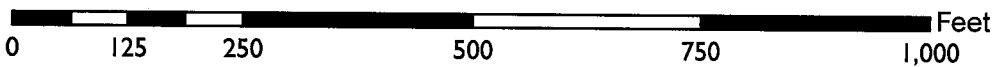
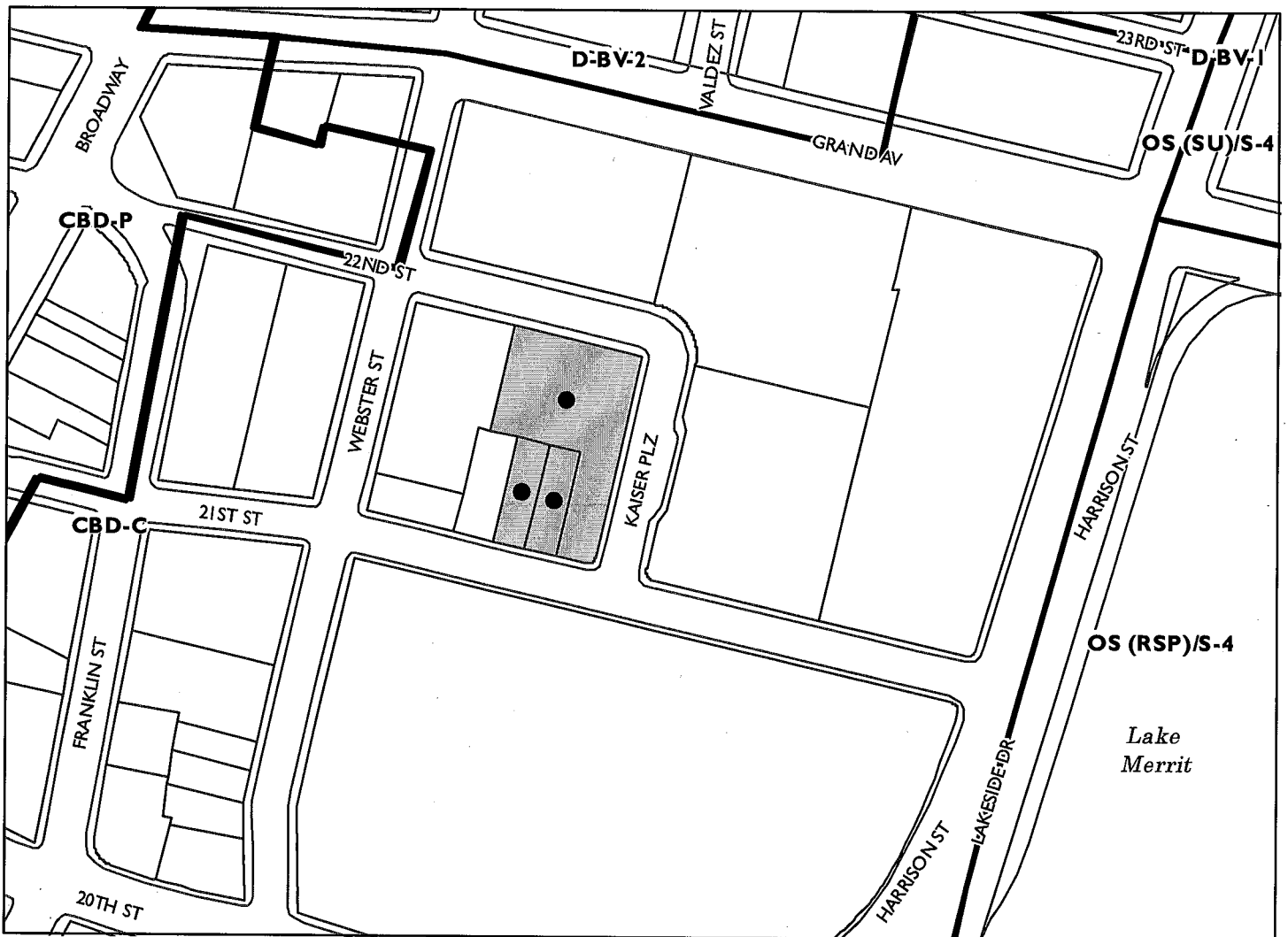


Location:	325-22nd Street (APNs 008 065300800, -0900, -1501).
Proposal:	Highrise commercial and office building
Applicant:	CIM Group, Sean Buran: p: (323) 860-1811
Owner:	CIM Group
Planning Permits Required:	Design Review, Major CUP.
General Plan:	Central Business District
Zoning:	CBD-C (Central Business District Commercial Zone)
Environmental Determination:	To Be Determines
Historic Status:	None (surface parking lot).
Service Delivery District:	Metro
City Council District:	3 – Lynette Gibson McElhaney
Action to be Taken:	Conduct design review
Finality of Decision:	NA (Design review, only; No action will be taken at this meeting)
For further information:	Contact case planner Catherine Payne at 510-238-6168 or by e-mail at cpayne@oaklandnet.com

SUMMARY

The purpose of this report is to solicit design review input regarding a proposed highrise commercial office building proposed at 325-22nd Street. The proposed project, known as “2 Kaiser Plaza” includes two options: Option A is 600,000 square feet and 250 feet tall; and the Option B is 1.1 million square feet and 450 feet tall. Both options include office above-ground floor office and commercial uses, parking, and ground-floor active uses. The options are very similar to one another in terms of land uses, exterior treatments, and massing and articulation. The project site is currently occupied by surface parking.

CITY OF OAKLAND PLANNING COMMISSION



Case File: ZPI60061
Applicant: CIM Group
Address: 325 22nd St (2 Kaiser Plaza)
Zone: CBC-C

PROJECT SITE AND SURROUNDING AREA

The proposed site is located at 325-22nd Street, in the heart of Oakland's Central Business District. The project site is currently a surface parking lot. Uses immediately adjacent to the site include: an office building across 22nd Street to the north; The Cathedral of Christ the Light across 22nd Street to the northeast; the Ordway Building (currently the tallest building in Oakland, at 404 feet tall) across Kaiser Plaza to the east; the Kaiser Building and Kaiser Rooftop Garden to the south; and office buildings to the west. The project site is within one-quarter mile of Lake Merritt to the east and the Uptown District to the west, and is within walking distance of Oakland's Chinatown to the south.

PROJECT BACKGROUND

CIM Group (applicant) submitted a preapplication and application for environmental review for the proposed project in Summer 2016. The applicant is seeking early design review input from the DRC for a large project in order to finesse the design prior to consideration by the Planning Commission at a future date.

PROJECT DESCRIPTION

CIM Group (the applicant) has proposed construction of a commercial development on an approximately 44,615-square-foot (sf) site at the corner of 21st Street and Kaiser Plaza in Oakland, California. The applicant is proposing to develop one of two options for the office building, as detailed below. Regardless of the option selected for development, many components would be the same for the Project.

Project Elements Common to Both Options

The existing parking lot would be removed under both options and be replaced by a commercial building consisting of three main sections: ground floor retail and lobby, podium-level parking with a commercial apron, and the office tower. The lobby and service areas would be the same for both options, but the size of the office tower and amount of parking would differ by Project option as described below. The total building footprint would be approximately 37,993 sf and the ground floor would occupy 85% of the lot surface area.

Vehicular site access would be provided via 22nd Street, which would lead to the on-site parking garage and loading dock. Pedestrian access to the retail uses would be from the corner of 22nd Street and Kaiser Plaza and 21st Street. Pedestrians would access the office lobby from 21st Street and Kaiser Plaza.

Project Option A

Project Option A would entail the development of an approximately 597,965 sf commercial building. The building would consist of 19 stories composed of ground floor retail, three levels

of podium parking, and office space. The parking garage would accommodate approximately 181 parking spaces under Option A.

Project Option B

Project Option B would entail the development of an approximately 1,116,398 sf commercial building. The building would consist of 34 stories composed of ground floor retail, five levels of podium parking, and office space. The parking garage would accommodate approximately 342 parking spaces under Option B.

The following table is a side-by-side comparison of the two options under consideration:

Table 1. Development Summary, Project Options A and B

Description	Option A	Option B
Total Site Area	44,615 sf (1.02 acre)	same as Option A
Site Coverage	37,993 sf (85% lot cover)	same as Option A
Gross Floor Area	597,965 sf	1,116,398 sf
Total Parking Area	121,480 sf	200,785 sf
Retail Space	7,396 sf	same as Option A
Lobby	10,156 sf	same as Option A
Gross Office Space	438,389 sf	877,522 sf
Net Rentable Area	408,027 sf	820,027 sf
Net Usable Area	364,639 sf	736,190 sf
Building Height	250 feet to roof	450 feet to roof
Podium Height	44 feet	69 feet
Number of Building Levels	19	34
Number of Parking Spaces	181 spaces commercial	342 spaces commercial

GENERAL PLAN ANALYSIS

The Oakland General Plan designates the site and vicinity as Central Business District (CBD). The intent of the CBD classification is to encourage, support, and enhance the downtown area as a high-density, mixed-use urban center of regional importance. The CBD classification includes a mix of large-scale offices, commercial, urban high-rise residential, institutional, open space, cultural, educational, arts, entertainment, service, community facilities, and visitor uses. The proposed office tower complies with and supports the intent of the district in which it would be located.

ZONING ANALYSIS

The site is zoned as Central Business District General Commercial Zone (CBD-C), which is intended to create, maintain, and enhance areas of the Central Business District appropriate for a wide range of ground-floor retail, office, and commercial uses. Upper-story spaces are encouraged to support additional residential, office, and other commercial activities. The Project site is also within Height Area 7. Height Area 7 designates a maximum podium height of 120 feet and no maximum building height. The proposed highrise commercial office project generally supports the uses and design principles supported by the underlying zoning regulations. The following zoning analysis table provides analysis of compliance with specific zoning regulations:

Zoning Analysis Table (includes only applicable regulations):

Development Standard	Applicable Regulations		Compliance Analysis	
	CBD-C/Ht. Area 7	Option A		Option B
Land Use	General Food Sales, Full Service Restaurants, Limited Service Restaurants and Café, General Retail Sales, Consultative and Financial Service	General Food Sales, Full Service Restaurants, Limited Service Restaurants and Café, General Retail Sales, Consultative and Financial Service	General Food Sales, Full Service Restaurants, Limited Service Restaurants and Café, General Retail Sales, Consultative and Financial Service	Complies
Facility	Enclosed Non-Residential	Enclosed Non-Residential	Enclosed Non-Residential	Complies
FAR	20.0	0'	0'	Complies
Front Yard	5' max	0'	0'	Complies
Interior Side Yard	0'	0'	0'	Complies
Rear Yard	0'	0'	0'	Complies
Ground Floor Transparency	55%	85%	85%	Complies
Minimum height of ground floor	15'	25'	25'	Complies
Height	120' max building	250'	450'	

	base; No max ht. limit			
Lot Coverage	Base: 100% Above 120' base: 85% or 10,000 sf (whichever is greater)	85-100%	85-100%	Complies
Parking	0	181	342	Complies
Loading	Up to 300 k sf: 2 + 300k sf: +1	2	2	Minor variance required for one loading space
Bicycle Parking (long-term)	Restaurant/retail: 1/12 k sf	NA	NA	TBD
	Consultative: 1/20 k sf	NA	NA	TBD
Bicycle Parking (short-term)	Restaurant/retail: 1/5 k sf (2 min.)	NA	NA	TBD
	Consultative: 1/20 k sf	NA	NA	TBD
Recycling Space	2cf/1 k sf	NA	NA	TBD
Special Regulations for Large-Scale Developments				
17.101G.070		No development which involves more than 100,000 square feet of new floor area shall be permitted except upon the granting of a conditional use permit. As such, the project is subject to a major CUP.		

ISSUES

The proposed building is visually interesting and attractive. Although the building includes large floor plates to maximize square footage, the massing has been sculpted to reduce the appearance of bulk. In addition, the building is well-articulated to create visual interest and further break down building mass. The exterior treatments are elegant and high-quality. The parking has an apron of active uses facing 21st Street, resulting in continuous active uses from grade to the top of the building on the south side of the building. Although the building does not have a traditional base, middle and top, the massing and articulation break the massing into vertical and horizontal components.

Staff concerns include the following:

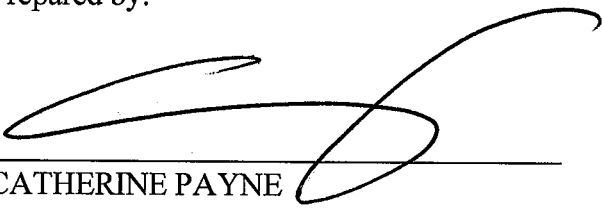
- Options: Overall, staff believes that Option B, at 450 feet tall, has a more elegant, refined mass that supports the success of the Central Business District as a densely developed, vibrant commercial center. Option A, at 250 feet tall, appears bulky and squat when compared to Option B. That said, both options are generally well-designed.

- **Inactive Space:** The north side of the building, facing 22nd Street, includes extensive “back-of-house” uses including a driveway to the on-site parking, an adjacent wide driveway and loading area, and utility access. This area is not activated and does not contribute to a vibrant streetscape on 22nd Street. However, staff understands that these utilitarian uses need to be located somewhere and prefers they be located away from 21st Street and Kaiser Plaza. In addition, the project does provide a retail access point at the corner of 22nd Street and Kaiser Plaza to mitigate the inactive frontage on 22nd Street.
- **Parking:** Parking is not required at this location, in part due to proximity to the 19th Street BART station and a general interest in discouraging single-occupancy automobile commutes. This project proposes a substantial amount of on-site parking. Although the plans provide an apron of active uses fronting the garage on 21st Street, the garage continues to be a presence in the base of the building along Kaiser Plaza and 22nd Street. The project can provide parking; however, the parking and driveway to the parking contribute to dead space and lack of activation on Kaiser Plaza and 22nd Street, as noted above.
- **Exterior Treatment:** The proposed project includes extensive glazing, a dramatic cantilever soffit and vertical articulation. These components are critical to the success of the building design. The applicant should provide extensive and complete information about the exterior materials as the design progresses. Staff is particularly interested in maximizing vision glass and overall transparency and ensuring that the opaque materials complement the glazing in terms of texture and color.
- **Active Uses:** It should be noted that this project has thoughtfully activated the base of the building facing 21st Street. The plans include an apron of active uses fronting the parking on the south side of the building. In addition, the first three floors are each 25 feet floor-to-floor (resulting in 75 vertical feet of active space). This results in extensive bright, light, activated space supporting the vibrancy of the street level. The primary building entrance includes generous transparency and openness and includes a groundplane scheme that extends from within the building into the sidewalk. In general, the 21st Street frontage is very successful.

RECOMMENDATION

Staff generally finds the project to be thoughtfully designed. In general, Option B, the taller building, has a more elegant mass, appearing tall and slender. Option A appears more massive and bulky. That said, staff believes both options are responsive to conditions on each side of the building, are sculpted and articulated to break down bulk, have a unified and well-communicated design approach, include extensive transparency, and rely on high-quality materials and detailing. Staff requests the Design Review Committee review and comment on both proposed options.

Prepared by:



CATHERINE PAYNE
Planner IV

Approved for forwarding to the
Design Review Committee:

Robert D. Merkamp
Development Planning Manager

Attachments:

A. Proposed Project Plans



SOLOMON CORDWELL BUENZ

2 KAISER PLAZA CIM

DEVELOPMENT REVIEW SUBMITTAL

02 - 10 - 2017

CIM





FROM NORTH



FROM EAST



FROM SOUTH



FROM WEST

ASSESSOR'S MAP 8

Code Area Nos. 17-022

WVF

653

SCALE: 1" = 100'

