

Project Location:	601 MacArthur Boulevard (vacant parcel is located at the corner of Wesley Ave
Assessor's Parcel No:	023 042700200, 023 042700100, 023 042700803
Development Proposal:	Referral for design modifications to a previously approved project that was recommended to the Planning Commission on December 20, 2017 for the construction of a four-story 25-unit residential condominium building with underground parking.
Project Applicant / Phone Number:	James Branch / The Lake House Development (415) 678-0427
Property Owner:	Yila Properties
Case File Number:	PLN17281
Planning Permits Required for Approval by the City Council:	1) Rezoning of RM-3 Zone (Mixed Housing Type Residential) to RU-2 Zone (Urban Residential); 2) Regular Design Review for construction of a residential building; and 3) Tentative Parcel Map Subdivision for condominiums and merging lots.
General Plan:	Mixed Housing Type
Zoning District:	RM-3 Mixed Housing Type Residential (existing) RU-2 Urban Residential (proposed)
Environmental Determination/ State CEQA Guidelines:	The project proposal relies on the previously certified Final Environmental Impact Report (EIR) for the Land Use and Transportation Element (LUTE) of the 1998 General Plan. On a separate and independent basis, the proposal is also exempt from CEQA pursuant to CEQA Guidelines Sections: 15183-Projects Consistent with a Community Plan, General Plan or Zoning; 15332-In Fill Development; and 15303-New Construction
Historic Status:	Non-Historic Property
City Council District:	2
Date Filed:	07/25/17 (modified plans submitted on January 10, 2018)
Action to be Taken:	Conduct design review and make recommendation based on staff report to the City Council for final determination
For Further Information:	Contact Project Case Planner, Mike Rivera at (510) 238-6417 or by email at mrivera@oaklandnet.com

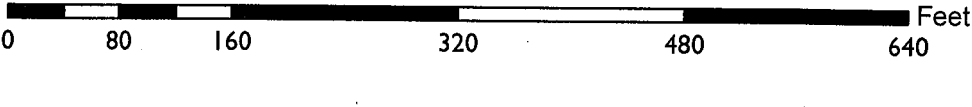
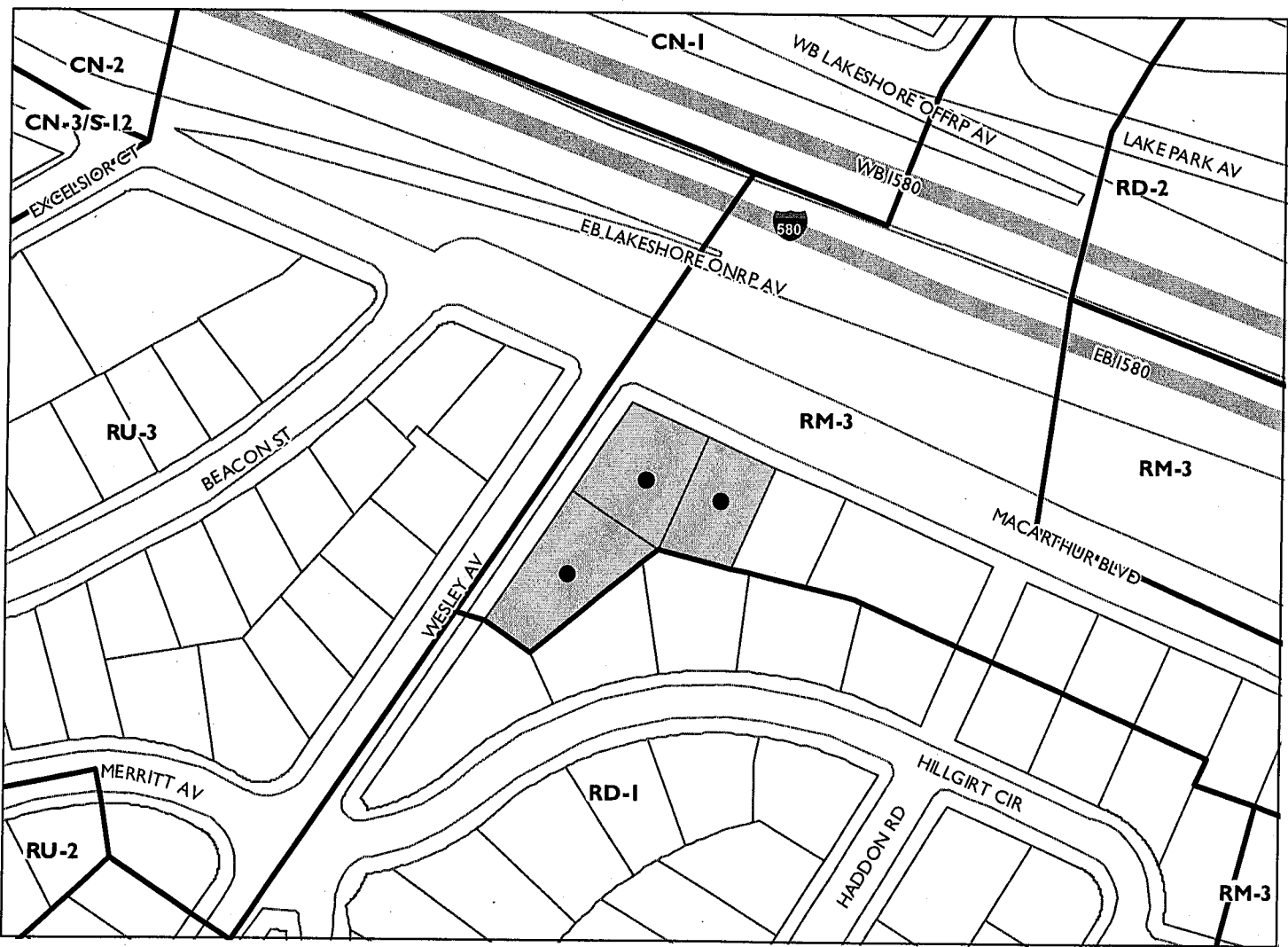
SUMMARY

On December 20, 2018 the Planning Commission reviewed the proposed 25-unit residential development and referred the application to the Design Review Committee for further design changes to the project. The Commission recommended the applicant the following:

- a) Provide stronger front vertical facades
- b) Break up the linear footprint of the front balconies
- c) Replace the orange color on the building

On January 10, 2018 and as recommended by the Planning Commission, the applicant submitted revised design plans showing modifications to the proposed 25-unit residential building. See modified design plans in **Attachment A**. Based on the modified design plans submitted, staff has listed below the comments from the Design Review Committee followed by the design modifications and comments made by staff.

CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN17281
Applicant: James Branch
Address: 601 MacArthur Blvd (vacant parcel located at the SE corner of Wesley Ave)
Zone: RM-3 (existing); RU-2 (proposed)

BUILDING DESIGN MODIFICATIONS

Below are the recommendations made by the Planning Commission and are followed by staff comments:

- a) Provide stronger front vertical facades
The modified plans show one of the bays in the center of the façade along MacArthur Boulevard was raised vertically to have a balance and stronger façade composition;
- b) Break up the linear footprint of the front balconies
The modified plan shows the reduction of the 4th floor balconies. The linear configuration of the balconies were reduced by more than fifty-percent, thus avoiding a repetitive pattern on the building façade. To make up for the loss of the balcony area, the modified plan also shows new additional balconies, located between the 1st and 4th floors along Wesley Avenue.
- c) Replace the orange color on the building
The applicant submitted a modified color and material board sample showing the replacement of the orange color palette with a Mahogany red color to provide a coherent composition and style. The modified plans also show two perspectives views of the building and new proposed colors.

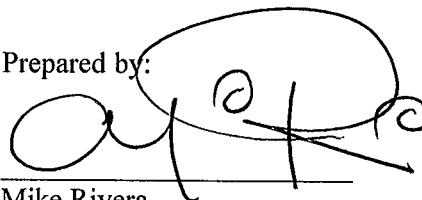
Staff notes that at the December 20th Planning Commission meeting, the Commission briefly discussed the required 10 foot front yard setback and felt that it would distance the building from the street. The Commission also felt that the raised bio-swale walls in front of the building and along MacArthur Boulevard would disengage the building from the street view. Staff believes that there was not a strong position on whether or not to support a building front yard setback reduction. However, on the modified plans the proposal now shows a building front yard setback reduction along MacArthur Boulevard. The proposal includes a setback reduction of 0-ft., 2.5-ft., 5-ft. and 7-ft. respectively where 10-ft. is required in the proposed RU-2 zone, thus requiring a Variance permit. Although the applicant may consider a Variance permit proposal, staff believes that because the project also proposes a rezoning from RM-3 to RU-2 to allow a higher density that the required front yard setback could be supported if the building design is superior and meets the required Variance and Design Review Findings.

RECOMMENDATION

Staff finds that the applicant's design modifications as recommended by the Planning Commission are met, and therefore recommends the application move forward to the City Council for final determination.

However, because the revised design triggers a new Variance permit for front yard setback reduction, the application will require the submission of a Variance permit by the applicant. So, a new public notice will be needed to include the Variance permit as part of this proposal and prior to scheduling the application for final determination by the City Council.

Prepared by:



Mike Rivera
Planner II, Development Planning
Bureau of Planning

Approved for forwarding to the
Design Review Committee:

A large, bold, black handwritten signature that starts with a large loop on the left and ends with a long, sweeping tail on the right.

Catherine Payne
Acting Development Planning Manager

ATTACHMENTS

- A. Modified design plan, received on January 10, 2018

CITY INFORMATION

601 MACARTHUR
PARCEL #: 23-427-1
USE CODE: 7000
HEIGHT LIMIT: 50'-0"
OCCUPANCY: S-2, R-2
CONSTRUCTION: VA OVER IA, SPRINKLERED

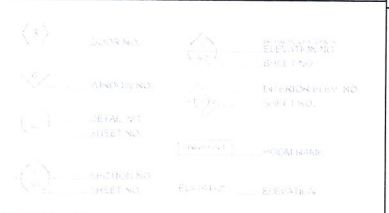
SQUARE FOOTAGE:
LOT SIZE: 20,478 SQ.FT.
BUILDING SIZE: 60,069 SQ.FT.

BUILDING CODE:
 2013 CBC
 2013 ENERGY CODE
 2013 MECH CODE
 2013 FIRE CODE

UNIT COUNT:
 3 BEDROOMS UNITS = 9
 2 BEDROOMS UNITS = 16
TOTAL BEDROOMS = 59
TOTAL UNITS = 25

DESCRIPTION:
 REZONING OF THE PROPERTY FROM RM-3 TO RU-2
 & CONSTRUCTION OF 4-STORY OVER BASEMENT,
 RESIDENTIAL CONDOMINIUM BUILDING CONTAINING
 25 UNITS & 33 OFF-STREET PARKING SPACES.

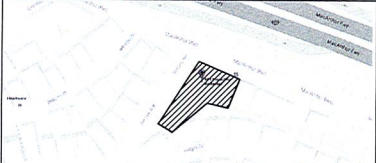
SYMBOLS



ABBREVIATIONS

A	AND	FON	FOUNDATION	PT	POINT
AP	APPROXIMATE	FIN	FLOOR	PTN	PARTITION
C	CENTERLINE	FL	FLOOR	R	RISER
CD	CENTERLINE OR ROUND	F/C	FACE OF CONCRETE	R/D	ROUGH DRAIN
CP	POINT ON NUMBER	F/D	FACE OF FINISH	REF	REFRIGERATION
P	PROPERTY LINE	F/O	FACE OF STUD	RENF	REINFORCED
ABV	ABOVE	FT	FOOT OR FEET	REQ	REQUIRED
ADJ	AIR CONDITIONER	FUR	FURRING	R/O	ROUGH OPENING
ACU	ADJUSTABLE	FUT	FUTURE	R/W	ROUGH WATER LEADER
A1	ACROSS FRESH FLOOR	GA	GAUGE	R/WL	RAIN WATER LEADER
AL	ALUMINUM	GD	GRADE	S	SCAFFOLD
APPROX	APPROXIMATE	GR	GRADE	SCHD	SCHEDULE
ARCH	ARCHITECTURAL	H	HOLE	SCHD	SCHEDULE
RD	BOARD	H/R	HOSE BIB	SHT	DRAWING SHEET
BND	BUILDING	HC	HANDICAPPED	SPK	SPECIFICATION
BLK	BLOCK	H/C	HANDICAPPED	SPK	SPECIFICATION
BLW	BLOCKING	H/L	HOLLOW CORE	STD	STANDARD
BM	BEAM	HW	HARDWARE	STL	STAINLESS STEEL
B/W	BOTTOM OF WALL	HWD	HARDWARE	STD	STANDARD
CAB	CABINET	HT	HEIGHT	STR	STRUCTURAL
CEM	CEMENT	HTR	HOT WATER HEATER	STN	STEEL
CEB	CEMENT	INS	INSULATION	SUSP	SUSPENDED
CLC	CLOSET	INT	INTERIOR	S/S	SEE STRUCTURAL DRAWINGS
CLR	CLEARANCE	JAN	JANITOR	T	TRAIL
COL	COLUMN	JN	JUNCTION	T/B	TO BE DETERMINED
CONC	CONCRETE	LAB	LABORER	T/S	TO BE SELECTED
CONT	CONTINGENT	LAV	LAVATORY	T/L	TOP OF LEVEL
CTR	CENTER	LGT	LIGHT	TEL	TELEPHONE
DBL	DOUBLE	MAX	MAXIMUM	T&G	TONGUE & GROOVE
DEPT	DEPARTMENT	MCH	MECHANICAL	T/P	TOP OF PAVEMENT
D/F	DRINKING FOUNTAIN	MFR	MANUFACTURER	T/W	TYPICAL
DET	DETAIL	MFR	MANUFACTURER	T/W	TYPICAL
DM	DIMENSION	MIS	MISCELLANEOUS	U/O	UNLESS OTHERWISE NOTED
DN	DOWN	MIS	MISCELLANEOUS	U/O	UNLESS OTHERWISE NOTED
DTL	DETAIL	MIS	MISCELLANEOUS	U/O	UNLESS OTHERWISE NOTED
DR	DRAWING	MIS	MISCELLANEOUS	U/O	UNLESS OTHERWISE NOTED
DWG	DRAWING	MIS	MISCELLANEOUS	U/O	UNLESS OTHERWISE NOTED
EA	EACH	NIC	NOT IN CONTRACT	W	WITH
EL	ELEVATION	NIS	NOT TO SCALE	W/C	WATER CLOSET
ELEC	ELECTRICAL	N/S	NOT TO SCALE	W/D	WASHER/DRYER
ELEV	ELEVATION	O/C	ON CENTER	WDO	WINDOW
EQ	EQUIPMENT	O/D	OUTSIDE DIAMETER	WDR	WOOD
EQHT	EQUIPMENT	PL	PLATE	WV	WATERPROOF
EXP	EXPANSION	PLM	PLASTIC LAMINATE	WVP	WATERPROOF
EXT	EXTERIOR	PLY	PLYWOOD	WVP	WATERPROOF
F	FLOOR	P/P	PRESSURE TREATED		
F/D	FLOOR DRAIN	P/T	PRESSURE TREATED		

VICINITY MAP



GENERAL NOTES

1. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD, FACE OF CONCRETE, OR FACE OF BLOCK, UNLESS OTHERWISE INDICATED.
2. CONTRACTOR AND SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DIMENSIONS/CONDITIONS SHOWN IN THESE DRAWINGS.
4. MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER PERMITS SHALL BE THE RESPONSIBILITY OF THOSE SUBCONTRACTORS.
5. AUTOMATIC FIRE SPRINKLER SYSTEM DESIGN AND CONSTRUCTION TO BE PERFORMED UNDER A SEPARATE PERMIT OBTAINED BY THE FIRE PROTECTION SUBCONTRACTOR. FIRE SPRINKLER ARE DESIGNED TO BE 200 PSI AT FLOOR. THE ALARMS ARE BY FLOOR AND DEVICE.
6. STREET AND SIDEWALK IMPROVEMENTS SHALL BE CONDUCTED UNDER SEPARATE PERMITS.
7. CONTRACTOR SHALL REVIEW AND UTILIZE SPECIFICATIONS PROVIDED IN CONJUNCTION WITH THIS SET OF CONSTRUCTION DOCUMENTS. ARCHITECT SHOULD BE NOTIFIED OF ANY DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS.
8. ELEVATOR TO COMPLY WITH CODES SET FORTH IN CHAPTER 30 OF THE USC. INSTALLATION OF THE ELEVATOR ACCESS MATCH WILL BE IN COMPLIANCE WITH NFPA 72, 2013 EDITION, UNDER SEPARATE PERMIT.
9. SHORING AND UNDERPINNING WORK TO BE UNDER SEPARATE PERMITS.
10. ALL WORK PERFORMED WILL COMPLY WITH THE AMERICAN DISABILITIES ACT OUTLINED IN SECTIONS 10B11 IN THE CBC. SEE SHEET 601-FR-01 FOR STANDING ACCESSIBILITY DETAILS THROUGHOUT PROJECT.
11. SOUND TRANSMISSION CONTROL TO BE PROVIDED AS REQUIRED BY APPENDIX CHAPTER 35, 2013 CBC (STC AND IIC OF 50 BETWEEN UNITS).
12. THE BUILDING SHALL COMPLY WITH VENTILATION REQUIREMENTS. SEE CODE SECTION 1202.2.7

DRAWING SCHEDULE

- ARCHITECTURAL**
- A1.0 CITY INFO
 - C1.0 CIVIL SITE PLAN
 - C2.0 EROSION CONTROL
 - C3.0 STORM WATER PLAN
 - TENTATIVE PARCEL MAP
 - ZONING MAP
 - A1.1 EXISTING SITE & TREES, PROPOSED SITE PLAN
 - A1.2 EXITING
 - A1.3 EXITING
 - A1.4 EXITING
 - A2.0 PROPOSED BASEMENT
 - A2.1 PROPOSED 1ST
 - A2.2 PROPOSED 2ND
 - A2.3 PROPOSED 3RD
 - A2.4 PROPOSED 4TH
 - A2.5 ROOF PLAN
 - A3.0 NORTH & WEST ELEVATIONS
 - A3.1 EAST & SOUTH ELEVATIONS
 - A4.0 EAST-WEST SECTIONS
 - A4.1 NORTH-SOUTH SECTIONS
 - PIC1 NEIGHBORHOOD PHOTOS
 - PIC2 NEIGHBORHOOD PHOTOS
 - PIC3 NEIGHBORHOOD PHOTOS
 - PIC4 NEIGHBORHOOD PHOTOS
 - PERS1 PERSPECTIVE
 - PERS2 PERSPECTIVE
- LANDSCAPE**
- L0.1 LAYOUT NOTES AND LEGENDS
 - L0.2 PLANTING NOTES AND LEGENDS
 - L1.01 LAYOUT PLAN
 - L1.02 LAYOUT PLAN
 - L2.01 IRRIGATION PLAN AND LEGENDS
 - L2.02 IRRIGATION DETAILS
 - L2.03 IRRIGATION DETAILS
 - L2.04 IRRIGATION DETAILS
 - L2.05 IRRIGATION DETAILS
 - L3.01 PLANTING PLAN
 - L3.02 PLANTING PLAN
 - L4.01 CONSTRUCTION DETAILS
 - L4.02 LIGHTING SPECS
- STRUCTURAL**
- S2.0A
 - S2.0B
 - S2.0C
 - S5.1

PROJECT DIRECTORY

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 KOTAS/PANTALEONI ARCHITECTS
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 415-850-6865 FAX

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 TUN & ROBINSON
 STRUCTURAL ENGINEERS
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GREENPOINT RATER
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 W: 415 240 5588

EXPEDITER
 CARLOS PLAZOLA
 BUILDING
 17071 853-9541

CIVIL ENGINEERS
 SURVEYORS
 JIM MORAN
 DAVID FRANCO
 MORAN
 ENGINEERING
 1035 SHATTUCK AVENUE
 BERKELEY, CA 94704
 W: 310-848-1000

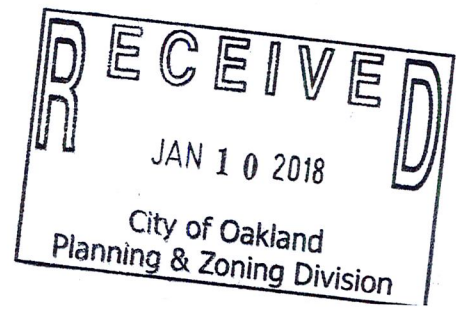
GEOTECHNICAL ENGINEERS
 ALAN KRÖPP
 ALAN KRÖPP & ASSOCIATES
 2140 SHATTUCK AVE.
 SUITE 910
 BERKELEY, CA 94704
 W: 510-841-5095

GROSS FLOOR AREAS

GROSS FLOOR AREA (GFA) - TOTAL	
BASEMENT	1029 SQ FT
STAIR/ELEVATOR	134 SQ FT
CORRIDOR/Lobby	1346 SQ FT
STORAGE	1396 SQ FT
1st FLOOR	9439 SQ FT
RESIDENTIAL	333 SQ FT
STAIR/ELEVATOR	1396 SQ FT
OUTDOOR CORRIDOR	786 SQ FT
DECKS	
2nd FLOOR	9441 SQ FT
RESIDENTIAL	333 SQ FT
STAIR/ELEVATOR	1397 SQ FT
OUTDOOR CORRIDOR	302 SQ FT
DECKS	
3rd FLOOR	9444 SQ FT
RESIDENTIAL	332 SQ FT
STAIR/ELEVATOR	1395 SQ FT
OUTDOOR CORRIDOR	302 SQ FT
DECKS	
4th FLOOR	9436 SQ FT
RESIDENTIAL	332 SQ FT
STAIR/ELEVATOR	1397 SQ FT
OUTDOOR CORRIDOR	302 SQ FT
DECKS	
Garage	1246 SQ FT
Sub Total	36,260 SQ FT
RESIDENTIAL	1364 SQ FT
STAIR/ELEVATOR	5,176 SQ FT
CORRIDOR/Lobby	1,278 SQ FT
DECKS	1,246 SQ FT
Garage	1,246 SQ FT
GRAND TOTAL	60,069 SQ FT

OPEN SPACE AREAS

NO.	DESCRIPTION	AREA (SQ FT)	PERCENTAGE
1	PLANTING	1,246	2.07%
2	IRRIGATION	1,246	2.07%
3	LANDSCAPE	1,246	2.07%
4	WATER	1,246	2.07%
5	LANDSCAPE	1,246	2.07%
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48	LANDSCAPE	1,246	2.07%
49	LANDSCAPE	1,246	2.07%
50	LANDSCAPE	1,246	2.07%



Attachment A

Kotas/Pantaleoni Architects

Anthony A. Pantaleoni
 LIC# 347

75 ZOE STREET, Suite 200
 San Francisco, California 94107
 415-475-1462
 415-850-6865

Revised	By
Planning Submittal Set	BM
02.26.17	
Revised Planning Submittal	BM
01.09.18	

THE LAKE HOUSE DEVELOPMENT
 25 RESIDENTIAL UNITS
 601 MacARTHUR BOULEVARD
 OAKLAND, CA

Sheet Title:
 Project Info:
 Site & City Info.

