

Oakland City Planning Commission

Design Review Committee

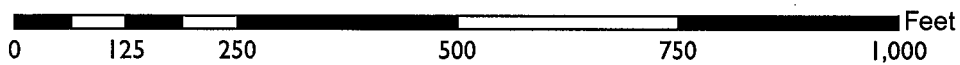
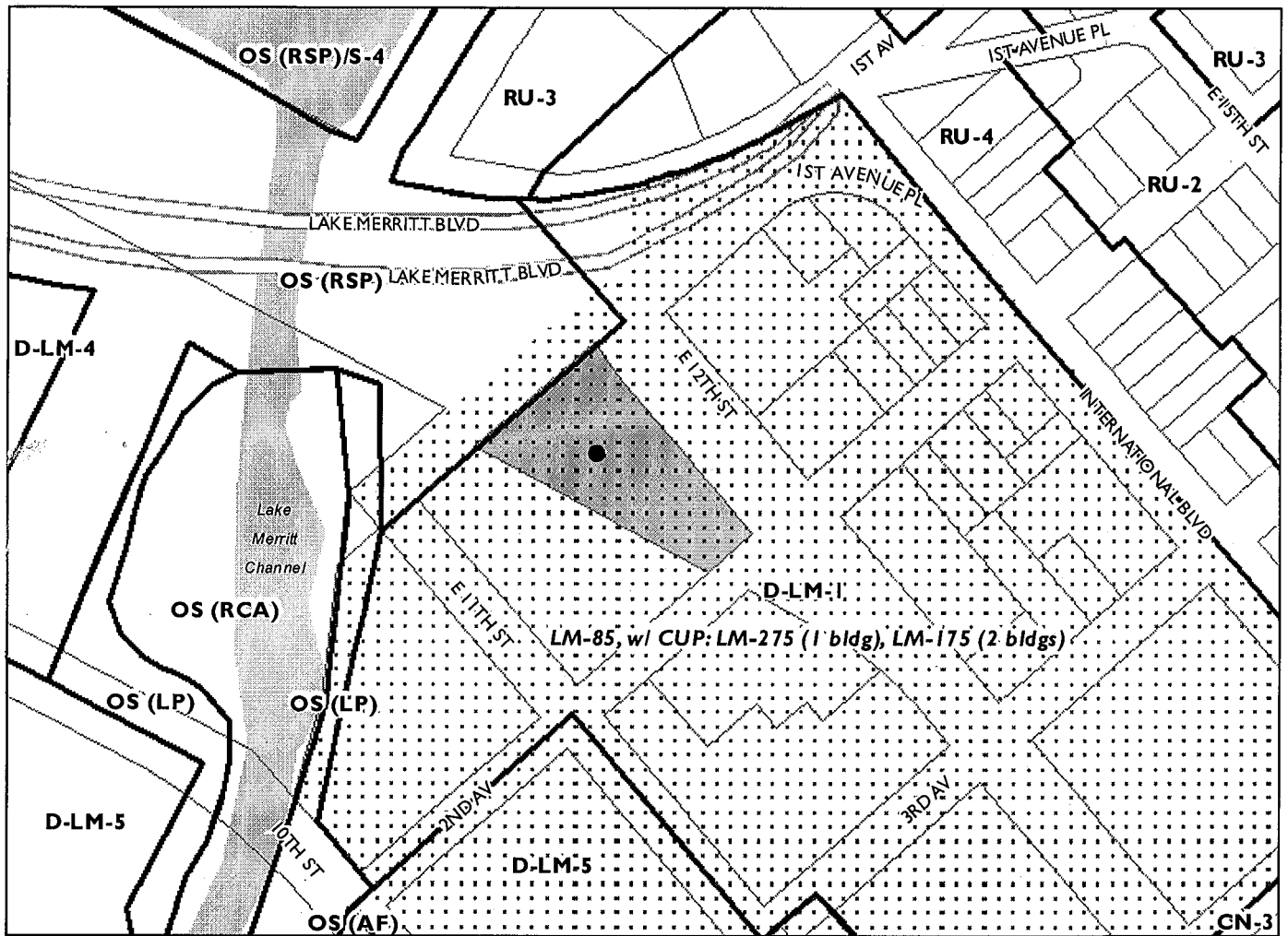
STAFF REPORT

Case File Number: PLN16-128, ER01

October 25, 2017

Location:	Parcel generally bounded by Lake Merritt Boulevard to the north, East 12 th Street to the east, 2 nd Avenue to the south, and a City park/water treatment basin and Lake Merritt Channel to the west. (see map on reverse)
Assessors Parcel Numbers:	019-0027-014
Proposal:	This project was approved at the June 15, 2016 Planning Commission meeting and is being presented to the Design Review Committee to receive input regarding design details. The project includes construction of two buildings over a two-story podium. The northern building is a 26-story residential tower, including the two-story podium, which contains 252 market rate units and 18 "work force" units. The southern building includes eight stories, including the 2-story podium, and 91 affordable housing units. The project also includes two commercial spaces and a 2,656 square-foot cultural center. Off-site improvements are also proposed to the existing stormwater treatment basin/park located adjacent to the site.
Applicant:	Ronnie Turner, UrbanCore
Owner:	City of Oakland
Planning Permits Approved:	Design Review for new construction; Conditional Use Permits to be subject to the requirements of Height Area LM-275 instead of Height Area LM-85; for increased building base height; for reduced loading birth dimensions; for construction over 100,000 square feet, and for improvements to a stormwater treatment facility. Variance for a storefront depth of 28 feet instead of the required 50 feet; All permits were Major because the proposed construction is greater than 100,000 square feet in a D-LM zone.
General Plan:	Urban Residential
Zoning:	D-LM-1 Lake Merritt Station Area District Mixed Residential Zone – 1
Environmental Determination:	The anticipated environmental effects of the project have been evaluated by the Lake Merritt Station Area Plan Final Environmental Impact Report (Final EIR) (certified November 2014). The project is also Categorical Exempt under Section 15332 of the State CEQA Guidelines: In-Fill Development Projects; Section 15183 of the State CEQA Guidelines: Projects consistent with a Community Plan, General Plan or Zoning; and 15183.3 (Streamlining for Infill Projects). These analyses and exemptions satisfy CEQA requirements on a separate and independent basis.
Historic Status:	Empty lot; no historic properties.
Decision to be taken	Decision on proposal based on staff's recommendation
Status	Appealable to the City Council within ten days.
Service Delivery District:	4
City Council District:	2
For further information:	Contact case planner Neil Gray at 510-238-3878 or by email: ngray@oaklandnet.com

CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN16128
 Applicant: Ronnie Turner – Urban Core
 Address: 101 E 12th Street
 Zone: D-LM-1
 Height Area: LM-85, w/ CUP: LM-275 (1 bldg), LM-175 (2 bldgs)

SUMMARY

The project consists of the construction of two buildings over a two-story podium. The northern building is a 26-story, 272-foot-tall residential tower that contains 252 market rate and 18 “work force” housing units. The southern building is eight stories and 85 feet tall and contains 91 affordable housing units. The project also contains two commercial spaces, a 2,656 square-foot cultural and performance center (“central commons”), and improvement of a passive open space area on an adjacent parcel.

The project was approved at the June 15, 2016 Planning Commission meeting. Part of the motion to approve requested the project return to the Design Review Committee for direction regarding the design details of the proposal. This report is a response to that motion.

PROPERTY DESCRIPTION

The site consists of two adjacent parcels: the parcel proposed for new construction (“project site”) and a neighboring vegetated area with a bioswale (“passive open space area”). Both sites are currently owned by the City and are on the southeastern edge of the Lake Merritt Specific Plan Area.

The approximately 0.92-acre project site is triangular and generally bounded by Lake Merritt Boulevard to the north, 2nd Avenue, a parcel with an empty building formerly occupied by the Oakland Unified School District (OUSD) to the west, E. 12th Street to the east, and the passive open space to the north. Lake Merritt is located to the northeast of the project site across Lake Merritt Boulevard. Current uses on the site include soil stockpiling and staging for nearby construction projects.

The passive open space area is a recently re-vegetated 0.91-acre City stormwater basin installed as part of the East 12th Street Reconstruction Project. It is adjacent to Lake Merritt Boulevard to the northwest, the school site and Lake Merritt Channel to the west, and the project site to the east. This parcel is significantly sloped toward the Channel.

The entire site was uncovered after East 12th Street was realigned as part of the East 12th Street Reconstruction Project, which was funded by Measure DD.

NEIGHBORHOOD DESCRIPTION

The site vicinity consists of public, institutional, residential, and commercial uses. Public and institutional uses, including the Kaiser Center and the Alameda County Courthouse, are among the most visible downtown land uses in the area and are largely concentrated along the Lake Merritt Channel and 13th Street. The Dewey High School campus and the former OUSD administrative offices, which are also planned for redevelopment, are located at the southern border of the project site. This site is also near Laney College campus and sports fields, the Peralta Community College District Administration buildings, the Oakland Museum of California, the Kaiser Auditorium, the County Court and Offices, and the Main Oakland Public Library.

There are several multi-unit apartment buildings ranging from 2 to 23 stories in the adjacent East Lake neighborhood. These buildings have a variety of architectural styles: The 1200 Lakeshore Apartments, a 23-story residential building on the shore of Lake Merritt, has a post-modern style; the 18-story “Merritt on 3rd” residential building located southeast of the project site has a contemporary style; the five-story Lakemount Apartment Building across 2nd Avenue from the project site has a traditional architectural style.

PROJECT DESCRIPTION

The project consists of the construction on of two buildings over a two-story podium. The northern building is a 26-story (including the two-story podium), 272-foot-tall residential tower, which contains 252 market rate and 18 “work force” housing units. The southern building is eight stories (including the 2-story podium) and 85 feet tall and contains 91 affordable housing units. The project also contains two commercial spaces and a 2,481 square-foot cultural and performance center (“central commons”). The project site includes 31,103 square feet of open, cultural, recreational space, and other amenities and improvements, not including the passive open space area. The following table describes the unit mix for each building:

	Southern Building	Northern Building
Studios	25	86
One-bedrooms	34	66
Two-bedrooms	22	86
Three-bedrooms	10	22
Penthouse	--	6
Townhouses	--	4
Total	91	270

The project is described in more detail below. Architectural plans are in Attachment A.

Site Plan

At approximately 123 feet long, and 100 feet wide, the northern building has a small footprint relative to the size of the site and other towers that have been approved in Downtown Oakland. The small footprint of this 275-foot tall tower will accommodate views of Lake Merritt and Downtown from southern portions of the City.

A group open space area, defined by the forty-foot space between the two towers on the podium, would contain landscaping, a play area for kids, and seating. Other open space amenities on the northern side of the side would surround the tower on the podium level and be located at rooftop terraces.

At approximately 8,800 square feet, the eight-story, 85-foot tall southern building would have a larger footprint than the northern tower. An open space area with an outdoor kitchen and lounge would be defined by the U-shape of the building.

The ground floor façade at E. 12th Street contains three “commons.” The main entrance for all residents of the development leads into the 5,324 square-foot central commons. The north and

south commons would contain the residential lobbies and elevators for the north and south buildings.

A 1,990 square-foot café would be located at the northwest corner of the site adjacent to a terrace proposed to overlook the open space parcel; an approximately 1,400 square-foot retail space would be at the southeast corner of the site at the intersection of E. 12th Street and 2nd Avenue. Neither the café location nor the terrace overlooking passive open space were part of the original approval. The café and offices facing the terrace would replace the four townhouses that were previously approved for the location. A condition of approval in the original report required a café to be at the corner of Lake Merritt Boulevard and 2nd Street. Staff believes that the newly proposed location is appropriate to take full advantage of the open space and terrace and will be conveniently accessed by pedestrians walking around Lake Merritt.

A garage entrance would face 2nd Street and lead to parking behind the café and commons space. The application proposes two underground floors of car parking containing an automated puzzle car stacking system, bicycle parking, and utilities. The parking garage would include a total of 320 spaces for cars and 216 spaces for bikes. Two loading berths would be located near the 2nd Street entrance.

Elevations

Building Base. Double story windows on the bottom floor of the E. 12th Street façade allow views from the street into the commons, lobbies, and retail space, and create a prominent building base. The ground floor columns also relate to the historic civic buildings on Lake Merritt Boulevard and 14th Street, such as the Kaiser Convention Center, Alameda County Courthouse, and the Main Branch of the Oakland Public Library. The window system continues to the south elevation, which allows views into office space and the café.

Northern tower. As mentioned, the 26-story (including the podium) northern building would have a relatively small footprint for a tower of its height. Its northern façade, which faces the Lake, is rounded to allow better views of the East Bay Hills, Downtown Oakland, and Lake Merritt and to create a visually interesting tower shape. Each floor of this northern elevation would contain glazing with a blue-gray tint above curved, horizontal panels. These panels would be articulated to provide depth and visual interest to the façade.

Several elements of this façade have been added, such as balconies on each floor, an indoor lounge creating a wedge-shaped overhang on the 20th floor, and light grey colored panels on first 20 floors of the façade. Staff supports these changes because they provide a better composition and the balconies provide a more residential appearance to the building.

The elevations of the other sides of the building include patterns of light and dark gray panels, windows, and balconies. Like the northern façade, the balconies and panels are newly proposed visual treatments. The southern part of this façade contains dark gray louvres between each floor that wraps around to the 2nd Street elevation.

Southern building. The most visible elevation of this building would be the east (E. 12th Street)

side of the building because the rear of the building faces the OUSD future development site. The E. 12th Street elevation was originally articulated into five bays defined by windows and balconies. The revised elevation proposes alternating columns of light gray panels and darker aluminum windows and two large bays of windows and dark panels. The 2nd Street elevation contains patterns of windows and light gray panels.

Adjacent Open Space

Additional off-site landscaping improvements are proposed for the adjacent open space than was initially approved. The original approval only included the installation of low natural landscaping, such as native plantings, groundcover, shrubs and trees and would have functioned as a passive open space area.

The new proposal includes creating a terrace area extending from the western side of the building that would contain semi-permeable pavers, a seating area for the café, drought tolerant ornamental planting, and an “arrival plaza” at the intersection of East 12th Street and Lake Merritt Boulevard. The proposal also contains a curved walking path from Lake Merritt Boulevard to a planned path adjacent to the Lake Merritt Estuary.

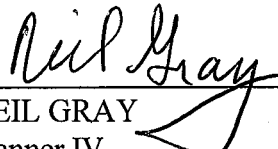
KEY ISSUES AND IMPACTS

For the reasons stated above, staff supports the proposed changes to the original proposal. Staff requests the Design Review Committee’s direction regarding design details of the buildings and the changes to the proposed façade described in the Project Description section of this report.

RECOMMENDATION

Review the design of the proposal and provide direction to staff and the applicant.

Prepared by:


NEIL GRAY
Planner IV

Reviewed by:


ROBERT MERKAMP
Major Projects Manager
Bureau of Planning

ATTACHMENT:

- A. Project Plans

ZONING CODE SUMMARY

CASE NUMBER
PROJECT SITE AREA: 44,402.76 SF (0.82 ACRES)
PROJECT TYPE
PERMANENT RESIDENTIAL ACTIVITY, MULTI-FAMILY DWELLING
COMMERCIAL ACTIVITY
ACCESSORY OFF-STREET PARKING
ZONING
PARCEL NO.: APM 19-27-14
BOUND BY EAST 12TH STREET, SECOND AVENUE AND LAKE MERRITT BOULEVARD
(ADDRESS TO BE DETERMINED) - OAKLAND, CA 94612
ZONE
D-1-M (MIXED RESIDENTIAL)
LAKE MERRITT STATION AREA PLAN
HEIGHT LIMIT
PER TABLE 17.10(G)(4)
65 FT. (MID-RISE) / 275 FT. (TOWER) CLIP
45 FT. BASE
PROPOSED CONSTRUCTION
PODIUM BUILDING - TYPE I-A CONSTRUCTION (3 STORIES - 2 BELOW GRADE & ONE ABOVE)
NORTH (TOWER) - TYPE I-A CONSTRUCTION (25 STORIES ABOVE PODIUM)
SOUTH (MID-RISE) - TYPE I-A CONSTRUCTION (6 STORIES ABOVE PODIUM)

ZONING

This project has been designed to conform with the recommendations of the Lake Merritt Station Area Plan
Land Use Character according to the Plan, the site is in an area called Urban Residential Zone, "appropriate... for high-rise residential structures" and follows a variety of ground floor uses compatible with a residential area. The project fits this definition.
Active Ground Floor Uses: the Plan calls for activating the park side and East 12th St frontage. This development activates East 12th St with retail (1,269 SF), residential bobble with lounge (4,469 Total SF), and a Central Commons that serves all residents with access and convenient services (2,461 SF). The park side is activated by the cafe and a public terrace overlooking Lake Merritt Boulevard and the lake.
Height and Massing Concepts: the site is located in an area designated by the Lake Merritt Specific Plan to have a Base Height at 45' and a Tower Height of 275' total with the base. This development proposes a Base Height along East 12th Street that varies between 15' - 25' above grade, rising with the slope of the street. The South mid-rise building will be 65' above the podium, or about 92' above grade. The North tower building extends 25 floors (255') above the podium, which is 19' above average grade and results in the Tower plus Base Height of 275' allowed in the Plan.

CAR AND BICYCLE PARKING REQUIREMENTS

RESIDENTIAL PARKING (17.10(G)(8)(A) / CHAPTER 17.110) REQUIRED: 270 UNITS * 0.75 (SPACES PER UNIT) 91 AFFORDABLE UNITS * 0.50 (SPACES PER UNIT) TOTAL REQUIRED: 249 SPACES	PROVIDED: 197 SPACES 231 STANDARD (0.55 SPACES PER UNIT) TOTAL PROVIDED: 197 SPACES	PARKING SPACE TYPE ADA STANDARD (8' x 18') 8 TANDEN STANDARD (8' x 18') 3 INTERMEDIATE & COMPACT 13 STANDARD (8' x 18') 178 Grand total: 200	BIKE PARKING - RESIDENTIAL REQUIRED: LAKEHOUSE NORTH (LONG TERM) PER 17.10(G)(8)(B) / CHAPTER 17.117: 68 (1 PER 4 UNITS) LAKEHOUSE SOUTH (LONG TERM) PER FUNDING REQUIREMENTS: 46 (1 PER 2 UNITS) COMBINED (SHORT TERM): 19 (1 PER 5 UNITS) TOTAL REQUIRED: 133
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NO RETAIL PARKING PROVIDED
NO SPACES REQUIRED FOR RESTAURANTS / GENERAL FOOD SALES, GENERAL RETAIL SALES, CONSUMER SERVICE
LOADING BERTHS: 2 OFF-STREET LOADING BERTHS REQUIRED FOR RESIDENTIAL USES
PROVIDED: 2 OFF-STREET LOADING BERTHS PROVIDED FOR RESIDENTIAL USES

The parking design includes the option of mechanical "puzzle" stacks at Levels 1 and B2 which increases total parking count to 237 spaces
TOTAL PROVIDED: 133 BIKE SPACES

PROJECT DESCRIPTION AND DATA

The project sponsor, UrbanCore and EBALDC, propose to construct two buildings sitting on a concrete podium garage. The podium includes 1 level above grade and 2 levels below grade, containing parking at all levels and centrally located retail functions at grade facing East 12th St and Lake Merritt Boulevard. One building is a 26-story residential tower that is approximately 275' to the roof above the average grade of the site which is 21' above sea level; the other building is an 7 story mid-rise that is approximately 65' to its roof above grade.
The site (32 acres) is on the west side of East 12th Street, between Second Avenue and Lake Merritt Boulevard (address to be determined).
The proposed project will include:
361 dwelling units, including 270 units in the market rate Lakehouse North tower (252 market rate units and 18 workforce units) and 91 flats in the affordable Lakehouse South mid-rise. Lakehouse North comprises 200 flats and 6 penthouses at the top floor.
There is a 3-level parking garage (two below grade) totaling 96,414 SF with 200 car parking stalls and bicycle storage.
Off-site improvements include enhancement of a City park fronting Lakehouse North and streetscape improvements per the LMSP.
The proposed project will also include the following uses as tabulated with their proposed floor areas:

AMENITIES CAFE & KITCHEN - NORTH 2,567 SF CENTRAL COMMONS INCLUDING BIKE ROOMS 2,481 SF RETAIL - SOUTH 1,344 SF LOBBY - NORTH 4,824 SF LOBBY - SOUTH 2,536 SF PODIUM LEVEL COMMUNITY ROOMS NORTH INCLUDING FITNESS CENTER 7,069 SF SOUTH 1,356 SF	CIRCULATION & BUILDING SERVICES NORTH 51,740 SF SOUTH 14,724 SF	COURTYARDS CENTRAL COURTYARD 5,324 SF NORTH COURTYARD 5,469 SF SOUTH COURTYARD 1,632 SF	GARAGE PARKING GARAGE 96,414 SF PROPERTY MANAGEMENT ADMINISTRATION - NORTH 1,155 SF ADMINISTRATION - SOUTH 304 SF RESIDENTIAL - NORTH 241,346 SF RESIDENTIAL - SOUTH 67,249 SF LEVEL 20 CLUB 2,453 SF PRIVATE BALCONIES RESIDENTIAL - NORTH 10,120 SF ROOF DECKS LEVEL 20 CLUB TERRACE 952 SF ROOF DECK - SOUTH 1,119 SF
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TOTAL GROSS SQUARE FEET 497,544 SF

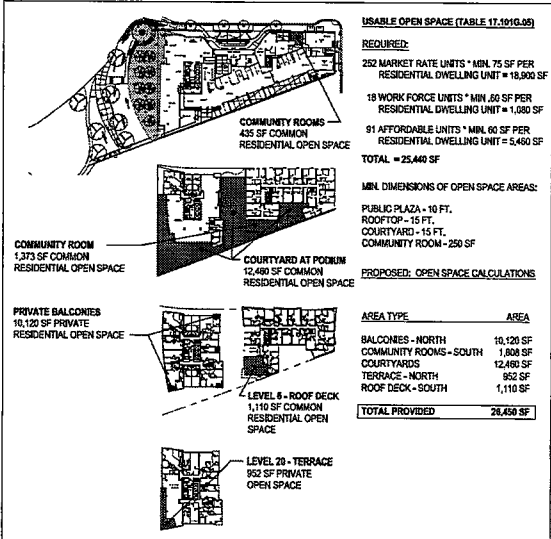
PROPOSED EXCAVATION

The project includes the proposed excavation of 25' below current grade. Resulting in the excavation of approximately 1,000,000 SF of earth from the 44,276 SF site

SHEET INDEX

SHEET No.	NAME
T001	COVER SHEET
T002	SITE CONTEXT
T003	RENDERINGS
T004	RENDERINGS
T005	PERSPECTIVE VIEWS
T006	PERSPECTIVE VIEWS
T010	GREENPOINT CHECKLIST - NORTH (TOWER)
T011	GREENPOINT CHECKLIST - SOUTH (MID-RISE)
C1.00	TOPOGRAPHIC AND BOUNDARY SURVEY
C1.00	STORM WATER CONTROL PLAN
L1.S1.01	GROUND LEVEL LANDSCAPE PLAN
L1.S2.00	GROUND LEVEL PLANTING PLAN
L1.S3.00	GROUND LEVEL LANDSCAPE MATERIALS & IMAGES
L1.P1.01	PODIUM LANDSCAPE PLAN
L1.P1.02	PODIUM PLANTING & MATERIALS PALETTE
A1.00	SITE PLAN
A1.01	BUILDING PLAN - LEVEL B2
A1.02	BUILDING PLAN - LEVEL B1
A1.03	BUILDING PLAN - LEVEL 1
A1.04	BUILDING PLAN - LEVEL 2
A1.05	BUILDING PLAN - LEVEL 3
A1.06	BUILDING PLAN - LEVEL 4
A1.07	BUILDING PLAN - LEVEL 5
A1.08	BUILDING PLAN - LEVEL 6
A1.09	BUILDING PLAN - LEVEL 7
A1.10	BUILDING PLAN - LEVELS 8 - 19
A1.11	BUILDING PLAN - LEVELS 20
A1.12	BUILDING PLAN - LEVELS 21 - 25
A1.13	BUILDING PLAN - LEVEL 26
A1.14	BUILDING PLAN - ROOF LEVEL
A2.01A	ENLARGED BUILDING PLAN - LEVEL 2 - NORTH
A2.02B	ENLARGED BUILDING PLAN - LEVEL 2 - SOUTH
A2.03A	ENLARGED BUILDING PLAN - LEVEL 3-19 - NORTH
A2.03B	ENLARGED BUILDING PLAN - LEVEL 3 - SOUTH
A2.05B	ENLARGED BUILDING PLAN - LEVEL 4 - SOUTH
A2.06B	ENLARGED BUILDING PLAN - LEVEL 5 - SOUTH
A2.07B	ENLARGED BUILDING PLAN - LEVEL 6 - SOUTH
A2.08B	ENLARGED BUILDING PLAN - LEVEL 7 - SOUTH
A2.09A	ENLARGED BUILDING PLAN - LEVEL 20 - NORTH
A2.10A	ENLARGED BUILDING PLAN - LEVEL 21-25 - NORTH
A2.11A	ENLARGED BUILDING PLAN - LEVEL 26 - NORTH
A3.01	BUILDING ELEVATIONS
A3.02	BUILDING ELEVATIONS
A3.03	ENLARGED STREET LEVEL ELEVATION
A3.04	ENLARGED SECTION
A4.01	WALL SECTIONS
A4.02	WALL SECTIONS

