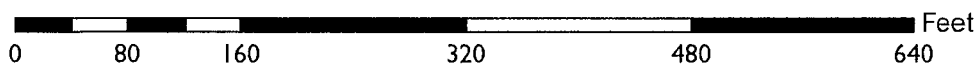


Location:	1112 26 th Street
Assessor's Parcel Number:	005-0447-014-01
Proposal:	The project involves conversion of an existing two-story mixed-use building into three (3) residential units and remodeling the existing ground floor office space located on a 7,668 square foot lot.
Contact Person/ Phone Number:	Fred Hyer-Hyer Architecture (510) 527-1915
Owner:	Oak Tree properties LLC.
Planning Permits Required:	Major Conditional Use Permit to allow three (3) or more residential units in the RM-2 zone; Regular Design Review to convert an existing mixed use building into three residential units; Minor Variance to allow an existing building structure to be located on the side property line where 5' minimum is required.
General Plan:	Mixed Housing Type Residential
Zoning:	RM-2 Zone
Environmental Determination:	Exempt, Section 15301 and 15303 of the State CEQA Guidelines: To convert an existing mixed use structure into three residential units.; and Section 15183 of the State CEQA Guidelines: Projects consistent with a Community Plan, General Plan or Zoning.
Historic Status:	Not a Historic Property
Service Delivery District:	1
City Council District:	3
Date Filed:	May 13 , 2016
Staff Recommendation:	Approve with the attached conditions
Finality of Decision:	Appealable to City Council within 10 days
For Further Information:	Contact case planner Jason Madani , at (510) 238-4790 or jmadani@oaklandnet.com

SUMMARY

The project involves conversion of an existing two-story mixed-use building into three (3) residential units and remodeling the existing ground floor office space. The site is a 7,668 square-foot lot. Three (3) off-street parking spaces are provided at the site. Planning Permit requirements include a Major Conditional Use Permit to allow three (3) or more residential units in the RM-2 zone; Regular Design Review to convert an existing mixed-use building into three residential attached units; Minor Variance to allow an existing structure to be located on side property line, where 5' minimum is required. As detailed below, staff finds that the project meets all of the required findings for approval. Therefore, staff recommends approval of the project subject to the attached conditions of approval.

CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN16063
Applicant: Fred Hyer– Hyer Architecture
Address: 1112 26th Street
Zone: RM-2

PROJECT DESCRIPTION

The project involves conversion of an existing two-story mixed-use building into three (3) residential units and remodeling the existing ground floor office space located on a 7,668 square foot lot. There are three (3) off-street parking spaces provided on the site with 12' wide existing driveway, and installation of landscaping throughout the site.

PROPERTY DESCRIPTION

The property is located at 11126th Street between Chestnut Street and Adeline Street. The subject site is approximately 7,668 square feet and contains an existing mixed-use two-story building and is located on side property line. The subject site is located adjacent to a two-story residential building and one-story commercial building.

GENERAL PLAN ANALYSIS

The property is located in the Mixed Housing Type Residential area under the General Plan. The intent of the area is: "to create, maintain, and enhance residential areas typically located near the City's major arterials and characterized by a mix of single family homes, townhouses, small multi-unit buildings, and neighborhood businesses where appropriate." Desired character and uses is: "Future development within this classification should be primarily residential in character." The proposed project is, therefore, consistent with the intent and desired character and uses of the General Plan as well as the following General Plan Policies:

Policy N3.8 Required High-Quality Design.

High-quality design standards should be required of all new residential construction. Design requirements and permitting procedures should be developed and implemented in a manner that is sensitive to the added costs of those requirements and procedures.

Policy N6.1 Mixing Housing Types.

The City will generally be supportive of a mix of projects that provide a variety of housing types, unit sizes, and lot sizes which are available to households with a range of incomes.

Policy N7.1 Ensuring Compatible Development.

New residential development in Mixed Housing Type areas should be compatible with the density, scale, design, and existing or desired character of surrounding development.

The RM-2 Mixed Housing Type Residential Zone permits one unit for every 2,500 square feet of site area so a maximum of three (3) units are possible for the 9,200 square-foot subject site.

Staff finds that the proposal conforms to the General Plans intent, desired character and policies.

ZONING ANALYSIS

Major Conditional Use Permit

Section 17.17.03 of the City of Oakland Planning Code requires a Major Conditional Use Permit to allow

three or more residential units in the RM-2 zone. The required findings for a Major Conditional Use Permit are attached and included in staff's evaluation as part of this report.

Minor Variance

Section 17.148.050A of the City of Oakland Planning Code requires a Minor Variance to convert an existing mixed use building into three residential units when setbacks are not satisfied. The existing building to be located on the side property line where a 5' side yard setback is required. The required findings for a Minor Variance are attached and included in staff's evaluation as part of this report.

Design Review

Section 17.17.020 of the City of Oakland Planning Code requires Regular Design Review to construct new dwelling unit. The required findings for a Regular Design Review are attached and included in staff's evaluation as part of this report

The following table indicates existing and proposed development standards:

	<u>Existing</u>	<u>Proposed</u>	<u>Required/ for 3 units</u>
Lot size	7,668	7,668	7,500
Units	0	3	3 units maximum
Usable Group Open Space	0	1,841 sq. ft.	900 sq. ft.
Parking Spaces	3	3	3
Lot Coverage	19%	19%	40% maximum

These items are discussed further in the Key Issues and Impacts section of this report. The project meets Planning Code requirements for buffering (screening of residential parking), parking, recycling, landscaping, and Green Building.

ENVIRONMENTAL DETERMINATION

The California Environmental Quality Act (CEQA) Guidelines categorically exempts the project under Section 15303 and 15301 new construction of small structure and Section 15183-Projects consistent with a Community Plan, General Plan or Zoning.

KEY ISSUES AND IMPACTS

The development is appropriate for the site and complements the other detached residential structures in the neighborhood. The key issues and impacted are discussed below.

Density

The RM-2 zone permits one unit for every 2500 square feet of site area and would allow a maximum of three (3) units for the subject site. Therefore, the proposed three (3) units are within the maximum residential density allowed by the Mixed Housing Type zone-2. Staff finds this project is appropriate for

this site and the surrounding neighborhood. The proposal is a good example of efficient use of space and constitutes the type of dynamic development concept needed to attract new investment to the area.

Design

The proposal is to convert an existing two-story mixed-use building into three residential units by replacing building exterior material; new roof; new windows; adding trellises to the front; side entrances and over the parking area and remove all concrete pavement. The building height is 23'tall. The building scale and massing is similar and compatible to the adjacent neighboring buildings. The exterior building materials are a combination of stucco, corrugated steel siding, and dual-pane vinyl windows. The proposed project will create a design that is well-related to the setting, and would not have significant impacts on the adjacent buildings with respect to views, solar access and privacy.

Parking and Landscaping

The project involves removal of the concrete slab pavement covering the entire site. The project provides adequate open space at the rear, side and front portion of the parcel and landscaping is provided throughout the site. There are three (3) off-street parking spaces provided on site.

CONCLUSION:

The proposed project meets all of the required findings for approval. Therefore, staff recommends approval of the project subject to the attached conditions.

- RECOMMENDATIONS:**
1. Affirm staff's environmental determination.
 2. Approve the Major Conditional Use Permit, Regular Design Review and Minor Variance subject to the attached Findings and Conditions.

Prepared by:



Jason Madani
Planner II

Reviewed by:



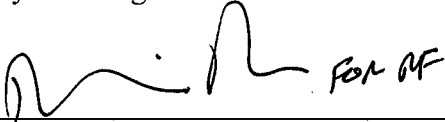
Scott Miller
Zoning Manager

Reviewed By:



Darin Ranelletti, Deputy Director
Bureau of Planning and Building

Approved for forwarding to the
City Planning Commission:



Rachel Flynn, Director
Bureau of Planning and Building

ATTACHMENTS:

- A. Project Plans
- B. Site Photo

FINDINGS FOR APPROVAL

This proposal meets all the required findings under the General Use Permit Criteria (OMC Sec. 17.134.050) ; Regular Design Review Criteria (OMC Sec. 17.136.050(A); Variance findings (OMC Sec. 17.148.050 of the Oakland Planning Code (Title 17) as set forth below. Required findings are shown in **bold** type; explanations as to why these findings can be made are in normal type.

SECTION 17.134.050 – GENERAL USE PERMIT CRITERIA:

A. That the location, size, design, and operating characteristics of the proposed development will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to harmony in scale, bulk, coverage, and density; to the availability of civic facilities and utilities; to harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity of surrounding streets; and to any other relevant impact of the development.

The location and operating characteristics of the project will be compatible with, and will not adversely affect the livability or appropriate development of abutting properties. The project involves conversion of an existing two-story mixed-use building into three (3) residential units, and remodeling the existing ground floor office space. The site is a 7,668 square-foot lot. The parcel is 7,668 square feet and meets RM-2 density requirement which permits one unit for every 2,500 square feet of lot area. There are three (3) parking spaces located at the side and rear portion of the lot and using the existing driveways to access. The proposed project is compatible with the existing neighborhood development pattern. The proposal is consistent with the building height, scale, bulk, and lot coverage of the area.

B. That the location, design, and site planning of the proposed development will provide a convenient and functional living, working, shopping, or civic environment, and will be as attractive as the nature of the use and its location and setting warrant.

The proposed project results in functional living quarters for three residential units. The proposal will provide adequate private open space and parking spaces for all three residential units. The proposal is consistent with adjacent parcels in site orientation and building configuration. There is enough separation between the proposed building and the adjacent residential building to allow direct sunlight.

C. That the proposed development will enhance the successful operation of the surrounding area in its basic community functions, or will provide an essential service to the community or region.

The proposal will enhance the successful operation of the surrounding residential area by converting an existing mixed-use building into three residential units while maintaining the allowed density, with three (3) parking spaces and open space for this development. The proposal will provide additional home ownership opportunities for Oakland residents.

D. That the proposal conforms to all applicable design review criteria set forth in the design review procedure at Section 17.136.070.

The proposal conforms to all significant aspects of the Design Review criteria set forth in Chapter 17.136 of the Oakland Planning Code, as outlined below.

E. That the proposal conforms in all significant respects with the Oakland Comprehensive Plan and with any other applicable plan or development control map which has been adopted by the City Council.

The site is designated Mixed Housing Type Residential by the Oakland General Plan. This designation is intended to create, maintain, and enhance residential areas typically located near the City's major arterials and characterized by a mix of single-family homes, townhouses, small multi-unit buildings, and neighborhood business where appropriate. The proposed project is residential in nature and consistent with the General Plan. Desired Character and Uses is: "Future development within this classification should be primarily residential in character." The proposed design for a multi-family facility and site is, therefore, consistent with the intent and desired character and uses of the General Plan as well as the following Policies:

Policy N3.8 Required High-Quality Design.

High-quality design standards should be required of all new residential construction. Design requirements and permitting procedures should be developed and implemented in a manner that is sensitive to the added costs of those requirements and procedures.

Policy N6.1 Mixing Housing Types.

The City will generally be supportive of a mix of projects that provide a variety of housing types, unit sizes, and lot sizes which are available to households with a range of incomes.

Policy N7.1 Ensuring Compatible Development.

New residential development in Mixed Housing Type areas should be compatible with the density, scale, design, and existing or desired character of surrounding development.

SECTION 17.136.050.A - REGULAR DESIGN REVIEW CRITERIA:

1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures:

The proposal is to convert an existing two-story mixed use building into three (3) residential unit and remodeling an existing office space. There are no changes to the scale, bulk, height or footprint

of the existing building, and is compatible to adjacent neighboring buildings. The building height is 23'-0", and the scale and massing is similar and. The exterior building materials are a combination of new stucco, cement board siding, corrugated steel siding, and dual-pane Vinyl windows. The proposed project will create a design that is well-related to the setting, and would not have significant impacts on adjacent buildings with respect to views, solar access and privacy

2. That the proposed design will protect, preserve, or enhance desirable neighborhood characteristics;

The proposed building has a contemporary design that is similar in quality and character to the other buildings in this neighborhood. The existing neighborhood has a mixed context of building styles including traditional homes, contemporary homes, and commercial buildings.

3. That the proposed design will be sensitive to the topography and landscape.

The proposed lot is relatively flat. The project will not involve significant grading. The project will provide adequate landscaping at the front and the rear portion of the site.

4. That, if situated on a hill, the design and massing of the proposed building relates to the grade of the hill.

This criterion is not applicable to this proposal.

5. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

The proposed design conforms in all significant respects with density in the Mixed Housing Type Residential Land Use Classification of the Oakland General Plan, and RM-2 zone.

Section 17.148.050A Variance findings required:

- a. That strict compliance with the specified regulation would result in practical difficulty or unnecessary hardship inconsistent with the purposes of the Zoning Regulations, due to unique physical or topographical circumstances or conditions of design; or, as an alternative in the case of a Minor Variance, that such strict compliance would preclude an effective design solution improving the livability, operational efficiency, or appearance.**

The proposal is to convert an existing mixed-use building into three (3) residential units within the required 5' side yard setback. The east portion of the existing building is located on the side property line where 5 feet minimum is required, and is considered a non-conforming building. The proposal maintains the building footprint. The proposal is not expected to have significant impacts on views and solar access for the adjacent buildings. Therefore, the strict compliance with the side yard setback would preclude an effective design solution that improves the livability and functional use of the residential building. Therefore, the proposal complies with the intent of the zoning requirement with respect to the required 5' side yard setback in RM-2 Zone.

