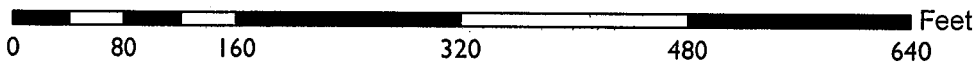
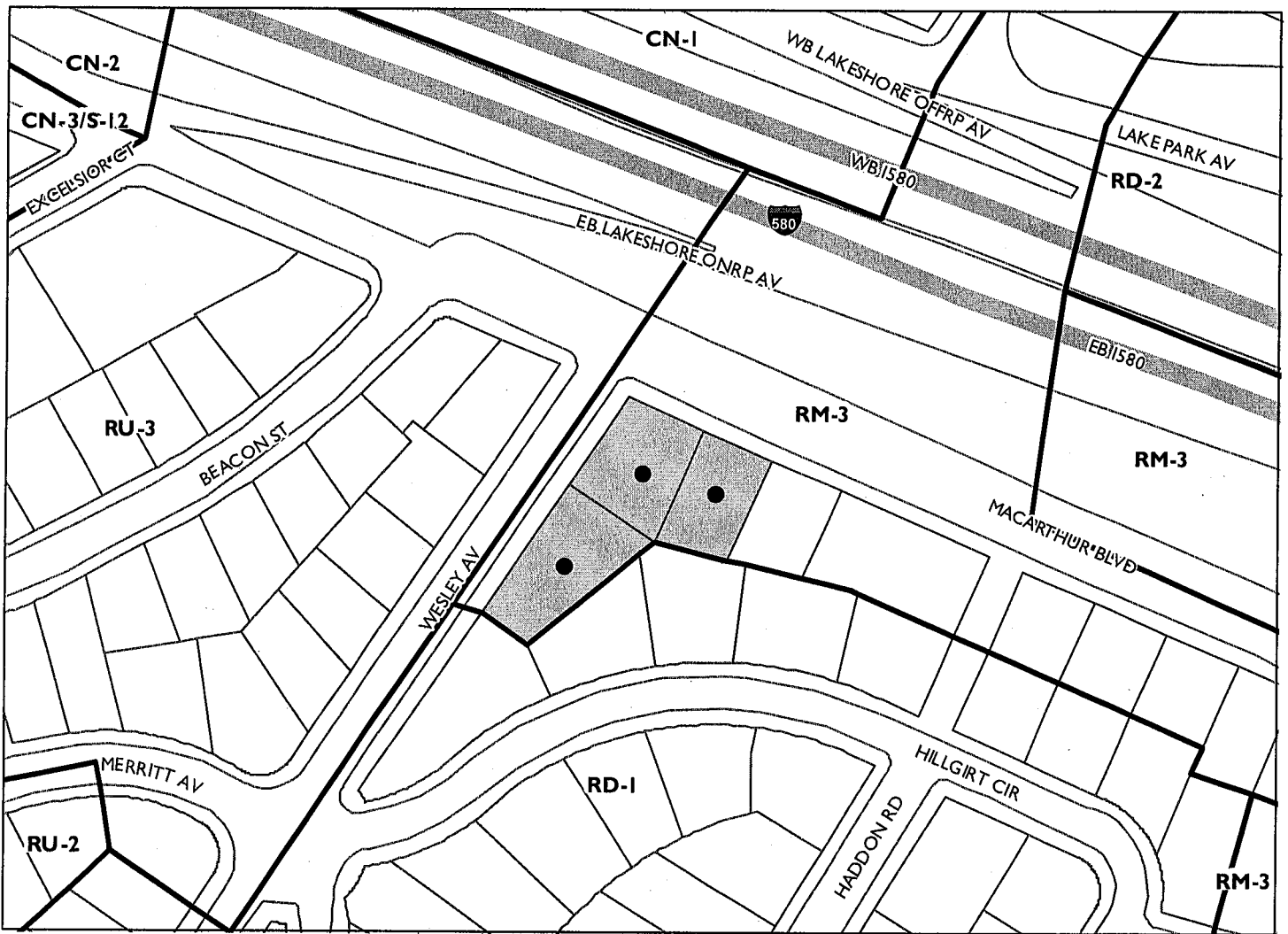


<b>Project Location:</b>	601 MacArthur Boulevard (the vacant parcel is located at the southeast corner of Wesley Avenue).
<b>Assessor's Parcel No:</b>	023 042700200, 023 042700100, 023 042700803
<b>Development Proposal:</b>	To rezone vacant property from residential RM-3 zone to residential RU-2 zone, construct a four-story 25-unit residential building with an underground parking garage, and subdivision for residential condominiums and merging lots into one.
<b>Project Applicant / Phone Number:</b>	James Branch / (415) 678-0427
<b>Property Owner:</b>	Yila Properties
<b>Case File Number:</b>	PLN17281
<b>Planning Permits Required:</b>	1) Rezoning of RM-3 Zone (Mixed Housing Type Residential) to RU-2 Zone (Urban Residential); 2) Regular Design Review for construction of a residential building; and 3) Tentative Parcel Map Subdivision for condominiums and merging lots.
<b>General Plan:</b>	Mixed Housing Type
<b>Zoning District:</b>	RM-3 Mixed Housing Type Residential (existing) RU-2 Urban Residential (proposed)
<b>Environmental Determination/ State CEQA Guidelines:</b>	The project proposal relies on the previously certified Final Environmental Impact Report (EIR) for the Land Use and Transportation Element (LUTE) of the 1998 General Plan. On a separate and independent basis, the proposal is also exempt from CEQA pursuant to CEQA Guidelines Sections: 15183-Projects Consistent with a Community Plan, General Plan or Zoning; 15332-In Fill Development; and 15303-New Construction
<b>Historic Status:</b>	Non-Historic Property
<b>City Council District:</b>	2
<b>Date Filed:</b>	07/25/17 ( <i>revised plans submitted on October 2, 2017</i> )
<b>Action to be Taken:</b>	Receive public comments and (1) Recommend to the City Council approval of the rezoning; (2) Recommend to the City Council approval of the project's planning-related permits; and (3) Recommend to the City Council adoption of staff's environmental determination. All of the Planning Commission's recommendations will automatically be considered by the City Council at a later scheduled date, for its independent review, consideration, and final action, and thus no appeal of these actions is necessary. However, all interested parties must exhaust their administrative remedies by raising any and all issues and/or evidence at this public hearing or in writing received by the Project Planner no later than 4:00 p.m. on December 20, 2017.
<b>For Further Information:</b>	Contact Project Case Planner, Mike Rivera at (510) 238-6417 or by email at <a href="mailto:mriviera@oaklandnet.com">mriviera@oaklandnet.com</a>

**SUMMARY**

The project applicant proposes to rezone a vacant residential parcel and construct a residential building, located at the corner of MacArthur Boulevard and Wesley Avenue. The rezoning would replace the existing RM-3 Mixed Housing Type Residential Zone to RU-2 Urban Residential Zone for the construction of a four-story building with 25 units and an underground parking garage. The proposal includes a subdivision map for new residential condominiums and to merge three vacant parcels into one parcel. A tree removal permit is also required to remove nine trees within the property including

# CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN17281

Applicant: James Branch

Address: 601 MacArthur Blvd (vacant parcel located at the SE corner of Wesley Ave)

Zone: RM-3 (existing); RU-2 (proposed)

two street trees along Wesley Avenue. The applicant and project development team have indicated to staff that they have conducted outreach to surrounding neighbors and engaged in community meetings to present the proposal and receive feedback. This application is presented to the Planning Commission for a recommendation to the City Council who will make a final determination on the proposal at a future public meeting.

### **PROJECT SITE AND SURROUNDINGS**

The project site is located on a 20, 478 square foot property that contains three vacant parcels that will be merged through a subdivision Parcel Map Permit under this application proposal. The property is level in the front, and gently slopes up towards the rear. The residential property has a chain-link fence along its boundary, except for a partial building encroachment within the project site by the neighboring property located at 620 Hillgirt Circle. The development site is bounded by two public streets, two-story and four-story single-family and multi-unit residential buildings. To the west and north of Wesley Avenue and MacArthur Boulevard, the property fronts I-580 freeway. The AC Transit 57 and 29 bus lines travel along MacArthur Boulevard and has a bus stop in front of this property. The east-bound/west-bound freeway ramps for I-580 are located within distance from the proposed project. The project is also near the Lakeshore Avenue neighborhood commercial district and Lake Merritt.

### **PROPERTY BACKGROUND**

In 1991 and 2002, two separate Planning development permits were approved by the Planning Commission. The 1991 development project was for the construction of a 34-unit residential facility. The 2002 development project was also for the construction of a 32-unit residential facility. Subsequently, the applicant for these two approved residential projects was not able to complete the projects and the building permits expired. Eventually, the vacant property was sold and is currently owned by the new project applicant who is seeking to construct a 25-unit residential facility.

### **PROJECT DESCRIPTION**

The applicant proposes to change the zoning designation of the property from RM-3 Residential Zone to RU-2 Residential Zone. The applicant's request to rezone the subject property to an RU-2 zone is for a higher density development. The existing RM-3 zone on this property allows up to 14 residential units with a Conditional Use Permit. The proposal to rezone the property to the RU-2 zone would allow outright for the construction of 25 residential units (11 additional units). The property is surrounded to the east by an RM-3 Zone, to the south and up the hillside by an RD-1 Zone and to the west by an RU-3 Zone (across Wesley Avenue). To the north and directly across MacArthur Boulevard, the property fronts I-580 freeway that is in the RM-3 Zone. To the west, the RU-3 zone with its mix of higher density facilities and the proposed RU-2 zone at this corner site it would create a transition zone with the lower density properties to the east along MacArthur Boulevard.

The proposal includes the construction of a four-story 25-unit residential condominium with a semi-underground parking garage. The building footprint would cover more than seventy-five percent of the parcel, except for new outdoor areas and landscaping around the building. The proposal will contain a mix of two-bedroom and three-bedroom units measuring from 950 square feet to approximately 1,800 square feet. The main entry to the residential building will be in the middle of Wesley Avenue. The parking garage with its recessed automatic swing door will be accessed from MacArthur Boulevard. The parking garage will provide a total of 33 parking spaces including 20 spaces on a rotating parking lift system. The garage will also contain a residential storage, trash/recyclable room, bicycle storage and

utility rooms. The proposed project includes a mix of new landscaping and hardscape (plans dated September 26, 2017) that range from 24-inch to 36-inch size box trees, 5-gallon shrubs, 1-gallon groundcovers, bio-retention raised planters, located within and around the property including nine street trees along MacArthur Boulevard and Wesley Avenue.

The development proposal includes a subdivision map to merge the existing three vacant parcels into one parcel and for new residential condominiums. Because the proposed building can't cross over the existing property lines of its main Parcels 5, 6 and 7 and includes air rights for ownership of the proposed condominiums, a Tentative Parcel Map Subdivision (TPM10691) permit is required as part of this application. The City Surveyor and City Engineer have reviewed and provides preliminary comments for the applicant to meet prior to the submittal of a Final Map and Building permits. The property will also be subject to a project condition for Covenants, Conditions and Restrictions (CC&Rs) when a final determination is made by the City.

### **GENERAL PLAN ANALYSIS**

The development site is located in the Mixed Housing Type Residential Use Classification of the Oakland General Plan Land Use and Transportation Element (LUTE). The intent of the Mixed Housing Residential Use is "to create, maintain and enhance residential areas typically located near the City's major arterials and characterized by a mix of single family homes, townhouses, small multi-unit buildings and neighborhood business where appropriate. The desired character and uses for future development should be primarily residential with live-work types of development and small commercial enterprises. The development of single family homes, townhouses and small multi-unit buildings is allowed in this classification. In general, the proposal will create and enhance the desired character of the Mixed Housing Type Residential Classification by developing a multi-unit residential facility on an underutilized vacant property. The project will be located along an arterial street, MacArthur Blvd., surrounded by a mix of residential buildings and close to neighborhoods businesses near Lake Shore Avenue, thus keeping with the intent of the General Plan. Listed below are the General Plan Policies applicable to the proposal:

*Policy N3.1 / Facilitating Housing Construction: Facilitating the construction of housing units should be considered a high priority for the City of Oakland.*

The proposal will facilitate the new construction of 25 residential units on a vacant site that has been underutilized close to 30 years. The project development will provide the much needed housing to meet population growth, especially in urban areas such as Haddon Hills in the San Antonio District area.

*Policy N3.2 / Encouraging Infill Development: In order to facilitate the construction of needed housing units, infill development that is consistent with the General Plan should take place throughout the City of Oakland.*

The project is located in a mix residential area, near public transit, regional transportation facility and neighborhood businesses. The development is for the construction of different size of residential units and for households with a range of income in an urbanized area that will be in character with the neighborhood.

*Policy N3.8 / Required High-Quality Design: High-quality design standards should be required of all new residential construction. Design requirements and permitting procedures should be developed and implemented in a manner that is sensitive to the added costs of those requirements and procedures.*

The project is designed to manage scale and mass that results with a cohesive urban design. The building contains high quality and interesting materials, finishes, details and landscaping to provide visual interest at this underutilized vacant site.

*Policy N3.9: Orienting Residential Development.* Residential development should be encouraged to face the street and to orient their units to desirable sunlight and view, while avoiding unreasonably blocking sunlight and views for neighboring buildings, respecting the privacy needs of residents of the development and surrounding properties, providing for sufficient conveniently located on-site open space, and avoiding undue noise exposure.

The project faces two different streets and the building is designed for the residential units to get the desirable sunlight. The proposal contains a multi-story building layout that provides reasonable distance to the abutting properties to maintain reasonable sunlight and privacy. The proposal includes open space for outdoor uses and includes landscaping to minimize potential noise issues to surrounding properties.

*Policy N3.10: Guiding the Development of Parking.* Off-street parking for residential buildings should be adequate in amount and conveniently located and laid out, but its visual prominence should be minimized.

The project provides off-street parking more than what is required and is conveniently located within the property. The proposal includes a semi-underground parking garage that minimizes its visibility from the surrounding properties and street. New landscaping around the garage will provide screening from view.

*Policy N6.1: Mixing Housing Types.* The City will generally be supportive of a mix of projects that provide a variety of housing types, unit sizes, and lot sizes which are available to households with a range of income.

The project will provide a mix of housing types that range from two-bedroom to three-bedroom units of different sizes and would be appropriate for households of different incomes and needs.

*Policy N6.2: Increased Home Ownership.* Housing developments that increase home ownership opportunities for households of all incomes are desirable.

The project will develop 25 residential condominiums that would allow first-time households the opportunity to own any of the mixed type of two or three bedroom units.

*Policy N7.1: Ensuring Compatible Development.* New residential development in Detached Unit and Mixed Housing Type areas should be compatible with the density, scale, design and existing or desired character of surrounding development.

The project will provide new residential dwellings in the Mixed Housing Type area where a mix of different unit size is encouraged. The building contains architectural elements to provide scale and design appeal as desired in an area where similar properties fall within the character of the urban neighborhood.

*Policy N7.8: Coordinating Covenants, Conditions and Restrictions.*

The project applicant will be subject and required to submit to the City a copy of the property CC&Rs that binds a common interest ownership for the project development that regulates uses, aesthetics and

maintenance of the property. The CC&Rs will be prepared, managed and enforced by the homeowner's association (HOAs) of the subject property.

**ZONING DESIGNATION**

The applicant requests to rezone the RM-3 zone property to a RU-2 zone for the construction of 25 residential units. The intent of the RU-2 zone is to create, maintain, and enhance areas of the City that are appropriate for multi-unit, low-rise residential structures and neighborhood businesses where appropriate in locations with good access to transportation and other services. The table below summarizes the existing and proposed zoning requirements including the development standards for the project:

<b>Development Standards</b>	<b>RM-3 (existing zone)</b>	<b>RU-2 (proposed zone)</b>	<b>Project Proposal</b>
Minimum Lot Area	4,000 sq. ft.	4,000 sq. ft.	20,478 sf
Minimum Lot Width Mean	25 ft.	25 ft.	65 ft.
Minimum Lot Frontage	25 ft.	25 ft.	127 ft.
Maximum Residential Density	1 unit per 2,500 sf of lot area with a CUP *	1 unit per 800 sf of lot area	25 units
Minimum Front Setback	15 ft.	10 ft.	10 ft.
Minimum Interior Setback	4 ft.	4 ft.	5 ft.
Minimum Street Side Setback	4 ft.	4 ft.	4 ft.
Minimum Rear Setback	15 ft.	15 ft.	15 ft.
Maximum Lot Coverage	50%	N/A	N/A
Minimum Building Height	30 ft.	50 ft.	50 ft.
Minimum Parking Spaces per Unit	1 space	1 space	33 spaces
Minimum Bicycle Parking-buildings with over three residential units			
Long Term:	N/A	6 spaces	10 spaces
Short Term:	N/A	1 space	2 spaces

\* Conditional Use Permit (CUP)

**KEY ISSUES**

**Rezoning**

The proposal to rezone the property from RM-3 zone to the RU-2 zone keeps with the intent of Urban Residential zone by creating and enhancing areas for multi-units in low-rise or mid-rise residential buildings in areas with high densities and in desirable settings with good access to transportation and other services. Given that the size of the 20,478 square foot corner parcel where one residential unit per 800 square feet of lot area is allowed, the proposal would be consistent with the context of the area along and near MacArthur Boulevard. As a transitional area from the higher density of the RU-3 zone to the west, the MacArthur Boulevard as a designated Key Corridor, the mix pattern of medium and few higher density properties interspersed to the east and the concentration of nearby neighborhood commercial areas, the proposal reflects the intent of the RU-2 zone. The project would be in character with the intensification of the area and would reuse an underutilized property that has been vacant close to 30 years. The proposal will be served by MacArthur Boulevard and I-580 as a link and major thoroughfare

for travel between different areas of the City. Also, the concentration of commercial uses in the immediate surroundings are desirable settings to the success for a higher density residential development.

**Building Design**

The development proposal contains architectural elements to manage building mass by applying a variety of roof and wall planes, floor-to-ceiling bay windows, inward angled upper walls, recessed balconies with tempered glass railings, mix of window pattern, and materials such as cast concrete with wood form boards, stained cedar siding, painted cement plaster, aluminum panels, horizontal metal fencing, vibrant colors and a mix of interesting landscaping along the streets and within the courtyards of the property. Overall, the proposed contemporary building design provides architectural features that create a rhythm pattern and an attractive design to relate to the context of similar urban multi-story residential buildings. The development proposal contributes to the best qualities for an urban setting, and meets the vision of the City's General Plan for growth and change in residential areas and near the City's major arterials.

**CONCLUSION**

Staff believes that the project proposal meets the primary goal of providing new residential housing and an attractive design on an underutilized site that has been vacant for a long time. The current proposal conforms to the City's General Plan Policies and the RU-2 zoning standards by creating and concentrating residential development in higher densities and within transit corridors which is a critical success in an urban setting. Staff determines that the proposed development application meet the required findings (**See Attachment A**), and recommends approval and forward the project to the City Council for final determination, subject to the Conditions of Approval. (**See Attachment B**)

**RECOMMENDATION FOR PLANNING COMMISSION:**

Staff recommends that the Planning Commission:

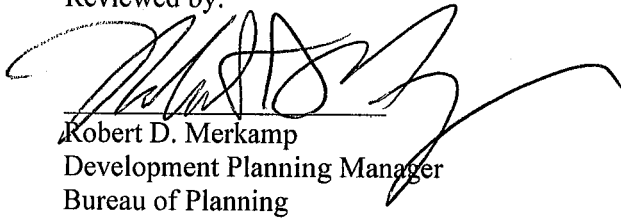
1. Recommend to the City Council adoption of staff's environmental determination;
2. Recommend to the City Council approval of the project's Planning permits for Regular Design Review and Tentative Parcel Map Subdivision, subject to the conditions and findings contained in this staff report; and
3. Recommend to the City Council approval of the rezoning from RM-3 to RU-2, subject to the requirements and findings contained in this staff report.

Prepared by:



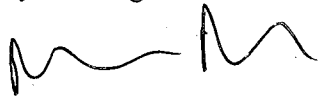
Mike Rivera  
Planner II, Major Projects Development  
Bureau of Planning

Reviewed by:



Robert D. Merkamp  
Development Planning Manager  
Bureau of Planning

Approved for forwarding to the  
City Planning Commission:



Darin Ranelletti, Deputy Director  
Bureau of Planning

**ATTACHMENTS**

- A. Project Findings
- B. Conditions of Approval
- C. Revised Design Plans, submitted on October 2, 2017
- D. City Surveyor and City Engineer Memorandums, dated November 9<sup>th</sup> and October 19<sup>th</sup> 2017



## **ATTACHMENT A**

### **SECTION 17.136.050 (A) DESIGN REVIEW FINDINGS**

- 1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures.**

The proposal relates to the site configuration by following the topography, and with its footprint stepping up to the rear hillside. The multi-level building manages mass through the use of different roof and wall planes, bay windows, recessed balconies, window patterns and stepped front planters. The design incorporates quality materials to emphasize the contemporary style of the building by using cast concrete with wood form boards, stained cedar siding, painted cement plaster, aluminum panels, horizontal metal fencing and vibrant colors.

- 2. That the proposed design will protect, preserve, or enhance desirable neighborhood characteristics.**

The proposal will enhance the neighborhood setting by creating a well-designed multi-story residential facility along MacArthur Boulevard. The project contains interesting architectural elements and will contribute to the enhancement of the urban setting context. The building is designed to break up mass by applying different roof and wall planes to reduce visual scale.

- 3. That the proposed design will be sensitive to the topography and landscape.**

The development will require some grading towards the rear of the property to accommodate the building. The proposal includes a Tree Permit to remove trees within the property and in the public right-of-way. As part of the development, the proposal contains a mix of new landscaping such as street trees, raised bio-retention planter boxes in front of building including a mix of trees, shrubs, groundcover and hardscape in the courtyards and around the property.

- 4. That, if situated on a hill, the design and massing of the proposed building relates to the grade of the hill.**

The development proposal is designed to gently slope towards the rear of the property. The project is designed to break up building mass through the use of roof and wall articulation and design features.

- 5. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which has been adopted by the Planning Commission or City Council.**

The development conforms in all respects to the Oakland General Plan and is consistent with the City's policy framework for providing infill project for residential development in an underutilized vacant site. The project proposal will facilitate with new additional housing in economically viable neighborhoods. The development meets the Design Review guidelines per the above design findings.

**SECTION 15332- STATE CEQA GUIDELINES FOR IN-FILL DEVELOPMENT PROJECTS**

- a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.**

The proposal is compatible with the general plan and consistent with the applicable general plan policies because the project fits with the desired character and uses for multi-unit buildings in an urbanized area. The proposal relates to the classification of Mixed Housing Type Residential as it would meet the intent for creating new units and enhancing an undeveloped site that is close to corridors and neighborhood commercial areas. The project would also meet with the development standards and designation of the proposed RU-2 zone regulations.

- b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.**

The development proposal takes place within the City limits and the entire site measures approximately 20,478 square feet in area. The project is located near multi-family housing of various densities to the east and west and is within proximity to neighborhood commercial urban uses.

- c) The project site has no value as habitat for endangered, rare or threatened species.**

The development is on a site that has been previously developed for residential uses and is also located in an urban area with similar density properties. The proposal is also located in a traditional lower density neighborhood and is across the street from the I-580 freeway. The proposal does not pose a value for habitat to endangered, rare or threatened species.

- d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.**

The development proposal for 25 residential units would not significantly affect traffic because the project does not exceed the threshold for the development of a transportation analysis. Given that the project meets more than the required off-street parking regulations and is located near public transportation (AC transit), staff does not anticipate traffic issues. The proposal will also be subject to the implementation of the standard conditions of approval that are related to construction management, air and water quality including noise reduction measures.

- e) The site can be adequately served by all required utilities and public services.**

The development proposal is located in an urbanized area that contain a mix of multi-family facilities and relies on the grid system of the City and utility entities. The redevelopment of the vacant residential zoned property can be served by existing and/or new improved utility and public services as deemed necessary by the City and/or any appropriate agencies.

**SECTION 16.08.030 – TENTATIVE MAP FINDINGS** (Pursuant to California Government Code Section 66474, Chapter 4 of the Subdivision Map Act).

1. **That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.**

The subdivision proposal is consistent with the General Plan as the project will provide the density that conforms with the proposed zoning district. The project will create 25 residential dwelling units that is compatible with the densities in the surrounding mixed-housing and urban type residential.

2. **That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.**

The subdivision proposal for 25 new residential condominiums meets the required findings for design review, and is consistent with the Policies of the General Plan for constructing new housing and providing ownership opportunities to first-time home buyers.

3. **That the site is not physically suitable for the type of development.**

The project site is physically suitable for a condominium development because it will meet the subdivision regulations, and will be subject to all of the requirements from the City Surveyor, Building, Fire and Public Work Divisions including any other applicable city divisions.

4. **That the site is not physically suitable for the proposed density of development.**

The proposal will be subject and meet all applicable development regulations. The requested number of residential units meets the maximum density allowed by the new RU-2 Zoning District.

5. **That the design of the subdivision or the proposed improvements is likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.**

The proposal is located in an urbanized area where similar residential facilities exist. The residential condominium development would not cause any significant environmental damages to fish or wildlife habitat because the site has already been developed and there are no signs of habitat.

6. **That the design of the subdivision or type of improvements is likely to cause serious public health problems.**

The subdivision proposal for residential condominium on this vacant parcel is not likely to cause serious public health problems because based on information provided by the applicant, the site is not known to have any contaminated soils or other toxic substances that would pose a threat to public health.

7. **That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. In this connection, the governing body may approve a map if it finds that alternate easements, for access or for use, will be provided, and that these will be substantially equivalent to ones previously acquired by the public. This subsection shall apply only to**

easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision.

The subdivision proposal for new residential condominiums will not conflict with public easement because any alterations to existing utility easements will require review and determination by the City Engineer and other governmental entity and upon prior final map approval and recordation.

8. **Lot design shall be consistent with the provisions of Section 16.04.010, Purpose, and the following provisions:**
- A. No lot shall be created without frontage on a public street.**
  - B. The side lines of lots shall run at right angles or radially to the street upon which the lot fronts, except where impractical by reason of unusual topography.**
  - C. All applicable requirements of the zoning regulations shall be met.**
  - D. Lots shall be equal or larger in measure than the prevalent size of existing lots in the surrounding.**
  - E. Lots shall be designed in a manner to preserve and enhance natural out-croppings of rock, specimen trees or group of trees, creeks or other amenities.**

The development proposal for a Tentative Parcel Map will merge three parcels and will result with a new single parcel subdivision for 25 residential units as a condominium project. Therefore, this application does not require any changes to the lot configuration and will have street frontage.

#### **SECTION 16.24.040- LOT DESIGN STANDARDS**

- A. No lot shall be created without frontage on a public street, as defined by Section 16.04.030, except:**
- 1. Lots created in conjunction with approved private easements.**
  - 2. A single lot with frontage on a public street by means of a vehicular access corridor provided that in all cases the corridor shall have a minimum width of twenty (20) feet and shall not exceed three hundred (300) feet in length. Provided further, the corridor shall be a portion of the lot it serves, except that its area (square footage) shall not be included in computing the minimum lot area requirements of the zoning district.**

This finding is not applicable as the proposal will not create new lots but rather 25 residential condominium units.

- B. The side lines of lots shall run at right angles or radially to the street upon which the lot fronts, except where impractical by reason of unusual topography.**

This finding is not applicable as the proposal will not create new lots, but rather residential condominium units.

- C. All applicable requirements of the zoning regulations shall be met.**

The subdivision proposal for residential condominium development will meet the zoning regulations of the RU-2 Zone as discussed earlier in this staff report.

- D. Lots shall be equal or larger in measure than the prevalent size of existing lots in the surrounding area except:**
- 1. Where the area is still considered acreage.**
  - 2. Where a deliberate change in the character of the area has been initiated by the adoption of a specific plan, a change in zone, a development control map, or a planned unit development.**

This finding is not applicable as the proposal will not create new lots, but rather new residential condominium units.

- E. Lots shall be designed in a manner to preserve and enhance natural out-croppings of rock, specimen trees or group of trees, creeks or other amenities.**

This finding is not applicable as the proposal will not create new lots, but rather residential condominium units on a vacant parcel.

## ATTACHMENT B

### CONDITIONS OF APPROVAL

1. **Approved Use**

The project shall be constructed and operated in accordance with the authorized use as described in the approved application materials, and the revised and approved plans received on October 2, 2017, as amended by the following conditions of approval and mitigation measures, if applicable (“Conditions of Approval” or “Conditions”).

2. **Effective Date, Expiration, Extensions and Extinguishment**

This Approval shall become effective immediately, unless the Approval is appealable, in which case the Approval shall become effective in ten calendar days unless an appeal is filed. Unless a different termination date is prescribed, this Approval shall expire within two (2) years from the Approval date, or from the date of the final decision in the event of an appeal, unless within such period all necessary permits for construction or alteration have been issued, or the authorized activities have commenced in the case of a permit not involving construction or alteration. Upon written request and payment of appropriate fees submitted no later than the expiration date of this Approval, the Director of City Planning or designee may grant a one-year extension of this date, with additional extensions subject to approval by the approving body. Expiration of any necessary building permit or other construction-related permit for this project may invalidate this Approval if said Approval has also expired. If litigation is filed challenging this Approval, or its implementation, then the time period stated above for obtaining necessary permits for construction or alteration and/or commencement of authorized activities is automatically extended for the duration of the litigation.

3. **Compliance with Other Requirements**

The project applicant shall comply with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to those imposed by the City’s Bureau of Building, Fire Marshal, and Public Works Department. Compliance with other applicable requirements may require changes to the approved use and/or plans. These changes shall be processed in accordance with the procedures contained in Condition #4.

4. **Minor and Major Changes**

- a. Minor changes to the approved project, plans, Conditions, facilities, or use may be approved administratively by the Director of City Planning.
- b. Major changes to the approved project, plans, Conditions, facilities, or use shall be reviewed by the Director of City Planning to determine whether such changes require submittal and approval of a revision to the Approval by the original approving body or a new independent permit/approval. Major revisions shall be reviewed in accordance with the procedures required for the original permit/approval. A new independent permit/approval shall be reviewed in accordance with the procedures required for the new permit/approval.

5. **Compliance with Conditions of Approval**

- a. The project applicant and property owner, including successors, (collectively referred to hereafter as the “project applicant” or “applicant”) shall be responsible for compliance with all the

Conditions of Approval and any recommendations contained in any submitted and approved technical report at his/her sole cost and expense, subject to review and approval by the City of Oakland.

- b. The City of Oakland reserves the right at any time during construction to require certification by a licensed professional at the project applicant's expense that the as-built project conforms to all applicable requirements, including but not limited to, approved maximum heights and minimum setbacks. Failure to construct the project in accordance with the Approval may result in remedial reconstruction, permit revocation, permit modification, stop work, permit suspension, or other corrective action.
- c. Violation of any term, Condition, or project description relating to the Approval is unlawful, prohibited, and a violation of the Oakland Municipal Code. The City of Oakland reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the Approval or alter these Conditions if it is found that there is violation of any of the Conditions or the provisions of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions. The project applicant shall be responsible for paying fees in accordance with the City's Master Fee Schedule for inspections conducted by the City or a City-designated third-party to investigate alleged violations of the Approval or Conditions.

**6. Signed Copy of the Approval/Conditions**

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times.

**7. Blight/Nuisances**

The project site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within 60 days of approval, unless an earlier date is specified elsewhere.

**8. Indemnification**

- a. To the maximum extent permitted by law, the project applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the Oakland City Council, the Oakland Redevelopment Successor Agency, the Oakland City Planning Commission, and their respective agents, officers, employees, and volunteers (hereafter collectively called "City") from any liability, damages, claim, judgment, loss (direct or indirect), action, causes of action, or proceeding (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "Action") against the City to attack, set aside, void or annul this Approval or implementation of this Approval. The City may elect, in its sole discretion, to participate in the defense of said Action and the project applicant shall reimburse the City for its reasonable legal costs and attorneys' fees.
- b. Within ten (10) calendar days of the filing of any Action as specified in subsection (a) above, the project applicant shall execute a Joint Defense Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment, or invalidation of the Approval. Failure to timely execute the Letter of Agreement does not relieve the project

applicant of any of the obligations contained in this Condition or other requirements or Conditions of Approval that may be imposed by the City.

**9. Severability**

The Approval would not have been granted but for the applicability and validity of each and every one of the specified Conditions, and if one or more of such Conditions is found to be invalid by a court of competent jurisdiction this Approval would not have been granted without requiring other valid Conditions consistent with achieving the same purpose and intent of such Approval.

**10. Special Inspector/Inspections, Independent Technical Review, Project Coordination and Monitoring**

The project applicant may be required to cover the full costs of independent third-party technical review and City monitoring and inspection, including without limitation, special inspector(s)/inspection(s) during times of extensive or specialized plan-check review or construction, and inspections of potential violations of the Conditions of Approval. The project applicant shall establish a deposit with the Bureau of Building, if directed by the Building Official, Director of City Planning, or designee, prior to the issuance of a construction-related permit and on an ongoing as-needed basis.

**11. Public Improvements**

The project applicant shall obtain all necessary permits/approvals, such as encroachment permits, obstruction permits, curb/gutter/sidewalk permits, and public improvement ("p-job") permits from the City for work in the public right-of-way, including but not limited to, streets, curbs, gutters, sidewalks, utilities, and fire hydrants. Prior to any work in the public right-of-way, the applicant shall submit plans for review and approval by the Bureau of Planning, the Bureau of Building, and other City departments as required. Public improvements shall be designed and installed to the satisfaction of the City.

**12. Compliance Matrix**

The project applicant shall submit a Compliance Matrix, in both written and electronic form, for review and approval by the Bureau of Planning and the Bureau of Building that lists each Condition of Approval (including each mitigation measure if applicable) in a sortable spreadsheet. The Compliance Matrix shall contain, at a minimum, each required Condition of Approval, when compliance with the Condition is required, and the status of compliance with each Condition. For multi-phased projects, the Compliance Matrix shall indicate which Condition applies to each phase. The project applicant shall submit the initial Compliance Matrix prior to the issuance of the first construction-related permit and shall submit an updated matrix upon request by the City.

**13. Construction Management Plan**

Prior to the issuance of the first construction-related permit, the project applicant and his/her general contractor shall submit a Construction Management Plan (CMP) for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments such as the Fire Department and the Public Works Department as directed. The CMP shall contain measures to minimize potential construction impacts including measures to comply with all construction-related Conditions of Approval (and mitigation measures if applicable) such as dust control, construction emissions, hazardous materials, construction days/hours, construction traffic control, waste reduction and recycling, stormwater pollution prevention, noise control, complaint management, and cultural



resource management (see applicable Conditions below). The CMP shall provide project-specific information including descriptive procedures, approval documentation, and drawings (such as a site logistics plan, fire safety plan, construction phasing plan, proposed truck routes, traffic control plan, complaint management plan, construction worker parking plan, and litter/debris clean-up plan) that specify how potential construction impacts will be minimized and how each construction-related requirement will be satisfied throughout construction of the project.

**14. Construction-Related Air Pollution Controls (Dust and Equipment Emissions)**

**Requirement:** The project applicant shall implement all of the following applicable air pollution control measures during construction of the project:

- a. Water all exposed surfaces of active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever feasible.
- b. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e., the minimum required space between the top of the load and the top of the trailer).
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. Pave all roadways, driveways, sidewalks, etc. within one month of site grading or as soon as feasible. In addition, building pads should be laid within one month of grading or as soon as feasible unless seeding or soil binders are used.
- e. Enclose, cover, water twice daily, or apply (non-toxic) soil stabilizers to exposed stockpiles (dirt, sand, etc.).
- f. Limit vehicle speeds on unpaved roads to 15 miles per hour.
- g. Idling times on all diesel-fueled commercial vehicles over 10,000 lbs. shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes (as required by the California airborne toxics control measure Title 13, Section 2485, of the California Code of Regulations). Clear signage to this effect shall be provided for construction workers at all access points.
- h. Idling times on all diesel-fueled off-road vehicles over 25 horsepower shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes and fleet operators must develop a written policy as required by Title 23, Section 2449, of the California Code of Regulations ("California Air Resources Board Off-Road Diesel Regulations").
- i. All construction equipment shall be maintained and properly tuned in accordance with the manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- j. Portable equipment shall be powered by electricity if available. If electricity is not available, propane or natural gas shall be used if feasible. Diesel engines shall only be used if electricity is not available and it is not feasible to use propane or natural gas.

15. **Exposure to Air Pollution (Toxic Air Contaminants)**

***a. Health Risk Reduction Measures***

**Requirement:** The project applicant shall incorporate appropriate measures into the project design in order to reduce the potential health risk due to exposure to toxic air contaminants. The project applicant shall choose one of the following methods:

- i. The project applicant shall retain a qualified air quality consultant to prepare a Health Risk Assessment (HRA) in accordance with California Air Resources Board (CARB) and Office of Environmental Health and Hazard Assessment requirements to determine the health risk of exposure of project residents/occupants/users to air pollutants. The HRA shall be submitted to the City for review and approval. If the HRA concludes that the health risk is at or below acceptable levels, then health risk reduction measures are not required. If the HRA concludes that the health risk exceeds acceptable levels, health risk reduction measures shall be identified to reduce the health risk to acceptable levels. Identified risk reduction measures shall be submitted to the City for review and approval and be included on the project drawings submitted for the construction-related permit or on other documentation submitted to the City.

