

Design Review Committee

Case File Number: ZP160026

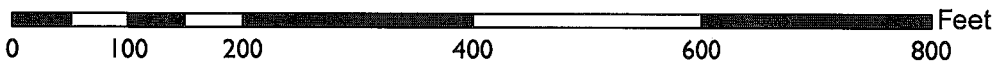
October 26, 2016

Project Location / Assessor's Parcel Numbers:	1431 Jefferson Street 003 007101801 & 003 007101900
Proposal:	To construct an 18-story, 276 room hotel with ground-floor retail and a four-level parking garage above grade.
Applicant/ Phone Number:	Michael Stanton Architecture / (415) 865-9600
Property Owner:	Karan Suri
Case File Number:	ZP160026
Planning Permits Required:	Regular Design Review for new construction.
General & Estuary Plan:	Central Business District
Zoning Districts:	CBD-P, CBD-X
Environmental Determination:	Environmental analysis under review
Property Historic Status:	Non-Historic Property
Service Delivery District:	Metro
City Council District:	3
Action to be Taken:	Conduct design review, make recommendations to applicant & staff
For Further Information:	Contact Case Planner, Mike Rivera at (510) 238-6417, or by email at mrivera@oaklandnet.com

PROJECT SUMMARY

The proposed development is for the new construction of an 18-story, 276 room hotel with ground-floor retail. The property is in the Central Business District and located at the corner of Jefferson Street and 14th and 15th Streets in Downtown. Currently, the development site contains an auto-fee parking lot and a one-story commercial building that will be replaced by the proposed hotel. The design review application is presented to the Design Review Committee for comments and direction, based on the City's General Plan Policies and Design Review Guidelines that are applicable for this application. Eventually, the proposal will require final review and determination by the Planning Commission on a future public hearing date.

CITY OF OAKLAND PLANNING COMMISSION



Case File: ZP160026
Applicant: Michael Stanton
Address: 1431 Jefferson Street
Zone: CBD-P, CBD-X

SITE DESCRIPTION

The development site is located to the northwest of Downtown on a 17,637 square foot (0.40 acres) property, which is occupied by an auto-fee parking lot and a convenience market. The property is west of Jefferson Street, between 14th and 15 Streets and is surrounded by commercial, civic and residential facilities. The surrounding properties are a combination of high-density residential (to the north), administrative offices, restaurants/cafes, consumer services, and hotels (to the east), retail/cafes, high-density residential (to the south) and medium-density residential with commercial uses (to the west). The paved parking lot is partially surrounded by a chain-link fence to the south and west and provides parking for approximately 45 to 50 vehicles. The site also contains a valet parking booth with an attendant during business hour. The property has three curb cuts that provide vehicular access to the parking lot along Jefferson and 15th Streets. The property does not contain any other structures or significant landscaping other than two small trees, located along the rear of the property that will be removed.

PROJECT DESCRIPTION

The proposal is to construct an 18-story, 276 room hotel with a ground-floor retail area, a four-level parking garage and a partial underground level for hotel services area. The 203,317 square feet "Marriott AC Hotel & Residence Inn" will have an approximately 1,500 square feet of ground-floor retail area, located at the corner of Jefferson and 14th Streets. The hotel lobby, reception area, lounge and bar, breakfast room and offices will be located on the ground-floor. The main entries to the hotel will be on Jefferson Street. The four-level parking garage with its driveway entry on 15th Street will provide off-street parking for 95 parking stalls. Next to the ground-floor garage, the building will contain other utility rooms, a trash /delivery area and a transformer vault that will have access from 15th Street. The second-floor will contain other hotel amenities such as a fitness room, breakfast and bar area including a social lounge. The second-floor will also have a laundry area, housekeeping and employee offices. Between the 3rd and 18th floor, the hotel will provide a mix of rooms that range from studios, one-bedroom and two-bedrooms. Access to all of the floors will be through four-elevator bays and two separate stairways. Above the 12th floor, two separate roof gardens are proposed on the north and south sides of the building that will manage stormwater filtration. Similarly, the project includes three separate landscaped stormwater treatment areas around the exterior of the building on Jefferson and 15th Streets.

GENERAL PLAN ANALYSIS

The project development is located in the Central Business District (CBD) classification where a mix of urban residential living and a wide range of business operations exist. The focus for Downtown should be high density and intensity activities that can take advantage of the existing transportation infrastructure and communication network. The intent of the CBD is to encourage, support, and enhance Downtown areas as a high density mixed-use urban center of regional importance and a hub for business, communications, office, government, high technology, retail, entertainment and transportation. The desired character and uses in the CBD include a mix of large-scale offices, commercial, urban high-rise

residential, cultural, educational, arts, services, community facilities and visitor uses. The CBD classification also sets the goals and vision to enhance the identity of Downtown and its distinctive districts by setting policies that are related to specific project developments. The following are the General Plan Policies applicable to the project proposal and the project development should be consistent when a final determination is made by the Planning Commission:

Policy D1.1: The defining characteristics that make Downtown unique includes its strong core area; proximity to destinations such as the Jack London waterfront, Lake Merritt, historic areas, cultural, arts, housing stock and entertainment activities should be enhanced and used to strengthen the Downtown as a local and regional asset.

Policy D2.1: Enhance the visual quality of Downtown by encouraging new, high quality design development. New development should be visually interesting, harmonize with its surroundings, respect and enhance important views in and of the Downtown, respect the character, history and pedestrian-orientation of the Downtown and contribute to an attractive skyline.

Policy D4.2: Providing a positive business climate that encourages attraction of new businesses in Downtown should be supported to promote Downtown's locational transportation systems and other amenities.

Policy D4.3: Attracting employment to Downtown to economic sectors that promote employment, are likely to grow or will diversify the economic base should be attracted to the Downtown.

Policy D5.1: Encouraging 24-hour activities and amenities that encourage pedestrian traffic and enhance safety during the work week, evenings and weekends should be promoted in Downtown.

Policy D6.1: Development of vacant lots or replacement of surface parking lots should be encouraged throughout Downtown to eliminate blight caused by underutilized properties.

Policy N1.1: Providing for healthy, vital, and accessible commercial areas that help meet local consumer needs. Concentrating commercial development in neighborhoods that are economically viable and provide opportunities for smaller scale retail.

Policy N1.7: Providing and locating hotels in Downtown, Waterfront, Oakland airport and along I-880 corridor should be encouraged.

ZONING ANALYSIS

The development site is located in the Central Business District Mixed Commercial (CBD-X) and Pedestrian Retail (CBD-P) Zone. The purpose of the CBD-X zone is to designate areas of the Central Business District appropriate for a wide range of upper-story and ground-level residential, commercial and compatible light industrial activity. The purpose of the CBD-P zone is to create, maintain, and enhance areas of the Central Business District for ground-level, pedestrian-oriented, active storefront uses, and for upper stories to be available for a wide range of office and residential uses. The development

proposal is located in Downtown where high density and intensity uses are essential and vital to the success of the existing commercial area and contribute to the support of local and regional transportation infrastructure and communication networks.

The hotel development is a conditionally permitted use because the property is located in the CBD-X and CBD-P Zones. Based on design plans submitted, the development requires at least three Planning permits, a Major Conditional Use Permit for new buildings that have a floor area over 200,000 square feet, a Minor Conditional Use Permit for transient habitation activity and Regular Design Review for new construction.

The table below provides a summary of the development standards applicable for the proposal.

Development Standards	Requirements	Proposed	Comments
Minimum Lot Area: Minimum Lot Width Mean: Minimum Frontage:	4,000 sq. ft. 25 ft. 25 ft.	17,637 sq. ft. 50 ft. / 120 ft. 50 ft./120 ft./206 ft.	Meets Plan
Minimum Front Setback: Maximum Front & Street Side Setbacks for the First Story: Maximum Front & Street Side Setbacks for the Second and Third Stories or 35 ft. whatever is lower: Minimum Interior Side: Minimum Rear:	0 ft. 5 ft. /10 ft. 5 ft. 0 ft. 0 ft.	0 ft. 3 ft. / 6 ft. 3 ft. / 0 ft. 0 ft. 0 ft.	Meets Plan
Maximum Floor Area:	14.0	12.0	Meets Plan
Maximum Height- Building Base: Maximum Building Height: Minimum Building Height:	85 ft. 275 ft. 45 ft.	47 ft. 187 ft. 47 ft.	Meets Plan
* Off-Street Parking-Hotel * Commercial Loading Berth-Hotel:	138 spaces 2 space	95 spaces 0 spaces	Does Not Meet Plan

* As proposed, the application does not meet the development standards. However, the new parking regulations that take effect November 3, 2016 will have different requirements. That is, there is no minimum or a maximum number of parking spaces required for the hotel, but two off-street commercial loading berths will still be required in the Central Business District.

In addition to the required zoning development standards that need to be met for this application, the proposal is subject to the general criteria for Design Review where the applicable Findings need to be made prior to a final decision by the City. Staff has listed the Findings for Regular Design Review Criteria as follow:

REGULAR DESIGN REVIEW CRITERIAFor Nonresidential Facilities.

1. That the proposal will help achieve or maintain a group of facilities which are well related to one another and which, when taken together, will result in a well composed design, with consideration given to site, landscape, bulk, height, arrangement, texture, materials, colors, and appurtenances; the relation of these factors to other facilities in the vicinity; and the relation of the proposal to the total setting as seen from key points in the surrounding area. Only elements of design which have some significant relationship to outside appearance shall be considered, except as otherwise provided in Section 17.136.060.
2. That the proposed design will be of a quality and character which harmonizes with, and serves to protect the value of, private and public investments in the area.
3. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

DESIGN STANDARDS APPLYING TO ALL ZONES

The following regulations apply to all of the zones in the Central Business District (CBD)

1. ENTRANCE. Newly constructed principal buildings shall have at least one prominent pedestrian entrance facing the principal street. Entrances at building corners facing the principal street may be used to satisfy this requirement. Building entrances include doors to one or more shops, businesses, lobbies, or living units. Entrances shall be made prominent through some combination of projecting or recessing the door area, change in material, an awning above a door, additional detailing, stairs leading to the door, and/or other features. The entrance for Nonresidential Facilities shall be at grade.

