

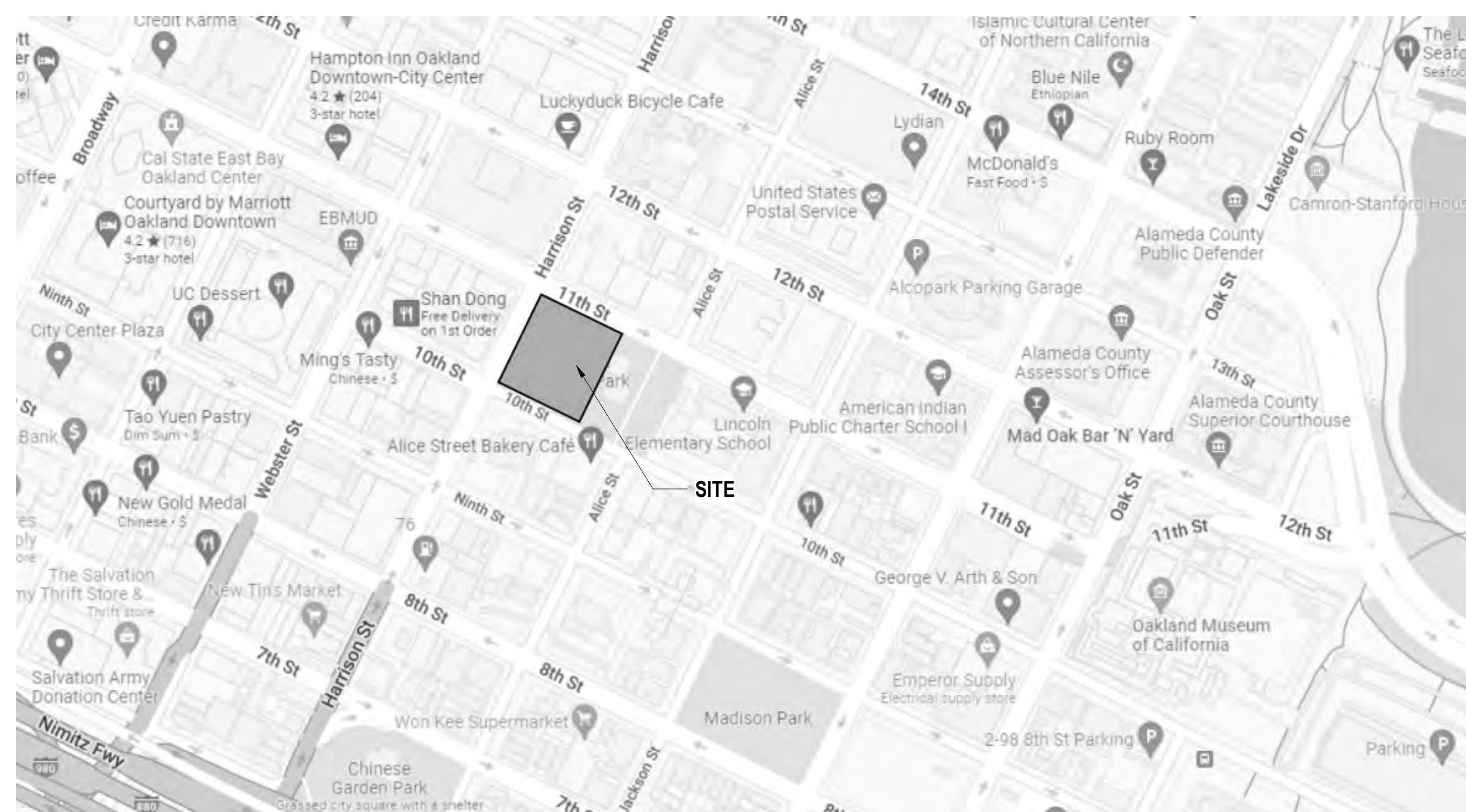
R
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A



PROJECT DATA

ASSESSOR'S PARCEL NUMBER (APS): 2-71-1
AREA ACRES: 1.39 (60,359.00 SF)
 PROPERTY IS ZONED OS (NP) OPEN SPACE NEIGHBORHOOD PARK
 URBAN PARK AND OPEN SPACE PER GENERAL PLAN
SETBACK REQUIREMENTS:
 FRONT SETBACK: 0-10 FT
 SIDE, INTERIOR SETBACK: NONE
 SIDE, CORNER SETBACK: NONE
 REAR, INTERIOR SETBACK: NONE
 REAR, CORNER SETBACK: NONE
BLDG. HEIGHT REQUIREMENTS: MAXIMUM HEIGHT: 35'
FAR REQUIREMENTS: NONE
TOTAL BUILDING FOOTPRINT AREA: 16,194 SF
TOTAL GROSS AREA: 22,221 SF

VICINITY MAP



SHEET INDEX

- A-001 COVER SHEET
- A-002 PROJECT OVERVIEW
- A-003 ABBREVIATIONS, LEGENDS AND SYMBOLS
- A-004 NOT USED IN DRC REVIEW SET
- A-005 CODE ANALYSIS / MEANS OF EGRESS LEVEL 1
- A-006 CODE ANALYSIS / MEANS OF EGRESS LEVEL 2
- A-010 NOT USED IN DRC REVIEW SET
- A-011 SIGNAGE @ TRELLIS
- C1.0 EXISTING CONDITIONS
- C3.0 GRADING PLAN
- C4.0 UTILITY PLAN
- C5.0 STORMWATER CONTROL PLAN
- L1.0 NOTES AND ABBREVIATIONS
- L2.0 TREE DISPOSITION PLAN
- L3.0 ARBORIST REPORT & TREE PROTECTION
- L3.1 MATERIAL PLAN
- L5.0 MATERIAL BOARD
- L5.1 CONSTRUCTION DETAILS
- L6.0 CONSTRUCTION DETAILS
- L9.0 PRELIMINARY PLANNING & HYDROZONE PLAN
- S-100 NOT USED IN DRC REVIEW SET
- S-101 NOT USED IN DRC REVIEW SET
- S-110 3D ISOMETRIC VIE
- S-111 3D ISOMETRIC VIE
- S-201 NOT USED IN DRC REVIEW SET
- S-202 NOT USED IN DRC REVIEW SET
- S-203 NOT USED IN DRC REVIEW SET
- S-301 NOT USED IN DRC REVIEW SET
- S-302 NOT USED IN DRC REVIEW SET
- S-303 NOT USED IN DRC REVIEW SET
- S-500 NOT USED IN DRC REVIEW SET
- S-510 NOT USED IN DRC REVIEW SET
- S-700 NOT USED IN DRC REVIEW SET
- S-701 NOT USED IN DRC REVIEW SET
- S-711 NOT USED IN DRC REVIEW SET
- S-720 NOT USED IN DRC REVIEW SET
- S-721 NOT USED IN DRC REVIEW SET
- S-722 NOT USED IN DRC REVIEW SET
- S-740 NOT USED IN DRC REVIEW SET
- A-101 SITE PLAN
- A-121 FLOOR PLAN LEVEL 1
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- A-123 ROOF PLAN
- A-131 REFLECTED CEILING PLAN LEVEL 1
- A-132 REFLECTED CEILING PLAN LEVEL 2
- A-141 FURNITURE AND DEVICES PLAN LEVEL 1
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- A-201 EXTERIOR ELEVATIONS
- A-202 EXTERIOR ELEVATIONS
- A-301 BUILDING SECTIONS
- A-302 BUILDING SECTIONS
- A-310 ENLARGED BUILDING SECTIONS
- A-311 ENLARGED BUILDING SECTIONS
- A-312 ENLARGED BUILDING SECTIONS
- A-320 ENVELOPE SYSTEM GFRC & CW-E2 - GYMNASIUM
- A-321 ENVELOPE SYSTEM GFRC & CW-E2 - MPR
- A-322 EXTERIOR SYSTEM @ GFRC & MPR-E1
- A-401 NOT USED IN DRC REVIEW SET
- A-402 NOT USED IN DRC REVIEW SET
- A-403 NOT USED IN DRC REVIEW SET
- A-404 NOT USED IN DRC REVIEW SET
- A-405 NOT USED IN DRC REVIEW SET
- A-407 NOT USED IN DRC REVIEW SET
- A-408 NOT USED IN DRC REVIEW SET
- A-411 NOT USED IN DRC REVIEW SET
- A-412 NOT USED IN DRC REVIEW SET
- A-413 NOT USED IN DRC REVIEW SET
- A-421 NOT USED IN DRC REVIEW SET
- A-431 NOT USED IN DRC REVIEW SET
- A-440 NOT USED IN DRC REVIEW SET
- A-450 NOT USED IN DRC REVIEW SET
- A-460 NOT USED IN DRC REVIEW SET
- A-490 NOT USED IN DRC REVIEW SET
- A-501 EXTERIOR DETAILS - TYPICAL ASSEMBLIES
- A-502 EXTERIOR DETAILS @ ROOF GARDEN
- A-521 TRELLIS LAYOUT AND DETAILS STUDY
- A-523 TRELLIS CONNECTIONS
- A-601 FINISH SCHEDULE
- A-602 DOOR SCHEDULE
- P-000 NOT USED IN DRC REVIEW SET
- P-121 NOT USED IN DRC REVIEW SET
- P-122 NOT USED IN DRC REVIEW SET
- P-123 NOT USED IN DRC REVIEW SET
- P-221 NOT USED IN DRC REVIEW SET
- M-000 MECHANICAL TITLE SHEET
- M-001 MECHANICAL SCHEDULE SHEET
- M-121 MECHANICAL LEVEL 1 PLAN
- M-122 MECHANICAL LEVEL 2 PLAN
- M-123 MECHANICAL ROOF PLAN
- M-701 VRV SYSTEMS DIAGRAM
- E-000 NOT USED IN DRC REVIEW SET
- E-101 ELECTRICAL SITE PLAN
- E-121 NOT USED IN DRC REVIEW SET
- E-122 NOT USED IN DRC REVIEW SET
- E-123 NOT USED IN DRC REVIEW SET
- E-221 NOT USED IN DRC REVIEW SET
- E-222 NOT USED IN DRC REVIEW SET
- E-501 NOT USED IN DRC REVIEW SET
- E-701 NOT USED IN DRC REVIEW SET

SHEET INDEX (CONT.)

Attachment -A

PROJECT TEAM

- OWNER**
 CITY OF OAKLAND
 250 FRANK OGAWA PLAZA, SUITE 4314
 OAKLAND, CA 94612
- ARCHITECT**
 SHAH KAWASAKI ARCHITECTS
 570 10TH STREET, #201
 OAKLAND, CA 94607
- ACOUSTICS**
 PAPANIMOS
 4302 REDWOOD HWY, SUITE 100
 SAN RAFAEL, CA 94903
- CEQA**
 DAVID J. POWERS & ASSOCIATES, INC
 1736 FRANKLIN STREET, SUITE 300
 OAKLAND, CA 94612
- CIVIL ENGINEERING / SURVEY**
 BKF ENGINEERS
 300 FRANK OGAWA PLAZA, SUITE 300
 OAKLAND, CA 94612
- COMMUNITY**
 TIFFANY ENG
- COST ESTIMATOR**
 CUMMINGS
 475 SANSOME STREET, SUITE 700
 SAN FRANCISCO, CA 94111
- ENCLOSURE**
 TERRACON CONSULTANTS, INC
 1981 N. BROADWAY, SUITE 385
 WALNUT CREEK, CA 94596
- FOOD SERVICE**
 MARSHALL ASSOCIATES, INC.
 3000 DANVILLE BLVD., SUITE F344
 ALAMO, CA 94507
- GEOTECHNICAL ENGINEERING**
 TERRACON CONSULTANTS, INC
 5075 COMMERCIAL CIRCLE, SUITE E
 CONCORD, CA 94520
- LANDSCAPE ARCHITECT**
 MERRILL MORRIS PARTNERS
 155 FILBERT STREET, SUITE 240/250
 OAKLAND, CA 94607
- LEED CONSULTING**
 AR GREEN CONSULTING
 333 MAIN STREET, 9B
 SAN FRANCISCO, CA 94105
- MEP ENGINEERING**
 EDESIGN INCORPORATED
 212 9TH ST, SUITE 203
 OAKLAND, CA 94607
- STRUCTURAL ENGINEERING**
 KPW STRUCTURAL ENGINEERS, INC
 55 HARRISON STREET, SUITE 550
 OAKLAND, CA 94607

CONSULTANTS

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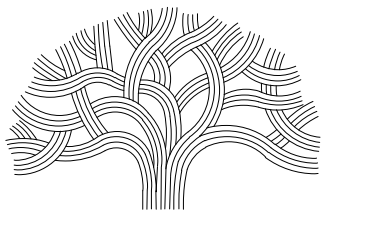
ARCHITECT

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NO.	DATE	ISSUE DESCRIPTION
	10/04/2022	DRC REVIEW

SHEET NAME	SHEET NO.
COVER SHEET	A-001
	SKA Project Number: 21703

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CITY OF OAKLAND
 BUREAU OF ENGINEERING AND CONSTRUCTION
 250 FRANK H. OGAWA PLAZA, SUITE 4314
 OAKLAND, CA 94612
 (510) 238-3437
 FAX (510) 238-7227

PLANS FOR THE CONSTRUCTION OF
**Lincoln Square
 Recreation Center**
 250 10th Street, Oakland, CA 94607

NOTE: If this drawing is not 30"x42" it has been revised from its original size and the scales noted on drawing/details are no longer applicable.