- or -

- ii. The project applicant shall incorporate the following health risk reduction measures into the project. These features shall be submitted to the City for review and approval and be included on the project drawings submitted for the construction-related permit or on other documentation submitted to the City:
  - Installation of air filtration to reduce cancer risks and Particulate Matter (PM) exposure for residents and other sensitive populations in the project that are in close proximity to sources of air pollution. Air filter devices shall be rated MERV-13 or higher. As part of implementing this measure, an ongoing maintenance plan for the building's HVAC air filtration system shall be required.
  - Where appropriate, install passive electrostatic filtering systems, especially those with low air velocities (i.e., 1 mph).
  - Phasing of residential developments when proposed within 500 feet of freeways such that homes nearest the freeway are built last, if feasible.
  - The project shall be designed to locate sensitive receptors as far away as feasible from the source(s) of air pollution. Operable windows, balconies, and building air intakes shall be located as far away from these sources as feasible. If near a distribution center, residents shall be located as far away as feasible from a loading dock or where trucks concentrate to deliver goods.
  - Sensitive receptors shall be located on the upper floors of buildings, if feasible.
  - Planting trees and/or vegetation between sensitive receptors and pollution source, if feasible. Trees that are best suited to trapping PM shall be planted, including one or more of the following: Pine (*Pinus nigra* var. *maritima*), Cypress (*X Cupressocyparis leylandii*), Hybrid poplar (*Populus deltoids X trichocarpa*), and Redwood (*Sequoia sempervirens*).
  - Sensitive receptors shall be located as far away from truck activity areas, such as loading docks and delivery areas, as feasible.
  - Existing and new diesel generators shall meet CARB's Tier 4 emission standards, if feasible.
  - Emissions from diesel trucks shall be reduced through implementing the following measures, if feasible:

- Installing electrical hook-ups for diesel trucks at loading docks.
- Requiring trucks to use Transportation Refrigeration Units (TRU) that meet Tier 4 emission standards.
- Requiring truck-intensive projects to use advanced exhaust technology (e.g., hybrid) or alternative fuels.
- Prohibiting trucks from idling for more than two minutes.
- Establishing truck routes to avoid sensitive receptors in the project. A truck route program, along with truck calming, parking, and delivery restrictions, shall be implemented.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

**b. *Maintenance of Health Risk Reduction Measures***

Requirement: The project applicant shall maintain, repair, and/or replace installed health risk reduction measures, including but not limited to the HVAC system (if applicable), on an ongoing and as-needed basis. Prior to occupancy, the project applicant shall prepare and then distribute to the building manager/operator an operation and maintenance manual for the HVAC system and filter including the maintenance and replacement schedule for the filter.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**16. Construction Days/Hours**

Requirement: The project applicant shall comply with the following restrictions concerning construction days and hours:

- a. Construction activities are limited to between 7:00 a.m. and 7:00 p.m. Monday through Friday, except that pier drilling and/or other extreme noise generating activities greater than 90 dBA shall be limited to between 8:00 a.m. and 4:00 p.m.
- b. Construction activities are limited to between 9:00 a.m. and 5:00 p.m. on Saturday. In residential zones and within 300 feet of a residential zone, construction activities are allowed from 9:00 a.m. to 5:00 p.m. only within the interior of the building with the doors and windows closed. No pier drilling or other extreme noise generating activities greater than 90 dBA are allowed on Saturday.
- c. No construction is allowed on Sunday or federal holidays.

Construction activities include, but are not limited to, truck idling, moving equipment (including trucks, elevators, etc.) or materials, deliveries, and construction meetings held on-site in a non-enclosed area.

Any construction activity proposed outside of the above days and hours for special activities (such as concrete pouring which may require more continuous amounts of time) shall be evaluated on a case-by-case basis by the City, with criteria including the urgency/emergency nature of the work, the proximity of residential or other sensitive uses, and a consideration of nearby residents'/occupants' preferences. The project applicant shall notify property owners and occupants located within 300 feet at least 14 calendar days prior to construction activity proposed outside of the above days/hours. When submitting a request to the City to allow construction activity outside of the above days/hours, the project applicant shall submit information concerning the type and

duration of proposed construction activity and the draft public notice for City review and approval prior to distribution of the public notice.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**17. Construction Noise**

Requirement: The project applicant shall implement noise reduction measures to reduce noise impacts due to construction. Noise reduction measures include, but are not limited to, the following:

- a. Equipment and trucks used for project construction shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures and acoustically-attenuating shields or shrouds) wherever feasible.
- b. Except as provided herein, impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for project construction shall be hydraulically or electrically powered to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler can lower noise levels from the exhaust by up to about 10 dBA. External jackets on the tools themselves shall be used, if such jackets are commercially available, and this could achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever such procedures are available and consistent with construction procedures.
- c. Applicant shall use temporary power poles instead of generators where feasible.
- d. Stationary noise sources shall be located as far from adjacent properties as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or use other measures as determined by the City to provide equivalent noise reduction.
- e. The noisiest phases of construction shall be limited to less than 10 days at a time. Exceptions may be allowed if the City determines an extension is necessary and all available noise reduction controls are implemented.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**18. Extreme Construction Noise**

**a. Construction Noise Management Plan Required**

Requirement: Prior to any extreme noise generating construction activities (e.g., pier drilling, pile driving and other activities generating greater than 90dBA), the project applicant shall submit a Construction Noise Management Plan prepared by a qualified acoustical consultant for City review and approval that contains a set of site-specific noise attenuation measures to further reduce construction impacts associated with extreme noise generating activities. The project applicant shall implement the approved Plan during construction. Potential attenuation measures include, but are not limited to, the following:

- i. Erect temporary plywood noise barriers around the construction site, particularly along on sites adjacent to residential buildings;

- ii. Implement “quiet” pile driving technology (such as pre-drilling of piles, the use of more than one pile driver to shorten the total pile driving duration), where feasible, in consideration of geotechnical and structural requirements and conditions;
- iii. Utilize noise control blankets on the building structure as the building is erected to reduce noise emission from the site;
- iv. Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings by the use of sound blankets for example and implement such measure if such measures are feasible and would noticeably reduce noise impacts; and
- v. Monitor the effectiveness of noise attenuation measures by taking noise measurements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**b. *Public Notification Required***

Requirement: The project applicant shall notify property owners and occupants located within 300 feet of the construction activities at least 14 calendar days prior to commencing extreme noise generating activities. Prior to providing the notice, the project applicant shall submit to the City for review and approval the proposed type and duration of extreme noise generating activities and the proposed public notice. The public notice shall provide the estimated start and end dates of the extreme noise generating activities and describe noise attenuation measures to be implemented.

When Required: During construction

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**19. Operational Noise**

Requirement: Noise levels from the project site after completion of the project (i.e., during project operation) shall comply with the performance standards of chapter 17.120 of the Oakland Planning Code and chapter 8.18 of the Oakland Municipal Code. If noise levels exceed these standards, the activity causing the noise shall be abated until appropriate noise reduction measures have been installed and compliance verified by the City.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**20. Construction Activity in the Public Right-of-Way**

**a. *Obstruction Permit Required***

Requirement: The project applicant shall obtain an obstruction permit from the City prior to placing any temporary construction-related obstruction in the public right-of-way, including City streets and sidewalks.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

***b. Traffic Control Plan Required***

Requirement: In the event of obstructions to vehicle or bicycle travel lanes, the project applicant shall submit a Traffic Control Plan to the City for review and approval prior to obtaining an obstruction permit. The project applicant shall submit evidence of City approval of the Traffic Control Plan with the application for an obstruction permit. The Traffic Control Plan shall contain a set of comprehensive traffic control measures for auto, transit, bicycle, and pedestrian detours, including detour signs if required, lane closure procedures, signs, cones for drivers, and designated construction access routes. The project applicant shall implement the approved Plan during construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Public Works Department, Transportation Services Division

Monitoring/Inspection: Bureau of Building

***c. Repair of City Streets***

Requirement: The project applicant shall repair any damage to the public right-of way, including streets and sidewalks caused by project construction at his/her expense within one week of the occurrence of the damage (or excessive wear), unless further damage/excessive wear may continue; in such case, repair shall occur prior to approval of the final inspection of the construction-related permit. All damage that is a threat to public health or safety shall be repaired immediately.

When Required: Prior to building permit final

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**21. Underground Utilities**

Requirement: The project applicant shall place underground all new utilities serving the project and under the control of the project applicant and the City, including all new gas, electric, cable, and telephone facilities, fire alarm conduits, street light wiring, and other wiring, conduits, and similar facilities. The new facilities shall be placed underground along the project's street frontage and from the project structures to the point of service. Utilities under the control of other agencies, such as PG&E, shall be placed underground if feasible. All utilities shall be installed in accordance with standard specifications of the serving utilities.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**Project Specific Conditions**

**22. Public Art for Private Development Condition of Approval**

***Prior to issuance of Final Certificate of Occupancy and Ongoing***

The project is subject to the City's Public Art Requirements for Private Development, adopted by Ordinance No. 13275 C.M.S. ("Ordinance"). The public art contribution requirements are equivalent to one percent (1.0%) for the "non-residential" building development costs. The contribution requirement can be met through the commission or acquisition and installation of publicly accessible art fund, or satisfaction of alternative compliance methods described in the Ordinance. The applicant shall provide proof of full payment of the in-lieu contribution, or provide

proof of installation of artwork on the development site prior to the City's issuance of a final certificate of occupancy for each phase unless a separate, legal binding instrument is executed ensuring compliance within a timely manner subject to City approval. On-site art installation shall be designed by independent artists, or artists working in conjunction with arts or community organizations that are verified by the City to either hold a valid Oakland business license and/or be an Oakland-based 501(c) (3) tax designated organization in good standing.

**23. Screening of PG&E Transformers, Utility Meters, HVAC or other related Equipment**

***Prior to issuance of a demolition, grading or building permit/Ongoing***

The applicant shall submit plans for City review and approval that show within the property and not within the public right-of-way the placement and details for screening from public view all exterior PG&E transformers, utility meters, HVAC or any other related equipment.

**24. Final Parcel Map Subdivision for Lot Merge and Residential Condominiums**

***Prior to issuance of a demolition, grading or building permit/Ongoing***

Prior to the submittal of building permits for the project, the applicant shall file with the City a Final Map subdivision for lot merge and residential condominiums, and shall incorporate all of the prescribed conditions provided by the City Surveyor and City Engineer for final review.

**25. Covenants, Conditions and Restrictions & Homeowner's Association.**

***Prior to certificate of occupancy.***

The Covenants, Conditions and Restrictions (CC&Rs) for the units shall be submitted to the Planning and Zoning Division for review. The CC&Rs shall provide for the establishment of a non-profit homeowners' association for the maintenance and operation of all on-site sidewalks, pathways, common open space and all common landscaping, driveways, and other facilities, in accordance with approved plans. Membership in the association shall be made a condition of ownership. The developer shall be a member of such association until all units are sold.

**26. Installation of New Street Trees in Front of the Property**

***Prior to issuance of a demolition, grading, or building permit to construct/ Ongoing***

The plans shall indicate a minimum of nine (9) street trees along the frontage of MacArthur Boulevard and Wesley Avenue. Said trees shall meet the City's standard specifications for tree planting of the Public Works/Tree Division.

**Applicant Statement**

I have read and accept responsibility for the Conditions of Approval. I agree to abide by and conform to the Conditions of Approval, as well as to all provisions of the Oakland Planning Code and Oakland Municipal Code pertaining to the project.

\_\_\_\_\_  
Name of Project Applicant

\_\_\_\_\_  
Signature of Project Applicant

\_\_\_\_\_  
Date

PLN17281-

RECEIVED  
- REVISED SET -  
OCT 02 2017  
City of Oakland  
Planning & Zoning Division

Kotas/  
Pantaleoni  
Architects  
LEED AP  
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San Francisco, California 94107  
1.415.495.6651

Revisions	By
Planning-Submital Set 07.25.17	BM
Revised Set 12.12.17	BM

THE LAKE HOUSE DEVELOPMENT  
25 RESIDENTIAL UNITS  
601 MacARTHUR BOULEVARD  
OAKLAND, CA

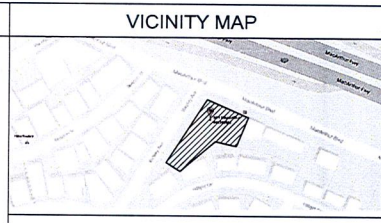


CITY INFORMATION  
**601 MACARTHUR**  
PARCEL #: 23-427-1  
USE CODE: 7000  
HEIGHT LIMIT: 50'-0"  
OCCUPANCY: S-2, R-2  
CONSTRUCTION: VA OVER IA, SPRINKLERED  
  
**SQUARE FOOTAGE:**  
LOT SIZE: 20,478 SQ.FT.  
BUILDING SIZE: 57,946 SQ.FT.

**BUILDING CODE:**  
2013 CBC  
2013 ENERGY CODE  
2013 MECH CODE  
2013 FIRE CODE  
  
**UNIT COUNT:**  
3 BEDROOMS UNITS = 9  
2 BEDROOMS UNITS = 16  
TOTAL BEDROOMS = 59  
TOTAL UNITS = 25  
  
**DESCRIPTION:**  
REZONING OF THE PROPERTY FROM RM-3 TO RU-2 & CONSTRUCTION OF 4-STORY OVER BASEMENT, RESIDENTIAL CONDOMINIUM BUILDING CONTAINING 25 UNITS & 33 OFF-STREET PARKING SPACES.

SYMBOLS  
3 DOOR NO. INTERIOR EXTERIOR ELEVATION NO. SHEET NO.  
6 WINDOW NO. INTERIOR ELEV. NO. SHEET NO.  
A.1 DETAIL NO. SHEET NO.  
A.2 ROOM NO. SHEET NO.  
A.4 SECTION NO. SHEET NO.

ABBREVIATIONS  
AND ANGLE  
C CENTERLINE  
D DIAMETER OR ROUND  
F POUND OF NUMBER  
P PROPERTY LINE  
A.B.V. ABOVE  
A.C. ABOVE  
A.D. ABOVE  
A.F. ABOVE  
AL. APPROXIMATE  
ARCH. ARCHITECTURAL  
B.B. BOARD  
BLD. BUILDING  
BLK. BLOCK  
BLG. BLOCKING  
BSM. BEAM  
B.W. BOTTOM OF WALL  
CAM. CABINET  
CER. CEMENT  
CFR. CERAMIC  
CL. CEILING  
CL. CLOSET  
CLR. CLEAR  
CONC. CONCRETE  
CONT. CONTIGUOUS  
CTR. CENTER  
DBL. DOUBLE  
DEPT. DEPARTMENT  
D.P. DRINKING FOUNTAIN  
DET. DETAIL  
DIM. DIMENSION  
DN. DOWN  
DTL. DETAIL  
D.R. DRAINWASHER  
DWG. DRAWING  
EA. EACH  
ELEV. ELEVATION  
ELEC. ELECTRICAL  
ELEV. ELEVATOR  
EQ. EQUAL  
EXP. EXPANSION  
EXT. EXTERIOR  
FAU. FORCED AIR UNIT  
FLOOR DRAIN



GENERAL NOTES  
1. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD. FACE OF CONCRETE, OR FACE OF BLOCK, U.O.N. VERTICAL DIMENSIONS ARE SHOWN TO TOP OF SLAB, FLOOR JOISTS OR FLOOR FRAMING.  
2. CONTRACTOR AND SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS PRIOR TO COMMENCING WORK.  
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DIMENSIONS/CONDITIONS SHOWN IN THESE DRAWINGS.  
4. MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER PERMITS SHALL BE THE RESPONSIBILITY OF THOSE SUBCONTRACTORS.  
5. AUTOMATIC FIRE SPRINKLER SYSTEM DESIGN AND CONSTRUCTION IS TO BE PERFORMED UNDER A SEPARATE PERMIT OBTAINED BY THE FIRE PROTECTION SUBCONTRACTOR. FIRE SPRINKLERS ARE DESIGNED TO BE ZONED BY FLOOR. FIRE ALARM ZONED BY FLOOR AND DEVICE.  
6. STREET AND SIDEWALK IMPROVEMENTS SHALL BE CONDUCTED UNDER SEPARATE PERMITS.  
7. CONTRACTOR SHALL REVIEW AND UTILIZE SPECIFICATIONS PROVIDED IN CONJUNCTION WITH THIS SET OF CONSTRUCTION DOCUMENTS. ARCHITECT SHOULD BE NOTIFIED OF ANY DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS.  
8. ELEVATOR TO COMPLY WITH CODES SET FORTH IN CHAPTER 39 OF THE UBC. INSTALLATION OF THE ELEVATOR ACCESS HATCH WILL BE IN COMPLIANCE WITH NFPA 72, 2013 EDITION, UNLESS SEPARATE PERMIT.  
9. SHORING AND UNDERPINNING WORK TO BE UNDER SEPARATE PERMITS.  
10. ALL WORK PERFORMED WILL COMPLY WITH THE AMERICAN DISABILITIES ACT OUTLINED IN SECTIONS 18251 IN THE CBC. SEE SHEET AS-FOR STANDARD ACCESSIBILITY DETAILS APPLICABLE THROUGHOUT PROJECT.  
11. SOUND TRANSMISSION CONTROL, TO BE PROVIDED AS REQUIRED BY APPENDIX CHAPTER 35, 2013 CBC (STC 80 AND 90 AS RETROFITTED).  
12. THE BUILDING SHALL COMPLY WITH VENTILATION REQUIREMENTS. SEE CODE SECTION 1202.2.7

DRAWING SCHEDULE  
ARCHITECTURAL  
A1.0 CITY INFO  
PERS1 PERSPECTIVE  
PERS2 PERSPECTIVE  
PIC1 NEIGHBORHOOD PHOTOS  
PIC2 NEIGHBORHOOD PHOTOS  
PIC4 NEIGHBORHOOD PHOTOS  
PIC4 NEIGHBORHOOD PHOTOS  
SURVEY  
C1.0 CIVIL SITE PLAN  
C2.0 EROSION CONTROL  
C3.0 STORM WATER PLAN  
TENTATIVE PARCEL MAP  
ZONING MAP  
A1.1 EXISTING SITE & TREES, PROPOSED SITE PLAN  
A2.0 PROPOSED BASEMENT  
A2.1 PROPOSED 1ST  
A2.2 PROPOSED 2ND  
A2.3 PROPOSED 3RD  
A2.4 PROPOSED 4TH  
A2.5 ROOF PLAN  
A3.0 NORTH & WEST ELEVATIONS  
A3.1 EAST & SOUTH ELEVATIONS  
A4.0 EAST-WEST SECTIONS  
A4.1 NORTH-SOUTH SECTIONS

LANDSCAPE  
L0.1 LAYOUT NOTES AND LEGENDS  
L0.2 PLANTING NOTES AND LEGENDS  
L1.01 LAYOUT PLAN  
L1.02 LAYOUT PLAN  
L2.01 IRRIGATION PLAN  
L2.02 IRRIGATION NOTES AND LEGENDS  
L2.03 IRRIGATION DETAILS  
L2.04 IRRIGATION DETAILS  
L2.05 IRRIGATION DETAILS  
L3.01 PLANTING PLAN  
L3.02 PLANTING PLAN  
L4.01 CONSTRUCTION DETAILS  
L4.02 LIGHTING SPECS  
  
**STRUCTURAL**  
S2.0A  
S2.0B  
S2.0C  
S5.1

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415-495-6855 FAX  
  
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BERKELEY, CA  
94704  
W. 510.848.1930  
  
GEO/TECHNICAL ENGINEERS  
ALAN KROPP  
ALMA LUNA  
ALMA KROPP &  
ASSOCIATES  
2740 SHATTUCK AVE.  
SUITE 910  
BERKELEY, CA 94704  
W. 510.841.5055

GROSS FLOOR AREAS

FLOOR	RESIDENTIAL	STAIR/ELEVATOR	OUTDOOR CORRIDOR	DECKS	TOTAL
1st FLOOR	11,886 SQ.FT.	133 SQ.FT.	2,327 SQ.FT.	719 SQ.FT.	15,065 SQ.FT.
2nd FLOOR	9,984 SQ.FT.	133 SQ.FT.	1,877 SQ.FT.	736 SQ.FT.	12,730 SQ.FT.
3rd FLOOR	9,984 SQ.FT.	133 SQ.FT.	1,877 SQ.FT.	736 SQ.FT.	12,730 SQ.FT.
4th FLOOR	7,828 SQ.FT.	133 SQ.FT.	1,877 SQ.FT.	736 SQ.FT.	10,574 SQ.FT.
ROOF	85 SQ.FT.	102 SQ.FT.	209 SQ.FT.	239 SQ.FT.	635 SQ.FT.
GRAND TOTAL	57,946 SQ.FT.	736 SQ.FT.	8,397 SQ.FT.	3,189 SQ.FT.	69,268 SQ.FT.

OPEN SPACE AREAS

FLOOR	PRIVATE SPACE PROVIDED (SQ.FT.)	COMMON SPACE REQUIRED (SQ.FT.)
1st FLOOR	1511 1852x2370 4332	0
2nd FLOOR	201 343x2468 841	64
3rd FLOOR	301 343x2468 841	64
4th FLOOR	451 782x2368 1852	0
TOTAL	2064	128

OPEN SPACE REQUIREMENTS: 07-13.17  
PRIVATE PROVIDED: 2064 SQ.FT.  
COMMON REQUIRED: 128 SQ.FT./UNIT

Attachment C

Project Info:  
Site & City Info.  
As Noted  
MGG  
1-714  
A1.0





1

NW-Photomontage-12.12.17

SCALE: 1:1.84

Kotas/  
Pantaleoni  
Architects

Anthony A. Pantaleoni  
LEED AP

70 Zoe Street Suite 200  
San Francisco, California 94107  
t. 415 495 4051  
f. 415 495 6885

THE LAKE HOUSE DEVELOPMENT  
25 RESIDENTIAL UNITS  
601 MacARTHUR BOULEVARD.  
OAKLAND, CA

PERS 1

Kotas/  
Pantaleoni  
Architects

Anthony A. Pantaleoni  
LEED AP

70 Zoe Street Suite 200  
San Francisco, California 94107  
t. 415 495 4051  
f. 415 495 6885

THE LAKE HOUSE DEVELOPMENT  
25 RESIDENTIAL UNITS  
601 MacARTHUR BOULEVARD.  
OAKLAND, CA

PERS 2



1 BIRDSEYE NORTHWEST PERSPECTIVE - 12.01.17  
SCALE: 1" = 1'-0"



1 Corner Looking At Site (601 MacArthur Blvd.)  
SCALE: 1:1.34



2 Corner Looking North  
SCALE: 1:1.39

Kotas/  
Pantaleoni  
Architects

Anthony A. Pantaleoni  
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THE LAKE HOUSE DEVELOPMENT  
25 RESIDENTIAL UNITS  
601 MacARTHUR BOULEVARD.  
OAKLAND, CA

PIC 1



**1** MacArthur Looking South (Addresses From Left to Right - 655/635/621 MacArthur Blvd.)  
SCALE: 1:1.42



**2** Neigh Looking North  
SCALE: 1:1.42

Kotas/  
Pantaleoni  
Architects

Anthony A. Pantaleoni  
LEED AP

70 Zoe Street Suite 200  
San Francisco, California 94107  
t. 415 495 4051  
f. 415 495 6885

THE LAKE HOUSE DEVELOPMENT  
25 RESIDENTIAL UNITS  
601 MacARTHUR BOULEVARD.  
OAKLAND, CA

PIC 2



1 **Wesley Looking East** (Addresses From Left to Right - 601 MacArthur Blvd., 620 Wesley Ave., 612 Hillgirt Cir.)  
 SCALE: 1:1.43



2 **Wesley Looking West** (Addresses From Left to Right - 595 Merritt Ave., 655/659/663/667 Wesley Ave.)  
 SCALE: 1:1.43

Kotas/  
 Pantaleoni  
 Architects

Anthony A. Pantaleoni  
 LEED AP

70 Zoe Street Suite 200  
 San Francisco, California 94107  
 t. 415 495 4051  
 f. 415 495 6885

THE LAKE HOUSE DEVELOPMENT  
 25 RESIDENTIAL UNITS  
 601 MacARTHUR BOULEVARD.  
 OAKLAND, CA

PIC 3



1 Site Looking North  
SCALE: 1:1.39



2 Site Looking West (Addresses From Left to Right - 663/667/677 Wesley Ave.)  
SCALE: 1:1.37

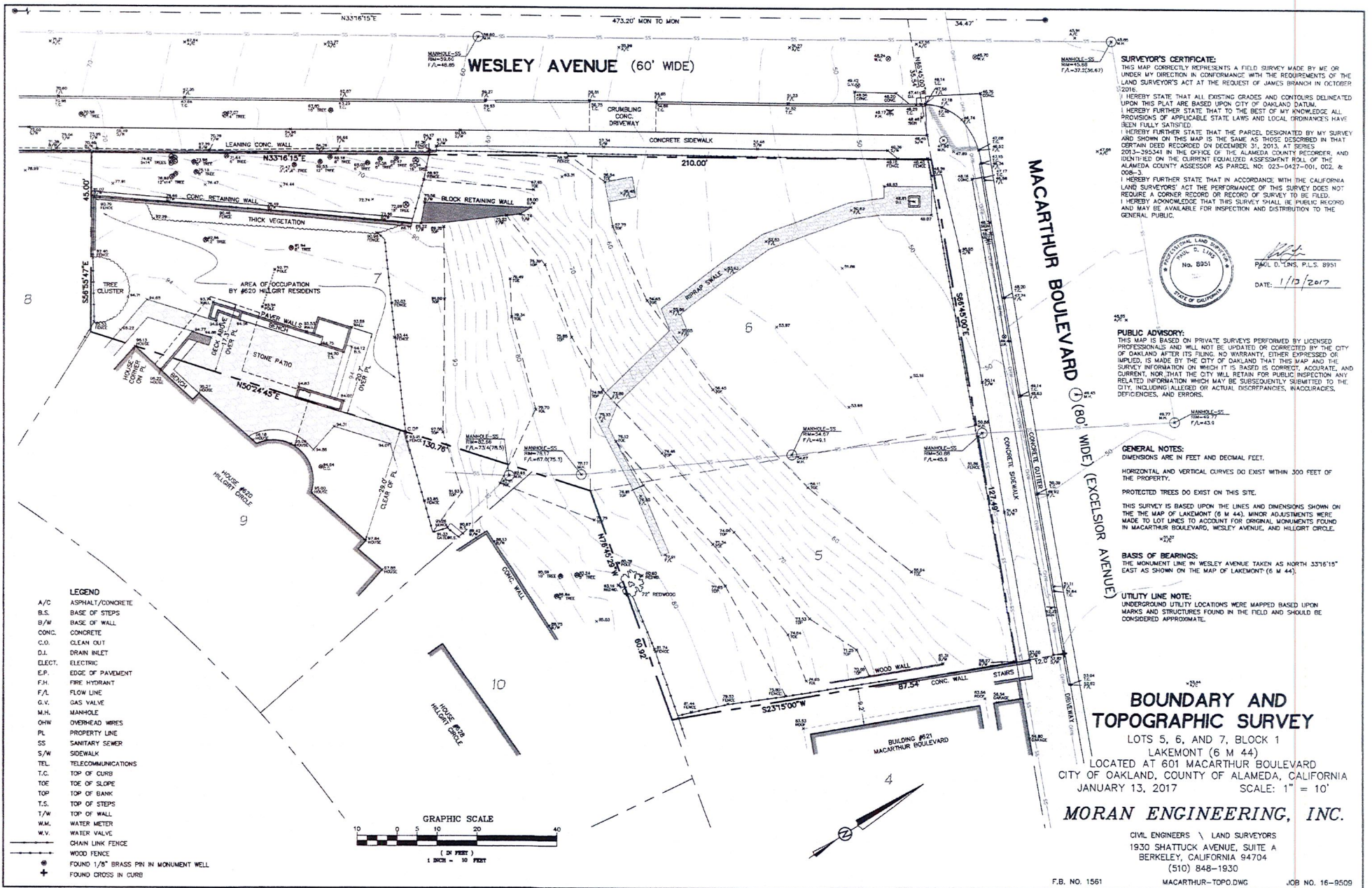
Kotas/  
Pantaleoni  
Architects

Anthony A. Pantaleoni  
LEED AP

70 Zoe Street Suite 200  
San Francisco, California 94107  
t. 415 495 4051  
f. 415 495 6885

THE LAKE HOUSE DEVELOPMENT  
25 RESIDENTIAL UNITS  
601 MacARTHUR BOULEVARD.  
OAKLAND, CA

PIC 4



WESLEY AVENUE (60' WIDE)

MACARTHUR BOULEVARD (80' WIDE) (EXCELSIOR AVENUE)

**SURVEYOR'S CERTIFICATE:**  
 THIS MAP CORRECTLY REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AT THE REQUEST OF JAMES BRANCH IN OCTOBER 2016.  
 I HEREBY STATE THAT ALL EXISTING GRADES AND CONTOURS DELINEATED UPON THIS PLAN ARE BASED UPON CITY OF OAKLAND DATUM.  
 I HEREBY FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN FULLY SATISFIED.  
 I HEREBY FURTHER STATE THAT THE PARCEL DESIGNATED BY MY SURVEY AND SHOWN ON THIS MAP IS THE SAME AS THOSE DESCRIBED IN THAT CERTAIN DEED RECORDED ON DECEMBER 31, 2013, AT SERIES 2013-265341 IN THE OFFICE OF THE ALAMEDA COUNTY RECORDER, AND IDENTIFIED ON THE CURRENT EQUALIZED ASSESSMENT ROLL OF THE ALAMEDA COUNTY ASSESSOR AS PARCEL NO. 023-0427-001, 002, & 008-3.  
 I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYORS' ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE A CORNER RECORD OR RECORD OF SURVEY TO BE FILED.  
 I HEREBY ACKNOWLEDGE THAT THIS SURVEY SHALL BE PUBLIC RECORD AND MAY BE AVAILABLE FOR INSPECTION AND DISTRIBUTION TO THE GENERAL PUBLIC.



PAUL D. LINS, P.L.S. 8951  
 DATE: 1/13/2017

**PUBLIC ADVISORY:**  
 THIS MAP IS BASED ON PRIVATE SURVEYS PERFORMED BY LICENSED PROFESSIONALS AND WILL NOT BE UPDATED OR CORRECTED BY THE CITY OF OAKLAND AFTER ITS FILING. NO WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE BY THE CITY OF OAKLAND THAT THIS MAP AND THE SURVEY INFORMATION ON WHICH IT IS BASED IS CORRECT, ACCURATE, AND CURRENT, NOR THAT THE CITY WILL RETAIN FOR PUBLIC INSPECTION ANY RELATED INFORMATION WHICH MAY BE SUBSEQUENTLY SUBMITTED TO THE CITY, INCLUDING ALLOCATED OR ACTUAL DISCREPANCIES, INACCURACIES, DEFICIENCIES, AND ERRORS.

**GENERAL NOTES:**  
 DIMENSIONS ARE IN FEET AND DECIMAL FEET.  
 HORIZONTAL AND VERTICAL CURVES DO EXIST WITHIN 300 FEET OF THE PROPERTY.  
 PROTECTED TREES DO EXIST ON THIS SITE.

THIS SURVEY IS BASED UPON THE LINES AND DIMENSIONS SHOWN ON THE MAP OF LAKEMONT (6 M 44). MINOR ADJUSTMENTS WERE MADE TO LOT LINES TO ACCOUNT FOR ORIGINAL MONUMENTS FOUND IN MACARTHUR BOULEVARD, WESLEY AVENUE, AND HILLGATE CIRCLE.

**BASIS OF BEARINGS:**  
 THE MONUMENT LINE IN WESLEY AVENUE TAKEN AS NORTH 33°16'15" EAST AS SHOWN ON THE MAP OF LAKEMONT (6 M 44).

**UTILITY LINE NOTE:**  
 UNDERGROUND UTILITY LOCATIONS WERE MAPPED BASED UPON MARKS AND STRUCTURES FOUND IN THE FIELD AND SHOULD BE CONSIDERED APPROXIMATE.

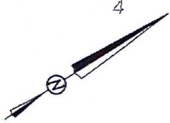
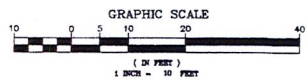
**BOUNDARY AND TOPOGRAPHIC SURVEY**

LOTS 5, 6, AND 7, BLOCK 1  
 LAKEMONT (6 M 44)  
 LOCATED AT 601 MACARTHUR BOULEVARD  
 CITY OF OAKLAND, COUNTY OF ALAMEDA, CALIFORNIA  
 JANUARY 13, 2017

**MORAN ENGINEERING, INC.**

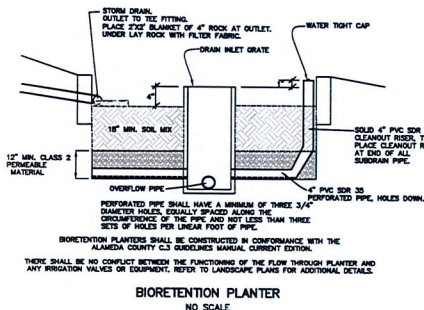
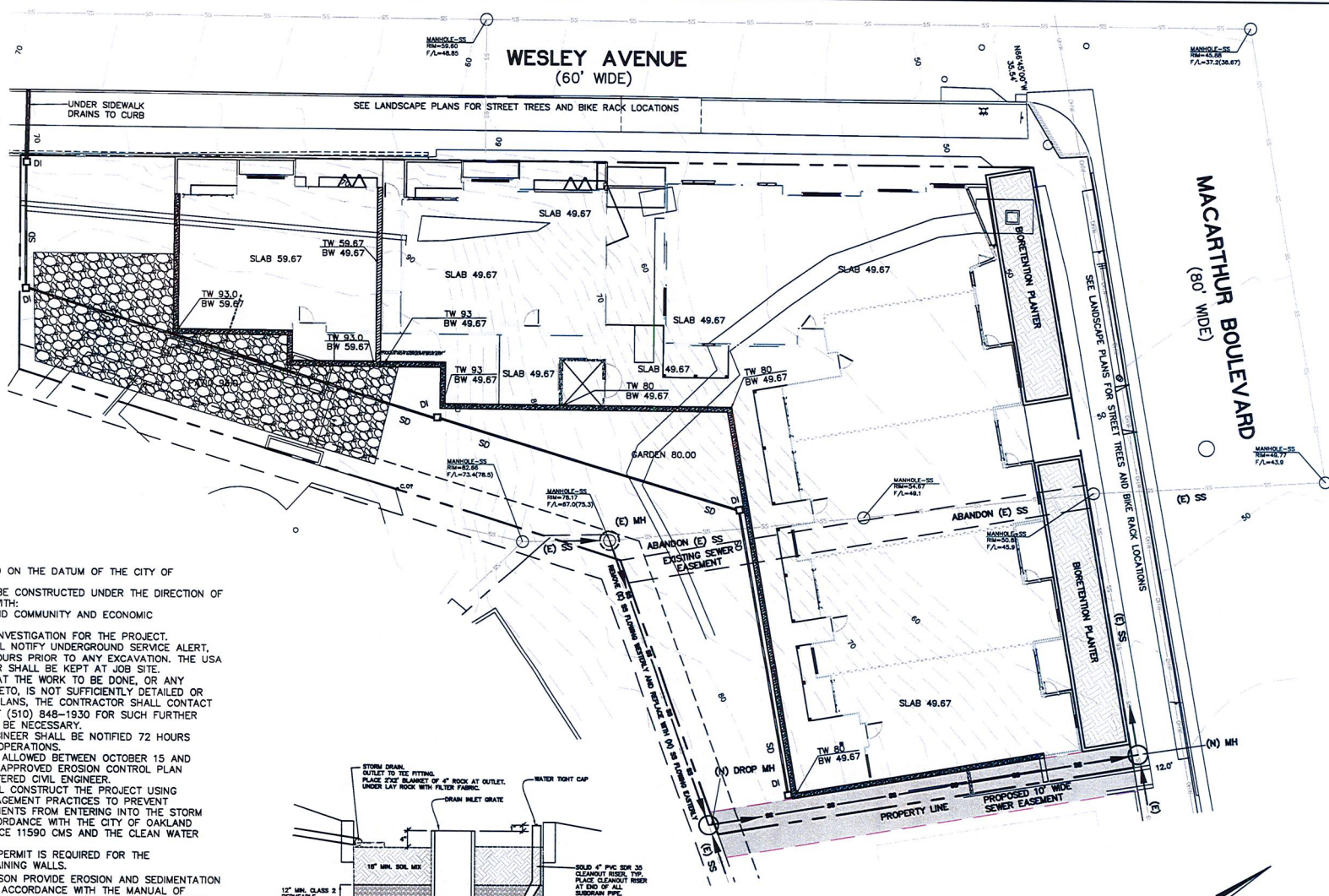
CIVIL ENGINEERS \ LAND SURVEYORS  
 1930 SHATTUCK AVENUE, SUITE A  
 BERKELEY, CALIFORNIA 94704  
 (510) 848-1930

- LEGEND**
- A/C ASPHALT/CONCRETE
  - B.S. BASE OF STEPS
  - B/W BASE OF WALL
  - CONC. CONCRETE
  - C.O. CLEAN OUT
  - D.I. DRAIN INLET
  - ELECT. ELECTRIC
  - E.P. EDGE OF PAVEMENT
  - F.H. FIRE HYDRANT
  - F.L. FLOW LINE
  - G.V. GAS VALVE
  - M.H. MANHOLE
  - OHV OVERHEAD WIRES
  - PL PROPERTY LINE
  - SS SANITARY SEWER
  - S/W SIDEWALK
  - TEL TELECOMMUNICATIONS
  - T.C. TOP OF CURB
  - TOE TOE OF SLOPE
  - TOP TOP OF BANK
  - T.S. TOP OF STEPS
  - T/W TOP OF WALL
  - W.M. WATER METER
  - W.V. WATER VALVE
  - CHAIN LINK FENCE
  - WOOD FENCE
  - FOUND 1/8" BRASS PIN IN MONUMENT WELL
  - ⊕ FOUND CROSS IN CURB



- LEGEND**
- AC ASPHALT/CONCRETE
  - AD AREA DRAIN
  - BIO BIORETENTION PLANTER
  - BW BASE OF WALL
  - CO CLEAN OUT
  - DI DRAIN INLET
  - DS DOWNSPOUT
  - E ELECTRIC
  - EP EDGE OF PAVEMENT
  - FF FINISH FLOOR
  - FH FIRE HYDRANT
  - FL FLOW LINE
  - G GAS
  - GR GRATE
  - GV GAS VALVE
  - INV INVERT
  - JT JOINT TRENCH
  - MH MANHOLE
  - OHV OVERHEAD WIRES
  - RW RETAINING WALL
  - SD STORM DRAIN
  - SS SANITARY SEWER
  - TC TOP OF CURB
  - TEL TELEPHONE
  - TOS TOP OF SLAB
  - TW TOP OF WALL
  - W WATER
  - WM WATER METER
  - WV WATER VALVE
  - SD STORM DRAIN
  - BIORETENTION PLANTER

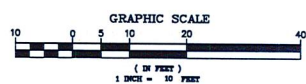
- GENERAL NOTES:**
1. ELEVATIONS ARE BASED ON THE DATUM OF THE CITY OF OAKLAND.
  2. IMPROVEMENTS SHALL BE CONSTRUCTED UNDER THE DIRECTION OF AND IN ACCORDANCE WITH:
    - A. THE CITY OF OAKLAND COMMUNITY AND ECONOMIC DEVELOPMENT AGENCY.
    - B. THE GEOTECHNICAL INVESTIGATION FOR THE PROJECT.
  3. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT, (800) 642-2444 48 HOURS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT JOB SITE.
  4. SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT MORAN ENGINEERING AT (510) 848-1930 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
  5. THE GEOTECHNICAL ENGINEER SHALL BE NOTIFIED 72 HOURS PRIOR TO EARTHWORK OPERATIONS.
  6. NO GRADING SHALL BE ALLOWED BETWEEN OCTOBER 15 AND APRIL 15, WITHOUT AN APPROVED EROSION CONTROL PLAN PREPARED BY A REGISTERED CIVIL ENGINEER.
  7. THE CONTRACTOR SHALL CONSTRUCT THE PROJECT USING APPLICABLE BEST MANAGEMENT PRACTICES TO PREVENT POLLUTANTS AND SEDIMENTS FROM ENTERING INTO THE STORM WATER SYSTEM IN ACCORDANCE WITH THE CITY OF OAKLAND STORM WATER ORDINANCE 11590 CMS AND THE CLEAN WATER ACT.
  8. A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE CONSTRUCTION OF RETAINING WALLS.
  9. DURING THE RAINY SEASON PROVIDE EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE MANUAL OF STANDARDS FOR THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG). THE MEASURES INCLUDE: STABILIZED CONSTRUCTION ENTRANCE, STRAW BALE DIKE OR SILT FENCE AROUND CONSTRUCTION SITE, DROP INLET SEDIMENTATION FILTERS, TEMPORARY DIVERSION DIKES OR ANY OTHER MEASURES AS REQUIRED BY THE CITY OF OAKLAND PUBLIC WORKS DEPARTMENT.
  10. MATERIALS FOR SERVICE UTILITIES SHALL CONFORM TO THE STANDARDS OF THE RESPECTIVE LOCAL AGENCIES AND TO THE CURRENT ADDITION OF THE UNIFORM BUILDING CODE.