- b. That strict compliance with the regulations would deprive the applicant of privileges enjoyed by owners of similarly zoned property; or, as an alternative in the case of a Minor Variance, that such strict compliance would preclude an effective design solution fulfilling the basic intent of the applicable regulation.**

Other properties with similar constraints have been granted similar variances.

- c. That the variance, if granted, will not adversely affect the character, livability, or appropriate development of abutting properties or the surrounding area, and will not be detrimental to the public welfare or contrary to adopted plans or development policy.**

The proposal would be required to comply with the uniform building code. The proposal will be compatible with the adjacent neighboring buildings in that it will be consistent with the prevailing side yard setbacks of neighboring properties.

- d. That the variance will not constitute a grant of special privilege inconsistent with limitations imposed on similarly zoned properties or inconsistent with the purposes of the Zoning Regulations.**

Similar variances have been granted in the past for similarly zoned properties.

- e. That the elements of the proposal requiring the variance (e.g. elements such as buildings, Plan, General Plan or Zoning in the design review procedure at Section 17.136.050:**

The proposed project is compatible with architectural style of the building. Minor changes to the exterior façade of the building will comply with the design review procedure at Section 17.136.050.

- f. For proposals involving one or two residential dwelling units on a lot: That, if the variance would relax a regulation governing maximum height, minimum yards, maximum lot coverage or building length alongside lot lines, the proposal also conforms with at least one of the following criteria:**

- a. **The proposal when viewed in its entirety will not adversely impact abutting residences to the side, rear, or directly across the street with respect to solar access, view blockage and privacy.**

The proposal will continue the existing building footprint area. The proposal minimizes potential solar, privacy and view impacts on adjacent buildings.

-OR-

- b. **Over 60 percent of the lots in the immediate vicinity are already developed and the proposal does not exceed the corresponding as-built condition on these lots and, for height variances, the proposal provides detailing, articulation or other design treatments that mitigate any bulk created by the additional height. The immediate context shall consist of the five closest lots on each side of the project site, plus the ten closest lots on the opposite side of the street (see Illustration I-4b); however, the Director of City Planning may make an alternative determination of immediate context based on specific site conditions. Such determination shall be in writing and included as part of any decision on any variance. N/A**

ATTACHMENT B: CONDITIONS OF APPROVAL

The proposal is hereby approved subject to the following Conditions of Approval:

1. Approved Use

Ongoing

- a) The project shall be constructed and operated in accordance with the authorized use as described in the application materials, decision letter, and the plans dated **May 8th, 2016** and submitted on **May 13th, 2016**, and as amended by the following conditions. Any additional uses or facilities other than those approved with this permit, as described in the project description and the approved plans, will require a separate application and approval. Any deviation from the approved drawings, Conditions of Approval or use shall require prior written approval from the Director of City Planning or designee.
- b) This action by the Director of City Planning (“this Approval”) includes the approvals set forth below. This Approval includes:
 - **Major Conditional Use Permit to allow three (3) or more residential units in the RM-2 zone; Regular Design Review to convert an existing mixed-use building into three (3) residential units; Minor Variance to allow an existing building structure to be located on the side property line where 5’ minimum is required.**

2. Effective Date, Expiration, Extensions and Extinguishment

This Approval shall become effective immediately, unless the Approval is appealable, in which case the Approval shall become effective in ten calendar days unless an appeal is filed. Unless a different termination date is prescribed, this Approval shall expire **two years** from the Approval date, or from the date of the final decision in the event of an appeal, unless within such period all necessary permits for construction or alteration have been issued, or the authorized activities have commenced in the case of a permit not involving construction or alteration. Upon written request and payment of appropriate fees submitted no later than the expiration date of this Approval, the Director of City Planning or designee may grant a one-year extension of this date, with additional extensions subject to approval by the approving body. Expiration of any necessary building permit or other construction-related permit for this project may invalidate this Approval if said Approval has also expired. If litigation is filed challenging this Approval, or its implementation, then the time period stated above for obtaining necessary permits for construction or alteration and/or commencement of authorized activities is automatically extended for the duration of the litigation.

3. Compliance with Other Requirements

The project applicant shall comply with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to

those imposed by the City's Bureau of Building, Fire Marshal, and Public Works Department. Compliance with other applicable requirements may require changes to the approved use and/or plans. These changes shall be processed in accordance with the procedures contained in Condition #4.

4. Minor and Major Changes

- a. Minor changes to the approved project, plans, Conditions, facilities, or use may be approved administratively by the Director of City Planning.
- b. Major changes to the approved project, plans, Conditions, facilities, or use shall be reviewed by the Director of City Planning to determine whether such changes require submittal and approval of a revision to the Approval by the original approving body or a new independent permit/approval. Major revisions shall be reviewed in accordance with the procedures required for the original permit/approval. A new independent permit/approval shall be reviewed in accordance with the procedures required for the new permit/approval.

5. Compliance with Conditions of Approval

- a. The project applicant and property owner, including successors, (collectively referred to hereafter as the "project applicant" or "applicant") shall be responsible for compliance with all the Conditions of Approval and any recommendations contained in any submitted and approved technical report at his/her sole cost and expense, subject to review and approval by the City of Oakland.
- b. The City of Oakland reserves the right at any time during construction to require certification by a licensed professional at the project applicant's expense that the as-built project conforms to all applicable requirements, including but not limited to, approved maximum heights and minimum setbacks. Failure to construct the project in accordance with the Approval may result in remedial reconstruction, permit revocation, permit modification, stop work, permit suspension, or other corrective action.
- c. Violation of any term, Condition, or project description relating to the Approval is unlawful, prohibited, and a violation of the Oakland Municipal Code. The City of Oakland reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the Approval or alter these Conditions if it is found that there is violation of any of the Conditions or the provisions of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions. The project applicant shall be responsible for paying fees in accordance with the City's Master Fee Schedule for inspections conducted by the City or a City-designated third-party to investigate alleged violations of the Approval or Conditions.

6. Signed Copy of the Approval/Conditions

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times.

7. Blight/Nuisances

The project site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within 60 days of approval, unless an earlier date is specified elsewhere.

8. Indemnification

- a. To the maximum extent permitted by law, the project applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the Oakland City Council, the Oakland Redevelopment Successor Agency, the Oakland City Planning Commission, and their respective agents, officers, employees, and volunteers (hereafter collectively called "City") from any liability, damages, claim, judgment, loss (direct or indirect), action, causes of action, or proceeding (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "Action") against the City to attack, set aside, void or annul this Approval or implementation of this Approval. The City may elect, in its sole discretion, to participate in the defense of said Action and the project applicant shall reimburse the City for its reasonable legal costs and attorneys' fees.
- b. Within ten (10) calendar days of the filing of any Action as specified in subsection (a) above, the project applicant shall execute a Joint Defense Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment, or invalidation of the Approval. Failure to timely execute the Letter of Agreement does not relieve the project applicant of any of the obligations contained in this Condition or other requirements or Conditions of Approval that may be imposed by the City.

9. Severability

The Approval would not have been granted but for the applicability and validity of each and every one of the specified Conditions, and if one or more of such Conditions is found to be invalid by a court of competent jurisdiction this Approval would not have been granted without requiring other valid Conditions consistent with achieving the same purpose and intent of such Approval.

10. Special Inspector/Inspections, Independent Technical Review, Project Coordination and Monitoring

The project applicant may be required to cover the full costs of independent third-party technical review and City monitoring and inspection, including without limitation, special inspector(s)/inspection(s) during times of extensive or specialized plan-check review or construction, and inspections of potential violations of the Conditions of Approval. The

project applicant shall establish a deposit with the Bureau of Building, if directed by the Building Official, Director of City Planning, or designee, prior to the issuance of a construction-related permit and on an ongoing as-needed basis.

11. Public Improvements

The project applicant shall obtain all necessary permits/approvals, such as encroachment permits, obstruction permits, curb/gutter/sidewalk permits, and public improvement (“p-job”) permits from the City for work in the public right-of-way, including but not limited to, streets, curbs, gutters, sidewalks, utilities, and fire hydrants. Prior to any work in the public right-of-way, the applicant shall submit plans for review and approval by the Bureau of Planning, the Bureau of Building, and other City departments as required. Public improvements shall be designed and installed to the satisfaction of the City.

12. Compliance Matrix

The project applicant shall submit a Compliance Matrix, in both written and electronic form, for review and approval by the Bureau of Planning and the Bureau of Building that lists each Condition of Approval (including each mitigation measure if applicable) in a sortable spreadsheet. The Compliance Matrix shall contain, at a minimum, each required Condition of Approval, when compliance with the Condition is required, and the status of compliance with each Condition. For multi-phased projects, the Compliance Matrix shall indicate which Condition applies to each phase. The project applicant shall submit the initial Compliance Matrix prior to the issuance of the first construction-related permit and shall submit an updated matrix upon request by the City.

13. Construction Management Plan

Prior to the issuance of the first construction-related permit, the project applicant and his/her general contractor shall submit a Construction Management Plan (CMP) for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments such as the Fire Department and the Public Works Department as directed. The CMP shall contain measures to minimize potential construction impacts including measures to comply with all construction-related Conditions of Approval (and mitigation measures if applicable) such as dust control, construction emissions, hazardous materials, construction days/hours, construction traffic control, waste reduction and recycling, stormwater pollution prevention, noise control, complaint management, and cultural resource management (see applicable Conditions below). The CMP shall provide project-specific information including descriptive procedures, approval documentation, and drawings (such as a site logistics plan, fire safety plan, construction phasing plan, proposed truck routes, traffic control plan, complaint management plan, construction worker parking plan, and litter/debris clean-up plan) that specify how potential construction impacts will be minimized and how each construction-related requirement will be satisfied throughout construction of the project.

14. Regulatory Permits and Authorizations from Other Agencies

Requirement: The project applicant shall obtain all necessary regulatory permits and authorizations from applicable resource/regulatory agencies including, but not limited to, the Regional Water Quality Control Board, Bay Area Air Quality Management District, Bay Conservation and Development Commission, California Department of Fish and Wildlife, U. S. Fish and Wildlife Service, and Army Corps of Engineers and shall comply with all requirements and conditions of the permits/authorizations. The project applicant shall submit evidence of the approved permits/authorizations to the City, along with evidence demonstrating compliance with any regulatory permit/authorization conditions of approval.

When Required: Prior to activity requiring permit/authorization from regulatory agency

Initial Approval: Approval by applicable regulatory agency with jurisdiction; evidence of approval submitted to Bureau of Planning

Monitoring/Inspection: Applicable regulatory agency with jurisdiction

15. Graffiti Control

Requirement:

- a. During construction and operation of the project, the project applicant shall incorporate best management practices reasonably related to the control of graffiti and/or the mitigation of the impacts of graffiti. Such best management practices may include, without limitation:
 - i. Installation and maintenance of landscaping to discourage defacement of and/or protect likely graffiti-attracting surfaces.
 - ii. Installation and maintenance of lighting to protect likely graffiti-attracting surfaces.
 - iii. Use of paint with anti-graffiti coating.
 - iv. Incorporation of architectural or design elements or features to discourage graffiti defacement in accordance with the principles of Crime Prevention Through Environmental Design (CPTED).
 - v. Other practices approved by the City to deter, protect, or reduce the potential for graffiti defacement.
- b. The project applicant shall remove graffiti by appropriate means within seventy-two (72) hours. Appropriate means include the following:
 - i. Removal through scrubbing, washing, sanding, and/or scraping (or similar method) without damaging the surface and without discharging wash water or cleaning detergents into the City storm drain system.
 - ii. Covering with new paint to match the color of the surrounding surface.
 - iii. Replacing with new surfacing (with City permits if required).

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

16. Landscape Plan

a. *Landscape Plan Required*

Requirement: The project applicant shall submit a final Landscape Plan for City review and approval that is consistent with the approved Landscape Plan. The Landscape Plan shall be included with the set of drawings submitted for the construction-related permit and shall comply with the landscape requirements of chapter 17.124 of the Planning Code.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: N/A

b. *Landscape Installation*

Requirement: The project applicant shall implement the approved Landscape Plan unless a bond, cash deposit, letter of credit, or other equivalent instrument acceptable to the Director of City Planning, is provided. The financial instrument shall equal the greater of \$2,500 or the estimated cost of implementing the Landscape Plan based on a licensed contractor's bid.

When Required: Prior to building permit final

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

c. *Landscape Maintenance*

Requirement: All required planting shall be permanently maintained in good growing condition and, whenever necessary, replaced with new plant materials to ensure continued compliance with applicable landscaping requirements. The property owner shall be responsible for maintaining planting in adjacent public rights-of-way. All required fences, walls, and irrigation systems shall be permanently maintained in good condition and, whenever necessary, repaired or replaced.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

17. Lighting

Requirement: Proposed new exterior lighting fixtures shall be adequately shielded to a point below the light bulb and reflector to prevent unnecessary glare onto adjacent properties.