OPEN SPACE REQUIREMENTS



UNIT MIX

UNIT SUMMARY - SOUTH					UNIT SUMMARY - NORTH				
UNIT TYPE	COUNT	UNIT NET AREA SQ FT	TOTAL UNIT TYPE NET AREA SQ FT		UNIT TYPE	COUNT	UNIT NET AREA SQ FT	TOTAL UNIT TYPE NET AREA SQ FT	
S1	STUDIO	6	382	2,292	B1	STUDIO	36	522	18,792
S2	STUDIO	6	424	2,544	B2	STUDIO	34	526	17,884
S3	STUDIO	6	418	2,508					
S3.1	STUDIO	6	426	2,556					
S4	STUDIO	1	460	460					
	TOTAL STUDIO UNITS:	25		10,260					
A1	1-BR	3	550	1,650	D	1-BR	23	705	16,215
A2	1-BR	1	562	562	H1	1-BR	22	763	16,896
A2.1	1-BR	1	558	558	H2	1-BR	22	747	16,434
A3	1-BR	5	621	3,105					
A4	1-BR	3	571	1,713	I (OPTION 1)	1-BR + DEN	12	1,044	12,528
A4.1	1-BR	3	654	1,962					
A4.3	1-BR	6	511	3,066					
A5	1-BR	6	599	3,594					
A5.1	1-BR	6	583	3,498					
	TOTAL 1-BR UNITS:	34		19,708					
B1	2-BR	3	819	2,457					
B1.1	2-BR	3	912	2,496					
B2	2-BR	6	818	4,908					
B3	2-BR	3	892	2,676					
B4	2-BR	3	881	2,643					
B4.1	2-BR	3	1,050	3,150					
B5	2-BR	1	886	886					
	TOTAL 2-BR UNITS:	22		15,156					
C1	3-BR	6	1,109	6,654					
C2	3-BR	1	1,059	1,059					
C3	3-BR	3	1,179	3,537					
	TOTAL 3-BR UNITS:	10		11,248					
	GRAND TOTAL:	91		67,249					

LAKEHOUSE
100% SCHEMATIC DESIGN SUBMITTAL



PROJECT TEAM

PROJECT SPONSOR
URBAN CORE DEVELOPMENT, LLC
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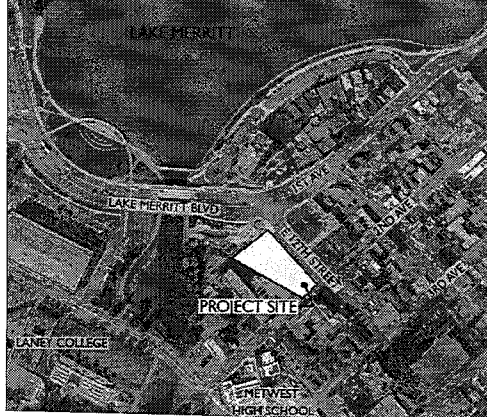
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PHONE: (510) 550-8851
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PHONE: (925) 254-6422
EMAIL: bruce@jettland.com

SITE AERIAL PLAN



PROJECT FEEDBACK
AVPP SKYPORT STUDIOS
100% SCHEMATIC DESIGN SUBMITTAL
DESIGNED BY: AVPP SKYPORT STUDIOS
SHEET TITLE: T0.01
COVER SHEET
SHEET NUMBER: T0.01

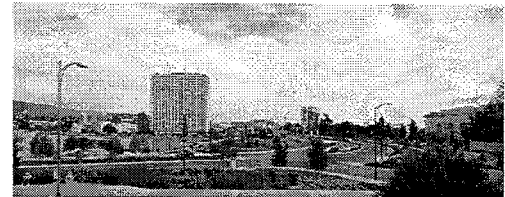
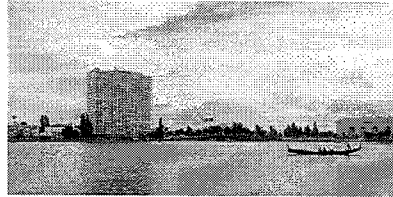
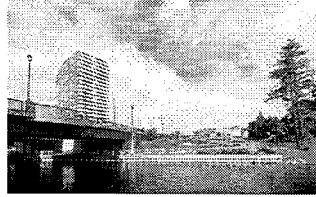


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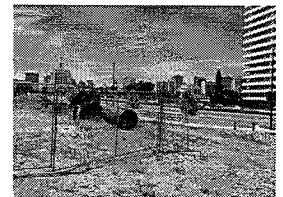
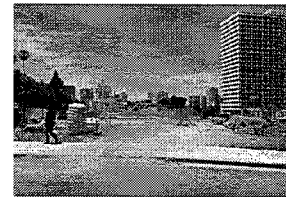
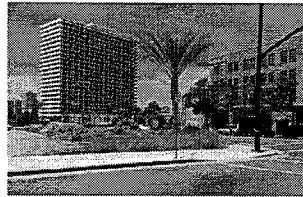
PROJECT NAME:

2017.09.15 - 100% SCHEMATIC DESIGN SET
LAKEHOUSE
E 12th STREET & LAKE MERRITT BLVD
OAKLAND, CA 94606

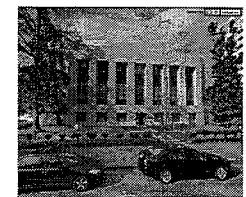
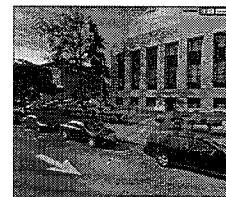
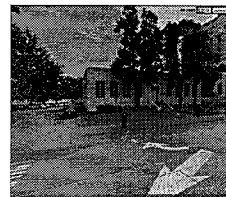
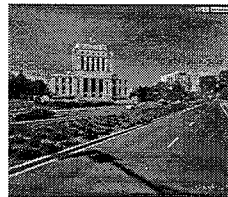
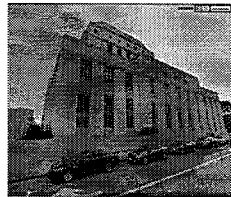
AVRUP STUDIOS, ARCHITECTS AND PLANNERS, 2001 10th Street, Suite 200, Oakland, CA 94612, TEL: 415.778.2270, FAX: 415.778.2271, WWW.AVRUPSTUDIOS.COM



ADJACENT SITES / CONTEXT



EXISTING SITE



HISTORICAL REFERENCE

avrup STUDIOS
SKYPORT
200 10th Street, Suite 200
Oakland, CA 94612
Tel: 415.778.2270
Fax: 415.778.2271
www.avrupstudios.com

AVTOK
architects + urban design

STAMP:

CONSULTANT:

PROJECT NAME:

2017.09.15 - 100% SCHEMATIC DESIGN SET
LAKEHOUSE
E 12th STREET & LAKE MERRITT BLVD.
OAKLAND, CA 94606

ISSUE DATE / DESCRIPTION / DATE

PROJECT NUMBER: 1004
CLIENT: AVTOK
ARCHITECT: AVTOK
CHECKED BY: Oshin
SHEET TITLE: SITE CONTEXT

SHEET NUMBER:

T0.02



LAKE MERRITT BLVD PERSPECTIVE
NTS ①



12TH STREET PERSPECTIVE
NTS ②

avrp STUDIOS
SKYPORT
 1000 Broadway, Suite 200
 San Diego, CA 92101
 Phone: 619.594.2000
 Fax: 619.594.2001
 www.avrpstudios.com

PYATOK
 Architecture + Urban Design
 STAM

CONTRACT NO.:

PROJECT NAME:

2017.09.15 - 100% SCHEMATIC DESIGN SET
LAKEHOUSE
 E 12th STREET & LAKE MERRITT BLVD
 OAKLAND, CA 94608

REVISION
 DESCRIPTION
 DATE

PROJECT NUMBER: 2002
 PROJECT NAME: LAKEHOUSE
 DRAWN BY: JH
 CHECKED BY: JH
 SHEET TITLE:

RENDERINGS

SHEET NUMBER:

T0.03

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12TH STREET PERSPECTIVE
NTS 1

avrp STUDIOS
SKYPORT
1000 12th Street, Suite 200
Oakland, CA 94606
P 415.764.2100
F 415.764.2100
www.avrpstudios.com

PYATOK
Architecture + Urban Design

STAGE:

CONCEPT:

PROJECT NAME:

2017.09.15 - 100% SCHEMATIC DESIGN SET
LAKEHOUSE
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OAKLAND, CA 94606

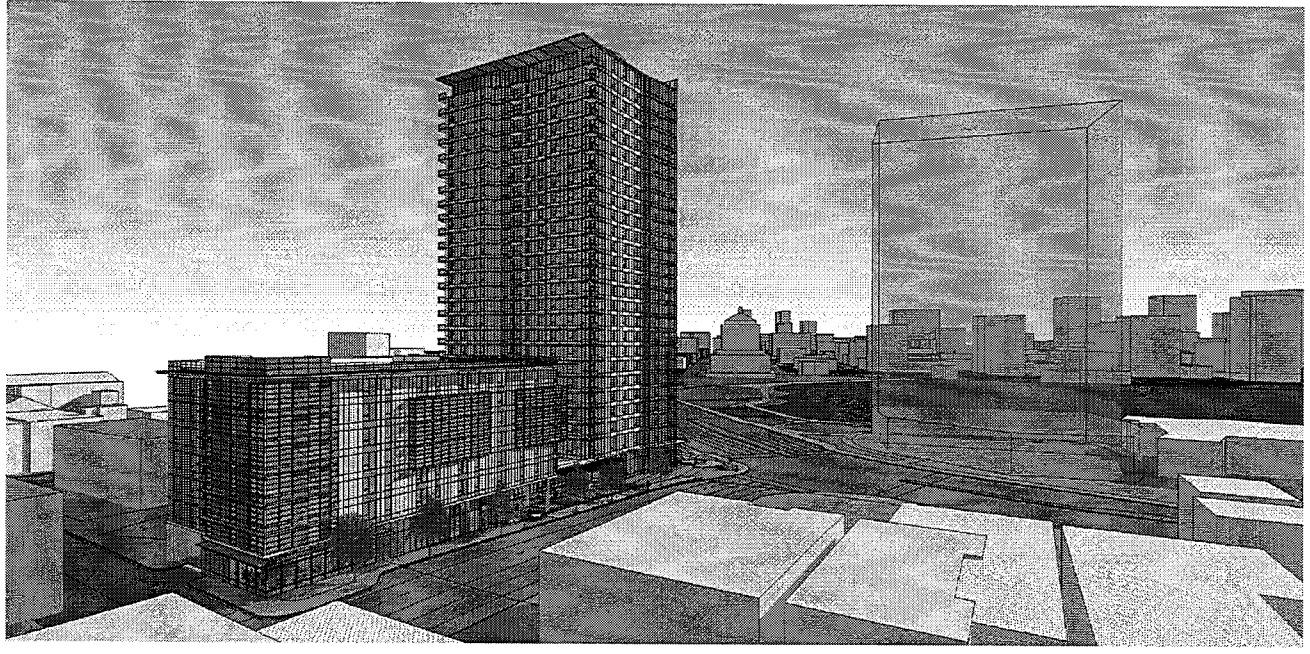
DATE: 09/15/17
SCALE: 1/8" = 1'-0"

PROJECT MANAGER: AVRP STUDIOS
DESIGNED BY: PYATOK
CHECKED BY: AVRP STUDIOS
SHEET TITLE:

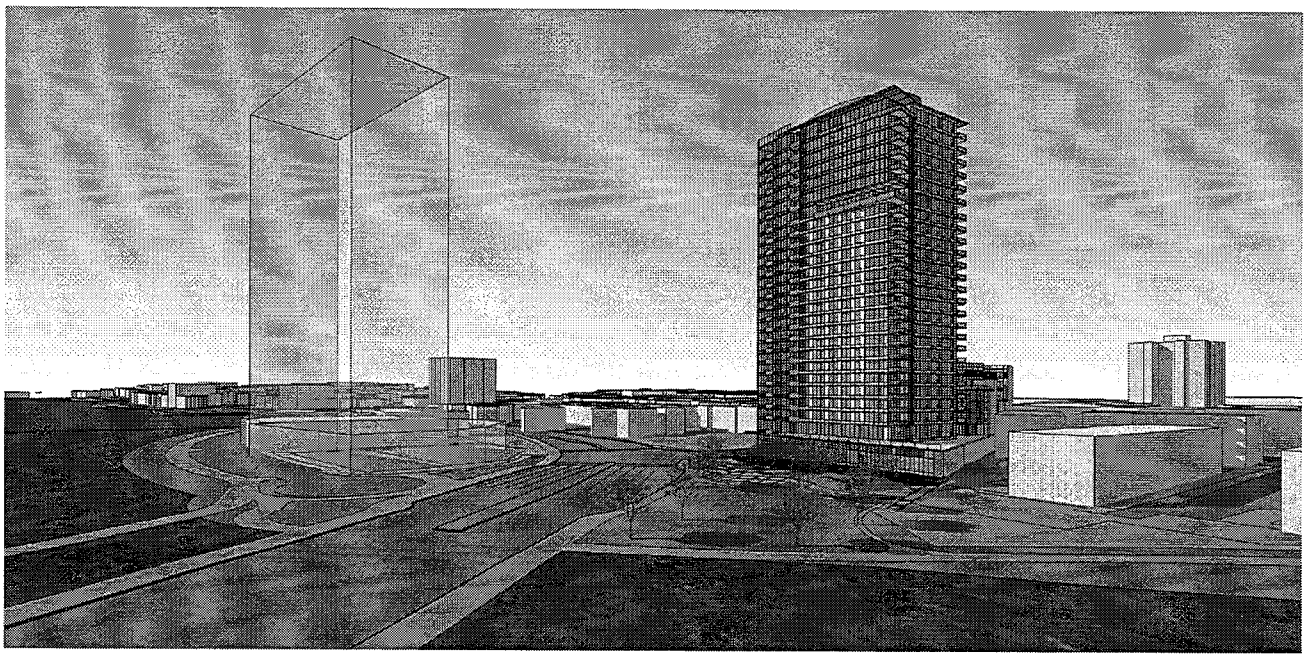
RENDERINGS
SHEET NUMBER:

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PERSPECTIVE VIEW WITH LAKE MERRITT
NTS ①



LAKE MERRITT BLVD PERSPECTIVE
NTS ②

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PIYATOK
Architecture & Urban Design

CONSOLE PANEL:

PROJECT NAME:

2017.09.15 - 100% SCHEMATIC DESIGN SET
LAKEHOUSE
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OAKLAND, CA 94606

DATE: 09/15/17

PROJECT NUMBER: 17001-00
DRAWN BY: [Name]
CHECKED BY: [Name]
SHEET TITLE: [Title]

PERSPECTIVE VIEWS

SHEET NUMBER

T0.05

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ENTRANCE PERSPECTIVE VIEW 1
NTS



ENTRANCE PERSPECTIVE VIEW 2
NTS

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100% SCHEMATIC DESIGN SET
PYATOK
architecture + urban design

CONSULTANT:

PROJECT NAME:

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LAKEHOUSE
E 12th STREET & LAKE MERRITT BLVD
OAKLAND, CA 94606

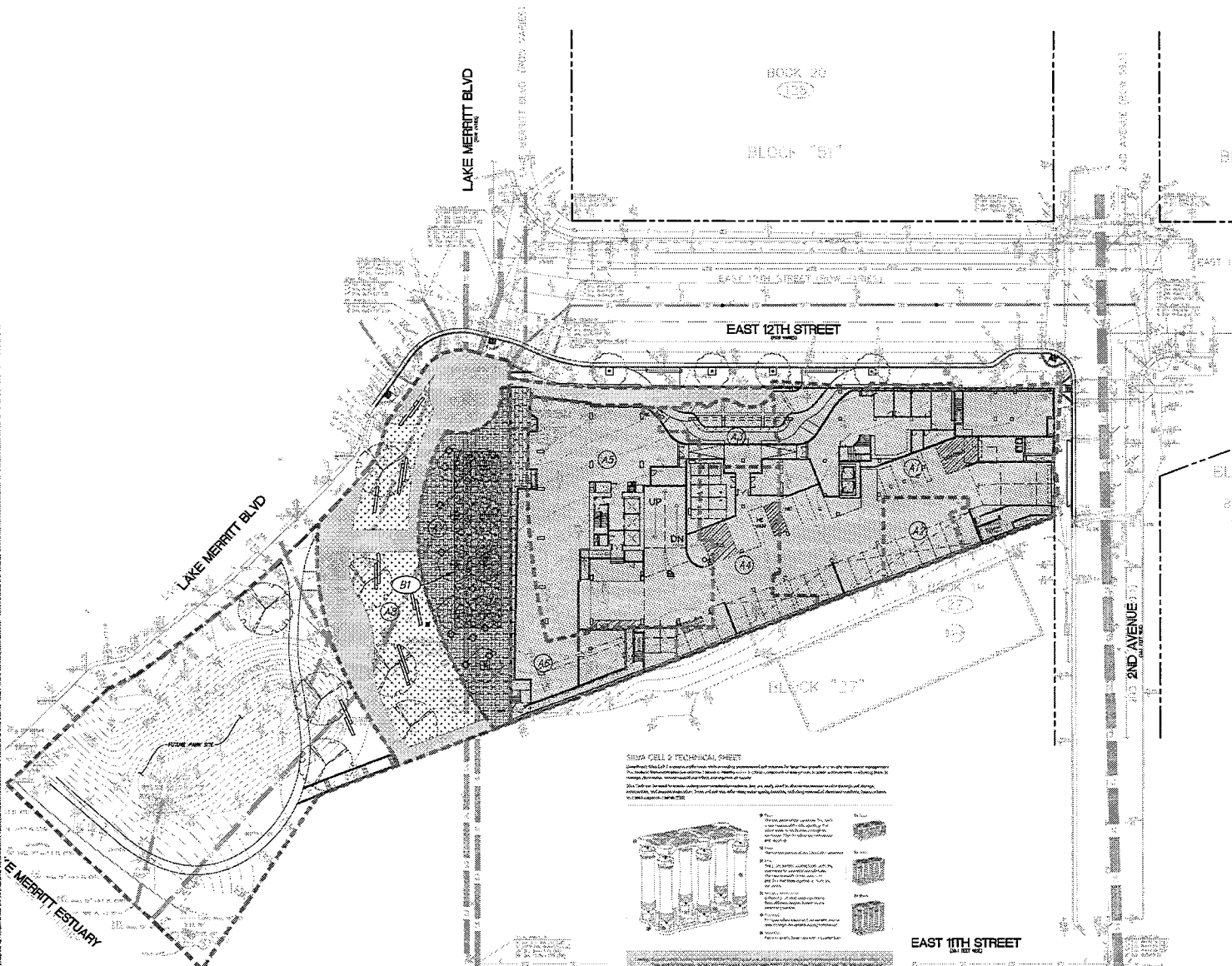
DATE:

PROJECT NUMBER: 20001
ARCHITECT: AVRP
DATE: 09/15/17

PERSPECTIVE VIEWS

SHEET NUMBER:

T0.06



STORMWATER MANAGEMENT PLAN LEGEND

- PROPOSED PERMEOUS AREA
- PROPOSED IMPERVIOUS AREA
- ROOF AREA
- SEWERAGE STORM WATER TREATMENT GALLERY
- PERMEOUS PAVEMENT AREA
- DRAINAGE AREA BOUNDARY
- FLOW DIRECTION

HYDROMODIFICATION NOTE
THE PROJECT IS SUBJECT TO HYDROMODIFICATION REQUIREMENTS FOR THE ADDED QUANTITY OF STORMWATER DRAINAGE. THE PROJECT IS SUBJECT TO HYDROMODIFICATION DUE TO 30,000 SF IMPERVIOUS AREA ADDED.

SITE TREATMENT AREA NOTE
THE PROJECT IS TO BE SITED ON A LOT WITH A STRENGTH OF 1.5 AND A PERCENTAGE MUST MEET THE ENTIRE SITE.

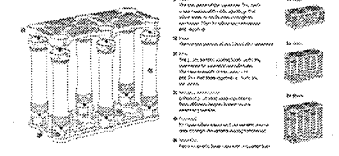
- STORMWATER MANAGEMENT NOTES:**
- THE PROPOSED PROJECT WILL INCLUDE MORE THAN FIFTEEN THOUSAND FEET OF IMPERVIOUS SURFACES AND HAS PROJECT AREA PLANNED TO COMPLY WITH THE REQUIREMENTS OF NEW DEVELOPMENT AND REDEVELOPMENT OF THE REMAINING EXISTING DEVELOPMENT FIRST CLASSIFIED PERMITS.
 - GENERAL TREATMENT QUALITY APPROACH - STORMWATER QUALITY FEATURES WILL INCLUDE IMPERVIOUS SURFACES AND PERVIOUS STORMWATER STORAGE BY DRAINAGE IMPERVIOUS SURFACES TO BE IN CELLS AND SELF PERVIOUS AREAS PRIOR TO BEING CONVEYED OFFSITE.

SPECIAL PROJECT CATEGORY C CREDITS:

- SPECIAL PROJECT CATEGORY C - PLANNED-ORIENTED**
- PROJECT IS LOCATED IN A PLANNED-ORIENTED LAND USE PROJECT
 - YES/NO
 - IF CONSIDERED AN IMPROVEMENT DEVELOPMENT PROJECT FOR 3.0:1
 - YES/NO (YAP = 3.0)
 - IF RESIDENTIAL DEVELOPMENT PROJECT, ALIGNED A HEALTHY JOBS QUARTER
 - YES/NO
 - IF PROJECT IS LOCATED IN A PLANNED-ORIENTED AREA OF A PROJECT OR IN THE USE OF THE SITE IS LOCATED IN A PLANNED-ORIENTED DEVELOPMENT AREA
 - YES/NO

SINUS CELL 2 TECHNICAL SHEET

Technical specifications for Sinus Cell 2, including material and installation details.



Additional technical details and contact information for Sinus Cell 2.