**APPROXIMATE IN PLACE EARTHWORK QUANTITIES**

EXCAVATION	FILL	OFFHAUL
6,150 CU.YD.	350 CU.YD.	5,800 CU.YD.

IT IS THE CONTRACTORS RESPONSIBILITY TO INDEPENDENTLY VERIFY EARTHWORK QUANTITIES. VOLUMES ARE CALCULATED TO FINISH GRADE USING IN PLACE MATERIAL VOLUMES. NO EXPANSION OR SHRINKAGE FACTORS HAVE BEEN APPLIED.



**MORAN ENGINEERING**  
 1830 SHATTUCK AVENUE, SUITE A  
 BERKELEY, CALIFORNIA 94704  
 (510) 848-1930



**CIVIL SITE PLAN**  
 THE LAKE HOUSE DEVELOPMENT  
 MACARTHUR BLVD., OAKLAND, CALIFORNIA

DRAWING MACARTHUR-CIVIL  
 F.I.E. NO. 1561  
 SCALE 1" = 10'  
 DATE SEPTEMBER 22, 2017  
 REVISIONS

JOB NO. 17-0508  
 SHEET 1 OF 3

**C1.0**

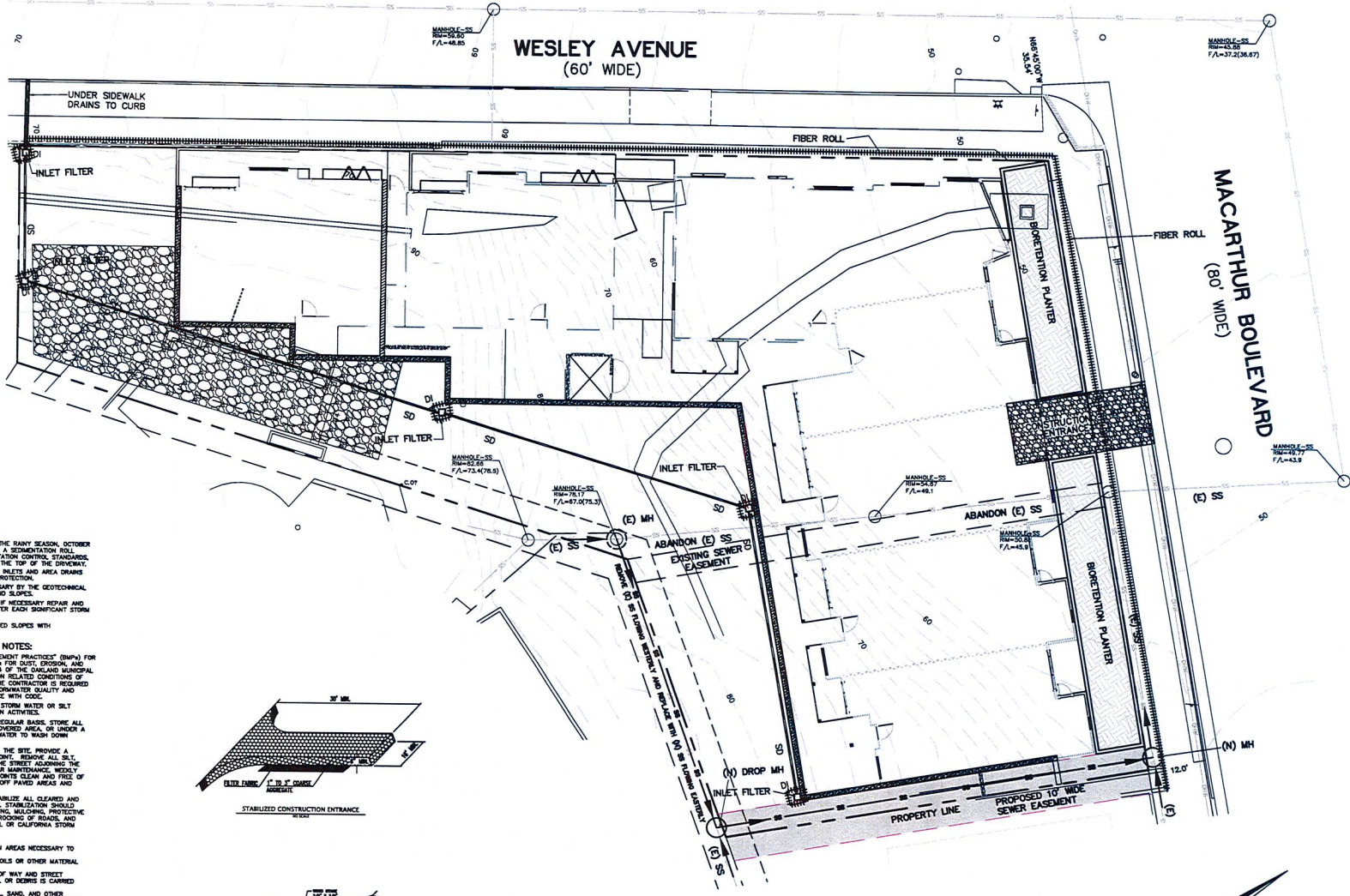
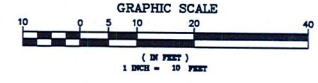
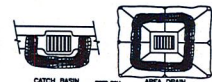
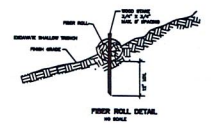
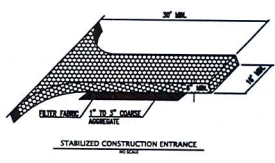


WESLEY AVENUE  
(60' WIDE)

MACARTHUR BOULEVARD  
(80' WIDE)

- LEGEND**
- AC ASPHALT/CONCRETE
  - AD AREA DRAIN
  - BIO BIORETENTION PLANTER
  - BW BASE OF WALL
  - CO CLEAN OUT
  - DI DRAIN INLET
  - DS DOWNSPOUT
  - E ELECTRIC
  - EP EDGE OF PAVEMENT
  - FF FINISH FLOOR
  - FL FIRE HYDRANT
  - FL FLOW LINE
  - G GAS
  - GR GRATE
  - GV GAS VALVE
  - INV INVERT
  - JT JOINT TRENCH
  - MH MANHOLE
  - OHV OVERHEAD WIRES
  - RD RETAINING WALL
  - SD STORM DRAIN
  - SS SANITARY SEWER
  - TC TOP OF CURB
  - TEL TELEPHONE
  - TOS TOP OF SLAB
  - TW TOP OF WALL
  - W WATER
  - WM WATER METER
  - WV WATER VALVE
- STORM DRAIN
- BIORETENTION PLANTER

- WET WEATHER NOTES:**
- IF GRADING IS NOT COMPLETED PRIOR TO THE RAINY SEASON, OCTOBER 15 (AUG. 15), CONSTRUCT AND MAINTAIN A SEDIMENTATION BARRIER PER A.S.A.C. EROSION AND SEDIMENTATION CONTROL STANDARDS, AND PROVIDE A CONSTRUCTION ENTRANCE AT THE TOP OF THE DRIVEWAY.
  - DURING THE RAINY SEASON PROVIDE DROP INLETS AND AREA DRAINS WITH SEDIMENTATION FILTERS OR SILT FENCE PROTECTION.
  - PROVIDE SLOPING, AS DETERMINED NECESSARY BY THE GEOTECHNICAL ENGINEER, TO SUPPORT EXCAVATION WALLS AND SLOPES.
  - DURING THE RAINY SEASON INSPECT, AND IF NECESSARY REPAIR AND CLEAN, WET WEATHER CONTROL MEASURES AFTER EACH SIGNIFICANT STORM EVENT.
  - DURING THE RAINY SEASON PROTECT GRADED SLOPES WITH AUTO-RECTING.
- CONSTRUCTION BEST MANAGEMENT NOTES:**
- ALL WORK SHALL APPLY THE "BEST MANAGEMENT PRACTICES" (BMPs) FOR THE CONSTRUCTION INDUSTRY, INCLUDING BMPs FOR DUST, EROSION, AND SEDIMENTATION ABATEMENT PER SECTION 15.04 OF THE OAKLAND MUNICIPAL CODE, AS WELL AS ALL SPECIFIC CONSTRUCTION RELATED CONDITIONS OF APPROVAL FOR THIS PROJECT. IN ADDITION, THE CONTRACTOR IS REQUIRED TO BE FAMILIAR WITH AND IMPLEMENT ALL STORMWATER QUALITY AND POLLUTION CONTROL MEASURES IN ACCORDANCE WITH CODE.
  - PROTECT ADJACENT PROPERTIES FROM ALL STORM WATER OR SILT RUNOFF GENERATED BY ON-SITE CONSTRUCTION ACTIVITIES.
  - GATHER ALL CONSTRUCTION DEBRIS ON A REGULAR BASIS. STORE ALL CONSTRUCTION MATERIALS AND WASTE IN A COVERED AREA, OR UNDER A TARP, SHEET WHERE POSSIBLE. DO NOT USE WATER TO WASH DOWN AREAS DRAINING TO STORM DRAINS.
  - MINIMIZE CONSTRUCTION ACCESS POINTS TO THE SITE. PROVIDE A CONSTRUCTION ENTRANCE AT EACH ACCESS POINT. REMOVE ALL SILT, GRAVEL, RUBBER, AND GREEN WASTE FROM THE STREET ADJOINING THE SITE PRIOR TO OCTOBER 1ST. PROVIDE REGULAR MAINTENANCE WEEKLY OR AFTER STORM EVENTS, TO KEEP ACCESS POINTS CLEAN AND FREE OF DEBRIS. DURING WET WEATHER AVOID DRIVING OFF PAVED AREAS AND TRACKING MUD AND SILT ONTO PAVED AREAS.
  - MINIMIZE REMOVAL OF ANY VEGETATION. STABILIZE ALL CLEARED AND DE-VEGETATED AREAS PRIOR TO OCTOBER 1ST. STABILIZATION SHOULD INCLUDE TEMPORARY OR PERMANENT RE-SEEDING, MULCHING, PROTECTIVE BERMES, SILT FENCES, PLASTIC COVERINGS OR ROOFING OF ROADS, AND SHOULD BE BASED ON ARAB EROSION CONTROL, OR CALIFORNIA STORM WATER BMP HANDBOOK STANDARDS.
  - DUST CONTROL MEASURES:
    - WATER ALL ACTIVE CONSTRUCTION AREAS NECESSARY TO CONTROL DUST.
    - COVER STOCKPILES OF DEBRIS, SOILS OR OTHER MATERIAL IF BLOWN BY WIND.
    - SWEEP ADJACENT PUBLIC RIGHT OF WAY AND STREET DAILY IF DEBRIS OR SOIL MATERIAL OR DEBRIS IS CARRIED ONTO THESE AREAS.
    - COVER ALL TRUCKS CARRYING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF PRESSURE.
    - HYDRATED OR APPLY NON-TOXIC SOIL STABILIZERS TO INACTIVE CONSTRUCTION AREAS.
    - ENCLOSE COVER, WATER TWICE DAILY OR APPLY NON-TOXIC SOIL BINDERS TO EXPOSED STOCKPILES (DIRT, SAND, ETC).
    - INSTALL SANDBARS OR OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF ONTO PUBLIC ROADWAYS.
    - REPLANT VEGETATION IN DISTURBED AREAS AS QUICKLY AS POSSIBLE.



MORAN ENGINEERING  
1930 SHATUCK AVENUE, SUITE A  
BERKELEY, CALIFORNIA 94704  
(510) 848-1930



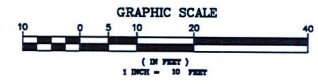
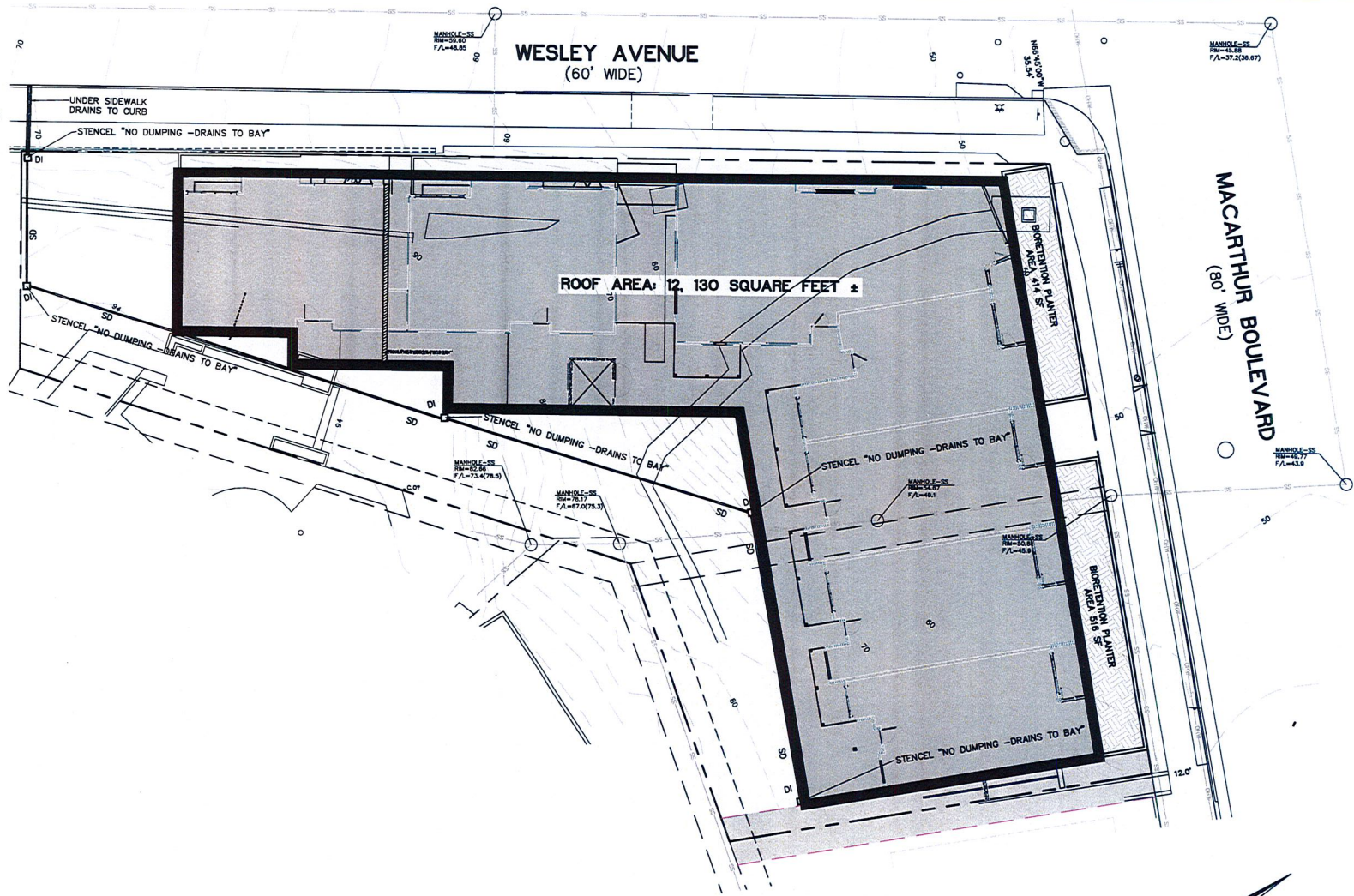
**EROSION CONTROL PLAN**  
THE LAKE HOUSE DEVELOPMENT  
MACARTHUR BLVD, OAKLAND, CALIFORNIA

DRAWING	MACARTHUR-CIVL
F.B. NO.	1561
SCALE	1" = 10'
DATE	SEPTEMBER 22, 2017
REVISIONS	
JOB NO.	17-9509
SHEET 2 OF 3	

**C2.0**

**LEGEND**

- AC ASPHALT/CONCRETE
- AD AREA DRAIN
- BD BIORETENTION PLANTER
- BW BASE OF WALL
- CD CLEAN OUT
- DI DRAIN INLET
- DS DOWNSPOUT
- E ELECTRIC
- EP EDGE OF PAVEMENT
- FF FINISH FLOOR
- FH FIRE HYDRANT
- FL FLOW LINE
- G GAS
- GR GRATE
- GV GAS VALVE
- INV INVERT
- JT JOINT TRENCH
- MH MANHOLE
- OHV OVERHEAD WIRES
- RW RETAINING WALL
- SD STORM DRAIN
- SS SANITARY SEWER
- TC TOP OF CURB
- TEL TELEPHONE
- TOS TOP OF SLAB
- TW TOP OF WALL
- W WATER
- WM WATER METER
- WV WATER VALVE
- SD STORM DRAIN
- BIORETENTION PLANTER



**MORAN ENGINEERING**  
 1930 SHATTUCK AVENUE, SUITE A  
 BERKELEY, CALIFORNIA 94704  
 (510) 848-1930



**PRELIMINARY STORWATER MANAGEMENT PLAN**  
 THE LAKE HOUSE DEVELOPMENT  
 MACARTHUR BLVD, OAKLAND, CALIFORNIA

DRAWING	MACARTHUR-CIVL
F.B. NO.	1581
SCALE	1" = 10'
DATE	SEPTEMBER 22, 2017
REVISIONS	
JOB NO.	17-9509
SHEET	3 OF 3

**C3.0**

MONUMENT AT HILBERT CIRCLE

N33°16'15"E 438.73' 473.20' MON TO MON

WESLEY AVENUE (60' WIDE)

MACARTHUR BOULEVARD (FORMERLY EXCELSIOR AVENUE) (80' WIDE)

PROPOSED LOT 1  
AREA = 20,461±SQ.FT.  
PROPOSED 25 UNIT BUILDING

BUYER/SUBDIVIDER:  
VLA PROPERTIES, LLC  
8451 MACARTHUR BLVD,  
OAKLAND, CA, 94605  
(415) 870-9087

GENERAL NOTES:  
DIMENSIONS ARE IN FEET AND DECIMAL FEET.  
ELEVATIONS ARE BASED ON CITY OF OAKLAND DATUM.  
MORE DETAILED BOUNDARY SOLUTION WILL BE SHOWN ON PARCEL MAP.  
UNDERGROUND UTILITY LOCATIONS WERE MAPPED BASED UPON MARKS AND STRUCTURES FOUND IN THE FIELD AND SHOULD BE CONSIDERED APPROXIMATE.

A PORTION OF THE SANITARY SEWER IMPROVEMENTS OUTSIDE THE 5' EASEMENT BETWEEN LOTS 5 AND 6 MIGHT WARRANT A PRESCRIPTIVE EASEMENT OF UNKNOWN SIZE. IT IS UNCLEAR WHETHER THE SEWER EASEMENT CONTINUES OVER LOT 9, IF NOT A SAID LOT AS WELL.

THE PROPOSED BUILDING IS SHOWN FROM PLANS PREPARED BY KOTAS/PANTALEONI ARCHITECTS DATED 04-05-17.

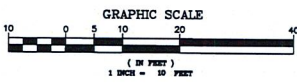
BASIS OF BEARINGS:  
THE MONUMENT LINE IN WESLEY AVENUE TAKEN AS NORTH 33°16'15" EAST AS SHOWN ON THE MAP OF LAKEMONT (6 M 44).

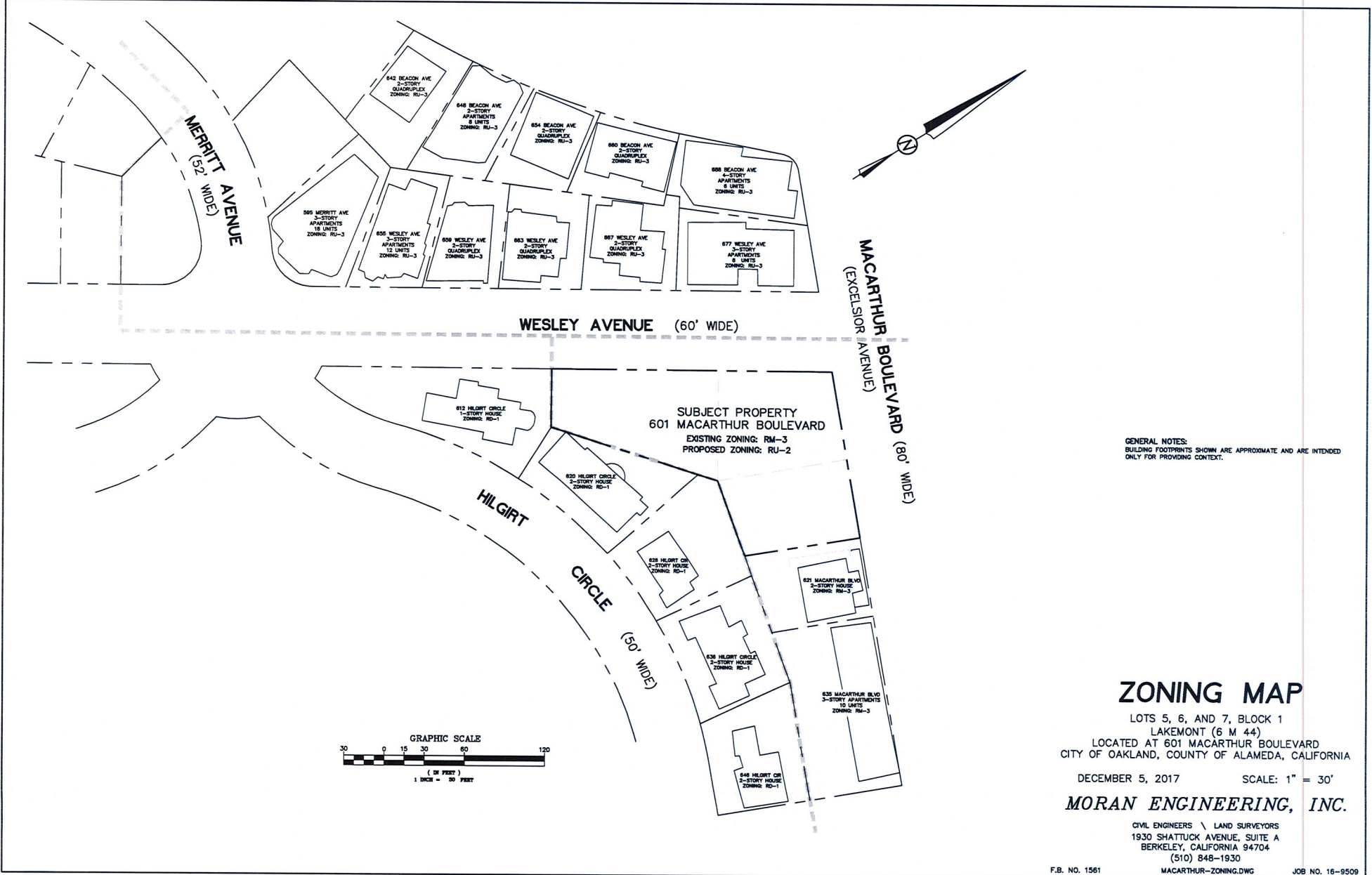
- LEGEND
- A/C ASPHALT/CONCRETE
  - B.S. BASE OF STEPS
  - B/W BASE OF WALL
  - CONC. CONCRETE
  - C.O. CLEAN OUT
  - D.I. DRAIN INLET
  - ELECT. ELECTRIC
  - E.P. EDGE OF PAVEMENT
  - F.H. FIRE HYDRANT
  - F/L FLOW LINE
  - G.V. GAS VALVE
  - M.H. MANHOLE
  - OHW OVERHEAD WIRES
  - PL PROPERTY LINE
  - SS SANITARY SEWER
  - S/W SIDEWALK
  - T/R TO BE REMOVED
  - TEL. TELECOMMUNICATIONS
  - T.C. TOP OF CURB
  - TDE TOP OF SLOPE
  - TOP TOP OF BANK
  - T.S. TOP OF STEPS
  - T/W TOP OF WALL
  - W.M. WATER METER
  - W.V. WATER VALVE
  - CHAIN LINK FENCE
  - WOOD FENCE
  - FOUND 1/8" BRASS PIN IN MONUMENT WELL
  - FOUND CROSS IN CURB

**TENTATIVE**  
**PARCEL MAP 10691**  
A ONE LOT SUBDIVISION  
FOR 25 CONDOMINIUM UNITS  
LOTS 5, 6, AND 7, BLOCK 1  
LAKEMONT (6 M 44)  
LOCATED AT 801 MACARTHUR BOULEVARD  
CITY OF OAKLAND, COUNTY OF ALAMEDA, CALIFORNIA  
JULY 31, 2017 SCALE: 1" = 10'

**MORAN ENGINEERING, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
1930 SHATTUCK AVENUE, SUITE A  
BERKELEY, CALIFORNIA 94704  
(510) 848-1930

- LINE LEGEND
- PARCEL MAP BOUNDARY LINE
  - BOUNDARY/RIGHT-OF-WAY LINE
  - MONUMENT LINE
  - SEWER EASEMENT LINE
  - CONDUIT EASEMENT LINE
  - LOT LINE (6 M 44)





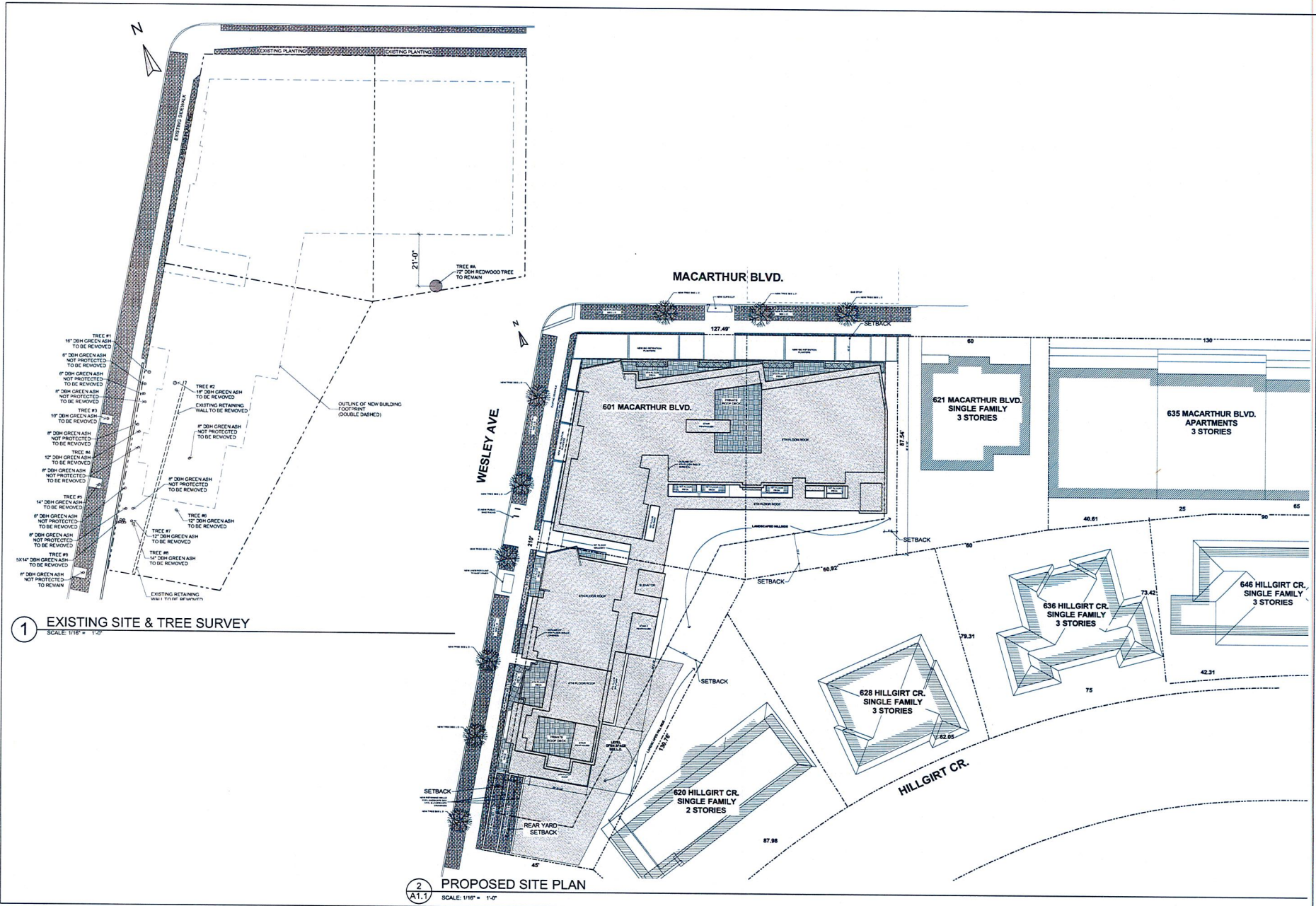
Revisions	By
Planning Submittal Set 07.25.17	BM
Revised Set 12.12.17	BM

THE LAKE HOUSE DEVELOPMENT  
25 RESIDENTIAL UNITS  
601 MacARTHUR BOULEVARD  
OAKLAND, CA

Sheet Title:  
Project Info:  
EXISTING &  
PROPOSED SITE &  
TREES

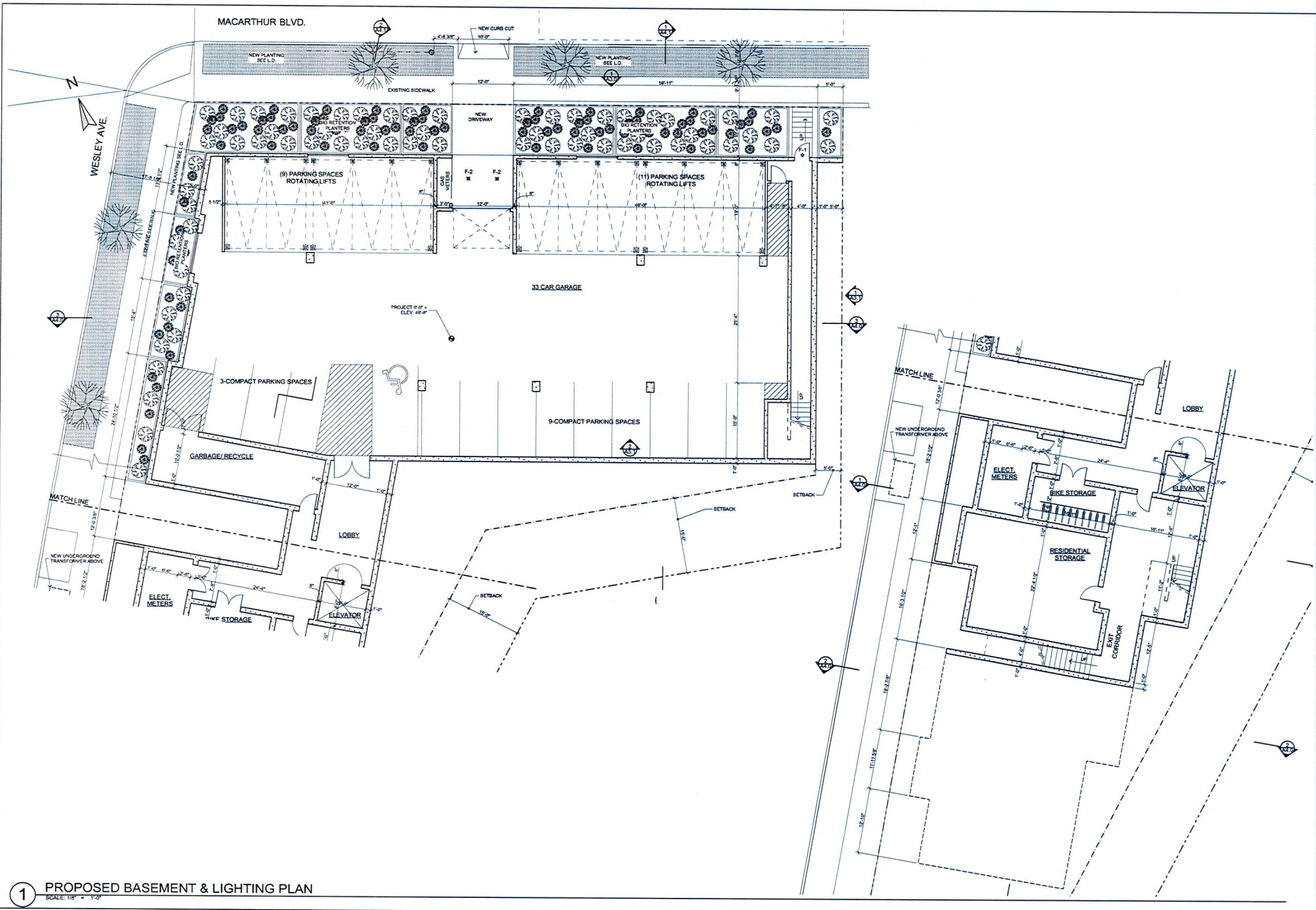
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Date:	
Drawn By:	MGG
Job Number:	1-714

A1.1



1 EXISTING SITE & TREE SURVEY  
SCALE: 1/16" = 1'-0"

2 PROPOSED SITE PLAN  
SCALE: 1/16" = 1'-0"



**1** PROPOSED BASEMENT & LIGHTING PLAN  
SCALE: 1/8" = 1'-0"

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THE LAKE HOUSE DEVELOPMENT  
25 RESIDENTIAL UNITS  
601 MACARTHUR BOULEVARD  
OAKLAND, CA

Sheet Title:  
**Floor Plans:  
PROPOSED  
BASEMENT**

Scale: As Noted  
Date:  
Drawn By: MGG  
Job Number: 1-714  
Sheet: **A2.0**

Revisions	By
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THE LAKE HOUSE DEVELOPMENT  
25 RESIDENTIAL UNITS  
601 MacARTHUR BOULEVARD  
OAKLAND, CA