When Required: Prior to building permit final

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

18. Construction-Related Air Pollution Controls (Dust and Equipment Emissions)

Requirement: The project applicant shall implement all of the following applicable air pollution control measures during construction of the project:

- a. Water all exposed surfaces of active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever feasible.
- b. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e., the minimum required space between the top of the load and the top of the trailer).
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. Pave all roadways, driveways, sidewalks, etc. within one month of site grading or as soon as feasible. In addition, building pads should be laid within one month of grading or as soon as feasible unless seeding or soil binders are used.
- e. Enclose, cover, water twice daily, or apply (non-toxic) soil stabilizers to exposed stockpiles (dirt, sand, etc.).
- f. Limit vehicle speeds on unpaved roads to 15 miles per hour.
- g. Idling times on all diesel-fueled commercial vehicles over 10,000 lbs. shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes (as required by the California airborne toxics control measure Title 13, Section 2485, of the California Code of Regulations). Clear signage to this effect shall be provided for construction workers at all access points.
- h. Idling times on all diesel-fueled off-road vehicles over 25 horsepower shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes and fleet operators must develop a written policy as required by Title 23, Section 2449, of the California Code of Regulations (“California Air Resources Board Off-Road Diesel Regulations”).
- i. All construction equipment shall be maintained and properly tuned in accordance with the manufacturer’s specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- j. Portable equipment shall be powered by electricity if available. If electricity is not available, propane or natural gas shall be used if feasible. Diesel engines shall only be used if electricity is not available and it is not feasible to use propane or natural gas.

19. Exposure to Air Pollution (Toxic Air Contaminants)

a. *Health Risk Reduction Measures*

Requirement: The project applicant shall incorporate appropriate measures into the project design in order to reduce the potential health risk due to exposure to toxic air contaminants. The project applicant shall choose one of the following methods:

- i. The project applicant shall retain a qualified air quality consultant to prepare a Health Risk Assessment (HRA) in accordance with California Air Resources Board (CARB) and Office of Environmental Health and Hazard Assessment requirements to determine the health risk of exposure of project

residents/occupants/users to air pollutants. The HRA shall be submitted to the City for review and approval. If the HRA concludes that the health risk is at or below acceptable levels, then health risk reduction measures are not required. If the HRA concludes that the health risk exceeds acceptable levels, health risk reduction measures shall be identified to reduce the health risk to acceptable levels. Identified risk reduction measures shall be submitted to the City for review and approval and be included on the project drawings submitted for the construction-related permit or on other documentation submitted to the City.

- or -

- ii. The project applicant shall incorporate the following health risk reduction measures into the project. These features shall be submitted to the City for review and approval and be included on the project drawings submitted for the construction-related permit or on other documentation submitted to the City:
- Installation of air filtration to reduce cancer risks and Particulate Matter (PM) exposure for residents and other sensitive populations in the project that are in close proximity to sources of air pollution. Air filter devices shall be rated MERV-13 or higher. As part of implementing this measure, an ongoing maintenance plan for the building's HVAC air filtration system shall be required.
 - Where appropriate, install passive electrostatic filtering systems, especially those with low air velocities (i.e., 1 mph).
 - Phasing of residential developments when proposed within 500 feet of freeways such that homes nearest the freeway are built last, if feasible.
 - The project shall be designed to locate sensitive receptors as far away as feasible from the source(s) of air pollution. Operable windows, balconies, and building air intakes shall be located as far away from these sources as feasible. If near a distribution center, residents shall be located as far away as feasible from a loading dock or where trucks concentrate to deliver goods.
 - Sensitive receptors shall be located on the upper floors of buildings, if feasible.
 - Planting trees and/or vegetation between sensitive receptors and pollution source, if feasible. Trees that are best suited to trapping PM shall be planted, including one or more of the following: Pine (*Pinus nigra* var. *maritima*), Cypress (*X Cupressocyparis leylandii*), Hybrid poplar (*Populus deltoids X trichocarpa*), and Redwood (*Sequoia sempervirens*).
 - Sensitive receptors shall be located as far away from truck activity areas, such as loading docks and delivery areas, as feasible.
 - Existing and new diesel generators shall meet CARB's Tier 4 emission standards, if feasible.
 - Emissions from diesel trucks shall be reduced through implementing the following measures, if feasible:
 - Installing electrical hook-ups for diesel trucks at loading docks.

- Requiring trucks to use Transportation Refrigeration Units (TRU) that meet Tier 4 emission standards.
- Requiring truck-intensive projects to use advanced exhaust technology (e.g., hybrid) or alternative fuels.
- Prohibiting trucks from idling for more than two minutes.
- Establishing truck routes to avoid sensitive receptors in the project. A truck route program, along with truck calming, parking, and delivery restrictions, shall be implemented.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

b. ***Maintenance of Health Risk Reduction Measures***

Requirement: The project applicant shall maintain, repair, and/or replace installed health risk reduction measures, including but not limited to the HVAC system (if applicable), on an ongoing and as-needed basis. Prior to occupancy, the project applicant shall prepare and then distribute to the building manager/operator an operation and maintenance manual for the HVAC system and filter including the maintenance and replacement schedule for the filter.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

20. **Tree Removal During Bird Breeding Season**

Requirement: To the extent feasible, removal of any tree and/or other vegetation suitable for nesting of birds shall not occur during the bird breeding season of February 1 to August 15 (or during December 15 to August 15 for trees located in or near marsh, wetland, or aquatic habitats). If tree removal must occur during the bird breeding season, all trees to be removed shall be surveyed by a qualified biologist to verify the presence or absence of nesting raptors or other birds. Pre-removal surveys shall be conducted within 15 days prior to the start of work and shall be submitted to the City for review and approval. If the survey indicates the potential presence of nesting raptors or other birds, the biologist shall determine an appropriately sized buffer around the nest in which no work will be allowed until the young have successfully fledged. The size of the nest buffer will be determined by the biologist in consultation with the California Department of Fish and Wildlife, and will be based to a large extent on the nesting species and its sensitivity to disturbance. In general, buffer sizes of 200 feet for raptors and 50 feet for other birds should suffice to prevent disturbance to birds nesting in the urban environment, but these buffers may be increased or decreased, as appropriate, depending on the bird species and the level of disturbance anticipated near the nest.

When Required: Prior to removal of trees

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

21. Archaeological and Paleontological Resources – Discovery During Construction

Requirement: Pursuant to CEQA Guidelines section 15064.5(f), in the event that any historic or prehistoric subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant shall notify the City and consult with a qualified archaeologist or paleontologist, as applicable, to assess the significance of the find. In the case of discovery of paleontological resources, the assessment shall be done in accordance with the Society of Vertebrate Paleontology standards. If any find is determined to be significant, appropriate avoidance measures recommended by the consultant and approved by the City must be followed unless avoidance is determined unnecessary or infeasible by the City. Feasibility of avoidance shall be determined with consideration of factors such as the nature of the find, project design, costs, and other considerations. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery, excavation) shall be instituted. Work may proceed on other parts of the project site while measures for the cultural resources are implemented.

In the event of data recovery of archaeological resources, the project applicant shall submit an Archaeological Research Design and Treatment Plan (ARDTP) prepared by a qualified archaeologist for review and approval by the City. The ARDTP is required to identify how the proposed data recovery program would preserve the significant information the archaeological resource is expected to contain. The ARDTP shall identify the scientific/historic research questions applicable to the expected resource, the data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. The ARDTP shall include the analysis and specify the curation and storage methods. Data recovery, in general, shall be limited to the portions of the archaeological resource that could be impacted by the proposed project. Destructive data recovery methods shall not be applied to portions of the archaeological resources if nondestructive methods are practicable. Because the intent of the ARDTP is to save as much of the archaeological resource as possible, including moving the resource, if feasible, preparation and implementation of the ARDTP would reduce the potential adverse impact to less than significant. The project applicant shall implement the ARDTP at his/her expense.

In the event of excavation of paleontological resources, the project applicant shall submit an excavation plan prepared by a qualified paleontologist to the City for review and approval. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by a qualified paleontologist, as appropriate, according to current professional standards and at the expense of the project applicant.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

22. Archaeologically Sensitive Areas – Pre-Construction Measures

Requirement: The project applicant shall implement either Provision A (Intensive Pre-Construction Study) or Provision B (Construction ALERT Sheet) concerning archaeological resources.

Provision A: Intensive Pre-Construction Study.

The project applicant shall retain a qualified archaeologist to conduct a site-specific, intensive archaeological resources study for review and approval by the City prior to soil-disturbing activities occurring on the project site. The purpose of the site-specific, intensive archaeological resources study is to identify early the potential presence of history-period archaeological resources on the project site. At a minimum, the study shall include:

- a. Subsurface presence/absence studies of the project site. Field studies may include, but are not limited to, auguring and other common methods used to identify the presence of archaeological resources.
- b. A report disseminating the results of this research.
- c. Recommendations for any additional measures that could be necessary to mitigate any adverse impacts to recorded and/or inadvertently discovered cultural resources.

If the results of the study indicate a high potential presence of historic-period archaeological resources on the project site, or a potential resource is discovered, the project applicant shall hire a qualified archaeologist to monitor any ground disturbing activities on the project site during construction and prepare an ALERT sheet pursuant to Provision B below that details what could potentially be found at the project site. Archaeological monitoring would include briefing construction personnel about the type of artifacts that may be present (as referenced in the ALERT sheet, required per Provision B below) and the procedures to follow if any artifacts are encountered, field recording and sampling in accordance with the Secretary of Interior's Standards and Guidelines for Archaeological Documentation, notifying the appropriate officials if human remains or cultural resources are discovered, and preparing a report to document negative findings after construction is completed if no archaeological resources are discovered during construction.

Provision B: Construction ALERT Sheet.

The project applicant shall prepare a construction "ALERT" sheet developed by a qualified archaeologist for review and approval by the City prior to soil-disturbing activities occurring on the project site. The ALERT sheet shall contain, at a minimum, visuals that depict each type of artifact that could be encountered on the project site. Training by the qualified archaeologist shall be provided to the project's prime contractor, any project subcontractor firms (including demolition, excavation, grading, foundation, and pile driving), and utility firms involved in soil-disturbing activities within the project site.

The ALERT sheet shall state, in addition to the basic archaeological resource protection measures contained in other standard conditions of approval, all work must stop and the City's Environmental Review Officer contacted in the event of discovery of the following cultural materials: concentrations of shellfish remains; evidence of fire (ashes, charcoal, burnt earth, fire-cracked rocks); concentrations of bones; recognizable Native American artifacts (arrowheads, shell beads, stone mortars [bowls], humanly shaped rock); building foundation remains; trash pits, privies (outhouse holes); floor remains; wells; concentrations of bottles, broken dishes, shoes, buttons, cut animal bones, hardware,

household items, barrels, etc.; thick layers of burned building debris (charcoal, nails, fused glass, burned plaster, burned dishes); wood structural remains (building, ship, wharf); clay roof/floor tiles; stone walls or footings; or gravestones. Prior to any soil-disturbing activities, each contractor shall be responsible for ensuring that the ALERT sheet is circulated to all field personnel, including machine operators, field crew, pile drivers, and supervisory personnel. The ALERT sheet shall also be posted in a visible location at the project site.

When Required: Prior to approval of construction-related permit; during construction

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

23. Human Remains – Discovery During Construction

Requirement: Pursuant to CEQA Guidelines section 15064.5(e)(1), in the event that human skeletal remains are uncovered at the project site during construction activities, all work shall immediately halt and the project applicant shall notify the City and the Alameda County Coroner. If the County Coroner determines that an investigation of the cause of death is required or that the remains are Native American, all work shall cease within 50 feet of the remains until appropriate arrangements are made. In the event that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of section 7050.5 of the California Health and Safety Code. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance, and avoidance measures (if applicable) shall be completed expeditiously and at the expense of the project applicant.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

24. Construction-Related Permit(s)

Requirement: The project applicant shall obtain all required construction-related permits/approvals from the City. The project shall comply with all standards, requirements and conditions contained in construction-related codes, including but not limited to the Oakland Building Code and the Oakland Grading Regulations, to ensure structural integrity and safe construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

25. Hazardous Materials Related to Construction

Requirement: The project applicant shall ensure that Best Management Practices (BMPs) are implemented by the contractor during construction to minimize potential negative effects on groundwater, soils, and human health. These shall include, at a minimum, the following:

- a. Follow manufacture's recommendations for use, storage, and disposal of chemical products used in construction;
- b. Avoid overtopping construction equipment fuel gas tanks;
- c. During routine maintenance of construction equipment, properly contain and remove grease and oils;
- d. Properly dispose of discarded containers of fuels and other chemicals;
- e. Implement lead-safe work practices and comply with all local, regional, state, and federal requirements concerning lead (for more information refer to the Alameda County Lead Poisoning Prevention Program); and
- f. If soil, groundwater, or other environmental medium with suspected contamination is encountered unexpectedly during construction activities (e.g., identified by odor or visual staining, or if any underground storage tanks, abandoned drums or other hazardous materials or wastes are encountered), the project applicant shall cease work in the vicinity of the suspect material, the area shall be secured as necessary, and the applicant shall take all appropriate measures to protect human health and the environment. Appropriate measures shall include notifying the City and applicable regulatory agency(ies) and implementation of the actions described in the City's Standard Conditions of Approval, as necessary, to identify the nature and extent of contamination. Work shall not resume in the area(s) affected until the measures have been implemented under the oversight of the City or regulatory agency, as appropriate.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

26. Site Contamination

a. ***Environmental Site Assessment Required***

Requirement: The project applicant shall submit a Phase I Environmental Site Assessment report, and Phase II Environmental Site Assessment report if warranted by the Phase I report, for the project site for review and approval by the City. The report(s) shall be prepared by a qualified environmental assessment professional and include recommendations for remedial action, as appropriate, for hazardous materials. The project applicant shall implement the approved recommendations and submit to the City evidence of approval for any proposed remedial action and required clearances by the applicable local, state, or federal regulatory agency.

