

Case File Number: DA06011, PUD06010, PUD06010-PUDF06

October 4, 2017

<b>Location:</b>	<b>Brooklyn Basin (formerly known as “Oak to 9th Avenue”); specifically, Parcel F (APN 018 046500220).</b>
<b>Proposal:</b>	Final Development Permit (FDP) for Parcel F, including 211 affordable residential units in an 86-foot tall building.
<b>Applicant:</b>	MidPen Housing Corporation, Polo Munoz, (510) 426-5660.
<b>Owner:</b>	City of Oakland
<b>Planning Permits Required:</b>	FDP, compliance with CEQA.
<b>General and Estuary Plan:</b>	Planned Waterfront Development-1.
<b>Zoning:</b>	Planned Waterfront Zoning District (PWD-4)/D-OTN-4
<b>Environmental Determination:</b>	Final EIR certified on January 20, 2009
<b>Historic Status:</b>	Non-Historic Property
<b>Service Delivery District:</b>	3
<b>City Council District:</b>	2 – Abel Guillen
<b>Action to be Taken:</b>	Design review discussion; no decision to be considered.
<b>Finality of Decision:</b>	Not applicable.
<b>For further information:</b>	Contact case planner <b>Catherine Payne</b> at <b>510-238-6168</b> or by e-mail at <b>cpayne@oaklandnet.com</b>

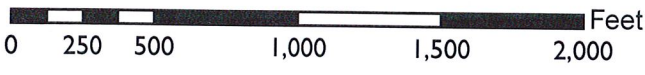
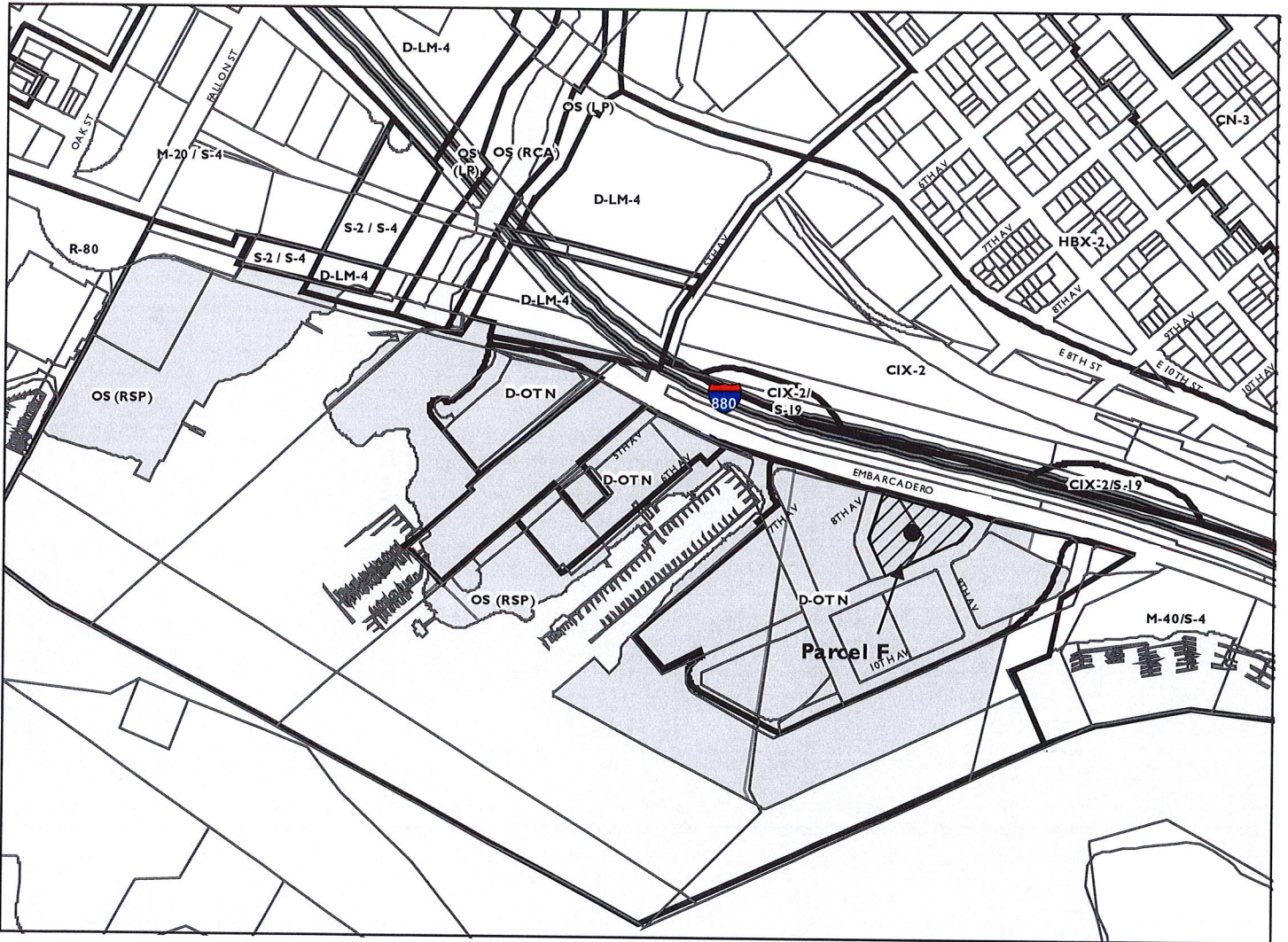
## SUMMARY

The proposed project is a Final Development Permit for construction of an affordable housing product on Parcel F of Brooklyn Basin. The proposed project includes 211 dwelling units and associated amenity space, as well as accessory parking and usable open space, in an 86-foot tall building encompassing an entire city block in the Brooklyn Basin Planned Unit Development along the Oakland Estuary waterfront south of the Lake Merritt Channel. The FDP for Parcel F is the third development FDP to be considered by the Planning Commission (The FDP for Parcel C was approved in August 2017, and the FDP for Parcel B was approved in September 2016).

## PROJECT SITE AND SURROUNDING AREA

Brooklyn Basin encompasses a 64-acre site that adjoins the Oakland Estuary to the south, the Embarcadero and I-880 freeway to the north, 9<sup>th</sup> Avenue to the east, and Fallon Street to the west. The project includes 29.9 acres of City parks located along the Oakland Estuary edge of the Brooklyn Basin Site.

# CITY OF OAKLAND PLANNING COMMISSION



Case File: PUD06010-FDP06  
Applicant: MidPen Housing  
Address: 1 9th Avenue, Brooklyn Basin Parcel F  
Zone: D-OTN

Parcel F is located within Phase 1 of the Brooklyn Basin PUD; specifically, Parcel F is a 1.74-acre site located on 8<sup>th</sup> Avenue (and fronting Embarcadero and Parcel T, a private street called out as 7<sup>th</sup> Avenue). Parcel F is across 8<sup>th</sup> Avenue from Parcel B (an FDP for which was approved in September 2016), and adjacent to Parcel G (planned for future development of multi-family residential and commercial uses, as well as area-serving parking).

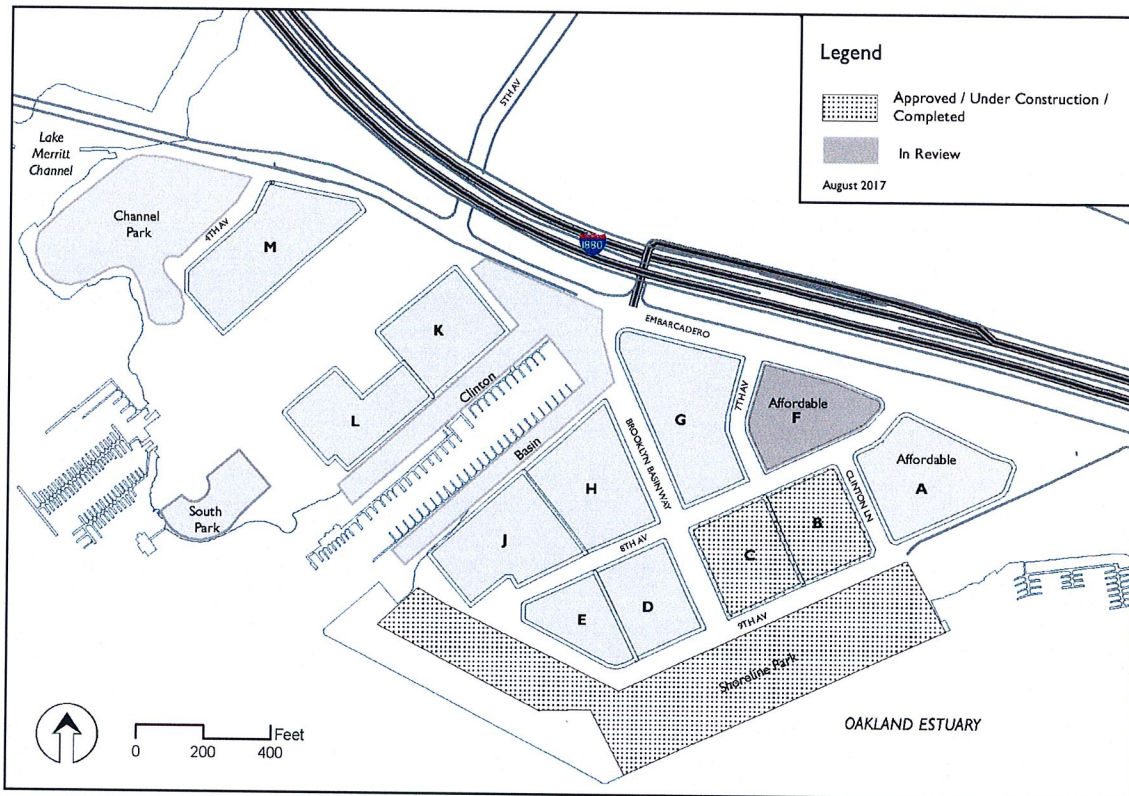
## PROJECT BACKGROUND

### *Project History*

The planned Brooklyn Basin Project consists of a mix of residential, retail and commercial, civic, and parks and open space uses preliminarily approved by the Planning Commission on March 15, 2006, and for which a Development Agreement was executed on July 18, 2006 by the City Council. Following a legal challenge, final entitlements were granted in 2009. The project sponsors plan to construct up to 3,100 residential units, 200,000 square feet of ground-floor commercial space, a minimum of 3,950 parking spaces, 29.9 acres of parks and public open space, two renovated marinas (with a total of 170 boat slips), and an existing wetlands restoration area. The existing buildings on the site have all been demolished, apart from a portion of the 9th Avenue Terminal shed building and the Jack London Aquatic Center. The project does not include approximately six acres of privately-held property along and east of 5th Avenue that contains a mix of commercial and industrial uses, as well as a small community of work/live facilities.

As noted above, Parcel F is located within Phase 1 of the Brooklyn Basin PUD. At this time, the Phase 1 Final Map has been recorded, horizontal infrastructure improvements constructed, and Final Development Permits issued for Shoreline Park and Parcels B and C. Shoreline Park and Parcel B residential development are currently under construction. In addition, the Bureau of Planning is in receipt of a FDP application for the remaining Brooklyn Basin parks (Gateway/Clinton Basin Park, South Park, and Channel Park). Most recently, the master developer has recorded the Phase 2 Final Map with the expectation to initiate development of Phase 2 parcels in the near future. Finally, it should be noted that the City of Oakland and the master developer, ZOHP, have exchanged parcel G for Parcel A to allow development of affordable housing on Brooklyn Basin Parcel A. Staff expects to receive applications for the remaining Phase 1 parcels in the near future.

The following provides a summary of the status of the Brooklyn Basin project:



**Brooklyn Basin Status**

**Summary of Recent Brooklyn Basin Milestones Summer 2017**

Milestone	Requirement	Status
Land Use Entitlements (DA, PUD/PDP, GPA, Rezone, EIR)	Oakland Municipal Code	Complies: Initial (challenged) approval 7/18/2006; Final approval 1/2009
Phase 1 Soil remediation (grading/surcharge permits)	EIR MM H, Prior to issuance of site development building permits	Complies: Activities completed 2014
Affordable Housing Developer Selection	DA Exhibit L, Section 4: proposal to City within one year of acquisition of Sites F, T and G	Complies: MidPen selected by Master Developer and approved by City Housing Department in 2015
Phase 1 Final Map	TTM, DA	FM7621 Approved May 2015
Phase 1 Infrastructure FDP and construction permits	Zoning regulations	Under construction; Completion expected 2016
Embarcadero Roadway Improvements	PUD	Under construction; Completion anticipated 2017

Community Facilities District	Condition of Approval 38, Prior to issuance of first Final Map	Complies: Estoppel Certificate in place; CFD formation in process.
Shoreline Park FDP	DA and PUD	Complies: Approved December 2015, BCDC confirmation May 2016
Parcel B FDP	PUD, FM7621	Approved September 2016
Parcel C FDP	PUD, FM7621	Approved August 2017
Phase 2 Final Map	PUD, TTM7621	Recorded June 2017

## PROJECT DESCRIPTION

The proposed Brooklyn Basin Parcel F project is an 86-foot tall building encompassing half of a triangular city block. Once completed, the project will include up to 211 dwelling units, 192 enclosed parking spaces, amenity space (including fitness, community, and computer rooms for resident use), and both private and group open space. The project could be built in two phases, and will be constructed as two separate, but attached buildings to accommodate both family and senior housing. The project includes the following:

- Phase A Family Housing (approx. 1-acre, western portion of site):
  - 101 dwelling units (one- to three-bedroom unit mix);
  - 110 parking spaces;
  - 10,000 square feet of open space (in private and group configurations); and
  - Amenity space (fitness room, community rooms, computer/office room).
- Phase B Senior Housing (approximately .75 acre, eastern portion of site):
  - 110 dwelling units (mostly one- and a few two-bedroom units);
  - 82 parking spaces;
  - 4,700 square feet of open space (in private and group configurations); and
  - Amenity space (community and office rooms).

Plans, elevations and illustratives are provided in Attachment A to this report.

## GENERAL PLAN ANALYSIS

The Brooklyn Basin project site is located in the Planned Waterfront Development-4 (PWD-4) Estuary Policy Plan (EPP) land use designation (the EPP is the General Plan for the area that includes Brooklyn Basin). The intent of the PWD-4 land use designation is to “provide for the transition of underutilized industrial land to public parks and open space, commercial/retail, multifamily residential, cultural and civic uses. Improve public access to the waterfront by providing additional public parks and open space areas and a waterfront trail.” In terms of desired character, future development should “create a new mixed-use residential,

commercial/retail, recreational neighborhood in the areas south of the Embarcadero. New parks and open space areas will provide public access to the Estuary and will continue the series of waterfront parks and the San Francisco Bay Trail. Civic and cultural uses may be incorporated into the development. Two existing marinas will be renovated to enhance boating and marine-related uses in the area.” The maximum allowed intensity is 50 residential units per gross acre over the entire 64.2 planning area included in the PWD-4 land use classification, and approximately 200,000 square feet of commercial development. The master planned Brooklyn Basin PUD allows for development of up to 3,100 residential units. At this time, the total count for units considered under Final Development Permits is 693, well within the existing allowance.