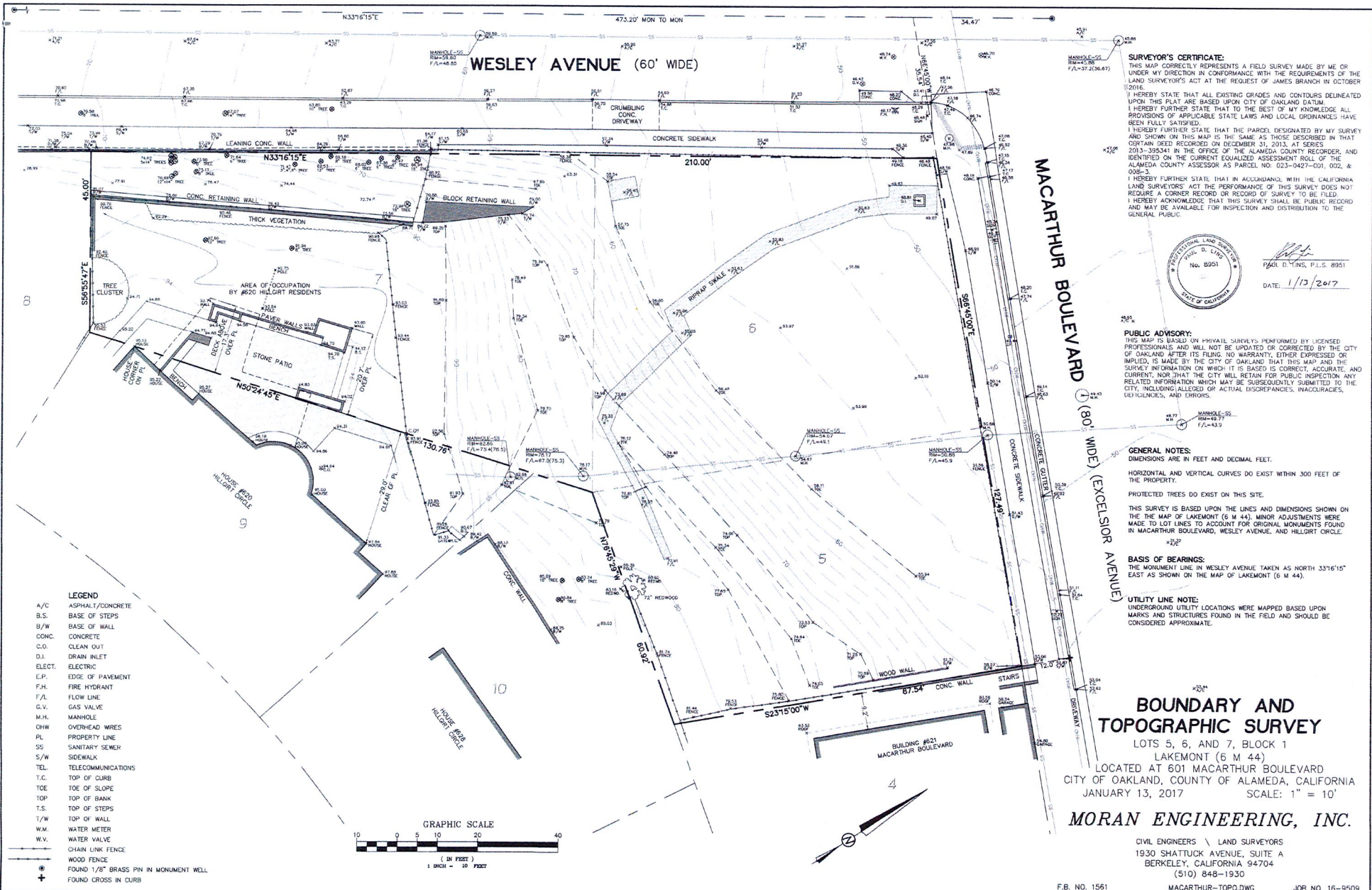
Scale: As Noted

Date:

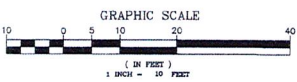
Drawn By: MGG

Job Number: 1-714

Sheet: A1.0



- LEGEND**
- A/C ASPHALT/CONCRETE
 - B.S. BASE OF STEPS
 - B/W BASE OF WALL
 - CONC. CONCRETE
 - C.O. CLEAN OUT
 - D.I. DRAIN INLET
 - ELECT. ELECTRIC
 - E.P. EDGE OF PAVEMENT
 - F.H. FIRE HYDRANT
 - F/L FLOW LINE
 - G.V. GAS VALVE
 - M.H. MANHOLE
 - OHW OVERHEAD WRES
 - PL PROPERTY LINE
 - SS SANITARY SEWER
 - S/W SIDEWALK
 - TEL TELECOMMUNICATIONS
 - T.C. TOP OF CURB
 - TCS TOP OF SLOPE
 - TOP TOP OF BANK
 - T.S. TOP OF STEPS
 - T/W TOP OF WALL
 - W.M. WATER METER
 - W.V. WATER VALVE
 - CHAIN LINK FENCE
 - WOOD FENCE
 - ⊕ FOUND 1/8" BRASS PIN IN MONUMENT WELL
 - ⊕ FOUND CROSS IN CURB



SURVEYOR'S CERTIFICATE:
 THIS MAP CORRECTLY REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AT THE REQUEST OF JAMES BRANCH IN OCTOBER 2016.
 I HEREBY STATE THAT ALL EXISTING GRADES AND CONTOURS DELINEATED UPON THIS PLAT ARE BASED UPON CITY OF OAKLAND DATUM.
 I HEREBY FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN FULLY SATISFIED.
 I HEREBY FURTHER STATE THAT THE PARCEL DESIGNATED BY MY SURVEY AND SHOWN ON THIS MAP IS THE SAME AS THOSE DESCRIBED IN THAT CERTAIN DEED RECORDED ON DECEMBER 31, 2013, AT SERIES 2013-395341 IN THE OFFICE OF THE ALAMEDA COUNTY RECORDER, AND IDENTIFIED ON THE CURRENT EQUALIZED ASSESSMENT ROLL OF THE ALAMEDA COUNTY ASSESSOR AS PARCEL NO. 023-0427-001, 002, & 003-3.
 I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYORS' ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE A CORNER RECORD OR RECORD OF SURVEY TO BE FILED.
 I HEREBY ACKNOWLEDGE THAT THIS SURVEY SHALL BE PUBLIC RECORD AND MAY BE AVAILABLE FOR INSPECTION AND DISTRIBUTION TO THE GENERAL PUBLIC.



PAUL D. MANS, P.L.S. 8951
 DATE: 1/12/2017

PUBLIC ADVISORY:
 THIS MAP IS BASED ON PRIVATE SURVEYS PERFORMED BY LICENSED PROFESSIONALS AND WILL NOT BE UPDATED OR CORRECTED BY THE CITY OF OAKLAND AFTER ITS FILING. NO WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE BY THE CITY OF OAKLAND THAT THIS MAP AND THE SURVEY INFORMATION ON WHICH IT IS BASED IS CORRECT, ACCURATE, AND CURRENT, NOR THAT THE CITY WILL RETAIN FOR PUBLIC INSPECTION ANY RELATED INFORMATION WHICH MAY BE SUBSEQUENTLY SUBMITTED TO THE CITY, INCLUDING ALLEGED OR ACTUAL DISCREPANCIES, INACCURACIES, OMISSIONS, AND ERRORS.

GENERAL NOTES:
 DIMENSIONS ARE IN FEET AND DECIMAL FEET.
 HORIZONTAL AND VERTICAL CURVES DO EXIST WITHIN 300 FEET OF THE PROPERTY.
 PROTECTED TREES DO EXIST ON THIS SITE.

THIS SURVEY IS BASED UPON THE LINES AND DIMENSIONS SHOWN ON THE MAP OF LAKEMONT (6 M 44). MINOR ADJUSTMENTS WERE MADE TO LOT LINES TO ACCORDANT FOR ORIGINAL MONUMENTS FOUND IN MACARTHUR BOULEVARD, WESLEY AVENUE, AND HILLCREST CIRCLE.

BASIS OF BEARINGS:
 THE MONUMENT LINE IN WESLEY AVENUE TAKEN AS NORTH 33°16'15" EAST AS SHOWN ON THE MAP OF LAKEMONT (6 M 44).

UTILITY LINE NOTE:
 UNDERGROUND UTILITY LOCATIONS WERE MAPPED BASED UPON MARKS AND STRUCTURES FOUND IN THE FIELD AND SHOULD BE CONSIDERED APPROXIMATE.

BOUNDARY AND TOPOGRAPHIC SURVEY
 LOTS 5, 6, AND 7, BLOCK 1
 LAKEMONT (6 M 44)
 LOCATED AT 601 MACARTHUR BOULEVARD
 CITY OF OAKLAND, COUNTY OF ALAMEDA, CALIFORNIA
 JANUARY 13, 2017 SCALE: 1" = 10'

MORAN ENGINEERING, INC.

CIVIL ENGINEERS \ LAND SURVEYORS
 1930 SHATTUCK AVENUE, SUITE A
 BERKLEY, CALIFORNIA 94704
 (510) 848-1930

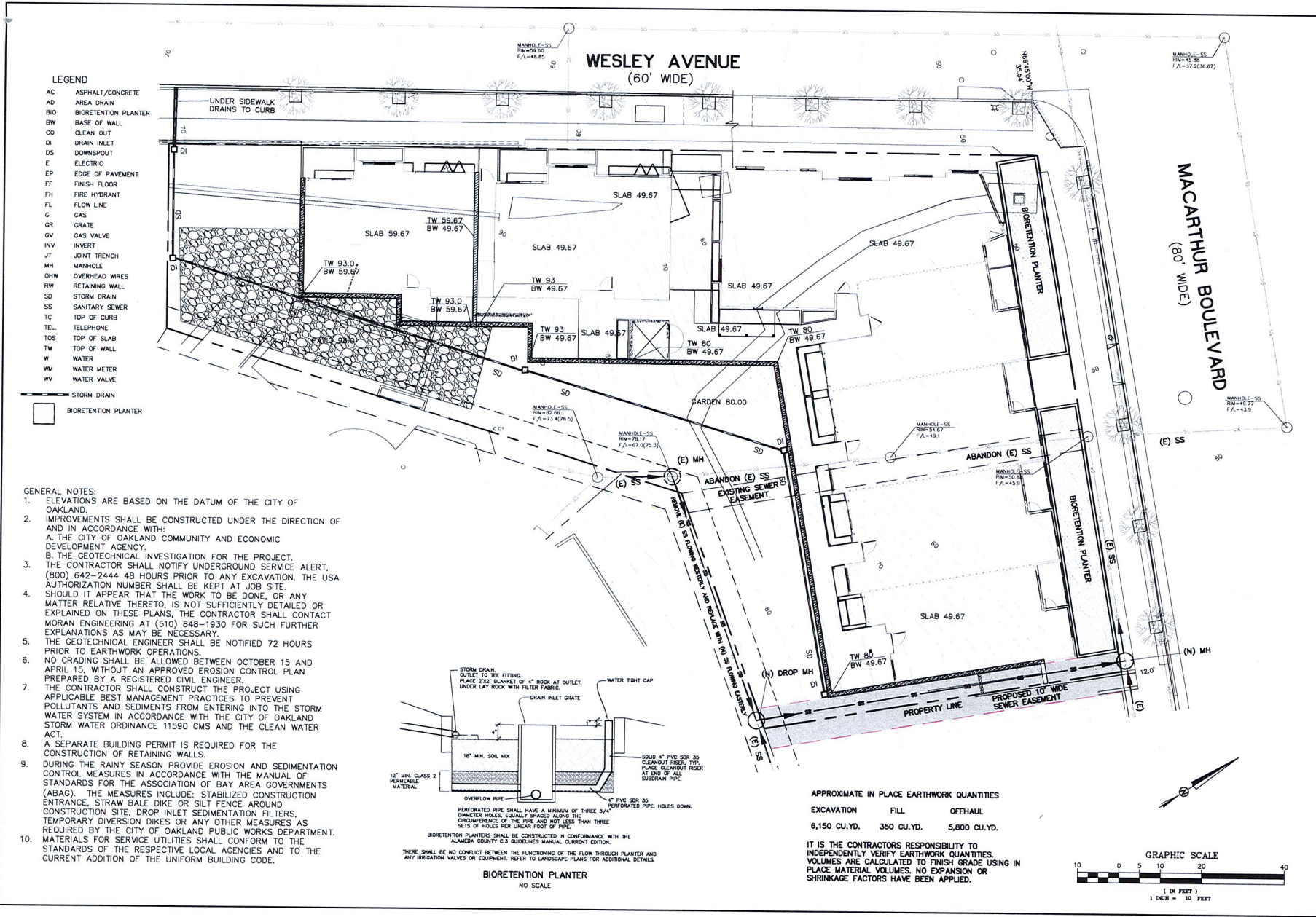
F.B. NO. 1561 MACARTHUR-TOP0.DWG JOB NO. 16-9509

MORAN ENGINEERING
 1930 SHATTUCK AVENUE, SUITE A
 BERKELEY, CALIFORNIA 94704
 (510) 848-1930



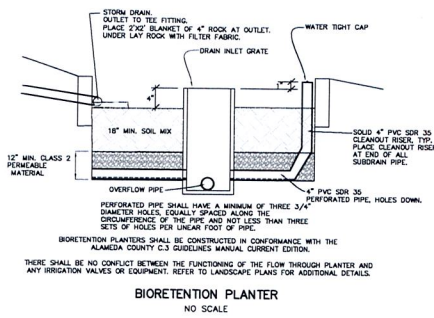
CIVIL SITE PLAN
 THE LAKE HOUSE DEVELOPMENT
 MACARTHUR BLVD, OAKLAND, CALIFORNIA

DRAWING: MACARTHUR-CIVIL
 F.B. NO.: 1561
 SCALE: 1" = 10'
 DATE: JULY 24, 2017
 REVISIONS:
 JOB NO.: 17-9509
 SHEET 1 OF 3
C1.0



- LEGEND**
- AC ASPHALT/CONCRETE
 - AD AREA DRAIN
 - BIO BIORETENTION PLANTER
 - BW BASE OF WALL
 - CO CLEAN OUT
 - DI DRAIN INLET
 - DS DOWNSPOUT
 - E ELECTRIC
 - EP EDGE OF PAVEMENT
 - FF FINISH FLOOR
 - FL FIRE HYDRANT
 - FL FLOW LINE
 - G GAS
 - GR GRATE
 - GV GAS VALVE
 - INV INVERT
 - JT JOINT TRENCH
 - MH MANHOLE
 - OHW OVERHEAD WIRES
 - RW RETAINING WALL
 - SD STORM DRAIN
 - SS SANITARY SEWER
 - TC TOP OF CURB
 - TEL TELEPHONE
 - TOS TOP OF SLAB
 - TW TOP OF WALL
 - W WATER
 - WM WATER METER
 - WV WATER VALVE
 - SD STORM DRAIN
 - BIORETENTION PLANTER

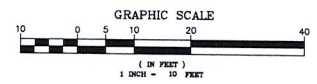
- GENERAL NOTES:**
1. ELEVATIONS ARE BASED ON THE DATUM OF THE CITY OF OAKLAND.
 2. IMPROVEMENTS SHALL BE CONSTRUCTED UNDER THE DIRECTION OF AND IN ACCORDANCE WITH:
 - A. THE CITY OF OAKLAND COMMUNITY AND ECONOMIC DEVELOPMENT AGENCY.
 - B. THE GEOTECHNICAL INVESTIGATION FOR THE PROJECT.
 3. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT, (800) 642-2444 48 HOURS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT JOB SITE.
 4. SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT MORAN ENGINEERING AT (510) 848-1930 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
 5. THE GEOTECHNICAL ENGINEER SHALL BE NOTIFIED 72 HOURS PRIOR TO EARTHWORK OPERATIONS.
 6. NO GRADING SHALL BE ALLOWED BETWEEN OCTOBER 15 AND APRIL 15, WITHOUT AN APPROVED EROSION CONTROL PLAN PREPARED BY A REGISTERED CIVIL ENGINEER.
 7. THE CONTRACTOR SHALL CONSTRUCT THE PROJECT USING APPLICABLE BEST MANAGEMENT PRACTICES TO PREVENT POLLUTANTS AND SEDIMENTS FROM ENTERING INTO THE STORM WATER SYSTEM IN ACCORDANCE WITH THE CITY OF OAKLAND STORM WATER ORDINANCE 11590 CMS AND THE CLEAN WATER ACT.
 - A. SEPARATE BUILDING PERMIT IS REQUIRED FOR THE CONSTRUCTION OF RETAINING WALLS.
 - B. DURING THE RAINY SEASON PROVIDE EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE MANUAL OF STANDARDS FOR THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG). THE MEASURES INCLUDE: STABILIZED CONSTRUCTION ENTRANCE, STRAW BALE DIKE OR SILT FENCE AROUND CONSTRUCTION SITE, DROP INLET SEDIMENTATION FILTERS, TEMPORARY DIVERSION DIKES OR ANY OTHER MEASURES AS REQUIRED BY THE CITY OF OAKLAND PUBLIC WORKS DEPARTMENT.
 8. MATERIALS FOR SERVICE UTILITIES SHALL CONFORM TO THE STANDARDS OF THE RESPECTIVE LOCAL AGENCIES AND TO THE CURRENT ADDITION OF THE UNIFORM BUILDING CODE.



APPROXIMATE IN PLACE EARTHWORK QUANTITIES

EXCAVATION	FILL	OFFHAUL
6,150 CU.YD.	350 CU.YD.	5,800 CU.YD.

IT IS THE CONTRACTORS RESPONSIBILITY TO INDEPENDENTLY VERIFY EARTHWORK QUANTITIES. VOLUMES ARE CALCULATED TO FINISH GRADE USING IN PLACE MATERIAL VOLUMES. NO EXPANSION OR SHRINKAGE FACTORS HAVE BEEN APPLIED.



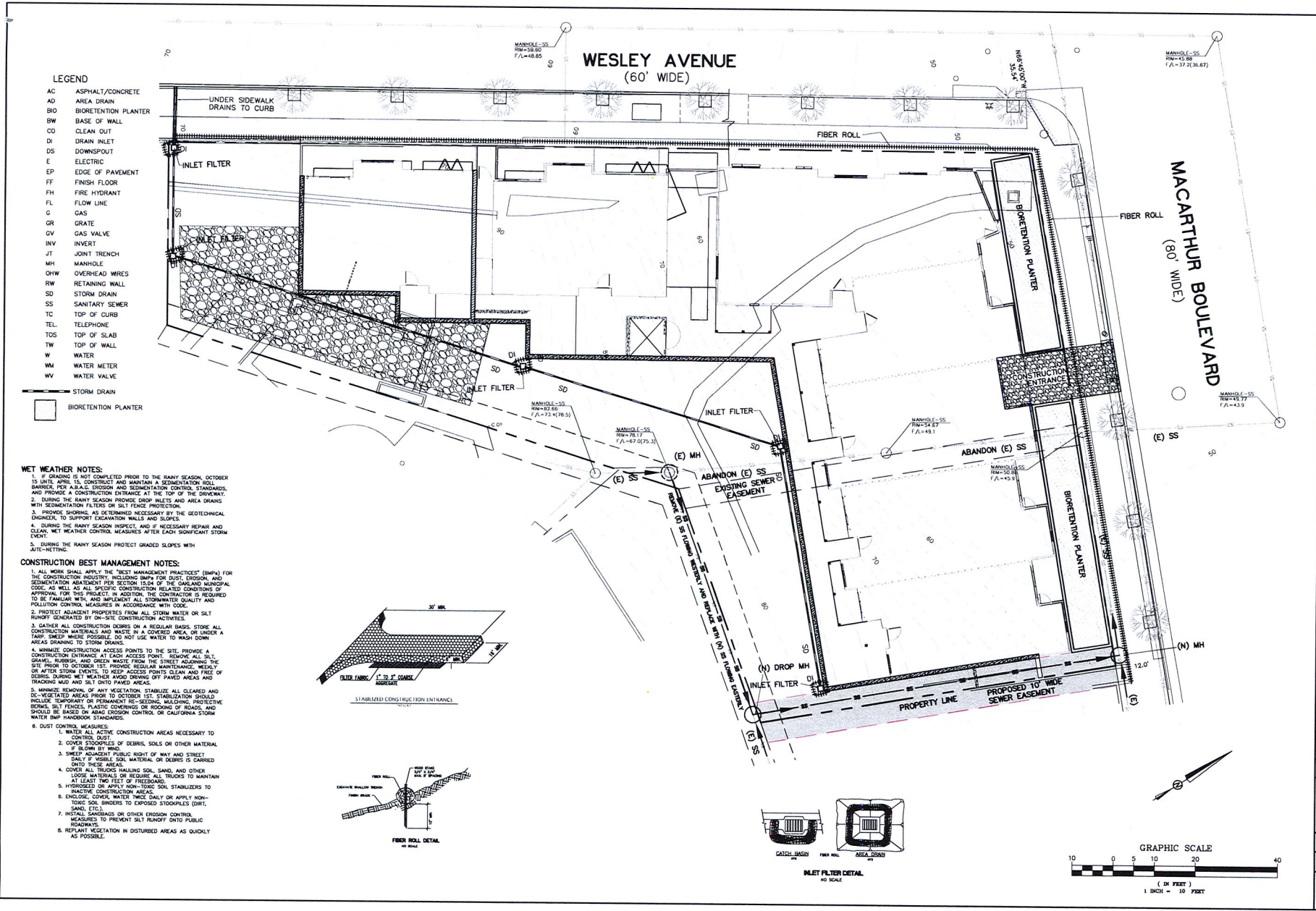
MORAN ENGINEERING
 1930 SHATUCK AVENUE, SUITE A
 BERKELEY, CALIFORNIA 94704
 (510) 848-1930



EROSION CONTROL PLAN
 THE LAKE HOUSE DEVELOPMENT
 MACARTHUR BLVD, OAKLAND, CALIFORNIA

DRAWING	MACARTHUR-CIVIL
F.B. NO.	1561
SCALE	1" = 10'
DATE	JULY 24, 2017
REVISIONS	
JOB NO.	17-9509
SHEET 2 OF 3	

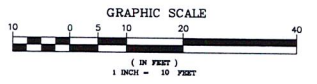
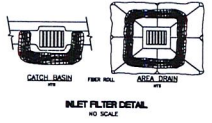
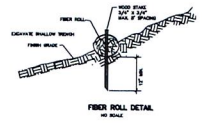
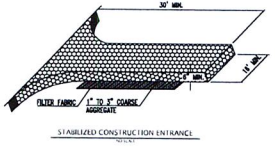
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- LEGEND**
- AC ASPHALT/CONCRETE
 - AD AREA DRAIN
 - BIO BIORETENTION PLANTER
 - BW BASE OF WALL
 - CD CLEAN OUT
 - DI DRAIN INLET
 - DS DOWNSPOUT
 - E ELECTRIC
 - EP EDGE OF PAVEMENT
 - FF FINISH FLOOR
 - FH FIRE HYDRANT
 - FL FLOW LINE
 - G GAS
 - GR GRATE
 - GV GAS VALVE
 - INV INVERT
 - JT JOINT TRENCH
 - MH MANHOLE
 - OHV OVERHEAD WIRES
 - RW RETAINING WALL
 - SD STORM DRAIN
 - SS SANITARY SEWER
 - TC TOP OF CURB
 - TEL TELEPHONE
 - TOS TOP OF SLAB
 - TW TOP OF WALL
 - W WATER
 - WM WATER METER
 - WV WATER VALVE
- STORM DRAIN
- BIORETENTION PLANTER

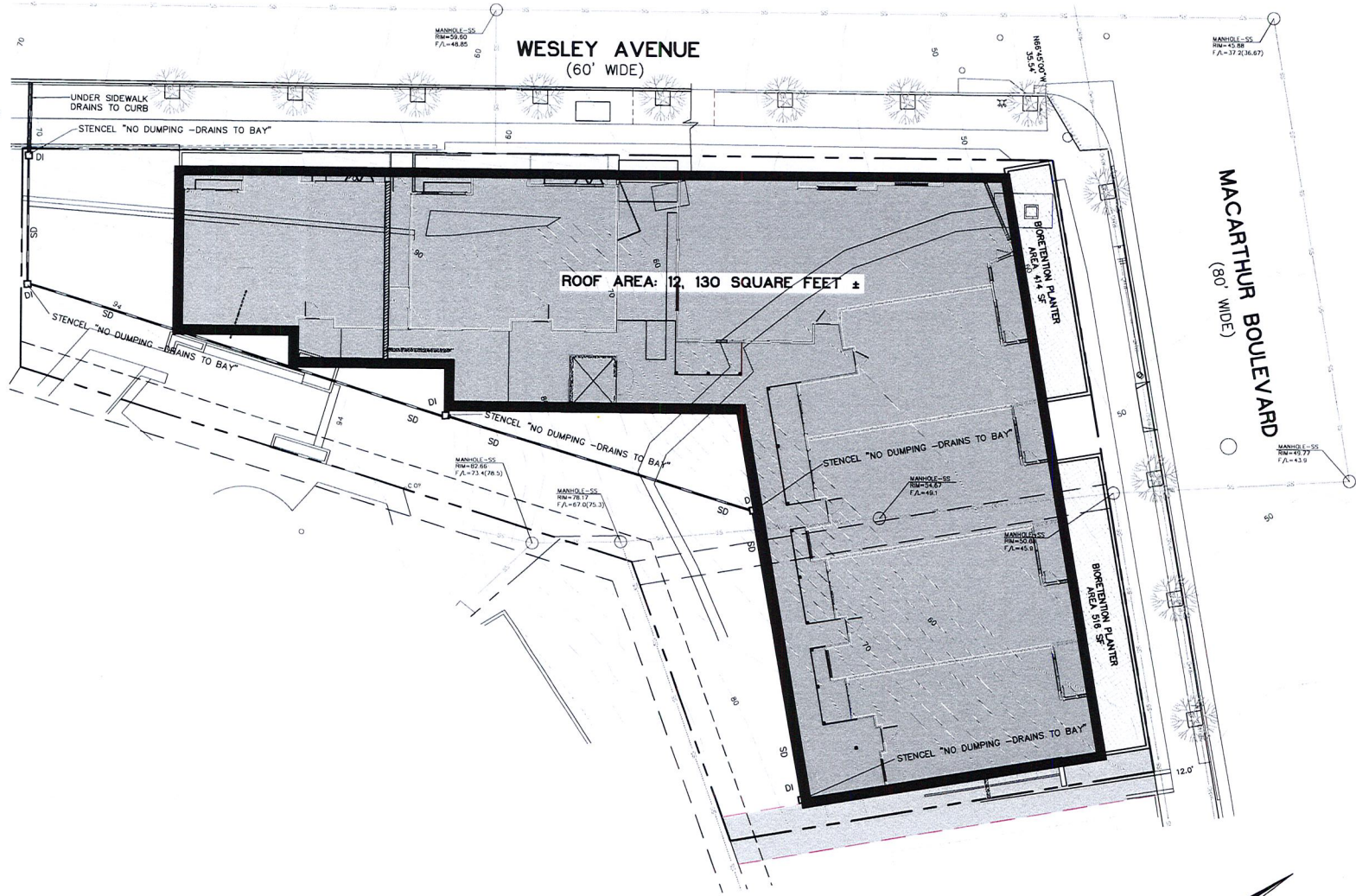
- WET WEATHER NOTES:**
- IF DRAINING IS NOT COMPLETED PRIOR TO THE RAINY SEASON, OCTOBER 15 UNTIL APRIL 15, CONSTRUCT AND MAINTAIN A SEDIMENTATION ROLL BARRIER, PER A.B.A.C. EROSION AND SEDIMENTATION CONTROL STANDARDS, AND PROVIDE A CONSTRUCTION ENTRANCE AT THE TOP OF THE DRIVEWAY.
 - DURING THE RAINY SEASON PROVIDE DEEP INLETS AND AREA DRAINING WITH SEDIMENTATION FILTERS OR SILT FENCE PROTECTION.
 - PROVIDE SLOPING, AS DETERMINED NECESSARY BY THE GEOTECHNICAL ENGINEER, TO SUPPORT EXCAVATION WALLS AND SLOPES.
 - DURING THE RAINY SEASON INSPECT, AND IF NECESSARY REPAIR AND CLEAN, WET WEATHER CONTROL MEASURES AFTER EACH SIGNIFICANT STORM EVENT.
 - DURING THE RAINY SEASON PROTECT GRADED SLOPES WITH JUTE-MATTING.