The proposal does not meet this standard because the ground-floor retail lacks direct entry access from the Jefferson Street and design elements to define a distinct and prominent feature.

2. GROUND-FLOOR TREATMENT. All ground-floor building materials shall be durable, of high quality, and display a sense of permanence. Such materials include, but are not limited to stone, tile, brick, metal panel systems, glass, and/or other similar materials. Further, the ground level of a newly constructed building shall be designed to enhance the visual experience for pedestrians and distinguish it from upper stories. This is achieved by designing a building base that is distinct from the rest of the building through the use of some combination of change of material, enhanced detailing, lighting fixtures, cornices, awnings, canopies, and/or other elements. For buildings with nonresidential ground floor space, visual interest shall also be achieved through modulating the ground floor into a regular cadence of storefront sized windows and entrances.

The proposal meets this standard because the design includes grey stone siding on the exterior of the 1st and 2nd floors of the building. Staff, however, recommends that the lower dark color bulkhead in front of the building should extend along the exterior wall of the hotel business

center, office and reception rooms. In addition, staff recommends further development should be made to improve the north side of the exterior building facade on 15th Street.

3. ACTIVE SPACE REQUIREMENT. For newly-constructed principal buildings, parking spaces, locker areas, mechanical rooms, and other non-active spaces shall not be located within thirty (30) feet from the front of the ground floor of the principal building except for incidental entrances to such activities elsewhere in the building. Driveways, garage entrances, or other access to parking and loading facilities may be located on the ground floor of this area as regulated by Subsection (B4).

The proposal meets this standard as the non-active spaces is not located within 30 feet from the front of the ground-floor of the main building.

4. PARKING AND LOADING LOCATION. For newly constructed principal buildings, access to parking and loading facilities through driveways, garage doors, or other means shall not be from the principal street when alternative access is feasible from another location such as a secondary frontage or an alley. Open parking areas shall not be located between the sidewalk and a principal building.

The proposal meets this standard because access to off-street parking will be from a secondary street frontage. However, staff recommends that the proposed design includes a commercial loading area within the building envelope and on the secondary street frontage on 15th Street.

5. MASSING. The mass of newly-constructed principal buildings shall be broken up into smaller forms to reduce the scale and enhance the visual interest of the streetscape. The massing requirements contained in this note shall be applied on all visible facades and achieved through some coordinated combination of changes in plane, building articulation, varied materials, contrasting window patterns and treatments, varying roof heights, separating upper-story floor area into two or more towers, contrasting colors, a distinct base, middle, and top, or other methods.

The proposal does not meet this standard. See further staff comments under Key Issues in this staff report.

6. UPPER STORY WINDOWS. An ample placement of windows above the ground floor is required at all street-fronting facades. To create visual interest, the placement and style of windows shall contribute to a coherent and appealing composition on the facade. Less window space is only permitted in exceptional cases if it contributes to a specific objective of the visual style and aesthetic effect of the building. Whenever possible, windows should be on all sides of a tower.

The proposal meets this standard as the project provides upper story windows on all street-fronting facades. Staff recommends the applicant further explore the installation of other type of window alternatives along the north side of the building to create visual interest. This includes the installation of windows, if feasible, along the west side of the 18-story high-rise building.

7. BUILDING TERMINUS. The top of each newly-constructed principal building shall include an element that provides a distinct visual terminus. The visual terminus shall be integrated into the design concept of the building. Examples include, but are not limited to, curvilinear or stepped forms that soften the truncated tops of buildings, cornices, and other architectural forms. These rooftop elements shall be sized, shaped, and sited to screen all rooftop mechanical equipment from view.

The proposal does not meet this standard. See further staff comments under Key Issues included in this staff report.

8. UTILITY STORAGE. For newly-constructed buildings, areas housing trash, storage, or other utility services shall be located in the garage or be otherwise completely concealed from view of the public right-of-way. Backflow prevention devices shall be located in a building alcove, landscaped area, or utility room within the building, outside of the public right-of-way, and completely screened from view from the public right-of-way unless required otherwise by a department of the City.

The proposal does meet this standard based on design plans received to date.

KEY ISSUES

Building Design: The footprint of the building covers the entire property, except for some sections of the building to the southwest, southeast and northeast of the property where the building is set back from the property line to allow window separation from the property line and landscaping for ground stormwater treatment. The project design breaks-up the building mass by placing the envelope of the 18-story high-rise to the east and the four-story low-rise to the west of the property. Along the east and west sides of the building and above the 11-story, the building steps back approximately three feet between the 12th and 18th floors to provide different wall planes and break down the visual mass of the building. Similarly, along the north and south sides of the high-rise starting on the 12th floor, the building is also step back 26 feet from 14th and 15th Streets to create roof top gardens for stormwater treatment. While the low-rise, four-story building (parking garage) provides a height transition that scales with the neighboring building to the west, the design of the high-rise contains architectural details to relate to the context in the area.

The project design utilizes different patterns of bay windows, wall planes and horizontal channel band features to provide architectural elements that tie into the urban context of the surrounding properties. To enhance building composition and style, the project design uses at least four different exterior building materials such as wood plank, stone and plaster siding, vertical metal panels and dark aluminum framing for the windows and storefront including vertical blue glass fins on the windows. The building storefront contains double-story clear glazing, recessed entry door and narrow awnings to provide an attractive setting thus providing a visual connection to the street. Staff believes that the proposal is compatible and transitions with the context of the surrounding properties in the Central Business District. Staff, however, have some reservations and believes that these need to be considered and further evaluated in order to meet the City's design review guidelines, so the following are recommended:

- Break down the east and west building facades to create design variety and smaller volumes.
- Provide different roof planes to create design variation and interest.
- Include strong horizontal design features along the base, middle and top of the building.
- Consider reducing the number of off-street parking spaces as parking regulations have changed.
- Continue to develop and articulate the "blank" building wall located to the west side of the high-rise and to the north side of the low-rise building.
- Consider using other weather-resistant materials to replace the wood plank siding.

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- Include a separate entry door from Jefferson Street to directly connect to the proposed retail store.
- Include a commercial loading berth within the property, and a valet parking area.
- Provide details for the storefront, window, entries and garage doors, awnings, landscaping, street trees, exterior lighting, signage, etc.
- Show location and details of all screened utility meter, HVAC equipment, etc.

RECOMMENDATION

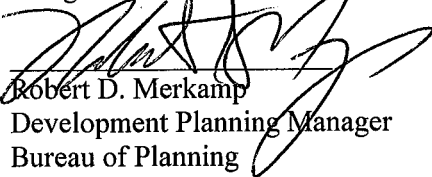
Staff recommends that the Design Review Committee consider staff comments and provide further comments and direction to the applicant and staff.

Prepared by:



Mike Rivera
Planner II, Major Projects
Bureau of Planning

Approved for forwarding to the
Design Review Committee:



Robert D. Merkamp
Development Planning Manager
Bureau of Planning

ATTACHMENT

- A. Project Design Plans, submitted September 20, 2016



VICINITY MAP
IN 2016

NOTES

N1 REFERENCE AND PROPERTY ARE SHOWN AS SHOWN ON THE 2016 ALTA SURVEY. THIS SURVEY IS BASED ON SURVEY EVIDENCE. SURVEY EVIDENCE IS THE BASIS FOR THIS SURVEY. THIS SURVEY IS NOT TO BE USED FOR ANY OTHER PURPOSE. THIS SURVEY IS NOT TO BE USED FOR ANY OTHER PURPOSE. THIS SURVEY IS NOT TO BE USED FOR ANY OTHER PURPOSE.

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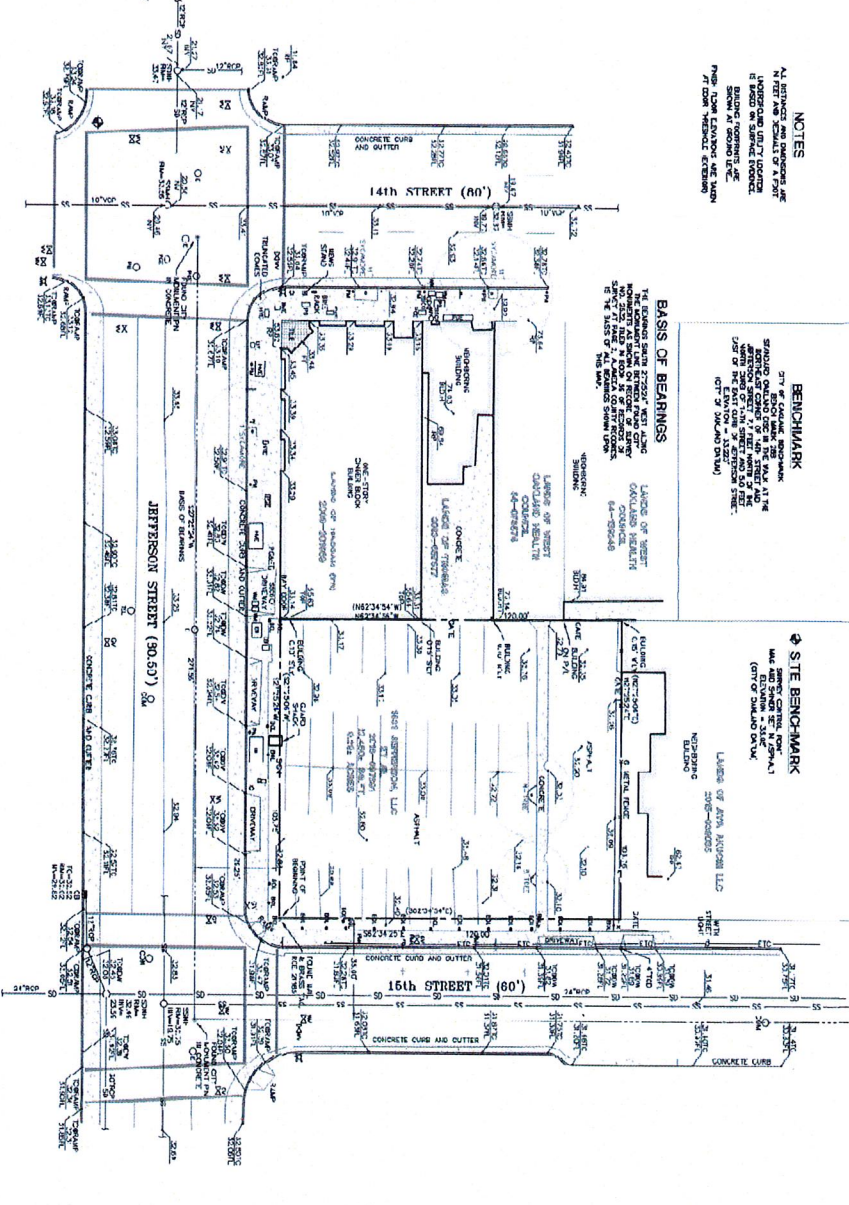
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BASIS OF BEARINGS

