

<b>Location:</b>	10 Hegenberger Court
<b>Assessors Parcel Numbers:</b>	044 -5078-004-03
<b>Proposal:</b>	To establish an approximately 155,586 square-foot storage facility with approximately 2,000 square-feet of office space on a 1.87 acre site (Self-Storage activity on a lot of greater than 1 acre in the CR-1 Zone)
<b>Applicant / Owner:</b>	Daniel Elefante –Coliseum Storage Direct
<b>Planning Permits Required:</b>	Major Conditional Use Permit for Self Service storage activity (on a +1 acre site),and Regular Design Review for new construction
<b>Case File Number</b>	PLN16188
<b>General Plan:</b>	Regional Commercial
<b>Zoning:</b>	CR-1, Regional Commercial -1 Zone
<b>Environmental Determination:</b>	Exempt, Section 15332, State CEQA Guidelines, In-fill Development Project Exempt, Section 15183 of the State CEQA Guidelines: Projects consistent with a community plan, general plan or zoning
<b>Historic Status:</b>	commercial industrial lot with existing small structure(s); No Rating
<b>Service Delivery District:</b>	4
<b>City Council District:</b>	7
<b>Finality of Decision</b>	Appealable to the City Council within 10 days
<b>Date Filed:</b>	June 15, 2016
<b>Staff recommendation:</b>	Decision based on staff report
<b>For further information:</b>	Contact case planner <b>Moe Hackett, 238-3973</b> or <a href="mailto:mhackett@oaklandnet.com">mhackett@oaklandnet.com</a>

**SUMMARY**

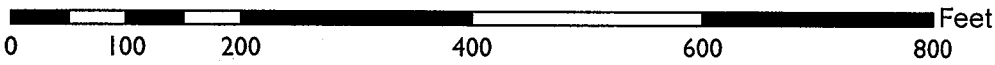
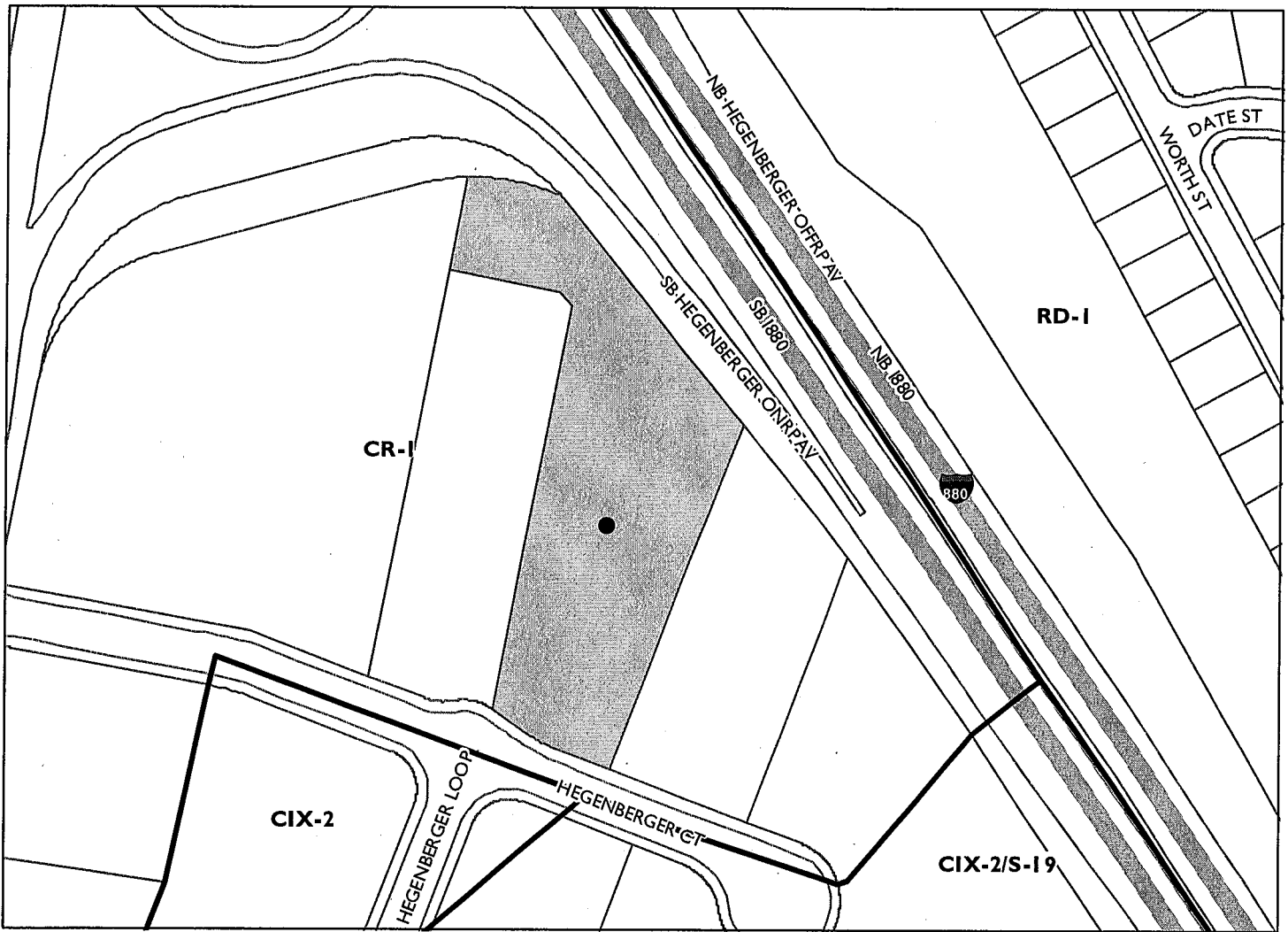
The proposal is the construction of a 4-story 155,589 square-foot self-storage facility with 2,000 square feet of administrative office space and associated facilities. The site is located on a 1.87 acre lot. The site would operate on a 24-hour business cycle with public access allowed between the hours of 6:00 am to 5:00 pm Mondays through Fridays, and would employ 4 full time employees.

Staff recommends approval of the project subject to the plans and attached conditions.

**PROJECT DESCRIPTION**

The applicant proposes to construct and operate a four-story, 155,586 square-foot, self-storage facility. The site would have one entrance, from Hegenberger Court. The applicant proposed to construct a 4-story 155,00 plus square foot self-storage facility which is designed to appear much as an office building including glass window like siding and metal cladding. The facility will have a single access point on Hegenberger Court. The facility would be minimally staffed and fenced off at the property perimeters.

# CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN16188  
Applicant: Daniel Elefante — Coliseum Storage Direct  
Address: 10 Hegenberger Court  
Zone: CR-I

**PROPERTY DESCRIPTION**

The site is a mostly vacant, paved lot of 81,368 square feet on the north side of Hegenberger Court (approximately 350 feet from Hegenberger Road). The site is currently used primarily as an outdoor automotive fleet storage facility and is located within a commercial / industrial environment.

**BUILDING DESIGN**

The north and south sides of the building, which face the freeway and Hegenberger Court, respectively, will be the most visible building facades. These facades contain a significant amount of glazing, which will give the facility the appearance of an office building.

The north elevation is proposed to be articulated in a “zig-zag” pattern to reduce the mass of the building. A combination of glazing and metal panels will emphasize this pattern and provide visual interest for travelers on the freeway. Trees will be installed behind the building to improve the project’s appearance from the freeway.

The front façade contains a glazed 52-foot wide building element with a parapet on the roof and a rounded entrance feature. As conditioned, landscaping will be located in front of the building and surrounding the front parking area.

A parapet and a storefront scaled lower level will provide the building with traditional vertical proportions.

**GENERAL PLAN ANALYSIS**

The proposal is consistent with the General Plan for the following reasons.

The subject property is located within the Regional Commercial General Plan Land Use classification in the Land Use and Transportation Element of the General Plan (LUTE). This classification is intended to maintain, support, and create areas of the city to serve as region-drawing activities. These areas are generally located in close proximity to the I-880 freeway corridor and the seaport, airport, and Coliseum areas.

In the Coliseum area, Hegenberger Road is the focus of the LUTE’s intention to attract region drawing activities, such as hotels, entertainment venues, large office buildings, and large scale retail, while areas off Hegenberger Road, including Hegenberger Court, contain a mix of heavy commercial and light industrial activities such as that proposed.

The proposal is consistent with Regional Commercial Objective and Policy (I/C3.3 and I/C3.6) by promoting the expansion of private business services within Oakland in a location of similar clustered activities.

**ZONING ANALYSIS**

The subject property is located within the Regional Commercial – 1 (CR-1) Zone. The intent of the CR – 1 Zone is to support, and create areas of the city to serve as region-drawing activities. This zone allows for self- or mini-storage commercial activities with the approval of a Conditional Use Permit when located more than 300 feet from Hegenberger Road. In this case, the Conditional Use Permit is Major, requiring review by the Planning Commission, because the lot area is greater than one acre. The

proposal also requires Major Regular Design Review for the construction of a new facility that is over 25,000 square-feet in floor area.

The building has a ten-foot setback, as required by the CR-1 Zone. The site has a height limit of 120 feet and a maximum floor area ratio of 4.0. At 60 feet and 1.91, respectively, the proposal meets these requirements.

#### **ENVIRONMENTAL DETERMINATION**

For purposes of environmental review under the California Environmental Quality Act (CEQA), the project meets the criteria for a Categorical Exemption under Section 15332 of the CEQA Guidelines (In-fill Exemption Projects), and Section 15183 of the CEQA Guidelines (conformity to a community plan, general plan or zoning).

With regard to CEQA Section 15332, the project is consistent with the LUTE (see General Plan Analysis, above) is located within the city limits on a site less than five acres that is served by existing infrastructure. Further, it is not located in a habitat for endangered or threatened species. Self-storage operations do not attract a significant number of traffic trips or perform activities that create pollutants or noise.

