

# Proposed Daycare at 5315 College Avenue Traffic Impact Study

In the  
City of Oakland



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1630 San Pablo Ave, Oakland CA 94612

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## 1. Project Description

The existing site is a single parcel with identification as Alameda County Assessor Parcel Number (APN) 014-1249-011-03, with an approximate lot area of 3,734 sq. ft., an approximate Gross Floor Area (GFA) of 2429 sq. ft., and zoning type of Neighborhood Commercial as CN-1<sup>1</sup>. The existing structure has two levels: a ground floor and a basement. The existing site was in service as a law office.

The new owner is proposing to convert the existing building from an office to a daycare facility. The proposed structure will maintain the basement, the first floor, and adds a second floor with a total area of 4,699 sq. ft. that includes Children Care Area of 1,029 sq. ft., and 1,030 sq. ft. on the 1<sup>st</sup> and 2<sup>nd</sup> floors respectively. The proposed basement will mainly be used for storage and staff meeting space. The Gross Floor Area (GFA) for the proposed 1<sup>st</sup> and 2<sup>nd</sup> floors is 3050 sq. ft.

There is no off-street parking in the existing site and proposed improvement and there are no net changes to the on-street parking. The proposed improvement will not alter the public right-of-way such as sidewalk width, direction, or channelization of travel lanes. The project plans in Appendix A provide all the information including site plan, quantities, dimensions, and access to the site.

This report follows the scope of work that was approved by the City of Oakland and the City's Transportation Impact Review Guidelines (TIRG). A copy of the scope of work is provided in Appendix B.

## 2. Study Area Description

The proposed daycare site is located at 5315 College Avenue, in Oakland, CA, 94618. As shown in Figure 1, the property is located adjacent to the unsignalized intersection of College Avenue and Bryant Avenue. The STOP sign on Bryant Avenue requires all vehicles to stop at the intersection before turning onto College Avenue. A pedestrian crosswalk is provided on the North and East side of the intersection.

College Avenue is a North-South road that runs from Broadway in Oakland through Rockridge and ends at the City of Berkeley. In the study area, College Avenue is a two-lane road with a posted speed of 25 miles per hour including dedicated bike lanes, sidewalks, and on-street paid parking in both directions. Adjacent to the road are mainly one- to three-story commercial buildings and restaurants, including residential units on the upper floors.

Bryant Avenue is a local residential two-lane road with an advisory speed of 15 miles per hour that connects College Avenue to a residential neighborhood. Sidewalks and on-street parking are provided in both directions on Bryant Avenue. Three speed bumps have been implemented along Bryant Avenue as traffic calming devices. The closest one is located within 200 ft of the intersection of College Avenue and Bryant Avenue.

A bike-share facility with 17 docking stations is located on the northeast side of the intersection on College Avenue, right across the project site. Rockridge Bay Area Rapid Transit (BART)

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<sup>1</sup> <http://gisapps1.mapoakland.com/planmap/planmap.html?apn=014%20124901103>

station is located at College Avenue and State Route 24 (SR-24), 0.42 miles north of the site. There are a few bus stops in the study area within a 600 feet distance.



Figure 1 - Site Location and Study Area (Source: Google Earth)

### 3. Transportation Analysis

This section includes a Trip Generation analysis that estimates the number of trips generated by the proposed daycare and provides a multi-modal trip distribution based on the existing transportation network.

Also, this section includes a proposed Pick-up and Drop-off plan to demonstrate the number of vehicles, pedestrians, and bicycles arriving and departing the daycare during peak hour time. If required, the plan will provide mitigation to minimize any adverse impact on the capacity of the existing traffic network circulation on College Avenue. This plan is different from the Trip Generation and is meant to provide more insight on how the parents will pick up and drop off their kids using different type of transportation modes.

#### 3.1. Trip Generation

The Institute of Transportation Engineers (ITE) produces a document entitled Trip Generation (11th Edition), which is used to predict the number of trips associated with the proposed development. The ITE is an internationally recognized organization that has compiled numerous trip-generation studies to determine trip rates associated with various types of developments including retail, residential, recreational, institutional, industrial and office uses. ITE trip generation rates were utilized to estimate the number of peak-hour trips that would be

generated by each future project. Table 1 summarizes the trip generation by the proposed development. The total GFA for the proposed 1<sup>st</sup> and 2<sup>nd</sup> floors is 3,050 sq. ft.

It is noteworthy that ITE Trip Generation assumes that all travel occurs using personal vehicles.

*Table 1 - ITE Trip Generation-Weekday Peak Hour of Generator – Proposed Land Use*

Land Use	Units*	AM Peak Hour			PM Peak Hour		
		In	Out	Total	In	Out	Total
Day Care Centre (ITE #565)	3.05*	19	17	36	17	19	36

\*Multiply by 1000 sq. ft. GFA.

Table 1 states that the proposed daycare will generate 36 vehicles before any adjustments during either of the peak hours. The ITE Trip Generation outputs are provided in Appendix C.

### 3.1.1. Modal Split and Internal Capture Adjustments

As stated in the City of Oakland’s TIRG, ITE Trip Generation overestimates motor vehicle trips when applied to urban environments such as many Oakland neighborhoods that have dense setups. To adjust for the ITE overestimates, the City of Oakland has developed mode split adjustment factors for ITE trip generation rates. This adjustment accommodates other modes of trips and available facilities such as accessible public transit, existing bike lanes, and bike-sharing stations, as well as internal trips by walking. The criteria are based on distance from the subway station or/and density. Table 2 shows the default adjustment factors from TIRG.

*Table 2 - Default City of Oakland Multimodal Trip Generation Adjustment Factors*

Distance from BART/Amtrak	<0.5 miles	>0.5 miles, <1.0 mile	> 1.0 mile		
Land Use Type (Density) <sup>7</sup>			Urban (>10,000)	Dense Suburban (6,000 - 10,000)	Suburban (<6,000)
<b>Motor Vehicle Trips<sup>8</sup></b>	53.1%	63.3%	76.9%	79.5%	84.4%
<b>Transit</b>	29.7%	23.6%	17.9%	16.2%	11.3%
<b>Bike</b>	5.1%	4.9%	1.9%	1.6%	0.9%
<b>Walk</b>	10.5%	6.2%	2.0%	1.0%	2.6%

Table 3 provides the adjusted trips based on the default factors in Table 2, considering the fact that Rockridge BART station is within 0.5 miles distance from the proposed development.

Table 3 - Application of Mode Split Adjustment Factors

Distance from Bart/Amtrak	<0.5 miles	>0.5 miles, & <1.0 miles	> 1.0 miles		
			Urban (>10,000)	Dense Suburban (6,000 -10,000)	Suburban (<6,000)
<b>Land Use Type (Density)</b>	-	-	-	-	-
<b>Motor Vehicle Trips</b>	36	-	-	-	-
<b>Transit</b>	-	-	-	-	-
<b>Bike</b>	-	-	-	-	-
<b>Walk</b>	-	-	-	-	-

### 3.1.2. Public Transit Accessibility

Public transit is one of the most frequently used modes of transportation in urbanized areas such as the City of Oakland. There are four stops within a 650 feet radius of the proposed daycare. Two of the bus stops are located on the north side of the site at the intersection of College Avenue and Manila Avenue. The other two bus stops are located on the south side of the proposed daycare at the intersection of College Avenue and Broadway. The bus stops in the northbound direction serve bus routes 51A, 605, and 851 while the bus stops in the southbound direction serve routes 51A and 851.

Rockridge BART station at College Avenue and SR-24 is the closest subway station with 0.42 miles distance from the site. Also, the public bike-sharing station across the site is very convenient and accessible to the proposed development. Figure 2 exhibits the connectivity between the proposed daycare and the existing transit system on College Avenue.



Figure 2 - Site Connectivity to Public Transit (Source: Google Earth)

### 3.1.3. Parking Availability

No off-street parking space is provided for the property. There are three on-street parking in front of the site including one disabled parking and two paid parking. In addition, there are paid parking spaces available on both sides of College Avenue.

Figure 3 exhibits the location of the existing on-street parking adjacent to the proposed daycare.



Figure 3 - On-Street Parking Spots Adjacent to the Site (Source: Google Earth)

### 3.2. Drop-off and Pick-up Plan

Reviewing a similar facility that is run by the owner of this development indicates that the proposed development's drop-offs and pick-ups occur during a two-hour period. It means that parents have the flexibility of dropping off or picking up their kids during a two-hour span. This flexibility makes the arriving or departing traffic to/from the daycare scattered into a two-hour window and generates less traffic during the peak hours. A data survey by the owner at a similar facility confirms that 75% percent of parents arrive between 8 AM to 9 AM while the rest arrive from 9 AM to 10 AM. Similarly, 35% of parents pick up their children between 4 PM to 5 PM while the rest pick up their children from 5 PM to 6 PM.

The availability of on-street parking spots on both sides of College Avenue and Bryant Avenue provides enough space for the parents to park and pick up or drop off their kids without blocking the road or impacting traffic circulation in the study area. A quick survey confirms more than 20 on-street parking are available in the immediate block area. To facilitate pick-ups and drop-offs, we are proposing the following options:

- converting the existing two parking spots in front of the daycare into short-term green curb parking zones with a 10-minute parking sign.
- establishing a carpool system service for the children's drop-offs/pick-ups and encouraging parents to use it.
- there will be staff to assist with drop-off/pick-up circulation during the morning and afternoon peak hours.

The proposed daycare is very accessible to public transit, a bike-sharing station, and a pedestrian crossing that facilitates trips to/from the proposed daycare safely without any degradation to the traffic network. Figure 4 exhibits the two green parking spots.





Figure 4 - Proposed Green Parking Spots

## 4. California Environmental Quality Act (CEQA) Analysis

The City of Oakland's TIRG requires an evaluation of potential impacts related to Vehicle Miles Travelled (VMT) criteria in CEQA transportation studies of proposed land use development projects. TIRG also ensures that potentially significant impacts are studied according to the City's recognized thresholds of significance. The following section includes the City's thresholds of significance, methodology, and results of the VMT screening assessment and project-specific analysis.

### 4.1. CEQA Significance Criteria

The following are CEQA significance criteria established by the City of Oakland as described in the TIRG. A land use project would have a significant effect on the environment if it would:

- Conflict with a plan, ordinance, or policy addressing the safety or performance of the circulation system, including transit, roadways, bicycle lanes, and pedestrian paths (except for automobile level of service or other measures of vehicle delay); or
- Cause substantial additional VMT per capita, per service population, or other appropriate efficiency measure; or
- Substantially induces additional automobile travel by increasing physical roadway capacity in congested areas (i.e., by adding new mixed-flow lanes) or by adding new roadways to the network.

## 4.2. Thresholds of Significance

As described in the TIRG, the following are thresholds of significance related to substantial additional VMT:

- For residential projects, a project will cause substantial additional VMT if it exceeds existing regional household VMT per capita minus 15 percent.
- For office projects, a project will cause substantial additional VMT if it exceeds the existing regional VMT per employee minus 15 percent.
- For retail projects, a project will cause substantial additional VMT if it exceeds the existing regional VMT per employee minus 15 percent.

## 4.3. Consistency with Plans

As mentioned in TIRG, the City of Oakland's adopted Plans and Policies shape the basis for transportation studies. These plans and policies are consulted as part of this report in order to evaluate applied principles and efforts to alleviate environmental effects if needed. This section also includes the justification behind the conclusion that the proposed improvement will not conflict with any plans and policies.

- **City of Oakland General Plan - Land Use and Transportation Element (1998):** The proposed improvement utilizing the existing site and converting it to a daycare is consistent with the intent of the land use designation in the LUTE.
- **City of Oakland General Plan - Bicycle Master Plan (2019):** The proposed improvement would be consistent with the Bicycle Master Plan (BMP) and would not conflict with any of the bike facilities in the BMP.
- **City of Oakland General Plan - Pedestrian Master Plan (2017):** The proposed improvement would be consistent with the Pedestrian Master Plan as it would maintain the existing pedestrian facilities to access the development.
- **City of Oakland General Plan - Transit First Policy (1996):** The proposed improvement is consistent with the Transit First Policy because it is within a half-mile from Rockridge BART station and close to transit corridors on College Avenue.
- **City of Oakland General Plan - Scenic Highways (1974):** The Scenic Highways Element requires the conservation and enhancement of attractive roadways and major streets going through the City. The proposed improvement is not adjacent to roads that are considered part of the existing or future scenic route network.
- **Central and East Oakland Community-Based Transportation Plan (2007):** The proposed improvement has no conflict with the plan.
- **Oakland Department of Transportation Strategic Plan (2016):** The Oakland Department of Transportation released a strategic plan in 2016 to emphasize project and operational ranking and strategy of the Oakland Department of Transportation. The improvement does not conflict with the strategies presented in the strategic plan.
- **Americans with Disabilities Act Policy:** The proposed daycare will provide access ramps following the ADA standards and will not conflict with the City's ADA policy.
- **Complete Streets Policy:** The City of Oakland's Complete Streets Policy requires that Oakland streets provide safe and convenient travel options for all users. There is no off-site improvement that conflicts with the City's Complete Streets Policy.

#### 4.4. Vehicle Miles Travelled Analysis

The VMT screening criteria are provided in TIRG. If the project meets any of the three screening criteria, it will be “screened out” meaning VMT impacts for the project are less-than-significant, thus a detailed VMT analysis is not required.

The VMT screening assessment determined that the proposed improvement meets at least one of the criteria. Thus, the project is exempt from a detailed CEQA analysis because the proposed daycare is considered to cause a less-than-significant impact on the traffic network. Table 4 provides the VMT screening assessment.

*Table 4 - VMT Screening Analysis Results*

Screening Criteria	Description	Meet Criteria?
Near Transit Station	Site is located within 0.5 miles of a major transit station	YES
Small project	Site generates less than 100 daily vehicle trips	-
Low-VMT Area	Site is located within a low-VMT area	-

### 5. Conclusion and Findings

The following results are concluded from the Transportation Impact Study:

- The estimated number of trips were generated from ITE Trip Generation Manual, 11<sup>th</sup> Edition, and utilizing the City’s TIRG mode share adjustment. The proposed daycare would generate 72 daily vehicle trips, including 36 trips during AM and PM peak hours.
- The proposed daycare is located within 0.5 miles of Rockridge BART station and close to bus stops.
- The proposed daycare would result in a less-than-significant CEQA transportation impact.

As a result, it concludes that the proposed daycare will not have any adverse impact on the existing traffic network.

# **APPENDIX A**

## **Project Plans and Layouts**

**GENERAL NOTES**

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT MOST STRINGENT REQUIREMENTS OF THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, CALIFORNIA FIRE CODE (CFC), UNIFORM PLUMBING CODE (UPC), UNIFORM MECHANICAL CODE (UMC), NATIONAL ELECTRICAL CODE (NEC), NFPA, ETC.

2. EXAMINATION OF THE SITE AND PORTIONS THEREOF, WHICH WILL AFFECT THE CONTRACTOR'S WORK, SHALL BE MADE BY THE CONTRACTOR WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF/ HERSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. HE/ SHE SHALL AT SUCH TIME, ASCERTAIN AND CHECK ALL EXISTING CONDITIONS AND DIMENSIONS WHICH MAY AFFECT HIS/ HER WORK. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE REPORTED TO THE OWNER PRIOR TO START OF WORK. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE FOR ANY EXPENSES TO WHICH HE/ SHE MAY INCUR DUE TO THE FAILURE OR NEGLECT ON HIS/HER PART TO MAKE SUCH EXAMINATION.

3. WORK WHICH IS REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETELY USEABLE/ OPERABLE INSTALLATION WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY NOTED ON THE PLANS OR INCLUDED IN THE SPECIFICATIONS WILL BE PERFORMED AS PART OF THE CONTRACT.

4. THE CONTRACTOR SHALL ARRANGE FOR THE PREMISES TO BE MAINTAINED IN AN ORDERLY MANNER THROUGHOUT THE COURSE OF THE CONSTRUCTION. MAINTAIN CLEANLINESS AND REQUIRED MEANS OF EGRESS/ ACCESS. PROTECT NON-WORK AREAS FROM DAMAGE WHICH MAY OCCUR FROM NEW WORK. PROVIDE AND MAINTAIN TEMPORARY BARRIERS, CLOSURE WALLS, ETC. AS DEMOLITION, DUST, WATER, AND NECESSARY FOR THE SAFETY OF THE PUBLIC AND THE EMPLOYEES DAMAGE TO EXISTING STRUCTURES AND EQUIPMENT SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.

5. PROVIDE ALL NECESSARY PERSONNEL, EQUIPMENT, AND TEMPORARY BARRICADES TO PROTECT THE PUBLIC DURING EXCAVATION WORK. PROTECT STRUCTURES, SIDEWALKS, PAVEMENT, FENCES, BENCHES, AND FACILITIES WITHIN OR ADJACENT TO THE CONSTRUCTION SITE FROM DAMAGE DUE TO SETTLEMENT, UNDERMINING, WASHOUT, OR OTHER HAZARDS CREATED DURING EARTHWORK OPERATIONS. MAINTAIN BENCH MARKS, MONUMENTS, AND OTHER REFERENCE POINTS. REPAIR BROKEN OR CRACKED SIDEWALK CURB AND GUTTER DAMAGE DUE TO EARTHWORK.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING LEFT OVER MATERIALS, DEBRIS, TOOLS, AND EQUIPMENT INVOLVED AT THE CONCLUSION OF THE INSTALLATION. HE/ SHE SHALL LEAVE THE ALL AREAS CLEAN AND IN PERFECT CONDITION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED AND DISPOSED OF PER THE OWNER'S DIRECTION.

7. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY UTILITIES FOUND IN MATERIAL TO BE REMOVED. ARRANGE AND PAY FOR DISCONNECTING, REMOVING, AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION OF EXCAVATION. CUTBACK, CAP, DISCONNECT, AND IDENTIFY ALL SERVICES WHICH ARE NOT TO BE USED. NOTIFY THE AFFECTED UTILITY COMPANY IN ADVANCE OF STARTING THIS WORK AND OBTAIN THEIR APPROVAL. OBTAIN NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY IF A PERSON IS REQUIRED TO DESCEND INTO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH PRIOR TO COMMENCEMENT OF GRADING AND BUILDING WORK.

8. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

9. DIMENSIONS SHOWN ON PLANS ARE TO CENTER OF COLUMN, FACE OF STUDS AT INTERIOR PARTITIONS, AND FACE OF FINISH OR FACE OF CONCRETE AT EXTERIOR AND SHEAR WALLS, OR FACE OF FINISH FOR CLEAR DIMENSIONS OR DIMENSIONS FROM (E) SURFACES UNLESS OTHERWISE NOTED OR INDICATED.

10. FLOOR ELEVATIONS AND PLAN DIMENSIONS OF EXISTING AND NEW CONSTRUCTION ARE BASED ON FIELD MEASUREMENTS AND SURVEY DATA AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.

11. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED ON THE WALL AS SHOWN OR SHALL BE LOCATED 4" FROM FINISH JAMB TO FACE OF STUD.

12. FINAL LOCATION OF ALL MECHANICAL EQUIPMENT AND ELECTRICAL EQUIPMENT, PANEL BOARDS, METERS, FIXTURES, FLUES, VENTS, ETC., SHALL BE APPROVED BY THE OWNER AND ARCHITECT PRIOR TO INSTALLATION. DESIGN AND LAYOUT OF ALL MECHANICAL AND ELECTRICAL SYSTEMS IS THE RESPONSIBILITY OF THE CONTRACTOR SUBJECT TO REVIEW BY THE OWNER PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE ALL FURRED CEILING, WALLS, AND SOFFITS NECESSARY TO SUIT MECHANICAL/ ELECTRICAL EQUIPMENT INSTALLATION.

13. ALL NEW PARTITIONS AROUND TOILETS AND CORRIDORS SHALL EXTEND TO THE STRUCTURE ABOVE TO PREVENT SOUND TRANSMISSIONS OVER WALLS.

14. EXTEND ALL SOUND RATED PARTITIONS TO THE STRUCTURE ABOVE. FURNISH 4-1/4 LB. DENSITY GLASS FIBER INSULATION SHAPED TO FIT TIGHT SPACES. WALL MATERIAL SHALL FIT TIGHT TO THE CONFIGURATION OF THE STRUCTURE ABOVE TO PREVENT SOUND TRANSMISSION OVER WALL.

15. VERIFY OPENINGS FOR PIPES AND DUCTS WITH MECHANICAL DRAWINGS AND PROVIDE AS NECESSARY.

16. ALL INTERIOR WALLS OVER 8'-0" HIGH AND ALL PLUMBING WALLS SHALL BE DOUBLE 2 X 4 NOMINAL STUDS WITH 2 X 4 NOMINAL STUDS AT 16" O.C. ALL INTERIOR, AND NON-BEARING INTERIOR PARTITIONS SHALL BE STIFFENED AS NECESSARY, AND COVERED WITH 5/8" GYPSUM WALLBOARD TYPICAL EACH SIDE AND MAY BE OF 2 X 4 NOMINAL WOOD STUDS AT 16" O.C. UP TO 10'-0" HIGH (SEE PARTITION TYPES). FULL HEIGHT PARTITIONS SHALL BE STIFFENED AS NECESSARY AND COVERED WITH 5/8" GYPSUM WALLBOARD TYPICAL AND 5/8" TYPE "X" GYPSUM WALLBOARD 1-HOUR CONSTRUCTION AT GARAGE.

17. ALL FREE STANDING COLUMNS WITHIN SPACES SHALL BE FINISHED WITH THE FINISH SCHEDULED FOR WALLS UNLESS OTHERWISE SHOWN OR DETAILED.

18. INSTALL TRANSITION STRIPS AT JUNCTION OF DIFFERENT FLOORING MATERIALS. AT OPENINGS PLACE TRANSITION STRIPS UNDER CENTERLINE OF DOOR. PROVIDE CHANGE OF COLOR TRANSITION STRIPS AT THE TOP AND BOTTOM OF ALL STAIRS PER ADA REQUIREMENTS.

19. WHERE ADJOINING ROOMS HAVE COMPOSITION FLOORING OF DIFFERENT COLORS, MAKE CHANGE UNDER CENTERLINE OF DOOR.

20. CAST-IN-PLACE CONCRETE SHALL BE FINISHED AS SPECIFIED.

21. WHERE PLASTER OR CERAMIC TILE ABUTS METAL FRAMES PROVIDE CASING BEADS.

22. ALL PARTITIONS AROUND SHAFTS SHALL EXTEND FROM FLOOR TO STRUCTURE ABOVE.

23. CONTRACTOR MUST SUBMIT CONSTRUCTION WASTE MANAGEMENT PLAN PER CAL GREEN SECTION 4-4802 OR IN ACCORDANCE WITH THE EL CERRITO ORDINANCE. CAL GREEN FORMS TO DOCUMENT C&O MATERIAL RECYCLING ARE AVAILABLE AT THE EL CERRITO BUILDING DIVISION TO BE FILED PRIOR TO PERMIT ISSUANCE. CAN BE PROVIDED BY GREEN HALO.

**ABBREVIATIONS**

Ø (E)	DIAMETER FOUND OR NUMBER EXISTING	LT.	LIGHT
ACOUS.	ACOUSTICAL	MAX.	MAXIMUM
AD.	AREA DRAIN	M.C.	MEDICINE CABINET
ADJ.	ADJUSTABLE	MDF	MEDIUM DENSITY FIBERBOARD
AGGR.	AGGREGATE	MECH.	MECHANICAL
AL.	ALUMINUM	MEMB.	MEMBRANE
APPROX.	APPROXIMATELY	MET.	METAL
ARCH.	ARCHITECTURAL	MFR.	MANUFACTURER
ASB.	ASBESTOS	MH.	MANHOLE
ASPH.	ASPHALT	MIN.	MINIMUM
BD.	BOARD	MIR.	MIRROR
BITUM.	BITUMINOUS	MISC.	MISCELLANEOUS
BLDG.	BUILDING	M.O.	MASONRY OPENING
BLK.	BLOCK	MTD.	MOUNTED
BLKG.	BLOCKING	MUL.	MULLION
BM.	BEAM	N.	NORTH
BOT.	BOTTOM	N.I.C.	NOT-IN-CONTRACT
B.U.R.	BUILT-UP ROOFING	NO. or#	NUMBER
		NOM.	NOMINAL
		N.T.S.	NOT-TO-SCALE
CAB.	CABINET	O.A.	OVERALL
C.B.	CATCH BASIN	OBS.	OBSURE
C.C.	CEMENT	O.C.	ON CENTER
CER.	CERAMIC	O.D.	OUTSIDE DIAMETER
CL.	CAST IRON	OFF.	OFFICE
C.G.	CORNER GUARD	OPNG.	OPENING
CLG.	CEILING	OPP.	OPERABLE
CLKG.	CAULKING		
CLO.	CLOSET	PRCST.	PRECAST
CLF.	CLEAR	PL.	PLATE
C.O.	CASED OPENING	P.LAM.	PLASTIC LAMINATE
COL.	COLUMN	PLAS.	PLASTER
CONC.	CONCRETE	PLYWD.	PLYWOOD
CONN.	CONNECTION	PR.	PAIR
CONST.	CONSTRUCTION	PT.	POINT
CONT.	CONTINUOUS	P.T.D.	PAPER TOWEL DISPENSER
CORR.	CORRIDOR	P.T.D./R.	COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE
CTS.	COUNTERSUNK	PTN.	PARTITION
CNTR.	COUNTER	P.T.R.	PAPER TOWEL RECEPTACLE
CTR.	CENTER	Q.T.	QUARRY TILE
DBL.	DOUBLE	R.	RISER
DEPT.	DEPARTMENT	RAD.	RADIUS
D.F.	DRINKING FOUNTAIN	R.D.	ROOF DRAIN
DET.	DETAIL	REF.	REFERENCE
DIA.	DIAMETER	REFR.	REFRIGERATOR
DIM.	DIMENSION	RGR.	REGISTER
DISP.	DISPENSER	REFR.	REFRIGERATION
DN.	DOWN	REIN.	REINFORCEMENT
D.O.	DOOR OPENING	REQ.	REQUIRED
DR.	DOOR	RESIL.	RESILIENT
DWR.	DRAWER	RM.	ROOM
D.S.	DOWNSPOUT	R.O.	ROUGH OPENING
D.S.P.	DOWNSPOUT	RWD.	REDWOOD
DWG.	DRAWING	R.W.L.	RAIN WATER LEADER
E.	EAST	S.	SOUTH
EA.	EACH	S.C.	SOLID CORE
E.J.	EXPANSION JOINT	S.C.D.	SEAT COVER DISPENSER
EL.	ELEVATION	SCHED.	SCHEDULE
ELEC.	ELECTRICAL	S.D.	SOAP DISPENSER
ELEV.	ELEVATOR	SECT.	SECTION
ENCL.	ENCLOSURE	SECT.	SECTION
EMERG.	EMERGENCY	SH.	SHelf
E.P.	ELECTRICAL PANELBOARD	SHR.	SHOWER
EQ.	EQUAL	SHT.	SHEET
EQPT.	EQUIPMENT	SIM.	SIMILAR
E.W.C.	ELECTRIC WATER COOLER	S.N.D.	SANITARY NAPKIN DISPENSER
EXIST.	EXISTING	S.N.R.	SANITARY NAPKIN RECEPTACLE
EXPO.	EXPOSED	SPEC.	SPECIFICATION
EXP.	EXPANSION	SQ.	SQUARE
EXT.	EXTERIOR	S.S.T.	STAINLESS STEEL
F.A.	FIRE ALARM	S.SK.	SERVICE SINK
F.B.	FLAT BAR	STA.	STATION
F.D.	FLOOR DRAIN	STD.	STANDARD
FDN.	FOUNDATION	STL.	STEEL
F.E.	FIRE EXTINGUISHER	STOR.	STORAGE
F.E.C.	FIRE EXTINGUISHER CABINET	STR.	STRUCTURAL
F.H.C.	FIRE HOSE CABINET	SUSP.	SUSPENDED
FIN.	FINISH	SYM.	SYMMETRICAL
FL.	FLOOR		
FLASH.	FLASHING	TRD.	TREAD
FLOUR.	FLUORESCENT	T.B.	TOWEL BAR
F.O.C.	FACE OF CONCRETE	T.C.	TOP OF CURB
F.O.F.	FACE OF FINISH	TEL.	TELEPHONE
F.O.S.	FACE OF STUD	TER.	TERRAZZO
F.F.P.	FIREPROOF	T.&G.	TONGUE & GROOVE
F.S.	FULL SIZE	THK.	THICK
FT.	FOOT OR FEET	T.P.	TOP OF PAVEMENT
FTG.	FOOTING	T.P.D.	TOILET PAPER DISPENSER
FURR.	FURRING	T.V.	TELEVISION
FUT.	FUTURE	T.O.W.	TOP OF WALL
		TYP.	TYPICAL
GA.	GAUGE	UNF.	UNFINISHED
GALV.	GALVANIZED	U.O.N.	UNLESS OTHERWISE NOTED
G.B.	GRAB BAR	UR.	URINAL
GL.	GLASS	VERT.	VERTICAL
GLD.	GROUND	VEST.	VESTIBULE
GR.	GRADE		
GYP.	GYPSUM		
H.B.	HOSE BIB	W.	WEST
H.C.	HOLLOW CORE	W/	WITH
HDR.	HANDRAIL	W.C.	WATER CLOSET
HDWD.	HARDWOOD	WD.	WOOD
HDWE.	HARDWARE	WO	WITHOUT
HGT.	HEIGHT	WP.	WATERPROOF
H.M.	HOLLOW METAL	WSCT.	WAINSCOT
HORIZ.	HORIZONTAL	WT.	WEIGHT
HR.	HOUR		
I.D.	INSIDE DIAMETER		
INSUL.	INSULATION		
INT.	INTERIOR		
JAN.	JANITOR		
JT.	JOINT		
KIT.	KITCHEN		

**LEGEND**

	BITUMINOUS CONCRETE
	BRICK
	CERAMIC TILE
	CONCRETE
	CONCRETE BLOCK
	EARTH
	GYPSUM BOARD
	INSULATION BATT
	INSULATION BOARD
	METAL
	METAL LATH
	MORTAR
	PLASTER
	PLYWOOD
	ROCK FILL
	SAND
	STONE
	TERRAZZO
	WOOD FINISH
	WOOD FRAMING
	EXISTING WALLS
	DEMOLISHED WALLS
	NEW WALLS

**OPERATION CODES**

PERMIT #BW22002610

BUILDING USED FOR:  
LIMITED DAYCARE ACTIVITY  
PER OAKLAND PLANNING CODE:  
SECTION 17.33.030

BOTH FLOORS:  
PERMITTED FOR DAYCARE USE  
PER CBC, 452.1.4, EXCEPTION 2.