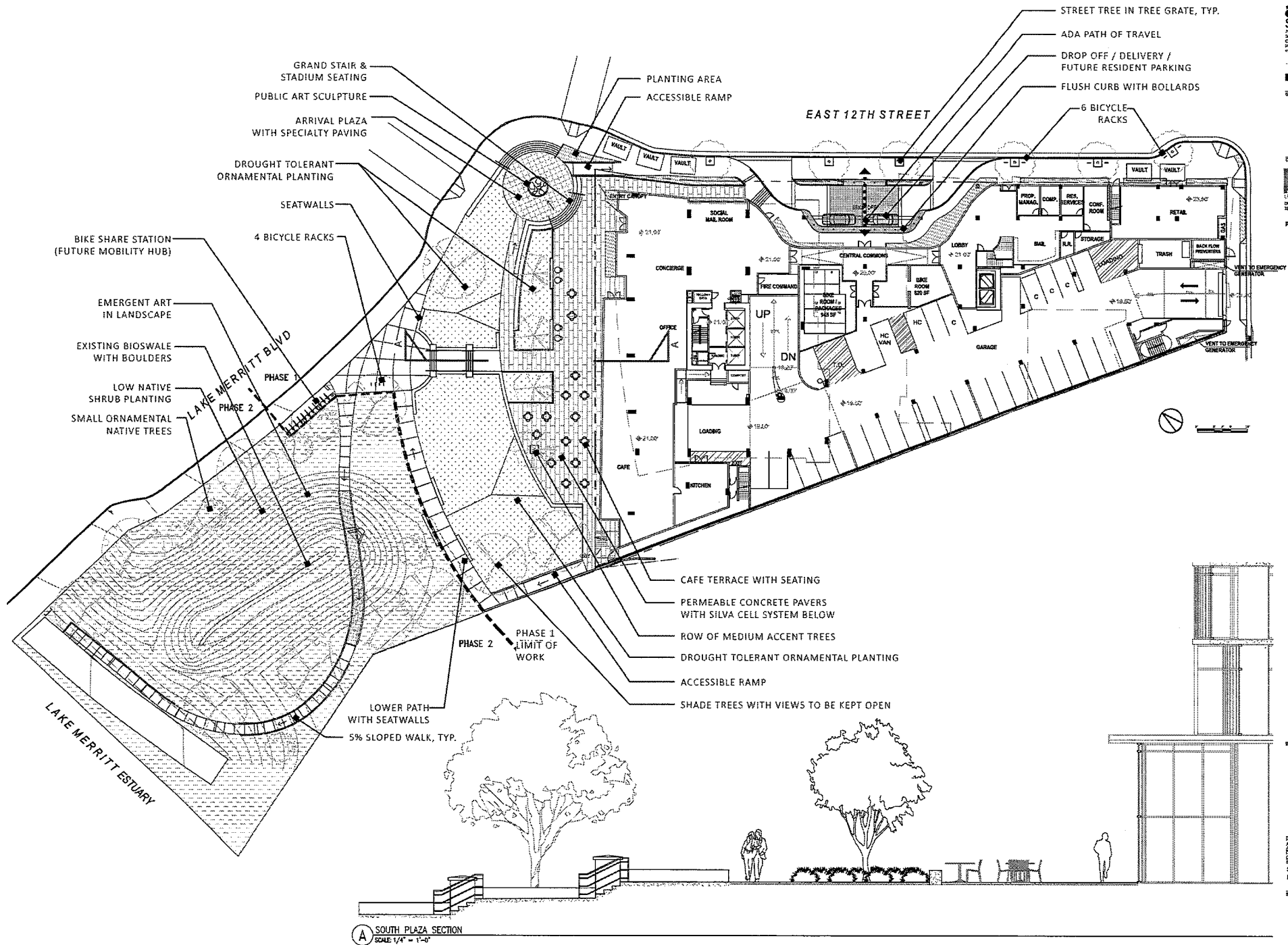
C.3 STORMWATER TREATMENT MEASURES

AREA ID	IMPERVIOUS AREA (SQ FT)	PERVIOUS AREA (SQ FT)	TOTAL AREA (SQ FT)	REDUCED CAPACITY (SQ FT)	IMP 3P	IMP PERCENT PROVIDED
A1	12500	0	12500	800	81	0
A2	1800	810	2610	200	81	0
A3	1200	430	1630	120	81	0
A4	1800	360	2160	170	81	0
A5	1000	0	1000	70	81	0
A6	1200	430	1630	120	81	0
A7	2500	0	2500	160	81	7.9%
TOTAL	43900	1620	45520	2660	81	7.9%
A8	17000	2000	19000	0	SELF TREATING	

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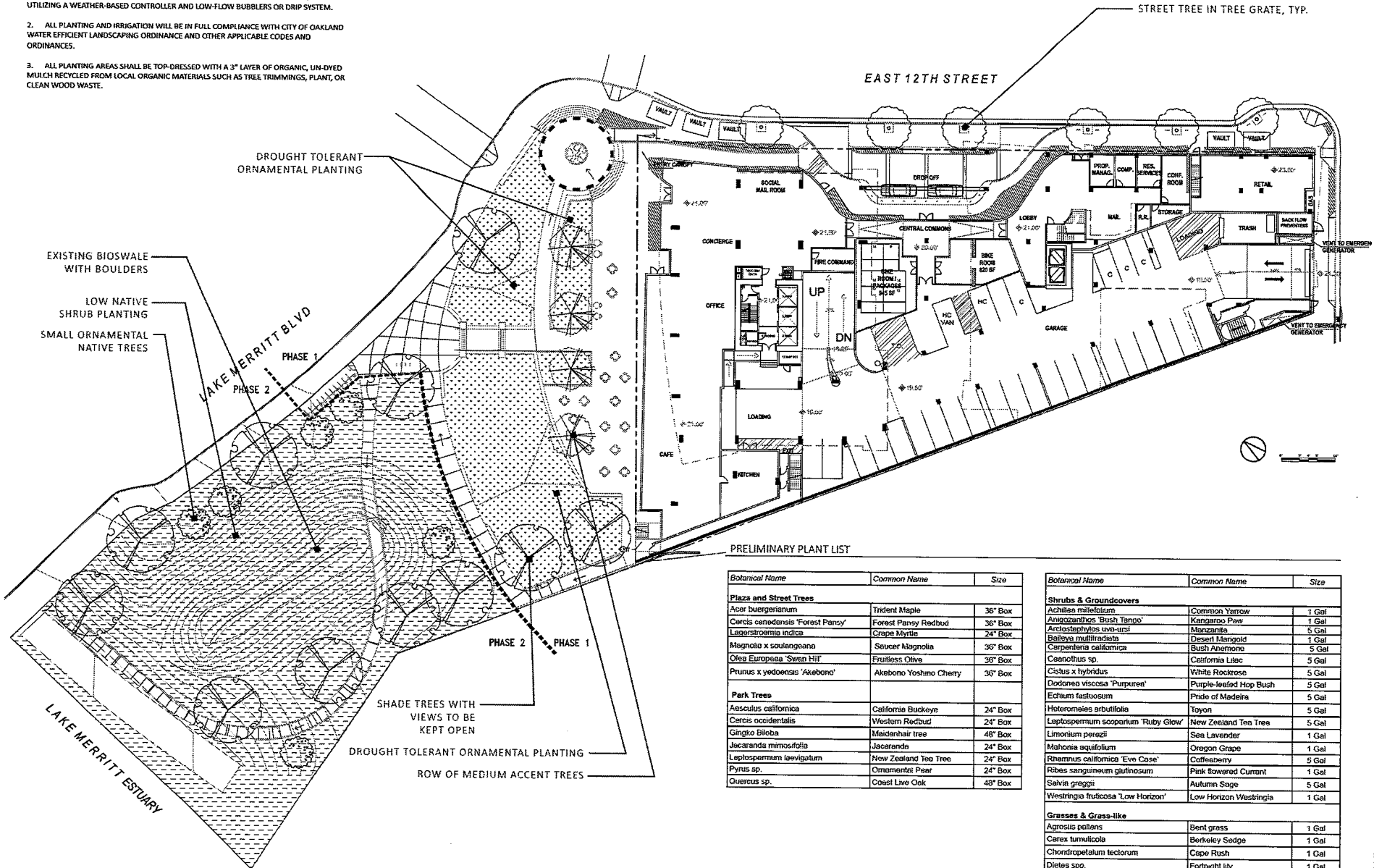
PROJECT NUMBER: 2015-001
 SHEET NUMBER: 001
 DATE: 08/11/2015

STORMWATER CONTROL PLAN



NOTES:

1. ALL PLANTING AREAS TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM UTILIZING A WEATHER-BASED CONTROLLER AND LOW-FLOW BUBBLERS OR DRIP SYSTEM.
2. ALL PLANTING AND IRRIGATION WILL BE IN FULL COMPLIANCE WITH CITY OF OAKLAND WATER EFFICIENT LANDSCAPING ORDINANCE AND OTHER APPLICABLE CODES AND ORDINANCES.
3. ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF ORGANIC, UN-DYED MULCH RECYCLED FROM LOCAL ORGANIC MATERIALS SUCH AS TREE TRIMMINGS, PLANT, OR CLEAN WOOD WASTE.



PRELIMINARY PLANT LIST

Botanical Name	Common Name	Size
Plaza and Street Trees		
<i>Acer buergerianum</i>	Trident Maple	36" Box
<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Redbud	36" Box
<i>Lagerstroemia indica</i>	Crape Myrtle	24" Box
<i>Magnolia x soulangeana</i>	Saucer Magnolia	36" Box
<i>Olea Europaea</i> 'Sven Hill'	Fruitless Olive	36" Box
<i>Prunus x yedoensis</i> 'Akebono'	Akebono Yoshino Cherry	36" Box
Park Trees		
<i>Aesculus californica</i>	California Buckeye	24" Box
<i>Cercis occidentalis</i>	Western Redbud	24" Box
<i>Ginkgo Biloba</i>	Maidenhair tree	48" Box
<i>Jacaranda mimosifolia</i>	Jacaranda	24" Box
<i>Leptospermum laevigatum</i>	New Zealand Tea Tree	24" Box
<i>Pyrus sp.</i>	Ornamental Pear	24" Box
<i>Quercus sp.</i>	Cossil Live Oak	48" Box

Botanical Name	Common Name	Size
Shrubs & Groundcovers		
<i>Achillea millefolium</i>	Common Yarrow	1 Gal
<i>Anagallis 'Bush Tango'</i>	Kangaroo Paw	1 Gal
<i>Arctostaphylos uva-ursi</i>	Manzanita	5 Gal
<i>Baileya multiradiata</i>	Desert Marigold	1 Gal
<i>Carpenteria californica</i>	Bush Anemone	5 Gal
<i>Ceanothus sp.</i>	California Lilac	5 Gal
<i>Cistus x hybridus</i>	White Rockrose	5 Gal
<i>Dodonea viscosa</i> 'Purplea'	Purple-leafed Hop Bush	5 Gal
<i>Echium fastuosum</i>	Pride of Madeira	5 Gal
<i>Heteromeles arbutifolia</i>	Toyon	5 Gal
<i>Leptospermum scoparium</i> 'Ruby Glow'	New Zealand Tea Tree	5 Gal
<i>Limonium perzlii</i>	Sea Lavender	1 Gal
<i>Mahonia aquifolium</i>	Oregon Grape	1 Gal
<i>Rhamnus californica</i> 'Eve Case'	Coffinsberry	5 Gal
<i>Ribes sanguineum glutinosum</i>	Pink flowered Currant	1 Gal
<i>Salvia greggii</i>	Autumn Sage	5 Gal
<i>Westringia fruticosa</i> 'Low Horizon'	Low Horizon Westringia	1 Gal
Grasses & Grass-like		
<i>Agrostis patens</i>	Bent grass	1 Gal
<i>Carex tumulicola</i>	Berkeley Sedge	1 Gal
<i>Chondropetalum tectorum</i>	Cape Rush	1 Gal
<i>Distes spp.</i>	Fornight lily	1 Gal
<i>Elymus glaucus</i>	Blue wild rye	Seeded
<i>Festuca rubra</i>	Red fescue	Seeded
<i>Juncus patens</i>	Juncus	1 Gal
<i>Laymus trichoides</i>	Crooping wild rye	Seeded
<i>Libertia peregrinans</i>	New Zealand Iris	1 Gal
<i>Lomandra longifolia</i>	Dwarf Mat Rush	1 Gal
<i>Muhlenbergia lindheimeri</i> 'Leni'	Autumn Glow Muhly	1 Gal
<i>Stipa pulchra</i>	Purple needle grass	1 Gal

CONSULTANT:

 1750 SHAW BLVD., SUITE 200
 OAKLAND, CALIFORNIA 94612
 PHONE: 415.763.2722
 FAX: 415.763.2722
 WWW: www.eedesign.com

2017.09.15 - 100% SCHEMATIC DESIGN SET
LAKEHOUSE
 E 12TH STREET & LAKE MERRITT BLVD
 OAKLAND, CA 94606

SCALE: 1/8" = 1'-0"
 DATE: 09/15/17

PROJECT NUMBER: 170915
 DATE: 09/15/17
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/8" = 1'-0"
 SHEET TITLE: Schematic Ground Level Planting Plan

SHEET NUMBER:

LS - 2.00

MATERIALS, SITE FURNISHINGS, & PRECEDENT IMAGERY



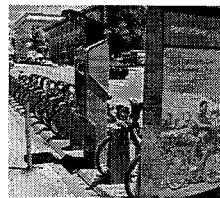
CAFE TABLES AND CHAIRS



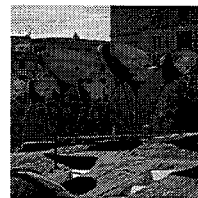
PERMEABLE CONCRETE PAVERS



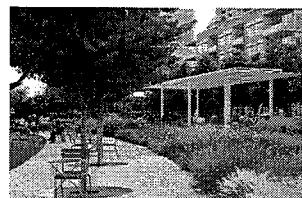
BICYCLE RACKS (10 RACKS TOTAL)



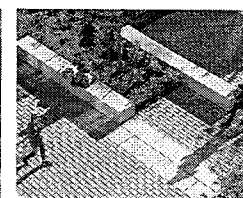
BICYCLE SHARE (10-BIKES)



ART SCULPTURE



MEDIUM-SIZED PLAZA TREES IN PAVING AND PLANTING

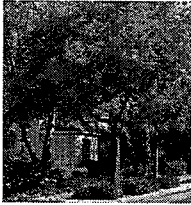


SEATWALLS



EMERGENT ART IN PARK LANDSCAPE

PRELIMINARY PLANT MATERIAL - PHASE 1 AND 2



ACER BUERGERIANUM / TRIDENT MAPLE



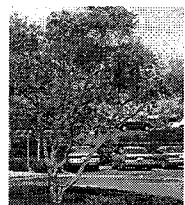
CERCIS CANADENSIS / FOREST PANSY REDBUD



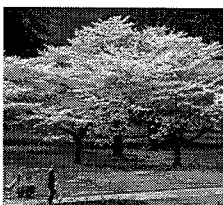
LAGERSTROEMIA SP. / GRAPE MYRTLE



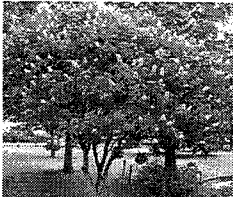
MAGNOLIA X SOULANGEANA / SAUCER MAGNOLIA



OLEA EUROPAEA 'SWAN HILL' / FRUITLESS OLIVE



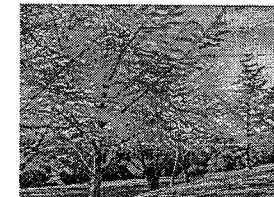
PRUNUS X YEDOENSIS 'AKEBONO' / AKEBONO YOSHINO CHERRY



AESCULUS CALIFORNICA / CALIFORNIA BUCKEYE



CERCIS OCCIDENTALIS / WESTERN REDBUD



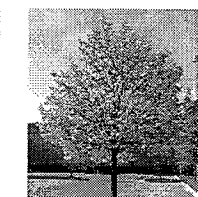
GINKGO BILOBA / MAIDENHAIR TREE



JACARANDA MIMOSIFOLIA / JACARANDA



LEPTOSPERMUM LAEVIGATUM / NEW ZEALAND TEA TREE



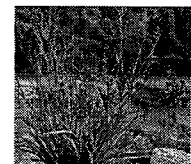
PYRUS SP. / ORNAMENTAL PEAR



QUERCUS AGRIFOLIA / COAST LIVE OAK



ACHILLEA MILLEFOLIUM / COMMON YARROW



ANIGOZANTHOS 'BUSH TANGO' / KANGAROO PAW



ARCTOSTAPHYLOS UVA-URSI / MANZANITA



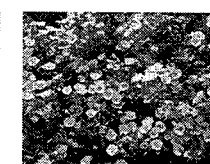
BAILEYA MULTIRADIATA / DESERT MARIGOLD



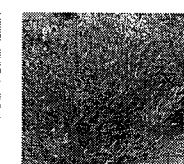
CARPENTERIA CALIFORNICA / BUSH ANEMONE



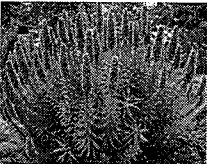
CEANOETHUS SP. / CALIFORNIA LILAC



CISTUS x HYBRIDUS / WHITE ROCKROSE



DODONEA VISCOSA 'PURPUREA' / PURPLE-LEAFED HOP BUSH



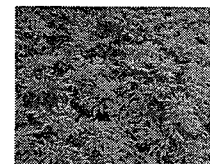
ECHIUM FASTUOSUM / PRIDE OF MADEIRA



HETEROMELES ARBUTIFOLIA / TOYON



LIMONIUM PEREZII / SEA LAVENDER



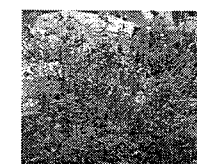
MAHONIA AQUIFOLIUM / OREGON GRAPE



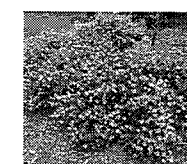
RHAMNUS CALIFORNICA 'EVE CASE' / COFFEEBERRY



RIBES SANGUINEUM GLUTINOSUM / PINK FLOWERING CURRANT



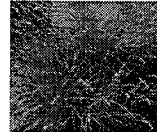
SALVIA GREGGII / AUTUMN SAGE



WESTRINGIA FRUTICOSA / LOW HORIZON WESTRINGIA



AGROSTIS PALLENS / BENT GRASS



CAREX TUMULICOLA / BERKELEY SEDGE



CHONDROPETALUM TECTORUM / CAPE RUSH



DIETS SP. / FORTNIGHT LILY



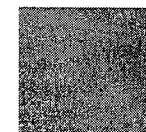
ELYMUS GLAUCUS / BLUE WILDRYE



FESTUCA RUBRA / RED FESCUE



JUNCUS PATENS / CALIFORNIA GREY RUSH



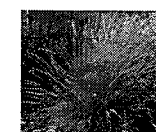
LEYMUS TRITICOIDES / CREEPING WILD RYE



LOBELIA PERGRINANS / NEW ZEALAND IRIS



LOMANDRA LONGIFOLIA / DWARF MAT RUSH



MUHLENBERGIA LINDHEIMERI / AUTUMN GLOW MUHLY

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 Oakland, CA 94606
 510.434.1111
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PYATOK
 ARCHITECTURE & LANDSCAPE ARCHITECTURE

CONSULTANT:
LETT
 LANDSCAPE ARCHITECTURE & DESIGN
 201 11th Street, Suite 100
 Oakland, CA 94606

PROJECT NAME:

2017.09.15 - 100% SCHEMATIC DESIGN SET
LAKEHOUSE
 E 12th STREET & LAKE MERRITT BLVD
 OAKLAND, CA 94606

SCALE: 1/8" = 1'-0"
 DATE: 11.12.2017

PROJECT NUMBER: 20170915
 DRAWING NUMBER: 01
 DATE: 11.12.2017
 Schematic Ground Level Materials and Images

SHEET NUMBER:

LS - 3.00

STAMP

CONSULTANT:
PGAdesign
 LANDSCAPE ARCHITECTS
 9450 146th Street, San Diego, CA 92126
 619.594.2606

PROJECT NAME:

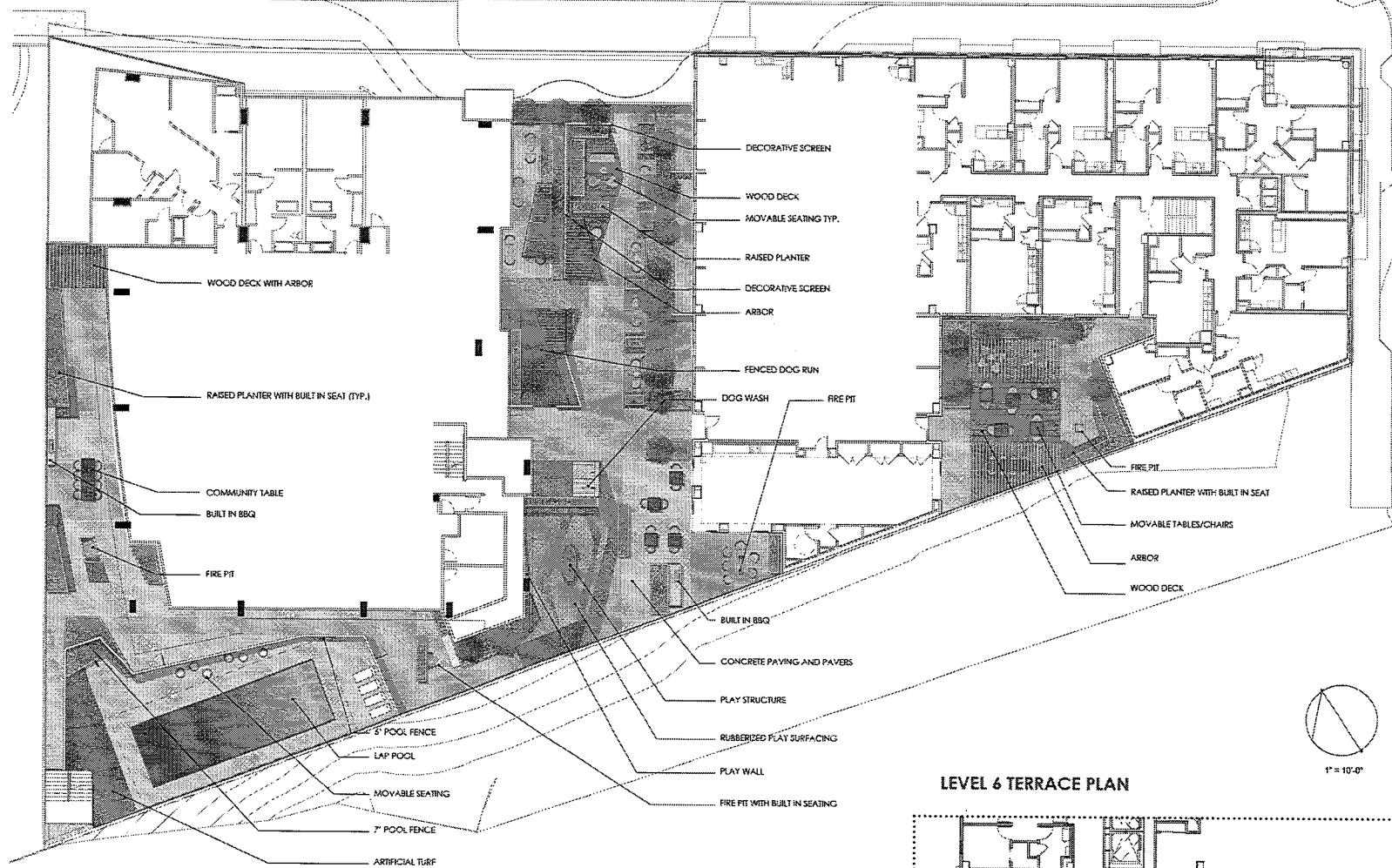
2017.09.15 - 100% SCHEMATIC DESIGN SET
LAKEHOUSE
 E 12TH STREET & LAKE MERRITT BLVD, OAKLAND, CA 94606

DATE:

PROJECT NUMBER: Project Number
 SHEET NUMBER: 00000000
 SHEET TITLE: POODUM LANDSCAPE PLAN

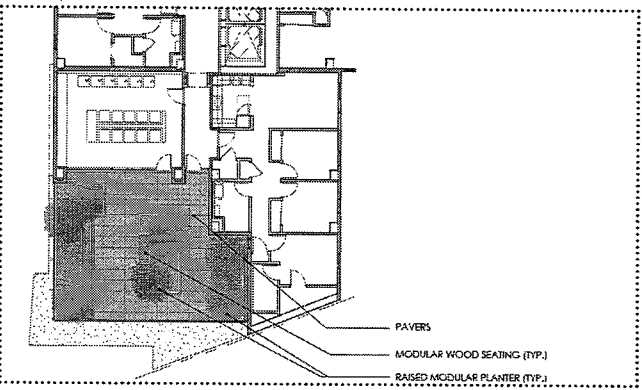
SHEET NUMBER:

LP1.01



LAKE MERRITT TOWERS / LEVEL 2 PODIUM PLAN

LEVEL 6 TERRACE PLAN



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PODIUM PALETTE

AMENITIES



SEATING WITH FIRE PIT



LAP POOL



BUILT IN BBQ

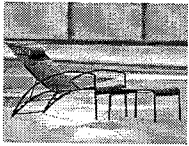


PLAY STRUCTURE



PLAY WALL

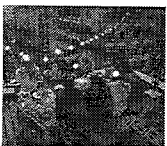
SITE FURNISHINGS



MOVABLE LOUNGE CHAIRS



MOVABLE SEATING



OUTDOOR DINING TABLE

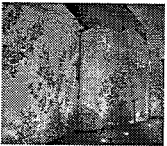


MOVABLE DINING SEATING



SEATING ALONG PLANTER

FENCING AND ARBOR



DECORATIVE SCREEN



POOL FENCE: GLASS



ARBOR



ARBOR

PAVING MATERIALS



WOOD DECKING



24"x 24" STEPSTONE PAVERS

- A**
CENTRAL CORRIDOR:
CENTRAL PATH WITH SMALL AND LARGE GROUP SEATING AREAS ALONG SIDE. PRIVACY PROVIDED BY RAISED PLANTERS AND OVERHEAD ARBORS.
- B**
DOG AREA:
ENCLOSED ARTIFICIAL TURF DOG RUN WITH BENCH SEATING. ADJACENT TO THE DOG RUN ARE TWO OUTDOOR DOG WASH STALLS.
- C**
PLAY AREA:
RUBBERIZED PLAY SURFACING DEMARKS THE PLAY AREA. THIS INCLUDES THE PLAY WALL AND PLAY STRUCTURE. PLANTERS CONFINE THE SPACE AND BENCHES ARE LOCATED FOR GUARDIANS TO SIT NEAR THE EXIT LOCATIONS.
- D**
SOUTH END AMENITIES:
FIRE PIT, BUILT IN BBQ AND MOVABLE DINING EXTENDS THE COMMUNITY ROOM USES TO OUTDOOR AMENITIES.
- E**
SOUTH TOWER COURTYARD:
PERIMETER PLANTERS CREATE PRIVACY FOR RESIDENTS AND AN INTERIOR COURTYARD WITH FLEXIBLE PROGRAMMING. ARBORS PROVIDE SHADE AND PRIVACY FOR SMALL GROUPS AND ALLOW FOR A BACKDROP FOR CEREMONIES OR EVENTS.
- F**
POOL:
15'x45' LAP POOL ENCLOSED BY 6'-7.5' POOL FENCE. ARTIFICIAL TURF AND MOVABLE POOL SEATING ARE LOCATED WITHIN POOL AREA FOR LOUNGING.
- G**
NORTH END AMENITIES:
BUILT IN BBQ AND COMMUNITY TABLE ALLOW OUTDOOR DINING ADJACENT TO THE INDOOR DINING AMENITIES.
MOVABLE AND BUILT IN SEATING ALONG WITH A FEATURE FIRE PIT CONNECTS WITH THE INTERIOR LOUNGE SEATING, CREATING SPACE FOR COCKTAIL PARTIES OR INDIVIDUAL GROUPS.
- H**
YOGA DECK:
WOOD DECKING EXTENDS THE YOGA ROOM PROGRAMS TO THE EXTERIOR. OVERHEAD ARBOR CREATES PRIVACY. OPEN PLAN ALLOWS THE SPACE TO BE USED FOR EVENTS WHEN NEEDED.
- I**
STEADY COURTYARD:
INDIVIDUAL SEATING WITH OUTDOOR OUTLETS FOR LAPTOP USE. TO BE USED AS OUTDOOR WORK SPACE.