With regarding to Section 15183, the proposal conforms to the zoning of the site and the LUTE (see Zoning Analysis and General Plan Analysis section, above).

#### **KEY ISSUES AND IMPACTS**

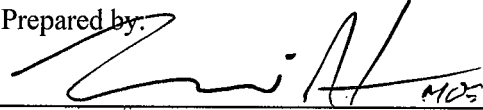
Staff does not see major issues regarding the proposal. The attractiveness of the building is appropriate for its location in a light industrial neighborhood. The most visual facades have been successfully massed through material changes and articulations as well as tree plantings. As conditioned, landscaping will improve the appearance of the site from the freeway and Hegenberger Court.



**RECOMMENDATIONS:**

1. Affirm staff's environmental determination.
2. Approve the Major Conditional Use Permit and Design Review subject to the attached Findings and Conditions of Approval.

Prepared by:



**MOE HACKETT**  
Planner II

Reviewed by:



**SCOTT MILLER**  
Zoning Manager

Approved by



**DARIN RANELLETTI, INTERIM DIRECTOR**  
Department of Planning and Building

**ATTACHMENTS:**

- A. Findings
- B. Conditions of Approval
- C. Project Plans

**ATTACHMENT A**

**FINDINGS FOR APPROVAL**

This proposal meets the required findings under Sections 17.134.050 General Use Permit Criteria, and Section 17.136.050(B) Non-Residential Design Review Findings, as set forth below. Required findings are shown in **bold type**; explanations as to why these findings can be made are in normal type.

**Section 17.134.050 (General Use Permit Criteria):**

- A. That the location, size, design, and operating characteristics of the proposed development will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to harmony in scale, bulk, coverage, and density; to the availability of civic facilities and utilities; to harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity of surrounding streets; and to any other relevant impact of the development.**

This proposal will not be prominently visible from Hegenberger Road, the critical commercial corridor in the area. The surrounding streets have ample capacity to absorb the light traffic generated by a mini-storage facility. The bulk of the front and rear facades will be broken up through a combination of material change and building articulation.

- B. That the location, design, and site planning of the proposed development will provide a convenient and functional living, working, shopping, or civic environment, and will be as attractive as the nature of the use and its location and setting warrant.**

The facility will have easy regional access to the I-880 freeway and abundant vehicle parking facilities and maneuvering areas. The site and floor plans are designed for convenient use of mini-storage units for customers.

- C. That the proposed development will enhance the successful operation of the surrounding area in its basic community functions, or will provide an essential service to the community or region.**

The proposed activity will allow for a desired level of low impact industrial activity within a light industrial context. Self-storage is an essential service to the community and the region by allowing residents and business to store their possessions at off-site locations.

- D. That the proposal conforms to all applicable design review criteria set forth in the design review procedure at Section 17.136.050.**

The proposal conforms to the required design review criteria, below.

- E. That the proposal conforms in all significant respects with the Oakland Comprehensive Plan and with any other applicable plan or development control map which has been adopted by the City Council.**

See General Plan Analysis section, above.

**REGULAR DESIGN REVIEW CRITERIA FOR NONRESIDENTIAL FACILITIES AND SIGNS (OMC SEC. 17.136.050(B))**

- A. That the proposal will help achieve or maintain a group of facilities which are well related to one another and which, when taken together, will result in a well-composed design, with consideration given to site, landscape, bulk, height, arrangement, texture, materials, colors, and appurtenances; the relation of these factors to other facilities in the vicinity; and the relation of the proposal to the total setting as seen from key points in the surrounding area. Only elements of design which have some significant relationship to outside appearance shall be considered;**

The north and south sides of the building, which face the freeway and Hegenberger Court, respectively, will be the most visible building facades. These facades contain a significant amount of glazing, which will give the facility the appearance of office buildings in the neighborhood.

The north elevation is proposed to be articulated in a “zig-zag” pattern to reduce the mass of the building facing the freeway. Trees and a combination of glazing and metal panels will emphasize this pattern and further provide visual interest from the freeway.

The front façade contains a glazed 52-foot wide building element with a parapet on the roof and a rounded entrance feature. As conditioned, landscaping will be located in front of the building and surrounding the front parking area, further improving the appearance of the site.

A parapet and a storefront scaled lower level will provide the building with traditional vertical proportions.

- B. That the proposed design will be of a quality and character which harmonizes with, and serves to protect the value of, private and public investments in the area;**

The building will have the appearance of office buildings in the neighborhood and be massed to reduce its scale. This development will replace an underutilized lot with a modern commercial structure.

- C. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.**

See the General Plan Analysis section, above.

**ENVIRONMENTAL DETERMINATION**

For purposes of environmental review under the California Environmental Quality Act (CEQA), the project meets the criteria for a Categorical Exemption under Section 15332 of the CEQA Guidelines. The criteria for a Categorical Exemption under Section 15332 of the CEQA guidelines are as follows:

- 1) **The project is consistent with the applicable general plan designation and all general plan policies as well as with applicable zoning designation and regulations.**

***FINDINGS***

See the General Plan Analysis Zoning Analysis sections, above.

- 2) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.**

The development site is located within the Oakland City limits, is less than five acres and is completely surrounded by commercial, transportation, or industrial uses.

- 3) The project site has no value as habitat for endangered, rare, or threatened species.**

The project site is undeveloped as a commercial industrial lot with other such commercial industrial and commercial activities (open facilities and enclosed alike) and does not contain any habitat for endangered, rare, or threatened species.

- 4) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.**

The proposal is within the capacity of the surrounding area to accommodate vehicle access, and levels of traffic trip generation. Self-storage facilities generate minimal trip generation. With implementation of standard and specific conditions of approval related to construction activities and ongoing project activities, the project will not result in any significant impacts on, noise, air quality, or water quality.

- 5) The site can be adequately served by all required utilities and public services.**

All required utilities are readily accessible on the surrounding streets. There are ample fire and police services in the area.

**ATTACHMENT B****CONDITIONS OF APPROVAL****STANDARD CONDITIONS:**

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**1. Approved Use**

The project shall be constructed and operated in accordance with the authorized use as described in the approved application materials, and the approved plans **received August 29, 2016**, as amended by the following conditions of approval and mitigation measures, if applicable (“Conditions of Approval” or “Conditions”).

**2. Effective Date, Expiration, Extensions and Extinguishment**

This Approval shall become effective immediately, unless the Approval is appealable, in which case the Approval shall become effective in ten calendar days unless an appeal is filed. Unless a different termination date is prescribed, this Approval shall expire **two calendar years** from the Approval date, or from the date of the final decision in the event of an appeal, unless within such period all necessary permits for construction or alteration have been issued, or the authorized activities have commenced in the case of a permit not involving construction or alteration. Upon written request and payment of appropriate fees submitted no later than the expiration date of this Approval, the Director of City Planning or designee may grant a one-year extension of this date, with additional extensions subject to approval by the approving body. Expiration of any necessary building permit or other construction-related permit for this project may invalidate this Approval if said Approval has also expired. If litigation is filed challenging this Approval, or its implementation, then the time period stated above for obtaining necessary permits for construction or alteration and/or commencement of authorized activities is automatically extended for the duration of the litigation.

**3. Compliance with Other Requirements**

The project applicant shall comply with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to those imposed by the City’s Bureau of Building, Fire Marshal, and Public Works Department. Compliance with other applicable requirements may require changes to the approved use and/or plans. These changes shall be processed in accordance with the procedures contained in Condition #4.

**4. Minor and Major Changes**

- a. Minor changes to the approved project, plans, Conditions, facilities, or use may be approved administratively by the Director of City Planning such as siding materials (including glazing), landscaping and site configuration (including parking and

***CONDITIONS OF APPROVAL***

maneuvering requirements), impact fee requirements, and signage design / master sign program.

- b. Major changes to the approved project, plans, Conditions, facilities, or use shall be reviewed by the Director of City Planning to determine whether such changes require submittal and approval of a revision to the Approval by the original approving body or a new independent permit/approval. Major revisions shall be reviewed in accordance with the procedures required for the original permit/approval. A new independent permit/approval shall be reviewed in accordance with the procedures required for the new permit/approval.

**5. Compliance with Conditions of Approval**

- a. The project applicant and property owner, including successors, (collectively referred to hereafter as the “project applicant” or “applicant”) shall be responsible for compliance with all the Conditions of Approval and any recommendations contained in any submitted and approved technical report at his/her sole cost and expense, subject to review and approval by the City of Oakland.
- b. The City of Oakland reserves the right at any time during construction to require certification by a licensed professional at the project applicant’s expense that the as-built project conforms to all applicable requirements, including but not limited to, approved maximum heights and minimum setbacks. Failure to construct the project in accordance with the Approval may result in remedial reconstruction, permit revocation, permit modification, stop work, permit suspension, or other corrective action.
- c. Violation of any term, Condition, or project description relating to the Approval is unlawful, prohibited, and a violation of the Oakland Municipal Code. The City of Oakland reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the Approval or alter these Conditions if it is found that there is violation of any of the Conditions or the provisions of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions. The project applicant shall be responsible for paying fees in accordance with the City’s Master Fee Schedule for inspections conducted by the City or a City-designated third-party to investigate alleged violations of the Approval or Conditions.

**6. Signed Copy of the Approval/Conditions**

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times.

**7. Blight/Nuisances**

The project site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within 60 days of approval, unless an earlier date is specified elsewhere.

**8. Indemnification**

- a. To the maximum extent permitted by law, the project applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the Oakland City Council, the Oakland Redevelopment Successor Agency, the Oakland City Planning Commission, and their respective agents, officers, employees, and volunteers (hereafter collectively called "City") from any liability, damages, claim, judgment, loss (direct or indirect), action, causes of action, or proceeding (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "Action") against the City to attack, set aside, void or annul this Approval or implementation of this Approval. The City may elect, in its sole discretion, to participate in the defense of said Action and the project applicant shall reimburse the City for its reasonable legal costs and attorneys' fees.
- b. Within ten (10) calendar days of the filing of any Action as specified in subsection (a) above, the project applicant shall execute a Joint Defense Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment, or invalidation of the Approval. Failure to timely execute the Letter of Agreement does not relieve the project applicant of any of the obligations contained in this Condition or other requirements or Conditions of Approval that may be imposed by the City.