- CONSTRUCTION BEST MANAGEMENT NOTES:**
- ALL WORK SHALL APPLY THE BEST MANAGEMENT PRACTICES (BMPs) FOR THE CONSTRUCTION INDUSTRY, INCLUDING BMPs FOR DUST, EROSION, AND SEDIMENTATION AVOIDMENT PER SECTION 15.04 OF THE SANITARIAN MUNICIPAL CODE, AS WELL AS ALL SPECIFIC CONSTRUCTION RELATED CONDITIONS OF APPROVAL FOR THIS PROJECT. IN ADDITION, THE CONTRACTOR IS REQUIRED TO BE FAMILIAR WITH, AND IMPLEMENT ALL STORMWATER QUALITY AND POLLUTION CONTROL MEASURES IN ACCORDANCE WITH CODE.
 - PROTECT ADJACENT PROPERTIES FROM ALL STORM WATER OR SILT RUNOFF GENERATED BY ON-SITE CONSTRUCTION ACTIVITIES.
 - GATHER ALL CONSTRUCTION DEBRIS ON A REGULAR BASIS. STORE ALL CONSTRUCTION MATERIALS AND WASTE IN A COVERED AREA OR UNDER A TARP. SHEEP WOLFS POSSIBLE TO NOT USE WATER TO WASH DOWN AREAS DRAINING TO STORM DRAINS.
 - MINIMIZE CONSTRUCTION ACCESS POINTS TO THE SITE. PROVIDE A CONSTRUCTION ENTRANCE AT EACH ACCESS POINT. REMOVE ALL SILT, GRASS, WEEDS, AND OTHER WASTE FROM THE STREET ADJOINING THE SITE PRIOR TO OCTOBER 1ST. PROVIDE REGULAR MAINTENANCE, WEEKLY DEBRIS DURING WET WEATHER, AND DRAINAGE OFF PAVED AREAS AND TRACKING MUD AND SILT ONTO PAVED AREAS.
 - MINIMIZE REMOVAL OF ANY VEGETATION. STABILIZE ALL CLEARED AND DE-VEGETATED AREAS PRIOR TO OCTOBER 1ST. STABILIZATION SHOULD INCLUDE TEMPORARY OR PERMANENT RE-SEEDING, MULCHING, PROTECTIVE BERMAL SILT FENCES, PLASTIC COVERINGS OR HOODING OF ROADS, AND WATER BMP HANDBOOK STANDARDS.
 - DUST CONTROL MEASURES:
 - WATER ALL ACTIVE CONSTRUCTION AREAS NECESSARY TO CONTROL DUST.
 - COVER STOCKPILES OF DEBRIS, SOILS OR OTHER MATERIAL IF BLOWN BY WIND.
 - SHEEP ADJACENT PUBLIC RIGHT OF WAY AND STREET DAILY IF VISIBLE SOIL MATERIAL OR DEBRIS IS CARRIED OVER THESE AREAS.
 - COVER ALL TRUCKS Hauling SOIL, SAND, AND OTHER LOOSE MATERIALS OR DEBRIS. ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET FRESH BERM.
 - HYDROSEED OR APPLY NON-TOXIC SOIL STABILIZERS TO REACTIVE CONSTRUCTION.
 - ENCLOSE, COVER, WATER TWICE DAILY OR APPLY NON-TOXIC SOIL BINDERS TO EXPOSED STOCKPILES (DIRT, SAND, ETC.).
 - INSTALL SANDBARS OR OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF ONTO PUBLIC ROADWAYS.
 - REPLANT VEGETATION IN DISTURBED AREAS AS QUICKLY AS POSSIBLE.



LEGEND

- AC ASPHALT/CONCRETE
- AD AREA DRAIN
- BIO BIORETENTION PLANTER
- BW BASE OF WALL
- CO CLEAN OUT
- DI DRAIN INLET
- DS DOWNSPOUT
- E ELECTRIC
- EP EDGE OF PAVEMENT
- FF FINISH FLOOR
- FH FIRE HYDRANT
- FL FLOW LINE
- G GAS
- GR GRATE
- GV GAS VALVE
- INV INVERT
- JT JOINT TRENCH
- MH MANHOLE
- QHW OVERHEAD WRES
- RW RETAINING WALL
- SD STORM DRAIN
- SS SANITARY SEWER
- TC TOP OF CURB
- TEL TELEPHONE
- TOS TOP OF SLAB
- TW TOP OF WALL
- W WATER
- WM WATER METER
- WV WATER VALVE
- SD STORM DRAIN
- BIO BIORETENTION PLANTER

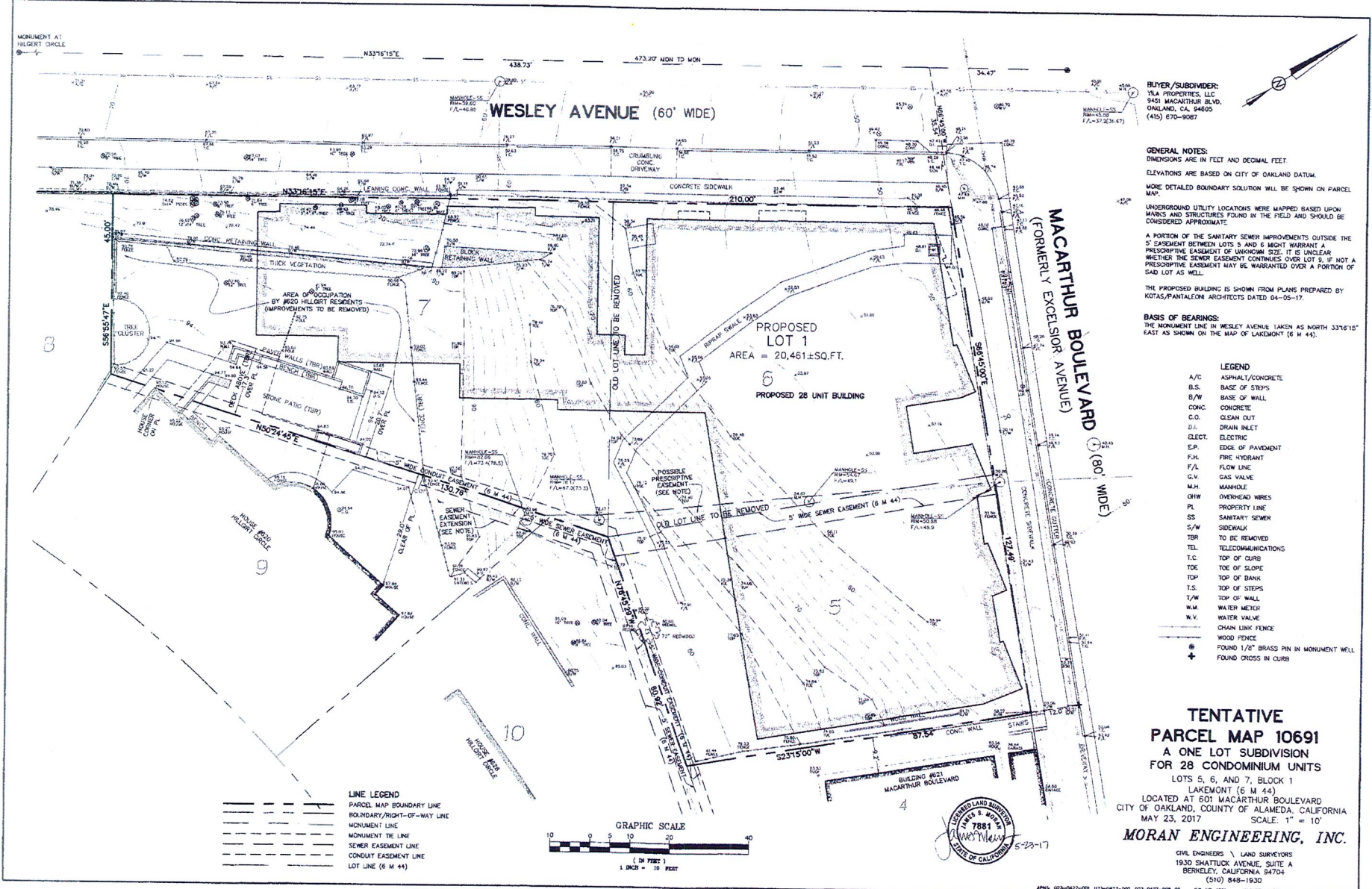


MORAN ENGINEERING
 1930 SHATLUCK AVENUE, SUITE A
 BERKELEY, CALIFORNIA 94704
 (510) 848-1930



PRELIMINARY STORMWATER MANAGEMENT PLAN
 THE LAKE HOUSE DEVELOPMENT
 MACARTHUR BLVD., OAKLAND, CALIFORNIA

DRAWING	MACARTHUR-CIVIL
F.B. NO.	1561
SCALE	1" = 10'
DATE	JULY 24, 2017
REVISIONS	
JOB NO.	17-9509
SHEET 3 OF 3	
C3.0	



BUYER/SUBDIVIDER:
 YLA PROPERTIES, LLC
 9451 MACARTHUR BLVD.
 OAKLAND, CA. 94605
 (415) 870-9087

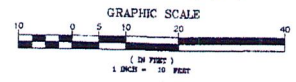
GENERAL NOTES:
 DIMENSIONS ARE IN FEET AND DECIMAL FEET
 ELEVATIONS ARE BASED ON CITY OF OAKLAND DATUM.
 MORE DETAILED BOUNDARY SOLUTION WILL BE SHOWN ON PARCEL MAP.
 UNDERGROUND UTILITY LOCATIONS WERE MAPPED BASED UPON MARKS AND STRUCTURES FOUND IN THE FIELD AND SHOULD BE CONSIDERED APPROXIMATE.

A PORTION OF THE SANITARY SEWER IMPROVEMENTS OUTSIDE THE 5' EASEMENT BETWEEN LOTS 5 AND 6 MIGHT WARRANT A PRESCRIPTIVE EASEMENT OF UNKNOWN SIZE. IT IS UNCLEAR WHETHER THE SEWER EASEMENT CONTINUES OVER LOT 9. IF NOT A PRESCRIPTIVE EASEMENT MAY BE WARRANTED OVER A PORTION OF SAID LOT AS WELL.
 THE PROPOSED BUILDING IS SHOWN FROM PLANS PREPARED BY KOTAS/PANTALEON ARCHITECTS DATED 04-05-17.

BASIS OF BEARINGS:
 THE MONUMENT LINE IN WESLEY AVENUE TAKEN AS NORTH 33°16'15" EAST AS SHOWN ON THE MAP OF LAKEMONT (6 M 44).

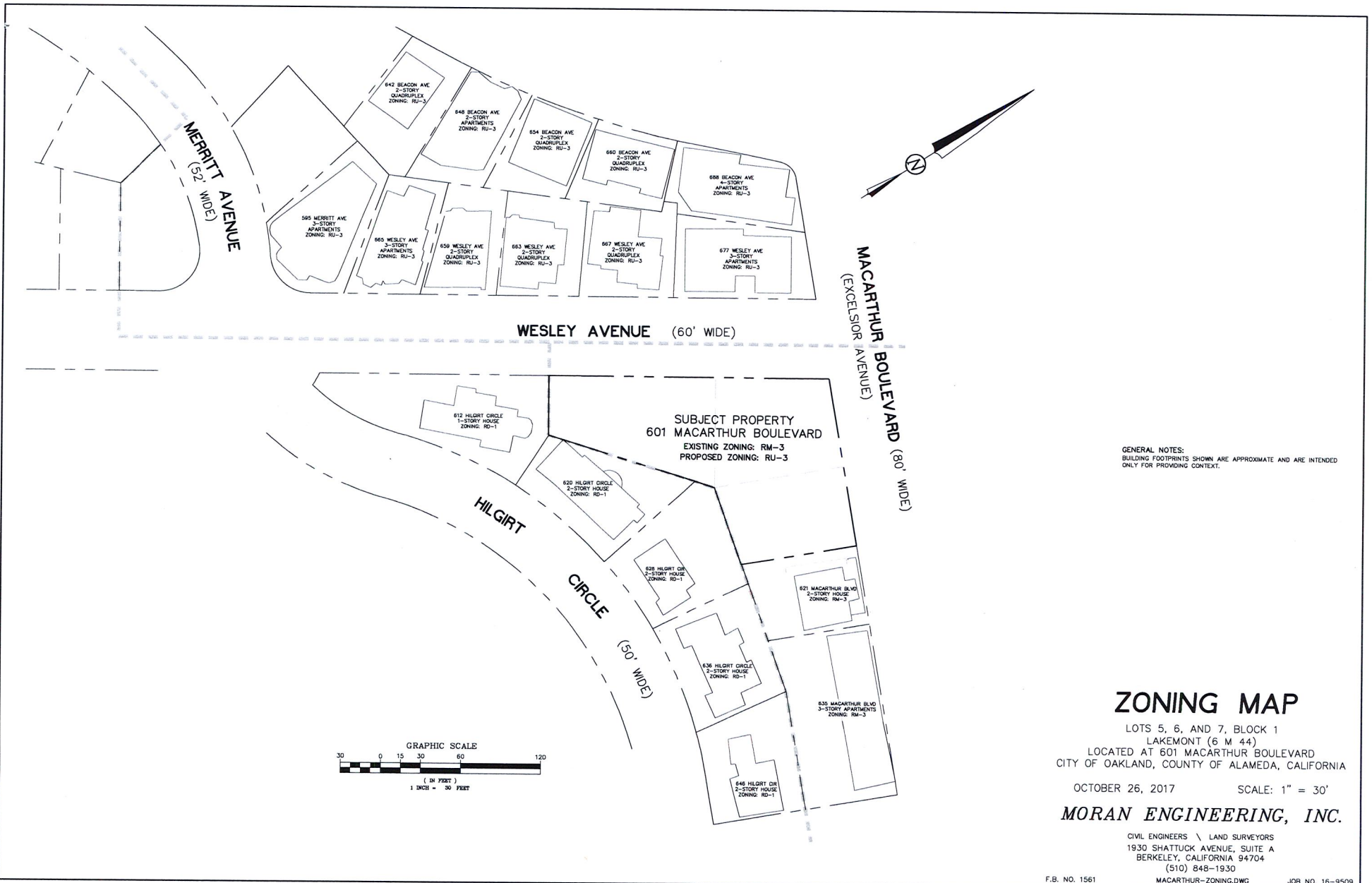
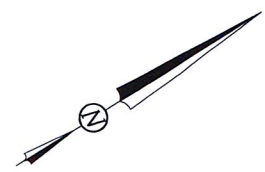
- LEGEND**
- A/C ASPHALT/CONCRETE
 - B.S. BASE OF STRIPS
 - B/W BASE OF WALL
 - CONC. CONCRETE
 - C.O. CLEAN OUT
 - D.I. DRAIN INLET
 - ELECT. ELECTRIC
 - E.P. EDGE OF PAVEMENT
 - F.H. FIRE HYDRANT
 - F/L FLOW LINE
 - G.V. GAS VALVE
 - M.H. MANHOLE
 - OHW OVERHEAD WIRES
 - PL PROPERTY LINE
 - SS SANITARY SEWER
 - S/W SIDEWALK
 - TBR TO BE REMOVED
 - TEL. TELECOMMUNICATIONS
 - T.C. TOP OF CURB
 - TOE TOE OF SLOPE
 - TOP TOP OF BANK
 - T.S. TOP OF STEPS
 - T/W TOP OF WALL
 - W.M. WATER METER
 - W.V. WATER VALVE
 - CHAIN LINK FENCE
 - WOOD FENCE
 - FOUND 1/2" BRASS PIN IN MONUMENT WELL
 - ⊕ FOUND CROSS IN CURB

- LINE LEGEND**
- PARCEL MAP BOUNDARY LINE
 - BOUNDARY/RIGHT-OF-WAY LINE
 - MONUMENT LINE
 - SEWER EASEMENT LINE
 - CONDUIT EASEMENT LINE
 - LOT LINE (6 M 44)

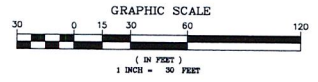


**TENTATIVE
 PARCEL MAP 10691**
 A ONE LOT SUBDIVISION
 FOR 28 CONDOMINIUM UNITS
 LOTS 5, 6, AND 7, BLOCK 1
 LAKEMONT (6 M 44)
 LOCATED AT 601 MACARTHUR BOULEVARD
 CITY OF OAKLAND, COUNTY OF ALAMEDA, CALIFORNIA
 MAY 23, 2017 SCALE: 1" = 10'

MORAN ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 1930 SHATTUCK AVENUE, SUITE A
 BERKELEY, CALIFORNIA 94704
 (510) 848-1930



GENERAL NOTES:
BUILDING FOOTPRINTS SHOWN ARE APPROXIMATE AND ARE INTENDED ONLY FOR PROVIDING CONTEXT.



ZONING MAP
LOTS 5, 6, AND 7, BLOCK 1
LAKEMONT (6 M 44)
LOCATED AT 601 MACARTHUR BOULEVARD
CITY OF OAKLAND, COUNTY OF ALAMEDA, CALIFORNIA
OCTOBER 26, 2017 SCALE: 1" = 30'
MORAN ENGINEERING, INC.
CIVIL ENGINEERS \ LAND SURVEYORS
1930 SHATTUCK AVENUE, SUITE A
BERKELEY, CALIFORNIA 94704
(510) 848-1930
F.B. NO. 1561 MACARTHUR-ZONING.DWG JOB NO. 16-9509

Kotas/
Pantaleoni
Architects

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San Francisco, California 94107
+1 415 424 4400
+1 415 424 5860

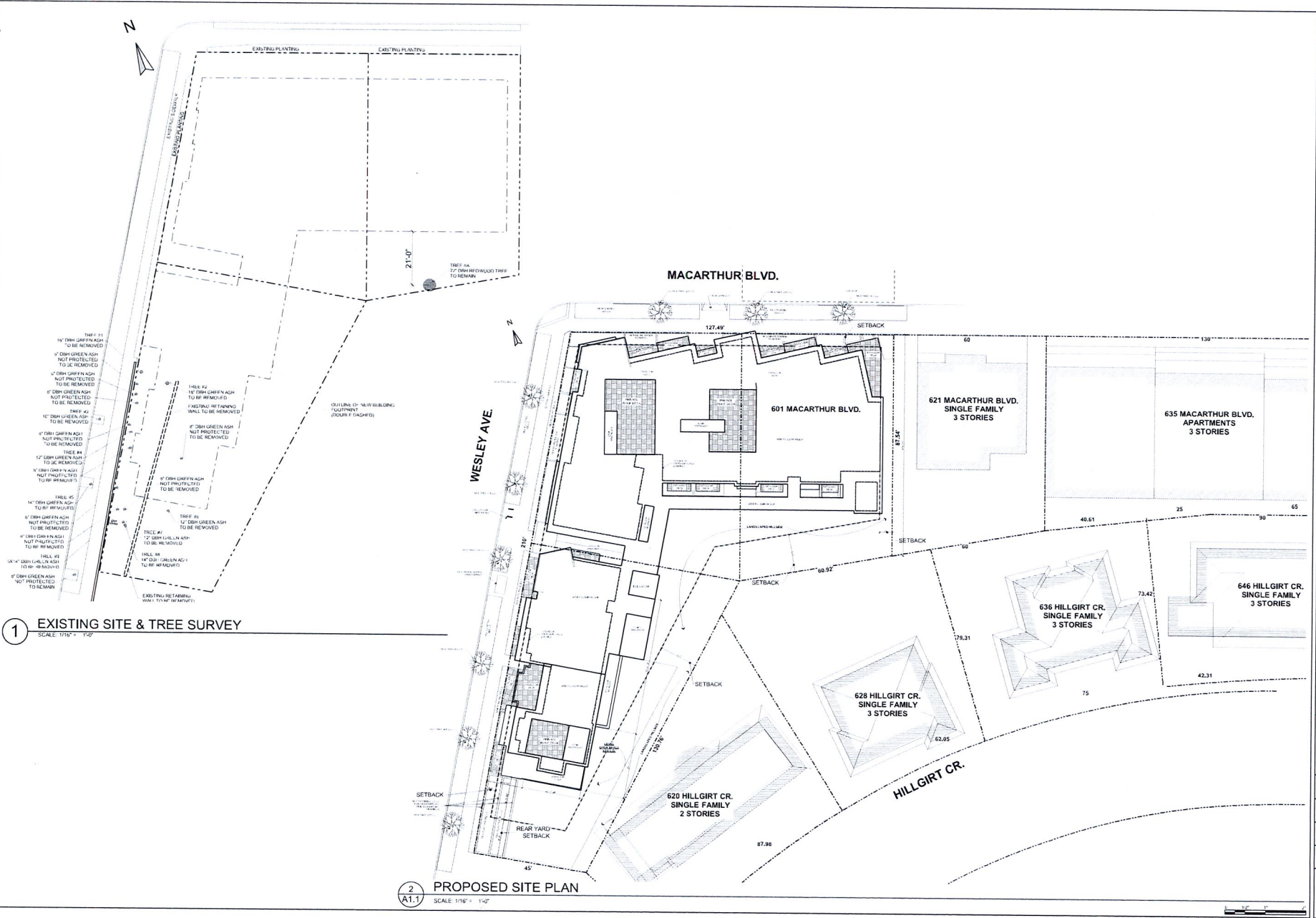
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Planning Submittal Set	BM
02/25/17	
Revised Planning Submittal	BM
01/09/16	

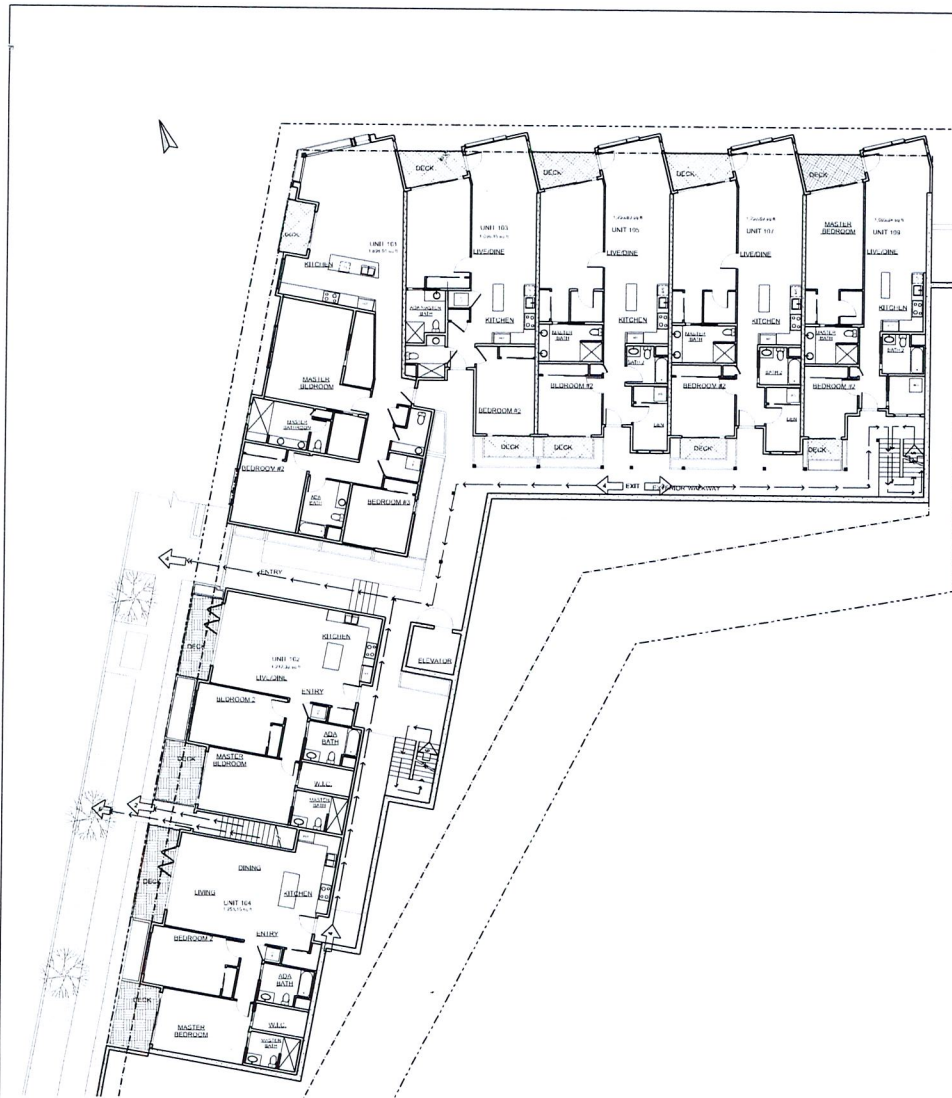
THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD
OAKLAND, CA