The following is an analysis of how the proposed project meets applicable EPP objectives (staff analysis in indented, italicized text below each objective):

- Objective LU-1: Provide for a broad mixture of activities within the Estuary area.
  - *The proposal will deliver affordable residential development that will intensify and support new uses in the Brooklyn Basin area and complement park and recreation uses along the Oakland Estuary waterfront.*
- Objective LU-3: Expand opportunities and enhance the attractiveness of the Estuary as a place to live.
  - *The proposed project will provide much-needed affordable housing in a new neighborhood in a desirable location, supporting the socio-economic diversity of Oakland that makes it an attractive and desirable place to live.*
- Objective LU-4: Develop the Estuary area in a way that enhances Oakland’s long-term economic development.
  - *The proposal will deliver much-needed affordable residential development that will intensify and support new uses in the Brooklyn Basin area and complement park and recreation uses, as well as commercial uses, along the Oakland Estuary waterfront.*
- Objective LU-5: Provide for the orderly transformation of land uses while acknowledging and respecting cultural and historical resources.
  - *The proposed mixed-use residential and commercial project would meet the goals for providing new uses on underutilized sites. The project is an important piece of the larger Brooklyn Basin project, which is transforming and improving the Oakland Estuary waterfront for public recreational and commercial use. As part of the Brooklyn Basin PUD, the master developer is retaining, restoring and occupying a portion of the historic 9<sup>th</sup> Avenue Terminal for historic interpretive, recreational, and commercial uses.*
- Objective LU-6: Create greater land use continuity between the Estuary waterfront and adjacent inland districts.
  - *The proposed project on Parcel F is part of the larger Brooklyn Basin PUD, which is designed specifically to connect the waterfront to the land side of Embarcadero, with landscaped streets and promenades, as well as improved pedestrian, bicycle and vehicular connectivity across Embarcadero and throughout the site.*

## ZONING ANALYSIS

Parcel F is located within the Planned Waterfront Zoning District-4 (PWD-4 Zone). The intent of the PWD-4 Zone is to provide mid-rise and high-rise housing opportunities together with ground-floor retail and commercial uses. Future development is to be set back from the waterfront and address compatibility between residential and nonresidential uses, and reflect a variety of housing and business types. The following discussion outlines the purpose of the PWD-4 zone, with staff analysis provided below in indented, italicized text:

- Encourage the creation of a mixed-use district that integrates a combination of residential, commercial, public open space and civic uses.
  - *The proposed project is an affordable housing development that will diversify living opportunities in the neighborhood.*
- Establish development standards that allow residential, commercial, public open space and civic activities to compatibly co-exist.
  - *The proposed project is subject to and generally meets the development and other standards under the PWD-4 Zone for density, height, setbacks, outdoor open space and parking, and is compatible with the site and surrounding area.*
- Provide a balance of private development and public open space with convenient access to public open space and the waterfront.
  - *The residential project is conveniently located within one block of Shoreline Park and the Oakland Estuary.*
- Improve access to the waterfront and recreational opportunities along the waterfront including boat launches and marinas.
  - *The proposal is part of the Brooklyn Basin PUD which includes infrastructure improvements such as marinas and boat launch areas for public use along the Oakland Estuary.*
- Encourage quality and variety in building and landscape design as well as compatibility in use and form.
  - *The proposal is designed to be visually interesting and differentiated from the planned projects for Parcels B and C in order to provide variety in the neighborhood.*

### Oak to 9<sup>th</sup> Brooklyn Basin Design Guidelines

- Urban Design Principles:
  - Create walkable and lively public streets, open spaces and pedestrian ways that provide strong visual and pedestrian linkages between the waterfront and inland areas.
    - *The Brooklyn Basin PUD will have approximately ten new public streets, including 7<sup>th</sup> Avenue (currently a private parcel with planned public access). The intent is for 7<sup>th</sup> Avenue to provide vehicular access to Parcels F and G, while also functioning as an attractive, pleasant pedestrian environment in the neighborhood.*

- Introduce a mix of housing that supports a diverse population of residents and that promotes a nighttime environment along the waterfront.
  - *The proposed project adds a much-needed influx of affordable residential units with a variety of unit types (including senior housing and one- to three-bedroom family units). The Parcel F proposal includes 211 of the planned 465 affordable residential units to be provided on other sites in the neighborhood, as well. By bringing residential development and intensifying land uses at Brooklyn Basin, the proposed project will encourage and support use of the waterfront at all hours of the day.*
- Maintain and enhance public views of the waterfront.
  - *The 86-foot tall building is located back from the Estuary and is the same maximum height as the planned buildings between Parcel F and Shoreline Park.*
- Configure and design buildings to spatially define and reinforce the public character of streets and open spaces.
  - *The proposed building is designed with a strong street wall and maximized ground floor transparency in order to frame and enrich the character of the adjacent rights-of-way.*
- Introduce ground level activities that enliven streets and public spaces.
  - *The proposed project is designed to maximize active ground floor uses facing streets internal to the neighborhood. The two primary lobbies are located along 8<sup>th</sup> Street, and 7<sup>th</sup> Avenue (currently a private street) is designed with residential stoop frontages.*
- Develop a dynamic composition of taller and shorter buildings that reinforce the spatial characteristics of the waterfront and open space system, and that dramatize this unique shoreline setting.
  - *The project is a mid-rise product designed to fit the Brooklyn Basin PUD. The building includes height variation in order to reduce the risk of a monolithic presence particularly along 8<sup>th</sup> Avenue.*
- Allow for a diversity of architectural expressions within the strong public framework of streets and open spaces.
  - *The project is designed to fit within the desired scale of development of the site while being massed and articulated differently from the nearby Parcels B and C projects. The intent of this approach is to provide a diversity of architectural expression within the neighborhood for visual complexity and interest.*
- Design Guidelines:
  - Pedestrian Mews: Complementing and extending the public street network, a series of more intimately scaled pedestrian streets will offer additional access through the community and to the waterfront.
    - *The proposed project includes a private street between Parcel F and Parcel G. The project includes the design and delivery of that street with active uses facing the private street for an intimately scaled pedestrian experience.*



- Townhouse Style Units: Units that will activate sidewalks along the pedestrian mews near Shoreline Park and along the other internal streets of the community.
  - *The residential units facing 7<sup>th</sup> Avenue have stoops and entrances fronting 7<sup>th</sup> Avenue.*
- Podium Units: In the mid-rise building of Brooklyn Basin will come in a full range of sizes and as such will serve a broad segment of the population including seniors, singles and young couples. Many of these units will enjoy direct views to the waterfront and/or internal courtyard open spaces with resident-serving amenities.
  - *The proposed Parcel F project is an affordable product with family and senior housing, one- to three-bedroom unit types, and plentiful amenities for residents, including well-design open space, community rooms and office facilities.*
- Multiplicity of Architectural Expressions: Buildings within Brooklyn Basin are not restricted to any specific architectural style. Rather, a variety of architectural expressions are encouraged as a means of enhancing the diverse mixed-use, urban character of the community.
  - *The proposed Parcel F project has a distinctive, loft-style appearance that complements the contemporary designs for Parcels B and C, while maintaining distinctive forms, details and use of exterior materials to maintain a separate architectural identity.*

#### Residential Land Use and Density Analysis

The applicable zoning regulations include land use and density allowances. The zoning regulations allow for up to a total of 3,100 residential units (including 465 affordable units) and up to 200,000 square feet of commercial development across the entire 63.82-acre Brooklyn Basin site. The zoning regulations and PUD identify overall density for the project as well as baseline densities for each future parcel. In addition, both the zoning regulations and PUD stipulate that the baseline densities can be exceeded through density transfers under certain conditions. Any individual site can receive an up to 33 percent density transfer by right. An individual site can receive an up to 50 percent density transfer subject to design review. However, the overall Brooklyn Basin site is limited to a maximum of 3,100 dwelling units regardless of any density transfers that may occur.

The Brooklyn Basin project includes 465 affordable residential units within the overall 3,100 permitted units. The 2009 baseline density distribution across parcels assumed allocation of the affordable units on Parcels F and G. However, the City Council recently approved an affordable housing swap such that the current affordable housing parcels are Parcels F and A. The applicant is using density transfers (all of which are by right, apart from Parcels B and C) to enable a reallocation of densities that absorbs this recent change to the project. It should also be noted that Parcels B and C were previously subject to design review to allow density transfers of up to 50 percent. The following matrix is intended to memorialize the current density allocations for Brooklyn Basin and confirm the assumption that the allocations are (or have been) properly enabled:

## 2017 Brooklyn Basin Parcel Densities

Parcel	Baseline Density Allowance	Reallocation (accounting for 2017 parcel swap and zoning/PUD allowances)		Enabling Procedure
		2017 Allocation	Delta (from 2009 to 2017)	
B	175	241	+66 du/38%	Design review (approved 2016)
C	175	241	+66 du/38%	Design review (in process 2017)
D	175	175	0	Original approval
E	131	138	+7 du/6%	By right
G	300	288	-12 du/5%	By right
H	375	No change	0	Original approval
J	339	No change	0	Original approval
K	322	332	+10 du/4%	By right
L	146	No change	0	Original approval
M	390	360	-30 du/9%	By right
Affordable Housing Parcels (2017)				
A	407	254	-153 du (du transferred to Parcel F as part of current proposal)	Remaining allocation if Parcel F is approved
F	165	211	+46 du/28%	Design review (in process)
<i>Total</i>	<i>3,100</i>	<i>3,100</i>	<i>0/No change</i>	

With regards to the current Parcel F application specifically, the baseline residential density is 165 dwelling units, with an additional allowance for up to 50% density transfer with design review (up to 247 dwelling units). The proposed FDP is for 211 dwelling units, which is within the permitted density, including the density transfer, as subject to design review.

#### Minor Variance for Open Space

The proposed project includes 211 residential units and, under the Oakland Planning Code, should provide 31,650 square feet of usable open space on-site. At this time, the project provides approximately 15,000 square feet of usable open space, less than half of what is required. Staff encourages the applicant to identify any possible additional opportunities for on-site open space. However, staff notes that this affordable housing project is challenged by its location near a major freeway (I880), which results in noise and air quality issues for open space. In addition, it should be noted that the Brooklyn Basin PUD provides close to 30 acres of new parks within less than ¼-mile of the site, offsetting the limited on-site open space opportunities with ample public open space opportunities within easy walking distance of the Parcel F site.

## ZONING AND RELATED ISSUES

### *Design*

Parcel F is essentially an entire city block, and the proposed project is two, attached buildings built out to the public right-of-way. The parcel is triangular and so results in two long facades and one shorter façade. The team has worked to reduce the risk of a monolithic mass while providing a consistent and unified design theme to provide project identity and visual harmony. Key aspects of the project design include the following:

- **Building Orientation:** Although the proposed project encompasses two buildings which could feasibly be constructed in two phases, they will appear as (and are referred to throughout this report) as “the building”, as the project will appear as a single building upon build-out. The building is oriented toward 8<sup>th</sup> Avenue with two primary lobbies along the 8<sup>th</sup> Avenue frontage. The side of the project facing 7<sup>th</sup> Avenue is designed to include front yards and stoops (or patios) to create a more intimate and informal environment along a minor, private street frontage. The project is set back from Embarcadero and the I880 freeway to provide a buffer between the freeway and arterial street noise and activity and the residential units located on that side of the project. The setback area will be highly vegetated to be attractive.
- **Building Appearance:** The building is designed to have an industrial/loft appearance. The style is angular and clean (with very little ornamentation other than sun shading devices). The massing is highly articulated, with deep recesses and projections to create visual interest and break down the long facades, particularly along 8<sup>th</sup> Avenue. The façade along Embarcadero is articulated enough to reduce the appearance of bulk and provide an attractive elevation. The 7<sup>th</sup> Avenue façade has more subtle articulation, consistent with the smaller scale of the street frontage.
- **Building Façade Treatments:** Each side of the building is treated to address its specific condition.
  - **8<sup>th</sup> Avenue:** 8<sup>th</sup> Avenue is the primary street frontage for the project. As noted above, the 8<sup>th</sup> Avenue façade is highly articulated. The senior housing portion of the project includes a reduced height mass that expresses the lobby and community space with a dramatic shed roof and extensive glazing. The family housing lobby includes a deep building recess with a mid-level projection that acts as a canopy over the lobby entrance. The façade includes a shed roof in two locations: the apex of the triangle (where 8<sup>th</sup> Avenue meets Embarcadero), and at the senior housing lobby and above-ground floor community space. The dynamic roof form, used judiciously, creates visual interest and breaks the building mass. The shed roof shape also plays off the triangulated shape of the lot and building, which may not be evident from the public right-of-way.
  - **7<sup>th</sup> Avenue:** The building façade fronting 7<sup>th</sup> Avenue has a finer scale in terms of articulation and a calmer mass, befitting its location on a short and narrow private street. The building garage is accessed from 7<sup>th</sup> Avenue, as well. This façade has a significant angle mid-block that further reduces the bulk and scale of the building at this location. The design includes a dark base with lighter upper stories to reduce

monotony and provide a strong ground-level connection to the horizontal public access area.

- Embarcadero: The Embarcadero façade is the least articulated building façade, although it is not a monolithic wall. Although there are residential units on the upper levels of the building facing Embarcadero, parking occupies the lowest levels of the Embarcadero frontage. The Embarcadero project frontage includes a deep setback (which is, in fact, a right-of-way parcel that lies between Parcel F and the Embarcadero right-of-way) that will be landscaped. The landscaping will soften and reduce the appearance of any bulk or visual monotony.
- Building Context: The proposed Parcel F project is the same construction type as the previously approved Parcels B and C projects (located on the opposite side of 8<sup>th</sup> Avenue). All three projects will have a maximum building height of 86 feet with significant reductions in the building height across the sites. The proposed Parcel F project is the most highly articulated building (appearing like smaller masses both vertically and horizontally) and has an architectural style that is unique from the other two projects (having an unadorned, industrial loft appearance).
- Design Issues: In general, staff finds the project to be well-designed. The project is visually interesting without being overly busy. The location of ground floor uses maximizes activity along the public right-of-way. Back-of-house uses are generally contained toward the deep setback along Embarcadero. That said, staff has a few remaining design concerns and asks the Design Review Committee to consider the following:
  - 7th Avenue Design: 7th Avenue will ultimately have public access and provide vehicular access for both Parcels F and G. Agreements with the City require delivery of 7th Avenue improvements at the same time as whichever parcel is developed first, Parcel F or Parcel G. The Parcel F application includes vague and inconsistent information about the design of 7th Avenue. Staff believes 7th Avenue should be designed to be an attractive, safe and inviting pedestrian environment. 7th Avenue should complement the street design throughout the Brooklyn Basin neighborhood.
  - Senior Housing Lobby: The senior housing lobby is located on 8<sup>th</sup> Avenue at Brooklyn Way (a T-shaped intersection). The property frontage at that location appears to be designed as a vehicular pick-up and drop-off location in the middle of the intersection. The applicant should relocate the vehicular pick-up and drop-off location so that it is out of the intersection and will not result in traffic conflicts or dangerous conditions.
  - Landscaping Setback Along Embarcadero: Staff would like to ensure that the deep setback area between Embarcadero and Parcel F is heavily landscaped. Although the project façade facing Embarcadero is designed to reduce monotony and bulk, it is a long façade. Landscaping would help reduce the long, horizontal mass of the building from Embarcadero. Landscaping would also provide a buffer between the residential project and the intensive transportation uses on Embarcadero and the 1880 freeway adjacent to the site.

*Compliance with Design Guidelines*

The proposed Parcel F project is compliant with the intent of the Brooklyn Basin PUD Design Guidelines. Compliance with design guidelines is not specifically required, and the intent of design guidelines is to ensure the delivery of attractive buildings with land uses appropriately sited to provide an active street frontage. Staff believes the Parcel F design achieves the intent of the design guidelines, as follows:

- Vertical expression at corners and towers encouraged: Each of the four corners of the building is distinct from the rest of the building.
  - *The three building corners are treated as different from the rest of the building in terms of façade material and color, height, articulation and roof form. The corners are designed to mark the ends of and complement each elevation and provide a visual landmark.*
- To promote additional variation and articulation, changes in building materials are encouraged, consistent with the coherent volumetric approach to the overall massing and architectural expression. Varied fenestration, balconies, bay windows, loggia, etc. are also encouraged.
  - *The project includes variations in the articulation, volumes, height, use of materials, and fenestration to create visual interest and reduce bulk.*
- The parking garage façade should be architecturally integrated with the façade of the occupied space served by the garage.
  - *The parking garage is located toward Embarcadero, where a deep, landscaped setback is located the provide a visual buffer between the project and major arterial street. Although naturally ventilated, the garage is integrated into the Embarcadero façade in that the wall openings are consistent with overall forms and pattern-making of the façade (although the openings will be transparent, revealing parked vehicles).*
- The proportion and subdivision of typical windows should reflect the overall proportion and character of the building.
  - *The arrangement of windows complements the playful, blocky massing of the building and is used to break up both vertical and horizontal bulk.*
- Terraces and open spaces for the use and enjoyment of residents are encouraged.
  - *The proposed Parcel F project includes significant amenity space, including office and community space for residents. The open space includes desirable furnishings for play and for gatherings.*
- Appliance vents, exhaust fans, and similar roof penetrations should be located so as to not be visible from streets or open spaces.
  - *Roof penetrations are set back from the parapet and will not be visible from the public rights-of-way within the Brooklyn Basin district.*
- If stoops are used, they should become an attractive addition to the ambience of the street and provide another layer of positive activities to the streetscape environment.
  - *The stoops and entrance patios facing 7th Avenue are designed to be integral to the street design and small-scale pedestrian ambience along this frontage.*

- Buildings should introduce a differentiated architectural expression and/or a step of at least 5 feet, above a height of 65 feet, to allow for the uppermost floors to be articulated, and to maintain a perceived street wall height roughly equivalent to, or less than, the building face-to-face dimension across the street...
  - *The proposed Parcel F design includes significant articulation (recesses and projections), varied roof forms, and height variations to harmonize with the Parcels B and C buildings on the opposite side of 8<sup>th</sup> Avenue.*
- Significant changes in building massing should be provided above a height of 30 feet. Such changes are defined as a building offset of not less than five (5) feet for 20% of the building frontage along a public street or open space, incorporated at particular intervals depending upon the frontage and the scale of the adjoining street or public space.
  - *The proposed Parcel F design includes significant articulation to achieve this guideline.*
- A two- to eight-foot building setback along the mixed use streets and along the waterfront/park edges is intended to encourage a variety of urban design features at the street level consistent with ground floor uses...
  - *The project includes setbacks along street frontages to meet this guideline.*
- Ground level residential units that are at grade or elevated above the adjacent sidewalk should include other devices that protect the privacy of the unit from the street. If the average setback is less than three feet from the property line along a non-commercial street, ground floor residential uses should be raised a minimum of three feet above grade. In addition, setback areas adjacent to residential units should provide separation from the public right-of-way with decorative low fences, vegetation or other attractive barriers.
  - *Ground floor units are set back from the public right-of-way and landscaped to enhance privacy.*
- Articulated building entries should be provided wherever appropriate, at intervals of at least 200 feet or one per block face.
  - *The Parcel F project meets the intent of the guideline by providing articulated building entries on all sides of the project. In addition, the project includes residential stoops along the 7th Avenue frontage.*

#### *Compliance with Development Agreement*


This project delivers a substantial portion of the affordable housing required of the project through the Development Agreement.

