

<b>Location:</b>	1900-1944 Broadway (APNs: 008-0638-005-00; 008-0638-006-03; 008-0638-007-10). <b>(See map on reverse)</b>
<b>Proposal:</b>	Revision of a proposal to construct a new 36-story building with 451 residential units and approximately 50,000 square feet of commercial space. The project also includes reconditioning an existing four story, historically-rated (Cb+1+) building and demolishing a one story commercial building that has no historic rating.
<b>Applicant/Owner:</b>	Seth Hamalian, 19 <sup>th</sup> and Bway Associates, LLC
<b>Planning Permits Required:</b>	Design Review for new construction in a CBD zone; Major Conditional Use Permit for new construction over 250 feet in height or 200,000 square feet in floor area; Minor Conditional Use Permits for a reduction of the parking requirement in the CBD zone and a reduction in the size of a loading berth; and a Minor Variance for a reduction of the number of loading berths from two to one.
<b>General Plan:</b>	Central Business District
<b>Zoning:</b>	CBD-P Central Business District Pedestrian Retail Commercial Zone and CBD-C Central Business District General Commercial Zone
<b>Environmental Determination:</b>	Exempt, State CEQA Guidelines Sections 15332 – In-fill projects and 15183 - Projects consistent with a community plan, general plan, or zoning.
<b>Historic Status:</b>	Existing building at the corner of 19th Street and Broadway is rated Cb+1+ and the site is within the Uptown Commercial Area of Primary Importance. This building will be refurbished as part of this project.
<b>City Council District:</b>	3
<b>Status:</b>	Previously approved
<b>Action to be Taken:</b>	Review proposed changes to project and direct staff
<b>For Further Information:</b>	Contact case planner <b>Neil Gray</b> at <b>510-238-3878</b> or <b>ngray@oaklandnet.com</b>

**SUMMARY**

The subject project has been approved to be a new, 36-story tower with 451 residential units and approximately 75,000 square feet of office and 25,000 square feet of retail space at 1900 Broadway in Downtown. The approved project also includes reconditioning an existing four story, highly rated historic structure known as the Tapscott Building. The current proposal is a revision to the approved project that includes 37 stories with 433 units and approximately 75,000 square feet of office space and 21,000 square feet of retail space. The revised proposal also includes changes to the exterior of the building.

Staff recommends that the DRC analyze the proposed design changes to the proposal and provide direction to staff and the applicant.

**BACKGROUND AND PROPOSAL**

This project was originally approved at the August 5, 2015 City Planning Commission meeting. This approval included the construction of a new 36-story tower with 451 residential units and approximately 50,000 square feet of commercial space at 1900 Broadway. The project also included reconditioning an existing four story, highly rated historic structure, known as the Tapscott Building (rated Cb+1+ and considered a contributor to the Uptown Historic District by the Office of Cultural Heritage Survey).

Staff administratively approved a revision to the proposal on March 25, 2016 that increased the scope of the project as described in the following table:

	2015 Planning Commission Approved Project	2016 First Revised Project	Difference
Height (ft)	330	368	+38 ft
Stories	33	36	+3 stories
Residential Units	345	451	+106 dwelling units
Office Space (sf)	0	25,000	+25,000 sf
Retail Space (sf)	4,000	5,000	+1,000 sf
Restaurant Space (sf)	6,000	20,000	+14,000 sf

Other than the additional height, the revision did not include any significant changes to the exterior of the tower and included the same renovation of the Tapscott Building (see Attachment B for plans). The revision was approved administratively after noticing the neighborhood and the completion of a detailed environmental analysis.

On February 6, 2018, the applicant submitted another set of revised plans that showed additional changes to the exterior of the tower (see Attachment A). Staff believes the exterior changes merit review by the Design Review Committee but does not believe the changes require approval from the full Planning Commission because there are no major changes to the massing of the tower. The renovation of the Tapscott building continues to be included in the project.

Attachment C contains comments received regarding the proposal during the notice period for this agenda item and the extension of the project, which was approved by the Planning Commission on February 2, 2018.

**PROPERTY DESCRIPTION**

This flat, 40,674 square-foot, site is at the northeast corner of the intersection of Broadway and 19<sup>th</sup> Street. Approximately 400 linear feet of the site faces Broadway and 150 linear feet faces 19<sup>th</sup> Street. The four-story, L-shaped Tapscott commercial building, constructed in 1922-1923, fronts both Broadway and 19<sup>th</sup> Street. This building has an historic rating of Cb+1+ and is a contributor to the Uptown Commercial Historic District. Although brown brick and terra cotta materials, a tall ground floor, and detailing contribute to the historic significance of the building, it is in substantial disrepair – the storefronts are in particularly poor condition, the tapestry trim on the building is badly damaged, and the original vertical spandrels on the upper floors were removed in the 1960’s. A second commercial building, which is without historical or architectural interest, is also located at the site.

An entrance to the 19<sup>th</sup> Street BART Station and an AC Transit bus stop is located on Broadway, directly in front of the site.



### NEIGHBORHOOD DESCRIPTION

The site is in within the heart of Downtown Oakland’s commercial district and on the edge of the historic Uptown Commercial District, a retail and entertainment area that is anchored by the art-deco styled Fox and Paramount Theaters and I. Magnin Building. The district contains several night clubs, restaurants, retail stores, and galleries. Several low-rise commercial buildings that contribute to the historic character of the district are located to the south, across the Broadway, and on 19<sup>th</sup> Street. The four-story, approximately 60-foot tall Sears Building at the corner of Broadway and 20<sup>th</sup> Street is currently being renovated for office uses and a ground floor market hall. The adjacent 12-story Golden West Office Building, constructed in 1968, has a post-modern design with reflective windows and a block shape. According to the City’s Office of Cultural Heritage Survey, the Uptown Historic District does not have a consistent height context that should influence the appropriate height of new buildings.

### PROJECT DESCRIPTION

#### Overall

The following table compares the project data of the newly revised design to that of the previously approved revision:

	2016 Revised	2018 Proposed Revision	Difference
Height (ft)	368	379’-6”	+11’-6” sf
Stories	36	37	+1 story
Residential Units	451	433	-18 dwelling units
Office Space (sf)	25,000 (all in the Tapscott Building)	74,649 (25,000 in the Tapscott Building)	+49,679 sf
Commercial Space (sf)	25,000	21,286	-3,714 sf
Parking Spaces	338 (above grade)	171 (141 below grade)	-167 sf

One of the biggest changes between the currently proposed revised project and approved plans is a reduction in parking spaces and the addition of office space. These changes are due to the proposed undergrounding of the parking, which is required for structural reasons related to construction over a BART tunnel. Staff believes this trade-off between parking and office space is consistent with City and regional policies regarding maximizing the use of transit through increased development intensity in the Central Business District. The developer envisions the offices to be a co-working space such as that found at the Hive at Broadway and 23<sup>rd</sup> Street.

#### Site Plan

The high-rise tower would sit atop a three-story podium building, which is two stories fewer than the previously proposed podium. A 20-foot wide outdoor plaza would be created between the new construction and the Tapscott Building to create outdoor seating for a restaurant, provide a visual separation between the two buildings, and expose historic advertising art on the Tapscott Building’s north façade.

The ground floor would contain two retail spaces, a lobby, a leasing office and amenities. A 5,043 square-foot retail space would be 78 feet deep (more than twice the depth of the approved retail space), and a 1,243 square-foot retail space would be approximately 33 feet deep. A ramp to the underground parking, 30 mechanical parking spaces, and bike storage would be behind the commercial spaces and the lobby. Vehicular and loading access into the site would be from 19th Street, which allows Broadway, the site’s primary pedestrian frontage, to be free of curb cuts and potential conflicts between pedestrians, bikes, and cars. Two stories of office space would be between the retail space and the apartments above.

An open space podium deck that includes landscaping, outdoor furniture, and a pool with views to the bay would be located where the base of the tower and top of the podium meet. The positioning of the tower's narrow north and south elevations will preserve views of the Oakland Hills and the Jack London Square area from Broadway.

### Building Design

Using façade material changes, the massing of the tower in the original design creates the appearance of two separate buildings while the revised treatment gives the appearance of one building with light tinted curtain walls that is separated by a vertical element into two distinct masses. Each window of the curtain wall is proposed to contain narrow, vertical, dark mechanical louvres at their edge. According to applicant, this treatment may be removed if alternative HVAC systems are installed. On the Broadway elevation, the vertical element is provided through group balconies that have alternating shapes to create a zipper-like appearance. The facade behind the balconies would be a light gray brick that relates to the Tapscott Building. The northern elevation contains a similar vertical feature, except it contains windows instead of balconies. A discussion of these facades is contained in the "Key Issues and Impacts" section of this report.

At 15 feet in height, the ground floor is prominent and matches the height of the ground floor of the Tapscott Building. The storefront includes a floor to ceiling glass window wall system vertically separated by a balcony/awning feature. The ground floor is recessed behind a catwalk, and vertical brick columns separate the storefront windows.

The building would have a rooftop community room with an open deck with views to the Bay and San Francisco. This feature creates a top for the Broadway side of the building that would be lit up at night to create a lantern affect.

## **KEY ISSUES AND IMPACTS**

### Elevations

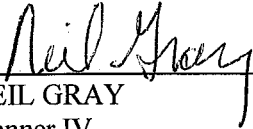
In general, staff believes that the proposed changes in the elevations take the design in a positive direction. The "zipper" element on the Broadway elevation will break up the volume of the building and provide visual interest to the façade. Further, its brick backing will relate to the Tapscott Building and the brick accents proposed for the ground floor façade. Replacing the parking with windows for office space will enhance the visual quality of each façade.

However, staff is concerned that the east elevation has not been given the same level of design attention as the west elevation. The east elevation, which will be highly visible from the Lake Merritt area and beyond, does not have a roof element to define the top of the building, and the recess separating the volumes on the façade contains windows instead of a more visually interesting element, such as the zipper in the front facade.


Staff also requests input from the Design Review Committee regarding the level of articulation on both facades because the curtain wall will create a 36-story flat surface. As of the writing of this report, staff has not received a material sample of the windows and cannot assess whether the details of the windows will provide adequate visual interest. However, the applicant has provided digital samples in Attachment A and will bring physical samples of the windows to the meeting for an assessment by the DRC.

**RECOMMENDATION:** Review and evaluate the proposed changes to the planned 1900 Broadway project.

Prepared by:

  
\_\_\_\_\_  
NEIL GRAY  
Planner IV

Approved for forwarding to the Design Review Committee:

  
\_\_\_\_\_  
CATHERINE PAYNE  
Acting Development Planning Manager

**ATTACHMENTS:**

- A. Proposed Plans
- B. Previously approved plans
- C. Input from noticed parties

SOLOMON CORDWELL BUENZ

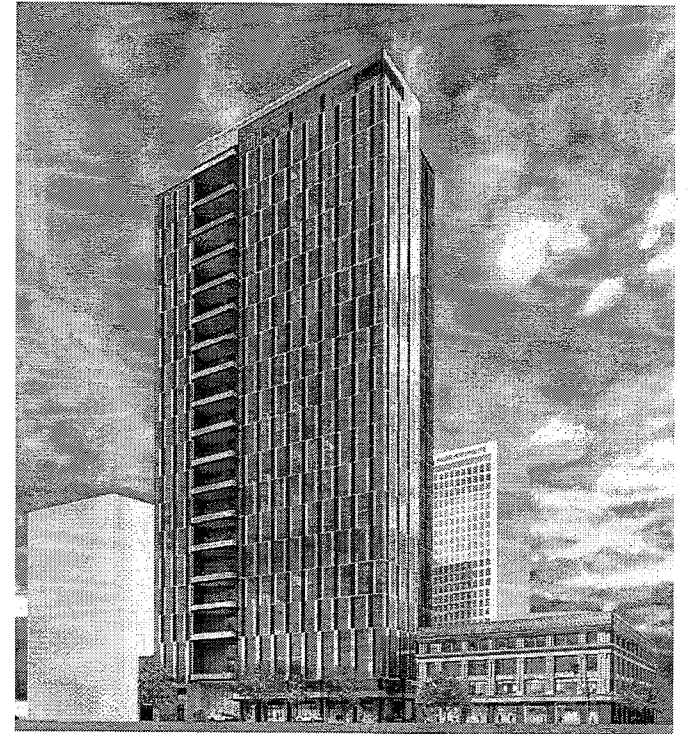
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# 1900 Broadway Oakland, CA

BEHRING

DESIGN REVIEW COMMISSION  
SUBMITTAL PACKAGE

02 - 16 - 2018



**Attachment A**

## **EXECUTIVE SUMMARY: COMPARISON OF CONCEPT TO PREVIOUSLY ENTITLED**

### **Building Massing**

- Same podium and tower configuration and orientation
- Tower floor footprint +/- 6% larger but more compact length and diagonal dimensions
- Same splitting architecturally of the Broadway and south facades to break down mass
- Smaller total above grade building mass (overall GSF)
- Smaller, shorter podium footprint, increasing size and quality of ground floor and street facing open space
- Reduced overall unit count
- Less than 11% increase in height from initial approved plan to accommodate replacement of podium level residential/parking with office and the addition of some larger family-oriented / affordable-by-sharing residential units (two floors added, two mezzanine levels subtracted)

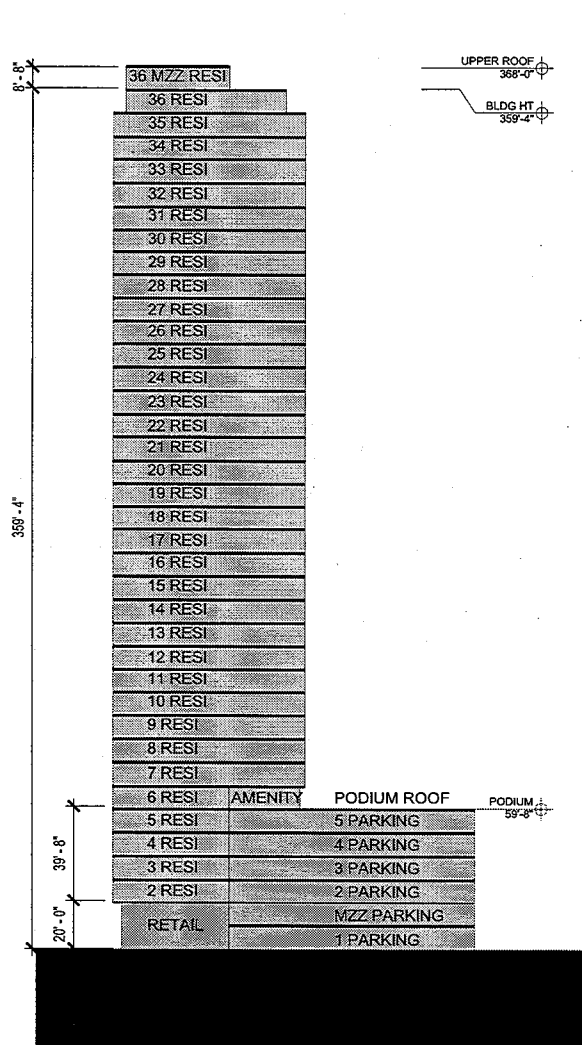
### **Streetfront/Open Space**

- Vastly improved retail depth by moving most parking below grade, creating deeper, higher quality retail and ground level open space
- Residential lobby elements moved deeper into the building, freeing up more Broadway frontage for retail use
- Additional outdoor cafe seating space created at recessed building core adjacent to retail
- Replaced podium floors of parking and residential units with office, creating more vibrant ground floor open space
- Pocket Park in same relative position but doubled in size and activated with direct and visual connections to retail and office use
- Large residential communal terraces and second floor continuous office terrace creates additional active use open spaces on Broadway

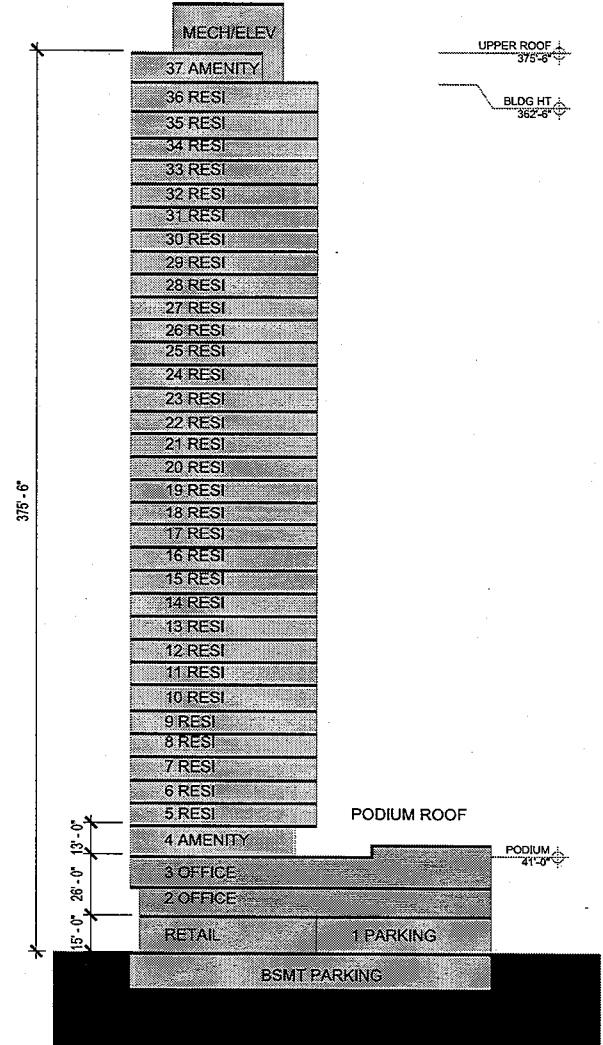
### **Architectural Design**

- Tower facade harmonized with a more uniform and higher-quality (curtain wall) facade upgrade throughout
- Architectural interest added with gentle angle at SW corner to pocket park, zipper of balconies leading up to rooftop "lantern" amenity crown

PLANNING/ENTITLEMENT COMPARISON*						
	APPROVED INITIAL	APPROVED 2016.03.25	CURRENT CONCEPT	TAPSCOTT	DELTA CHANGE FROM:	
					INITIAL	REVISED
HEIGHT**	330'-4" (to upper flr) 339'-0" (to upper roof)	359'-4" (to upper flr) 368'-0" (to upper roof)	363'-6" (to upper flr) 375'-6" (to upper roof)	-	10% 10.8%	1.1% 2.0%
STORIES	33 + 2 mezz (5 + mezz podium)	36 + 2 mezz (5 + mezz podium)	36 + rooftop amenity (3 level podium)	-	-	-
RESIDENTIAL UNITS	345	451	433 (as-of-right 90 sf/unit)	0	25.5%	-4.0%
OFFICE SPACE	0	25,000 SF	50,279 SF	25,000 SF	-	-
RETAIL SPACES	10,000 SF	25,000 SF	6,286 SF	15,000 SF	-	-
PARKING SPACES	333 spaces (all above grade)	338 spaces (all above grade)	171 spaces (30 at grade, 141 below)		-49%	-49.4%
TYPICAL TOWER FLOORPLATE	12,402 SF	12,580 SF	13,264 SF		6.9%	5.4%
MAX. TOWER LENGTH/DIAGONAL	194' L / 207'-7" DIAG.	194' L / 207'-7" DIAG.	185'-4" L / 192'-7" DIAG.		-4.4% / -7.2%	-4.4% / -7.2%
* Previous approvals include Tapscott; current approval bifurcates + separates site ** Previous approvals measured to floor of highest habitable level. Typ. zoning methodology shown to upper roof level - both shown for clarification						
TOTAL GSF TOWARD FAR	419,633 GSF	469,576 GSF	509,198 GSF (NEW) + 35,377 GSF (EXIST) = 544,575 GSF		29.8%	16.0%
TOTAL ABOVE GRADE GSF	537,454 GSF	586,675 GSF	523,584 GSF (NEW) + 35,377 GSF (EXIST) = 558,961 GSF		4.0%	-4.7%

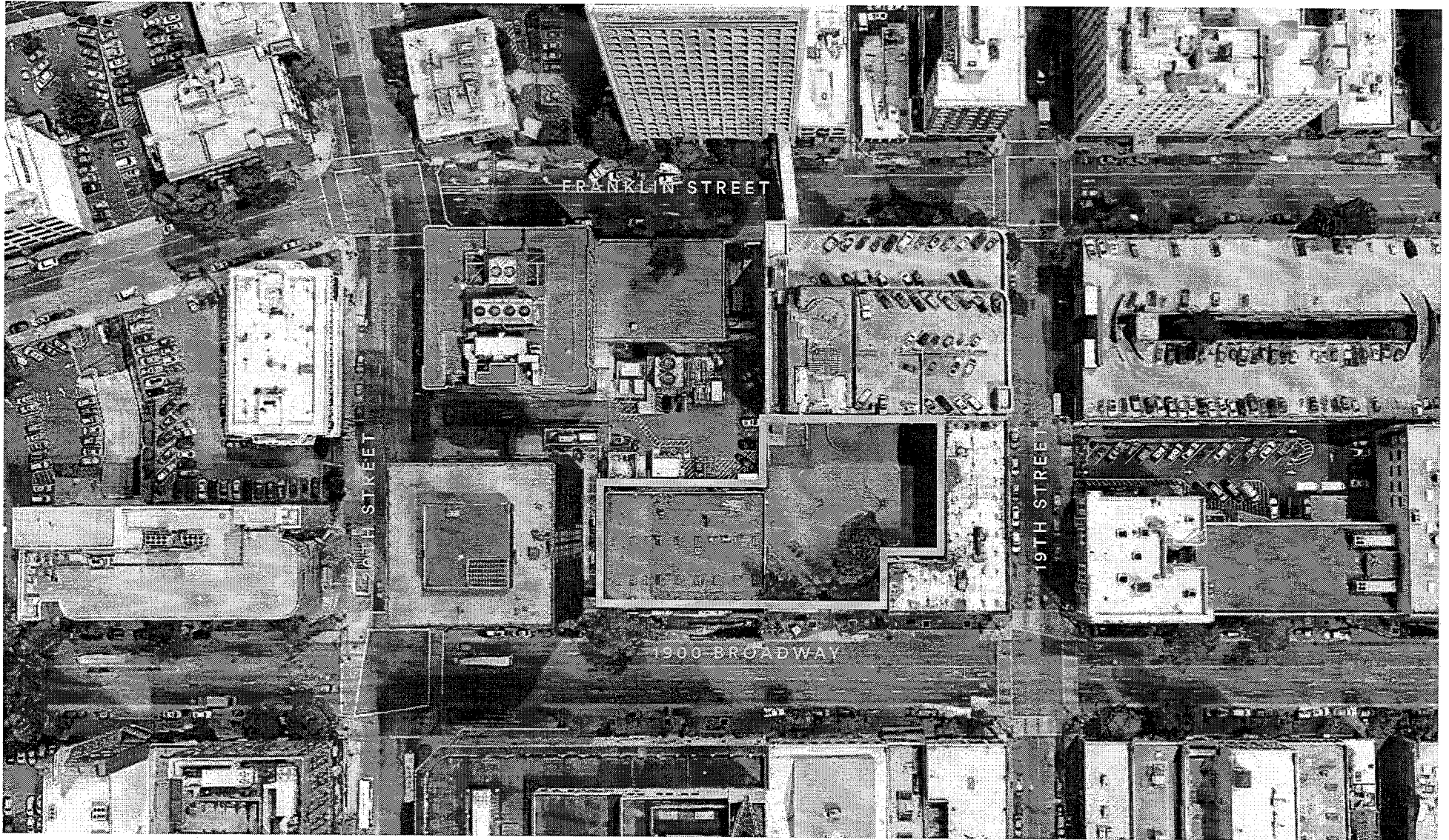


**ENTITLED BLDG SECTION**



**PROPOSED BLDG SECTION**

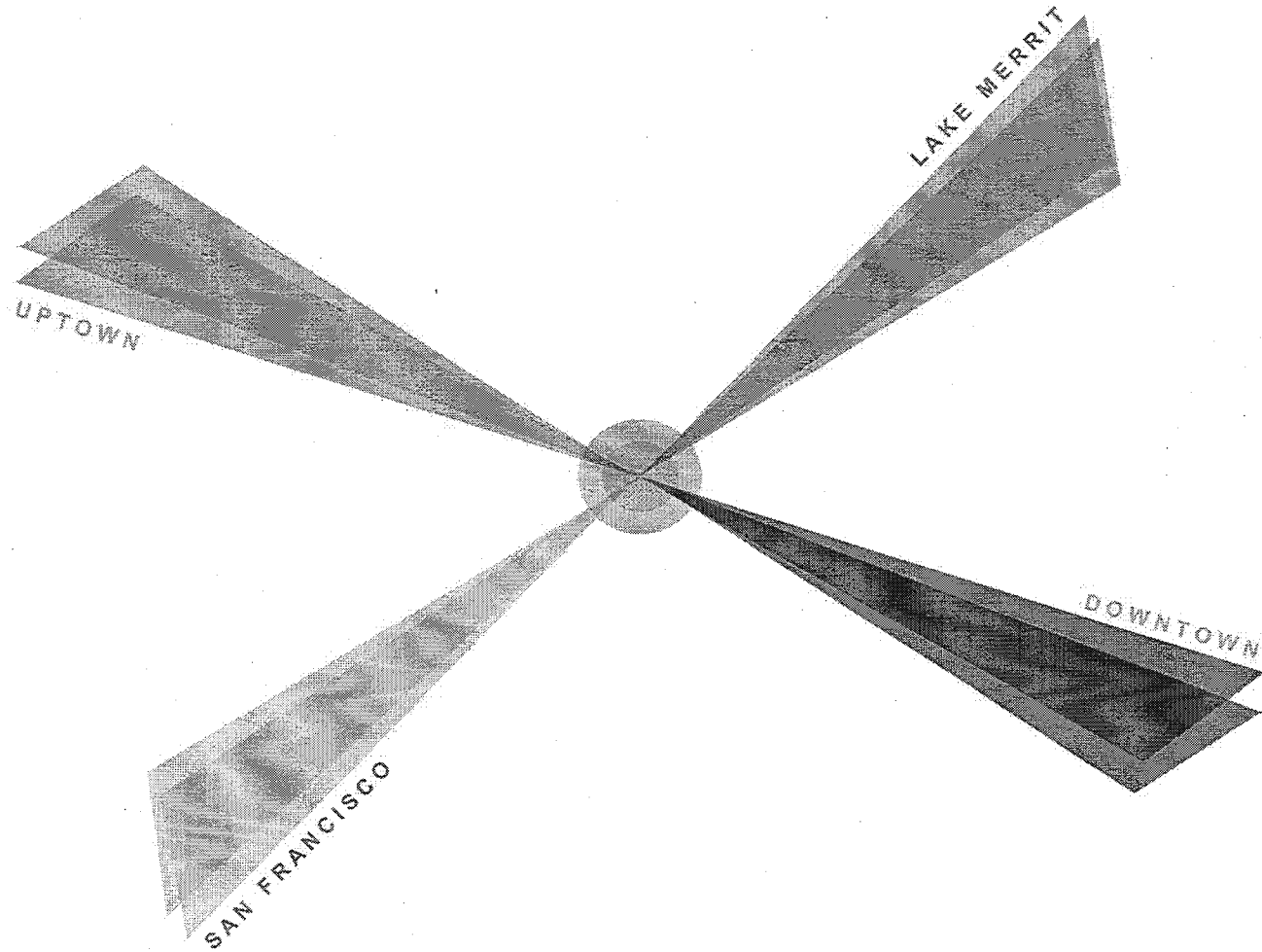


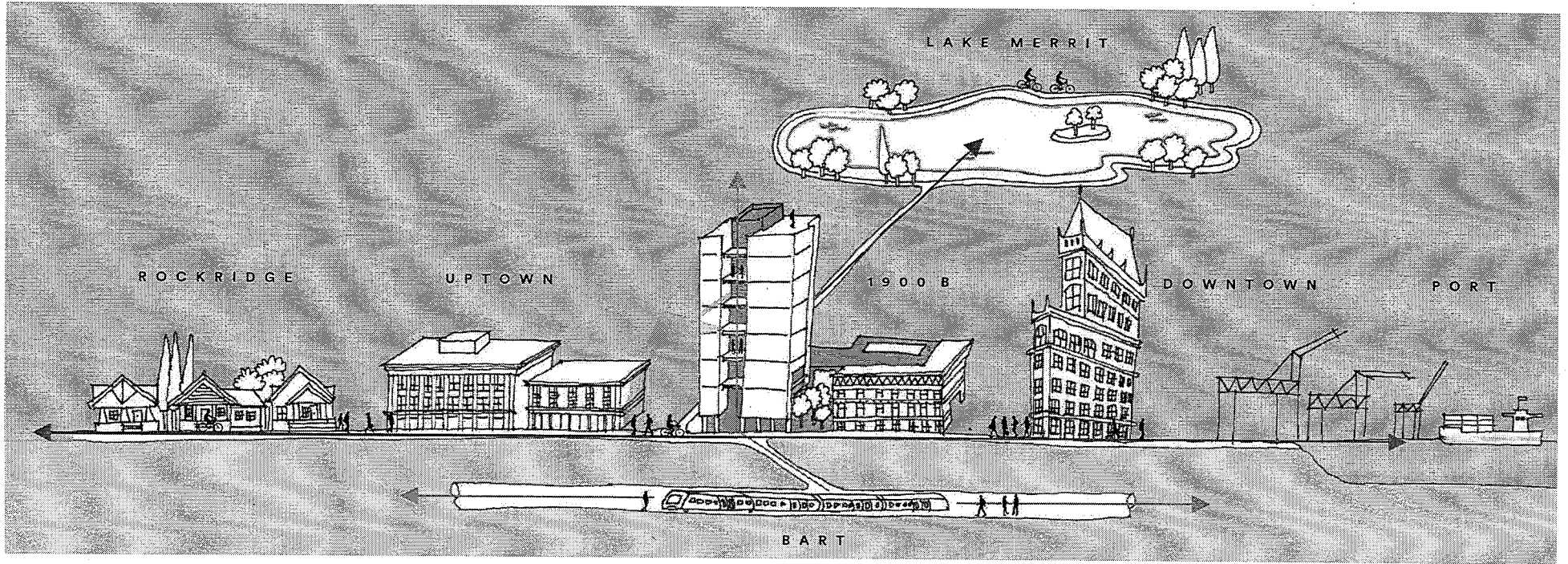


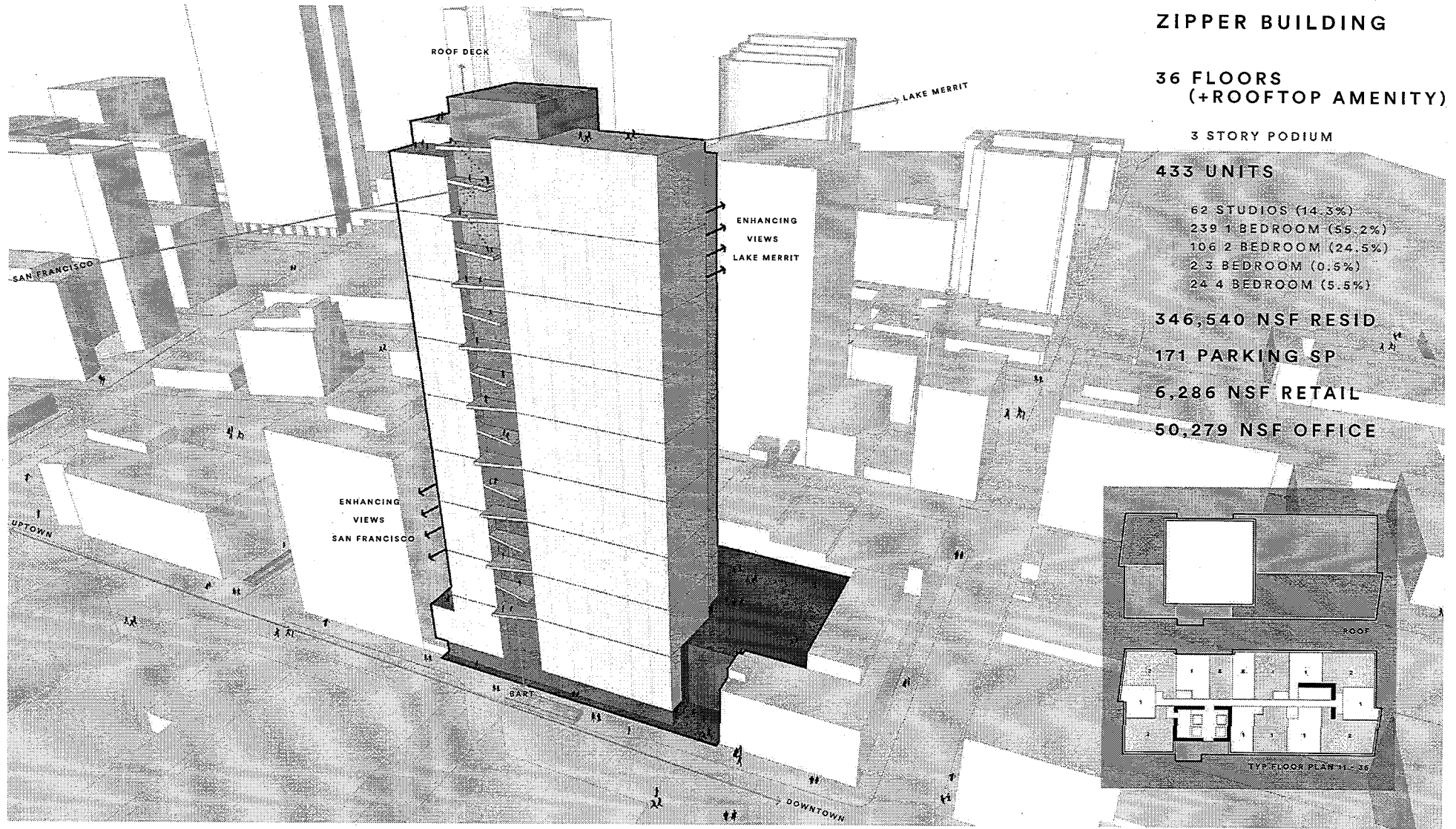
SITE AERIAL











# ZIPPER BUILDING

**36 FLOORS  
(+ROOFTOP AMENITY)**

**3 STORY PODIUM**

**433 UNITS**

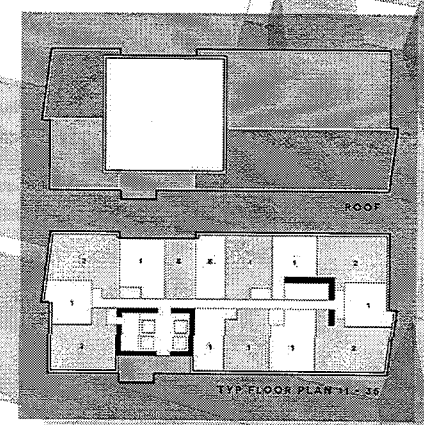
- 62 STUDIOS (14.3%)
- 239 1 BEDROOM (55.2%)
- 106 2 BEDROOM (24.5%)
- 2 3 BEDROOM (0.5%)
- 24 4 BEDROOM (5.5%)

**346,540 NSF RESID**

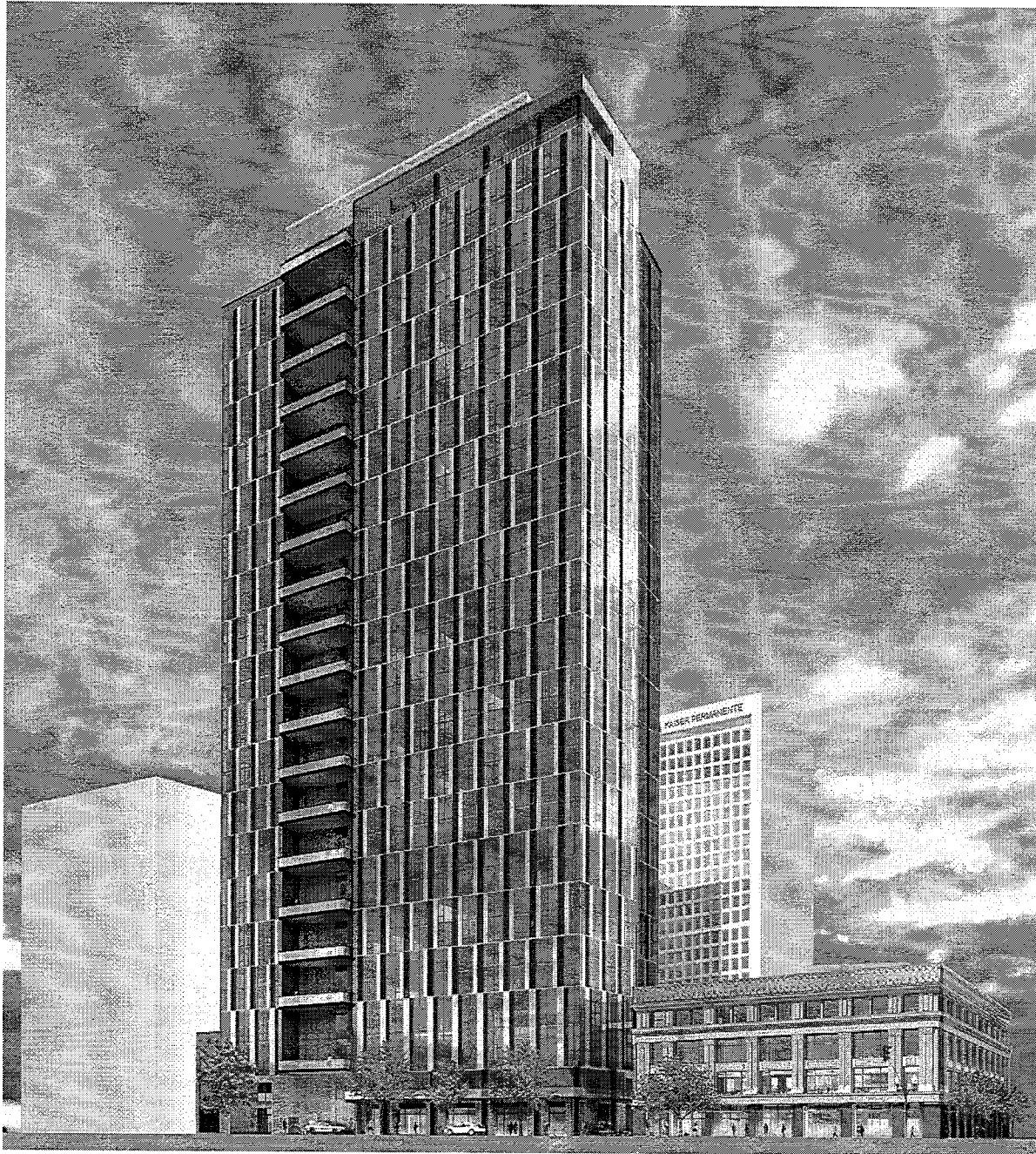
**171 PARKING SP**

**6,286 NSF RETAIL**

**50,279 NSF OFFICE**



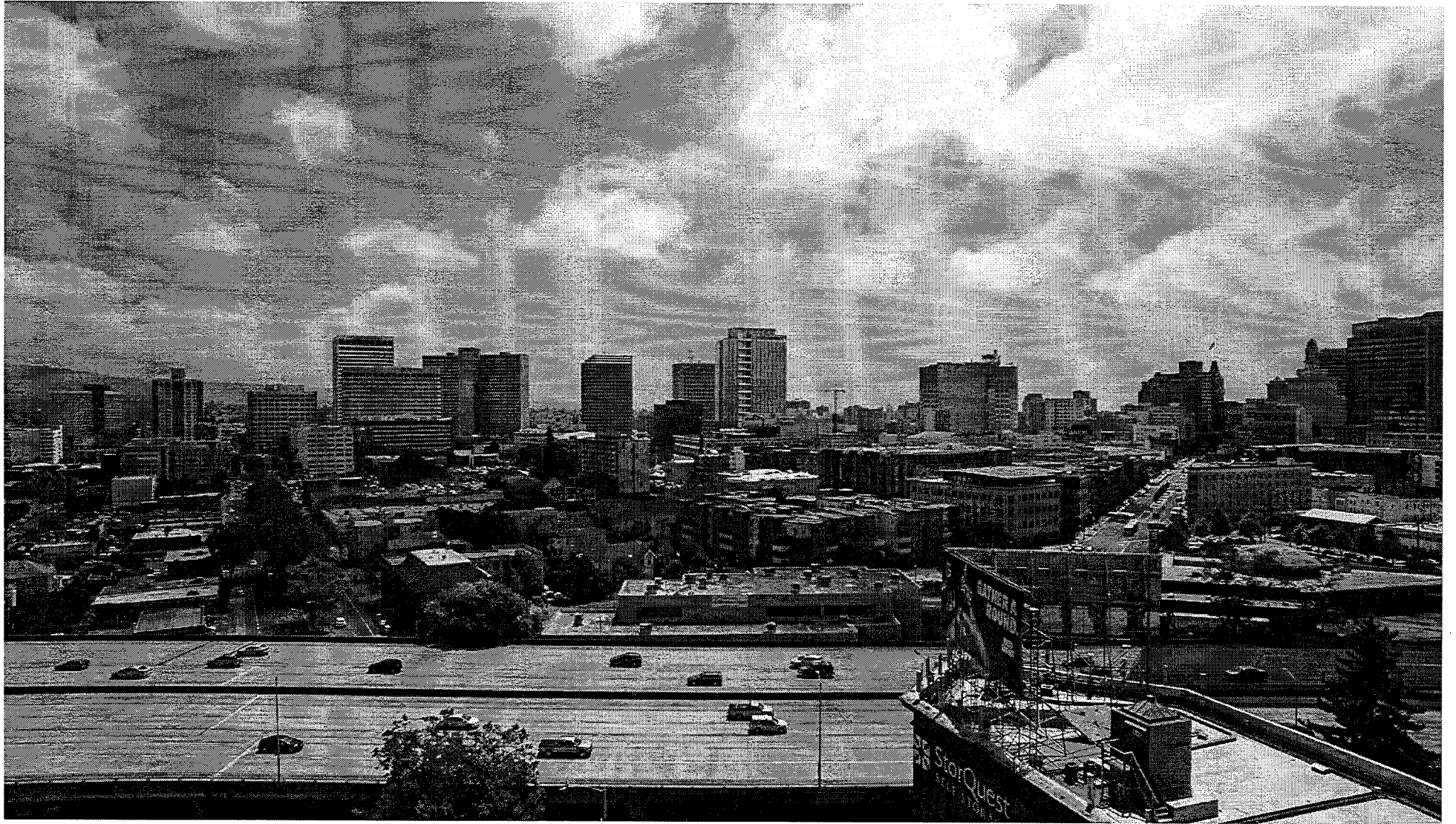




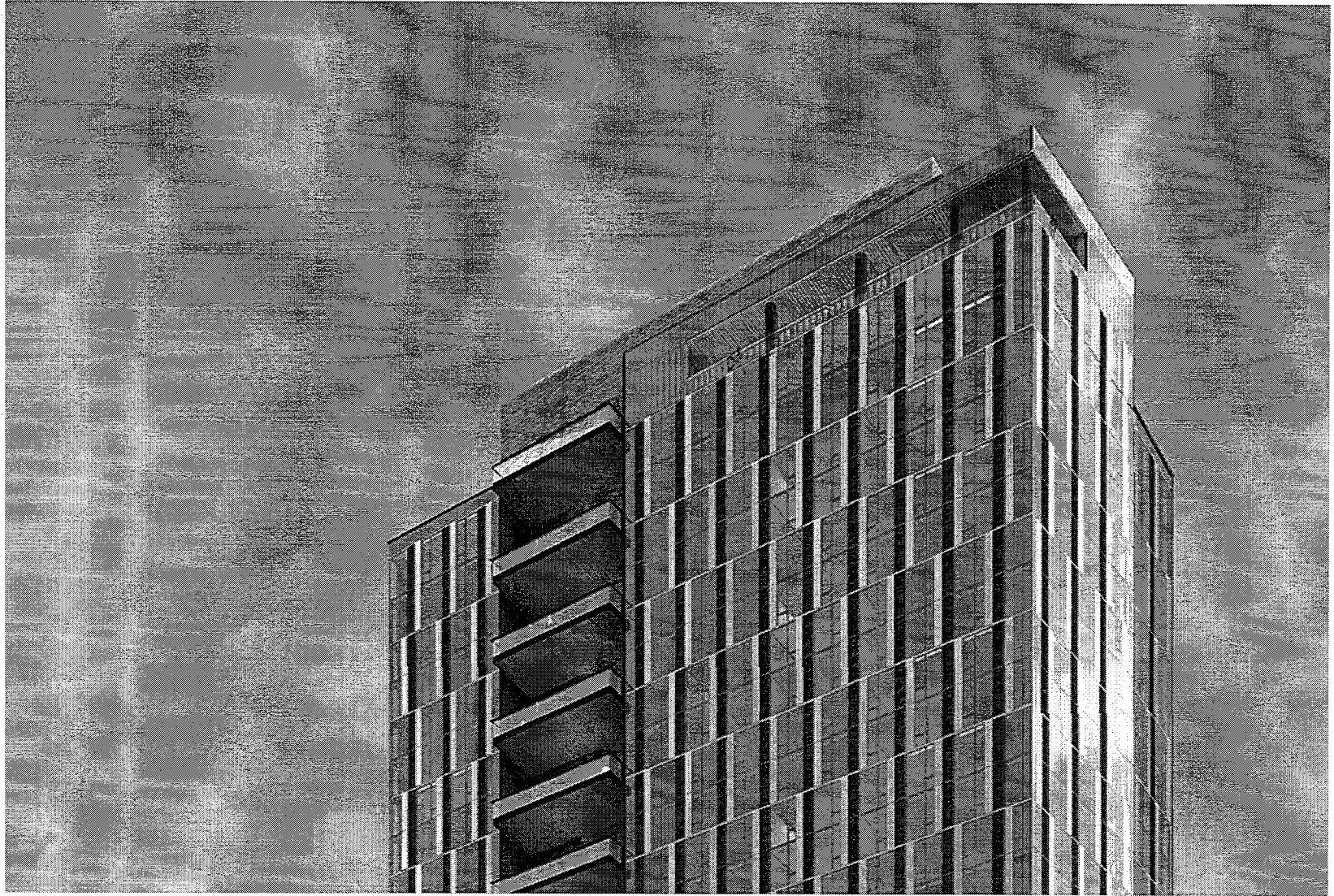


VIEW FROM LAKE MERRITT

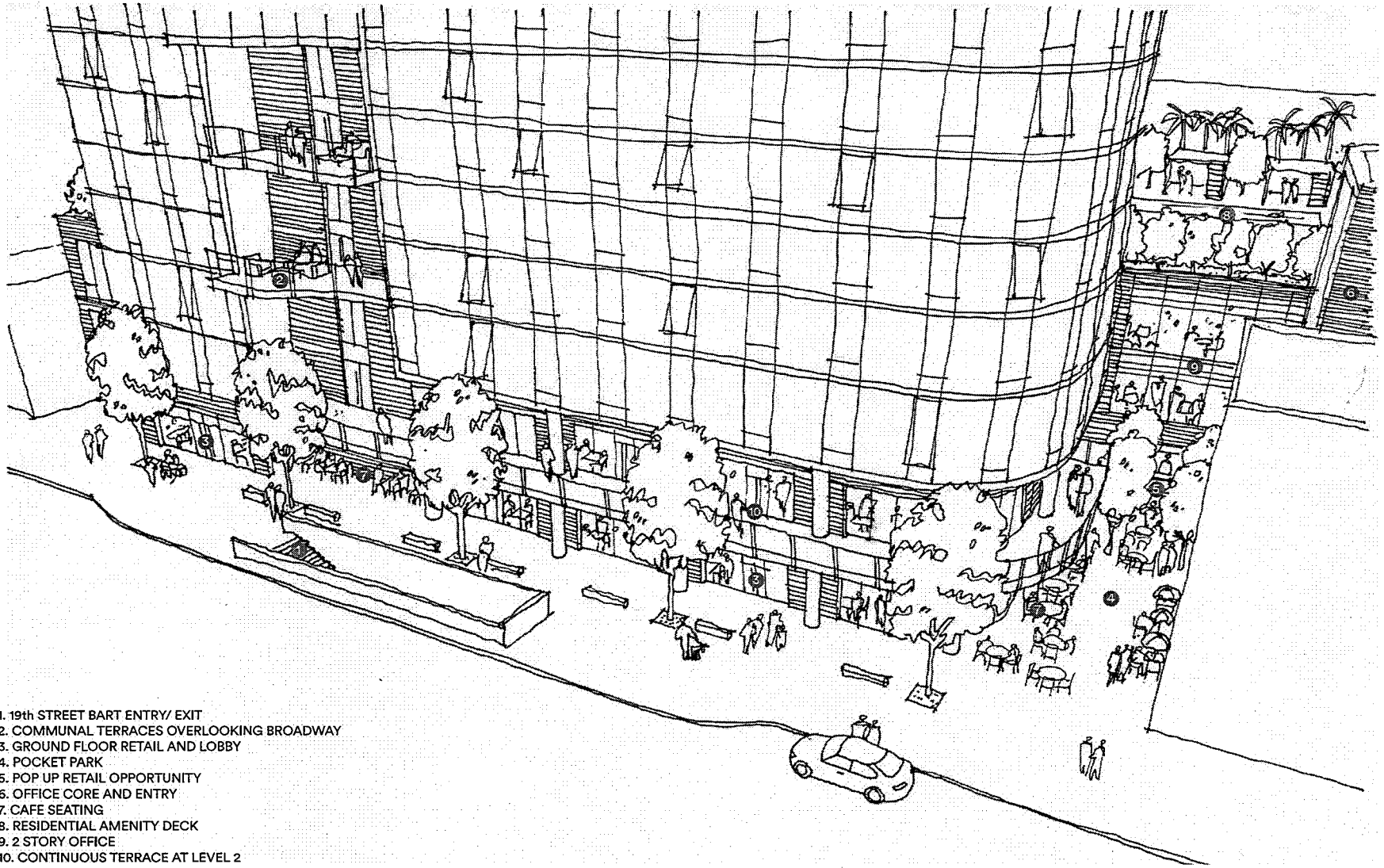




VIEW FROM HWY 980



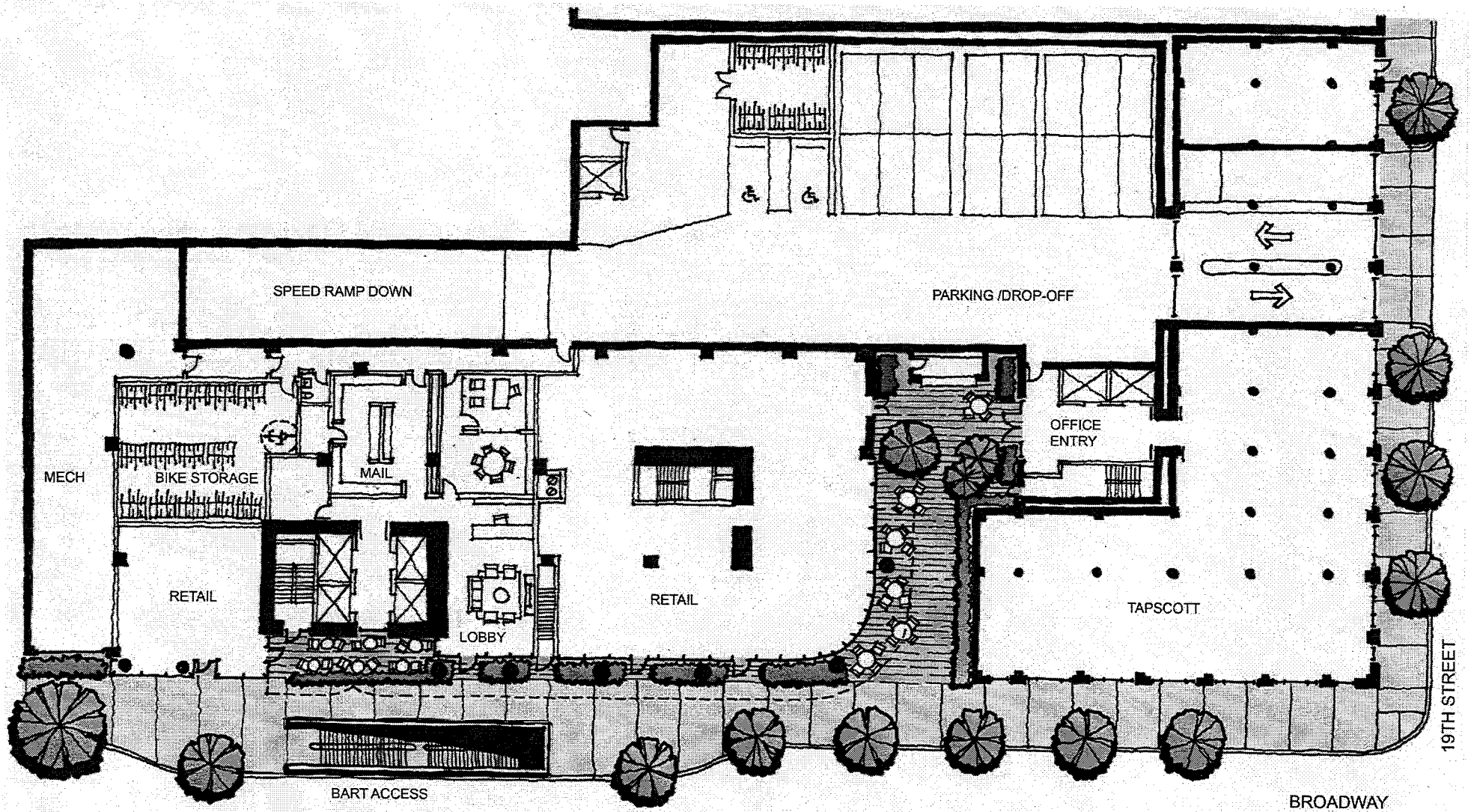
**BUILDING CROWN PERSPECTIVE**



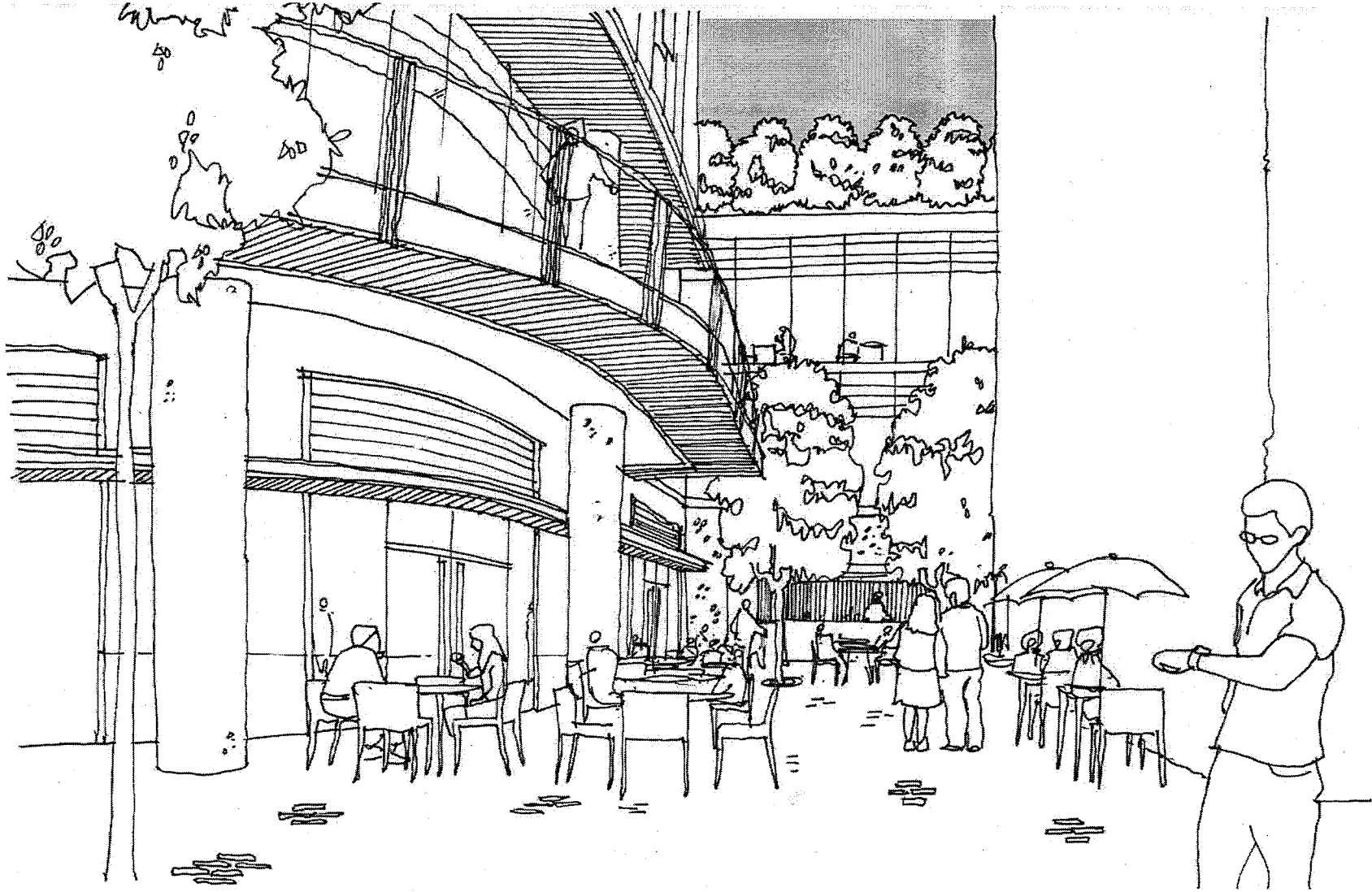
1. 19th STREET BART ENTRY/ EXIT
2. COMMUNAL TERRACES OVERLOOKING BROADWAY
3. GROUND FLOOR RETAIL AND LOBBY
4. POCKET PARK
5. POP UP RETAIL OPPORTUNITY
6. OFFICE CORE AND ENTRY
7. CAFE SEATING
8. RESIDENTIAL AMENITY DECK
9. 2 STORY OFFICE
10. CONTINUOUS TERRACE AT LEVEL 2

## GROUND FLOOR EXPERIENCE





GROUND FLOOR EXPERIENCE



POCKET PARK

CONCEPT STREETSCAPE - 15









**MATERIALS KEY:**

- MT-1 ACCENT MASONRY CLADDING
- MT-2 HIGH PERFORMANCE INSULATED GLAZING + ALUM CURTAIN WALL SYSTEM
- MT-3 SPANDREL GLAZING PANEL (LIGHT ACCENT COLOR FINISH)
- MT-4 INTEGRATED LOUVER PANEL (MED-DARK FINISH)
- MT-5 PREFINISHED ALUM WINDOW FRAME (MED-DARK FINISH)
- MT-6 CONC/CMU BLOCK WALL W/ SKIM COAT FINISH
- MT-7 METAL PANEL COLUMN COVER (MED-DARK FINISH)
- MT-8 METAL AND GLASS GUARDRAIL
- MT-9 WOOD PANEL / SOFFIT