When Required: Prior to approval of construction-related permit

Initial Approval: Oakland Fire Department

Monitoring/Inspection: Oakland Fire Department

b. ***Health and Safety Plan Required***

Requirement: The project applicant shall submit a Health and Safety Plan for the review and approval by the City in order to protect project construction workers from risks associated with hazardous materials. The project applicant shall implement the approved Plan.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

c. ***Best Management Practices (BMPs) Required for Contaminated Sites***

Requirement: The project applicant shall ensure that Best Management Practices (BMPs) are implemented by the contractor during construction to minimize potential soil and groundwater hazards. These shall include the following:

- i. Soil generated by construction activities shall be stockpiled on-site in a secure and safe manner. All contaminated soils determined to be hazardous or non-hazardous waste must be adequately profiled (sampled) prior to acceptable reuse or disposal at an appropriate off-site facility. Specific sampling and handling and transport procedures for reuse or disposal shall be in accordance with applicable local, state, and federal requirements.
- ii. Groundwater pumped from the subsurface shall be contained on-site in a secure and safe manner, prior to treatment and disposal, to ensure environmental and health issues are resolved pursuant to applicable laws and policies. Engineering controls shall be utilized, which include impermeable barriers to prohibit groundwater and vapor intrusion into the building.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

27. **Source Control Measures to Limit Stormwater Pollution**

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant is encouraged to incorporate appropriate source control measures to limit pollution in stormwater runoff. These measures may include, but are not limited to, the following:

- a. Stencil storm drain inlets “No Dumping – Drains to Bay;”
- b. Minimize the use of pesticides and fertilizers;
- c. Cover outdoor material storage areas, loading docks, repair/maintenance bays and fueling areas;
- d. Cover trash, food waste, and compactor enclosures; and
- e. Plumb the following discharges to the sanitary sewer system, subject to City approval:

- f. Discharges from indoor floor mats, equipment, hood filter, wash racks, and, covered outdoor wash racks for restaurants;
- g. Dumpster drips from covered trash, food waste, and compactor enclosures;
- h. Discharges from outdoor covered wash areas for vehicles, equipment, and accessories;
- i. Swimming pool water, if discharge to on-site vegetated areas is not feasible; and
- j. Fire sprinkler test water, if discharge to on-site vegetated areas is not feasible.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: N/A

28. NPDES C.3 Stormwater Requirements for Small Projects

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant shall incorporate one or more of the following site design measures into the project:

- a. Direct roof runoff into cisterns or rain barrels for reuse;
- b. Direct roof runoff onto vegetated areas;
- c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas;
- d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas;
- e. Construct sidewalks, walkways, and/or patios with permeable surfaces; or
- f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces.

The project drawings submitted for construction-related permits shall include the proposed site design measure(s) and the approved measure(s) shall be installed during construction. The design and installation of the measure(s) shall comply with all applicable City requirements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

29. Construction Days/Hours

Requirement: The project applicant shall comply with the following restrictions concerning construction days and hours:

- a. Construction activities are limited to between 7:00 a.m. and 7:00 p.m. Monday through Friday, except that pier drilling and/or other extreme noise generating activities greater than 90 dBA shall be limited to between 8:00 a.m. and 4:00 p.m.
- b. Construction activities are limited to between 9:00 a.m. and 5:00 p.m. on Saturday. In residential zones and within 300 feet of a residential zone, construction activities are allowed from 9:00 a.m. to 5:00 p.m. only within the interior of the building with the

- c. doors and windows closed. No pier drilling or other extreme noise generating activities greater than 90 dBA are allowed on Saturday.
- d. No construction is allowed on Sunday or federal holidays.

Construction activities include, but are not limited to, truck idling, moving equipment (including trucks, elevators, etc.) or materials, deliveries, and construction meetings held on-site in a non-enclosed area.

Any construction activity proposed outside of the above days and hours for special activities (such as concrete pouring which may require more continuous amounts of time) shall be evaluated on a case-by-case basis by the City, with criteria including the urgency/emergency nature of the work, the proximity of residential or other sensitive uses, and a consideration of nearby residents'/occupants' preferences. The project applicant shall notify property owners and occupants located within 300 feet at least 14 calendar days prior to construction activity proposed outside of the above days/hours. When submitting a request to the City to allow construction activity outside of the above days/hours, the project applicant shall submit information concerning the type and duration of proposed construction activity and the draft public notice for City review and approval prior to distribution of the public notice.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

30. Construction Noise

Requirement: The project applicant shall implement noise reduction measures to reduce noise impacts due to construction. Noise reduction measures include, but are not limited to, the following:

- a. Equipment and trucks used for project construction shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures and acoustically-attenuating shields or shrouds) wherever feasible.
- b. **Except as provided herein,** impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for project construction shall be hydraulically or electrically powered to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler can lower noise levels from the exhaust by up to about 10 dBA. External jackets on the tools themselves shall be used, **if such jackets are commercially available,** and this could achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever **such procedures are available and consistent with construction procedures.**
- c. Applicant shall use temporary power poles instead of generators where feasible.
- d. Stationary noise sources shall be located as far from adjacent properties as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation

- e. barriers, or use other measures **as determined by the City to provide equivalent noise reduction.**
- f. **The** noisiest phases of construction shall be limited to less than 10 days at a time. **Exceptions may be allowed if the City determines an extension is necessary and all available noise reduction controls are implemented.**

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

31. **Extreme Construction Noise**

a. ***Construction Noise Management Plan Required***

Requirement: Prior to any extreme noise generating construction activities (e.g., pier drilling, pile driving and other activities generating greater than 90dBA), the project applicant shall submit a Construction Noise Management Plan prepared by a qualified acoustical consultant for City review and approval that contains a set of site-specific noise attenuation measures to further reduce construction impacts associated with extreme noise generating activities. The project applicant shall implement the approved Plan during construction. Potential attenuation measures **include, but are not limited to, the following:**

- i. Erect temporary plywood noise barriers around the construction site, particularly along on sites adjacent to residential buildings;
- ii. Implement “quiet” pile driving technology (such as pre-drilling of piles, the use of more than one pile driver to shorten the total pile driving duration), where feasible, in consideration of geotechnical and structural requirements and conditions;
- iii. Utilize noise control blankets on the building structure as the building is erected to reduce noise emission from the site;
- iv. Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings by the use of sound blankets for example **and implement such measure if such measures are feasible and would noticeably reduce noise impacts;** and
- v. Monitor the effectiveness of noise attenuation measures by taking noise measurements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

b. ***Public Notification Required***

Requirement: The project applicant shall notify property owners and occupants located within 300 feet of the construction activities at least 14 calendar days prior to commencing extreme noise generating activities. Prior to providing the notice, the project applicant shall submit to the City for review and approval the proposed type and duration of extreme noise generating activities and the proposed public notice. The public notice shall provide the

estimated start and end dates of the extreme noise generating activities and describe noise attenuation measures to be implemented.

When Required: During construction

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

32. Project-Specific Construction Noise Reduction Measures

Requirement: The project applicant shall submit a Construction Noise Management Plan prepared by a qualified acoustical consultant for City review and approval that contains a set of site-specific noise attenuation measures to further reduce construction noise impacts. The project applicant shall implement the approved Plan during construction

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

33. Construction Noise Complaints

Requirement: The project applicant shall submit to the City for review and approval a set of procedures for responding to and tracking complaints received pertaining to construction noise, and shall implement the procedures during construction. At a minimum, the procedures shall include:

- a. Designation of an on-site construction complaint and enforcement manager for the project;
- b. A large on-site sign near the public right-of-way containing permitted construction days/hours, complaint procedures, and phone numbers for the project complaint manager and City Code Enforcement unit;
- c. Protocols for receiving, responding to, and tracking received complaints; and
- d. Maintenance of a complaint log that records received complaints and how complaints were addressed, which shall be submitted to the City for review upon the City's request.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

34. Exposure to Community Noise

Requirement: The project applicant shall submit a Noise Reduction Plan prepared by a qualified acoustical engineer for City review and approval that contains noise reduction measures (e.g., sound-rated window, wall, and door assemblies) to achieve an acceptable interior noise level in accordance with the land use compatibility guidelines of the Noise Element of the Oakland General Plan. The applicant shall implement the approved Plan during construction. To the maximum extent practicable, interior noise levels shall not exceed the following:

- a. 45 dBA: Residential activities, civic activities, hotels
- b. 50 dBA: Administrative offices; group assembly activities
- c. 55 dBA: Commercial activities
- d. 65 dBA: Industrial activities

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

35. Operational Noise

Requirement: Noise levels from the project site after completion of the project (i.e., during project operation) shall comply with the performance standards of chapter 17.120 of the Oakland Planning Code and chapter 8.18 of the Oakland Municipal Code. If noise levels exceed these standards, the activity causing the noise shall be abated until appropriate noise reduction measures have been installed and compliance verified by the City.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

36. Exposure to Vibration

Requirement: The project applicant shall submit a Vibration Reduction Plan prepared by a qualified acoustical consultant for City review and approval that contains vibration reduction measures to reduce groundborne vibration to acceptable levels per Federal Transit Administration (FTA) standards. The applicant shall implement the approved Plan during construction. Potential vibration reduction measures include, but are not limited to, the following:

- a. Isolation of foundation and footings using resilient elements such as rubber bearing pads or springs, such as a “spring isolation” system that consists of resilient spring supports that can support the podium or residential foundations. The specific system shall be selected so that it can properly support the structural loads, and provide adequate filtering of groundborne vibration to the residences above.
- b. Trenching, which involves excavating soil between the railway and the project so that the vibration path is interrupted, thereby reducing the vibration levels before they enter the project’s structures. Since the reduction in vibration level is based on a ratio between trench depth and vibration wavelength, additional measurements shall be conducted to determine the vibration wavelengths affecting the project. Based on the resulting measurement findings, an adequate trench depth and, if required, suitable fill shall be identified (such as foamed styrene packing pellets [i.e., Styrofoam] or low-density polyethylene).

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

37. Construction Activity in the Public Right-of-Way

a. *Obstruction Permit Required*

Requirement: The project applicant shall obtain an obstruction permit from the City prior to placing any temporary construction-related obstruction in the public right-of-way, including City streets and sidewalks.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

b. *Traffic Control Plan Required*

Requirement: In the event of obstructions to vehicle or bicycle travel lanes, the project applicant shall submit a Traffic Control Plan to the City for review and approval prior to obtaining an obstruction permit. The project applicant shall submit evidence of City approval of the Traffic Control Plan with the application for an obstruction permit. The Traffic Control Plan shall contain a set of comprehensive traffic control measures for auto, transit, bicycle, and pedestrian detours, including detour signs if required, lane closure procedures, signs, cones for drivers, and designated construction access routes. The project applicant shall implement the approved Plan during construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Public Works Department, Transportation Services Division

Monitoring/Inspection: Bureau of Building

c. *Repair of City Streets*

Requirement: The project applicant shall repair any damage to the public right-of way, including streets and sidewalks caused by project construction at his/her expense within one week of the occurrence of the damage (or excessive wear), unless further damage/excessive wear may continue; in such case, repair shall occur prior to approval of the final inspection of the construction-related permit. All damage that is a threat to public health or safety shall be repaired immediately.

When Required: Prior to building permit final

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

38. Bicycle Parking

Requirement: The project applicant shall comply with the City of Oakland Bicycle Parking Requirements (chapter 17.118 of the Oakland Planning Code). The project drawings submitted for construction-related permits shall demonstrate compliance with the requirements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

39. Construction and Demolition Waste Reduction and Recycling

Requirement: The project applicant shall comply with the City of Oakland Construction and Demolition Waste Reduction and Recycling Ordinance (chapter 15.34 of the Oakland Municipal Code) by submitting a Construction and Demolition Waste Reduction and Recycling Plan (WRRP) for City review and approval, and shall implement the approved WRRP. Projects subject to these requirements include all new construction, renovations/alterations/modifications with construction values of \$50,000 or more (except R-3 type construction), and all demolition (including soft demolition) except demolition of type R-3 construction. The WRRP must specify the methods by which the project will divert construction and demolition debris waste from landfill disposal in accordance with current City requirements. The WRRP may be submitted electronically at www.greenhalosystems.com or manually at the City's Green Building Resource Center. Current standards, FAQs, and forms are available on the City's website and in the Green Building Resource Center.

