

Case File Number: PLN18-142

August 1, 2018

Location:	3245 Hollis Street (See map on reverse)
Assessors Parcel Number:	007-0594-008-00 & 007-0594-009-00
Proposal:	To merge two parcels and re-subdivide them into five mini-lots and construct a 10-unit townhouse-style condominium development.
Owner:	Timberline Funds, LP
Applicant:	Levy Design Partners – Casey Feeser (415)777-5117
Planning Permits Required:	Minor Conditional Use Permit for a Mini-lot Development and Shared Access Facility; Design Review for new construction; and Tentative Tract Map (TTM8464) to merge and re-subdivide the site into five mini-lots and create 10 residential condominiums.
General Plan:	Housing and Business Mix
Zoning:	HBX – 2 Housing and Business Mix Zone 2
Environmental Determination:	Exempt 15332; State CEQA Guidelines, Infill development; Project also relies on WOSP EIR; and Section 15183 of the CEQA Guidelines (projects consistent with a community plan, general plan, or zoning).
Historic Status:	Not a Potential Designated Historic Property (PDHP); Survey Rating: N/A
Service Delivery District:	1
City Council District:	3
Status:	Pending
Action to be Taken:	Decision on application based on staff report
Staff Recommendation:	Approval subject to conditions
Finality of Decision:	Appealable to City Council
For Further Information:	Contact case planner Maurice Brenyah-Addow at (510) 238-6342 or by email at mbrenyah@oaklandnet.com

SUMMARY

Levi Design Partners is requesting approval of an application for a new Mini-lot Development served by a Shared Access Facility to create five mini-lots and construct 10 new townhouse-style residential condominiums (with two units on each of the five mini-lots). The project is proposed to be constructed at a 9,975 square-foot site mid-block on Hollis Street between 34th Street to the north, and Peralta Street to the south.

A Minor Conditional Use Permit is required for the Mini-lot development and the Shared Access Facility. Design Review is required for the new construction, and a Tentative Tract Map is required to subdivide the site into five parcels. The proposed development is substantially consistent with the applicable land use regulations and property development standards as specified in the Oakland Planning Code subject to the attached conditions of approval (See “Findings” and “Conditions of Approval” sections of this report for details).

Staff believes that the project will complement the goal of creating an active, pedestrian-oriented urban community in West Oakland and therefore recommend that the Commission confirm the

(SEE MAP ON REVERSE SIDE)

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environmental determination and approve the Minor Conditional Use Permit, Design Review and Tentative Tract Map application for the proposed project, subject to the attached Conditions of Approval.

PROPERTY DESCRIPTION

The subject 9,975 square-foot vacant surface parking lot site on Hollis Street between 34th Street to the north and Peralta Street to the south. Prominent uses and developments in the vicinity include the Union Park Plaza where there is ongoing community garden, an Extra Storage facility, the Poplar Playground, Ephesians Missionary Baptist Church, Alliance Recycling, a mixture of Period and contemporary architecture, and a variety of non-residential uses. Madison Park Financial, the developer for the proposed project is currently in the process of building a mixed use development project across the street and involved the rehabilitation of the “flatiron” shaped historic building at the corner of Hollis and Peralta Streets.

PROJECT DESCRIPTION

The proposed project involves the merger to two existing lots currently used as surface parking into one, creation of five mini lots, and construction of a 10-unit townhouse-style residential development. The project involves a shared access facility along the southern property line to provide vehicular access to the proposed units central driveway. Each of the proposed five mini-lots will contain a two-unit townhouse structure for a total of ten. The four-story structures will feature two residential units with a shared ground floor parking garage. The uppermost levels also feature private useable open spaces.

The exterior materials and treatments include fiber cement-board siding, metal siding, cement plaster and aluminum clad wood windows. The designs incorporate various elements and detailing such as projecting/recessed planes, a series of grouped fenestration, rhythm of shapes and forms, varied rooflines and material changes. to achieve a visually attractive development that both read as a unified whole while featuring distinctive elements at the same time. The proposed landscaping includes trees, shrubs, ground cover, as well as hardscape such as decorative pavers, planters and other features that enhance the visual quality, functionality, and experience of the open areas.

ENVIRONMENTAL DETERMINATION

The project is located within the West Oakland Specific Plan Area. An Environmental Impact Report (EIR) was certified for the West Oakland Specific Plan (WOSP) on July 29, 2014. The project is consistent with the WOSP EIR and will not have any significant environmental impacts and can both rely on the WOSP EIR as well as qualify for an Infill Exemption under CEQA Guidelines Section 15332 and Section 15183 for projects consistent with a community plan, general plan, or zoning.

GENERAL PLAN ANALYSIS

The subject site is located in the Housing and Business Mix land use classification according to the City of Oakland General Plan Land Use and Transportation Element (LUTE). According to the LUTE, the intent of the Housing and Business Mix classification is to recognize the equal importance of both housing and business and guide a transition from heavy industry to low impact light industrial and other businesses that can co-exist compatibly with residential development. Environmentally sensitive developments including medium density housing, live-work and commercial facilities are encouraged in the Housing and Business Mix classification.

The proposed project is consistent in all significant respects with the following General Plan objectives and policies:

- Objective N3: Encourage the construction, conservation, and enhancement of housing resources in order to meet the current and future housing needs of the Oakland community. The project will provide the Oakland community with 10 new dwelling units.
- Policy N3.1, Facilitating Housing Construction: *Facilitating the construction of housing units should be considered a high priority for the City of Oakland.* The City of Oakland's Bureau of Planning has streamlined its systems in order to facilitate the construction of new homes by assisting developers to navigate the permitting process smoothly and in a timely manner.
- Policy N3.2, Encouraging Infill Development: *In order to facilitate the construction of needed housing units, infill development that is consistent with the General Plan should take place throughout the City Oakland.* The project is proposed for a site located in an urban area of West Oakland. The new development will be an infill development for the currently underutilized site.
- Policy N6.2, Increased Home Ownership: *Housing developments that increase home ownership opportunities for households of all incomes are desirable.* The project will provide property ownership opportunities for 10 new households. The developer intends to build these units as condominiums which will create homeownership opportunities.

ZONING ANALYSIS

The site is zoned HBX2 which allows a maximum density of 1 unit per 930 sq. ft. of lot area which translates into a maximum of 10.7 units for the 9,975 square-foot project site. The proposed 10-unit residential units are therefore consistent with the prescribed density.

Development Standards

Standard	Allowed/Required	Proposed
Max. Residential Density	10.7 units (1/930 sq. ft)	10 units
Max. Non-Residential Density	N/A	N/A
Max. FAR	N/A	N/A
Max. Height	45 ft.	45 ft.

Min. setbacks	0ft.	0.
Min. useable open space	1,500 sq. ft. (150 sq. ft./unit)	>1,50 sq. ft./unit
Reqd. Bicycle Parking	0 Long term(LT)/1 Short Term(ST)	Private garage LT/ ST
Reqd. off-street parking	10 spaces (1/Unit)	10 spaces

KEY ISSUES AND IMPACTS

Overall, the proposed site plan and design for the proposed project are successful and consistent with the goal of creating an active, pedestrian-oriented urban community in West Oakland. The proposed residential development will be built as condominium units. The key issues and impacts are discussed below:

Density/Setbacks/Height

The proposed 10-unit residential project is consistent with the permitted uses and density of the HBX2 Zone. The proposed structures will also comply with all the prescribed setbacks and height limits of the HBX2 Zone.

Automobile Parking

The project provides two parking spaces within enclosed garages on the ground floor or each duplex townhouse structure. The entire project will provide 10 off-street parking spaces.

Site Plan and Building Design

The site plan presents an urban medium-density type development that responds to the context of urbanized development in the vicinity. The designs incorporate various elements and detailing such as projecting/recessed planes, a series of grouped fenestration, rhythm of shapes and forms, varied rooflines, material changes, etc. to achieve a visually attractive development that both read as a unified whole while featuring distinctive elements at the same time. The proposed landscaping include trees, shrubs, ground cover, as well as hardscape such as decorative pavers, planters and other features that enhance the visual quality, functionality, and experience of the open areas.

Useable Open Space

The HBX2 requires 150 square feet of useable open space per dwelling unit. The project provides an average of 150 square feet of private open space per unit and at least 1,500 square feet total private open space in the form of decks for the entire project. The project incorporates landscaping (softscape and hardscape) to enhance the open areas to achieve a net reduction of peak flow stormwater run-off.

Private Access Easement (PAE)/Shared Access Facility

The proposed Private Access Easement (also referred to as a Shared Access Facility) provides vehicular access to all five lots and enables four of the five lots to be created without frontage on a public street. This is an efficient way of minimizing the number of driveway openings at the subject site. The PAE also serves as a common space for utility lines and other shared facilities.

Landscaping

The project incorporates various landscaping elements such as trees, shrubs, and other plantings to soften and achieve an attractive street and courtyard ambience. The project involves landscaped terraces on the second levels of the two wings. The proposed landscaping include trees, shrubs, ground cover, as well as hardscape such as decorative pavers, planters and other features that enhance the visual quality, functionality, and experience of the open areas.

CEQA Analysis

As described in the "Environmental Determination" section, above, none of the circumstances necessitating further CEQA review are present. Thus, the City can rely on the Previous CEQA Documents as well as qualify for Infill Exemption under Section 15332 of CEQA. As a separate and independent basis, the project is also exempt from CEQA review pursuant to CEQA Guidelines Section 15183, projects consistent with a community plan, general plan or zoning.

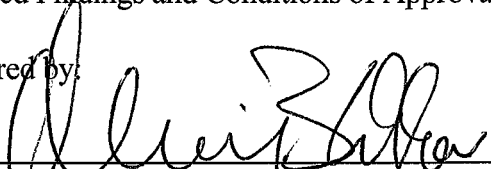
CONCLUSION:

The proposed new 10-unit infill development is an appropriate development for West Oakland. The project is consistent with the development standards of the HBX land use regulations of the Oakland Planning Code. The project would not result in new or more severe environmental impacts beyond those identified in the WOSP EIR and therefore no subsequent or supplemental environmental review is warranted. The site plan, building designs, layout, heights, materials, colors, open areas, and landscaping all combine as a cohesive whole that is appropriate for the subject site. Staff believes that this project will serve as a catalyst for further high quality development within the project area and Oakland as a whole.

RECOMMENDATIONS:

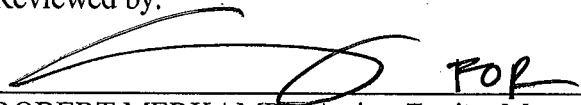
Based on the analysis contained in this report, the findings, and the conditions of approval attached to this report and elsewhere within the administrative record, staff believes that the proposed project is an appropriate development that will further the overall objectives of the WOSP and the Oakland General Plan, particularly related to new housing development. Thus, staff recommends that the Commission:

1. Affirm staff's CEQA determination; and
2. Approve the Conditional Use Permit, Design Review and Tentative Tract Map subject to the attached Findings and Conditions of Approval.

Prepared by: 

MAURICE BRENYAH-ADDOW - Planner IV

Reviewed by:



ROBERT MERKAMP – Acting Zoning Manager

Approved for forwarding to the
City Planning Commission:



ED MANASSE – Interim Deputy Director
Bureau of Planning

- ATTACHMENTS:**
- A. Project Plans
 - B. Oakland Department of Transportation Conditions of Approval

ATTACHMENT A: FINDINGS

This proposal meets the required findings and standards under Section 16.04.010, *Purpose*, Section 16.24.040, *Lot Design Standards*, and Section 16.08.030 *Tentative Maps*, of the Oakland Subdivision Regulations, and Sections 17.102.320 *Conditional Use Permit for waiver of certain requirements in Mini-lot Developments*, 17.102.090 *Conditional Use Permit for Shared Access Facilities* and 17.136.050, *Regular Design Review* criteria of the Oakland Planning Code as set forth below. Required findings are shown in normal type; reasons your proposal satisfies them are shown in **bold** type.

Section 16.04.010, Purpose:

“...ensure that the development of subdivisions is consistent with the goals and policies of the Oakland General Plan.”

The subject site is located in the Housing and Business Mix land use classification which is intended to serve as a buffer between industrial and residential uses. The proposed townhouse condominium development (10 residential units on 5 mini-lots) is consistent with the intent of the General Plan objectives and policies which encourage the construction of housing in order to meet the current and future housing needs of the Oakland community.

Section 16.24.040 Lot design standards.

Lot design shall be consistent with the provisions of Section 16.04.010, Purpose, and the following provisions:

A. No lot shall be created without frontage on a public street, as defined by Section 16.04.030, except:

1. Lots created in conjunction with approved private access easements; or
2. A single lot with frontage on a public street by means of a vehicular access corridor provided that in all cases the corridor shall have a minimum width of twenty (20) feet and shall not exceed three hundred (300) feet in length. Provided further, the corridor shall be a portion of the lot it serves, except that its area (square footage) shall not be included in computing the minimum lot area requirements of the zoning district.

The application is for a mini-lot subdivision that creates new lots by means of a Shared Access Facility/Easement. It consolidates the two existing parcels at the site into a one lot and re-subdivides them into five mini-lots. The existing site has street frontage on Hollis Street.

B. The side lines of lots shall run at right angles or radially to the street upon which the lot fronts, except where impractical by reason of unusual topography.

The subject site has side lot lines that run at right angles to the abutting streets. The new mini-lots will run perpendicular to the Shared Access Facility/Easement.

- C. All applicable requirements of the zoning regulations shall be met.
The 10-unit residential development project, proposed for the subject 9,975 square-foot site, complies with the HBX-2 density, setbacks, height limits, parking, and open space requirements.
- D. Lots shall be equal or larger in measure than the prevalent size of existing lots in the surrounding area except:
1. Where the area is still considered acreage;
 2. Where a deliberate change in the character of the area has been initiated by the adoption of a specific plan, a change in zone, a development control map, or a planned unit development.
The project entails a Conditional Use Permit for a mini-lot development and Shared Access Facility, which allows smaller lots to be created with frontage on the access easement, as long as the overall site complies with the development standards of the applicable zone.
- E. Lots shall be designed in a manner to preserve and enhance natural out-croppings of rock, specimen trees or group of trees, creeks or other amenities.
There are no natural out-croppings of rock, specimen trees or group of trees, creeks, etc. that need preservation at the subject site or other known amenities.

Section 16.08.030 Tentative Map (Pursuant also to California Government Code §66474 (Chapter 4, Subdivision Map Act)

The Advisory Agency shall deny approval of a tentative map, or a parcel map for which a tentative map was not required, if it makes any of the following findings:

- A. That the proposed map is not consistent with applicable general and specific plans as specified in the State Government Code Section 65451.

The project is consistent with the Oakland General Plan and the West Oakland Specific Plan and located in the HBX-2 zone which permits residential units at a ratio of one unit for every 930 square feet of site area and would allow a maximum of 10 residential units for the subject 9,975 square-foot site. Therefore, the proposed 10 residential units consistent with the maximum residential density allowed by the Housing and Business Mix 2 General Plan and Zoning.

- B. That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.

The project is residential in nature and consistent with the Oakland General Plan and the West Oakland Specific Plan.

- C. That the site is not physically suitable for the type of development.

There are no known physical constraints that make the site unsuitable for the proposed type of development.

- D. That the site is not physically suitable for the proposed density of development.

The subject site currently serves as a surface parking lot. Staff is not aware of any site contamination or environmental condition that makes the site physically unsuitable for the proposed use and density. Therefore, the proposed 10-unit residential development is physically suitable for the subject site.

- E. That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The subject site is located in an urbanized area and will be improved with the proposed development. There are no known fish or wildlife habitat at the site.

- F. That the design of the subdivision or type of improvements is likely to cause serious public health problems.

The attached conditions of approval are designed to ensure that best management practices are followed during demolition and construction of buildings to address potential public health impacts of the project. No serious public health problems are anticipated from the proposed development.

- G. That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. In this connection, the governing body may approve a map if it finds that alternate easements, for access or for use, will be provided, and that these will be substantially equivalent to ones previously acquired by the public. (This subsection shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision).

N/A

- H. That the design of the subdivision does not provide to the extent feasible, for future passive or natural heating or cooling opportunities in the subdivision.

Energy efficient techniques such as south facing fenestration has been incorporated into the site planning and design to take advantage of natural solar heating and cooling opportunities.

Section 17.102.320 Conditional Use Permit for waiver of certain requirements in Mini-lot Developments

A. Basic Provisions. Subject to the provisions of subsections B and C of this section, the maximum height and minimum yard, lot area, width, and frontage requirements otherwise applying to individual lots may be waived or modified within a mini-lot development, and floor area, parking, and other facilities may be located within said development without reference to lot lines, upon the granting of a conditional use permit pursuant to the conditional use permit procedure in Chapter 17.134 and upon determination:

1. That there is adequate provision for maintenance of the open space and other facilities within the development; and

The proposed mini-lot development also involves a private access easement that will be improved as a Shared Access Facility for vehicular ingress and egress and also serve as a utilities easement. A condition of approval has been added to this approval to require a maintenance agreement that ensures that adequate maintenance for all common areas is in place.

2. That the total development meets all the requirements that would apply to it if it were a single lot.

The proposed development complies with the density, setbacks, height limits, useable open space, off-street parking, and all other requirements that would apply if the site were developed as a single lot.

B. Zones in Which Requirements May Be Waived. A conditional use permit pursuant to subsection A of this section may be granted only in the S-1 or S-2 zone or in any residential or commercial zone other than RH zones or the RD-1 zone.

The subject site is zoned HBX-2 Housing and Business Mix Zone and therefore complies with above criterion.

C. Maximum Size for Which Requirements May Be Waived. A conditional use permit pursuant to subsection A of this section may be granted only if the total land area of the mini-lot development is less than sixty thousand (60,000) square feet.

The subject site is 9,975 square feet and therefore complies with the above criterion.

Section 17.102.090 Conditional Use Permit for Shared Access Facilities

A. Use Permit Required. A shared access facility shall be allowed only upon the granting of a conditional use permit pursuant to the conditional use permit procedure in Chapter 17.134.

The proposed application involves a Minor Conditional Use Permit pursuant to Section 17.134. See findings above.

B. Use Permit Criteria. A conditional use permit under this section may be granted only upon determination that the proposal conforms to the general use permit criteria set forth in the conditional use permit procedure in Chapter 17.134 and to all of the following additional use permit criteria:

1. Compliance with Guidelines. Each shared access facility proposal shall be in compliance with the City Planning Commission guidelines for development and evaluation of shared access facilities.

The proposed shared access facility has adequate width for maneuverability for both emergency and non-emergency vehicles and is therefore consistent with the guidelines for development and evaluation of shared access facilities.

2. Public Safety. The width of a shared access facility shall be adequate to ensure unimpeded emergency and nonemergency ingress and egress at all times. Additionally, the shared access facility shall conform to city standards for roadway layout and design.

The width of the proposed shared access facility ranges from 20 feet to 24 feet. Typically, a 20-foot travel width provides adequate emergency and nonemergency ingress and egress while a 21-foot width provide adequate maneuverability for turning. The relatively short length of the shared access facility also provides easy access to all units served. The proposed shared access facility conforms to city standards for private access easements.

3. Aesthetics. A shared access facility shall be designed to provide the environmentally superior alternative to other approaches for the development of the property and shall be designed to be visually compatible with its surroundings, as set forth in the City Planning Commission guidelines; necessary retaining walls shall not be of excessive height and shall not be visibly obtrusive, as such are defined in the City Planning Commission guidelines.

The proposed shared access facility is located at a relatively flat site and will not involve any retaining walls. The surface of the facility would be required to be finished with permeable decorative pavers for visual appeal as well as an environmentally superior alternative that will minimize stormwater run-off. Landscape strips shall be provided at appropriate areas to soften the edges of the easement.

4. On-Going Owner Responsibility. Applicants for a shared access facility shall submit, for approval, an agreement for access facility maintenance, parking restrictions, and landscape maintenance. Upon staff approval, the proposed agreement shall be recorded by the applicant within thirty (30) days with the Alameda County Recorder. In addition, applicants for a shared access facility shall provide documentation of continuing liability insurance coverage. Documentation of insurance coverage shall include the written undertaking of each insurer to give the city thirty (30) days' prior written notice of cancellation, termination, or material change of such insurance coverage.

As a condition of approval, the applicant is required to prepare and submit a maintenance agreement for the proposed development to the Planning Department for review and approval prior to issuance of a certificate of occupancy for the first unit.

5. Certification. Prior to construction, applicants for a shared access facility shall retain a California registered professional civil engineer to certify, upon completion, that the access facility was constructed in accordance with the approved plans and construction standards. This requirement may be modified or waived at the discretion of the Director of Public Works, based on the topography or

geotechnical considerations. An applicant may also be required to show assurance of performance bonding for grading and other associated improvements. In addition, prior to the installation of landscaping, an applicant shall retain a landscape architect or other qualified individual to certify, upon completion, that landscaping was installed in accordance with the approved landscape plan.

Staff has added a condition of approval to this report for the project to meet this criterion.

SECTION 17.136.050(a)

REGULAR DESIGN REVIEW FINDINGS:

1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures. **The proposed new development responds to the surrounding with a site plan that organizes the units in five main townhouse structures with served by a Shared Access Facility/Easement with landscaped yards. The design of each of the townhouses incorporates elements and materials that articulate the façades with recesses and projections to manage massing and minimize perceived bulk. The overall design relates well to the surrounding area in their setting, scale, bulk, height, materials and textures.**
2. That the proposed design will protect, preserve or enhance desirable neighborhood characteristics. **The proposed new condo units will bring more residents to revitalize the neighborhood. The attached standard conditions of approval are to ensure that all potential negative impacts have been reduced to less than significant.**
3. That the proposed design will be sensitive to the topography and landscape. **The proposed development is expected to involve minimal earthwork for foundations and other site improvements.**
4. That if situated on a hill, the design and massing of the proposed building relates to the grade of the hill. N/A
5. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable district plan or development control map which has been adopted by the City council. **The proposed project will be a new investment in the community and expected to attract more high-end buildings in the area. It conforms in all respects to the Housing and Business Mix Residential General Plan classification.**

CEQA Findings:

ENVIRONMENTAL DETERMINATION

In accordance with CEQA Guidelines Sections 15332 and 15183, and as set forth in the CEQA Checklist below, the proposed Project qualifies for an exemption because the following findings can be made:

FINDINGS

CEQA Findings

Based on an examination of the WOSP EIR, which fully and adequately analyzed and covered the potential environmental impacts associated with future projects in the West Oakland Specific Plan area, the Project meets the requirements for a Community Plan Exemption and a Qualified Infill Exemption, and no further review or analysis under CEQA is required.

In accordance with CEQA Guidelines Sections 15183 and 15332, and as set forth in the CEQA Checklist below, the proposed Project qualifies for an exemption because the following findings can be made:

- A. On a separate and independent basis, the project is also exempt under CEQA Guidelines Section 15183, projects consistent with a community plan, general plan or zoning. The proposed Project would not result in significant impacts that: 1) are peculiar to the project or project site; 2) were not previously identified as significant project level, cumulative, or offsite effects in the applicable Program EIR (the 1998 LUTE EIR, and for the housing components of the proposed project, the 2010 General Plan Housing Element Update EIR and 2014 Addendum, and the WOSP EIR); or 3) were previously identified as significant effects, but which as a result of substantial new information not known at the time the WOSP EIR was certified, would increase in severity above that described in the WOSP EIR. Therefore, the proposed project is exempt from further environmental review as being consistent with a Community Plan or Zoning in accordance with Public Resources Code Section 21083.3 and CEQA Guidelines Section 15183.
- B. The project has been found to be categorically exempt from the environmental review requirements of the California Environmental Quality Act (CEQA) under Section 15332 of the CEQA Guidelines (Class 32, "In-fill Development Projects") because the project consists of in-fill development within an urbanized area where there is no potential for the project to cause any significant environmental impacts. Below are the findings required for projects found exempt under Section 15332 and the reasons the proposed project meets these findings:
 - (a) **The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.**

Finding: The project is consistent with the general plan designation and all applicable general plan policies as described in Design Review Finding #5, above. The project is consistent with the regulations in the HBX-2 zone and other requirements in the Planning Code.

- (b) **The proposed development occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses.**

Finding: The project is located within the city limits of the city of Oakland in an urbanized area. The site is 9,975 square feet and less than 5 acres in size.

(c) The project site has no value as habitat for endangered, rare, or threatened species.

Finding: The project is located within a substantially urbanized area at a paved site used for surface parking. The site has no value as habitat for endangered, rare, or threatened species.

(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

Finding: The project involves 10 new residential units not anticipated to result in any significant effects relating to traffic, noise, air quality, or water quality for the following reasons.

The project will involve both construction noise and post-construction noise consistent with the typical noise associated with developments of this type in an urban location. Standard conditions of approval and uniformly applied development standards associated with construction noise and the City's Noise Ordinance will reduce noise impacts to less than significant levels. Implementation of the City's standard conditions of approval, which includes, but is not limited to, specific site design measures for post-construction stormwater pollution management, will reduce impacts to water quality to less than significant levels.

(e) The site can be adequately served by all required utilities and public services.

Finding: The project site is conveniently accessible to all required utilities (e.g., water, power, sanitary sewer facilities, and storm drain facilities) and all required public services (e.g., police and fire services).

- C. As a separate and independent basis, the project also satisfies CEQA Guidelines Section 15183 as the project is consistent with the general plan and zoning. Specifically, as a separate and independent basis from the other CEQA findings, pursuant to CEQA section 21083.3 and Guidelines section 15183, staff recommends that the Planning Commission find: (a) the project is consistent with Land Use and Transportation Element (LUTE) of the General Plan, for which an EIR was certified in March 1998; (b) feasible mitigation measures identified in the LUTE EIR were adopted and have been, or will be, undertaken; (c) the EIR evaluated impacts peculiar to the project and/or project site, as well as off-site and cumulative impacts; (d) uniformly applied development policies and/or standards (hereafter called "Standard Conditions of Approval") have previously been adopted and found to, that when applied to future projects, substantially mitigate impacts, and to the extent that no such findings were previously made, staff recommends that the City Planning Commission find and determine that the Standard Conditions of Approval substantially reduce environmental impacts; and (e) no substantial new information exists to show that the Standard Conditions of Approval will not substantially mitigate the project and cumulative impacts.

Each of the above findings provides a separate and independent basis for CEQA compliance.

FINDINGS

CONDITIONS OF APPROVAL

1. Approved Use

The project shall be constructed and operated in accordance with the authorized use as described in the approved application materials, Staff Report and the approved plans **dated May 11, 2018 and submitted on May 18, 2018**, as amended by the following conditions of approval and mitigation measures, if applicable (“Conditions of Approval” or “Conditions”).

2. Effective Date, Expiration, Extensions and Extinguishment

This Approval shall become effective immediately, unless the Approval is appealable, in which case the Approval shall become effective in ten (10) calendar days unless an appeal is filed. Unless a different termination date is prescribed, this Approval shall expire **two years** from the Approval date, or from the date of the final decision in the event of an appeal, unless within such period a complete building permit application has been filed with the Bureau of Building and diligently pursued towards completion, or the authorized activities have commenced in the case of a permit not involving construction or alteration. Upon written request and payment of appropriate fees submitted no later than the expiration date of this Approval, the Director of City Planning or designee may grant a one-year extension of this date, with additional extensions subject to approval by the approving body. Expiration of any necessary building permit or other construction-related permit for this project may invalidate this Approval if said Approval has also expired. If litigation is filed challenging this Approval, or its implementation, then the time period stated above for obtaining necessary permits for construction or alteration and/or commencement of authorized activities is automatically extended for the duration of the litigation.

3. Compliance with Other Requirements

The project applicant shall comply with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to those imposed by the City’s Bureau of Building, Fire Marshal, Department of Transportation, and Public Works Department. Compliance with other applicable requirements may require changes to the approved use and/or plans. These changes shall be processed in accordance with the procedures contained in Condition #4.

4. Minor and Major Changes

- a. Minor changes to the approved project, plans, Conditions, facilities, or use may be approved administratively by the Director of City Planning
- b. Major changes to the approved project, plans, Conditions, facilities, or use shall be reviewed by the Director of City Planning to determine whether such changes require submittal and approval of a revision to the Approval by the original approving body or a new independent permit/approval. Major revisions shall be reviewed in accordance with

the procedures required for the original permit/approval. A new independent permit/approval shall be reviewed in accordance with the procedures required for the new permit/approval.

5. Compliance with Conditions of Approval

- a. The project applicant and property owner, including successors, (collectively referred to hereafter as the “project applicant” or “applicant”) shall be responsible for compliance with all the Conditions of Approval and any recommendations contained in any submitted and approved technical report at his/her sole cost and expense, subject to review and approval by the City of Oakland.
- b. The City of Oakland reserves the right at any time during construction to require certification by a licensed professional at the project applicant’s expense that the as-built project conforms to all applicable requirements, including but not limited to, approved maximum heights and minimum setbacks. Failure to construct the project in accordance with the Approval may result in remedial reconstruction, permit revocation, permit modification, stop work, permit suspension, or other corrective action.
- c. Violation of any term, Condition, or project description relating to the Approval is unlawful, prohibited, and a violation of the Oakland Municipal Code. The City of Oakland reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the Approval or alter these Conditions if it is found that there is violation of any of the Conditions or the provisions of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions. The project applicant shall be responsible for paying fees in accordance with the City’s Master Fee Schedule for inspections conducted by the City or a City-designated third-party to investigate alleged violations of the Approval or Conditions.

6. Signed Copy of the Approval/Conditions

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times.

7. Blight/Nuisances

The project site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within sixty (60) days of approval, unless an earlier date is specified elsewhere.

8. Indemnification

d. To the maximum extent permitted by law, the project applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the

Oakland City Council, the Oakland Redevelopment Successor Agency, the Oakland City Planning Commission, and their respective agents, officers, employees, and volunteers (hereafter collectively called "City") from any liability, damages, claim, judgment, loss (direct or indirect), action, causes of action, or proceeding (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "Action") against the City to attack, set aside, void or annul this Approval or implementation of this Approval. The City may elect, in its sole discretion, to participate in the defense of said Action and the project applicant shall reimburse the City for its reasonable legal costs and attorneys' fees.

- e. Within ten (10) calendar days of the filing of any Action as specified in subsection (a) above, the project applicant shall execute a Joint Defense Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment, or invalidation of the Approval. Failure to timely execute the Letter of Agreement does not relieve the project applicant of any of the obligations contained in this Condition or other requirements or Conditions of Approval that may be imposed by the City.

9. Severability

The Approval would not have been granted but for the applicability and validity of each and every one of the specified Conditions, and if one or more of such Conditions is found to be invalid by a court of competent jurisdiction this Approval would not have been granted without requiring other valid Conditions consistent with achieving the same purpose and intent of such Approval.

10. Special Inspector/Inspections, Independent Technical Review, Project Coordination and Monitoring

The project applicant may be required to cover the full costs of independent third-party technical review and City monitoring and inspection, including without limitation, special inspector(s)/inspection(s) during times of extensive or specialized plan-check review or construction, and inspections of potential violations of the Conditions of Approval. The project applicant shall establish a deposit with Engineering Services and/or the Bureau of Building, if directed by the Director of Public Works, Building Official, Director of City Planning, Director of Transportation, or designee, prior to the issuance of a construction-related permit and on an ongoing as-needed basis.

11. Public Improvements

The project applicant shall obtain all necessary permits/approvals, such as encroachment permits, obstruction permits, curb/gutter/sidewalk permits, and public improvement ("p-job") permits from the City for work in the public right-of-way, including but not limited to, streets, curbs, gutters, sidewalks, utilities, and fire hydrants. Prior to any work in the public right-of-way, the applicant shall submit plans for review and approval by the Bureau of

Planning, the Bureau of Building, Engineering Services, Department of Transportation, and other City departments as required. Public improvements shall be designed and installed to the satisfaction of the City.

AESTHETICS

12. Trash and Blight Removal

Requirement: The project applicant and his/her successors shall maintain the property free of blight, as defined in chapter 8.24 of the Oakland Municipal Code. For nonresidential and multi-family residential projects, the project applicant shall install and maintain trash receptacles near public entryways as needed to provide sufficient capacity for building users.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

13. Graffiti Control

Requirement:

- f. During construction and operation of the project, the project applicant shall incorporate best management practices reasonably related to the control of graffiti and/or the mitigation of the impacts of graffiti. Such best management practices may include, without limitation:
 - i. Installation and maintenance of landscaping to discourage defacement of and/or protect likely graffiti-attracting surfaces.
 - ii. Installation and maintenance of lighting to protect likely graffiti-attracting surfaces.
 - iii. Use of paint with anti-graffiti coating.
 - iv. Incorporation of architectural or design elements or features to discourage graffiti defacement in accordance with the principles of Crime Prevention Through Environmental Design (CPTED).
 - v. Other practices approved by the City to deter, protect, or reduce the potential for graffiti defacement.
- g. The project applicant shall remove graffiti by appropriate means within seventy-two (72) hours. Appropriate means include the following:
 - i. Removal through scrubbing, washing, sanding, and/or scraping (or similar method) without damaging the surface and without discharging wash water or cleaning detergents into the City storm drain system.
 - ii. Covering with new paint to match the color of the surrounding surface.
 - iii. Replacing with new surfacing (with City permits if required).

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

14. Landscape Plan

h. Landscape Plan Required

- Requirement: The project applicant shall submit a final Landscape Plan for City review and approval that is consistent with the approved Landscape Plan. The Landscape Plan shall be included with the set of drawings submitted for the construction-related permit and shall comply with the landscape requirements of chapter 17.124 of the Planning Code. Proposed plants shall be predominantly drought-tolerant. Specification of any street trees shall comply with the Master Street Tree List and Tree Planting Guidelines (which can be viewed at <http://www2.oaklandnet.com/oakca1/groups/pwa/documents/report/oak042662.pdf> and <http://www2.oaklandnet.com/oakca1/groups/pwa/documents/form/oak025595.pdf>, respectively), and with any applicable streetscape plan.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: N/A

i. Landscape Installation

Requirement: The project applicant shall implement the approved Landscape Plan unless a bond, cash deposit, letter of credit, or other equivalent instrument acceptable to the Director of City Planning, is provided. The financial instrument shall equal the greater of \$2,500 or the estimated cost of implementing the Landscape Plan based on a licensed contractor's bid.

When Required: Prior to building permit final

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

j. Landscape Maintenance

Requirement: All required planting shall be permanently maintained in good growing condition and, whenever necessary, replaced with new plant materials to ensure continued compliance with applicable landscaping requirements. The property owner shall be responsible for maintaining planting in adjacent public rights-of-way. All required fences, walls, and irrigation systems shall be permanently maintained in good condition and, whenever necessary, repaired or replaced.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

15. Lighting

Requirement: Proposed new exterior lighting fixtures shall be adequately shielded to a point below the light bulb and reflector to prevent unnecessary glare onto adjacent properties.

When Required: Prior to building permit final

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

AIR QUALITY

16. Dust Controls – Construction Related

Requirement: The project applicant shall implement all of the following applicable dust control measures during construction of the project:

- a) Water all exposed surfaces of active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever feasible.
- b) Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e., the minimum required space between the top of the load and the top of the trailer).
- c) All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d) Limit vehicle speeds on unpaved roads to 15 miles per hour.
- e) All demolition activities (if any) shall be suspended when average wind speeds exceed 20 mph.
- f) All trucks and equipment, including tires, shall be washed off prior to leaving the site.
- g) Site accesses to a distance of 100 feet from the paved road shall be treated with a 6 to 12 inch compacted layer of wood chips, mulch, or gravel.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

17. Criteria Air Pollutant Controls - Construction Related

Requirement: The project applicant shall implement all of the following applicable basic control measures for criteria air pollutants during construction of the project as applicable:

- a) Idling times on all diesel-fueled commercial vehicles over 10,000 lbs. shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to two minutes (as required by the California airborne toxics

- control measure Title 13, Section 2485, of the California Code of Regulations). Clear signage to this effect shall be provided for construction workers at all access points.
- b) Idling times on all diesel-fueled off-road vehicles over 25 horsepower shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to two minutes and fleet operators must develop a written policy as required by Title 23, Section 2449, of the California Code of Regulations (“California Air Resources Board Off-Road Diesel Regulations”).
 - c) All construction equipment shall be maintained and properly tuned in accordance with the manufacturer’s specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. Equipment check documentation should be kept at the construction site and be available for review by the City and the Bay Area Air Quality District as needed.
 - d) Portable equipment shall be powered by grid electricity if available. If electricity is not available, propane or natural gas generators shall be used if feasible. Diesel engines shall only be used if grid electricity is not available and propane or natural gas generators cannot meet the electrical demand.
 - e) Low VOC (i.e., ROG) coatings shall be used that comply with BAAQMD Regulation 8, Rule 3: Architectural Coatings.
 - f) All equipment to be used on the construction site shall comply with the requirements of Title 13, Section 2449, of the California Code of Regulations (“California Air Resources Board Off-Road Diesel Regulations”) and upon request by the City (and the Air District if specifically requested), the project applicant shall provide written documentation that fleet requirements have been met.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

18. Exposure to Air Pollution (Toxic Air Contaminants)

k. Health Risk Reduction Measures

Requirement: The project applicant shall incorporate appropriate measures into the project design in order to reduce the potential health risk due to exposure to toxic air contaminants. The project applicant shall choose **one** of the following methods:

- i. The project applicant shall retain a qualified air quality consultant to prepare a Health Risk Assessment (HRA) in accordance with California Air Resources Board (CARB) and Office of Environmental Health and Hazard Assessment requirements to determine the health risk of exposure of project residents/occupants/users to air pollutants. The HRA shall be submitted to the City for review and approval. If the HRA concludes that the health risk is at or below acceptable levels, then health risk reduction measures are not required. If the HRA concludes that the health risk exceeds acceptable levels, health risk reduction measures shall be identified to reduce the health risk to acceptable

levels. Identified risk reduction measures shall be submitted to the City for review and approval and be included on the project drawings submitted for the construction-related permit or on other documentation submitted to the City.