**RECOMMENDATION**

Staff finds the proposed Brooklyn Basin Parcel F FDP to be generally well-designed and complementary to the previously approved FDPs for the nearby Parcels B and C projects. Staff recommends the DRC review the proposed Brooklyn Basin Parcel F FDP and provide design comments. In particular, staff seeks DRC comment regarding the issues raised in this report, including:

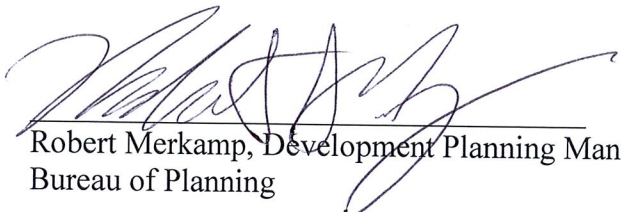
- Consideration of a minor variance for reduced usable open space;
- Design development of the 7th Avenue public access;
- Design of the senior housing lobby and street access; and
- Landscaping setback along Embarcadero.

Prepared by:



Catherine Payne, Planner IV

Reviewed by:



Robert Merkamp, Development Planning Manager  
Bureau of Planning

Attachments:

- A. Proposed Brooklyn Basin Parcel F Plans, dated June 6, 2017





**BROOKLYN BASIN  
 PARCEL F**

OAKLAND, CALIFORNIA

JOB NO. 00273  
 DRAWN SN  
 CHECKED FM  
 JOB CAPTAIN PM  
 DATE 6/6/17

DRAWING TITLE  
**EXISTING CONTEXT**

SCALE  
**G1.0**  
 NOTE  
 CREDIT: GERRIT KUIJEN



7 AERIAL OF EXISTING CONDITIONS



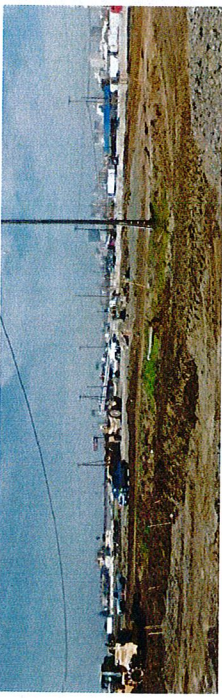
1 FACING SOUTH AT EMBARCADERO + 7TH AVENUE



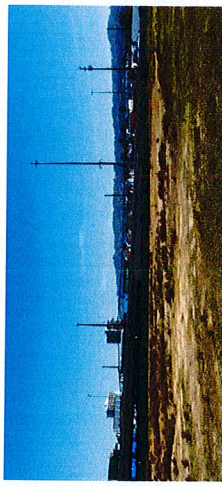
2 FACING SOUTH AT EMBARCADERO



3 FACING SOUTH AT EMBARCADERO + 8TH AVENUE



4 FACING WEST AT PARCEL A



5 FACING NORTH AT PARCEL G



6 FACING WEST THROUGH EMBARCADERO



**BASIS OF BEARINGS**  
 THE BASIS OF BEARING IS "S 89° 21' 44" E"  
 AS SHOWN ON PLANS 1001 AND "N 130°  
 UNRECORDED RECORD OF SURVEY" MAP  
 OF THE EMBARCADERO BETWEEN 8TH AVENUE AND 19TH  
 AVENUE DATED 2000. SAID MAP IS BEING  
 PREPARED BY THE CITY OF OAKLAND.

**BENCHMARK**  
 ELEVATIONS SHOWN HEREIN ARE ON THE CITY OF  
 OAKLAND VERTICAL DATUM AND BASED ON CITY  
 OF OAKLAND BENCHMARK "CS84" AT THE  
 U.S.C. & G.S. DECK AT THE CROSSING OF 3RD  
 AVENUE AND THE SOUTHERN PACIFIC RAILROAD  
 FREIGHT YARD. THE SOUTHERN PACIFIC RAILROAD  
 FREIGHT YARD IS IN THE NORTHERLY FACE OF A  
 TRAPEZOIDAL SHAPED LOT 20' WEST OF THE  
 CENTERLINE OF 8TH AVENUE. 4.5 FEET ABOVE  
 OAKLAND DATUM - 8.164 FT. CITY OF  
 OAKLAND DATUM.

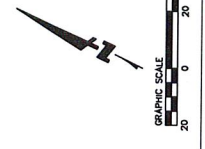
**DATUM SUMMARY**  
 BENCHMARK CITY OF OAKLAND DATUM  
 CITY OF OAKLAND BENCHMARK "CS84"  
 AVENUE AND THE SOUTHERN PACIFIC RAILROAD  
 FREIGHT YARD. SET IN NORTHERLY FACE OF  
 APPROXIMATELY 20' WEST OF THE CENTERLINE OF  
 ELEVATION USED: 8.16 FT. CITY OF OAKLAND  
 DATUM.  
 NOTE: BENCHMARK IS NOW DESTROYED.  
 AND DATA PROVIDED IN 2002. NO CORRECTIONS  
 BENCHMARK PORT DATUM ELEVATION  
 PORT OF OAKLAND BENCHMARK "HIDA TBM"  
 STAMPED "TERMO CONTROL SURVEY SHIP 1860"  
 ELEVATION USED: 10.43 FT. PORT OF OAKLAND  
 DATUM.

**NOTES:**

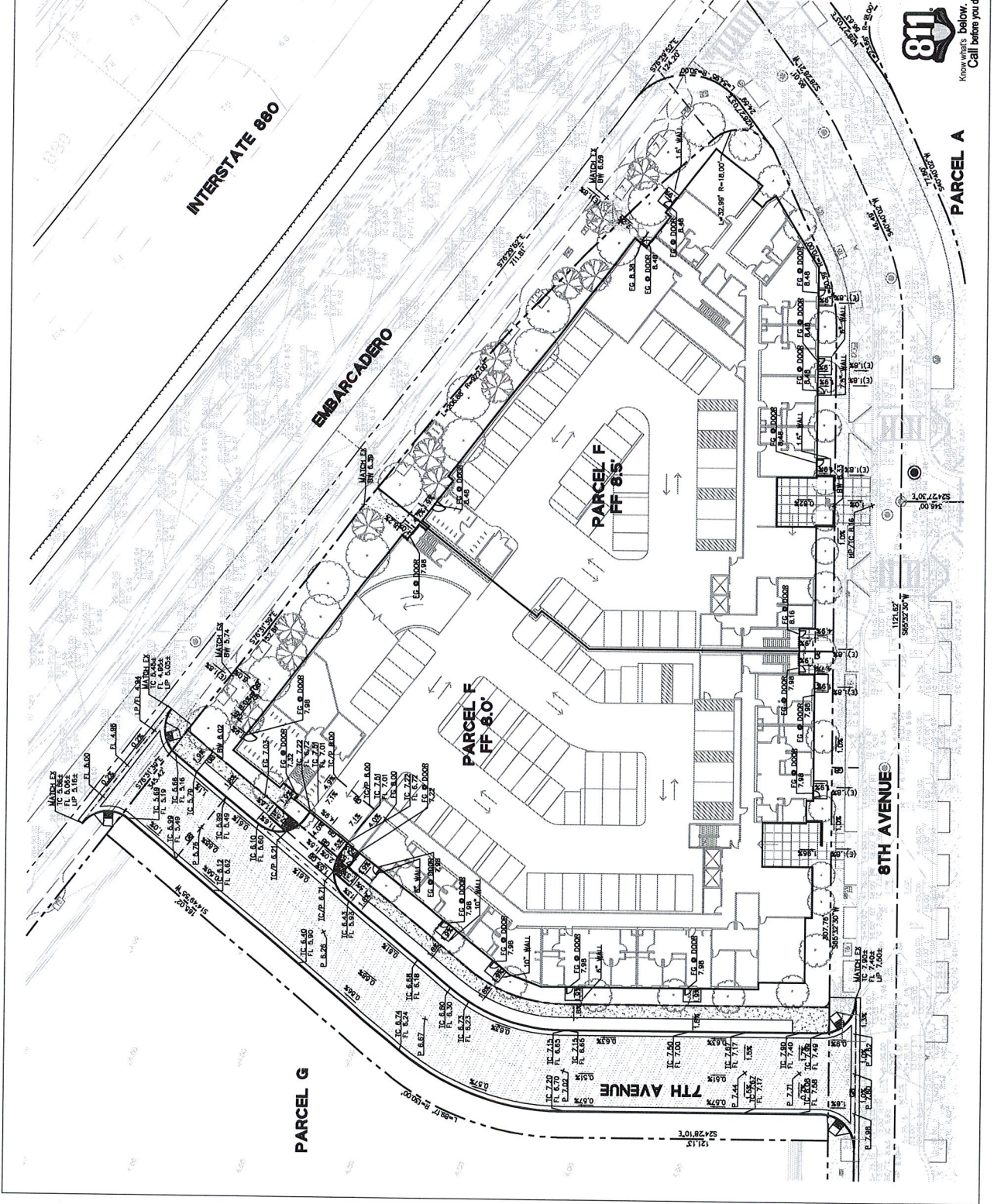
1. ALL ELEVATIONS AT FINISHED FLOORS ARE  
 FINISHED FLOOR ELEVATIONS BELOW THE  
 ARCHITECTURAL PLANS FOR INTERIOR SLAB  
 LEVELS.
2. EXISTING AND PROPOSED DRIVEWAYS  
 AND PARCELS WERE PREVIOUSLY DEVELOPED  
 DURING PHASE 1B OF THE BROOKLYN BASIN  
 DEVELOPMENT. SEE PHASE 1B SITE  
 DRAWINGS FOR MORE DETAILS.
3. BUILDING SHOWN FOR REFERENCE ONLY. SEE  
 ARCHITECTURAL PLANS FOR BUILDING DETAILS.
4. LANDSCAPE SHOWN FOR REFERENCE ONLY.  
 SEE LANDSCAPE DRAWINGS FOR DETAILS.
5. EXISTING UTILITIES SHOWN ON THIS PLAN ARE  
 OBSERVATION AND ARE APPROXIMATE ONLY.  
 THE PRESENCE OF ANY ADDITIONAL UTILITY LINES  
 NOT SHOWN IN THIS PLAN SHALL BE VERIFIED  
 BY CONTRACTOR TO BE BEFORE CONSTRUCTION.
6. FOR GRADING IN LANDSCAPE AREAS  
 FILL SHALL NOT BE PLACED UNTIL  
 PREPARATION OF SUBGRADE IS APPROVED BY  
 THE GEOTECHNICAL ENGINEER.
7. ON THESE MAPS, ALL ELEVATION DISCREPANCIES  
 CONTACT THE ENGINEER FOR DIRECTION PRIOR  
 TO ANY CONCRETE, CONCRETE OR  
 ASPHALT PAVING.

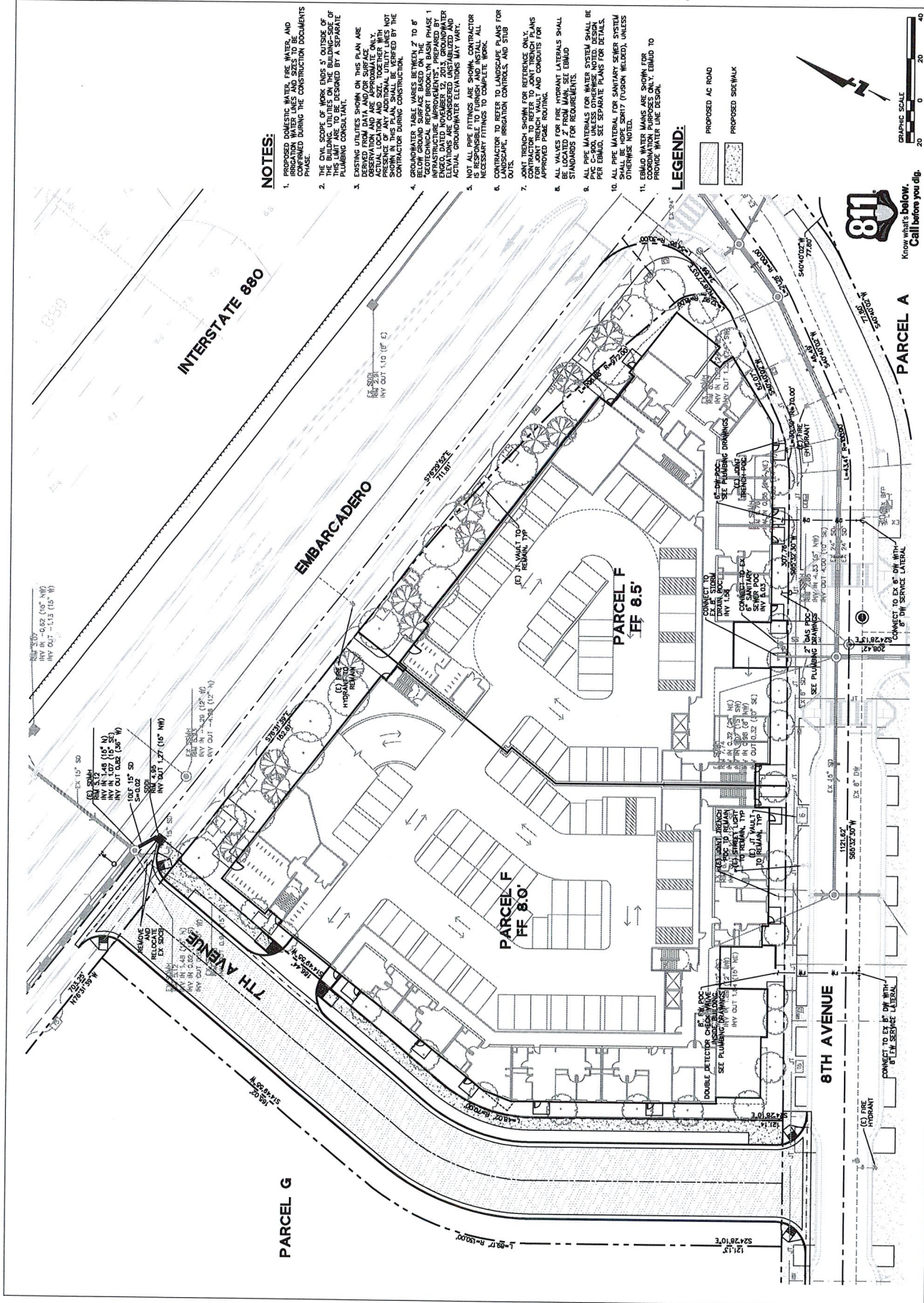
**LEGEND:**

- PROPOSED AC ROAD
- PROPOSED SIDEWALK



**811**  
 Know what's below.  
 Call before you dig.

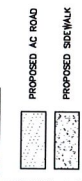




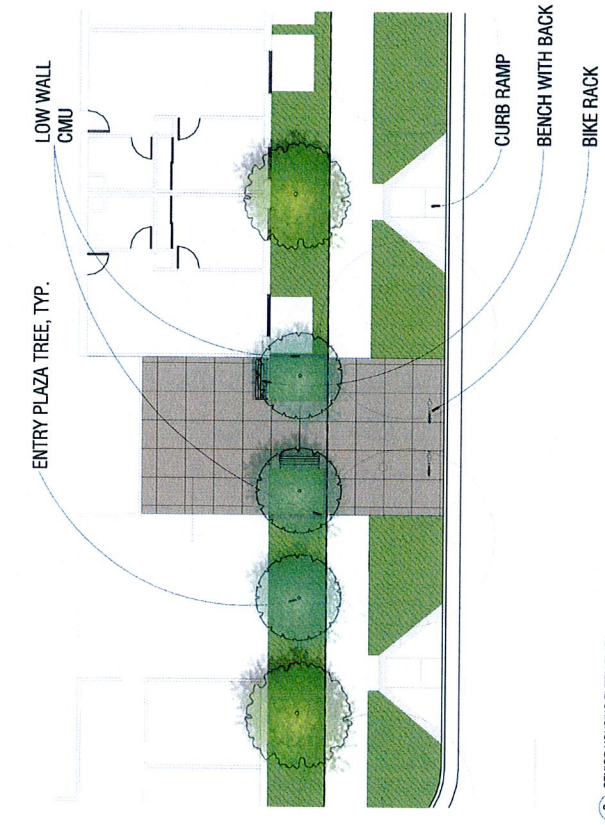
**NOTES:**

1. PROPOSED DOMESTIC WATER, FIRE WATER, AND SANITARY SEWER LINES AND SIZES TO BE SHOWN ON THIS PLAN SHALL BE AS SHOWN AND SIZES TO BE SHOWN DURING THE CONSTRUCTION DOCUMENTS PHASE.
2. THE CIVIL SCOPE OF WORK ENDS 5' OUTSIDE OF THE BUILDING UTILITIES ON THE BUILDING-SIZE OF THE BUILDING UTILITIES, AS SHOWN BY A SEPARATE PLUMBING CONSULTANT.
3. EXISTING UTILITIES SHOWN ON THIS PLAN ARE DERIVED FROM DATA AND/OR SURFACE SURVEY. THE LOCATION AND SIZE, TOGETHER WITH THE ELEVATIONS, SHALL BE VERIFIED BY THE CONTRACTOR DURING CONSTRUCTION.
4. GROUNDWATER TABLE VARIES BETWEEN 2' TO 8' BELOW FINISH GRADE. A GEOTECHNICAL REPORT BY BROOKLYN BASIN, PHASE 1 INFRASTRUCTURE IMPROVEMENTS, PREPARED BY BROOKLYN BASIN, DATED 04/20/17, SHOWS GROUNDWATER ELEVATIONS ARE CONSIDERED STABILIZED AND ACTUAL GROUNDWATER ELEVATIONS MAY VARY.
5. NOT ALL PIPE FITTINGS ARE SHOWN. CONTRACTOR SHALL VERIFY ALL FITTINGS TO BE INSTALLED. ALL NECESSARY FITTINGS TO COMPLETE WORK.
6. CONTRACTOR TO REFER TO LANDSCAPE PLANS FOR LANDSCAPE, IRRIGATION CONTROLS, AND STUB JOINT TRENCHES SHOWN FOR REFERENCE ONLY. CONTRACTOR TO REFER TO JOINT TRENCH PLANS FOR JOINT TRENCHES, AND CONDUITS FOR APPROVED POWER ROUTING.
7. ALL VALVES FOR FIRE HYDRANT LATERALS SHALL BE LOCATED 2' FROM MAN. SEE EMBUD STANDARDS FOR REQUIREMENTS.
8. ALL PIPE MATERIALS FOR WATER SYSTEM SHALL BE PER EMBUD. SEE SEPARATE PLANS FOR DETAILS.
9. ALL PIPE MATERIAL FOR SANITARY SEWER SYSTEM SHALL BE PER EMBUD. SEE SEPARATE PLANS FOR DETAILS.
10. GROUNDWATER MAINS ARE SHOWN FOR PROVIDE WATER LINE DESIGN, UNLESS OTHERWISE NOTED.
11. CONTRACTOR SHALL VERIFY ALL FITTINGS TO BE INSTALLED. ALL NECESSARY FITTINGS TO COMPLETE WORK.

