



BIRD VIEW-EAST



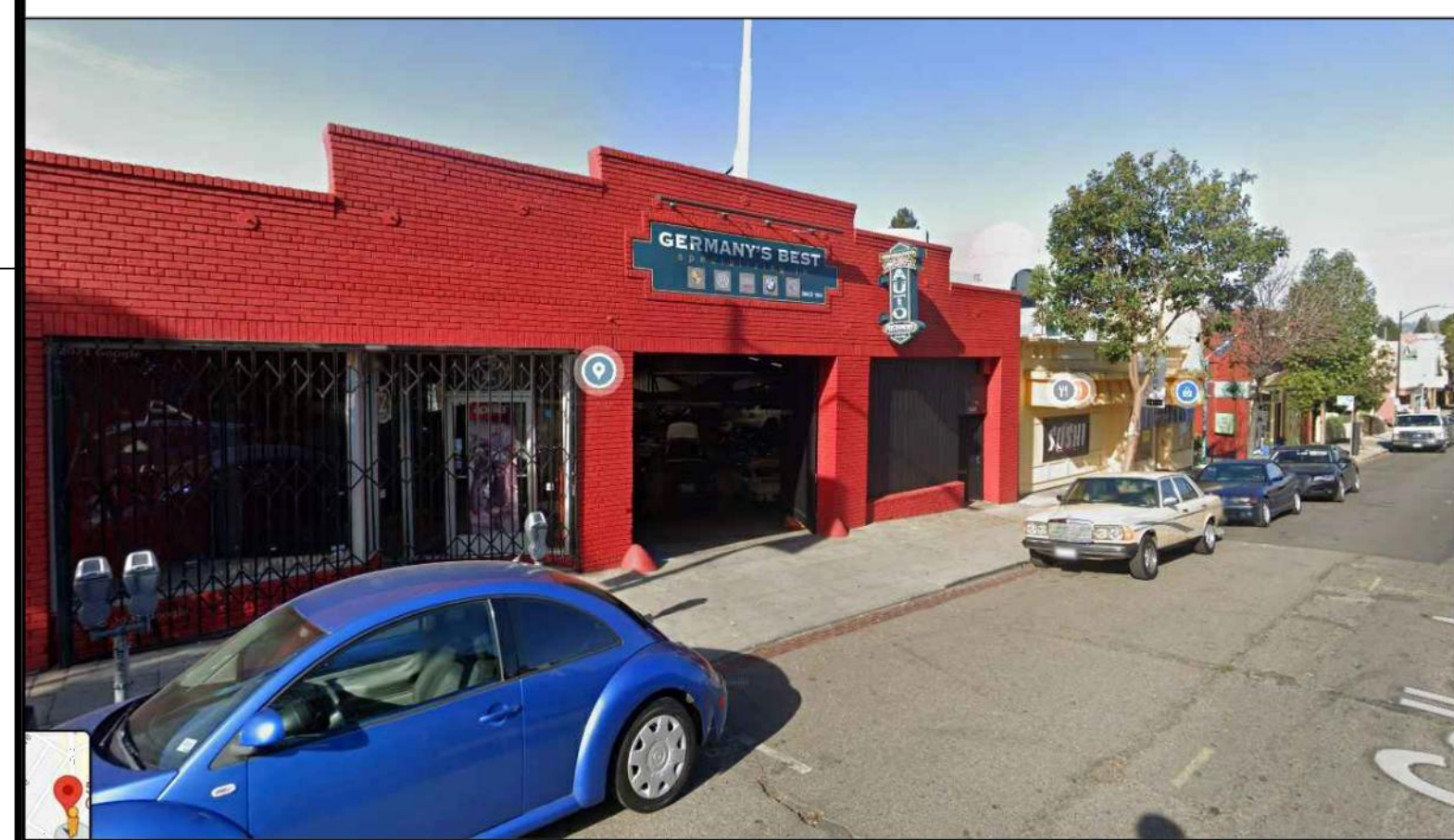
BIRD VIEW-NORTH EAST



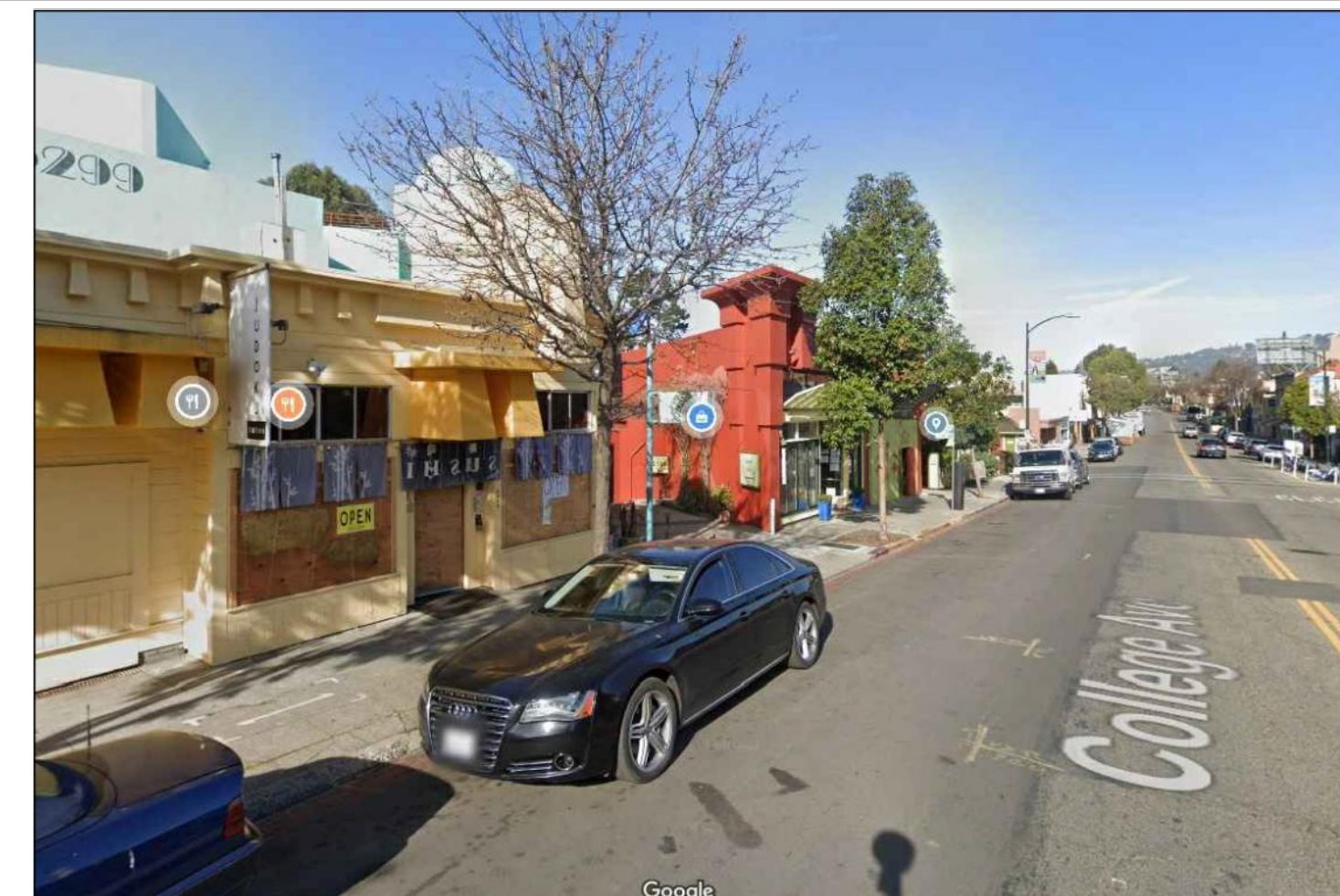
BIRD VIEW-NORTH WEST



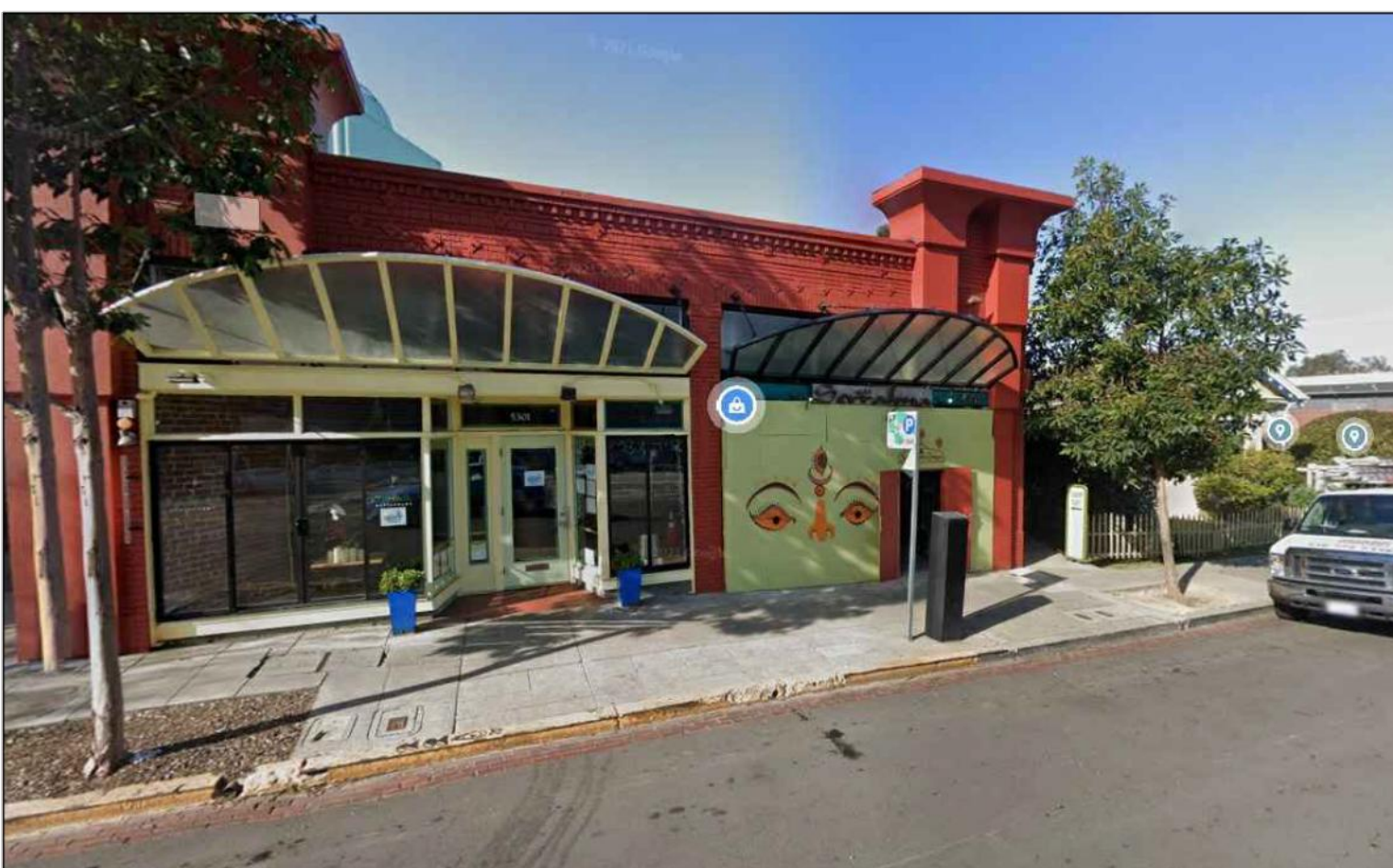
VIEW-NORTH WEST



COLLEGE AVE. SOUTH-3



COLLEGE AVE. SOUTH-2



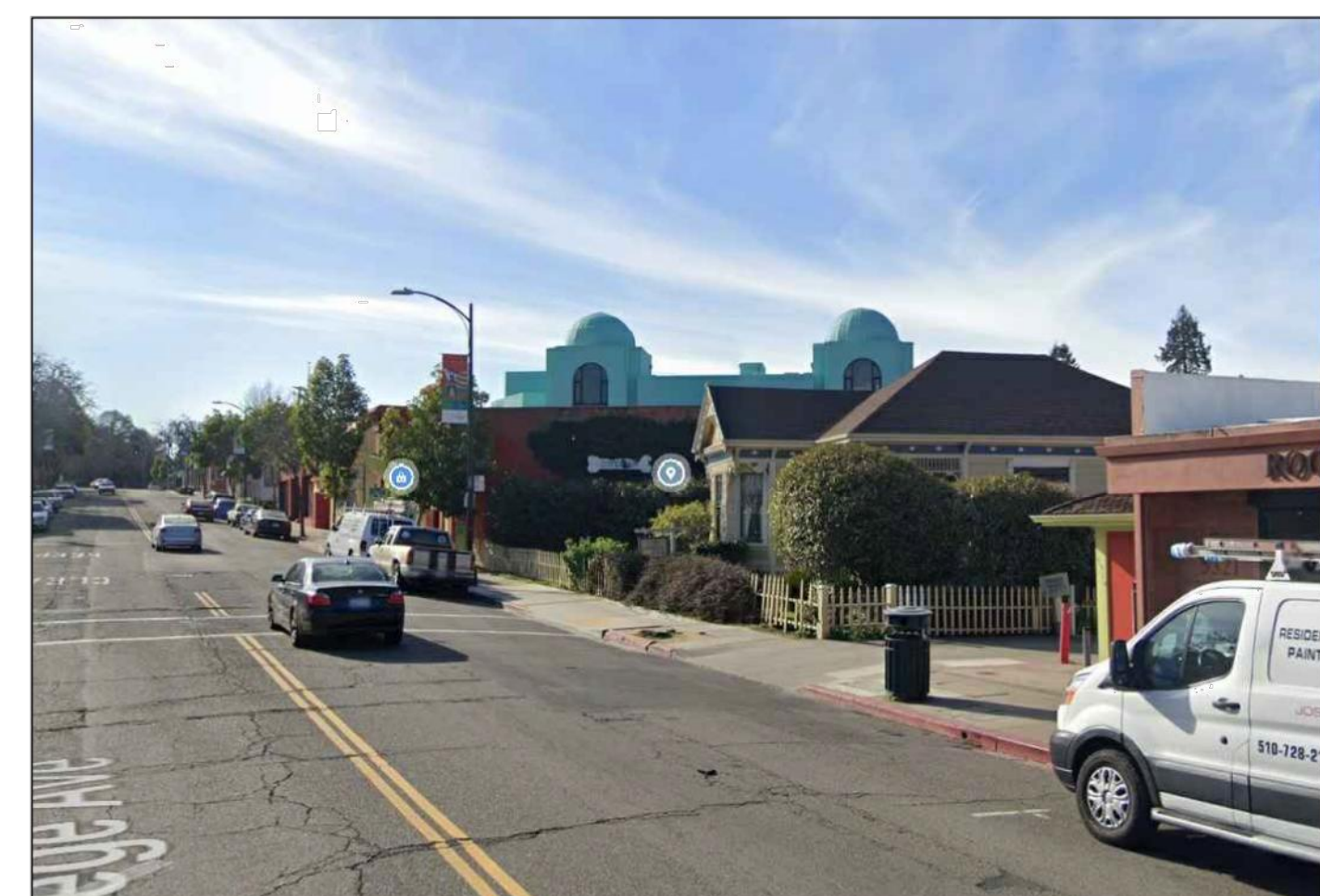
COLLEGE AVE. SOUTH-1



VIEW-SOUTH WEST



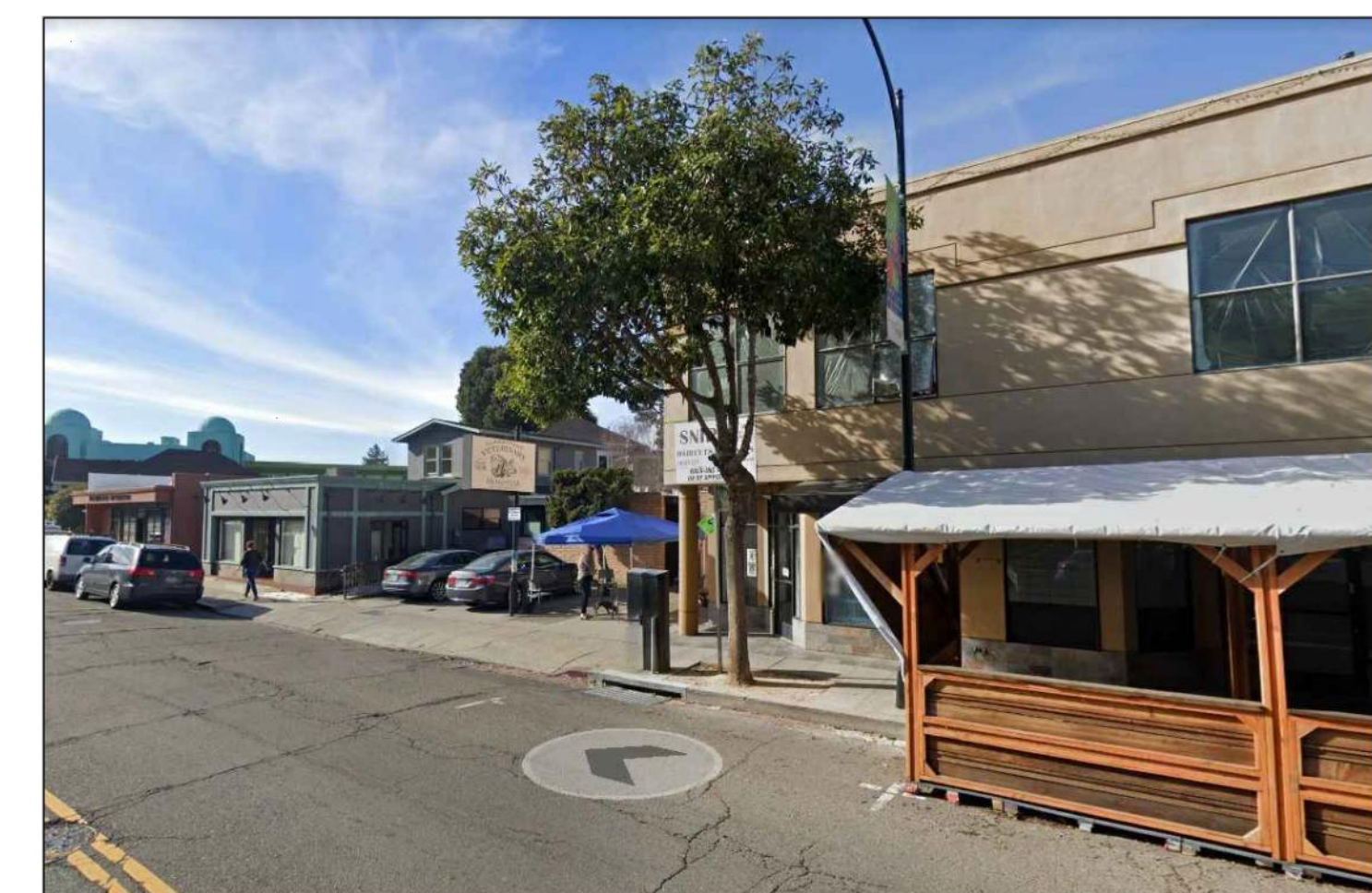
COLLEGE AVE. NORTH-1



COLLEGE AVE. NORTH-2



COLLEGE AVE. NORTH-3



COLLEGE AVE. NORTH-4



EAST SIDE



SOUTH EAST CORNER



NOTH SIDE



NORTH EAST CORNER



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STAMP:



LICENCED ARCHITECT
 JOHN W. COVEE
 No. C-9199
 JOHN W. COVEE
 STATE OF CALIFORNIA

CONSULTANT:

SUNFLOWERS DAYCARE INC.
 LIFT/ ADDITION REMODEL
 5315 COLLEGE AVE
 OAKLAND, CA 94618
 MAHTA MARASHI & MEHDI SHAFIEI, OWNER

OWNER REVIEW	DATED 06/13/2022
REVISIONS	DATE
APP: 014-1249-011-03	
APP: ZW2201671	
DATE: 04/20/2023	

SHEET TITLE:
PHOTOS

SHEET NO.
G1.1

REVISION 0

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y NA RESPON PARTY YES NOT APPLICABLE RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND. Comply with all lawfully enacted stormwater discharge regulations for projects that (1) disturb one acre or more of land, or (2) disturb less than one acre of land but are part of a larger common plan of development sale.

5.106.5.3.3 TABLE 5.106.5.3.3 TOTAL NUMBER OF PARKING SPACES NUMBER OF REQUIRED SPACES 0-9 0 10-25 1 26-50 2 51-75 4 76-100 5 101-150 7 151-200 10 201 AND OVER 6% of total

5.106.12 SHADE TREES [DSA-SS]. Shade Trees shall be planted to comply with Sections 5.106.12.1, 5.106.12.2, and 5.106.12.3. Percentages shown shall be measured at noon on the summer solstice. Landscape irrigation necessary to establish and maintain tree health shall comply with Section 5.304.6.

DIVISION 5.2 ENERGY EFFICIENCY SECTION 5.201 GENERAL 5.201.1 SCOPE [BSC-CG]. California Energy Code [DSA-SS]. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory building standards.

DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION SECTION 5.301 GENERAL 5.301.1 SCOPE. The provisions of this chapter shall establish the means of conserving water use indoors, outdoors and in wastewater conveyance.

SECTION 5.302 DEFINITIONS 5.302.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference) EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAf) [DSA-SS]. An adjustment factor when applied to reference evapotranspiration that adjusts for plant factors and irrigation efficiency, which are two major influences on the amount of water that needs to be applied to the landscape.

FOOTPRINT AREA [DSA-SS]. The total area of the furthest exterior wall of the structure projected to natural grade, not including exterior areas such as stairs, covered walkways, patios and decks.

METERING FAUCET. A self-closing faucet that dispenses a specific volume of water for each actuation cycle. The volume or cycle duration can be fixed or adjustable.

GRAYWATER. Pursuant to Health and Safety Code Section 17922.12, "graywater" means untreated wastewater that has not been contaminated by any toilet discharge, has not been affected by infectious, contaminated, or unhealthy bodily wastes, and does not present a threat from contamination by unhealthful processing, manufacturing, or operating wastes.

MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL). The California ordinance regulating landscape design, installation and maintenance practices that will ensure commercial, multifamily and other developer installed landscapes greater than 2500 square feet meet an irrigation water budget developed based on landscaped area and climatological parameters.

POTABLE WATER. Water that is drinkable and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards. See definition in the California Plumbing Code, Part 5.

POTABLE WATER [HCO]. Water that is satisfactory for drinking, culinary, and domestic purposes, and meets the U.S. Environmental Protection Agency (EPA) Drinking Water Standards and the requirements of the Health Authority Jurisdiction.

RECYCLED WATER. Water which, as a result of treatment of waste, is suitable for a direct beneficial use or a controlled use that would not otherwise occur [Water Code Section 13050 (n)]. Simply put, recycled water is water treated to remove waste matter attaining a quality that is suitable to use the water again.

SUBMETER. A meter installed subordinate to a site meter. Usually used to measure water intended for one purpose, such as landscape irrigation. For the purposes of CALGreen, a dedicated meter may be considered a submeter.

WATER BUDGET. Is the estimated total landscape irrigation water use which shall not exceed the maximum applied water allowance calculated in accordance with the Department of Water Resources Model Efficient Landscape Ordinance (MWLEO).

SECTION 5.303 INDOOR WATER USE 5.303.1 METERS. Separate submeters or metering devices shall be installed for the uses described in Sections 503.1.1 and 503.1.2.

5.303.1.1 Buildings in excess of 50,000 square feet. Separate submeters shall be installed as follows: 1. For each individual leased, rented or other tenant space within the building projected to consume more than 100 gal/day (380 L/day), including, but not limited to, spaces used for laundry or cleaners, restaurant or food service, medical or dental office, laboratory, or beauty salon or barber shop.

5.303.1.2 Excess consumption. A separate submeter or metering device shall be provided for any tenant within a new building or within an addition that is projected to consume more than 1,000 gal/day.

5.303.2 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following:

5.303.3.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type toilets.

5.303.3.2 Urinals. 5.303.3.2.1 Wall-mounted Urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush. 5.303.3.2.2 Floor-mounted Urinals. The effective flush volume of floor-mounted or other urinals shall not exceed 0.5 gallons per flush.

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SUNFLOWERS DAYCARE INC. LIFT/ ADDITION REMODEL 5315 COLLEGE AVE OAKLAND, CA 94618 MAHTA MARASHI & MEHDI SHAFIEI, OWNER



2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

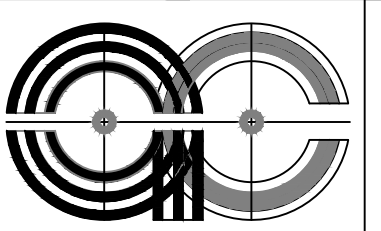
Table with 2 columns: Section description and compliance checkboxes (Y, N/A, RESPON, PARTY).

Table with 2 columns: Section description (SECTION 5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT, SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING, SECTION 5.410 TESTING AND ADJUSTING) and compliance checkboxes.

Table with 2 columns: Section description (5.410.2 COMMISSIONING, 5.410.4 TESTING AND ADJUSTING) and compliance checkboxes.

Table with 2 columns: Section description (5.410.4.4 Reporting, DIVISION 5.5 ENVIRONMENTAL QUALITY, 5.501.1 SCOPE, 5.502.1 DEFINITIONS, ARTERIAL HIGHWAY, A-WEIGHTED SOUND LEVEL (dBA), 1 BTU/HOUR, COMMUNITY NOISE EQUIVALENT LEVEL (CNEL), COMPOSITE WOOD PRODUCTS, DAY-NIGHT AVERAGE SOUND LEVEL (Ldn), DECIBEL (dB), ELECTRIC VEHICLE (EV), ELECTRIC VEHICLE CHARGING STATION(S) (EVCS), ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE), ENERGY EQUIVALENT (NOISE) LEVEL (Leq), EXPRESSWAY, FREEWAY, GLOBAL WARMING POTENTIAL (GWP), GLOBAL WARMING POTENTIAL VALUE (GWP VALUE), HIGH-GWP REFRIGERANT, LONG RADIUS ELBOW, LOW-GWP REFRIGERANT, MERV, MAXIMUM INCREMENTAL REACTIVITY (MIR), PRODUCT-WEIGHTED MIR (PWMIR), PSIG, REACTIVE ORGANIC COMPOUND (ROC), SCHRADER ACCESS VALVES, SHORT RADIUS ELBOW, SUPERMARKET, 5.503.1 FIREPLACES, 5.503.1.1 Woodstoves, SECTION 5.504 POLLUTANT CONTROL, 5.504.1 TEMPORARY VENTILATION, 5.504.3 PROCEDURES, 5.504.3.1 HVAC balancing) and compliance checkboxes.

Y N/A RESPON, PARTY
- YES APPLICABLE
- NOT APPLICABLE
RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)



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Architect
State of California

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MAHTA MARASHI & MEHDI SHAFIEI, OWNER

Table with 2 columns: REVISIONS, DATE. Includes fields for APN, APP, and DATE.

SHEET TITLE: CALIFORNIA GREEN BUILDING STANDARD CODES SHEET NO. C1.3 REVISION 0

Bay-Friendly Basics Landscape Checklist

Yes No NA	Measure & Requirement	Documentation	Notes
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>5. Do Not Plant Invasive Plant Species</p> <p>Requirement None of the plant species listed by CAL-IPC as invasive in the San Francisco Bay Area are included in the planting plan.</p> <p>Definition An invasive species is defined as a species that is non-native (or alien) to the ecosystem under consideration and whose introduction causes or is likely to cause economic or environmental harm or harm to human health. Federal Executive Order 13111.</p> <p>Reference Bay-Friendly Landscape Guidelines, Practice 2.1d; Don't Plant A Pestbrochures for trees and plants available at www.cal-ipc.org; www.cal-ipc.org/inventory/checkedlist.php.</p>	<ul style="list-style-type: none"> Compare the complete list of plants in the plant palette to the Cal-IPC list of plants that are invasive to the San Francisco Bay Area. Submit the complete plant palette. Submit a statement signed by the Landscape Architect, Designer or Contractor confirming that no invasive species were substituted for specified species. 	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>6. Grow drought tolerant CA native, Mediterranean or climate adapted plants</p> <p>Requirement A minimum of 75% of the total number of plants in non-turf areas must be species that require no or little summer watering once established. Species should be adapted to the climate in which they will be planted, as referenced by a third party source. If plants are given a range of water needs from "occasional to moderate" for example, the landscape designer must determine if the plant will require either occasional or moderate watering based on site, soil, and climate conditions and categorize the plant appropriately.</p> <p>Recommendation California native or Mediterranean species are strongly recommended.</p> <p>Reference <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.2; Bornstein, Carol, David Fross and Bart O'Brien, <i>California Native Plants for the Garden</i>; EBMUD, <i>Plants and Landscapes for Summer-Dry Climates</i>; Sunset, <i>Western Garden Book</i>; UCCE, <i>Guide to Estimating Irrigation Water Needs of Landscape Plantings in CA</i>, www.water.ca.gov/docs/wc090500.pdf.</p>	<ul style="list-style-type: none"> Submit a plant legend that identifies species, number of plants, irrigation requirements (and reference source of the water requirement), total number of drought tolerant plants and total number of non-turf plants. (download a Bay-Friendly plant legend template to facilitate this process at www.BayFriendly.org). Submit a statement signed by the Landscape Architect, Designer or Contractor verifying that installed plants meet this requirement. 	

Bay-Friendly Basics Landscape Checklist

Yes No NA	Measure & Requirement	Documentation	Notes
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>7. Minimize the lawn</p> <p>Requirement A maximum of 25% of total irrigated area is specified as turf, with sports or multiple use fields exempted.</p> <p>Reference <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.3; Bay-Friendly Lawn Alternatives plant list at www.BayFriendly.org; Brooklyn Botanic Garden Publications, <i>Easy Lawns, Low Maintenance Native Grasses for Gardeners Everywhere</i>.</p>	<ul style="list-style-type: none"> Submit calculations of square feet of turf, excluding sports and multiple use fields, and square feet of total irrigated area. Submit planting plans with sports and multiple use fields identified. Include a statement about the purpose of multiple use fields. Submit as statement signed by the Landscape Architect, Designer or Contractor that installed turf meets the requirements for this credit. 	
Irrigation			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>8. Specify Weather-Based Irrigation Controllers (automatic, self-adjusting) that Includes a Moisture &/or Rain Sensor Shutoff</p> <p>Requirement Weather-based irrigation controllers, soil moisture based controllers or other self-adjusting irrigation controllers, shall be required for all irrigation systems.</p> <p>Reference <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.6; EBMUD website has a list of recommended self adjusting controllers at www.ebmud.com.</p>	<ul style="list-style-type: none"> Submit the make and model and product sheet of the irrigation controller. Provide a statement signed by the Landscape Architect, Designer or Contractor that the installed controller is a self-adjusting model and includes shut off capacity. 	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>9. Sprinkler & Spray Heads are Not Specified for Areas Less Than 8 Feet Wide</p> <p>Requirement Sprinkler and spray heads are not specified in areas less than or equal to 8 feet wide to prevent overspray and runoff. Acceptable alternatives include drip, subsurface drip, bubblers or no irrigation. Bubblers shall not exceed 1.5 gallons per minute per bubbler.</p>	<ul style="list-style-type: none"> Submit statement signed by the Landscape Architect, Designer or Contractor verifying that irrigation as installed does not have sprinkler or spray heads in planted areas less than 8 feet wide. 	

Bay-Friendly Basics: Bay-Friendly Basics represents the 9 required practices in the Bay-Friendly Landscape Scorecard. Landscapes that achieve the Bay-Friendly Basics are not considered to be Bay-Friendly Rated Landscapes. In order to qualify as a Bay-Friendly Rated Landscape a project must complete the entire Bay-Friendly Landscape Scorecard that has these 9 required practices as well earn a minimum of 60 points out of a possible 219 points. In addition, the scorecard must be evaluated by a qualified Bay-Friendly Rater. The Bay-Friendly Basics is also not supposed to substitute for standard horticultural practices. Rather, the Bay-Friendly Basics is supposed to help local government staff raise the minimum environmental requirements for landscape projects that require a permit. For more information on Bay-Friendly Rated Landscapes visit www.BayFriendly.org.

This checklist works well with the Small Commercial Green Building Checklist available at www.BuildGreenNow.org

Bay-Friendly Basics Landscape Checklist

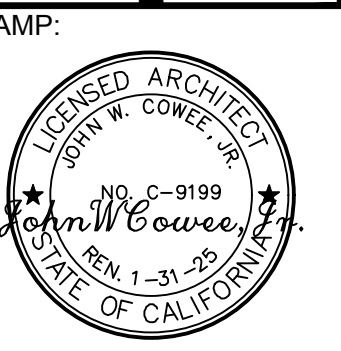


This Bay-Friendly Basics Checklist is for all new construction and renovation of landscapes that are 2,500 square feet of irrigated area or greater and require a permit. The Bay-Friendly Basics represents the 9 required practices from the Bay-Friendly Landscape Scorecard. It is considered a minimum set of practices to improve the environmental performance of the landscape. Projects are recommended to meet all applicable measures on the checklist. For measures that are not applicable or are not in the project's scope of work, select "N/A" and make a note of why the measure does not apply to the project. For electronic copies of this checklist, and other Bay-Friendly Landscaping resources, visit: www.BayFriendly.org

Project: Sunflowers Daycare Renovation
Address: 5315 College Ave, Oakland CA94618

Yes No NA	Measure & Requirement	Documentation	Notes
Earthwork & Soil Health			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>1. Mulch</p> <p>Requirement All soil on site is protected with a minimum of 3 inches of mulch after construction.</p> <p>Recommendation Use recycled or greenwaste mulch instead of landscape fabric. Trees identified for removal are chipped and used on site as mulch, on-site storage space permitting.</p> <p>Reference <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.1; <i>Bay-Friendly Guide to Mulch</i>, available at www.BayFriendly.org. Provides sources of recycled mulch and proper application of mulch and information on sheet mulching.</p>	<ul style="list-style-type: none"> Submit square footage of planting areas as well as cubic yards required to cover planting areas to a minimum three-inch (3") depth. Submit a delivery ticket or receipt of purchased mulch and/or Submit receipts for sheet mulching materials and/or (Optional) Submit photos of trees being chipped for mulch (if applicable). 	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>2. Amend the Soil with Compost Before Planting</p> <p>Requirement Compost is specified as the soil amendment, at the rates indicated by a soil analysis to bring the soil organic matter content to a minimum of 3.5% by dry weight or 1 inch of compost. If the imported or site soil meets the organic content of 3.5% or more, then the requirement is waived.</p> <p>Recommendation Purchase compost from a producer who participates in the U.S. Composting Council's Standard Testing Assurance(STA) program to ensure quality.</p> <p>Reference <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.1; Model Bay-Friendly Soil specifications, at www.BayFriendly.org; U.S. Composting Council Standard Testing Assurance program explanation and list of participating producers can be found at: www.compostingcouncil.org</p>	<ul style="list-style-type: none"> Submit the site soil or imported topsoil analysis. No soils analysis is required if 1" of compost is used. Submit+H35 compost details from construction documents. Submit the receipt or delivery ticket for the compost, indicating the amount of the compost delivered/purchased. <p><i>If a waiver is requested based on soil organic matter content or the needs of plant palette</i></p> <ul style="list-style-type: none"> Submit a completed plant palette with species that need little/no soil organic matter identified, and include the source of information on their soil needs OR Submit a soils report that indicates the soil has an organic matter content of 3.5% or greater. 	
Materials			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>3. Reduce and Recycle Landscape Construction Waste</p> <p>Requirement Divert 50% of landscape construction and demolition waste by weight. Verify the local jurisdiction's minimum requirement and reporting procedures for construction and demolition (C&D) recycling.</p> <p>Reference: StopWaste.Org, <i>Builders' Guide to Reuse & Recycling: A Directory for Construction and Demolition Materials</i> and sample Waste Management Plan for recycling C&D materials at www.BuildGreenNow.org.</p>	<ul style="list-style-type: none"> State the percent diversion goal in the design documents. List specific goals and recycling and reuse requirements in plans and specifications. Require contractors to review the waste management plan with subcontractors and to include contract language requiring subcontractors comply with the plan. Prior to construction, complete a construction waste management plan. The City should provide a sample template, or one can be downloaded at www.BuildGreenNow.org. After construction, provide final waste management plan with backup documentation. If materials were sent to a C&D Recycling facility, apply a facility average diversion rate because not all materials can be recycled. Most large C&D facilities have a calculated diversion rate and can provide you with documentation stating the percentage of materials recycled at that facility (typically 50% to 90%). 	
Planting			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>4. Choose & Locate Plants to Grow to Natural Size & Avoid Shearing</p> <p>Requirement No plant species will require shearing. Species will be selected and plants spaced to allow them to grow to their natural size and shape without shearing at any point in the lifespan of the plant. Pruning for structural integrity and health of plant is permitted. In addition, plants located in a row or adjacent to buildings, sidewalks or in narrow strips/medians will be spaced at the maximum plant spread according to a published reference plant book and still fit into their planting area without significant overhang against buildings or over walkways, streets or into adjacent plants.</p> <p>Definition Shearing is a method of pruning for forming hedges of uniform shape by routinely cutting them with hedge shears, resulting in a geometric growth habit and dense build-up of internal branches.</p> <p>Reference <i>Bay-Friendly Landscape Guidelines</i>, Practices 2.1, Bay-Friendly Plant lists are available at www.BayFriendly.org; Bornstein, Carol, David Fross and Bart O'Brien, <i>California Native Plants for the Garden</i>; East Bay Municipal Utility District, <i>Plants and Landscapes for Summer Dry Climates</i>; Sunset, <i>Western Garden Book</i>.</p>	<ul style="list-style-type: none"> Submit plant legend indicating plant species, spacing and mature spread of plant. Indicate the source of information on spacing and spread. Submit a statement signed by the Landscape Architect, Designer or Contractor verifying that installed plants meet this requirement. 	

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CONSULTANT:

SUNFLOWERS DAYCARE INC.
LIFT/ ADDITION REMODEL
5315 COLLEGE AVE
OAKLAND, CA 94618
MAHTA MARASHI & MEHDI SHAFIEI, OWNER

OWNER REVIEW
DATED 06/13/2022

REVISIONS	DATE
APN: 014-1249-011-03	
APP: ZW2201671	

DATE: 04/20/2023

SHEET TITLE:
CALIFORNIA GREEN BUILDING STANDARD CODES
SHEET NO.

G1.5

REVISION 0



SURVEYOR'S CERTIFICATE:
 THIS MAP CORRECTLY REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AT THE REQUEST OF MEHDI SHAFIEI IN FEBRUARY OF 2022.

I HEREBY STATE THAT ALL EXISTING GRADES AND CONTOURS DELINEATED UPON THIS PLAT ARE BASED UPON CITY OF OAKLAND DATUM.

I HEREBY FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN FULLY SATISFIED.

I HEREBY FURTHER STATE THAT THE PARCEL DESIGNATED BY MY SURVEY AND SHOWN ON THIS MAP IS THE SAME AS THOSE DESCRIBED IN THAT CERTAIN DEED RECORDED ON JUNE 19, 2002, AT SERIES 2002-270231 IN THE OFFICE OF THE ALAMEDA COUNTY RECORDER, AND IDENTIFIED ON THE CURRENT EQUALIZED ASSESSMENT ROLL OF THE ALAMEDA COUNTY ASSESSOR AS PARCEL NO: 014-1249-011-03.

I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYORS' ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE THAT A CORNER RECORD BE FILED.

I HEREBY ACKNOWLEDGE THAT THIS SURVEY SHALL BE PUBLIC RECORD AND MAY BE AVAILABLE FOR INSPECTION AND DISTRIBUTION TO THE GENERAL PUBLIC.

JAMES S. MORAN, L.S. 7881
 DATE: _____

GENERAL NOTES:
 DIMENSIONS ARE IN FEET AND DECIMAL FEET.

DIMENSIONS SHOWN FROM BUILDINGS TO PROPERTY LINES ARE MEASURED AT BUILDING CORNERS FROM THE EXTERIOR BUILDING FACE PERPENDICULAR TO THE PROPERTY LINE.

ALL EASEMENTS REFERENCED IN CHICAGO TITLE COMPANY PRELIMINARY REPORT, TITLE NUMBER FWAC-5852103502L, DATED NOVEMBER 16, 2021 ARE SHOWN HEREON.

HORIZONTAL AND VERTICAL CURVES DO EXIST WITHIN 300 FEET OF THE PROPERTY.

PROTECTED TREES DO NOT EXIST ON THIS SITE.

NO BUS STOPS EXIST WITHIN 100 FEET OF THIS PROPERTY.

CROSSWALKS DO EXIST WITHIN 100 FEET OF THIS PROPERTY.

ASSESSOR'S PARCEL NUMBER: 014-1249-011-03

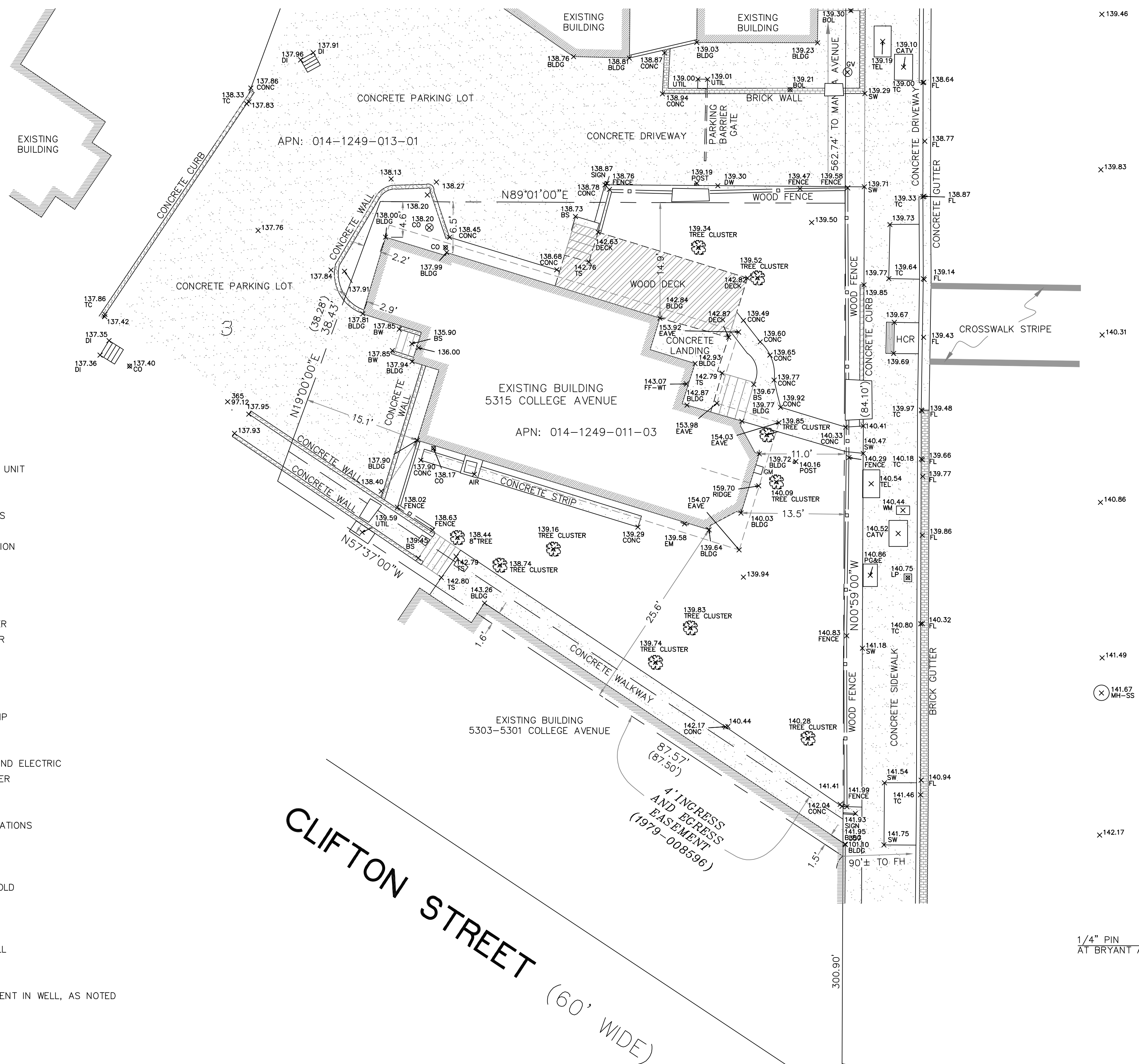
PROPERTY AREA = 4,165± SQUARE FEET

DATE OF FIELD SURVEY: MARCH 7, 2022

BASIS OF BEARINGS:
 THE RIGHT-OF-WAY LINE OF COLLEGE AVENUE WAS TAKEN AS NORTH 00°59'00" WEST PER THE GRANT DEED TO KLETZ (2002-270231).