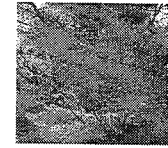
PODIUM PALETTE

SHADE TREES

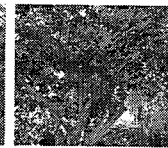


RED MAPLE
ACER RUBRUM

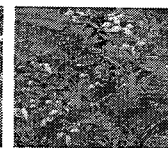
SMALL FLOWERING TREES



WESTERN REDBUD
CERCIS OCCIDENTALIS



STRAWBERRY TREE
ARBEUTUS 'MARINA'



PINEAPPLE GUAVA
FELICIA SELLOWIANA

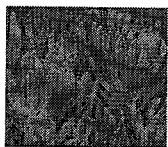
TAIL PLANTING



NEW ZEALAND FLAX
PHORMIUM TENAX



FOX TAIL AGAVE
AGAVE ATTENUATA



BLUE FENCER
SENECIO MANDRALISCAE

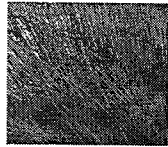


MEDITERRANEAN SPURGE
EUPHORBIA CHARACIAS



KANGAROO PAW
ANCOZANTHOS

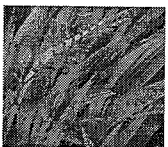
GROUND COVER



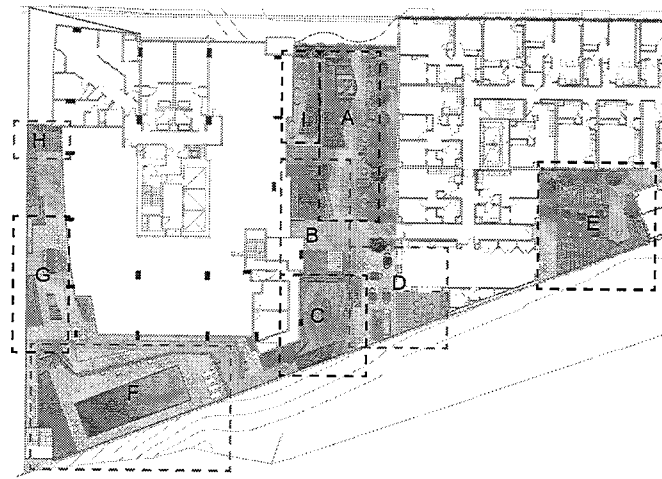
CAPE RUSH
CHONDROPETALUM TECTORUM



DUNE SEDGE
CAREX PANZA



CROCOSMIA 'LUCIFER'



DATE: 09/15/17
SCALE: 1" = 100'-0"
PROJECT: 2017.09.15 - 100% SCHEMATIC DESIGN SET
SHEET: 1



N
TRUE NORTH
N
PROJECT NORTH

Site
1" = 100'-0" ①

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F 619.794.2000
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AVATOK
Architecture + Urban Design

CONSULTANT:

PROJECT NAME:

2017.09.15 - 100% SCHEMATIC DESIGN SET
LAKEHOUSE
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OAKLAND, CA 94606

ISSUE DATES
REVISIONS

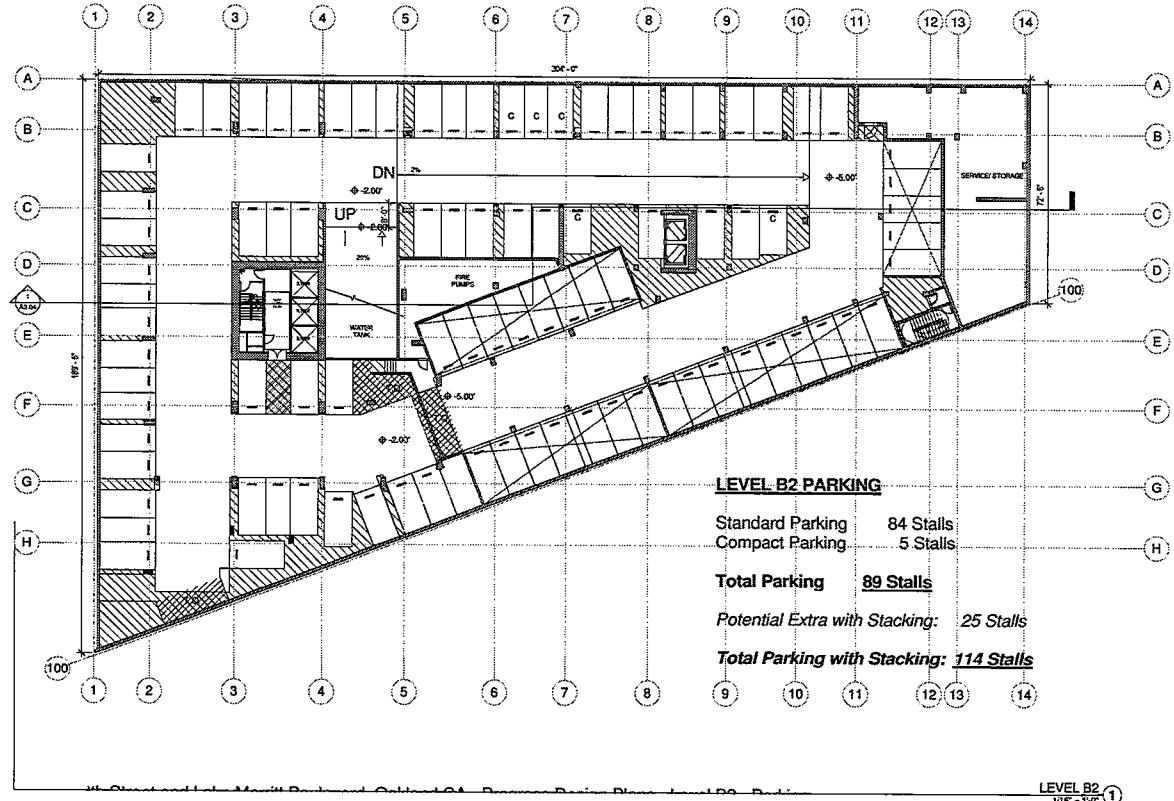
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DATE: 09/15/17
DRAWN BY: [Name]
CHECKED BY: [Name]
SHEET TITLE: SITE PLAN

SHEET NUMBER:

A1.00

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STAMP: _____
 PROJECT NAME: _____



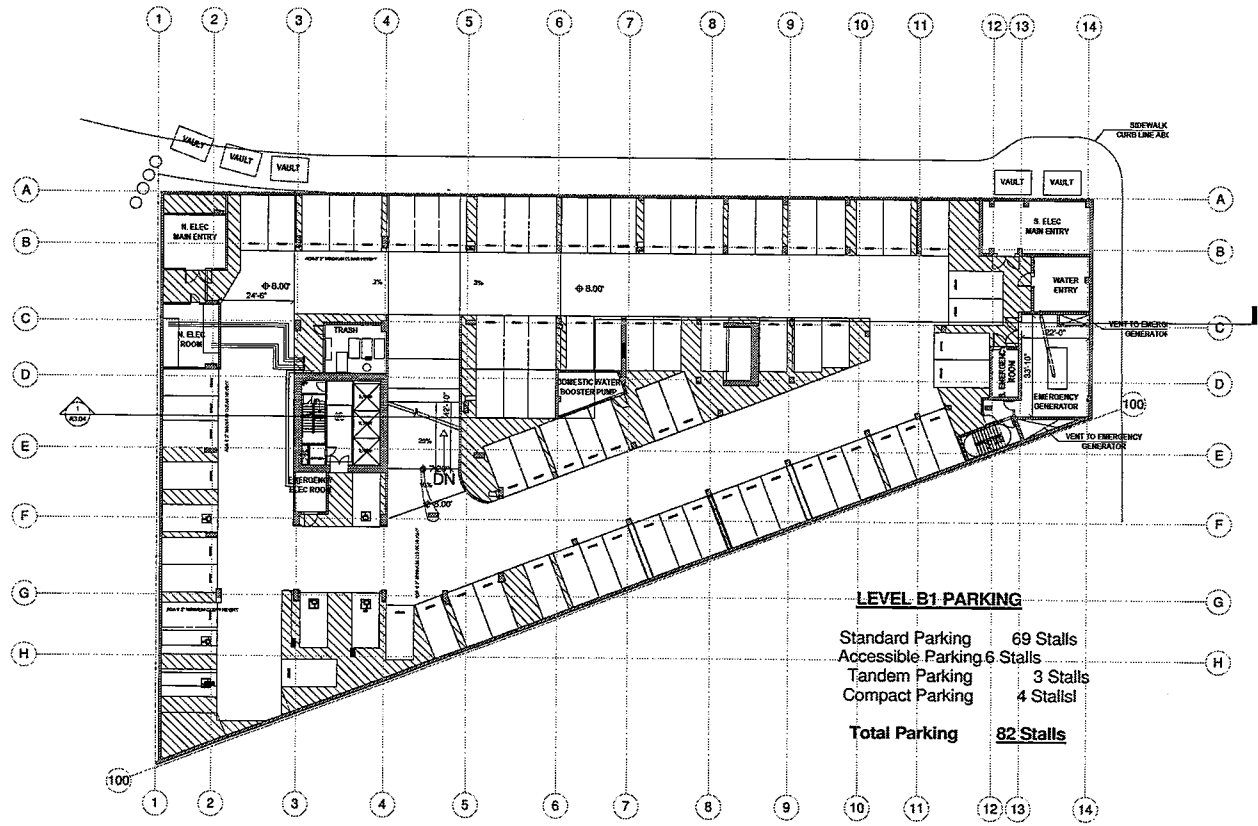
LEVEL B2 PARKING
 Standard Parking 84 Stalls
 Compact Parking 5 Stalls
Total Parking 89 Stalls
Potential Extra with Stacking: 25 Stalls
Total Parking with Stacking: 114 Stalls

LEVEL B2
 116' x 710'

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ISSUE DATE: _____ DATE: _____
 DESIGNER: _____
 ARCHITECT: _____ 1804
 DRAWN BY: _____ 06/20/17
 CHECKED BY: _____
 CHECKED BY: _____
 BUILDING PLAN - LEVEL B2

SHEET NUMBER: **A1.01**



LEVEL B1 PARKING

Standard Parking	69 Stalls
Accessible Parking	6 Stalls
Tandem Parking	3 Stalls
Compact Parking	4 Stalls
Total Parking	82 Stalls

LEVEL B1
 1/16" = 1'-0"

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 OAKLAND, CA 94606

DATE: _____
 DATE: _____

PROJECT NUMBER: _____
 DRAWN BY: _____
 CHECKED BY: _____
 SHEET TITLE:
 BUILDING PLAN - LEVEL B1

SHEET NUMBER:
A1.02

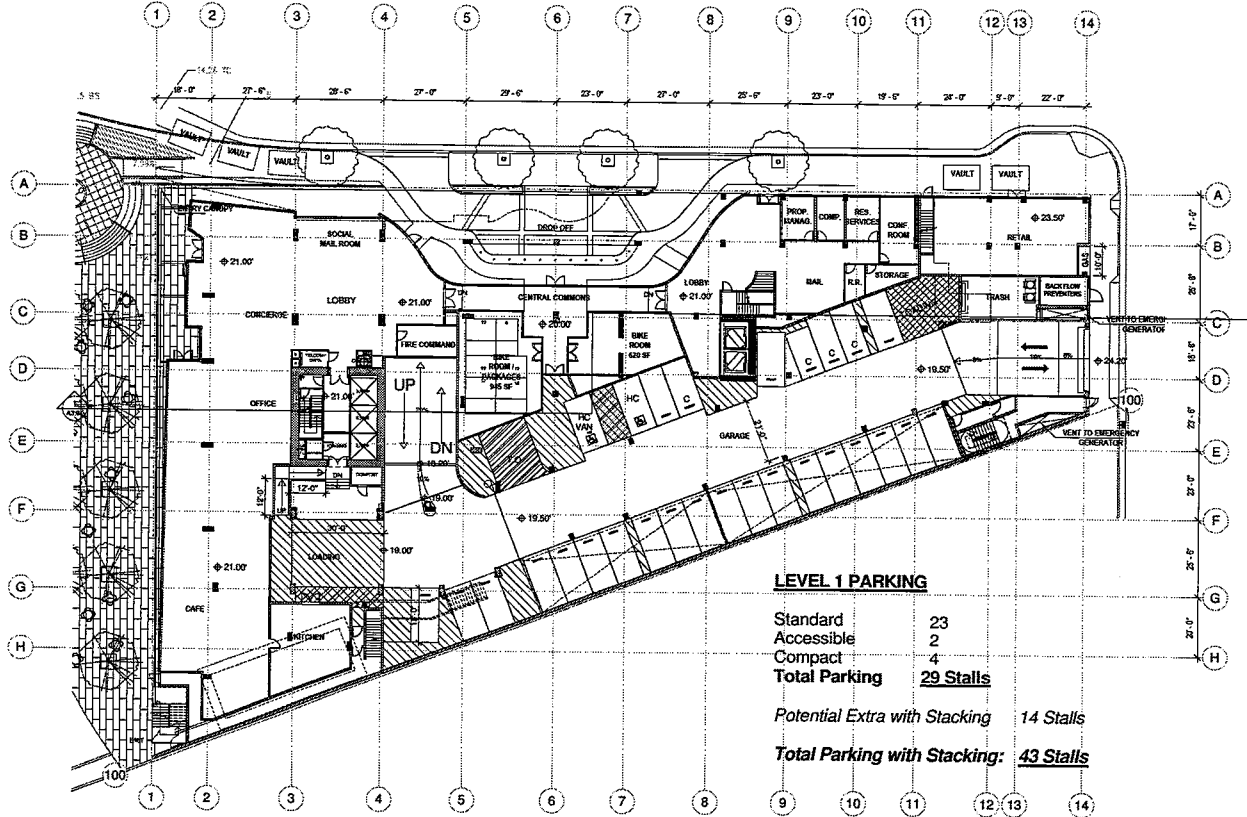
CONTRACT NO.
 PROJECT NAME:

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LAKEHOUSE
 E 12th STREET & LAKE MERRITT BLVD.
 OAKLAND, CA 94606

SUBMITAL DESCRIPTION DATE:

PROJECT TEAM:
 ARCHITECT: avrp STUDIOS
 ENGINEER: Pyatok
 DESIGNER: Pyatok
 SHEET NO.: 100
 BUILDING PLAN - LEVEL 1

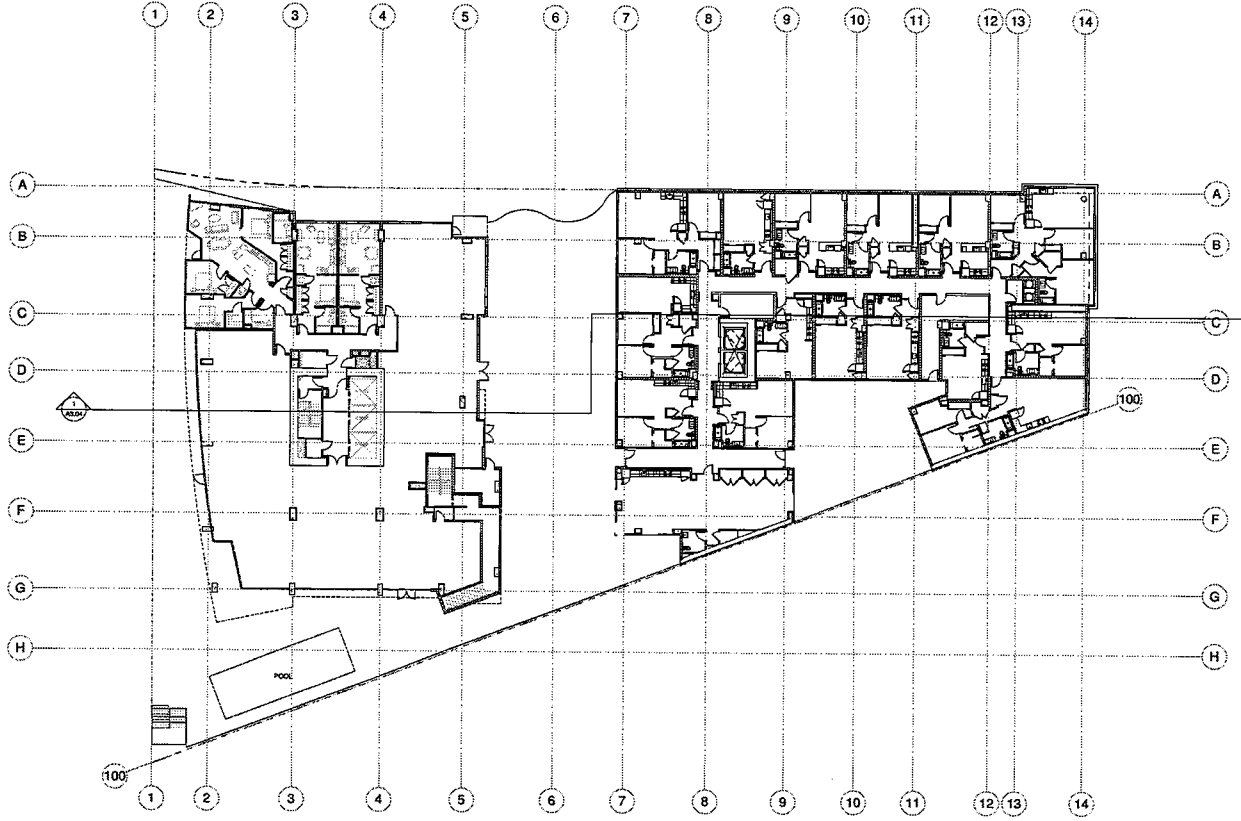
SHEET NUMBER:
A1.03



LEVEL 1
 1/16" = 1'-0"

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LEVEL 2
1/16" = 1'-0" ①

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PYATOK
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STAMP: _____
 CONSULTANT: _____
 PROJECT NAME: _____

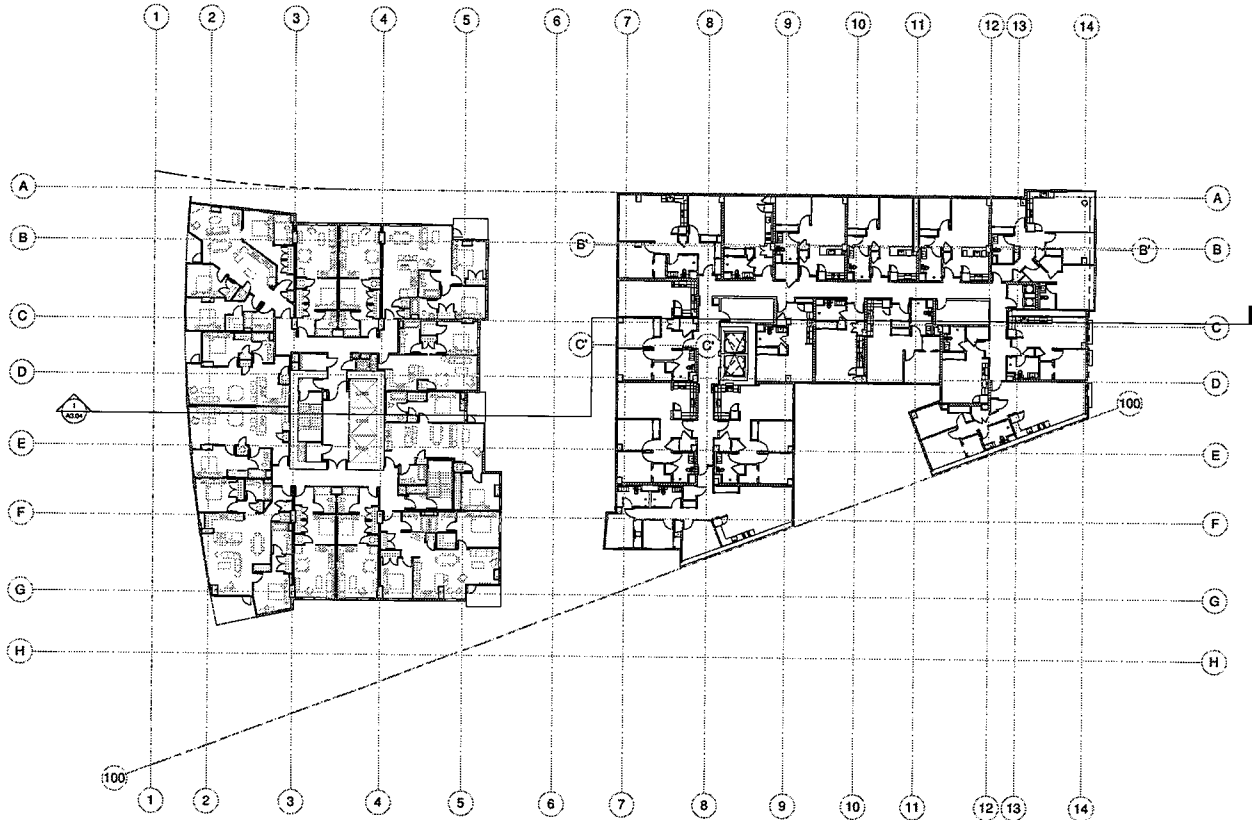
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ISSUE DATE: _____ DATE: _____
 DESCRIPTION: _____

PROJECT NUMBER: 1604
 ARCHITECT: AVP
 DRAWING: 2/20
 CHECKED: [Signature]
 SHEET TITLE: BUILDING PLAN - LEVEL 2

SHEET NUMBER: **A1.04**

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LEVEL 3
1/8" = 1'-0"

CONSULTANT:

PROJECT NAME:

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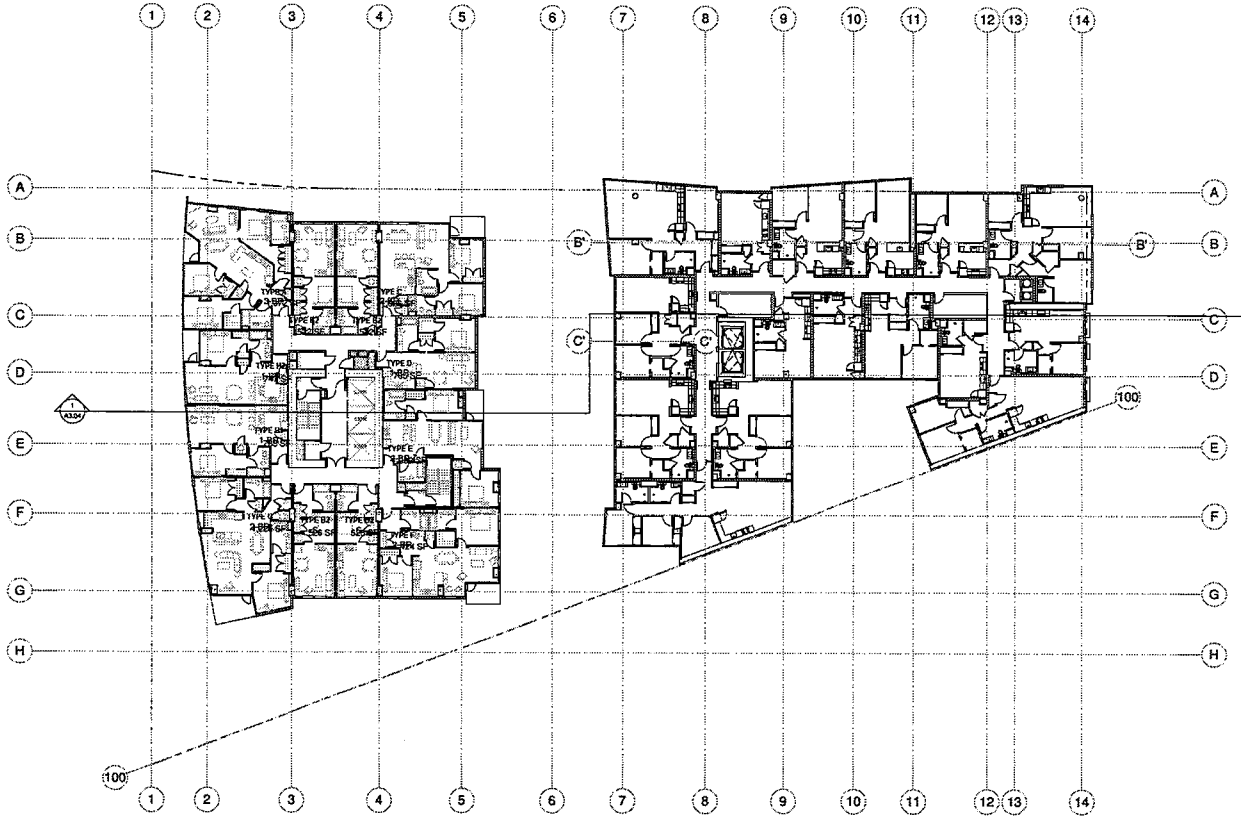
ISSUE DATE: _____
REVISION: _____ DATE: _____

