

Location:	2401 Broadway (See map on reverse)
Assessor's Parcel Numbers:	008-0674-003-01; -004-00; -005-00; & -036-00
Proposal:	Proposal to construct a new six story mixed use building containing 72 dwelling units, a 159-room hotel and approximately 16,000 square feet of ground floor retail. The project site is Retail Priority Site 2 in the Broadway Valdez District Specific Plan.
Applicant:	Jamie Choy, Signature Land Advisors Inc.
Owners:	2401 Broadway Investors LLC
Planning Permits Required:	Regular Design Review for new construction and to allow a D-BV height boundary shift of 30 feet into adjacent CC Zone; Major Conditional Use Permits to allow D-BV-1 Zone Bonuses, a Transient Habitation Commercial Activity, an Alcohol Beverage Sales Activity, expansion of D-BV uses into adjacent CC Zone, and shared parking; and Tentative Parcel Map for lot merger and new condominiums.
General Plan:	Central Business District
Zoning:	D-BV-1
Environmental Determination:	Determination Pending: It is anticipated that the proposed project will satisfy each of the following CEQA provisions: 15183 - Projects consistent with a community plan, general plan, or zoning; 15183.3 – Streamlining for in-fill projects; and/or 15164 – Addendum to the 2014 certified Broadway Valdez District Specific Plan EIR; Each of which provides a separate and independent basis for CEQA compliance.
Historic Status:	2401 Broadway – Eb-1* (API Non-contributor) 437 25 th Street – C1+ (API Contributor)
City Council District:	3
For further information:	Contact case planner Pete Vollmann at 510-238-6167 or by email: pvollmann@oaklandnet.com

SUMMARY

The applicant Signature Land Advisors has filed an application with the Bureau of Planning develop a mixed-use project at 2401 Broadway that would consist of a new six story building containing approximately 16,000 square feet of retail at the ground floor, a 159-room hotel and 72 dwelling units. The project site is located within the Broadway Valdez District Specific Plan (BVDSF) area and is Retail Priority Site 2 in the plan.

Staff requests that the Design Review Committee receive public testimony and provide comments on the proposed design.

PROPERTY DESCRIPTION

The subject property consists of four lots consisting of approximately 1.21 acres on the western side of Broadway between 24th and 25th Streets. The site includes the entire Broadway street frontage of the western side of the block, which includes the building at 2401 Broadway and the vacant parking lot to the north. The site also includes a vacant lot to the west of 2401 Broadway on 24th Street and a property on 25th Street that includes the existing brick auto garage building at 437 25th Street.

The project site is located partially within the 25th Street Garage District API and includes one vacant lot within the district, a contributing building at 437 25th Street and a non-contributing building at 2401 Broadway.

PROJECT DESCRIPTION

The proposed project includes a three to six story mixed use building that will include 72 residential dwelling units and a new 159 room hotel along with ground floor retail and a new bar located at 437 25th Street. The proposal would be approximately 85 feet in height along the Broadway frontage and then step down to three stories as it backs into the 25th Street Garage District. The Broadway street frontage would be occupied with the ground floor retail as well as the hotel and residential lobbies. Parking will be provided in the rear portion of the ground floor with access off 24th and 25th Streets.

The proposal would include the demolition of 2401 Broadway while retaining and restoring the façade of the building to incorporate it into the new project. Alterations will also be made to 437 25th Street that will include an addition to the upper rear of the building for a new bar and lower level parking that will tie the building into the development project.

ZONING ANALYSIS

The subject property is located within the D-BV-1, Broadway Valdez District Retail Priority Sites Commercial Zone, and is within a 45 Height/Intensity Area. The intent of the D-BV-1 zone is to establish Retail Priority Sites in the Plan area in order to encourage a core of comparison goods retail with a combination of small, medium, and large scale retail stores. Priority Sites 3 and 5 are further divided into subareas A, B, and C and Priority Site 4 into subareas A and B, as shown in the Height Area Map. Each Retail Priority Site and subarea has a specified minimum square footage of retail required prior to residential or transient habitation activities and facilities

being permitted. The Project site is located within Priority Site 2, which calls for a minimum retail of 15,572 square feet prior to the allowance of any residential units or height bonus above 45 feet. A proposal with 15,572 square feet (50% of the site area) of retail may permit a maximum of one dwelling unit per 125 square feet of retail provided, which would allow for 124 units. A proposal that includes retail square footage of 18,686 or more (60% of the site area) would allow for dwelling units at a ratio of one dwelling per 100 square feet of retail provided. The proposed project includes 16,000 square feet of retail, which would more than allow for the proposed 72 dwelling units. Meeting the minimum retail square footage requirement also allows an increase in height above the 45-foot height limit to 200 feet. The proposed project would not exceed a height of 85 feet.

A portion of the subject property is also located within the CC-3 Zone and height Area 45. The CC-3 Zone is intended to create, maintain, and enhance areas with a wide range of commercial and service activities. The CC-3 Zone does not permit residential activities, however, no residential activities within the proposal are to be located within the CC-3 Zoned portion of the property.

Extension of D-BV-1 Zoning into CC-3 Zone

The Planning Code includes provisions to allow regulations of one zone to encroach into adjacent zones when part of a new development proposal. Pursuant to Section 17.154.060C of the Planning Code the height limit within one boundary may extend up to 30 feet into an adjacent zone with a lower height limit. The proposed project would include use of this provision to extend the 85-foot portion of the building allowed in the D-BV-1 Zone back to the lower 45-foot height limit in the CC-3 Zone to the west.

Planning Code Section 17.102.110 allows uses permitted or conditionally permitted in one zone to encroach up to 150 feet into an adjacent zone where such uses are otherwise prohibited by the base zoning. The applicant intends to utilize this provision to allow the Transient habitation (Hotel) Activity to encroach into the CC-3 Zoned portion of the site.

DESIGN REVIEW

The proposed project occupies the entire western block frontage of Broadway between 24th and 25th Streets. The design creates two building masses at the corners of Broadway and joins them by an accent mass in the center of the block, which also acts as a central focal point to the main hotel lobby. The building mass at the northern corner at 25th Street is entirely new construction and is made up of a tall ground floor retail base with the upper residential levels being clad in a brick veneer with alternating punched window patterns that results in a simplified base middle and top design that is anchored at the corner with the retail base a three-level window wall at the middle and a two-level window wall at the top. The southern corner at 24th Street will retain and restore the façade of the existing building at 2401 Broadway by recreating the arched storefronts

to match those that remain along the back portion of the 24th Street façade. The upper hotel levels will be setback and contain a very simplified high quality design that reflects on the more industrial character of the 25th Street Garage District. The central mid-block building mass that will contain a similar architectural vocabulary as the southern massing while incorporating tall vertical glass sunscreens that will add a lot of visual interest to the building.

As the building extends down 24th Street the upper level design of the hotel portion will continue above the restored building façade at the ground floor and then step down to a four-story height that eventually joins the ground floor level providing for the garage entries to the building.

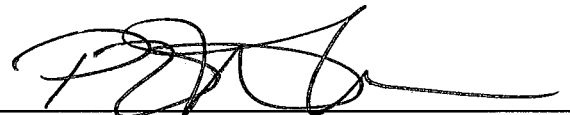
On 25th Street there is a vacant property that is not included in the development project and the project picks back up at the property at 437 25th Street. The building at 437 25th will be retained and an upper level addition will be included that joins the structure into the new development. Two bays of the ground floor of the building will be used as garage entries that connect to the parking structure for the building, which is typical of buildings in the 25th Street Garage District, and the third bay will be used as a new lobby entry to a proposed bar that will be located on the upper level of the building.

The design proposal that is before the Design Review Committee is a redesign from the initial submittal. At the time of the initial application submittal zoning staff and OCHS staff met with the applicant and provided a lot of input on the proposal. In response, the applicant restarted the design process and altered the entire design concept to address staff comments. Staff had provided comments on the overall design concept particularly focusing in on the design of the building as it related to the two structures within the 25th Street Garage District API. The requests were to simplify the design of the building above the restored storefront at 2401 Broadway and retain the structure at 437 25th Street and only incorporate an addition that is setback from the existing street wall (the original design would have only retained the façade of the building). As a result, staff is in support of the design as re-submitted and does not have any further comments to add, and only look to receive comments at this time from the Committee members and the public.

RECOMMENDATION

Staff recommends that the Committee review the proposed project for appropriate site and building design considerations and provide direction to staff and the project applicant prior to full consideration by the City Planning Commission.

Prepared by:



PETERSON Z. VOLLMANN
Planner IV

Approved:


ROBERT MERKAMP
Development Projects Manager

Attachments:

- A. Project Plans



BROADWAY HOTEL & RESIDENCE

ENTITLEMENTS PACKAGE UPDATE
07.25.17

BAR ARCHITECTS

SIGNATURE DEVELOPMENT

PROJECT TEAM

OWNER:
SIGNATURE DEVELOPMENT GROUP
2335 BROADWAY, SUITE 200
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908 BATTERY STREET #300
SAN FRANCISCO, CA 94111
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EMAIL: JGOODWIN@BARARCH.COM

CIVIL ENGINEER:
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1931 SAN MIGUEL DRIVE, SUITE 100
WALNUT CREEK, CA 94596
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EMAIL: SHARTSTEIN@DKCONSULTING.COM

LANDSCAPE ARCHITECT:
JETT LANDSCAPE ARCHITECTURE + DESIGN
2 THEATRE SQUARE, SUITE 218
ORINDA, CA 94563
T: (925) 254-5422

CONTACT: BRUCE JETT
EMAIL: BRUCEJ@JETT.LAND

BUILDING & SITE DATA

BUILDING GROSS FLOOR AREA 216,316 SF
D-BV-1 SITE AREA 30,158 SF
CC-3 SITE AREA 22,620 SF
TOTAL SITE AREA +/- 1.21 ACRES (+/- 52,778 SF)
FLOOR AREA RATIO 216,316 SF / 52,778 SF = 4.10
HOUSING DENSITY 72 D.U. / 1.21 ACRES = 59.5 D.U./ACRE

BUILDING & ZONING CODE

CONSTRUCTION TYPE I-A, III-A
OCCUPANCY GROUP R-1, R-2, M
BUILDING HEIGHT / STOREYS 73'-6" TOP OF ROOF / 84'-4" TOP OF PENTHOUSE ROOF / 7 STOREYS
USE RESI., HOTEL, RETAIL, RESTAURANT
ZONING DESIGNATION CC-3, D-BV-1
CODE EDITION CBC 2016

D.U. COUNT & MIX

1-BED	20	28%
2-BED	21	29%
3-BED	5	7%
JR 1	20	28%
STUDIO	6	8%
TOTAL	72	

KEY COUNT & MIX

ALT KING	2	1%
EXEC KING	31	19%
EXEC KING (ADA)	3	2%
STD	108	68%
STD (ADA)	5	3%
SUITE	8	5%
SUITE (ADA)	1	1%
SUITE (LOFT)	1	1%
TOTAL	159	

AREA - COMMERCIAL GROUND AND MEZZANINE

* REFERENCE AREA PLAN DIAGRAMS SHEET A25

LEVEL 1	BAR	401 SF
LEVEL 1	CAFE	1,285 SF
LEVEL 1	HOTEL	7,801 SF
LEVEL 1	RESTAURANT	4,806 SF
LEVEL 1	RETAIL	14,616 SF
LEVEL 2	HOTEL	11,448 SF
TOTAL		40,357 SF

40,789 / 600 = 68 SPACES FOR GROUND AND MEZZANINE LEVEL USES

AREA - COMMERCIAL UPPER LEVELS

* REFERENCE AREA PLAN DIAGRAMS SHEET A25

LEVEL 3	BAR	4,030 SF
LEVEL 3	HOTEL	18,716 SF
LEVEL 4	BAR	2,031 SF
LEVEL 4	HOTEL	18,707 SF
LEVEL 5	HOTEL	11,982 SF
LEVEL 6	HOTEL	11,980 SF
LEVEL 7	HOTEL	11,982 SF
ROOF	HOTEL	557 SF
TOTAL		79,984 SF

79,984 / 1,000 = 80 SPACES FOR UPPER LEVEL USES

TOTAL COMMERCIAL PARKING REQUIRED = 80 + 68 = 148 SPACES

PARKING REQUIREMENT

Required Parking

Residential Activities

Total DU	72
Space per DU in D-BV-1	0.5
Total Res. Parking Required	36

50% Max. Shared Parking Reduction

Residential Parking	36
Commercial Parking	148
Total Parking Before Reduction	184
TOTAL PARKING REQUIRED	92.0

Total Parking Provided	129
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LONG TERM BICYCLE PARKING:

RESIDENTIAL IN D-BV-1 ZONE (17.117.090): 1 PER 2 D.U.
72 UNITS / 2 = 36 BIKE SPACES
REST./RETAIL (COMMERCIAL 17.117.110)
IN D-BV-1 ZONE: 1 PER 8,000 SF
40,308 SF / 8,000 SF = 5 BIKE SPACES
IN CC-3 ZONE: 1 PER 12,000 SF
6,462 SF / 12,000 SF = 1 BIKE SPACE
HOTEL/TRANSIENT: 1 PER 20 ROOMS
159/20 = 8 BIKE SPACES

TOTAL LONG TERM BIKE PARKING REQ'D = 50 BIKE SPACES

Oakland Planning Code Section

17.116.060

17.116.110.D

GROSS AREA BY LEVEL

LEVEL 1	BAR	401 SF
LEVEL 1	CAFE	1,285 SF
LEVEL 1	HOTEL	7,801 SF
LEVEL 1	PARKING	18,533 SF
LEVEL 1	RESIDENTIAL	3,048 SF
LEVEL 1	RESTAURANT	4,806 SF
LEVEL 1	RETAIL	14,616 SF
		50,490 SF
LEVEL 2	HOTEL	11,448 SF
LEVEL 2	RESIDENTIAL	194 SF
		11,642 SF
LEVEL 3	BAR	4,030 SF
LEVEL 3	HOTEL	18,716 SF
LEVEL 3	RESIDENTIAL	14,540 SF
		37,287 SF
LEVEL 4	BAR	2,031 SF
LEVEL 4	HOTEL	18,707 SF
LEVEL 4	RESIDENTIAL	14,748 SF
		35,486 SF
LEVEL 5	HOTEL	11,982 SF
LEVEL 5	RESIDENTIAL	14,701 SF
		26,683 SF
LEVEL 6	HOTEL	11,980 SF
LEVEL 6	RESIDENTIAL	14,701 SF
		26,681 SF
LEVEL 7	HOTEL	11,982 SF
LEVEL 7	RESIDENTIAL	14,701 SF
		26,683 SF
ROOF	HOTEL	557 SF
ROOF	RESIDENTIAL	808 SF
		1,365 SF
TOTAL GROSS AREA		216,316 SF

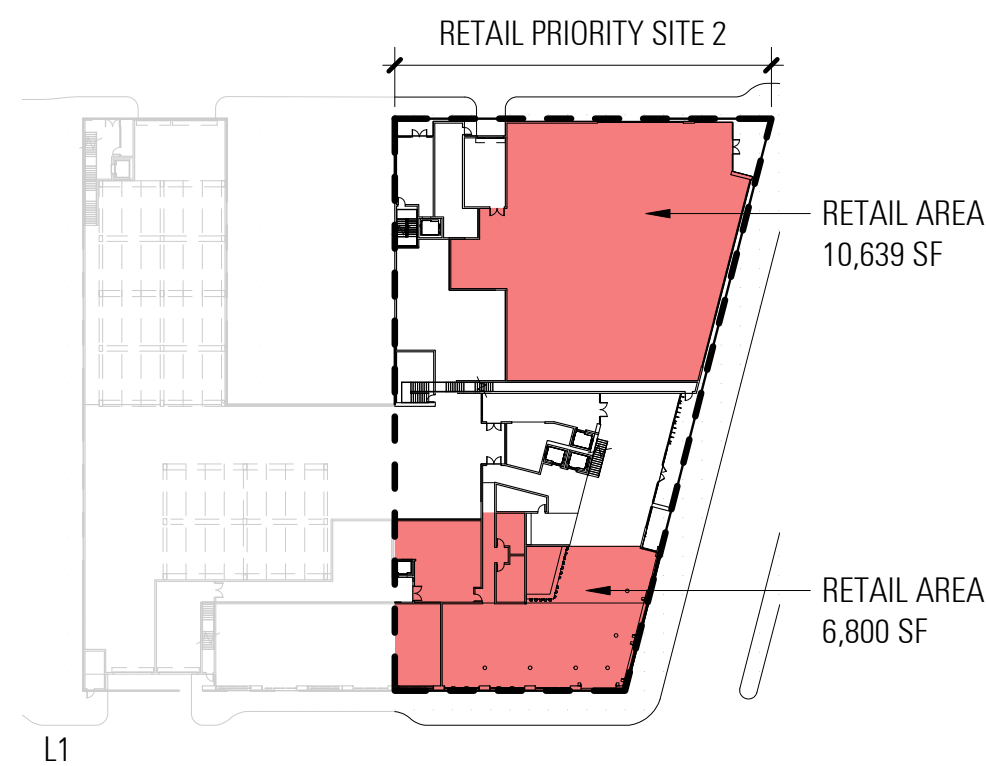
SHEET INDEX

- A0 COVER SHEET
- A1 PROJECT INFORMATION
- A2 SITE PHOTOS
- A3 SITE PLAN
- A4 PERSPECTIVE VIEW - VIEW FROM SE
- A5 PERSPECTIVE VIEW - VIEW FROM NE
- A6 FLOOR PLAN - LEVEL 1
- A7 FLOOR PLAN - LEVEL 2
- A8 FLOOR PLAN - LEVEL 3
- A9 FLOOR PLAN - LEVEL 4
- A10 FLOOR PLAN - LEVEL 5
- A11 FLOOR PLAN - LEVEL 6
- A12 FLOOR PLAN - LEVEL 7
- A13 ROOF PLAN
- A14 COLOR & MATERIALS
- A15 PERSPECTIVE VIEW - BROADWAY ENTRY
- A16 ELEVATIONS - SOUTH AND BROADWAY
- A17 ELEVATIONS - NORTH AND WEST
- A18 ENLARGED SECTION - HOTEL
- A19 ENLARGED SECTION - RESIDENTIAL
- A20 BUILDING SECTIONS
- A21 BUILDING SECTIONS
- A22 HOTEL KEY PLANS
- A23 RESIDENTIAL UNIT PLANS
- A24 GREEN BUILDING COMPLIANCE
- A25 COMMERCIAL PARKING AREA PLANS
- C1 COVER SHEET
- C2 GENERAL NOTES
- C3 DETAILS
- C4 DETAILS
- C5 TOPOGRAPHIC SURVEY
- C6 DEMOLITION PLAN
- C7 SITE PLAN
- C8 MASS GRADING PLAN
- C9 FINE GRADING PLAN
- C10 UTILITY PLAN
- C11 EROSION CONTROL PLAN
- C12 EROSION CONTROL NOTES & DETAILS
- C13 C.3 EXHIBIT
- L1 LANDSCAPE PROGRAM
- L2 PUBLIC STREETScape PLAN
- L3 LEVEL 2 - HOTEL BREAKOUT COURTYARDS
- L4 LEVEL 3 - HOTEL VIEWING GARDEN
- L5 LEVEL 3 - HOTEL VIEWING GARDENS
- L6 LEVEL 3 - BAR & LOUNGE TERRACE
- L7 LEVEL 3 - RESIDENTIAL AMENITY COURTYARD
- L8 LEVEL 8 - RESIDENTIAL ROOF DECK

RETAIL PRIORITY SITE 2 CONFORMANCE

PER TABLES 17.101C.05 & 17.101C.06, IF D-BV-1 RETAIL AREA > 15,079 SF (50% OF D-BV-1):
- RESIDENTIAL FACILITY ALLOWED IN D-BV-1
- MAXIMUM BUILDING BASE HEIGHT = 85 FT

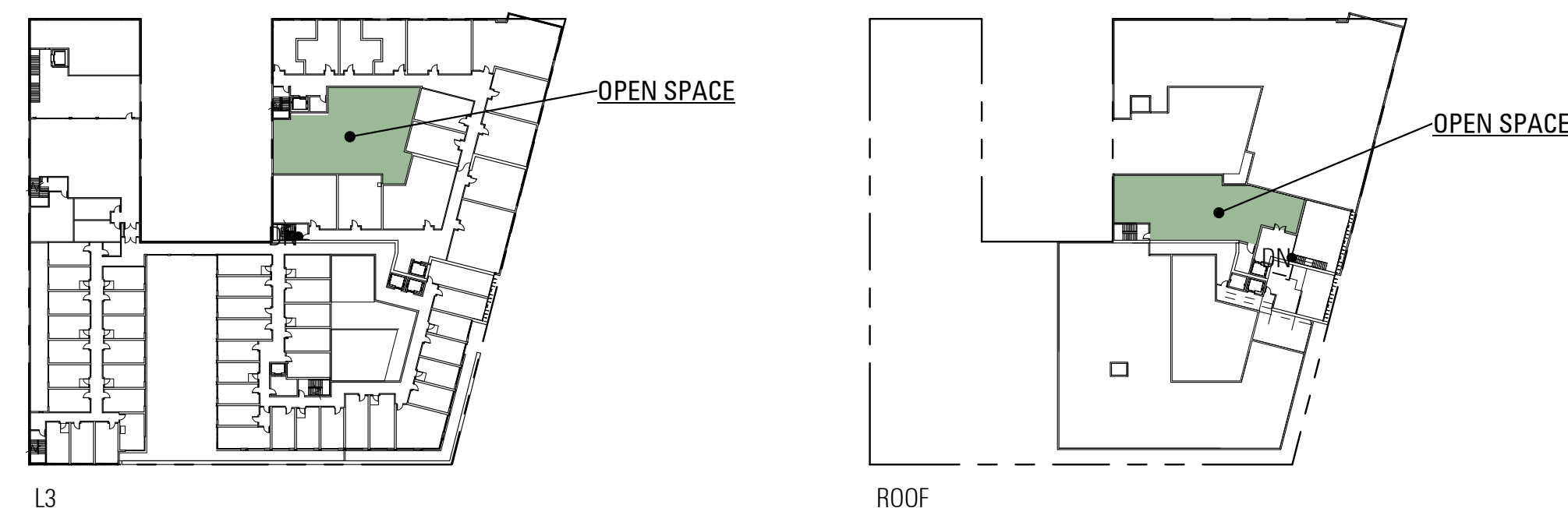
RETAIL AREA PROVIDED:	LEVEL 1	17,439 SF
	TOTAL	17,439 SF



OPEN SPACE REQUIREMENT

PER TABLE 17.101C.06, 75 SF OPEN SPACE REQUIRED PER D.U.
75 SF X 72 UNITS = 5,400 SF OPEN SPACE REQUIRED

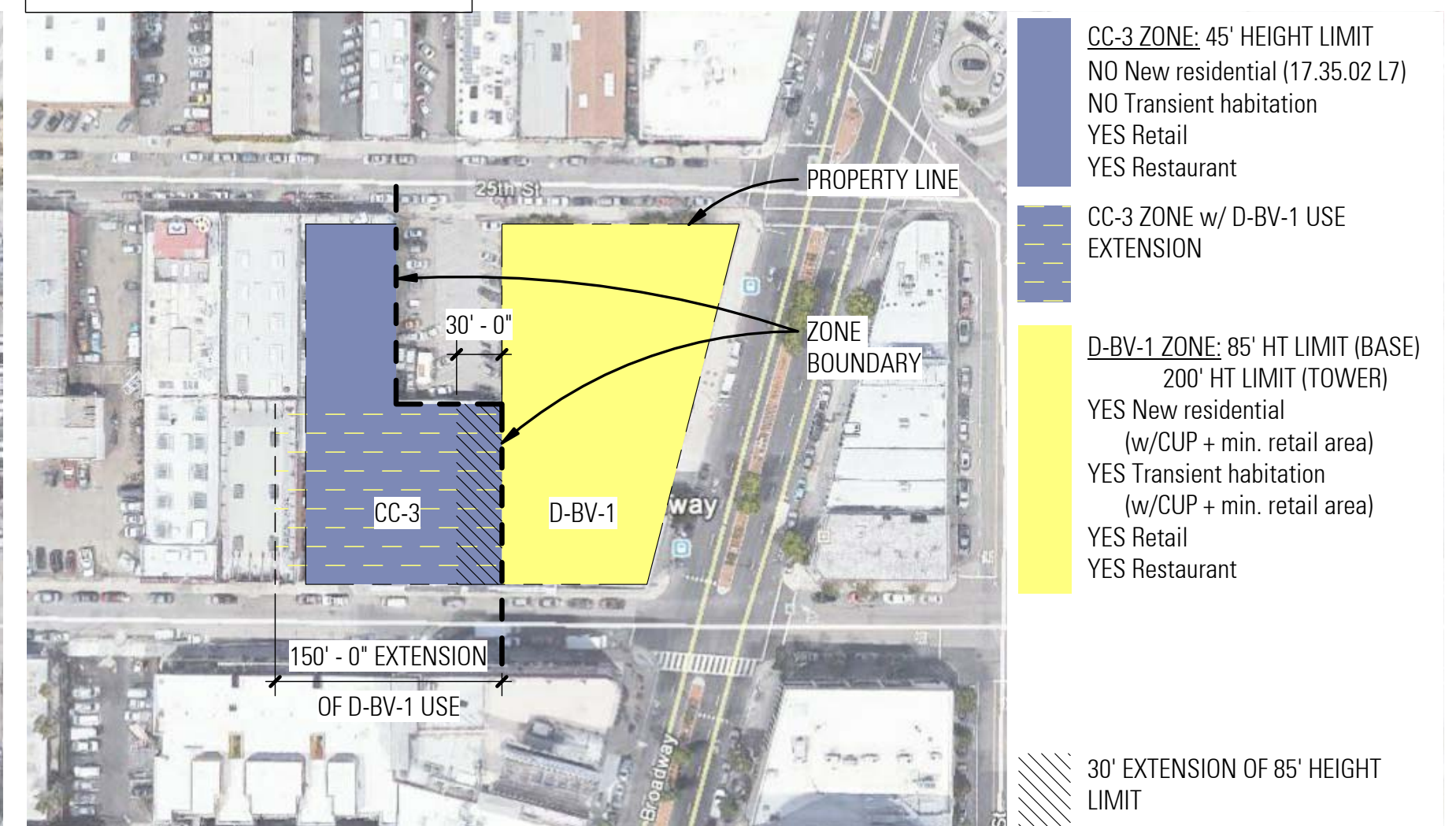
OPEN SPACE PROVIDED:	LEVEL 3	PODIUM AMENITY	3,071 SF
	ROOF	ROOF DECK AMENITY	2,948 SF
	TOTAL		6,019 SF



