]	STREET AND ENTRANCE	411.1
2	[Symbol]	NE UNIT	138.8
3	[Symbol]	NW UNIT	126.9
4	[Symbol]	SW UNIT	126.9
5	[Symbol]	COMMON INTERIOR	10.8
6	[Symbol]	THIRD FLOOR	172.9



**5817 SHATTUCK AVE  
OAKLAND, CA**

**SUBMITTAL:**

**REVISIONS:**

Δ	DATE	DESCRIPTION

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**SHEET TITLE:**

**FIRST FLOOR  
IRRIGATION PLAN  
1/2**

**SHEET NUMBER:**

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OAKLAND, CA**

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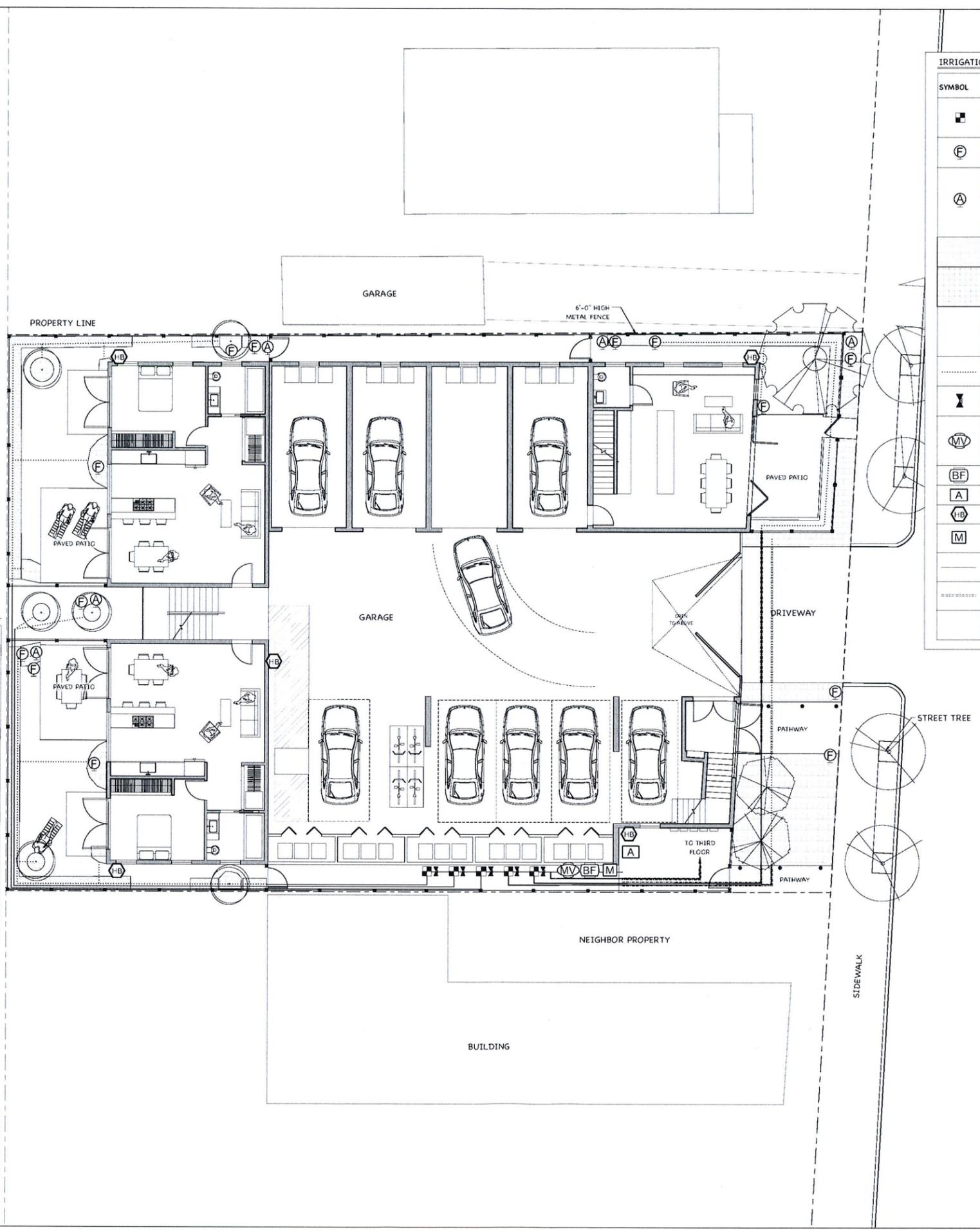
SHEET TITLE:

**FIRST FLOOR  
IRRIGATION PLAN  
2/2**

SHEET NUMBER:

**L.7**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT. 1" DV VALVE W/ 1" PRESSURE REGULATING FILTER AT 40PSI AND MDCF FITTING. 3GPM-15GPM	5
⊕	RAIN BIRD MDCF-CAP DRILINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.	13
Ⓐ	RAIN BIRD ARV075 3/4" AIR RELIEF VALVE, MADE OF QUALITY RUST-PROOF MATERIALS, WITH A 6.0" DRIP VALVE BOX. USE WITH INSTALLATION BELOW SOIL. THE VALVE WILL ALLOW AIR TO ESCAPE THE PIPELINE, THUS PREVENTING WATER HAMMER OR BLOCKAGE.	5
	AREA TO RECEIVE SUBSURFACE DRILINE RAINBIRD XFS-06-18-500 PRESSURE AT 8.5 TO 60PSI.	250 LF
	AREA TO RECEIVE PRESSURE COMPENSATING MODULES. RAINBIRD PC-05 PRESSURE AT 10 TO 50 PSI	
	Emitter Notes: 1 gal plant to receive 1 emitter 5 gal plant to receive 2 emitters 15 gal plant to receive 3 emitters 24" box to receive 4 emitters.	
	RAINBIRD DRILINE STRIPE TUBING XB5500B TO CONNECT IRRIGATION AREAS AND INSTALLING RAINBIRD PC-05	500 LF
⌘	NIBCO T-580-56-R-66-LL STAINLESS STEEL BALL VALVE SHUT OFF VALVE	5
Ⓜ	GRISWOLD 2160LE 2" 2" SOLENOID, NORMALLY OPEN MASTER VALVE. EPOXY COATING. CAST IRON AND BRONZE MATERIAL. NPT END CONNECTION.	1
Ⓛ	FEBCO 825VA 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER	1
Ⓐ	RAINBIRD ESP4SMTE MODULAR OUTDOOR CONTROLLER W/ RAIN CHECK INCLUDED	1
Ⓜ	HOSE BIB	5
Ⓜ	WATER METER 1"	1
	IRRIGATION LATERAL LINE. PVC SCHEDULE 40 IRRIGATION PIPE	
	PIPE SLEEVE: PVC SCHEDULE 40	
	VALVE BOXES: BROOKS OR EQUAL, BLACK COLOR.	FOR DRIP CONTROLS & AIR VALVES



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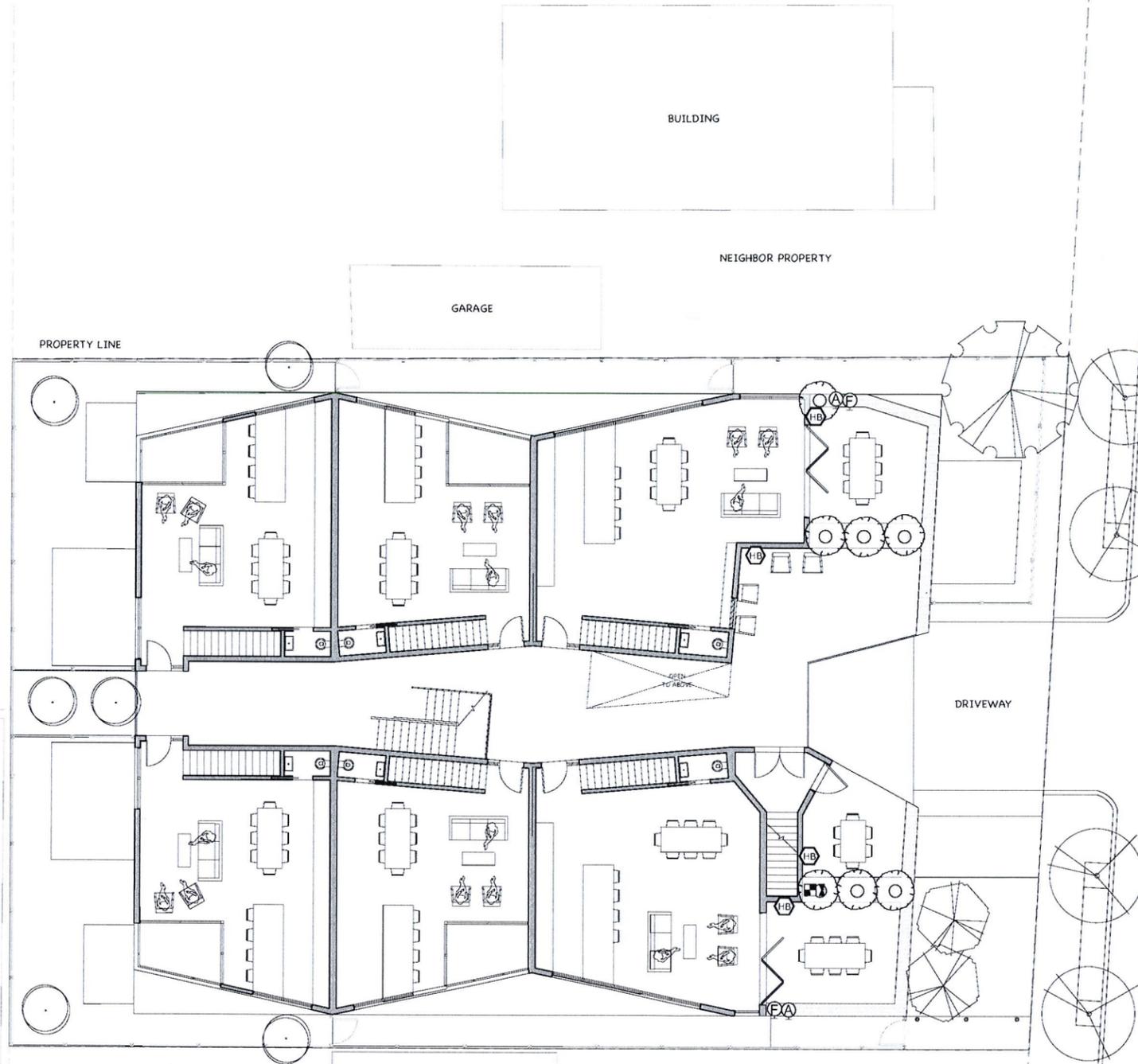
SHEET TITLE:

**THIRD FLOOR**  
**IRRIGATION PLAN**

SHEET NUMBER:

**L.8**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE W/ 1" PRESSURE REGULATING FILTER AT 40PSI AND MDCF FITTING, 3GPM-15GPM	1
ⓔ	RAIN BIRD MDCF CAP DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.	2
Ⓐ	RAIN BIRD ARV075 3/4" AIR RELIEF VALVE, MADE OF QUALITY RUST-PROOF MATERIALS, WITH A 6.0" DRIP VALVE BOX. USE WITH INSTALLATION BELOW SOIL. THE VALVE WILL ALLOW AIR TO ESCAPE THE PIPELINE, THUS PREVENTING WATER HAMMER OR BLOCKAGE.	2
■	AREA TO RECEIVE SUBSURFACE DRIPLINE RAINBIRD XFS-06-18-500 PRESSURE AT 8.5 TO 60PSI AREA TO RECEIVE PRESSURE COMPENSATING MODULES. RAINBIRD PC-05 PRESSURE AT 10 TO 50 PSI	125 LF
ⓔ	Emitter Notes: 1 gal plant to receive 1 emitter 5 gal plant to receive 2 emitters 15 gal plant to receive 3 emitters 24" box to receive 4 emitters. RAINBIRD DRIPLINE STRIPE TUBING XBS500B TO CONNECT IRRIGATION AREAS AND INSTALLING RAINBIRD PC-05	
ⓔ	NIBCO T-580-S6-R-66-LL STAINLESS STEEL BALL VALVE SHUT OFF VALVE	1
ⓔ	HOSE BIB	2
—	IRRIGATION LATERAL LINE, PVC SCHEDULE 40 IRRIGATION PIPE	
—	PIPE SLEEVE: PVC SCHEDULE 40	
—	VALVE BOXES: BROOKS OR EQUAL, BLACK COLOR.	FOR DRIP CONTROLS & AIR VALVES



**IRRIGATION CALCULATIONS**

**MAXIMUM APPLIED WATER ALLOWANCE**

$$MAWA = (ET_o) \times 0.62 \times [(0.7 \times LA) + (0.3 \times SLA)]$$

MAWA: Maximum Applied Water Allowance  
 ET<sub>o</sub>: Evapotranspiration in inches per year  
 0.62: Conversion factor to gallons per square foot  
 0.7: ET adjustment factor for plant factors and irrigation efficiency (ETAF)  
 LA: Landscape Area  
 SLA: Portion of the landscape area identified as a special landscape area in sq ft.