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LEGEND AND NOTES

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For Assessment Use Only

ASSESSORS MAP 3

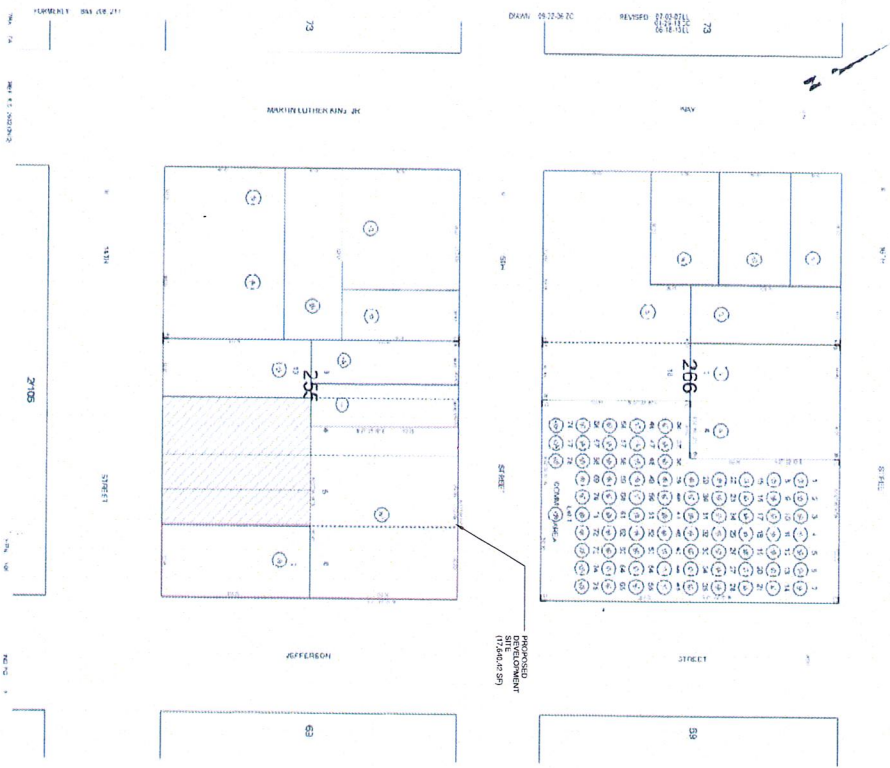
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ASSESSORS PARCEL MAP
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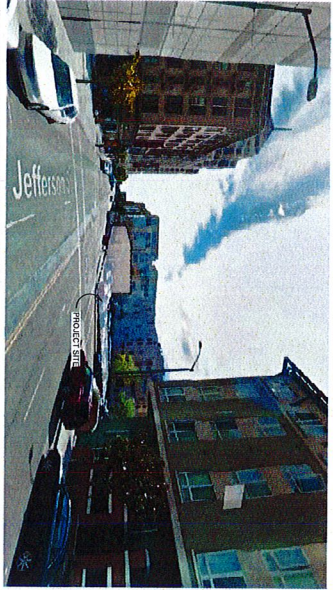
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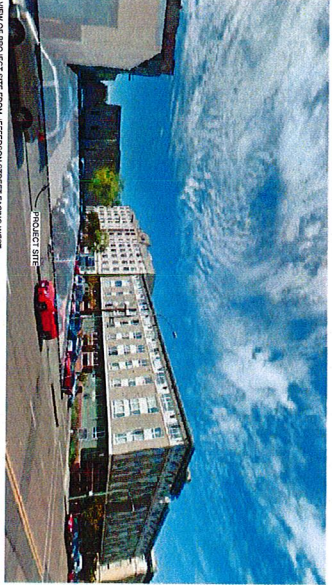
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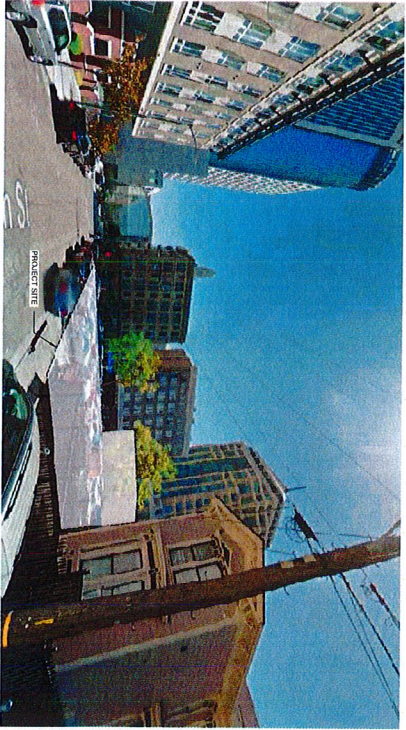
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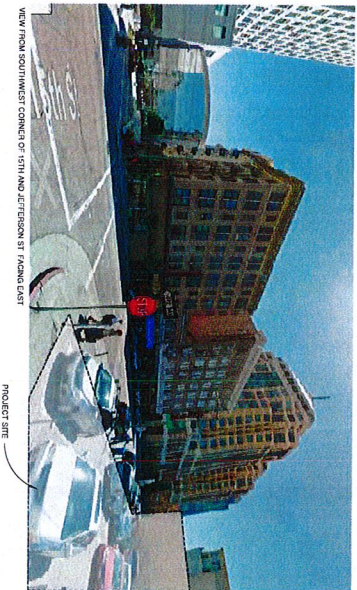
VIEW FROM JEFFERSON ST - FACING SOUTHWEST TOWARDS 15TH STREET



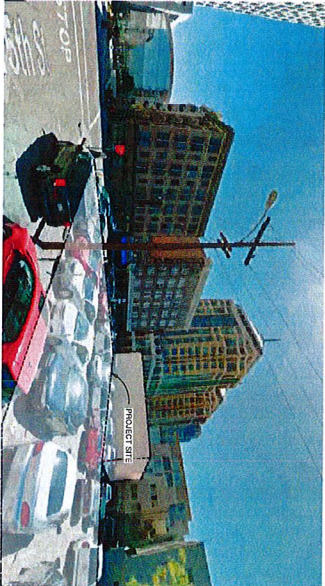
VIEW OF PROJECT SITE FROM JEFFERSON STREET FACING WEST



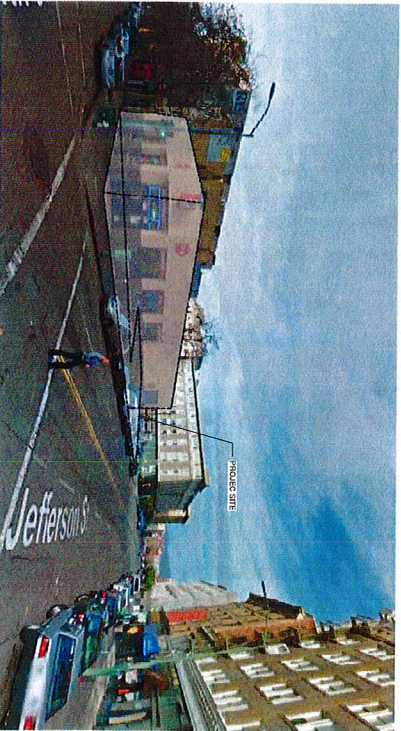
VIEW FROM 15TH STREET - FACING EAST TOWARDS JEFFERSON ST



VIEW FROM SOUTHWEST CORNER OF 15TH AND JEFFERSON ST FACING EAST



VIEW FROM NORTH WEST CORNER OF JEFFERSON AND 15TH ST FACING NORTH EAST TOWARDS 15TH STREET



VIEW FROM NORTH WEST CORNER OF JEFFERSON AND 15TH ST FACING NORTH EAST TOWARDS 15TH STREET

SITE PHOTOGRAPHS 1

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VIEW FROM JEFFERSON AND 15TH STREET PLAZA 1