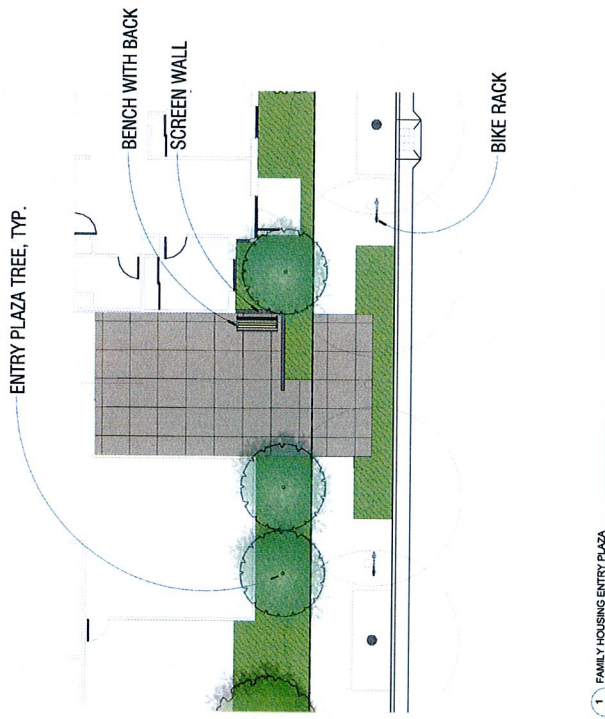
**LEGEND:**





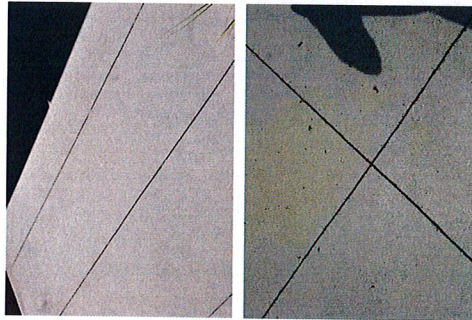


2 SENIOR HOUSING ENTRY PLAZA  
 L1.02 / 1/8" = 1'-0"

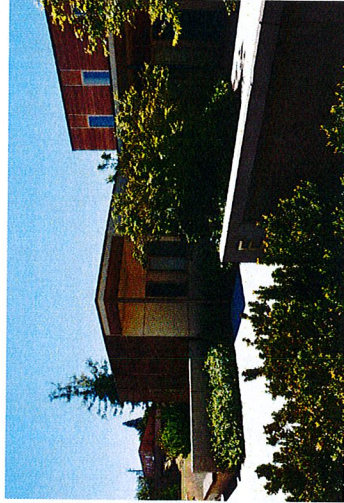


1 FAMILY HOUSING ENTRY PLAZA  
 L1.01 / 1/8" = 1'-0"

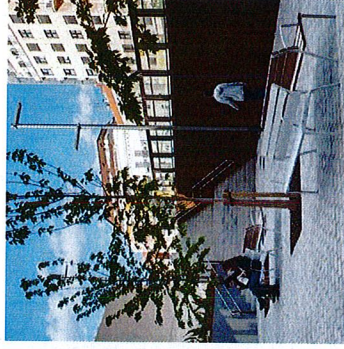
# street level entry elements & trees



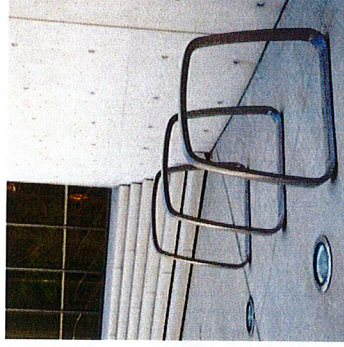
COLORED CONCRETE & SCORING AT ENTRY PLAZAS



ENTRY ENCLOSURE WITH LOW WALL

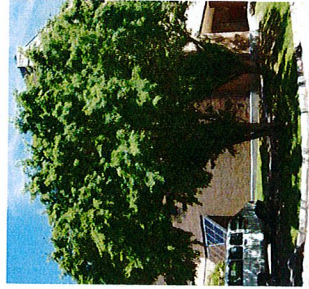


BENCH: NEOLIVANO BENCH BY LANDSCAPE FORMS, 1-800-521-2546, [www.landscaperforms.com](http://www.landscaperforms.com)



BIKE RACK: RIDE BY LANDSCAPE FORMS, 1-800-521-2546, [www.landscaperforms.com](http://www.landscaperforms.com)

LARGE SHADE TREE



ULMUS PARVIFOLIA DRAKE (DRAKE CHINESE ELM)

COLUMNAR TREES



ACER RUBRUM ARMSTRONG (RED MAPLE)

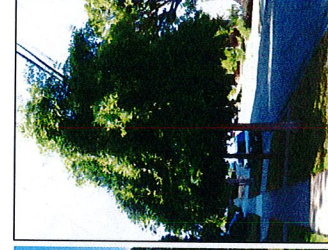


ZELKOYA SERRATA 'MUSASHINO' (SAWLEAF ZELKOVA)

ENTRY PLAZA TREES



GINGO BILOBA PRINCETON SENTRY (GINNGO)



NYSSA SYLVATICA (TUPELO)

ACCENT TREES



CERCIS CANADENSIS FOREST PANSY (FOREST PANSY REDBUD)








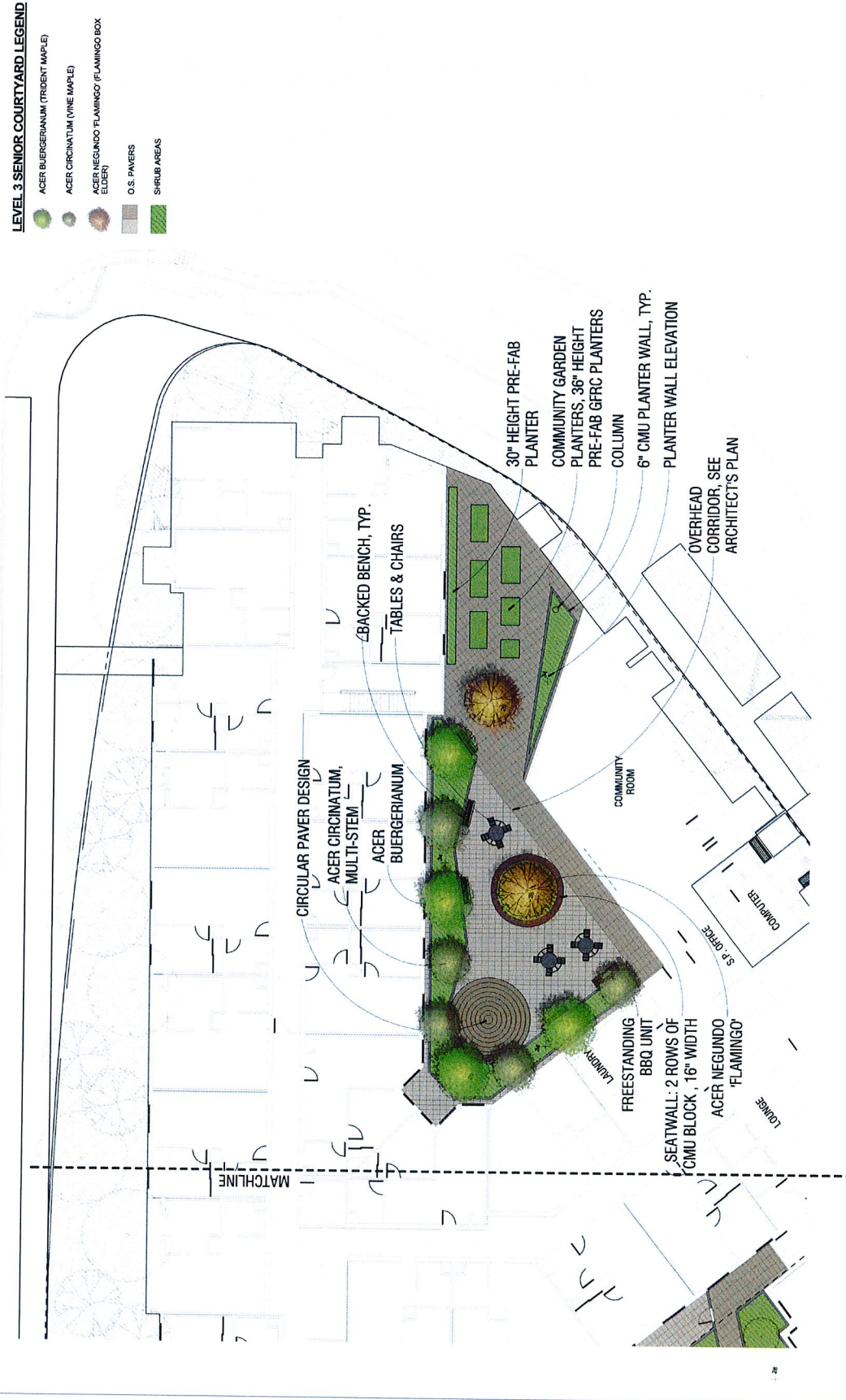
CERCIS OCCIDENTALIS (WESTERN REDBUD)



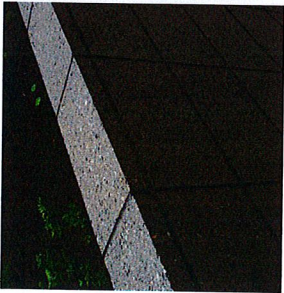


**LEVEL 3 SENIOR COURTYARD LEGEND**

-  ACER BUERGERIANUM (TRIBENT MAPLE)
-  ACER CIRCINATUM (VINE MAPLE)
-  ACER NEGUNDO FLAMINGO (FLAMINGO BOX ELDER)
-  O.S. PAVERS
-  SHRUB AREAS



## planter walls



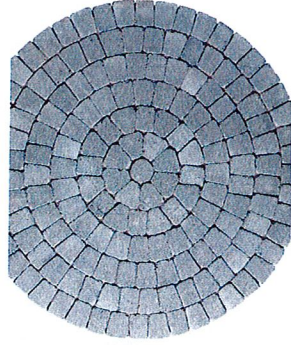
CMU BLOCK WALLS: 6" WIDE WITH GROUND FACE FINISH, DOUBLE WIDE AT SEAT WALL AREAS 16" WIDE



## pavers

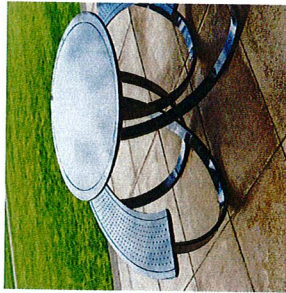


BELGARD MODULE LINE PAVERS: UP TO 2 COLORS AND UP TO 4 SIZES FROM MANUFACTURER'S STANDARD PALETTE: COLORS TO BE SOLID COLORS. SIZES: 60 mm THICKNESS; 6X12, 12X18, 6X9, 12X12; 1-877-235-4273, [www.belgard.com](http://www.belgard.com)

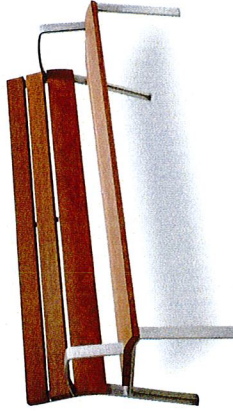


CIRCULAR PAVER PATTERN

## site furnishings: senior courtyard

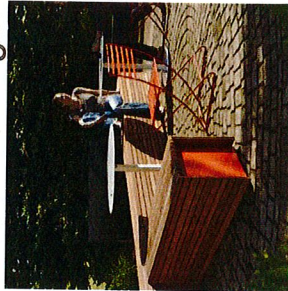


PICNIC TABLES: CHARLIE TABLE BY LANDSCAPE FORMS, 1-800-521-2546, [www.landscapetforms.com](http://www.landscapetforms.com)

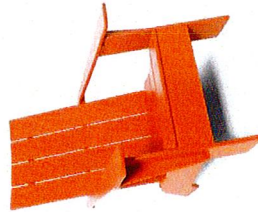


BENCH: SANTA COLE NEOLIVIANO SLIDER BY LANDSCAPE FORMS, 1-800-521-2546, [www.landscapetforms.com](http://www.landscapetforms.com)

## site furnishings: family courtyard



BENCH: PARALLEL BENCH BY LANDSCAPE FORMS, 1-800-521-2546, [www.landscapetforms.com](http://www.landscapetforms.com)

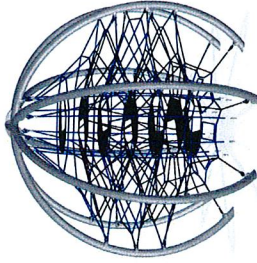


SEAT: ADIRONDACK CHAIR BY LOLL, 1-877-740-3387, [www.lolldesigns.com](http://www.lolldesigns.com)

## play equipment



AGES 2 TO 5: VILLAGE HOUSE - NR0405 (NATURAL AND COLORED ROBINIA WOOD) BY KOMPAN, 1-800-426-9728, [www.kompan.us](http://www.kompan.us)



AGES 5 TO 12: CRYSTAL SPHERE - CORR820 BY KOMPAN, 1-800-426-9728, [www.kompan.us](http://www.kompan.us)

## BROOKLYN BASIN PARCEL F

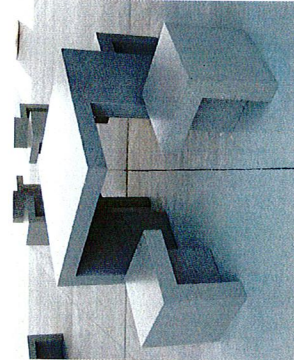
JOB NO. 00273  
DRAWN DC  
CHECKED KK  
JOB CAPTAIN  
DATE 06/09/17

DRAWING TITLE

Podium Level  
Planter Walls &  
Site Furnishings

SCALE

L3.01



TABLE/STOOLS AT FAMILY COURTYARD: T7050 TABLE/STOOL SET BY DOTY&SONS, 1-800-233-3907, [www.dotyconcrete.com](http://www.dotyconcrete.com)



TABLE AT FAMILY COURTYARD: CONCRETE TABLE TENNIS TABLE, ALSO FUNCTIONS AS DINING TABLE BY DOTY&SONS, 1-800-233-3907, [www.dotyconcrete.com](http://www.dotyconcrete.com)

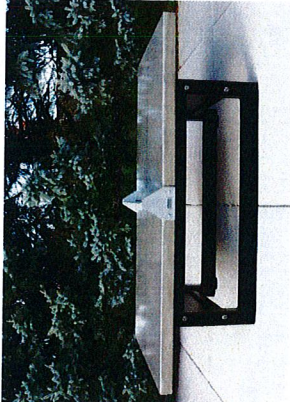
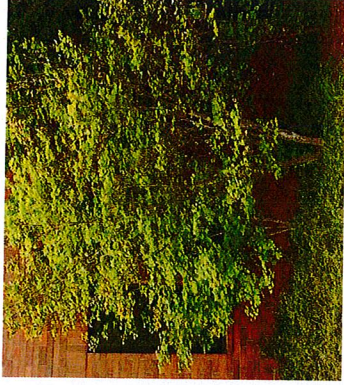
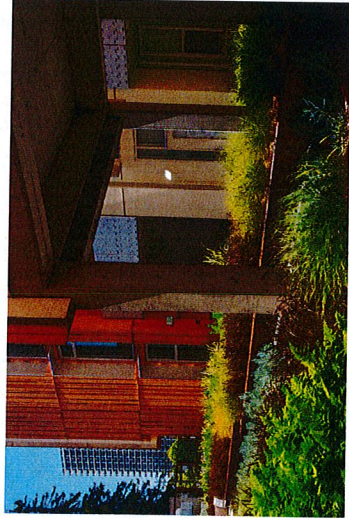


TABLE AT FAMILY COURTYARD: CONCRETE TABLE TENNIS TABLE, ALSO FUNCTIONS AS DINING TABLE BY DOTY&SONS, 1-800-233-3907, [www.dotyconcrete.com](http://www.dotyconcrete.com)

plant palette  
on-structure



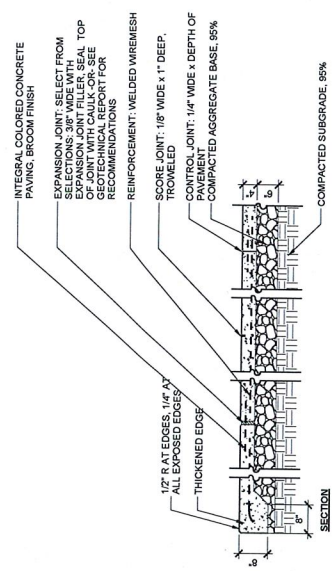
**BAY-FRIENDLY PRACTICES NOTES**

BAY-FRIENDLY BASIC PRACTICES CHECKLIST FOR PRIVATE DEVELOPMENT PROJECTS IS AVAILABLE AT THE SUBMISSION OF ALL DEVELOPMENT APPLICATIONS TO THE CITY OF BAY FRENDRY, INCLUDING SUBDIVISION COMMON AREAS, BUT EACH PROJECT IS REQUIRED TO MEET THE FOLLOWING NINE PRACTICES:

IN ADDITION TO THIS REQUIREMENT, EACH PROJECT IS REQUIRED TO MEET THE FOLLOWING NINE BAY-FRIENDLY CIVIC AND COMMERCIAL LANDSCAPE SCORECARD PRACTICES AVAILABLE AT BAYFRIENDLY.ORG OR FREMONT GOV. DEVELOPMENT APPLICATIONS TO BE SUBMITTED WITH THE DEVELOPMENT APPLICATION.