**9. Severability**

The Approval would not have been granted but for the applicability and validity of each and every one of the specified Conditions, and if one or more of such Conditions is found to be invalid by a court of competent jurisdiction this Approval would not have been granted without requiring other valid Conditions consistent with achieving the same purpose and intent of such Approval.

**10. Special Inspector/Inspections, Independent Technical Review, Project Coordination and Monitoring**

The project applicant may be required to cover the full costs of independent third-party technical review and City monitoring and inspection, including without limitation, special inspector(s)/inspection(s) during times of extensive or specialized plan-check review or

construction, and inspections of potential violations of the Conditions of Approval. The project applicant shall establish a deposit with the Bureau of Building, if directed by the Building Official, Director of City Planning, or designee, prior to the issuance of a construction-related permit and on an ongoing as-needed basis.

**11. Public Improvements**

The project applicant shall obtain all necessary permits/approvals, such as encroachment permits, obstruction permits, curb/gutter/sidewalk permits, and public improvement (“p-job”) permits from the City for work in the public right-of-way, including but not limited to, streets, curbs, gutters, sidewalks, utilities, and fire hydrants. Prior to any work in the public right-of-way, the applicant shall submit plans for review and approval by the Bureau of Planning, the Bureau of Building, and other City departments as required. Public improvements shall be designed and installed to the satisfaction of the City

**12. Compliance Matrix**

The project applicant shall submit a Compliance Matrix, in both written and electronic form, for review and approval by the Bureau of Planning and the Bureau of Building that lists each Condition of Approval (including each mitigation measure if applicable) in a sortable spreadsheet. The Compliance Matrix shall contain, at a minimum, each required Condition of Approval, when compliance with the Condition is required, and the status of compliance with each Condition. For multi-phased projects, the Compliance Matrix shall indicate which Condition applies to each phase. The project applicant shall submit the initial Compliance Matrix prior to the issuance of the first construction-related permit and shall submit an updated matrix upon request by the City.

**13. Construction Management Plan**

Prior to the issuance of the first construction-related permit, the project applicant and his/her general contractor shall submit a Construction Management Plan (CMP) for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments such as the Fire Department and the Public Works Department as directed. The CMP shall contain measures to minimize potential construction impacts including measures to comply with all construction-related Conditions of Approval (and mitigation measures if applicable) such as dust control, construction emissions, hazardous materials, construction days/hours, construction traffic control, waste reduction and recycling, stormwater pollution prevention, noise control, complaint management, and cultural resource management (see applicable Conditions below). The CMP shall provide project-specific information including descriptive procedures, approval documentation, and drawings (such as a site logistics plan, fire safety plan, construction phasing plan, proposed truck routes, traffic control plan, complaint management plan, construction worker parking plan, and litter/debris clean-up plan) that specify how potential construction impacts will be minimized and how each construction-related requirement will be satisfied throughout construction of the project.



14. **Graffiti Control**

Requirement:

- a. During construction and operation of the project, the project applicant shall incorporate best management practices reasonably related to the control of graffiti and/or the mitigation of the impacts of graffiti. Such best management practices may include, without limitation:
  - i. Installation and maintenance of landscaping to discourage defacement of and/or protect likely graffiti-attracting surfaces.
  - ii. Installation and maintenance of lighting to protect likely graffiti-attracting surfaces.
  - iii. Use of paint with anti-graffiti coating.
  - iv. Incorporation of architectural or design elements or features to discourage graffiti defacement in accordance with the principles of Crime Prevention Through Environmental Design (CPTED).
  - v. Other practices approved by the City to deter, protect, or reduce the potential for graffiti defacement.
- b. The project applicant shall remove graffiti by appropriate means within seventy-two (72) hours. Appropriate means include the following:
  - i. Removal through scrubbing, washing, sanding, and/or scraping (or similar method) without damaging the surface and without discharging wash water or cleaning detergents into the City storm drain system.
  - ii. Covering with new paint to match the color of the surrounding surface.
  - iii. Replacing with new surfacing (with City permits if required).

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

15. **Landscape Plan**

a. ***Landscape Plan Required***

Requirement: The project applicant shall submit a final Landscape Plan for City review and approval that is consistent with the approved Landscape Plan. The Landscape Plan shall be included with the set of drawings submitted for the construction-related permit and shall comply with the landscape requirements of chapter 17.124 of the Planning Code.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: N/A

b. ***Landscape Installation***

Requirement: The project applicant shall implement the approved Landscape Plan unless a bond, cash deposit, letter of credit, or other equivalent instrument acceptable to the Director of City Planning, is provided. The financial instrument shall equal the greater of \$2,500 or the estimated cost of implementing the Landscape Plan based on a licensed contractor's bid.

When Required: Prior to building permit final

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

**c. *Landscape Maintenance***

Requirement: All required planting shall be permanently maintained in good growing condition and, whenever necessary, replaced with new plant materials to ensure continued compliance with applicable landscaping requirements. The property owner shall be responsible for maintaining planting in adjacent public rights-of-way. All required fences, walls, and irrigation systems shall be permanently maintained in good condition and, whenever necessary, repaired or replaced.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**16. Lighting**

Requirement: Proposed new exterior lighting fixtures shall be adequately shielded to a point below the light bulb and reflector to prevent unnecessary glare onto adjacent properties.

When Required: Prior to building permit final

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**17. Construction-Related Air Pollution Controls (Dust and Equipment Emissions)**

Requirement: The project applicant shall implement all of the following applicable air pollution control measures during construction of the project:

- a. Water all exposed surfaces of active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever feasible.
- b. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e., the minimum required space between the top of the load and the top of the trailer).
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.

- d. Pave all roadways, driveways, sidewalks, etc. within one month of site grading or as soon as feasible. In addition, building pads should be laid within one month of grading or as soon as feasible unless seeding or soil binders are used.
- e. Enclose, cover, water twice daily, or apply (non-toxic) soil stabilizers to exposed stockpiles (dirt, sand, etc.).
- f. Limit vehicle speeds on unpaved roads to 15 miles per hour.
- g. Idling times on all diesel-fueled commercial vehicles over 10,000 lbs. shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes (as required by the California airborne toxics control measure Title 13, Section 2485, of the California Code of Regulations). Clear signage to this effect shall be provided for construction workers at all access points.
- h. Idling times on all diesel-fueled off-road vehicles over 25 horsepower shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes and fleet operators must develop a written policy as required by Title 23, Section 2449, of the California Code of Regulations (“California Air Resources Board Off-Road Diesel Regulations”).
- i. All construction equipment shall be maintained and properly tuned in accordance with the manufacturer’s specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- j. Portable equipment shall be powered by electricity if available. If electricity is not available, propane or natural gas shall be used if feasible. Diesel engines shall only be used if electricity is not available and it is not feasible to use propane or natural gas.
- k. All exposed surfaces shall be watered at a frequency adequate to maintain minimum soil moisture of 12 percent. Moisture content can be verified by lab samples or moisture probe.
- l. All excavation, grading, and demolition activities shall be suspended when average wind speeds exceed 20 mph.
- m. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
- n. Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas inactive for one month or more).
- o. Designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust offsite. Their duties shall include holidays and weekend periods when work may not be in progress.
- p. Install appropriate wind breaks (e.g., trees, fences) on the windward side(s) of actively disturbed areas of the construction site to minimize wind blown dust. Wind breaks must have a maximum 50 percent air porosity.
- q. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.

- r. Activities such as excavation, grading, and other ground-disturbing construction activities shall be phased to minimize the amount of disturbed surface area at any one time.
- s. All trucks and equipment, including tires, shall be washed off prior to leaving the site.
- t. Site accesses to a distance of 100 feet from the paved road shall be treated with a 6 to 12 inch compacted layer of wood chips, mulch, or gravel.
- u. All equipment to be used on the construction site and subject to the requirements of Title 13, Section 2449, of the California Code of Regulations (“California Air Resources Board Off-Road Diesel Regulations”) must meet emissions and performance requirements one year in advance of any fleet deadlines. Upon request by the City, the project applicant shall provide written documentation that fleet requirements have been met.
- v. Use low VOC (i.e., ROG) coatings beyond the local requirements (i.e., BAAQMD Regulation 8, Rule 3: Architectural Coatings).
- w. All construction equipment, diesel trucks, and generators shall be equipped with Best Available Control Technology for emission reductions of NOx and PM.
- x. Off-road heavy diesel engines shall meet the California Air Resources Board’s most recent certification standard.
- y. Post a publicly-visible large on-site sign that includes the contact name and phone number for the project complaint manager responsible for responding to dust complaints and the telephone numbers of the City’s Code Enforcement unit and the Bay Area Air Quality Management District. When contacted, the project complaint manager shall respond and take corrective action within 48 hours.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**18. Asbestos in Structures**

Requirement: The project applicant shall comply with all applicable laws and regulations regarding demolition and renovation of Asbestos Containing Materials (ACM), including but not limited to California Code of Regulations, Title 8; California Business and Professions Code, Division 3; California Health and Safety Code sections 25915-25919.7; and Bay Area Air Quality Management District, Regulation 11, Rule 2, as may be amended. Evidence of compliance shall be submitted to the City upon request.