**BUILDING STREETFRONT MATERIAL PALETTE**

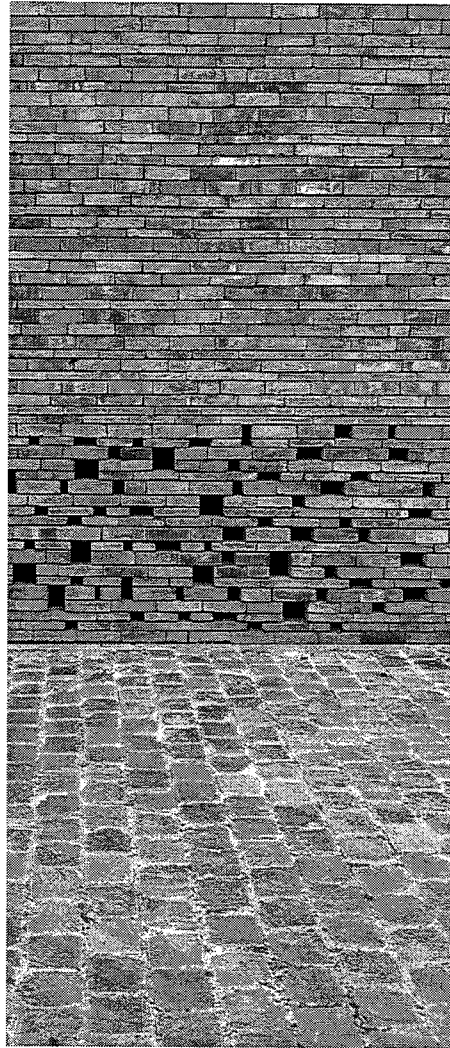




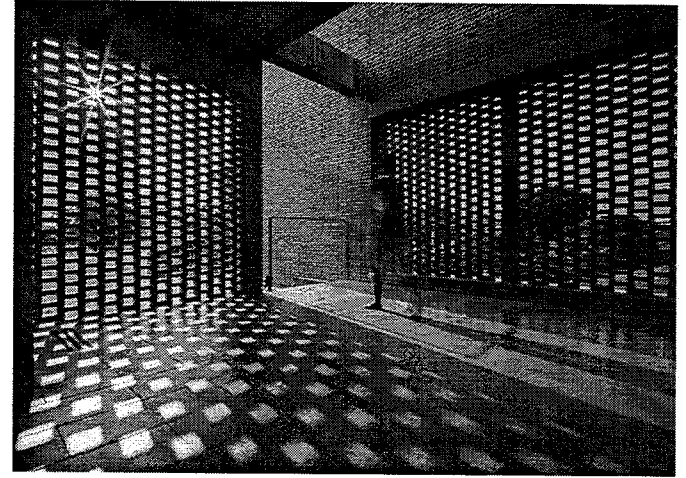
LIGHT GRAY NORMAN MODULE BRICK WITH WARM ACCENT TONES AT CORE



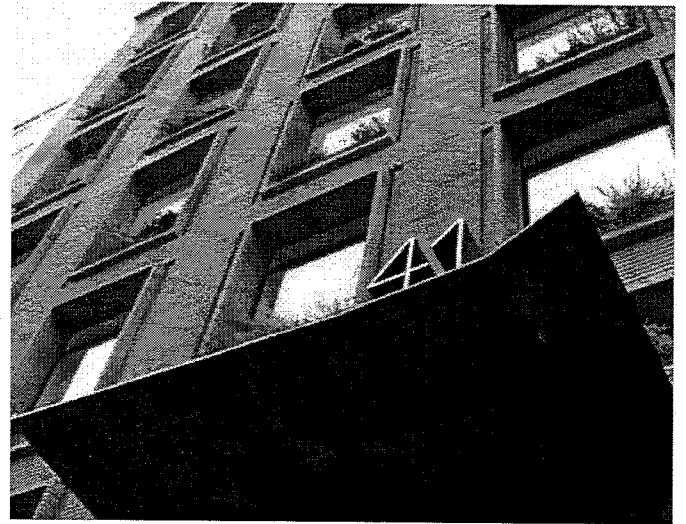
MATERIALS PRECEDENT - STREETFRONT AND ZIPPER



LIGHT GRAY BRICK AND PAVERS AT BASE AND POCKET PARK



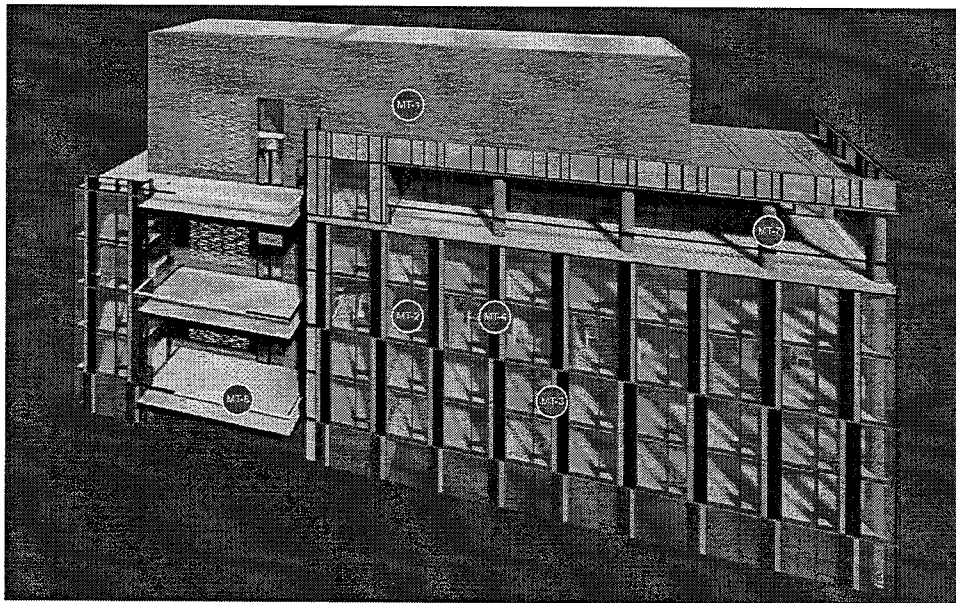
LIGHT DIFFUSING BRICK "LATTICE" WALL



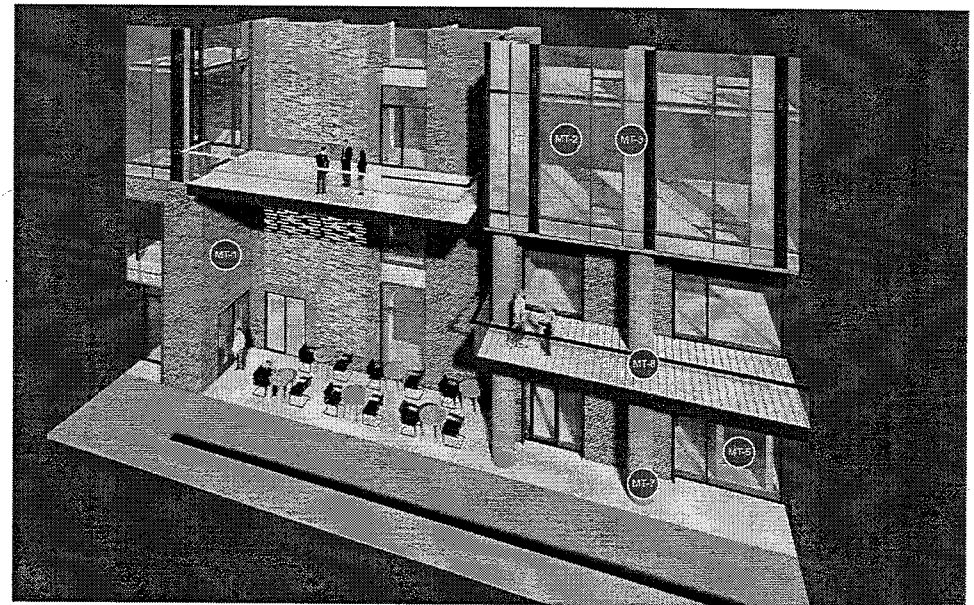
ARTICULATED DETAIL AT STOREFRONT OPENING SURROUNDS







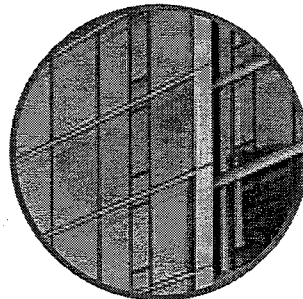
ROOFTOP AMENITY LEVEL TERRACE AND SHARED BALCONIES AT EVERY OTHER FLOOR



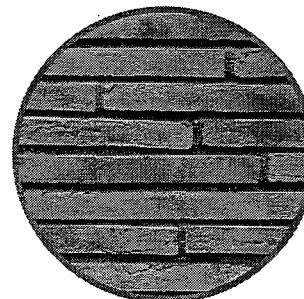
RETAIL STREET FRONTAGE AND OFFICES ABOVE WITH CAFE SEATING, EXPANSIVE STOREFRONTS AND WIDE TERRACES

**MATERIALS KEY:**

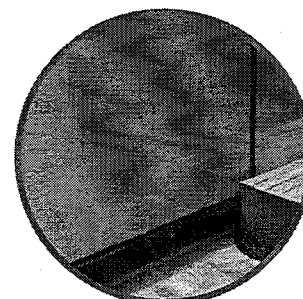
- MT-1 ACCENT MASONRY CLADDING
- MT-2 HIGH PERFORMANCE INSULATED GLAZING + ALUM CURTAIN WALL SYSTEM
- MT-3 SPANDREL GLAZING PANEL (LIGHT ACCENT COLOR FINISH)
- MT-4 INTEGRATED LOUVER PANEL (MED-DARK FINISH)
- MT-5 PREFINISHED ALUM WINDOW FRAME (MED-DARK FINISH)
- MT-6 CONC/CMU BLOCK WALL W/ SKIM COAT FINISH
- MT-7 METAL PANEL COLUMN COVER (MED-DARK FINISH)
- MT-8 METAL AND GLASS GUARDRAIL
- MT-9 WOOD PANEL / SOFFIT



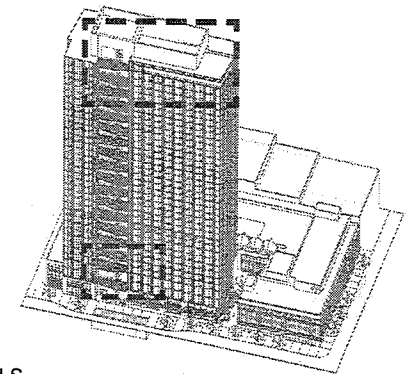
HIGH PERFORMANCE CURTAIN WALL SYSTEM



LIGHT GRAY NORMAN BRICK AT VERTICAL "ZIPPER"

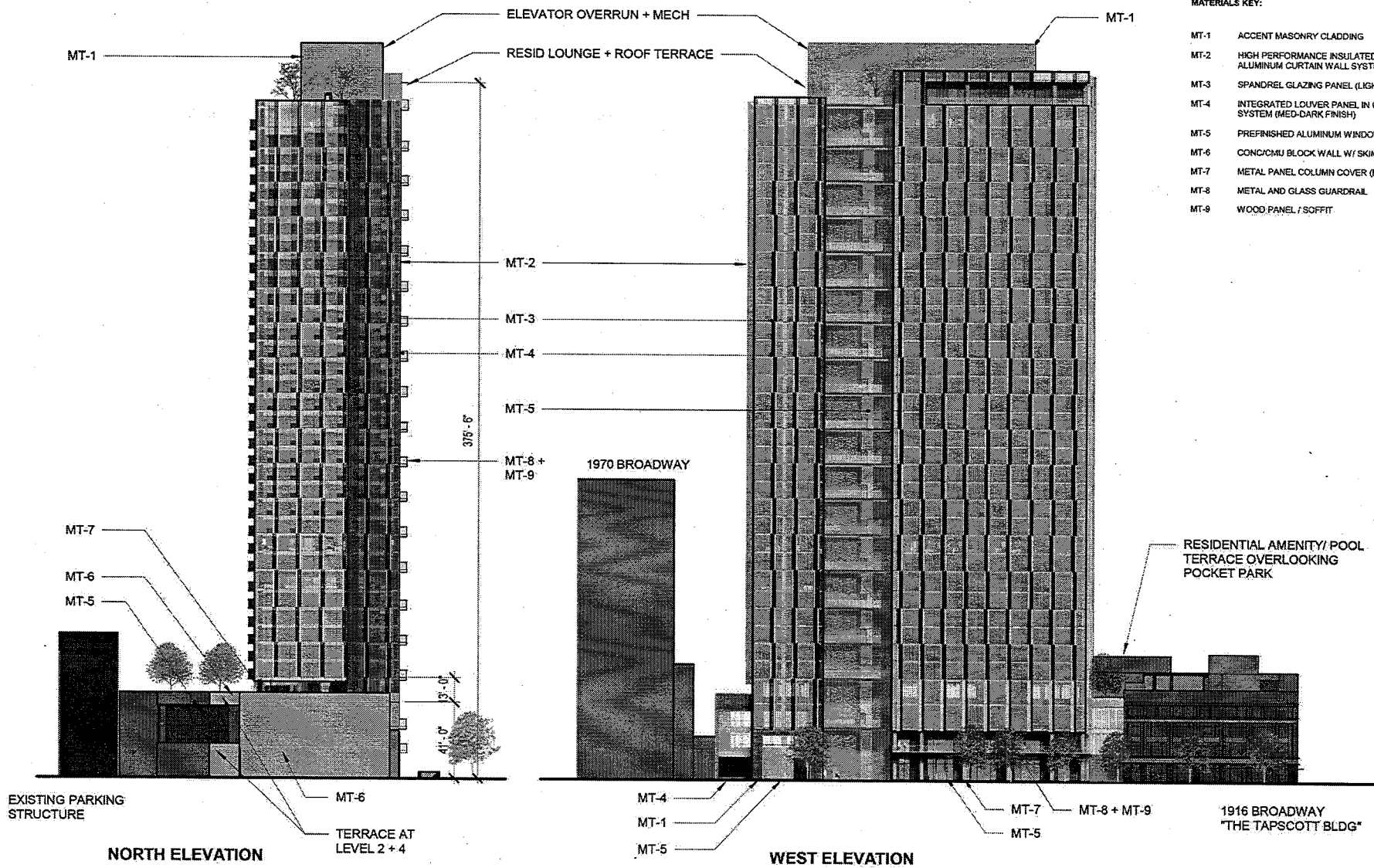


TACTILE PAVING SURFACES PAIRED WITH ACCENT MATERIALS



**MATERIAL APPLICATIONS**





**MATERIALS KEY:**

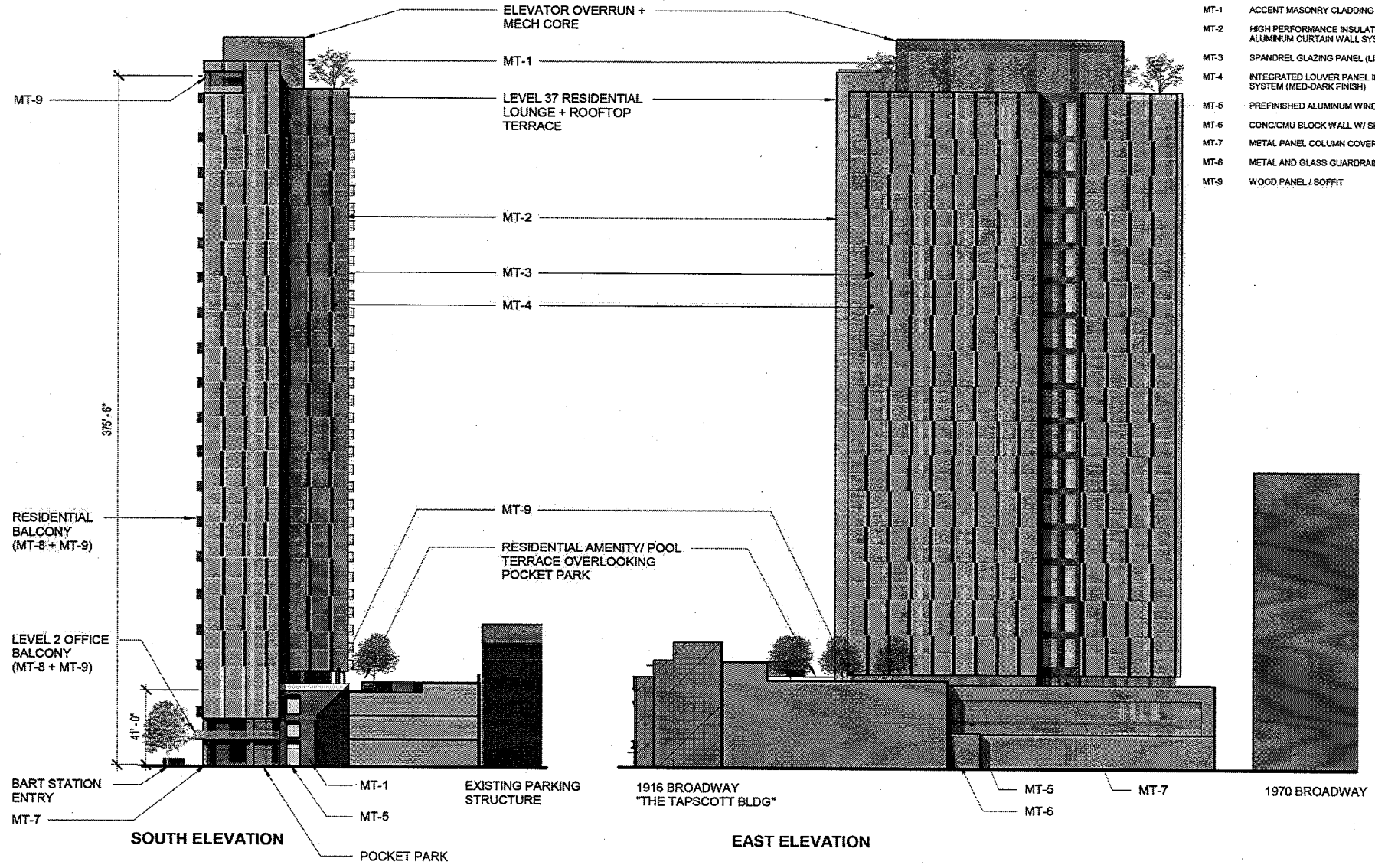
- MT-1 ACCENT MASONRY CLADDING
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- MT-3 SPANDREL GLAZING PANEL (LIGHT ACCENT COLOR FINISH)
- MT-4 INTEGRATED LOUVER PANEL IN CURTAIN WALL SYSTEM (MED-DARK FINISH)
- MT-5 PREFINISHED ALUMINUM WINDOW FRAME (MED-DARK FINISH)
- MT-6 CONG/CMU BLOCK WALL W/ SKIM COAT FINISH
- MT-7 METAL PANEL COLUMN COVER (MED-DARK FINISH)
- MT-8 METAL AND GLASS GUARDRAIL
- MT-9 WOOD PANEL / SOFFIT

**ELEVATIONS NORTH + WEST**



**MATERIALS KEY:**

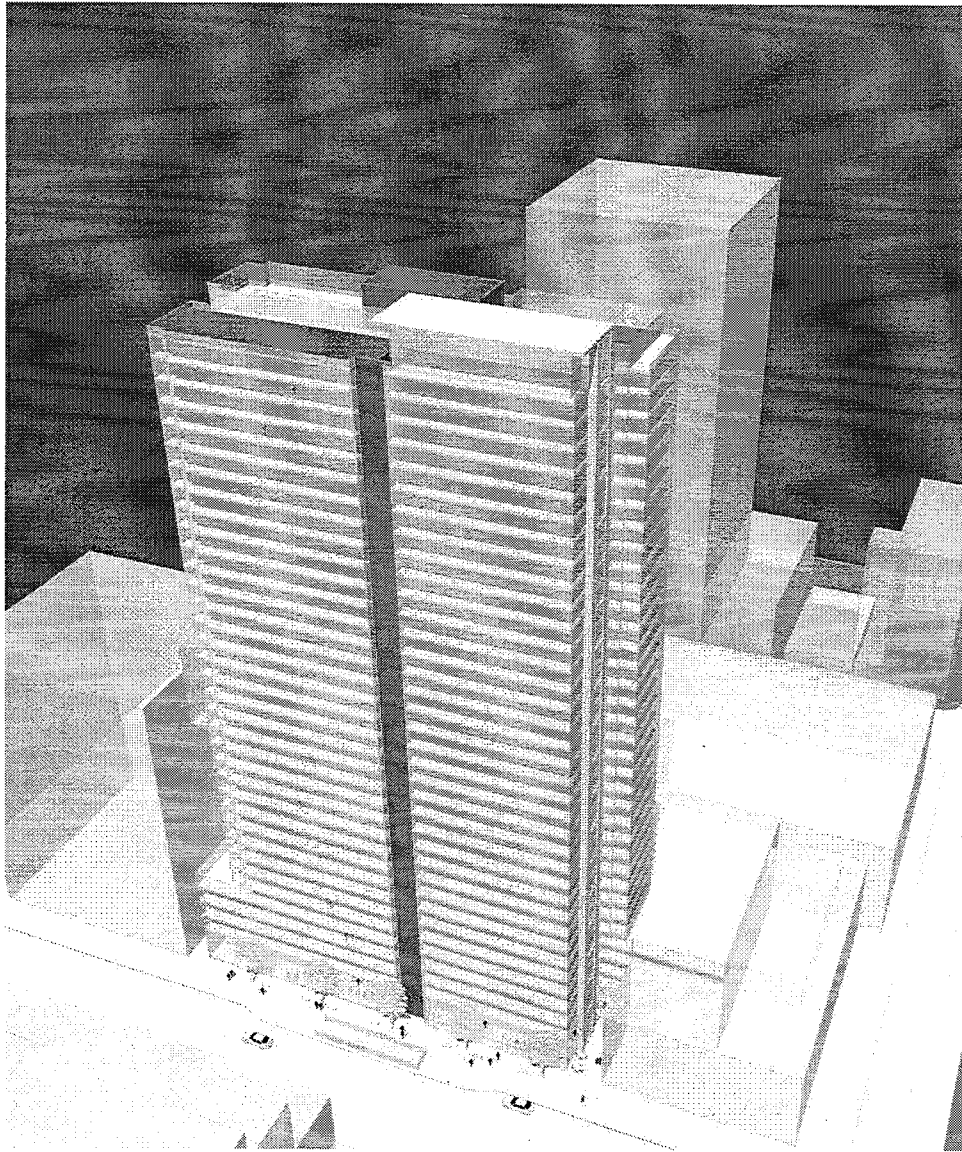
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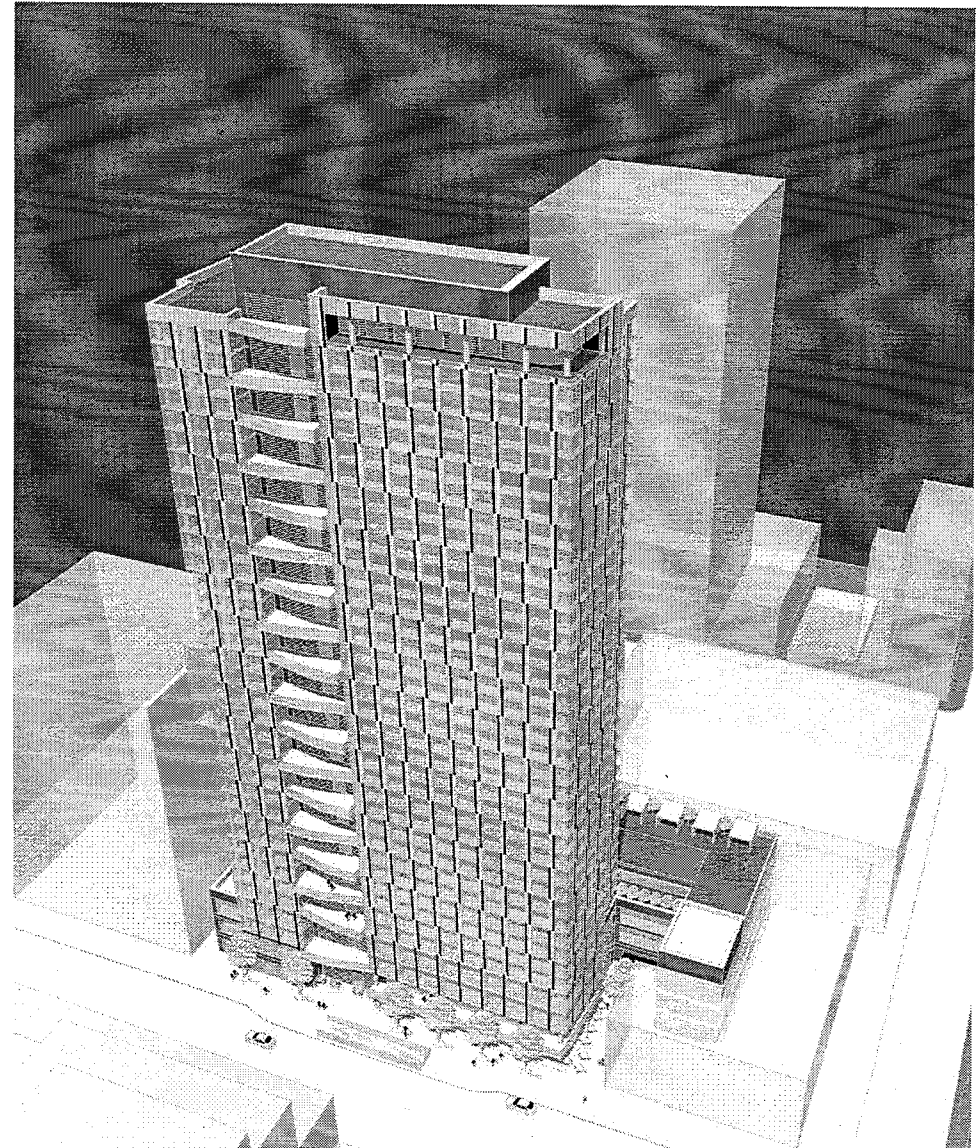
**ELEVATIONS SOUTH + EAST**



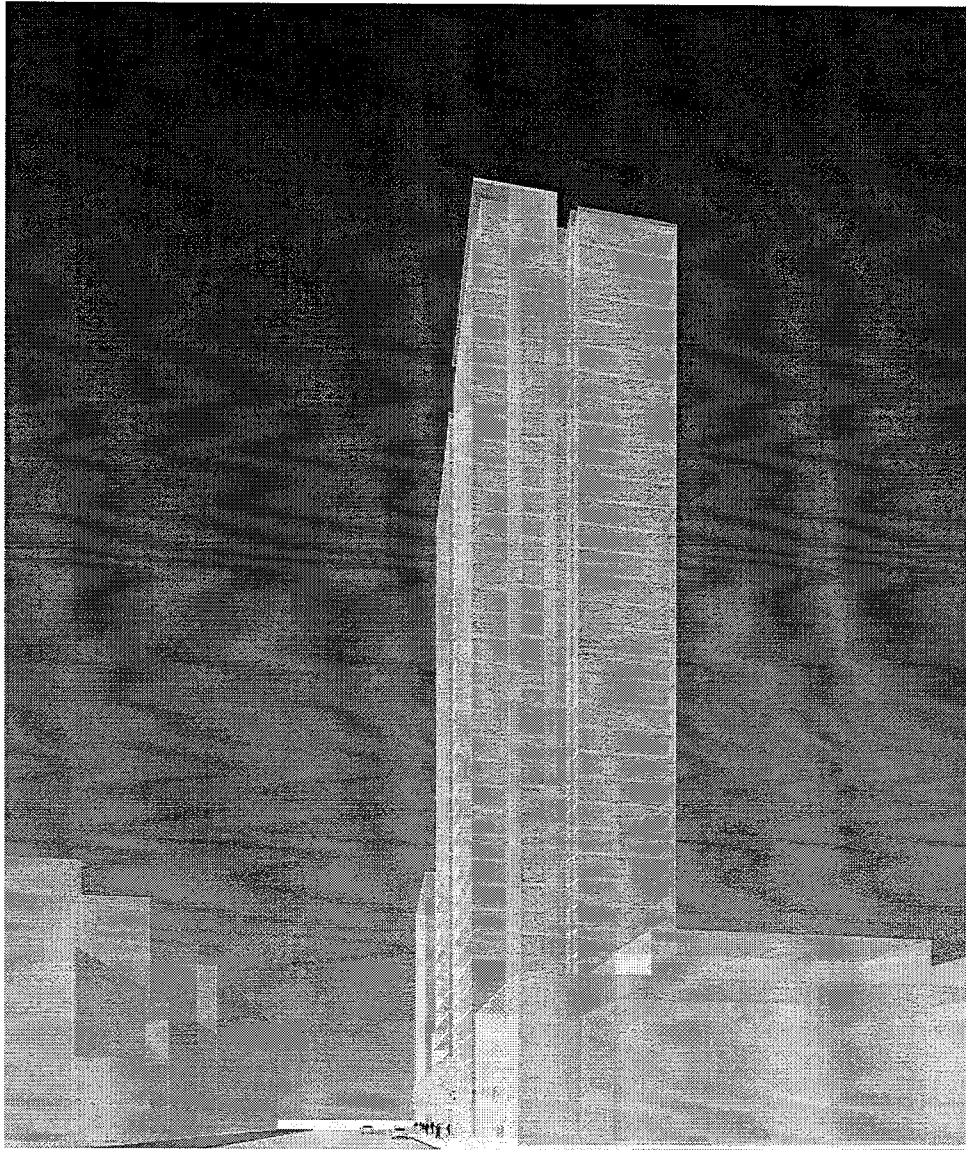




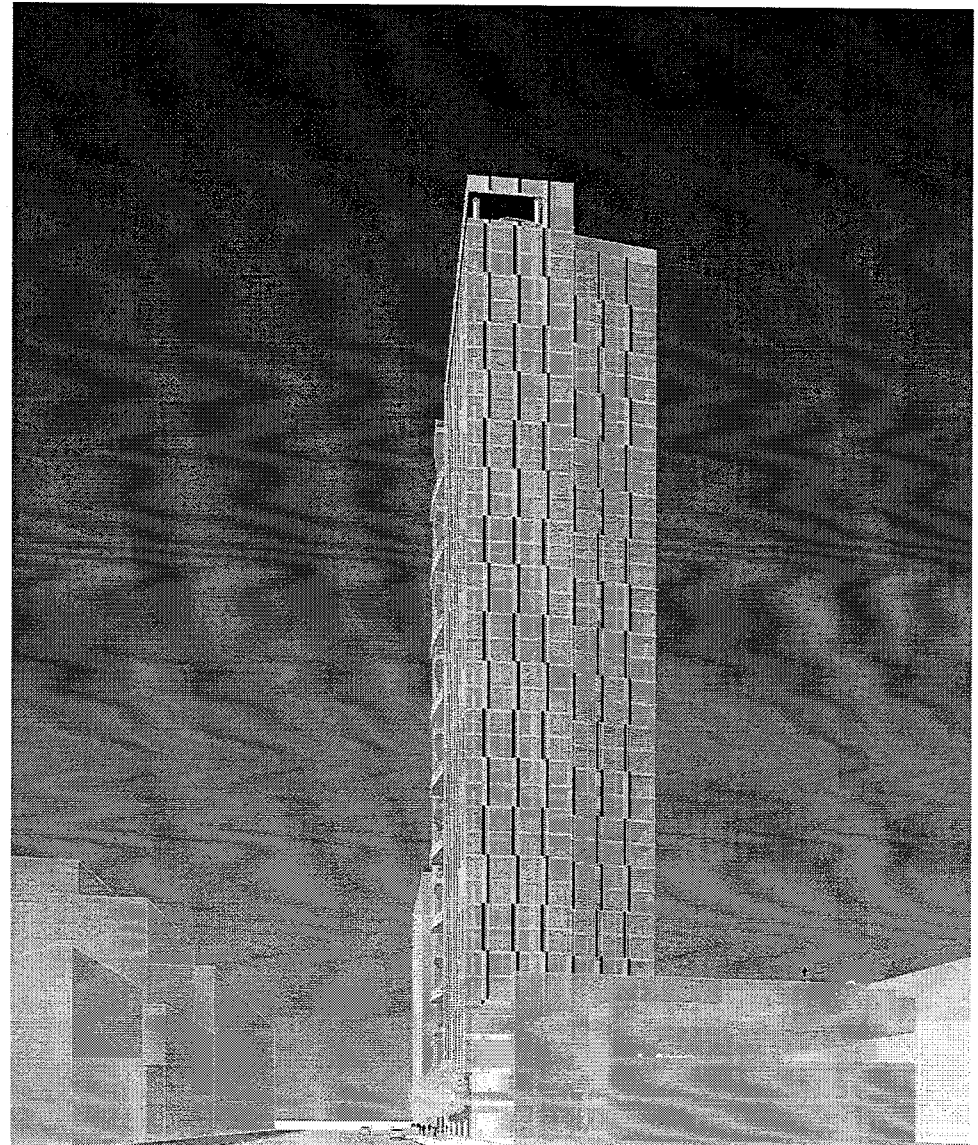
PREVIOUSLY APPROVED ENTITLED



CURRENT PROPOSAL

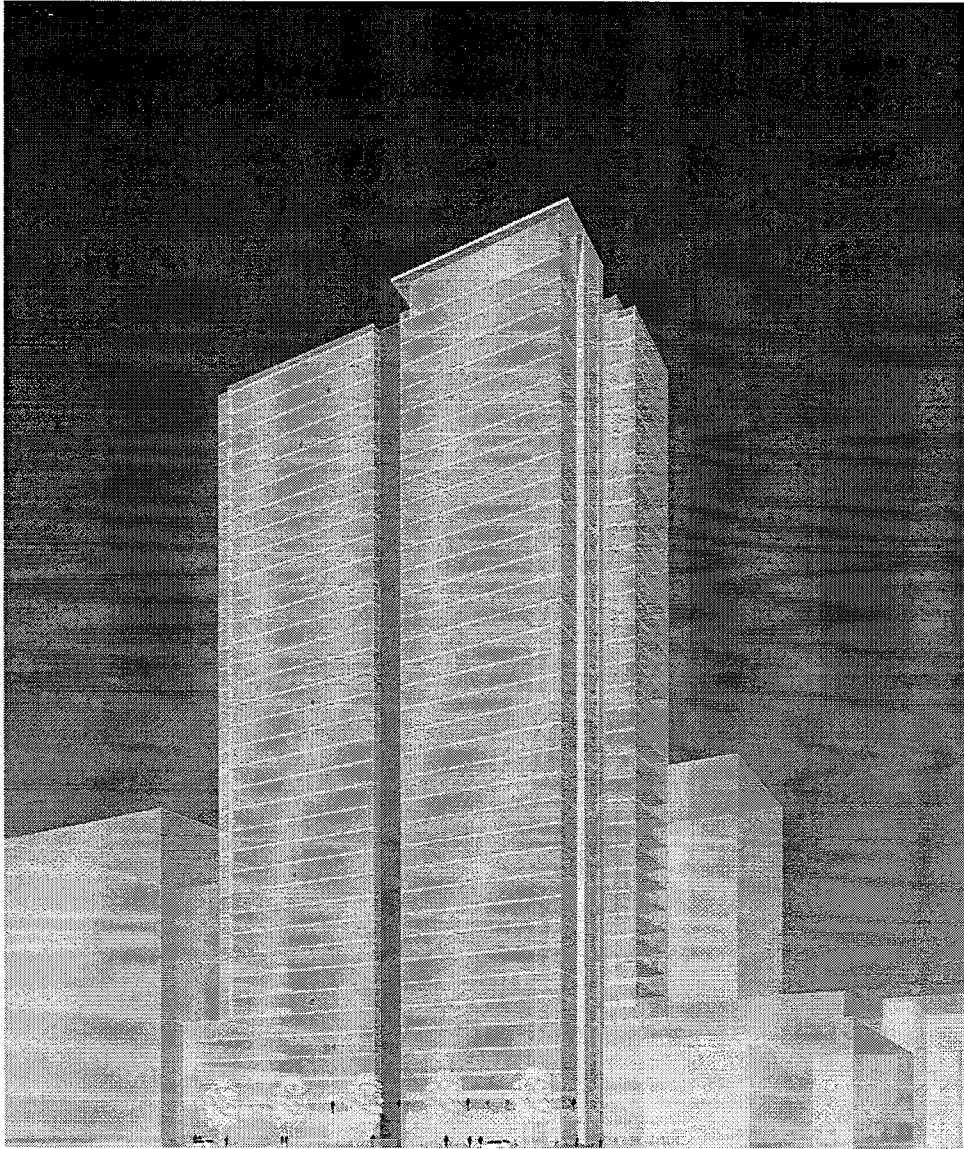


PREVIOUSLY APPROVED ENTITLED

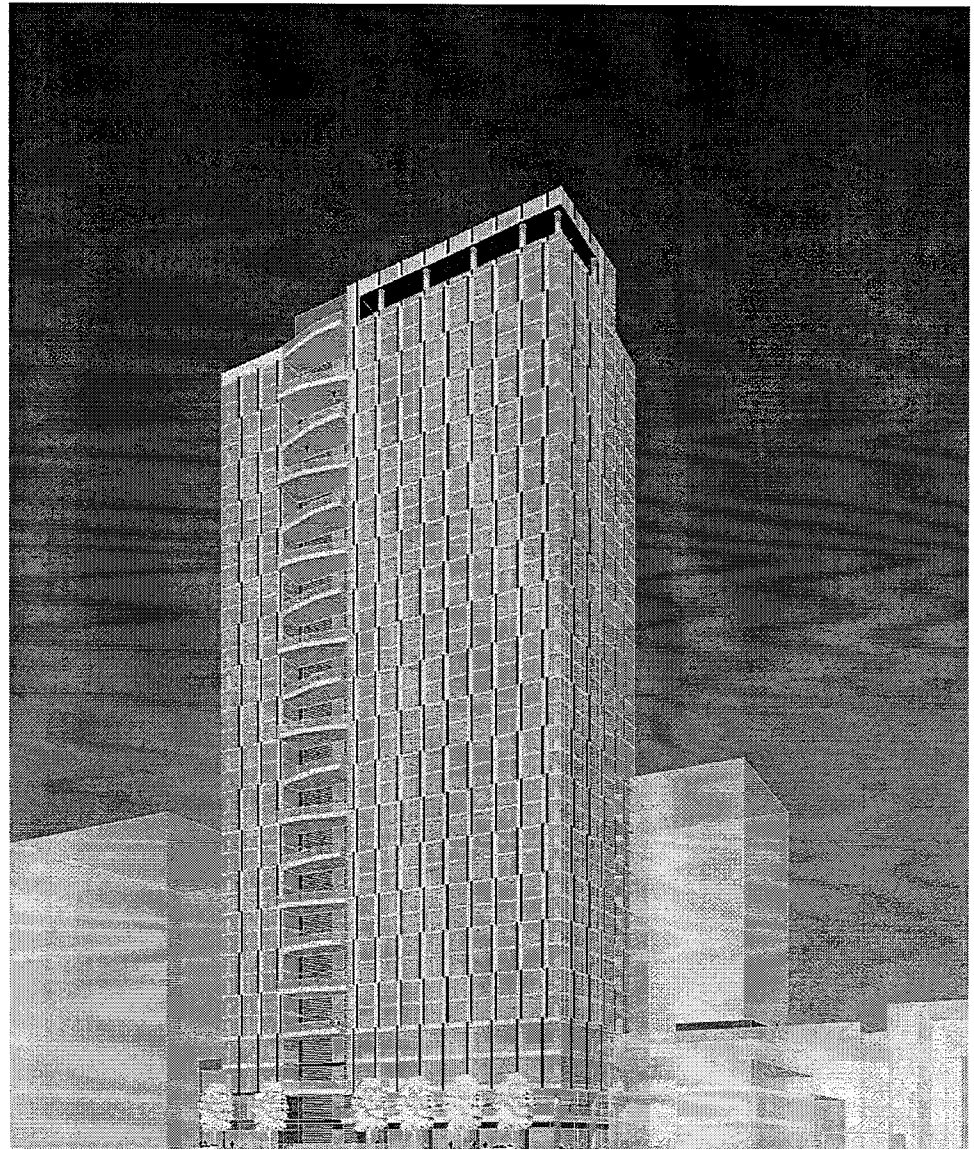


CURRENT PROPOSAL

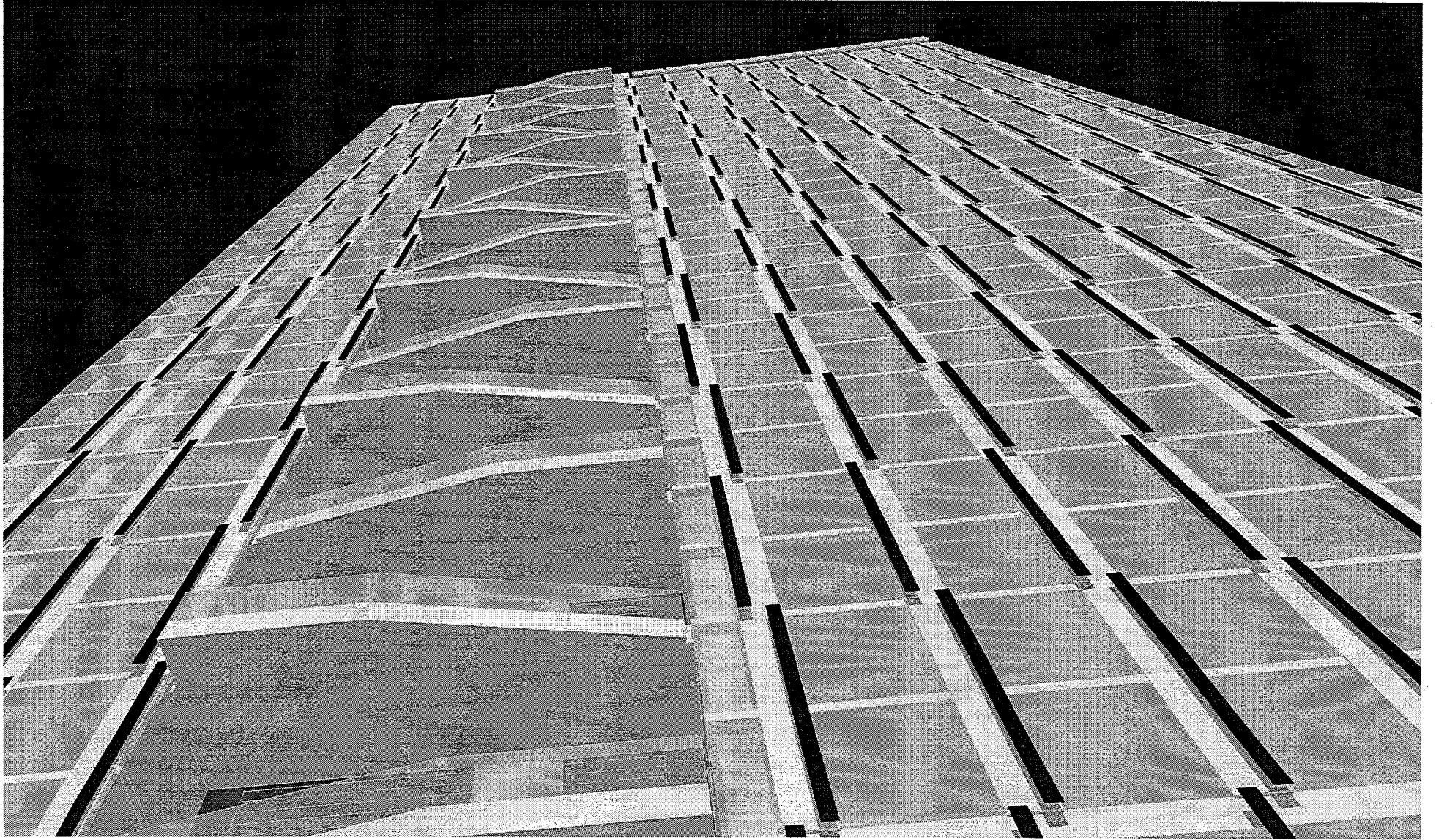




PREVIOUSLY APPROVED ENTITLED

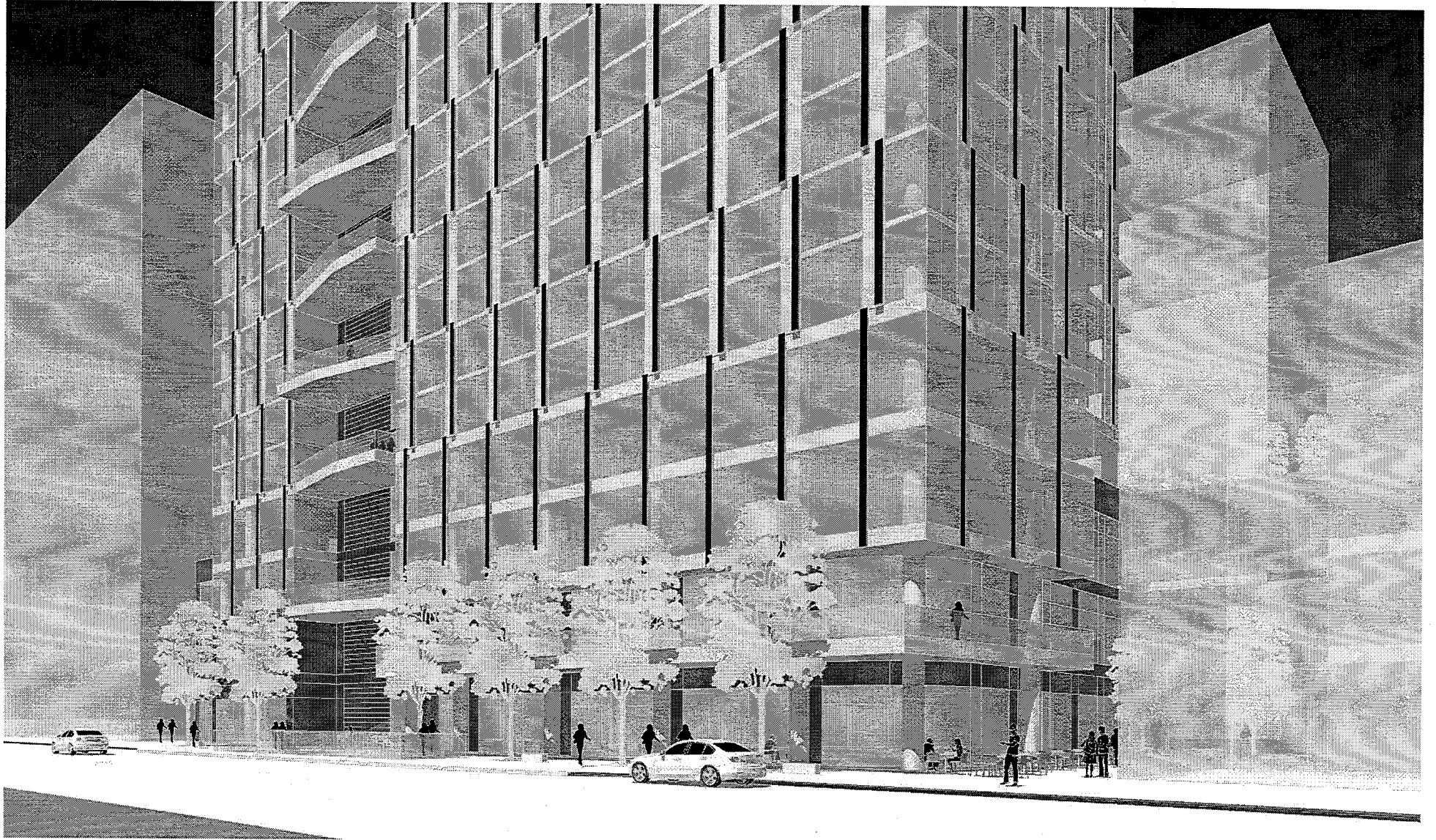


CURRENT PROPOSAL

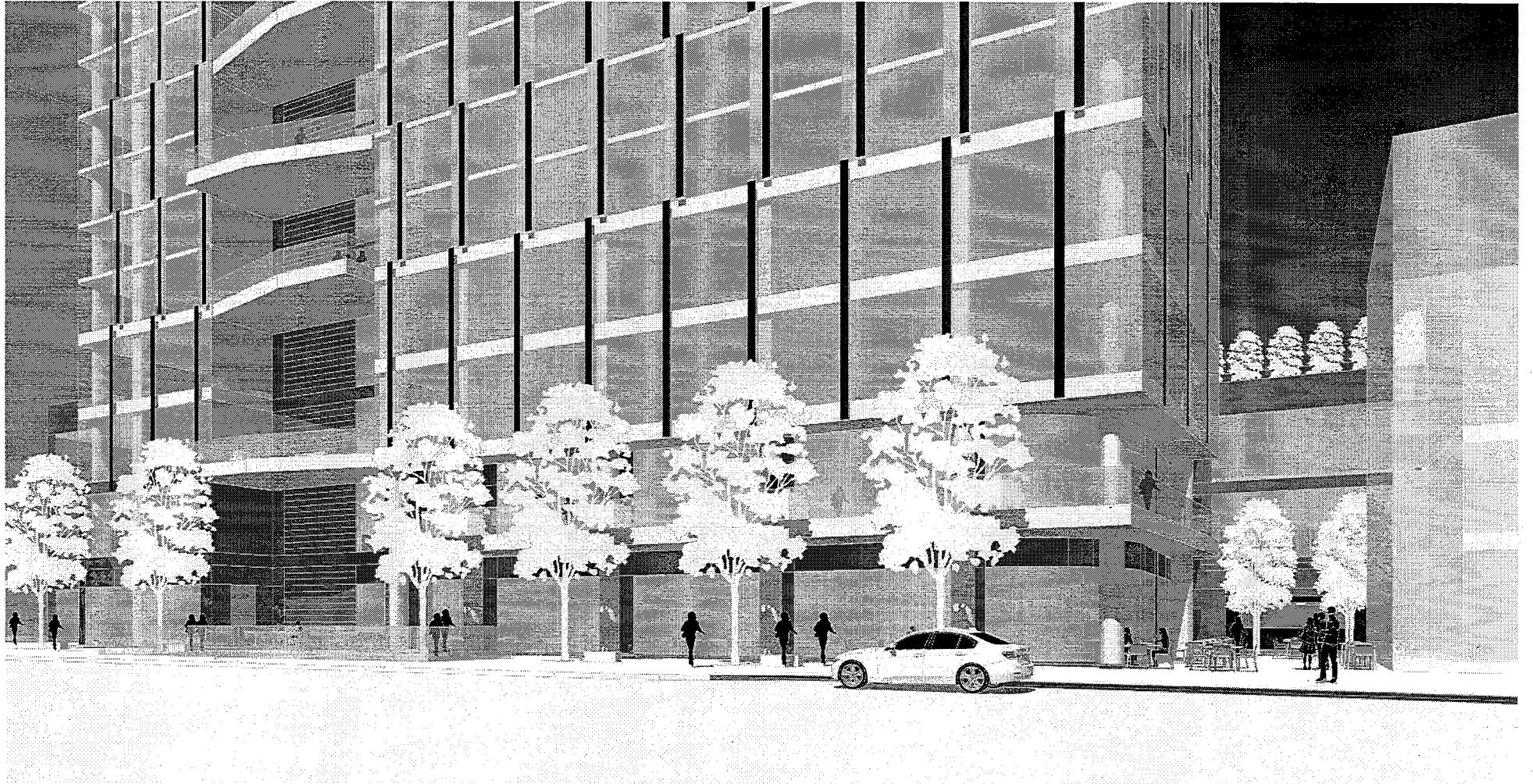


**VIEW OF SHARED BALCONY "ZIPPER"**



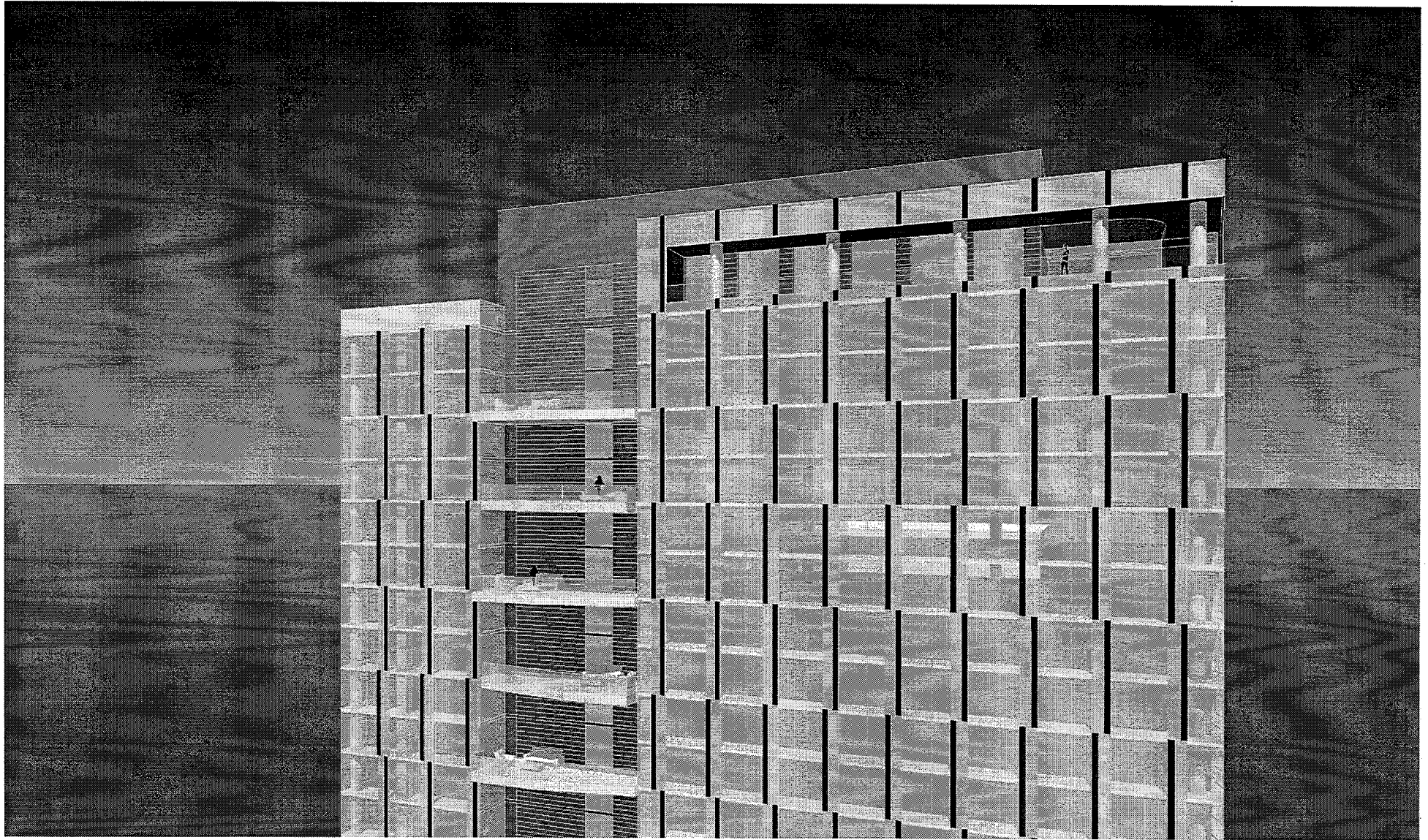


VIEW OF THE GROUND FLOOR

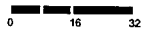
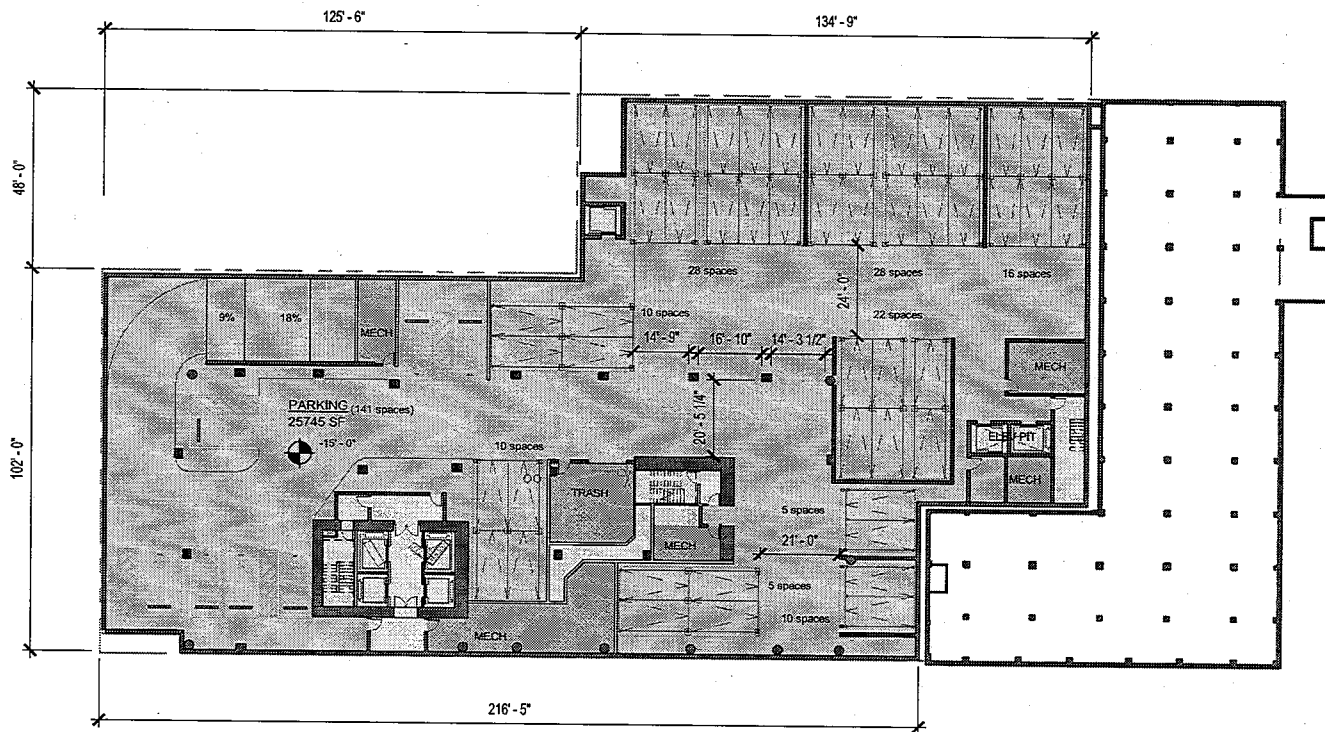


VIEW OF THE POCKET PARK



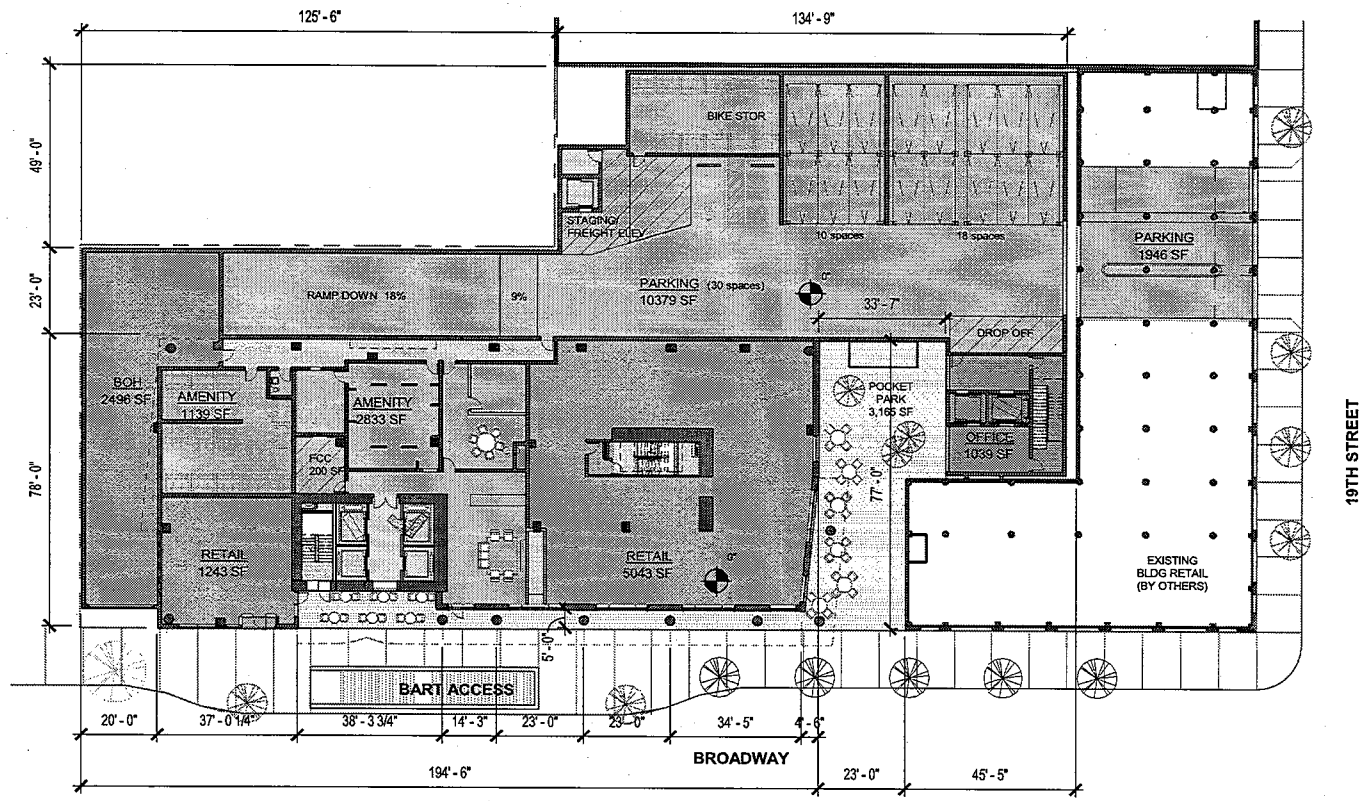


VIEW OF THE TOP

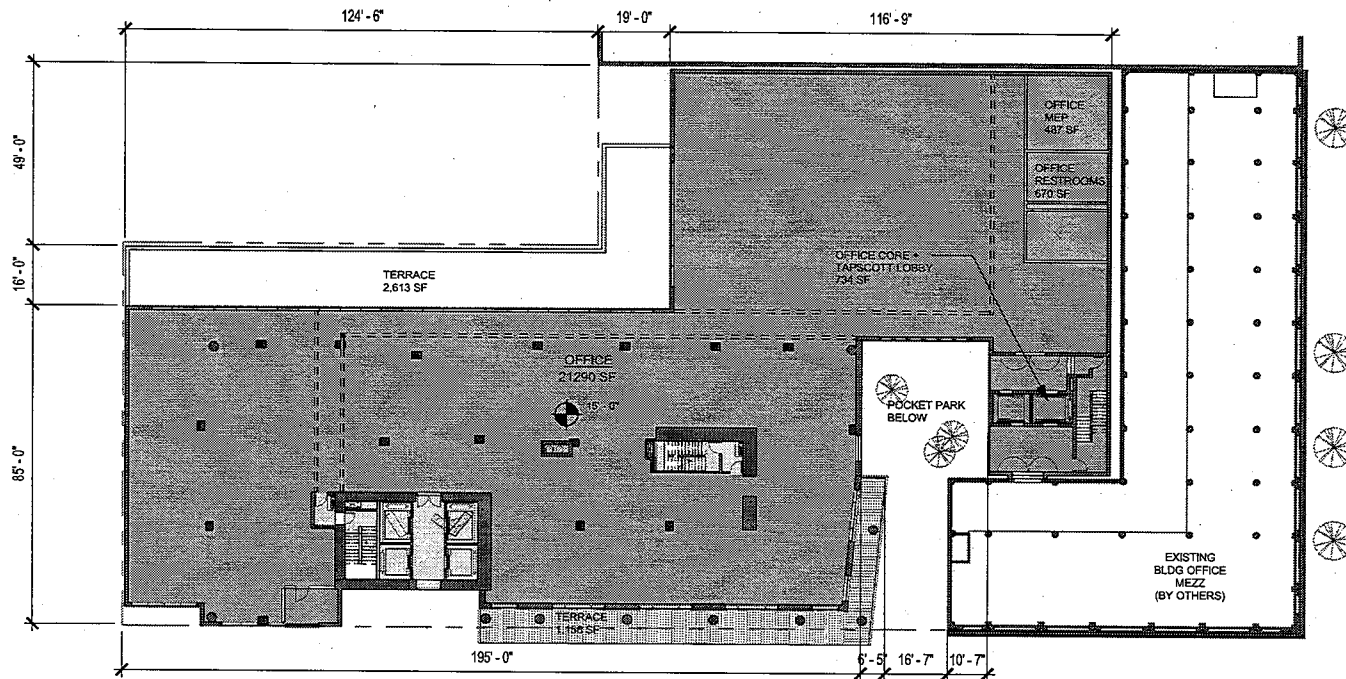


PLAN - BASEMENT LEVEL

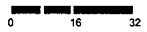
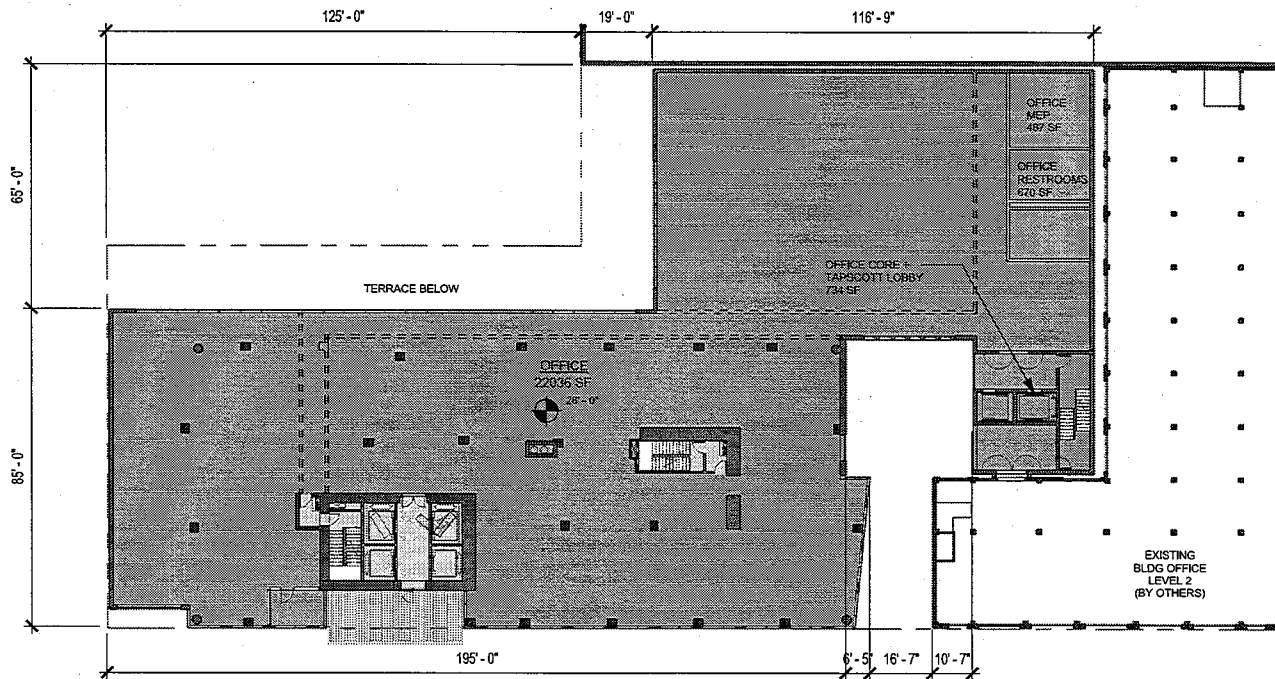