MAP OF PORTION OF PROPERTY OF HARMON ESTATE 16/27

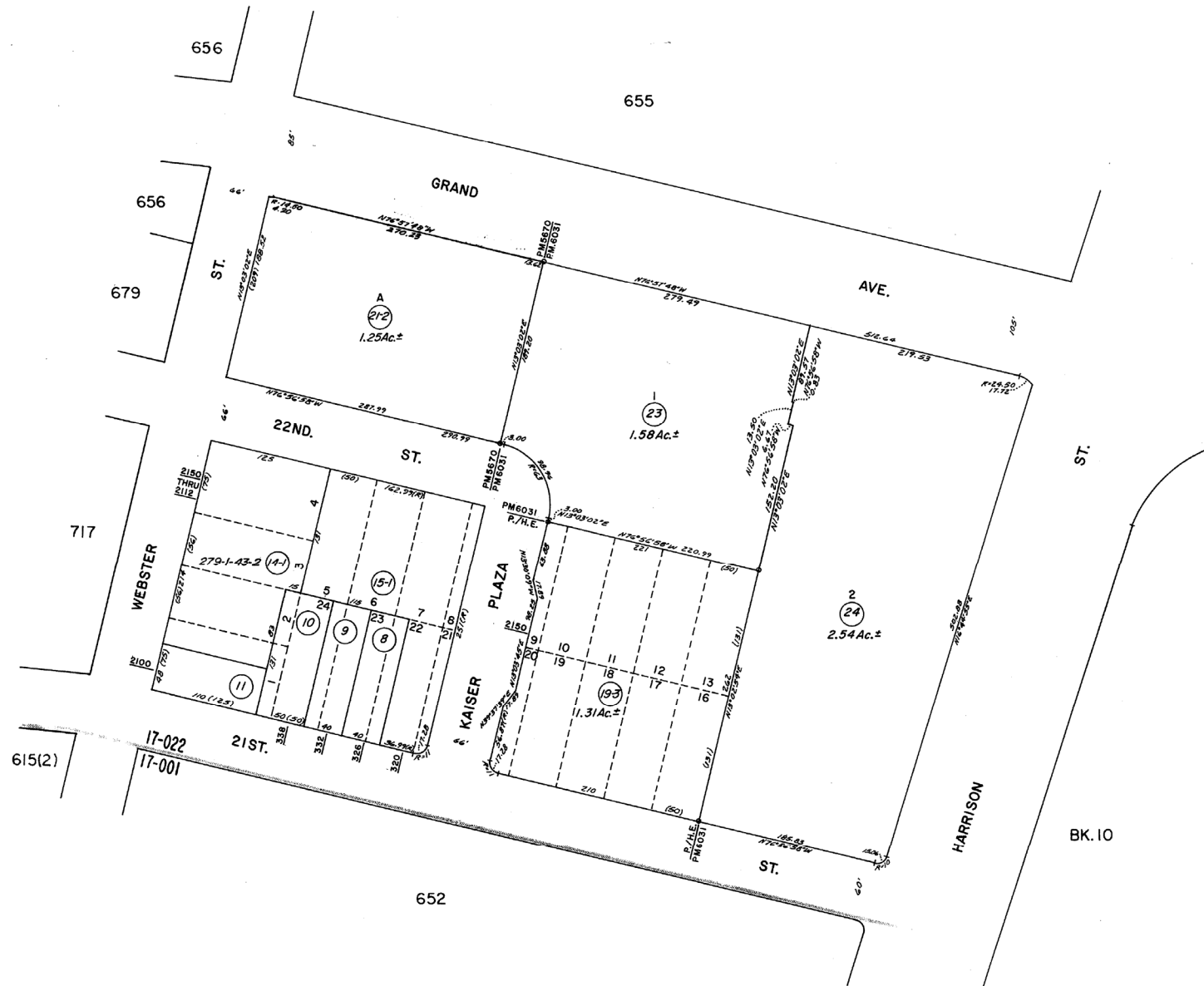
P.M. 5670 194/20

P.M. 6031 196/41

REVISED: 8-6-91 JT
10-30-91
5-23-96 CSJ
8-09-00 CSL
5-01-07 DL

DRAWN: 1-29-91 JT

F: PM5670, PM5670



NORTH ELEVATION

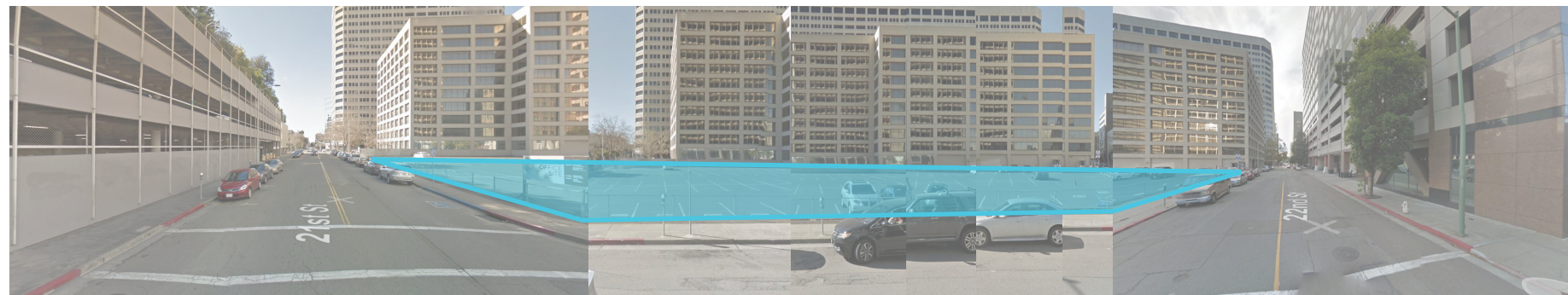


KAISER PLAZA

2 KAISER PLAZA

WEBSTER ST

EAST ELEVATION



21st ST

2 KAISER PLAZA

22nd ST

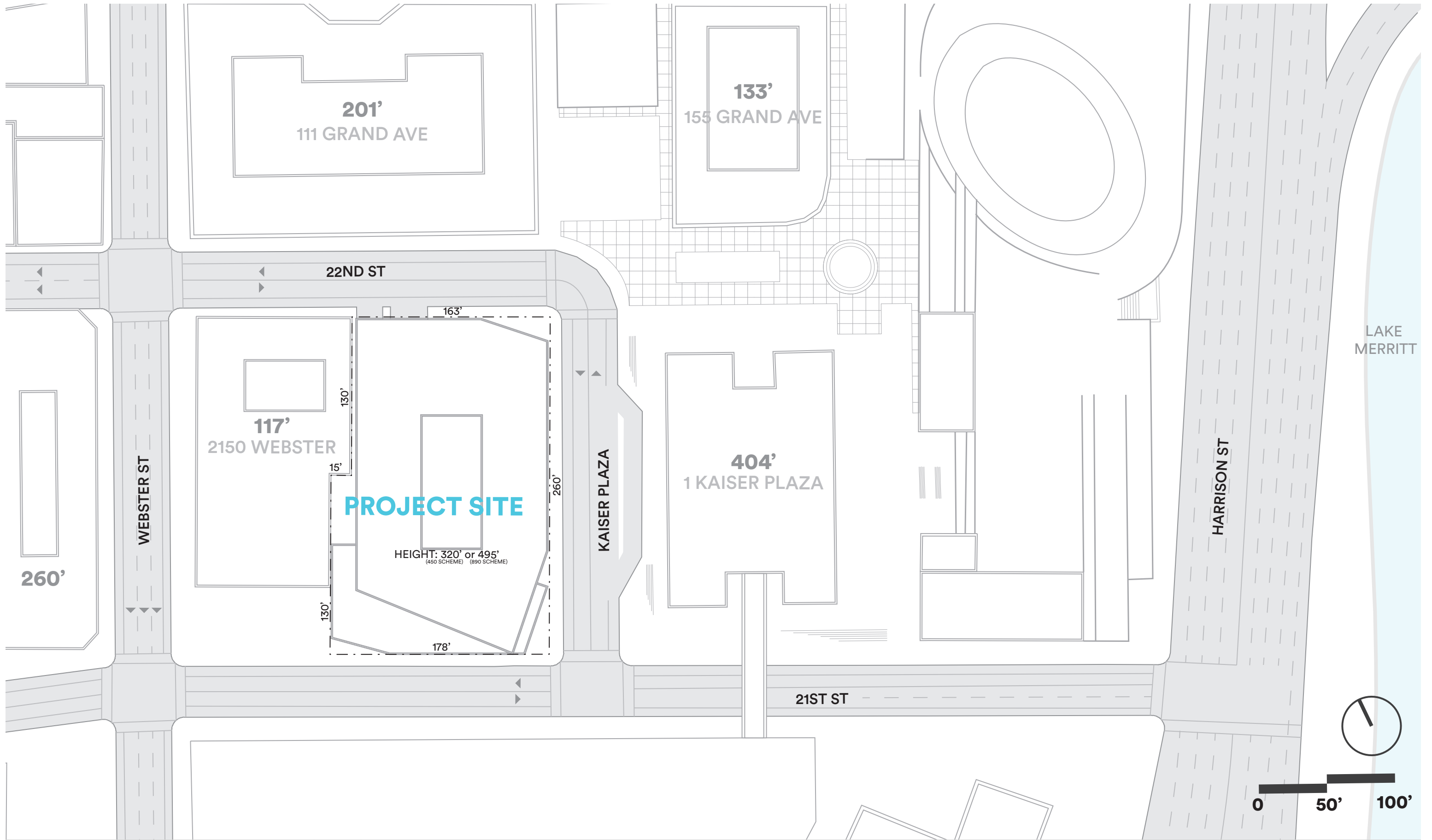
SOUTH ELEVATION

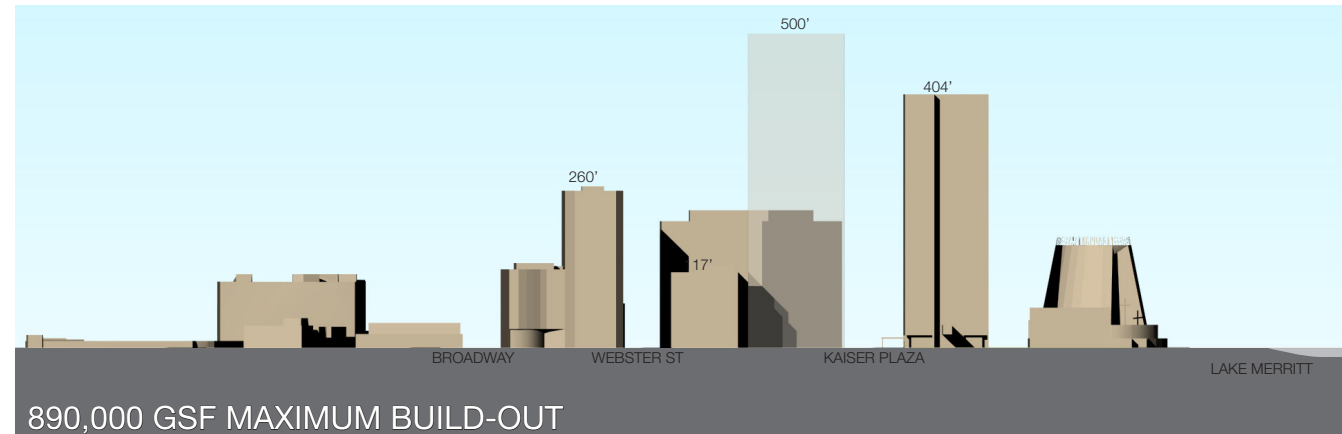
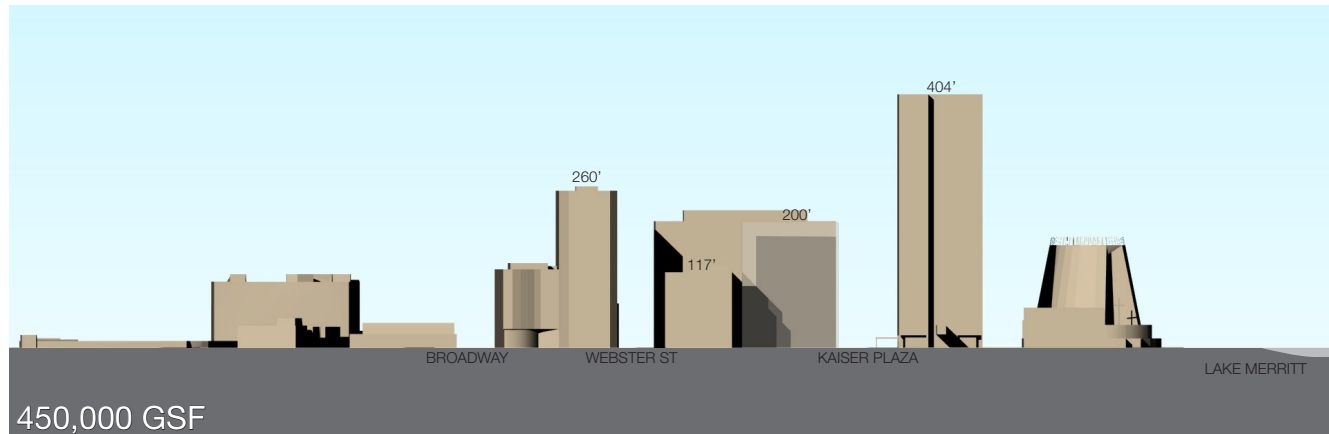
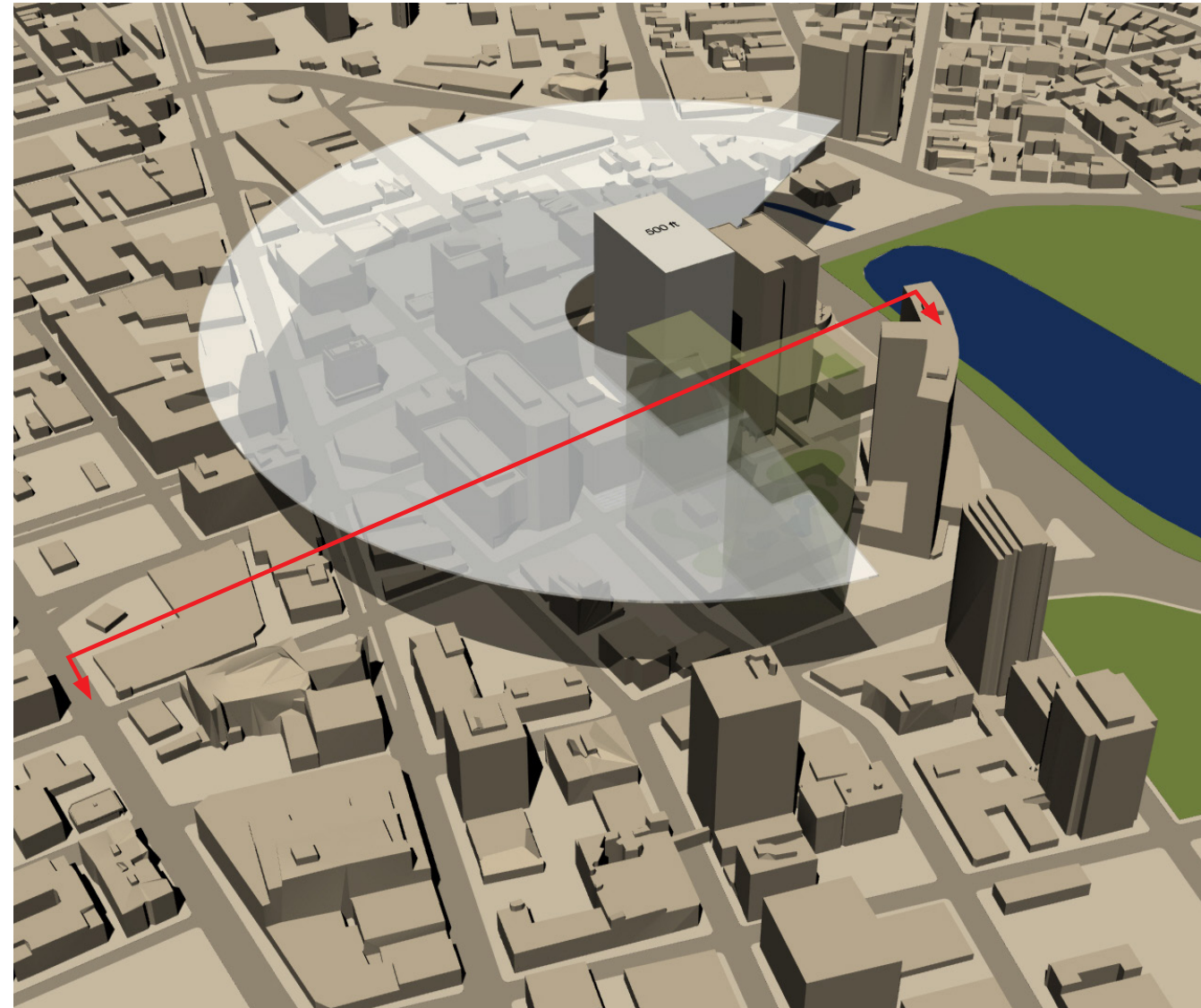
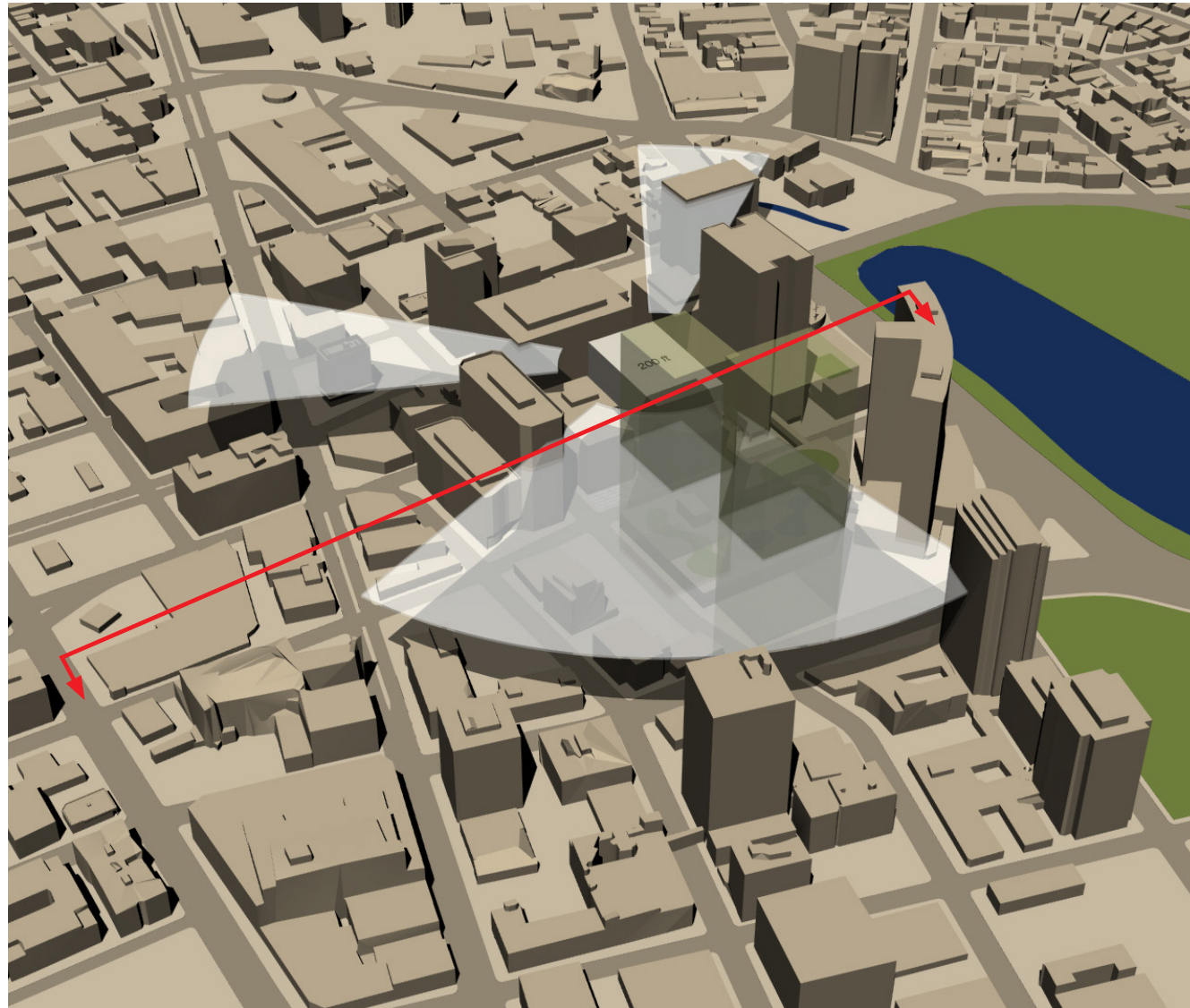


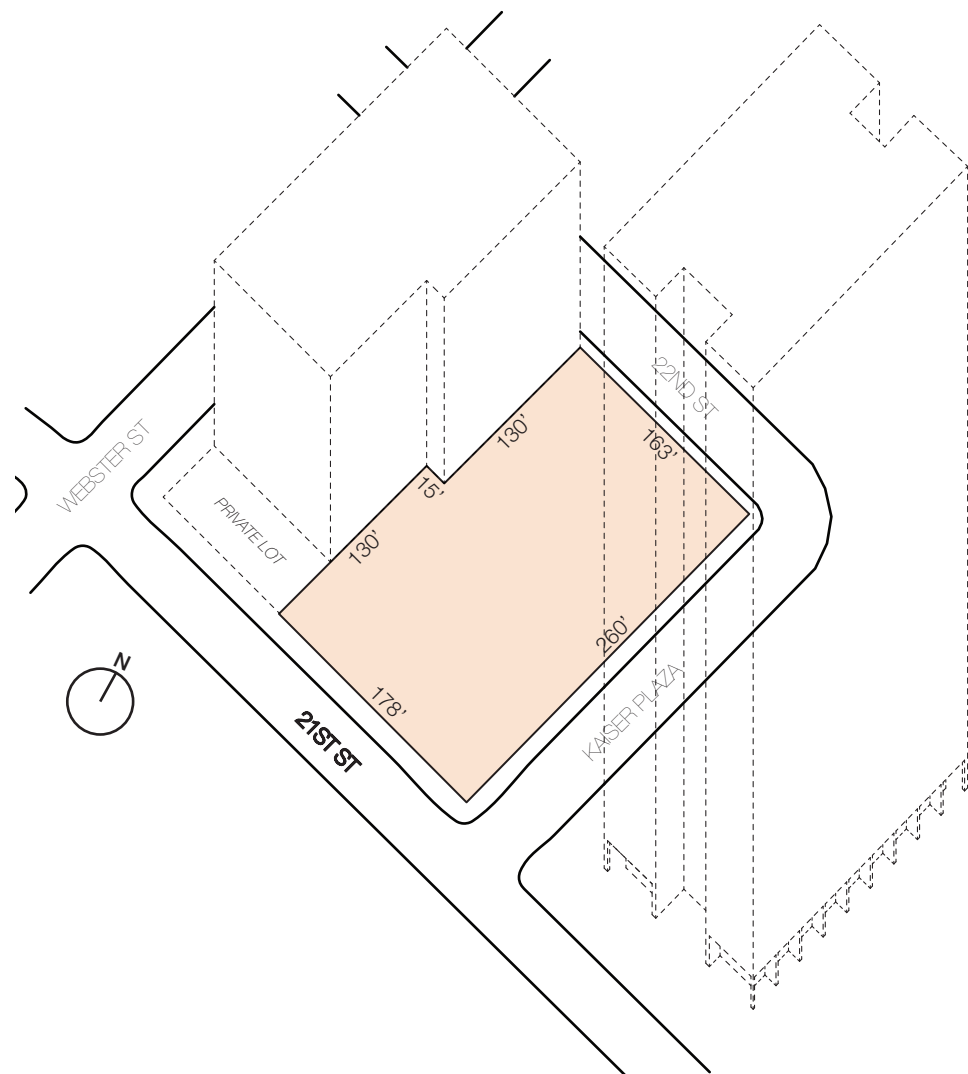
WEBSTER ST

2 KAISER PLAZA

KAISER PLAZA

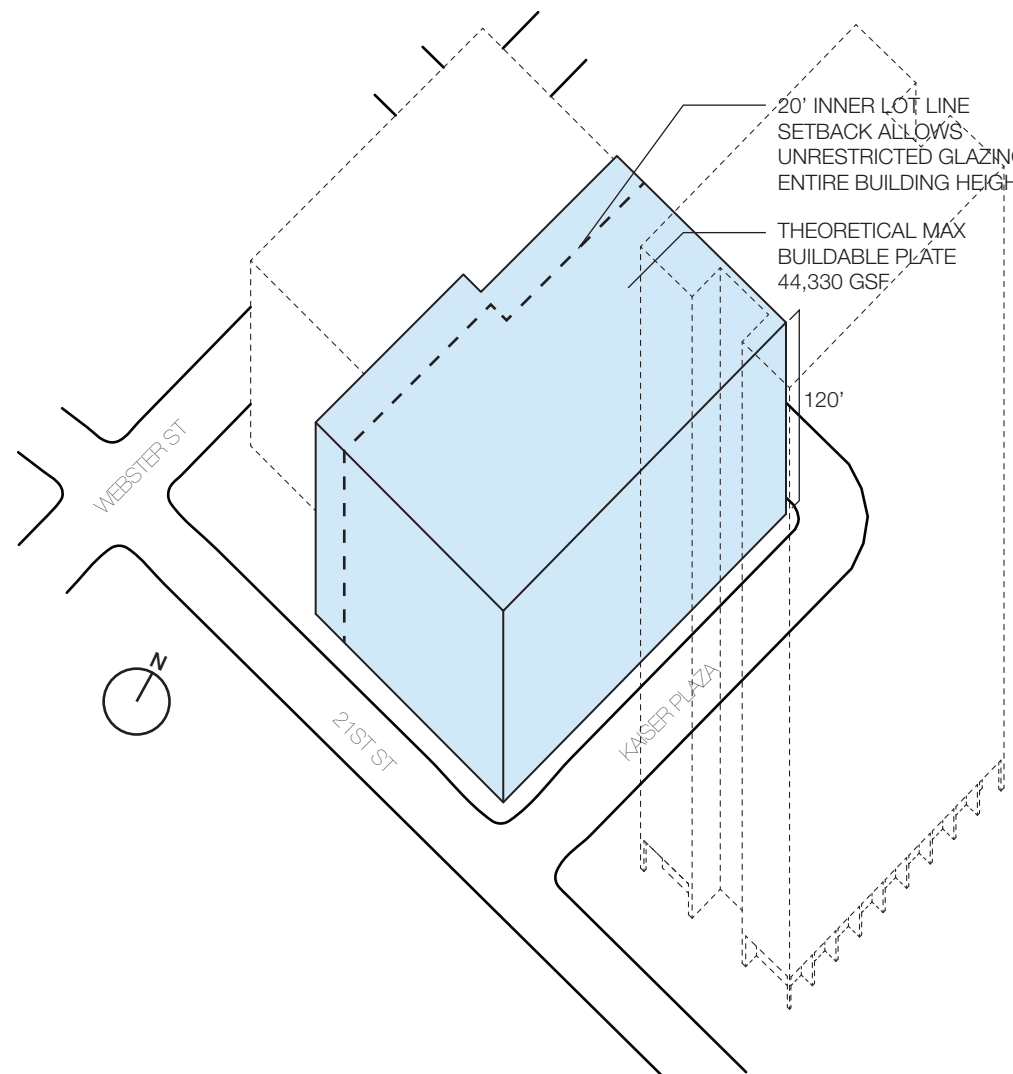






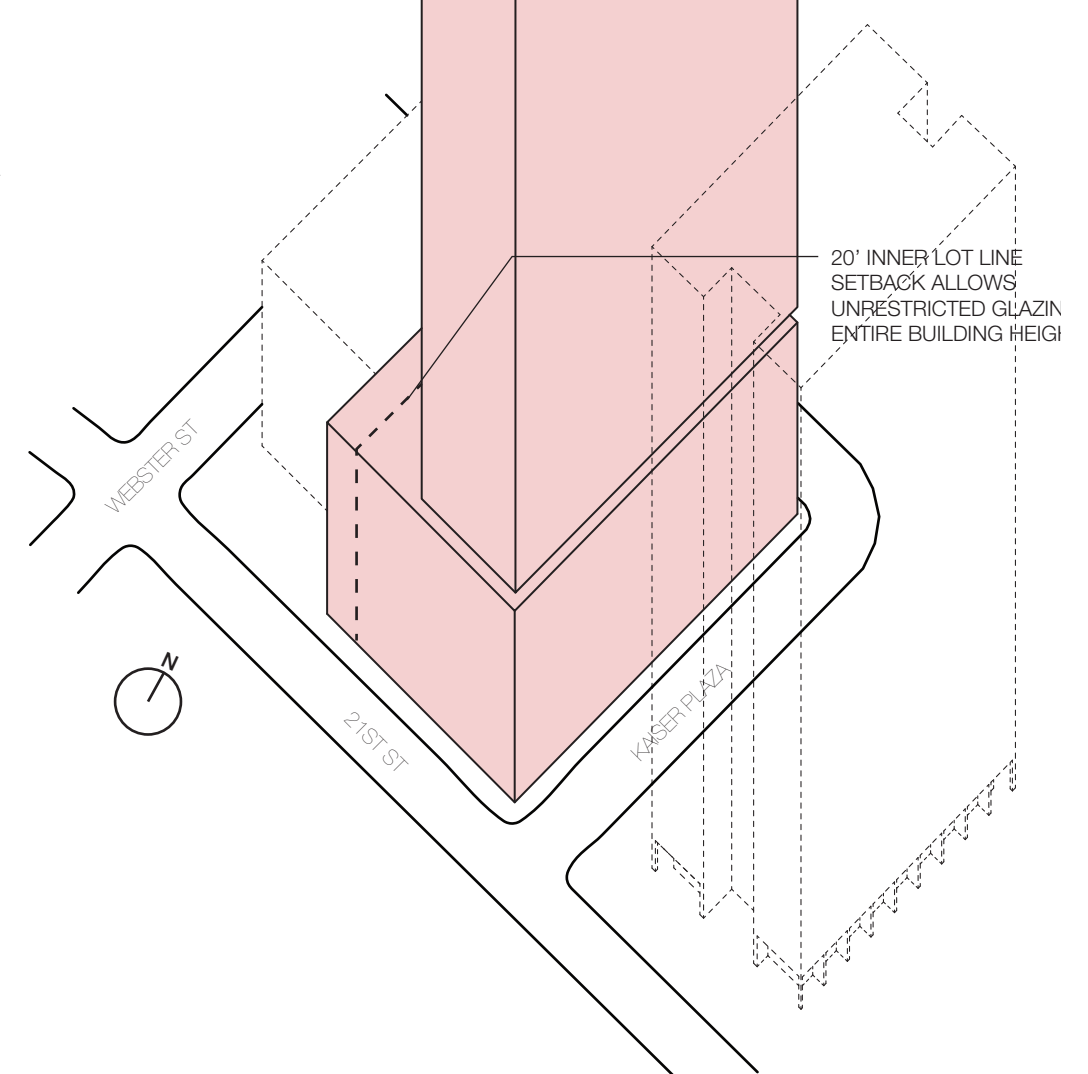
SITE CONTROLS

Site Area: 44,330 SF
 Zoning Control: Area 7
 Controlling Plan: CBD Downtown Specific Plan
 Allowable Uses: Office, Residential, Hotel, Retail
 Set Back Requirements: none
 Height Restrictions: none
 Parking Requirement: none
 FAR: 20
 Max Buildable Area: 892,300 GSF