Project Info:
EXISTING &
PROPOSED SITE &
TREES

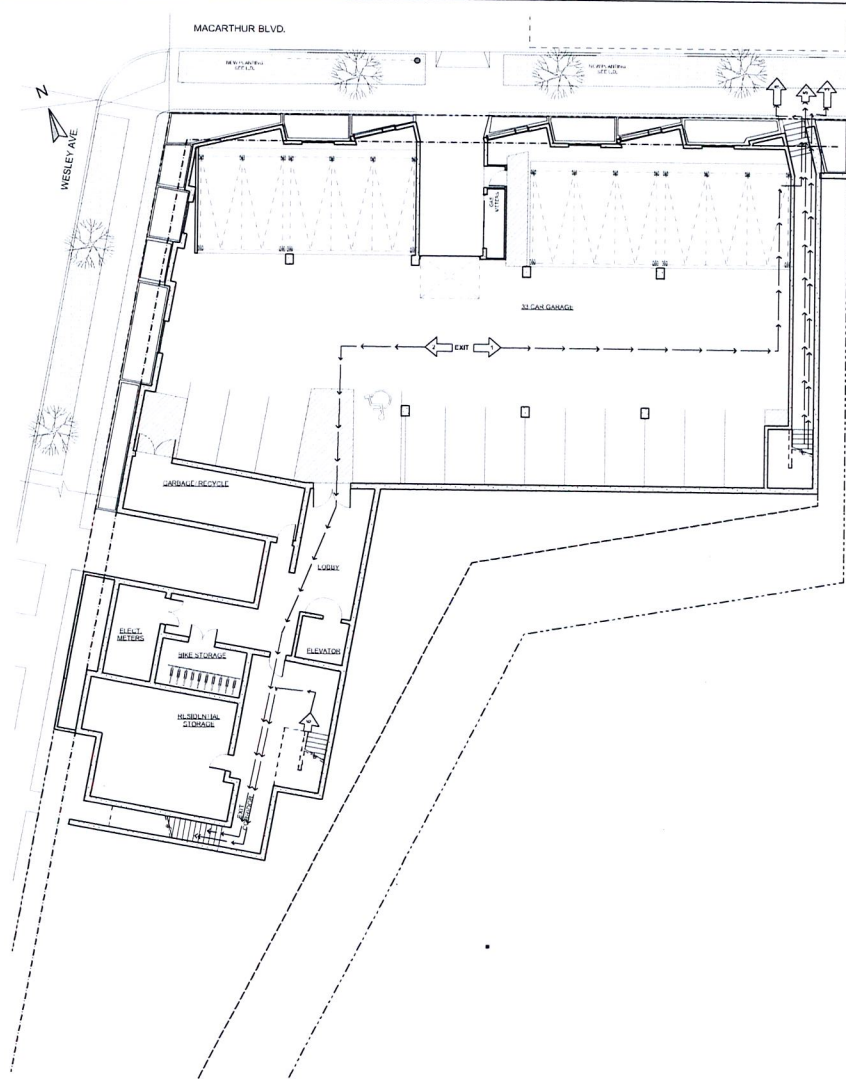
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Date	
Drawn By	MGG
JOB Number	1-714
Sheet	

A1.1





2 1ST FLOOR EXIT PLAN
SCALE: 1/8" = 1'-0"



1 BASEMENT EXIT PLAN
SCALE: 3/32" = 1'-0"

Kotas/
Pantaleoni
Architects

Anthony A. Pantaleoni
LEED AP

75 2nd Street, Suite 200
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Revised:	By:
Planning Submittal 01.28.17	EM
Revised Planning Submittal 01.08.18	EM

THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD
OAKLAND, CA

Project Info:
BASEMENT & 1ST
EXITING

Scale:	As Noted
Date:	
Drawn By:	MGG
Job Number:	1-714

A1.2



Version:	02
Planning Submittal Set:	BM
Revised Planning Submittal Set:	BM
05.09.16	

THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD
OAKLAND, CA

Sheet Title:
Project Info:
2ND & 3RD EXITING

Scale: As Noted

Date:

Drawn By: MGG

Job Number: 1-714

Sheet:

A1.3

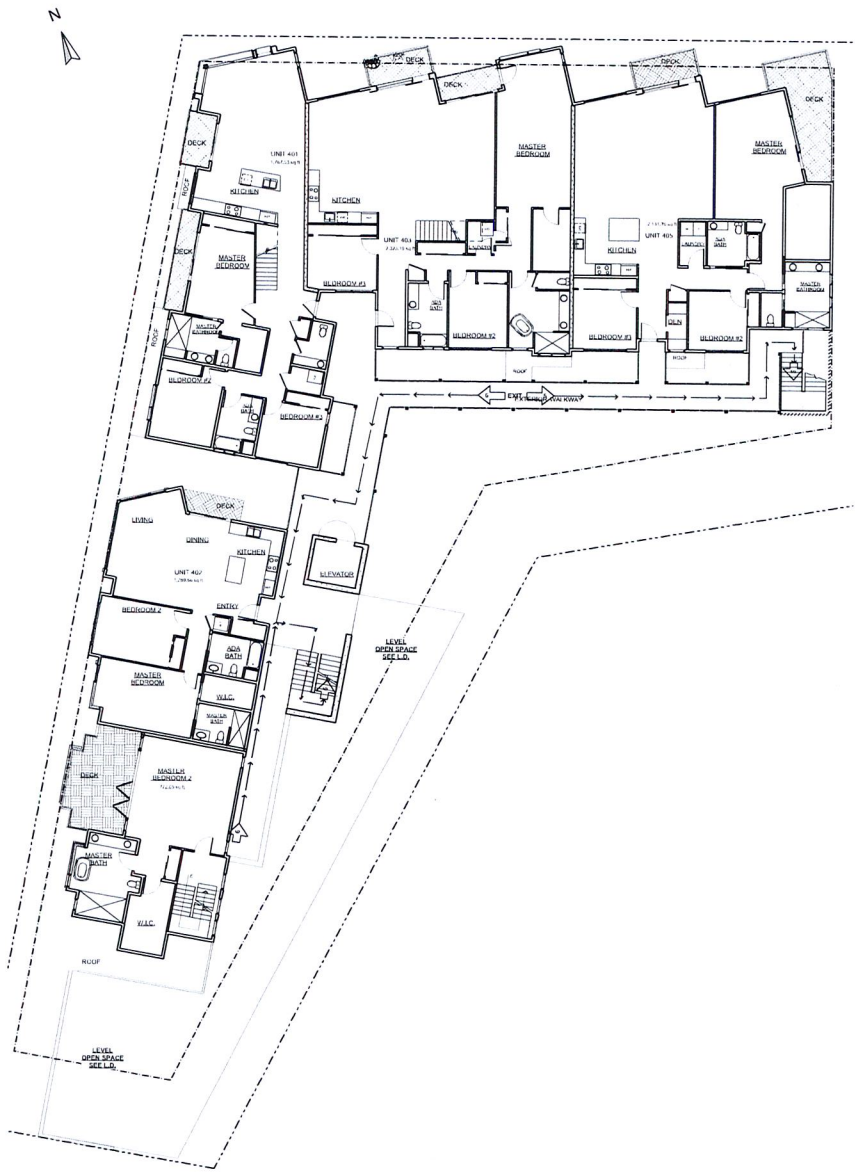


2 3RD FLOOR EXIT PLAN
SCALE: 3/32" = 1'-0"



1 2ND FLOOR EXIT PLAN
SCALE: 3/32" = 1'-0"





1 4TH FLOOR EXIT PLAN
SCALE: 3/32" = 1'-0"

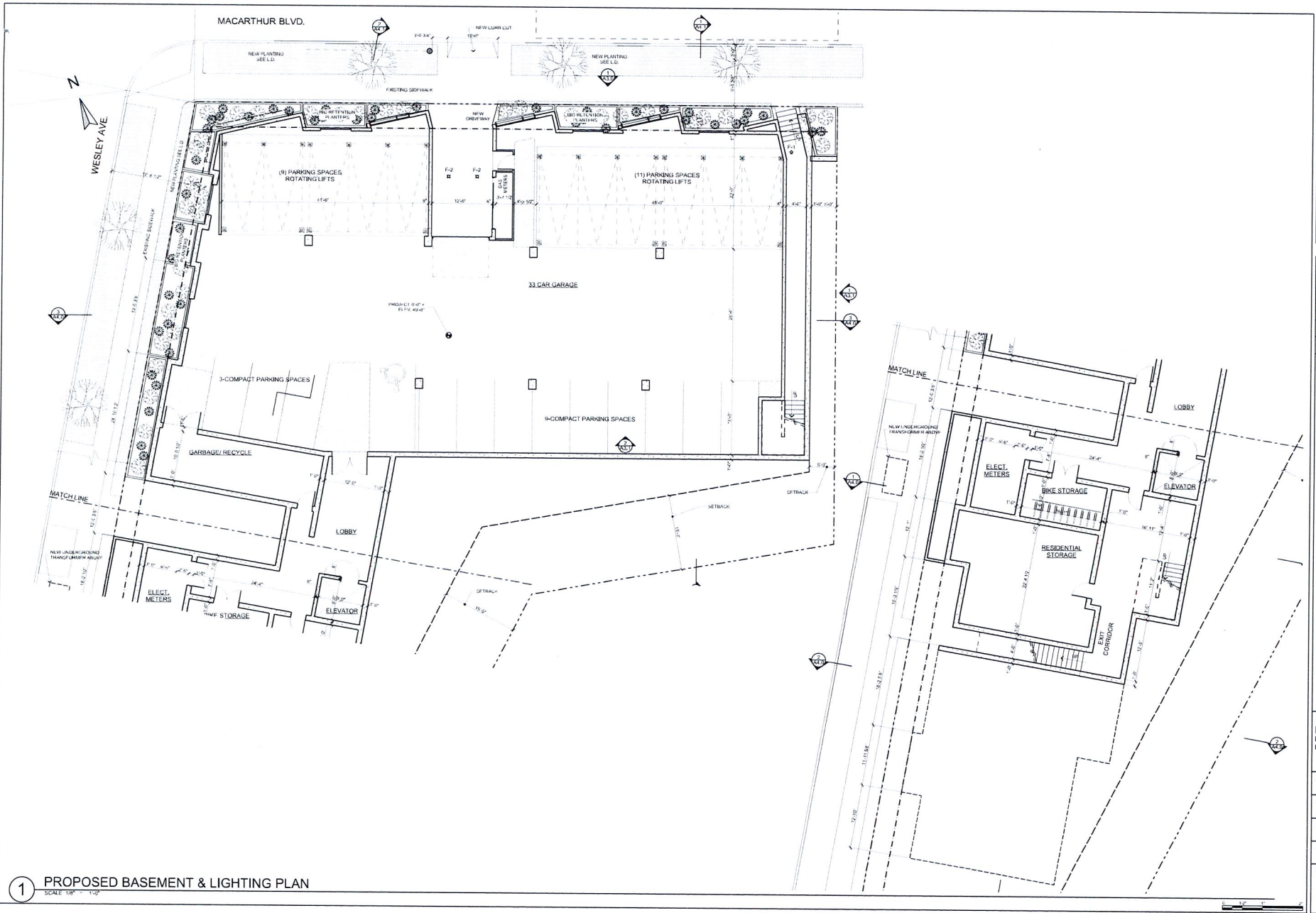
**Kotas/
Pantaleoni
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Anthony A. Pantaleoni
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75245 5th St., Suite 200
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Revisions	By
Planning Submittal Set	EM
Revised Planning Submittal	EM
01.09.16	

THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD
OAKLAND, CA

Project Info:
4TH EXISTING
Scale: As Noted
Date:
Project By: MGG
Job Number: 1-714
Sheet:

A1.4



1 PROPOSED BASEMENT & LIGHTING PLAN
SCALE 1/8" = 1'-0"

Kotas/
Pantaleoni
Architects

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Revision	By
Planning Submittal Set	BM
Revised Planning Submittal	BM

THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD
OAKLAND, CA

Sheet Title:
Floor Plans:
PROPOSED
BASEMENT

Scale	As Noted
Scale	
Drawn By	MGG
Job Number	1-714
Sheet	

A2.0

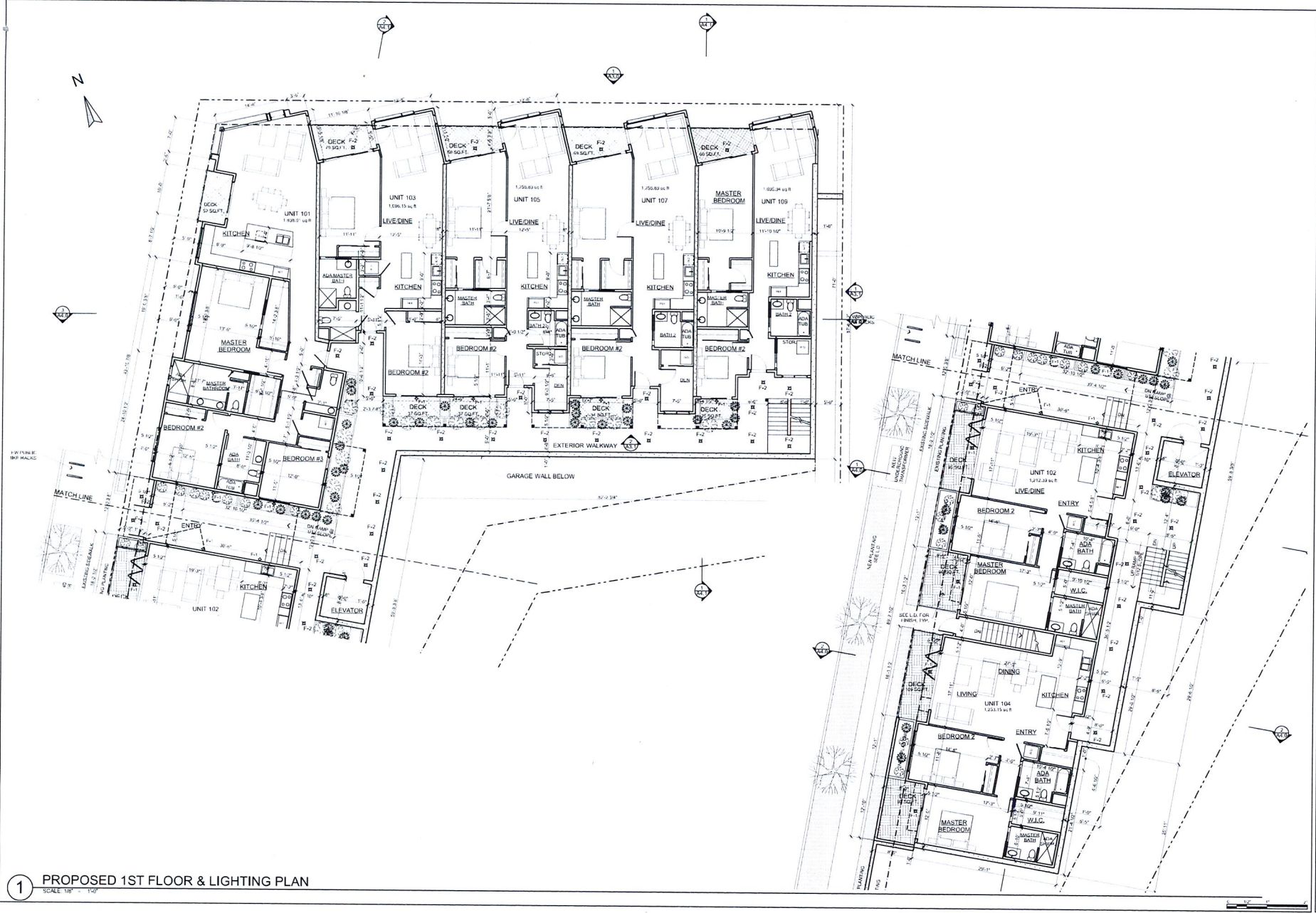
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Planning Submittal Set	EM
Revised Planning Submittal	EM
01.08.16	

THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD
OAKLAND, CA

Draw Title:
Floor Plans:
PROPOSED 1ST
FLOOR

Date:	As Noted
Title:	
Client/Proj:	MGG
Job Number:	1-714
Sheet:	

A2.1



1 PROPOSED 1ST FLOOR & LIGHTING PLAN
SCALE: 1/8" = 1'-0"

Revision	By
Planning Submittal Set 07.25.17	BM
Revised Planning Submittal 07.28.17	BM

THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD
OAKLAND, CA

Drawn By:
**Floor Plans:
PROPOSED 2ND
FLOOR**

Title: As Noted

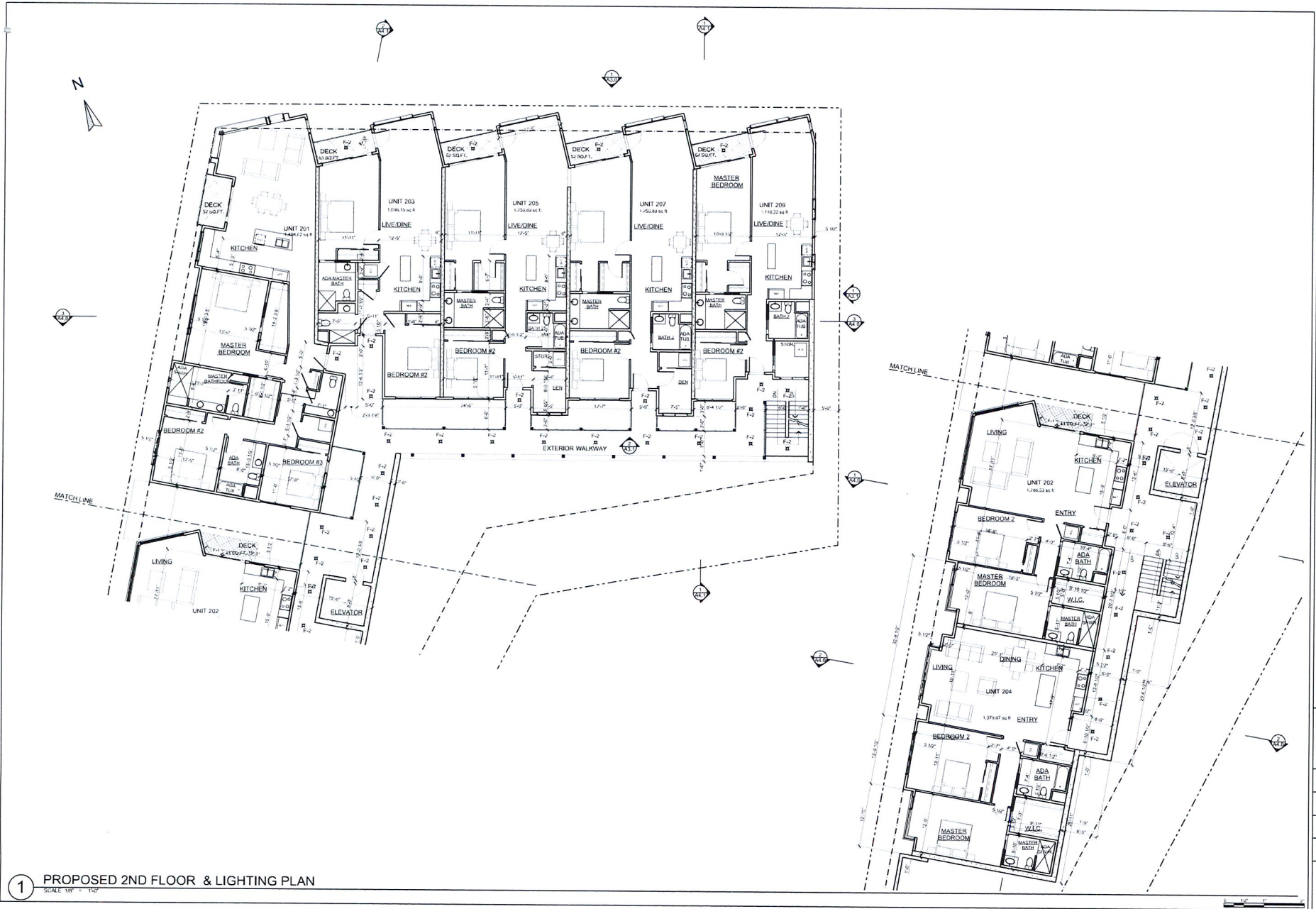
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Designer By: MGG

Job Number: 1-714

Sheet:

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1 PROPOSED 2ND FLOOR & LIGHTING PLAN
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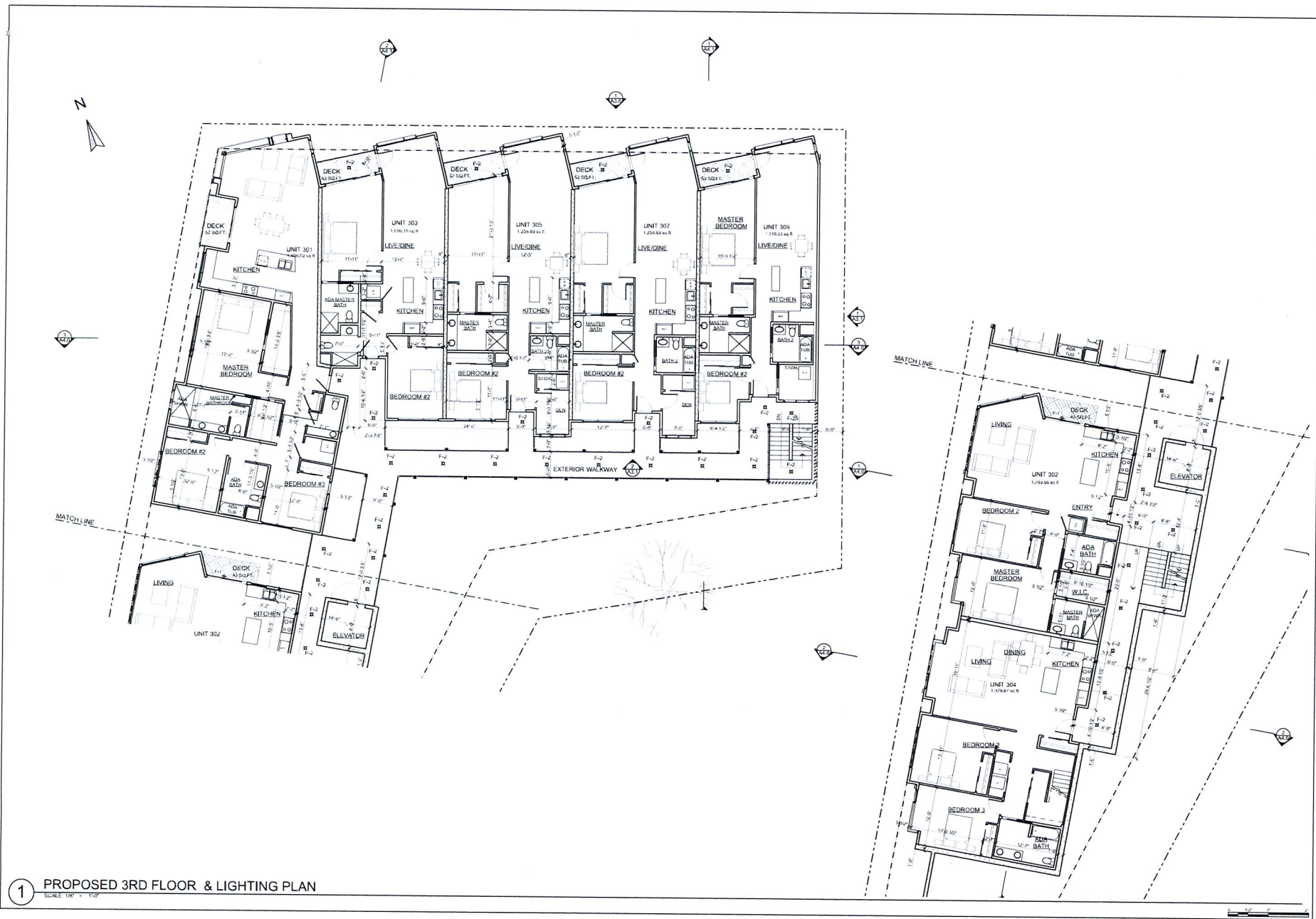
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Revised Planning Submittal 01.09.18	BM

THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD
OAKLAND, CA

Drawn Title:
Floor Plans:
PROPOSED 3RD
FLOOR

Scale	As Noted
Date	
Drawn By	MGG
Job Number	1-714
Sheet	

A2.3



1 PROPOSED 3RD FLOOR & LIGHTING PLAN
SCALE 1/8" = 1'-0"

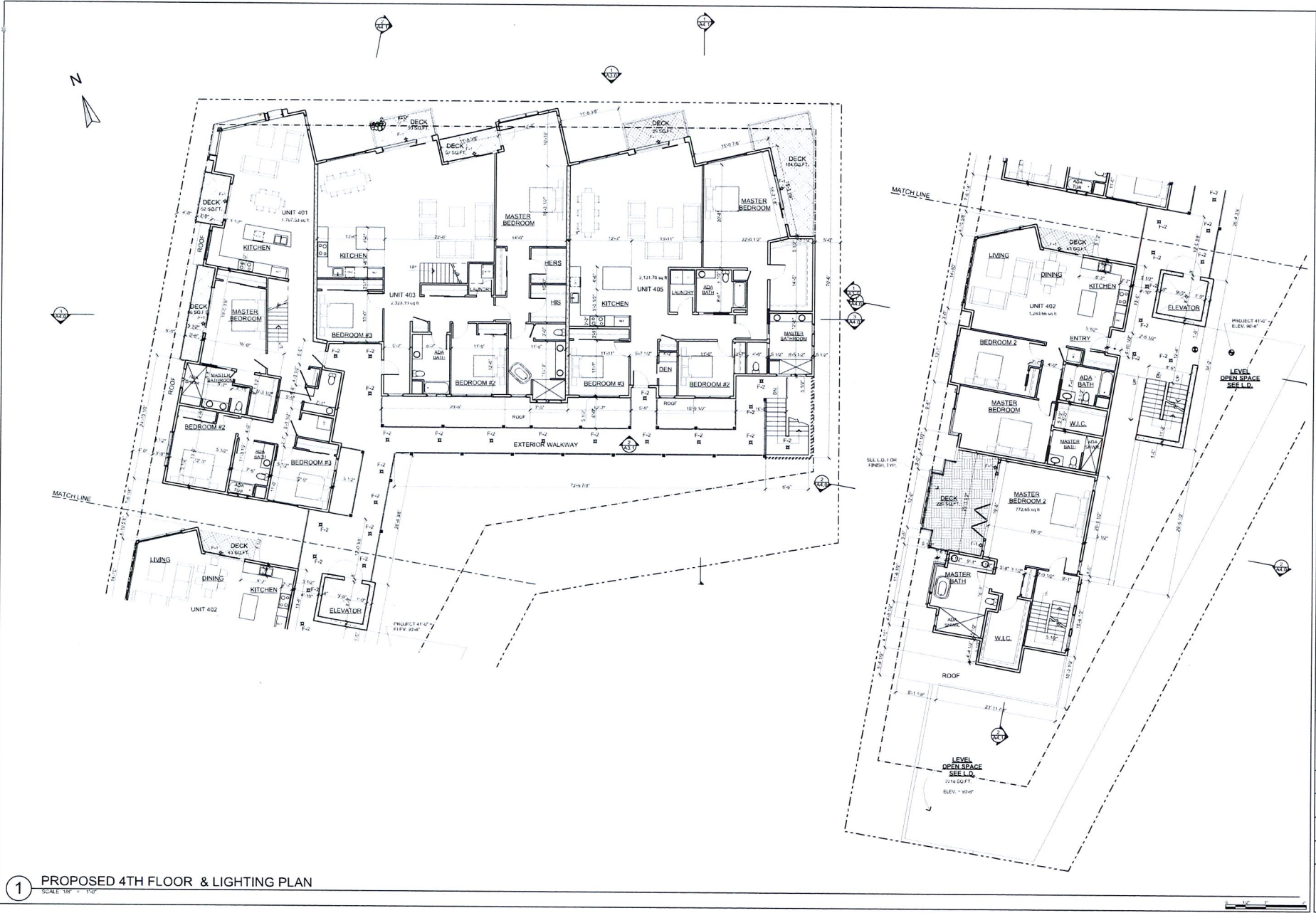
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Planning Submittal Set 07.25.17	BM
Revised Planning Submittal 09.28.18	BM

THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD
OAKLAND, CA

Sheet Title:
Floor Plans:
PROPOSED 4TH FLOOR

Date: As Noted
Title:
User By: MGG
Job Number: 1-714
Sheet:

A2.4



1 PROPOSED 4TH FLOOR & LIGHTING PLAN
SCALE: 1/8" = 1'-0"

Revised	BY
Planning Submittal Set 07.25.17	BM
Revised Planning Submittal 01.09.18	BM

THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD
OAKLAND, CA

Sheet Title:
Floor Plans:
PROPOSED ROOF

Scale:
As Noted

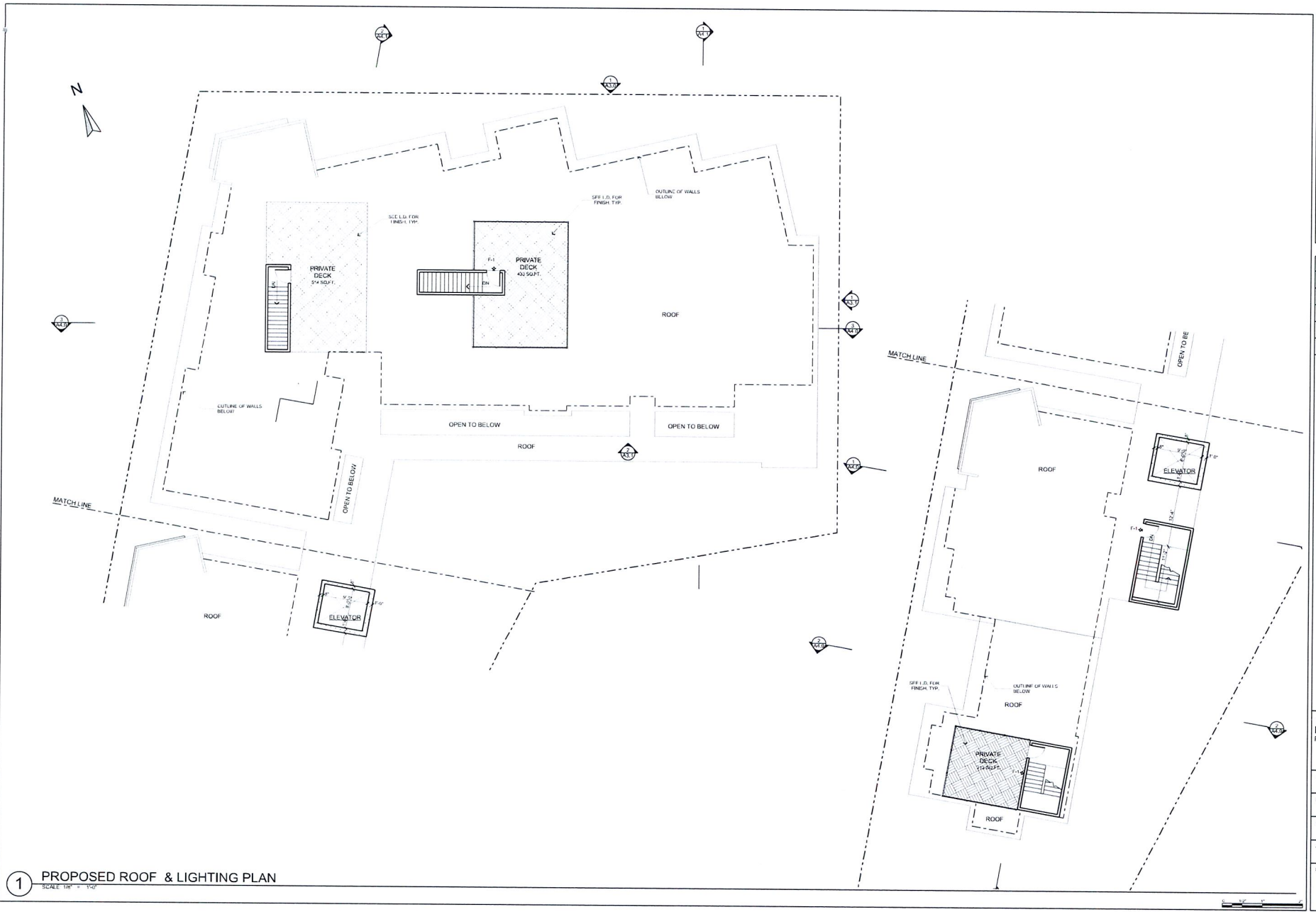
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Drawn By:
MGG

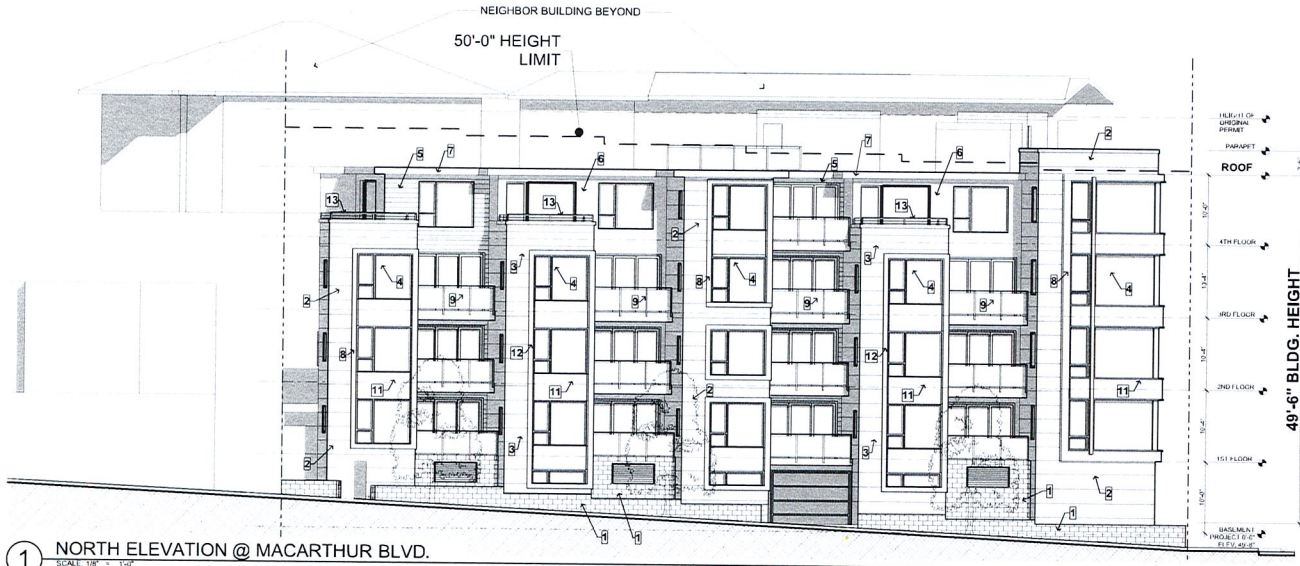
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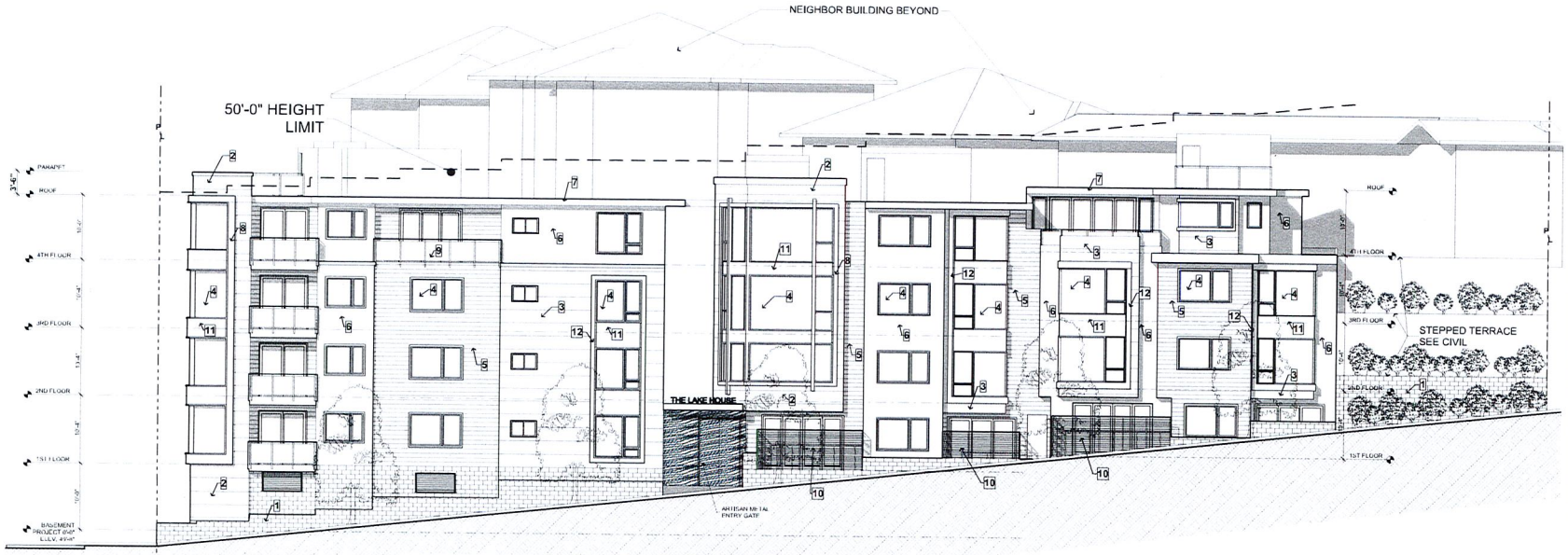


1 PROPOSED ROOF & LIGHTING PLAN
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION @ MACARTHUR BLVD.
SCALE 1/8" = 1'-0"

- 1 CALSTONE SPLIT FACE CONCRETE BLOCK COLOR #304
- 2 TRESPA METEON RAIN SCREEN PANEL A89.6.4 "MAHOGONY RED"
- 3 TRESPA METEON RAIN SCREEN PANEL A821.7.0 "STEEL GREY"
- 4 BONELLI 3" RECESSED ANODIZED ALUM. "SILVER" WINDOWS W/ CLEAR GLASS & ALUM. PANELS
- 5 JAMES HARDIE ARTISAN V-RUSTIC SIDING, PAINTED DUNN EDWARDS DE6368 "PRECIOUS PEARLS"
- 6 CEMENT PLASTER PAINTED DUNN EDWARDS DE618 "INDUSTRIAL AGE"
- 7 2X10 FASCIA PAINTED DUNN EDWARDS DE6371 "BLACKJACK"
- 8 AZEK WINDOW TRIM DUNN EDWARDS DE6371 "BLACKJACK"
- 9 ANODIZED ALUM GUARDRAILS W/ TEMPERED FROSTED GLASS
- 10 GALVANIZED HORIZONTAL BAR FENCING & GATES
- 11 ANODIZED ALUM PANELS TO MATCH ALUMINUM WINDOWS
- 12 AZEK WINDOW TRIM DUNN EDWARDS DE6386 "PRECIOUS PEARLS"
- 13 GALVANIZE METAL GUARDRAILS PAINTED DUNN EDWARDS DE6371 "BLACKJACK"



2 WEST ELEVATION @ WESLEY AVE.
SCALE 1/8" = 1'-0"

Kotas/
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Architects

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Revisions	By
Planning Submittal Set 07.25.17	BM
Revised Planning Submittal 01.03.18	BM

THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD
OAKLAND, CA

Drawn By:
Exterior Elevs:
NORTH & WEST

Scale	As Noted
Date	
Drawn By	MGG
Job Number	1-1714
Sheet	

A3.0

WPLED200C



Model	Length	Width	Height	Weight
WPLED200C	2000mm	25mm	10mm	100g

Technical Specifications

LED Characteristics	Total Harmonic Distortion	Green Technology
Life Span	Less than 1%	Highly efficient LED chip
Color Consistency	±0.5nm	Highly efficient LED chip
Color Stability	±0.5nm	Highly efficient LED chip
Color Accuracy	±0.5nm	Highly efficient LED chip
Color Temperature	±0.5nm	Highly efficient LED chip
Color Consistency	±0.5nm	Highly efficient LED chip
Electrical Specifications	Power Efficiency	RoHS Compliance
Power Efficiency	Highly efficient LED chip	RoHS Compliant

RAB

F-1

Model	Length	Width	Height	Weight
RAB F-1	2000mm	25mm	10mm	100g

Technical Specifications

LED Characteristics	Total Harmonic Distortion	Green Technology
Life Span	Less than 1%	Highly efficient LED chip
Color Consistency	±0.5nm	Highly efficient LED chip
Color Stability	±0.5nm	Highly efficient LED chip
Color Accuracy	±0.5nm	Highly efficient LED chip
Color Temperature	±0.5nm	Highly efficient LED chip
Color Consistency	±0.5nm	Highly efficient LED chip
Electrical Specifications	Power Efficiency	RoHS Compliance
Power Efficiency	Highly efficient LED chip	RoHS Compliant

HALO

Model	Length	Width	Height	Weight
HALO F-2	2000mm	25mm	10mm	100g



SLD 600 Series
SLD600xWHJB
2700K, 3000K, 3500K,
and 4000K

SLD600xWHJB
3000K
and 4000K
6" Surface LED
Downlight

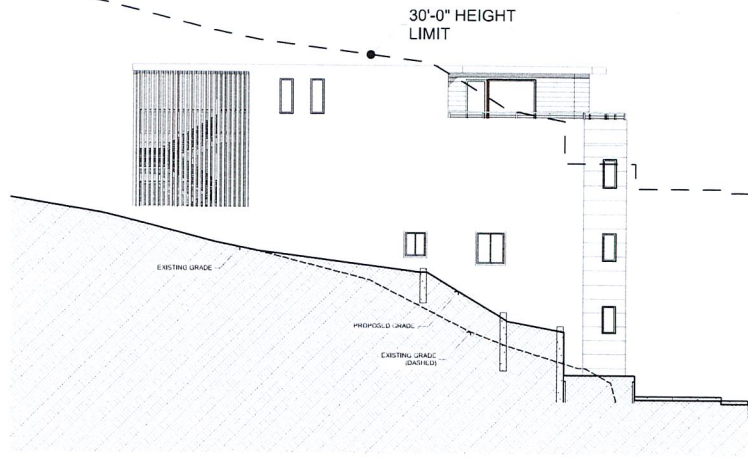
Model	Length	Width	Height	Weight
SLD600xWHJB	2000mm	25mm	10mm	100g

Model	Length	Width	Height	Weight
SLD600xWHJB	2000mm	25mm	10mm	100g

Cooper Lighting



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

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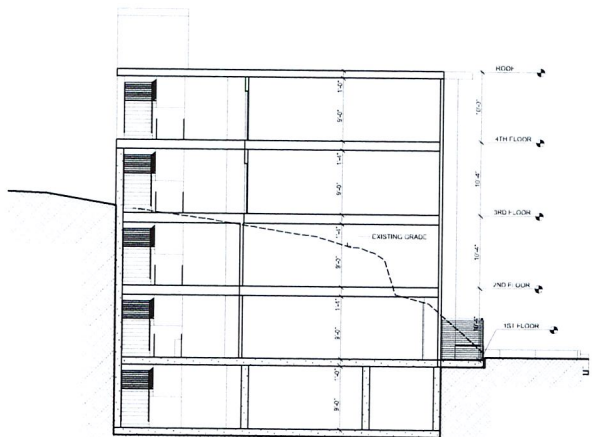
Reviewed	By
Planning Submittal Set 07.25.17	BA
Revised Planning Submittal 01.09.18	BA

THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD
OAKLAND, CA

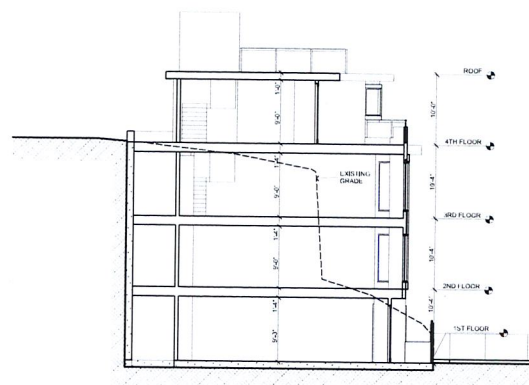
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Exterior Elevations:
EAST & SOUTH

Scale	As Noted
Date	
Drawn By	MGG
Job Number	1-714

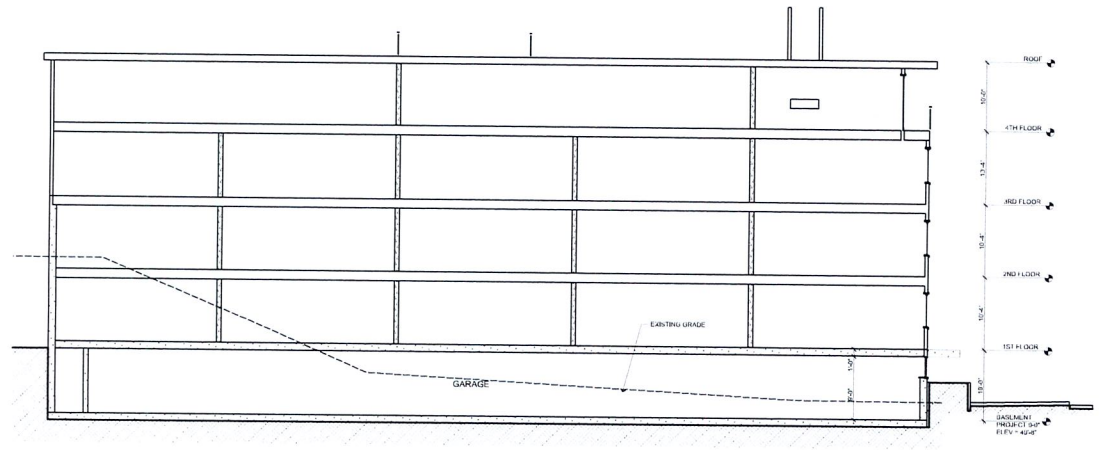
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1 EAST-WEST SITE SECTION #5
SCALE: 1/8" = 1'-0"



2 EAST-WEST SITE SECTION #6
SCALE: 1/8" = 1'-0"



3 EAST-WEST SITE SECTION #4
SCALE: 1/8" = 1'-0"



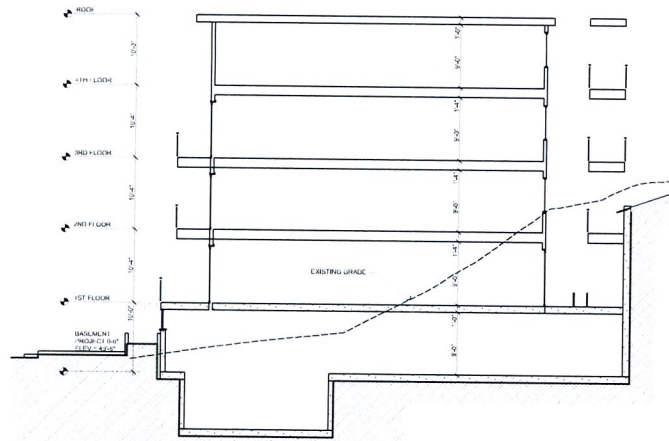
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Revision	By
Planning Submittal Set 07.25.17	BM
Revised Planning Submittal 07.08.18	BM

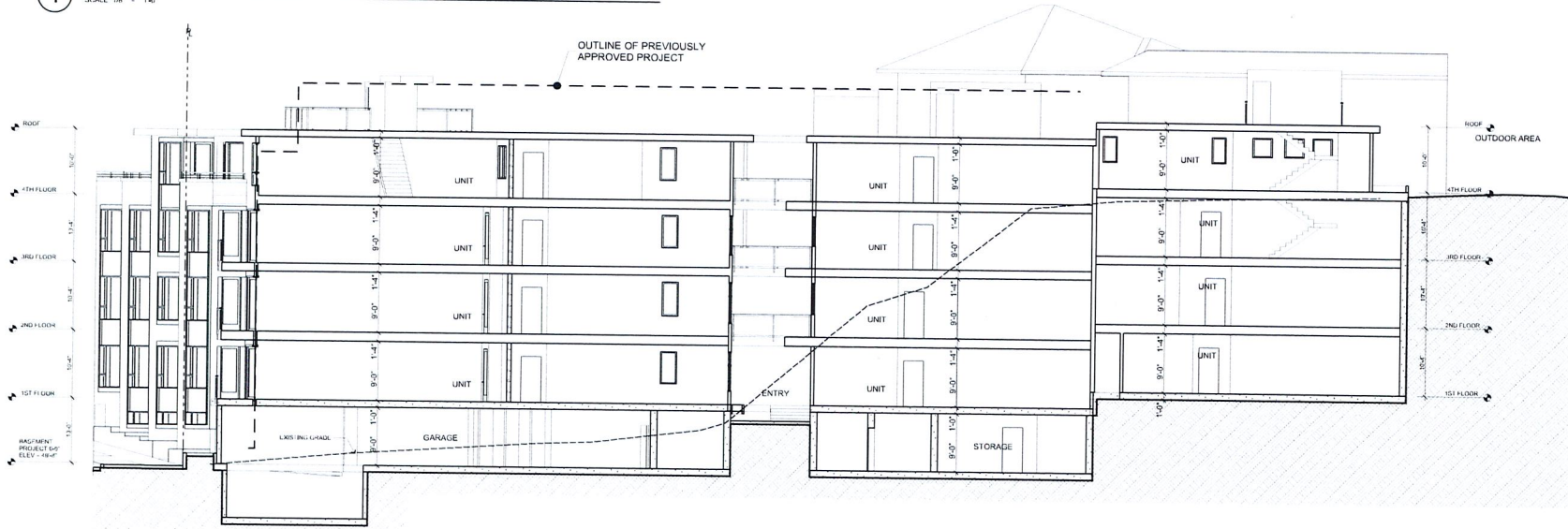
THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD
OAKLAND, CA

Sheet No:	Sections: EAST-WEST
Scale:	As Noted
Date:	
Drawn By:	MGG
JOB Number:	1-714
Sheet:	

A4.0



1 NORTH-SOUTH SITE SECTION #2
SCALE 1/8" = 1'-0"



2 NORTH-SOUTH SITE SECTION #7
SCALE 1/8" = 1'-0"

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Revision	By
Planning Submittal Set 07.28.17	BM
Revised Planning Submittal 01.09.18	BM

THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD
OAKLAND, CA

Sheet Title:
Sections:
NORTH-SOUTH

Scale: As Noted
Date:
Drawn By: MGG
Job Number: 1-714
Sheet:

A4.1



1 Corner Looking At Site (601 MacArthur Blvd.)
SCALE: 1:1.34



2 Corner Looking North
SCALE: 1:1.39

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THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD.
OAKLAND, CA

PIC 1



1

MacArthur Looking South (Addresses From Left to Right - 655/635/621 MacArthur Blvd.)