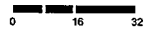
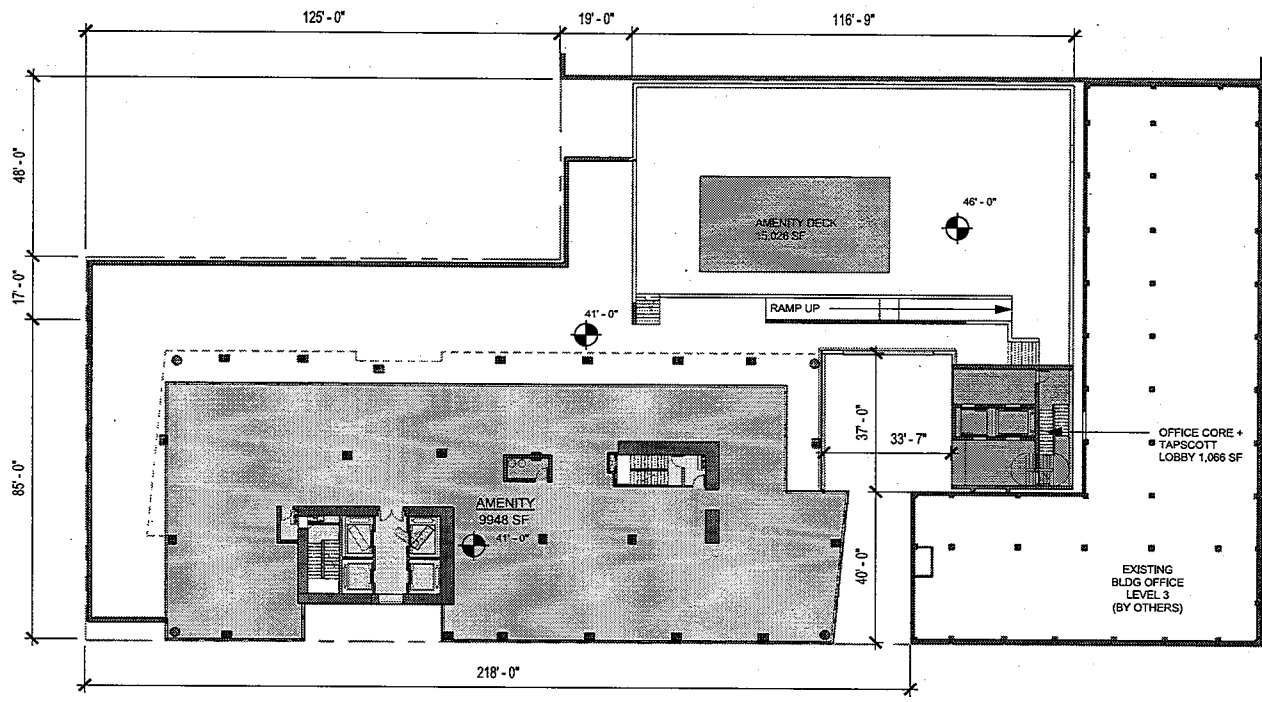
PLAN - LEVEL 1 GROUND FLOOR



PLAN - LEVEL 2 COMMERCIAL

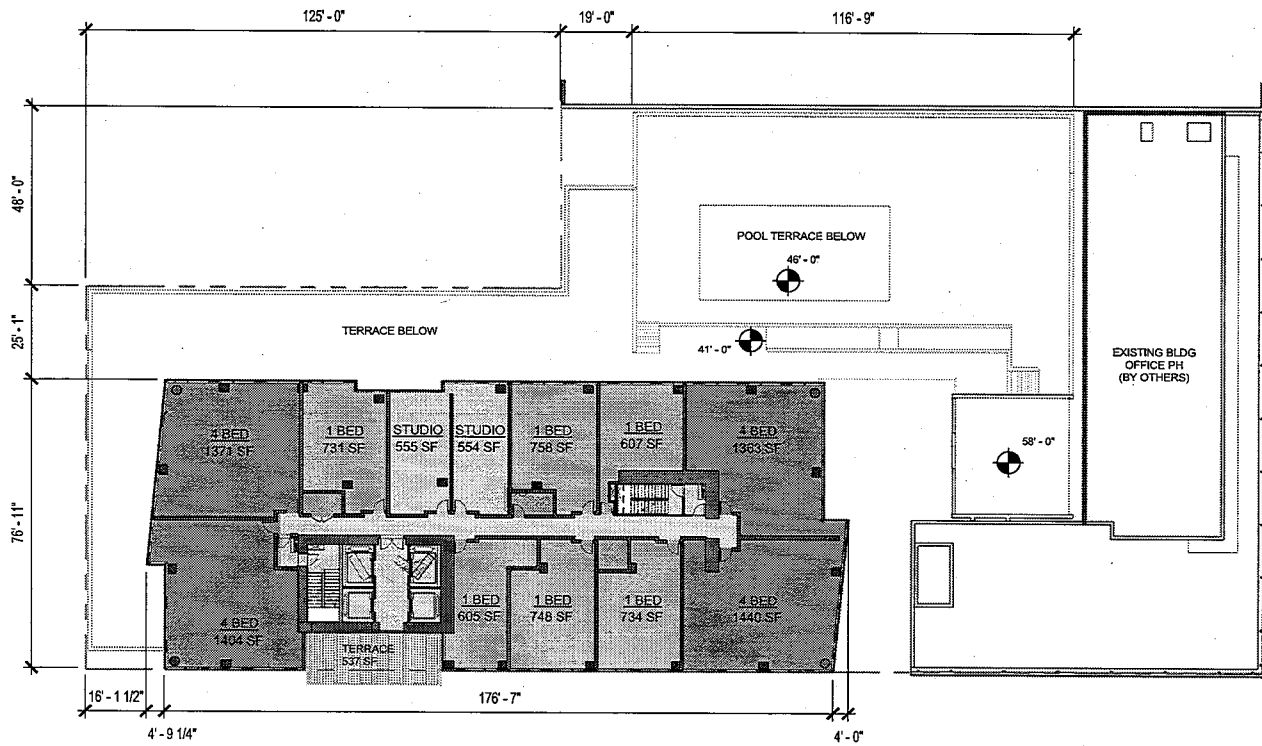


PLAN - LEVEL 3 COMMERCIAL

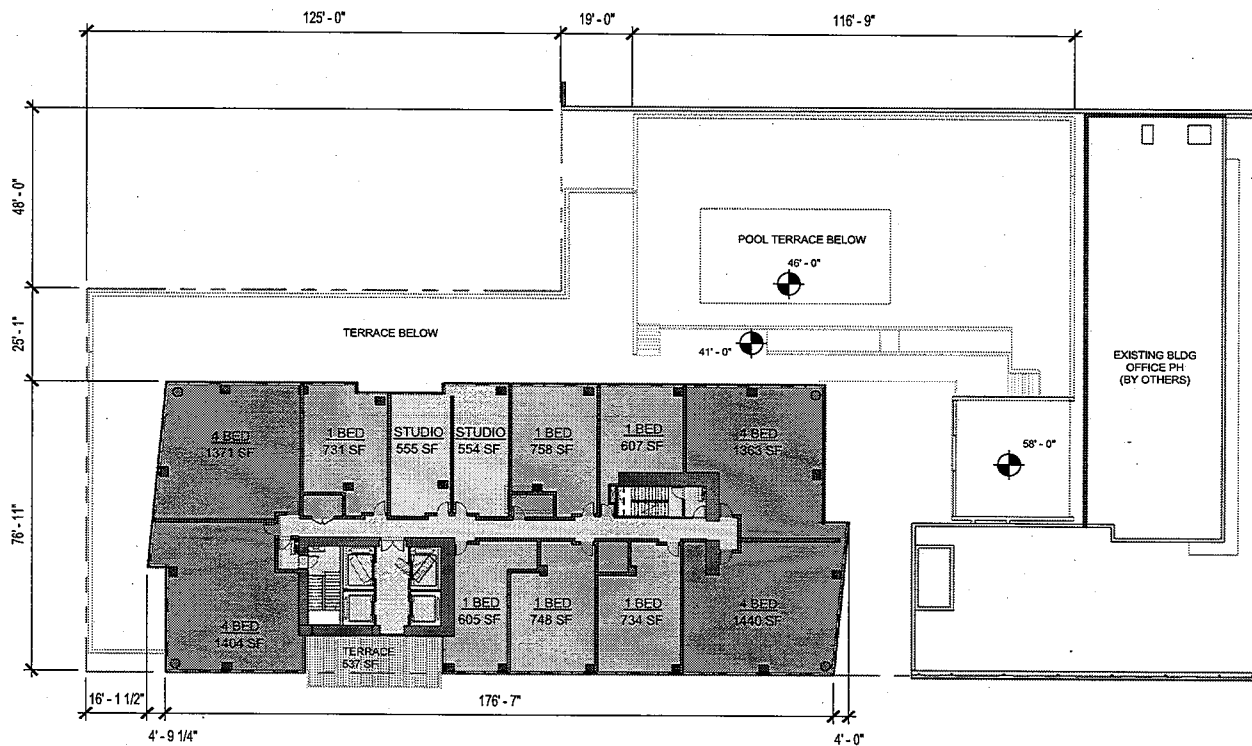


PLAN - LEVEL 4 AMENITY / POOL TERRACE

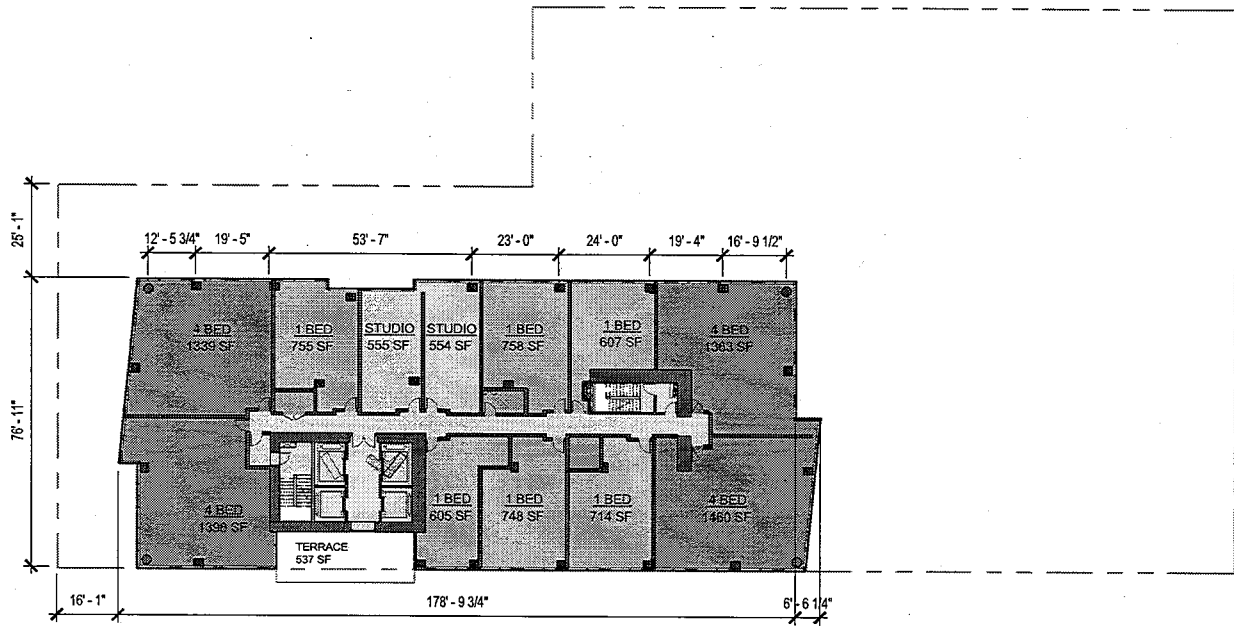




PLAN - LEVEL 5 RESID

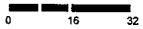
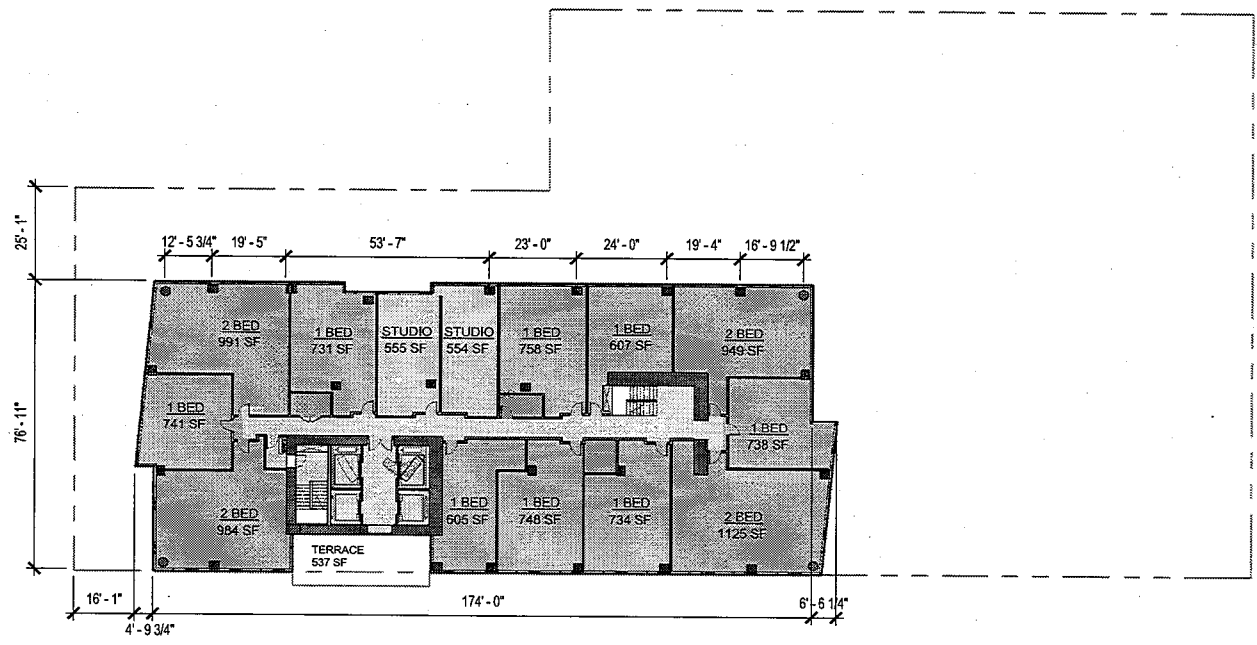


PLAN - LEVEL 5 RESID



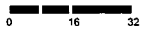
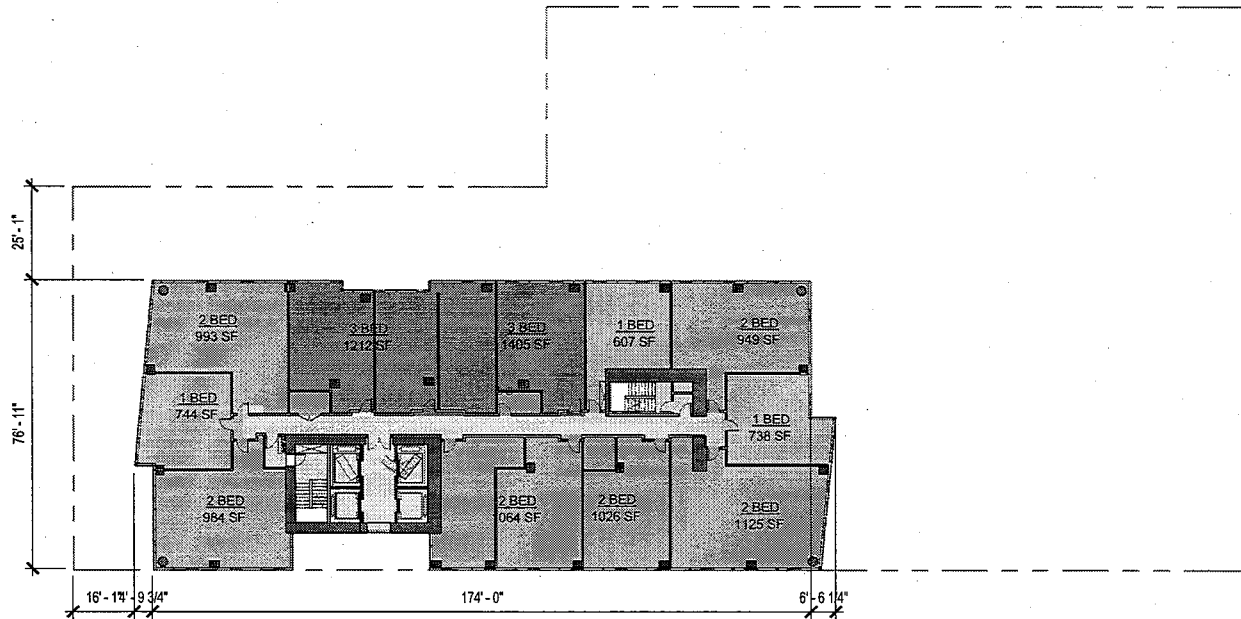
PLAN - LEVEL 6-10 LOWER RESID



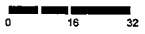
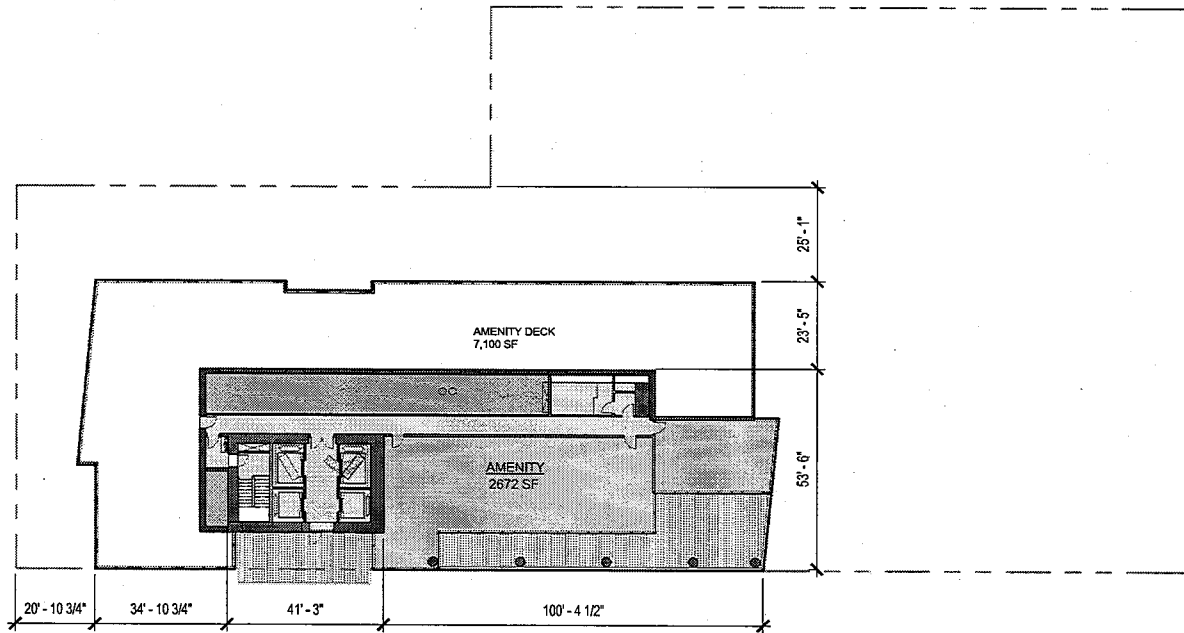


PLAN - LEVEL 11-35 TYP RESID



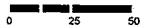
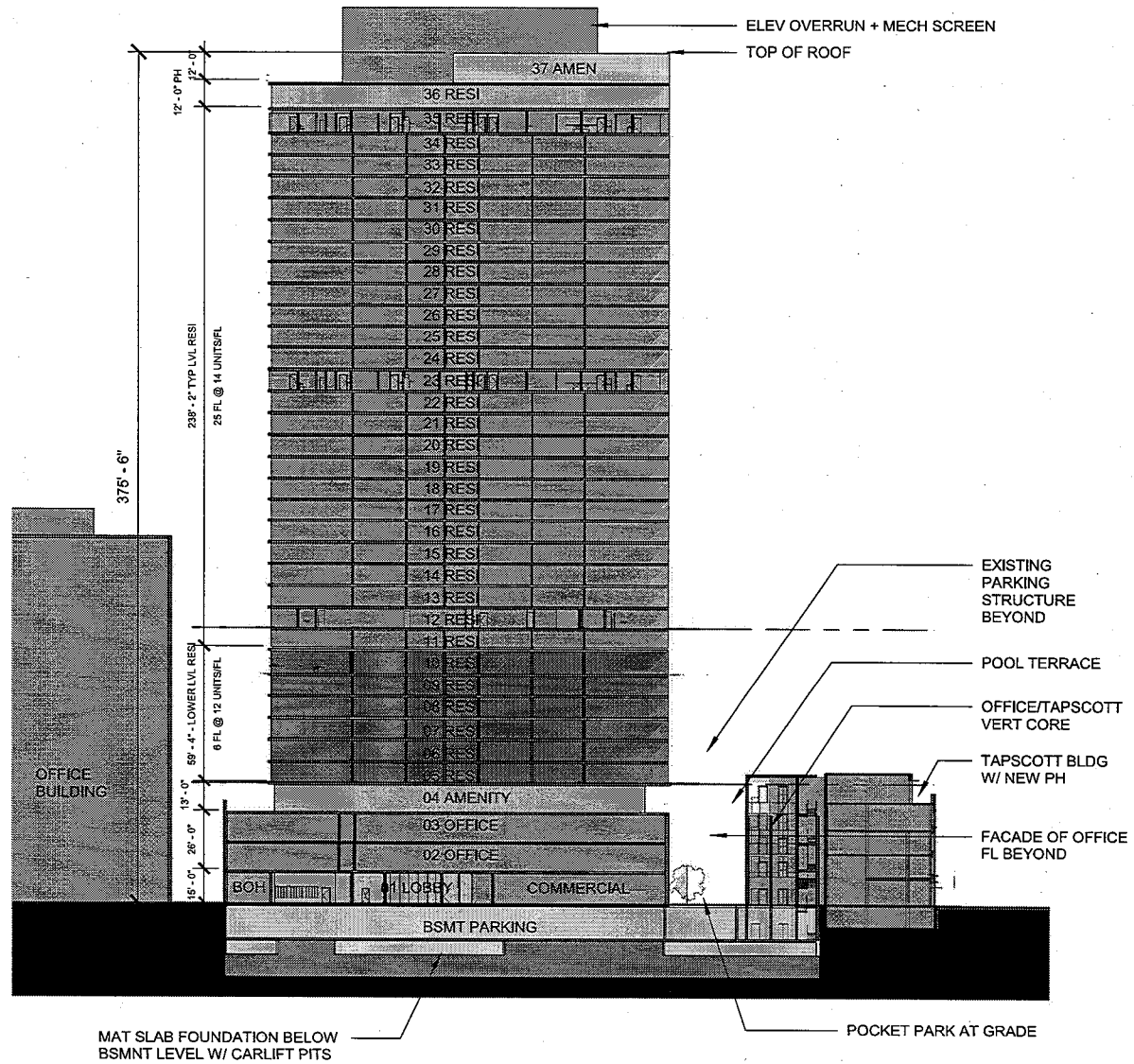


PLAN - LEVEL 36 PH RESID



PLAN - LEVEL 37 ROOF AMENITY





BUILDING SECTION

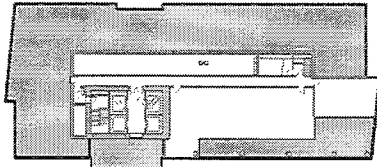




<b>Assessor's Parcel Number</b>	8-638-5 / 8-638-6 / 8-638-7-10
<b>Zoning Designation</b>	CBD-P (Central Business District Pedestrian)
<b>General Plan</b>	Central Business District
<b>Height Limit</b>	Height Area 7 ( no limit )
<b>Max building base height</b>	120'
<b>Max total building height</b>	No height limit
<b>Height/Bulk/Intensity</b>	Building base (for each story): 100% of site area Average per story lot coverage above the base: 85% of site or 10,000 sf, whichever is greater
<b>Max Density</b>	Table 17.58.60 1 Unit per 90 SF Site Area maximum
<b>Min/Max Setbacks</b>	Min. Front: 0' Max front & street side for the first story: 5' Max. front & street side for the 2nd & 3rd stories or 35', whatever is lower: 5' Min. interior side: 0' Min. corner side: 0' Rear: 0'
<b>Liquefaction Hazard Zone</b>	Liquefaction Area 2
<b>Ground floor Commercial</b>	Min 70% façade transparency (80% along Broadway for commercial uses)
<b>Open Space</b>	75 sf per unit ( 75 x 451 = 33,825 sf min )
<b>Private Open Space</b>	Min. 10 ft dimension for space on ground floor, no dimensional requirement elsewhere
<b>Public Open Space</b>	Min. 10 ft dimension at ground floor Min . 15 ft dimension at rooftop or courtyard
<b>Parking</b>	0.5 space/unit. 225 spaces base allowable Variance to .75 / unit included in Entitlements ( 451 x .75 = 338 ) None required for retail
<b>Off Street Loading Zones</b>	Two berths for 150,000-299,999sf residential. One berth approved by Planning. Berth size - 12'W x 14'H x 33' D
<b>Bike Parking</b>	452/4 = 112 1 long term bike parking space per 4 units 452/20 =20 1 short term bike parking space per 20 units 1 bike space per 2000 sf restaurants and food sales 1 bike space per 5000 sf other retail

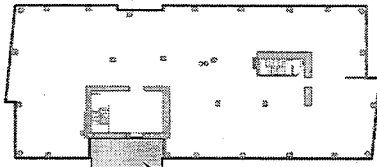
ROOF LEVEL (RESID AMENITY/MECH):

7,100 SF OUTDOOR USABLE



TYP FLOORS 5-36 (RESID UNITS):

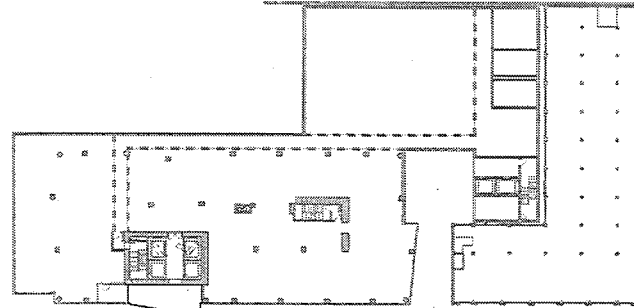
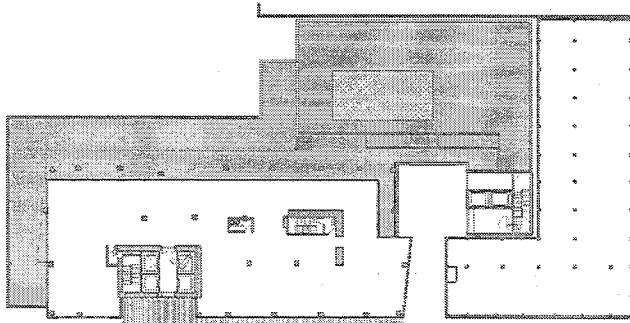
537 SF COMMON BALCONIES  
X 16 FLR LOCATIONS  
=8,592 SF



SHARED RESIDENTIAL BALCONIES EVERY OTHER FLOOR

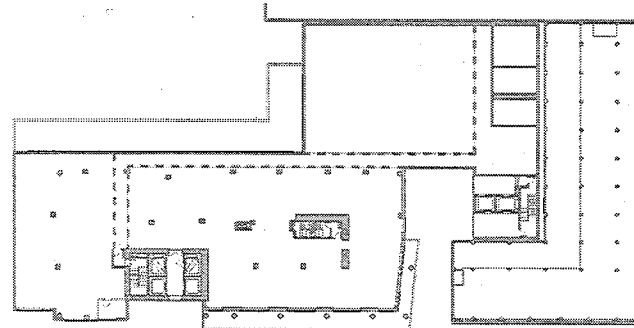
FLOOR 4 (RESID AMENITY):

15,026 SF OUTDOOR USABLE



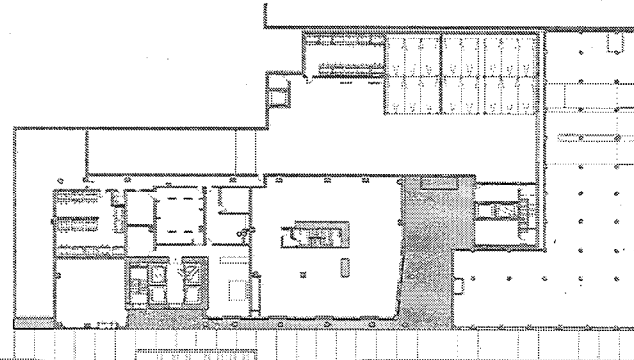
FLOOR 3 (OFFICE):

0 SF OUTDOOR USABLE  
TOWARD RESID REQ



FLOOR 2 (OFFICE):

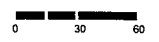
0 SF OUTDOOR USABLE  
TOWARD RESID REQ



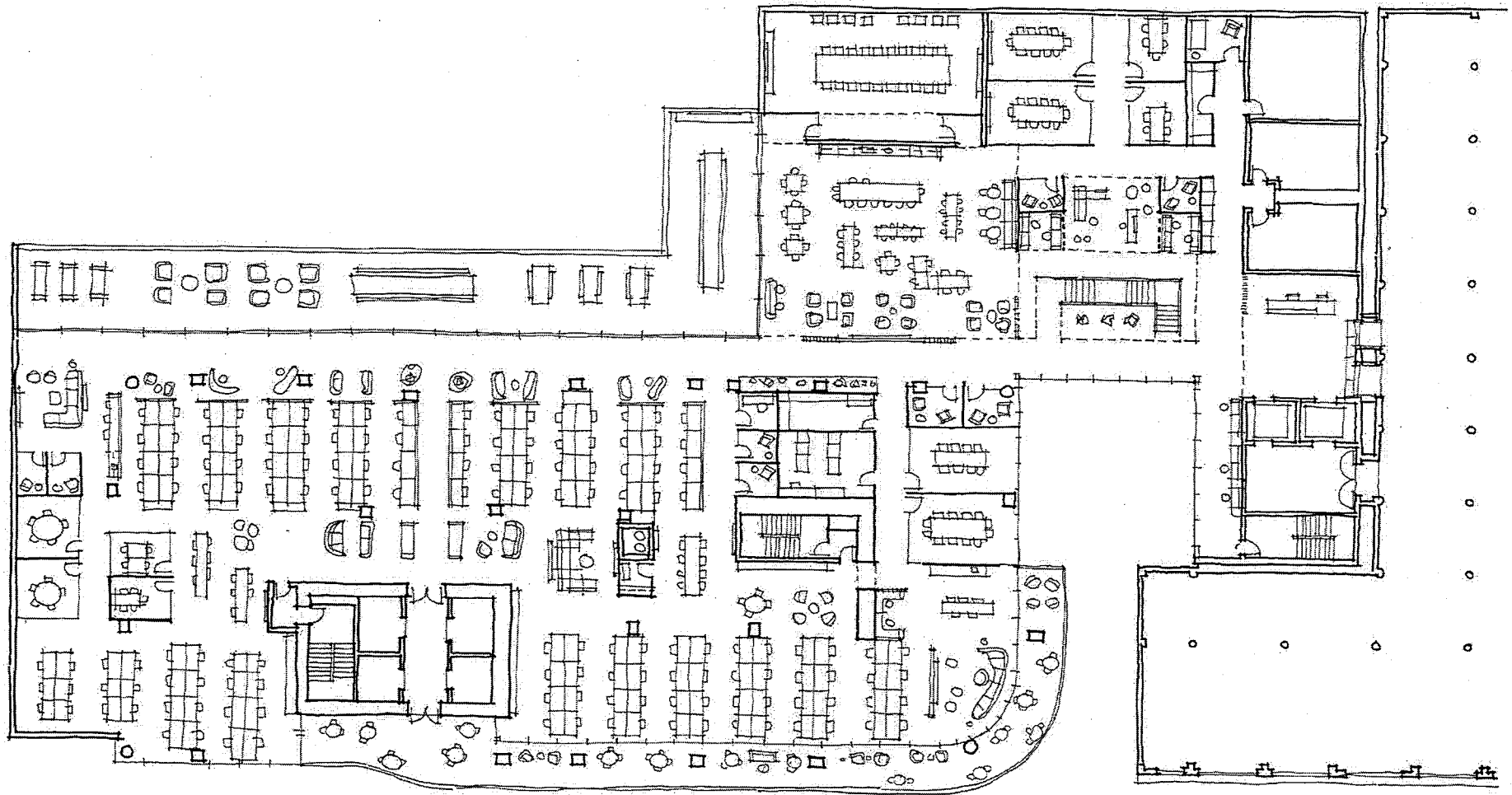
FLOOR 1  
(RETAIL/LOBBY/POCKET PARK):

3,187 SF OUTDOOR USABLE

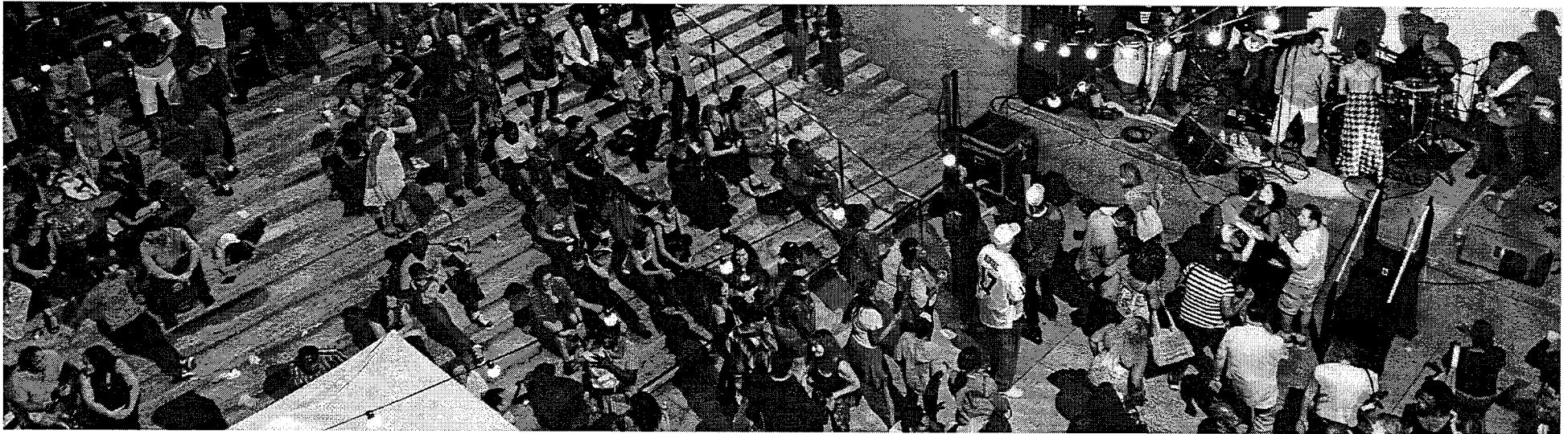
TOTAL COMBINED USABLE  
OUTDOOR SPACE:  
33,905 SF  
(@75 SF/UNIT =452 UNITS)





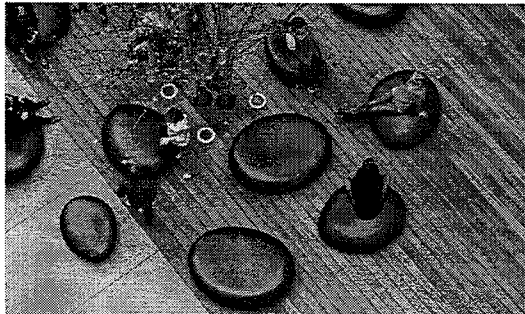


OFFICE LEVEL 2 TEST FIT





PRESERVE AND CELEBRATE WALL MURAL OF ADJACENT TAPSCOTT BUILDING AS PART OF THE POCKET PARK



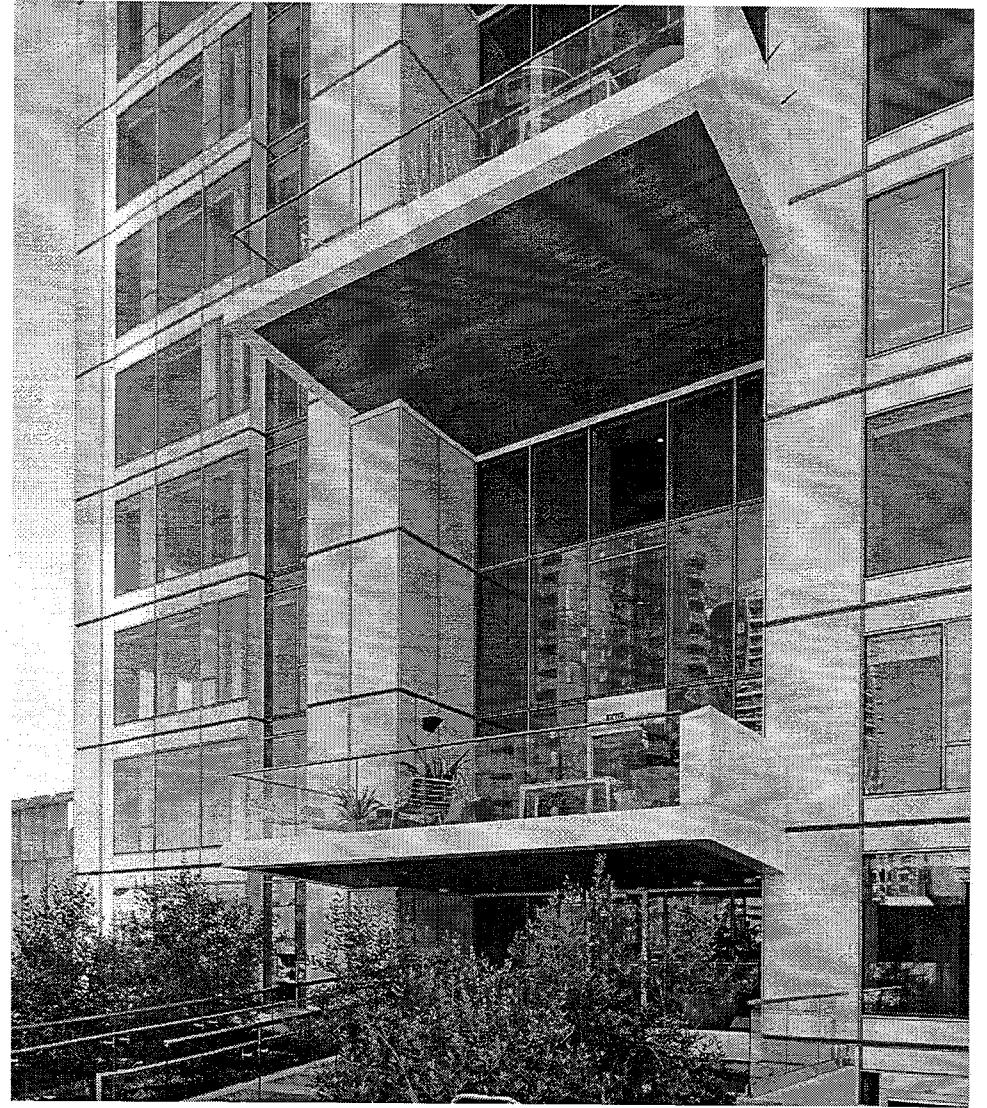
WELCOMING, ACTIVE USE SPACES IN THE POCKET PARK



CONTRIBUTE TO UPTOWN'S ACTIVE STREET LIFE

## ACTIVE COURTYARD + STOREFRONTS



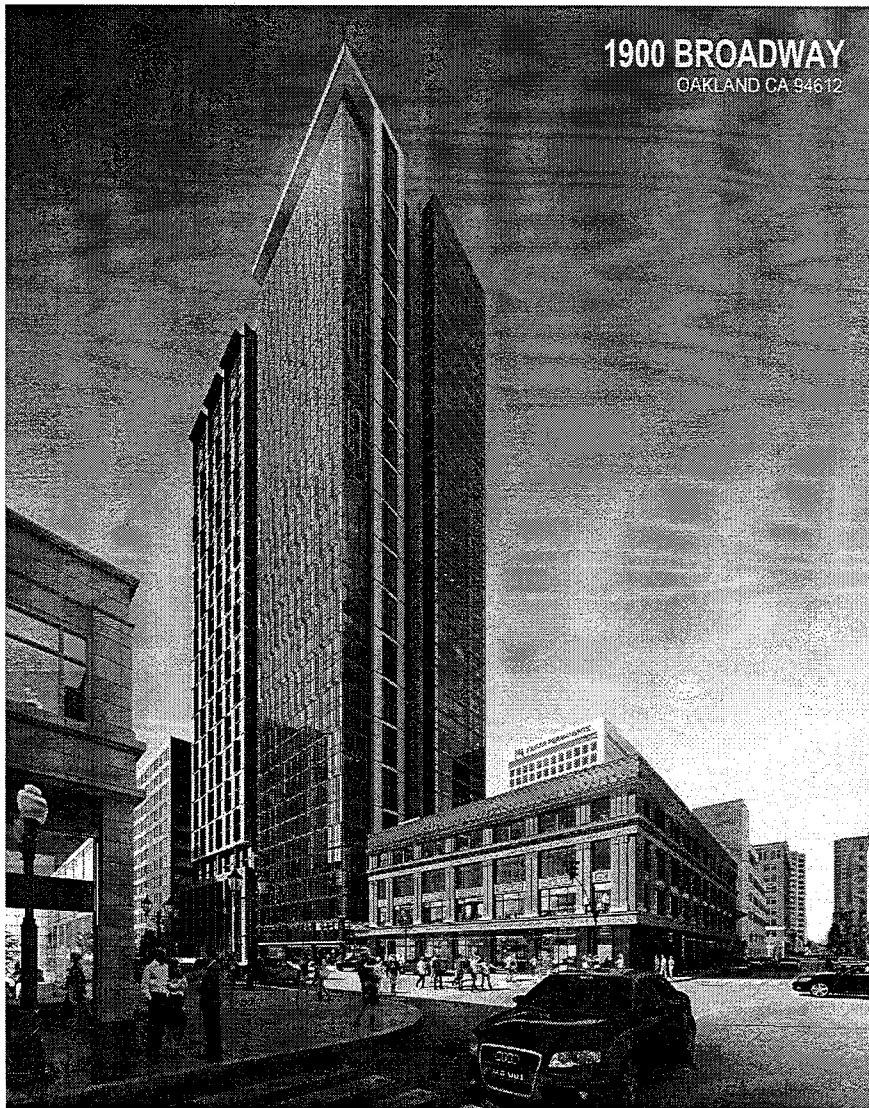


SHARED BALCONIES





OAKLAND



1900 BROADWAY  
OAKLAND CA 94612

# APPLICATION FOR DEVELOPMENT REVIEW

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GENERAL	TITLE SHEET	A2.35	LEVEL 1 FLOOR PLAN AREA B
G0.1	PROJECT DATA	A2.36	LEVEL 1 MEZZANINE FLOOR PLAN AREA A
G0.2A	PROJECT DATA	A2.37	LEVEL 1 MEZZANINE FLOOR PLAN AREA B
G0.3	SITE PHOTOGRAPHS	A2.38	LEVEL 2 FLOOR PLAN AREA A
G0.4	SITE PHOTOGRAPHS	A2.39	LEVEL 2 FLOOR PLAN AREA B
G0.5	SHADOW STUDY	A2.40	LEVEL 3 FLOOR PLAN AREA A
G0.6	GREEN BUILDING CHECKLIST	A2.41	LEVEL 3 FLOOR PLAN AREA B
G0.8	MATERIAL BOARD	A2.42	LEVEL 4 FLOOR PLAN AREA A
G1.2	3D VIEWS-STREET VIEWS	A2.43	LEVEL 4 FLOOR PLAN AREA B
G1.3	3D VIEWS	A2.44	LEVEL 5 FLOOR PLAN AREA A
		A2.45	LEVEL 5 FLOOR PLAN AREA B
		A2.46	TYPICAL TOWER FLOOR PLAN
		A2.48	LEVEL 36 AND 37 ROOF PLAN
		A2.48	ROOF PLAN
		A2.80	LIGHTING PLAN-LEVEL 1
		A2.61	LIGHTING PLAN-LEVEL 4 EXISTING
		A2.62	LIGHTING PLAN-LEVEL 6 EXISTING
		A2.63	LIGHTING PLAN-LEVEL 36
		A3.1	WEST ELEVATION
		A3.2	EAST ELEVATION
		A3.3	SOUTH ELEVATION
		A3.4	NORTH ELEVATION
		A3.5	ENLARGED ELEVATION / WALL SECTIONS
		A3.6	ENLARGED ELEVATION / WALL SECTIONS
		A3.7	ENLARGED ELEVATION / WALL SECTIONS
		A3.8	ENLARGED ELEVATION / WALL SECTIONS
		A3.9	ENLARGED ELEVATION / WALL SECTIONS
		A3.10	ENLARGED ELEVATION / WALL SECTIONS
		A3.11	ENLARGED ELEVATION / WALL SECTIONS
		A3.12	ENLARGED ELEVATION / WALL SECTIONS
		A3.13	ENLARGED ELEVATION / WALL SECTIONS
		A3.14	BUILDING SECTION
		A3.15	BUILDING SECTION
		A3.16	BUILDING SECTION

CIVIL	TOPOGRAPHIC SURVEY	
C0.0	SITE AND GRADING PLAN	
C1.0	SITE AND GRADING PLAN	
C1.1	SITE AND GRADING PLAN	
C2.0	EROSION CONTROL PLAN	
C2.1	EROSION CONTROL PLAN	
C3.0	STORMWATER MANAGEMENT PLAN	
C3.1	STORMWATER MANAGEMENT PLAN	

LANDSCAPE	GROUND FLOOR LANDSCAPE SITE PLAN	
L0.1	GROUND FLOOR LANDSCAPE SITE PLAN	
L0.2	LEVEL 6 LANDSCAPE SITE PLAN	
L1.0	GROUND LEVEL LANDSCAPE SITE PLAN	
L1.1	6TH FLOOR ROOF GARDEN RESTAURANT LANDSCAPE PLAN	
L1.2	RESTAURANT LANDSCAPE PLAN	
L2.0	OVERALL PLANTING	
L2.1	6TH FLOOR ROOF GARDEN PLANTING PLAN	
L2.2	OUTDOOR RESTAURANT PLANTING PLAN	
L3.0	HARDSCAPE MATERIAL IMAGES	
L4.0	PLANT MATERIAL	

## PROJECT DIRECTORY

- DEMOLITION OF EXISTING ONE STORY COMMERCIAL BUILDING CONSISTING OF 11,700 SQ.FT. THAT PROVIDES HOV ONE SITE PARKING.
- DEMOLITION OF EXISTING SURFACE PARKING LOT AND SITE FENCING ADJACENT TO 4 STORY BUILDING TO REMAIN AT CORNER OF 19TH STREET AND BROADWAY AVE.
- DEVELOP A NEW 23 STORY HIGH RISE INCLUDING 6 LEVELS OF ABOVE GRADE PARKING CONSTRUCTED OF 2-WAY CONCRETE SLAB WITH PRECAST CONCRETE GLASS WINDOW WALL AND METAL PANEL CLADDING.
- RECONDITION EXISTING BRICK AND CONCRETE 4 STORY BUILDING INCLUDING FACADE MODIFICATIONS.

## PROJECT DESCRIPTION

TOTAL LOT AREA:	48,674 SQ.FT.
TOTAL FLOOR AREA:	556,440 SQ.FT.
DWELLING UNITS:	451
TOTAL PARKING AREA:	177,999 SQ.FT.
PARKING SPACES:	324

## PROJECT DATA

APR:	6-03-05, 6-03-06, 6-3-03-07-10
ZONING:	OSDP
COMPREHENSIVE PLAN DESIGNATION:	REGIONAL COMMUNITY COMMERCIAL
PROPOSED MIXED USE:	RETAIL, MULTI-FAMILY RESIDENTIAL
OCCUPANCY GROUP:	(COMMERCIAL) R-2 (MULTI-FAMILY RESIDENTIAL) S-2 (PARKING GARAGE)
CONSTRUCTION TYPE:	T.A.
FULLY SPRINKLERED:	YES

## LOT INFORMATION

A2.1	OVERALL LEVEL 1 FLOOR PLAN
A2.2	OVERALL LEVEL 1 MEZZANINE
A2.3	OVERALL LEVEL 2 FLOOR PLAN
A2.4	OVERALL LEVEL 3 FLOOR PLAN
A2.5	OVERALL LEVEL 4 FLOOR PLAN
A2.6	OVERALL LEVEL 5 FLOOR PLAN
A2.7	OVERALL LEVEL 6 FLOOR PLAN
A2.8	OVERALL LEVEL 7-35 FLOOR PLAN
A2.9	OVERALL LEVEL 36 FLOOR PLAN
A2.10	ROOF PLAN
A2.20	BEDROOM UNITS AND STUDIOS
A2.34	LEVEL 1 FLOOR PLAN AREA A

## GENERAL

A2.35	LEVEL 1 FLOOR PLAN AREA B
A2.36	LEVEL 1 MEZZANINE FLOOR PLAN AREA A
A2.37	LEVEL 1 MEZZANINE FLOOR PLAN AREA B
A2.38	LEVEL 2 FLOOR PLAN AREA A
A2.39	LEVEL 2 FLOOR PLAN AREA B
A2.40	LEVEL 3 FLOOR PLAN AREA A
A2.41	LEVEL 3 FLOOR PLAN AREA B
A2.42	LEVEL 4 FLOOR PLAN AREA A
A2.43	LEVEL 4 FLOOR PLAN AREA B
A2.44	LEVEL 5 FLOOR PLAN AREA A
A2.45	LEVEL 5 FLOOR PLAN AREA B
A2.46	TYPICAL TOWER FLOOR PLAN
A2.48	LEVEL 36 AND 37 ROOF PLAN
A2.48	ROOF PLAN
A2.80	LIGHTING PLAN-LEVEL 1
A2.61	LIGHTING PLAN-LEVEL 4 EXISTING
A2.62	LIGHTING PLAN-LEVEL 6 EXISTING
A2.63	LIGHTING PLAN-LEVEL 36
A3.1	WEST ELEVATION
A3.2	EAST ELEVATION
A3.3	SOUTH ELEVATION
A3.4	NORTH ELEVATION
A3.5	ENLARGED ELEVATION / WALL SECTIONS
A3.6	ENLARGED ELEVATION / WALL SECTIONS
A3.7	ENLARGED ELEVATION / WALL SECTIONS
A3.8	ENLARGED ELEVATION / WALL SECTIONS
A3.9	ENLARGED ELEVATION / WALL SECTIONS
A3.10	ENLARGED ELEVATION / WALL SECTIONS
A3.11	ENLARGED ELEVATION / WALL SECTIONS
A3.12	ENLARGED ELEVATION / WALL SECTIONS
A3.13	ENLARGED ELEVATION / WALL SECTIONS
A3.14	BUILDING SECTION
A3.15	BUILDING SECTION
A3.16	BUILDING SECTION

## LANDSCAPE

L0.1	GROUND FLOOR LANDSCAPE SITE PLAN
L0.2	LEVEL 6 LANDSCAPE SITE PLAN
L1.0	GROUND LEVEL LANDSCAPE SITE PLAN
L1.1	6TH FLOOR ROOF GARDEN RESTAURANT LANDSCAPE PLAN
L1.2	RESTAURANT LANDSCAPE PLAN
L2.0	OVERALL PLANTING
L2.1	6TH FLOOR ROOF GARDEN PLANTING PLAN
L2.2	OUTDOOR RESTAURANT PLANTING PLAN
L3.0	HARDSCAPE MATERIAL IMAGES
L4.0	PLANT MATERIAL

## ARCHITECTURAL

A1.1	EXISTING / DEMO SITE PLAN
A1.2	SITE PLAN
A2.1	OVERALL LEVEL 1 FLOOR PLAN
A2.2	OVERALL LEVEL 1 MEZZANINE
A2.3	OVERALL LEVEL 2 FLOOR PLAN
A2.4	OVERALL LEVEL 3 FLOOR PLAN
A2.5	OVERALL LEVEL 4 FLOOR PLAN
A2.6	OVERALL LEVEL 5 FLOOR PLAN
A2.7	OVERALL LEVEL 6 FLOOR PLAN
A2.8	OVERALL LEVEL 7-35 FLOOR PLAN
A2.9	OVERALL LEVEL 36 FLOOR PLAN
A2.10	ROOF PLAN
A2.20	BEDROOM UNITS AND STUDIOS
A2.34	LEVEL 1 FLOOR PLAN AREA A

## SHEET INDEX



VICINITY MAP



SHEET INDEX

brick

ARCHITECT  
BRICK, LP  
1294 69th Street, Suite 1  
Emeryville, CA 94608  
910.516.0197  
www.brick-lp.com

CLIENT  
19th and Broadway Associates, Inc.