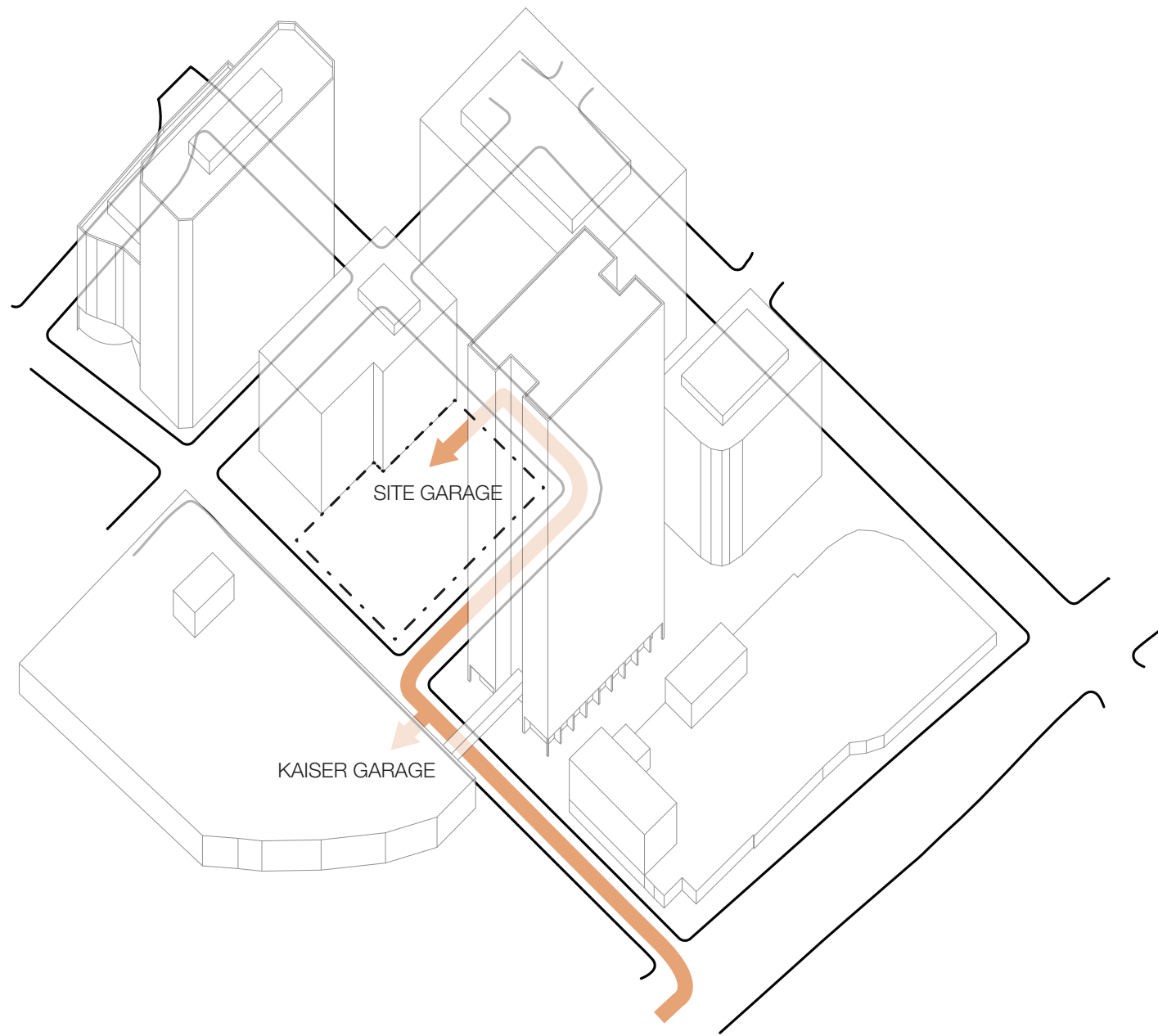
TOWER BASE

Bulk Controls: None within 120' envelope
 Ground Floor: 15' min
 Ground Floor Active Use: Not required



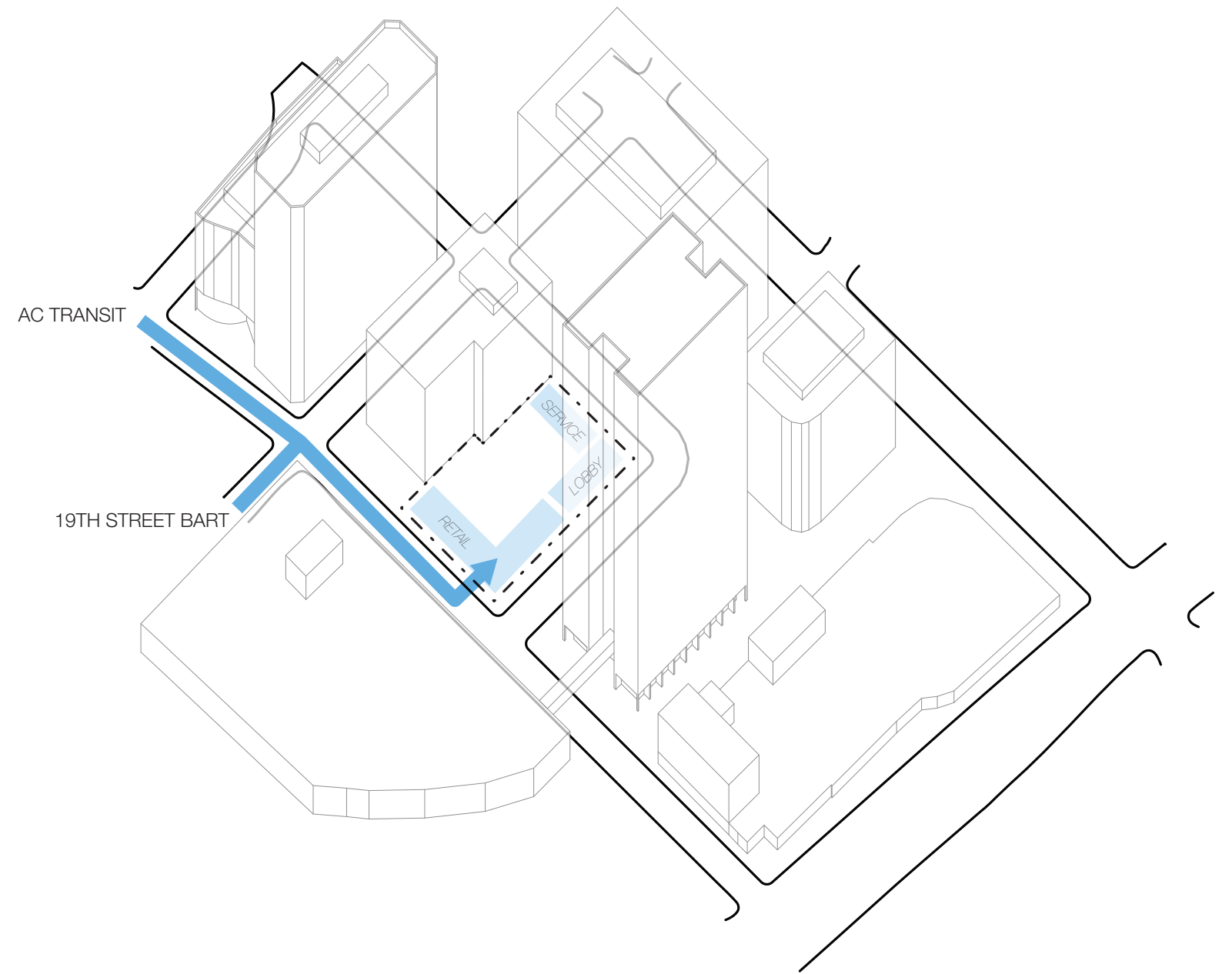
UPPER TOWER

Bulk Controls: 85% lot area
 Max Dimensions: No limit
 Tower Separation: None required



VEHICLE AND SERVICE ACCESS

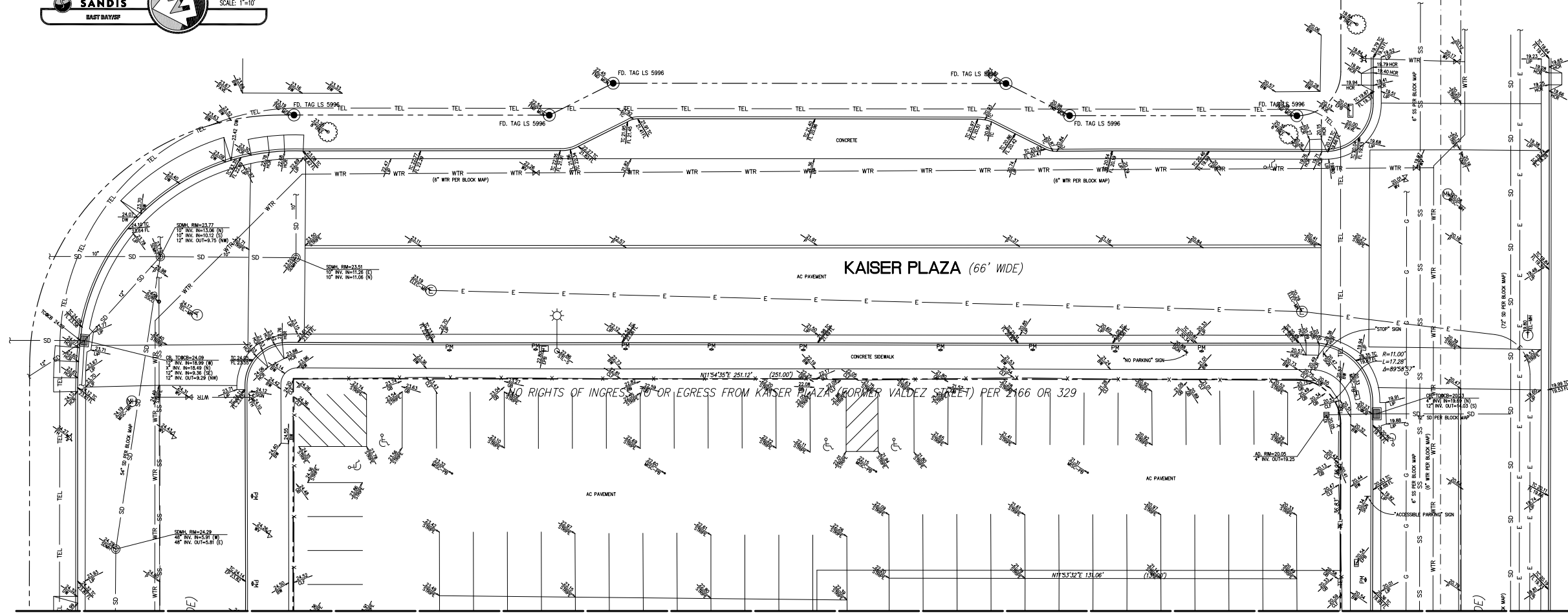
22nd street's northern leg is already heavily used as a garage and service vehicle access point



PEDESTRIAN ACCESS

The majority of pedestrian traffic will approach from the 19th St BART station and the AC Transit stops along Broadway. However, a reverse commute occurs at lunch hour to and from the lake

GENERAL ZONING INFORMATION	REFERENCE	NOTES
ASSESSORS BLOCK	Survey TBD	Parcel No.s 008-065301501/065300800/065300900/065301000
ZONING USE DISTRICT	OAK-GIS	CBD-C
PERMITTED AND/OR CONDITIONAL USES	17.58	Office, Residential, Retail, Parking permitted (fee parking if 3 floors or more only); CU req'd if >200k GSF; see 17.136 for DRC procedures
HEIGHT & BULK DISTRICT	OAK-GIS	height area 7 - no limit
GENERAL PLAN	OAK-GIS	Downtown Oakland Specific Plan (underway) - Central Business District
HISTORIC OR LANDMARK STATUS	OAK-GIS	NONE
LIQUEFACTION HAZARD ZONE	OAK-GIS	Severity 2
CONDO CONVERSION IMPACT AREA	OAK-GIS	NO
HEIGHT AND BULK CONTROLS		
SITE AREA	Survey TBD	44,615.1 sqft (85% lot coverage=37,922.75 GSF)
FLOOR AREA RATIO (FAR)	17.58.03	FAR 20 maximum (892,300 GSF); see also 17.106.030
HEIGHT LIMIT	17.97	no limit
BULK LIMITS		max base height 120', tower unlimited. Lot coverage 100% Base (120') and 85% above. No max length, diagonal, or plate
REQUIRED SETBACKS	17.58.03	0 feet min front/5 feet max front & street sides for floors 1-3 or 35'; no min interior or rear; ground floor 15' min ht. CU allows exceptions
REAR YARDS / COURTS		None required
EASEMENTS	survey TBD	none discovered
ADJACENCIES		private parking garage, private office buildings
TOWER SEPARATION REQUIREMENTS		No minimum (area 7 only)
UNIT SEPARATION / EXPOSURE REQUIREMENTS	17.108.080	none
SOLAR / OVERSHADOWING REQUIREMENTS		
WIND REQUIREMENTS		
DETAILED CONTROLS & REQUIREMENTS		
COMMERCIAL DENSITY LIMITS	17.97.130	FAR of 20; may be increased on 5:1 SF basis if child care provided on site
UNIT MIX CONTROLS		N/A
OPEN SPACE REQUIREMENTS	17.97.130	XX,XXX sqft; 100 sqft per unit 'group', 50 sqft per unit if private
STREET FRONTAGE - ACTIVE USES		No requirement
SCREENING & SETBACK OF PARKING & LOADING	17.116.279	Unscreened parking not permitted within 20' of pedestrian walkways and plazas
GROUND FLOOR MINIMUM FLOOR HEIGHT		15'
CURB CUT RESTRICTIONS		
OFF-STREET PARKING - RESIDENTIAL	17.116.060	N/A
OFF-STREET PARKING - RETAIL	17.116.080	None required for CBD-C
OFF-STREET PARKING - COMMERCIAL	17.116.080	None required for CBD-C
OFF-STREET PARKING DIMENSIONS	17.116.200	50% can be compact or 75% intermediate - 8.5x18, 8x16.5, 7.5x15
OFF-STREET DRIVE AISLE DIMENSIONS	17.116.210	11' parallel parking one-way; 21' 90 degrees two-way
OFF-STREET LOADING - RESIDENTIAL	17.116.120	N/A
OFF-STREET LOADING - RETAIL	17.116.150	0-10,000 sf: 0 berths required; 10,001 - 25,000 sf: 1 berth required
LOADING BERTH DIMENSIONS	17.116.220	12'x33', 14' high/preferred 45x12x14 high
REQUIRED CAR SHARE - RESIDENTIAL	166(d)	N/A
REQUIRED CAR SHARE - NON-RESIDENTIAL		**typically 1 space per 50 non-residential spaces
BICYCLE REQUIREMENTS - COMMERCIAL	17.117.090	LT: 1:10k GSF office area; ST: 1:20k; 2.5x6'; note locker reqmts 17.117.139
BICYCLE REQUIREMENTS - RETAIL	17.117.110	LT: 1 per 12k (2 min); ST: 1 per 2k (2 min)



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BENCHMARK

CITY MONUMENT K-7 S.F. B.A.R.T.D. 1963 LOCATED AT THE INTERSECTION OF BROADWAY AVENUE AND 21 ST. STREET, OAKLAND, CA. ELEVATION=17.243 MEAN SEA LEVEL.

BASIS OF BEARINGS

THE BEARING N26°15'00"E OF THE MONUMENT LINE OF BROADWAY AS SHOWN PER THAT CERTAIN PARCEL MAP RECORDED IN BOOK 154 OF PARCEL MAPS, AT PAGE 40, ALAMEDA COUNTY RECORDS WAS CHOSEN AS THE BASIS OF BEARINGS SHOWN UPON THIS MAP.

SURVEY UTILITY NOTE

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

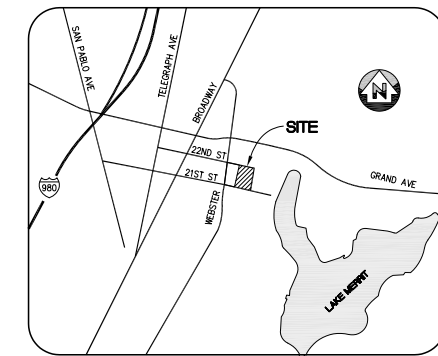
ABBREVIATIONS

- AD - AREA DRAIN
- BLDC - BUILDING CORNER
- BLDL - BUILDING LINE
- BOLL - BOLLARD
- BS - BOTTOM OF STAIR
- BW - BACK OF WALK
- CB - CABLE TELEVISION PULLBOX
- CHSHT - SURVEY CHECK SHOT
- CLF - CHAIN LINK FENCE
- COLM - COLUMN
- COM-MH - COMMUNICATION MANHOLE
- COM-PB - COMMUNICATIONS PULLBOX
- CONC - CONCRETE
- DW - DOMESTIC WATER
- ED - EDGE OF PAVEMENT
- EPB - ELECTRICAL PULLBOX
- FDC - FIRE DEPARTMENT CONNECTION
- FF - FINISHED FLOOR
- FL - FLOW LINE
- FND, FD - FOUND
- G - GROUND
- GB - GRADE BREAK
- GV - GAS VALVE
- HCR - ACCESSIBLE RAMP
- LIP - LIP OF GUTTER
- MISC-MH - MISCELLANEOUS MANHOLE
- MISC-PB - MISCELLANEOUS PULLBOX
- MISC-V - MISCELLANEOUS VAULT
- MISC-VLT - MISCELLANEOUS VAULT
- P - PAVEMENT ELEVATION
- PM - PARKING METER
- RAIL - RAIL
- STL - SINGLE-ARM STREET LIGHT
- STPB - STREET LIGHT PULLBOX
- TC - TOP OF CURB
- TCB - TOP OF CURB AT CATCH BASIN
- TOW - TOP OF WALL
- TRAF-S, TS - TRAFFIC SIGNAL
- TS - TOP OF STAIR
- VLT - VAULT
- WM - WATER METER
- WV - WATER VALVE

LEGEND

ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.

- PROPERTY LINE
- BUILDING FACE
- EDGE OF PAVEMENT
- BUILDING OVERHANG
- CURB LINE
- SANITARY SEWER
- STORM DRAIN
- TELECOMMUNICATIONS LINE
- WATER LINE
- UNDERGROUND ELECTRIC LINE
- FENCE
- 101 - CONTOURS
- TV/FA - TV / FIRE ALARM
- TEL - TELECOM
- E - ELECTRIC
- FG - (UNKNOWN UTILITY)
- A - FOUND STANDARD CITY MONUMENT
- SMH - STORM DRAIN MANHOLE
- SSMH - SANITARY SEWER MANHOLE
- SSCO - SANITARY SEWER CLEANOUT
- AD - AREA DRAIN
- EUB - ELECTRIC UTILITY BOX
- TUB - TELEPHONE PULL BOX
- CTVB - CABLE TELEVISION BOX
- PWR - POWER POLE
- WV - WATER VALVE
- GAV - GAS VALVE
- WM - WATER METER
- ECR - ELECTRIC CLOSER
- EV - ELECTRIC VALVE, MH
- SIGN - SIGN
- GW - GUY WIRE
- FH - FIRE HYDRANT
- SE - SPOT ELEVATION
- TDO - TREE WITH DRIPLINE
- TDD - TYPE AND DIAMETER AS INDICATED
- PM - PARKING METER



VICINITY MAP
N.T.S.