When Required: Prior to approval of construction-related permit

Initial Approval: Applicable regulatory agency with jurisdiction

Monitoring/Inspection: Applicable regulatory agency with jurisdiction

**19. Human Remains – Discovery During Construction**

Requirement: Pursuant to CEQA Guidelines section 15064.5(e)(1), in the event that human skeletal remains are uncovered at the project site during construction activities, all work

shall immediately halt and the project applicant shall notify the City and the Alameda County Coroner. If the County Coroner determines that an investigation of the cause of death is required or that the remains are Native American, all work shall cease within 50 feet of the remains until appropriate arrangements are made. In the event that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of section 7050.5 of the California Health and Safety Code. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance, and avoidance measures (if applicable) shall be completed expeditiously and at the expense of the project applicant.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**20. Construction-Related Permit(s)**

Requirement: The project applicant shall obtain all required construction-related permits/approvals from the City. The project shall comply with all standards, requirements and conditions contained in construction-related codes, including but not limited to the Oakland Building Code and the Oakland Grading Regulations, to ensure structural integrity and safe construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**21. Hazardous Materials Related to Construction**

Requirement: The project applicant shall ensure that Best Management Practices (BMPs) are implemented by the contractor during construction to minimize potential negative effects on groundwater, soils, and human health. These shall include, at a minimum, the following:

- a. Follow manufacture's recommendations for use, storage, and disposal of chemical products used in construction;
- b. Avoid overtopping construction equipment fuel gas tanks;
- c. During routine maintenance of construction equipment, properly contain and remove grease and oils;
- d. Properly dispose of discarded containers of fuels and other chemicals;
- e. Implement lead-safe work practices and comply with all local, regional, state, and federal requirements concerning lead (for more information refer to the Alameda County Lead Poisoning Prevention Program); and
- f. If soil, groundwater, or other environmental medium with suspected contamination is encountered unexpectedly during construction activities (e.g., identified by odor or

visual staining, or if any underground storage tanks, abandoned drums or other hazardous materials or wastes are encountered), the project applicant shall cease work in the vicinity of the suspect material, the area shall be secured as necessary, and the applicant shall take all appropriate measures to protect human health and the environment. Appropriate measures shall include notifying the City and applicable regulatory agency(ies) and implementation of the actions described in the City's Standard Conditions of Approval, as necessary, to identify the nature and extent of contamination. Work shall not resume in the area(s) affected until the measures have been implemented under the oversight of the City or regulatory agency, as appropriate.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

## **22. Site Contamination**

### **a. *Environmental Site Assessment Required***

Requirement: The project applicant shall submit a Phase I Environmental Site Assessment report, and Phase II Environmental Site Assessment report if warranted by the Phase I report, for the project site for review and approval by the City. The report(s) shall be prepared by a qualified environmental assessment professional and include recommendations for remedial action, as appropriate, for hazardous materials. The project applicant shall implement the approved recommendations and submit to the City evidence of approval for any proposed remedial action and required clearances by the applicable local, state, or federal regulatory agency.

When Required: Prior to approval of construction-related permit

Initial Approval: Oakland Fire Department

Monitoring/Inspection: Oakland Fire Department

### **b. *Health and Safety Plan Required***

Requirement: The project applicant shall submit a Health and Safety Plan for the review and approval by the City in order to protect project construction workers from risks associated with hazardous materials. The project applicant shall implement the approved Plan.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

### **c. *Best Management Practices (BMPs) Required for Contaminated Sites***

Requirement: The project applicant shall ensure that Best Management Practices (BMPs) are implemented by the contractor during construction to minimize potential soil and groundwater hazards. These shall include the following:

- i. Soil generated by construction activities shall be stockpiled on-site in a secure and safe manner. All contaminated soils determined to be hazardous or non-hazardous waste must be adequately profiled (sampled) prior to acceptable reuse or disposal

at an appropriate off-site facility. Specific sampling and handling and transport procedures for reuse or disposal shall be in accordance with applicable local, state, and federal requirements.

- ii. Groundwater pumped from the subsurface shall be contained on-site in a secure and safe manner, prior to treatment and disposal, to ensure environmental and health issues are resolved pursuant to applicable laws and policies. Engineering controls shall be utilized, which include impermeable barriers to prohibit groundwater and vapor intrusion into the building.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**23. State Construction General Permit**

Requirement: The project applicant shall comply with the requirements of the Construction General Permit issued by the State Water Resources Control Board (SWRCB). The project applicant shall submit a Notice of Intent (NOI), Stormwater Pollution Prevention Plan (SWPPP), and other required Permit Registration Documents to SWRCB. The project applicant shall submit evidence of compliance with Permit requirements to the City.

When Required: Prior to approval of construction-related permit

Initial Approval: State Water Resources Control Board; evidence of compliance submitted to Bureau of Building

Monitoring/Inspection: State Water Resources Control Board

**24. Site Design Measures to Reduce Stormwater Runoff**

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant is encouraged to incorporate appropriate site design measures into the project to reduce the amount of stormwater runoff. These measures may include, but are not limited to, the following:

- a. Minimize impervious surfaces, especially directly connected impervious surfaces and surface parking areas;
- b. Utilize permeable paving in place of impervious paving where appropriate;
- c. Cluster structures;
- d. Direct roof runoff to vegetated areas;
- e. Preserve quality open space; and
- f. Establish vegetated buffer areas.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: N/A

**25. Source Control Measures to Limit Stormwater Pollution**

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant is encouraged to incorporate appropriate source control measures to limit pollution in stormwater runoff. These measures may include, but are not limited to, the following:

- a. Stencil storm drain inlets “No Dumping – Drains to Bay;”
- b. Minimize the use of pesticides and fertilizers;
- c. Cover outdoor material storage areas, loading docks, repair/maintenance bays and fueling areas;
- d. Cover trash, food waste, and compactor enclosures; and
- e. Plumb the following discharges to the sanitary sewer system, subject to City approval:
- f. Discharges from indoor floor mats, equipment, hood filter, wash racks, and, covered outdoor wash racks for restaurants;
- g. Dumpster drips from covered trash, food waste, and compactor enclosures;
- h. Discharges from outdoor covered wash areas for vehicles, equipment, and accessories;
- i. Swimming pool water, if discharge to on-site vegetated areas is not feasible; and
- j. Fire sprinkler test water, if discharge to on-site vegetated areas is not feasible.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: N/A

**26. NPDES C.3 Stormwater Requirements for Regulated Projects**

a. ***Post-Construction Stormwater Management Plan Required***

Requirement: The project applicant shall comply with the requirements of Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES). The project applicant shall submit a Post-Construction Stormwater Management Plan to the City for review and approval with the project drawings submitted for site improvements, and shall implement the approved Plan during construction. The Post-Construction Stormwater Management Plan shall include and identify the following:

- i. Location and size of new and replaced impervious surface;
- ii. Directional surface flow of stormwater runoff;
- iii. Location of proposed on-site storm drain lines;
- iv. Site design measures to reduce the amount of impervious surface area;
- v. Source control measures to limit stormwater pollution;
- vi. Stormwater treatment measures to remove pollutants from stormwater runoff, including the method used to hydraulically size the treatment measures; and
- vii. Hydromodification management measures, if required by Provision C.3, so that post-project stormwater runoff flow and duration match pre-project runoff.



When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

**b. *Maintenance Agreement Required***

Requirement: The project applicant shall enter into a maintenance agreement with the City, based on the Standard City of Oakland Stormwater Treatment Measures Maintenance Agreement, in accordance with Provision C.3, which provides, in part, for the following:

- i. The project applicant accepting responsibility for the adequate installation/construction, operation, maintenance, inspection, and reporting of any on-site stormwater treatment measures being incorporated into the project until the responsibility is legally transferred to another entity; and
- ii. Legal access to the on-site stormwater treatment measures for representatives of the City, the local vector control district, and staff of the Regional Water Quality Control Board, San Francisco Region, for the purpose of verifying the implementation, operation, and maintenance of the on-site stormwater treatment measures and to take corrective action if necessary.

The maintenance agreement shall be recorded at the County Recorder's Office at the applicant's expense.

When Required: Prior to building permit final

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**27. Construction Days/Hours**

Requirement: The project applicant shall comply with the following restrictions concerning construction days and hours:

- a. Construction activities are limited to between 7:00 a.m. and 7:00 p.m. Monday through Friday, except that pier drilling and/or other extreme noise generating activities greater than 90 dBA shall be limited to between 8:00 a.m. and 4:00 p.m.
- b. Construction activities are limited to between 9:00 a.m. and 5:00 p.m. on Saturday. In residential zones and within 300 feet of a residential zone, construction activities are allowed from 9:00 a.m. to 5:00 p.m. only within the interior of the building with the doors and windows closed. No pier drilling or other extreme noise generating activities greater than 90 dBA are allowed on Saturday.
- c. No construction is allowed on Sunday or federal holidays.

Construction activities include, but are not limited to, truck idling, moving equipment (including trucks, elevators, etc.) or materials, deliveries, and construction meetings held on-site in a non-enclosed area.