When Required: Prior to approval of construction-related permit

Initial Approval: Public Works Department, Environmental Services Division

Monitoring/Inspection: Public Works Department, Environmental Services Division

40. Underground Utilities

Requirement: The project applicant shall place underground all new utilities serving the project and under the control of the project applicant and the City, including all new gas, electric, cable, and telephone facilities, fire alarm conduits, street light wiring, and other wiring, conduits, and similar facilities. The new facilities shall be placed underground along the project's street frontage and from the project structures to the point of service. Utilities under the control of other agencies, such as PG&E, shall be placed underground if feasible. All utilities shall be installed in accordance with standard specifications of the serving utilities.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

41. Recycling Collection and Storage Space

Requirement: The project applicant shall comply with the City of Oakland Recycling Space Allocation Ordinance (chapter 17.118 of the Oakland Planning Code). The project drawings submitted for construction-related permits shall contain recycling collection and storage areas in compliance with the Ordinance. For residential projects, at least two cubic feet of storage and collection space per residential unit is required, with a minimum of ten cubic feet. For nonresidential projects, at least two cubic feet of storage and collection space per 1,000 square feet of building floor area is required, with a minimum of ten cubic feet.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

42. Green Building Requirements

a. Compliance with Green Building Requirements During Plan-Check

Requirement: The project applicant shall comply with the requirements of the California Green Building Standards (CALGreen) mandatory measures and the applicable requirements of the City of Oakland Green Building Ordinance (chapter 18.02 of the Oakland Municipal Code).

- i. The following information shall be submitted to the City for review and approval with the application for a building permit:
 - Documentation showing compliance with Title 24 of the current version of the California Building Energy Efficiency Standards.
 - Completed copy of the final green building checklist approved during the review of the Planning and Zoning permit.
 - Copy of the Unreasonable Hardship Exemption, if granted, during the review of the Planning and Zoning permit.
 - Permit plans that show, in general notes, detailed design drawings, and specifications as necessary, compliance with the items listed in subsection (ii) below.
 - Copy of the signed statement by the Green Building Certifier approved during the review of the Planning and Zoning permit that the project complied with the requirements of the Green Building Ordinance.
 - Signed statement by the Green Building Certifier that the project still complies with the requirements of the Green Building Ordinance, unless an Unreasonable Hardship Exemption was granted during the review of the Planning and Zoning permit.
 - Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.
- ii. The set of plans in subsection (i) shall demonstrate compliance with the following:
 - CALGreen mandatory measures.
 - All pre-requisites per the green building checklist approved during the review of the Planning and Zoning permit, or, if applicable, all the green building measures approved as part of the Unreasonable Hardship Exemption granted during the review of the Planning and Zoning permit.
 - per the appropriate checklist approved during the Planning entitlement process.
 - All green building points identified on the checklist approved during review of the Planning and Zoning permit, unless a Request for Revision Plan-check

- application is submitted and approved by the Bureau of Planning that shows the previously approved points that will be eliminated or substituted.
- The required green building point minimums in the appropriate credit categories.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

b. ***Compliance with Green Building Requirements During Construction***

Requirement: The project applicant shall comply with the applicable requirements of CALGreen and the Oakland Green Building Ordinance during construction of the project.

The following information shall be submitted to the City for review and approval:

- i. Completed copies of the green building checklists approved during the review of the Planning and Zoning permit and during the review of the building permit.
- ii. Signed statement(s) by the Green Building Certifier during all relevant phases of construction that the project complies with the requirements of the Green Building Ordinance.
- iii. Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

c. ***Compliance with Green Building Requirements After Construction***

Requirement: Within sixty (60) days of the final inspection of the building permit for the project, the Green Building Certifier shall submit the appropriate documentation to and attain the minimum required certification/point level. Within one year of the final inspection of the building permit for the project, the applicant shall submit to the Bureau of Planning the Certificate from the organization listed above demonstrating certification and compliance with the minimum point/certification level noted above.

When Required: After project completion as specified

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

43. **Sanitary Sewer System**

Requirement: The project applicant shall prepare and submit a Sanitary Sewer Impact Analysis to the City for review and approval in accordance with the City of Oakland Sanitary Sewer Design Guidelines. The Impact Analysis shall include an estimate of pre-project and post-project wastewater flow from the project site. In the event that the Impact Analysis indicates that the net increase in project wastewater flow exceeds City-projected increases in wastewater flow in the sanitary sewer system, the project applicant shall pay the

Sanitary Sewer Impact Fee in accordance with the City's Master Fee Schedule for funding improvements to the sanitary sewer system.

When Required: Prior to approval of construction-related permit

Initial Approval: Public Works Department, Department of Engineering and Construction

Monitoring/Inspection: N/A

44. Storm Drain System

Requirement: The project storm drainage system shall be designed in accordance with the City of Oakland's Storm Drainage Design Guidelines. To the maximum extent practicable, peak stormwater runoff from the project site shall be reduced by at least 25 percent compared to the pre-project condition.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

Site Specific Conditions of Approval

45. Window and Door Details.

Prior to issuance of building permit.

The applicant shall submit to the Planning and Zoning Division for review and approval, a window and door schedule, including cross-sections and elevations, and final architectural details of the front and side elevations.

46. Meter Shielding.

Prior to issuance of building permits.

The applicant shall submit for review and approval by the Planning and Zoning Division, plans showing the location of any and all utility meters, transformers, and the like located within a box set within the building, located on a non-street facing elevation, or screened from view from any public right of way.

47. Street Trees.

Prior to issuance of building permit.

The applicant shall provide street trees in front of the building on 26th Street (2 Street trees) with review and approval of species, size at time of planting, and placement in the right-of-way, subject to review and approval by the Planning and Building Department.



HYER ARCHITECTURE

263 amherst avenue
kensington ca 94708
510.527.1915 [t,f]

26th St. Renovation
1112 26th St.
Oakland, CA 94703

Date:	5.8.16	DESIGN REVIEW CUP
Detail:	PERSPECTIVE	
Drawn by:	pfn	



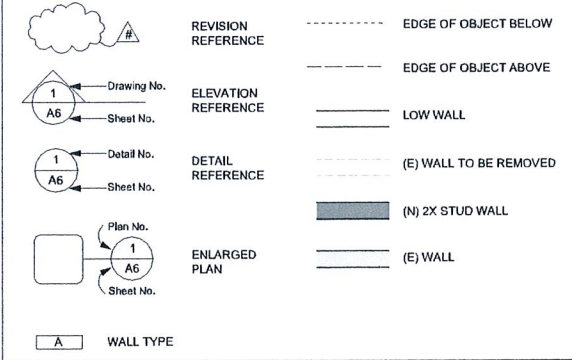
GENERAL NOTES

- It is intended that the work described on these drawings comply with all applicable codes and ordinances. The Contractor shall not proceed with any work that is non-compliant.
- This project shall comply with 2013 California Building Code, 2013 California Mechanical Code, 2013 California Electrical Code, 2013 California Plumbing Code, as amended by the city of Oakland, and 2013 California Energy Code.
- All work shall be compliant with the contract documents. Any non-compliant work shall be removed at the Contractor's sole expense.
- The Contractor shall not make any changes in the work without a change order that has been approved by the Owner and the Architect.
- The term "work" shall mean all materials, labor and equipment necessary to erect a fully functional and complete building, including all incidental tasks and items that are required but not shown on the drawings or described in the specifications.
- Examination of the site and portions thereof which will affect the Contractor's work shall be made by the Contractor, who shall compare it with the drawings and satisfy themselves as to the conditions under which the work is to be performed. The Contractor shall, at such time, ascertain and check all existing conditions and dimensions which may affect the work. No allowance shall subsequently be made for the failure or neglect on the Contractor's part to make such examination. Any conflicts or omissions, etc., shall be reported to the Architect and Owner prior to start of work.
- Do not scale the drawings. Coordinate all work with the dimensions shown on the drawings. Notify the Architect and Owner immediately upon the discovery of a dimensional inconsistency on the drawings. Do not proceed with the work until the discrepancy has been resolved.
- All dimensions to face of stud unless otherwise noted
- Written dimensions and notes take precedence over scaled dimensions and line drawings.
- The drawings are a complementary set. What is shown and required on one drawing is applicable to all other drawings whether shown or referenced on the other drawings or not including the structural drawings. Notify the Architect and Owner of any inconsistencies between the drawings immediately upon discovery. Do not proceed with the work involved until the Architect has provided a written clarification regarding the discrepancy.
- Errors, omissions or inconsistencies in the data contained in any of the schedules, in the specifications, or on the drawings do not relieve the Contractor from the obligation to complete the work in a fully functional manner. It is the Contractor's responsibility to obtain clarifications and additional information as may be required to complete the work.
- The Contractor shall always be required to furnish the greater quality, the higher quality, or the largest extent of work that may be interpreted from any of the drawings, schedules, notes or specification sections. When in doubt, request a clarification before ordering the material in question.
- When the term "furnish" is used, it shall also require the installation of the product or system. When the term "install" is used, it shall also require Contractor to furnish the item, unless it is specifically shown and described as an Owner furnished item in these documents.
- Any substitutions proposed for use by the Contractor shall be included as an alternate to the bid. No substitutions shall be allowed after the contract has been signed except as authorized and approved by a written Change Order.
- It is the Contractor's responsibility to order the specified or owner selected materials or equipment in a timely manner. Failure to do so shall not be justification for a material substitution or a schedule extension.
- All workmanship shall be of the highest quality, and shall be approved by the Owner and Architect. Any work not approved shall be removed and replaced at the Contractor's sole cost.
- The Contractor shall furnish all temporary heat, electric power, gas and potable water that may be required to complete the work.
- The Contractor shall provide a waste container on site and shall remove waste from the workplace regularly. The waste container shall be replaced as necessary. Place the waste container in a location approved by the Owner.
- The Contractor shall be responsible for removing left over materials, debris, tools, and equipment involved at the conclusion of the installation. The Contractor shall leave all areas clean and in perfect condition. All fixtures and reusable materials to be removed are to be stored and disposed of per the Owner's direction.
- Verify all dimensions, site conditions and grades at the job site before proceeding with the work. Notify the Architect and Owner of any discrepancies immediately upon discovery.
- Verify all locations and opening sizes of required for utilities and equipment. Coordinate the work of all trades to avoid any conflicts.
- Provide all necessary personnel, equipment, and temporary barricades to protect the public during excavation work. Protect structures, sidewalks, pavement, fences, benches and facilities within or adjacent to the construction site from damage due to settlement, undermining, washout, or other hazards created during earthwork operations. Maintain benchmarks, monuments, and other reference points. Repair broken or cracked sidewalk curb and gutter damage due to earthwork.
- Verify all anchorage requirements and install all required backing, blocking and support whether or not it is shown on the drawings.
- Cutting of any fabricated structural members on the job site shall not be permitted. Obtain the Architect and Structural Engineer's written permission prior to making any site modifications to structural members, fabrications or assemblies.
- The Contractor shall maintain a safe worksite at all times. Provide temporary barriers, safety railings, shoring and supports as may be required. Provide temporary lighting systems and maintain safe exit ways at all times during work hours. Provide temporary fire extinguishing equipment as required.
- The Contractor shall install all permanent emergency lighting, exit lighting, lighted exit signs and fire extinguishers as required by these documents, and as approved by the local fire marshal.
- All work furnished by the Contractor shall be covered by a one-year warranty. The warranty shall begin on the day the final occupancy certificate is issued by the permitting authority. Any failure in function or appearance shall be corrected to the Owner's satisfaction, including the complete replacement of the product or system.

PROJECT SUMMARY

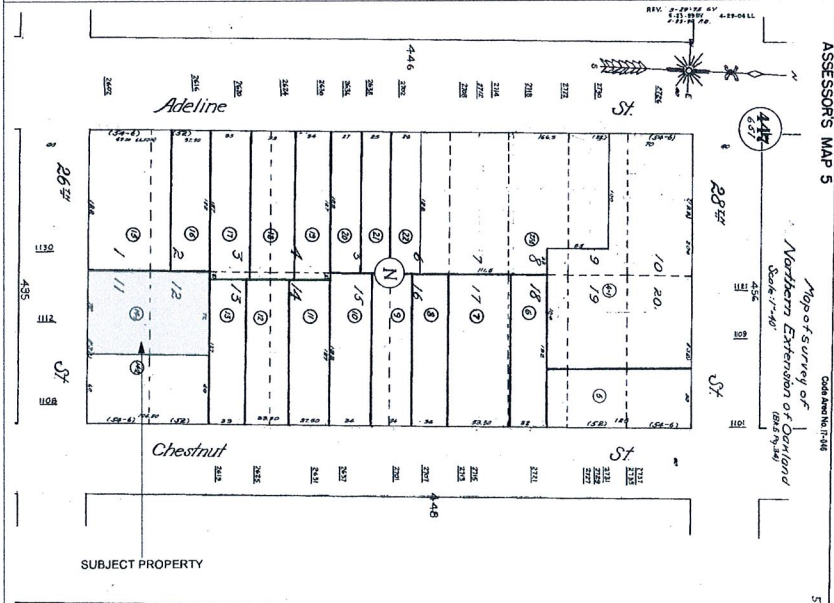
Create 2-2 bedroom and 1-1 bedroom apartment and 1 commercial office space in (E) building. (N) windows in existing openings, (N) exterior siding, (N) shading devices and trellises. (E) building is a congrate housing facility with ground floor office space.