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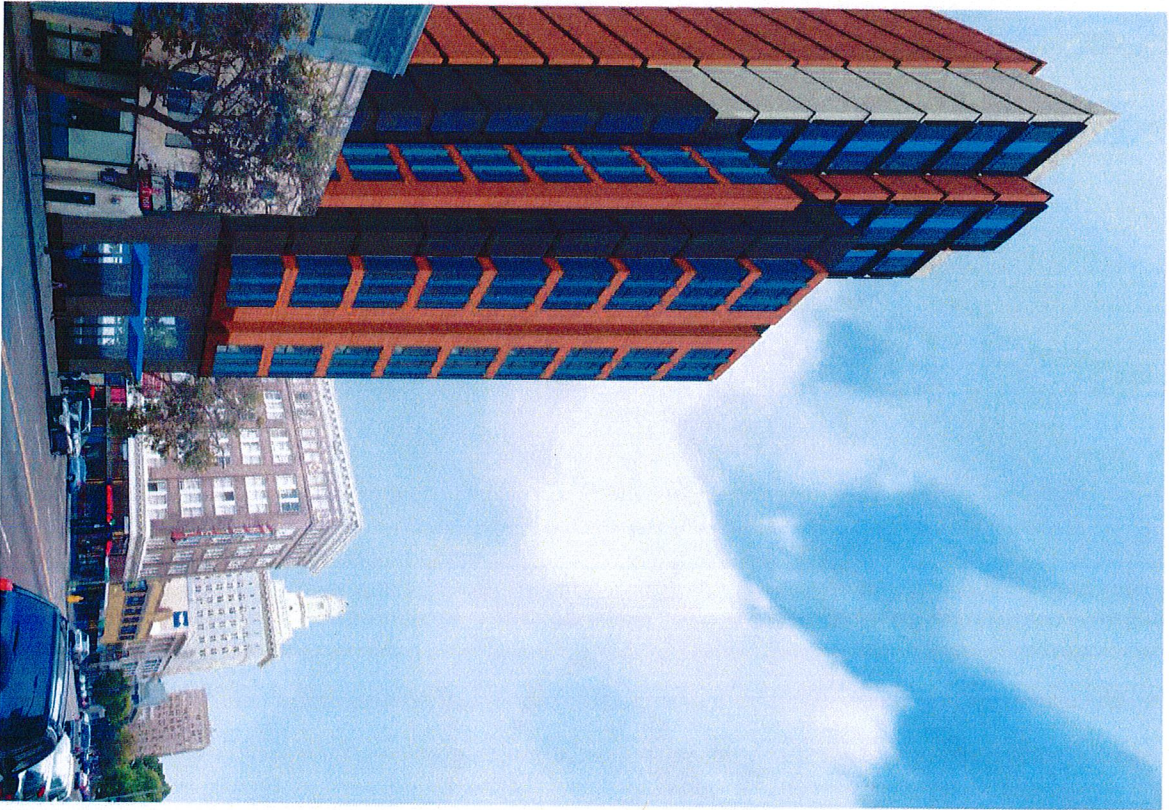


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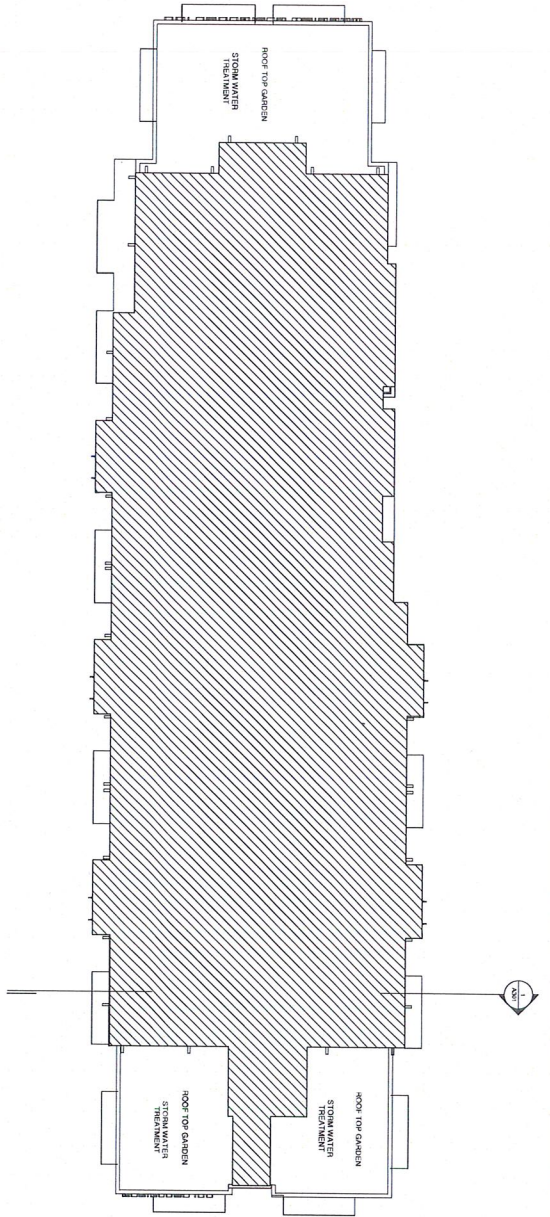


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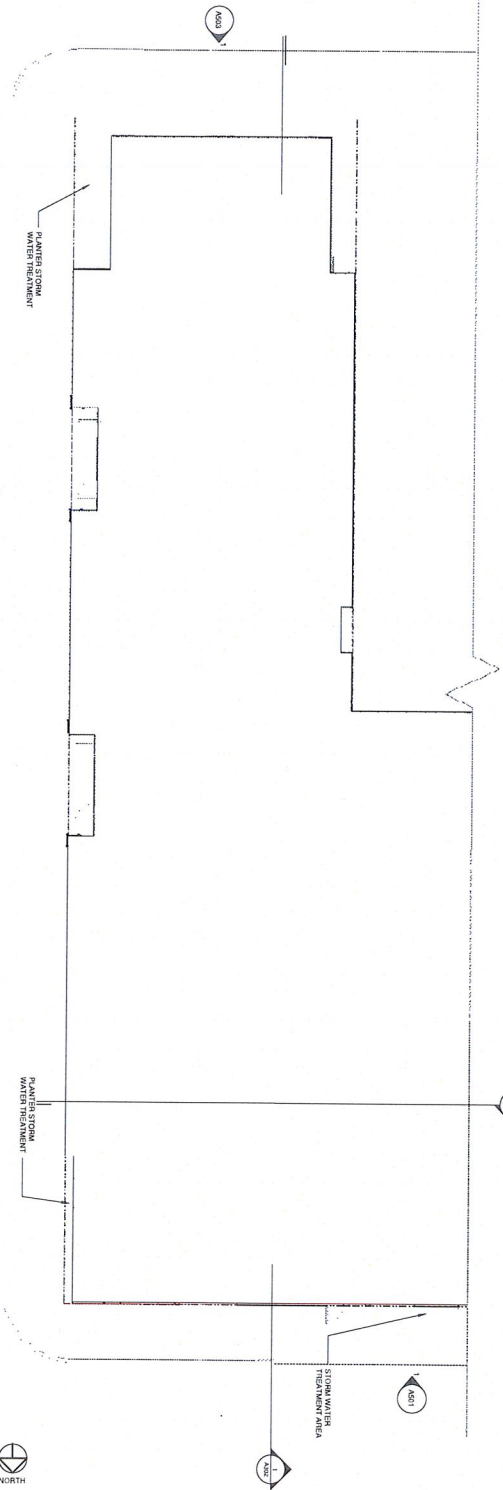
DRAWING TITLE
REVISIONS
STATUS
DATE SUBMITTED, AUG 31, 2016

JOB NO. 1503
DRAWN BY Author
SHEET NO.

A007



L12 - LANDSCAPE PLAN 1
1" = 10'-0"



L1 - LANDSCAPE PLAN 2
1" = 10'-0"

S/A

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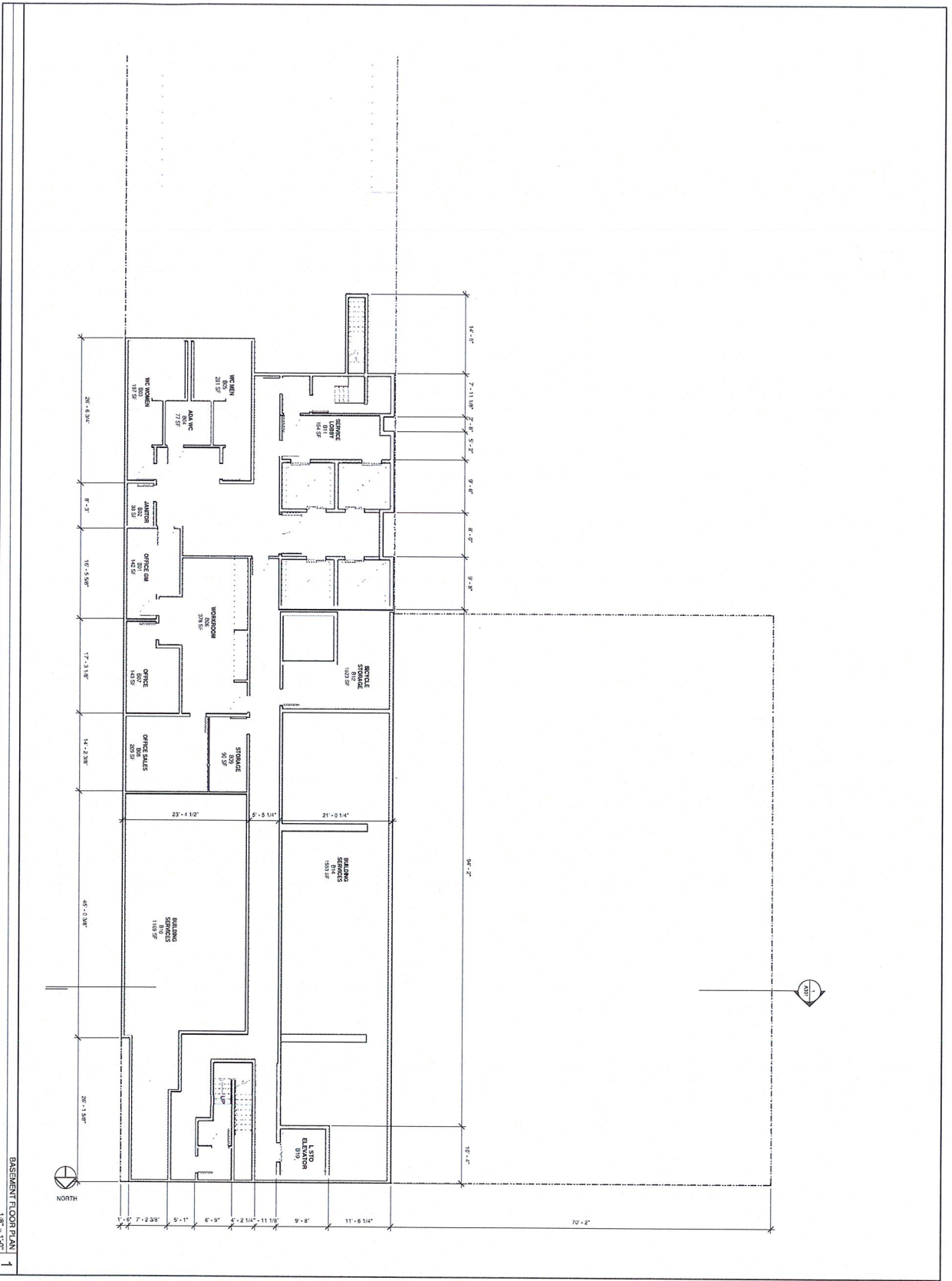


