

August 10, 2016 Design Review Committee

ATTACHMENT A: PLANS



MacArthur Transit Village: Parcel B

Final Development Plan

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

07 — 06 — 2016

Project Directory

OWNER

Boston Properties
Four Embarcadero Center
Lobby Level, Suite One
San Francisco, CA 94111
415.772.0550

ARCHITECT

Solomon Cordwell Buenz
255 California Street
San Francisco, CA 94111
415.216.2450

STRUCTURAL ENGINEER

Magnusson Klemencic Associates
1301 5th Avenue, Suite 3200
Seattle, WA 98101
206.292.1200

MEP ENGINEER

Meyers+ Engineers
150 Spear Street, Suite 700
San Francisco, CA 94105
415.432.8103

CIVIL ENGINEER

Sandis
636 9th Street
Oakland, CA 94607
510.873.8866

LANDSCAPE ARCHITECT

Surface Design
Pier 33 North, Suite 200
San Francisco, CA 94111
415.914.7447

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CIVIL

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Project Renderings - View from 37th & Telegraph

Final Development Package

MacArthur Transit Village: Parcel B

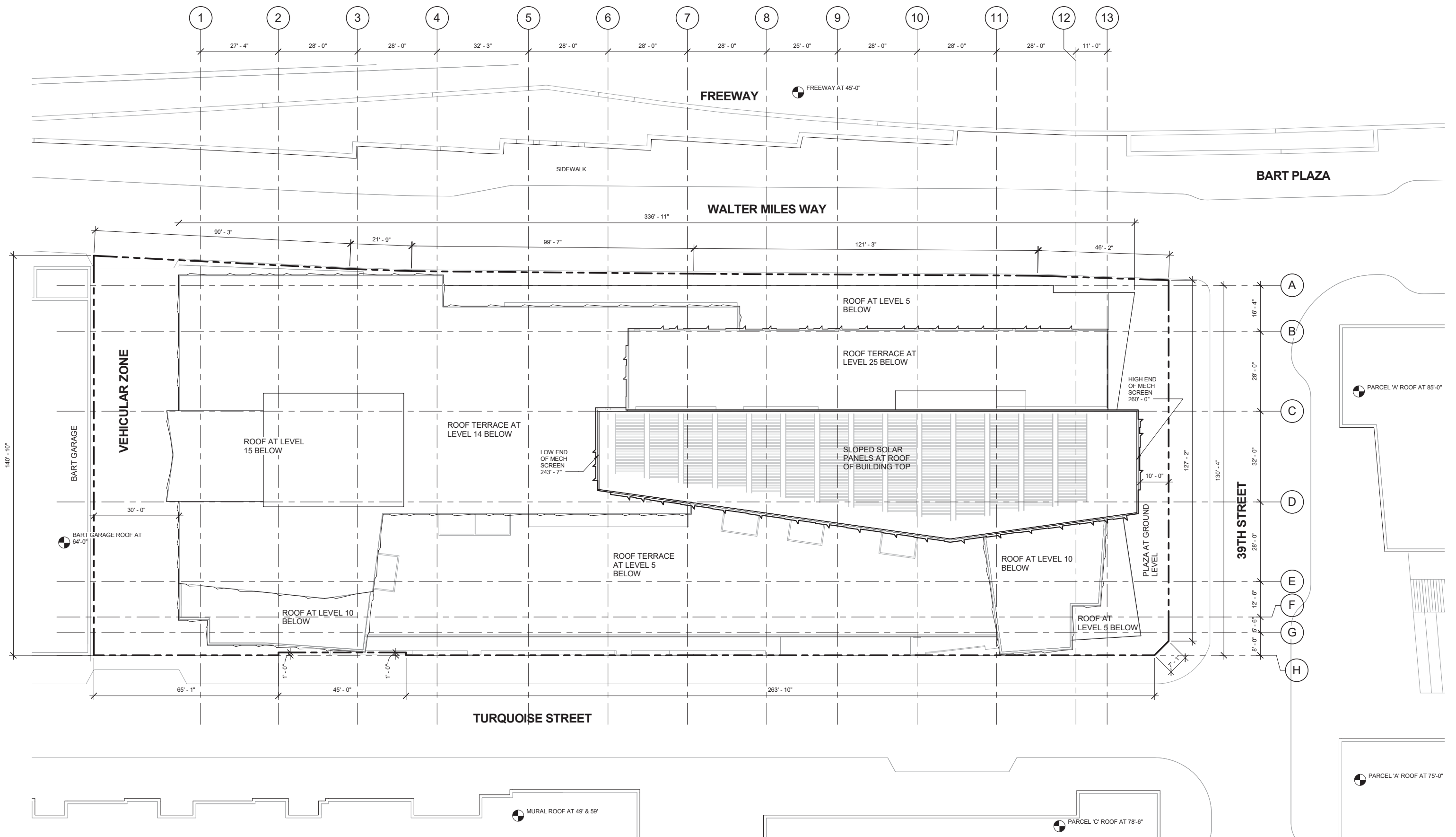
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0 16 32

MacArthur Transit Village - PARCEL B

ZONING SUMMARY

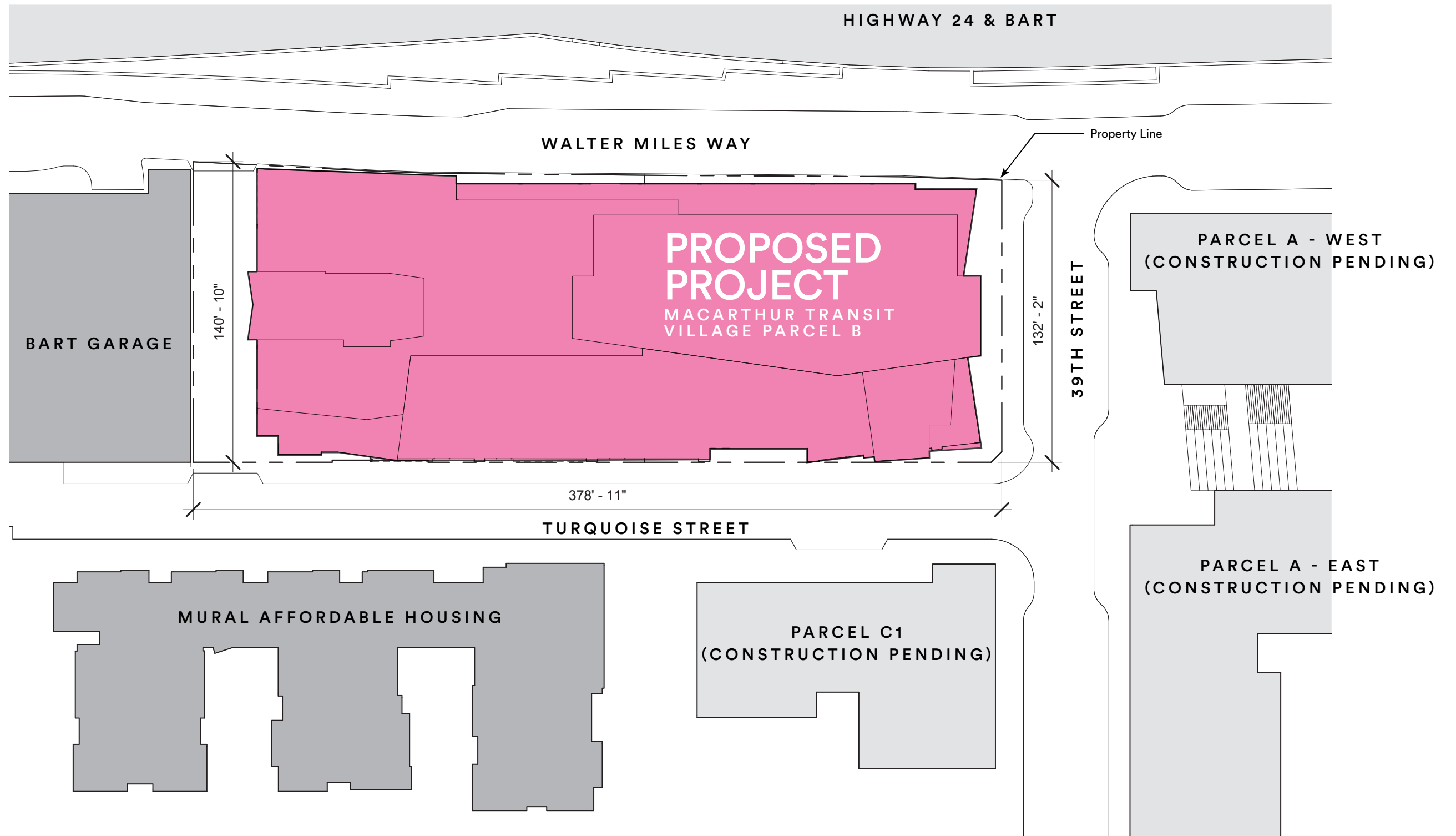
GENERAL ZONING INFORMATION	REFERENCE	NOTES
ASSESSORS BLOCK	Survey	TRACT 8047, Block 321 Maps pages 42-46 (new Tentative Parcel Map being submitted separately)
ZONING USE DISTRICT	OAK-GIS	S-15
PERMITTED AND/OR CONDITIONAL USES	17.97.040	Residential, Community Assembly, General Retail, Full + Limited Service Restaurant, Consumer Service, Parking, permitted in S-15 zones
HEIGHT & BULK DISTRICT	17.97	90’ for S-15 zone (Height limit modification to allow 260’ tall building pursuant to P.U.D. approval. Code Section 17.142.100.G)
GENERAL PLAN / ESTUARY POLICY PLAN	OAK-GIS	Neighborhood Center Mixed use
HISTORIC OR LANDMARK STATUS	OAK-GIS	None
LIQUEFACTION HAZARD ZONE	OAK-GIS	Severity 3
CONDO CONVERSTION IMPACT AREA	OAK-GIS	None
HEIGHT AND BULK CONTROLS		
SITE AREA	Survey	51,218 sqft
FLOOR AREA RATIO (FAR)	17.97.130	Residential FAR unlimited; Non-Residential FAR 4.5:1 maximum
HEIGHT LIMIT	17.97	90’ for S-15 zone (Height limit modification to allow 260’ tall building pursuant to P.U.D. approval. Code Section 17.142.100.G)
REQUIRED SETBACKS	17.97.01	10' setback along 39th street frontage at height of buildings on Parcel A (currently vacant with 75' building expected)
REAR YARDS / COURTS		None required - project not adjacent to residential lot
ADJACENCIES		BART parking garage adjacent to southern boundary
UNIT SEPARATION / EXPOSURE REQUIREMENTS	17.108.080	8' minimum at living room windows +2' for each floor above - maximum 10% of lot width
DETAILED CONTROLS & REQUIREMENTS		
RESIDENTIAL DENSITY LIMITS	17.97.130	225 sqft of lot area per unit for overall MasterPlan- (125 sqft of lot area proposed at Parcel B; overall MasterPlan density within limits)
OPEN SPACE REQUIREMENTS	17.97.130	75 sqft per unit per unit per City Council Ordinance Nos 12883 C.M.S. and 814222 C.M.S.
SCREENING & SETBACK OF PARKING & LOADING	17.116.290	Unscreened parking not permitted within 20' of pedestrian walkways and plazas
OFF-STREET PARKING - RESIDENTIAL	17.116.060	0.5 parking space per dwelling unit required per S-15 zone with up to 1 parking space allowed per dwelling unit allowed per 2008 CU
OFF-STREET PARKING - RETAIL	17.116.080	None required for S-15 zone
OFF-STREET PARKING - COMMERCIAL	17.116.080	None required for S-15 zone
OFF-STREET PARKING DIMENSIONS	17.116.200	50-50 compact/standard, or 75% intermediate + 12.5% compact
OFF-STREET DRIVE AISLE DIMENSIONS	17.116.210	11' parallel parking one-way; 21' 90 degrees two-way
OFF-STREET LOADING - RESIDENTIAL	17.116.120	3 berths required; (2 berths required <300k sqft, plus 1 berth for each additional 300k)
OFF-STREET LOADING - RETAIL	17.116.150	1 berth required; (0-10,000 sf: 0 berths required; 10,001 - 25,000 sf: 1 berth required)
LOADING BERTH DIMENSIONS	17.116.220	12'x33', 14' high
BICYCLE REQUIREMENTS - RESIDENTIAL	17.117.090	LT: 0.25 spaces per dwelling unit (101); ST: 0.05 per dwelling units (20)
BICYCLE REQUIREMENTS - RETAIL	17.117.110	LT: 1 per 12k (2 min); ST: 1 per 2k (2 min)



LOCATION OF PROJECT SITE WITHIN CITY OF OAKLAND



PROJECT SITE & SURROUNDING NEIGHBORHOOD



0 25 50

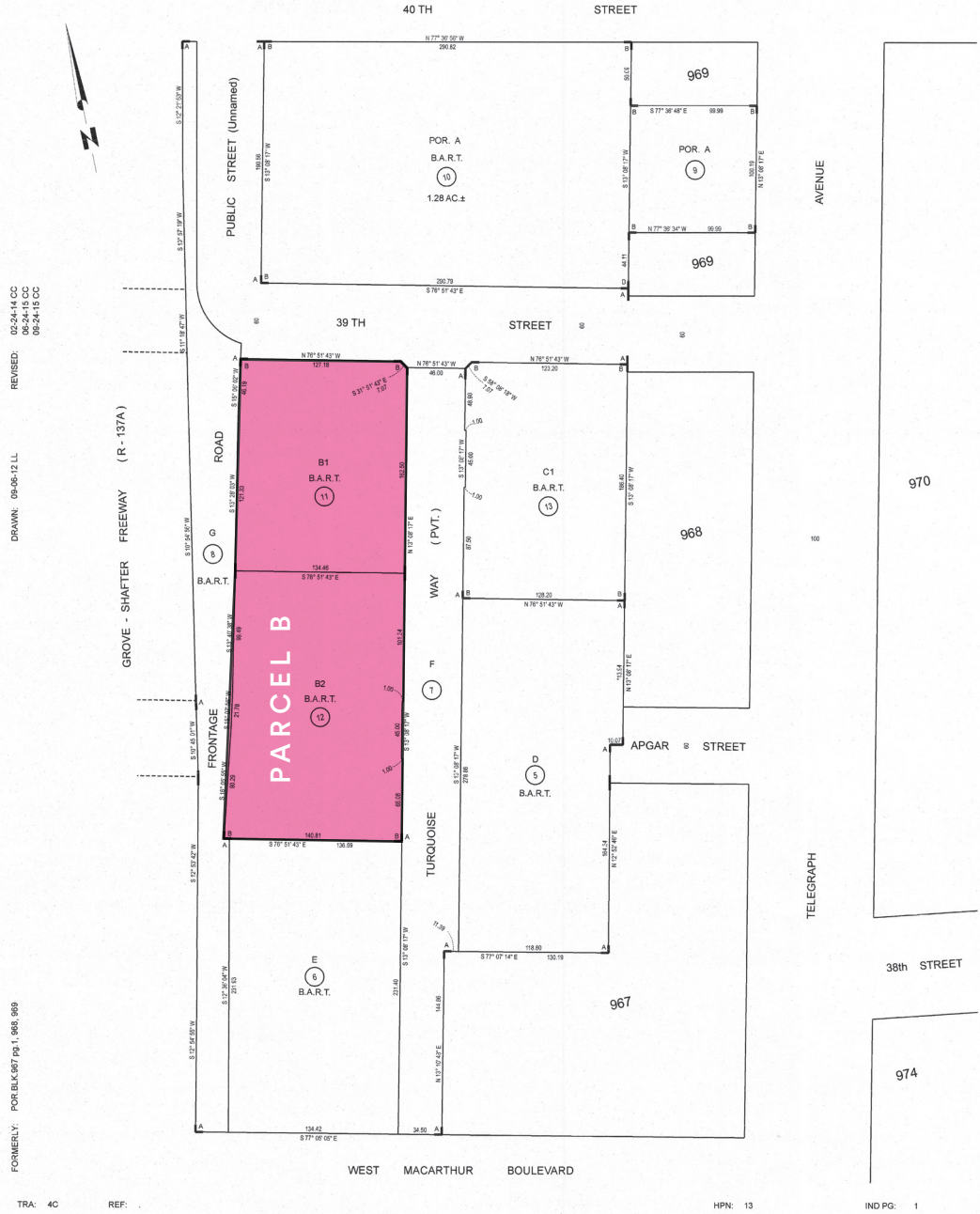
ASSESSOR'S MAP 12

1025

SCALE: 1" = 60'

Code Area Nos. 17-042

(A) TR. 8047 32142-46
(B) TR. 8232 33300-32





LEED 2009 for New Construction and Major Renovations

Project Checklist

MacArthur Transit Village Parcel B - ANTICIPATED

6.30.2016

20 4 2 Sustainable Sites Possible Points: 26

Y	?	N			
Y			Prereq 1	Construction Activity Pollution Prevention	
1			Credit 1	Site Selection	1
5			Credit 2	Development Density and Community Connectivity	5
		1	Credit 3	Brownfield Redevelopment	1
6			Credit 4.1	Alternative Transportation—Public Transportation Access	6
1			Credit 4.2	Alternative Transportation—Bicycle Storage and Changing Rooms	1
3			Credit 4.3	Alternative Transportation—Low-Emitting and Fuel-Efficient Vehicles	3
	2		Credit 4.4	Alternative Transportation—Parking Capacity	2
	1		Credit 5.1	Site Development—Protect or Restore Habitat	1
	1		Credit 5.2	Site Development—Maximize Open Space	1
1			Credit 6.1	Stormwater Design—Quantity Control	1
1			Credit 6.2	Stormwater Design—Quality Control	1
1			Credit 7.1	Heat Island Effect—Non-roof	1
1			Credit 7.2	Heat Island Effect—Roof	1
		1	Credit 8	Light Pollution Reduction	1

10 Water Efficiency Possible Points: 10

Y	?	N			
Y			Prereq 1	Water Use Reduction—20% Reduction	
4			Credit 1	Water Efficient Landscaping	2 to 4
2			Credit 2	Innovative Wastewater Technologies	2
4			Credit 3	Water Use Reduction	2 to 4

14 8 13 Energy and Atmosphere Possible Points: 35

Y	?	N			
Y			Prereq 1	Fundamental Commissioning of Building Energy Systems	
Y			Prereq 2	Minimum Energy Performance	
Y			Prereq 3	Fundamental Refrigerant Management	
7	3	9	Credit 1	Optimize Energy Performance	1 to 19
3		4	Credit 2	On-Site Renewable Energy	1 to 7
2			Credit 3	Enhanced Commissioning	2
	2		Credit 4	Enhanced Refrigerant Management	2
	3		Credit 5	Measurement and Verification	3
2			Credit 6	Green Power	2

4 4 6 Materials and Resources Possible Points: 14

Y	?	N			
Y			Prereq 1	Storage and Collection of Recyclables	
		3	Credit 1.1	Building Reuse—Maintain Existing Walls, Floors, and Roof	1 to 3
		1	Credit 1.2	Building Reuse—Maintain 50% of Interior Non-Structural Elements	1
2			Credit 2	Construction Waste Management	1 to 2
		2	Credit 3	Materials Reuse	1 to 2

Materials and Resources, Continued

Y	?	N			
1	1		Credit 4	Recycled Content	1 to 2
1	1		Credit 5	Regional Materials	1 to 2
	1		Credit 6	Rapidly Renewable Materials	1
	1		Credit 7	Certified Wood	1

8 1 6 Indoor Environmental Quality Possible Points: 15

Y	?	N			
Y			Prereq 1	Minimum Indoor Air Quality Performance	
Y			Prereq 2	Environmental Tobacco Smoke (ETS) Control	
	1		Credit 1	Outdoor Air Delivery Monitoring	1
		1	Credit 2	Increased Ventilation	1
1			Credit 3.1	Construction IAQ Management Plan—During Construction	1
		1	Credit 3.2	Construction IAQ Management Plan—Before Occupancy	1
1			Credit 4.1	Low-Emitting Materials—Adhesives and Sealants	1
1			Credit 4.2	Low-Emitting Materials—Paints and Coatings	1
1			Credit 4.3	Low-Emitting Materials—Flooring Systems	1
1			Credit 4.4	Low-Emitting Materials—Composite Wood and Agrifiber Products	1
		1	Credit 5	Indoor Chemical and Pollutant Source Control	1
		1	Credit 6.1	Controllability of Systems—Lighting	1
		1	Credit 6.2	Controllability of Systems—Thermal Comfort	1
1			Credit 7.1	Thermal Comfort—Design	1
		1	Credit 7.2	Thermal Comfort—Verification	1
1			Credit 8.1	Daylight and Views—Daylight	1
1			Credit 8.2	Daylight and Views—Views	1