PARKING:  
REQUIRED OFF-STREET PARKING : 0  
PROVIDED OFF-STREET PARKING : 0  
PER OAKLAND PLANNING CODE:  
SECTION 17.116.070

REAR AND SIDES SETBACK: 0  
PER OAKLAND PLANNING CODE:  
SECTION 17.33.03-8

**SYMBOLS**

	NUMBERS VERTICAL
	GRID LINES
	DOOR NUMBER
	WINDOW NUMBER
	PARTITION TYPE
	KITCHEN EQUIPMENT NUMBER
	MATCH LINE
	WORK POINT
	SECTION
	SECTION IDENTIFICATION SHEET WHERE CUT
	SECTION IDENTIFICATION SHEET WHERE DRAWN LOCATION WHERE CUT
	INTERIOR ELEVATION
	SECTION IDENTIFICATION SHEET WHERE DRAWN PLAN INDICATION OF ELEVATION DRAWN
	ROOM IDENTIFICATION
	ROOM NAME
	ROOM NUMBER
	PROPERTY LINE
	NEW OR FINISHED CONTOURS
	EXISTING CONTOURS
	SPOT ELEVATIONS
	EXISTING GRADE
	NEW FINISH GRADE
	TOP OF WALL
	TOP OF CURB
	TOP OF PAVEMENT

**CONSULTANT DIRECTORY**

**DESIGN:**  
AFRANO STUDIO  
MEHDI SHAFIEI  
5690 BROADWAY TERRACE  
OAKLAND CA 94618  
C#510-926-7745

**CONSTRUCTION CONTRACTOR:**  
AAE CONSTRUCTION GROUP  
ALI ESLAMI  
P.O. BOX 4623 BERKELEY CA 94704  
C#510-774-5387

APN:	014-1249-011-03
TITLE:	SUNFLOERS DAYCARE
CITY:	OAKLAND, CALIFORNIA
CONSTRUCTION TYPE:	V-8
OCCUPANCY GROUP:	E
ZONING TYPE:	CN-1
OCCUPANT LOAD:	2797 / 35 = 80
SPRINKLER:	NEW

**PROJECT INFORMATION**

PROPOSED SITE AREA			
	(EXISTING)	(PROPOSED)	(CHANGE)
LOT AREA:	3,691 SQ. FT.	3,691 SQ. FT.	0
EASEMENT:	475 SQ. FT.	475 SQ. FT.	0
COVERAGE:	1,238 / 3,691 = 66%	1,525 + 336 / 3,691 = 50%	.12
FAR:	2,429 / 3,691 = .66	1,525 + 1525 / 3,691 = .83	.12
BUILDING FLOOR AREA:			
BASEMENT/ GROUND	1,191 SQ. FT.	1,649 SQ. FT.	251 SQ. FT.
1ST FLOOR	1,238 SQ. FT.	1,525 SQ. FT.	298 SQ. FT.
2ND FLOOR		1,525 SQ. FT.	1,525 SQ. FT.
TOTAL ENCLOSED AREA:	2,429 SQ. FT.	4,699 SQ. FT.	2,270 SQ. FT.
STAIR STRUCTURE: (1ST FLOOR)		336 SQ. FT.	
STAIR STRUCTURE: (2ND FLOOR)		300 SQ. FT.	
TOTAL STRUCTURE:		5,335 SQ. FT.	

**PROJECT ROOM SQFT LIST**

EXISTING 1ST FLOOR AREA	
WOOD DECK WITH STAIRS	196 SQFT
STAIR/ LANDING	83 SQFT
FOYER	28 SQFT
FRONT OFFICE #1	218 SQFT
OFFICE #2	120 SQFT
OFFICE #3	75 SQFT
BATHROOM	38 SQFT
CLOSET	11 SQFT
OFFICE #4	106 SQFT
OPEN AREA	316 SQFT
BLDG 1ST FLOOR	1191 SQFT
EXISTING BASEMENT FLOOR AREA	
CRAWL SPACE	245 SQFT
STORAGE SPACE	694 SQFT
BASEMENT BACK STAIRS	11 SQFT
DECK / STAIRS FOUNDATION	288 SQFT
BLDG BASEMENT	1238 SQFT
PROPOSED BASEMENT FLOOR AREA	
DIRECTOR'S OFFICE	248 SQFT
STAIR #2	143 SQFT
STAIR #2	93 SQFT
VESTIBULE	88 SQFT
MECHANICAL	10 SQFT
LAUNDRY	35 SQFT
TEACHER'S ROOM	610 SQFT
OFFICE ROOM	209 SQFT
BATHROOM	64 SQFT
STORAGE	4 SQFT
BLDG BASEMENT GROSS AREA	1,649 SQFT
PROPOSED 1ST FLOOR AREA	
TEACHER'S ROOM	153 SQFT
STAFF	34 SQFT
CHILDREN	51 SQFT
STAIR #2	145 SQFT
CHILDREN CARE AREA	1,029 SQFT
BLDG 1ST GROSS FLOOR	1,525 SQFT
PROPOSED 2ND FLOOR AREA	
KITCHEN	153 SQFT
STAFF BATHROOM #2	34 SQFT
CHILDREN BATHROOM #2	51 SQFT
STAIR #2	145 SQFT
CHILDREN CARE AREA	1,030 SQFT
BLDG 2ND FLOOR	1,525 SQFT

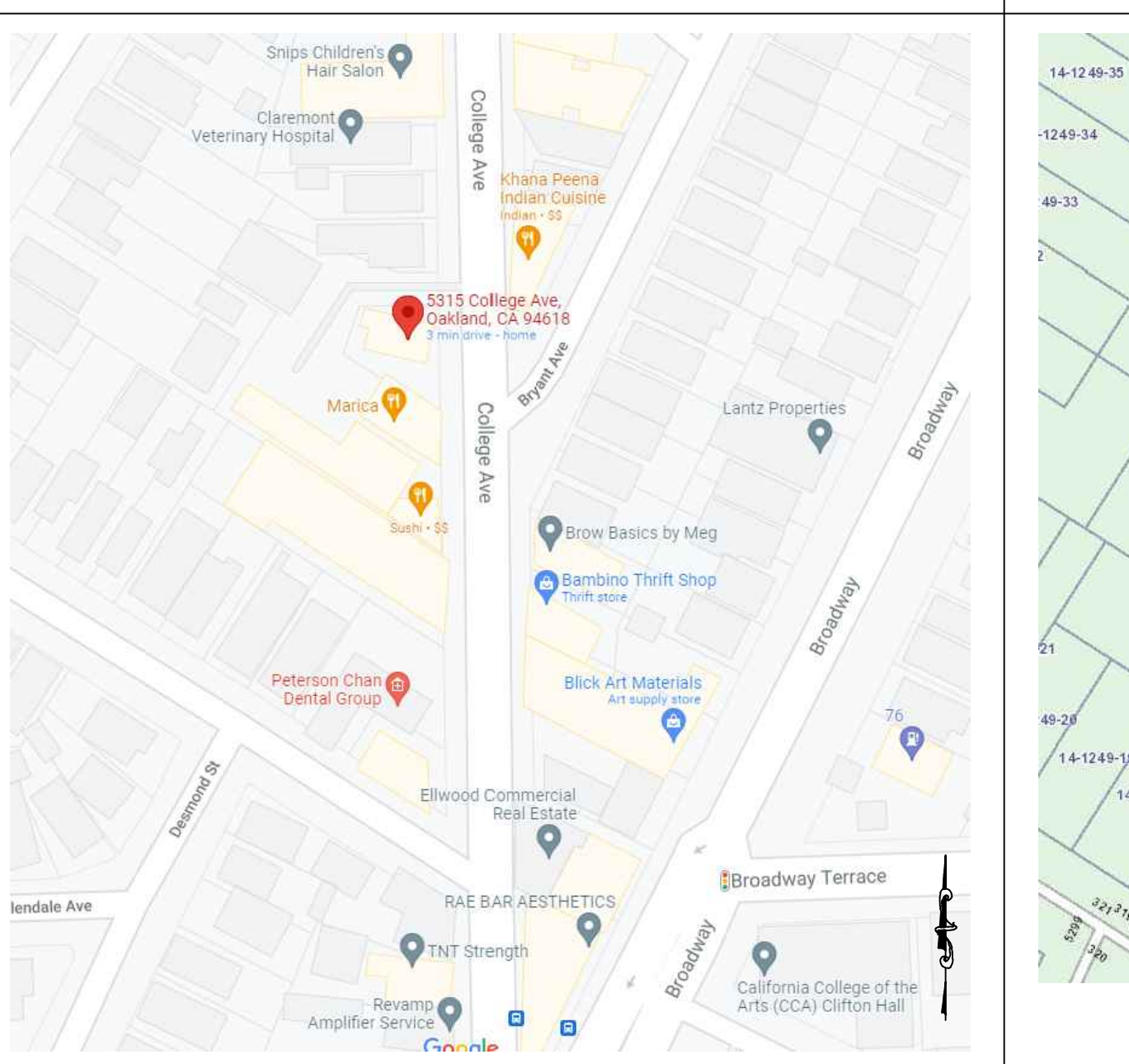
**CONSTRUCTION CODES**

(2019 CRC) CALIFORNIA RESIDENTIAL CODE,  
(2019 CBC) CALIFORNIA BUILDING CODE,  
(2019 CPC) CALIFORNIA PLUMBING CODE,  
(2019 CMC) CALIFORNIA MECHANICAL CODE,  
(2019 CEC) CALIFORNIA ELECTRICAL CODE,  
CALIFORNIA ENERGY CODES:  
(2019 CFC) CALIFORNIA FIRE CODE,  
(2019 CGCB) CALIFORNIA GREEN BUILDING CODE,  
(2019 T24) ENERGY CODE

**SCOPE OF WORK**

1. ADDING CHILD CARE AREA IN BOTH LOWER (BASEMENT/GROUND) & 1ST FLOOR UPPER LEVEL.  
2. DEVELOPING THE GROUND FLOOR BY LIFTING THE BUILDING 8'-3".  
3. ADDING TWO EXIT STAIRS AT BOTH CORNERS OF THE BUILDING.

**VICINITY MAP**



**PARCEL MAP**



**DRAWING LIST**

● G1.0	COVER SHEET, ABBREVIATIONS, LEGEND, SYMBOLS, DRAWING LIST	● = DRAWINGS IN THIS SUBMITTAL
● G1.1	PHOTOS	
● G1.2	CALIFORNIA GREEN BUILDING STANDARDS CODE	
● G1.3	CALIFORNIA GREEN BUILDING STANDARDS CODE	
● G1.4	CALIFORNIA GREEN BUILDING STANDARDS CODE	
CIVIL DRAWINGS		
● C0.0	CIVIL SURVEY PLAN	
● C0.1	EXISTING SITE PLAN	
● C0.2	SITE DEMO. PLAN	
● C0.3	NEW SITE PLAN	
LANDSCAPING DRAWINGS		
● L1.1	EXISTING LANDSCAPING PLAN	
● L1.2	NEW LANDSCAPING PLAN	
● L1.3	BAY FRIENDLY LANDSCAPING	
LIFE SAFETY DRAWINGS		
ARCHITECTURAL DRAWINGS		
● A0.1	EXISTING BASEMENT PLAN	
● A0.2	EXISTING 1ST FLOOR PLAN	
● A0.3	EXISTING ROOF PLAN	
● A1.0	NEW BASEMENT FLOOR PLAN	
● A1.		



BIRD VIEW-EAST



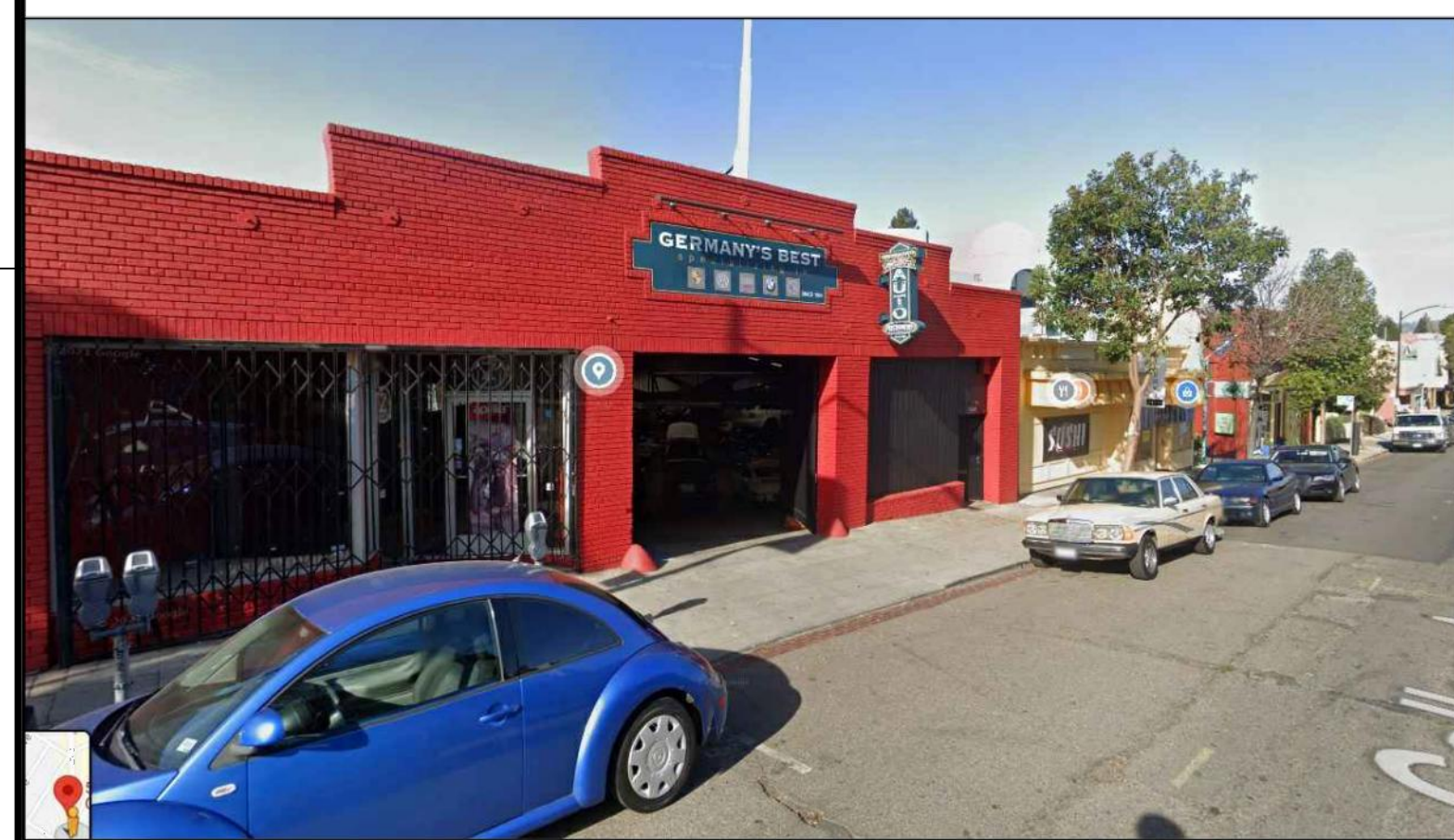
BIRD VIEW-NORTH EAST



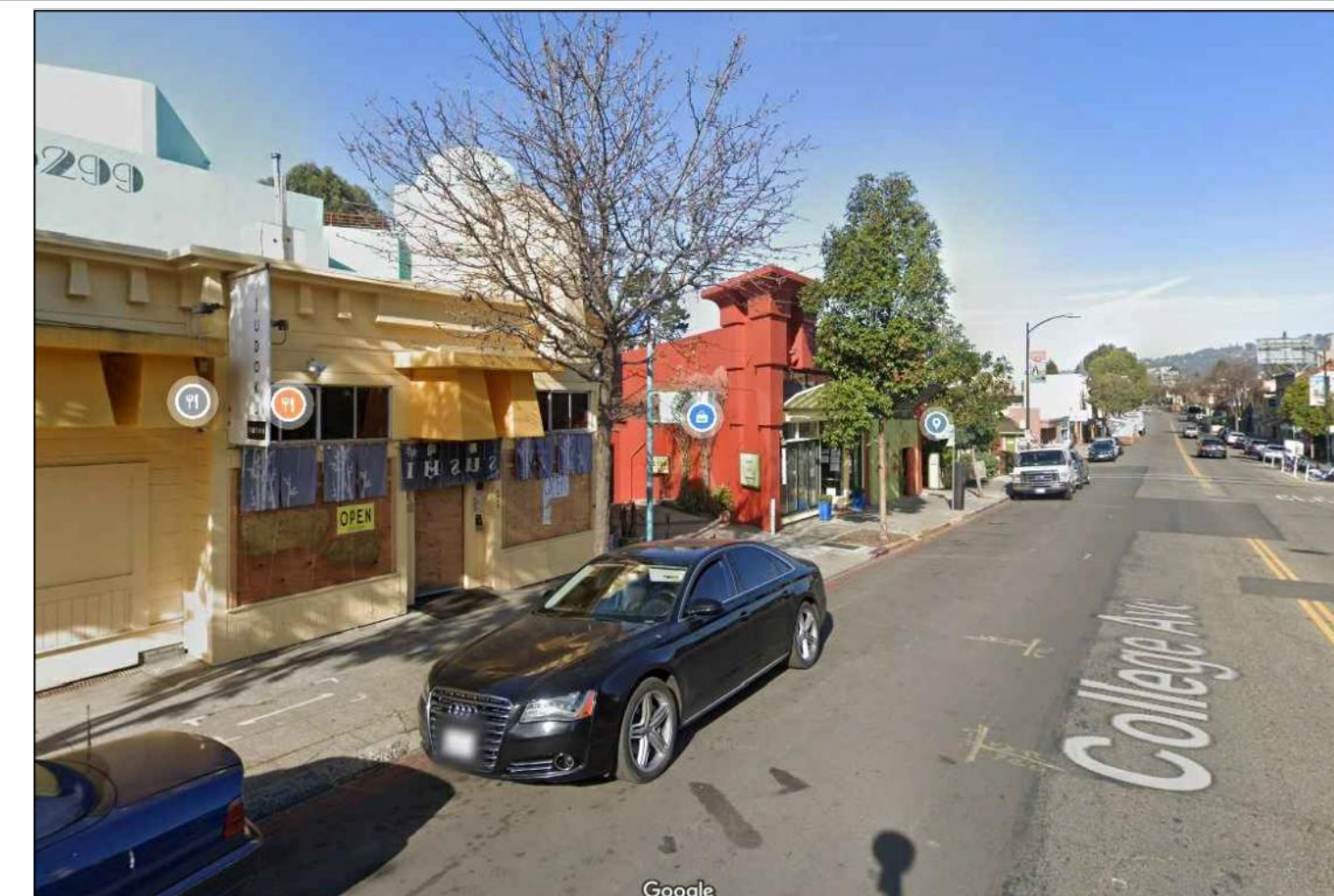
BIRD VIEW-NORTH WEST



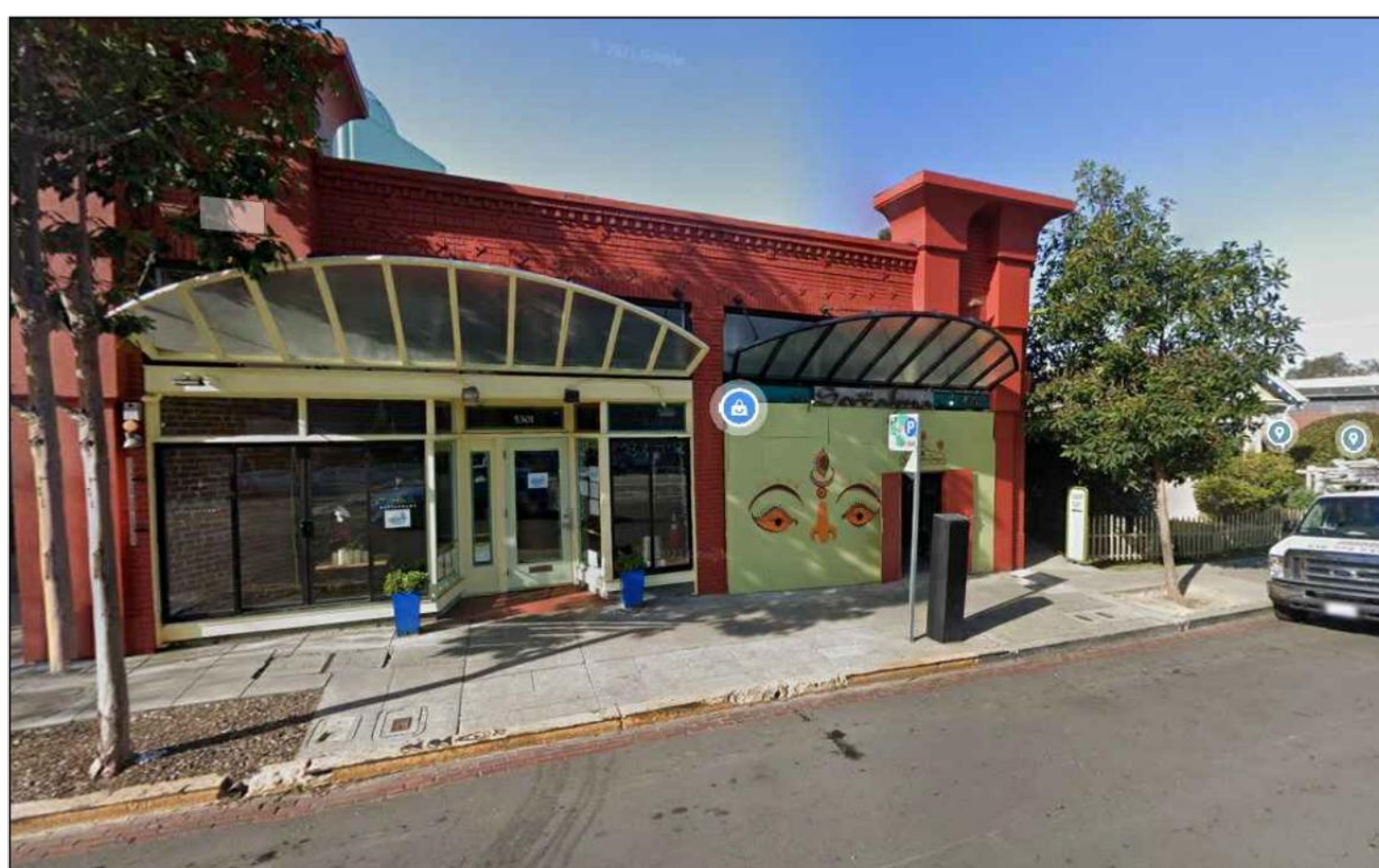
VIEW-NORTH WEST



COLLEGE AVE. SOUTH-3



COLLEGE AVE. SOUTH-2



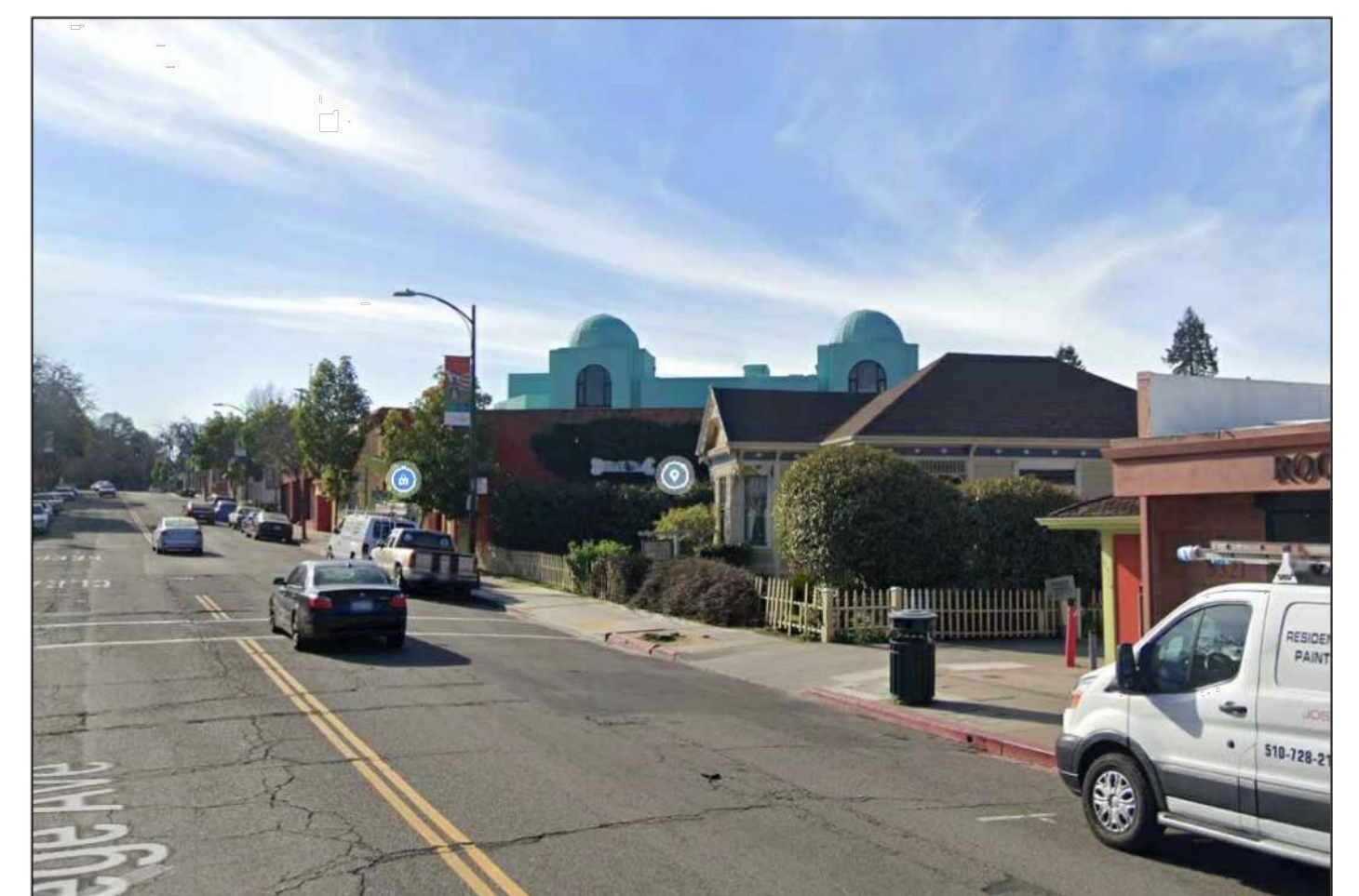
COLLEGE AVE. SOUTH-1



VIEW-SOUTH WEST



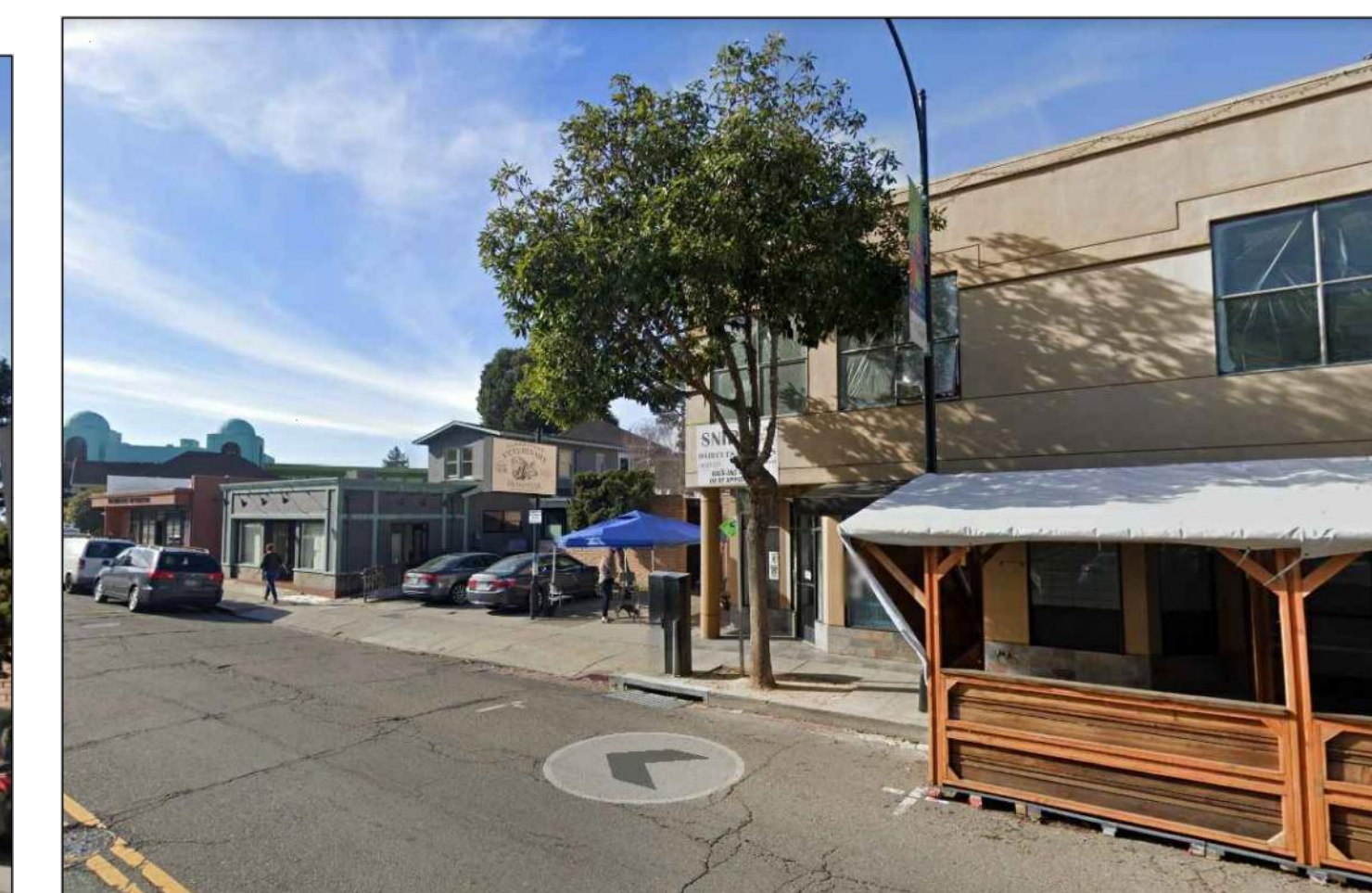
COLLEGE AVE. NORTH-1



COLLEGE AVE. NORTH-2



COLLEGE AVE. NORTH-3



COLLEGE AVE. NORTH-4



EAST SIDE



SOUTH EAST CORNER

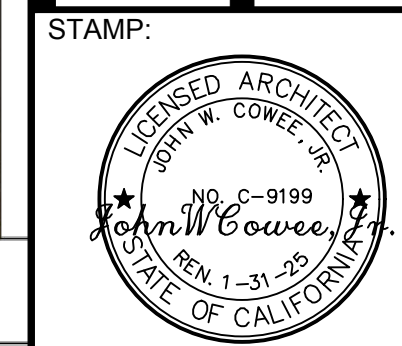


NOTH SIDE



NORTH EAST CORNER

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CONSULTANT:

SUNFLOWERS DAYCARE INC.  
 LIFT/ ADDITION REMODEL  
 5315 COLLEGE AVE  
 OAKLAND, CA 94618  
 MAHTA MARASHI & MEHDI SHAFIEI, OWNER

OWNER REVIEW  
 DATED 06/13/2022

REVISIONS	DATE
APN: 014-1249-011-03	
APP: ZW2201671	
DATE: 04/20/2023	

SHEET TITLE:  
**PHOTOS**

SHEET NO.  
**G1.1**  
 REVISION 0

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL
301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code.
301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC-CG] The provisions of individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 square feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission).