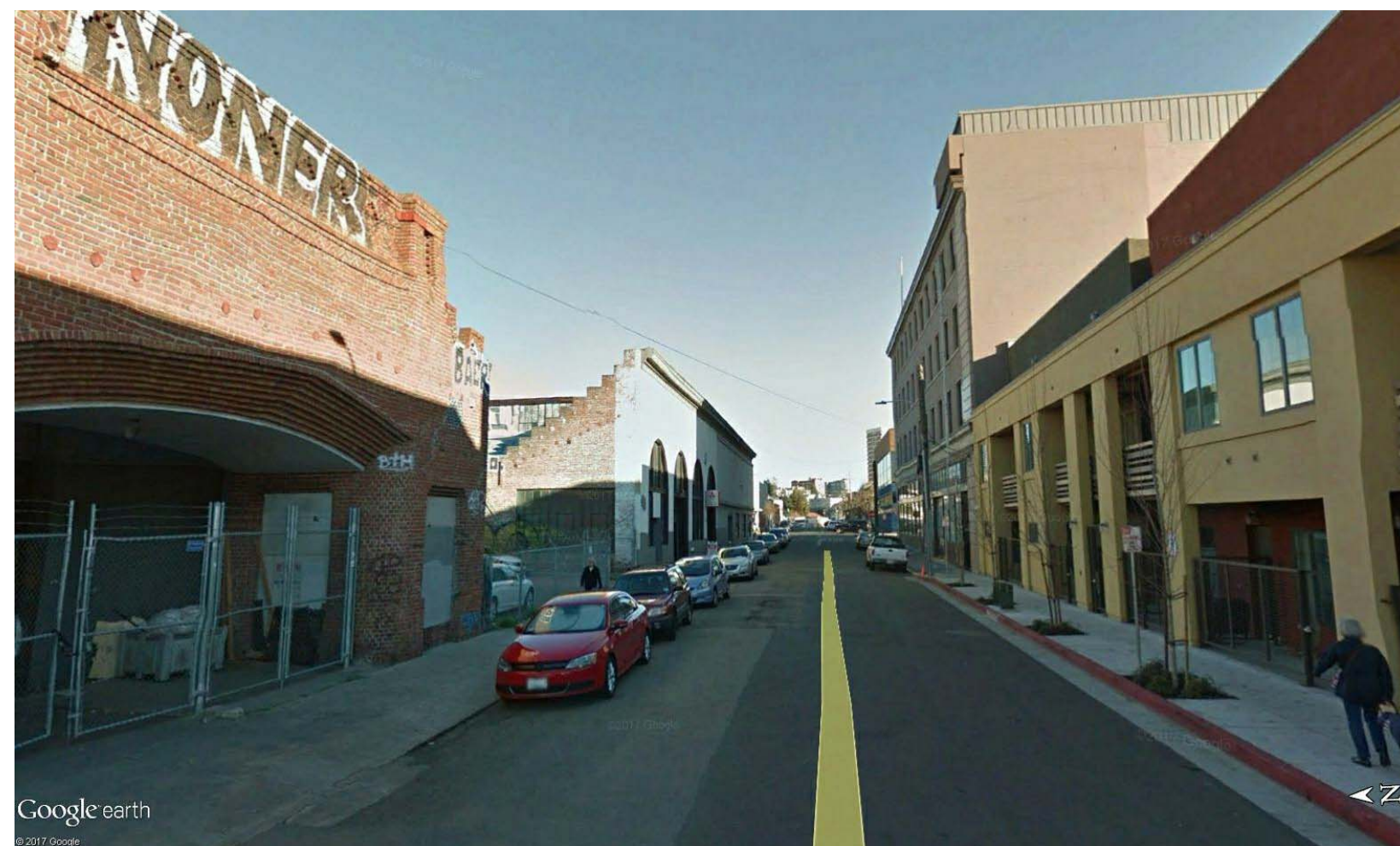
VICINITY MAP



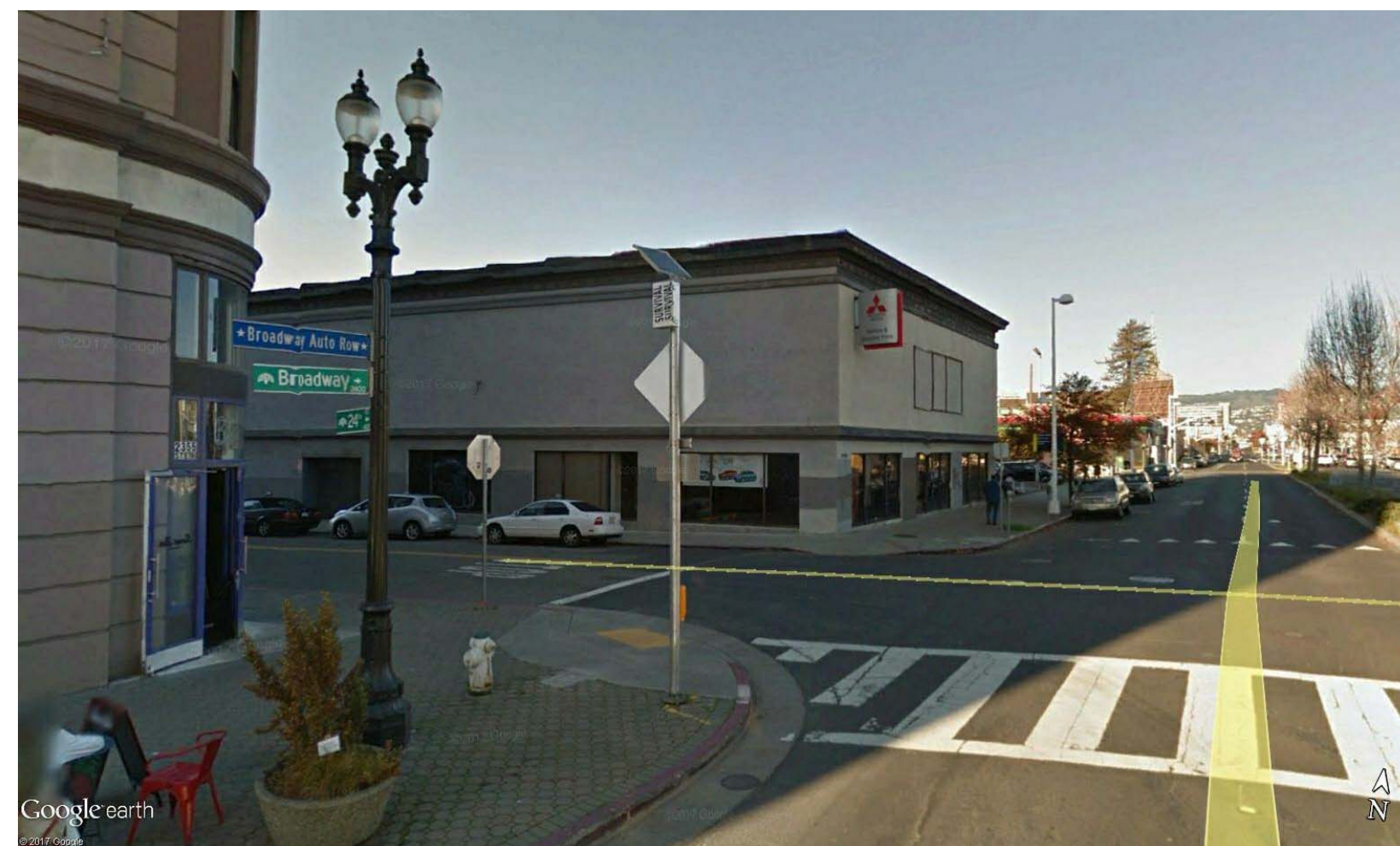
ZONING DIAGRAM



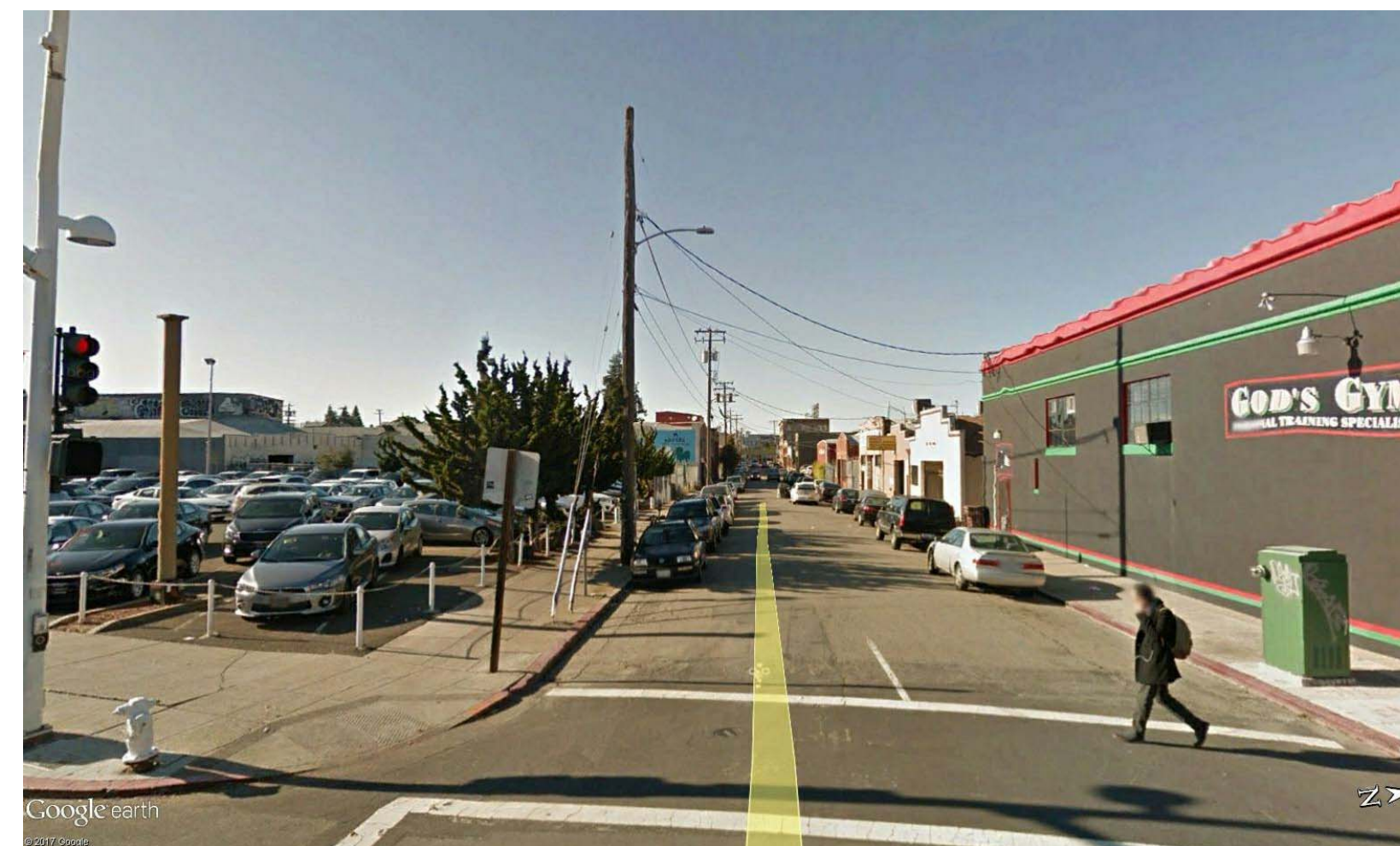
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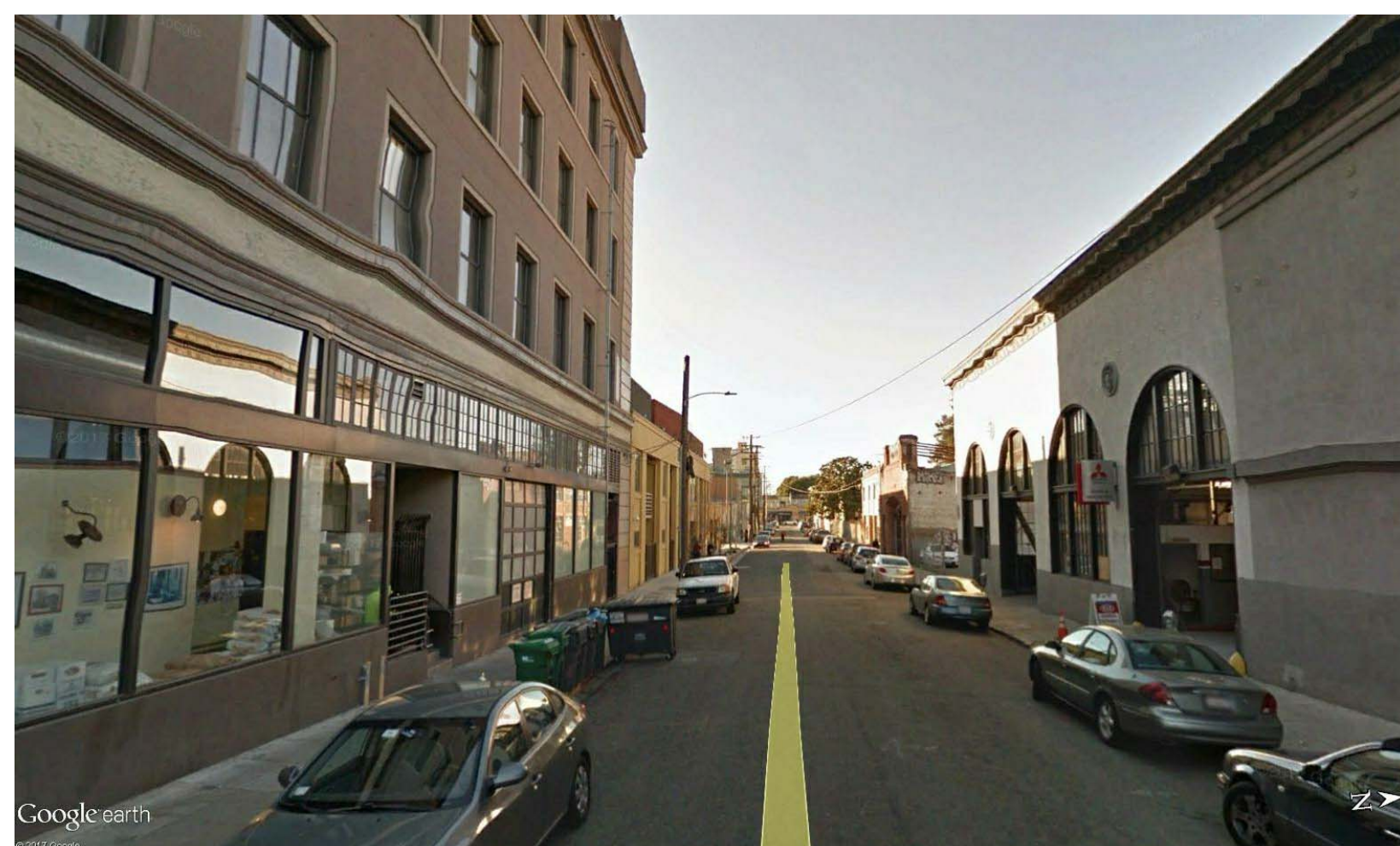
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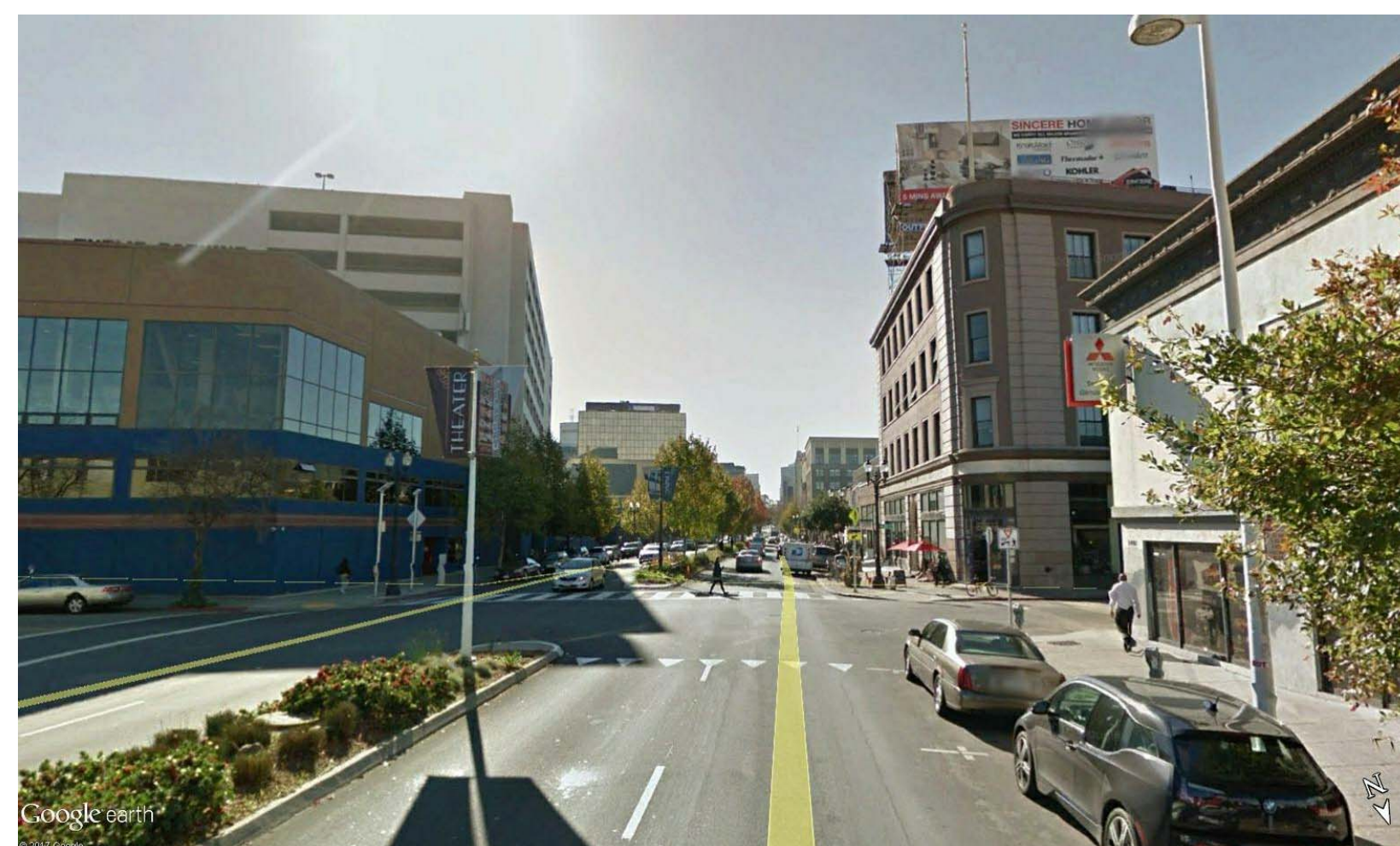
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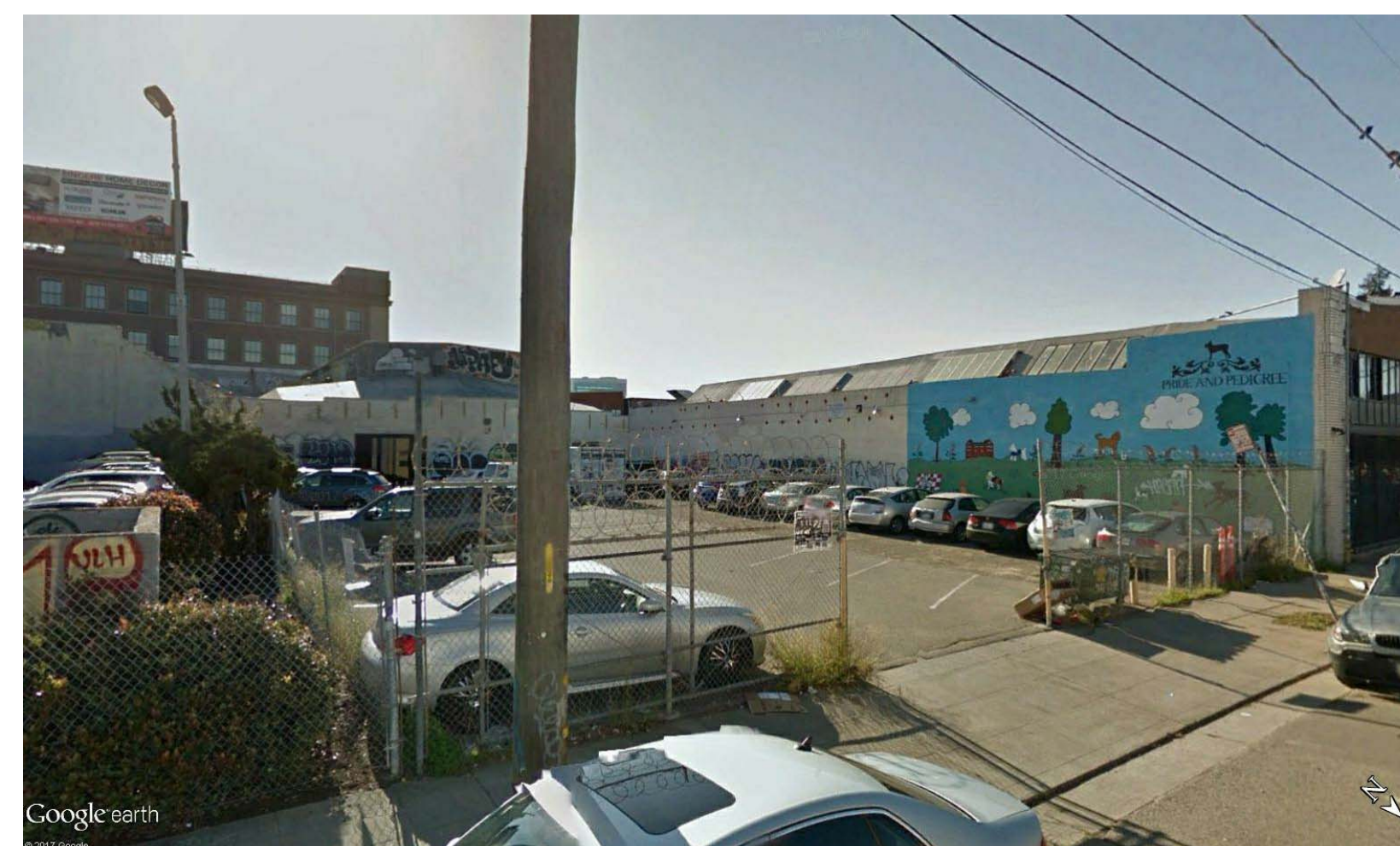
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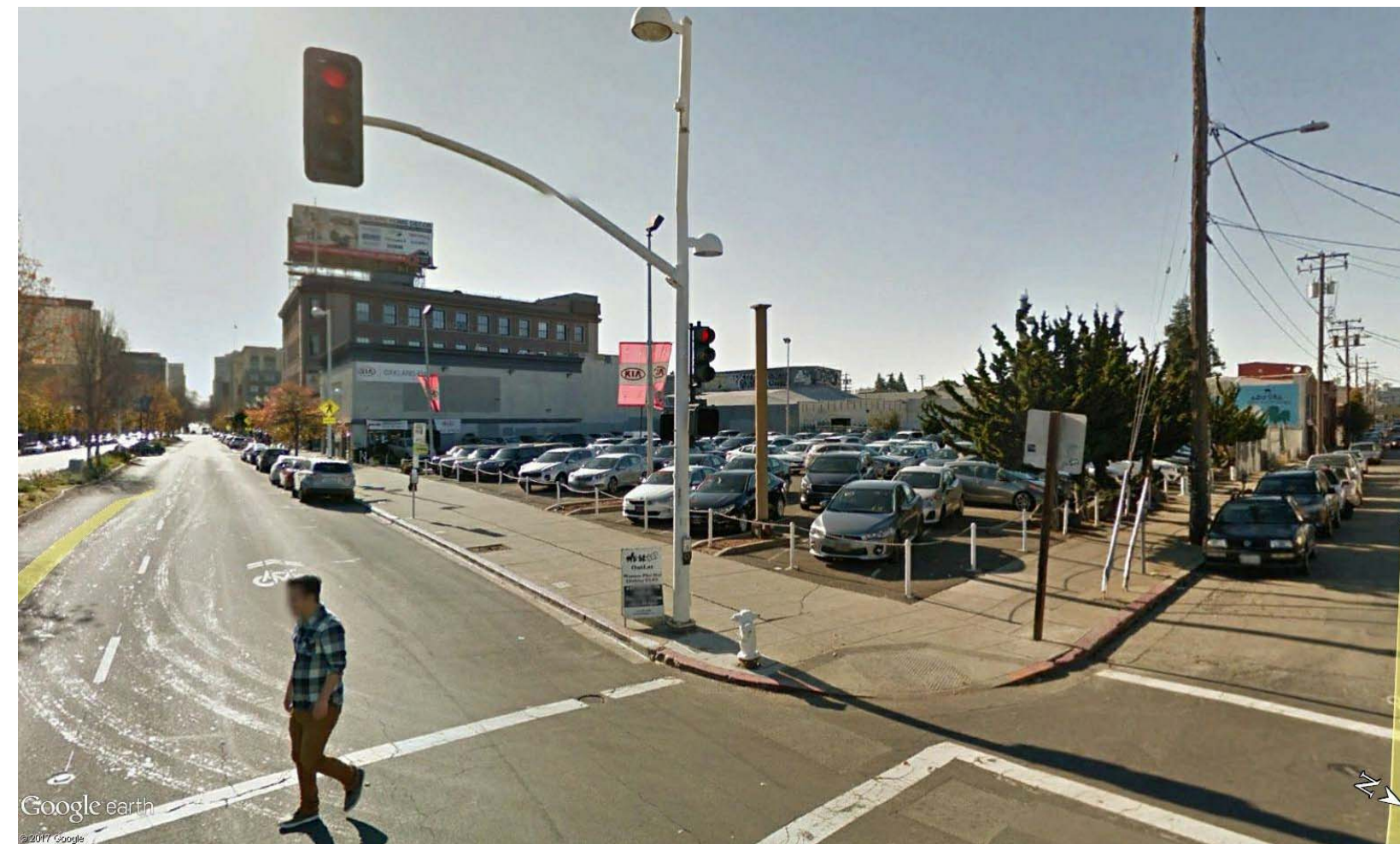
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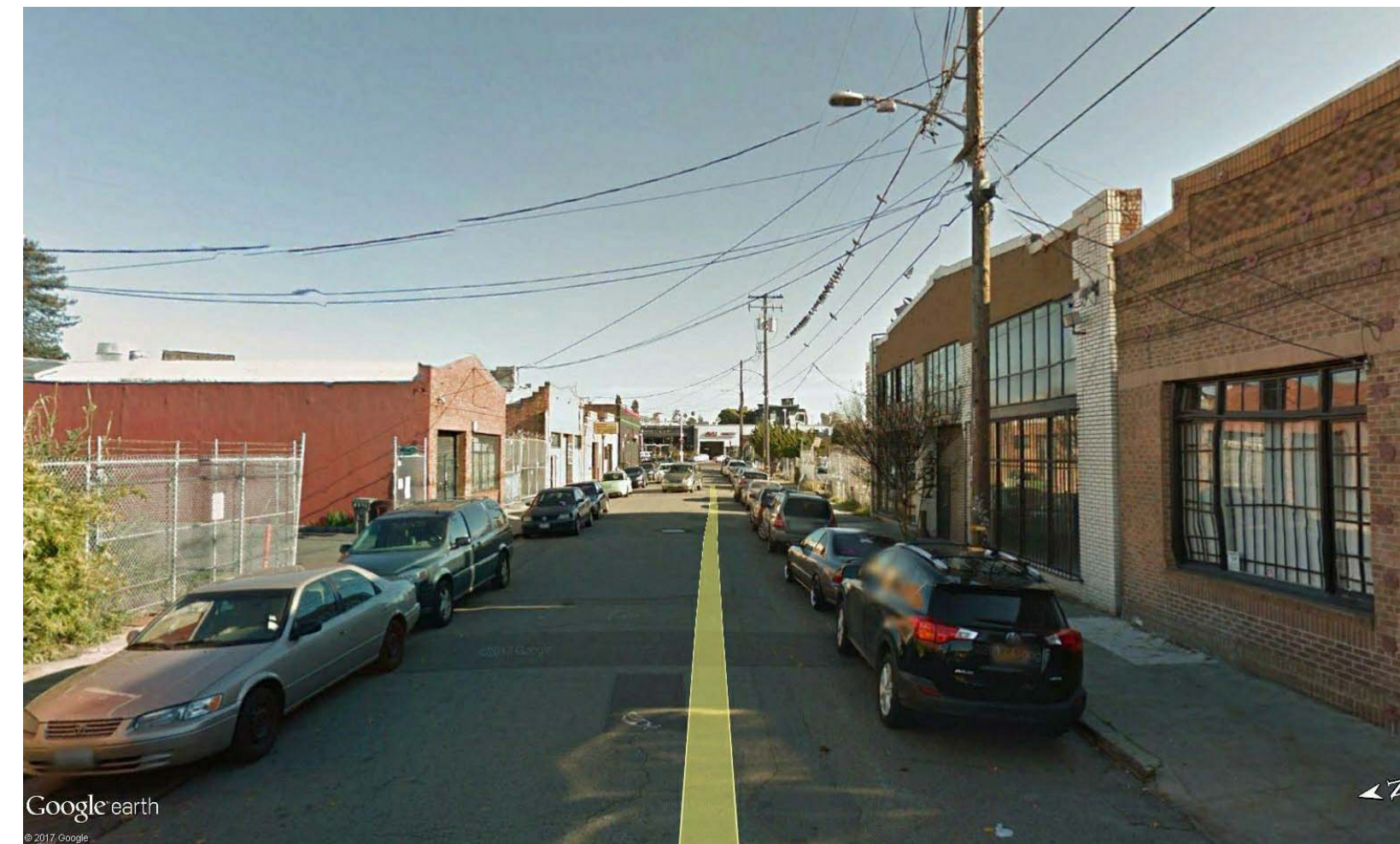
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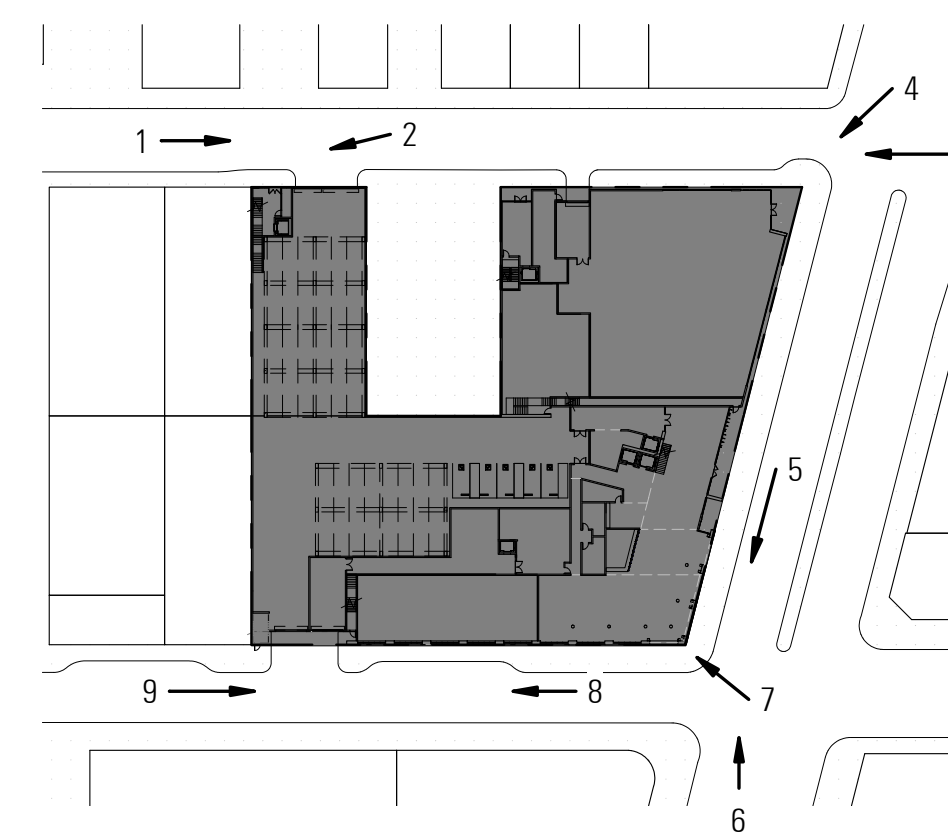
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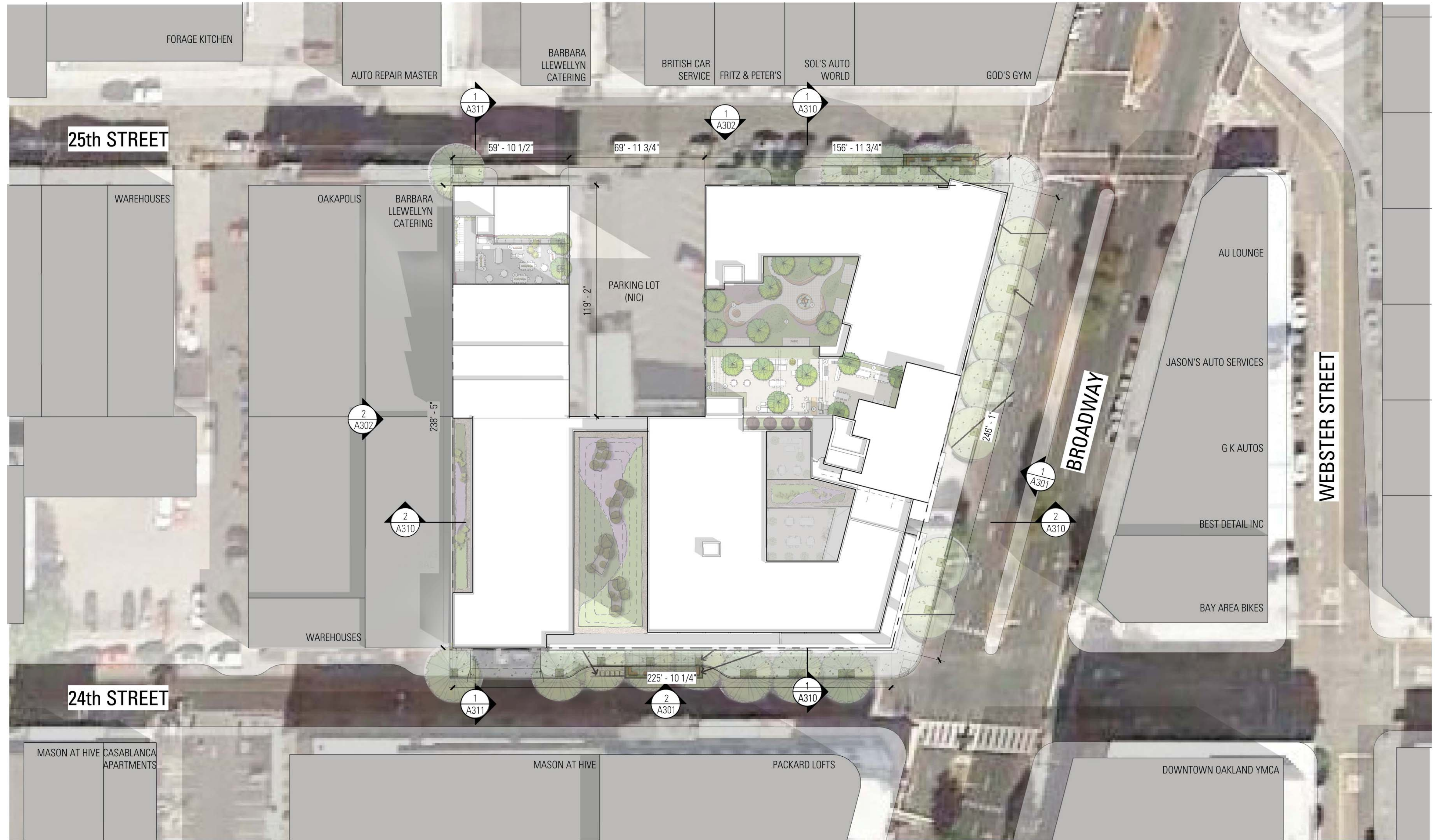
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1



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SITE PLAN

1" = 30'-0"

N



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BROADWAY HOTEL
2401 BROADWAY, OAKLAND, CA

PERSPECTIVE VIEW - VIEW FROM SE

07.25.17

17001

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BROADWAY HOTEL
2401 BROADWAY, OAKLAND, CA

PERSPECTIVE VIEW - VIEW FROM NE

05.22.17

17001

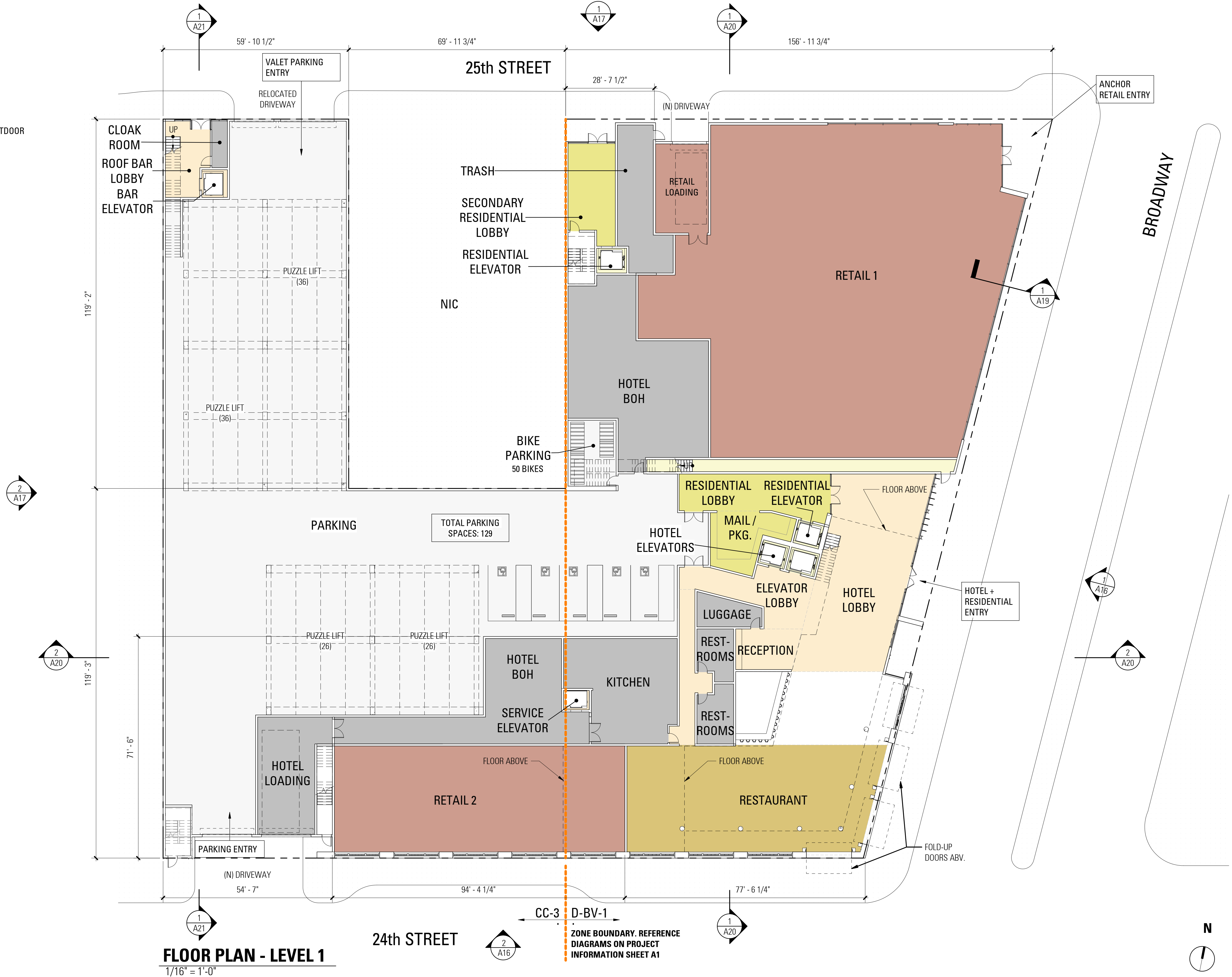
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LEGEND

 HOTEL	 RESIDENTIAL	 RETAIL	 OUTDOOR
 HOTEL CIRCULATION	 RESIDENTIAL CIRCULATION	 RESTAURANT	
 HOTEL AMENITY	 RESIDENTIAL AMENITY	 SERVICE / BOH	

GROSS AREA - LEVEL 1	
BAR	401 SF
CAFE	1,285 SF
HOTEL	7,801 SF
PARKING	18,533 SF
RESIDENTIAL	3,048 SF
RESTAURANT	4,806 SF
RETAIL	14,616 SF
LEVEL 1 TOTAL	50,490 SF



FLOOR PLAN - LEVEL 1
1/16" = 1'-0"

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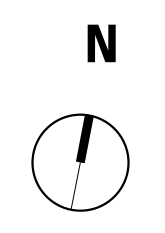
LEGEND

- HOTEL
- HOTEL CIRCULATION
- HOTEL AMENITY
- RESIDENTIAL
- RESIDENTIAL CIRCULATION
- RESIDENTIAL AMENITY
- RETAIL
- RESTAURANT
- SERVICE / BOH
- OUTDOOR

GROSS AREA - LEVEL 2	
HOTEL	11,448 SF
RESIDENTIAL	194 SF
LEVEL 2 TOTAL	11,642 SF



FLOOR PLAN - LEVEL 2
1/16" = 1'-0"



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LEGEND

GROSS AREA - LEVEL 3

BAR	4,098 SF
HOTEL	18,523 SF
RESIDENTIAL	14,540 SF
LEVEL 3 TOTAL	37,161 SF

RESIDENTIAL AREA EFFICIENCY

RENTABLE	57,244 SF	78%
CORE	15,264 SF	
AMENITY	836 SF	
GROSS	73,344 SF	

RESIDENTIAL UNIT TYPE BREAKDOWN

UNIT TYPE	COUNT	ACTUAL
STUDIO	6	8%
JR 1	20	28%
1-BED	20	28%
2-BED	21	29%
3-BED	5	7%
TOTAL	72	

HOTEL AREA EFFICIENCY

RENTABLE	55,417 SF	70%
CORE	18,107 SF	
AMENITY	6,084 SF	
GROSS	79,608 SF	

HOTEL UNIT TYPE BREAKDOWN

UNIT TYPE	COUNT	ACTUAL
ALT KING	2	1%
EXEC KING	31	19%
EXEC KING (ADA)	3	2%
STD	108	68%
STD (ADA)	5	3%
SUITE	8	5%
SUITE (ADA)	1	1%
SUITE (LOFT)	1	1%
TOTAL	159	



FLOOR PLAN - LEVEL 3
1/16" = 1'-0"

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LEGEND

HOTEL	RESIDENTIAL	RETAIL	OUTDOOR
HOTEL CIRCULATION	RESIDENTIAL CIRCULATION	RESTAURANT	
HOTEL AMENITY	RESIDENTIAL AMENITY	SERVICE / BOH	

GROSS AREA - LEVEL 4

BAR	2,043 SF
HOTEL	18,642 SF
RESIDENTIAL	14,748 SF
LEVEL 4 TOTAL	35,433 SF

RESIDENTIAL AREA EFFICIENCY

RENTABLE	57,244 SF	78%
CORE	15,264 SF	
AMENITY	836 SF	
GROSS	73,344 SF	

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STD	108	68%
STD (ADA)	5	3%
SUITE	8	5%
SUITE (ADA)	1	1%
SUITE (LOFT)	1	1%
TOTAL	159	



FLOOR PLAN - LEVEL 4

1/16" = 1'-0"

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LEGEND

HOTEL	RESIDENTIAL	RETAIL	OUTDOOR
HOTEL CIRCULATION	RESIDENTIAL CIRCULATION	RESTAURANT	
HOTEL AMENITY	RESIDENTIAL AMENITY	SERVICE / BOH	

GROSS AREA - LEVEL 5

HOTEL	11,981 SF
RESIDENTIAL	14,701 SF
LEVEL 5 TOTAL	26,682 SF

RESIDENTIAL AREA EFFICIENCY

RENTABLE	57,244 SF	78%
CORE	15,264 SF	
AMENITY	836 SF	
GROSS	73,344 SF	

RESIDENTIAL UNIT TYPE BREAKDOWN

UNIT TYPE	COUNT	ACTUAL
STUDIO	6	8%
JR 1	20	28%
1-BED	20	28%
2-BED	21	29%
3-BED	5	7%
TOTAL	72	

HOTEL AREA EFFICIENCY

RENTABLE	55,417 SF	70%
CORE	18,107 SF	
AMENITY	6,084 SF	
GROSS	79,608 SF	

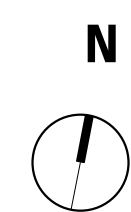
HOTEL UNIT TYPE BREAKDOWN

UNIT TYPE	COUNT	ACTUAL
ALT KING	2	1%
EXEC KING	31	19%
EXEC KING (ADA)	3	2%
STD	108	68%
STD (ADA)	5	3%
SUITE	8	5%
SUITE (ADA)	1	1%
SUITE (LOFT)	1	1%
TOTAL	159	

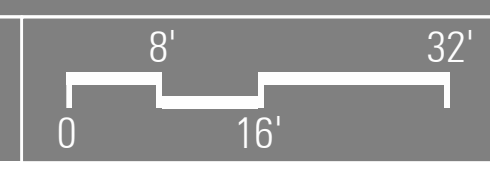


FLOOR PLAN - LEVEL 5


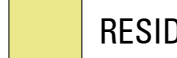



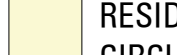




1/16" = 1'-0"



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LEGEND

 HOTEL	 RESIDENTIAL	 RETAIL	 OUTDOOR
 HOTEL CIRCULATION	 RESIDENTIAL CIRCULATION	 RESTAURANT	
 HOTEL AMENITY	 RESIDENTIAL AMENITY	 SERVICE / BOH	

GROSS AREA - LEVEL 6

HOTEL	11,970 SF
RESIDENTIAL	14,701 SF
LEVEL 6 TOTAL	26,671 SF

RESIDENTIAL AREA EFFICIENCY

RENTABLE	57,244 SF	78%
CORE	15,264 SF	
AMENITY	836 SF	
GROSS	73,344 SF	

RESIDENTIAL UNIT TYPE BREAKDOWN

UNIT TYPE	COUNT	ACTUAL
STUDIO	6	8%
JR 1	20	28%
1-BED	20	28%
2-BED	21	29%
3-BED	5	7%
TOTAL	72	

HOTEL AREA EFFICIENCY

RENTABLE	55,417 SF	70%
CORE	18,107 SF	
AMENITY	6,084 SF	
GROSS	79,608 SF	

HOTEL UNIT TYPE BREAKDOWN

UNIT TYPE	COUNT	ACTUAL
ALT KING	2	1%
EXEC KING	31	19%
EXEC KING (ADA)	3	2%
STD	108	68%
STD (ADA)	5	3%
SUITE	8	5%
SUITE (ADA)	1	1%
SUITE (LOFT)	1	1%
TOTAL	159	





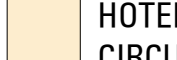
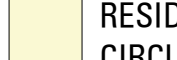






FLOOR PLAN - LEVEL 6

1/16" = 1'-0"

5/22/2017 9:49:23 AM C:\0\REV\17001_2401 Broadway Hotel-CENTRAL_COCOMOR.rvt

LEGEND

 HOTEL	 RESIDENTIAL	 RETAIL	 OUTDOOR
 HOTEL CIRCULATION	 RESIDENTIAL CIRCULATION	 RESTAURANT	
 HOTEL AMENITY	 RESIDENTIAL AMENITY	 SERVICE / BOH	

GROSS AREA - LEVEL 7

HOTEL	11,971 SF
RESIDENTIAL	14,701 SF
LEVEL 7 TOTAL	26,672 SF

RESIDENTIAL AREA EFFICIENCY

RENTABLE	57,244 SF	78%
CORE	15,264 SF	
AMENITY	836 SF	
GROSS	73,344 SF	

RESIDENTIAL UNIT TYPE BREAKDOWN

UNIT TYPE	COUNT	ACTUAL
STUDIO	6	8%
JR 1	20	28%
1-BED	20	28%
2-BED	21	29%
3-BED	5	7%
TOTAL	72	

HOTEL AREA EFFICIENCY

RENTABLE	55,417 SF	70%
CORE	18,107 SF	
AMENITY	6,084 SF	
GROSS	79,608 SF	

HOTEL UNIT TYPE BREAKDOWN

UNIT TYPE	COUNT	ACTUAL
ALT KING	2	1%
EXEC KING	31	19%
EXEC KING (ADA)	3	2%
STD	108	68%
STD (ADA)	5	3%
SUITE	8	5%
SUITE (ADA)	1	1%
SUITE (LOFT)	1	1%
TOTAL	159	



FLOOR PLAN - LEVEL 7
1/16" = 1'-0"

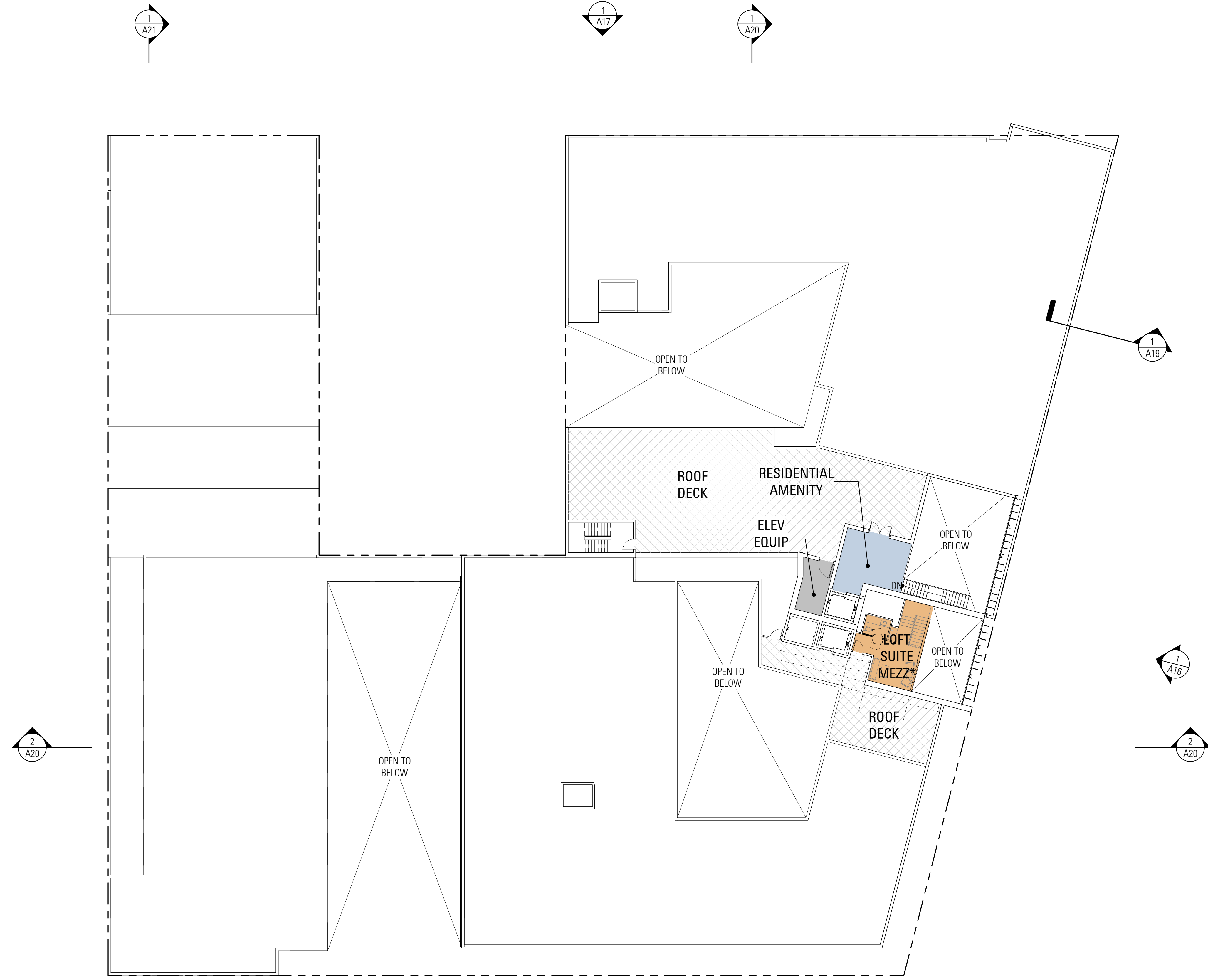
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LEGEND