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Architect	Consultants
S H A H KAWASAKI ARCHITECTS	
<small>570 10th Street, Suite 201 Oakland, CA 94607</small>	

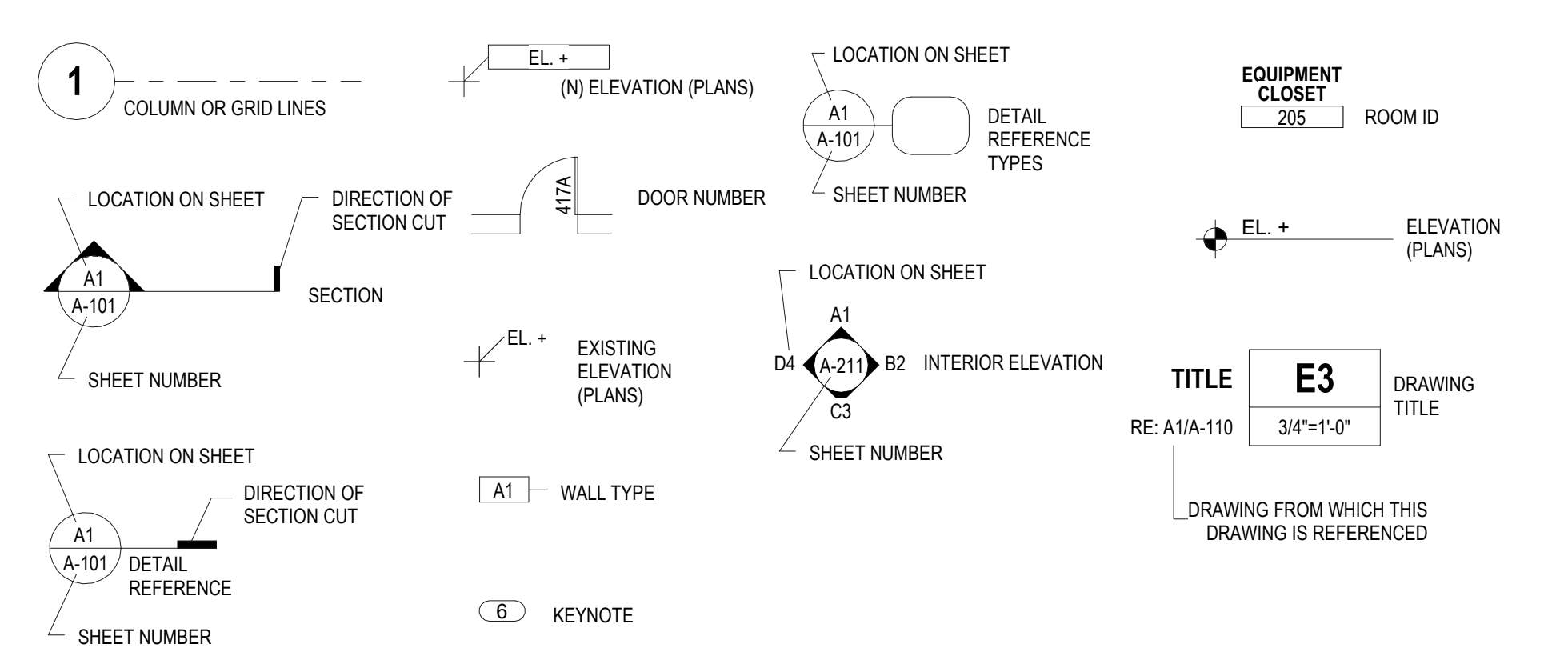
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	Sheet No. A-002

SKA Project Number: 21703

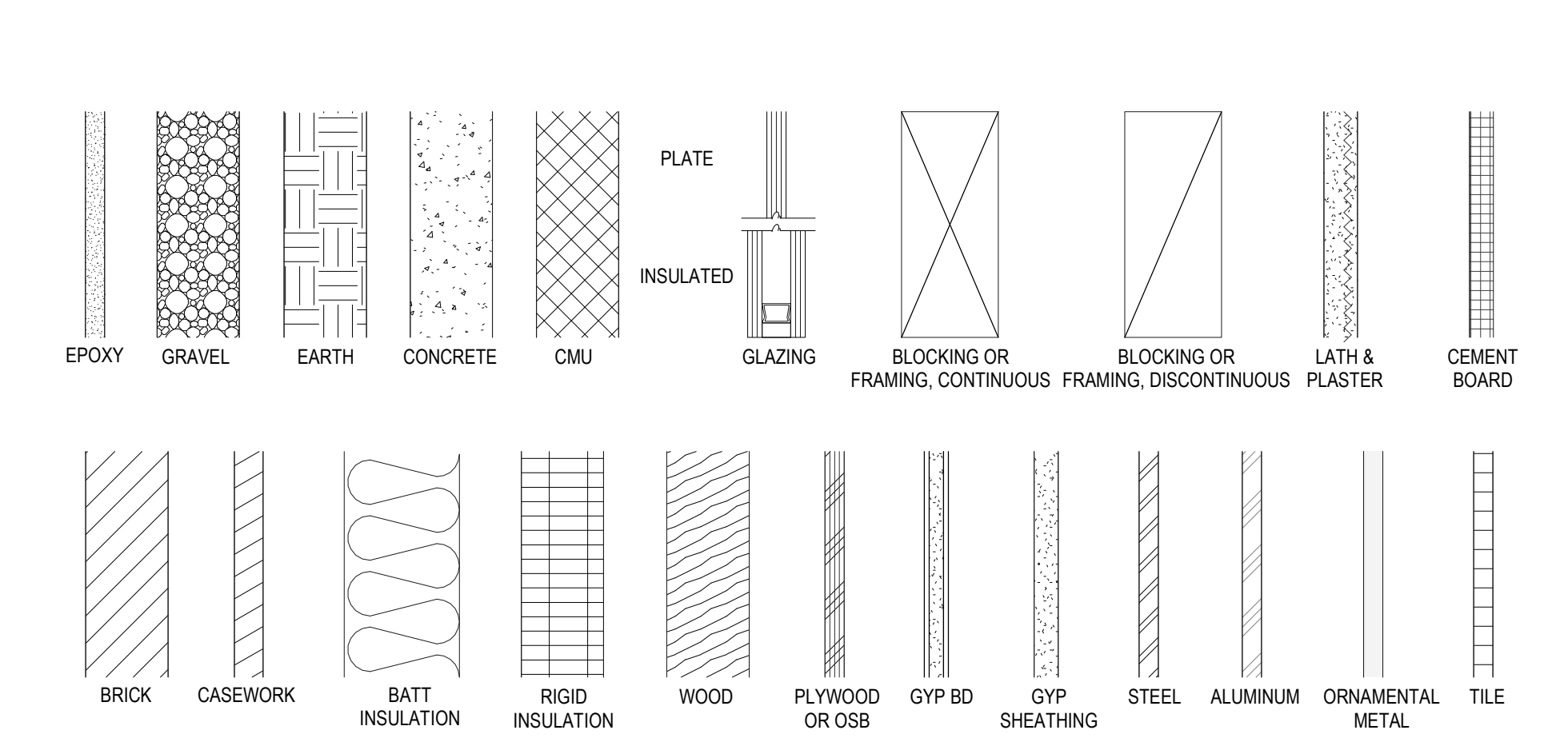
ABBREVIATIONS

R	ALIGN ANGLE (DEGREES)	AND	EXISTING	NEW	AT	ANCHOR BOLT	ACOUSTICAL	ADDITIONAL	ADJ ADJACENT/ADJUSTABLE	AFF ABOVE FINISH FLOOR	ALT ALTERNATE	ALUM ALUMINUM	ANOD ANODIZED	APPROX APPROXIMATELY	ARCH ARCHITECT (URAL)	ASPH ASPHALT	BD BOARD	BN BETWEEN	BEV BEVELED	BLDG BUILDING	BLKG BLOCKING	BM BEAM	BO BOTTOM (OF)	CB CATCH BASIN	CEM CEMENT	CER CERAMIC	CFM COLD FORMED METAL FRAMING	CG CORNER GUARD	CP CAST-IN-PLACE	CL CENTER LINE	CLG CEILING	CLR CLEAR	CMU CONCRETE MASONRY UNIT	CNTR COUNTER	COL COLUMN	CONC CONCRETE	CR CARD READER	CT CERAMIC TILE	CTR CENTER	CTSK COUNTERSINK	DEG DEGREES	DEMO DEMOLITION	DIA DIAMETER	DIM DIMENSION	DSP DISPENSER DISPOSAL	DN DOWN	DTL DETAIL	DWG(S) DRAWING(S)	EA EACH	EB EXPOSED BOLT	EL ELEVATION	ELEC ELECTRICAL	EMER EMERGENCY	EXT EXTERIOR PAINT	ENCL ENCLOSED ENCLOSURE	ENTR ENTRANCE	EP ELECTRIC PANEL BOARD	EQ EQUAL	EQUIP EQUIPMENT	ETC ETCETERA	EXT EXTERIOR	EXTR EXTRUDED	FF FACE TO FACE	FA FIRE ALARM	FAB FABRICATE	FA FIRE ALARM PANEL	FB FLAT BAR	FD FLOOR DRAIN	FE FIRE EXTINGUISHER	FF FINISH FLOOR	FN FINISHED	FXT FIXTURE	FL FLOOR LINE	FLASH FLASHING	FLR FLOOR	FLUOR FLUORESCENT	FO FACE OF	FOC FACE OF CONCRETE	FOF FACE OF FINISH	FOIC FURNISHED BY OWNER INSTALLED BY CONTRACTOR	IN INCH	FOS FACE OF STUD	FRMC FRAMING	FT FOOT/FEET	FTG FOOTING	GA GAUGE	GALV GALVANIZED	GB GRAB BAR	GB-24 24" LONG GRAB BAR	GB-36 36" LONG GRAB BAR	GB-42 42" LONG GRAB BAR	GC GENERAL CONTRACTOR	GRI GROUND FAULT INTERRUPT	GL GLASS/ GLAZING	GND GROUND	GSM GALVANIZED SHEET METAL	GWB GYPSUM WALL BOARD	GYP GYPSUM	HIC HANDICAPPED	HDR HEADER	HDWD HARDWOOD	HDWE HARDWARE	HM HOLLOW METAL	HORIZ HORIZONTAL	HT HEIGHT	ID INSIDE DIAMETER/ DIMENSION	IN INCH	INFO INFORMATION	INT INTERIOR	INV INVERT	J-BOX JUNCTION BOX	KO KNOCKOUT	KICK KICK PLATE	LN LINEAR	LL LIVE LOAD	LP LOW POINT	LST LIGHT	LTG LIGHTING	LVR LOUVER	LWC LIGHTWEIGHT CONCRETE	MAS MASONRY	MATL MATERIAL	MAX MAXIMUM	MECH MECHANICAL	MFR MANUFACTURER	MIN MINIMUM	MIRR MIRROR	MISC MISCELLANEOUS	MO MASONRY OPENING	MTD MOUNTED	MTL METAL	MULL MULLION	(N) NEW	N/A NOT APPLICABLE	NIC NOT IN CONTRACT	NO NUMBER	NOM NOMINAL	NTS NOT TO SCALE	OA OVERALL	OC ON CENTER	OD OUTSIDE DIAMETER DIMENSION	OFOI OWNER FURNISHED OWNER INSTALLED	OFI OWNER FURNISHED	OFCI CONTRACTOR INSTALLED	OH OPPOSITE HAND	OPNG OPENING	P PROPERTY LINE	PC PRECAST CONCRETE	PERF PERFORATED	PL PLATE	PLAM PLASTIC LAMINATE	PLAS PLASTER	PLY PLYWOOD	PR PAIR	PT POINT/ PRESSURE TREATED	PTD PAINT/ PAINTED	R&S ROD & SHELF	RAD RADIUS	RB RUBBER BASE/ RESILIENT BASE	RCP REFLECTED CEILING PLAN	RDWD REDWOOD	REF REFERENCE	REQ'D REQUIRED	REV REVISION	ROOM ROOM	RO ROUGH OPENING	RWL RAIN WATER LEADER	S/S STAINLESS STEEL	SAD SEE ARCHITECTURAL DRAWINGS	SCD SEE CIVIL DRAWINGS	SCHED SCHEDULE	SCW SOLID CORE WOOD	SED SEE ELECTRICAL DRAWINGS	SF SOFT SQUARE FOOT	SHT SHEET	SIM SIMILAR	SLD SEE LANDSCAPE DRAWINGS	SMD SEE MECHANICAL DRAWINGS	SMS SHEET METAL SCREW	SPD SEE PLUMBING DRAWINGS	SPEC SPECIFICATION	SPKR SPEAKER	SQ SQUARE	SSD SEE STRUCTURAL DRAWINGS	SST STAINLESS STEEL	STC SOUND TRANSMISSION GLASS	STD STANDARD	STL STEEL	STOR STORAGE	STRUCT STRUCTURE/ STRUCTURAL	STS SELF-TAPPING SCREW	SURR SURROUND	SUSP SUSPENDED	TBD TO BE DETERMINED	T&G TONGUE & GROOVE	THRU THROUGH	TO TOP OF	TOB TOP OF BEAM	TOC TOP OF CONCRETE	TOD TOP OF DECK	TOP TOP OF PLATE OR PARAPET	TOS TOP OF SLAB	TOW TOP OF WALL	TPD TOILET PAPER DISPENSER	TYP TYPICAL	UBC UNIFORM BUILDING CODE	UL UNDERWRITERS LABORATORIES INC.	UNF UNFINISHED	UNL UNLESS OTHERWISE NOTED	UTIL UTILITY	V VOLTS	VAR VARIES	VERT VERTICAL	VIF VERIFY IN FIELD	W WITH	W/O WITHOUT	WC WATER CLOSET	WD WOOD	WF WIDE FLANGE (STRUCTURAL STEEL)	WINDW WINDOW	WO WHERE OCCURS	WP WORK POINT/ WATERPROOF (NG)	WSCOT WAINSCOT	X BY
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MATERIALS



SYMBOLS



CITY OF OAKLAND
 BUREAU OF ENGINEERING AND CONSTRUCTION
 250 FRANK H. OGAWA PLAZA, SUITE 4314
 OAKLAND, CA 94612
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PLANS FOR THE CONSTRUCTION OF
Lincoln Square Recreation Center
 250 10th Street, Oakland, CA 94607