1 5 Innovation and Design Process Possible Points: 6

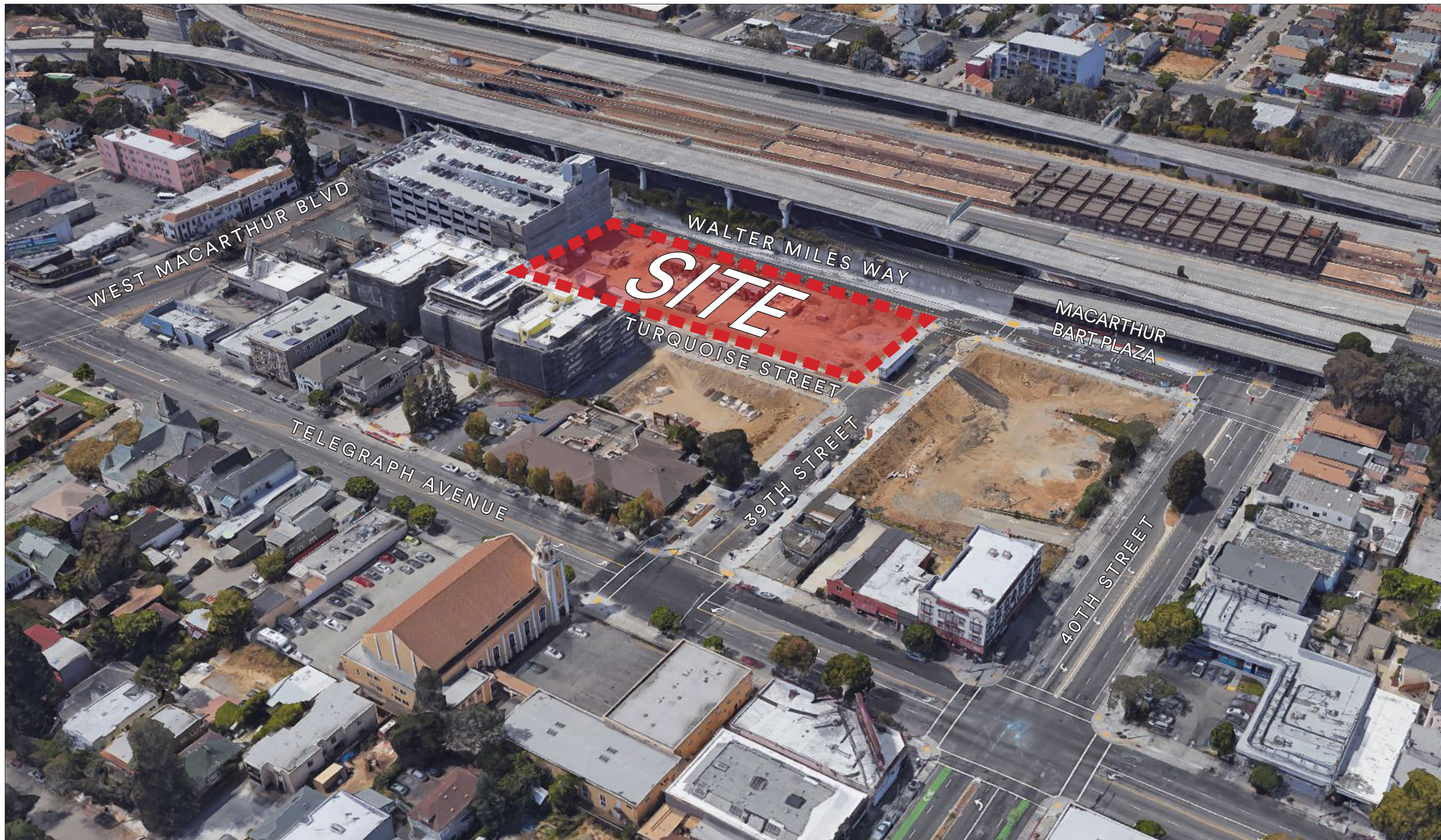
Y	?	N			
	1		Credit 1.1	Innovation in Design: Specific Title	1
	1		Credit 1.2	Innovation in Design: Specific Title	1
	1		Credit 1.3	Innovation in Design: Specific Title	1
	1		Credit 1.4	Innovation in Design: Specific Title	1
	1		Credit 1.5	Innovation in Design: Specific Title	1
1			Credit 2	LEED Accredited Professional	1

3 1 Regional Priority Credits Possible Points: 4

Y	?	N			
1			Credit 1.1	Regional Priority: Eq c8.1	1
1			Credit 1.2	Regional Priority: EA c2	1
1			Credit 1.3	Regional Priority: WE c2	1
	1		Credit 1.4	Regional Priority: WE c3	1

60 23 27 Total Possible Points: 110

Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 to 110



Aerial View

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 Boston Properties



1: VIEW OF PARCEL B FROM MACARTHUR STATION



2: VIEW OF PARCEL B FROM WALTER MILES WAY



3: VIEW FROM PARCEL B LOOKING NORTH



4: VIEW FROM PARCEL B LOOKING SOUTH



1: VIEW OF PARCEL B FROM SE CORNER (TURQUOISE ST.)



2: VIEW OF PARCEL B FROM NE CORNER (TURQUOISE ST. & 39TH ST.)



3: VIEW OF MACARTHUR STATION PLAZA



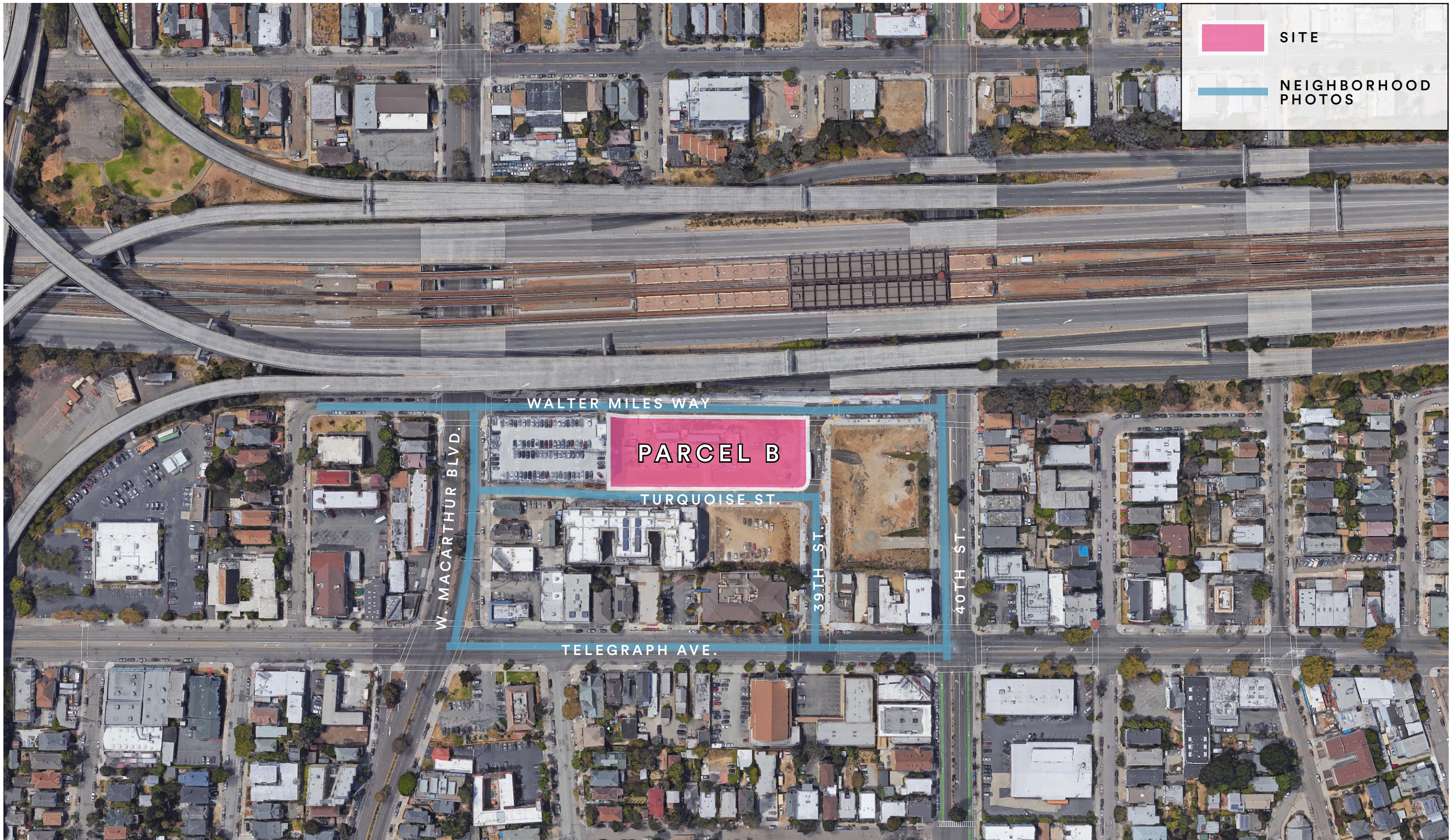
4: VIEW OF MURAL AFFORDABLE HOUSING



5: VIEW OF SHUTTLE STOPS



6: VIEW OF SITE FROM BART GARAGE



Neighboring Property Views - Key Map

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Walter Miles Way (Facing West)



W. MACARTHUR BLVD.



SHUTTLE STOPS



40TH ST.

Walter Miles Way (Facing East)



40TH ST.

PARCEL A

39TH ST.



Project Site

PARCEL B



Project Site

PARCEL B



BART GARAGE

W. MACARTHUR BLVD.



W. MACARTHUR BLVD.

545 (W. MACARTHUR)

554 (37TH)

40th St. (Facing North)



554 (40TH) 548 542 530 526 522 518 500 (40TH) TELEGRAPH AVE.

40th St. (Facing South)



3916, 3928, TELEGRAPH AVE. 505, 509, 515, 517 (40TH) 3932, 3936 (TELEGRAPH) PARCEL A WALTER MILES WAY

Telegraph Ave. (Facing West)



W. MACARTHUR BLVD. 3801, 3807, 3815, 3817 (TELEGRAPH) 3833 3841 3845 3847 APGAR ST. 3875 (TELEGRAPH)



3875 (TELEGRAPH) 39TH ST. 3901 (TELEGRAPH) 3911, 3915, 3917, 3919, 3921 3927, 3929, 3931, 3933 (TELEGRAPH) 40TH ST.

Telegraph Ave. (Facing East)



40TH ST. 3916, 3928, 3932, 3936 (TELEGRAPH) 3900 3844



3844 3838 3824, 3822, 3820 3816 3808, 3810 496 (38TH.) 38TH ST. 3770 (TELEGRAPH)



38TH ST. 3770 (TELEGRAPH) W. MACARTHUR BLVD.

W. MacArthur Blvd. (Facing North)



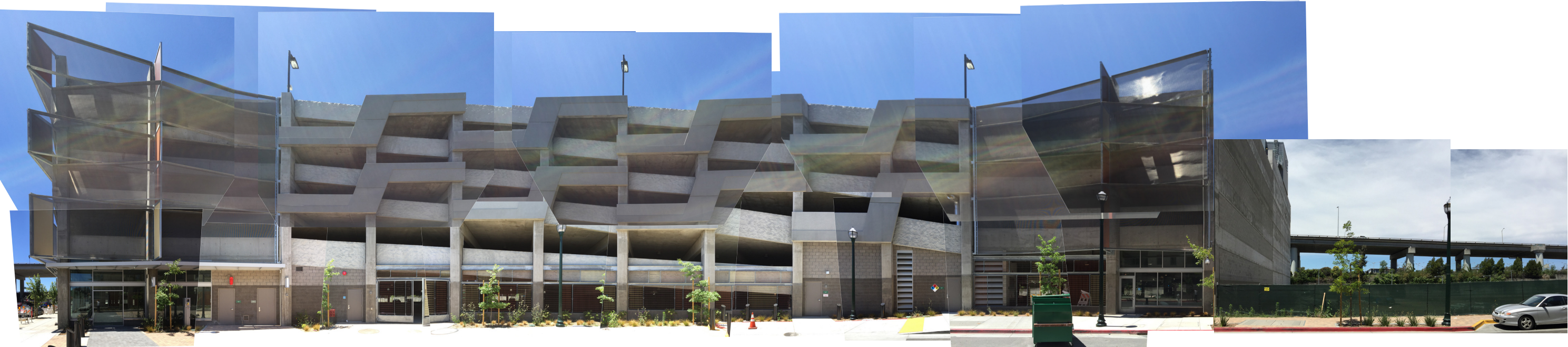
WALTER MILES WAY BART GARAGE TURQUOISE ST. 518 514 510 (W. MACARTHUR) 3801, 3807, 3815, 3817 (TELEGRAPH) TELEGRAPH AVE

W. MacArthur Blvd. (Facing South)



TELEGRAPH AVE. 501 (W. MACARTHUR) 521 537 539 545 (W. MACARTHUR) WALTER MILES WAY

Turquoise St. (Facing West)



BART GARAGE

Project Site



PARCEL B

Turquoise St. (Facing East)



PARCEL C1



MURAL AFFORDABLE HOUSING PROJECT - 3838 (TURQUOISE)



518 (W. MACARTHUR)

W. MACARTHUR BLVD.

39th St. (Facing North)



PARCEL C1

3901 TELEGRAPH

TELEGRAPH AVE.

39th St. (Facing South)

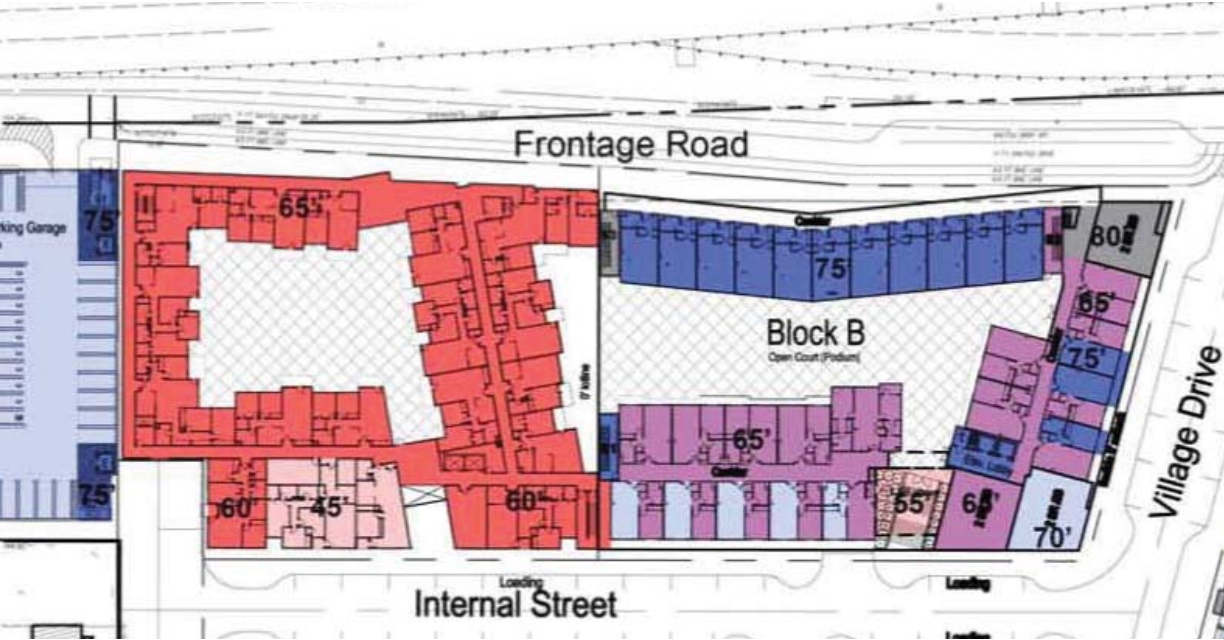


39TH ST.

3875 TELEGRAPH

PARCEL C1

TURQUOISE ST.



(NOTE: Plan shown is from June 2008 PDP Submittal by McLarand Vasquez Emsiek & Partners, Inc and is For Information Only)

Approved PDP Site Plan

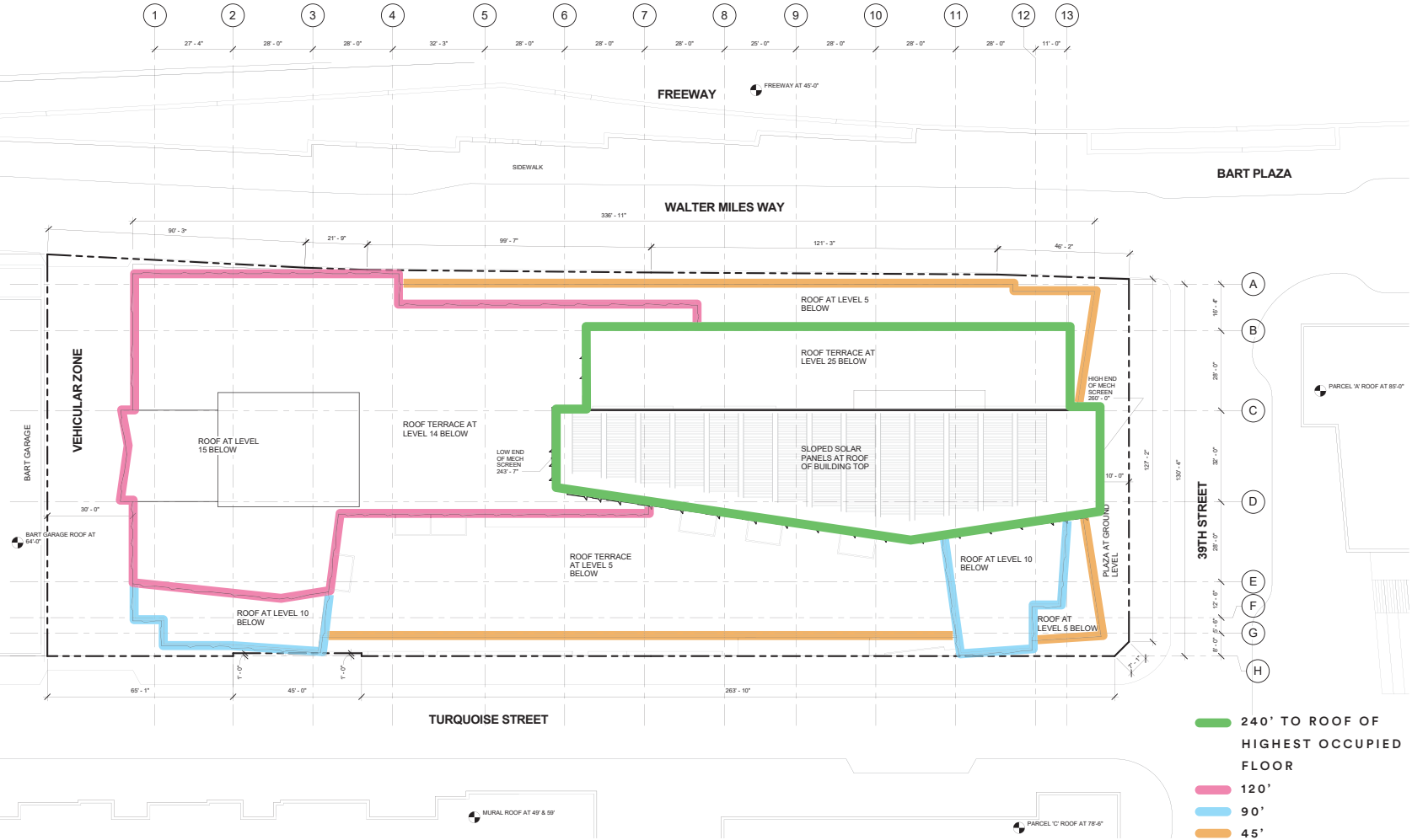
Previous height limit: 85'