PROJECT NUMBER: 100-10-0000
DATE: 09/15/17
CHECKED BY: _____
DATE: _____
DRAWN BY: _____
DATE: _____
BUILDING PLAN - LEVEL 3

SHEET NUMBER:

A1.05

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LEVEL 4
1/16" = 1'-0"

DESIGNER:

PROJECT NAME:

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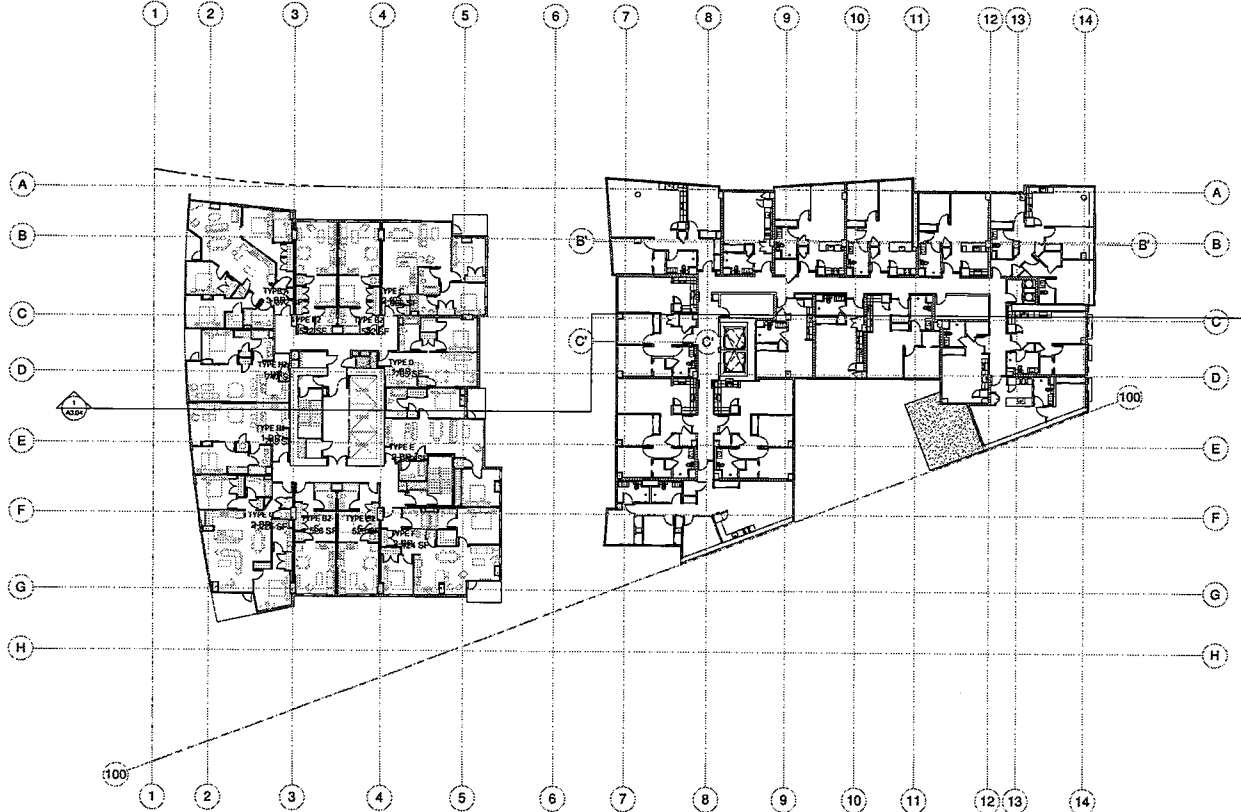
ISSUE DATES
REVISIONS

PROJECT NUMBER:
DATE:
DESIGNED BY:
CHECKED BY:
DATE:
BUILDING PLAN - LEVEL 4

SHEET NUMBER:

A1.06

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LEVEL 5
1/16" = 1'-0" 1

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CONSULTANT:

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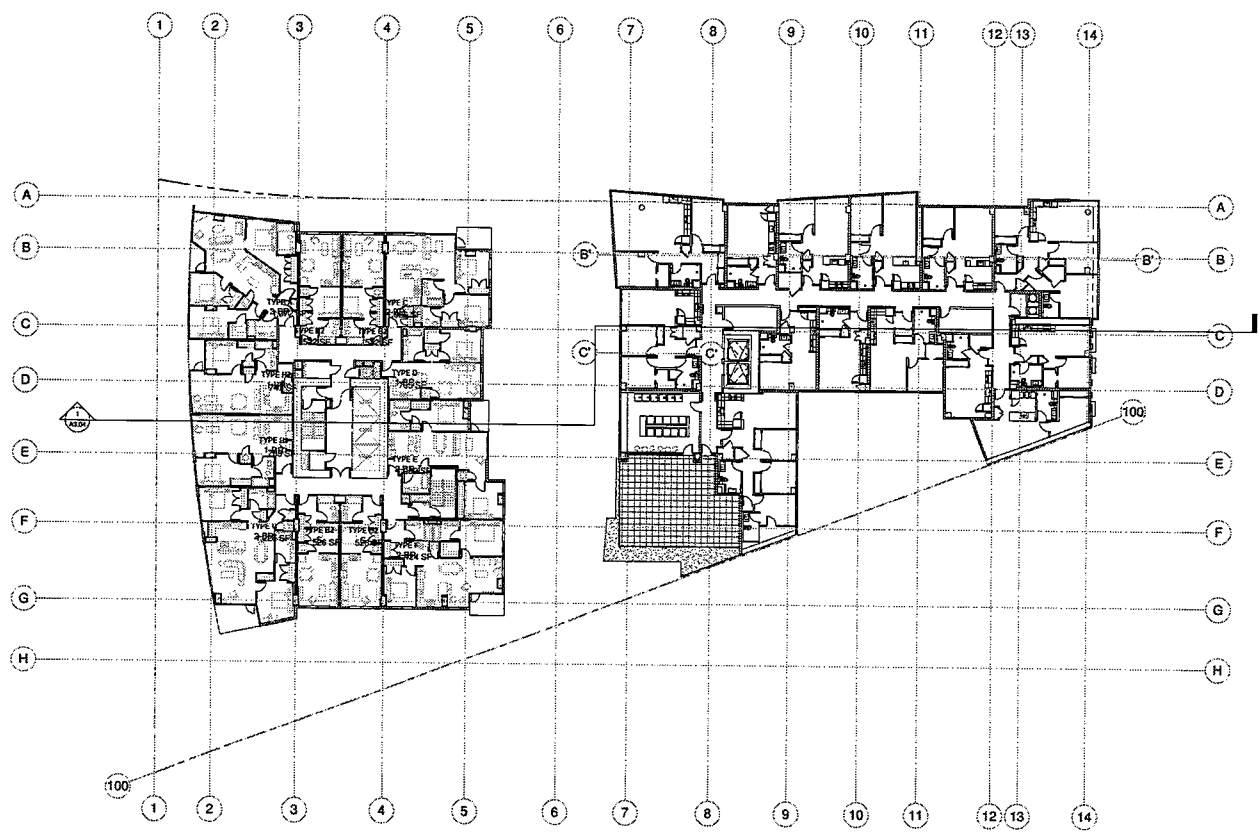
ISSUE DATE: _____ DATE: _____

PROJECT NUMBER: _____
ARCHITECT: _____
DESIGNER: _____
DATE: _____
SHEET TITLE: _____
BUILDING PLAN - LEVEL 5

SHEET NUMBER: _____

A1.07

FILE # 2017-09-15 - 100% SCHEMATIC DESIGN SET
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 DATE: 09/15/17
 SCALE: 1/8" = 1'-0"
 SHEET: 100% SCHEMATIC DESIGN SET
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 CHECKED BY: [Name]
 PROJECT TITLE: BUILDING PLAN - LEVEL 6



LEVEL 6
1/8" = 1'-0"

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 PROJECT NAME:

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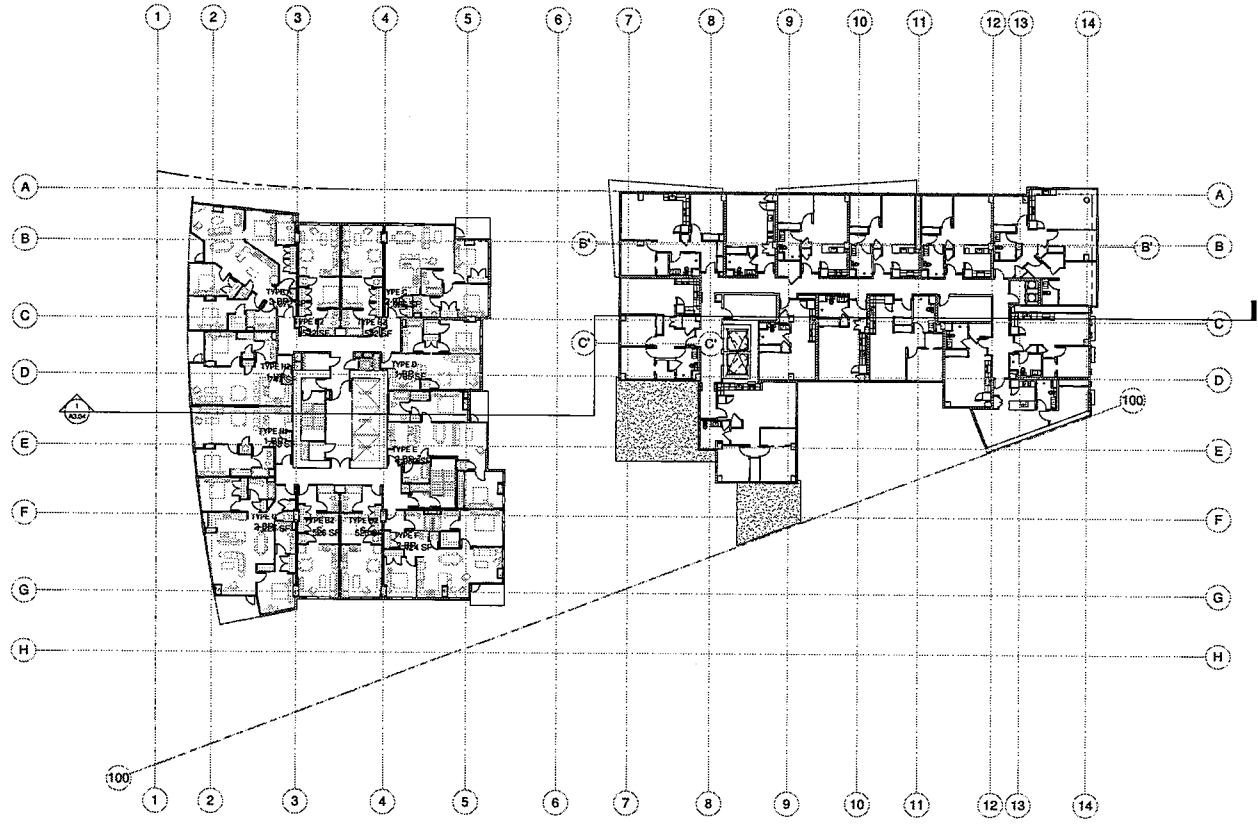
REVISIONS:
 NO. DATE DESCRIPTION DATE

PROJECT NUMBER: 2017-09-15
 ARCHITECT: SKYPORT
 DESIGNER: PIATOK
 CHECKED BY: [Name]
 DATE: 09/15/17
 SHEET TITLE: BUILDING PLAN - LEVEL 6

SHEET NUMBER:

A1.08

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LEVEL 7
1/8" = 1'-0"

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 F 619.774.2899
 www.avrpstudios.com
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DESIGNER:

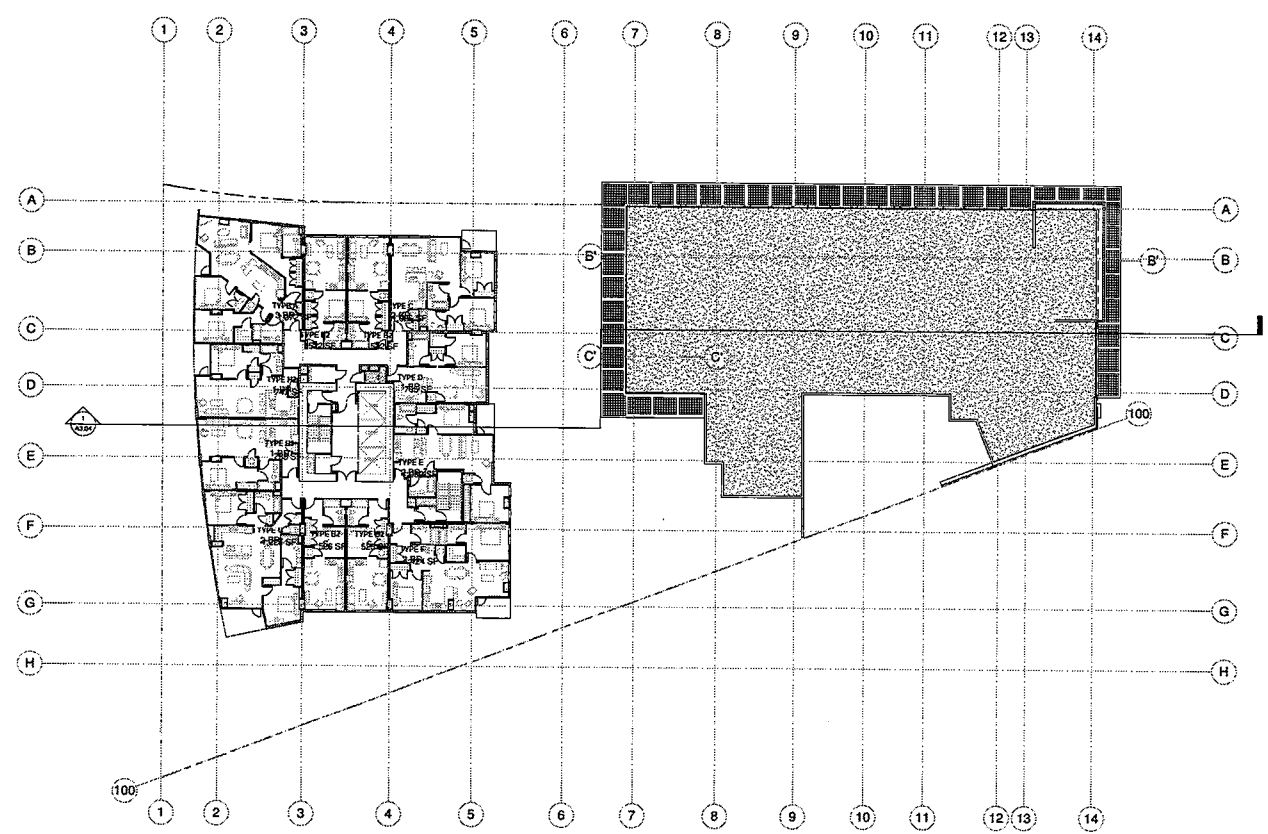
PROJECT NAME:

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REVISIONS
 DESCRIPTION DATE

PROJECT NUMBER: 1000000000
 DRAWING NUMBER: 1000000000
 CHECKED BY: [Signature]
 DATE: [Date]
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SHEET NUMBER:
A1.09

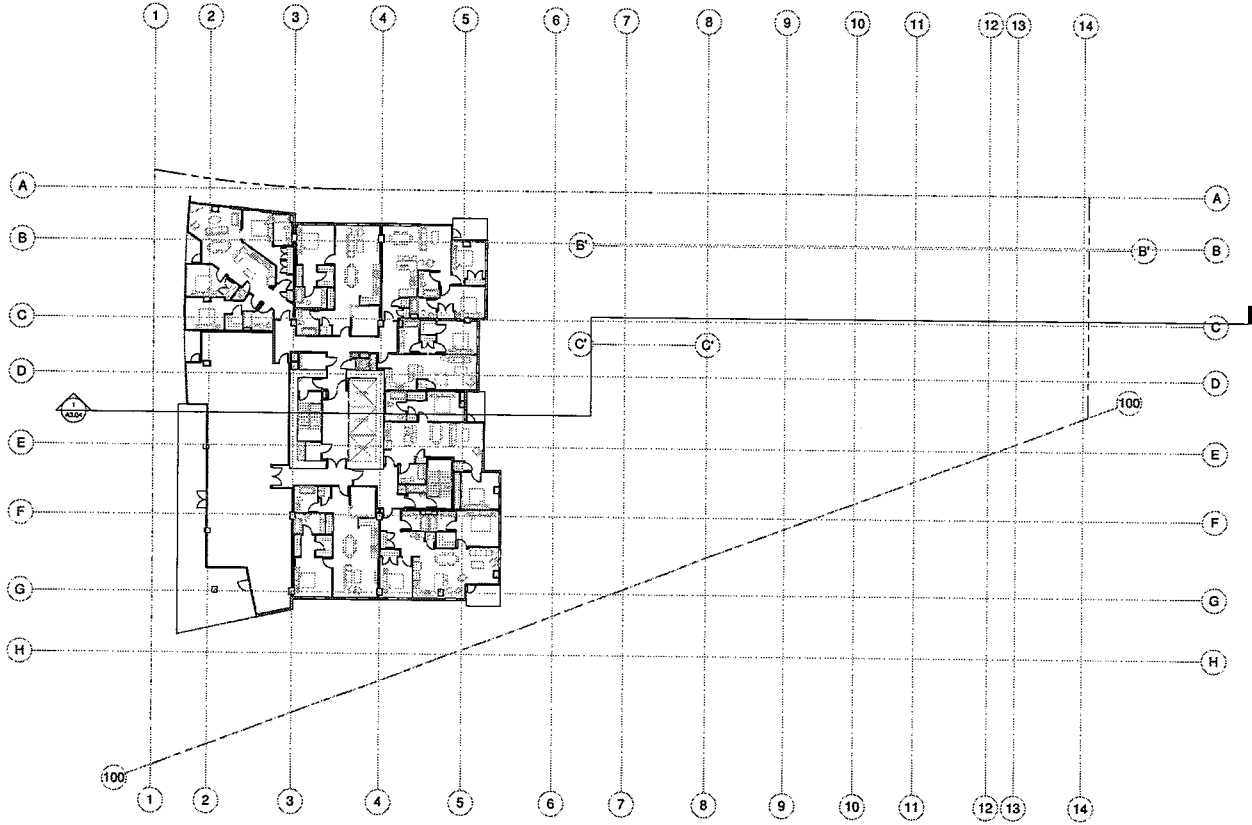


LEVEL 8
 816 - 1-8

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REVISION	DATE

ARCHITECT: AVRP STUDIOS 1800
 DRAWN BY: PYATOK ARCHITECTS 2000
 CHECKED BY: CHADLER 2000
 SHEET TITLE: BUILDING PLAN - LEVELS 8-15
 SHEET NUMBER: 8-15



LEVEL 20
 1/16" = 1'-0" ①

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ISSUE NO. DATE

PROJECT NUMBER: 00000000
 SHEET NO.: 000020
 DESIGNED BY: chad
 CHECKED BY:
 DATE: 09/15/17
 SHEET TITLE: BUILDING PLAN - LEVEL 20

SHEET NUMBER:

A1.11

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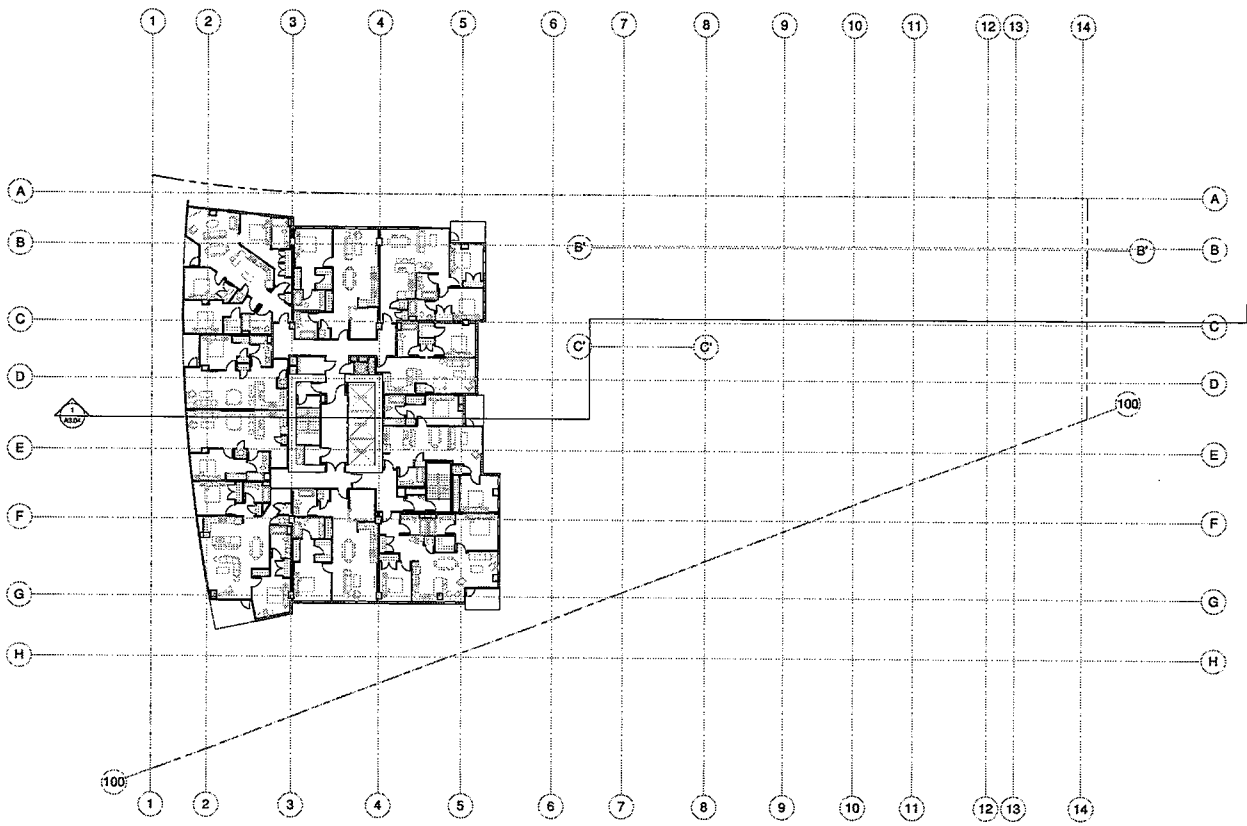
PROJECT NAME:

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SUBMITTER:
 _____ DATE:

DESIGNER:
 AVRP STUDIOS
 DRAWN BY:
 SKAC
 CHECKED BY:
 CHEN
 SHEET TITLE:
 BUILDING PLAN - LEVELS
 21-25

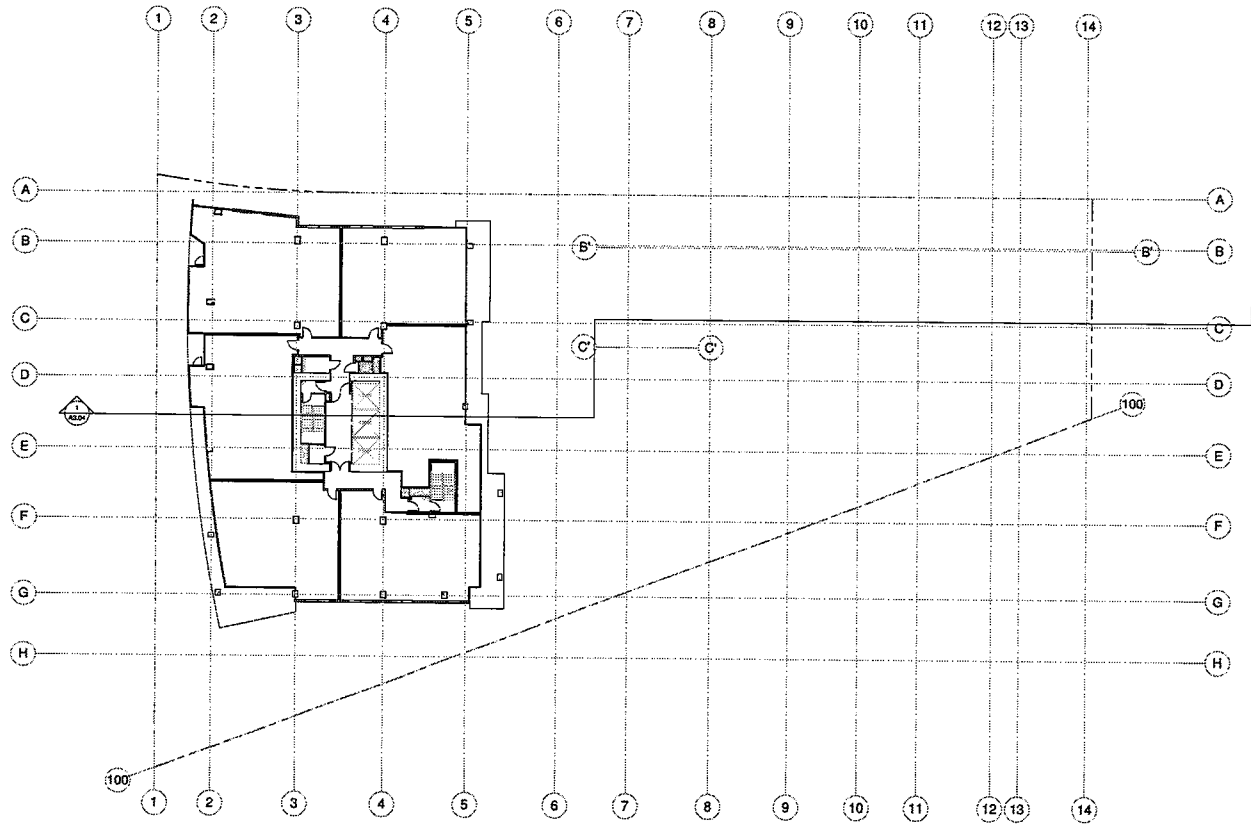
SHEET
 NUMBER:
A1.12



LEVEL 21
 1/16" = 1'-0" ①

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LEVEL 26
1/8" = 1'-0" 1

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PROJECT NAME:

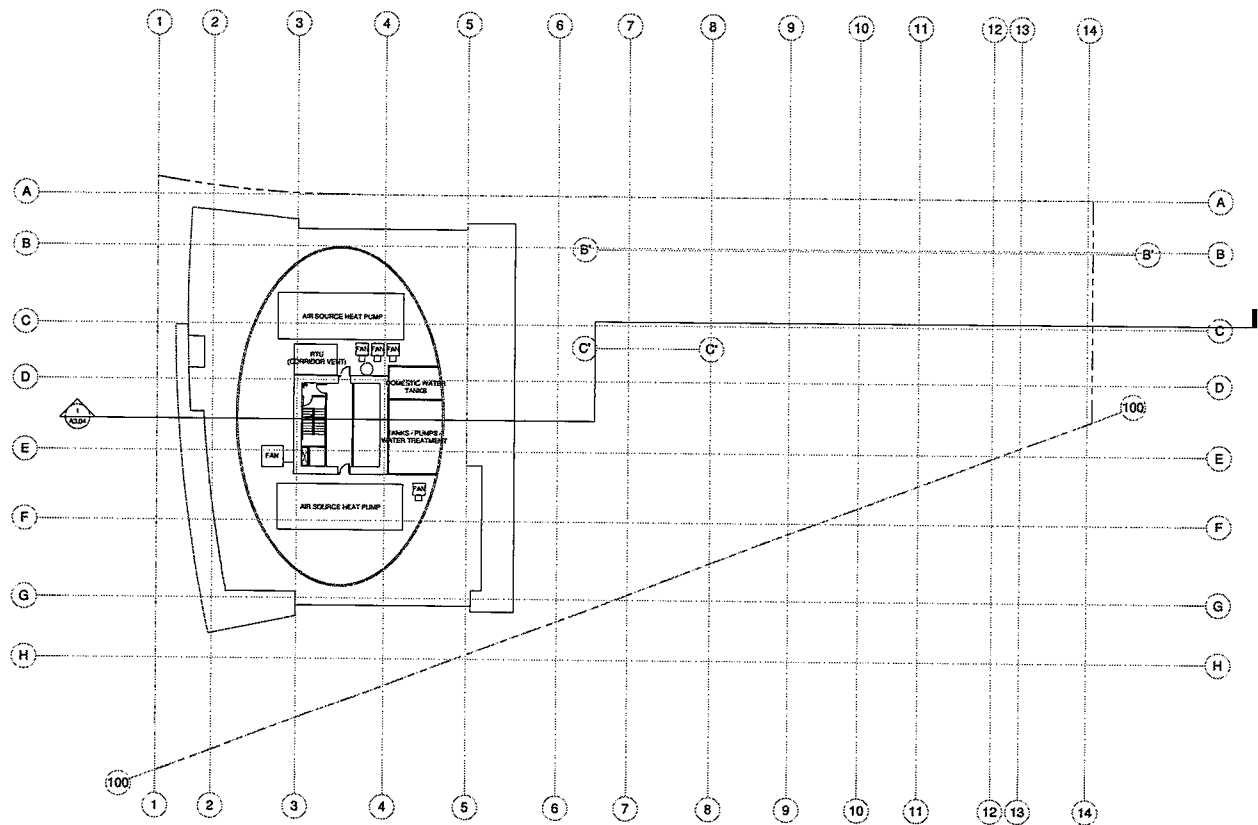
2017.09.15 - 100% SCHEMATIC DESIGN SET
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DATE: 10/11/17
PREPARED BY: [Signature]
CHECKED BY: [Signature]

PROJECT NUMBER: 1000000000
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: 10/11/17
SHEET TITLE: [Signature]
BUILDING PLAN - LEVEL 26

SHEET NUMBER:
A1.13

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LEVEL 27 - ROOF
616' = 1'-0" ①

STAGE:

CONTRACT:

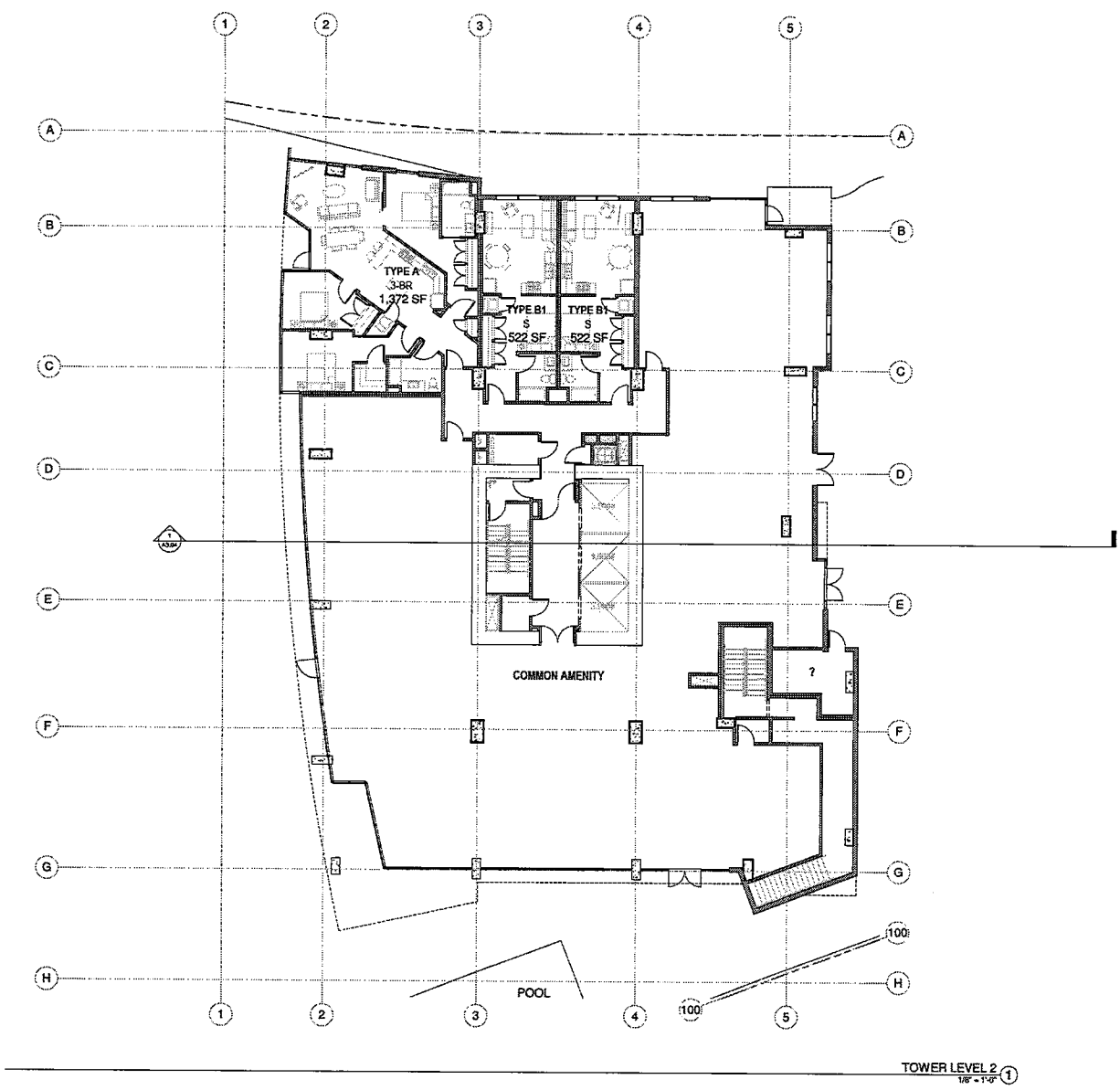
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 OAKLAND, CA 94606

REVISIONS:
 DESCRIPTION DATE

PROJECT NUMBER: 100-100-0001
 DATE: 09/15/17
 DRAWN BY: J. CHAN
 CHECKED BY: J. CHAN
 SHEET TITLE: BUILDING PLAN - ROOF LEVEL

SHEET NUMBER:
A1.14

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TOWER LEVEL 2
1/8" = 1'-0"

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PIATOK
 ARCHITECTS + INTERIOR DESIGN

STAMP:
 REGISTERED ARCHITECT
 REGISTERED INTERIOR DESIGNER

PROJECT NAME:

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 OAKLAND, CA 94606

REVISIONS:
 NO. DESCRIPTION DATE

PROJECT NUMBER: 1804
 DRAWN BY: JAC
 CHECKED BY: JAC
 SHEET TITLE: ENLARGED BUILDING PLAN - LEVEL 2 - NORTH

SHEET NUMBER:

A2.01A

STAMP:

CORPORATION:

PROJECT NAME:

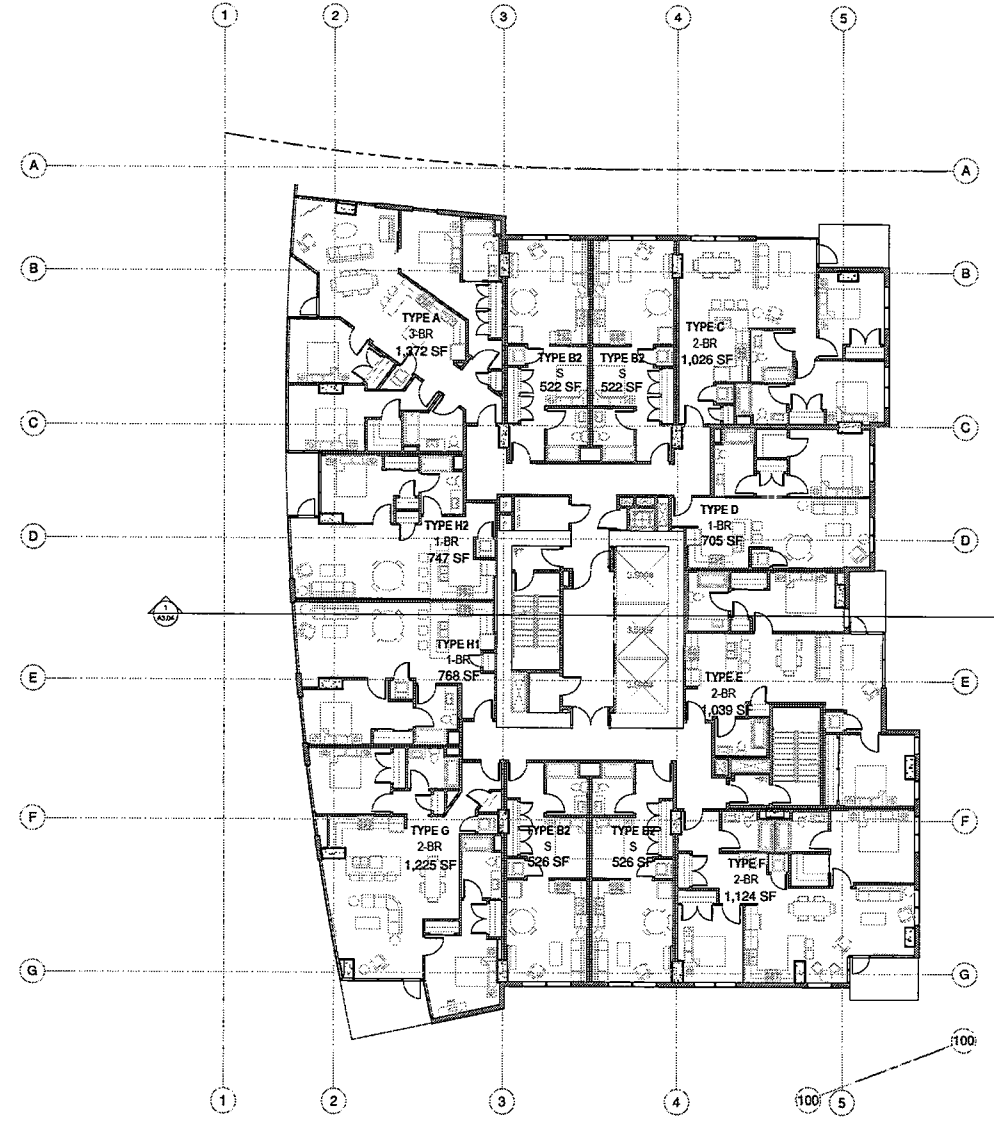
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DATE: 10/10/17
 REVISION: 01
 DATE: 10/10/17

PROJECT NUMBER: 18014
 ARCHITECT: avrp
 DATE: 09/20/17
 CHECKED BY: [Signature]
 DRAWN BY: [Signature]

ENLARGED BUILDING PLAN - LEVELS 3-10 - NORTH

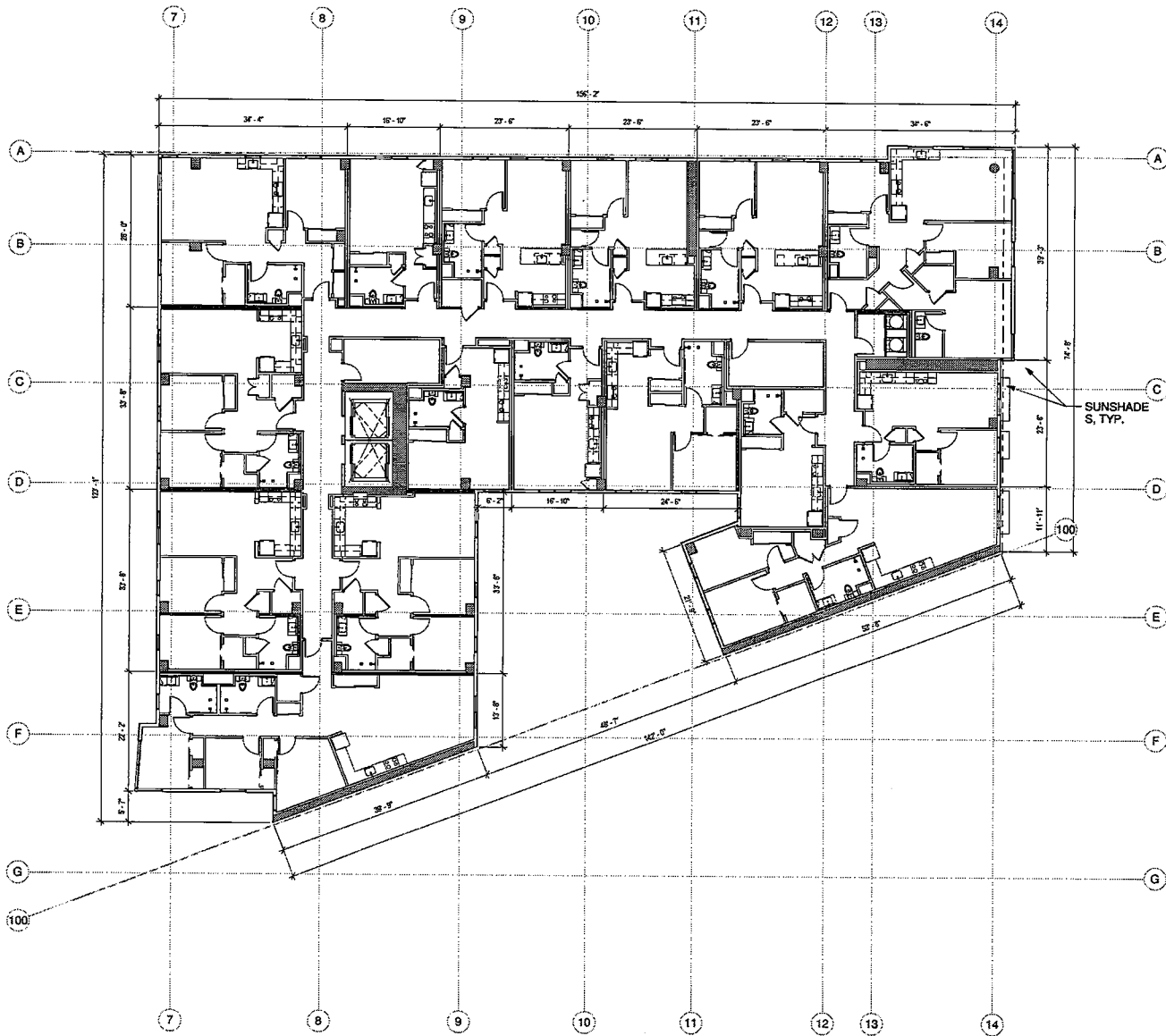
SHEET NUMBER: **A2.03A**



TOWER LEVEL 3
 100 - 100

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ENLARGED BUILDING PLAN LEVEL 3 SOUTH
1/8" = 1'-0"

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 www.avrpstudios.com

PIATOK
 Architects + Urban Design
 STAFF:

DESIGNER:

PROJECT NAME:

2017.09.15 - 100% SCHEMATIC DESIGN SET
LAKEHOUSE
 E 12th STREET & LAKE MERRITT BLVD.
 OAKLAND, CA 94606

SUBMITTER: RESIDENT DATE:

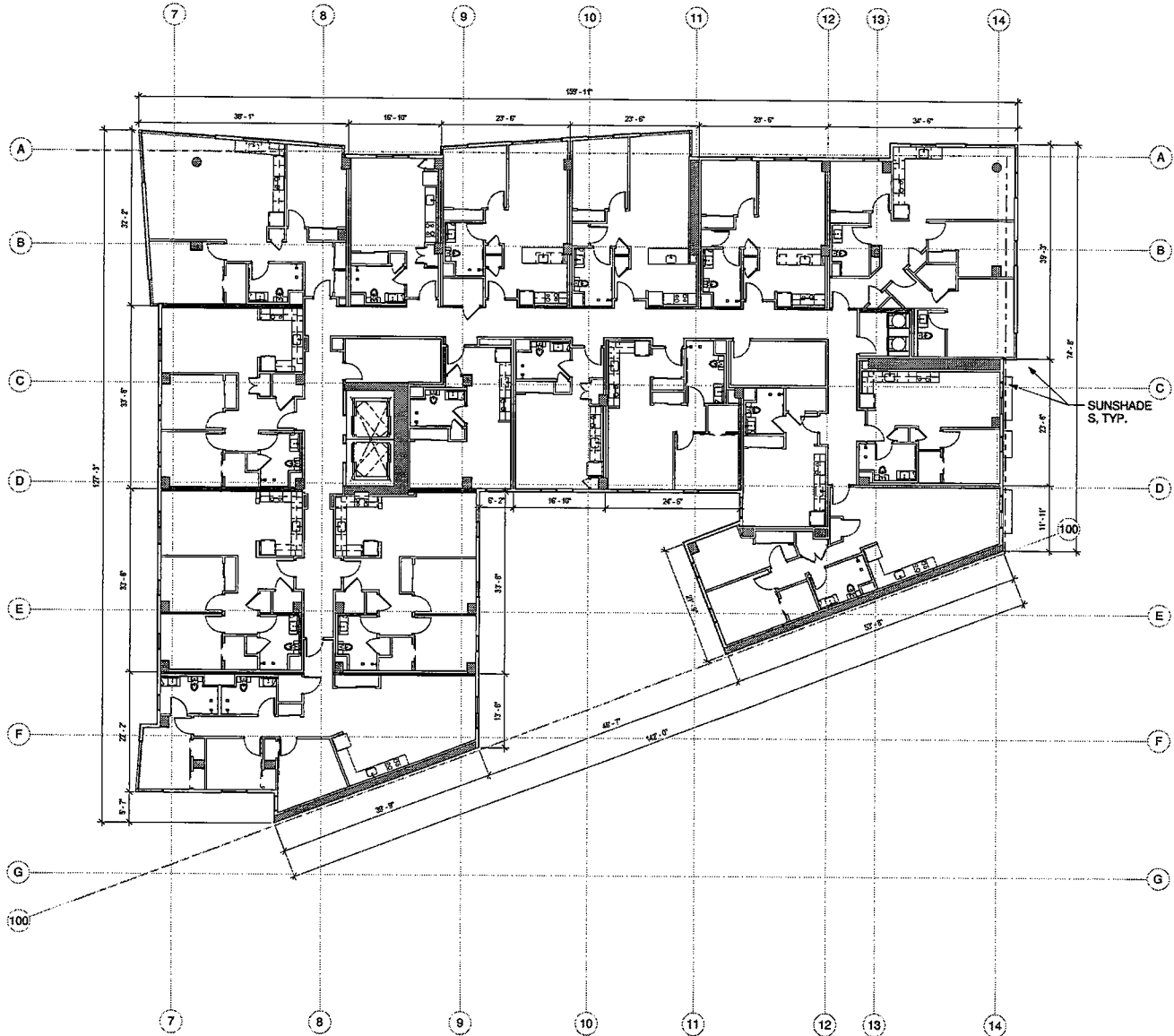
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 DATE: _____
 CHECKED BY: _____
 SHEET TITLE: _____

ENLARGED BUILDING PLAN LEVEL 3 SOUTH

SHEET NUMBER:

A2.04B

STAMP:
 CONSULTANT:
 PROJECT NAME:



ENLARGED BUILDING PLAN LEVEL 4 SOUTH
 1/8" = 1'-0"