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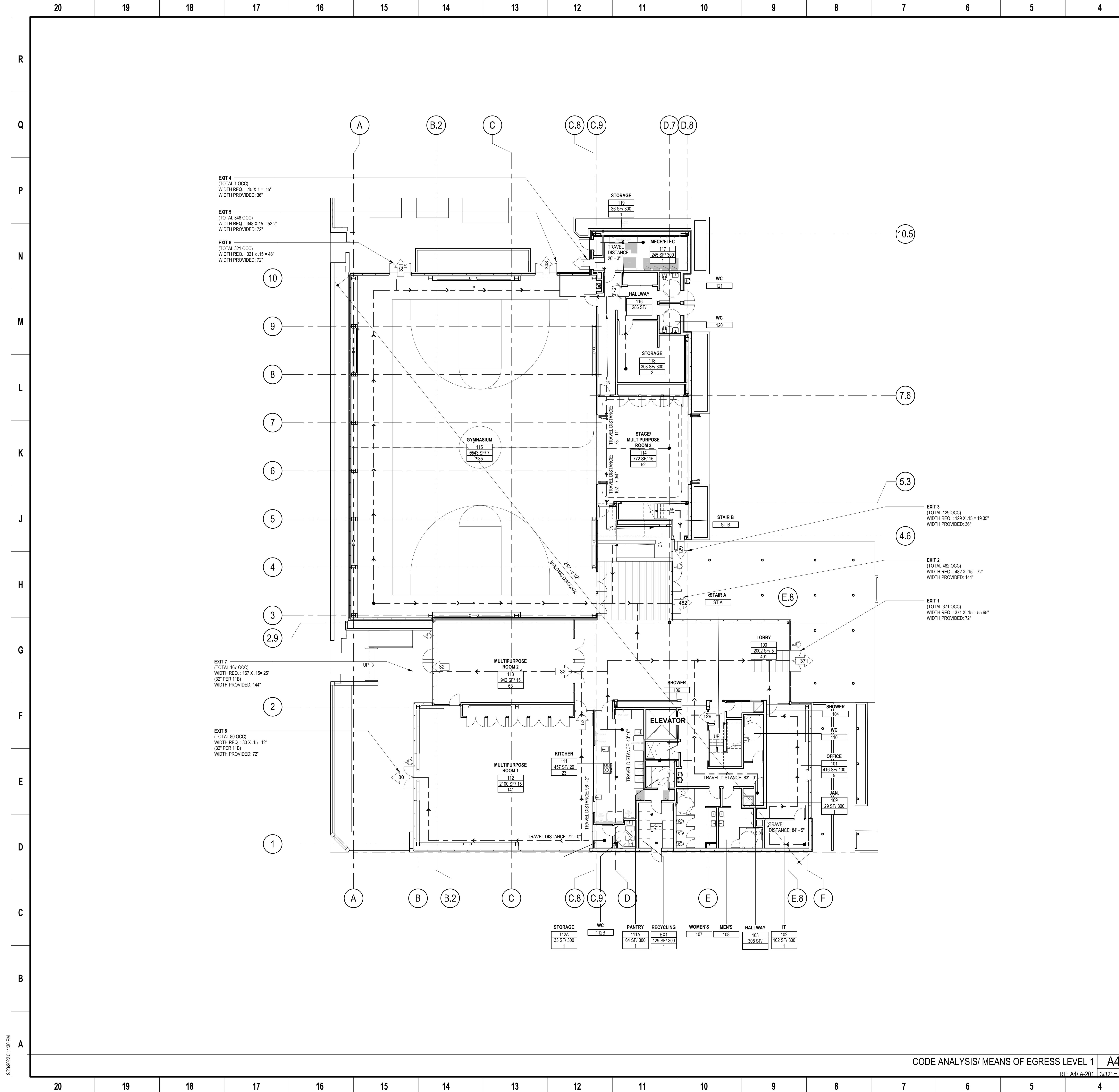
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10/04/2022	DRC REVIEW	

Architect	Consultants
S H A H KAWASAKI ARCHITECTS	
570 10th Street, Suite 201 Oakland, CA 94607	

Stamp	Sheet Name
	ABBREVIATIONS, LEGENDS, AND SYMBOLS
	Sheet No.
	A-003
SKA Project Number: 21703	



EXIT 4
(TOTAL 1 OCC)
WIDTH REQ. : 15 X 1 = 15'
WIDTH PROVIDED: 36"

EXIT 5
(TOTAL 348 OCC)
WIDTH REQ. : 348 X 15 = 52.2'
WIDTH PROVIDED: 72"

EXIT 6
(TOTAL 321 OCC)
WIDTH REQ. : 321 X 15 = 48'
WIDTH PROVIDED: 72"

EXIT 7
(TOTAL 167 OCC)
WIDTH REQ. : 167 X 15 = 25'
(32" PER 118)
WIDTH PROVIDED: 144"

EXIT 8
(TOTAL 80 OCC)
WIDTH REQ. : 80 X 15 = 12'
(32" PER 118)
WIDTH PROVIDED: 72"

10.5

7.6

5.3

4.6

EXIT 3
(TOTAL 128 OCC)
WIDTH REQ. : 128 X 15 = 19.35'
WIDTH PROVIDED: 36"

EXIT 2
(TOTAL 482 OCC)
WIDTH REQ. : 482 X 15 = 72'
WIDTH PROVIDED: 144"

EXIT 1
(TOTAL 371 OCC)
WIDTH REQ. : 371 X 15 = 55.65'
WIDTH PROVIDED: 72"

GENERAL NOTES

KEY LEGEND

KEY LEGEND

- 15X # ROOM NUMBER
- SF/100 # AREA DIVIDED BY LOAD FACTOR
- # MAX. OCCUPANT LOAD
- # OCCUPANT EXIT LOAD
- PATH OF EGRESS
- EXIT LIGHT, SED
- 5'-0" DIAMETER ACCESSIBLE CLEAR TURNING AREA AND 30" X 48" CLEAR FLOOR SPACE
- CLEAR FLOOR AREA AT DOORS
- ACCESSIBLE BUILDING ENTRANCE

OCCUPANCY LOAD CALCULATIONS LEVEL 1

RM NUMBER	RM NAME	OCCUPANCY TYPE	AREA	LOAD FACTOR	OCCUPANTS
100	ROOF GARDEN	A-3	2187 SF	15 SF	146
100	LOBBY	A-3	2002 SF	5 SF	401
101	LOBBY	A-3	416 SF	100 SF	5
102	IT	A-3	102 SF	300 SF	1
103	HALLWAY	A-3	308 SF		
104	SHOWER	A-3	39 SF	0 SF	
106	SHOWER	A-3	49 SF	0 SF	
107	WOMEN'S	A-3	136 SF	0 SF	
108	MENS	A-3	159 SF	0 SF	
109	JAN.	A-3	29 SF	300 SF	1
110	WC	A-3	76 SF	0 SF	
111	KITCHEN	A-3	457 SF	20 SF	23
111A	PANTRY	A-3	64 SF	300 SF	1
112	MULTIPURPOSE ROOM 1	A-3	2100 SF	15 SF	141
112A	STORAGE	A-3	33 SF	300 SF	1
112B	WC	A-3	43 SF	0 SF	
113	MULTIPURPOSE ROOM 2	A-3	942 SF	15 SF	63
114	STAGE/MULTIPURPOSE ROOM 3	A-3	772 SF	15 SF	52
114A	STORAGE	A-3	58 SF	300 SF	1
115	GYMNASIUM	A-3	6643 SF	7 SF	935
116	HALLWAY	A-3	286 SF		
117	MECH/ELEC	A-3	245 SF	300 SF	1
117A	FIRE RISER	A-3	13 SF		
118	STORAGE	A-3	303 SF	300 SF	2
119	STORAGE	A-3	36 SF	300 SF	1
120	WC	A-3	52 SF	0 SF	
121	WC	A-3	52 SF	0 SF	
27			17560 SF		1775



PLANS FOR THE CONSTRUCTION OF
Lincoln Square Recreation Center
250 10th Street, Oakland, CA 94607

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Architect
S H A H KAWASAKI ARCHITECTS
570 10th Street, Suite 201
Oakland, CA 94607

Consultants
Sheet Name
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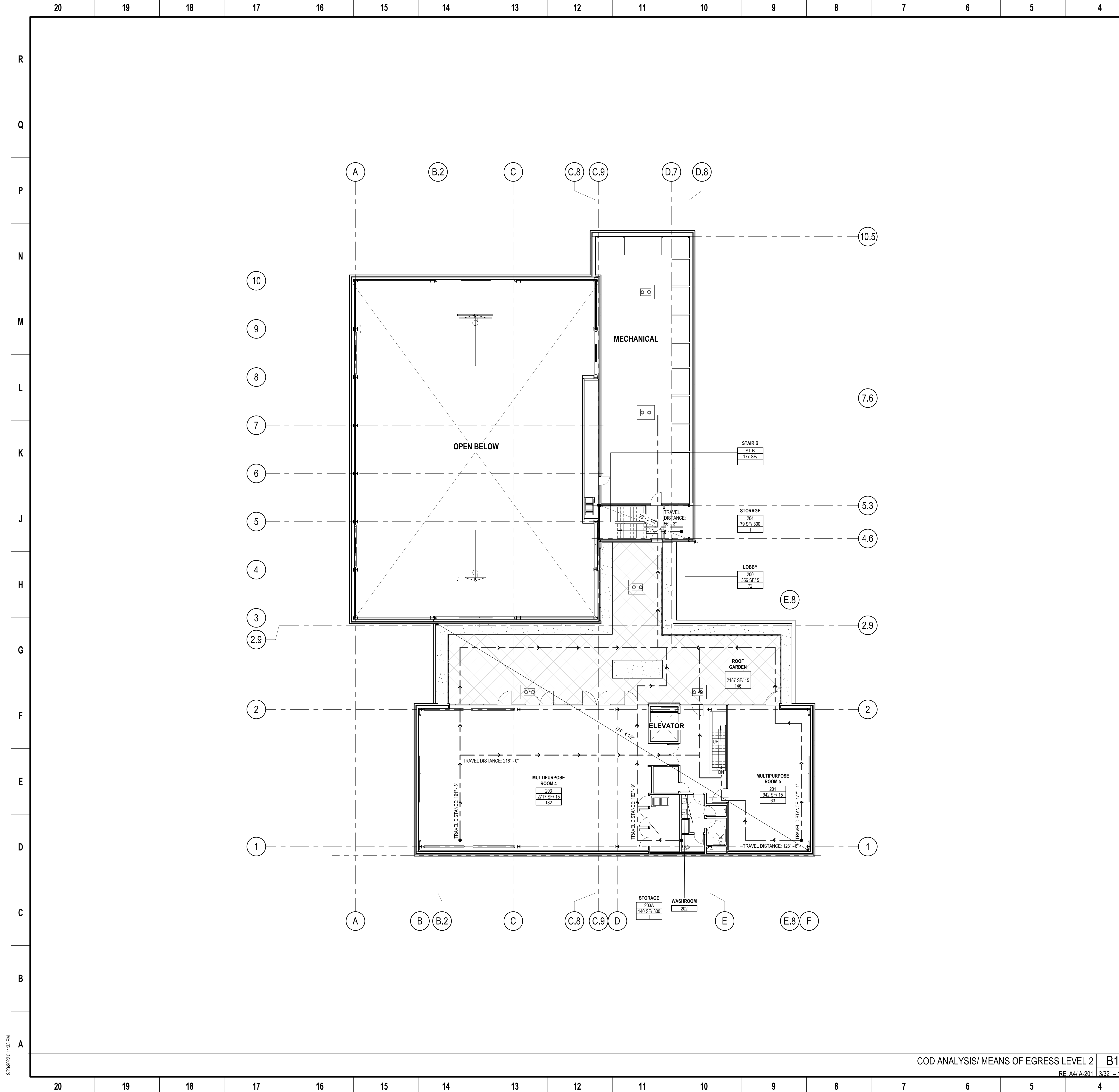
Sheet No.
A-005

SKA Project Number: 21703

CODE ANALYSIS/ MEANS OF EGRESS LEVEL 1 **A4**

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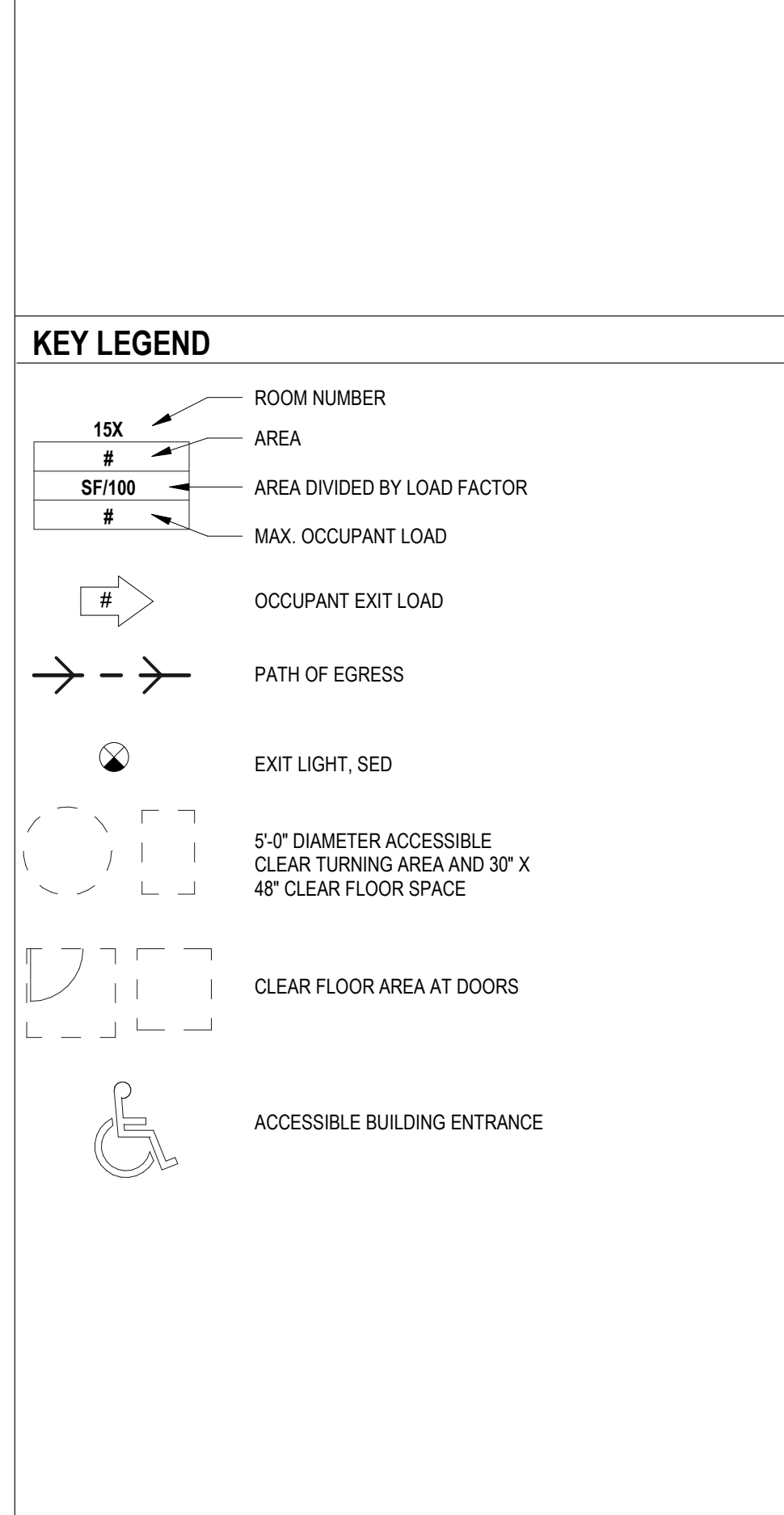
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GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF OAKLAND SPECIFICATIONS AND THE CALIFORNIA BUILDING CODE.