Sheet Title:  
Floor Plans:  
PROPOSED 1ST  
FLOOR

Scale:  
As Noted

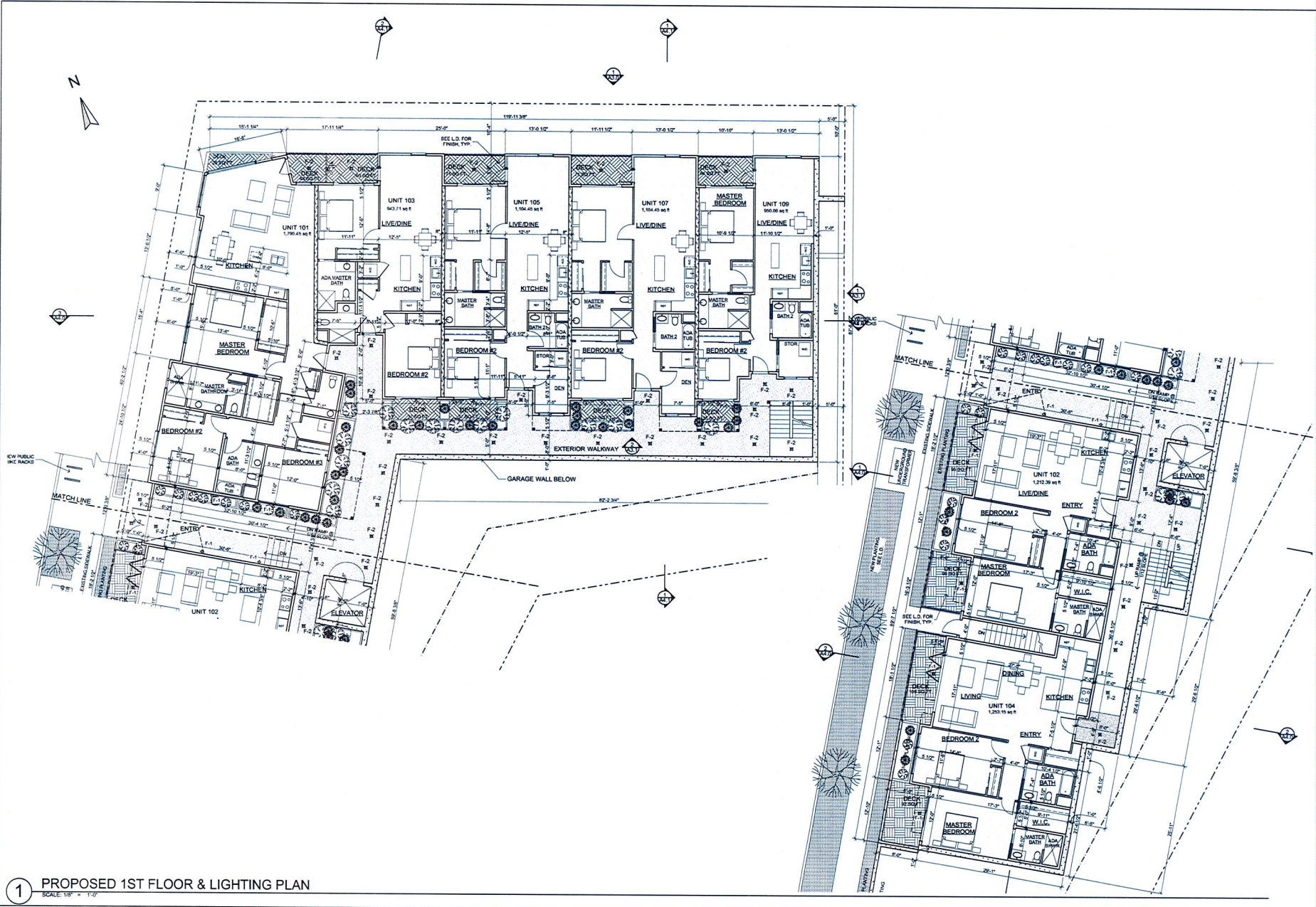
Date:

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MGG

Job Number:  
1-714

Sheet:

A2.1



1 PROPOSED 1ST FLOOR & LIGHTING PLAN  
SCALE: 1/8" = 1'-0"

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25 RESIDENTIAL UNITS  
601 MacARTHUR BOULEVARD  
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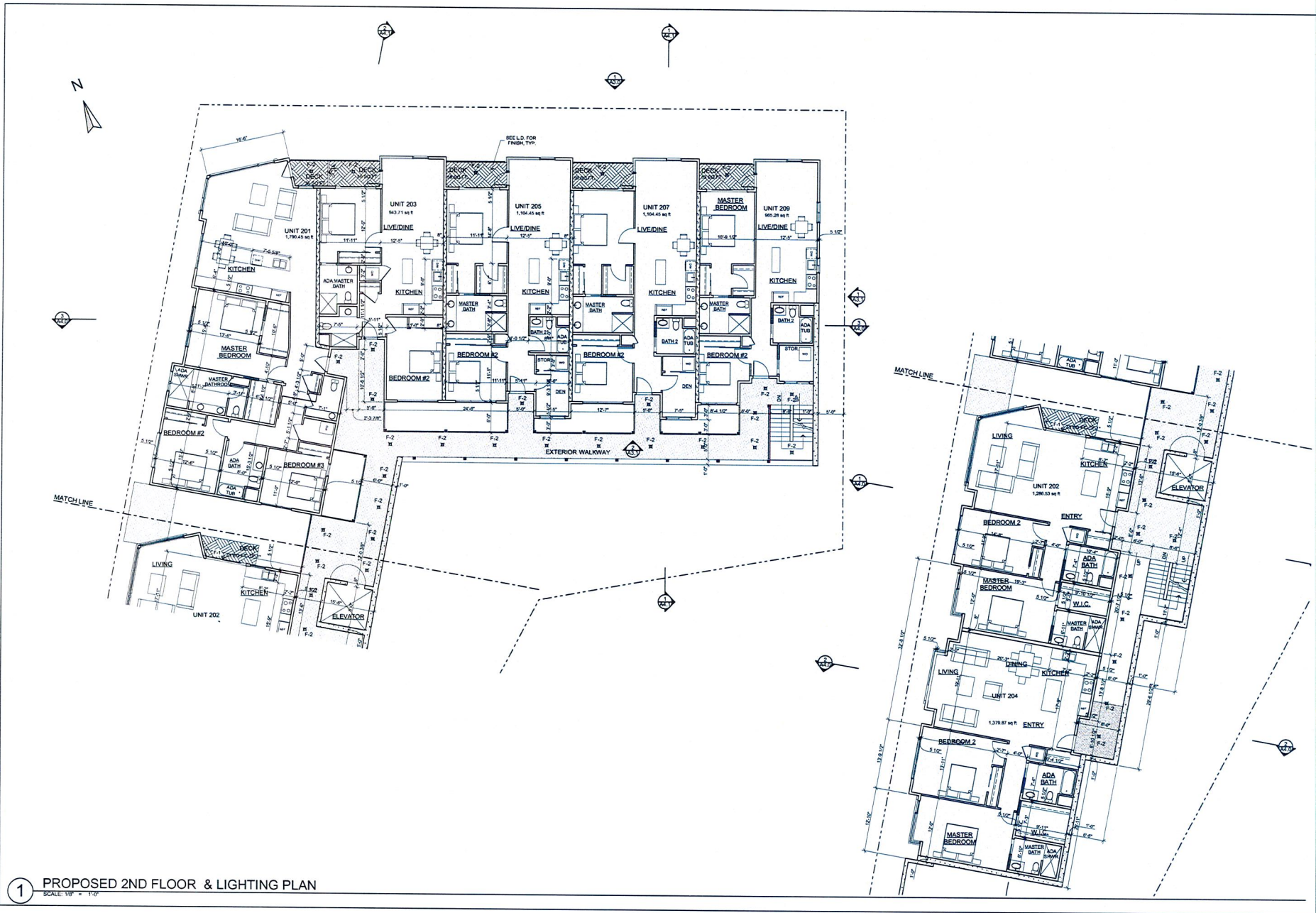
Sheet Title:  
Floor Plans:  
PROPOSED 2ND  
FLOOR

Scale:  
As Noted

Drawn By:  
MGG

Job Number:  
1-714

A2.2



1 PROPOSED 2ND FLOOR & LIGHTING PLAN  
SCALE: 1/8" = 1'-0"



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THE LAKE HOUSE DEVELOPMENT  
25 RESIDENTIAL UNITS  
601 MACARTHUR BOULEVARD  
OAKLAND, CA

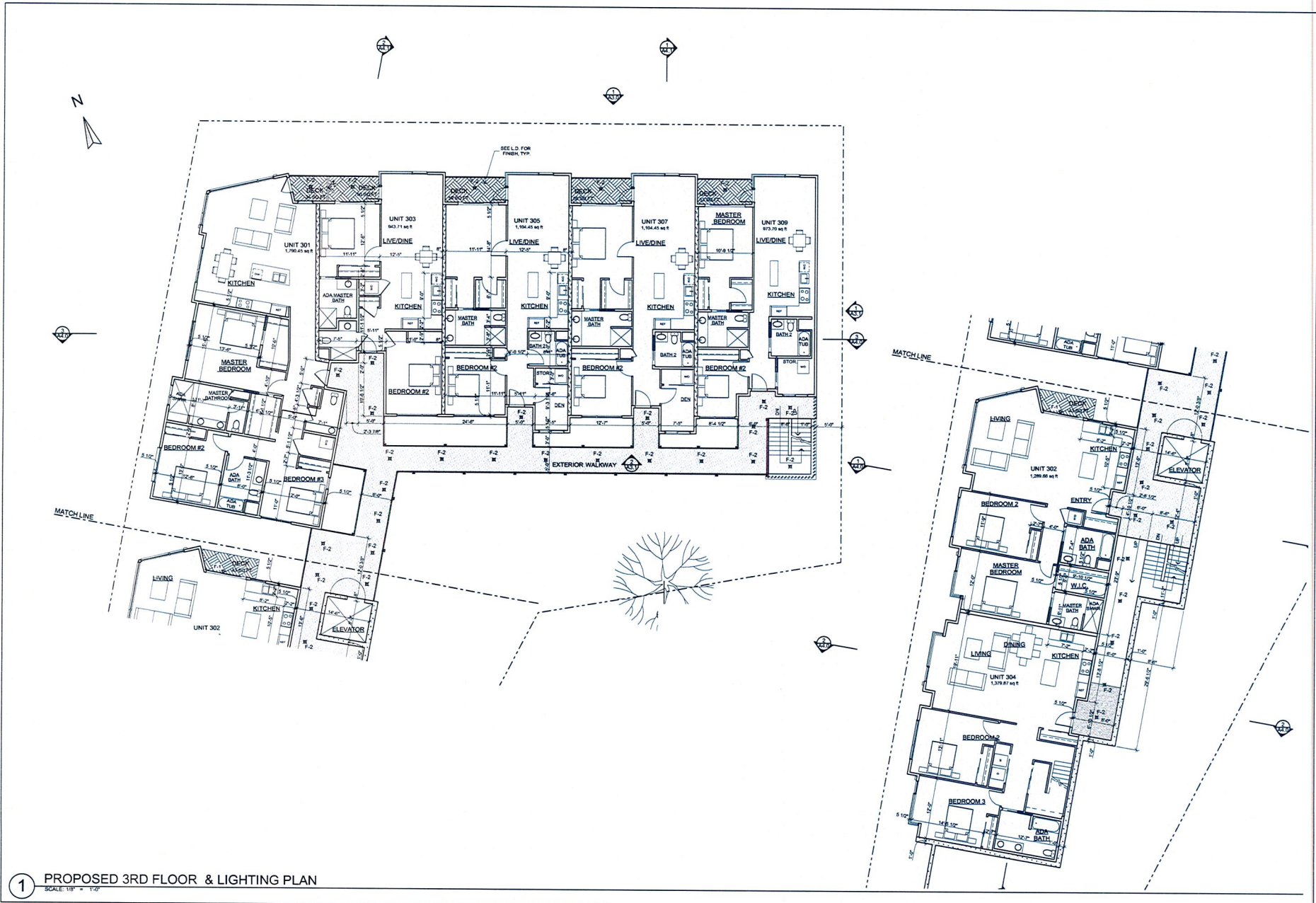
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Floor Plans:  
PROPOSED 3RD  
FLOOR

Scale:  
As Noted

Drawn By:  
MGG

Job Number:  
1-714

Sheet:  
A2.3



1 PROPOSED 3RD FLOOR & LIGHTING PLAN  
SCALE: 1/8" = 1'-0"

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THE LAKE HOUSE DEVELOPMENT  
25 RESIDENTIAL UNITS  
601 MacARTHUR BOULEVARD  
OAKLAND, CA

Sheet Title:  
Floor Plans:  
PROPOSED 4TH FLOOR

Scale: As Noted

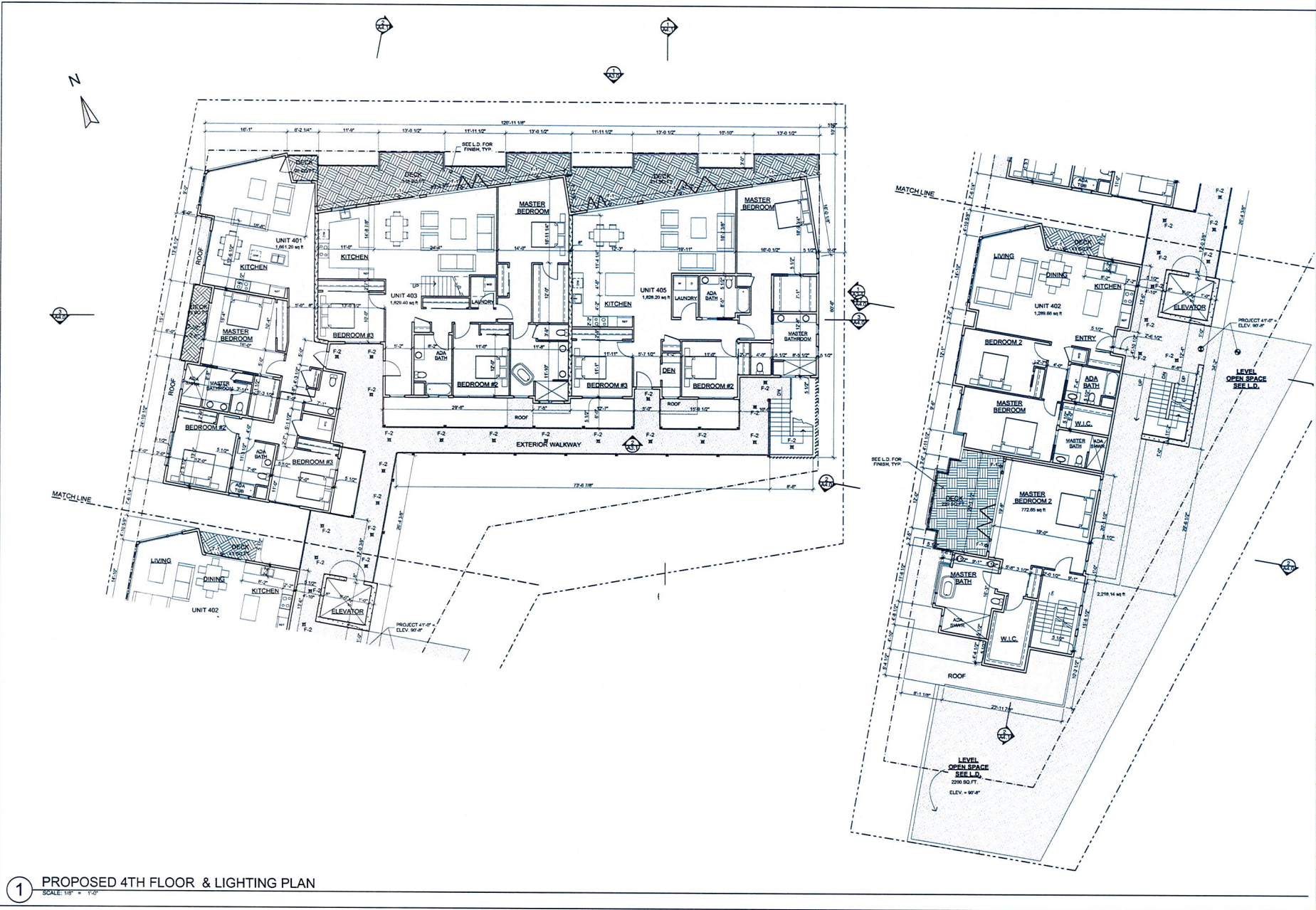
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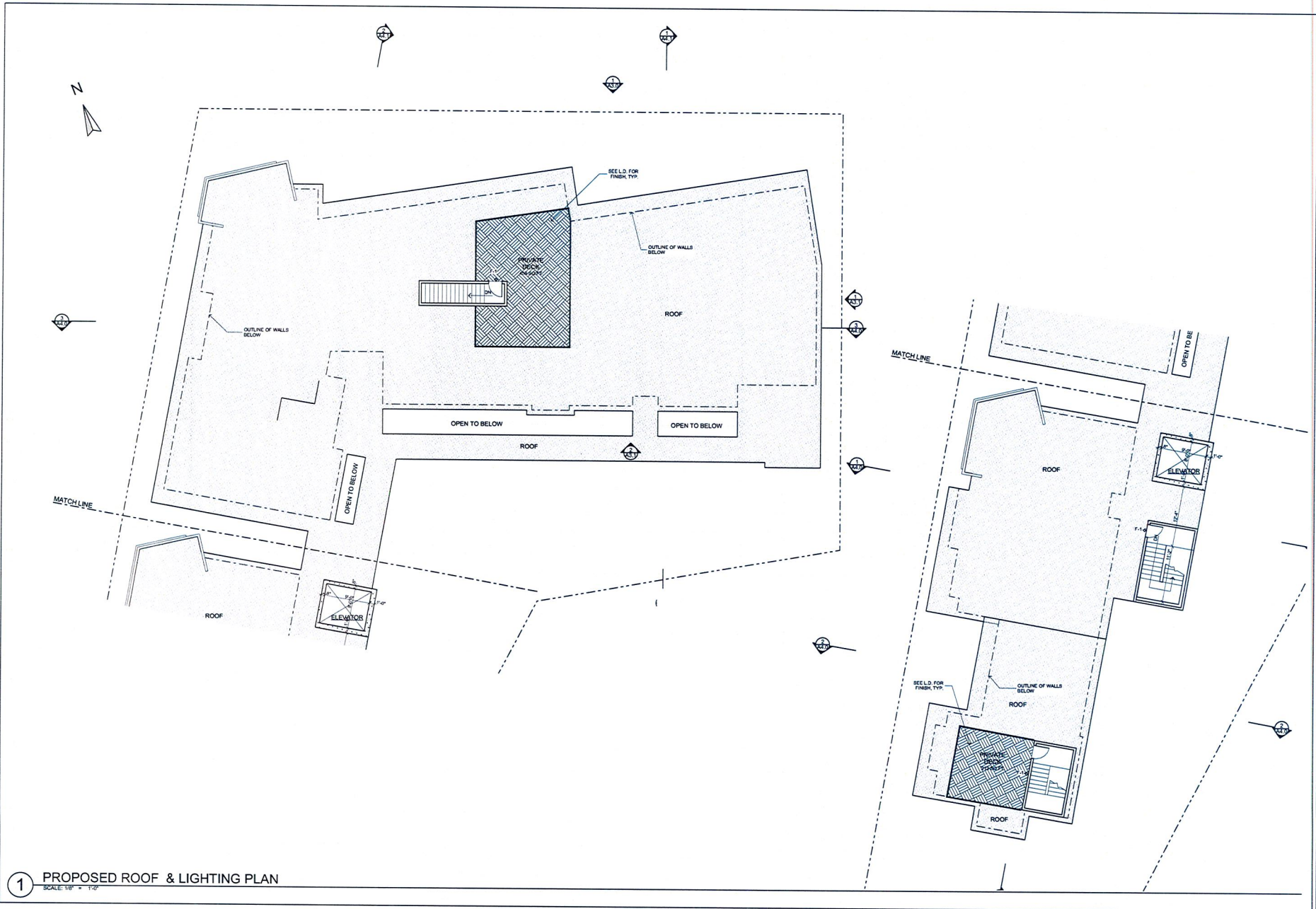
Job Number: 1-714

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A2.4



1 PROPOSED 4TH FLOOR & LIGHTING PLAN  
SCALE: 1/8" = 1'-0"



1 PROPOSED ROOF & LIGHTING PLAN

SCALE: 1/8" = 1'-0"

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THE LAKE HOUSE DEVELOPMENT  
25 RESIDENTIAL UNITS  
601 MacARTHUR BOULEVARD  
OAKLAND, CA

Sheet Title:  
Floor Plans:  
PROPOSED ROOF

Scale:  
As Noted

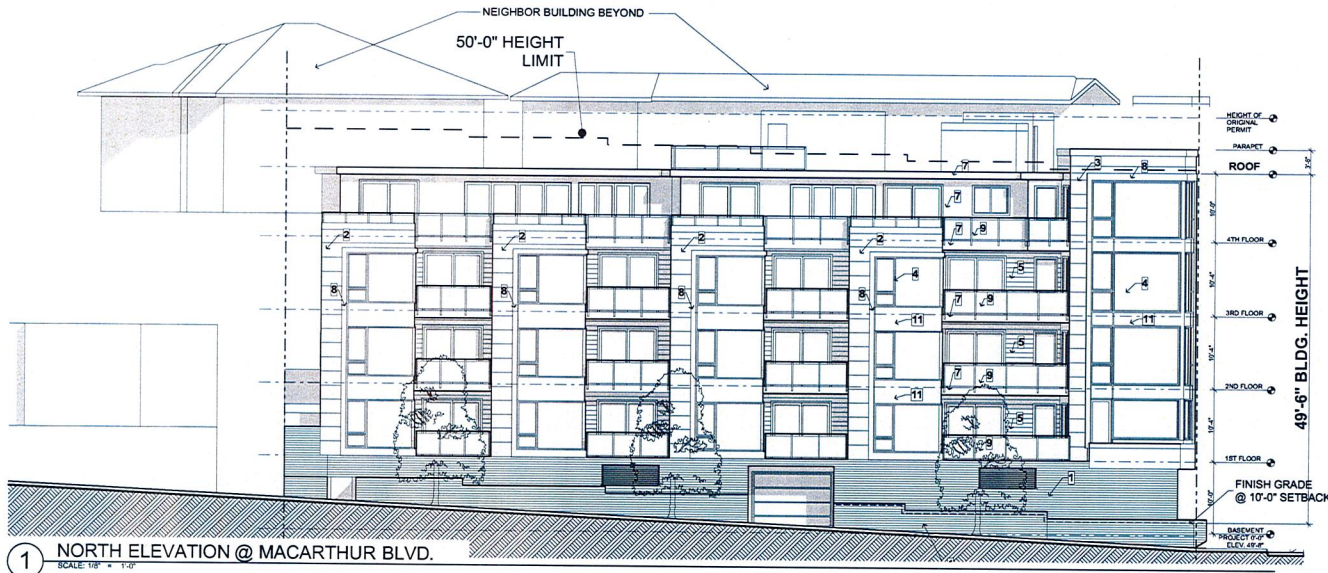
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Drawn By:  
MGG

Job Number:  
1-714

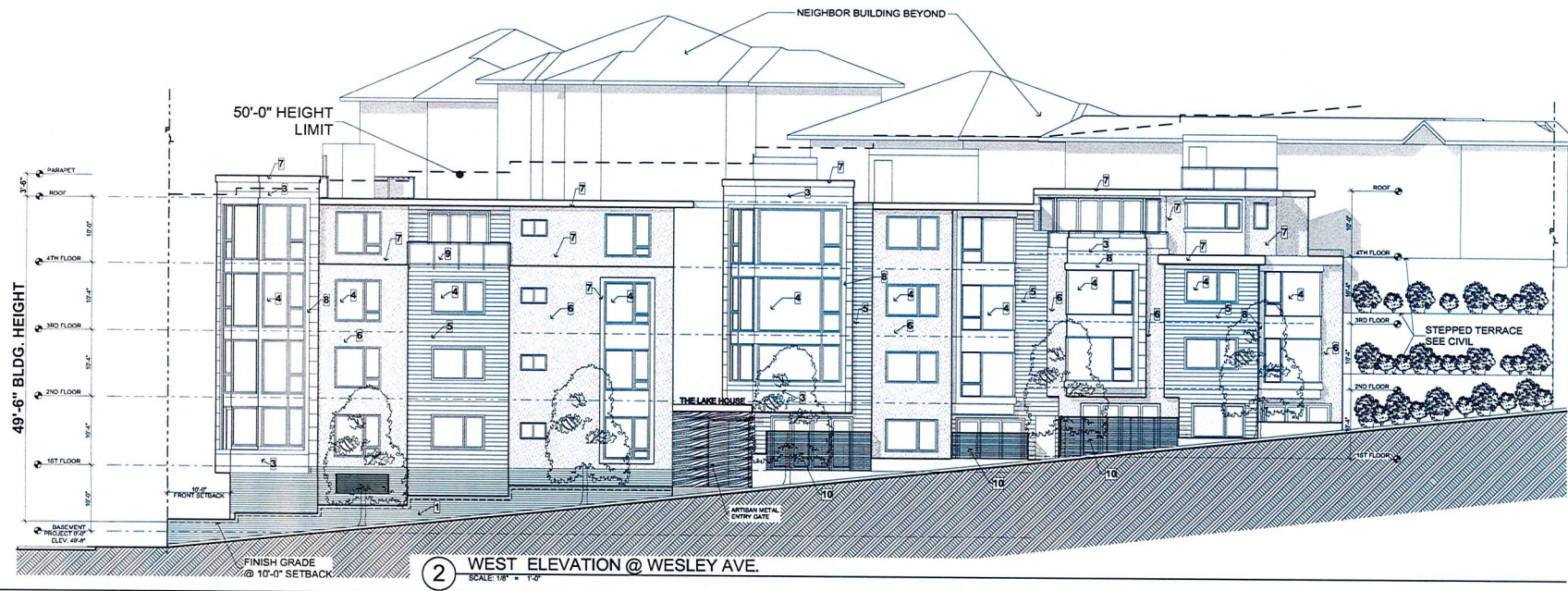
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A2.5



1 NORTH ELEVATION @ MACARTHUR BLVD.  
SCALE: 1/8" = 1'-0"

- 1 CAST IN PLACE CONCRETE W/ WOOD FORM BOARDS FOR WOOD GRAIN TEXTURE
- 2 TRESPA METEON RAIN SCREEN PANEL L25.8.1 DIFFUSE
- 3 TRESPA METEON RAIN SCREEN PANEL A06.3.5
- 4 3" RECESSED ANODIZED ALUM. "SILVER" WINDOWS W/ CLEAR GLASS & ALUM. PANELS
- 5 CEDAR SIDING STAINED & SEALED
- 6 CEMENT PLASTER PAINTED DUNN EDWARDS 726 ADOBE
- 7 CEMENT PLASTER PAINTED & 2X10 FASCIA PAINTED DUNN EDWARDS DEW386 PRECIOUS PEARLS
- 8 AZEK TRIM PAINTED DUNN EDWARDS DET 586 PACIFIC BLUES
- 9 ANODIZED ALUM GUARDRAILS W/ TEMPERED FROSTED GLASS
- 10 GALVANIZED HORIZONTAL BAR FENCING & GATES
- 11 ANODIZED ALUM PANEL



2 WEST ELEVATION @ WESLEY AVE.  
SCALE: 1/8" = 1'-0"

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THE LAKE HOUSE DEVELOPMENT  
25 RESIDENTIAL UNITS  
601 MacARTHUR BOULEVARD  
OAKLAND, CA

Sheet Title:  
Exterior Elevations:  
NORTH & WEST

Date: As Noted  
Date:  
Drawn By: MGG  
Job Number: 1-714

Sheet:  
A3.0

WPLLED20DC



Project: Type: F-1  
Prepared By: Date:

Driver Info	LED Info
Type: DC to DC	Input: 200V
Output: 12V	Output: 500mA (500mA)
Power: 24W	Color Temp: 5000K
Efficiency: 85%	Power Factor: 0.95
Dimensions: 20x10x10	Weight: 0.15g

Technical Specifications

**LED Characteristics**  
 Lifetime: 100,000 hours (LED Mean Time Between Failure (MTBF) based on MIL-STD-883C)

**LEDs:**  
 100% Bin Sort and High Output Surge (HOS) LEDs

**Color Consistency:**  
 100% Bin Sort and High Output Surge (HOS) LEDs

**Color Stability:**  
 LED color performance is guaranteed to shift no more than 3nm in CCT over a 5 year period.

**Color Accuracy:**  
 ±0.2nm

**Color Temperature:**  
 5000K

**Color Uniformity:**  
 ±10% variation in CCT (Consistent Color Temperature) across the entire length of the LED strip.

**Electrical**  
 Max Input: 240V AC, Input Power: 24W (100% Duty Cycle)  
 Max Output: 12V, Output Power: 24W (100% Duty Cycle)  
 Surge Protection: 100%

RAB

Project: Type: F-1

Prepared By: Date:

Driver Info	LED Info
Type: DC to DC	Input: 200V
Output: 12V	Output: 500mA (500mA)
Power: 24W	Color Temp: 5000K
Efficiency: 85%	Power Factor: 0.95
Dimensions: 20x10x10	Weight: 0.15g

DESCRIPTION

The Halo Surface LED Downlight (SLD) incorporates Wavelength-tuned technology to create an ultra-low profile, surface-mounting downlight with the performance and look of a traditional downlight. SLD is designed for installation in new electrical and mechanical applications. SLD is designed for installation in new electrical and mechanical applications. SLD is designed for installation in new electrical and mechanical applications. SLD is designed for installation in new electrical and mechanical applications.

CONSTRUCTION

- Die cast aluminum trim ring, and heat treated aluminum frame.
- Proprietary Slot-N-Lock quick installation system for junction box installation.
- Tronix with Slot-N-Lock mounting hole included.
- Tronix with Slot-N-Lock mounting hole included.
- Tronix with Slot-N-Lock mounting hole included.

DEBONDER TIME

SLD design time is an arbitrary time that must be used for a permanent finish. Refer to SLD accessories specification sheet for details.

- White (Paintable)
- Black (Paintable)
- Black (Paintable)
- Black (Paintable)

ELECTRICAL JUNCTION BOX MOUNTING

Cooper Lighting provides a free LED lighting solution on the SLD LED downlight.

LED DIMENSIONALITY

A light dimensibility application ensures LED color consistency, uniform Color Rendering Index (CRI) and Consistent Color Temperature (CCT) over time. Drive temperature 2.0°C.

NEW FIRE RATING IS PER LISTING OF THE PRODUCT LINE AND SLD.

Every Halo LED is quality tested, measured, and certified in a permanent record to register systems, savings, CRI and CCT.



Cooper Lighting by SLD

HALO

Project: Type: F-2
Prepared By: Date:



SLD 600 Series SLD606xWHJB 2700K, 3000K, 3600K, and 4000K

SLD606xWHJB 2700K, 3000K, 3600K, and 4000K

6" Surface LED Downlight

Suitable for ceiling or wall electrical junction boxes

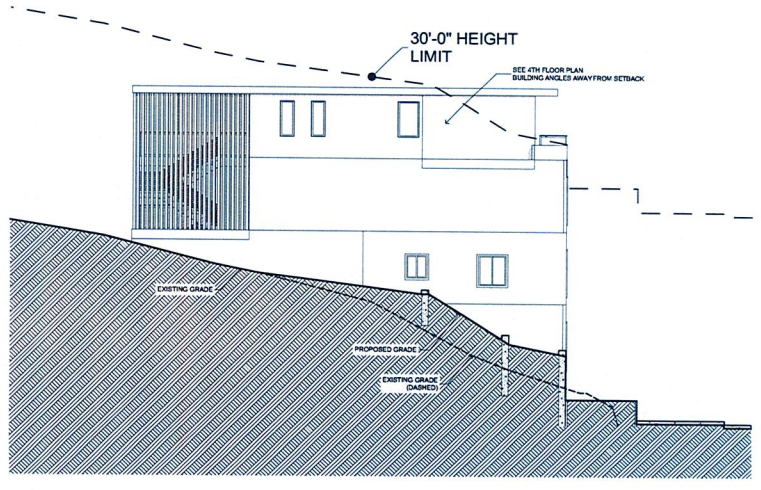
ENERGY DATA	W	W/W
Power	24	0.16
Power Factor	0.95	0.95
Efficiency	85%	85%
Power Factor	0.95	0.95
Power Factor	0.95	0.95
Power Factor	0.95	0.95

NOMENCLATURE  
 SLD606xWHJB  
 6" x 6" SLD606 Series  
 6" x 6" SLD  
 36" x 3000K  
 WH = White  
 JB = Junction Box Kit only

ADV141276  
 www.halo.com



2 SOUTH ELEVATION  
 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION  
 SCALE: 1/8" = 1'-0"

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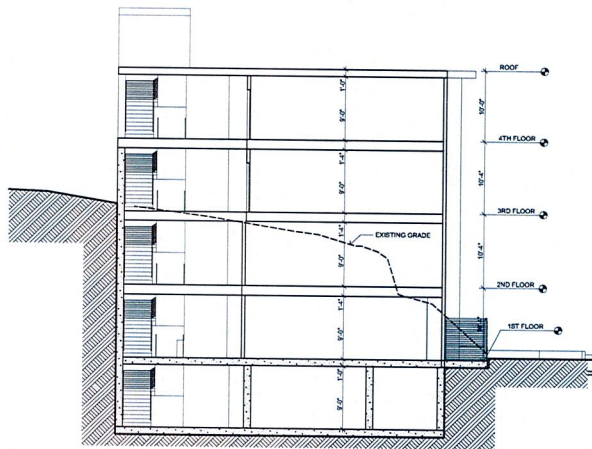
Revision	By
Planning Submittal Set 07.25.17	BM
Revised Set 12.12.17	BM

THE LAKE HOUSE DEVELOPMENT  
 25 RESIDENTIAL UNITS  
 601 MACARTHUR BOULEVARD  
 OAKLAND, CA

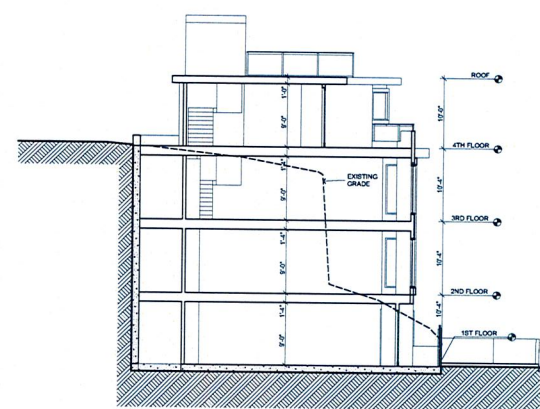
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 Exterior Elevations:  
 EAST & SOUTH

Scale:	As Noted
Drawn By:	MGG
Job Number:	1-714

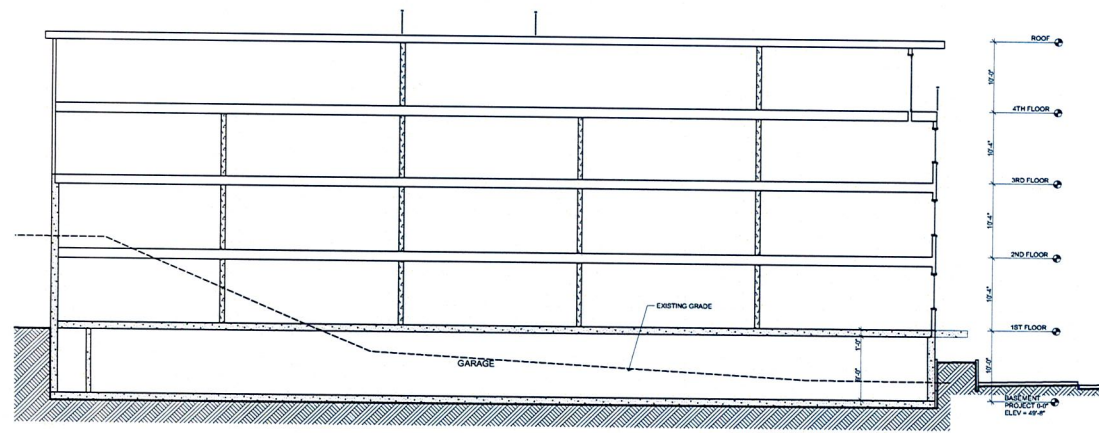
A3.1



1 EAST-WEST SITE SECTION #5  
SCALE: 1/8" = 1'-0"



2 EAST-WEST SITE SECTION #6  
SCALE: 1/8" = 1'-0"



3 EAST-WEST SITE SECTION #4  
SCALE: 1/8" = 1'-0"

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THE LAKE HOUSE DEVELOPMENT  
25 RESIDENTIAL UNITS  
601 MacARTHUR BOULEVARD  
OAKLAND, CA

Sheet Title  
Sections:  
EAST-WEST

Scale: As Noted

Date:

Drawn By: MGG

Job Number: 1-714

Drawn:

A4.0

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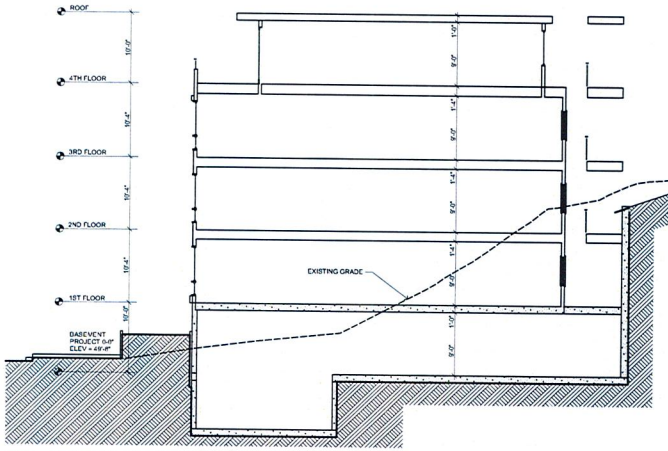
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THE LAKE HOUSE DEVELOPMENT  
25 RESIDENTIAL UNITS  
601 MacARTHUR BOULEVARD  
OAKLAND, CA