BENCHMARK:
 ELEVATIONS ARE BASED ON CITY OF OAKLAND DATUM.
 THE EAST CURB RETURN AT THE SOUTHEAST CORNER OF COLLEGE AND KALES AVENUES WAS TAKEN AS ELEVATION = 152.50 FEET PER CITY OF OAKLAND MONUMENT MAPS SHEET 311.

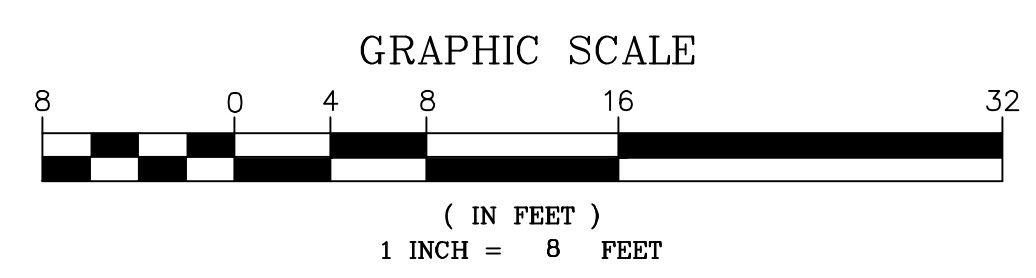
COLLEGE AVENUE (66' WIDE)



- LEGEND**
- AIR AIR CONDITION UNIT
 - BLDG BUILDING
 - BOL BOLLARD
 - BS BASE OF STEPS
 - BW BASE OF WALL
 - CATV CABLE TELEVISION
 - CO CLEAN OUT
 - CONC CONCRETE
 - DI DRAIN INLET
 - DW DRIVEWAY
 - EM ELECTRIC METER
 - FF FINISHED FLOOR
 - FH FIRE HYDRANT
 - FL FLOWLINE
 - GM GAS METER
 - GV GAS VALVE
 - HCR HANDICAP RAMP
 - LP LAMP POST
 - MH MANHOLE
 - PG&E PACIFIC GAS AND ELECTRIC
 - SS SANITARY SEWER
 - SW SIDEWALK
 - TC TOP OF CURB
 - TEL TELECOMMUNICATIONS
 - TS TOP OF STEPS
 - UTIL UTILITY
 - WM WATER METER
 - WT WOOD THRESHOLD
 - BRICK
 - BUILDING LINE
 - CONCRETE
 - CONCRETE WALL
 - WOOD
 - WOOD FENCE
 - FOUND MONUMENT IN WELL, AS NOTED
 - RECORD DATA

CLIFTON STREET (60' WIDE)

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BOUNDARY AND TOPOGRAPHIC SURVEY

A PORTION OF LOT 3, BLOCK M, PORTION OF VERNON PARK (4 M 18)
 LOCATED AT 5315 COLLEGE AVENUE
 CITY OF OAKLAND, COUNTY OF ALAMEDA, CALIFORNIA

MARCH 24, 2022 SCALE: 1" = 8'

MORAN ENGINEERING, INC.
 CIVIL ENGINEERS \ LAND SURVEYORS
 1930 SHATTUCK AVENUE, SUITE A
 BERKELEY, CALIFORNIA 94704
 (510) 848-1930

SURVEYOR'S CERTIFICATE:
 THIS MAP CORRECTLY REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AT THE REQUEST OF MEHDI SHAFIEI IN FEBRUARY OF 2022.
 I HEREBY STATE THAT ALL EXISTING GRADES AND CONTOURS DELINEATED UPON THIS PLAT ARE BASED UPON CITY OF OAKLAND DATUM.
 I HEREBY FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN FULLY SATISFIED.
 I HEREBY FURTHER STATE THAT THE PARCEL DESIGNATED BY MY SURVEY AND SHOWN ON THIS MAP IS THE SAME AS THOSE DESCRIBED IN THAT CERTAIN DEED RECORDED ON JUNE 19, 2002, AT SERIES 2002-270231 IN THE OFFICE OF THE ALAMEDA COUNTY RECORDER, AND IDENTIFIED ON THE CURRENT EQUALIZED ASSESSMENT ROLL OF THE ALAMEDA COUNTY ASSESSOR AS PARCEL NO: 014-1249-011-03.
 I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYORS' ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE THAT A CORNER RECORD BE FILED.
 I HEREBY ACKNOWLEDGE THAT THIS SURVEY SHALL BE PUBLIC RECORD AND MAY BE AVAILABLE FOR INSPECTION AND DISTRIBUTION TO THE GENERAL PUBLIC.



GENERAL NOTES:
 DIMENSIONS ARE IN FEET AND DECIMAL FEET.
 DIMENSIONS SHOWN FROM BUILDINGS TO PROPERTY LINES ARE MEASURED AT BUILDING CORNERS FROM THE EXTERIOR BUILDING FACE PERPENDICULAR TO THE PROPERTY LINE.
 ALL EASEMENTS REFERENCED IN CHICAGO TITLE COMPANY PRELIMINARY REPORT, TITLE NUMBER FWAC-5852103502L, DATED NOVEMBER 16, 2021 ARE SHOWN HEREON.
 HORIZONTAL AND VERTICAL CURVES DO EXIST WITHIN 300 FEET OF THE PROPERTY.
 PROTECTED TREES DO NOT EXIST ON THIS SITE.
 NO BUS STOPS EXIST WITHIN 100 FEET OF THIS PROPERTY.
 CROSSWALKS DO EXIST WITHIN 100 FEET OF THIS PROPERTY.
 ASSESSOR'S PARCEL NUMBER: 014-1249-011-03
 PROPERTY AREA = 4,165± SQUARE FEET
 DATE OF FIELD SURVEY: MARCH 7, 2022
BASIS OF BEARINGS:
 THE RIGHT-OF-WAY LINE OF COLLEGE AVENUE WAS TAKEN AS NORTH 00°59'00" WEST PER THE GRANT DEED TO KLETZ (2002-270231).
BENCHMARK:
 ELEVATIONS ARE BASED ON CITY OF OAKLAND DATUM.
 THE EAST CURB RETURN AT THE SOUTHEAST CORNER OF COLLEGE AND KALES AVENUES WAS TAKEN AS ELEVATION = 152.50 FEET PER CITY OF OAKLAND MONUMENT MAPS SHEET 311.

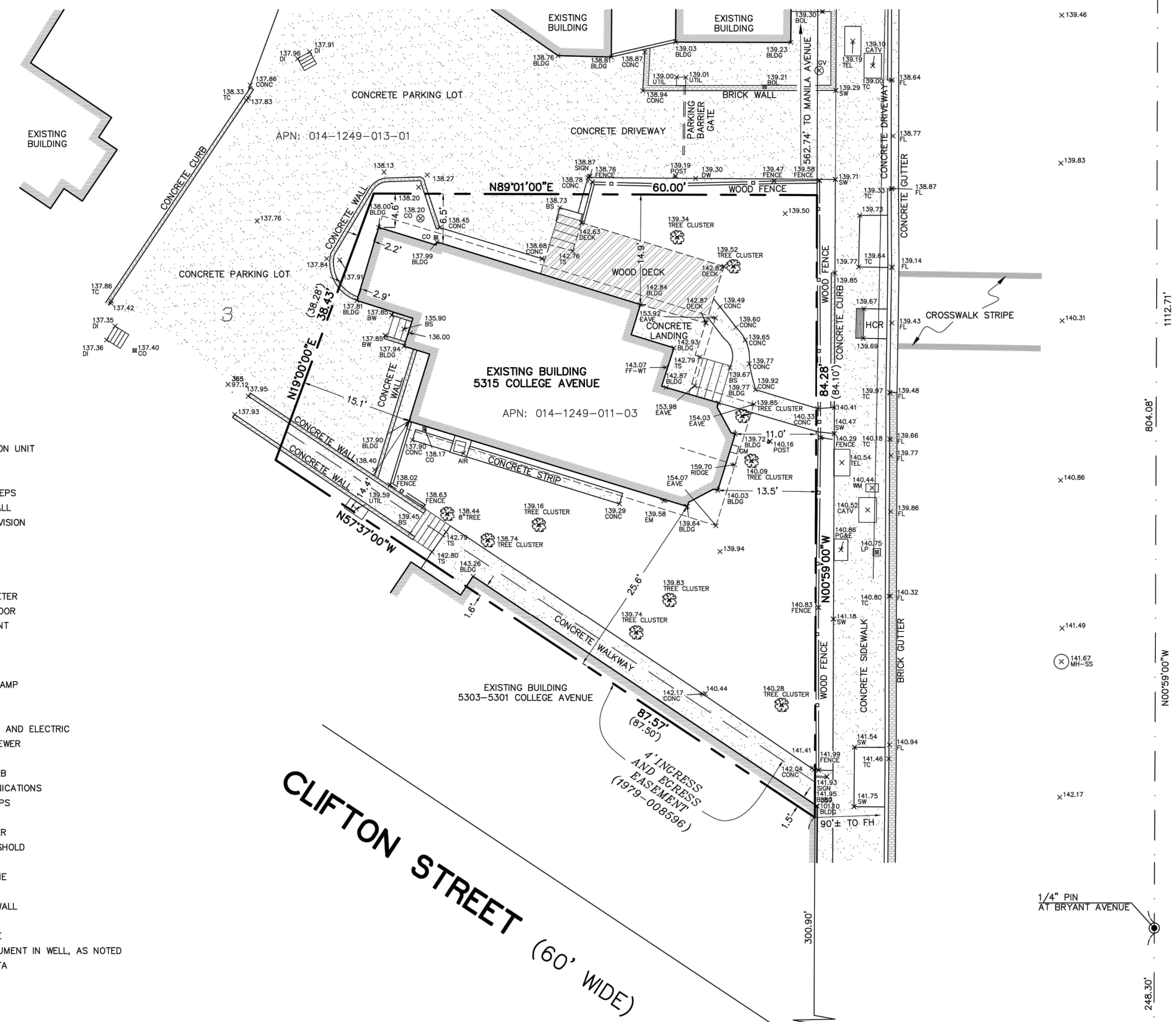
BOUNDARY AND TOPOGRAPHIC SURVEY

A PORTION OF LOT 3, BLOCK M, PORTION OF VERNON PARK (4 M 18)
 LOCATED AT 5315 COLLEGE AVENUE
 CITY OF OAKLAND, COUNTY OF ALAMEDA, CALIFORNIA

MARCH 24, 2022 SCALE: 1" = 8'

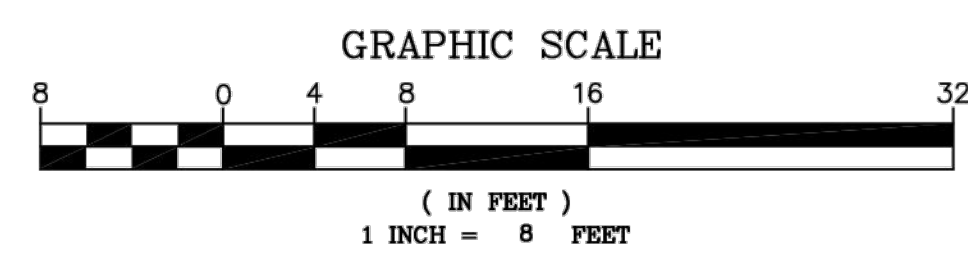
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 BERKELEY, CALIFORNIA 94704
 (510) 848-1930



- LEGEND**
- AIR AIR CONDITION UNIT
 - BLDG BUILDING
 - BOL BOLLARD
 - BS BASE OF STEPS
 - BW BASE OF WALL
 - CATV CABLE TELEVISION
 - CO CLEAN OUT
 - CONC CONCRETE
 - DI DRAIN INLET
 - DW DRIVEWAY
 - EM ELECTRIC METER
 - FF FINISHED FLOOR
 - FH FIRE HYDRANT
 - FL FLOWLINE
 - GM GAS METER
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1/4" PIN AT MANILA AVENUE



1112.71'

804.08'

248.30'

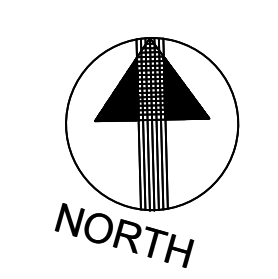
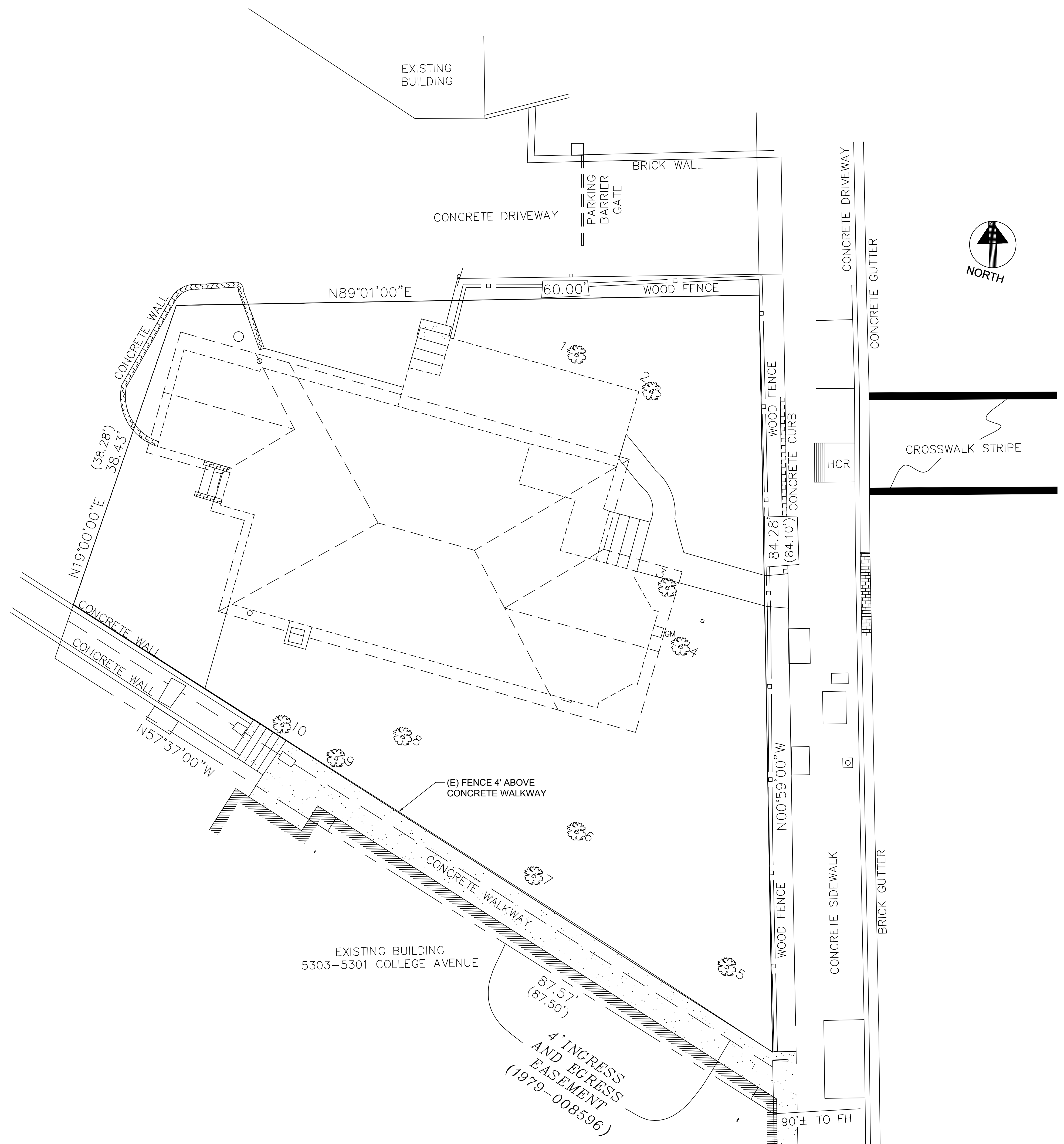
60.33'

COLLEGE AVENUE (66' WIDE)

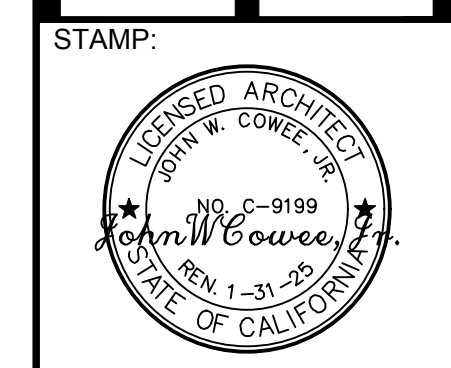
CLIFTON STREET (60' WIDE)

1/4" PIN AT BRYANT AVENUE

1/4" PIN



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STAMP:
 CONSULTANT:

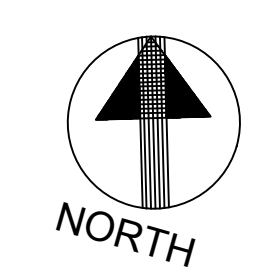
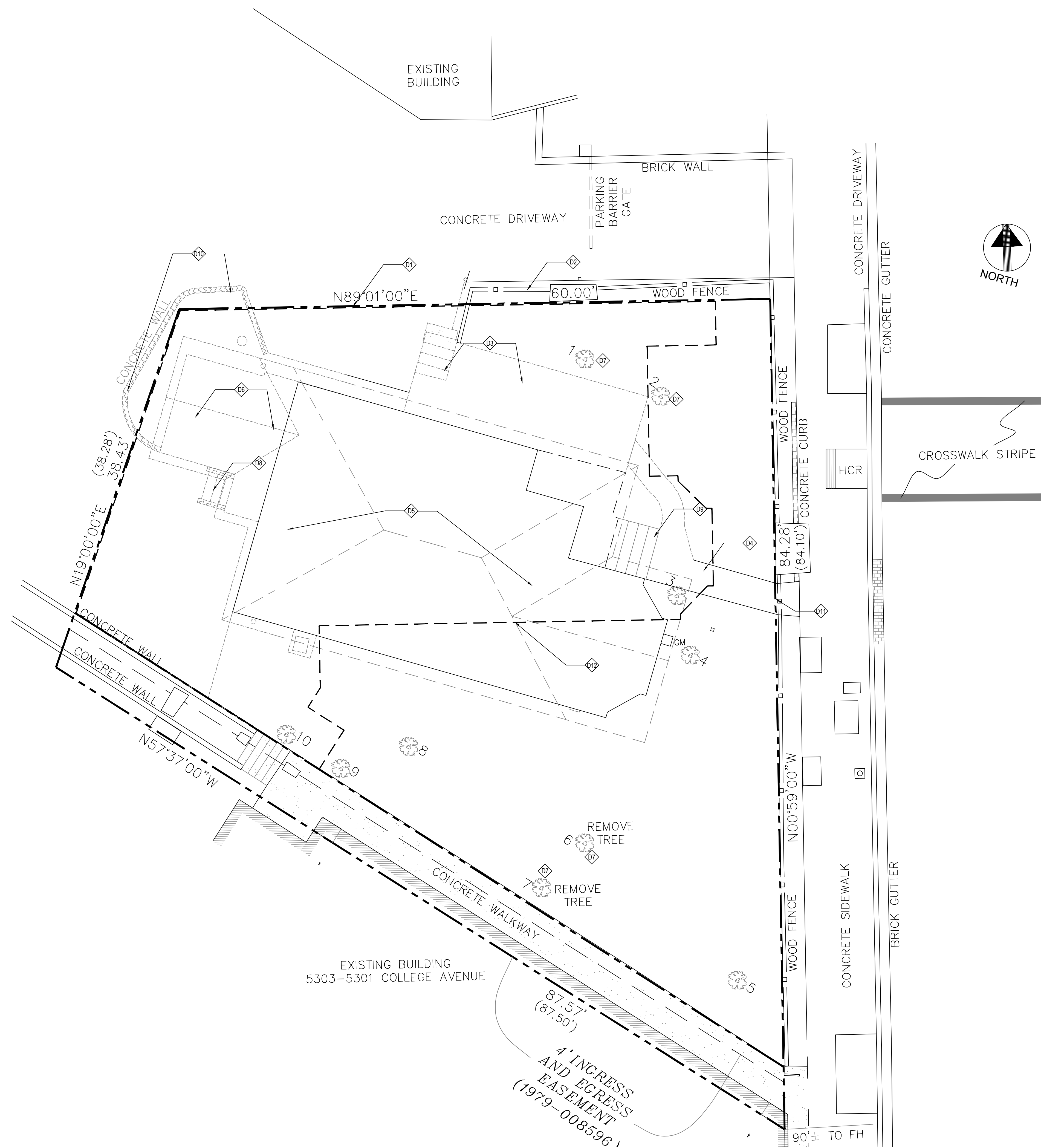
SUNFLOWERS DAYCARE INC.
LIFT/ ADDITION REMODEL
 5315 COLLEGE AVE
 OAKLAND, CA 94618
 MAHTA MARASHI & MEHDI SHAFIEI, OWNER

OWNER REVIEW DATED 06/13/2022	
REVISIONS	DATE
APN: 014-1249-011-03	
APP: ZW2201671	
DATE: 04/20/2023	

SHEET TITLE:
EXISTING SITE PLAN

SHEET NO.
C0.1

REVISION 0



DEMOLITION NOTES

- 01 EXISTING PROPERTY LINE TO REMAIN.
- 02 EXISTING WOOD FENCE TO REMAIN.
- 03 EXISTING STAIR AND DECK TO BE DEMOLISHED COMPLETE.
- 04 EXISTING WALKWAY TO BE DEMOLISHED COMPLETE.
- 05 EXISTING HOUSE TO BE RAISED AND PREPARED FOR RELOCATION. REMOVE EXISING BASEMENT AND FOUNDATIONS COMPLETE. CUT BACK AND CAP UTILITIES, DRAIN LINES, DOWNSPOUTS, ELECTRICAL SERVICE, AND ETC. AND PREPARE THEM FOR NEW WORK.
- 06 REMOVE REAR ADDITION TO BUILDING.
- 07 REMOVE TREES AND EXISTING LANDSCAPING IN THE WAY OF NEW WORK.
- 08 REMOVE STAIRS TO BASEMENT COMPLETE.
- 09 REMOVE FRONT STAIRS COMPLETE.
- 10 REMOVE CONCRETE WALL AT THE REAR OF THE BUILDING.
- 11 EXISITING GATE AND FENCE TO REMAIN.
- 12 OUTLINE OF NEW BUILDING LOCATION. EXCAVATE THIS AREA TO MATCH BASEMENT FLOOR PLAN. PROVIDE SHORING FOR ANY EXCAVATION DEEPER THAN 5 FEET. PREPARE AREA TO RECEIVE NEW WORK.

