

Location:	2042 Mountain Blvd. (APN: 048F-7357-004-00). (See map on reverse)
Proposal:	To allow a limited service restaurant (Mountain Mike’s Pizza) within a ground floor commercial space, including the sale of beer and wine (Type 41 ABC License), with hours of operation from 11:00am - 10:00pm, seven days a week.
Applicant:	David J. Elliot – Architect
Owner:	Raimonds Montclair Paint & Wallpaper
Planning Permits Required:	Major Conditional Use Permit to allow an Alcoholic Beverage Sales Commercial Activity with Findings of Public Convenience or Necessity (Sec. 17.103.030 (B) (2) & (3); Additional Conditional Use Permit Findings for Activities in CN zones (Sec. 17.33.01(L4) & 17.33.030) & Major Variance(s) for distance separation (Sec.17.148.050).
General Plan:	Neighborhood Center Mixed Use
Zoning:	CN-1 Neighborhood Commercial – 1 Zone
Environmental Determination:	Exempt, Section 15301 of the State CEQA Guidelines: Existing Facilities (operation); Exempt, Section 15183 of the State CEQA Guidelines; projects consistent with a community plan, general plan or zoning.
Historic Status:	Not a PDHP: Survey Rating: NA
City Council District:	4
Staff Recommendation:	Approve with conditions
Finality of Decision:	Appealable to City Council within 10 days
For Further Information:	Contact case planner Jose M. Herrera-Preza at 510-238-3808 or jherrera@oaklandnet.com

SUMMARY

The applicant requests Planning Commission approval of a Conditional Use Permit to establish a limited service restaurant on the ground floor, Major Conditional Use Permit with additional findings for Alcoholic Beverage Sales, Variances for alcohol sales within 1,000 feet of an existing civic use/park, and Findings of Public Convenience or Necessity to allow a Type 41 ABC (Alcohol Beverage Control) license for the sale of “beer and wine” in conjunction with a limited service restaurant “Mountain Mike’s Pizza”.

Staff recommends the approval of the proposal.

BACKGROUND

On February 1, 2000, the Oakland City Council passed Resolution No.75490 C.M.S. establishing a "No Net Increase" policy in the number of alcoholic beverage sales commercial activities in Oakland neighborhoods to protect the health, safety and welfare of residents. This resolution states that new off-sale and on-sale retail alcoholic beverage sales licenses should only be permitted for sites in the Central Business District or for other circumstances not related to this case. This proposal is consistent with Resolution No. 75490 C.M.S. because it is in conjunction with a bona-fide food establishment for on-site consumption only.

PROJECT DESCRIPTION

The proposal will establish a limited service restaurant, "Mountain Mike's Pizza," within a ground floor commercial space near the corner of La Salle Avenue and Mountain Boulevard. The new tenant will occupy a 2,305 square-foot commercial space, which includes a 700-square foot dining room with 8 tables and 30 chairs (approximate). The applicant has requested hours of operation from 11:00am-10:00pm seven days a week. The applicant has experience operating restaurants throughout the Bay Area.

PROPERTY DESCRIPTION

The project site is a 5,005-square foot rectangular shaped parcel at the corner of Mountain Boulevard and La Salle Avenue in the Montclair Village Commercial District. The building is 20 feet tall and has two commercial spaces with one occupied by "Beauty Center", a retail store; the other is proposed to be occupied by the applicant, "Mountain Mike's Pizza".

GENERAL PLAN ANALYSIS

The subject property is located within the Neighborhood Center Mixed Use Area of the General Plan Land Use & Transportation Element (LUTE). The Neighborhood Center Mixed Use Classification is intended *"to identify, create, maintain and enhance mixed use neighborhood commercial centers. These centers are typically characterized by smaller scale pedestrian-oriented, continuous street frontage with a mix of retail, housing, office, active open space, eating and drinking places, personal and business services, and smaller scale educational, cultural, or entertainment uses."* (LUTE, p. 149.) The proposed limited service restaurant with Alcohol Beverage Sales activity located in a commercial district is consistent with the intent of the General Plan. The proposal will enhance the variety of products available to residents who frequent the many dining establishments in the district and will increase the diversity of dining options in the district. Therefore, the proposed limited service restaurant with Alcohol Beverage Sales activity will not adversely affect or detract from the Neighborhood Center Mixed Use characteristics of the neighborhood.

Policy I/C3.2 Enhancing Business Districts.

Retain and enhance clusters of similar types of commercial enterprises as the nucleus of distinctive business districts, such as the existing new and used automobile sales and related uses through urban design and business retention efforts.

Policy I/C3.4 Strengthened Vitality.

The vitality of existing neighborhood mixed use and community commercial areas should be strengthened and preserved.

Policy I/C3.3 Clustering Activity in "Nodes"

Retail uses should be focused in "nodes" of activity, characterized by geographic clusters of concentrated commercial activity, along corridors that can be accessed through many modes of transportation.

Objective I/C3

Ensure that Oakland is adequately served by a wide variety of commercial uses, appropriately sited to provide for competitive retail merchandising and diversified office uses, as well as personal and professional services.

Staff finds the proposal to be in conformance with the policies and objectives of the General Plan by servicing the community with active storefronts with opportunities for comparison shopping in Montclair Village.

ZONING ANALYSIS

The proposed project is in the CN-1 Neighborhood Commercial – 1 Zone. The intent of the CN-1 Zone is *“to maintain and enhance vibrant commercial districts with a wide range of retail establishments serving both short and long term needs in attractive settings oriented to pedestrian comparison shopping.”* The proposed limited service restaurant with Alcohol Beverage Sales activity located within the Montclair Village commercial district of the Oakland Hills meets the intent of the zoning designation. This proposal is for on-site consumption of alcoholic beverage types (beer and wine) in conjunction with Mountain Mike’s Pizza. This activity requires a type 41 license (On Sale Beer & Wine – Eating Place) from the State’s Department of Alcoholic Beverage Control (ABC). The following are permits required for the proposal, the reason each permit is required, and a discussion of each permit requested. These items are further discussed in the Key Issues and Impacts section of this report. All required findings are contained in Attachment A.

Zoning Classification

The “Mountain Mike’s Pizza” chain has been identified as a Limited-Service Restaurant, per Section 17.10.274 of the Planning Code, because food orders are taken at a counter instead of by a waiter. A restaurant with waiter service is considered a Full-Service Restaurant.

Minor Conditional Use Permit with Additional Findings

The CN-1 Zoning designation requires any ground floor restaurant to be granted a Conditional Use Permit with additional findings in the CN-1 Zone.

Major Conditional Use Permit with Additional Findings

The sale of alcoholic beverages at any limited-service restaurant, per Section 17.134.020 of the Planning Code, states that a Conditional Use Permit involving alcohol is major and must be decided by the Planning Commission. Additional findings further ensure review of alcoholic beverage sales above and beyond general CUP findings. The Planning Code requires a review of these activities to ensure that they do not contribute to nuisances in the community, including both alcohol-related issues and discouragement of further business attraction.

Findings of Public Convenience or Necessity

The Planning Code also requires findings of Public Convenience or Necessity. These findings, modeled on State findings, are required for Alcoholic Beverage Sales to be established in an over-concentrated area for these uses.

"Alcoholic beverage license over-concentrated areas" means a police beat with crime rates that exceed the City median by twenty (20) percent or more or a census tract in which the per capita number of on-sale or off-sale retail Alcoholic Beverage Sales licenses exceeds the Alameda County median. The project site is

in an over-concentrated area. Census Tract 4045.02 contains seven non-restaurant liquor licenses (all off-sale) where the County median is six (per most recently-provided ABC data for June 20, 2017). Although Police 03y beat contained 83 reported crimes where the citywide median (for 2015 per OPD) was 968.4, the additional findings are required. Therefore, Findings of Public Convenience or Necessity must be made to approve the project. These Findings are intended to ensure that the establishment of additional alcohol beverage sales would be beneficial to the community.

Major Variance

Because the proposal is located outside of the Central District and Jack London Square area and does not involve a full-service restaurant, it is subject to a 1,000 foot distance separation from any ABC outlet, civic use or public park. The intent of the distance separation is to try to limit an over-concentration near residential areas. A Major Variance will allow the proposed activities to be established within 1,000 feet of an existing outlet, a church and a public park.

Staff finds the proposal, as conditioned, to be in conformance with the Planning Code because the proposal meet all the required findings in the Planning Code and will not have nuisance impacts on the neighborhood. The issue of nuisances is further discussed in the "Key Issues and Impacts" Section of this report and the required findings are contained in Attachment A.

ENVIRONMENTAL DETERMINATION

The California Environmental Quality Act (CEQA) Guidelines categorically exempts specific types of projects from environmental review. Section 15301 of the State CEQA Guidelines exempts project involving *operation and licensing of existing private facilities*. The proposal to sell beer and wine from an existing retail store located in an existing building with a parking lot located in a commercial district meets this description: the project would constitute operation of an existing private facility. Section 15183 of the State CEQA Guidelines relates to Projects Consistent with a Community Plan, General Plan or Zoning. The project adheres to this section. The project is, therefore, not subject to Environmental Review.

KEY ISSUES AND IMPACTS

In considering an application for the sale of alcoholic beverages, staff considers factors including, but not limited to, operational characteristics such as closing time, types of alcoholic beverages sold and overall product mix, floor plan, location of the site in relation to the public right-of-way and residential/civic uses, and over-concentration of ABC licenses and/or crime in the area.

Conditional Use Permits

A Conditional Use Permit (CUP) is required to establish a limited service restaurant on the ground floor of a street fronting building and to allow for a type 41 (on-site consumption of Beer and Wine) Alcoholic Beverage Sales activity within the limited service restaurant in the CN-1 Zone. The Planning Code requires additional findings for both the ground floor activity and the alcohol beverage sales. The purpose of the CUP requirements is to consider compatibility of the proposed use with its surroundings and to attach operating conditions to ensure the business would not create nuisances in the neighborhood. The proposed pizza restaurant within a commercial district will enhance the function of the district as a destination to eat, shop and activate the pedestrian streetscape. The sale of beer and wine will be an accessory use to the restaurant business and, as conditioned, is not anticipated to generate nuisances. The restaurant will not have late hours that would be typical of a liquor store or bar. Conditions of approval to reduce the potential for nuisances such as noise, loitering, and littering are incorporated into this report. Conditions will also ensure the restaurant operates a kitchen at all times and only sells alcoholic beverages for onsite consumption and with food.

Variance

A Variance is required due to the site's proximity to the following uses:

	Address	Separation (parcels)	Description
ABC Outlets			
	1963 Mountain Blvd.	300'	Lucky's #734 - ABC License Type 21
	1991 Mountain Blvd.	275'	Rite Aid Pharmacy - ABC License Type 21
	2096 Mountain Blvd.	500'	Safeway #654 - ABC License Type 21
	6410 Moraga Ave.	350'	Crown Wine and Spirits - ABC License Type 21
	6218 La Salle Ave.	440'	Farmstead Wine and Cheese - ABC License Type 20
Civic Uses			
	2162 Mountain Blvd.	850'	Child Daycare Center
Public Park			
	6226 Moraga Ave.	900'	Montclair Recreation Center and Park

Approval of the Variance requires justification for relief from the distance separation requirement. The intent of the distance separation is to ensure that alcohol outlets, such as bars and liquor stores/convenience markets, which historically generate nuisances, do not proliferate, especially adjacent to residences and civic uses. In this case, the proposal is not for a bar or liquor store/convenience market. Census Tract 4045.02 has twenty-seven (27) ABC licenses, but twenty (20) are for restaurants and only seven are for off-sale. Furthermore, the proposed small limited service restaurant is an area of Oakland that is appropriate for an independent small business with a family friendly clientele. In addition, the operating characteristics of the proposed business are similar to a full-service restaurant in that food is served to tables by waiters.

The Variance requires Findings of Public Convenience of Necessity to be met; given the economic and consumer benefits of the project and the appropriateness of the activity for the business type, these findings are met (see Attachment A).

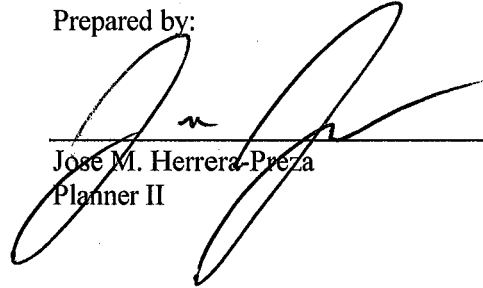
With conditions of approval, staff does not consider crime to be a significant issue with this application. The area is not over-concentrated for crime. Most recent data indicate Police Beat 03y had 83 reported crimes where 1,143 is over-concentrated. This police beat ends at Moraga Avenue. Staff notes that Oakland Police Department crime statistics indicate 83 crimes for a 1,000-foot radius over ninety days ending June 20, 2017 (Attachment C); these crimes are not centered at the site and none were alcohol-related. Staff informed the City Councilmember's Office, Neighborhood Service Coordinator, Neighborhood Crime Prevention Council, and Oakland Police Department's Alcoholic Beverage Action Team of the application and has not received any objections to the application.

Due to the proposal's ability to satisfy required findings, staff recommends approval of the project, subject to Conditions of Approval, including a compliance review.

RECOMMENDATIONS:


1. Affirm staff's environmental determination.
2. Approve the Conditional Use Permits with Findings of Public Convenience or Necessity and Variance subject to the attached findings and conditions.

Prepared by:



Jose M. Herrera-Preza
Planner II

Reviewed by:



Scott Miller
Zoning Manager

Reviewed by:

Approved for forwarding to the
City Planning Commission:



Darin Ranelletti , Interim Director
Department of Planning and Building

ATTACHMENTS:

- A. Findings for Approval
- B. Conditions of Approval
- C. Project Plans

ATTACHMENT A: FINDINGS FOR APPROVAL

This proposal meets the required findings under General Conditional Use Permit Criteria (OMC Sec. 17.134.050); CN Neighborhood Commercial Zones Regulations/Additional CUP Criteria (OMC Sec. 17.33.030, Table 17.33.01,L4); Use Permit Criteria for Establishments Selling Alcoholic Beverages and Findings for Public Convenience or Necessity (OMC Sec. 17.103.030(A), (B)(3), and Variance Findings (OMC Sec. 17.148.050), as set forth below. Required findings are shown in bold type; explanations as to why these findings can be made are in normal type.

General Conditional Use Permit Criteria (OMC Sec. 17.134.050)

A. That the location, size, design, and operating characteristics of the proposed development will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to harmony in scale, bulk, coverage, and density; to the availability of civic facilities and utilities; to harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity of surrounding streets; and to any other relevant impact of the development.

The proposal's operating characteristics will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood. Conditions of approval to reduce the potential for nuisances such as operating hours, noise, loitering, and littering are incorporated into this report. Conditions will also ensure the restaurant operates a kitchen during all business hours and that alcoholic beverages are only sold for onsite consumption and with food. The proposal is in a low crime shopping district and is not adjacent to civic uses.

B. That the location, design, and site planning of the proposed development will provide a convenient and functional living, working, shopping, or civic environment, and will be as attractive as the nature of the use and its location and setting warrant.

The floor plan provides for a convenient layout for preparation and consumption of food and alcoholic beverages. No exterior work is currently proposed. Any new signage will be required to receive design review approval from staff.

C. That the proposed development will enhance the successful operation of the surrounding area in its basic community functions, or will provide an essential service to the community or region.

The restaurant will employ at least five full-time local employees and hopes to add additional staff in the future. The restaurant will attract customers to the Montclair Commercial District.

D. That the proposal conforms to all applicable design review criteria set forth in the design review procedure at Section 17.136.070.

This finding is not applicable; no development is proposed.

E. That the proposal conforms in all significant respects with the Oakland Comprehensive Plan and with any other applicable plan or development control map which has been adopted by the City Council.

The site is in the Neighborhood Center Mixed Use area of the General Plan's Land Use and Transportation Element (LUTE). The intent of the area is: "To identify, create, maintain and enhance mixed use neighborhood commercial centers." Beer and wine sales as an accessory to a restaurant is consistent with the intent of the Neighborhood Center Mixed Use classification. The Montclair Village

area is not high in crime. To add the sale of beer and wine with a 10:00 PM closing time will conform to the following LUTE Goal and Objective:

Policy I/C3.2 Enhancing Business Districts.

Retain and enhance clusters of similar types of commercial enterprises as the nucleus of distinctive business districts, such as the existing new and used automobile sales and related uses through urban design and business retention efforts.

Policy I/C3.4 Strengthened Vitality.

The vitality of existing neighborhood mixed use and community commercial areas should be strengthened and preserved.