GRAPHIC SYMBOLS



ABBREVIATIONS

ABV	ABOVE	FRP	FIBERGLASS REINFORCED PANEL
ADJ	ADJACENT	FO	FACE OF
AFF	ABOVE FINISHED FLOOR	GA	GAUGE
AP	ACCESS PANEL	GC	GENERAL CONTRACTOR
ACT	ACOUSTICAL CEILING TILE	GL	GLAZING, GLASS
A/C	AIR CONDITIONING	GSM	GALVANIZED SHEET METAL
ALT	ALTERNATE	GYP	GYPSUM
ARCH	ARCHITECT(URAL)	GWB	GYPSUM WALL BOARD
BLKG	BLOCKING	HDWR	HARDWARE
BD	BOARD	HORIZ	HORIZONTAL
BOT	BOTTOM	INT	INTERIOR
BLDG	BUILDING	INSUL	INSULATION
CLR	CLEAR	KEC	KITCHEN EQUIPMENT CONTRACTOR
CLG	CEILING	MAX	MAXIMUM
CONC	CONCRETE	MECH	MECHANICAL
COL	COLUMN	MIN	MINIMUM
CPT	CARPET	MTRL	MATERIAL
CMU	CONCRETE MASONRY UNIT	MTL	METAL
CONST	CONSTRUCTION	(N)	NEW
CG	CORNER GUARD	NIC	NOT IN CONTRACT
DET	DETAIL	NTS	NOT TO SCALE
DJAM	DIAMETER	OV	OVER
DIM	DIMENSION	O.C.	ON CENTER
DR	DOOR	O.S.C.L.	OWNER SUPPLIED, CONTRACTOR INSTALLED
DWG	DRAWING	PRO	PROVIDED BY OWNER
DF	DRINKING FOUNTAIN	PLAM	PLASTIC LAMINATE
DISP	DISPENSER	PLYWD	PLYWOOD
(E), EX	EXISTING	REF	REFRIGERATOR
EA	EACH	REG	REGISTER
EL., ELEV	ELEVATION	RD	ROUGH OPENING
ELECT	ELECTRICAL	SEC	SECTION
EP	ELECTRICAL PANELBOARD	SHT	SHEET
EPS	EXPANDED POLYSTYRENE	SIM	SIMILAR
EWC	ELECTRIC WATER COOLER	SQ	SQUARE
EQ	EQUAL	SS	STAINLESS STEEL
EXT	EXTERIOR	SSD	SEE STRUCTURAL DRAWINGS
FBO	FURNISHED BY OTHERS	TBD	TO BE DETERMINED
FF	FINISHED FLOOR	TYP	TYPICAL
FT	FEET	UON	UNLESS OTHERWISE NOTED
FLR	FLOOR	VIF	VERIFY IN FIELD
FLOUR	FLOURESCENT	WSCOT	WAINSCOT
FOF	FACE OF FINISH	WH	WATER HEATER
FOS	FACE OF STUD		
FIN	FINISH(ED)		
FSEC	FOOD SERVICE EQUIP. CONTRACTOR		



1 ASSESSOR'S MAP

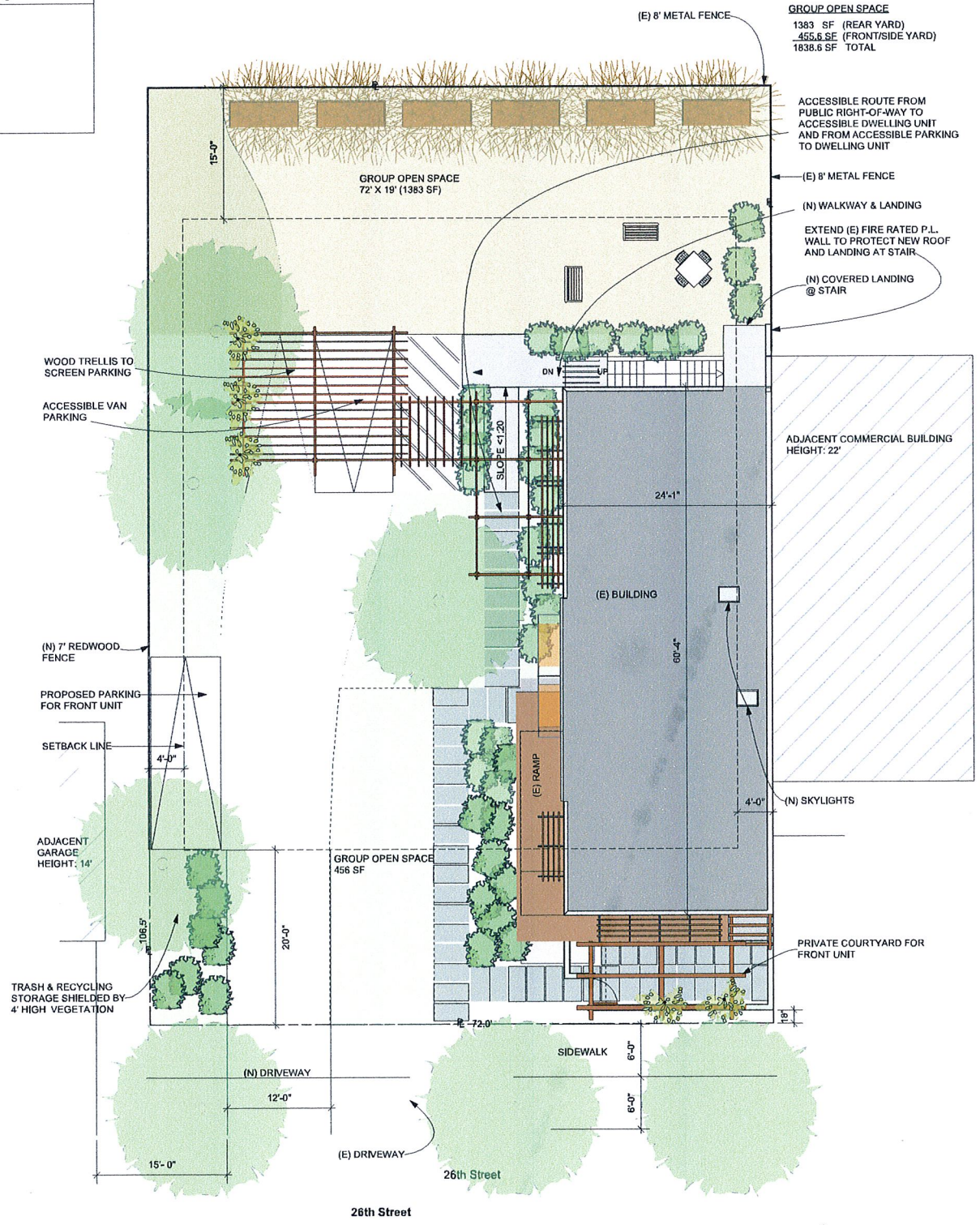
PROJECT DATA

Address:	1112 26th Street
Assessor Parcel Number:	5 447 14 1
Zoning:	RM 2
Occupancy:	CURRENT: R1, B PROPOSED: R2, B
Type of Construction:	VB NC
Number of Stories:	2 NC
Parking:	0 3
Fire Sprinklers:	no NC
Total Lot Area:	7668 sf NC
Total Building Footprint Area:	1453 sf NC
Total Floor Area:	2868.8 sf NC
Building Height:	22'3" NC
Number of Dwelling Units:	congrate housing 3

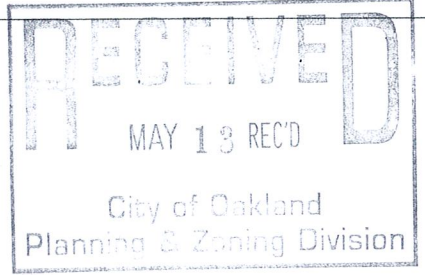
DRAWING INDEX

A1.0	(P) Site Plan, General Notes, Project Info
A1.1	(E) Site Plan, Floorplan and Exterior Elevations
A1.2	(P) Landscape Plan
A2.0	(P) Floor Plan
A3.0	(P) Exterior Elevations

ATTACHMENT A



2 (P) SITE PLAN
Scale: 1/8" = 1'-0"



Issue	Date
DESIGN REVIEW SET	---
BUILDING PERMIT SET	---
BUILDING PERMIT REVISIONS SET	---

HYER ARCHITECTURE
263 amherst avenue
kensington ca 94708
510.527.1915 [t.f.]



26th STREET RENOVATION
1112 26th Street
Oakland, CA

SITE PLAN VICINITY MAP NOTES	
Date	05.08.16
Issue	CUP DESIGN REVIEW
Drawn by	FLH, PFN
Sheet	A1.0

Issue	Date
DESIGN REVIEW SET	---
ASB SET No 1	---
BUILDING PERMIT SET	---
BUILDING PERMIT REVISIONS SET	---

HYER ARCHITECTURE
 263 amherst avenue
 kensington ca 94708
 510.527.1915 [t.f.]

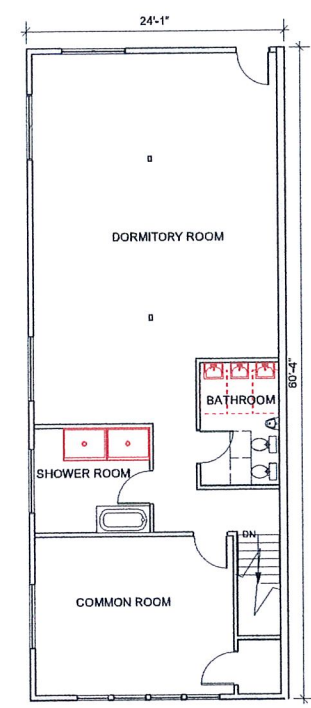


PIPESPY RENOVATION
 1112 26th Street
 Oakland, CA

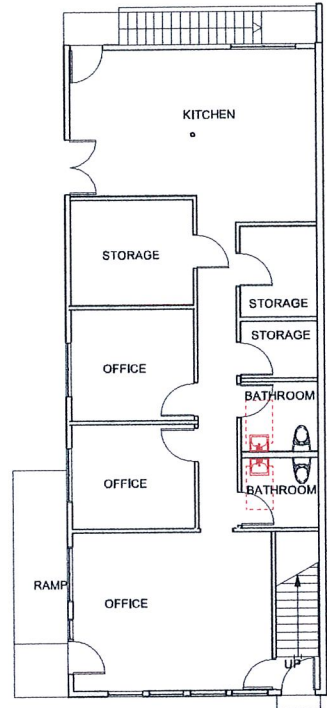
AS BUILT
 SITEPLAN
 FLOORPLANS
 ELEVATIONS

Date	5.8.16
Issue	CUP DESIGN REVIEW
Drawn by	FLH, PFN
Sheet	

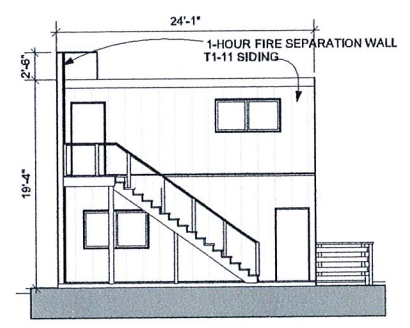
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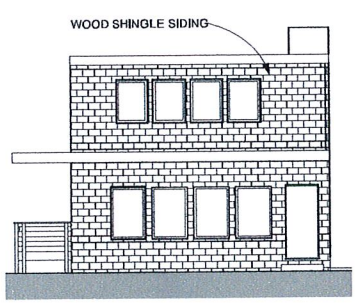
4 (E) UPPER LEVEL FLOORPLAN
 Scale: 1/8" = 1'-0"



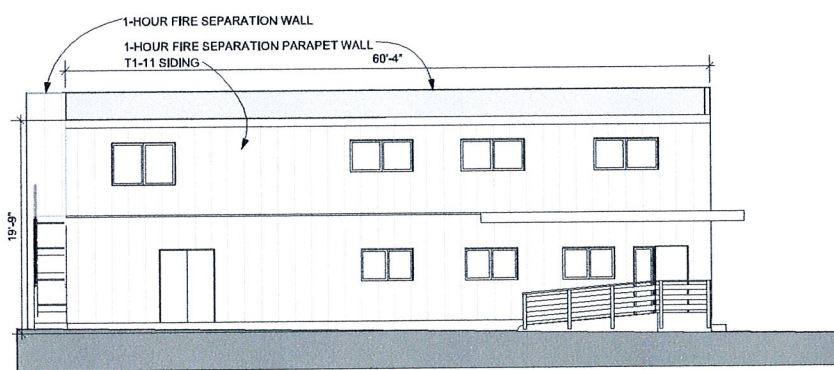
5 (E) LOWER LEVEL FLOORPLAN
 Scale: 1/8" = 1'-0"