- or -

- ii. The project applicant shall incorporate the following health risk reduction measures into the project. These features shall be submitted to the City for review and approval and be included on the project drawings submitted for the construction-related permit or on other documentation submitted to the City:
- Installation of air filtration to reduce cancer risks and Particulate Matter (PM) exposure for residents and other sensitive populations in the project that are in close proximity to sources of air pollution. Air filter devices shall be rated MERV-16 or higher. As part of implementing this measure, an ongoing maintenance plan for the building's HVAC air filtration system shall be required.
 - Where appropriate, install passive electrostatic filtering systems, especially those with low air velocities (i.e., 1 mph).
 - Phasing of residential developments when proposed within 500 feet of freeways such that homes nearest the freeway are built last, if feasible.
 - The project shall be designed to locate sensitive receptors as far away as feasible from the source(s) of air pollution. Operable windows, balconies, and building air intakes shall be located as far away from these sources as feasible. If near a distribution center, residents shall be located as far away as feasible from a loading dock or where trucks concentrate to deliver goods.
 - Sensitive receptors shall be located on the upper floors of buildings, if feasible.
 - Planting trees and/or vegetation between sensitive receptors and pollution source, if feasible. Trees that are best suited to trapping PM shall be planted, including one or more of the following: Pine (*Pinus nigra* var. *maritima*), Cypress (*X Cupressocyparis leylandii*), Hybrid poplar (*Populus deltoids X trichocarpa*), and Redwood (*Sequoia sempervirens*).
 - Sensitive receptors shall be located as far away from truck activity areas, such as loading docks and delivery areas, as feasible.
 - Existing and new diesel generators shall meet CARB's Tier 4 emission standards, if feasible.
 - Emissions from diesel trucks shall be reduced through implementing the following measures, if feasible:
 - Installing electrical hook-ups for diesel trucks at loading docks.
 - Requiring trucks to use Transportation Refrigeration Units (TRU) that meet Tier 4 emission standards.
 - Requiring truck-intensive projects to use advanced exhaust technology (e.g., hybrid) or alternative fuels.
 - Prohibiting trucks from idling for more than two minutes.

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- o Establishing truck routes to avoid sensitive receptors in the project. A truck route program, along with truck calming, parking, and delivery restrictions, shall be implemented.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

l. Maintenance of Health Risk Reduction Measures

Requirement: The project applicant shall maintain, repair, and/or replace installed health risk reduction measures, including but not limited to the HVAC system (if applicable), on an ongoing and as-needed basis. Prior to occupancy, the project applicant shall prepare and then distribute to the building manager/operator an operation and maintenance manual for the HVAC system and filter including the maintenance and replacement schedule for the filter.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

BIOLOGICAL RESOURCES

19. Tree Removal During Bird Breeding Season

Requirement: To the extent feasible, removal of any tree and/or other vegetation suitable for nesting of birds shall not occur during the bird breeding season of February 1 to August 15 (or during December 15 to August 15 for trees located in or near marsh, wetland, or aquatic habitats). If tree removal must occur during the bird breeding season, all trees to be removed shall be surveyed by a qualified biologist to verify the presence or absence of nesting raptors or other birds. Pre-removal surveys shall be conducted within 15 days prior to the start of work and shall be submitted to the City for review and approval. If the survey indicates the potential presence of nesting raptors or other birds, the biologist shall determine an appropriately sized buffer around the nest in which no work will be allowed until the young have successfully fledged. The size of the nest buffer will be determined by the biologist in consultation with the California Department of Fish and Wildlife, and will be based to a large extent on the nesting species and its sensitivity to disturbance. In general, buffer sizes of 200 feet for raptors and 50 feet for other birds should suffice to prevent disturbance to birds nesting in the urban environment, but these buffers may be increased or decreased, as appropriate, depending on the bird species and the level of disturbance anticipated near the nest.

When Required: Prior to removal of trees

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

20. **Tree Permit**

m. Tree Permit Required

Requirement: Pursuant to the City's Tree Protection Ordinance (OMC chapter 12.36), the project applicant shall obtain a tree permit and abide by the conditions of that permit.

When Required: Prior to approval of construction-related permit

Initial Approval: Permit approval by Public Works Department, Tree Division; evidence of approval submitted to Bureau of Building

Monitoring/Inspection: Bureau of Building

n. Tree Protection During Construction

Requirement: Adequate protection shall be provided during the construction period for any trees which are to remain standing, including the following, plus any recommendations of an arborist:

- i. Before the start of any clearing, excavation, construction, or other work on the site, every protected tree deemed to be potentially endangered by said site work shall be securely fenced off at a distance from the base of the tree to be determined by the project's consulting arborist. Such fences shall remain in place for duration of all such work. All trees to be removed shall be clearly marked. A scheme shall be established for the removal and disposal of logs, brush, earth and other debris which will avoid injury to any protected tree.
- ii. Where proposed development or other site work is to encroach upon the protected perimeter of any protected tree, special measures shall be incorporated to allow the roots to breathe and obtain water and nutrients. Any excavation, cutting, filling, or compaction of the existing ground surface within the protected perimeter shall be minimized. No change in existing ground level shall occur within a distance to be determined by the project's consulting arborist from the base of any protected tree at any time. No burning or use of equipment with an open flame shall occur near or within the protected perimeter of any protected tree.
- iii. No storage or dumping of oil, gas, chemicals, or other substances that may be harmful to trees shall occur within the distance to be determined by the project's consulting arborist from the base of any protected trees, or any other location on the site from which such substances might enter the protected perimeter. No heavy construction equipment or construction materials shall be operated or stored within a distance from the base of any protected trees to be determined by the project's consulting arborist. Wires, ropes, or other devices shall not be attached to any protected tree, except as needed for support of the tree. No sign, other than a tag showing the botanical classification, shall be attached to any protected tree.
- iv. Periodically during construction, the leaves of protected trees shall be thoroughly sprayed with water to prevent buildup of dust and other pollution that would inhibit leaf transpiration.

- v. If any damage to a protected tree should occur during or as a result of work on the site, the project applicant shall immediately notify the Public Works Department and the project's consulting arborist shall make a recommendation to the City Tree Reviewer as to whether the damaged tree can be preserved. If, in the professional opinion of the Tree Reviewer, such tree cannot be preserved in a healthy state, the Tree Reviewer shall require replacement of any tree removed with another tree or trees on the same site deemed adequate by the Tree Reviewer to compensate for the loss of the tree that is removed.
- vi. All debris created as a result of any tree removal work shall be removed by the project applicant from the property within two weeks of debris creation, and such debris shall be properly disposed of by the project applicant in accordance with all applicable laws, ordinances, and regulations.

When Required: During construction

Initial Approval: Public Works Department, Tree Division

Monitoring/Inspection: Bureau of Building

o. Tree Replacement Plantings

Requirement: Replacement plantings shall be required for tree removals for the purposes of erosion control, groundwater replenishment, visual screening, wildlife habitat, and preventing excessive loss of shade, in accordance with the following criteria:

- i. No tree replacement shall be required for the removal of nonnative species, for the removal of trees which is required for the benefit of remaining trees, or where insufficient planting area exists for a mature tree of the species being considered.
- ii. Replacement tree species shall consist of *Sequoia sempervirens* (Coast Redwood), *Quercus agrifolia* (Coast Live Oak), *Arbutus menziesii* (Madrone), *Aesculus californica* (California Buckeye), *Umbellularia californica* (California Bay Laurel), or other tree species acceptable to the Tree Division.
- iii. Replacement trees shall be at least twenty-four (24) inch box size, unless a smaller size is recommended by the arborist, except that three fifteen (15) gallon size trees may be substituted for each twenty-four (24) inch box size tree where appropriate.
- iv. Minimum planting areas must be available on site as follows:
 - For *Sequoia sempervirens*, three hundred fifteen (315) square feet per tree;
 - For other species listed, seven hundred (700) square feet per tree.
- v. In the event that replacement trees are required but cannot be planted due to site constraints, an in lieu fee in accordance with the City's Master Fee Schedule may be substituted for required replacement plantings, with all such revenues applied toward tree planting in city parks, streets and medians.
- vi. The project applicant shall install the plantings and maintain the plantings until established. The Tree Reviewer of the Tree Division of the Public Works Department may require a landscape plan showing the replacement plantings and

the method of irrigation. Any replacement plantings which fail to become established within one year of planting shall be replanted at the project applicant's expense.

When Required: Prior to building permit final

Initial Approval: Public Works Department, Tree Division

Monitoring/Inspection: Bureau of Building

CULTURAL RESOURCES

21. Archaeological and Paleontological Resources – Discovery During Construction

Requirement: Pursuant to CEQA Guidelines section 15064.5(f), in the event that any historic or prehistoric subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant shall notify the City and consult with a qualified archaeologist or paleontologist, as applicable, to assess the significance of the find. In the case of discovery of paleontological resources, the assessment shall be done in accordance with the Society of Vertebrate Paleontology standards. If any find is determined to be significant, appropriate avoidance measures recommended by the consultant and approved by the City must be followed unless avoidance is determined unnecessary or infeasible by the City. Feasibility of avoidance shall be determined with consideration of factors such as the nature of the find, project design, costs, and other considerations. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery, excavation) shall be instituted. Work may proceed on other parts of the project site while measures for the cultural resources are implemented.

In the event of data recovery of archaeological resources, the project applicant shall submit an Archaeological Research Design and Treatment Plan (ARDTP) prepared by a qualified archaeologist for review and approval by the City. The ARDTP is required to identify how the proposed data recovery program would preserve the significant information the archaeological resource is expected to contain. The ARDTP shall identify the scientific/historic research questions applicable to the expected resource, the data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. The ARDTP shall include the analysis and specify the curation and storage methods. Data recovery, in general, shall be limited to the portions of the archaeological resource that could be impacted by the proposed project. Destructive data recovery methods shall not be applied to portions of the archaeological resources if nondestructive methods are practicable. Because the intent of the ARDTP is to save as much of the archaeological resource as possible, including moving the resource, if feasible, preparation and implementation of the ARDTP would reduce the potential adverse impact to less than significant. The project applicant shall implement the ARDTP at his/her expense.

In the event of excavation of paleontological resources, the project applicant shall submit an excavation plan prepared by a qualified paleontologist to the City for review and approval. All significant cultural materials recovered shall be subject to scientific analysis,

professional museum curation, and/or a report prepared by a qualified paleontologist, as appropriate, according to current professional standards and at the expense of the project applicant.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

22. Human Remains – Discovery During Construction

Requirement: Pursuant to CEQA Guidelines section 15064.5(e)(1), in the event that human skeletal remains are uncovered at the project site during construction activities, all work shall immediately halt and the project applicant shall notify the City and the Alameda County Coroner. If the County Coroner determines that an investigation of the cause of death is required or that the remains are Native American, all work shall cease within 50 feet of the remains until appropriate arrangements are made. In the event that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of section 7050.5 of the California Health and Safety Code. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance, and avoidance measures (if applicable) shall be completed expeditiously and at the expense of the project applicant.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

GEOLOGY AND SOILS

23. Construction-Related Permit(s)

Requirement: The project applicant shall obtain all required construction-related permits/approvals from the City. The project shall comply with all standards, requirements and conditions contained in construction-related codes, including but not limited to the Oakland Building Code and the Oakland Grading Regulations, to ensure structural integrity and safe construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

24. Soils Report

Requirement: The project applicant shall submit a soils report prepared by a registered geotechnical engineer for City review and approval. The soils report shall contain, at a

minimum, field test results and observations regarding the nature, distribution and strength of existing soils, and recommendations for appropriate grading practices and project design. The project applicant shall implement the recommendations contained in the approved report during project design and construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

25. Seismic Hazards Zone (Landslide/Liquefaction)

Requirement: The project applicant shall submit a site-specific geotechnical report, consistent with California Geological Survey Special Publication 117 (as amended), prepared by a registered geotechnical engineer for City review and approval containing at a minimum a description of the geological and geotechnical conditions at the site, an evaluation of site-specific seismic hazards based on geological and geotechnical conditions, and recommended measures to reduce potential impacts related to liquefaction and/or slope stability hazards. The project applicant shall implement the recommendations contained in the approved report during project design and construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

HAZARDS AND HAZARDOUS MATERIALS

26. Hazardous Materials Related to Construction

Requirement: The project applicant shall ensure that Best Management Practices (BMPs) are implemented by the contractor during construction to minimize potential negative effects on groundwater, soils, and human health. These shall include, at a minimum, the following:

- a. Follow manufacture's recommendations for use, storage, and disposal of chemical products used in construction;
- b. Avoid overtopping construction equipment fuel gas tanks;
- c. During routine maintenance of construction equipment, properly contain and remove grease and oils;
- d. Properly dispose of discarded containers of fuels and other chemicals;
- e. Implement lead-safe work practices and comply with all local, regional, state, and federal requirements concerning lead (for more information refer to the Alameda County Lead Poisoning Prevention Program); and
- f. If soil, groundwater, or other environmental medium with suspected contamination is encountered unexpectedly during construction activities (e.g., identified by odor or visual staining, or if any underground storage tanks, abandoned drums or other

hazardous materials or wastes are encountered), the project applicant shall cease work in the vicinity of the suspect material, the area shall be secured as necessary, and the applicant shall take all appropriate measures to protect human health and the environment. Appropriate measures shall include notifying the City and applicable regulatory agency(ies) and implementation of the actions described in the City's Standard Conditions of Approval, as necessary, to identify the nature and extent of contamination. Work shall not resume in the area(s) affected until the measures have been implemented under the oversight of the City or regulatory agency, as appropriate.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

HYDROLOGY AND WATER QUALITY

27. Erosion and Sedimentation Control Measures for Construction

Requirement: The project applicant shall implement Best Management Practices (BMPs) to reduce erosion, sedimentation, and water quality impacts during construction to the maximum extent practicable. At a minimum, the project applicant shall provide filter materials deemed acceptable to the City at nearby catch basins to prevent any debris and dirt from flowing into the City's storm drain system and creeks.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

28. Erosion and Sedimentation Control Plan for Construction

p. Erosion and Sedimentation Control Plan Required

Requirement: The project applicant shall submit an Erosion and Sedimentation Control Plan to the City for review and approval. The Erosion and Sedimentation Control Plan shall include all necessary measures to be taken to prevent excessive stormwater runoff or carrying by stormwater runoff of solid materials on to lands of adjacent property owners, public streets, or to creeks as a result of conditions created by grading and/or construction operations. The Plan shall include, but not be limited to, such measures as short-term erosion control planting, waterproof slope covering, check dams, interceptor ditches, benches, storm drains, dissipation structures, diversion dikes, retarding berms and barriers, devices to trap, store and filter out sediment, and stormwater retention basins. Off-site work by the project applicant may be necessary. The project applicant shall obtain permission or easements necessary for off-site work. There shall be a clear notation that the plan is subject to changes as changing conditions occur. Calculations of anticipated stormwater runoff and sediment volumes shall be included, if required by the City. The Plan shall specify that, after construction is complete, the project applicant

shall ensure that the storm drain system shall be inspected and that the project applicant shall clear the system of any debris or sediment.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

q. *Erosion and Sedimentation Control During Construction*

Requirement: The project applicant shall implement the approved Erosion and Sedimentation Control Plan. No grading shall occur during the wet weather season (October 15 through April 15) unless specifically authorized in writing by the Bureau of Building.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

29. NPDES C.3 Stormwater Requirements for Regulated Projects

r. *Post-Construction Stormwater Management Plan Required*

Requirement: The project applicant shall comply with the requirements of Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES). The project applicant shall submit a Post-Construction Stormwater Management Plan to the City for review and approval with the project drawings submitted for site improvements, and shall implement the approved Plan during construction. The Post-Construction Stormwater Management Plan shall include and identify the following:

- i. Location and size of new and replaced impervious surface;
- ii. Directional surface flow of stormwater runoff;
- iii. Location of proposed on-site storm drain lines;
- iv. Site design measures to reduce the amount of impervious surface area;
- v. Source control measures to limit stormwater pollution;
- vi. Stormwater treatment measures to remove pollutants from stormwater runoff, including the method used to hydraulically size the treatment measures; and
- vii. Hydromodification management measures, if required by Provision C.3, so that post-project stormwater runoff flow and duration match pre-project runoff.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

s. *Maintenance Agreement Required*

Requirement: The project applicant shall enter into a maintenance agreement with the City, based on the Standard City of Oakland Stormwater Treatment Measures

Maintenance Agreement, in accordance with Provision C.3, which provides, in part, for the following:

- i. The project applicant accepting responsibility for the adequate installation/construction, operation, maintenance, inspection, and reporting of any on-site stormwater treatment measures being incorporated into the project until the responsibility is legally transferred to another entity; and
- ii. Legal access to the on-site stormwater treatment measures for representatives of the City, the local vector control district, and staff of the Regional Water Quality Control Board, San Francisco Region, for the purpose of verifying the implementation, operation, and maintenance of the on-site stormwater treatment measures and to take corrective action if necessary.

The maintenance agreement shall be recorded at the County Recorder's Office at the applicant's expense.

When Required: Prior to building permit final

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

30. NPDES C.3 Stormwater Requirements for Small Projects

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant shall incorporate one or more of the following site design measures into the project:

- a. Direct roof runoff into cisterns or rain barrels for reuse;
- b. Direct roof runoff onto vegetated areas;
- c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas;
- d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas;
- e. Construct sidewalks, walkways, and/or patios with permeable surfaces; or
- f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces.

The project drawings submitted for construction-related permits shall include the proposed site design measure(s) and the approved measure(s) shall be installed during construction. The design and installation of the measure(s) shall comply with all applicable City requirements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

31. Structures in a Flood Zone

Requirement: The project shall be designed to ensure that new structures within a 100-year flood zone do not interfere with the flow of water or increase flooding. The project

applicant shall submit plans and hydrological calculations for City review and approval with the construction-related drawings that show finished site grades and floor elevations elevated above the Base Flood Elevation (BFE).

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

NOISE

32. Construction Days/Hours

Requirement: The project applicant shall comply with the following restrictions concerning construction days and hours:

- a. Construction activities are limited to between 7:00 a.m. and 7:00 p.m. Monday through Friday, except that pier drilling and/or other extreme noise generating activities greater than 90 dBA shall be limited to between 8:00 a.m. and 4:00 p.m.
- b. Construction activities are limited to between 9:00 a.m. and 5:00 p.m. on Saturday. In residential zones and within 300 feet of a residential zone, construction activities are allowed from 9:00 a.m. to 5:00 p.m. only within the interior of the building with the doors and windows closed. No pier drilling or other extreme noise generating activities greater than 90 dBA are allowed on Saturday.
- c. No construction is allowed on Sunday or federal holidays.

Construction activities include, but are not limited to, truck idling, moving equipment (including trucks, elevators, etc.) or materials, deliveries, and construction meetings held on-site in a non-enclosed area.

Any construction activity proposed outside of the above days and hours for special activities (such as concrete pouring which may require more continuous amounts of time) shall be evaluated on a case-by-case basis by the City, with criteria including the urgency/emergency nature of the work, the proximity of residential or other sensitive uses, and a consideration of nearby residents'/occupants' preferences. The project applicant shall notify property owners and occupants located within 300 feet at least 14 calendar days prior to construction activity proposed outside of the above days/hours. When submitting a request to the City to allow construction activity outside of the above days/hours, the project applicant shall submit information concerning the type and duration of proposed construction activity and the draft public notice for City review and approval prior to distribution of the public notice.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

33. Construction Noise

Requirement: The project applicant shall implement noise reduction measures to reduce noise impacts due to construction. Noise reduction measures include, but are not limited to, the following:

- a. Equipment and trucks used for project construction shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures and acoustically-attenuating shields or shrouds) wherever feasible.
- b. Except as provided herein, impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for project construction shall be hydraulically or electrically powered to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler can lower noise levels from the exhaust by up to about 10 dBA. External jackets on the tools themselves shall be used, if such jackets are commercially available, and this could achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever such procedures are available and consistent with construction procedures.
- c. Applicant shall use temporary power poles instead of generators where feasible.
- d. Stationary noise sources shall be located as far from adjacent properties as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or use other measures as determined by the City to provide equivalent noise reduction.
- e. The noisiest phases of construction shall be limited to less than 10 days at a time. Exceptions may be allowed if the City determines an extension is necessary and all available noise reduction controls are implemented.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

34. Extreme Construction Noise***t. Construction Noise Management Plan Required***

Requirement: Prior to any extreme noise generating construction activities (e.g., pier drilling, pile driving and other activities generating greater than 90dBA), the project applicant shall submit a Construction Noise Management Plan prepared by a qualified acoustical consultant for City review and approval that contains a set of site-specific noise attenuation measures to further reduce construction impacts associated with extreme noise generating activities. The project applicant shall implement the approved Plan during construction. Potential attenuation measures include, but are not limited to, the following:

- i. Erect temporary plywood noise barriers around the construction site, particularly along on sites adjacent to residential buildings;

- ii. Implement “quiet” pile driving technology (such as pre-drilling of piles, the use of more than one pile driver to shorten the total pile driving duration), where feasible, in consideration of geotechnical and structural requirements and conditions;
- iii. Utilize noise control blankets on the building structure as the building is erected to reduce noise emission from the site;
- iv. Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings by the use of sound blankets for example and implement such measure if such measures are feasible and would noticeably reduce noise impacts; and
- v. Monitor the effectiveness of noise attenuation measures by taking noise measurements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

u. Public Notification Required

Requirement: The project applicant shall notify property owners and occupants located within 300 feet of the construction activities at least 14 calendar days prior to commencing extreme noise generating activities. Prior to providing the notice, the project applicant shall submit to the City for review and approval the proposed type and duration of extreme noise generating activities and the proposed public notice. The public notice shall provide the estimated start and end dates of the extreme noise generating activities and describe noise attenuation measures to be implemented.

When Required: During construction

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

35. Operational Noise

Requirement: Noise levels from the project site after completion of the project (i.e., during project operation) shall comply with the performance standards of chapter 17.120 of the Oakland Planning Code and chapter 8.18 of the Oakland Municipal Code. If noise levels exceed these standards, the activity causing the noise shall be abated until appropriate noise reduction measures have been installed and compliance verified by the City.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

36. Vibration Impacts on Adjacent Historic Structures or Vibration-Sensitive Activities

Requirement: The project applicant shall submit a Vibration Analysis prepared by an acoustical and/or structural engineer or other appropriate qualified professional for City review and approval that establishes pre-construction baseline conditions and threshold levels of vibration that could damage the structure and/or substantially interfere with activities located at adjacent Victorian buildings **3241 and 3255 Hollis Street**. The Vibration Analysis shall identify design means and methods of construction that shall be utilized in order to not exceed the thresholds. The applicant shall implement the recommendations during construction.

When Required: Prior to construction

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

37. Affordable Housing Impact Fee

Requirement: The project applicant shall comply with the requirements of the City of Oakland Affordable Housing Impact Fee Ordinance (chapter 15.72 of the Oakland Municipal Code).

When Required: Prior to issuance of building permit; subsequent milestones pursuant to ordinance

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

PUBLIC SERVICES

38. Capital Improvements Impact Fee

Requirement: The project applicant shall comply with the requirements of the City of Oakland Capital Improvements Fee Ordinance (chapter 15.74 of the Oakland Municipal Code).

When Required: Prior to issuance of building permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

TRANSPORTATION/TRAFFIC

39. Construction Activity in the Public Right-of-Way

v. *Obstruction Permit Required*

Requirement: The project applicant shall obtain an obstruction permit from the City prior to placing any temporary construction-related obstruction in the public right-of-way, including City streets, sidewalks, bicycle facilities, and bus stops.

When Required: Prior to approval of construction-related permit

Initial Approval: Department of Transportation

Monitoring/Inspection: Department of Transportation

w. **Traffic Control Plan Required**

Requirement: In the event of obstructions to vehicle or bicycle travel lanes, bus stops, or sidewalks, the project applicant shall submit a Traffic Control Plan to the City for review and approval prior to obtaining an obstruction permit. The project applicant shall submit evidence of City approval of the Traffic Control Plan with the application for an obstruction permit. The Traffic Control Plan shall contain a set of comprehensive traffic control measures for auto, transit, bicycle, and pedestrian accommodations (or detours, if accommodations are not feasible), including detour signs if required, lane closure procedures, signs, cones for drivers, and designated construction access routes. The Traffic Control Plan shall be in conformance with the City's Supplemental Design Guidance for Accommodating Pedestrians, Bicyclists, and Bus Facilities in Construction Zones. The project applicant shall implement the approved Plan during construction.

Initial Approval: Department of Transportation

Monitoring/Inspection: Department of Transportation

x. **Repair of City Streets**

Requirement: The project applicant shall repair any damage to the public right-of way, including streets and sidewalks, caused by project construction at his/her expense within one week of the occurrence of the damage (or excessive wear), unless further damage/excessive wear may continue; in such case, repair shall occur prior to approval of the final inspection of the construction-related permit. All damage that is a threat to public health or safety shall be repaired immediately.

When Required: Prior to building permit final

Initial Approval: N/A

Monitoring/Inspection: Department of Transportation

40. **Bicycle Parking**

Requirement: The project applicant shall comply with the City of Oakland Bicycle Parking Requirements (chapter 17.118 of the Oakland Planning Code). The project drawings submitted for construction-related permits shall demonstrate compliance with the requirements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

41. Transportation Improvements

Requirement: The project applicant shall implement the recommended on- and off-site transportation-related improvements contained within the Transportation Impact Review for the project (e.g., signal timing adjustments, restriping, signalization, traffic control devices, roadway reconfigurations, transportation demand management measures, and transit, pedestrian, and bicyclist amenities). The project applicant is responsible for funding and installing the improvements, and shall obtain all necessary permits and approvals from the City and/or other applicable regulatory agencies such as, but not limited to, Caltrans (for improvements related to Caltrans facilities) and the California Public Utilities Commission (for improvements related to railroad crossings), prior to installing the improvements. To implement this measure for intersection modifications, the project applicant shall submit Plans, Specifications, and Estimates (PS&E) to the City for review and approval. All elements shall be designed to applicable City standards in effect at the time of construction and all new or upgraded signals shall include these enhancements as required by the City. All other facilities supporting vehicle travel and alternative modes through the intersection shall be brought up to both City standards and ADA standards (according to Federal and State Access Board guidelines) at the time of construction. Current City Standards call for, among other items, the elements listed below:

- a. 2070L Type Controller with cabinet accessory
- b. GPS communication (clock)
- c. Accessible pedestrian crosswalks according to Federal and State Access Board guidelines with signals (audible and tactile)
- d. Countdown pedestrian head module switch out
- e. City Standard ADA wheelchair ramps
- f. Video detection on existing (or new, if required)
- g. Mast arm poles, full activation (where applicable)
- h. Polara Push buttons (full activation)
- i. Bicycle detection (full activation)
- j. Pull boxes
- k. Signal interconnect and communication with trenching (where applicable), or through existing conduit (where applicable), 600 feet maximum
- l. Conduit replacement contingency
- m. Fiber switch
- n. PTZ camera (where applicable)
- o. Transit Signal Priority (TSP) equipment consistent with other signals along corridor
- p. Signal timing plans for the signals in the coordination group
- q. Bi-directional curb ramps (where feasible, and if project is on a street corner)
- r. Upgrade ramps on receiving curb (where feasible, and if project is on a street corner)

When Required: Prior to building permit final or as otherwise specified

Initial Approval: Bureau of Building; Department of Transportation

Monitoring/Inspection: Bureau of Building

42. Transportation Impact Fee

Requirement: The project applicant shall comply with the requirements of the City of Oakland Transportation Impact Fee Ordinance (chapter 15.74 of the Oakland Municipal Code).

When Required: Prior to issuance of building permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

43. Plug-In Electric Vehicle (PEV) Charging Infrastructure

a. PEV-Ready Parking Spaces

Requirement: The applicant shall submit, for review and approval of the Building Official and the Zoning Manager, plans that show the location of parking spaces equipped with full electrical circuits designated for future PEV charging (i.e. "PEV-Ready") per the requirements of Chapter 15.04 of the Oakland Municipal Code. Building electrical plans shall indicate sufficient electrical capacity to supply the required PEV-Ready parking spaces.

When Required: Prior to Issuance of Building Permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

UTILITY AND SERVICE SYSTEMS

44. Construction and Demolition Waste Reduction and Recycling

Requirement: The project applicant shall comply with the City of Oakland Construction and Demolition Waste Reduction and Recycling Ordinance (chapter 15.34 of the Oakland Municipal Code) by submitting a Construction and Demolition Waste Reduction and Recycling Plan (WRRP) for City review and approval, and shall implement the approved WRRP. Projects subject to these requirements include all new construction, renovations/alterations/modifications with construction values of \$50,000 or more (except R-3 type construction), and all demolition (including soft demolition) except demolition of type R-3 construction. The WRRP must specify the methods by which the project will divert construction and demolition debris waste from landfill disposal in accordance with current City requirements. The WRRP may be submitted electronically at www.greenhalosystems.com or manually at the City's Green Building Resource Center. Current standards, FAQs, and forms are available on the City's website and in the Green Building Resource Center.

When Required: Prior to approval of construction-related permit

Initial Approval: Public Works Department, Environmental Services Division

Monitoring/Inspection: Public Works Department, Environmental Services Division

45. Underground Utilities

Requirement: The project applicant shall place underground all new utilities serving the project and under the control of the project applicant and the City, including all new gas, electric, cable, and telephone facilities, fire alarm conduits, street light wiring, and other wiring, conduits, and similar facilities. The new facilities shall be placed underground along the project's street frontage and from the project structures to the point of service. Utilities under the control of other agencies, such as PG&E, shall be placed underground if feasible. All utilities shall be installed in accordance with standard specifications of the serving utilities.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

46. Recycling Collection and Storage Space

Requirement: The project applicant shall comply with the City of Oakland Recycling Space Allocation Ordinance (chapter 17.118 of the Oakland Planning Code). The project drawings submitted for construction-related permits shall contain recycling collection and storage areas in compliance with the Ordinance. For residential projects, at least two (2) cubic feet of storage and collection space per residential unit is required, with a minimum of ten (10) cubic feet. For nonresidential projects, at least two (2) cubic feet of storage and collection space per 1,000 square feet of building floor area is required, with a minimum of ten (10) cubic feet.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

47. Green Building Requirements

b. Compliance with Green Building Requirements During Plan-Check

Requirement: The project applicant shall comply with the requirements of the California Green Building Standards (CALGreen) mandatory measures and the applicable requirements of the City of Oakland Green Building Ordinance (chapter 18.02 of the Oakland Municipal Code).

- i. The following information shall be submitted to the City for review and approval with the application for a building permit:
 - Documentation showing compliance with Title 24 of the current version of the California Building Energy Efficiency Standards.

- Completed copy of the final green building checklist approved during the review of the Planning and Zoning permit.
 - Copy of the Unreasonable Hardship Exemption, if granted, during the review of the Planning and Zoning permit.
 - Permit plans that show, in general notes, detailed design drawings, and specifications as necessary, compliance with the items listed in subsection (ii) below.
 - Copy of the signed statement by the Green Building Certifier approved during the review of the Planning and Zoning permit that the project complied with the requirements of the Green Building Ordinance.
 - Signed statement by the Green Building Certifier that the project still complies with the requirements of the Green Building Ordinance, unless an Unreasonable Hardship Exemption was granted during the review of the Planning and Zoning permit.
 - Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.
- ii. The set of plans in subsection (i) shall demonstrate compliance with the following:
- CALGreen mandatory measures.
 - **53 Points** per the appropriate checklist approved during the Planning entitlement process.
 - All green building points identified on the checklist approved during review of the Planning and Zoning permit, unless a Request for Revision Plan-check application is submitted and approved by the Bureau of Planning that shows the previously approved points that will be eliminated or substituted.
 - The required green building point minimums in the appropriate credit categories.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

c. *Compliance with Green Building Requirements During Construction*

Requirement: The project applicant shall comply with the applicable requirements of CALGreen and the Oakland Green Building Ordinance during construction of the project.

The following information shall be submitted to the City for review and approval:

- i. Completed copies of the green building checklists approved during the review of the Planning and Zoning permit and during the review of the building permit.
- ii. Signed statement(s) by the Green Building Certifier during all relevant phases of construction that the project complies with the requirements of the Green Building Ordinance.

- iii. Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

d. *Compliance with Green Building Requirements After Construction*

Requirement: Prior to the finaling the Building Permit, the Green Building Certifier shall submit the appropriate documentation to City staff and attain the minimum required point level.

When Required: Prior to Final Approval

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

48. Recycled Water

Requirement: Pursuant to section 16.08.030 of the Oakland Municipal Code, the project applicant shall provide for the use of recycled water in the project for landscape irrigation purposes unless the City determines that there is a higher and better use for the recycled water, the use of recycled water is not economically justified for the project, or the use of recycled water is not financially or technically feasible for the project. The project applicant shall contact the New Business Office of the East Bay Municipal Utility District (EBMUD) for a recycled water feasibility assessment by the Office of Water Recycling. If recycled water is to be provided in the project, the project drawings submitted for construction-related permits shall include the proposed recycled water system and the project applicant shall install the recycled water system during construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

49. Water Efficient Landscape Ordinance (WELo)

Requirement: The project applicant shall comply with California's Water Efficient Landscape Ordinance (WELo) in order to reduce landscape water usage. For any landscape project with an aggregate (total noncontiguous) landscape area equal to 2,500 sq. ft. or less. The project applicant may implement either the Prescriptive Measures or the Performance Measures, of, and in accordance with the California's Model Water Efficient Landscape Ordinance. For any landscape project with an aggregate (total noncontiguous) landscape area over 2,500 sq. ft., the project applicant shall implement the Performance Measures in accordance with the WELo.

Prescriptive Measures: Prior to construction, the project applicant shall submit documentation showing compliance with Appendix D of California's Model Water Efficient Landscape Ordinance (see website below starting on page 23):

<http://www.water.ca.gov/wateruseefficiency/landscapeordinance/docs/Title%2023%20extract%20-%20Official%20CCR%20pages.pdf>

Performance Measures: Prior to construction, the project applicant shall prepare and submit a Landscape Documentation Package for review and approval, which includes the following

- a. Project Information:
 - i. Date,
 - ii. Applicant and property owner name,
 - iii. Project address,
 - iv. Total landscape area,
 - v. Project type (new, rehabilitated, cemetery, or home owner installed),
 - vi. Water supply type and water purveyor,
 - vii. Checklist of documents in the package, and
 - viii. Applicant signature and date with the statement: "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package."
- b. Water Efficient Landscape Worksheet
 - i. Hydrozone Information Table
 - ii. Water Budget Calculations with Maximum Applied Water Allowance (MAWA) and Estimated Total Water Use
- c. Soil Management Report
- d. Landscape Design Plan
- e. Irrigation Design Plan, and
- f. Grading Plan

Upon installation of the landscaping and irrigation systems, the Project applicant shall submit a Certificate of Completion and landscape and irrigation maintenance schedule for review and approval by the City. The Certificate of Compliance shall also be submitted to the local water purveyor and property owner or his or her designee.

For the specific requirements within the Water Efficient Landscape Worksheet, Soil Management Report, Landscape Design Plan, Irrigation Design Plan and Grading Plan, see the link below.

<http://www.water.ca.gov/wateruseefficiency/landscapeordinance/docs/Title%2023%20extract%20-%20Official%20CCR%20pages.pdf>

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

50. Fence Design

The applicant shall revise the design of the proposed front yard fence to provide 60% minimum transparency.

When Required: Prior to application for a building permit

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

51. Tentative Parcel Map

In order for the proposed project to be completed as condominiums, the project applicant shall apply and receive approval for a Final Parcel Map with the City of Oakland Planning and Building Departments.

When Required: Prior to approval of issuance of certificate of occupancy

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

52. Certification of Parcel Map

A Parcel Map may be certified by the City Engineer at the expiration of the ten-day appeal period from the date of this approval.

When Required: Ongoing

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

53. Submittal of Final Map and Final Map Requirements

A Final Map shall be submitted to the Building Services Department, within 2 years of the approval of this permit. The Final Map shall include: all easements for right-of-way provided for public services or utilities; all property which is offered for dedication for public use; and all property that may be reserved by deed or covenant for common use of the property owners in the subdivision, in a form acceptable to the City Engineer and acceptance language by the City Engineer, along with all other supplementary maps or plans required as conditions of approval. The applicant shall record the Final Map and a written legal description of the reconfigured parcels as part of the deed with the Alameda County Recorder's Office and proof of such recordation shall be provided to the Planning Department prior to issuance of Building Permits. Failure to file a Final Parcel Map within these time limits shall nullify the previous approval or conditional approval of the Tentative Parcel Map.

When Required: Within two years of the effective date of approval, and ongoing

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

54. Covenants, Conditions and Restrictions & Homeowner's Association

The Covenants, Conditions and Restrictions (CC&Rs) for the units shall be submitted to the Planning and Zoning Division for review. The CC&Rs shall provide for the establishment of a non-profit homeowners association for the maintenance and operation of all on-site, pathways, common open space and all common landscaping, driveways, and other facilities, in accordance with approved plans. Membership in the association shall be made a condition of ownership. The developer shall be a member of such association until all units are sold.

When Required: Prior to certificate of occupancy.

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

55. Maintenance Agreement and On-Going Owner Responsibility

Applicants for a shared access facility shall submit, for approval, an agreement for access facility maintenance, parking restrictions, and landscape maintenance. Upon staff approval, the proposed agreement shall be recorded by the applicant within thirty (30) days with the Alameda County Recorder. In addition, applicants for a shared access facility shall provide documentation of continuing liability insurance coverage. Documentation of insurance coverage shall include the written undertaking of each insurer to give the city thirty (30) days' prior written notice of cancellation, termination, or material change of such insurance coverage.

When Required: Prior to certificate of occupancy for the first unit.

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

56. Certification

Prior to construction, applicants for the proposed shared access facility shall retain a California registered professional civil engineer to certify, upon completion, that the access facility was constructed in accordance with the approved plans and construction standards. This requirement may be modified or waived at the discretion of the Director of Public Works, based on the topography or geotechnical considerations. An applicant may also be required to show assurance of performance bonding for grading and other associated improvements. In addition, prior to the installation of landscaping, an applicant shall retain a landscape architect or other qualified individual to certify, upon completion, that landscaping was installed in accordance with the approved landscape plan.

When Required: Prior to construction of shared access facility

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

57. Decorative and Permeable pavers

The applicant shall incorporate decorative and permeable pavers into the design of the shared access facility and revised plans showing details of the proposed materials and finishes shall be submitted to the Planning Department for review and approval.

When Required: Prior to application for building permits

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

58. Parking Garages

Each of the proposed parking garages shall be maintained as required off-street parking spaces for the intended units. No garage space shall be used or converted for any other purpose without prior review and approval by the Oakland Planning Department.

When Required: Ongoing

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

59. Additional Landscaping between fence and sidewalk

The applicant shall revise the plans to provide additional landscape buffer between the front façade, proposed front yard fence, and the sidewalk.