Policy I/C3.3 Clustering Activity in "Nodes"

Retail uses should be focused in "nodes" of activity, characterized by geographic clusters of concentrated commercial activity, along corridors that can be accessed through many modes of transportation.

Objective I/C3

Ensure that Oakland is adequately served by a wide variety of commercial uses, appropriately sited to provide for competitive retail merchandising and diversified office uses, as well as personal and professional services.

Staff finds the request, as conditioned, to conform to the General Plan.

CN Neighborhood Commercial Zones Regulations/Additional CUP Criteria (OMC Sec. 17.33.030, Table 17.33.01,L4)

1. That the proposal will not detract from the character desired for the area;

The proposal will increase dining opportunities and attract pedestrian customer traffic to other businesses in the Montclair Commercial District.

2. That the proposal will not impair a generally continuous wall of building facades;

No new construction is proposed.

3. That the proposal will not weaken the concentration and continuity of retail facilities at ground level, and will not impair the retention or creation of an important shopping frontage;

The proposal does not involve development and will create a ground floor retail facility.

4. That the proposal will not interfere with the movement of people along an important pedestrian street;

No construction is proposed that would change the pedestrian access in the area.

5. That the proposal will conform in all significant respects with any applicable district plan which has been adopted by the City Council.

The proposal conforms to the General Plan as described in the previous section of this attachment.

Use Permit Criteria for Establishments Selling Alcoholic Beverages OMC 17.103.030(A)

1. That the proposal will not contribute to undue proliferation of such uses in an area where additional ones would be undesirable, with consideration to be given to the area's function and character, problems of crime and loitering, and traffic problems and capacity;

The area is over-concentrated for ABC licenses but not for crime. Census Tract 4045.02 contains twenty-seven ABC licenses where four or more is over-concentrated according to the Planning Code. Twenty of these twenty-seven are restaurants, three are national supermarkets, and the others are specialty beer and wine outlets. Given the nature of the proposed limited service restaurant, over-concentration is not considered to be a major issue with adoption of conditions of approval.

2. That the proposal will not adversely affect adjacent or nearby churches, temples, or synagogues; public, parochial, or private elementary, junior high, or high schools; public parks or recreation centers; or public or parochial playgrounds;

The site is not abutting any civic use; it is in a commercial district surrounding by similar uses. The nearest child care center and public park are over 800 feet away and outside the commercial district.

3. That the proposal will not interfere with the movement of people along an important pedestrian street;

No construction is proposed that would change the pedestrian access in the area.

4. That the proposed development will be of an architectural and visual quality and character which harmonizes with, or where appropriate enhances, the surrounding area;

No construction is proposed; the activity will take place in an existing building.

5. That the design will avoid unduly large or obtrusive signs, bleak unlandscaped parking areas, and an overall garish impression;

No construction is proposed; conditions of approval will ensure displays and advertising signage are not located at façade glazing near the storefront windows.

6. That adequate litter receptacles will be provided where appropriate;

Conditions of approval require trash cans and litter clean-up both on-site and in the public right-of-way.

7. That where the proposed use is in close proximity to residential uses, and especially to bedroom windows, it will be limited in hours of operation, or designed or operated, so as to avoid disruption of residents' sleep between the hours of ten p.m. and seven a.m. The same criteria shall apply to all conditional use permits required by subsection B of this section for sale of alcoholic beverages at full-service restaurants.

The rear of the building abuts other commercial businesses in the district and the closing time will be 10:00 PM.

8. That proposals for new Fast-Food Restaurants must substantially comply with the provisions of the Oakland City Planning Commission "Fast-Food Restaurant--Guidelines for Development and Evaluation" (OCPD 100-18).

This finding is not applicable; the proposal does not involve a fast-food restaurant.

Findings of Public Convenience or Necessity (OMC Sec. 17.103.030(B)(3))

a. That a community need for the project is clearly demonstrated. To demonstrate community need, the applicant shall document in writing, specifically how the project would serve an unmet or underserved need or population within the overall Oakland community or the community in which the project is located, and how the proposed project would enhance physical accessibility to needed goods or services that the project would provide, including, but not limited to alcohol; and

Sale of beer and wine is typical with a limited service restaurant. Although it is located near a large supermarket chain and other restaurants that offer similar product offerings, there is no other pizza restaurant selling alcohol in this district. This site is easily accessed by vehicle or pedestrian traffic and is served by public transit.

b. That the overall project will have a positive influence on the quality of life for the community in which it is located, providing economic benefits that outweigh anticipated negative impacts, and that will not result in a significant increase in calls for police service; and

The project will increase business tax and consumer selection and is not anticipated to result in related nuisances given the format of the location and surrounding area.

c. That alcohol sales are customarily associated with, and are appropriate, incidental, and subordinate to, a principal activity on the lot.

The sale of alcoholic beverages is typical of a limited service restaurant with a full menu.

4a. The proposed project is not within one thousand (1,000) feet of another alcohol outlet (not including Full Service Restaurant Commercial Activities), school, licensed day care center, public park or playground, churches, senior citizen facilities, and licensed alcohol or drug treatment facilities; and

This finding is not met and a Variance is required as included in this report; the site is within one thousand feet of other alcohol outlets, a licensed day care center, and a public park as described in Variance finding #1.

4b. Police department calls for service within the "beat" where the project is located do not exceed by twenty percent (20%), the average of calls for police service in police beats Citywide during the preceding one (1) calendar year.

This finding is met. Police Beat 03y is well below the Citywide average for service calls within the beat. Beat 03y received 4,929 calls for service while 8,132 was the city-wide average (OPD 2015 statistic).

SECTION 17.148.050 – VARIANCE FINDINGS:

1. That strict compliance with the specified regulation would result in practical difficulty or unnecessary hardship inconsistent with the purposes of the zoning regulations, due to unique physical or topographic circumstances or conditions of design; or, as an alternative in the case of a minor variance, that such strict compliance would preclude an effective design solution improving livability, operational efficiency, or appearance.

The proposal requires a Variance for relief of the 1,000-foot separation requirement from nearby uses as noted in the table below:

	Address	Separation (parcels)	Description
ABC Outlets			
	1963 Mountain Blvd.	300'	Lucky's #734 - ABC License Type 21
	1991 Mountain Blvd.	275'	Rite Aid Pharmacy - ABC License Type 21
	2096 Mountain Blvd.	500'	Safeway #654 - ABC License Type 21
	6410 Moraga Ave.	350'	Crown Wine and Spirits - ABC License Type 21
	6218 La Salle Ave.	440'	Farmstead Wine and Cheese - ABC License Type 20
Civic Uses			
	2162 Mountain Blvd.	850'	Child Daycare Center
Public Park			
	6226 Moraga Ave.	900'	Montclair Recreation Center and Park

The intent of the Variance regulation is for a bar with late hours not to be located next to a public park or daycare where the mix of activities may cause significant disruptions to one another. The park and the day care center are within 1,000 feet of each other but are separated by multiple streets and not within the concentrated commercial area of the proposal. Therefore, the separation meets the intent of the distance separation requirement.

The intent of the ordinance requiring distance separations between certain uses is to ensure neighborhoods with high crime rates are not saturated with activities that generate off-site impacts such as littering, public intoxication/drinking/urination/noise/crime/violence in between civic uses and residential neighborhoods. However, the alcohol activities that exist are generally accessory to a restaurant which do not tend to create nuisances in a neighborhood. There are 27 active ABC licenses in the 4045.02 Census Tract, only five are off-sale within 1,000 feet; all other active ABC licenses within 1,000 feet are bona-fide food or multi-use establishments.

When analyzing the proposed activity, it satisfies the intent and purpose of the Planning Code separation requirement as is evidenced by the project's conditions of design, which, in the case of a proposed use, may include the proposed activity's operational characteristics and business practices such as hours of operation and full menu. Generally, "conditions of design" means the appearance or physical attributes of a proposed use or property. Major Variances are required for uses that might not otherwise be permitted under the zoning regulations. With land use Variances, "conditions of design" encompasses specific operational elements of a project; that is, business practices as they relate to a use's land use impacts. Here, there are distinctions between the proposed use, a limited service restaurant, and a liquor store or bar. The proposal has carefully considered its business operations to minimize its effect on all adjacent businesses by proposing operating hours that reflect a small neighborhood restaurant. In addition, the business model for this activity is a restaurant with some sales, which generally does not cause nuisances in a neighborhood.

2. That strict compliance with the regulations would deprive the applicant of privileges enjoyed by owners of similarly zoned property; or, as an alternative in the case of a minor variance, that such strict compliance would preclude an effective design solution fulfilling the basic intent of the applicable regulation;

The Variance will allow the activity to be established within 1,000 feet of another ABC outlet which is in the same commercial district. Furthermore, a restaurant will a full menu that provides wait staff and table service is not subject to the 1,000 separation.

3. That the variance, if granted, will not adversely affect the character, livability, or appropriate development of abutting properties or the surrounding area, and will not be detrimental to the public welfare or contrary to adopted plans or development policy;

The proposed limited service restaurant will be located in an existing building with no changes to the exterior of the space or changes to the storefront. The proposed activity will occupy an existing commercial space and is identical in size and shape to the other tenant spaces in the building and is compatible in size and character with the adjacent business on the block and neighborhood as a whole. The restaurant will not include any liquor sales and will close at 10:00pm. The character, livability, or appropriate development of the surrounding area will not be adversely and will not be detrimental to the public welfare or contrary to development policy. Furthermore, the applicant has received support for their application.

4. That the variance will not constitute a grant of special privilege inconsistent with limitations imposed on similarly zoned properties or inconsistent with the purposes of the zoning regulations;

The proposed limited service restaurant will admit minors and will cater to a families and customer interested a gourmet pizza option. The proposed project is a conditionally permitted activity in the neighborhood center zoning designation which is intended to identify, create, maintain and enhance mixed use neighborhood commercial centers. The proposed Mountain Mike's Pizza will not affect the existing building frontage on Mountain Blvd. but will allow for a new commercial tenant to occupy the street fronting tenant space of the adjacent storefront which maintains consistency with the zoning regulations.

5. That the elements of the proposal requiring the variance (e.g., elements such as buildings, walls, fences, driveways, garages and carports, etc.) conform with the regular design review criteria set forth in the design review procedure at Section 17.136.050.

The Variance is for relief from the distance separation requirement to an existing ABC outlet and design review is, therefore, not applicable.

6. That the proposal conforms in all significant respects with the Oakland General Plan and with any other applicable guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

See General Use Permit Finding E, above.

7. For proposals involving one or two residential dwelling units on a lot: That, if the variance would relax a regulation governing maximum height, minimum yards, maximum lot coverage or maximum floor area ratio, the proposal also conforms with at least one of the following criteria:

a. The proposal when viewed in its entirety will not adversely impact abutting residences to the side, rear, or directly across the street with respect to solar access, view blockage and privacy to a degree greater than that which would be possible if the residence were built according to the applicable regulation and, for height variances, the proposal provides detailing, articulation or other design treatments that mitigate any bulk created by the additional height; or

b. Over sixty (60) percent of the lots in the immediate vicinity are already developed and the proposal does not exceed the corresponding as-built condition on these lots and, for height variances, the proposal provides detailing, articulation or other design treatments that mitigate any bulk created by the additional height. The immediate context shall consist of the five closest lots on each side of the project site plus the ten closest lots on the opposite side of the street (see illustration I-4b); however, the Director of City Planning may make an alternative determination of immediate

context based on specific site conditions. Such determination shall be in writing and included as part of any decision on any variance.

This finding is not applicable; the project does not involve a house or duplex.

ATTACHMENT B: CONDITIONS OF APPROVAL**1. Approved Use**

The project shall be constructed and operated in accordance with the authorized use as described in the approved application materials, PLN17092 and the approved plans dated April 7, 2017, as amended by the following conditions of approval and mitigation measures, if applicable ("Conditions of Approval" or "Conditions").

2. Effective Date, Expiration, Extensions and Extinguishment

This Approval shall become effective immediately, unless the Approval is appealable, in which case the Approval shall become effective in ten calendar days unless an appeal is filed. Unless a different termination date is prescribed, this Approval shall expire **two years** from the Approval date, or from the date of the final decision in the event of an appeal, unless within such period all necessary permits for construction or alteration have been issued, or the authorized activities have commenced in the case of a permit not involving construction or alteration. Upon written request and payment of appropriate fees submitted no later than the expiration date of this Approval, the Director of City Planning or designee may grant a one-year extension of this date, with additional extensions subject to approval by the approving body. Expiration of any necessary building permit or other construction-related permit for this project may invalidate this Approval if said Approval has also expired. If litigation is filed challenging this Approval, or its implementation, then the time period stated above for obtaining necessary permits for construction or alteration and/or commencement of authorized activities is automatically extended for the duration of the litigation.

3. Compliance with Other Requirements

The project applicant shall comply with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to those imposed by the City's Bureau of Building, Fire Marshal, and Public Works Department. Compliance with other applicable requirements may require changes to the approved use and/or plans. These changes shall be processed in accordance with the procedures contained in Condition #4.

4. Minor and Major Changes

- a. Minor changes to the approved project, plans, Conditions, facilities, or use may be approved administratively by the Director of City Planning
- b. Major changes to the approved project, plans, Conditions, facilities, or use shall be reviewed by the Director of City Planning to determine whether such changes require submittal and approval of a revision to the Approval by the original approving body or a new independent permit/approval. Major revisions shall be reviewed in accordance with the procedures required for the original permit/approval. A new independent permit/approval shall be reviewed in accordance with the procedures required for the new permit/approval.

5. Compliance with Conditions of Approval

- a. The project applicant and property owner, including successors, (collectively referred to hereafter as the "project applicant" or "applicant") shall be responsible for compliance with all the Conditions of Approval and any recommendations contained in any submitted and approved technical report at his/her sole cost and expense, subject to review and approval by the City of Oakland.
- b. The City of Oakland reserves the right at any time during construction to require certification by a licensed professional at the project applicant's expense that the as-built project conforms to all applicable requirements, including but not limited to, approved maximum heights and minimum setbacks. Failure to construct the project in accordance with the Approval may result in remedial reconstruction, permit revocation, permit modification, stop work, permit suspension, or other corrective action.

- c. Violation of any term, Condition, or project description relating to the Approval is unlawful, prohibited, and a violation of the Oakland Municipal Code. The City of Oakland reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the Approval or alter these Conditions if it is found that there is violation of any of the Conditions or the provisions of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions. The project applicant shall be responsible for paying fees in accordance with the City's Master Fee Schedule for inspections conducted by the City or a City-designated third-party to investigate alleged violations of the Approval or Conditions.

6. Signed Copy of the Approval/Conditions

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times.

7. Blight/Nuisances

The project site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within 60 days of approval, unless an earlier date is specified elsewhere.

8. Indemnification

- a. To the maximum extent permitted by law, the project applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the Oakland City Council, the Oakland Redevelopment Successor Agency, the Oakland City Planning Commission, and their respective agents, officers, employees, and volunteers (hereafter collectively called "City") from any liability, damages, claim, judgment, loss (direct or indirect), action, causes of action, or proceeding (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "Action") against the City to attack, set aside, void or annul this Approval or implementation of this Approval. The City may elect, in its sole discretion, to participate in the defense of said Action and the project applicant shall reimburse the City for its reasonable legal costs and attorneys' fees.
- b. Within ten (10) calendar days of the service of any Action as specified in subsection (a) above, the project applicant shall execute a Joint Defense Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment, or invalidation of the Approval. Failure to timely execute the Letter of Agreement does not relieve the project applicant of any of the obligations contained in this Condition or other requirements or Conditions of Approval that may be imposed by the City.

9. Severability

The Approval would not have been granted but for the applicability and validity of each and every one of the specified Conditions, and if one or more of such Conditions is found to be invalid by a court of competent jurisdiction this Approval would not have been granted without requiring other valid Conditions consistent with achieving the same purpose and intent of such Approval.