SCALE: 1:1.42



2

Neigh Looking North

SCALE: 1:1.42

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THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD.
OAKLAND, CA

PIC 2



1 Wesley Looking East (Addresses From Left to Right - 601 MacArthur Blvd., 620 Wesley Ave., 612 Hillgirt Cir.)
SCALE: 1:1.43



2 Wesley Looking West (Addresses From Left to Right - 595 Merritt Ave., 655/659/663/667 Wesley Ave.)
SCALE: 1:1.43

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THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD.
OAKLAND, CA

PIC 3



1 Site Looking North
SCALE: 1:1.39



2 Site Looking West (Addresses From Left to Right - 663/667/677 Wesley Ave.)
SCALE: 1:1.37

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THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
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PIC 4



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THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD.
OAKLAND, CA

1 NORTHWEST PERSPECTIVE--01.09.18
SCALE: 1:1.82

PERS 1



1 NORTHWEST PERSPECTIVE-01.09.18

SCALE: 1:1.63



2 SOUTHWEST PERSPECTIVE - 01.09.18

SCALE: 1:1.30

PERS 2

Kotas/
Pantaleoni
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THE LAKE HOUSE DEVELOPMENT
25 RESIDENTIAL UNITS
601 MacARTHUR BOULEVARD.
OAKLAND, CA

601 MACARTHUR BLVD.

OAKLAND, CA

GENERAL NOTES

- THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING, AND NOT BE LIMITED TO, NORMAL WORKING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXEMPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF ENGINEER.
- EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEETED SO THAT THE EARTH WILL NOT SLUR OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEETING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH AND/OR STRUCTURE IS FIVE FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING, SHORING OR BRACING OR EQUIVALENT METHOD FOR THE PROTECTION OF LIFE OR LIMB, WHICH SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.
- ALL APPLICABLE REQUIREMENTS OF THE CALIFORNIA CONSTRUCTION AND GENERAL INDUSTRY SAFETY ACT, THE OCCUPATIONAL SAFETY AND HEALTH ACT AND THE CONSTRUCTION SAFETY ACT SHALL BE MET.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PERMITS NECESSARY TO PERFORM THE WORK SHOWN IN THESE PLANS FROM THE APPROPRIATE AGENCIES.
- THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF AN AIRBORNE DUST NUBANDE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR FAILURE TO DO SO.
- THE CONTRACTOR MUST PROVIDE FOR SAFE ACCESSIBLE INGRESS AND EGRESS FOR ADJACENT PROPERTY OWNERS AND EVA THROUGHOUT THE PERIOD OF CONSTRUCTION. TEMPORARY THROUGH ACCESS FOR THE GENERAL PUBLIC TO THE CONSTRUCTION STAGING OR LIMITATIONS MUST BE FULLY REVIEWED AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. ALL ACCESS MUST BE SAFE, SECURED, FLAGGED, SIGNED, AND ACCESSIBLE FOR THE APPROVED SITE ACCESS PLAN SUBMITTED BY THE CONTRACTOR AND REQUIRED BY THE OWNER.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EMERGENCY VEHICLE ACCESS, PUBLIC SAFETY AND SAFETY OF EXISTING STRUCTURES. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, FENCING, BARRICADES, TRAFFIC CONTROLS, FLAGGERS, SHORING, BRACING AND EGGS OR OTHER DEVICES NECESSARY TO PROVIDE FOR SAFETY IN ACCORDANCE WITH ALL NATIONAL, STATE SPECIS AND LOCAL SAFETY ORDINANCES.
- THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE, AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF JOB SITE.
- ALL EXISTING UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN WIRED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST THREE (3) WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 800-277-2600. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTORS FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.
- ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION MUST BE COMPLETELY RESTORED TO THE SATISFACTION OF THE CITY ENGINEER OR UTILITY AGENCY REPRESENTATIVE AT THE CONTRACTORS SOLE EXPENSE.
- ANY RELOCATION OF PUBLIC UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE UTILITY COMPANY REPRESENTATIVE, INCLUDING FEES, BONDS, PERMITS AND WORKING CONDITIONS, ETC. THIS WORK SHALL BE DONE AT NO EXPENSE TO THE UTILITY COMPANY. THE OWNER SHALL PAY THE COST OF ALL SUCH RELOCATION WORK INCLUDING FEES, BONDS, PERMITS, ETC.
- THE CONSTRUCTION OF ALL GOWAY UNDERGROUND LINES (DITCH DRAINS) SHALL BEGIN AT THE MOST DOWNSTREAM END, UNLESS OTHERWISE SPECIFICALLY APPROVED BY ENGINEER OR BY THE OWNER.
- IF ARCHEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER EXCAVATION, EARTHWORK WITHIN 50 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHEOLOGY (SPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.
- THE USE OR INSTALLATION OF ANY MATERIAL OR EQUIPMENT WHICH IS MADE FROM, OR WHICH CONTAINS ASBESTOS FOR USE IN THE CONSTRUCTION OF THESE IMPROVEMENTS, IS NEITHER SPECIFIED NOR RECOMMENDED. ANY PARTY INSTALLING OR USING ANY PARTY SUCH MATERIALS OR EQUIPMENT SHALL BE SOLELY RESPONSIBLE FOR ALL INJURIES, DAMAGES, OR LIABILITIES, OF ANY KIND, CAUSED BY THE USE OF SUCH MATERIALS OR EQUIPMENT.
- THE CONTRACTOR MUST MEET AND IMPLEMENT ALL NPDES, SWPPP, AND EROSION CONTROL REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE ON ANY MATTER RELATIVE THERE TO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT GATES & ASSOCIATES AT (925) 778-8478 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

LAYOUT NOTES

- CONTRACTOR SHALL VERIFY ALL UTILITIES, GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- ALL WRITTEN DIMENSIONS SUPERSEDE ALL SCALED DISTANCES AND DIMENSIONS. DIMENSIONS SHOWN ARE FROM THE FACE OF THE BUILDING, WALL, BACK OF CURB, EDGE OF WALK, PROPERTY LINE, OR CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL DIMENSIONS AT BUILDING ARE TO FACE OF BUILDING. ALL DIMENSIONS AT ROADWAY ARE TO FACE OF CURB.
- ALL ANGLES ARE 45 DEGREE, 90 DEGREE OR 135 DEGREE UNLESS OTHERWISE NOTED.
- ALL CURVES AND ALL TRANSITIONS BETWEEN CURVES AND STRAIGHT EDGES SHALL BE SMOOTH.
- ALL RETURN RADIUS AND CURB DATA ARE TO FACE OF CURB.
- WHENEVER BOTTOM OF WALL (BW) ELEVATION IS GIVEN, IT IS FINISH PAVEMENT OR GRADE ELEVATION AT FACE OF WALL.
- SCORE LINES IN SIDEWALKS SHALL BE SPACED TO EQUAL THE WIDTH OF THE WALKWAY, UNLESS OTHERWISE SHOWN. EXPANSION JOINTS IN SIDEWALKS SHALL BE 20" ON CENTER MAXIMUM.
- EXPANSION JOINTS IN CONCRETE WALLS SHALL BE AT 42' O.C. MAXIMUM.
- BUILDING JOINTS AND LOCATION, SIDEWALK, CURB AND GUTTER, GRADING AND DRAINAGE IS BASED ON DRAWINGS PREPARED BY THE ARCHITECT AND THE CIVIL ENGINEER.
- STATIONING HEREON IS ALLONG CONSTRUCTION CENTERLINE UNLESS OTHERWISE SHOWN OR INDICATED.
- ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTORS NEGLIGENCE WILL BE CHARGED TO THE CONTRACTOR ON A TIME AND EXPENSES BASIS AND PAID FOR BY THE CONTRACTOR.
- SEE IRRIGATION DRAWINGS FOR GENERAL SYSTEM REQUIREMENTS AND FOR LOCATION OF IRRIGATION MAINLINE SPRING. SERVICES TO APPROPRIATE IRRIGATION SPRING, SIZED AS NEEDED, SHALL BE IN PLACE UNDER AND THROUGH SLABS AND WALLS, PRIOR TO POURING.
- PROVIDE CONTINUOUS HEADERS AT THE EDGES OF ALL AC PAVING, SHRUB AREAS, LAWN AREAS, DECOMPOSED GRANITE WHERE IT IS NOT CONSTRAINED BY A CONCRETE PAVING OR HOW BAND.
- ALL CONCRETE PAVEMENTS SHALL BE DOWELED INTO CURBS, SIDEWALKS, AND BUILDING FOUNDATIONS.
- REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION, SECTIONS, REINFORCEMENT, AND PREPARATION. IN CASE OF DISCREPANCY THE GEOTECHNICAL REPORT SHALL GOVERN.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.
- ANY AND ALL WORK WITHIN CITY RIGHT OF WAY SHALL CONFORM TO ALL CITY STANDARD DETAILS AND SPECIFICATIONS.
- CONCRETE FOOTINGS INSTALLED FOR ALL SITE FURNISHINGS, STORES EQUIPMENT, ETC. IN DECORATIVE PAVEMENT, ASPHALT PAVING, DECOMPOSED GRANITE, CONCRETE PAVING, AND PLANTERS SHALL BE HELD BELOW GRADE.
- ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED AS REQUIRED. ANY DAMAGED ITEMS SHALL BE FULLY REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE TO THE FULL SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH OPERATIONS.
- ALL QUANTITIES AND PAY ITEMS ARE AND WILL BE BASED ON HORIZONTAL MEASUREMENTS.
- ALL PATTERNS, LINE TYPES, AND SYMBOLS SHOWN WITHIN THE PLAN SET REFERENCE THE LAYOUT LEGENDS AND ARE PART OF THE SCOPE OF WORK. CALL OUTS ARE SHOWN FOR CLARIFICATION OF WORK, BUT DO NOT INDICATE EVERY AND ALL INSTANCES OF SUCH WORK. THE CONTRACTOR SHALL REQUEST CLARIFICATION TO ANY ITEMS, INCLUDING BUT NOT LIMITED TO PAVING, WALLS, FINISHES, COLORS, FENCING, FOUNTAINS, POTS, AND SITE FURNITURE) NOT CLEARLY IDENTIFIED TO BE PART OF THE SCOPE OF WORK PRIOR TO BID.

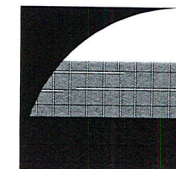
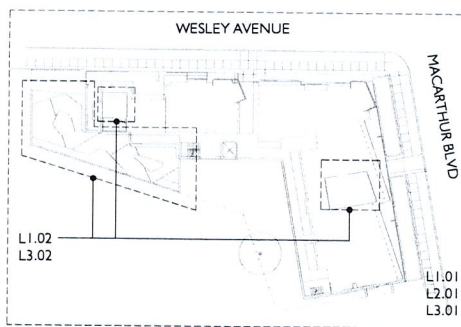
ABBREVIATIONS

↖	ALIGN
—	CENTERLINE
⊕	CONTINUOUS
EQ	EQUAL
F O B	FACE OF BUILDING
+	POINT OF BEGINNING
PL	PROPERTY LINE
R	RADIUS - ALL RADIUS GIVEN FOR WALLS ARE DIMENSIONED TO OUTSIDE OF WALLS
S A D	SEE ARCHITECTS DRAWINGS
S C D	SEE CIVIL DRAWINGS
S S D	SEE STRUCTURAL DRAWINGS
SM	SMELTAR
SP	SPACING
T B D	TO BE DETERMINED
TYP	TYPICAL

SHEET LIST TABLE

Sheet Number	Sheet Title
L0.1	LAYOUT NOTES AND LEGENDS
L0.2	PLANTING NOTES AND LEGENDS
L1.01	LAYOUT PLAN
L1.02	LAYOUT PLAN
L2.01	IRRIGATION PLAN
L2.02	IRRIGATION NOTES AND LEGENDS
L2.03	IRRIGATION DETAILS
L2.04	IRRIGATION DETAILS
L2.05	IRRIGATION DETAILS
L3.01	PLANTING PLAN
L3.02	PLANTING PLAN
L4.01	CONSTRUCTION DETAILS
L4.02	LIGHTING SPECS

SHEET MAP



GATES
+ASSOCIATES

LANDSCAPE ARCHITECTURE
LAND PLANNING • URBAN DESIGN
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601
MACARTHUR
BLVD.

OAKLAND
CA

ISSUE	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/06/2017

NOT FOR
CONSTRUCTION

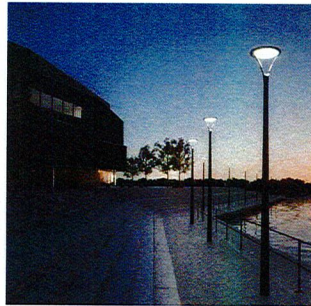
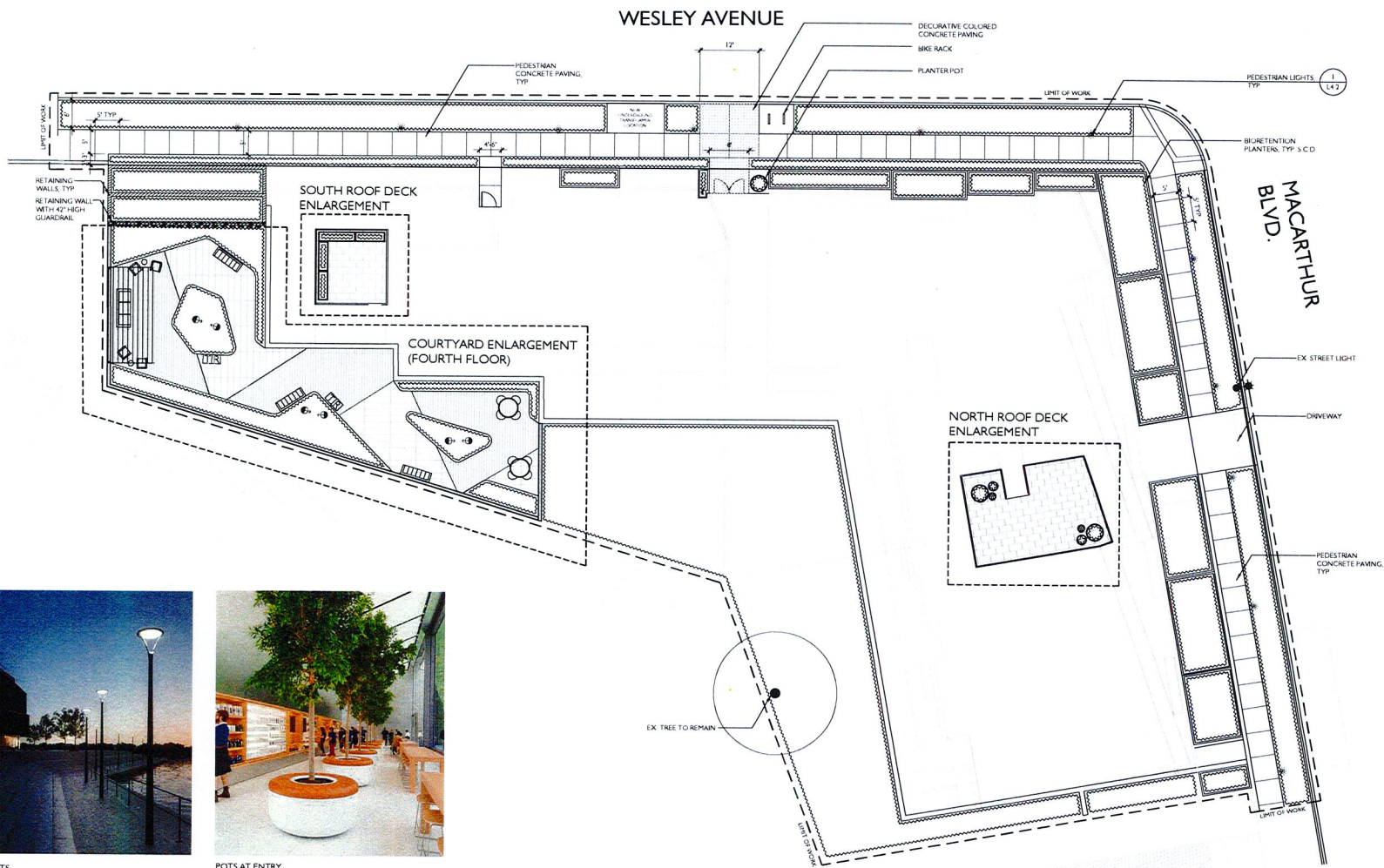


PROJECT NUMBER	5352
DRAWN	JK
CHECK	RC
DATE	10/06/2017
SCALE	



LAYOUT NOTES AND
LEGENDS

L0.1



PEDESTRIAN LIGHTS



POTS AT ENTRY

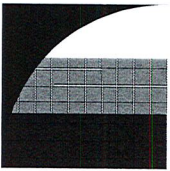
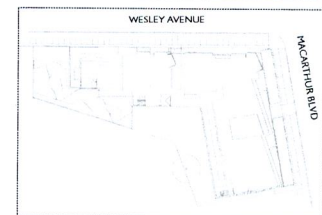


BIKE RACK



42" HIGH GUARDRAIL ON WALL

KEY MAP



GATES + ASSOCIATES

LANDSCAPE ARCHITECTURE
LAND PLANNING • URBAN DESIGN
2671 CHOW CANYON RD. SAN RAMON, CA 94583
707.279.8800 • www.gatesassoc.com

601 MACARTHUR BLVD.

OAKLAND CA

ISSUE	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	10/06/2017

NOT FOR CONSTRUCTION

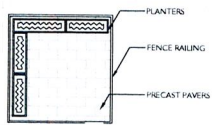


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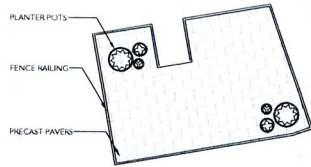


LAYOUT PLAN

LI.01



3 SOUTH ROOF DECK
1/8" = 1'



2 NORTH ROOF DECK
1/8" = 1'



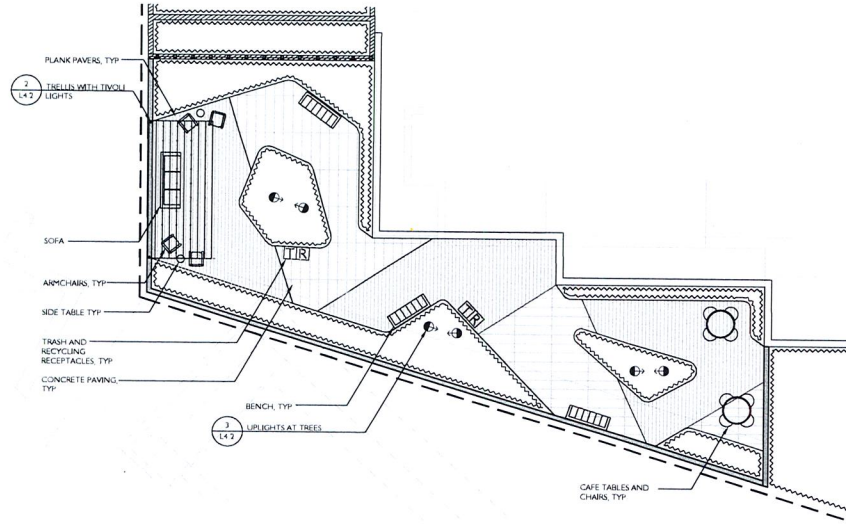
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PLANTERS

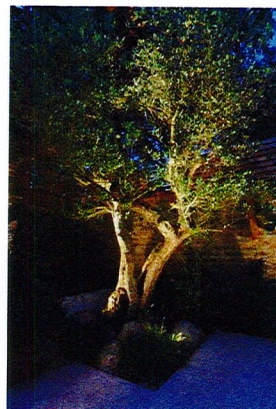


RAILING

POTS



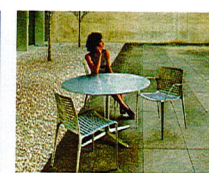
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1/8" = 1'



UPLIGHTS AT TREES



TIVOLI LIGHTS



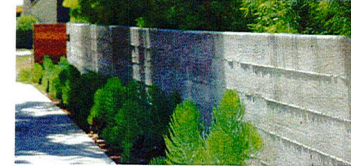
TABLES AND CHAIRS



ARMCHAIRS



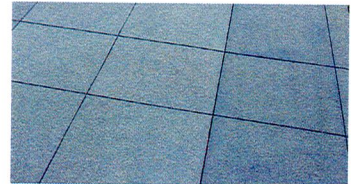
STEEL TRELLIS



WALLS



PLANK PAVERS

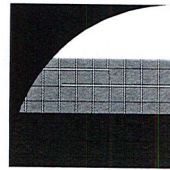
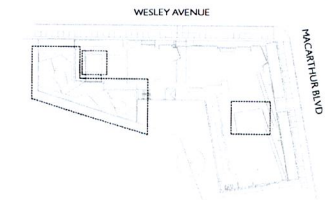


CONCRETE PAVING



BENCHES

KEY MAP



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OAKLAND
CA

ISSUE: 1 DESCRIPTION: PLANNING SUBMITTAL DATE: 12/06/2017

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PROJECT NUMBER: 5352
DRAWN: JK
CHECK: NC
DATE: 12/06/2017
SCALE: 1/8" = 1'

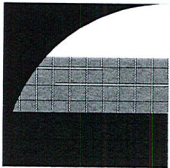
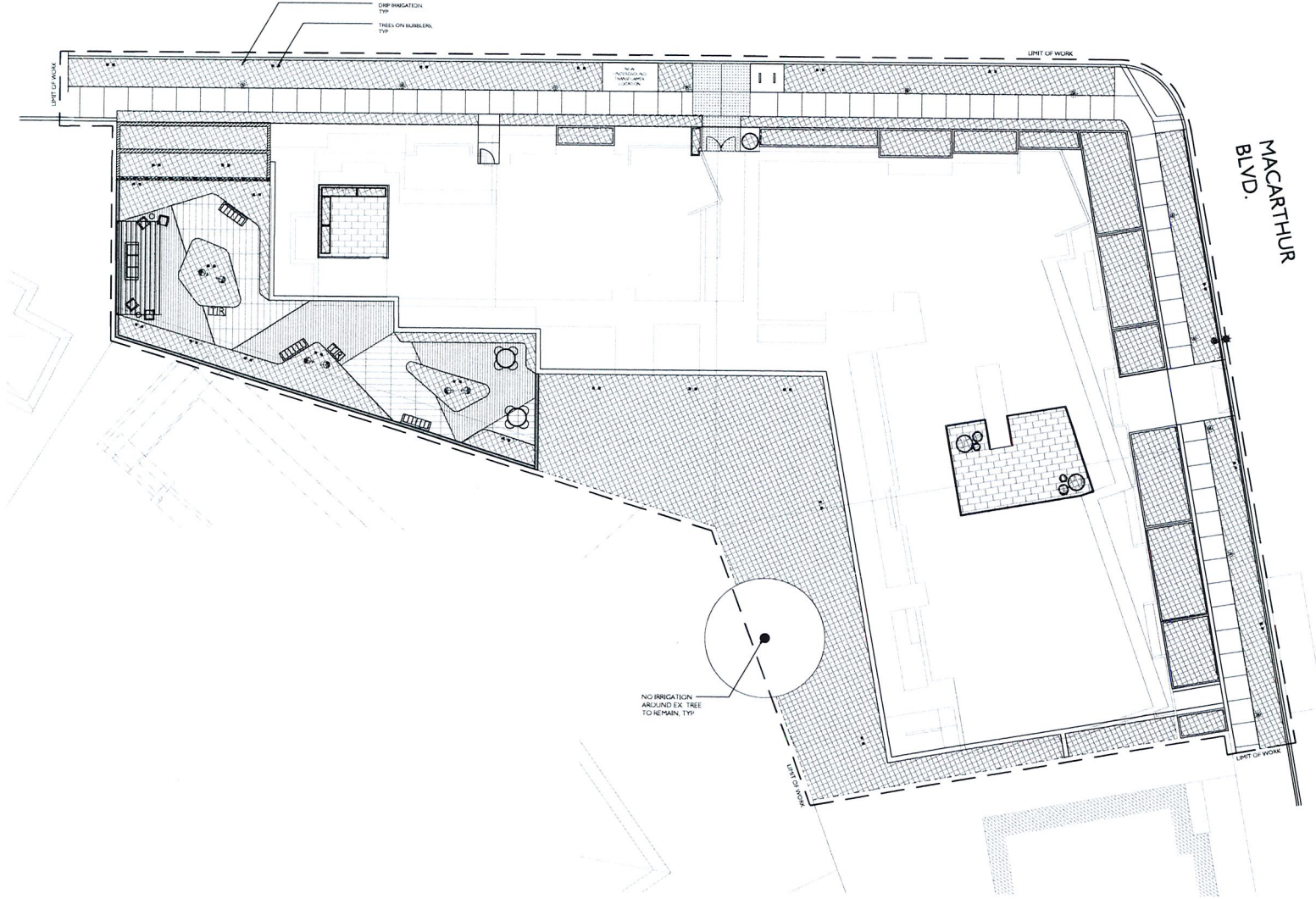