1 12/17/2015 @10:58am update

rev date issue



1900  
broadway

oakland ca  
project number: 13041

scale as noted  
date: 06.02.15

planning  
commission  
TITLE SHEET

G0.1

**PROPOSED TOWER**

PARKING AREA		RETAIL		RESIDENTIAL		STORAGE		AMENITY		LOBBY		CIRCULATION		USABLE OPEN SPACE		SERVICE		TRASH		GROSS BUILDING	
Level	Area	Level	Area	Level	Area	Level	Area	Level	Area	Level	Area	Level	Area	Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	20,457 SF	LEVEL 1	4,647 SF	LEVEL 2	6,327 SF	LEVEL 1	512 SF	LEVEL 6	2,004 SF	LEVEL 1	2,141 SF	LEVEL 1	2,241 SF	LEVEL 1	711 SF	LEVEL 2	91 SF	LEVEL 1	628 SF	LEVEL 1	30,142 SF
LEVEL 1	21,052 SF	LEVEL 1	2,032 SF	LEVEL 3	6,327 SF	MEZZANINE		LEVEL 6	2,914 SF	LEVEL 1	2,141 SF	LEVEL 1	1,179 SF	LEVEL 5	877 SF	LEVEL 3	91 SF	LEVEL 2	54 SF	LEVEL 2	2,026 SF
MEZZANINE		MEZZANINE		LEVEL 4	6,327 SF	LEVEL 2	543 SF	TOTAL	4,918 SF	TOTAL	2,141 SF	MEZZANINE		LEVEL 6	15,813 SF	LEVEL 4	91 SF	LEVEL 3	54 SF	LEVEL 1	22,856 SF
LEVEL 2	20,918 SF	TOTAL	6,679 SF	LEVEL 5	5,448 SF	LEVEL 3	543 SF					LEVEL 2	2,143 SF	LEVEL 8	168 SF	LEVEL 5	91 SF	LEVEL 4	54 SF	LEVEL 2	30,071 SF
LEVEL 3	20,918 SF			LEVEL 6	5,216 SF	LEVEL 4	543 SF					LEVEL 3	2,143 SF	LEVEL 8	168 SF	LEVEL 7	78 SF	LEVEL 5	54 SF	LEVEL 3	30,071 SF
LEVEL 4	20,918 SF			LEVEL 7	10,558 SF	LEVEL 5	543 SF					LEVEL 4	2,143 SF	LEVEL 9	168 SF	LEVEL 7	78 SF	LEVEL 5	54 SF	LEVEL 4	30,085 SF
LEVEL 5	11,491 SF			LEVEL 8	10,558 SF	TOTAL	2,685 SF					LEVEL 5	2,141 SF	LEVEL 10	168 SF	LEVEL 8	78 SF	LEVEL 7	54 SF	LEVEL 5	19,598 SF
TOTAL	115,795 SF			LEVEL 9	10,558 SF							LEVEL 6	1,939 SF	LEVEL 11	168 SF	LEVEL 9	78 SF	LEVEL 8	54 SF	LEVEL 6	12,061 SF
				LEVEL 10	10,558 SF							LEVEL 7	1,883 SF	LEVEL 12	168 SF	LEVEL 10	78 SF	LEVEL 9	54 SF	LEVEL 7	12,560 SF
				LEVEL 11	10,558 SF							LEVEL 8	1,883 SF	LEVEL 13	168 SF	LEVEL 11	78 SF	LEVEL 10	54 SF	LEVEL 8	12,560 SF
				LEVEL 12	10,558 SF							LEVEL 9	1,883 SF	LEVEL 14	168 SF	LEVEL 12	78 SF	LEVEL 11	54 SF	LEVEL 9	12,560 SF
				LEVEL 13	10,558 SF							LEVEL 10	1,883 SF	LEVEL 15	168 SF	LEVEL 13	78 SF	LEVEL 12	54 SF	LEVEL 10	12,560 SF
				LEVEL 14	10,558 SF							LEVEL 11	1,883 SF	LEVEL 16	168 SF	LEVEL 14	78 SF	LEVEL 14	54 SF	LEVEL 11	12,560 SF
				LEVEL 15	10,558 SF							LEVEL 12	1,883 SF	LEVEL 17	168 SF	LEVEL 15	78 SF	LEVEL 15	54 SF	LEVEL 12	12,560 SF
				LEVEL 16	10,558 SF							LEVEL 13	1,883 SF	LEVEL 18	168 SF	LEVEL 16	78 SF	LEVEL 16	54 SF	LEVEL 13	12,560 SF
				LEVEL 17	10,558 SF							LEVEL 14	1,883 SF	LEVEL 19	168 SF	LEVEL 17	78 SF	LEVEL 17	54 SF	LEVEL 14	12,560 SF
				LEVEL 18	10,558 SF							LEVEL 15	1,883 SF	LEVEL 20	168 SF	LEVEL 18	78 SF	LEVEL 18	54 SF	LEVEL 15	12,560 SF
				LEVEL 19	10,558 SF							LEVEL 16	1,883 SF	LEVEL 21	168 SF	LEVEL 19	78 SF	LEVEL 19	54 SF	LEVEL 16	12,560 SF
				LEVEL 20	10,558 SF							LEVEL 17	1,883 SF	LEVEL 22	168 SF	LEVEL 20	78 SF	LEVEL 20	54 SF	LEVEL 17	12,560 SF
				LEVEL 21	10,558 SF							LEVEL 18	1,883 SF	LEVEL 23	168 SF	LEVEL 21	78 SF	LEVEL 21	54 SF	LEVEL 18	12,560 SF
				LEVEL 22	10,558 SF							LEVEL 19	1,883 SF	LEVEL 24	168 SF	LEVEL 22	78 SF	LEVEL 22	54 SF	LEVEL 19	12,560 SF
				LEVEL 23	10,558 SF							LEVEL 20	1,883 SF	LEVEL 25	168 SF	LEVEL 23	78 SF	LEVEL 23	54 SF	LEVEL 20	12,560 SF
				LEVEL 24	10,558 SF							LEVEL 21	1,883 SF	LEVEL 26	168 SF	LEVEL 24	78 SF	LEVEL 24	54 SF	LEVEL 21	12,560 SF
				LEVEL 25	10,558 SF							LEVEL 22	1,883 SF	LEVEL 27	168 SF	LEVEL 25	78 SF	LEVEL 25	54 SF	LEVEL 22	12,560 SF
				LEVEL 26	10,558 SF							LEVEL 23	1,883 SF	LEVEL 28	168 SF	LEVEL 26	78 SF	LEVEL 26	54 SF	LEVEL 23	12,560 SF
				LEVEL 27	10,558 SF							LEVEL 24	1,883 SF	LEVEL 29	168 SF	LEVEL 27	78 SF	LEVEL 27	54 SF	LEVEL 24	12,560 SF
				LEVEL 28	10,558 SF							LEVEL 25	1,883 SF	LEVEL 30	168 SF	LEVEL 28	78 SF	LEVEL 28	54 SF	LEVEL 25	12,560 SF
				LEVEL 29	10,558 SF							LEVEL 26	1,883 SF	LEVEL 31	168 SF	LEVEL 29	78 SF	LEVEL 29	54 SF	LEVEL 26	12,560 SF
				LEVEL 30	10,558 SF							LEVEL 27	1,883 SF	LEVEL 32	168 SF	LEVEL 30	78 SF	LEVEL 30	54 SF	LEVEL 27	12,560 SF
				LEVEL 31	10,558 SF							LEVEL 28	1,883 SF	LEVEL 33	168 SF	LEVEL 31	78 SF	LEVEL 31	54 SF	LEVEL 28	12,560 SF
				LEVEL 32	10,558 SF							LEVEL 29	1,883 SF	LEVEL 34	168 SF	LEVEL 32	78 SF	LEVEL 32	54 SF	LEVEL 29	12,560 SF
				LEVEL 33	10,558 SF							LEVEL 30	1,883 SF	LEVEL 35	168 SF	LEVEL 33	78 SF	LEVEL 33	54 SF	LEVEL 30	12,560 SF
				LEVEL 34	10,558 SF							LEVEL 31	1,883 SF	LEVEL 36	4,009 SF	LEVEL 34	78 SF	LEVEL 34	54 SF	LEVEL 31	12,560 SF
				LEVEL 35	10,558 SF							LEVEL 32	1,883 SF	TOTAL	26,293 SF	LEVEL 35	78 SF	LEVEL 35	54 SF	LEVEL 32	12,560 SF
				LEVEL 36	5,580 SF							LEVEL 33	1,883 SF	LEVEL 36	79 SF	LEVEL 36	79 SF	LEVEL 36	54 SF	LEVEL 33	12,560 SF
				LEVEL 36	1,126 SF							LEVEL 34	1,883 SF	MEZZ.		LEVEL 36	686 SF	MEZZ.		LEVEL 34	12,560 SF
				MEZZ.								LEVEL 35	1,883 SF	TOTAL	3,487 SF	TOTAL	2,531 SF	TOTAL	2,531 SF	LEVEL 35	12,560 SF
				TOTAL	342,545 SF							LEVEL 36	267 SF							LEVEL 36	12,560 SF
											MEZZ.									LEVEL 36	2,183 SF
											TOTAL	70,449 SF								TOTAL	551,298 SF

**EXISTING HISTORIC BUILDING**

PARKING AREA - HISTORIC		RETAIL - HISTORIC		OFFICE - HISTORIC		LOBBY - HISTORIC		CIRCULATION - HISTORIC		USABLE OPEN SPACE - HISTORIC		SERVICE - HISTORIC		GROSS BUILDING - HISTORIC	
Level	Area	Level	Area	Level	Area	Level	Area	Level	Area	Level	Area	Level	Area	Level	Area
LEVEL 1	1,345 SF	LEVEL 0 - EXISTING BASEMENT	8,193 SF	LEVEL 1	2,579 SF	LEVEL 1	819 SF	LEVEL 0 - EXISTING BASEMENT	327 SF	LEVEL 4	4,347 SF	LEVEL 1	676 SF	LEVEL 0 - EXISTING BASEMENT	8,765 SF
TOTAL	1,345 SF	LEVEL 1	5,077 SF	LEVEL 2	8,051 SF	TOTAL	819 SF	LEVEL 1	869 SF	TOTAL	4,347 SF	TOTAL	676 SF	LEVEL 1	8,805 SF
		LEVEL 1	1,698 SF	LEVEL 3	8,055 SF			LEVEL 1	473 SF					LEVEL 1	5,042 SF
		MEZZANINE		LEVEL 4	3,553 SF			MEZZANINE						LEVEL 1	8,696 SF
		TOTAL	14,968 SF	TOTAL	22,237 SF			LEVEL 2	554 SF					LEVEL 3	8,696 SF
								LEVEL 3	550 SF					LEVEL 4	4,134 SF
								LEVEL 4	576 SF					TOTAL	44,142 SF
								TOTAL	3,348 SF						

**GRAND TOTALS**

PARKING AREA - TOTAL	RETAIL - TOTAL	OFFICE - TOTAL	RESIDENTIAL - TOTAL	STORAGE - TOTAL	AMENITY - TOTAL	LOBBY - TOTAL	CIRCULATION - TOTAL	USABLE OPEN SPACE - TOTAL	SERVICE - TOTAL	TRASH - TOTAL	GROSS BUILDING - TOTAL
117,099 SF	21,647 SF	22,237 SF	342,545 SF	2,685 SF	4,918 SF	2,960 SF	73,797 SF	30,640 SF	4,163 SF	2,531 SF	595,440 SF

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1 12/17/2015 endowment update

rev	date	issue

1900  
broadway

prepared by  
project number: 12041

scale: as noted  
date: 06.22.15

planning  
commission  
PROJECT DATA

**G0.2A**

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UNIT TABULATION			UNIT TABULATION			UNIT TABULATION			UNIT TABULATION		
LEVEL	UNIT	COUNT	LEVEL	UNIT	COUNT	LEVEL	UNIT	COUNT	LEVEL	UNIT	COUNT
LEVEL 2	STUDIO	3	LEVEL 11	STUDIO	4	LEVEL 20	STUDIO	4	LEVEL 29	STUDIO	4
LEVEL 2	1 BED	4	LEVEL 11	1 BED	6	LEVEL 20	1 BED	6	LEVEL 29	1 BED	6
LEVEL 2	2 BED	1	LEVEL 11	2 BED	4	LEVEL 20	2 BED	4	LEVEL 29	2 BED	4
		8			14			14			14
LEVEL 3	STUDIO	3	LEVEL 12	STUDIO	4	LEVEL 21	STUDIO	4	LEVEL 30	STUDIO	4
LEVEL 3	1 BED	5	LEVEL 12	1 BED	6	LEVEL 21	1 BED	6	LEVEL 30	1 BED	6
LEVEL 3	2 BED	1	LEVEL 12	2 BED	4	LEVEL 21	2 BED	4	LEVEL 30	2 BED	4
		9			14			14			14
LEVEL 4	STUDIO	3	LEVEL 13	STUDIO	4	LEVEL 22	STUDIO	4	LEVEL 31	STUDIO	4
LEVEL 4	1 BED	5	LEVEL 13	1 BED	6	LEVEL 22	1 BED	6	LEVEL 31	1 BED	6
LEVEL 4	2 BED	1	LEVEL 13	2 BED	4	LEVEL 22	2 BED	4	LEVEL 31	2 BED	4
		9			14			14			14
LEVEL 5	STUDIO	1	LEVEL 14	STUDIO	4	LEVEL 23	STUDIO	4	LEVEL 32	STUDIO	4
LEVEL 5	1 BED	4	LEVEL 14	1 BED	6	LEVEL 23	1 BED	6	LEVEL 32	1 BED	6
LEVEL 5	2 BED	2	LEVEL 14	2 BED	4	LEVEL 23	2 BED	4	LEVEL 32	2 BED	4
		7			14			14			14
LEVEL 6	STUDIO	1	LEVEL 15	STUDIO	4	LEVEL 24	STUDIO	4	LEVEL 33	STUDIO	4
LEVEL 6	1 BED	5	LEVEL 15	1 BED	6	LEVEL 24	1 BED	6	LEVEL 33	1 BED	6
LEVEL 6	2 BED	1	LEVEL 15	2 BED	4	LEVEL 24	2 BED	4	LEVEL 33	2 BED	4
		7			14			14			14
LEVEL 7	STUDIO	4	LEVEL 16	STUDIO	4	LEVEL 25	STUDIO	4	LEVEL 34	STUDIO	4
LEVEL 7	1 BED	6	LEVEL 16	1 BED	6	LEVEL 25	1 BED	6	LEVEL 34	1 BED	6
LEVEL 7	2 BED	4	LEVEL 16	2 BED	4	LEVEL 25	2 BED	4	LEVEL 34	2 BED	4
		14			14			14			14
LEVEL 8	STUDIO	4	LEVEL 17	STUDIO	4	LEVEL 26	STUDIO	4	LEVEL 35	STUDIO	4
LEVEL 8	1 BED	6	LEVEL 17	1 BED	6	LEVEL 26	1 BED	6	LEVEL 35	1 BED	6
LEVEL 8	2 BED	4	LEVEL 17	2 BED	4	LEVEL 26	2 BED	4	LEVEL 35	2 BED	4
		14			14			14			14
LEVEL 9	STUDIO	4	LEVEL 18	STUDIO	4	LEVEL 27	STUDIO	4	LEVEL 36	STUDIO	1
LEVEL 9	1 BED	6	LEVEL 18	1 BED	6	LEVEL 27	1 BED	6	LEVEL 36	2 BED	4
LEVEL 9	2 BED	4	LEVEL 18	2 BED	4	LEVEL 27	2 BED	4			5
		14			14			14			5
LEVEL 10	STUDIO	4	LEVEL 19	STUDIO	4	LEVEL 28	STUDIO	4	TOTAL		451
LEVEL 10	1 BED	6	LEVEL 19	1 BED	6	LEVEL 28	1 BED	6			
LEVEL 10	2 BED	4	LEVEL 19	2 BED	4	LEVEL 28	2 BED	4			
		14			14			14			

PARKING SCHEDULE			PARKING SCHEDULE			PROJECT METRICS		
LEVEL	STALL TYPE	COUNT	LEVEL	STALL TYPE	COUNT			
LEVEL 1	c	22	LEVEL 3	c	18	NET RENTABLE vs. BUILDING GSF:		
LEVEL 1	f	12	LEVEL 3	f	8	NET RENTABLE BUILDING GSF		
LEVEL 1	hc	2	LEVEL 3	hc	2	(RETAIL + OFFICE + RESIDENTIAL + STORAGE) (INCLUDING PARKING)		
LEVEL 1	i	9	LEVEL 3	i	7	389,114 SF / 595,440 SF = 65%		
		45			35	NET RENTABLE vs. BUILDING GSF W/O PARKING:		
LEVEL 1 MEZZANINE	c	18	LEVEL 3A	c	11	NET RENTABLE BUILDING GSF		
LEVEL 1 MEZZANINE	f	8	LEVEL 3A	f	14	(RETAIL + OFFICE + RESIDENTIAL + STORAGE) (NOT INCLUDING PARKING)		
LEVEL 1 MEZZANINE	hc	2	LEVEL 3A	hc	1	389,114 SF / 476,341 SF = 81%		
LEVEL 1 MEZZANINE	i	7	LEVEL 3A	i	3	TYP. TOWER FLOOR NET RENTABLE vs. TYP. TOWER FLOOR GSF:		
		35			29	TOWER FLOOR NET RENTABLE TOWER FLOOR GSF		
LEVEL 1 MEZZANINE A	c	12	LEVEL 4	c	19	10,558 SF / 12,580 SF = 84%		
LEVEL 1 MEZZANINE A	f	13	LEVEL 4	f	10			
LEVEL 1 MEZZANINE A	i	5	LEVEL 4	i	7			
		30			36			
LEVEL 2	c	18	LEVEL 4A	c	14			
LEVEL 2	f	8	LEVEL 4A	f	11			
LEVEL 2	hc	2	LEVEL 4A	hc	1			
LEVEL 2	i	7	LEVEL 4A	i	3			
		35			29			
LEVEL 2A	c	11	LEVEL 5	c	25			
LEVEL 2A	f	14	LEVEL 5	f	10			
LEVEL 2A	hc	1			35			
LEVEL 2A	i	3	TOTAL		338	UNIT MIX		
		29				UNIT TYPE    COUNT    PERCENTAGE		
						STUDIO            128            28%		
						1.BED            197            44%		
						2.BED            126            28%		
						451		

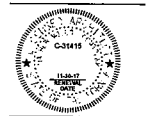
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1 12/17/2015 0130ment update

Rev Date Issue



1900  
broadway

Issued on  
project number: 13-041

Scale as noted  
date: 08.02.15

planning  
commission  
PROJECT DATA

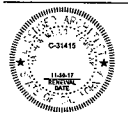




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CLIENT  
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rev. date issue



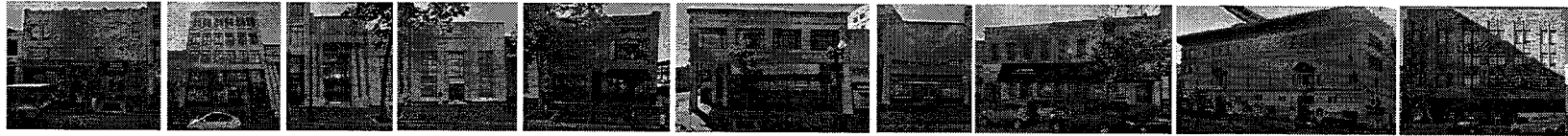
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 broadway

oakland ca  
 project number: 12-041

scale: as noted  
 date: 06.02.15

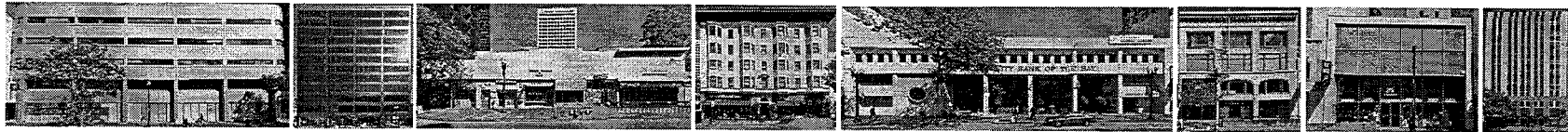
planning  
 commission  
 SITE  
 PHOTOGRAPHS

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1741 Broadway      1755 Broadway      1759 Broadway      1763 Broadway      1771 - 1775 Broadway      1901 Broadway      1926 Broadway      1929 - 1931 Broadway      1945 - 1955 Broadway      2001 Broadway

1 BROADWAY NIEGBORS - WEST FACING



2000 BROADWAY      1970 BROADWAY      1934 - 1946 BROADWAY      1770 BROADWAY      1750 BROADWAY      1724 - 1722 - 1720 BROADWAY      1716 BROADWAY      1700 BROADWAY

2 BROADWAY NIEGBORS - EAST FACING



1841 FRANKLIN ST      1901 FRANKLIN ST      415 20TH STREET      2001 FRANKLIN ST



VICINITY MAP

3 FRANKLIN ST NIEGBORS - SOUTH FACING



1820 FRANKLIN STREET

1841 FRANKLIN STREET

415 19TH STREET

467 19TH STREET

1816 TELEGRAPH STREET

4 19TH STREET - SOUTH FACING



468 19TH STREET

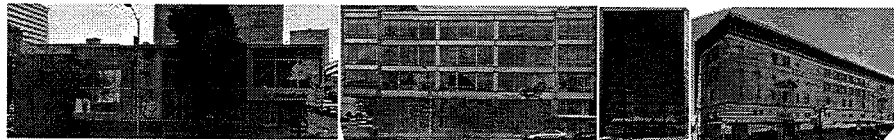
464 19TH STREET

442 - 440 19TH STREET

410 19TH STREET

386 19TH STREET

5 19TH STREET - NORTH FACING



1970 FRANKLIN STREET

415 20TH STREET

1970 BROADWAY

1955 BROADWAY

6 THOMAS L BERKELY WAY / 20TH STREET-SOUTH FACING

VICINITY MAP



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1900  
broadway

oakland ca  
project number: 12-041

scale: as noted  
date: 06.02.15

planning  
commission  
SITE  
PHOTOGRAPHS

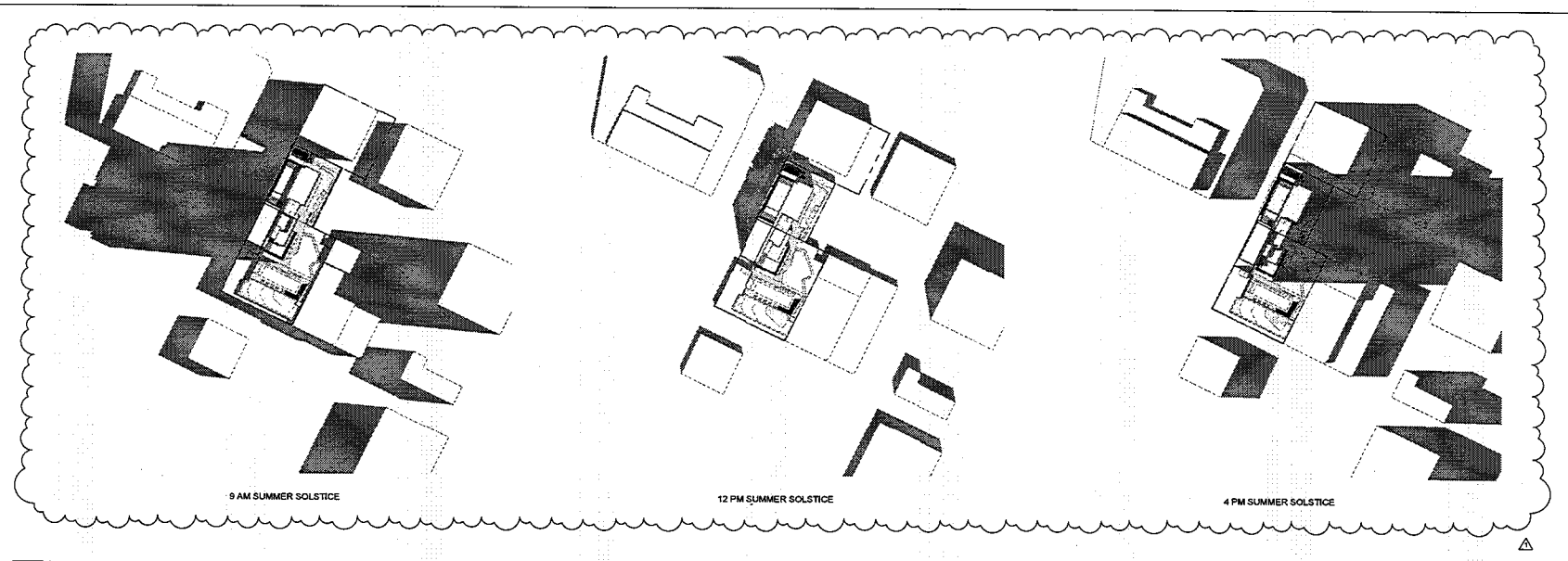
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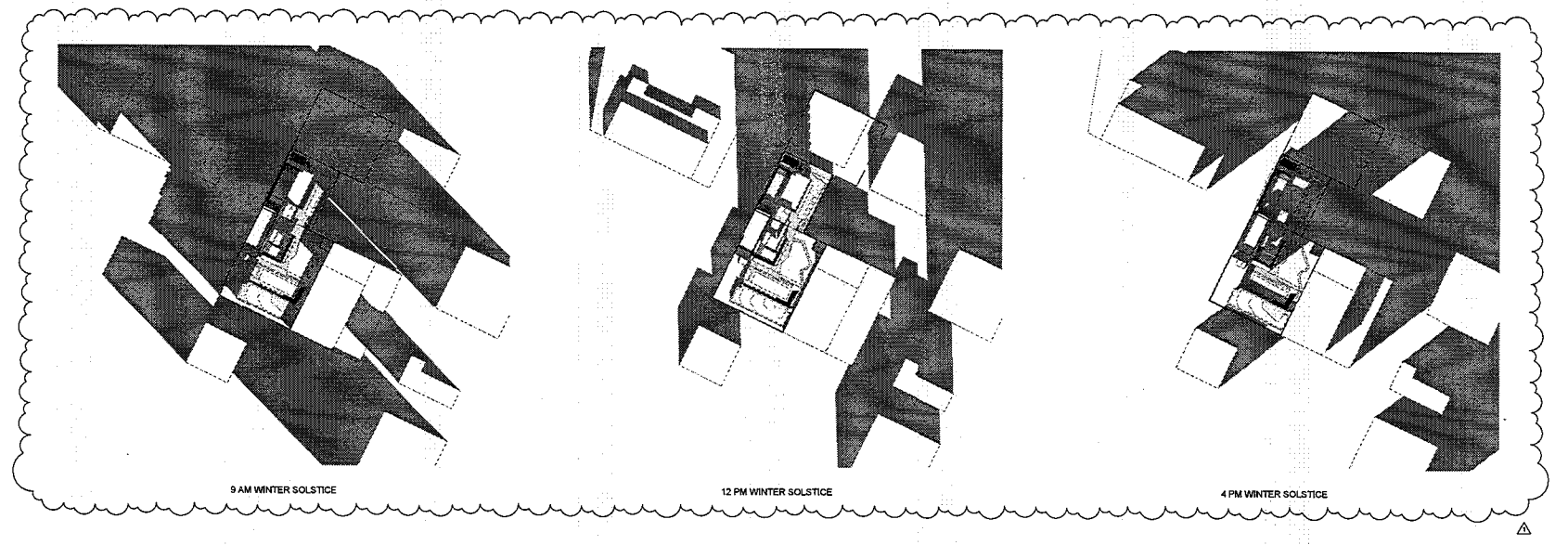
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1900 Broadway Associates, Inc.



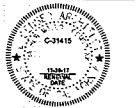
1 SUMMER SOLSTICE SHADOW STUDY



2 WINTER SOLSTICES SHADOW STUDY

1 12/17/2015 Settlement Update

rev date issue



1900  
broadway

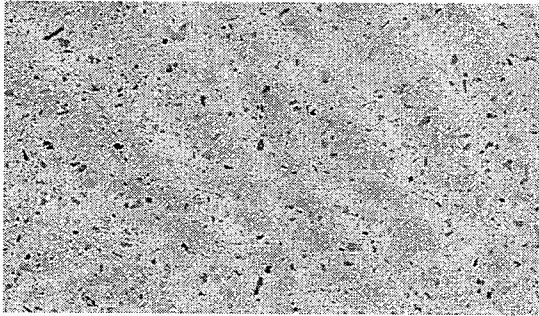
prepared by  
project number: 13041

scale: as noted  
date: 06.02.15

planning  
commission  
SHADOW STUDY

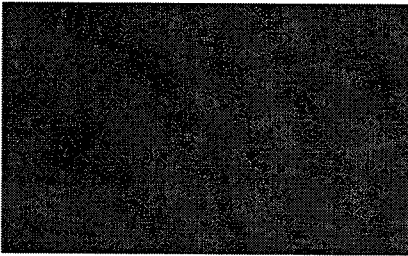




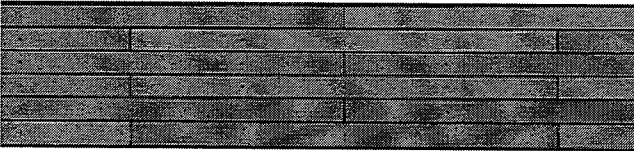


PRECAST TEXTURE

PRECAST PANEL

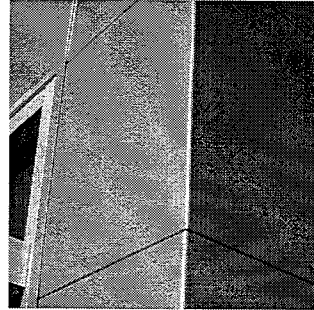


GFRP PANEL

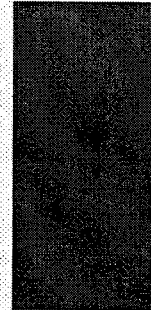


GFRP RAIN-SCREEN SYSTEM

GFRP



PANELING DETAIL



DARK STAINLESS STEEL



METAL COLOR CHARCOAL GRAY

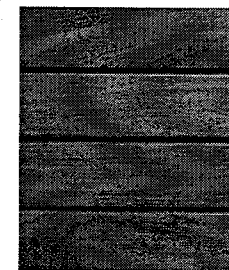
METAL PANEL



STORE FRONT SYSTEM



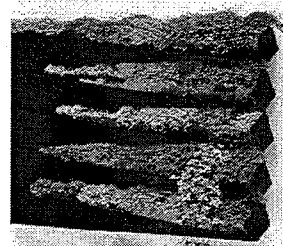
MULLION COLOR MEDIUM BRONZE



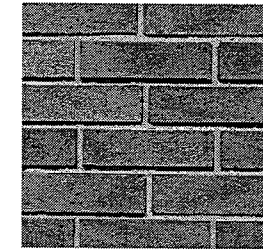
IPE WOOD WEATHERED

WINDOW WALL

WOOD FENCING & COURTYARD



LIVING WALL & COURTYARD



BRICK

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CLIENT  
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REV DATE SCALE



1900  
broadway

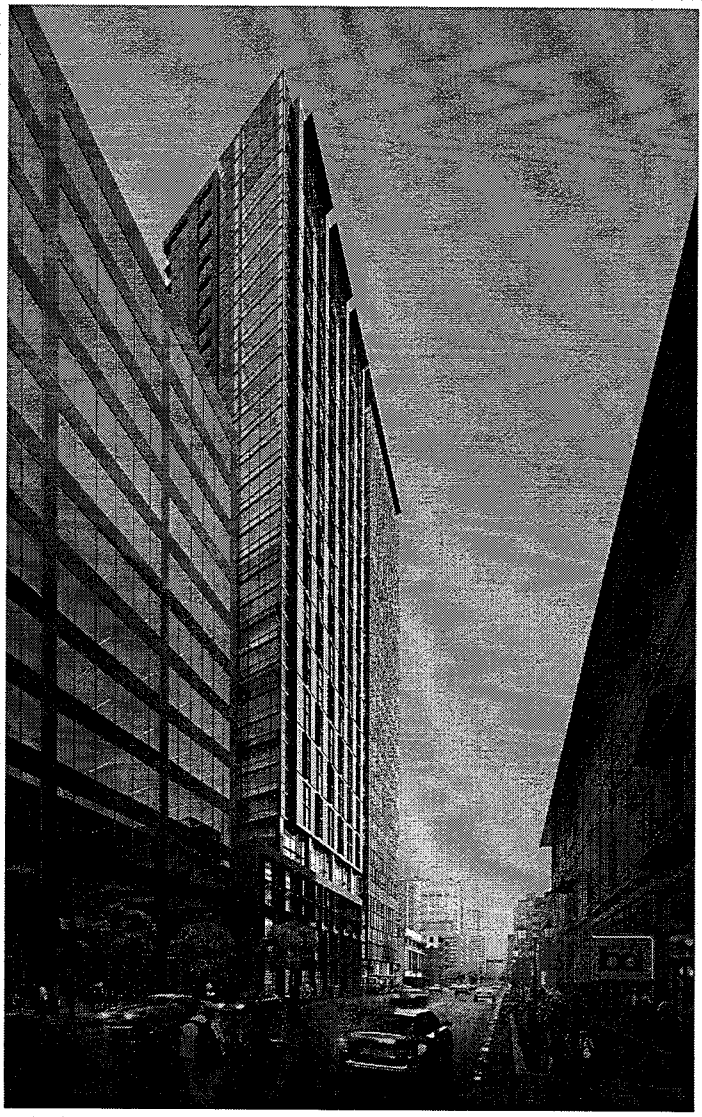
1900 broadway oakland california  
project number: Project Number

scale: as noted  
date: 06.02.18

DESIGN  
DEVELOPMENT  
MATERIAL BOARD

G0.8

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VIEW DOWN BROADWAY FROM 20TH



VIEW UP BROADWAY FROM 19TH

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1 12/17/2015 01/26/2016 Update

REV. DATE ISSUE



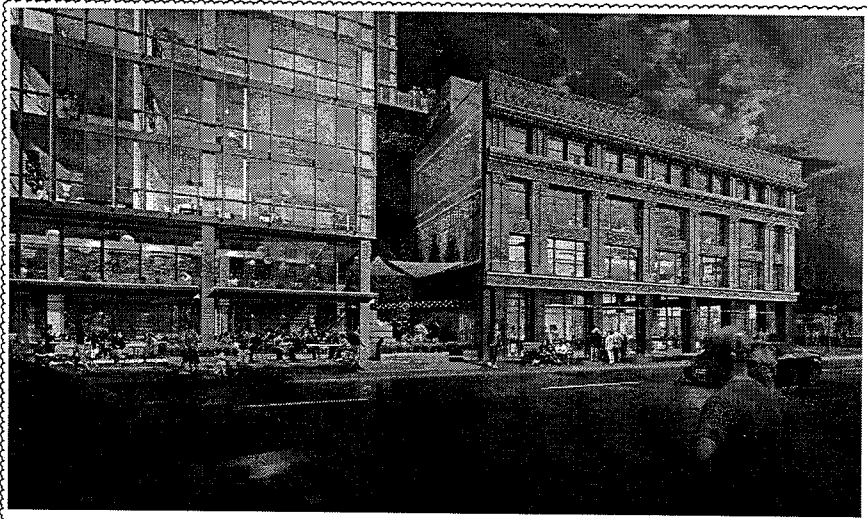
1900  
broadway

issued on  
project number: 13041

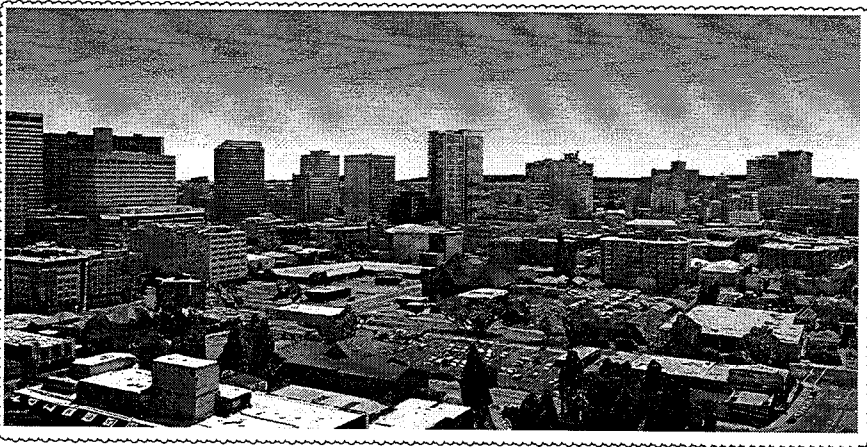
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date: 06.02.15

planning  
commission  
3D  
VIEWS-STREET  
VIEWS

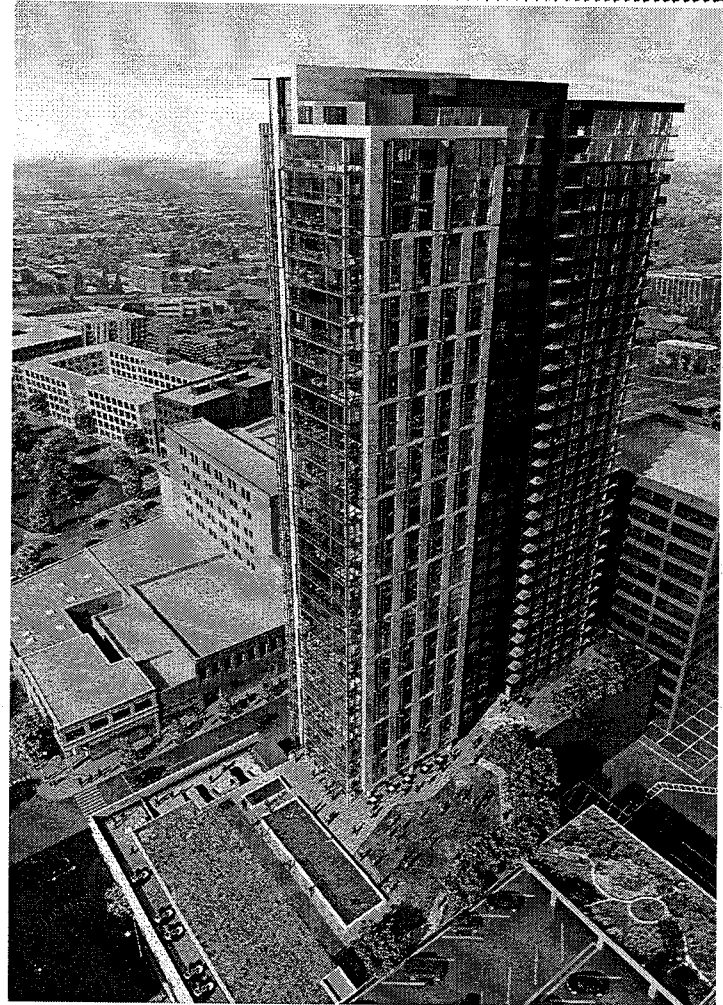
G1.2



VIEW OF PEDESTRIAN EXPERIENCE ALONG BROADWAY



AREAL VIEW LOOKING SOUTH EAST



BIRDS EYE LOOKING WEST FROM 19TH STREET

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1 12/17/2015 entitlement updates

rev	date	issue



1900  
 broadway

oldfield ca  
 project number: 12041

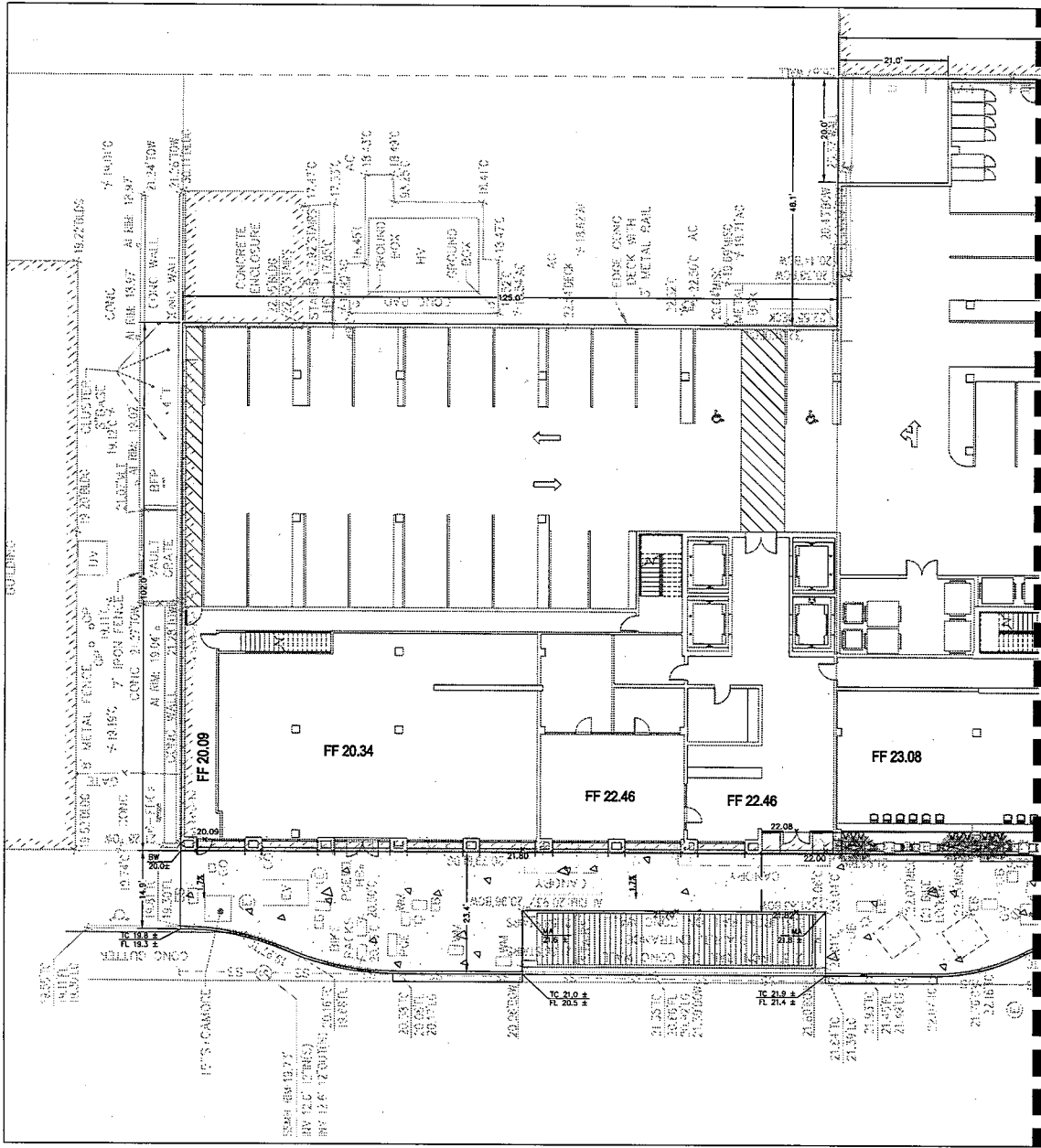
scale: as noted  
 date: 06.02.15

planning  
 commission  
 3D VIEWS





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MATCHLINE SEE SHEET C1.1

**LEGEND:**

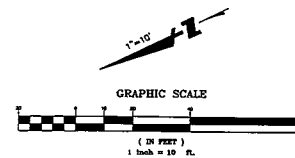
(N) CONCRETE SIDEWALK PER CITY OF OAKLAND STANDARD DETAILS AND SPECIFICATIONS

**NOTES:**

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. IMPACTED SIDEWALKS ON BROADWAY AND 19TH STREET TO BE REPLACED PER CITY STANDARD DETAILS AND SPECIFICATIONS
3. ALL LISTED TREE DIAMETERS ARE DBH.

**EARTHWORK TABLE**

EXCAVATION (CY)	FILL (CY)	OFF-HAUL (CY)
1,179	0	1,179



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1900  
broadway

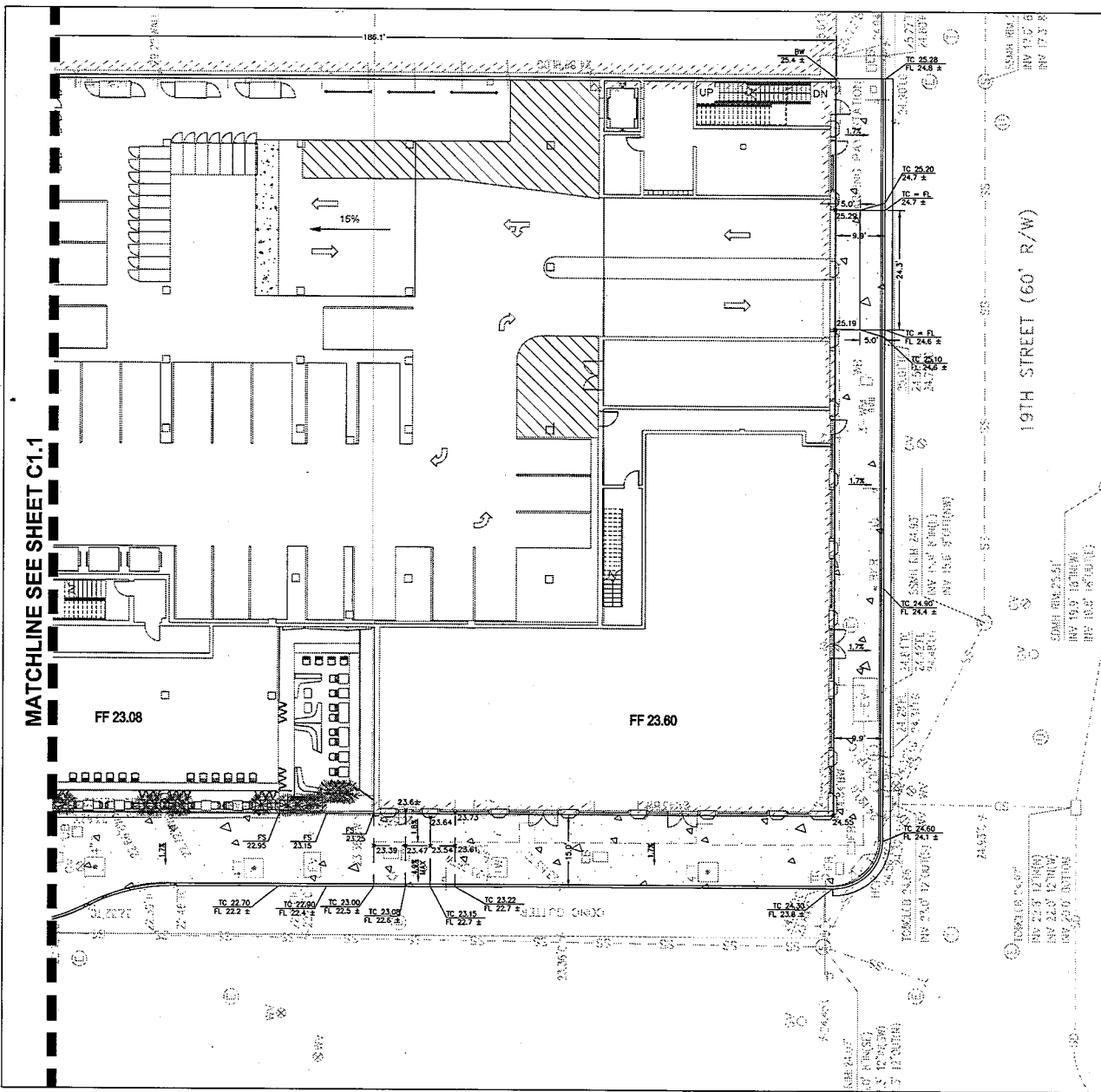
1900 Broadway Oakland California  
Project Number: Project Number

scale as noted  
date: 04.02.2015.

DESIGN  
DEVELOPMENT  
SITE AND GRADING  
PLAN

**C1.0**

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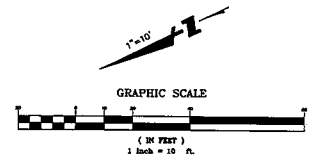
MATCHLINE SEE SHEET C1.1

**LEGEND:**  
 (N) CONCRETE SIDEWALK PER CITY OF OAKLAND  
 STANDARD DETAILS AND SPECIFICATIONS

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  2. IMPACTED SIDEWALKS ON BROADWAY AND 19TH STREET TO BE REPLACED PER CITY STANDARD DETAILS AND SPECIFICATIONS
  3. ALL LISTED TREE DIAMETERS ARE DBH.

**EARTHWORK TABLE**

EXCAVATION (CY)	FILL (CY)	OFF-HAUL (CY)
1,179	0	1,179



**ARCHITECT**  
 BKF, LLP  
 825 California Street  
 Berkeley, CA 94710  
 916.541.0107  
 www.bkf-llp.com

**CLIENT**  
 19th and Broadway Associates, LLC



REG. IN CALIFORNIA: 6100  
 STATE NO. 12107  
 REGISTERED: 04/19/88  
 916-541-0107  
 825-CALIF-0286 (PUB)



rev date issue

1900  
 Broadway

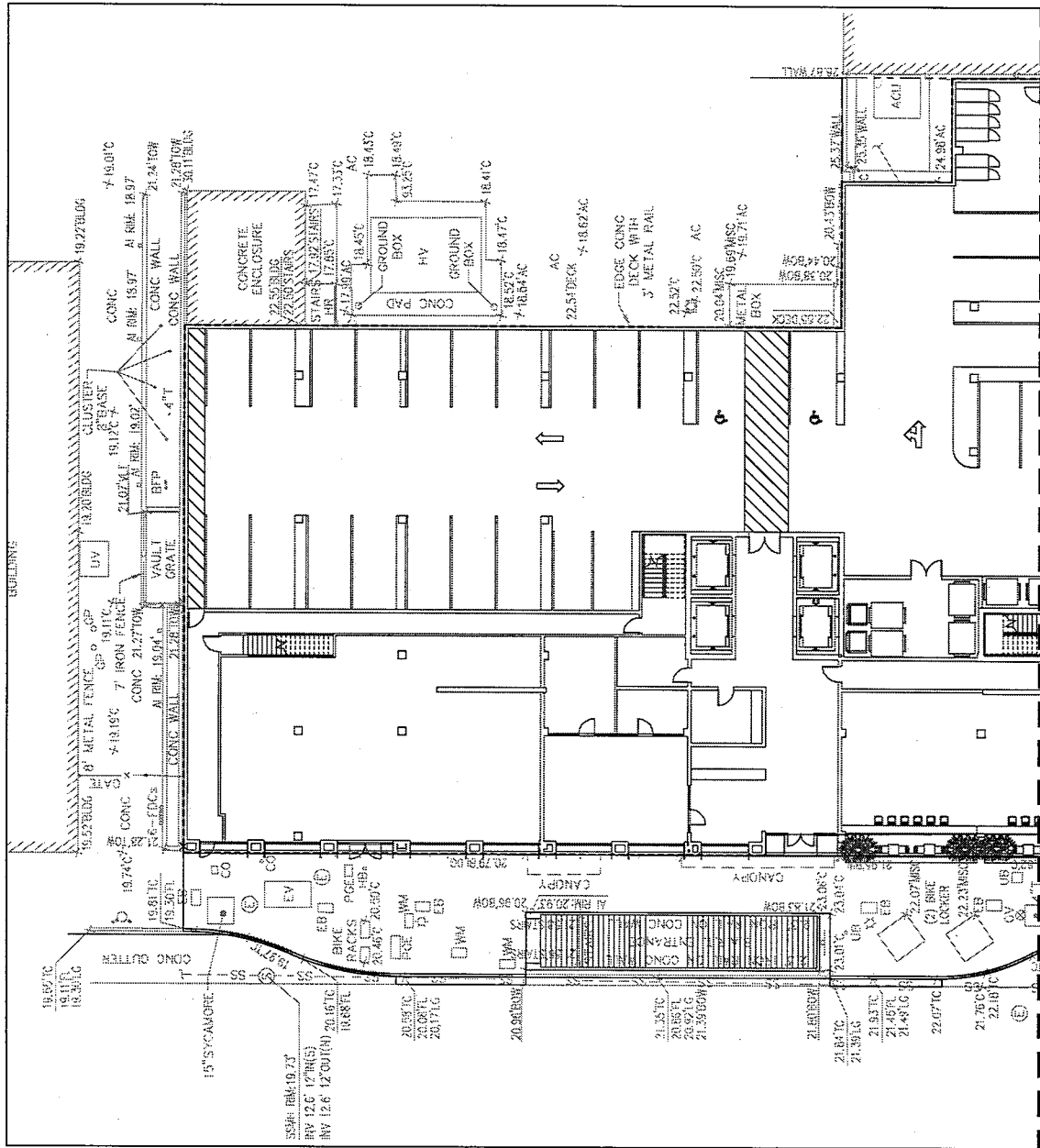
1900 Broadway Oakland California  
 Project Number: Project Number

scale: as noted  
 date: 06.02.2015

**DESIGN  
 DEVELOPMENT  
 SITE AND GRADING  
 PLAN**




**C1.1**

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MATCHLINE SEE SHEET C1.1

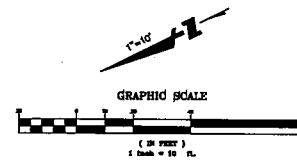
**LEGEND**

-  STABILIZED CONSTRUCTION ENTRANCE (TC-1)\*\* WITH ENTRANCE/OUTLET TIRE WASH (TC-3)\*\*
-  STORM DRAIN INLET PROTECTION (SE-10)\*\*
-  PROPOSED BUILDING FOOTPRINT

\*\*REFER TO CALIFORNIA CONSTRUCTION SITE BMP FACT SHEETS FOR DETAILS.

**EROSION CONTROL NOTES**

1. SITE ACCESS SHOWN ON THIS PLAN IS PROVIDED FOR INFORMATION PURPOSES ONLY. CONTRACTOR SHALL LOCATE CONSTRUCTION ACCESS DRIVEWAYS AS NECESSARY.
2. LOCATION OF CONSTRUCTION FENCING SHOWN ON THIS PLAN IS APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE SITE AND INSTALLING NEW CONSTRUCTION FENCING AS NECESSARY.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT AND MAINTAINED BY THE CONTRACTOR ON A YEAR-ROUND BASIS UNTIL ALL DISTURBED AREAS ARE STABILIZED UNLESS OTHERWISE PERMITTED BY THE COUNTY INSPECTOR.
4. ALL INLETS RECEIVING STORM WATER RUNOFF FROM THE PROJECT AREA MUST BE EQUIPPED WITH REQUIRED INLET PROTECTION.
5. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MANAGE SEDIMENT LAUNCH RUNOFF ENTERING THE STORM DRAIN SYSTEM.
6. STOCKPILED EARTHEN MATERIAL SHALL BE EITHER COVERED WITH A TARP OR WATERED SUFFICIENTLY TO ELIMINATE DUST.
7. REFERENCE: "CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICE (BMP) HANDBOOK", MARCH 2002.
8. CONSTRUCTION AREAS SHOWN ARE CONCEPTUAL. ACTUAL PLACEMENT TO BE DETERMINED BY CONTRACTOR BASED ON CURRENT BEST MANAGEMENT PRACTICES. CONTRACTOR SHALL SUBMIT A CONSTRUCTION STAGING PLAN.
9. THIS PROJECT WILL BE SUBJECT TO SHERPA PROVISIONS ADOPTED BY THE STATE OF CALIFORNIA IN SEPTEMBER 2009. SITE MONITORING OF STORM WATER DISCHARGE WILL BE REQUIRED THROUGHOUT CONSTRUCTION.



BKF

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924 California Street  
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510.516.0187  
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CLIENT  
10th and Broadway Associates, Inc.



10th and Broadway Associates, Inc.  
10th and Broadway Associates, Inc.  
10th and Broadway Associates, Inc.



REV DATE ISSUES

1900  
broadway

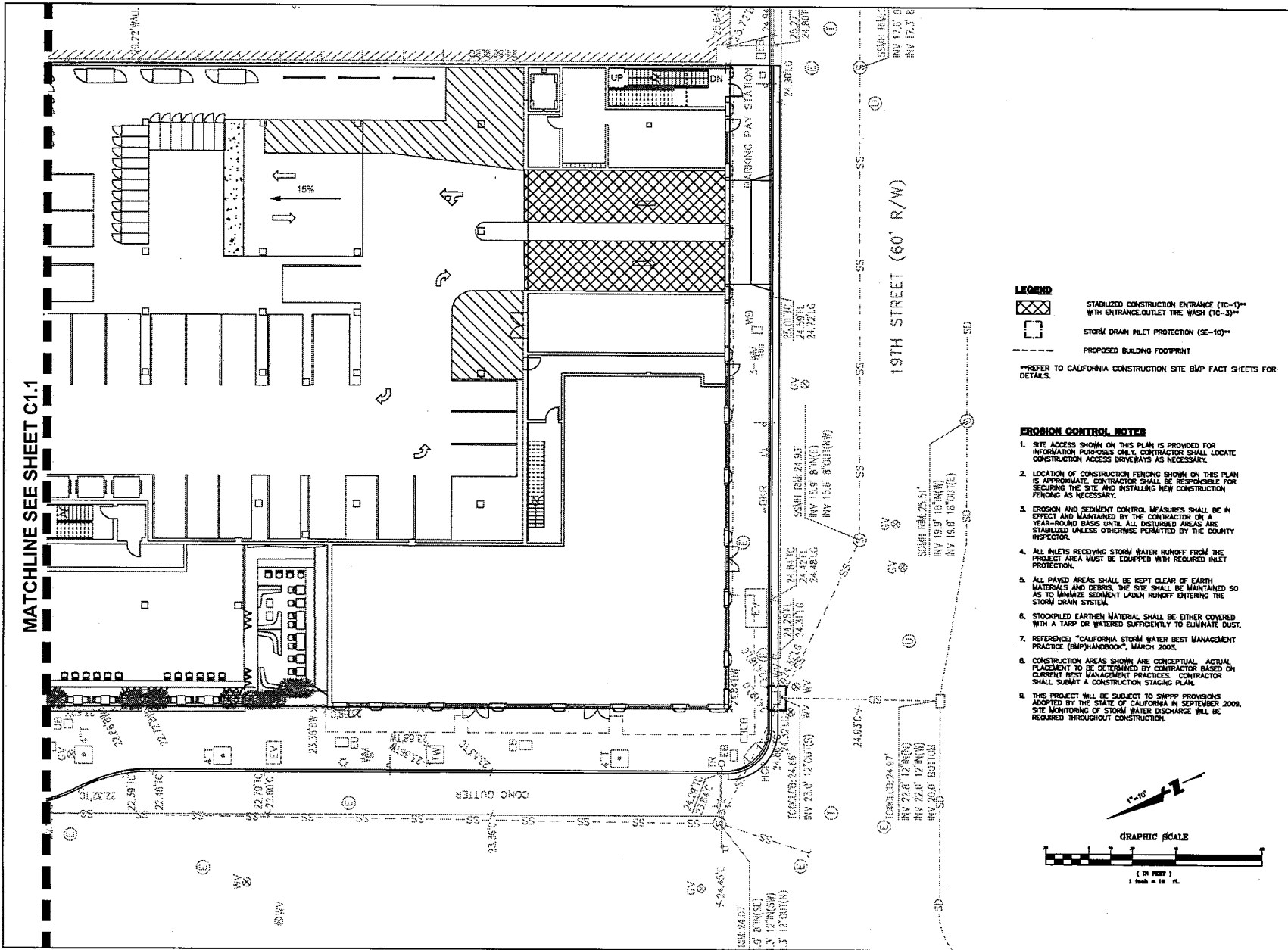
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project number: Project Number

scale: as noted  
date: 06/02/2015




DESIGN  
DEVELOPMENT  
EROSION CONTROL  
PLAN

C2.0

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**LEGEND**

-  STABILIZED CONSTRUCTION ENTRANCE (1C-1)\*\* WITH ENTRANCE/OUTLET TIRE WASH (1C-3)\*\*
-  STORM DRAIN INLET PROTECTION (SE-10)\*\*
-  PROPOSED BUILDING FOOTPRINT

\*\*REFER TO CALIFORNIA CONSTRUCTION SITE BMP FACT SHEETS FOR DETAILS.

**EROSION CONTROL NOTES**

1. SITE ACCESS SHOWN ON THIS PLAN IS PROVIDED FOR INFORMATION PURPOSES ONLY. CONTRACTOR SHALL LOCATE CONSTRUCTION ACCESS DRIVEWAYS AS NECESSARY.
2. LOCATION OF CONSTRUCTION FENCING SHOWN ON THIS PLAN IS APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE SITE AND INSTALLING NEW CONSTRUCTION FENCING AS NECESSARY.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT AND MAINTAINED BY THE CONTRACTOR ON A YEAR-ROUND BASIS UNTIL ALL DISTURBED AREAS ARE STABILIZED UNLESS OTHERWISE PERMITTED BY THE COUNTY INSPECTOR.
4. ALL INLETS RECEIVING STORM WATER RUNOFF FROM THE PROJECT AREA MUST BE EQUIPPED WITH REQUIRED INLET PROTECTION.
5. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LOADS ENTERING THE STORM DRAIN SYSTEM.
6. STOCKPILED EARTHEN MATERIAL SHALL BE EITHER COVERED WITH A TARP OR WATERED SUFFICIENTLY TO ELIMINATE DUST.
7. REFERENCED "CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICE (BMP) HANDBOOK", MARCH 2003.
8. CONSTRUCTION AREAS SHOWN ARE CONCEPTUAL. ACTUAL PLACEMENT TO BE DETERMINED BY CONTRACTOR BASED ON CURRENT BEST MANAGEMENT PRACTICES. CONTRACTOR SHALL SUBMIT A CONSTRUCTION STAGING PLAN.
9. THIS PROJECT WILL BE SUBJECT TO SFPWP PROVISIONS ADOPTED BY THE STATE OF CALIFORNIA IN SEPTEMBER 2009. SITE MONITORING OF STORM WATER DISCHARGE WILL BE REQUIRED THROUGHOUT CONSTRUCTION.

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CLIENT  
1900 and broadway associates, llc



DATE: 06/02/2015  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: [Scale]



REV DATE ISSUE

1900  
broadway

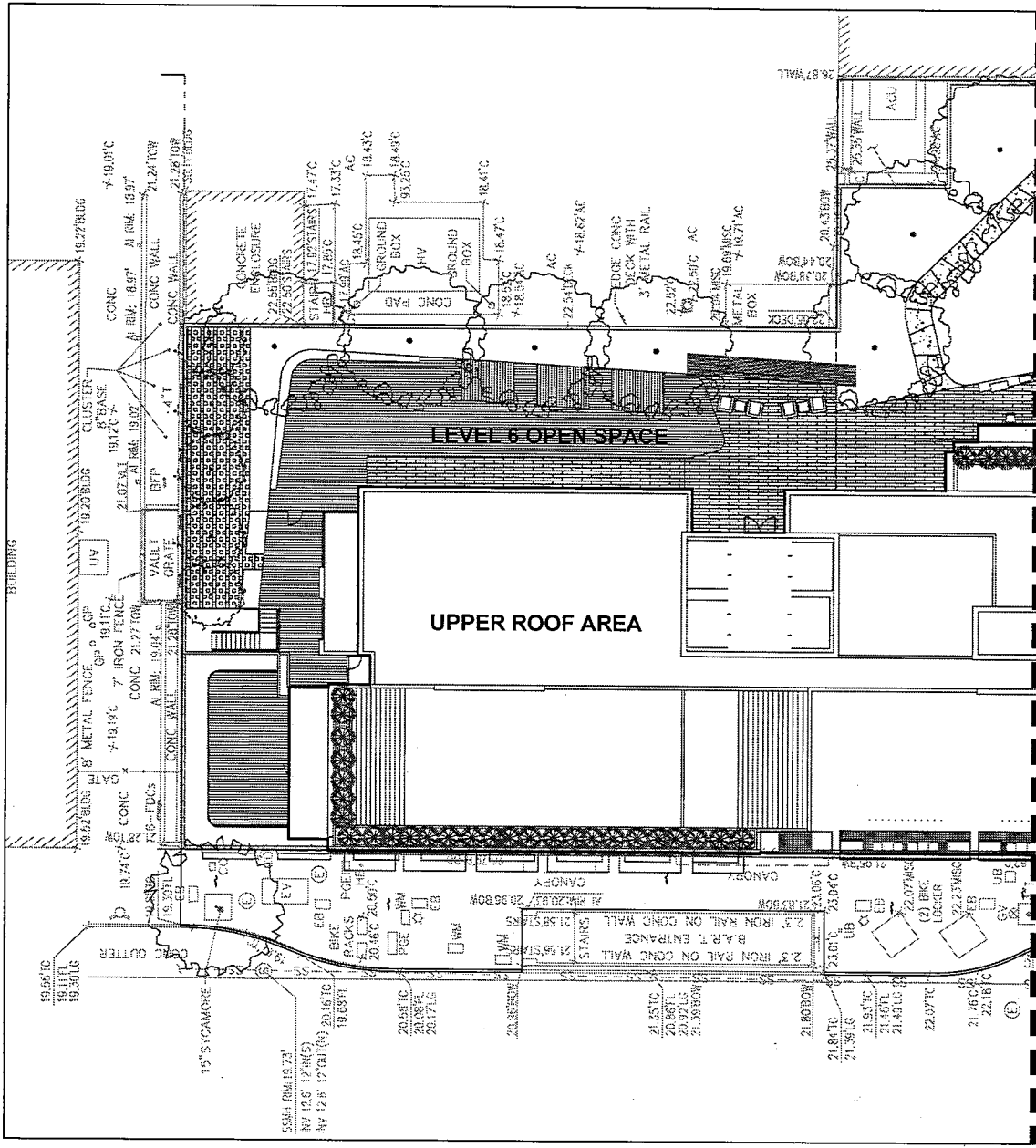
1900 broadway oakland california  
project number: Project Number

DATE: 06/02/2015

DESIGN  
DEVELOPMENT  
EROSION CONTROL  
PLAN

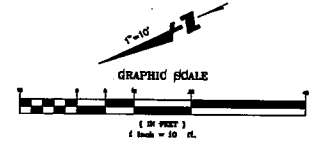


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MATCHLINE SEE SHEET C2.1

Total Site Area (SF)	Total Land Area Disturbed (SF)	Total Existing/Pre-Project Impervious Surface (SF)	Replaced Impervious Surface (SF)	New Impervious Surface (SF)	Total Post-Project Impervious Surface (SF)
40,653	47,436	39,511	27,223	1,142	28,365



**BLACK**

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 Berkeley, CA 94710  
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 www.black-lp.com

CLIENT  
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**Bkf**  
 Engineers | Architects | Planners

1900 & CALIFORNIA BLVD.  
 SUITE 402  
 BERKELEY, CALIF. 94704  
 916-546-2200  
 916-546-2202 (fax)

PROFESSIONAL ENGINEER  
 No. 51158  
 CIVIL  
 STATE OF CALIFORNIA

rev. date issue

1900  
 Broadway

1900 Broadway Oakland California  
 Project Number: Project Number

scale as noted  
 date: 06.02.2015

DESIGN  
 DEVELOPMENT  
 STORMWATER  
 MANAGEMENT PLAN

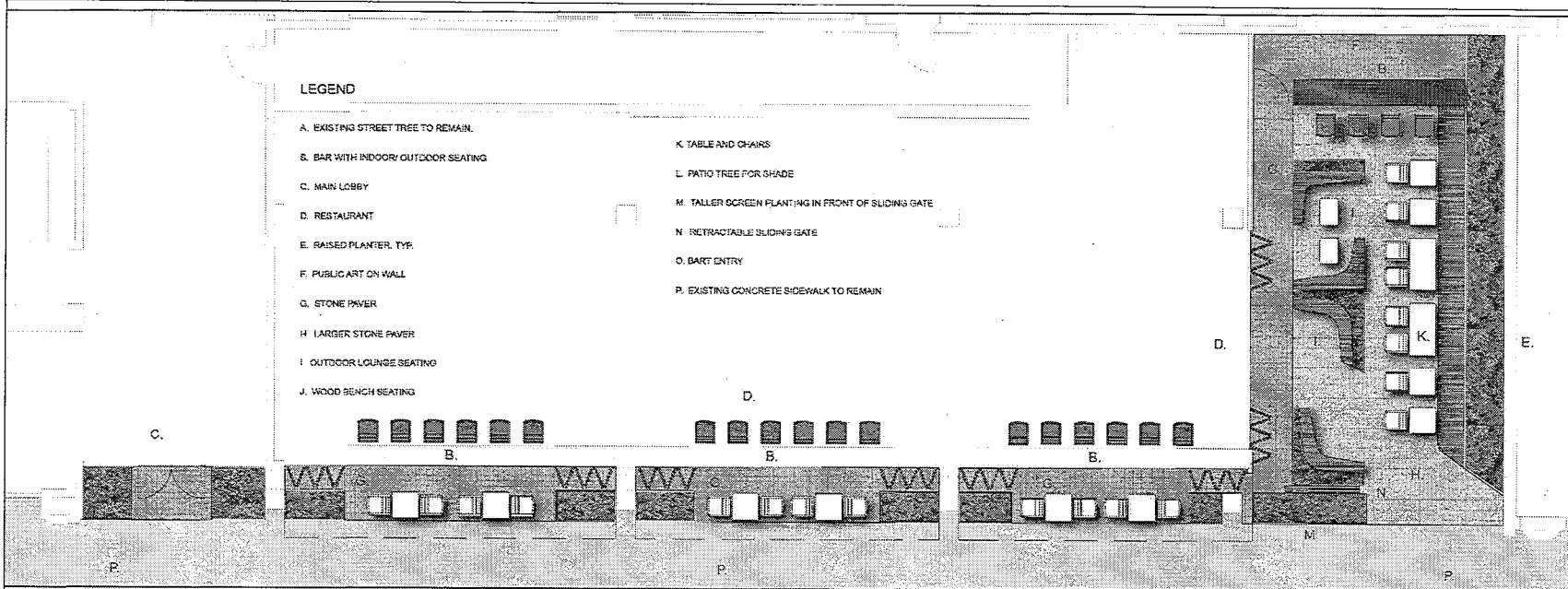
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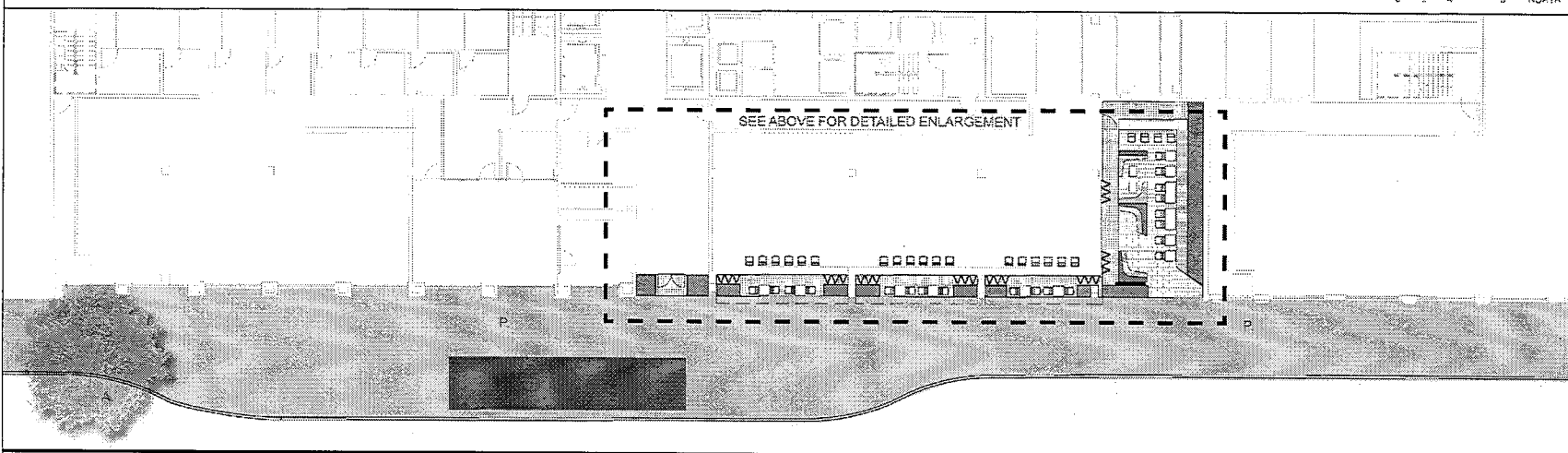
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**LEGEND**