Previous market rate unit count: 185

Previous onsite BMR unit count: 12

Previous retail area: 3,000 square feet

Previous parking quantity: 197



Proposed Revised Site Plan

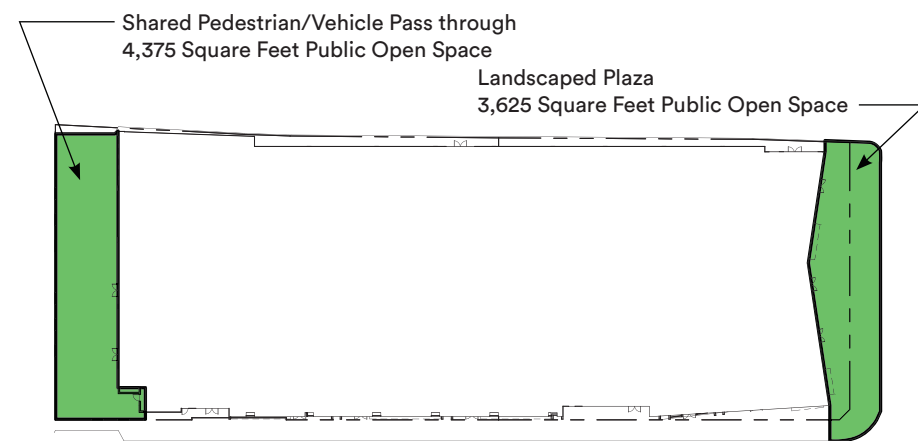
Proposed height: 260'

Proposed market rate unit count: 357

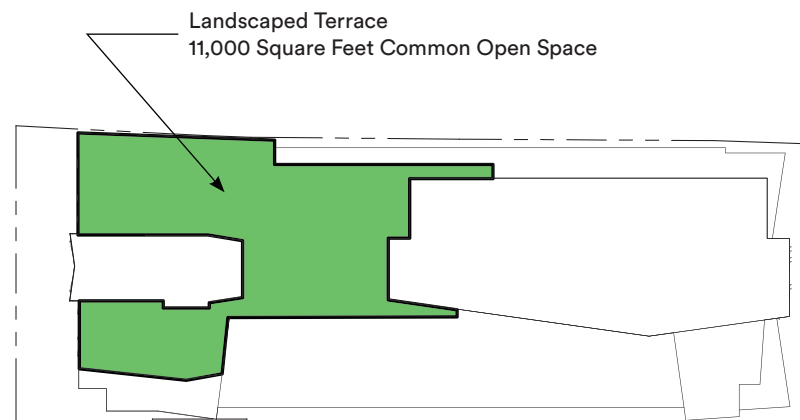
Proposed BMR unit count: 45

Proposed retail area: 10,000 square feet

Proposed parking quantity: 260



LEVEL 1 OPEN SPACE - PLAZA & DRIVEWAY



LEVEL 14 OPEN SPACE - AMENITY

Level 25 - Common Use Roof Terrace: 4,500 Square Feet

Level 14 - Common Use Roof Terrace: 11,000 Square Feet

Level 5 - Common Use Terrace: 8,500 Square Feet

Level 5 - Private Terraces: 500 Square Feet

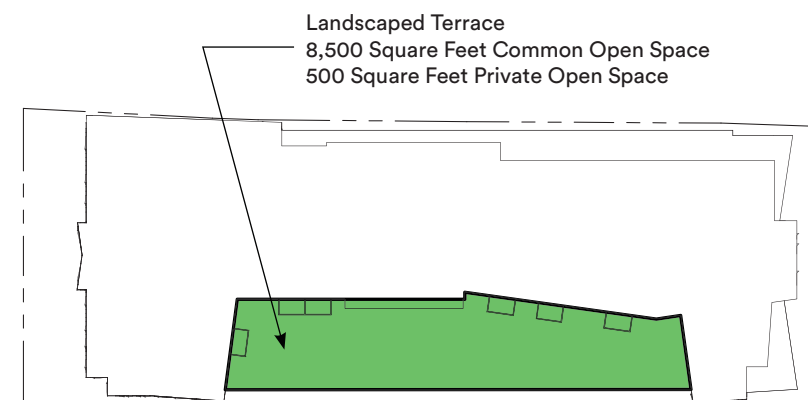
Level 1 - Public Open Space: 8,000 Square Feet

Total Open Space: 32,500 Square Feet

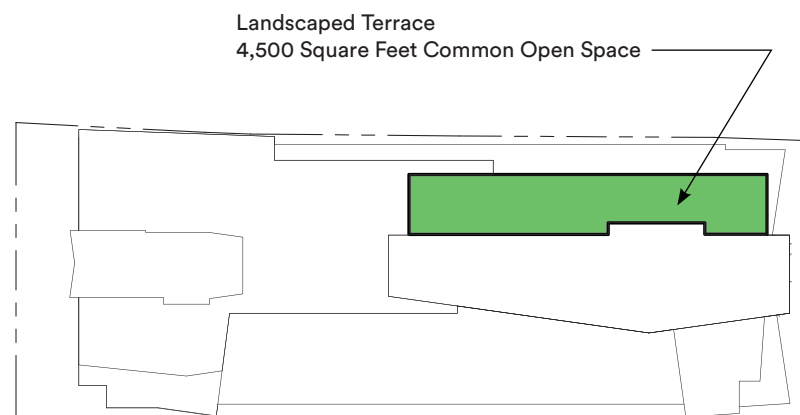
Total Open Space per Dwelling Unit: 80 Square Feet provided

Units w/ Private Open Space: 6

Units Relying on Common Space: 396

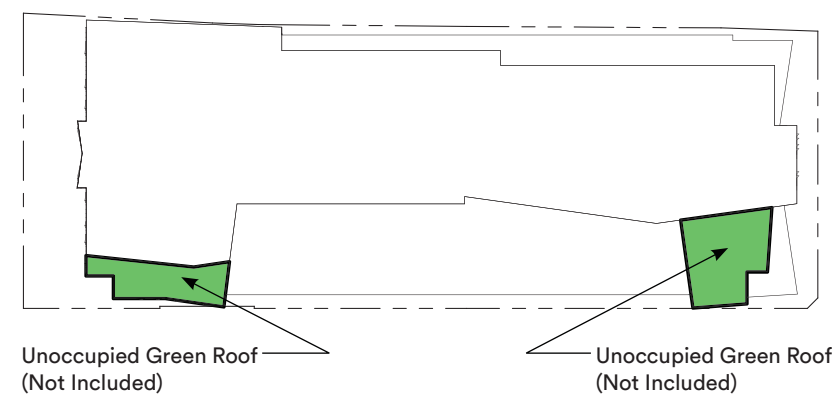


LEVEL 5 OPEN SPACE - AMENITY



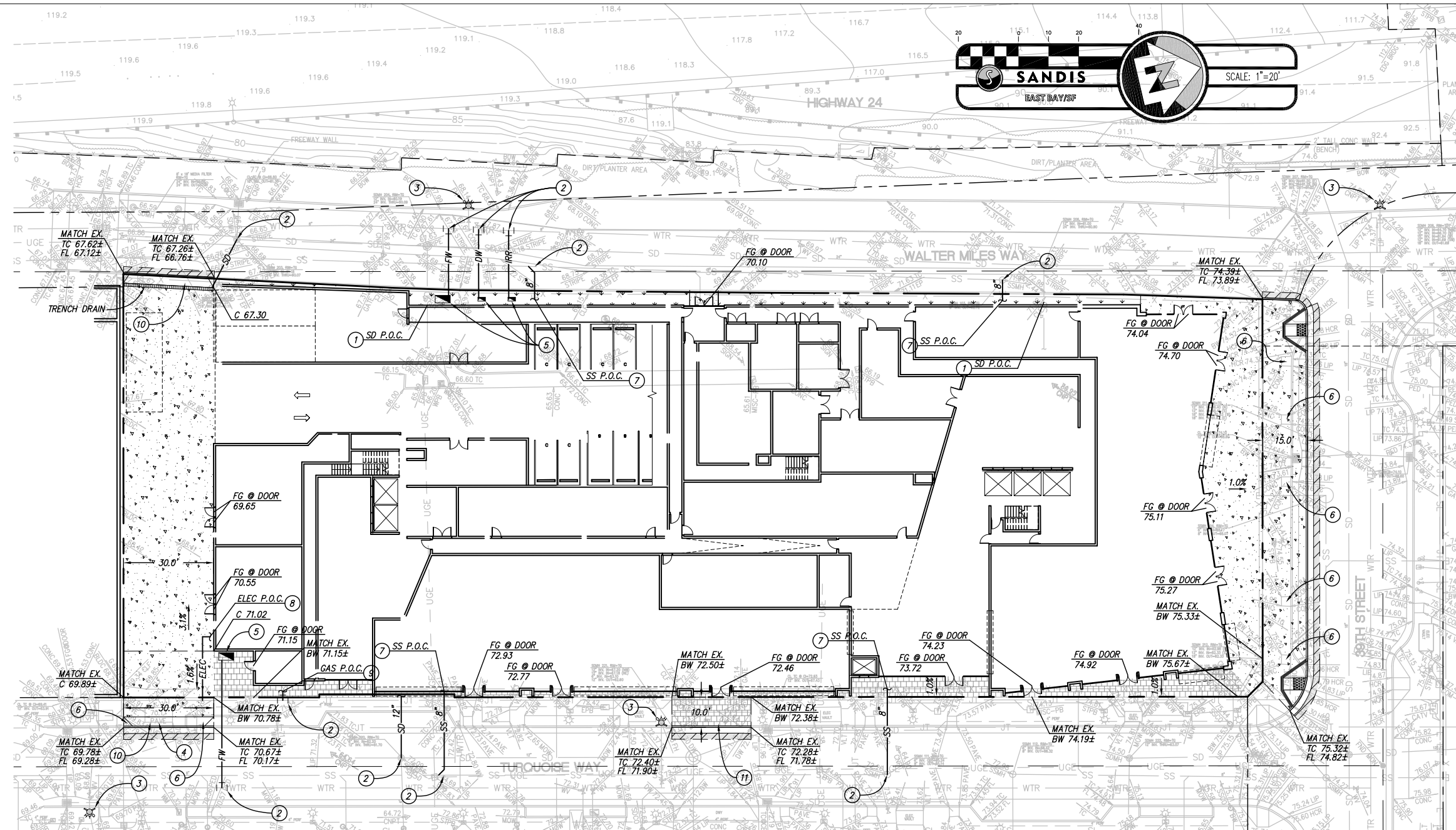
LEVEL 25 OPEN SPACE - AMENITY

	Required Per S-15 Zoning	Proposed
Units w/ Private Open Space	20 SF/Unit	500 SF / 6 Units = 83 SF/Unit
Units Relying on Common Space	100 SF/Unit	80 SF/Unit



LEVEL 10 OPEN SPACE - GREEN ROOF

NOTE: Requirements for Open Space per current S-15 zoning varies by height limit. Open space requirements for current height limit of 90 feet is 100 square feet of Group Usable Open Space per regular unit, or 20 square feet when Private Open Space substituted. Open space requirements for height limits above 90 feet are reduced to 75 square feet of Group Usable Open Space per current S-15 zoning. Project is 260 feet in height and proposes 80 square feet of Group Usable Open Space per regular unit.



LEGEND

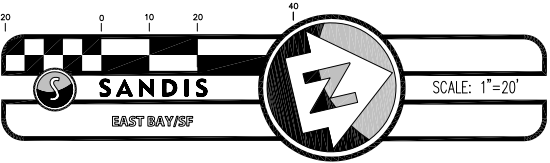
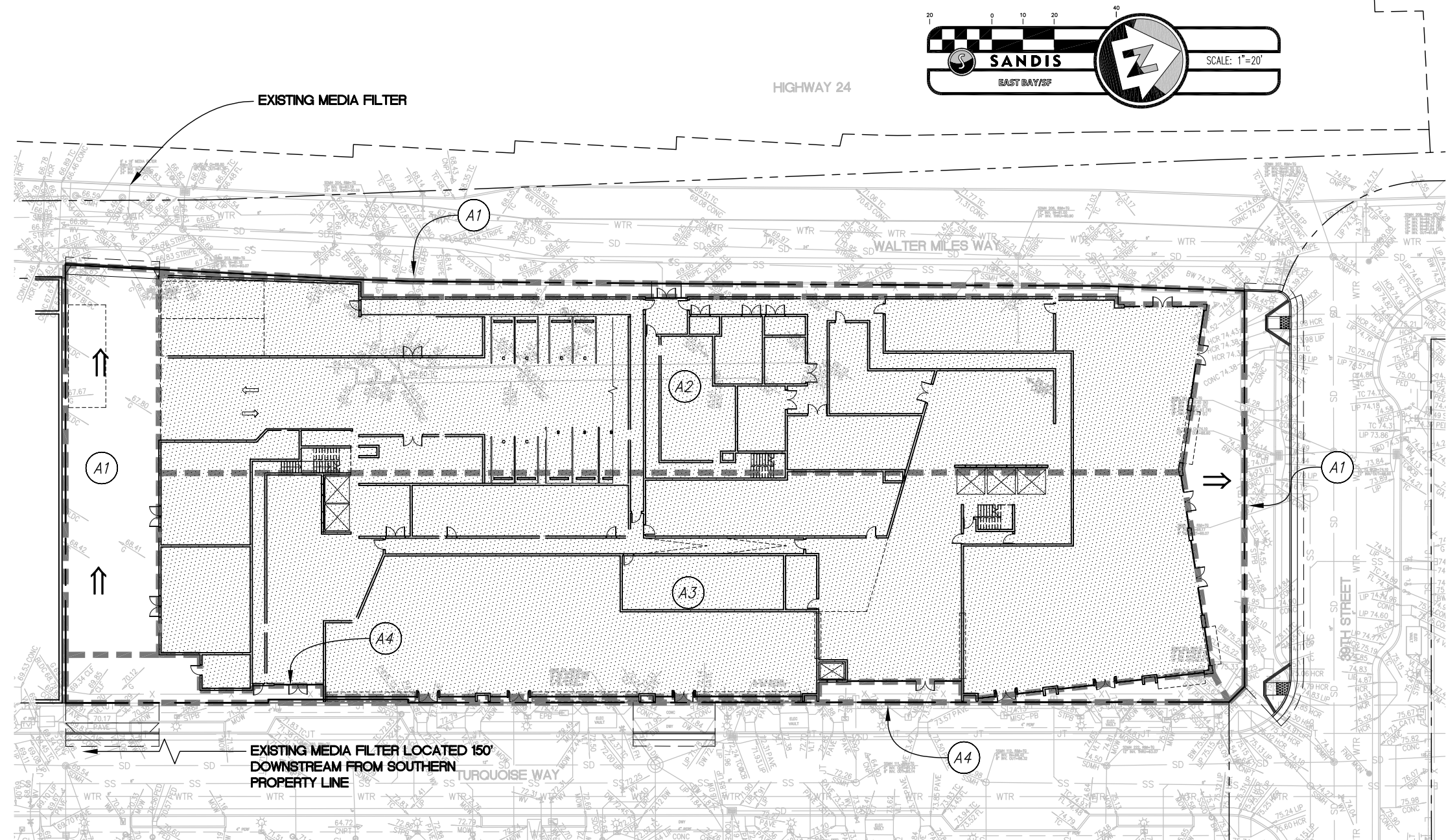
	PROPERTY LINE		CONCRETE SIDEWALK (PER CITY STANDARD DETAIL)
	SAWCUT LINE		PLANTING (S.L.D.)
	VEHICULAR CONCRETE		PERMEABLE PAVERS (MATCH EXISTING IN-KIND PAVERS)
	AC DEEPLIFT		

GENERAL NOTES

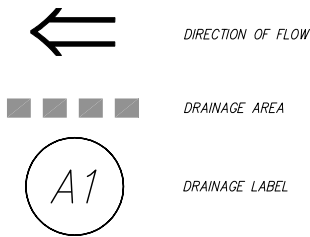
- CONFORM TO EX. SIDEWALK / CURB ON WALTER MILES WAY AND TURQUOISE WAY.
- EX. UTILITY STRUCTURES, VAULTS, VALVES, ETC TO REMAIN, UNLESS OTHERWISE NOTED.
- SEE LANDSCAPE DRAWINGS FOR PROPOSED TREE LAYOUT AND PLANTING PLANS.

SHEET NOTES

- CONNECT TO EX. UTILITY STUB. SEE PLUMBING DRAWINGS FOR CONTINUATION.
- CONNECT TO EXISTING MAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING UCD VAULT TO BE RELOCATED OR REMOVED. SEE ELECTRICAL DRAWINGS FOR DETAILS.
- WATER SERVICE (FIRE, DOMESTIC, IRRIGATION). SEE PLUMBING DRAWINGS.
- EXISTING TREE TO BE REMOVED.
- REPLACE EX. 6" SS LATERAL WITH 8" LATERAL. SEE PLUMBING DRAWINGS FOR CONTINUATION.
- CONNECT TO EX. JOINT TRENCH. SEE ELECTRICAL DRAWINGS FOR CONTINUATION.
- GAS SERVICE. SEE PLUMBING DRAWINGS FOR CONTINUATION.
- 30' DRIVEWAY APPROACH PER CITY OF OAKLAND STANDARD DETAIL.
- EX. DRIVEWAY APPROACH TO BE REMOVED. REPAIR WITH IN-KIND PAVERS.



LEGEND



SPECIAL PROJECT NOTE

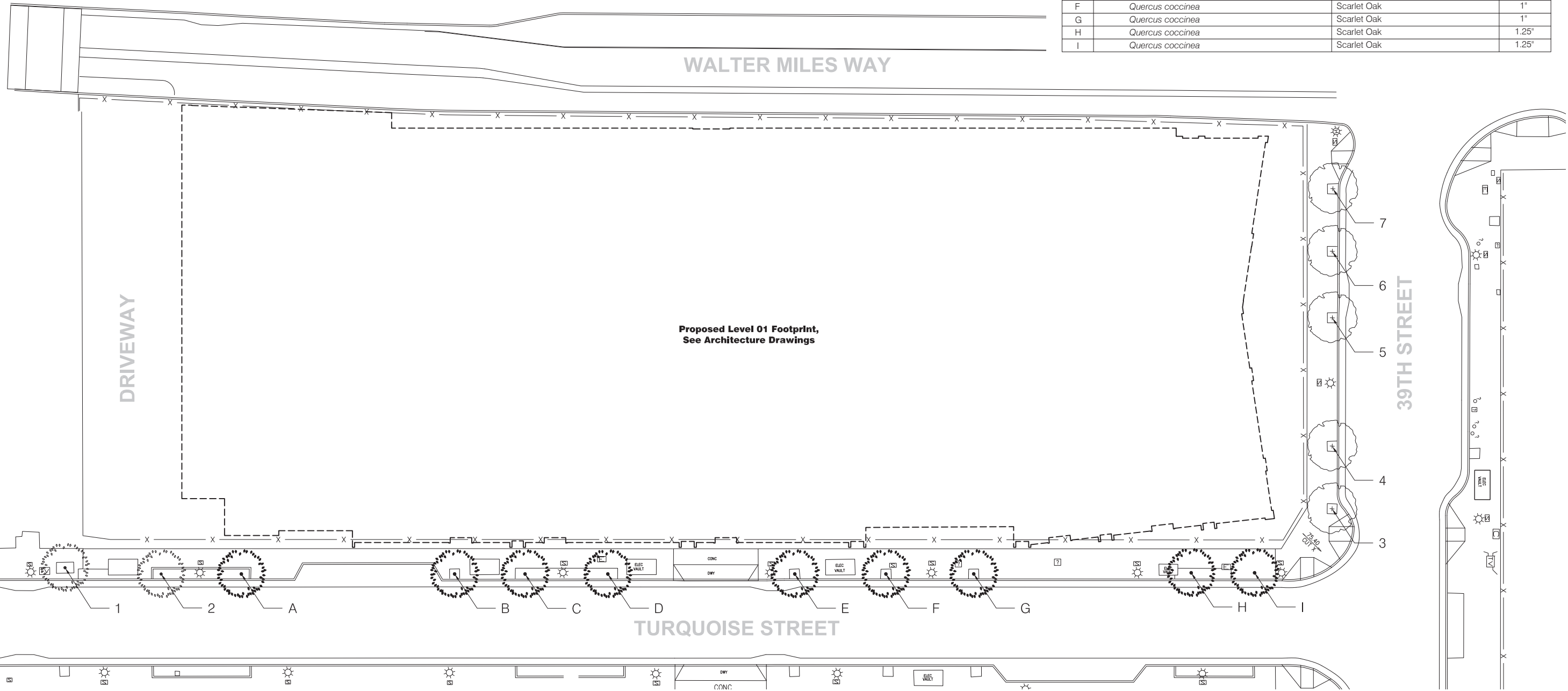
THIS PROJECT QUALIFIES AS A CATEGORY "B" SPECIAL PROJECT. BASED ON THE ALAMEDA COUNTY SPECIAL PROJECTS WORKSHEET, THIS PROJECT COULD BE ALLOWED TO USE NON-LID TREATMENT METHODS FOR UP TO 100% OF THE PROJECT'S REQUIRED STORMWATER TREATMENT.