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DRAWING TITLE
LANDSCAPE PLAN
STATUS
DNC SUBMITTAL AUG 31, 2016

DWG NO. 15924
DRAWN BY ADAM
SHEET NO.

A102



BASEMENT FLOOR PLAN
1/8" = 1'-0"

S/A

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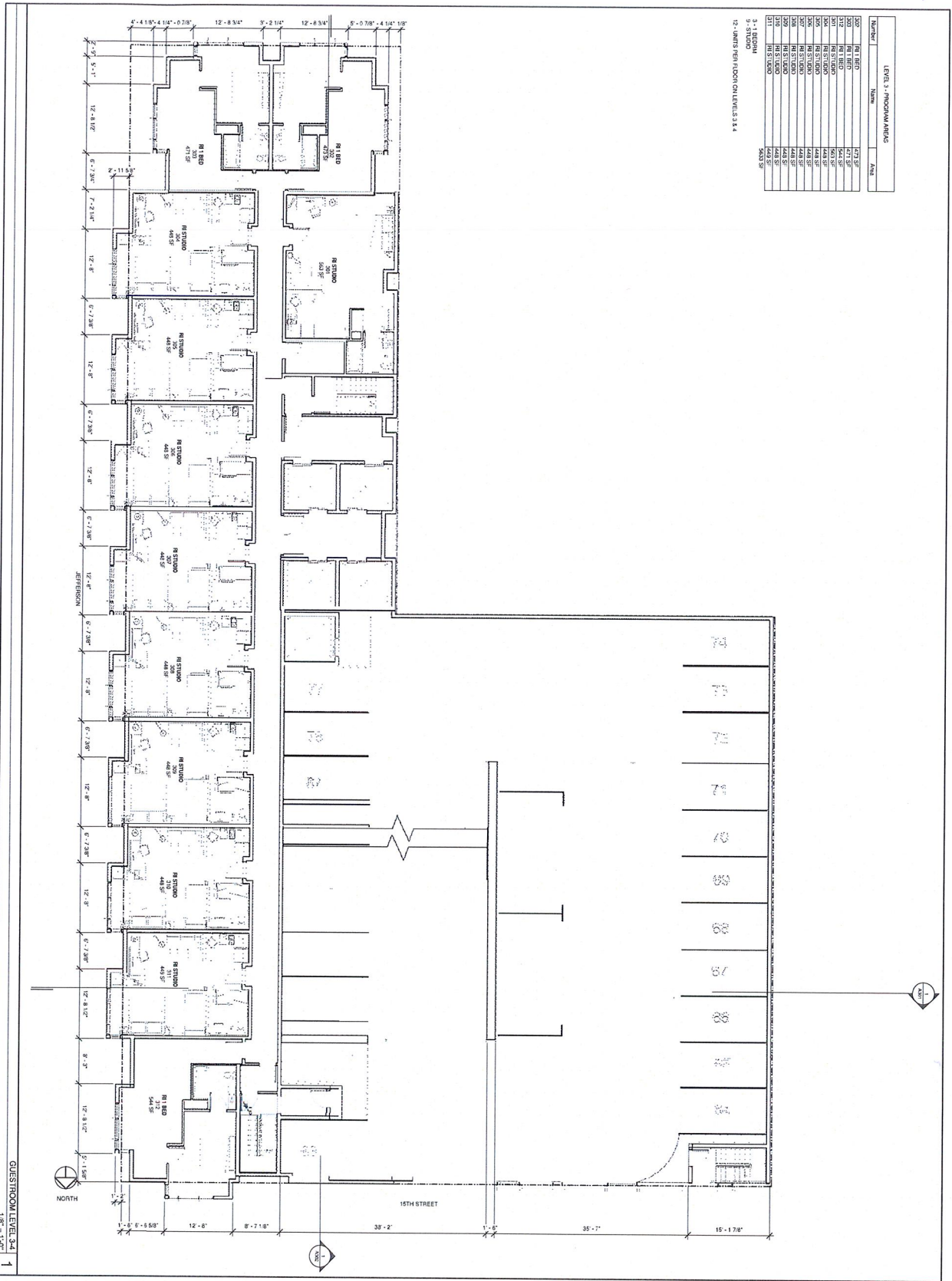
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DRAWING TITLE
BASEMENT FLOOR PLAN
STATUS
DMC SUBMITTAL, AUG 31, 2015

JOB NO. 15024
DRAWN BY: AUTHOR
SHEET NO.

A200

Number	Name	Area
300	RM 1 BED	477 SF
301	RM 1 BED	464 SF
302	RM 1 BED	464 SF
303	RM 1 STUDIO	464 SF
304	RM 1 STUDIO	464 SF
305	RM 1 STUDIO	464 SF
306	RM 1 STUDIO	464 SF
307	RM 1 STUDIO	464 SF
308	RM 1 STUDIO	464 SF
309	RM 1 STUDIO	464 SF
310	RM 1 STUDIO	464 SF
311	RM 1 STUDIO	464 SF
3 - 1 BEDRM		5023 SF
12 - UNITS WITH FLOOR ON LEVELS 3 & 4		



S/A

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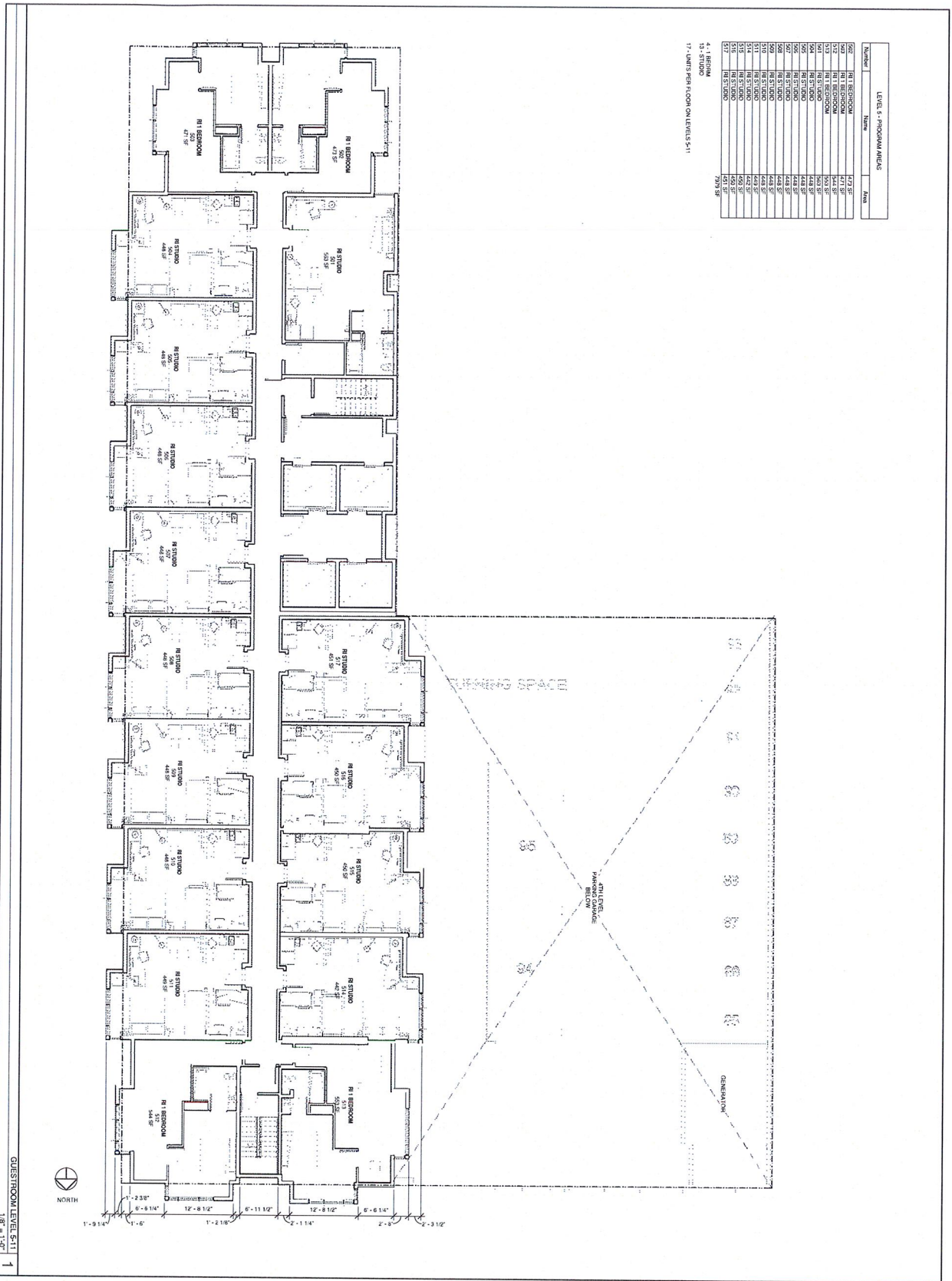
DRAWING TITLE
TYPICAL FLOOR PLAN LV 3A
STATUS
DNC SUBMITTAL AUG 31, 2015

JOB NO. 15524
DRAWN BY Author
SHEET NO.