SANDIS CIVIL ENGINEERS SURVEYORS PLANNERS
 436 Ninth Street | Oakland, CA 94607 | P. 510.873.8855 | www.sandis.net
 SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF
 DATE: 12-07-16
 SCALE: 1"=10'
 DRAWN BY: GL
 APPROVED BY: MAK
 DRAWING NO: 616049

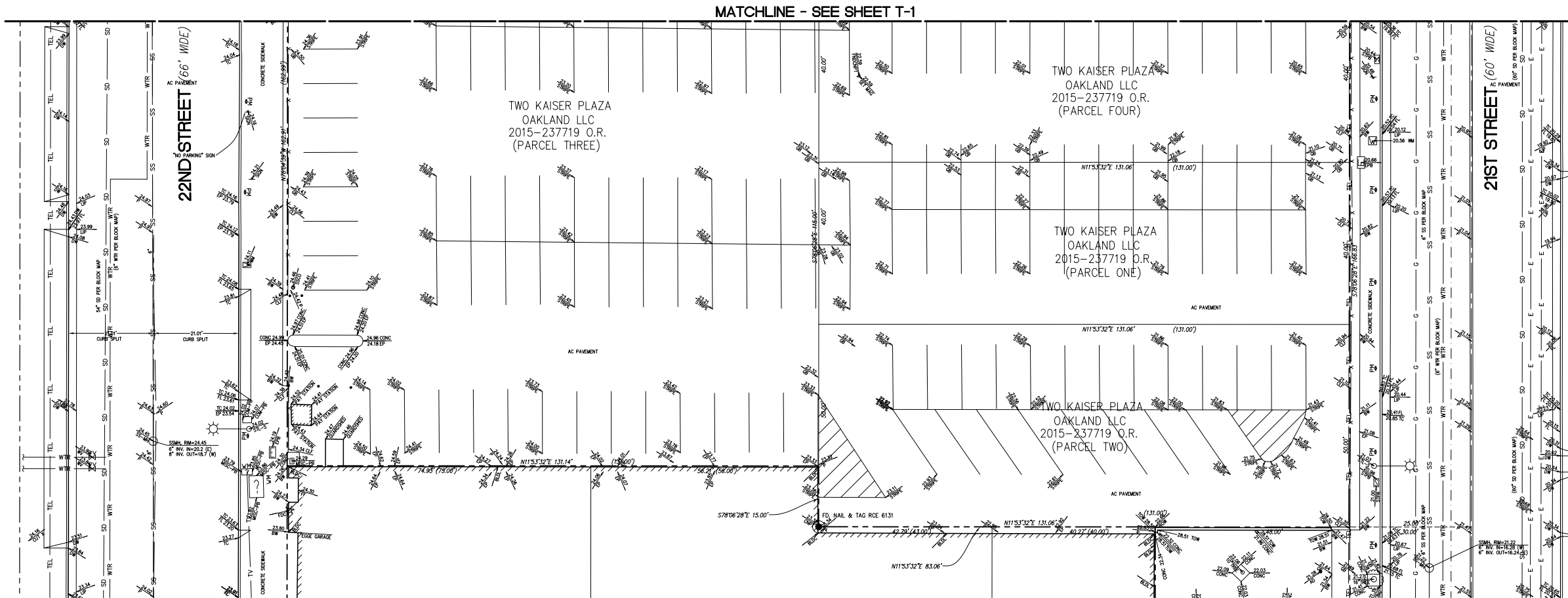
No.	REVISION	DATE	BY

TWO KAISER PLAZA

TOPOGRAPHIC SURVEY

SHEET
T-1
OF 2 SHEETS

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 436 Ninth Street | Oakland, CA 94607 | P. 510.873.8855 | www.sandis.net
 SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF

DATE: 12-07-16
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No.	REVISION	DATE	BY

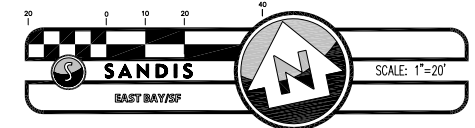
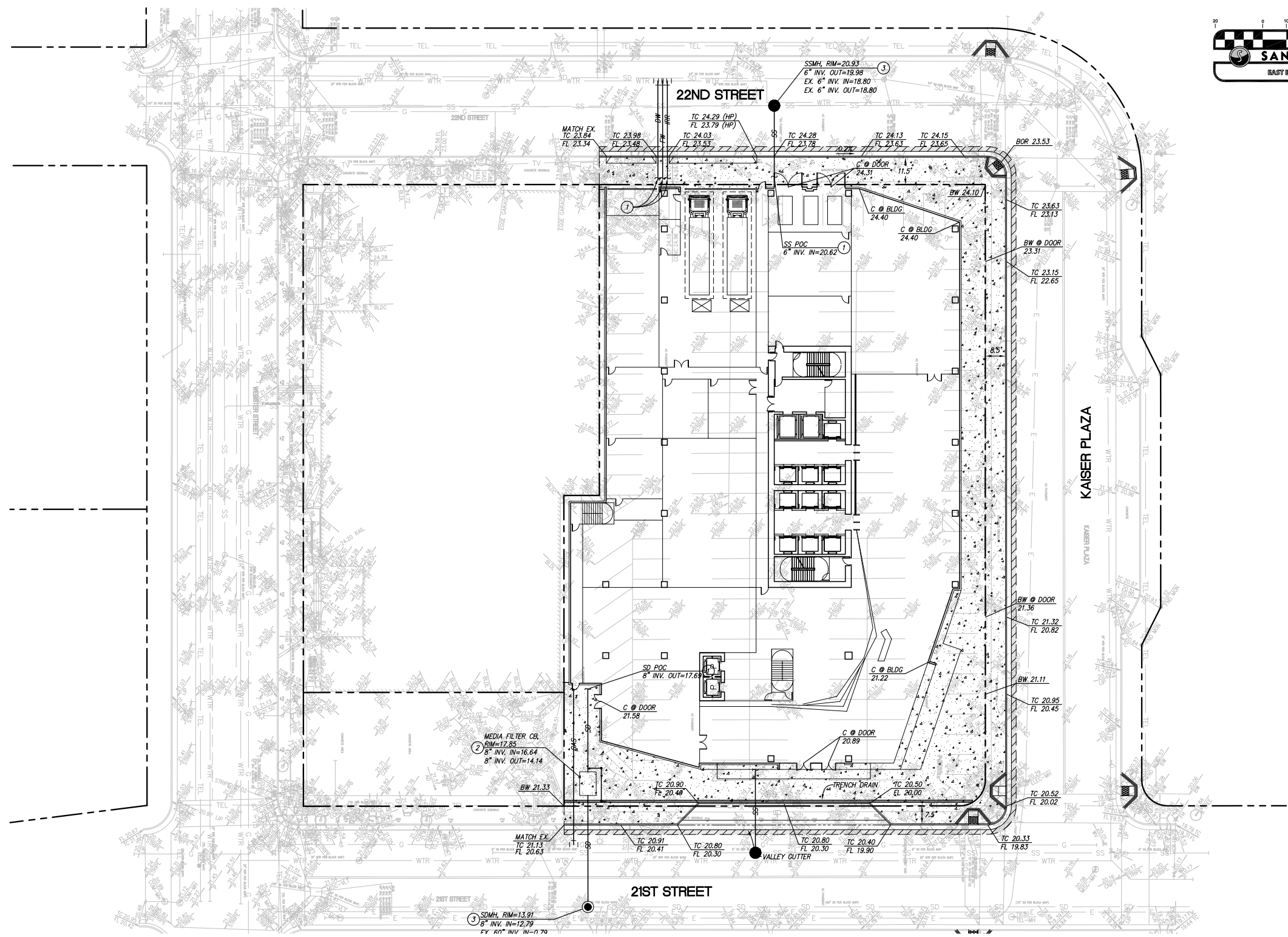
TWO KAISER PLAZA

TOPOGRAPHIC SURVEY

SHEET
T-2
 OF 2 SHEETS

File: X:\P\616049\SURVEY\DELIVERABLE\7-1.dwg Date: Dec 07, 2016 - 1:16 PM

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LEGEND

- PROPERTY LINE
- AC DEEPLIFT
- CONCRETE SIDEWALK

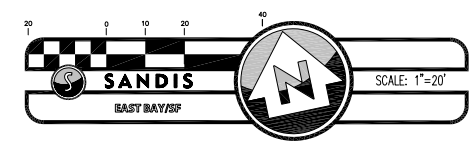
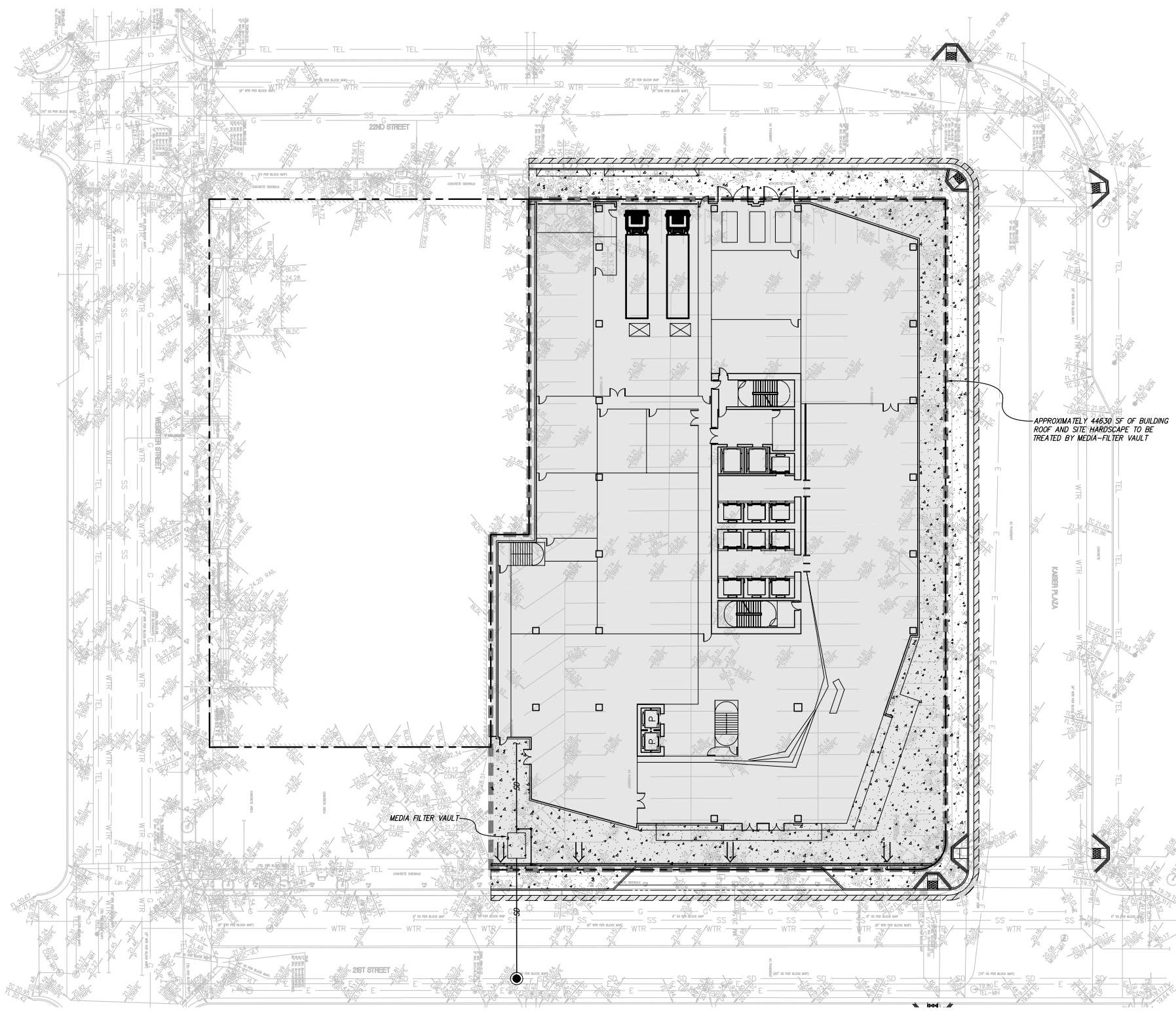
ABBREVIATIONS

- TC TOP OF CURB
- FL FLOWLINE
- BOR BOTTOM OF RAMP
- BW BACK OF WALK
- C CONCRETE

SHEET NOTES

- 1 SEE PLUMBING DRAWINGS FOR CONTINUATION.
- 2 FLOW GUARD MEDIA FILTER OR APPROVED EQUIVALENT.
- 3 ASSUMED ELEVATION FOR EXISTING UTILITIES.

SANDIS CIVIL ENGINEERS SURVEYORS PLANNERS <small>636 Ninth Street Oakland, CA 94607 P. 510.873.8855 www.sandis.net</small> SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF	DATE: 12-07-16 SCALE: 1"=20' DRAWN BY: JRR APPROVED BY: MAK DRAWING NO.: 616049	DATE: _____ MICHAEL A. KUYKENDALL R.G.E. NO. 70870, EXPIRES 6-30-17	No. REVISION DATE BY	KAISER PLAZA OAKLAND CALIFORNIA	GRADING AND UTILITY PLAN	SHEET C-1 OF 2 SHEETS
	File: X:\P\616049\PLAN SETS\C-1.dwg Date: Dec 07, 2016 - 1:18 PM					



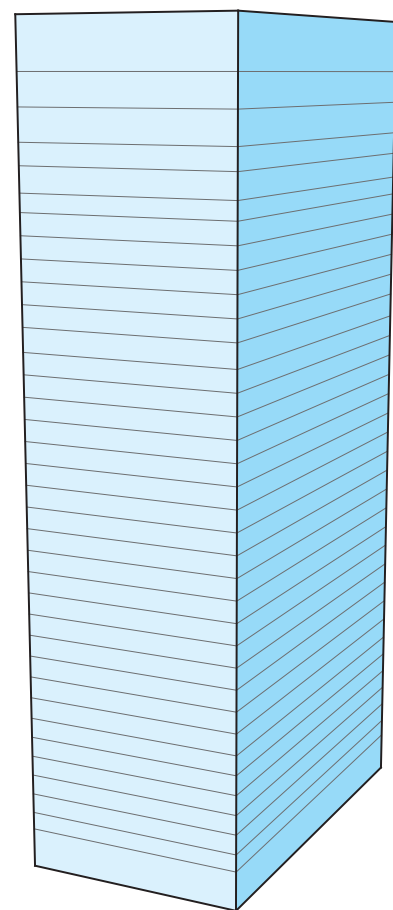
NON-LID TREATMENT
 THIS PROJECT IS CLASSIFIED AS A SPECIAL CATEGORY "C" PROJECT AND IS ALLOWED TO TREAT UP TO 100% OF THE IMPERVIOUS AREA BY NON-LID MEASURES. AS THE PROJECT DESIGN IS FURTHER REFINED, THESE BMPs MAY BE REVISED ACCORDINGLY.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED IN ANY FORM INCLUDING PHOTOCOPY, RECORDING OR ANY INFORMATION RETRIEVABLE AND STORAGE SYSTEM, WITHOUT PERMISSION IN WRITING FROM SANDIS.

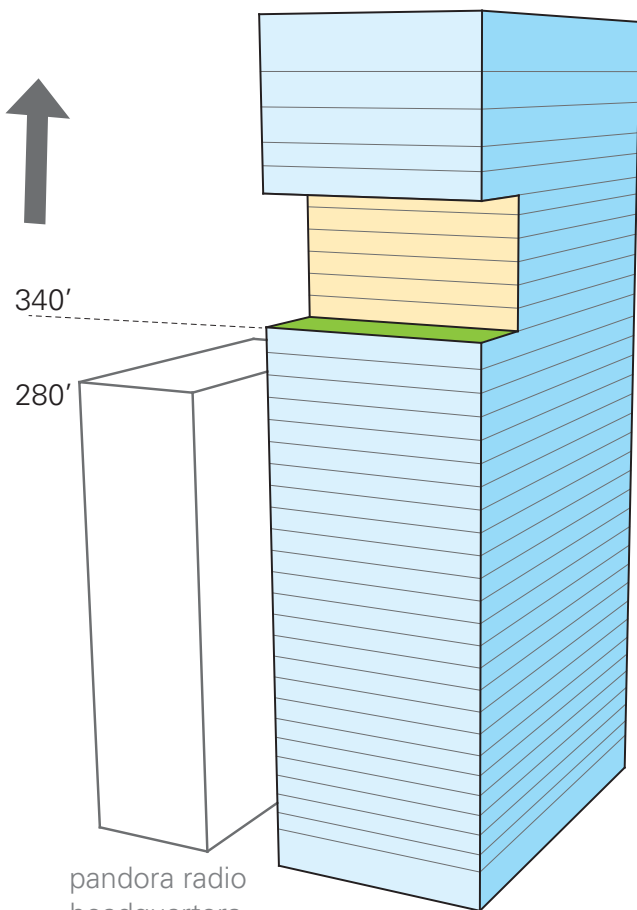
SANDIS CIVIL ENGINEERS SURVEYORS PLANNERS <small>636 Ninth Street Oakland, CA 94607 P. 510.873.8855 www.sandis.net</small> SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF	DATE: 12-07-16 SCALE: 1"=20' DRAWN BY: JRR APPROVED BY: MAK DRAWING NO.: 616049	DATE: _____ MICHAEL A. KUYKENDALL R.G.E. NO. 70870, EXPIRES 6-30-17	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>REVISION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	REVISION	DATE	BY																	KAISER PLAZA OAKLAND CALIFORNIA	STORMWATER MANAGEMENT PLAN	SHEET C-2 OF 2 SHEETS
	No.	REVISION	DATE	BY																						
File: X:\P\616049\PLAN SETS\C-2.dwg Date: Dec 07, 2016 - 1:17 PM Copyright © 2016 by Sandis																										