- HOTEL
- HOTEL CIRCULATION
- HOTEL AMENITY
- RESIDENTIAL
- RESIDENTIAL CIRCULATION
- RESIDENTIAL AMENITY
- RETAIL
- RESTAURANT
- SERVICE / BOH
- OUTDOOR

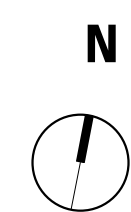
GROSS AREA - ROOF

HOTEL	557 SF
RESIDENTIAL	808 SF
ROOF TOTAL	1,365 SF



ROOF PLAN

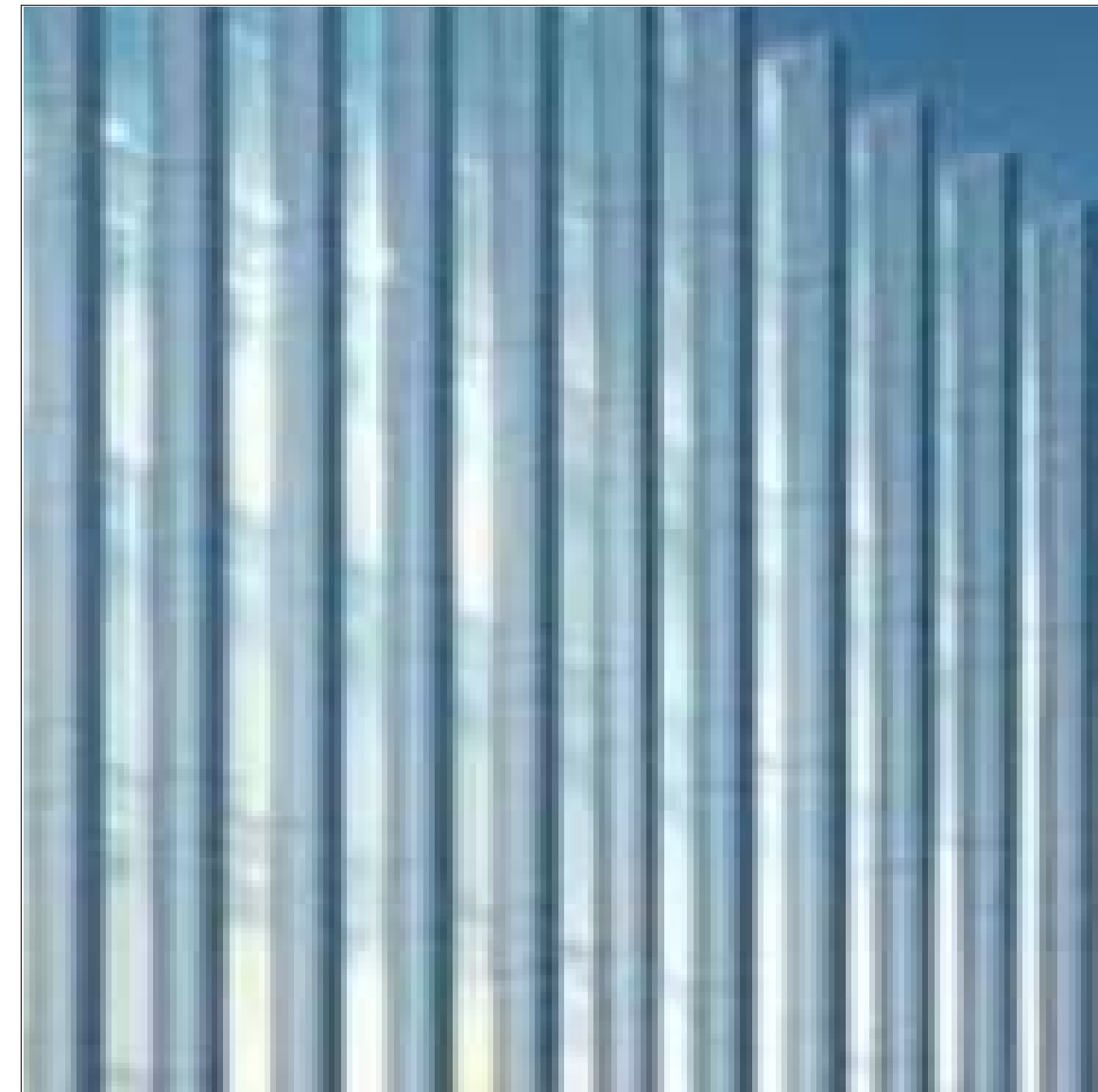
1/16" = 1'-0"



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METAL CHANNEL TRIM



FRITTED GLASS SUNSCREEN



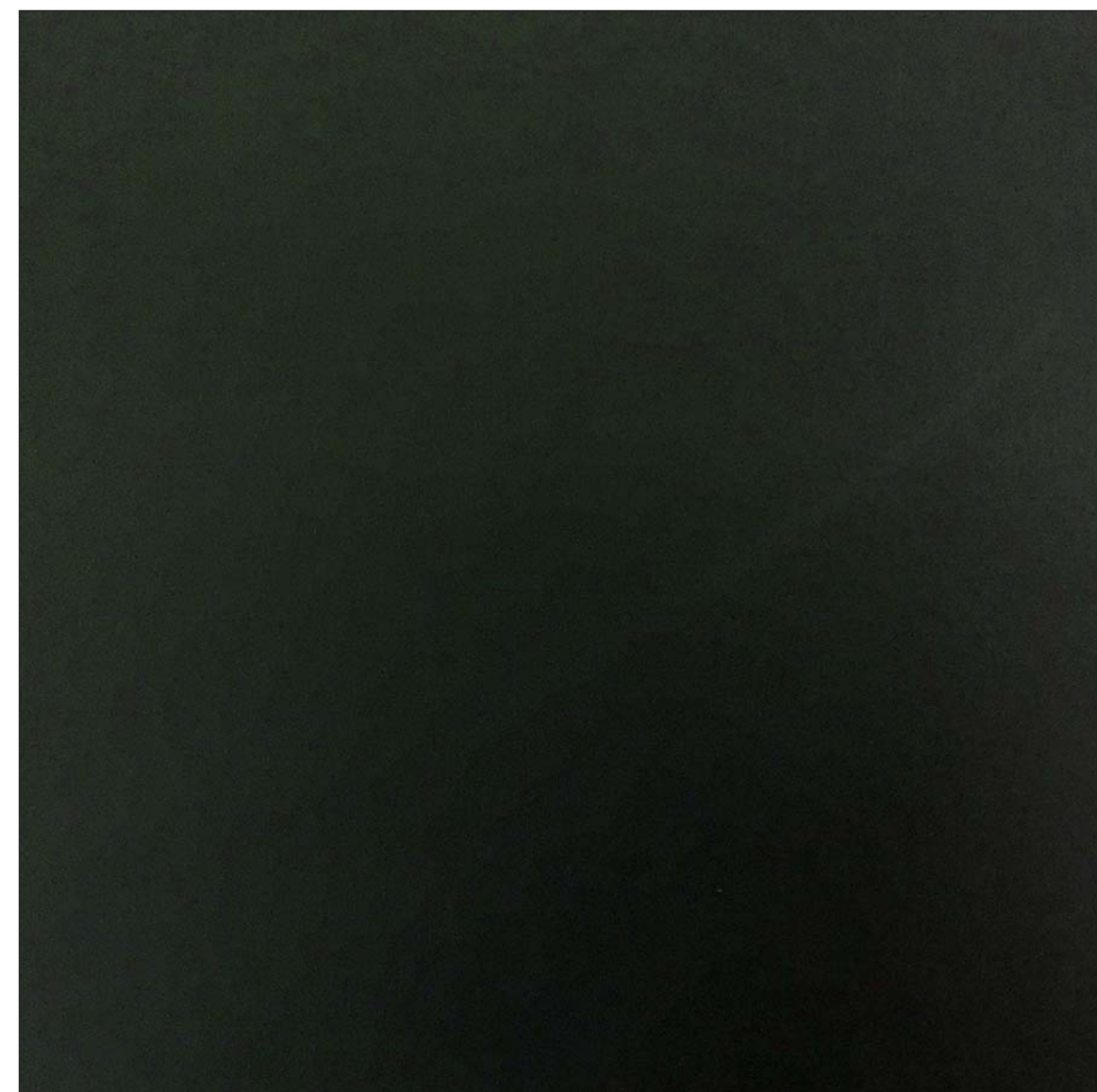
BRICK



DARK WINDOWS



GLASS BALCONY RAIL



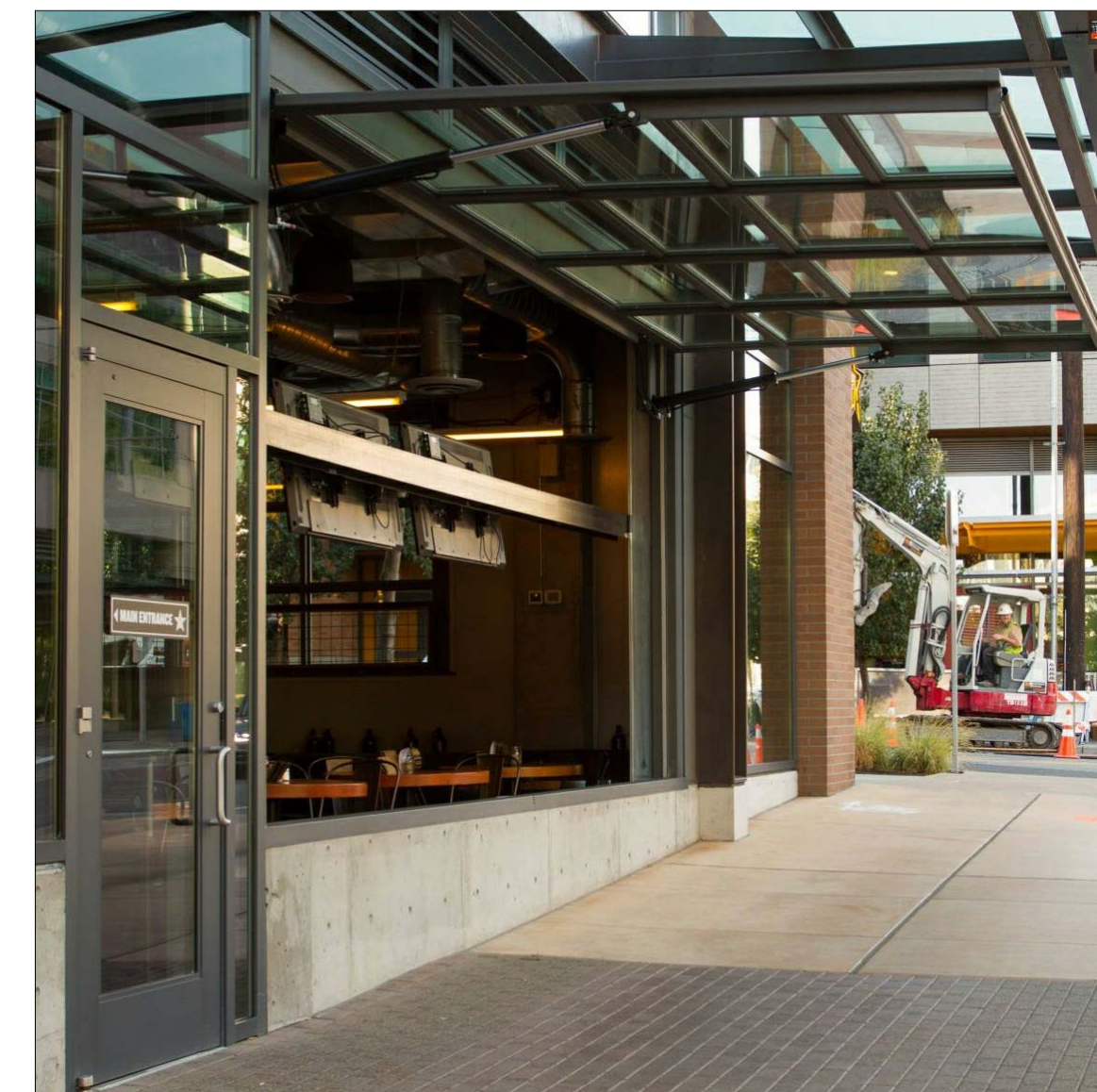
METAL PANEL



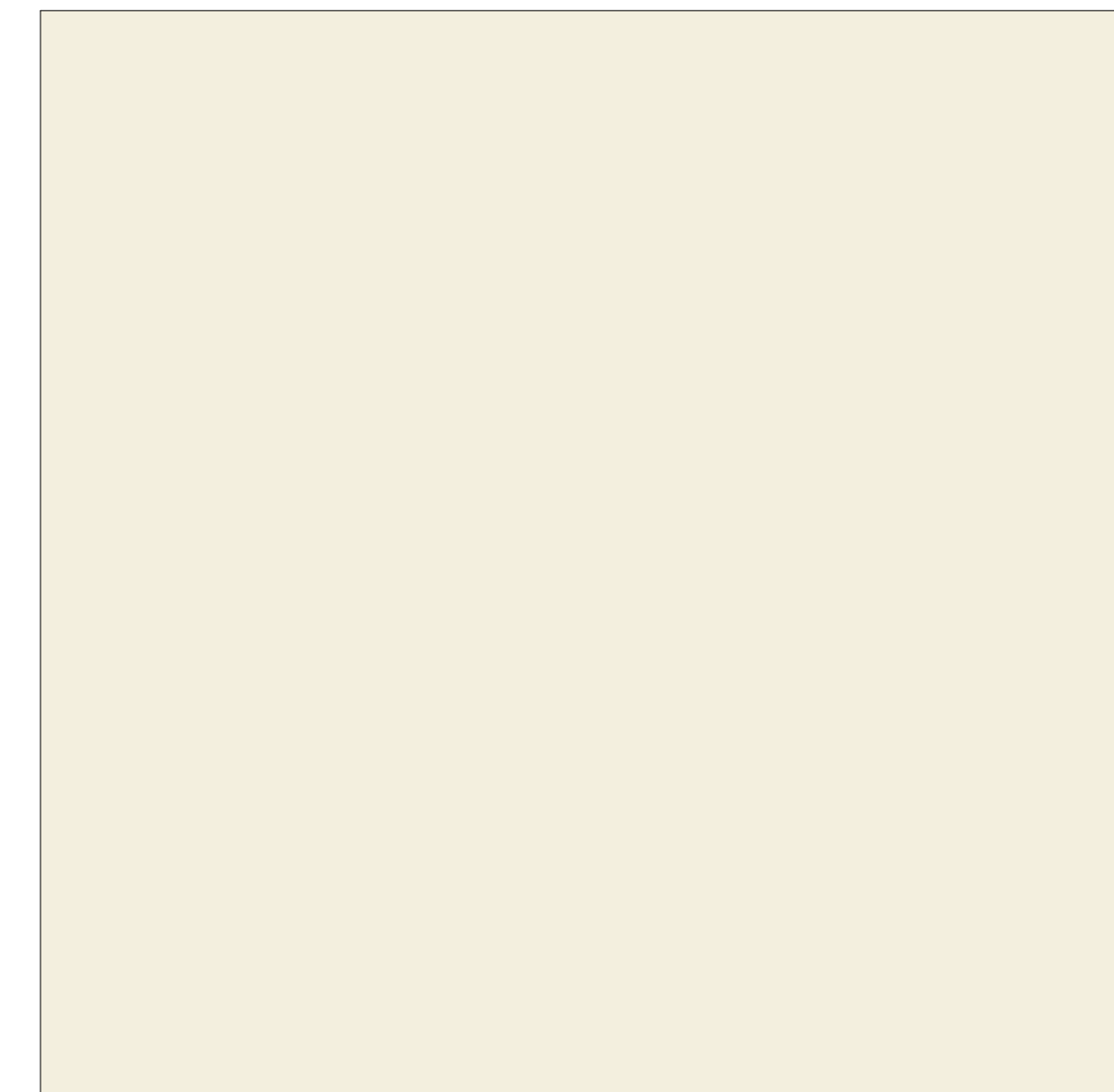
CONCRETE



STOREFRONT



MTL TILT DOOR



STUCCO

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BROADWAY HOTEL
2401 BROADWAY, OAKLAND, CA

PERSPECTIVE VIEW - BROADWAY ENTRY

07.12.17

17001

BARarchitects

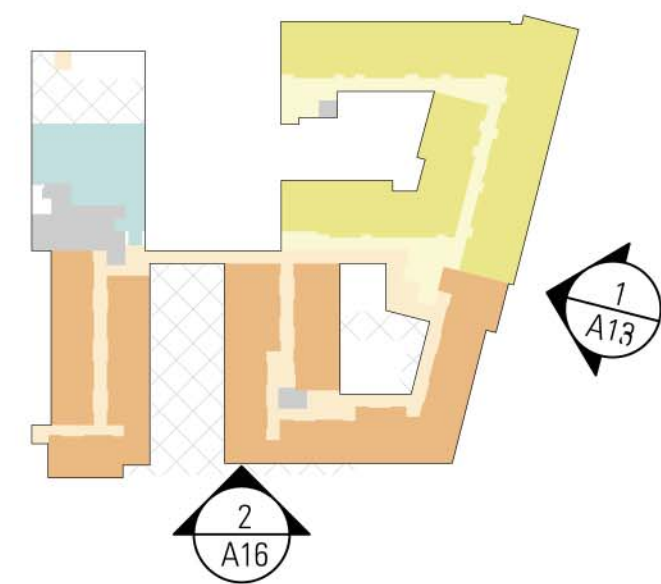
A15



2
A16
EXTERIOR ELEVATION - SOUTH (24TH STREET)
1/16" = 1'-0"



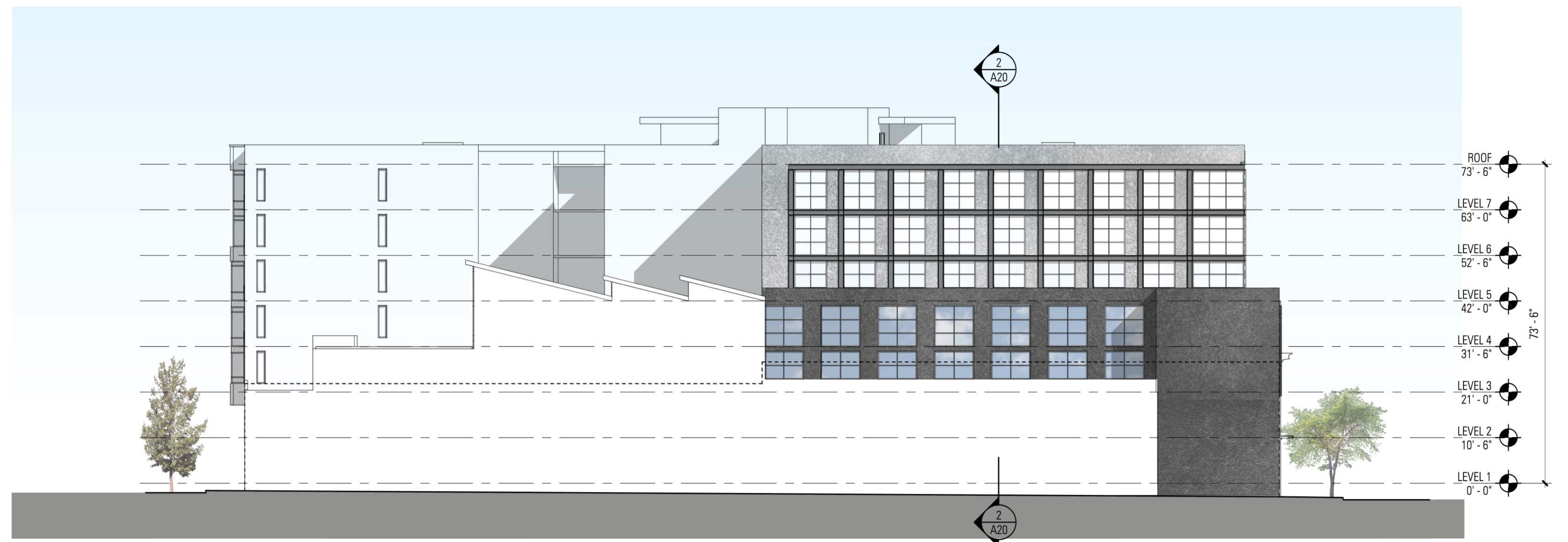
1
A16
EXTERIOR ELEVATION - EAST (BROADWAY)
1/16" = 1'-0"



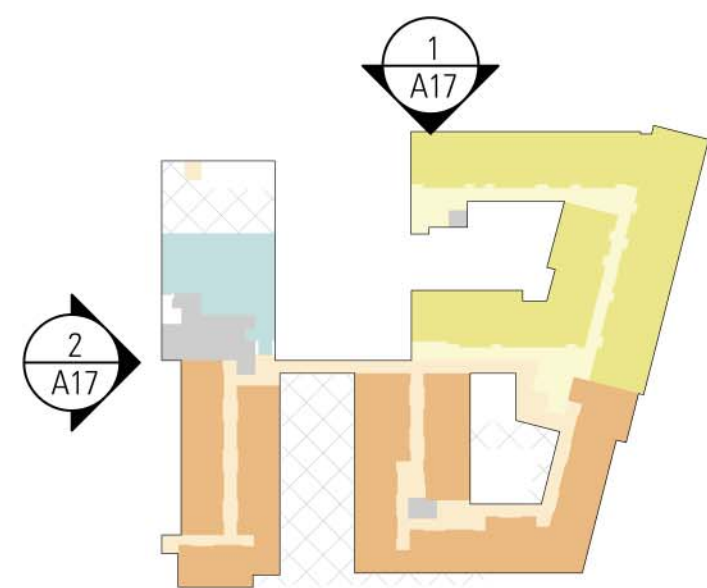
7/12/2017 11:51:32 AM C:\0\REV\17001_2401 Broadway Hotel-CENTRAL_CDCommon.rvt



1
A17
EXTERIOR ELEVATION - NORTH (25TH STREET)
1/16" = 1'-0"

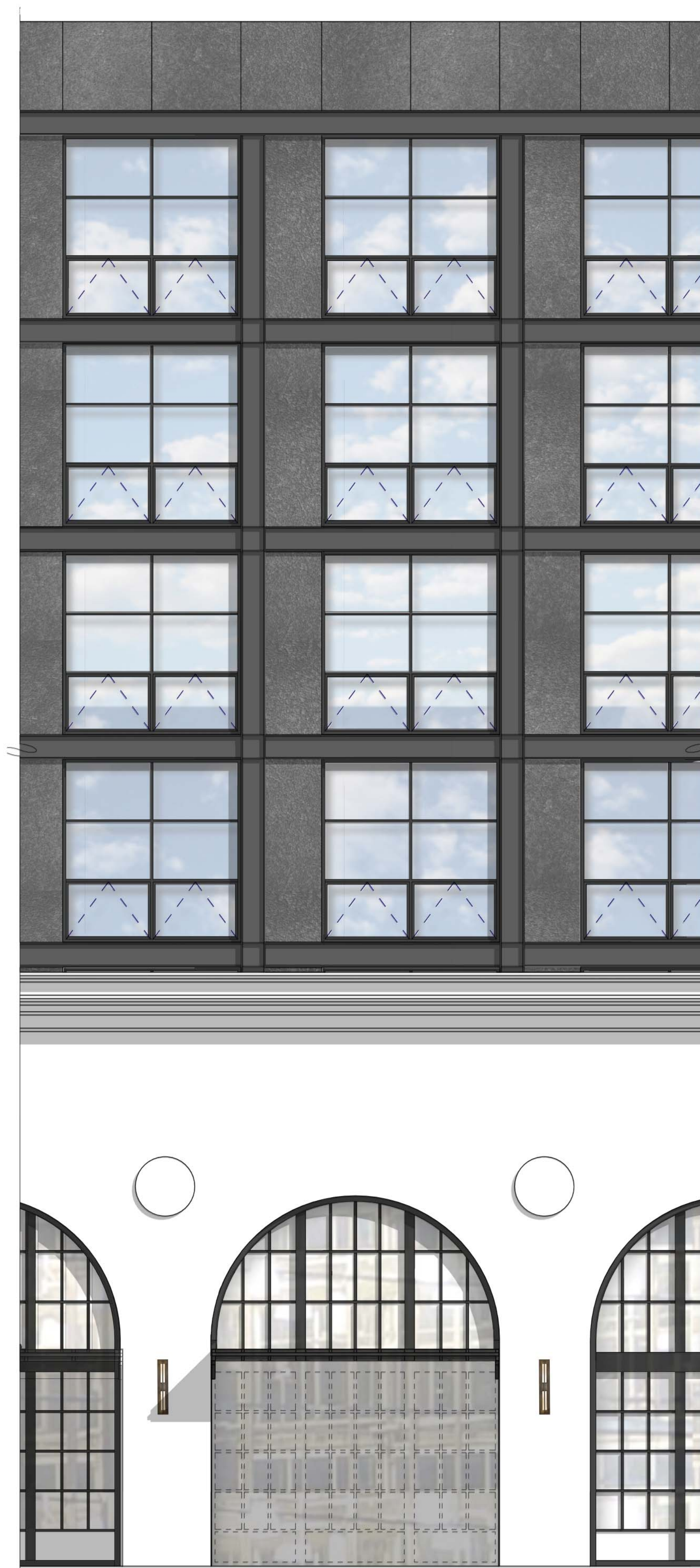
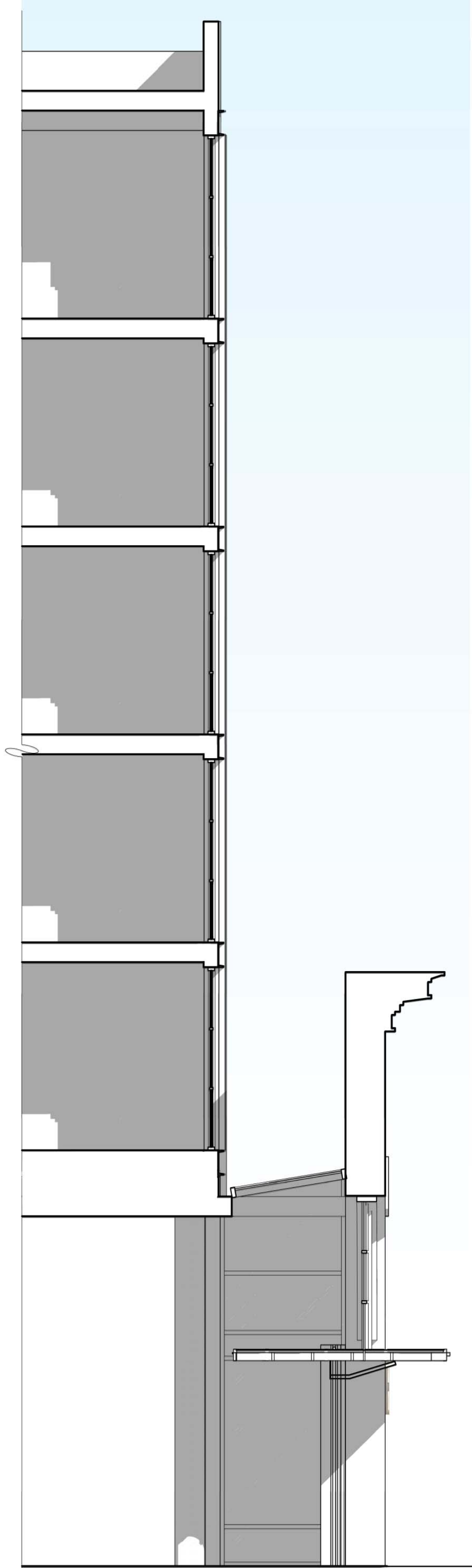


2
A17
EXTERIOR ELEVATION - WEST
1/16" = 1'-0"



5/22/2017 10:05:16 AM C:\0_REV\17001_2401 Broadway Hotel-CENTRAL_COCOMOR.rvt

7/12/2017 12:32:08 PM C:\0_REVIT\17001 2401 Broadway Hotel-CENTRAL_COCommon.rvt



- ROOF
73'-6"
- LEVEL 7
63'-0"
- LEVEL 6
52'-6"
- LEVEL 5
42'-0"
- LEVEL 4
31'-6"
- LEVEL 3
21'-0"
- LEVEL 2
10'-6"
- LEVEL 1
0'-0"

HOTEL WALL SECTION (L)

1/4" = 1'-0"

ENLARGED ELEVATION (R)

1/4" = 1'-0"

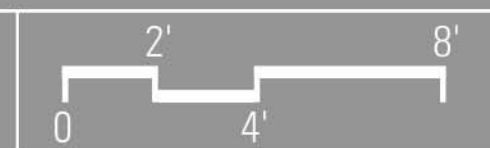
BROADWAY HOTEL
2401 BROADWAY, OAKLAND, CA

ENLARGED SECTION - HOTEL

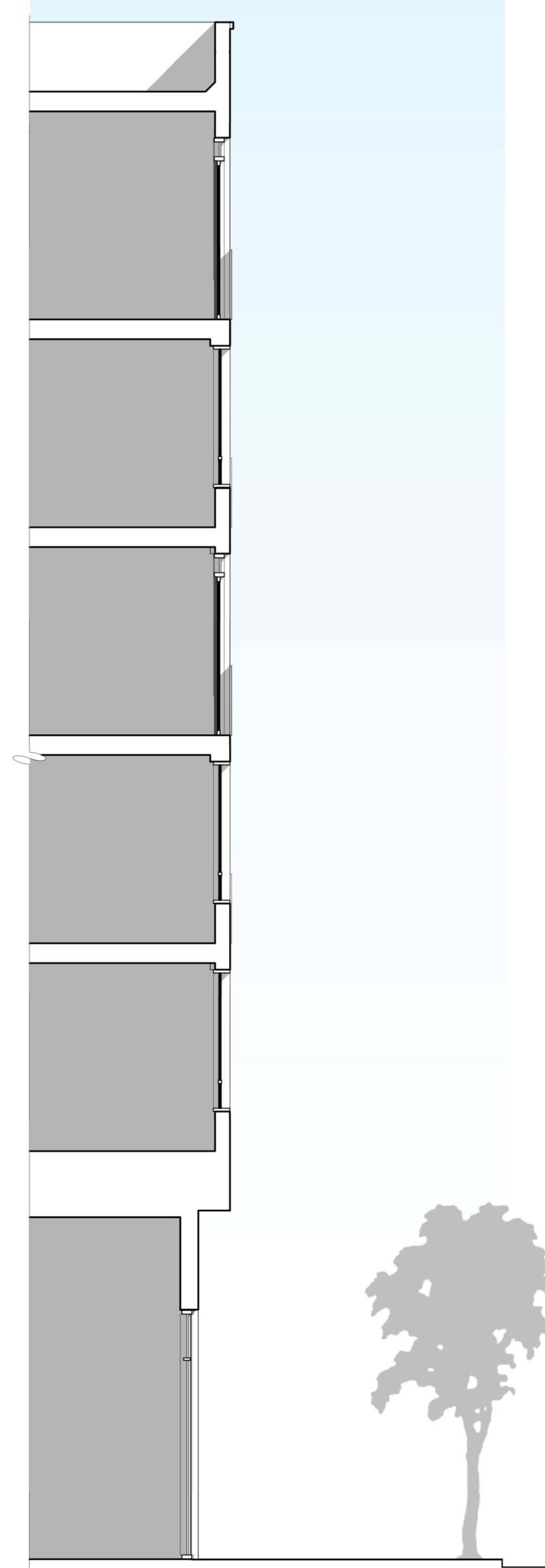
07.12.17

17001

BAR architects



A18



RESIDENTIAL WALL SECTION (L)

1/4" = 1'-0"

ENLARGED ELEVATION (R)

1/4" = 1'-0"



ROOF
73' - 6"

LEVEL 7
63' - 0"

LEVEL 6
52' - 6"

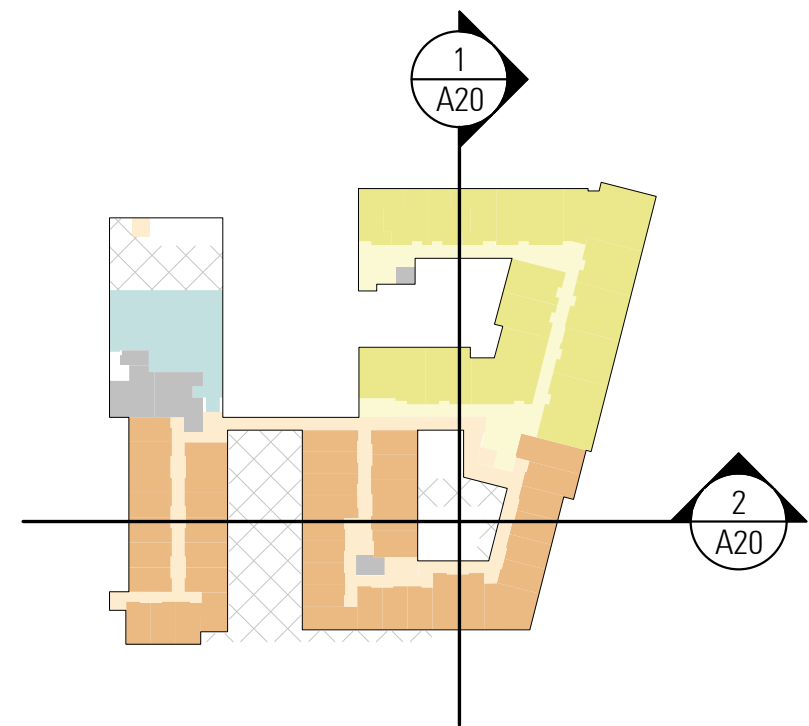
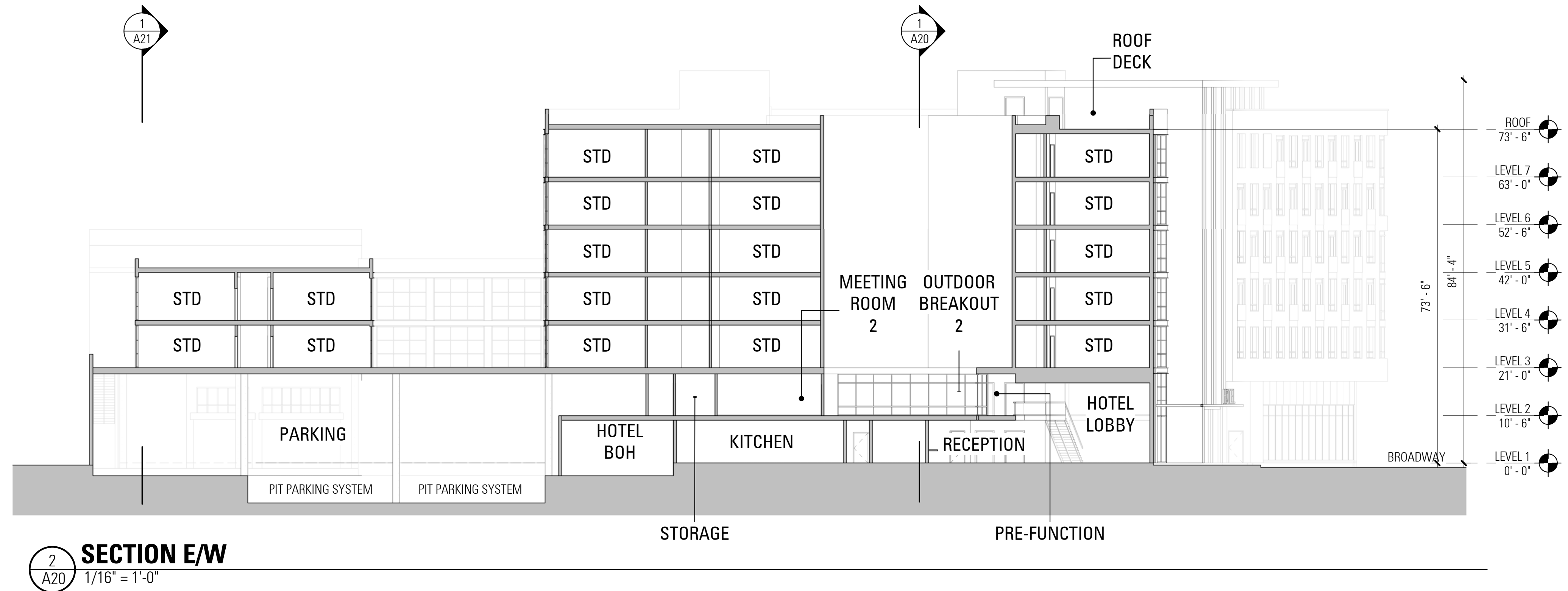
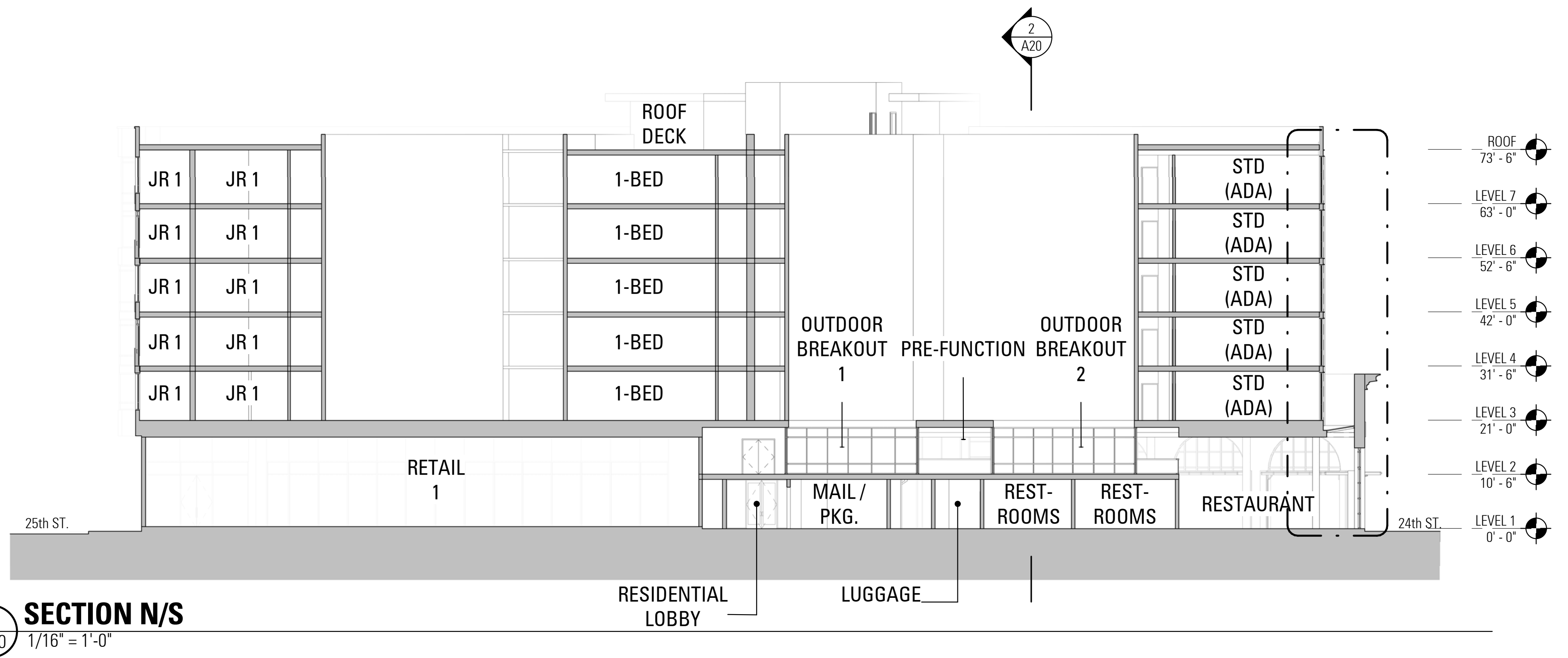
LEVEL 5
42' - 0"