Any construction activity proposed outside of the above days and hours for special activities (such as concrete pouring which may require more continuous amounts of time) shall be

evaluated on a case-by-case basis by the City, with criteria including the urgency/emergency nature of the work, the proximity of residential or other sensitive uses, and a consideration of nearby residents'/occupants' preferences. The project applicant shall notify property owners and occupants located within 300 feet at least 14 calendar days prior to construction activity proposed outside of the above days/hours. When submitting a request to the City to allow construction activity outside of the above days/hours, the project applicant shall submit information concerning the type and duration of proposed construction activity and the draft public notice for City review and approval prior to distribution of the public notice.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**28. Construction Noise**

Requirement: The project applicant shall implement noise reduction measures to reduce noise impacts due to construction. Noise reduction measures include, but are not limited to, the following:

- a. Equipment and trucks used for project construction shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures and acoustically-attenuating shields or shrouds) wherever feasible.
- b. Except as provided herein, impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for project construction shall be hydraulically or electrically powered to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler can lower noise levels from the exhaust by up to about 10 dBA. External jackets on the tools themselves shall be used, if such jackets are commercially available, and this could achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever such procedures are available and consistent with construction procedures.
- c. Applicant shall use temporary power poles instead of generators where feasible.
- d. Stationary noise sources shall be located as far from adjacent properties as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or use other measures as determined by the City to provide equivalent noise reduction.
- e. The noisiest phases of construction shall be limited to less than 10 days at a time. Exceptions may be allowed if the City determines an extension is necessary and all available noise reduction controls are implemented.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**29. Construction Noise Complaints**

Requirement: The project applicant shall submit to the City for review and approval a set of procedures for responding to and tracking complaints received pertaining to construction noise, and shall implement the procedures during construction. At a minimum, the procedures shall include:

- a. Designation of an on-site construction complaint and enforcement manager for the project;
- b. A large on-site sign near the public right-of-way containing permitted construction days/hours, complaint procedures, and phone numbers for the project complaint manager and City Code Enforcement unit;
- c. Protocols for receiving, responding to, and tracking received complaints; and
- d. Maintenance of a complaint log that records received complaints and how complaints were addressed, which shall be submitted to the City for review upon the City's request.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**30. Operational Noise**

Requirement: Noise levels from the project site after completion of the project (i.e., during project operation) shall comply with the performance standards of chapter 17.120 of the Oakland Planning Code and chapter 8.18 of the Oakland Municipal Code. If noise levels exceed these standards, the activity causing the noise shall be abated until appropriate noise reduction measures have been installed and compliance verified by the City.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**31. Jobs/Housing Impact Fee**

Requirement: The project applicant shall submit payment to the City in accordance with the requirements of the City of Oakland Jobs/Housing Impact Fee Program (chapter 15.68 of the Oakland Municipal Code).

When Required: Prior to construction

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

**32. Construction Activity in the Public Right-of-Way**

- a. *Obstruction Permit Required*

Requirement: The project applicant shall obtain an obstruction permit from the City prior to placing any temporary construction-related obstruction in the public right-of-way, including City streets and sidewalks.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**b. *Traffic Control Plan Required***

Requirement: In the event of obstructions to vehicle or bicycle travel lanes, the project applicant shall submit a Traffic Control Plan to the City for review and approval prior to obtaining an obstruction permit. The project applicant shall submit evidence of City approval of the Traffic Control Plan with the application for an obstruction permit. The Traffic Control Plan shall contain a set of comprehensive traffic control measures for auto, transit, bicycle, and pedestrian detours, including detour signs if required, lane closure procedures, signs, cones for drivers, and designated construction access routes. The project applicant shall implement the approved Plan during construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Public Works Department, Transportation Services Division

Monitoring/Inspection: Bureau of Building

**c. *Repair of City Streets***

Requirement: The project applicant shall repair any damage to the public right-of way, including streets and sidewalks caused by project construction at his/her expense within one week of the occurrence of the damage (or excessive wear), unless further damage/excessive wear may continue; in such case, repair shall occur prior to approval of the final inspection of the construction-related permit. All damage that is a threat to public health or safety shall be repaired immediately.

When Required: Prior to building permit final

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**33. Bicycle Parking**

Requirement: The project applicant shall comply with the City of Oakland Bicycle Parking Requirements (chapter 17.118 of the Oakland Planning Code). The project drawings submitted for construction-related permits shall demonstrate compliance with the requirements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

**34. Transportation Improvements**

Requirement: The project applicant shall implement the recommended on- and off-site transportation-related improvements contained within the Transportation Impact Study for the project (e.g., signal timing adjustments, restriping, signalization, traffic control devices, roadway reconfigurations, and pedestrian and bicyclist amenities). The project applicant is responsible for funding and installing the improvements, and shall obtain all necessary permits and approvals from the City and/or other applicable regulatory agencies such as, but not limited to, Caltrans (for improvements related to Caltrans facilities) and the California Public Utilities Commission (for improvements related to railroad crossings), prior to installing the improvements. To implement this measure for intersection modifications, the project applicant shall submit Plans, Specifications, and Estimates (PS&E) to the City for review and approval. All elements shall be designed to applicable City standards in effect at the time of construction and all new or upgraded signals shall include these enhancements as required by the City. All other facilities supporting vehicle travel and alternative modes through the intersection shall be brought up to both City standards and ADA standards (according to Federal and State Access Board guidelines) at the time of construction. Current City Standards call for, among other items, the elements listed below:

- a. 2070L Type Controller with cabinet accessory
- b. GPS communication (clock)
- c. Accessible pedestrian crosswalks according to Federal and State Access Board guidelines with signals (audible and tactile)
- d. Countdown pedestrian head module switch out
- e. City Standard ADA wheelchair ramps
- f. Video detection on existing (or new, if required)
- g. Mast arm poles, full activation (where applicable)
- h. Polara Push buttons (full activation)
- i. Bicycle detection (full activation)
- j. Pull boxes
- k. Signal interconnect and communication with trenching (where applicable), or through existing conduit (where applicable), 600 feet maximum
- l. Conduit replacement contingency
- m. Fiber switch
- n. PTZ camera (where applicable)
- o. Transit Signal Priority (TSP) equipment consistent with other signals along corridor
- p. Signal timing plans for the signals in the coordination group

When Required: Prior to building permit final or as otherwise specified

Initial Approval: Bureau of Building; Public Works Department, Transportation Services Division

Monitoring/Inspection: Bureau of Building

**35. Construction and Demolition Waste Reduction and Recycling**

Requirement: The project applicant shall comply with the City of Oakland Construction and Demolition Waste Reduction and Recycling Ordinance (chapter 15.34 of the Oakland Municipal Code) by submitting a Construction and Demolition Waste Reduction and Recycling Plan (WRRP) for City review and approval, and shall implement the approved WRRP. Projects subject to these requirements include all new construction, renovations/alterations/modifications with construction values of \$50,000 or more (except R-3 type construction), and all demolition (including soft demolition) except demolition of type R-3 construction. The WRRP must specify the methods by which the project will divert construction and demolition debris waste from landfill disposal in accordance with current City requirements. The WRRP may be submitted electronically at [www.greenhalosystems.com](http://www.greenhalosystems.com) or manually at the City's Green Building Resource Center. Current standards, FAQs, and forms are available on the City's website and in the Green Building Resource Center.

When Required: Prior to approval of construction-related permit

Initial Approval: Public Works Department, Environmental Services Division

Monitoring/Inspection: Public Works Department, Environmental Services Division

**36. Underground Utilities**

Requirement: The project applicant shall place underground all new utilities serving the project and under the control of the project applicant and the City, including all new gas, electric, cable, and telephone facilities, fire alarm conduits, street light wiring, and other wiring, conduits, and similar facilities. The new facilities shall be placed underground along the project's street frontage and from the project structures to the point of service. Utilities under the control of other agencies, such as PG&E, shall be placed underground if feasible. All utilities shall be installed in accordance with standard specifications of the serving utilities.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**37. Recycling Collection and Storage Space**

Requirement: The project applicant shall comply with the City of Oakland Recycling Space Allocation Ordinance (chapter 17.118 of the Oakland Planning Code). The project drawings submitted for construction-related permits shall contain recycling collection and storage areas in compliance with the Ordinance. For residential projects, at least two cubic feet of storage and collection space per residential unit is required, with a minimum of ten cubic feet. For nonresidential projects, at least two cubic feet of storage and collection space per 1,000 square feet of building floor area is required, with a minimum of ten cubic feet.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

**38. Green Building Requirements – Small Projects**

**a. *Compliance with Green Building Requirements During Plan-Check***

The project applicant shall comply with the requirements of the California Green Building Standards (CALGreen) mandatory measures and the applicable requirements of the City of Oakland Green Building Ordinance (chapter 18.02 of the Oakland Municipal Code) for projects using the CALGREEN Checklist for non-residential construction

i. The following information shall be submitted to the City for review and approval with application for a building permit:

- Documentation showing compliance with Title 24 of the current version of the California Building Energy Efficiency Standards.
- Completed copy of the green building checklist approved during the review of a Planning and Zoning permit.
- Permit plans that show in general notes, detailed design drawings and specifications as necessary compliance with the items listed in subsection (b) below.
- Other documentation to prove compliance.

ii. The set of plans in subsection (a) shall demonstrate compliance with the following:

- CALGreen mandatory measures.
- All applicable green building measures identified on the checklist approved during the review of a Planning and Zoning permit, or submittal of a Request for Revision Plan-check application that shows the previously approved points that will be eliminated or substituted.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

**b. *Compliance with Green Building Requirements During Construction***

Requirement: The project applicant shall comply with the applicable requirements of CALGreen and the Green Building Ordinance during construction.

The following information shall be submitted to the City for review and approval:

- i. Completed copy of the green building checklists approved during review of the Planning and Zoning permit and during the review of the Building permit.
- ii. Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**39. Sanitary Sewer System**

Requirement: The project applicant shall prepare and submit a Sanitary Sewer Impact Analysis to the City for review and approval in accordance with the City of Oakland Sanitary Sewer Design Guidelines. The Impact Analysis shall include an estimate of pre-project and post-project wastewater flow from the project site. In the event that the Impact Analysis indicates that the net increase in project wastewater flow exceeds City-projected increases in wastewater flow in the sanitary sewer system, the project applicant shall pay the Sanitary Sewer Impact Fee in accordance with the City's Master Fee Schedule for funding improvements to the sanitary sewer system.

When Required: Prior to approval of construction-related permit

Initial Approval: Public Works Department, Department of Engineering and Construction

Monitoring/Inspection: N/A

**40. Storm Drain System**

Requirement: The project storm drainage system shall be designed in accordance with the City of Oakland's Storm Drainage Design Guidelines. To the maximum extent practicable, peak stormwater runoff from the project site shall be reduced by at least 25 percent compared to the pre-project condition.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**41. Landscape plan and building fenestrations / siding**

Requirement: The projects final building plan sets shall include landscape plans to be reviewed and approved by the Zoning Manager or designee. The installed landscaping may be altered at the discretion of the Zoning Manager if it is deemed to be insufficient in its purpose to screen and enhance the appearance of the site as seen from the I-880 freeway and Hegenberger Court. Exterior material and windows details in the plans in the building permit application shall be reviewed and approved by the Zoning Manager or his designee.