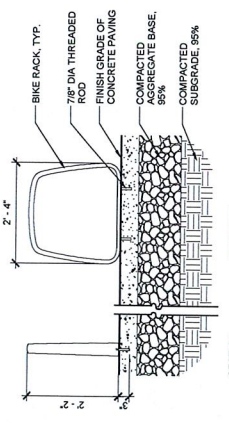
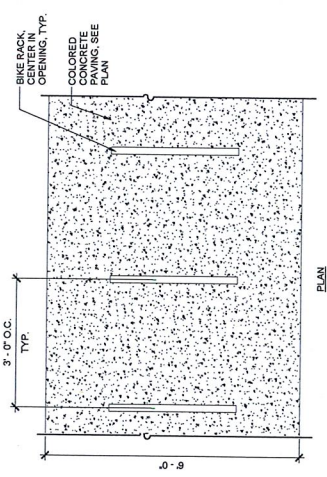
THE NINE REQUIRED PRACTICES ARE AS FOLLOWS:

- MULCH ALL SHRUB AREAS WITH 3 INCH THICK LAYER OF MULCH. All soil on site is protected with a minimum of 3 inches of mulch. All mulch is arbor waste material. Bay-Friendly Scorecard Item C.6.a.
- AMEND SOIL WITH COMPOST BEFORE PLANTING. Compost is to be added to the soil at a minimum of 2.5% by weight or 1 inch of compost. Option 1: Require import topsoil to meet minimum standards for Bay-Friendly Scorecard Item C.6.a. Content of 3.5% by dry weight or greater. Bay-Friendly Scorecard Item C.6.a.
- REDUCE AND RECYCLE LANDSCAPE CONSTRUCTION WASTE. Divert 50% of landscape construction and demolition waste by volume to a recycling facility. Bay-Friendly Scorecard Item C.6.a.
- CHOOSE AND LOCATE PLANTS THAT GROW TO NATURAL SIZE AND AVOID SHEARING. No plant species will require shearing. Select plants that are adapted to the site conditions, grow to natural size and shape without shearing at a point in the life cycle. Bay-Friendly Scorecard Item E.1.a.
- USE NATIVE PLANT SPECIES. None of the plant species listed by CAS-PPC as Invasive Species. Bay-Friendly Scorecard Item E.1.a.
- ORIGINALLY GROWN FROM LOCAL NATIVE. A minimum of 75% of the total number of plants in the non-lawn areas must be species originally grown from the local area. Bay-Friendly Scorecard Item E.2.a.
- MINIMIZE TURF. A maximum of 25% of total irrigated area is specified as turf. Turf with sports or multi-use fields exempted. Bay-Friendly Scorecard Item E.3.a.
- SPECIFY AUTOMATIC WEATHER-BASED CONTROLLER WITH SOIL MOISTURE AND/OR RAIN SENSOR. A Weather-based irrigation controller, shall be required for entire irrigation system. Bay-Friendly Scorecard Item F.2.a.
- LESS THAN 8 FEET WIDE SPRINKLER AND TOPY HEADS ARE NOT SPECIFIED IN AREAS specified in areas less than or equal to 8 feet wide to prevent overspray. Overspray is defined as water being applied to adjacent areas. Subsurface rigid lateral piping. Bubblers shall not exceed 1.5 gallons per minute per bubbler. Bay-Friendly Scorecard Item F.2.b.



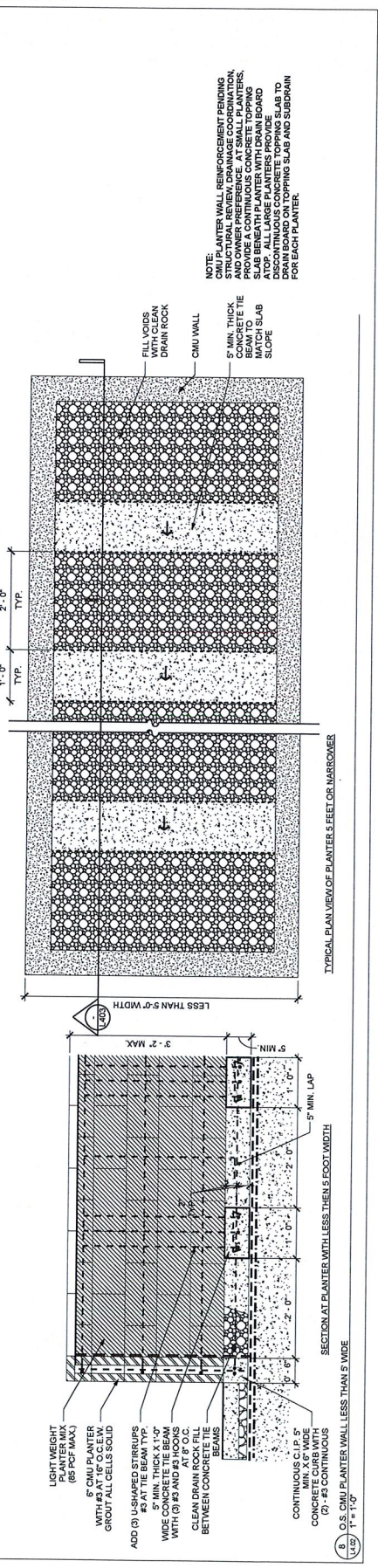
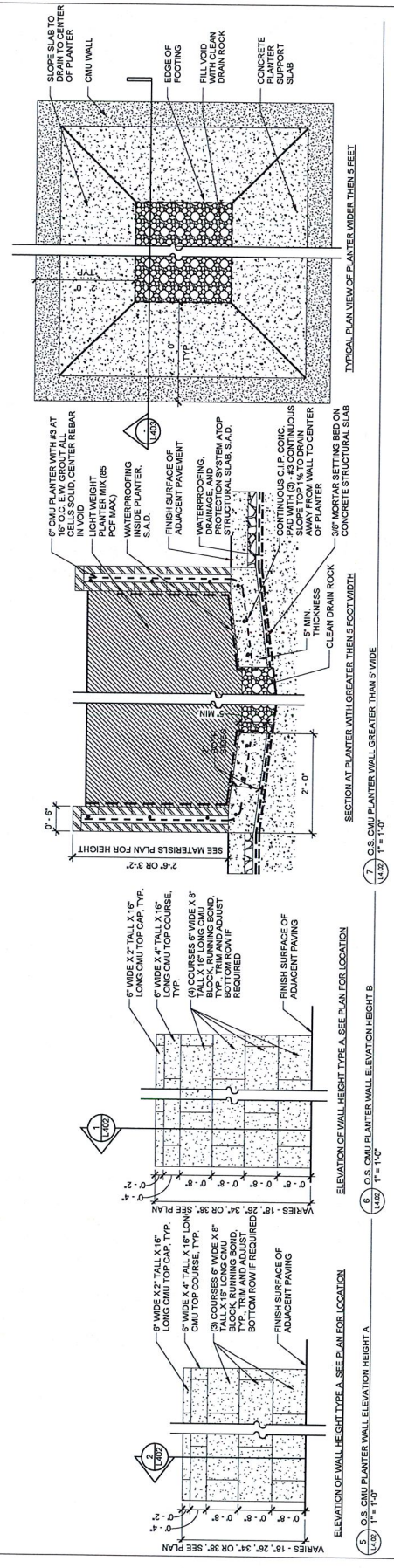
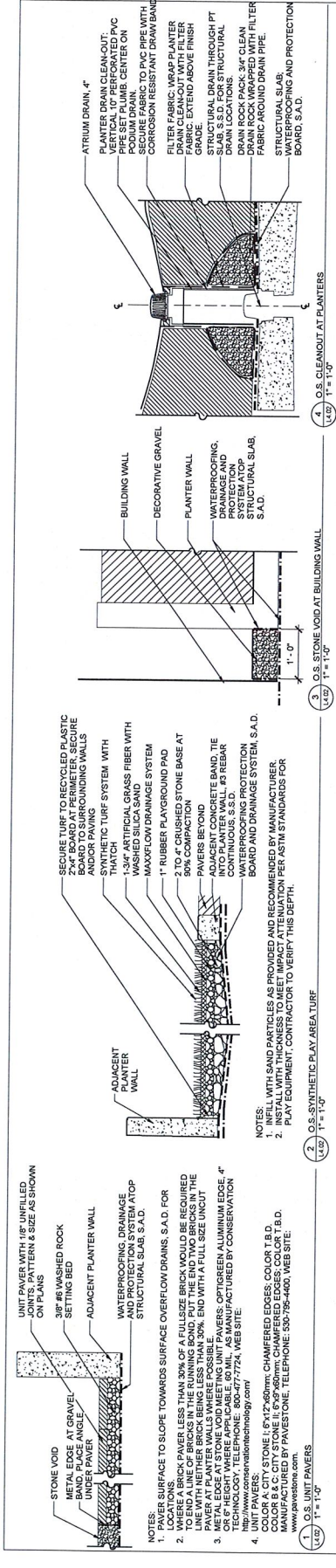
- NOTES:
1. SET ALL EXPANSION JOINT IN PAVING AS SHOWN AND MAKE PAVING CHANGES COLOR OR TYPE, ABUTS WALLS, BUILDINGS, AND STAIRS.
  2. CAULK SEALANT TO MATCH COLOR OF ADJACENT PAVING, TOOL THE SEALANT.
  3. DEPTH AND REINFORCEMENT PER GEOTECHNICAL REPORT.

1. COLORED CONCRETE PAVING ENTRY PATH  
 3/4" = 1'-0"



- NOTES:
1. MANUFACTURER: REE, BICYCLE RACK.
  2. MANUFACTURER: REE, BICYCLE RACK.
  3. FINISH: POWDER COATED METAL.
  4. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.

2. BIKE RACK  
 3/4" = 1'-0"



**NOTE:** PLANTER WALL REINFORCEMENT PERFORMS STRUCTURAL REVIEW, DRAINAGE COORDINATION, AND OWNER PREFERENCE. AT SMALL PLANTERS, REINFORCEMENT SHALL BE PROVIDED TO THE SLAB BENEATH PLANTER WITH DRAIN BOARD ATOP. ALL LARGE PLANTERS PROVIDE REINFORCEMENT TO THE SLAB BENEATH PLANTER WITH DRAIN BOARD ON TOPPING SLAB AND SUBDRAIN FOR EACH PLANTER.





**BROOKLYN BASIN  
 PARCEL F**

OAKLAND, CALIFORNIA

JOB NO. 00273  
 DRAWN SH  
 CHECKED PJ  
 JOB CAPTAIN PJ  
 DATE 8/6/17

DRAWING TITLE  
**2ND FLOOR PLAN**

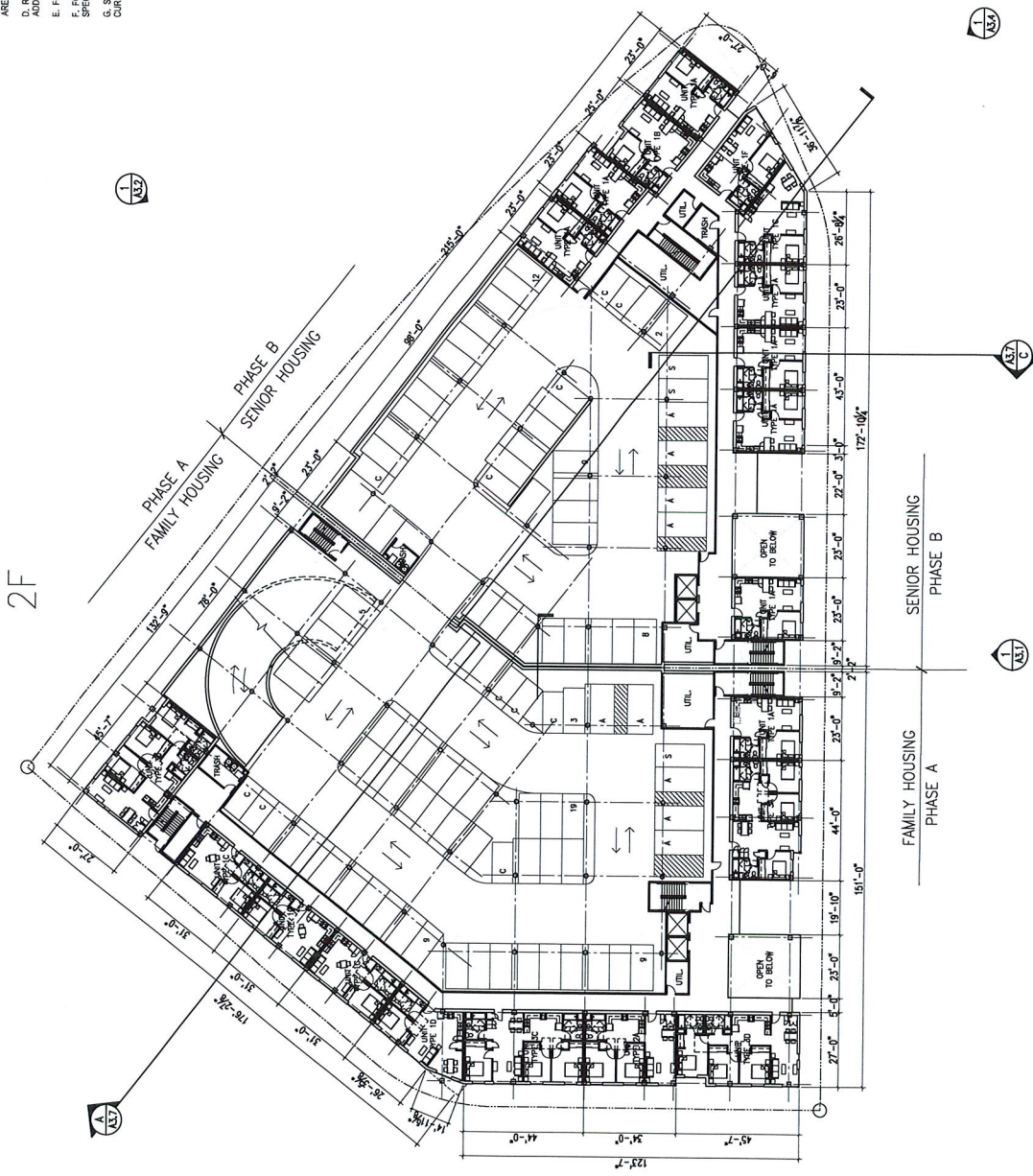
SCALE 1" = 20' - 0"

**A2.2**  
 CONCEPT DEVELOPMENT

**GENERAL NOTES**

- A. FOR WALL TYPES, SEE SHEETS A8.0. REFER ALSO TO ENLARGED PLANS
- B. ALL WALLS TO BE TYPE "X" U.G.A. REFER ALSO TO ENLARGED PLANS
- C. DIMENSIONS TO WINDOWS ARE C.L. DIMENSIONS TO DOORS ARE C.L. MIN. DIMENSION AT DOOR JAMB "C"
- D. REFER TO DOOR, WINDOW, AND FINISH SCHEDULES FOR ADDITIONAL INFORMATION
- E. FOR TYPICAL UNIT PLANS, SEE 316 PLANS
- F. FOR SECURITY SYSTEMS, REFER TO PLANS AND CUT SHEETS IN SPECIFICATIONS
- G. SEE SITE PLAN AND SLAB PLAN FOR LOCATIONS OF CONCRETE CURBS AT WALLS

2F











**BROOKLYN BASIN  
 PARCEL F**

OAKLAND, CALIFORNIA

JOB NO. 00273  
 DRAWN BY SK  
 CHECKED BY PM  
 JOB OFFICER PM  
 DATE 08/17/17

DRAWING TITLE  
**6TH FLOOR PLAN**

SCALE 1" = 20' - 0"

**A2.6**  
 CONSTRUCTION

**GENERAL NOTES**

- A. FOR WALL TYPES, SEE SHEETS A6.0. REFER ALSO TO ENLARGED PLANS.
- B. ALL WALLS TO BE TYPE "X" U.O.N.. REFER ALSO TO ENLARGED PLANS.
- C. DIMENSIONS TO WINDOWS ARE C.L. DIMENSIONS TO DOORS ARE C.L. MIN. DIMENSION AT DOOR JAMB 4".
- D. REFER TO DOOR, WINDOW, AND FINISH SCHEDULES FOR ADDITIONAL INFORMATION.
- E. FOR TYPICAL UNIT PLANS, SEE 314F PLANS.
- F. FOR SECURITY SYSTEMS, REFER TO PLANS AND CUT SHEETS IN SPECIFICATIONS.
- G. SEE SITE PLAN AND SLAB PLAN FOR LOCATIONS OF CONCRETE CURBS AT WALLS.