TOTAL PROJECT AREA: 51,218 S.F.
AREA ALLOWED TO BE TREATED BY NON-LID METHODS: 51,218 SF
AREA PROPOSED TO BE TREATED BY NON-LID METHODS: 51,218 SF
TRANSIT ORIENTED DEVELOPMENT: 100%

RUNOFF FROM THIS PROJECT WILL BE TREATED BY EXISTING MEDIA FILTERS IN BOTH TURQUOISE WAY AND WALTER MILES WAY. THESE MEDIA FILTERS WERE DESIGNED TO ACCOMMODATE THE DRAINAGE AREAS SHOWN.

AS THE PROJECT DESIGN IS FURTHER REFINED, THIS PROJECT WILL SEEK TO INCORPORATE THE USE OF LID TREATMENT METHODS WHERE FEASIBLE.

STORMWATER MITIGATION MEASURES				
AREA ID	ROOF AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TOTAL (SF)
A1	0	5,862	1,025	6,887
A2	19,143	0	0	19,143
A3	23,286	0	0	23,286
A4	0	1,902	0	1,902
TOTALS	42,429	7,764	1,025	51,218



Existing Tree Survey			
Key	Scientific Name	Common Name	DBH
Trees Proposed for Removal			
1	Quercus coccinea	Scarlet Oak	1"
2	Quercus coccinea	Scarlet Oak	1.25"
3	Platanus x acerifolia	London Plane Tree	2"
4	Platanus x acerifolia	London Plane Tree	2"
5	Platanus x acerifolia	London Plane Tree	2"
6	Platanus x acerifolia	London Plane Tree	2"
7	Platanus x acerifolia	London Plane Tree	2"
Trees Located Within 10 Feet of Construction Activity			
A	Quercus coccinea	Scarlet Oak	1.25"
B	Quercus coccinea	Scarlet Oak	1"
C	Quercus coccinea	Scarlet Oak	1"
D	Quercus coccinea	Scarlet Oak	1.25"
E	Quercus coccinea	Scarlet Oak	1"
F	Quercus coccinea	Scarlet Oak	1"
G	Quercus coccinea	Scarlet Oak	1"
H	Quercus coccinea	Scarlet Oak	1.25"
I	Quercus coccinea	Scarlet Oak	1.25"

General Notes

- 1. The Contractor shall make a full review of all existing conditions of the site and shall report discrepancies to the Landscape Architect and Owner before bidding. The Contractor shall assume responsibility for actual conditions.
- 2. The Contractor shall familiarize himself/herself with all utilities above grade, at grade, and underground, including utility pipes and structures. Prior to the start of construction, the Contractor shall verify the locations of all utilities with the respective Utility Companies. The Contractor shall take sole responsibility for the cost incurred due to damage and replacement of all utilities damaged on the site.
- 3. The Contractor shall familiarize himself/herself with all architecture within project limits prior to work.
- 4. The term "Contractor" within these Notes shall mean the Site Contractor(s) performing the site work.

Planting Notes

- 1. The Contractor shall locate and verify all existing and new utility line locations prior to planting, and shall report any utility conflicts to the Construction Manager.
- 2. Contractor shall receive approval from Landscape Architect of plant layout prior to installation.
- 3. The trunk flare (at the base of the tree) shall be properly exposed for all plantings.
- 4. Keep root balls intact prior to and during planting operations. Plants with broken or damaged root balls shall be rejected and immediately removed from the site. Keep root balls damp and protected from damage due to sun and wind. Do not shave root balls.
- 5. Temporary irrigation shall be provided for plant establishment and maintenance period.
- 6. 1 year landscape maintenance and warranty period.
- 7. See L-2.00 Planting Schedule for all plant sizing and species.

Irrigation Notes

- 1. The irrigation system will be designed to distribute a minimum amount of water in order to promote active and healthy growth of all proposed plantings.
- 2. The irrigation system shall be designed and installed in conformance with all applicable state and local codes and ordinances, By licensed contractors and experienced workmen.
- 3. The irrigation controller shall have an automatic timer with battery backup and rain shutoff.
- 4. All valves shall have separate pressure regulators filters and shut off as necessary.
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Landscape Architecture Materials and Planting Legend

PP

Stone Pavers on Pedestal
Type A : 24"x24" Black Basalt, Honed Finish
Type B : 24"x24" Black Basalt, Flamed Finish

WD

Wood Decking,
Reclaimed Teak, Smooth Finish, Sealed
Alternate: Synthetic Wood Deck, Einwood or equivalent

DR

Synthetic Lawn,
Forever Lawn "K9Grass," or equivalent

BC

Bocce Court
1"-2" Crushed Oyster Shell
Bocce Surface

SP

Sidewalk Paving,
PIP Terazzo at 39th Street Plaza Color TBD
Match Existing Brick at Turquoise

G

Decorative Gravel,
1-2", Color TBD

Platanus x acerifolia
London Plane Tree

Quercus coccinea
Scarlet Oak

Aesculus californica
California Buckeye

Arbutus "Marina"
Strawberry Tree

SS

Streetscape
Planting Mix

PM

Planted
Mounds

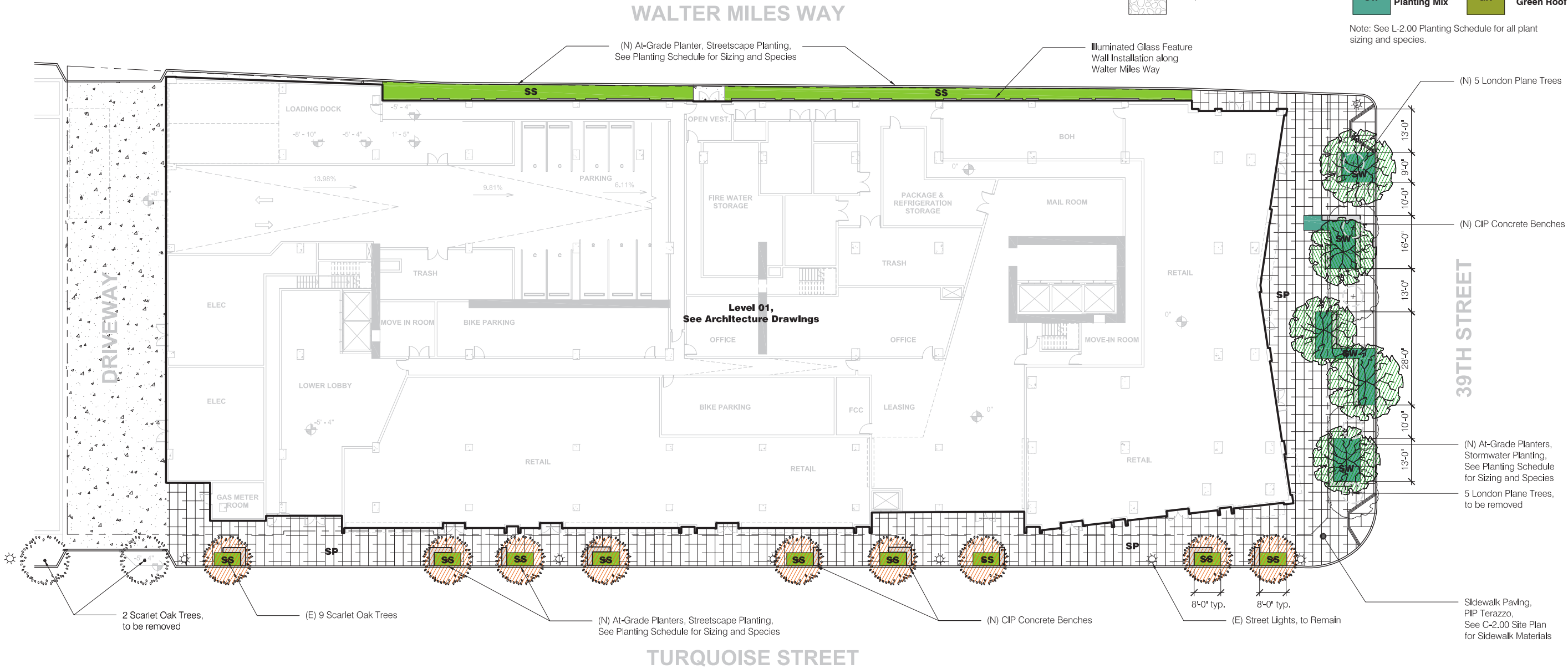
SW

Stormwater
Planting Mix

GR

Intensive
Green Roof

Note: See L-2.00 Planting Schedule for all plant sizing and species.



General Notes

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- 3. The trunk flare (at the base of the tree) shall be properly exposed for all plantings.
- 4. Keep root balls intact prior to and during planting operations. Plants with broken or damaged root balls shall be rejected and immediately removed from the site. Keep root balls damp and protected from damage due to sun and wind. Do not shave root balls.
- 5. Temporary irrigation shall be provided for plant establishment and maintenance period.
- 6. 1 year landscape maintenance and warranty period.
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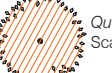
SP


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PIP Terazzo at 39th Street Plaza Color TBD
Match Existing Brick at Turquoise


G

Decorative Gravel,
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*Platanus x acerifolia*
London Plane Tree

*Quercus coccinea*
Scarlet Oak

*Aesculus californica*
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*Arbutus 'Marina'*
Strawberry Tree

SS

Streetscape
Planting Mix

PM

Planted
Mounds

SW

Stormwater
Planting Mix

GR

Intensive
Green Roof

Note: See L-2.00 Planting Schedule for all plant sizing and species.



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Scarlet Oak



Aesculus californica
California Buckeye



Arbutus "Marina"
Strawberry Tree

SS

Streetscape
Planting Mix

PM

Planted
Mounds

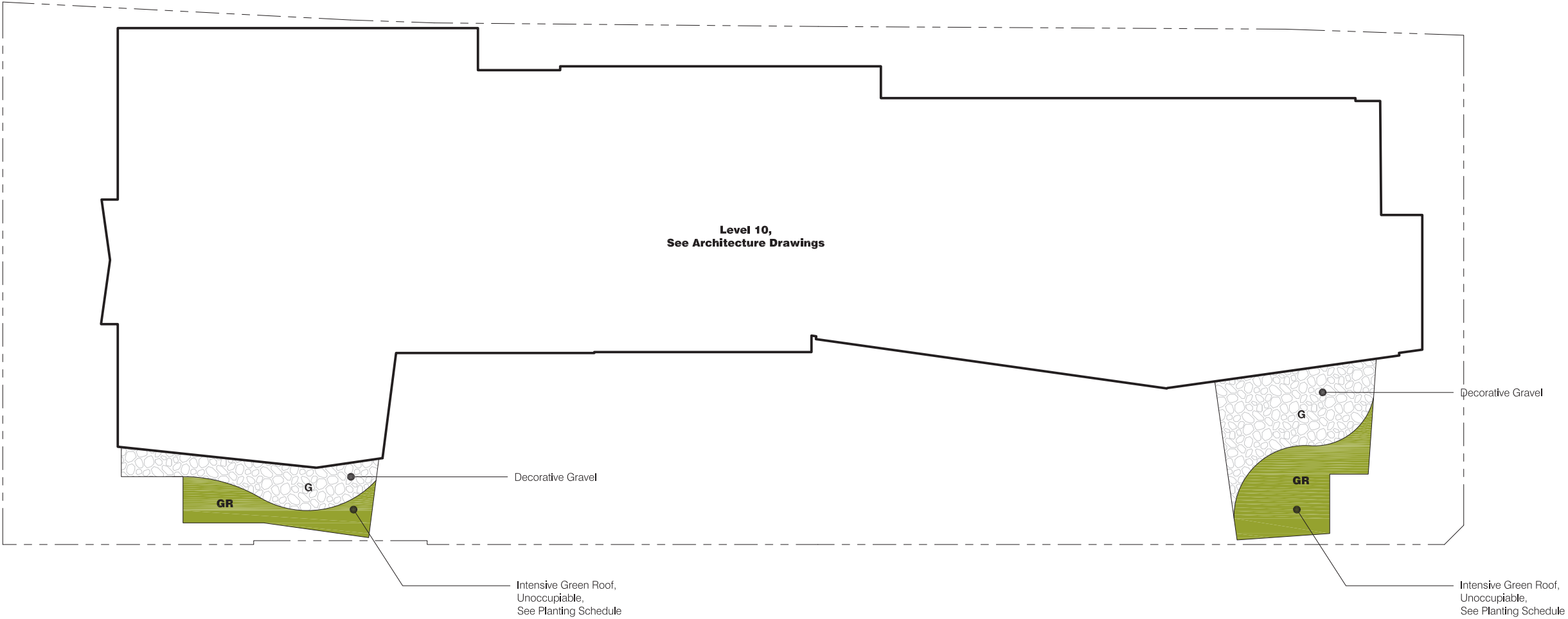
SW

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Planting Mix

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Aesculus californica
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Strawberry Tree

SS

Streetscape
Planting Mix

PM

Planted
Mounds

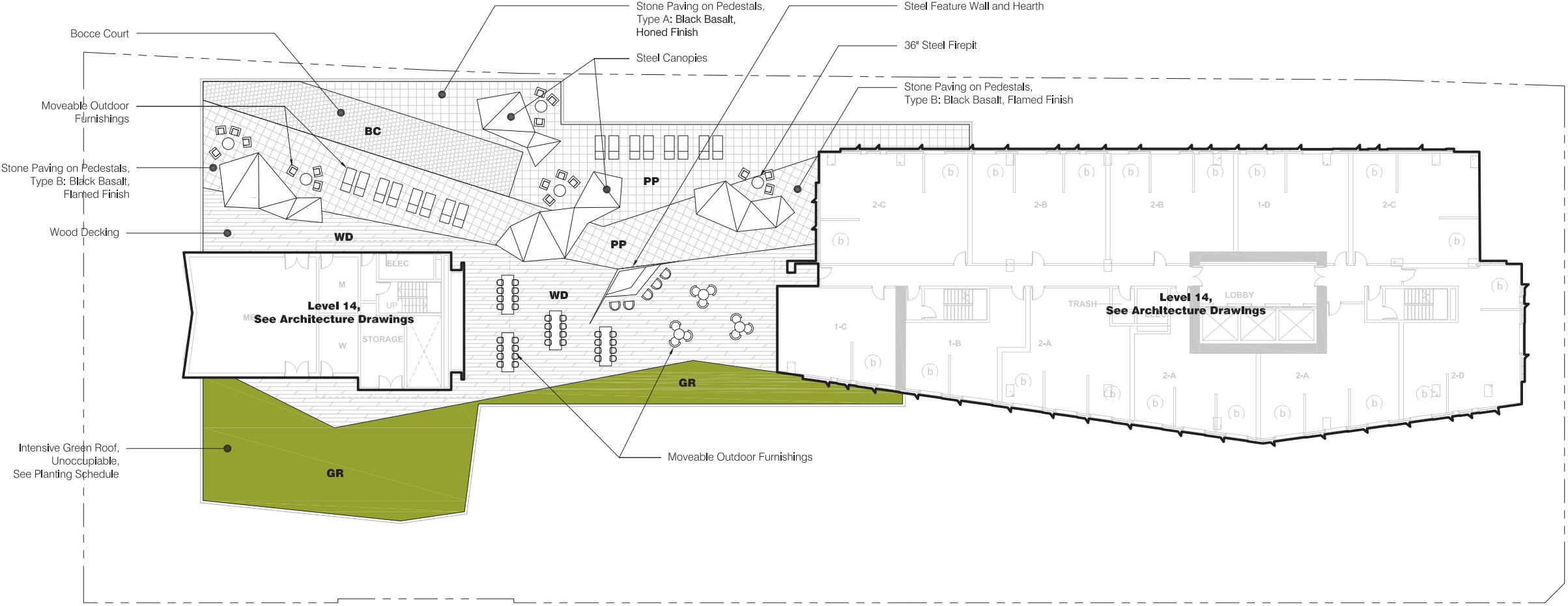
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Stormwater
Planting Mix

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Sidewalk Paving,
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1-2", Color TBD

Platanus x acerifolia
London Plane Tree

Quercus coccinea
Scarlet Oak

Aesculus californica
California Buckeye

Arbutus "Marina"
Strawberry Tree

SS

Streetscape
Planting Mix

PM

Planted
Mounds

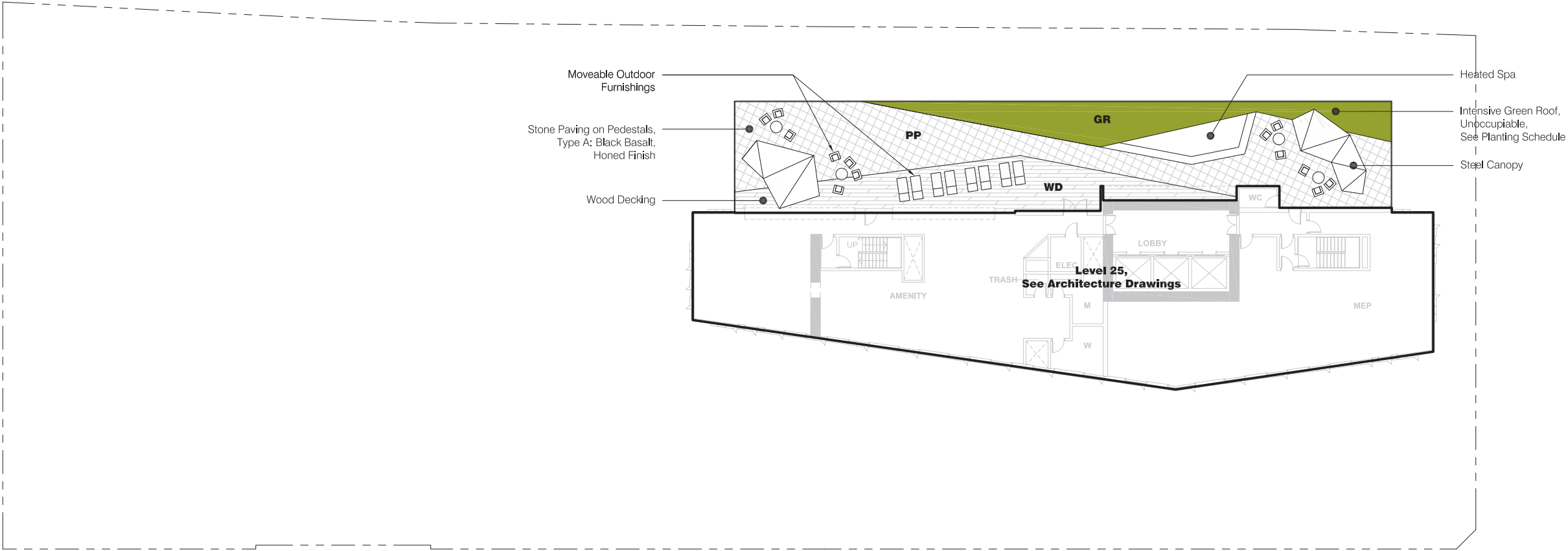
SW

Stormwater
Planting Mix

GR

Intensive
Green Roof

Note: See L-2.00 Planting Schedule for all plant sizing and species.