LEVEL 4
31' - 6"

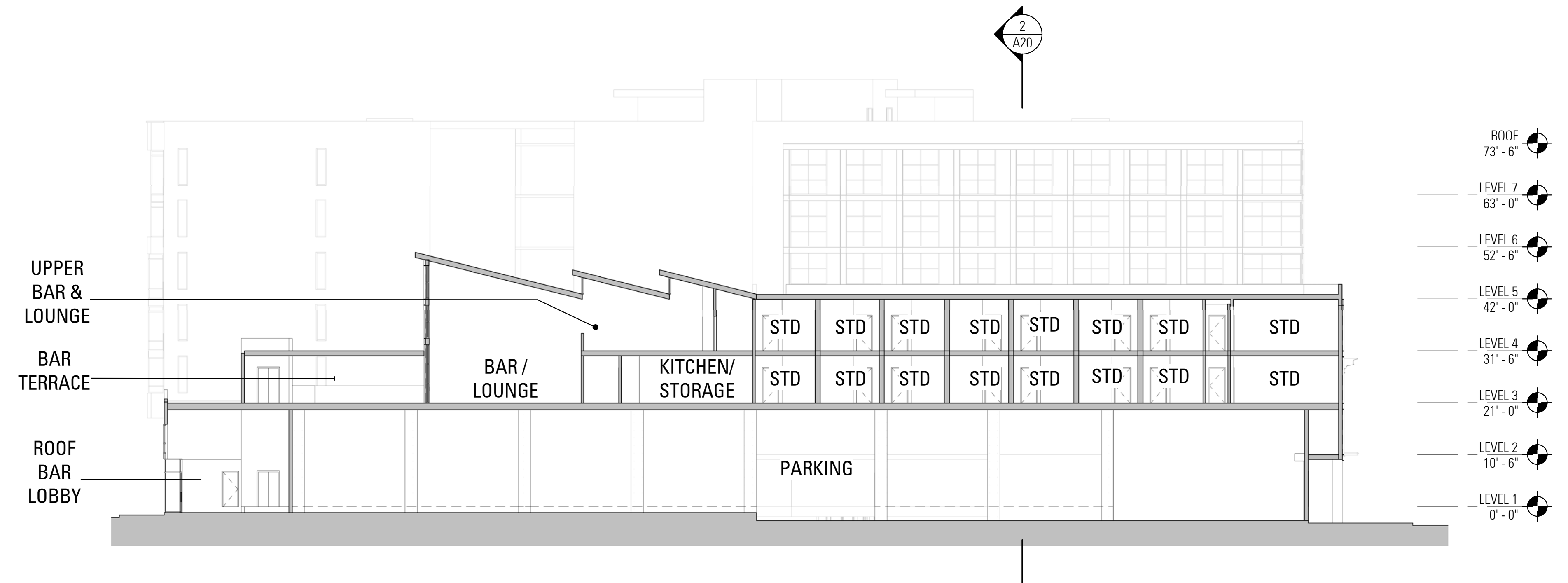
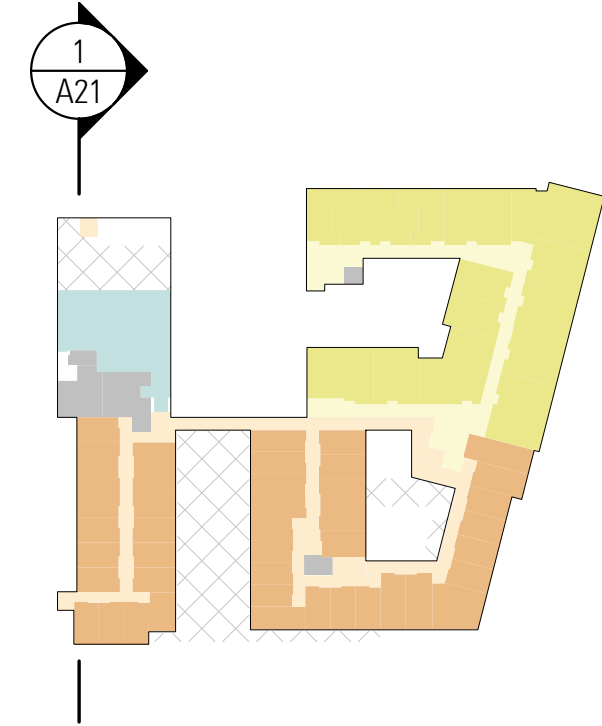
LEVEL 3
21' - 0"

LEVEL 2
10' - 6"

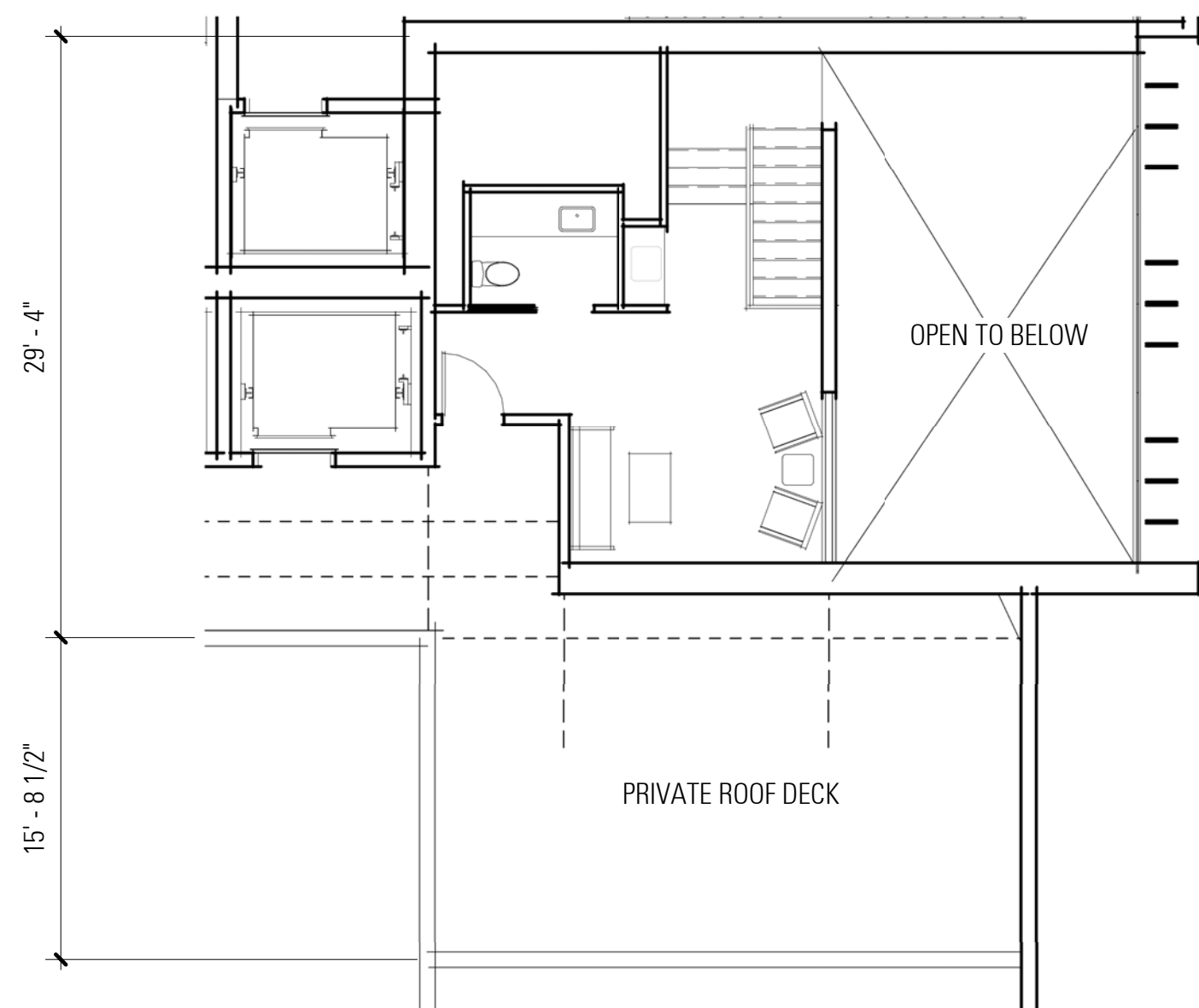
LEVEL 1
0' - 0"



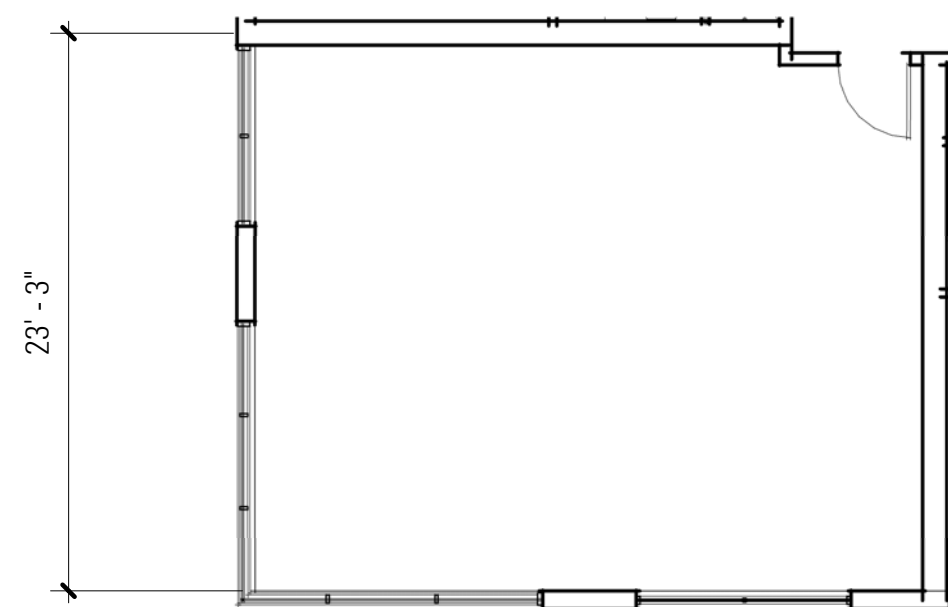
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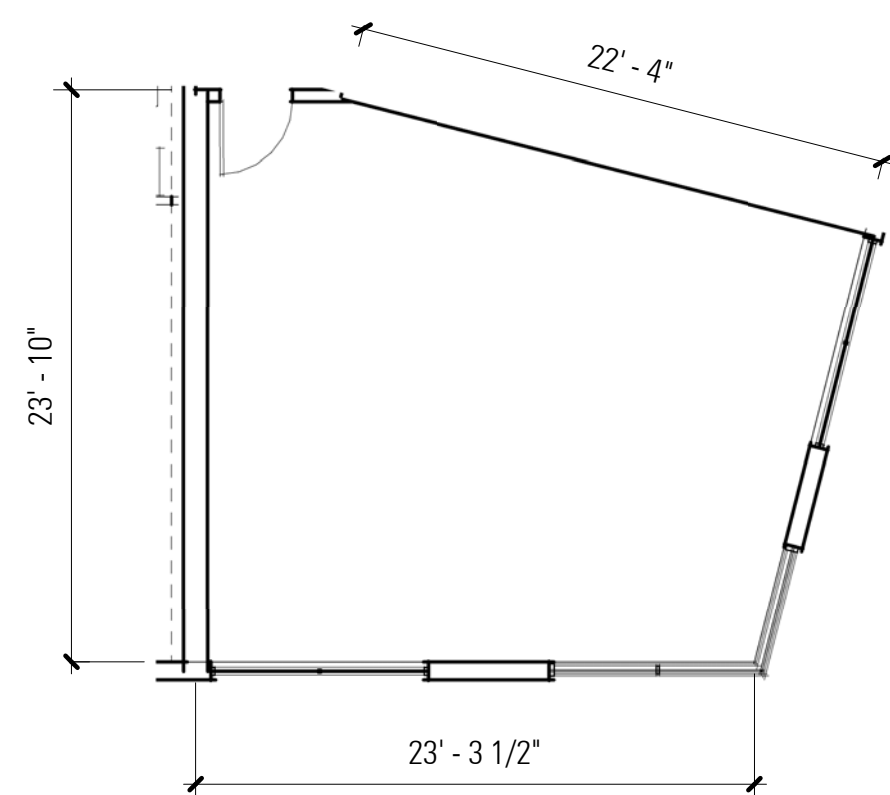
1
A21 SECTION THROUGH ROOF BAR
1/16" = 1'-0"



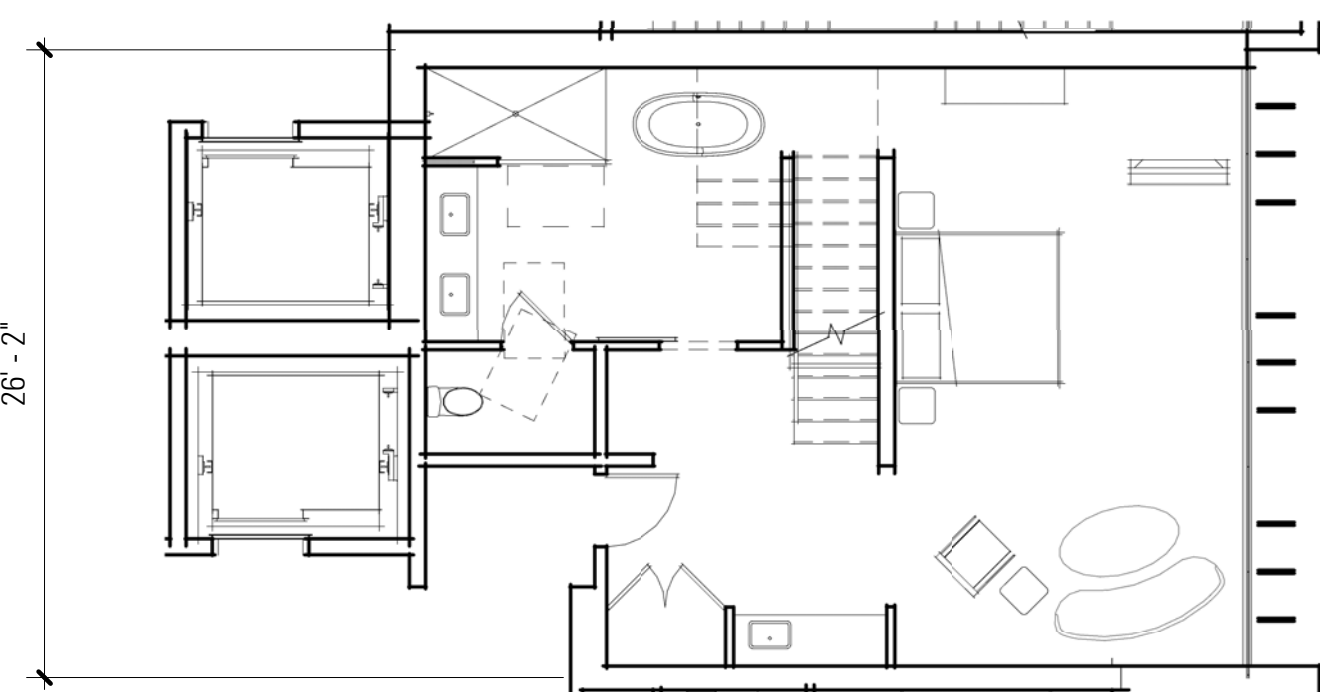
LOFT SUITE - ROOF LEVEL
1/8" = 1'-0"



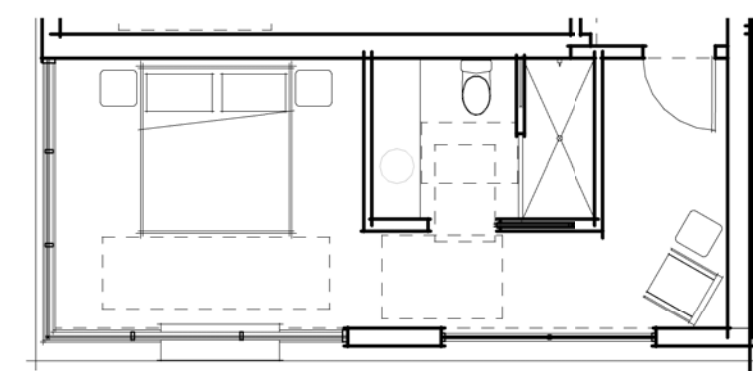
SUITE - SW
1/8" = 1'-0"



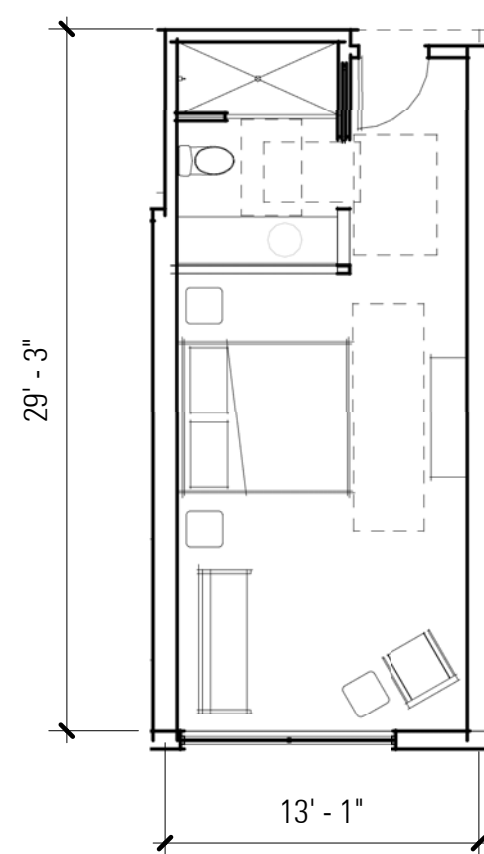
SUITE - SE
1/8" = 1'-0"



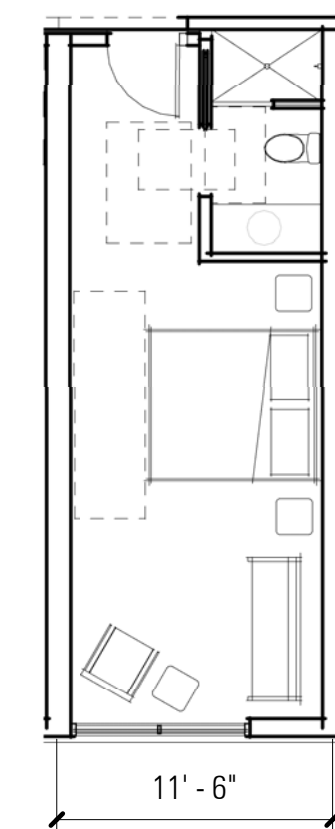
LOFT SUITE - LEVEL 7
1/8" = 1'-0"



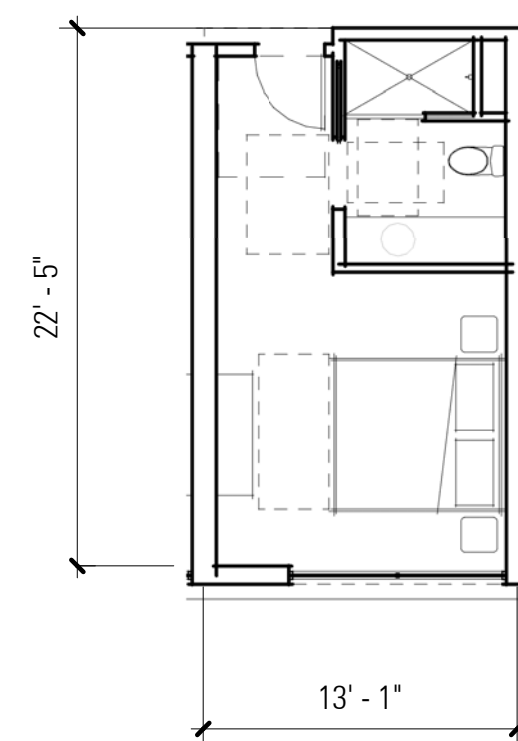
EXECUTIVE KING - SW CORNER
1/8" = 1'-0"



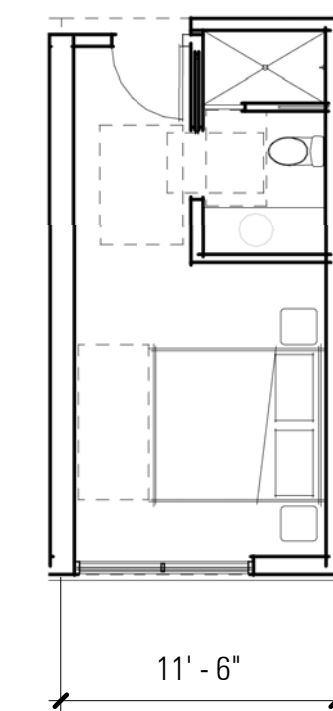
EXECUTIVE KING - 13'-1"
1/8" = 1'-0"



EXECUTIVE KING - 11'-6"
1/8" = 1'-0"



STANDARD KING - 13'-1"
1/8" = 1'-0"

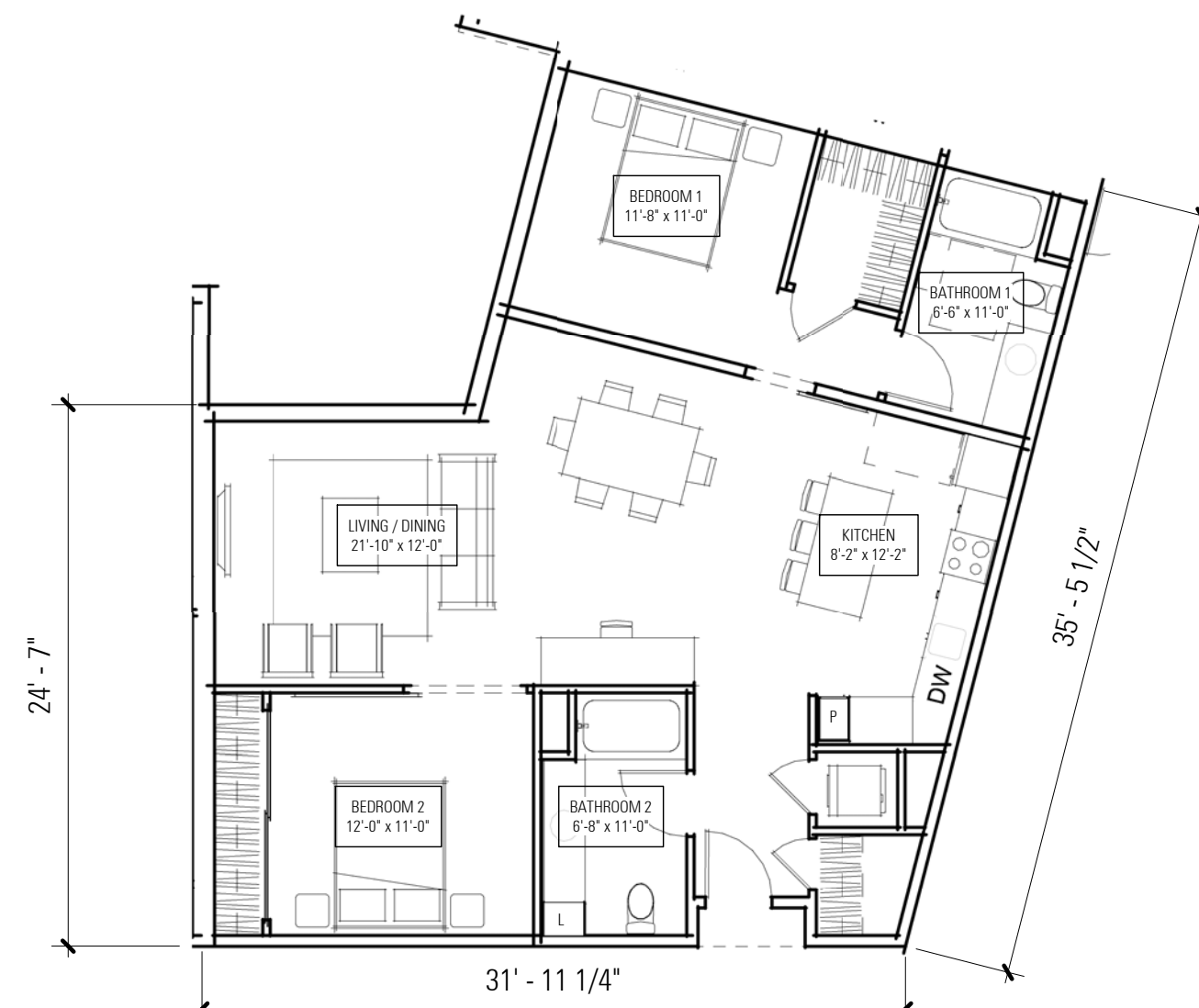


STANDARD KING - 11'-6"
1/8" = 1'-0"

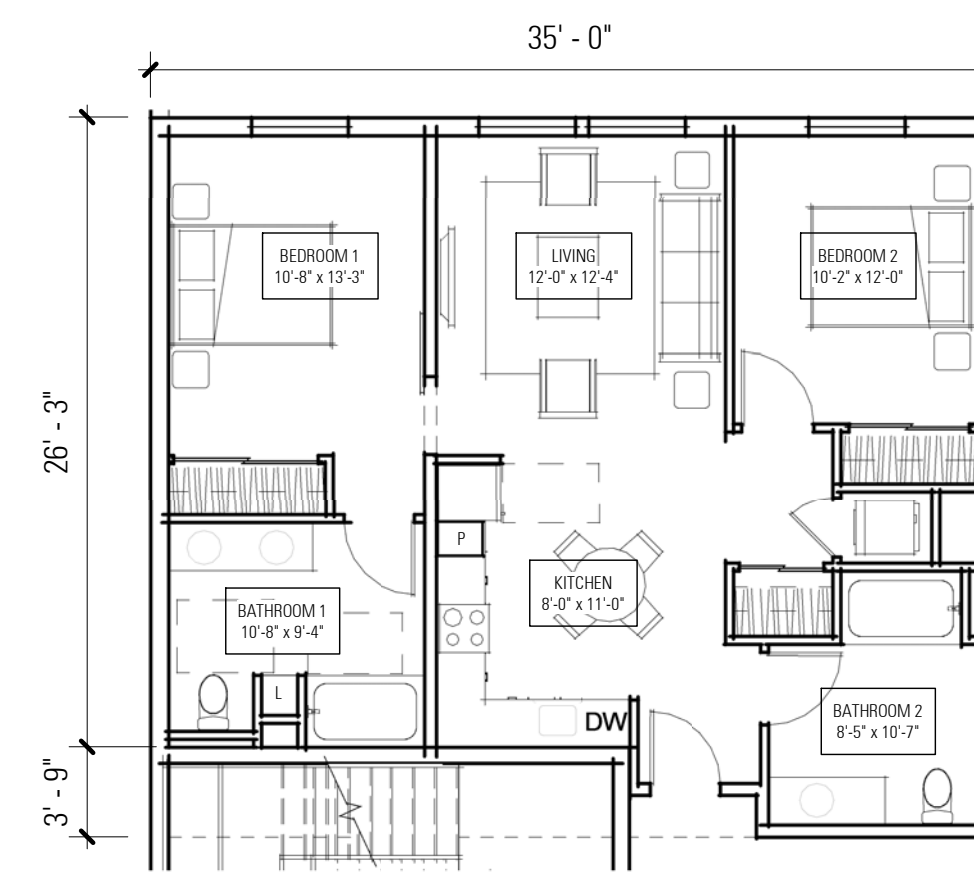
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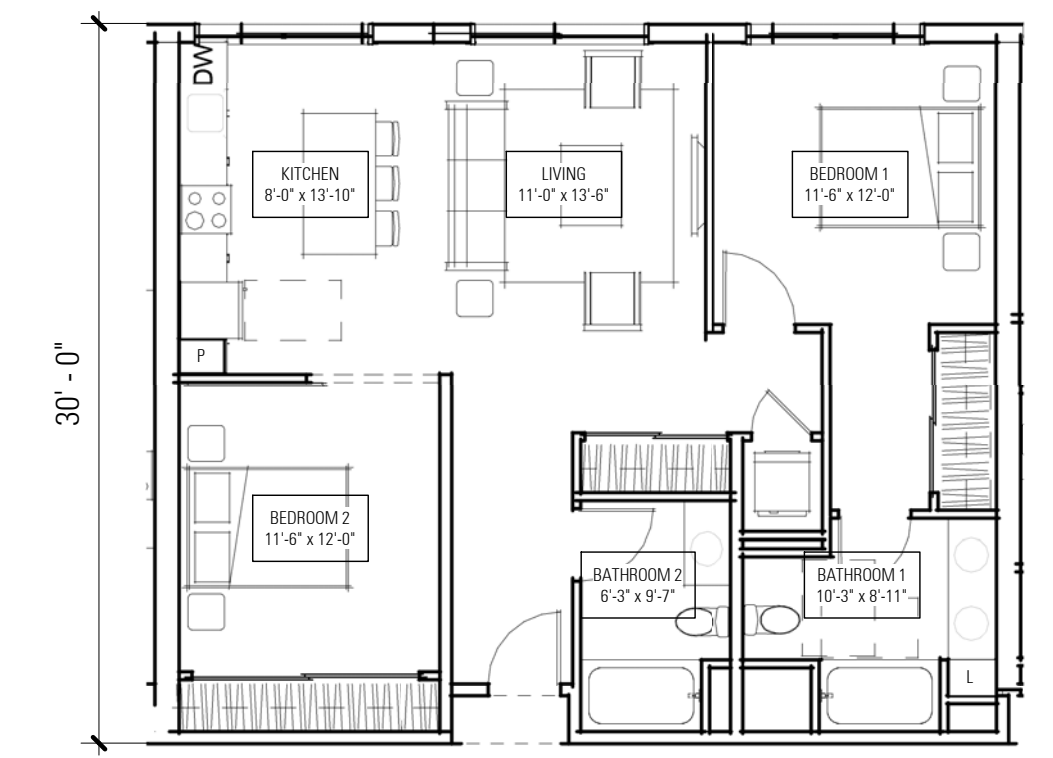
UNIT D1
1/8" = 1'-0"



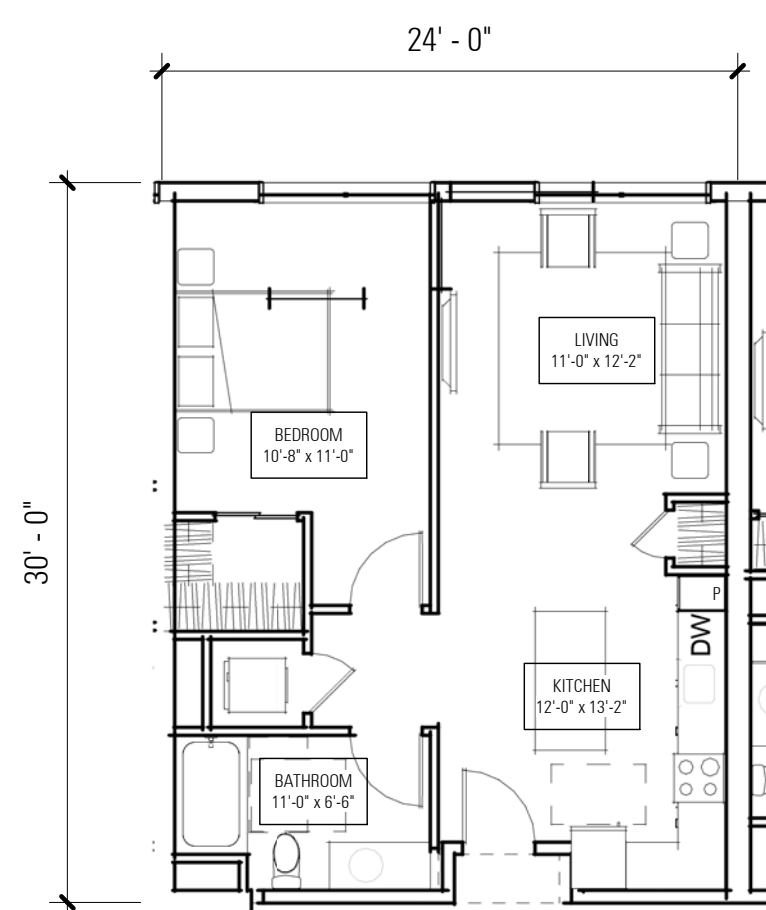
UNIT C3
1/8" = 1'-0"



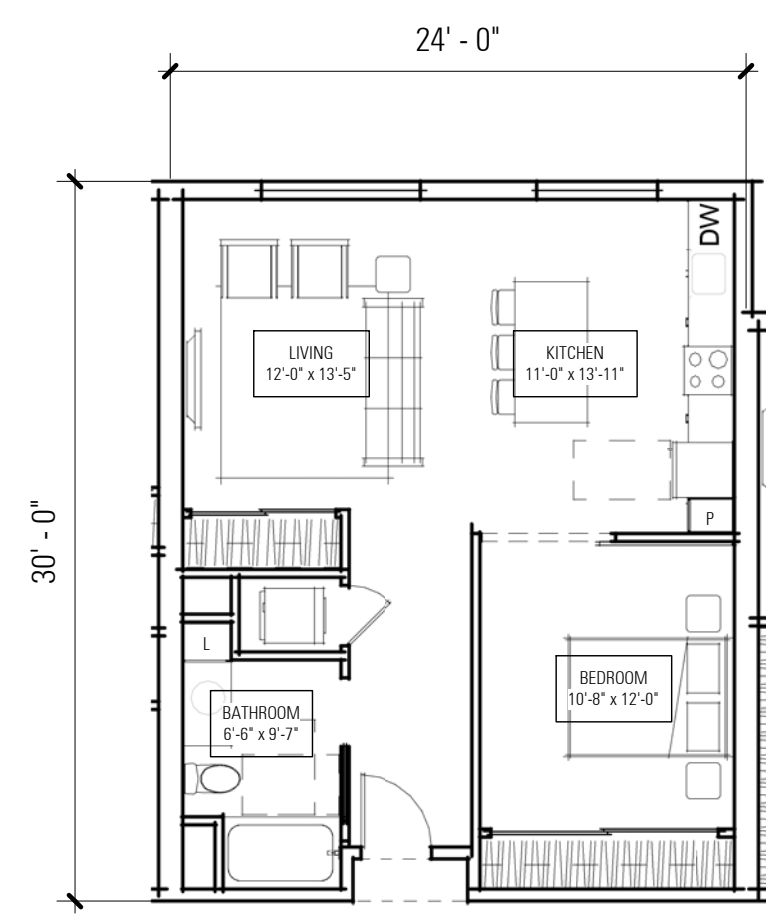
UNIT C2
1/8" = 1'-0"



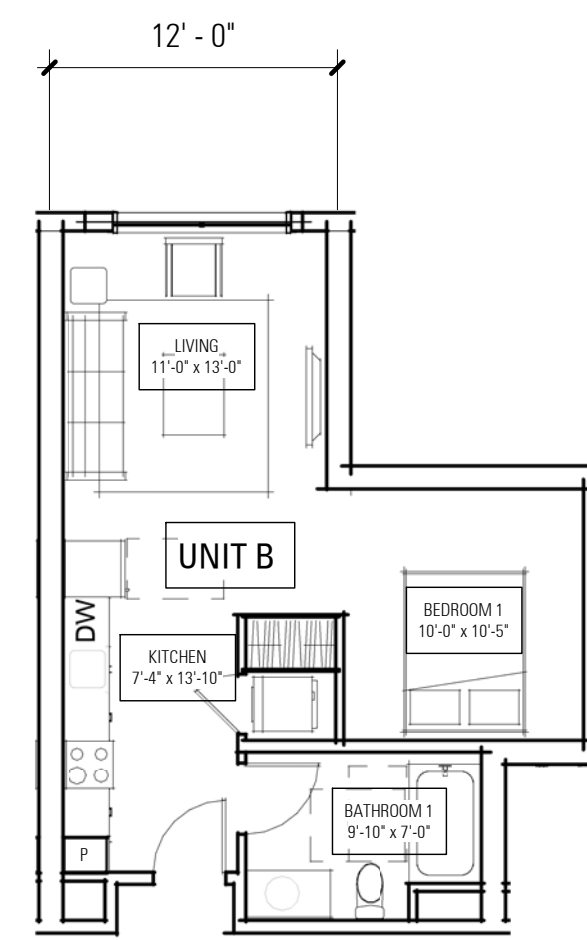
UNIT C1
1/8" = 1'-0"



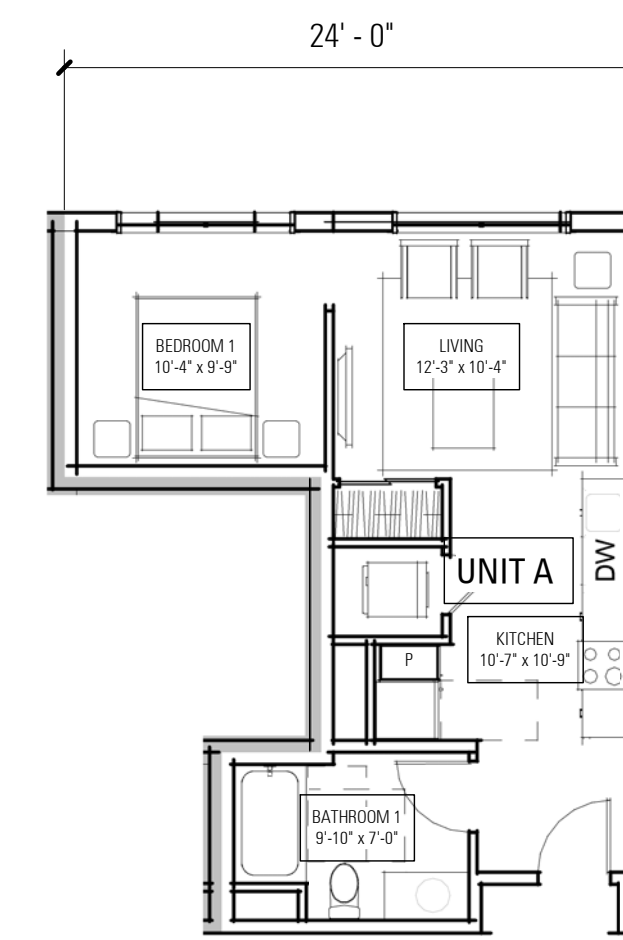
UNIT B2
1/8" = 1'-0"