A203

LEVEL 5 - PROGRAM AREAS		
Number	Name	Area
501	RECEPTION	1,177 SF
502	RECEPTION	4,777 SF
503	RECEPTION	1,177 SF
504	RECEPTION	1,177 SF
505	RECEPTION	1,177 SF
506	RECEPTION	1,177 SF
507	RECEPTION	1,177 SF
508	RECEPTION	1,177 SF
509	RECEPTION	1,177 SF
510	RECEPTION	1,177 SF
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597	RECEPTION	1,177 SF
598	RECEPTION	1,177 SF
599	RECEPTION	1,177 SF
600	RECEPTION	1,177 SF

4.1 - 1st FLOOR
 17 - LINES PER FLOOR ON LEVELS 5-11



GUESTROOM LEVEL 5-11
 1/8" = 1'-0"

A204

JOB NO. 15024
 DRAWN BY: AUTHOR
 SHEET NO.

DRAWING TITLE
 TYPICAL FLOOR PLAN LV 5-11
 STATUS
 DPC SUBMITTAL, AUG 31, 2016

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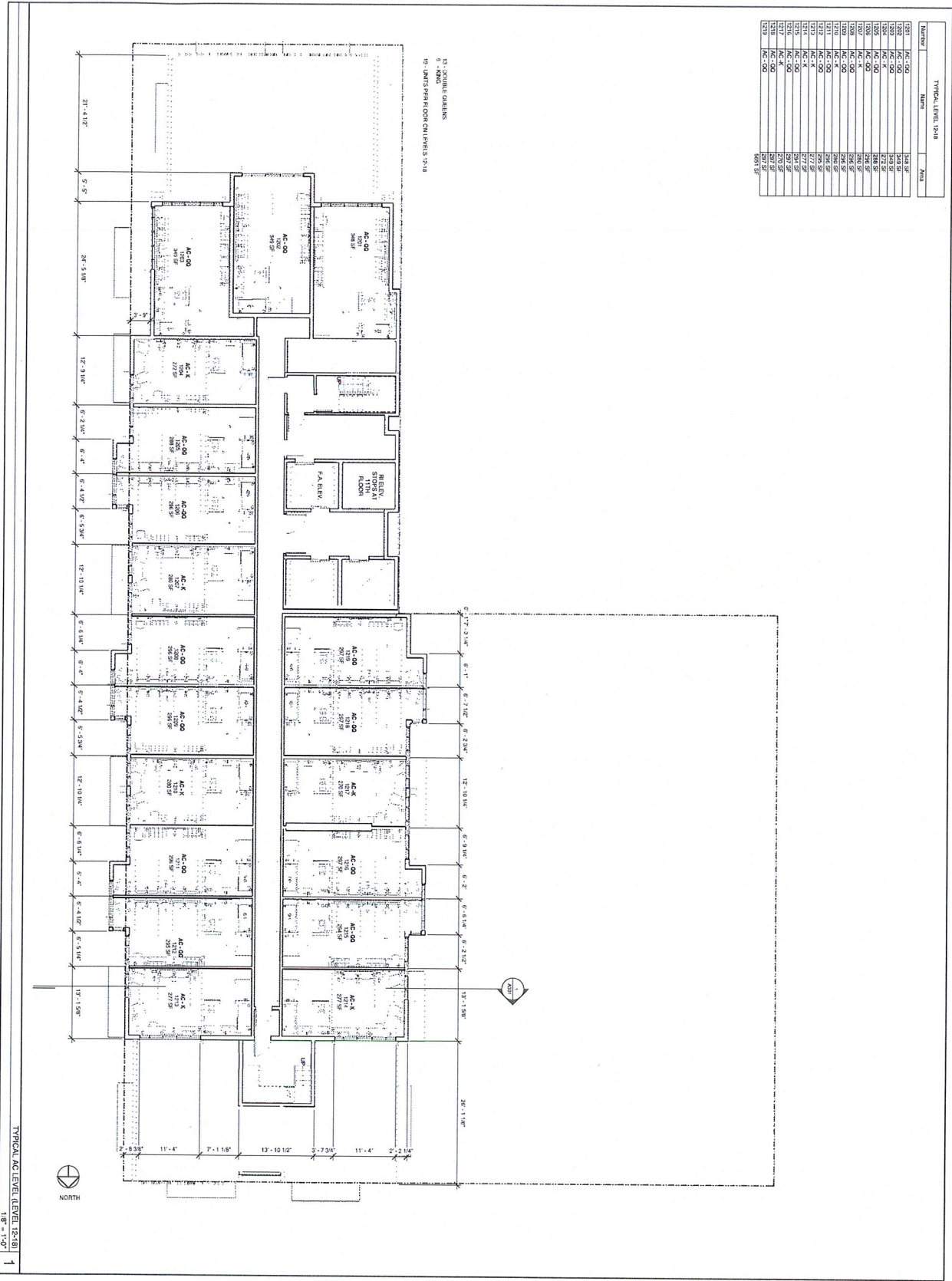
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Room No.	Room Name	Area
1201	AC-00	148.5 SF
1202	AC-00	149.5 SF
1203	AC-00	149.5 SF
1204	AC-00	149.5 SF
1205	AC-00	149.5 SF
1206	AC-00	149.5 SF
1207	AC-00	149.5 SF
1208	AC-00	149.5 SF
1209	AC-00	149.5 SF
1210	AC-00	149.5 SF
1211	AC-00	149.5 SF
1212	AC-00	149.5 SF
1213	AC-00	149.5 SF
1214	AC-00	149.5 SF
1215	AC-00	149.5 SF
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1297	AC-00	149.5 SF
1298	AC-00	149.5 SF
1299	AC-00	149.5 SF
1300	AC-00	149.5 SF



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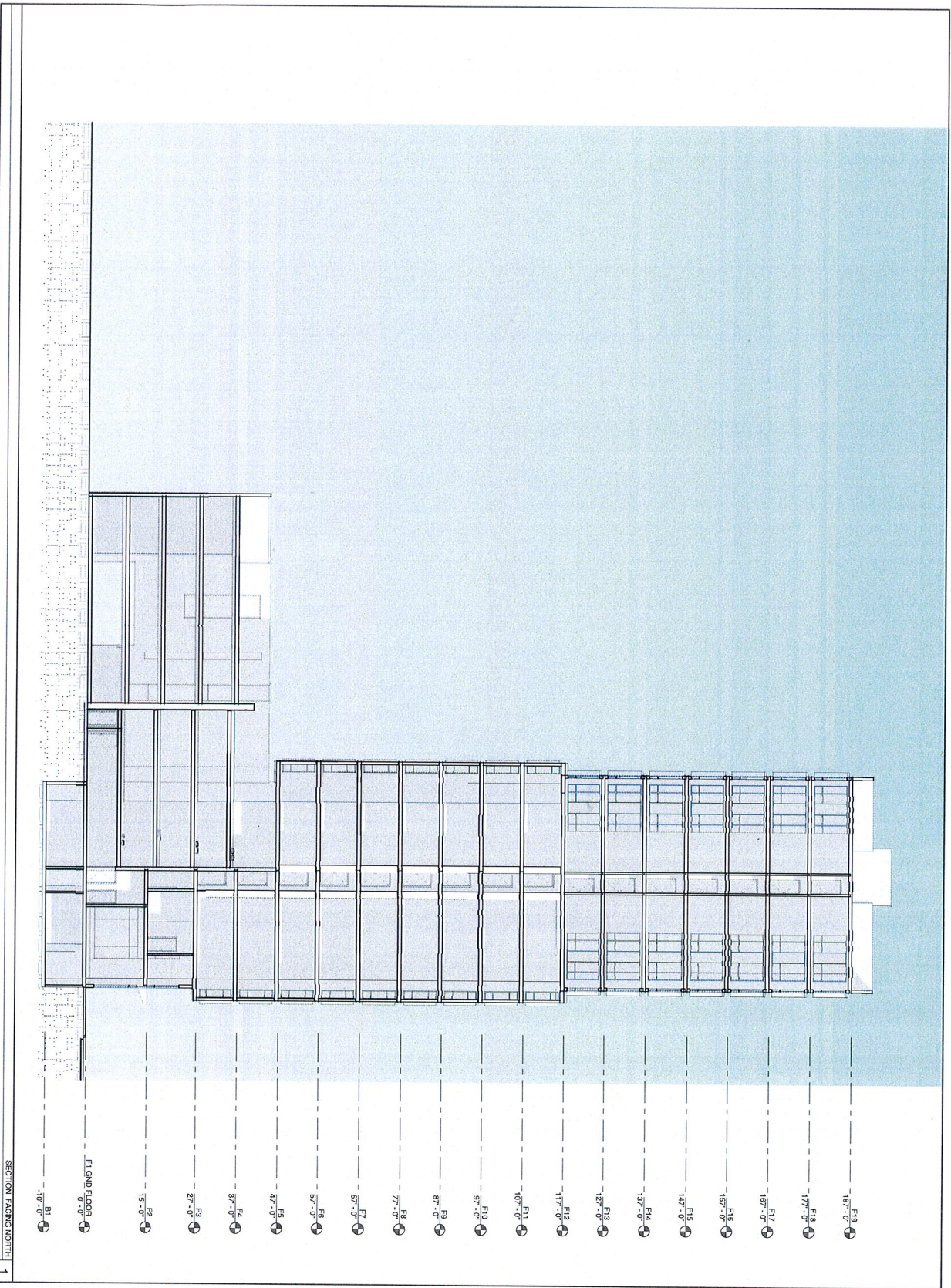
1509 NO. 15094
 DRAWN BY EG
 SHEET NO.