- |                                     |  |
|-------------------------------------|--|
| A. EXISTING STREET TREE TO REMAIN.  | K. TABLE AND CHAIRS                                |
| B. BAR WITH INDOOR/ OUTDOOR SEATING | L. PATIO TREE FOR SHADE                            |
| C. MAIN LOBBY                       | M. TALLER SCREEN PLANTING IN FRONT OF SLIDING GATE |
| D. RESTAURANT                       | N. RETRACTABLE SLIDING GATE                        |
| E. RAISED PLANTER, TYP.             | O. BART ENTRY                                      |
| F. PUBLIC ART ON WALL               | P. EXISTING CONCRETE SIDEWALK TO REMAIN            |
| G. STONE PAVER                      |  |
| H. LARGER STONE PAVER               |  |
| I. OUTDOOR LOUNGE SEATING           |  |
| J. WOOD BENCH SEATING               |  |



SCALE: 1/4"=1'-0" NORTH



**FIRST FLOOR RESTAURANT / CAFE**

SCALE: 1"=10'-0" NORTH

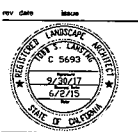
brick

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Berkeley, CA 94710  
510.545.0187  
www.brick-llp.com

SUBJECT  
1900 and broadway associates, llc

**Creo**

10101208 2010a.sca - 1000.dwg  
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1/1/2015 10:45 AM  
www.brick-llp.com



1900  
broadway

1900 broadway oakland ca 94612  
project number: Project Number

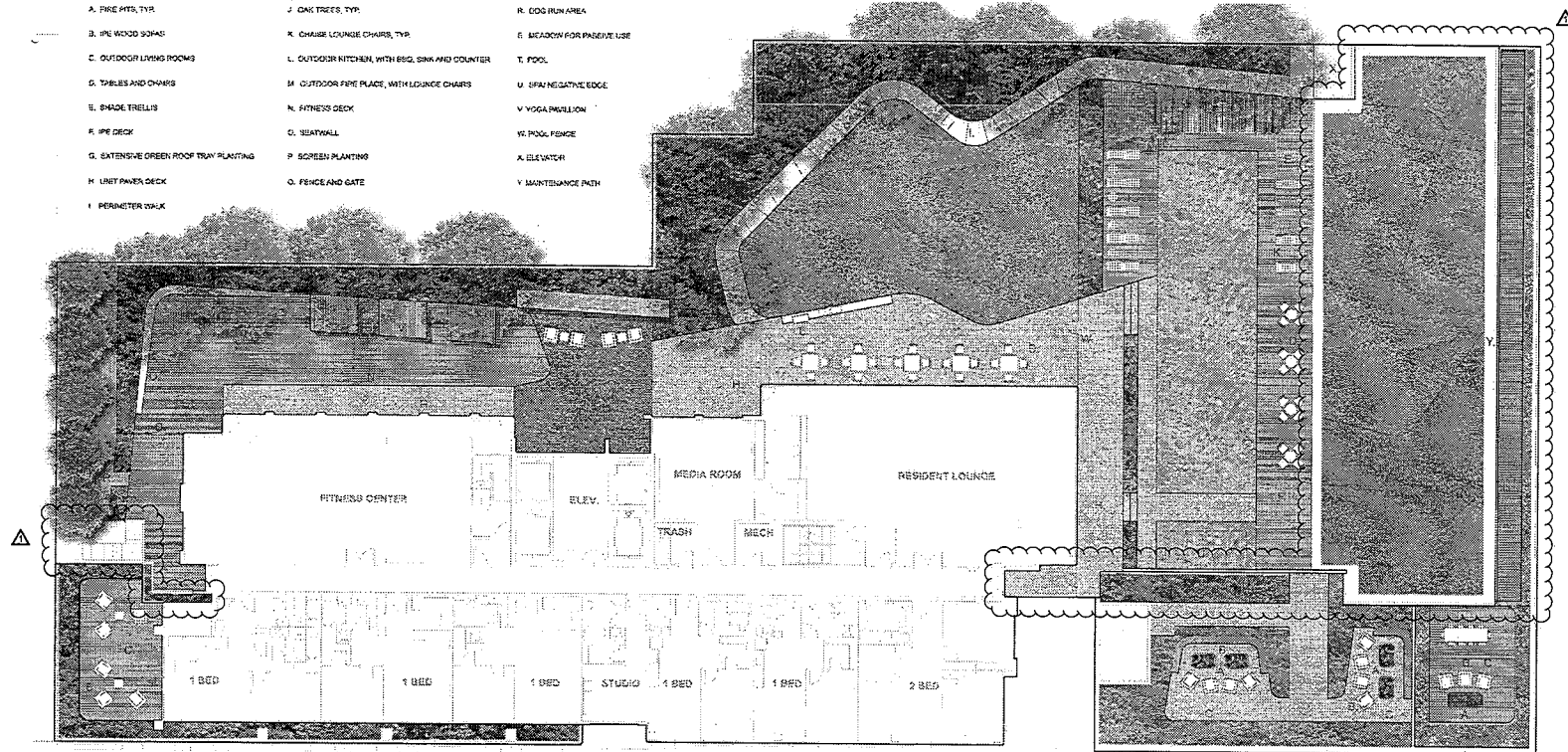
scale: as noted  
date: 06.02.2015

SCHEMATIC  
DESIGN  
ILLUSTRATIVE  
LANDSCAPE  
SITE PLAN

**L0.1**

**LEGEND**

- |                                       |  |                             |
|---------------------------------------|--|-----------------------------|
| A. FIRE FITS, TYP.                    | J. OAK TREES, TYP.                             | R. EGG RUN AREA             |
| B. IPE WOOD SOFAS                     | K. CHAIRS LOUNGE CHAIRS, TYP.                  | S. BEDROOM FOR PANGRIVE USE |
| C. OUTDOOR LIVING ROOMS               | L. OUTDOOR KITCHEN, WITH BRG, SINK AND COUNTER | T. POOL                     |
| D. TABLES AND CHAIRS                  | M. OUTDOOR FIRE PLACE, WITH LOUNGE CHAIRS      | U. SPA/NEGATIVE EDGE        |
| E. SHADE TRELLIS                      | N. FITNESS DECK                                | V. YOGA PAVILION            |
| F. IPE DECK                           | O. SEATWALL                                    | W. POOL FENCE               |
| G. EXTENSIVE GREEN ROOF TRAY PLANTING | P. SCREEN PLANTING                             | X. ELEVATOR                 |
| H. PERIMETER DALK                     | Q. FENCE AND GATE                              | Y. MAINTENANCE PATH         |



brick

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**Creo**  
 36 New Lane, 10th Floor  
 San Francisco, CA 94103  
 415.774.2600  
 www.1900andbroadway.com

12/17/2015 **Environment Update**  
 rev Date Issue



1900  
 broadway

1900 broadway Oakland California  
 project number: Project Number

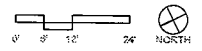
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 date: 06.02.2015

**SCHEMATIC  
 DESIGN  
 ILLUSTRATIVE  
 LANDSCAPE  
 SITE PLAN**

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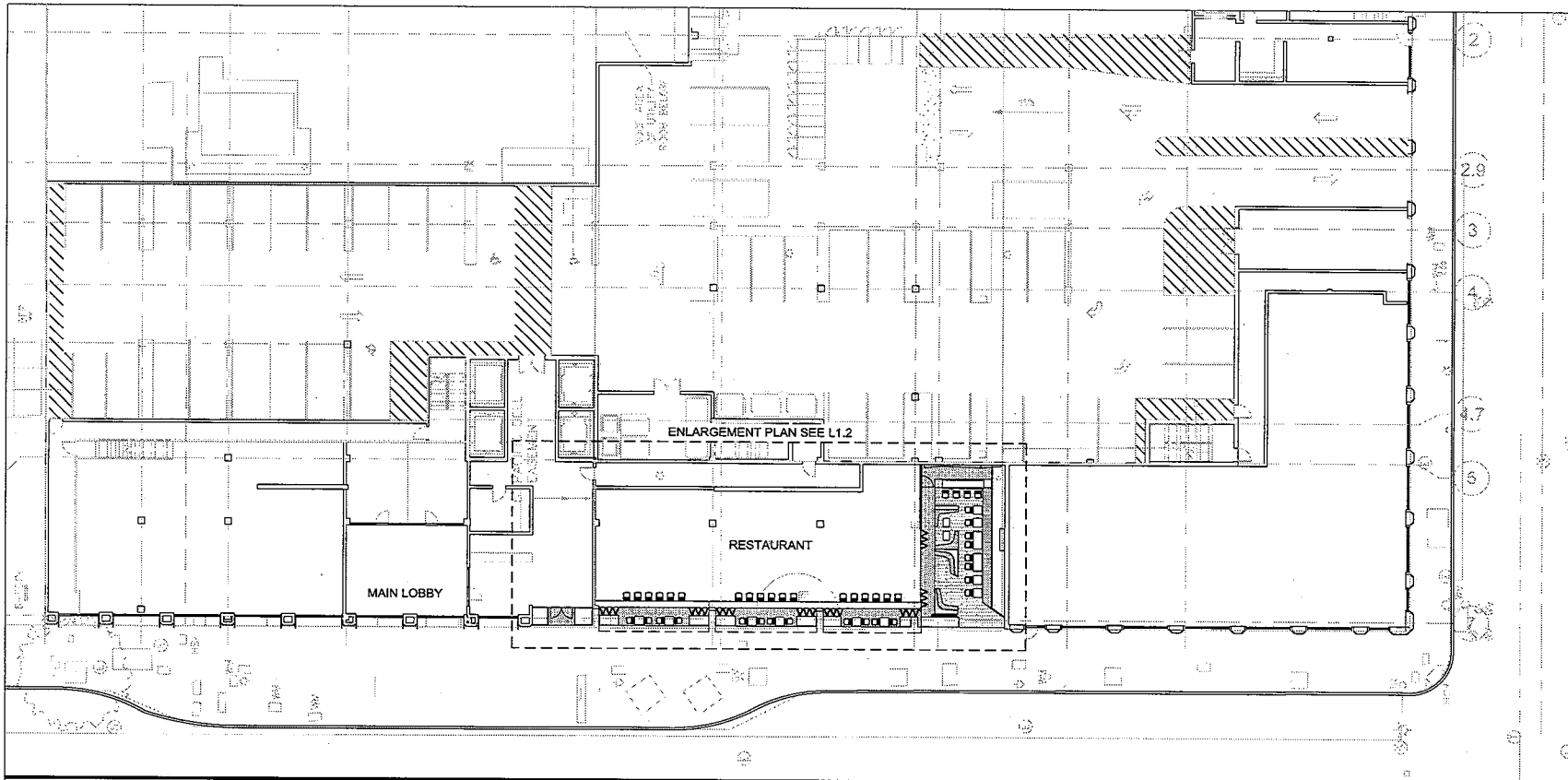
**6TH FLOOR ROOF GARDEN**

SCALE: 1"=12'-0"





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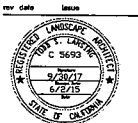
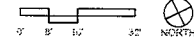


### LANDSCAPE SITE PLAN

#### LAYOUT NOTES

1. CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION INCLUDING LOCATIONS OF FIBER OPTIC LINES, PROPOSED UTILITIES, AREA DRAINS, MANHOLES, AND VAULTS AS INDICATED ON THE PROJECT SURVEY AND ANY CIVIL UTILITY PLANS. FOR MARKING UNDERGROUND FACILITIES, CALL UNDERGROUND SERVICE ALERT MINIMUM TWO DAYS PRIOR TO DIGGING: 1-800-227-2600, BETWEEN 6:00 AM- 7:00 PM, MONDAY-FRIDAY, EXCEPT HOLIDAYS.
2. CONTRACTOR SHALL POTHOLE EXISTING FIBER OPTIC LINE TO VERIFY DEPTH AND LOCATION PRIOR TO CONSTRUCTION. NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT AND WAIT FOR WRITTEN AUTHORIZATION PRIOR TO PROCEEDING.
3. REFER TO CIVIL DRAWINGS FOR LOCATION OF ALL UNDERGROUND UTILITIES EXISTING AND PROPOSED, AND NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT AND WAIT FOR WRITTEN AUTHORIZATION PRIOR TO PROCEEDING.
4. DIMENSIONS ARE MEASURED TO FACE OF BLDGS., FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
5. STAKE LOCATION OF LANDSCAPE ELEMENTS INCLUDING PAVING, BENCHES, POTS, ETC. FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
6. SPACING OF SCORE MARKS EQUALS WIDTH OF WALK, EXCEPT WHERE DRAWN OTHERWISE, ALIGN WITH OBVIOUS PAVING EDGES, AND PERPENDICULAR TO EDGE OF CURVED WALKWAYS UNLESS SHOWN OTHERWISE.
7. PROVIDE EXPANSION JOINTS WHERE CONCRETE PAVING MEETS EXISTING PAVING WHETHER SHOWN ON PLAN OR NOT. AT NEW CONCRETE PAVING, SPACING OF EXPANSION JOINTS IS TYPICALLY 20' MIN. O.C., OR WHERE SHOWN, REFER TO SPECIFICATIONS. PROVIDE DOWELS INTO BACK OF CURB, FACE OF WALL, BOTTOM OF STAIRS, ETC. TO PREVENT DIFFERENTIAL SETTLEMENT AS SHOWN ON DETAILS.
8. ALL CURVES SHALL BE CONSTRUCTED SMOOTH AND TANGENT WITH OTHER CURVES OR STRAIGHT LINES WHEREVER POSSIBLE. TRANSITIONS BETWEEN CHANGES IN VERTICAL CURVATURE OF PAVING SHALL BE SMOOTH AND GRADUAL WITH NO ABRUPT CHANGES.

SCALE: 1/16" = 1'-0"



1900  
broadway

1900 Broadway Oakland California  
Project Number: Project Number

Scale: as noted  
Date: 06.02.2015

SCHEMATIC  
DESIGN  
LANDSCAPE  
SITE PLAN

brick

ARCHITECT  
brick, llp  
324 carleton street  
berkeley, ca 94710  
510.516.0167  
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CLIENT  
19th and broadway associates, llc

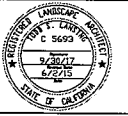
Creo

36 Market Lane, 3rd Floor  
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**Creo**  
3400 Wilshire Blvd, Suite 1000  
Los Angeles, CA 90010  
310.206.1000  
www.creoarch.com

rev. date issue

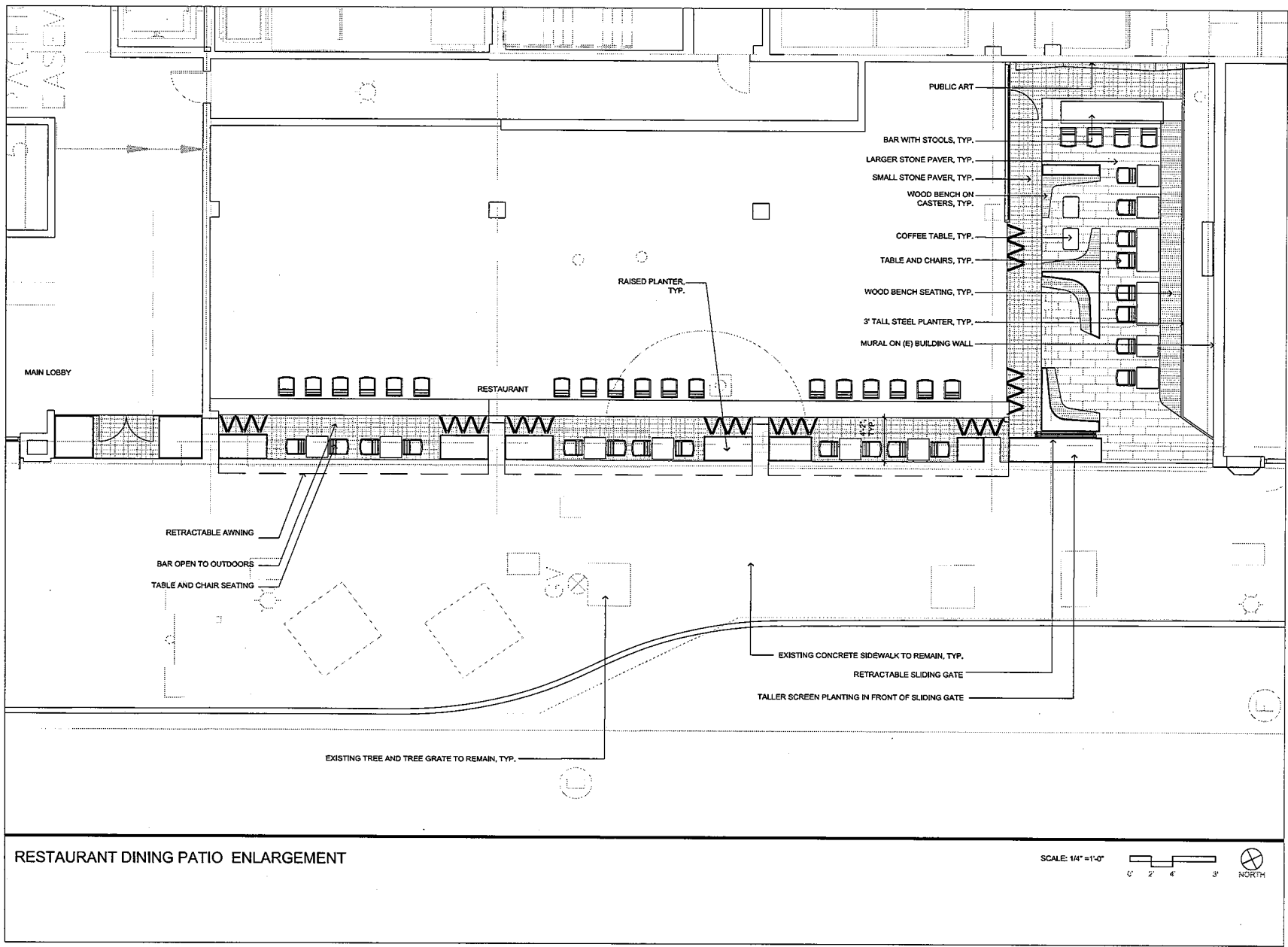


1900  
broadway

1900 Broadway Oakland California  
Project number: Project Number

scale: as noted  
date: 06/02/2015

SCHEMATIC  
DESIGN  
OUTDOOR  
RESTAURANT  
LANDSCAPE PLAN

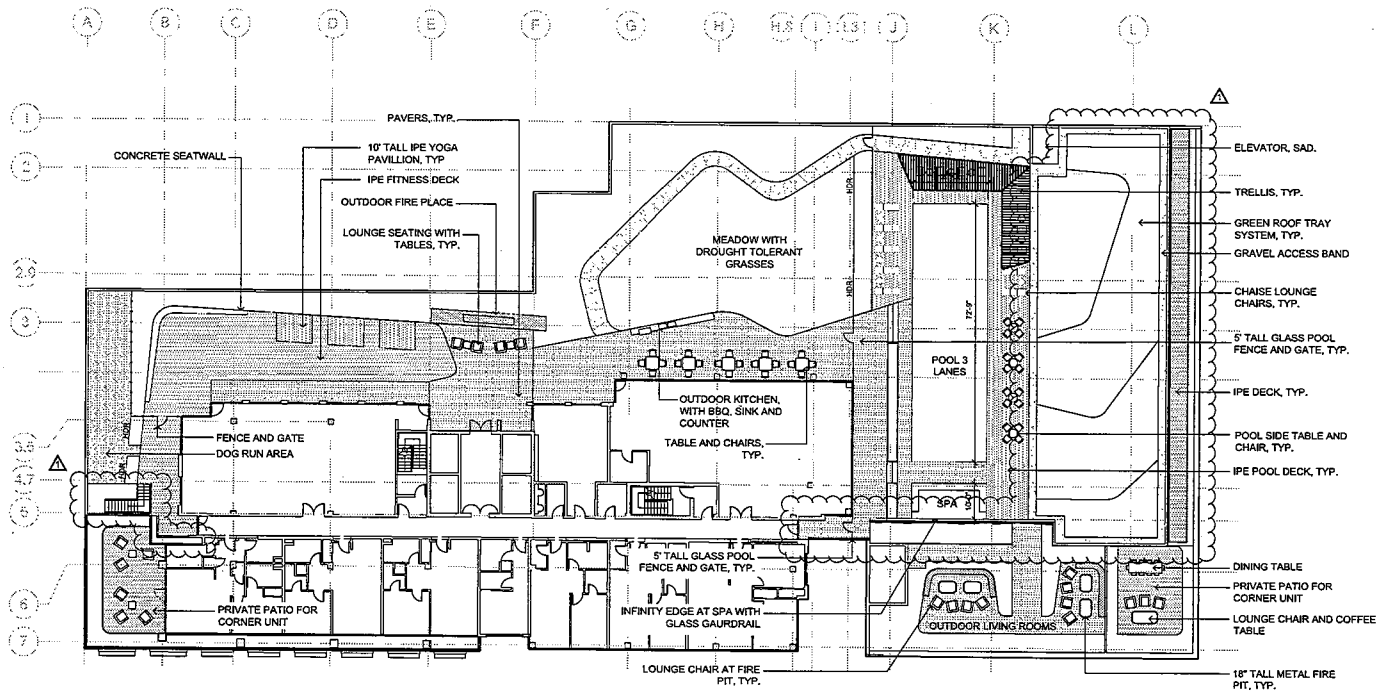


RESTAURANT DINING PATIO ENLARGEMENT

SCALE: 1/4" = 1'-0"  
0' 2' 4' 3' NORTH












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6TH FLOOR ROOF GARDEN

LEGEND

-  CONCRETE PAVING WITH LIGHT SAND BLAST FINISH
-  CRUSHED GRAVEL PAVING
-  UNIT PAVERS
-  IPE WOOD DECK
-  WOOD BARK MULCH
-  TWO PERSON TABLE AND CHAIRS
-  4 PERSON TABLE AND CHAIRS
-  CHAISE LOUNGE CHAIRS AND SIDE TABLE
-  DINING TABLE
-  LOUNGE SEATING
-  METAL HEADER

SCALE: 1/16" = 1'-0"

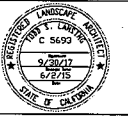


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 415.456.2000  
 www.creoind.com

12/17/2015 Enhancement Update  
 rev. date issue



1900  
 broadway

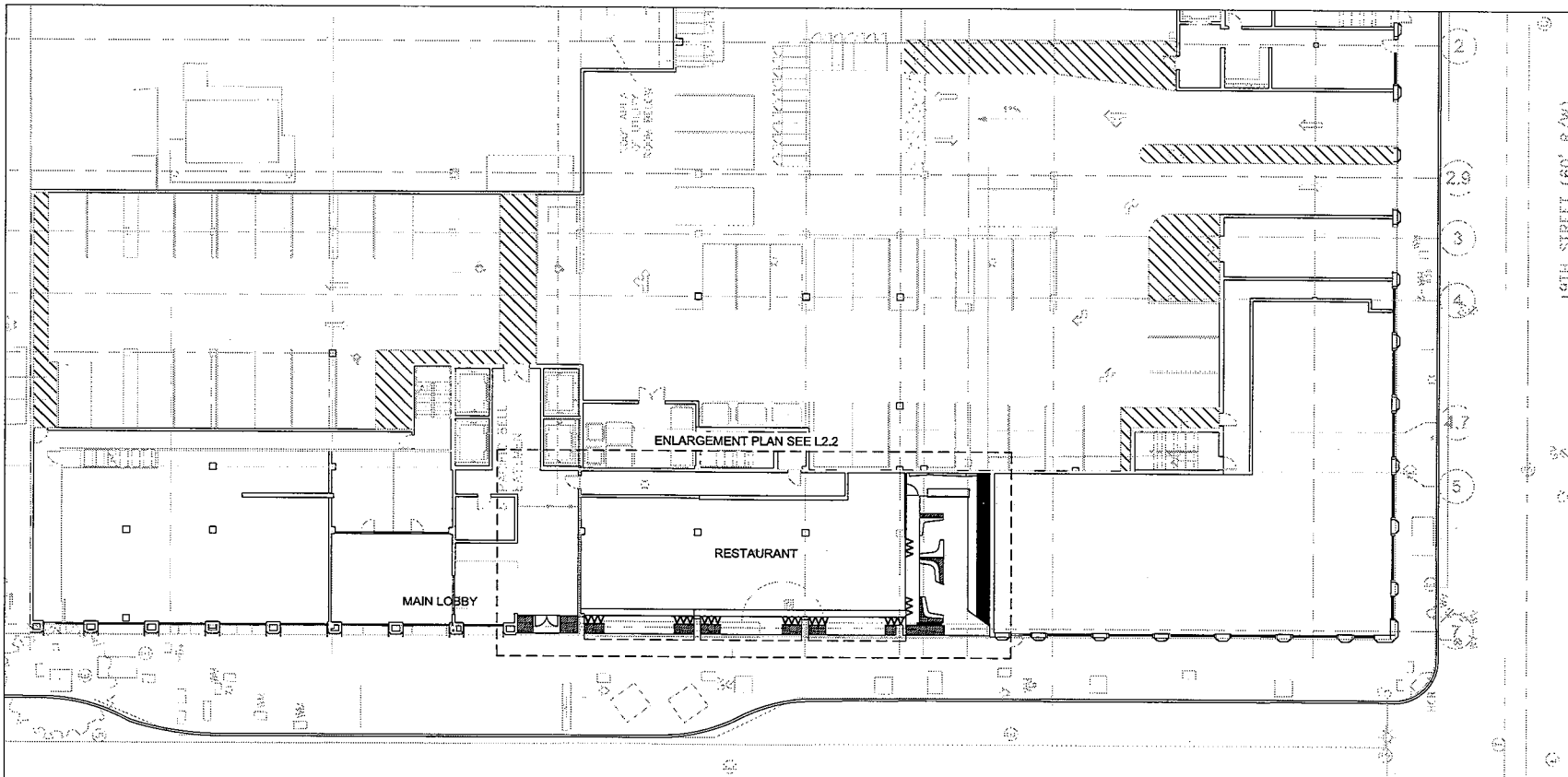
1900 broadway oakland california  
 project number: Project Number

scale: as noted  
 date: 06.02.2015

SCHEMATIC  
 DESIGN  
 6TH FLOOR ROOF  
 GARDEN  
 LANDSCAPE PLAN

L1.2

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**PLANTING PLAN**

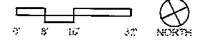
**LANDSCAPE DESIGN CRITERIA**

1. PLANTING TO BE DESIGNED TO PROVIDE MAXIMUM SAFETY FOR STUDENTS. PLANTING WILL BE PROVIDED ALONG WALLS, FENCES, AND AT BUILDING FOUNDATIONS AND WILL BE MAINTAINED AT AN APPROPRIATE HEIGHT FOR CLEAR VISIBILITY.
2. FINISH GRADING, SHALL BE POSITIVE SURFACE DRAINAGE ACROSS PLANTED AREAS AND AWAY FROM BUILDING FOUNDATIONS. REFER TO LANDSCAPE GRADING PLAN FOR ALL EXISTING AND PROPOSED GRADE INFORMATION.
3. ALL AREAS ON GRADE SHALL RECEIVE 6" OF TOP SOIL AND 3" OF BARK MULCH. SOIL AMENDMENTS WILL BE ADDED BASED ON SOIL LAB RECOMMENDATIONS.
4. STORMWATER MANAGEMENT TO COMPLY WITH SPECIAL PROJECT CATEGORY 'B' C3 REQUIREMENTS AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP), BIOSWALES AND/OR INFILTRATION PLANTERS WILL BE USED TO TREAT STORM WATER. REFER TO CIVIL DOCUMENTS.
5. LANDSCAPE FEATURES EMPLOYED TO MINIMIZE RUNOFF AND PROMOTE SURFACE FILTRATION INCLUDE:
  - A) PROVIDING GENTLE SLOPES NOT TO EXCEED 10 PERCENT IN LANDSCAPE AREAS.
  - B) INSTALLING PLANTS WITH LOW WATER REQUIREMENTS.
  - C) INSTALLING PLANTS APPROPRIATE FOR THE LOCATION AND MICRO-CLIMATE.
  - D) UTILIZING BIOSWALES AND/OR INFILTRATION PLANTERS TO CAPTURE RUNOFF BEFORE IT EXITS THE SITE.
  - E) INSTALLING COBBLE SPLASH PADS WHERE RUNOFF IS DISCHARGED INTO BIOSWALES OR INFILTRATION PLANTERS TO AVOID EROSION.
6. ON SITE LANDSCAPE LIGHTING TO BE PROVIDED BY POLES AND BOLLARDS.
7. ALL PLANTING GROUPS ARE DESIGNED FOR WATER USE AND ARRANGED BY WATER HYDROZONES BASED ON WATER NEEDS.
8. WATER USE RATING IS BASED ON WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS), UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION. VL=VERY LOW, L=LOW, M=MEDIUM, H=HIGH

**IRRIGATION DESIGN CRITERIA**

1. IRRIGATION DESIGN TO COMPLY WITH ABA 1881 REQUIREMENTS, FOLLOW THE STATEWIDE MODEL ORDINANCE DESIGN GUIDELINES AND CITY REQUIREMENTS WITH USE OF WATER EFFICIENT LANDSCAPING AND LOW WATER-WISE PLANTS. ALL PLANTED AREAS SHOWN WILL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM.
2. THE IRRIGATED SYSTEMS WILL BE A PERMANENT BELOW GROUND AUTOMATED SYSTEMS ADEQUATE FOR THE ESTABLISHMENT AND MAINTENANCE OF ALL PLANT MATERIAL.
3. ALL TREE, SHRUB AND GROUNDCOVER AREAS WILL BE IRRIGATED BY A PERMANENT, AUTOMATIC, UNDERGROUND DRIP OR LOW FLOW IRRIGATION SYSTEM. TREE, SHRUB, AND GROUND COVER AREAS SHALL BE ON SEPARATE VALVES.
4. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED, MAINTAINED AND MANAGED TO MEET OR EXCEED MINIMUM EFFICIENCY.
5. ALL IRRIGATION EQUIPMENT SHALL BE SCREENED APPROPRIATELY FROM VIEW IN PUBLIC AREAS.
6. THE FINAL IRRIGATION PLAN SHALL ACCURATELY AND CLEARLY IDENTIFY:
  - A) LOCATION AND SIZE OF WATER METERS FOR THE LANDSCAPE
  - B) LOCATION, TYPE AND SIZE OF ALL COMPONENTS OF THE IRRIGATION SYSTEM, INCLUDING AUTOMATIC CONTROLLERS, MAIN AND LATERAL LINES, VALVES, SPRINKLER HEADS, RAIN SWITCHES, QUICK COUPLERS, AND BACKFLOW PREVENTION DEVICES.
  - C) STATIC WATER PRESSURE AT THE POINT OF CONNECTION TO THE PUBLIC WATER SUPPLY.
  - D) FLOW RATE (GALLONS PER MINUTE), AND REMOTE CONTROL VALVE SIZE.
7. QUICK COUPLERS WILL BE LOCATED AT EVERY 80 TO 100 FEET ALONG THE IRRIGATION MAIN LINE.
8. IRRIGATION SYSTEM AND FINAL DESIGN SHALL BE PROVIDED AT A LATER DATE.
9. IRRIGATION SYSTEM FEATURES EMPLOYED TO ACHIEVE WATER CONSERVATION GOALS INCLUDE:
  - A) SMART IRRIGATION CONTROLLERS CAPABLE OF RESPONDING TO ON-SITE WEATHER CONDITIONS.
  - B) CONTROLLERS WITH MULTIPLE PROGRAMS.
  - C) WATERING SCHEDULES EMPLOYING SHORT CYCLES.
  - D) RAIN SHUT-OFF DEVICES TO PREVENT IRRIGATION AFTER SIGNIFICANT PRECIPITATION.
  - E) DRIP AND/OR BUBBLER IRRIGATION FOR SHRUBS AND TREES IN PLANTER AREAS WHICH HAVE A SHRUB DENSITY THAT WILL CAUSE EXCESSIVE SPRAY INTERFERENCE OF AN OVERHEAD SYSTEM.
  - F) USE OF FLOW REDUCERS TO MITIGATE SPRAY OF BROKEN HEADS NEXT TO SIDEWALK, STREETS, AND DRIVEWAYS.

SCALE: 1/16" = 1'-0"



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rev date issue

1900  
broadway

1900 broadway oakland california  
 project number: Project Number

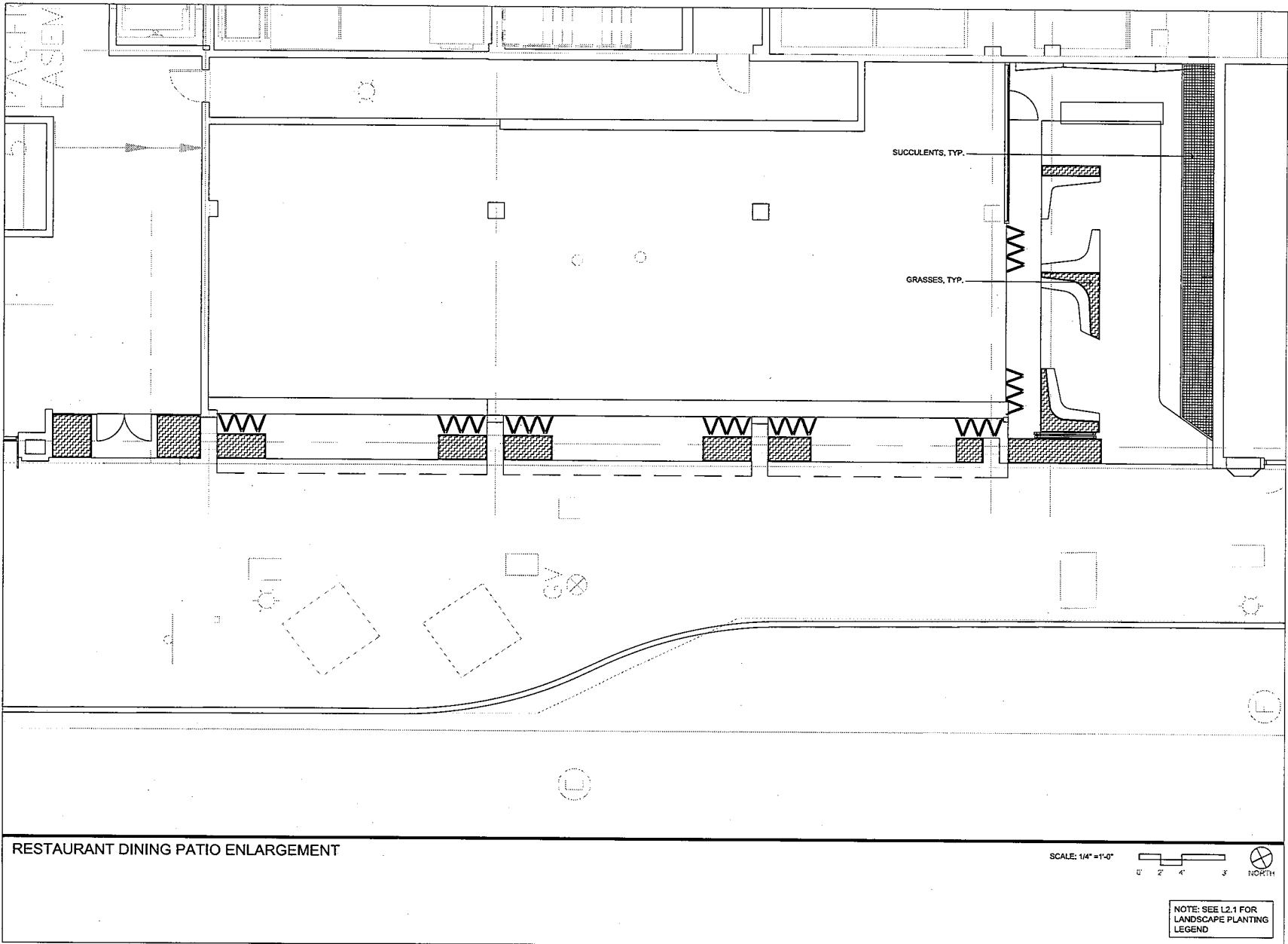
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**SCHEMATIC DESIGN OVERALL PLANTING**

**L2.0**



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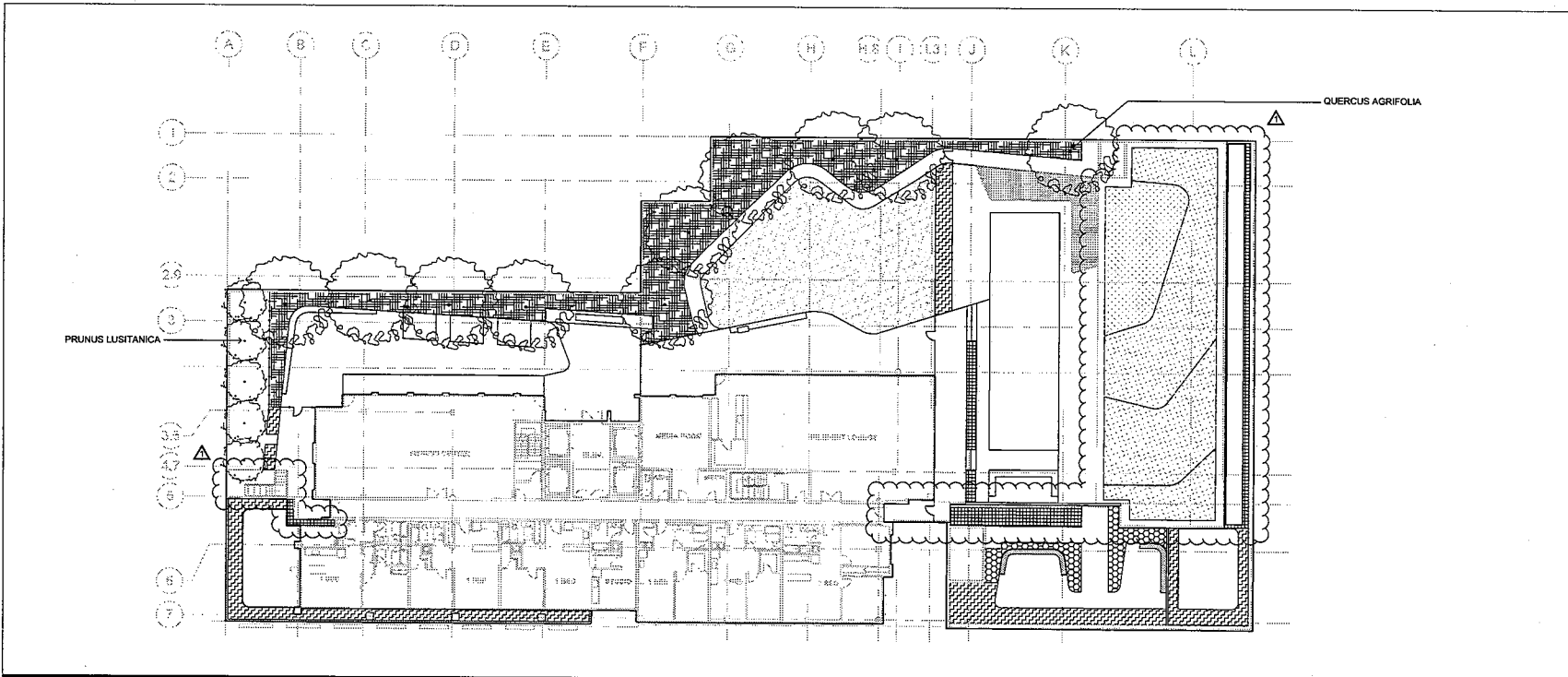
1900  
broadway

1900 Broadway Oakland California  
Project Number: Project Number

SCALE: AS NOTED  
DATE: 06.02.2015

SCHEMATIC  
DESIGN  
OUTDOOR  
RESTAURANT  
PLANTING PLAN

L2.1



6TH FLOOR ROOF GARDEN

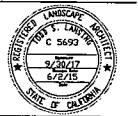
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0' 6" 12" 30'  
NORTH

PROPOSED PLANT LIST

SYMBOL	BOTANICAL NAME (COMMON NAME)	SIZE	*WATER USE	SYMBOL	BOTANICAL NAME (COMMON NAME)	SIZE	*WATER USE	SYMBOL	BOTANICAL NAME (COMMON NAME)	SIZE	*WATER USE				
<b>TREES</b>															
	QUERCUS AGRIFOLIA (COAST LIVE OAK)	36" BOX	VL	<b>SHRUBS</b>											
	PRUNUS LUSITANICA (PORTUGUESE LAUREL)	24" BOX	L		ARCTOSTAPHYLOS CULTVARS (MANZANITA)	5 GAL	L		CAREX DIVULSA (BERKELEY SEDGE)	1 GAL	L				
<b>OAK WOODLAND</b>															
	BACCHARIS PILULARIS 'PIGEON POINT' (PROSTRATE COYOTE BRUSH)	5 GAL	L		CEANOTHUS SPP. (CALIFORNIA LILAC)	5 GAL	VL		HELICOTRICHON SEMPERVIRENS (BLUE OAT GRASS)	1 GAL	L				
	BERBERIS REPENS (CREEPING BARBERRY)	5 GAL	L		RHAMNUS CALIFORNICUS (COFFEE BERRY)	5 GAL	L		BOUTELOUA GRACILIS 'BLONDE AMBITION' (BLONDE AMBITION' BLUE GRAMA GRASS)	1 GAL	L				
	RIBES VIBURNIFOLIUM (EVERGREEN CURRANT)	5 GAL	L		WESTRINGIA FRUTICOSA 'MORNING LIGHT' (COAST ROSEMARY)	5 GAL	L	<b>GROUND COVER</b>							
<b>SUCCULENTS</b>															
	AGAVE ATTENUATA (FOXTAIL AGAVE)	5 GAL	L									*NATIVE PRESERVATION MIX BY DELTA BLUEGRASS CO. (NO MCW GRASS MEADOW)	SOD	L	
	SENECIO MANDRALISCAE (BLUE CHALK STICK)	1 GAL	L	<b>GREEN ROOF TRAY SYSTEM</b>											
<b>GRASSES</b>															
	CALAMAGROSTIS 'KARL FORESTER' (FEATHER REED GRASS)	5 GAL	L		FESTUCA RUBRA (MOLATE FESCUE)	4" POT	L		CAREX DIVULSA (BERKELEY SEDGE)	4" POT	L				
	DESCHAMPSIA CESPITOSA (TUFTED HAIR GRASS)	5 GAL	L		SEDUM SPATHULIFOLIUM (STONECROP SEDUM)	4" POT	L		SEDUM REFLEXUM 'BLUE SPRUCE' (BLUE SPRUCE SEDUM)	4" POT	L				

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12/17/2015 Endowment Update  
rev date Setup



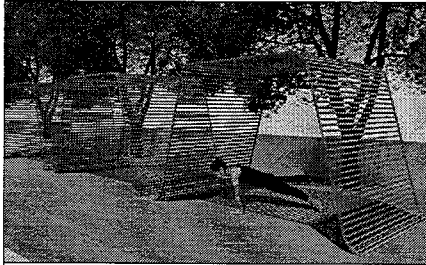
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broadway

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project number: Project Number

scale: as noted  
date: 06.02.2015

SCHEMATIC  
DESIGN  
6TH FLOOR ROOF  
GARDEN  
PLANTING PLAN

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10 YOGA PAVILION AT EXERCISE DECK



7 INFORMAL OUTDOOR RESTAURANT SEATING AT STREET LEVEL



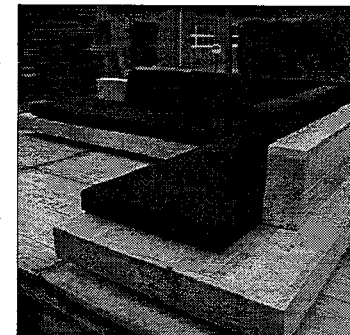
4 INFINITY EDGE SPA AND WOOD POOL DECK



1 FIRE PIT



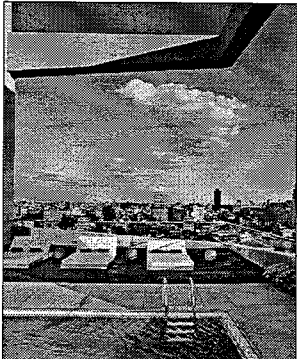
11 OUTDOOR FIRE PLACE WITH LOUNGE SEATING



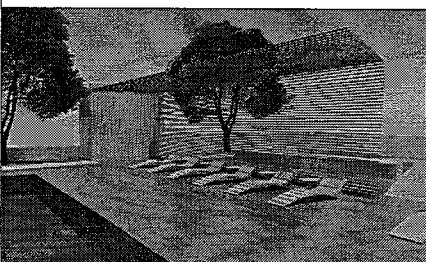
8 OUTDOOR COUCH SEATING AT ROOF DECK



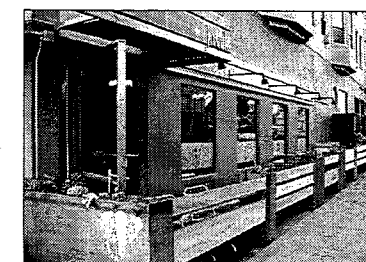
5 OUTDOOR RESTAURANT DINING SEATING AT STREET LEVEL



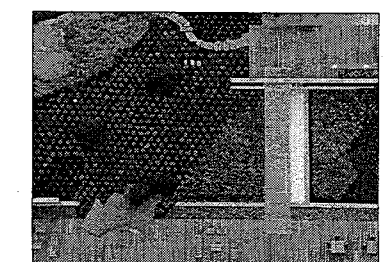
2 POOL AT ROOF DECK



12 SHADE TRELLIS AT POOL DECK



9 CAFE SEATING AND PLANTERS



6 GREEN ROOF TRAY SYSTEM



3 GLASS GUARDRAIL AT ROOF DECK

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1900 Broadway Oakland California  
Project number: Project Number

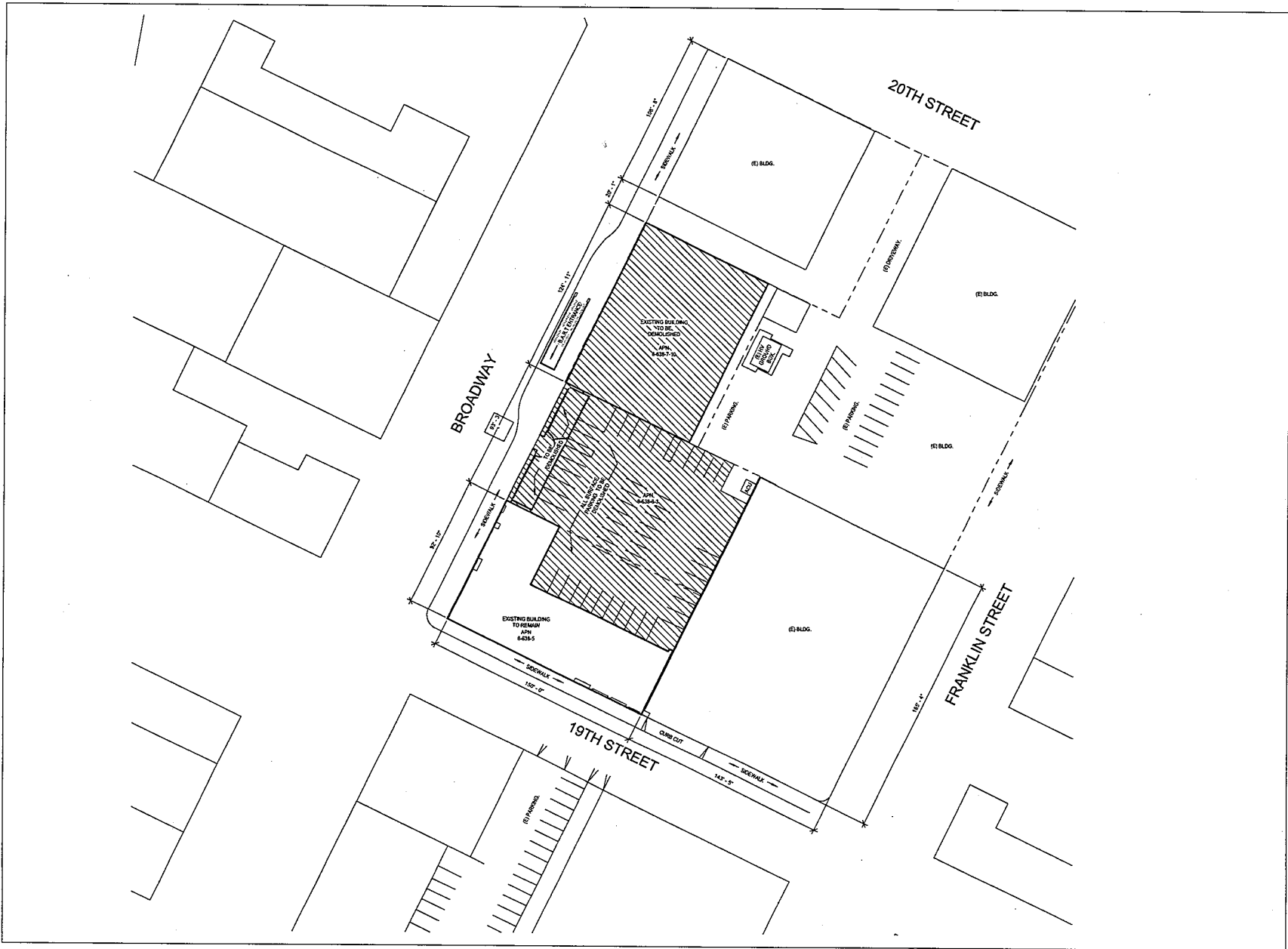
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SCHEMATIC  
DESIGN  
HARDSCAPE  
MATERIALS IMAGES

L3.0



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prepared on  
 project number: 130411

scale: as noted  
 date: 05.02.15

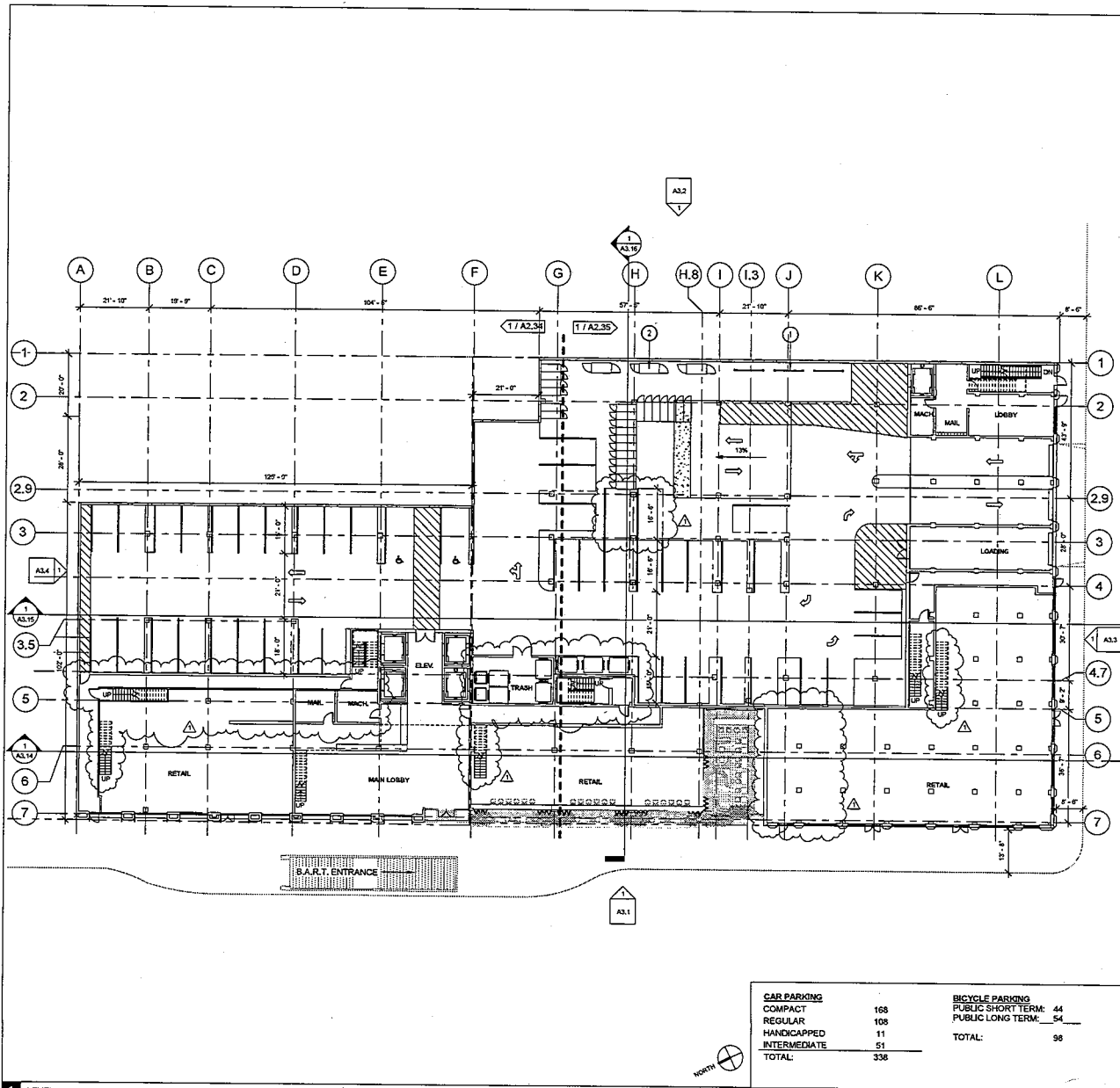
planning  
 commission  
 EXISTING / DEMO  
 SITE PLAN

A1.1





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CAR PARKING		BICYCLE PARKING	
COMPACT	168	PUBLIC SHORT TERM	44
REGULAR	108	PUBLIC LONG TERM	54
HANDICAPPED	11	TOTAL	98
INTERMEDIATE	51		
TOTAL:	338		



1. CAL GREEN MANDATORY MEASURES CHECKLIST LOCATED ON 0.00
2. SEE SHEETS A2.34 - A2.49 FOR ENLARGED PLANS AT 1/8" = 1'-0"
3. FOR LANDSCAPE INFORMATION SEE SHEETS L1.1-L1.4
4. FOR LIGHTING INFORMATION SEE SHEETS A2.60-A2.63
5. FOR TREE SURVEY SEE 0.06

GENERAL NOTES - FLOOR PLAN 12" = 1'-0"

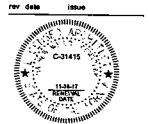
- |  |                                  |
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| ⑤ BALCONY                                      | ⑩                                |
| ④ MACHINE ROOM/LESS GEARLESS TRACTION ELEVATOR | ⑨                                |
| ③ RECESSED ENTRANCE ORNL 6'-0" DEEP            | ⑧ DECOMMISSIONED STAIR PENTHOUSE |
| ② PUBLIC BIKE LOCKER (LONG TERM)               | ⑦ COMMON ROOF DECK               |
| ① PUBLIC BIKE RACK (SHORT TERM)                | ⑥ PRIVATE ROOF DECK              |

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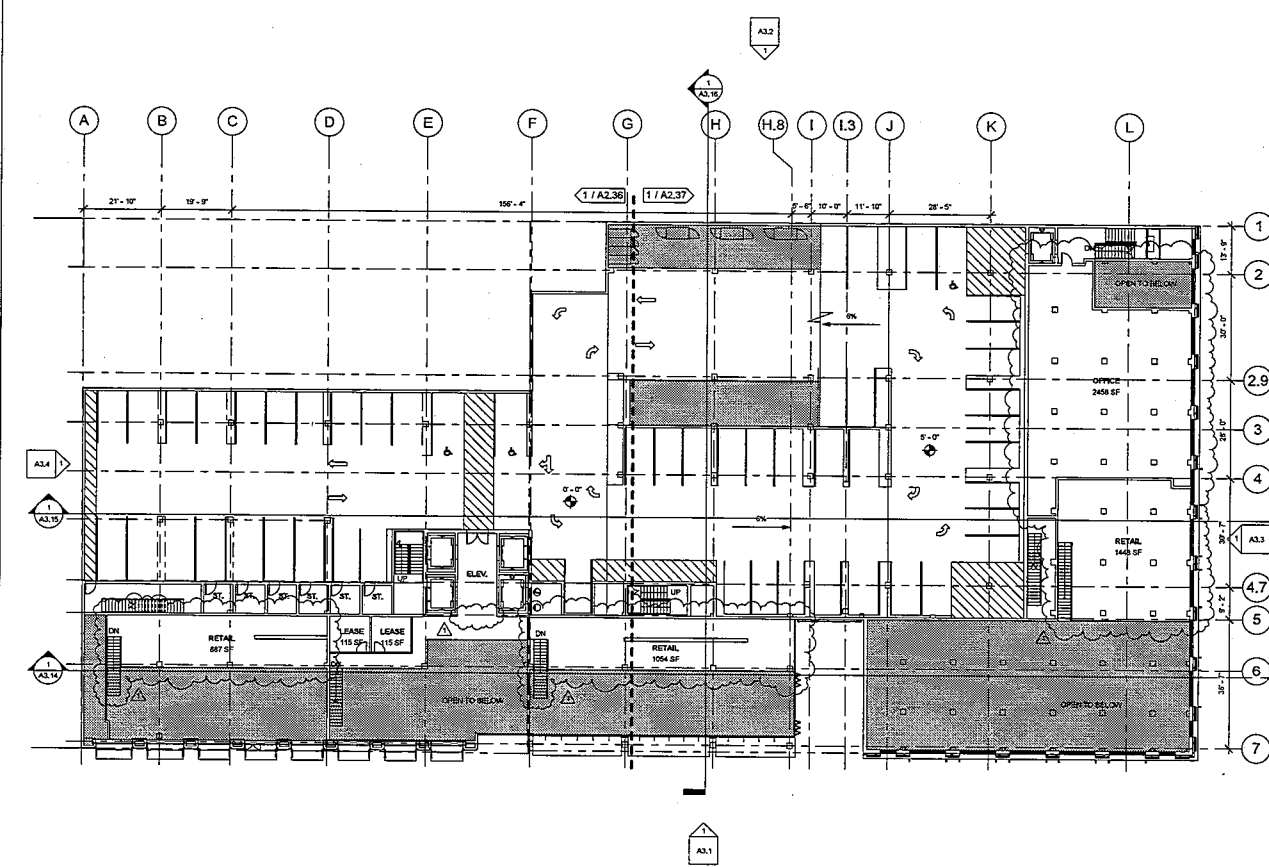
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project number: 12-041

scale: as noted  
date: 06.02.15

planning  
commission  
OVERALL LEVEL 1  
FLOOR PLAN

A2.1

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1. CAL GREEN MANDATORY MEASURES CHECKLIST LOCATED ON 0.06
2. SEE SHEETS A2.34-A2.40 FOR ENLARGED PLANS AT 6" = 1'-0"
3. FOR LANDSCAPE INFORMATION SEE SHEETS L1.1-L1.0
4. FOR LIGHTING INFORMATION SEE SHEETS A2.16-A2.15
5. FOR TREE SURVEY SEE C.02

GENERAL NOTES - FLOOR PLAN 1/16" = 1'-0"

- |  |                                 |
|--|---------------------------------|
| ⑤ BALCONY                                      | ⑩                               |
| ④ MACHINE ROOM-LESS GEARLESS TRACTION ELEVATOR | ⑨                               |
| ③ RECESSED ENTRANCE GRILL, 6'-0" DEEP          | ⑧ DECOMMISSIONED STAIR PENHOUSE |
| ② PUBLIC BIKE LOCKER (LONG TERM)               | ⑦ COMMON ROOF DECK              |
| ① PUBLIC BIKE RACK (SHORT TERM)                | ⑥ PRIVATE ROOF DECK             |

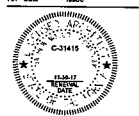
FLOOR PLAN KEYNOTES NTS

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1 12/17/2015 en@envent update  
rev. date issue



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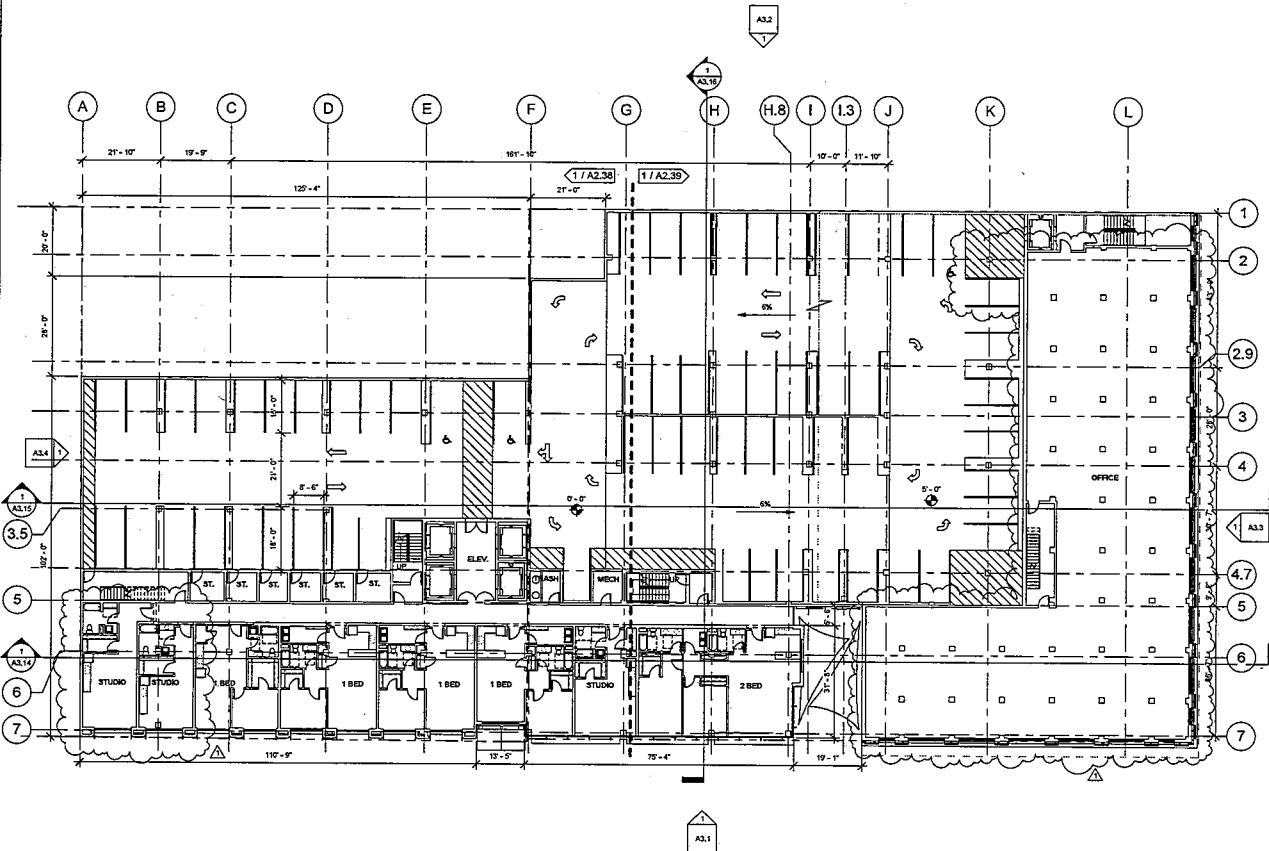
cedford ca  
project number: 12-041

scale: as noted  
date: 05.02.15

planning  
commission  
OVERALL LEVEL 1  
MEZZANINE

A2.2

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1. CAL GREEN MANDATORY MEASURES CHECKLIST LOCATED ON GLOS
2. SEE SHEETS A2.34 - A2.49 FOR ENLARGED PLANS AT 1/8" = 1'-0"
3. FOR LANDSCAPE INFORMATION SEE SHEETS L0.1 - L4.0
4. FOR LIGHTING INFORMATION SEE SHEETS A2.50 - A2.53
5. FOR TREE SURVEY SEE CLO