When Required: Prior to approval of construction-related permit and ongoing

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Planning and Bureau of Building

**APPROVED BY:**

City Planning Commission: \_\_\_\_\_ (date) \_\_\_\_\_ (vote)

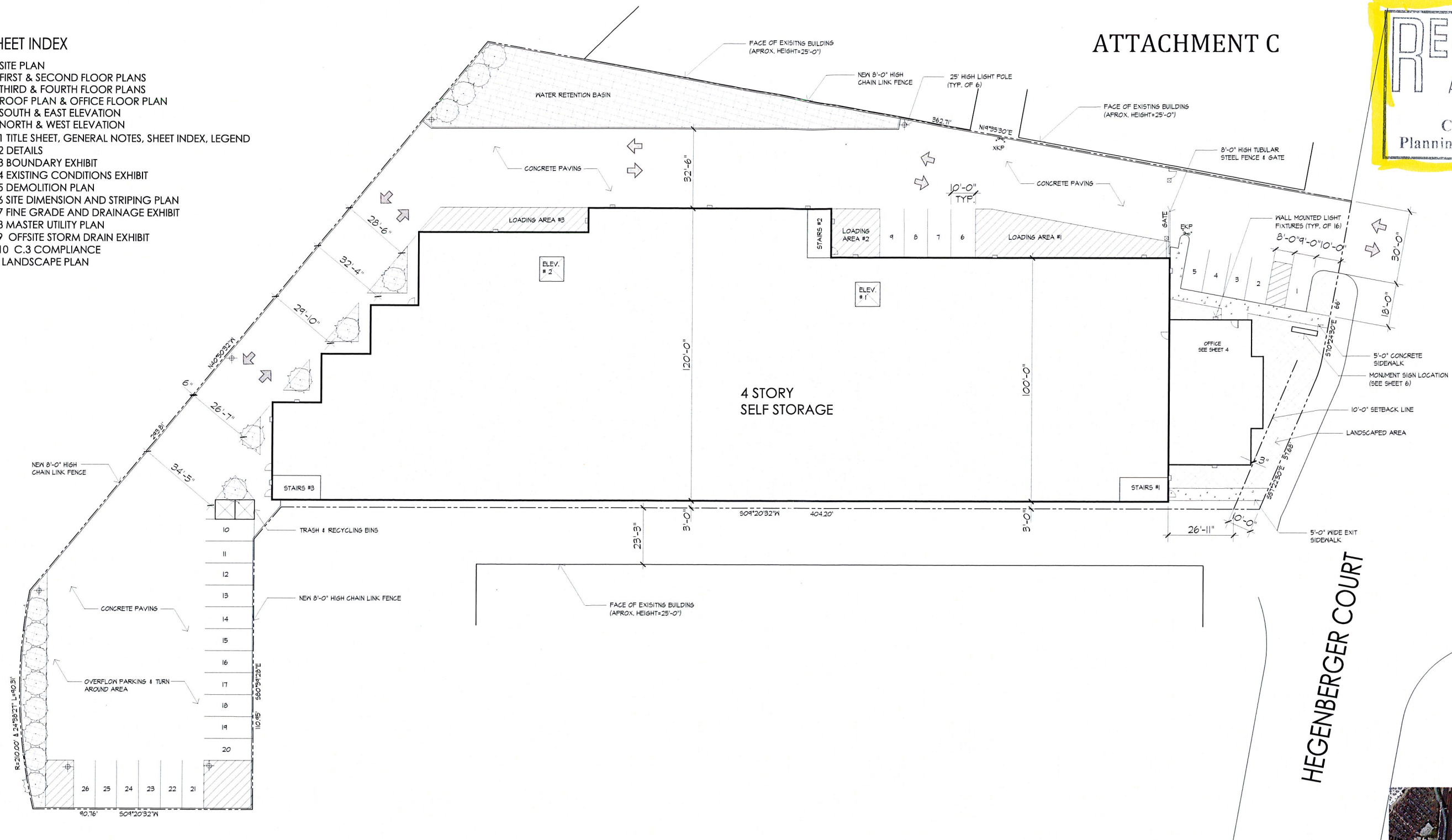
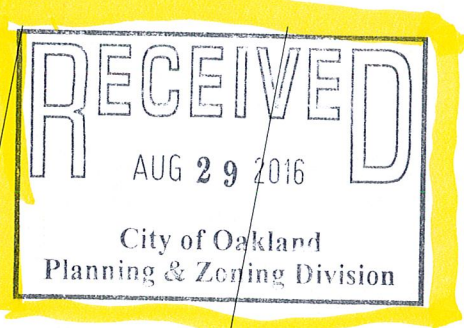
City Council: \_\_\_\_\_ (date) \_\_\_\_\_ (vote)



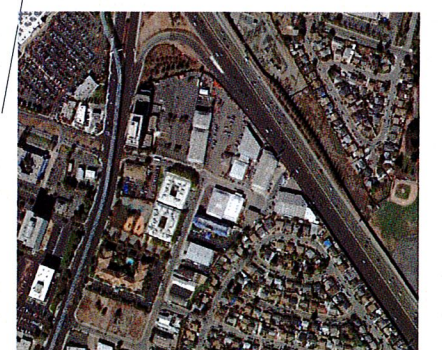
**SHEET INDEX**

- 1- SITE PLAN
- 2- FIRST & SECOND FLOOR PLANS
- 3- THIRD & FOURTH FLOOR PLANS
- 4- ROOF PLAN & OFFICE FLOOR PLAN
- 5- SOUTH & EAST ELEVATION
- 6- NORTH & WEST ELEVATION
- C-1 TITLE SHEET, GENERAL NOTES, SHEET INDEX, LEGEND
- C-2 DETAILS
- C-3 BOUNDARY EXHIBIT
- C-4 EXISTING CONDITIONS EXHIBIT
- C-5 DEMOLITION PLAN
- C-6 SITE DIMENSION AND STRIPING PLAN
- C-7 FINE GRADE AND DRAINAGE EXHIBIT
- C-8 MASTER UTILITY PLAN
- C-9 OFFSITE STORM DRAIN EXHIBIT
- C-10 C.3 COMPLIANCE
- L-1 LANDSCAPE PLAN

**ATTACHMENT C**



**HEGENBERGER COURT**



**VICINITY MAP**

**LANDOWNER / OPERATOR:**  
 SKIP ELEFANTE  
 PLATINUM STORAGE GROUP  
 9834 RESEARCH DRIVE  
 IRVINE, CA 92618  
 PHONE: 714-770-2232  
 E-MAIL: skip@platinumstorage.com

**LANDOWNER / OPERATOR:**  
 SKIP ELEFANTE  
 PLATINUM STORAGE GROUP  
 9834 RESEARCH DRIVE  
 IRVINE, CA 92618  
 PHONE: 714-770-2232  
 E-MAIL: skip@platinumstorage.com

**ARCHITECT:**  
 ARIEL L. VALLI  
 VALLI ARCHITECTURAL GROUP  
 27405 PUERTA REAL - SUITE 235  
 MISSION VIEJO, CA 92691  
 PHONE: (949) 813-4191  
 E-MAIL: ariel@valliarh.com

**CIVIL ENGINEER:**  
 MICHAEL E. MILANI  
 MILANI & ASSOCIATES  
 2520 STANWELL DRIVE - SUITE 250  
 CONCORD, CA 94520  
 PHONE: (925) 674-9082  
 E-MAIL: mmilani@milani-eng.com

**LANDSCAPE ARCHITECT:**  
 RICHARD STOVER  
 THOMAS BAAK AND ASSOCIATES, LLP  
 1620 NORTH MAIN STREET, SUITE 4  
 WALNUT CREEK, CA 94596  
 PHONE: (925) 933-2583  
 E-MAIL: rstover@tbak.com

**PROJECT DATA:**

STORAGE	37,310 SQ. FT.
1ST FLOOR	36,959 SQ. FT.
2ND FLOOR	39,133 SQ. FT.
3RD FLOOR	39,133 SQ. FT.
4TH FLOOR	39,133 SQ. FT.
<b>TOTAL STORAGE:</b>	<b>152,535 SQ. FT.</b>
OFFICE (2 STORY VOLUME):	2,000 SQ. FT.
<b>TOTAL:</b>	<b>154,535 SQ. FT.</b>
SITE AREA:	81,028 SQ.FT. 1.87 ACRES
F.A.R.:	1.91 (4.0 ALLOWED)

**LOT COVERAGE:**

BUILDING FOOTPRINTS	39,310 SQ.FT. (48.5% OF SITE)
DRIVEWAY & PAVEMENTS	34,735 SQ.FT. (42.9% OF SITE)
LANDSCAPING	6,983 SQ.FT. (8.6% OF SITE)
<b>TOTAL</b>	<b>81,028 SQ. FT. (100%)</b>

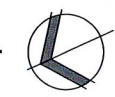
**STORAGE DIRECT - HEGENBERGER**  
 OAKLAND, CA

**SITE PLAN**

SCALE: 1" = 20'-0"