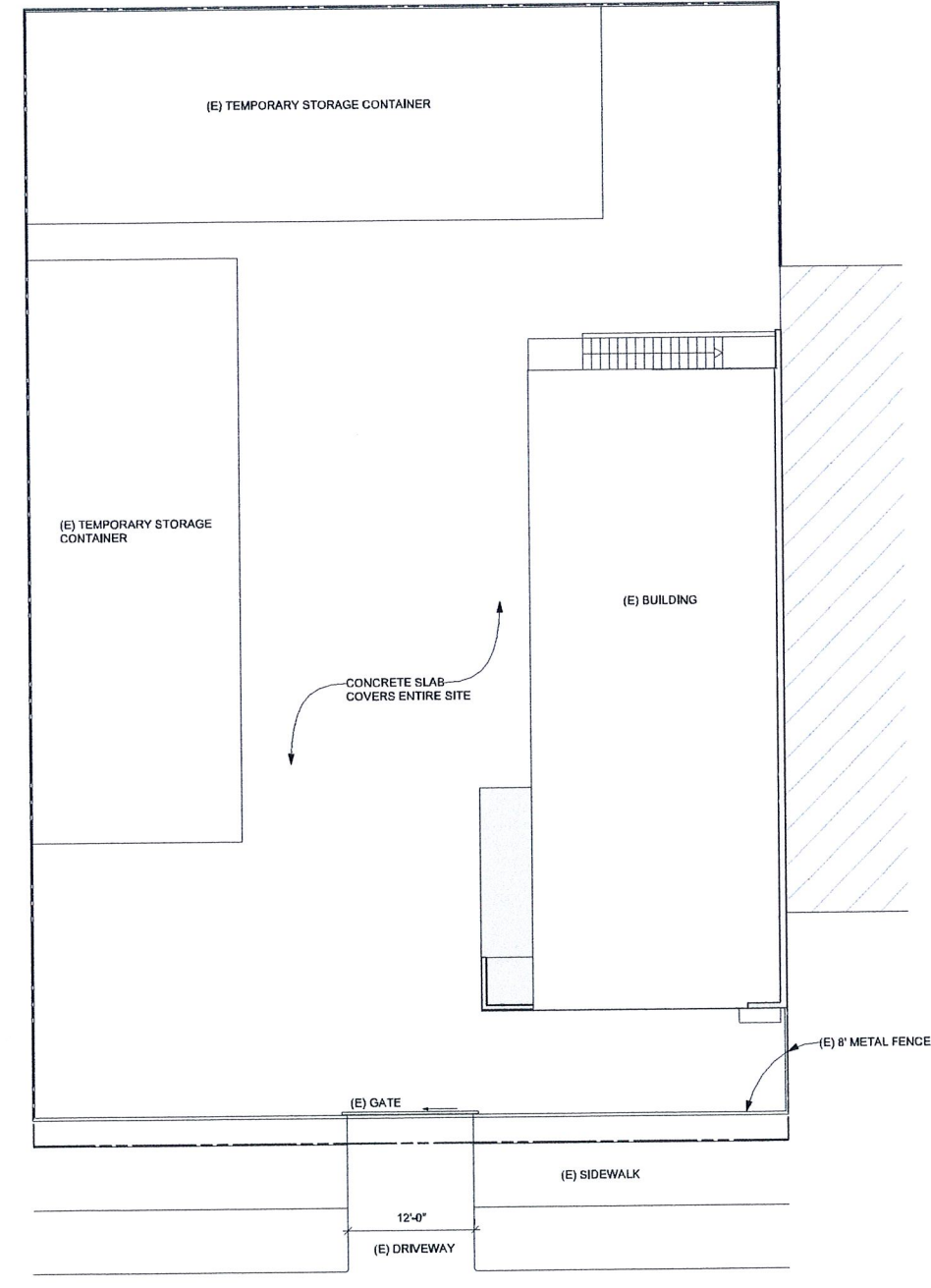
1 (E) REAR (NORTH) ELEVATION
 Scale: 1/8" = 1'-0"



2 (E) FRONT ELEVATION
 Scale: 1/8" = 1'-0"



3 (E) WEST ELEVATION
 Scale: 1/8" = 1'-0"



6 (E) SITE PLAN
 Scale: 1/8" = 1'-0"

Issue	Date
DESIGN REVIEW SET	---
BUILDING PERMIT SET	---
BUILDING PERMIT REVISION SET	---

HYER ARCHITECTURE
 263 amherst avenue
 Kensington ca 94708
 510.527.1915 (t.f.)

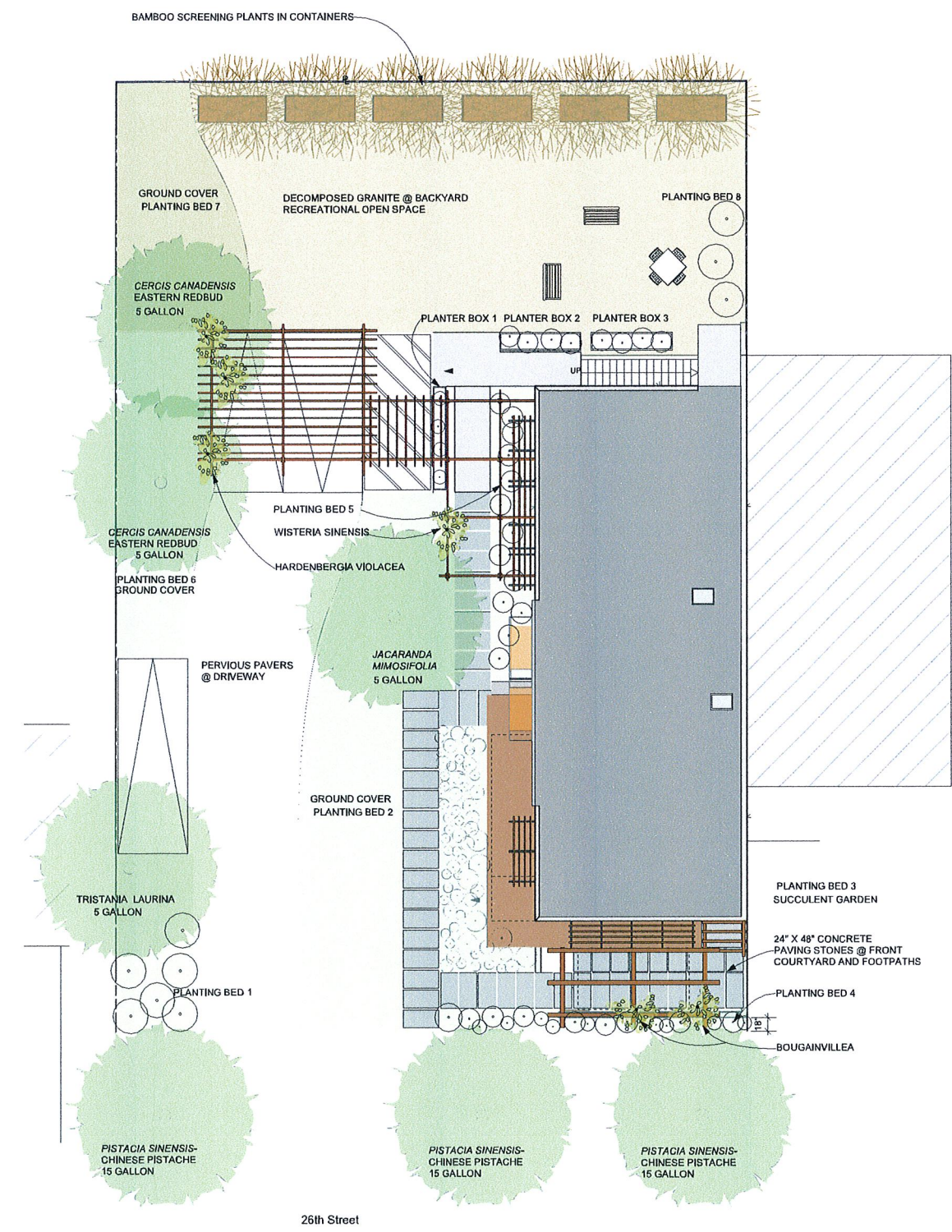


26th STREET RENOVATION
 1112 26th Street
 Oakland, CA

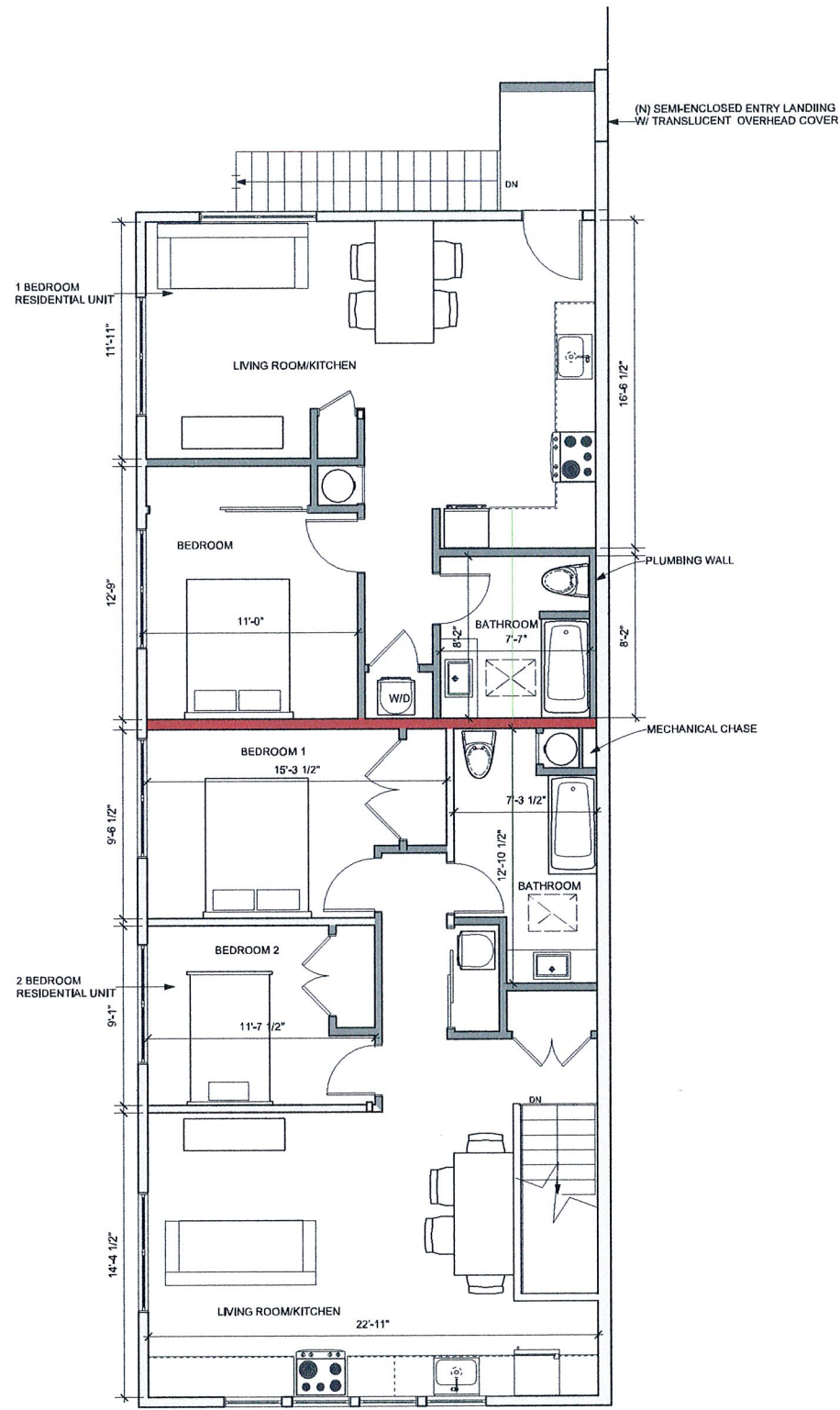
LANDSCAPE PLAN	
Date	05.08.16
Issue	CUP DESIGN REVIEW
Drawn by	FLH, PFN
Sheet	A1.2