6F







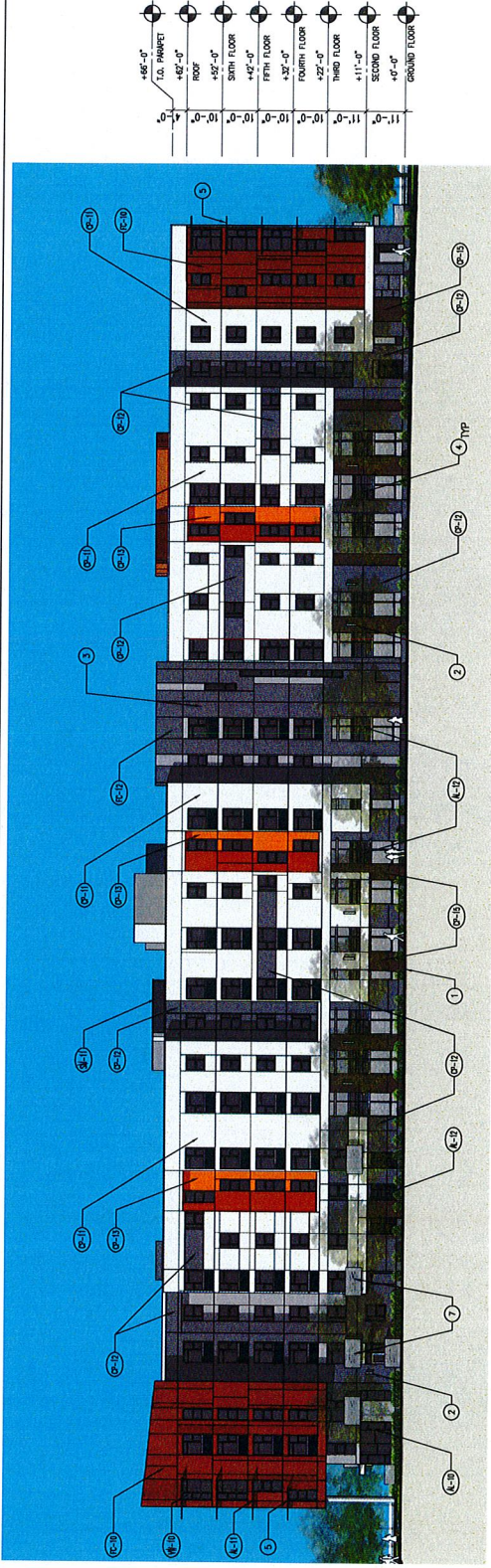
**BROOKLYN BASIN  
PARCEL F**

OAKLAND, CALIFORNIA  
JOB NO. 00273  
DRAWN YB  
CHECKED PH  
JOB LEADER PH  
DATE 06/17

DRAWING TITLE  
**EXTERIOR ELEVATIONS**

SCALE 1/16" = 1' - 0"

**A3.2**  
CONTRACT NUMBER



**1 EMBARCADERO ELEVATION**

SCALE: 1/16" = 1'-0"

**SD ELEVATION NOTES**

- 1 GRADE, S.C.D.
- 2 LIGHT FIXTURE, S.E.D.
- 3 CONTINUOUS ALUMINUM EXPANSION JOINT COVER FINISH TO MATCH ADJACENT WALL
- 4 ENTRY SIGNAGE, 8" HIGH BRUSHED CLEAR ANODIZED ALUMINUM LETTERS
- 5 ALUMINUM HORIZONTAL SUNSHADE
- 6 ELEVATOR FENTHOUSE
- 7 JULIET BALCONY
- 8 DECORATIVE PERFORMED METAL SCREENS AT GARAGE OPENINGS

**EXTERIOR FINISH LEGEND**

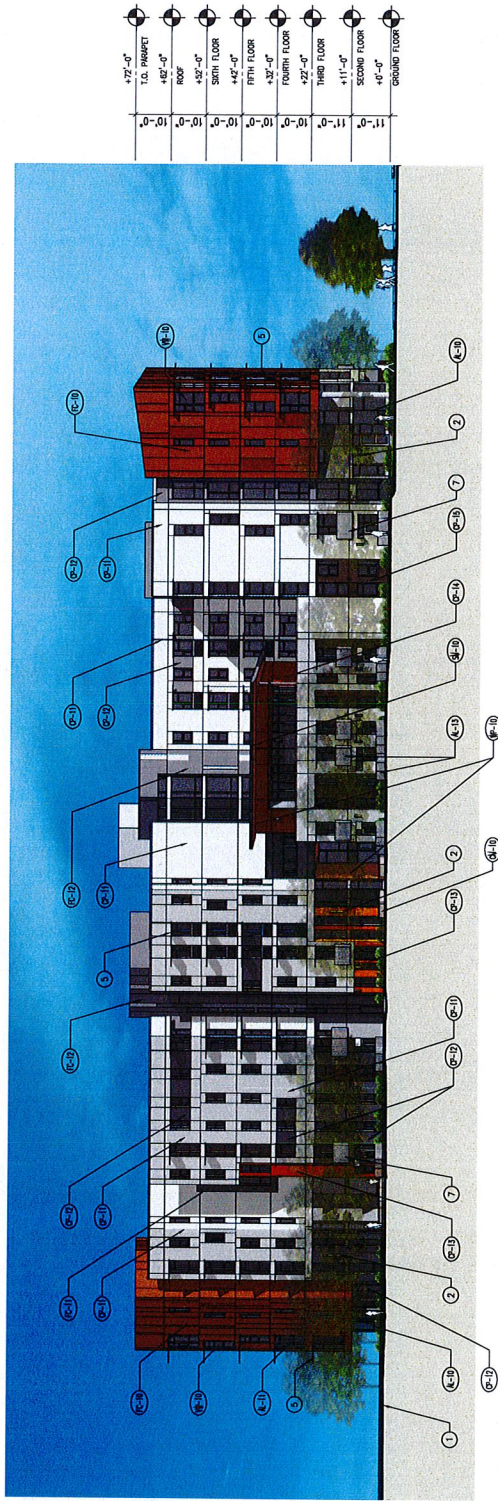
MARK	MATERIAL	LOCATION
(K-10)	ALUMINUM STOREFRONT	LOBBY AND COMMUNITY ROOM
(L-10)	ALUMINUM	HORIZONTAL SUN SHADE
(K-20)	ALUMINUM	GARAGE DOOR AND OPENING SCREENS
(K-20)	ALUMINUM	BALCONY RAIL AND PATIO FENCE
(K-30)	W/VT. WINDOW	UNIT WINDOWS
(K-30)	FIBER CEMENT PANEL	EXTERIOR WALLS @ CORNER FEATURE WALL
(K-11)	FIBER CEMENT PLANK	EXTERIOR WALLS @ ENTRY CANTILEVER WALL
(K-20)	FIBER CEMENT PANEL	EXTERIOR WALLS - STAIR TOWER / VERTICAL ELEMENT @ SENIOR COURTYARD
(K-30)	WOOD PLANK	EXTERIOR WALLS @ ENTRY SIGNAGE WALL AND SOFFIT
(K-10)	CMU BLOCK	PLANTER / STOOP WALLS ALONG STREET
(K-10)	STANDING SEAM SHEET METAL	ROOF / FASCIA AT COMMUNITY ROOM (PHASE A & B)
(K-11)	CEMENT PLASTER	EXTERIOR WALLS - MAIN BODY
(K-20)	CEMENT PLASTER	EXTERIOR WALLS - BASE AND HORIZONTAL BAND ACCENTS
(K-11)	CEMENT PLASTER	EXTERIOR WALLS - RECESSES
(K-11)	CEMENT PLASTER	EXTERIOR WALLS - SENIOR COMMUNITY ROOM
(K-11)	CEMENT PLASTER	EXTERIOR WALLS - PODIUM LEVEL RECESSES

**FINISH/COLOR (REFER TO COLOR/MATERIAL BOARD)**

- CLEAR ANODIZED
- CLEAR ANODIZED PERFORMED ALUMINUM - (80K OR SIMILAR COLOR 1, GRAY)
- CLEAR ANODIZED PERFORMED PANEL - CUSTOM LASERCUT (COLOR 1, GRAY)
- WHITE FOR LIGHT BACKGROUND/ DARK GRAY FOR DARK BACKGROUND
- COLOR 4 - RUST BROWN WITH TEXTURED ACCENTS
- COLOR 2 - DARK GRAY
- DARK GRAY WITH LIGHT GRAY ACCENTS
- CLEAR FINISHED CEDAR PLANKS
- GRAY
- COLOR 1 - LIGHT GRAY
- COLOR 1 - LIGHT GRAY / LIGHT SAND FINISH
- COLOR 2 - DARK GRAY / SMOOTH TROMEL FINISH
- COLOR 3 - ORANGE / MEDIUM SAND FINISH
- COLOR 4 - RUST / MEDIUM SAND FINISH
- COLOR 5 - BROWN / MEDIUM SAND FINISH







**1** OBLIQUE VIEW AT 8TH AVENUE  
 SCALE: 1/16" = 1'-0"

**SD ELEVATION NOTES**

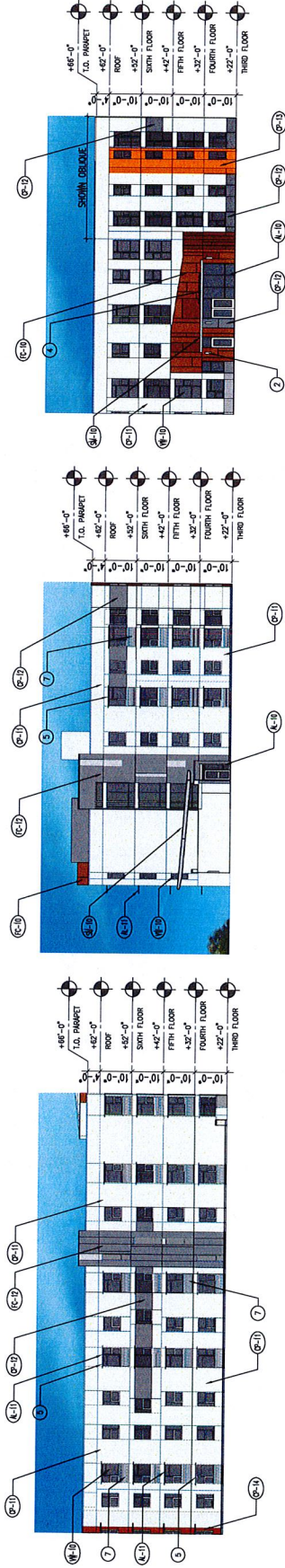
- 1 GRADE, S.C.D.
- 2 LIGHT FIXTURE, S.E.D.
- 3 PATIO LIGHT
- 4 BUILDING LIGHT
- 5 CONTINUOUS ALUMINUM EXPANSION JOINT FINISH TO MATCH ADJACENT WALL
- 6 ENTRY SIGNAGE, 8" HIGH BRUSHED CLEAR ANODIZED ALUMINUM LETTERS
- 7 ALUMINUM HORIZONTAL SUNSHADE
- 8 ELEVATOR PENYHOUSE
- 9 JULIET BALCONY
- 10 DECORATIVE PERFORATED METAL SCREENS AT GARAGE OPENINGS

**EXTERIOR FINISH LEGEND**

MARK	MATERIAL	LOCATION
(A-2)	ALUMINUM STOREFRONT	LOBBY AND COMMUNITY ROOM
(A-1)	ALUMINUM	HORIZONTAL SUN SHADE
(A-3)	ALUMINUM	GARAGE DOOR AND OPENING SCREENS
(A-4)	ALUMINUM	BALCONY RAIL AND PATIO FENCE
(A-5)	VINYL WINDOW	UNIT WINDOWS
(A-6)	FIBER CEMENT PANEL	EXTERIOR WALLS ● CORNER FEATURE WALL
(A-7)	FIBER CEMENT PLANK	EXTERIOR WALLS ● ENTRY CANTILEVER WALL
(A-8)	FIBER CEMENT PANEL	EXTERIOR WALLS ● REAR TOWER / VERTICAL ELEMENT ● SENIOR COURTYARD
(A-9)	WOOD PLANK	EXTERIOR WALLS ● ENTRY SIGNAGE WALL AND SOFFIT
(A-10)	CMU BLOCK	PLANTER / STOOP WALLS ALONG STREET
(A-11)	STANDING SEAM SHEET METAL	ROOF / FASCIA AT COMMUNITY ROOM (PHASE A & B)
(A-12)	CEMENT PLASTER	EXTERIOR WALLS - MAIN BODY
(A-13)	CEMENT PLASTER	EXTERIOR WALLS - BASE AND HORIZONTAL BAND ACCENTS
(A-14)	CEMENT PLASTER	EXTERIOR WALLS - RECESSES
(A-15)	CEMENT PLASTER	EXTERIOR WALLS - SENIOR COMMUNITY ROOM
(A-16)	CEMENT PLASTER	EXTERIOR WALLS - PODIUM LEVEL RECESSES

**FINISH/COLOR (REFER TO COLOR/MATERIAL BOARD)**

- CLEAR ANODIZED
- CLEAR ANODIZED PERFORATED ALUMINUM - (80K OR SIMILAR COLOR 1, GRAY)
- CLEAR ANODIZED PERFORATED PANEL - CUSTOM LASERCUT (COLOR 1, GRAY)
- CLEAR ANODIZED PERFORATED ALUMINUM - (80K OR SIMILAR COLOR 1, GRAY)
- WHITE FOR LIGHT BACKGROUND / DARK GRAY FOR DARK BACKGROUND
- COLOR 4 - RUST BROWN WITH TEXTURED ACCENTS
- COLOR 2 - DARK GRAY
- DARK GRAY WITH LIGHT GRAY ACCENTS
- CLEAR FINISHED CEDAR PLANKS
- GRAY
- COLOR 1 - LIGHT GRAY
- COLOR 1 - LIGHT GRAY / LIGHT SAND FINISH
- COLOR 2 - DARK GRAY / SMOOTH TROWEL FINISH
- COLOR 3 - ORANGE / MEDIUM SAND FINISH
- COLOR 4 - RUST / MEDIUM SAND FINISH
- COLOR 5 - BROWN / MEDIUM SAND FINISH



1 SENIOR COURTYARD ELEVATION 1  
 SCALE: 1/16" = 1'-0"

2 SENIOR COURTYARD ELEVATION 2  
 SCALE: 1/16" = 1'-0"

3 FAMILY COURTYARD ELEVATION 4  
 SCALE: 1/16" = 1'-0"

SD ELEVATION NOTES

- 1 GRADE, S.C.D.
- 2 LIGHT FIXTURE, S.E.D.
- 3 CONTIGUOUS ALUMINUM EXPANSION JOINT COVER FINISH TO MATCH ADJACENT WALL
- 4 ENTRY SIGNAGE, 8" HIGH BRUSHED CLEAR ANODIZED ALUMINUM LETTERS
- 5 ALUMINUM HORIZONTAL SUNSHADE
- 6 ELEVATOR PENTHOUSE
- 7 JULIET BALCONY
- 8 DECORATIVE PERFORATED METAL SCREENS AT GARAGE OPENINGS