A205

STATISTICS

DWG SUBMITTAL AUG 31, 2016

DRAWING TITLE
 TYPICAL FLOOR PLAN LV 12-30



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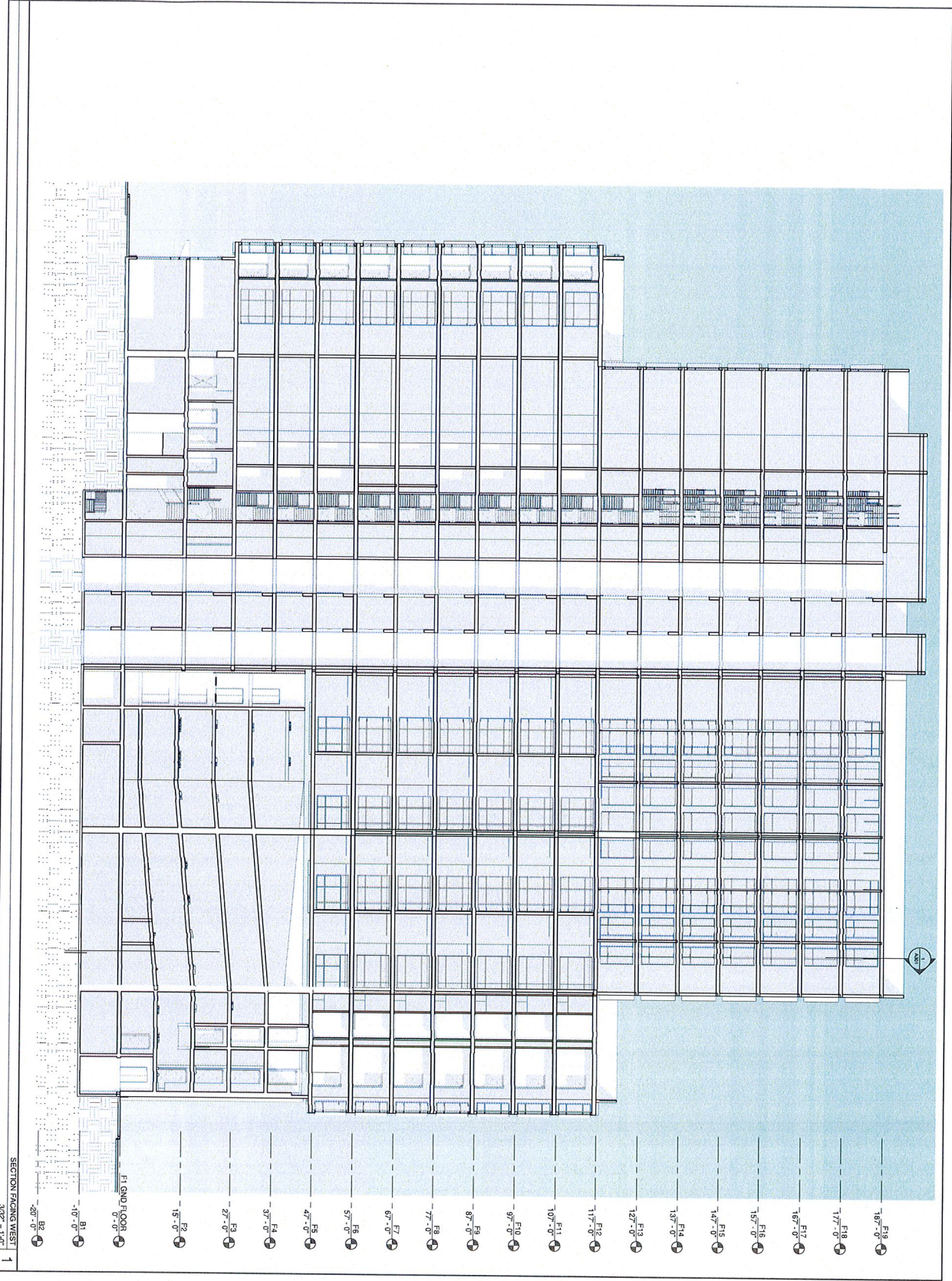
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DRAWING TITLE
SECTION FACING NORTH
STATUS
DNC SUBMITTAL AUG 31, 2016

JOB NO. 15024
DRAWN BY Author
SHEET NO.

A301

SECTION FACING NORTH 1
3/32" = 1'-0"



SECTION FACING WEST
3/02 = 1/4"

1

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DRAWING TITLE
SECTION FACING WEST
STATUS
DWC SUBMITTAL AUG 31, 2016

JOB NO. 13024
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SHEET NO.

A302

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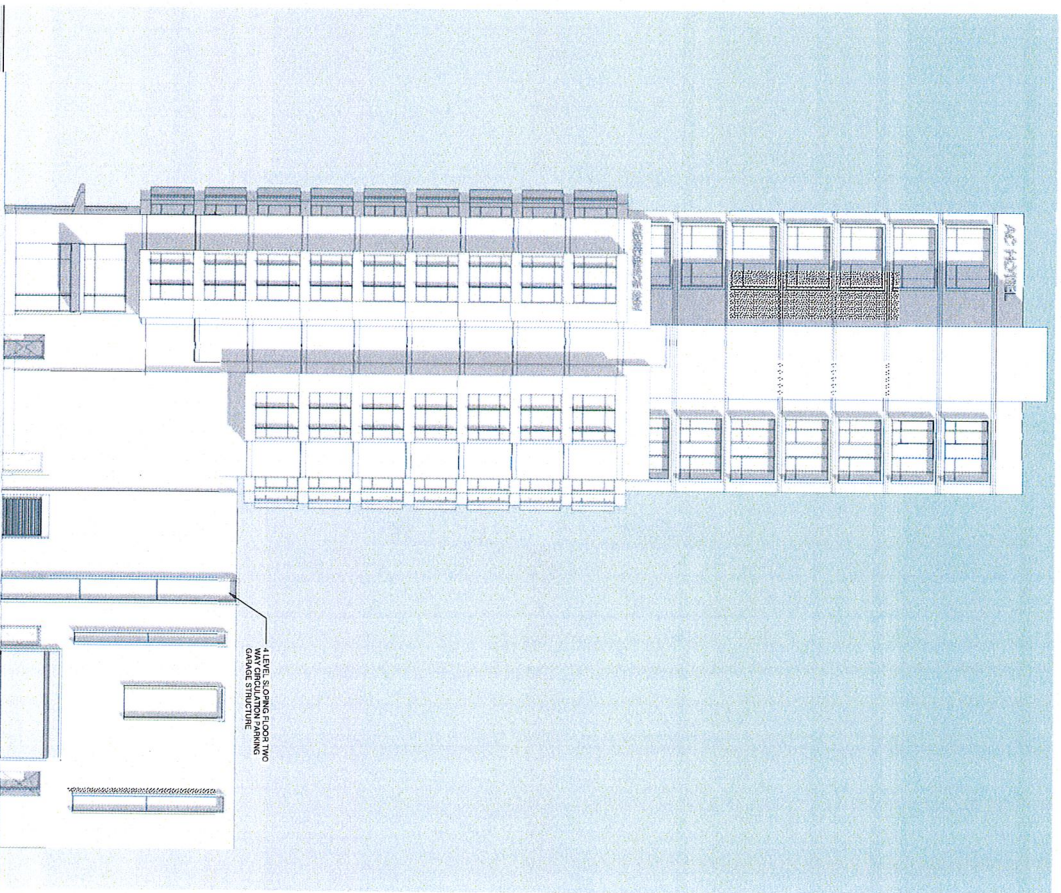


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DRAWING TITLE
NORTH ELEVATION - 15TH ST
STATUS
DRG SUBMITTAL AUG 31, 2016