PROJECT SITE: OAKLAND, CA in USDA ZONE 10b (41.80" Annual ET<sub>o</sub>)  
 TOTAL LANDSCAPE AREA: 987.4 SF  
 TOTAL SPECIAL LANDSCAPE AREA: 0 SF

$$MAWA = 41.80 \times 0.62 \times [(0.7 \times 987.4) + (0.3 \times 0)]$$

$$= 25,916 \times [691.18 + 0]$$

$$= 17,912.6 \text{ GALLON PER YEAR}$$

**MAWA = 17,912.6 GALLON PER YEAR**

**ESTIMATED TOTAL WATER USE**

$$ETWU = (ET_o) \times 0.62 \times [(PF \times HA) / IE + SLA]$$

ETWU: Estimated Total Water Use in gallons per year  
 ET<sub>o</sub>: Evapotranspiration in inches per year  
 0.62: Conversion factor to gallons per square foot  
 PF: Plant Factor from WUCOLS  
 HA: Hydrozone area in sq ft. Each HA shall be classified based upon the data included in the landscape and irrigation plan as high, medium or low water use.  
 IE: Irrigation efficiency of the irrigation method used in the hydro zone.  
 SLA: Special landscape area in sq ft.

PROJECT SITE: OAKLAND, CA in USDA ZONE 10b (41.80" Annual ET<sub>o</sub>)  
 LANDSCAPE AREA: 987.4 SF  
 TOTAL SPECIAL LANDSCAPE AREA: 0 SF  
 TOTAL WATER FEATURE AREA: 0 SF  
 TOTAL LANDSCAPE AREA: 987.4 SF

HYDROZONE	SYSTEM	PLANT WATER USE TYPE	PLANT FACTOR (PF)	HYDROZONE AREA (HA) IN SQ FT	IE	(PF x HA) / IE
1	DRIP	VERY LOW	0.1	411.1	0.9	45.7
2	DRIP	LOW-MODERATE	0.38	138.8	0.9	58.6
3	DRIP	LOW-MODERATE	0.38	126.9	0.9	48.2
4	DRIP	LOW-MODERATE	0.38	126.9	0.9	48.2
5	DRIP	MODERATE	0.5	10.8	0.9	6.0
6	DRIP	LOW	0.2	172.9	0.9	38.4