EXTERIOR FINISH LEGEND

MARK	MATERIAL	LOCATION
(6-19)	ALUMINUM STOREFRONT	LOBBY AND COMMUNITY ROOM
(6-21)	ALUMINUM	HORIZONTAL SUN SHADE
(6-22)	ALUMINUM	GARAGE DOOR AND OPENING SCREENS
(6-23)	ALUMINUM	BALCONY RAIL AND PATIO FENCE
(6-24)	VINYL WINDOW	UNIT WINDOWS
(6-25)	FIBER CEMENT PANEL	EXTERIOR WALLS ● CORNER FEATURE WALL
(6-26)	FIBER CEMENT PLANK	EXTERIOR WALLS ● ENTRY CANTILEVER WALL
(6-27)	FIBER CEMENT PANEL	EXTERIOR WALLS - STAR TOWER / VERTICAL ELEMENT ● SENIOR COURTYARD
(6-28)	WOOD PLANK	EXTERIOR WALLS ● ENTRY SIGNAGE WALL AND SOFFIT
(6-29)	CMU BLOCK	PLANTER / STOOP WALLS ALONG STREET
(6-30)	STANDING SEAM SHEET METAL	ROOF / FASCIA AT COMMUNITY ROOM (PHASE A & B)
(6-31)	CEMENT PLASTER	EXTERIOR WALLS - MAIN BODY
(6-32)	CEMENT PLASTER	EXTERIOR WALLS - BASE AND HORIZONTAL BAND ACCENTS
(6-33)	CEMENT PLASTER	EXTERIOR WALLS - RECESSES
(6-34)	CEMENT PLASTER	EXTERIOR WALLS - SENIOR COMMUNITY ROOM
(6-35)	CEMENT PLASTER	EXTERIOR WALLS - PODIUM LEVEL RECESSES

FINISH/COLOR (REFER TO COLOR/MATERIAL BOARD)

- CLEAR ANODIZED
- CLEAR ANODIZED PERFORATED ALUMINUM - (BOX OR SIMILAR COLOR 1, GRAY)
- CLEAR ANODIZED PERFORATED PANEL - CUSTOM LASERCUT (COLOR 1, GRAY)
- CLEAR ANODIZED PERFORATED ALUMINUM - (BOX OR SIMILAR COLOR 1, GRAY)
- WHITE FOR LIGHT BACKGROUND/ DARK GRAY FOR DARK BACKGROUND
- COLOR 4 - RUST BROWN WITH TEXTURED ACCENTS
- COLOR 2 - DARK GRAY
- DARK GRAY WITH LIGHT GRAY ACCENTS
- CLEAR FINISHED CEDAR PLANKS
- GRAY
- COLOR 1 - LIGHT GRAY
- COLOR 1 - LIGHT GRAY / LIGHT SAND FINISH
- COLOR 2 - DARK GRAY / SMOOTH TROWEL FINISH
- COLOR 3 - ORANGE / MEDIUM SAND FINISH
- COLOR 4 - RUST / MEDIUM SAND FINISH
- COLOR 5 - BROWN / MEDIUM SAND FINISH



**BROOKLYN BASIN  
 PARCEL F**

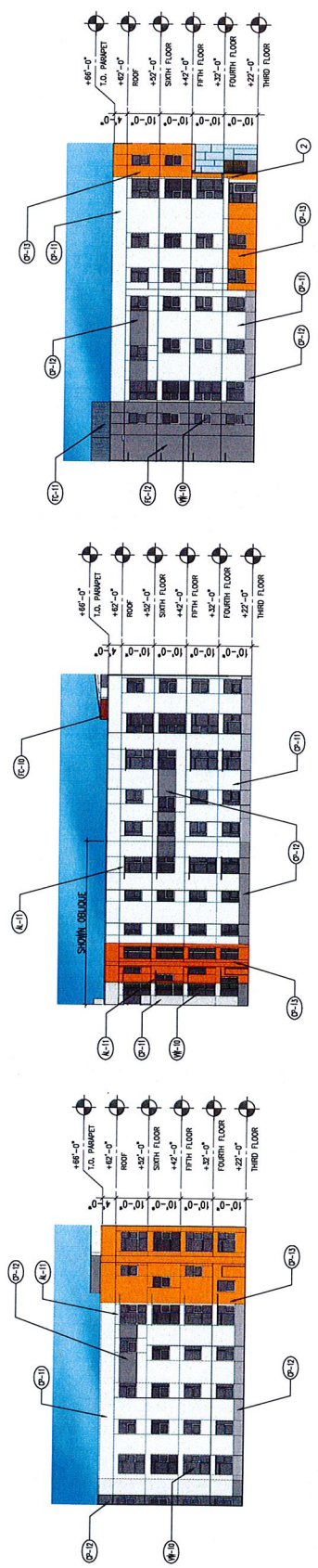
OAKLAND, CALIFORNIA

JOB NO. 00273  
 DRAWN BY  
 CHECKED BY  
 JOB CAPTAIN PM  
 DATE 06/17

DRAWING TITLE  
**EXTERIOR ELEVATIONS**

SCALE 1/16" = 1' - 0"

**A3.6**  
 COVER: 1/16" = 1' - 0"



**1 FAMILY COURTYARD ELEVATION 1**  
 SCALE: 1/16" = 1'-0"

**2 FAMILY COURTYARD ELEVATION 2**  
 SCALE: 1/16" = 1'-0"

**3 FAMILY COURTYARD ELEVATION 3**  
 SCALE: 1/16" = 1'-0"

**SD ELEVATION NOTES**

- 1 GRADE, S.C.D.
- 2 LIGHT FIXTURE, S.E.D.
- 3 CONTIGUOUS ALUMINUM EXPANSION JOINT COVER FINISH TO MATCH ADJACENT WALL
- 4 ENTRY SIGNAGE, 6" HIGH BRUSHED CLEAR ANODIZED ALUMINUM LETTERS
- 5 ALUMINUM HORIZONTAL SUNSHADE
- 6 ELEVATOR PENTHOUSE
- 7 JULIET BALCONY
- 8 DECORATIVE PERFORATED METAL SCREENS AT GARAGE OPENINGS

**EXTERIOR FINISH LEGEND**

MARK	MATERIAL	LOCATION	FINISH/COLOR (REFER TO COLOR/MATERIAL BOARD)
6-10	ALUMINUM STOREFRONT	LOBBY AND COMMUNITY ROOM	CLEAR ANODIZED
6-11	ALUMINUM	HORIZONTAL SUN SHADE	CLEAR ANODIZED PERFORATED ALUMINUM - (BOX OR SIMILAR COLOR 1, GRAY)
6-12	ALUMINUM	GARAGE DOOR AND OPENING SCREENS	CLEAR ANODIZED PERFORATED PANEL - CUSTOM LASERCUT (COLOR 1, GRAY)
6-13	ALUMINUM	BALCONY RAIL AND PATIO FENCE	CLEAR ANODIZED PERFORATED ALUMINUM - (BOX OR SIMILAR COLOR 1, GRAY)
6-14	VINYL WINDOW	UNIT WINDOWS	WHITE FOR LIGHT BACKGROUND/ DARK GRAY FOR DARK BACKGROUND
6-15	FIBER CEMENT PANEL	EXTERIOR WALLS • CORNER FEATURE WALL	COLOR 4 - RUST BROWN WITH TEXTURED ACCENTS
6-16	FIBER CEMENT PLANK	EXTERIOR WALLS • ENTRY CANTILEVER WALL	COLOR 2 - DARK GRAY
6-17	FIBER CEMENT PANEL	EXTERIOR WALLS - STAR TOWER / VERTICAL ELEMENT • SENIOR COURTYARD	DARK GRAY WITH LIGHT GRAY ACCENTS
6-18	WOOD PLANK	EXTERIOR WALLS • ENTRY SIGNAGE WALL AND SOFFIT	CLEAR FINISHED CEDAR PLANKS
6-19	CMU BLOCK	PLANTER / STOOP WALLS ALONG STREET	GRAY
6-20	STANDING SEAM SHEET METAL	ROOF / FASCIA AT COMMUNITY ROOM (PHASE A & B)	COLOR 1 - LIGHT GRAY
6-21	CEMENT PLASTER	EXTERIOR WALLS - MAIN BODY	COLOR 1 - LIGHT GRAY / LIGHT SAND FINISH
6-22	CEMENT PLASTER	EXTERIOR WALLS - BASE AND HORIZONTAL BAND ACCENTS	COLOR 2 - DARK GRAY / SMOOTH TRONEL FINISH
6-23	CEMENT PLASTER	EXTERIOR WALLS - RECESSES	COLOR 3 - ORANGE / MEDIUM SAND FINISH
6-24	CEMENT PLASTER	EXTERIOR WALLS - SENIOR COMMUNITY ROOM	COLOR 4 - RUST / MEDIUM SAND FINISH
6-25	CEMENT PLASTER	EXTERIOR WALLS - PODIUM LEVEL RECESSES	COLOR 5 - BROWN / MEDIUM SAND FINISH

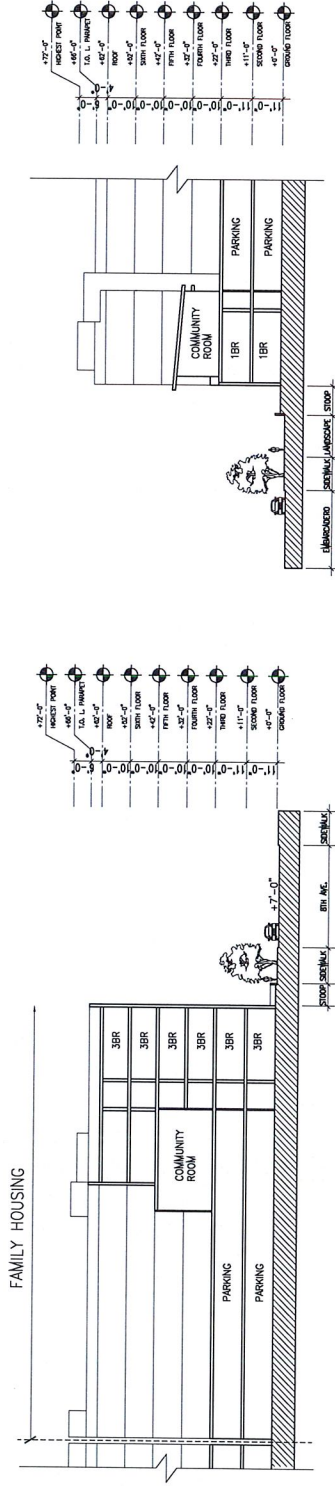
**BROOKLYN BASIN  
 PARCEL F**

OAKLAND, CALIFORNIA  
 JOB NO. 00273  
 DRAWN SN  
 CHECKED PJ  
 JOB CAPTAIN PJ  
 DATE 6/6/17

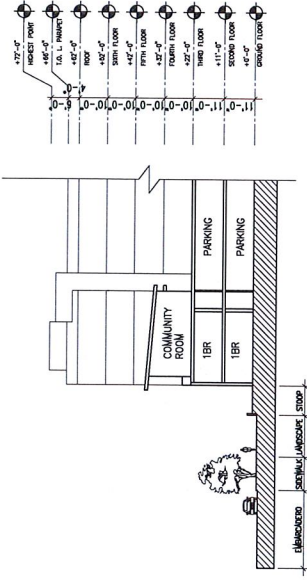
DRAWING TITLE  
**BUILDING SECTIONS**

SCALE 1/20" = 1' - 0"

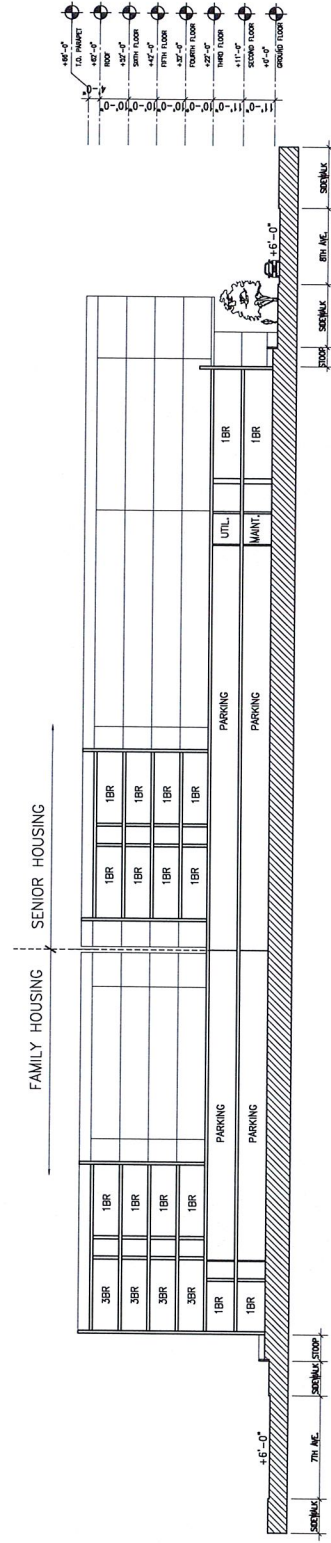
**A3.7**  
 CONSOLE: 300MM PARCEL



**2** SECTION B  
 SCALE: 1/20" = 1'-0"



**3** SECTION C  
 SCALE: 1/20" = 1'-0"



**1** SECTION A  
 SCALE: 1/20" = 1'-0"

**BROOKLYN BASIN  
PARCEL F**

OAKLAND, CALIFORNIA

JOB NO. 00270  
DRAWN VB  
CHECKED PM  
JOB CAPTAIN PM  
DATE 04/07

DRAWING TITLE  
**PERSPECTIVES**

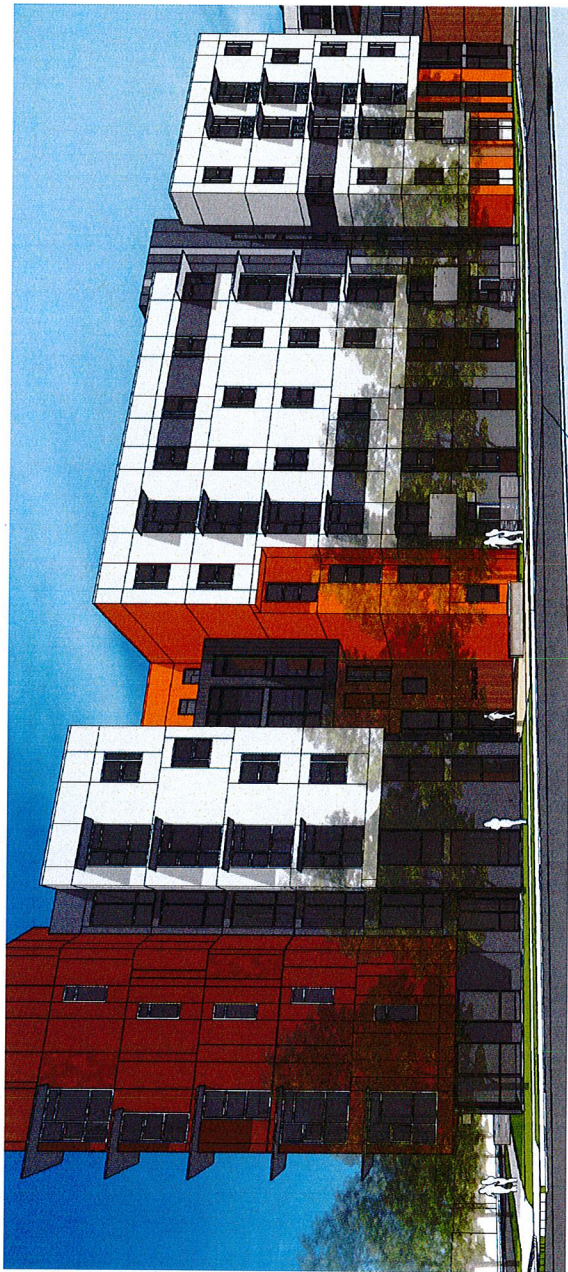
SCALE NONE

**A3.8**  
© 2017 HKT ARCHITECTS

VIEW FACING WEST ALONG EIGHTH AVENUE



VIEW FACING NORTH ALONG EIGHTH AVENUE





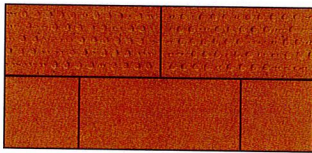
**BROOKLYN BASIN  
 PARCEL F**

OSLAND, CALIFORNIA  
 JOB NO. 20287  
 DRAWN BY  
 CHECKED BY  
 JOB CHIEF/IN CH.  
 DATE

DRAWING TITLE  
**COLOR AND  
 MATERIAL BOARD**

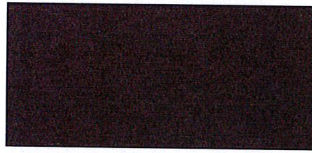
SCALE 1/8"=1'-0"

**A4.0**  
 CONCEPT ARCHITECTURE



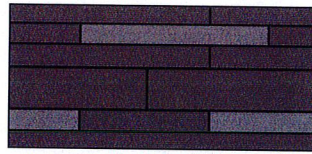
(FC-10)

**FIBER CEMENT  
 PANEL**  
 COLOR: DUNN EDWARDS/  
 DET467/ HARRISON RUST  
 WITH SMOOTH  
 BACKGROUND  
 AND ACCENT TEXTURE



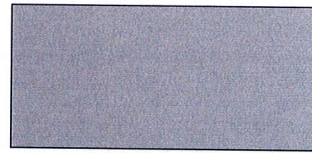
(FC-11)

**FIBER CEMENT  
 PLANK**  
 COLOR: DUNN EDWARDS/  
 DE6391/ BLACK RUSSIAN  
 WITH 7" SMOOTH TEXTURE



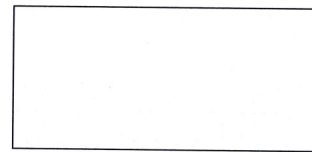
(FC-12)