5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND. Comply with all lawfully enacted stormwater discharge regulations for projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of a larger common plan of development sale.
5.106.4 BICYCLE PARKING. For buildings within the authority of California Building Standards Commission as specified in Section 103, comply with Section 5.106.4.1. For buildings within the authority of the Division of the State Architect pursuant to Section 105, comply with Section 5.106.4.2.
5.106.4.1 Bicycle parking. [BSC-CG] Comply with Sections 5.106.4.1.1 and 5.106.4.1.2; or meet the applicable local ordinance, whichever is stricter.

5.106.5.3.3 TABLE 5.106.5.3.3
TOTAL NUMBER OF PARKING SPACES NUMBER OF REQUIRED SPACES
0-9 0
10-25 1
26-50 2
51-75 4
76-100 5
101-150 7
151-200 10
201 AND OVER 6% of total
5.106.5.3.3 [N] Identification. The service panel or subpanel(s) circuit directory shall identify the reserved overcurrent protective device space(s) for future EV charging as "EV CAPABLE".
5.106.5.3.3 [N] Future charging spaces qualify as designated parking as described in Section 5.106.5.2 Designated parking for clean air vehicles.

5.106.12 SHADE TREES [DSA-SS]. Shade Trees shall be planted to comply with Sections 5.106.12.1, 5.106.12.2, and 5.106.12.3. Percentages shown shall be measured at noon on the summer solstice. Landscape irrigation necessary to establish and maintain tree health shall comply with Section 5.304.6.
5.106.12.1 Surface parking areas. Shade tree plantings, minimum #10 container size or equal, shall be installed to provide shade over 50 percent of the parking area within 15 years.
5.106.12.2 Landscape areas. Shade tree plantings, minimum #10 container size or equal shall be installed to provide shade of 20% of the landscape area within 15 years.
5.106.12.3. Hardscape areas. Shade tree plantings, minimum #10 container size or equal shall be installed to provide shade over 20 percent of the hardscape area within 15 years.

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5315 COLLEGE AVE OAKLAND, CA 94618
MAHTA MARASHI & MEHDI SHAFIEI, OWNER





2019 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y N/A RESPON. PARTY YES NOT APPLICABLE RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, ETC.)

Y N/A RESPON. PARTY

5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.6.

- 5.504.4.1 Adhesives, sealants and caulks. Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCQM Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in subsection 2, below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.

Table 5.504.4.1 - ADHESIVE VOC LIMIT. Less Water and Less Exempt Compounds in Grams per Liter. Columns: ARCHITECTURAL APPLICATIONS, CURRENT VOC LIMIT. Rows include Indoor Carpet Adhesives, Wood Flooring Adhesives, etc.

- 1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED. 2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168, www.arb.ca.gov/DRDB/SC/CIQRHTMLR1168.PDF

Table 5.504.4.2 - SEALANT VOC LIMIT. Less Water and Less Exempt Compounds in Grams per Liter. Columns: SEALANTS, SEALANT PRIMERS, CURRENT VOC LIMIT. Rows include Architectural, Marine Deck, Nonmembrane Roof, etc.

- 5.504.4.3 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.21, 4.36 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply. 5.504.4.3.1 Aerosol Paints and coatings. Aerosol paints and coatings shall meet the PVIMR Limits for ROC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 9 Rule 49.

Table 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS. Grams of VOC per Liter of Coating, Less Water & Less Exempt Compounds. Columns: COATING CATEGORY, CURRENT VOC LIMIT. Rows include Flat Coatings, Specialty Coatings, etc.

- 1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

- 5.504.4.3.2 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: 1. Manufacturer's product specification 2. Field verification of on-site product containers. 5.504.4.4 Carpet Systems. All carpet installed in the building interior shall meet at least one of the testing and product requirements: 1. Carpet and Rug Institute's Green Label Plus Program. 2. Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.1, February 2010 (also known as CDPH Standard Method V1.1 or Specification 01350). 3. NSF/ANSI 140 at the Gold level or higher; 4. Scientific Certifications Systems Sustainable Choice; or 5. Compliant with the Collaborative for High Performance Schools California (2014 CA-CHPS) Criteria listed in the CHPS High Performance Product Database. 5.504.4.4.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program. 5.504.4.4.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.4. 5.504.4.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure (ATCM) for Composite Wood (17CCR 93120 et seq.). Those materials not exempted under the ATCM must meet the specified emission limits, as shown in Table 5.504.4.5.

- 5.504.4.5.3 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following: 1. Product certifications and specifications. 2. Chain of custody certifications. 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.). 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269 or European EN 338 standards. 5. Other methods acceptable to the enforcing agency.

Y N/A RESPON. PARTY

Table 5.504.4.5 - FORMALDEHYDE LIMITS. Maximum Formaldehyde Emissions in Parts per Million. Columns: PRODUCT, CURRENT LIMIT. Rows include Hardwood Plywood Veneer Core, Particle Board, etc.

- 1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12. 2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCHES (8 MM).

- 5.504.4.6 Resilient flooring systems. For 80 percent of floor area receiving resilient flooring, installed resilient flooring shall meet at least one of the following: 1. Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program; 2. Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health's 2010 Standard Method for the Testing and Evaluation Chambers, Version 1.1, February 2010; 3. Compliant with the Collaborative for High Performance Schools California (2014 CA-CHPS) Criteria and listed in the CHPS High Performance Product Database; or 4. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children's & Schools Program). 5.504.4.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits. 5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 13. MERV 13 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual. Exceptions: Existing mechanical equipment.

Y N/A RESPON. PARTY

- 5.504.5.3.1 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating. 5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building as already prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions.

Y N/A RESPON. PARTY

SECTION 5.505 INDOOR MOISTURE CONTROL. 5.505.1 INDOOR MOISTURE CONTROL. Buildings shall meet or exceed the provisions of California Building Code, CCR, Title 24, Part 2, Sections 1202 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures, see Section 5.407.2 of this code.

Y N/A RESPON. PARTY

SECTION 5.506 INDOOR AIR QUALITY. 5.506.1 OUTSIDE AIR DELIVERY. For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements For Ventilation) of the California Energy Code, or the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CCR, Title 8.

Y N/A RESPON. PARTY

5.506.2 CARBON DIOXIDE (CO2) MONITORING. For buildings or additions equipped with demand control ventilation, CO2 sensors and ventilation controls shall be specified and installed in accordance with the requirements of the California Energy Code, Section 120(c)(4).

Y N/A RESPON. PARTY

SECTION 5.507 ENVIRONMENTAL COMFORT. 5.507.4 ACUSTICAL CONTROL. Employ building assemblies and components with Sound Transmission Class (STC) values determined in accordance with ASTM E 90 and ASTM E 413, or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E 1332, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2.

- Exception: Buildings with few or no occupants or where occupants are not likely to be affected by exterior noise, as determined by the enforcement authority, such as factories, stadiums, storage, enclosed parking structures and utility buildings. Exception: [DSA-SS] For public schools and community colleges, the requirements of this section and all subsections apply only to new construction. 5.507.4.1 Exterior noise transmission, prescriptive method. Wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope shall meet a composite STC rating of at least 50 or a composite OITC rating of no less than 40, with exterior windows of a minimum STC of 40 or OITC of 30 in the following locations: 1. Within the 65 CNEL noise contour of an airport. Exceptions: 1. L<sub>n</sub> or CNEL for military airports shall be determined by the facility Air Installation Compatible Land Use Zone (AICLUZ) plan. 2. L<sub>n</sub> or CNEL for other airports and heliports for which a land use plan has not been developed shall be determined by the local general plan noise element. 2. Within the 65 CNEL or L<sub>n</sub> noise contour of a freeway or expressway, railroad, industrial source or fixed-guideway source as determined by the Noise Element of the General Plan. 5.507.4.1.1. Noise exposure where noise contours are not readily available. Buildings exposed to a noise level of 65 dB L<sub>dn</sub> - 1 hr during any hour of operation shall have building, addition or alteration exterior wall and roof-ceiling assemblies exposed to the noise source meeting a composite STC rating of at least 45 (or OITC 35), with exterior windows of a minimum STC of 40 (or OITC 30). 5.507.4.2 Performance Method. For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level (Leq-1hr) of 50 dBA in occupied areas during any hour of operation. 5.507.4.2.1 Site Features. Exterior features such as sound walls or earth berms may be utilized as appropriate to the building, addition or alteration project to mitigate sound migration to the interior. 5.507.4.2.2 Documentation of Compliance. An acoustical analysis documenting complying interior sound levels shall be prepared by personnel approved by the architect or engineer of record. 5.507.4.3 Interior sound transmission. Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40. Note: Examples of assemblies and their various STC ratings may be found at the California Office of Noise Control: www.toolbox.org/PDF/CaseStudies/stc\_loc\_ratings.pdf.

Y N/A RESPON. PARTY

SECTION 5.508 OUTDOOR AIR QUALITY. 5.508.1 Ozone depletion and greenhouse gas reductions. Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2.

Y N/A RESPON. PARTY

- 5.508.1.1 Chlorofluorocarbons (CFCs). Install HVAC, refrigeration and fire suppression equipment that do not contain CFCs. 5.508.1.2 Halons. Install HVAC, refrigeration and fire suppression equipment that do not contain Halons. 5.508.2 Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities.

Y N/A RESPON. PARTY

Exception: Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CO2), and potentially other refrigerants.

Y N/A RESPON. PARTY

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS. 702 QUALIFICATIONS. 702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following: 1. State certified apprenticeship programs. 2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency. 702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector: 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors. 3. Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency. Notes: 1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

Y N/A RESPON. PARTY

- [BSC-CG] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency. Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 703 VERIFICATIONS. 703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When special documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

Y N/A RESPON. PARTY

5.508.2.1 Refrigerant piping. Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in refrigerant systems except as noted below. 5.508.2.1.1 Threaded pipe. Threaded connections are permitted at the compressor rack. 5.508.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less. 5.508.2.1.2.1 Anchorage. One-fourth-inch OD tubing shall be securely clamped to a rigid base to keep vibration levels below 8 mils. 5.508.2.1.3 Flared tubing connections. Double-flared tubing connections may be used for pressure controls, valve pilot lines and oil. Exception: Single-flared tubing connections may be used with a multiling seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's recommendations. 5.508.2.1.4 Elbows. Short radius elbows are only permitted where space limitations prohibit use of long radius elbows. 5.508.2.2 Valves. Valves and fittings shall comply with the California Mechanical Code and as follows. 5.508.2.2.1 Pressure relief valves. For vessels containing high-GWP refrigerant, a rupture disc shall be installed between the outlet of the vessel and the inlet of the pressure relief valve. 5.508.2.2.1.1 Pressure detection. A pressure gauge, pressure transducer or other device shall be installed in the space between the rupture disc and the relief valve inlet to indicate a disc rupture or discharge of the relief valve. 5.508.2.2.2 Access valves. Only Schrader access valves with a brass or steel body are permitted for use. 5.508.2.2.2.1 Valve caps. For systems with a refrigerant charge of 5 pounds or more, valve caps shall be brass or steel and not plastic. 5.508.2.2.2.2 Seal caps. If designed for it, the cap shall have a neoprene O-ring in place. 5.508.2.2.2.2.1 Chain tethers. Chain tethers to fit over the stem are required for valves designed to have seal caps. Exception: Valves with seal caps that are not removed from the valve during stem operation. 5.508.2.3 Refrigerated service cases. Refrigerated service cases holding food products containing vinegar and salt shall have evaporator coils of corrosion-resistant material, such as stainless steel; or be coated to prevent corrosion from these substances. 5.508.2.3.1 Coil coating. Consideration shall be given to the heat transfer efficiency of coil coating to maximize energy efficiency. 5.508.2.4 Refrigerant receivers. Refrigerant receivers with capacities greater than 200 pounds shall be fitted with a device that indicates the level of refrigerant in the receiver. 5.508.2.5 Pressure testing. The system shall be pressure tested during installation prior to evacuation and charging. 5.508.2.5.1 Minimum pressure. The system shall be charged with regulated dry nitrogen and appropriate tracer gas to bring system pressure up to 300 psig minimum. 5.508.2.5.2 Leaks. Check the system for leaks, repair any leaks, and retest for pressure using the same gauge. 5.508.2.5.3 Allowable pressure change. The system shall stand, unaltered, for 24 hours with no more than a +/- one pound pressure change from 300 psig, measured with the same gauge. 5.508.2.6 Evacuation. The system shall be evacuated after pressure testing and prior to charging. 5.508.2.6.1 First vacuum. Pull a system vacuum down to at least 1000 microns (+/- 50 microns), and hold for 30 minutes. 5.508.2.6.2 Second vacuum. Pull a second system vacuum to a minimum of 500 microns and hold for 30 minutes. 5.508.2.6.3 Third vacuum. Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hours with a maximum drift of 100 microns over a 24-hour period.

Y N/A RESPON. PARTY

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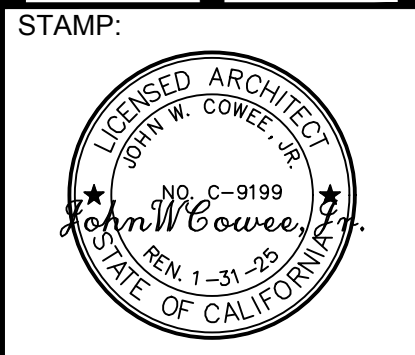
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SUNFLOWERS DAYCARE INC. LIFT/ ADDITION REMODEL 5315 COLLEGE AVE OAKLAND, CA 94618 MAHTA MARASHI & MEHDI SHAFIEI, OWNER

OWNER REVIEW DATED 06/13/2022 REVISIONS DATE APN: 014-1249-011-03 APP: ZW2201671 DATE: 04/20/2023 SHEET TITLE: CALIFORNIA GREEN BUILDING STANDARD CODES SHEET NO. C1.4 REVISION 0

**Bay-Friendly Basics Landscape Checklist**

Yes No NA	Measure & Requirement	Documentation	Notes
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>5. Do Not Plant Invasive Plant Species</b></p> <p><b>Requirement</b> None of the plant species listed by CAL-IPC as invasive in the San Francisco Bay Area are included in the planting plan.</p> <p><b>Definition</b> An invasive species is defined as a species that is non-native (or alien) to the ecosystem under consideration and whose introduction causes or is likely to cause economic or environmental harm or harm to human health. Federal Executive Order 13111.</p> <p><b>Reference</b> Bay-Friendly Landscape Guidelines, Practice 2.1d; Don't Plant A Pestbrochures for trees and plants available at <a href="http://www.cal-ipc.org">www.cal-ipc.org</a>; <a href="http://www.cal-ipc.org/inventory/checkedlist.php">www.cal-ipc.org/inventory/checkedlist.php</a>.</p>	<ul style="list-style-type: none"> <li>Compare the complete list of plants in the plant palette to the Cal-IPC list of plants that are invasive to the San Francisco Bay Area.</li> <li>Submit the complete plant palette.</li> <li>Submit a statement signed by the Landscape Architect, Designer or Contractor confirming that no invasive species were substituted for specified species.</li> </ul>	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>6. Grow drought tolerant CA native, Mediterranean or climate adapted plants</b></p> <p><b>Requirement</b> A minimum of 75% of the total number of plants in non-turf areas must be species that require no or little summer watering once established. Species should be adapted to the climate in which they will be planted, as referenced by a third party source. If plants are given a range of water needs from "occasional to moderate" for example, the landscape designer must determine if the plant will require either occasional or moderate watering based on site, soil, and climate conditions and categorize the plant appropriately.</p> <p><b>Recommendation</b> California native or Mediterranean species are strongly recommended.</p> <p><b>Reference</b> <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.2; Bornstein, Carol, David Fross and Bart O'Brien, <i>California Native Plants for the Garden</i>; EBMD, <i>Plants and Landscapes for Summer-Dry Climates</i>; Sunset, <i>Western Garden Book</i>; UCCE, <i>Guide to Estimating Irrigation Water Needs of Landscape Plantings in CA</i>, <a href="http://www.water.ca.gov/docs/wcol900.pdf">www.water.ca.gov/docs/wcol900.pdf</a>.</p>	<ul style="list-style-type: none"> <li>Submit a plant legend that identifies species, number of plants, irrigation requirements (and reference source of the water requirement), total number of drought tolerant plants and total number of non-turf plants. (download a Bay-Friendly plant legend template to facilitate this process at <a href="http://www.BayFriendly.org">www.BayFriendly.org</a>).</li> <li>Submit a statement signed by the Landscape Architect, Designer or Contractor verifying that installed plants meet this requirement.</li> </ul>	

**Bay-Friendly Basics Landscape Checklist**

Yes No NA	Measure & Requirement	Documentation	Notes
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>7. Minimize the lawn</b></p> <p><b>Requirement</b> A maximum of 25% of total irrigated area is specified as turf, with sports or multiple use fields exempted.</p> <p><b>Reference</b> <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.3; Bay-Friendly Lawn Alternatives plant list at <a href="http://www.BayFriendly.org">www.BayFriendly.org</a>; Brooklyn Botanic Garden Publications, <i>Easy Lawns</i>, <i>Low Maintenance Native Grasses for Gardeners Everywhere</i>.</p>	<ul style="list-style-type: none"> <li>Submit calculations of square feet of turf, excluding sports and multiple use fields, and square feet of total irrigated area.</li> <li>Submit planting plans with sports and multiple use fields identified. Include a statement about the purpose of multiple use fields.</li> <li>Submit as statement signed by the Landscape Architect, Designer or Contractor that installed turf meets the requirements for this credit.</li> </ul>	
<b>Irrigation</b>			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>8. Specify Weather-Based Irrigation Controllers (automatic, self-adjusting) that Includes a Moisture &amp;/or Rain Sensor Shutoff</b></p> <p><b>Requirement</b> Weather-based irrigation controllers, soil moisture based controllers or other self-adjusting irrigation controllers, shall be required for all irrigation systems.</p> <p><b>Reference</b> <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.6; EBMD website has a list of recommended self adjusting controllers at <a href="http://www.ebmd.com">www.ebmd.com</a>.</p>	<ul style="list-style-type: none"> <li>Submit the make and model and product sheet of the irrigation controller.</li> <li>Provide a statement signed by the Landscape Architect, Designer or Contractor that the installed controller is a self-adjusting model and includes shut off capacity.</li> </ul>	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>9. Sprinkler &amp; Spray Heads are Not Specified for Areas Less Than 8 Feet Wide</b></p> <p><b>Requirement</b> Sprinkler and spray heads are not specified in areas less than or equal to 8 feet wide to prevent overspray and runoff. Acceptable alternatives include drip, subsurface drip, bubblers or no irrigation. Bubblers shall not exceed 1.5 gallons per minute per bubbler.</p>	<ul style="list-style-type: none"> <li>Submit statement signed by the Landscape Architect, Designer or Contractor verifying that irrigation as installed does not have sprinkler or spray heads in planted areas less than 8 feet wide.</li> </ul>	

**Bay-Friendly Basics:** Bay-Friendly Basics represents the 9 required practices in the Bay-Friendly Landscape Scorecard. Landscapes that achieve the Bay-Friendly Basics are not considered to be Bay-Friendly Rated Landscapes. In order to qualify as a Bay-Friendly Rated Landscape a project must complete the entire Bay-Friendly Landscape Scorecard that has these 9 required practices as well earn a minimum of 60 points out of a possible 219 points. In addition, the scorecard must be evaluated by a qualified Bay-Friendly Rater. The Bay-Friendly Basics is also not supposed to substitute for standard horticultural practices. Rather, the Bay-Friendly Basics is supposed to help local government staff raise the minimum environmental requirements for landscape projects that require a permit. For more information on Bay-Friendly Rated Landscapes visit [www.BayFriendly.org](http://www.BayFriendly.org).

This checklist works well with the Small Commercial Green Building Checklist available at [www.BuildGreenNow.org](http://www.BuildGreenNow.org)

**Bay-Friendly Basics Landscape Checklist**

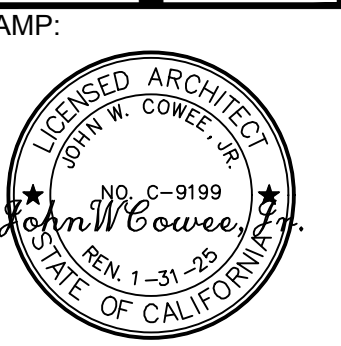


This Bay-Friendly Basics Checklist is for all new construction and renovation of landscapes that are 2,500 square feet of irrigated area or greater and require a permit. The Bay-Friendly Basics represents the 9 required practices from the Bay-Friendly Landscape Scorecard. It is considered a minimum set of practices to improve the environmental performance of the landscape. Projects are recommended to meet all applicable measures on the checklist. For measures that are not applicable or are not in the project's scope of work, select "N/A" and make a note of why the measure does not apply to the project. For electronic copies of this checklist, and other Bay-Friendly Landscaping resources, visit: [www.BayFriendly.org](http://www.BayFriendly.org)

**Project:** Sunflowers Daycare Renovation  
**Address:** 5315 College Ave, Oakland CA94618

Yes No NA	Measure & Requirement	Documentation	Notes
<b>Earthwork &amp; Soil Health</b>			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>1. Mulch</b></p> <p><b>Requirement</b> All soil on site is protected with a minimum of 3 inches of mulch after construction.</p> <p><b>Recommendation</b> Use recycled or greenwaste mulch instead of landscape fabric. Trees identified for removal are chipped and used on site as mulch, on-site storage space permitting.</p> <p><b>Reference</b> <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.1; <i>Bay-Friendly Guide to Mulch</i>, available at <a href="http://www.BayFriendly.org">www.BayFriendly.org</a>. Provides sources of recycled mulch and proper application of mulch and information on sheet mulching.</p>	<ul style="list-style-type: none"> <li>Submit square footage of planting areas as well as cubic yards required to cover planting areas to a minimum three-inch (3") depth.</li> <li>Submit a delivery ticket or receipt of purchased mulch and/or</li> <li>Submit receipts for sheet mulching materials and/or</li> <li>(Optional) Submit photos of trees being chipped for mulch (if applicable).</li> </ul>	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>2. Amend the Soil with Compost Before Planting</b></p> <p><b>Requirement</b> Compost is specified as the soil amendment, at the rates indicated by a soil analysis to bring the soil organic matter content to a minimum of 3.5% by dry weight or 1 inch of compost. If the imported or site soil meets the organic content of 3.5% or more, then the requirement is waived.</p> <p><b>Recommendation</b> Purchase compost from a producer who participates in the U.S. Composting Council's Standard Testing Assurance (STA) program to ensure quality.</p> <p><b>Reference</b> <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.1; Model Bay-Friendly Soil specifications, at <a href="http://www.BayFriendly.org">www.BayFriendly.org</a>; U.S. Composting Council Standard Testing Assurance program explanation and list of participating producers can be found at: <a href="http://www.compostingcouncil.org">www.compostingcouncil.org</a></p>	<ul style="list-style-type: none"> <li>Submit the site soil or imported topsoil analysis. No soils analysis is required if 1" of compost is used.</li> <li>Submit+H35 compost details from construction documents.</li> <li>Submit the receipt or delivery ticket for the compost, indicating the amount of the compost delivered/purchased.</li> </ul> <p><i>If a waiver is requested based on soil organic matter content or the needs of plant palette</i></p> <ul style="list-style-type: none"> <li>Submit a completed plant palette with species that need little/no soil organic matter identified, and include the source of information on their soil needs OR</li> <li>Submit a soils report that indicates the soil has an organic matter content of 3.5% or greater.</li> </ul>	
<b>Materials</b>			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>3. Reduce and Recycle Landscape Construction Waste</b></p> <p><b>Requirement</b> Divert 50% of landscape construction and demolition waste by weight. Verify the local jurisdiction's minimum requirement and reporting procedures for construction and demolition (C&amp;D) recycling.</p> <p><b>Reference:</b> <i>StopWaste.org, Builders' Guide to Reuse &amp; Recycling: A Directory for Construction and Demolition Materials</i> and sample Waste Management Plan for recycling C&amp;D materials at <a href="http://www.BuildGreenNow.org">www.BuildGreenNow.org</a>.</p>	<ul style="list-style-type: none"> <li>State the percent diversion goal in the design documents.</li> <li>List specific goals and recycling and reuse requirements in plans and specifications.</li> <li>Require contractors to review the waste management plan with subcontractors and to include contract language requiring subcontractors comply with the plan.</li> <li>Prior to construction, complete a construction waste management plan. The City should provide a sample template, or one can be downloaded at <a href="http://www.BuildGreenNow.org">www.BuildGreenNow.org</a>.</li> <li>After construction, provide final waste management plan with backup documentation. If materials were sent to a C&amp;D Recycling facility, apply a facility average diversion rate because not all materials can be recycled. Most large C&amp;D facilities have a calculated diversion rate and can provide you with documentation stating the percentage of materials recycled at that facility (typically 50% to 90%).</li> </ul>	
<b>Planting</b>			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>4. Choose &amp; Locate Plants to Grow to Natural Size &amp; Avoid Shearing</b></p> <p><b>Requirement</b> No plant species will require shearing. Species will be selected and plants spaced to allow them to grow to their natural size and shape without shearing at any point in the lifespan of the plant. Pruning for structural integrity and health of plant is permitted. In addition, plants located in a row or adjacent to buildings, sidewalks or in narrow strips/medians will be spaced at the maximum plant spread according to a published reference plant book and still fit into their planting area without significant overhanging against buildings or over walkways, streets or into adjacent plants.</p> <p><b>Definition</b> Shearing is a method of pruning for forming hedges of uniform shape by routinely cutting them with hedge shears, resulting in a geometric growth habit and dense build-up of internal branches.</p> <p><b>Reference</b> <i>Bay-Friendly Landscape Guidelines</i>, Practices 2.1, Bay-Friendly Plant lists are available at <a href="http://www.BayFriendly.org">www.BayFriendly.org</a>; Bornstein, Carol, David Fross and Bart O'Brien, <i>California Native Plants for the Garden</i>; East Bay Municipal Utility District, <i>Plants and Landscapes for Summer-Dry Climates</i>; Sunset, <i>Western Garden Book</i>.</p>	<ul style="list-style-type: none"> <li>Submit plant legend indicating plant species, spacing and mature spread of plant. Indicate the source of information on spacing and spread.</li> <li>Submit a statement signed by the Landscape Architect, Designer or Contractor verifying that installed plants meet this requirement.</li> </ul>	

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[www.architectural-concepts.net](http://www.architectural-concepts.net)



CONSULTANT:

**SUNFLOWERS DAYCARE INC.**  
**LIFT/ ADDITION REMODEL**  
5315 COLLEGE AVE  
OAKLAND, CA 94618  
MAHTA MARASHI & MEHDI SHAFIEI, OWNER

OWNER REVIEW  
DATED 06/13/2022

REVISIONS	DATE
APN: 014-1249-011-03	
APP: ZW2201671	

DATE: 04/20/2023

SHEET TITLE:  
**CALIFORNIA GREEN BUILDING STANDARD CODES**  
SHEET NO.

**G1.5**

REVISION 0



**SURVEYOR'S CERTIFICATE:**  
 THIS MAP CORRECTLY REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AT THE REQUEST OF MEHDI SHAFIEI IN FEBRUARY OF 2022.

I HEREBY STATE THAT ALL EXISTING GRADES AND CONTOURS DELINEATED UPON THIS PLAT ARE BASED UPON CITY OF OAKLAND DATUM.

I HEREBY FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN FULLY SATISFIED.

I HEREBY FURTHER STATE THAT THE PARCEL DESIGNATED BY MY SURVEY AND SHOWN ON THIS MAP IS THE SAME AS THOSE DESCRIBED IN THAT CERTAIN DEED RECORDED ON JUNE 19, 2002, AT SERIES 2002-270231 IN THE OFFICE OF THE ALAMEDA COUNTY RECORDER, AND IDENTIFIED ON THE CURRENT EQUALIZED ASSESSMENT ROLL OF THE ALAMEDA COUNTY ASSESSOR AS PARCEL NO: 014-1249-011-03.