SPECIFIC CONDITIONS RELATED TO ALCOHOL BEVERAGE SALES

10. Alcoholic Beverage Sales

a. Additional Permits Required

Prior to commencement of activity

A type 41 license shall be obtained from the ABC. The license must be obtained from existing stock within the City limits to the extent practicable pursuant to City Council Resolution No. 75490 C.M.S. (2000). This use shall conform to all provisions of the State ABC license. The state license and state conditions shall be posted along with these Conditional Use Permit conditions in a place visible to the public. This use shall also conform to all State Retail Operating Standards, Section 25612.5 of the Business and Professions Code and local Performance Standards, Section 15210, where applicable including any future changes in the above regulations. The intent of these standards is to reduce nuisance, litter, loitering, and crime associated with alcohol outlets. The City Conditions of Approval shall be forwarded to the Department of Alcoholic Beverage Control.

b. ABAT Registration

Prior to commencement of activity

The operator shall register with the Police Department's Alcoholic Beverage Action Team and adhere to their regulations.

c. Deemed Approved Alcoholic Beverage Sale Regulations

Ongoing

The applicant and proprietor voluntarily agree to conform to the Oakland Planning Code Deemed Approved Alcoholic Beverage Sale Regulations (OMC Sec. 17.156).

d. Crime Prevention Through Environmental Review (CPTED)

Prior to commencement of activity

The applicant shall request a CPTED review from the Oakland Police Department's Alcoholic Beverage Action Team (ABAT) and shall implement all recommendations to the extent practicable.

e. Neighborhood outreach

Ongoing

The business operator shall be accessible to neighbors wishing to register complaints against the business and shall work to eliminate any nuisances related to the business as reported by neighbors. The establishment shall display signage inside the building and next to the exit discouraging the patrons from generating nuisances outdoors both fronting the building and within the neighborhood. The establishment shall display signage at the front entrance and behind the bar offering contact numbers for both the establishment and the City (CEDA Code Compliance at (510)238-3381 and OPD non-emergency at (510)777-3333) for the purpose of reporting nuisances.

f. Location and manner of alcohol consumption

Ongoing

Alcohol sale is on-sale, for on-site consumption only.

g. Hours of Alcohol Sale

Ongoing

Hours of alcohol sales are limited to the following: Monday through Sunday 11:00pm to 10:00pm. No alcoholic beverages shall be sold within fifteen minutes prior to closing time. Food shall be available at all hours alcohol is sold.

11. Facility Management

a. Signage

Within 30 days of the date of decision and ongoing

At least one sign (one square foot maximum) shall be posted and maintained in a legible condition at each public entrance to the building prohibiting littering and loitering. Required signage prohibiting open containers and drinking in public shall also be maintained in legible condition near each public entrance

to bar. The "No Open Container" signs are available from the cashier located on the second floor of 250 Frank H. Ogawa Plaza.

b. Advertising signage

Ongoing

No product advertising signage (such as neon beer signs) or banners (such as happy hour advertisements) may be displayed.

c. Building Code Upgrades

Prior to commencing approved activities

The applicant shall obtain Building Permits and construct any building upgrades required to comply with the Building Code for occupancy requirements; it may be the case that no upgrades are required.

d. Modifications

Prior to submitting for a building permit & ongoing

All business signage and/or exterior alterations shall require Planning and Zoning Division approval.

e. Loitering

Ongoing

The owner, manager, and employees of this establishment shall make appropriate efforts to discourage loitering from the premises including calling the police to ask that they remove loiters who refuse to leave. Persons hanging around the exterior of the establishment with no apparent business for more than ten minutes shall be asked to leave. Techniques discussed in the manual entitled "Loitering: Business and Community Based Solutions" may be used and are recommended by the Alcoholic Beverage Action Team.

f. Odor

Ongoing

Staff shall eliminate outdoor odors by refraining from purposefully breaking defective bottles outside and by immediately washing spillage from bottles broken accidentally.

g. Graffiti

Ongoing

Graffiti shall be removed from the premises within 72 hours (3 days) of application.

h. Trash and litter

Ongoing

The licensees/property owners shall clear the gutter and sidewalks along Mountain Blvd. and La Salle Ave. plus twenty feet beyond the property lines along this street of litter twice daily or as needed to control litter. In addition to the requirements of B&P Code Section 25612.5 (sweep or mechanically clean weekly), the licensee shall clean the sidewalk with steam or equivalent measures once per month. The business shall utilize a recycling program.

i. Noise

Ongoing

The City Noise Ordinance (OMC Sec. 8.18.010) and Performance Standards (OMC Sec. 17.20.050) shall be observed for noise emanating from within the establishment from any source of recorded music and from patrons as well as from outdoor noise from patrons.

j. Smoking

Ongoing

The City Smoking Ordinance shall apply (OMC Sec. 8.30). Smoking shall only be located in the front of the building on the public sidewalk 25-feet to the north (left) of the doorway only due to the proximity of neighbors on-site to the rear and right of the building and State law. Ashtrays shall be provided adjacent to the entrance to prevent littering of cigarette butts. The establishment shall provide signage inside the building and next to the exit to direct patrons to the proper location for smoking. No smoking shall be permitted in the rear yard area.

12. Compliance hearings

Six months after the Certificate of Occupancy has been issued (or temporary Certificate of Occupancy if one is issued), the applicant shall initiate /schedule and attend a meeting with the Zoning staff to review any complaints or other known issues that have arisen during the first 6 months of operation under this permit. If Zoning or Code Compliance staff are aware of complaints that would indicate significant non-compliance with any Conditions of Approval, the applicant shall submit for, and pay all appropriate fees consistent with the Master Fee Schedule, and such review will be concluded in the process provided for under Oakland Planning Code, which may include referral to the Planning Commission .

Applicant Statement

I have read and accept responsibility for the Conditions of Approval. I agree to abide by and conform to the Conditions of Approval, as well as to all provisions of the Oakland Planning Code and Oakland Municipal Code pertaining to the project.

Name of Project Applicant

Signature of Project Applicant

Date



Community Mission

We at Mountain Mike's Pizza believe passionately in being active participants in the community we serve. We proudly provide support to organizations and groups that better our community through education, youth and adult sports, development of the arts, charitable acts and spiritual leadership.

Group Reservations

To make a reservation for your special occasion, please contact the store manager for details.

Fundraisers

Reserve a Fundraising Day with us and we do the rest. All you have to do is spread the word. The more you eat the more you raise! Invite everyone: families, friends, and supporters, and we'll contribute up to 20% of your group's total purchase to your cause.** More fundraising options are available. Please ask manager for details.

**for details contact the store manager. Up to 20% Fundraising contributions apply to food only (excludes Buffet & Alcohol).

++ Gluten-Free Warning:

Please be aware that our gluten-free crust is prepared in a non-gluten free environment. During normal kitchen operations involving shared cooking and preparation areas there is a possibility that our gluten-free crust will come into contact with wheat flour and/or other non-gluten free items. We cannot guarantee that any menu item is completely gluten-free. Customers with gluten sensitivities should therefore exercise judgment in consuming such items. **Ingredients:** White Rice Flour, Tapioca Flour, Water, Potato Flour, Olive Oil, Sugar, Yeast, Salt, & Seasonings. Crusts are Soy, Egg & Dairy Free.

All Mountain Mike's Pizza restaurants are locally owned and operated. Prices do not include tax. Alcoholic beverages are for dine-in consumption only. Delivery charges may apply. All prices are subject to change. © Mountain Mike's Pizza

House Specials

- Salads**
- All-You-Can-Eat Salad Bar 5.99
 - One Trip Salad Bar or To Go 4.99

All-You-Can-Eat Buffet

All-You-Can-Eat Pizza, Garlic Sticks, Salad Bar
Monday-Friday, 11am-2pm, Dine-In Only

- Lunch Buffet 7.99
- Kids (under 10) 4.99

- Mini Pizza 5.99

Choose up to 3 toppings

- Cinnamon Dessert Pizza Small - 5.99

- A Delicious End to Any Meal Medium - 7.99

(Calories per slice 96 - 74 slices per medium pizza)

- Pizza Cookie 5.99

(Cal/Slice 135; 8 slices per pizza)



Pizza the way it oughta be.
WE DELIVER

Pizza the way it oughta be.
WE DELIVER



San Leandro
699 Lewelling Blvd. #164
Greenhouse Marketplace Near Safeway
(510) 351-1100

Open Daily at 11 am

Order On-line
www.mountainmikes.com





Garlic Bread with Cheese

Chicken Wings

Mozzarella Sticks

Appetizers

- Chicken Wings 6pc - 5.99 / 12 pc - 10.99
- Buffalo or Honey BBQ (Calories 42.5/wing)
- Boneless Wings (8oz) 7.99
- Plain, BBQ or Buffalo (Calories 54/oz)
- Mozzarella Sticks (8pc) (Calories 90/pc) 7.99
- Jalapeno Poppers (6pc) (Calories 62/pc) 6.99
- Garlic Sticks (Calories 58/pc) 4.99
- Garlic Sticks with cheese (Calories 67/pc) 5.99
- Garlic Bread (Calories 467/roll) 2.99
- Garlic Bread with cheese (Calories 563/roll) 3.99

Oven-Baked Sandwiches

- Half Dome (Calories 695-977 depending on toppings) 5.99
- You'll need both hands for this delicious open-faced creation. With pizza sauce, mozzarella cheese and your choice of up to three pizza toppings on a fresh roll. Served with chips.
- Cliff Hanger (Calories 658-887 depending on toppings) 5.99
- A hearty sandwich! A fresh roll loaded with your choice of salami, ham, Louisiana-style hot sausage or Canadian-style bacon with cheese, crisp lettuce, fresh tomatoes, mustard and mayonnaise. Served with a pickle and chips.

Beverages

- Fountain Drinks (free refills or to go) 1.99
- 2 Liter Soda (to go) 2.99
- Bottled Water 1.25
- Snapple, Apple Juice, or Orange Juice 1.99

Beer & Wine

- | | | | |
|---|-------|-------------|---------|
| Domestic Beer | Mug | 1/2 Pitcher | Pitcher |
| Premium Beer | 3.25 | 6.99 | 10.99 |
| Ask about our Bottled Beer starting at \$2.99 | 3.99 | 7.99 | 12.99 |
| Wine | Glass | 1/2 Carafe | Carafe |
| | 3.25 | 5.99 | 9.99 |

Create Your Own

Sauces

- Traditional Red KC Masterpiece BBQ® Creamy Garlic White Pesto

Crusts

- Traditional Thin
- Gluten Free++

Toppings

- Pepperoni
- Linguica
- Italian Sausage
- Ham • Salami
- Beef
- Canadian Style Bacon
- LA Hot Style Sausage
- Bacon
- Chicken
- Anchovies
- Pineapple
- Artichokes
- Sun-Dried Tomatoes
- Diced Tomatoes
- Fresh Tomatoes
- Green Onions
- Mushrooms
- Pepperoncini
- Onions
- Spinach
- Bell Peppers
- Black Olives
- Jalapenos
- Garlic
- Extra Cheese



Chicken Club

One Topping Pizza

- 6" - Mini - 5.99
- 10" - Small - 10.99
- 12" - Med - 15.99
- 14" - Large - 19.99
- 20" - Mtn - 29.99

Each Additional Topping

- Mini - 1.00
- Small - 1.25
- Med - 1.50
- Large - 1.75
- Mtn - 2.50

++Gluten Free Crust available in 10" (Small) size only. Additional \$2 for Gluten-Free Crust. For more details regarding our gluten-free crust, please refer to the gluten-free warning on the back of this menu.

Specialty Pizzas

- 10" - Small 13.99
- 12" - Med 19.99
- 14" - Large 24.99
- 20" - Mtn 37.99
- Everest - Classic Combination**
Pepperoni, Italian sausage, salami, linguica, beef, mushrooms, black olives, bell peppers & onion. (Calories/slice: sm/176, med/233, large/269, mtn/369)
- McKinley - Traditional Combination**
Pepperoni, Italian sausage, mushrooms, black olives, bell peppers, onions & diced tomatoes. (Calories/slice: sm/147 med/195, large/223, mtn/308)
- Veggie-more - Vegetarian Combination**
Mushrooms, black olives, bell peppers, artichoke hearts & fresh tomatoes. (Calories/slice: sm/147, med/195, large/226, mtn/309)
- Olympus - Greek Vegetarian**
Diced tomatoes, black olives, red onions, and sliced pepperoninis, with feta and mozzarella cheeses on our traditional red sauce. On a thin crust. (Calories/slice: sm/108, med/157, large/201, mtn/281)
- Pikes Peak - All Meat Combination**
Sausage, pepperoni, beef, salami, linguica and ham. (Calories/slice: sm/190, med/250, large/287, mtn/477)
- Robber's Roost - Garlic Chicken Combination**
Grilled chicken, tomatoes, black olives, mushrooms and green onions with creamy garlic white sauce or traditional red sauce. (Calories/slice Red Sauce: sm/149, med/199, large/229, mtn/296) (Calories/slice Garlic White Sauce: sm/153, med/203, large/235, mtn/321)
- Snowy Alps - Garlic Combination**
Creamy garlic white sauce, pepperoni, mushrooms, black olives, sausage, green onions and diced tomatoes. (Calories/slice: sm/163, med/216, large/249, mtn/341)
- Pineapple Chicken Luau - Grilled Chicken & Pineapple**
KC Masterpiece BBQ sauce, bacon, pineapple and grilled chicken. (Calories/slice: sm/192, med/256, large/296, mtn/408)
- Chicken Club - Chicken & Bacon Combination**
Creamy garlic white sauce, chicken, bacon, diced tomatoes & green onions. (Calories/slice: sm/185, med/246, large/284, mtn/391)
- Sizzlin' Bacon Classic - Ham & Bacon Combination**
Creamy garlic white sauce, bacon, ham, mushrooms, black olives, & green onions. (Calories/slice: sm/181, med/238, large/274, mtn/376)
- Garlic Tuscan - Mediterranean Combination**
Louisiana hot sausage, salami, black olives, garlic, green onions, and sun dried tomatoes. (Calories/slice: sm/188, med/247, large/283, mtn/390)
- Hilo - The Hawaiian Supreme (Thin Crust)** A perfect blend of pineapple, bacon, black olives, our classic pepperoni, and mozzarella cheese - with red sauce. (Cal/slice: sm/158, med/220, large/272, mtn/381)
- Veggie Alps - Garlic Vegetarian**
Creamy garlic white sauce, mushroom, black olives, green onions, broccoli, and tomatoes. (Calories/slice: sm/152, med/215, large/249, mtn/337)
- Italian Margherita - Old World Classic - Olive oil, oregano, fresh basil, and sliced tomato on a thin crust.** (Cal/slice: sm/106, med/137, lg/164, mtn/219)



Pepperoni (Calories/force slice 260)




Avoiding Gluten? 

GLUTEN FREE CRUST
NOW AVAILABLE!

Now you can order all your favorite Mountain Mike's Pizzas on a **GLUTEN FREE crust**. 10 inch size only

[DETAILS >](#)



Appetizers & Sides

Garlic Bread
plain or with cheese

Garlic Sticks
plain or with cheese

Hot Wings
Mozzarella Sticks
Jalapeño Poppers



Salad Bar

Enjoy our All-You-Can-Eat salads from our salad bar or pack a salad to go. Available in most Mountain Mike's locations, check with your location for details.



Beverages

Fountain Drinks
All Mountain Mike's Pizza's serve a wide variety of beverages; Contact your local Mountain Mike's for details.

Nutrition

[Click here](#) for nutritional information

Specialty Pizzas

Create Your Own

Gluten Free

Sandwiches

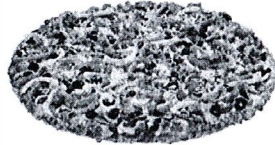
10" Small
Feeds 1-2 people

12" Medium
Feeds 2-3 people

14" Large
Feeds 3-4 people

20" Mountair
Feeds 6-8 people

Specialty Pizzas



The McKinley

Traditional Combination

Our famous pepperoni, Italian sausage, mushrooms, black olives, bell peppers, onions & diced tomatoes.

[Locate Store and Order](#)



The Everest

Classic Combination

Pepperoni, Italian sausage, salami, linguica, beef, mushrooms, black olives, bell peppers, and onion. Pizza the way it oughta be!

[Locate Store and Order](#)

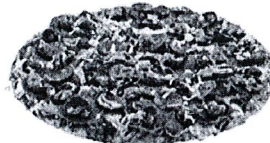


Mt. Veggiemore

Vegetarian landmark!

Lots of mushrooms, black olives, bell peppers, artichoke hearts, and fresh tomatoes. A pizza so great, its likeness should be carved in the side of a mountain.

[Locate Store and Order](#)



Pike's Peak

All Meat Combo

Mounds of sausage, pepperoni, beef, salami, linguica, and ham. If we put any more meat on this pizza, you'd need a side of mashed potatoes and gravy.

[Locate Store and Order](#)



Robber's Roost

Garlic Chicken Combination

The big bird ...Tender chicken pieces, tomatoes, olives, mushrooms and fresh green onions with a creamy garlic white or traditional red sauce.

[Locate Store and Order](#)

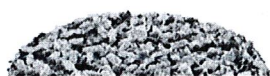


Snowy Alps

Garlic Combo

A combination of creamy garlic white sauce piled high with pepperoni, mushrooms, olives, sausage, green onions and diced tomatoes.