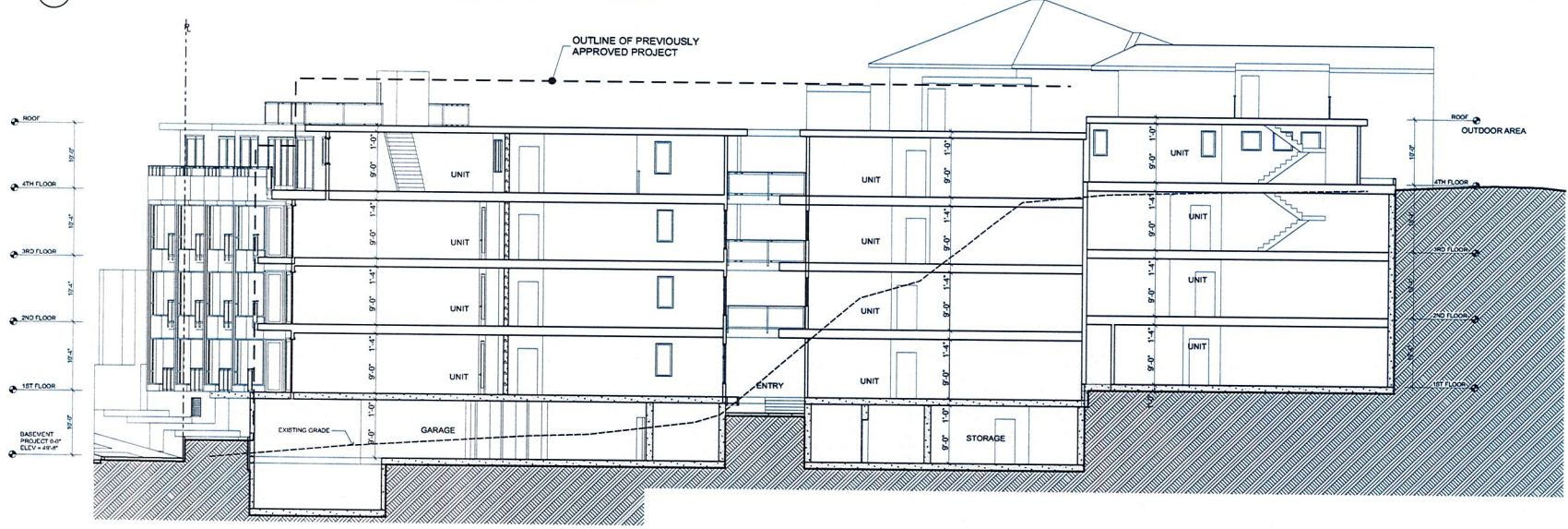
Sheet Title  
Sections:  
NORTH-SOUTH

Scale: As Noted  
Date:  
Drawn By: MGG  
Job Number: 1-714  
Sheet:

A4.1



1 NORTH-SOUTH SITE SECTION #2  
SCALE: 1/8" = 1'-0"



2 NORTH-SOUTH SITE SECTION #7  
SCALE: 1/8" = 1'-0"

# 601 MACARTHUR BLVD.

OAKLAND, CA

## GENERAL NOTES

- THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF ENGINEER.
- EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEETING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL EFFECT NECESSARY REPAIR OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH AND/OR STRUCTURE IS FIVE FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING, SHORING AND BRACING OR EQUIVALENT METHOD, FOR THE PROTECTION OF LIFE OR LIMB, WHICH SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA, THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.
- ALL APPLICABLE REQUIREMENTS OF THE CALIFORNIA CONSTRUCTION AND GENERAL INDUSTRY SAFETY ORDERS, THE OCCUPATIONAL SAFETY AND HEALTH ACT AND THE CONSTRUCTION SAFETY ACT SHALL BE MET.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PERMITS NECESSARY TO PERFORM THE WORK SHOWN IN THESE PLANS FROM THE APPROPRIATE AGENCIES.
- THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF AN AIRBORNE DUST NUBANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR FAILURE TO DO SO.
- THE CONTRACTOR MUST PROVIDE FOR SAFE ACCESSIBLE INGRESS AND EGRESS FOR ADJACENT PROPERTY OWNERS AND EVA THROUGHOUT THE PERIOD OF CONSTRUCTION. TEMPORARY THROUGH ACCESS FOR THE GENERAL PUBLIC DUE TO CONSTRUCTION STAKING OR LIMITATIONS MUST BE FULLY REVERSED AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. ALL ACCESS MUST BE SAFE, SECURED, FLAGGED, SIGNED, AND ACCESSIBLE TO THE APPROVED SITE ACCESS PLAN SUBMITTED BY THE CONTRACTOR AND REQUIRED BY THE OWNER.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EMERGENCY VEHICLE ACCESS, PUBLIC SAFETY AND SAFETY OF EXISTING STRUCTURES. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, FENCINGS, BARRICADES, TRAFFIC CONTROLS, FLAGGERS, SHORING, BRACING AND GUTTERS OR OTHER DEVICES NECESSARY TO PROVIDE FOR SAFETY IN ACCORDANCE WITH ALL NATIONAL, STATE SPECIFIC AND LOCAL SAFETY ORDINANCES.
- THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE, AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF JOB SITE.
- ALL EXISTING UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST THREE (3) WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.) AT 800-327-2600. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTORS FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.
- ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION MUST BE COMPLETELY RESTORED TO THE SATISFACTION OF THE CITY ENGINEER OR UTILITY AGENCY REPRESENTATIVE, AT THE CONTRACTORS SOLE EXPENSE.
- ANY RELOCATION OF PUBLIC UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE UTILITY COMPANY REPRESENTATIVE INCLUDING FEES, BONDS, PERMITS AND WORKING CONDITIONS, ETC. THIS WORK SHALL BE DONE AT NO EXPENSE TO THE UTILITY COMPANY. THE OWNER SHALL PAY THE COST OF ALL SUCH RELOCATION WORK INCLUDING FEES, BONDS, PERMITS, ETC.
- THE CONSTRUCTION OF ALL GRAVITY UNDERGROUND LINES (STORM DRAINS) SHALL BEGIN AT THE MOST DOWNSTREAM END, UNLESS OTHERWISE SPECIFICALLY APPROVED BY ENGINEER OR BY THE OWNER.
- IF ARCHEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER EXCAVATION, EARTHWORK WITHIN 50 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHEAEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHEAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.
- THE USE OR INSTALLATION OF ANY MATERIAL OR EQUIPMENT WHICH IS MADE FROM OR WHICH CONTAINS ASBESTOS FOR USE IN THE CONSTRUCTION OF THESE IMPROVEMENTS IS NEITHER SPECIFIED NOR RECOMMENDED. ANY PARTY INSTALLING OR USING ANY PARTS SUCH MATERIALS OR EQUIPMENT SHALL BE SOLELY RESPONSIBLE FOR ALL INJURIES, DAMAGES, OR LIABILITIES OF ANY KIND, CAUSED BY THE USE OF SUCH MATERIALS OR EQUIPMENT.
- THE CONTRACTOR MUST MEET AND IMPLEMENT ALL NPDES, SWPPP, AND EROSION CONTROL REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE ON ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT GATES & ASSOCIATES AT (925) 736-8176 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

## LAYOUT NOTES

- CONTRACTOR SHALL VERIFY ALL UTILITIES, GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- ALL WRITTEN DIMENSIONS SUPERSEDE ALL SCALED DISTANCES AND DIMENSIONS. DIMENSIONS SHOWN ARE FROM THE FACE OF THE BUILDING, WALL, BACK OF CURB, EDGE OF WALK, PROPERTY LINE, OR CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL DIMENSIONS AT BUILDING ARE TO FACE OF BUILDING. ALL DIMENSIONS AT ROADWAY ARE TO FACE OF CURB.
- ALL ANGLES ARE 45 DEGREE, 90 DEGREE, OR 135 DEGREE UNLESS OTHERWISE NOTED.
- ALL CURVES AND ALL TRANSITIONS BETWEEN CURVES AND STRAIGHT EDGES SHALL BE SMOOTH.
- ALL RETURN RADI AND CURB DATA ARE TO FACE OF CURB.
- WHENEVER BOTTOM OF WALL (BW) ELEVATION IS GIVEN, IT IS FINISH PAVEMENT OR GRADE ELEVATION AT FACE OF WALL.
- SCORE LINES IN SIDEWALKS SHALL BE SPACED TO EQUAL THE WIDTH OF THE WALKWAY, UNLESS OTHERWISE SHOWN. EXPANSION JOINTS IN SIDEWALKS SHALL BE 30" ON CENTER MAXIMUM.
- EXPANSION JOINTS IN CONCRETE WALLS SHALL BE AT 40' O.C. MAXIMUM.
- BUILDING LAYOUT AND LOCATION, SIDEWALK, CURB AND GUTTER, GRADING AND DRAINAGE IS BASED ON DRAWINGS PREPARED BY THE ARCHITECT AND THE CIVIL ENGINEER.
- STATIONING HEREON IS ALONG CONSTRUCTION CENTERLINE UNLESS OTHERWISE SHOWN OR INDICATED.
- ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTORS NEGLIGENCE WILL BE CHARGED TO THE CONTRACTOR ON A TIME AND EXPENSE BASIS AND PAID FOR BY THE CONTRACTOR.
- SEE IRRIGATION DRAWINGS FOR GENERAL SYSTEM REQUIREMENTS AND FOR LOCATION OF IRRIGATION MAINLINE PIPING. SLEEVES TO APPROPRIATE IRRIGATION PIPING, SIZED AS NEEDED, SHALL BE IN PLACE UNDER AND THROUGH SLABS AND WALLS, PRIOR TO POURING.
- PROVIDE CONTINUOUS HEADERS AT THE EDGES OF ALL ASPHALT, SHRUB AREAS, LAWN AREAS, DECOMPOSED GRANITE WHERE IT IS NOT CONSTRAINED BY A CONCRETE PAVING OR HOW BAND.
- ALL CONCRETE PAVEMENTS SHALL BE DOWELED INTO CURBS, SIDEWALKS, AND BUILDING FOUNDATIONS.
- REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION, SECTIONS, REINFORCEMENT, AND PREPARATION. IN CASE OF DISCREPANCY THE GEOTECHNICAL REPORT SHALL GOVERN.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.
- ANY AND ALL WORK WITHIN CITY RIGHT OF WAY SHALL CONFORM TO ALL CITY STANDARD DETAILS AND SPECIFICATIONS.
- CONCRETE FOOTINGS INSTALLED FOR ALL SITE FURNISHINGS, SPORTS EQUIPMENT, ETC., IN DECORATIVE PAVEMENT, ASPHALT PAVING, DECOMPOSED GRANITE, CONCRETE PAVING, AND PLANTERS SHALL BE HELD BELOW GRADE.
- ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED AS REQUIRED. ANY DAMAGED ITEMS SHALL BE FULLY REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE TO THE FULL SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH OPERATIONS.
- ALL QUANTITIES AND PAY ITEMS ARE AND WILL BE BASED ON HORIZONTAL MEASUREMENTS.
- ALL PATTERNS, LINE TYPES, AND SYMBOLS SHOWN WITHIN THE PLAN SET REFERENCE THE LAYOUT LEGEND AND ARE PART OF THE SCOPE OF WORK. CALLOUTS ARE SHOWN FOR CLARIFICATION OF WORK, BUT DO NOT INDICATE EVERY AND ALL INSTANCES OF SUCH WORK. THE CONTRACTOR SHALL REQUEST CLARIFICATION TO ANY ITEMS (INCLUDING BUT NOT LIMITED TO PAVING, WALLS, FINISHES, COLORS, FENCING, FOUNTAINS, POETS, AND SITE FURNITURE) NOT CLEARLY IDENTIFIED TO BE PART OF THE SCOPE OF WORK PRIOR TO BID.

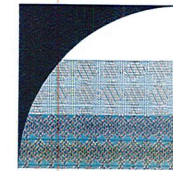
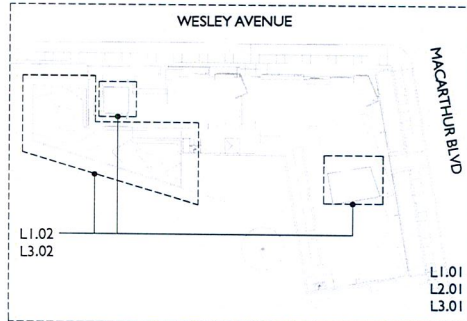
## ABBREVIATIONS

~	ALIGN
⊕	CENTER LINE
CONT.	CONTINUOUS
EQ.	EQUAL
F.O.B.	FACE OF BUILDING
+	POINT OF BEGINNING
PL	PROPERTY LINE
R	RADIUS - ALL RADI GIVEN FOR WALLS ARE DIMENSIONED TO OUTSIDE OF WALLS
S.A.D.	SEE ARCHITECTS DRAWINGS
S.C.D.	SEE CIVILS DRAWINGS
S.S.D.	SEE STRUCTURALS DRAWINGS
SM	SIMILAR
SP	SPACING
TBD	TO BE DETERMINED
TYP.	TYPICAL

## SHEET LIST TABLE

Sheet Number	Sheet Title
L0.1	LAYOUT NOTES AND LEGENDS
L0.2	PLANTING NOTES AND LEGENDS
L1.01	LAYOUT PLAN
L1.02	LAYOUT PLAN
L2.01	IRRIGATION PLAN
L2.02	IRRIGATION NOTES AND LEGENDS
L2.03	IRRIGATION DETAILS
L2.04	IRRIGATION DETAILS
L2.05	IRRIGATION DETAILS
L3.01	PLANTING PLAN
L3.02	PLANTING PLAN
L4.01	CONSTRUCTION DETAILS
L4.02	LIGHTING SPECS

## SHEET MAP



**GATES**  
+ASSOCIATES  
LANDSCAPE ARCHITECTURE  
LAND PLANNING • URBAN DESIGN  
2621 CROW CANYON RD. SAN RAFAEL, CA 94583  
T 925.736.8176 www.gatesai.com

601  
MACARTHUR  
BLVD.  
OAKLAND  
CA

ISSUE DESCRIPTION DATE  
1 PLANNING SUBMITTAL 10/06/2017

NOT FOR  
CONSTRUCTION



PROJECT NUMBER: 5352  
DRAWN: JK  
CHECK: RC  
DATE: 10/06/2017  
SCALE:



LAYOUT NOTES AND  
LEGENDS

L0.1



## PLANTING NOTES

- GENERAL:
- ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH PLANTING WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
  - ALL QUANTITIES AND PLANT COUNTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR IN CASE OF DISCREPANCIES, THE PLAN SHALL GOVERN.
  - THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS, AND DELETIONS IN THE PLANTING SCHEME AS THEY FEEL NECESSARY WHILE WORK IS IN PROGRESS, UPON APPROVAL BY THE OWNER. SUCH CHANGES ARE TO BE ACCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE, WHEN NECESSARY.
  - PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD BY THE LANDSCAPE ARCHITECT. PLANT LOCATIONS ARE TO BE ADJUSTED IN THE FIELD AS NECESSARY TO SCREEN UTILITIES, BUT SHALL NOT BLOCK WINDOWS, BLOCK SIGNS NOR IMPIDE ACCESS.
  - THE DESIGN INTENT OF THE PLANTING PLAN IS TO ESTABLISH AN ATTRACTIVE MATURE LANDSCAPE APPEARANCE. FUTURE PLANT GROWTH WILL NECESSITATE TRIMMING, SHAPING, AND IN SOME CASES REMOVAL OF TREES AND SHRUBS AS AN ON-GOING MAINTENANCE PROCEDURE.
  - ALL PLANTING AREAS MUST BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE FULLY AUTOMATED AND OPERATIONAL WITH FULL COVERAGE PRIOR TO PLANTING.
  - CONTRACTOR TO REVIEW ALL EXISTING PROPOSED, & AS-BUILT UTILITY PLANS PRIOR TO CONSTRUCTION. CONTRACTOR TO TAKE PRECAUTIONS IN EXCAVATION OF ALL TREE PLANTING PITS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS FOUND DURING CONSTRUCTION.
  - CONTRACTOR MUST REVIEW ALL PLANS PRIOR TO THE BEGINNING OF CONSTRUCTION AND MAINTAIN THE FOLLOWING CLEARANCES FOR ALL TREE PLANTINGS: CONTRACTOR TO TAKE PRECAUTION IN ALL EXCAVATION ACTIVITY. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION.
    - FIRE HYDRANTS AND PWS: 3" MINIMUM LIGHT POLES: 10" MINIMUM
    - LITIGATION: 3" MINIMUM
    - BUILDING ROOF EDGE: 5" MINIMUM
  - CONTRACTOR TO PROVIDE AND ARRANGE FOR PLANT MATERIAL THRU CONTRACT GROW, PLANT BROKERS, OR DIRECT PURCHASE AS REQUIRED FOR THE FULL IMPLEMENTATION OF THE PROJECT'S PLANTING PLAN. CONTRACTOR MUST SUBMIT WITHIN 30 DAYS AFTER AWARD OF THE PROJECT A NURSERY LIST OF REQUIRED PLANT MATERIAL, CONTRACT GROW PLANT MATERIAL, AND ANY SUBSTITUTION REQUESTS. CONTRACTOR SHALL ORDER AND SECURE ALL PLANT MATERIAL WITHIN 30 DAYS OF BID. UPON DELIVERY, PLANT MATERIAL THAT DOES NOT MEET NURSERY STANDARDS IS REJECTED. OF POOR QUALITY & HEALTHY, SUSTANDARD SIZE, AND/OR IS NOT APPROVED BY THE LANDSCAPE ARCHITECT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. MATERIAL WHICH IS NOT SECURED AND IS UNAVAILABLE IN THE SIZE SPECIFIED SHALL BE UP-SIZED, IF AVAILABLE. ALL REPLACEMENT MATERIAL, SUBSTITUTIONS OR UP-SIZED PLANT MATERIAL MUST BE PROVIDED AS REQUIRED FOR THE FULL IMPLEMENTATION OF THE PLANTING PLAN AT NO ADDITIONAL COST TO THE CONTRACT AND OWNER.
  - PROCUREMENT OF PLANT MATERIAL SHALL NOT BE LIMITED TO NORTHERN CALIFORNIA. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRUCKING, INSPECTIONS, AND LOGGING OF EXISTING PLANT MATERIAL FROM SOURCES OUT OF STATE AS REQUIRED BY THE PROJECT PLANTING PLAN.
- EXISTING PLANT MATERIAL
- ALL EXISTING PLANT MATERIAL, TREES, OR LAWN TO REMAIN MUST BE PROTECTED AND MAINTAINED IN PLACE BY THE CONTRACTOR.
  - ANY DAMAGED MATERIAL MUST BE FULLY REPLACED TO MATCH EXISTING BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACT AND OWNER.
  - CONTRACTOR MUST MAINTAIN ANY EXISTING IRRIGATION SYSTEMS OR PROVIDE TEMPORARY IRRIGATION SYSTEMS AS REQUIRED TO ALL EXISTING PLANTING AREAS TO REMAIN.
- SOILS
- THE CONTRACTOR MUST PROVIDE AN AGRICULTURAL SUITABILITY ANALYSIS FOR ALL SOILS EXISTING AND IMPORTED INCLUDING BUT NOT LIMITED TO: EXISTING ON-SITE SOILS, IMPORTED TOPSOIL, LINE TREATED AREAS, AND ALL AMENDMENTS. RECOMMENDATIONS FOR AMENDMENTS CONTAINED IN THIS ANALYSIS ARE TO BE CARRIED OUT BEFORE PLANTING OCCURS. PROVIDE 2 TESTS AT 4" DEPTH AND 2 TESTS AT 24" DEPTH THROUGHOUT THE SITE. PROVIDE ADDITIONAL TESTING ONE 6" AND ONE 18" DEPTH TEST PER 25,000 SF FOR AREAS WHICH WERE LIME TREATED. EACH TEST SAMPLE SHALL CONTAIN 3 REPRESENTATIVE SOIL SAMPLES. ALL LIME TREATED PLANTING AREAS SHALL BE REMOVED AND REPLACED WITH IMPORT TOP SOIL AT NO COST TO THE OWNER. ALL TESTING SHALL BE PAID FOR BY THE CONTRACTOR. FOR BURD PILES AMEND ALL SOIL WITH 4 YARDS ORB COMPOST SOILS OYSPUM AND 100LBS OF GROMOXEM PLUS 3-1 WITH PER 1000L COMPOST CONTRACTOR TO SUBMIT ALL DELIVERY TICKETS FOR COMPOST AND FERTILIZERS FOR VERIFICATION.
  - ALL SOILS IMPORTED ONTO THE SITE FOR ANY PURPOSE SUCH AS GRADING, NON EXPANSIVE FILL, FILL OR FOR ANY GENERAL PURPOSE MUST BE TESTED FOR PLANT SUITABILITY PRIOR TO PLACEMENT. ALL IMPORT SOILS SHALL BE NON-GETHERMENTAL TO PLANT MATERIAL AND SOILS ANALYSIS SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. PROVIDE 1 TEST PER 500 CY OF MATERIAL.
  - SOIL IS TO BE AMENDED, AT THE RATE INDICATED BY THE SOIL ANALYSIS, TO BRING THE SOIL ORGANIC MATTER CONTENT TO A MINIMUM OF 1.5% BY DRY WEIGHT, AND A MINIMUM OF 2" OF QUALITY RECYCLED COMPOST, ON ALL PLANTING AREAS.
  - ALL PLANTERS IN AREAS WHICH HAVE BEEN COMPACTED, SUCH AS ADJACENT TO BUILDINGS AND IN PARKING LOTS, SHALL BE CROSS PRIED TO THE FOLLOWING DEPTHS: PLANTERS LESS THAN THREE (3) FEET WIDE SHALL HAVE COMPACTION RELIEVED TO A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES BELOW SUBGRADE. PLANTERS THREE TO TEN (3) FEET WIDE MUST HAVE COMPACTION RELIEVED TO A MINIMUM DEPTH OF 18" BELOW SUBGRADE. PLANTERS MORE THAN 10' WIDE SHALL HAVE COMPACTION RELIEVED TO A MINIMUM DEPTH OF 12" BELOW SUBGRADE. AREAS SHALL BE PROTECTED AFTER DECOMPACTION.
  - CONTRACTOR SHALL PERFORM A PERCOLATION TEST AT THE BEGINNING OF CONSTRUCTION AT 1 LOCATION PER ACRE (MAX OF 4) TO DETERMINE THE DRAINAGE CAPACITY OF THE EXISTING SITE SOIL FOR TREE HEALTH. NOTIFY THE LANDSCAPE ARCHITECT IF DRAINAGE IS LESS THAN 2" PER HOUR.
- TREES
- ALL TREES SHALL BE SPECIMENS UNLESS SPECIFICALLY NOTED.
  - ALL TREES ARE TO BE STAKED AS SHOWN ON THE TREE STAKING/CUTTING DIAGRAMS. BRANCHING HEIGHT OF TREES SHALL BE 4'-6" MINIMUM ABOVE FINISH GRADE. ALL TREES IN A FORMER GROUP PLANTING MUST BE MATCHING IN SIZE AND SHAPE. ALL STREET TREES TO BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE OWNER. LANDSCAPE ARCHITECT SHALL BE CONSULTED REGARDING ORIENTATION OF TREES PRIOR TO PLANTING AND/OR BACKFILLING.
  - PLANT TREES 3'-0" MINIMUM FROM FACE OF CURB AT PARKING, AND FROM EDGES OF PAVING. ALL TREES WITHIN 10' OF PAVING AREAS AND BUILDINGS MUST HAVE ROOT BARRIERS INSTALLED. SEE ROOT BARRIER DETAIL. DEEP ROOT BARRIER MODEL NO. LB 24.2 (415) 344-1464. INSTALL PER MANUFACTURER'S SPECIFICATIONS. WHERE WATER BARRIERS AND ROOT BARRIERS ARE REQUIRED, USE CENTURY PRODUCTS EQUAL PLUS/USE WATER ROOT BARRIER CR-24-20, (714) 932-7065, 5 C.D.C. FOR LOCATIONS OF WATER BARRIER.
  - PROVIDE 4' BERM AROUND TREE FOR WATER BASIN. SEE TREE STAKING DETAIL. BERM TO BE REMOVED IN LAWN AREA AFTER INITIAL MAINTENANCE PERIOD. MULCH TREE WELL WITH 3" LAYER OF RECYCLED CHIPPED MULCH. KEEP MULCH AWAY FROM TREE TRUNK. HOLD LAWN AND HYDRATED 2" CLEAR FROM TRUNKS. TP
  - TREES MUST HAVE A NORMAL CALIPER AND HEIGHT FOR CONTAINER SIZE. OVERGROWN OR ROOT BOUND TREES ARE NOT ACCEPTABLE.
  - FOR ALL TREES IN STORMWATER INFILTRATION ZONES HOLD RG OF ROOTBALL 4" ABOVE FG OF FLOWLINE. ADJUST ADJACENT GRADE OF SOIL TO BE INSURED AROUND ROOTBALL AND ALLOW UNIMPEDDED FLOW OF WATER.

## PLANTING NOTES (CONT)

- SHRUBS, GROUNDCOVERS AND VINES
- GROUNDCOVER MUST BE PLANTED AS SHOWN ON THE PLAN, INCLUDING UNDERSHRUBS AND IN TREE WATERING BASINS.
  - SHRUBS AND PERENNIALS MUST HAVE ADEQUATE SETBACK FROM THE ADJACENT SIDEWALK EDGES OF PARKING LOT CURBS. NOTIFY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION IF PLANT MATERIAL MAY INTERFERE INTO THE PATH OF TRAVEL.
  - THE CONTRACTOR IS TO SECURE ALL VINES TO TRELISES WITH APPROVED FASTENERS, ALLOWING FOR TWO (2) YEARS GROWTH. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT.
- ACCESSORIES
- ALL PLANTING NOT BOUNDED BY CONCRETE OR A HARDSCAPE EDGE SHALL BE COMPLETELY SURROUNDED BY HEADERS AND DECOMPOSED GRANITE AREAS TO BE COMPLETELY SURROUNDED BY HEADERS OR ADJACENT CONCRETE WORK.
  - ALL PLANTING AREAS MUST BE TOP-DRESSED WITH 3" LAYER OF RECYCLED CHIPPED MULCH. COLOR BROWN. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
  - ALL MULCH WITHIN STORMWATER PLANTING AREAS MUST BE 3" OF WASHED FE#4 GRAVEL. SUBMIT SAMPLE FOR REVIEW AND APPROVAL.
  - ALL STORMWATER CURB CUTS MUST BE REINFORCED WITH A MINIMUM 12" WIDE 11# LONG x 4" DEEP BAND OF COBBLE. COBBLE SHALL BE 40% 4"-6" AND 60% 2"-3" NOVO COBBLE. PROVIDE 24" WIDE BY 6" DEPTH OF COBBLE AROUND ALL CATCH BASINS LOCATED IN DRAINAGE AREAS. SUBMIT SAMPLE FOR REVIEW AND APPROVAL.
  - ALL RAINWATER LEADERS DISCHARGING INTO LANDSCAPE AREAS MUST HAVE SPLASH BLOCKS. MODEL: CDS 1604. COLOR TO MATCH PAVING. (800) 279-2728.
  - ALL SLOPES GREATER THAN 2.5:1 MUST BE COVERED WITH EROSION CONTROL NETTING PER THE WITH METAL STAPLES. EROSION CONTROL NETTING TO BE WESTERN EXCELSEED, EXCEL 353 OR APPROVED EQUAL. AVAILABLE FROM REEB & GRAHAM 888-381-0000.

- THE LANDSCAPE CONTRACTOR SHALL AS A PART OF THIS BID PROVIDE FOR A PLANTING ALLOWANCE FOR THE AMOUNT OF \$3,000.00 (THREE THOUSAND DOLLARS). TO BE USED FOR SUPPLYING AND INSTALLING ADDITIONAL PLANT MATERIAL AS DIRECTED BY THE LANDSCAPE ARCHITECT AND APPROVED BY THE OWNER IN WRITING. THE UNUSED PORTION OF THE ALLOWANCE SHALL BE REFUNDED TO THE OWNER AT THE CLOSE OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS FOR ALL FERTILIZER REQUIREMENTS.
  - CONTRACTOR MUST SUBMIT ALL TESTS, PRODUCTS, ACCESSORIES, CUT SHEETS OF ALL ITEMS SPECIFIED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
  - ALL PLANT MATERIAL MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY. CONTRACTOR SHALL SUBMIT PHOTOS OF ALL SHRUBS, GROUND COVER, VINES, AND TREES FOR PRELIMINARY REVIEW AND APPROVAL.
  - PLANT MATERIAL NOT APPROVED BY THE LANDSCAPE ARCHITECT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT WITH APPROVED PLANT MATERIAL AT NO ADDITIONAL COST TO THE CONTRACT OR OWNER.
- MUNICIPAL REQUIREMENTS
- ALL PLANT MATERIAL TO BE INSPECTED & APPROVED BY CITY REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - CONTACT THE PROJECT LANDSCAPE ARCHITECT FOR FINAL INSPECTION OF LANDSCAPE AND IRRIGATION. PRIOR TO RELEASE OF BUILDING FOR OCCUPANCY, THE PROJECT LANDSCAPE ARCHITECT WILL SUBMIT A LETTER TO THE CITY CERTIFYING THE PLANTING AND IRRIGATION HAS BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANTING AND IRRIGATION PLANS, SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY LANDSCAPE ARCHITECT. SECURITIES IN LIEU OF INSTALLATION WILL NOT BE ACCEPTED.
- DURING THE INSTALLATION OF LANDSCAPING AND INSTALLATION AND PRIOR TO THE ISSUANCE OF A BUILDING OCCUPANCY PERMIT, THE LANDSCAPE ARCHITECT MUST INSPECT AND MONITOR THE INSTALLATION OF MATERIALS TO VERIFY CONFORMANCE TO THESE PLANS. ONCE APPROVED, THE LANDSCAPE ARCHITECT SHALL PROVIDE A WRITTEN LETTER TO DEPARTMENT OF PLANNING AND DEVELOPMENT STATING COMPLIANCE WITH THE APPROVED PLANS.

- CONTRACTOR SHALL CONTRACT WITH AN ARBORIST AS REQUIRED TO ENSURE PROPER TREE HEALTH IF A PROJECT ARBORIST OR CITY ARBORIST HAS NOT BEEN CONTACTED.

## WATER CONSERVATION STATEMENT

- THE PLANT LIST IS PRELIMINARY IN NATURE. SPECIES SHALL BE ADDED AND SUBTRACTED TO FULFILL THE DESIGN AND HORTICULTURAL REQUIREMENTS AS NECESSARY.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED WITH WATER CONSERVATION IN MIND WHILE ACHIEVING THE GOAL OF EFFECTIVELY AND EFFICIENTLY PROVIDING THE LANDSCAPE WITH WATER BY MEANS OF SPRAY IRRIGATION TO THE SHRUB/GROUNDCOVER AREAS AND BUBBLERS TO THE TREES.
- THE SPRAY SYSTEM SHALL BE TORN SPRAY HEADS WITH PRESSURE COMPENSATING NOZZLES IN A HEAD TO HEAD LAYOUT TO ACHIEVE AN EVEN LEVEL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM.
- A STATE-OF-THE-ART IRRIGATION CONTROLLER SHALL BE SPECIFIED FOR THIS PROJECT TO CONTROL THE WATER ALLOCATED TO EACH WAIVE GROUPED PER INDIVIDUAL HYDROZONE (BASED ON PLANT TYPE AND EXPOSURE).

VP/ES/PALIER	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
FP	FICUS PUMILA	CREeping FIG	15 GAL	L	12' o.c.
JA	JASMINUM POLYANTHUM	PINK JASMINE	15 GAL	M	12' o.c.

GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT.	WATER USE	SPACING
HF	HYSLOPERYFERRULUM	TRAILING HYPERICUM	1 GAL	L	72" o.c.
RM	ROSAMARINUS OFFICINALIS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	1 GAL	L	48" o.c.
SH	SENECIO HANDALUSCAE 'BLUE CHALK STICKS'	SENECIO	1 GAL	L	18" o.c.

## PLANTING LEGEND

XX	SHRUB NAME	SEE PLANT LIST
XX	QUANTITY	FOR ADJUST INFO

## TREE PROTECTION NOTES:

- PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY IN THE AREA, INCLUDING GRADING, TEMPORARY PROTECTIVE FENCING SHALL BE INSTALLED AT EACH SITE TREE. FENCING SHALL BE LOCATED AT OR BEYOND THE CANOPY DRP LINE SO THAT 100% OF THE DRP LINE WILL BE PROTECTED BY FENCING TO REDUCE SOIL COMPACTION FROM EQUIPMENT.
- THE CONTRACTOR IS REQUIRED TO WATER, FERTILIZE AND ATTEND TO OTHER MAINTENANCE NEEDS OF EXISTING TREES AS ADVISED PER ARBORISTS RECOMMENDATIONS TO MAINTAIN HEALTHY GROWTH THROUGHOUT THE CONSTRUCTION PERIOD. SIX FEET DIAMETER, MINIMUM BY SIX INCH TALL LEATH BERM'S SHALL BE CONSTRUCTED AT THE BASE OF EACH TREE TO FUNCTION AS TEMPORARY WATERING BASINS DURING THE CONSTRUCTION PERIOD. TREES SHALL BE WATERED ACCORDING TO WEATHER AND TREE REQUIREMENTS. APPROVED MULCH OF 1-2 INCH SIZED WOOD CHIPS SHALL BE PLACED AT A DEPTH OF 4 INCHES WHERE NO EXCAVATION IS TO OCCUR IN THE VICINITY OF THE TREES TO BE PROTECTED.
- THE TREE PROTECTION FENCE SHALL BE 6' HIGH SNOW FENCE WITH IMPMOVABLE POSTS. THE FENCING SHALL FORM A CONTINUOUS BARRIER WITHOUT ENTRY POINTS AROUND EACH TREE. ANY ENCRICOACHMENT INTO THE DRP LINE FOR FENCING OR CONSTRUCTION PURPOSES SHALL NOT BE PERMITTED.
- LOW HANGING LIMBS OF SAVED TREES SHALL BE PRUNED PRIOR TO GRADING, OR ANY EQUIPMENT MOBILIZATION ON SITE. THE PURPOSE OF THIS REQUIREMENT IS TO AVOID TEARING LIMBS BY HEAVY EQUIPMENT. ALL LIMBS TO BE PRUNED SHALL BE SUPERVISED BY THE ARBORIST OF RECORD FOR THE JO
- THIS FENCING SHALL SERVE AS A BARRIER TO PREVENT DRIP LINE ENCRICOACHMENT OF ANY TYPE OF CONSTRUCTION ACTIVITIES AND EQUIPMENT. NO OILS, GAS, CHEMICALS, LIQUID WASTE, SOLID WASTE OR CONSTRUCTION MATERIALS OR CONSTRUCTION MATERIALS SHALL BE STORED OR ALLOWED TO STAND FOR ANY PERIOD OF TIME WITHIN THE DRP LINE OF THE TREE. FURTHER, NO ONE SHALL ENTER THE FENCE PERIMETER FOR ANY REASON EXCEPT FOR THE PURPOSE OF MONITORING THE HEALTH OF THE TREE. ACCIDENTAL DAMAGE TO BARK, ROOT CROWN, OR LIMBS MAY INCREASE POTENTIAL FOR FUTURE DECLINE.
- CONTRACTORS AND SUBCONTRACTORS SHALL DIRECT ALL EQUIPMENT AND PERSONNEL TO REMAIN OUTSIDE THE FENCED AREA AND AT ALL TIMES UNTIL PROJECT IS COMPLETE, AND SHALL INSTRUCT EMPLOYEES AS TO THE PURPOSE AND IMPORTANCE OF FENCING.
- A TREE PROTECTION ZONE SIGN SHALL BE POSTED AT EACH TREE INDICATING THE PURPOSE OF THE FENCING.
- THE ARBORIST OF RECORD FOR THE JOB OR THE CITY ARBORIST SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF THE FENCING PRIOR TO ANY GRADING OPERATIONS.
- FENCING MUST REMAIN IN PLACE AND SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE. THIS SHALL INCLUDE GRADING AND COMPACTION. INSTALLATION OF UNDERGROUND, ALL CONSTRUCTION ACTIVITIES AND ANY OTHER CONSTRUCTION OR ACTIVITY WHICH IS SCHEDULED BEFORE OR AFTER LANDSCAPE INSTALLATION.
- ROOTS OF SINGLE STANDING TREES OFTEN EXTEND UP TO THREE TIMES THE DISTANCE OF THE ACTUAL DRP LINE AND FLUCTUATE PRIMARILY IN THE DIRECTION OF NUTRIENTS AND WATER. THE DRP LINE IS ARBITRARILY ESTABLISHED AS THE MINIMUM ROOT AREA. GENERALLY REQUIRED TO PRESERVE TREE HEALTH. AS MUCH AREA AS POSSIBLE AROUND THE CIRCUMFERENCE OF THE TREE SHOULD HAVE MINIMUM INTRUSION TO FURTHER INSURE TREE SURVIVAL AND HEALTH.
- UNAUTHORIZED TREE REMOVAL IS SUBJECT TO IN-KIND REPLACEMENT EQUAL TO THE VALUE OF THE MATURE RESOURCE LOST, AS DETERMINED BY THE CITY.
- NO MECHANICAL TRENCHING SHALL OCCUR WITHIN THE TREE PROTECTION ZONE. ANY EXCAVATION IF REQUIRED SHALL BE BY HAND, AIR SPADE OR VACUUM. CUTTING OF ANY ROOTS OVER 3" DIA SHALL BE REVIEWED BY AN ARBORIST.
- SEE TREE PRESERVATION SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL CONTRACT WITH AN ARBORIST AS REQUIRED TO ENSURE PROPER TREE HEALTH IF A PROJECT ARBORIST OR CITY ARBORIST HAS NOT BEEN CONTACTED.

## PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT.	WATER USE
ACE	AGER PALM-TURM 'SANGO KAKU'	CORAL BARK MAPLE	24" BOX	M
JAC	JACARANDA HIRSUTIFOLIA	JACARANDA	36" BOX	M
LAG	LAGYRSTRONGIA 'X' 'WATZ'X'	WHITE CAME HYDRATE	24" BOX	M
MAG	MAGNOLIA X SOULANGIANA	SALICER MAGNOLIA	24" BOX	M
TIL	TILIA CORDATA	LITTLELEAF LINDEN	24" BOX	M
ULM	ULMUS PARVIFOLIA	CHINESE ELM	5 GAL	M

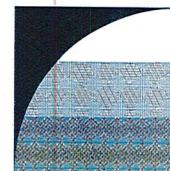
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
AK	AGAVE ATTENUATA 'KARA'S STRIPES'	AGAVE	5 GAL	M	36" o.c.
BL	BLUE GLOW	BLUE GLOW AGAVE	5 GAL	L	24" o.c.
AN	ANGONZANTHOS 'X' 'BUSH GOLD'	KANGAROO PAW	5 GAL	L	24" o.c.
BT	BERTERB THUNBERGII 'MARIA'	FOXTAIL FERN	5 GAL	M	36" o.c.
BB	BUDOLEA DAVORS 'BLUE CHIP'	SUNSHINE BUTTERFLY BUSH	5 GAL	M	24" o.c.
BU	BULBUL MICROPHYLLOA 'JAPONICA 'GREEN BEAUTY'	BULBUL BUTTERFLY BUSH	5 GAL	M	24" o.c.
CO	CAREX OSHIMENSIS 'EVERILLO'	EVERILLO JAPANESE SEDGE	5 GAL	M	18" o.c.
CE	COLENDON METALUM 'ELEPHANTINUM'	LARGE CARE RUE	1 GAL	L	48" o.c.
CS	COLENDON METALUM 'SUNSET GOLD'	GOLDEN BREATH OF HEAVEN	5 GAL	M	36" o.c.
CG	COLENDON GLAUBRA 'COLOSAN BEVER'	COLDSAN RIVER ROCK FUCHSIA	5 GAL	L	36" o.c.
CC	COTINUS COGOGYIA 'GOLDEN SPIRIT'	SMOKE TREE	5 GAL	L	72" o.c.
LG	LOGANIUM SINENSE 'SUNSHINE'	YELLOW CONEBUSH	5 GAL	L	60" o.c.
LL	LOMBARDIA LONGIFOLIA 'BREEZE'	SUNSHINE LIGUSTRUM	5 GAL	L	42" o.c.
MC	MAHONIA EURYBRACTEA 'SOFT CARESS'	DWARF MAT RUSH	1 GAL	L	36" o.c.

VINES/PAUER	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
FP	FICUS PUMILA	CREeping FIG	15 GAL	L	12' o.c.
JA	JASMINUM POLYANTHUM	PINK JASMINE	15 GAL	M	12' o.c.

GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT.	WATER USE	SPACING
HF	HYSLOPERYFERRULUM	TRAILING HYPERICUM	1 GAL	L	72" o.c.
RM	ROSAMARINUS OFFICINALIS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	1 GAL	L	48" o.c.
SH	SENECIO HANDALUSCAE 'BLUE CHALK STICKS'	SENECIO	1 GAL	L	18" o.c.

## PLANTING LEGEND

XX	SHRUB NAME	SEE PLANT LIST
XX	QUANTITY	FOR ADJUST INFO



# GATES + ASSOCIATES

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LANDSCAPE PLANNING - URBAN DESIGN

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## 601 MACARTHUR BLVD.

OKLAND  
CA

ISSUE	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/06/2017

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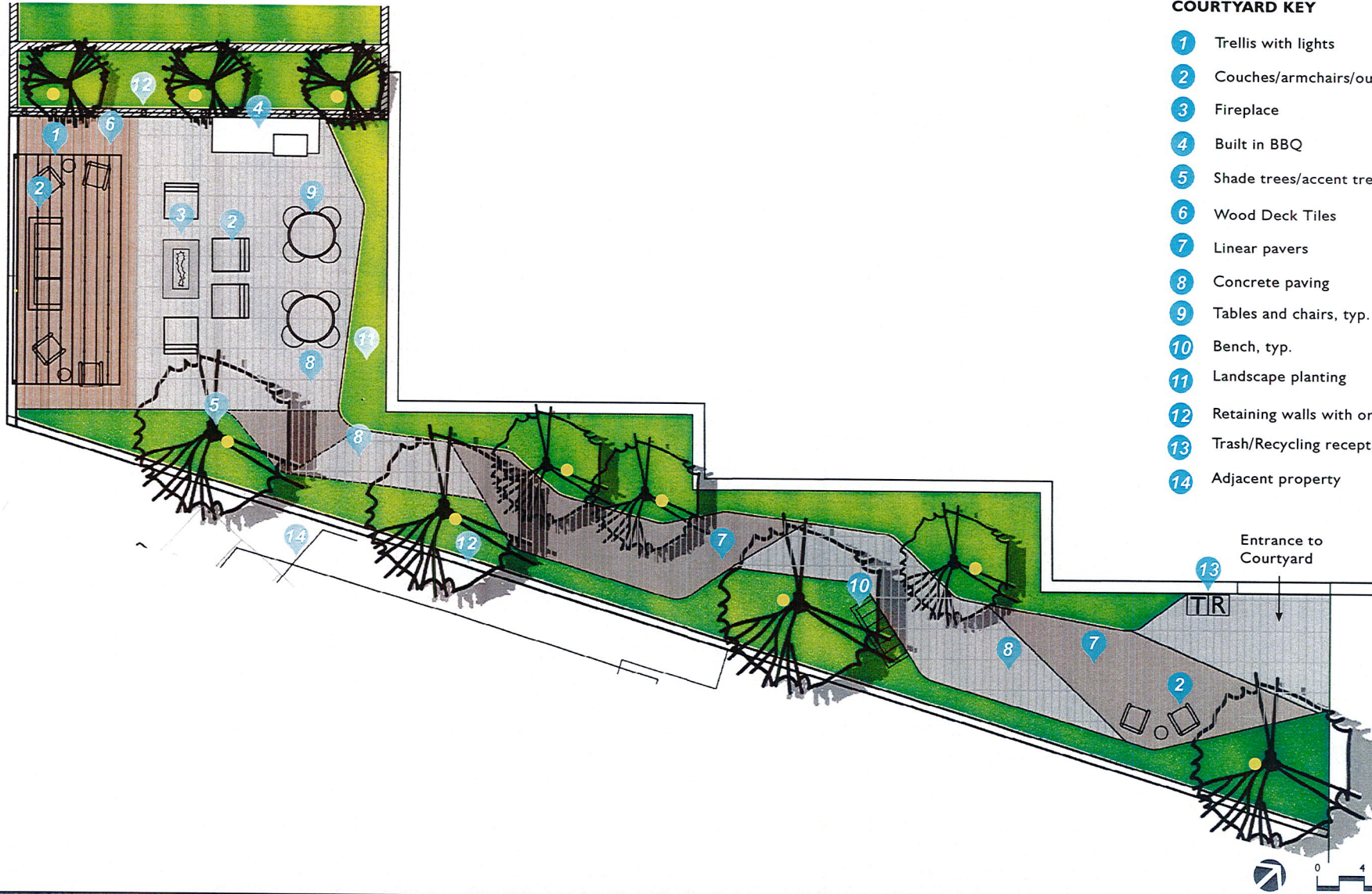


PROJECT NUMBER:	J52
DRAWN BY:	JK
CHECK:	RC
DATE:	10/06/2017
SCALE:	



PLANTING NOTES AND LEGENDS

# L0.2



**COURTYARD KEY**

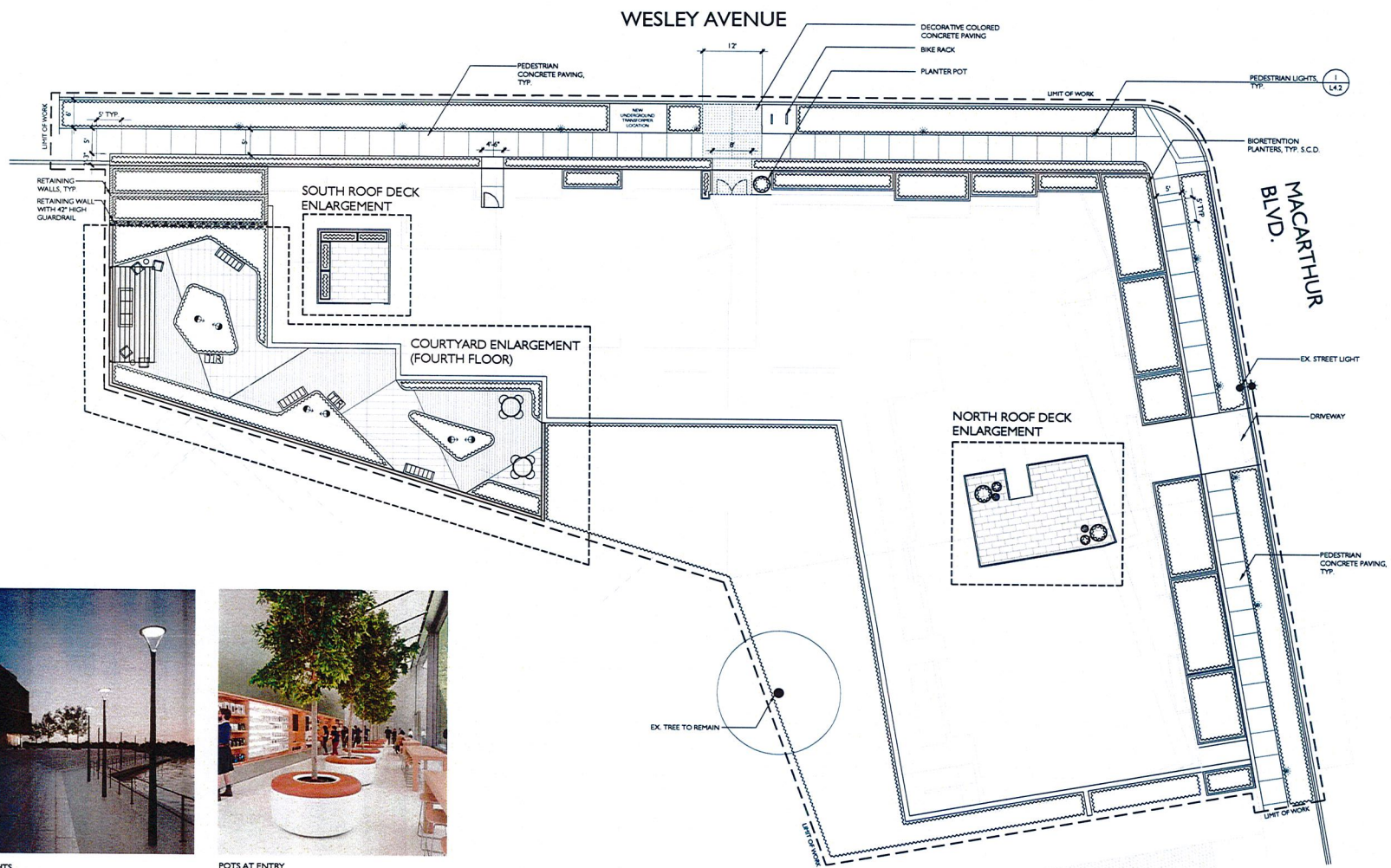
- 1 Trellis with lights
- 2 Couches/armchairs/outdoor furniture
- 3 Fireplace
- 4 Built in BBQ
- 5 Shade trees/accent trees with uplights
- 6 Wood Deck Tiles
- 7 Linear pavers
- 8 Concrete paving
- 9 Tables and chairs, typ.
- 10 Bench, typ.
- 11 Landscape planting
- 12 Retaining walls with or without guardrail
- 13 Trash/Recycling receptacles
- 14 Adjacent property

Entrance to  
Courtyard

13

TR





PEDESTRIAN LIGHTS



POTS AT ENTRY

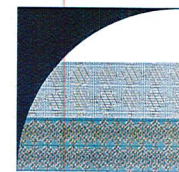
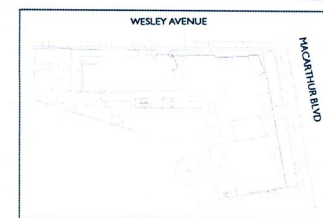


BIKE RACK



42" HIGH GUARDRAIL ON WALL

KEY MAP



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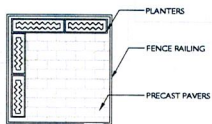
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CONSTRUCTION**



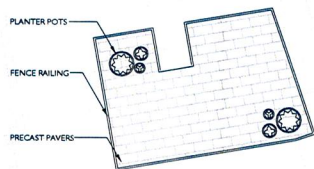
PROJECT NUMBER:	5352
DRAWN:	JK
CHECK:	RC
DATE:	10/06/2017
SCALE:	1"=10'

LAYOUT PLAN

**LI.01**



**3 SOUTH ROOF DECK**  
1/8" = 1'



**2 NORTH ROOF DECK**  
1/8" = 1'



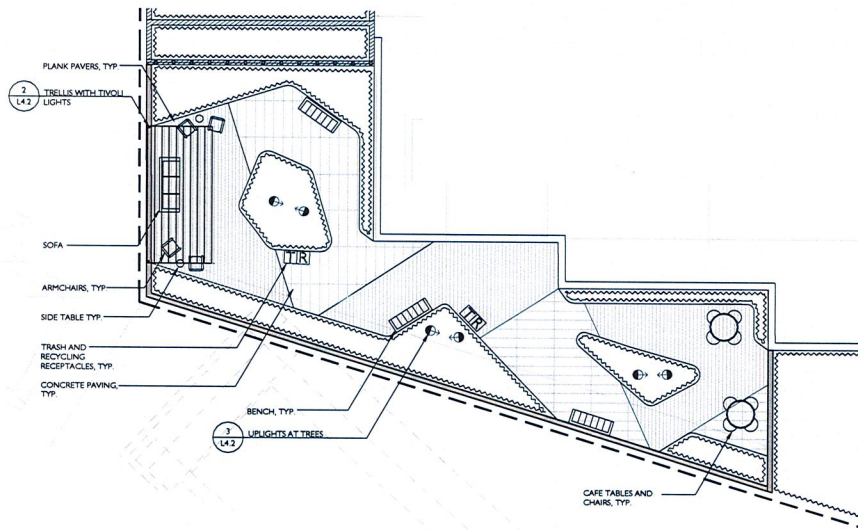
PRECAST PAVERS

PLANTERS

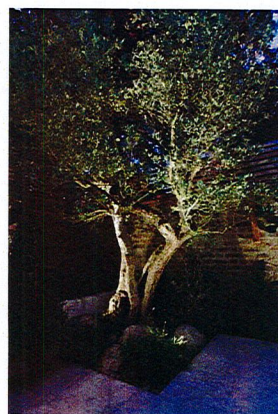


RAILING

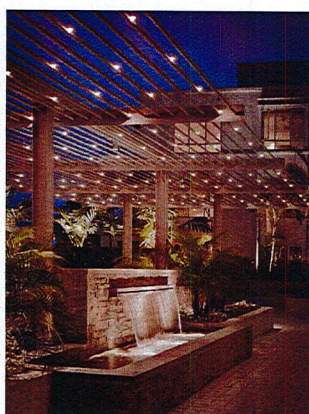
POTS



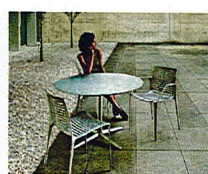
**1 4TH FLOOR COURTYARD ENLARGEMENT (ON GRADE)**  
1/8" = 1'



UPLIGHTS AT TREES



TIVOLI LIGHTS



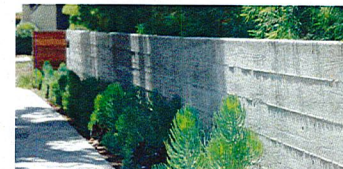
TABLES AND CHAIRS



ARMCHAIRS



STEEL TRELLIS



WALLS



PLANK PAVERS

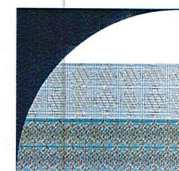
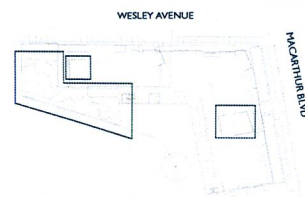


CONCRETE PAVING



BENCHES

**KEY MAP**



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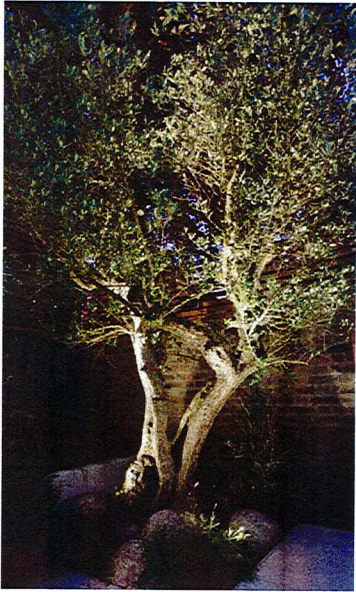


PROJECT NUMBER:	532
DRAWN:	JK
CHECK:	RC
DATE:	10/06/2017
SCALE:	1/8" = 1'



LAYOUT PLAN

**LI.02**



Tree Uplights



Wood Deck Tiles



Furniture



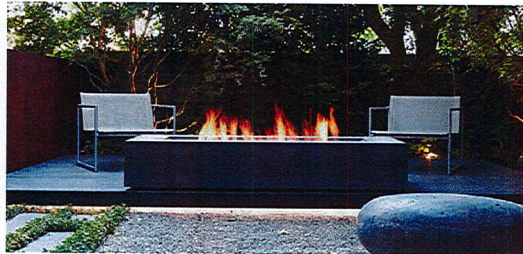
Bench



Plank Pavers



Guardrail



Firepit



Armchairs



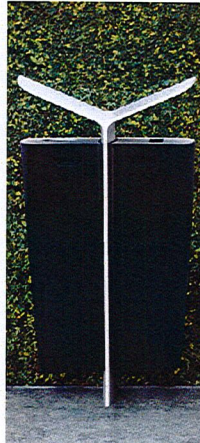
Lights on Trellis



Retaining Walls



Tables and Chairs



Trash and Recycling

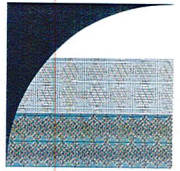
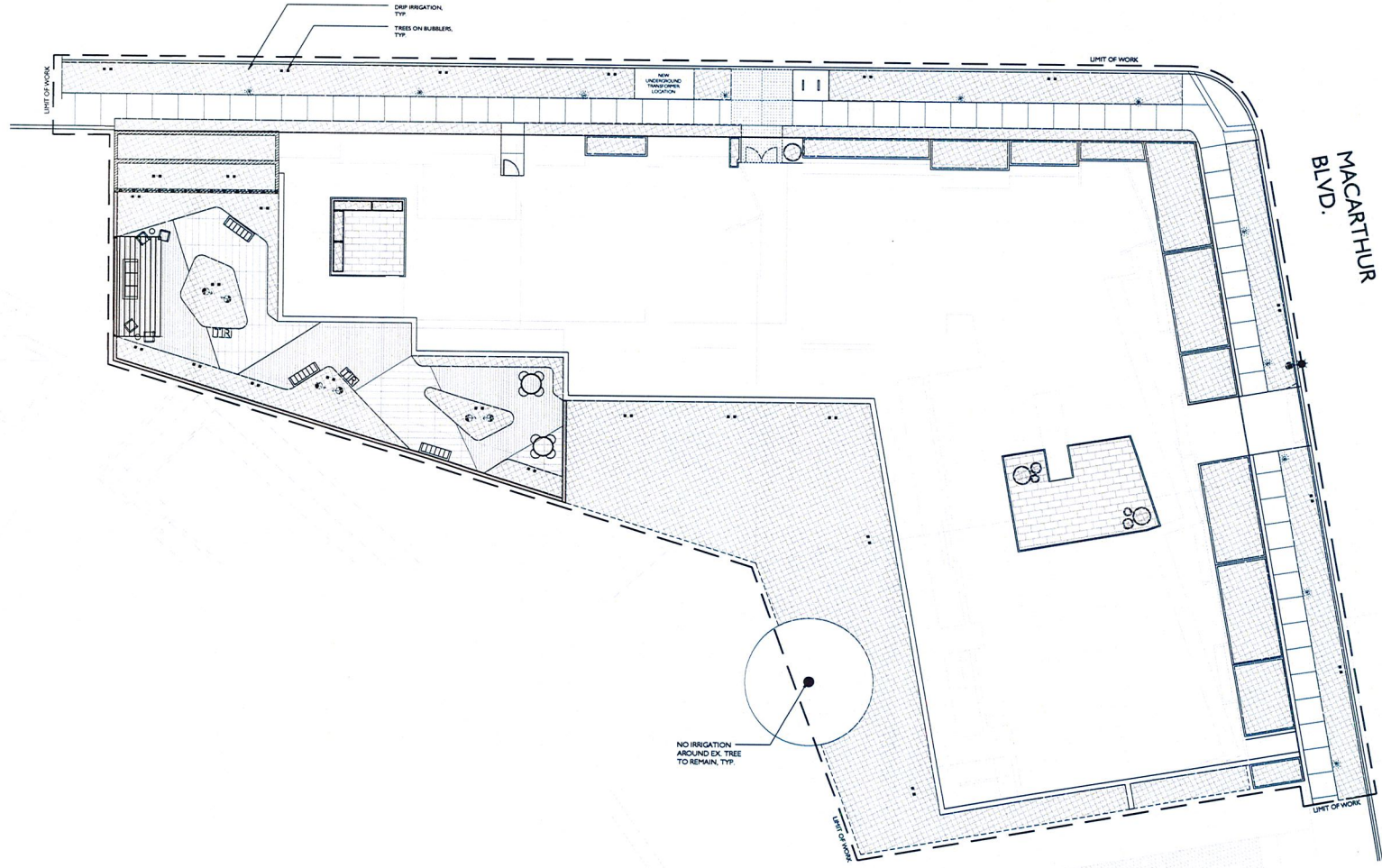


Built in BBQ



Trellis

WESLEY AVENUE



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PROJECT NUMBER: 5352  
DRAWN: JK  
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DATE: 10/06/2017  
SCALE: 1"=10'



IRRIGATION PLAN

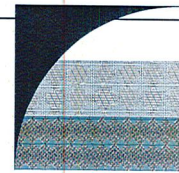
**L2.01**

**IRRIGATION LEGEND**

SYMBOL	MODEL NUMBER	DESCRIPTION	PSI	GPM	RADIUS
■	RWS-B-1402	RAINBIRD ROOT WATERING BUBBLER ASSEMBLY			
•	1401	RAINBIRD BUBBLER ON FLEXIBLE RISER	30	25	-
◆	33DLRC	RAIN BIRD QUICK COUPLING VALVE			
⊙	PEB SERIES	RAIN BIRD REMOTE CONTROL VALVE			
⊠	1-1201-1151-0000 PMR-MF-35	AMIAO FILTER WITH SENNINGER PRESSURE REDUCING VALVE			
		PIPE CONTINUATION SYMBOL AFTER CONTROL VALVE AND FILTER ASSEMBLY FOR SUBSURFACE DRIP TUBING, TYPICAL.			
		IRRIGATION INSIDE DASHED OUTLINE AREA: NETAFIM TECHLINE DRIP EMITTER TUBING WITH INTERNAL CHECK VALVE PART NUMBER: TLVC9-1810 0.90 GPH EMITTERS 18" ON CENTER DRIFLINE PIPE WITH NETAFIM BARBED FITTINGS INSTALLED 4" COVER BELOW SOIL LEVEL. INSTALL DRIFLINE PER INSTALLATION DETAILS			
		STATION NUMBER GALLONS PER MINUTE VALVE SIZE			
		MAINLINE FOR MASTER HOA COURTYARD IRRIGATION FROM CONTROLLER "E". SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.			
		MAINLINE FOR HOA COMMON AREA IRRIGATION FROM CONTROLLER "D". SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.			
		LATERAL LINE: 1120-CLASS 200 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.			
		SLEEVE: 1120-200 PSI PVC PLASTIC PIPE WITH SCHEDULE 40 PVC PLASTIC FITTINGS. 24" COVER. SIZE NOTED ON PLANS.			

**IRRIGATION NOTES**

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING, STRUCTURES, ETC.
- DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC. WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS WORK AND PLAN HIS WORK ACCORDINGLY. FURNISHING SUCH FITTINGS, ETC., AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THEN WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEMS, PLANTING, AND ARCHITECTURAL FEATURES.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS WHERE POSSIBLE (NOT IN LAWN AREA).
- SPLICING OF 24 VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPLICE AND 100 FEET ON CENTER ALONG WIRE RUN. TAPE WIRE IN BUNDLES 10 FEET ON CENTER. NO TAPING PERMITTED INSIDE SLEEVES.
- WATERPROOF CONNECTORS FOR ALL TWO WIRE SYSTEM SPLICES SHALL BE AS SPECIFIED IN TWO WIRE INSTALLATION DETAILS.
- NOTIFY ARCHITECT OF ANY ASPECTS OF LAYOUT WHICH WILL PROVIDE INCOMPLETE OR INSUFFICIENT WATER COVERAGE OF PLANT MATERIAL AND DO NOT PROCEED UNTIL HIS INSTRUCTIONS ARE OBTAINED.
- INSTALL VALVE BOXES 12" FROM AND PERPENDICULAR TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, ETC. AND EACH BOX SHALL BE 12" APART. SHORT SIDE OF VALVE BOX SHALL BE PARALLEL TO WALK, CURB LAWN, ETC.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- OPERATE IRRIGATION CONTROLLER(S) BETWEEN THE HOURS OF 10:00 PM AND 7:00 AM.
- IRRIGATION CONTRACTOR TO NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- PRIOR TO TRENCHING, CALL UNDERGROUND SERVICE ALERT. (1-800) 642-2444 FOR NORTHERN CALIFORNIA
- WHEN VERTICAL OBSTRUCTIONS (STREET LIGHTS, TREES, FIRE HYDRANTS, ETC.) INTERFERE WITH THE SPRAY PATTERN OF THE HEADS SO AS TO PREVENT PROPER COVERAGE, THE IRRIGATION CONTRACTOR SHALL FIELD ADJUST THE SPRINKLER SYSTEM BY INSTALLING A QUARTER, THIRD OR HALF CIRCLE HEAD AT THE SIDES OF THE OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.



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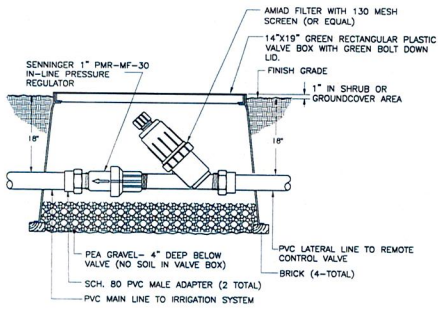


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DRAWN: JK  
CHECK: RC  
DATE: 10/06/2017  
SCALE:

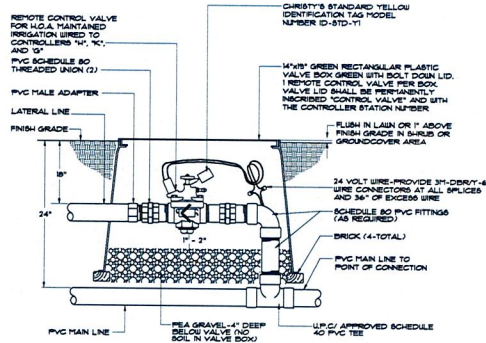


IRRIGATION NOTES AND  
LEGENDS

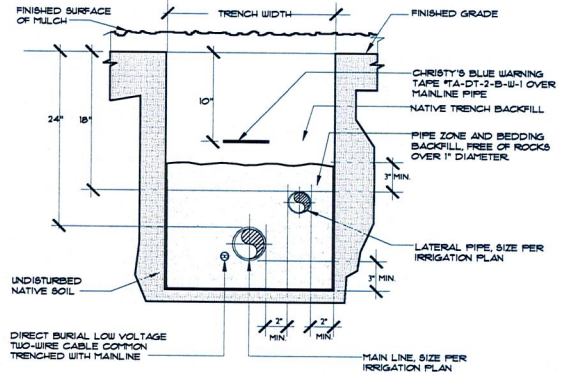
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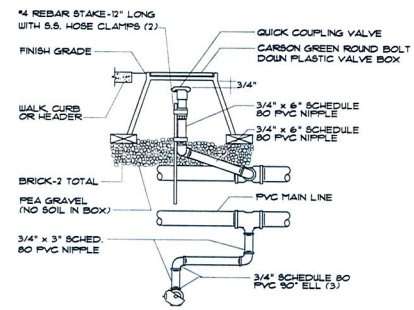
1 FILTER INSTALLATION DETAIL  
NTS



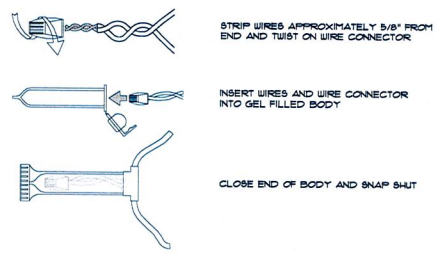
2 REMOTE CONTROL VALVE INSTALLATION  
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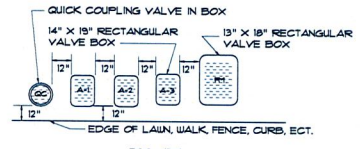
3 TYPICAL COMBINATION TRENCH  
NTS



4 3/4\"/>

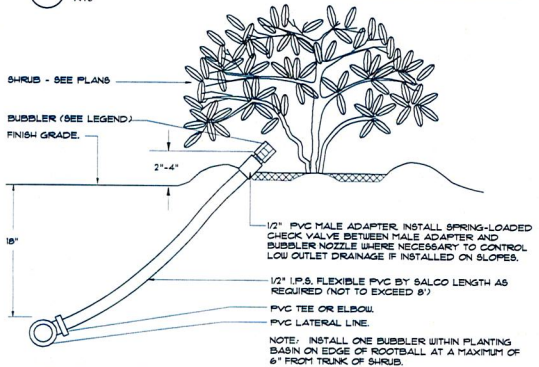


5 RAINMASTER WIRE CONNECTION  
NTS

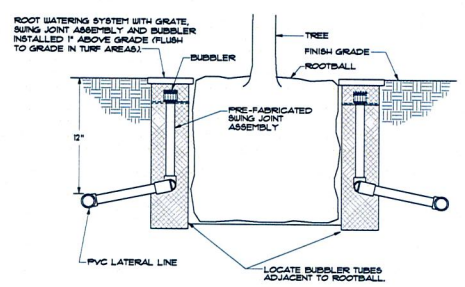


NOTES:  
1. CENTER BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.  
2. SET BOXES 1\"/>

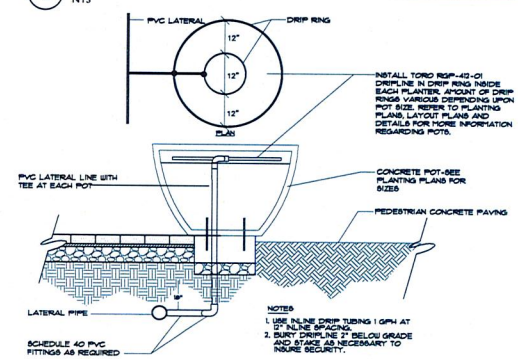
6 VALVE BOX INSTALLATION  
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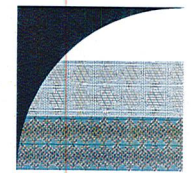
7 1\"/>



8 TREE BUBBLER INSTALLATION  
NTS



9 DRIP RING IRRIGATION AT POTS  
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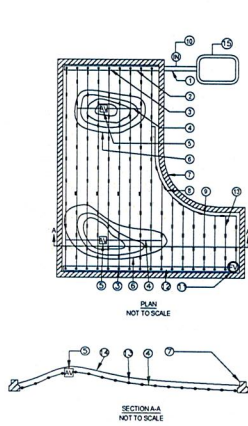
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CHECK: RC  
DATE: 10/06/2017  
SCALE:



IRRIGATION DETAILS

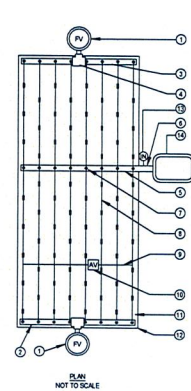
**L2.03**





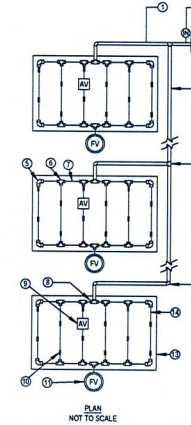
- 1 PVC LATERAL LINE FROM DRIP ZONE KIT.
- 2 PVC SUPPLY MANIFOLD.
- 3 TORO DL2000 MANIFOLD TO ELBOW CONNECTION (TYP).
- 4 AIR/VACUUM RELIEF LATERAL, TORO BLUE STRIPE POLY TUBING CENTERED ON MOUND OR BERM.
- 5 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO TORO BLUE STRIPE POLY TUBING (T-EHP1645) AT EACH HIGH POINT.
- 6 BERM (TYP).
- 7 EDGE OF PLANTER.
- 8 PERIMETER LATERALS 2" TO 4" FROM EDGE.
- 9 TORO DL2000 TEE (FT116).
- 10 TORO T-DL-MPI OPERATION INDICATOR CONNECTED TO LATERAL LINE INSTALLED AT THE EDGE OF THE LANDSCAPE NEAR THE CONTROL VALVE.
- 11 TORO DL2000 AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
- 12 PVC FLUSH MANIFOLD.
- 13 TORO DL2000 DRIPLINE LATERAL.
- 14 FINISHED GRADE.
- 15 REMOTE CONTROL VALVE.

10 TYPICAL DRIP LAYOUT ON MOUNDS  
NTS



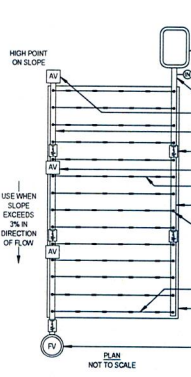
- 1 TORO DL2000 AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
- 2 MANIFOLD AT LOW POINT.
- 3 PVC FLUSH MANIFOLD.
- 4 TORO DL2000 MANIFOLD-TO-ELBOW CONNECTION (TYP).
- 5 PVC LATERAL LINE FROM DRIP ZONE KIT.
- 6 PVC SUPPLY MANIFOLD.
- 7 TORO DL2000 MANIFOLD-TO-TEE CONNECTION.
- 8 TORO DL2000 DRIPLINE LATERAL.
- 9 AIR/VACUUM RELIEF LATERAL, TORO BLUE STRIPE POLY TUBING (T-EHP1645) CENTERED ON MOUND OR BERM.
- 10 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO TORO BLUE STRIPE POLY TUBING AT EACH HIGH POINT.
- 11 PERIMETER LATERALS 2" TO 4" FROM EDGE.
- 12 AREA PERIMETER.
- 13 TORO T-DL-MPI OPERATION INDICATOR CONNECTED TO LATERAL LINE INSTALLED AT THE EDGE OF THE LANDSCAPE NEAR THE CONTROL VALVE.
- 14 REMOTE CONTROL VALVE.

11 TYPICAL CENTER FEED DRIP SYSTEM LAYOUT  
NTS



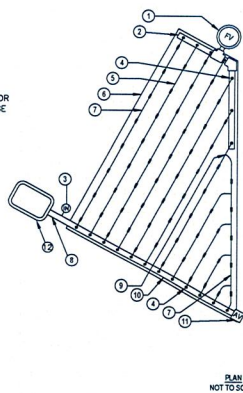
- 1 PVC LATERAL LINE FROM CONTROL VALVE.
- 2 PVC SUPPLY MANIFOLD.
- 3 PVC TEE (5x5x5).
- 4 PVC ELL (5x5).
- 5 TORO LOC-EZE ELL (FEE16).
- 6 TORO LOC-EZE TEE (FT116).
- 7 TORO BLUE STRIPE POLY TUBING AT SUPPLY AND FLUSH END OF EACH ISLAND.
- 8 TORO LOC-EZE TEE X 1/2" SLIP ADAPTER (FTV16).
- 9 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO TUBING AT HIGH POINT.
- 10 TORO DL2000 DRIPLINE LATERAL.
- 11 TORO DL2000 AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
- 12 TORO T-DL-MPI OPERATION INDICATOR CONNECTED TO LATERAL LINE INSTALLED AT THE EDGE OF THE LANDSCAPE NEAR THE CONTROL VALVE.
- 13 ISLAND PERIMETER.
- 14 PERIMETER LATERALS 2" TO 4" FROM EDGE.
- 15 CONTROL VALVE.

12 TYPICAL ISLAND MANIFOLD  
NTS



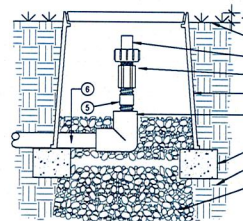
- 1 PVC LATERAL LINE FROM DRIP ZONE KIT.
- 2 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO PVC FLUSH MANIFOLD AT HIGH POINT.
- 3 PVC FLUSH MANIFOLD.
- 4 INLINE SPRING CHECK VALVE (KBI CV SERIES OR EQUAL) TO HELP CONTROL LOW-HEAD DRAINAGE (TYP). INSTALL AT 4' ELEVATION INTERVALS.
- 5 TORO T-DL-MPI OPERATION INDICATOR CONNECTED TO LATERAL LINE INSTALLED AT THE EDGE OF THE LANDSCAPE NEAR THE CONTROL VALVE.
- 6 TORO DL2000 DRIPLINE LATERAL.
- 7 PVC SUPPLY MANIFOLD.
- 8 TORO DL2000 MANIFOLD-TO-ELBOW CONNECTION (TYP).
- 9 PERIMETER LATERALS 2" TO 4" FROM EDGE.
- 10 AREA PERIMETER.
- 11 TORO T-DL-MPI OPERATION INDICATOR CONNECTED TO LATERAL LINE INSTALLED AT THE EDGE OF THE LANDSCAPE NEAR THE CONTROL VALVE AND AT END OF DRIPLINE ZONE NEAR FLUSH VALVE.
- 12 TORO DL2000 AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
- 13 REMOTE CONTROL VALVE.