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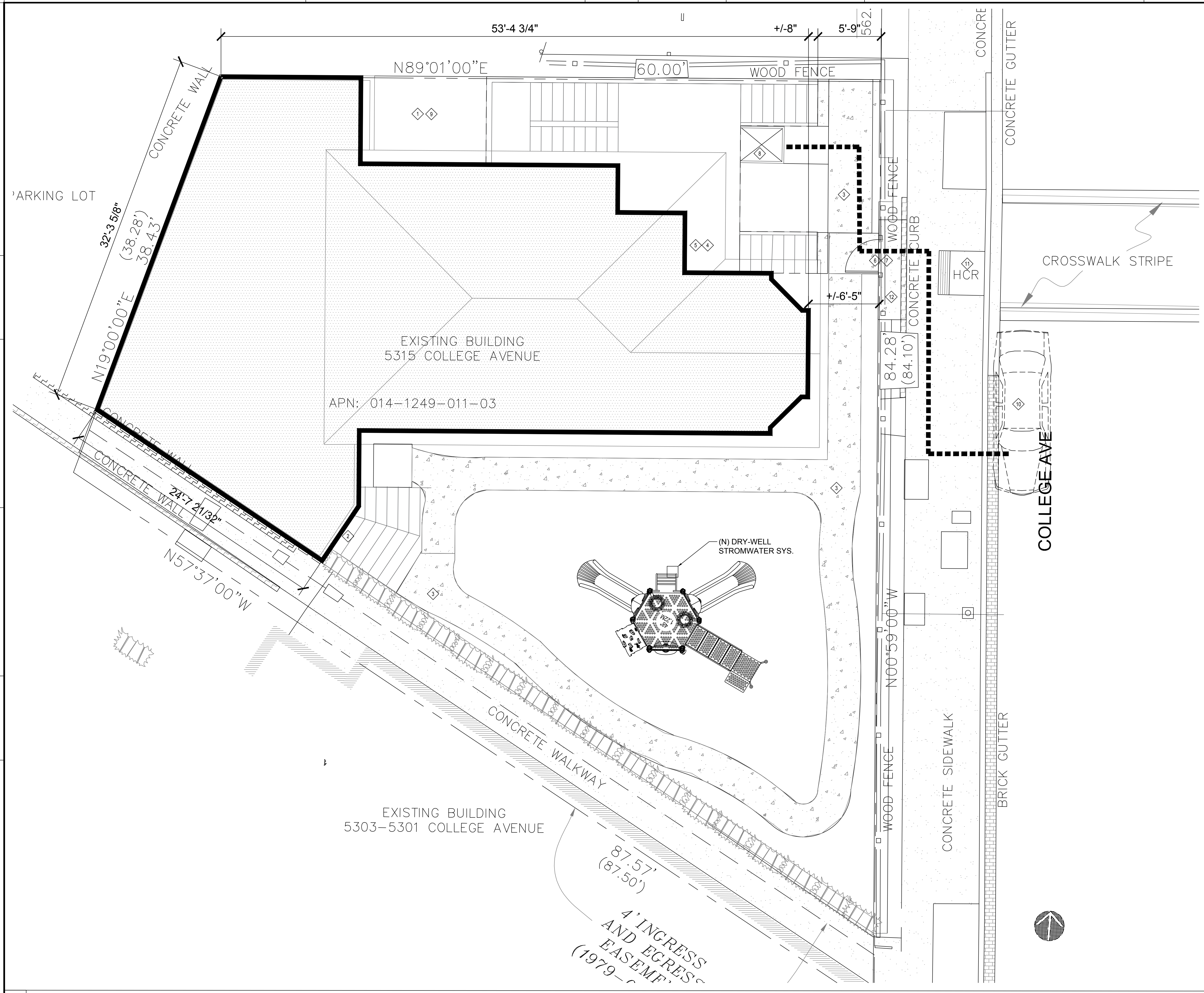
CONSULTANT:

SUNFLOWERS DAYCARE INC.
LIFT/ ADDITION REMODEL
 5315 COLLEGE AVE
 OAKLAND, CA 94618
 MAHTA MARASHI & MEHDI SHAFIEI, OWNER

OWNER REVIEW DATED 06/13/2022
REVISIONS DATE
APN: 014-1249-011-03
APP: ZW2201671
DATE: 04/20/2023

SHEET TITLE:
PROPOSED DEMO SITE PLAN

SHEET NO.
C0.2
 REVISION 0



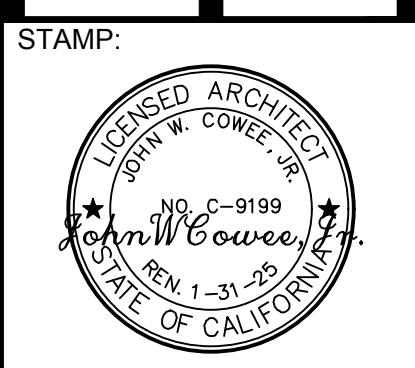
- ### SITE PLAN NOTES
- 1 4" THICK CONCRETE PATIO W/ #4 BARS @ 24" O.C. EACH WAY.
 - 2 PROVIDE LANDING AT EXIT DOORS W/ THRESHOLD FLUSH WITH DECK OR WALKWAY.
 - 3 4" THICK CONCRETE WALKWAY W/ #3 BARS @ 24" O.C. EACH WAY (MAXIMUM SLOPE 1:20). SEE ALSO L1.2 LANDSCAPE PLAN.
 - 4 NEW TACTILE ACCESSIBLE SIGNAGE ON OUTSIDE OF DOOR AND ADJACENT TO STRIKE EDGE OF DOOR.
 - 5 "ENTRANCE" SIGN W/ TACTILE AS PER CBC-2016 SECTION 1013.4 & 11B-703.1; & ILLUMINATED AS REQUIRED PER CBC-2016 SECTION 1013.2. SEE SHEET ME1.1 FOR EXACT LOCATION OF SIGNS
 - 6 "EXIT ROUTE" SIGN W/ TACTILE AS PER CBC-2016 SECTION 1013.4 & 11B-703.1; ILLUMINATED AS REQUIRED PER CBC-2016 SECTION 1013.2. SEE SHEET ME1.1 FOR EXACT LOCATION OF SIGNS
 - 7 EGRESS PATH OF TRAVEL FROM CLASSROOMS TO PUBLIC RIGHT OF WAY & ACCESSIBLE ROUTE TO BE MAINTAINED PER COMPLIANCE OF SECTION 11B-602 & 11B-307 OF CBC-2016.
 - 8 ACCESSIBLE LIFT - SEE FLOOR PLAN.
 - 9 COURTYARD BELOW.
 - 10 EXISTING ACCESSIBLE PARKING SPACE.
 - 11 EXISTING ACCESSIBLE CURB CUT.
 - 12 NEW CONCRETE PAD TO FACILITATE NEW GATE LOCATION.

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LIFT/ ADDITION REMODEL

5315 COLLEGE AVE
OAKLAND, CA 94618

MAHTA MARASHI & MEHDI SHAFIEI, OWNER

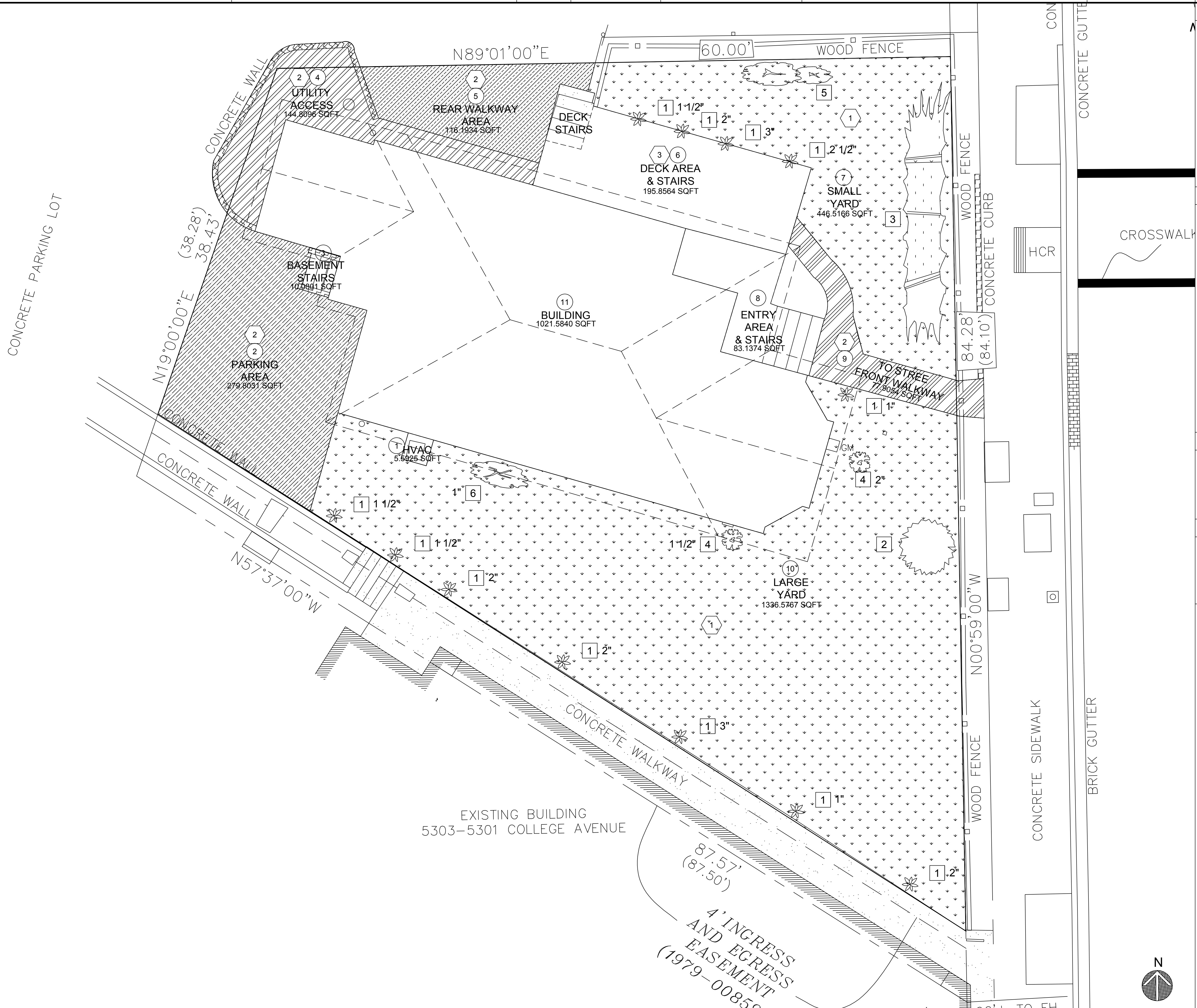
REVISIONS	DATE
0	OWNER REVIEW DATED 08/13/2022

DATE: 04/20/2023

SHEET TITLE:
PROPOSED SITE PLAN

SHEET NO.
C0.3

REVISION 0



LANDSCAPING NOTES

- 1 RED TIP PHOTINIA
- 2 MOLLOWS
- 3 CREEPING LANTANA
- 4 OSMANTHUS FRAGRANS
- 5 KATO
- 6 ROSE
- 7 ARTIFICIAL TURF
- 8 CONCRETE WALKWAYS

SITE COVERAGE

- 1 1.5% HVAC PAD
- 2 7.5% PARKING AREA
- 3 2.7% BASEMENT STAIRS
- 4 4% UTILITY ACCESS
- 5 3.9% REAR WALKWAY AREA
- 6 5% DECK AREA & STAIRS
- 7 12% SMALL YARD
- 8 2% TO STREET FRONT WALKWAY
- 9 2% ENTRY AREA & STAIRS
- 10 36% LARGE AREA
- 11 27% BUILDING

SYMBOL LEGEND

- 1 PLANT TYPE
- 2 LANDSCAPE NOTES
- 1 MATERIAL TYPES

MATERIAL TYPE

- 1 GRASS
- 2 CONCRETE
- 3 WOOD

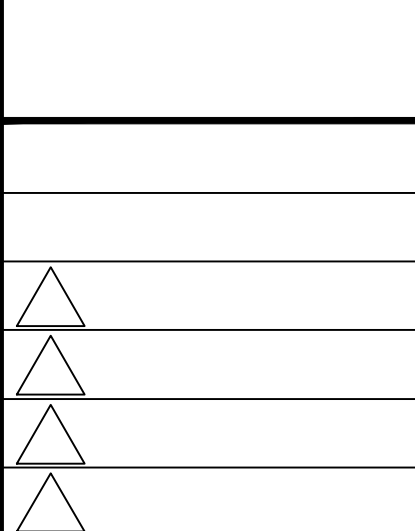
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STAMP:

 JOHN W. COWE
 LICENSED ARCHITECT
 NO. 9199
 STATE OF CALIFORNIA

CONSULTANT:

SUNFLOWERS DAYCARE INC.
LIFT/ ADDITION REMODEL
 5315 COLLEGE AVE
 OAKLAND, CA 94618
 MAHTA MARASHI & MEHDI SHAFIEI, OWNER



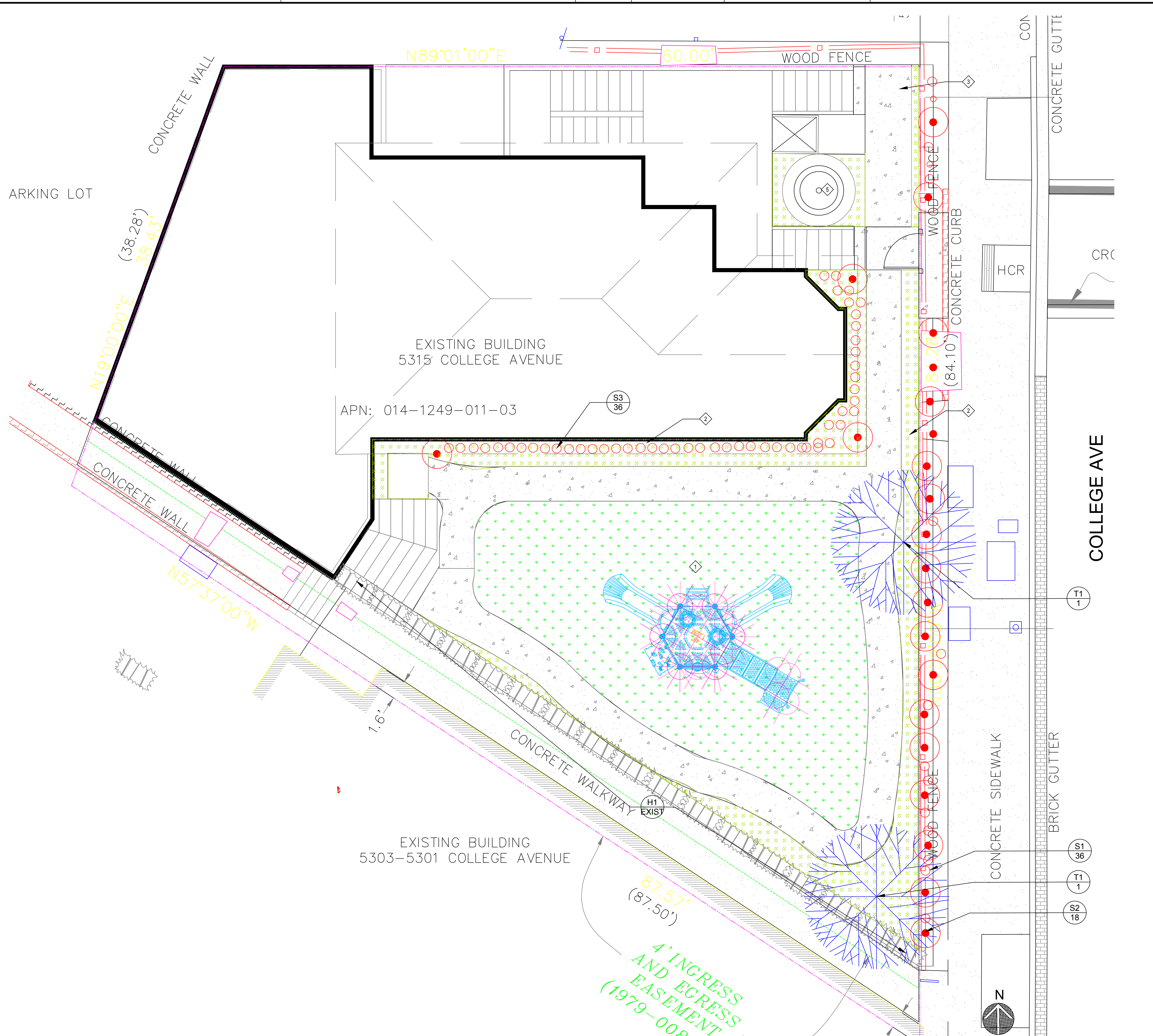
OWNER REVIEW
 DATED 06/13/2022

REVISIONS	DATE
APN: 014-1249-011-03	
APP: ZW2201671	
DATE: 04/20/2023	




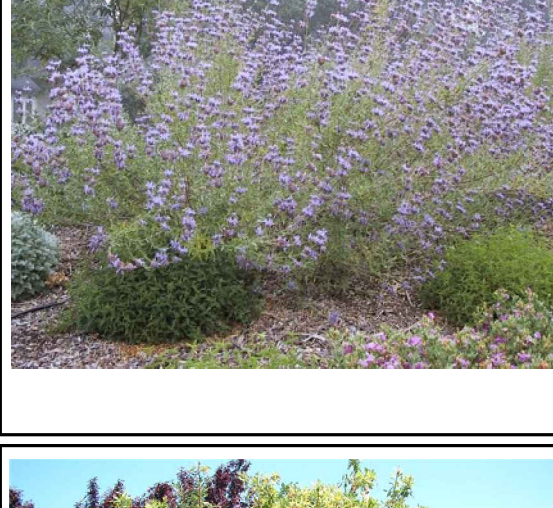


SHEET TITLE:
EXISTING LANDSCAPING PLAN

SHEET NO.
L1.1

REVISION 0



PLANTING LEGEND

	<p>SHRUB ID: S1 QUANTITY: X SEE PLAN</p> <p>BOTANICAL NAME: SPHAERALCEA AMBIGUA</p> <p>COMMON NAME: APRICOT MALLOW HEIGHT: 1'-0"-3'-0" WIDTH: 1'-0"-3'-0" SPACING: 3'-0" O.C.</p>
	<p>SHRUB ID: S2 QUANTITY: X SEE PLAN</p> <p>BOTANICAL NAME: CORREA PULCHELLA</p> <p>COMMON NAME: AUSTARLIA FUSCIA HEIGHT: 1'-0"-3'-0" WIDTH: 1'-0"-3'-0" SPACING: 3'-0" O.C.</p>
	<p>SHRUB ID: S3 QUANTITY: X SEE PLAN</p> <p>BOTANICAL NAME: SALVIA CLEVLANDII COMMON NAME: WINFRED GILMAN</p> <p>COMMON NAME: BLUE SAGE WINFRED GILMAN HEIGHT: 3'-0"-6'-0" WIDTH: 3'-0"-6'-0" SPACING: 6'-0" O.C.</p>
	<p>SHRUB ID: S4 QUANTITY: X SEE PLAN</p> <p>BOTANICAL NAME: SPHAERALCEA AMBIGUA</p> <p>COMMON NAME: APRICOT MALLOW HEIGHT: 1'-0"-3'-0" WIDTH: 1'-0"-3'-0" SPACING: 3'-0" O.C.</p>
	<p>TREE ID: T1 QUANTITY: X SEE PLAN</p> <p>BOTANICAL NAME: ARBUTUS MARINA</p> <p>COMMON NAME: STRAWBERRY MADRONE HEIGHT: 12'-0"-25'-0" WIDTH: 12'-0"-25'-0" SPACING: 12'-0" O.C.</p>
	<p>HEDGE ID: H1 QUANTITY: X SEE PLAN</p> <p>BOTANICAL NAME: N/A HEDGE IS EXISTING TO REMAIN</p> <p>COMMON NAME: N/A HEDGE IS EXISTING TO REMAIN HEIGHT: EXISTING WIDTH: EXISTING SPACING: EXISTING</p>

SITE COVERAGE

1 25.3% LARGE YARD	5 17.3% SMALL YARD
2 7.5% ENTRY #2	6 3.3% ENTRY #1 & STAIRS
3 41% BUILDING	7 1.4% STREET FRONT WALKWAY
4 1.3% ENTRY #3	

SHEET NOTES

- 1 ARTIFICIAL TURF FALL ZONE AND PLAY STRUCTURE BY OWNER
- 2 GROUND COVER UNDER PLANTS BY OWNER.
- 3 REPAIR PICKET FENCE AS NECESSARY, REPAINT, AND RELOCATE (E) GATE TO NEW NORTH ENTRANCE.
- 4 SEE DRAWING L1.3 FOR BAY FRIENDLY PLANTING REQUIREMENTS AND NOTES.
- 5 NEW FOUNTAIN BY OWNER. SEE SITE PLAN.