KEY LEGEND



OCCUPANCY LOAD CALCULATIONS LEVEL 2

RM. NUMBER	RM. NAME	OCCUPANCY TYPE	AREA	LOAD FACTOR	OCCUPANTS
200A	ELEV. MACHINE ROOM		54 SF		
201	MULTIPURPOSE ROOM 5	A-3	942 SF	15 SF	63
202	WASHROOM	A-3	61 SF	24 SF	3
202A	WC	A-3	17 SF		
202B	WC	A-3	43 SF		
202C	WC	A-3	33 SF		
203	MULTIPURPOSE ROOM 4	A-3	2717 SF	15 SF	182
203A	STORAGE	A-3	140 SF	300 SF	1
204	STORAGE	A-3	79 SF	300 SF	1
EL1	ELEVATOR	A-3	67 SF		
EL1	ELEVATOR	A-3	73 SF		
EX1	RECYCLING	A-3	129 SF	300 SF	1
ST A	STAIR A	A-3	116 SF		
ST B	STAIR B	A-3	110 SF		
ST C	STAIR C	A-3	117 SF		
ST D	STAIR D	A-3	117 SF		
ST E	STAIR E	A-3	117 SF		
ST F	STAIR F	A-3	117 SF		
ST G	STAIR G	A-3	117 SF		
ST H	STAIR H	A-3	117 SF		
ST I	STAIR I	A-3	117 SF		
ST J	STAIR J	A-3	117 SF		
ST K	STAIR K	A-3	117 SF		
ST L	STAIR L	A-3	117 SF		
ST M	STAIR M	A-3	117 SF		
ST N	STAIR N	A-3	117 SF		
ST O	STAIR O	A-3	117 SF		
ST P	STAIR P	A-3	117 SF		
ST Q	STAIR Q	A-3	117 SF		
ST R	STAIR R	A-3	117 SF		
ST S	STAIR S	A-3	117 SF		
ST T	STAIR T	A-3	117 SF		
ST U	STAIR U	A-3	117 SF		
ST V	STAIR V	A-3	117 SF		
ST W	STAIR W	A-3	117 SF		
ST X	STAIR X	A-3	117 SF		
ST Y	STAIR Y	A-3	117 SF		
ST Z	STAIR Z	A-3	117 SF		
15			4757 SF		251



PLANS FOR THE CONSTRUCTION OF
Lincoln Square Recreation Center
250 10th Street, Oakland, CA 94607

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NO.	DATE	ISSUE DESCRIPTION
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10/04/2022	DRC REVIEW	

Architect
S H A H KAWASAKI ARCHITECTS
570 10th Street, Suite 201
Oakland, CA 94607

Stamp
Sheet Name
CODE ANALYSIS/ MEANS OF EGRESS LEVEL 2

Sheet No.
A-006

SKA Project Number: 21703

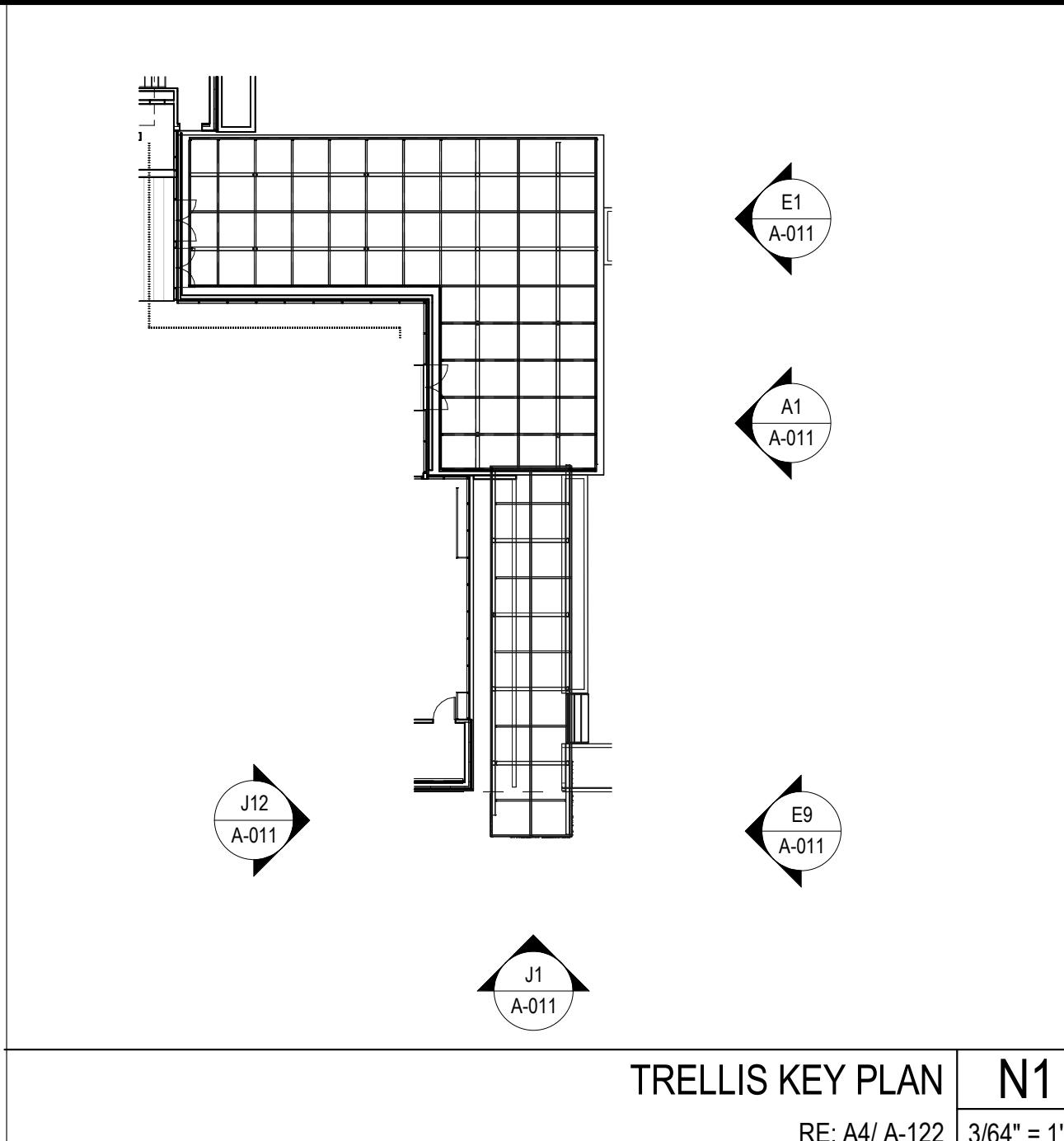
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RE: A4/A-201 3/32" = 1'-0"

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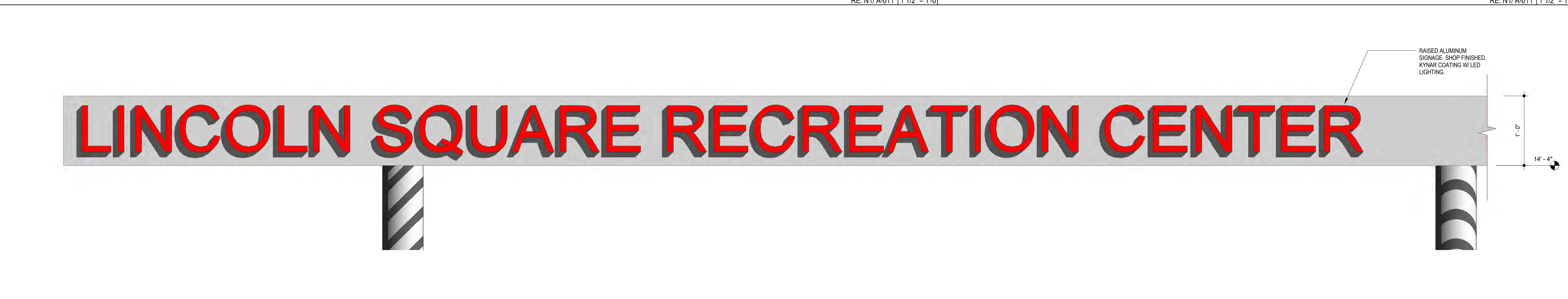
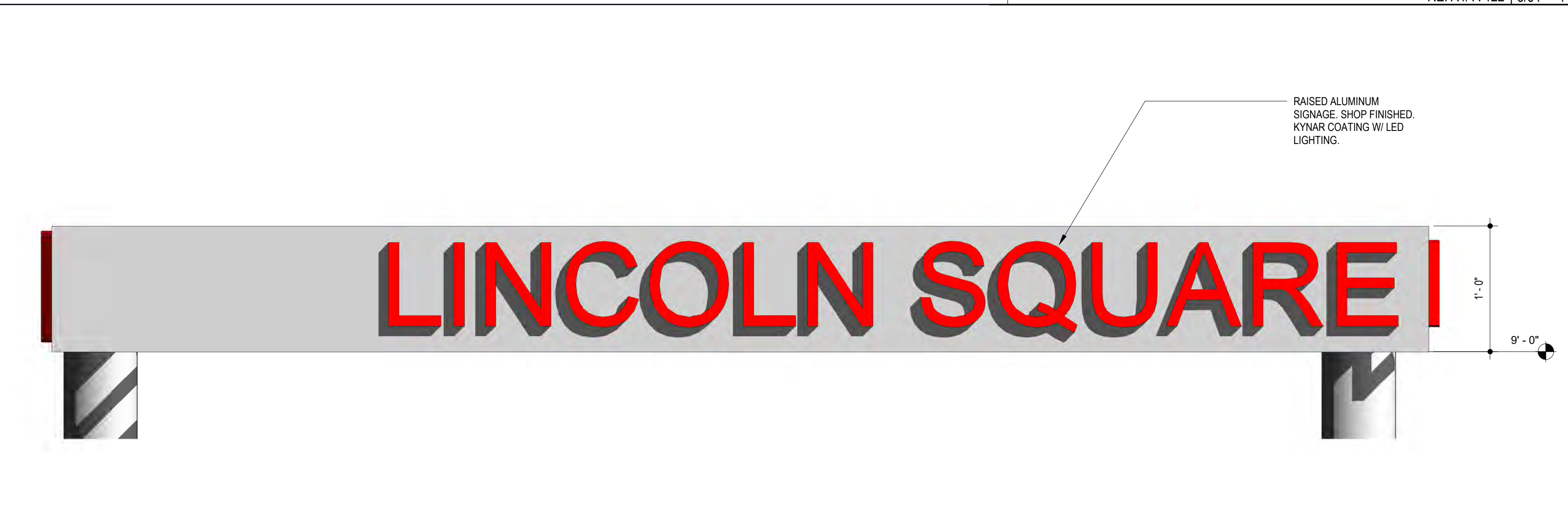
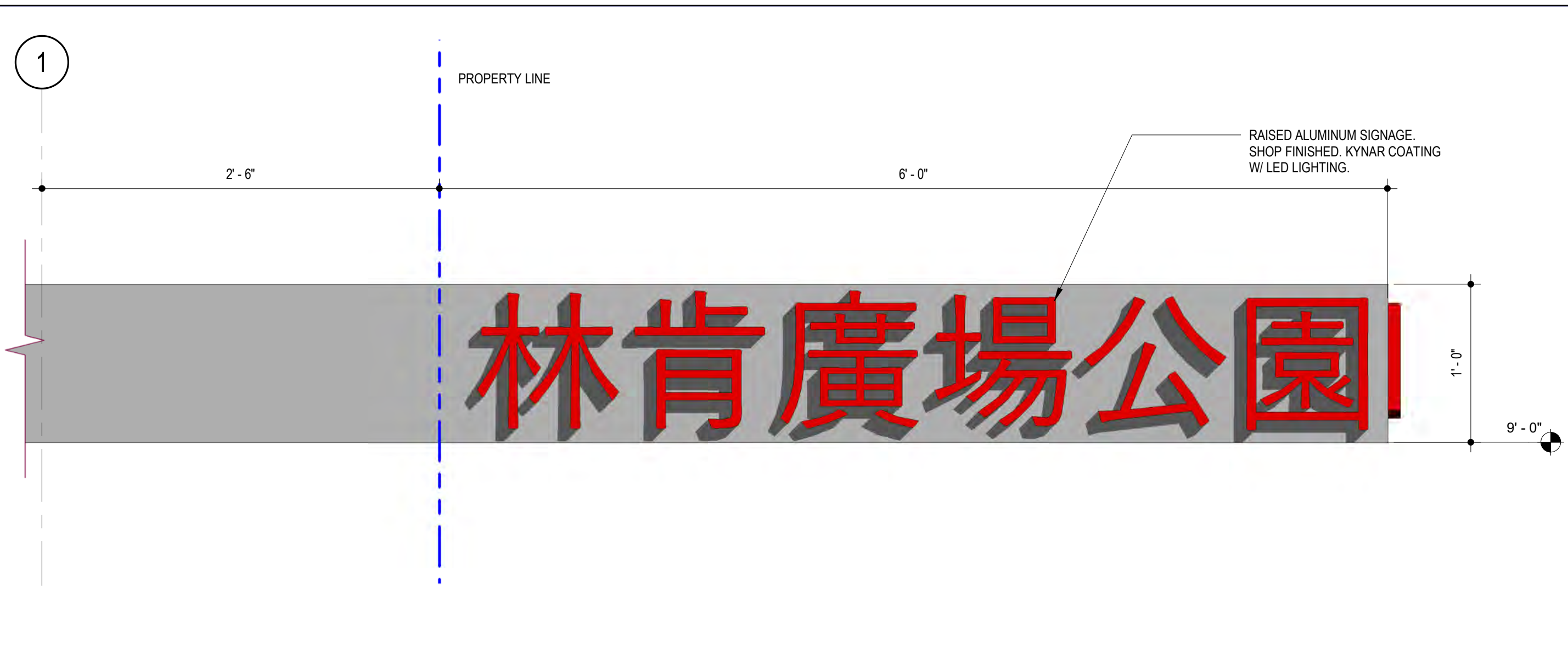
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CITY OF OAKLAND
BUREAU OF ENGINEERING AND CONSTRUCTION
250 FRANK H. OGAWA PLAZA, SUITE 4314
OAKLAND, CA 94612
(510) 238-3437
FAX (510) 238-7227

PLANS FOR THE CONSTRUCTION OF
Lincoln Square Recreation Center
250 10th Street, Oakland, CA 94607



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Architect: **S H A H KAWASAKI ARCHITECTS**
570 10th Street, Suite 201
Oakland, CA 94607

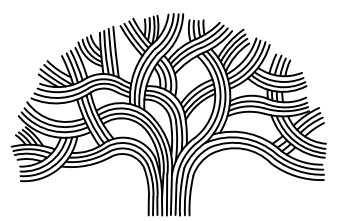
Consultants: **SIGNAGE @ TRELLIS**

Sheet No. **A-011**

SKA Project Number: 21703

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PLANS FOR THE CONSTRUCTION OF
LINCOLN RECREATION CENTER
RENOVATION/EXPANSION
 250 10TH STREET,
 OAKLAND, CA 94607