When Required: Prior to application for building permits

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

60. Oakland Department of Transportation (PWA) Conditions of Approval

The project is subject to the Oakland Department of Transportation's Conditions of Approval as stated in Attachment B.

When Required: Ongoing

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

Applicant Statement

I have read and accept responsibility for the Conditions of Approval. I agree to abide by and conform to the Conditions of Approval, as well as to all provisions of the Oakland Planning Code and Oakland Municipal Code pertaining to the project.

Name of Project Applicant

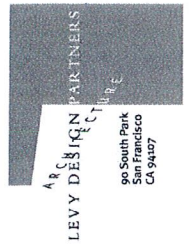
Signature of Project Applicant

Date

APPROVED BY:

City Planning Commission: _____ (date) _____ (vote)

3245 HOLLIS STREET OAKLAND, CA



NOTICE: These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners.

3245 HOLLIS STREET 5 MINI-LOT DEVELOPMENT OAKLAND, CA



3245 HOLLIS STREET
APN: 007-059400-800
APN: 007-059400-900
SAN FRANCISCO, CA
PROJECT NO. 2018-02

DATE	SET ISSUE
03-05-2018	PLANNING SUBMITTAL
05-11-2018	PLANNING RE-SUBMITTAL
07-20-2018	PLANNING RE-SUBMITTAL

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

COVER SHEET

A0.0

ABBREVIATIONS	LEGEND	GENERAL NOTES	RENDERING	CONTACT LIST	DRAWING INDEX
A/C ADJ. AFF. ALUM. APPROX. ARCH. BLDG. BOT. C/C.L. CAB. C.G. CHC. CLG. CLR. C.M.U. CONC. CONSTR. CORR. CTR. DET. DIA. DN. DNG. DS. (E) E.A. ELEC. ELEV. EQIP. EXPOS. EXT. F.D. FL. FLASH. FLOOR. F.O.F. F.O.S. FURR. GA. GALV. GL. GYP. H.B. H.C. HDWR. HGT. H.M. HR. H.W. INSUL. INT. JAN. J.T. L.P. MAX. M.C. M.D. MECH. MIN. MTD. MTL. (N) N.I.C. NO. N.T.S. O.C. OPNG. OPP. O.P.B. PR. P-LAM. PTD. PLYWD. P.O. R.D. R.F. RM. R.O. S.C. STOR. SHT. S.M. STRL. T. T&G. T.O. TYP. U.O.N. V.I.F. WD. W.P.	<p>⊕ --- DETAIL REFERENCE NUMBER</p> <p>⊕ --- SHEET WHERE DETAIL IS LOCATED</p> <p>--- DIRECTION OF SECTION VIEW</p> <p>--- INTERIOR SECTION IDENTIFICATION/ SHEET WHERE SECTION IS LOCATED</p> <p>⊕ --- SHEET WHERE ELEVATION IS LOCATED</p> <p>--- ELEVATION REFERENCE NUMBER</p> <p>(10) --- DOOR SYMBOL</p> <p>(W-B) --- WINDOW SYMBOL</p> <p>(X.XX) --- WALL / FLOOR TYPE SYMBOL</p> <p>⊕ --- ELEVATION DATUM</p> <p>(X'-X") --- CEILING HEIGHT</p> <p>⚠ --- REVISION SYMBOL</p> <p>⊕ --- WALL-MOUNTED INCANDESCENT SCENCE LIGHT FIXTURE</p> <p>⊕ --- WALL-MOUNTED COMPACT FLUORESCENT SCENCE LIGHT FIXTURE</p> <p>⊕ --- RECESSED INCANDESCENT LIGHT FIXTURE AT CEILING</p> <p>⊕ --- RECESSED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING</p> <p>⊕ --- SURFACE-MOUNTED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING</p> <p>⊕ --- COMBINATION EXHAUST FAN AND COMPACT FLUORESCENT LIGHT FIXTURE, RECESSED AT CEILING</p> <p>⊕ --- SURFACE-MOUNTED FLUORESCENT STRIP LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)</p> <p>⊕ --- SURFACE-MOUNTED TRACK LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)</p> <p>⊕ --- EMERGENCY LIGHT FIXTURE WITH BATTERY PACK, CEILING OR WALL-MOUNTED</p> <p>⊕ --- EXIT LIGHT FIXTURE WITH BATTERY BACK-UP, CEILING OR WALL-MOUNTED (WITH DIRECTIONAL ARROWS AS RED.)</p> <p>⊕ --- ONE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.</p> <p>⊕ --- TWO-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.</p> <p>⊕ --- THREE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.</p> <p>⊕ --- DUPLEX OUTLET, MOUNTED AT +15" A.F.F., U.O.N.</p> <p>⊕ --- DUPLEX OUTLET (WATERPROOF) MOUNTED AT +15" A.F.F., U.O.N.</p> <p>⊕ --- DUPLEX OUTLET, (DEDICATED) MOUNTED AT +15" A.F.F., U.O.N.</p> <p>⊕ --- DUPLEX OUTLET, WITH GROUND FAULT INTERRUPTER, MOUNTED AT +44" A.F.F., U.O.N.</p> <p>⊕ --- DUPLEX OUTLET (FOR DISHWASHER), MOUNTED UNDER KITCHEN CABINET</p> <p>⊕ --- TELEPHONE JACK, MOUNTED AT +15" A.F.F., U.O.N.</p> <p>⊕ --- DATA JACK, MOUNTED AT +15" A.F.F., U.O.N.</p>	<p>GENERAL CONDITIONS: AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK.</p> <p>EXISTING CONDITIONS: CONDITIONS SHOWN ON THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. NOTE: DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS.</p> <p>PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPTING THE GENERAL PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNERS' AND IS REIMBURSABLE TO THE G.C.</p> <p>CODES: ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODES, NATIONAL ELECTRICAL, MECHANICAL, AND PLUMBING CODES, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, CITY AND/OR COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.</p> <p>SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS PERFORMED.</p> <p>CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF THE EACH DAY AT THE COMPLETION OF THE CONSTRUCTION REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER.</p> <p>PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING OF SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.</p> <p>ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE PROVIDED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR.</p> <p>"ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.</p> <p>"TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>DETAILS ARE USUALLY KEYPED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTORS AND CONTRACTOR'S WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.</p> <p>SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.</p> <p>DAMAGE: THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT OR OWNER.</p> <p>GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK.</p> <p>COLUMN CENTERLINES (ALSO REFERRED TO AS GRIDLINES) ARE SHOWN FOR DIMENSIONAL PURPOSES (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS).</p> <p>CONSTRUCTION HOURS: WEEKDAYS: 8:00AM - 6:00PM WEEKENDS: 9:00AM - 5:00PM (SEE CITY OF OAKLAND MUNICIPAL CODE FOR NO CONSTRUCTION NOISE-RELATED ACTIVITY ON HOLIDAYS)</p> <p>ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER, AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.</p> <p>AN OSHA PERMIT TO BE OBTAINED FOR THE SHORING* AT THE EXCAVATION IN THE BASEMENT PER CAL/OSHA REQUIREMENTS. SEE CAL/OSHA HANDBOOK. *CONSTRUCTION SAFETY ORDERS: CHAPTER 4, SUBCHAPTER 4, ARTICLE 6, SECTION 1541.1.</p> <p>GRADING PERMIT, IF REQUIRED, TO BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.</p> <p>ALL PATHS OF TRAVEL AND COMMON USE SPACES WILL BE ACCESSIBLE AND ALL LIVING UNITS WILL BE ADAPTABLE.</p>		<p>OWNER TIMBERLINE FUND II, LLC 181 LOWELL STREET SAN FRANCISCO, CA 94112 415/412-1169</p> <p>CONTACT: SIMON CHEN</p> <p>ARCHITECT LEVY DESIGN PARTNERS 90 SOUTH PARK SAN FRANCISCO, CA 94107 415/777-0561 415/777-5117 FAX</p> <p>CONTACT: TOBY LEVY</p> <p>CIVIL ENGINEER CALCHI DESIGN GROUP 3240 PERALTA STREET #3 OAKLAND, CA 94608 415/474-3792</p> <p>CONTACT: RECO PRIANTO</p> <p>GREEN BUILDING KRANTZ CONSULTANTS, LLC 949/413-3426</p> <p>CONTACT: NATHAN KRANTZ</p>	<p>GENERAL</p> <p>A0.0 COVER SHEET A0.1 SITE PHOTOS A0.2 ACCESS & EGRESS PLANS</p> <p>CIVIL</p> <p>SHEET 1 SURVEY SHEET 1 TENTATIVE TRACT MAP SHEET 2 TENTATIVE TRACT MAP C0.1 CIVIL TITLE SHEET, PAVING AND GRADING PLAN C1.1 PRELIMINARY SITE, PAVING AND GRADING PLAN C2.1 PRELIMINARY GRADING AND DRAINAGE PLAN C3.0 PRELIMINARY UTILITY PLAN</p> <p>LANDSCAPE</p> <p>L2.1 LANDSCAPE PLAN</p> <p>ARCHITECTURAL</p> <p>A1.0 SITE PLAN: DEMO A1.1 SITE PLAN: PROPOSED</p> <p>A2.1 FLOOR PLAN: 1ST FLOOR A2.2 FLOOR PLAN: 2ND FLOOR A2.3 FLOOR PLAN: 3RD FLOOR A2.4 FLOOR PLAN: 4TH FLOOR A2.5 FLOOR PLAN: ROOF</p> <p>A3.1 ELEVATIONS: EXTERIOR A3.2 ELEVATIONS: EXTERIOR A3.3 EXTERIOR RENDERINGS</p> <p>A4.1 SECTIONS: BUILDING</p> <p>A5.1 ENLARGED UNIT PLAN: UNIT TYPE A A5.2 ENLARGED UNIT PLAN: UNIT TYPE B A5.3 ENLARGED UNIT PLAN: UNIT TYPE C</p>

ABBREVIATIONS	LEGEND	GENERAL NOTES	RENDERING	CONTACT LIST	DRAWING INDEX
BUILDING DATA					
PLANNING DATA					
APPLICABLE CODES AND REGULATIONS					
AREA MAP					

BUILDING DATA	PLANNING DATA
<p>ADDRESS: 3245-3251 HOLLIS STREET, OAKLAND, CA 94608</p> <p>A.P.N: 007-059400-800 & 007-059400-900</p> <p>LOT SIZE: 9,975 SF</p> <p>ZONING DISTRICT: HBX-2</p> <p>CODES: 2016 CALIFORNIA BUILDING CODE (CBC)</p> <p>SCOPE OF WORK: NEW CONSTRUCTION 4-STORY, TYPE V-A, TOWNHOMES ON MINI-LOTS</p> <p>FIRE RATINGS: TYPE V-A</p> <p>PRIMARY STRUCTURAL FRAME: 1 HOUR (CBC TABLE 601)</p> <p>BEARING EXTERIOR WALLS: 1 HOUR (CBC TABLE 601)</p> <p>BEARING INTERIOR WALLS: 1 HOUR (CBC TABLE 601)</p> <p>NON-BEARING EXTERIOR WALLS: NO RATING (CBC TABLE 601)</p> <p>NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601)</p> <p>FLOOR CONSTRUCTION: 1 HOUR (CBC TABLE 601)</p> <p>ROOF CONSTRUCTION: 1 HOUR (CBC TABLE 601)</p> <p>EXIT ENCLOSURES: 2 HOURS (CBC 1022.1)</p>	<p>ADDRESS: 3245-3251 HOLLIS STREET, OAKLAND, CA 94608</p> <p>A.P.N: 007-059400-800 & 007-059400-900</p> <p>LOT SIZE: 9,975 SF</p> <p>ZONING DISTRICT: HBX-2</p> <p>CODES: 2016 CALIFORNIA BUILDING CODE (CBC) OAKLAND PLANNING CODE</p> <p>SCOPE OF WORK: NEW CONSTRUCTION 4-STORY, TYPE V-A, TOWNHOMES ON MINI-LOTS</p> <p>DENSITY: ALLOWED: DENSITY: 1 UNIT PER 930 SF = 9,975 SF / 930 SF = 10.7 UNITS</p> <p>PROPOSED: 10 RESIDENTIAL UNITS ON 5 MINI-LOTS WITH 2 UNITS EACH MINI-LOT</p> <p>HEIGHT LIMIT: ALLOWED: 45'-0" FROM FINISHED GRADE ON OUTSIDE PERIMETER 30'-0" AT SETBACK LINE (10'-0" ASSOCIATED WITH REAR LOT LINE ABUTTING RH-3, SHALL INCREASE 1'-0" FOR EVERY 1'-0" DISTANCE FROM THIS SETBACK LINE</p> <p>PROPOSED: 45'-0" (TO T.O. ROOF STRUCTURE)</p>

APPLICABLE CODES AND REGULATIONS	AREA MAP
<p>2016 CBC CHAPTER 35, PROVIDE ALL THE APPLICABLE/ADOPTED STANDARDS. WHERE A PARTICULAR STANDARD IS REFERENCED IN THE CODE BUT DOES NOT APPEAR AS AN ADOPTED STANDARD IT STILL MAY BE USED. APPLY ONLY THE PORTION OF THE STANDARD THAT IS APPLICABLE TO THE CODE SECTION WHERE STANDARD IS REFERENCED, NOT THE ENTIRE SECTION.</p> <p>APPLICABLE CODES</p> <ul style="list-style-type: none"> 2016 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24, CCR 2016 CALIFORNIA BUILDING CODE, PART 2, TITLE 24, CCR 2016 CALIFORNIA ELECTRICAL CODE, PART 3, TITLE 24, CCR 2016 CALIFORNIA MECHANICAL CODE, PART 4, TITLE 24, CCR 2016 CALIFORNIA PLUMBING CODE, PART 5, TITLE 24, CCR 2016 CALIFORNIA ENERGY CODE, PART 6, TITLE 24, CCR 2016 CALIFORNIA FIRE CODE, PART 9, TITLE 24, CCR 2016 CALIFORNIA "GREEN" BUILDING REQUIREMENTS, PART 11, TITLE 24 CCR 2016 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 CCR 2016 CALIFORNIA PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS THIS DESIGN IS IN COMPLIANCE WITH THE FAIR HOUSING ACT DESIGN REFERENCE MANUAL UNIFORM FEDERAL ACCESSIBILITY STANDARDS INCLUDING ANY AMENDMENTS AS ADOPTED IN ORDINANCE 1856-2010 AS WELL AS ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS 	<p>PROJECT SITE</p> <p>TRUE NORTH</p> <p>PROJECT NORTH</p>

NEW HOME RATING SYSTEM, VERSION 7.0	Blueprint Scores!																																
<p>3245 Hollis</p> <p>Krantz Consultants r'vd 180228</p> <p>LOCATION: 1ST-4TH FLOORS</p> <p>PROPOSED OCCUPANCY: R2 (RESIDENTIAL)</p> <p>CONSTRUCTION*: TYPE V-A</p> <p>SPRINKLERED: YES</p> <p>AREA</p> <p>ALLOWABLE AREA (2016 CBC TABLE 506.2): 36,000 SF (SM W/ HEIGHT INCREASE**)</p> <p>ALLOWABLE AREA MODIFICATION PER STORY (2016 CBC 506.2.3): A₀=[At+(Ns*H)]*S₀ A=[36,000+(12000*0)]*1 (FOR A SINGLE FLOOR)</p> <p>ALLOWABLE AREA PER STORY: A₀=[At+(Ns*H)]*S₀</p> <p>TOTAL ALLOWABLE AREA (2016 CBC 506.2.3): 72,000 SF (2A₀)</p> <p>PROPOSED AREA</p> <p>1ST FL: 4,910 SF</p> <p>2ND FL: 5,340 SF</p> <p>3RD FL: 5,370 SF</p> <p>4TH FL: 3,930 SF</p> <p>TOTAL PROPOSED AREA: 19,550 SF</p> <p>HEIGHT & STORIES</p> <p>ALLOWABLE HEIGHT (2016 CBC TABLE 504.3): 60'-0" (5 WITH AREA INCREASE*)</p> <p>PROPOSED HEIGHT: 45'-0" TO T.O. ROOF</p> <p>ALLOWABLE STORIES (2016 CBC TABLE 504.4): 4 (5 WITH AREA INCREASE*)</p> <p>PROPOSED STORIES: 4</p> <p>** FULLY SPRINKLERED WITH NFPA 13 SYSTEM</p>	<p>Summary</p> <table border="1"> <thead> <tr> <th>Category</th> <th>Points</th> <th>Max Points</th> <th>Score</th> </tr> </thead> <tbody> <tr> <td>Green Points</td> <td>4</td> <td>4</td> <td>100%</td> </tr> <tr> <td>Community</td> <td>2</td> <td>2</td> <td>100%</td> </tr> <tr> <td>Energy</td> <td>2</td> <td>2</td> <td>100%</td> </tr> <tr> <td>Health</td> <td>2</td> <td>2</td> <td>100%</td> </tr> <tr> <td>Materials</td> <td>2</td> <td>2</td> <td>100%</td> </tr> <tr> <td>Water</td> <td>2</td> <td>2</td> <td>100%</td> </tr> <tr> <td>Total</td> <td>18</td> <td>18</td> <td>100%</td> </tr> </tbody> </table>	Category	Points	Max Points	Score	Green Points	4	4	100%	Community	2	2	100%	Energy	2	2	100%	Health	2	2	100%	Materials	2	2	100%	Water	2	2	100%	Total	18	18	100%
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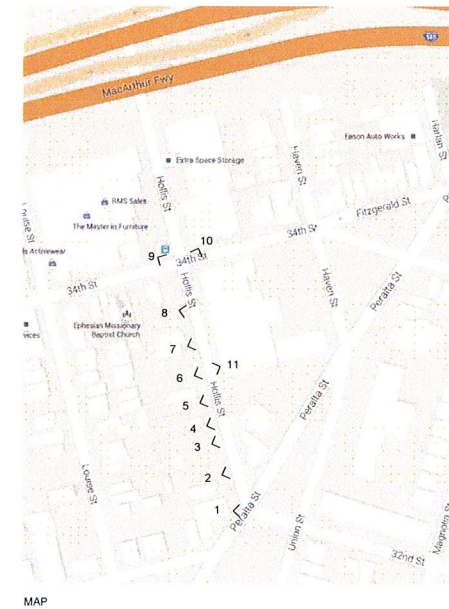
SETBACKS	REQUIRED	FRONT: NONE REQUIRED	SIDE: NONE REQUIRED (DOES NOT FACE A LEGALLY REQUIRED WINDOW OF A LIVING ROOM)	REAR: NONE REQUIRED
OPEN SPACE <td>REQUIRED: 150 SF/UNIT (OR 75 SF/UNIT IF PRIVATE OPEN SPACE)</td> <td></td> <td></td> <td></td>	REQUIRED: 150 SF/UNIT (OR 75 SF/UNIT IF PRIVATE OPEN SPACE)			
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1 SITE PHOTO

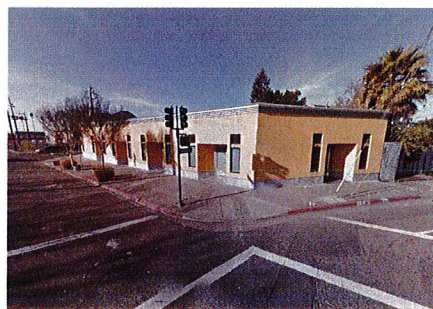


MAP



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3245 HOLLIS STREET
5 MINI-LOT DEVELOPMENT
OAKLAND, CA



1 3219 PERALTA STREET, DOWN THE STREET FROM THE SITE



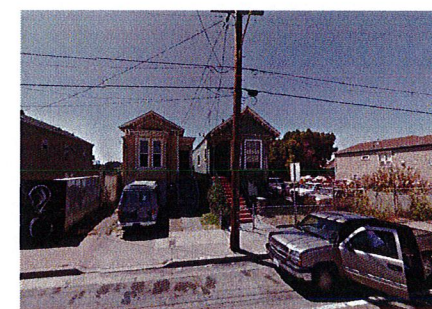
2 3209 & 3221 HOLLIS STREET, DOWN THE STREET FROM THE SITE



3 3225 & 3227 HOLLIS STREET, DOWN THE STREET FROM THE SITE



4 3231 HOLLIS STREET, DOWN THE STREET FROM THE SITE



5 3237 & 3241 HOLLIS STREET, NEIGHBOR TO THE SITE



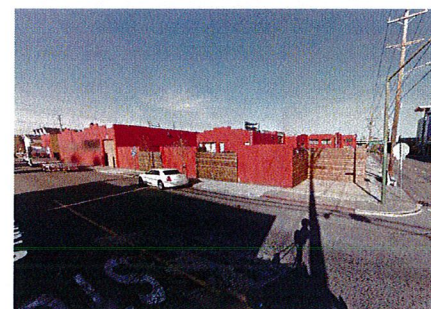
6 3245 & 3251 HOLLIS STREET, SITE



7 3255 & 3261 HOLLIS STREET, NEIGHBOR TO THE SITE



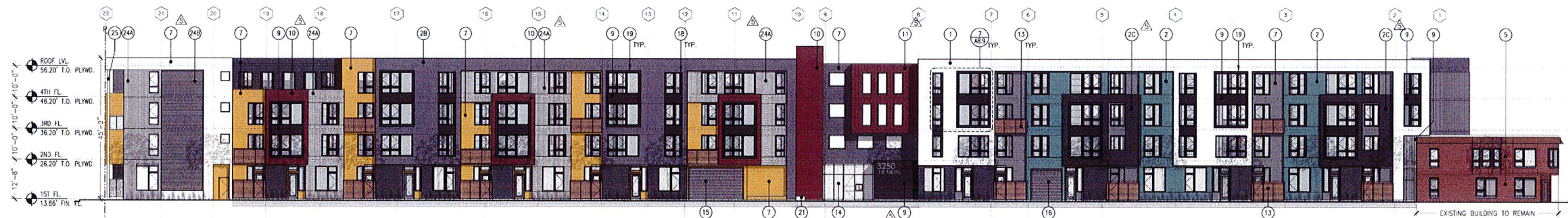
8 3267 & 3275 HOLLIS STREET, DOWN THE STREET FROM THE SITE



9 3421 HOLLIS STREET, NEAREST CORNER FROM THE SITE



10 3408 HOLLIS STREET, NEAREST CORNER FROM THE SITE



2 NEIGHBORING BUILDING PHOTOS & LEGEND



3245 HOLLIS STREET
APN: 007-059400-800
APN: 007-059400-900
SAN FRANCISCO, CA
PROJECT NO. 2018-02

DATE	SET ISSUE
03-05-2018	PLANNING SUBMITTAL
05-11-2018	PLANNING RE-SUBMITTAL
07-20-2018	PLANNING RE-SUBMITTAL

CONTACT: TOBY LEVY

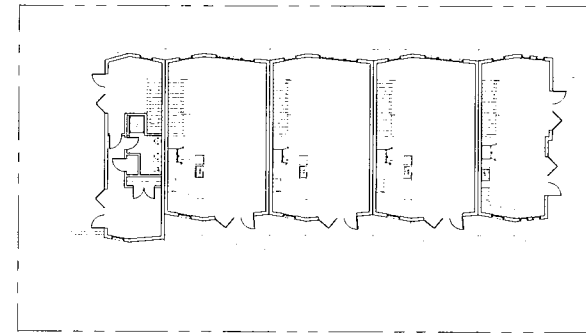
(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

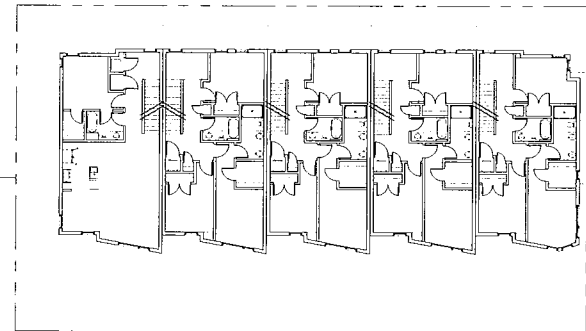
SITE
CONTEXT

A0.1

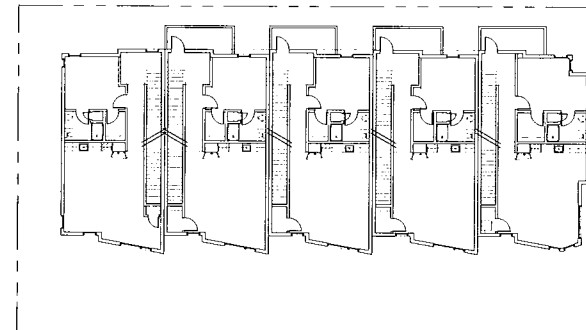
ACCESS PLANS



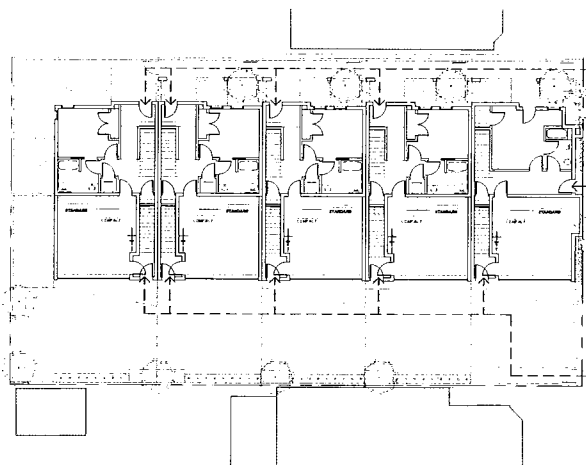
FOURTH FLOOR



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

1 PLAN: ACCESS
1"=20'-0"

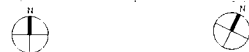
ACCESSIBILITY NOTES

1. ACCESSIBLE PATH OF TRAVEL (P.O.T.) AS INDICATED ON PLANS IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. ALL ACCESSIBLE ROUTES OF TRAVEL TO BE AT LEAST 48" SURFACE IS STABLE, FIRM & SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% U.O.N.
2. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEED 1:20, IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMPS.
3. WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHALL BE FREE OF GRATINGS WHERE EVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF THESE AREAS, GRID OPENINGS SHALL BE LIMITED TO 1/2" IN THE DIRECTION OF TRAVEL FLOW.
4. SURFACES WITH A SLOP OF LESS THAN 6% GRADIENT SHALL BE AT LEAST AS SLIP-RESISTANT AS THAT DESCRIBED AS A MEDIUM SALT FINISH AND HEAVY BROOM FINISH FOR SLOPES GREATER THAN 6%.
5. ACCESSIBLE ROUTES OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80".
6. ALL REQUIRED ACCESSIBLE DOOR TO HAVE 32" CLEAR OPENING MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM IT'S CLOSED POSITION.

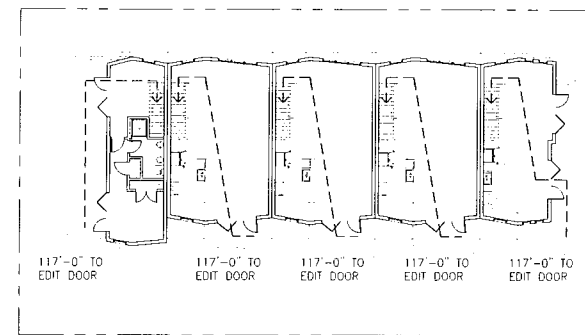
LEGEND

- PROPERTY LINE
- - - - ACCESSIBLE PATH OF TRAVEL (P.O.T.)

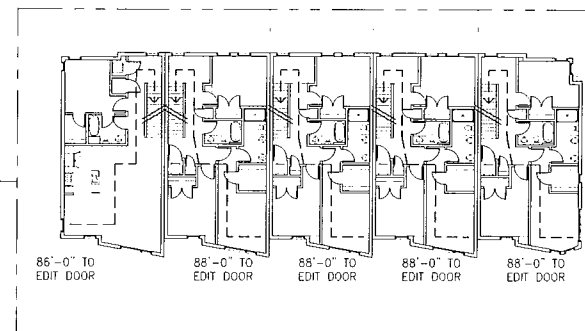
PROJECT NORTH TRUE NORTH



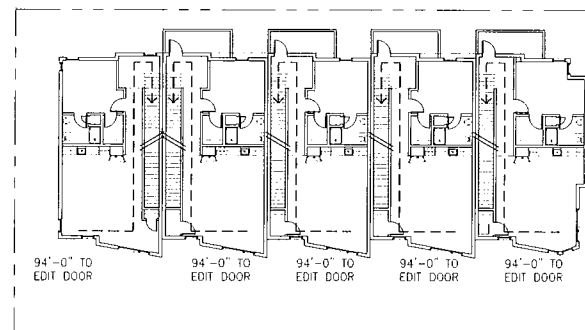
EGRESS PLANS



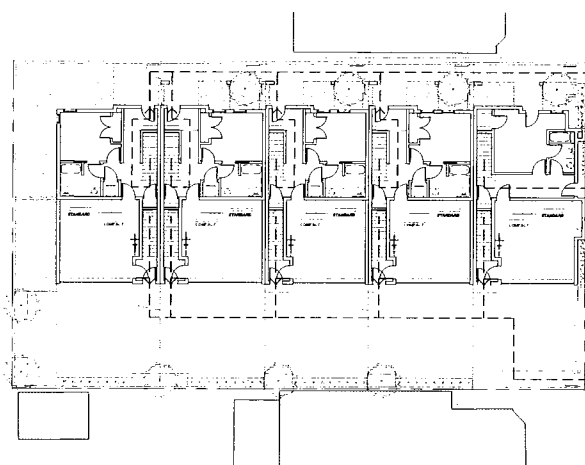
FOURTH FLOOR



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

2 PLAN: EGRESS
1"=20'-0"

EGRESS NOTES

TYPICAL EACH LOWER LEVEL UNIT	R-3
OCCUPANCY TYPE/USE	1,280
AREA (S.F.)	200
OCCUPANT LOAD FACTOR	7
OCCUPANT LOAD	1
EXITS REQUIRED***	1
EXITS PROVIDED	1.4"
MIN. EGRESS WIDTH**	36"
EGRESS WIDTH PROVIDED	2.1"
MIN. STAIR WIDTH*	36"
STAIR WIDTH PROVIDED	125'
TRAVEL DISTANCE	94'
MAX. TRAVEL DISTANCE (CBC TABLE 1006.3.2(1))	
MAX. TRAVEL DISTANCE	

TYPICAL EACH UPPER LEVEL UNIT	R-3
OCCUPANCY TYPE/USE	1,780
AREA (S.F.)	200
OCCUPANT LOAD FACTOR	9
OCCUPANT LOAD	1
EXITS REQUIRED***	1.8"
EXITS PROVIDED	36"
MIN. EGRESS WIDTH**	2.7"
EGRESS WIDTH PROVIDED	36"
MIN. STAIR WIDTH*	125'
STAIR WIDTH PROVIDED	117'
TRAVEL DISTANCE	
MAX. TRAVEL DISTANCE (CBC TABLE 1006.3.2(1))	
MAX. TRAVEL DISTANCE	

* OCCUPANT LOAD x 0.3" (2016 CBC 1005.3.1)

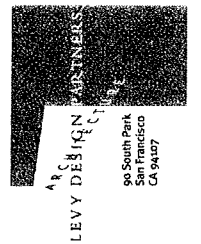
** OCCUPANT LOAD x 0.2" (2016 CBC 1005.3.2)

*** ALL UNITS EGRESS DIRECTLY TO STREET. NO UNITS HAVE OVER 49 OCCUPANTS OR HAVE A TRAVEL DISTANCE MORE THAN 125'-0" FROM FURTHER CORNER OF UNIT TO EXIT. THEREFORE, PER 2016 CBC TABLE 1006.3.2(1), ONLY ONE EXIT IS REQUIRED.

LEGEND

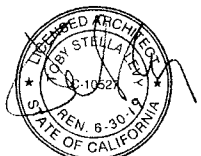
- PROPERTY LINE
- - - - EGRESS PATH OF TRAVEL

PROJECT NORTH TRUE NORTH



NOTICE: These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

3245 HOLLIS STREET
5 MINI-LOT DEVELOPMENT
OAKLAND, CA



3245 HOLLIS STREET
APN: 007-059400-800
APN: 007-059400-900
SAN FRANCISCO, CA
PROJECT NO. 2018-02

DATE	SET ISSUE
03-05-2018	PLANNING SUBMITTAL
05-11-2018	PLANNING RE-SUBMITTAL
07-20-2018	PLANNING RE-SUBMITTAL

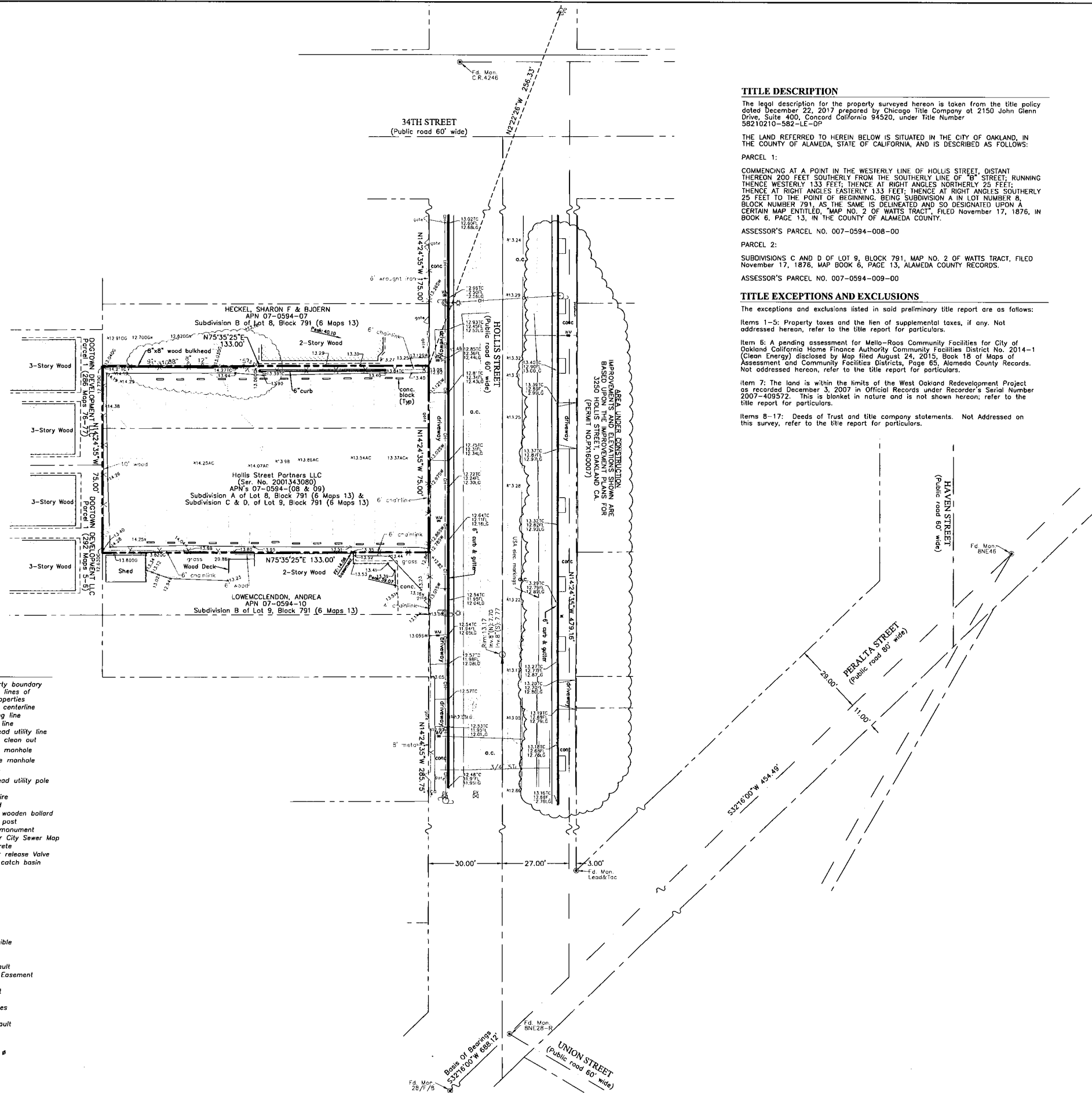
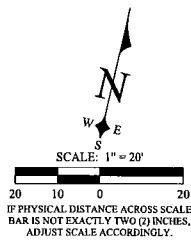
CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

PLANS: ACCESS & EGRESS

A0.2



LEGEND

---	Existing property boundary
---	Existing parcel lines of adjacent properties
---	Existing street centerline
---	Existing building line
---	Existing fence line
---	Existing overhead utility line
---	Sanitary sewer clean out
---	Sanitary sewer manhole
---	Storm drainage manhole
---	Water manhole
---	Existing overhead utility pole
---	Existing light
---	Existing guy wire
---	Existing bollard
---	Cut-off 4"x6" wooden bollard
---	Cut-off metal post
---	Found survey monument
---	Invert elev. per City Sewer Map
A.C.	Asphaltic concrete
BOV	Blow-off / Air release Valve
CI	Curb inlet w/ catch basin
conc	Concrete
C.R.	Corner Record
E	Electrical vault
EV	Gas valve
FD	Fire hydrant
FL	Flow Line
GB	Grade break
GM	Gas meter
GNV	Ground not visible
LS	Landscaping
P	Planter box
PGE	PGE Box or Vault
PSE	Public Service Easement
---	Sign
T	Telephone vault
TC	Top of curb
TD	Truncated domes
TH	Threshold
TV	T.V. / cable vault
---	Water meter
---	Water valve
---	Tree w/ trunk #

TITLE DESCRIPTION
 The legal description for the property surveyed hereon is taken from the title policy dated December 22, 2017 prepared by Chicago Title Company at 2150 John Glenn Drive, Suite 400, Concord California 94520, under Title Number 58210210-582-LE-0P.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF OAKLAND, IN THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
 COMMENCING AT A POINT IN THE WESTERLY LINE OF HOLLIS STREET, DISTANT THEREON 200 FEET SOUTHERLY FROM THE SOUTHERLY LINE OF "B" STREET; RUNNING THENCE WESTERLY 133 FEET; THENCE AT RIGHT ANGLES NORTHERLY 25 FEET; THENCE AT RIGHT ANGLES EASTERLY 133 FEET; THENCE AT RIGHT ANGLES SOUTHERLY 25 FEET TO THE POINT OF BEGINNING, BEING SUBDIVISION A IN LOT NUMBER 8, BLOCK NUMBER 791, AS THE SAME IS DELINEATED AND SO DESIGNATED UPON A CERTAIN MAP ENTITLED, "MAP NO. 2 OF WATTS TRACT," FILED November 17, 1876, IN BOOK 6, PAGE 13, IN THE COUNTY OF ALAMEDA COUNTY.