I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYORS' ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE THAT A CORNER RECORD BE FILED.

I HEREBY ACKNOWLEDGE THAT THIS SURVEY SHALL BE PUBLIC RECORD AND MAY BE AVAILABLE FOR INSPECTION AND DISTRIBUTION TO THE GENERAL PUBLIC.

JAMES S. MORAN, L.S. 7881  
 DATE: \_\_\_\_\_

**GENERAL NOTES:**  
 DIMENSIONS ARE IN FEET AND DECIMAL FEET.

DIMENSIONS SHOWN FROM BUILDINGS TO PROPERTY LINES ARE MEASURED AT BUILDING CORNERS FROM THE EXTERIOR BUILDING FACE PERPENDICULAR TO THE PROPERTY LINE.

ALL EASEMENTS REFERENCED IN CHICAGO TITLE COMPANY PRELIMINARY REPORT, TITLE NUMBER FWAC-5852103502L, DATED NOVEMBER 16, 2021 ARE SHOWN HEREON.

HORIZONTAL AND VERTICAL CURVES DO EXIST WITHIN 300 FEET OF THE PROPERTY.

PROTECTED TREES DO NOT EXIST ON THIS SITE.

NO BUS STOPS EXIST WITHIN 100 FEET OF THIS PROPERTY.

CROSSWALKS DO EXIST WITHIN 100 FEET OF THIS PROPERTY.

ASSESSOR'S PARCEL NUMBER: 014-1249-011-03

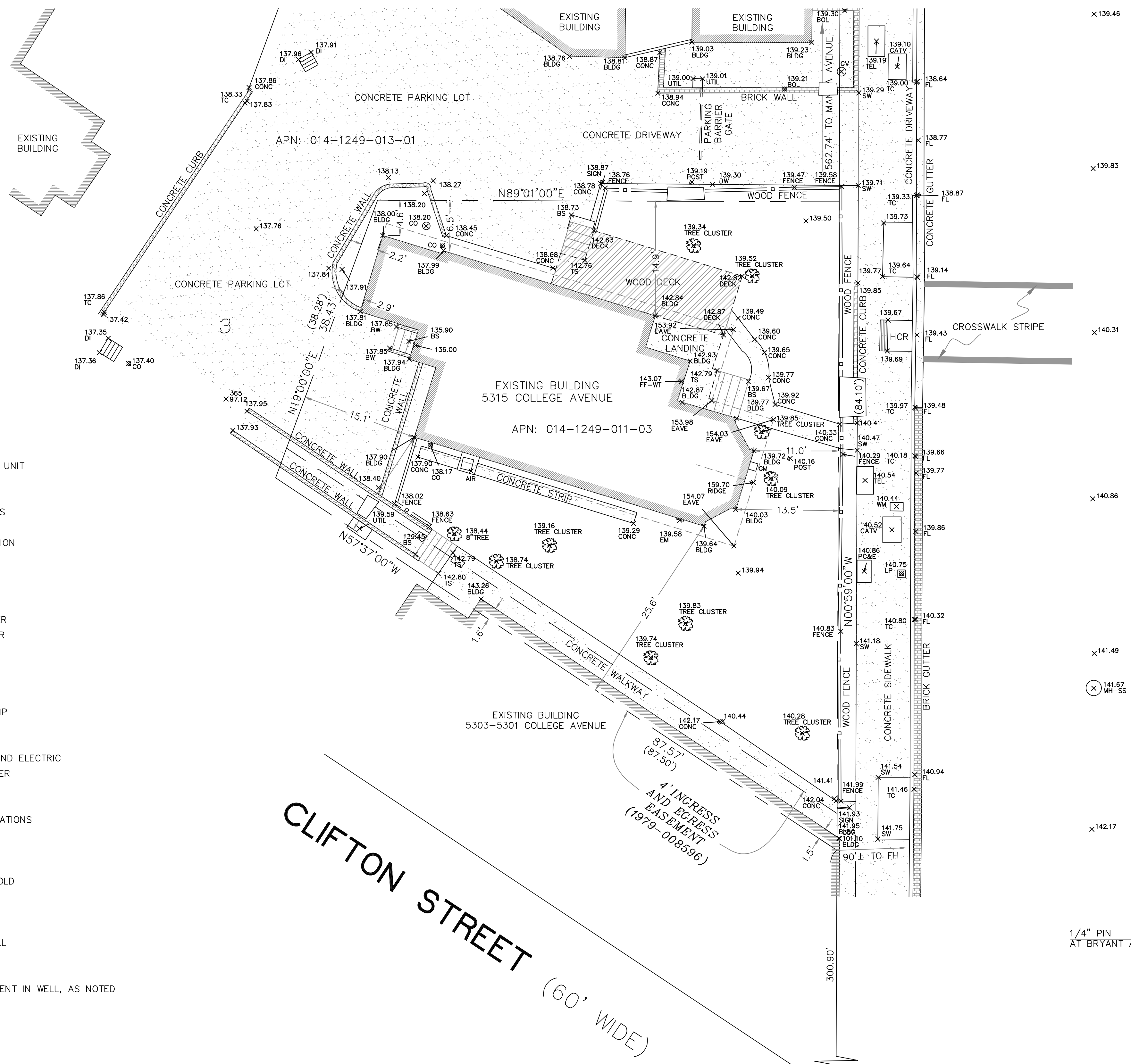
PROPERTY AREA = 4,165± SQUARE FEET

DATE OF FIELD SURVEY: MARCH 7, 2022

**BASIS OF BEARINGS:**  
 THE RIGHT-OF-WAY LINE OF COLLEGE AVENUE WAS TAKEN AS NORTH 00°59'00" WEST PER THE GRANT DEED TO KLETZ (2002-270231).

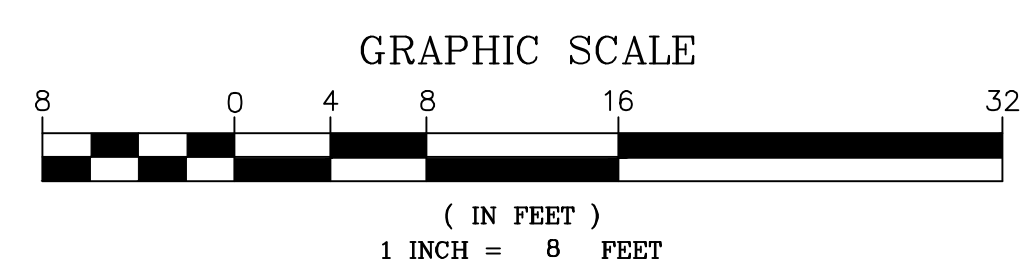
**BENCHMARK:**  
 ELEVATIONS ARE BASED ON CITY OF OAKLAND DATUM. THE EAST CURB RETURN AT THE SOUTHEAST CORNER OF COLLEGE AND KALES AVENUES WAS TAKEN AS ELEVATION = 152.50 FEET PER CITY OF OAKLAND MONUMENT MAPS SHEET 311.

COLLEGE AVENUE (66' WIDE)



- LEGEND**
- AIR AIR CONDITION UNIT
  - BLDG BUILDING
  - BOL BOLLARD
  - BS BASE OF STEPS
  - BW BASE OF WALL
  - CATV CABLE TELEVISION
  - CO CLEAN OUT
  - CONC CONCRETE
  - DI DRAIN INLET
  - DW DRIVEWAY
  - EM ELECTRIC METER
  - FF FINISHED FLOOR
  - FH FIRE HYDRANT
  - FL FLOWLINE
  - GM GAS METER
  - GV GAS VALVE
  - HCR HANDICAP RAMP
  - LP LAMP POST
  - MH MANHOLE
  - PG&E PACIFIC GAS AND ELECTRIC
  - SS SANITARY SEWER
  - SW SIDEWALK
  - TC TOP OF CURB
  - TEL TELECOMMUNICATIONS
  - TS TOP OF STEPS
  - UTIL UTILITY
  - WM WATER METER
  - WT WOOD THRESHOLD
  - BRICK BRICK
  - BUILDING LINE BUILDING LINE
  - CONCRETE CONCRETE
  - CONCRETE WALL CONCRETE WALL
  - WOOD WOOD
  - WOOD FENCE WOOD FENCE
  - FOUND MONUMENT IN WELL, AS NOTED
  - RECORD DATA

**PUBLIC ADVISORY:**  
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## BOUNDARY AND TOPOGRAPHIC SURVEY

A PORTION OF LOT 3, BLOCK M, PORTION OF VERNON PARK (4 M 18)  
 LOCATED AT 5315 COLLEGE AVENUE  
 CITY OF OAKLAND, COUNTY OF ALAMEDA, CALIFORNIA

MARCH 24, 2022      SCALE: 1" = 8'

**MORAN ENGINEERING, INC.**  
 CIVIL ENGINEERS \ LAND SURVEYORS  
 1930 SHATTUCK AVENUE, SUITE A  
 BERKELEY, CALIFORNIA 94704  
 (510) 848-1930

**SURVEYOR'S CERTIFICATE:**  
 THIS MAP CORRECTLY REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AT THE REQUEST OF MEHDI SHAFIEI IN FEBRUARY OF 2022.

I HEREBY STATE THAT ALL EXISTING GRADES AND CONTOURS DELINEATED UPON THIS PLAT ARE BASED UPON CITY OF OAKLAND DATUM.

I HEREBY FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN FULLY SATISFIED.

I HEREBY FURTHER STATE THAT THE PARCEL DESIGNATED BY MY SURVEY AND SHOWN ON THIS MAP IS THE SAME AS THOSE DESCRIBED IN THAT CERTAIN DEED RECORDED ON JUNE 19, 2002, AT SERIES 2002-270231 IN THE OFFICE OF THE ALAMEDA COUNTY RECORDER, AND IDENTIFIED ON THE CURRENT EQUALIZED ASSESSMENT ROLL OF THE ALAMEDA COUNTY ASSESSOR AS PARCEL NO: 014-1249-011-03.

I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYORS' ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE THAT A CORNER RECORD BE FILED.

I HEREBY ACKNOWLEDGE THAT THIS SURVEY SHALL BE PUBLIC RECORD AND MAY BE AVAILABLE FOR INSPECTION AND DISTRIBUTION TO THE GENERAL PUBLIC.



**GENERAL NOTES:**  
 DIMENSIONS ARE IN FEET AND DECIMAL FEET.

DIMENSIONS SHOWN FROM BUILDINGS TO PROPERTY LINES ARE MEASURED AT BUILDING CORNERS FROM THE EXTERIOR BUILDING FACE PERPENDICULAR TO THE PROPERTY LINE.

ALL EASEMENTS REFERENCED IN CHICAGO TITLE COMPANY PRELIMINARY REPORT, TITLE NUMBER FWAC-5852103502L, DATED NOVEMBER 16, 2021 ARE SHOWN HEREON.

HORIZONTAL AND VERTICAL CURVES DO EXIST WITHIN 300 FEET OF THE PROPERTY.

PROTECTED TREES DO NOT EXIST ON THIS SITE.

NO BUS STOPS EXIST WITHIN 100 FEET OF THIS PROPERTY.

CROSSWALKS DO EXIST WITHIN 100 FEET OF THIS PROPERTY.

ASSESSOR'S PARCEL NUMBER: 014-1249-011-03

PROPERTY AREA = 4,165± SQUARE FEET

DATE OF FIELD SURVEY: MARCH 7, 2022

**BASIS OF BEARINGS:**  
 THE RIGHT-OF-WAY LINE OF COLLEGE AVENUE WAS TAKEN AS NORTH 00°59'00" WEST PER THE GRANT DEED TO KLETZ (2002-270231).

**BENCHMARK:**  
 ELEVATIONS ARE BASED ON CITY OF OAKLAND DATUM.  
 THE EAST CURB RETURN AT THE SOUTHEAST CORNER OF COLLEGE AND KALES AVENUES WAS TAKEN AS ELEVATION = 152.50 FEET PER CITY OF OAKLAND MONUMENT MAPS SHEET 311.

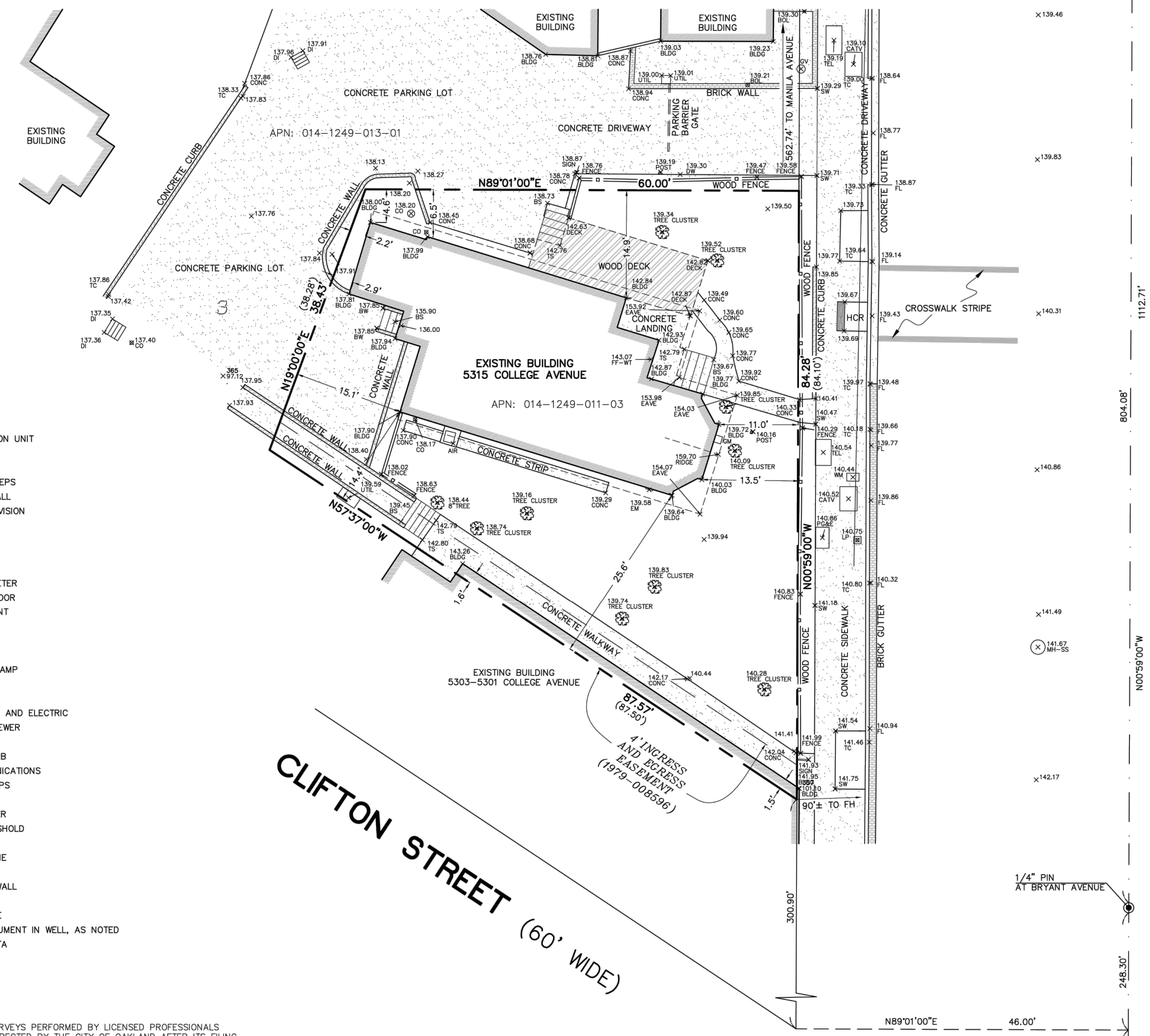
**BOUNDARY AND TOPOGRAPHIC SURVEY**

A PORTION OF LOT 3, BLOCK M, PORTION OF VERNON PARK (4 M 18)  
 LOCATED AT 5315 COLLEGE AVENUE  
 CITY OF OAKLAND, COUNTY OF ALAMEDA, CALIFORNIA

MARCH 24, 2022 SCALE: 1" = 8'

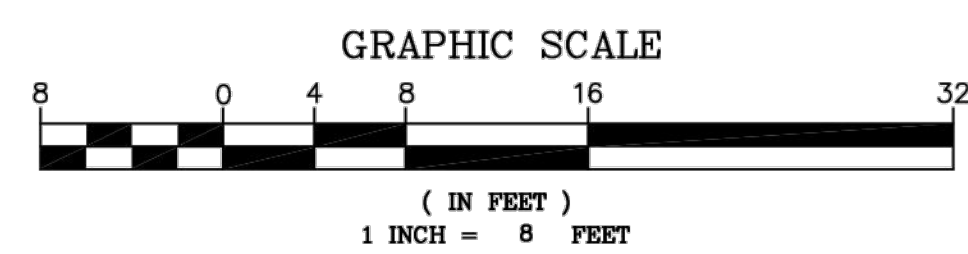
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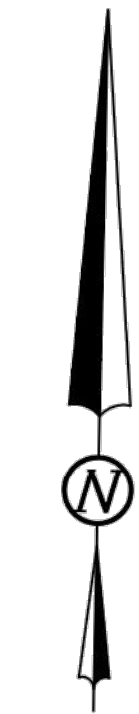


- LEGEND**
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  - TS TOP OF STEPS
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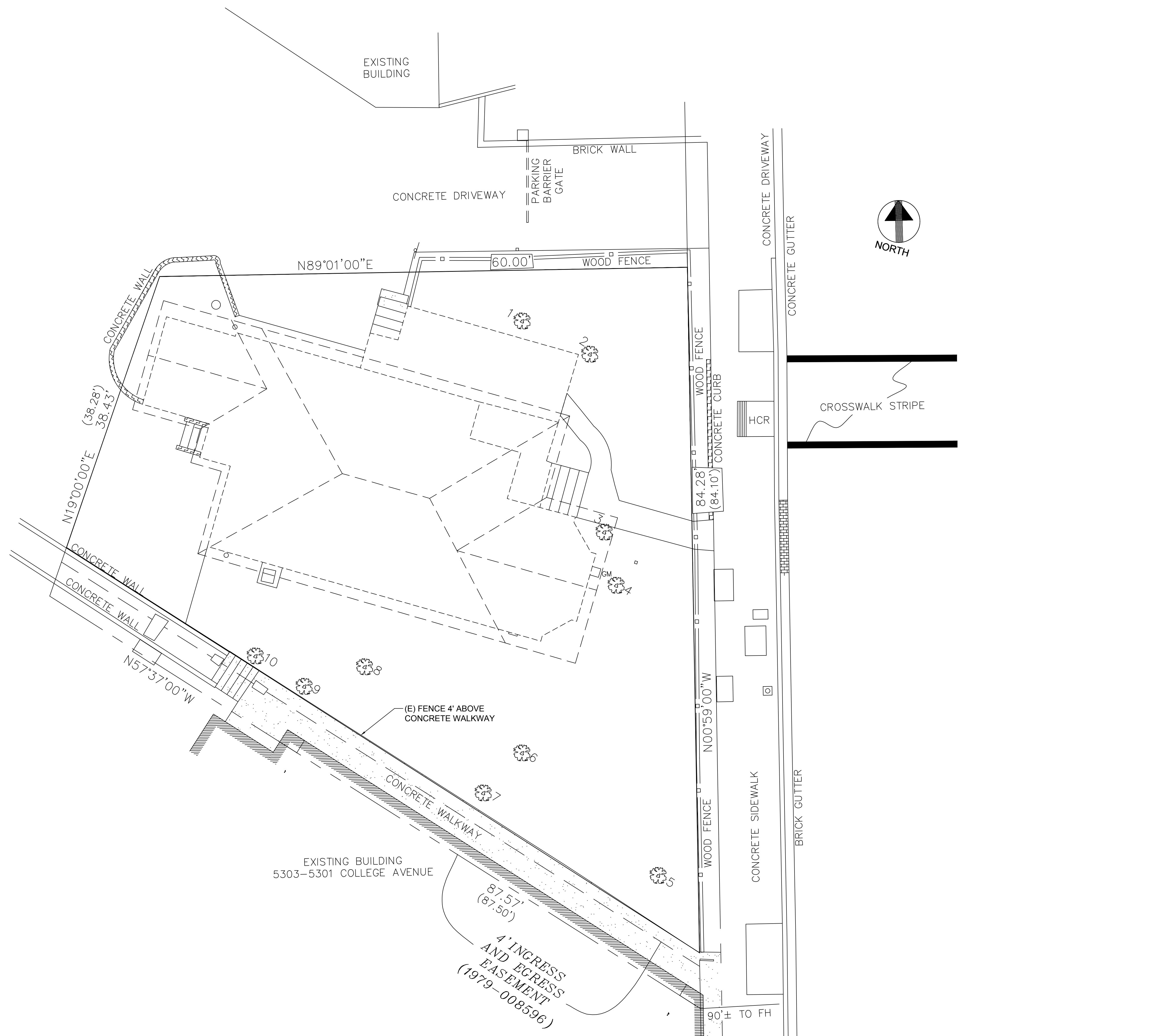
1/4" PIN AT MANILA AVENUE



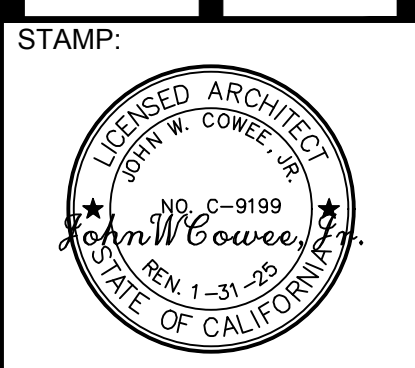
COLLEGE AVENUE (66' WIDE)

1/4" PIN AT BRYANT AVENUE

1/4" PIN



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 nihumeh@gmail.com  
 www.architectural-concepts.net



CONSULTANT:

**SUNFLOWERS DAYCARE INC.**  
**LIFT/ ADDITION REMODEL**  
 5315 COLLEGE AVE  
 OAKLAND, CA 94618  
 MAHTA MARASHI & MEHDI SHAFIEI, OWNER

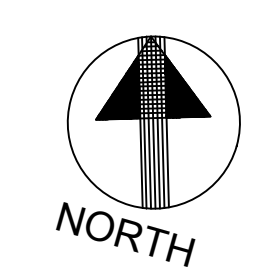
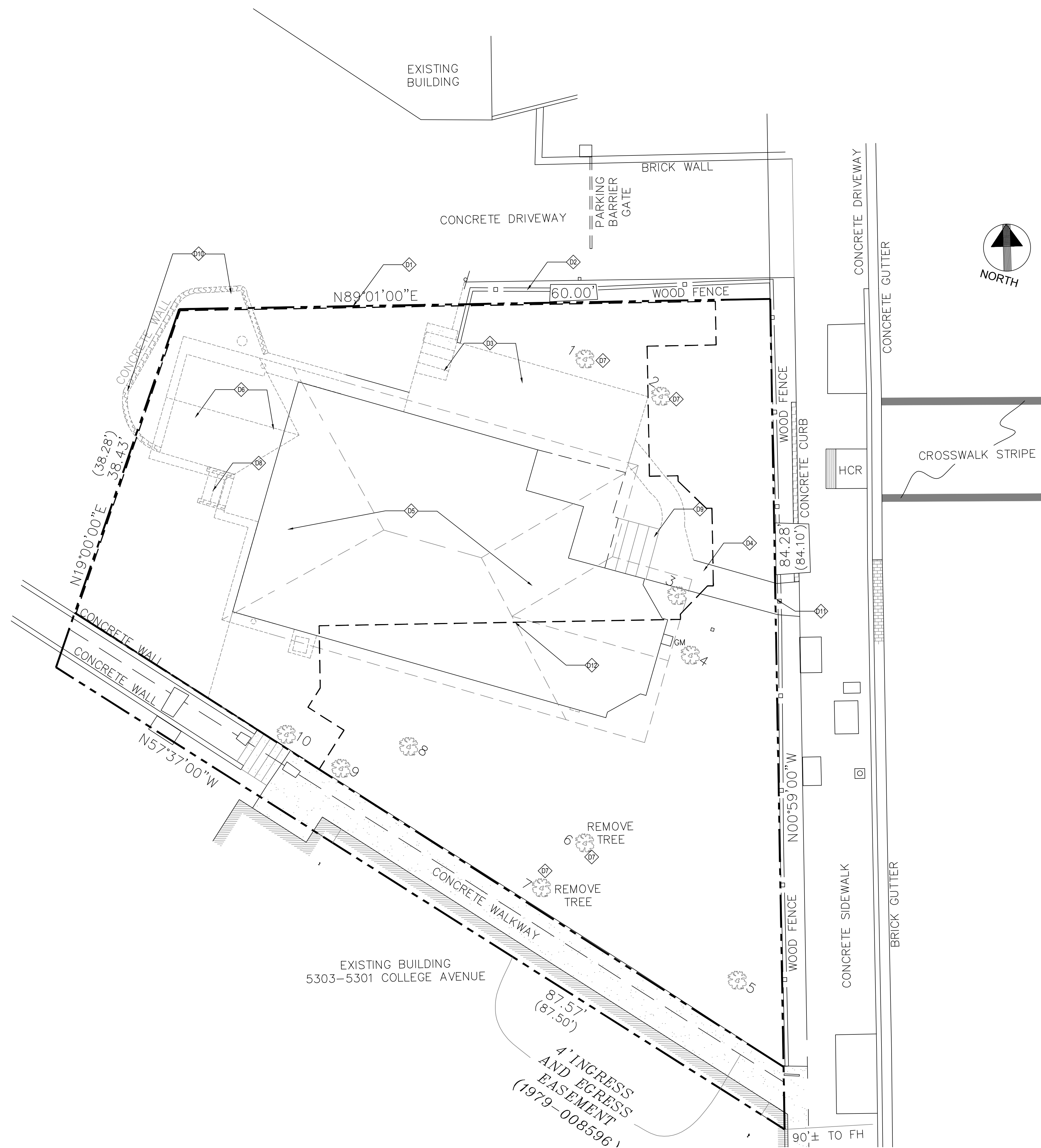
OWNER REVIEW	DATE
0	DATED 06/13/2022

REVISIONS	DATE
APN: 014-1249-011-03	
APP: ZW2201671	
DATE: 04/20/2023	

SHEET TITLE:  
**EXISTING SITE PLAN**

SHEET NO.  
**C0.1**

REVISION 0



**DEMOLITION NOTES**

- 01 EXISTING PROPERTY LINE TO REMAIN.
- 02 EXISTING WOOD FENCE TO REMAIN.
- 03 EXISTING STAIR AND DECK TO BE DEMOLISHED COMPLETE.
- 04 EXISTING WALKWAY TO BE DEMOLISHED COMPLETE.
- 05 EXISTING HOUSE TO BE RAISED AND PREPARED FOR RELOCATION. REMOVE EXISING BASEMENT AND FOUNDATIONS COMPLETE. CUT BACK AND CAP UTILITIES, DRAIN LINES, DOWNSPOUTS, ELECTRICAL SERVICE, AND ETC. AND PREPARE THEM FOR NEW WORK.
- 06 REMOVE REAR ADDITION TO BUILDING.
- 07 REMOVE TREES AND EXISTING LANDSCAPING IN THE WAY OF NEW WORK.
- 08 REMOVE STAIRS TO BASEMENT COMPLETE.
- 09 REMOVE FRONT STAIRS COMPLETE.
- 10 REMOVE CONCRETE WALL AT THE REAR OF THE BUILDING.
- 11 EXISITING GATE AND FENCE TO REMAIN.
- 12 OUTLINE OF NEW BUILDING LOCATION. EXCAVATE THIS AREA TO MATCH BASEMENT FLOOR PLAN. PROVIDE SHORING FOR ANY EXCAVATION DEEPER THAN 5 FEET. PREPARE AREA TO RECEIVE NEW WORK.