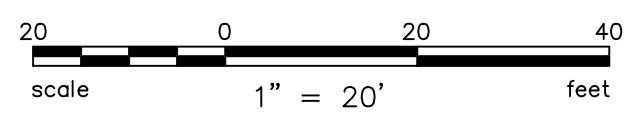
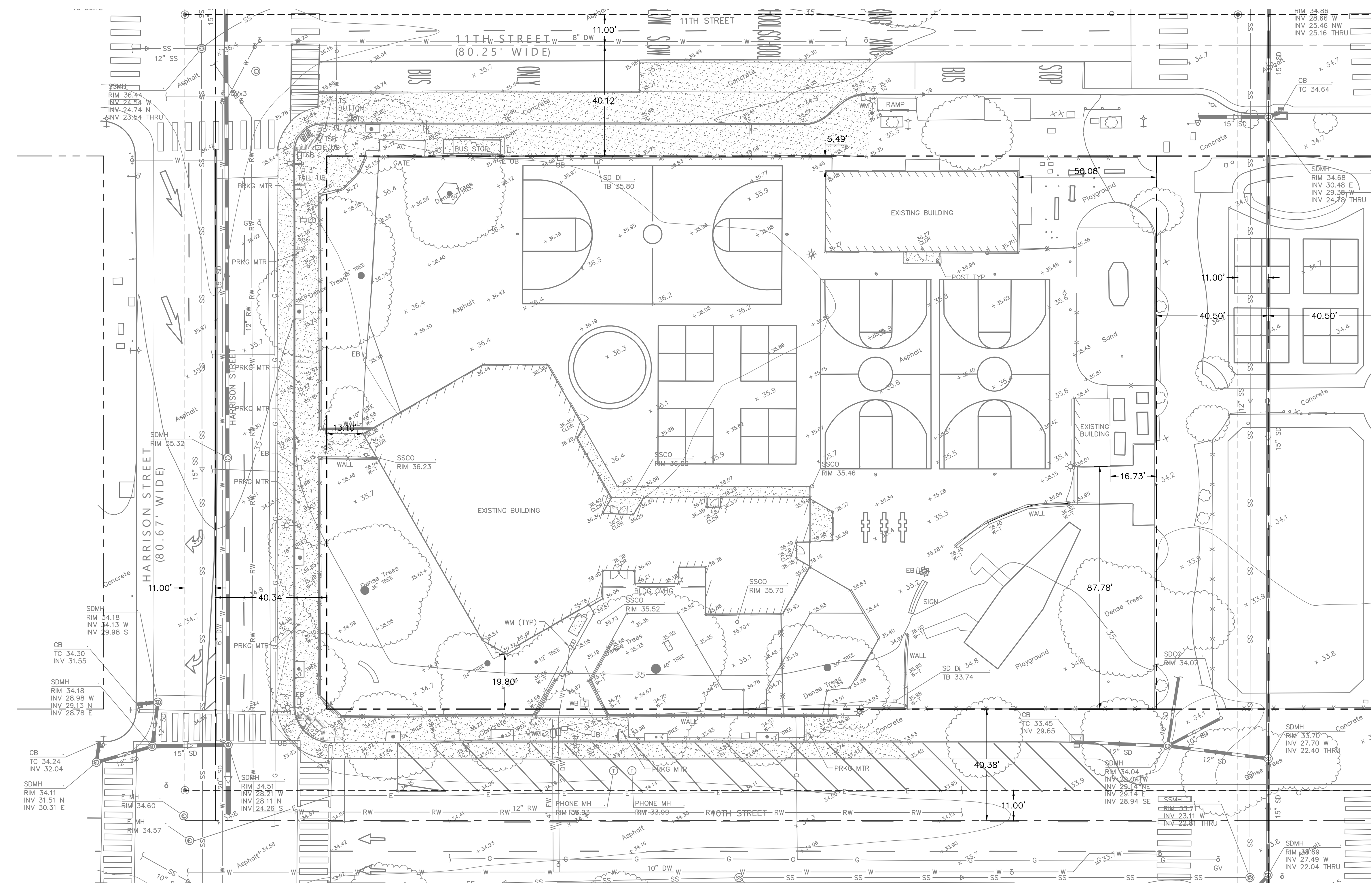
- LEGEND:**
- FOUND MONUMENT
 - ⊕ WATER VALVE
 - ⊕ FIRE DEPARTMENT CONNECTION (FDC)
 - ⊕ SIGN
 - ⊕ STREET LIGHT
 - ⊕ LIGHT POLE
 - TREE
 - PROPERTY LINE
 - ADJOINER PROPERTY LINE
 - CENTER LINE
 - SURVEY TIE
 - FENCE
 - STORM DRAIN
 - SANITARY SEWER
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND GAS LINE
 - CONCRETE
 - DETECTABLE WARNING

- ABBREVIATIONS:**
- APN ASSESSOR'S PARCEL NUMBER
 - BLDG BUILDING
 - CB CATCH BASIN
 - CO CLEANOUT
 - DI DROP INLET
 - E ELECTRIC
 - G GAS
 - GV GAS VALVE
 - INV INVERT
 - MH MANHOLE
 - MTR METER
 - OVHG OVERHANG
 - PRKG PARKING
 - SD STORM DRAIN
 - SDCO STORM DRAIN CLEANOUT
 - SDMH STORM DRAIN MANHOLE
 - SS SANITARY SEWER
 - SSCO SANITARY SEWER CLEAN OUT
 - SSMH STORM DRAIN MANHOLE
 - TB TOP OF BOX
 - TC TOP FACE OF CURB
 - TYP TYPICAL
 - UB UTILITY BOX
 - WB WATER BOX
 - WM WATER METER
 - W-T TOP OF WALL

- NOTES:**
- THE BOUNDARY SHOWN HEREON IS BASED ON FIELD MEASUREMENTS AND RECORD INFORMATION AND IS WITHOUT THE BENEFIT OF A TITLE COMMITMENT. THE SURVEYOR ASSUMES NO LIABILITY FOR TITLE RESEARCH.
 - TOPOGRAPHY SHOWN HEREON WAS COMPILED BY PHOTOGRAMMETRIC METHODS AND FIELD SURVEYS PERFORMED IN OCTOBER OF 2021. THE DATE OF PHOTOGRAPHY WAS SEPTEMBER 22, 2021.
 - ALL UNITS ARE IN US SURVEY DEET AND DECIMALS THEREOF.
 - ALL TIES ARE PERPENDICULAR UNLESS NOTED OTHERWISE.

BENCHMARK:
 ELEVATIONS SHOWN HEREON ARE BASED ON A FOUND CITY OF OAKLAND BENCHMARK, DESIGNATION 25-A-16, BEING A STANDARD OAKLAND DISC IN A WELL AT THE NORTHEAST CORNER OF 7TH STREET AND HARRISON STREET, HAVING A PUBLISHED ELEVATION OF 25.812 FEET. DATUM = CITY OF OAKLAND.

UTILITY NOTE:
 THE UTILITY LINES SHOWN ON THIS PLAN ARE DERIVED FROM RECORD DATA AND SURFACE OBSERVATION. ACTUAL LOCATION AND SIZE TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.



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Architect:
S H A H KAWASAKI ARCHITECTS
 970 5th Street, Suite 201
 Oakland, CA 94607

Stamp: REGISTERED PROFESSIONAL ARCHITECT, No. 64607, CIVIL, 09/23/2022

Sheet Name: **EXISTING CONDITIONS**

Sheet No.: **C1.0**

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PLANS FOR THE CONSTRUCTION OF
**LINCOLN RECREATION CENTER
RENOVATION/EXPANSION**
250 10TH STREET,
OAKLAND, CA 94607

DEMOLITION PLAN LEGEND:

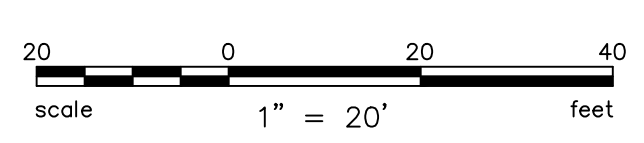
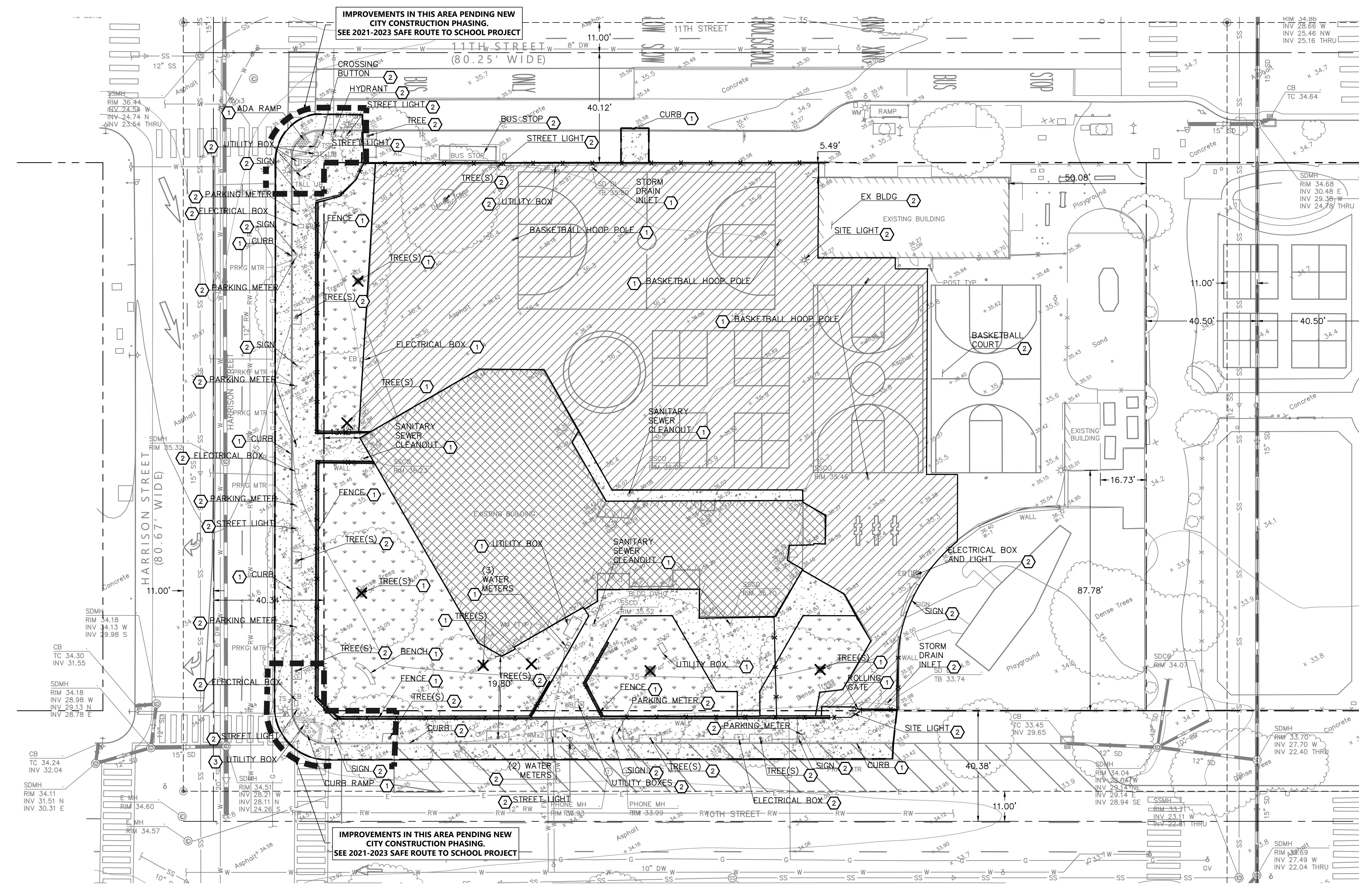
- SAWCUT LINE
- REMOVE UTILITY LINE
- REMOVE FENCE
- REMOVE (E) CONCRETE SIDEWALK, CONCRETE CURB AND CONCRETE GUTTER WITHIN THE PUBLIC RIGHT OF WAY AND CONCRETE PAVEMENT ON PRIVATE PROPERTY. ALL SUBGRADE UTILITIES SHALL BE PROTECTED UNLESS EXPLICITLY STATED TO BE REMOVED.
- REMOVE (E) BUILDING. SEE ARCHITECTURAL PLANS.
- REMOVE (E) AC PAVEMENT
- CLEAR AND GRUB (E) LANDSCAPE
- REMOVE (E) TREE

KEYNOTES:

- TO BE REMOVED.
- TO BE PROTECTED.
- TO BE REPLACED/RELOCATED.

DEMOLITION PLAN NOTES:

1. CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK PRIOR TO DEMOLITION ACTIVITIES.
2. CONTRACTOR SHALL RELOCATE ANY "LIVE" ELECTRIC, WATER, OR TELEPHONE/DATA LINES PRIOR TO DEMOLITION ACTIVITIES.
3. ANY SANITARY OR STORM SEWERS FOUND TO BE CONVEYING FLOWS THROUGH THE SITE SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CIVIL ENGINEER PRIOR TO DEMOLITION.
4. BEFORE DEMOLITION AND CONSTRUCTION COMMENCES CONTRACTOR TO VISIT SITE AND VERIFY EXISTING CONDITIONS.
5. THE CONTRACTOR SHALL RESTORE ALL EXISTING WALLS, FENCES, SERVICES, UTILITIES, OR OTHER FEATURES OF WHATEVER NATURE WHICH ARE DAMAGED, DUE TO CONTRACTOR'S WORK, TO THEIR PREVIOUS CONDITION UNLESS OTHERWISE NOTED.
6. ALL WORK WITHIN PUBLIC RIGHT OF WAY SHALL CONFORM TO CITY OF CLAYTON STANDARD PLANS AND SPECIFICATIONS.
7. CONTACT FACILITY OWNER AND OBTAIN NECESSARY PERMISSION BEFORE REMOVING, RELOCATING, REALIGNING AND/OR ADJUSTING ANY UTILITY OR UTILITY COVERS AND ETC.
8. AT LEAST 48 HOURS PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) BY CALLING 1-800-227-2600, OR 811, IN ACCORDANCE WITH CALIFORNIA STATE LAW.
9. ITEMS SHOWN TO BE REMOVED ARE INDICATED PER INFORMATION AVAILABLE TO THE ENGINEER. IT IS THE INTENTION OF THESE PLANS TO REMOVE ALL EXISTING UTILITIES AND IMPROVEMENTS, UNLESS OTHERWISE NOTED, TO ALLOW CONSTRUCTION OF THE PROPOSED IMPROVEMENTS, WHETHER INDICATED ON THE PLAN OR NOT, AND TO ALLOW FUTURE GRADING AND CONSTRUCTION OF IMPROVEMENTS TO OCCUR. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE SITE AND THE PROPOSED IMPROVEMENT PLANS PRIOR TO BID.
10. LIMIT OF DEMOLITION SHOWN IS APPROXIMATE. REFER TO THE IMPROVEMENT PLANS FOR LIMITS OF IMPROVEMENT WORK PRIOR TO DEMOLITION.
11. SAWCUTTING, TRENCH EXCAVATION, AND DEMOLITION ASSOCIATED WITH PROPOSED UNDERGROUND UTILITY IMPROVEMENTS IS NOT SHOWN ON THIS PLAN. REFER TO UTILITY PLAN FOR PROPOSED UTILITY INFORMATION. REPLACE PLANTING AND PAVING IN-KIND TO MATCH EXISTING WHERE EXISTING CONDITIONS ARE DISRUPTED FOR NEW WORK. PAVING SHALL BE REMOVED TO NEAREST CONTROL OR CONSTRUCTION JOINT.