[Locate Store and Order](#)



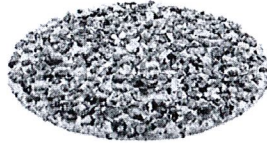
Pineapple Chicken Luau

Grilled Chicken & Pineapple



A tropical treat! Made with tangy KC Masterpiece BBQ sauce, crispy bacon, juicy pineapple, and grilled chicken.

[Locate Store and Order](#)

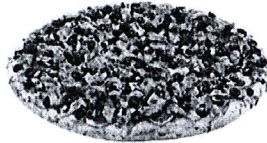


Chicken Club

Better than a BLT

Loaded with our rich and creamy garlic sauce, tender chicken, crisp bacon, fresh diced tomatoes and sweet green onions.

[Locate Store and Order](#)

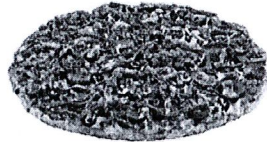


Sizzlin' Bacon Classic

A family favorite!

Crispy bacon and tender ham in creamy garlic sauce, mozzarella cheese, sliced mushrooms, olives, and sweet green onions.

[Locate Store and Order](#)



Garlic Tuscan

A frenzy for your taste buds!

Topped with Louisiana Hot Sausage, salami, black olives, garlic, fresh green onions, and sun dried tomatoes on our traditional red sauce.

[Locate Store and Order](#)

Two Item Specialty Pizza



Diamond Head

Ham and pineapple. A tropical treat straight from the Big Island.

[Locate Store and Order](#)



Mt. St. Helens

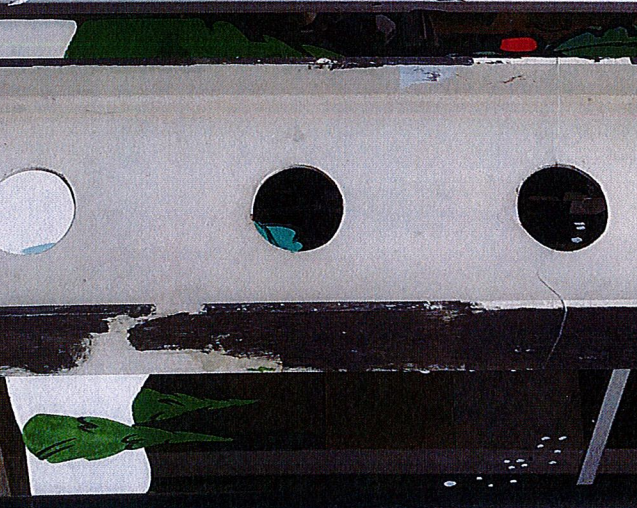
Spicy Louisiana Style Hot Sausage and tangy green chilies. A flavor explosion!

[Locate Store and Order](#)

[Home](#) | [Menu](#) | [Coupons](#) | [Locations](#) | [Order Online](#) | [Franchise Opportunities](#) | [Contact Us](#) | [Fundraising](#) | [Privacy Policy](#) | [About Us](#) | [Employment](#) | [Terms of Use](#) | [Site Map](#)

©2017 Mountain Mike's Pizza. All rights reserved. The Mountain Mike's Pizza name, logos, and related marks are trademarks of Mountain Mike's Pizza, LLC. All other trademarks are the property of their respective owners.

1111

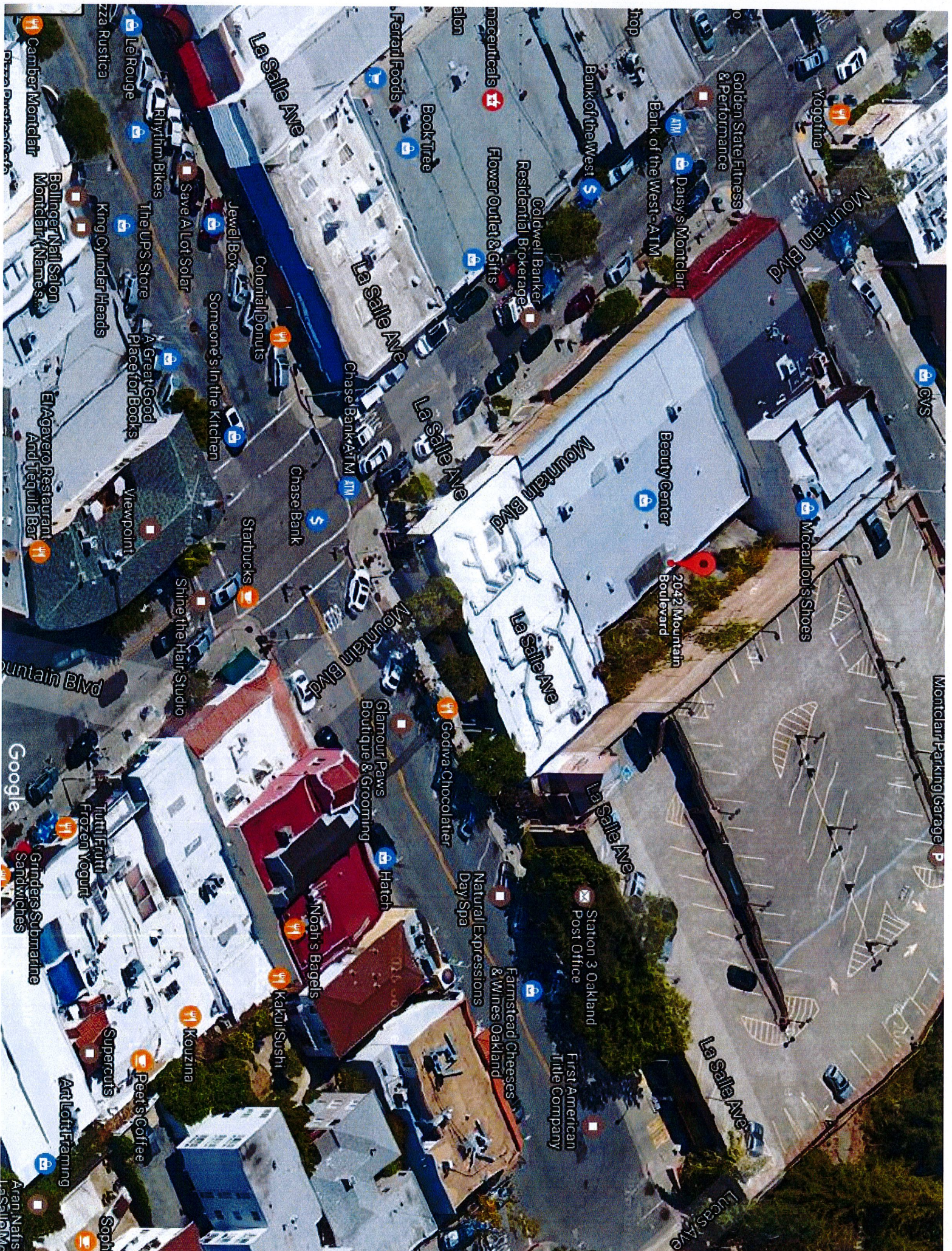


GORDON
COMMERCIAL
AVAILABLE
(510) 524-2344
www.gordoncommercial.com

GORDON
COMMERCIAL
AVAILABLE
(510) 524-2344
www.gordoncommercial.com

ARTIST
503.555.7777

ART
503.555.7777



CVS

Mccaulou's Shoes

Beauty Center

2042 Mountain Boulevard

Daisy's Montclair
ATM

Station 3 Oakland
Post Office

First American
Title Company

Farmstead Cheeses
& Wines Oakland

Natural Expressions
Day Spa

Godiva Chocolatier

Glamour Paws
Boutique & Grooming

Noah's Bagels

Kakuri Sushi

Kouzina

Peet's Coffee

Supercuts

Art Loft Framing

Grinders Submarine
Sandwiches

Nutti Fruit
Frozen Yogurt

Shine the Hair Studio

Starbucks

Chase Bank

Chase Bank ATM

La Salle Ave

La Salle Ave

Mountain Blvd

Beauty Center

Colwell Banker
Residential Brokerage

Flower Outlet & Gifts

Book Tree

Ferrari Foods

Colonial Plants

Someone's in the Kitchen

Save A Lot Solar

The UPS Store

King Cylinder Heads

Bollinger Nail Salon
Montclair Names

A Great Good
Placator Books

El Agavero Restaurant
And Tequila Bar

Viewpoint

Le Rouge

Rhythm Bikes

Pizza Rustica

Camber Montclair

Pizza Rustica

Montclair Parking Garage

La Salle Ave

La Salle Ave

Day Spa

Noah's Bagels

Kakuri Sushi

Kouzina

Peet's Coffee

Supercuts

Art Loft Framing

Grinders Submarine
Sandwiches

Nutti Fruit
Frozen Yogurt

Shine the Hair Studio

Starbucks

Chase Bank

Chase Bank ATM

La Salle Ave

La Salle Ave

Mountain Blvd

Beauty Center

Colwell Banker
Residential Brokerage

Flower Outlet & Gifts

Book Tree

Ferrari Foods

Colonial Plants

Someone's in the Kitchen

Save A Lot Solar

The UPS Store

King Cylinder Heads

Bollinger Nail Salon
Montclair Names

A Great Good
Placator Books

El Agavero Restaurant
And Tequila Bar

Viewpoint

Le Rouge

Rhythm Bikes

Pizza Rustica

Camber Montclair

Pizza Rustica

Montclair Parking Garage

La Salle Ave

La Salle Ave

Day Spa

Noah's Bagels

Kakuri Sushi

Kouzina

Peet's Coffee

Supercuts

Art Loft Framing

Grinders Submarine
Sandwiches

Nutti Fruit
Frozen Yogurt

Shine the Hair Studio

Starbucks

Chase Bank

Chase Bank ATM

La Salle Ave

La Salle Ave

Mountain Blvd

Beauty Center

Colwell Banker
Residential Brokerage

Flower Outlet & Gifts

Book Tree

Ferrari Foods

Colonial Plants

Someone's in the Kitchen

Save A Lot Solar

The UPS Store

King Cylinder Heads

Bollinger Nail Salon
Montclair Names

A Great Good
Placator Books

El Agavero Restaurant
And Tequila Bar

Viewpoint

Le Rouge

Rhythm Bikes

Pizza Rustica

Camber Montclair

Pizza Rustica

Montclair Parking Garage

La Salle Ave

La Salle Ave

Day Spa

Noah's Bagels

Kakuri Sushi

Kouzina

Peet's Coffee

Supercuts

Art Loft Framing

Grinders Submarine
Sandwiches

Nutti Fruit
Frozen Yogurt

Shine the Hair Studio

Starbucks

Chase Bank

Chase Bank ATM

La Salle Ave

La Salle Ave

Mountain Blvd

Beauty Center

Colwell Banker
Residential Brokerage

Flower Outlet & Gifts

Book Tree

Ferrari Foods

Colonial Plants

Someone's in the Kitchen

Save A Lot Solar

The UPS Store

King Cylinder Heads

Bollinger Nail Salon
Montclair Names

A Great Good
Placator Books

El Agavero Restaurant
And Tequila Bar

Viewpoint

Le Rouge

Rhythm Bikes

Pizza Rustica

Camber Montclair

Pizza Rustica

Montclair Parking Garage

La Salle Ave

La Salle Ave

Day Spa

Noah's Bagels

Kakuri Sushi

Kouzina

Peet's Coffee

Supercuts

Art Loft Framing

Grinders Submarine
Sandwiches

Nutti Fruit
Frozen Yogurt

Shine the Hair Studio

Starbucks

Chase Bank

Chase Bank ATM

La Salle Ave

La Salle Ave

Mountain Blvd

Beauty Center

Colwell Banker
Residential Brokerage

Flower Outlet & Gifts

Book Tree

Ferrari Foods

Colonial Plants

Someone's in the Kitchen

Save A Lot Solar

The UPS Store

King Cylinder Heads

Bollinger Nail Salon
Montclair Names

A Great Good
Placator Books

El Agavero Restaurant
And Tequila Bar

Viewpoint

Le Rouge

Rhythm Bikes

Pizza Rustica

Camber Montclair

Pizza Rustica

Montclair Parking Garage

La Salle Ave

La Salle Ave

Day Spa

Noah's Bagels

Kakuri Sushi

Kouzina

Peet's Coffee

Supercuts

Art Loft Framing

Grinders Submarine
Sandwiches

Nutti Fruit
Frozen Yogurt

Shine the Hair Studio

Starbucks

Chase Bank

Chase Bank ATM

La Salle Ave

La Salle Ave

Mountain Blvd

Beauty Center

Colwell Banker
Residential Brokerage

Flower Outlet & Gifts

Book Tree

Ferrari Foods

Colonial Plants

Someone's in the Kitchen

Save A Lot Solar

The UPS Store

King Cylinder Heads

Bollinger Nail Salon
Montclair Names

A Great Good
Placator Books

El Agavero Restaurant
And Tequila Bar

Viewpoint

Le Rouge

Rhythm Bikes

Pizza Rustica

Camber Montclair

Pizza Rustica

Montclair Parking Garage

La Salle Ave

La Salle Ave

Day Spa

Noah's Bagels

Kakuri Sushi

Kouzina

Peet's Coffee

Supercuts

Art Loft Framing

Grinders Submarine
Sandwiches

Nutti Fruit
Frozen Yogurt

Shine the Hair Studio

Starbucks

Chase Bank

Chase Bank ATM

La Salle Ave

La Salle Ave

Mountain Blvd

Beauty Center

Colwell Banker
Residential Brokerage

Flower Outlet & Gifts

Book Tree

Ferrari Foods

Colonial Plants

Someone's in the Kitchen

Save A Lot Solar

The UPS Store

King Cylinder Heads

Bollinger Nail Salon
Montclair Names

A Great Good
Placator Books

El Agavero Restaurant
And Tequila Bar

Viewpoint

Le Rouge

Rhythm Bikes

Pizza Rustica

Camber Montclair

Pizza Rustica

Montclair Parking Garage

La Salle Ave

La Salle Ave

Day Spa

Noah's Bagels

Kakuri Sushi

Kouzina

Peet's Coffee

Supercuts

Art Loft Framing

Grinders Submarine
Sandwiches

Nutti Fruit
Frozen Yogurt

Shine the Hair Studio

Starbucks

Chase Bank

Chase Bank ATM

La Salle Ave

La Salle Ave

Mountain Blvd

Beauty Center

Colwell Banker
Residential Brokerage

Flower Outlet & Gifts

Book Tree

Ferrari Foods

Colonial Plants

Someone's in the Kitchen

Save A Lot Solar

The UPS Store

King Cylinder Heads

Bollinger Nail Salon
Montclair Names

A Great Good
Placator Books

El Agavero Restaurant
And Tequila Bar

Viewpoint

Le Rouge

Rhythm Bikes

Pizza Rustica

Camber Montclair

Pizza Rustica

Montclair Parking Garage

La Salle Ave

La Salle Ave

Day Spa

Noah's Bagels

Kakuri Sushi

Kouzina

Peet's Coffee

Supercuts

Art Loft Framing

Grinders Submarine
Sandwiches

Nutti Fruit
Frozen Yogurt

Shine the Hair Studio

Starbucks

Chase Bank

Chase Bank ATM

La Salle Ave

La Salle Ave

Mountain Blvd

Beauty Center

Colwell Banker
Residential Brokerage

Flower Outlet & Gifts

</

David J. Elliott & Associates
 Architects
 17500 Central Expressway
 Suite 200
 San Ramon, CA 94583
 Tel: 925-391-1100
 Fax: 925-391-1101
 dave@djelliott.com

Mountain Mike's Pizza
 RESTAURANT
 MONTCLAIR VILLAGE
 2042 MOUNTAIN BLVD.
 OAKLAND, CA 94611

TENANT IMPROVEMENT

Project Number 2/27/17
Drawn By DJE
Project Number 1701

Sheet Title
TITLE-24 COMPLIANCE

Sheet Number T24-1

Use of these sheets and conditions is restricted to the project and site for which they were prepared. No part of this document is to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.