ASSESSOR'S PARCEL NO. 007-0594-008-00
 PARCEL 2:
 SUBDIVISIONS C AND D OF LOT 9, BLOCK 791, MAP NO. 2 OF WATTS TRACT, FILED November 17, 1876, MAP BOOK 6, PAGE 13, ALAMEDA COUNTY RECORDS.

ASSESSOR'S PARCEL NO. 007-0594-009-00

TITLE EXCEPTIONS AND EXCLUSIONS
 The exceptions and exclusions listed in said preliminary title report are as follows:

- Items 1-5: Property taxes and the lien of supplemental taxes, if any. Not addressed hereon, refer to the title report for particulars.
- Item 6: A pending assessment for Mello-Roos Community Facilities for City of Oakland California Home Finance Authority Community Facilities District No. 2014-1 (Clean Energy) disclosed by Map filed August 24, 2015, Book 18 of Maps of Assessment and Community Facilities Districts, Page 65, Alameda County Records. Not addressed hereon, refer to the title report for particulars.
- Item 7: The land is within the limits of the West Oakland Redevelopment Project as recorded December 3, 2007 in Official Records under Recorder's Serial Number 2007-405572. This is blanket in nature and is not shown hereon; refer to the title report for particulars.
- Items 8-17: Deeds of Trust and title company statements. Not Addressed on this survey, refer to the title report for particulars.

BASIS OF BEARINGS
 The bearings shown on this survey are based on the monument line of Peralta Street as shown on Parcel Map 8534 (298 P.M. 55). That Bearing taken as N32°16'00"E.

CONTOUR INTERVAL
 Contours shown on this survey are plotted at a 1 foot interval.

DATUM
 The elevations shown on this survey are based upon the City of Oakland Datum, City Benchmark No. 270. Being a brass pin set in the back of the concrete sidewalk at the northwest corner of the intersection of 32nd and Peralta Streets. Elevation taken as 12.173'

SURVEYOR NOTES

1. All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, buildings, party walls, parking, easements, servitudes, and encroachments; are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.
2. Utilities shown have been located from visible above-ground, on-site observation and city utility schematics only. Therefore the surveyor assumes no liability for the location and/or existence of any utilities that may have been concealed at the time of this survey. The locations of underground utilities have not been located and are not included as a portion of this survey. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned.
3. The location of overhead utility lines have been shown for the sole purpose of indicating the interconnection of utility poles and general route of lines. The number and type of lines strung between the poles are not shown nor are the cross arm widths or individual line locations. Overhead service locations are not shown on this survey.

MONUMENT NOTE
 No Monuments were set during the course of this survey.
 [1] Found City of Oakland Street Monuments as shown on Monument Map 267

PUBLIC ADVISORY
 This map is based on private surveys performed by licensed professionals and will not be updated or corrected by the City of Oakland after its filing. No warranty, either expressed or implied is made by the City of Oakland that this map and the survey information on which it is based is correct, accurate, and current, nor that the City will retain for public inspection any related information which may be subsequently submitted to the City, including alleged or actual discrepancies, inaccuracies, deficiencies, and errors.

HORIZONTAL AND VERTICAL CURVE NOTE
 There are no existing horizontal curves or vertical curves on Valley Street within 300' of the subject Parcel of this survey.

CERTIFICATION
 This map correctly represents a survey made by me or under my direction in conformance with the requirements of the California Land Surveyors' Act at the request of Calchi Design Group, on Dec. 14, 2017.

I hereby state that all existing grades and contours are based upon the City of Oakland Datum.
 I hereby further state to the best of my knowledge all provisions of applicable state laws and local ordinances have been fully satisfied.
 I hereby further state that the parcels designated by my survey and shown on this map are the same as that certain map entitled Map No. 2 of Watts Tract, filed November 17, 1876, Map Book 6 Page 13, Alameda County Records, and identified on the current equalized assessment roll of the Alameda County Assessor as Parcel Numbers: 007-0594-008 and 007-0594-009.
 I hereby further state that in accordance with the California Land Surveyors' Act the performance of this survey does not require a Corner Record or Record of Survey to be filed.
 I hereby acknowledge that this survey shall be a public record and may be available for inspection and distribution to the general public.

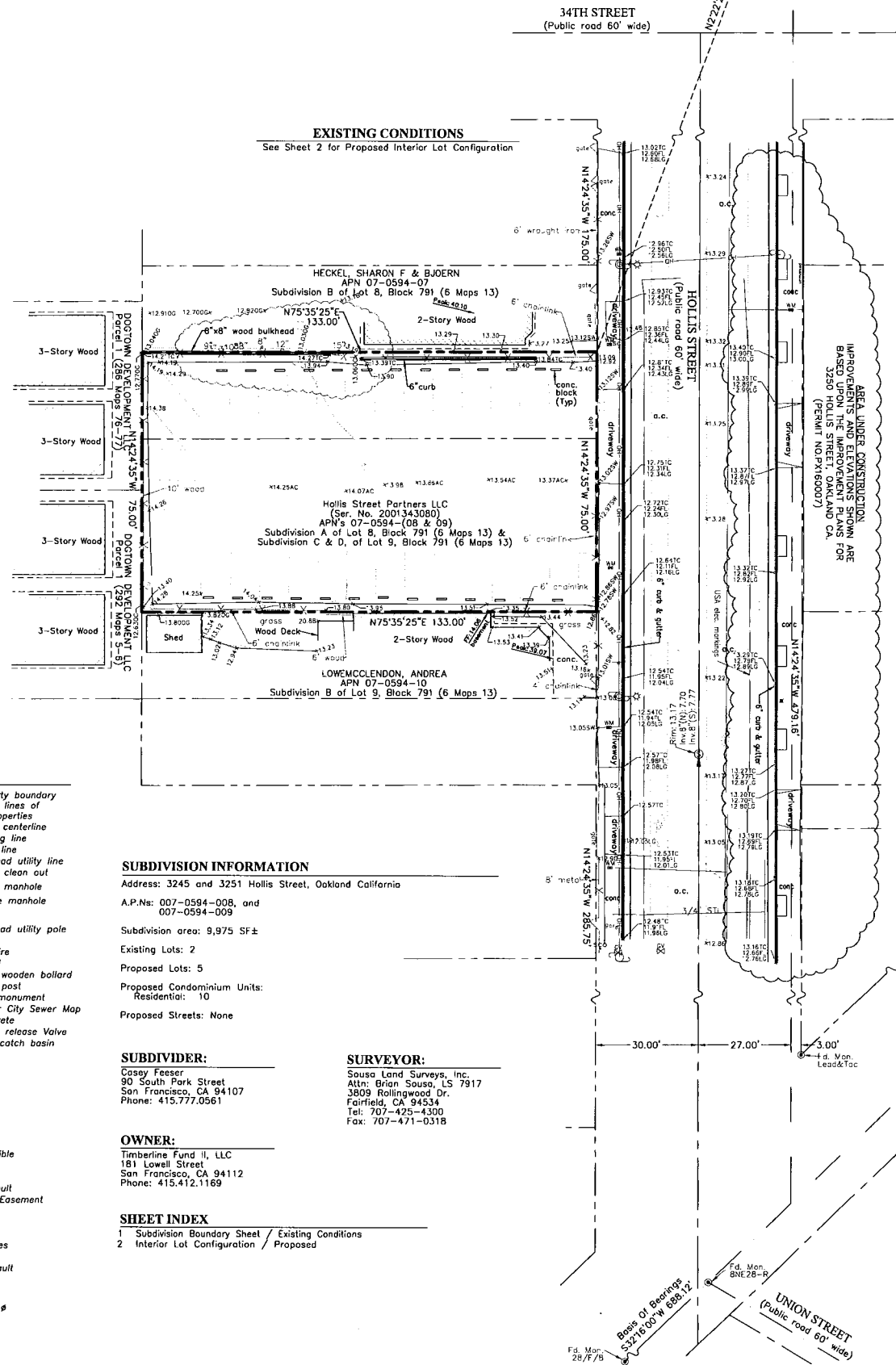
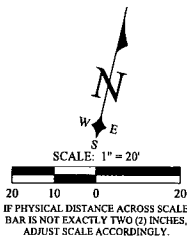
By: Brian L. Sousa, PLS#7917

Date: March 8, 2018



Topographic Survey
 of
 3245 and 3251 Hollis Street, Oakland, CA.
 being:
 Assessor Parcel Numbers 007-0594-008 and 007-0594-009
 as Described in the Grant Deed DOC. 2015094925
 Surveyed: March 1, 2018

Sousa Land Surveys
 tel 707.425.4300 fax 707.425.4300
 3809 Rollingwood Dr. Fairfield, CA 94534



EXISTING CONDITIONS
See Sheet 2 for Proposed Interior Lot Configuration

SUBDIVISION INFORMATION

Address: 3245 and 3251 Hollis Street, Oakland California
 A.P. No: 007-0594-008, and 007-0594-009
 Subdivision area: 9,975 SF±
 Existing Lots: 2
 Proposed Lots: 5
 Proposed Condominium Units: Residential: 10
 Proposed Streets: None

SUBDIVIDER:

Casey Feaser
 90 South Park Street
 San Francisco, CA 94107
 Phone: 415.777.0561

SURVEYOR:

Sousa Land Surveys, Inc.
 Attn: Brian Sousa, LS 7917
 3809 Rollingwood Dr.
 Fairfield, CA 94534
 Tel: 707-425-4300
 Fax: 707-471-0318

OWNER:

Timberline Fund II, LLC
 181 Lowell Street
 San Francisco, CA 94112
 Phone: 415.412.1169

SHEET INDEX

- 1 Subdivision Boundary Sheet / Existing Conditions
- 2 Interior Lot Configuration / Proposed

- LEGEND**
- Existing property boundary
 - - - Existing parcel lines of adjacent properties
 - - - Existing street centerline
 - - - Existing building line
 - - - Existing fence line
 - - - Existing overhead utility line
 - Sanitary sewer clean out
 - Sanitary sewer manhole
 - Storm drainage manhole
 - Water manhole
 - Existing overhead utility pole
 - Existing light
 - Existing guy wire
 - Existing ballard
 - Cut-off 4"x6" wooden ballard
 - Cut-off metal post
 - Found survey monument
 - Invert elev. per City Sewer Map
 - A.C. Asphalt concrete
 - BOV Blow-off / Air release Valve
 - CI Concrete
 - C.R. Corner Record
 - E Electrical vault
 - EV Gas valve
 - FD Fire hydrant
 - FL Flow Line
 - GB Grade break
 - GM Gas meter
 - GNV Ground not visible
 - LS Landscaping
 - P Planter box
 - PGE PGE Box or Vault
 - PSE Public Service Easement
 - Sign
 - Telephone vault
 - TC Top of curb
 - TD Truncated domes
 - TH Threshold
 - TV T.V. / cable vault
 - WM Water meter
 - WV Water valve
 - Tree w/ trunk #

TITLE DESCRIPTION

The legal description for the property surveyed herein is taken from the title policy dated December 22, 2017 prepared by Chicago Title Company at 2150 John Glenn Drive, Suite 400, Concord California 94520, under Title Number 58210210-582-LE-DP.

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ASSESSOR'S PARCEL NO. 007-0594-008-00

PARCEL 2:
 SUBDIVISIONS C AND D OF LOT 9, BLOCK 791, MAP NO. 2 OF WATTS TRACT, FILED NOVEMBER 17, 1876, MAP BOOK 6, PAGE 13, ALAMEDA COUNTY RECORDS.

ASSESSOR'S PARCEL NO. 007-0594-009-00

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 Item 7: The land is within the limits of the West Oakland Redevelopment Project as recorded December 3, 2007 in Official Records under Recorder's Serial Number 2007-409972. This is blanket in nature and is not shown herein; refer to the title report for particulars.
 Items 8-17: Deeds of Trust and title company statements. Not Addressed on this survey, refer to the title report for particulars.

BASIS OF BEARINGS

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CONTOUR INTERVAL

Contours shown on this survey are plotted at a 1 foot interval.

DATUM

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SURVEYOR NOTES

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3. The location of overhead utility lines have been shown for the sole purpose of indicating the interconnection of utility poles and general route of lines. The number and type of lines strung between the poles are not shown nor are the cross arm widths or individual line locations. Overhead service locations are not shown on this survey.

MONUMENT NOTE

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 [1] Found City of Oakland Street Monuments as shown on Monument Map 267

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HORIZONTAL AND VERTICAL CURVE NOTE

There are no existing horizontal curves or vertical curves on Valley Street within 300' of the subject Parcel of this survey.

CERTIFICATION

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the California Land Surveyors' Act at the request of Simon Chen, on Feb. 20, 2018.

I hereby state that all existing grades and contours are based upon the City of Oakland Datum.

I hereby further state to the best of my knowledge all provisions of applicable state laws and local ordinances have been fully satisfied.

I hereby further state that the parcels designated by my survey and shown on this map are the same as that certain map entitled Map No. 2 of Watts Tract, filed November 17, 1876, Map Book 6 Page 13, Alameda County Records, and identified on the current equalized assessment roll of the Alameda County Assessor as Parcel Numbers: 007-0594-008 and 007-0594-009

I hereby further state that in accordance with the California Land Surveyors' Act the performance of this survey does not require a Corner Record or Record of Survey to be filed.

I hereby acknowledge that this survey shall be a public record and may be available for inspection and distribution to the general public.

By: Brian L. Sousa, PLS#7917

Date: March 8, 2018

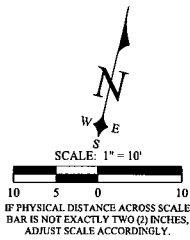


**TRACT MAP NO. 8464
TENTATIVE TRACT MAP**

Being a Merger and Re-Subdivision to Create Five Lots for 10 Residential Condominium Purposes of 3245 and 3251 Hollis Street, Oakland, CA. being: Assessor Parcel Numbers 007-0594-008 and 007-0594-009 as Described in the Grant Deed DOC. 2015094925
 Surveyed: March 1, 2018



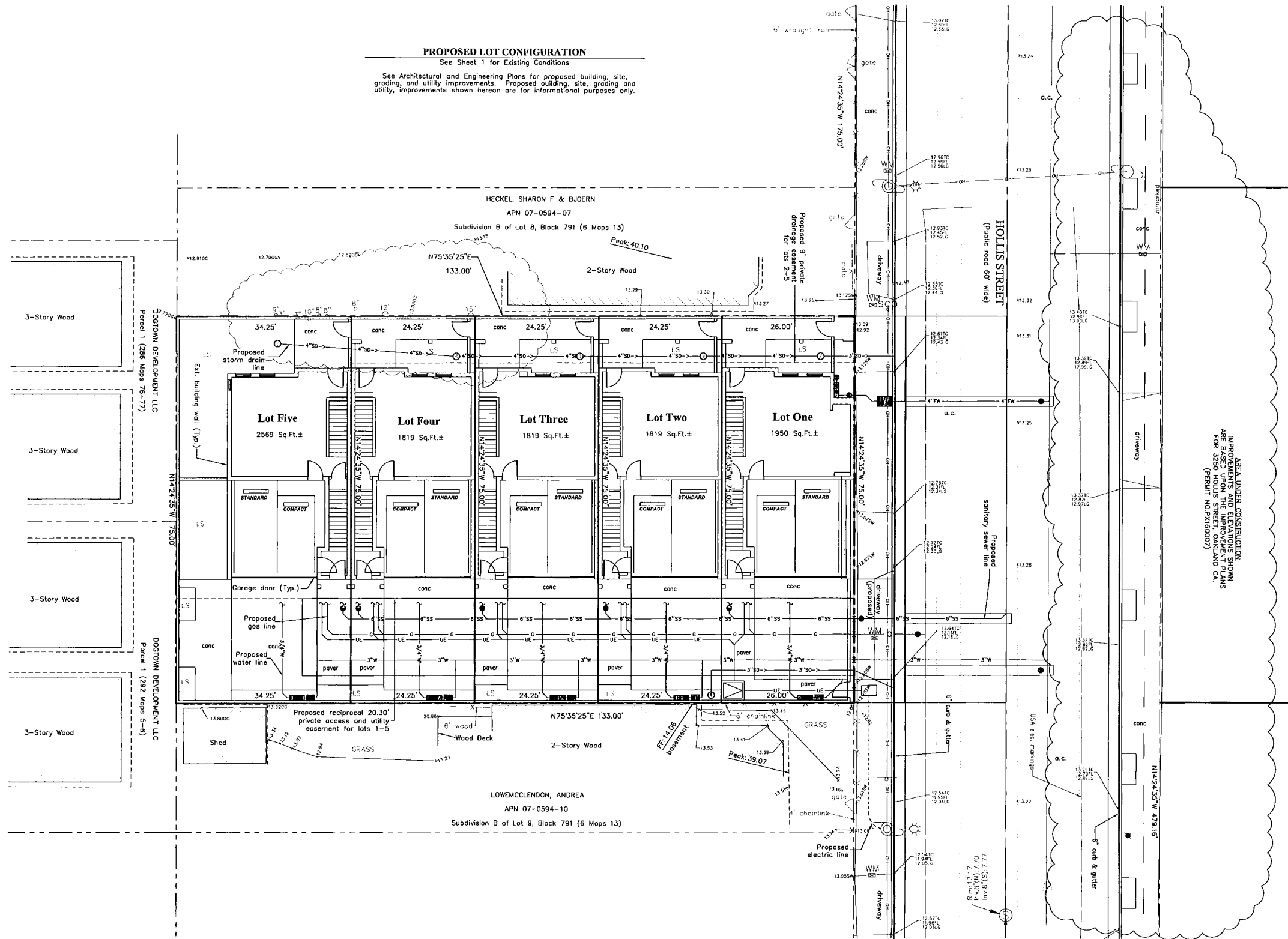
tel 707.425.4300 fax 707.425.4300
 3809 Rollingwood Dr. Fairfield, CA 94534



PROPOSED LOT CONFIGURATION

See Sheet 1 for Existing Conditions

See Architectural and Engineering Plans for proposed building, site, grading, and utility improvements. Proposed building, site, grading and utility, improvements shown hereon are for informational purposes only.



LEGEND

- Existing property boundary
- - - Existing parcel lines of adjacent properties
- Proposed Lot Line
- - - Existing street centerline
- Existing building line
- Proposed building wall at ground level
- Proposed Privacy Wall / Fence
- Existing fence line
- Existing overhead utility line
- Sanitary sewer clean out
- Sanitary sewer manhole
- Storm drainage manhole
- Water manhole
- Existing overhead utility pole
- Existing light
- Existing guy wire
- Existing ballard
- Cut-off 4"x6" wooden ballard
- Cut-off metal post
- Found survey monument
- Invert elev. per City Sewer Map
- Asphaltic concrete
- Blow-off / Air release Valve
- Curb inlet w/ catch basin
- Concrete
- Corner Record
- Electrical vault
- Gas valve
- Fire hydrant
- Flow Line
- Grade break
- Gas meter
- Ground not visible
- Landscaping
- Planter box
- PCE Box or Vault
- Public Service Easement
- Sign
- Telephone vault
- Top of curb
- Truncated domes
- Threshold
- T.V. / cable vault
- Water meter
- Water valve
- Tree w/ trunk

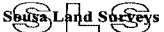
SHEET INDEX

- 1 Subdivision Boundary Sheet / Existing Conditions
- 2 Interior Lot Configuration / Proposed

ABEA LINDA CONSTRUCTION
 IMPROVEMENTS AND ELEVATIONS SHOWN
 ARE BASED UPON THE IMPROVEMENT PLANS
 FOR 3250 HOLLIS STREET, OAKLAND, CA.
 (PERMIT NO.P160007)

**TRACT MAP NO. 8464
TENTATIVE TRACT MAP**

Being a Merger and Re-Subdivision to Create Five Lots
for 10 Residential Condominium Purposes
of
3245 and 3251 Hollis Street, Oakland, CA.
being:
Assessor Parcel Numbers 007-0594-008 and 007-0594-009
as Described in the Grant Deed DOC. 2015094925
Surveyed: March 1, 2018



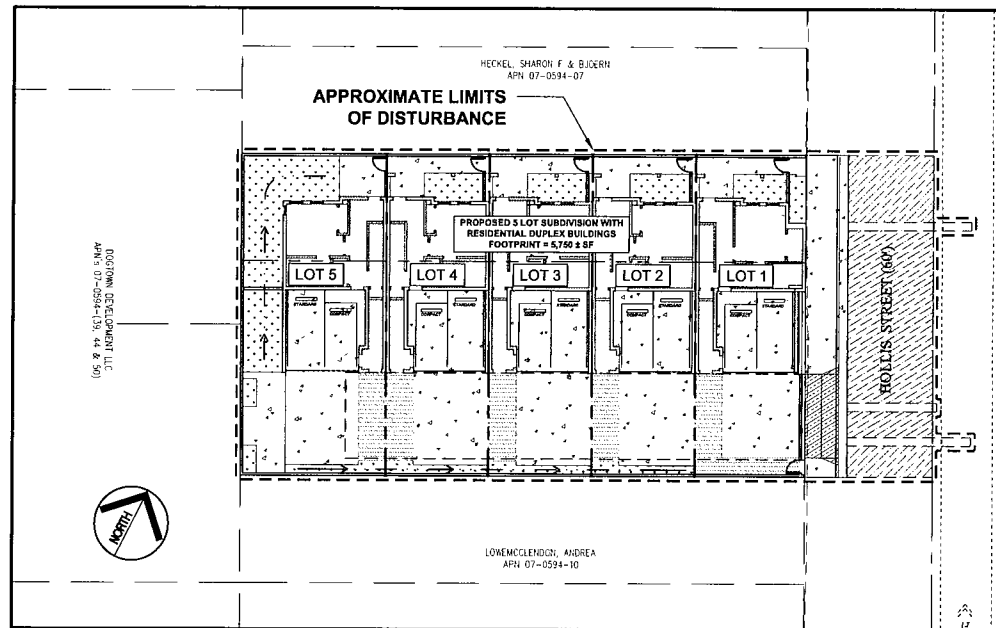
tel 707.425.4300 fax 707.425.4300
3809 Rollingwood Dr. Fairfield, CA 94534

CIVIL PLANNING SUBMITTAL

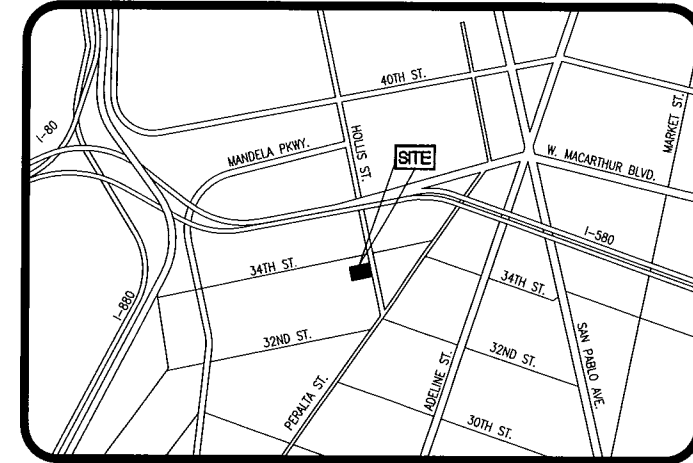
3245 HOLLIS ST. - PROPOSED MIXED-USE BUILDING

3245 HOLLIS ST. | OAKLAND, CALIFORNIA 94608

PROPOSED	LEGEND	EXISTING
- - - - -	PROPERTY LINE	- - - - -
- - - - -	EASEMENT LINE	- - - - -
- - - - -	SITE IMPROVEMENTS	- - - - -
- - - - -	1-FOOT CONTOUR	9
- - - - -	5-FOOT CONTOUR	10
WTR	POTABLE WATER LINE (PVC SCHEDULE 80)	WTR
FP	FIRE PROTECTION WATER LINE (PVC C-900 CLASS 200)	WTR
SS	SANITARY SEWER LINE	SAN
SD	STORM DRAIN LINE	SD
G	GAS LINE	G
UE	UNDERGROUND ELECTRIC	UE
---	UNDERGROUND DATA AND TELEPHONE LINE	UT
- - - - -	FENCE	- - - - -
- - - - -	APPROXIMATE LIMIT OF DISTURBANCE	- - - - -
○	TREE	○
□	STANDARD PCC PAVEMENT	□
▨	TRENCH EXCAVATION LIMITS, REPLACE FULL DEPTH	▨
▩	HEAVY DUTY PCC PAVEMENT	▩
▧	NEW GRIND AND OVERLAY OF 2" AC	▧
▦	PROPOSED PERMEABLE PAVERS - SEE LANDSCAPE PLANS FOR COLOR, AND DETAILS.	▦
▤	PROPOSED LANDSCAPED AREA.	▤
⊕	SIGN	⊕
⊕	WATER VALVE	⊕
⊕	FIRE HYDRANT	⊕
⊕	WATER METER OR BOX	⊕
⊕	ELECTRIC VAULT	⊕
⊕	SEWER MANHOLE	⊕
⊕	CLEANOUT	⊕
⊕	CATCH BASIN OR DRAIN INLET	⊕
⊕	GAS VALVE	⊕
⊕	LIGHT POLE AND UTILITY POLE	⊕
⊕	BACKFLOW PREVENTER	⊕
⊕	PROPOSED DRAINAGE SWALE	⊕
⊕	PROPOSED TRANSFORMER IN UNDERGROUND VAULT	⊕



CIVIL ONSITE IMPROVEMENT PLAN / LIMITS OF CONSTRUCTION
SCALE: 1"=20'



VICINITY MAP
NOT TO SCALE

CIVIL SHEET INDEX

C0.1	CIVIL TITLE SHEET
C1.0	PRELIMINARY SITE, PAVING AND LAYOUT PLAN
C2.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C3.0	PRELIMINARY UTILITY PLAN

SCOPE OF WORK:

THE SCOPE OF WORK IS TO DEVELOP A NEW MIX-USE BUILDING INCLUDING FOUR (4) PROPOSED PARCELS - EACH CONTAINING A DUPLEX - THAT WILL EVENTUALLY BE TURNED INTO CONDOMINIUMS ON A SINGLE EXISTING PARCEL (APNs: 07-05984-08; 07-05984-09).

SOILS REPORT NOTE:

NO GEOTECHNICAL EVALUATION HAS BEEN PERFORMED AT THIS TIME. A GEOTECHNICAL INVESTIGATION SHALL BE COMPLETED PRIOR TO THE COMPLETION OF THESE PLANS.

SURVEY NOTE:

TOPOGRAPHIC SURVEY PROVIDED BY SOUSA LAND SURVEYS INC., DATED 05/28/2015. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.

LEGAL DESCRIPTION AND EASEMENT NOTE:

THE LEGAL DESCRIPTION AND EASEMENT INFORMATION FOR THE PROPERTY SURVEYED HEREON IS TAKEN FROM THE PRELIMINARY TITLE REPORT DATED JANUARY 28, 2015, PREPARED BY CHICAGO TITLE COMPANY AT 2150 JOHN GLENN, SUITE 400, CONCORD, CA 94520, UNDER TITLE NUMBER 15-58205927-KD.

BASIS OF BEARING:

THE BEARINGS SHOWN ON THIS SURVEY ARE BASED ON THE MONUMENT LINE OF PERALTA STREET AS SHOWN ON PARCEL MAP 8534 (298 P.M. 55), THAT BEARING TAKEN AS N32°16'00"E.

DATUM / BENCHMARK:

THE ELEVATIONS SHOWN ON THIS SURVEY ARE BASED UPON THE CITY OF OAKLAND DATUM, CITY BENCHMARK NO. 270 BEING A BRASS PIN SET IN THE BACK OF THE CONCRETE SIDEWALK AT THE NORTHWEST CORNER OF THE INTERSECTION OF 32ND AND PERALTA STREETS. ELEVATION TAKEN AS 12.173.

LEGAL DESCRIPTION:

PARCEL TWO - APN: 007-0594-008; COMMENCING AT A POINT IN THE WESTERLY LINE OF HOLLIS STREET, DISTANT THEREON 200 FEET SOUTHERLY FROM THE SOUTHERLY LINE OF "B" STREET, RUNNING THENCE WESTERLY 133 FEET; THENCE AT RIGHT ANGLES NORTHERLY 25 FEET; THENCE AT RIGHT ANGLES EASTERLY 133 FEET; THENCE AT RIGHT ANGLES SOUTHERLY 25 FEET TO THE POINT OF BEGINNING, BEING SUBDIVIDED A IN LOT NUMBER 8, BLOCK NUMBER 791, AS THE SAME IS DELINEATED AND SO DESIGNATED UPON A CERTAIN MAP ENTITLED, "MAP NO. 2 OF WATTS TRACT", FILED NOVEMBER 17, 1876, IN BLOCK 6, PAGE 13, IN THE COUNTY OF ALAMEDA COUNTY.

PARCEL THREE - APN: 007-0594-009; SUBDIVISIONS C AND D OF LOT 9, BLOCK 791, MAP NO. 2 OF WATTS TRACT, FILED NOVEMBER 17, 1876, MAP BOOK 6, PAGE 13, ALAMEDA COUNTY RECORDS.

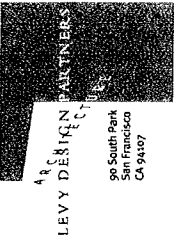
ABBREVIATIONS

AC	ASPHALT CONCRETE	FT	FEET	SOR35	STANDARD DIMENSIONAL RATIO 35
ADA	AMERICANS WITH DISABILITIES ACT	FW	FRONT OF WALK	SF	SQUARE FEET
APN	ASSESSOR'S PARCEL NUMBER	FWC	FACE OF WALL CONCRETE	SL	STREET LIGHT
APWA	AMERICAN PUBLIC WORKS ASSOCIATION	G	GAS	SLPB	STREET LIGHT PULL BOX
AVE	AVENUE	GB	GRADE BREAK	SP	SPECIFIC PLAN
BAQMD	BAY AREA AIR QUALITY MANAGEMENT	GV	GAS VALVE	SPEC	SPECIFICATION
DISTRICT	DISTRICT	HDPE	HIGH-DENSITY POLYETHYLENE	SSCO	SANITARY SEWER CLEAN OUT
BLDG	BUILDING	HWY	HIGHWAY	SSMH	SANITARY SEWER MANHOLE
BLVD	BOULEVARD	HYD	HYDRANT	ST	STREET
BK	BOOK	IE	INVERT ELEVATION	STD	STANDARD
BM	BENCHMARK	INV	INVERT	STLT	STREET LIGHT
BOP	BOTTOM OF PIPE	IV	IRRIGATION VALVE	SW	SIDEWALK
BSM	BIOTREATMENT SOIL MIX	JP	JOINT POLE	TM	TELEPHONE
C	CONCRETE	L	LENGTH	TBM	TEMPORARY BENCHMARK
CA	CALIFORNIA	L/S	LANDSCAPE	TC	TOP OF CURB
CASQA	CALIFORNIA STORMWATER QUALITY ASSOCIATION	LF	LINEAL FEET	TCO	TRAFFIC CONTROL DEVICE
CB	CATCH BASIN	LT	LIGHT	TEV	TELEPHONE VAULT
CCTV	CLOSED-CIRCUIT TELEVISION	LUM	LUMINAIRE	TL	TRAFFIC LIGHT
CL	CENTERLINE	MAX	MAXIMUM	TDE	TOE OF SLOPE
CLR	CLEAR	MH	MANHOLE	TOP	TOP OF SLOPE / TOP OF PIPE
COMM	COMMUNICATION	MIN	MINIMUM	TS	TRAFFIC SIGNAL
CONC	CONCRETE	MON	MONUMENT	TSPB	TRAFFIC SIGNAL PULL BOX
CVLT	COMMUNICATION VAULT	MTR	METER	TVL	TELEPHONE VAULT
DCV	DETECTOR CHECK VALVE	N	NORTH	TOW	TOP OF WALL
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY	NG	NATURAL GROUND	TYP	TYPICAL
DI	DROP INLET	N.I.C.	NOT IN CONTRACT	UE	UNDERGROUND ELECTRIC
DIA	DIAMETER	NO	NUMBER	UT	UTILITY
DWG	DRAWING	N.T.S.	NOT TO SCALE	UTIL	UTILITY
E	ELECTRIC / EAST	O.C.	ON CENTER	VAR	VARIABLE
EBMUD	EAST BAY MUNICIPAL UTILITY DISTRICT	OH	OVERHANG	VAT	VACUUM AIR TUBE
ECAB	ELECTRIC CABINET	P	PAVEMENT	VCP	VITRIFIED CLAY PIPE
EVLV	ELECTRIC VAULT	PB	PULL BOX	VL	VAULT
EX	EXISTING	PCC	PORTLAND CEMENT CONCRETE	W	WEST
FC	FIRE DEPARTMENT CONNECTION	PCE	PACIFIC GAS AND ELECTRIC	W/	WITH
FF	FINISHED FLOOR	PIV	POST INDICATOR VALVE	WM	WATER METER
FG	FINISHED GRADE	POC	POINT OF CONNECTION	WTR	WATER LINE
FH	FIRE HYDRANT	PP	POWER POLE	WV	WATER VALVE
FL	FLOW LINE	PVC	POLYVINYL CHLORIDE	WLT	WATER VAULT
FND	FOUND	RD	ROAD		
FOC	FACE OF CURB	RPPA	REDUCED PRESSURE PRINCIPLE ASSEMBLY		
FP	FIRE PROTECTION	S	SLOPE / SANITARY / SOUTH		
FS	FINISHED SURFACE	SAN	SANITARY SEWER PVC		
		SDMH	STORM DRAIN MANHOLE		



ENGINEERS NOTE TO THE CONTRACTOR:

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3245 HOLLIS STREET
OAKLAND, CA



3245 HOLLIS STREET
APN: 007-059400-800
APN: 007-059400-900
SAN FRANCISCO, CA
PROJECT NO. 2018-02

DATE	SET/ISSUE
07-20-2018	PLANNING RESUBMITTAL
03-05-2018	PLANNING SUBMITTAL

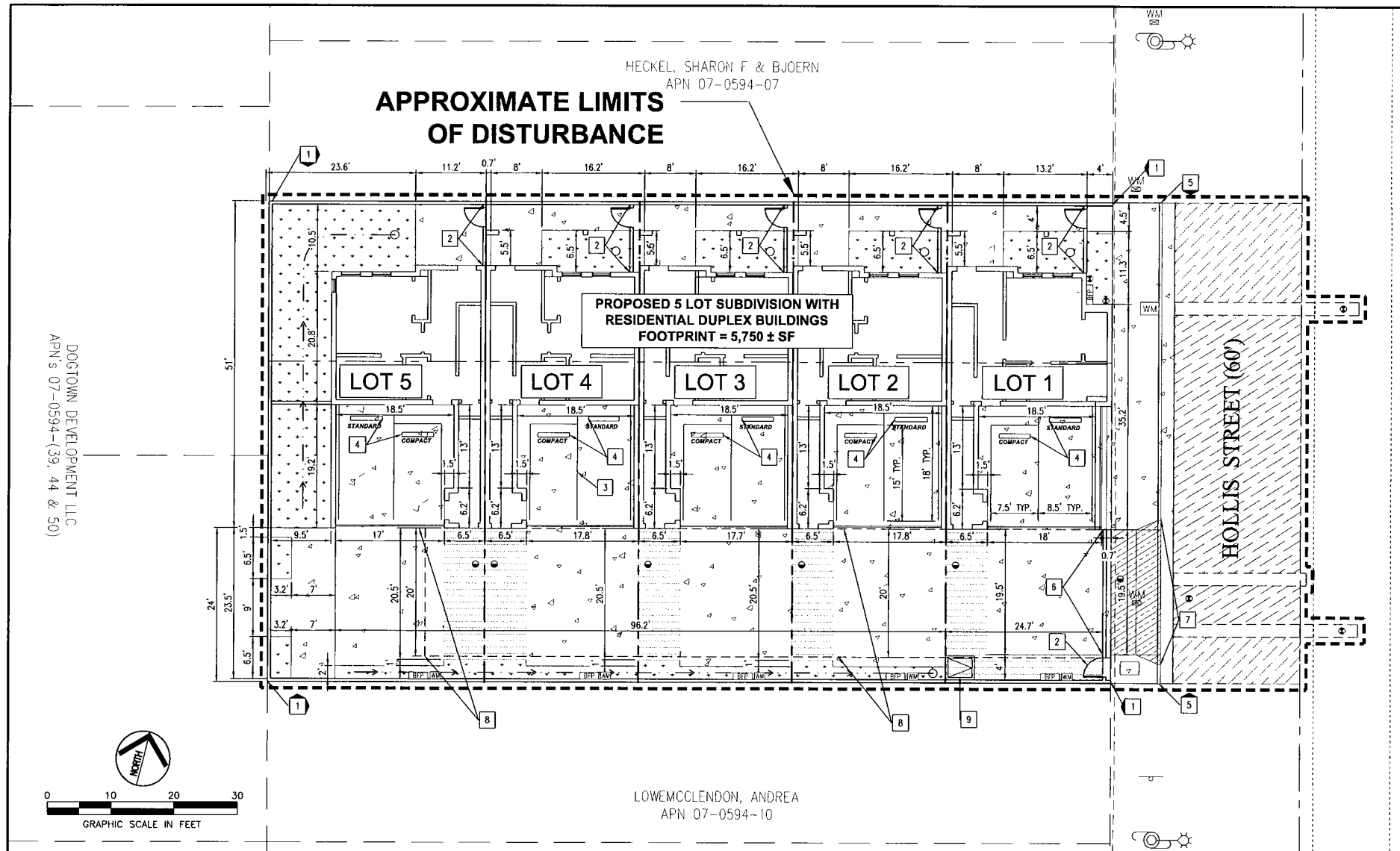
CONTACT: RECO PRIANTO

(510) 250-7877 P
(415) 260-2452 C

SCALE: AS NOTED

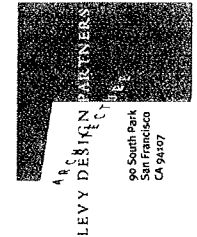
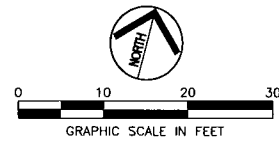
CIVIL TITLE SHEET

C0.1



PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SITE IMPROVEMENTS	---
---	1-FOOT CONTOUR	9
---	5-FOOT CONTOUR	10
WTR	POTABLE WATER LINE (PVC SCHEDULE 80)	WTR
FP	FIRE PROTECTION WATER LINE (PVC C-900 CLASS 200)	WTR
SS	SANITARY SEWER LINE	SAN
SD	STORM DRAIN LINE	SD
G	GAS LINE	G
UE	UNDERGROUND ELECTRIC	UE
---	UNDERGROUND DATA AND TELEPHONE LINE	---
---	FENCE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
○	TREE	○
□	STANDARD PCC PAVEMENT	□
□	TRENCH EXCAVATION LIMITS, REPLACE FULL DEPTH	□
□	HEAVY DUTY PCC PAVEMENT	□
□	NEW GRIND AND OVERLAY OF 2" AC	□
□	PROPOSED PERMEABLE PAVERS - SEE LANDSCAPE PLANS FOR COLOR, AND DETAILS.	□
□	PROPOSED LANDSCAPED AREA.	□
⊕	SIGN	⊕
⊕	WATER VALVE	⊕
⊕	FIRE HYDRANT	⊕
⊕	WATER METER OR BOX	⊕
⊕	ELECTRIC VAULT	⊕
⊕	SEWER MANHOLE	⊕
⊕	CLEANOUT	⊕
⊕	CATCH BASIN OR DRAIN INLET	⊕
⊕	GAS VALVE	⊕
⊕	LIGHT POLE AND UTILITY POLE	⊕
⊕	BACKFLOW PREVENTER	⊕
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⊕	PROPOSED TRANSFORMER IN UNDERGROUND VAULT	⊕

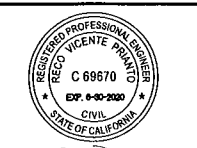
DOGTOWN DEVELOPMENT LLC
APN's 07-0594-(39, 44 & 50)



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SCALE: AS NOTED

PRELIMINARY SITE
PAVING AND
LAYOUT PLAN

C1.1

GENERAL NOTES:

- ALL CURBS ARE PCC VERTICAL BARRIER CURB 6" UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ALAMEDA COUNTY AND CITY OF OAKLAND STANDARDS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

ENGINEER'S ADA NOTES:

- ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CURRENT AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE AMERICANS WITH DISABILITIES ACT (ADA), AND MUNICIPAL AND STATE ADA REGULATIONS.
- RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
 - RAMPS ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 (5%) AND 1:12 (8.33%) AND SHALL HAVE A MINIMUM WIDTH OF 3 FEET (EXCEPT AT DOORWAYS) AND A MAXIMUM CROSS-SLOPE OF 2% (EXCEPT AT DOORWAYS). RAMPINGS EXCEEDING 30 INCHES VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2% MAX SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN THE DIRECTION OF TRAVEL OF 60 INCHES.
 - MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
 - TRUNCATED DOMES AS DETECTABLE WARNINGS ARE REQUIRED ON ALL WALKS THAT CROSS OR ADJOIN A VEHICULAR WAY WITHOUT A VERTICAL SEPARATION BETWEEN WALKWAY AND VEHICULAR WAY.
 - ANY REQUEST BY A MUNICIPALITY OR INSPECTOR TO MODIFY THE ACCESSIBILITY DETAILS OR DESIGN SHOWN ON THESE PLANS AND SPECIFICATIONS MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. ANY CHANGES MADE BY A PRIMARY OR SUB-CONTRACTOR WITHOUT APPROVAL FROM THE ENGINEER AND LATER FOUND TO BE NON-COMPLIANT WITH THE DETAILS AS SHOWN IN THESE PLANS AND SPECIFICATIONS AND FEDERAL, STATE AND LOCAL LAW WILL BE REMOVED AND REPLACED AND MADE FULLY COMPLIANT REGARDLESS OF MAGNITUDE AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL FOLLOW THE RFI PROCESS IN ESTABLISHING THE APPROVAL OR DENIAL OF CHANGES TO ADA RELATED DETAILS OR MOUNTING DIMENSIONS.
 - 1/8" MAXIMUM DEPTH TO TOP OF SEALANT AND 1/8" MAXIMUM PROTRUSION TO TOP OF SEALANT ALONG ADA ACCESS ROUTES.