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Architect:
**S H A H
KAWASAKI
ARCHITECTS**
970 5th Street, Suite 201
Oakland, CA 94607

Consultants:

Stamp:


Sheet Name:
**DEMOLITION
PLAN**

Sheet No.:
C2.0



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PLANS FOR THE CONSTRUCTION OF
**LINCOLN RECREATION CENTER
RENOVATION/EXPANSION**
250 10TH STREET,
OAKLAND, CA 94607

HORIZONTAL CONTROL PLAN LEGEND:

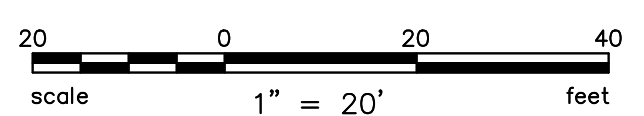
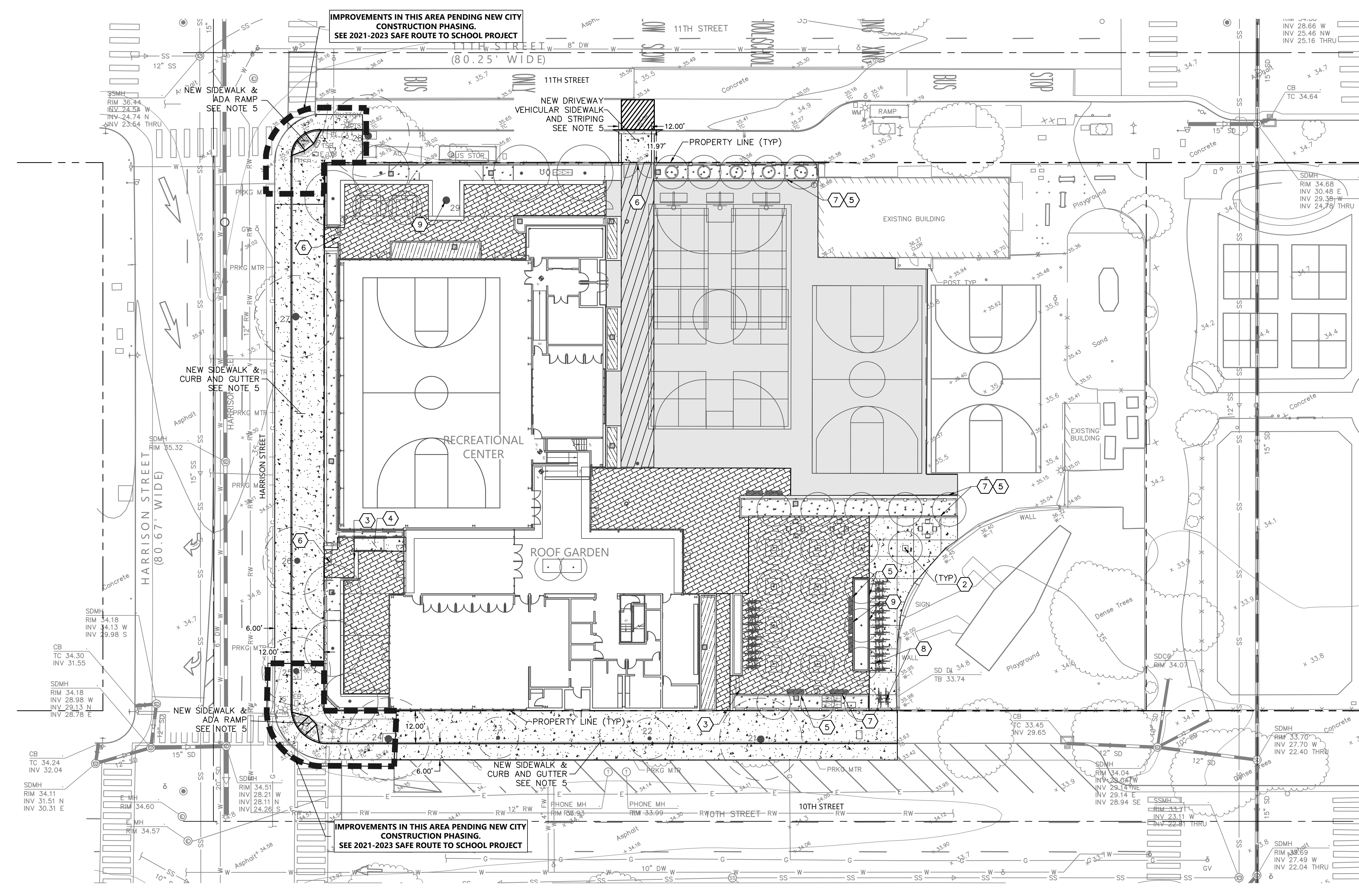
- CONCRETE SIDEWALK (X" CONC OVER X" AB)
- VEHICULAR CONCRETE (X" CONC OVER X" AB WITH #4 REBAR @ XX" O.C.)
- ASPHALT CONCRETE PAVEMENT (X" AC OVER X" AB)
- CONCRETE PAVERS SEE LANDSCAPE PLANS FOR DETAILS
- BIORETENTION AREA (CB)
- RAISED FLOW-THROUGH PLANTER SEE LANDSCAPE PLANS FOR DETAILS

HORIZONTAL CONTROL PLAN NOTES:

1. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND TO FACE OF CURB UNLESS OTHERWISE NOTED ON PLANS.
2. THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING STREETS, SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURBS AND SIDEWALKS, GRADING, ETC. AND TO AVOID ABRUPT OR APPARENT CHANGES.
3. REFER TO ARCHITECTURAL PLANS ROOF GARDEN PAVING.
4. SEE LANDSCAPE PLANS FOR PLANTING AREAS, WALLS, CONCRETE SCORING, CONCRETE FINISH, STRIPING AND OTHER AMENITY DETAILS.
5. FOR WORK WITHIN RIGHT-OF-WAY, SEE OFFSITE PX PERMIT PLANS.
6. PLANTER AND BIORETENTION AREAS WITHIN 10 FEET OF THE BUILDING SHOULD BE LINED WITH AN IMPERMEABLE MEMBRANE. MUST USE STEGO WRAP 10 MIL OR EQUIVALENT

HORIZONTAL CONTROL PLAN KEYNOTES:

- ① 6" CURB PER DETAIL X/CZ-XXX
- ② TREE PLANTER, SEE LANDSCAPE PLANS
- ③ STAIRS, SEE LANDSCAPE PLANS
- ④ RAMP AND HANDRAIL (SEE ARCHITECTURAL PLANS)
- ⑤ 6" CURB PER DETAIL X/CZ-XXX
- ⑥ GATE, SEE LANDSCAPE PLANS
- ⑦ CURB CUTS 10 FEET ON CENTER PER DETAIL X/CZ-XXX
- ⑧ BIKE RACKS, SEE LANDSCAPE PLANS
- ⑨ PROTECTED ZONE; 21' RADIUS FROM CENTER OF TREE



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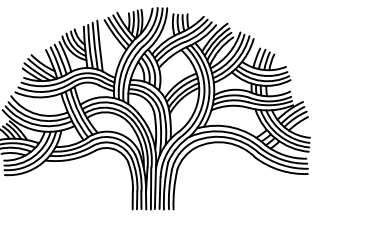
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S H A H KAWASAKI ARCHITECTS	
<small>970 5th Street, Suite 201 Oakland, CA 94607</small>	

	Sheet Name HORIZONTAL PLAN Sheet No. C3.0
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PLANS FOR THE CONSTRUCTION OF
LINCOLN RECREATION CENTER
RENOVATION/EXPANSION

250 10TH STREET,
OAKLAND, CA 94607

GRADING PLAN LEGEND:

- Flow direction symbol
Sawcut line symbol
Grade break symbol
Grading limits symbol

GRADING PLAN ABBREVIATIONS:

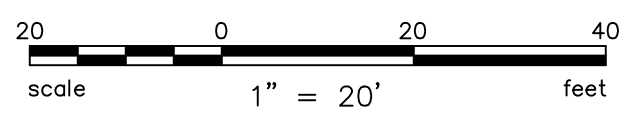
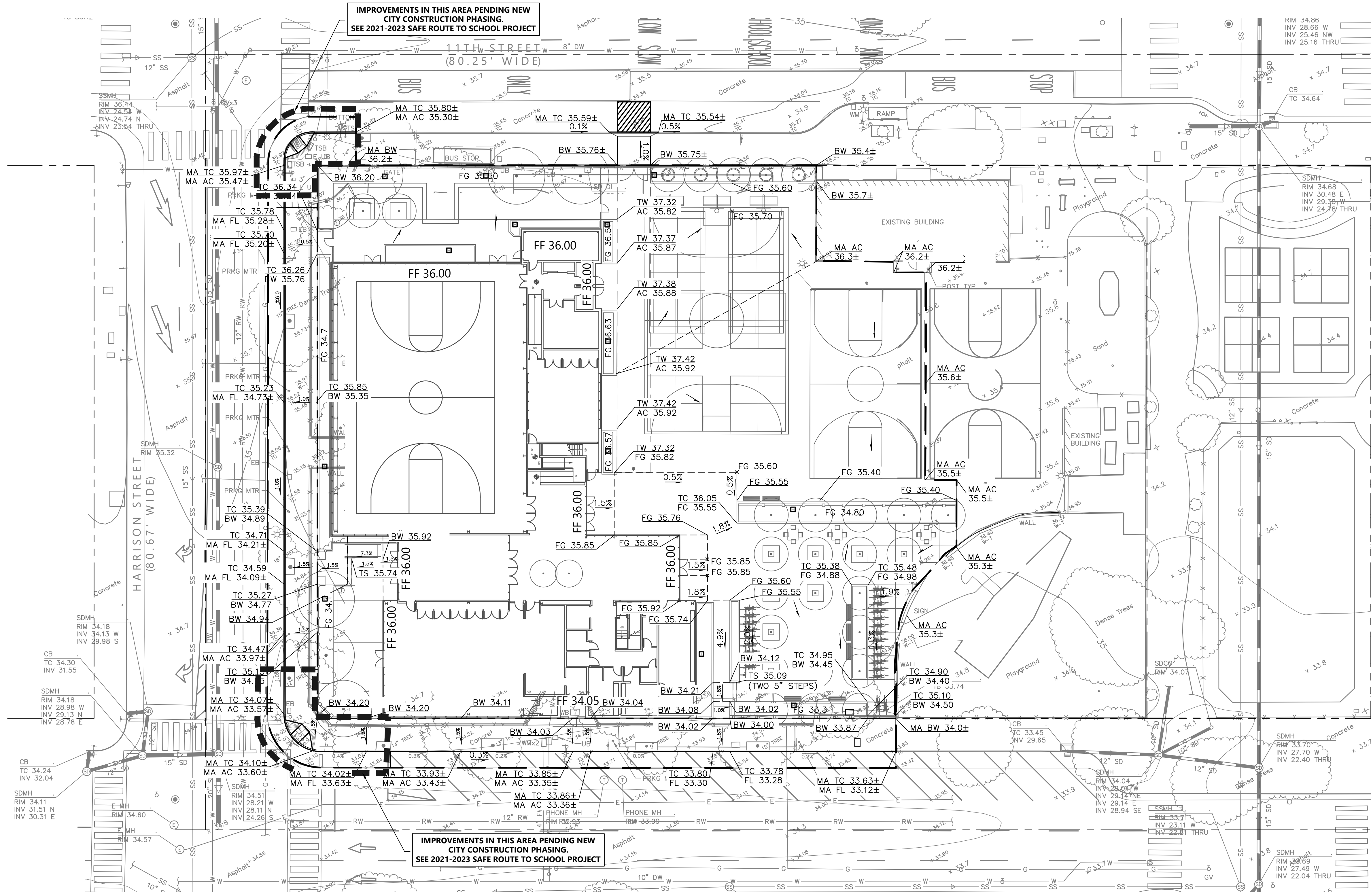
- AC ASPHALT CONCRETE
BGW BOTTOM OF GRADE AT WALL
BS BACK OF WALK
BS BOTTOM OF STEP
EX EXISTING
EG EXISTING GRADE
FF FINISH FLOOR
FG FINISHED GRADE
FL FLOWLINE
FW FIRE WATER
HP HIGH POINT
LG LIP OF GUTTER
GR GRATE
MA MATCH
TC TOP OF CURB
TGW TOP OF GRADE AT WALL
TS TOP OF STEP
TW TOP OF WALL

EARTHWORK:

EXPORT 440 CY
IMPORT 90 CY
*EARTHWORK QUANTITIES ARE FOR REFERENCE ONLY. CONTRACTOR MUST PERFORM OWN EARTHWORK TAKEOFFS.

GRADING PLAN NOTES:

- 1. FOR WALKWAYS AND ALL ACCESSIBLE AREAS CROSS SLOPES SHALL NOT EXCEED 2% GRADE.
2. THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING STREETS, SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURBS AND SIDEWALKS, GRADING, ETC. AND TO AVOID ABRUPT OR APPARENT CHANGES.
3. REFER TO ARCHITECTURAL PLANS BUILDING DETAILS.
4. IF, DURING CONSTRUCTION, ARCHAEOLOGICAL OR NATIVE AMERICAN REMAINS OR ARTIFACTS ARE ENCOUNTERED, THE CONTRACTOR SHALL HALT CONSTRUCTION IN THE VICINITY AND SHALL NOTIFY THE PROJECT OWNER.
5. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND TO FACE OF CURB UNLESS OTHERWISE NOTED ON PLANS.
6. UNLESS OTHERWISE SPECIFIED, THE NOMINAL SPECIFIED HEIGHT OF CURB MEASURED FROM GUTTER TO TOP OF CURB SHALL BE 6".
7. ALL WORK SHALL CONFORM TO CURRENT CITY STANDARD PLANS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED AND APPROVED.
8. PER GEOTECHNICAL ENGINEER RECOMMENDATIONS THE ENTIRE SITE MUST BE OVER-EXCAVATED DOWN TO THE UNDERLYING MEDIUM DENSE TO DENSE CLAYEY SAND, APPROXIMATELY 4-4.5 FEET OF CUT OF VERY LOOSE TO LOOSE SILTY SAND TO BE CUT. THE EXCAVATED SOIL MAY BE REUSED PROVIDED THE MATERIAL IS CLEANED OF ANY DEBRIS AND VEGETATION AND MEETS THE CRITERIA FOR GENERAL OR STRUCTURAL FILL IN THE "FILL MATERIAL TYPES" PROVIDED IN THE GEOTECHNICAL REPORT.