NO.	Description	DATE
1	Issue for Review	2/27/17

Item No.	Description	Code	Pass	Fail
1	General Building Code	90101.0	<input type="checkbox"/>	<input type="checkbox"/>
2	California Building Code	90201.0	<input type="checkbox"/>	<input type="checkbox"/>
3	California Fire Code	90301.0	<input type="checkbox"/>	<input type="checkbox"/>
4	California Electrical Code	90401.0	<input type="checkbox"/>	<input type="checkbox"/>
5	California Gas Code	90501.0	<input type="checkbox"/>	<input type="checkbox"/>
6	California Mechanical Code	90601.0	<input type="checkbox"/>	<input type="checkbox"/>
7	California Plumbing Code	90701.0	<input type="checkbox"/>	<input type="checkbox"/>
8	California Title 24, Part 6, Section 01000	90801.0	<input type="checkbox"/>	<input type="checkbox"/>
9	California Title 24, Part 6, Section 02000	90802.0	<input type="checkbox"/>	<input type="checkbox"/>
10	California Title 24, Part 6, Section 03000	90803.0	<input type="checkbox"/>	<input type="checkbox"/>
11	California Title 24, Part 6, Section 04000	90804.0	<input type="checkbox"/>	<input type="checkbox"/>
12	California Title 24, Part 6, Section 05000	90805.0	<input type="checkbox"/>	<input type="checkbox"/>
13	California Title 24, Part 6, Section 06000	90806.0	<input type="checkbox"/>	<input type="checkbox"/>
14	California Title 24, Part 6, Section 07000	90807.0	<input type="checkbox"/>	<input type="checkbox"/>
15	California Title 24, Part 6, Section 08000	90808.0	<input type="checkbox"/>	<input type="checkbox"/>
16	California Title 24, Part 6, Section 09000	90809.0	<input type="checkbox"/>	<input type="checkbox"/>
17	California Title 24, Part 6, Section 10000	90810.0	<input type="checkbox"/>	<input type="checkbox"/>
18	California Title 24, Part 6, Section 11000	90811.0	<input type="checkbox"/>	<input type="checkbox"/>
19	California Title 24, Part 6, Section 12000	90812.0	<input type="checkbox"/>	<input type="checkbox"/>
20	California Title 24, Part 6, Section 13000	90813.0	<input type="checkbox"/>	<input type="checkbox"/>
21	California Title 24, Part 6, Section 14000	90814.0	<input type="checkbox"/>	<input type="checkbox"/>
22	California Title 24, Part 6, Section 15000	90815.0	<input type="checkbox"/>	<input type="checkbox"/>
23	California Title 24, Part 6, Section 16000	90816.0	<input type="checkbox"/>	<input type="checkbox"/>
24	California Title 24, Part 6, Section 17000	90817.0	<input type="checkbox"/>	<input type="checkbox"/>
25	California Title 24, Part 6, Section 18000	90818.0	<input type="checkbox"/>	<input type="checkbox"/>
26	California Title 24, Part 6, Section 19000	90819.0	<input type="checkbox"/>	<input type="checkbox"/>
27	California Title 24, Part 6, Section 20000	90820.0	<input type="checkbox"/>	<input type="checkbox"/>
28	California Title 24, Part 6, Section 21000	90821.0	<input type="checkbox"/>	<input type="checkbox"/>
29	California Title 24, Part 6, Section 22000	90822.0	<input type="checkbox"/>	<input type="checkbox"/>
30	California Title 24, Part 6, Section 23000	90823.0	<input type="checkbox"/>	<input type="checkbox"/>
31	California Title 24, Part 6, Section 24000	90824.0	<input type="checkbox"/>	<input type="checkbox"/>
32	California Title 24, Part 6, Section 25000	90825.0	<input type="checkbox"/>	<input type="checkbox"/>
33	California Title 24, Part 6, Section 26000	90826.0	<input type="checkbox"/>	<input type="checkbox"/>
34	California Title 24, Part 6, Section 27000	90827.0	<input type="checkbox"/>	<input type="checkbox"/>
35	California Title 24, Part 6, Section 28000	90828.0	<input type="checkbox"/>	<input type="checkbox"/>
36	California Title 24, Part 6, Section 29000	90829.0	<input type="checkbox"/>	<input type="checkbox"/>
37	California Title 24, Part 6, Section 30000	90830.0	<input type="checkbox"/>	<input type="checkbox"/>
38	California Title 24, Part 6, Section 31000	90831.0	<input type="checkbox"/>	<input type="checkbox"/>
39	California Title 24, Part 6, Section 32000	90832.0	<input type="checkbox"/>	<input type="checkbox"/>
40	California Title 24, Part 6, Section 33000	90833.0	<input type="checkbox"/>	<input type="checkbox"/>
41	California Title 24, Part 6, Section 34000	90834.0	<input type="checkbox"/>	<input type="checkbox"/>
42	California Title 24, Part 6, Section 35000	90835.0	<input type="checkbox"/>	<input type="checkbox"/>
43	California Title 24, Part 6, Section 36000	90836.0	<input type="checkbox"/>	<input type="checkbox"/>
44	California Title 24, Part 6, Section 37000	90837.0	<input type="checkbox"/>	<input type="checkbox"/>
45	California Title 24, Part 6, Section 38000	90838.0	<input type="checkbox"/>	<input type="checkbox"/>
46	California Title 24, Part 6, Section 39000	90839.0	<input type="checkbox"/>	<input type="checkbox"/>
47	California Title 24, Part 6, Section 40000	90840.0	<input type="checkbox"/>	<input type="checkbox"/>
48	California Title 24, Part 6, Section 41000	90841.0	<input type="checkbox"/>	<input type="checkbox"/>
49	California Title 24, Part 6, Section 42000	90842.0	<input type="checkbox"/>	<input type="checkbox"/>
50	California Title 24, Part 6, Section 43000	90843.0	<input type="checkbox"/>	<input type="checkbox"/>
51	California Title 24, Part 6, Section 44000	90844.0	<input type="checkbox"/>	<input type="checkbox"/>
52	California Title 24, Part 6, Section 45000	90845.0	<input type="checkbox"/>	<input type="checkbox"/>
53	California Title 24, Part 6, Section 46000	90846.0	<input type="checkbox"/>	<input type="checkbox"/>
54	California Title 24, Part 6, Section 47000	90847.0	<input type="checkbox"/>	<input type="checkbox"/>
55	California Title 24, Part 6, Section 48000	90848.0	<input type="checkbox"/>	<input type="checkbox"/>
56	California Title 24, Part 6, Section 49000	90849.0	<input type="checkbox"/>	<input type="checkbox"/>
57	California Title 24, Part 6, Section 50000	90850.0	<input type="checkbox"/>	<input type="checkbox"/>
58	California Title 24, Part 6, Section 51000	90851.0	<input type="checkbox"/>	<input type="checkbox"/>
59	California Title 24, Part 6, Section 52000	90852.0	<input type="checkbox"/>	<input type="checkbox"/>
60	California Title 24, Part 6, Section 53000	90853.0	<input type="checkbox"/>	<input type="checkbox"/>
61	California Title 24, Part 6, Section 54000	90854.0	<input type="checkbox"/>	<input type="checkbox"/>
62	California Title 24, Part 6, Section 55000	90855.0	<input type="checkbox"/>	<input type="checkbox"/>
63	California Title 24, Part 6, Section 56000	90856.0	<input type="checkbox"/>	<input type="checkbox"/>
64	California Title 24, Part 6, Section 57000	90857.0	<input type="checkbox"/>	<input type="checkbox"/>
65	California Title 24, Part 6, Section 58000	90858.0	<input type="checkbox"/>	<input type="checkbox"/>
66	California Title 24, Part 6, Section 59000	90859.0	<input type="checkbox"/>	<input type="checkbox"/>
67	California Title 24, Part 6, Section 60000	90860.0	<input type="checkbox"/>	<input type="checkbox"/>
68	California Title 24, Part 6, Section 61000	90861.0	<input type="checkbox"/>	<input type="checkbox"/>
69	California Title 24, Part 6, Section 62000	90862.0	<input type="checkbox"/>	<input type="checkbox"/>
70	California Title 24, Part 6, Section 63000	90863.0	<input type="checkbox"/>	<input type="checkbox"/>
71	California Title 24, Part 6, Section 64000	90864.0	<input type="checkbox"/>	<input type="checkbox"/>
72	California Title 24, Part 6, Section 65000	90865.0	<input type="checkbox"/>	<input type="checkbox"/>
73	California Title 24, Part 6, Section 66000	90866.0	<input type="checkbox"/>	<input type="checkbox"/>
74	California Title 24, Part 6, Section 67000	90867.0	<input type="checkbox"/>	<input type="checkbox"/>
75	California Title 24, Part 6, Section 68000	90868.0	<input type="checkbox"/>	<input type="checkbox"/>
76	California Title 24, Part 6, Section 69000	90869.0	<input type="checkbox"/>	<input type="checkbox"/>
77	California Title 24, Part 6, Section 70000	90870.0	<input type="checkbox"/>	<input type="checkbox"/>
78	California Title 24, Part 6, Section 71000	90871.0	<input type="checkbox"/>	<input type="checkbox"/>
79	California Title 24, Part 6, Section 72000	90872.0	<input type="checkbox"/>	<input type="checkbox"/>
80	California Title 24, Part 6, Section 73000	90873.0	<input type="checkbox"/>	<input type="checkbox"/>
81	California Title 24, Part 6, Section 74000	90874.0	<input type="checkbox"/>	<input type="checkbox"/>
82	California Title 24, Part 6, Section 75000	90875.0	<input type="checkbox"/>	<input type="checkbox"/>
83	California Title 24, Part 6, Section 76000	90876.0	<input type="checkbox"/>	<input type="checkbox"/>
84	California Title 24, Part 6, Section 77000	90877.0	<input type="checkbox"/>	<input type="checkbox"/>
85	California Title 24, Part 6, Section 78000	90878.0	<input type="checkbox"/>	<input type="checkbox"/>
86	California Title 24, Part 6, Section 79000	90879.0	<input type="checkbox"/>	<input type="checkbox"/>
87	California Title 24, Part 6, Section 80000	90880.0	<input type="checkbox"/>	<input type="checkbox"/>
88	California Title 24, Part 6, Section 81000	90881.0	<input type="checkbox"/>	<input type="checkbox"/>
89	California Title 24, Part 6, Section 82000	90882.0	<input type="checkbox"/>	<input type="checkbox"/>
90	California Title 24, Part 6, Section 83000	90883.0	<input type="checkbox"/>	<input type="checkbox"/>
91	California Title 24, Part 6, Section 84000	90884.0	<input type="checkbox"/>	<input type="checkbox"/>
92	California Title 24, Part 6, Section 85000	90885.0	<input type="checkbox"/>	<input type="checkbox"/>
93	California Title 24, Part 6, Section 86000	90886.0	<input type="checkbox"/>	<input type="checkbox"/>
94	California Title 24, Part 6, Section 87000	90887.0	<input type="checkbox"/>	<input type="checkbox"/>
95	California Title 24, Part 6, Section 88000	90888.0	<input type="checkbox"/>	<input type="checkbox"/>
96	California Title 24, Part 6, Section 89000	90889.0	<input type="checkbox"/>	<input type="checkbox"/>
97	California Title 24, Part 6, Section 90000	90890.0	<input type="checkbox"/>	<input type="checkbox"/>
98	California Title 24, Part 6, Section 91000	90891.0	<input type="checkbox"/>	<input type="checkbox"/>
99	California Title 24, Part 6, Section 92000	90892.0	<input type="checkbox"/>	<input type="checkbox"/>
100	California Title 24, Part 6, Section 93000	90893.0	<input type="checkbox"/>	<input type="checkbox"/>
101	California Title 24, Part 6, Section 94000	90894.0	<input type="checkbox"/>	<input type="checkbox"/>
102	California Title 24, Part 6, Section 95000	90895.0	<input type="checkbox"/>	<input type="checkbox"/>
103	California Title 24, Part 6, Section 96000	90896.0	<input type="checkbox"/>	<input type="checkbox"/>
104	California Title 24, Part 6, Section 97000	90897.0	<input type="checkbox"/>	<input type="checkbox"/>
105	California Title 24, Part 6, Section 98000	90898.0	<input type="checkbox"/>	<input type="checkbox"/>
106	California Title 24, Part 6, Section 99000	90899.0	<input type="checkbox"/>	<input type="checkbox"/>
107	California Title 24, Part 6, Section 100000	90900.0	<input type="checkbox"/>	<input type="checkbox"/>

Item No.	Description	Code	Pass	Fail
1	General Building Code	90101.0	<input type="checkbox"/>	<input type="checkbox"/>
2	California Building Code	90201.0	<input type="checkbox"/>	<input type="checkbox"/>
3	California Fire Code	90301.0	<input type="checkbox"/>	<input type="checkbox"/>
4	California Electrical Code	90401.0	<input type="checkbox"/>	<input type="checkbox"/>
5	California Gas Code	90501.0	<input type="checkbox"/>	<input type="checkbox"/>
6	California Mechanical Code	90601.0	<input type="checkbox"/>	<input type="checkbox"/>
7	California Plumbing Code	90701.0	<input type="checkbox"/>	<input type="checkbox"/>
8	California Title 24, Part 6, Section 01000	90801.0	<input type="checkbox"/>	<input type="checkbox"/>
9	California Title 24, Part 6, Section 02000	90802.0	<input type="checkbox"/>	<input type="checkbox"/>
10	California Title 24, Part 6, Section 03000	90803.0	<input type="checkbox"/>	<input type="checkbox"/>
11	California Title 24, Part 6, Section 04000	90804.0	<input type="checkbox"/>	<input type="checkbox"/>
12	California Title 24, Part 6, Section 05000	90805.0	<input type="checkbox"/>	<input type="checkbox"/>
13	California Title 24, Part 6, Section 06000	90806.0	<input type="checkbox"/>	<input type="checkbox"/>
14	California Title 24, Part 6, Section 07000	90807.0	<input type="checkbox"/>	<input type="checkbox"/>
15	California Title 24, Part 6, Section 08000	90808.0	<input type="checkbox"/>	<input type="checkbox"/>
16	California Title 24, Part 6, Section 09000	90809.0	<input type="checkbox"/>	<input type="checkbox"/>
17	California Title 24, Part 6, Section 10000	90810.0	<input type="checkbox"/>	<input type="checkbox"/>
18	California Title 24, Part 6, Section 11000	90811.0	<input type="checkbox"/>	<input type="checkbox"/>
19	California Title 24, Part 6, Section 12000	90812.0	<input type="checkbox"/>	<input type="checkbox"/>
20	California Title 24, Part 6, Section 13000	90813.0	<input type="checkbox"/>	<input type="checkbox"/>
21	California Title 24, Part 6, Section 14000	90814.0	<input type="checkbox"/>	<input type="checkbox"/>
22	California Title 24, Part 6, Section 15000	90815.0	<input type="checkbox"/>	<input type="checkbox"/>
23	California Title 24, Part 6, Section 16000	90816.0	<input type="checkbox"/>	<input type="checkbox"/>
24	California Title 24, Part 6, Section 17000	90817.0	<input type="checkbox"/>	<input type="checkbox"/>
25	California Title 24, Part 6, Section 18000	90818.0	<input type="checkbox"/>	<input type="checkbox"/>
26	California Title 24, Part 6, Section 19000	90819.0	<input type="checkbox"/>	<input type="checkbox"/>
27	California Title 24, Part 6, Section 20000	90820.0	<input type="checkbox"/>	<input type="checkbox"/>
28	California Title 24, Part 6, Section 21000	90821.0	<input type="checkbox"/>	<input type="checkbox"/>
29	California Title 24, Part 6, Section 22000	90822.0	<input type="checkbox"/>	<input type="checkbox"/>
30	California Title 24, Part 6, Section 23000	90823.0	<input type="checkbox"/>	<input type="checkbox"/>
31	California Title 24, Part 6, Section 24000	90824.0	<input type="checkbox"/>	<input type="checkbox"/>
32	California Title 24, Part 6, Section 25000	90825.0	<input type="checkbox"/>	<input type="checkbox"/>
33	California Title 24, Part 6, Section 26000	90826.0	<input type="checkbox"/>	<input type="checkbox"/>
34	California Title 24, Part 6, Section 27000	90827.0	<input type="checkbox"/>	<input type="checkbox"/>
35	California Title 24, Part 6, Section 28000	90828.0	<input type="checkbox"/>	<input type="checkbox"/>
36	California Title 24, Part 6, Section 29000	90829.0	<input type="checkbox"/>	<input type="checkbox"/>
37	California Title 24, Part 6, Section 30000	90830.0	<input type="checkbox"/>	<input type="checkbox"/>
38	California Title 24, Part 6, Section 31000	90831.0	<input type="checkbox"/>	<input type="checkbox"/>
39	California Title 24, Part 6, Section 32000	90832.0	<input type="checkbox"/>	<input type="checkbox"/>
40	California Title 24, Part 6, Section 33000	90833.0	<input type="checkbox"/>	<input type="checkbox"/>
41	California Title 24, Part 6, Section 34000	90834.0	<input type="checkbox"/>	<input type="checkbox"/>
42	California Title 24, Part 6, Section 35000	90835.0	<input type="checkbox"/>	<input type="checkbox"/>
43	California Title 24, Part 6, Section 36000	90836.0	<input type="checkbox"/>	<input type="checkbox"/>
44	California Title 24, Part 6, Section 37000	90837.0	<input type="checkbox"/>	<input type="checkbox"/>
45	California Title 24, Part 6, Section 38000	90838.0	<input type="checkbox"/>	<input type="checkbox"/>
46	California Title 24, Part 6, Section 39000	90839.0	<input type="checkbox"/>	<input type="checkbox"/>
47	California Title 24, Part 6, Section 40000	90840.0	<input type="checkbox"/>	<input type="checkbox"/>
48	California Title 24, Part 6, Section 41000	90841.0	<input type="checkbox"/>	<input type="checkbox"/>
49	California Title 24, Part 6, Section 42000	90842.0	<input type="checkbox"/>	<input type="checkbox"/>
50	California Title 24, Part 6, Section 43000	90843.0	<input type="checkbox"/>	<input type="checkbox"/>
51	California Title 24, Part 6, Section 44000	90844.0	<input type="checkbox"/>	<input type="checkbox"/>
52	California Title 24, Part 6, Section 45000	90845.0	<input type="checkbox"/>	<input type="checkbox"/>
53	California Title 24, Part 6, Section 46000	90846.0	<input type="checkbox"/>	<input type="checkbox"/>
54	California Title 24, Part 6, Section 47000	90847.0	<input type="checkbox"/>	<input type="checkbox"/>
55	California Title 24, Part 6, Section 48000	90848.0	<input type="checkbox"/>	<input type="checkbox"/>
56	California Title 24, Part 6, Section 49000	90849.0	<input type="checkbox"/>	<input type="checkbox"/>
57	California Title 24, Part 6, Section 50000	90850.0	<input type="checkbox"/>	<input type="checkbox"/>

Use of the floor plans and specifications is limited to the project and site shown. Any other use, reproduction, or modification without the written consent of the architect is prohibited. The architect shall not be responsible for the construction of the project or for the performance of the contractor.