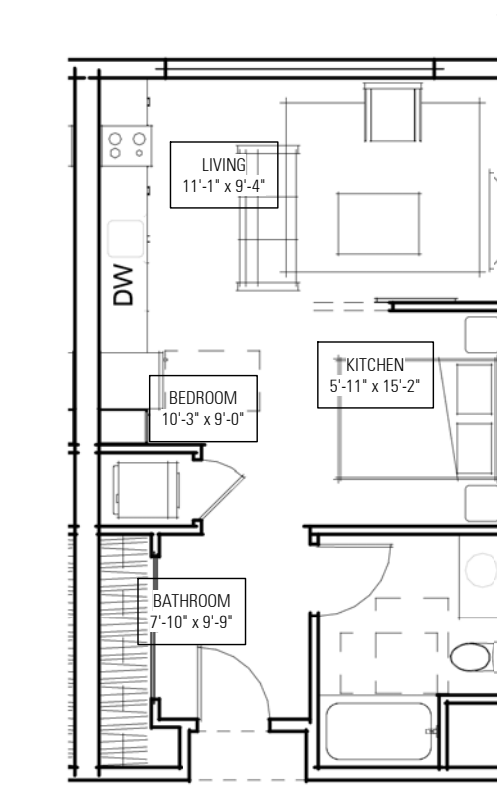
UNIT B1
1/8" = 1'-0"



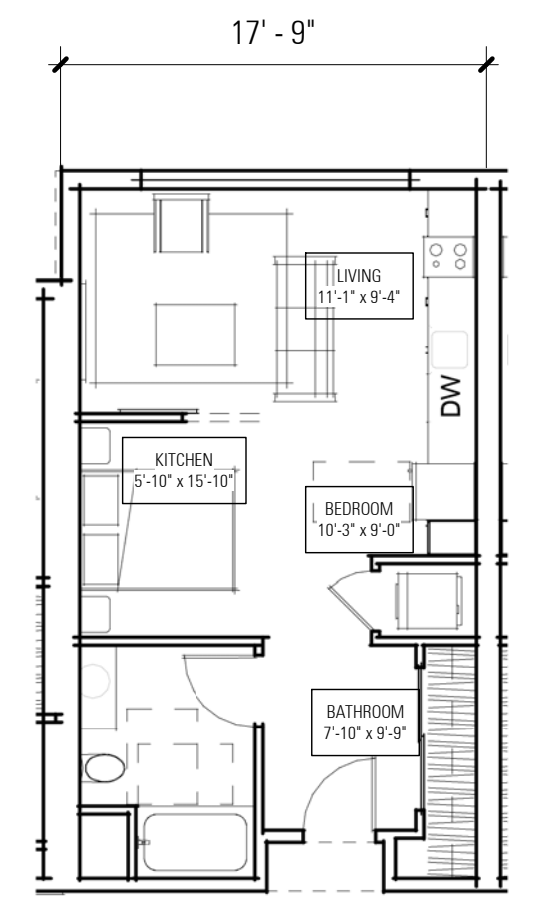
UNIT A3.2
1/8" = 1'-0"



UNIT A3.1
1/8" = 1'-0"



UNIT A2
1/8" = 1'-0"



UNIT A1
1/8" = 1'-0"

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LEED v4 for BD+C: New Construction and Major Renovation
Project Checklist

Project Name:
Date:

Y ? N

			Credit	Integrative Process	1
--	--	--	--------	---------------------	---

13	0	0	Location and Transportation		16
			Credit	LEED for Neighborhood Development Location	16
1			Credit	Sensitive Land Protection	1
1			Credit	High Priority Site	2
5			Credit	Surrounding Density and Diverse Uses	5
5			Credit	Access to Quality Transit	5
1			Credit	Bicycle Facilities	1
			Credit	Reduced Parking Footprint	1
			Credit	Green Vehicles	1

6	0	0	Sustainable Sites		10
Y			Prereq	Construction Activity Pollution Prevention	Required
1			Credit	Site Assessment	1
			Credit	Site Development - Protect or Restore Habitat	2
			Credit	Open Space	1
3			Credit	Rainwater Management	3
2			Credit	Heat Island Reduction	2
			Credit	Light Pollution Reduction	1

7	0	0	Water Efficiency		11
Y			Prereq	Outdoor Water Use Reduction	Required
Y			Prereq	Indoor Water Use Reduction	Required
Y			Prereq	Building-Level Water Metering	Required
2			Credit	Outdoor Water Use Reduction	2
4			Credit	Indoor Water Use Reduction	6
			Credit	Cooling Tower Water Use	2
1			Credit	Water Metering	1

6	0	0	Energy and Atmosphere		33
Y			Prereq	Fundamental Commissioning and Verification	Required
Y			Prereq	Minimum Energy Performance	Required
Y			Prereq	Building-Level Energy Metering	Required
Y			Prereq	Fundamental Refrigerant Management	Required
			Credit	Enhanced Commissioning	6
			Credit	Optimize Energy Performance	18
5			Credit	Advanced Energy Metering	1
			Credit	Demand Response	2
			Credit	Renewable Energy Production	3
1			Credit	Enhanced Refrigerant Management	1
			Credit	Green Power and Carbon Offsets	2

2	0	0	Materials and Resources		13
Y			Prereq	Storage and Collection of Recyclables	Required
Y			Prereq	Construction and Demolition Waste Management Planning	Required
			Credit	Building Life-Cycle Impact Reduction	5
			Credit	Building Product Disclosure and Optimization - Environmental Product Declarations	2
			Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
			Credit	Building Product Disclosure and Optimization - Material Ingredients	2
2			Credit	Construction and Demolition Waste Management	2

5	0	0	Indoor Environmental Quality		16
Y			Prereq	Minimum Indoor Air Quality Performance	Required
Y			Prereq	Environmental Tobacco Smoke Control	Required
			Credit	Enhanced Indoor Air Quality Strategies	2
3			Credit	Low-Emitting Materials	3
1			Credit	Construction Indoor Air Quality Management Plan	1
			Credit	Indoor Air Quality Assessment	2
1			Credit	Thermal Comfort	1
			Credit	Interior Lighting	2
			Credit	Daylight	3
			Credit	Quality Views	1
			Credit	Acoustic Performance	1

1	0	0	Innovation		6
			Credit	Innovation	5
1			Credit	LEED Accredited Professional	1

0	0	0	Regional Priority		4
			Credit	Regional Priority: Specific Credit	1
			Credit	Regional Priority: Specific Credit	1
			Credit	Regional Priority: Specific Credit	1
			Credit	Regional Priority: Specific Credit	1

40	0	0	TOTALS		Possible Points: 110
Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110					

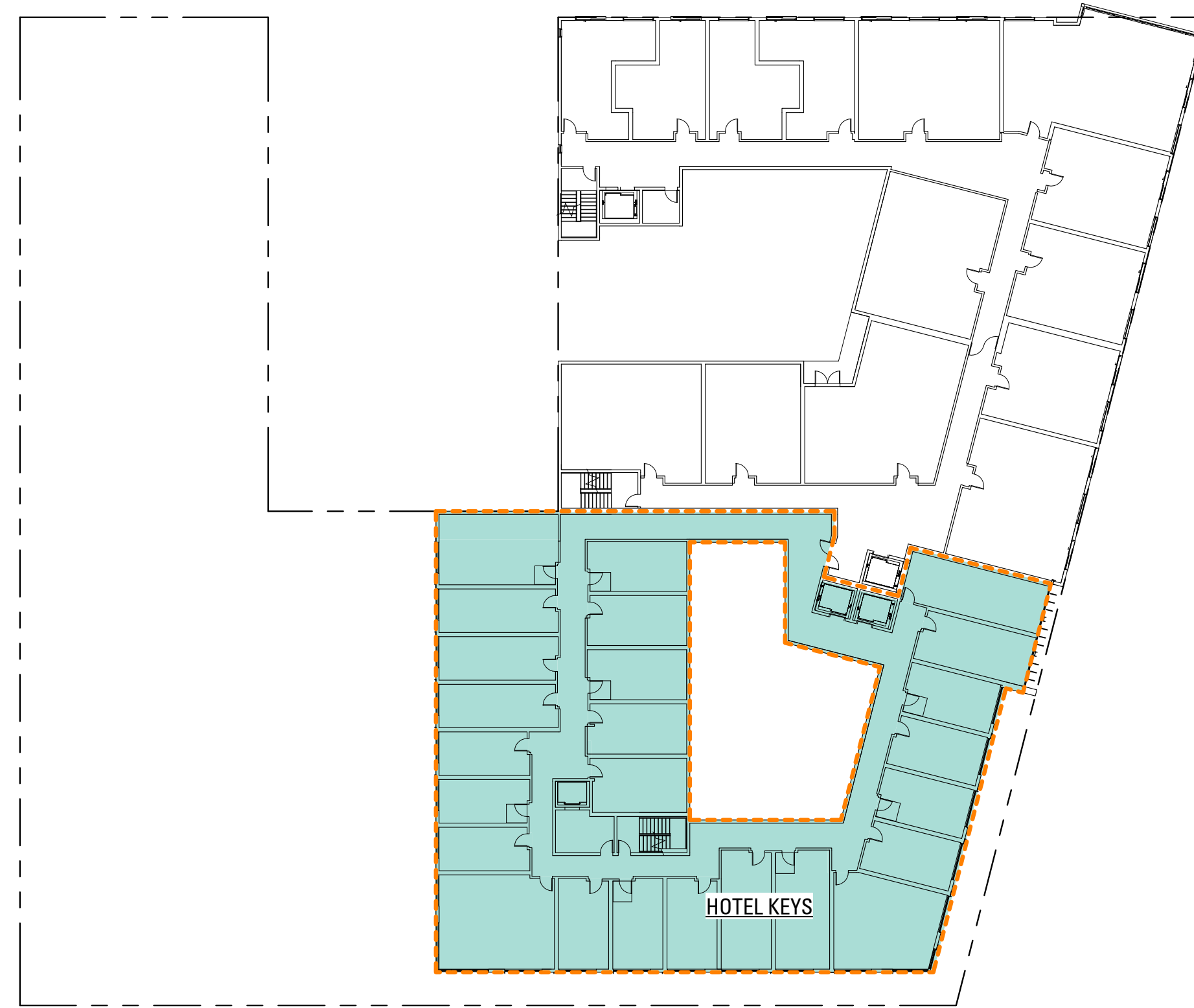
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ROOF - PARKING ANALYSIS

1" = 30'-0"

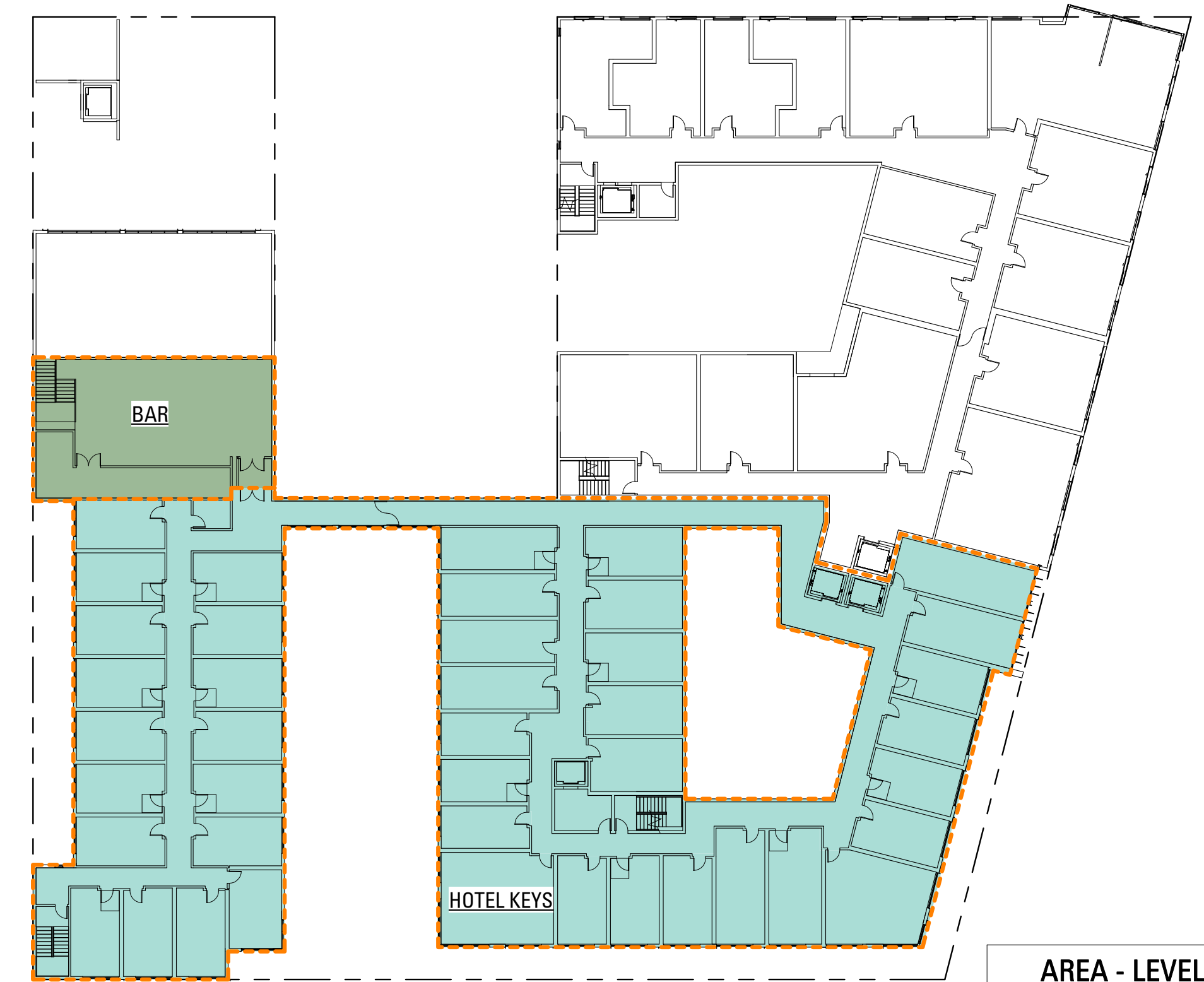
AREA - ROOF	
HOTEL	557 SF
ROOF TOTAL	557 SF



LEVELS 5-7 - PARKING ANALYSIS

1" = 30'-0"

AREA - LEVEL 5 (6, 7 SIM.)	
HOTEL	11,982 SF
LEVEL 5 - 7 TYPICAL	11,982 SF
LEVELS 5-7 TOTAL =	35,946 SF



LEVEL 4 - PARKING ANALYSIS

1" = 30'-0"

AREA - LEVEL 4	
BAR	2,031 SF
HOTEL	18,707 SF
LEVEL 4 TOTAL	20,738 SF



LEVEL 3 - PARKING ANALYSIS

1" = 30'-0"

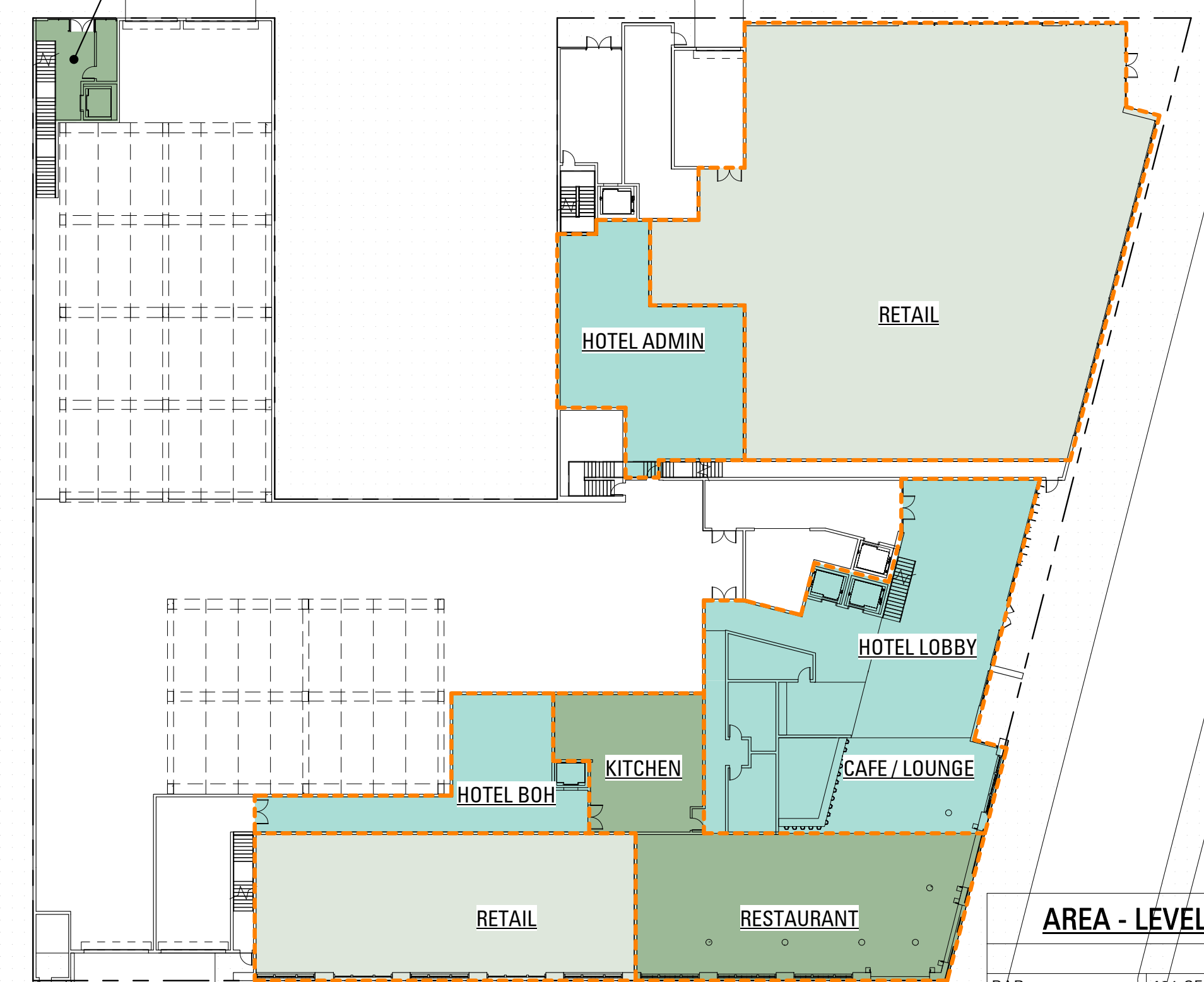
AREA - LEVEL 3	
BAR	4,030 SF
HOTEL	18,716 SF
LEVEL 3 TOTAL	22,746 SF



LEVEL 2 - PARKING ANALYSIS

1" = 30'-0"

AREA - LEVEL 2	
HOTEL	11,448 SF
LEVEL 2 TOTAL	11,448 SF
TO BE INCLUDED AS MEZZANINE FOR PARKING COUNTS	

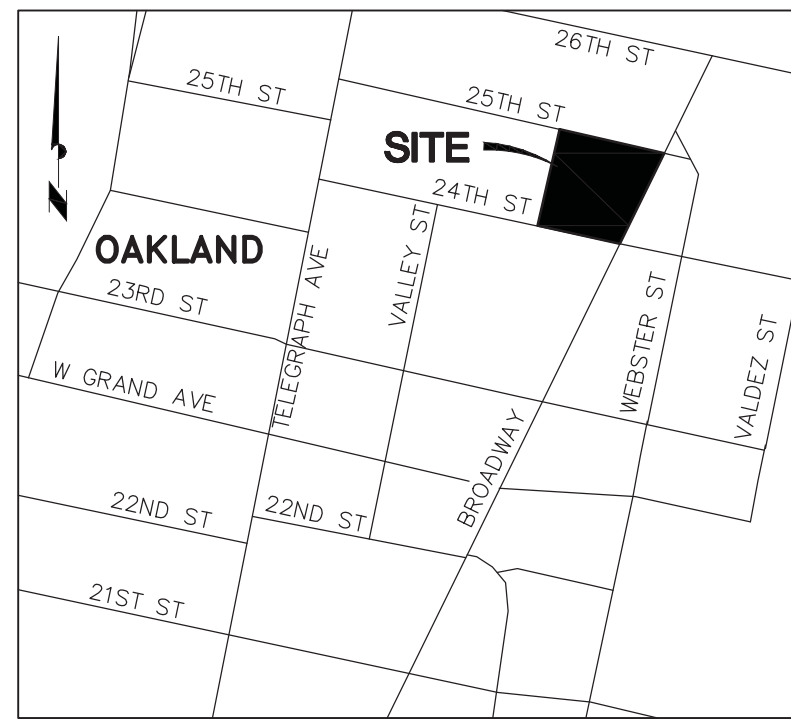


LEVEL 1 - PARKING ANALYSIS

1" = 30'-0"

AREA - LEVEL 1	
BAR	401 SF
CAFE	1,285 SF
HOTEL	7,801 SF
RESTAURANT	4,806 SF
RETAIL	14,616 SF
LEVEL 1 TOTAL	28,909 SF

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VICINITY MAP
NOT TO SCALE

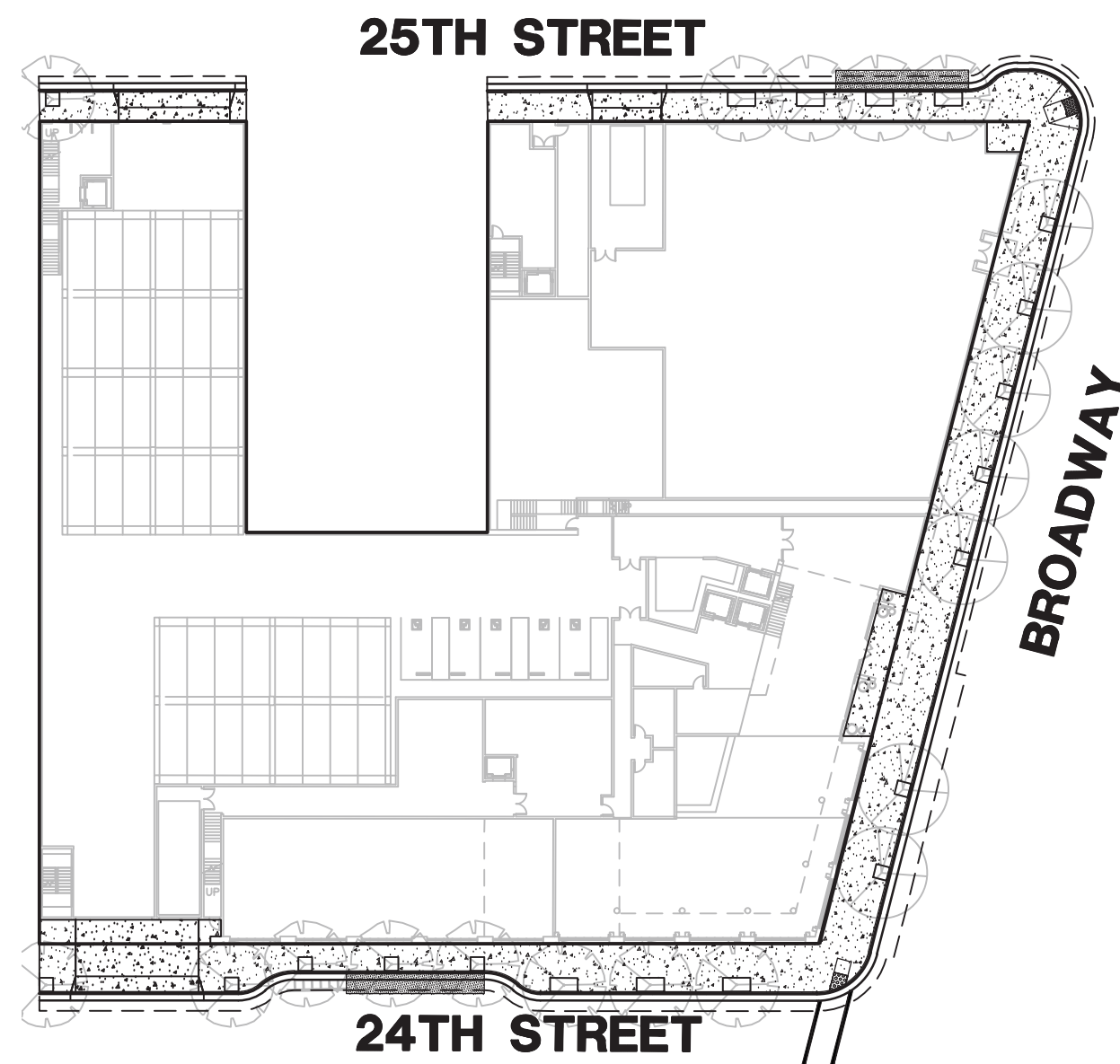
ABBREVIATIONS

AB	AGGREGATE BASE	L	LEFT
AC	ASPHALT CONCRETE	LE	LANDSCAPE EASEMENT
AD	AREA DRAIN	LF	LINEAL FEET
AP	ANGLE POINT	LIP	LIP OF GUTTER
ARV	AIR RELEASE VALVE	LP	LOW POINT
BC	BEGINNING OF CURVE	MAX	MAXIMUM
BFP	BACKFLOW PREVENTER	MEP	MECHANICAL, ELECTRICAL, PLUMBING
BOV	BLOW-OFF VALVE	MIN	MINIMUM
BOW	BACK OF WALK	MON	MONUMENT
BW	BOTTOM OF WALL	(N)	NORTH
BVC	BEGINNING OF VERTICAL CURVE	NEC.	NECESSARY
C&G	CURB & GUTTER	OC	ON CENTER
CB	CATCH BASIN	PCC	POINT OF COMPOUND CURVE
CTV	CABLE TELEVISION	PG	PAVEMENT GRADE
CL	CENTERLINE	PL	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	POC	POINT OF CONNECTION
CO	CLEANOUT	PR	PEDESTRIAN RAMP
CONC	CONCRETE	PSDE	PRIVATE STORM DRAIN EASEMENT
CONF.	CONFORM TO	PUE	PUBLIC UTILITY EASEMENT
CONST	CONSTRUCT	PVC	POLYVINYL CHLORIDE
COTG	CLEANOUT TO GRADE	R	RIGHT
CR	CURB RETURN	(R)	RADIAL
D/W	DRIVEWAY	RCP	REINFORCED CONCRETE PIPE
DIA	DIAMETER	REC	RECORD INFORMATION
DR	DRIVE	RD	ROAD
DTL	DETAIL	RL	RESTRAIN LENGTH
DWG	DRAWING	R/W	RIGHT OF WAY
(E)	EAST	(S)	SOUTH
EC	END OF CURVE	SBL	SETBACK LINE
EG	EXISTING GRADE	SD	STORM DRAIN
ELEC	ELECTRICAL	SDHW	STORM DRAIN HEADWALL
EP	EDGE OF PAVEMENT	SDMH	STORM DRAIN MANHOLE
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SF	SQUARE FEET
EVC	END OF VERTICAL CURVE	SHT	SHEET
EX	EXISTING	S-LAT	SANITARY SEWER LATERAL
(F)	FUTURE	SS	SANITARY SEWER
FC	FACE OF CURB	SSMH	SANITARY SEWER MANHOLE
FDC	FIRE DEPARTMENT CONNECTION	SSRI	SANITARY SEWER RODDING INLET
FF	FINISH FLOOR	STD	STANDARD
FG	FINISH GRADE	S/W	SIDEWALK
FH	FIRE HYDRANT	T	TELEPHONE
FI	FIELD INLET	TC	TOP OF CURB
FL	FLOW LINE	TD	TRENCH DRAIN
F-MAIN	FORCE MAIN	TG	TOP OF GRADE
G	GAS	T-MAIN	TRANSMISSION MAIN
GB	GRADE BREAK	TS	TOP OF SLAB
GR	GRATE	TW	TOP OF WALL
HCR	HANDICAP RAMP	TYP	TYPICAL
HDPE	HIGH DENSITY POLYETHYLENE	VC	VERTICAL CURB
HP	HIGH POINT	W	WATER MAIN
INTX	INTERSECTION	(W)	WEST
INV	INVERT	W-LAT	WATER LATERAL
IRR	IRRIGATION	[]	RECORD INFORMATION
JP	JOINT POLE		

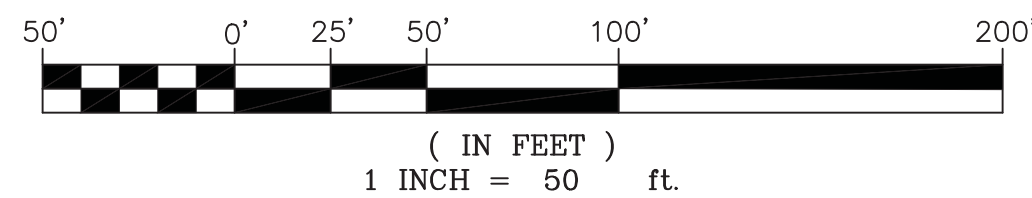
2401 BROADWAY

DESIGN DEVELOPMENT

OAKLAND, CALIFORNIA



SITE MAP



DESIGN TEAM

- DEVELOPER/CONTRACTOR: SIGNATURE DEVELOPMENT GROUP
2335 BROADWAY, SUITE 200
OAKLAND, CA 94612
(510) 251-9276
CONTACT - JAMIE CHOY
- CIVIL ENGINEER: dk CONSULTING
1931 SAN MIGUEL DRIVE, SUITE 100
WALNUT CREEK, CA 94596
(925) 932-6868
CONTACT - SCOTT E HARTSTEIN
- ARCHITECT: BAR ARCHITECTS
901 BATTERY STREET, SUITE 300
SAN FRANCISCO, CA 94111
(415) 293-5700
CONTACT - BRADLEY SUGARMAN
- LANDSCAPE ARCHITECT: BRUCE JETT ASSOCIATES, INC.
2 THEATRE SQUARE, STE 218
ORINDA, CA 94563
(925) 254-5422
CONTACT - JESSE MARKMAN
- GEOTECHNICAL ENGINEER: ENGEQ, INC.
2010 GROW CANYON PLACE, SUITE 250
SAN RAMON, CA 94583
(925) 866-9000
CONTACT - JEFF FIPPIN

PROJECT INFORMATION

- PROJECT INFORMATION: APN: 008-0674-036, -005
008-0674-004, -003-1
SIZE: ±1.21 ACRES
ZONING: D-BV1
CC-3
- TITLE REPORT: CHICAGO TITLE COMPANY
OWNERS POLICY TITLE NO.
14-58205703-B-KD
DATED NOVEMBER 21, 2014
- BASIS OF BEARINGS: THE MONUMENT LINE ON 24TH STREET TAKEN AS
NORTH 78°04'52" WEST, PARCEL MAP 9872
(314M53) SHOWN AS NORTH 78°05'47" WEST.
- BENCHMARK: TOP OF CURB WEST RETURN OF THE NORTHWEST
CORNER OF 23RD STREET AND TELEGRAPH AVENUE,
WITH AN ELEVATION OF 17.684 FEET PER THE CITY
OF OAKLAND MONUMENT BENCHMARK No 37Jc ON
BOOK 18 AT PAGE 71.
- TOPOGRAPHIC SURVEY: BUILDING LOCATIONS ARE BASED UPON AERIAL
SURVEY PERFORMED ON SEPTMEBER 17, 2015 AND
FIELD VERIFIED ON SEPTEMBER 29, 2015 AND ARE
PRELIMINARY. AN UPDATE TO THE BUILDING FACE TO
FOLLOW.

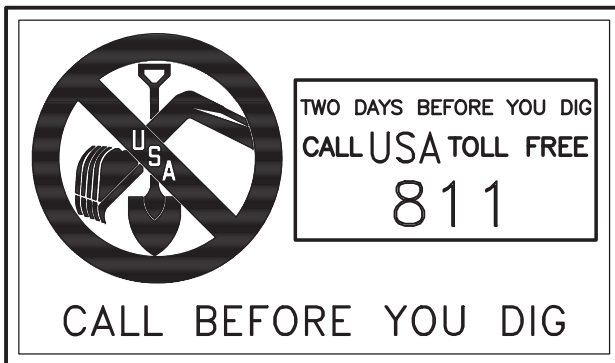
LEGEND

EXISTING	PROPOSED	BOUNDARY
		RIGHT-OF-WAY
		ADJACENT PROPERTY
		MONUMENT LINE
		CURB AND GUTTER LINE
		GAS LINE, FIELD LOCATED, VALVE
		RECORD GAS LINE
		ELECTRIC LINE, BOX
		COMMUNICATION MANHOLE AND LINE, PACIFIC BELL
		RECORD SANITARY SEWER LINE, MANHOLE, CLEANOUT
		RECORD STORM DRAIN LINE, FIELD INLET
		STORM DRAIN LINE, MANHOLE, CURB INLET
		C.3 TREATMENT
		WATER LINE, FIELD LOCATED, VALVE, METER, FH
		RECORD WATER LINE
		SAWCUT LINE
		CONTOUR LINE
		SANITARY SEWER, SS LATERAL
		UTILITY POLE WITH GUY ANCHOR
		VEGETATION, TREE
		FENCE
		FIRE HYDRANT
		ELECTROLIER
		POST
		SIGN
		OTHER MANHOLE, AS NOTED
		UTILITY VALVE
		FOUND STANDARD STREET MONUMENT
		MISSING STREET MONUMENT
		CALTRANS CURB RAMP
		DRIVEWAY
		CONCRETE SIDEWALK
		PARKLET
		BULB OUT
		LOT NUMBER
		RECORD UTILITY INFORMATION
		PROPORTION FACTOR
		SEARCHED FOR, NOT FOUND
		MONUMENT TO MONUMENT
		NOT A PART OF THIS SURVEY
		SPOT ELECTION
		SLOPE

SHEET INDEX

SHEET	DESCRIPTION
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C2.0	DETAILS
C2.1	DETAILS
C3.0	TOPOGRAPHIC SURVEY
C4.0	DEMOLITION PLAN
C5.0	SITE PLAN
C6.0	MASS GRADING PLAN
C6.1	FINE GRADING PLAN
C7.0	UTILITY PLAN
C8.0	EROSION CONTROL PLAN
C8.1	EROSION CONTROL NOTES & DETAILS
C9.0	C.3 EXHIBIT

F:\p77261\83633\FAN15-1092\FR-4470\FP2901\BROADWAY\BROADWAY.DWG:151020 DD Cover.dwg



CAUTION:
CONTRACTOR TO EXERCISE EXTREME CAUTION TO AVOID DAMAGING EXISTING UNDERGROUND UTILITIES. OBSTRUCTIONS INDICATED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. NEITHER THE OWNER NOR THE ENGINEER ASSUMES RESPONSIBILITY THAT THE OBSTRUCTIONS INDICATED WILL ACTUALLY BE THE OBSTRUCTIONS ENCOUNTERED. POTHOLES IS REQUIRED.

GENERAL NOTES

1. THE ENGINEER ASSUMES NO RESPONSIBILITY BEYOND THE ADEQUACY OF HIS DESIGN CONTAINED HEREIN.
2. ALL STAKING REQUESTS SHALL BE DIRECTED TO THE ENGINEER AT LEAST 2 WORKING DAYS PRIOR TO ACTUAL NEED. THE PROTECTION OF THOSE STAKES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY ADDITIONAL STAKING OR RESTAKING WILL BE DONE ONLY AS DIRECTED AND AUTHORIZED BY THE OWNER OR HIS AUTHORIZED AGENT.
3. OBSTRUCTIONS INDICATED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. NEITHER THE OWNER NOR THE ENGINEER ASSUMES RESPONSIBILITY THAT THE OBSTRUCTIONS INDICATED WILL ACTUALLY BE THE OBSTRUCTIONS ENCOUNTERED. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (800) 642-2222, TWO WORKING DAYS PRIOR TO ANY EXCAVATION.
4. CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS.
5. THE CONTRACTOR WILL LIMIT CONSTRUCTION ACTIVITIES TO MONDAYS THROUGH FRIDAYS FROM THE HOURS SPECIFIED IN THE ENCROACHMENT PERMIT. CONSTRUCTION WILL NOT BE ALLOWED LATER THAN THESE HOURS AND/OR ON SATURDAYS, SUNDAYS OR FEDERAL HOLIDAYS UNLESS PRIOR APPROVAL IS GRANTED BY THE CITY AFTER CONSULTATION WITH ADJACENT USES.
6. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE CITY, PROJECT ENGINEER, HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF OWNER OR ENGINEER.
7. IF IT APPEARS THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT dk CONSULTING (925) 932-6868 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
8. ALL EXISTING ELEVATIONS SHOWN ARE AS MEASURED IN THE FIELD, UNLESS OTHERWISE NOTED.
9. THE WORKSITE SHALL BE MAINTAINED IN AN ORDERLY FASHION. FOLLOWING THE CESSATION OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE.
10. THE CONTRACTORS SHALL FIT ALL INTERNAL COMBUSTION ENGINES WITH MUFFLERS AND SHALL LOCATE NOISE-GENERATING EQUIPMENT SUCH AS AIR COMPRESSORS, CONCRETE PUMPERS AND POWER GENERATORS AS FAR AWAY FROM EXISTING RESIDENCES AS POSSIBLE. UNNECESSARY IDLING OF ENGINES SHALL BE PROHIBITED. NEIGHBORS ADJACENT TO CONSTRUCTION AREA SHALL BE NOTIFIED OF THE CONSTRUCTION SCHEDULE IN WRITING. THE TELEPHONE NUMBER OF THE DESIGNATED DISTURBANCE COORDINATOR SHALL BE POSTED AT THE SITE.
11. CONTRACTOR SHALL OBTAIN ALL APPROPRIATE PERMITS FROM REQUIRED AGENCIES OR PUBLIC UTILITIES PRIOR TO COMMENCEMENT OF WORK.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF ALL EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY HIS PERFORMANCE OF THE WORK SHOWN HEREIN AT HIS EXPENSE. SAID REPAIRS SHALL BE PERFORMED AS DIRECTED BY THE CITY ENGINEER.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROMPT CLEAN UP OF ANY MATERIALS SPILLED OR DROPPED ON ANY ABUTTING STREETS DURING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED TO THESE STREETS BY CONSTRUCTION VEHICLES ASSOCIATED WITH SUCH CONSTRUCTION. THE CITY ENGINEER MAY REQUIRE THE OWNER TO POST A CASH DEPOSIT PRIOR TO THE START OF CONSTRUCTION TO CAUSE TIMELY CLEAN UP AND REPAIR OF STREETS.
14. CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS TO PRIVATE PROPERTY ADJACENT TO WORK AREA THROUGHOUT CONSTRUCTION.
15. CONTRACTOR TO PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, AND OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY AND TO MAINTAIN TRAFFIC CONTROL AND AS DIRECTED BY THE CITY TRAFFIC ENGINEER.
16. CONTRACTOR SHALL NOT DISTURB OR DESTROY ANY PERMANENT SURVEY POINTS WITHOUT THE CONSENT OF THE CITY ENGINEER. ANY PERMANENT MONUMENTS OR POINTS DESTROYED SHALL BE REPLACED BY A SURVEYOR AT THE CONTRACTOR'S EXPENSE.
17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 2009 EDITION, THE CITY OF OAKLAND MODIFICATIONS TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND STANDARD DETAILS FOR PUBLIC WORK CONSTRUCTION 2002 EDITION AS AMENDED AND SUPPLEMENTED BY THE CITY OF OAKLAND.