Planting Schedule

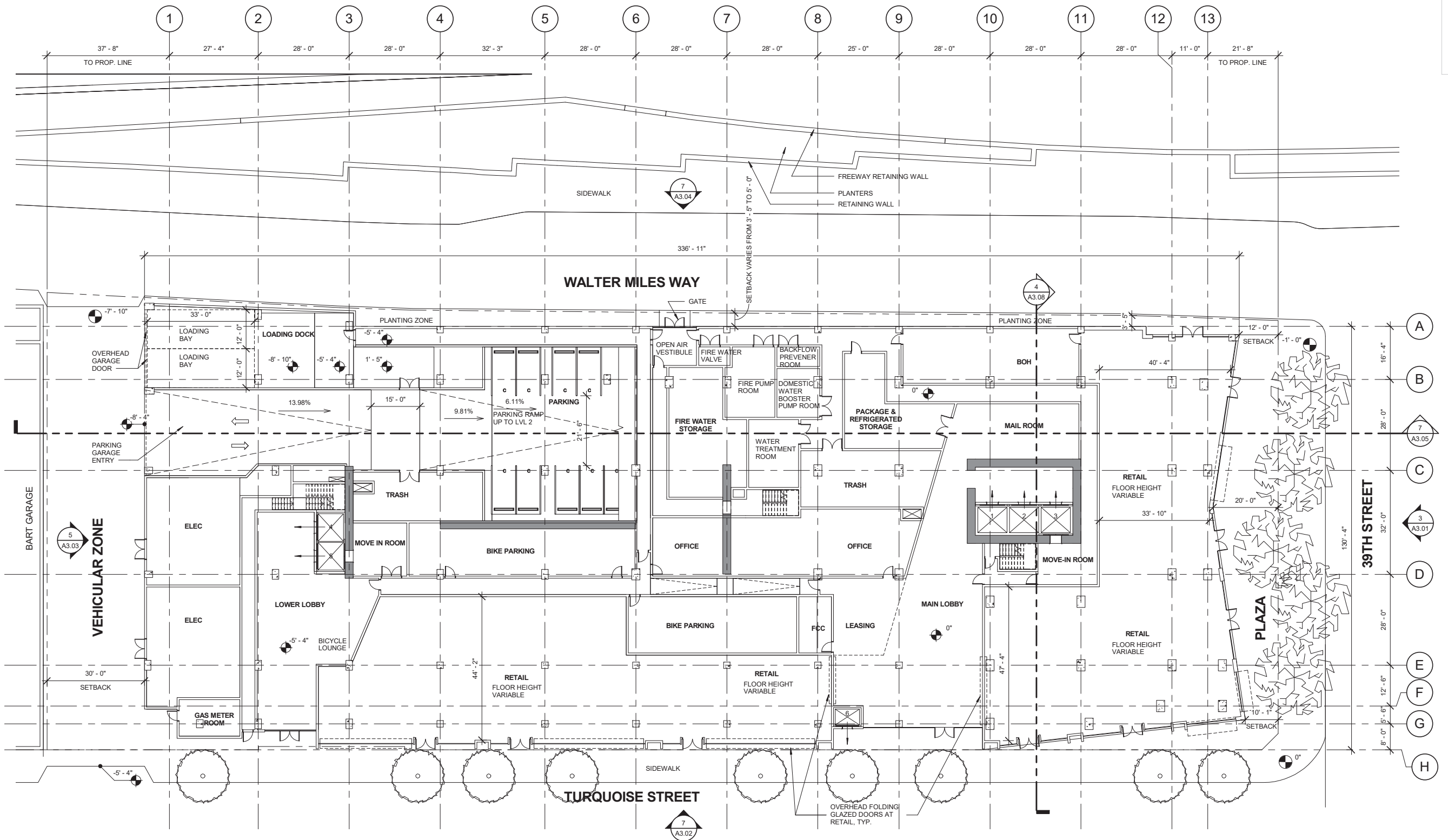
Key	Qty	Scientific Name	Common Name	Size	Root	Spacing	Irrigation
Trees							
PA	5	<i>Platanus x acerifolia</i>	London Plane Tree	72"	Box		In-Line Drip
QC	9	<i>Quercus coccinea</i>	Scarlet Oak	(E)			In-Line Drip
AC	6	<i>Aesculus californica</i>	California buckeye	36"	Box		In-Line Drip
AM	5	<i>Arbutus "Marina"</i>	Strawberry Tree	36"	Box		In-Line Drip

Planting Zones							
SS	1285 SF	Streetscape Planting					In-Line Drip
	30%	<i>Muhlenbergia rigens</i>	Deer Grass	1 Gal.	Cont.	24" O.C.	
	10%	<i>Sisyrinchium bellum</i>	Blue-eyed Grass	4" Pot	Cont.	12" O.C.	
	10%	<i>Carex tumulicola</i>	Berkeley Sedge	1 Gal.	Cont.	12" O.C.	
	10%	<i>Festuca rubra</i>	Red Fescue	1 Gal.	Cont.	15" O.C.	
	20%	<i>Juncus patens</i>	California Grey Rush	1 Gal.	Cont.	15" O.C.	
	20%	<i>Calamagrostis nutkaensis</i>	Pacific Reed Grass	1 Gal.	Cont.	18" O.C.	
SW	514 SF	Stormwater Planting					In-Line Drip
	20%	<i>Achillea millefolium</i>	Common Yarrow	4" Pot	Cont.	12" O.C.	
	5%	<i>Sisyrinchium bellum</i>	Blue-eyed Grass	4" Pot	Cont.	12" O.C.	
	15%	<i>Festuca rubra</i>	Red fescue	1 Gal.	Cont.	15" O.C.	
	20%	<i>Carex tumulicola</i>	Berkeley Sedge	1 Gal.	Cont.	12" O.C.	
PM	1903 SF	Planted Mounds					Conventional Drip
	25%	<i>Carex tumulicola</i>	Berkeley Sedge	1 Gal.	Cont.	12" O.C.	
	15%	<i>Sarcococca hookeriana var. humilis</i>	Himalayan Sweet Box	1 Gal.	Cont.	24" O.C.	
	25%	<i>Muhlenbergia rigens</i>	Deer Grass	1 Gal.	Cont.	24" O.C.	
	20%	<i>Polystichum munitum</i>	Western Sword Fern	1 Gal.	Cont.	36" O.C.	
	15%	<i>Woodwardia fimbriata</i>	Giant Chain Fern	1 Gal.	Cont.	48" O.C.	
GR	3376 SF	Intensive Green Roof Planting					In-Line Drip
	100%	<i>Sedum spp.</i>	Sedum	1 Gal.	Cont.	12" O.C.	
SC	352 SF	Hedge Screen					Conventional Drip
	100%	<i>Pittosporum tenuifolium 'Silver Sheen'</i>	Silver Sheen Kohuhu	1 Gal.	Cont.	30" O.C.	

General Plan Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.

2. Refer to Landscape Architect & Civil Drawings for additional information.



Level 1 Floor Plan
Final Development Package
MacArthur Transit Village: Parcel B
Solomon Cordwell Buenz / Boston Properties / Oakland, CA

07 - 06 - 2016

2016010

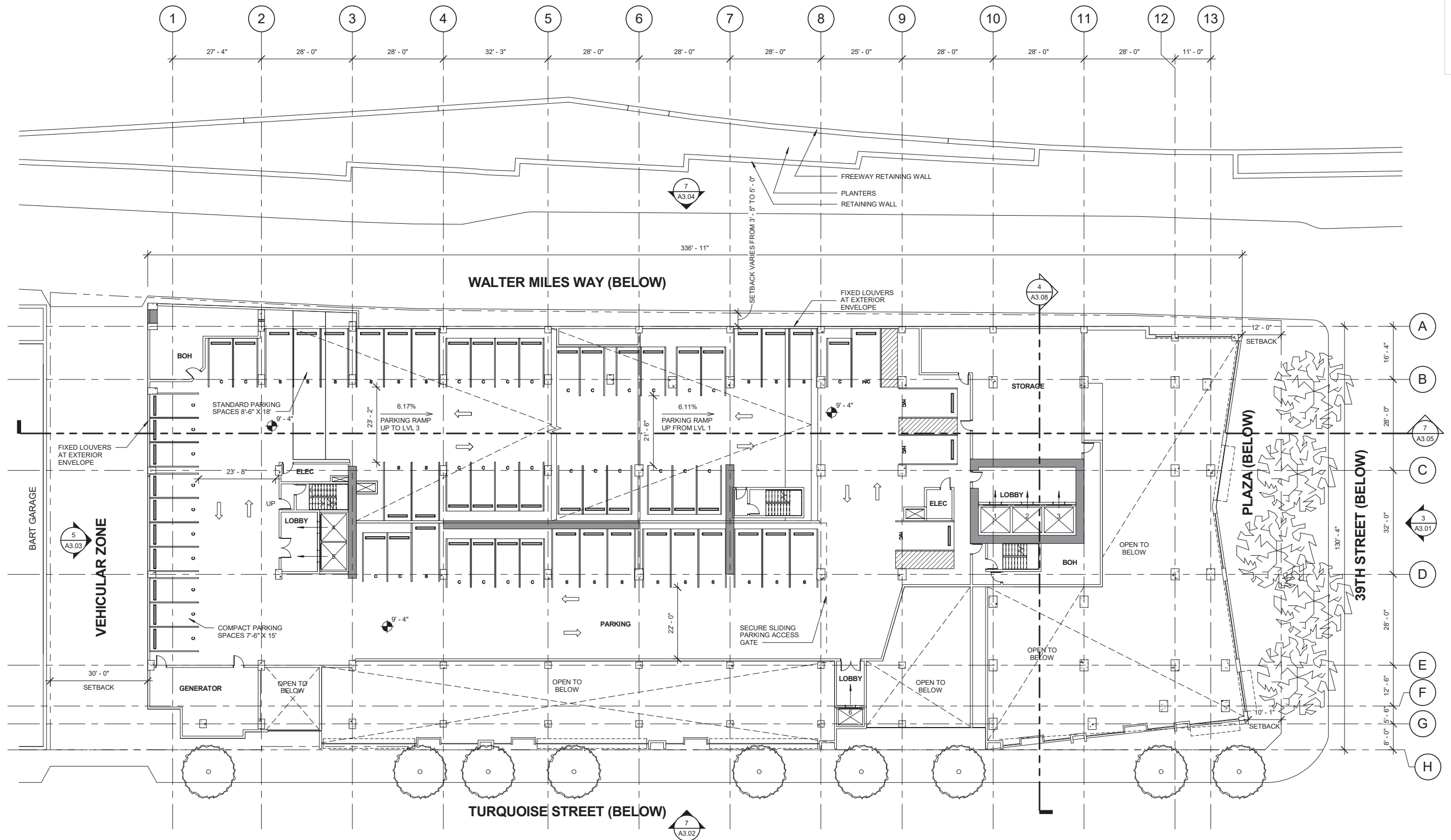
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A2-01

General Plan Notes

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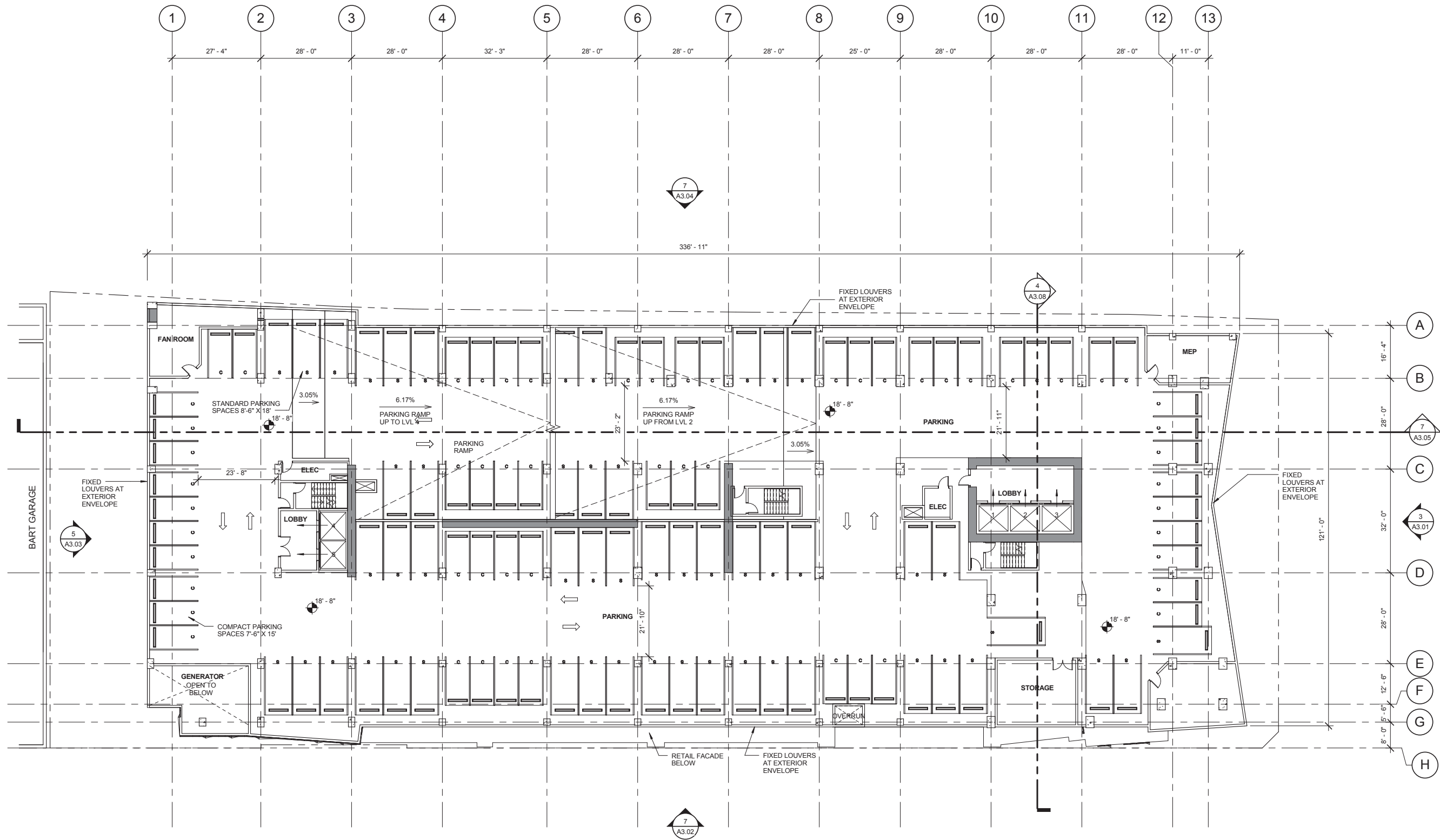
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Level 3 Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

07 - 06 - 2016

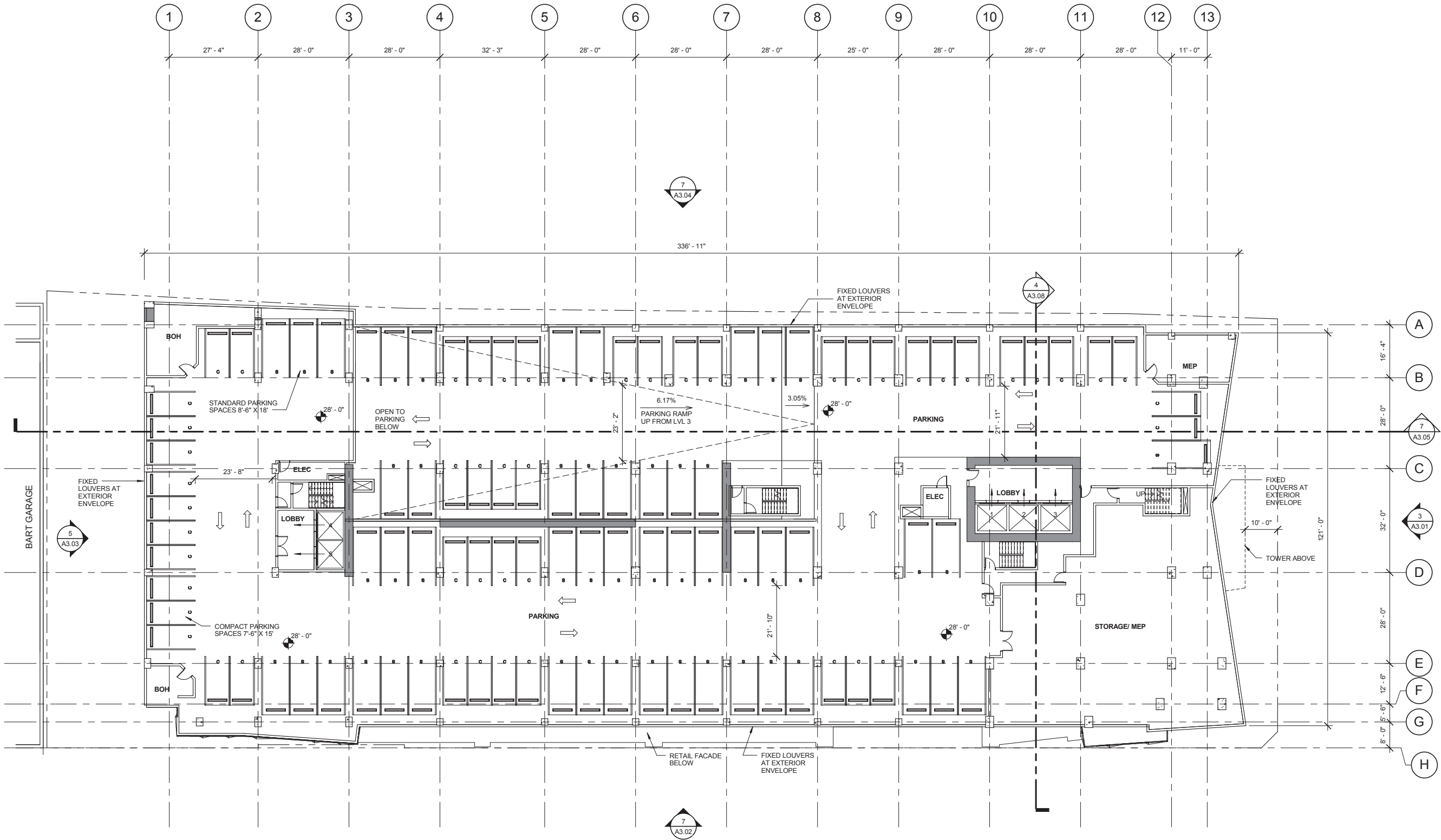
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A2-03

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Level 4 Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

07 - 06 - 2016

2016010

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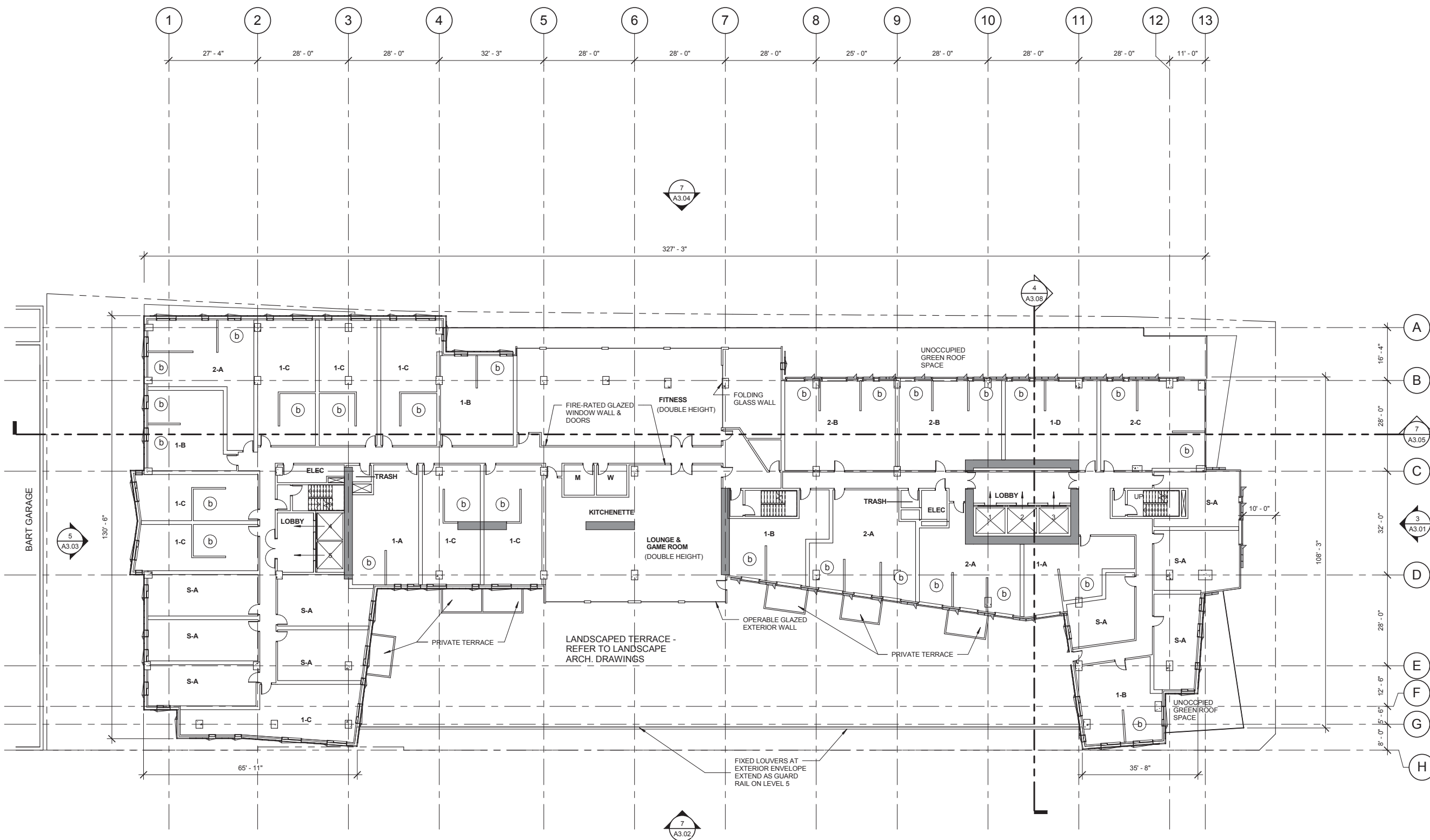
A2-04