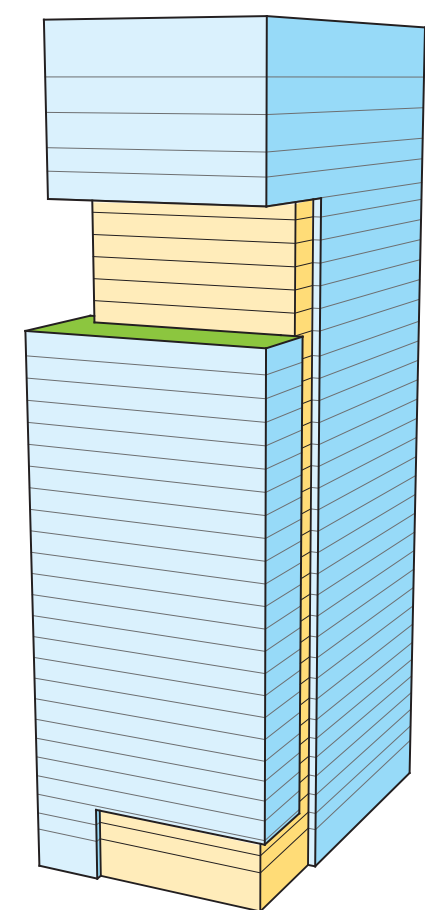
SCHEME A
450K GSF



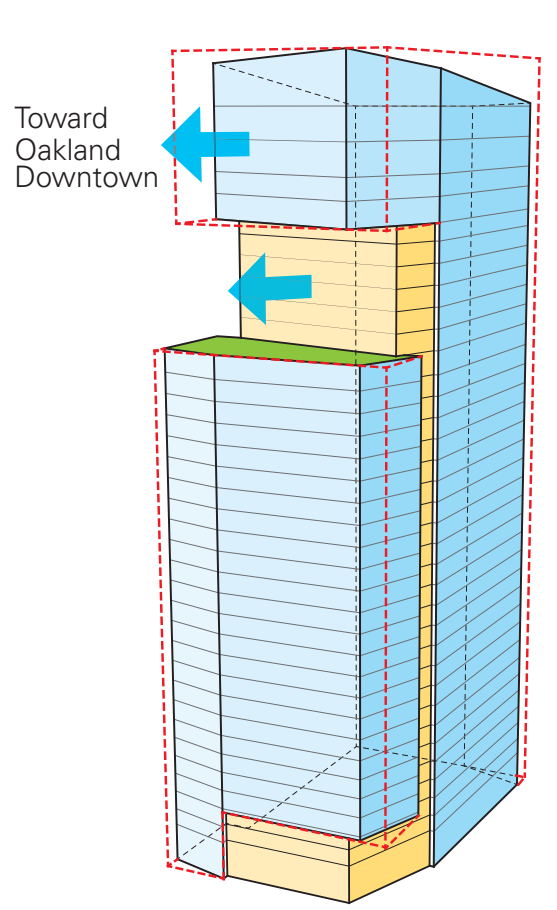
01 Extrude maximum zoning envelope



02 Subtract Sky Terrace to create three differently sized floor plates



03 Split mass into two parts and engage amenity spaces



04 Shape tower by chamfering facades and both slope and rotate top to the angle of the downtown urban grid



450K SCHEME

FROM SOUTH EAST

2 KAISER PLAZA
02.10.2017

CIM

SCB



450K SCHEME

FROM SOUTH WEST

2 KAISER PLAZA
02.10.2017

CIM

SCB



450K SCHEME

FROM NORTH EAST

2 KAISER PLAZA
02.10.2017

CIM

SCB



450K SCHEME

FROM NORTH WEST

2 KAISER PLAZA
02.10.2017

CIM





450K SCHEME

FROM SOUTH EAST

2 KAISER PLAZA
02.10.2017





450K SCHEME

STREET LEVEL

2 KAISER PLAZA
02.10.2017

CIM

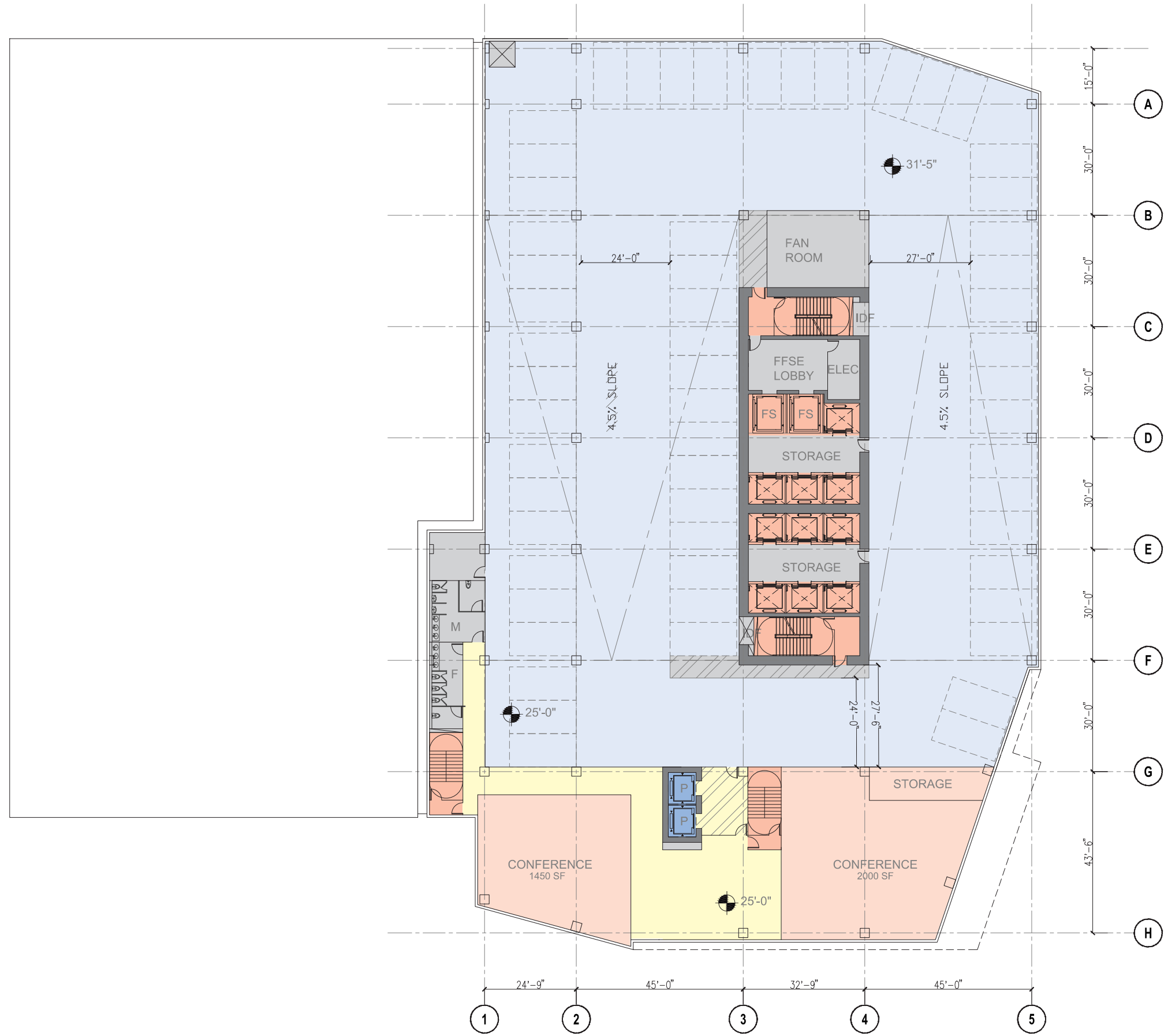
SCB





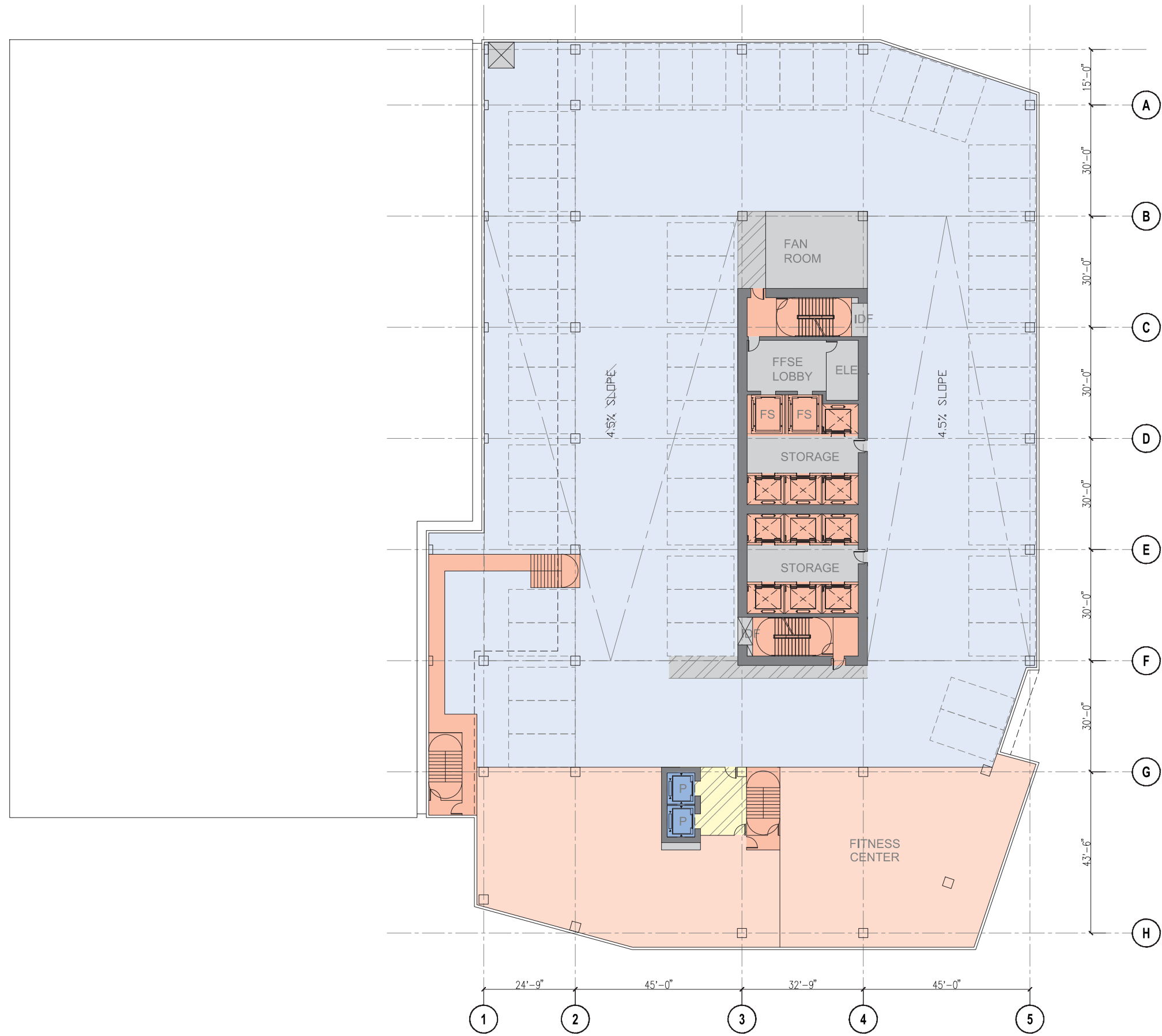
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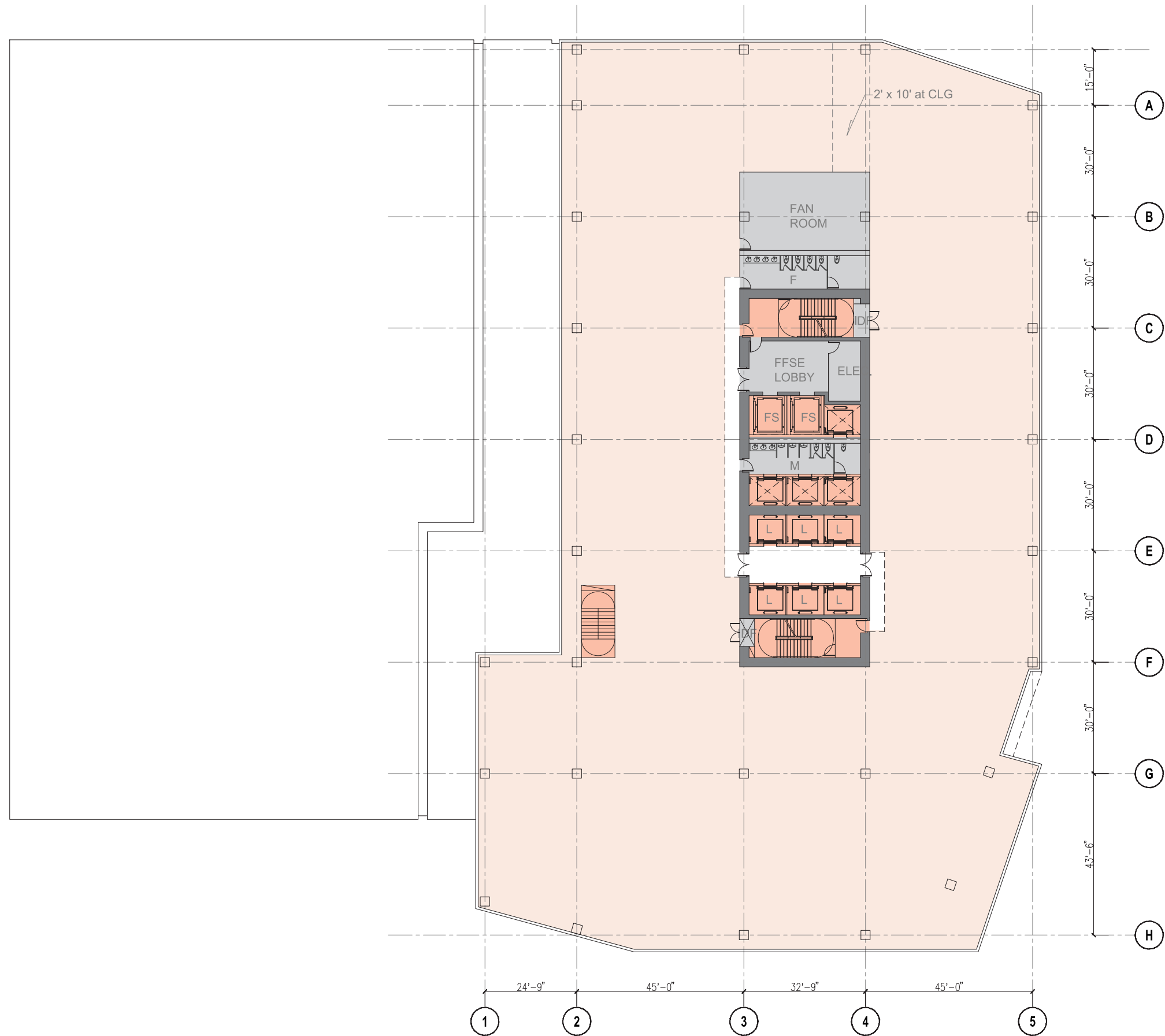
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04-05

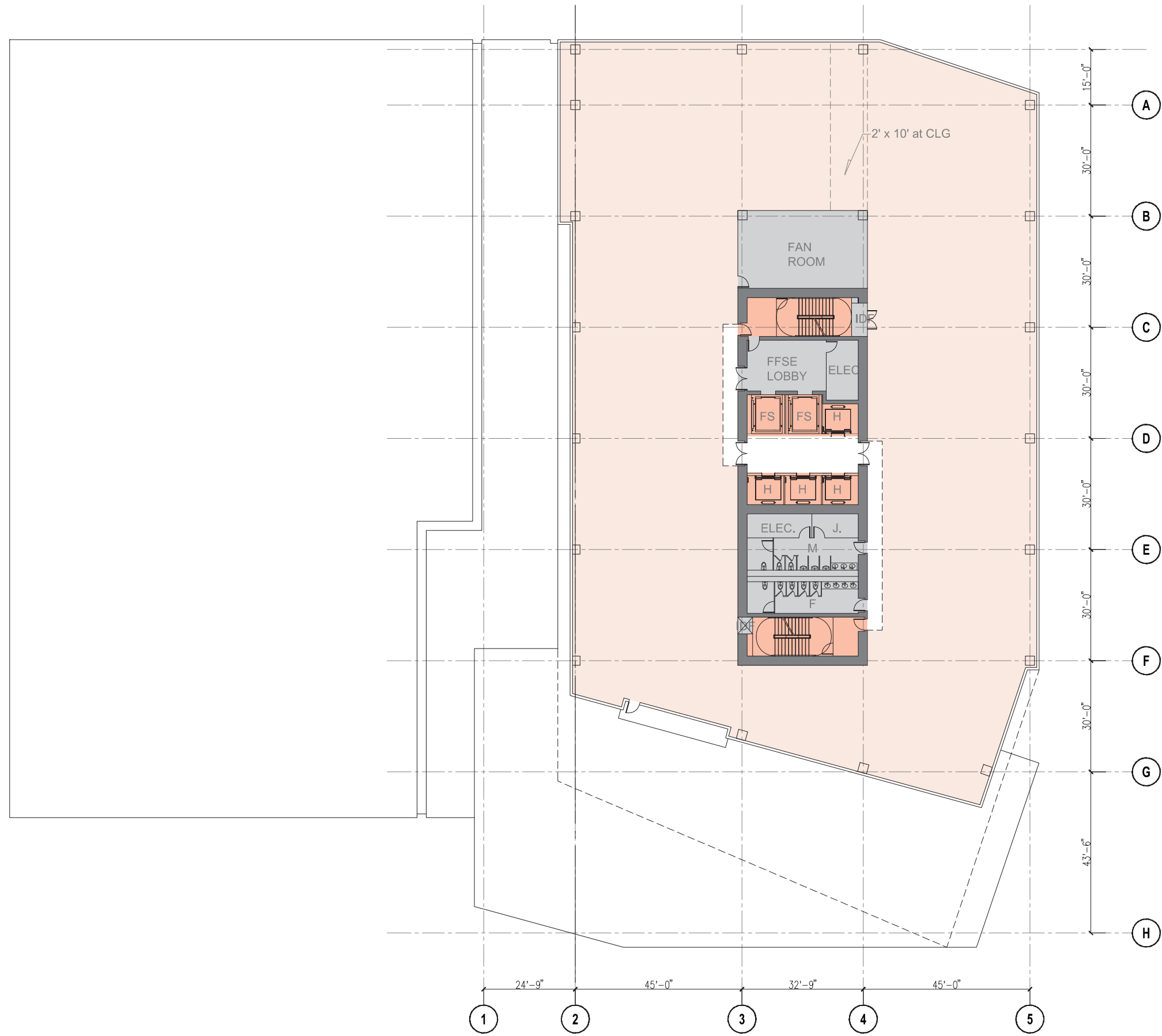




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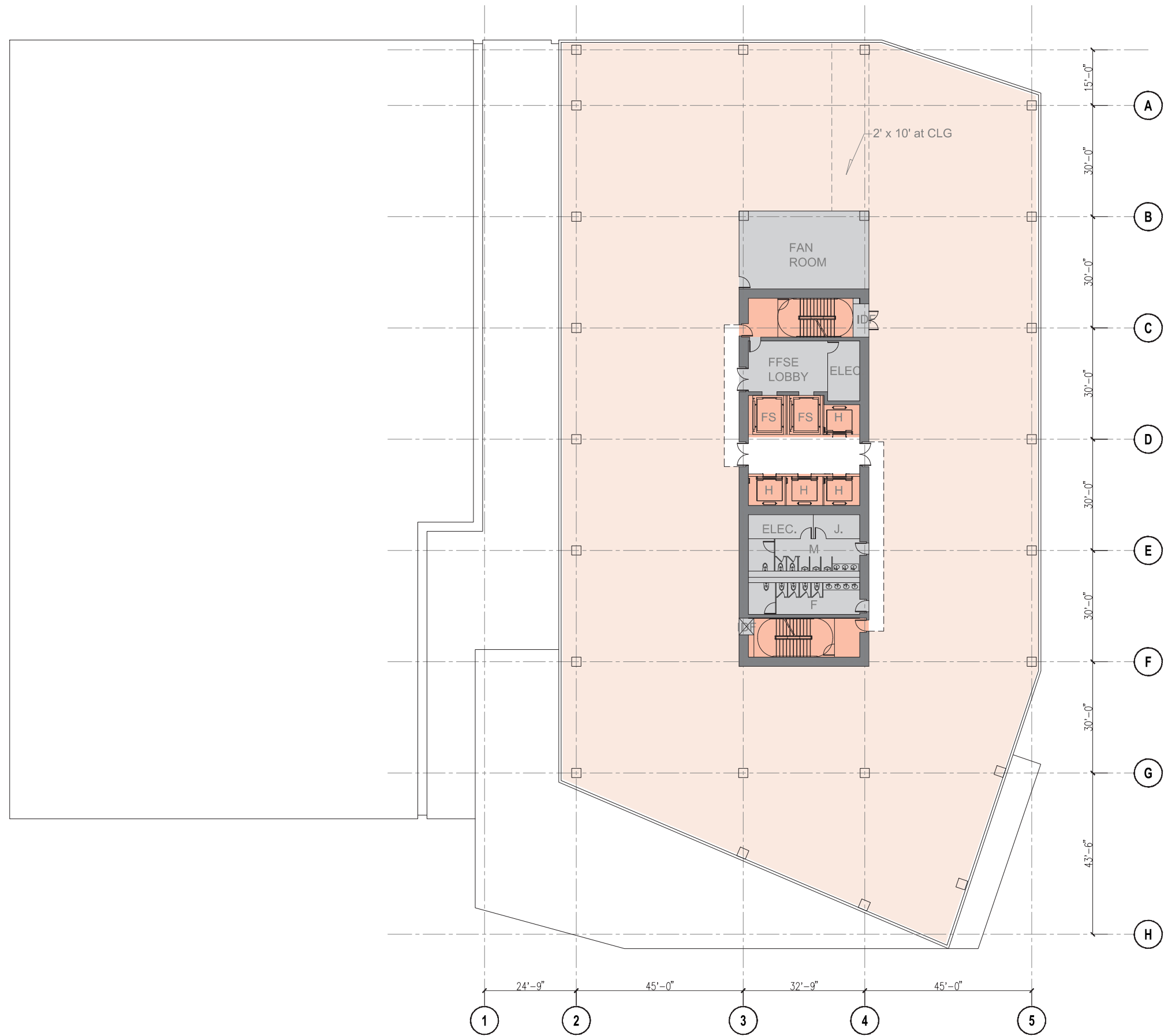






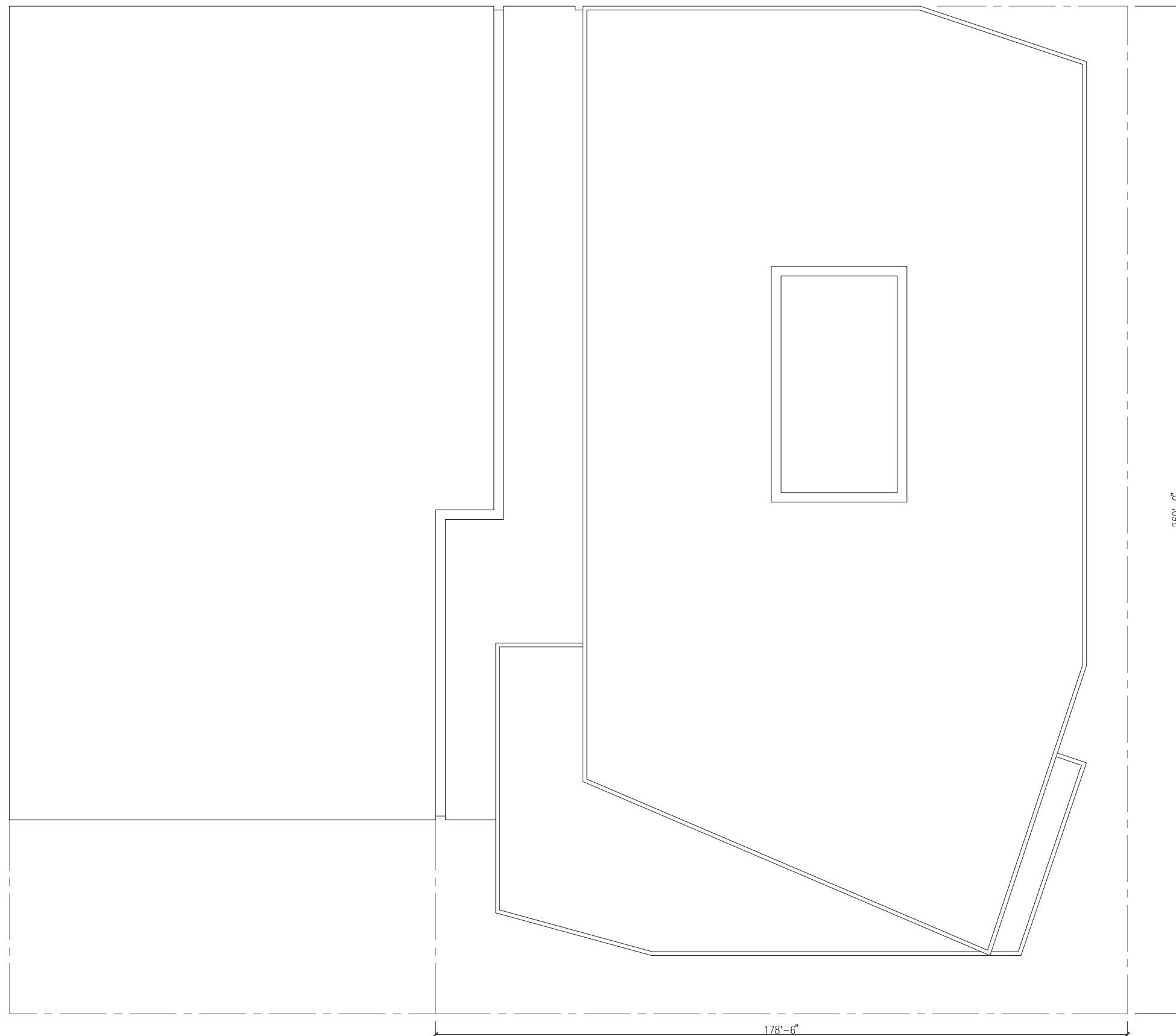
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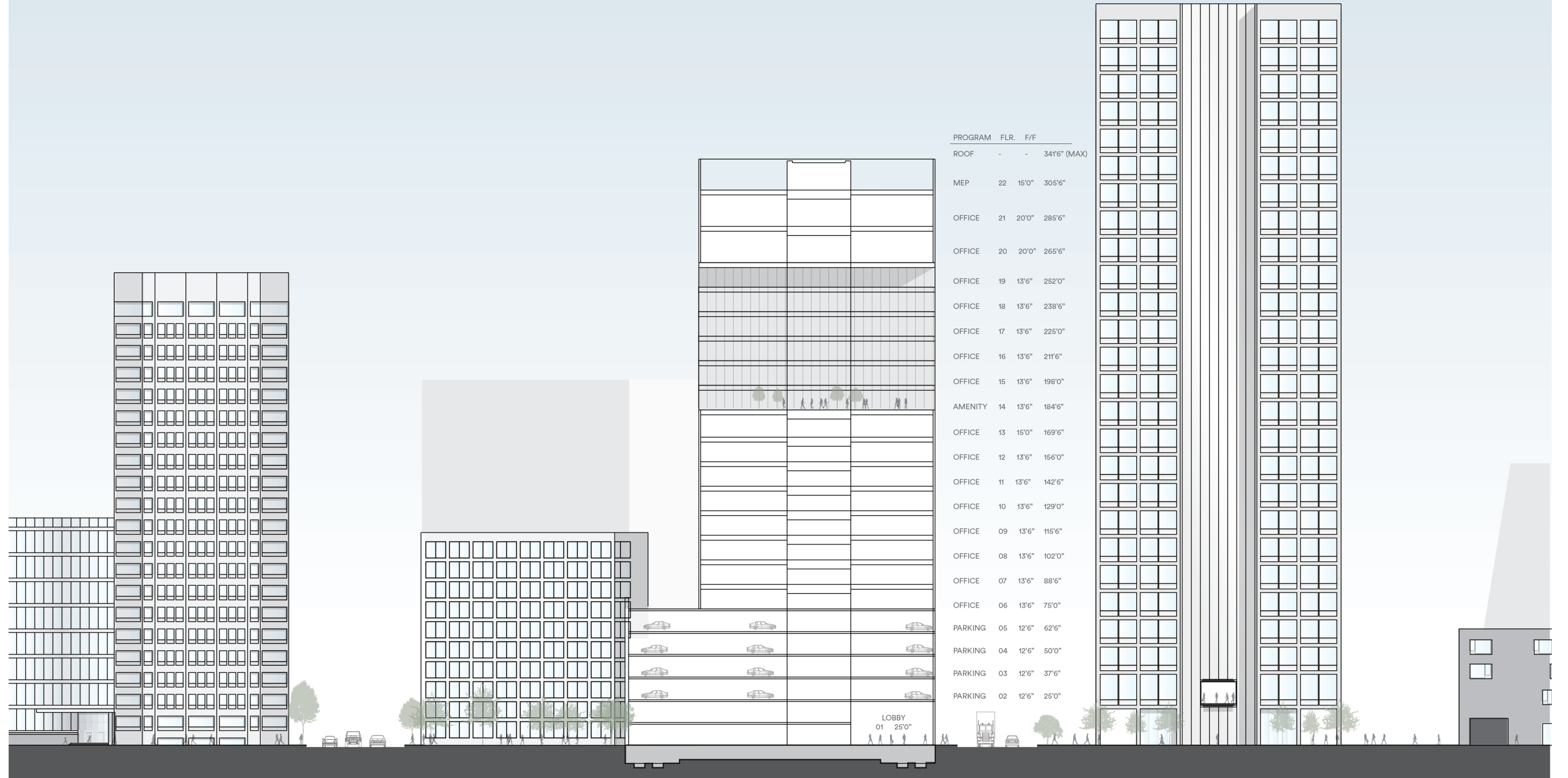
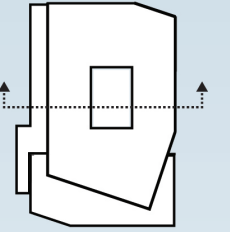
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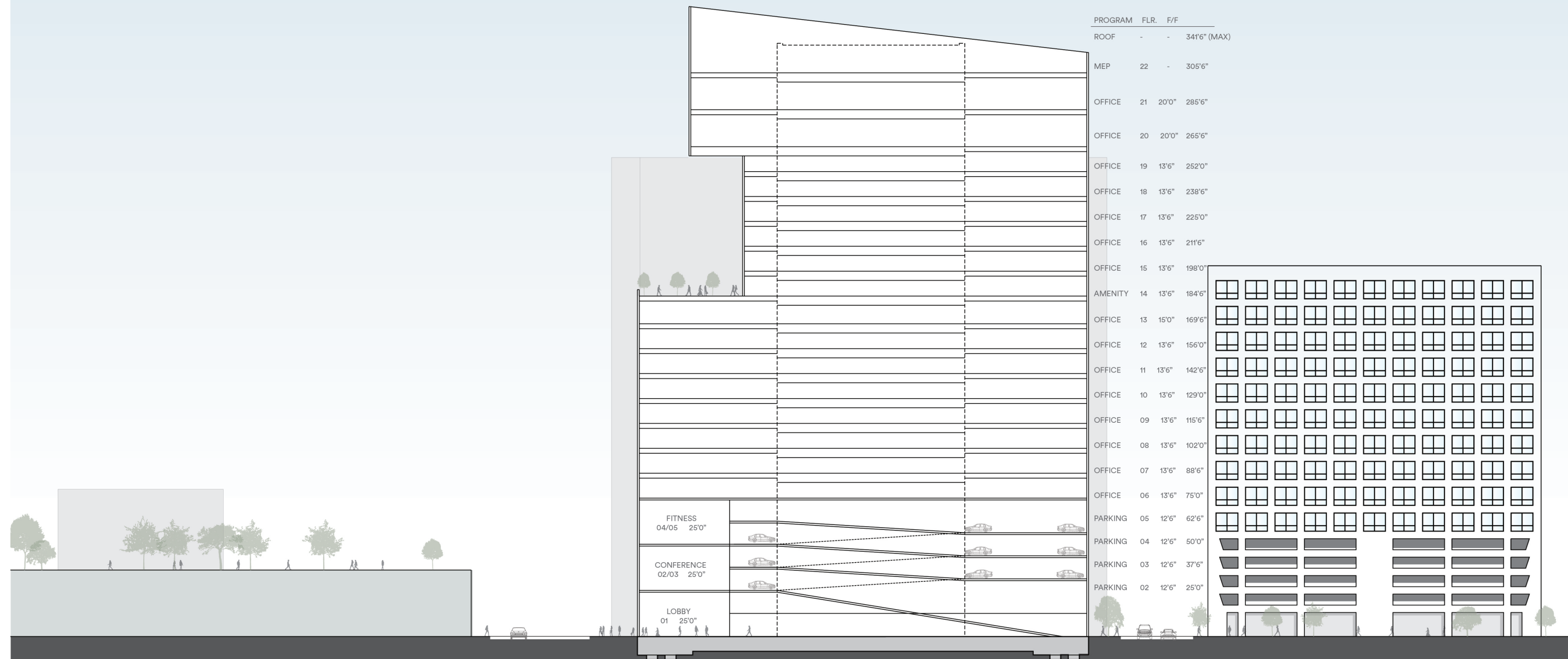
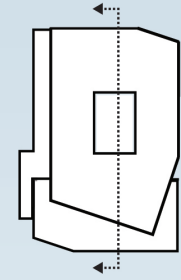