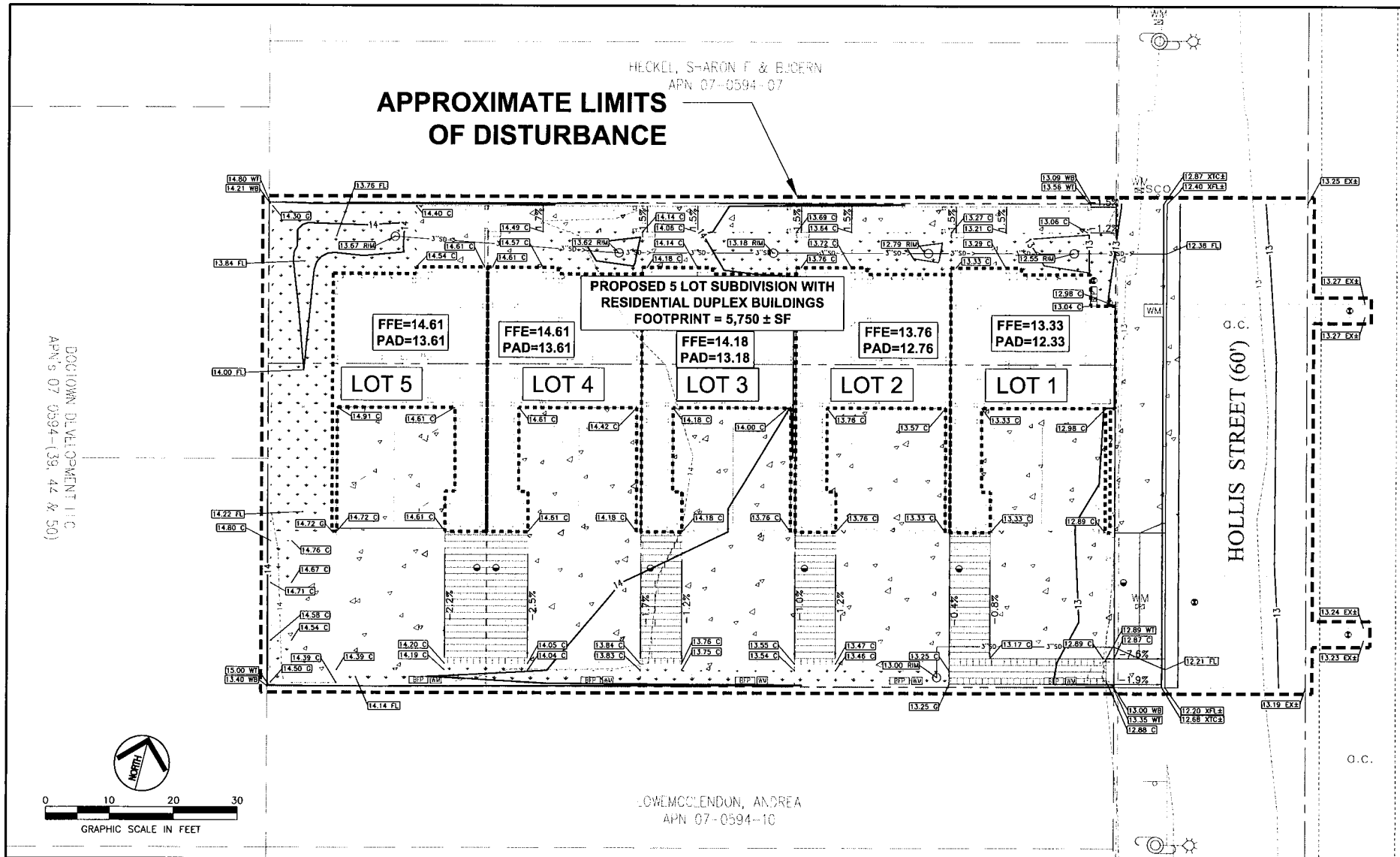
SITE PLAN KEY NOTES

- PROPOSED RETAINING WALL. SEE GRADING PLAN FOR HEIGHT.
- PROPOSED FENCE AND PEDESTRIAN SWING GATE. SEE ARCHITECTURAL PLANS FOR DETAIL.
- PROPOSED 4" WIDE PARKING STRIPE. TRAFFIC WHITE PAINT. MINIMUM TWO COATS.
- PROPOSED CONCRETE WHEEL STOP.
- PROPOSED TYPE "A" CURB AND GUTTER PER CITY OF OAKLAND STANDARD.
- PROPOSED FENCE AND VEHICLE GATE. SEE ARCHITECTURAL PLANS.
- PROPOSED DRIVEWAY PER CITY OF OAKLAND STANDARD.
- PROPOSED 20' WIDE UTILITY EASEMENT
- PROPOSED TRANSFORMER IN UNDERGROUND VAULT. SEE ON-SITE ELECTRICAL PLANS AND P&B PLANS FOR DETAILS.



ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.



PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SITE IMPROVEMENTS	---
---	1-FOOT CONTOUR	9
---	5-FOOT CONTOUR	10
WTR	POTABLE WATER LINE (PVC SCHEDULE 80)	WTR
FP	FIRE PROTECTION WATER LINE (PVC C-900 CLASS 200)	WTR
SS	SANITARY SEWER LINE	SS
SD	STORM DRAIN LINE	SD
C	GAS LINE	G
UE	UNDERGROUND ELECTRIC	UE
	UNDERGROUND DATA AND TELEPHONE LINE	UT
---	FENCE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
○	TREE	○
□	STANDARD PCC PAVEMENT	
□	TRENCH EXCAVATION LIMITS, REPLACE FULL DEPTH	
□	HEAVY DUTY PCC PAVEMENT	
□	NEW GRIND AND OVERLAY OF 2" AC	
□	PROPOSED PERMEABLE PAVERS - SEE LANDSCAPE PLANS FOR COLOR, AND DETAILS.	
□	PROPOSED LANDSCAPED AREA	
○	SIGN	
○	WATER VALVE	
○	FIRE HYDRANT	
○	WATER METER OR BOX	
○	ELECTRIC VAULT	
○	SEWER MANHOLE	
○	CLEANOUT	
○	CATCH BASIN OR DRAIN INLET	
○	GAS VALVE	
○	LIGHT POLE AND UTILITY POLE	
○	BACKFLOW PREVENTER	
○	PROPOSED DRAINAGE SWALE	
○	PROPOSED TRANSFORMER IN UNDERGROUND VAULT	

SPOT GRADING LEGEND	
---X---	INDICATES ELEVATION TO MATCH EXISTING ITEM
---TC---	INDICATES ELEVATION AT TOP OF CURB
---FG---	INDICATES ELEVATION AT FINISHED GROUND
---C---	INDICATES ELEVATION AT TOP OF CONCRETE
---FL---	INDICATES FLOWLINE ELEVATION OF PIPE, SWALE, OR CUTTER
---RM---	INDICATES RIM ELEVATION OF UTILITY
---P---	INDICATES ELEVATION AT TOP OF ASPHALT PAVEMENT
---WB---	INDICATES ELEVATION AT BOTTOM OF WALL
---WT---	INDICATES ELEVATION AT TOP OF WALL
---FF---	INDICATES ELEVATION AT FLOOR FINISH
1.5%	DRAINAGE ARROW AND PROPOSED SLOPE

----- PROPOSED BUILDING FINISH FLOOR ELEVATION BOUNDARY

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- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

GRADING NOTES:

- ALL GRADE BREAKS SHALL BE CONSTRUCTED AS A VERTICAL CURVE TO AVOID ANY DEFINED CRESTS OR SUMPS.

PAVEMENT ELEVATION NOTE:

UNLESS OTHERWISE NOTED, PAVEMENT ELEVATION (P) IS 6" BELOW THE TOP OF CURB (TC) ELEVATION.

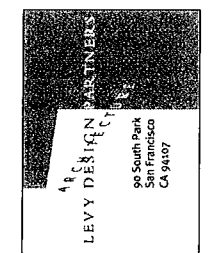
PRELIMINARY EARTHWORK:

TOTAL CUT TO FFE	=	26 CY
TOTAL FILL TO FFE	=	53 CY
NET (EXPORT/IMPORT)	=	27 CY (IMPORT)



ENGINEERS NOTE TO THE CONTRACTOR:

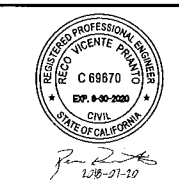
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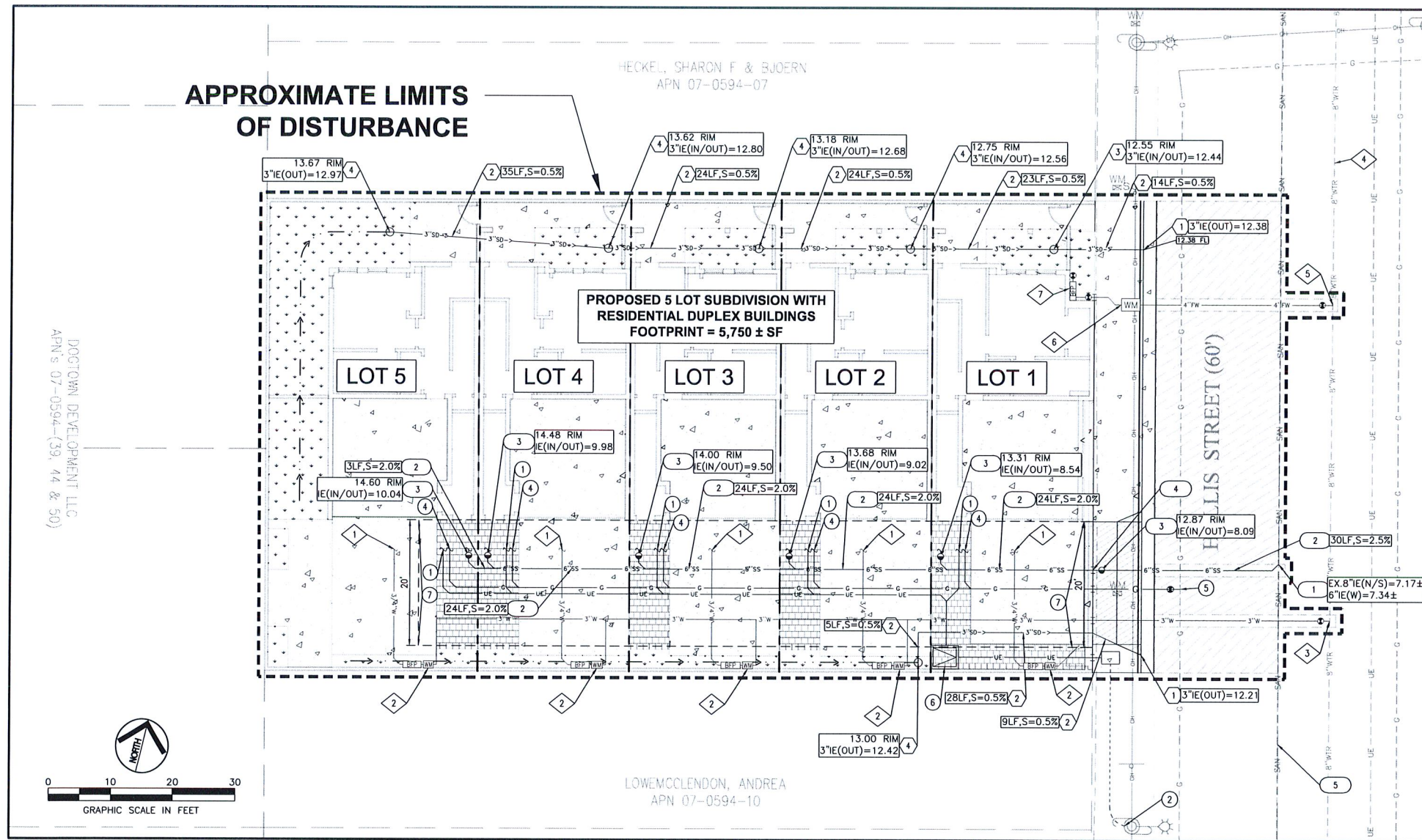
CONTACT: RECO PRIANTO

(510) 250-7877 P
(415) 260-2452 C

SCALE: AS NOTED

PRELIMINARY GRADING AND DRAINAGE PLAN

C2.1



PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SITE IMPROVEMENTS	---
---	1-FOOT CONTOUR	9
---	5-FOOT CONTOUR	10
WTR	POTABLE WATER LINE (PVC SCHEDULE 80)	WTR
FP	FIRE PROTECTION WATER LINE (PVC C-900 CLASS 200)	WTR
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UE	UNDERGROUND ELECTRIC	UE
---	UNDERGROUND DATA AND TELEPHONE LINE	UT
---	FENCE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
○	TREE	○
---	STANDARD PCC PAVEMENT	---
---	TRENCH EXCAVATION LIMITS, REPLACE FULL DEPTH	---
---	HEAVY DUTY PCC PAVEMENT	---
---	NEW GRIND AND OVERLAY OF 2" AC	---
---	PROPOSED PERMEABLE PAVERS - SEE LANDSCAPE PLANS FOR COLOR, AND DETAILS.	---
---	PROPOSED LANDSCAPED AREA.	---
○	SIGN	○
○	WATER VALVE	○
○	FIRE HYDRANT	○
○	WATER METER OR BOX	○
○	ELECTRIC VAULT	○
○	SEWER MANHOLE	○
○	CLEANOUT	○
○	CATCH BASIN OR DRAIN INLET	○
○	GAS VALVE	○
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- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

UTILITY PLAN NOTES:

- SEE SHEET C4.0 AND C4.1 - STORM WATER CONTROL PLAN FOR ADDITIONAL STORM DRAIN UTILITY DESIGN INFORMATION.
- EXISTING OFF-SITE UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON RECORD DRAWINGS OR AS-BUILT INFORMATION.
- LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED AND ARE SHOWN BASED ON LOCATIONS OF EXISTING VISIBLE UTILITY STRUCTURES SURVEYED IN THE FIELD. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

UNDERGROUND UTILITY NOTE:

THE TYPES, LOCATIONS, SIZES AND/OR DEPTH OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

SANITARY SEWER KEY NOTES

- CONNECT PROPOSED SANITARY SEWER TO SERVICE LATERAL STUB. SIZE AND INVERT PER PLAN. SEE ONSITE PLUMBING PLANS FOR CONTINUATION.
- PROPOSED VCP SANITARY SEWER SERVICE PIPE. SIZE, LENGTH AND SLOPE PER PLAN. TRENCH AND BACKFILL PER CITY OF OAKLAND STD. DWG. D-22.
- PROPOSED TWO-WAY SANITARY SEWER CLEANOUT PER CITY OF OAKLAND STD. DWG. D-24. RIM AND INVERT PER PLAN.
- PROPOSED SANITARY SEWER STUB AT PROPERTY LINE, INVERT ELEVATION PER PLAN.
- CONTRACTOR TO PROTECT EXISTING SEWER LINE TO REMAIN.

WATER KEY NOTES

- CONNECT PROPOSED 3/4" DOMESTIC WATER SERVICE TO BUILDING SERVICE STUB. SEE ONSITE PLUMBING PLANS FOR CONTINUATION.
- PROPOSED 4" DOMESTIC WATER METER AND VAULT PER EBMUD STANDARD DRAWING 3602-B-2.
- CONNECT 4" DOMESTIC WATER SERVICE TO EXISTING WATER MAIN PER EBMUD STANDARD DRAWING 3684-B. SIZE AND LENGTH PER PLAN. TRENCH AND BACKFILL PER EBMUD STANDARD DRAWING 1992-A.
- CONTRACTOR TO PROTECT EXISTING WATER LINE TO REMAIN.
- CONNECT FIRE SERVICE TO EXISTING WATER MAIN PER EBMUD STANDARD DRAWING 3684-B. TRENCH AND BACKFILL PER EBMUD STANDARD DRAWING 1992-A.
- PROPOSE UNDERGROUND SINGLE DETECTOR CHECK WITH METER ASSEMBLY PER EBMUD STANDARD DRAWING 3684-B AND 314-EA.
- POINT OF CONNECTION FOR PROPOSED FIRE WATER SERVICE. SEE ONSITE PLUMBING PLANS FOR REQUIRED BACKFLOW PREVENTION DEVICE PER EBMUD STANDARD DETAIL 1931-A-1.

NOTE: EBMUD TO PERFORM ALL WATER LINE CONSTRUCTION IN THE PUBLIC ROW, UNLESS OTHERWISE NOTED.

STORM DRAIN KEY NOTES

- CONNECT PROPOSED STORM DRAIN TO XXX. RIM, INVERT, AND PIPE SIZE PER PLAN.
- PROPOSED STORM DRAIN PIPE. SIZE, LENGTH AND SLOPE PER PLAN.
- PROPOSED STORM DRAIN INLET. RIM AND INVERT PER PLAN.
- PROPOSED LANDSCAPE AREA DRAIN INLET. RIM AND INVERT PER PLAN.
- PROPOSED STORM DRAIN CLEAN-OUT. RIM AND INVERT PER PLAN.

DRY UTILITY KEY NOTES

- PROPOSED ELECTRICAL SERVICE CONDUITS AND ELECTRICAL METER TO BUILDING. SEE ONSITE ELECTRICAL PLANS AND PG&E PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS.
- CONNECT PROPOSED ELECTRICAL SERVICE CONDUITS TO EXISTING ELECTRICAL UTILITY IN PUBLIC SIDEWALK. SEE PG&E PLANS FOR DETAILS.
- PROPOSED DATA AND TELEPHONE PVC SERVICE CONDUITS TO BUILDING. SEE ONSITE ELECTRICAL PLANS AND DATA PROVIDER PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS.
- PROPOSED GAS METER ON SIDE OF BUILDING. SEE ONSITE GAS PLANS AND PG&E PLANS FOR CONNECTION AND DETAILS.
- CONNECT PROPOSED GAS SERVICE AND GAS VALVE TO EXISTING GAS LINE IN PUBLIC ROADWAY. SEE PG&E PLANS FOR DETAILS.
- PROPOSED TRANSFORMER IN UNDERGROUND VAULT. SEE ON-SITE ELECTRICAL PLANS AND PG&E PLANS FOR DETAILS.
- PROPOSED 20' UTILITY EASEMENT

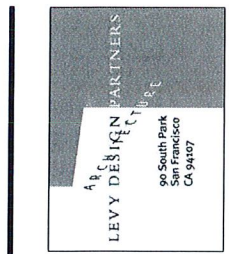
CALL 811 OR 1-800-227-2600



WWW.USANORTH.ORG
CALL TWO WORKING DAYS BEFORE YOU DIG

ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.



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OAKLAND, CA



3245 HOLLIS STREET
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APN: 007-059400-900
SAN FRANCISCO, CA
PROJECT NO. 2018-02

DATE	SET ISSUE
07-20-2018	PLANNING RESUBMITTAL
03-05-2018	PLANNING SUBMITTAL

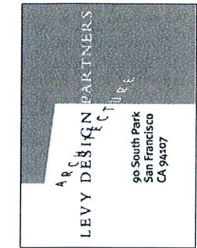
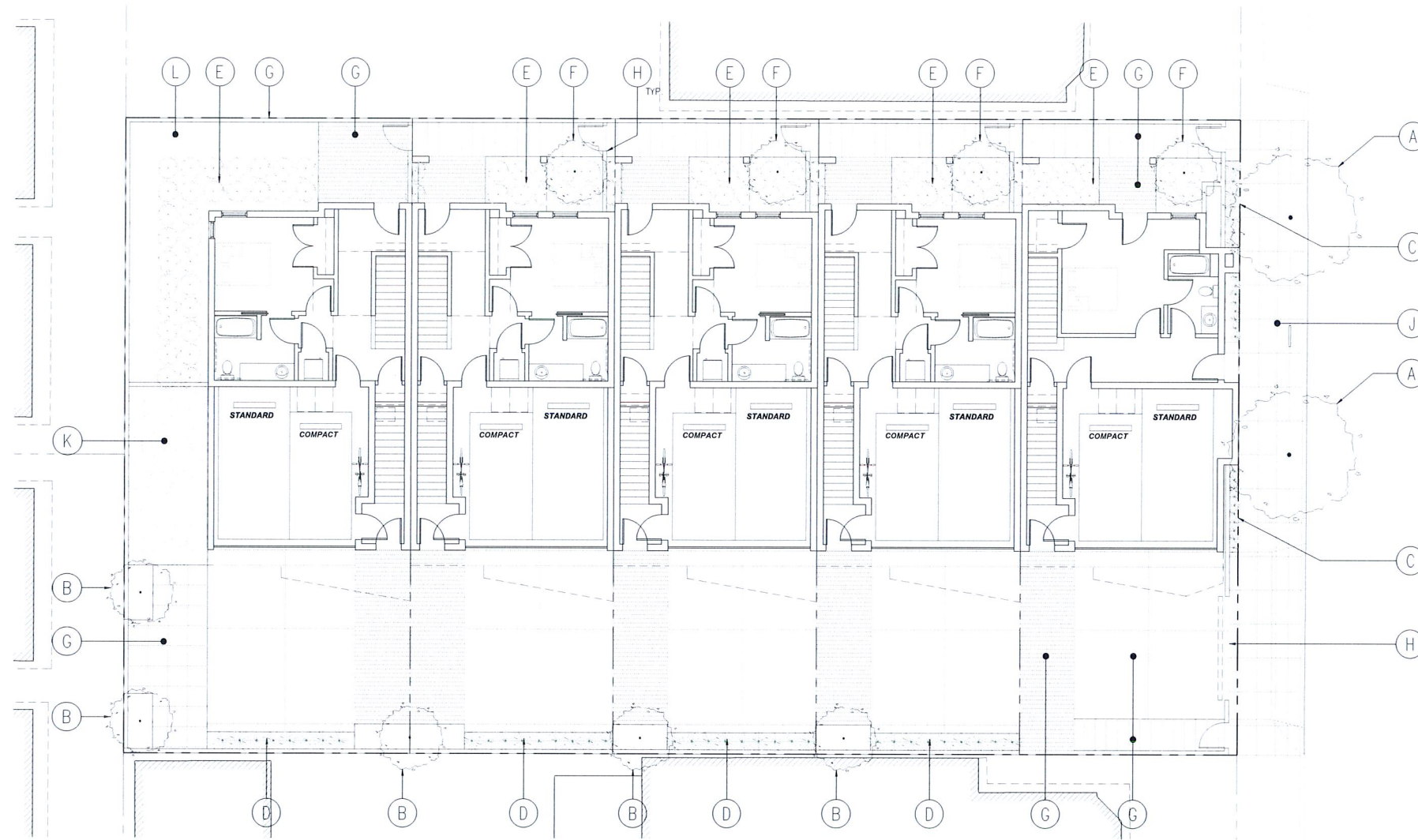
CONTACT: RECO PRIANTO

(510) 250-7877 P
(415) 260-2452 C

SCALE: AS NOTED

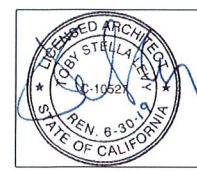
PRELIMINARY
UTILITY PLAN

C3.0



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**3245 HOLLIS STREET
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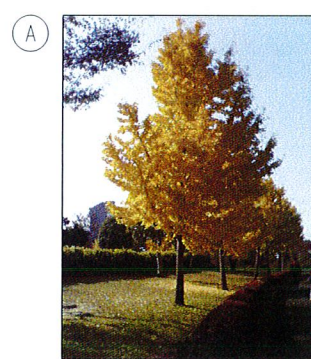
CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

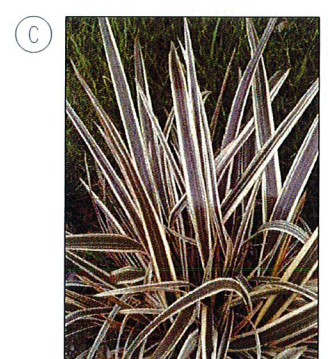
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LANDSCAPE PLAN

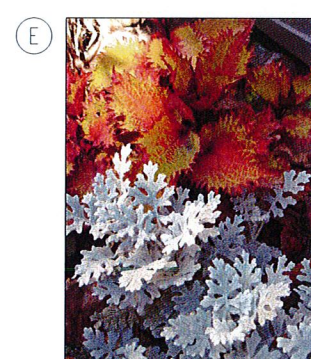
L2.1



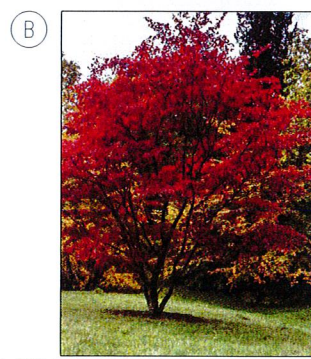
A GINKGO BILOBA 'PRINCETON SENTRY'
36" BOX



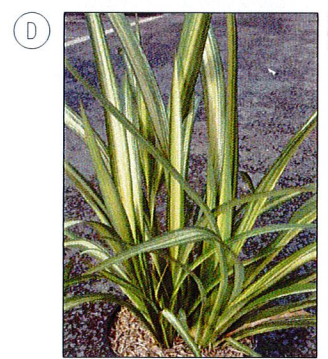
C PHORMIUM 'ALISON BLACKMAN'
NEW ZEALAND FLAX
5 GALLON



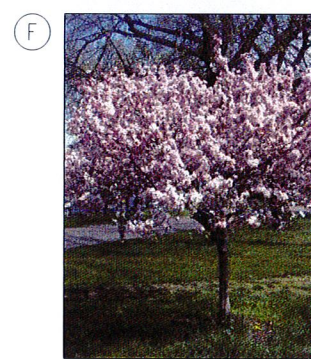
E COLEUS &
JACOBAEA MARITIMA 'DUSTY MILLER'



B ACER PALMATUM
JAPANESE MAPLE
24" BOX



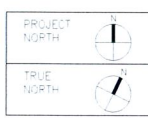
D PHORMIUM 'GOLDEN RAY'
NEW ZEALAND FLAX
5 GALLON

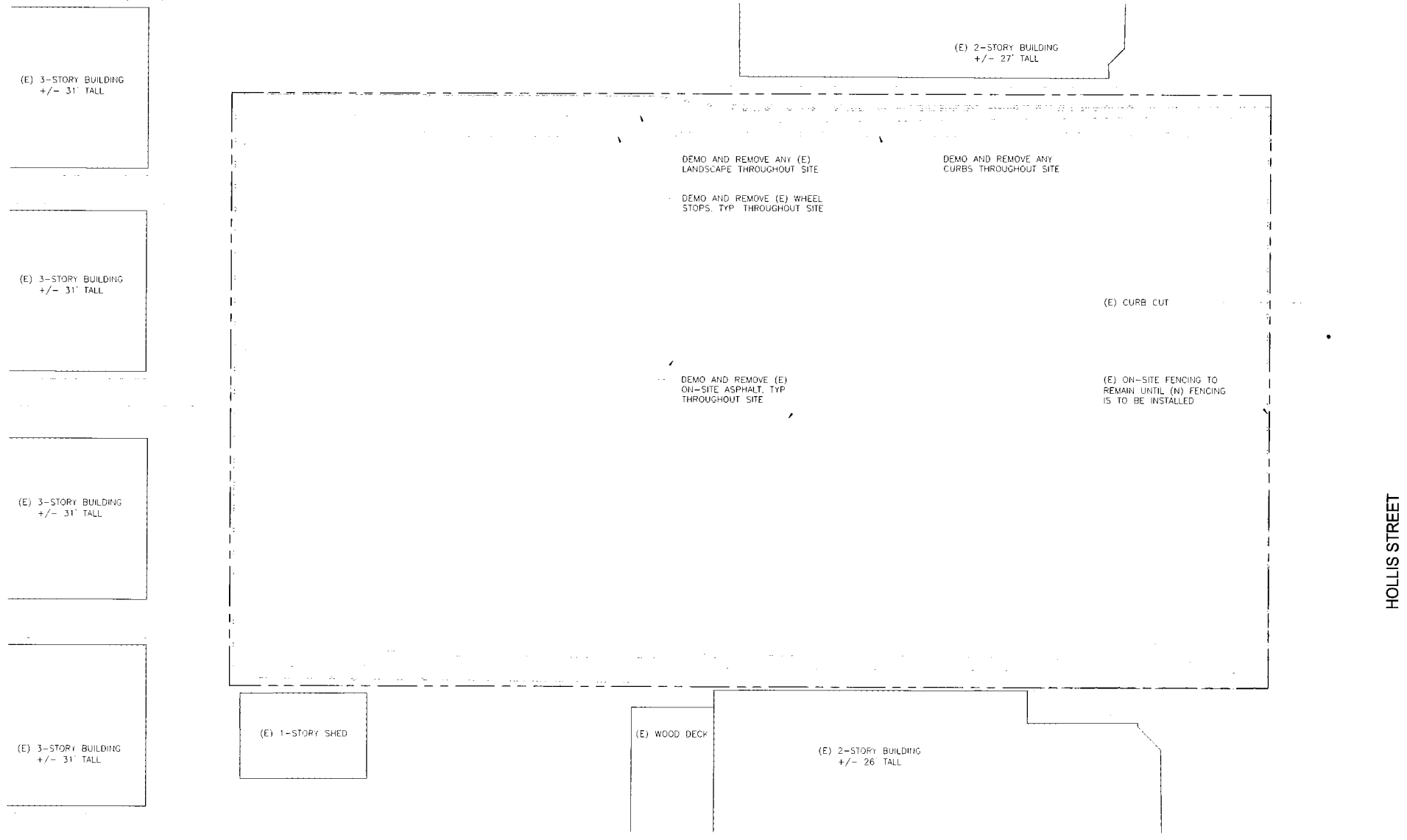


F CHERRY TREE
24" BOX

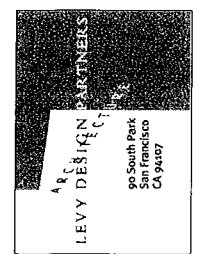
- G** STAMPED CONCRETE
- H** 6'-0" TALL FENCING WITH PEDESTRIAN AND VEHICULAR GATE
- J** CITY STANDARD SIDEWALK
- K** DG MULCH
- L** MULCH

1 LANDSCAPE PLAN
1/8" = 1'-0"



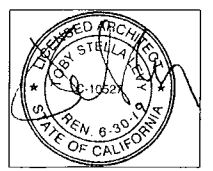


- SITE PLAN DEMO: GENERAL NOTES**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND/OR PROTECTION OF THE EXISTING ITEMS AS NOTED IN THIS PLAN
 2. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES
 3. CONTRACTOR IS TO DISPOSE OF ALL MATERIAL RESULTING FROM PREVIOUS AND CURRENT DEMOLITION IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL LAWS
 4. THE CONTRACTOR IS CAUTIONED TO LOCATE ALL EXISTING UTILITIES AND CONFLICTS. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY CONSTRUCTION ACTIVITY IN ORDER TO FIELD VERIFY EXISTING UTILITY INFORMATION
 5. LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR. PROTECT ALL EXISTING UTILITIES IN PLACE
 6. CONTRACTOR TO CAP EXISTING WATER LINES AT THE PROPERTY LINE FOR FUTURE USE. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH AND PROVIDE TO ENGINEER
 7. CONTRACTOR TO PROTECT EXISTING STREET LIGHTS & POSTS, TRAFFIC SIGNALS & POSTS, TRAFFIC CONTROL DEVICES, SIGNS AND UTILITY BOXES IN THE SIDEWALK, UNLESS OTHERWISE NOTED
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DEMOLITION PERMITS AS REQUIRED FROM THE CITY OF OAKLAND, OR ANY OTHER AGENCY HAVING JURISDICTION



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07-28-2018	PLANNING RE-SUBMITTAL

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

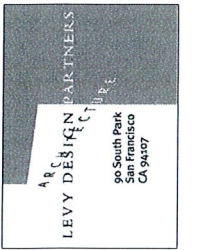
SCALE: AS NOTED

SITE PLAN:
DEMO

A1.0

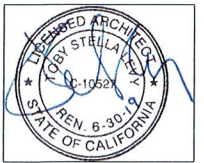
SITE PLAN PROPOSED: GENERAL NOTES

- SEE CIVIL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE A0.2 FOR ACCESS AND EGRESS INFORMATION
- SEE A2 SERIES FOR OVERALL FLOOR PLANS
- SEE A5 SERIES FOR ENLARGED UNIT PLANS
- DIMENSIONS SHOWN HERE ARE PROVIDED TO SHOW SETBACK INFORMATION ONLY. SEE FLOOR PLANS FOR ADDITIONAL BUILDING DIMENSIONS



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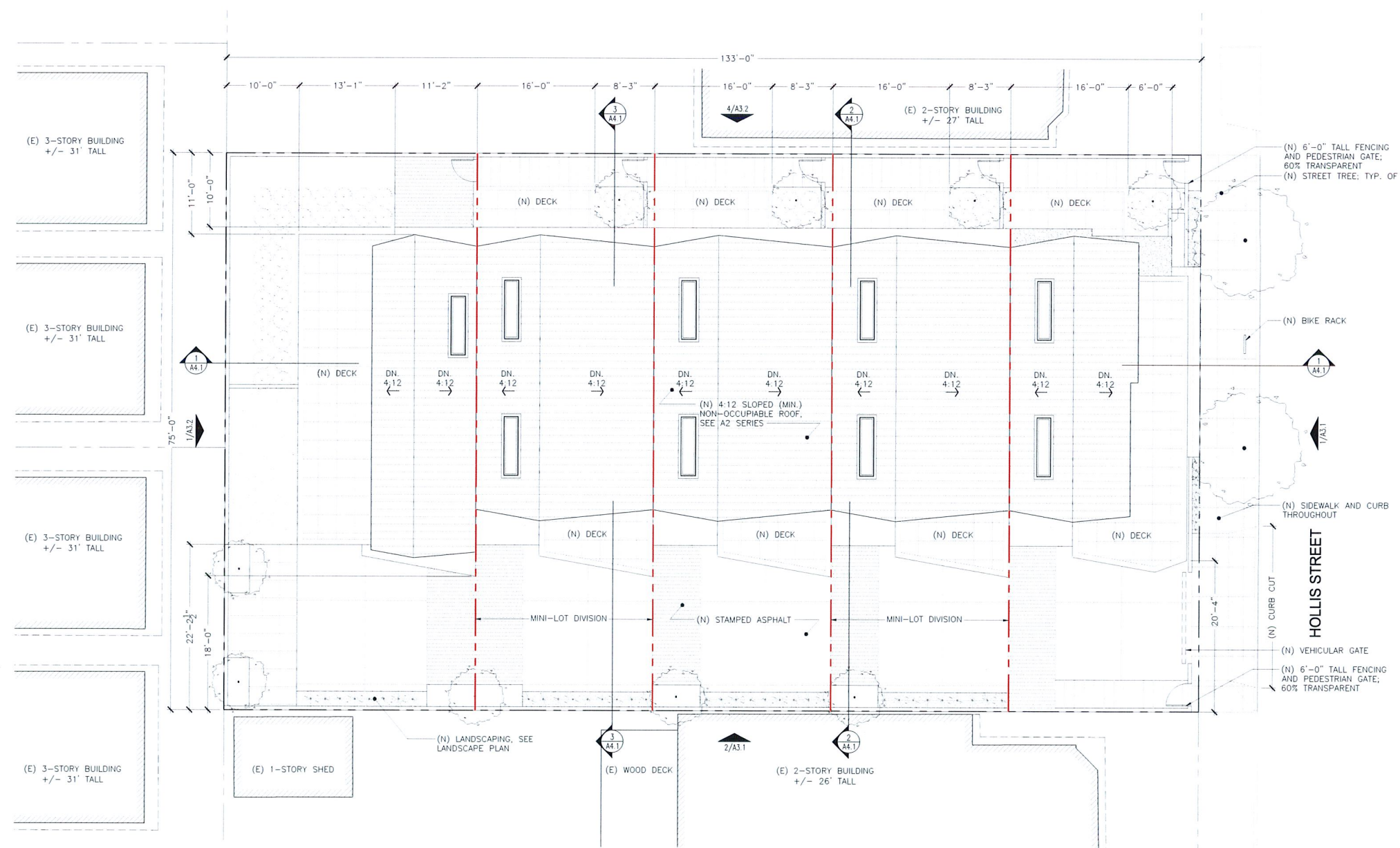
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SCALE: AS NOTED