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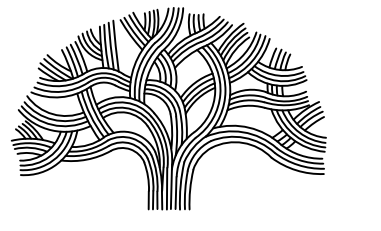
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Table with 3 columns: NO., DATE, ISSUE DESCRIPTION. Contains revision history for design development and DRC review.

Architect: S H A H KAWASAKI ARCHITECTS
770 10th Street, Suite 201
Oakland, CA 94607

Professional Engineer stamp for S H A H KAWASAKI, CIVIL, No. 64607, State of California, dated 09/23/2022. Sheet Name: GRADING PLAN, Sheet No. C4.0.

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PLANS FOR THE CONSTRUCTION OF
LINCOLN RECREATION CENTER
 RENOVATION/EXPANSION
 250 10TH STREET,
 OAKLAND, CA 94607

UTILITY PLAN LEGEND:

- G — GAS LINE
- DW — DOMESTIC WATER LINE
- FW — FIRE WATER LINE
- SD — STORM DRAIN LINE
- P — PERFORATED PIPE
- ⊙ — STORM DRAIN MANHOLE
- — STORM DRAIN INLET
- ◻ — STORM DRAIN CLEANOUT
- — STORM DRAIN AREA DRAIN
- S — SANITARY SEWER LINE
- — SANITARY SEWER CLEANOUT
- JT — JOINT TRENCH LINE

UTILITY PLAN ABBREVIATIONS:

- CCWD CONTRA COSTA WATER DISTRICT
- CCCSO CONTRA COSTA COUNTY SEWER DISTRICT
- DW DOMESTIC WATER
- EX EXISTING
- FDC FIRE DEPARTMENT CONNECTION
- FL FLOWLINE
- FW FIRE WATER
- HP HIGH POINT
- INV INVERT
- LG LIP OF GUTTER
- GRT GRATE
- PERF PERFORATED PIPE
- PV POST INDICATOR VALVE
- POC POINT OF CONNECTION
- RPB REDUCED PRESSURE BACKFLOW
- SD STORM DRAIN
- SDAD STORM DRAIN AREA DRAIN
- SDCB STORM DRAIN CATCH BASIN
- SDDI STORM DRAIN DROP INLET
- SDMH STORM DRAIN MANHOLE
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEAN OUT
- TC TOP OF CURB
- TD TRENCH DRAIN

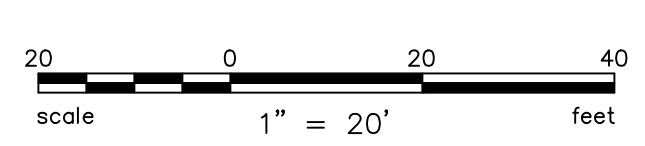
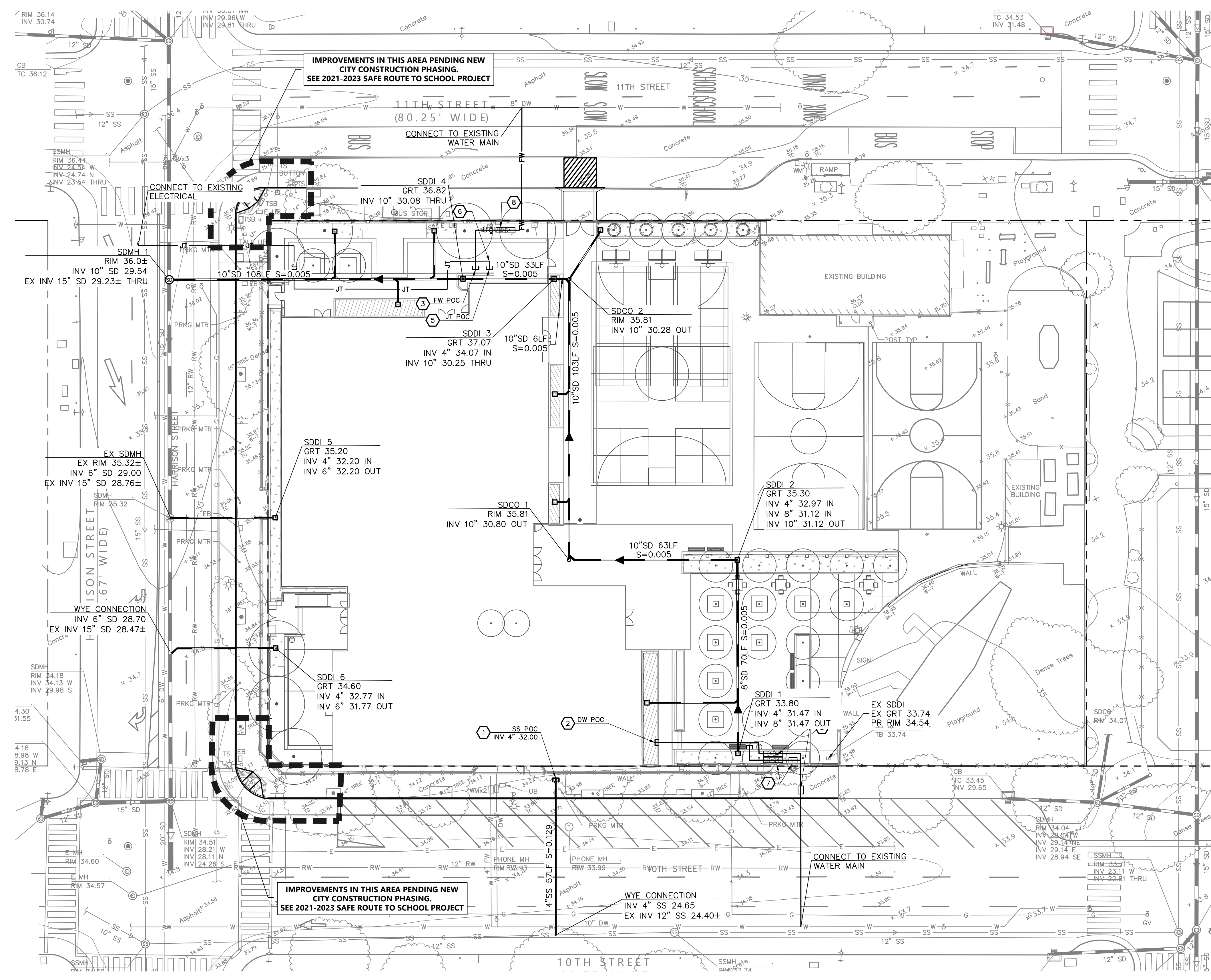
UTILITY PLAN NOTES:

1. CONTRACTOR TO VERIFY THAT SEWER LATERAL LINE WILL NOT CONFLICT WITH OTHER EXISTING UTILITIES AND THAT PIPE WILL SLOPE AT A MIN 2% FOR 4" LATERALS AND 1.1% FOR 6" BUILDING LATERALS.
2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR COMMENCEMENT OF WORK.
3. ALL EXISTING UTILITY VAULTS AND BOXES TO BE PROTECTED SHALL BE ADJUSTED TO FINISHED GRADE.
4. CONTRACTOR TO CONTACT USA AT (800) 247-2600 AT LEAST 48 HOURS PRIOR TO ANY UTILITY REMOVAL OR EXCAVATION.
5. NON-WET UTILITIES SHOWN ON THIS PLAN FOR COORDINATION ONLY. CONTRACTOR TO REFER TO APPROPRIATE DISCIPLINES FOR DRY UTILITY DESIGN.

UTILITY PLAN KEYNOTES:

- ① 6" SANITARY SEWER POC. SEE PLUMBING PLANS FOR CONTINUATION.
- ② 2" DOMESTIC WATER POC. SEE PLUMBING PLANS FOR CONTINUATION.
- ③ 6" FIRE WATER POC. SEE PLUMBING PLANS FOR CONTINUATION.
- ④ GAS LINE POC. SEE PLUMBING PLANS FOR CONTINUATION.
- ⑤ JOINT TRENCH POC. SEE ELECTRICAL PLANS FOR CONTINUATION.
- ⑥ POSSIBLE TRANSFORMER. SEE ELECTRICAL PLANS FOR DETAILS.
- ⑦ IRRIGATION RPB AND METER
- ⑧ 2" DOMESTIC WATER RPB METER
- ⑨ FIRE WATER RPB, PIV, & FDC

PRIVATE PIPING MATERIAL SCHEDULE	
UTILITY	PIPE MATERIAL
STORM DRAIN	PVC SDR 26
SANITARY SEWER	PVC SDR 26
WATER SERVICE (LESS THAN 4" DIAMETER)	PVC SCHEDULE 40
WATER SERVICE (4" DIAMETER OR LARGER)	PVC C900 DR14



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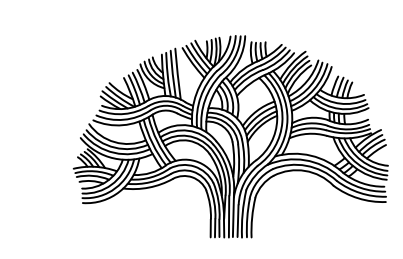
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Architect: **SHAH KAWASAKI ARCHITECTS**
 970 5th Street, Suite 201
 Oakland, CA 94607

Consultants:

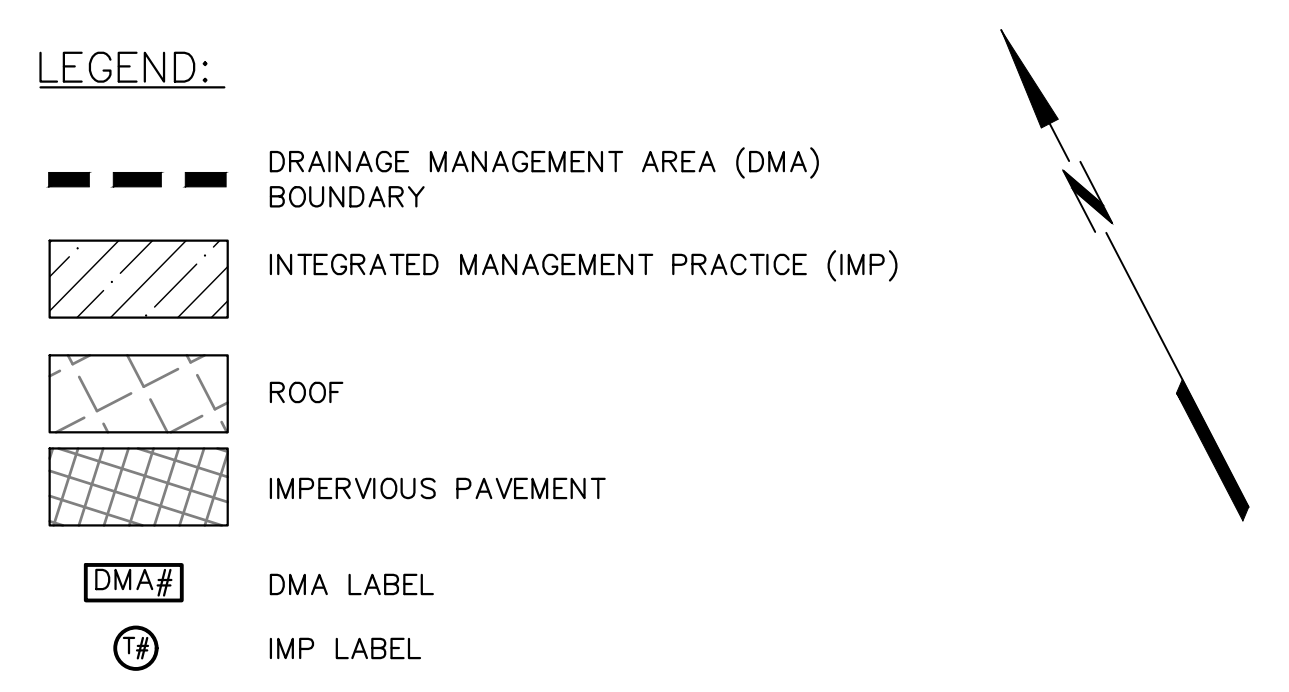
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 CIVIL
 09/23/2022

Sheet Name: **UTILITY PLAN**
 Sheet No.: **C5.0**



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PLANS FOR THE CONSTRUCTION OF
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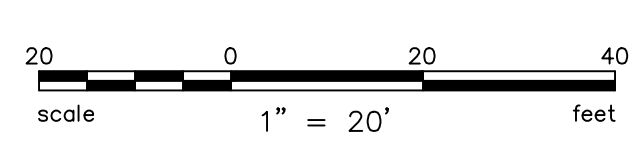
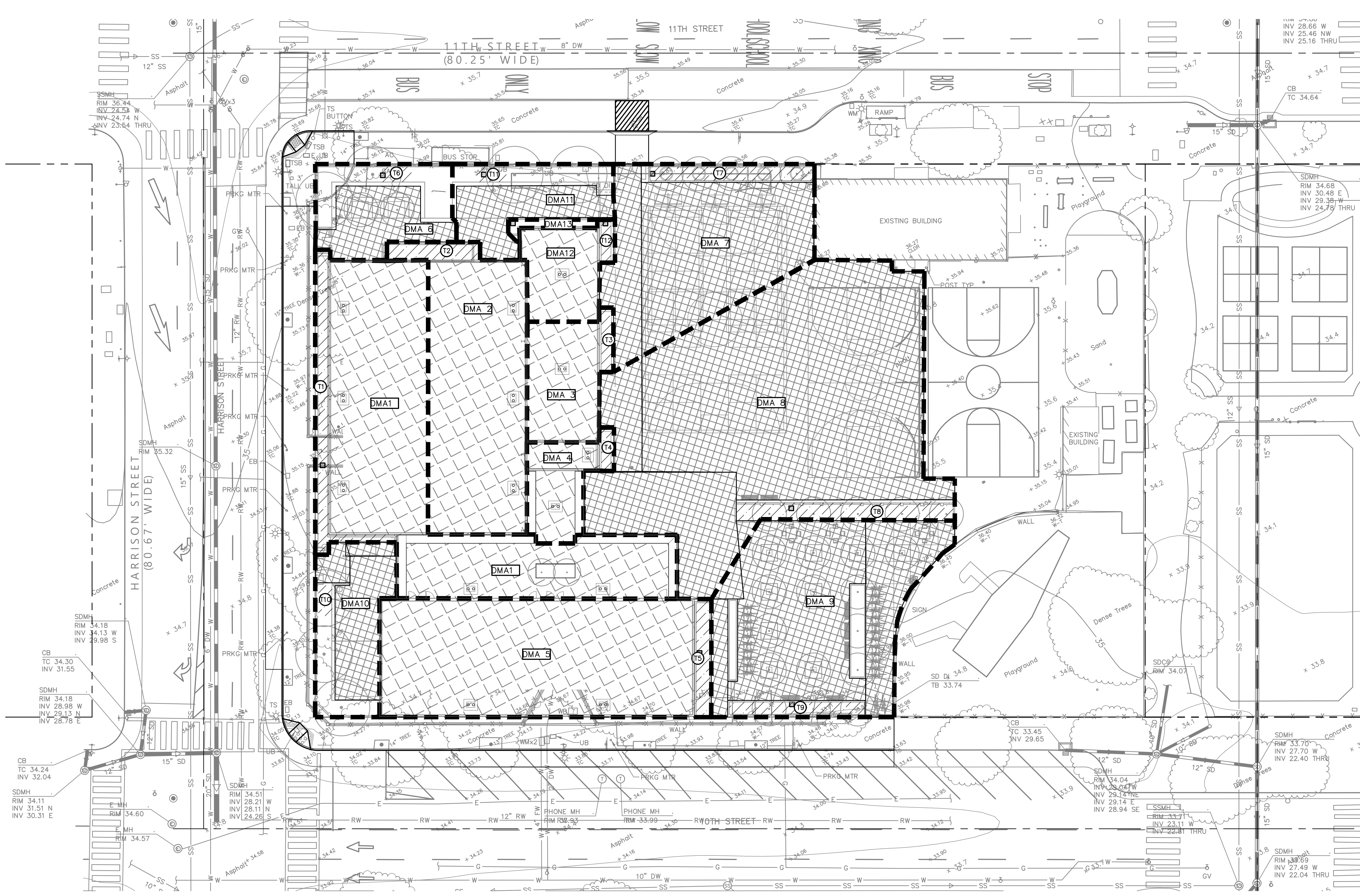