General Plan Notes

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Unit Type Key

- S-A : STUDIO
- 1-A : 1 BEDROOM
1-B : 1 BEDROOM
1-C : 1 BEDROOM
- 2-A : 2 BEDROOM
2-B : 2 BEDROOM
2-C : 2 BEDROOM
- 3-A : 3 BEDROOM
- (b) : BEDROOM



Level 5 Amenity Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

07 - 06 - 2016

2016010

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A2-05

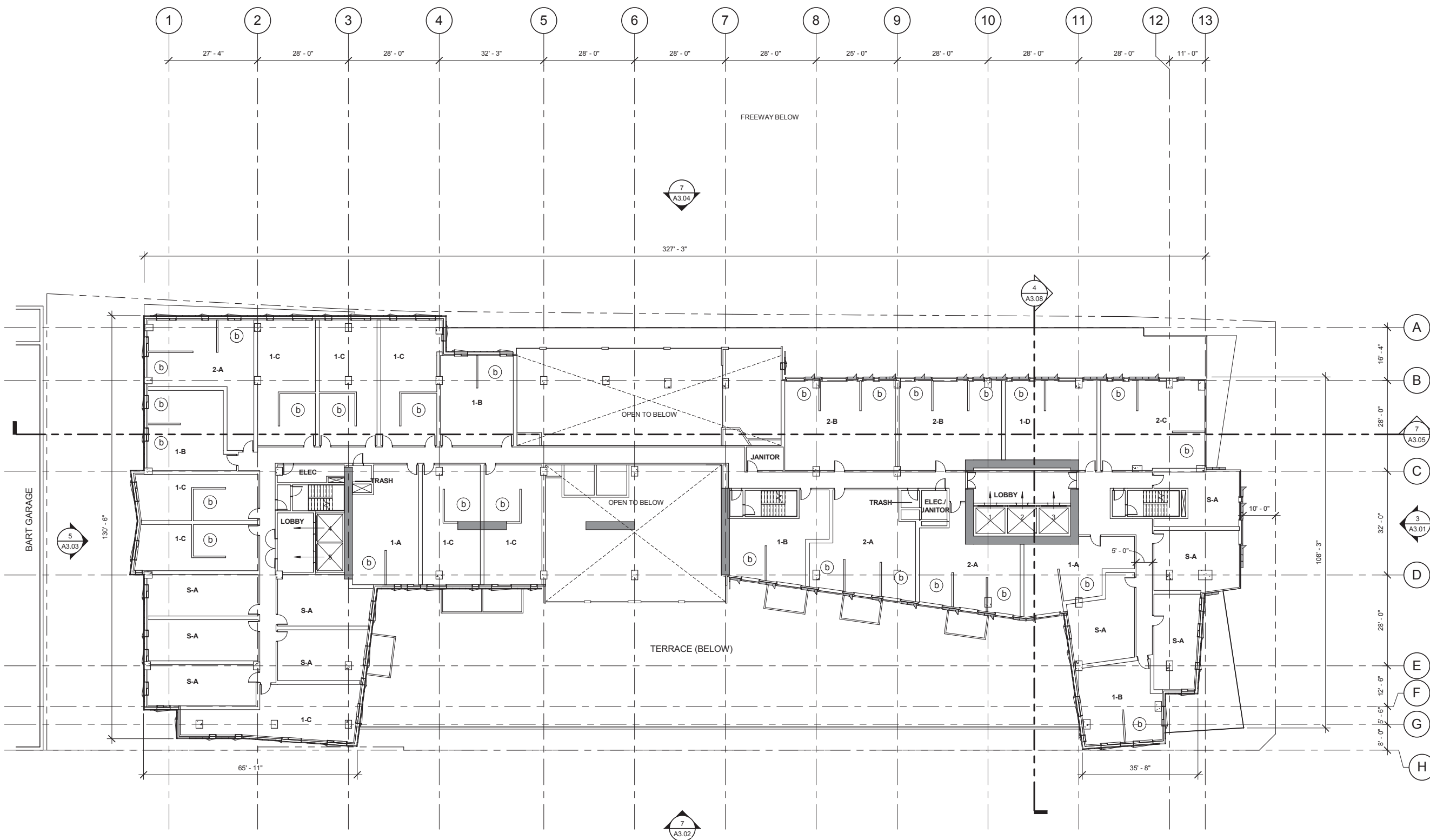


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Level 6 Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

07 - 06 - 2016

2016010

0 16 32

A2-06

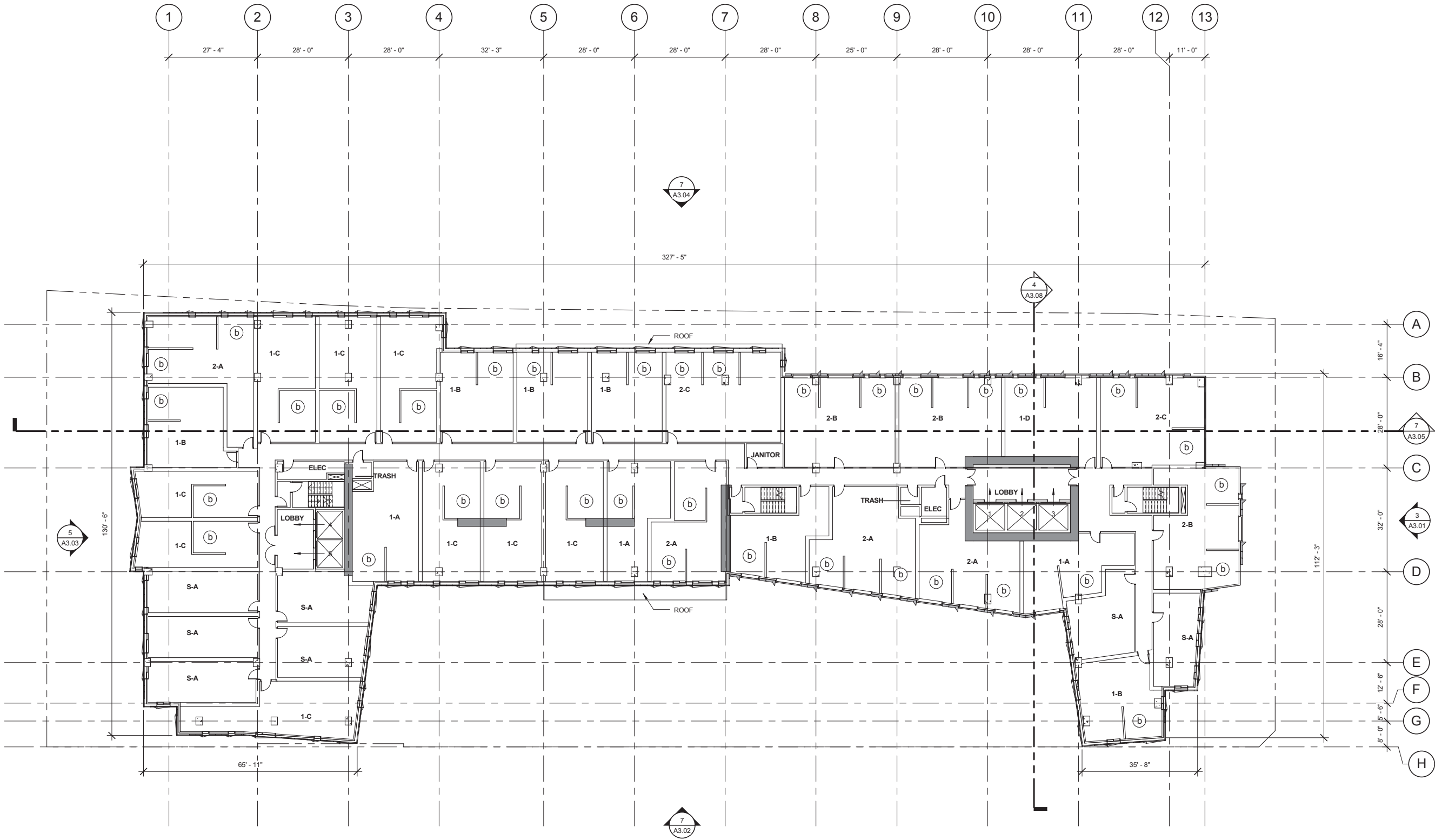


General Plan Notes

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- (b) : BEDROOM



Levels 7-9 Typical Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

07 - 06 - 2016

2016010

0 16 32

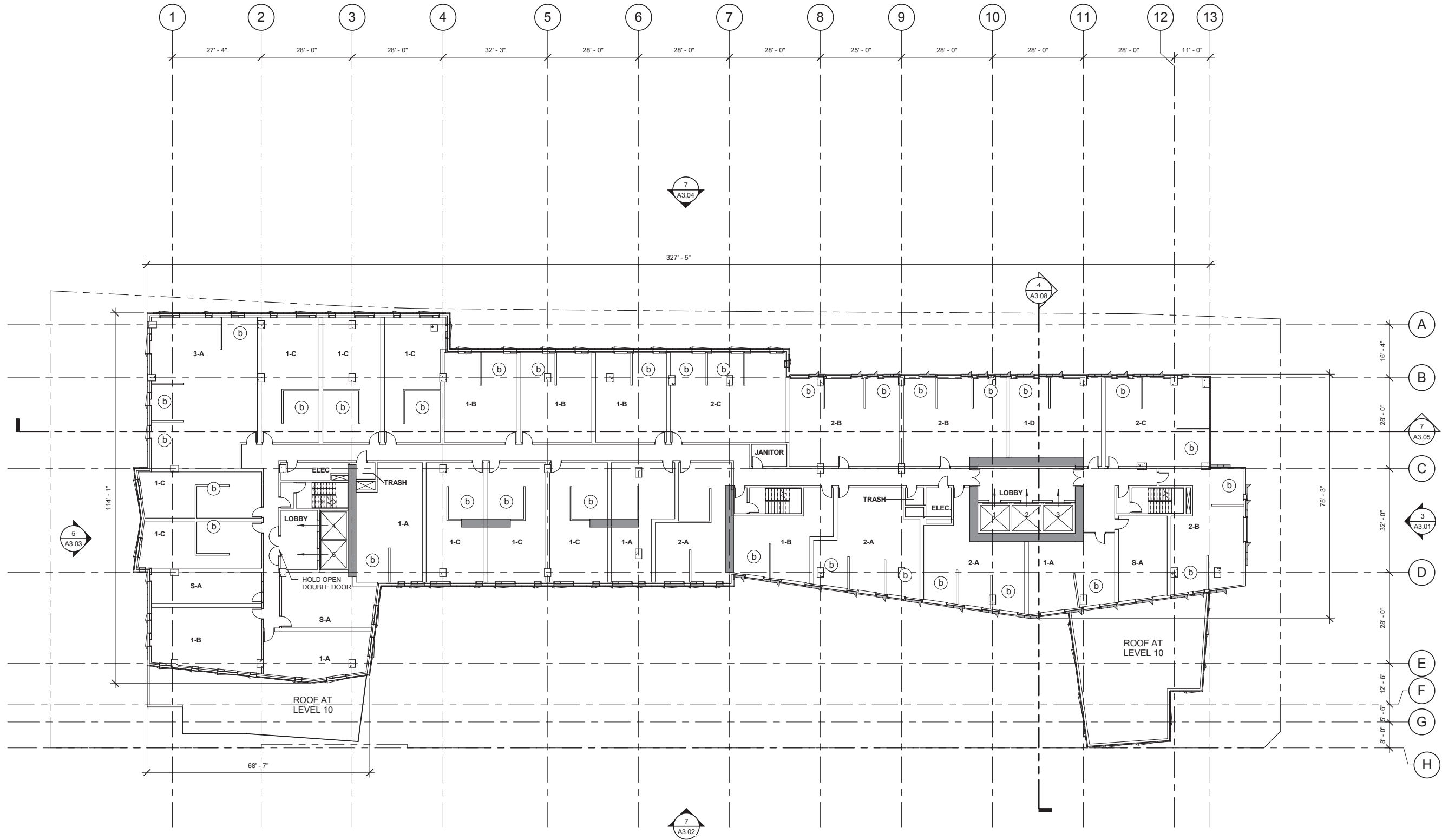
A2-07

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2-B : 2 BEDROOM
2-C : 2 BEDROOM
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- (b) : BEDROOM



Levels 10-13 Typical Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

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07 - 06 - 2016

2016010

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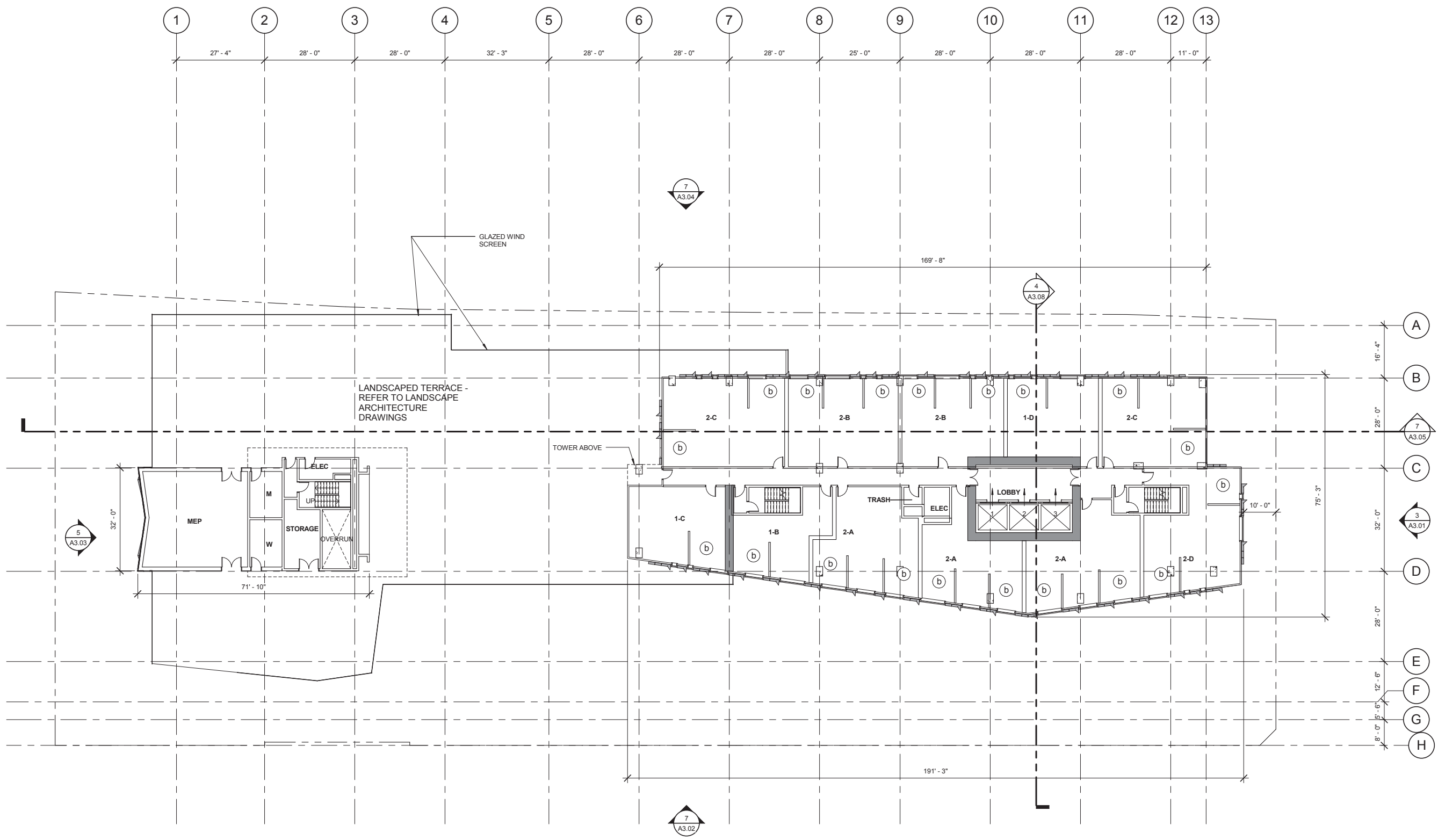
A2-10

General Plan Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.

Unit Type Key

- S-A : STUDIO
- 1-A : 1 BEDROOM
1-B : 1 BEDROOM
1-C : 1 BEDROOM
- 2-A : 2 BEDROOM
2-B : 2 BEDROOM
2-C : 2 BEDROOM
- 3-A : 3 BEDROOM
- (b) : BEDROOM



Level 14 Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

07 - 06 - 2016

2016010

0 16 32

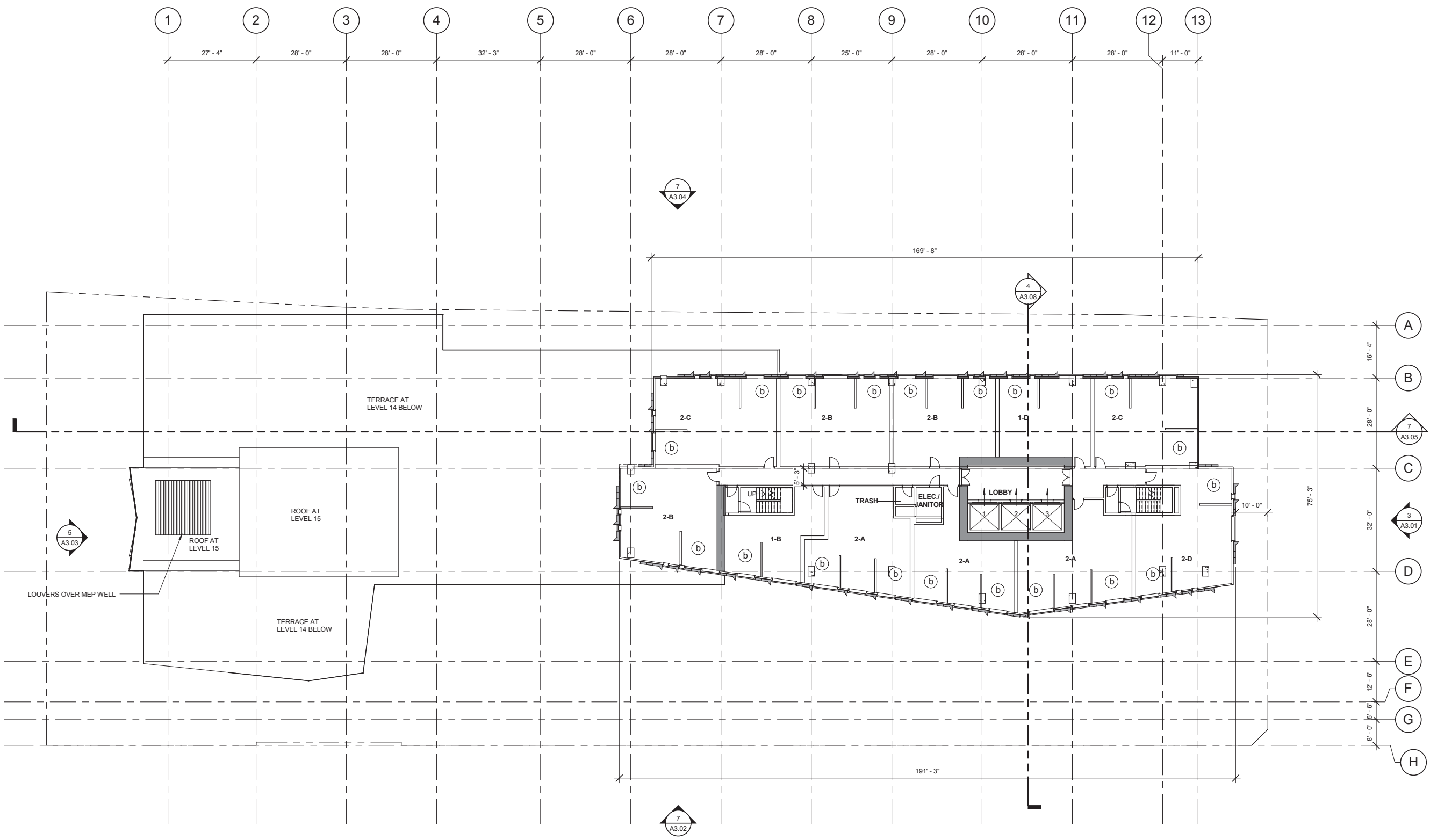


General Plan Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.