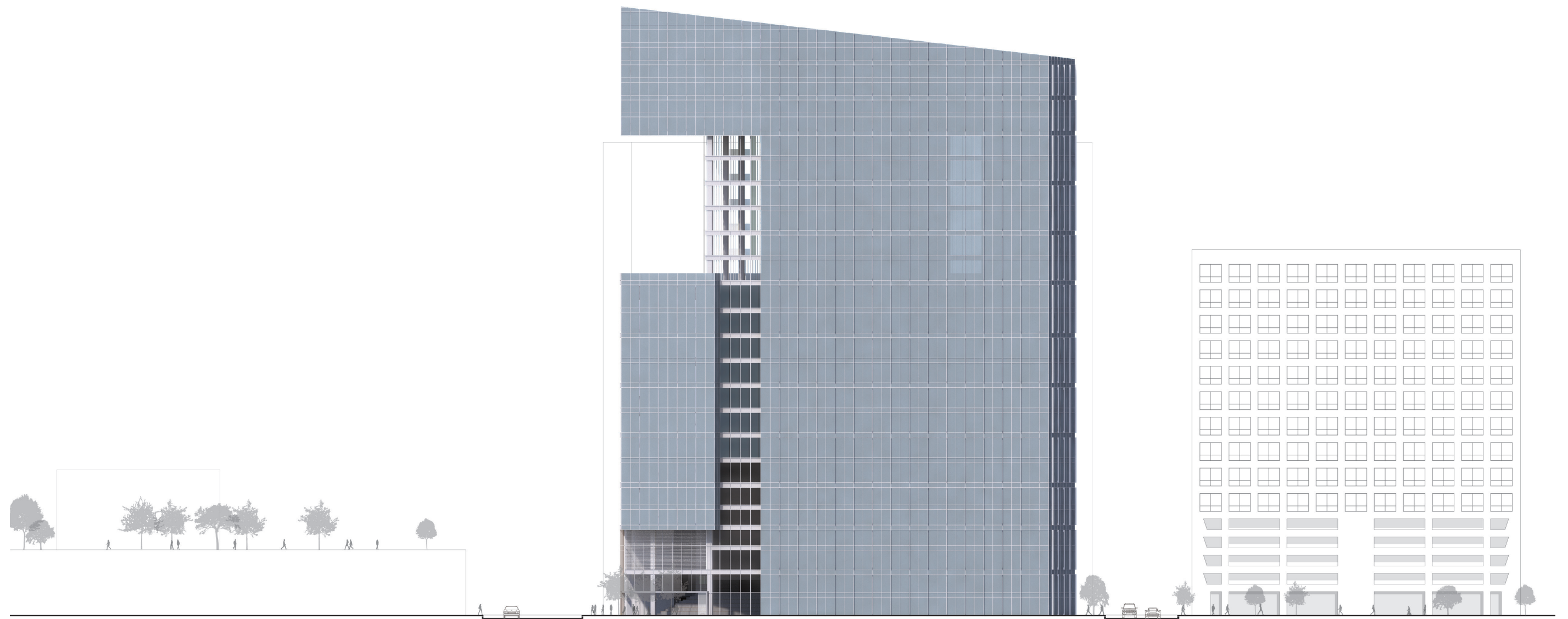
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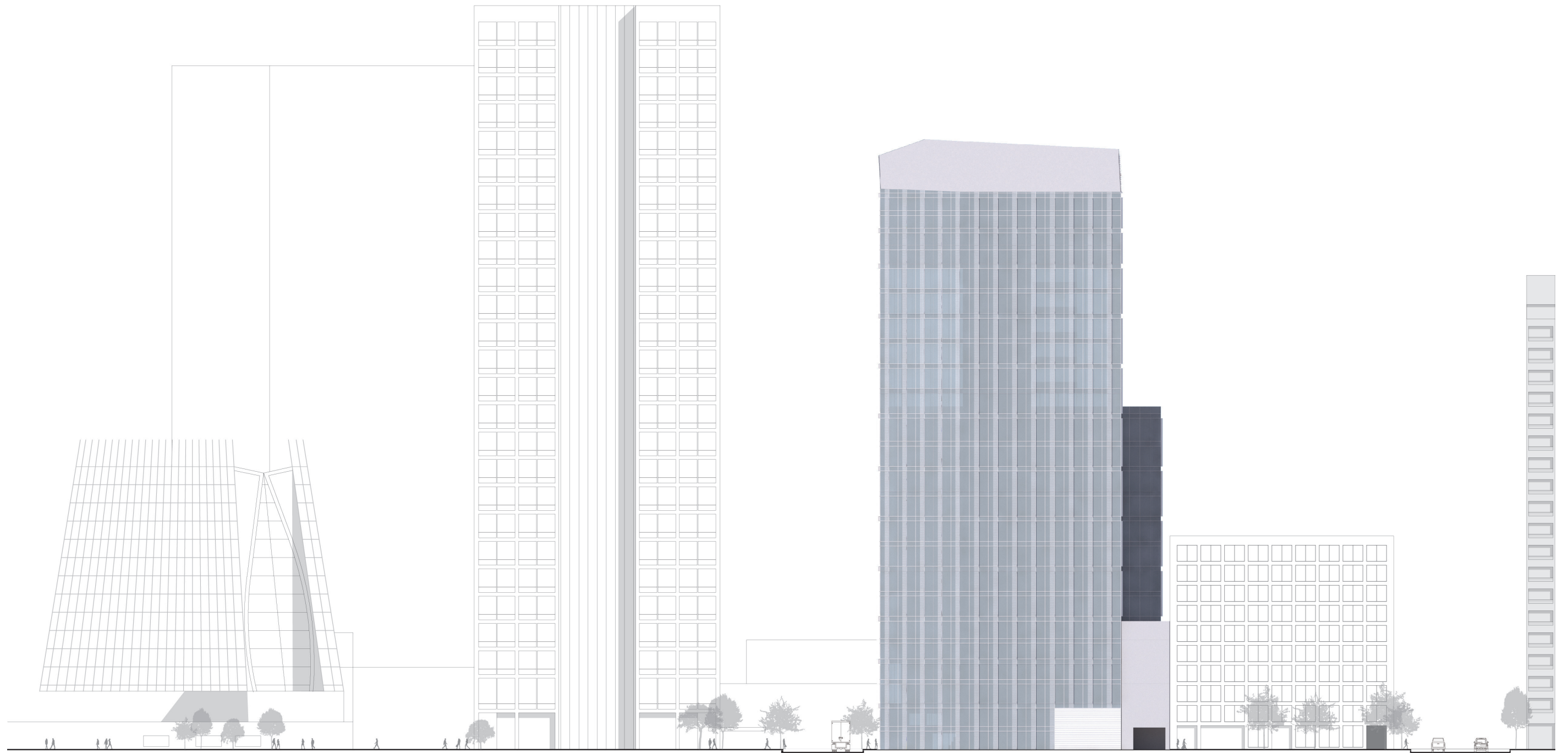


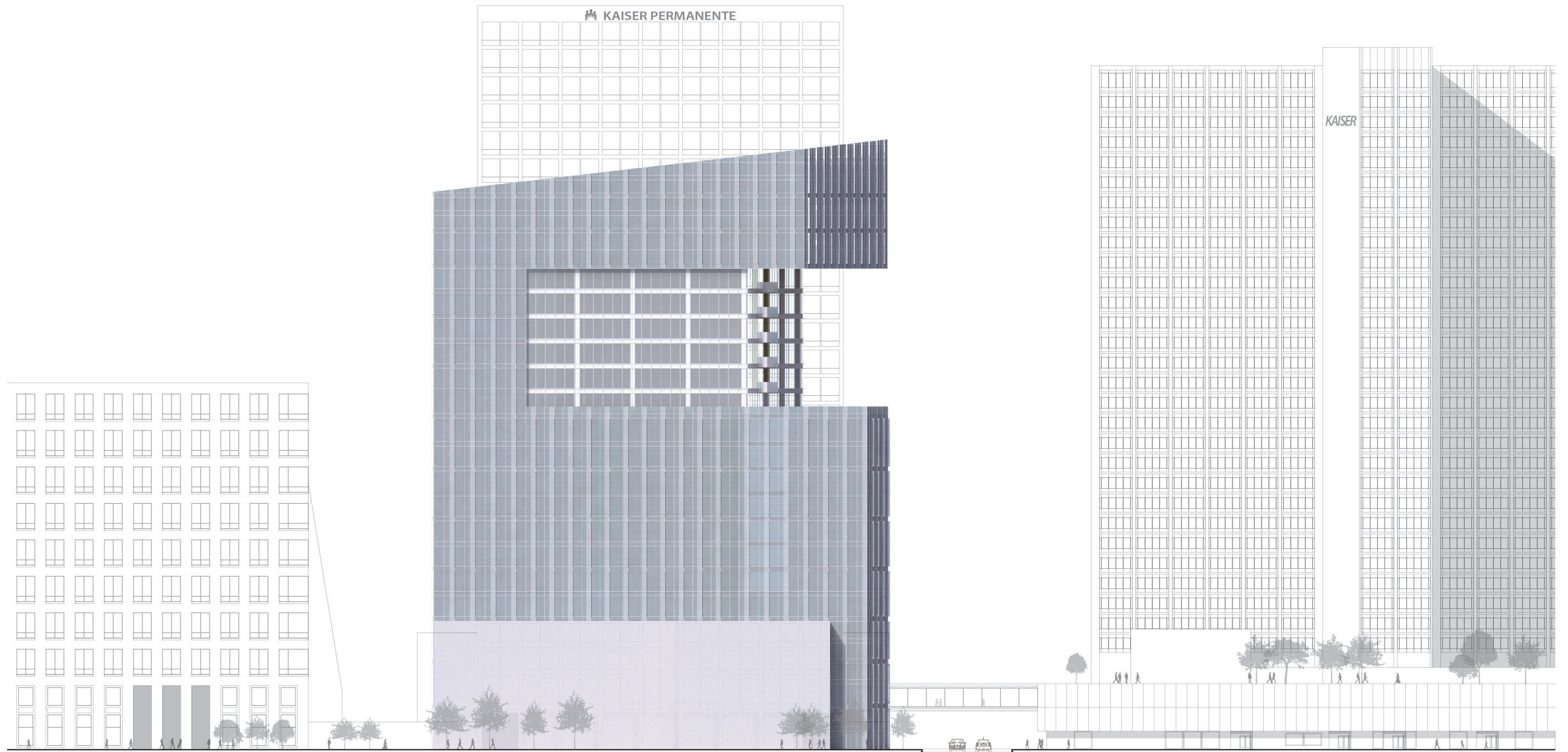










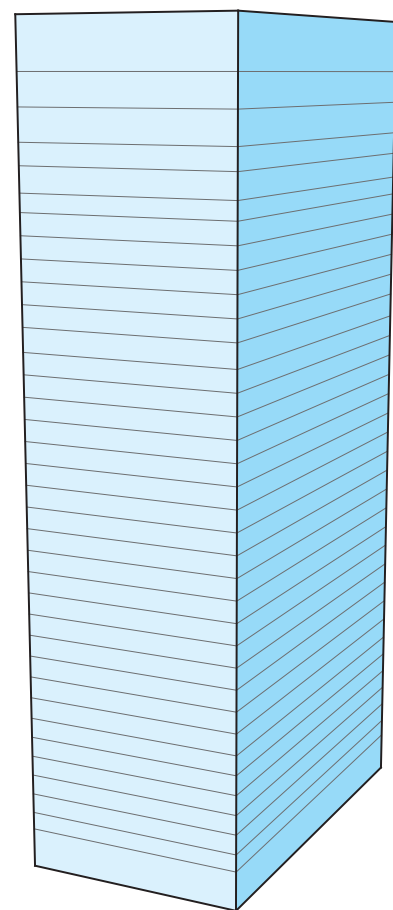


FLR. ELEV.	F / F	FLR.	Program	OFFICE			PARKING		RETAIL	LOBBY	SERVICE	CONFERENCE	FITNESS	TOTAL
				NRSF*	NUSF	GSF	SPACES	GSF	GSF	GSF	GSF	GSF	GSF	GSF
+320.50														
+305.50	15	22	Roof											
+285.50	20	21	Office	26,305	22,920	28,250							28,250	
+265.50	20	20	Office	26,305	22,920	28,250							28,250	
+252.00	13.5	19	Office	21,840	18,455	24,000							24,000	
+238.50	13.5	18	Office	21,840	18,455	24,000							24,000	
+225.00	13.5	17	Office	21,840	18,455	24,000							24,000	
+211.50	13.5	16	Office	21,840	18,455	24,000							24,000	
+198.00	13.5	15	Office	21,840	18,455	24,000							24,000	
+184.50	13.5	14	AMENITY & Office	21,840	18,455	24,000							24,000	
+169.50	15	13	Office	30,061	26,756	32,600							32,600	
+156.00	13.5	12	Office	30,061	26,756	32,600							32,600	
+142.50	13.5	11	Office	30,061	26,756	32,600							32,600	
+129.00	13.5	10	Office	30,061	26,756	32,600							32,600	
+115.50	13.5	09	Office	30,061	26,756	32,600							32,600	
+102.00	13.5	08	Office	30,061	26,756	32,600							32,600	
+88.50	13.5	07	Office	30,061	26,756	32,600							32,600	
+75.00	13.5	06	Office	30,061	26,756	32,600							32,600	
+62.50	12.5	05	Parking				56	30,250					30,250	
+50.00	12.5	04	Parking / Fitness				56	30,250				6,790	37,040	
+37.50	12.5	03	Parking				56	30,250					30,250	
+25.00	12.5	02	Parking / Conference				56	30,250			3,500		33,750	
+12.50	12.5	M	Mezzanine										10,250	
+0.00	12.5	01	LOBBY & Service					10,830	10,250	18,870			39,950	
		B1	No Basement											
				424,138	370,618	461,300	224	121,000	10,830	10,250	18,870	3,500	6,790	642,790
				NRSF	NUSF	GSF	SPACES	GSF	GSF	GSF	GSF	GSF	GSF	TOTAL GSF

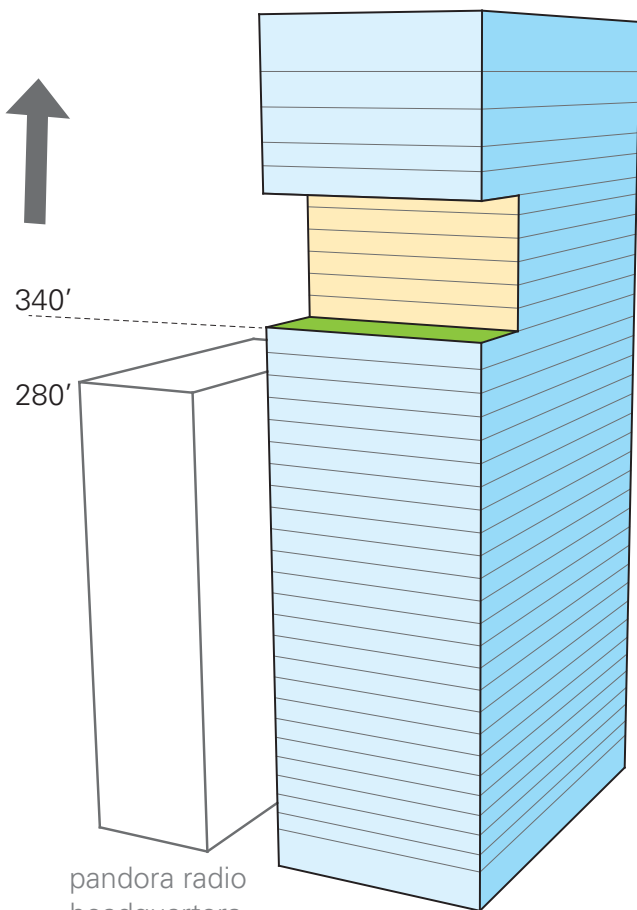
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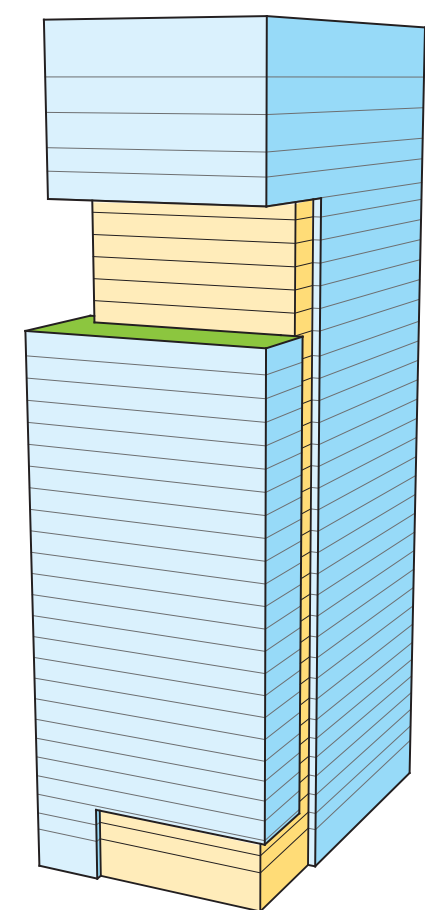
SCHEME B
890K GSF



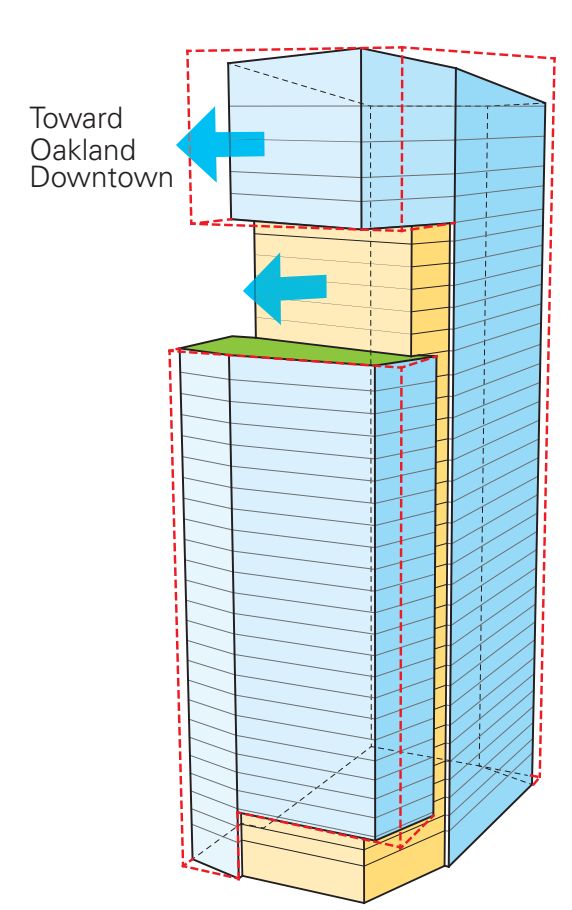
01 Extrude maximum zoning envelope



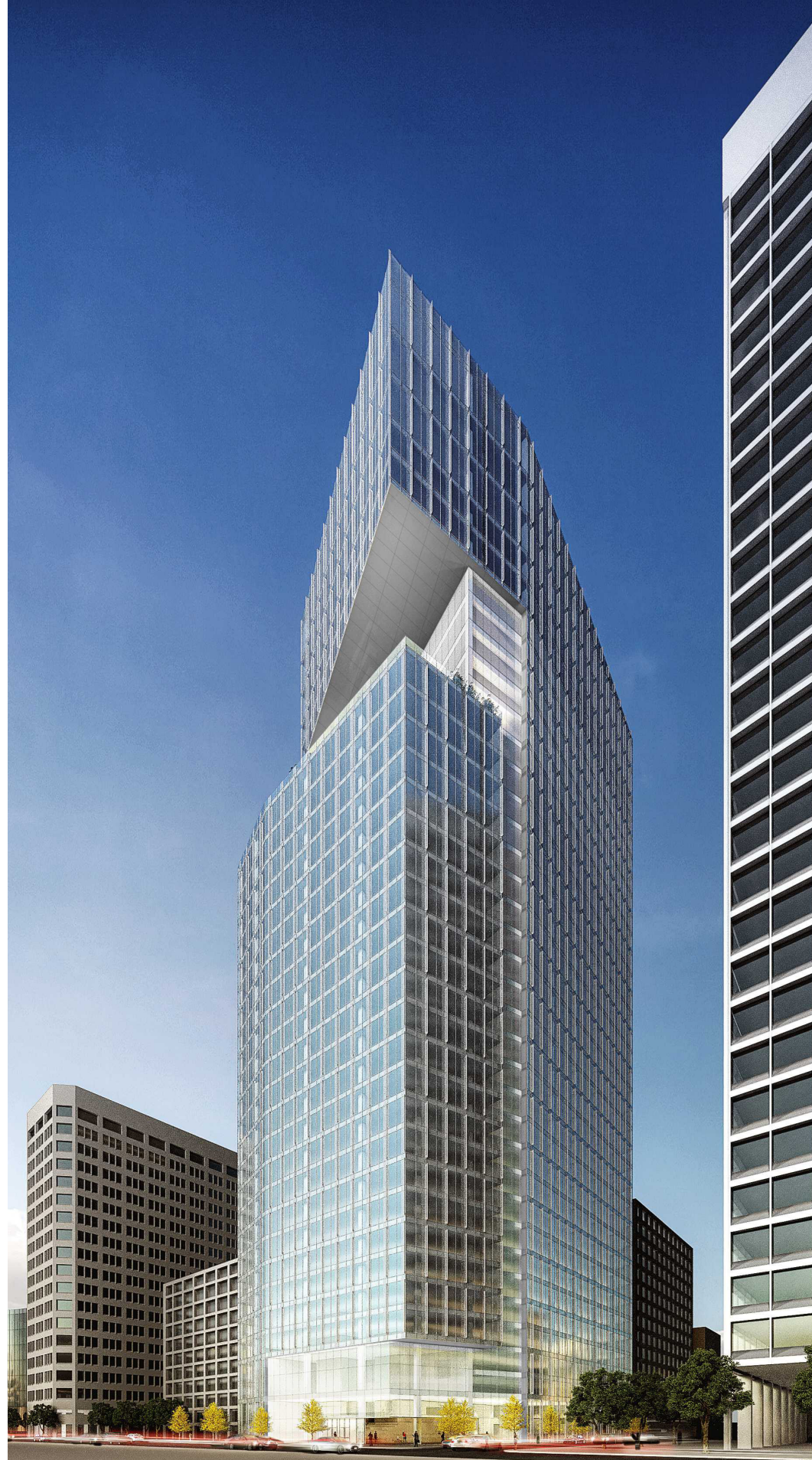
02 Subtract Sky Terrace to create three differently sized floor plates