KEY

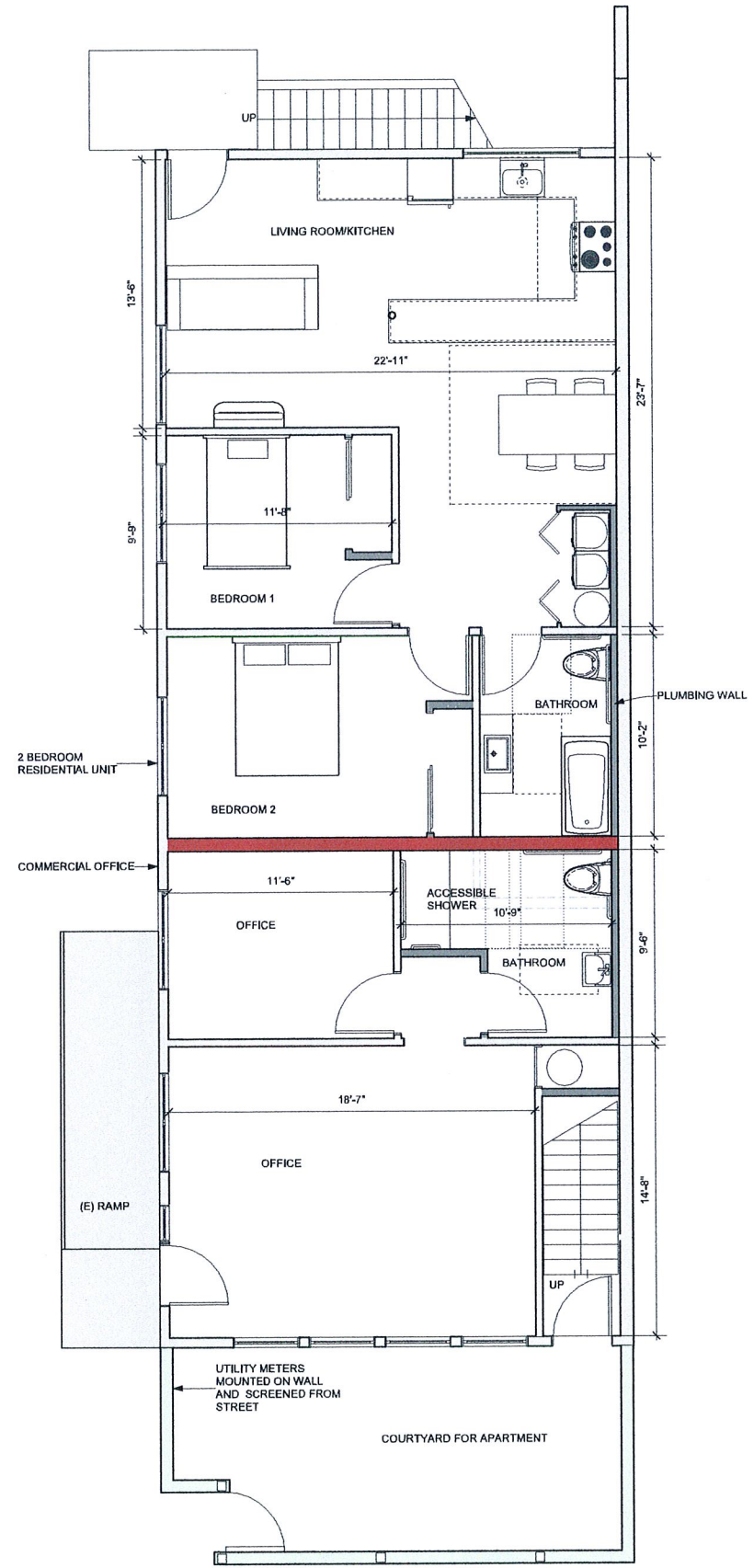
- PLANTING BED 1**
FATSEDERA LIZEI 5 GALLON
GREVILLEA "SUPERB" 5 GALLON
COTINUS COGGYRIA "GOLDEN SPIRIT" 5 GALLON
- PLANTING BEDS 2, 6, 7 GROUND COVERS: (FLATS)**
THYMUS POLYTRICHUS BRITANNICUS "COCCINEUM"
SANTOLINA CHAMAECYPARISSUS "LAVENDER COTTON"
AJUGA REPTENS
- PLANTING BED 3-SUCCULENT GARDEN: (FLATS & 4")**
SEDUM SPATHULIFOLIUM "CAPE BLANCO"
SEDUM TELEPHIUM
SEMPERVIVUM TECTORUM "HENS AND CHICKENS"
ALOE "BLUE ELF"
AGAVE "BLUE GLOW"
KALANCHOE
- PLANTING BED 4**
ARTEMESIA ALBULA "SILVER KING" 1 GALLON
LAVENDULA AUGUSTIFOLIA 1 GALLON
SANTOLINA CHAMAECYPARISSUS "LAVENDER COTTON" 1 GALLON
GYSOPHILA REPENS ROSEA 1 GALLON
- PLANTING BED 5**
PHORMIUM TENAX ATROPURPUREA 5 GALLON
ARIGOSANTHOS "KANGAROO PAW" 5 GALLON
LAVENDULA AUGUSTIFOLIA 1 GALLON
EUPHORBIA CHARACIAS 1 GALLON
- PLANTING BED 8**
PITTIOSPORUM CRASSIFOLIUM 5 GALLON
- PLANTER BOX 1**
LEMON "IMPROVED MEYER" 1 GALLON
- PLANTER BOX 2 & 3**
COLOCASIA ESCULENTA "BLACK MAGIC" 1 GALLON
ABUTILON MEGAPOTAMICUM 1 GALLON
GYSOPHILA REPENS ROSEA 1 GALLON
ROSMARINUS OFFICINALIS "ROSEMARY" 1 GALLON



2 (P) LANDSCAPE PLAN
 Scale: 1/8" = 1'-0"



1 (P) Upper Level Floorplan
Scale: 1/4" = 1'-0"



2 (P) Lower Level Floorplan
Scale: 1/4" = 1'-0"



Issue	Date
DESIGN REVIEW SET	---
BUILDING PERMIT SET	---
BUILDING PERMIT REVISIONS SET	---

HYER ARCHITECTURE
 263 AMHERST AVENUE
 KAPISANO CA 94708
 510.527.1915 [t.f.]



26th STREET RENOVATION
 1112 26th Street
 Oakland, CA

PROPOSED FLOORPLANS

Date 05.08.16

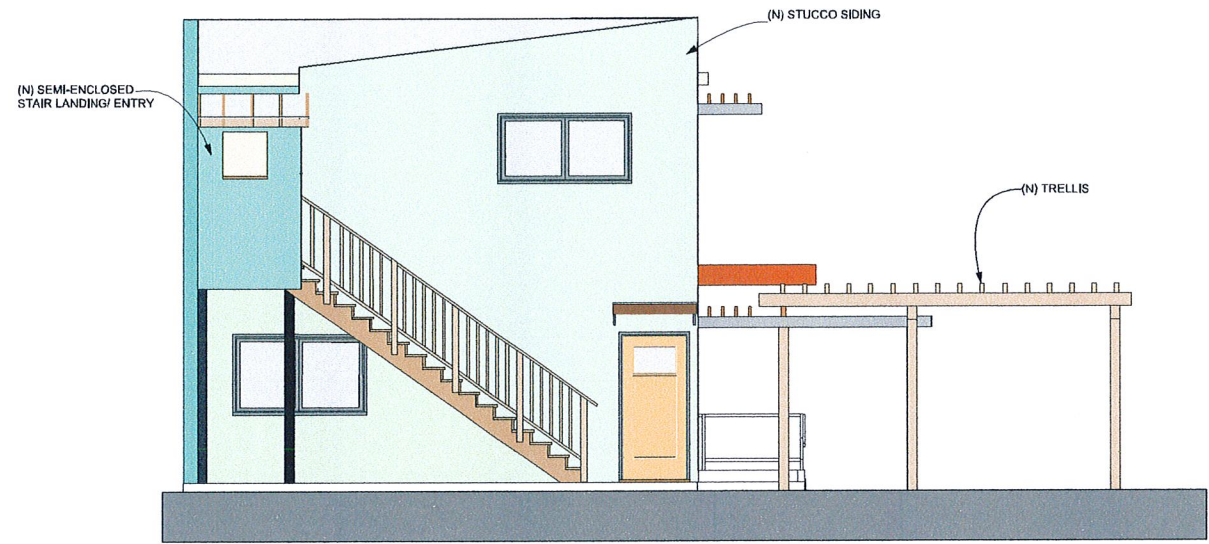
Issue CUP DESIGN REVIEW

Drawn by FLH, PFN

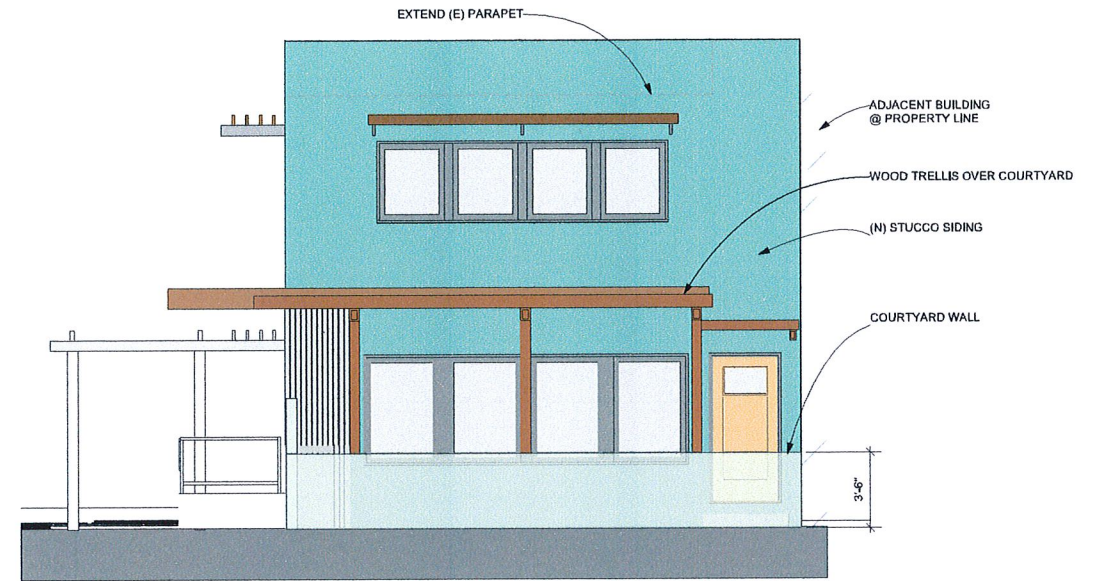
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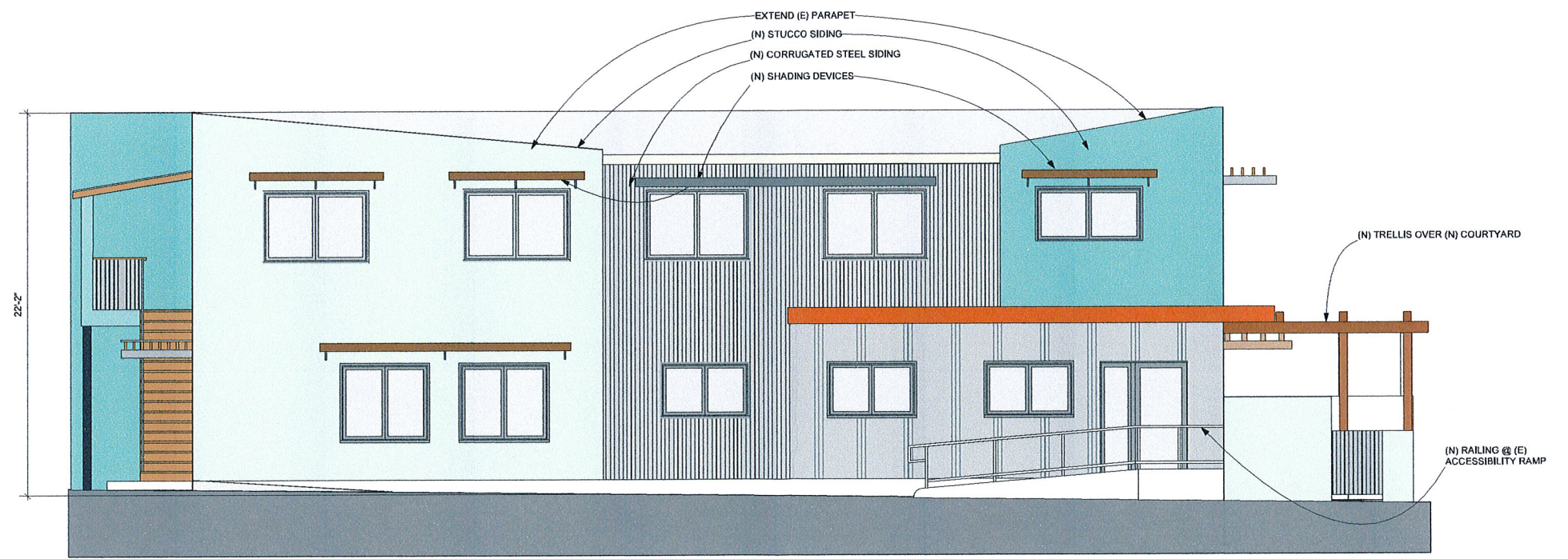
Issue	Date
DESIGN REVIEW SET	--
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BUILDING PERMIT SET	--
BUILDING PERMIT REVISION SET	--



1 (P) REAR (NORTH) ELEVATION
Scale: 1/4" = 1'-0"



2 (P) FRONT ELEVATION
Scale: 1/4" = 1'-0"



3 (P) WEST ELEVATION
Scale: 1/4" = 1'-0"

HYER ARCHITECTURE
263 amherst avenue
kensington ca 94708
510.527.1915 (t.f.)



26th STREET RENOVATION
1112 26th Street
Oakland, CA

PROPOSED
EXTERIOR
ELEVATIONS

Date 05.08.16
Issue CUP
DESIGN REVIEW
Drawn by FLH, PFN
Sheet

A 3.0

ATTACHMENT B



**1112 26TH ST
SUBJECT PROPERTY
REAR ELEVATION**



1112 26TH ST
SUBJECT PROPERTY
WEST ELEVATION



1130 26 TH ST



SUBJECT PROPERTY
1112 26TH ST