Unit Type Key

- S-A : STUDIO
- 1-A : 1 BEDROOM
1-B : 1 BEDROOM
1-C : 1 BEDROOM
- 2-A : 2 BEDROOM
2-B : 2 BEDROOM
2-C : 2 BEDROOM
- 3-A : 3 BEDROOM
- (b) : BEDROOM



Levels 15-23 Typical Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

07 - 06 - 2016

2016010

0 16 32



General Plan Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.

Unit Type Key

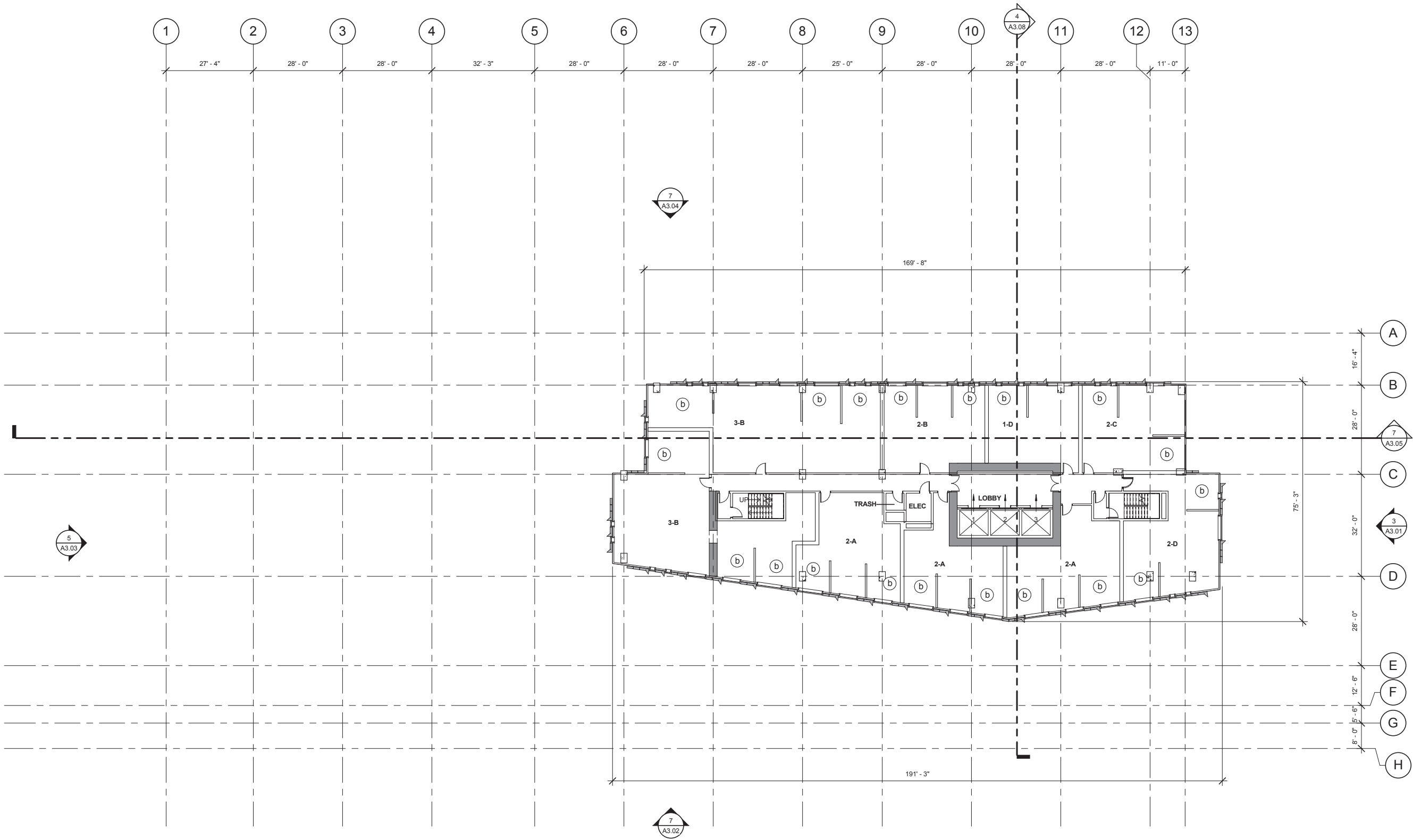
S-A : STUDIO

1-A : 1 BEDROOM
1-B : 1 BEDROOM
1-C : 1 BEDROOM

2-A : 2 BEDROOM
2-B : 2 BEDROOM
2-C : 2 BEDROOM

3-A : 3 BEDROOM

(b) : BEDROOM



Level 24 Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

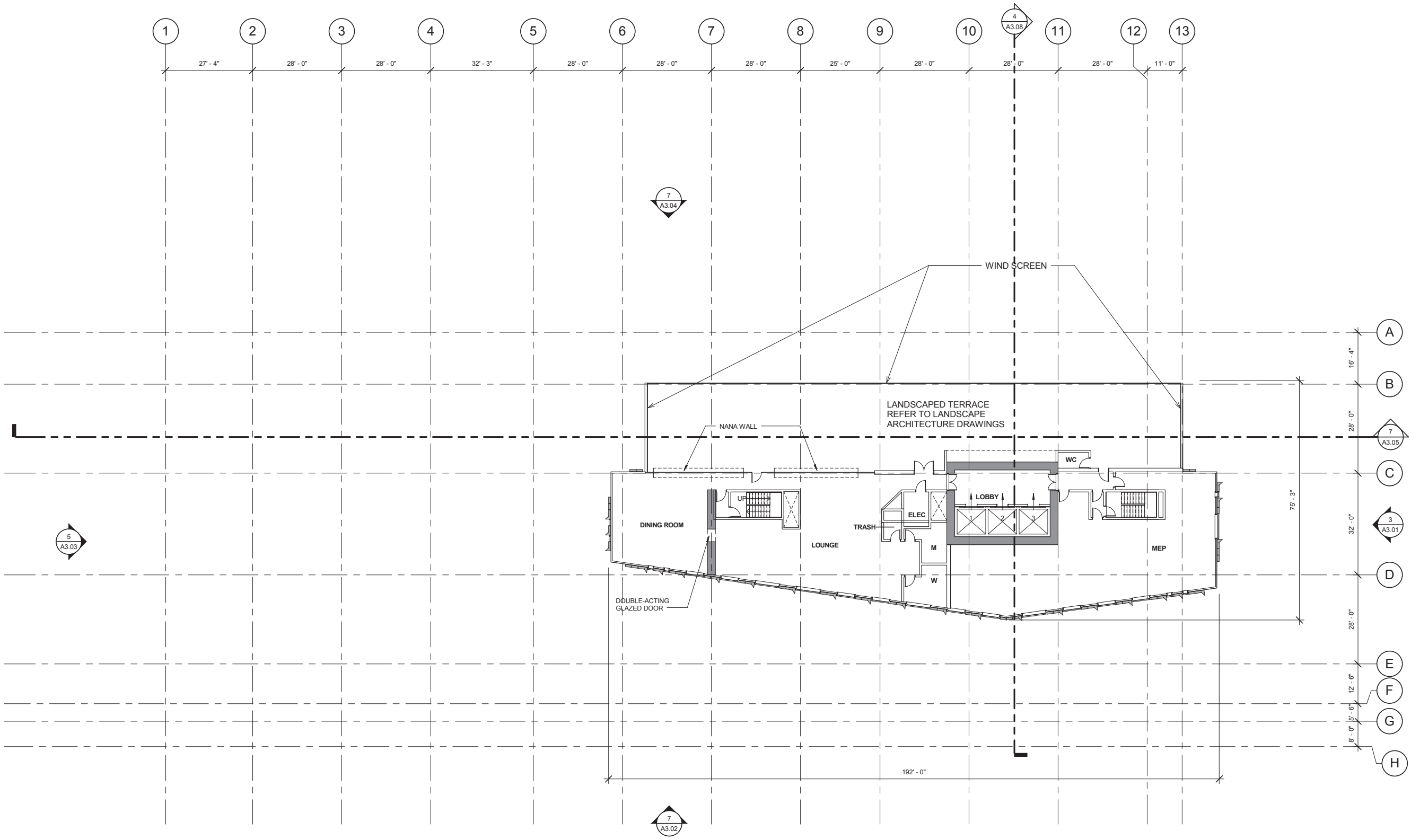
07 - 06 - 2016

2016010

0 16 32

General Plan Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.



Level 25 Floor Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

07 - 06 - 2016

2016010

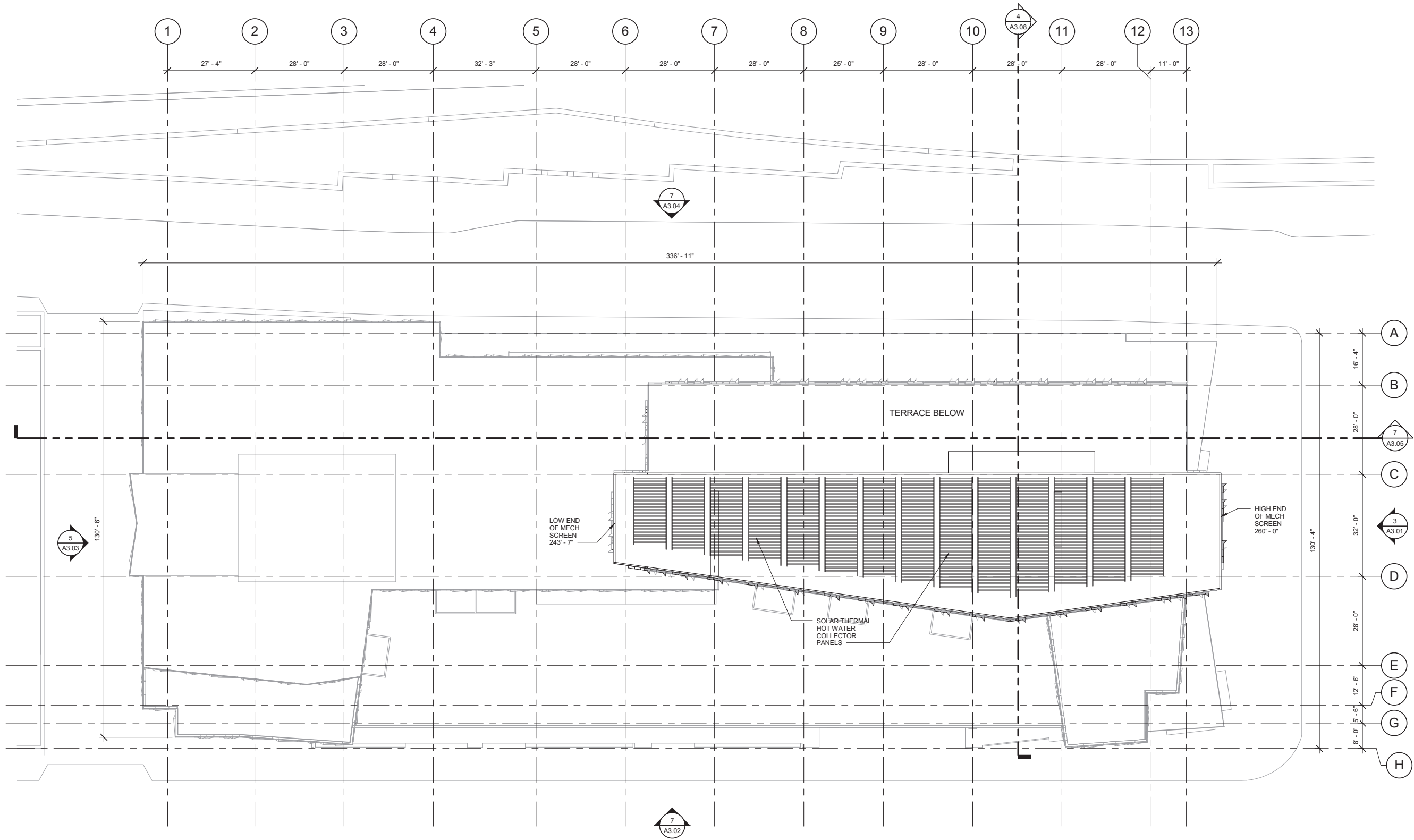
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General Plan Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.

2. Refer to Landscape Architect & Civil Drawings for additional information.



Roof Plan

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

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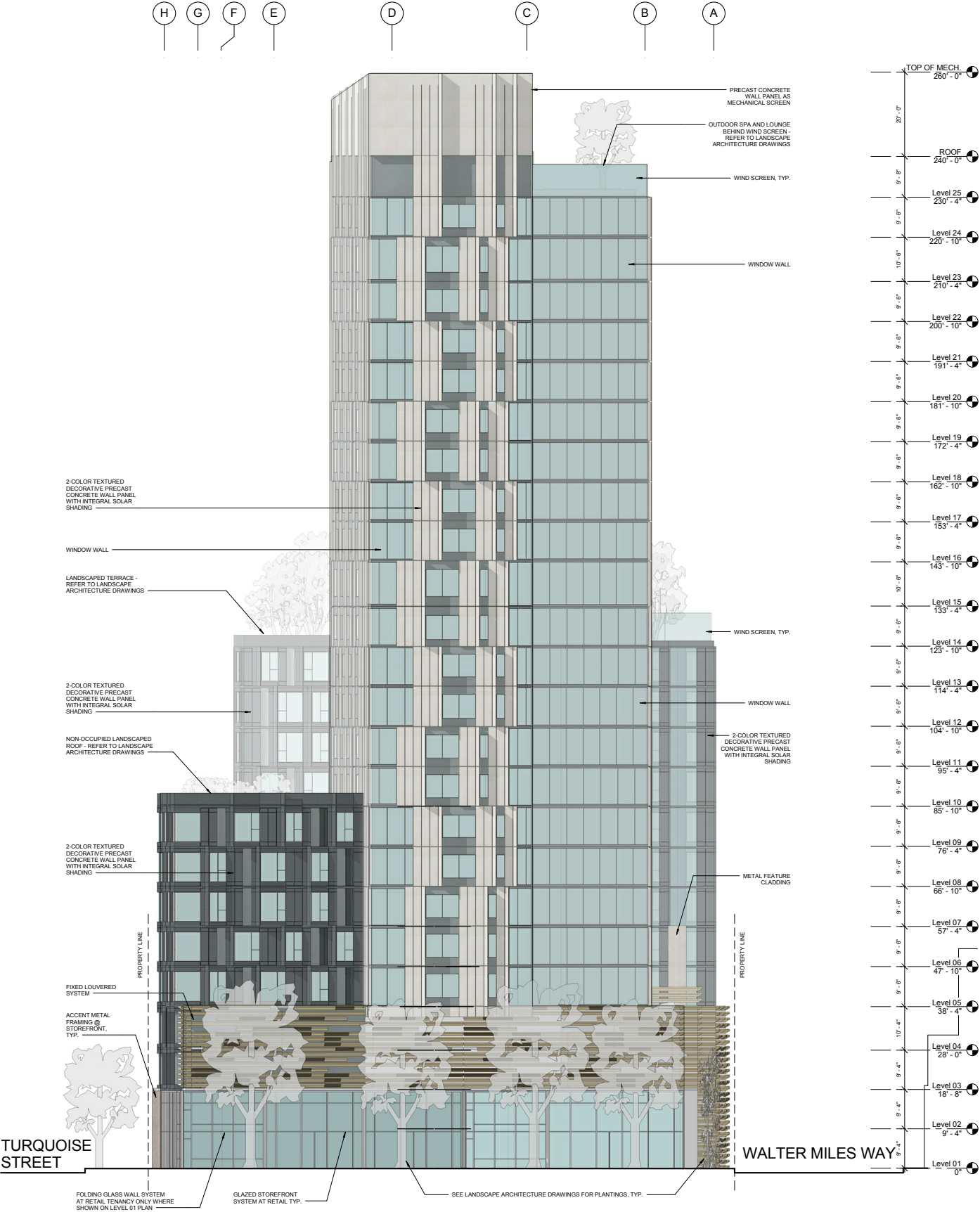
2016010

0 16 32

A2-26

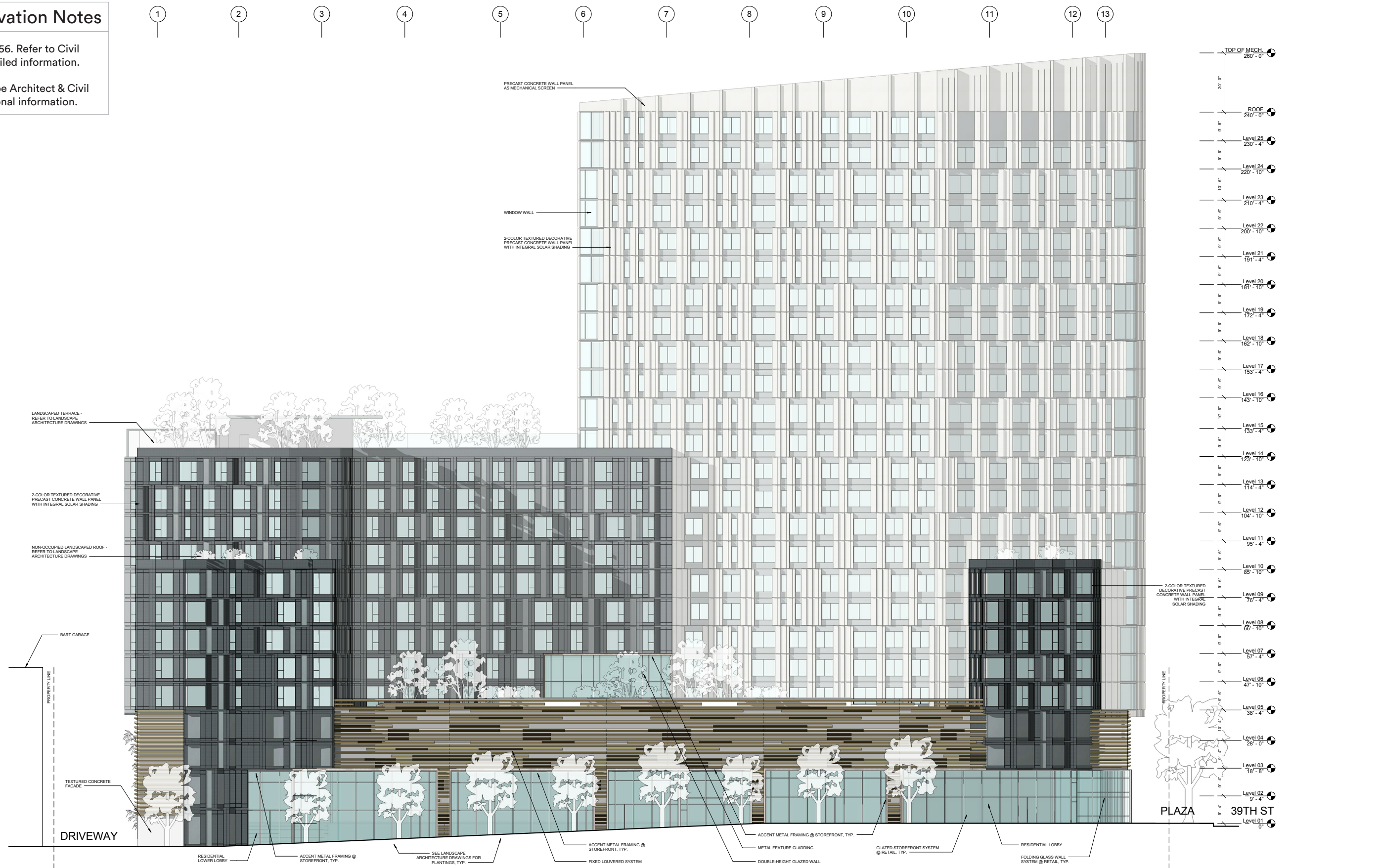
General Elevation Notes

- 1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
- 2. Refer to Landscape Architect & Civil Drawings for additional information.