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890K SCHEME

FROM SOUTH WEST

2 KAISER PLAZA
02.10.2017

CIM

SCB



890K SCHEME

FROM NORTH EAST

2 KAISER PLAZA
02.10.2017

CIM

SCB



890K SCHEME

FROM NORTH WEST

2 KAISER PLAZA
02.10.2017

CIM

SCB



890K SCHEME

FROM SOUTH EAST

2 KAISER PLAZA
02.10.2017

CIM

SCB





890K SCHEME

STREET LEVEL

2 KAISER PLAZA
02.10.2017

CIM

SCB





01





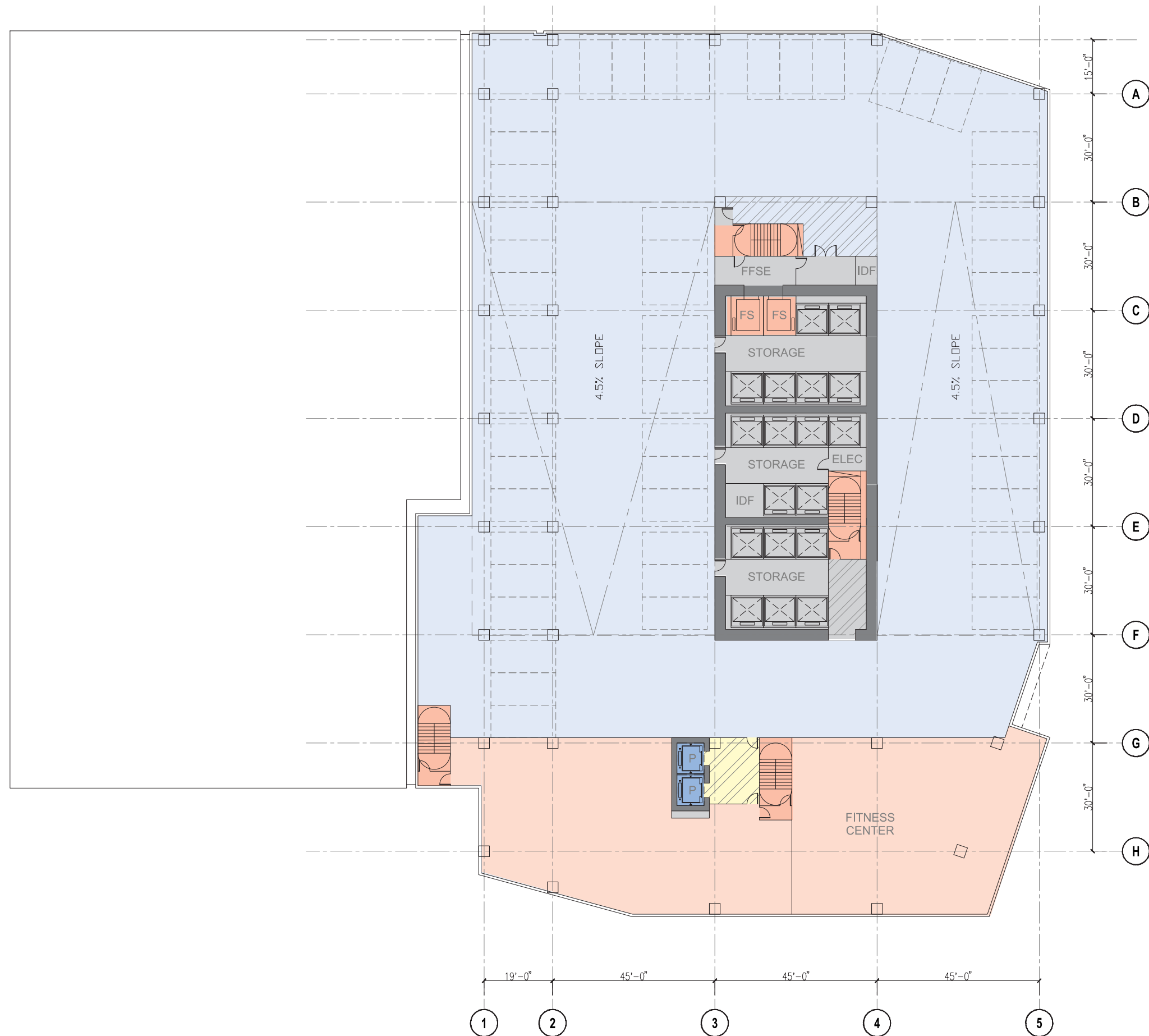
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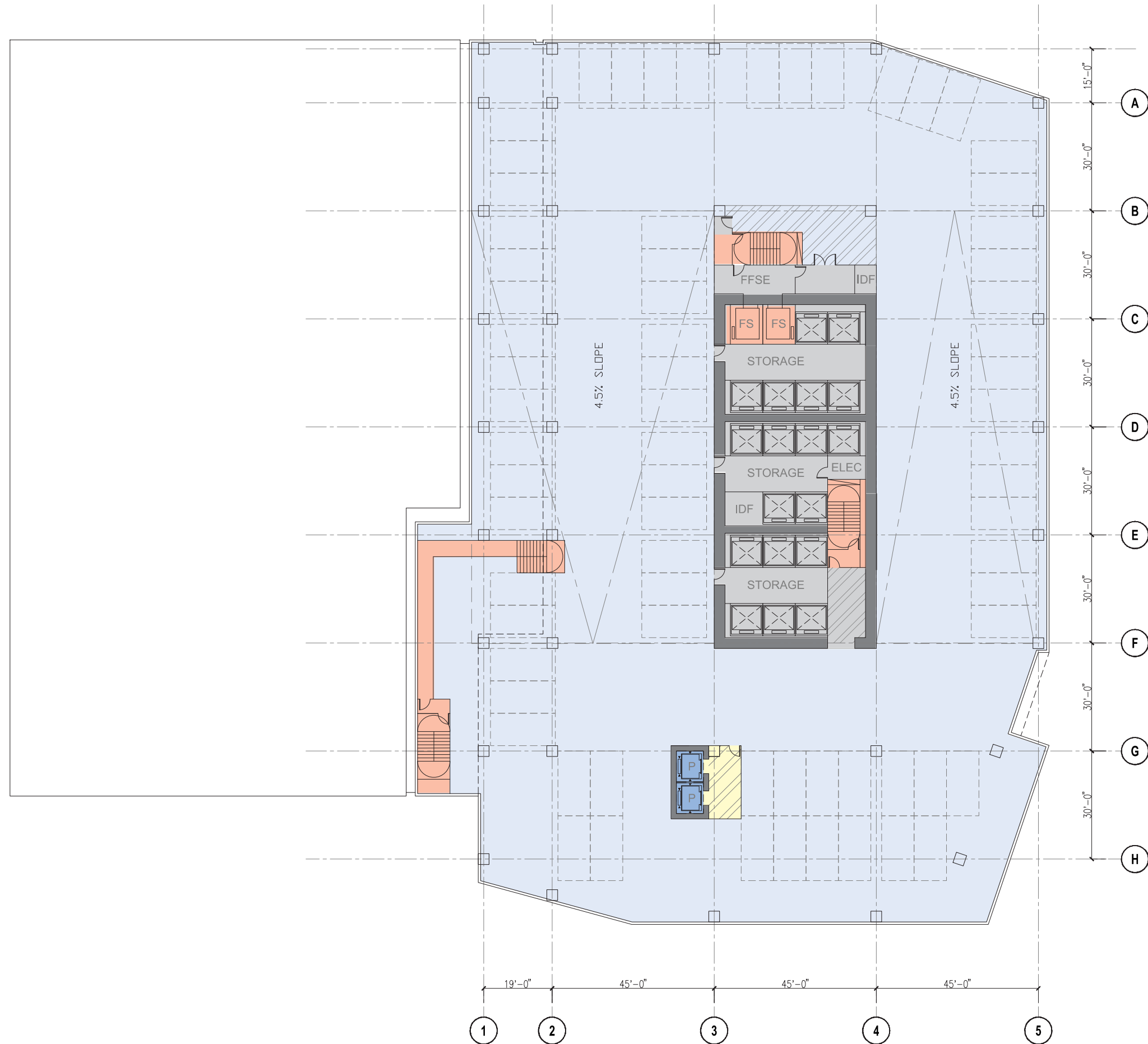
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04-05





06-07





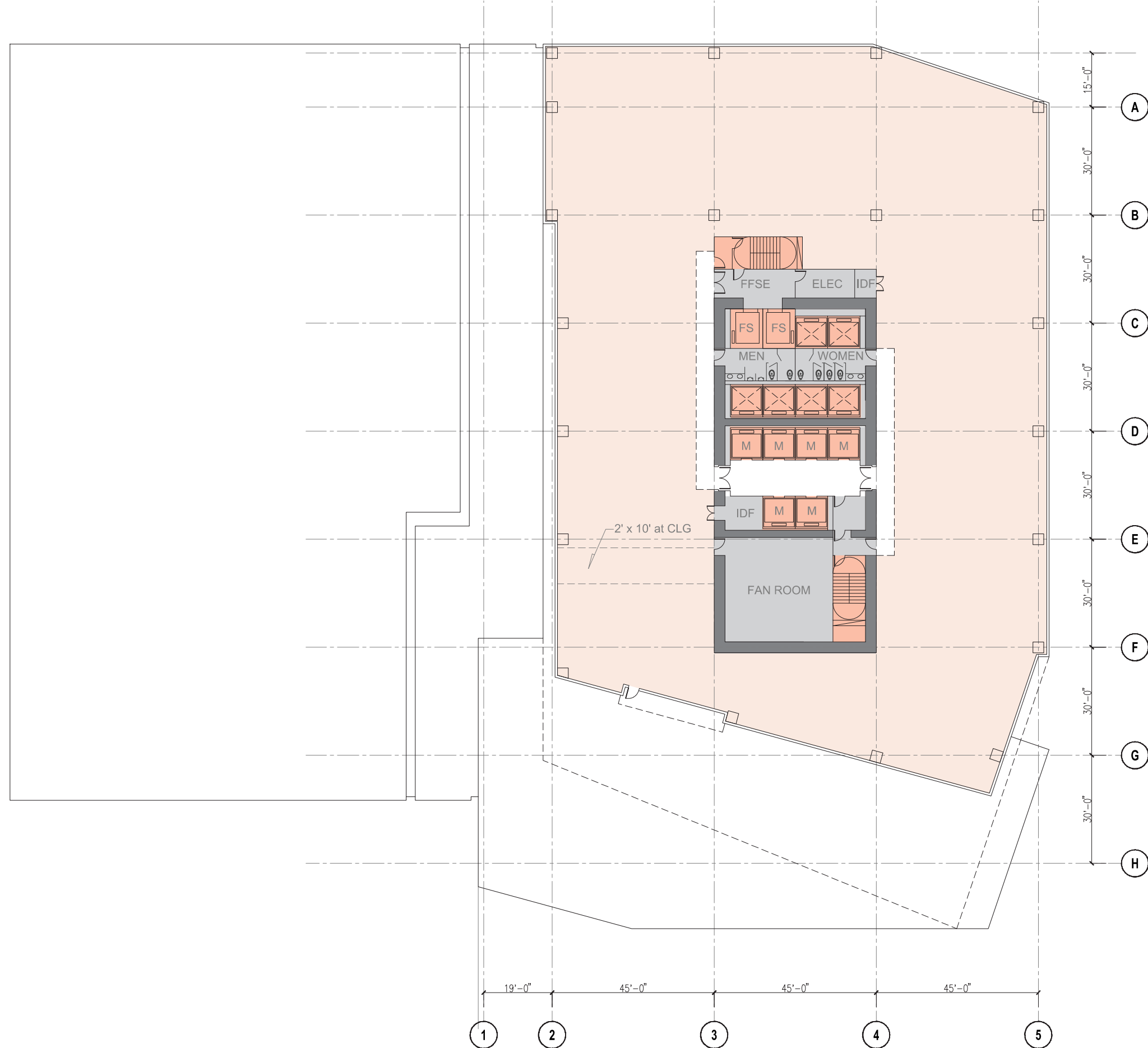
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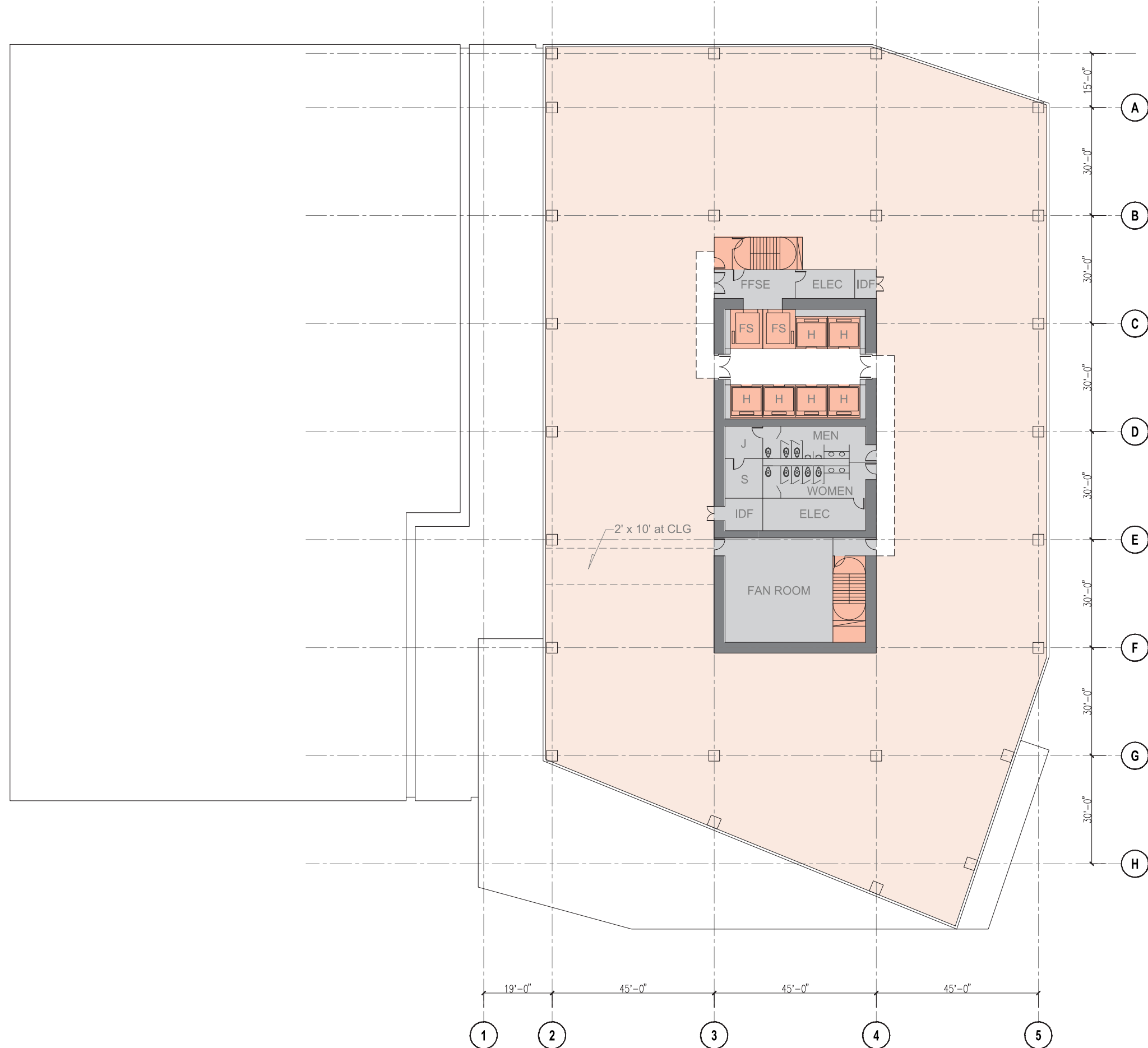
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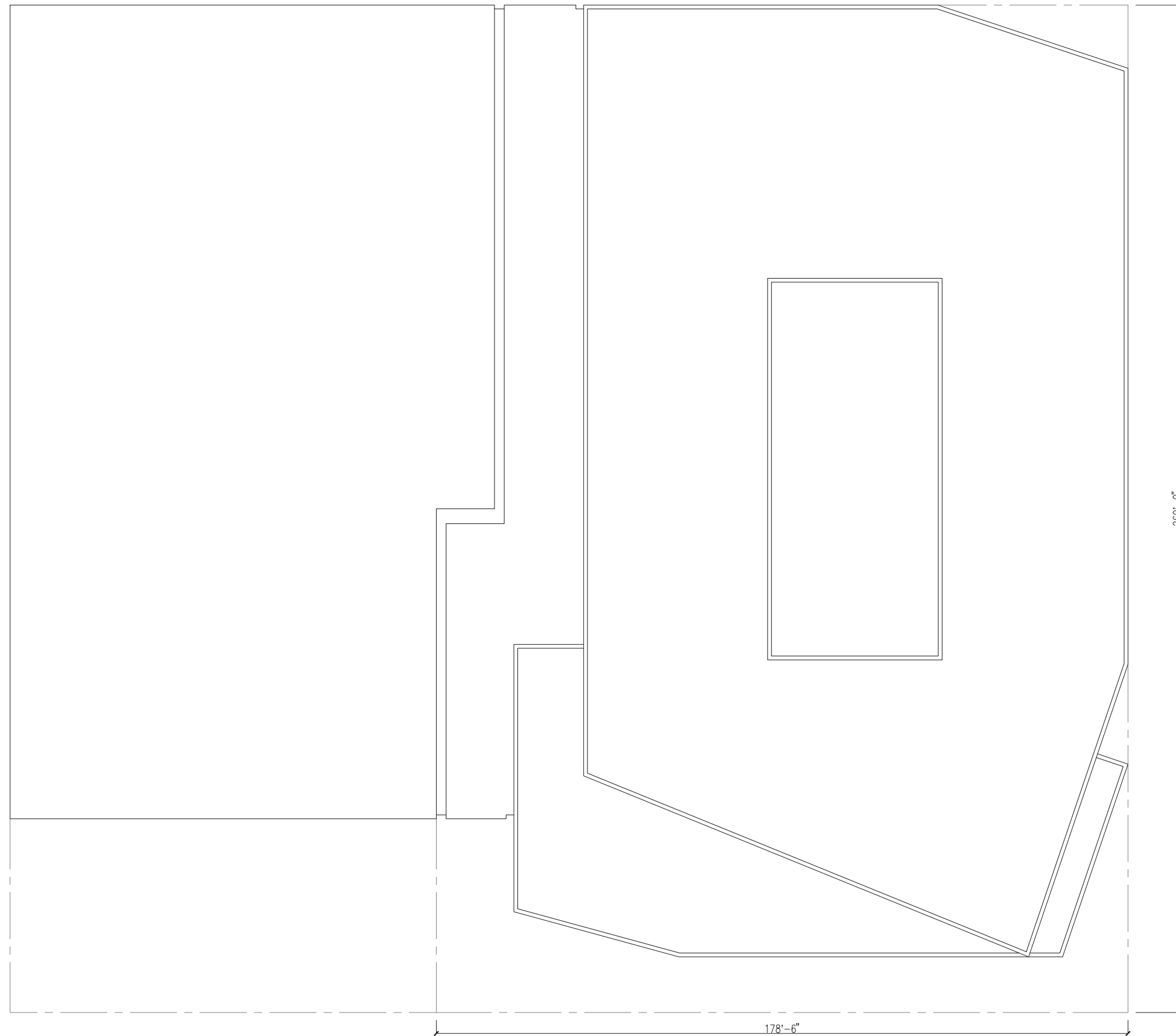
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32-35