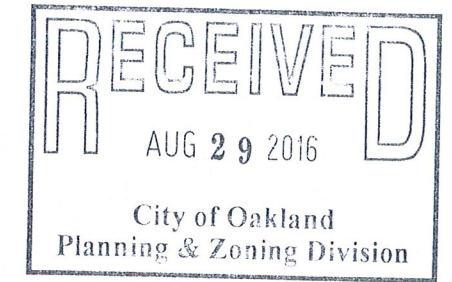
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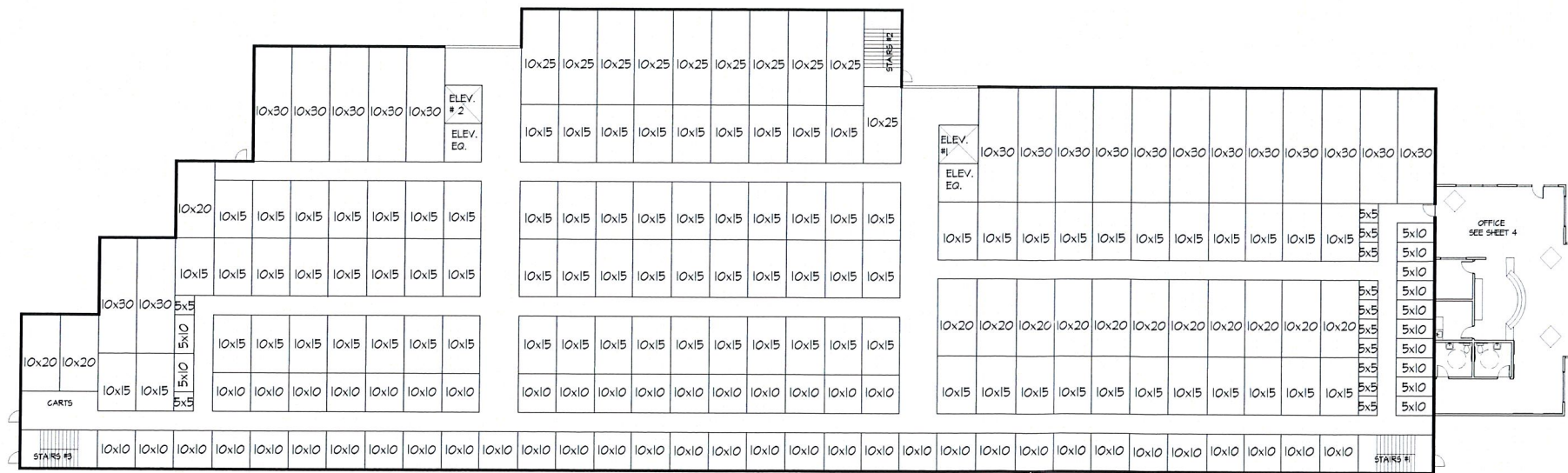


**VALLI ARCHITECTURAL GROUP**  
 27405 PUERTA REAL, SUITE 235 PH: 949/813-4191  
 MISSION VIEJO, CA 92656 ariel@valliarh.com





SECOND FLOOR

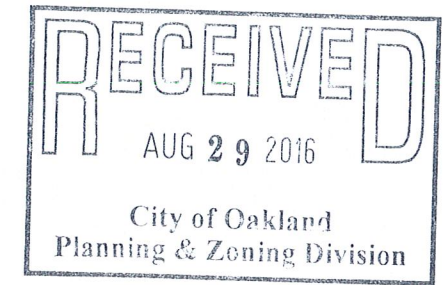


FIRST FLOOR

UNIT MIX TABULATION			
SIZE OF UNIT	SQ. FT. UNIT	No. OF REG. UNITS	TOTAL SQ. FT.
5 x 5	25	106	2650
5 x 9	45	20	900
5 x 10	50	222	11100
7.5 x 10	75	126	9450
10 x 10	100	308	30800
10 x 15	150	121	18150
10 x 20	200	143	28600
10 x 25	250	22	5500
10 x 30	300	19	5700
<b>TOTAL</b>		<b>1087</b>	<b>112,850</b>
AVERAGE UNIT SIZE			103.82
GROSS BUILDING AREA			152,535
EFFICIENCY			73.98%



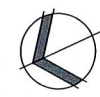




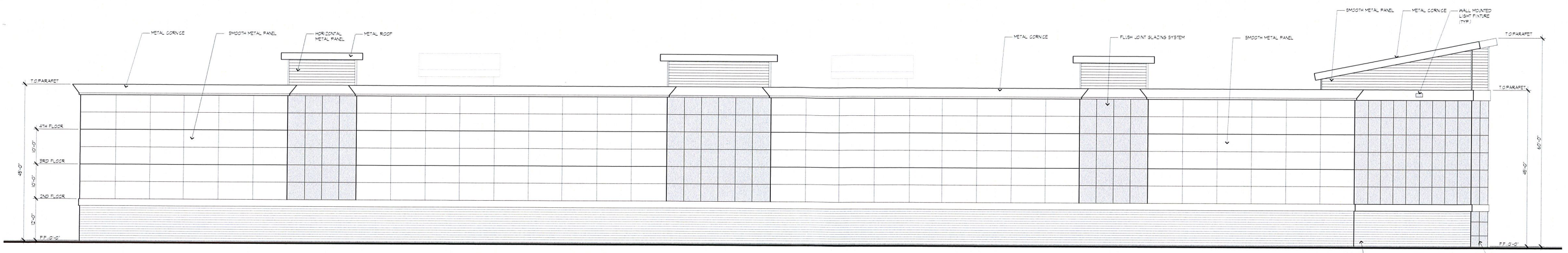
FOURTH FLOOR



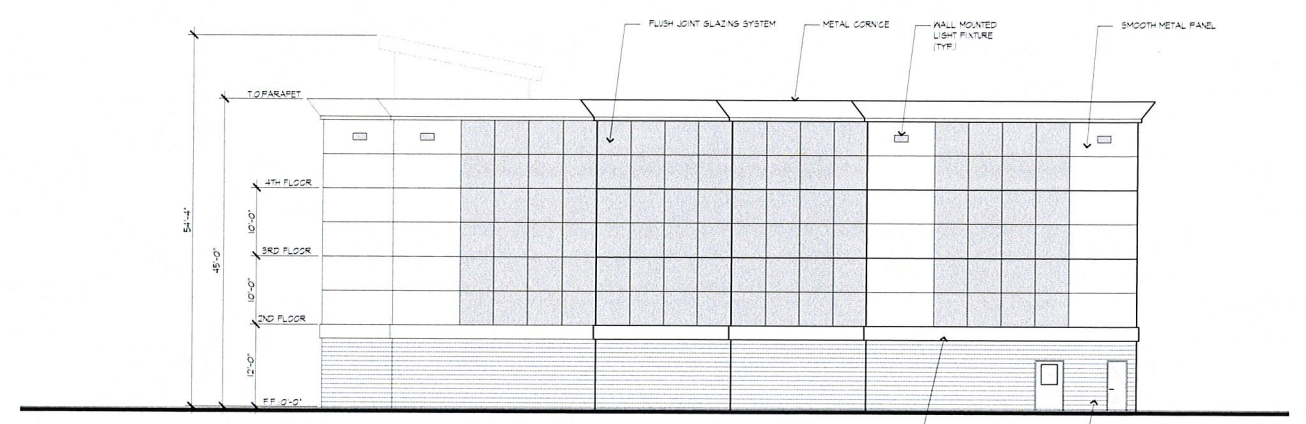
THIRD FLOOR



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WEST ELEVATION



NORTH ELEVATION



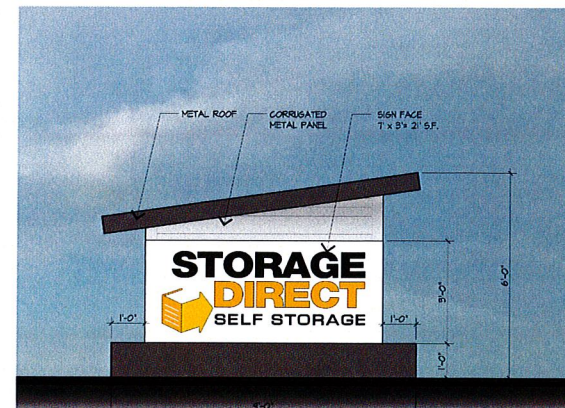
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 Planning & Zoning Division



**EAST ELEVATION**

**COLORS AND MATERIALS**

- PRIMARY SMOOTH METAL PANELS  
KINGSPAN "SILVER SMITH SM"
- CORRUGATED ACCENT METAL PANELS  
KINGSPAN "BRIGHT SILVER"
- METAL CORNICES & HORIZONTAL BANDS  
KINGSPAN "WEATHERED ZINC"
- FIRST FLOOR CMU WALLS PAINTED  
SHERWIN WILLIAMS SW #7074 "SOFTWARE"
- FIRST FLOOR EXTERIOR DOORS PAINTED  
SHERWIN WILLIAMS SW #7073 "NETWORK GRAY"
- ROLL - UP STORAGE SPACE DOORS:  
JANUS INTERNATIONAL: "YELLOW"
- GLAZING AND SPANDREL GLASS  
PGG "SOLAR BLUE GREEN"



**MONUMENT SIGN**



**SOUTH ELEVATION**

**STORAGE DIRECT - HEGENBERGER**  
 OAKLAND, CA

**ELEVATIONS**

08/16/2016

SCALE: 1" = 10'-0"

2015-020

**VALLI B**  
 ARCHITECTURAL  
 GROUP  
 27405 PUERTA REAL - SUITE 235 PH: 949/813-4191  
 MISSION VIEJO, CA 92691 ari@vallib.com