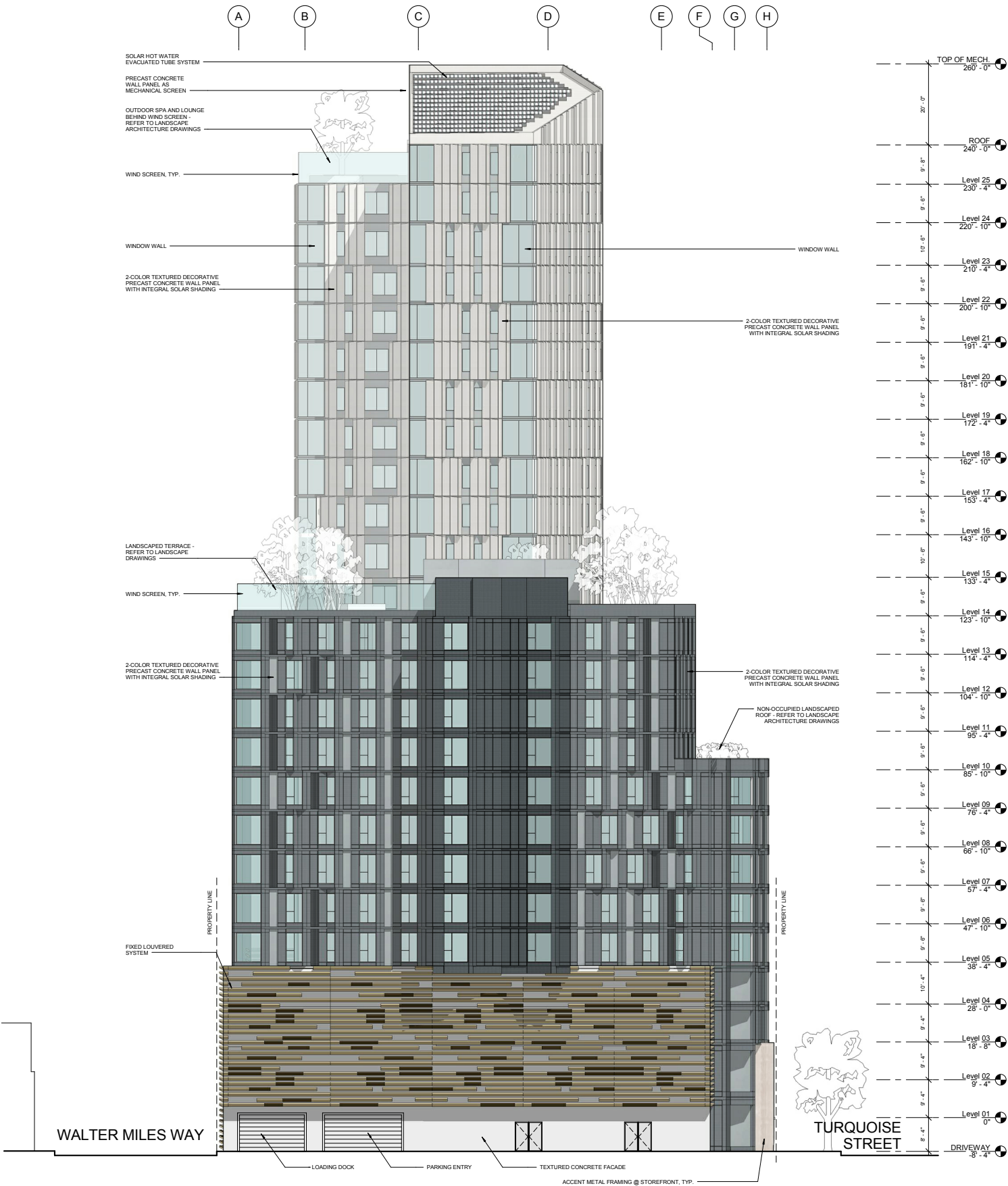
1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.

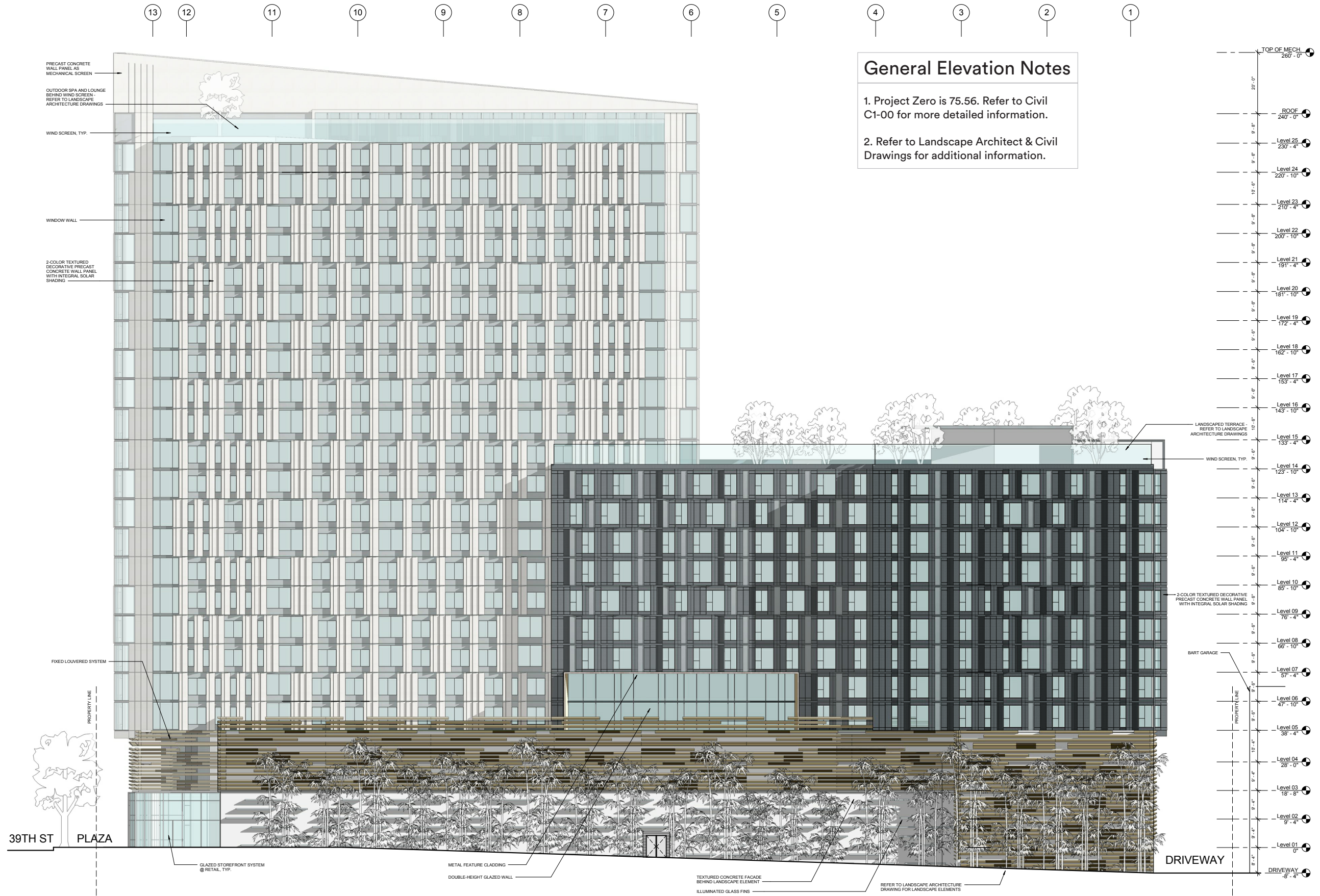
2. Refer to Landscape Architect & Civil Drawings for additional information.



General Elevation Notes

- 1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
- 2. Refer to Landscape Architect & Civil Drawings for additional information.





West Elevation

Final Development Package

MacArthur Transit Village: Parcel B

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07 - 06 - 2016

2016010

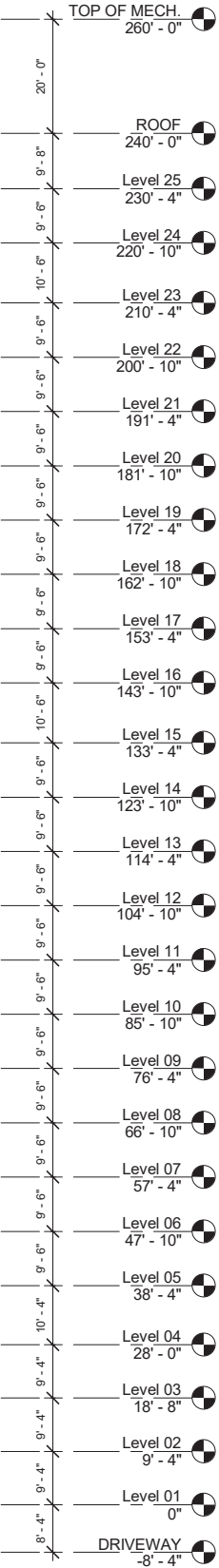
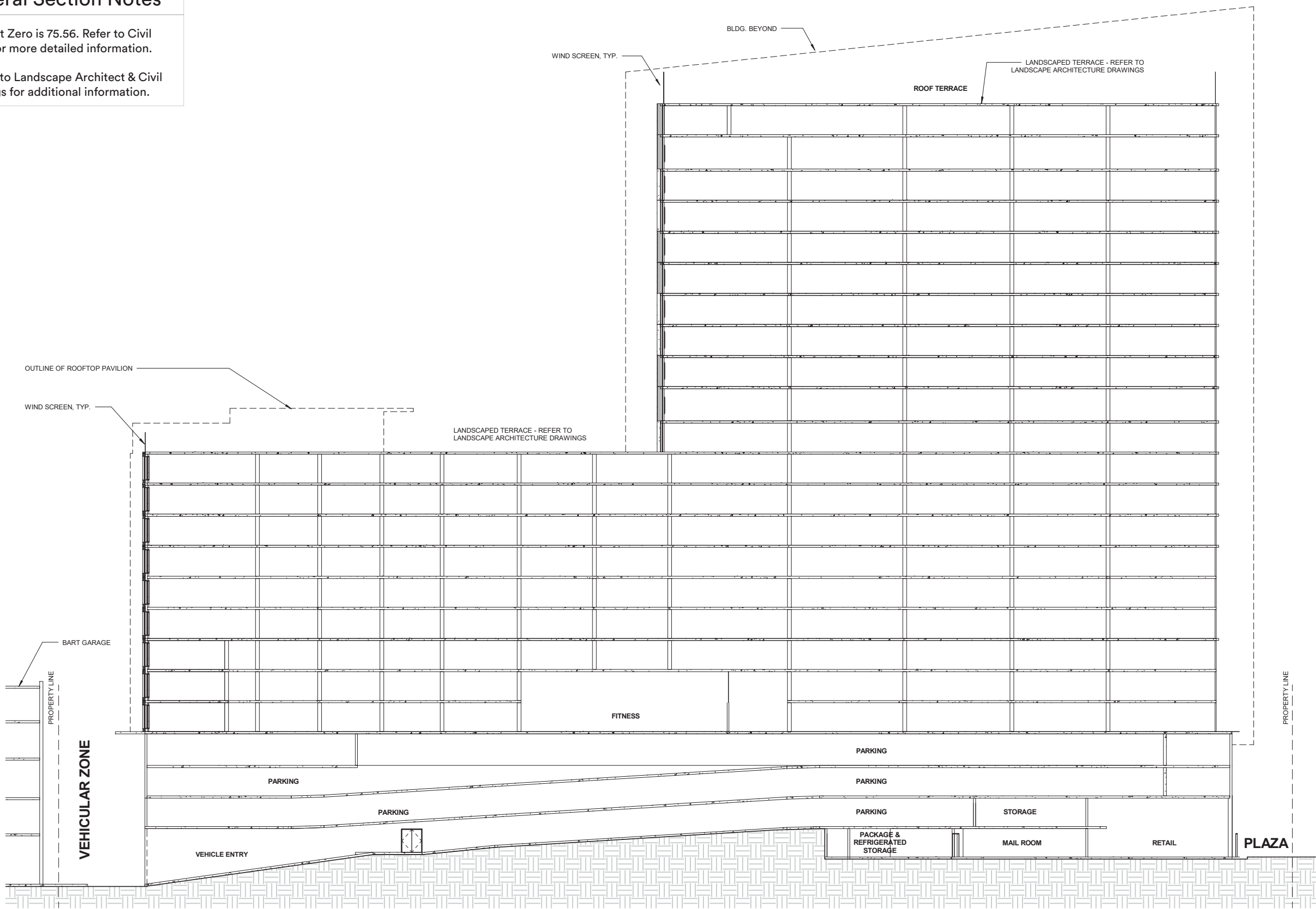
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A3-04

General Section Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.

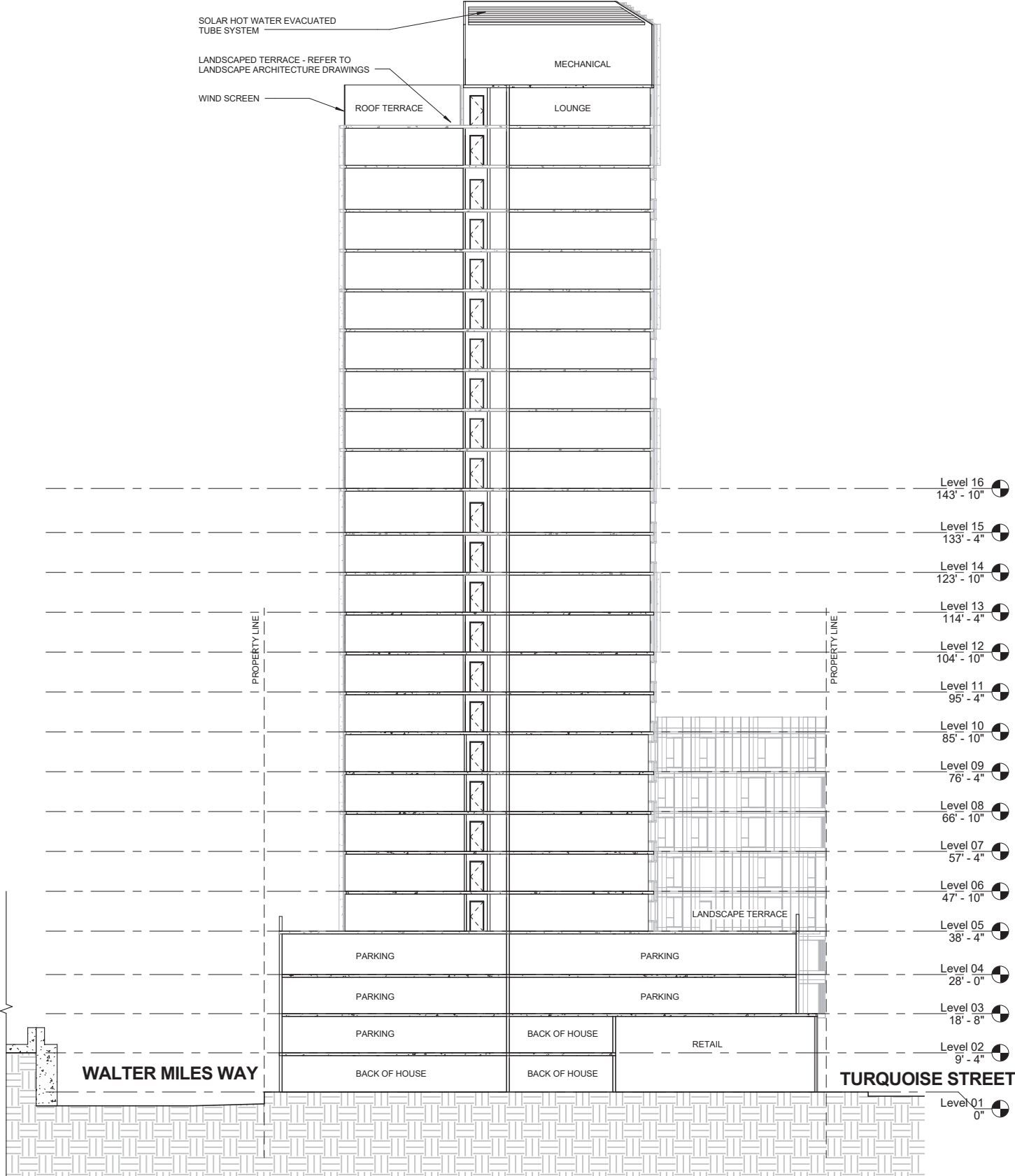
2. Refer to Landscape Architect & Civil Drawings for additional information.



General Section Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.

2. Refer to Landscape Architect & Civil Drawings for additional information.



DWELLING UNITS													RETAIL SPACE GSF	PARKING SPACES		FLOOR AREA (PLANNING)
UNIT TYPE BATH #	480 St	531 St	550 1bd	650 1bd	757 1bd	870 1bd	900 2bd	1,025 2bd	966 2bd	1,050 2bd	1,800 3bd	1,300 3bd			GSF	
UNIT CODE	S-A	S-B	1-A	1-B	1-C	1-D	2-A	2-C	2-B	2-D	3-pH	3-A				
Roof																
25																7,900
24	9					1	3	1	1	1	2					12,550
23	11			1		1	3	2	3	1						12,550
22	11			1		1	3	2	3	1						12,550
21	11			1		1	3	2	3	1						12,550
20	11			1		1	3	2	3	1						12,550
19	11			1		1	3	2	3	1						12,550
18	11			1		1	3	2	3	1						12,550
17	11			1		1	3	2	3	1						12,550
16	11			1		1	3	2	3	1						12,550
15	11			1		1	3	2	3	1						12,550
14	11			1	1	1	3	2	2	1						14,800
13	30	3	4	5	8	1	3	2	3			1				27,300
12	30	3	4	5	8	1	3	2	3			1				27,300
11	30	3	4	5	8	1	3	2	3			1				27,300
10	30	3	4	5	8	1	3	2	3			1				27,300
9	34	7	1	2	5	9	1	3	2	3		1				30,300
8	34	7	1	2	5	9	1	3	2	3		1				30,300
7	35	7	1	2	6	9	1	4	2	3						30,300
6	30	9	1	1	4	8	1	3	1	2						25,500
5	30	9	2	4	8	1	3	1	2							30,300
4	-													70	31,650	8,500
3	-													105	38,950	5,200
2	-													65	19,340	5,800
1	-												13,000	20	4,160	36,500
402	51	4	25	54	76	20	61	37	55	11	2	6	13,000	260	94,100	460,100
TOTAL UNITS	St	St	1bd	1bd	1bd	1bd	2bd	2bd	2bd	2bd	3bd	3bd		SPACES	GSF	GSF

MacArthur Transit Village - BMR Calculation

Parcel	Market Rate Units	Affordable Units	Total
A&C	371	12	383
B	357	45	402
Mural	0	90	90
Total	728	147	875

% affordable for entire site* 20.19%

*reference Section 1.1.20 in the OPA which requires at least 20% of market-rate units be below-market rate

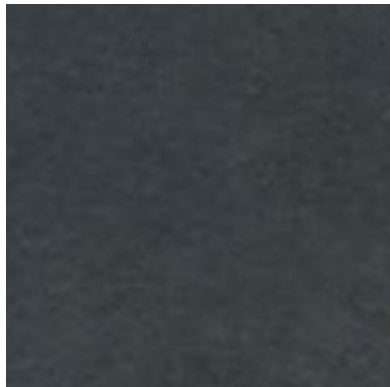
RESIDENTIAL TOWER



HIGH-RISE MAIN BODY
TEXTURED CONCRETE
'DUNE'



HIGH-RISE ACCENT
TEXTURED CONCRETE
'SILVERSMOKE'



MID-RISE MAIN BODY
CONCRETE
'CHARCOAL GREY'



MID-RISE ACCENT
TEXTURED CONCRETE
'SILVERSMOKE'



FEATURE CLADDING
WEATHERED METAL



GLAZING
HIGH PERFORMANCE
INSULATED GLAZING
UNIT - LIGHT GREEN

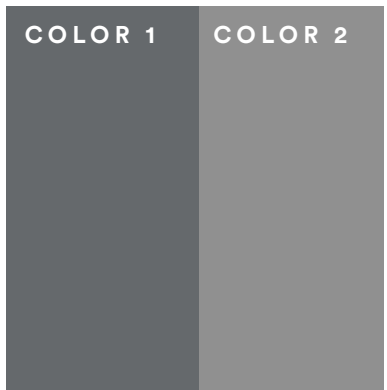
RETAIL/PARKING PODIUM



RETAIL ACCENT
WEATHERED METAL



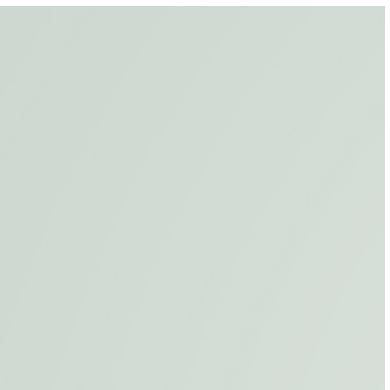
METAL PARKING SCREEN ELEMENTS



MISCELLANEOUS METAL



PODIUM SOUTH / WEST
TEXTURED CONCRETE



GLAZING
LAMINATED GLAZING
CLEAR



DESIGN FOR A CHANGING WORLD

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