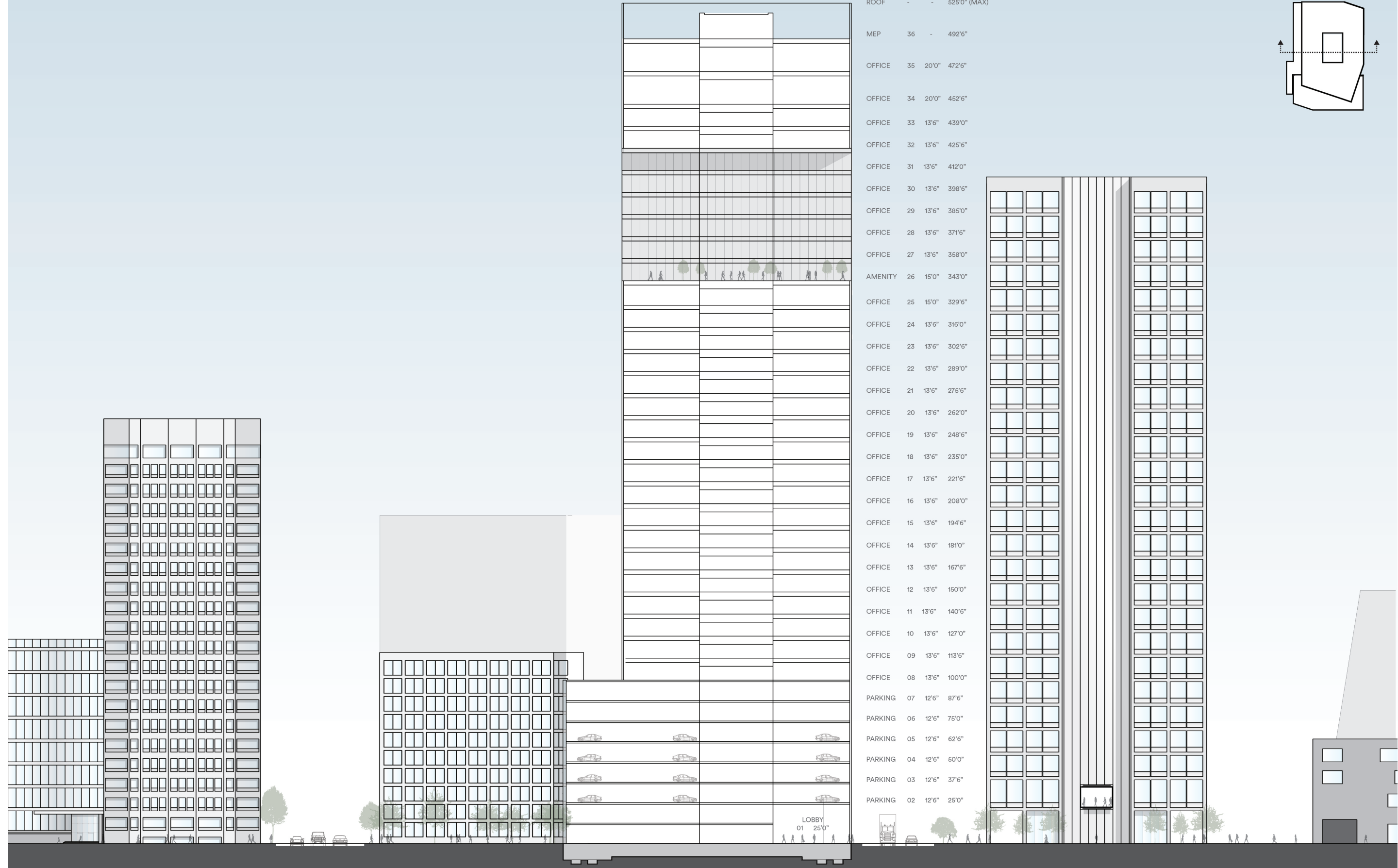
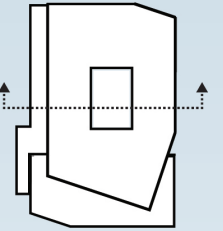
36



0 16' 32'

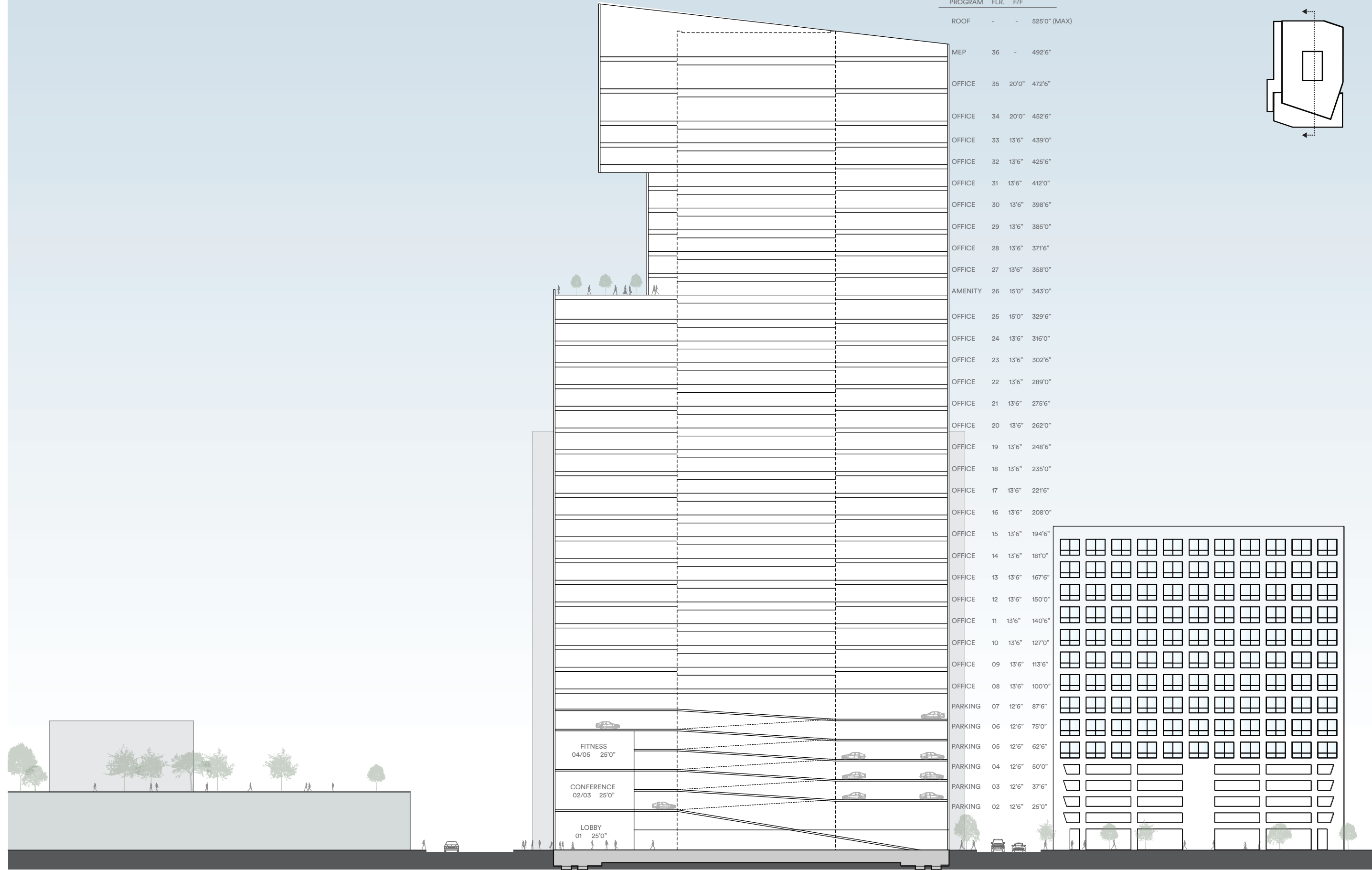
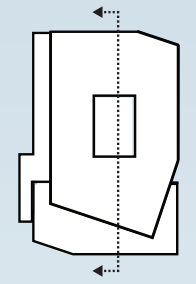
PROGRAM FLR. F/F

ROOF	-	-	525'0" (MAX)
MEP	36	-	492'6"
OFFICE	35	20'0"	472'6"
OFFICE	34	20'0"	452'6"
OFFICE	33	13'6"	439'0"
OFFICE	32	13'6"	425'6"
OFFICE	31	13'6"	412'0"
OFFICE	30	13'6"	398'6"
OFFICE	29	13'6"	385'0"
OFFICE	28	13'6"	371'6"
OFFICE	27	13'6"	358'0"
AMENITY	26	15'0"	343'0"
OFFICE	25	15'0"	329'6"
OFFICE	24	13'6"	316'0"
OFFICE	23	13'6"	302'6"
OFFICE	22	13'6"	289'0"
OFFICE	21	13'6"	275'6"
OFFICE	20	13'6"	262'0"
OFFICE	19	13'6"	248'6"
OFFICE	18	13'6"	235'0"
OFFICE	17	13'6"	221'6"
OFFICE	16	13'6"	208'0"
OFFICE	15	13'6"	194'6"
OFFICE	14	13'6"	181'0"
OFFICE	13	13'6"	167'6"
OFFICE	12	13'6"	150'0"
OFFICE	11	13'6"	140'6"
OFFICE	10	13'6"	127'0"
OFFICE	09	13'6"	113'6"
OFFICE	08	13'6"	100'0"
PARKING	07	12'6"	87'6"
PARKING	06	12'6"	75'0"
PARKING	05	12'6"	62'6"
PARKING	04	12'6"	50'0"
PARKING	03	12'6"	37'6"
PARKING	02	12'6"	25'0"



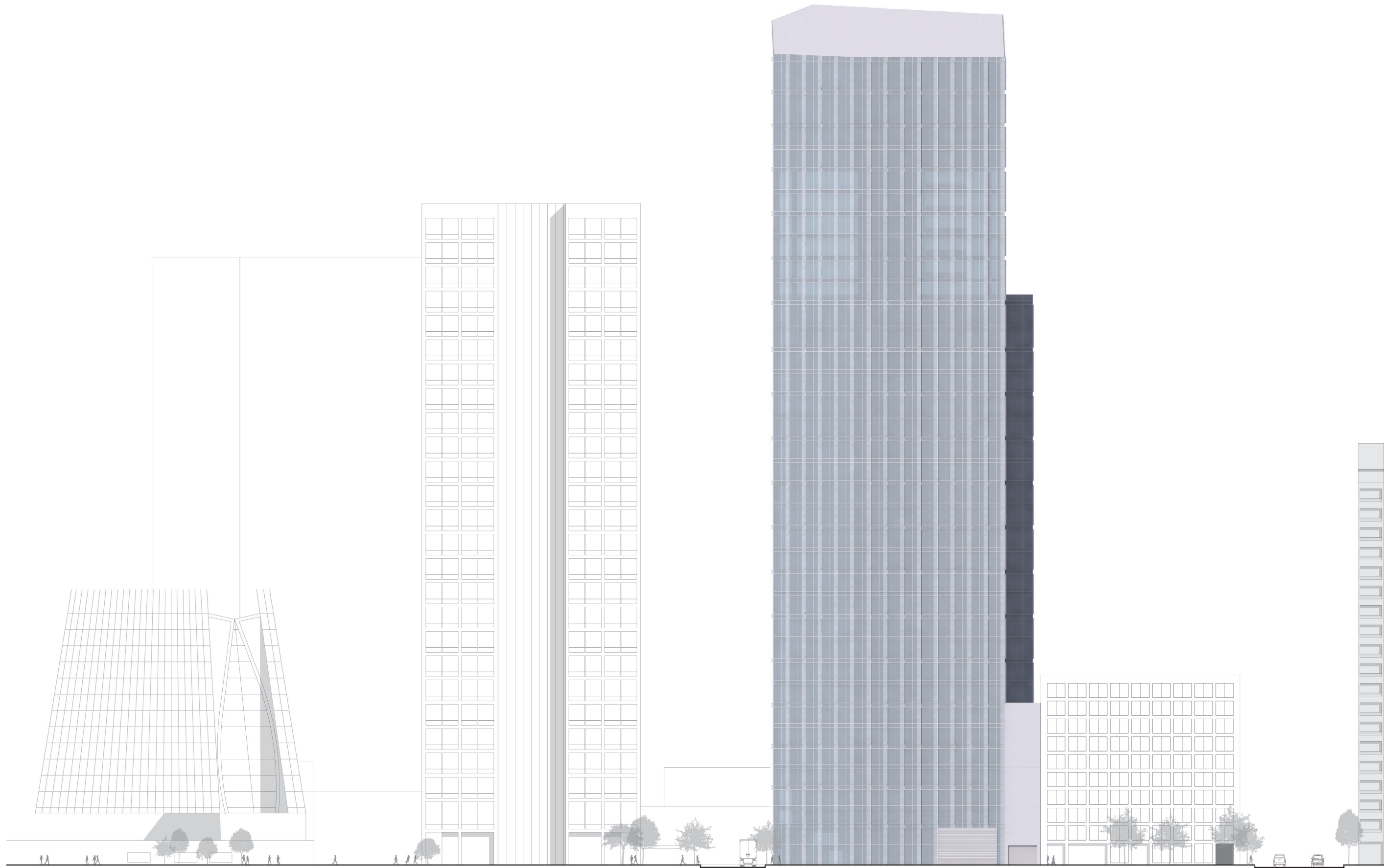
PROGRAM FLR. F/F

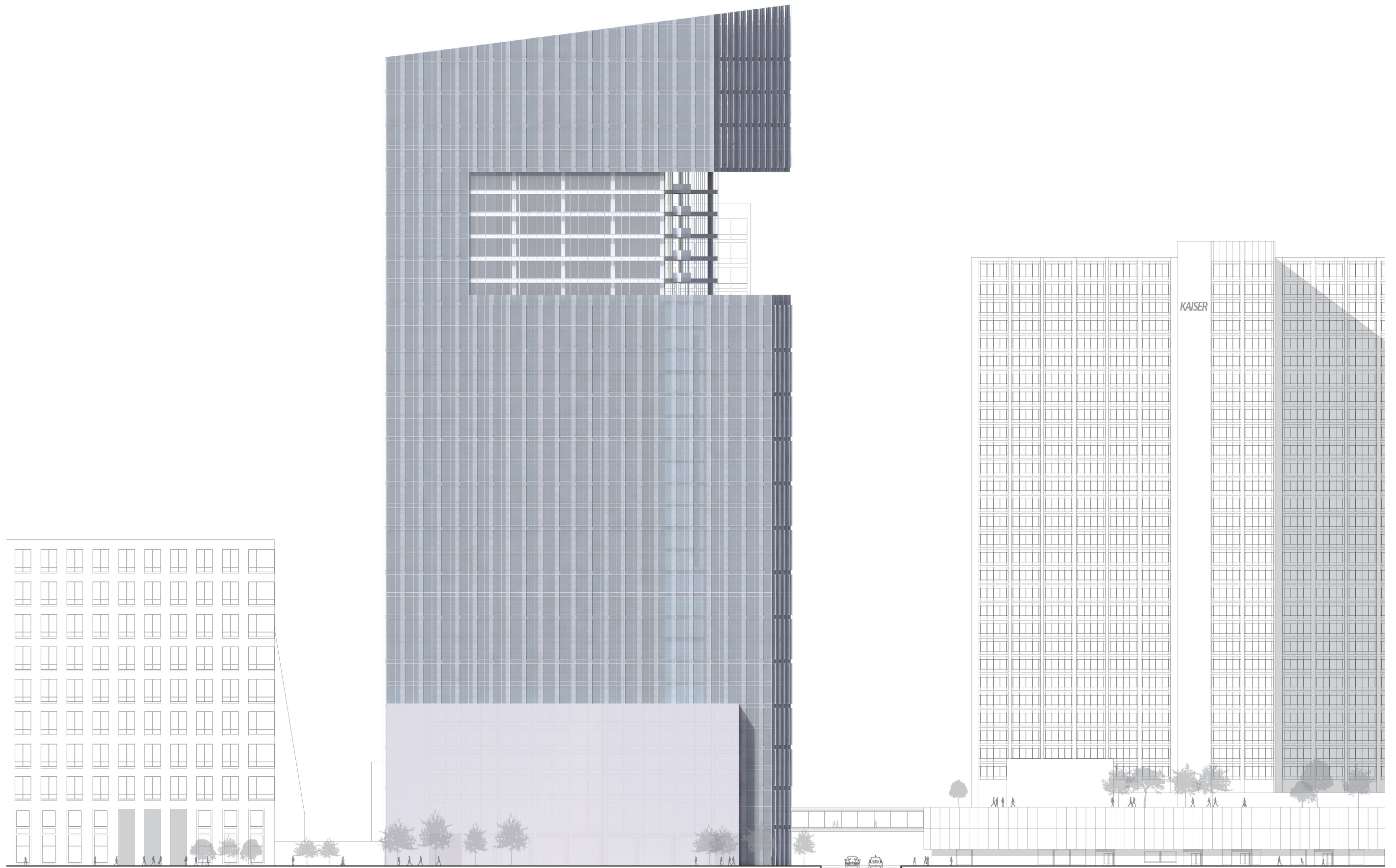
ROOF	-	-	525'0" (MAX)
MEP	36	-	492'6"
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PARKING	04	12'6"	50'0"
PARKING	03	12'6"	37'6"
PARKING	02	12'6"	25'0"











FLR. ELEV.	F / F	FLR.	Program	OFFICE			PARKING		RETAIL	LOBBY	SERVICE	CONFERENCE	FITNESS	TOTAL
				NRSF*	NUSF	GSF	SPACES	GSF	GSF	GSF	GSF	GSF	GSF	GSF
+507.50														
+492.50	15	36	Roof											
+472.50	20	35	Office	28,715	24,370	30,450							30,450	
+452.50	20	34	Office	28,715	24,370	30,450							30,450	
+439.00	13.5	33	Office	28,715	24,370	30,450							30,450	
+425.50	13.5	32	Office	28,715	24,370	30,450							30,450	
+412.00	13.5	31	Office	23,050	19,250	26,000							26,000	
+398.50	13.5	30	Office	23,050	19,250	26,000							26,000	
+385.00	13.5	29	Office	23,050	19,250	26,000							26,000	
+371.50	13.5	28	Office	23,050	19,250	26,000							26,000	
+358.00	13.5	27	Office	23,050	19,250	26,000							26,000	
+343.00	15	26	AMENITY & Office	23,050	19,250	26,000							26,000	
+329.50	13.5	25	Office	31,645	27,725	34,700							34,700	
+316.00	13.5	24	Office	31,645	27,725	34,700							34,700	
+302.50	13.5	23	Office	31,645	27,725	34,700							34,700	
+289.00	13.5	22	Office	31,645	27,725	34,700							34,700	
+275.50	13.5	21	Office	31,645	27,725	34,700							34,700	
+262.00	13.5	20	Office	31,645	27,725	34,700							34,700	
+248.50	13.5	19	Office	31,645	27,725	34,700							34,700	
+235.00	13.5	18	Office	31,645	27,725	34,700							34,700	
+221.50	13.5	17	Office	31,645	27,725	34,700							34,700	
+208.00	13.5	16	Office	31,645	27,725	34,700							34,700	
+194.50	13.5	15	Office	31,645	27,725	34,700							34,700	
+181.00	13.5	14	Office	31,645	27,725	34,700							34,700	
+167.50	13.5	13	Office	31,645	27,725	34,700							34,700	
+154.00	13.5	12	Office	31,645	27,725	34,700							34,700	
+140.50	13.5	11	Office	31,645	27,725	34,700							34,700	
+127.00	13.5	10	Office	31,645	27,725	34,700							34,700	
+113.50	13.5	09	Office	31,645	27,725	34,700							34,700	
+100.00	13.5	08	Office	31,645	27,725	34,700							34,700	
+87.50	12.5	07	Parking				70	39,400					39,400	
+75.00	12.5	06	Parking				70	39,400					39,400	
+62.50	12.5	05	Parking				55	31,900					31,900	
+50.00	12.5	04	Parking / FITNESS				55	31,900				7,500	39,400	
+37.50	12.5	03	Parking				55	31,900					31,900	
+25.00	12.5	02	Parking / CONFERENCE				55	31,900			3,600		35,500	
+12.50	12.5	M	Mezzanine										11,180	
+0.00	12.5	01	LOBBY & Service					9,720	12,000	20,000			41,720	
		B1	No Basement											
				822,770	712,030	902,400	360	206,400	9,720	12,000	20,000	3,600	7,500	1,172,800
				NRSF	NUSF	GSF	SPACES	GSF	GSF	GSF	GSF	GSF	TOTAL GSF	

R: 0.39 /K

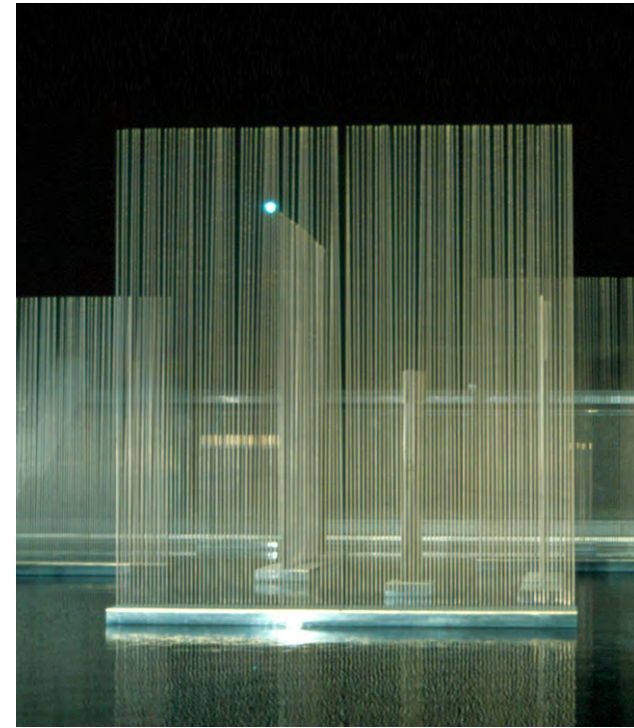


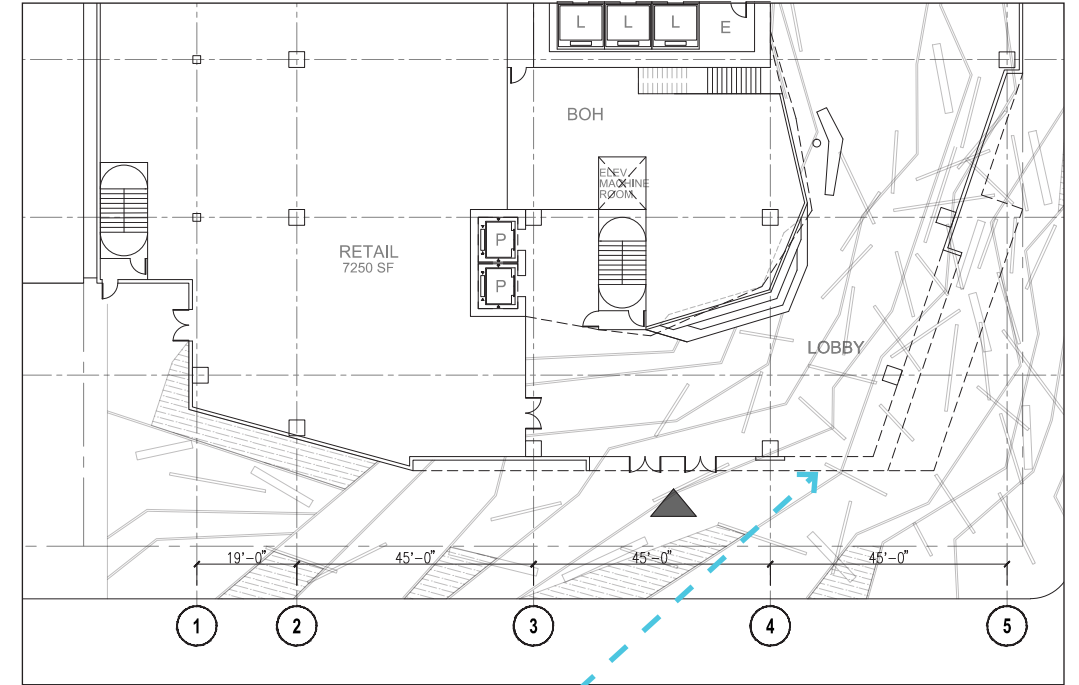
PRECEDENT IMAGES





PRECEDENT IMAGES





SIGN LOCATION - - - - -
SIGN PRINTED ONTO GLASS, NO ADDITIONAL LIGHTING





UPLIT GLASS SOFFIT



- ① Glass Curtain Wall Type 1
- ② Glass Curtain Wall Type 2
- ③ Fritted Glass
- ④ Yellow Glass
- ⑤ Aluminum Slab Cover, Mullions, Fins