13 TYPICAL DRIP LAYOUT ON SLOPES  
NTS



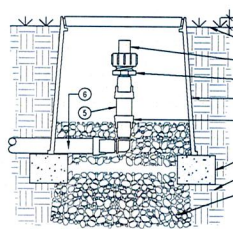
- 1 TORO DL2000 AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
- 2 PVC FLUSH MANIFOLD.
- 3 TORO T-DL-MPI OPERATION INDICATOR CONNECTED TO LATERAL LINE INSTALLED AT THE EDGE OF THE LANDSCAPE NEAR THE CONTROL VALVE.
- 4 TORO DL2000 MANIFOLD-TO-ELBOW CONNECTION (TYP).
- 5 TORO DL2000 DRIPLINE LATERAL.
- 6 AREA PERIMETER.
- 7 PERIMETER LATERALS 2" TO 4" FROM EDGE.
- 8 PVC LATERAL LINE FROM DRIP ZONE KIT.
- 9 TORO LOC-EZE TEE (FT116).
- 10 PVC SUPPLY MANIFOLD.
- 11 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO SUPPLY MANIFOLD AT HIGH POINT.
- 12 REMOTE CONTROL VALVE.

14 TYPICAL DRIP LAYOUT ON MOUNDS  
NTS



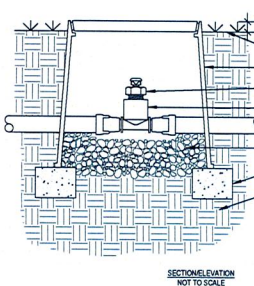
- 1 1" ABOVE FINISH GRADE.
- 2 FINISH GRADE.
- 3 TORO DL2000 FLUSH VALVE (FCH-H-FHT).
- 4 1/2" PVC COUPLING (TxFt).
- 5 1/2" SCH 80 PVC NIPPLE (LENGTH AS REQUIRED).
- 6 PVC PIPING.
- 7 8" GREEN LOCKING ROUND PLASTIC VALVE BOX, HEAT BRAND "AR" ON LID IN 1" HIGH CHARACTERS.
- 8 PVC ELL OR TEE WITH 1/2" THREADED OUTLET.
- 9 BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
- 10 NATIVE SOIL PER SPECIFICATIONS.
- 11 PEA GRAVEL SUMP (6" x 18").

15 FLUSH VALVE CONNECTION TO PVC  
NTS



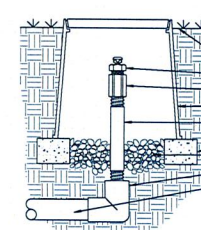
- 1 1" ABOVE FINISH GRADE.
- 2 FINISH GRADE.
- 3 TORO DL2000 FLUSH VALVE (FCH-H-FHT).
- 4 TORO LOC-EZE X 3/4" MHT ADAPTER (FJA16).
- 5 TORO POLY TUBING.
- 6 PVC PIPING.
- 7 8" GREEN LOCKING ROUND PLASTIC VALVE BOX, HEAT BRAND "AR" ON LID IN 1" HIGH CHARACTERS.
- 8 TORO LOC-EZE ELL (FEE16).
- 9 BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
- 10 NATIVE SOIL PER SPECIFICATIONS.
- 11 PEA GRAVEL SUMP (6" x 18").

16 FLUSH VALVE CONNECTION TO PE TUBING  
NTS



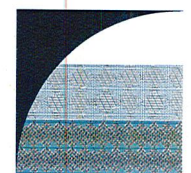
- 1 1" ABOVE FINISH GRADE.
- 2 FINISH GRADE.
- 3 CARSON BLACK 10" LOCKING ROUND PLASTIC VALVE BOX, HEAT BRAND "AV" ON LID IN 1" HIGH CHARACTERS.
- 4 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34).
- 5 TORO LOC-EZE X 1/2" FPT TEE (FT116).
- 6 TORO POLY TUBING.
- 7 PEA GRAVEL SUMP (6" DEEP).
- 8 BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
- 9 NATIVE SOIL PER SPECIFICATIONS.

17 AIR/VACUUM RELIEF VALVE CONNECTION TO PE TUBING  
NTS



- 1 NATIVE SOIL PER SPECIFICATIONS.
- 2 FINISH GRADE.
- 3 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34).
- 4 1/2" PVC COUPLING (TxFt).
- 5 8" GREEN LOCKING ROUND PLASTIC VALVE BOX, HEAT BRAND "AR" ON LID IN 1" HIGH CHARACTERS.
- 6 1/2" SCH 80 PVC NIPPLE (LENGTH AS REQUIRED).
- 7 BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
- 8 PEA GRAVEL SUMP (6" DEEP).
- 9 PVC ELL OR TEE WITH 1/2" THREADED OUTLET.
- 10 PVC PIPING.

18 AIR/VACUUM RELIEF VALVE CONNECTION TO PVC  
NTS



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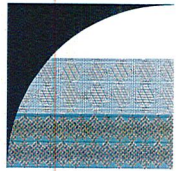


PROJECT NUMBER: 5352  
DRAWN: JK  
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DATE: 10/06/2017  
SCALE:



IRRIGATION DETAILS

**L2.04**



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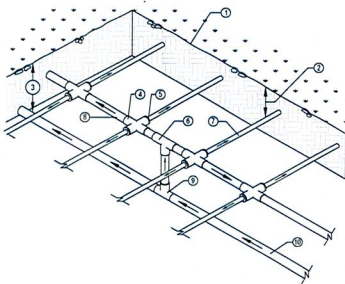


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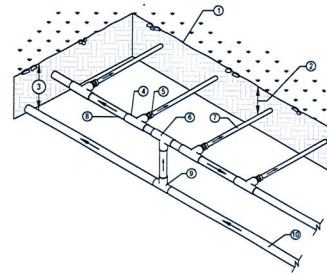
IRRIGATION DETAILS

**L2.05**



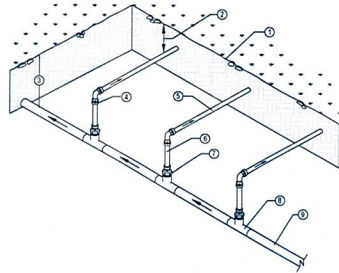
- ① FINISH GRADE.
- ② 4" DEPTH OF TUBING PER LEGEND
- ③ DEPTH OF PVC SUPPLY MANIFOLD PER SPECIFICATIONS.
- ④ PVC CROSS (5x5x5).
- ⑤ TORO DL2000 COMPRESSION ADAPTER (CA-710).
- ⑥ PVC TEE (5x5x5).
- ⑦ TORO DL2000 DRIPLINE LATERAL.
- ⑧ PVC SUB-MANIFOLD.
- ⑨ PVC TEE (5x5x5).
- ⑩ PVC SUPPLY MANIFOLD FROM DRIP ZONE KIT.

19 DRIPLINE TO PVC INSTALLATION  
NTS



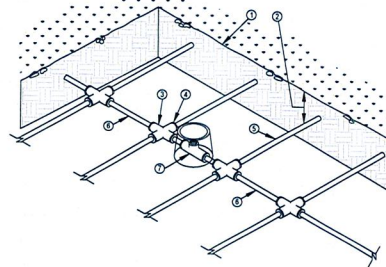
- ① FINISH GRADE.
- ② 4" DEPTH OF TUBING PER LEGEND
- ③ DEPTH OF PVC SUPPLY MANIFOLD PER SPECIFICATIONS.
- ④ PVC TEE (5x5x5).
- ⑤ TORO LOC-EZE X 1/2" MPT ADAPTER (FAM16).
- ⑥ PVC TEE (5x5x5).
- ⑦ TORO DL2000 DRIPLINE LATERAL.
- ⑧ PVC SUB-MANIFOLD.
- ⑨ PVC TEE (5x5x5).
- ⑩ PVC SUPPLY MANIFOLD FROM DRIP ZONE KIT.

20 DRIPLINE TO PVC INSTALLATION  
NTS



- ① FINISH GRADE.
- ② 4" DEPTH OF TUBING PER LEGEND
- ③ DEPTH OF PVC SUPPLY MANIFOLD PER SPECIFICATIONS.
- ④ TORO LOC-EZE ELL (FEE16).
- ⑤ TORO DL2000 DRIPLINE LATERAL.
- ⑥ TORO BLUE STRIPE POLY TUBING (T-EHP-1645) SUB MANIFOLD LENGTH AS NECESSARY.
- ⑦ TORO LOC-EZE X 1/2" MPT ADAPTER (FAM16).
- ⑧ PVC TEE (5x5x5) WITH 1/2" FPT OUTLET.
- ⑨ PVC SUPPLY MANIFOLD FROM DRIP ZONE KIT.

22 DRIPLINE TO PVC HEADER INSTALLATION  
NTS



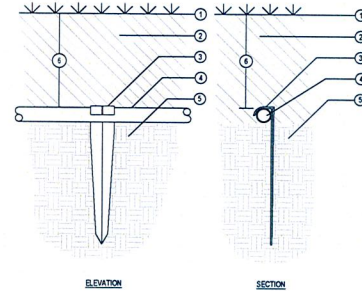
- ① FINISH GRADE.
- ② 4" DEPTH OF TUBING PER LEGEND
- ③ PVC CROSS (5x5x5).
- ④ TORO DL2000 COMPRESSION ADAPTER (CA-710).
- ⑤ TORO DL2000 DRIPLINE LATERAL.
- ⑥ TORO BLUE STRIPE POLY TUBING (T-EHP-1645) SUB MANIFOLD LENGTH AS NECESSARY.
- ⑦ 8" GREEN ROUND PLASTIC LOCKING VALVE BOX WITH AIR RELIEF VALVE.

23 AIR VACUUM RELIEF VALVE LOCATION  
NTS

1. ASSEMBLE AND INSTALL FILTER, REMOTES CONTROL VALVE AND PRESSURE REGULATING VALVE ASSEMBLIES ACCORDING TO DETAILS.
2. ASSEMBLE AND INSTALL SUPPLY HEADERS ACCORDING TO DETAIL. TAPE OR PLUG OPEN CONNECTIONS TO PREVENT DEBRIS CONTAMINATION.
3. ASSEMBLE AND INSTALL EXHAUST HEADERS IN ACCORDANCE WITH DETAILS. TAPE OR PLUG ALL OPEN CONNECTIONS TO PREVENT DEBRIS CONTAMINATION.
4. INSTALL DRIP LATERALS. TAPE OR PLUG OPEN ENDS WHILE INSTALLING TO PREVENT DEBRIS CONTAMINATION.
5. INSTALL AIR VACUUM RELIEF VALVES AT HIGHEST POINTS OF THE IRRIGATION ZONES IN ACCORDANCE WITH DETAILS.
6. THOROUGHLY FLUSH DRIPLINE LATERALS AND CONNECT TO EXHAUST HEADERS OR INTERCONNECTING LATERALS WHILE FLUSHING.
7. THOROUGHLY FLUSH EXHAUST HEADERS AND INSTALL LINE FLUSHING VALVES ACCORDING TO DETAILS.
8. THOROUGH FLUSHING OF EACH INSTALLATION SEGMENT IS NECESSARY TO ENSURE THAT NO DEBRIS CONTAMINATION OCCURS.
9. LOCATE AND INSTALL CHECK VALVE(S) AS NEEDED AND AS SHOWN IN INSTALLATION DETAILS.
10. SEE IRRIGATION NOTES, LEGEND/SPECIFICATIONS FOR ADDITIONAL INFORMATION.
11. ALL TREES TO BE PLANTED WITHIN CENTER OF DRIP LINE RUNS
12. BURY DRIPLINE 4" BELOW GRADE AND STAKE EACH 36"-48" O.C. ON CENTER AND AT ALL FITTINGS (TEES, ELLS, ETC) AND AS NECESSARY TO INSURE SECURITY.
13. ALL FITTINGS TO BE USED WILL BE PER MANUFACTURERS SPECIFICATION. COMPRESSION FITTINGS OR APPROVED EQUAL.
14. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE SHALL NOT EXCEED THE MAXIMUM RUN LENGTH. SEE TORO SUBSURFACE IRRIGATION DESIGN GUIDE

31 SUBSURFACE DRIPLINE INSTALATION NOTES  
NTS

NOTE: LOCATE STAPLES ALONG TUBING AT 36"-48" ON CENTER AND AT ALL FITTINGS (TEES, ELLS, ETC)

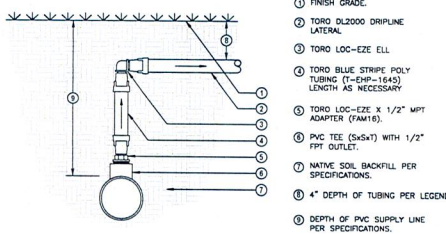


ELEVATION

SECTION

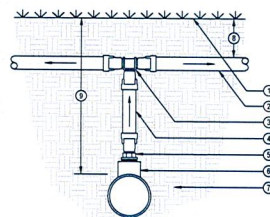
- ① FINISH GRADE.
- ② BACKFILL MIX PER SPECIFICATIONS.
- ③ TORO DL2000 PLASTIC LOCATOR STAKE (PS1500).
- ④ TORO DL2000 DRIPLINE
- ⑤ NATIVE SOIL PER SPECIFICATIONS.
- ⑥ 4" DEPTH OF TUBING PER LEGEND

24 DRIPLINE STAKE BELOW GRADE DETAIL  
NTS



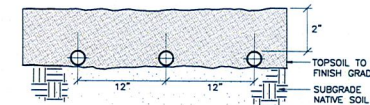
- ① FINISH GRADE.
- ② TORO DL2000 DRIPLINE LATERAL.
- ③ TORO LOC-EZE ELL
- ④ TORO BLUE STRIPE POLY TUBING (T-EHP-1645) LENGTH AS NECESSARY
- ⑤ TORO LOC-EZE X 1/2" MPT ADAPTER (FAM16).
- ⑥ PVC TEE (5x5x5) WITH 1/2" FPT OUTLET.
- ⑦ NATIVE SOIL BACKFILL PER SPECIFICATIONS.
- ⑧ 4" DEPTH OF TUBING PER LEGEND
- ⑨ DEPTH OF PVC SUPPLY LINE PER SPECIFICATIONS.

25 DRIPLINE TO PVC INSTALLATION  
NTS

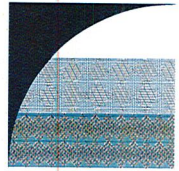


- ① FINISH GRADE.
- ② TORO DL2000 DRIPLINE LATERAL.
- ③ TORO LOC-EZE TEE (FTT16).
- ④ TORO BLUE STRIPE POLY TUBING (T-EHP-1645) LENGTH AS NECESSARY
- ⑤ TORO LOC-EZE X 1/2" MPT ADAPTER (FAM16).
- ⑥ PVC TEE (5x5x5) WITH 1/2" FPT OUTLET.
- ⑦ NATIVE SOIL BACKFILL PER SPECIFICATIONS.
- ⑧ 4" DEPTH OF TUBING PER LEGEND
- ⑨ DEPTH OF PVC SUPPLY LINE PER SPECIFICATIONS.

26 DRIPLINE TO PVC INSTALLATION  
NTS



27 TYPICAL DRIPLINE SUBGRADE INSTALLATION  
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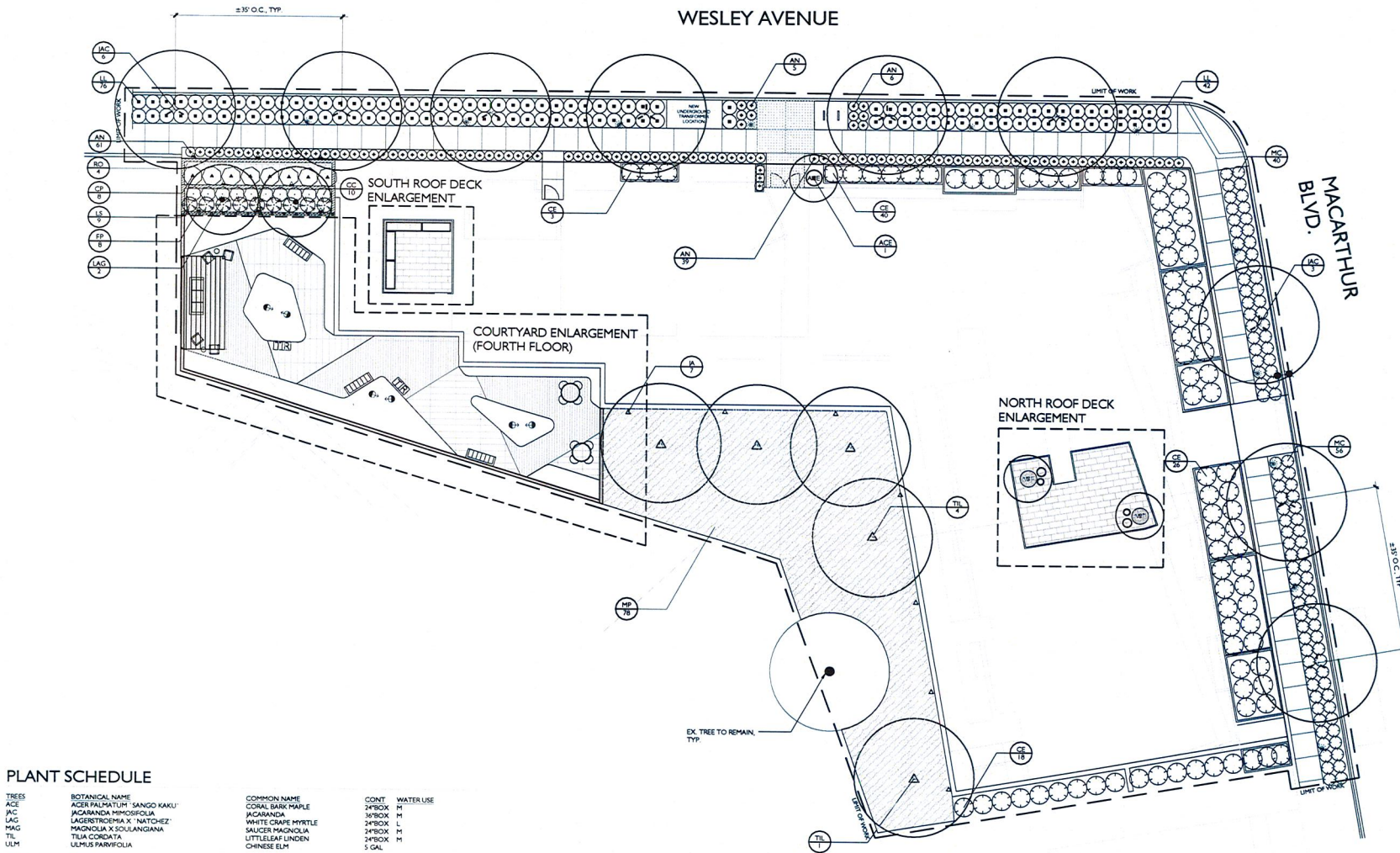


PROJECT NUMBER: 5352  
 DRAWN: JJK  
 CHECK: RC  
 DATE: 10/06/2017  
 SCALE: 1" = 10'



PLANTING PLAN

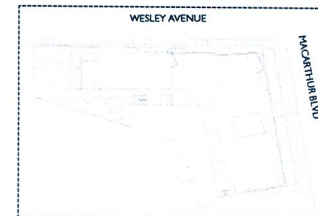
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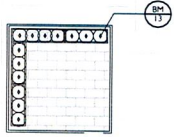


**PLANT SCHEDULE**

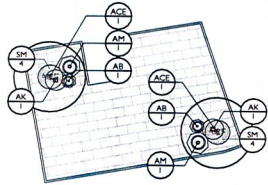
TREES	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	
ACE	ACER PALMATUM 'SANGO KAKU'	CORAL BARK MAPLE	24"BOX	M	
JAC	JACARANDA MIMOSIFOLIA	JACARANDA	36"BOX	M	
LAC	LAGERSTROEMIA X 'NATCHEZ'	WHITE ORANGE MYRTLE	24"BOX	L	
MAG	MAGNOLIA X SOULANGIANA	SAUCER MAGNOLIA	24"BOX	M	
TL	TILIA CORODATA	LITTLELEAF LINDEN	24"BOX	M	
ULM	ULMUS PARVIFOLIA	CHINESE ELM	5 GAL	M	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
AK	AGAVE ATTENUATA 'KARA'S STRIPES'	AGAVE	5 GAL	M	36" o.c.
AS	AGAVE X 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL	L	24" o.c.
AN	ANIGONANTHOS X 'BUSH GOLD'	KANGAROO PAW	5 GAL	L	24" o.c.
AM	ASPARGUS MEYER	FOXTAIL FERN	5 GAL	M	36" o.c.
BT	BERBERIS THUNBERGII 'MARIA'	SUNSET GOLD PILLAR BARBERRY	5 GAL	M	36" o.c.
BB	BUDDLEJA DAVIDII 'BLUE CHIP'	DWARF BUTTERFLY BUSH	5 GAL	M	24" o.c.
BM	BULBUL MICROPHYLLA JAPONICA 'GREEN BEAUTY'	GREEN BEAUTY BICKWOOD	5 GAL	M	24" o.c.
CD	CAREX OSHIMENSIS 'EVERILLO'	EVERILLO JAPANESE SEDGE	5 GAL	M	18" o.c.
CE	CHANDRODIPETALUM ELEPHANTINUM	LARGE CAPE RUSH	1 GAL	L	48" o.c.
CP	COLEONEMA PULCHRUM	PINK BREATH OF HEAVEN	5 GAL	M	48" o.c.
CC	COLEONEMA PULCHRUM 'SUNSET GOLD'	GOLDEN BREATH OF HEAVEN	5 GAL	M	36" o.c.
CG	CORREA GLABRA 'COLOSSAL RIVER'	COLOSSAL RIVER ROCK FUCHSIA	5 GAL	L	36" o.c.
CO	COTINUS COCOGYRIA 'GOLDEN SPIRIT'	SMOKE TREE	5 GAL	L	72" o.c.
LG	LEUCADENDRON X 'SAFARI GOLD STRIKE'	YELLOW CONEBUSH	5 GAL	L	60" o.c.
LS	LIGULSTRUM STRIENSE 'SUNSHINE'	SUNSHINE LIGULSTRUM	5 GAL	M	42" o.c.
LL	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	5 GAL	L	36" o.c.
MC	MANDARINA EUROCACTEATA 'SOFT CARESS'	MANDARINA SOFT CARESS	1 GAL	L	30" o.c.
VINES/PAUIER	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
FP	FIGUS PUMILA	CREeping FIG	15 GAL	M	12" o.c.
JA	JASMINUM POLYANTHUM	PINK JASMINE	15 GAL	M	12" o.c.
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	SPACING
MF	HYPOPHRILUM FABRIGOLUUM	TRAILING HYPOPHRILUM	1 GAL	L	72" o.c.
RO	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	1 GAL	L	48" o.c.
SM	SENECIO MANDRAUSCAE 'BLUE CHALK STICKS'	SENECIO	1 GAL	L	18" o.c.

**KEY MAP**

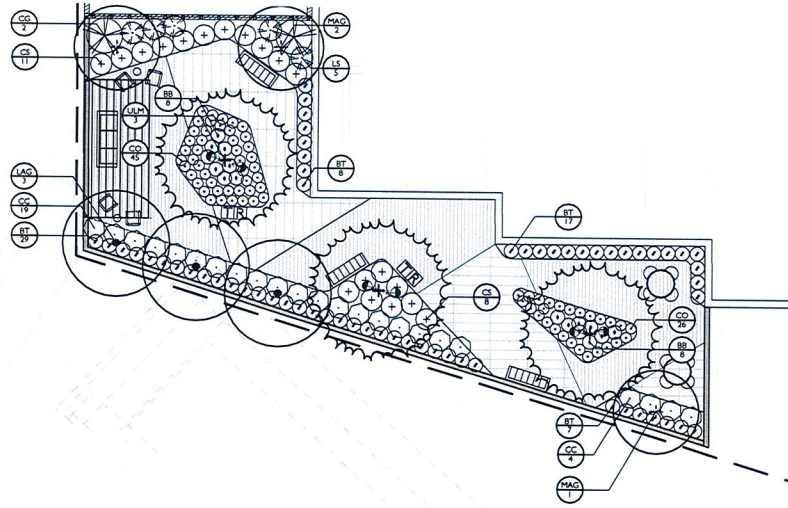




3 SOUTH ROOF DECK  
1/8" = 1'



2 NORTH ROOF DECK  
1/8" = 1'



1 4TH FLOOR COURTYARD ENLARGEMENT (ON GRADE)  
1/8" = 1'

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT	WATER USE
ACE	ACER PALMATUM 'SANGO KAKU'	CORAL BARK MAPLE	24"BOX	M
JAC	JACARANDA MIMOSIFOLIA	JACARANDA	36"BOX	M
LAC	LAGERSTROEMIA X 'NATCHEZ'	WHITE GRAPE MYRTLE	24"BOX	L
MAG	MAGNOLIA X COULANGIANA	SALICER MAGNOLIA	24"BOX	M
TL	TILIA CORDATA	LITTLELEAF LINDEN	24"BOX	M
ULM	ULMUS PARVIFOLIA	CHINESE ELM	5 GAL	M

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
AK	AGAVE ATTENUATA 'KARA'S STRIPES'	AGAVE	5 GAL	M	30" o.c.
AB	AGAVE X 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL	L	24" o.c.
AN	ANGOZANTHOS X 'BUSH GOLD'	KANGAROO PAW	5 GAL	L	24" o.c.
AM	ASPARAGUS MEYER	FOXTAIL FERN	5 GAL	M	24" o.c.
BB	BERBERIS THUNBERGII 'MABA'	SUNJOY GOLD PILLAR BARBERRY	5 GAL	M	24" o.c.
BT	BUDDLEJA DAVIDII 'BLUE CHIP'	DWARF BUTTERFLY BUSH	5 GAL	M	24" o.c.
CE	BUXUS MICROPHYLLA JAPONICA 'GREEN BEAUTY'	GREEN BEAUTY BOXWOOD	5 GAL	M	24" o.c.
CB	CAREX OSHIMENSIS 'ENVERLO'	ENVERLO JAPANESE SEDGE	5 GAL	M	18" o.c.
CO	CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH	1 GAL	L	48" o.c.
CC	CORREA GLABRA 'COLOBAN RIVER'	PINK BREATH OF HEAVEN	5 GAL	M	48" o.c.
CG	COTINUS COCOYGBA 'GOLDEN SPIRIT'	GOLDEN BREATH OF HEAVEN	5 GAL	L	30" o.c.
LG	LEUCADENDRON X 'SAFARI GOLD STRIKE'	YELLOW CONEBUSH	5 GAL	L	72" o.c.
LS	LIGULSTRUM SINENSE 'SUNSHINE'	SUNSHINE LIGULSTRUM	5 GAL	M	42" o.c.
LL	LOMANDIA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	5 GAL	L	30" o.c.
MC	MAHONIA EURYBRACATA 'SOFT CARESS'	MAHONIA SOFT CARESS	1 GAL	L	30" o.c.

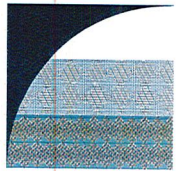
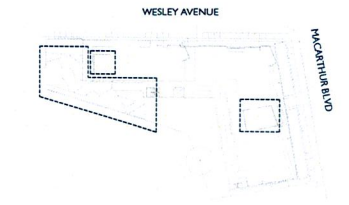
  

VINES/PAULER	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
FP	FIGUS FURCATA	CREEPING FIG	15 GAL	M	12" o.c.
JA	JASMINUM POLYANTHUM	PINK JASMINE	15 GAL	M	12" o.c.

GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	SPACING
MP	MYOPORUM PARVIFOLIUM	TRAILING MYOPORIUM	1 GAL	L	72" o.c.
RD	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	1 GAL	L	48" o.c.
SM	SENECIO MANDRALISCAE 'BLUE CHALK STICKS'	SENECIO	1 GAL	L	18" o.c.

KEY MAP



**GATES**  
+ ASSOCIATES  
LANDSCAPE ARCHITECTURE  
LAND PLANNING · URBAN DESIGN  
2671 CROW CANYON RD. SAN RAMON, CA 94583  
T 925.734.8174 www.gates.com

601  
MACARTHUR  
BLVD.  
  
OAKLAND  
CA

ISSUE: DESCRIPTION: DATE:  
1 PLANNING SUBMITTAL 10/06/2017

**NOT FOR CONSTRUCTION**

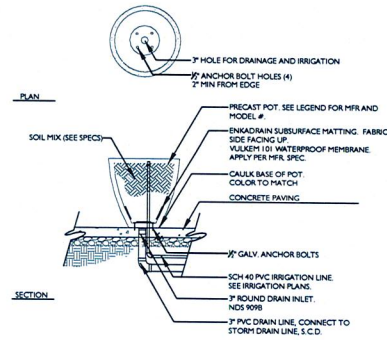


PROJECT NUMBER: 5352  
DRAWN: JK  
CHECK: MC  
DATE: 10/06/2017  
SCALE: 1/8" = 1'

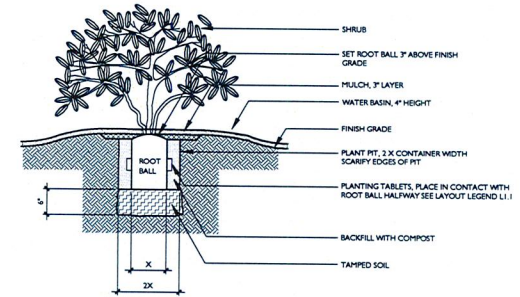
PLANTING PLAN

**L3.02**

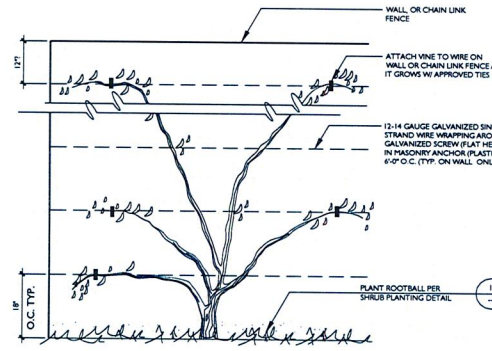
NOTES: 1. FOR ALL DRAWINGS, SEE THE PROJECT MANUAL FOR THE LATEST REVISIONS.  
 2. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.  
 3. ALL MATERIALS SHALL BE AS MANUFACTURED.  
 4. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE SPECIFIED.  
 5. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY.  
 6. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY.  
 7. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY.  
 8. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY.  
 9. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY.  
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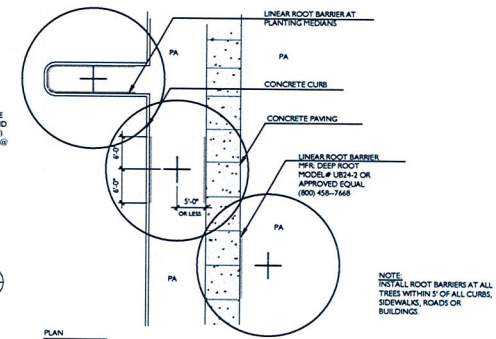
**6 POT INSTALLATION**  
SCALE: 1/2" = 1'-0"



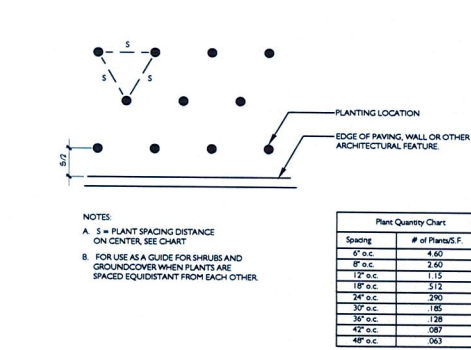
**3 SHRUB PLANTING**  
SCALE: N.T.S.



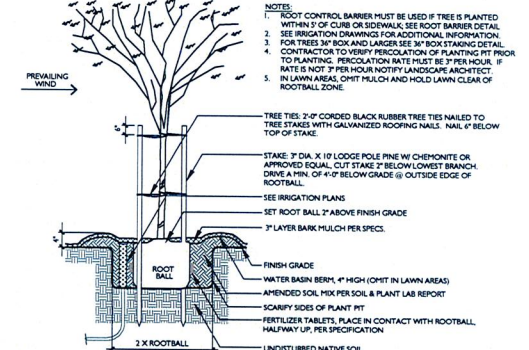
**5 VINE PLANTING**  
SCALE: N.T.S.



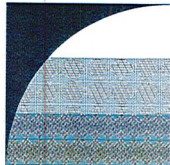
**2 LINEAR ROOT BARRIER**  
SCALE: 1" = 10'-0"



**4 PLANT SPACING**  
SCALE: N.T.S.



**1 TREE STAKING DETAIL**  
SCALE: 3/8" = 1'-0"



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CA

ISSUE: DESCRIPTION: DATE:  
1 PLANNING SUBMITTAL 10/06/2017

**NOT FOR CONSTRUCTION**



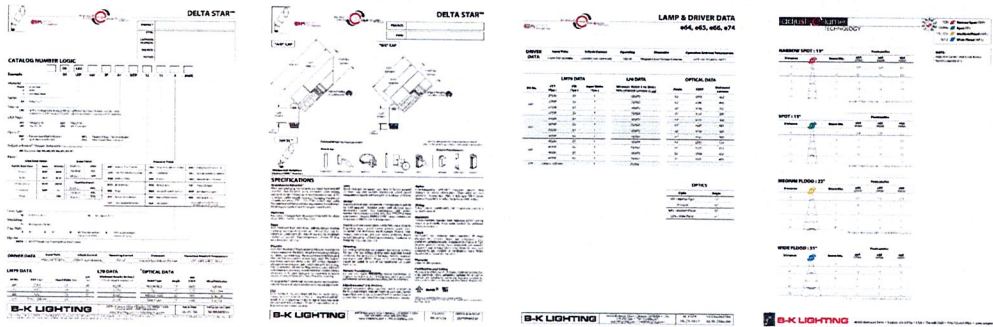
PROJECT NUMBER: 5352  
DRAWN: JK  
CHECK: RC  
DATE: 10/06/2017  
SCALE:



CONSTRUCTION DETAILS

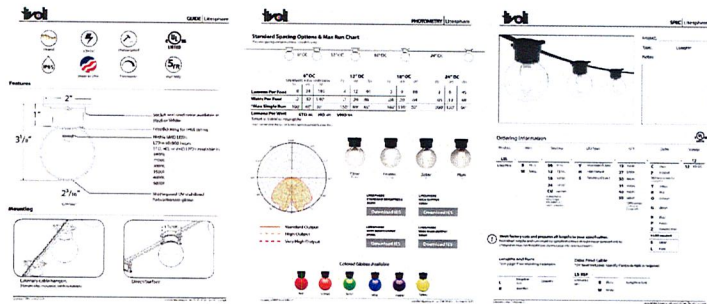
**L4.01**

PLAN: P:\WORK\601 MACARTHUR\601 MACARTHUR\ACC\DWG01.dwg (S:\601 MACARTHUR.DWG)  
PLOT DATE: 10/09/2017 5:18:31 PM



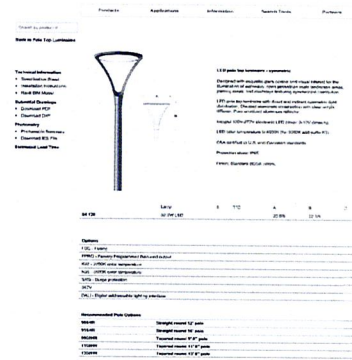
### 3 UPLIGHT

SCALE: 1" = 1'



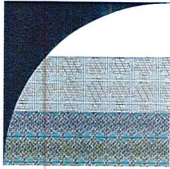
### 2 TIVOLI LIGHTS

SCALE: 1" = 1'



### 1 PEDESTRIAN LIGHT

SCALE: 1" = 1'



**GATES + ASSOCIATES**  
LANDSCAPE ARCHITECTURE  
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OAKLAND  
CA

ISSUE: 1 DESCRIPTION: PLANNING SUBMITTAL DATE: 10/06/2017

**NOT FOR CONSTRUCTION**



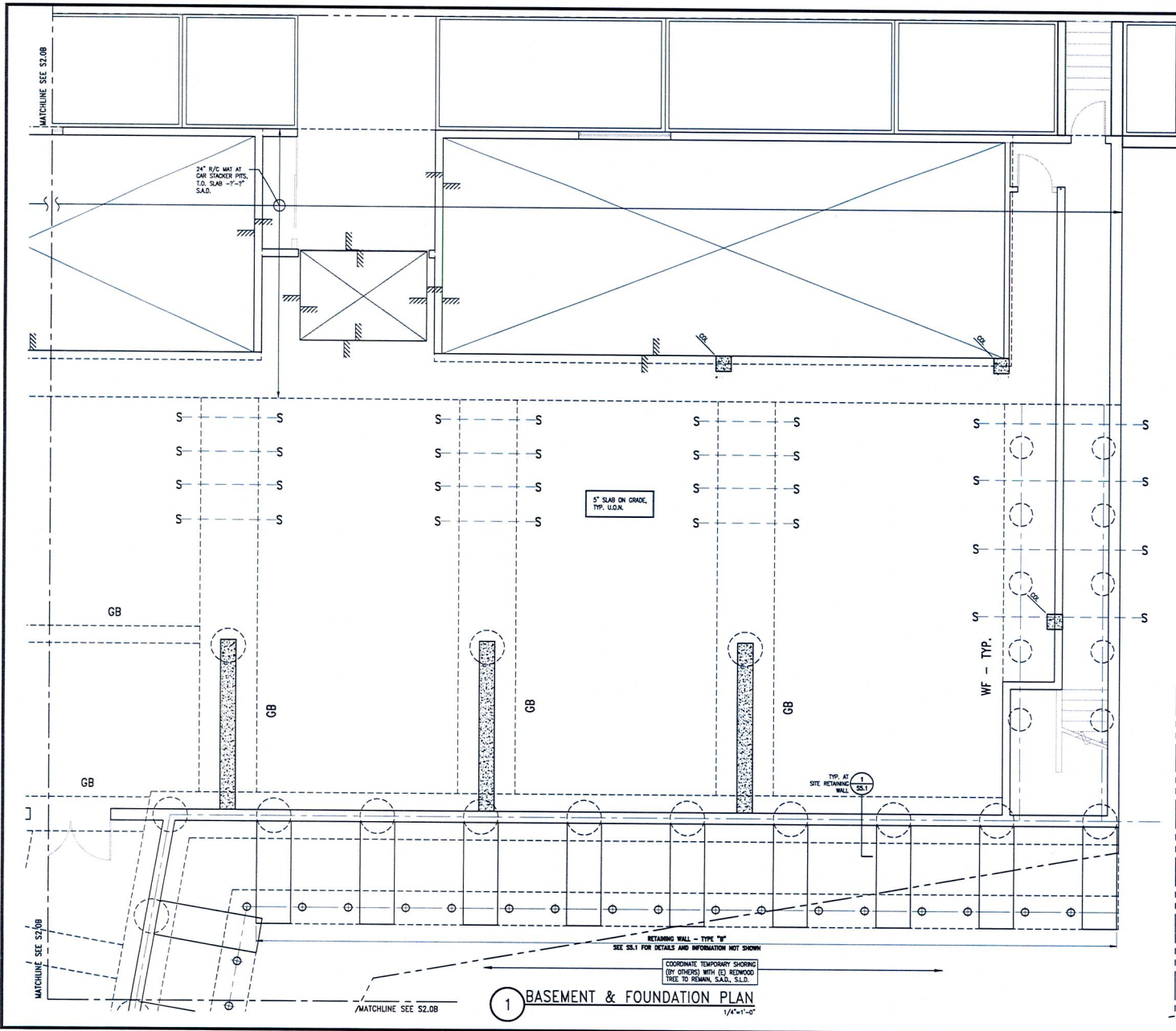
PROJECT NUMBER: 5352  
DRAWN: JC  
CHECK: RC  
DATE: 10/06/2017  
SCALE:



**LIGHTING SPECS**

**L4.02**

DATE: 09/14/17  
 DRAWN: MFC/AL  
 CHECKED: AR  
 BY: S2.0A  
 PROJECT: 2017.09.00  
 SHEET: 1 OF 1



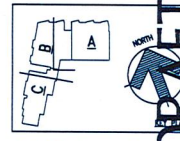
**1 BASEMENT & FOUNDATION PLAN**  
1/4" = 1'-0"

**SHEET NOTES:**

- SEE FOOTING SCHEDULES FOR FOOTING DIMENSIONS AND REINFORCING  
 GB GRADE BEAMS 1/577  
 F SPREAD FOOTINGS 1/577  
 WF WALL FOOTINGS 1/577
- TOP OF FOOTINGS SHALL BE -0'-8" UNLESS OTHERWISE NOTED ON PLAN.
- GRADE BEAMS SHALL BE PLACED MONOLITHICALLY UNLESS SPECIFICALLY NOTED ON PLAN. LOCATION OF ADDITIONAL CONSTRUCTION JOINTS, IF REQUIRED, SHALL HAVE WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER PRIOR TO REBAR FABRICATION.
- SEE SLAB ON GRADE TYPICAL DETAILS ON S77 FOR REINFORCEMENT AND REQUIREMENTS NOT SHOWN ON PLAN.
- SEE COLUMN SCHEDULE ON S77 FOR COLUMN DIMENSIONS AND REINFORCING.
- SEE WALL SCHEDULE ON S77 FOR WALL DIMENSIONS AND REINFORCING.
- SEE SHEAR WALL SCHEDULE ON S77 FOR SHEAR WALL DIMENSIONS AND REINFORCING.
- TYPICAL DRILLED PIER SHALL BE 36" AND HAVE AN EMBEDMENT DEPTH OF 72 FEET UNLESS OTHERWISE NOTED ON DRAWING.
- BRICKL BEHIND RETAINING WALLS SHALL BE PER GEOTECHNICAL ENGINEER AFTER WALL IS COMPLETE AND HAS REACHED DESIGN STRENGTH.
- CONTRACTOR TO PROVIDE SHORING AND/OR UNDERPINNING OF NEIGHBORING FOUNDATIONS AS REQUIRED TO PLACE NEW RETAINING WALLS AND FOOTINGS.