LAYOUT PLAN

LI.02

WESLEY AVENUE

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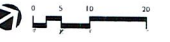
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ISSUE	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	12/06/2017

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PROJECT NUMBER: 5352
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 CHECK: HC
 DATE: 10/26/17
 SCALE: 1"=12'



IRRIGATION PLAN

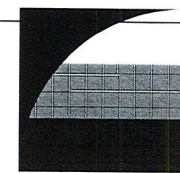
L2.01

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION	PSI	GPM	RADIUS
■	RWS-B-1402	RAINBIRD ROOT WATERING BUBBLER ASSEMBLY			
•	1401	RAINBIRD BUBBLER ON FLEXIBLE RISER	30	.25	-
◆	33DLRC	RAIN BIRD QUICK COUPLING VALVE			
⊕	PEB SERIES	RAIN BIRD REMOTE CONTROL VALVE			
⊗	1-1201-1151-0000 PMR-MF-35	AMIAID FILTER WITH SENNINGER PRESSURE REDUCING VALVE			
		PIPE CONTINUATION SYMBOL AFTER CONTROL VALVE AND FILTER ASSEMBLY FOR SUBSURFACE DRIP TUBING, TYPICAL.			
		IRRIGATION INSIDE DASHED OUTLINE AREA: NETAFIM TECHLINE DRIP EMITTER TUBING WITH INTERNAL CHECK VALVE PART NUMBER: TLVCS-1810 0.90 GPH EMITTERS 18" ON CENTER DRIPLINE PIPE WITH NETAFIM BARBED FITTINGS INSTALLED 4" COVER BELOW SOIL LEVEL. INSTALL DRIPLINE PER INSTALLATION DETAILS			
		STATION NUMBER GALLONS PER MINUTE VALVE SIZE			
		MAINLINE FOR MASTER HOA COURTYARD IRRIGATION FROM CONTROLLER "E". SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.			
		MAINLINE FOR HOA COMMON AREA IRRIGATION FROM CONTROLLER "D". SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.			
		LATERAL LINE: 1120-CLASS 200 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.			
		SLEEVE: 1120-200 PSI PVC PLASTIC PIPE WITH SCHEDULE 40 PVC PLASTIC FITTINGS. 24" COVER. SIZE NOTED ON PLANS.			

IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING, STRUCTURES, ETC.
- DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS WORK AND PLAN HIS WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC., AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THEN WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEMS, PLANTING, AND ARCHITECTURAL.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS WHERE POSSIBLE (NOT IN LAWN AREA).
- SPLICING OF 24 VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPLICE AND 100 FEET ON CENTER ALONG WIRE RUN. TAPE WIRE IN BUNDLES 10 FEET ON CENTER. NO TAPING PERMITTED INSIDE SLEEVES.
- WATERPROOF CONNECTORS FOR ALL TWO WIRE SYSTEM SPLICES SHALL BE AS SPECIFIED IN TWO WIRE INSTALLATION DETAILS.
- NOTIFY ARCHITECT OF ANY ASPECTS OF LAYOUT WHICH WILL PROVIDE INCOMPLETE OR INSUFFICIENT WATER COVERAGE OF PLANT MATERIAL AND DO NOT PROCEED UNTIL HIS INSTRUCTIONS ARE OBTAINED.
- INSTALL VALVE BOXES 12" FROM AND PERPENDICULAR TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, ETC. AND EACH BOX SHALL BE 12" APART. SHORT SIDE OF VALVE BOX SHALL BE PARALLEL TO WALK, CURB LAWN, ETC.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- OPERATE IRRIGATION CONTROLLER(S) BETWEEN THE HOURS OF 10:00 PM AND 7:00 AM.
- IRRIGATION CONTRACTOR TO NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- PRIOR TO TRENCHING, CALL UNDERGROUND SERVICE ALERT. (1-800) 642-2444 FOR NORTHERN CALIFORNIA
- WHEN VERTICAL OBSTRUCTIONS (STREET LIGHTS, TREES, FIRE HYDRANTS, ETC.) INTERFERE WITH THE SPRAY PATTERN OF THE HEADS SO AS TO PREVENT PROPER COVERAGE, THE IRRIGATION CONTRACTOR SHALL FIELD ADJUST THE SPRINKLER SYSTEM BY INSTALLING A QUARTER, THIRD OR HALF CIRCLE HEAD AT THE SIDES OF THE OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.



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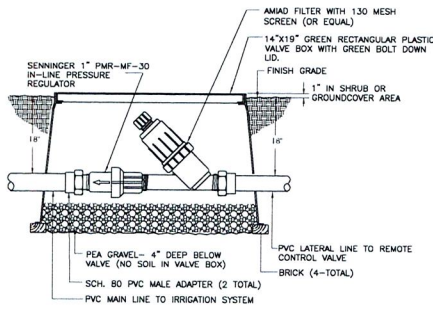


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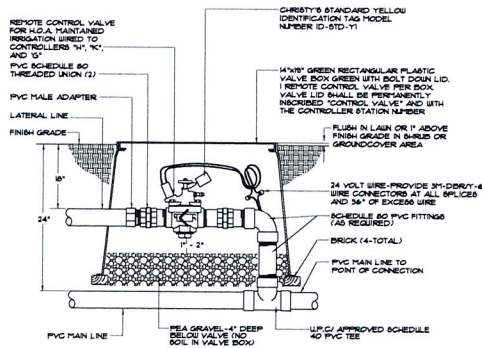


IRRIGATION NOTES AND LEGENDS

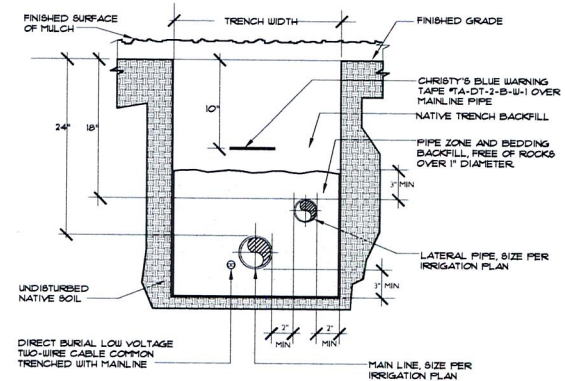
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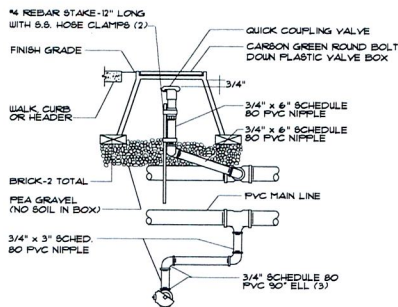
1 FILTER INSTALLATION DETAIL
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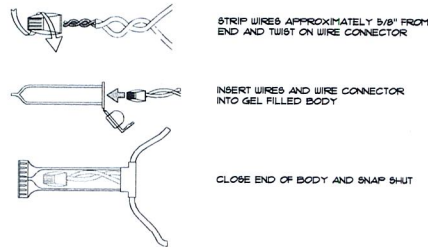
2 REMOTE CONTROL VALVE INSTALLATION
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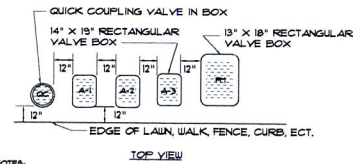
3 TYPICAL COMBINATION TRENCH
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4 3/4" QUICK COUPLER IN BOX
NTS

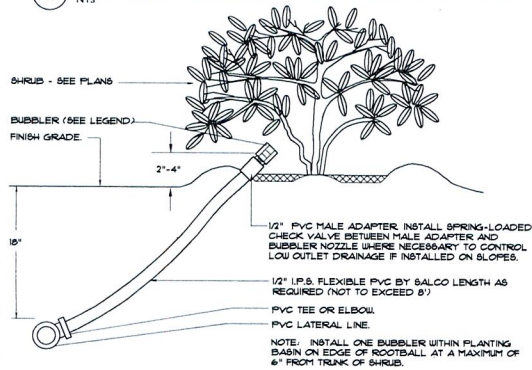


5 RAINMASTER WIRE CONNECTION
NTS

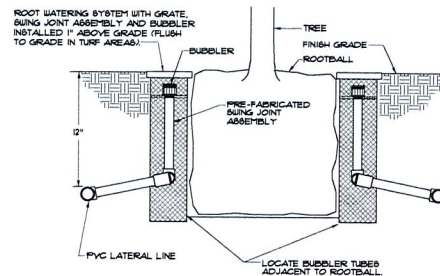


NOTES:
1. CENTER BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
2. SET BOXES 1" ABOVE FINISH GRADE IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
3. SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN AREA ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE.
5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOX EDGES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
6. ALL VALVE BOXES SHALL HAVE BOLT DOWN LIDS.
7. ALL REMOTE CONTROL VALVE BOX LIDS SHALL BE HOT STAMPED WITH "RSP", CONTROLLER LETTER AND STATION NUMBER. ALL VALVE BOXES AND LIDS SHALL BE GREEN IN COLOR AND LOOKING.

6 VALVE BOX INSTALLATION
NTS

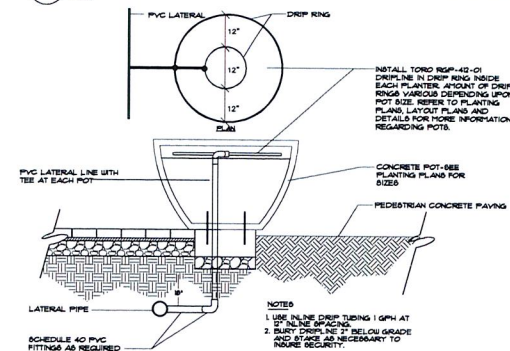


7 1" QUICK COUPLER IN BOX
NTS

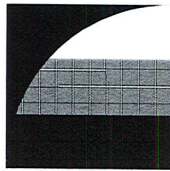


NOTES:
1. BUBBLER TREE TO BE PLACED 1/4 INCH SIDE OF ROOTBALL. REFER TO PLANS FOR NUMBER OF BUBBLERS PER EACH TREE.

8 TREE BUBBLER INSTALLATION
NTS



9 DRIP RING IRRIGATION AT POTS
NTS



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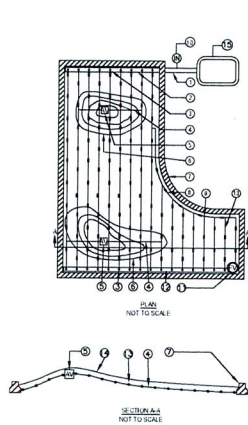
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SCALE:

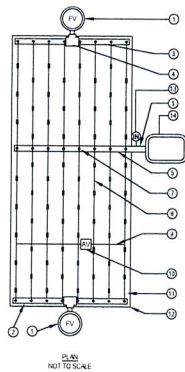
IRRIGATION DETAILS

L2.03



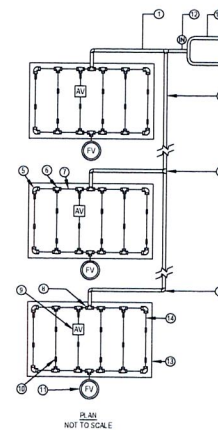
- 1 PVC LATERAL LINE FROM DRIP ZONE KIT.
- 2 PVC SUPPLY MANIFOLD.
- 3 TORO DL2000 MANIFOLD TO ELBOW CONNECTION (TYP).
- 4 AIR/VACUUM RELIEF LATERAL, TORO BLUE STRIPE POLY TUBING CENTERED ON MOUND OR BERM.
- 5 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO TORO BLUE STRIPE POLY TUBING (T-EHP1645) AT EACH HIGH POINT.
- 6 BERM (TYP).
- 7 EDGE OF PLANTER.
- 8 PERIMETER LATERALS 2" TO 4" FROM EDGE.
- 9 TORO DL2000 TEE (FTT16).
- 10 TORO T-DL-MPP OPERATION INDICATOR CONNECTED TO LATERAL LINE INSTALLED AT THE EDGE OF THE LANDSCAPE NEAR THE CONTROL VALVE.
- 11 TORO DL2000 AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
- 12 PVC FLUSH MANIFOLD.
- 13 TORO DL2000 DRIPLINE LATERAL.
- 14 FINISHED GRADE.
- 15 REMOTE CONTROL VALVE.

10 TYPICAL DRIP LAYOUT ON MOUNDS
NTS



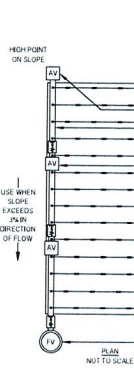
- 1 TORO DL2000 AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
- 2 MANIFOLD AT LOW POINT.
- 3 PVC FLUSH MANIFOLD.
- 4 TORO DL2000 MANIFOLD-TO-ELBOW CONNECTION (TYP).
- 5 PVC LATERAL LINE FROM DRIP ZONE KIT.
- 6 PVC SUPPLY MANIFOLD.
- 7 TORO DL2000 MANIFOLD-TO-TEE CONNECTION.
- 8 TORO DL2000 DRIPLINE LATERAL.
- 9 AIR/VACUUM RELIEF LATERAL, TORO BLUE STRIPE POLY TUBING (T-EHP1645) CENTERED ON MOUND OR BERM.
- 10 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO TORO BLUE STRIPE POLY TUBING AT EACH HIGH POINT.
- 11 PERIMETER LATERALS 2" TO 4" FROM EDGE.
- 12 AREA PERIMETER.
- 13 TORO T-DL-MPP OPERATION INDICATOR CONNECTED TO LATERAL LINE INSTALLED AT THE EDGE OF THE LANDSCAPE NEAR THE CONTROL VALVE.
- 14 REMOTE CONTROL VALVE.

11 TYPICAL CENTER FEED DRIP SYSTEM LAYOUT
NTS



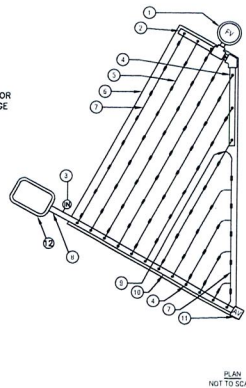
- 1 PVC LATERAL LINE FROM CONTROL VALVE.
- 2 PVC SUPPLY MANIFOLD.
- 3 PVC TEE (5x5x5).
- 4 PVC ELL (5x5).
- 5 TORO LOC-EZE ELL (FEE16).
- 6 TORO LOC-EZE TEE (FTT16).
- 7 TORO BLUE STRIPE POLY TUBING AT SUPPLY AND FLUSH END OF EACH ISLAND.
- 8 TORO LOC-EZE TEE X 1/2" SLIP ADAPTER (FTV16).
- 9 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO TUBING AT HIGH POINT.
- 10 TORO DL2000 DRIPLINE LATERAL.
- 11 TORO DL2000 AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
- 12 TORO T-DL-MPP OPERATION INDICATOR CONNECTED TO LATERAL LINE INSTALLED AT THE EDGE OF THE LANDSCAPE NEAR THE CONTROL VALVE.
- 13 ISLAND PERIMETER.
- 14 PERIMETER LATERALS 2" TO 4" FROM EDGE.
- 15 CONTROL VALVE.

12 TYPICAL ISLAND MANIFOLD
NTS



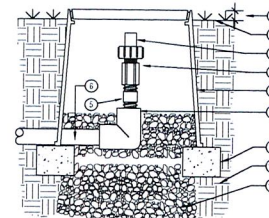
- 1 PVC LATERAL LINE FROM DRIP ZONE KIT.
- 2 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO PVC FLUSH MANIFOLD AT HIGH POINT.
- 3 PVC FLUSH MANIFOLD.
- 4 IN-LINE SPRING CHECK VALVE (KBI OV SERIES OR EQUAL) TO HELP CONTROL LOW-HEAD DRAINAGE (TYP). INSTALL AT 4' ELEVATION INTERVALS.
- 5 TORO T-DL-MPP OPERATION INDICATOR CONNECTED TO LATERAL LINE INSTALLED AT THE EDGE OF THE LANDSCAPE NEAR THE CONTROL VALVE.
- 6 TORO DL2000 DRIPLINE LATERAL.
- 7 PVC SUPPLY MANIFOLD.
- 8 TORO DL2000 MANIFOLD-TO-ELBOW CONNECTION (TYP).
- 9 PERIMETER LATERALS 2" TO 4" FROM EDGE.
- 10 AREA PERIMETER.
- 11 TORO T-DL-MPP OPERATION INDICATOR CONNECTED TO LATERAL LINE INSTALLED AT THE EDGE OF THE LANDSCAPE NEAR THE CONTROL VALVE AND AT END OF DRIPLINE ZONE NEAR FLUSH VALVE.
- 12 TORO DL2000 AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
- 13 REMOTE CONTROL VALVE.

13 TYPICAL DRIP LAYOUT ON SLOPES
NTS



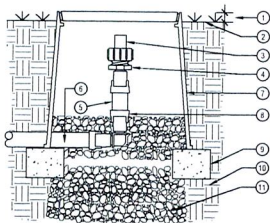
- 1 TORO DL2000 AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
- 2 PVC FLUSH MANIFOLD.
- 3 TORO T-DL-MPP OPERATION INDICATOR CONNECTED TO LATERAL LINE INSTALLED AT THE EDGE OF THE LANDSCAPE NEAR THE CONTROL VALVE.
- 4 TORO DL2000 MANIFOLD-TO-ELBOW CONNECTION (TYP).
- 5 TORO DL2000 DRIPLINE LATERAL.
- 6 AREA PERIMETER.
- 7 PERIMETER LATERALS 2" TO 4" FROM EDGE.
- 8 PVC LATERAL LINE FROM DRIP ZONE KIT.
- 9 TORO LOC-EZE TEE (FTT16).
- 10 PVC SUPPLY MANIFOLD.
- 11 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34) PLUMBED TO SUPPLY MANIFOLD AT HIGH POINT.
- 12 REMOTE CONTROL VALVE.

14 TYPICAL DRIP LAYOUT ON MOUNDS
NTS



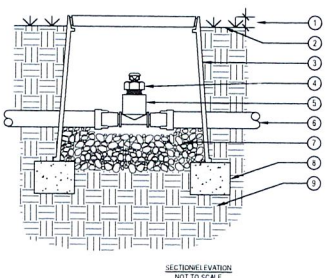
- 1 1" ABOVE FINISH GRADE.
- 2 FINISH GRADE.
- 3 TORO DL2000 FLUSH VALVE (FCH-H-FHT).
- 4 1/2" PVC COUPLING (T&T).
- 5 1/2" SCH 80 PVC NIPPLE (LENGTH AS REQUIRED).
- 6 PVC PIPING.
- 7 8" GREEN LOCKING ROUND PLASTIC VALVE BOX, HEAT BRAND "AV" ON LID IN 1" HIGH CHARACTERS.
- 8 PVC ELL OR TEE WITH 1/2" THREADED OUTLET.
- 9 BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
- 10 NATIVE SOIL PER SPECIFICATIONS.
- 11 PEA GRAVEL SUMP (6" x 18").

15 FLUSH VALVE CONNECTION TO PVC
NTS



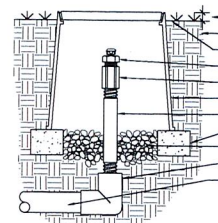
- 1 1" ABOVE FINISH GRADE.
- 2 FINISH GRADE.
- 3 TORO DL2000 FLUSH VALVE (FCH-H-FHT).
- 4 TORO LOC-EZE X 3/4" MHT ADAPTER (FA16).
- 5 TORO POLY TUBING.
- 6 PVC PIPING.
- 7 8" GREEN LOCKING ROUND PLASTIC VALVE BOX, HEAT BRAND "AV" ON LID IN 1" HIGH CHARACTERS.
- 8 TORO LOC-EZE ELL (FEE16).
- 9 BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
- 10 NATIVE SOIL PER SPECIFICATIONS.
- 11 PEA GRAVEL SUMP (6" x 18").

16 FLUSH VALVE CONNECTION TO PE TUBING
NTS



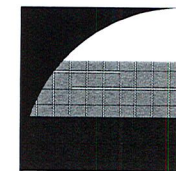
- 1 1" ABOVE FINISH GRADE.
- 2 FINISH GRADE.
- 3 CARSON BLACK 10" LOCKING ROUND PLASTIC VALVE BOX, HEAT BRAND "AV" ON LID IN 1" HIGH CHARACTERS.
- 4 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34).
- 5 TORO LOC-EZE X 1/2" FPT TEE (FTF16).
- 6 TORO POLY TUBING.
- 7 PEA GRAVEL SUMP (6" DEEP).
- 8 BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
- 9 NATIVE SOIL PER SPECIFICATIONS.

17 AIR/VACUUM RELIEF VALVE CONNECTION TO PE TUBING
NTS



- 1 NATIVE SOIL PER SPECIFICATIONS.
- 2 FINISH GRADE.
- 3 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34).
- 4 1/2" PVC COUPLING (T&T).
- 5 8" GREEN LOCKING ROUND PLASTIC VALVE BOX, HEAT BRAND "AV" ON LID IN 1" HIGH CHARACTERS.
- 6 1/2" SCH 80 PVC NIPPLE (LENGTH AS REQUIRED).
- 7 BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
- 8 PEA GRAVEL SUMP (6" DEEP).
- 9 PVC ELL OR TEE WITH 1/2" THREADED OUTLET.
- 10 NATIVE SOIL PER SPECIFICATIONS.
- 11 PVC PIPING.

18 AIR/VACUUM RELIEF VALVE CONNECTION TO PVC
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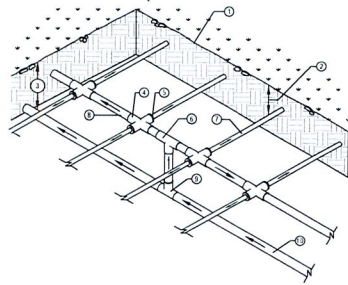


PROJECT NUMBER 5352 JK
DRAWN: HC
CHECK: HC
DATE: 10/06/2017
SCALE:



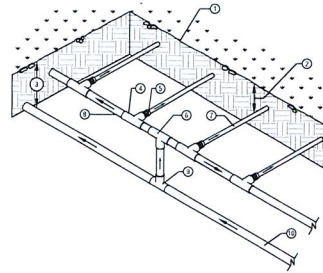
IRRIGATION DETAILS

L2.04



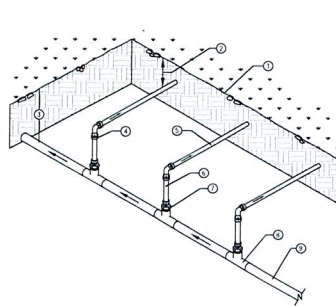
- ① FINISH GRADE.
- ② 4" DEPTH OF TUBING PER LEGEND
- ③ DEPTH OF PVC SUPPLY MANIFOLD PER SPECIFICATIONS.
- ④ PVC CROSS (5x5x5x5).
- ⑤ TORO DL2000 COMPRESSION ADAPTER (CA-710).
- ⑥ PVC TEE (5x5x5).
- ⑦ TORO DL2000 DRIPLINE LATERAL.
- ⑧ PVC SUB-MANIFOLD.
- ⑨ PVC TEE (5x5x5).
- ⑩ PVC SUPPLY MANIFOLD FROM DRIP ZONE KIT.