No.	Description	Unit
1		



SECTION 11.00 - FINISHES

Section	Material	Quantity	Unit	Notes
11.01	Acoustic Ceiling Tiles	1000	Sq. Ft.	Acoustic ceiling tiles, 2' x 2', 1/2" thick, mineral fiber, Class A fire rating.
11.02	Acoustic Wall Panels	500	Sq. Ft.	Acoustic wall panels, 1' x 4', 1/2" thick, mineral fiber, Class A fire rating.
11.03	Acoustic Baffles	200	Sq. Ft.	Acoustic baffles, 1' x 1', 1/2" thick, mineral fiber, Class A fire rating.

SECTION 12.00 - PARTITIONS

Section	Material	Quantity	Unit	Notes
12.01	Acoustic Glass Partitions	100	Sq. Ft.	Acoustic glass partitions, 1/2" thick, 1' x 8' panels, Class A fire rating.
12.02	Acoustic Solid Partitions	200	Sq. Ft.	Acoustic solid partitions, 1/2" thick, 1' x 8' panels, Class A fire rating.

SECTION 13.00 - FLOORING

Section	Material	Quantity	Unit	Notes
13.01	Acoustic Carpet Tiles	1000	Sq. Ft.	Acoustic carpet tiles, 1' x 1', 1/2" thick, Class A fire rating.
13.02	Acoustic Vinyl Tiles	500	Sq. Ft.	Acoustic vinyl tiles, 1' x 1', 1/2" thick, Class A fire rating.

SECTION 14.00 - WALLS

Section	Material	Quantity	Unit	Notes
14.01	Acoustic Drywall	1000	Sq. Ft.	Acoustic drywall, 1/2" thick, Class A fire rating.
14.02	Acoustic Gypsum Board	500	Sq. Ft.	Acoustic gypsum board, 1/2" thick, Class A fire rating.

SECTION 15.00 - CEILING

Section	Material	Quantity	Unit	Notes
15.01	Acoustic Grid	1000	Sq. Ft.	Acoustic grid, 2' x 2', Class A fire rating.
15.02	Acoustic Tiles	1000	Sq. Ft.	Acoustic tiles, 2' x 2', 1/2" thick, Class A fire rating.

SECTION 16.00 - LIGHTING

Section	Material	Quantity	Unit	Notes
16.01	Acoustic Recessed Lighting	100	Each	Acoustic recessed lighting, 4" diameter, Class A fire rating.
16.02	Acoustic Track Lighting	50	Each	Acoustic track lighting, 1' long, Class A fire rating.

SECTION 17.00 - MECHANICAL

Section	Material	Quantity	Unit	Notes
17.01	Acoustic Ductwork	100	Sq. Ft.	Acoustic ductwork, 1' diameter, Class A fire rating.
17.02	Acoustic Diffusers	50	Each	Acoustic diffusers, 1' x 1', Class A fire rating.

SECTION 18.00 - ELECTRICAL

Section	Material	Quantity	Unit	Notes
18.01	Acoustic Conduit	100	Linear Ft.	Acoustic conduit, 1/2" diameter, Class A fire rating.
18.02	Acoustic Boxes	50	Each	Acoustic boxes, 1' x 1', Class A fire rating.

SECTION 19.00 - PAINTS

Section	Material	Quantity	Unit	Notes
19.01	Acoustic Primer	100	Sq. Ft.	Acoustic primer, 1 coat, Class A fire rating.
19.02	Acoustic Paint	200	Sq. Ft.	Acoustic paint, 1 coat, Class A fire rating.

SECTION 20.00 - GLASS

Section	Material	Quantity	Unit	Notes
20.01	Acoustic Glass	100	Sq. Ft.	Acoustic glass, 1/2" thick, Class A fire rating.
20.02	Acoustic Panels	50	Sq. Ft.	Acoustic panels, 1' x 1', Class A fire rating.

SECTION 21.00 - FLOORING

Section	Material	Quantity	Unit	Notes
21.01	Acoustic Carpet	1000	Sq. Ft.	Acoustic carpet, 1/2" thick, Class A fire rating.
21.02	Acoustic Tiles	500	Sq. Ft.	Acoustic tiles, 1' x 1', 1/2" thick, Class A fire rating.

SECTION 22.00 - WALLS

Section	Material	Quantity	Unit	Notes
22.01	Acoustic Drywall	1000	Sq. Ft.	Acoustic drywall, 1/2" thick, Class A fire rating.
22.02	Acoustic Gypsum Board	500	Sq. Ft.	Acoustic gypsum board, 1/2" thick, Class A fire rating.

SECTION 23.00 - CEILING

Section	Material	Quantity	Unit	Notes
23.01	Acoustic Grid	1000	Sq. Ft.	Acoustic grid, 2' x 2', Class A fire rating.
23.02	Acoustic Tiles	1000	Sq. Ft.	Acoustic tiles, 2' x 2', 1/2" thick, Class A fire rating.

SECTION 24.00 - LIGHTING

Section	Material	Quantity	Unit	Notes
24.01	Acoustic Recessed Lighting	100	Each	Acoustic recessed lighting, 4" diameter, Class A fire rating.
24.02	Acoustic Track Lighting	50	Each	Acoustic track lighting, 1' long, Class A fire rating.

SECTION 25.00 - MECHANICAL

Section	Material	Quantity	Unit	Notes
25.01	Acoustic Ductwork	100	Sq. Ft.	Acoustic ductwork, 1' diameter, Class A fire rating.
25.02	Acoustic Diffusers	50	Each	Acoustic diffusers, 1' x 1', Class A fire rating.

SECTION 26.00 - ELECTRICAL

Section	Material	Quantity	Unit	Notes
26.01	Acoustic Conduit	100	Linear Ft.	Acoustic conduit, 1/2" diameter, Class A fire rating.
26.02	Acoustic Boxes	50	Each	Acoustic boxes, 1' x 1', Class A fire rating.

SECTION 27.00 - PAINTS

Section	Material	Quantity	Unit	Notes
27.01	Acoustic Primer	100	Sq. Ft.	Acoustic primer, 1 coat, Class A fire rating.
27.02	Acoustic Paint	200	Sq. Ft.	Acoustic paint, 1 coat, Class A fire rating.

SECTION 28.00 - GLASS

Section	Material	Quantity	Unit	Notes
28.01	Acoustic Glass	100	Sq. Ft.	Acoustic glass, 1/2" thick, Class A fire rating.
28.02	Acoustic Panels	50	Sq. Ft.	Acoustic panels, 1' x 1', Class A fire rating.

Item No.	Description	Quantity	Unit	Material	Remarks
1
2
3
4
5
6
7
8
9
10

Item No.	Description	Quantity	Unit	Material	Remarks
11
12
13
14
15
16
17
18
19
20

Item No.	Description	Quantity	Unit	Material	Remarks
21
22
23
24
25
26
27
28
29
30

Item No.	Description	Quantity	Unit	Material	Remarks
31
32
33
34
35
36
37
38
39
40

Item No.	Description	Quantity	Unit	Material	Remarks
41
42
43
44
45
46
47
48
49
50

Item No.	Description	Quantity	Unit	Material	Remarks
51
52
53
54
55
56
57
58
59
60

Item No.	Description	Quantity	Unit	Material	Remarks
61
62
63
64
65
66
67
68
69
70

Item No.	Description	Quantity	Unit	Material	Remarks
71
72
73
74
75
76
77
78
79
80

Item No.	Description	Quantity	Unit	Material	Remarks
81
82
83
84
85
86
87
88
89
90

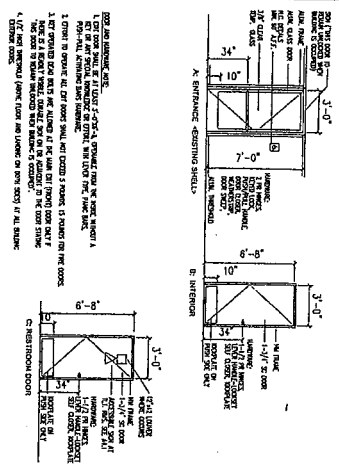
David J. Elliott & Associates
 Planning
 1700 North Loop
 Suite 100, CA 94607
 Tel. 831/853-1418
 dave@djelliott.com

Mountain Mike's Pizza
 RESTAURANT
 MONTCLAIR VILLAGE
 2042 MOUNTAIN BLVD.
 OAKLAND, CA 94611

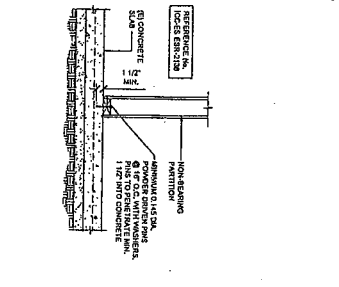
No.	Description	Code
1
2
3
4
5
6
7
8
9
10



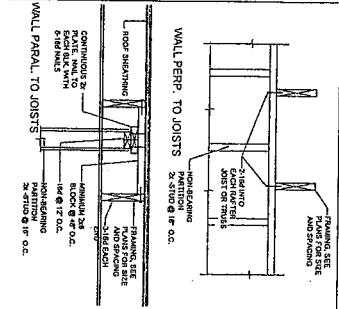
DATE: 2/27/17
 DRAWN BY: DJE
 PROJECT NUMBER: 1701
 SHEET TITLE: TITLE-24 COMPLIANCE
 SHEET NUMBER: T24-3



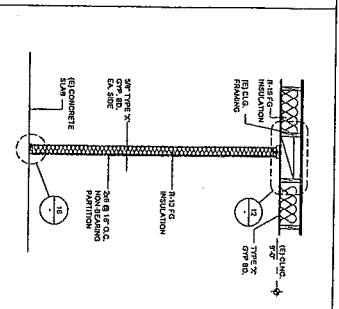
DOOR TYPES 19 20



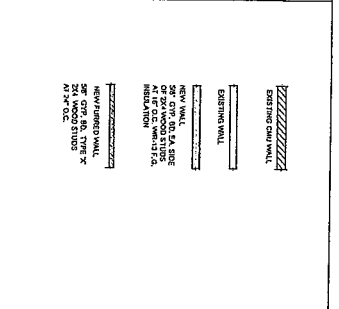
WALL DETAIL 1" = 1'-0" 16



WALL DETAIL 1" = 1'-0" 12



WALL DETAIL 1/2" = 1'-0" 8



WALL LEGEND 4

PLAN MARK	OPENING	TYPE	THICKNESS	CONSTRUCTN	FACING/FIN.	GLAZING	RATING	REMARKS
1	3'-0" x 7'-0"	A	1"	F	1"	1"	EXISTING	
2	3'-0" x 7'-0"	C	1 1/2"	SN	SN	1"	NEW	
3	3'-0" x 7'-0"	C	1 1/2"	SN	SN	1"	NEW	
4	3'-0" x 7'-0"	C	1 1/2"	SN	SN	1"	NEW	
5	3'-0" x 7'-0"	B	1"	SN	SN	1"	EXISTING	

SEE 12/22 FOR DOOR TYPES

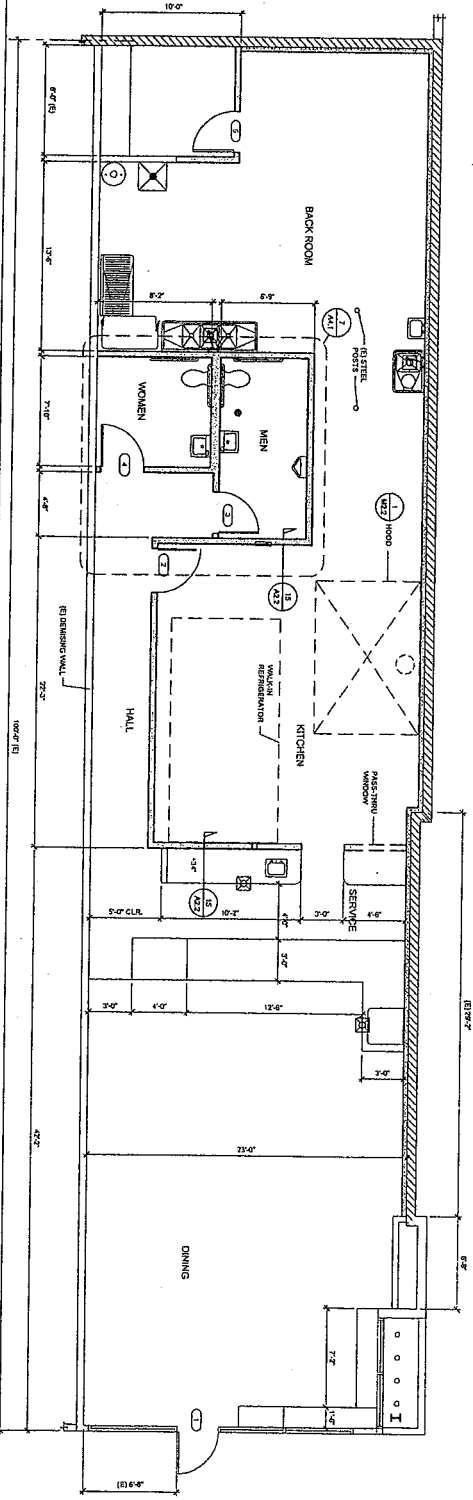
DOOR SCHEDULE NOTES:

- WHERE NO THICKNESS IS SHOWN, VERIFY PER MANUFACTURER
- DOOR CONSTRUCTION:
- FACING FINISH:
- GLAZING TYPE:
- DOOR RATING:
- DOOR TYPE:
- DOOR TYPE:
- DOOR TYPE:

DOOR SCHEDULE 19

ROOM NAME	FLOOR	BASE	WALLS	WAINSCOT	CEILING	CEILING HT.	REMARKS
ENTRANCE	0	1	0	0	0	0	
REAR	0	1	0	0	0	0	
BACK ROOM	0	1	0	0	0	0	
HALL	0	1	0	0	0	0	
KITCHEN	0	1	0	0	0	0	
DINING	0	1	0	0	0	0	
RESTROOM	0	1	0	0	0	0	
STORAGE	0	1	0	0	0	0	

EQUIPMENT SCHEDULE 3



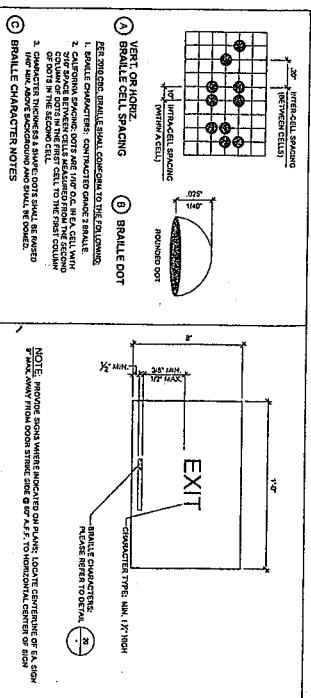
FLOOR PLAN 1/4" = 1'-0" 1

DATE: 2/27/17
 DRAWN BY: DJE
 PROJECT NUMBER: 1701
 SHEET TITLE: FLOOR PLAN
 SHEET NUMBER: A2.3

DAVE BARRETT
 ARCHITECTURE
 1700 CUBAN LANE
 TEL: 818.553.4118
 FAX: 818.553.4285
 DAVE@BARRETTARCH.COM

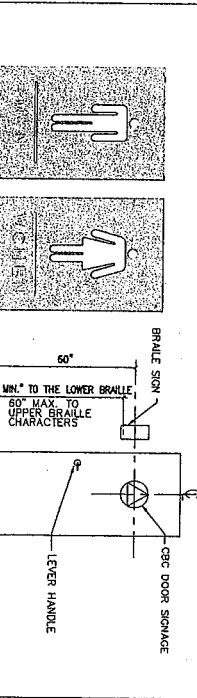
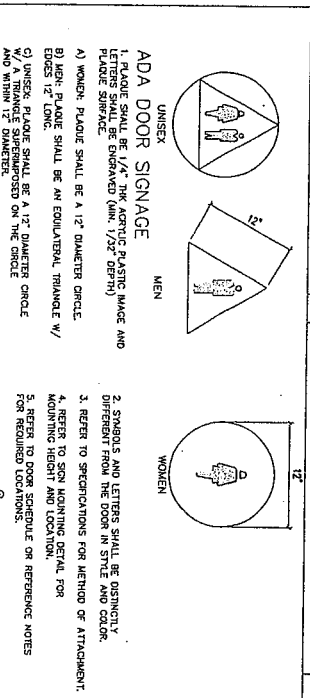
Mountain Mike's
 PIZZA RESTAURANT
 MONTCLAIR VILLAGE
 2042 MOUNTAIN BLVD.
 OAKLAND, CA 94611

Use of this floor plan and specifications is hereby granted to the contractor for the purpose of preparing the construction documents. The contractor shall be responsible for verifying the accuracy of the information provided herein. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for coordinating with the architect and other professionals involved in the project. The contractor shall be responsible for maintaining the accuracy of the information provided herein throughout the project.