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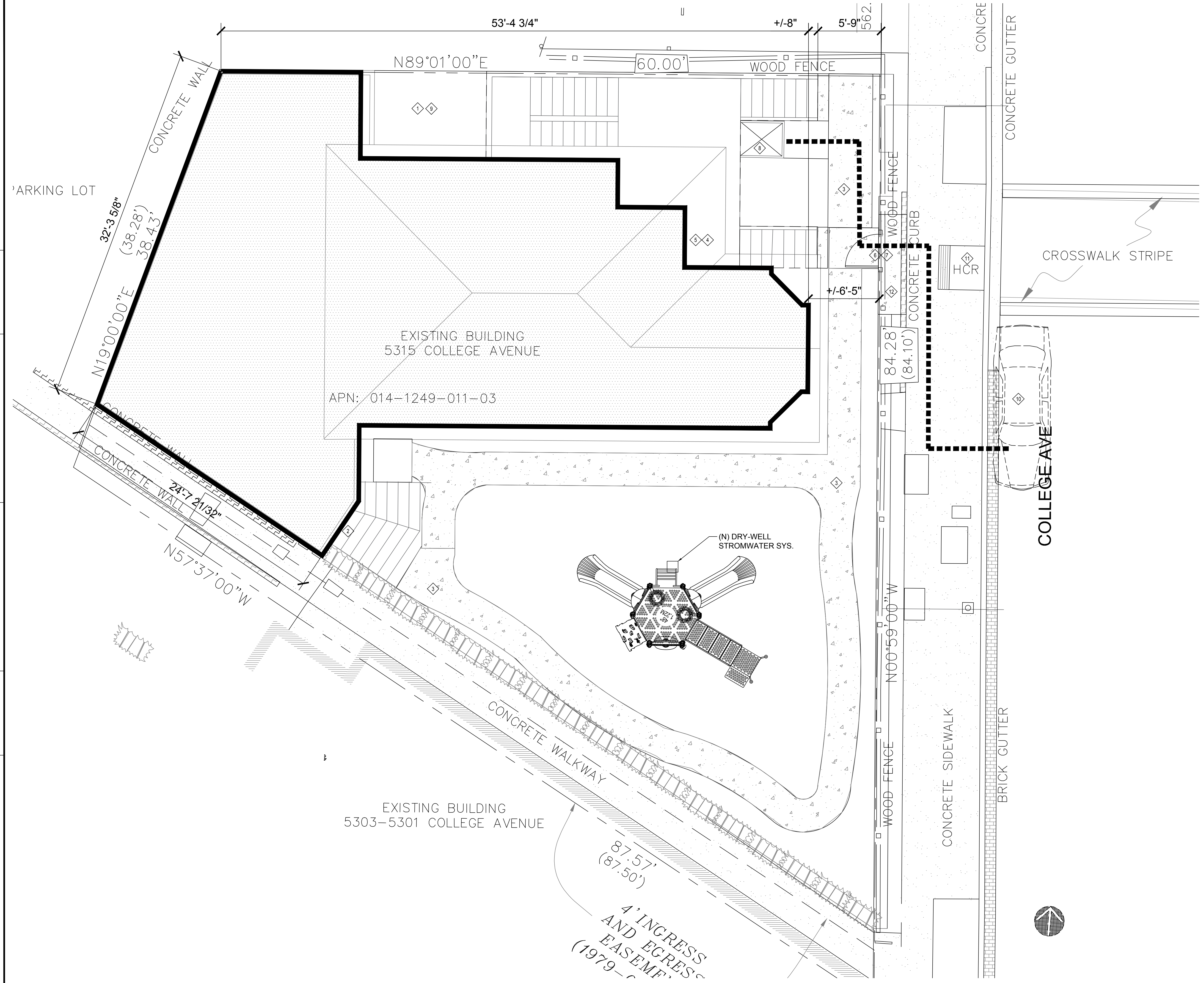
**SUNFLOWERS DAYCARE INC.**  
**LIFT/ ADDITION REMODEL**  
 5315 COLLEGE AVE  
 OAKLAND, CA 94618  
 MAHTA MARASHI & MEHDI SHAFIEI, OWNER

OWNER REVIEW DATED 06/13/2022	
REVISIONS	DATE
APN: 014-1249-011-03	
APP: ZW2201671	
DATE: 04/20/2023	

SHEET TITLE:  
**PROPOSED DEMO SITE PLAN**

SHEET NO.  
**C0.2**

REVISION 0



- ### SITE PLAN NOTES
- 1 4" THICK CONCRETE PATIO W/ #4 BARS @ 24" O.C. EACH WAY.
  - 2 PROVIDE LANDING AT EXIT DOORS W/ THRESHOLD FLUSH WITH DECK OR WALKWAY.
  - 3 4" THICK CONCRETE WALKWAY W/ #3 BARS @ 24" O.C. EACH WAY (MAXIMUM SLOPE 1:20). SEE ALSO L1.2 LANDSCAPE PLAN.
  - 4 NEW TACTILE ACCESSIBLE SIGNAGE ON OUTSIDE OF DOOR AND ADJACENT TO STRIKE EDGE OF DOOR.
  - 5 "ENTRANCE" SIGN W/ TACTILE AS PER CBC-2016 SECTION 1013.4 & 11B-703.1; & ILLUMINATED AS REQUIRED PER CBC-2016 SECTION 1013.2. SEE SHEET ME1.1 FOR EXACT LOCATION OF SIGNS
  - 6 "EXIT ROUTE" SIGN W/ TACTILE AS PER CBC-2016 SECTION 1013.4 & 11B-703.1; ILLUMINATED AS REQUIRED PER CBC-2016 SECTION 1013.2. SEE SHEET ME1.1 FOR EXACT LOCATION OF SIGNS
  - 7 EGRESS PATH OF TRAVEL FROM CLASSROOMS TO PUBLIC RIGHT OF WAY & ACCESSIBLE ROUTE TO BE MAINTAINED PER COMPLIANCE OF SECTION 11B-602 & 11B-307 OF CBC-2016.
  - 8 ACCESSIBLE LIFT - SEE FLOOR PLAN.
  - 9 COURTYARD BELOW.
  - 10 EXISTING ACCESSIBLE PARKING SPACE.
  - 11 EXISTING ACCESSIBLE CURB CUT.
  - 12 NEW CONCRETE PAD TO FACILITATE NEW GATE LOCATION.

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JOHN W. COVEE, JR.  
NO. C-9199  
EXPIRES 1-31-26  
STATE OF CALIFORNIA

CONSULTANT:

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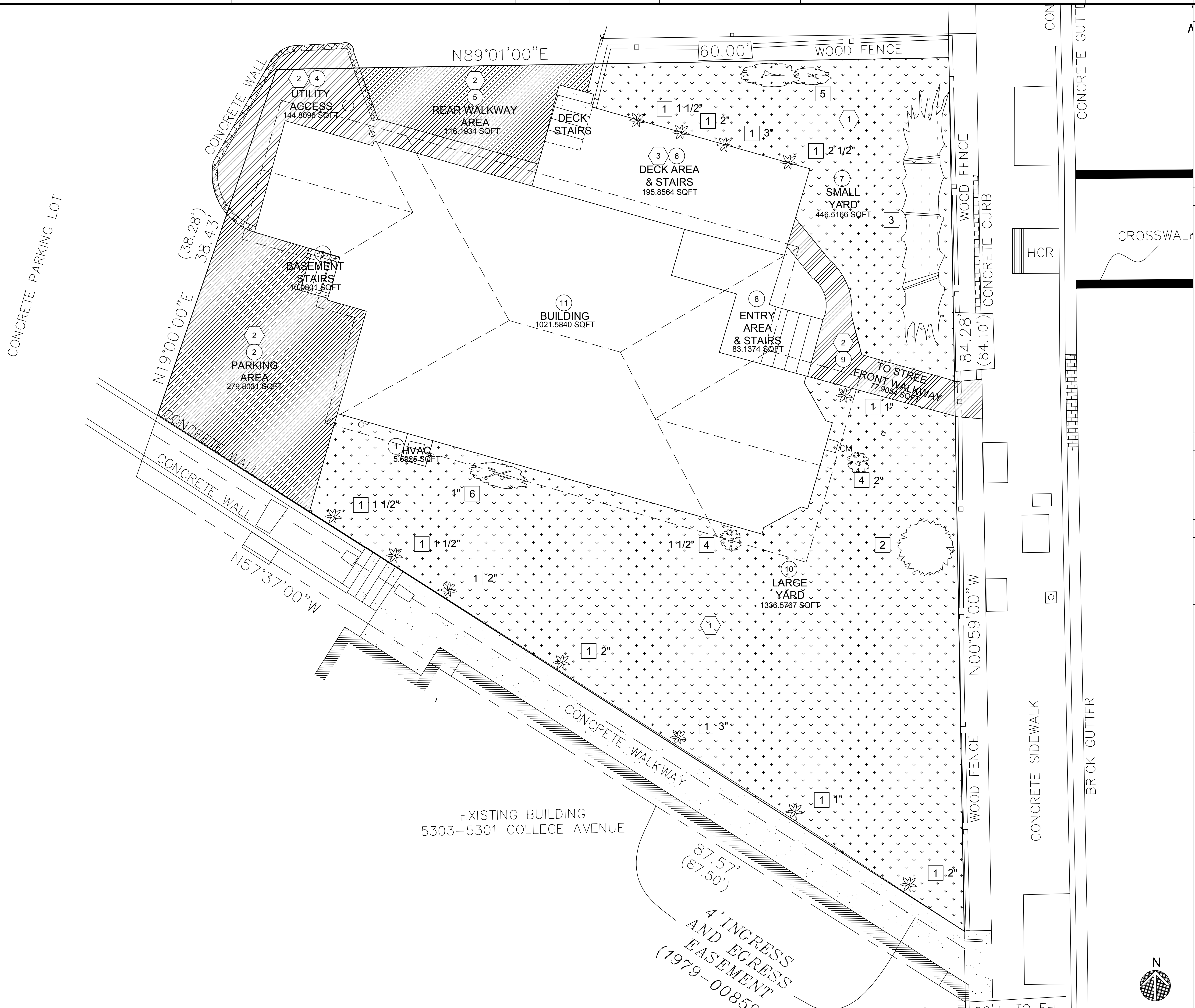
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OWNER REVIEW DATED 08/13/2022	
REVISIONS	DATE
APN: 014-1249-011-03 APP: ZW2201671	
DATE: 04/20/2023	

SHEET TITLE:  
**PROPOSED SITE PLAN**

SHEET NO.  
**C0.3**

REVISION 0



**LANDSCAPING NOTES**

- 1 RED TIP PHOTINIA
- 2 MOLLOWS
- 3 CREEPING LANTANA
- 4 OSMANTHUS FRAGRANS
- 5 KATO
- 6 ROSE
- 7 ARTIFICIAL TURF
- 8 CONCRETE WALKWAYS

**SITE COVERAGE**

- 1 1.5% HVAC PAD
- 2 7.5% PARKING AREA
- 3 2.7% BASEMENT STAIRS
- 4 4% UTILITY ACCESS
- 5 3.9% REAR WALKWAY AREA
- 6 5% DECK AREA & STAIRS
- 7 12% SMALL YARD
- 8 2% TO STREET FRONT WALKWAY
- 9 2% ENTRY AREA & STAIRS
- 10 36% LARGE AREA
- 11 27% BUILDING

**SYMBOL LEGEND**

- 1 PLANT TYPE
- 2 LANDSCAPE NOTES
- 1 MATERIAL TYPES

**MATERIAL TYPE**

- 1 GRASS
- 2 CONCRETE
- 3 WOOD

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OWNER REVIEW  
 DATED 06/13/2022

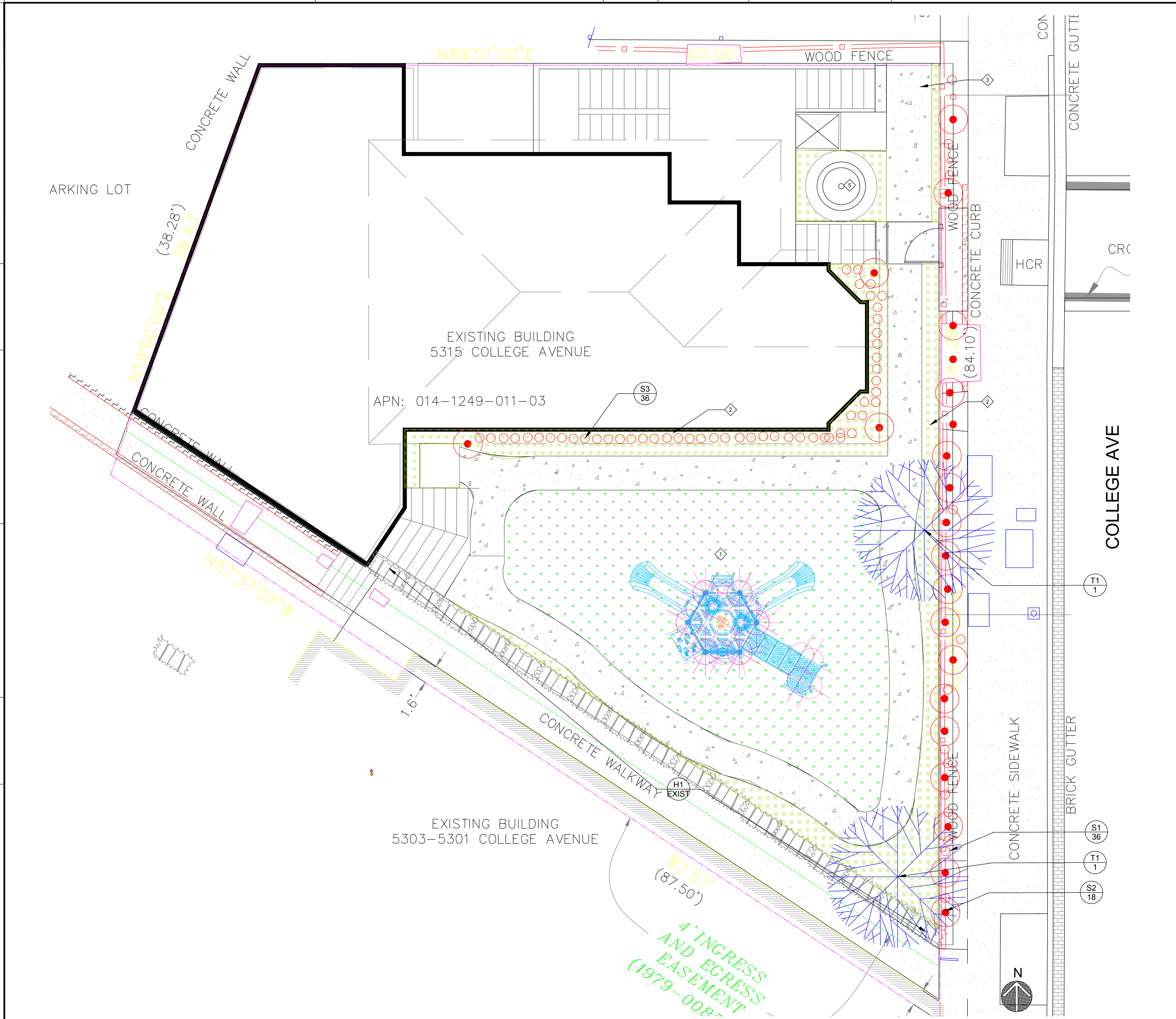
REVISIONS	DATE
APN: 014-1249-011-03	
APP: ZW2201671	
DATE: 04/20/2023	

SHEET TITLE:  
**EXISTING LANDSCAPING PLAN**

SHEET NO.  
**L1.1**

REVISION 0





### PLANTING LEGEND

	SHRUB ID: <b>S1</b> QUANTITY: <b>X</b> SEE PLAN BOTANICAL NAME: SPHAERALCEA AMBIGUA COMMON NAME: APRICOT MALLOW HEIGHT: 1'-0"-3'-0" WIDTH: 1'-0"-3'-0" SPACING: 3'-0" O.C.
	SHRUB ID: <b>S2</b> QUANTITY: <b>X</b> SEE PLAN BOTANICAL NAME: CORREA PULCHELLA COMMON NAME: AUSTARLIA FUSCIA HEIGHT: 1'-0"-3'-0" WIDTH: 1'-0"-3'-0" SPACING: 3'-0" O.C.
	SHRUB ID: <b>S3</b> QUANTITY: <b>X</b> SEE PLAN BOTANICAL NAME: SALVIA CLEVLANDII COMMON NAME: BLUE SAGE WINFRED GILMAN HEIGHT: 3'-0"-6'-0" WIDTH: 3'-0"-6'-0" SPACING: 6'-0" O.C.
	SHRUB ID: <b>S4</b> QUANTITY: <b>X</b> SEE PLAN BOTANICAL NAME: SPHAERALCEA AMBIGUA COMMON NAME: APRICOT MALLOW HEIGHT: 1'-0"-3'-0" WIDTH: 1'-0"-3'-0" SPACING: 3'-0" O.C.
	TREE ID: <b>T1</b> QUANTITY: <b>X</b> SEE PLAN BOTANICAL NAME: ARBUTUS MARINA COMMON NAME: STRAWBERRY MADRONE HEIGHT: 12'-0"-25'-0" WIDTH: 12'-0"-25'-0" SPACING: 12'-0" O.C.
	HEDGE ID: <b>H1</b> QUANTITY: <b>X</b> SEE PLAN BOTANICAL NAME: N/A HEDGE IS EXISTING TO REMAIN COMMON NAME: N/A HEDGE IS EXISTING TO REMAIN HEIGHT: EXISTING WIDTH: EXISTING SPACING: EXISTING

### SITE COVERAGE

1 25.3% LARGE YARD	5 17.3% SMALL YARD
2 7.5% ENTRY #2	6 3.3% ENTRY #1 & STAIRS
3 41% BUILDING	7 1.4% STREET FRONT WALKWAY
4 1.3% ENTRY #3	

- ### SHEET NOTES
- 1 ARTIFICIAL TURF FALL ZONE AND PLAY STRUCTURE BY OWNER.
  - 2 GROUND COVER UNDER PLANTS BY OWNER.
  - 3 REPAIR PICKET FENCE AS NECESSARY, REPAINT, AND RELOCATE (E) GATE TO NEW NORTH ENTRANCE.
  - 4 SEE DRAWING L1.3 FOR BAY FRIENDLY PLANTING REQUIREMENTS AND NOTES.
  - 5 NEW FOUNTAIN BY OWNER. SEE SITE PLAN.

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OAKLAND, CA 94618  
MAHTA MARASHI & MEHDI SHAFIEI, OWNER

OWNER REVIEW DATED 06/13/2022

REVISIONS	DATE
APN: 014-1249-011-03	
APP: ZW2201671	
DATE: 04/20/2023	

SHEET TITLE:  
**NEW LANDSCAPING PLAN**

SHEET NO.  
**L1.2**

REVISION 0

**Bay-Friendly Basics Landscape Checklist**

Yes No NA	Measure & Requirement	Documentation	Notes
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>5. Do Not Plant Invasive Plant Species</b></p> <p><b>Requirement</b> None of the plant species listed by CAL-IPC as invasive in the San Francisco Bay Area are included in the planting plan.</p> <p><b>Definition</b> An invasive species is defined as a species that is non-native (or alien) to the ecosystem under consideration and whose introduction causes or is likely to cause economic or environmental harm or harm to human health. Federal Executive Order 13111.</p> <p><b>Reference</b> Bay-Friendly Landscape Guidelines, Practice 2.1d; Don't Plant A Pestbrochures for trees and plants available at <a href="http://www.cal-ipc.org">www.cal-ipc.org</a>; <a href="http://www.cal-ipc.org/inventory/checkedlist.php">www.cal-ipc.org/inventory/checkedlist.php</a>.</p>	<ul style="list-style-type: none"> <li>Compare the complete list of plants in the plant palette to the Cal-IPC list of plants that are invasive to the San Francisco Bay Area.</li> <li>Submit the complete plant palette.</li> <li>Submit a statement signed by the Landscape Architect, Designer or Contractor confirming that no invasive species were substituted for specified species.</li> </ul>	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>6. Grow drought tolerant CA native, Mediterranean or climate adapted plants</b></p> <p><b>Requirement</b> A minimum of 75% of the total number of plants in non-turf areas must be species that require no or little summer watering once established. Species should be adapted to the climate in which they will be planted, as referenced by a third party source. If plants are given a range of water needs from "occasional to moderate" for example, the landscape designer must determine if the plant will require either occasional or moderate watering based on site, soil, and climate conditions and categorize the plant appropriately.</p> <p><b>Recommendation</b> California native or Mediterranean species are strongly recommended.</p> <p><b>Reference</b> <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.2; Bornstein, Carol, David Fross and Bart O'Brien, <i>California Native Plants for the Garden</i>; EBMUD, <i>Plants and Landscapes for Summer-Dry Climates</i>; Sunset, <i>Western Garden Book</i>; UCCE, <i>Guide to Estimating Irrigation Water Needs of Landscape Plantings in CA</i>, <a href="http://www.cauw.water.ca.gov/docs/wc090500.pdf">www.cauw.water.ca.gov/docs/wc090500.pdf</a>.</p>	<ul style="list-style-type: none"> <li>Submit a plant legend that identifies species, number of plants, irrigation requirements (and reference source of the water requirement), total number of drought tolerant plants and total number of non-turf plants. (download a Bay-Friendly plant legend template to facilitate this process at <a href="http://www.BayFriendly.org">www.BayFriendly.org</a>).</li> <li>Submit a statement signed by the Landscape Architect, Designer or Contractor verifying that installed plants meet this requirement.</li> </ul>	

**Bay-Friendly Basics Landscape Checklist**

Yes No NA	Measure & Requirement	Documentation	Notes
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>7. Minimize the lawn</b></p> <p><b>Requirement</b> A maximum of 25% of total irrigated area is specified as turf, with sports or multiple use fields exempted.</p> <p><b>Reference</b> <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.3; Bay-Friendly Lawn Alternatives plant list at <a href="http://www.BayFriendly.org">www.BayFriendly.org</a>; Brooklyn Botanic Garden Publications, <i>Easy Lawns</i>, <i>Low Maintenance Native Grasses for Gardeners Everywhere</i>.</p>	<ul style="list-style-type: none"> <li>Submit calculations of square feet of turf, excluding sports and multiple use fields, and square feet of total irrigated area.</li> <li>Submit planting plans with sports and multiple use fields identified. Include a statement about the purpose of multiple use fields.</li> <li>Submit as statement signed by the Landscape Architect, Designer or Contractor that installed turf meets the requirements for this credit.</li> </ul>	
<b>Irrigation</b>			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>8. Specify Weather-Based Irrigation Controllers (automatic, self-adjusting) that Includes a Moisture &amp;/or Rain Sensor Shutoff</b></p> <p><b>Requirement</b> Weather-based irrigation controllers, soil moisture based controllers or other self-adjusting irrigation controllers, shall be required for all irrigation systems.</p> <p><b>Reference</b> <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.6; EBMUD website has a list of recommended self adjusting controllers at <a href="http://www.ebmud.com">www.ebmud.com</a>.</p>	<ul style="list-style-type: none"> <li>Submit the make and model and product sheet of the irrigation controller.</li> <li>Provide a statement signed by the Landscape Architect, Designer or Contractor that the installed controller is a self-adjusting model and includes shut off capacity.</li> </ul>	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>9. Sprinkler &amp; Spray Heads are Not Specified for Areas Less Than 8 Feet Wide</b></p> <p><b>Requirement</b> Sprinkler and spray heads are not specified in areas less than or equal to 8 feet wide to prevent overspray and runoff. Acceptable alternatives include drip, subsurface drip, bubblers or no irrigation. Bubblers shall not exceed 1.5 gallons per minute per bubbler.</p>	<ul style="list-style-type: none"> <li>Submit statement signed by the Landscape Architect, Designer or Contractor verifying that irrigation as installed does not have sprinkler or spray heads in planted areas less than 8 feet wide.</li> </ul>	

**Bay-Friendly Basics:** Bay-Friendly Basics represents the 9 required practices in the Bay-Friendly Landscape Scorecard. Landscapes that achieve the Bay-Friendly Basics are not considered to be Bay-Friendly Rated Landscapes. In order to qualify as a Bay-Friendly Rated Landscape a project must complete the entire Bay-Friendly Landscape Scorecard that has these 9 required practices as well earn a minimum of 60 points out of a possible 219 points. In addition, the scorecard must be evaluated by a qualified Bay-Friendly Rater. The Bay-Friendly Basics is also not supposed to substitute for standard horticultural practices. Rather, the Bay-Friendly Basics is supposed to help local government staff raise the minimum environmental requirements for landscape projects that require a permit. For more information on Bay-Friendly Rated Landscapes visit [www.BayFriendly.org](http://www.BayFriendly.org).

This checklist works well with the Small Commercial Green Building Checklist available at [www.BuildGreenNow.org](http://www.BuildGreenNow.org)

**Bay-Friendly Basics Landscape Checklist**



This Bay-Friendly Basics Checklist is for all new construction and renovation of landscapes that are 2,500 square feet of irrigated area or greater and require a permit. The Bay-Friendly Basics represents the 9 required practices from the Bay-Friendly Landscape Scorecard. It is considered a minimum set of practices to improve the environmental performance of the landscape. Projects are recommended to meet all applicable measures on the checklist. For measures that are not applicable or are not in the project's scope of work, select "N/A" and make a note of why the measure does not apply to the project. For electronic copies of this checklist, and other Bay-Friendly Landscaping resources, visit: [www.BayFriendly.org](http://www.BayFriendly.org)

**Project:** Sunflowers Daycare Renovation  
**Address:** 5315 College Ave, Oakland CA94618

Yes No NA	Measure & Requirement	Documentation	Notes
<b>Earthwork &amp; Soil Health</b>			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>1. Mulch</b></p> <p><b>Requirement</b> All soil on site is protected with a minimum of 3 inches of mulch after construction.</p> <p><b>Recommendation</b> Use recycled or greenwaste mulch instead of landscape fabric. Trees identified for removal are chipped and used on site as mulch, on-site storage space permitting.</p> <p><b>Reference</b> <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.1; <i>Bay-Friendly Guide to Mulch</i>, available at <a href="http://www.BayFriendly.org">www.BayFriendly.org</a>. Provides sources of recycled mulch and proper application of mulch and information on sheet mulching.</p>	<ul style="list-style-type: none"> <li>Submit square footage of planting areas as well as cubic yards required to cover planting areas to a minimum three-inch (3") depth.</li> <li>Submit a delivery ticket or receipt of purchased mulch and/or</li> <li>Submit receipts for sheet mulching materials and/or</li> <li>(Optional) Submit photos of trees being chipped for mulch (if applicable).</li> </ul>	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>2. Amend the Soil with Compost Before Planting</b></p> <p><b>Requirement</b> Compost is specified as the soil amendment, at the rates indicated by a soil analysis to bring the soil organic matter content to a minimum of 3.5% by dry weight or 1 inch of compost. If the imported or site soil meets the organic content of 3.5% or more, then the requirement is waived.</p> <p><b>Recommendation</b> Purchase compost from a producer who participates in the U.S. Composting Council's Standard Testing Assurance (STA) program to ensure quality.</p> <p><b>Reference</b> <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.1; Model Bay-Friendly Soil specifications, at <a href="http://www.BayFriendly.org">www.BayFriendly.org</a>; U.S. Composting Council Standard Testing Assurance program explanation and list of participating producers can be found at: <a href="http://www.compostingcouncil.org">www.compostingcouncil.org</a></p>	<ul style="list-style-type: none"> <li>Submit the site soil or imported topsoil analysis. No soils analysis is required if 1" of compost is used.</li> <li>Submit+H35 compost details from construction documents.</li> <li>Submit the receipt or delivery ticket for the compost, indicating the amount of the compost delivered/purchased.</li> </ul> <p><i>If a waiver is requested based on soil organic matter content or the needs of plant palette</i></p> <ul style="list-style-type: none"> <li>Submit a completed plant palette with species that need little/no soil organic matter identified, and include the source of information on their soil needs OR</li> <li>Submit a soils report that indicates the soil has an organic matter content of 3.5% or greater.</li> </ul>	

**Bay-Friendly Basics Landscape Checklist**

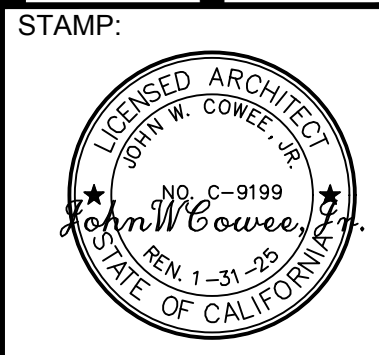
Yes No NA	Measure & Requirement	Documentation	Notes
<b>Materials</b>			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>3. Reduce and Recycle Landscape Construction Waste</b></p> <p><b>Requirement</b> Divert 50% of landscape construction and demolition waste by weight. Verify the local jurisdiction's minimum requirement and reporting procedures for construction and demolition (C&amp;D) recycling.</p> <p><b>Reference:</b> StopWaste.Org, <i>Builders' Guide to Reuse &amp; Recycling: A Directory for Construction and Demolition Materials</i> and sample Waste Management Plan for recycling C&amp;D materials at <a href="http://www.BuildGreenNow.org">www.BuildGreenNow.org</a>.</p>	<ul style="list-style-type: none"> <li>State the percent diversion goal in the design documents.</li> <li>List specific goals and recycling and reuse requirements in plans and specifications.</li> <li>Require contractors to review the waste management plan with subcontractors and to include contract language requiring subcontractors comply with the plan.</li> <li>Prior to construction, complete a construction waste management plan. The City should provide a sample template, or one can be downloaded at <a href="http://www.BuildGreenNow.org">www.BuildGreenNow.org</a>.</li> <li>After construction, provide final waste management plan with backup documentation. If materials were sent to a C&amp;D Recycling facility, apply a facility average diversion rate because not all materials can be recycled. Most large C&amp;D facilities have a calculated diversion rate and can provide you with documentation stating the percentage of materials recycled at that facility (typically 50% to 90%).</li> </ul>	
<b>Planting</b>			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p><b>4. Choose &amp; Locate Plants to Grow to Natural Size &amp; Avoid Shearing</b></p> <p><b>Requirement</b> No plant species will require shearing. Species will be selected and plants spaced to allow them to grow to their natural size and shape without shearing at any point in the lifespan of the plant. Pruning for structural integrity and health of plant is permitted. In addition, plants located in a row or adjacent to buildings, sidewalks or in narrow strips/medians will be spaced at the maximum plant spread according to a published reference plant book and still fit into their planting area without significant overhang against buildings or over walkways, streets or into adjacent plants.</p> <p><b>Definition</b> Shearing is a method of pruning for forming hedges of uniform shape by routinely cutting them with hedge shears, resulting in a geometric growth habit and dense build-up of internal branches.</p> <p><b>Reference</b> <i>Bay-Friendly Landscape Guidelines</i>, Practices 2.1, Bay-Friendly Plant lists are available at <a href="http://www.BayFriendly.org">www.BayFriendly.org</a>; Bornstein, Carol, David Fross and Bart O'Brien, <i>California Native Plants for the Garden</i>; East Bay Municipal Utility District, <i>Plants and Landscapes for Summer-Dry Climates</i>; Sunset, <i>Western Garden Book</i>.</p>	<ul style="list-style-type: none"> <li>Submit plant legend indicating plant species, spacing and mature spread of plant. Indicate the source of information on spacing and spread.</li> <li>Submit a statement signed by the Landscape Architect, Designer or Contractor verifying that installed plants meet this requirement.</li> </ul>	

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CONSULTANT:

**SUNFLOWERS DAYCARE INC.**  
**LIFT/ ADDITION REMODEL**  
5315 COLLEGE AVE  
OAKLAND, CA 94618

**MAHTA MARASHI & MEHDI SHAFIEI, OWNER**

OWNER REVIEW  
DATED 06/13/2022

REVISIONS DATE

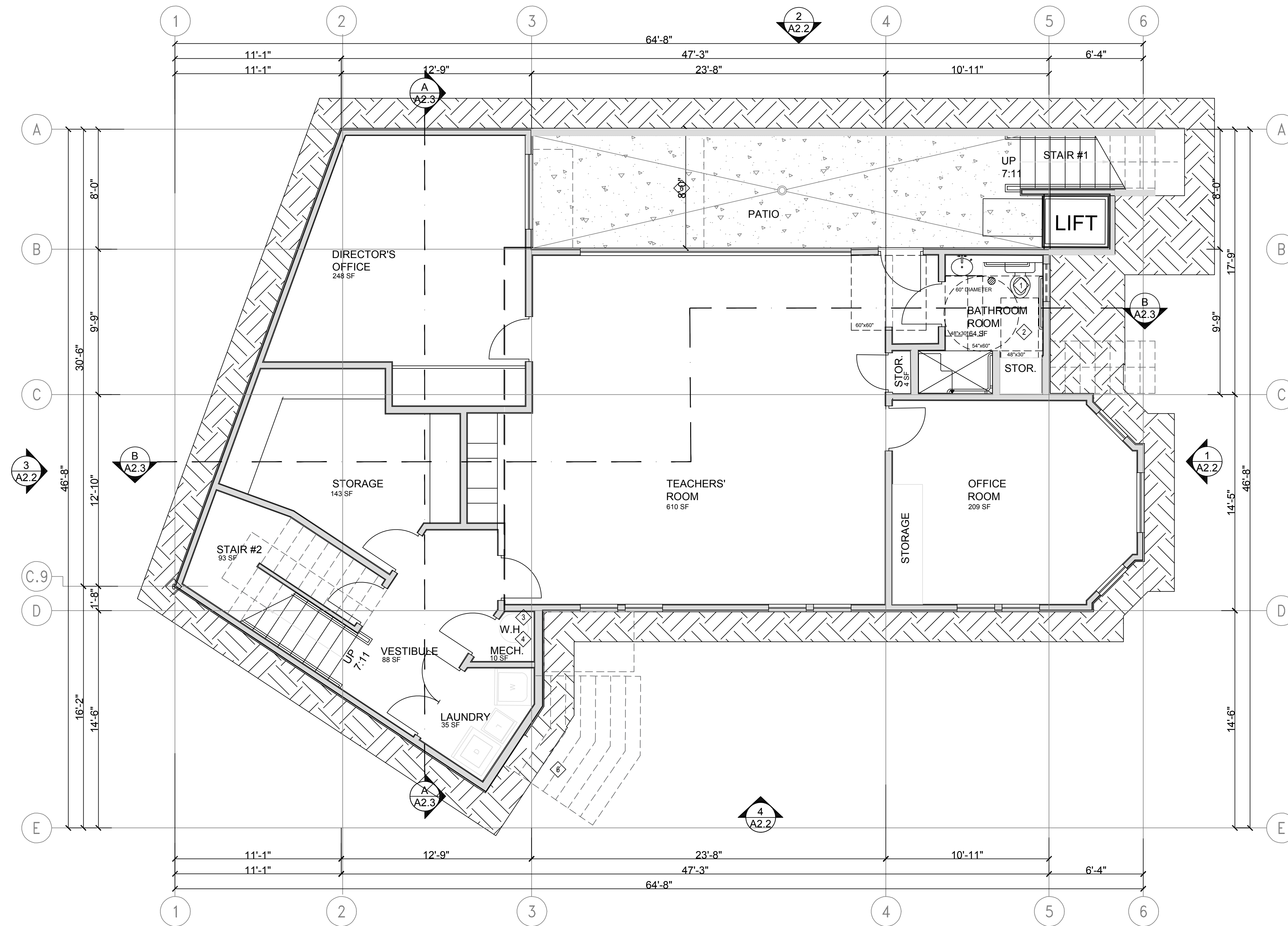
APN: 014-1249-011-03  
APP: ZW2201671

DATE: 04/20/2023

SHEET TITLE:  
**BAY FRIENDLY LANDSCAPING & PLANT LIST**

SHEET NO.  
**L1.3**

REVISION 0



**SHEET NOTES**

- REFER TO GENERAL NOTES SHEET "G1.1" FOR ADDITIONAL INFORMATION.
- REFER TO ELECTRICAL PLANS FOR LOCATIONS OF ALL SWITCHES, LIGHTS, RECEPTACLES, SMOKE DETECTORS, ETC.
- SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND SHALL BE EQUIPPED WITH 24-HOUR BATTERY BACKUP.
- DUCT PIERCING WALL BETWEEN BUILDING EXTERIOR AND INTERIOR SHALL BE 26GA. G.I. MATERIAL WITH SEALED AT EDGES, AND NO OPENINGS, SEC 302.4.
- EVERY CHILDCARE ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE / RESCUE
- NEW RATED EXTERIOR WALL - EXTERIOR FACE: STUCCO OVER TYVEK & METAL LATH, 1/2" SHEATHING, 2X6 WOOD STUDS @ 16" O.C., R-22 HIGH DENSITY INSULATION. INTERIOR FACE: 5/8" GYP. BOARD TAPE & TEXTURE LEVEL 5 FINISH.
- EXISTING EXTERIOR WALL - EXTERIOR FACE: WOOD SIDING O/ BUILDING PAPER O/ SHEATHING, O/ 2X4 WOOD STUDS, R-22 HIGH DENSITY INSULATION. INTERIOR FACE: 5/8" GP. BD. TAPE & TEXTURE LEVEL 5 FINISH.
- INTERIOR WALLS - 2X4 STUDS @ 16" O.C. WITH 5/8" GYP.BD. EACH SIDE, TAPE & TEXTURE LEVEL 5 FINISH. R-13 AT BATHROOM U.O.N. PROVIDE CEMENT BACKER BOARD AT TILE COVERED WALLS.
- PLUMBING WALL - 2X6 STUDS @ 16" O.C. WITH 5/8" W.P. GYP. BD. ABOVE TILE ON WET SIDE AND 5/8" GYP. BD. ON DRY SIDE, TAPE & TEXTURE LEVEL 5 FINISH. PROVIDE CEMENT BACKER BD. AT TILE INSTALLATIONS. R-19 BATT SOUND INSULATION AT BATHROOM.

**FLOOR PLAN NOTES**

- STAFF TOILET W/ 1.28 GPF CAPACITY. CONNECT TO SEWER AND SUM PUMP. SEE SITE PLAN AND PLUMBING PLAN.
- PROVIDE MECHANICAL VENTILATION THIS ROOM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR - REFER TO ELECTRICAL DRAWINGS.
- ELECTRIC TANKLESS WATER HEATER ON EXTERIOR WALL - PROVIDE SEISMIC STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSION. THE LOWER ANCHOR / STRAP LOCATED TO MAINTAIN A DISTANCE OF 4 INCHES ABOVE THE CONTROLS AND INSULATION PER TITLE-24 ENERGY CALCS. - PROVIDE PRESSURE RELIEF VALVE WITH 1/2" COPPER DRAIN TO OUTSIDE. (PRIDE WATER HEATER VENT THROUGH ROOF) & 12"x12" LOUVER T&B.
- ELECTRIC HEAT PUMP UNIT ON 18" HIGH PLATFORM- PROVIDE LIGHT, SWITCH, 110V RECEPTACLE. PER CMC SEC 319. PROVIDE 26 GA. SHT. MET. FOR ALL DUCT PENETRATIONS OF WALLS OR CEILING
- NOT USED.
- 4" CONCRETE SLAB @ PATIO - SEE CIVIL DRAWINGS.
- PROVIDE LANDING AT EXIT DOORS W/ THRESHOLD.
- 4" CONCRETE WALKWAY (MAXIMUM SLOPE 1:20). SEE SITE PLAN.
- 50-GALLON WH ON 18" HIGH PLATFORM. W/ SEISMIC RESTRAINT.
- 30" SPACE FOR REFRIGERATOR BASE CABINETS (ACCESSIBLE);
- NEW TACTILE ACCESSIBLE SIGNAGE ON OUTSIDE OF DOOR AND ADJACENT TO STRIKE EDGE OF DOOR.
- CHILD SIZE TOILET BY "AMERICAN STANDARD MODEL #BABY DEVORO WITH WHITE COLOR.
- WALL HUNG SINK BY "AMERICAN STANDARD MODEL #LUCERN (OR APPROVED EQUAL) WITH WHITE COLOR". WRAP PIPES BELOW WITH PRE-MANUFACTURED TRAP/ PIPE WRAP PROFILE INSULATION. PROVIDE FAUCET-SINGLE LEVER CONTROL BY "DELTA" (MODEL #544WFMPU-OR APPROVED EQUAL)
- MOPSINK W/ BUCKET HANGER BY "FLORESTONE" (MODEL #MSA-2424 24"x24") OR APPROVED EQUAL.
- "TO EXIT" SIGN W/ TACTILE AS PER CBC-2016 SECTION 1013.4 & 11B-703.1; & ILLUMINATED AS REQUIRED PER CBC-2016 SECTION 1013.2, SEE SHEET ME1.1 FOR EXACT LOCATION OF SIGNS
- "EXIT ROUTE" SIGN W/ TACTILE AS PER CBC-2016 SECTION 1013.4 & 11B-703.1; ILLUMINATED AS REQUIRED PER CBC-2016 SECTION 1013.2, SEE SHEET ME1.1 FOR EXACT LOCATION OF SIGNS
- ACCESSIBILITY COMPLIANT BASE CABINET NON-ABSORBANT FLOOR FINISH IN BATHROOM AND EXTENDING 6" HIGH AT FLOOR AND WALL INTERSECTION WITH SAME MATERIAL AS FLOOR & WAINSCOTT TO A MIN. HEIGHT OF 48" ABOVE FINISH FLOOR; (IN COMPLIANCE W/ CBC-2016 SECTIONS 1210.2.1 & 1210.2.2)
- INSTALL PORTABLE FIRE EXTINGUISHERS AS REQUIRED PER CBC-2016 SECTION 906.3 (SEE SHEET E1 ALSO)
- EGRESS PATH OF TRAVEL FROM CLASSROOMS TO PUBLIC RIGHT OF WAY & ACCESSIBLE ROUTE DRINKING FOUNTAIN TO BE INSTALLED PER COMPLIANCE OF SECTION 11B-602 & 11B-307 OF CBC-2016.
- KNEE CLEARANCE SHALL BE PER FIGURE 11B-306.3 OF CBC-2016. SPOUT HEIGHT SHALL BE 36" AFF (SECTION 11B-602.4). SPOUT LOCATION SHALL BE LOCATED 15" MINIMUM FROM VERTICAL SUPPORT & 5" MAX. FROM THE FRONT EDGE OF THE UNIT (SECTION 11B-602.5).

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 JOHN W. COVEE  
 ARCHITECT  
 LICENSE NO. 9199  
 STATE OF CALIFORNIA

CONSULTANT:

**SUNFLOWERS DAYCARE INC.**  
 LIFT/ ADDITION REMODEL  
 5315 COLLEGE AVE  
 OAKLAND, CA 94618  
 MAHTA MARASHI & MEHDI SHAFIEI, OWNER

**1 PROPOSED BASEMENT FLOOR PLAN** SCALE 1/4" = 1'-0" **1,649 SQ.FT.**

SCHEDULES

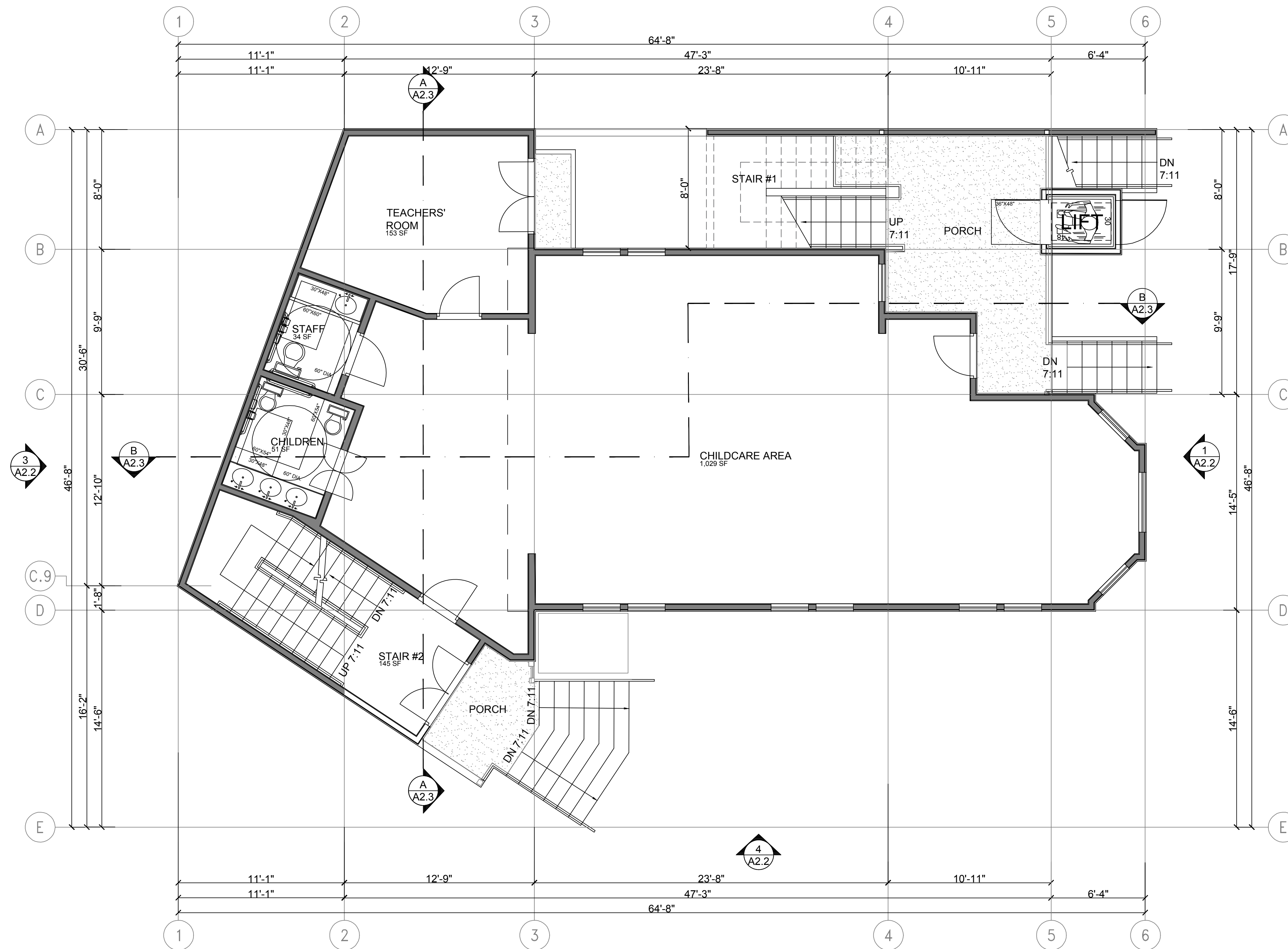
OWNER REVIEW  
 DATED 06/13/2022

REVISIONS	DATE
APN: 014-1249-011-03	
APP: 2W2201671	
DATE: 04/20/2023	

SHEET TITLE:  
**PROPOSED BASEMENT FLOOR PLAN**

SHEET NO.  
**A1.0**

REVISION 0



**SHEET NOTES**

- A REFER TO GENERAL NOTES SHEET "G1.1" FOR ADDITIONAL INFORMATION.
- B REFER TO ELECTRICAL PLANS FOR LOCATIONS OF ALL SWITCHES, LIGHTS, RECEPTACLES, SMOKE DETECTORS, ETC.
- C SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND SHALL BE EQUIPPED WITH 24-HOUR BATTERY BACKUP.
- D DUCT PIERCING WALL BETWEEN BUILDING EXTERIOR AND INTERIOR SHALL BE 26GA. G.I. MATERIAL WITH SEALED AT EDGES, AND NO OPENINGS, SEC 302.4.
- E EVERY CHILDCARE ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE / RESCUE
- F NEW 1-HOUR RATED EXTERIOR WALL - EXTERIOR FACE: WOOD SIDING OVER TYVEK & METAL LATH, 1/2" SHEATHING, 2X6 WOOD STUDS @ 16" O.C., R-22 HIGH DENSITY INSULATION. INTERIOR FACE: 5/8" GYP. BOARD TYPE "X". TAPE & TEXTURE LEVEL 5 FINISH.
- G EXISTING EXTERIOR WALL - EXTERIOR FACE: WOOD SIDING / BUILDING PAPER / SHEATHING, / 2X4 WOOD STUDS, R-22 HIGH DENSITY INSULATION. INTERIOR FACE: 5/8" GP. BD. TAPE & TEXTURE LEVEL 5 FINISH.
- H INTERIOR WALLS - 2X4 STUDS @ 16" O.C. WITH 5/8" GYP.BD. EACH SIDE. TAPE & TEXTURE LEVEL 5 FINISH. R-13 AT BATHROOM U.O.N. PROVIDE CEMENT BACKER BOARD AT TILE COVERED WALLS.
- J PLUMBING WALL - 2X6 STUDS @ 16" O.C. WITH 5/8" W.P. GYP. BD. ABOVE TILE ON WET SIDE AND 5/8" GYP. BD. ON DRY SIDE, TAPE & TEXTURE LEVEL 5 FINISH. PROVIDE CEMENT BACKER BD. AT TILE INSTALLATIONS. R-19 BATT SOUND INSULATION AT BATHROOM.

**FLOOR PLAN NOTES**

- 1 STAFF TOILET W/ 1.28 GPF CAPACITY. CONNECT TO SEWER AND SUM PUMP. SEE SITE PLAN AND PLUMBING PLAN.
- 2 PROVIDE MECHANICAL VENTILATION THIS ROOM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR - REFER TO ELECTRICAL DRAWINGS.
- 3 NEW WOOD STAIRWAY AND PORCH W/ 42" HIGH GUARDRAIL AND 34" HIGH HADRAILS.
- 4 EXTERIOR ELECTRIC ACCESSIBLE LIFT FROM BASEMENT TO FIRST FLOOR.
- 5 CONCRETE STAIR TO GRADE - SEE CIVIL DRAWINGS.
- 6 LANDINGS AT EXIT DOORS W/ THRESHOLD ARE FLUSH WITH FLOOR.
- 7 30" SPACE FOR REFRIGERATOR BASE CABINETS (ACCESSIBLE);
- 8 NEW TACTILE ACCESSIBLE SIGNAGE ON OUTSIDE OF DOOR AND ADJACENT TO STRIKE EDGE OF DOOR.
- 9 CHILD SIZE TOILET BY "AMERICAN STANDARD MODEL #BABY DEVORO WITH WHITE COLOR.
- 10 WALL HUNG SINK BY "AMERICAN STANDARD MODEL #LUCERN (OR APPROVED EQUAL) WITH WHITE COLOR". WRAP PIPES BELOW WITH PRE-MANUFACTURED TRAP/ PIPE WRAP PROFILE INSULATION. PROVIDE FAUCET-SINGLE LEVER CONTROL BY "DELTA" (MODEL #544WFMPU-OR APPROVED EQUAL)
- 11 MOPSINK W/ BUCKET HANGER BY "FLORESTONE" (MODEL #MSA-2424 24"X24") OR APPROVED EQUAL.
- 12 "TO EXIT" SIGN W/ TACTILE AS PER CBC-2016 SECTION 1013.4 & 11B-703.1; & ILLUMINATED AS REQUIRED PER CBC-2016 SECTION 1013.2, SEE SHEET ME1.1 FOR EXACT LOCATION OF SIGNS
- 13 "EXIT ROUTE" SIGN W/ TACTILE AS PER CBC-2016 SECTION 1013.4 & 11B-703.1; ILLUMINATED AS REQUIRED PER CBC-2016 SECTION 1013.2, SEE SHEET ME1.1 FOR EXACT LOCATION OF SIGNS
- 14 ACCESSIBILITY COMPLIANT BASE CABINET NON-ABSORBANT FLOOR FINISH IN BATHROOM AND EXTENDING 6" HIGH AT FLOOR AND WALL INTERSECTION WITH SAME MATERIAL AS FLOOR & WAINSCOTT TO A MIN. HEIGHT OF 48" ABOVE FINISH FLOOR; (IN COMPLIANCE W/ CBC-2016 SECTIONS 1210.2.1 & 1210.2.2)
- 15 INSTALL PORTABLE FIRE EXTINGUISHERS AS REQUIRED PER CBC-2016 SECTION 906.3 (SEE SHEET E1 ALSO)
- 16 EGRESS PATH OF TRAVEL FROM CLASSROOMS TO PUBLIC RIGHT OF WAY & ACCESSIBLE ROUTE DRINKING FOUNTAIN TO BE INSTALLED PER COMPLIANCE OF SECTION 11B-602 & 11B-307 OF CBC-2016.
- 17 KNEE CLEARANCE SHALL BE PER FIGURE 11B-306.3 OF CBC-2016. SPOUT HEIGHT SHALL BE 36" AFF (SECTION 11B-602.4). SPOUT LOCATION SHALL BE LOCATED 15" MINIMUM FROM VERTICAL SUPPORT & 5" MAX. FROM THE FRONT EDGE OF THE UNIT (SECTION 11B-602.5).
- 18 1-HOUR RATED STAIRWAY WALL WITH HORIZONTAL WOOD SIDING TO MATCH EXISTING / 5/8" TYPE "X" GYP. SHEATHING / 1/2" CDX PLYWOOD EACH SIDE.
- 19 BALCONY WITH 42" HIGH WOOD GUARD RAILING.
- 20 RETAINING WALL BELOW.
- 21 OPEN TO BELOW.

**1 PROPOSED 1ST FLOOR PLAN** SCALE 1/4" = 1'-0" **1,525 SQ.FT.**

SCHEDULES

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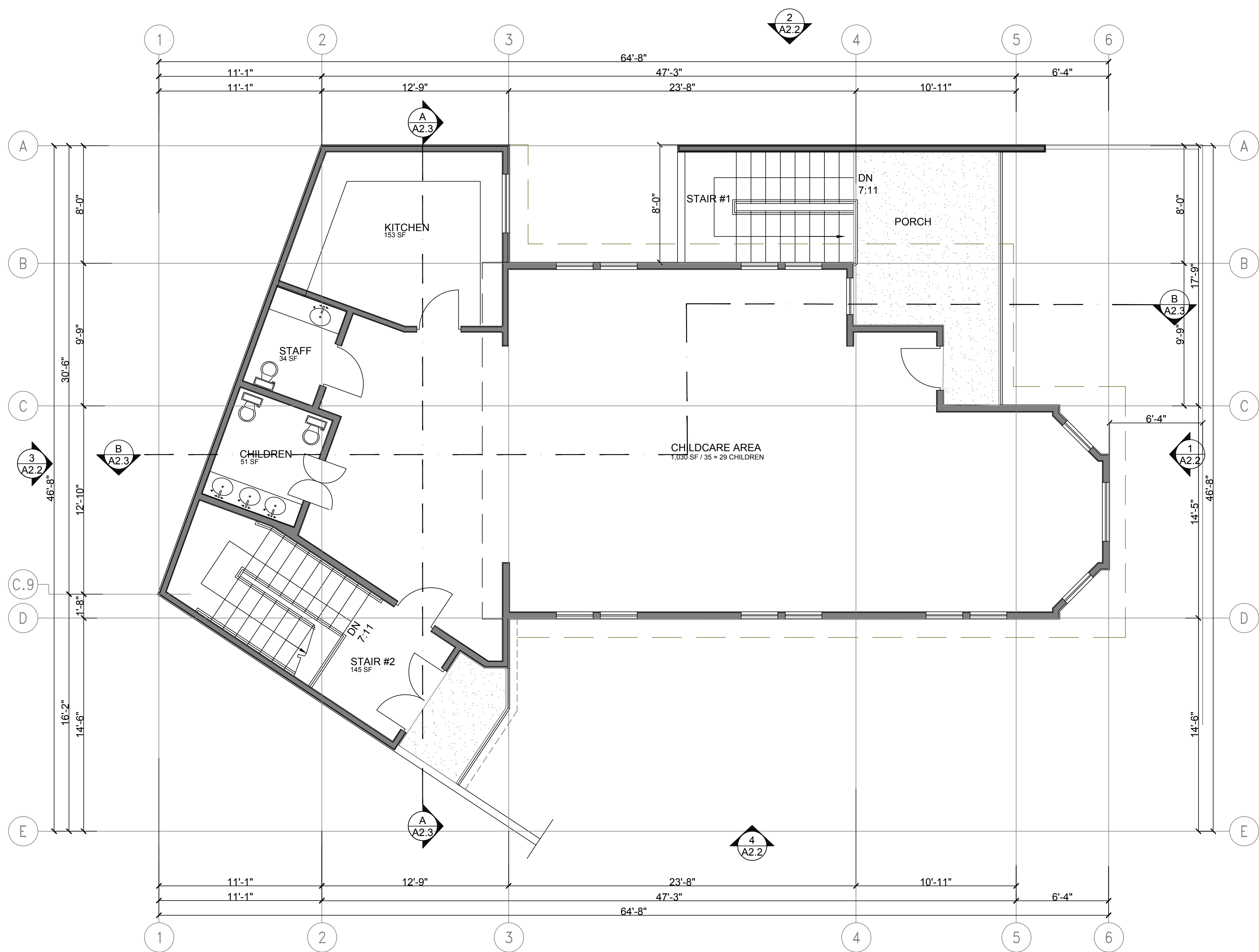
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APN: 014-1249-011-03	
APP: ZW2201671	
DATE: 04/20/2023	

SHEET TITLE:  
**PROPOSED 1ST FLOOR PLAN**

SHEET NO.  
**A1.1**

REVISION 0



**SHEET NOTES**

- REFER TO GENERAL NOTES SHEET "G1.1" FOR ADDITIONAL INFORMATION.
- REFER TO ELECTRICAL PLANS FOR LOCATIONS OF ALL SWITCHES, LIGHTS, RECEPTACLES, SMOKE DETECTORS, ETC.
- SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND SHALL BE EQUIPPED WITH 24-HOUR BATTERY BACKUP.
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- EVERY CHILDCARE ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE / RESCUE
- NEW RATED EXTERIOR WALL - EXTERIOR FACE: STUCCO OVER TYVEK & METAL LATH, 1/2" SHEATHING, 2X6 WOOD STUDS @ 16" O.C. R-22 HIGH DENSITY INSULATION. INTERIOR FACE: 5/8" GYP. BOARD TAPE & TEXTURE LEVEL 5 FINISH.
- EXISTING EXTERIOR WALL - EXTERIOR FACE: WOOD SIDING O/ BUILDING PAPER O/ SHEATHING, O/ 2X4 WOOD STUDS, R-22 HIGH DENSITY INSULATION. INTERIOR FACE: 5/8" GP. BD. TAPE & TEXTURE LEVEL 5 FINISH.
- INTERIOR WALLS - 2X4 STUDS @ 16" O.C. WITH 5/8" GYP. BD. EACH SIDE, TAPE & TEXTURE LEVEL 5 FINISH. R-13 AT BATHROOM U.O.N. PROVIDE CEMENT BACKER BOARD AT TILE COVERED WALLS.
- PLUMBING WALL - 2X6 STUDS @ 16" O.C. WITH 5/8" W.P. GYP. BD. ABOVE TILE ON WET SIDE AND 5/8" GYP. BD. ON DRY SIDE, TAPE & TEXTURE LEVEL 5 FINISH. PROVIDE CEMENT BACKER BD. AT TILE INSTALLATIONS. R-19 BATT SOUND INSULATION AT BATHROOM.

**FLOOR PLAN NOTES**

- STAFF TOILET W/ 1.28 GPF CAPACITY. CONNECT TO SEWER AND SUM PUMP. SEE SITE PLAN AND PLUMBING PLAN.
- PROVIDE MECHANICAL VENTILATION THIS ROOM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR - REFER TO ELECTRICAL DRAWINGS.
- ELECTRIC TANKLESS WATER HEATER ON EXTERIOR WALL - PROVIDE SEISMIC STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSION. THE LOWER ANCHOR / STRAP LOCATED TO MAINTAIN A DISTANCE OF 4 INCHES ABOVE THE CONTROLS AND INSULATION PER TITLE-24 ENERGY CALCS. - PROVIDE PRESSURE RELIEF VALVE WITH 1/2" COPPER DRAIN TO OUTSIDE. (PRIDE WATER HEATER VENT THROUGH ROOF) & 12"x12" LOUVER T&B.
- ELECTRIC HEAT PUMP UNIT ON 18" HIGH PLATFORM- PROVIDE LIGHT, SWITCH, 110V RECEPTACLE. PER CMC SEC 319. PROVIDE 26 GA. SHT. MET. FOR ALL DUCT PENETRATIONS OF WALLS OR CEILING
- NOT USED.
- 4" CONCRETE SLAB @ PATIO - SEE CIVIL DRAWINGS.
- PROVIDE LANDING AT EXIT DOORS W/ THRESHOLD.
- 4" CONCRETE WALKWAY (MAXIMUM SLOPE 1:20). SEE SITE PLAN.
- 50-GALLON WH ON 18" HIGH PLATFORM. W/ SEISMIC RESTRAINT.
- 30" SPACE FOR REFRIGERATOR BASE CABINETS (ACCESSIBLE);
- NEW TACTILE ACCESSIBLE SIGNAGE ON OUTSIDE OF DOOR AND ADJACENT TO STRIKE EDGE OF DOOR.
- CHILD SIZE TOILET BY "AMERICAN STANDARD MODEL #BABY DEVORO WITH WHITE COLOR.
- WALL HUNG SINK BY "AMERICAN STANDARD MODEL #LUCERN (OR APPROVED EQUAL) WITH WHITE COLOR". WRAP PIPES BELOW WITH PRE-MANUFACTURED TRAP/ PIPE WRAP PROFILE INSULATION. PROVIDE FAUCET-SINGLE LEVER CONTROL BY "DELTA" (MODEL #544WFMPU-OR APPROVED EQUAL)
- MOP/SINK W/ BUCKET HANGER BY "FLORESTONE" (MODEL #MSA-2424 24"x24") OR APPROVED EQUAL.
- "TO EXIT" SIGN W/ TACTILE AS PER CBC-2016 SECTION 1013.4 & 11B-703.1; & ILLUMINATED AS REQUIRED PER CBC-2016 SECTION 1013.2, SEE SHEET ME1.1 FOR EXACT LOCATION OF SIGNS
- "EXIT ROUTE" SIGN W/ TACTILE AS PER CBC-2016 SECTION 1013.4 & 11B-703.1; ILLUMINATED AS REQUIRED PER CBC-2016 SECTION 1013.2, SEE SHEET ME1.1 FOR EXACT LOCATION OF SIGNS
- ACCESSIBILITY COMPLIANT BASE CABINET NON-ABSORBANT FLOOR FINISH IN BATHROOM AND EXTENDING 6" HIGH AT FLOOR AND WALL INTERSECTION WITH SAME MATERIAL AS FLOOR & WAINSCOTT TO A MIN. HEIGHT OF 48" ABOVE FINISH FLOOR; (IN COMPLIANCE W/ CBC-2016 SECTIONS 1210.2.1 & 1210.2.2)
- INSTALL PORTABLE FIRE EXTINGUISHERS AS REQUIRED PER CBC-2016 SECTION 906.3 (SEE SHEET E1 ALSO)
- EGRESS PATH OF TRAVEL FROM CLASSROOMS TO PUBLIC RIGHT OF WAY & ACCESSIBLE ROUTE DRINKING FOUNTAIN TO BE INSTALLED PER COMPLIANCE OF SECTION 11B-602 & 11B-307 OF CBC-2016.
- KNEE CLEARANCE SHALL BE PER FIGURE 11B-306.3 OF CBC-2016. SPOUT HEIGHT SHALL BE 36" AFF (SECTION 11B-602.4). SPOUT LOCATION SHALL BE LOCATED 15" MINIMUM FROM VERTICAL SUPPORT & 5" MAX. FROM THE FRONT EDGE OF THE UNIT (SECTION 11B-602.5).