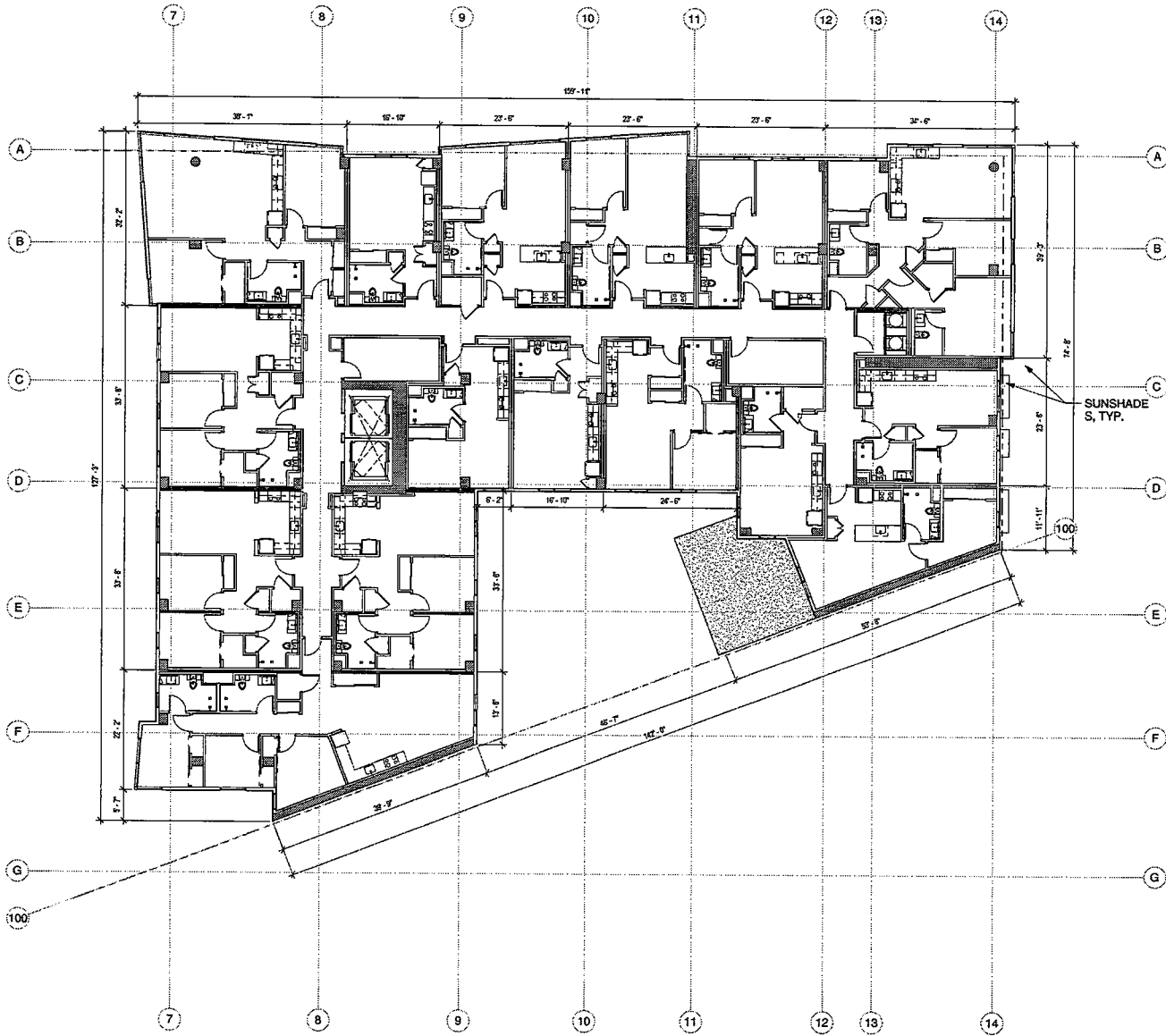
2017.09.15 - 100% SCHEMATIC DESIGN SET
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 OAKLAND, CA 94606

SHEET NUMBER: DATE:

PROJECT NUMBER: 15014
 AVRP NUMBER: 1000000
 CHECKED BY: JML
 PREPARED BY: JML

ENLARGED BUILDING PLAN LEVEL 4 SOUTH

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2017.09.15 - 100% SCHEMATIC DESIGN SET
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PROJECT DESCRIPTION: _____ DATE: _____

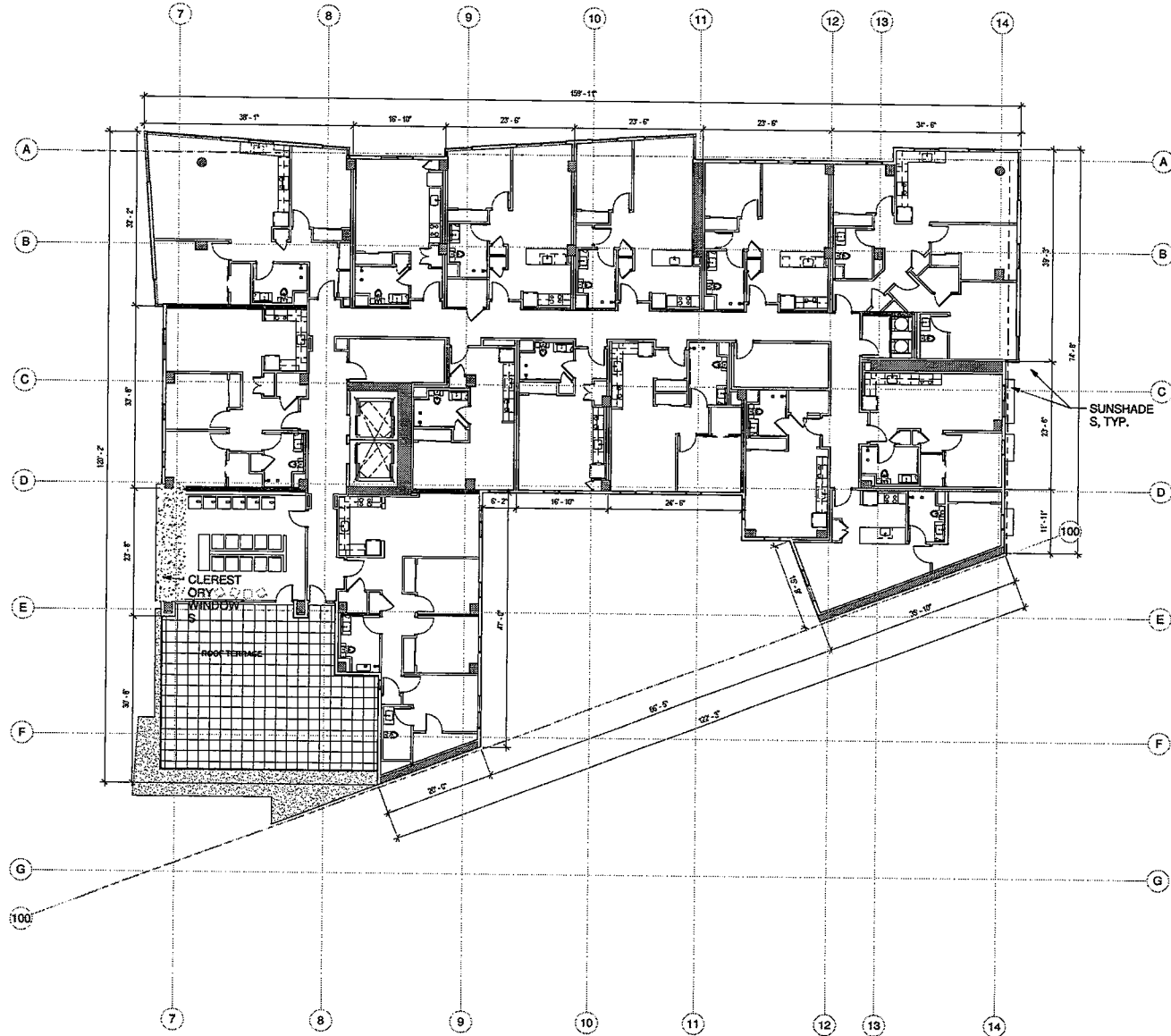
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 DESIGNER: _____
 CHECKED BY: _____
 PLOT TITLE: _____

ENLARGED BUILDING
 PLAN LEVEL 5 SOUTH

SHEET NUMBER:

A2.06B

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 ARCHITECTS + INTERIOR DESIGN

CONTRACT NO.:

PROJECT NAME:

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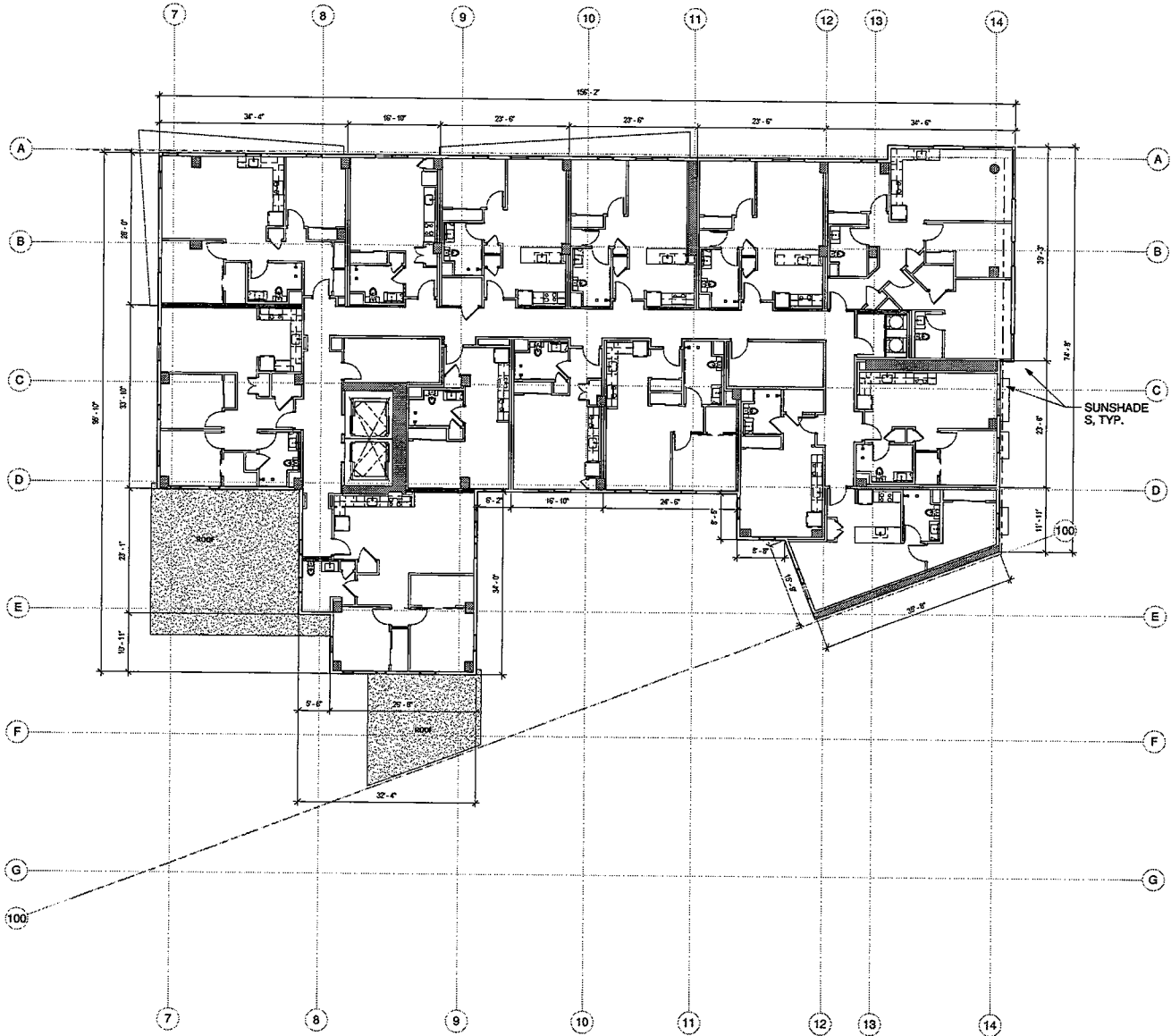
SCALE: 1/8" = 1'-0"
 DATE:

AVRP PROJECT NUMBER: 10014
 AVRP FILE NUMBER: 10014
 DRAWN BY: JACOB
 CHECKED BY: CHLOE
 SHEET TITLE:
 ENLARGED BUILDING PLAN LEVEL 6 SOUTH

SHEET NUMBER:

A2.07B

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ENLARGED BUILDING PLAN LEVEL 7 SOUTH
1/8" = 1'-0"

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STAMP:
 CONSULTANT
 PROJECT NAME

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 E 12th STREET & LAKE MERRITT BLVD.
 OAKLAND, CA 94606

DATE: _____

PROJECT NUMBER: _____
 DRAWING NUMBER: _____
 CHECKED BY: _____
 SHEET TITLE: _____

ENLARGED BUILDING PLAN LEVEL 7 SOUTH

SHEET NUMBER:

A2.08B

STAMP:

DESIGNER:

PROJECT NAME:

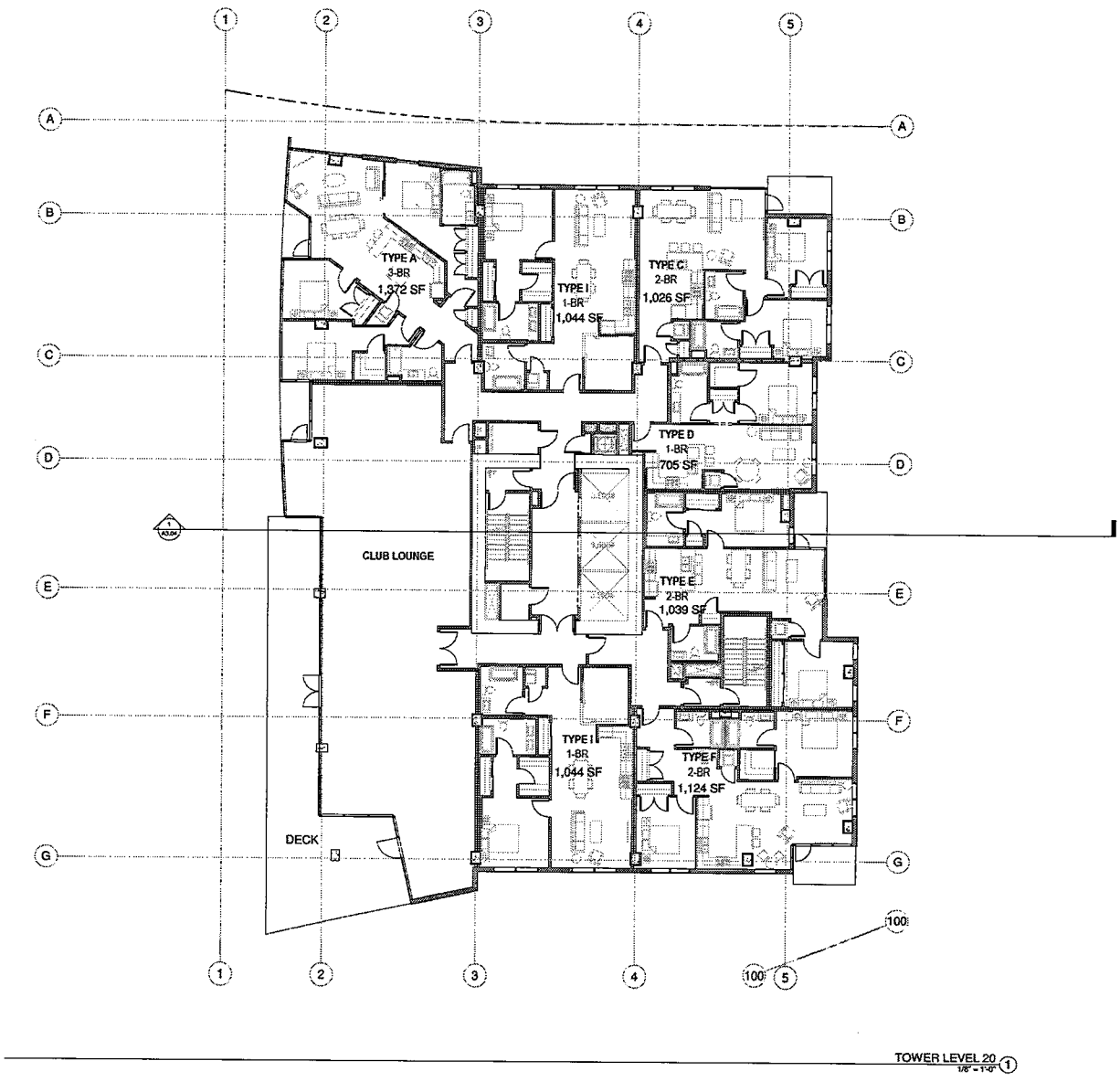
2017-09-15 - 100% SCHEMATIC DESIGN SET
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 OAKLAND, CA 94606

ISSUE DATE: DATE:
 DESCRIPTION:

PROJECT NUMBER: 1804
 AVRP SET NUMBER: 0003
 DRAWN BY: JG
 CHECKED BY: JG
 SHEET TITLE: ENLARGED BUILDING PLAN - LEVEL 20 - NORTH

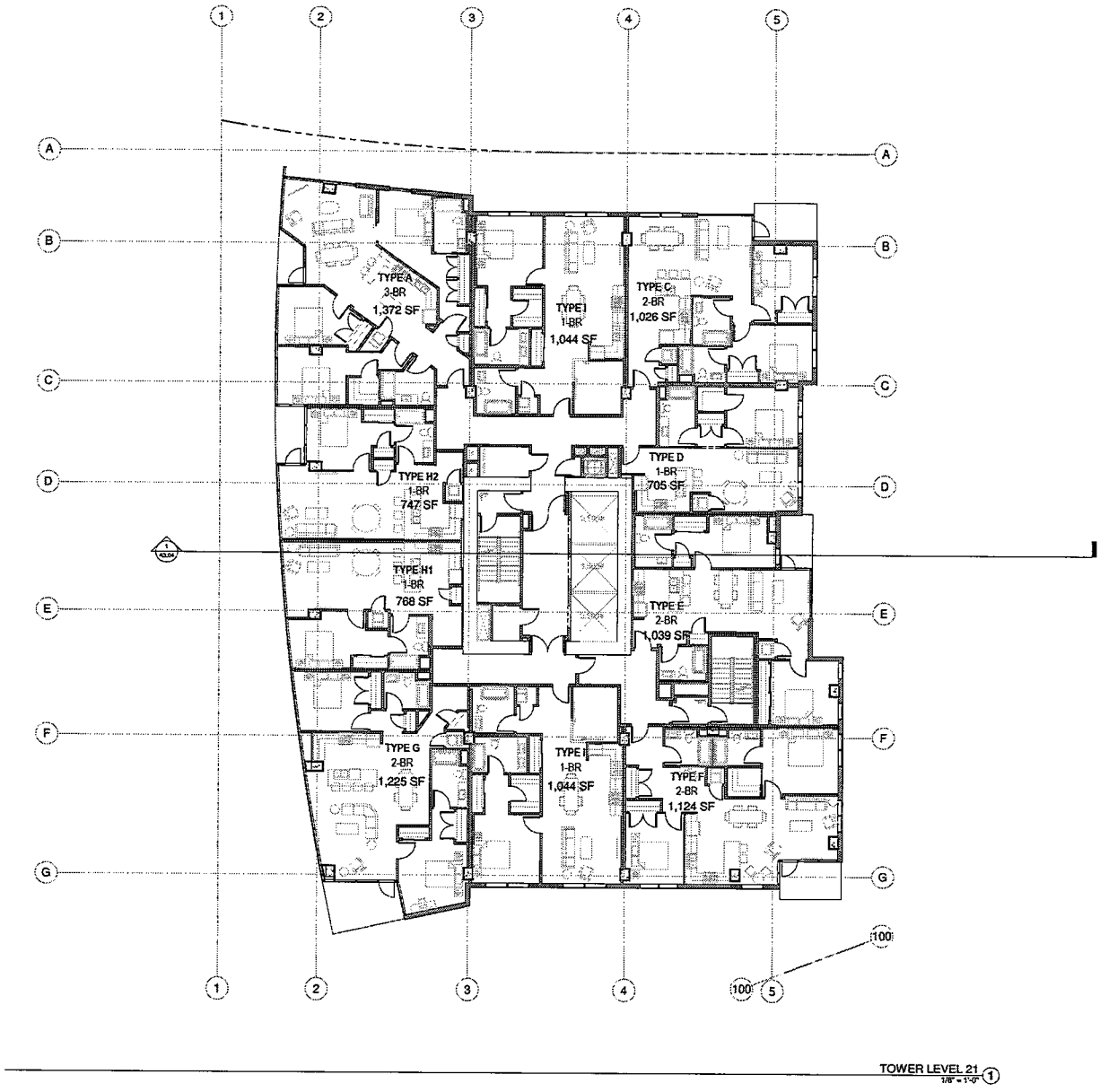
SHEET NUMBER:

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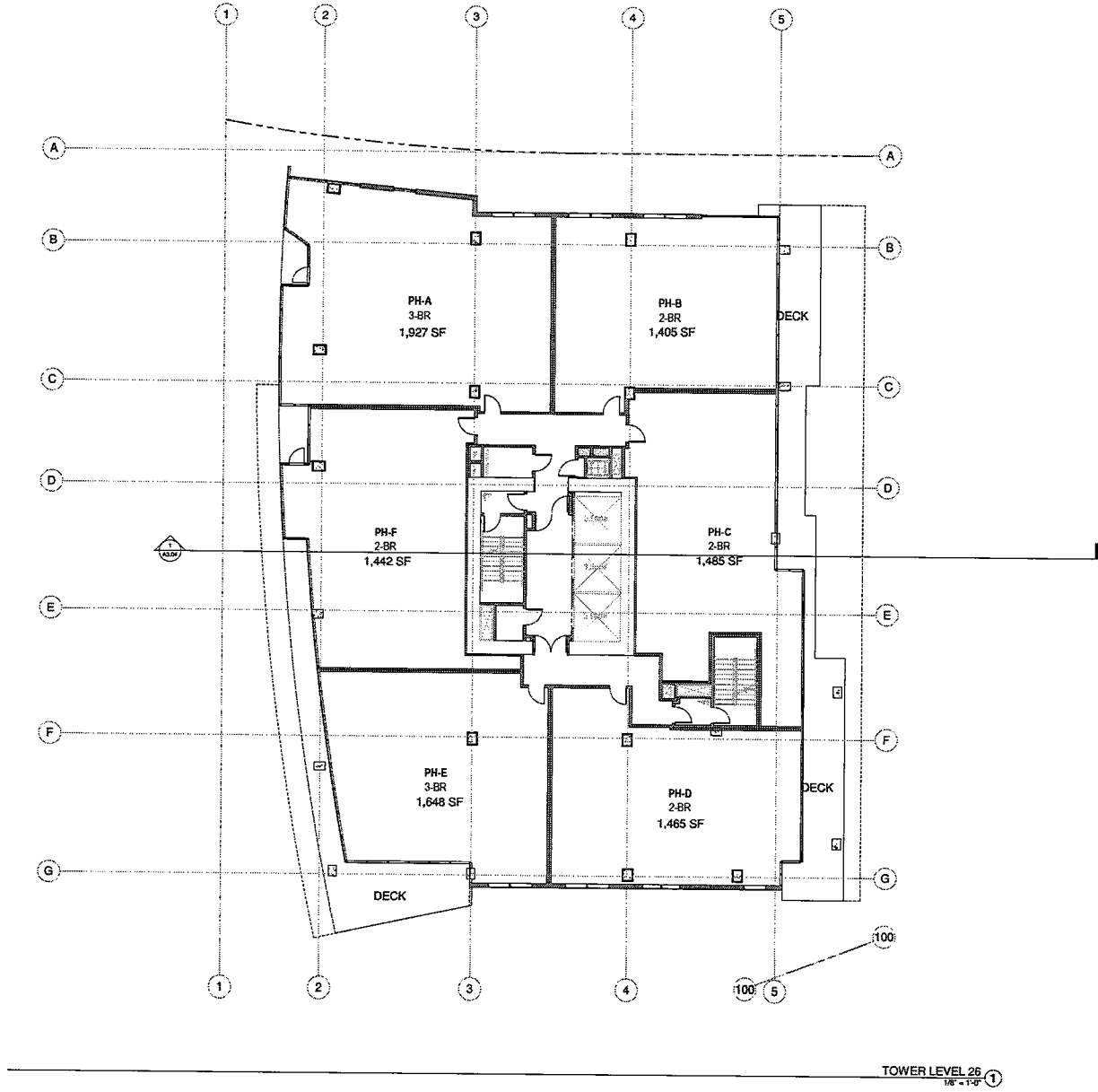
TOWER LEVEL 20
 1/8" = 1'-0" ①

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TOWER LEVEL 21
 1/8" = 1'-0"

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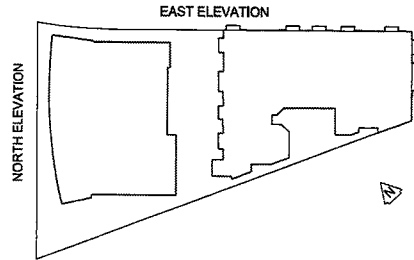
TOWER LEVEL 26
 1/8" = 1'-0" 1

ELEVATION GENERAL NOTES

- 1 PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM WITH BLUE-GREEN TINTED GLAZING
- 2 CURVING METAL PANELS WITH SILVER-GRAY PAINTED FINISH AT SLAB EDGE
- 3 LIGHT GREY PRE-FINISHED METAL RAIN SCREEN PANEL SYSTEM
- 4 DARK GREY PRE-FINISHED METAL RAIN SCREEN PANEL SYSTEM
- 5 TRANSLUCENT PHOTOVOLTAIC PANELS ABOVE ROOF TERRACE AREAS IN BLUE-GREEN TINT
- 6 ALUMINUM SELF-RECESSED WINDOWS
- 7 LIGHT GREY PRE-FINISHED HARDIE PANEL RAIN SCREEN PANEL SYSTEM
- 8 DARK GREY PRE-FINISHED HARDIE PANEL RAIN SCREEN PANEL SYSTEM