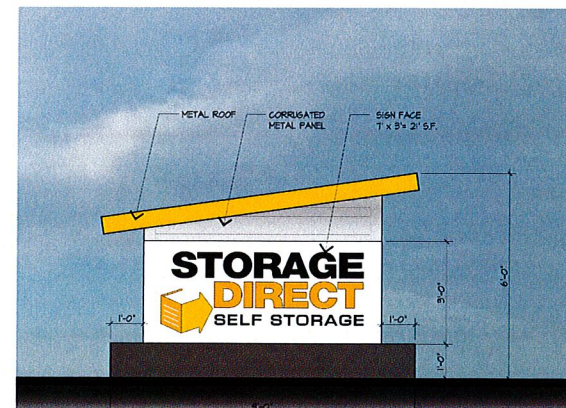




**EAST ELEVATION**

**COLORS AND MATERIALS**

- PRIMARY SMOOTH METAL PANELS  
KINGSPAN "SILVER SMITH SM"
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KINGSPAN "BRIGHT SILVER"
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KINGSPAN "WEATHERED ZINC"
- FIRST FLOOR CMU WALLS PAINTED  
SHERWIN WILLIAMS SW #7074 "SOFTWARE"
- FIRST FLOOR EXTERIOR DOORS PAINTED  
SHERWIN WILLIAMS SW #7073 "NETWORK GRAY"
- METAL FASCIAS  
KINGSPAN "LOGYELLOW"
- ROLL - UP STORAGE SPACE DOORS:  
JANUS INTERNATIONAL: "YELLOW"
- GLAZING AND SPANDREL GLASS  
PGG "SOLAR BLUE GREEN"

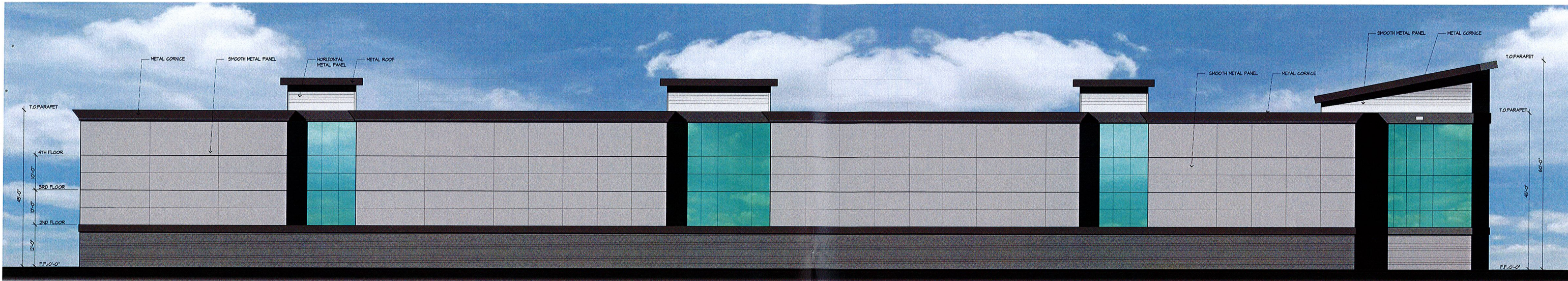


**MONUMENT SIGN**



**SOUTH ELEVATION**



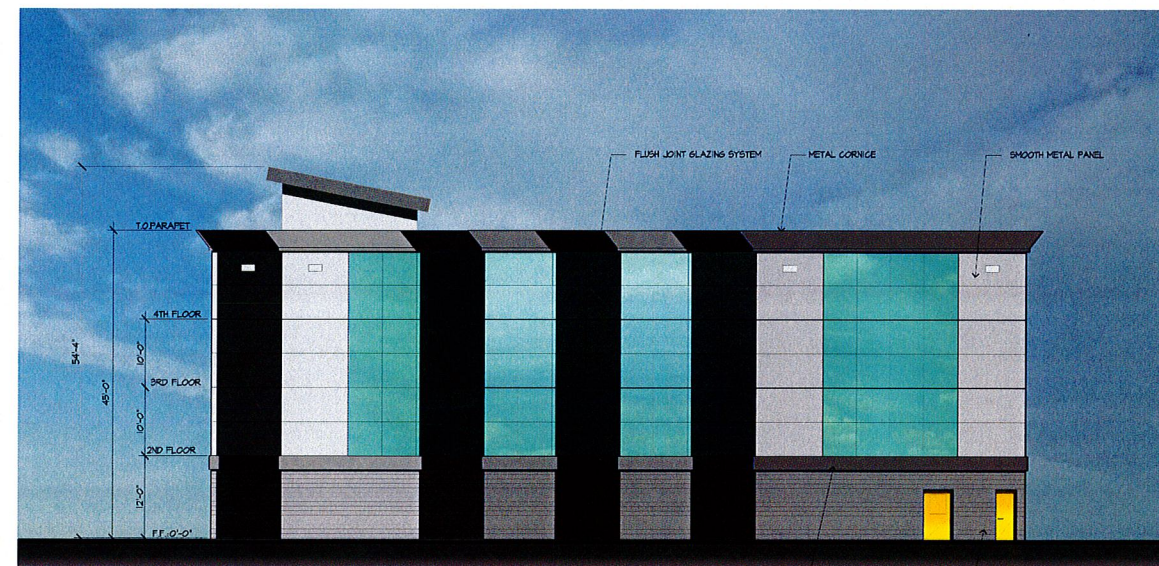


**WEST ELEVATION**

PRECISION CMU WITH CLEAR SEALER (FLUSH VERTICAL JOINTS & STRUCK HORIZONTAL JOINTS)  
 STOREFRONT GLAZING SYSTEM

**COLORS AND MATERIALS**

- PRIMARY SMOOTH METAL PANELS  
KINGSPAN "SILVER SMITH SM"
- CORRUGATED ACCENT METAL PANELS  
KINGSPAN "BRIGHT SILVER"
- METAL CORNICES & HORIZONTAL BANDS  
KINGSPAN "WEATHERED ZINC"
- FIRST FLOOR CMU WALLS PAINTED  
SHERWIN WILLIAMS SW #7074 "SOFTWARE"
- FIRST FLOOR EXTERIOR DOORS PAINTED  
SHERWIN WILLIAMS SW #7073 "NETWORK GRAY"
- ROLL - UP STORAGE SPACE DOORS:  
JANUS INTERNATIONAL: "YELLOW"
- GLAZING AND SPANDREL GLASS  
PGG "SOLAR BLUE GREEN"

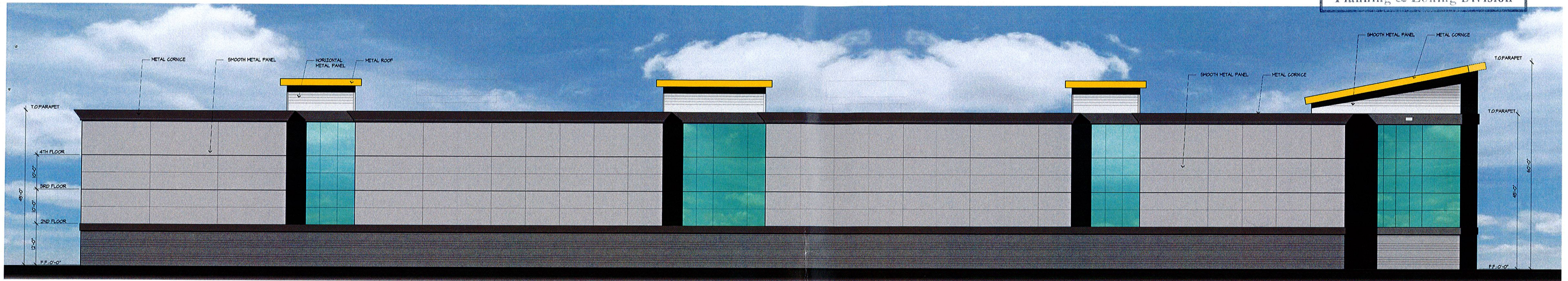


**NORTH ELEVATION**

METAL HORIZONTAL BAND  
 PRECISION CMU WITH CLEAR SEALER (FLUSH VERTICAL JOINTS & STRUCK HORIZONTAL JOINTS)



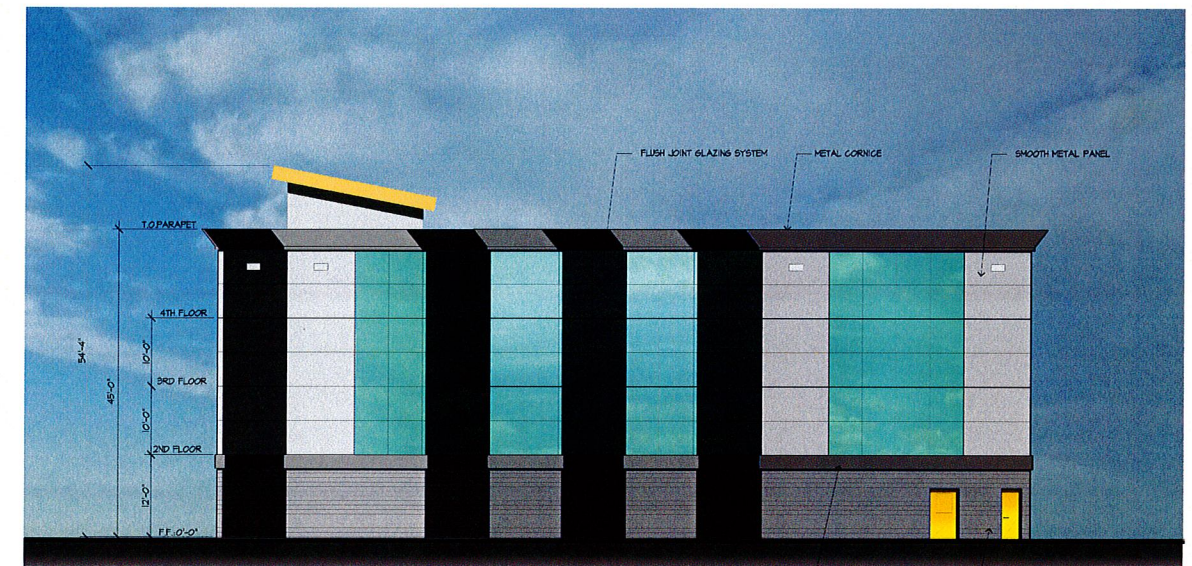
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WEST ELEVATION

COLORS AND MATERIALS

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NORTH ELEVATION

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