**LEGEND:**

- INDICATES FOOTING TYPE (GB - GRADE BEAM; F - SPREAD FTG) - SEE SCHEDULE 1/577
- INDICATES DRILLED PIER - SEE PLAN NOTES AND/OR 1/577 AND EMBEDMENT DEPTH
- INDICATES MICROPILE - SEE 1/577
- CONCRETE WALL ABOVE - SEE SCHEDULE 1/577
- CONCRETE SHEAR WALL ABOVE - SEE SCHEDULE 1/577
- CONCRETE WALL BELOW
- CMU WALL ABOVE
- STEEL STUD PARTITION WALL ABOVE
- CONCRETE COLUMN ABOVE
- INDICATES EDGE OF DEPRESSED SLAB
- INDICATES FOOTING STEP - SEE 1/577 FOR TYPICAL DETAIL

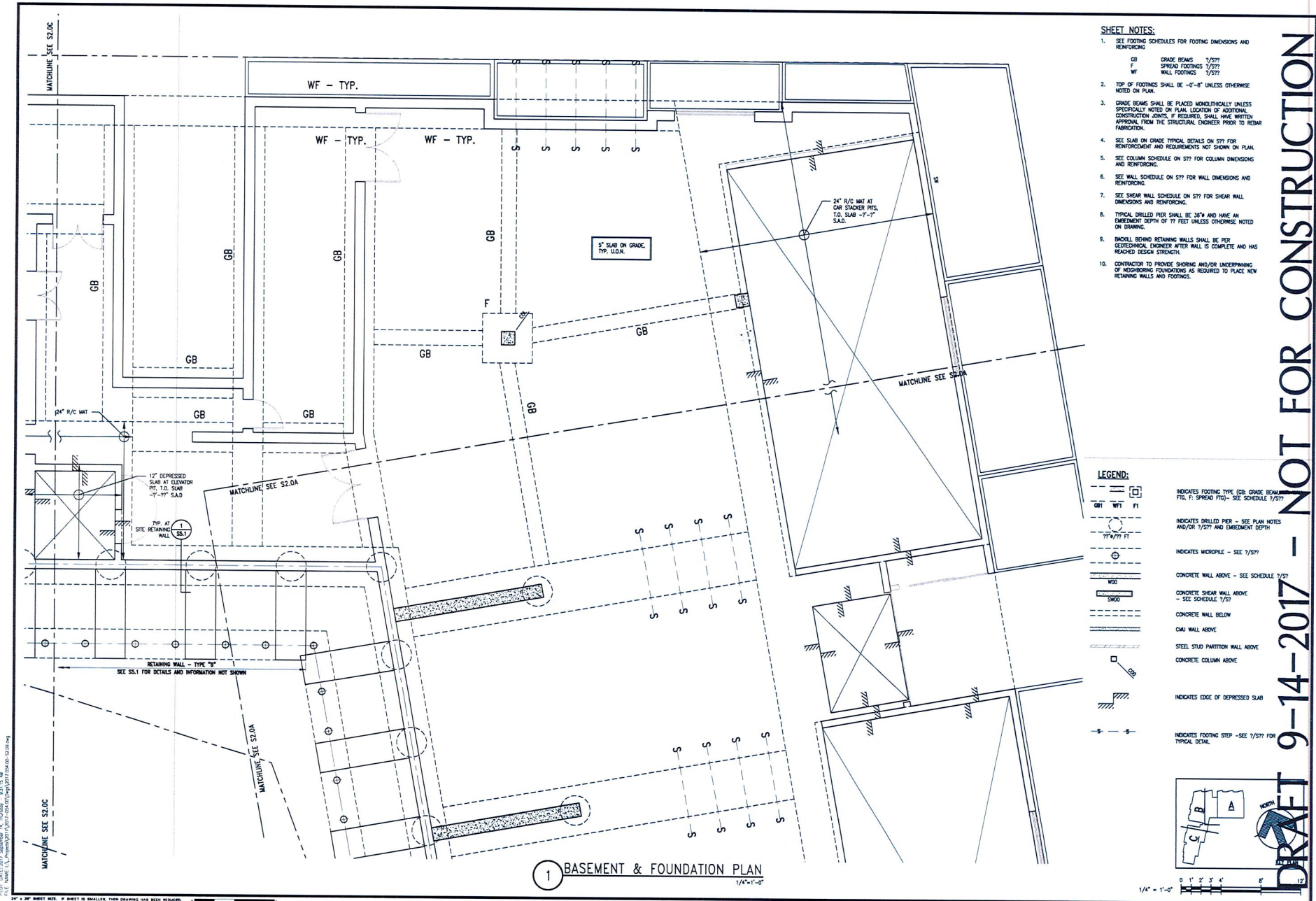


REVISIONS	BY:

**TA** Tuan & Robinson  
 Structural Engineers, Inc.  
 444 S. Market Street, Suite 901  
 Oakland, CA 94607  
 TEL: 415 837-2400 FAX: 415 937-2483  
 THESE PROJECT NUMBER: 2017.09.00  
 DATE: 09/14/17  
 SHEET: 1 OF 1

THE LAKE HOUSE DEVELOPMENT  
 601 MACARTHUR BLVD  
 OAKLAND, CALIFORNIA 94610

FOUNDATION PLAN - NORTH EAST  
 DATE: 09/14/17  
 SCALE: 1/4" = 1'-0"  
 DRAWN: MFC/AL  
 CHECKED: AR  
 BY: S2.0A  
 SHEETS

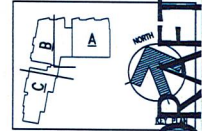


**SHEET NOTES:**

- SEE FOOTING SCHEDULES FOR FOOTING DIMENSIONS AND REINFORCING.  
GB GRADE BEAMS 1/5/77  
F SPREAD FOOTINGS 7/5/77  
WF WALL FOOTINGS 7/5/77
- TOP OF FOOTINGS SHALL BE -0'-8" UNLESS OTHERWISE NOTED ON PLAN.
- GRADE BEAMS SHALL BE PLACED MONOLITHICALLY UNLESS SPECIFICALLY NOTED ON PLAN. LOCATION OF ADDITIONAL CONSTRUCTION JOINTS, IF REQUIRED, SHALL HAVE WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER PRIOR TO REBAR FABRICATION.
- SEE SLAB ON GRADE TYPICAL DETAILS ON S77 FOR REINFORCEMENT AND REQUIREMENTS NOT SHOWN ON PLAN.
- SEE COLUMN SCHEDULE ON S77 FOR COLUMN DIMENSIONS AND REINFORCING.
- SEE WALL SCHEDULE ON S77 FOR SHEAR WALL DIMENSIONS AND REINFORCING.
- SEE SHEAR WALL SCHEDULE ON S77 FOR SHEAR WALL DIMENSIONS AND REINFORCING.
- TYPICAL DRILLED PIER SHALL BE 36"Ø AND HAVE AN EMBEDMENT DEPTH OF 77 FEET UNLESS OTHERWISE NOTED ON DRAWING.
- BACKFILL BEHIND RETAINING WALLS SHALL BE PER GEOTECHNICAL ENGINEER AFTER WALL IS COMPLETE AND HAS REACHED DESIGN STRENGTH.
- CONTRACTOR TO PROVIDE SHORING AND/OR UNDERPINNING OF NEIGHBORING FOUNDATIONS AS REQUIRED TO PLACE NEW RETAINING WALLS AND FOOTINGS.

**LEGEND:**

GB	WF	C	F
INDICATES FOOTING TYPE (GB: GRADE BEAM; WF: SPREAD FTG; C: SEE SCHEDULE 7/5/77; F: SEE SCHEDULE 7/5/77)			
○			
INDICATES DRILLED PIER - SEE PLAN NOTES AND/OR 7/5/77 AND EMBEDMENT DEPTH			
—			
INDICATES MICROPILE - SEE 7/5/77			
—			
CONCRETE WALL ABOVE - SEE SCHEDULE 7/5/77			
—			
CONCRETE SHEAR WALL ABOVE - SEE SCHEDULE 7/5/77			
—			
CONCRETE WALL BELOW			
—			
CHJ WALL ABOVE			
—			
STEEL STUD PARTITION WALL ABOVE			
—			
CONCRETE COLUMN ABOVE			
—			
INDICATES EDGE OF DERESSED SLAB			
—			
INDICATES FOOTING STEP - SEE 7/5/77 FOR TYPICAL DETAIL			



REVISIONS	BY:

**TR Tuan & Robinson**  
 Structural Engineers, Inc.  
 2445 Ash Grove Street, Suite 200  
 Oakland, CA 94612  
 TEL 415 957 7400 FAX 415 957 2483  
 THESE PROJECT NUMBER: 2017040100



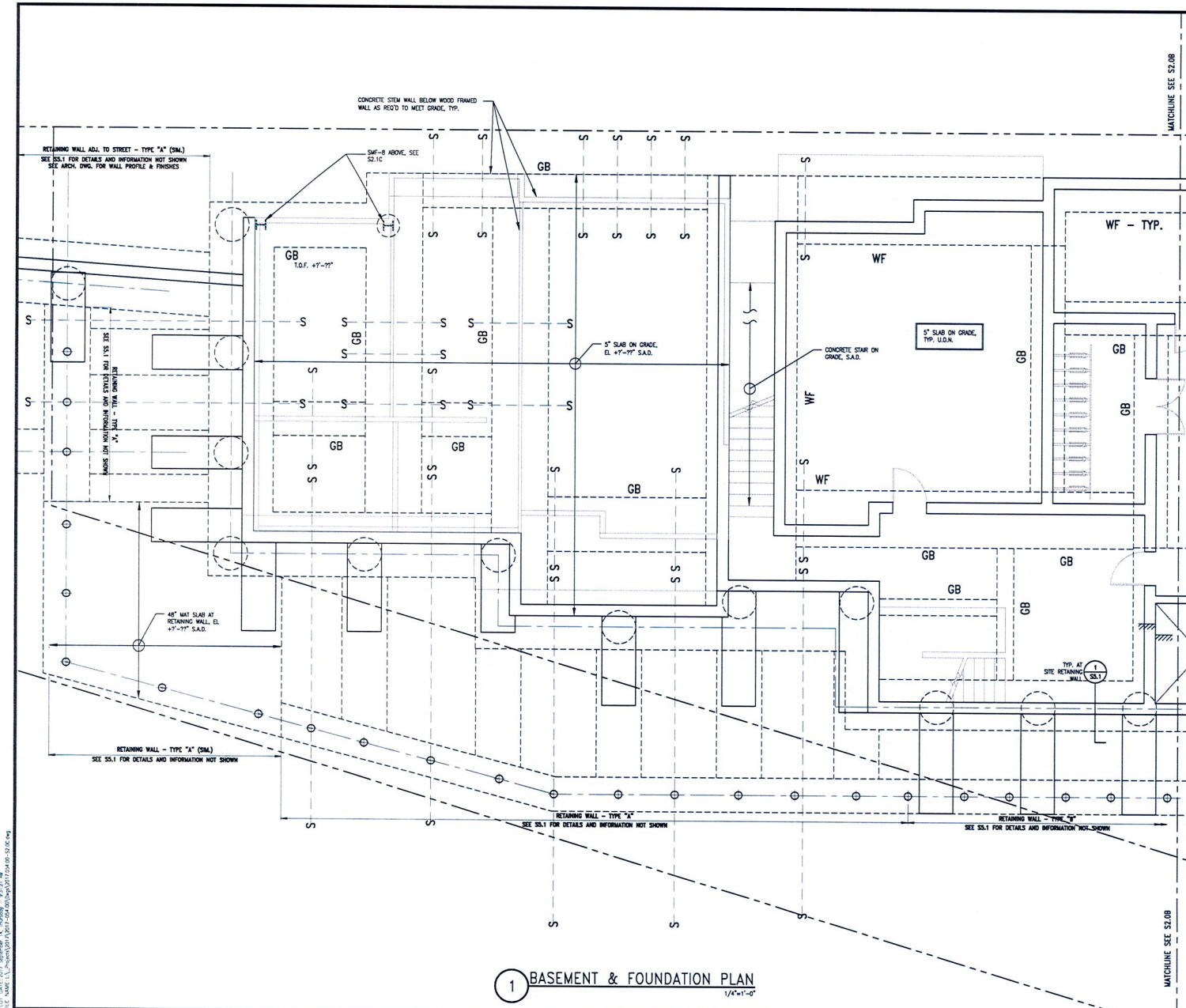
**THE LAKE HOUSE DEVELOPMENT**  
 601 MACARTHUR BLVD  
 OAKLAND, CALIFORNIA 94610

**FOUNDATION PLAN - NORTH WEST**

DATE	10/12/17
SCALE	1/4"=1'-0"
DRAWN	MS/CA
CHECKED	SR
SHEET	S20B
OF	2 SHEETS

**DRAFT 9-14-2017 - NOT FOR CONSTRUCTION**





- SHEET NOTES:**
- SEE FOOTING SCHEDULES FOR FOOTING DIMENSIONS AND REINFORCING  
GB GRADE BEAMS 7/57  
F SPREAD FOOTINGS 7/57  
WF WALL FOOTINGS 7/57
  - TOP OF FOOTINGS SHALL BE -0'-0" UNLESS OTHERWISE NOTED ON PLAN.
  - GRADE BEAMS SHALL BE PLACED MONOLITHICALLY UNLESS SPECIFICALLY NOTED ON PLAN. LOCATION OF ADDITIONAL CONSTRUCTION JOINTS, IF REQUIRED, SHALL HAVE WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER PRIOR TO REBAR FABRICATION.
  - SEE SLAB ON GRADE TYPICAL DETAILS ON S77 FOR REINFORCEMENT AND REQUIREMENTS NOT SHOWN ON PLAN.
  - SEE COLUMN SCHEDULE ON S77 FOR COLUMN DIMENSIONS AND REINFORCING.
  - SEE WALL SCHEDULE ON S77 FOR WALL DIMENSIONS AND REINFORCING.
  - SEE SHEAR WALL SCHEDULE ON S77 FOR SHEAR WALL DIMENSIONS AND REINFORCING.
  - TYPICAL DRILLED PIERS SHALL BE 36" AND HAVE AN EMBEDMENT DEPTH OF 77 FEET UNLESS OTHERWISE NOTED ON DRAWING.
  - SHOULDER BEHIND RETAINING WALLS SHALL BE PER GEOTECHNICAL ENGINEER AFTER WALL IS COMPLETE AND HAS REACHED DESIGN STRENGTH.
  - CONTRACTOR TO PROVIDE SHORING AND/OR UNDERPINNING OF NEIGHBORING FOUNDATIONS AS REQUIRED TO PLACE NEW RETAINING WALLS AND FOOTINGS.

REVISIONS

NO.	DATE	DESCRIPTION

**TR** Tuan & Robinson  
Structural Engineers, Inc.  
1000 Lakeside Blvd., Suite 1000  
Oakland, CA 94612  
TEL: 415 957 2400 FAX: 415 957 2483  
P.E. License No. 44477  
S.E. License No. 10000  
SHEET NUMBER: S2.0C OF 2  
PROJECT NUMBER: 201704-00  
DATE: 09/14/17



THE LAKE HOUSE DEVELOPMENT  
601 MACARTHUR BLVD  
OAKLAND, CALIFORNIA 94610

FOUNDATION PLAN - SOUTH

DATE: / /

SCALE: / /

DRAWN: MS/CA

CHECKED: JR

SHEET: S2.0C

OF SHEETS

**DRAFT 9-14-2017 - NOT FOR CONSTRUCTION**

1 BASEMENT & FOUNDATION PLAN  
1/4" = 1'-0"

REVISIONS	BY

**TR** Tuan & Robinson  
Structural Engineers, Inc.  
1400 Broadway, Suite 200  
Oakland, CA 94612  
TEL: 415 767 2400 FAX: 415 957 2483



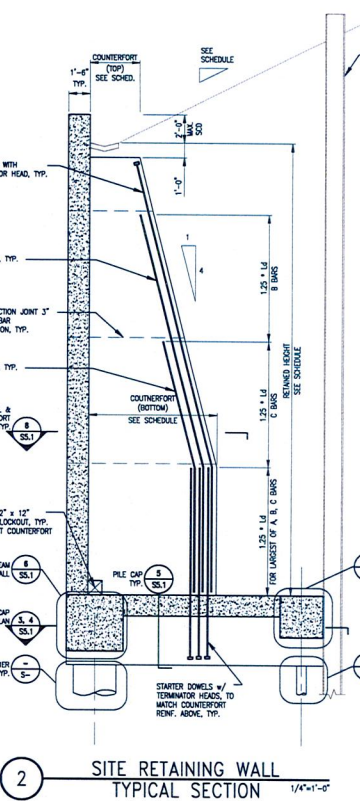
THE LAKE HOUSE DEVELOPMENT  
601 MACARTHUR BLVD  
OAKLAND, CALIFORNIA 94610

SITE RETAINING WALL DETAILS

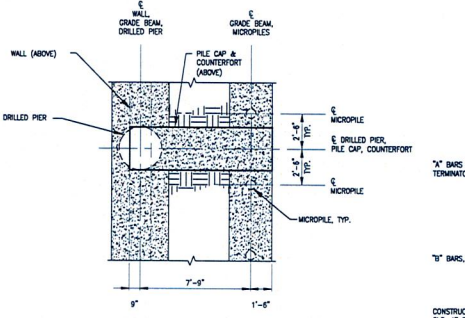
DATE	
SCALE	1/4"=1'-0"
DRAWN	
CHECKED	
SHEET	
OF	

S5.1  
SHEETS

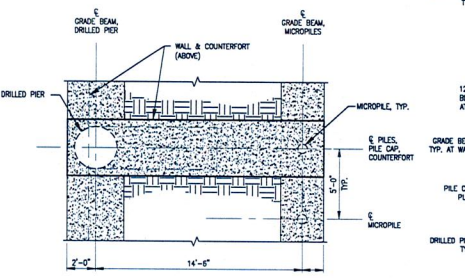
DRAFT 9-14-2017 - NOT FOR CONSTRUCTION



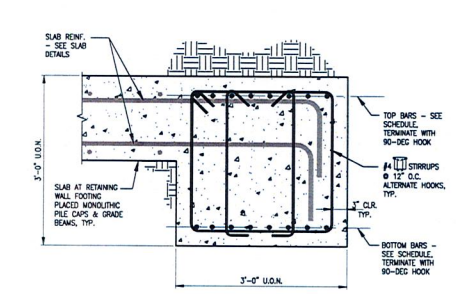
2 SITE RETAINING WALL TYPICAL SECTION 1/4"=1'-0"



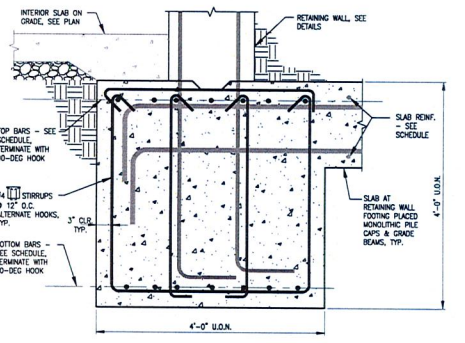
4 PILE CAP PLAN - TYPE B 1/4"=1'-0"



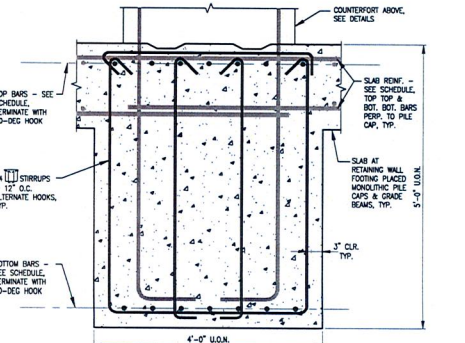
3 PILE CAP PLAN - TYPE A 1/4"=1'-0"



7 GRADE BEAM TYPICAL AT HEEL 1/4"=1'-0"



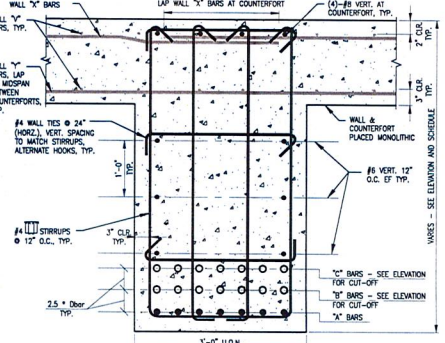
6 GRADE BEAM TYPICAL BELOW WALL 1/4"=1'-0"



5 PILE CAP TYPICAL 1/4"=1'-0"



9 SLAB BLOCKOUT PLAN - TYPICAL 1/4"=1'-0"



8 WALL & COUNTERFORT PLAN - TYPICAL 1/4"=1'-0"

SITE RETAINING WALL - WALL SCHEDULE													
WALL CONFIGURATION	MAX. RETAINED HEIGHT	MAX. BACKFILL SLOPE	THICKNESS	WALL			COUNTERFORT						
				"x" BARS	"y" BARS	"z" BARS	SPACING	THICKNESS	LENGTH (TOP)	LENGTH (BOTTOM)	"a" BARS	"b" BARS	"c" BARS
TYPE A	34'-0"	2H : 1V	1'-6"	#6 @ 12"	#4 @ 12"	#4 @ 16"	10'-0"	3'-0"	3'-6"	7'-6"	(7)-#11	(7)-#11	(7)-#11
TYPE B	34'-0"	2H : 1V	1'-6"	#6 @ 12"	#4 @ 12"	#4 @ 16"	10'-0"	3'-0"	4'-6"	8'-6"	(7)-#9	(7)-#9	(7)-#9

SITE RETAINING WALL - FOUNDATION SCHEDULE													
WALL CONFIGURATION	PILE CAP			GRADE BEAM (WALL)			GRADE BEAM (HEEL)			SLAB		MICROPILE LOAD (ASD TOTAL LOAD INCLUDING SEISMIC)	
	SIZE (WxD)	TOP BARS	BOTTOM BARS	SIZE (WxD)	TOP BARS	BOTTOM BARS	SIZE (WxD)	TOP BARS	BOTTOM BARS	THICKNESS	TOP BARS		BOTTOM BARS
TYPE A	48"x60"	(7)-#5	(7)-#10	48"x48"	(7)-#5	(7)-#9	36"x36"	(8)-#9	(8)-#9	1'-6"	#5@12"O.C.E.W.	#7@12"O.C.E.W.	180 KIPS
TYPE B	36"x60"	(7)-#5	(7)-#9	48"x48"	(7)-#5	(7)-#9	36"x48"	(8)-#10	(8)-#9	1'-6"	#5@12"O.C.E.W.	#7@12"O.C.E.W.	400 KIPS

1 SITE RETAINING WALL SCHEDULES

1/4" = 3/8" SHEET SIZE. IF SHEET IS SMALLER, THEN DRAWING HAS BEEN REDUCED.



# Memorandum

## Comments on Review of Tentative Parcel Map 10691 PLN 17281

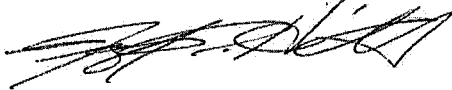
November 9, 2017

I have reviewed the submitted Tentative Parcel Map dated September 26, 2017, and have the following requirements to be added to the **Conditions of Approval**.

- The final parcel map shall clearly show the process and development of the location of the boundary lines from adjoining streets and boundaries. This includes how the depth of the lot was confirmed.
- Depending upon this process, and at discretion of the City Surveyor, a standard city monument(s) or a private monument meeting City specifications may be required to be installed at an approved location.
- Tentative maps must comply with the Planning Departments checklist for Parcel Maps and Tentative maps
- **All** of the property lines of the parcels (new and perimeter) should be shown and dimensioned on the map
- The applicant must investigate and confirm, in writing, that no portion of the project lies with a Seismic Hazard area as shown upon the State Geologist maps (reference is made to PRC Division 2, Chapter 7.8 section 2696). If the project does lie within such an area, the appropriate certificate shall be added to the final map. A copy of this certificate is available from the City.
- No portion of any new structure shall extend beyond the boundary lines without the appropriate easement. Portions which will extend beyond the RoW line must be approved by the Right of Way Engineer. The following encroachments have been noted, however they may not be the only items.
  - Determine fence line ownership on the west side of Lot 7 if owned by others please move the fence line to common line;
  - Determine fence line ownership on the west side of Lot 5 if owned by others please move the fence line to common line;
  - Improvement encroachments by in Lot 7 by 620 Hillgirt Circle will need to be removed.
- A public sanitary sewer line whether by prescription or by documentation exists traversing the site. Buildings are not allowed to be built over existing lines. Provide for the perpetuation, and relocation of the existing line, legally and physically.

- The easement of the relocated line will need to be quit claimed or abandoned.
- If property lines are to merged include in short legal in the Title Block.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read 'Raymond R. Hébert', written in a cursive style.

**Raymond R. Hébert, PLS**

Acting City Surveyor

If project is to be approved by the Advisory Agency, please attach comments below as Conditions of Approval.

<p><u>Planning Number</u> PLN17281_TPM10691</p> <p><u>Permit Address</u> 601 MacArthur Blvd</p>	<p><u>Review comments</u></p>
<p><u>Streets and sidewalk</u></p> <ul style="list-style-type: none"> <li>• Repair the sidewalk fronting the property to be in compliance with ADA standards, which are no more than ¼" lift and no more than 2% cross slope</li> <li>• Resurface one traffic lane, which is not wider than 13 feet, after the completion of work (construction reduces the pavement conditions index)</li> <li>• Sidewalk shall be 5.5 feet minimum but not less than 50-inches clear at pinch points for ADA access</li> <li>• Replace portions of existing sidewalks, curbs/gutter/driveway approaches damaged or broken or if non-standard</li> <li>• Private improvements in right of way and non-standard features MAY be approved with an encroachment permit</li> </ul>	<p>Prior to recording Parcel Map, applicant shall obtain a PX permit and enter into a P-Job Agreement for construction of improvements within the City's right-of-way and public easement(s). Improvement plans shall be prepared by a registered civil engineer and submitted to Public Works Engineering Services for review and approval prior to issuance of a PX permit. Reconstruct sidewalk fronting property to minimum 5.5' wide where existing width is less than 5.5'.</p>
<p><u>Traffic &amp; street geometry</u></p> <ul style="list-style-type: none"> <li>• New striping, curb painting, bulb-outs, changes to existing dimensions, impact to traffic resulting from development, traffic pattern, circulation, signals, traffic count, street/lane change, and other details shall be reviewed and approved by Traffic Engineer</li> <li>• Any alteration to geometry of roadway/sidewalk, markings, traffic control signs and devices shall be reviewed and approved by the Traffic Engineer</li> <li>• Traffic and parking sign posts shall be coated with anti-graffiti coating</li> </ul>	<p>Engineering Services will determine if any of the improvements shown on the plans submitted for the PX permit require the review and approval of the City's Traffic Engineer prior to issuance of the PX permit.</p>
<p><u>Driveway</u></p> <ul style="list-style-type: none"> <li>• Driveway approach, length, width, driveway separation and clearances, type of curb, driveway angle, shall be approved by Planning first</li> </ul>	<p>New driveway approaches shall be identified on the improvement plans for the PX permit. Proposed location(s) must be approved by Planning and Zoning prior to being approved by Engineering Services. Existing driveway approaches not necessary for the development shall be removed and replaced with new sidewalk, curb and gutter.</p>
<p><u>Curb ramps</u></p> <ul style="list-style-type: none"> <li>• Curb ramps shall be in compliance with the latest State of California standards. Curb ramps must be directional unless approved otherwise in writing by City Engineer</li> </ul>	<p>All new curb ramps or modifications to existing shall be shown on improvement plans submitted with PX permit application.</p>
<p><u>Sanitary Sewer</u></p> <ul style="list-style-type: none"> <li>• For commercial, condominium, and similar developments, sewer calculations are required to submit to the Public Works for review and assess of any applicable sewer mitigation fee (sewer flow from development to be calculated/submitted showing existing and proposed flows)</li> <li>• Projects that are over \$100,000 in construction cost require PSL certificate (sewer lateral permit and EBMUD inspection)</li> <li>• Sewer lateral work (new or rehabilitation of existing) requires sewer lateral (SL) permit.</li> <li>• Sewer lateral abandonment requires separate permit.</li> </ul>	<p>Realigned public sanitary sewer will require new 10' wide public sewer easement along property boundary and shall be kept clear of non-sewer improvements, and the conflicting existing easement abandoned. New sewer laterals and connection to main must be shown on the PX plans with plan and profile. Obtain PSL certificate and SL permit (s) as appropriate.</p>
<p><u>Storm Drain</u></p> <ul style="list-style-type: none"> <li>• Developers, engineers, and architects are to be familiar with storm water quality requirements, erosion issues, slope protection during and after construction, and Water Board requirements.</li> <li>• Water quality features to reduce the peak flow by 25% or to the extent possible to reduce impact on aged collection system as well as any open or closed water courses along the way.</li> <li>• Utilize parking lots open spaces for storm water quality features to further attenuate (bio swales, pervious pavers, pervious asphalt, tree wells, etc.).</li> </ul>	<p>Applicant shall submit the storm drainage calculations at the time of submitting the improvement plans for PX permit. Applicant shall meet all requirements of C.3 for stormwater pollution prevention.</p>

*PW Engineering Services plan review checklist.*

*If project is to be approved by the Advisory Agency, please attach comments below as Conditions of Approval.*

<p><u>Trees</u></p> <ul style="list-style-type: none"> <li>Trees are private unless approved and accepted as a public tree</li> <li>Tree wells shall be 3 feet by 6 feet minimum or 4 feet square as approved, install root barriers, irrigation, etc. and encroachment permit is needed. Tree grates and other acceptable covers are required (ADA accessible). Tree wells with approved covers may receive roof drains with an overflow opening into the gutter as approved.</li> </ul>	<p>The improvement plans submitted for the PX permit shall include landscape and irrigation plans for any landscaping proposed with the City's right-of-way. Any street trees, tree grates and root barriers shall be reviewed and approved by the City's Arborist as determined by Engineering Services.</p>
<p><u>Easement &amp; encroachments</u></p> <ul style="list-style-type: none"> <li>Show all easements and right of ways, avoid any construction of privately owned items in the public right of way (major/minor encroachment permit are required). Minor encroachment may be approved on case by case basis. Major encroachments must be approved by the Council (Features attached to the building encroaching in ROW require major encroachment permits). Approval of the parcel or final map is contingent on recording the agreements. Recordation number must be shown on the map to be recorded.</li> </ul>	<p>All utility easements for the proposed development shall be clearly identified on the improvement plans submitted for the PX permit. The applicant shall apply for and obtain encroachment permit for existing concrete wall in the public right of way along Wesley Ave prior to issuance of a PX permit, or remove and reconstruct it on private property.</p>
<p><u>Site Plan</u></p> <ul style="list-style-type: none"> <li>Site Plan shall depict the site, property boundaries, topography, key elements, vegetation, proposed/existing structures, easements, wells, roadways, monuments, etc.</li> </ul>	<p>A site plan shall be submitted with improvement plans for the PX Permit.</p>
<p><u>Public Works Maintenance</u></p> <ul style="list-style-type: none"> <li>Conduction of photometric-analysis of street lights is required by developer <a href="http://www2.oaklandnet.com/oakca1/groups/pwa/documents/policy/oak026007.pdf">http://www2.oaklandnet.com/oakca1/groups/pwa/documents/policy/oak026007.pdf</a>.</li> <li>Additional streetlights might be required based on the review of the photometric. Provide 10% spare streetlight fixtures for City of Oakland's Electrical Maintenance Operations. Additional streetlights and Pedestrian Pushbuttons for intersection crossing may be required by Traffic Engineer</li> <li>Utility undergrounding shall be clearly identified with Planner</li> <li>Pull boxes shall be locking</li> </ul>	<p>Photometric analysis of existing and proposed street lighting shall be submitted with PX permit application and will be reviewed by Electrical Services.</p>
<p><u>CDMG Designation (LS/LQ), A-P Zone, Flood Zone, Creek/water course, etc.</u></p> <ul style="list-style-type: none"> <li>Properties located in any of the above hazard conditions require soil report, geologic report, creek protection permit, and related documents prepared by a license professional.</li> </ul>	<p>The improvement plans shall identify on the cover sheet the flood zone designation and FIRM rate map for the property. The Geotechnical Engineer and reference to soils reports shall also be included on the cover sheet of the improvement plans submitted for review and approval.</p>
<p><u>Oakland Municipal Code (OMC)</u> All other applicable planning and building code shown below but not limited to:</p> <ul style="list-style-type: none"> <li>Survey monuments protection</li> <li>Set back from the property line, buffer area (separation) or distance required by the building department between buildings</li> <li>P-job (off-site &amp; on-site improvement)</li> <li>Sewer lateral (PSL) program for developments exceeding \$100,000 (PW &amp; BLD)</li> <li>Common sewer lateral and the impact on individuals under the PSL program (PW &amp; BLD)</li> <li>Fire access</li> <li>Grading / Soils report / Geologic report</li> <li>CDMG Designation, potential for liquefaction(LQ) and/or landslide(LS)</li> <li>Dewatering (BLD &amp; PW)</li> <li>Shoring (BLD)</li> <li>Storm water pollution prevention (BLD).</li> </ul>	<p>The project shall meet all applicable municipal and building codes prior to issuance of any building or construction permit(s).</p>

BASED ON CURRENT CITY RECORDS THE FOLLOWING APPLIES TO THIS PARCEL. (CITY ASSUMES NO RESPONSIBILITY FOR ACCURACY OR COMPLETENESS THEREOF)

\_\_\_\_\_ **QUAD MAP NUMBER**  
\_\_\_\_\_ **LOT DIMENSIONS**  
Zone X \_\_\_\_\_ **FLOOD ZONE**  
\_\_\_\_\_ **CREEK / WATER COURSE**  
\_\_\_\_\_ **EASEMENTS**  
\_\_\_\_\_ **PSAD I MITIGATION**  
\_\_\_\_\_ **A-P ZONE**  
\_\_\_\_\_ **CDMG DESIGNATION**  
\_\_\_\_\_ **LAND STABILITY**  
\_\_\_\_\_ **FACE OF CURB TO PROPERTY LINE**  
\_\_\_\_\_ **ENCROACHMENTS**

**RECORD NUMBER** PLN17281\_TPM10691 - 601 MacArthur Blvd

**DATE** 10-19-2017