$$ETWU = 41.80 \times 0.62 \times [45.7 + 58.6 + 48.2 + 48.2 + 6.0 + 38.4 + 0]$$

$$= 25,916 \times 245.1$$

$$= 6,352.01 \text{ GALLON PER YEAR}$$

**Project Total ETWU = 6,352.01 GALLON PER YEAR**

**GENERAL IRRIGATION NOTES:**

1. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION AND SHALL REPORT ANY DIFFERENCES BETWEEN THE DESIGN WATER PRESSURE AND THE ACTUAL WORKING PRESSURE READING AT THE IRRIGATION P.O.C. TO OWNER'S REPRESENTATIVE
2. THIS DESIGN IS DIAGRAMMATIC. THESE DRAWINGS ARE INTENDED TO BE A SCHEMATIC REPRESENTATION OF THE FINISHED IRRIGATION SYSTEM. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING, AND ARCHITECTURAL FEATURES. CONTRACTOR SHALL MAKE ALL NECESSARY FIELD ADJUSTMENTS TO ACCOMMODATE ACTUAL SITE CONDITIONS.
3. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THESE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK.
4. CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THESE DRAWINGS WHEN IT IS OBVIOUS THAT FIELD OBSTRUCTIONS AND/OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MAY NOT HAVE BEEN CONSIDERED IN THE SYSTEM ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
5. CONTRACTOR TO COORDINATE SLEEVING UNDER ALL PAVING WITH OTHER TRADES AS NECESSARY. NO TEES OR ELLS SHALL BE INSTALLED UNDER PAVING. ALL SLEEVES SHALL EXTEND A MINIMUM OF TWENTY-FOUR INCHES (24") BEYOND EDGE OF PAVING. ALL SLEEVES LOCATED UNDER PAVING SHALL BE TWO (2) TIMES THE OUTSIDE DIAMETER OF THE PIPE TO BE SLEEVED, MINIMUM TWO-INCH (2") DIAMETER. CONTRACTOR TO INSTALL METALLIC BACKED TAPE ALONG THE ENTIRE LENGTH OF THE SLEEVE, TWELVE INCHES (12") DIRECTLY ABOVE THE SLEEVE. TAPE SHALL BE MARKED 'IRRIGATION' IN TWO INCH (2") CAPITAL LETTERS EVERY THREE FEET (3') ALONG THE TAPE.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED TO OPERATE AT A WATER VELOCITY NOT TO EXCEED FIVE (5) FEET PER SECOND.
7. REMOTE CONTROL VALVES SHALL BE INSTALL ADJACENT TO WALKWAY, IN PLANTING AREAS UNLESS OTHERWISE NOTED.
8. QUICK COUPLERS SHALL BE LOCATED AT A MAXIMUM SPACING OF 100' O.C.
9. CONTRACTOR SHALL FLUSH ALL MAIN LINES PRIOR TO INSTALLATION OF THE VALVES, AND SHALL FLUSH ALL LATERAL LINES PRIOR TO INSTALLATION OF THE DRIP SYSTEM.
10. CONTRACTOR SHALL ADJUST ALL SYSTEMS FOR OPTIMUM PERFORMANCE. THIS INCLUDES ADJUSTMENT OF THE FLOW CONTROL STEM AT EACH REMOTE CONTROL VALVE (TO OBTAIN THE OPTIMUM OPERATING FLOW/PRESSURE FOR THAT SYSTEM).
11. COORDINATE IRRIGATION WORK WITH PLANTING PLANS TO AVOID CONFLICTING LOCATIONS BETWEEN PIPING AND PLANT PITS. SPECIMEN TREE LOCATION TAKE PRECEDENCE OVER IRRIGATION PIPING. LOCATE SPECIMEN TREES PRIOR TO TRENCHING FOR IRRIGATION PIPING.
12. TRENCH MARKER. ALL DIRECT BURIAL WIRES SHALL BE MARKED WITH A CONTINUOUS RED COLORED TRENCH MARKER TAPE PLACED NINE INCHES (9") BELOW FINISH GARDE DIRECTLY ABOVE THE BURIED WIRES. MARKER TAPE SHALL BE EQUAL TO "ALARM TAPE" AS MANUFACTURED BY PAUL POTTER WARNING TAPE INC. SHALL BE FOUR INCHES (4") WIDE.
13. IRRIGATION SYSTEMS ARE TO BE INSTALLED AS DESIGNED AND IN ACCORDANCE WITH THE CRITERIA AND APPLICABLE STANDARDS AS OF THE APPROVED DATE OF THESE PLANS. ALL IRRIGATION SYSTEM COMPONENTS SHALL BE INSTALLED PER LOCAL CODE. CONTRACTORS SHALL SECURE ALL NECESSARY PERMITS.
14. FOR REMOTE CONTROL VALVE MANIFOLDS, BALL VALVE SIZE SHALL EQUAL THE SIZE OF THE LARGEST REMOTE CONTROL VALVE IN THE MANIFOLD.
15. PROVIDE PULL BOXES FOR CONTROL WIRING AT ALL CHANGES IN DIRECTION GREATER THAN FORTY-FIVE (45) DEGREES AND WHERE WIRE RUNS EXCEED THREE-HUNDRED FEET (300') IN LENGTH. IN-LINE WIRE SPLICES SHALL BE MADE ONLY IN PULL BOXES, WITH WATERPROOF CONNECTORS.
16. CONTRACTOR SHALL PROVIDE ONE (1) SET OF EXTRA CONTROL WIRES PER MANIFOLD. BUNDLE AND TAPE 10' OF ADDITIONAL WIRE AND INSTALL IN A PULL BOX ADJACENT TO THE VALVE MANIFOLD.
17. NO WIRE SPLICES SHALL BE ALLOWED ON RUNS OF LESS THAN 500'. ON RUNS GREATER THAN 500', SPLICES ARE TO BE MADE WITH AN APPROVED SPLICED UNIT, AND TO BE INSTALLED IN A CONCRETE PULL BOX.
18. BACKFILL MATERIALS SHALL BE CLEAN AND FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), AND OBJECTS WITH SHARP EDGES.
19. CONTRACTOR SHALL INSTALL IN-LINE ANTI-DRAIN VALVES AS WARRANTED BY THE SITE CONDITIONS TO ALLEVIATE LOW-HEAD DRAINAGE.
20. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY EXISTING IRRIGATION SYSTEM EQUIPMENT WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION.

**SUBMITTAL:**

**REVISIONS:**

DATE	DESCRIPTION

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**SHEET TITLE:**

**IRRIGATION  
CALCULATIONS  
AND NOTES**

**SHEET NUMBER:**

**L.9**