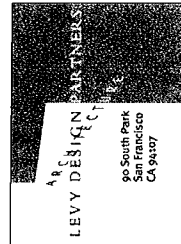
**SITE PLAN:
 PROPOSED**

A1.1



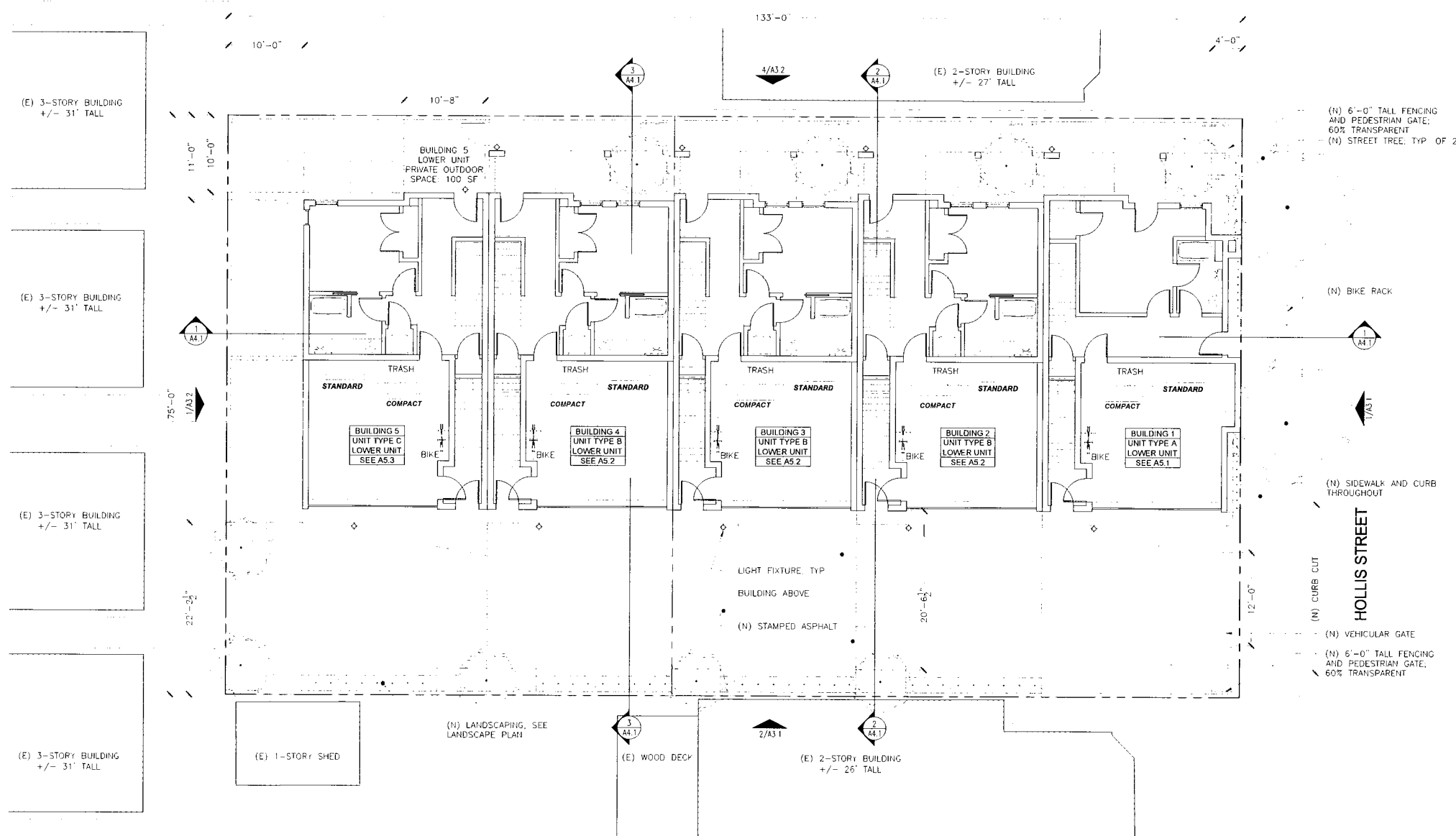
1 SITE PLAN: PROPOSED
 1/8" = 1'-0"



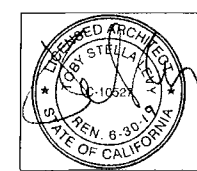


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- PLAN NOTES**
- MINI-LOT LOT IS DIVIDED INTO 5 MINI-LOTS SEE SITE PLAN FOR CAL OUT OF DIVISION LINES
 - OPEN SPACE
 - BUILDINGS 1-4
 - LOWER LEVEL UNIT: 75 SF DECK ON 2ND FLOOR. NO DIMENSION LESS THAN 5'-0"
 - UPPER LEVEL UNIT: 75 SF DECK ON 4TH FLOOR. NO DIMENSION LESS THAN 5'-0"
 - BUILDINGS 5
 - LOWER LEVEL UNIT: 100 SF ON GROUND FLOOR. NO DIMENSION LESS THAN 10'-0"
 - UPPER LEVEL UNIT: 350 SF DECK ON 4TH FLOOR. NO DIMENSION LESS THAN 5'-0"
 - CAR PARKING
 - BUILDINGS 1-5
 - 1 PARKING SPACE PROVIDED PER UNIT
 - BIKE PARKING
 - SHORT TERM
 - 1 BIKE RACK PROVIDED ON SIDEWALK
 - LONG TERM
 - NO SPACE REQUIRED WITH PRIVATE GARAGES



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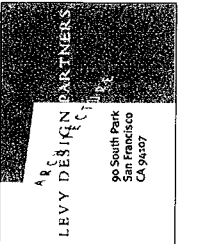
SCALE: AS NOTED

FLOOR PLAN:
 1ST FLOOR

A2.1

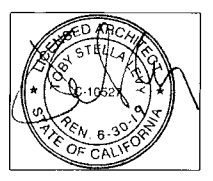
1 PLAN: 1ST FLOOR
 1/8" = 1'-0"

- PLAN NOTES**
- MINI-LOT LOT IS DIVDED INTO 5 MINI-LOTS
SEE SITE PLAN FOR CAL OUT OF DIVISION LINES
 - OPEN SPACE
BUILDINGS 1-4
 - LOWER LEVEL UNIT: 75 SF DECK ON 2ND FLOOR, NO DIMENSION LESS THAN 5'-0"
 - UPPER LEVEL UNIT: 75 SF DECK ON 4TH FLOOR, NO DIMENSION LESS THAN 5'-0"**BUILDINGS 5**
 - LOWER LEVEL UNIT: 100 SF ON GROUND FLOOR, NO DIMENSION LESS THAN 10'-0"
 - UPPER LEVEL UNIT: 350 SF DECK ON 4TH FLOOR, NO DIMENSION LESS THAN 5'-0"
 - CAR PARKING
BUILDINGS 1-5
 - 1 PARKING SPACE PROVIDED PER UNIT
 - BIKE PARKING
SHORT TERM
 - 1 BIKE RACK PROVIDED ON SIDEWALK**LONG TERM**
 - NO SPACE REQUIRED WITH PRIVATE GARAGES



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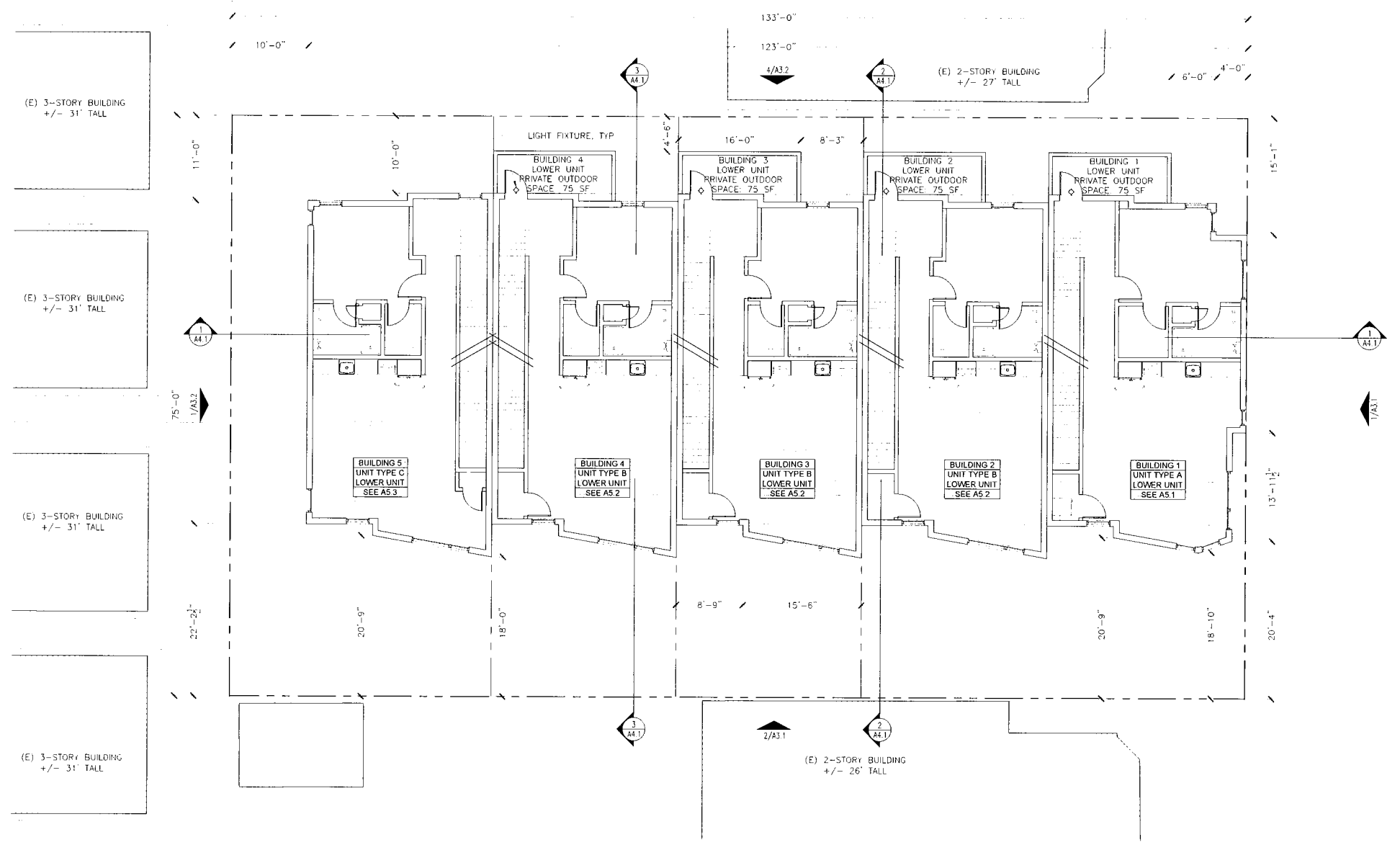
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SCALE: AS NOTED

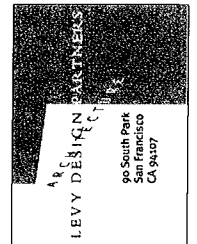
FLOOR PLAN:
 2ND FLOOR

A2.2



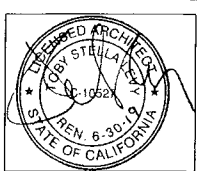
1 PLAN: 2ND FLOOR
 1/8" = 1'-0"

- PLAN NOTES**
1. MINI-LOT, LOT IS DIVIDED INTO 5 MINI-LOTS
SEE SITE PLAN FOR CAL OUT OF DIVISION LINES
 2. OPEN SPACE
 - BUILDINGS 1-4**
 - LOWER LEVEL UNIT: 75 SF DECK ON 2ND FLOOR; NO DIMENSION LESS THAN 5'-0"
 - UPPER LEVEL UNIT: 75 SF DECK ON 4TH FLOOR; NO DIMENSION LESS THAN 5'-0"
 - BUILDINGS 5**
 - LOWER LEVEL UNIT: 100 SF ON GROUND FLOOR; NO DIMENSION LESS THAN 10'-0"
 - UPPER LEVEL UNIT: 350 SF DECK ON 4TH FLOOR; NO DIMENSION LESS THAN 5'-0"
 3. CAR PARKING
 - BUILDINGS 1-5**
 - 1 PARKING SPACE PROVIDED PER UNIT
 4. BIKE PARKING
 - SHORT TERM**
 - 1 BIKE RACK PROVIDED ON SIDEWALK
 - LONG TERM**
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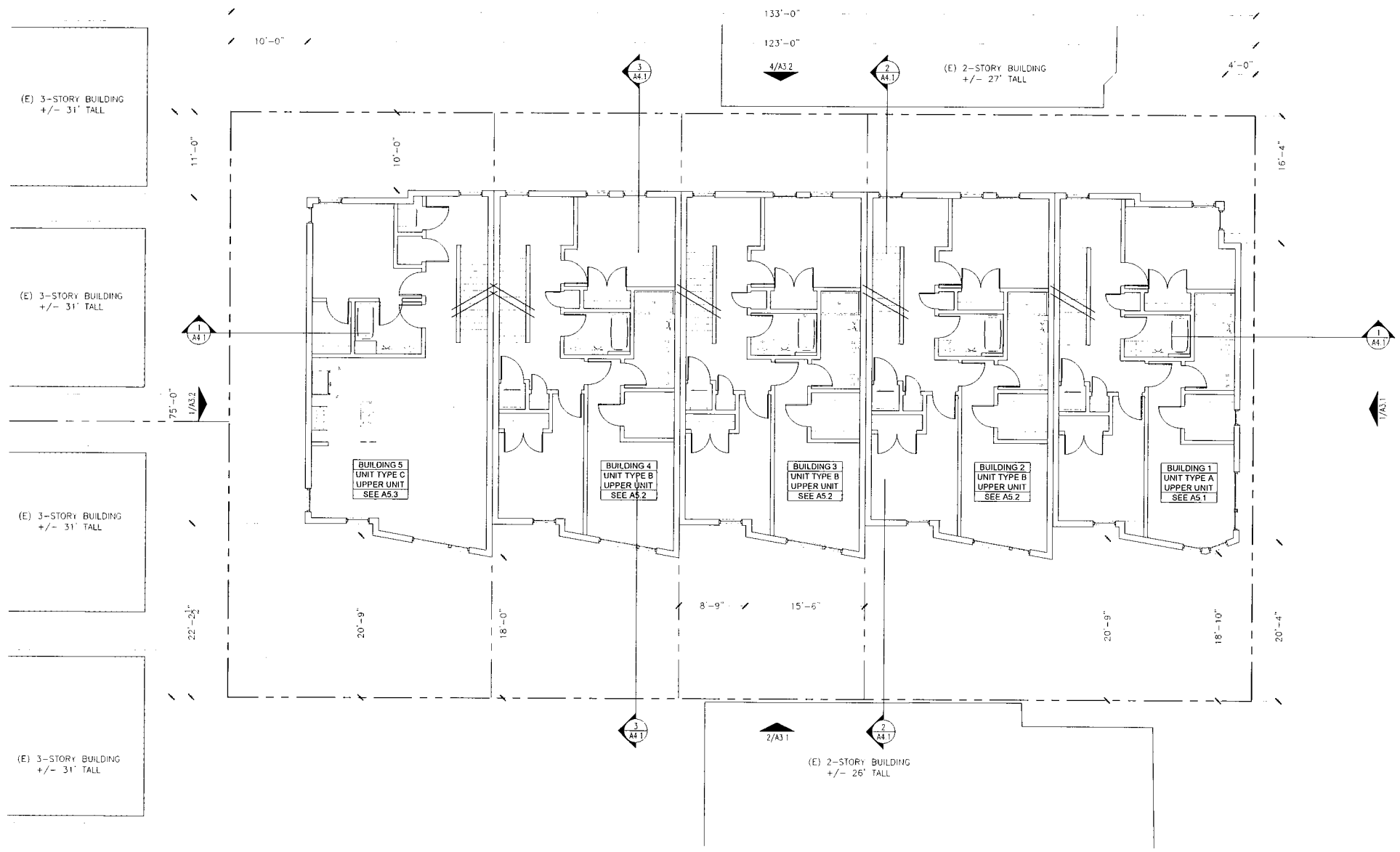
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SCALE: AS NOTED

FLOOR PLAN:
3RD FLOOR

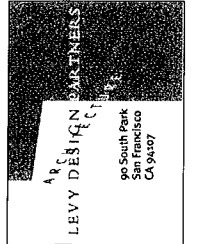
A2.3



1 PLAN: 3RD FLOOR
1/8" = 1'-0"

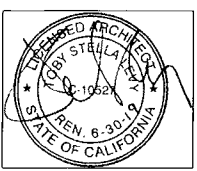
PLAN NOTES

1. MINI-LOT, LOT IS DIVIDED INTO 5 MINI-LOTS
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2. OPEN SPACE
 BUILDINGS 1-4
 - LOWER LEVEL UNIT: 75 SF DECK ON 2ND FLOOR, NO DIMENSION LESS THAN 5'-0"
 - UPPER LEVEL UNIT: 75 SF DECK ON 4TH FLOOR, NO DIMENSION LESS THAN 5'-0"
 BUILDINGS 5
 - LOWER LEVEL UNIT: 100 SF ON GROUND FLOOR, NO DIMENSION LESS THAN 10'-0"
 - UPPER LEVEL UNIT: 350 SF DECK ON 4TH FLOOR, NO DIMENSION LESS THAN 5'-0"
3. CAR PARKING
 BUILDINGS 1-5
 - 1 PARKING SPACE PROVIDED PER UNIT
4. BIKE PARKING
 SHORT TERM
 - 1 BIKE RACK PROVIDED ON SIDEWALK
 LONG TERM
 - NO SPACE REQUIRED WITH PRIVATE GARAGES



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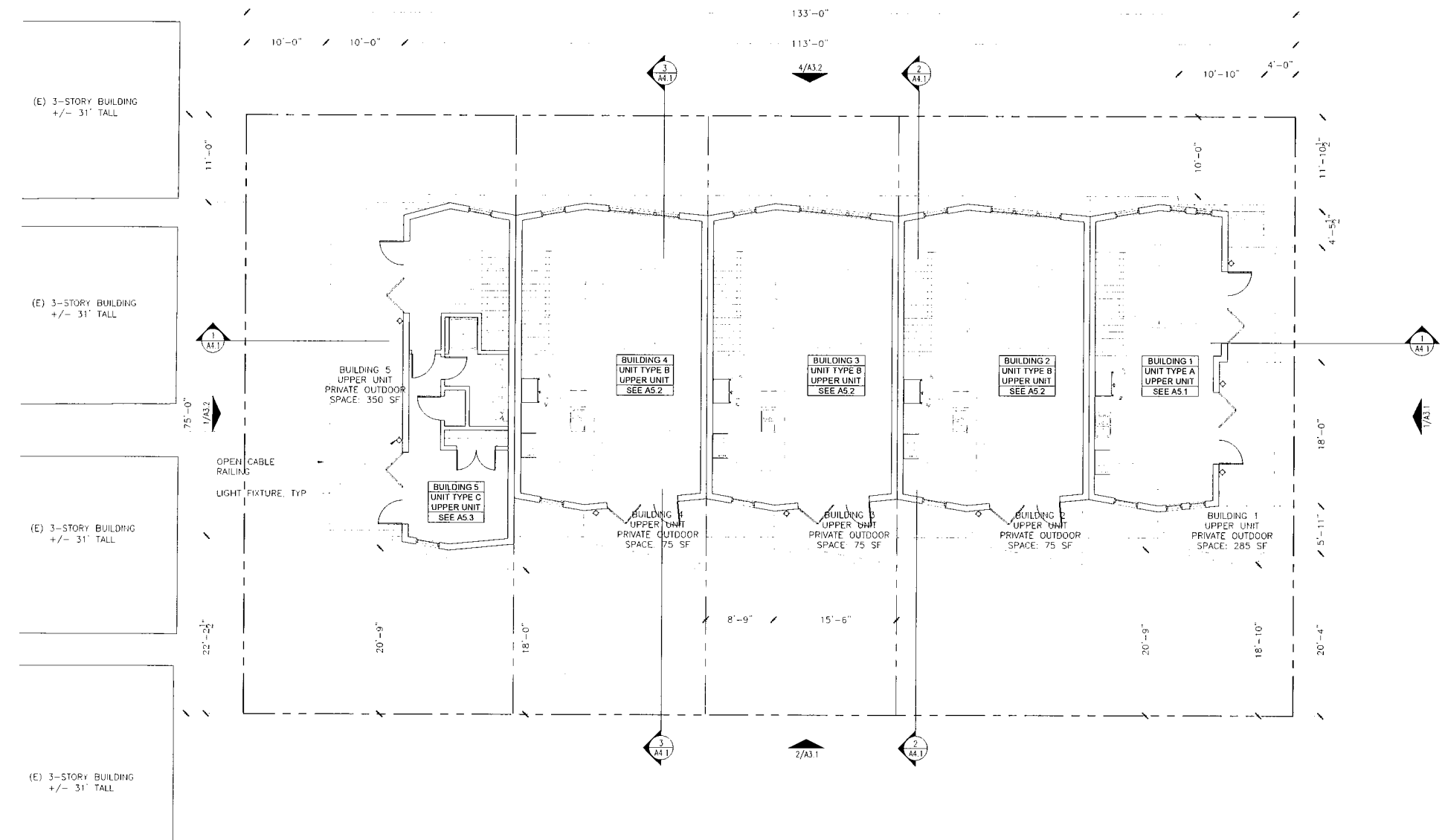
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(415) 777-0561 P
 (415) 777-5117 F

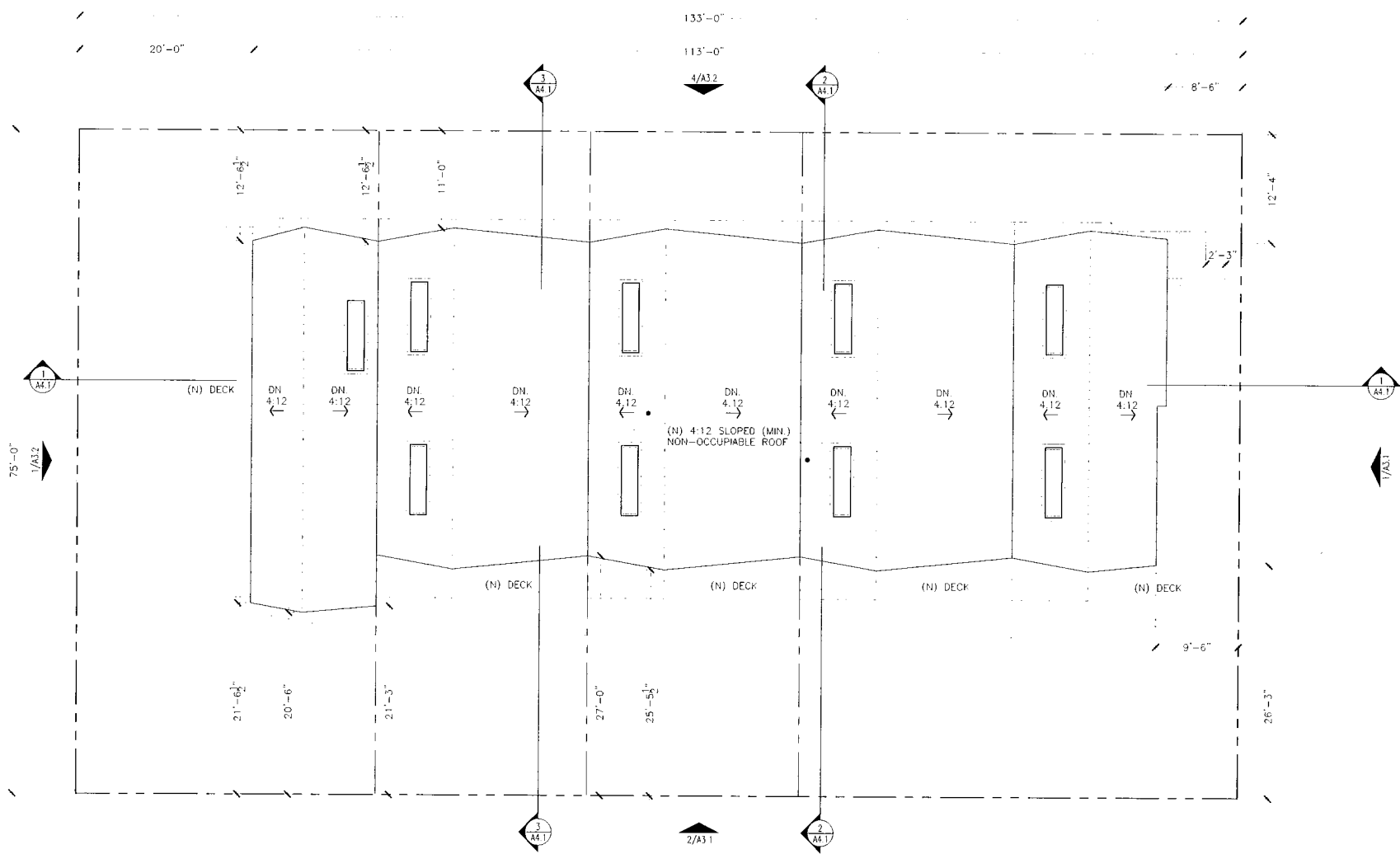
SCALE: AS NOTED

FLOOR PLAN:
 4TH FLOOR

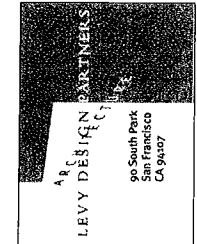
A2.4



1 PLAN: 4TH FLOOR
 1/8" = 1'-0"



- PLAN NOTES**
- MINI-LOT. LOT IS DIVIDED INTO 5 MINI-LOTS. SEE SITE PLAN FOR CAL. OUT OF DIVISION LINES.
 - OPEN SPACE.
 - BUILDINGS 1-4**
 - LOWER LEVEL UNIT. 75 SF DECK ON 2ND FLOOR. NO DIMENSION LESS THAN 5'-0"
 - UPPER LEVEL UNIT. 75 SF DECK ON 4TH FLOOR. NO DIMENSION LESS THAN 5'-0"
 - BUILDINGS 5**
 - LOWER LEVEL UNIT. 100 SF ON GROUND FLOOR. NO DIMENSION LESS THAN 10'-0"
 - UPPER LEVEL UNIT. 350 SF DECK ON 4TH FLOOR. NO DIMENSION LESS THAN 5'-0"
 - CAR PARKING
 - BUILDINGS 1-5**
 - 1 PARKING SPACE PROVIDED PER UNIT
 - BIKE PARKING
 - SHORT TERM**
 - 1 BIKE RACK PROVIDED ON SIDEWALK
 - LONG TERM**
 - NO SPACE REQUIRED WITH PRIVATE GARAGES



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**3245 HOLLIS STREET
5 MINI-LOT DEVELOPMENT
OAKLAND, CA**



3245 HOLLIS STREET
APN: 007-059400-800
APN: 007-059400-900
SAN FRANCISCO, CA
PROJECT NO. 2018-02

DATE	SET ISSUE
03-05-2018	PLANNING SUBMITTAL
05-11-2018	PLANNING RE-SUBMITTAL
07-20-2018	PLANNING RE-SUBMITTAL

CONTACT: TOBY LEVY

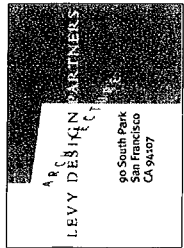
(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

FLOOR PLAN:
ROOF

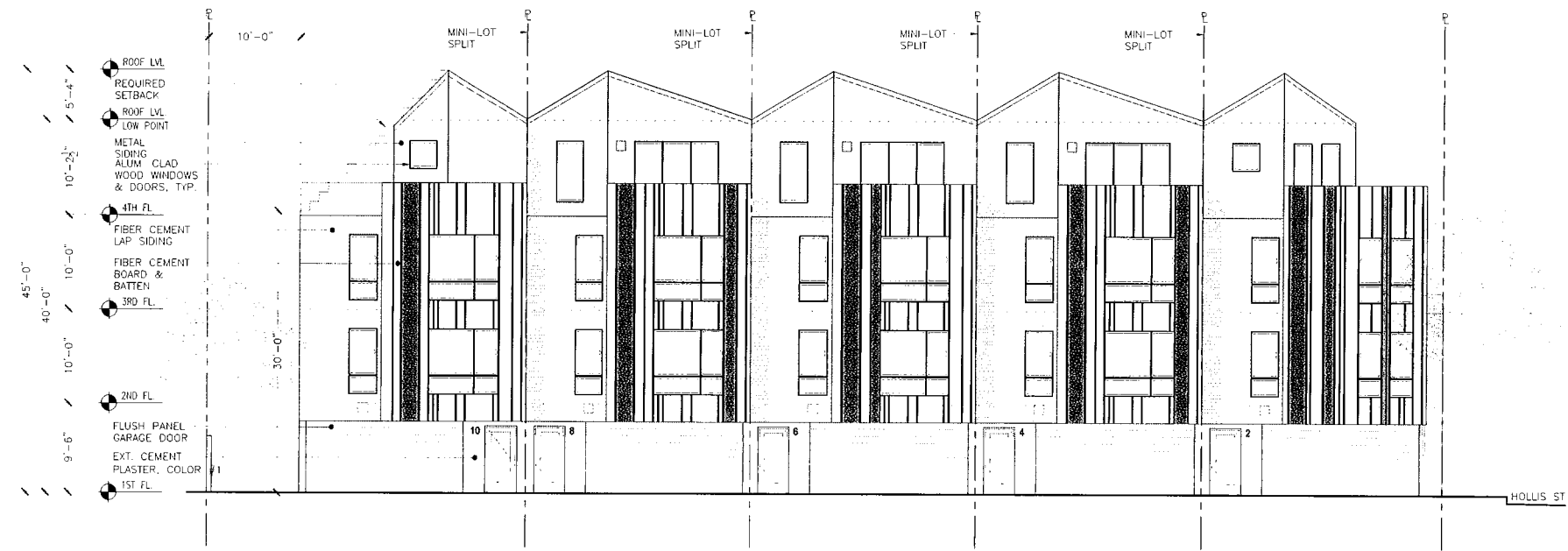
A2.5

1 PLAN: ROOF
1/8" = 1'-0"

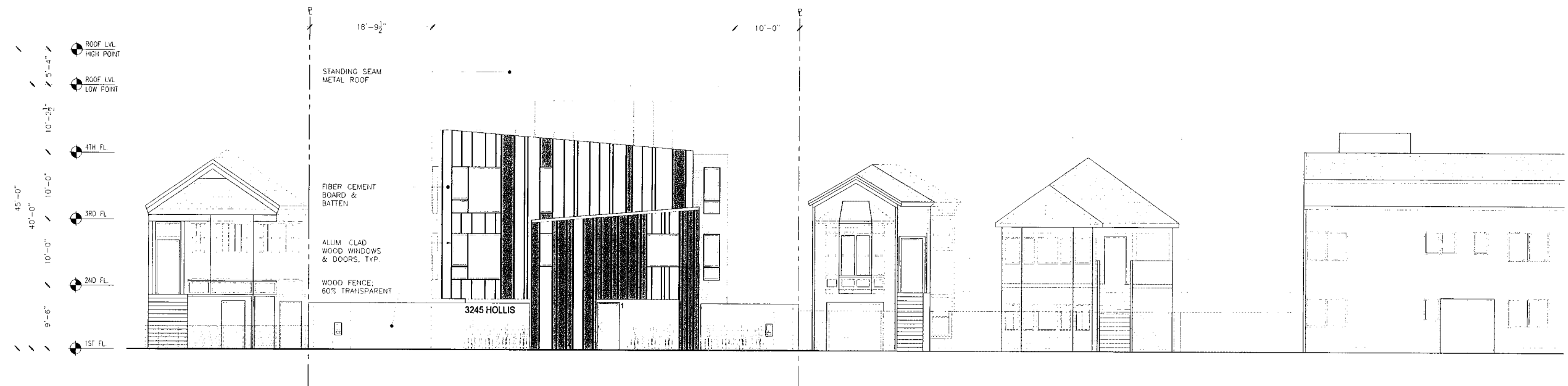


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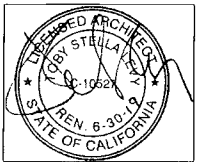
**3245 HOLLIS STREET
 5 MINI-LOT DEVELOPMENT
 OAKLAND, CA**



2 ELEVATION: SOUTH
 1/8" = 1'-0"



1 ELEVATION: EAST
 1/8" = 1'-0"



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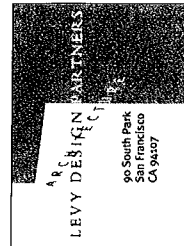
CONTACT: TOBY LEVY

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SCALE: AS NOTED

ELEVATIONS:
 EXTERIOR

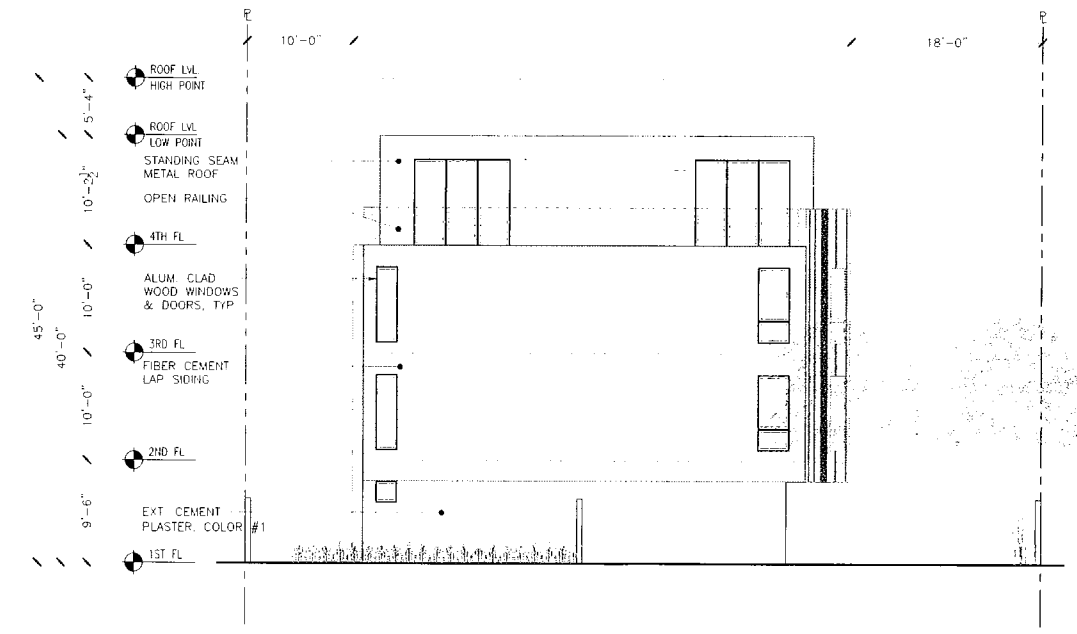
A3.1



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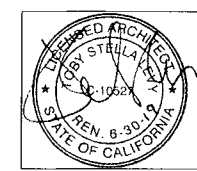


2 ELEVATION: NORTH
 1/8" = 1'-0"



1 ELEVATION: WEST
 1/8" = 1'-0"

**3245 HOLLIS STREET
 5 MINI-LOT DEVELOPMENT
 OAKLAND, CA**



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07-28-2018	PLANNING RE-SUBMITTAL

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE: AS NOTED

ELEVATIONS:
 EXTERIOR

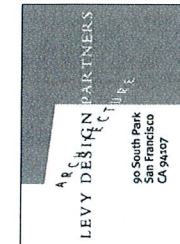
A3.2



2 RENDERING LOOKING SOUTH ON HOLLIS STREET

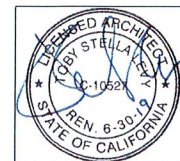


1 RENDERING LOOKING NORTH ON HOLLIS STREET



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3245 HOLLIS STREET
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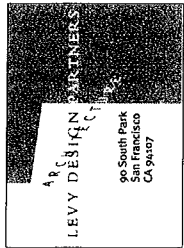
CONTACT: TOBY LEVY

(415) 777-0561 P
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SCALE: AS NOTED