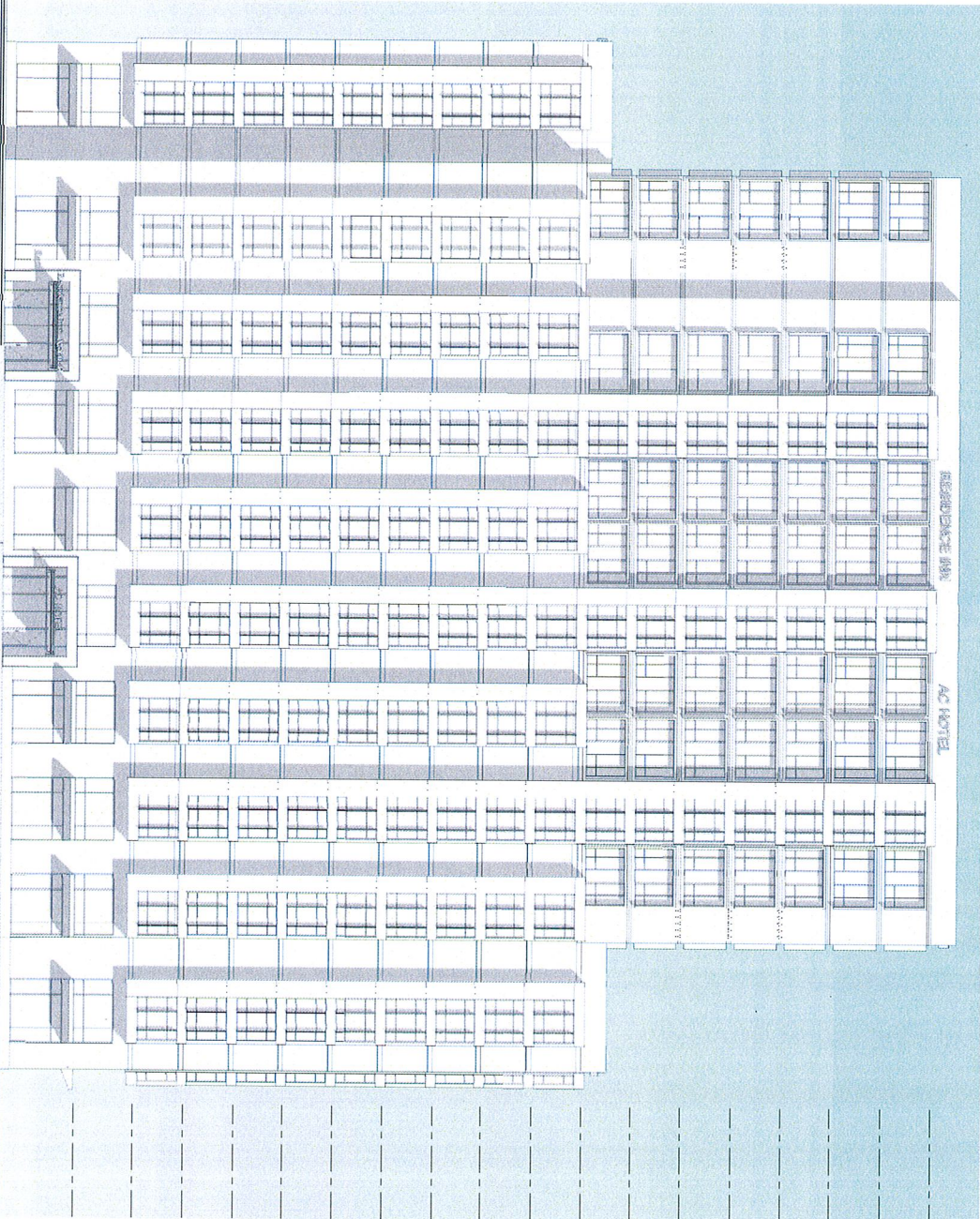
DWG NO. 15524
DESIGN BY AUTHOR
SHEET NO.

A501



F1 GND FLOOR

NORTH ELEVATION - 15TH ST
3/22 = 1-20
1



EAST ELEVATION - JEFFERSON ST 1

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DATE: 10/15/16
NO. DATE: ISSUE

DRAWING TITLE
EAST ELEVATION

STATUS
DRC SUBMITTAL AUG 31, 2016

JOB NO. 15024
DRAWN BY AJM/ur
SHEET NO.

A502

S/A

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DATE: 11-07-10
NO. DATE: ISSUE

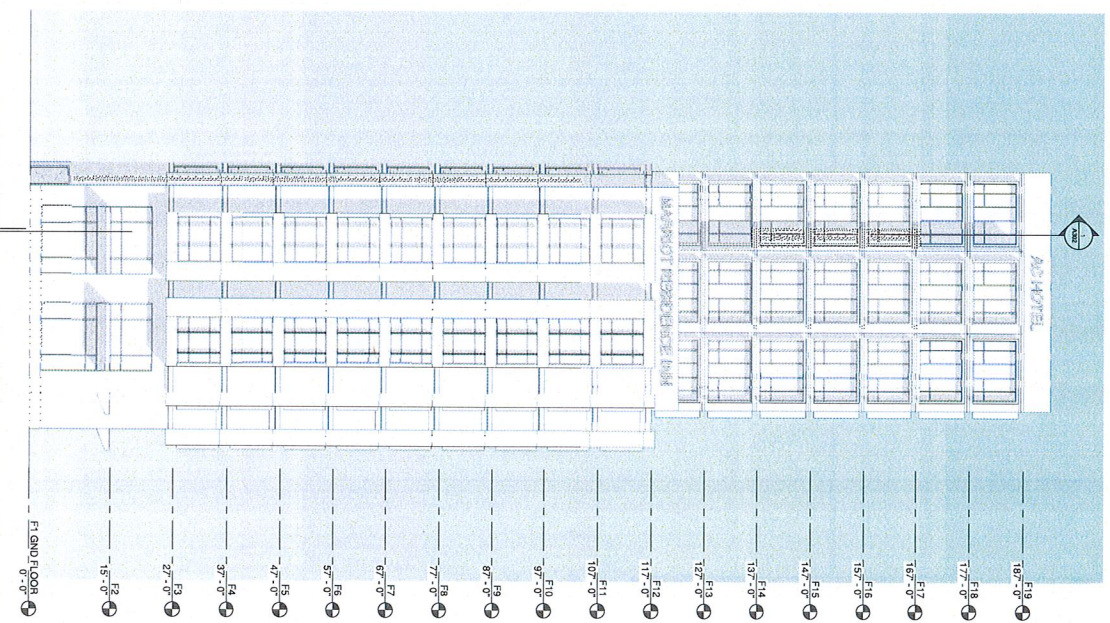
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SOUTH ELEVATION

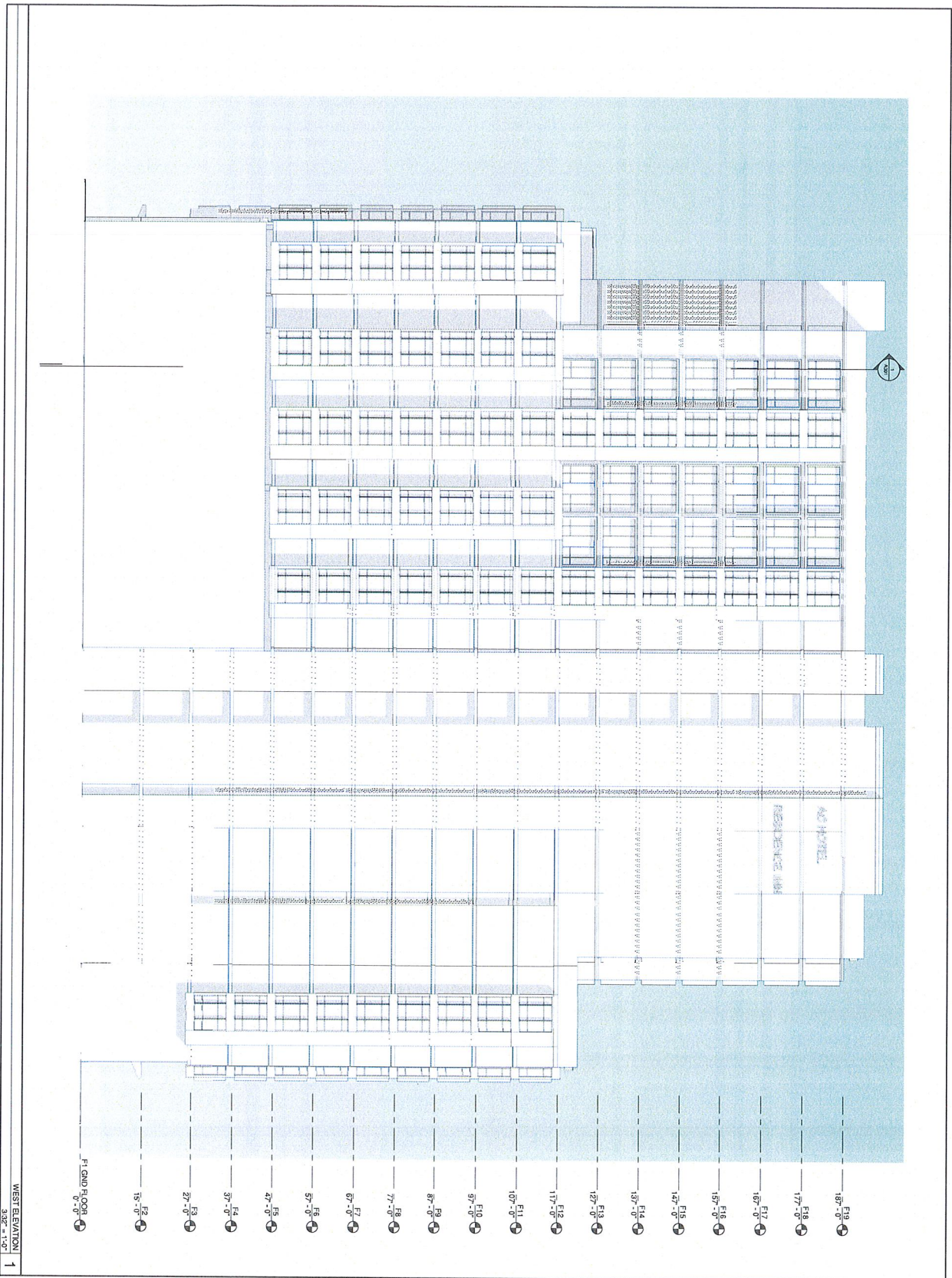
STATUS
DRG SUBMITTED AUG 31, 2010

JOB NO. 15524
DRAWN BY AMW
SHEET NO.

A503

SOUTH ELEVATION 1
SCALE = 1/8"





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DRAWING TITLE
WEST ELEVATION

STATUS
DEC SUBMITTAL AUG 31, 2016

JOB NO. 1524
DRAWN BY Amir
SHEET NO.

A504