CONTRACTED GRADE 2 BRaille 20

EXIT SIGN 16



DOOR SIGNAGE NOTES

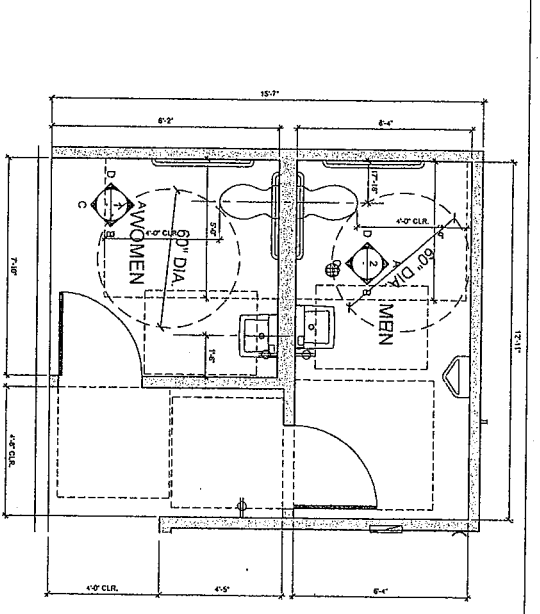
A. CHARACTER PROPORTION: LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH TO HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH TO HEIGHT RATIO BETWEEN 1:3 AND 1:10.

B. CHARACTER HEIGHT: CHARACTERS AND NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO CHARACTER PROPORTION. CHARACTER HEIGHT SHALL BE 3 INCHES.

C. CHARACTER SPACING: CHARACTER SPACING SHALL BE 1/8 INCH. CHARACTER SPACING SHALL BE 3 INCHES.

D. FINISH AND CONTRAST: THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE CONTRAST MATTE OR OTHER NON GLARE FINISH. CHARACTERS AND SYMBOLS SHOULD BE SET AGAINST A LIGHT BACKGROUND OTHER LIGHT CHARACTERS ON A DARK BACKGROUND ON A LIGHT BACKGROUND.

E. MOUNTING LOCATION AND HEIGHT: WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR SIDE OF THE DOOR INCLUDING ALL BRaille MOUNTING, IDENTIFICATION IS PROVIDED FOR THE LATCH SIDE OF THE DOOR INCLUDING ALL BRaille MOUNTING. SIGNS SHALL BE PLACED FLOOR TO THE CENTERLINE OF THE SIGN MOUNTING SHALL BE 60 INCHES ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN MOUNTING WITHIN 3 INCHES OF SWING WITHOUT ENCOUNTERING PROJECTED OVERHEAD SIGNS SHALL BE 48 INCHES FROM THE FINISH FLOOR.



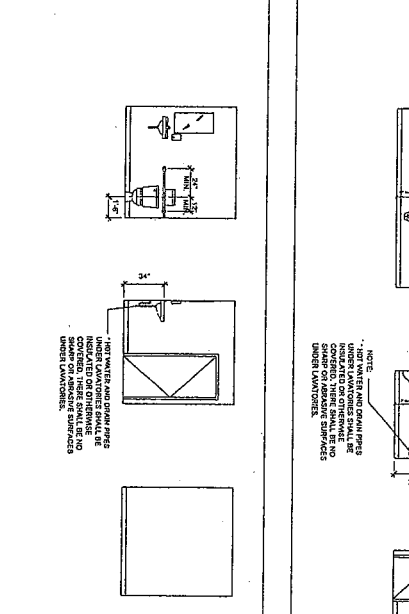
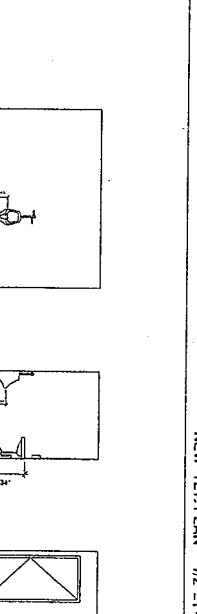
NOTE:

1. HOT WATER AND DRAIN PRESS UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO EXPOSURE OF HOT WATER PIPING UNDER LAVATORIES.

2. FLOORS IN TOILET AND BATHING ROOMS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE WHICH EXTENDS UPWARD ONTO THE WALLS AT LEAST 6".

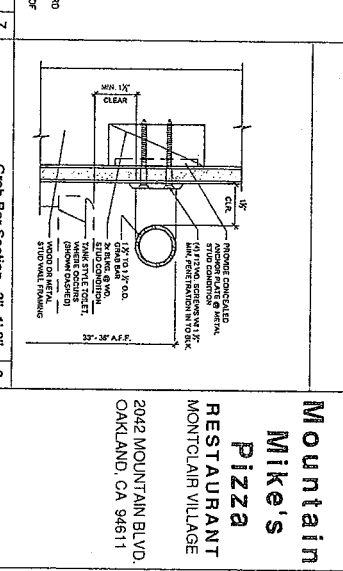
3. NONABSORBENT FINISH AND BACKING FOR TOILET ROOM WALLS WITHIN 2' OF WATER CLOSET AND URINALS TO A HEIGHT OF 6".

4. ACCESSIBLE TOILET SHOULD HAVE A SMOOTH, HARD, NONABSORBENT SURFACE.



Notes:

- FLOOR MOUNTED WATER CLOSET
- TOILET PAPER DISPENSER
- TOILET SEAT COVER DISPENSER
- TOILET SEAT COVER DISPENSER
- GRAB BAR
- MIRROR
- SOAP DISPENSER
- SOAP DISPENSER
- SOAP DISPENSER
- FLOOR TO BE SHEET VINYL W/6" COVER BASE W/3/8" RADIUS
11. RRP AT 78" HIGH
12. DOOR TO HAVE EMERALD PAINT FINISH
13. DOOR TO HAVE EMERALD PAINT FINISH
14. WALL
15. WALL



No.	Description	Date
1		
2		
3		

Issue Date: 2/27/17
 Drawn By: DJE
 Project Number: 1701
 Sheet Title: Restroom H.C. Standards & Toilet Details
 Sheet Number: A4.1

Mountain Mike's Pizza RESTAURANT MONTCLAIR VILLAGE
 2042 MOUNTAIN BLVD.
 OAKLAND, CA 94611

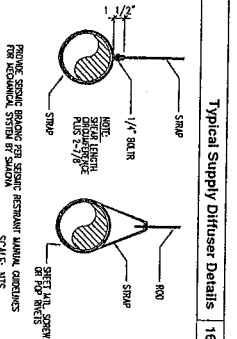
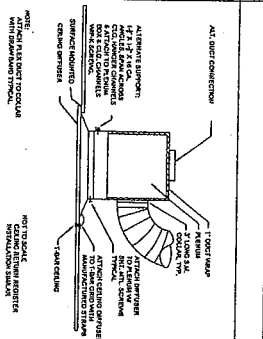
David J. Elliott & Associates
 17200 Colma Blvd.
 San Bruno, CA 94066
 Tel: 858165-1418
 Fax: 858165-1419
 dave@djelliott.com

Handicap Plaques N.T.S. 13
WOMEN'S INTERIOR ELEVATIONS 1/4"=1'-0"
1

Notes

1. ALL EQUIPMENT AND MATERIALS SHALL BE NEW AND SHALL BE EQUAL IN QUALITY TO THE EQUIPMENT AND ACCESSORIES TO THE EQUIPMENT AND ACCESSORIES LISTED IN THE SCHEDULE. THE EQUIPMENT AND ACCESSORIES LISTED IN THE SCHEDULE ARE THE QUALITY AND QUANTITY SPECIFICALLY REQUIRED FOR THIS PROJECT. THE QUALITY AND QUANTITY OF EQUIPMENT AND ACCESSORIES SHALL BE AS SHOWN IN THE SCHEDULE AND SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.
2. ALL EQUIPMENT AND MATERIALS SHALL BE NEW AND SHALL BE EQUAL IN QUALITY TO THE EQUIPMENT AND ACCESSORIES TO THE EQUIPMENT AND ACCESSORIES LISTED IN THE SCHEDULE. THE EQUIPMENT AND ACCESSORIES LISTED IN THE SCHEDULE ARE THE QUALITY AND QUANTITY SPECIFICALLY REQUIRED FOR THIS PROJECT. THE QUALITY AND QUANTITY OF EQUIPMENT AND ACCESSORIES SHALL BE AS SHOWN IN THE SCHEDULE AND SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.
3. ALL EQUIPMENT AND MATERIALS SHALL BE NEW AND SHALL BE EQUAL IN QUALITY TO THE EQUIPMENT AND ACCESSORIES TO THE EQUIPMENT AND ACCESSORIES LISTED IN THE SCHEDULE. THE EQUIPMENT AND ACCESSORIES LISTED IN THE SCHEDULE ARE THE QUALITY AND QUANTITY SPECIFICALLY REQUIRED FOR THIS PROJECT. THE QUALITY AND QUANTITY OF EQUIPMENT AND ACCESSORIES SHALL BE AS SHOWN IN THE SCHEDULE AND SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.
4. LINE ALL SUPPLY AND RETURN DUCTS FROM A MAINLINE OR FROM THE UNIT WITH 1" THICK GALV. STEEL OR THE SAME EQUIVALENT DUCT MATERIAL. ALL DUCTS SHALL BE SUPPORTED BY HANGERS AND SHALL BE INSTALLED IN THE DUCT WITH INSULATION. SEAL WITH DUCT SEALANT AT ALL JOINTS AND PENETRATIONS.
5. CONTRACTOR SHALL COMPLY WITH THE LATEST EDITION OF THE SMACNA SPECIFICATIONS FOR THE INSTALLATION OF METAL DUCTWORK AND METAL FLEXIBLE DUCTWORK. CONTRACTOR SHALL SUBMIT A DUCTWORK INSTALLATION PLAN TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL SHOW THE LOCATION, SIZE, AND SUPPORT OF ALL DUCTWORK. THE PLAN SHALL ALSO SHOW THE LOCATION AND SIZE OF ALL DUCTWORK PENETRATIONS THROUGH THE FLOOR AND CEILING. THE PLAN SHALL ALSO SHOW THE LOCATION AND SIZE OF ALL DUCTWORK PENETRATIONS THROUGH THE WALLS AND ROOF.
6. ALL AIR SYSTEMS SHALL BE BALANCED BY A QUALIFIED MECHANICAL CONTRACTOR. LINE AND FAN CURVE DATA SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR SHALL SUBMIT A BALANCING REPORT TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE REPORT SHALL SHOW THE LOCATION, SIZE, AND SUPPORT OF ALL DUCTWORK. THE REPORT SHALL ALSO SHOW THE LOCATION AND SIZE OF ALL DUCTWORK PENETRATIONS THROUGH THE FLOOR AND CEILING. THE REPORT SHALL ALSO SHOW THE LOCATION AND SIZE OF ALL DUCTWORK PENETRATIONS THROUGH THE WALLS AND ROOF.
7. CONTRACTOR SHALL VERIFY ALL WORK CONDITIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY WORK CONDITIONS THAT MAY AFFECT THE QUALITY OR QUANTITY OF THE WORK. CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY WORK CONDITIONS THAT ARE NOT NOTICED BY CONTRACTOR PRIOR TO COMMENCING WORK.
8. CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND SUPPLIES REQUIRED FOR THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MATERIALS AND SUPPLIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURAL MEMBERS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MECHANICAL AND ELECTRICAL SYSTEMS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PIPING AND DUCTWORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CEILING AND FLOOR FINISHES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WALL AND ROOF FINISHES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURAL MEMBERS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MECHANICAL AND ELECTRICAL SYSTEMS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PIPING AND DUCTWORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CEILING AND FLOOR FINISHES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WALL AND ROOF FINISHES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.

ROUND DUCTS	ROUND SIZE	SQUARE SIZE	HANGERS SPACING
1" DIA.	1.77" SQ.	3.14" SQ.	4'-0"
1 1/2" DIA.	2.25" SQ.	3.98" SQ.	4'-0"
2" DIA.	2.89" SQ.	5.07" SQ.	4'-0"
2 1/2" DIA.	3.69" SQ.	6.45" SQ.	4'-0"
3" DIA.	4.51" SQ.	8.04" SQ.	4'-0"
3 1/2" DIA.	5.34" SQ.	9.82" SQ.	4'-0"
4" DIA.	6.28" SQ.	11.86" SQ.	4'-0"
4 1/2" DIA.	7.23" SQ.	14.14" SQ.	4'-0"
5" DIA.	8.18" SQ.	16.65" SQ.	4'-0"
5 1/2" DIA.	9.17" SQ.	19.39" SQ.	4'-0"
6" DIA.	10.17" SQ.	22.36" SQ.	4'-0"



Typical Supply Diffuser Details 16

Round Duct Hanger Details 15

M/E	Description	Manuf.	Model	CFM	Remarks
M-1	SUPPLY REGISTER	TBD	TBD	500	LOCALLY SUPPLIED BY G.C.
M-2	RETURN REGISTER	TBD	TBD	1000	LOCALLY SUPPLIED BY G.C.
M-3	EXHAUST FAN	BROWN	876	80	LOCALLY SUPPLIED BY G.C.
M-4	VENTLESS HOOD	CLES	PC-VH	418	337 lbs. (with side shelf)
AC-1	AC UNIT	TBD	TBD	-	7.5 TON NEW NATURAL GAS