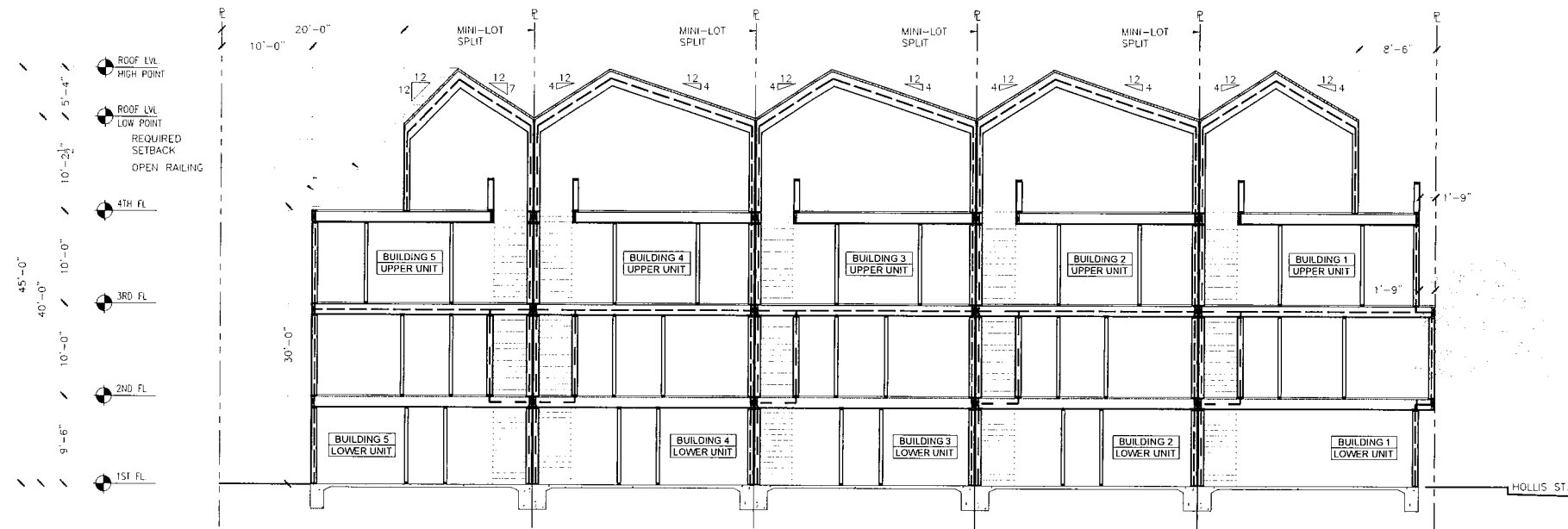
EXTERIOR
RENDERINGS

A3.3

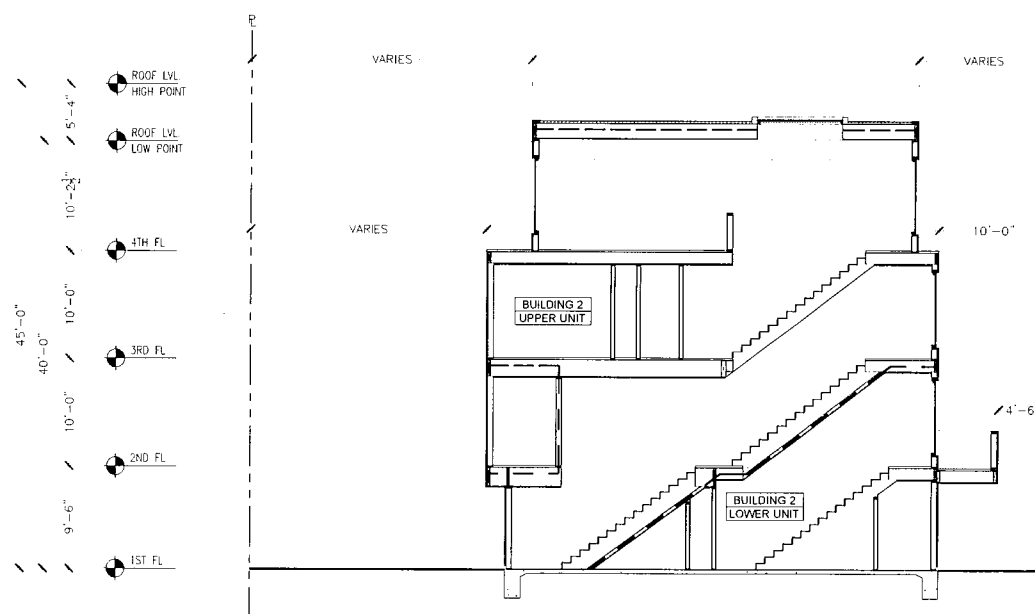


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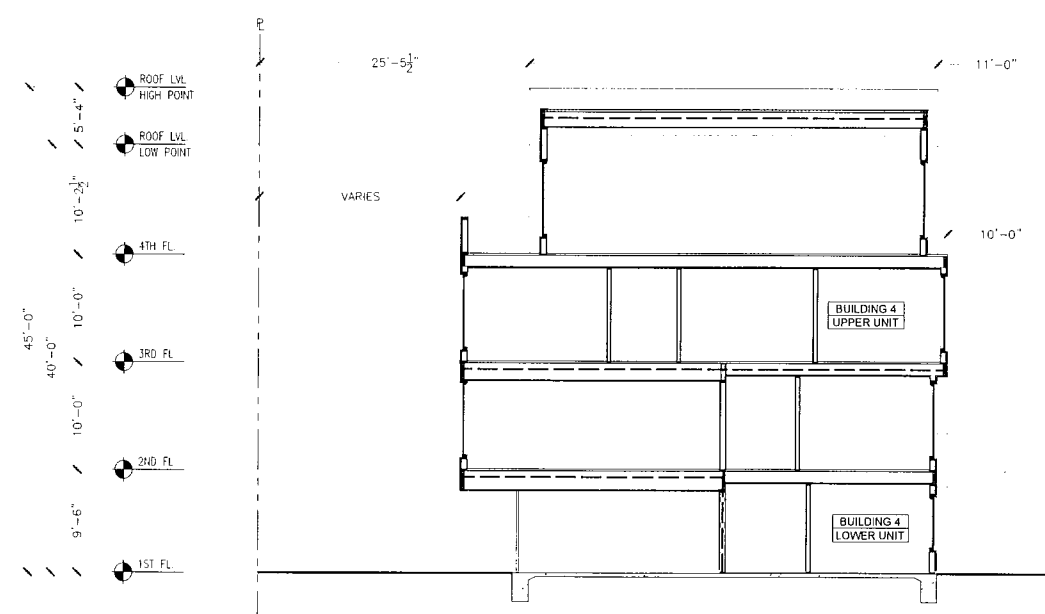
**3245 HOLLIS STREET
5 MINI-LOT DEVELOPMENT
OAKLAND, CA**



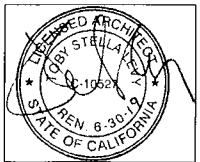
1 BUILDING SECTION
1/8" = 1'-0"



2 BUILDING SECTION
1/8" = 1'-0"



3 BUILDING SECTION
1/8" = 1'-0"



3245 HOLLIS STREET
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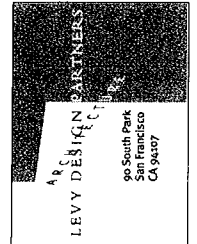
CONTACT: TOBY LEVY

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SCALE: AS NOTED

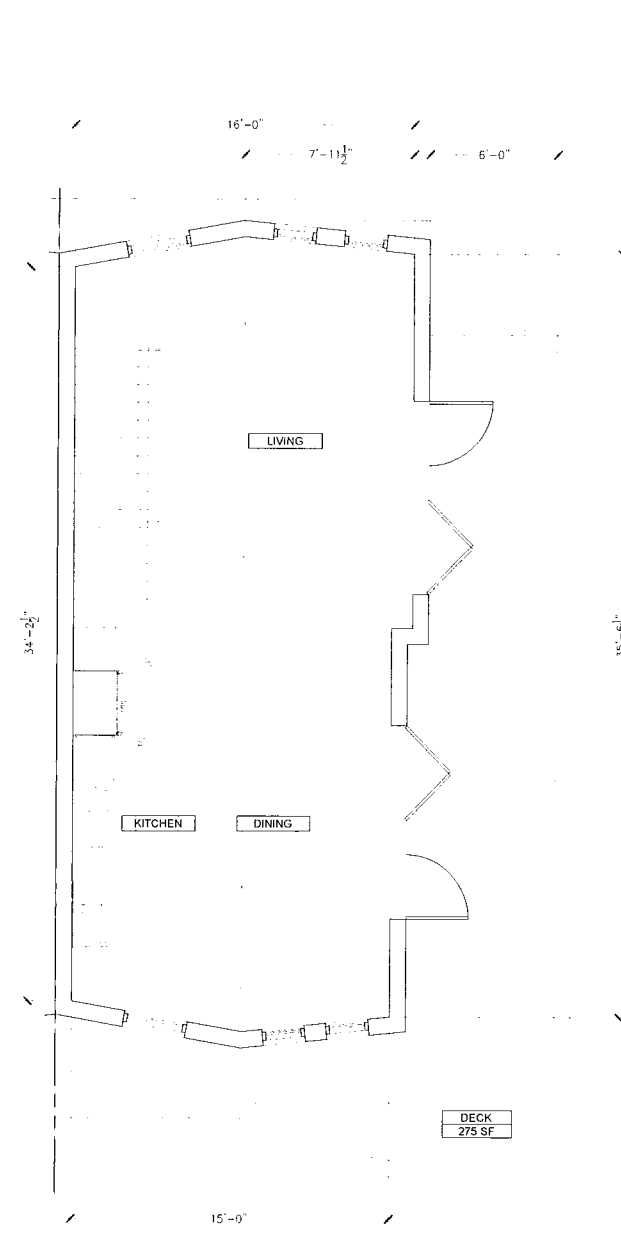
SECTIONS:
BUILDING

A4.1

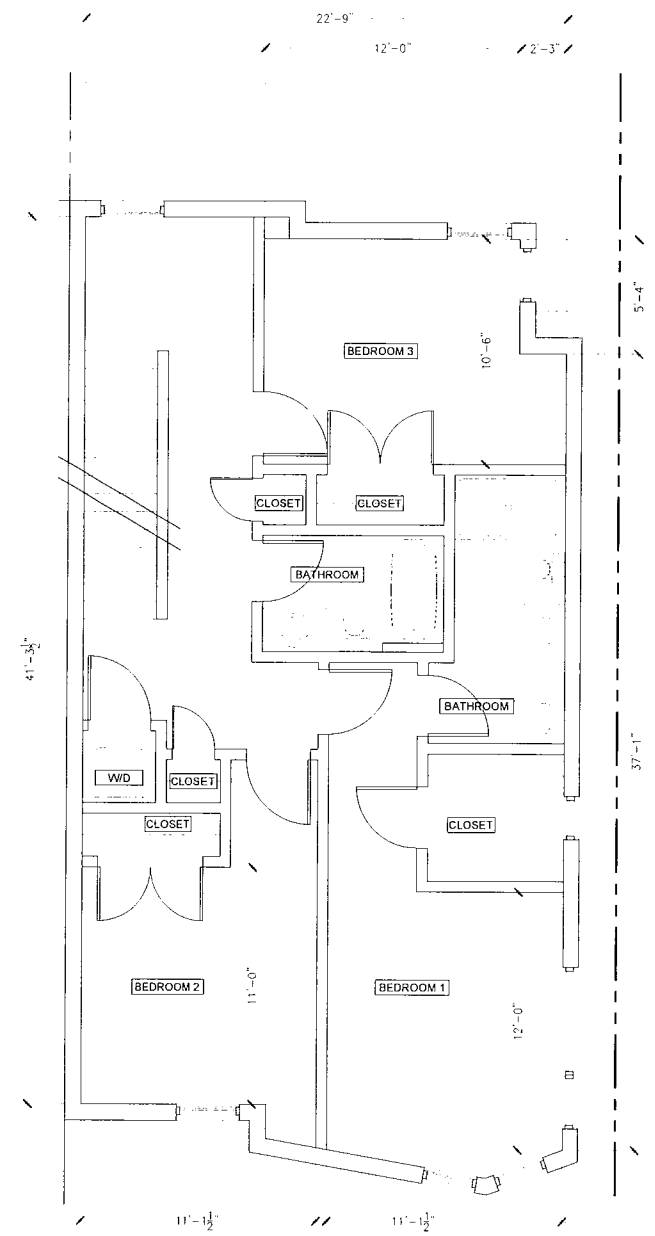


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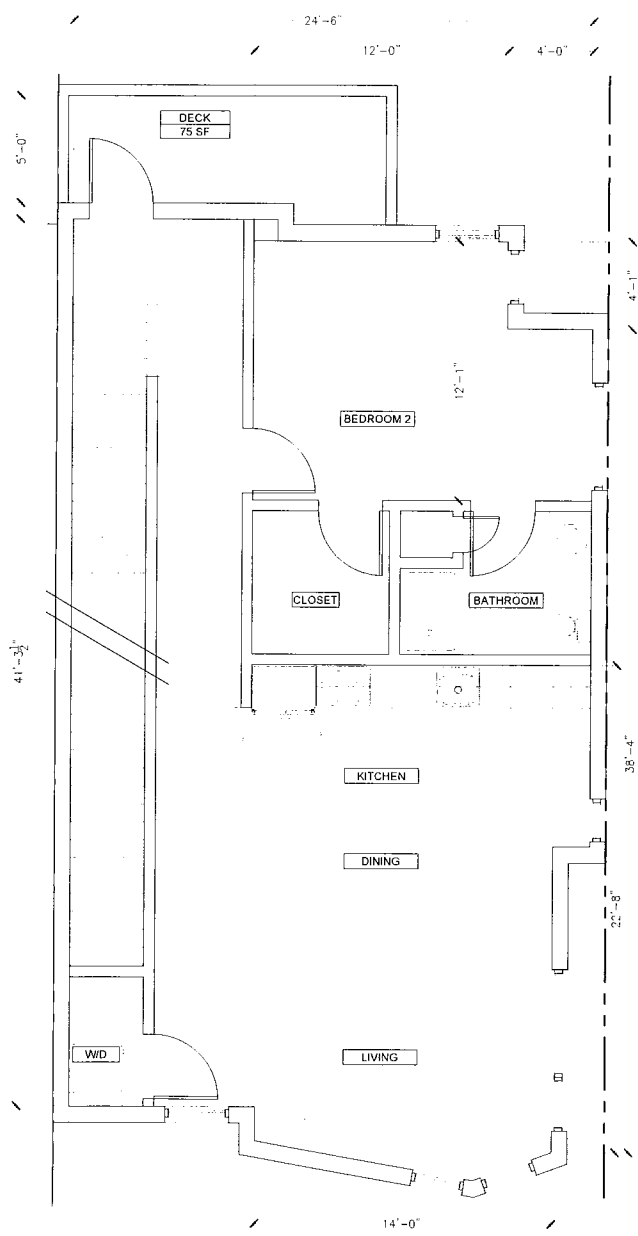
UNIT TYPE A	
BUILDING NUMBER: 1	
LOWER LEVEL UNIT:	
2 BEDROOM & 2 BATHROOM	
UNIT SQUARE FOOTAGE:	1,300 SF
DECK SQUARE FOOTAGE:	75 SF
UPPER LEVEL UNIT:	
3 BEDROOM & 2.5 BATHROOM	
UNIT SQUARE FOOTAGE:	1,460 SF
DECK SQUARE FOOTAGE:	275 SF



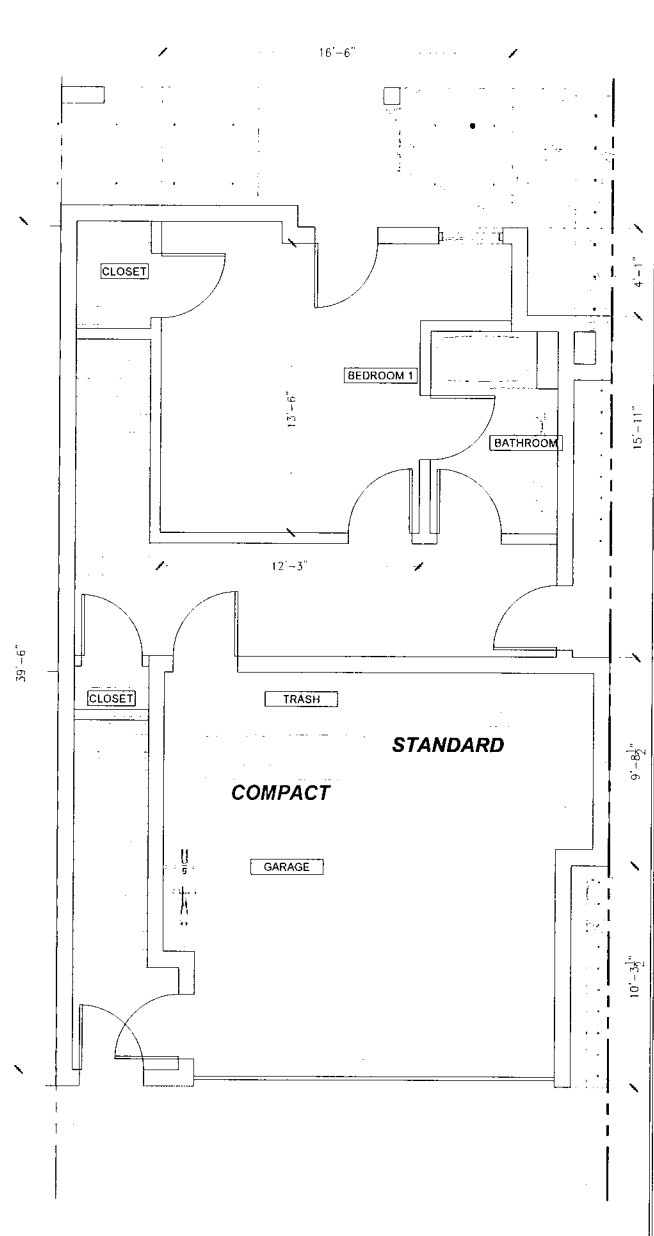
4 ENLARGED PLAN: UNIT A - 4TH FLOOR
 1/4" = 1'-0"



3 ENLARGED PLAN: UNIT A - 3RD FLOOR
 1/4" = 1'-0"

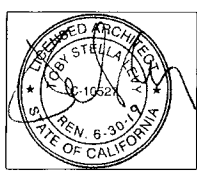


2 ENLARGED PLAN: UNIT A - 2ND FLOOR
 1/4" = 1'-0"



1 ENLARGED PLAN: UNIT A - 1ST FLOOR
 1/4" = 1'-0"

**3245 HOLLIS STREET
 5 MINI-LOT DEVELOPMENT
 OAKLAND, CA**

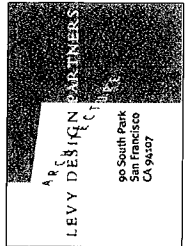


3245 HOLLIS STREET
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 SAN FRANCISCO, CA
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CONTACT: TOBY LEVY
 (415) 777-0561 P
 (415) 777-5117 F
 SCALE: AS NOTED

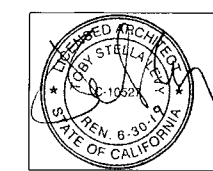
ENLARGED UNIT PLAN:
 UNIT TYPE A



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UNIT TYPE B
BUILDING NUMBER: 2-4
LOWER LEVEL UNIT
2 BEDROOM & 2 BATHROOM
UNIT SQUARE FOOTAGE: 1,280 SF
DECK SQUARE FOOTAGE: 75 SF
UPPER LEVEL UNIT
3 BEDROOM & 2.5 BATHROOM
UNIT SQUARE FOOTAGE: 1,765 SF
DECK SQUARE FOOTAGE: 75 SF

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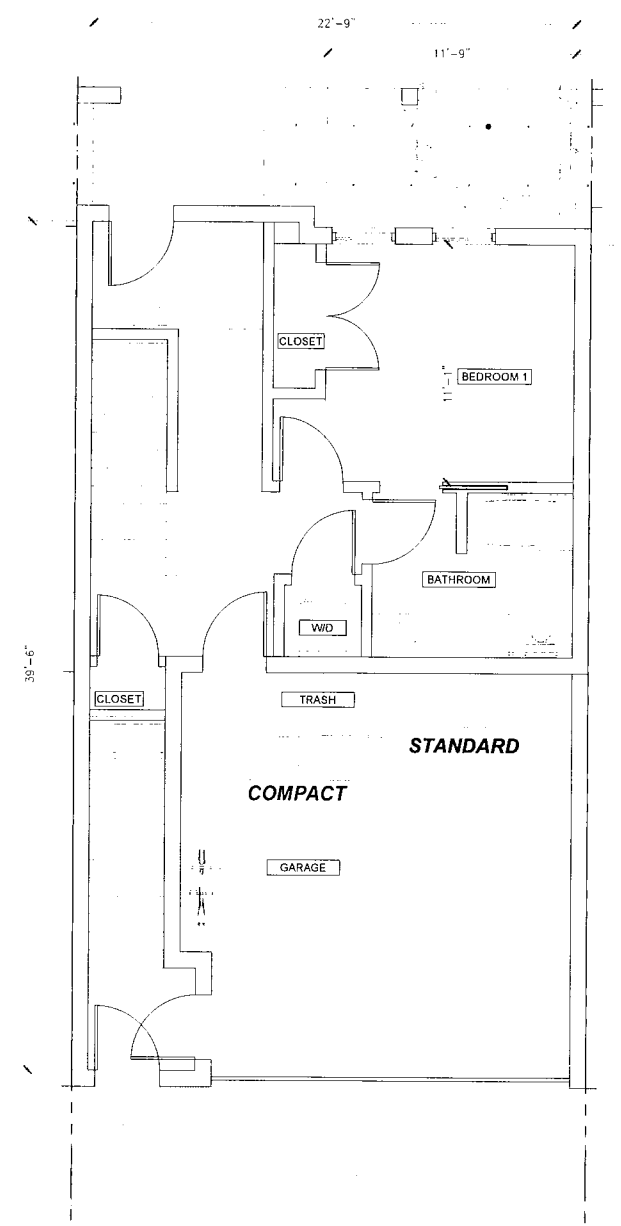
CONTACT: TOBY LEVY

(415) 777-0561 P
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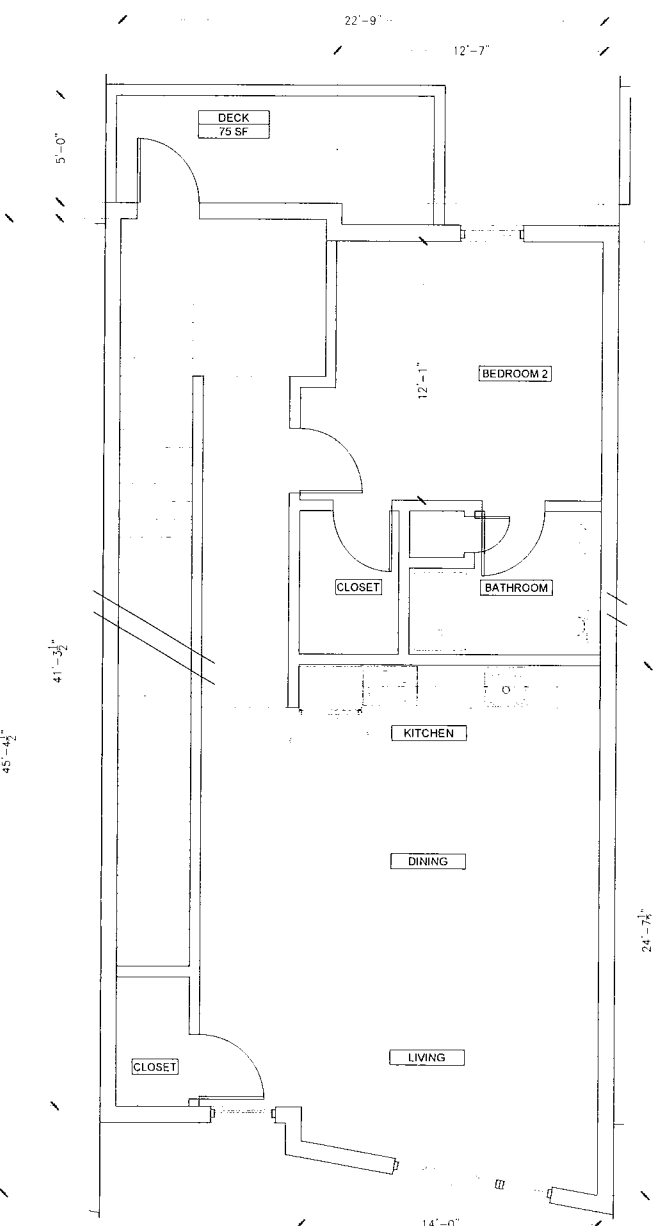
SCALE: AS NOTED

ENLARGED UNIT
 PLAN:
 UNIT TYPE B

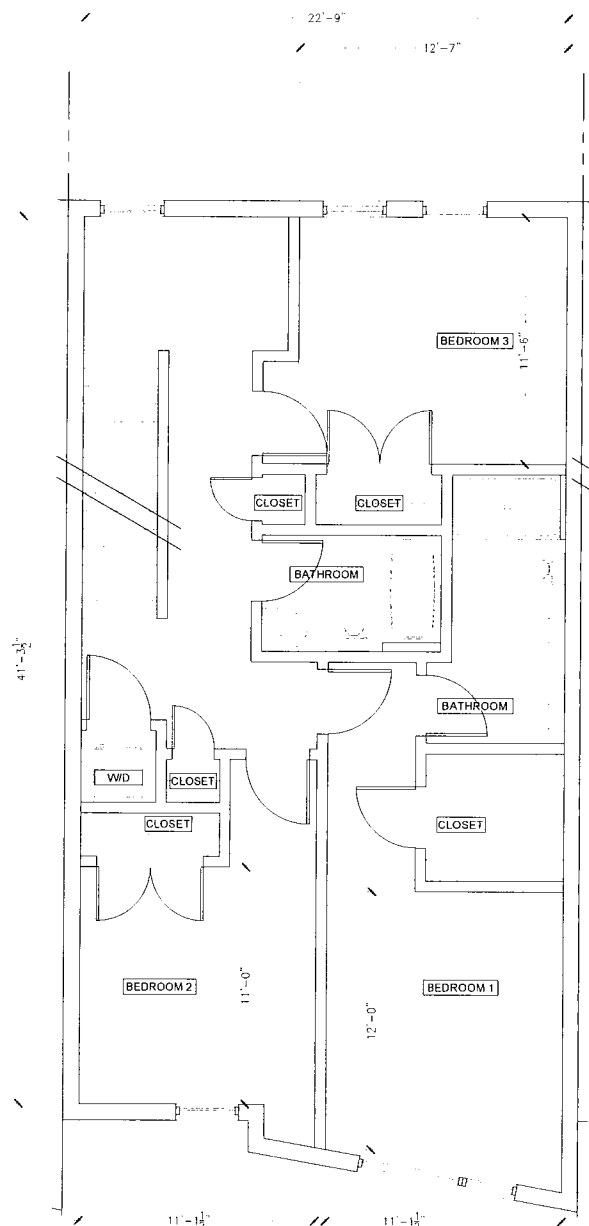
A5.2



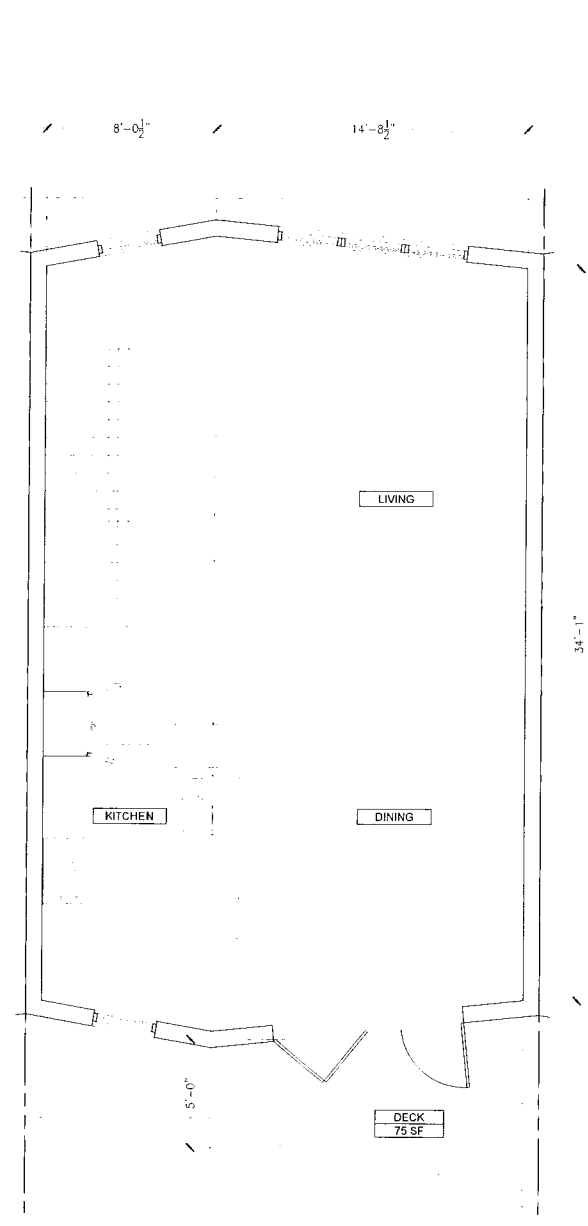
1 ENLARGED PLAN: UNIT B - 1ST FLOOR
 1/4" = 1'-0"



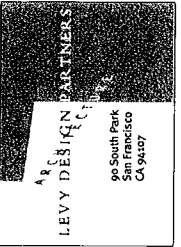
2 ENLARGED PLAN: UNIT B - 2ND FLOOR
 1/4" = 1'-0"



3 ENLARGED PLAN: UNIT B - 3RD FLOOR
 1/4" = 1'-0"

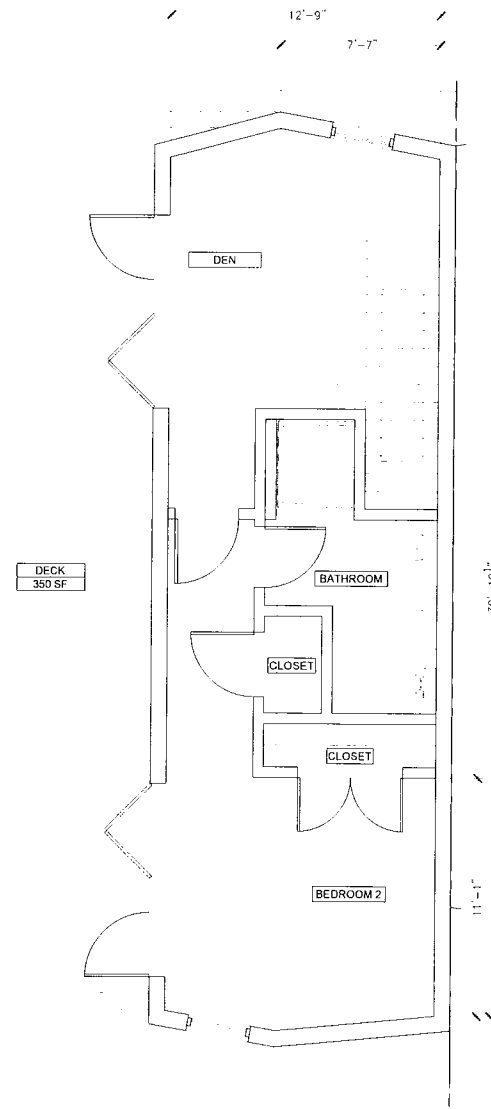


4 ENLARGED PLAN: UNIT B - 4TH FLOOR
 1/4" = 1'-0"

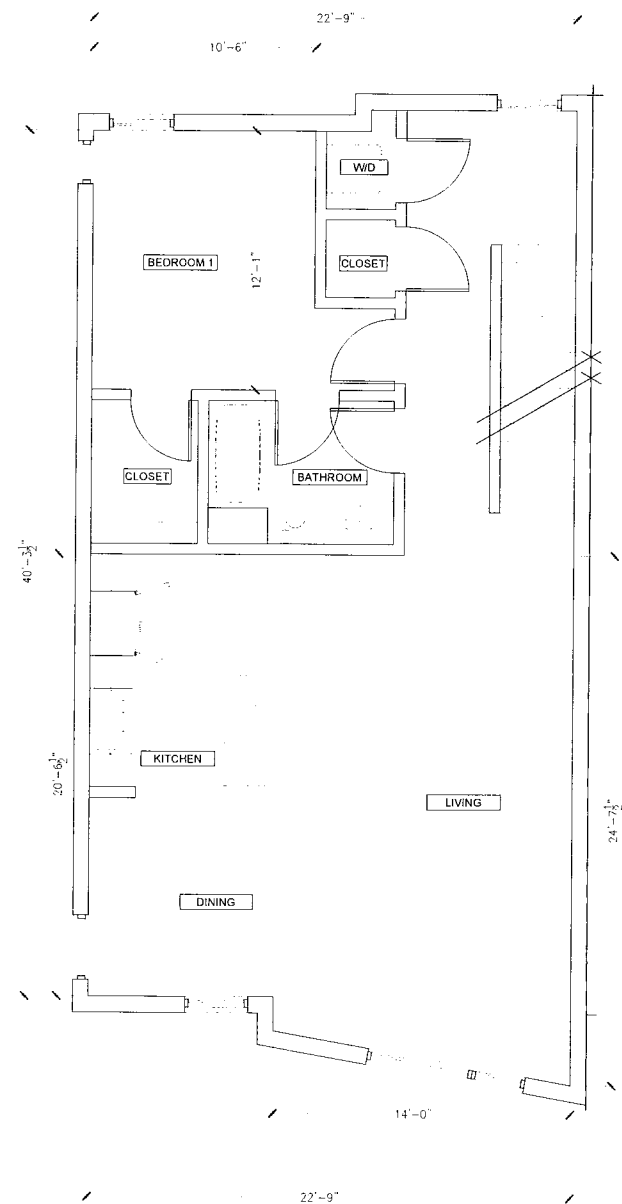


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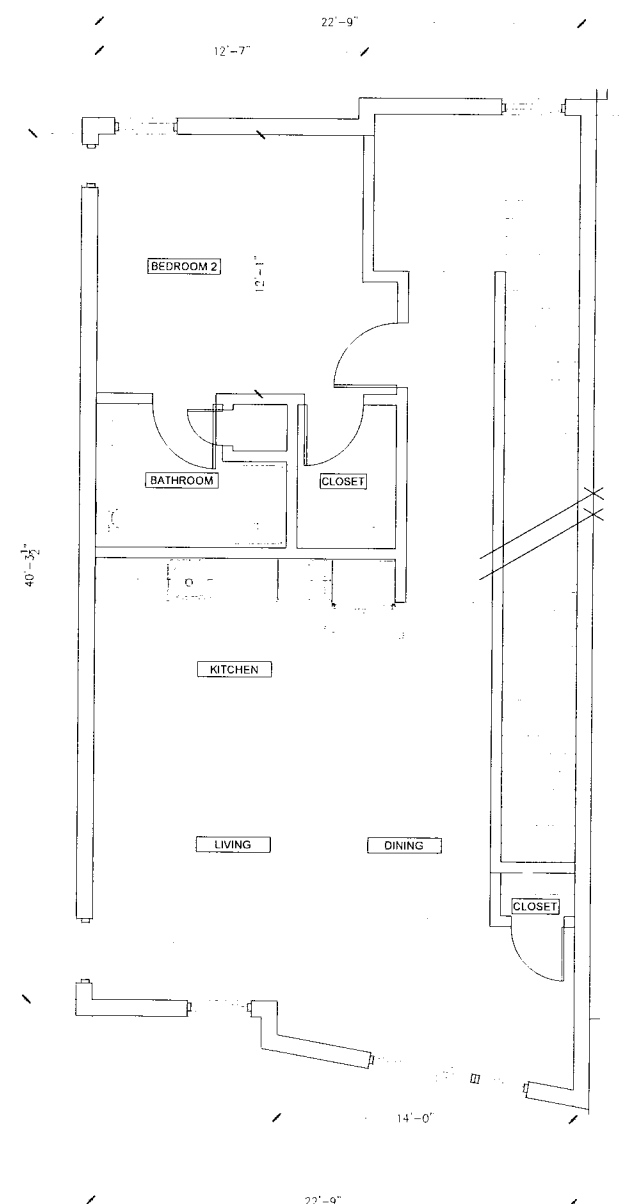
UNIT TYPE C
BUILDING NUMBER: 5
LOWER LEVEL UNIT:
2 BEDROOM & 2 BATHROOM
UNIT SQUARE FOOTAGE 1,280 SF
DECK SQUARE FOOTAGE 100 SF
UPPER LEVEL UNIT:
2 BEDROOM & 2 BATHROOM
UNIT SQUARE FOOTAGE 1,470 SF
DECK SQUARE FOOTAGE 350 SF



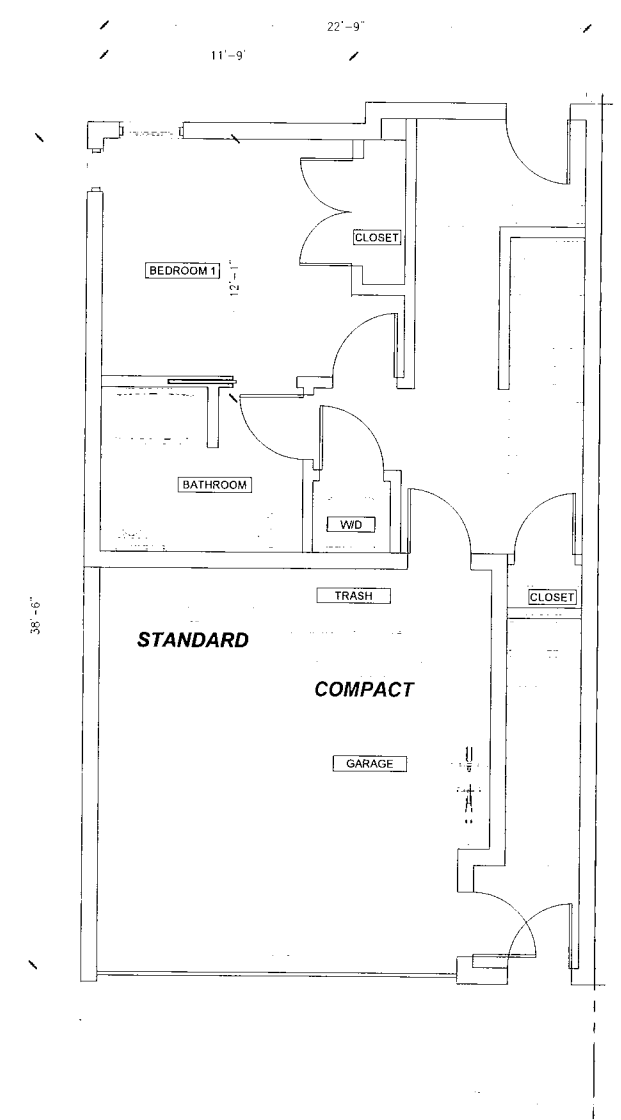
4 ENLARGED PLAN: UNIT C - 4TH FLOOR
 1/4" = 1'-0"



3 ENLARGED PLAN: UNIT C - 3RD FLOOR
 1/4" = 1'-0"

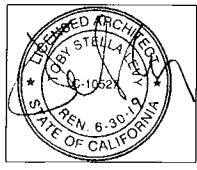


2 ENLARGED PLAN: UNIT C - 2ND FLOOR
 1/4" = 1'-0"



1 ENLARGED PLAN: UNIT C - 1ST FLOOR
 1/4" = 1'-0"

**3245 HOLLIS STREET
 5 MINI-LOT DEVELOPMENT
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 APN: 007-059400-800
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DATE	SET ISSUE
03-05-2018	PLANNING SUBMITTAL
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07-26-2018	PLANNING RE-SUBMITTAL

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE: AS NOTED

ENLARGED UNIT
 PLAN:
 UNIT TYPE C

A5.3

City of Oakland Department of Transportation

Transportation and Right-of-Way Management Division, Engineering Services

If Project is approved by the Advisory Agency, attach the Engineering Services "Conditions of Approval" provided below.