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 LICENSE NO. 9199  
 STATE OF CALIFORNIA

CONSULTANT:

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 LIFT/ ADDITION REMODEL  
 5315 COLLEGE AVE  
 OAKLAND, CA 94618  
 MAHTA MARASHI & MEHDI SHAFIEI, OWNER

**1 PROPOSED BASEMENT FLOOR PLAN** SCALE 1/4" = 1'-0" **1,525 SQ.FT.**

OWNER REVIEW  
 DATED 06/13/2022

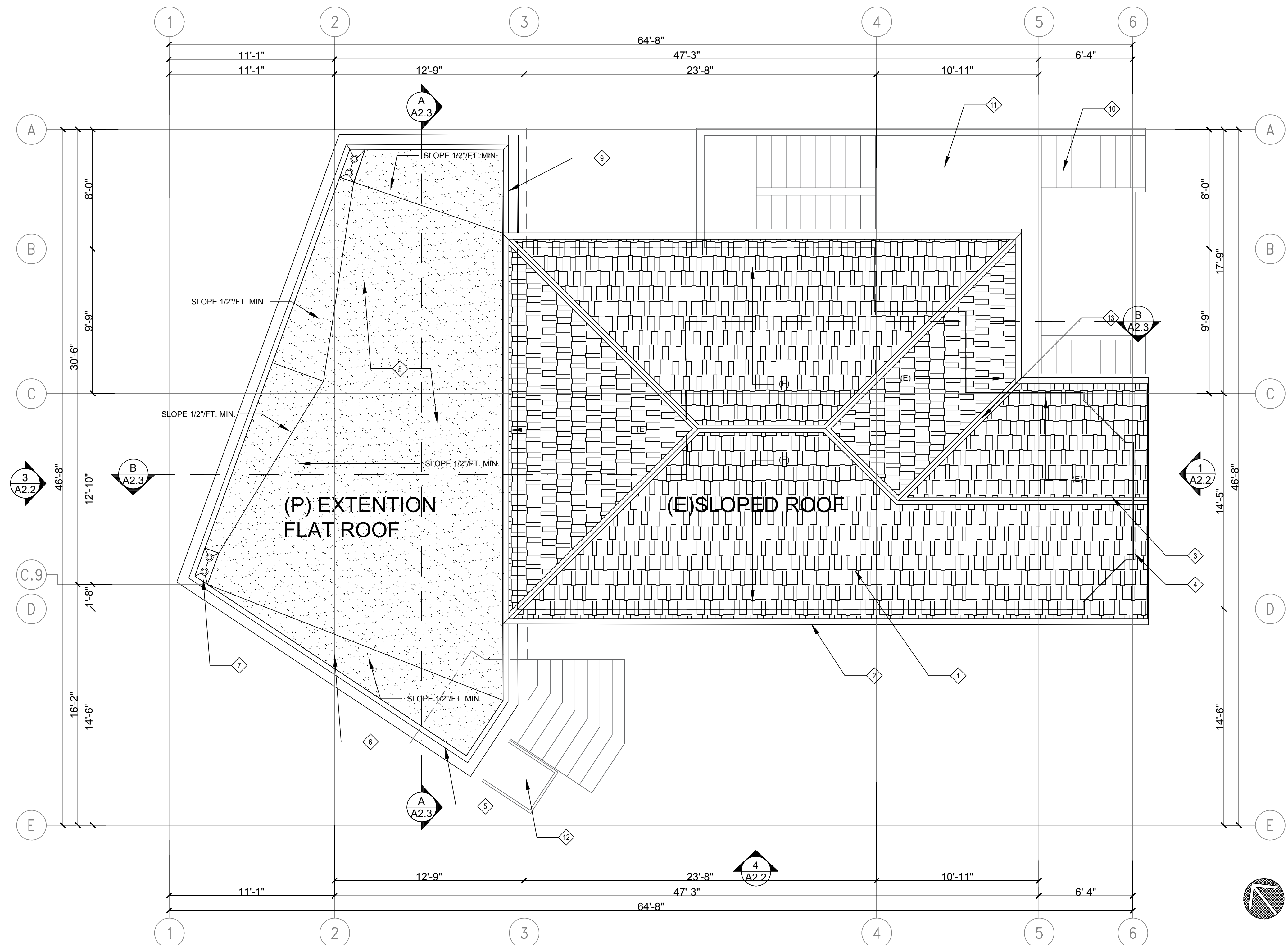
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DATE: 04/20/2023	

SHEET TITLE:  
**PROPOSED SECOND FLOOR PLAN**

SHEET NO.  
**A1.2**

REVISION 0

SCHEDULES



- NOTES:**
- Ⓐ REFER TO GENERAL NOTES SHEET "G1.1" FOR ADDITIONAL INFORMATION.
  - Ⓑ REFER TO ELECTRICAL PLANS FOR LOCATIONS OF ALL SWITCHES, LIGHTS, RECEPTACLES, SMOKE DETECTORS, ETC.
  - Ⓒ SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND SHALL BE EQUIPPED WITH 24-HOUR BATTERY BACKUP.
  - Ⓓ DUCT PIERCING WALL BETWEEN BUILDING EXTERIOR AND INTERIOR SHALL BE 2BGA, G.I. MATERIAL WITH SEALED AT EDGES, AND NO OPENINGS, SEC 302.4.
  - Ⓔ EVERY CHILDCARE ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE / RESCUE
  - Ⓕ NEW RATED EXTERIOR WALL - EXTERIOR FACE: STUCCO OVER TYVEK & METAL LATH, 1/2" SHEATHING, 2X6 WOOD STUDS @ 16" O.C., R-22 HIGH DENSITY INSULATION. INTERIOR FACE: 5/8" GYP. BOARD TAPE & TEXTURE LEVEL 5 FINISH.
  - Ⓖ EXISTING EXTERIOR WALL - EXTERIOR FACE: WOOD SIDING O/ BUILDING PAPER O/ SHEATHING, O/ 2X4 WOOD STUDS, R-22 HIGH DENSITY INSULATION. INTERIOR FACE: 5/8" GP. BD. TAPE & TEXTURE LEVEL 5 FINISH.
  - Ⓗ INTERIOR WALLS - 2X4 STUDS @ 16" O.C. WITH 5/8" GYP. BD. EACH SIDE, TAPE & TEXTURE LEVEL 5 FINISH. R-13 AT BATHROOM U.O.N. PROVIDE CEMENT BACKER BOARD AT TILE COVERED WALLS.
  - Ⓙ PLUMBING WALL - 2X6 STUDS @ 16" O.C. WITH 5/8" W.P. GYP. BD. ABOVE TILE ON WET SIDE AND 5/8" GYP. BD. ON DRY SIDE, TAPE & TEXTURE LEVEL 5 FINISH. PROVIDE CEMENT BACKER BD. AT TILE INSTALLATIONS. R-19 BATT SOUND INSULATION AT BATHROOM.

- FLOOR PLAN NOTES**
- ① EXISTING ROOFING TO REMAIN.
  - ② EXISTING GUTTERS TO REMAIN. EXTEND DOWNSPOUTS TO GRADE BELOW.
  - ③ EXISTING RIDGE.
  - ④ WALLS BELOW SHOWN DASHED.
  - ⑤ NEW PARAPET WITH METAL CAP AND TRIM.
  - ⑥ NEW CRICKET SLOPED TO DRAIN.
  - ⑦ NEW 3" ROOF DRAIN AND 3" OVERFLOW ROOF DRAIN SET IN 1" DEPRESSION FOR DRAINAGE.
  - ⑧ NEW 4-PLY BUILT-UP ROOFING SLOPED 1/2" MIN. PER FOOT TO DRAIN.
  - ⑨ NEW PARAPET WITH GABLE ROOF FOR VISUAL DETAIL FROM STREET.
  - ⑩ STAIRS BELOW.
  - ⑪ DECK BELOW.
  - ⑫ ACCESSIBLE LIFT BELOW.
  - ⑬ EXISTING VALLEY.

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1 PROPOSED ROOF PLAN SCALE 1/4" = 1'-0"

OWNER REVIEW  
 DATED 06/13/2022

REVISIONS DATE

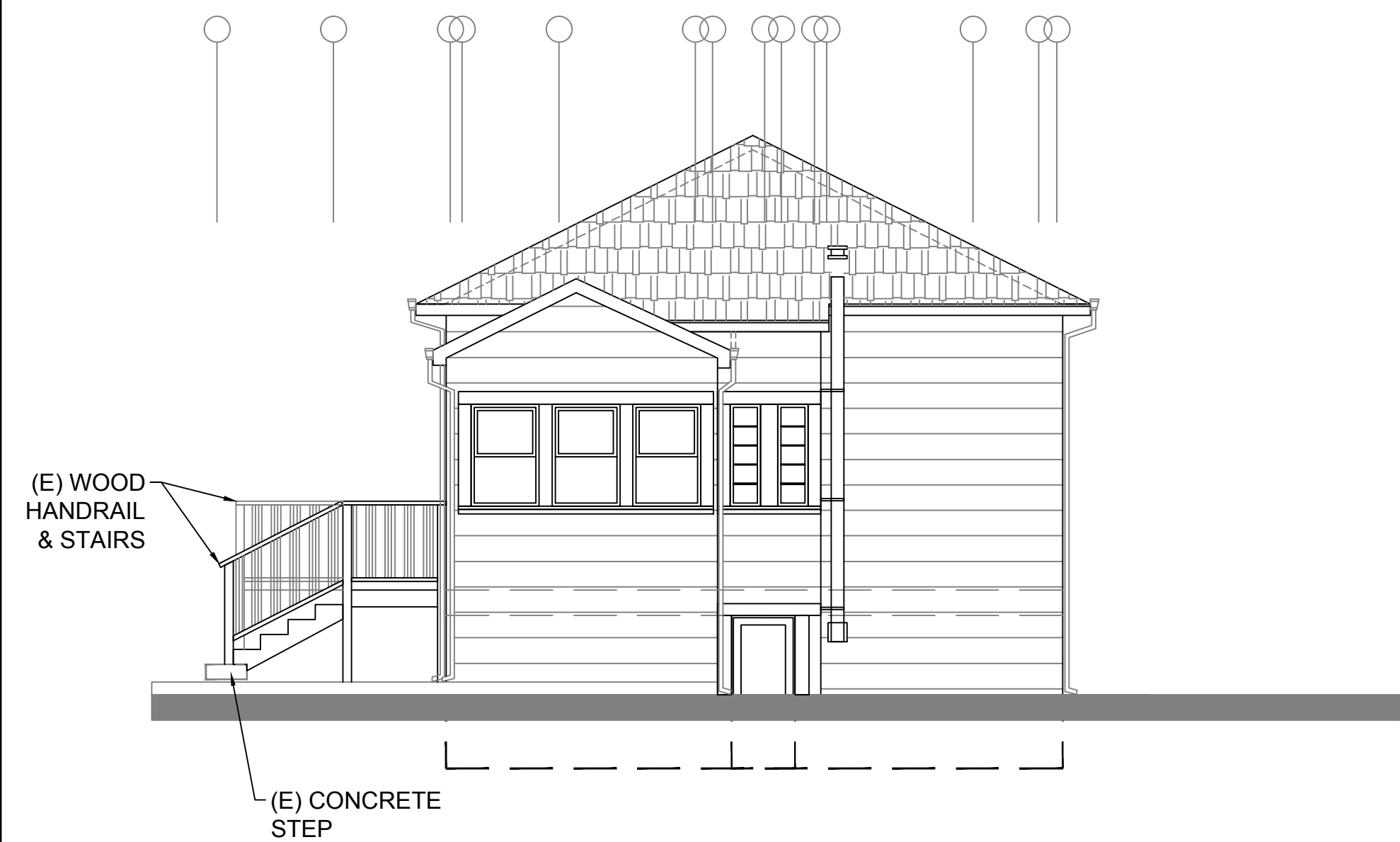
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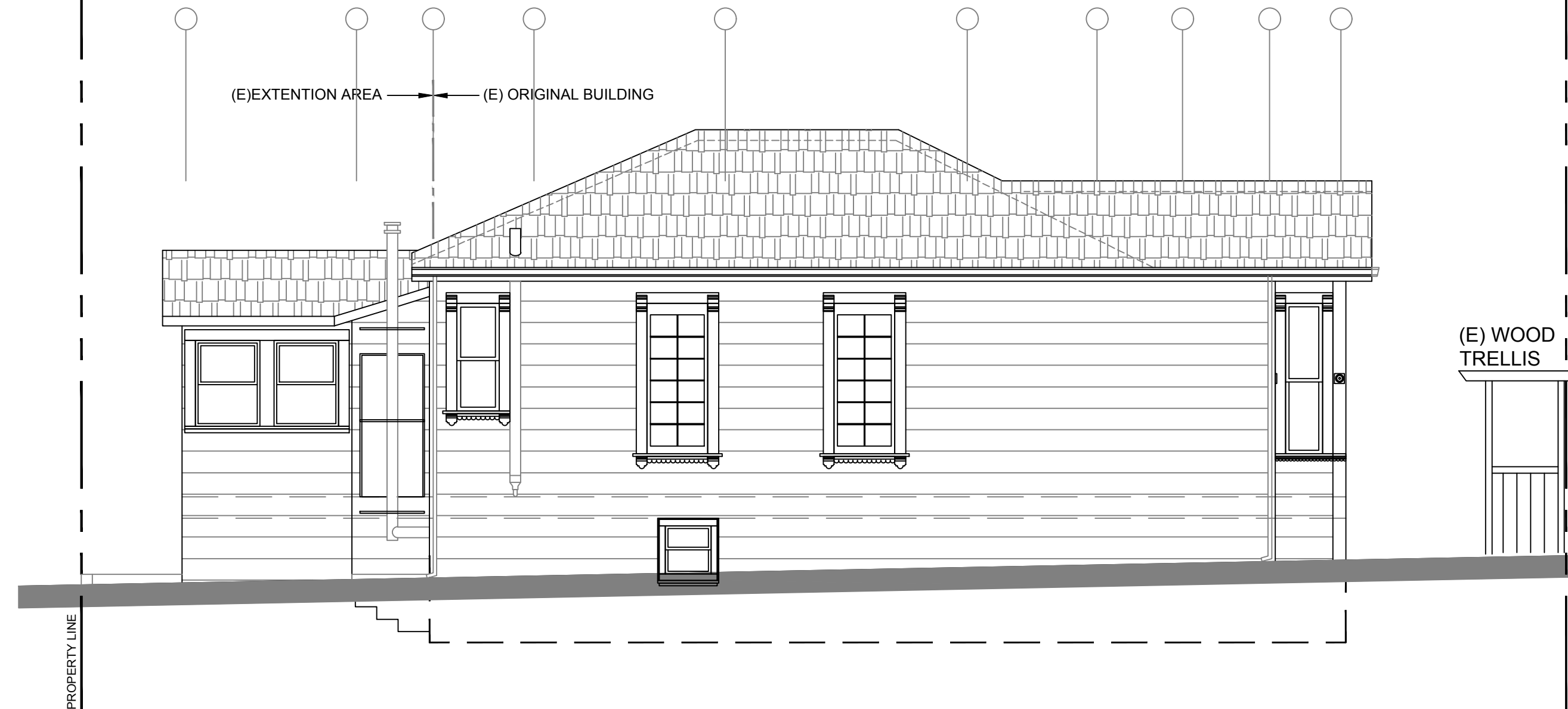
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SHEET NO.  
**A1.3**

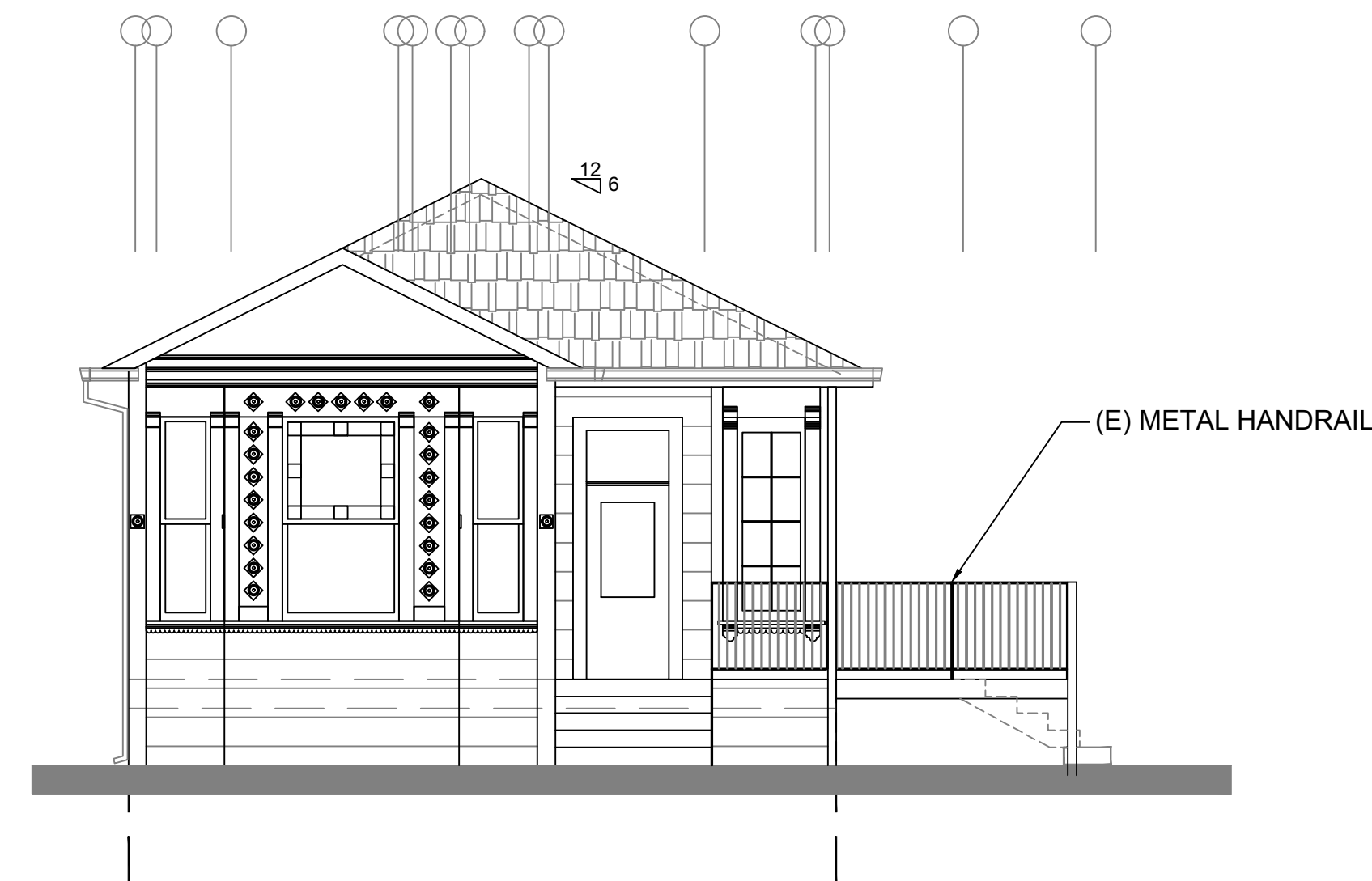
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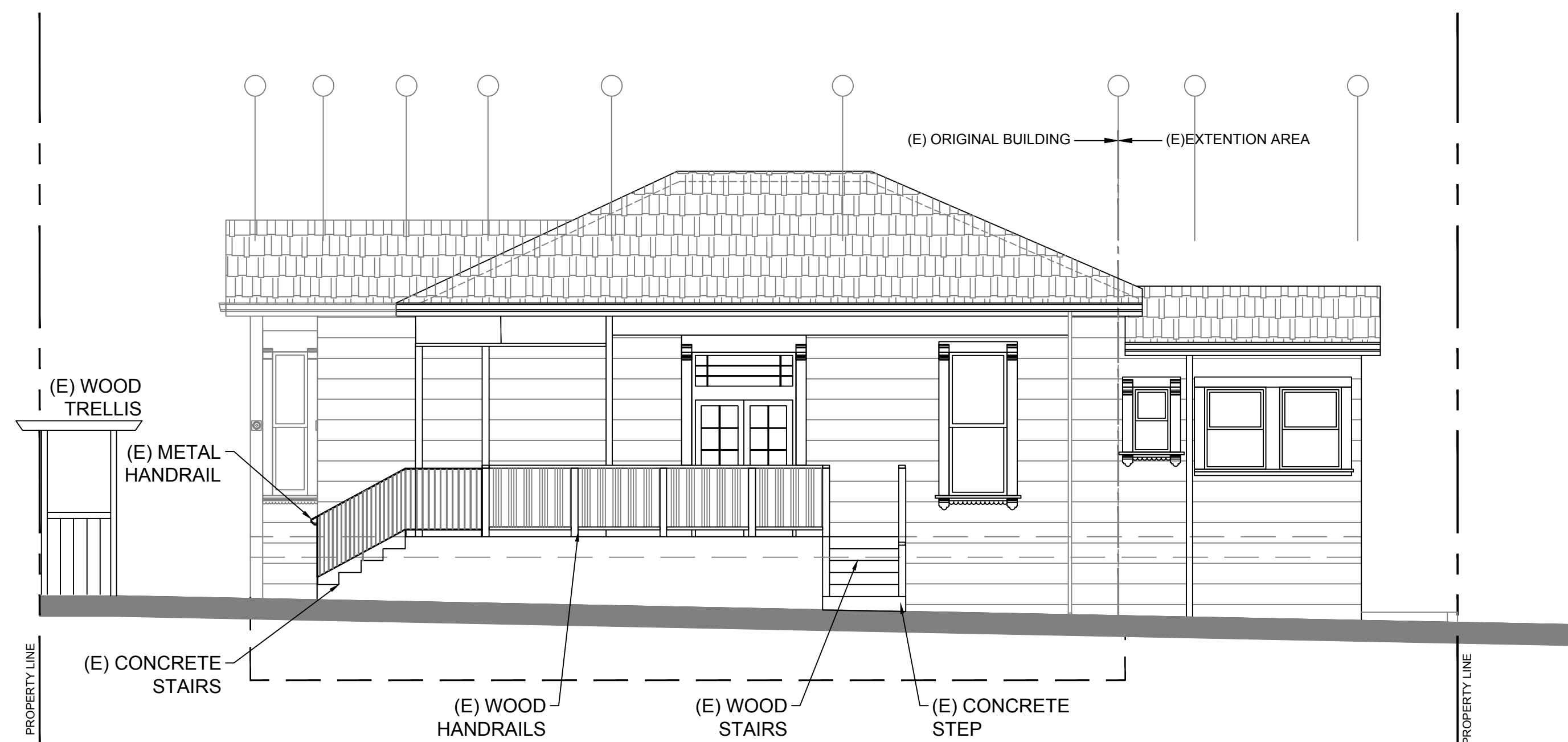
A-9 (E) WEST ELEVATION



A-8 (E) SOUTH ELEVATION

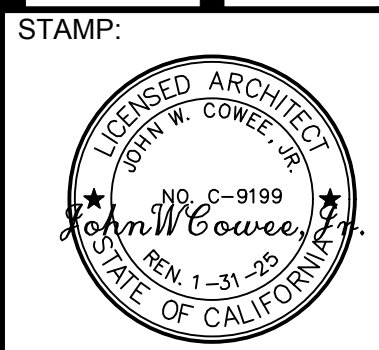


A-7 (E) EAST ELEVATION



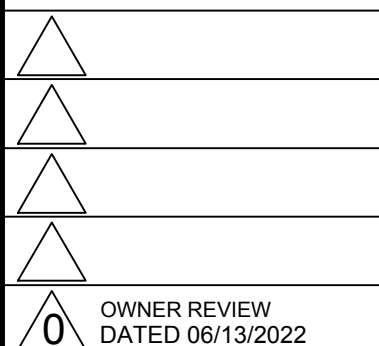
A-6 (E) NORTH ELEVATION

  
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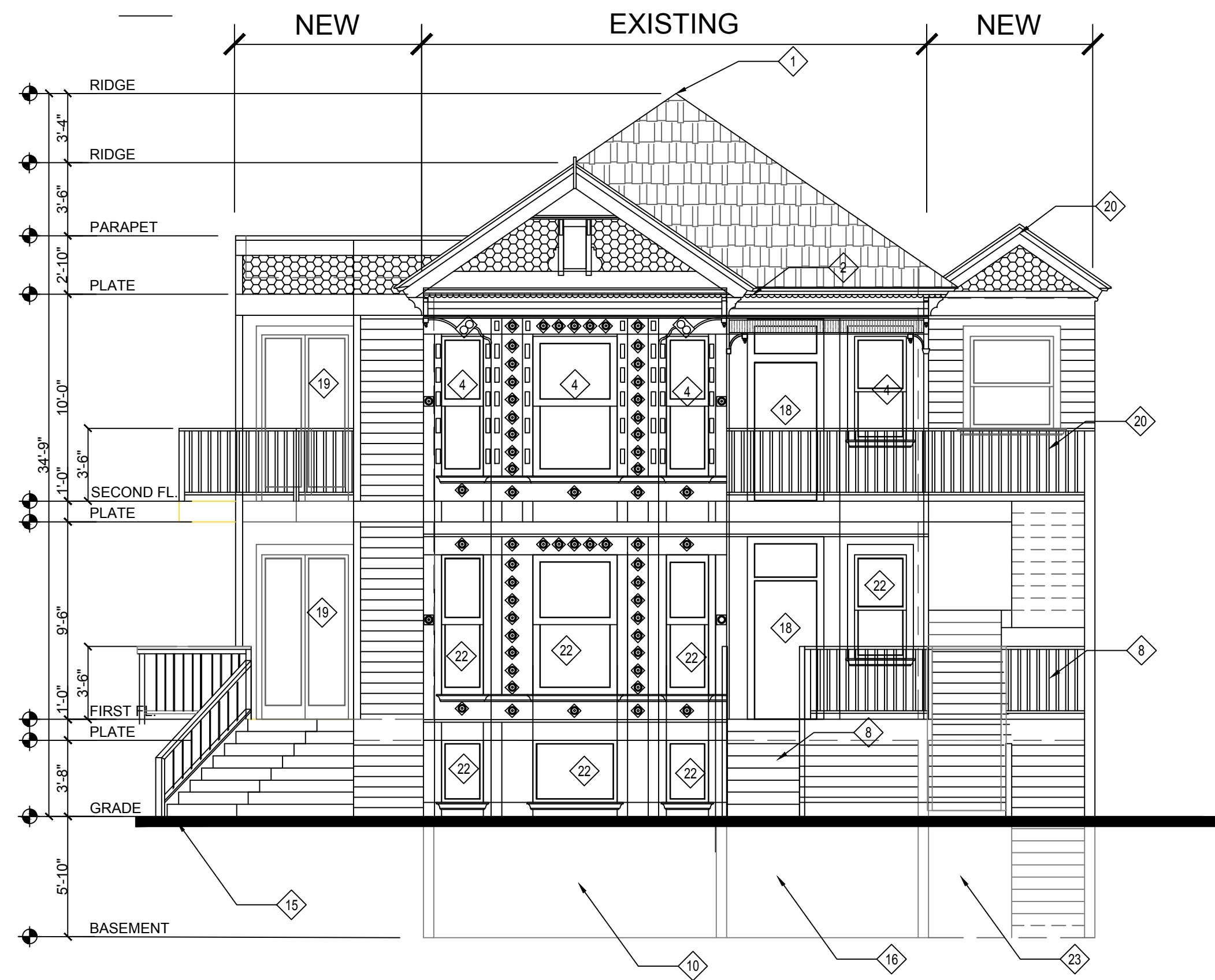
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**EXISTING ELEVATION PLANS**