GENERAL NOTES - FLOOR PLAN 1/2" = 1'-0"

- |   |                                 |
|---|---------------------------------|
| ③ BALCONY                                     | ⑩                               |
| ④ MACHINE ROOMLESS GEARLESS TRACTION ELEVATOR | ⑪                               |
| ⑤ RECESSED ENTRANCE GRILL, 6"-0" DEEP         | ⑫ DECOMMISSIONED STAIR PENHOUSE |
| ⑥ PUBLIC BIKE LOCKER (LONG TERM)              | ⑬ COMMON ROOF DECK              |
| ⑦ PUBLIC BIKE RACK (SHORT TERM)               | ⑭ PRIVATE ROOF DECK             |

FLOOR PLAN KEYNOTES NTS

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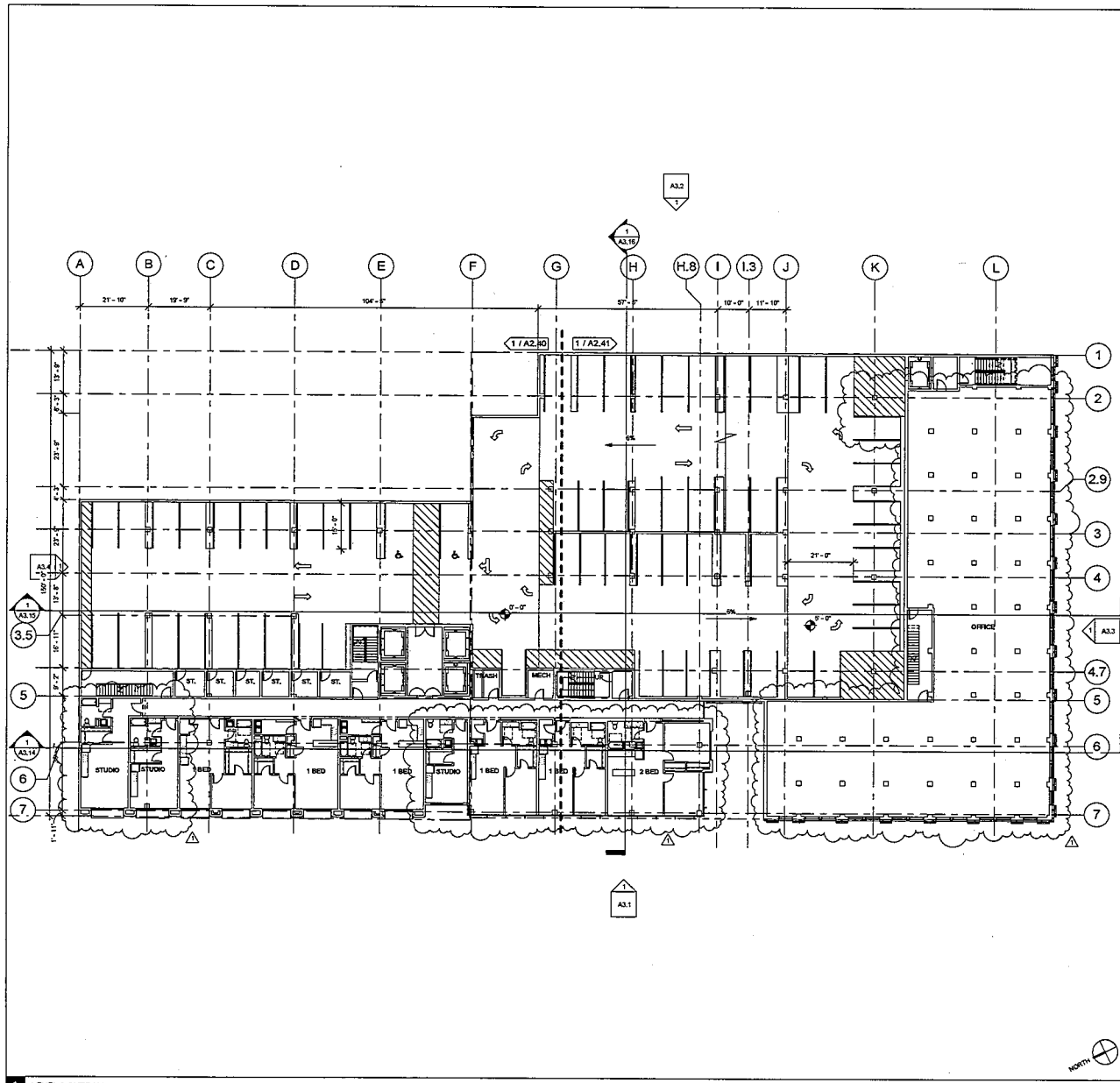
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project number: 12-041

scale as noted  
date: 06.02.15

planning  
commission  
OVERALL LEVEL 2  
FLOOR PLAN

A2.3

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LEVEL 3 OVERALL

1/16" = 1'-0"

GENERAL NOTES - FLOOR PLAN

1/2" = 1'-0"

- |   |                                  |
|---|----------------------------------|
| 5 BALCONY                                     | 10                               |
| 4 MACHINE ROOMLESS GEARLESS TRACTION ELEVATOR | 9                                |
| 3 RECESSED ENTRANCE GRILL, 6" DEEP            | 8 DECOMMISSIONED STAIR PENTHOUSE |
| 2 PUBLIC BIKE LOCKER (LONG TERM)              | 7 COMMON ROOF DECK               |
| 1 PUBLIC BIKE RACK (SHORT TERM)               | 6 PRIVATE ROOF DECK              |

FLOOR PLAN KEYNOTES

NTS

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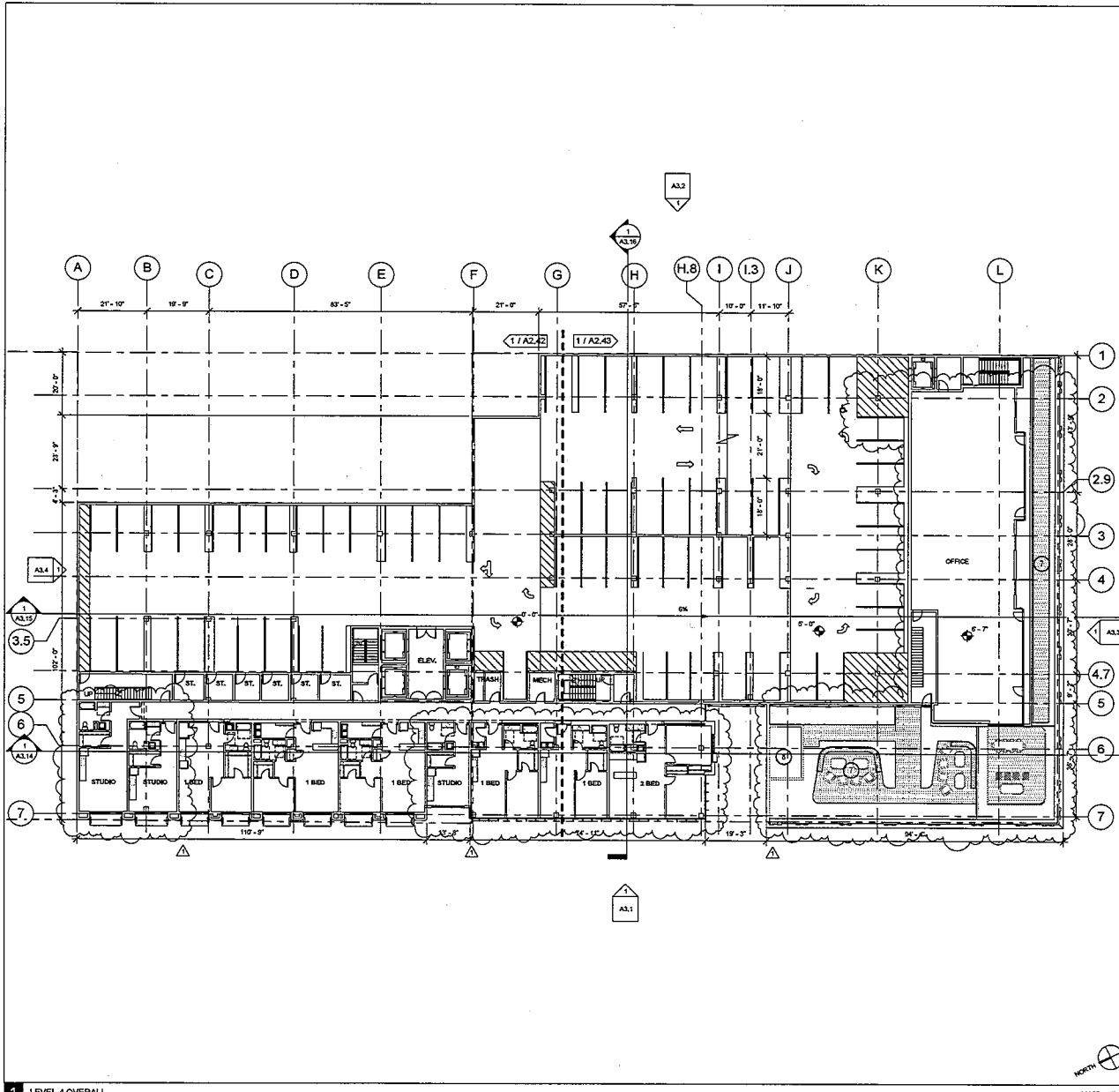
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planning  
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OVERALL LEVEL 3  
FLOOR PLAN

A2.4



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1 LEVEL 4 OVERALL

1/16" = 1'-0"

GENERAL NOTES - FLOOR PLAN 12" = 1'-0"

- |  |                                 |
|--|---------------------------------|
| 3 BALCONY                                      | 10                              |
| 4 MACHINE ROOM/LESS GEARLESS TRACTION ELEVATOR | 9                               |
| 5 RECESSED ENTRANCE DRILL, 6" DEEP             | 8 DECOMMISSIONED STAIR PENHOUSE |
| 2 PUBLIC BIKE LOCKER (LONG TERM)               | 7 COMMON ROOF DECK              |
| 1 PUBLIC BIKE RACK (SHORT TERM)                | 6 PRIVATE ROOF DECK             |

FLOOR PLAN KEYNOTES NTS

1. CAL GREEN MANDATORY MEASURES CHECKLIST LOCATED ON 0.00
2. SEE SHEETS A2.3-A2.40 FOR DIMAGGED PLANS AT 1/8" = 1'-0"
3. FOR LANDSCAPE INFORMATION SEE SHEETS L4.1 - L4.3
4. FOR LIGHTING INFORMATION SEE SHEETS A2.6 - A2.63
5. FOR TREE SURVEY SEE C0.0

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project number: 12-041

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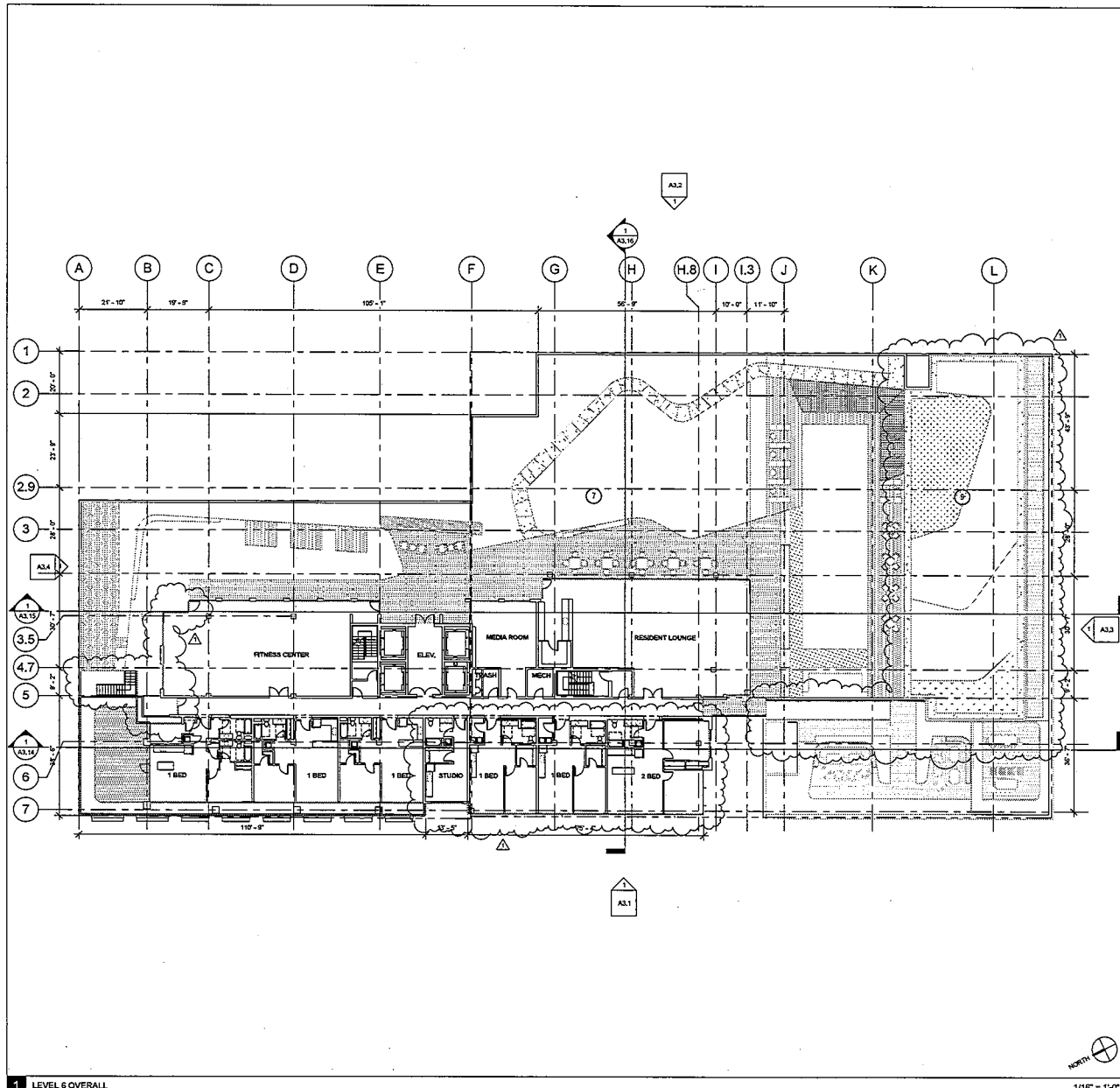
planning  
commission

**OVERALL LEVEL 4  
FLOOR PLAN**

**A2.5**



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LEVEL 6 OVERALL

1/16" = 1'-0"

GENERAL NOTES - FLOOR PLAN 12" = 1'-0"

- |  |                                 |
|--|---------------------------------|
| 5 BALCONY                                      | 10 GREEN ROOF                   |
| 4 MACHINE ROOM-LESS GEARLESS TRACTION ELEVATOR | 9 RECOMMISSIONED STAR PENTHOUSE |
| 3 RECESSED ENTRANCE GRILL, 6'-0" DEEP          | 7 COMMON ROOF DECK              |
| 2 PUBLIC BIKE LOCKER (LONG TERM)               | 6 PRIVATE ROOF DECK             |
| 1 PUBLIC BIKE RACK (SHORT TERM)                |                                 |

FLOOR PLAN KEYNOTES

NTS

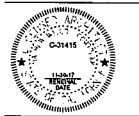
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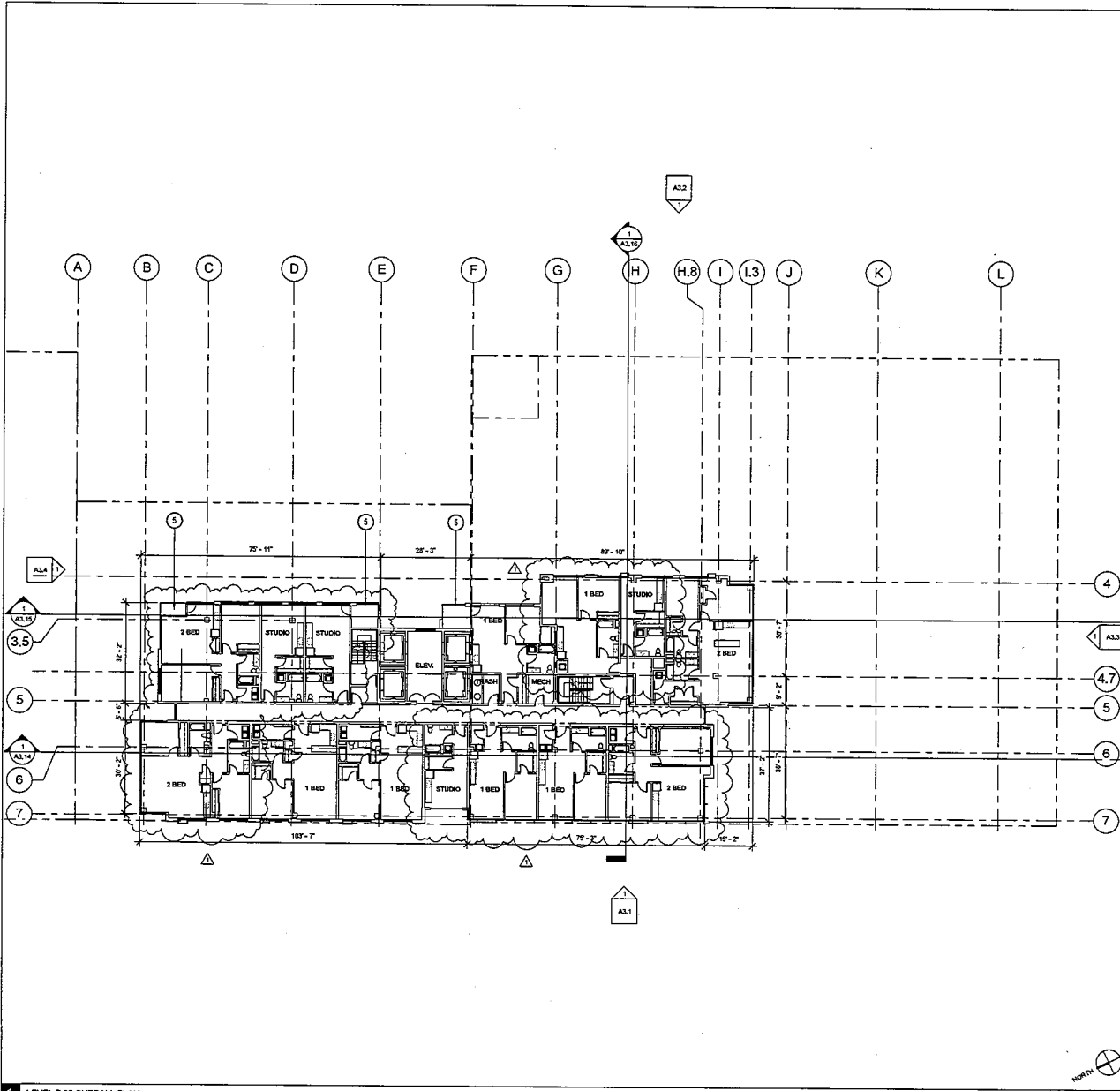
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planning  
commission  
OVERALL LEVEL 6  
FLOOR PLAN

A2.7

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**GENERAL NOTES - FLOOR PLAN** 12" = 1'-0"

③ BALCONY	⑩
④ MACHINE ROOMLESS GEARLESS TRACTION ELEVATOR	⑨ GREEN ROOF
⑤ RECESSED ENTRANCE GRILL 6'-0" DEEP	⑧ DECOMMISSIONED STAIR PENTHOUSE
② PUBLIC BIKE LOCKER (LONG TERM)	⑦ COMMON ROOF DECK
① PUBLIC BIKE RACK (SHORT TERM)	⑥ PRIVATE ROOF DECK

**FLOOR PLAN KEYNOTES** NTS

1. CAL GREEN MANDATORY MEASURES CHECKLIST LOCATED ON G.06  
 2. SEE SHEETS A2.34 - A2.49 FOR THE ANGLED PLANS AT 1/8" = 1'-0"  
 3. FOR LANDSCAPE INFORMATION SEE SHEETS L0.1 - L4.0  
 4. FOR LIGHTING INFORMATION SEE SHEETS A2.10 - A2.43  
 5. FOR TREE SURVEY SEE C0.0

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1900  
broadway

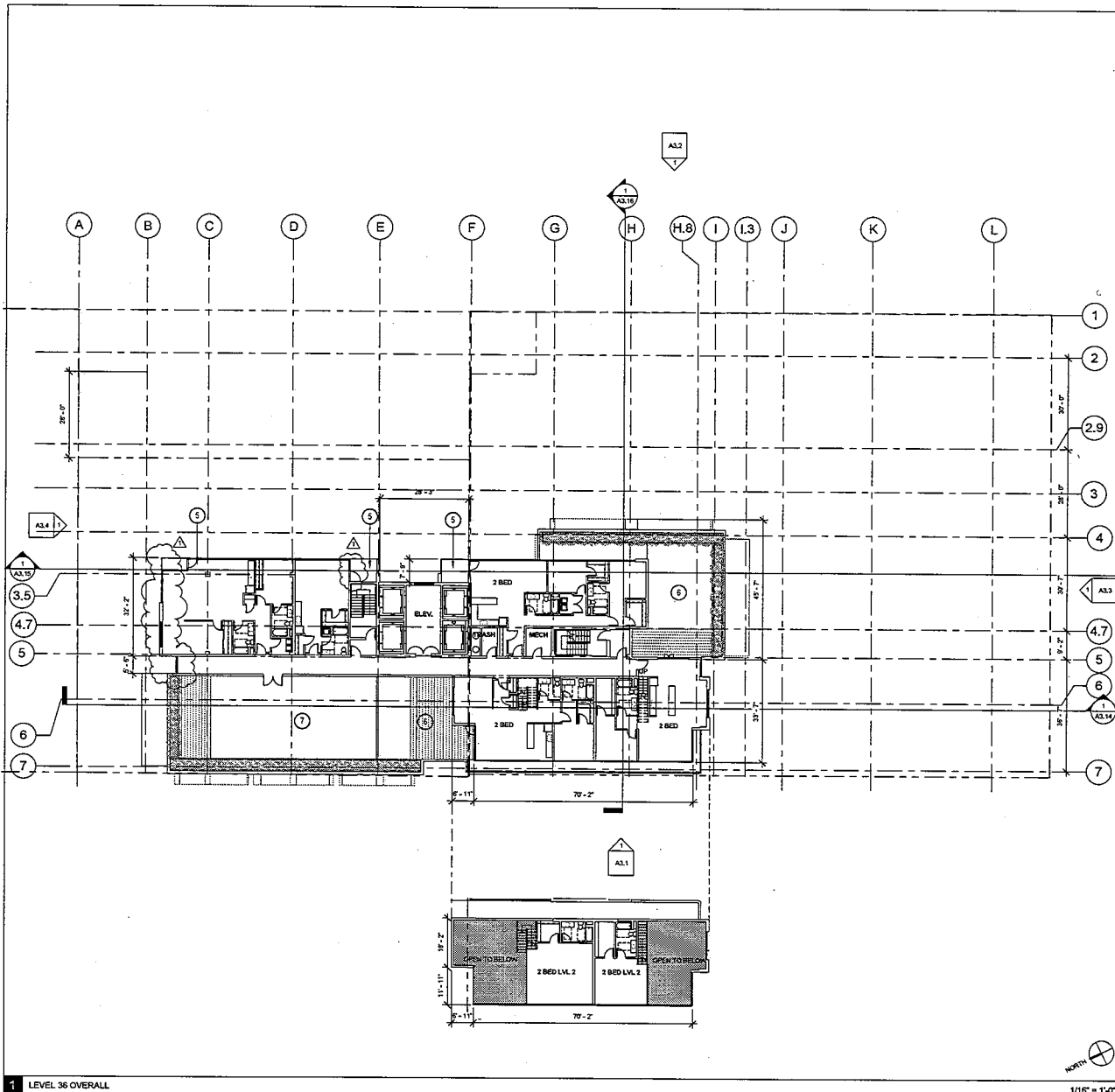
added ca  
 project number: 12041

scale: as noted  
 date: 06.02.15

planning  
 coordination  
**OVERALL LEVEL  
 7-35 FLOOR PLAN**

**A2.8**

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1. CAL GREEN MANDATORY MEASURES CHECKLIST LOCATED ON C-06
2. SEE SHEETS A2.34 + A2.49 FOR ENLARGED PLANS AT 1/8" = 1'-0"
3. FOR LANDSCAPE INFORMATION SEE SHEETS LA.1 - LA.9
4. FOR LIGHTING INFORMATION SEE SHEET LI.1 AND LI.2
5. FOR TREE SURVEY SEE C-02

GENERAL NOTES - FLOOR PLAN 12" = 1'-0"

5 BALCONY	10 DECOMMISSIONED STAIR PENTHOUSE
4 MACHINE ROOM/LESS GEARLESS TRACTION ELEVATOR	7 COMMON ROOF DECK
3 RECESSED ENTRANCE GRILL 6" DEEP	6 PRIVATE ROOF DECK
2 PUBLIC BIKE LOCKER (LONG TERM)	
1 PUBLIC BIKE RACK (SHORT TERM)	

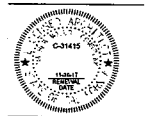
FLOOR PLAN KEYNOTES NTS

brick.

ARCHITECT  
 BRICK, LP  
 1200 16th Street, Suite 1  
 Emeryville, CA 94608  
 510.516.0167  
 www.brick-lp.com

CLIENT  
 1900 and Broadway Associates, Inc.

1 12/17/2015 08/26/2015 Update  
 Rev. Date Issue



1900  
 Broadway

dated on  
 project number: 13-041

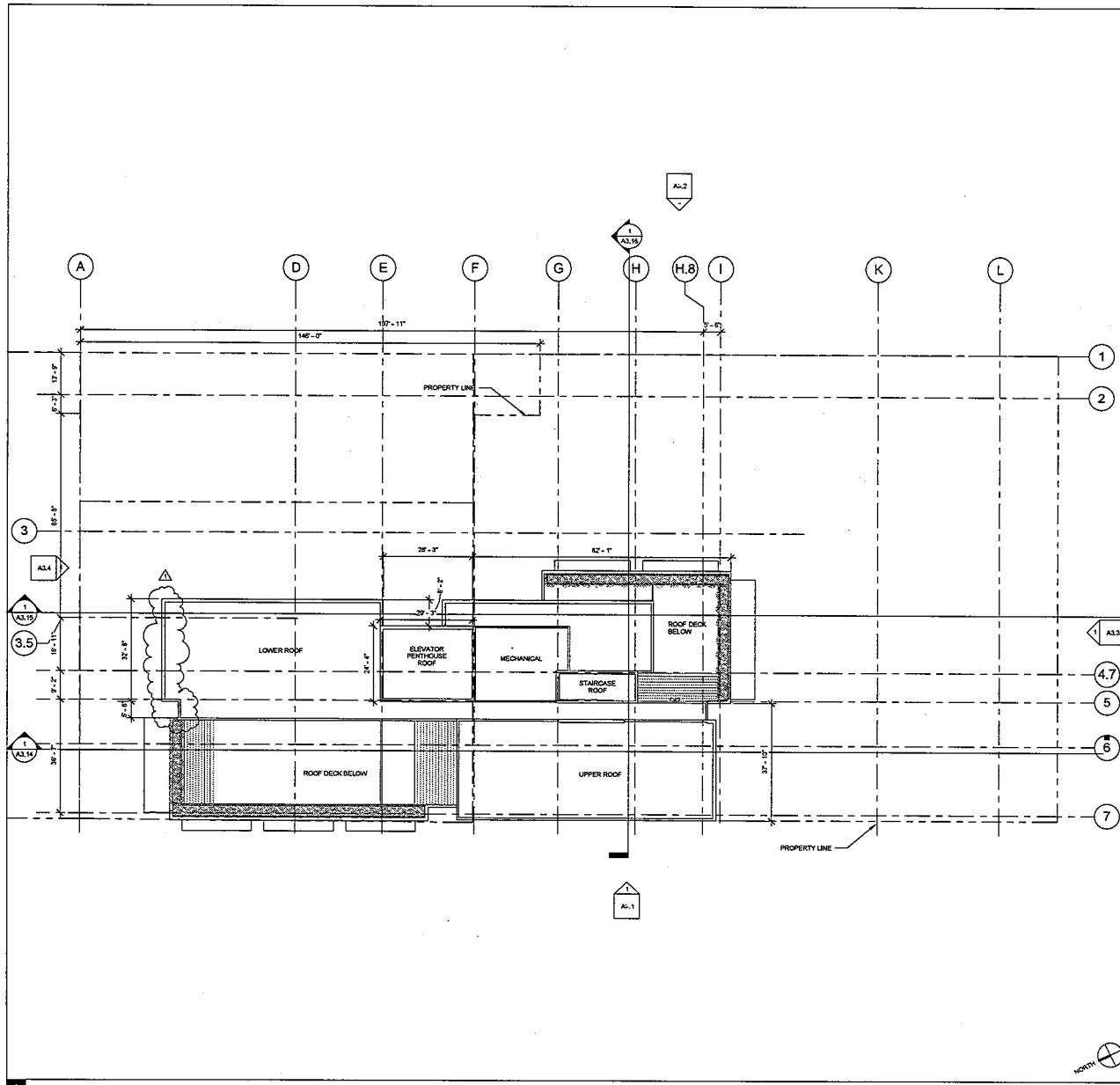
scale as noted  
 date: 08.02.15

planning  
 commission  
 OVERALL LEVEL  
 36 FLOOR PLAN

A2.9



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1. CAL GREEN MANDATORY MEASURES CHECKLIST LOCATED ON GLOS
2. SEE SHEETS A2.34 - A2.49 FOR ENLARGED PLANS AT 1/8" = 1'-0"
3. FOR LANDSCAPE INFORMATION SEE SHEETS L0.1 - L4.0
4. FOR LIGHTING INFORMATION SEE SHEETS A2.60 - A2.63
5. FOR TREE SURVEY SEE C0.0

GENERAL NOTES - FLOOR PLAN 1/16" = 1'-0"

- |   |                                  |
|---|----------------------------------|
| 5 BALCONY                                     | 10                               |
| 4 MACHINE ROOMLESS GEARLESS TRACTION ELEVATOR | 9                                |
| 3 RECESSED ENTRANCE GRILL, 6'-0" DEEP         | 8 DECOMMISSIONED STAIR PERIHOUSE |
| 2 PUBLIC BIKE LOCKER (LONG TERM)              | 7 COMMON ROOF DECK               |
| 1 PUBLIC BIKE RACK (SHORT TERM)               | 6 PRIVATE ROOF DECK              |

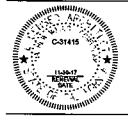
FLOOR PLAN KEYNOTES NTS

brick

ARCHITECT  
Brick, LP  
1700 68th Street, Suite 1  
Emeryville, CA 94608  
510.516.0107  
www.brick-lp.com

CLIENT  
190 and Broadway Associates, LLC

1 12/17/2015 entitlement update  
rev date issue



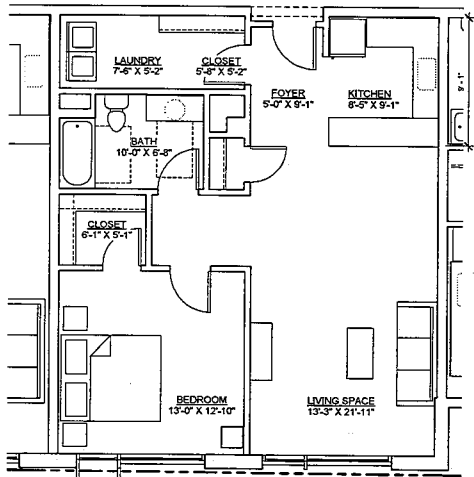
1900  
broadway

dated on  
project number: 13-041

scale as noted  
date: 06.02.15

planning  
commission  
ROOF PLAN

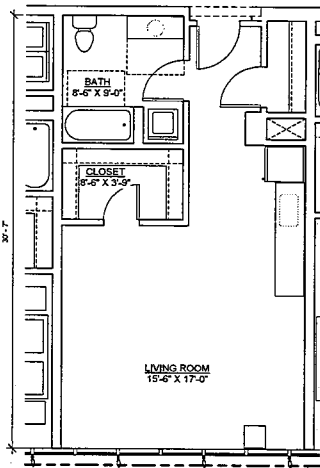
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UNIT COUNT: 197  
AREA: 806 SFT

11 1 BED UNIT-TYPICAL PLAN

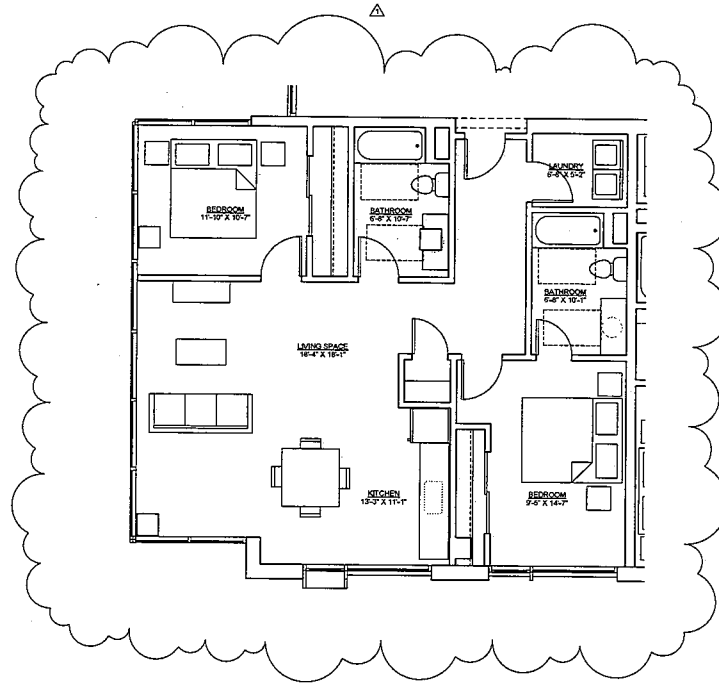
1/4" = 1'-0"



UNIT COUNT: 128  
AREA: 510 SFT

10 STUDIO TYPICAL PLAN

1/4" = 1'-0"



UNIT COUNT: 126  
AREA: 1043 SFT

4 2 BED UNIT TYPICAL PLAN

1/4" = 1'-0"

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19th and Broadway Associates, LLC

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1900  
broadway

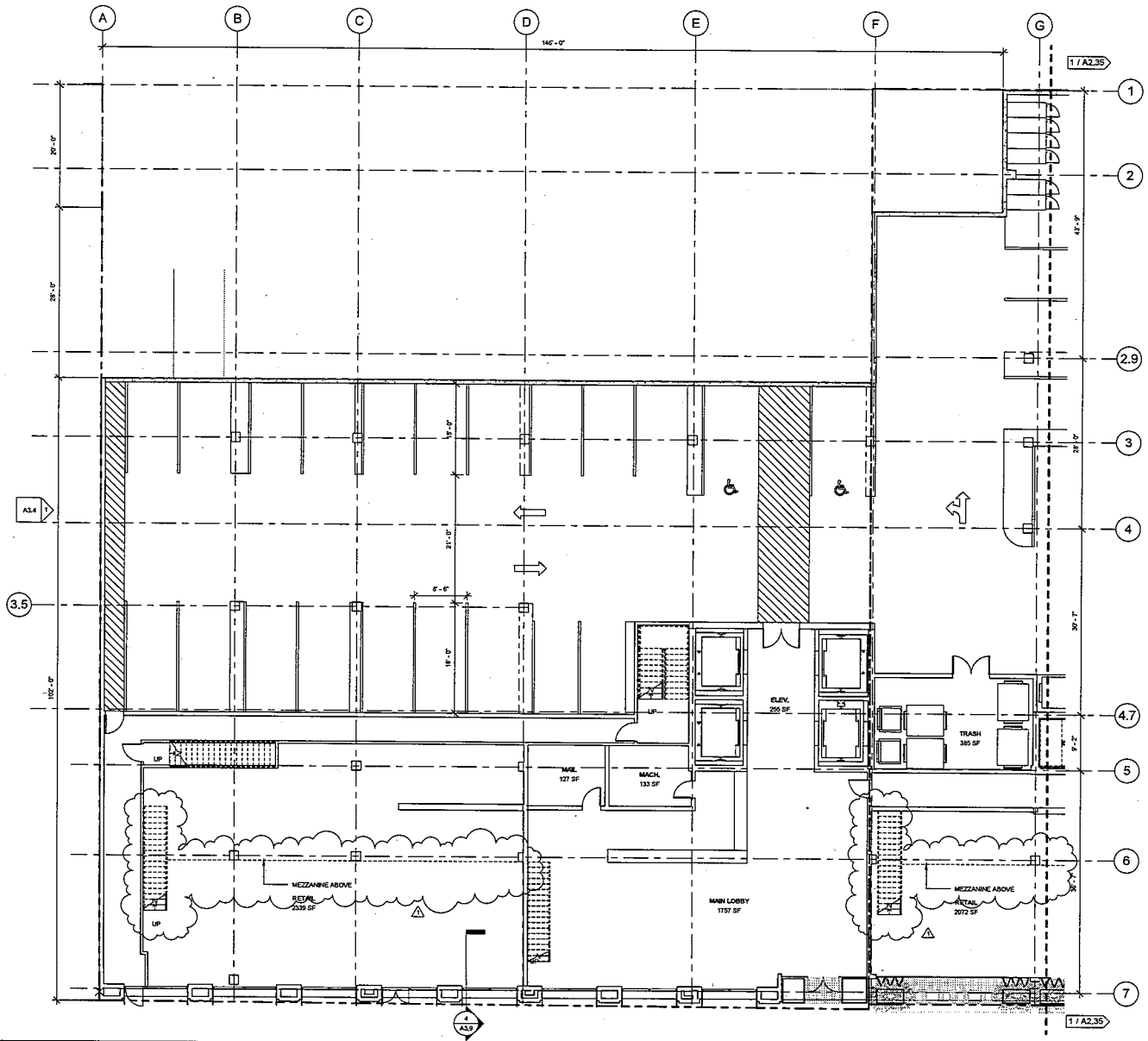
osland ca  
project number: 12-041

scale: as noted  
date: 06.02.15

planning  
commission  
BEDROOM UNITS  
AND STUDIOS

A2.20

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1 12/17/2015 entitlement update

rev. date issue



1900  
 broadway

issued on  
 project number: 13-041

scale: as noted  
 date: 06.02.15

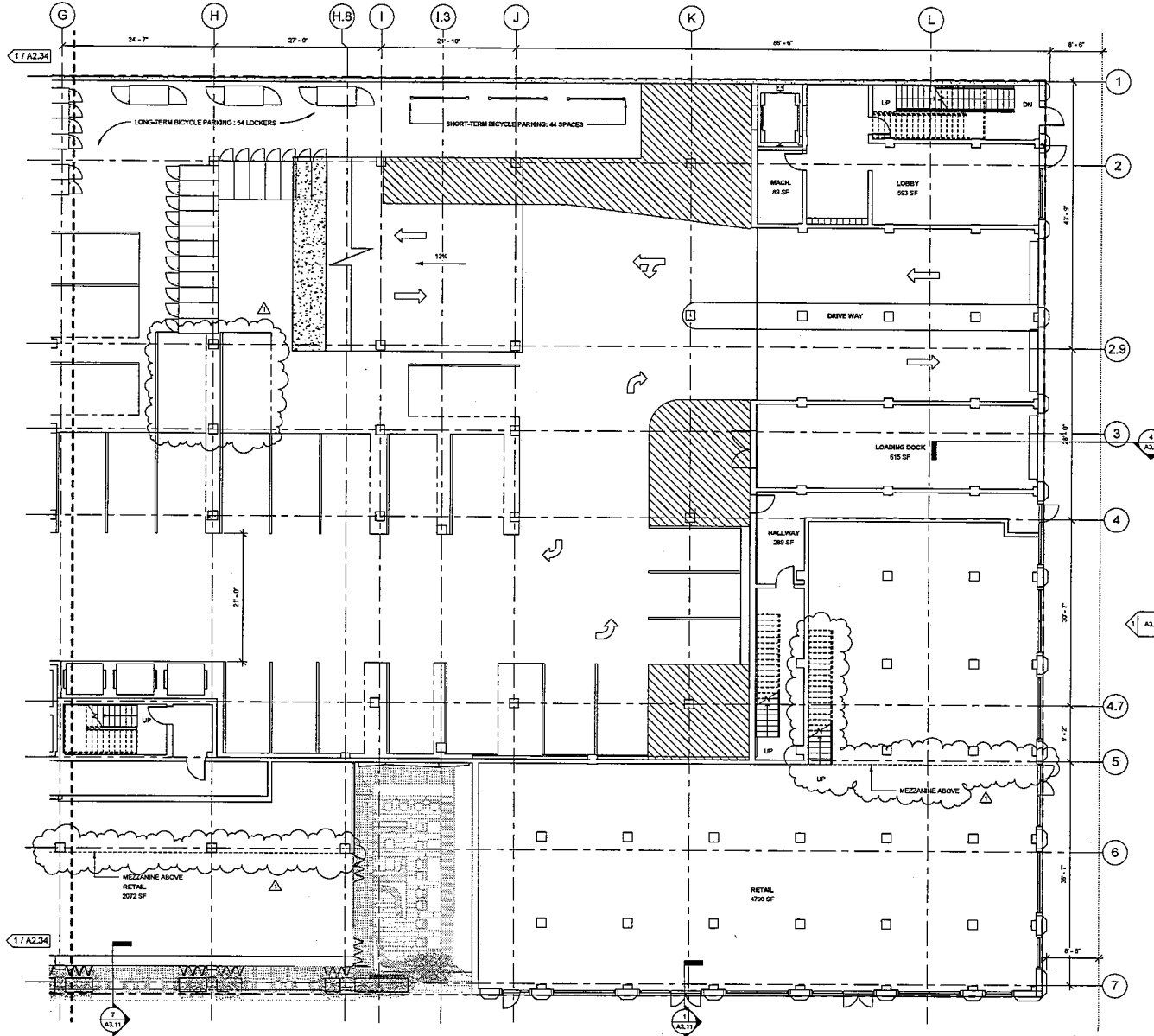
planning  
 commission  
 LEVEL 1 FLOOR  
 PLAN AREA A

LEVEL 1 ENLARGED AREA A

1/8" = 1'-0"

A2.34

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LEVEL 1 ENLARGED AREA B

1/8" = 1'-0"

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1 12/17/2015 ent/entw/uptd

rev. date issue



1900  
broadway

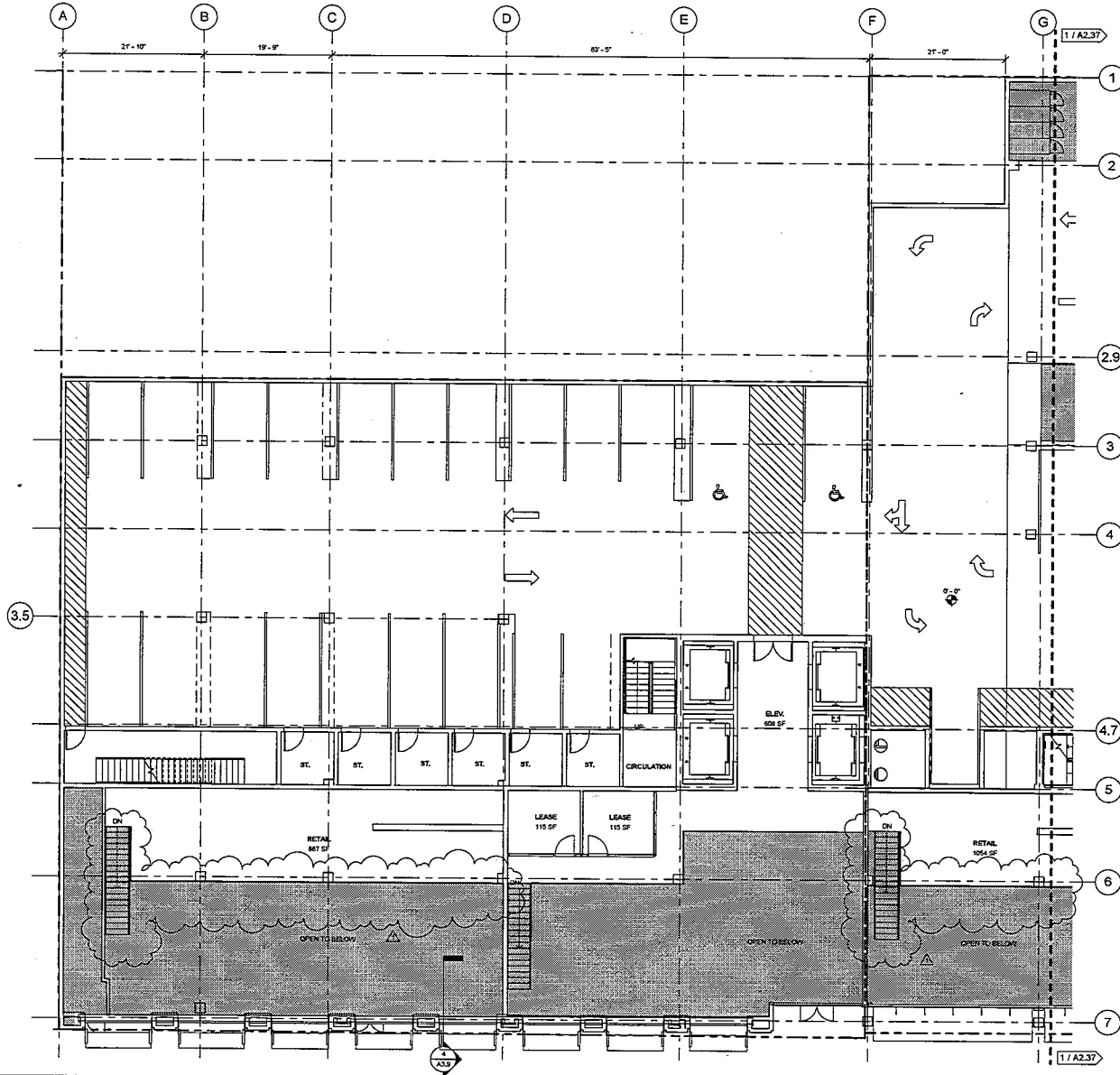
issued on  
project number: 12041

scale: as noted  
date: 05.02.15

planning  
commission  
LEVEL 1 FLOOR  
PLAN AREA B

A2.35

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LEVEL 1 MEZZANINE ENLARGED A

1/8" = 1'-0"

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 1206 KIRK STREET, SUITE 1  
 EMERYVILLE, CA 94608  
 510.816.0107  
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1 12/17/2015 entitlement update

rev date issue



1900  
 broadway

ordered on  
 project number: 12-041

scale: as noted  
 date: 05.02.15

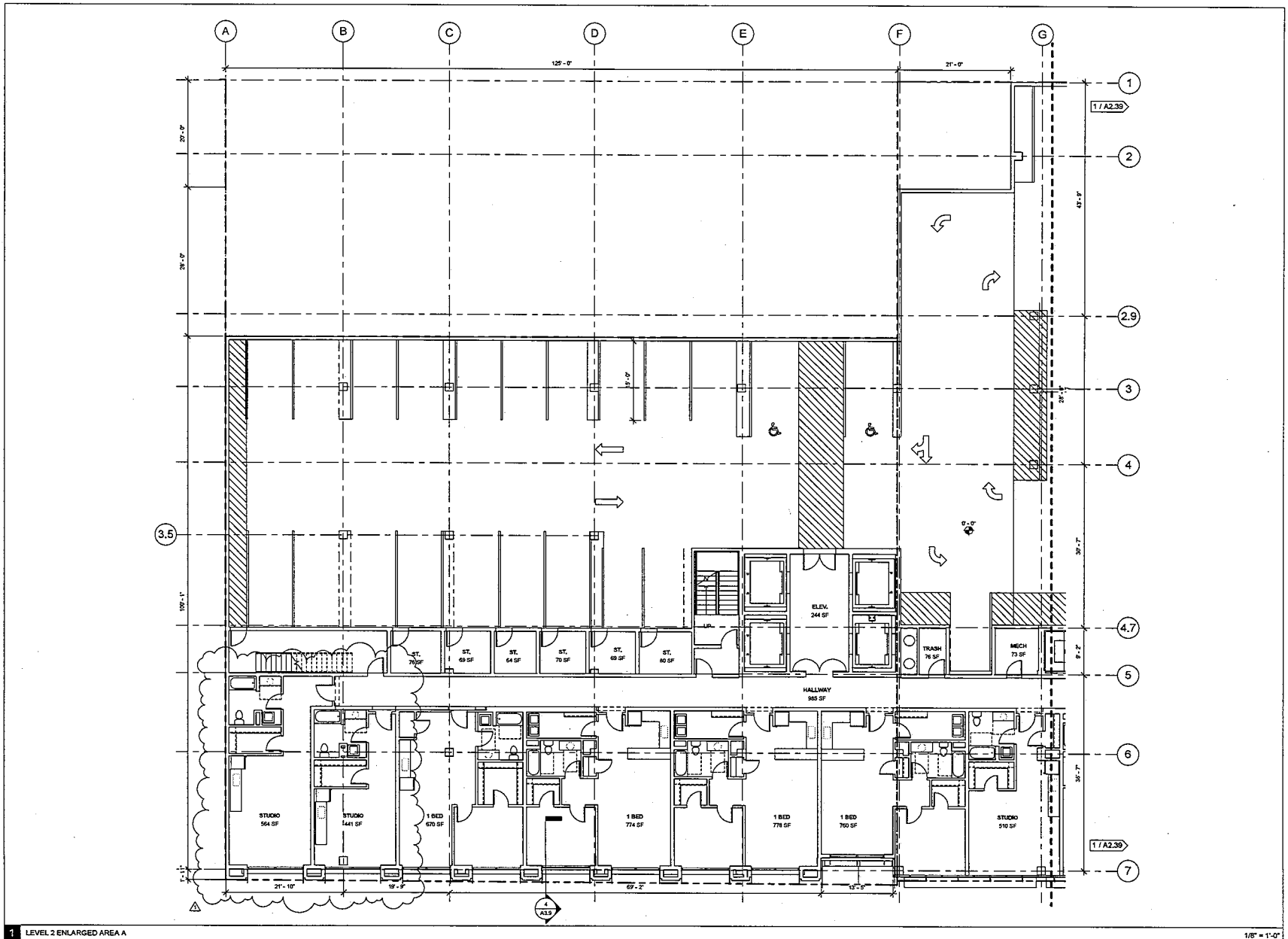
planning  
 commission  
 LEVEL 1  
 MEZZANINE  
 FLOOR PLAN  
 AREA A

A2.36





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1 12/17/2015 entitlement update

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1900  
 roadway

osland ca  
 project number: 13-041

scale: as noted

date: 06.02.15

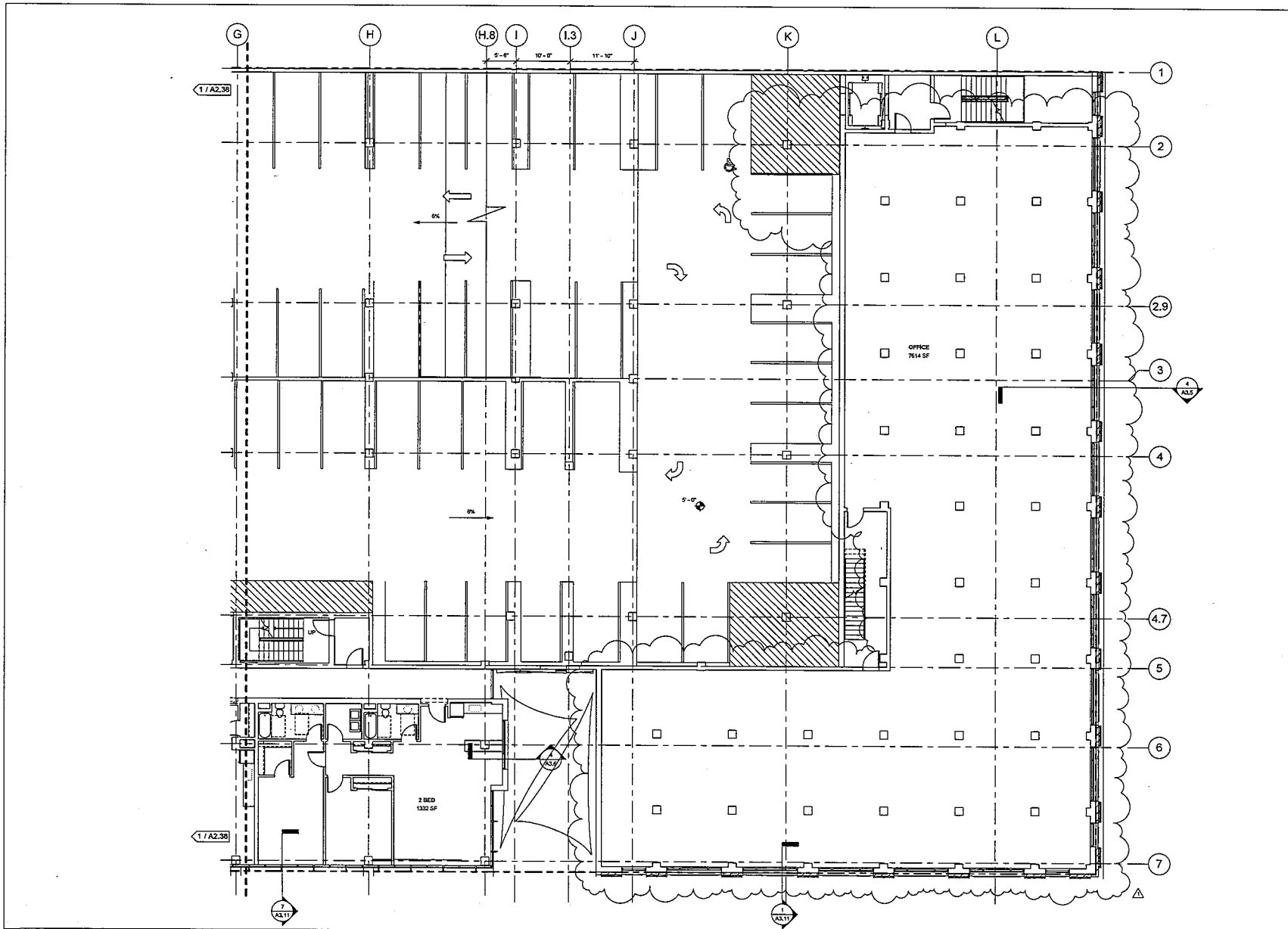
planning  
 commission  
 LEVEL 2 FLOOR  
 PLAN AREA A

A2.38

1/8" = 1'-0"

LEVEL 2 ENLARGED AREA A

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1900  
broadway

owner ca  
project number: 12041

scale: as noted  
date: 06.02.15

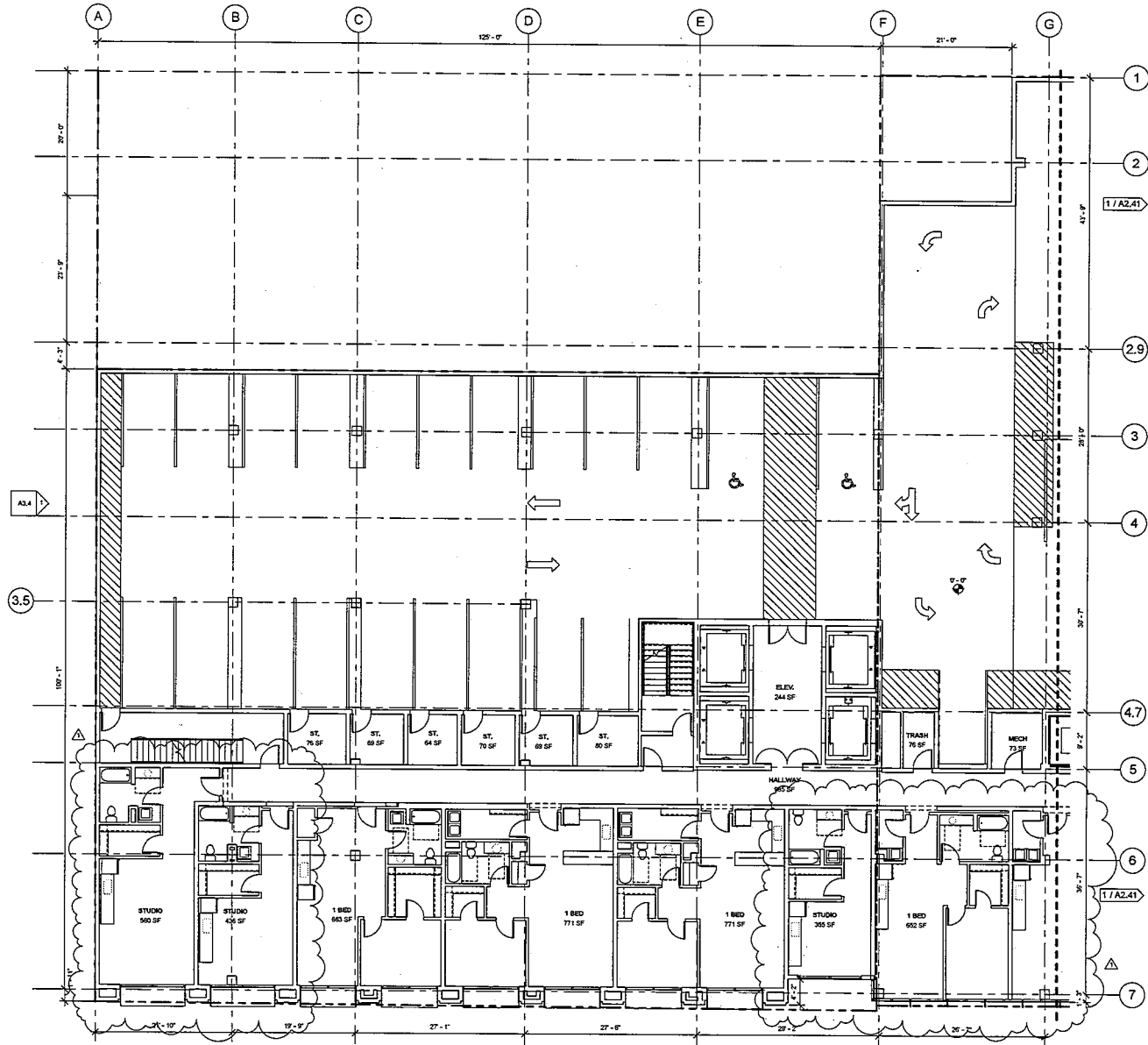
planning  
commission  
LEVEL 2 FLOOR  
PLAN AREA B

LEVEL 2 ENLARGED AREA B

1/8" = 1'-0"

A2.39

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1 LEVEL 3 ENLARGED PLAN A

1/8" = 1'-0"

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1 12/17/2015 entitlement update

rev date issue



1900  
broadway

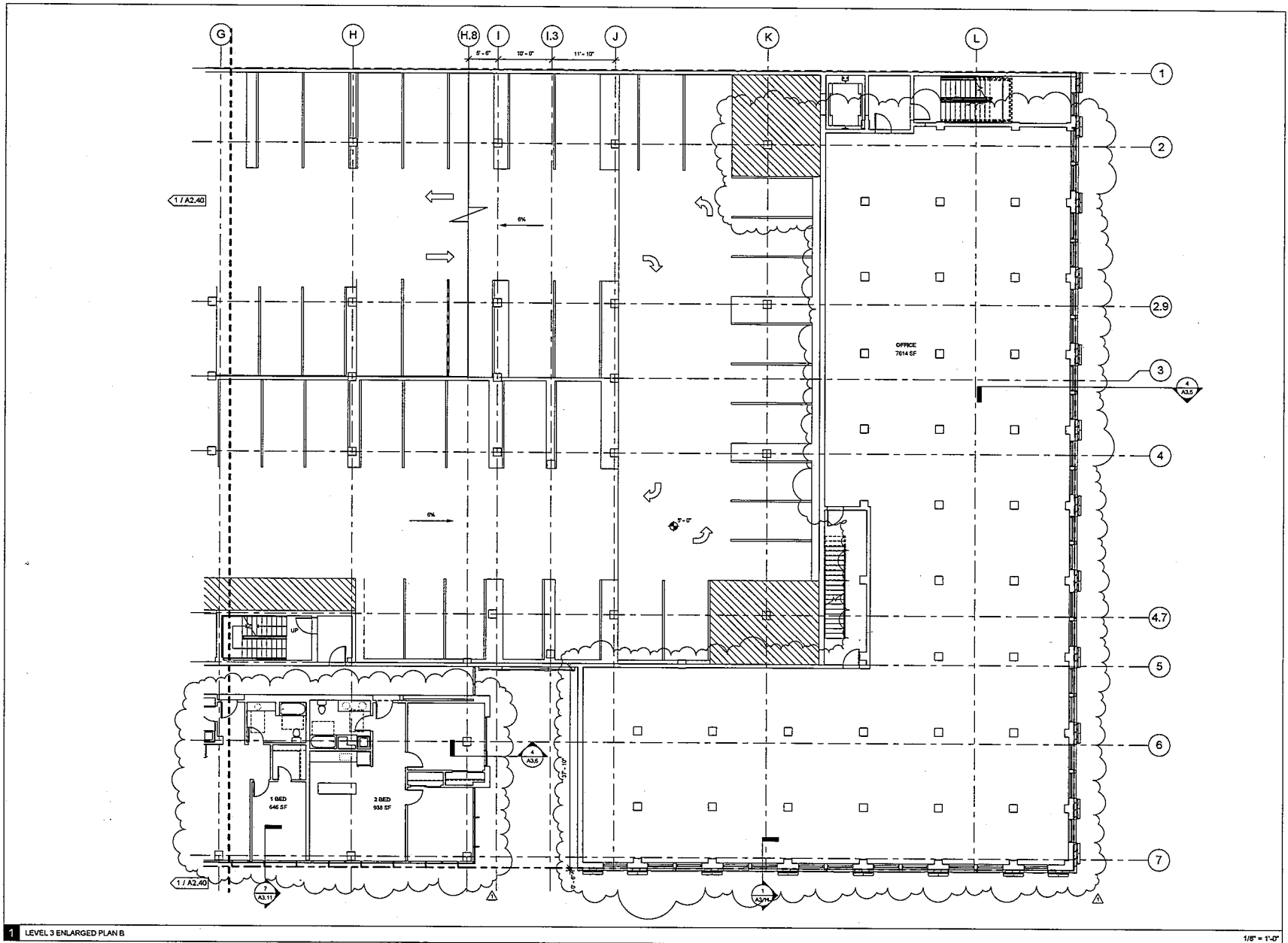
client ca  
project number: 12041

scale as noted  
date: 06.02.15

planning  
commission  
LEVEL 3 FLOOR  
PLAN AREA A

A2.40

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1 12/17/2015 entitlement update