Planning/Zoning Number(s) PLN18142				Engineering Staff Contact Chong Hong			
Project Address 3245, 3251 Hollis Street				Project Description Merger and 5 lot subdivision for condominium purposes			
Tentative Map No. TTM8464		No. of New Lots		5	No. Condominiums		10 <input type="checkbox"/> Mixed Use
<input type="checkbox"/> No Map	<input type="checkbox"/> Parcel Map Waiver	<input type="checkbox"/> Merger	<input type="checkbox"/> Lot Line Adjustment LLA	No. Existing Lots LLA		No. New Lots LLA	
<u>GENERAL REQUIREMENTS</u>				<u>SPECIFIC PROJECT CONDITIONS OF APPROVAL</u>			
<u>SIDEWALKS, CURB AND GUTTERS</u> 1. Existing sidewalks fronting subject property must be compliant with ADA standards. 2. Uplifted, uneven, damaged sidewalks shall be repaired with no more than ¼ inch lift and no more than 2% cross slope. 3. Sidewalk clear width of 5.5 feet minimum is required and must not be less than 50-inches between obstacles, poles, trees, hydrants, pinch points for ADA access. 4. Existing sidewalks, curbs/gutter/driveway approaches damaged, broken or if non-standard shall be repaired. 5. A Curb, Gutter and Sidewalk (CGS) permit is required to repair or construct sidewalk. 6. Infrastructure and improvements to be privately maintained within the right of way and any non-standard features MAY be accepted with an Encroachment Permit. 7. City may revoke encroachment permit at its sole discretion and may charge property owner(s) for use of the right-of-way.				Prior to recording the Final Map, Tract Map 8464, the Applicant shall enter into a Subdivision Improvement Agreement (SIA) for construction of improvements within the City's right-of-way. Applicant shall apply for a PX Permit and submit the project improvement plans prepared by a registered civil engineer to Engineering Services for review. Improvement plans and Engineers Cost Estimate must be reviewed and approved by Engineering prior to scheduling the date for City Council approval of the Final Map and SIA.			
<u>STREET PAVING AND STRIPING</u> 8. Street and roadway area(s) fronting the development must be resurfaced up to one traffic lane in width 13 ft. or to the centerline of the street, after completion of construction and as required by the Inspector. 9. Evaluation of the street's Pavement Condition Index at time plans are submitted for permit review shall determine any restoration requirements. 10. Existing striping fronting the property and up to 1 block length shall be restored to the satisfaction of the Inspector. Thermoplastic shall be required unless specified otherwise in the plans approved for construction. 11. "Moratorium Streets" are resurfaced or newly constructed streets within the past 5-year period. No trenching or excavation is permitted on any Moratorium Street without the written authorization of the Public Works Director.				Hollis Street resurface will be required. Engineering Services will determine if any of the improvements shown on the plans submitted for the PX permit require the review and approval of the City's Traffic Engineer prior to issuance of the PX permit.			
<u>DRIVEWAYS</u> 12. Driveway approach, length, width, driveway separation, clearances from poles and utilities, type of curb, driveway angle, shall be approved by Bureau of Planning in advance of any review by Engineering Services. 13. Any existing driveway that will no longer be required to serve the property shall be replaced with new sidewalk curb and gutter, with curb striping as required by Inspector.				Driveway approaches shall be identified on the improvement plans for the PX permit and proposed locations must be approved by Engineering Services. Existing driveway approaches not necessary for the development shall be removed and replaced with new sidewalk, curb and gutter.			
<u>CURB RAMPS</u> 14. New curb ramps shall meet the latest State of California standards when plans are submitted for review.				N/A			

<p>15. Curb ramps shall be directional unless approved otherwise in writing by the City Engineer.</p> <p>16. New curb ramps are required at intersections fronting the project site and when the use or occupancy necessitates installation or replacement of curb ramps. Additional curb ramps required by the City Engineer shall be installed by the project sponsor.</p> <p>17. Where a new curb ramp is required for the project the curb ramp located on the opposite side of the roadway, across a marked or un-marked crosswalk, shall also be installed or upgraded to be ADA compliant by the project sponsor.</p>	
<p><u>STREET GEOMETRY AND STRIPING DESIGN</u></p> <p>18. New striping, curb painting, bulb-outs, changes to existing dimensions, impact to traffic resulting from development, traffic pattern, circulation, signals, traffic count, street/lane change shall be reviewed and approved by the City's Traffic Engineer.</p> <p>19. Any alteration to geometry of roadway/sidewalk, markings, traffic control signs and devices shall be reviewed and approved by the City's Traffic Engineer.</p> <p>20. Traffic and parking sign posts shall be coated with anti-graffiti coating.</p> <p>21. Traffic Control Plans (TCP) for temporary traffic control measures shall be submitted separately for review and approval by City's Traffic Engineer prior to permit issuance and when the TCP is adjusted and updated during construction.</p>	<p>Engineering Services will determine if any of the improvements shown on the plans submitted for the PX permit require the review and approval of the City's Traffic Engineer prior to issuance of the PX permit.</p>
<p><u>SANITARY SEWER</u></p> <p>22. Sanitary sewer impact analysis is required when new development results in a net increase of volume of wastewater flow to the City's sanitary sewer system. Sewer flow calculations prepared by developer's engineer must include existing and proposed flows. Developer shall submit analysis with completed application for review. Mitigation fees shall be paid prior to issuance of a Building or PX permit whichever occurs first.</p> <p>23. A "PSL" certificate, Sewer Lateral Permit, and EBMUD Inspection are required for all projects where construction costs are one-hundred thousand dollars (\$100K +) or more.</p> <p>24. A Sewer Lateral permit (SL) is required for any new sewer lateral or rehabilitation of existing lateral. Abandonment of a sewer lateral requires a separate permit.</p> <p>25. Sewer profiles shall be included on the plans approved for construction. If existing utilities are within twelve inches (12") of proposed sewer, engineer shall have existing utility potholed and resolve conflict before approval of plans.</p>	<p>Prior to recording the Parcel Map, applicant shall submit sewer calculations for review and approval at the time of submitting improvement plans for PX permit. Applicant shall obtain PSL certificate, a SL permit and lateral abandonment permit(s) as applicable to the proposed development. Each parcel shall have separate sewer laterals serving each parcel.</p>
<p><u>STORM DRAINS</u></p> <p>26. Connection of storm drain to sewer line is prohibited. Any unauthorized connection shall be separated from the sanitary sewer.</p> <p>27. Drainage plans shall be submitted for review and approval. Plans shall follow City standard details and design standards. Blind connections or tap connections are prohibited for storm drains.</p>	<p>Conditions may apply at the time of a Building Permit application.</p>

<p>28. Hydrology and Hydraulic Calculations, shall meet City's Storm Drainage Design Standards.</p> <p>29. Reduction in Peak Flow by 25% or to the extent possible is required.</p>	
<p>STORM WATER TREATMENT</p> <p>30. Requirements for permanent and temporary storm water pollution prevention, Alameda County Clean Water Program (C.3), shall be included in the Building improvement plans for on-site work. Any approved storm drain from on-site development shall be tied to an inlet structure at the back of curb designating public and private ownership.</p> <p>31. Permanent storm water treatment (BMP's) to service the development shall be privately maintained and included in the O&M Agreement for the project.</p> <p>32. Roof runoff must be directed through an approved treatment device prior to entering the City's storm drainage system.</p> <p>33. Right-of-way shall not be used for storm water treatment features.</p>	<p>Applicant shall submit the storm drainage calculations for review and approval at the time of submitting the improvement plans for PX permit.</p>
<p>STREET TREES AND LANDSCAPING (PRIVATE)</p> <p>34. Trees and irrigation for the proposed development shall be owned and maintained by the property owner(s).</p> <p>35. Landscape and irrigation plans shall be submitted with the civil plans for work (PX permit) for review and approval by the City's Arborist.</p> <p>36. Landscape, irrigation plans and tree species shall meet City standards for Street Tree Planting.</p> <p>37. Tree shall be spaced twenty feet (20') on center and shall not obstruct street lights. Tree wells shall be 3 ft. x 3ft. or 4 ft. x 4 ft. (minimum) for mature tree height of 25 to 40 feet.</p> <p>38. Tree Grates, Root Barrier and Staking Details for new trees shall be included in the approved plans. Tree Grates must be ADA compliant.</p>	<p>The improvement plans submitted for the PX permit shall include landscape and irrigation plans for any landscaping proposed with the City's right-of-way. Any street trees, tree grates and root barriers shall be reviewed and approved by the City's Arborist as determined by Engineering Services.</p>
<p>EASEMENTS AND ENCROACHMENTS</p> <p>39. All property lines, existing and proposed easements, shall be clearly shown on the plans for construction (PX permit).</p> <p>40. Easement dedication or vacation requires separate application and permit (PPE permit) if not included on a Final Tract Map or Parcel Map.</p> <p>41. Major Encroachment permits require City Council resolution and Indenture Agreement with County Recorder's Number shown on the Final or Parcel Map.</p> <p>42. Permanent building elements encroaching into the right-of-way normally require a Major Encroachment (ENMJ permit). Other approved encroachments may be part of Minor Encroachment (ENMI permit).</p> <p>43. City may revoke encroachment permit at its sole discretion and may charge property owner(s) for use of the right-of-way.</p>	<p>All emergency access and utility easements for the proposed development shall be clearly identified on the improvement plans submitted for the PX permit. The applicant shall apply for and obtain any necessary encroachment permits prior to issuance of a PX permit. If a major encroachment permit for the proposed building is required, the applicant shall submit to Engineering Services for review and approval all necessary plans and exhibits for the City Council resolution and the recorded major encroachment permit.</p>
<p>SITE PLAN</p> <p>44. A Site Plan shall be provided with permit plan set and include: north arrow, scale, property boundaries, topography, vegetation, proposed/existing structures,</p>	<p>A site plan shall be submitted with the improvement plans for the PX permit.</p>

<p>utilities, easements, roadways, monuments, wells, and any important key elements.</p>	
<p><u>STREET LIGHTS AND UTILITIES (PW ELECTRICAL)</u> 45. A photometric plan and analysis of existing and proposed street lights is required for all projects requiring a PX permit and as determined by the City Engineer. Design shall meet City Outdoor Lighting Standards. http://www2.oaklandnet.com/oakcal/groups/pwa/documents/policy/oak026007.pdf 46. Upon review and approval of the photometrics analysis, the project sponsor shall design and include additional streetlights as required by the City and shall also provide 10% spare streetlight fixtures for City's Electrical Maintenance Operations. 47. Pedestrian signal and push buttons for intersection crossings shall be included in the plans for construction when required by the Traffic Engineer. 48. Utility undergrounding shall be clearly identified on all construction permitted plans as approved by the Project Planner, Oakland Fire Department, Public Works Department and Dept. of Transportation. 49. Pull boxes shall be locking. 50. Existing, reinstalled and new Streetlights, Parking Meters and Kiosks shall be included on the plans approved for construction. Separate fees and approvals by Public Works Maintenance is required to remove or install Streetlights, Parking Meters and Kiosk.</p>	<p>The improvement plans shall identify the location and details for all existing and proposed street lights along the street frontage of the proposed project. A photometric analysis shall be submitted for any changes proposed to the existing street lighting and as required by Public Works after review of the improvement plans.</p>
<p><u>SPECIAL ZONES: CDMG Designation (LS/LQ), A-P Zone, Flood Zone, Creek/water course, GAAD, etc.</u> 51. Design, approvals, outside agency permits, and construction methods shall meet all applicable Federal, State, and City's Municipal Code requirements for properties located in hazard zone and flood zone. 52. Peer Review of Soils, Geotechnical, Hydrology, Hydraulic, and Structural Reports, engineering plans, grading, remediation, final map may be required. 53. CDMG Designation and potential for liquefaction(LQ) and/or landslide(LS) shall be clearly identified on individual lots of the Tentative Map, Parcel Map of final Tract Map.</p>	<p>Parcels are in Liquefaction Severity 3 zone. General requirement #51, #52 and #53 apply to this project.</p> <p>The improvement plans shall identify on the cover sheet the flood zone designation and FIRM rate map for the property. The Geotechnical Engineer and reference to soils reports shall also be included on the cover sheet of the improvement plans submitted for review and approval.</p>
<p><u>TENTATIVE MAP, PARCEL MAP, TRACT MAP</u> 54. Fire Access, Emergency Vehicle Access, Shared Access (Agreement or CC&R's), Utility Easements shall be clearly shown and identified on Maps. 55. Setbacks from the property lines, buffer areas, easements, buildings and separation required between structures and buildings shall be identified on Tentative Map. 56. After approval by Planning and Zoning of a Tentative Map a separate application to Engineering Services is required for review and approval of the Parcel or Tract Map by the City Surveyor and City Engineer. 57. Tract Map and Subdivision Improvement Agreement (SIA) requires City Council Approval. 58. Survey Monuments Protection, Surety/Bond may be required prior to approval of Parcel or Final Map.</p>	<p>After approval by Planning and Zoning of a Tentative Map, a separate application to Engineering Service is required for review and approval of the Parcel Map by City Surveyor and City Engineer.</p>

CITY OF OAKLAND Department of Transportation
Engineering Services "Conditions of Approval"

<p><u>CONSTRUCTION</u></p> <p>59. All work within the City's right-of-way or easement requires a valid permit.</p> <p>60. Shoring Plans, Retaining Walls, Streetlight and Traffic Signal Pole Foundations and other structures require a separate Building Permit from the Building Department.</p> <p>61. An Obstruction Permit (OB) may be required prior to issuance of a Grading, Building, PX, CGS or another related permit. OB permits are required for temporary or permanent removal of metered and non-metered parking spaces, sidewalk closure(s), staging of materials, construction dewatering equipment, blocking, placement of storage units, equipment within the right-of-way.</p> <p>62. An approved Traffic Control Plan (TCP) may be required prior to issuance of an OB permit, PX permit or any work requiring Traffic Control Measures within the City's right-of-way.</p>	<p>PX permit is required for offsite improvements. OB permit is required if there is any impacted parking space on street. Traffic Control Plan may be required prior to issuance to OB and PX permit.</p> <p>SL Permit is required for any new or abandoned sewer lateral.</p>
<p><u>OTHER</u></p> <p>63. Projects with "<i>Special</i>" considerations, for example; may require utility undergrounding of overhead utilities, improvements off-site (i.e. new traffic signal), ownership of land/project sponsor TCSE Economics & Workforce Development, a City Capital Project, or may be part of a larger "Master Planned Development" with Development Agreement and/or phased Final Maps.</p>	<p>Conditions may apply at the time of a Building Permit application.</p>

PER CITY RECORDS AND INFORMATION RECEIVED FOR REVIEW ITEMS NOTED BELOW MAY AFFECT THE DESIGN, REVIEW AND APPROVAL, PERMITTING, MAP APPROVAL PROCESSES. *(The City assumes No Responsibility for the Accuracy and/or Completeness thereof.)*

Preliminary Title Report		Vacation / Dedication	
Flood Zone		Easement	Private access easement shall be recorded
Creek Permit / Water Course		Existing Utilities / Overhead	
Land / Boundary Survey		BART	
Lot Dimension(s)		CALTRANS	
Sidewalk Clearance (i.e. 5.5 ft.)		EBMUD	
Sidewalk Curb Ramps		PG&E	
Encroachment	Remove existing fence encroachments to neighbors	UPRR	
CDMG Designation		City of Oakland Ownership	
Land Stability	In Liquefaction Severity 3 zone	City of Berkley	
Street Lighting		City of Emeryville	
Traffic Circulation / Bicycle Lane		City of Piedmont	
Traffic Signal		Other	

*Additional information is provided below:

An agreement must be recorded for private access easement and must indicate maintenance responsibilities.

Planning/Zoning Number	Map Number <i>(if applicable)</i>	DATE
PLN18142	TTM8464	4/3/2018



REVIEW OF AGENCY PLANNING APPLICATION

THIS IS NOT A PROPOSAL TO PROVIDE WATER SERVICES

The technical data supplied herein is based on preliminary information, is subject to revision and is to be used for planning purpose ONLY

DATE: 04/09/2018	EBMUD MAP(S): 1485B486, 1482B486	EBMUD FILE: S-10552
AGENCY: City of Oakland Planning and Zoning Services Division Attn: Neil Gray 250 Frank Ogawa Plaza, Suite 2114 OAKLAND, CA 94612	AGENCY FILE: PLN18142, TTM8464	FILE TYPE: Development Plan
APPLICANT: Caser Feeser 90 South Park Street San Francisco, CA 94107		OWNER: Timberline Fund II 181 Lowell Street San Francisco, CA 94112

DEVELOPMENT DATA

ADDRESS/LOCATION: 3245 & 3251 Hollis Street	City: OAKLAND	Zip Code: 94608
ZONING: PREVIOUS LAND USE: Vacant lot		
DESCRIPTION: Re-subdivision to create five lots for 10 residential condominiums		TOTAL ACREAGE: 0.23 ac.
TYPE OF DEVELOPMENT:	Single Family Residential: 10 Units	

WATER SERVICES DATA

PROPERTY: in EBMUD	ELEVATION RANGES OF STREETS: 16-16	ELEVATION RANGE OF PROPERTY TO BE DEVELOPED: 16-16	
Part of development may be served from existing main(s) Location of Main(s): Hollis Street	Part of development must be served from main extension(s) Location of Existing Main(s): Hollis Street		
PRESSURE ZONE	SERVICE ELEVATION RANGE	PRESSURE ZONE	SERVICE ELEVATION RANGE
G0A3	0-100	G0A3	0-100

COMMENTS

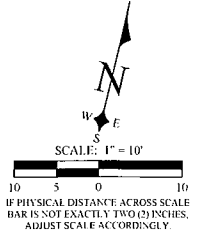
Effective January 1, 2018, water service for new multiunit structures shall be individually metered or sub-metered in compliance with State Senate Bill 7 (SB-7). SB-7 encourages conservation of water in multifamily residential and mixed use multi-family and commercial buildings through metering infrastructure for each dwelling unit, including appropriate water billing safeguards for both tenants and landlords. EBMUD water services shall be conditioned for all development projects that are subject to SB-7 requirements and will be released only after the project sponsor has satisfied all requirements and provided evidence of conformance with SB-7.

Once the property is subdivided, separate meters for each lot will be required. A main extension at the project sponsor's expense will be required to serve the proposed development. When the development plans are finalized, the project sponsor should contact EBMUD's New Business Office and request a water service estimate to determine the costs and conditions of providing water service to the development. Engineering and installation of water mains and meters requires substantial lead time, which should be provided for in the project sponsor's development schedule. No water meters are allowed to be located in driveways. The project sponsor should be aware that Section 31 of EBMUD's Water Service Regulations requires that water service shall not be furnished for new or expanded service unless all the applicable water-efficiency measures described in the regulation are installed at the project sponsor's expense. Due to EBMUD's limited water supply, all customers should plan for shortages in time of drought.

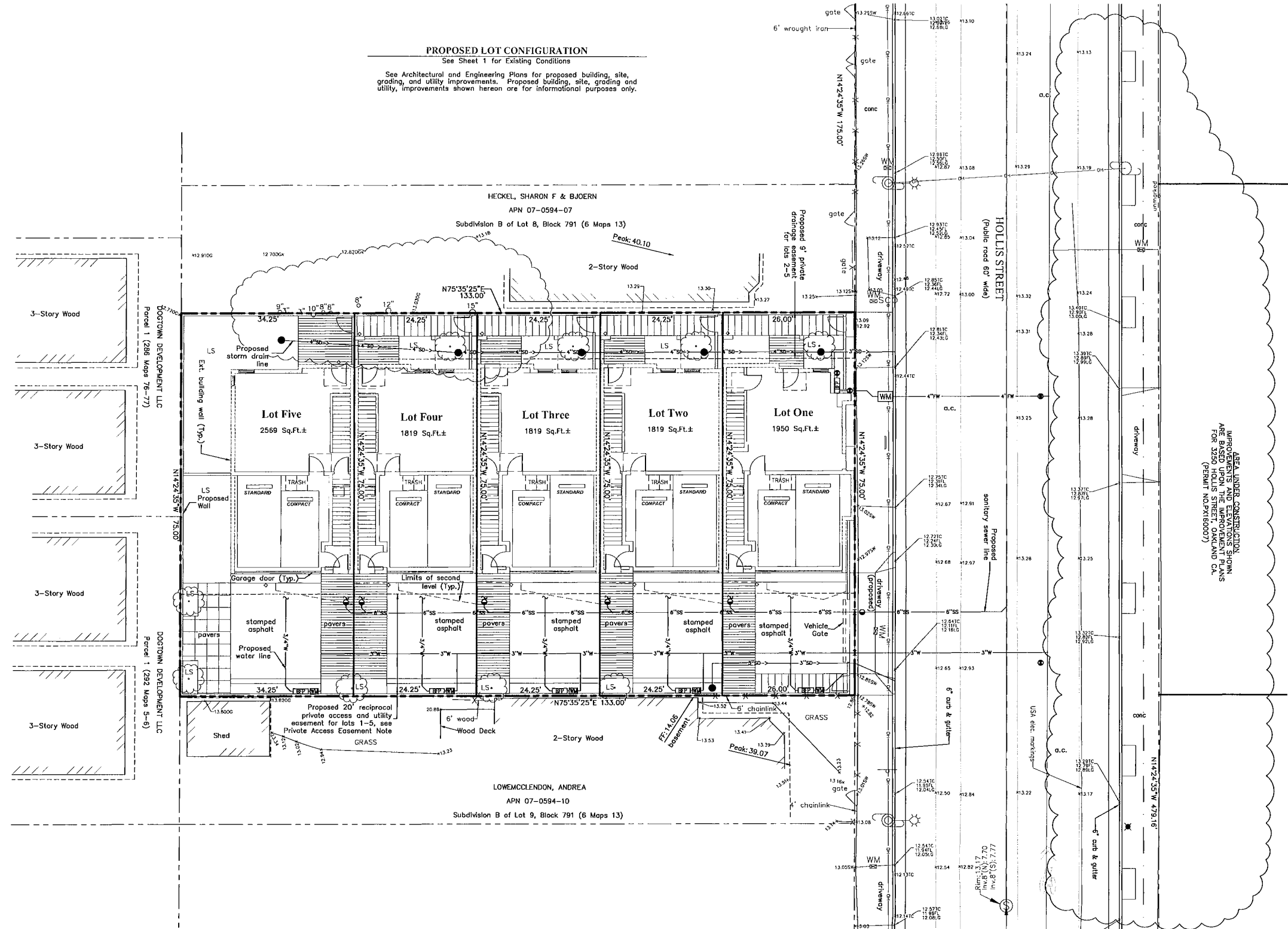
NL

CHARGES & OTHER REQUIREMENTS FOR SERVICE:
Contact the EBMUD New Business Office at (510)287-1008.

 4/9/18
 Jennifer L. Mcgregor, Senior Civil Engineer, DATE
 WATER SERVICE PLANNING SECTION



PROPOSED LOT CONFIGURATION
See Sheet 1 for Existing Conditions
See Architectural and Engineering Plans for proposed building, site, grading, and utility improvements. Proposed building, site, grading and utility, improvements shown hereon are for informational purposes only.



- LEGEND**
- Existing property boundary
 - - - Existing parcel lines of adjacent properties
 - Proposed Lot Line
 - Existing street centerline
 - Existing building line
 - Proposed building wall at ground level
 - Proposed Privacy Wall / Fence
 - Existing fence line
 - Existing overhead utility line
 - Sanitary sewer clean out
 - Sanitary sewer manhole
 - Storm drainage manhole
 - Water manhole
 - Existing overhead utility pole
 - Existing light
 - Existing guy wire
 - Existing ballard
 - Cut-off 4"x6" wooden ballard
 - Cut-off metal post
 - Found survey monument
 - Invert elev. per City Sewer Map
 - Asphaltic concrete
 - Blow-off / Air release Valve
 - Curb inlet w/ catch basin
 - Concrete
 - Corner Record
 - Electrical vault
 - Gas valve
 - Fire hydrant
 - Flow Line
 - GB Grade break
 - GM Gas meter
 - GNV Ground not visible
 - LS Landscaping
 - P Planter box
 - PGE PGE Box or Vault
 - PSE Public Service Easement
 - Sign
 - T Telephone vault
 - TC Top of curb
 - TD Truncated domes
 - TH Threshold
 - TV T.V. / cable vault
 - WM Water meter
 - Water valve
 - Tree w/ trunk

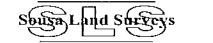
SHEET INDEX
1 Subdivision Boundary Sheet / Existing Conditions
2 Interior Lot Configuration / Proposed

PRIVATE ACCESS EASEMENT NOTE
Cantilevered building items, such as building overhangs, decks, and upper floors, are permitted to extend up to 5 feet inside the northern portion of the private access and utility easement as shown hereon. No building items within said easement are allowed to be located less than 8 vertical feet above the ground elevation.

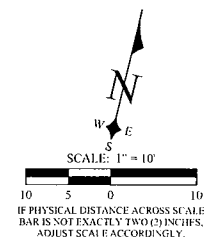
ALL LATER CONSTRUCTION SHALL BE BASED UPON THE IMPROVEMENT PLANS FOR 3250 HOLLISS STREET, OAKLAND, CA. (PERMIT NO.PX150007)

**TRACT MAP NO. 8464
TENTATIVE TRACT MAP**

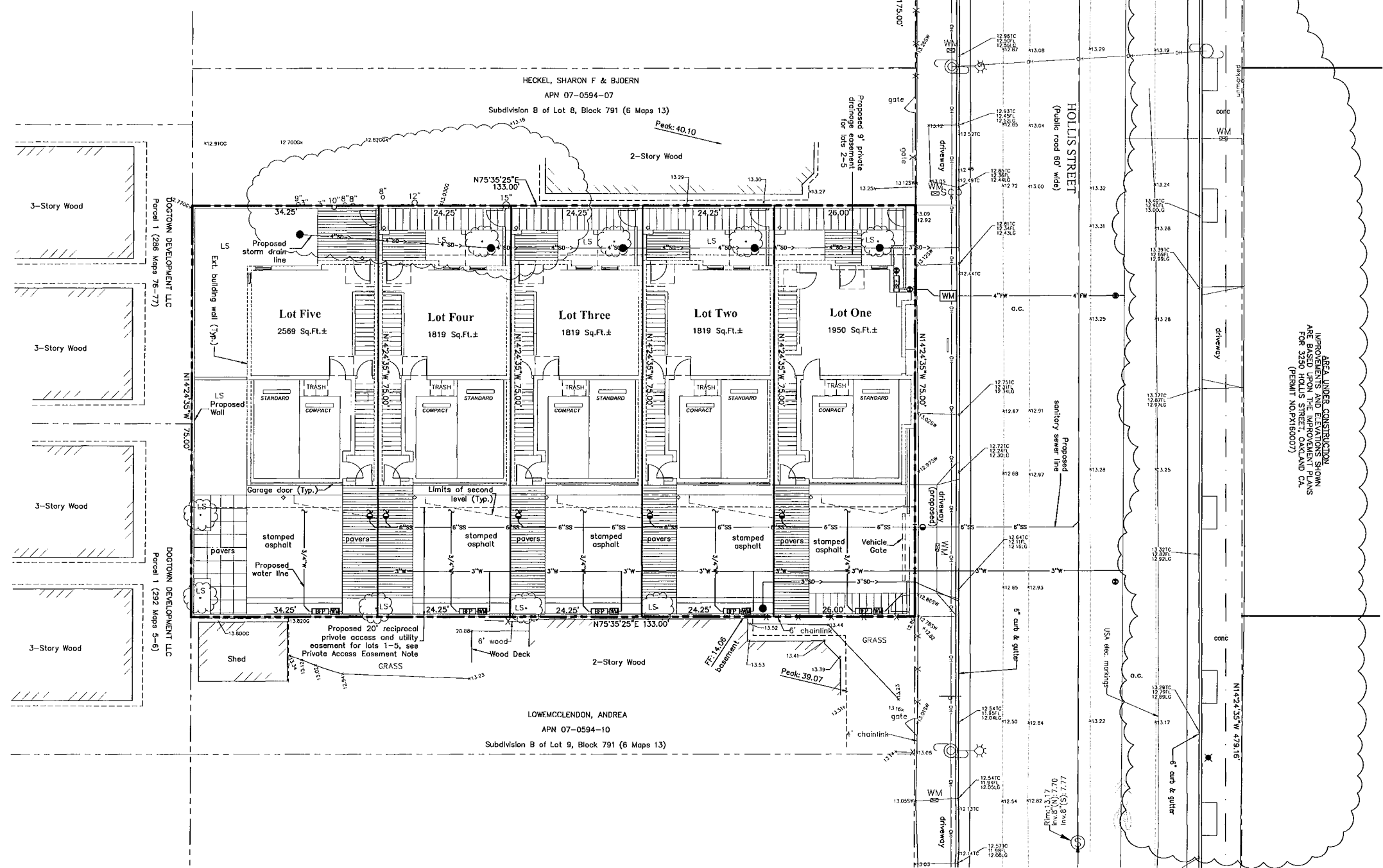
Being a Merger and Re-Subdivision to Create Five Lots for 10 Residential Condominium Purposes of 3245 and 3251 Hollis Street, Oakland, CA. being: Assessor Parcel Numbers 007-0594-008 and 007-0594-009 as Described in the Grant Deed DOC. 2015094925 Surveyed: March 1, 2018



tel 707.425.4300 fax 707.425.4300
3809 Rollingwood Dr. Fairfield, CA 94534



PROPOSED LOT CONFIGURATION
See Sheet 1 for Existing Conditions
See Architectural and Engineering Plans for proposed building, site, grading, and utility improvements. Proposed building, site, grading and utility improvements shown hereon are for informational purposes only.



AREA UNDER CONSTRUCTION
IMPROVEMENTS AND ELEVATIONS SHOWN
ARE PROPOSED AND UNPERMANENT
FOR 3250 HOLLIS STREET, OAKLAND, CA.
(PERMIT NO. PX18007)

- LEGEND**
- Existing property boundary
 - - - Existing parcel lines of adjacent properties
 - Proposed Lot Line
 - Existing street centerline
 - Existing building line
 - Proposed building wall at ground level
 - Proposed Privacy Wall / Fence
 - Existing fence line
 - Existing overhead utility line
 - Sanitary sewer clean out
 - Sanitary sewer manhole
 - Storm drainage manhole
 - Water manhole
 - Existing overhead utility pole
 - Existing light
 - Existing guy wire
 - Existing bollard
 - Cut-off 4"x6" wooden bollard
 - Cut-off metal post
 - Found survey monument
 - Invert elev. per City Sewer Map
 - Asphaltic concrete
 - Blow-off / Air release Valve
 - Curb inlet w/ catch basin
 - Concrete
 - Corner Record
 - Electrical vault
 - Gas valve
 - Fire hydrant
 - Flow Line
 - Grade break
 - Gas meter
 - Ground not visible
 - Landscaping
 - Planter box
 - PGE Box or Vault
 - Public Service Easement
 - Sign
 - Telephone vault
 - Top of curb
 - Truncated domes
 - Threshold
 - T.V. / cable vault
 - Water meter
 - Water valve
 - Tree w/ trunk ø

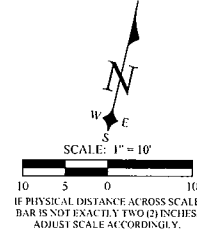
SHEET INDEX

1	Subdivision Boundary Sheet / Existing Conditions
2	Interior Lot Configuration / Proposed

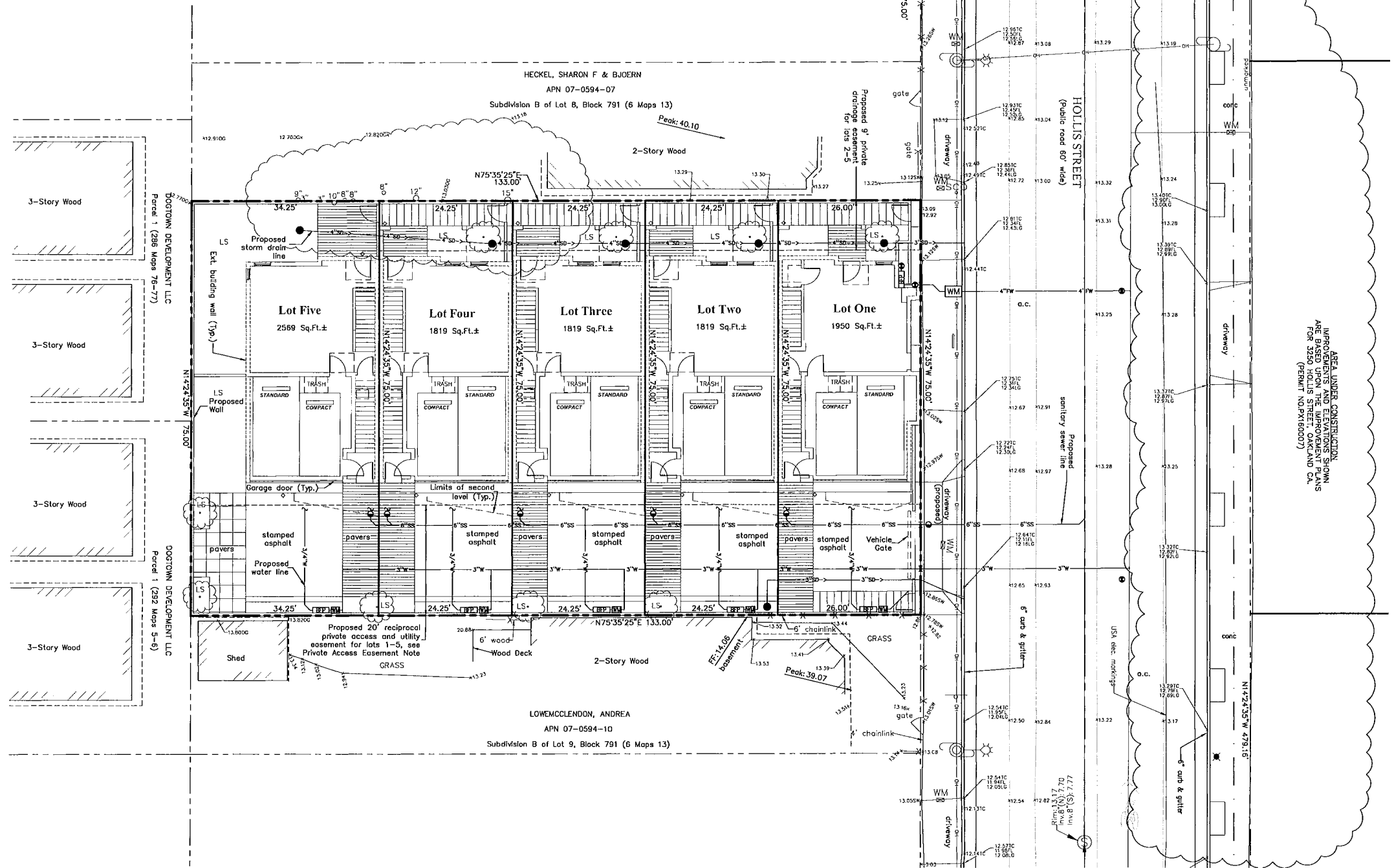
PRIVATE ACCESS EASEMENT NOTE
Overlaid building items, such as building overhangs, decks, and upper floors, are permitted to extend up to 5 feet inside the northern portion of the private access and utility easement as shown hereon. No building items within said easement are allowed to be located less than 8 vertical feet above the ground elevation.

TRACT MAP NO. 8464
TENTATIVE TRACT MAP
Being a Merger and Re-Subdivision to Create Five Lots for 10 Residential Condominium Purposes of 3245 and 3251 Hollis Street, Oakland, CA. being: Assessor Parcel Numbers 007-0594-008 and 007-0594-009 as Described in the Grant Deed DOC. 2015094925 Surveyed: March 1, 2018

SUSA Land Surveys
tel 707.425.4300 fax 707.425.4300
3809 Rollingwood Dr. Fairfield, CA 94534



PROPOSED LOT CONFIGURATION
 See Sheet 1 for Existing Conditions
 See Architectural and Engineering Plans for proposed building, site, grading, and utility improvements. Proposed building, site, grading and utility, improvements shown hereon are for informational purposes only.



AREA UNDER CONSTRUCTION.
 IMPROVEMENTS AND ELEVATIONS SHOWN
 ARE PERMITTED UNDER PERMITS
 FOR 3250 HOLLIS STREET OAKLAND CA.
 (PERMIT NO. PX18007)

- LEGEND**
- Existing property boundary
 - - - Existing parcel lines of adjacent properties
 - Proposed Lot Line
 - Existing street centerline
 - Existing building line
 - Proposed building wall at ground level
 - Proposed Privacy Wall / Fence
 - Existing fence line
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PRIVATE ACCESS EASEMENT NOTE
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TRACT MAP NO. 8464
TENTATIVE TRACT MAP

Being a Merger and Re-Subdivision to Create Five Lots
 for 10 Residential Condominium Purposes
 of
 3245 and 3251 Hollis Street, Oakland, CA.
 being:
 Assessor Parcel Numbers 007-0594-008 and 007-0594-009
 as Described in the Grant Deed DOC. 2015094925
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