GRADING NOTES

1. IN THE EVENT AN ARCHEOLOGICAL RESOURCE IS DISCOVERED DURING DEMOLITION AND/OR CONSTRUCTION, CONTRACTOR SHALL NOTIFY THE CITY AND EARTHWORK WITHIN 100 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOA AND/OR SOPA HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF DEEMED NECESSARY PRIOR TO COMMENCEMENT OF ACTIVITIES. THE ARCHAEOLOGIST SHALL BE HIRED AT THE APPLICANT'S EXPENSE.
2. IN THE EVENT A UNIQUE PALEONTOLOGICAL RESOURCE OR SITE IS DISCOVERED DURING DEMOLITION AND/OR CONSTRUCTION, THE APPLICANT SHALL STOP WORK IMMEDIATELY AND NOTIFY THE CITY. A CERTIFIED ARCHAEOLOGIST SHALL BE HIRED AT THE APPLICANT'S EXPENSE TO INVESTIGATE THE DISCOVERY AND RECOMMEND FURTHER ACTIONS PRIOR TO COMMENCEMENT OF ACTIVITIES.
3. IN THE EVENT HUMAN REMAINS ARE DISCOVERED DURING DEMOLITION AND/OR CONSTRUCTION, THE APPLICANT SHALL STOP WORK IMMEDIATELY AND NOTIFY THE CITY. A CERTIFIED ARCHAEOLOGIST SHALL BE HIRED AT THE APPLICANT'S EXPENSE TO INVESTIGATE THE DISCOVERY AND RECOMMEND FURTHER ACTIONS PRIOR TO COMMENCEMENT OF ACTIVITIES.
4. IF FOSSILS OF POTENTIAL SCIENTIFIC SIGNIFICANCE ARE FOUND DURING CONSTRUCTION, GRADING WITHIN 50 FEET OF THE FOSSIL LOCATION SHALL BE SUSPENDED UNTIL THE SIGNIFICANCE OF THE FIND HAS BEEN EVALUATED BY A PALEONTOLOGIST. THE CITY SHALL BE NOTIFIED WITHIN 24 HOURS AND ADVISED OF THE EVALUATION OF THE PALEONTOLOGIST. RESUMPTION OF WORK IN THE FOSSIL AREA SHALL REQUIRE WRITTEN APPROVAL FROM THE CITY OF OAKLAND PLANNING DEPARTMENT.
5. ALL CHEMICALS AND PETROLEUM PRODUCTS STORED ON-SITE DURING CONSTRUCTION SHALL BE WITHIN A BERMED CONTAINMENT AREA OR OTHER APPROPRIATE FACILITY. THE HANDLING, STORAGE AND DISPOSAL OF ANY HAZARDOUS MATERIALS USED ON THE SITE WILL BE IN ACCORDANCE WITH A BUSINESS PLAN (OR EQUIVALENT) ON FILE WITH THE COUNTY HEALTH SERVICES DEPARTMENT, HAZARDOUS MATERIALS DIVISION. ALL REFUELING AND VEHICLE MAINTENANCE ACTIVITY SHALL BE LOCATED AWAY FROM ANY DRAINAGE PATHWAYS. REFER TO EROSION CONTROL PLAN.
6. ALL GRADING, SITE PREPARATION, PLACING AND COMPACTION OF FILL TO BE DONE IN ACCORDANCE WITH CITY OF OAKLAND ORDINANCE; ALSO UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL ENGINEER. SUBSEQUENT TO COMPLETION OF WORK, THE GEOTECHNICAL ENGINEER SHALL SUBMIT TO THE CITY OF OAKLAND ENGINEERING DEPARTMENT A REPORT STATING THAT ALL WORK HAS BEEN DONE TO ITS SATISFACTION.
7. ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE CITY OF OAKLAND ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND DISTRIBUTED BY THE ENGINEERING DEPARTMENT PRIOR TO THE WORK BEING ADVANCED AND ACCEPTANCE OF THE WORK AS COMPLETE.
8. ALL TRENCHES SHALL BE SHORED IN ACCORDANCE WITH CAL-OSHA "CONSTRUCTION SAFETY ORDERS" CURRENT EDITION. ALSO AS SPECIFIED BY THE GEOTECHNICAL ENGINEER. CONTRACTOR MUST HAVE VALID TRENCH SHORING PERMIT ISSUED BY CAL-OSHA.
9. THE EXCAVATION TRENCH WIDTH FOR ALL PIPES, WITH THE EXCEPTION OF C.I.P.P., SHALL BE A MINIMUM OF 24" GREATER THAN THE OUTSIDE DIAMETER OF THE PIPE. ONE-HALF OF THE MINIMUM DIMENSION SHALL BE AVAILABLE ON EITHER SIDE OF THE PIPE. THE SAFETY REQUIREMENTS OF THE OCCUPATION SAFETY AND HEALTH ACT FOR TRENCH SHORING AND BRACING SHALL BE COMPLIED WITH WHERE APPLICABLE.
10. THE CONTRACTOR SHALL PROVIDE THE NECESSARY SAFETY TESTING OF EQUIPMENT AND PERSONNEL.
11. CONTRACTOR'S ATTENTION IS DIRECTED TO THE REQUIREMENTS OF THE DIVISION OF INDUSTRIAL SAFETY PERTAINING TO "CONFINED SPACES". ANY MANHOLES, CULVERT, DROP INLET OR TRENCH WHICH COULD CONTAIN AIR WHICH IS NOT READILY VENTILATED MAY BE CONSIDERED A "CONFINED SPACE"
12. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY NOTIFY THE CITY OF OAKLAND ENGINEERING INSPECTOR AND THE DESIGN ENGINEER UPON DISCOVERY OF ANY FIELD CONFLICTS.
13. ANY DEVIATIONS OR CHANGES IN THESE PLANS WITHOUT OFFICIAL APPROVAL OF THE DESIGN ENGINEER SHALL ABSOLVE THE DESIGN ENGINEER OF ANY AND ALL RESPONSIBILITY OF SAID DEVIATION OR CHANGE.
14. DURING THE GRADING OPERATION THE CONTRACTOR SHALL CONTROL THE GENERATION OF DUST BY FULLY SPRINKLING THE SITE AS DETERMINED TO BE NEEDED BY THE COUNTY GRADING INSPECTOR IN ACCORDANCE WITH THE COUNTY GRADING ORDINANCE.
15. COMPACTION TESTS WILL BE PERFORMED ON ALL STREET WORK TO VERIFY THE COMPACTION CONFORMS TO CITY OF OAKLAND STANDARDS AND THE GEOTECHNICAL REPORT (ENGEO INC PROJECT NO. 12215.000.000 DATED JULY 28, 2015). THE TEST OF SUBGRADE TO BE PERFORMED BY THE GEOTECHNICAL ENGINEER. INSPECTION OF ROCK AND PAVING TO BE PERFORMED BY THE CITY OF OAKLAND. (TWO WORKING DAYS NOTICE REQUIRED) WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL AS DIRECTED IN THE FIELD BY THE GEOTECHNICAL ENGINEER. ANY SLIDE REPAIR WORK, SUBDRAIN INSTALLATION, AND LINED DITCH WORK SHALL BE INSPECTED BY THE CITY OF OAKLAND ENGINEERING DEPARTMENT. A REPORT FROM THE GEOTECHNICAL ENGINEER SHALL BE SUBMITTED TO THE CITY OF OAKLAND ENGINEERING DEPARTMENT REGARDING THE SLIDE REPAIR AND/OR SUBDRAIN INSTALLATION. CUT AND GRADED SLOPES SHALL BE PERIODICALLY INSPECTED DURING GRADING OPERATION BY AN ENGINEERING GEOLOGIST OR GEOTECHNICAL ENGINEER WITH PERIODIC PROGRESS REPORTS AND A GRADING COMPLETION REPORT.
16. APPLICANT SHALL COMPLY WITH ALL RULES, REGULATIONS AND PROCEDURES OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM.

IMPROVEMENT NOTES

1. PRODUCTS AND MATERIALS SPECIFIED ARE SUBJECT TO CHANGE WITH APPROVED EQUIVALENCE. JURISDICTION SHALL REVIEW AND APPROVE PROPOSED SUBSTITUTIONS. SHOULD THE CONTRACTOR REQUEST A CHANGE OF MATERIALS, THE CONTRACTOR SHALL PAY FOR THE COST INVOLVED IN PLAN CHANGES AND PROCESSING THE CHANGE THROUGH THE APPROPRIATE AGENCY.
2. THE CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FOR ALL WORK WITHIN EXISTING CITY RIGHTS OF WAY. APPLICATIONS FOR ENCROACHMENT PERMIT, SUBMITTED MORE THAN 90 DAYS PAST ENGINEERING "REVIEWED" DATE STAMP, MAY REQUIRE ADDITIONAL TIME TO PROCESS. FOR FURTHER PERMIT INFORMATION, CONTACT THE ENGINEERING DEPARTMENT AT (510) 238-3659.
3. TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), PART 6 - TEMPORARY TRAFFIC CONTROL AND THE 2009 EDITION OF MUTCD.
4. IN CONFORM PAVING AREAS, IF A FULL STREET STRUCTURAL SECTION IS NOT FOUND AT THE APPARENT EDGE OF PAVEMENT, FURTHER STREET EXCAVATION WILL BE REQUIRED UNTIL THE FULL SECTION IS ENCOUNTERED. PAVING CONFORMS SHALL BE MADE AT A SMOOTHLY TRIMMED BUTT JOINT. DO NOT OVERLAP EXISTING PAVEMENT.
5. TRENCH BACKFILL, WHICH LIES WITHIN EITHER EXISTING OR NEW ROADWAYS, SHALL CONFORM TO THE CITY OF OAKLAND STANDARD DETAIL D-22 FOR TRENCH BACKFILL.
6. THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING PAVEMENT, SIDEWALK, SURROUNDING LANDSCAPING AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURB AND GUTTER, GRADING, ETC. AND TO AVOID ANY ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.
7. ALL ELECTRICAL AND GAS UTILITIES TO BE PROVIDED BY P.C.& E. AND INSTALLED UNDERGROUND PRIOR TO THE CONSTRUCTION OF CURB, GUTTER AND SIDEWALKS.
8. ANY COST OF RELOCATING UTILITIES DUE TO IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. ALL UNDERGROUND UTILITIES WITHIN THE RIGHT-OF-WAY, INCLUDING MAINS, LATERALS AND CROSSINGS, SHALL BE INSTALLED, BACKFILLED AND COMPLETED PRIOR TO THE COMMENCEMENT OF CURB, GUTTER AND SIDEWALK CONSTRUCTION.
10. ALL UNDERGROUND FACILITIES SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION OF CURB AND FINAL PREPARATION OF SUBGRADE AND PLACEMENT OF BASE MATERIAL. CURB AND GUTTER SHALL BE COMPLETE PRIOR TO THE PLACEMENT OF STREET BASE MATERIAL, UNLESS OTHERWISE APPROVED.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL NECESSARY UTILITY RELOCATION WITH THE APPROPRIATE UTILITY AGENCY.
12. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FINAL GRADE OF CONCRETE UNLESS FORMS ARE CHECKED PRIOR TO POURING.
13. ALL PEDESTRIAN IMPROVEMENTS SHALL CONFORM WITH THE REQUIREMENTS OF TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS AND THE AMERICANS WITH DISABILITIES ACT.
14. ALL WORK SHALL CONFORM TO THE CITY OF OAKLAND STANDARDS.

PAVEMENT TYPES

TYPE A	TYPE B	TYPE C	TYPE D	TYPE F
6" P.C.C. PER SECTION 201-1.1.2	3" A.C. PER SECTION 306-1.5.2	4" A.C. PER SECTION 306-1.5.2	3" A.C. PER SECTION 306-1.5.2	VARIABLE DEPTH A.C. PER SECTION 306-1.5.2
18" A.B. PER SECTION 306-1.3.1	12" A.B. PER SECTION 306-1.3.1	18" A.B. PER SECTION 306-1.3.1	18" A.B. PER SECTION 306-1.3.1	

CONCRETE CURB AND GUTTER

NOTES

- OMIT THIS PORTION OF CURB AT DRIVEWAYS.
- STANDARD SLOPE EXCEPT AS SHOWN ON PLANS.
- PLACE 4" OF PROCESSED MISCELLANEOUS BASE UNDER CURB, GUTTER AND SIDEWALK UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

PROFILE

CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT

CONCRETE CURB AND GUTTER

ENGINEERING DESIGN MANAGER
DATE: JANUARY 2022 DWG.
REV. DATE: S-1

TRENCH DETAIL

CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT

TRENCH DETAIL

ENGINEERING DESIGN MANAGER
DATE: JANUARY 2022 DWG.
REV. DATE: D-22.0

CONCRETE DRIVEWAY

CITY OF OAKLAND ENGINEERING DESIGN SERVICES DIVISION

CONCRETE DRIVEWAY

ENGINEERING DESIGN MANAGER
DATE: JANUARY 2022 DWG.
REV. DATE: S-2

TRENCH DETAIL

NOTES:

- Excavated material shall not be used to fill voids caused by overexcavation; such voids shall be filled with compacted bedding material. Unless directed by the Engineer, no separate payment will be made for overexcavation.
- Import backfill material shall conform to Subsection 306-1.3.1
- Aggregate base shall conform to crushed miscellaneous base (Section 200-2.4) or better. The base material must be approved by the Engineer.
- The streets of Oakland are generally paved with either AC, PCC, or a combination of the two. The existing pavement may differ from the replacement Pavement Type (A to F) indicated on the plans.
- Compaction by jetting is not permitted.
- When flexible pipe (HDPE, etc.) is used, pipe shall be backfilled to the spring line, compacted and backfill tested prior to completing initial backfill.
- The compacted temporary resurfacing shall be a minimum of 2" thick placed on the required base, and shall be removed prior to placing the permanent paving.
- Backfill testing is required and results shall be approved by the Engineer prior to paving.
- No longitudinal joints or seams are allowed in bike lanes. If a longitudinal joint is constructed due to the Contractor's work or this requirement, the Contractor shall remove a minimum of 2" of asphalt from the pavement across the entire bike lane using a method approved by the City and then resurface the bike lane to the Engineer's satisfaction.
- During backfill operations, the trench shall be backfilled, compacted, and tested to the spring line of any utilities crossing the trench before proceeding with further backfill.
- Unless specified otherwise, measurement for payment of additional bedding, imported backfill and temporary paving (when listed as separate pay items) shall be based upon the trench widths defined on this detail. The lower trench width for 8" pipe shall be 30".
- Clean and tackcoat sides of excavation and between paving courses with spray application of SS-1 emulsion before placing asphalt-concrete pavement section.
- If the distance to the edge of gutter is less than 3' from one trench edge, the pavement replacement shall extend to the edge of existing gutter.
- In areas where existing paving consists of rubberized AC, the trench area should be repaved with the equivalent pavement section of rubberized AC. As an alternate, a dense graded AC section equivalent to two-times the thickness of the rubberized AC may be substituted.

CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT

TRENCH DETAIL

ENGINEERING DESIGN MANAGER
DATE: JANUARY 2022 DWG.
REV. DATE: D-22.1

LAMPHOLE, CLEANOUT AND DROP CONNECTION

CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT

LAMPHOLE, CLEANOUT AND DROP CONNECTION

ENGINEERING DESIGN MANAGER
DATE: FEBRUARY 2022 DWG.
REV. DATE: D-2

MANHOLE TYPE 2 (FOR 36" TO 75" DIA. PIPE CONDUIT)

MANHOLE DIMENSIONS	W	X	Y	Z	CONCRETE CURB	1'-10"		5'-2"		2'-1"		1'-8"		REINFORCING STEEL					
						NO.	LENGTH	NO.	LENGTH	NO.	LENGTH	NO.	LENGTH						
36"	5'-6"	4'-6"	6"	2.88	7	14'-0"	4	7'-6"	17	5'-2"	2	6'-10"		153.8					
39"	5'-6"	5'-1 1/2"	4 1/2"	2.83	7	14'-0"	4	7'-6"	19	5'-2"	2	6'-10"		164.0					
42"	5'-6"	5'-4"	3"	2.97	7	15'-2"	4	7'-6"	19	5'-2"	2	6'-10"		164.4					
45"	5'-6"	5'-3 1/2"	1 1/2"	3.00	7	15'-6"	4	6'-6"	19	5'-2"	2	6'-10"		165.5					
48"	4'	5'-10"	6'-2"	3.30	7	17'-2"	4	7'-0"	19	5'-2"	2	5'-6"	2	6'-10"	SEE "E" BAR	181.1			
51"	7'	6'-1"	6'-5 1/2"	3.60	7	18'-0"	4	7'-2"	19	5'-2"	2	5'-6"	2	6'-10"	SEE "E" BAR	5	2'-6"	183.9	
54"	10'	6'-4"	6'-8"	3.80	7	18'-10"	4	7'-5"	23	5'-2"	2	6'-0"	1	6'-10"	2	2'-9"	5	3'-0"	206.9
57"	1'-1"	6'-7"	7'-1 1/2"	4.10	7	19'-8"	4	7'-7"	23	5'-2"	2	6'-3"	1	6'-10"	2	3'-4"	5	3'-3"	213.2
60"	1'-4"	6'-10"	7'-4"	4.20	7	20'-4"	4	7'-10"	23	5'-2"	2	6'-6"	1	6'-10"	2	3'-4"	5	3'-6"	219.5
63"	1'-7"	7'-1"	7'-7 1/2"	4.50	7	21'-4"	4	8'-1"	25	5'-2"	2	6'-9"	1	6'-10"	2	4'-1"	5	3'-8"	239.2
66"	1'-10"	7'-4"	7'-11"	4.80	7	22'-2"	4	8'-3"	25	5'-2"	2	7'-0"	1	6'-10"	2	4'-5"	5	4'-0"	243.3
69"	2'-1"	7'-7"	8'-2 1/2"	5.20	7	23'-0"	4	8'-5"	28	5'-2"	2	7'-3"	1	6'-10"	2	4'-9"	5	4'-3"	254.6
72"	2'-4"	7'-10"	8'-6"	5.30	7	23'-10"	4	8'-8"	28	5'-2"	2	7'-6"	1	6'-10"	2	5'-1"	5	4'-6"	267.7
75"	2'-7"	8'-1"	8'-9 1/2"	5.70	7	24'-4"	4	8'-11"	28	5'-2"	2	7'-9"	1	6'-10"	2	5'-4"	5	4'-9"	273.7

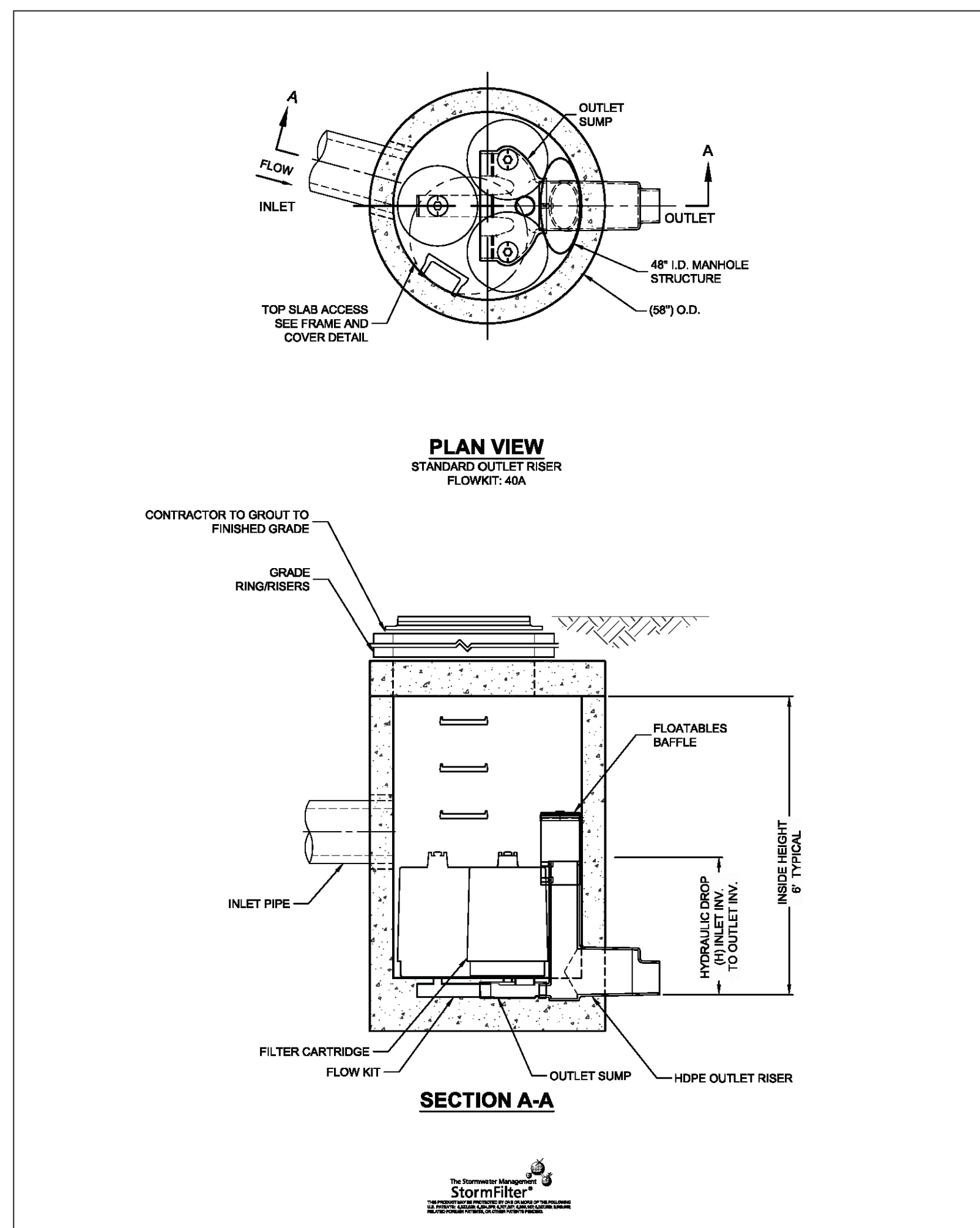
CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT

MANHOLE TYPE 2 (FOR 36" TO 75" DIA. PIPE CONDUIT)

ENGINEERING DESIGN MANAGER
DATE: FEBRUARY 2022 DWG.
REV. DATE: D-12

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STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (3). VOLUME SYSTEM IS ALSO AVAILABLE WITH MAXIMUM 3 CARTRIDGES. 8" I.D. MANHOLE STORMFILTER PEAK HYDRAULIC CAPACITY IS 1.0 CFS. IF THE SITE CONDITIONS EXCEED 1.0 CFS AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	27"	18"	LOW DROP
CARTRIDGE HEIGHT	27"	18"	18"
RECOMMENDED HYDRAULIC DROP (H)	3.05'	2.3'	1.5'
SPECIFIC FLOW RATE (gpm/ft ²)	2 gpm/ft ²	1 gpm/ft ²	2 gpm/ft ²
CARTRIDGE FLOW RATE (gpm)	22.5	11.25	10

PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE #1	*	*	*
INLET PIPE #2	*	*	*
OUTLET PIPE	*	*	*

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	WATER QUALITY FLOW RATE (cfs)	PEAK FLOW RATE (cfs)	RETURN PERIOD OF PEAK FLOW (yrs)	# OF CARTRIDGES REQUIRED	CARTRIDGE FLOW RATE	MEDIA TYPE (CSF, PERLITE, ZPG, GAC, PHS)
*	*	*	*	*	*	*

GENERAL NOTES

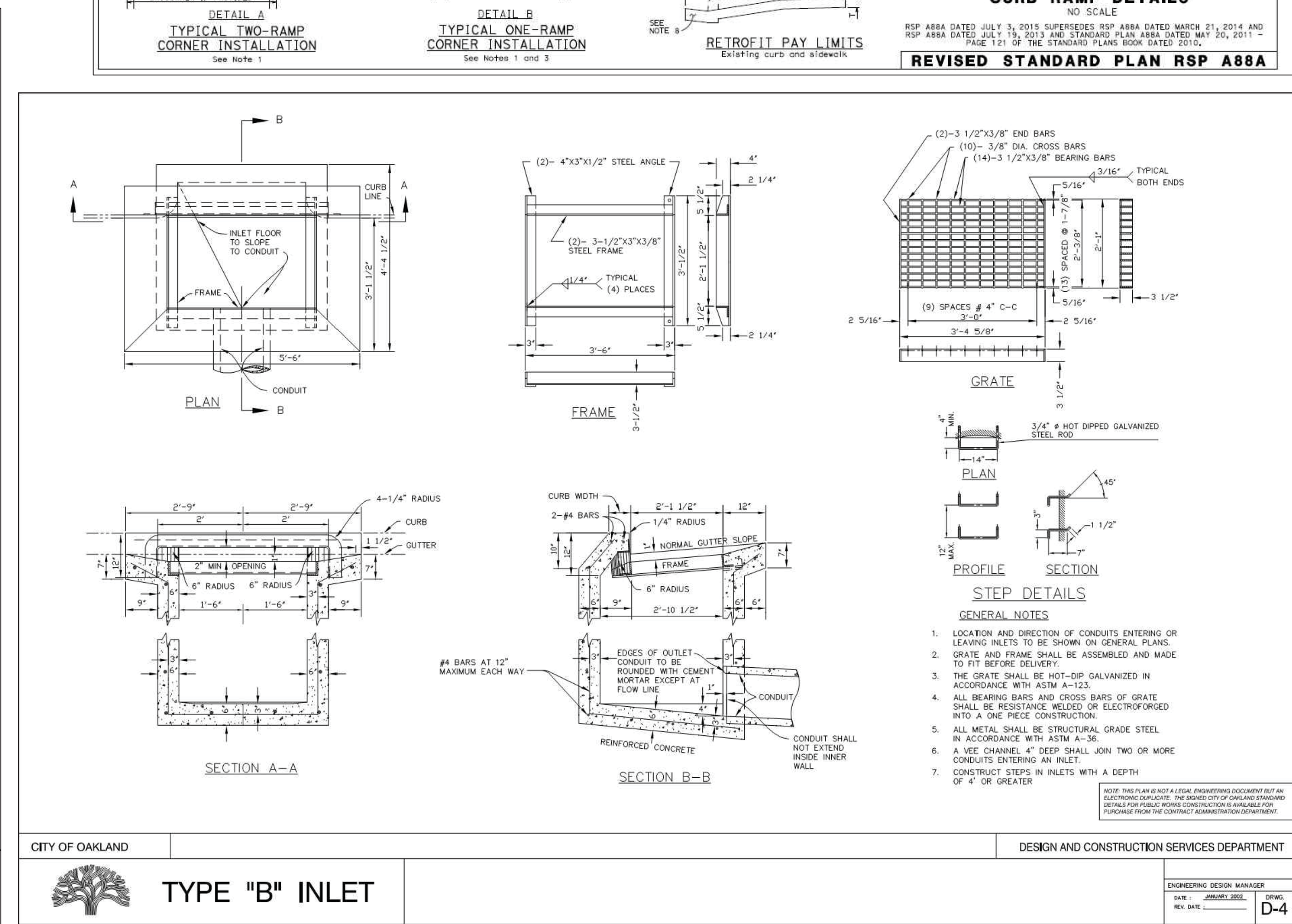
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0'-6" AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M308 AND BE CAST WITH THE CONTECH LOGO.
- FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST .39 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET PIPE(S).
- CONTRACTOR TO PROVIDE AND INSTALL CONNECTOR TO THE OUTLET RISER STUB. STORMFILTER EQUIPPED WITH A DUAL DIAMETER HOPE OUTLET STUB AND SAND COLLAR. IF OUTLET PIPE IS LARGER THAN 8 INCHES, CONTRACTOR TO REMOVE THE 8 INCH OUTLET STUB AT MOLDED IN CUT LINE. COUPLING BY FERROCO OR EQUAL AND PROVIDED BY CONTRACTOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

CONTECH ENGINEERED SOLUTIONS LLC
www.conteches.com
9025 Centre Pointe Dr., Suite 402, West Chester, OH 45399
900-338-1122 513-645-7000 513-645-7993 FAX

SFMH48 STORMFILTER STANDARD DETAIL



CITY OF OAKLAND

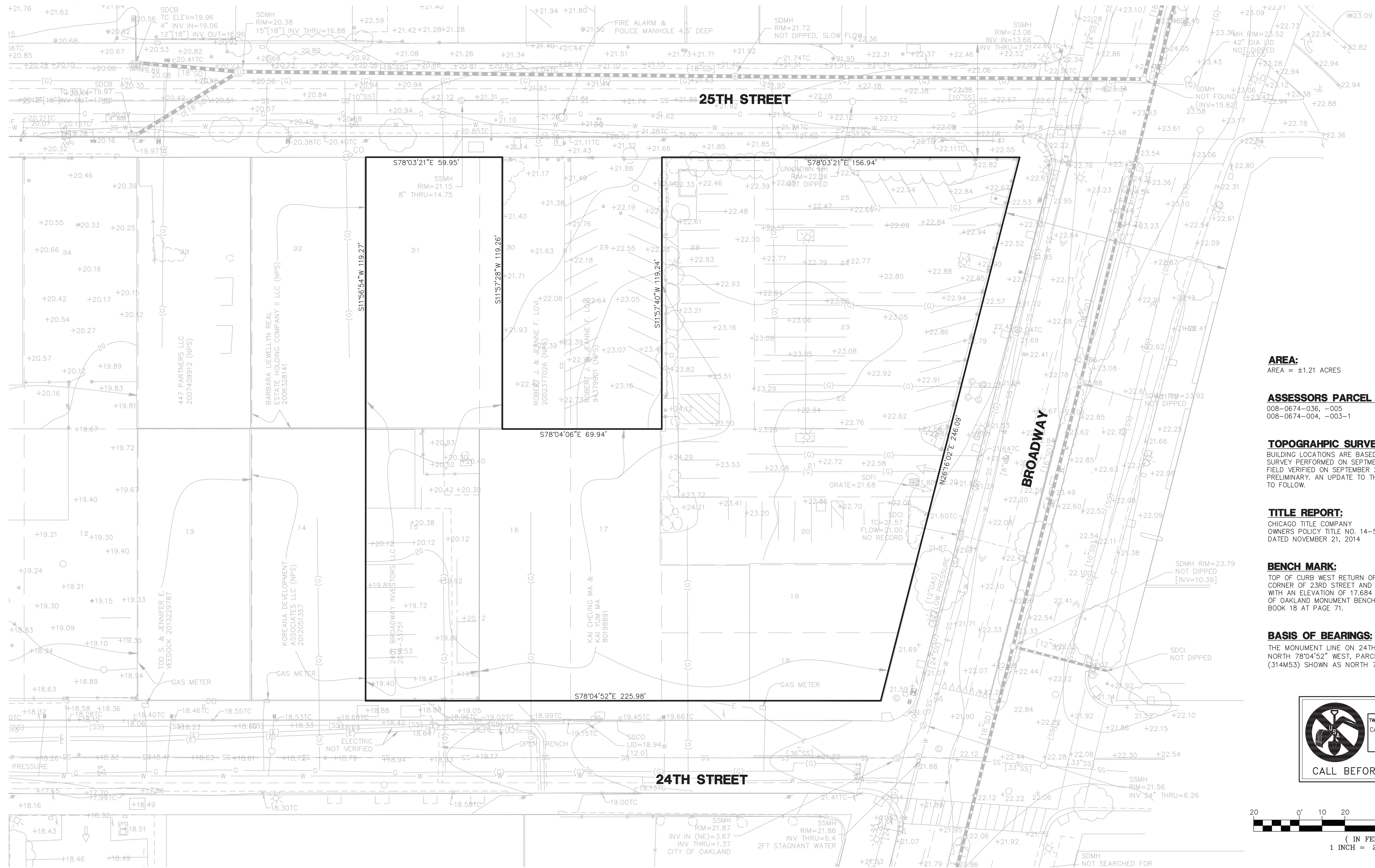
TYPE "B" INLET

DESIGN AND CONSTRUCTION SERVICES DEPARTMENT

ENGINEERING DESIGN MANAGER
DATE: JANUARY 2023
REV DATE: _____

DWG: D-4

2010 REVISED STANDARD PLAN RSP A88A



AREA:
AREA = ±1.21 ACRES

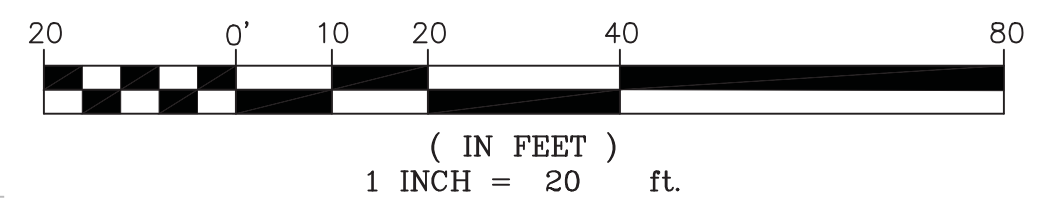
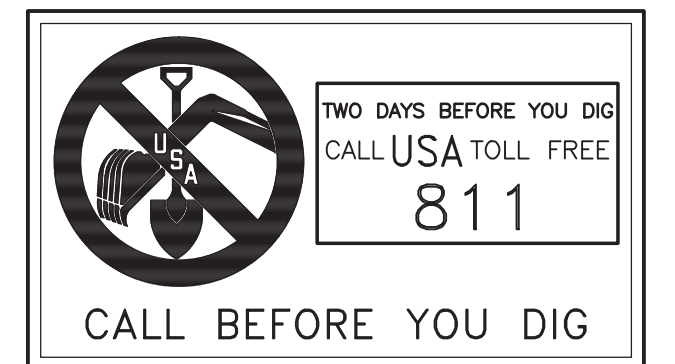
ASSESSORS PARCEL NUMBER:
008-0674-036, -005
008-0674-004, -003-1

TOPOGRAPHIC SURVEY:
BUILDING LOCATIONS ARE BASED UPON AERIAL SURVEY PERFORMED ON SEPTEMBER 17, 2015 AND FIELD VERIFIED ON SEPTEMBER 29, 2015 AND ARE PRELIMINARY. AN UPDATE TO THE BUILDING FACE TO FOLLOW.

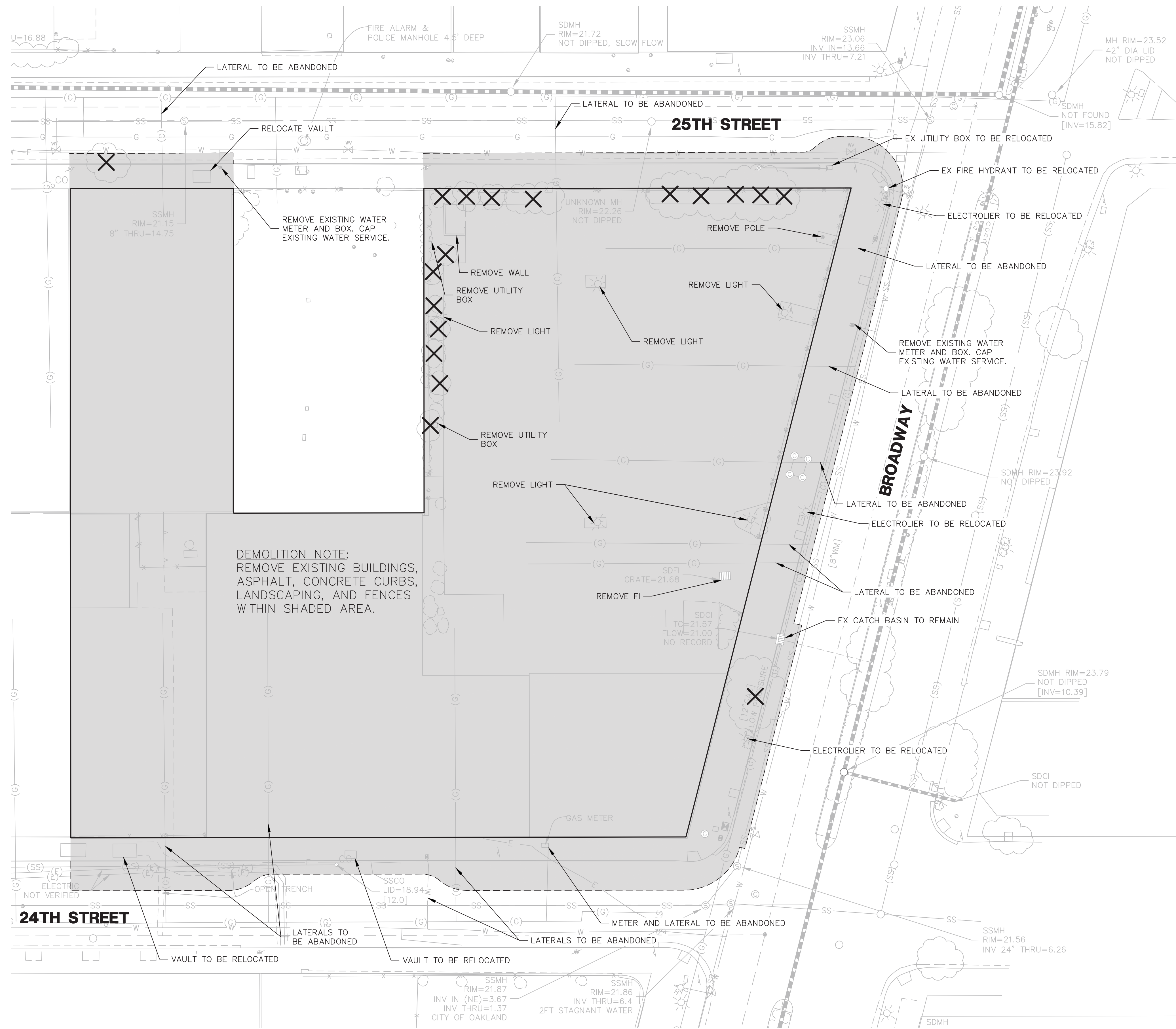
TITLE REPORT:
CHICAGO TITLE COMPANY
OWNERS POLICY TITLE NO. 14-58205703-B-KD
DATED NOVEMBER 21, 2014

BENCH MARK:
TOP OF CURB WEST RETURN OF THE NORTHWEST CORNER OF 23RD STREET AND TELEGRAPH AVENUE, WITH AN ELEVATION OF 17.684 FEET PER THE CITY OF OAKLAND MONUMENT BENCHMARK No 37jc ON BOOK 18 AT PAGE 71.

BASIS OF BEARINGS:
THE MONUMENT LINE ON 24TH STREET TAKEN AS NORTH 78°04'52" WEST, PARCEL MAP 9872 (314M53) SHOWN AS NORTH 78°05'47" WEST.



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DEMOLITION NOTE:
REMOVE EXISTING BUILDINGS,
ASPHALT, CONCRETE CURBS,
LANDSCAPING, AND FENCES
WITHIN SHADED AREA.