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1900  
 roadway

issued on  
 project number: 13041

scale: as noted  
 date: 06.02.15

planning  
 commission  
 LEVEL 3 FLOOR  
 PLAN AREA B

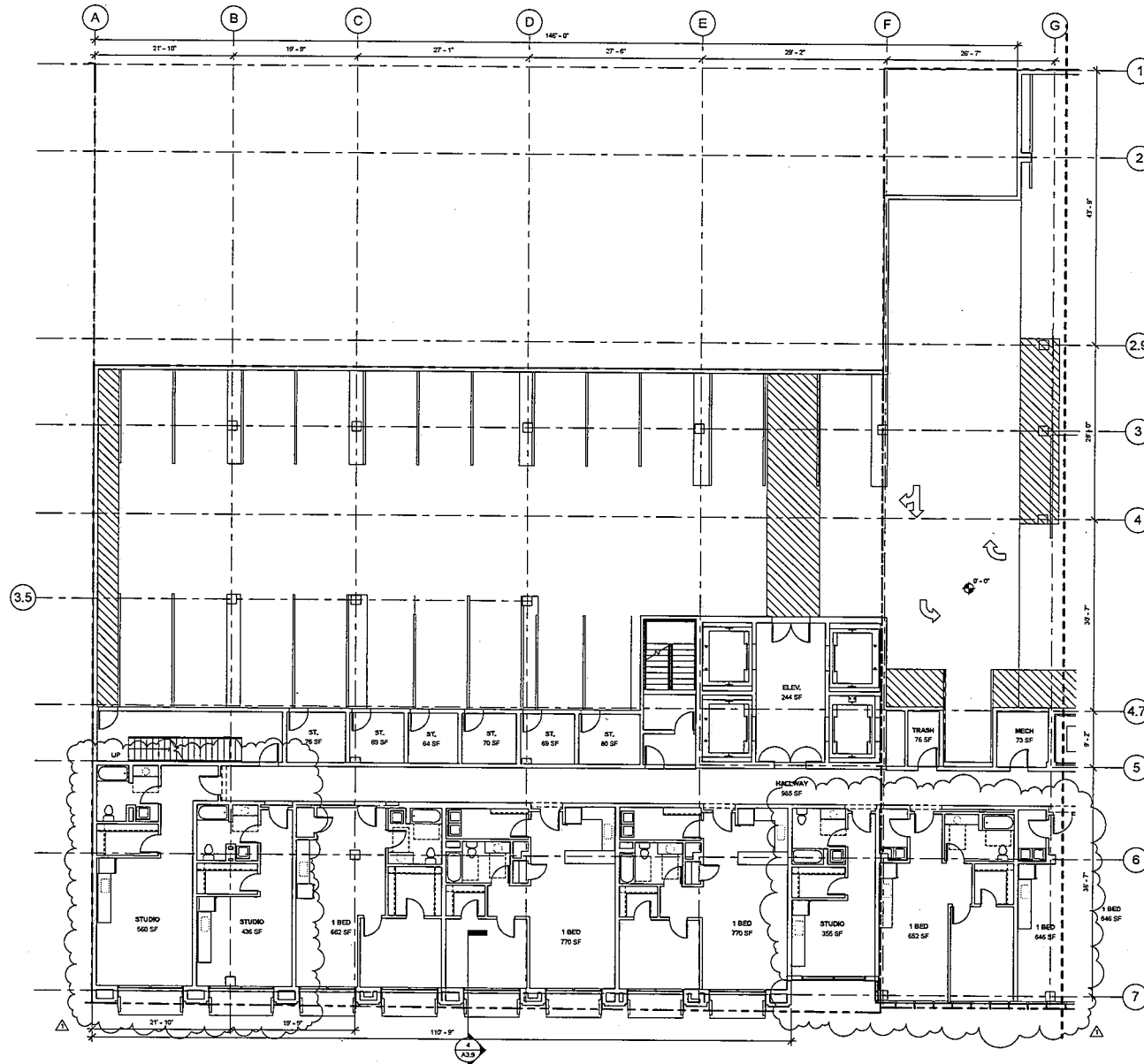
A2.41

1/8" = 1'-0"

1 LEVEL 3 ENLARGED PLAN B



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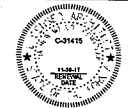
brick

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 emeryville, ca 94608  
 510.516.0337  
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 12th and broadway associates, llc

1 13/17/2015 entitlement update

rev date issue



1900  
 broadway

issued on  
 project number: 12-041

scale: as noted  
 date: 06.02.15

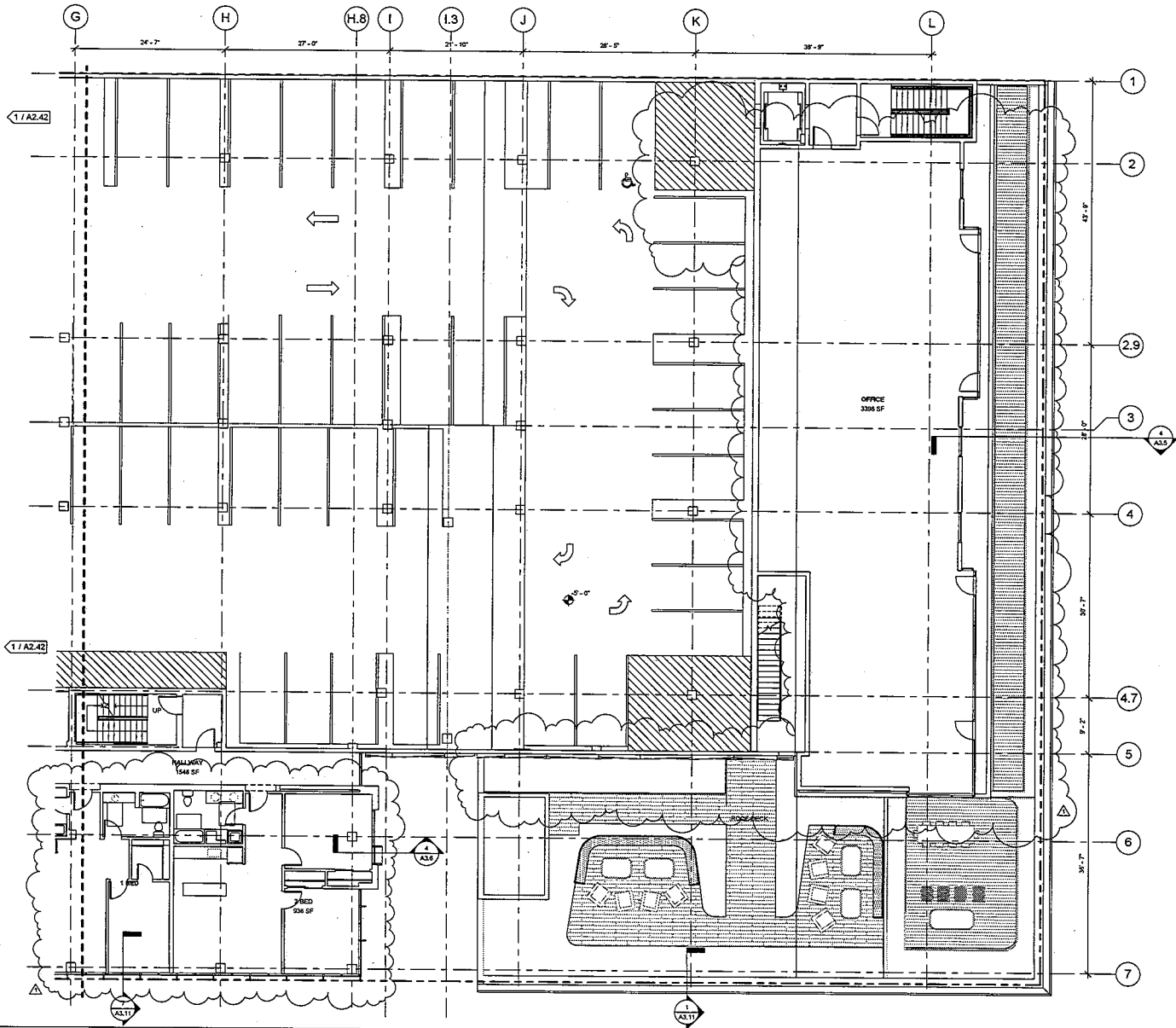
planning  
 commission  
 LEVEL 4 FLOOR  
 PLAN AREA A

LEVEL 4 ENLARGED PLAN A

1/8" = 1'-0"

A2.42

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LEVEL 4 ENLARGED PLAN B

1/8" = 1'-0"

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19th and Broadway Associates, LLC

1 12/17/2015 revision update

rev date issue



1900  
broadway

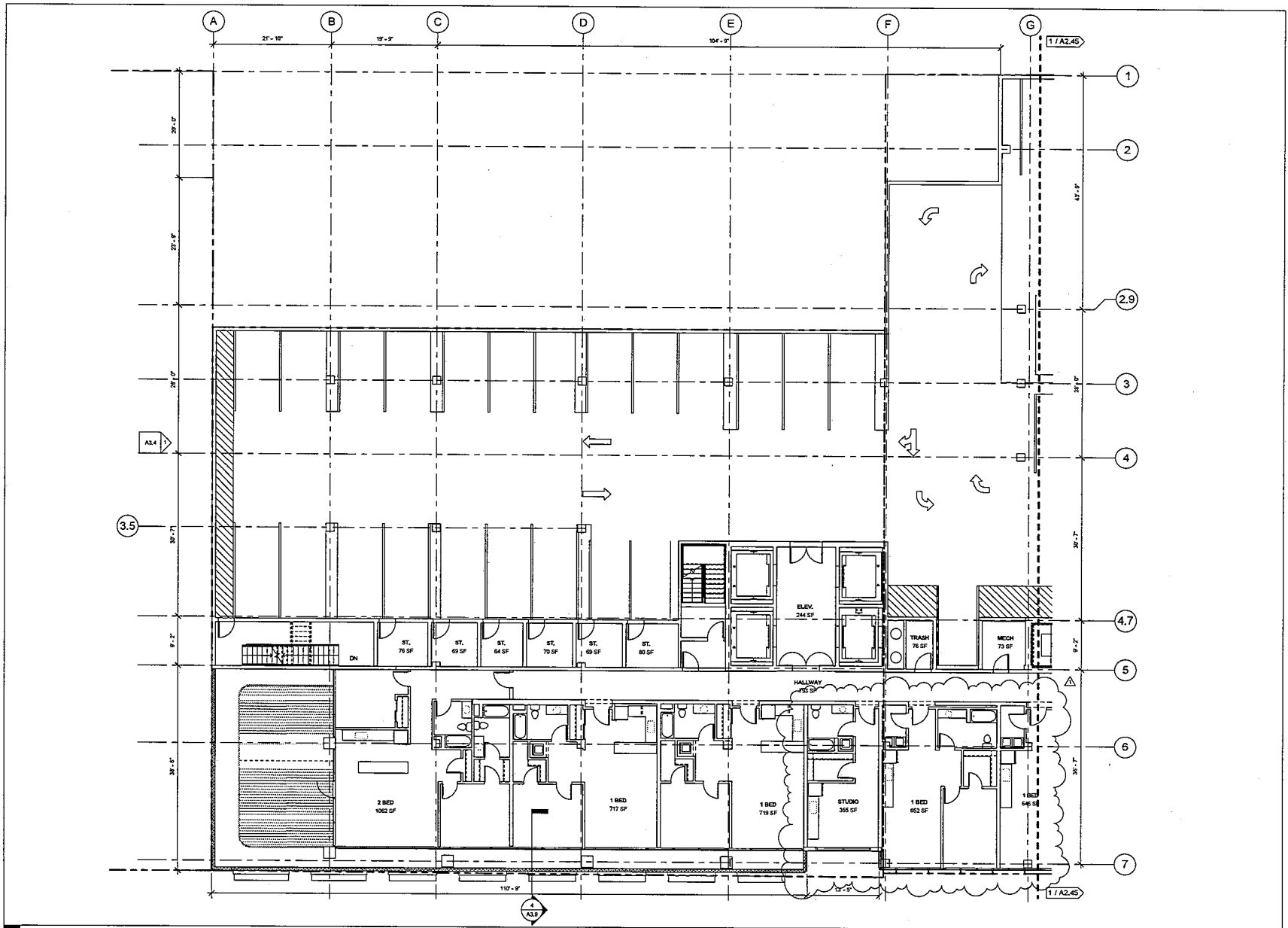
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project number: 12-041

scale as noted  
date: 05.02.15

planning  
commission  
LEVEL 4 FLOOR  
PLAN AREA B

A2.43

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LEVEL 5 ENLARGED PLAN AREA A

1/8" = 1'-0"

brick

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510.518.2167  
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19th and broadway associates, llc

1 12/17/2015 ent5onert update

REV date issue



1900  
broadway

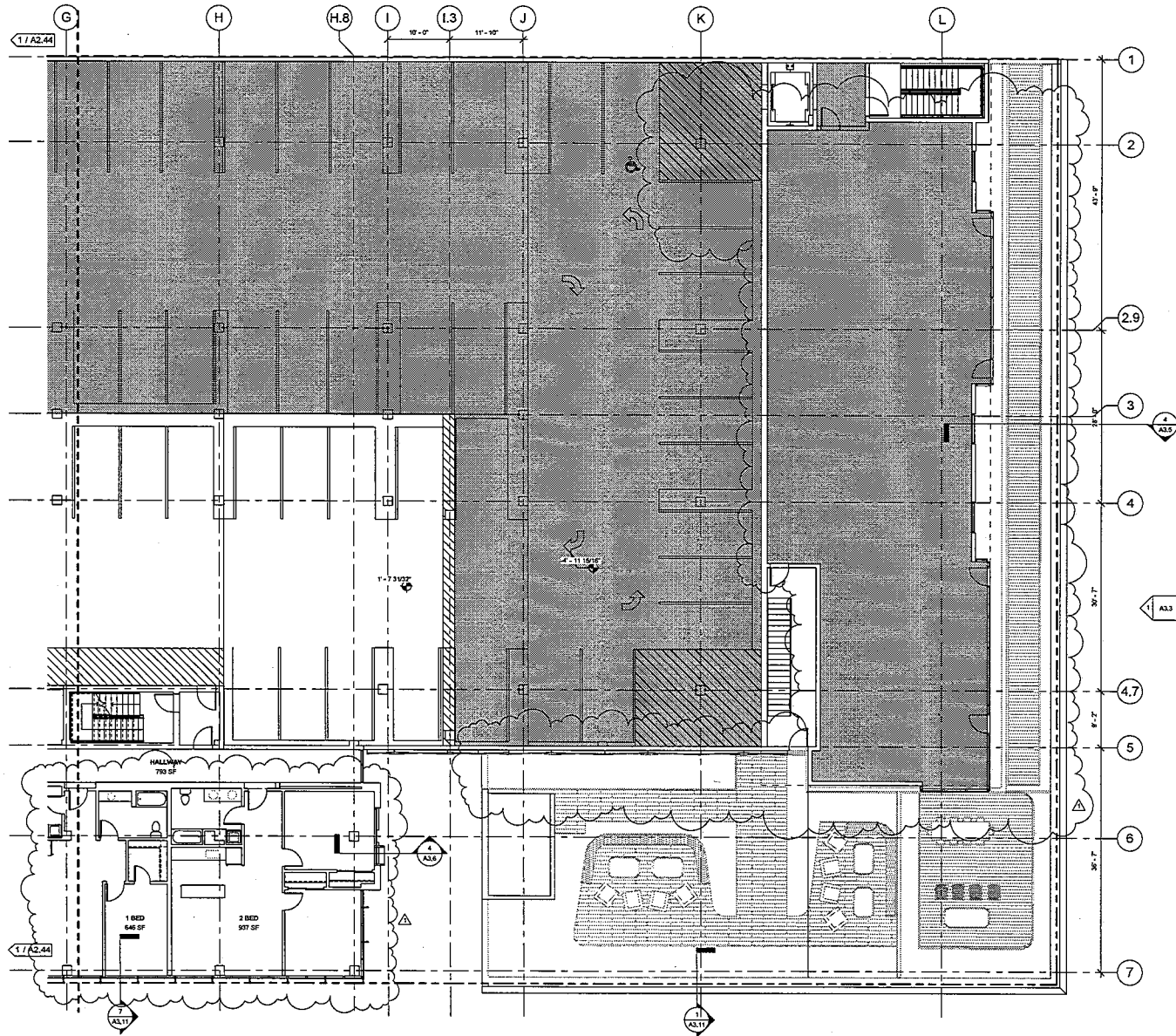
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project number: 12041

scale: as noted  
date: 06.02.15

planning  
commission  
LEVEL 5 FLOOR  
PLAN AREA A

A2.44

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LEVEL 5 ENLARGED PLAN AREA B

1/8" = 1'-0"

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510.516.0107  
www.brick4p.com

CLIENT  
1900 and broadway associates, llc

1 12/7/2015 entitlement update

rev date issue



1900  
broadway

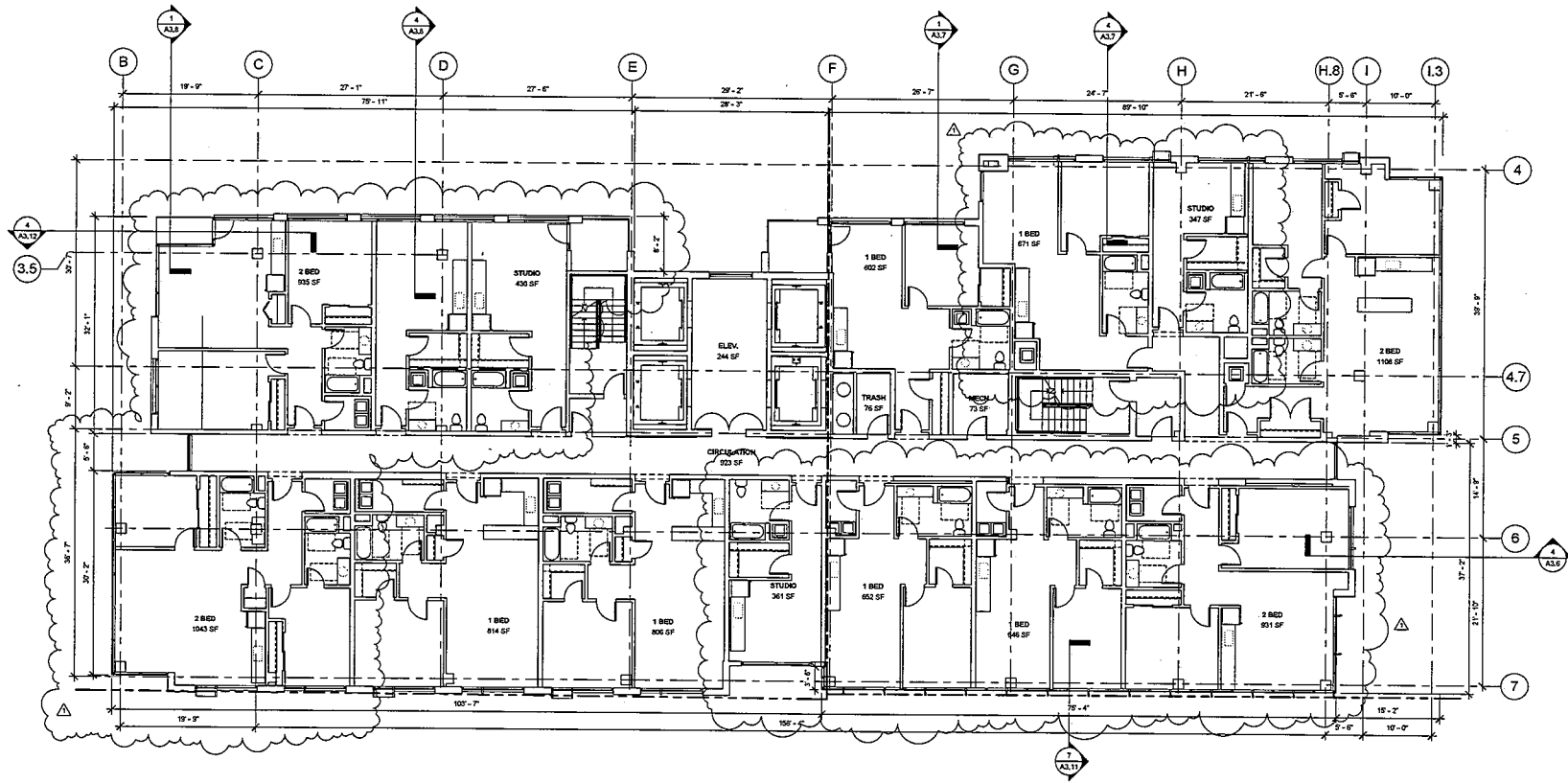
client ca  
project number: 12041

scale: as noted  
date: 06.02.15

planning  
commission  
LEVEL 5 FLOOR  
PLAN AREA B

A2.45

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CLIENT  
13th and Broadway Associates, LLC

1 12/17/2015 work/turnover update

rev date issue



1900  
broadway

issued on  
project number: 12-041

scale: as noted  
date: 06.02.15

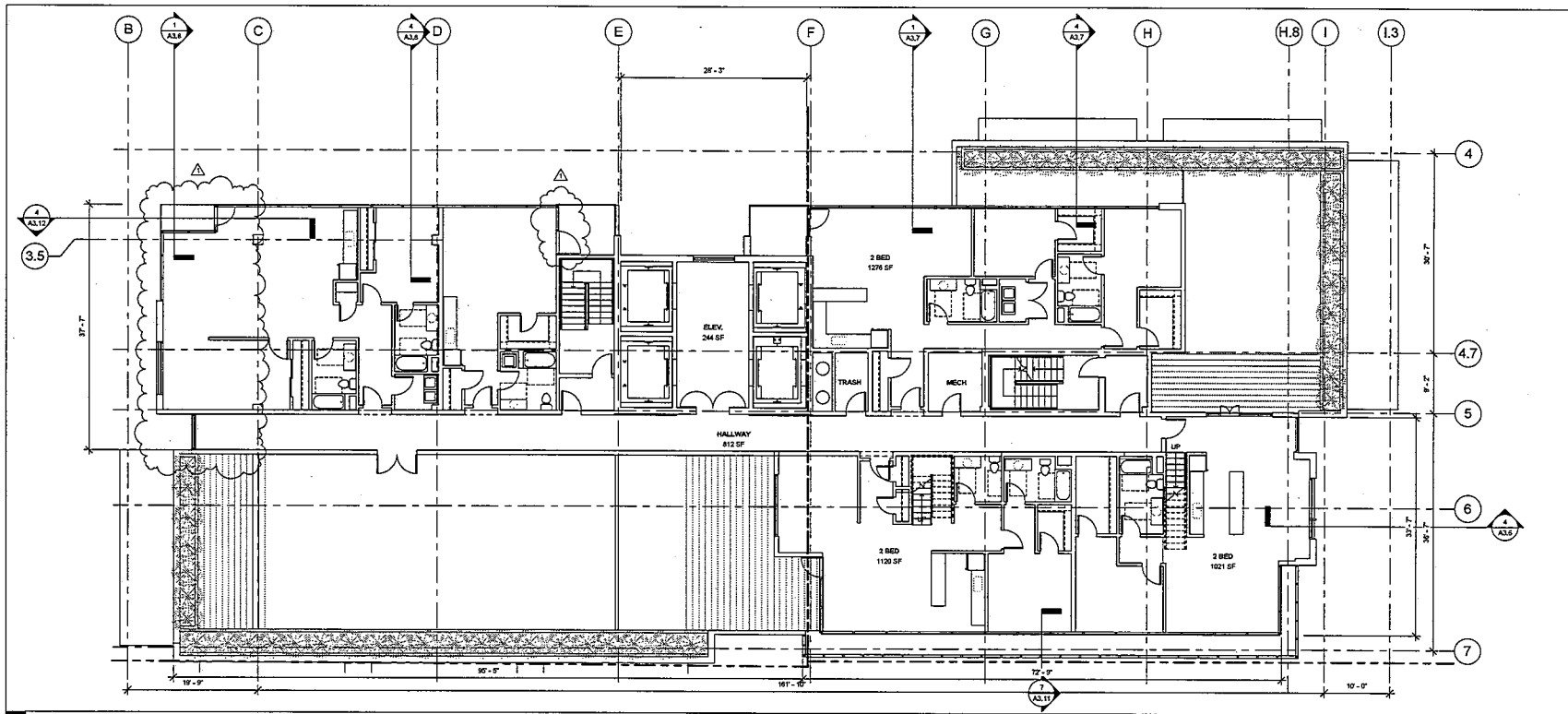
planning  
commission  
TYPICAL TOWER  
FLOOR PLAN

LEVEL 13 (TYPICAL) ENLARGED

1/8" = 1'-0"

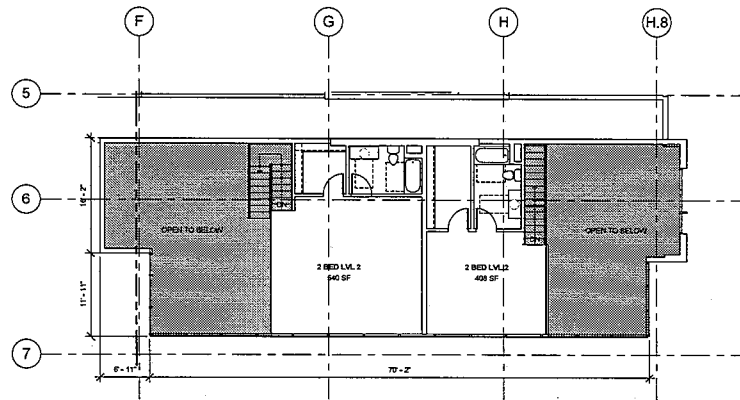
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1 LEVEL 36 ENLARGED

1/8" = 1'-0"



2 LEVEL 36 LOFT ENLARGED

1/8" = 1'-0"

brick

ARCHITECT  
Sisk, LLP  
1266 60th Street, Suite 1  
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CLIENT  
19th and Broadway Associates, LLC

1 12/7/2015 ent@entnet.upd.com

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1900  
broadway

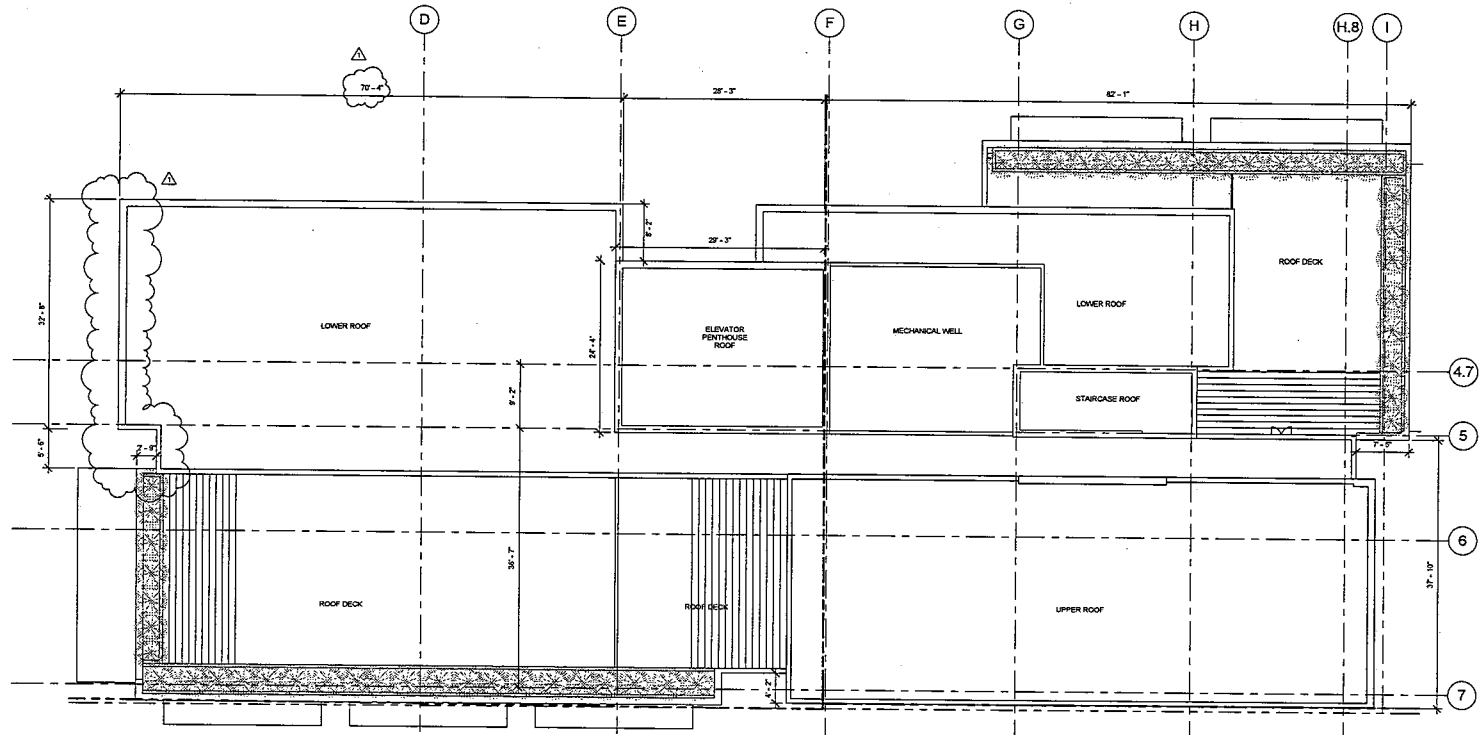
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project number: 12-041

scale: as noted  
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planning  
commission  
LEVEL 36 AND 37



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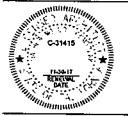
brick

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 cincinnati, oh 45206  
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1 12/17/2015 assessment update

rev date issue



1900  
 roadway

issued on  
 project number: 12-041

scale: as noted  
 date: 06.02.15

planning  
 commission

ROOF PLAN

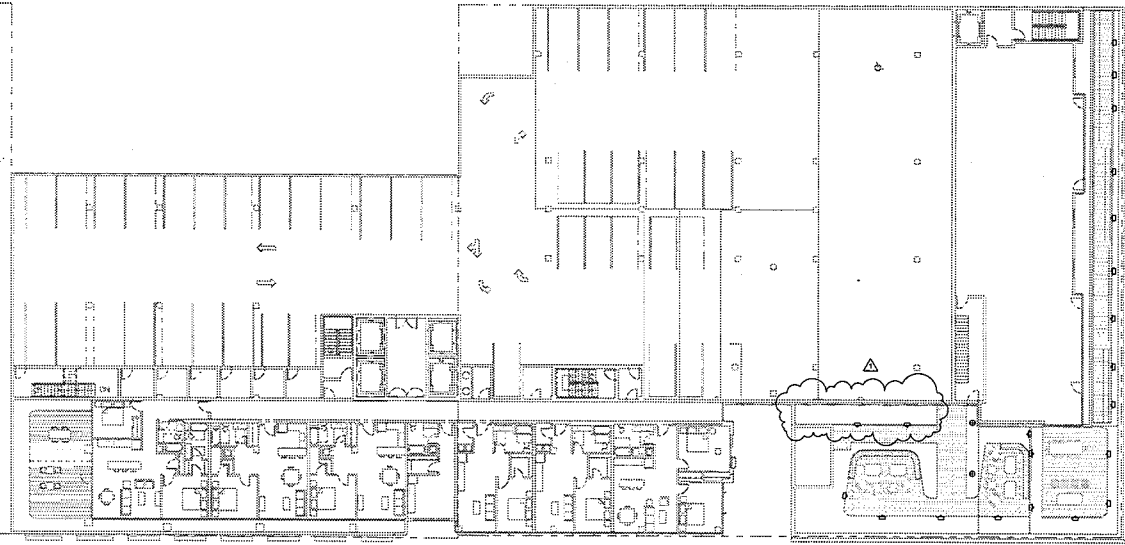
ROOF PLAN ENLARGED

1/8" = 1'-0"

A2.49



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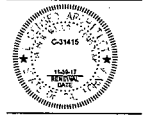
- ◻ RECESSED STEP LIGHT
- SCONCE
- DOWNLIGHT
- POLE LIGHT
- ↔ CATENARY LIGHT
- ▽ UPLIGHT

**brick**

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510.516.6167  
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CLIENT  
1900 west broadway associates, llc

1 12/17/2015 vrt@brick.com  
rev 0100 ISSUE



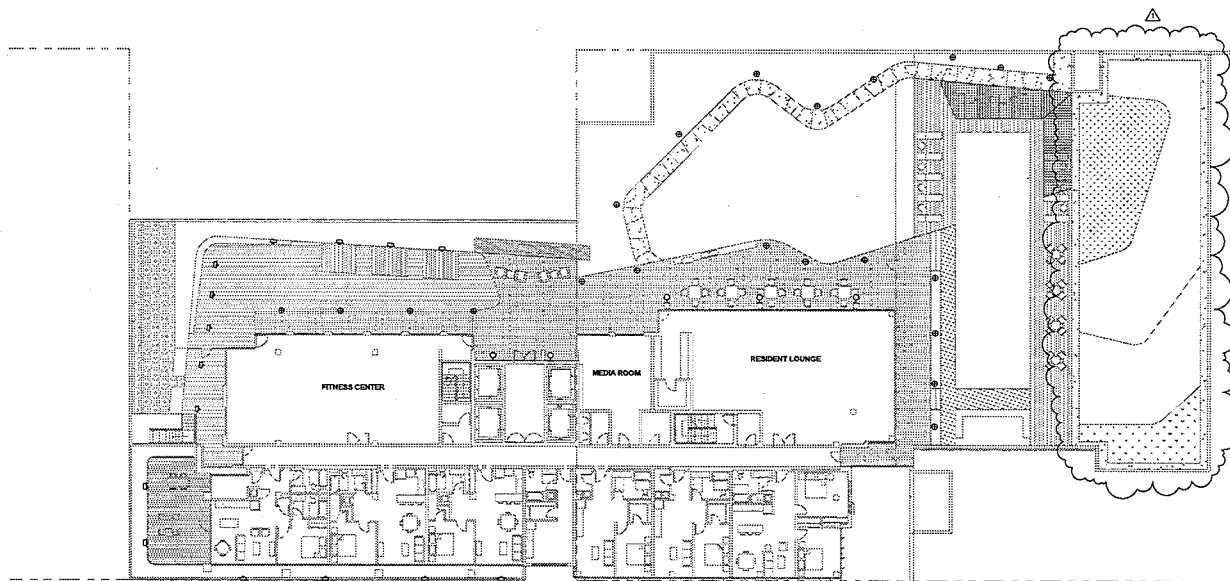
1900  
broadway

delivered on  
project number: 12-041

scale: as noted  
date: 06.02.15

planning  
commission  
LIGHTING PLAN-  
LEVEL 4 EXISTING

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**LEGEND**

- ◻ RECESSED STEP LIGHT
- ◻ SCONCE
- DOWNLIGHT
- POLE LIGHT
- CATENARY LIGHT
- ▽ UPLIGHT

brick

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 emeryville, ca 94608  
 510.516.0107  
 www.brick4p.com

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1 12/17/2015 end/benefit update

rev date issue



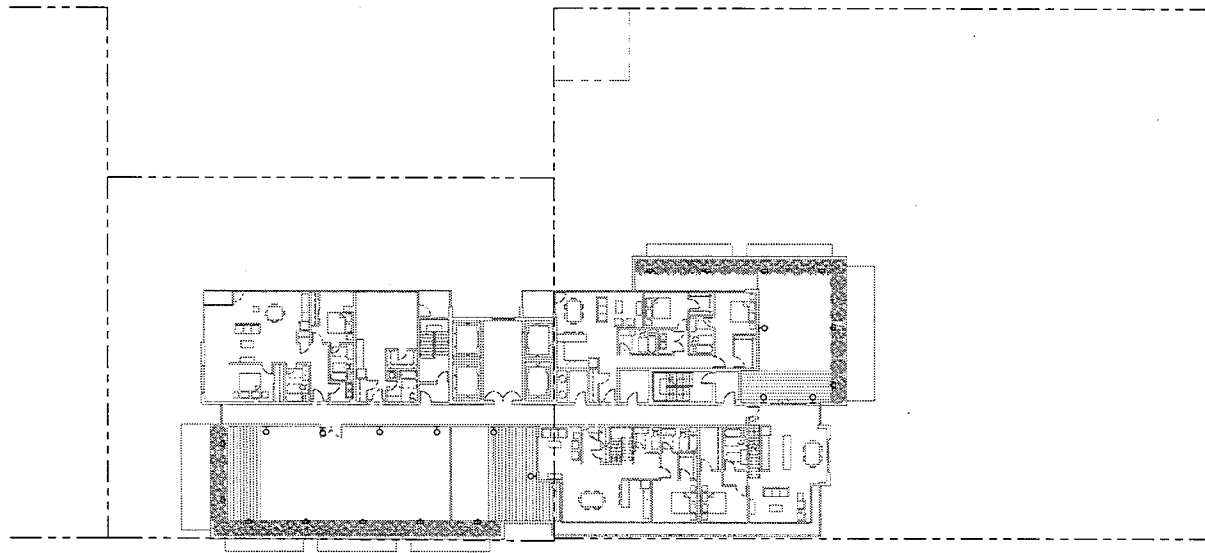
1900  
broadway

oakland ca  
project number: 12-041

scale: as noted  
date: 05.02.15

planning  
commission  
LIGHTING  
PLAN-LEVEL 6

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**LEGEND**

- RECESSED STEP LIGHT
- SCONCE
- DOWNLIGHT
- POLE LIGHT
- ↔ CATENARY LIGHT
- ▽ UPLIGHT

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emeryville, ca 94608  
510.516.0167  
www.brick-llp.com

CLIENT  
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rev. date issue



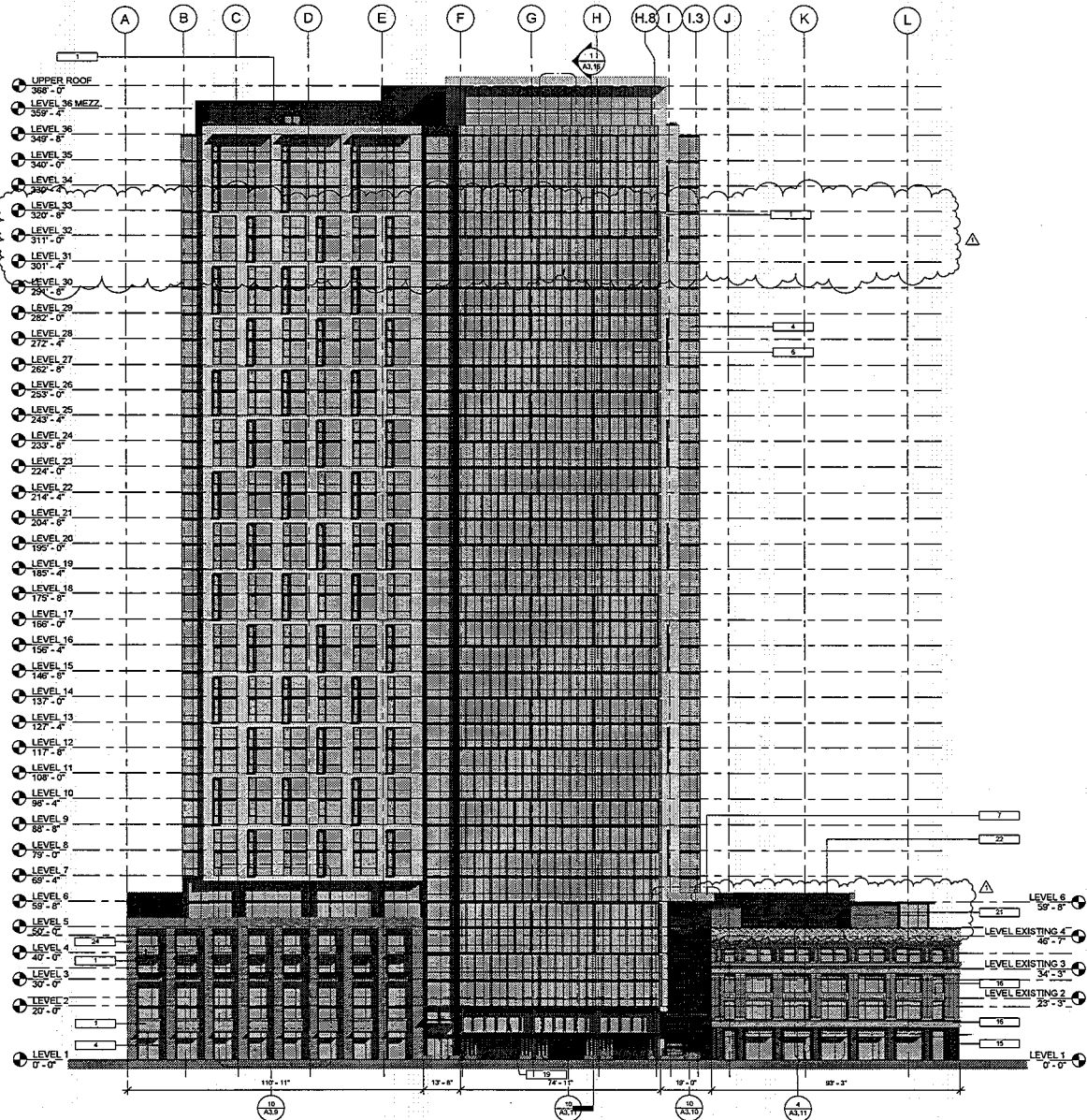
1900  
broadway

ordered on  
project number: 13-041

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LIGHTING  
PLAN-LEVEL 36

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- KEYNOTES**
- 1 PRECAST CONCRETE
  - 3 BRICK - THINSET
  - 4 WINDOW WALL SYSTEM
  - 5 ALUMINUM WINDOW
  - 6 ALUMINUM SUNSHADE
  - 7 GLASS GUARDRAIL
  - 15 STAINLESS STEEL PANEL
  - 16 TERRA COTTA PANELING
  - 18 LIVING WALL
  - 19 GLASS FINS
  - 20 CAST IN PLACE CONCRETE
  - 21 GFRP RAIN-SCREEN SYSTEM
  - 22 GREEN WALL
  - 23 GFRP PANEL
  - 24 THINSET BRICK OPRECAST CONCRETE

TENTH SCALE, APPROXIMATE SIZE AND LOCATION OF SIGNAGE SUBJECT TO APPROVAL BY THE CITY OF OAKLAND PLANNING DEPARTMENT UNDER A SEPARATE SIGNAGE PACKAGE

WEST ELEVATION

1" = 20'-0" ELEVATION LEGEND

NTS

brick

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brick, llp  
1200 68th street, suite 1  
emeryville, ca 94608  
510.516.0167  
www.brickllp.com

CLIENT  
19th and broadway associates, llc

1 12/7/2015 written update  
rev date issue



1900  
broadway

oakland ca  
project number: 12041

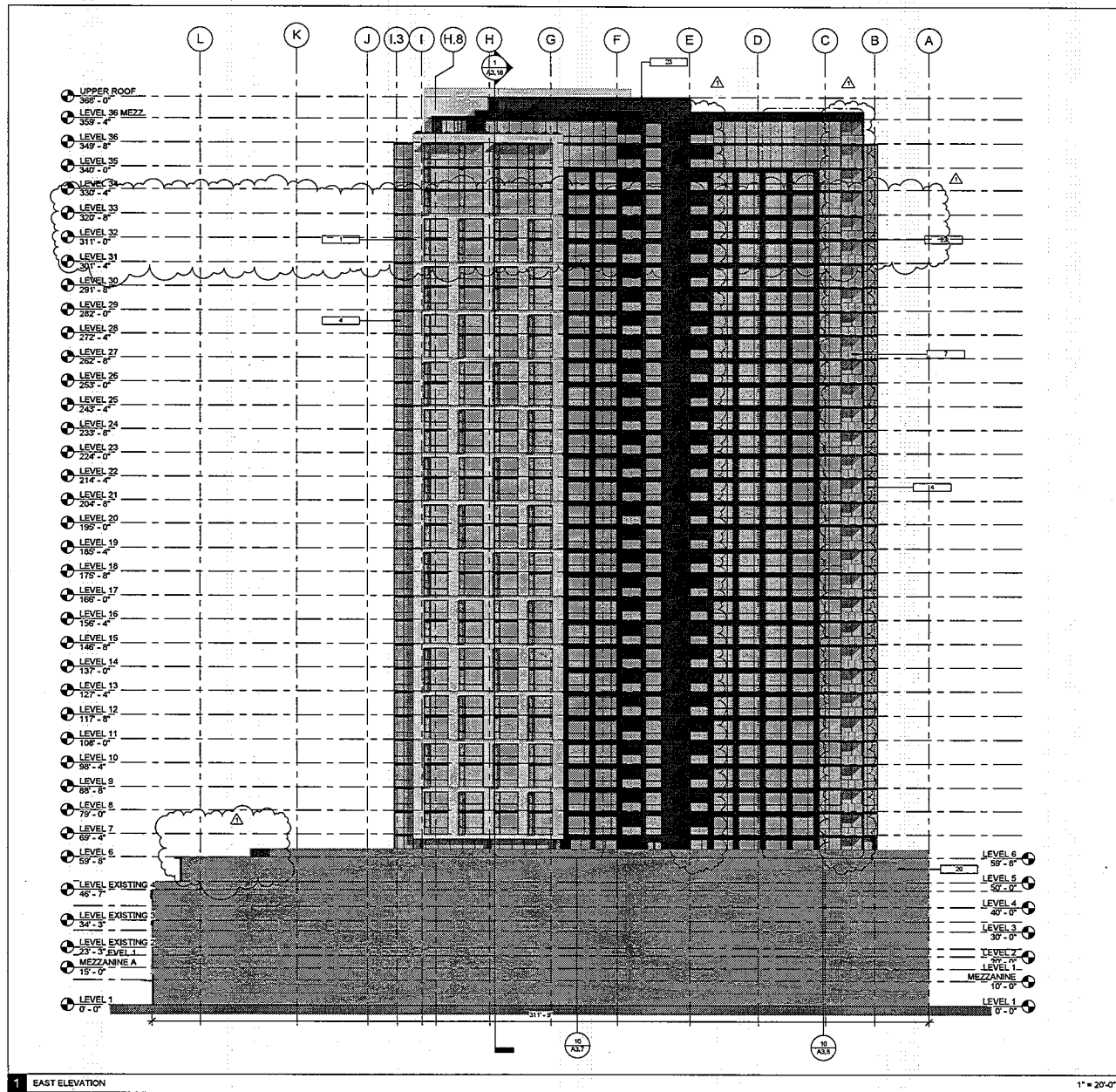
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date: 06.02.15

planning  
commission  
WEST ELEVATION

A3.1



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- KEYNOTES**
- 1 PRECAST CONCRETE
  - 3 BRICK - THINSET
  - 4 WINDOW WALL SYSTEM
  - 5 ALUMINUM WINDOW
  - 6 ALUMINUM SUNSHADE
  - 7 GLASS GUARDRAIL
  - 15 STAINLESS STEEL PANEL
  - 16 TERRA COTTA PANELING
  - 18 LIVING WALL
  - 19 GLASS FINIS
  - 20 CAST IN PLACE CONCRETE
  - 21 GFRP RAIN-SCREEN SYSTEM
  - 22 GREEN WALL
  - 23 GFRP PANEL
  - 24 THINSET BRICK PRECAST CONCRETE

THINSET BRICK: APPROXIMATE SIZE AND LOCATION OF SIGNAGE SUBJECT TO APPROVAL BY THE CITY OF OAKLAND PLANNING DEPARTMENT UNDER A SEPARATE SIGNAGE PACKAGE

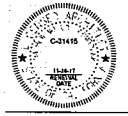
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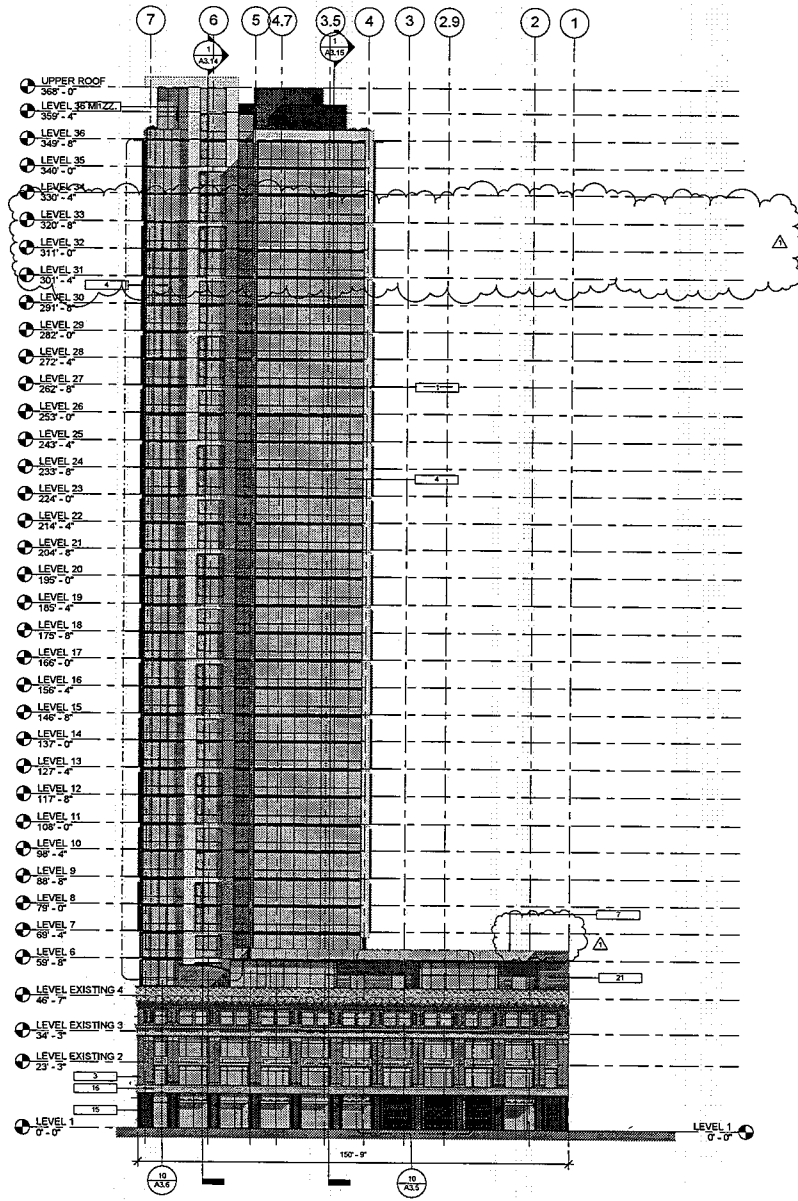
1900  
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client: ca  
 project number: 12-041

scale: as noted  
 date: 08.02.15

planning  
 commission  
 EAST ELEVATION

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- KEYNOTES**
- 1 PRECAST CONCRETE
  - 3 BRICK - THINSET
  - 4 WINDOW WALL SYSTEM
  - 5 ALUMINUM WINDOW
  - 6 ALUMINUM SUNSHADE
  - 7 GLASS GUARDRAIL
  - 15 STAINLESS STEEL PANEL
  - 16 TERRA COTTA PANELING
  - 18 LIVING WALL
  - 19 GLASS FINIS
  - 20 CAST IN PLACE CONCRETE
  - 21 GFRG RAIN-SCREEN SYSTEM
  - 22 GREEN WALL
  - 23 GFRG PANEL
  - 24 THINSET BRICK OR PRECAST CONCRETE

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 TENANT SIGNAGE, APPROXIMATE SIZE AND LOCATION OF SIGNAGE SUBJECT TO APPROVAL BY THE CITY OF OAKLAND PLANNING DEPARTMENT UNDER A SEPARATE SIGNAGE PACKAGE

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1 12/17/2015 4/18/2016 update  
 rev. 099 Issue



1900  
 broadway

shepard ss  
 project number: 13-041

scale: as noted  
 date: 04/22/15

planning  
 commission  
 SOUTH  
 ELEVATION

NTS

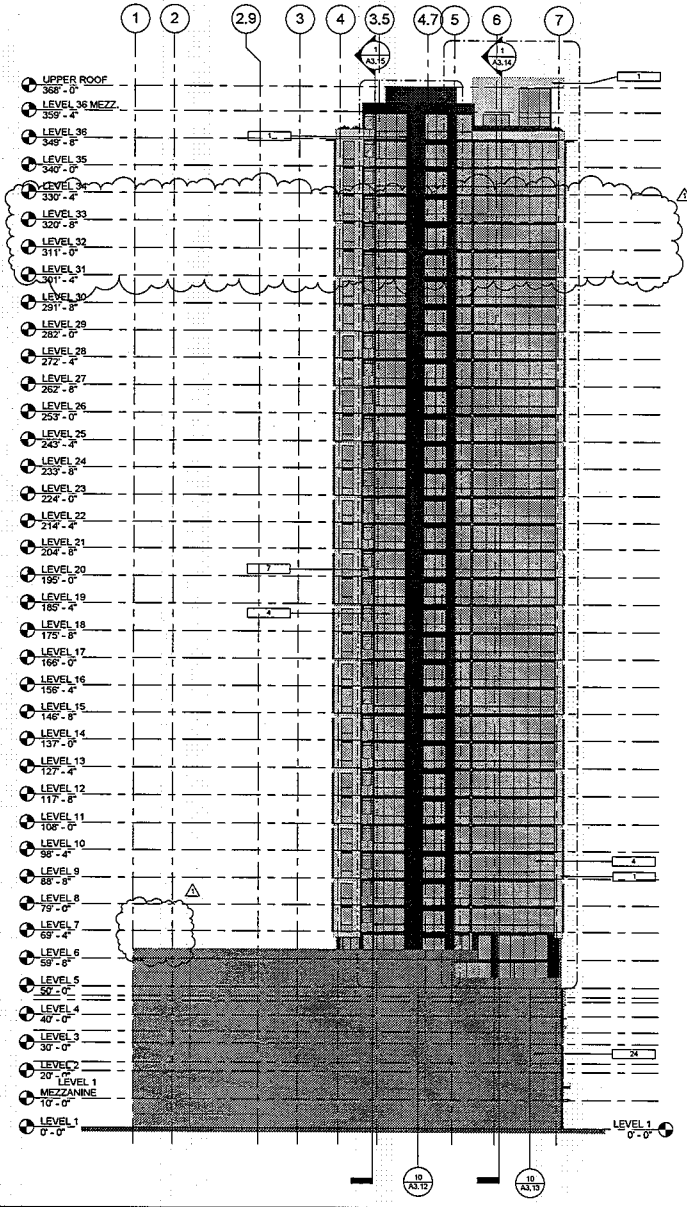
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1 SOUTH ELEVATION

1" = 20'-0"

ELEVATION LEGEND

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- KEYNOTES**
- 1 PRECAST CONCRETE
  - 3 BRICK - THINSET
  - 4 WINDOW WALL SYSTEM
  - 5 ALUMINUM WINDOW
  - 6 ALUMINUM SUNSHADE
  - 7 GLASS GUARDRAIL
  - 15 STAINLESS STEEL PANEL
  - 16 TERRAZZO PANELING
  - 18 LIVING WALL
  - 19 GLASS FINIS
  - 20 CAST IN PLACE CONCRETE
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  - 22 GREEN WALL
  - 23 GFRG PANEL
  - 24 THINSET BRICK O/PRECAST CONCRETE

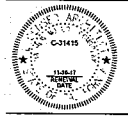
TENANT SIGNAGE APPROXIMATE SEE AFD LOCATION OF SIGNAGE SUBJECT TO APPROVAL BY THE CITY OF OAKLAND PLANNING DEPARTMENT UNDER A SEPARATE SIGNAGE PACKAGE

brick

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1 12/17/2015 entitlement update  
rev date issue



1900  
broadway

oakland ca  
project number: 12-041

scale: as noted  
date: 06.02.15

planning  
commission  
NORTH  
ELEVATION

1 NORTH ELEVATION

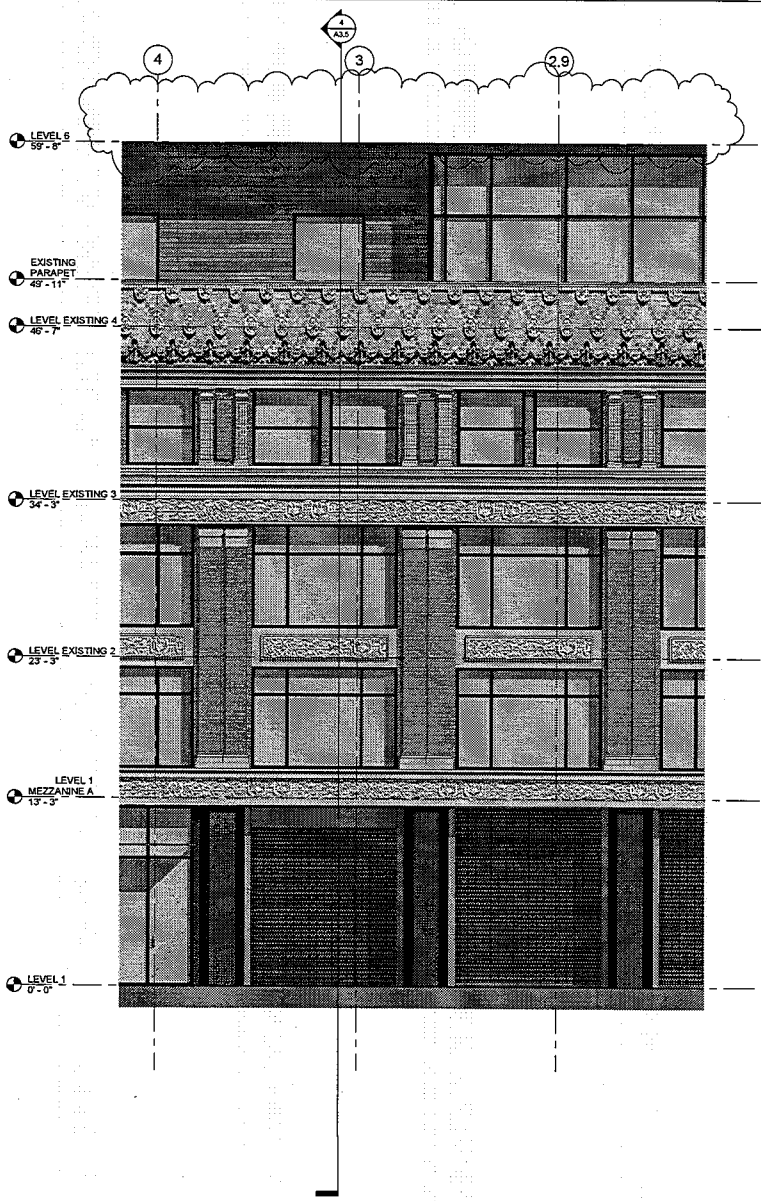
1" = 20'-0"

ELEVATION LEGEND

NTS

A3.4

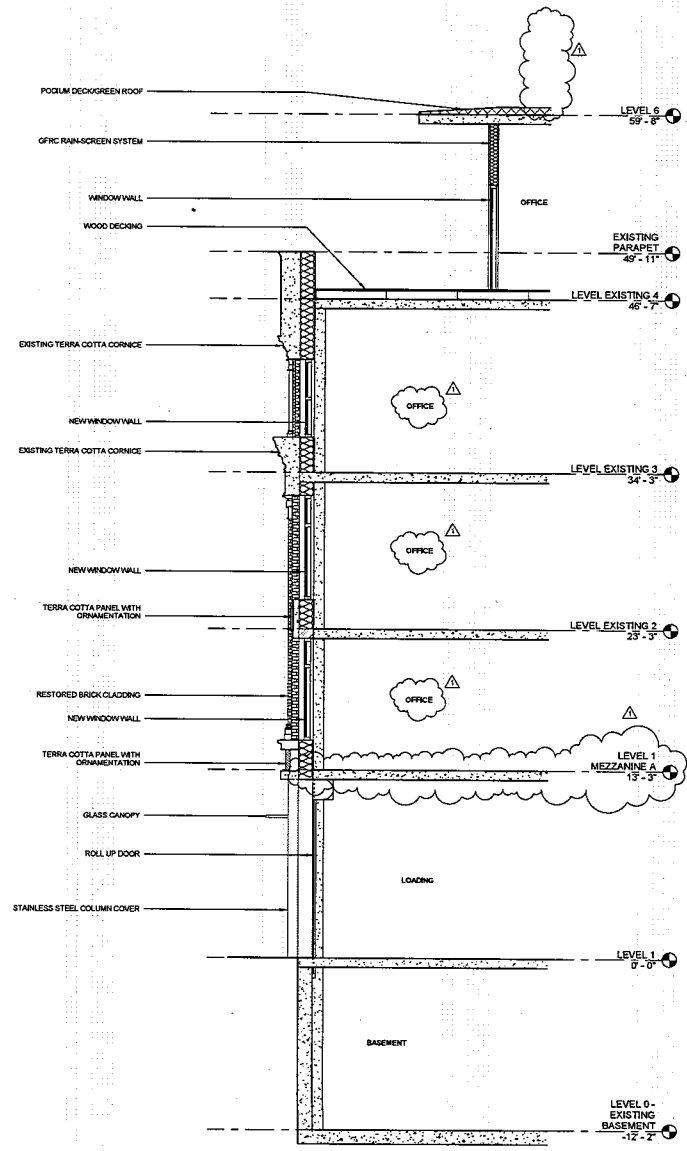
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10 ENT. EAST ELEVATION CALLOUT1

1/4" = 1'-0"

4 EAST CALLOUT 1 SECTION 1



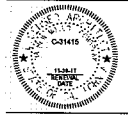
1/4" = 1'-0"