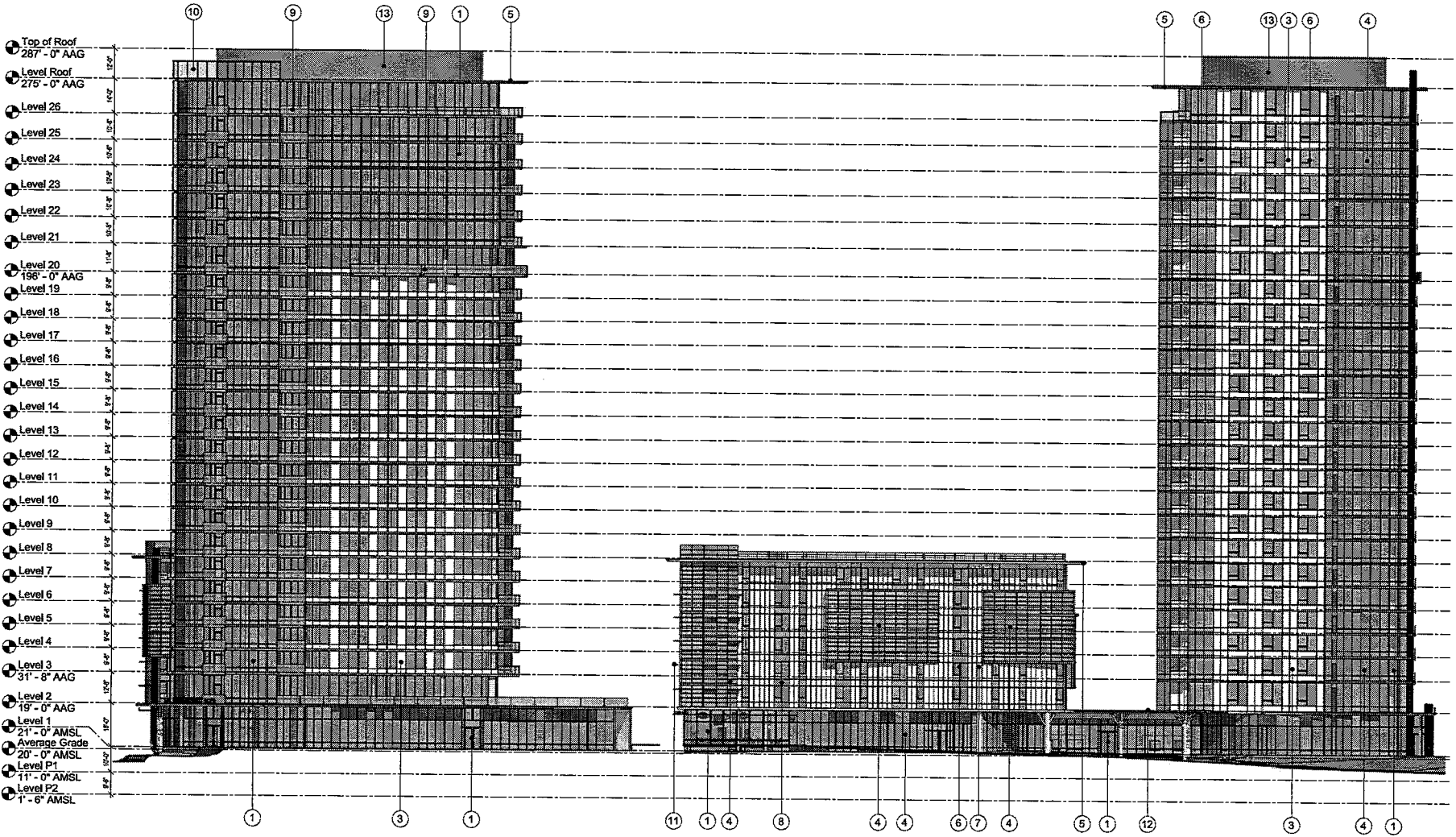
ELEVATION GENERAL NOTES

- 9 ALUMINUM BALCONY RAILING IN SILVER-GRAY PAINTED FINISH WITH BLUE-GREEN TINTED GLAZING
- 10 ALUMINUM ROOF RAILING IN SILVER-GRAY PAINTED FINISH WITH BLUE-GREEN TINTED GLAZING
- 11 CONTINUOUS METAL LOUVER PANELS IN GRAY-BLACK PAINTED
- 12 SCULPTURAL METAL CANOPY
- 13 PERFORATED METAL MECHANICAL SCREENING
- 14 DECORATIVE TREATMENT TO CONCRETE WALL



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PROJECT NAME: _____
 DATE: _____

2017.03.15 - 100% SCHEMATIC DESIGN SET
LAKEHOUSE
 E 12th STREET & LAKE MERRITT BLVD
 OAKLAND, CA 94606

REVISION	DESCRIPTION	DATE

NORTH ELEVATION (LAKE MERRITT BLVD) 1/16" = 1'-0" 2

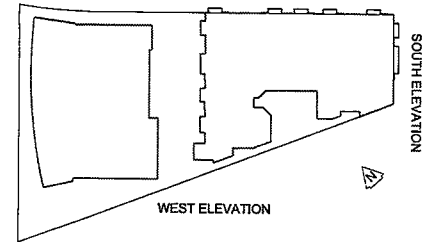
EAST ELEVATION (12TH STREET) 1/16" = 1'-0" 1

ELEVATION GENERAL NOTES

- 1 PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM WITH BLUE-GREEN TINTED GLAZING
- 2 CURVING METAL PANELS WITH SILVER-GRAY PAINTED FINISH AT SLAB EDGE
- 3 LIGHT GREY PRE-FINISHED METAL RAIN SCREEN PANEL SYSTEM
- 4 DARK GREY PRE-FINISHED METAL RAIN SCREEN PANEL SYSTEM
- 5 TRANSLUCENT PHOTOVOLTAIC PANELS ABOVE ROOF TERRACE AREAS IN BLUE-GREEN TINT
- 6 ALUMINUM SELF-RECESSED WINDOWS
- 7 LIGHT GREY PRE-FINISHED HARDIE PANEL RAIN SCREEN PANEL SYSTEM
- 8 DARK GREY PRE-FINISHED HARDIE PANEL RAIN SCREEN PANEL SYSTEM

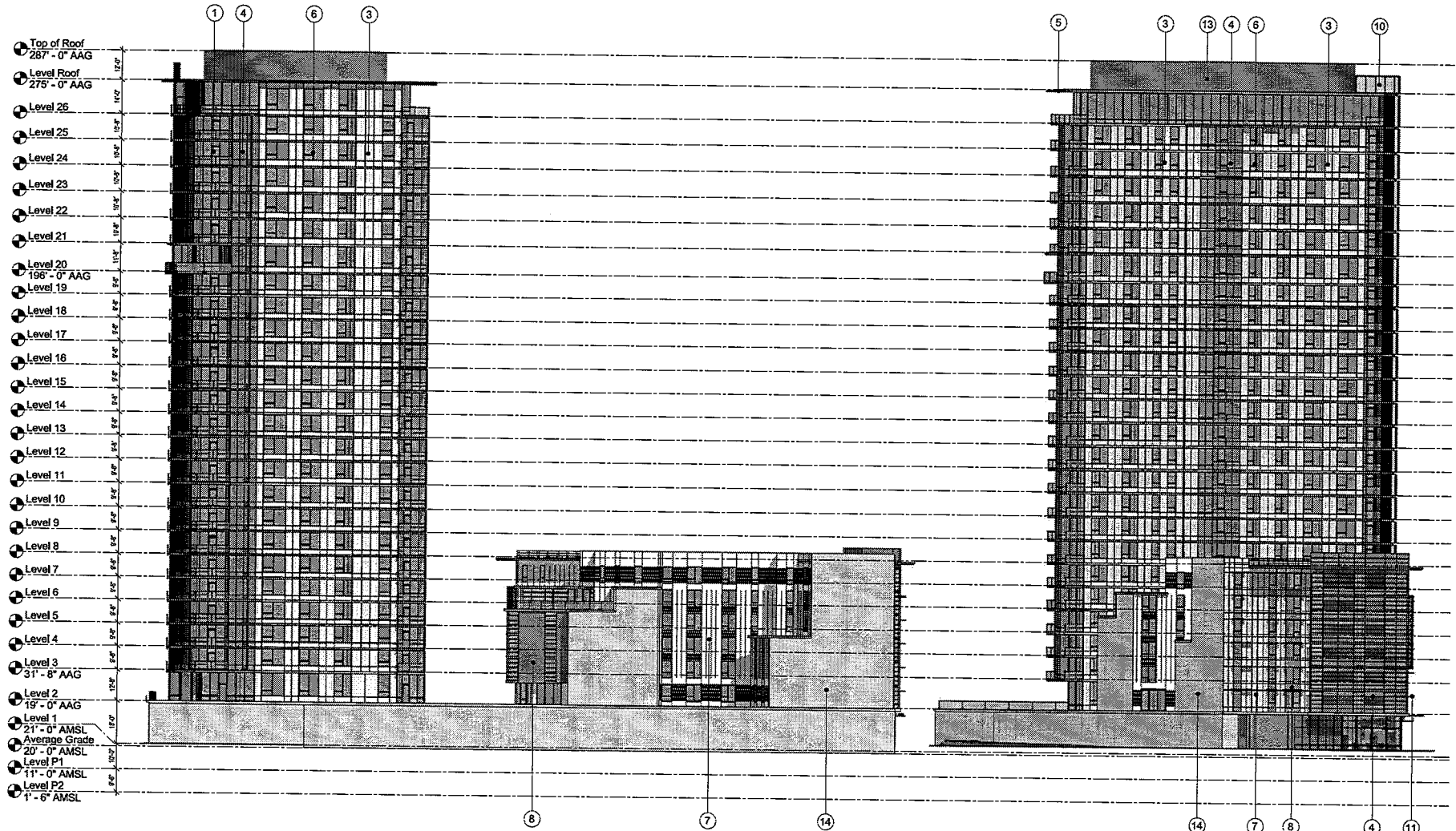
ELEVATION GENERAL NOTES

- 9 ALUMINUM BALCONY RAILING IN SILVER-GRAY PAINTED FINISH WITH BLUE-GREEN TINTED GLAZING
- 10 ALUMINUM ROOF RAILING IN SILVER-GRAY PAINTED FINISH WITH BLUE-GREEN TINTED GLAZING
- 11 CONTINUOUS METAL LOUVER PANELS IN GRAY-BLACK PAINTED
- 12 SCULPTURAL METAL CANOPY
- 13 PERFORATED METAL MECHANICAL SCREENING
- 14 DECORATIVE TREATMENT TO CONCRETE WALL



CONTRACT NO.:

PROJECT NAME:



2017.09.15 - 100% SCHEMATIC DESIGN SET

LAKEMOUSE
 E 12th STREET & LAKE MERRITT BLVD
 OAKLAND, CA 94606

DATE: _____

REVISION: _____

PROJECT NUMBER: 200.01
 SHEET NUMBER: 0308.02
 SHEET TITLE: BUILDING ELEVATIONS

BUILDING ELEVATIONS

WEST ELEVATION
 1/16" = 1'-0" 4

SOUTH ELEVATION
 1/16" = 1'-0" 3

A3.02

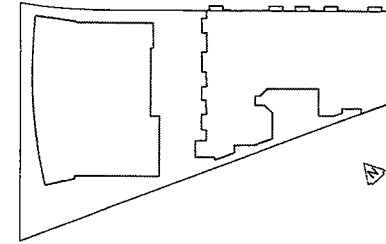
ELEVATION GENERAL NOTES

- 1 PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM WITH BLUE-GREEN TINTED GLAZING
- 2 CURVED METAL PANELS WITH SILVER-GRAY PAINTED FINISH AT SLAB EDGE
- 3 LIGHT GREY PRE-FINISHED METAL RAIN SCREEN PANEL SYSTEM
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- 7 LIGHT GREY PRE-FINISHED HARDIE PANEL RAIN SCREEN PANEL SYSTEM
- 8 DARK GREY PRE-FINISHED HARDIE PANEL RAIN SCREEN PANEL SYSTEM

ELEVATION GENERAL NOTES

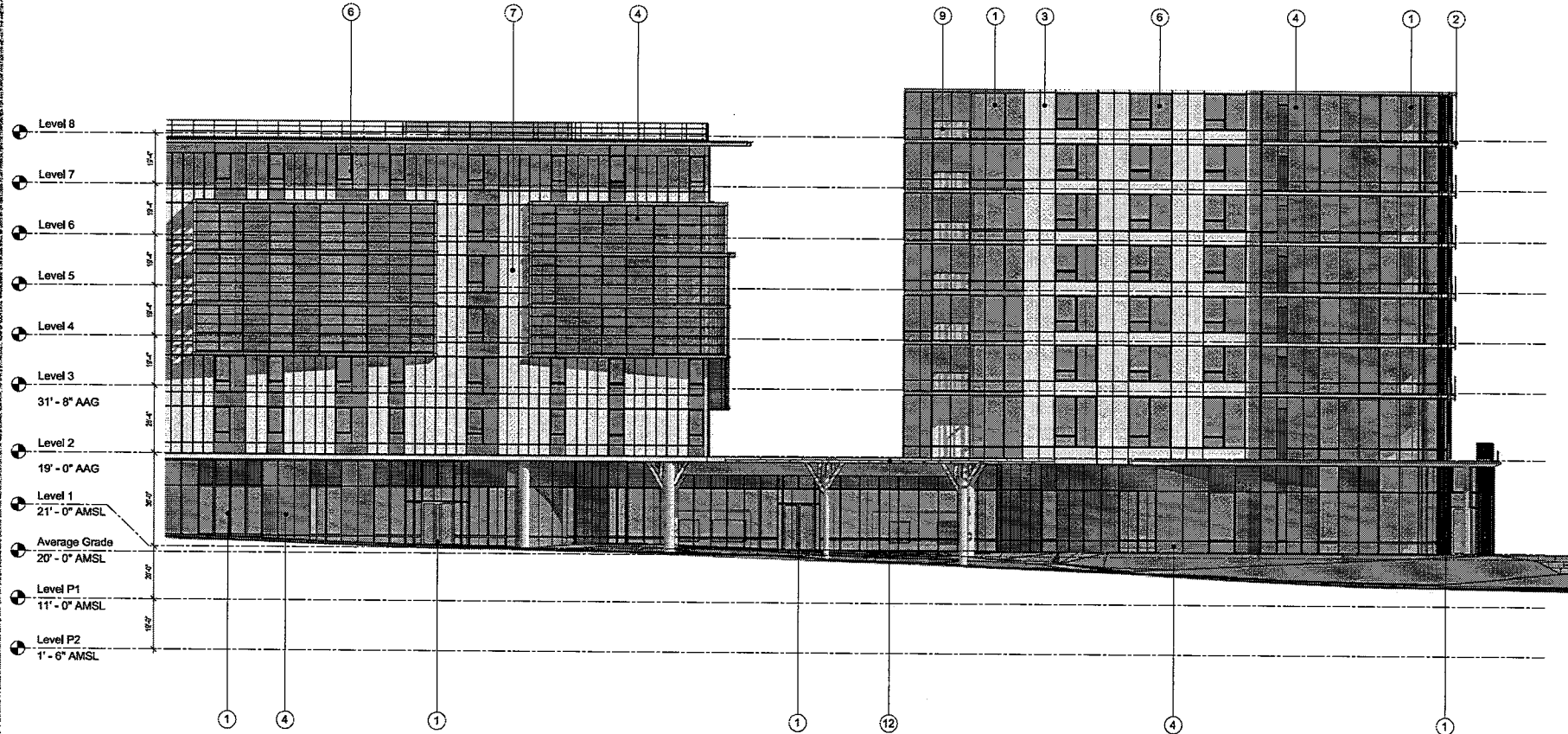
- 9 ALUMINUM BALCONY RAILING IN SILVER-GRAY PAINTED FINISH WITH BLUE-GREEN TINTED GLAZING
- 10 ALUMINUM ROOF RAILING IN SILVER-GRAY PAINTED FINISH WITH BLUE-GREEN TINTED GLAZING
- 11 CONTINUOUS METAL LOUVER PANELS IN GRAY-BLACK PAINTED
- 12 SCULPTURAL METAL CANOPY
- 13 PERFORATED METAL MECHANICAL SCREENING
- 14 DECORATIVE TREATMENT TO CONCRETE WALL

ENLARGED EAST ELEVATION



CORREL LINE:

PROJECT NAME:



2017.09.15 - 100% SCHEMATIC DESIGN SET
LAKEHOUSE
 E 12th STREET & LAKE MERRITT BLVD
 OAKLAND, CA 94606

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 20001
 AVRP NUMBER: 000000
 DRAWING NO: 000000
 DATE: 09/15/17
 SHEET TITLE: ENLARGED STREET LEVEL ELEVATION

SHEET NUMBER:

ENLARGED EAST ELEVATION (12TH STREET) 5
 1/8" = 1'-0"

A3.03

DATE:

PROJECT NAME:

2017.09.15 - 100% SCHEMATIC DESIGN SET
LAKEHOUSE
 E 12th STREET & LAKE MERRITT BLVD
 OAKLAND, CA 94608

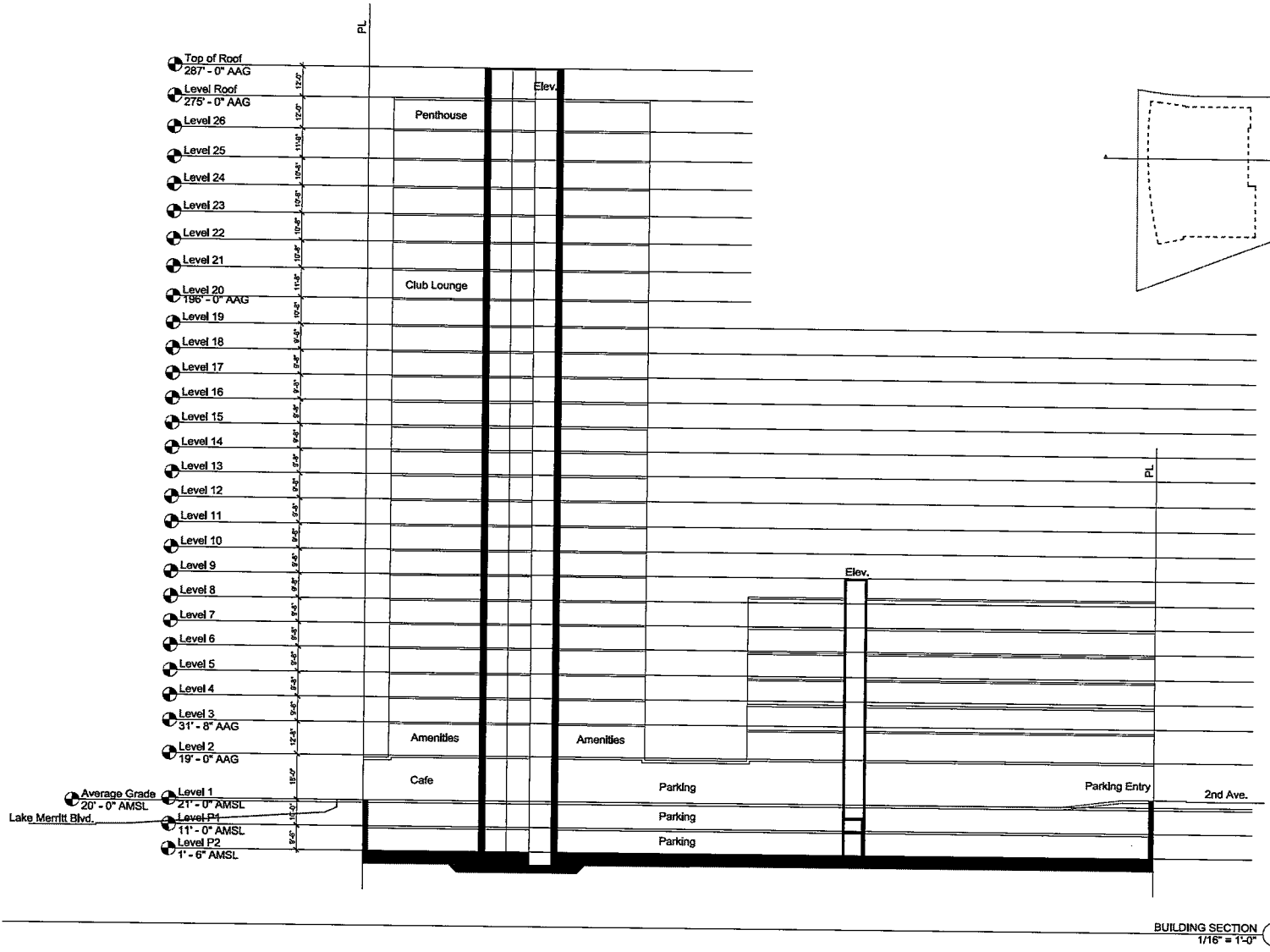
DATE:

PROJECT NUMBER: 201601
 SHEET NUMBER: 030002
 SHEET TITLE: 03

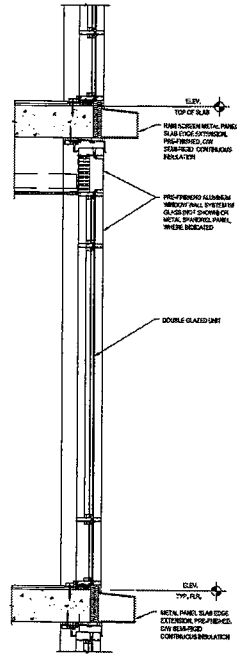
BUILDING SECTION

SHEET NUMBER:

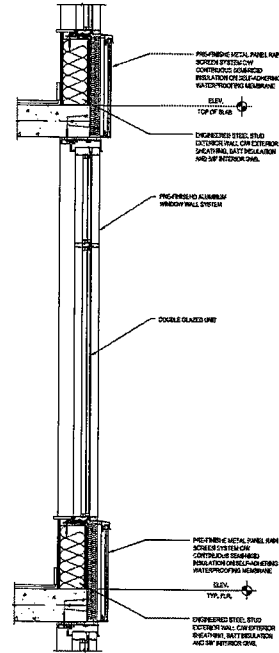
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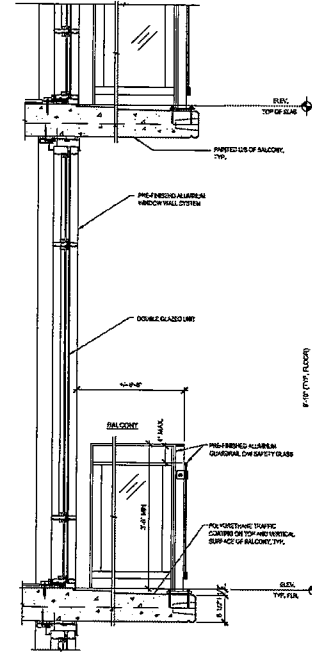
BUILDING SECTION
 1/16" = 1'-0" 1



1 TYPICAL WINDOW WALL SECTION
 A4.01 7/21/17



WINDOW WALL WITH METAL PANEL SECTION
 A4.01 7/21/17

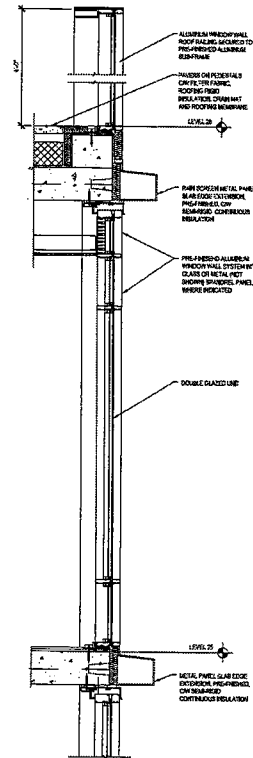


2 WINDOW WALL AT BALCONY SECTION
 A4.01 7/21/17

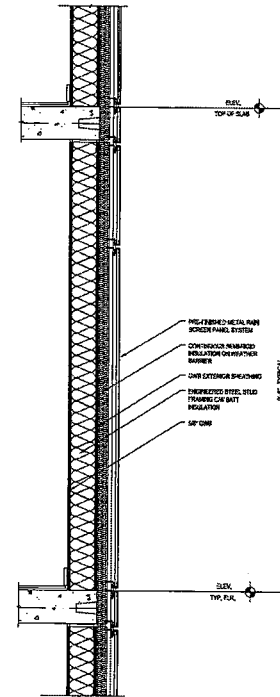
GENERAL NOTE:

PROJECT NAME:

2017.09.15 - 100% SCHEMATIC DESIGN SET
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5 WINDOW WALL AT LEVEL 25/26 SECTION
 1/4" = 1'-0"



6 METAL PANEL COLD WALL SECTION
 1/4" = 1'-0"

DATE: 09/15/17

PROJECT NUMBER: 1004
 AVRP STUDIOS
 DRAWN BY: JG
 CHECKED BY: JG
 SHEET TITLE: WALL SECTIONS

DATE: 09/15/17

A4.02