**DARK GRAY W  
 GRAY ACCENTS  
 FIBER CEMENT  
 PANEL**  
 FINISH: SMOOTH TROWEL  
 AND MEDIUM SAND  
 FINISH  
 COLOR: DUNN EDWARDS/  
 DE6389/ FALLEN ROCK  
 DE6390/ CHOCOLATE  
 PUDDING



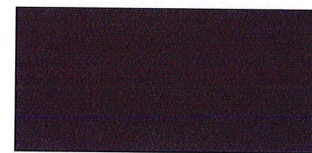
(SM-10)

**STANDING SEAM  
 SHEET METAL**  
 COLOR:  
 LIGHT GRAY



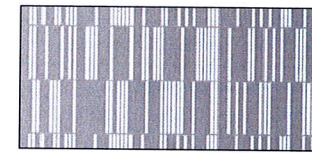
(VW-10)

**VINYL WINDOW**  
 COLOR:  
 WHITE FOR LIGHT BACKGROUND/  
 DARK GRAY FOR DARK BACKGROUND



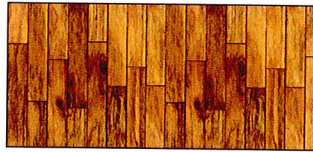
(AL-10)

**CLEAR ALUMINUM  
 FINISH:**  
 CLEAR ANODIZED



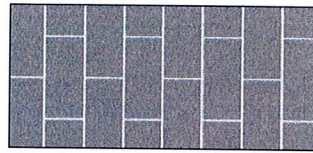
(AL-11)

**PERFORATED  
 ALUMINUM  
 FINISH:**  
 CLEAR ANODIZED



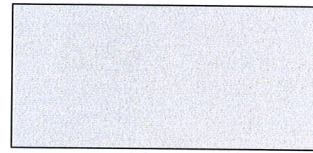
(WP-10)

**WOOD PLANK**  
 1X6 CEDAR WITH  
 CLEAR FINISH



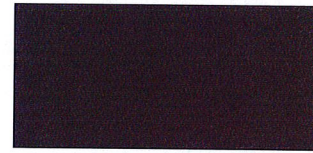
(CM-10)

**CMU BLOCK**  
 GRAY WITH  
 ANTI-GRAFFITI  
 COATING



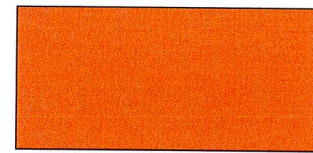
(CP-11)

**COLOR 1  
 -LIGHT GRAY  
 CEMENT PLASTER**  
 FINISH: LIGHT SAND  
 FINISH  
 COLOR: DUNN EDWARDS/  
 DE6386/  
 SNOW PEAK



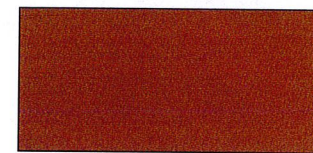
(CP-12)

**COLOR 2  
 -DARK GRAY  
 CEMENT PLASTER**  
 FINISH: SMOOTH TROWEL  
 FINISH  
 COLOR: DUNN EDWARDS/  
 DE6391/  
 BLACK RUSSIAN



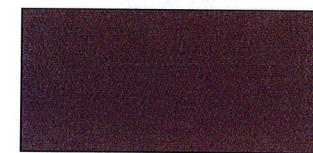
(CP-13)

**COLOR 3  
 -ORANGE  
 CEMENT PLASTER**  
 FINISH: MEDIUM SAND  
 FINISH  
 COLOR: BENJAMIN MOORE/  
 140/  
 FRUIT PUNCH



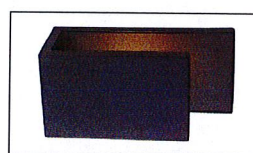
(CP-14)

**COLOR 4-RUST  
 CEMENT PLASTER**  
 FINISH: MEDIUM SAND  
 FINISH  
 COLOR: DUNN EDWARDS/  
 DET467/  
 HARRISON RUST



(CP-15)

**COLOR 5-BROWN  
 CEMENT PLASTER**  
 FINISH: MEDIUM SAND  
 FINISH  
 COLOR: DUNN EDWARDS/  
 DE6062/  
 TEA BAG

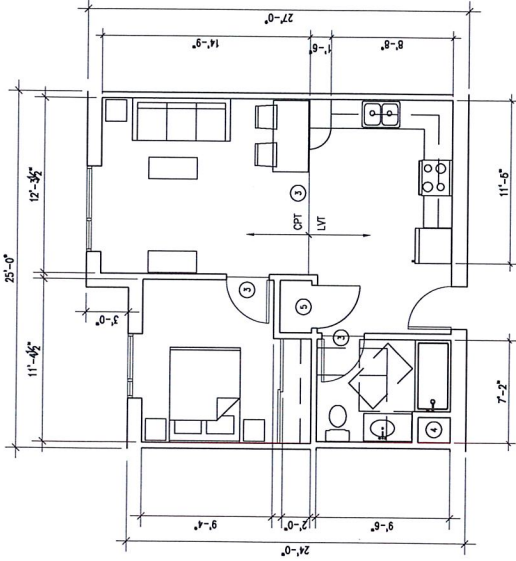


**EXTERIOR  
 LIGHTING  
 FIXTURE**

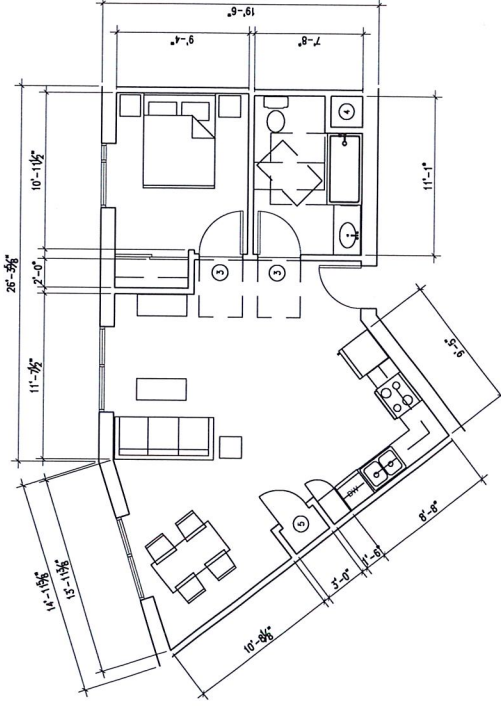
PIERRE - 1" W LED  
 OUTDOOR WALL SCONCE  
 FINISH: TEXTURED MATTE  
 METAL FINISH  
 COLOR: BLACK

**1- COLOR AND MATERIAL BOARD**

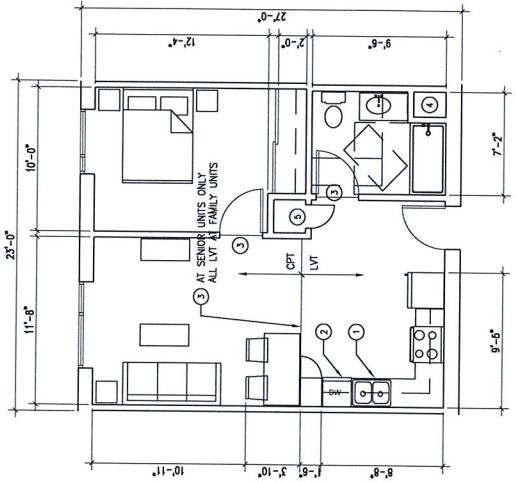
- UNIT PLAN NOTES**
- 1 KITCHEN SINK DOUBLE BOWL AT SENIOR UNITS ONLY
  - 2 SINKLE BOWL AT FAMILY UNITS UNITS ONLY
  - 3 DISHWASHER AT FAMILY (PHASE A)
  - 4 FLOORING TRANSITION
  - 5 MECH SHALE
  - 6 COAT CLOSET WITH ROD AND SHELF



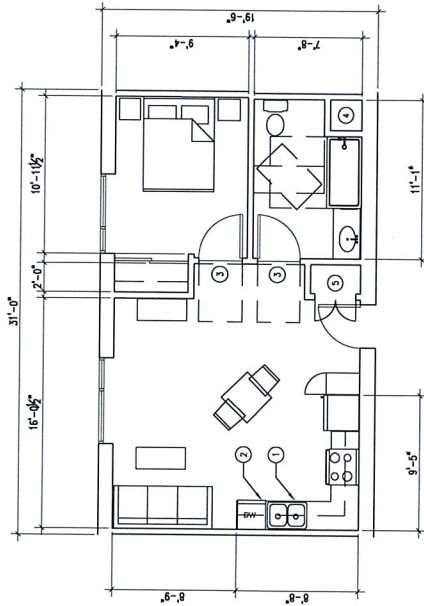
2 UNIT TYPE 1B (PHASE B)  
 1/4" = 1'-0"



1 UNIT TYPE 1D (PHASE A)  
 1/4" = 1'-0"



1 UNIT TYPE 1A (PHASE A+B)  
 1/4" = 1'-0"



3 UNIT TYPE 1C (PHASE A)  
 1/4" = 1'-0"









**BROOKLYN BASIN  
 PARCEL F**

OAKLAND, CALIFORNIA

JOB NO. 00273  
 DRAWN SN  
 CHECKED PJ  
 JOB LEADER PJ  
 DATE 06/17

DRAWING TITLE  
**UNIT PLANS**

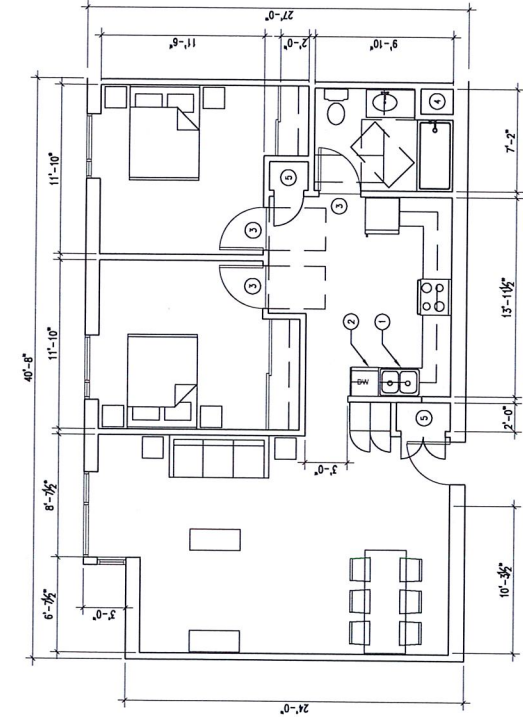
SCALE 1" = 4' - 0"

**A4.4**  
 CONSTRUCTION

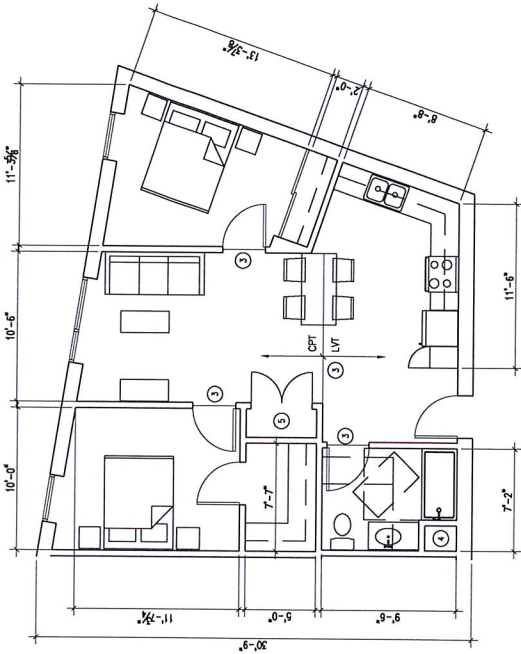


**UNIT PLAN NOTES**

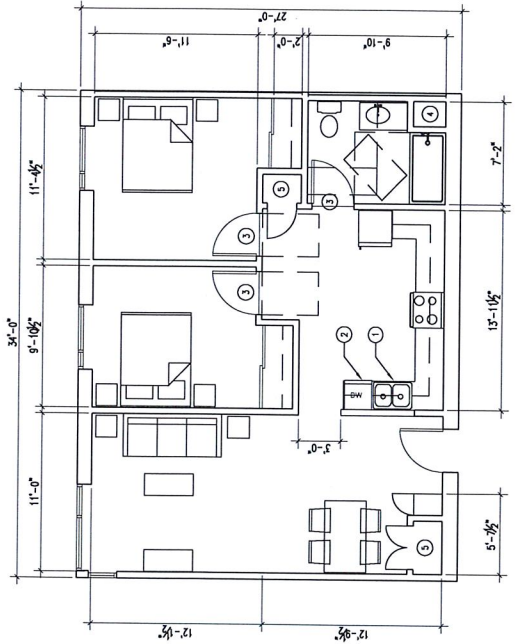
- 1 KITCHEN SINK DOUBLE BOWL AT SENIOR (PHASE B) UNITS SINGLE BOWL AT FAMILY UNITS
- 2 DISHWASHER AT FAMILY (PHASE A) UNITS ONLY
- 3 FLOORING TRANSITION
- 4 MECH. SWIPE
- 5 COAT CLOSET WITH ROD AND SHELF



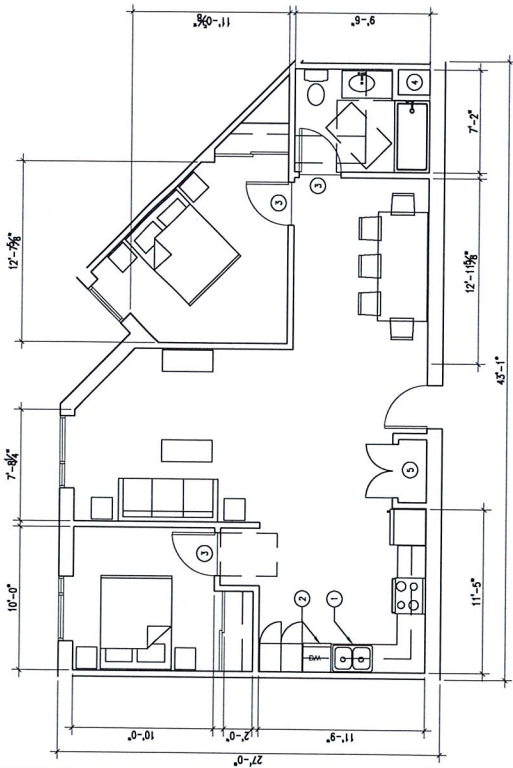
2 UNIT TYPE 2B (PHASE A)  
 1/4" = 1'-0"



4 UNIT TYPE 2D (PHASE B)  
 1/4" = 1'-0"



1 UNIT TYPE 2A (PHASE A)  
 1/4" = 1'-0"



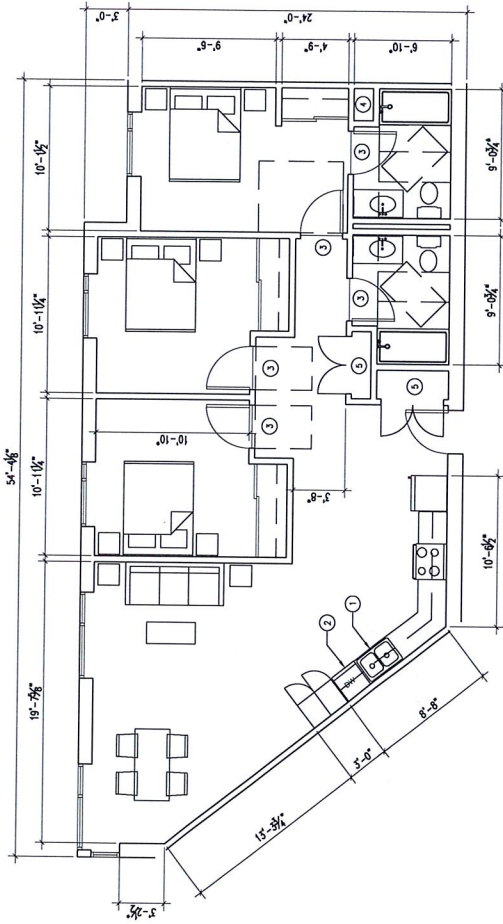
3 UNIT TYPE 2C (PHASE A)  
 1/4" = 1'-0"

NOTES: THESE UNITS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF OAKLAND, CALIFORNIA, AND THE STATE OF CALIFORNIA, AND SHALL BE SUBJECT TO THE CITY OF OAKLAND, CALIFORNIA, AND THE STATE OF CALIFORNIA, AND SHALL BE SUBJECT TO THE CITY OF OAKLAND, CALIFORNIA, AND THE STATE OF CALIFORNIA.



**UNIT PLAN NOTES**

- 1 KITCHEN SINK DOUBLE BOWL AT SENIOR (PHASE B) UNITS SINGLE BOWL AT FAMILY UNITS
- 2 DISHWASHER AT FAMILY (PHASE A) UNITS ONLY
- 3 FLOORING TRANSITION
- 4 MECH SHAPE
- 5 COAT CLOSET WITH ROD AND SHELF



UNIT TYPE 3E  
 1/4" = 1'-0"