Mechanical Equipment Schedule

Notes

1. USE THE AC UNIT PREPARED BY SUPPLIER AMONG ALL ROOF MOUNTED EQUIPMENT AND PRESENTATIONS.

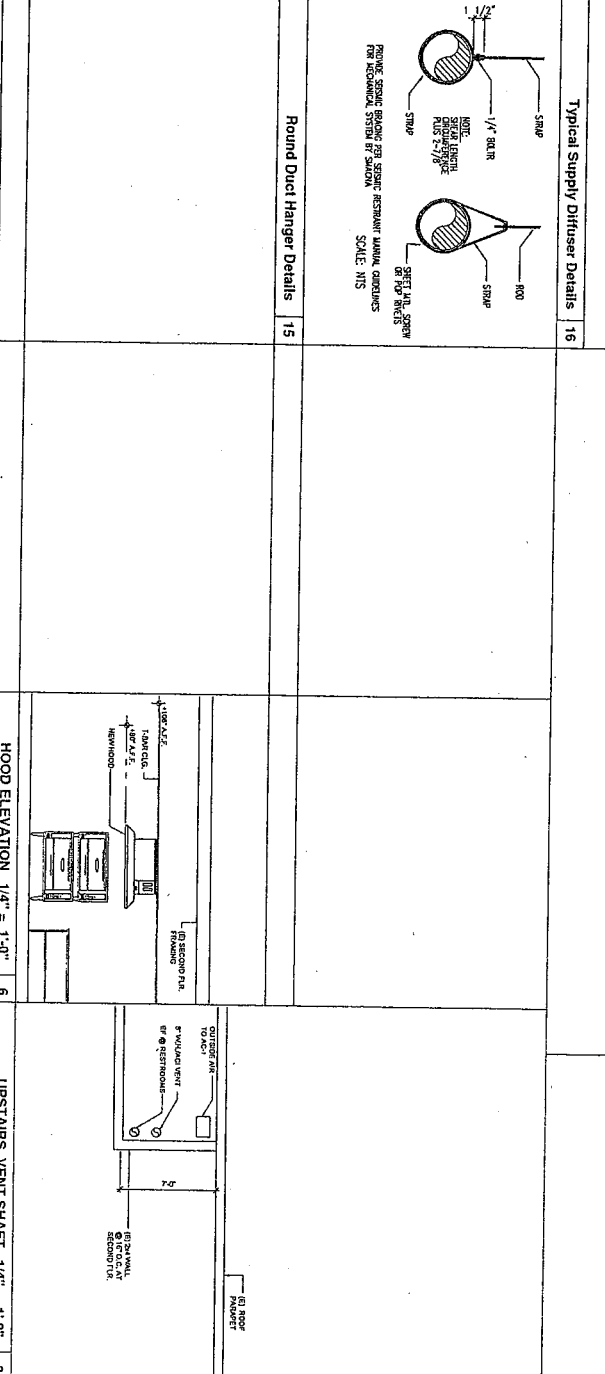
General Notes

1. USE THE AC UNIT PREPARED BY SUPPLIER AMONG ALL ROOF MOUNTED EQUIPMENT AND PRESENTATIONS.

David J. Elliott & Associates
 Architects
 17800 Central Expressway
 Suite 200
 San Ramon, CA 94583
 Tel: 925/395-1418
 Fax: 925/395-1419
 david@djeh.com
 david@djeh.net

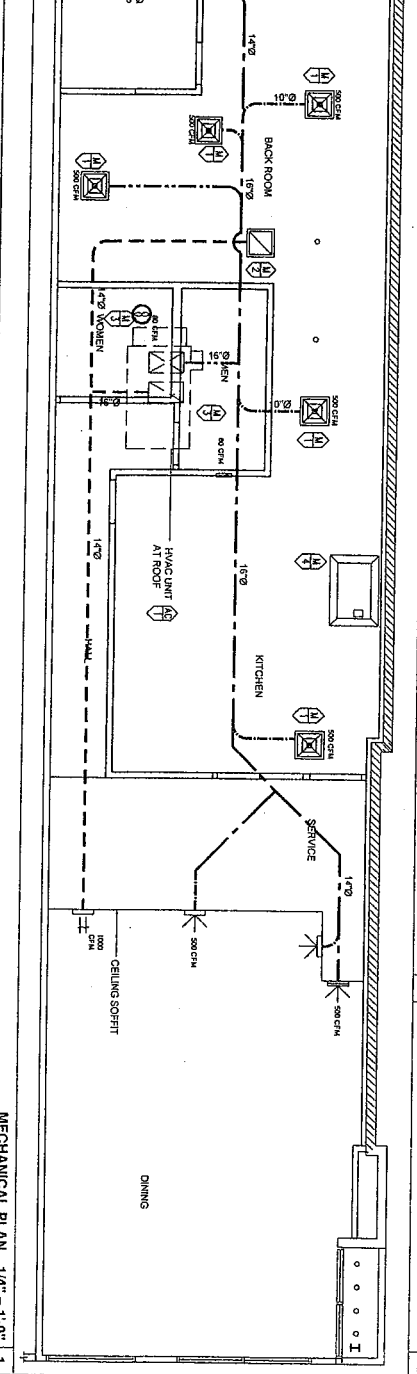
TENANT IMPROVEMENT

Mountain Mike's Pizza RESTAURANT
 MONTCLAIR VILLAGE
 2042 MOUNTAIN BLVD.
 OAKLAND, CA 94611



HOOD ELEVATION 1/4" = 1'-0"

UPSTAIRS VENT SHAFT 1/4" = 1'-0"



MECHANICAL PLAN 1/4" = 1'-0"

Sheet Title	MECHANICAL PLAN, DETAIL & SCHEDULE
Project Number	1701
Drawn By	DJE
Check Date	2/27/17
Sheet Number	M2.1

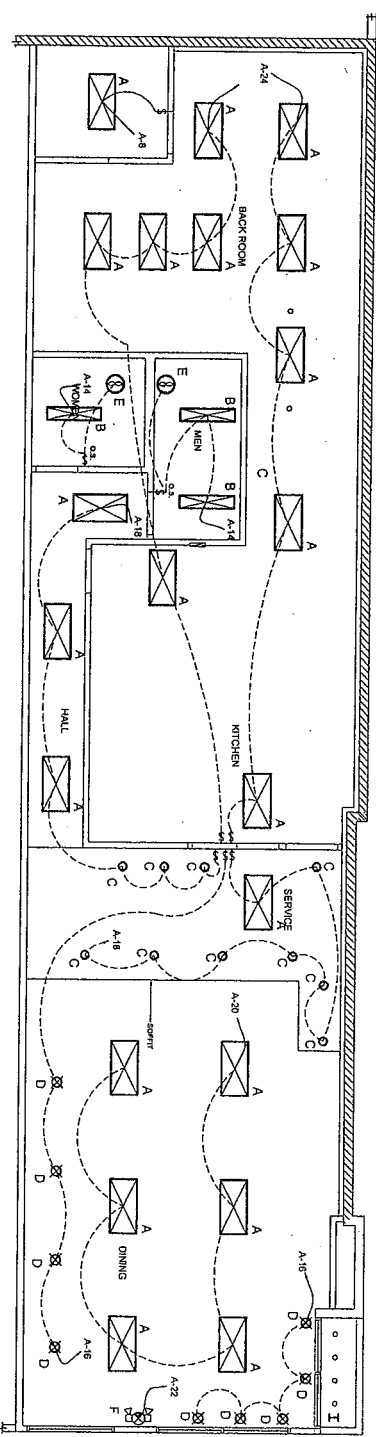
SYMBOL	DESCRIPTION	MARK	TYPE	NO.	NOTE
A	2' x 4' RECESSED TRIMLESS	□	□	5	1. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
B	RECESSED LIGHT FIXTURE	□	□	4	2. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
C	RECESSED LIGHT FIXTURE	□	□	10	3. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
D	RECESSED LIGHT FIXTURE	□	□	9	4. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
E	RECESSED LIGHT FIXTURE	□	□	2	5. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
F	RECESSED LIGHT FIXTURE	□	□	1	6. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
G	RECESSED LIGHT FIXTURE	□	□	-	7. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.

- General Notes**
1. REFER TO ARCHITECTURAL DRAWING A-21 FOR ANTICIPATED EQUIPMENT LAYOUT.
 2. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
 3. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
 4. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
 5. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
 6. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
 7. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
 8. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
 9. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
 10. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
 11. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
 12. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.

Electrical Key Symbols and Abbreviations

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	RECESSED LIGHT FIXTURE	10	RECESSED LIGHT FIXTURE
2	RECESSED LIGHT FIXTURE	11	RECESSED LIGHT FIXTURE
3	RECESSED LIGHT FIXTURE	12	RECESSED LIGHT FIXTURE
4	RECESSED LIGHT FIXTURE	13	RECESSED LIGHT FIXTURE
5	RECESSED LIGHT FIXTURE	14	RECESSED LIGHT FIXTURE
6	RECESSED LIGHT FIXTURE	15	RECESSED LIGHT FIXTURE
7	RECESSED LIGHT FIXTURE	16	RECESSED LIGHT FIXTURE
8	RECESSED LIGHT FIXTURE	17	RECESSED LIGHT FIXTURE
9	RECESSED LIGHT FIXTURE	18	RECESSED LIGHT FIXTURE
10	RECESSED LIGHT FIXTURE	19	RECESSED LIGHT FIXTURE
11	RECESSED LIGHT FIXTURE	20	RECESSED LIGHT FIXTURE
12	RECESSED LIGHT FIXTURE	21	RECESSED LIGHT FIXTURE
13	RECESSED LIGHT FIXTURE	22	RECESSED LIGHT FIXTURE
14	RECESSED LIGHT FIXTURE	23	RECESSED LIGHT FIXTURE
15	RECESSED LIGHT FIXTURE	24	RECESSED LIGHT FIXTURE
16	RECESSED LIGHT FIXTURE	25	RECESSED LIGHT FIXTURE
17	RECESSED LIGHT FIXTURE	26	RECESSED LIGHT FIXTURE
18	RECESSED LIGHT FIXTURE	27	RECESSED LIGHT FIXTURE
19	RECESSED LIGHT FIXTURE	28	RECESSED LIGHT FIXTURE
20	RECESSED LIGHT FIXTURE	29	RECESSED LIGHT FIXTURE
21	RECESSED LIGHT FIXTURE	30	RECESSED LIGHT FIXTURE
22	RECESSED LIGHT FIXTURE	31	RECESSED LIGHT FIXTURE
23	RECESSED LIGHT FIXTURE	32	RECESSED LIGHT FIXTURE
24	RECESSED LIGHT FIXTURE	33	RECESSED LIGHT FIXTURE
25	RECESSED LIGHT FIXTURE	34	RECESSED LIGHT FIXTURE
26	RECESSED LIGHT FIXTURE	35	RECESSED LIGHT FIXTURE
27	RECESSED LIGHT FIXTURE	36	RECESSED LIGHT FIXTURE
28	RECESSED LIGHT FIXTURE	37	RECESSED LIGHT FIXTURE
29	RECESSED LIGHT FIXTURE	38	RECESSED LIGHT FIXTURE
30	RECESSED LIGHT FIXTURE	39	RECESSED LIGHT FIXTURE
31	RECESSED LIGHT FIXTURE	40	RECESSED LIGHT FIXTURE
32	RECESSED LIGHT FIXTURE	41	RECESSED LIGHT FIXTURE
33	RECESSED LIGHT FIXTURE	42	RECESSED LIGHT FIXTURE
34	RECESSED LIGHT FIXTURE	43	RECESSED LIGHT FIXTURE
35	RECESSED LIGHT FIXTURE	44	RECESSED LIGHT FIXTURE
36	RECESSED LIGHT FIXTURE	45	RECESSED LIGHT FIXTURE
37	RECESSED LIGHT FIXTURE	46	RECESSED LIGHT FIXTURE
38	RECESSED LIGHT FIXTURE	47	RECESSED LIGHT FIXTURE
39	RECESSED LIGHT FIXTURE	48	RECESSED LIGHT FIXTURE
40	RECESSED LIGHT FIXTURE	49	RECESSED LIGHT FIXTURE
41	RECESSED LIGHT FIXTURE	50	RECESSED LIGHT FIXTURE
42	RECESSED LIGHT FIXTURE	51	RECESSED LIGHT FIXTURE
43	RECESSED LIGHT FIXTURE	52	RECESSED LIGHT FIXTURE
44	RECESSED LIGHT FIXTURE	53	RECESSED LIGHT FIXTURE
45	RECESSED LIGHT FIXTURE	54	RECESSED LIGHT FIXTURE
46	RECESSED LIGHT FIXTURE	55	RECESSED LIGHT FIXTURE
47	RECESSED LIGHT FIXTURE	56	RECESSED LIGHT FIXTURE
48	RECESSED LIGHT FIXTURE	57	RECESSED LIGHT FIXTURE
49	RECESSED LIGHT FIXTURE	58	RECESSED LIGHT FIXTURE
50	RECESSED LIGHT FIXTURE	59	RECESSED LIGHT FIXTURE
51	RECESSED LIGHT FIXTURE	60	RECESSED LIGHT FIXTURE
52	RECESSED LIGHT FIXTURE	61	RECESSED LIGHT FIXTURE
53	RECESSED LIGHT FIXTURE	62	RECESSED LIGHT FIXTURE
54	RECESSED LIGHT FIXTURE	63	RECESSED LIGHT FIXTURE
55	RECESSED LIGHT FIXTURE	64	RECESSED LIGHT FIXTURE
56	RECESSED LIGHT FIXTURE	65	RECESSED LIGHT FIXTURE
57	RECESSED LIGHT FIXTURE	66	RECESSED LIGHT FIXTURE
58	RECESSED LIGHT FIXTURE	67	RECESSED LIGHT FIXTURE
59	RECESSED LIGHT FIXTURE	68	RECESSED LIGHT FIXTURE
60	RECESSED LIGHT FIXTURE	69	RECESSED LIGHT FIXTURE
61	RECESSED LIGHT FIXTURE	70	RECESSED LIGHT FIXTURE
62	RECESSED LIGHT FIXTURE	71	RECESSED LIGHT FIXTURE
63	RECESSED LIGHT FIXTURE	72	RECESSED LIGHT FIXTURE
64	RECESSED LIGHT FIXTURE	73	RECESSED LIGHT FIXTURE
65	RECESSED LIGHT FIXTURE	74	RECESSED LIGHT FIXTURE
66	RECESSED LIGHT FIXTURE	75	RECESSED LIGHT FIXTURE
67	RECESSED LIGHT FIXTURE	76	RECESSED LIGHT FIXTURE
68	RECESSED LIGHT FIXTURE	77	RECESSED LIGHT FIXTURE
69	RECESSED LIGHT FIXTURE	78	RECESSED LIGHT FIXTURE
70	RECESSED LIGHT FIXTURE	79	RECESSED LIGHT FIXTURE
71	RECESSED LIGHT FIXTURE	80	RECESSED LIGHT FIXTURE
72	RECESSED LIGHT FIXTURE	81	RECESSED LIGHT FIXTURE
73	RECESSED LIGHT FIXTURE	82	RECESSED LIGHT FIXTURE
74	RECESSED LIGHT FIXTURE	83	RECESSED LIGHT FIXTURE
75	RECESSED LIGHT FIXTURE	84	RECESSED LIGHT FIXTURE
76	RECESSED LIGHT FIXTURE	85	RECESSED LIGHT FIXTURE
77	RECESSED LIGHT FIXTURE	86	RECESSED LIGHT FIXTURE
78	RECESSED LIGHT FIXTURE	87	RECESSED LIGHT FIXTURE
79	RECESSED LIGHT FIXTURE	88	RECESSED LIGHT FIXTURE
80	RECESSED LIGHT FIXTURE	89	RECESSED LIGHT FIXTURE
81	RECESSED LIGHT FIXTURE	90	RECESSED LIGHT FIXTURE
82	RECESSED LIGHT FIXTURE	91	RECESSED LIGHT FIXTURE
83	RECESSED LIGHT FIXTURE	92	RECESSED LIGHT FIXTURE
84	RECESSED LIGHT FIXTURE	93	RECESSED LIGHT FIXTURE
85	RECESSED LIGHT FIXTURE	94	RECESSED LIGHT FIXTURE
86	RECESSED LIGHT FIXTURE	95	RECESSED LIGHT FIXTURE
87	RECESSED LIGHT FIXTURE	96	RECESSED LIGHT FIXTURE
88	RECESSED LIGHT FIXTURE	97	RECESSED LIGHT FIXTURE
89	RECESSED LIGHT FIXTURE	98	RECESSED LIGHT FIXTURE
90	RECESSED LIGHT FIXTURE	99	RECESSED LIGHT FIXTURE
91	RECESSED LIGHT FIXTURE	100	RECESSED LIGHT FIXTURE

- Notes**
1. THE CLOCKING HOUR SYMBOLS...
 2. ELECTRICAL PANEL...



LIGHTING PLAN 1/4" = 1'-0"

Drawn By	DJE
Checked By	
Date	2/27/17
Project Number	1701
Sheet Title	LIGHTING ELECTRICAL PLAN
Sheet Number	E2.2

DAVE
 Planning
 1900 Clark Lane
 Oakland, CA 94612
 Tel: 510.865.4188
 Fax: 510.865.4188
 www.daveplanning.com

David J. Elliott & Associates
 TENANT IMPROVEMENT

Mountain Mike's Pizza RESTAURANT
 MONTCLAIR VILLAGE
 2042 MOUNTAIN BLVD.
 OAKLAND, CA 94611

No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		
51		
52		
53		
54		
55		
56		
57		
58		
59		
60		
61		
62		
63		
64		
65		
66		
67		
68		
69		
70		
71		
72		
73		
74		
75		
76		
77		
78		
79		
80		
81		
82		
83		
84		
85		
86		
87		
88		
89		
90		
91		
92		
93		
94		
95		
96		
97		
98		
99		
100		