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JOHN W. COVEE
 LICENSED ARCHITECT
 NO. C-9199
 STATE OF CALIFORNIA

CONSULTANT:

SUNFLOWERS DAYCARE INC.
LIFT/ ADDITION REMODEL

5315 COLLEGE AVE
 OAKLAND, CA 94618

MAHTA MARASHI & MEHDI SHAFIEI, OWNER

OWNER REVIEW DATED 06/13/2022

REVISIONS	DATE
APN: 014-1249-011-03	
APP: ZW2201671	
DATE: 04/20/2023	

SHEET TITLE:
NEW LANDSCAPING PLAN

SHEET NO.
L1.2

REVISION 0

Bay-Friendly Basics Landscape Checklist

Yes No NA	Measure & Requirement	Documentation	Notes
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>5. Do Not Plant Invasive Plant Species</p> <p>Requirement None of the plant species listed by CAL-IPC as invasive in the San Francisco Bay Area are included in the planting plan.</p> <p>Definition An invasive species is defined as a species that is non-native (or alien) to the ecosystem under consideration and whose introduction causes or is likely to cause economic or environmental harm or harm to human health. Federal Executive Order 13111.</p> <p>Reference Bay-Friendly Landscape Guidelines, Practice 2.1d; Don't Plant A Pestbrochures for trees and plants available at www.cal-ipc.org; www.cal-ipc.org/inventory/checkedlist.php.</p>	<ul style="list-style-type: none"> Compare the complete list of plants in the plant palette to the Cal-IPC list of plants that are invasive to the San Francisco Bay Area. Submit the complete plant palette. Submit a statement signed by the Landscape Architect, Designer or Contractor confirming that no invasive species were substituted for specified species. 	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>6. Grow drought tolerant CA native, Mediterranean or climate adapted plants</p> <p>Requirement A minimum of 75% of the total number of plants in non-turf areas must be species that require no or little summer watering once established. Species should be adapted to the climate in which they will be planted, as referenced by a third party source. If plants are given a range of water needs from "occasional to moderate" for example, the landscape designer must determine if the plant will require either occasional or moderate watering based on site, soil, and climate conditions and categorize the plant appropriately.</p> <p>Recommendation California native or Mediterranean species are strongly recommended.</p> <p>Reference <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.2; Bornstein, Carol, David Fross and Bart O'Brien, <i>California Native Plants for the Garden</i>; EBMUD, <i>Plants and Landscapes for Summer-Dry Climates</i>; Sunset, <i>Western Garden Book</i>; UCCE, <i>Guide to Estimating Irrigation Water Needs of Landscape Plantings in CA</i>, www.cauw.water.ca.gov/docs/wc090500.pdf.</p>	<ul style="list-style-type: none"> Submit a plant legend that identifies species, number of plants, irrigation requirements (and reference source of the water requirement), total number of drought tolerant plants and total number of non-turf plants. (download a Bay-Friendly plant legend template to facilitate this process at www.BayFriendly.org). Submit a statement signed by the Landscape Architect, Designer or Contractor verifying that installed plants meet this requirement. 	

Bay-Friendly Basics Landscape Checklist

Yes No NA	Measure & Requirement	Documentation	Notes
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>7. Minimize the lawn</p> <p>Requirement A maximum of 25% of total irrigated area is specified as turf, with sports or multiple use fields exempted.</p> <p>Reference <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.3; Bay-Friendly Lawn Alternatives plant list at www.BayFriendly.org; Brooklyn Botanic Garden Publications, <i>Easy Lawns</i>, <i>Low Maintenance Native Grasses for Gardeners Everywhere</i>.</p>	<ul style="list-style-type: none"> Submit calculations of square feet of turf, excluding sports and multiple use fields, and square feet of total irrigated area. Submit planting plans with sports and multiple use fields identified. Include a statement about the purpose of multiple use fields. Submit as statement signed by the Landscape Architect, Designer or Contractor that installed turf meets the requirements for this credit. 	
Irrigation			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>8. Specify Weather-Based Irrigation Controllers (automatic, self-adjusting) that Includes a Moisture &/or Rain Sensor Shutoff</p> <p>Requirement Weather-based irrigation controllers, soil moisture based controllers or other self-adjusting irrigation controllers, shall be required for all irrigation systems.</p> <p>Reference <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.6; EBMUD website has a list of recommended self adjusting controllers at www.ebmud.com.</p>	<ul style="list-style-type: none"> Submit the make and model and product sheet of the irrigation controller. Provide a statement signed by the Landscape Architect, Designer or Contractor that the installed controller is a self-adjusting model and includes shut off capacity. 	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>9. Sprinkler & Spray Heads are Not Specified for Areas Less Than 8 Feet Wide</p> <p>Requirement Sprinkler and spray heads are not specified in areas less than or equal to 8 feet wide to prevent overspray and runoff. Acceptable alternatives include drip, subsurface drip, bubblers or no irrigation. Bubblers shall not exceed 1.5 gallons per minute per bubbler.</p>	<ul style="list-style-type: none"> Submit statement signed by the Landscape Architect, Designer or Contractor verifying that irrigation as installed does not have sprinkler or spray heads in planted areas less than 8 feet wide. 	

Bay-Friendly Basics: Bay-Friendly Basics represents the 9 required practices in the Bay-Friendly Landscape Scorecard. Landscapes that achieve the Bay-Friendly Basics are not considered to be Bay-Friendly Rated Landscapes. In order to qualify as a Bay-Friendly Rated Landscape a project must complete the entire Bay-Friendly Landscape Scorecard that has these 9 required practices as well earn a minimum of 60 points out of a possible 219 points. In addition, the scorecard must be evaluated by a qualified Bay-Friendly Rater. The Bay-Friendly Basics is also not supposed to substitute for standard horticultural practices. Rather, the Bay-Friendly Basics is supposed to help local government staff raise the minimum environmental requirements for landscape projects that require a permit. For more information on Bay-Friendly Rated Landscapes visit www.BayFriendly.org.

This checklist works well with the Small Commercial Green Building Checklist available at www.BuildGreenNow.org

Bay-Friendly Basics Landscape Checklist



This Bay-Friendly Basics Checklist is for all new construction and renovation of landscapes that are 2,500 square feet of irrigated area or greater and require a permit. The Bay-Friendly Basics represents the 9 required practices from the Bay-Friendly Landscape Scorecard. It is considered a minimum set of practices to improve the environmental performance of the landscape. Projects are recommended to meet all applicable measures on the checklist. For measures that are not applicable or are not in the project's scope of work, select "N/A" and make a note of why the measure does not apply to the project. For electronic copies of this checklist, and other Bay-Friendly Landscaping resources, visit: www.BayFriendly.org

Project: Sunflowers Daycare Renovation
Address: 5315 College Ave, Oakland CA94618

Yes No NA	Measure & Requirement	Documentation	Notes
Earthwork & Soil Health			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>1. Mulch</p> <p>Requirement All soil on site is protected with a minimum of 3 inches of mulch after construction.</p> <p>Recommendation Use recycled or greenwaste mulch instead of landscape fabric. Trees identified for removal are chipped and used on site as mulch, on-site storage space permitting.</p> <p>Reference <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.1; <i>Bay-Friendly Guide to Mulch</i>, available at www.BayFriendly.org. Provides sources of recycled mulch and proper application of mulch and information on sheet mulching.</p>	<ul style="list-style-type: none"> Submit square footage of planting areas as well as cubic yards required to cover planting areas to a minimum three-inch (3") depth. Submit a delivery ticket or receipt of purchased mulch and/or Submit receipts for sheet mulching materials and/or (Optional) Submit photos of trees being chipped for mulch (if applicable). 	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>2. Amend the Soil with Compost Before Planting</p> <p>Requirement Compost is specified as the soil amendment, at the rates indicated by a soil analysis to bring the soil organic matter content to a minimum of 5.6% by dry weight or 1 inch of compost. If the imported or site soil meets the organic content of 3.5% or more, then the requirement is waived.</p> <p>Recommendation Purchase compost from a producer who participates in the U.S. Composting Council's Standard Testing Assurance (STA) program to ensure quality.</p> <p>Reference <i>Bay-Friendly Landscape Guidelines</i>, Practice 4.1; Model Bay-Friendly Soil specifications, at www.BayFriendly.org; U.S. Composting Council Standard Testing Assurance program explanation and list of participating producers can be found at: www.compostingcouncil.org</p>	<ul style="list-style-type: none"> Submit the site soil or imported topsoil analysis. No soils analysis is required if 1" of compost is used. Submit+H35 compost details from construction documents. Submit the receipt or delivery ticket for the compost, indicating the amount of the compost delivered/purchased. <p><i>If a waiver is requested based on soil organic matter content or the needs of plant palette</i></p> <ul style="list-style-type: none"> Submit a completed plant palette with species that need little/no soil organic matter identified, and include the source of information on their soil needs OR Submit a soils report that indicates the soil has an organic matter content of 3.5% or greater. 	

Bay-Friendly Basics Landscape Checklist

Yes No NA	Measure & Requirement	Documentation	Notes
Materials			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>3. Reduce and Recycle Landscape Construction Waste</p> <p>Requirement Divert 50% of landscape construction and demolition waste by weight. Verify the local jurisdiction's minimum requirement and reporting procedures for construction and demolition (C&D) recycling.</p> <p>Reference: StopWaste.Org, <i>Builders' Guide to Reuse & Recycling: A Directory for Construction and Demolition Materials</i> and sample Waste Management Plan for recycling C&D materials at www.BuildGreenNow.org.</p>	<ul style="list-style-type: none"> State the percent diversion goal in the design documents. List specific goals and recycling and reuse requirements in plans and specifications. Require contractors to review the waste management plan with subcontractors and to include contract language requiring subcontractors comply with the plan. Prior to construction, complete a construction waste management plan. The City should provide a sample template, or one can be downloaded at www.BuildGreenNow.org. After construction, provide final waste management plan with backup documentation. If materials were sent to a C&D Recycling facility, apply a facility average diversion rate because not all materials can be recycled. Most large C&D facilities have a calculated diversion rate and can provide you with documentation stating the percentage of materials recycled at that facility (typically 50% to 90%). 	
Planting			
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>4. Choose & Locate Plants to Grow to Natural Size & Avoid Shearing</p> <p>Requirement No plant species will require shearing. Species will be selected and plants spaced to allow them to grow to their natural size and shape without shearing at any point in the lifespan of the plant. Pruning for structural integrity and health of plant is permitted. In addition, plants located in a row or adjacent to buildings, sidewalks or in narrow strips/medians will be spaced at the maximum plant spread according to a published reference plant book and still fit into their planting area without significant overhanging against buildings or over walkways, streets or into adjacent plants.</p> <p>Definition Shearing is a method of pruning for forming hedges of uniform shape by routinely cutting them with hedge shears, resulting in a geometric growth habit and dense build-up of internal branches.</p> <p>Reference <i>Bay-Friendly Landscape Guidelines</i>, Practices 2.1, Bay-Friendly Plant lists are available at www.BayFriendly.org; Bornstein, Carol, David Fross and Bart O'Brien, <i>California Native Plants for the Garden</i>; East Bay Municipal Utility District, <i>Plants and Landscapes for Summer-Dry Climates</i>; Sunset, <i>Western Garden Book</i>.</p>	<ul style="list-style-type: none"> Submit plant legend indicating plant species, spacing and mature spread of plant. Indicate the source of information on spacing and spread. Submit a statement signed by the Landscape Architect, Designer or Contractor verifying that installed plants meet this requirement. 	

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CONSULTANT:

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OAKLAND, CA 94618
MAHTA MARASHI & MEHDI SHAFIEI, OWNER

OWNER REVIEW
DATED 06/13/2022

REVISIONS	DATE
APN: 014-1249-011-03	
APP: ZW2201671	

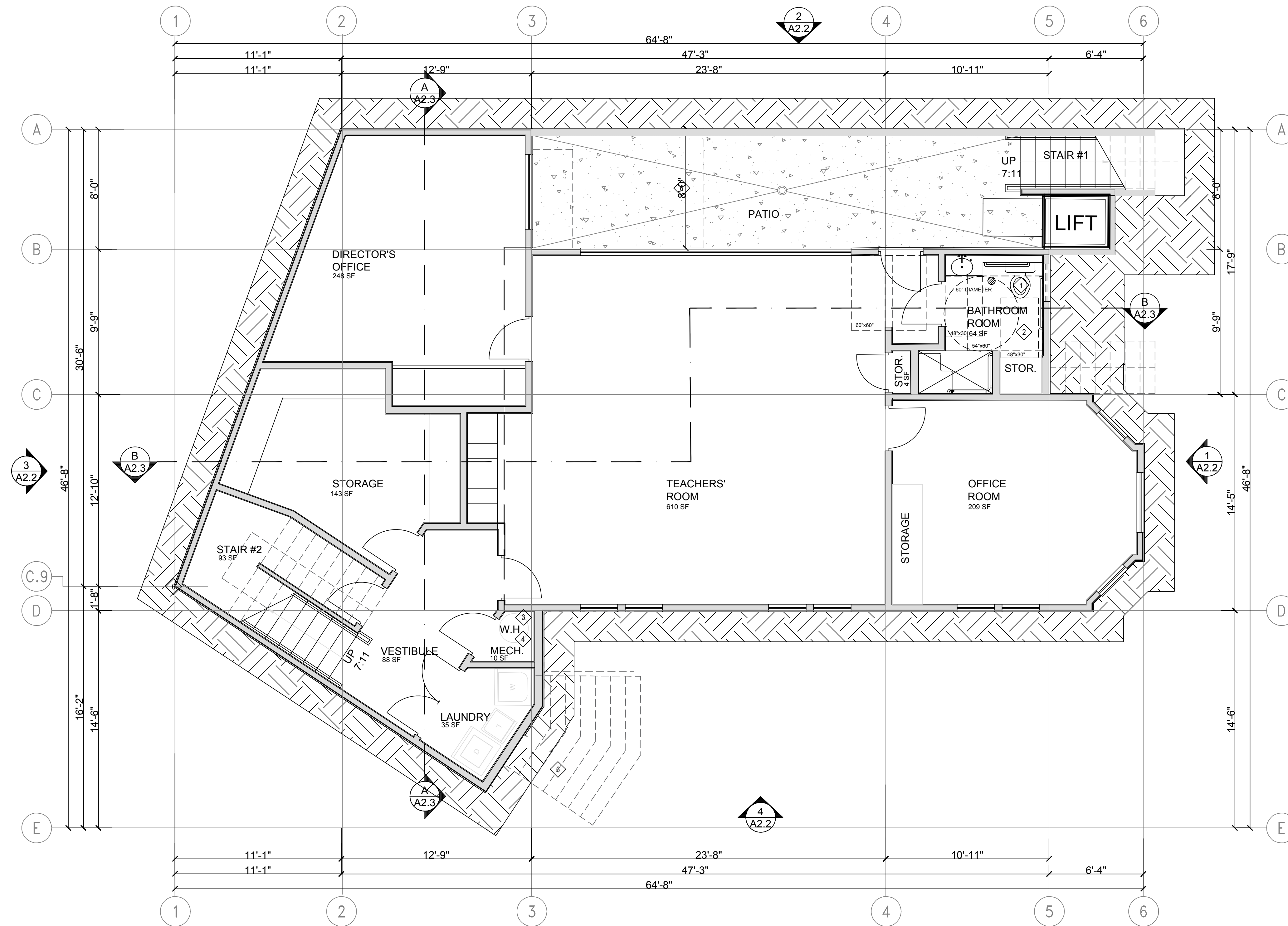
DATE: 04/20/2023

SHEET TITLE:
BAY FRIENDLY LANDSCAPING & PLANT LIST

SHEET NO.

L1.3

REVISION 0



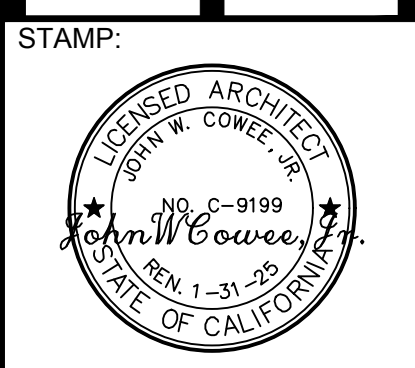
SHEET NOTES

- REFER TO GENERAL NOTES SHEET "G1.1" FOR ADDITIONAL INFORMATION.
- REFER TO ELECTRICAL PLANS FOR LOCATIONS OF ALL SWITCHES, LIGHTS, RECEPTACLES, SMOKE DETECTORS, ETC.
- SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND SHALL BE EQUIPPED WITH 24-HOUR BATTERY BACKUP.
- DUCT PIERCING WALL BETWEEN BUILDING EXTERIOR AND INTERIOR SHALL BE 26GA. G.I. MATERIAL WITH SEALED AT EDGES, AND NO OPENINGS, SEC 302.4.
- EVERY CHILDCARE ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE / RESCUE
- NEW RATED EXTERIOR WALL - EXTERIOR FACE: STUCCO OVER TYVEK & METAL LATH, 1/2" SHEATHING, 2X6 WOOD STUDS @ 16" O.C., R-22 HIGH DENSITY INSULATION. INTERIOR FACE: 5/8" GYP. BOARD TAPE & TEXTURE LEVEL 5 FINISH.
- EXISTING EXTERIOR WALL - EXTERIOR FACE: WOOD SIDING O/ BUILDING PAPER O/ SHEATHING, O/ 2X4 WOOD STUDS, R-22 HIGH DENSITY INSULATION. INTERIOR FACE: 5/8" GP. BD. TAPE & TEXTURE LEVEL 5 FINISH.
- INTERIOR WALLS - 2X4 STUDS @ 16" O.C. WITH 5/8" GYP. BD. EACH SIDE, TAPE & TEXTURE LEVEL 5 FINISH. R-13 AT BATHROOM U.O.N. PROVIDE CEMENT BACKER BOARD AT TILE COVERED WALLS.
- PLUMBING WALL - 2X6 STUDS @ 16" O.C. WITH 5/8" W.P. GYP. BD. ABOVE TILE ON WET SIDE AND 5/8" GYP. BD. ON DRY SIDE, TAPE & TEXTURE LEVEL 5 FINISH. PROVIDE CEMENT BACKER BD. AT TILE INSTALLATIONS. R-19 BATT SOUND INSULATION AT BATHROOM.

FLOOR PLAN NOTES

- STAFF TOILET W/ 1.28 GPF CAPACITY. CONNECT TO SEWER AND SUM PUMP. SEE SITE PLAN AND PLUMBING PLAN.
- PROVIDE MECHANICAL VENTILATION THIS ROOM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR - REFER TO ELECTRICAL DRAWINGS.
- ELECTRIC TANKLESS WATER HEATER ON EXTERIOR WALL - PROVIDE SEISMIC STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSION. THE LOWER ANCHOR / STRAP LOCATED TO MAINTAIN A DISTANCE OF 4 INCHES ABOVE THE CONTROLS AND INSULATION PER TITLE-24 ENERGY CALCS. - PROVIDE PRESSURE RELIEF VALVE WITH 1/2" COPPER DRAIN TO OUTSIDE. (PRIDE WATER HEATER VENT THROUGH ROOF) & 12"x12" LOUVER T&B.
- ELECTRIC HEAT PUMP UNIT ON 18" HIGH PLATFORM - PROVIDE LIGHT, SWITCH, 110V RECEPTACLE PER CMC SEC 319. PROVIDE 26 GA. SHT. MET. FOR ALL DUCT PENETRATIONS OF WALLS OR CEILING
- NOT USED.
- 4" CONCRETE SLAB @ PATIO - SEE CIVIL DRAWINGS.
- PROVIDE LANDING AT EXIT DOORS W/ THRESHOLD.
- 4" CONCRETE WALKWAY (MAXIMUM SLOPE 1:20). SEE SITE PLAN.
- 50-GALLON WH ON 18" HIGH PLATFORM. W/ SEISMIC RESTRAINT.
- 30" SPACE FOR REFRIGERATOR BASE CABINETS (ACCESSIBLE);
- NEW TACTILE ACCESSIBLE SIGNAGE ON OUTSIDE OF DOOR AND ADJACENT TO STRIKE EDGE OF DOOR.
- CHILD SIZE TOILET BY "AMERICAN STANDARD MODEL #BABY DEVORO WITH WHITE COLOR.
- WALL HUNG SINK BY "AMERICAN STANDARD MODEL #LUCERN (OR APPROVED EQUAL) WITH WHITE COLOR". WRAP PIPES BELOW WITH PRE-MANUFACTURED TRAP/ PIPE WRAP PROFILE INSULATION. PROVIDE FAUCET-SINGLE LEVER CONTROL BY "DELTA" (MODEL #544WFMPU-OR APPROVED EQUAL)
- MOPSINK W/ BUCKET HANGER BY "FLORESTONE" (MODEL #MSA-2424 24"x24") OR APPROVED EQUAL.
- "TO EXIT" SIGN W/ TACTILE AS PER CBC-2016 SECTION 1013.4 & 11B-703.1; & ILLUMINATED AS REQUIRED PER CBC-2016 SECTION 1013.2, SEE SHEET ME1.1 FOR EXACT LOCATION OF SIGNS
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- INSTALL PORTABLE FIRE EXTINGUISHERS AS REQUIRED PER CBC-2016 SECTION 906.3 (SEE SHEET E1 ALSO)
- EGRESS PATH OF TRAVEL FROM CLASSROOMS TO PUBLIC RIGHT OF WAY & ACCESSIBLE ROUTE DRINKING FOUNTAIN TO BE INSTALLED PER COMPLIANCE OF SECTION 11B-602 & 11B-307 OF CBC-2016.
- KNEE CLEARANCE SHALL BE PER FIGURE 11B-306.3 OF CBC-2016. SPOUT HEIGHT SHALL BE 36" AFF (SECTION 11B-602.4). SPOUT LOCATION SHALL BE LOCATED 15" MINIMUM FROM VERTICAL SUPPORT & 5" MAX. FROM THE FRONT EDGE OF THE UNIT (SECTION 11B-602.5).