LEGEND

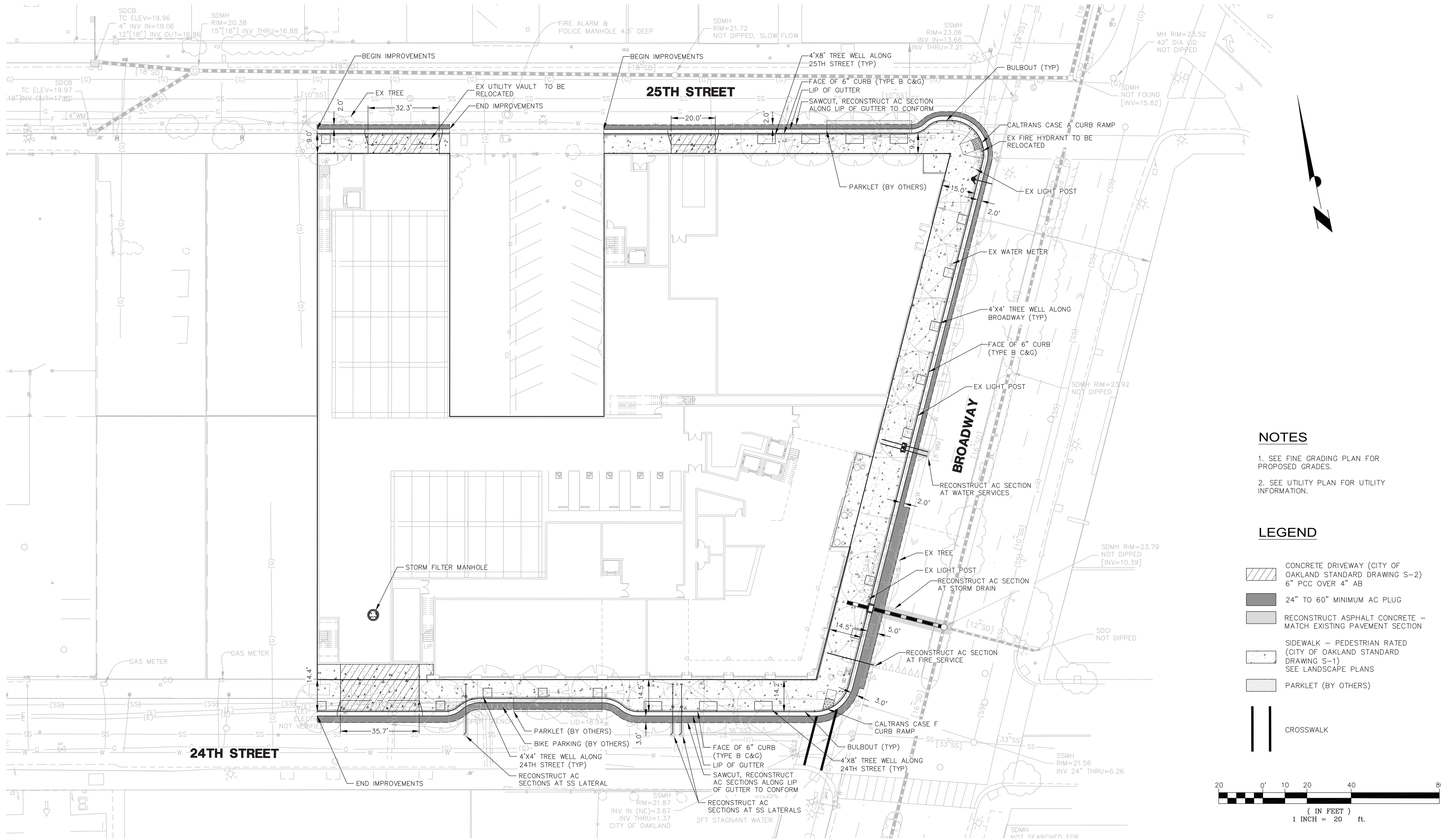
- LIMIT OF DEMOLITION
- SAWCUT LINE
- REMOVE TREE

DEMOLITION NOTES

1. ALL UNDERGROUND UTILITIES SHALL REMAIN AND BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED.
2. TURN OFF ALL UTILITIES SERVING THE EXISTING BUILDING PRIOR TO DEMOLITION OF THE BUILDING.
3. DUST CONTROL MEASURES SHALL BE IMPLEMENTED DURING DEMOLITION.
4. SEE JOINT TRENCH PLAN FOR DRY UTILITY RELOCATION AND DRY UTILITY BOXES TO BE REMOVED, MODIFIED, OR ADJUSTED TO GRADE.
5. CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING USA AT 1-800-227-2600, OR 811.
6. TRAFFIC AND PEDESTRIAN CONTROL PLANS SHALL BE PREPARED PRIOR TO ANY SIDEWALK OR LANE CLOSURES.
7. PRIOR TO ANY DEMOLITION, EXISTING TREES TO REMAIN SHALL BE PROTECTED AS REQUIRED BY PROJECT ARBORIST.
8. ALL OTHER STRUCTURES SHALL REMAIN AND TO BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED.
9. ALL WORK INVOLVING CROSS WALK STRIPING, PAINTING OF CURB FACES, REMOVAL AND/OR PLACEMENT OF NEW STREET SIGNS, PARKING STALL STRIPING, AND REPLACING OF PARKING METERS NEED TO BE REVIEWED AND APPROVED BY PUBLIC WORKS TRANSPORTATION SERVICES DIVISION.

(IN FEET)
1 INCH = 20 ft.




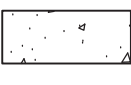
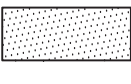

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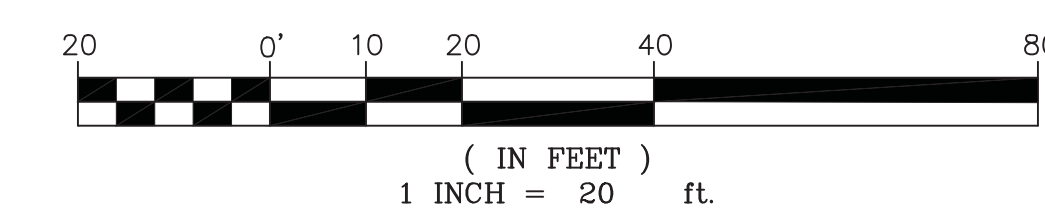


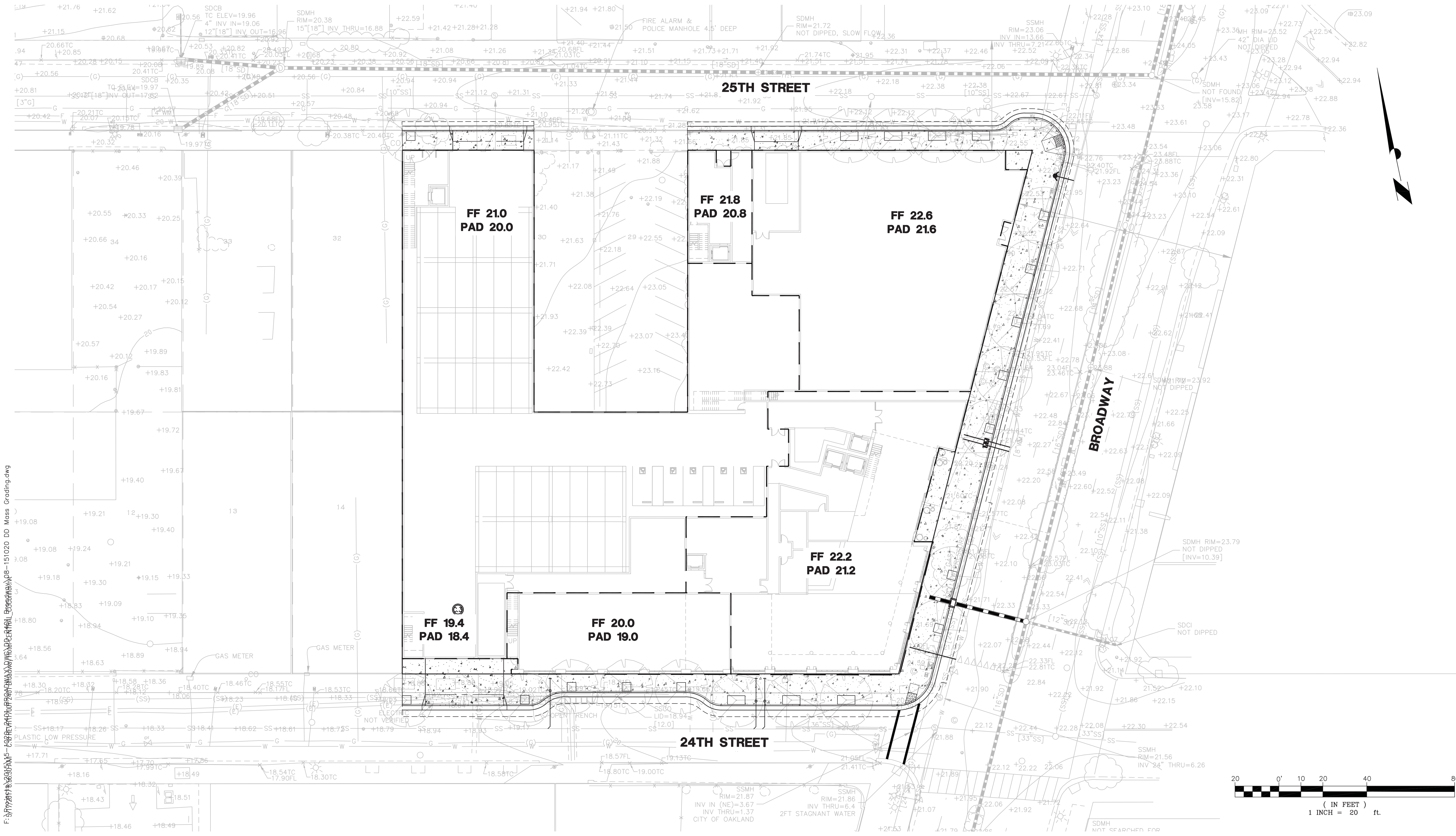
NOTES

- 1. SEE FINE GRADING PLAN FOR PROPOSED GRADES.
- 2. SEE UTILITY PLAN FOR UTILITY INFORMATION.

LEGEND

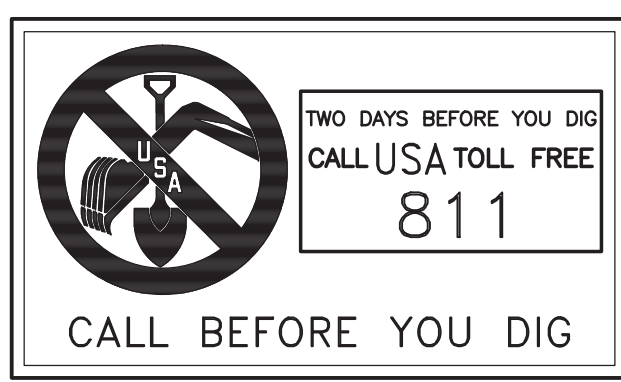
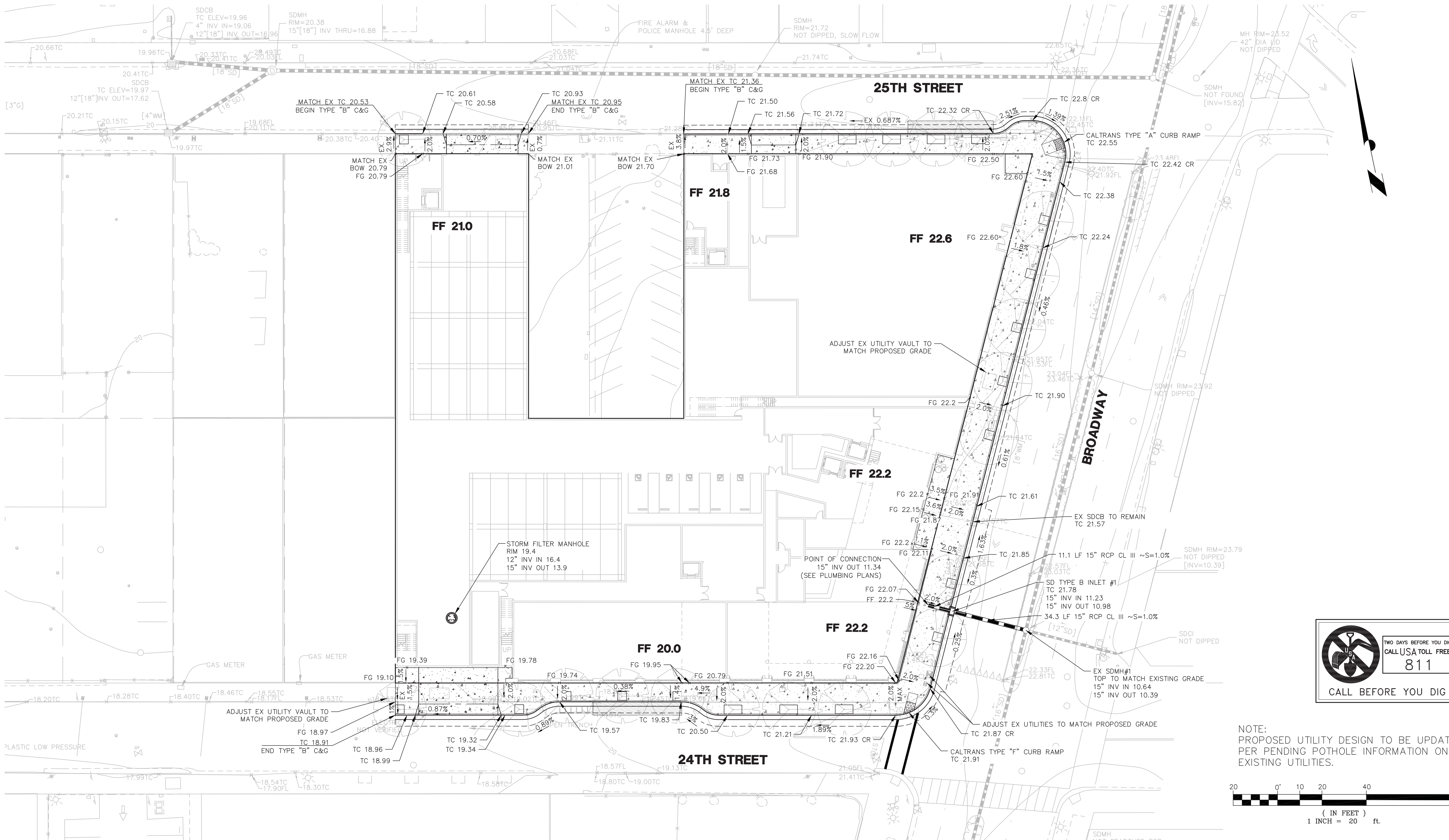
-  CONCRETE DRIVEWAY (CITY OF OAKLAND STANDARD DRAWING S-2) 6" PCC OVER 4" AB
-  24" TO 60" MINIMUM AC PLUG
-  RECONSTRUCT ASPHALT CONCRETE - MATCH EXISTING PAVEMENT SECTION
-  SIDEWALK - PEDESTRIAN RATED (CITY OF OAKLAND STANDARD DRAWING S-1) SEE LANDSCAPE PLANS
-  PARKLET (BY OTHERS)
-  CROSSWALK



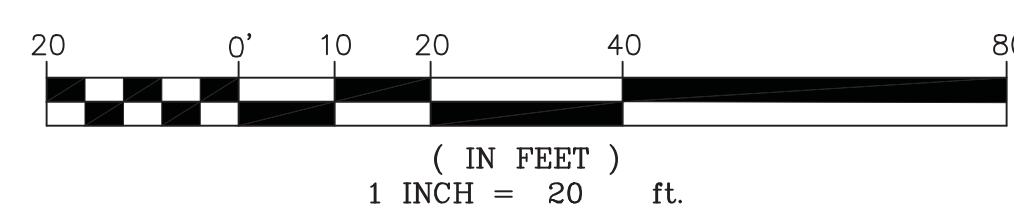


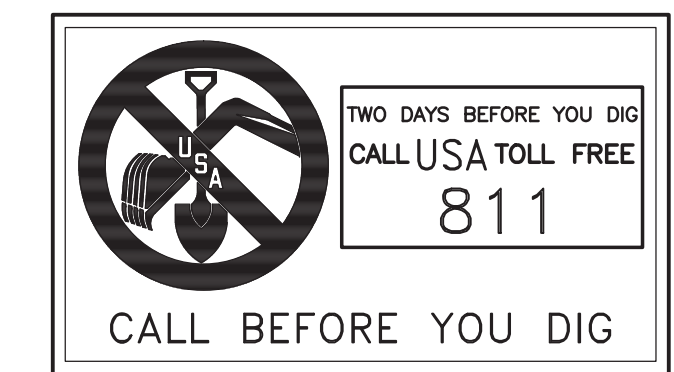
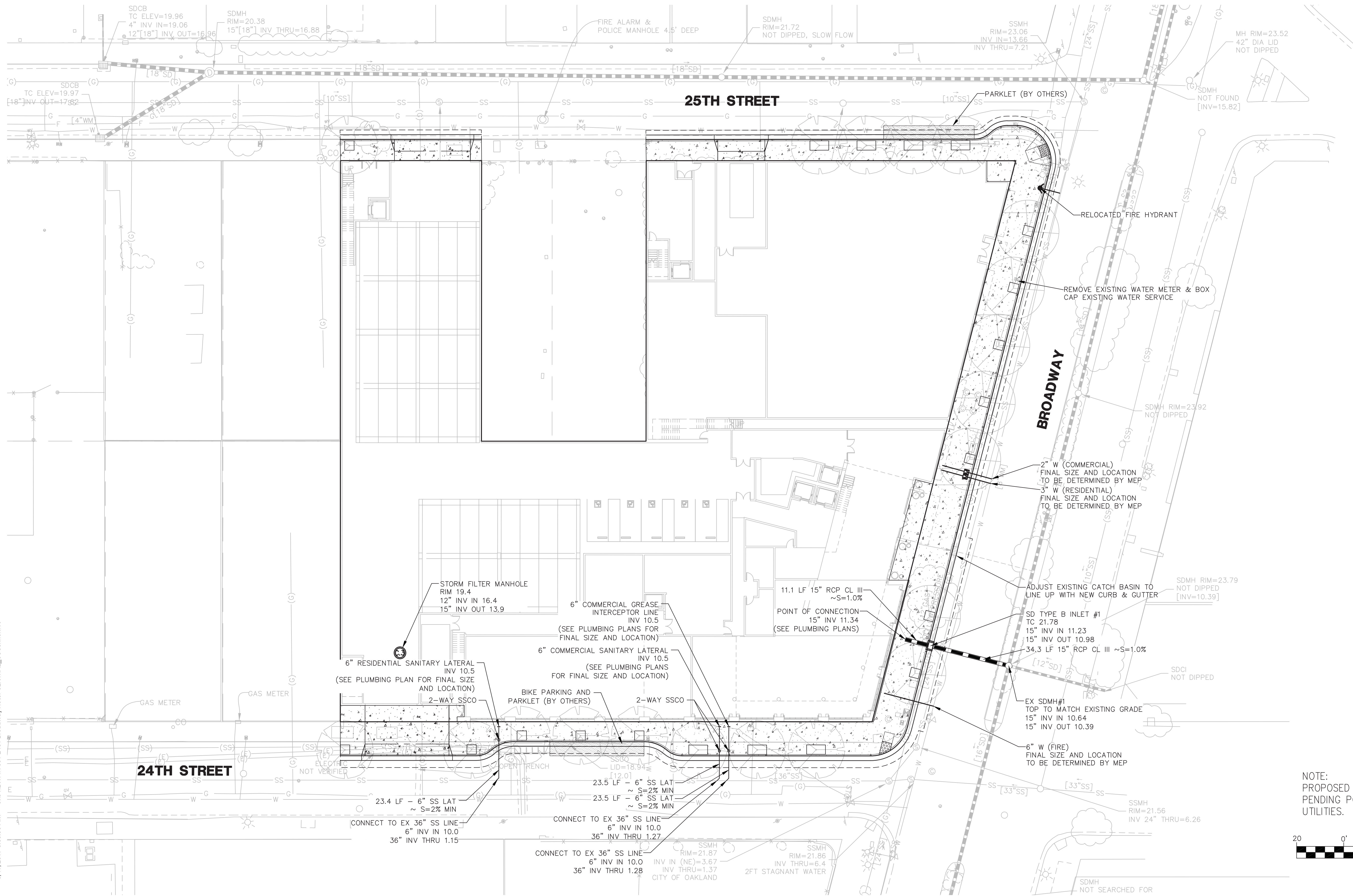
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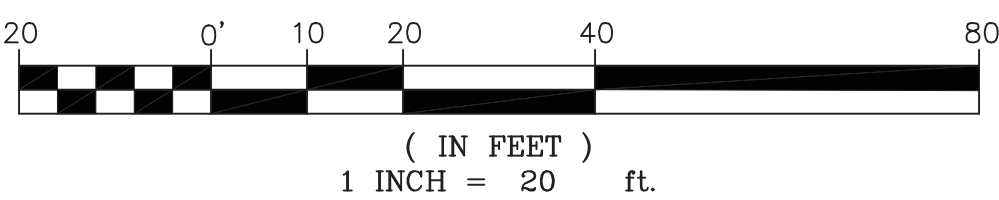


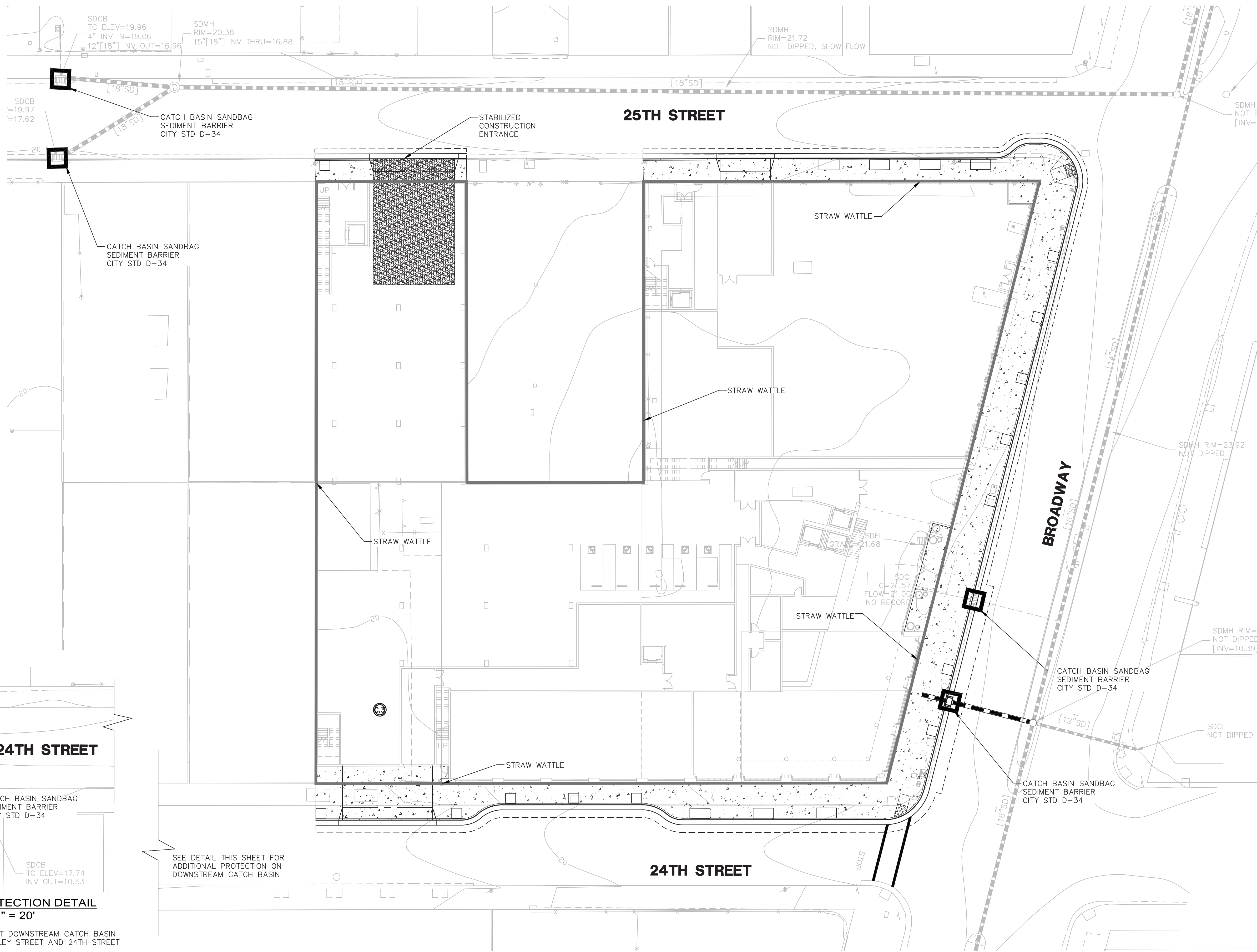
NOTE:
 PROPOSED UTILITY DESIGN TO BE UPDATED
 PER PENDING POT HOLE INFORMATION ON
 EXISTING UTILITIES.



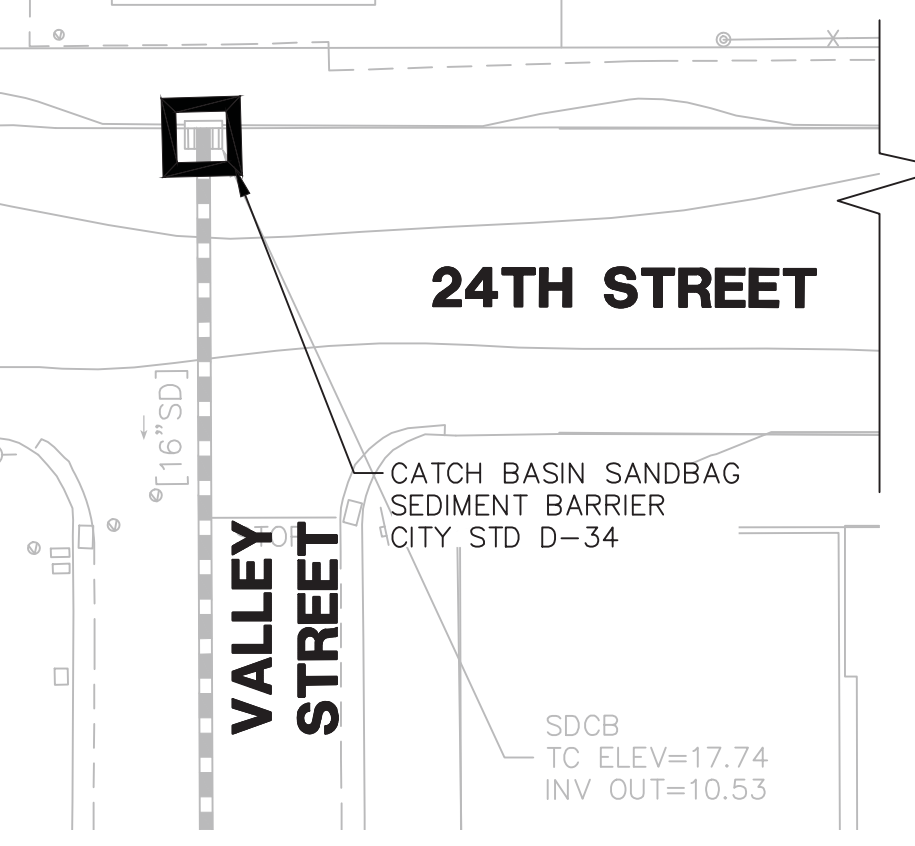


NOTE:
PROPOSED UTILITY DESIGN TO BE UPDATED PER
PENDING POT HOLE INFORMATION ON EXISTING
UTILITIES.





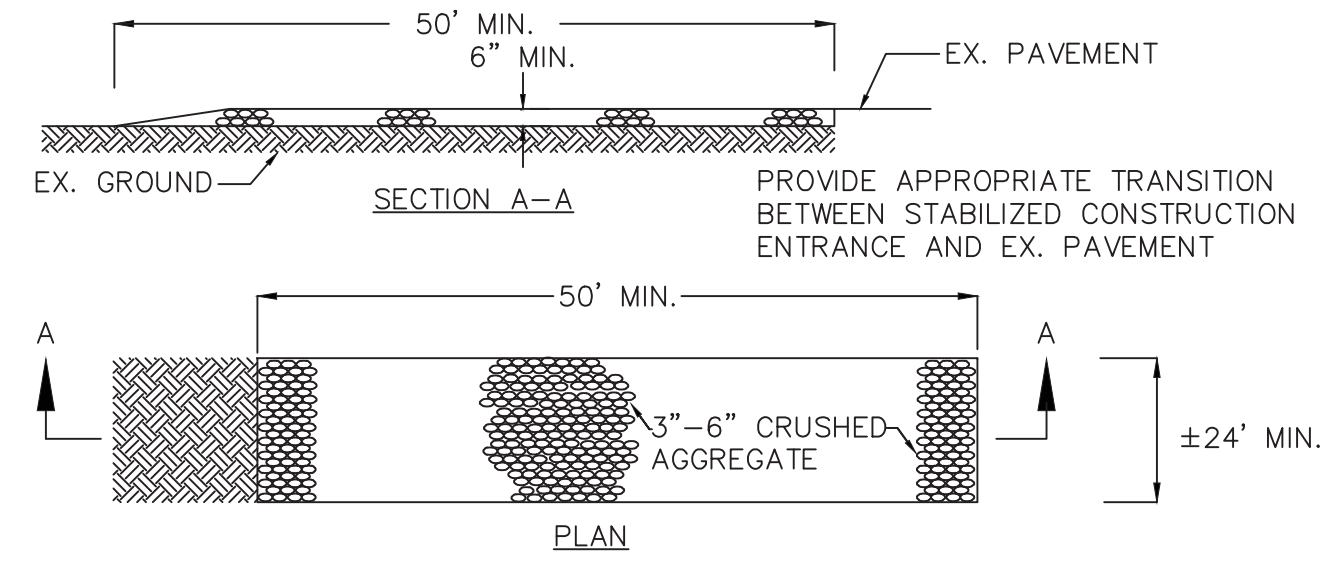
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CATCH BASIN PROTECTION DETAIL
SCALE: 1" = 20'

NOTE: PROVIDE PROTECTION AT DOWNSTREAM CATCH BASIN AT THE INTERSECTION OF VALLEY STREET AND 24TH STREET

SEE DETAIL THIS SHEET FOR ADDITIONAL PROTECTION ON DOWNSTREAM CATCH BASIN

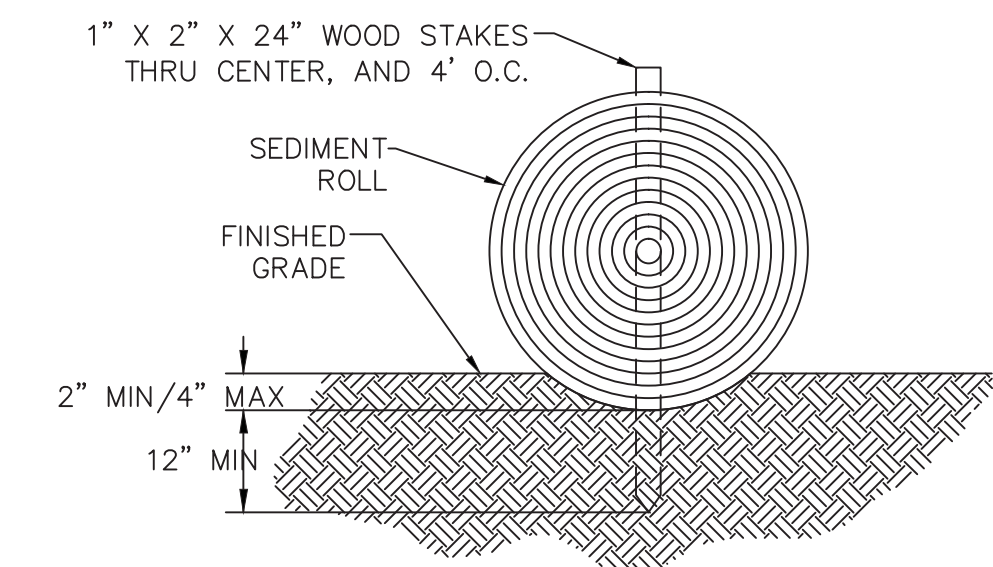
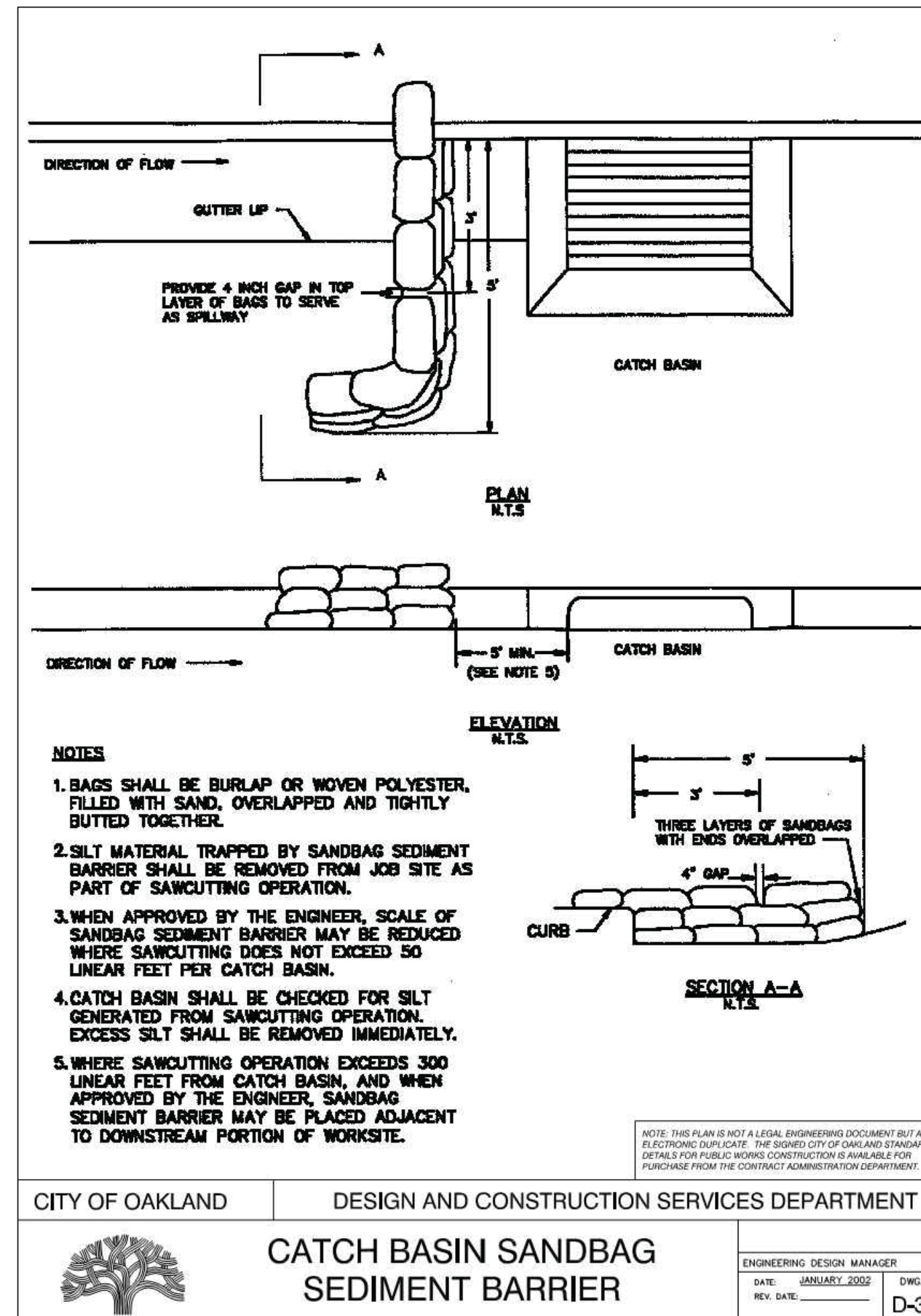


STABILIZED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE

EROSION CONTROL NOTES

1. TEMPORARY EROSION CONTROL DEVICES SHOWN ON GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
2. EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON AND MAINTAINED DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15).
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG) "MANUAL OF STANDARDS FOR EROSION AND SEDIMENT CONTROL MEASURES" UNLESS OTHERWISE STATED WITHIN THESE GENERAL NOTES. CONTROL MEASURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DIVISION OF THE PUBLIC SERVICES DEPARTMENT. SCHEDULE AN ENGINEERING INSPECTION BY CALLING 925-943-5839 AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.
4. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
5. A CONCRETE WASHOUT IS REQUIRED FOR ALL CONCRETE WORK. THE WASHOUT SHALL CONSIST OF A CONTAINMENT AREA ENCLOSED BY AN EARTHEN DIKE. PLASTIC TARP, COVERING THE CONTAINMENT AREA AND EARTHEN DIKE, SHALL BE STAKED IN AT OUTSIDE EDGE OF EARTHEN DIKE.
6. ADDITIONAL CONTAINMENT METHODS MUST BE PROVIDED FOR ANY WASTE STORAGE AREA, STOCKPILE/MATERIAL STORAGE AREA AND/OR CONSTRUCTION TOILET AREA.
7. STAND-BY CREWS SHALL BE ALERTED BY THE PERMITTEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.
8. AFTER OCTOBER 1, ALL EROSION CONTROL MEASURES WILL BE INSPECTED DAILY AND AFTER EACH STORM. AFTER OCTOBER 1, BREACHES IN DIKES AND SWALES WILL BE REPAIRED AT THE CLOSE OF EACH DAY AND WHENEVER RAIN IS FORECAST.
9. AS A PART OF THE EROSION CONTROL MEASURES, UNDERGROUND STORM DRAIN FACILITIES AND CONCRETE SHALL BE INSTALLED COMPLETE AS SHOWN ON THE GRADING PLAN.
10. IF ANY GRADING OPERATIONS, OTHER THAN LOT FINISH GRADING, ARE TO BE PERFORMED DURING THE RAINY SEASON, OCTOBER 1 THROUGH APRIL 15, AN EROSION CONTROL PLAN MUST BE SUBMITTED BY SEPTEMBER 1 AND THE PLAN MUST BE APPROVED BY THE CITY OF OAKLAND PRIOR TO THE COMMENCEMENT OF ANY SUCH GRADING OPERATIONS.
11. SANDBAGS, STRAW WATTLES AND/OR STRAW BALES SHALL BE STOCKPILED ON SITE AND PLACED AT INTERVALS SHOWN ON EROSION CONTROL PLANS, WHEN THE RAIN FORECAST IS 40% OR GREATER, OR WHEN DIRECTED BY THE INSPECTOR.
12. SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL. APPROVED SANDBAG FILL MATERIALS ARE DECOMPOSED GRANITE AND/OR GRAVEL, OR OTHER MATERIALS APPROVED BY THE INSPECTOR.
13. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THESE PLANS IN THE FIELD, SUBJECT TO APPROVAL OF THE CITY ENGINEER.
14. EROSION CONTROL STRUCTURES SHALL BE ADJUSTED BY THE CONTRACTOR TO REFLECT ALL CHANGES IN DRAINAGE AS STREETS AND BUILDING PADS ARE BEING INSTALLED.