19 DRIPLINE TO PVC INSTALLATION
NTS



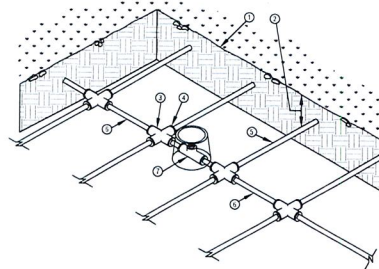
- ① FINISH GRADE.
- ② 4" DEPTH OF TUBING PER LEGEND
- ③ DEPTH OF PVC SUPPLY MANIFOLD PER SPECIFICATIONS.
- ④ PVC TEE (5x5x7).
- ⑤ TORO LOC-EZE X 1/2" MPT ADAPTER (FAM18).
- ⑥ PVC TEE (5x5x5).
- ⑦ TORO DL2000 DRIPLINE LATERAL.
- ⑧ PVC SUB-MANIFOLD.
- ⑨ PVC TEE (5x5x5).
- ⑩ PVC SUPPLY MANIFOLD FROM DRIP ZONE KIT.

20 DRIPLINE TO PVC INSTALLATION
NTS



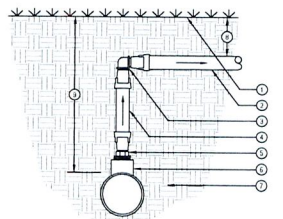
- ① FINISH GRADE.
- ② 4" DEPTH OF TUBING PER LEGEND
- ③ DEPTH OF PVC SUPPLY MANIFOLD PER SPECIFICATIONS.
- ④ TORO LOC-EZE ELL (FEE16).
- ⑤ TORO DL2000 DRIPLINE LATERAL.
- ⑥ TORO BLUE STRIPE POLY TUBING (T-EHP-1645) SUB MANIFOLD LENGTH AS NECESSARY
- ⑦ TORO LOC-EZE X 1/2" MPT ADAPTER (FAM18).
- ⑧ PVC TEE (5x5x7) WITH 1/2" FPT OUTLET.
- ⑨ PVC SUPPLY MANIFOLD FROM DRIP ZONE KIT.

22 DRIPLINE TO PVC HEADER INSTALLATION
NTS



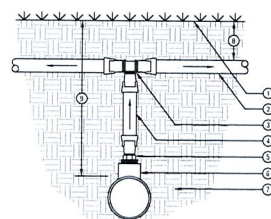
- ① FINISH GRADE.
- ② 4" DEPTH OF TUBING PER LEGEND
- ③ PVC CROSS (5x5x5x5).
- ④ TORO DL2000 COMPRESSION ADAPTER (CA-710).
- ⑤ TORO DL2000 DRIPLINE LATERAL.
- ⑥ TORO BLUE STRIPE POLY TUBING (T-EHP-1645) SUB MANIFOLD LENGTH AS NECESSARY
- ⑦ 8" GREEN ROUND PLASTIC LOCKING VALVE BOX WITH AIR RELIEF VALVE

23 AIR VACUUM RELIEF VALVE LOCATION
NTS



- ① FINISH GRADE.
- ② TORO DL2000 DRIPLINE LATERAL.
- ③ TORO LOC-EZE ELL
- ④ TORO BLUE STRIPE POLY TUBING (T-EHP-1645) LENGTH AS NECESSARY
- ⑤ TORO LOC-EZE X 1/2" MPT ADAPTER (FAM18).
- ⑥ PVC TEE (5x5x7) WITH 1/2" FPT OUTLET.
- ⑦ NATIVE SOIL BACKFILL PER SPECIFICATIONS.
- ⑧ 4" DEPTH OF TUBING PER LEGEND
- ⑨ DEPTH OF PVC SUPPLY LINE PER SPECIFICATIONS.

25 DRIPLINE TO PVC INSTALLATION
NTS



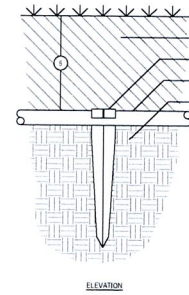
- ① FINISH GRADE.
- ② TORO DL2000 DRIPLINE LATERAL.
- ③ TORO LOC-EZE TEE (FTT16).
- ④ TORO BLUE STRIPE POLY TUBING (T-EHP-1645) LENGTH AS NECESSARY
- ⑤ TORO LOC-EZE X 1/2" MPT ADAPTER (FAM18).
- ⑥ PVC TEE (5x5x7) WITH 1/2" FPT OUTLET.
- ⑦ NATIVE SOIL BACKFILL PER SPECIFICATIONS.
- ⑧ 4" DEPTH OF TUBING PER LEGEND
- ⑨ DEPTH OF PVC SUPPLY LINE PER SPECIFICATIONS.

26 DRIPLINE TO PVC INSTALLATION
NTS

1. ASSEMBLE AND INSTALL FILTER, REMOTES CONTROL VALVE AND PRESSURE REGULATING VALVE ASSEMBLIES ACCORDING TO DETAILS.
2. ASSEMBLE AND INSTALL SUPPLY HEADERS ACCORDING TO DETAIL. TAPE OR PLUG OPEN CONNECTIONS TO PREVENT DEBRIS CONTAMINATION.
3. ASSEMBLE AND INSTALL EXHAUST HEADERS IN ACCORDANCE WITH DETAILS. TAPE OR PLUG ALL OPEN CONNECTIONS TO PREVENT DEBRIS CONTAMINATION.
4. INSTALL DRIP LATERALS. TAPE OR PLUG OPEN ENDS WHILE INSTALLING TO PREVENT DEBRIS CONTAMINATION.
5. INSTALL AIR VACUUM RELIEF VALVES AT HIGHEST POINTS OF THE IRRIGATION ZONES IN ACCORDANCE WITH DETAILS.
6. THOROUGHLY FLUSH DRIPLINE LATERALS AND CONNECT TO EXHAUST HEADERS OR INTERCONNECTING LATERALS WHILE FLUSHING.
7. THOROUGHLY FLUSH EXHAUST HEADERS AND INSTALL LINE FLUSHING VALVES ACCORDING TO DETAILS.
8. THOROUGH FLUSHING OF EACH INSTALLATION SEGMENT IS NECESSARY TO ENSURE THAT NO DEBRIS CONTAMINATION OCCURS.
9. LOCATE AND INSTALL CHECK VALVE(S) AS NEEDED AND AS SHOWN IN INSTALLATION DETAILS.
10. SEE IRRIGATION NOTES, LEGEND/SPECIFICATIONS FOR ADDITIONAL INFORMATION.
11. ALL TREES TO BE PLANTED WITHIN CENTER OF DRIP LINE RUNS
12. BURY DRIPLINE 4" BELOW GRADE AND STAKE EACH 36"-48" O.C. ON CENTER AND AT ALL FITTINGS (TEES, ELLS, ETC) AND AS NECESSARY TO INSURE SECURITY.
13. ALL FITTINGS TO BE USED WILL BE PER MANUFACTURERS SPECIFICATION. COMPRESSION FITTINGS OR APPROVED EQUAL.
14. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE SHALL NOT EXCEED THE MAXIMUM RUN LENGTH. SEE TORO SUBSURFACE IRRIGATION DESIGN GUIDE

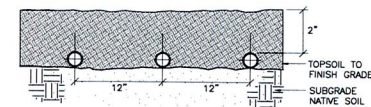
31 SUBSURFACE DRIPLINE INSTALALTION NOTES
NTS

NOTE: LOCATE STAPLES ALONG TUBING AT 36" ON CENTER AND AT ALL FITTINGS (TEES, ELLS, ETC.)

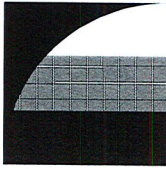


- ① FINISH GRADE.
- ② BACKFILL MIX PER SPECIFICATIONS.
- ③ TORO DL2000 PLASTIC LOCKER STAKE (PPL1500).
- ④ TORO DL2000 DRIPLINE
- ⑤ NATIVE SOIL PER SPECIFICATIONS.
- ⑥ 4" DEPTH OF TUBING PER LEGEND

24 DRIPLINE STAKE BELOW GRADE DETAIL
NTS



27 TYPICAL DRIPLINE SUBGRADE INSTALLATION
NTS



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ISSUE	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	12/06/2017

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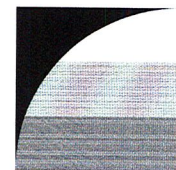


PROJECT NUMBER: 5352
DRAWN: JK
CHECK: KC
DATE: 10/06/2017
SCALE:



IRRIGATION DETAILS

L2.05



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+ ASSOCIATES**
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725.924.8100 www.gates.com

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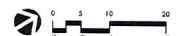
OAKLAND
CA

ISSUE: DESCRIPTION: DATE:
1 PLANNING SUBMITTAL 10/06/2017

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CONSTRUCTION**



PROJECT NUMBER: 5352
DRAWN: JK
CHECK: RC
DATE: 1/8/2017
SCALE: 1" = 10'



PLANTING PLAN

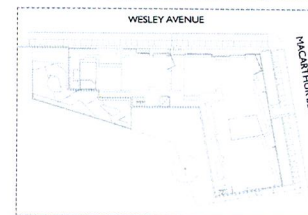
L3.01

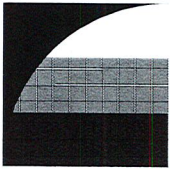


PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
AC 1	ACER PALMATUS 'SANGO KAKU'	CORAL BARK MAPLE	24"BOX	M	36" o.c.
JAC	JACARANDA MIMOSIFOLIA	JACARANDA	36"BOX	M	36" o.c.
LAC	LACINOSTROPHIA X NATCHIEZ	WHITE CRAPE MYRTLE	24"BOX	L	24" o.c.
MAC	MACDONALDIA X SOULANGIANA	SALICER MAGNOLIA	24"BOX	M	36" o.c.
TL	TILIA CORDATA	LITTLELEAF LINDEN	24"BOX	M	36" o.c.
ULM	ULMUS FAIRVOLDIA	CHINESE ELM	5 GAL	L	30" o.c.
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
AK	AGAVE ATTENUATA 'KARA'S STRIPES'	AGAVE	5 GAL	M	36" o.c.
AB	AGAVE X 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL	L	24" o.c.
AN	ANGONANTHUS X 'BUSH GOLD'	KANGAROO PAW	5 GAL	M	24" o.c.
AM	ASPARAGUS MEYERI	FOXTAIL FERD	5 GAL	M	36" o.c.
BB	BUCIDIOSIA DAVIDII 'BLUE CHIP'	DWARF BUTTERFLY BUSH	5 GAL	M	24" o.c.
BPH	BULBUS RHICOPHYLLA JAPONICA 'GREEN BEAUTY'	GREEN BEAUTY BOXWOOD	5 GAL	M	24" o.c.
CO	CAREX OSHIMENDS 'EVERILLO'	EVERILLO JAPANESE SEDGE	5 GAL	M	18" o.c.
CH	CHONDRITALLUM ELEPHANTINUM	LARGE GATE BUSH	1 GAL	L	48" o.c.
CP	COLEONEMA FULCHRUM	PINK BREATH OF HEAVEN	5 GAL	M	48" o.c.
CS	COLEONEMA FULCHRUM 'SUNSET GOLD'	GOLDEN BREATH OF HEAVEN	5 GAL	M	36" o.c.
CO 2	COLEONEMA OLIVARIA 'COULBAN RIVER'	COULBAN RIVER KICK FUCHSIA	5 GAL	L	36" o.c.
CG	COTINUS COGKYGORA 'GOLDEN SPIRIT'	SPOKE TREE	5 GAL	L	72" o.c.
LG	LEUCODENDRON X 'SABAR GOLD STRIKE'	YELLOW CORNERBUSH	5 GAL	L	36" o.c.
LC	LEYMUS CONDENSATUS 'CANYON PRINCE'	NATIVE BLUE RYE	5 GAL	L	60" o.c.
LUN	LIGUSTRUM SINENSE 'SUNSHINE'	SUNSHINE LIGUSTRUM	5 GAL	M	42" o.c.
LIZ	LOPHANDRA LONGIFOLIA 'BREEZE'	DWARF PINE BUSH	2 GAL	L	36" o.c.
MC	MAHONIA EURYBRACTEATA 'SOFT CARESS'	MAHONIA SOFT CARESS	1 GAL	L	30" o.c.
VINES/SPALLER	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
FP	FICUS PUMILA	CREEPING FIG	15 GAL	M	12" o.c.
JA	JASMINUM POLYANTHUM	PINK JASMINE	15 GAL	M	12" o.c.
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	SPACING
PP	PHYOPORUM PARVIFOLIUM	TRAILING PHYOPORUM	1 GAL	L	72" o.c.
RQ	RHOCHAMNUS OFFICINALIS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	1 GAL	L	48" o.c.
SH	SENECIO MANDRALISCAE 'BLUE CHALK STICKS'	SENECIO	1 GAL	L	18" o.c.

KEY MAP





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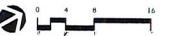
601
MACARTHUR
BLVD.
 OAKLAND
 CA

ISSUE DESCRIPTION DATE
 1 PLANNING SUBMITTAL 1/30/2017

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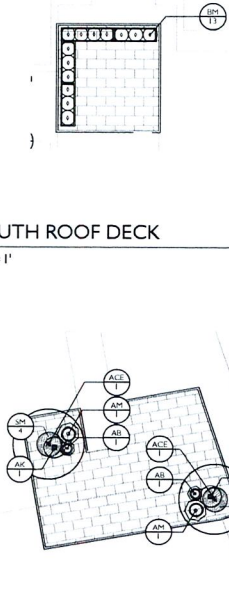
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 CHECK: RC
 DATE: 1/30/2017
 SCALE: 1/8" = 1'



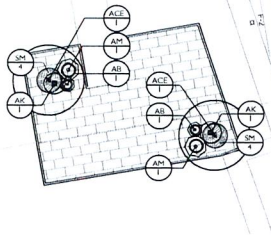
PLANTING PLAN

L3.02

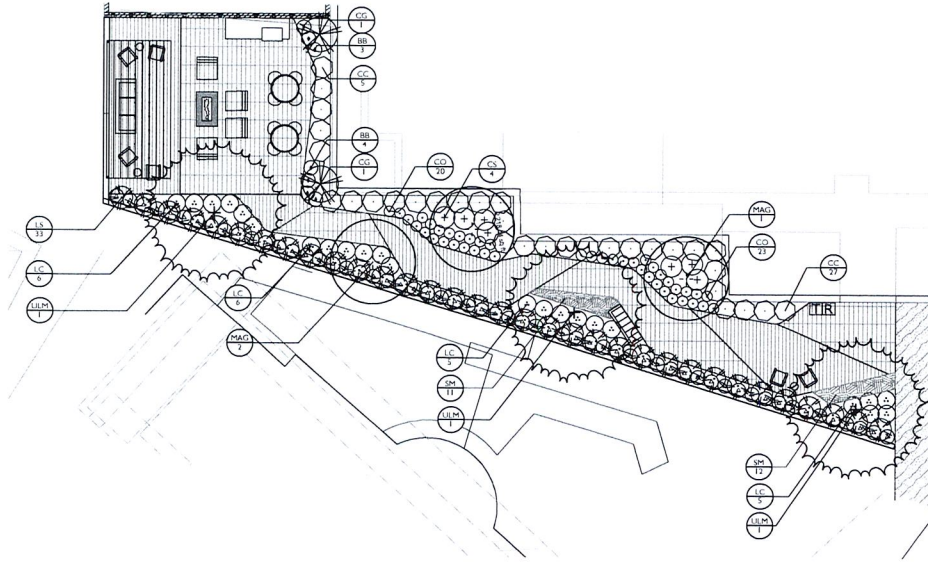
3 SOUTH ROOF DECK
 1/8" = 1'



2 NORTH ROOF DECK
 1/8" = 1'



1 4TH FLOOR COURTYARD ENLARGEMENT (ON GRADE)
 1/8" = 1'



PLANT SCHEDULE

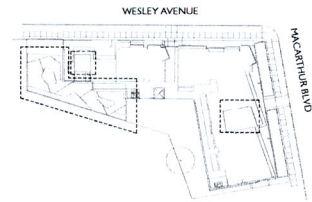
TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
ACE	ACER PALMATE 'SANGO KAKU'	COBAL BARK MAPLE	24"BOX	M
JAC	JACARANDA MIMULSI-LILIA	JACARANDA	36"BOX	M
JAG	JACONTECHMA X 'NACHREZ'	WHITE GAPE HYDRATEL	24"BOX	L
MAG	MAGNOLIA X SCULIANGANA	SALICER MAGNOLIA	24"BOX	M
TL	TELA CORDATA	LITTLE LEAF LINDEN	24"BOX	M
ULM	ULMUS PARVIFOLIA	CHINESE ELM	5 GAL	L

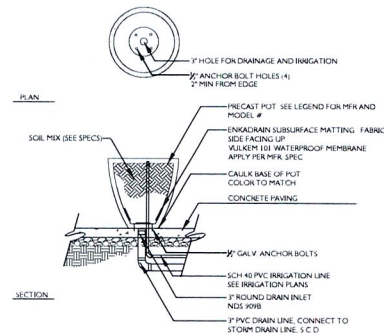
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
AK	AGAVE ATTENUATA 'KARA'S STRIPES'	AGAVE	3 GAL	M	30" o c
AN	AGAVE X 'BLUE GLOW'	BLUE GLOW AGAVE	3 GAL	L	24" o c
AN	ANIGONAN THOS 'RUSH GOLD'	KANGAROO PAW	3 GAL	L	24" o c
AM	ASPARAGUS MEYERI	FOXTAIL FERN	3 GAL	M	36" o c
BB	BUXUS 'SANDWICH' 'BLUE CHIP'	DWARF BUTTERFLY BUSH	3 GAL	M	24" o c
BP	BUXUS MICROPHYLLA JAPONICA 'GREEN BEAUTY'	GREEN BEAUTY BOXWOOD	3 GAL	M	24" o c
CD	CAREX OSHPENSIS 'EVERELLO'	EVERELLO JAPANESE SEDGE	3 GAL	M	18" o c
CE	CHONENOPHETALUM ELEPHANTINUM	LARGE CARE RUSH	1 GAL	L	48" o c
CP	COLEONEMA PULCHRUM	PINK BREATH OF HEAVEN	3 GAL	M	48" o c
JCS	COLEONEMA PULCHRUM 'SUNSET GOLD'	GOLDEN BREATH OF HEAVEN	3 GAL	M	36" o c
CC	CORREA GLABRA 'COLOBAN RIVER'	COLOBAN RIVER ROCK FUCHSIA	3 GAL	L	36" o c
CG	COTINUS COGONIA 'GOLDEN SPIRIT'	SMOKE TREE	3 GAL	L	72" o c
LO	LEUCODENDRON X 'SAHAR GOLD STRIKE'	YELLOW CORNERUSH	3 GAL	L	60" o c
LC	LEYMUS CONDENSATUS 'CANTON PRINCE'	NATIVE BLUE RYE	3 GAL	L	30" o c
SP	LEGUSTRUM SINENSE 'SUNSHINE'	SUNSHINE LEGUSTRUM	3 GAL	M	42" o c
LL	LOMANORA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	3 GAL	L	36" o c
MC	MAHONIA EURYBRACTEATA 'SOFT CARESS'	MAHONIA SOFT CARESS	1 GAL	L	30" o c

VINES/SPALLER	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
FP	FICUS PUNICA	CREEPING FIG	15 GAL	M	12" o c
JA	JASMINUM POLYANTHUM	PINK JASMINE	15 GAL	M	12" o c

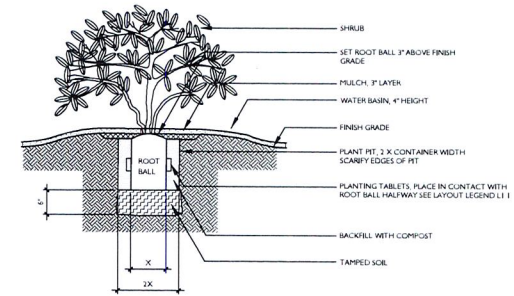
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	SPACING
MP	MYOPORUM PARVIFOLIUM	TRAILING MYOPORUM	1 GAL	L	72" o c
RC	RHOISMANthus OFFICINALIS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	1 GAL	L	48" o c
SM	SENECIO MANDRAUCAE 'BLUE CHALK STICKS'	SENECIO	1 GAL	L	18" o c

KEY MAP

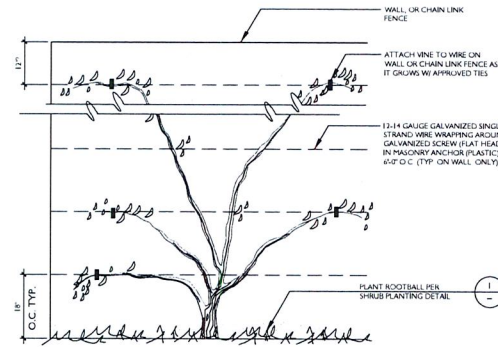




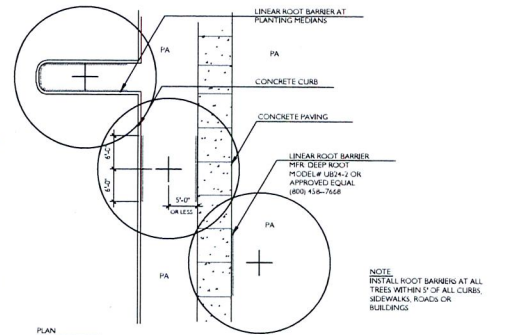
6 POT INSTALLATION
SCALE: 1/2" = 1'-0"



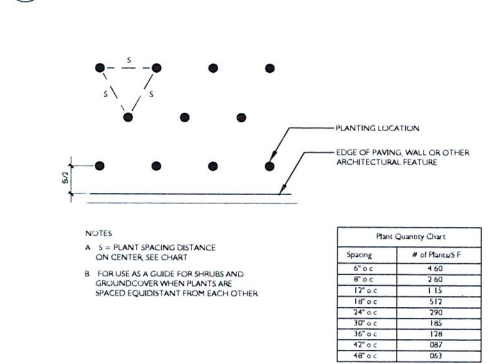
3 SHRUB PLANTING
SCALE: N.T.S.



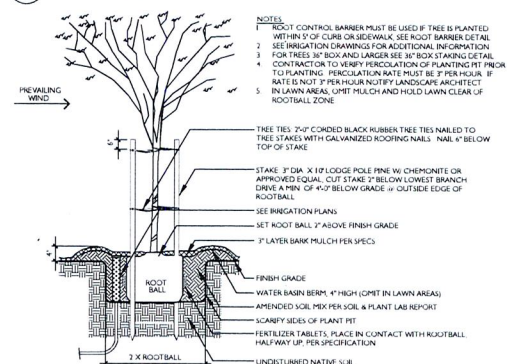
5 VINE PLANTING
SCALE: N.T.S.



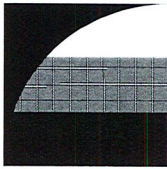
3 LINEAR ROOT BARRIER
SCALE: 1" = 10'-0"



4 PLANT SPACING
SCALE: N.T.S.



1 TREE STAKING DETAIL
SCALE: 3/8" = 1'-0"



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818.755.5128 • FAX 818.755.5129

601 MACARTHUR BLVD.

OAKLAND CA

ISSUE: PLANNING SUBMITTAL
DESCRIPTION: DATE: 10/06/2017

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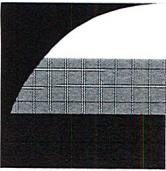


PROJECT NUMBER: 5152
DRAWN: JK
CHECK: HC
DATE: 10/06/2017
SCALE:



L4.01

14174 P.04.MANUAL.DWG 11/14/17 PM 1:14:33
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 14174 P.04.MANUAL.DWG 11/14/17 PM 1:14:33



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ISSUE: 1 DESCRIPTION: PLANNING SUBMITTAL DATE: 10/06/2017

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PROJECT NUMBER: 5192
DRAWN: JK
CHECK: KC
DATE: 10/06/2017
SCALE:



LIGHTING SPECS

L4.02

DELTA STAR™
CATALOG NUMBER LOGIC

DELTA STAR™
SPECIFICATIONS

LAMP & DRIVER DATA
e64, e65, e66, e74

BEAM SPREAD DATA

3 UPLIGHT
SCALE 1" = 1"

tivoli

Standard Spacing Distances & Max Rise Chart

Spacing	1' RISE	1.5' RISE	2' RISE	2.5' RISE	3' RISE
4'-0"	1.0	1.5	2.0	2.5	3.0
5'-0"	1.2	1.8	2.4	3.0	3.6
6'-0"	1.5	2.2	3.0	3.7	4.5
7'-0"	1.8	2.7	3.6	4.5	5.4
8'-0"	2.1	3.2	4.2	5.1	6.0
9'-0"	2.4	3.6	4.8	5.8	6.8
10'-0"	2.7	4.0	5.4	6.4	7.5

1 PEDESTRIAN LIGHT
SCALE 1" = 1"

Technical Information:

- Spectrocolor Select
- Adjustable mounting
- Fixed Ball Mount
- Quantity: 100
- Color: White
- Material: Steel
- Finish: Powder Coat
- Dimensions: 10" H x 10" W
- Weight: 10 lbs

Recommended Pole Heights:

Mount	Height (feet)
Ball	8.0
Ball	8.5
Ball	9.0
Ball	9.5
Ball	10.0