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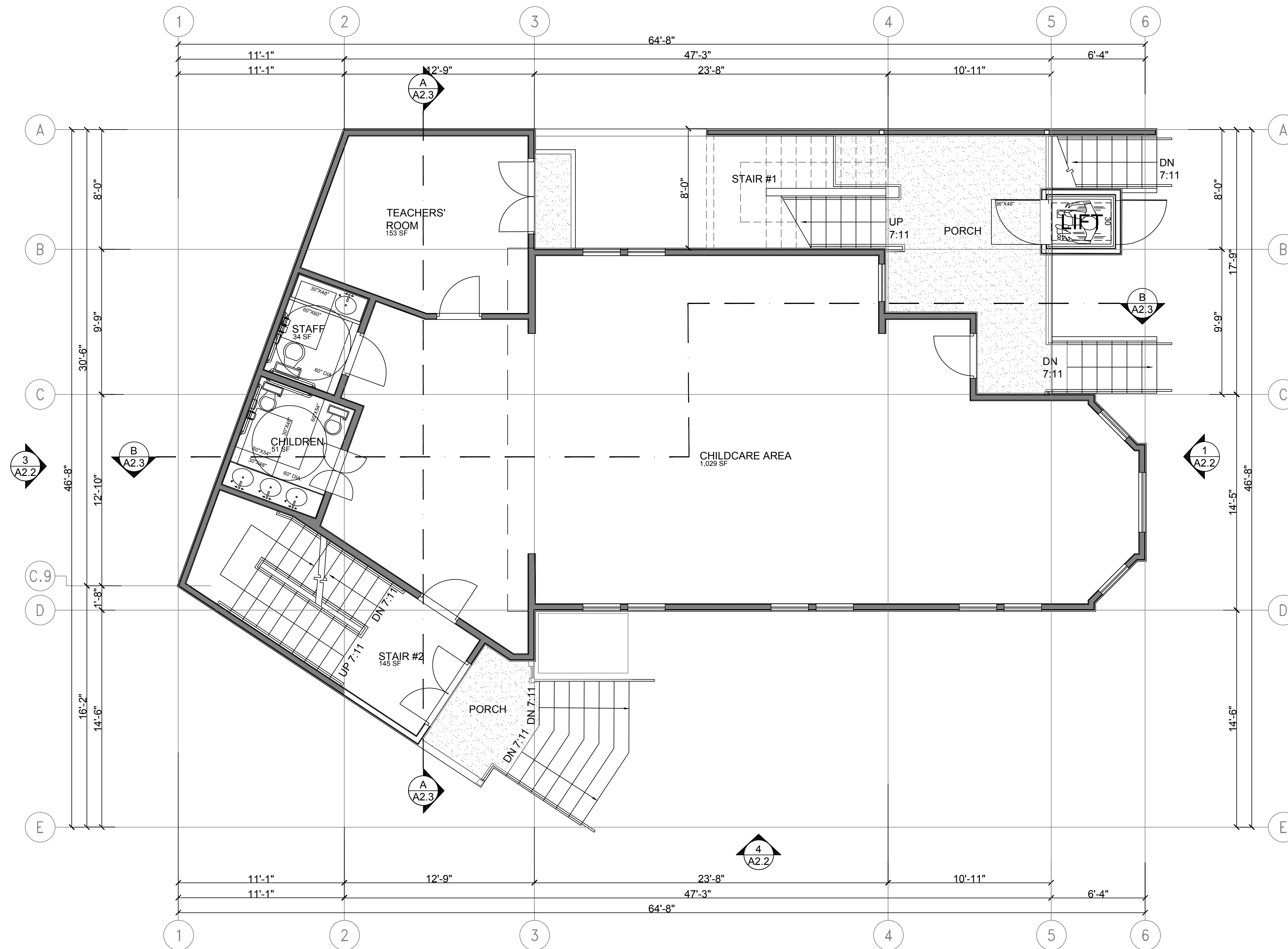
SHEET TITLE:
PROPOSED BASEMENT FLOOR PLAN

SHEET NO.
A1.0
 REVISION 0

1 PROPOSED BASEMENT FLOOR PLAN SCALE 1/4" = 1'-0"

1,649 SQ.FT.

SCHEDULES



SHEET NOTES

- A REFER TO GENERAL NOTES SHEET "G1.1" FOR ADDITIONAL INFORMATION.
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- C SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND SHALL BE EQUIPPED WITH 24-HOUR BATTERY BACKUP.
- D DUCT PIERCING WALL BETWEEN BUILDING EXTERIOR AND INTERIOR SHALL BE 26GA. G.I. MATERIAL WITH SEALED AT EDGES, AND NO OPENINGS, SEC 302.4.
- E EVERY CHILDCARE ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE / RESCUE
- F NEW 1-HOUR RATED EXTERIOR WALL - EXTERIOR FACE: WOOD SIDING OVER TYVEK & METAL LATH, 1/2" SHEATHING, 2X6 WOOD STUDS @ 16" O.C., R-22 HIGH DENSITY INSULATION. INTERIOR FACE: 5/8" GYP. BOARD TYPE "X". TAPE & TEXTURE LEVEL 5 FINISH.
- G EXISTING EXTERIOR WALL - EXTERIOR FACE: WOOD SIDING / BUILDING PAPER / SHEATHING, / 2X4 WOOD STUDS, R-22 HIGH DENSITY INSULATION. INTERIOR FACE: 5/8" GP. BD. TAPE & TEXTURE LEVEL 5 FINISH.
- H INTERIOR WALLS - 2X4 STUDS @ 16" O.C. WITH 5/8" GYP. BD. EACH SIDE. TAPE & TEXTURE LEVEL 5 FINISH. R-13 AT BATHROOM U.O.N. PROVIDE CEMENT BACKER BOARD AT TILE COVERED WALLS.
- I PLUMBING WALL - 2X6 STUDS @ 16" O.C. WITH 5/8" W.P. GYP. BD. ABOVE TILE ON WET SIDE AND 5/8" GYP. BD. ON DRY SIDE, TAPE & TEXTURE LEVEL 5 FINISH. PROVIDE CEMENT BACKER BD. AT TILE INSTALLATIONS. R-19 BATT SOUND INSULATION AT BATHROOM.

FLOOR PLAN NOTES

- 1 STAFF TOILET W/ 1.28 GPF CAPACITY. CONNECT TO SEWER AND SUM PUMP. SEE SITE PLAN AND PLUMBING PLAN.
- 2 PROVIDE MECHANICAL VENTILATION THIS ROOM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR - REFER TO ELECTRICAL DRAWINGS.
- 3 NEW WOOD STAIRWAY AND PORCH W/ 42" HIGH GUARDRAIL AND 34" HIGH HADRAILS.
- 4 EXTERIOR ELECTRIC ACCESSIBLE LIFT FROM BASEMENT TO FIRST FLOOR.
- 5 CONCRETE STAIR TO GRADE - SEE CIVIL DRAWINGS.
- 6 LANDINGS AT EXIT DOORS W/ THRESHOLD ARE FLUSH WITH FLOOR.
- 7 30" SPACE FOR REFRIGERATOR BASE CABINETS (ACCESSIBLE);
- 8 NEW TACTILE ACCESSIBLE SIGNAGE ON OUTSIDE OF DOOR AND ADJACENT TO STRIKE EDGE OF DOOR.
- 9 CHILD SIZE TOILET BY "AMERICAN STANDARD MODEL #BABY DEVORO WITH WHITE COLOR.
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- 13 "EXIT ROUTE" SIGN W/ TACTILE AS PER CBC-2016 SECTION 1013.4 & 11B-703.1; ILLUMINATED AS REQUIRED PER CBC-2016 SECTION 1013.2, SEE SHEET ME1.1 FOR EXACT LOCATION OF SIGNS
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- 15 INSTALL PORTABLE FIRE EXTINGUISHERS AS REQUIRED PER CBC-2016 SECTION 906.3 (SEE SHEET E1 ALSO)
- 16 EGRESS PATH OF TRAVEL FROM CLASSROOMS TO PUBLIC RIGHT OF WAY & ACCESSIBLE ROUTE DRINKING FOUNTAIN TO BE INSTALLED PER COMPLIANCE OF SECTION 11B-602 & 11B-307 OF CBC-2016.
- 17 KNEE CLEARANCE SHALL BE PER FIGURE 11B-306.3 OF CBC-2016. SPOUT HEIGHT SHALL BE 36" AFF (SECTION 11B-602.4). SPOUT LOCATION SHALL BE LOCATED 15" MINIMUM FROM VERTICAL SUPPORT & 5" MAX. FROM THE FRONT EDGE OF THE UNIT (SECTION 11B-602.5).
- 18 1-HOUR RATED STAIRWAY WALL WITH HORIZONTAL WOOD SIDING TO MATCH EXISTING / 5/8" TYPE "X" GYP. SHEATHING / 1/2" CDX PLYWOOD EACH SIDE.
- 19 BALCONY WITH 42" HIGH WOOD GUARD RAILING.
- 20 RETAINING WALL BELOW.
- 21 OPEN TO BELOW.

1 PROPOSED 1ST FLOOR PLAN SCALE 1/4" = 1'-0" **1,525 SQ.FT.**

SCHEDULES

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STAMP:

 JOHN W. COVEE
 LICENSED ARCHITECT
 LICENSE NO. 9199
 STATE OF CALIFORNIA

CONSULTANT:

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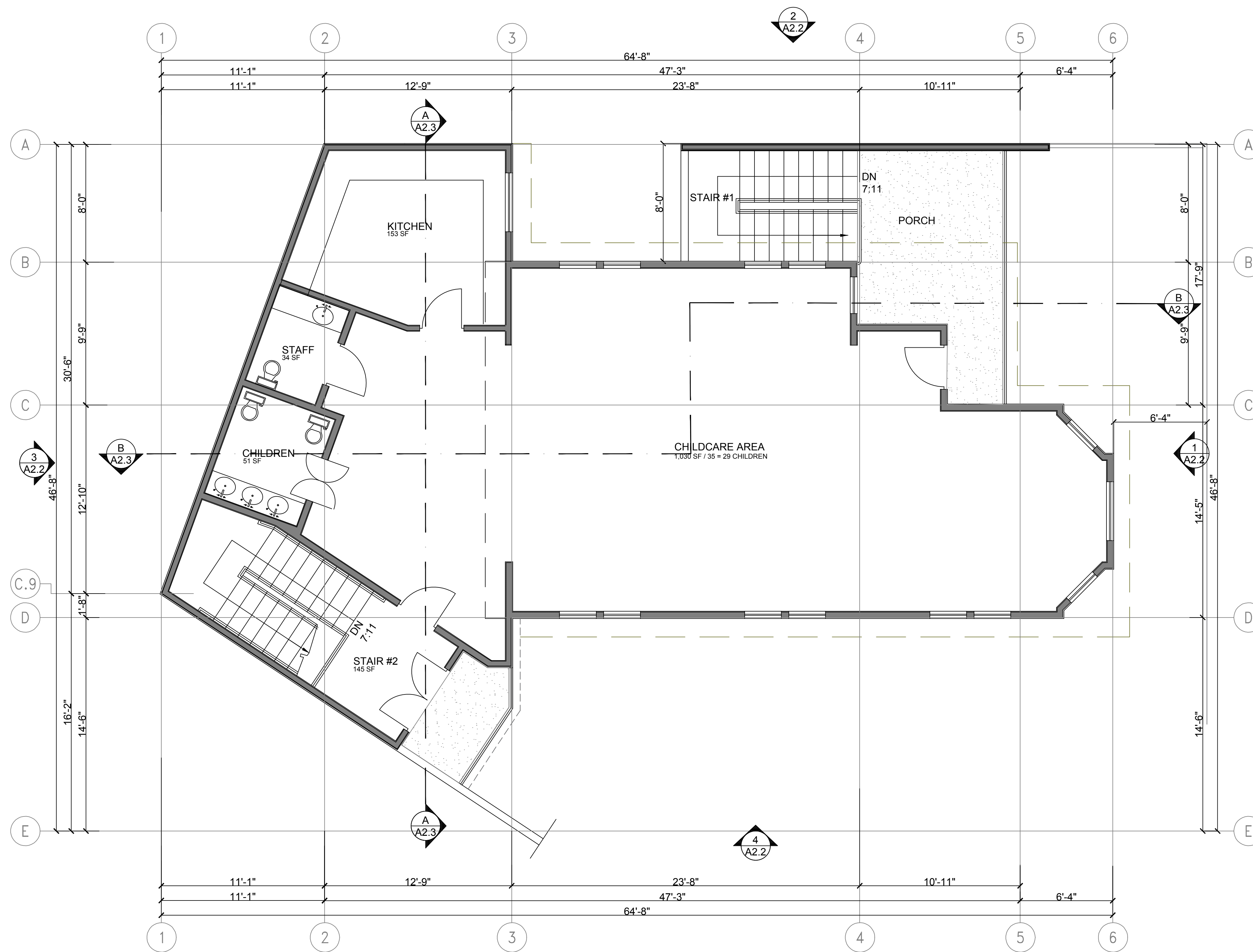
REVISIONS	DATE
APN: 014-1249-011-03	
APP: ZW2201671	
DATE: 04/20/2023	

SHEET TITLE:
PROPOSED 1ST FLOOR PLAN

SHEET NO.

A1.1

REVISION 0



1 PROPOSED BASEMENT FLOOR PLAN SCALE 1/4" = 1'-0" 1,525 SQ.FT.

SHEET NOTES

- REFER TO GENERAL NOTES SHEET "G1.1" FOR ADDITIONAL INFORMATION.
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- NOT USED.
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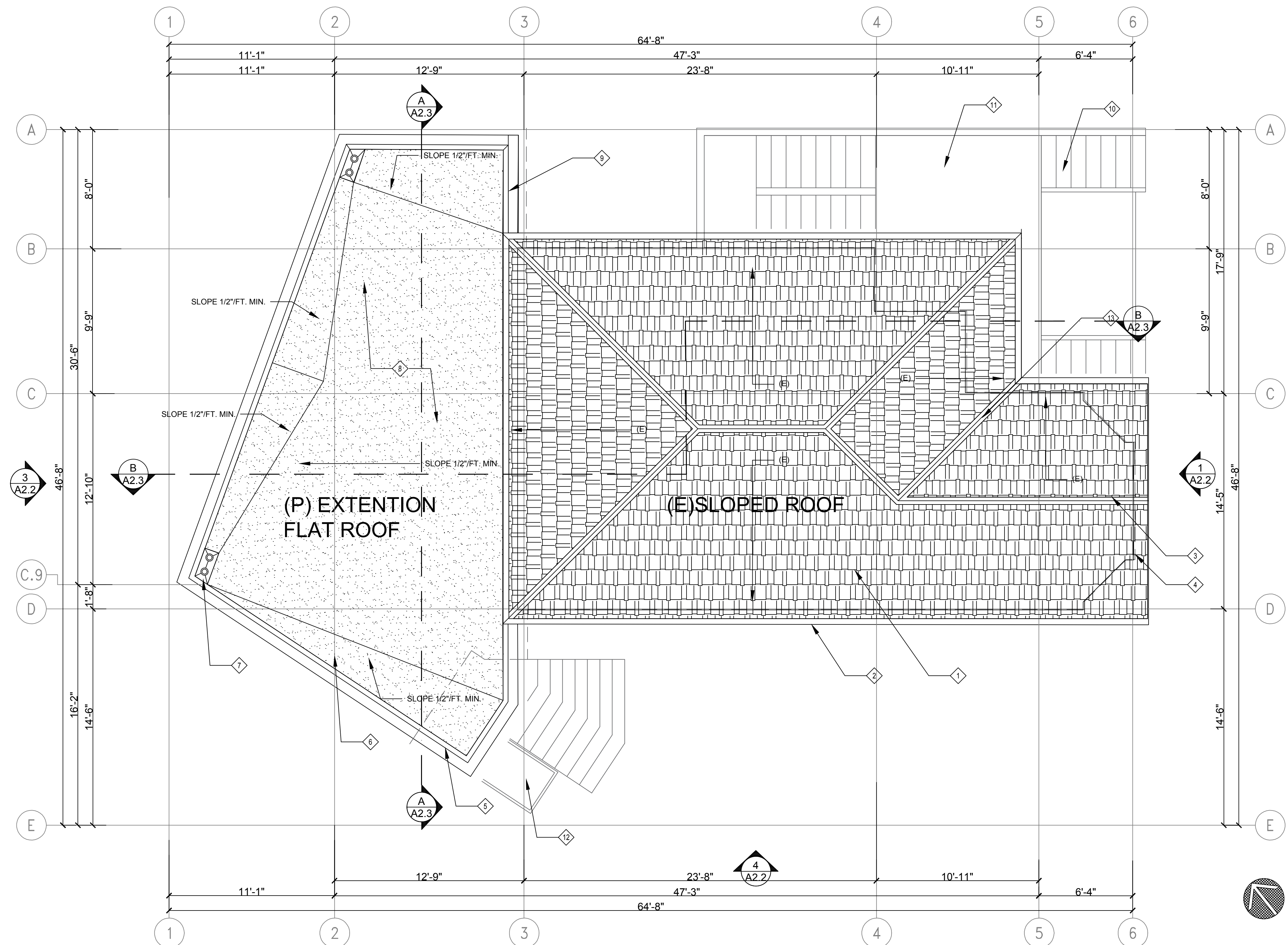
DATE: 04/20/2023

SHEET TITLE:
PROPOSED SECOND FLOOR PLAN

SHEET NO.
A1.2

REVISION 0

SCHEDULES



- NOTES:**
- ◆ REFER TO GENERAL NOTES SHEET "G1.1" FOR ADDITIONAL INFORMATION.
 - ◆ REFER TO ELECTRICAL PLANS FOR LOCATIONS OF ALL SWITCHES, LIGHTS, RECEPTACLES, SMOKE DETECTORS, ETC.
 - ◆ SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND SHALL BE EQUIPPED WITH 24-HOUR BATTERY BACKUP.
 - ◆ DUCT PIERCING WALL BETWEEN BUILDING EXTERIOR AND INTERIOR SHALL BE 2BGA, G.I. MATERIAL WITH SEALED AT EDGES, AND NO OPENINGS, SEC 302.4.
 - ◆ EVERY CHILDCARE ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE / RESCUE
 - ◆ NEW RATED EXTERIOR WALL - EXTERIOR FACE: STUCCO OVER TYVEK & METAL LATH, 1/2" SHEATHING, 2X6 WOOD STUDS @ 16" O.C., R-22 HIGH DENSITY INSULATION. INTERIOR FACE: 5/8" GYP. BOARD TAPE & TEXTURE LEVEL 5 FINISH.
 - ◆ EXISTING EXTERIOR WALL - EXTERIOR FACE: WOOD SIDING O/ BUILDING PAPER O/ SHEATHING, O/ 2X4 WOOD STUDS, R-22 HIGH DENSITY INSULATION. INTERIOR FACE: 5/8" GP. BD. TAPE & TEXTURE LEVEL 5 FINISH.
 - ◆ INTERIOR WALLS - 2X4 STUDS @ 16" O.C. WITH 5/8" GYP. BD. EACH SIDE, TAPE & TEXTURE LEVEL 5 FINISH. R-13 AT BATHROOM U.O.N. PROVIDE CEMENT BACKER BOARD AT TILE COVERED WALLS.
 - ◆ PLUMBING WALL - 2X6 STUDS @ 16" O.C. WITH 5/8" W.P. GYP. BD. ABOVE TILE ON WET SIDE AND 5/8" GYP. BD. ON DRY SIDE, TAPE & TEXTURE LEVEL 5 FINISH. PROVIDE CEMENT BACKER BD. AT TILE INSTALLATIONS. R-19 BATT SOUND INSULATION AT BATHROOM.

- FLOOR PLAN NOTES**
- ◆ EXISTING ROOFING TO REMAIN.
 - ◆ EXISTING GUTTERS TO REMAIN. EXTEND DOWNSPOUTS TO GRADE BELOW.
 - ◆ EXISTING RIDGE.
 - ◆ WALLS BELOW SHOWN DASHED.
 - ◆ NEW PARAPET WITH MTL CAP AND TRIM.
 - ◆ NEW CRICKET SLOPED TO DRAIN.
 - ◆ NEW 3" ROOF DRAIN AND 3" OVERFLOW ROOF DRAIN SET IN 1" DEPRESSION FOR DRAINAGE.
 - ◆ NEW 4-PLY BUILT-UP ROOFING SLOPED 1/2" MIN. PER FOOT TO DRAIN.
 - ◆ NEW PARAPET WITH GABLE ROOF FOR VISUAL DETAIL FROM STREET.
 - ◆ STAIRS BELOW.
 - ◆ DECK BELOW.
 - ◆ ACCESSIBLE LIFT BELOW.
 - ◆ EXISTING VALLEY.