STRAW WATTLES DETAIL

NOT TO SCALE

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NOTES

1. ROOF LEADERS WILL DIRECT STORMWATER RUNOFF TO C.3 TREATMENT DEVICE
2. PROPOSED SOURCE CONTROL MEASURES:
 - DIRECT DISCHARGE FROM COVERED TRASH, FOOD WASTE, AND COMPACTOR ENCLOSURES TO THE SANITARY SEWER.
 - DISCHARGE FIRE SPRINKLER TEST WATER TO THE SANITARY SEWER.

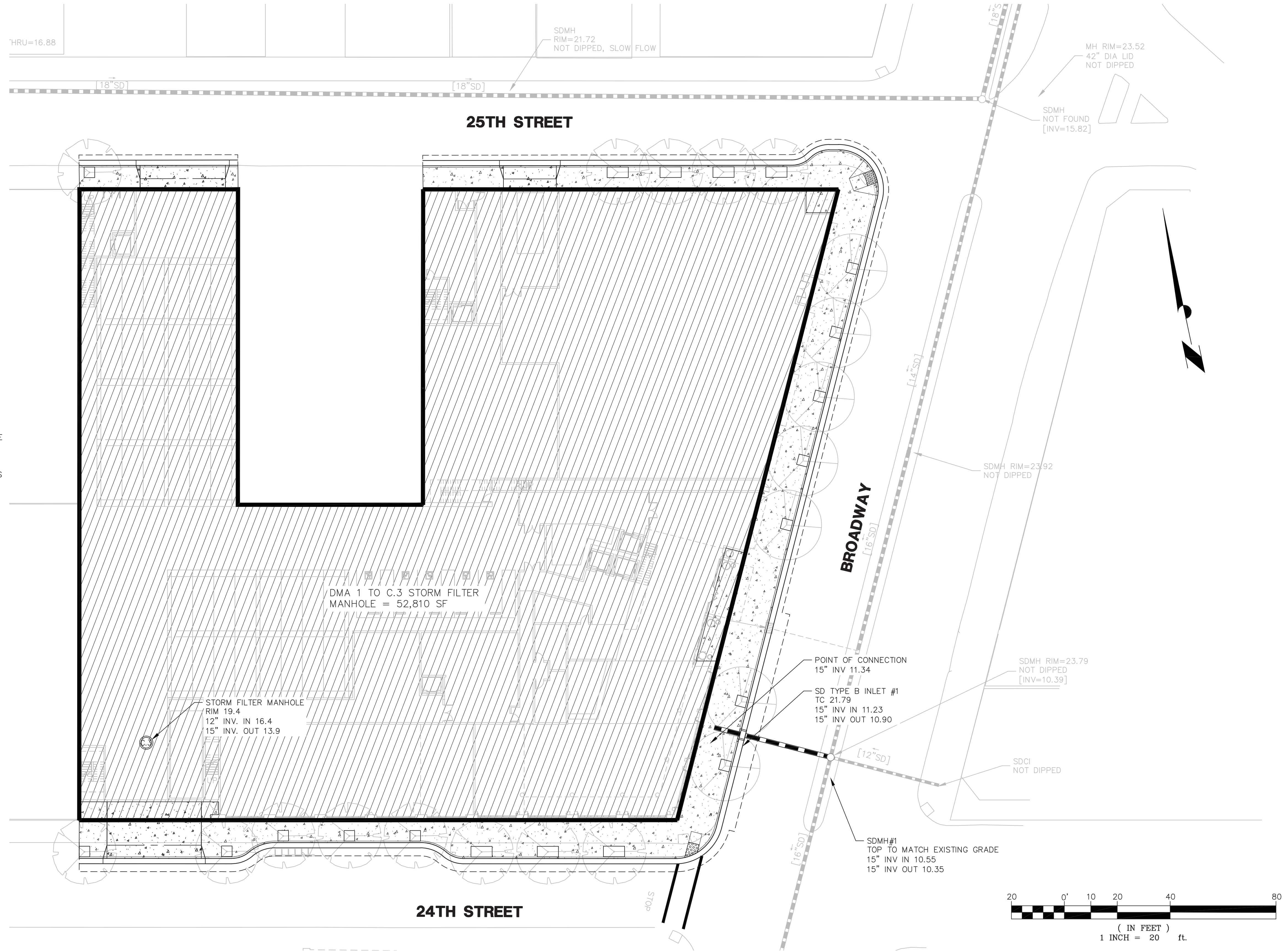
C.3 STORMWATER CONTROL EXHIBIT NOTES

1. CALCULATIONS ARE BASED ON THE ALAMEDA COUNTY CLEAN WATER PROGRAM'S "C.3 STORMWATER TECHNICAL GUIDANCE", VERSION 5.1, MAY 2, 2016 (GUIDEBOOK).
2. THE PROJECT TOTAL SITE AREA IS 1.21 ACRES AND THE TOTAL AREA OF LAND DISTURBED IS 1.50 ACRES.
3. THIS PROJECT PROPOSES TO CREATE 2,377 SQUARE FEET OF NEW IMPERVIOUS SURFACE AND WILL REPLACE 50,433 SQUARE FEET OF EXISTING IMPERVIOUS SURFACE AREA ON-SITE. THE TOTAL PRE-PROJECT IMPERVIOUS SURFACE AREA IS 1.16 ACRES ON-SITE. THE TOTAL POST-PROJECT IMPERVIOUS SURFACE AREA IS 1.21 ACRES ON-SITE.

IN ADDITION, PROJECT PROPOSES TO REPLACE 11,951 SQUARE FEET OF EXISTING OFF-SITE IMPERVIOUS AREA, INCLUDING THE PUBLIC STREETS (SIDEWALK, DRIVEWAYS, AND ROAD). THE PRE-PROJECT OFF-SITE IMPERVIOUS AREA IS 12,383 SQUARE FEET, INCLUDING PUBLIC STREETS (ROAD AND SIDEWALK). THERE IS A REDUCTION OF OFF-SITE IMPERVIOUS AREA DUE TO THE ADDITIONS OF TREE GRATES ALONG 25TH STREET, BROADWAY, AND 24TH STREET.
4. PROVISION C.3 PROJECT REQUIREMENTS FOR CATEGORY B: LARGER INFILL PROJECTS UNDER APPENDIX J.3 INCLUDE:
 - 4.1. BE BUILT AS PART OF THE MUNICIPALITY'S STATED OBJECTIVE TO PRESERVE OR ENHANCE A PEDESTRIAN-ORIENTED TYPE OF URBAN DESIGN.
 - 4.2. BE LOCATED IN A PERMITTEE'S DESIGNATED CENTRAL BUSINESS DISTRICT, DOWNTOWN CORE AREA OR DOWNTOWN CORE ZONING DISTRICT, NEIGHBORHOOD BUSINESS DISTRICT OR COMPARABLE PEDESTRIAN ORIENTED COMMERCIAL DISTRICT, OR HISTORIC PRESERVATION SITE AND/OR DISTRICT.
 - 4.3. CREATE AND/OR REPLACE GREATER THAN ONE-HALF ACRE, BUT NO MORE THAN 2 ACRES OF IMPERVIOUS SURFACE AREA.
 - 4.4. INCLUDE NO SURFACE PARKING, EXCEPT FOR INCIDENTAL SURFACE PARKING. INCIDENTAL SURFACE PARKING IS ALLOWED ONLY FOR EMERGENCY VEHICLE ACCESS, ADA ACCESSIBILITY, AND PASSENGER AND FREIGHT LOADING ZONES.
 - 4.5. HAVE AT LEAST 85% COVERAGE FOR THE ENTIRE PROJECT SITE BY PERMANENT STRUCTURES. THE REMAINING 15% PORTION OF THE SITE IS TO BE USED FOR SAFETY ACCESS, PARKING STRUCTURE ENTRANCES, TRASH AND RECYCLING SERVICE, UTILITY ACCESS, PEDESTRIAN CONNECTIONS, PUBLIC USES, LANDSCAPING, AND STORMWATER TREATMENT.
5. DESIGN CRITERIA
 - 5.1. MEAN ANNUAL PRECIPITATION = 21 INCHES PER ALAMEDA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT, FIGURE 9
 - 5.2. HYDRAULIC DESIGN CRITERIA: 0.2 INCHES PER HOUR RAINFALL INTENSITY
6. THIS PROJECT QUALIFIES AS A SPECIAL PROJECT UNDER CATEGORY B IN ACCORDANCE WITH THE ALAMEDA COUNTY CLEAN WATER PROGRAM'S "C.3 STORMWATER TECHNICAL GUIDANCE", VERSION 5.1. THE PERCENTAGE OF NON-LID TREATMENT IS 100%, RESULTING IN 1.21 ACRES OF STORMWATER RUNOFF TO BE TREATED BY HIGH FLOW-RATE MEDIA FILTERS.

LEGEND

EXISTING	PROPOSED	
		STORM DRAIN
		STORM DRAIN MANHOLE
		CATCH BASIN
		STORM FILTER MANHOLE
		ROOF AREA DRAINING TO C.3 STORM FILTER MANHOLE



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LANDSCAPE PROGRAM

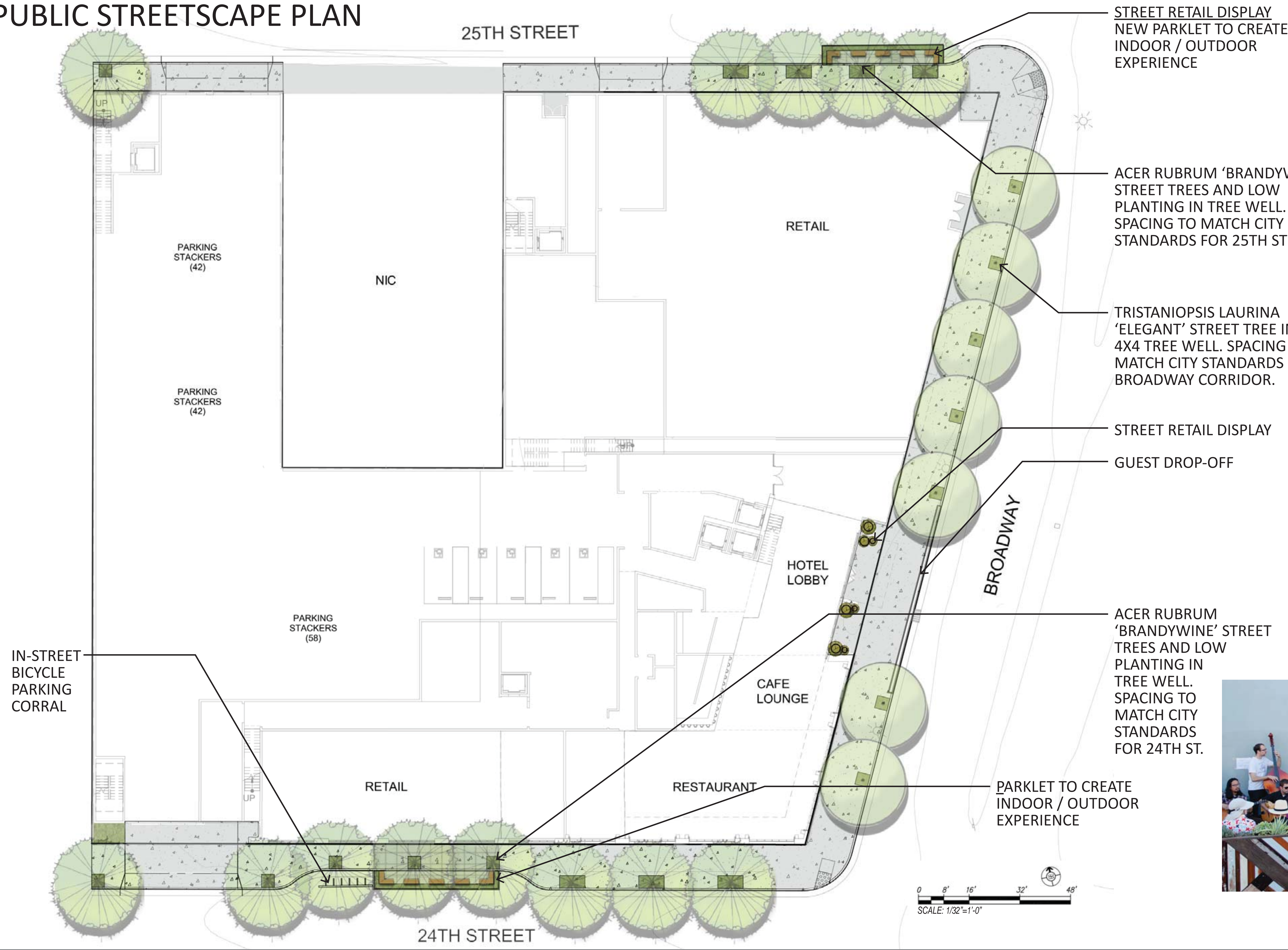


LEGEND

- ① PUBLIC STREETSCAPE
- ② HOTEL BREAKOUT COURTYARD 1
- ③ HOTEL BREAKOUT COURTYARD 2
- ④ HOTEL VIEWING GARDEN 1
- ⑤ HOTEL VIEWING GARDEN 2
- ⑥ HOTEL VIEWING GARDEN 3
- ⑦ BAR & LOUNGE TERRACE
- ⑧ RESIDENTIAL AMENITY COURTYARD
- ⑨ RESIDENTIAL ROOF DECK AT CLUB ROOM

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PUBLIC STREETSCAPE PLAN



STREET RETAIL DISPLAY
NEW PARKLET TO CREATE
INDOOR / OUTDOOR
EXPERIENCE

ACER RUBRUM 'BRANDYWINE'
STREET TREES AND LOW
PLANTING IN TREE WELL.
SPACING TO MATCH CITY
STANDARDS FOR 25TH STREET.

TRISTANIOPSIS LAURINA
'ELEGANT' STREET TREE IN
4X4 TREE WELL. SPACING TO
MATCH CITY STANDARDS FOR
BROADWAY CORRIDOR.

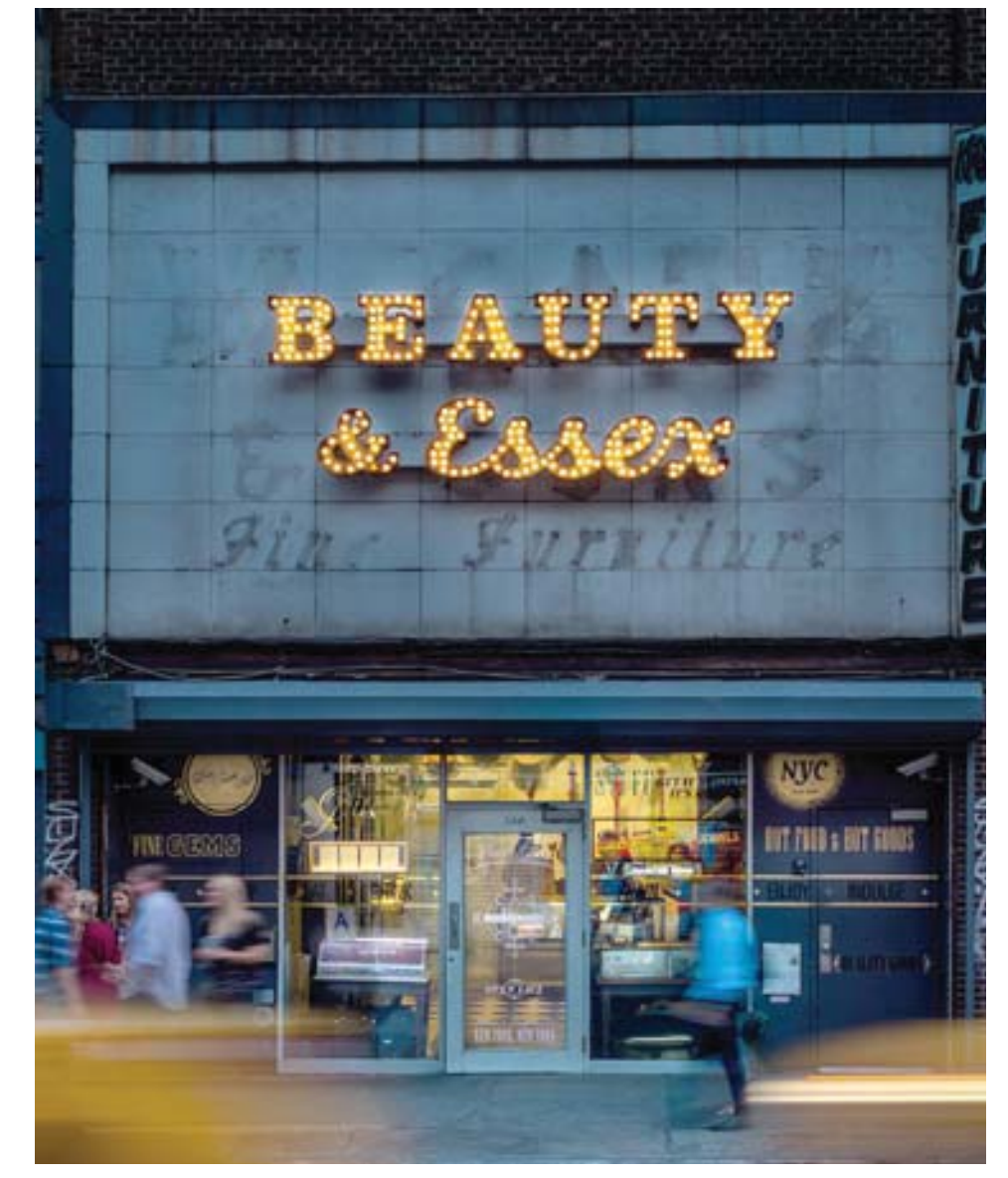
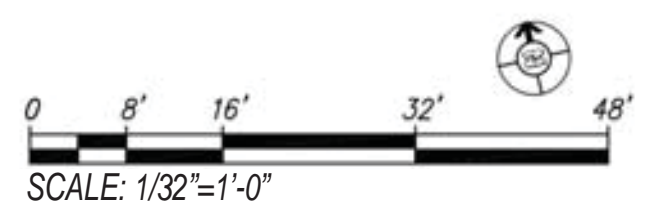
STREET RETAIL DISPLAY

GUEST DROP-OFF

ACER RUBRUM
'BRANDYWINE' STREET
TREES AND LOW
PLANTING IN
TREE WELL.
SPACING TO
MATCH CITY
STANDARDS
FOR 24TH ST.

BROADWAY

PARKLET TO CREATE
INDOOR / OUTDOOR
EXPERIENCE



Unique wayfinding



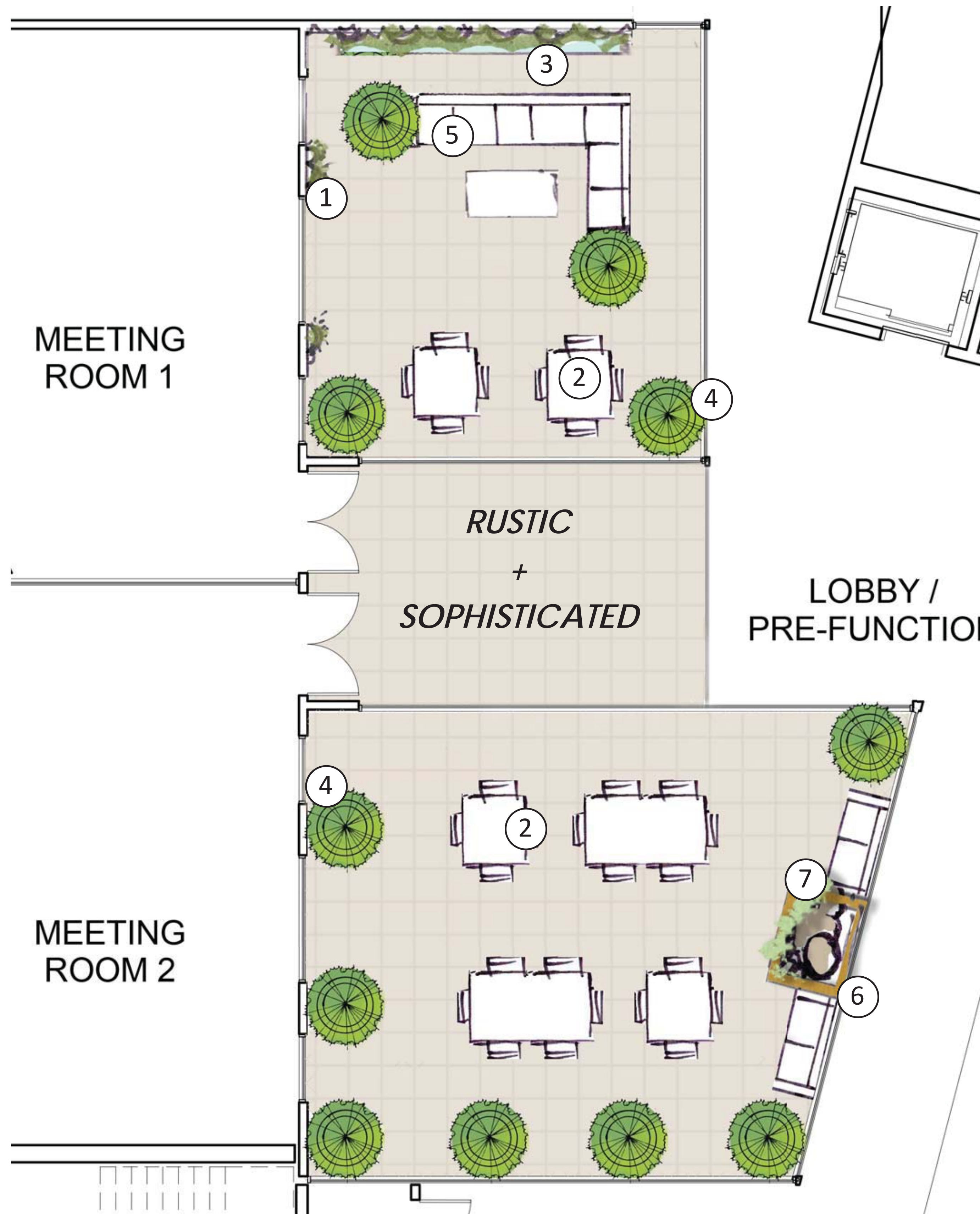
Street retail display



Parklet

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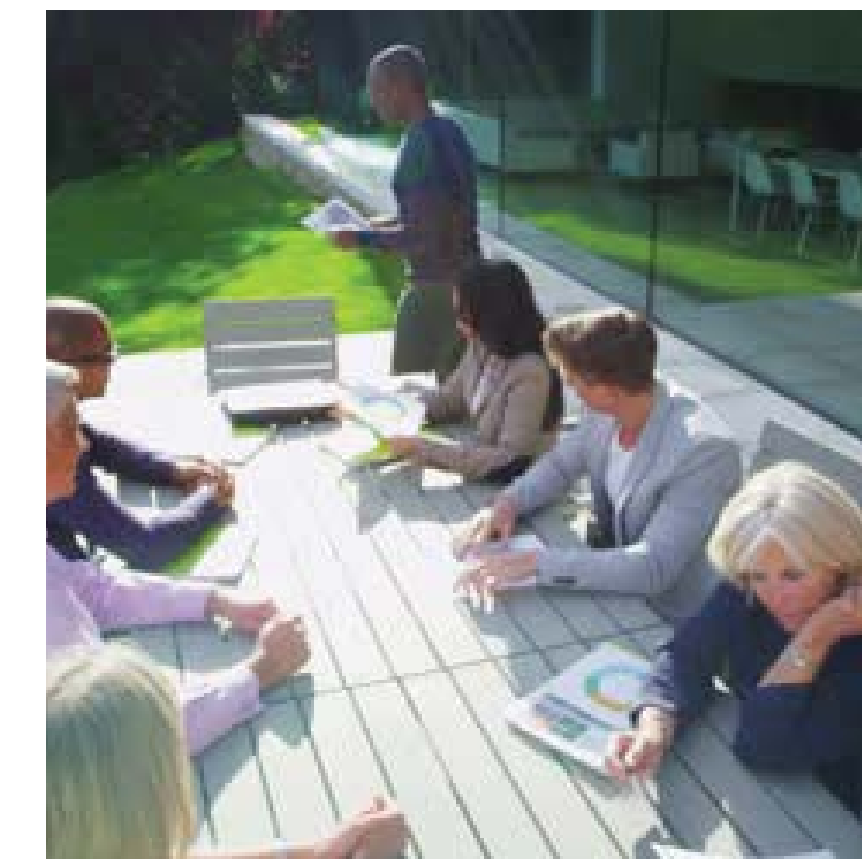
LEVEL 2 - HOTEL BREAKOUT COURTYARDS 1 & 2



① Wall art



Atrium



② Meeting tables



Lighting



③ Wall water feature



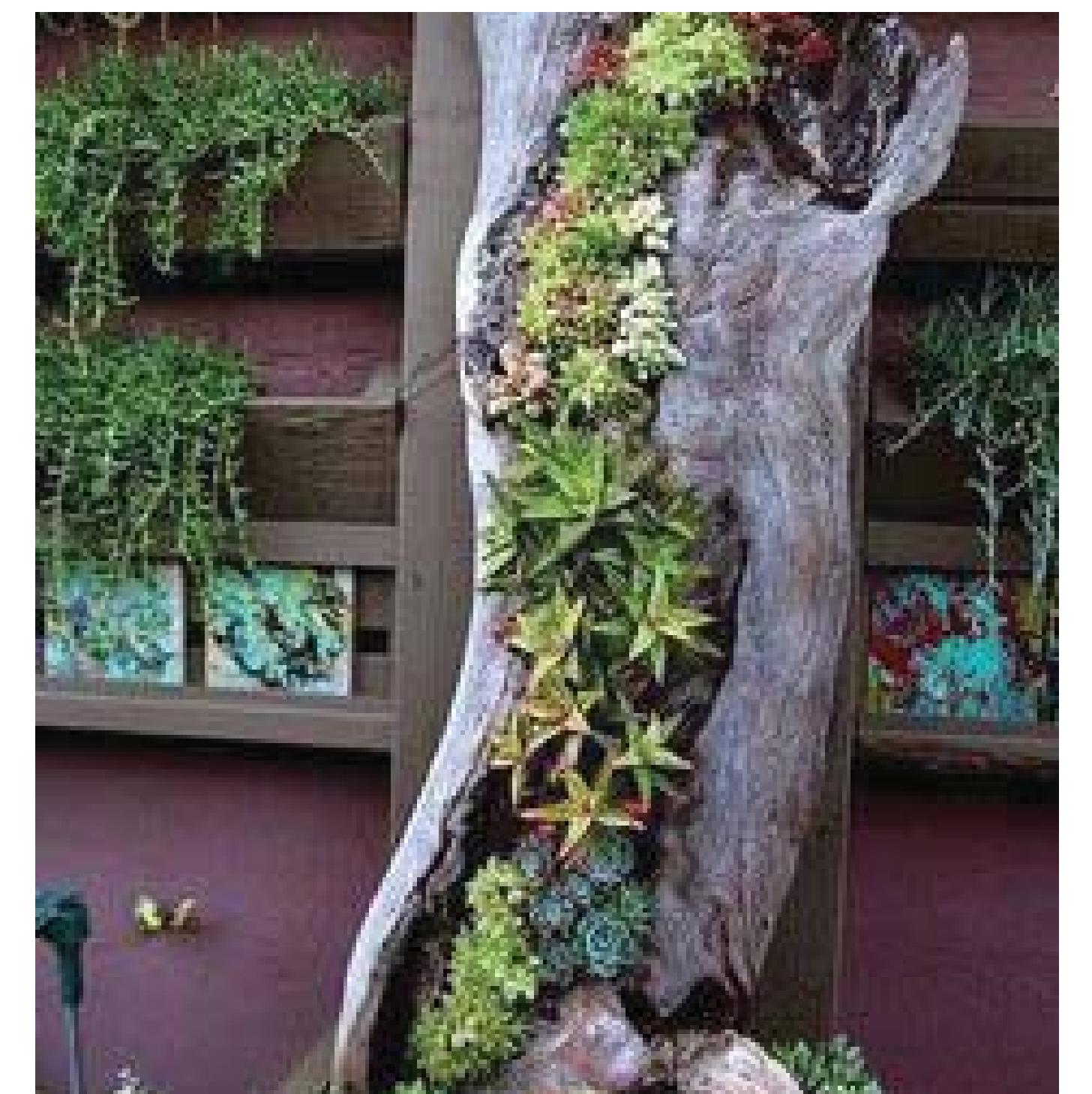
④ Mobile planters



⑤ Lounge seating



⑥ Reclaimed redwood mobile planter



⑦ Sculptural planting / Art

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LEVEL 3 - HOTEL VIEWING GARDEN 1



Sculptural planting element

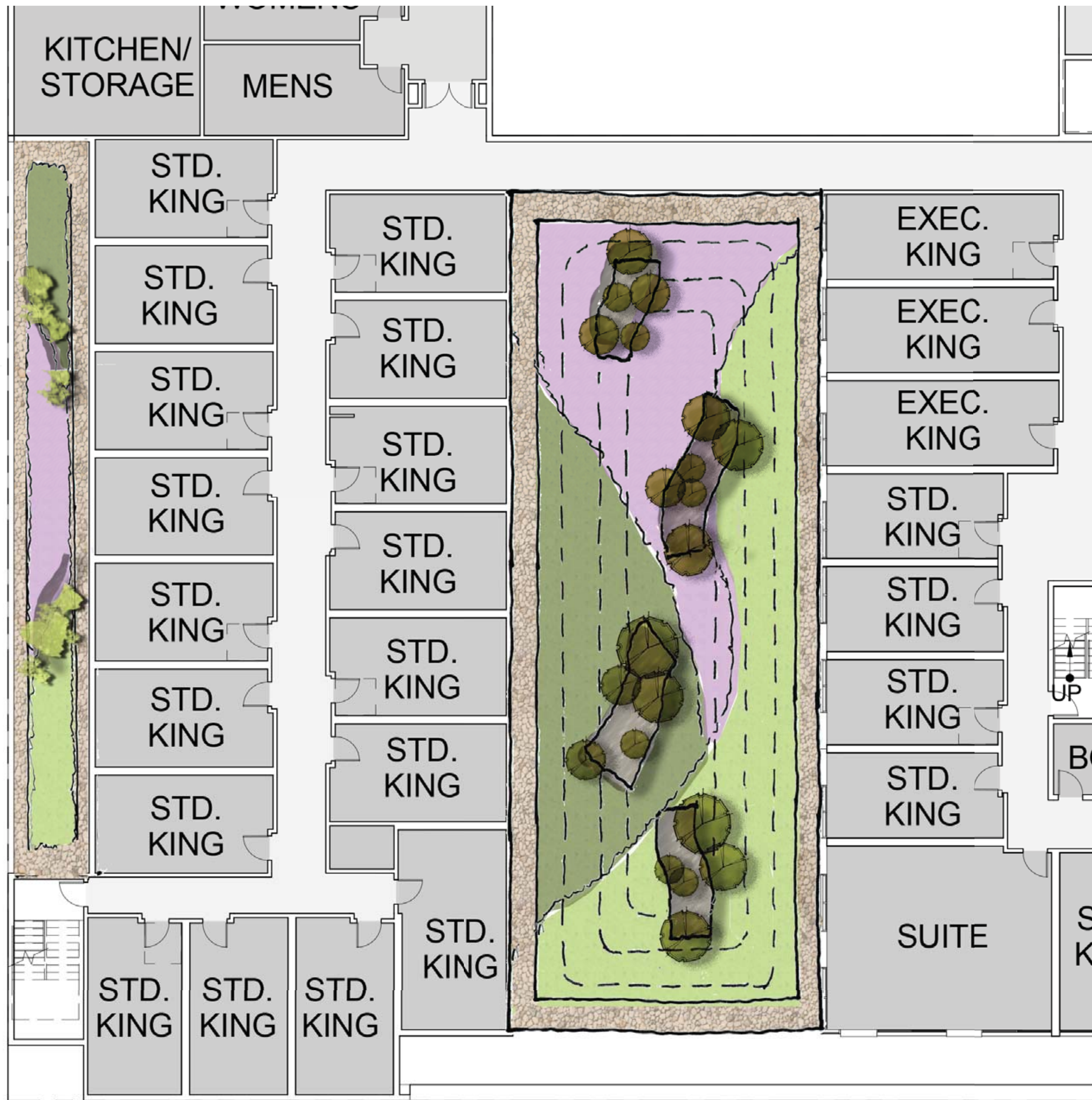


Landscape massing

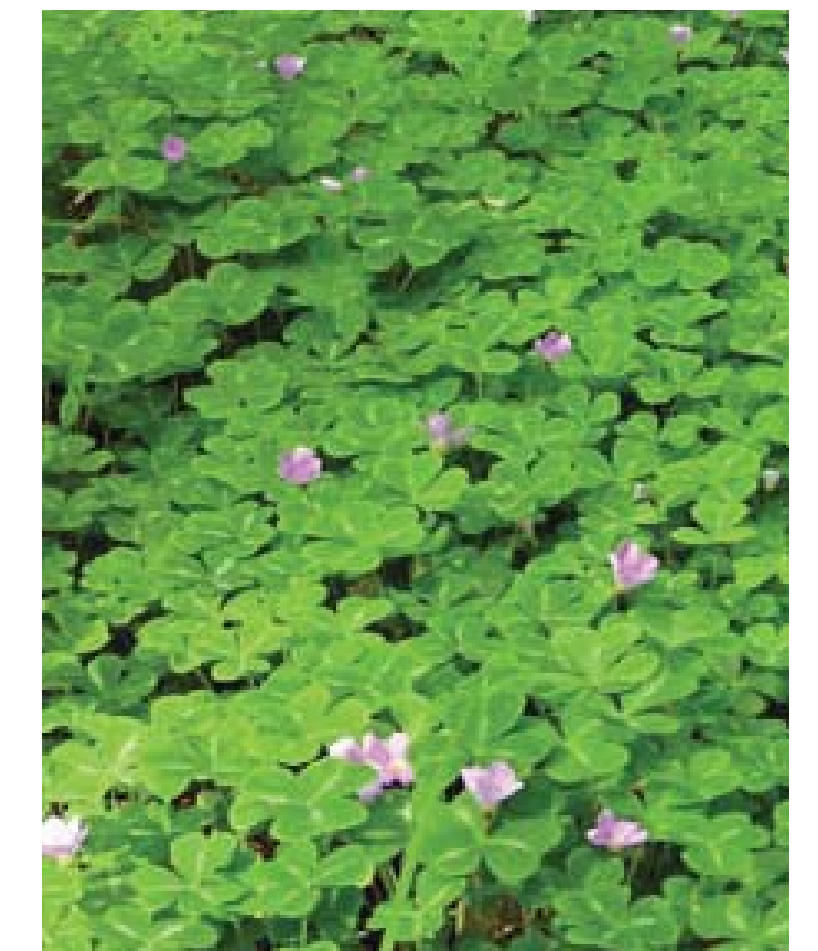


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LEVEL 3 - HOTEL VIEWING GARDENS 2 & 3

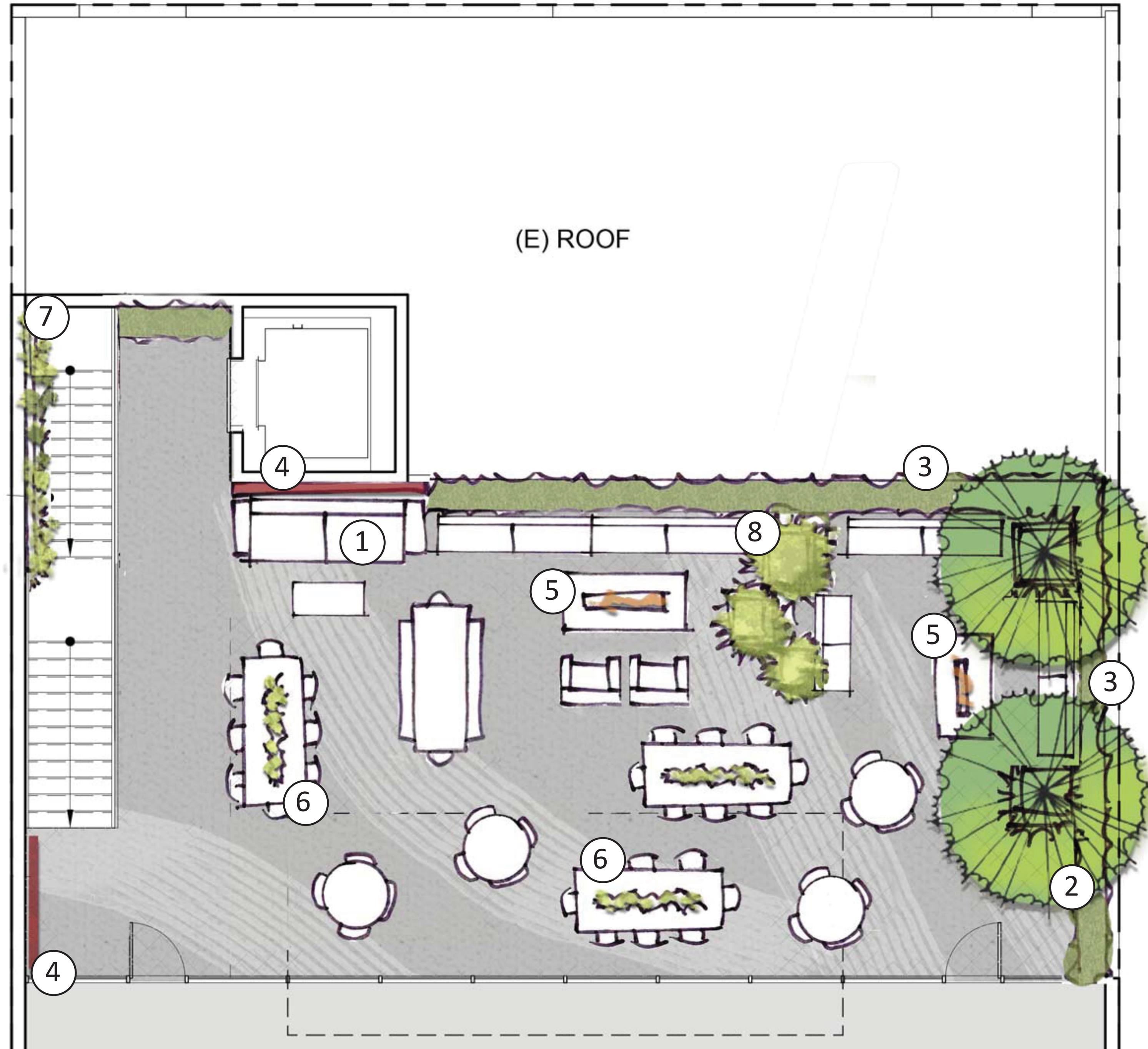


Emergent Landscape



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LEVEL 3 - BAR & LOUNGE TERRACE



① Lounge furniture



② Citrus trees + herbs



Connection + community



③ Reclaimed wood screening + planters



④ Local art



⑤ Firepits



⑥ Community tables



⑦ Greenwall



⑧ Cityscape planters

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LEVEL 3 - RESIDENTIAL AMENITY COURTYARD



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① Curved seating



② Landscape mounds



③ Art sculpture / Water feature

LEVEL 8 - RESIDENTIAL ROOF DECK AT CLUB ROOM



⑥ Lounge Seating



⑤ Bar Rail



① Double sided fireplace



② Outdoor kitchen



③ String lighting



④ Ornamental Vegetable + herb gardens

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