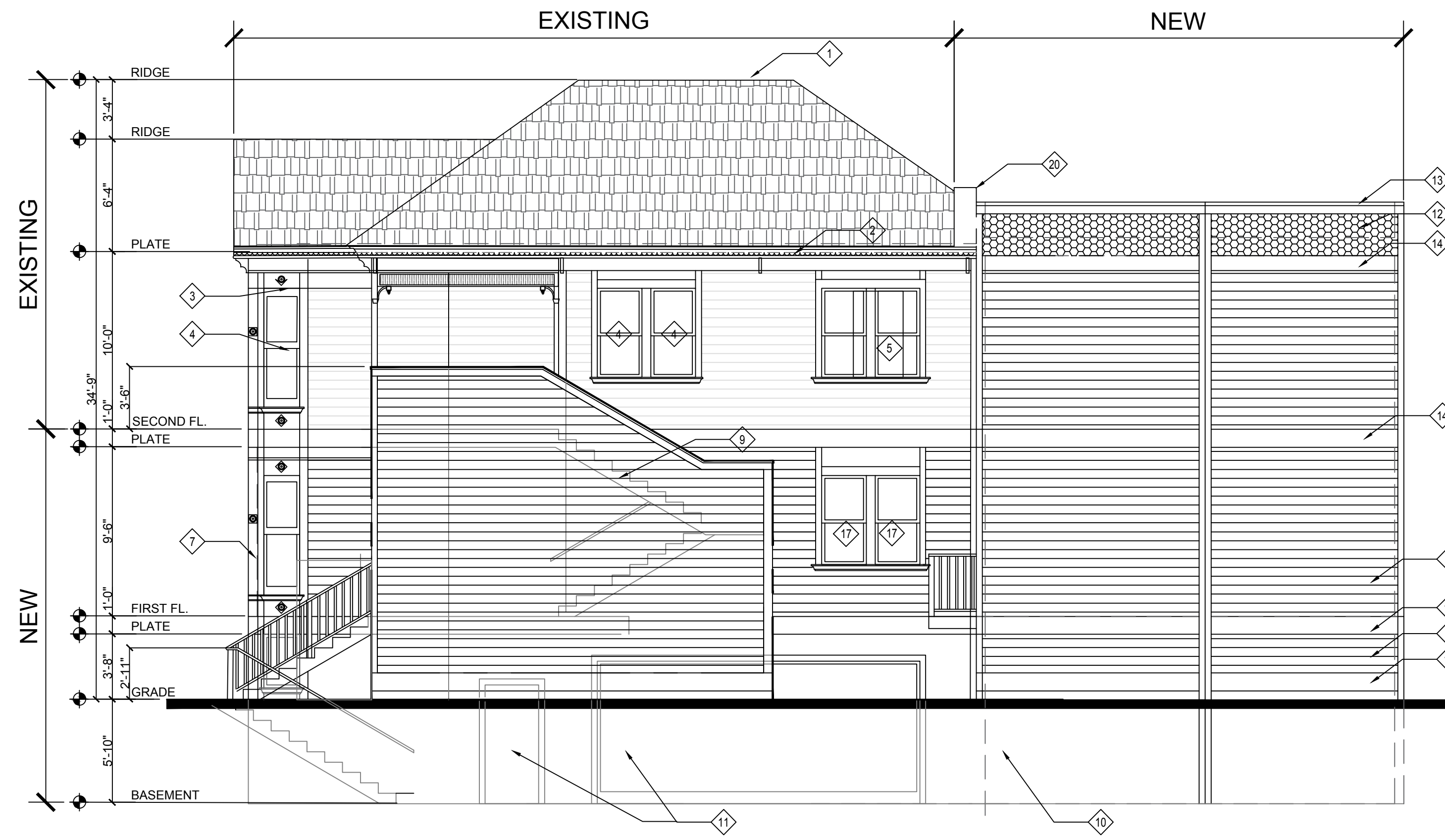
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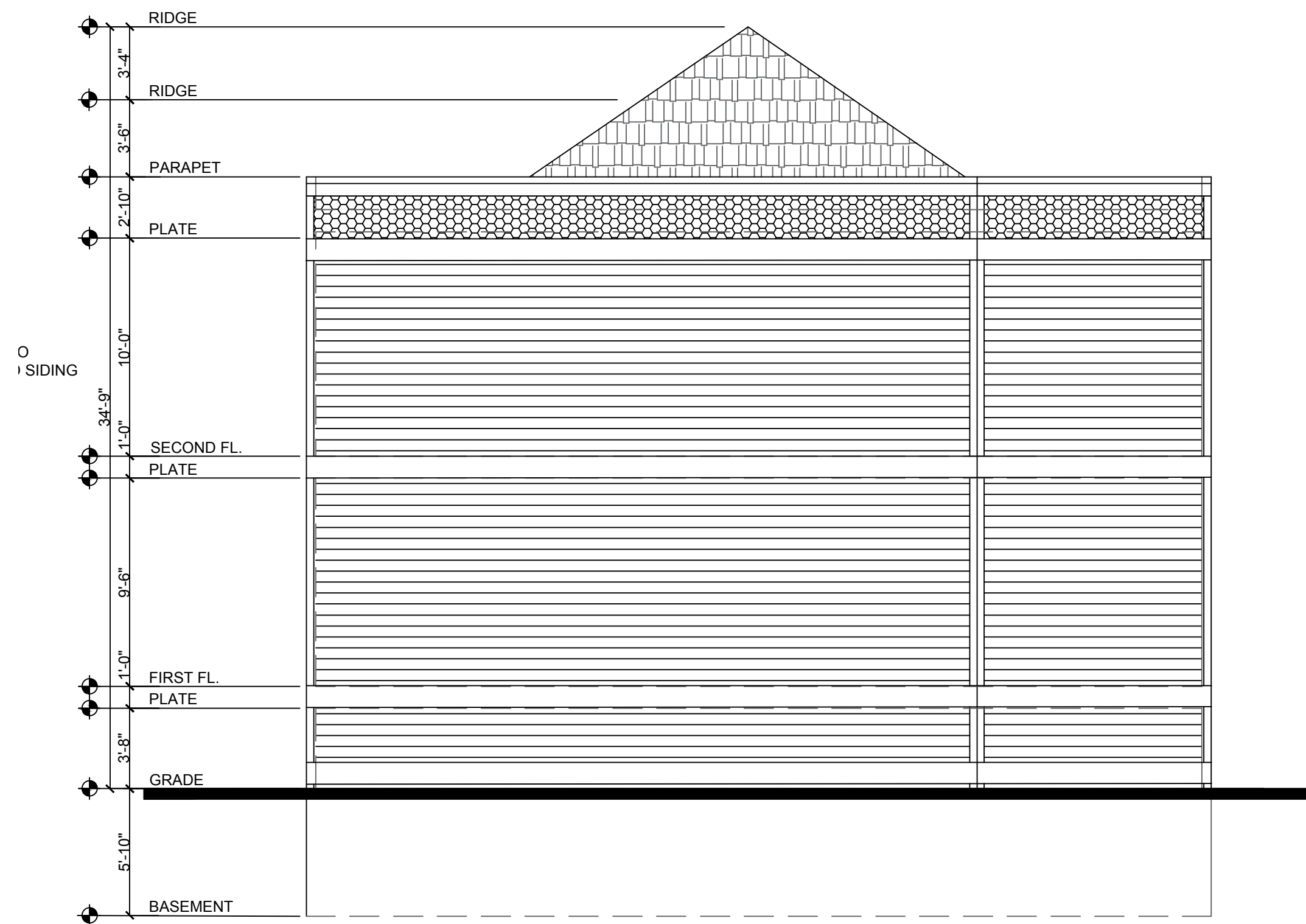
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1 EAST ELEVATION 3/16" = 1'-0"



2 NORTH ELEVATION 3/16" = 1'-0"



3 WEST ELEVATION 3/16" = 1'-0"



4 SOUTH ELEVATION 3/16" = 1'-0"

SHEET NOTES

- 1 EXISTING RIDGE AND ROOFING.
- 2 EXISTING EAVE AND GUTTER. EXTEND EXISTING DOWNSPOUTS TO GRADE.
- 3 EXISTING TRIM AND MOULDINGS (REPAIR OR REPLACE AS NECESSARY).
- 4 EXISTING WINDOWS ON TOP FLOOR TO BE REPLACED WITH NEW WINDOWS. SHAPE AND CONFIGURATION TO MATCH EXISTING.
- 5 ENLARGE EXISTING WINDOW OPENING TO MATCH THE NEW CONFIGURATION. PROVIDE WINDOWS AND TRIM TO MATCH EXISTING.
- 6 NEW HORIZONTAL SIDING AT NEW BASEMENT & FIRST FLOOR LEVELS TO MATCH EXISTING.
- 7 NEW MOULDING AND TRIM AT NEW BASEMENT AND FIRST FLOOR TO MATCH EXISTING.
- 8 NEW WOOD STAIR WITH WITH NEW WOOD RAILINGS.
- 9 NEW 1-HOUR RATED EXTERIOR STAIRWAY WALL WITH NEW WOOD SIDING AND AND TRIM TO MATCH EXISTING. (STAIR BEYOND SHOWN DASHED).
- 10 BASEMENT BELOW GRADE SHOWN DASEHD.
- 11 DOORS AND WINDOWS IN COURTYARD BELOW GRADE SHOWN DASHED.
- 12 NEW LAP SHINGLES MATCHING EXISTING GABLE END SHINGLES.
- 13 2X8 REDWOOD CAP WITH 2X4 REDWOOD TRIM.
- 14 2X12 BELLY BAND TRIM .
- 15 EXISTING GRADE.
- 16 CONCRETE RETAINING WALL AT BASEMENT AND IN FOREGROUND.
- 17 NEW DOUBLE HUNG WINDOWS.
- 18 NEW 3'-0" X 7'-0" ENTRY DOOR WITH TRANSOM.
- 19 NEW PAIR OF 3'-0" X 7'-0" GLAZED DOORS W/ TRANSOM.
- 20 NEW PARAPET GABLE WITH TRIM TO MATCH EXISTING.
- 21 NEW WINDOW OPENINGS, TRIMS, AND WINDOWS TO MATCH ADJACENT AT TOP FLOOR.
- 22 NEW WINDOW OPENINGS, TRIM, AND WINDOWS ON FIRST FLOOR AND BASEMENT TO MATCH EXISTING.
- 23 NEW ACCESSIBLE LIFT FROM BASEMENT TO FIRST FLOOR.

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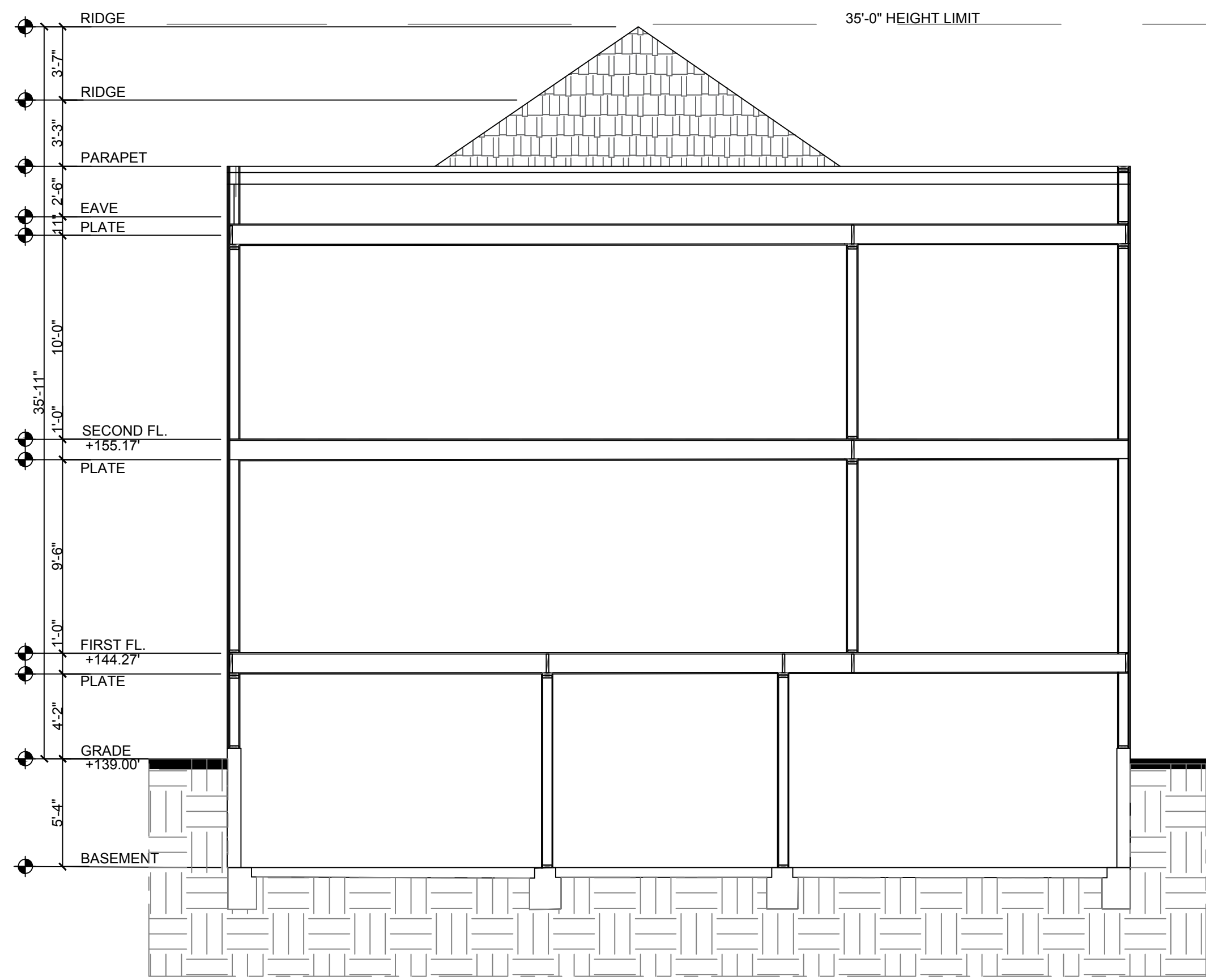
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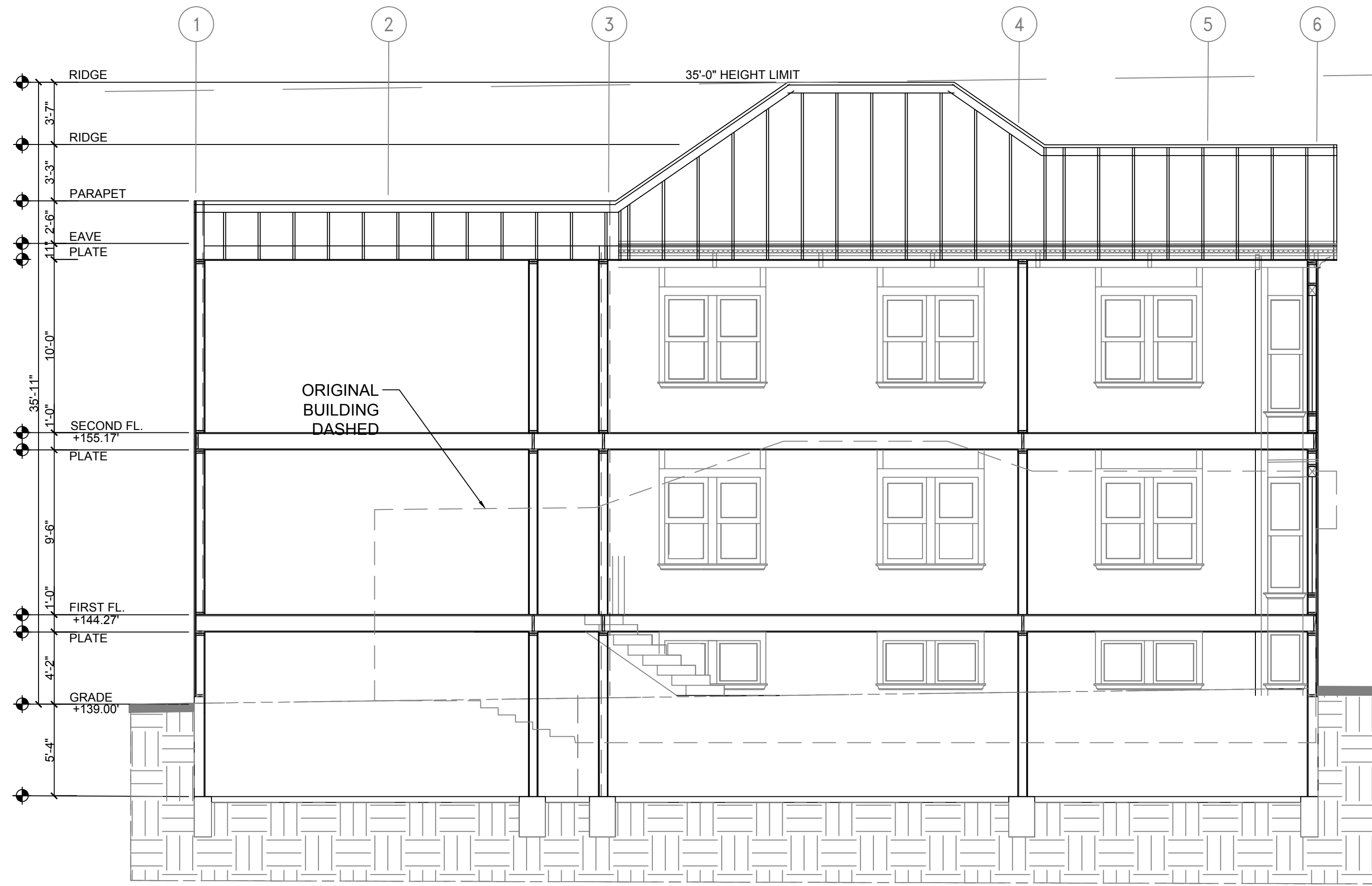
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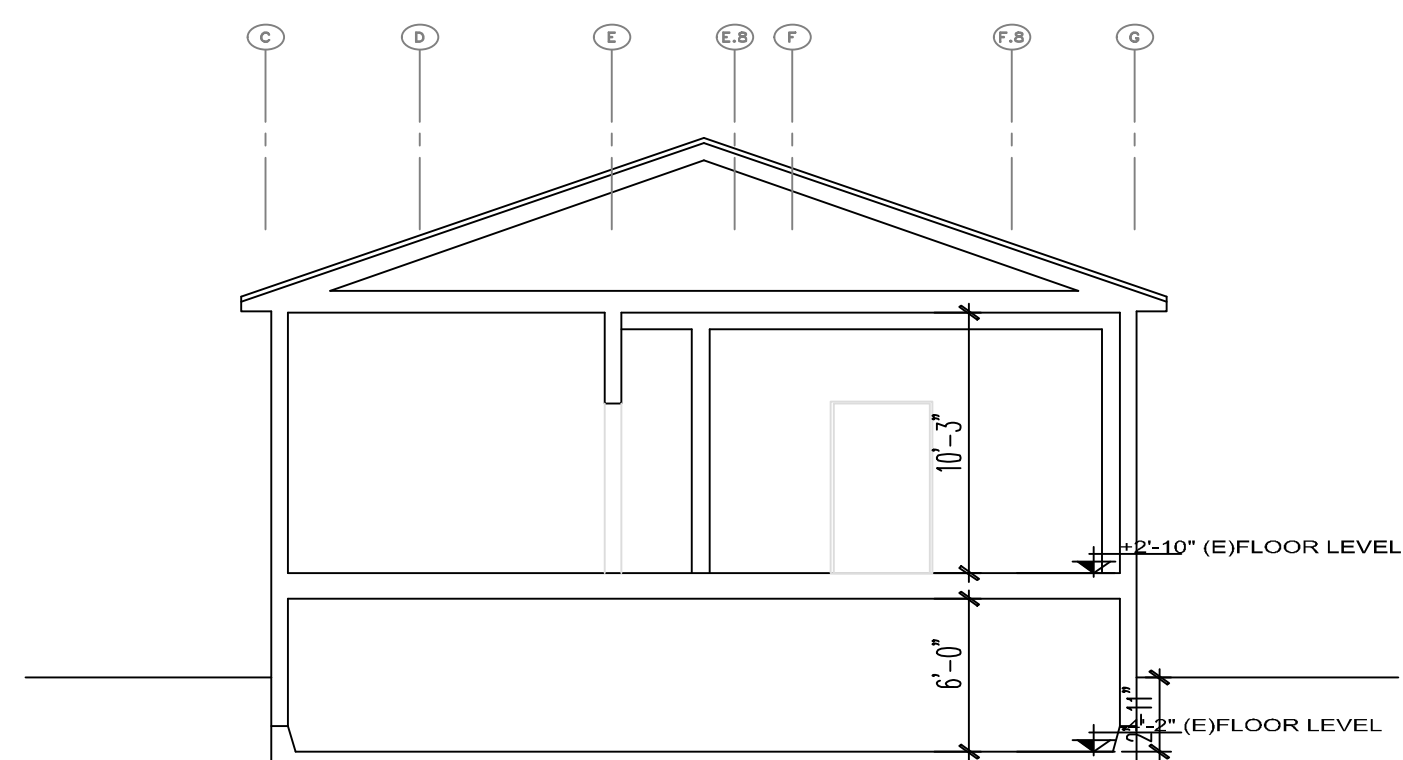




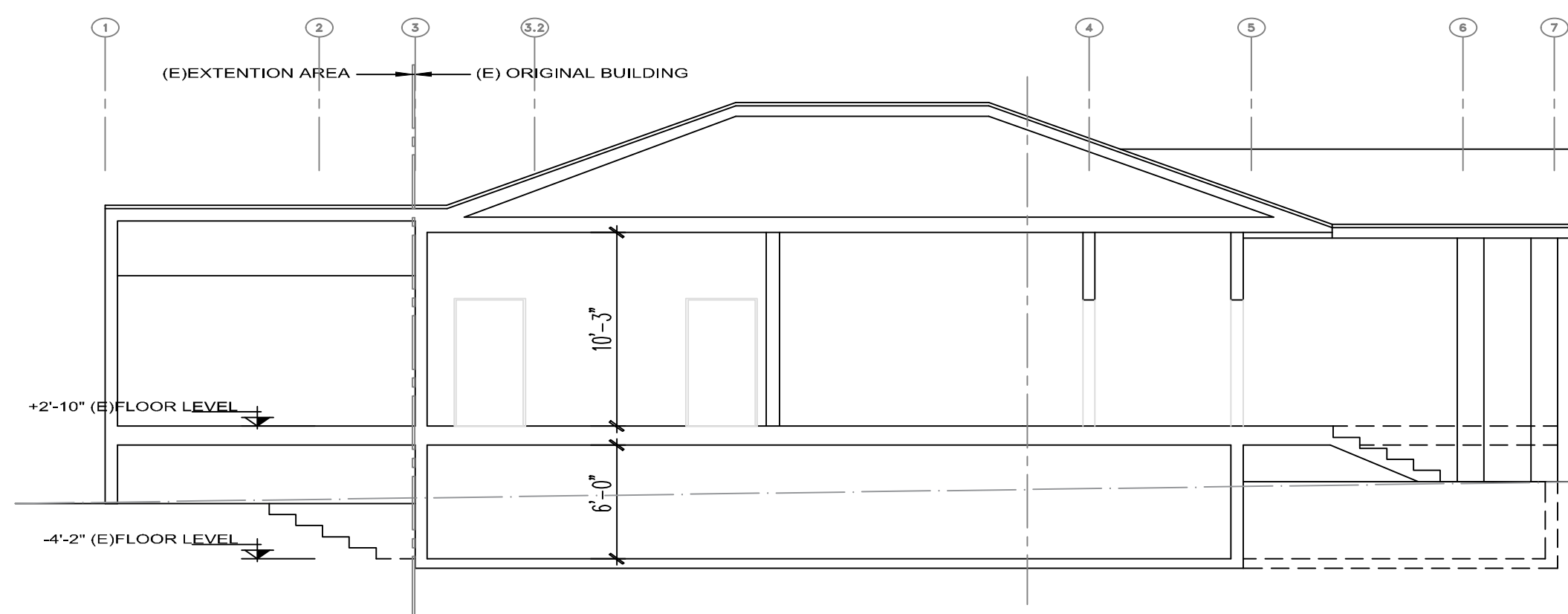
A PROPOSED TRANSVERSE SECTION



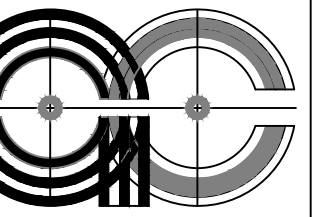
B PROPOSED LONGITUDINAL SECTION



C EXISTING TRANSVERSE SECTION



D EXISTING LONGITUDINAL SECTION



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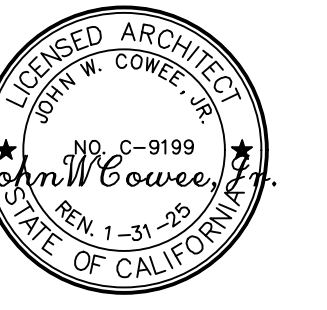
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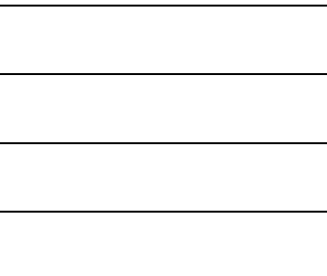
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OWNER REVIEW DATED 06/13/2022

REVISIONS DATE

APN: 014-1249-011-03 APP: ZW2201671

DATE: 04/20/2023

SHEET TITLE:  
PROPOSED & EXISTING SECTION PLAN

SHEET NO.

A3.1

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## **APPENDIX B**

### **Scope of Work**

**SCOPE OF WORK  
FOR THE PROPOSED DAYCARE DEVELOPMENT at  
5315 COLLEGE AVENUE, OAKLAND, CALIFORNIA**

**Project Understanding**

The existing site is a single parcel with identification as Alameda County Assessor Parcel Number (APN) 014-1249-011-03, with an approximate lot area of 3,734 sq. ft., an approximate building area of 987 sq. ft., and zoning type of Neighborhood Commercial as CN-1<sup>1</sup>. The existing structure has two levels: a ground floor and a basement.

The owner is proposing to expand the existing building at 5315 College Avenue and convert its use from office to a daycare facility. The proposed structure will expand the basement and the first floors and add a second floor with a total area of 4,699 sq. ft. that includes Children Care Area of 1,029 sq. ft. and 1,030 sq. ft. on the 1<sup>st</sup> and 2<sup>nd</sup> floors respectively. There will be no off-street parking provided.

The scope of work statement provides the steps that consulting team will take to satisfy all the City's requirements for the daycare development including a drop-off and pickup plan to propose mitigations (if needed) to prevent any negative impacts on the traffic flow at College Avenue. The scope of work is based on the City's Transportation Impact Review Guidelines (TIRG).

**California Environmental Quality Act (CEQA) Approach**

The CEQA Guidelines on Evaluating Transportation Impacts direct lead agencies to evaluate projects' transportation impacts based on Vehicle Miles Traveled (VMT).

The City of Oakland's TIRG requires an evaluation of potential impacts related to VMT criteria in CEQA transportation studies of the proposed development. The purpose of this evaluation is to ensure that the potential impacts of the proposed development are captured in the transportation network.

A CEQA evaluation section will be provided that includes the City's thresholds of significance, describes the methodology and results of the VMT screening assessment, and project-specific evaluation.

**Trip Generation**

The Institute of Transportation Engineers [ITE] produces a document entitled Trip Generation report (10th Edition), which will be used to predict the number of trips associated with the new development.

ITE trip generation land use code number 565, Day Care Center rates will be utilized to estimate the number of peak-hour trips that would be generated by the proposed

---

<sup>1</sup> <http://gisapps1.mapoakland.com/planmap/planmap.html?apn=014%20124901103>

development.

### **Pick-up & Drop-off Plan**

The drop-off time will be between 8 a.m. and 10 a.m. and the pickup time will be between 4 p.m. and 6 p.m.

The traffic study will examine vehicular and pedestrian circulation around the site and parking options for drop-off/pick-up plans. The plans will present drop-off and pick-up options to improve overall traffic flow and reduce congestion if needed.

### **Proposed tasks**

The traffic study will include the project description, study area description, and a trip generation letter that addresses all the TIRG requirements. The proposed study will document the following:

#### **Task 1: Start-up**

- Kick-off Meeting: To discuss the project requirements and the anticipated CEQA process and provide a schedule for the completion of the report.
- Project Description: The project description will include all elements identified in the TIRG.
- Study Area Description: The report will provide a brief but complete description of existing transportation infrastructure and conditions in the vicinity of the project.

#### **Task 2: VMT Screening Criteria**

- There are three key screening criteria for land use development projects: small size, project location in a low-VMT area, and project location near transit stations. We will evaluate screening criteria relevant to the site and conclude our understanding.

#### **Task 3: CEQA Requirements Evaluation**

- This task will describe the evaluation criteria for the CEQA requirements and present our understanding and assumptions.

#### **Task 4: Trip Generation**

- Trip Generation: The report will analyze the multi-modal trips generated by the project and calculate how many auto trips will be distributed through the transportation network and require parking to drop off and pick up children attending the daycare.
- Pickup and Drop-off Plan: The plan will be provided to demonstrate the number of vehicles, pedestrians, and bicycles arriving and departing the daycare during peak times. The plan will provide mitigation to minimize any adverse impact on

the capacity of the existing traffic network circulation on College Avenue.

**Task 5: Parking and Transit Availability**

- Parking availability: Study the number of available parking spaces and the demand for those spaces during peak hours.
- Public transit routes: Evaluate the routes taken by public transit to drop off and pick up to/from the daycare.

The CITY OF OAKLAND, APPLICANT, and CONSULTANT have agreed to and accepted the above Scope of Work.

CITY OF OAKLAND PLANNING AND BUILDING DEPARTMENT

---

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Printed Name

Signature

---

Date

## **APPENDIX C**

### **ITE Trip Generation Output**

## Trip Generation Summary

Alternative: Alternative 1

Phase:

Open Date: 7/20/2023

Project: New Project

Analysis Date: 7/20/2023

ITE	Land Use	Weekday AM Peak Hour of Generator			Weekday PM Peak Hour of Generator			Weekday					
		*	Enter	Exit	Total	*	Enter	Exit	Total	*	Enter	Exit	Total
565	DAYCARE 1 3.05 1000 Sq. Ft. GFA		19	17	36		17	19	36		73	72	145
Unadjusted Volume			19	17	36		17	19	36		73	72	145
Internal Capture Trips			0	0	0		0	0	0		0	0	0
Pass-By Trips			0	0	0		0	0	0		0	0	0
Volume Added to Adjacent Streets			19	17	36		17	19	36		73	72	145

Total Weekday AM Peak Hour of Generator Internal Capture = 0 Percent

Total Weekday PM Peak Hour of Generator Internal Capture = 0 Percent

Total Weekday Internal Capture = 0 Percent

\* - Custom rate used for selected time period.

Source: Institute of Transportation Engineers, Trip Generation Manual 11th Edition

**TRIP GENERATION 11, TRAFFICWARE, LLC**