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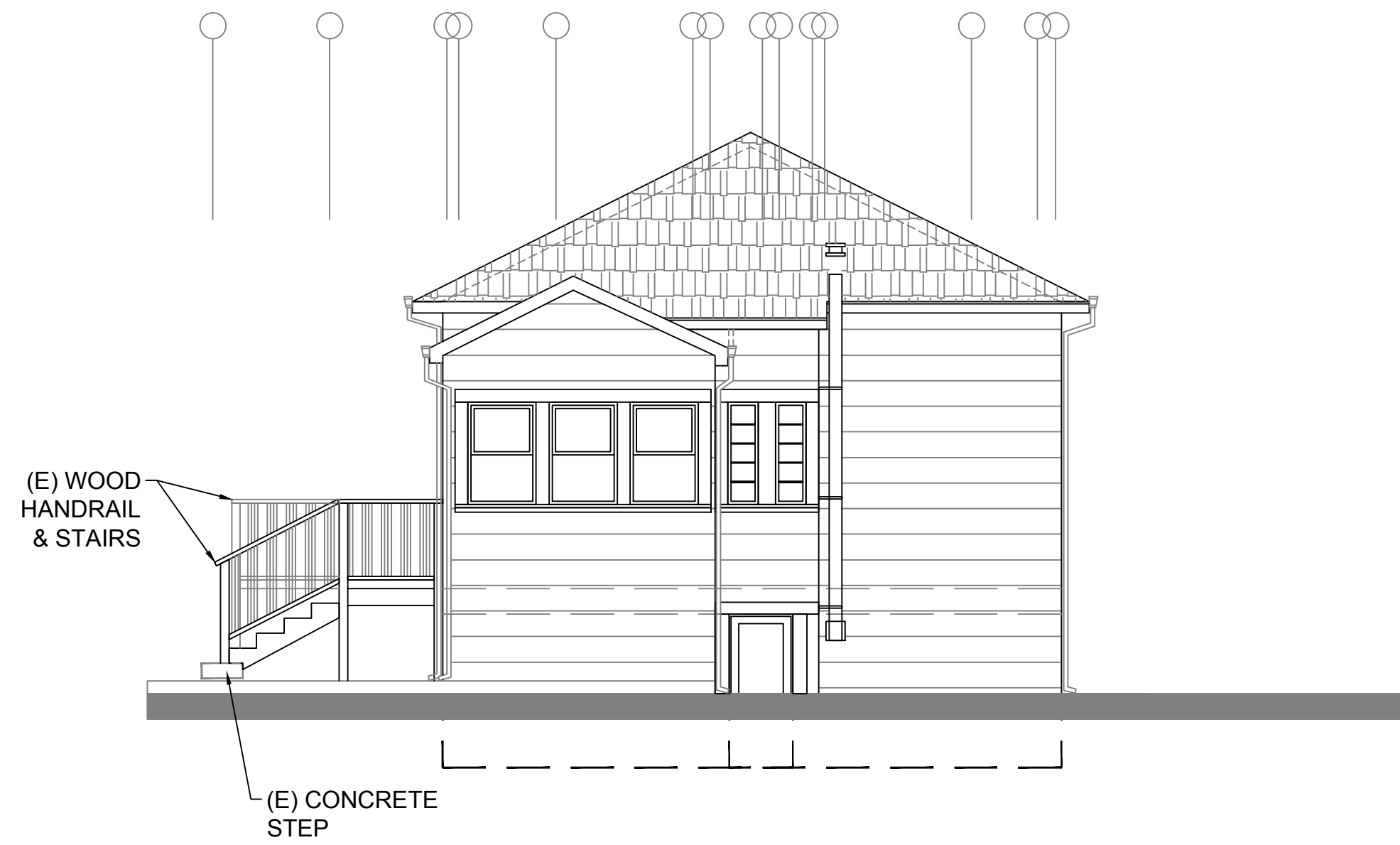
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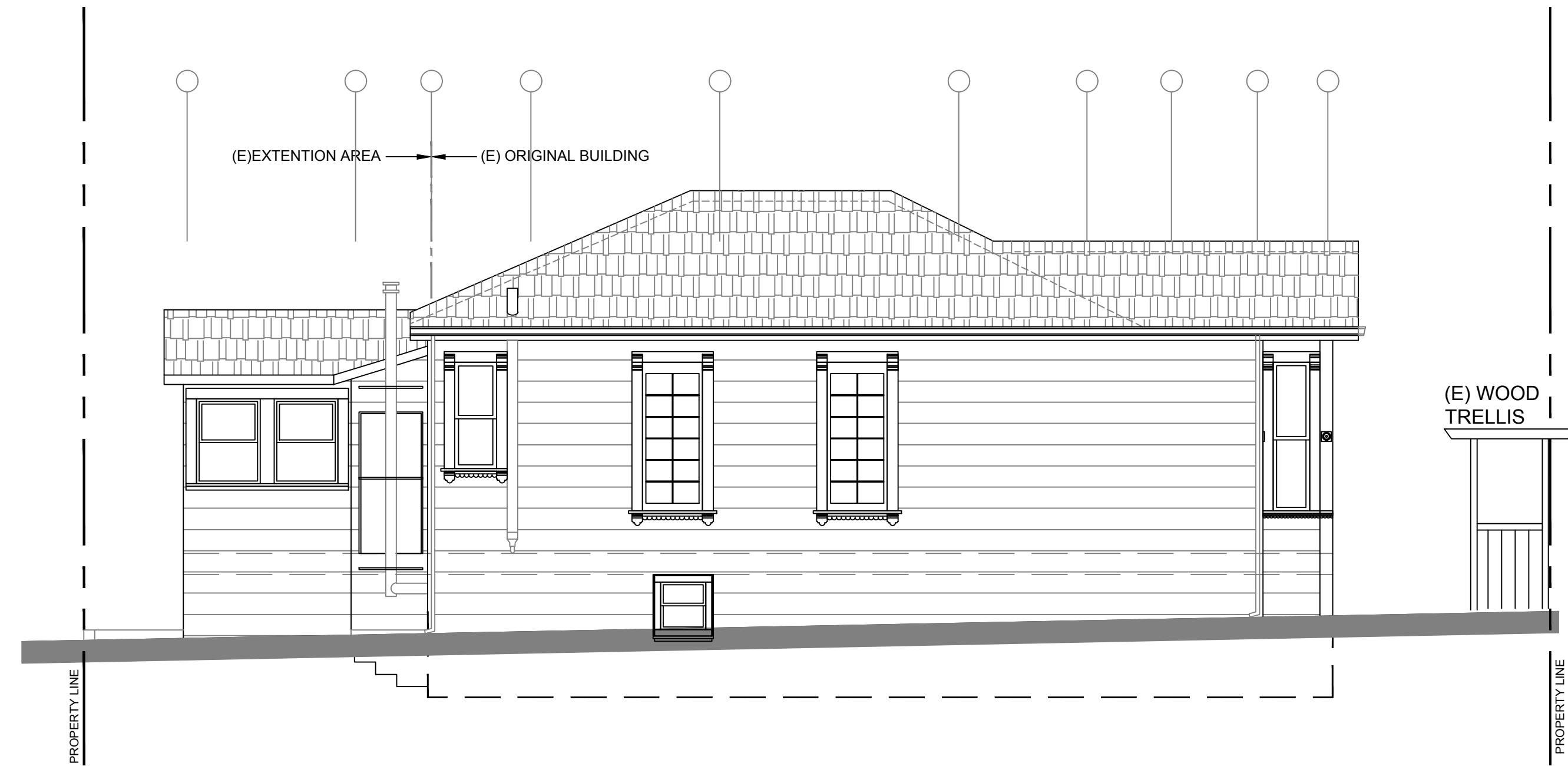
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1 PROPOSED ROOF PLAN SCALE 1/4" = 1'-0"

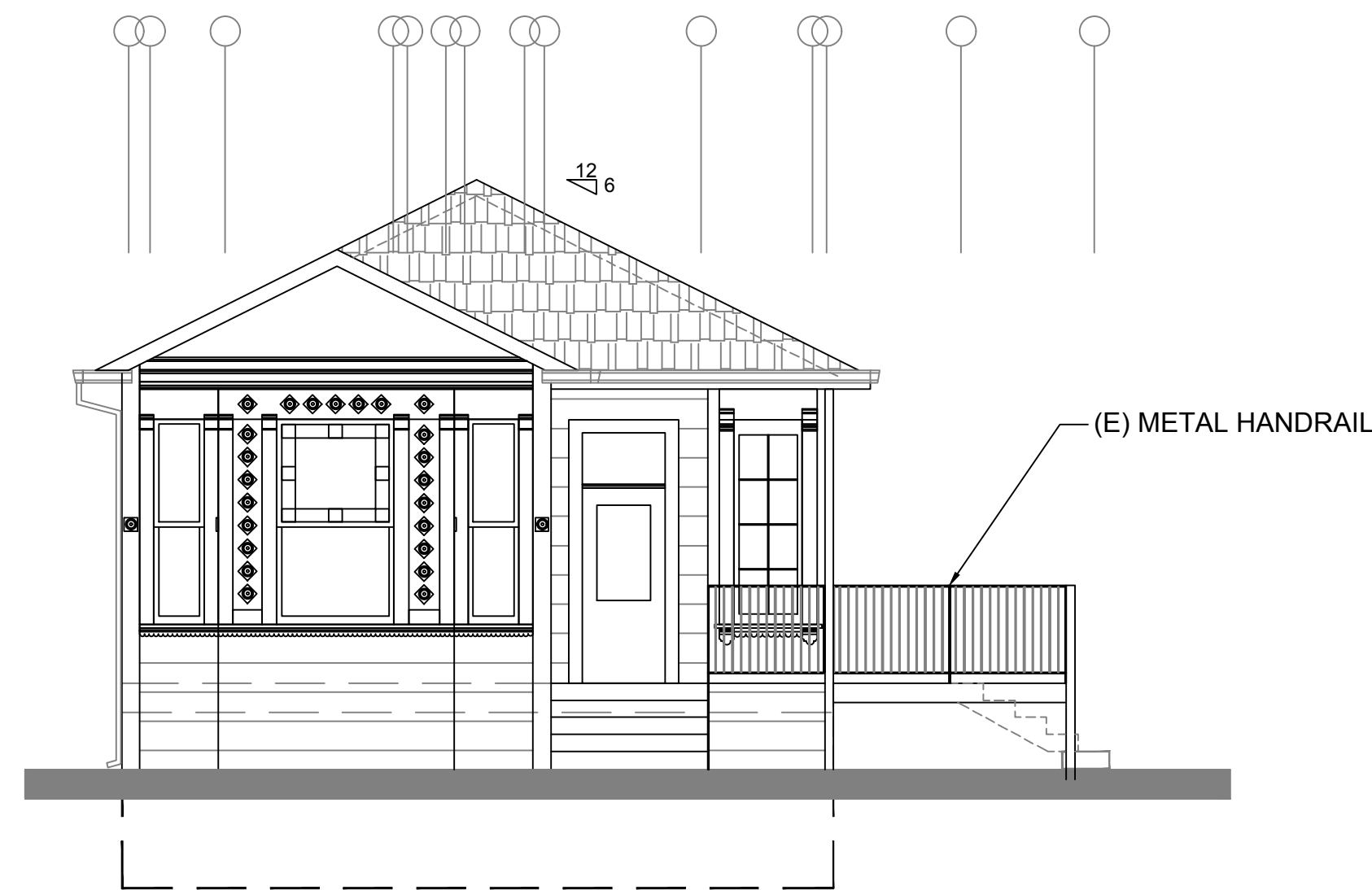
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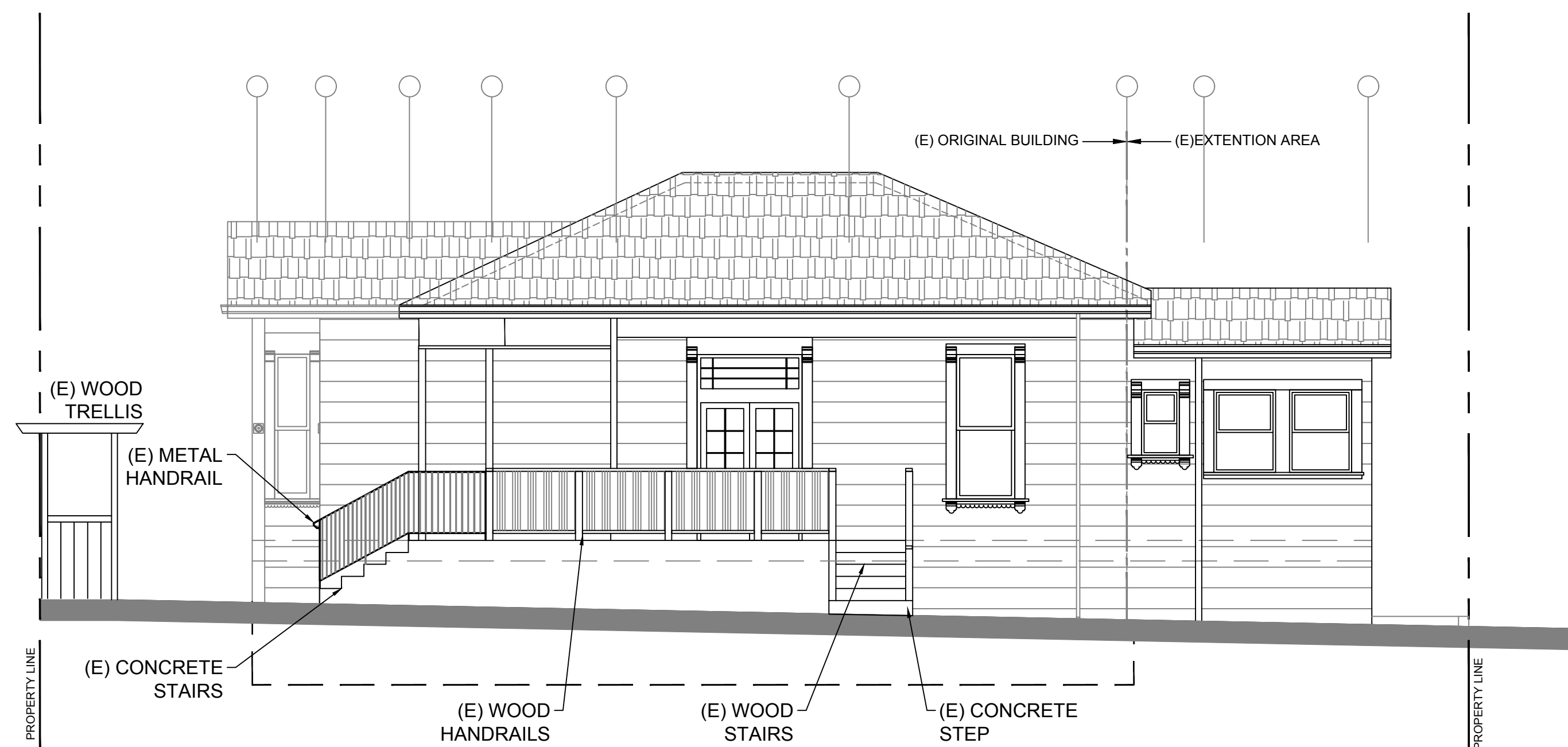
A-9 (E) WEST ELEVATION



A-8 (E) SOUTH ELEVATION

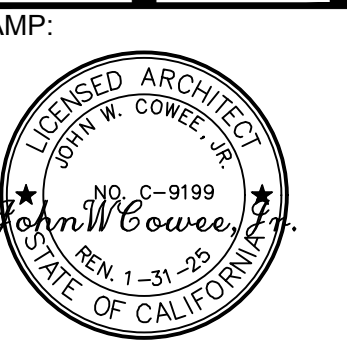


A-7 (E) EAST ELEVATION



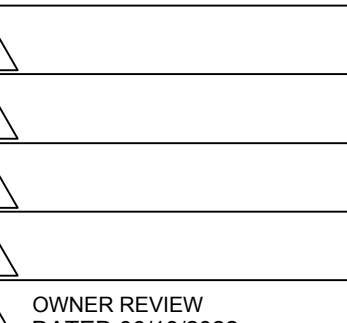
A-6 (E) NORTH ELEVATION

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 DATED 06/13/2022

REVISIONS	DATE

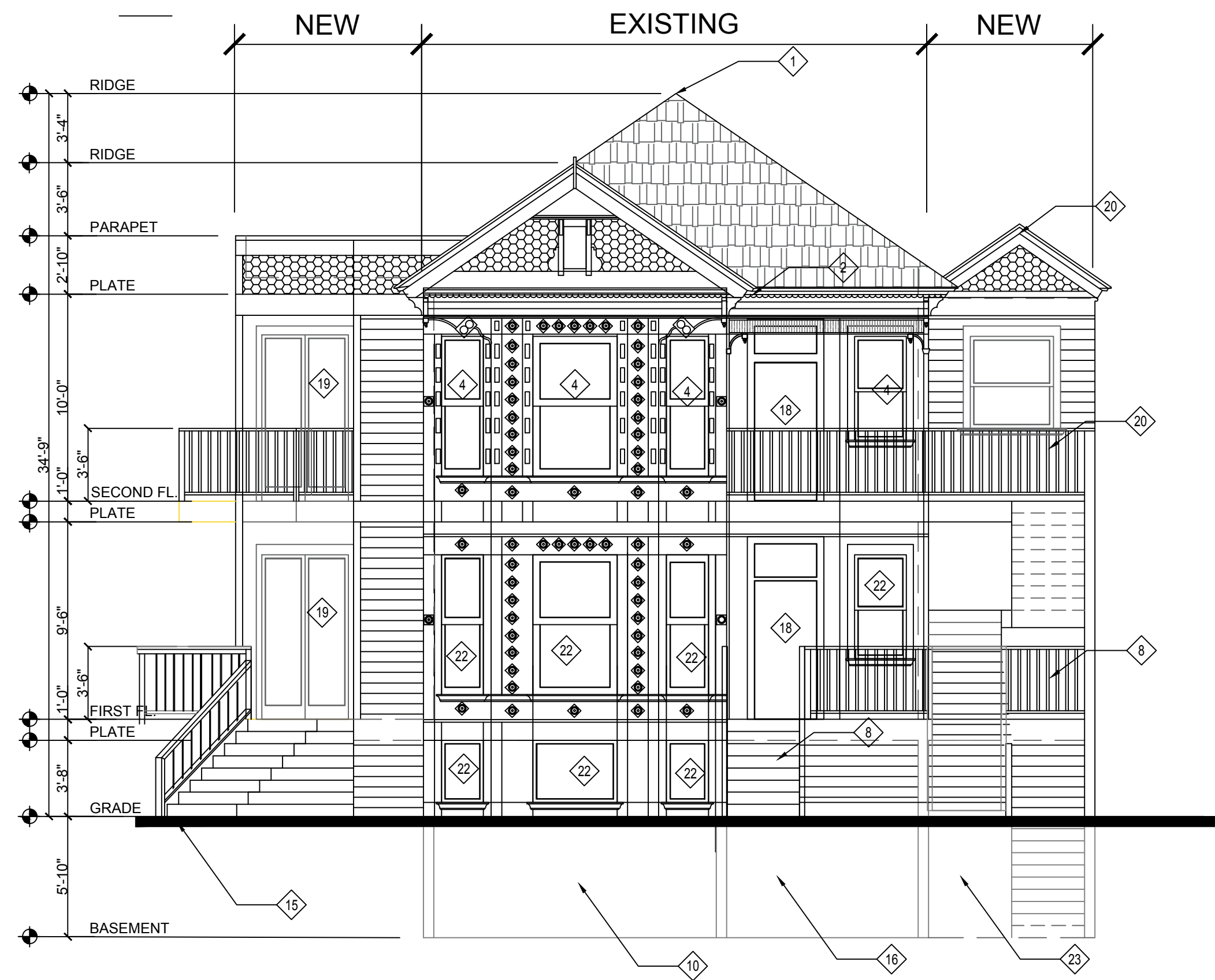
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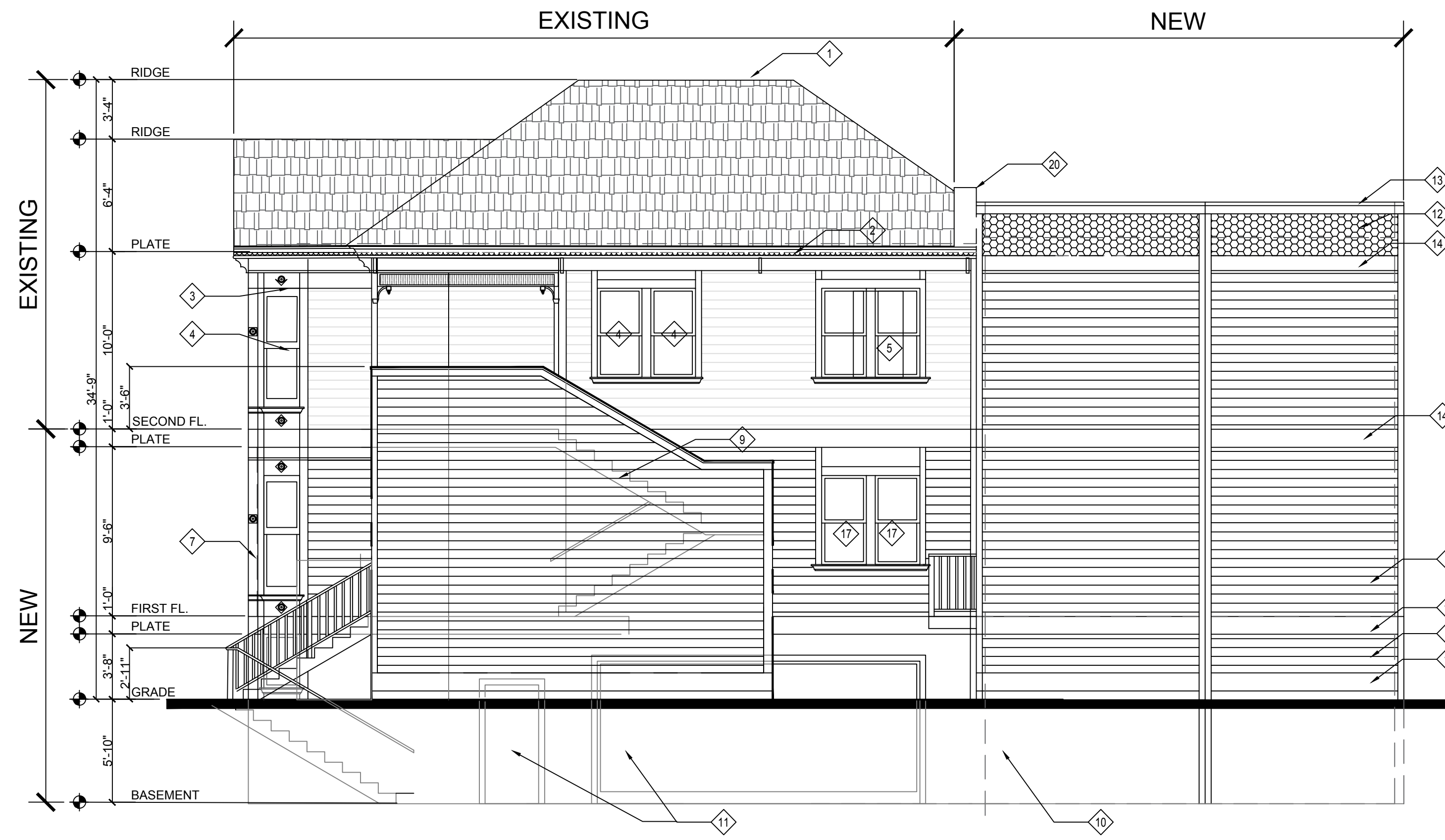
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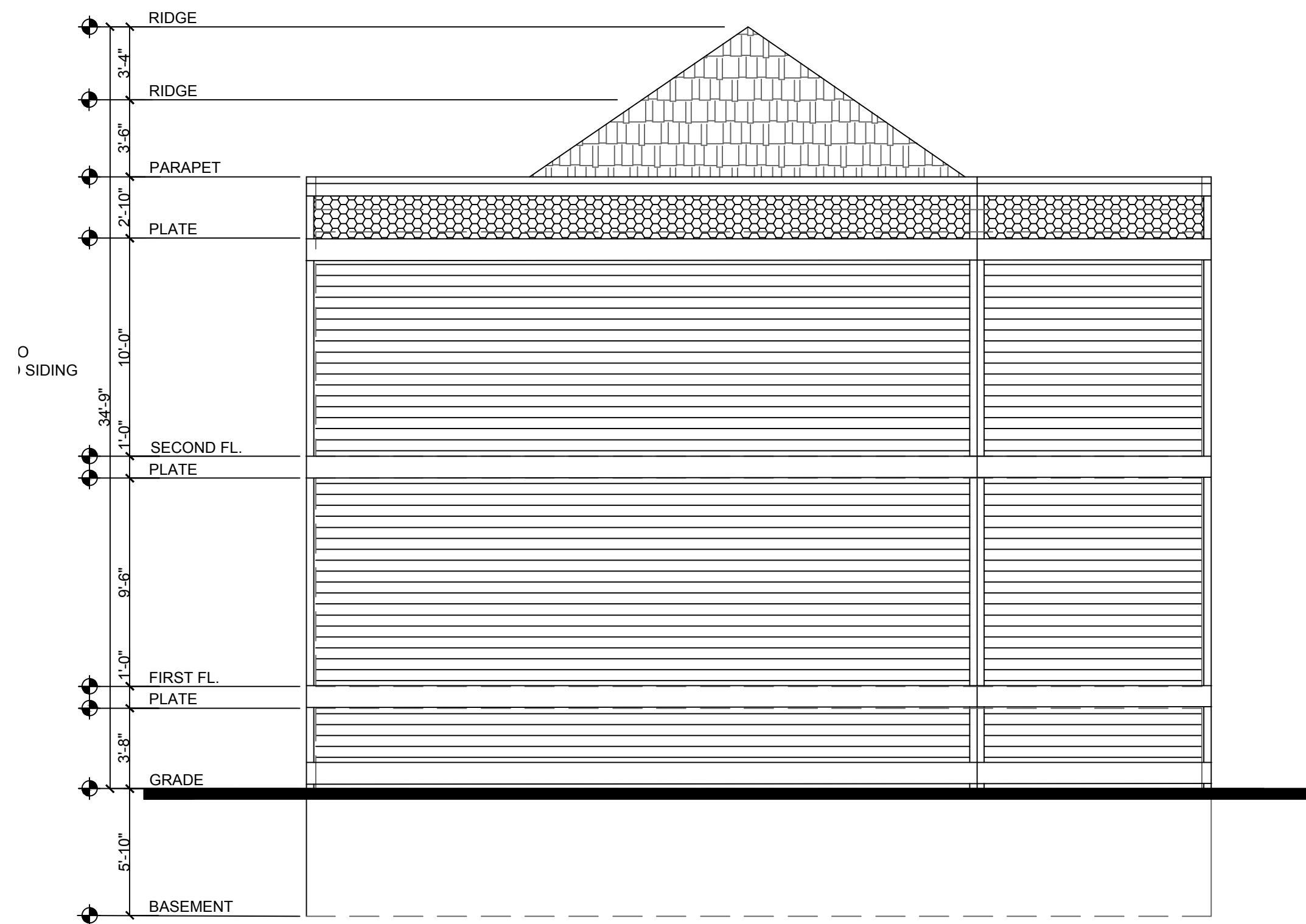
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1 EAST ELEVATION 3/16" = 1'-0"