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 1256 40th street, suite 1  
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 rev date issue



1900  
 broadway

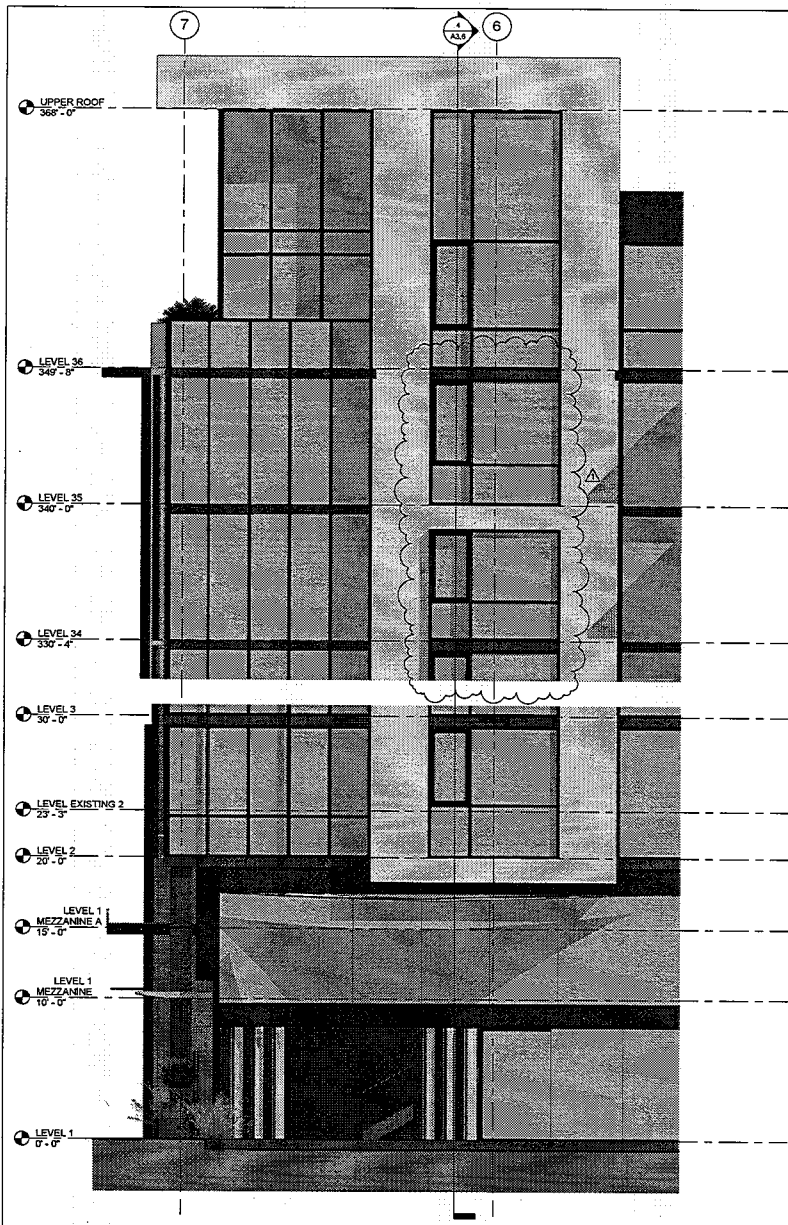
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scale: as noted  
 date: 06.02.15

planning  
 commission  
 ENLARGED  
 ELEVATION /  
 WALL SECTIONS

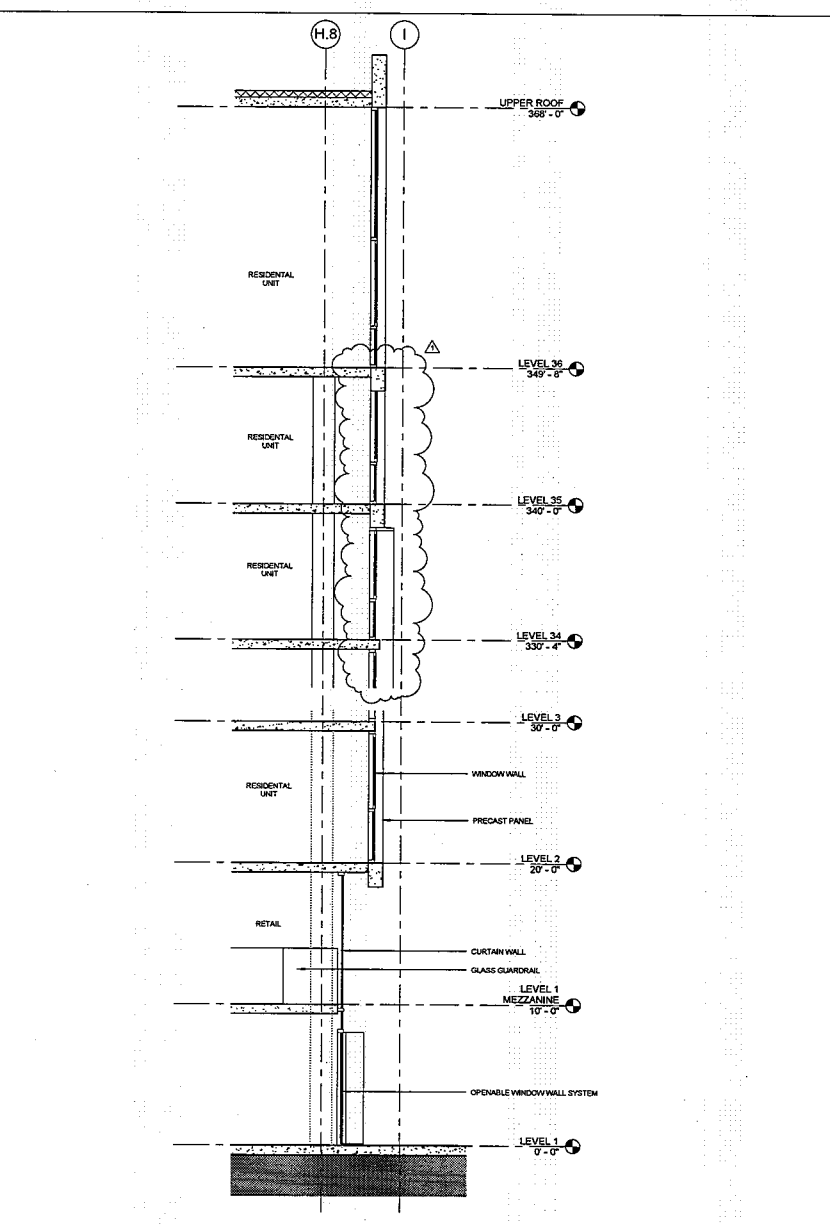
**A3.5**

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10 SECTION THROUGH COURT

1/4" = 1'-0"



4 EAST CALLOUT 3 SECTION 1

1/4" = 1'-0"

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1900  
broadway

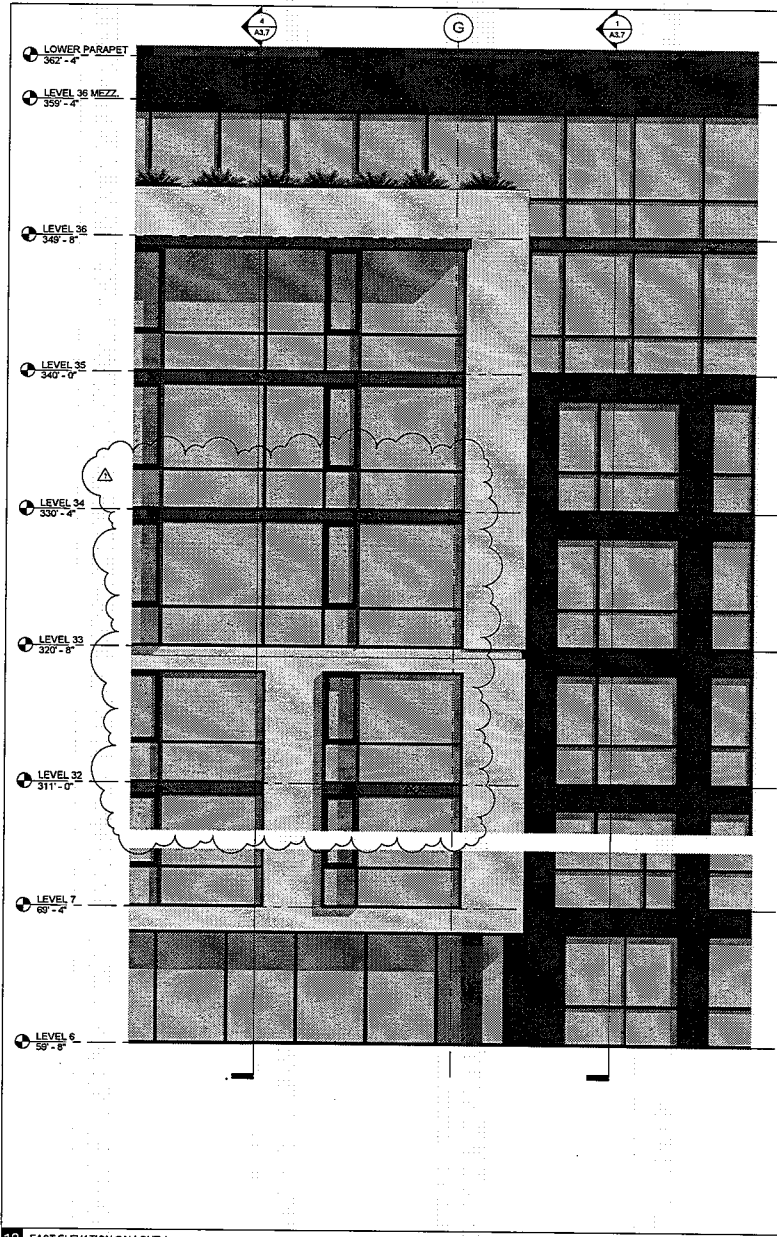
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planning  
commission  
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ELEVATION /  
WALL SECTIONS

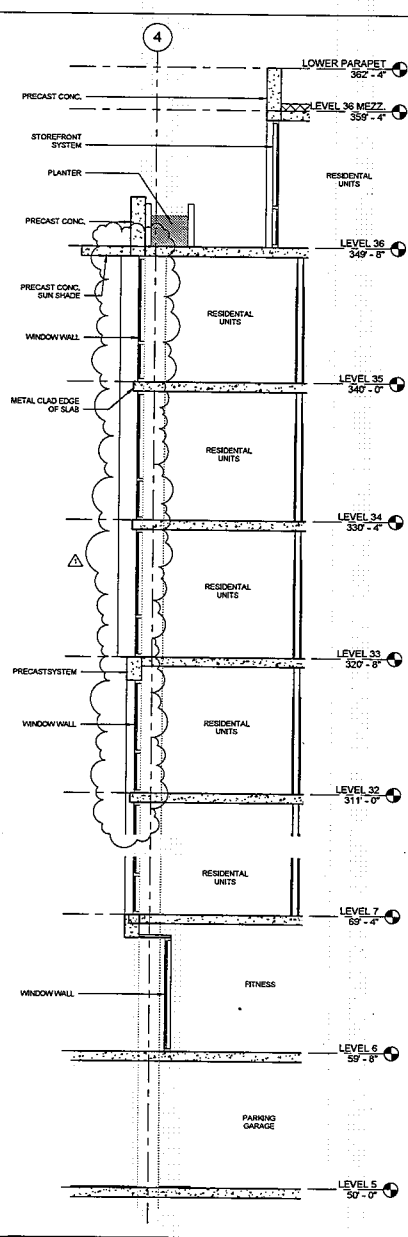
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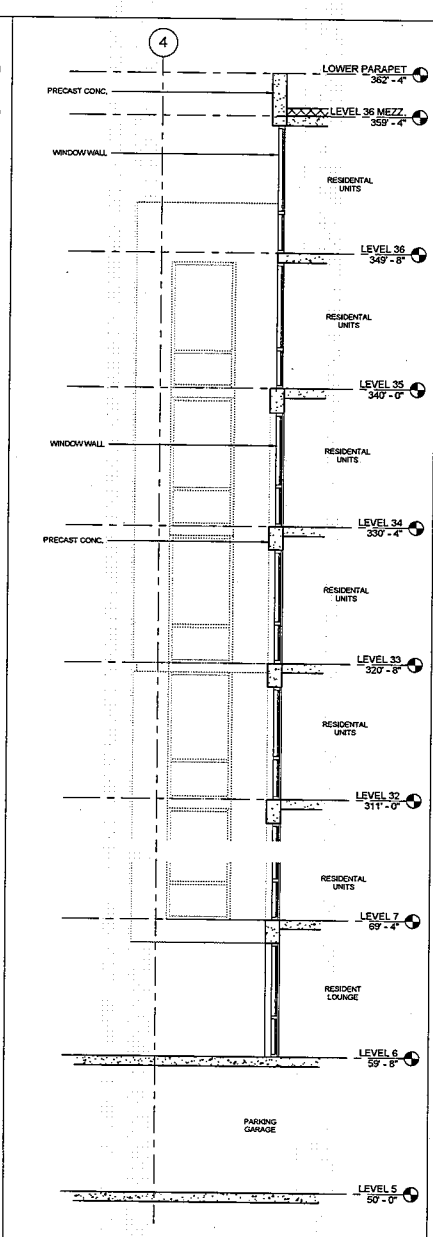


10 EAST ELEVATION CALLOUT 1

1/4" = 1'-0"



1/4" = 1'-0" 4 NORTH CALLOUT SECTION 1



1/4" = 1'-0" 1 NORTH CALLOUT 1 SECTION 2

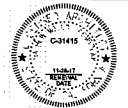
1/4" = 1'-0"

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1 12/17/2015 refinement update  
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1900  
broadway

oakland ca  
project number: 13041

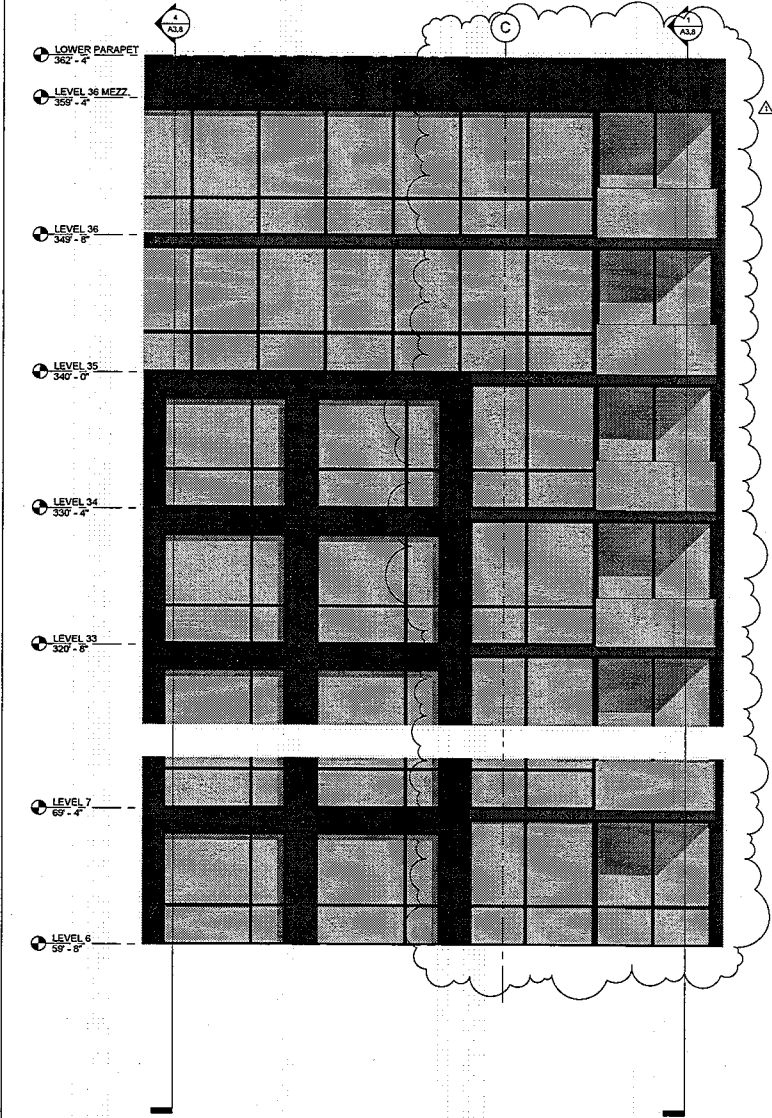
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planning  
commission  
ENLARGED  
ELEVATION /  
WALL SECTIONS

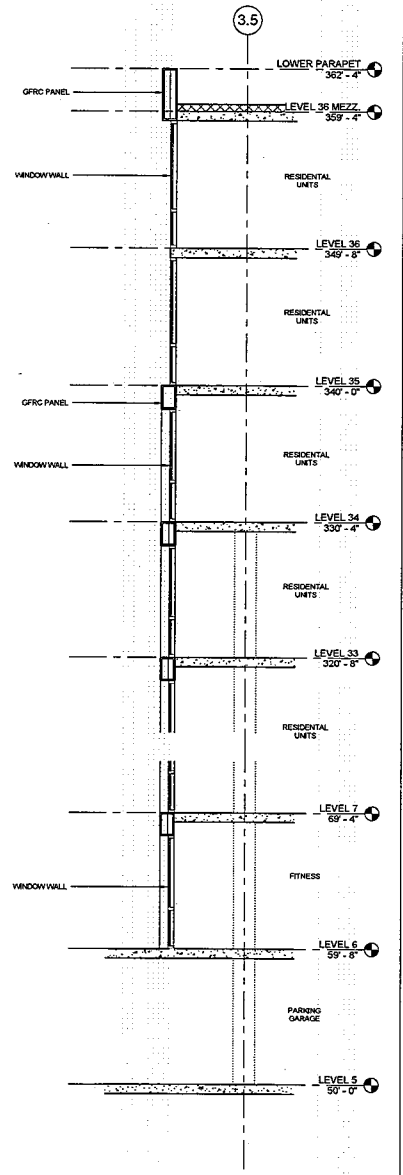
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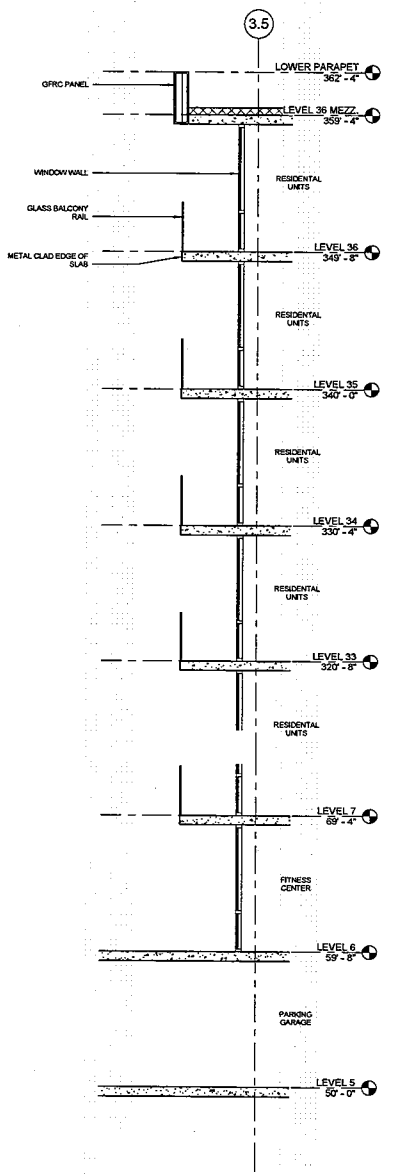
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10 EAST ELEVATION CALLOUT 2



4 NORTH CALLOUT SECTION 2



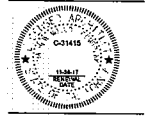
1 NORTH CALLOUT 2 SECTION 2

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510.516.0187  
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1 12/17/2015 settlement update  
Rev. date issue



1900  
broadway

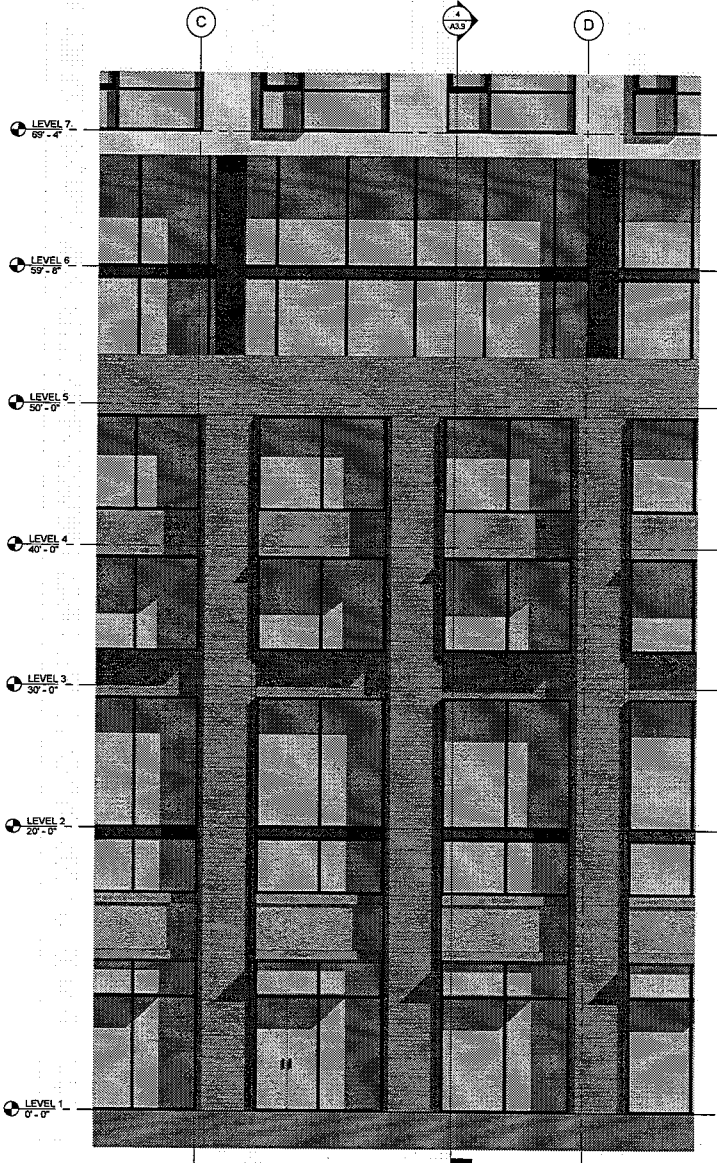
Oakland, CA  
project number: 12-041

scale: as noted  
date: 06.02.15

planning  
commission  
ENLARGED  
ELEVATION /  
WALL SECTIONS

A3.8

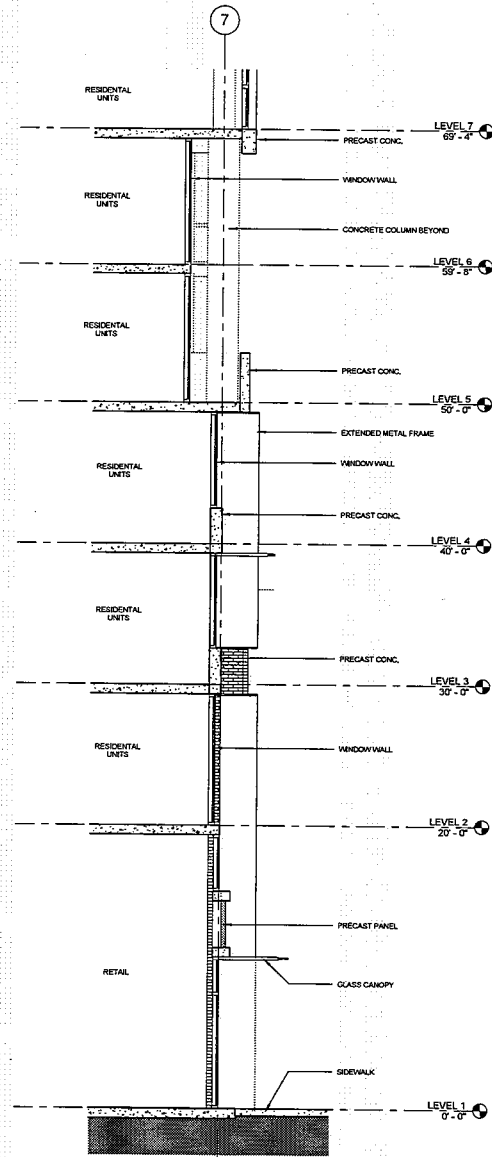
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10 WEST ELEVATION CALLOUT 1

1/4" = 1'-0"

4 SOUTH CALLOUT 1 SECTION 1



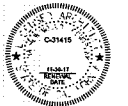
1/4" = 1'-0"

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San Francisco, CA 94103  
916.516.0197  
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REV. 08/15 12/15/15



1900  
broadway

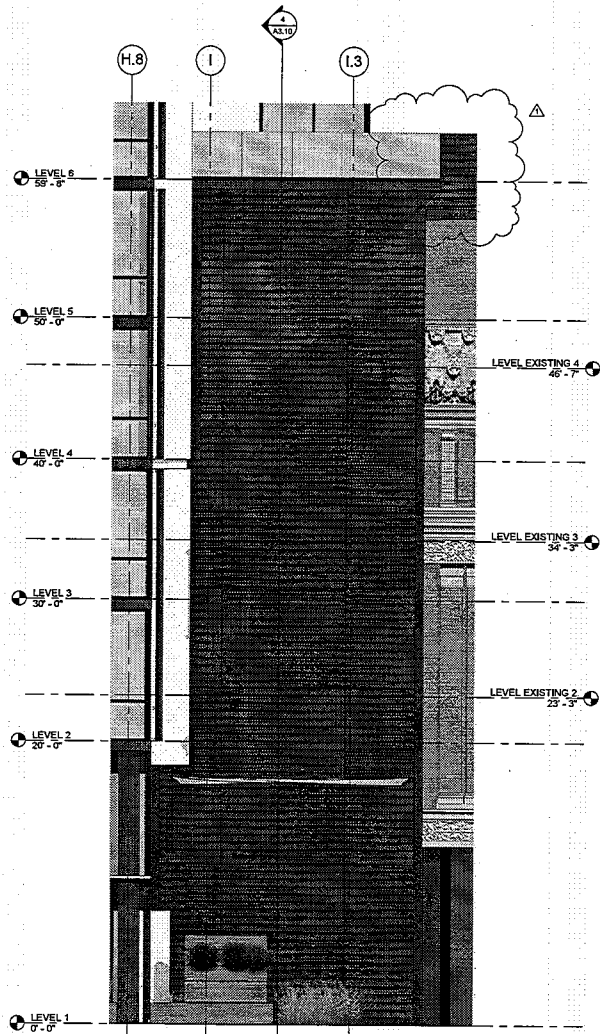
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project number: 12-041

scale: as noted  
date: 05.02.15

planning  
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ENLARGED  
ELEVATION /  
WALL SECTIONS

A3.9

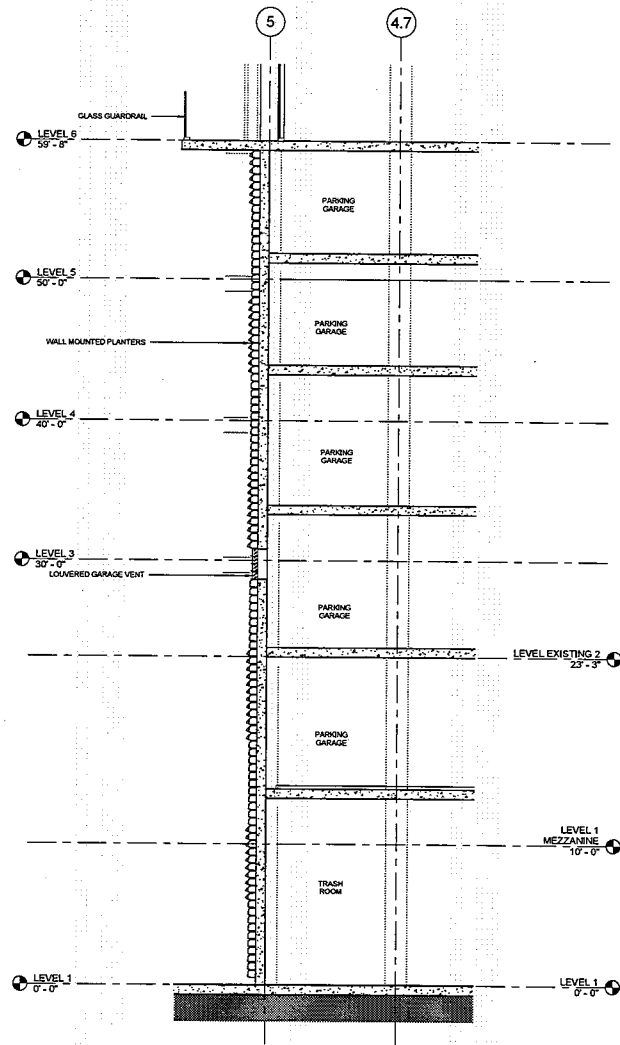
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10 CALLOUT OF WEST ELEVATION

1/4" = 1'-0"

4 SOUTH CALLOUT 22 SECTION 1



1/4" = 1'-0"

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1900  
broadway

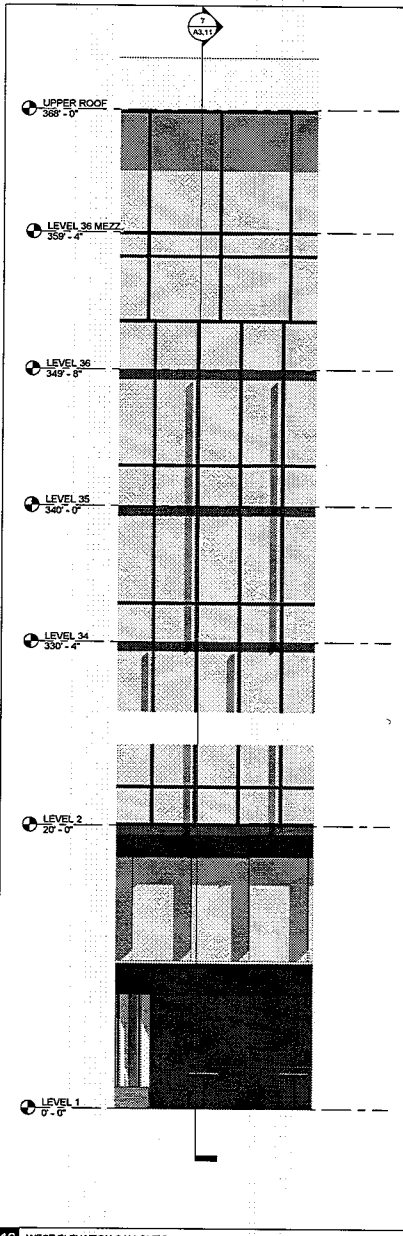
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project number: 13.041

scale: as noted  
date: 06.02.15

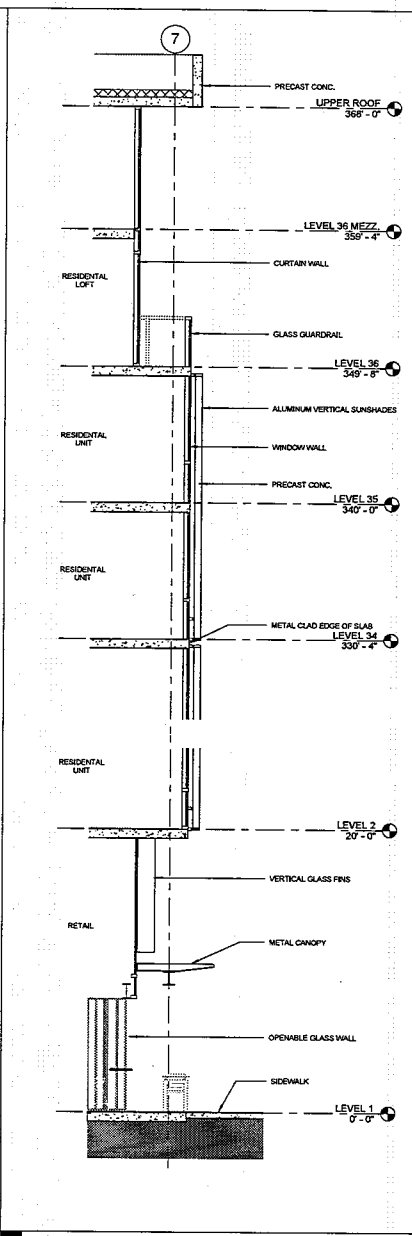
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ENLARGED  
ELEVATION /  
WALL SECTIONS

A3.10

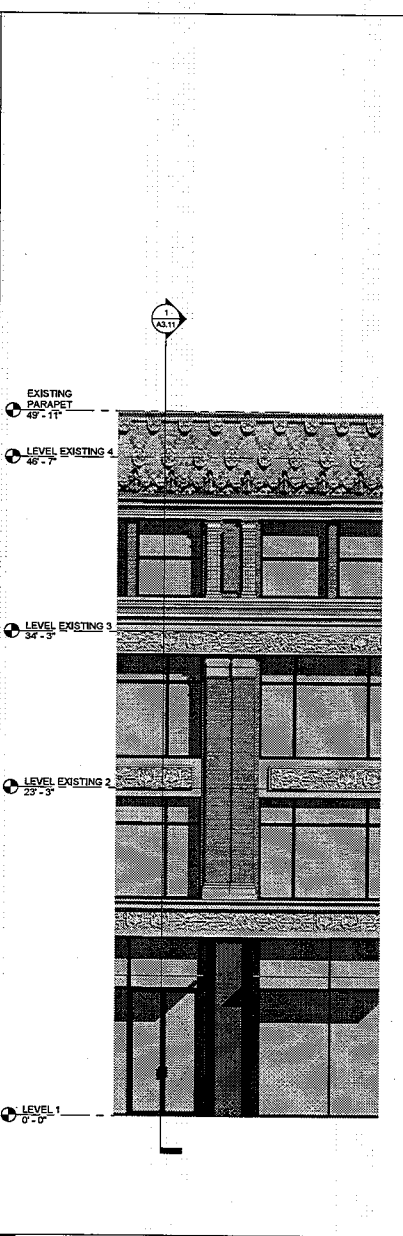
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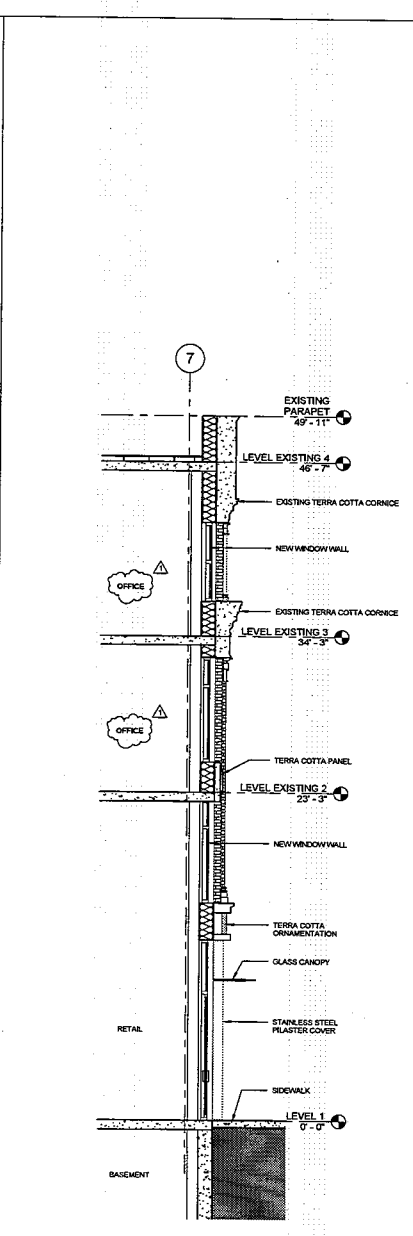
10 WEST ELEVATION CALLOUT 2 1/4" = 1'-0"



7 SOUTH CALLOUT 2 SECTION 2 1/4" = 1'-0"



4 WEST ELEVATION CALLOUT 3 1/4" = 1'-0"



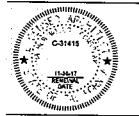
1 SOUTH CALLOUT 3 SECTION 3 1/4" = 1'-0"

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1 12/17/2015 eiffelmont update  
rev date issue



1900  
broadway

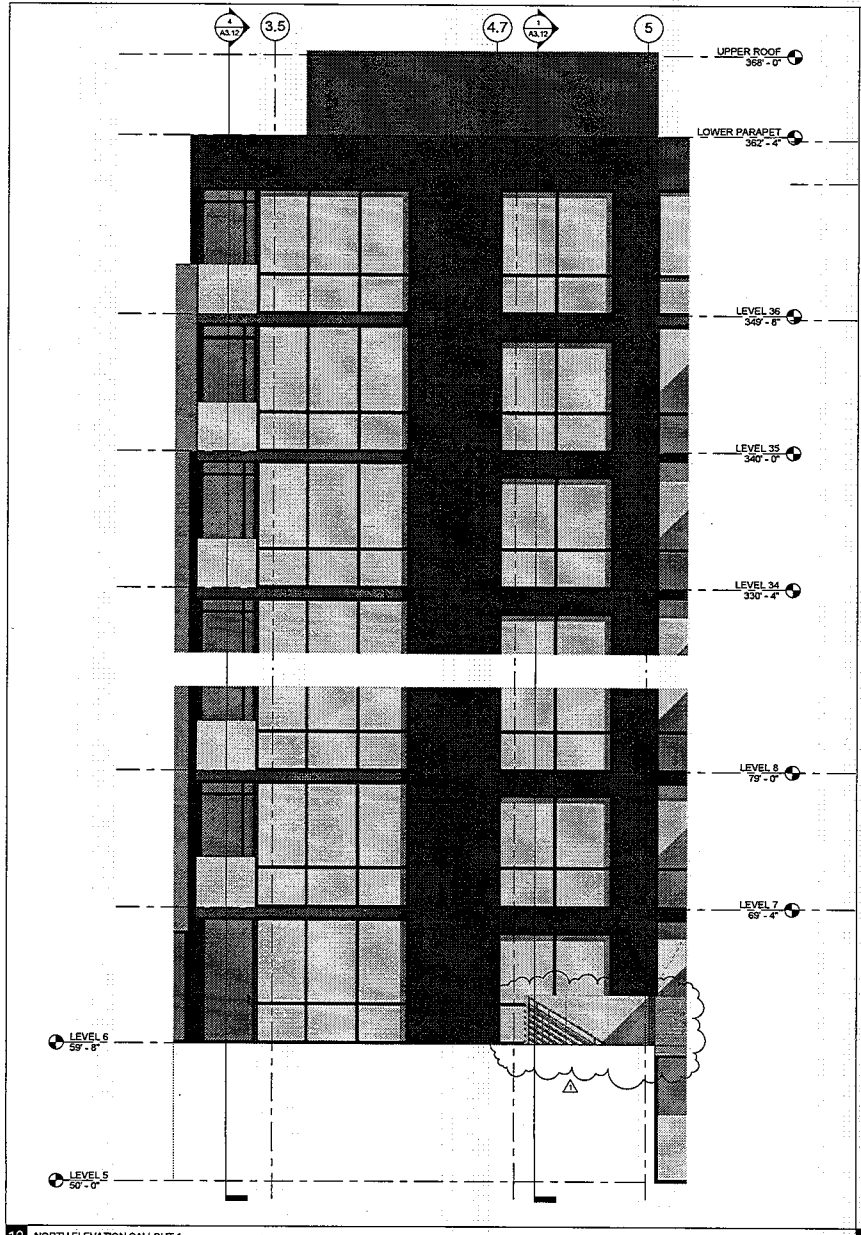
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scale: as noted  
date: 06.02.15

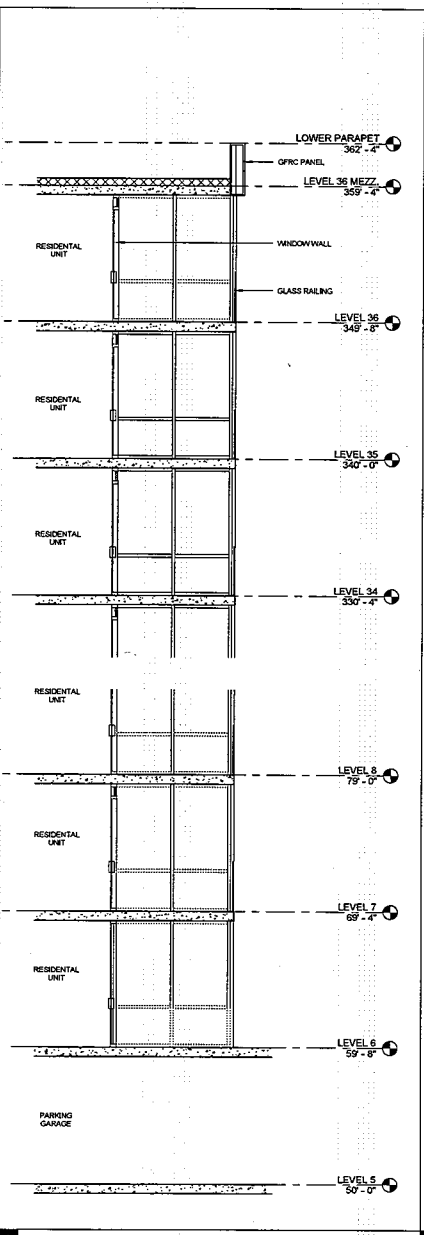
planning  
commission  
ENLARGED  
ELEVATION /  
WALL SECTIONS

A3.11

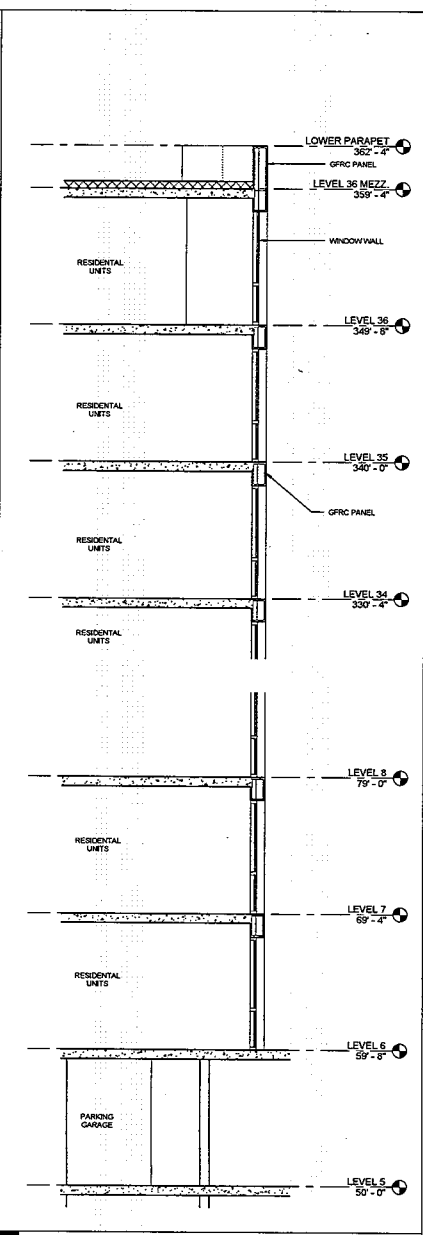
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10 NORTH ELEVATION CALLOUT 1



1/4" = 1'-0" 4 NORTH CALLOUT 1 SECTION 4



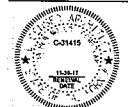
1/4" = 1'-0" 1 NORTH CALLOUT 1 SECTION 1

brick

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1 12/17/2015 settlement update  
 rev. 0409 issue



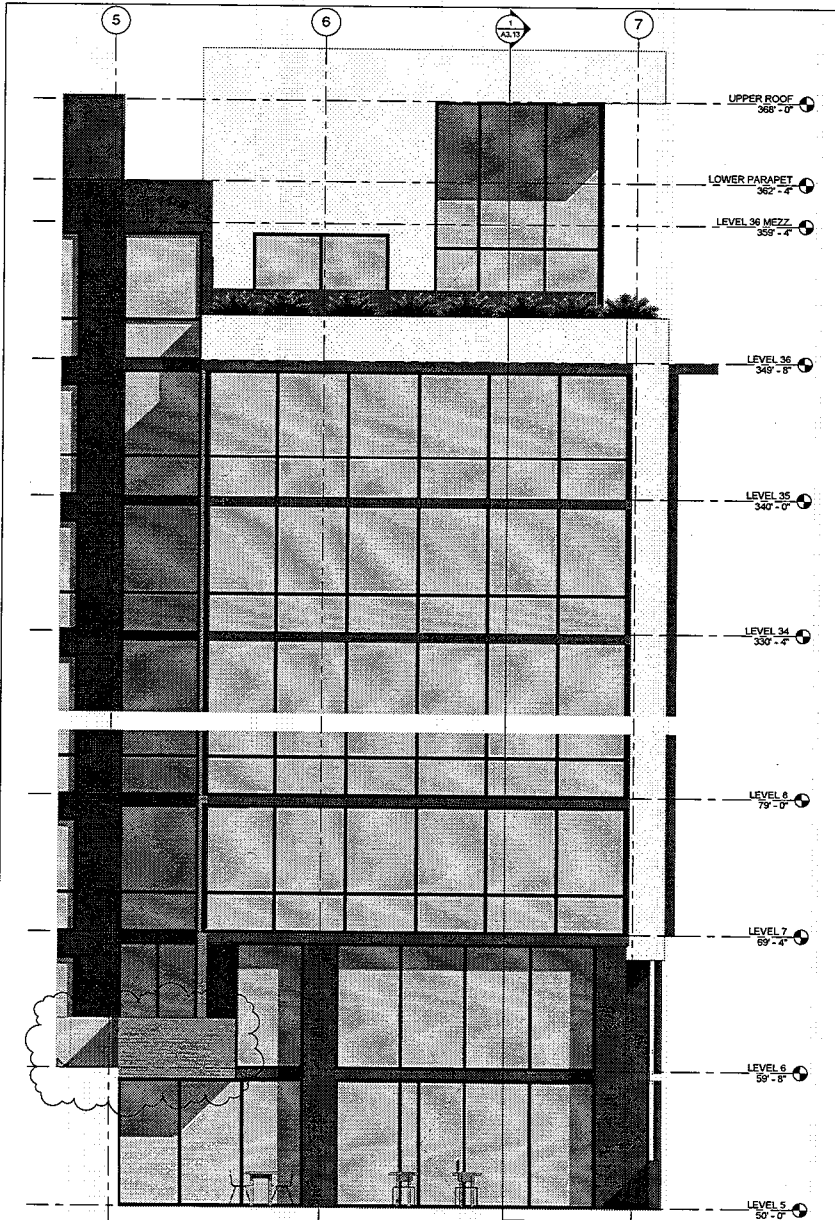
1900  
 broadway

sheet no  
 project number: 12-041

scale: as noted  
 date: 06.02.15

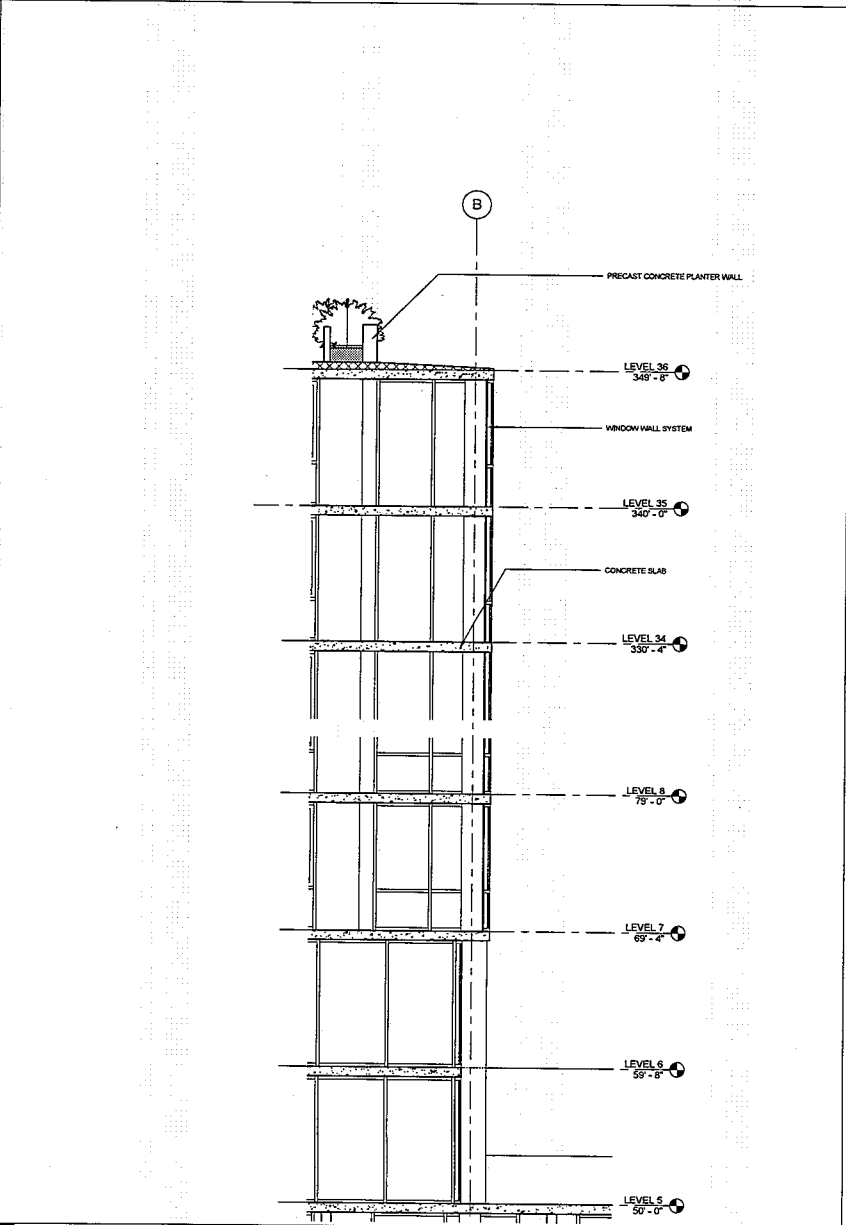
planning  
 commission  
 ENLARGED  
 ELEVATION /  
 WALL SECTIONS

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10 NORTH ELEVATION CALLOUT 2

1/4" = 1'-0"



1 NORTH SECTION 2

1/4" = 1'-0"

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rev date issue



1900  
broadway

oakland ca  
project number: 12-041

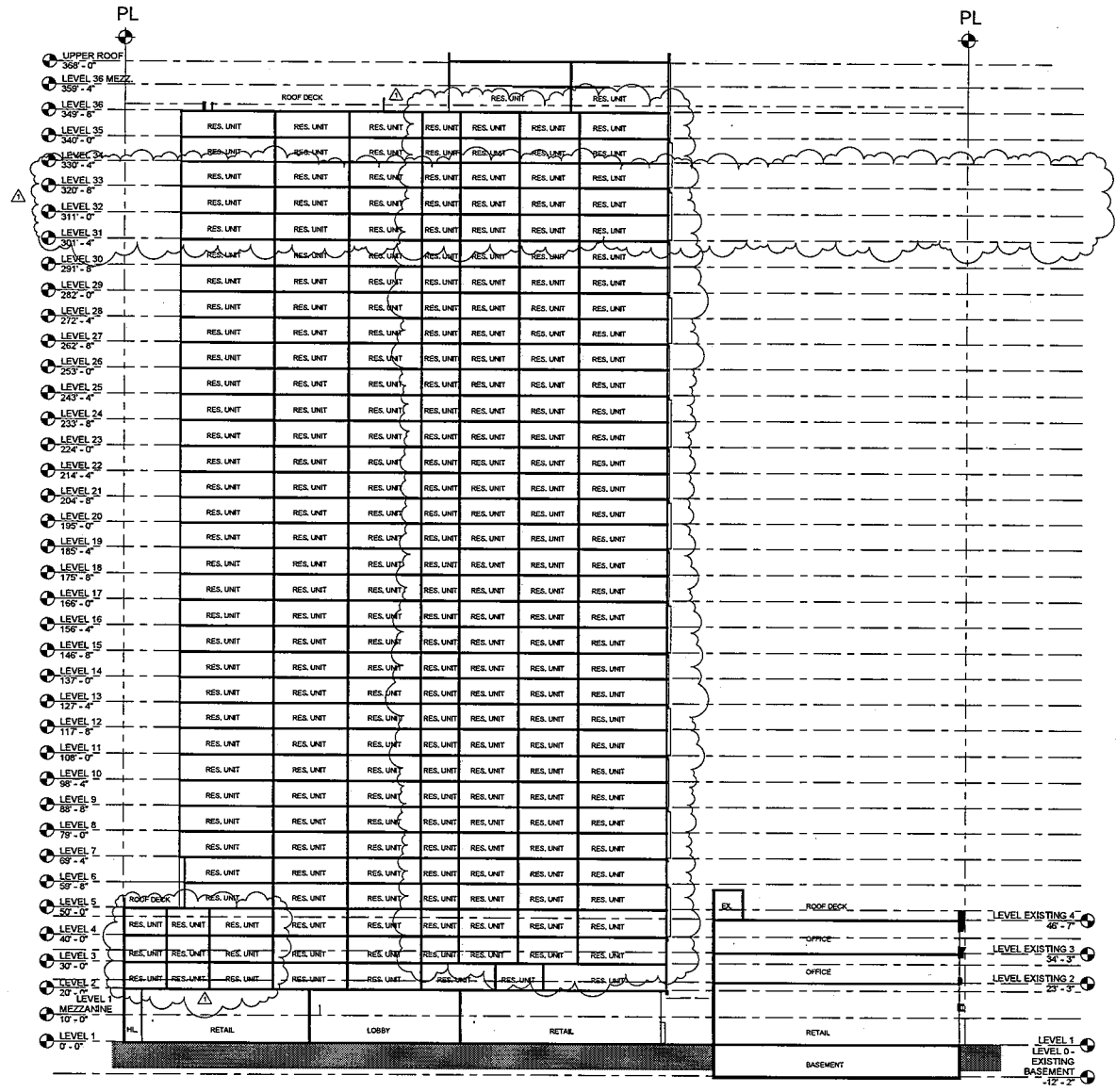
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planning  
commission  
ENLARGED  
ELEVATION /  
WALL SECTIONS

A3.13



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1 BUILDING SECTION LOOKING NORTH

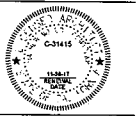
1" = 20'-0"

brick

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CLIENT  
190 and Broadway Associates, Inc.

1 13/17/2015 @Bentley update  
rev. 04M Issue



1900  
broadway

04Bentley.ca  
project number: 13-041

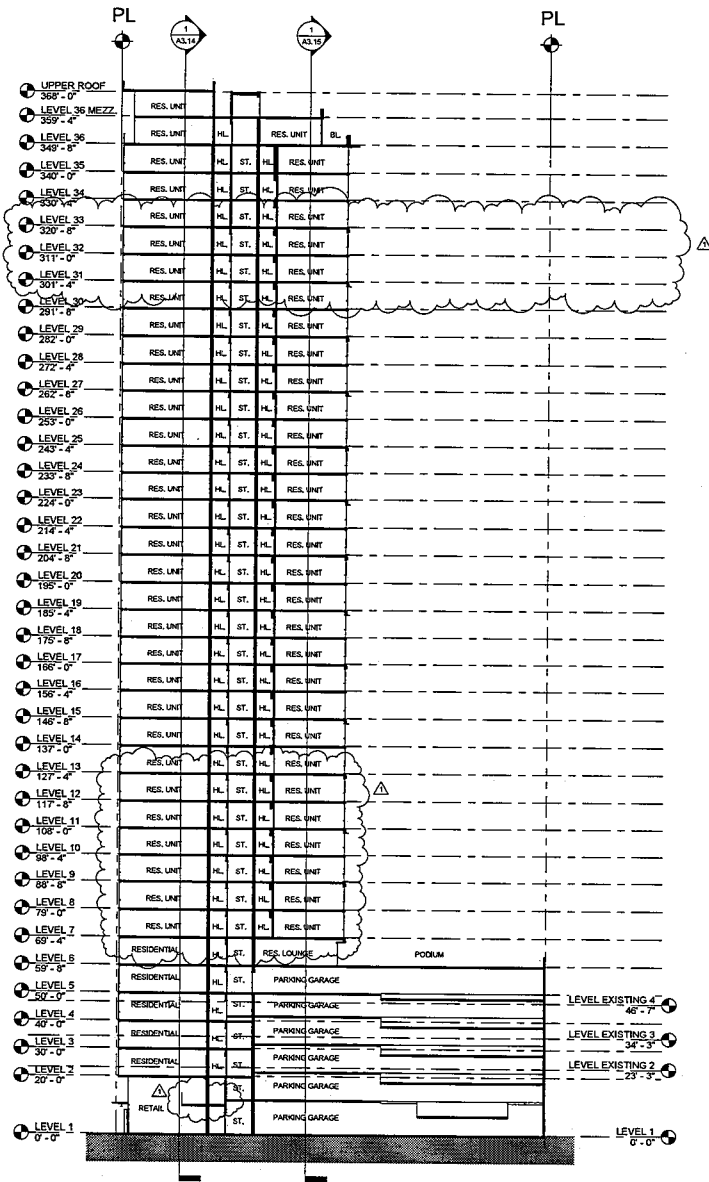
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date: 06.02.15

planning  
commission  
BUILDING  
SECTION

A3.14



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1 BUILDING SECTION LOOKING WEST

1" = 20'-0"

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190 and Broadway Associates, Inc.

1 12/7/2015 v015emont update

REV DATE ISSUE



1900  
broadway

06/02/15  
project number: 12041

scale: as noted  
date: 06/02/15

planning  
commission  
BUILDING  
SECTION

A3.16

**Gray, Neil D.**

---

**From:** Joseph Hornof <hornof@earcom.com>  
**Sent:** Wednesday, February 07, 2018 2:55 PM  
**To:** Gray, Neil D.  
**Subject:** 1900-1944 Broadway Project - Case File Number PLN15179.  
**Attachments:** oak020718.pdf

*PDF Attached: oak020718.pdf*

Attn: Neil Gray, Contract Case Planner  
Oakland City Planning Commission  
ngray@oaklandnet.com

February 7, 2018

Dear Mr. Gray,

Via this correspondence, I would like to address certain issues prior to the public hearing concerning the extension of the 1900-1944 Broadway project entitlements. This is in reference to item 5 on today's agenda: Case File Number PLN15179.

I am a resident of 1770 Broadway. Our five-story building has been a fixture in Oakland for over 100 years. A former mayor of Oakland, John L. Davie, once lived here. Our building is comprised of 4 retail shops on the ground floor and 48 apartments above. We are right across the street from this project.

There has been significant change in our neighborhood since this proposal was approved in August 2015. The residents of our building have been impacted by first-hand by ongoing construction in our neighborhood. The project rising at 17th and Broadway is well within earshot. The removal of parking lots and the advent of ride-sharing has greatly increased vehicular traffic; double-parking on Broadway and 19th Street is rampant. At street level, businesses have closed, resulting in more empty storefronts.

We have yet to witness how current projects in development, when completed, will further tax our local infrastructure. Moreover, the present-day residents and business owners of downtown Oakland have received scant information and little opportunity to participate in this public process. We are significant stakeholders - our quality of life is at stake.

Since this proposal was approved, new plans have been released for a 38 story right next to us, at 1750 Broadway. These two projects need to be addressed in tandem. For instance, both proposals require vehicular and loading access on 19th Street, directly opposite each other, on both sides of the street. There seems to be little concern how these dual projects will affect us, both during construction and after they are completed. I would respectfully ask the Planning Commission to review if this project remains *Compatible with the Neighborhood*:

*That the location, size, design, and operating characteristics of the proposed development will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to:*

- 1) harmony in scale, bulk, coverage, and density; to harmful effect, if any, upon desirable neighborhood character;*
- 2) the generation of traffic and the capacity of surrounding streets; and*
- 3) any other relevant impact of the development.*

It may no longer be prudent to consider the impact of this project - and all surrounding projects - in isolation. Their cumulative effect must be considered. Moreover, I would like to encourage you to provide an opportunity for the current residents and working people of downtown Oakland to provide their input. We are facing many real-life challenges in our immediate environment.

Sincerely,

Joseph Hornof  
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Oakland, CA 94612  
(510) 763-1488  
hornof@earcom.com

## Gray, Neil D.

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**From:** Steven G <das\_eismeer@yahoo.com>  
**Sent:** Wednesday, February 07, 2018 5:28 PM  
**To:** Gray, Neil D.  
**Subject:** PLN15179 - Questions About Project/Case File

Hi Neil,

I have several questions and comments pertaining to the building project proposed in PLN15179 - (1900-1944 Broadway St). Please note of this email as a requirement to appeal any decision made by the planning commission.

I will address my questions to both the City of Oakland Planning Commission and to the developer/applicant (please forward along my questions as needed).

Has the planning commission considered the following:

1. Are there zoning permit changes required for this project? Does the project fall within the current guidelines for the parcel/plot/division regarding acceptable building height, zoning classification, etc?
2. Has the applicant filed for a waiver to work around the currently established zoning guidelines set? My assumption is that this parcel falls in the UPTOWN COMMERCIAL AREA district zone which was last updated 2010. Is this correct? If so, is the project in accordance with this plan? If this is not the proper district zone, could you share which one it falls in and if the project is in accordance with its guidelines?
3. Has the planning commission considered the number of current construction projects in proximity to the site which are currently in process and the cumulative impact on existing residents/businesses in the vicinity (0.5 - 1 mi) radius? Examples including visual, auditory, and resource impacts. Has the applicant considered the encumbrment/difficulty of site access considering the proximity of 5-7 projects currently in construction (17th and Webster, 17th and Broadway, 19th and 21st street projects that were just approved within the last month)?
4. Related to (3) above, has the planning commission considered cumulative traffic impact, air pollution, noise, walkability, or emergency access and negative impact on existing residents/businesses?
5. Has the commission considered the current level of community impact the project will leave? Has the developer/applicant proposed a community benefit package including but not limited to: low income housing, arts, or community outreach programs?



6. Is the applicant opting in or out of the City of Oakland's low income or BMR mandate for new residential projects? If they are opting out, what is the per unit dollar (\$) amount that the applicant is spending as a waiver for the low income housing requirement?

7. Related to (6) above, does the commission have a perspective on if the dollar \$ amount of waiver will cover community outreach to supplement the loss or opportunity cost of providing affordable housing to at-risk groups?

8. Has the commission considered the cumulative impact of the project (in combination with the 10+ other vicinity projects under construction) on public works utilities including: water, sewer, electric, gas, roads, and sidewalk access?

9. Regarding (8) above, has the commission sought a report on the impact of current project in potential straining of public utilities mentioned in (8) such that service disruptions and general livability issues could arise?

Thank you for answering these questions,  
I hope to hear your response shortly.

Sent from Yahoo Mail for iPhone