2 NORTH ELEVATION 3/16" = 1'-0"



3 WEST ELEVATION 3/16" = 1'-0"



4 SOUTH ELEVATION 3/16" = 1'-0"

SHEET NOTES

- 1 EXISTING RIDGE AND ROOFING.
- 2 EXISTING EAVE AND GUTTER. EXTEND EXISTING DOWNSPOUTS TO GRADE.
- 3 EXISTING TRIM AND MOULDINGS (REPAIR OR REPLACE AS NECESSARY).
- 4 EXISTING WINDOWS ON TOP FLOOR TO BE REPLACED WITH NEW WINDOWS. SHAPE AND CONFIGURATION TO MATCH EXISTING.
- 5 ENLARGE EXISTING WINDOW OPENING TO MATCH THE NEW CONFIGURATION. PROVIDE WINDOWS AND TRIM TO MATCH EXISTING.
- 6 NEW HORIZONTAL SIDING AT NEW BASEMENT & FIRST FLOOR LEVELS TO MATCH EXISTING.
- 7 NEW MOULDING AND TRIM AT NEW BASEMENT AND FIRST FLOOR TO MATCH EXISTING.
- 8 NEW WOOD STAIR WITH WITH NEW WOOD RAILINGS.
- 9 NEW 1-HOUR RATED EXTERIOR STAIRWAY WALL WITH NEW WOOD SIDING AND AND TRIM TO MATCH EXISTING. (STAIR BEYOND SHOWN DASHED).
- 10 BASEMENT BELOW GRADE SHOWN DASEHD.
- 11 DOORS AND WINDOWS IN COURTYARD BELOW GRADE SHOWN DASHED.
- 12 NEW LAP SHINGLES MATCHING EXISTING GABLE END SHINGLES.
- 13 2X8 REDWOOD CAP WITH 2X4 REDWOOD TRIM.
- 14 2X12 BELLY BAND TRIM .
- 15 EXISTING GRADE.
- 16 CONCRETE RETAINING WALL AT BASEMENT AND IN FOREGROUND.
- 17 NEW DOUBLE HUNG WINDOWS.
- 18 NEW 3'-0" X 7'-0" ENTRY DOOR WITH TRANSOM.
- 19 NEW PAIR OF 3'-0" X 7'-0" GLAZED DOORS W/ TRANSOM.
- 20 NEW PARAPET GABLE WITH TRIM TO MATCH EXISTING.
- 21 NEW WINDOW OPENINGS, TRIMS, AND WINDOWS TO MATCH ADJACENT AT TOP FLOOR.
- 22 NEW WINDOW OPENINGS, TRIM, AND WINDOWS ON FIRST FLOOR AND BASEMENT TO MATCH EXISTING.
- 23 NEW ACCESSIBLE LIFT FROM BASEMENT TO FIRST FLOOR.

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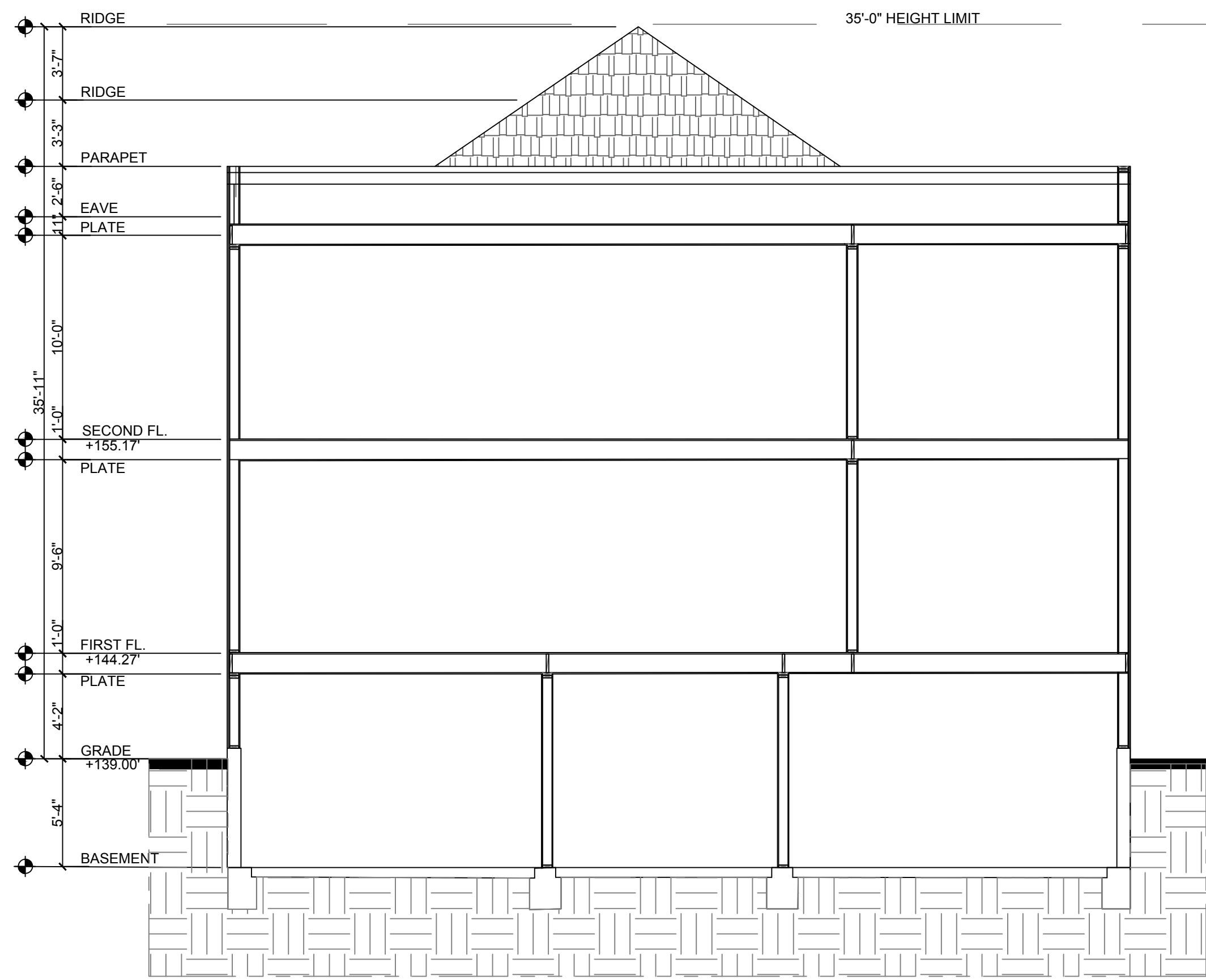
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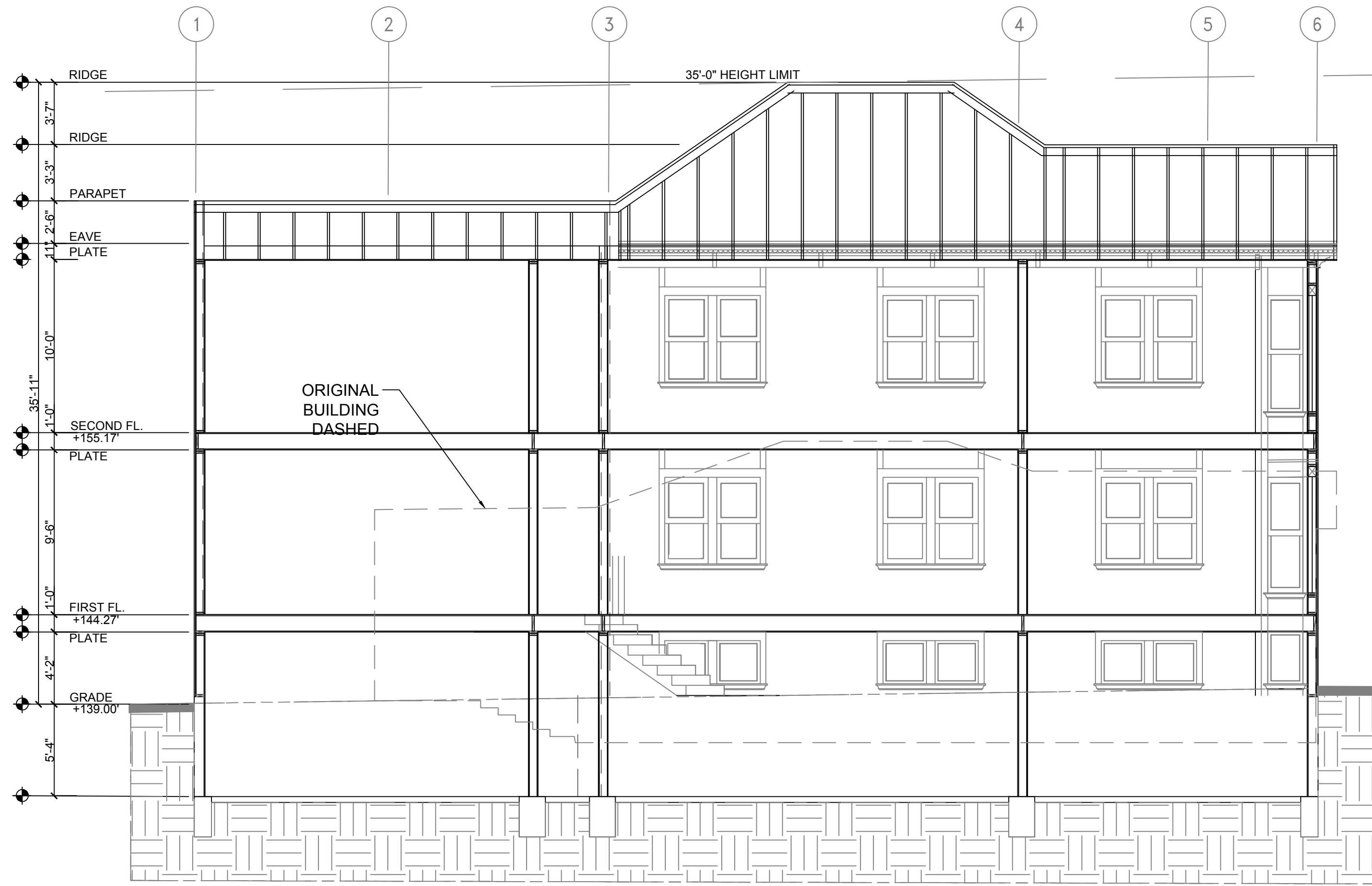
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PROPOSED ELEVATION PLANS

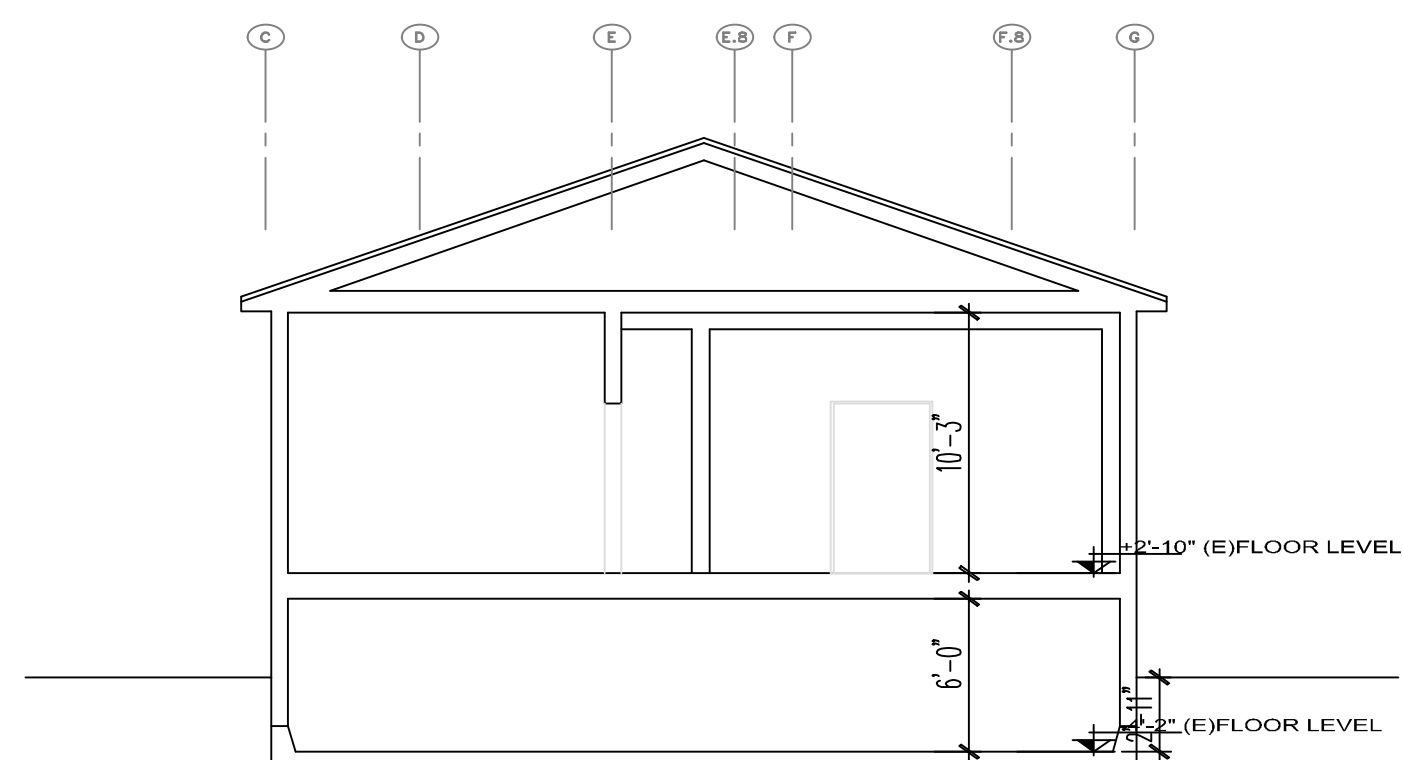
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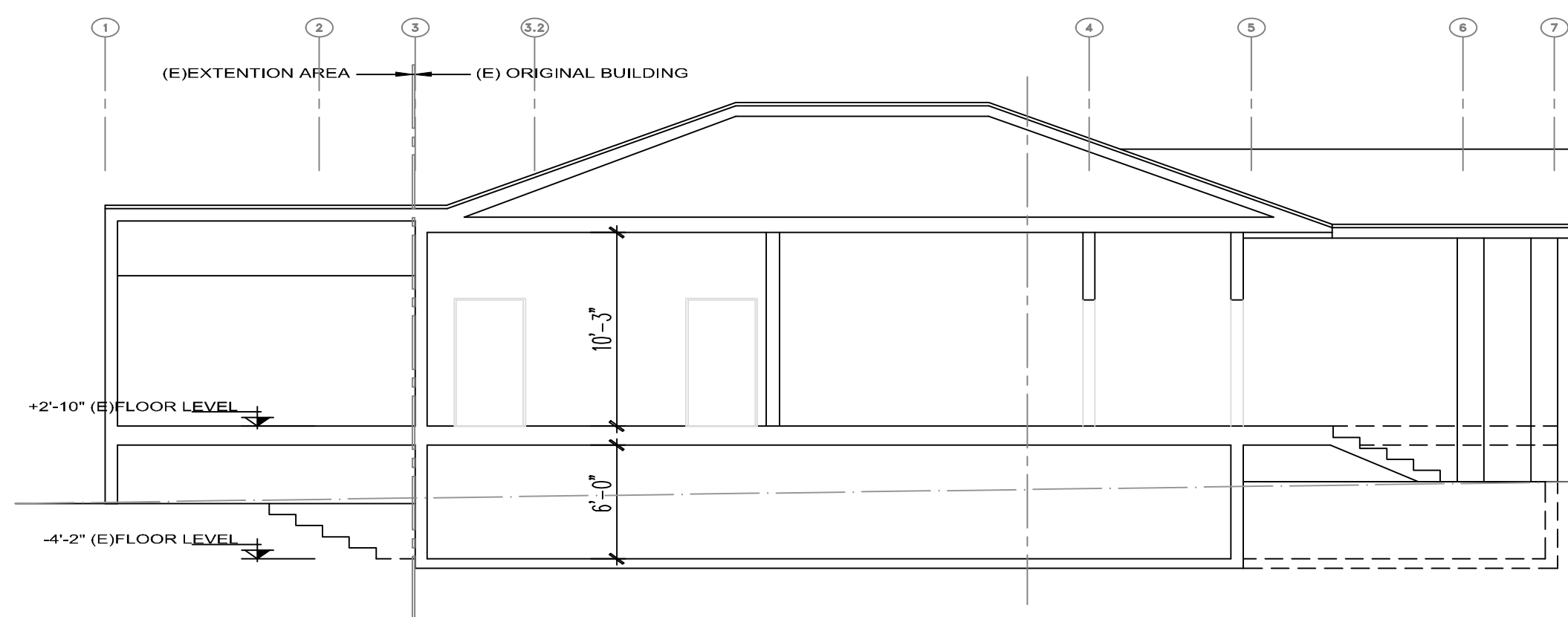
A PROPOSED TRANSVERSE SECTION



B PROPOSED LONGITUDINAL SECTION

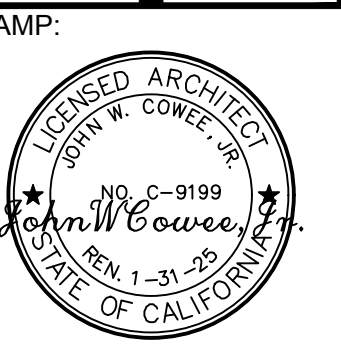


C EXISTING TRANSVERSE SECTION



D EXISTING LONGITUDINAL SECTION

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SHEET TITLE:
PROPOSED & EXISTING SECTION PLAN

SHEET NO.

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