- NOTES:**
- SEE GRADING PLAN FOR BIORETENTION AREA ELEVATIONS.
 - SEE LANDSCAPE PLANS FOR PROPOSED LOCATION AND IDENTIFICATION OF LANDSCAPING AND PLANT MATERIALS.
 - BIORETENTION TREATMENT AREAS ARE SIZED USING THE FLOW HYDRAULIC DESIGN BASIS, WHICH IS THE FLOW OF RUNOFF RESULTING FROM A RAIN EVENT EQUAL TO AT LEAST 0.2 INCHES PER HOUR INTENSITY.
 - THIS SITE IS CONSIDERED EXEMPT FROM HYDROMODIFICATION. THIS IS BASED ON OUR SITE DRAINING TOWARD THE BAY TO AN ENGINEERED CHANNEL (EXEMPT) SHOWN ON THE CITY OF OAKLAND HYDROMODIFICATION SUSCEPTIBILITY MAP -WEST.

DMA #	DRAINAGE AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TREATMENT TYPE	TCM #	TREATMENT AREA REQUIRED (SF)*	TREATMENT AREA PROVIDED (SF)
1	6,475	5,535	471	BIORETENTION	1	221	469
2	3,767	3,575	0	BIORETENTION	2	143	192
3	1,257	1,179	0	BIORETENTION	3	47	78
4	869	671	142	BIORETENTION	4	27	56
5	5,143	4,935	0	BIORETENTION	5	197	208
6	1,558	1,079	418	BIORETENTION	6	43	61
7	4,069	3,774	0	BIORETENTION	7	151	295
8	10,281	9,772	0	BIORETENTION	8	391	509
9	4,916	4,459	238	BIORETENTION	9	178	219
10	1,573	1,280	237	BIORETENTION	10	51	56
11	1,424	1,103	260	BIORETENTION	11	44	61
12	1,007	956	0	BIORETENTION	12	38	51
13	94	0	94	SELF-TREATING	-	0	0

TOTAL ON-SITE DISTURBED AREA	42,433 SF
TOTAL PARCEL AREA	60,013 SF
TOTAL PROPOSED TREATED IMPERVIOUS HARDSCAPE AREA	21,172 SF
TOTAL PROPOSED TREATED IMPERVIOUS ROOF AREA	17,146 SF
TOTAL PROPOSED PERVIOUS AREA	4,115 SF
TOTAL EXISTING UNTREATED IMPERVIOUS HARDSCAPE AREA	25,486 SF
TOTAL EXISTING UNTREATED IMPERVIOUS ROOF AREA	8,696 SF
TOTAL EXISTING PERVIOUS AREA	8,251 SF
PROPOSED IMPERVIOUS SURFACE ¹	64%

- NOTES:**
- CALCULATION IS (TOTAL PROPOSED IMPERVIOUS ROOF AREA) PLUS (TOTAL PROPOSED IMPERVIOUS HARDSCAPE AREA) DIVIDED BY (TOTAL PARCEL AREA)
 - MAXIMUM ALLOWED OPEN SPACE IS 25% PER CODE UNDER OS ZONE (SECTION 17.13.150 OPC)
 - OPEN SPACE VARIANCE MUST BE APPROVED BY CITY OF OAKLAND



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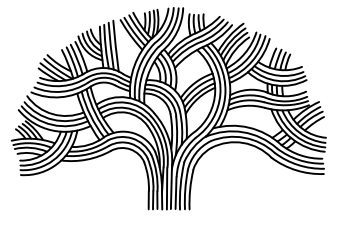
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10/04/2022	DRC REVIEW	

Architect:
S H A H
KAWASAKI
 ARCHITECTS
 970 5th Street, Suite 201
 Oakland, CA 94607

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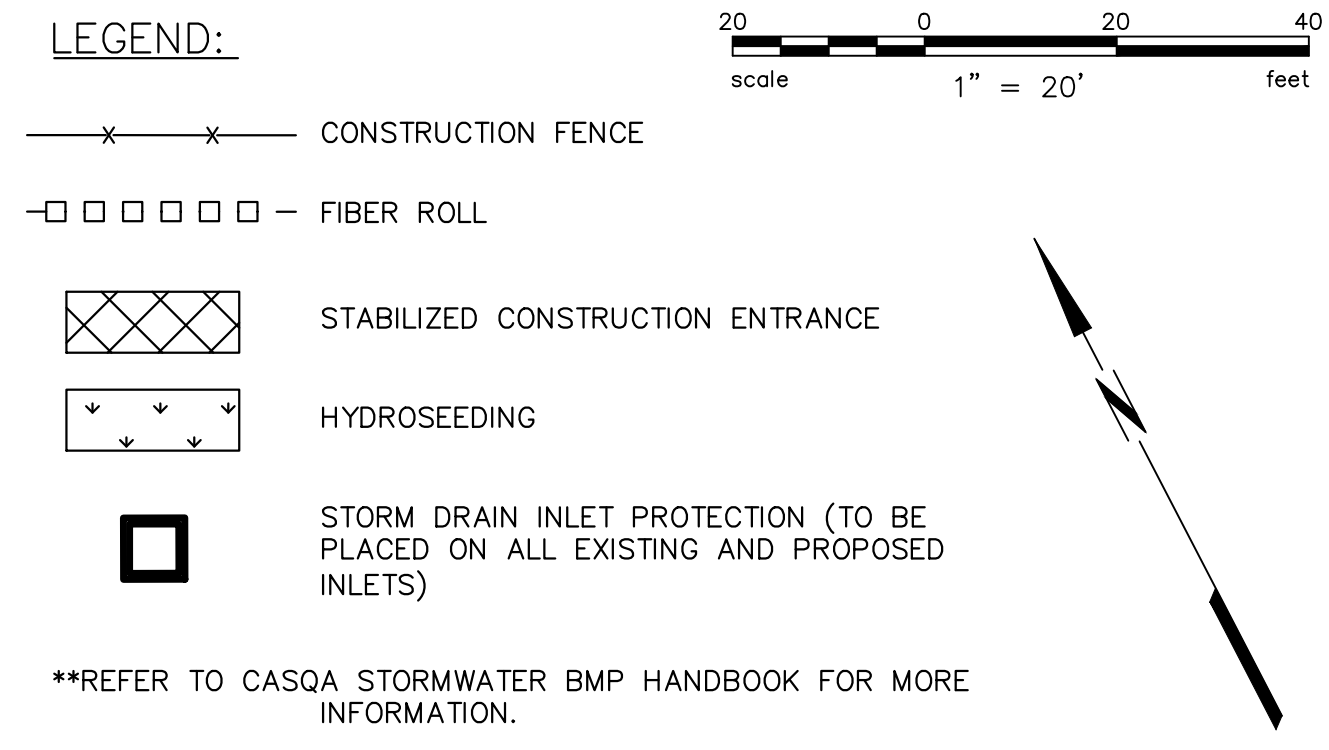
Sheet Name:
STORMWATER CONTROL PLAN
 Sheet No.
C6.0

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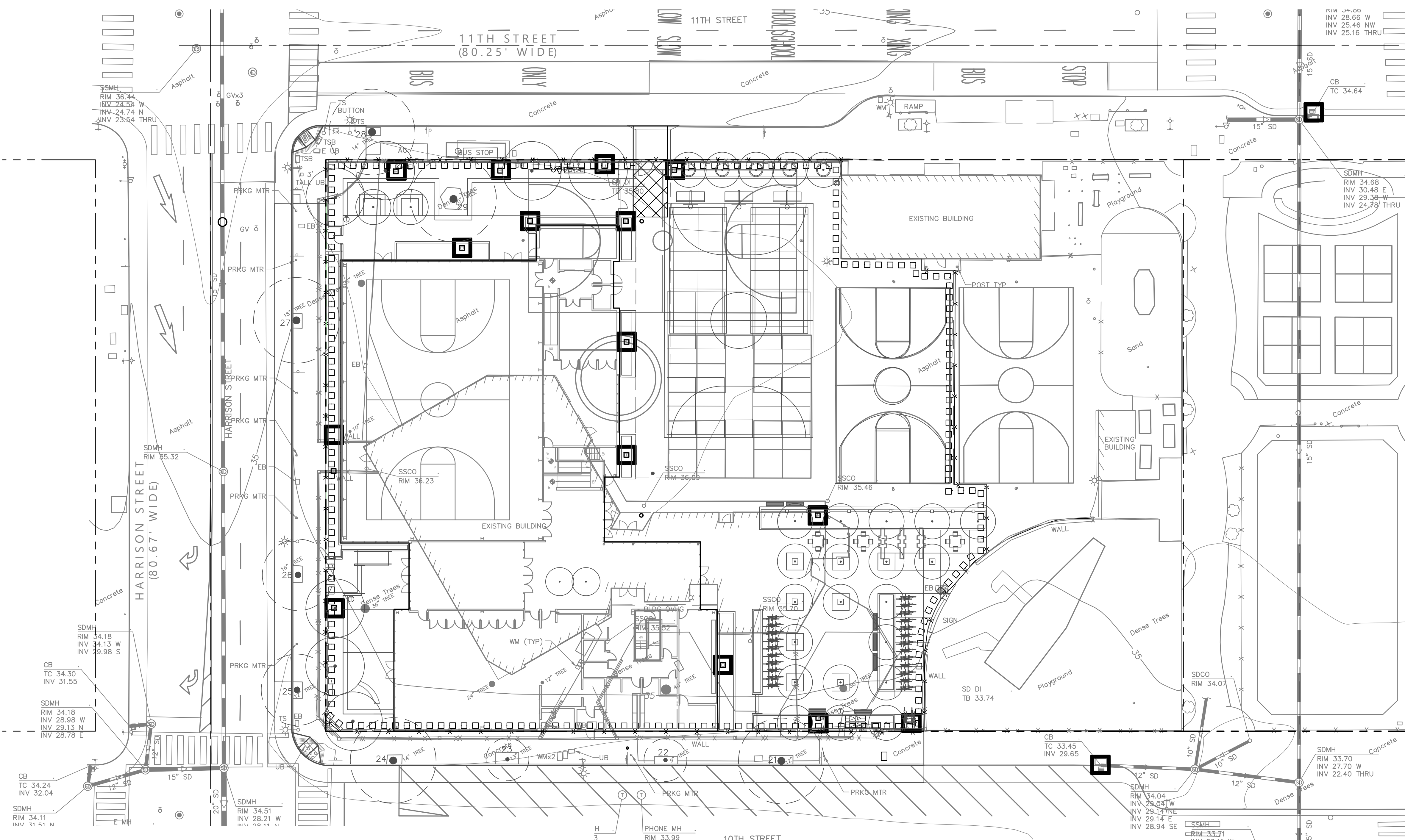


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PLANS FOR THE CONSTRUCTION OF
LINCOLN RECREATION CENTER
RENOVATION/EXPANSION
250 10TH STREET,
OAKLAND, CA 94607



- NOTES:
1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT AND MAINTAINED BY THE CONTRACTOR ON A YEAR-ROUND BASIS UNTIL ALL DISTURBED CITY AREAS ARE STABILIZED UNLESS OTHERWISE PERMITTED BY THE CITY INSPECTOR.
2. BY THE CONTRACTOR ON A YEAR-ROUND BASIS UNTIL ALL DISTURBED CITY AREAS ARE STABILIZED UNLESS OTHERWISE PERMITTED BY THE CITY INSPECTOR.
3. ALL INLETS RECEIVING STORM WATER RUNOFF FROM THE PROJECT AREA MUST BE EQUIPPED WITH REQUIRED INLET PROTECTION.
...
22. CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AND MAKE ALL



- 23. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO PUBLIC AND/OR PRIVATELY OWNED AND MAINTAINED ROADS CAUSED BY THE CONTRACTOR'S GRADING ACTIVITIES, AND SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON ANY PUBLIC ROAD ON THE HAUL ROUTE. ADJACENT PUBLIC ROADS SHALL BE CLEANED AT THE END OF EACH WORKING DAY.
24. ALL ROUGH GRADED AREAS SHALL BE HYDROSEEDED. HYDROSEED WITH NON-IRRIGATED HYDROSEED MIX. HYDROSEED DURING THE FALL. REFER TO LANDSCAPE SPECIFICATIONS. HYDROSEED MIX SHALL BE 100% ZORRO FESCUE (65 LBS/ACRE) 16-6-8 FERTILIZER (500 LBS/ACRE).
25. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND DESIGNATING AREAS FOR SOIL AND CONSTRUCTION MATERIALS STORAGE, AND WASTE COLLECTION AREAS. AREAS ARE TO BE COVERED AND SURROUNDED BY EARTHEN BERMS AND/OR OTHER CONTAINMENT MEASURES.
26. VACUUM SAW-CUTTING SLURRY IMMEDIATELY AND REMOVE FROM SITE. DO NOT ALLOW SAW-CUT SLURRY TO ACCUMULATE ON SURROUNDING PAVEMENT OR ENTER THE STORM WATER CONVEYANCE SYSTEM.

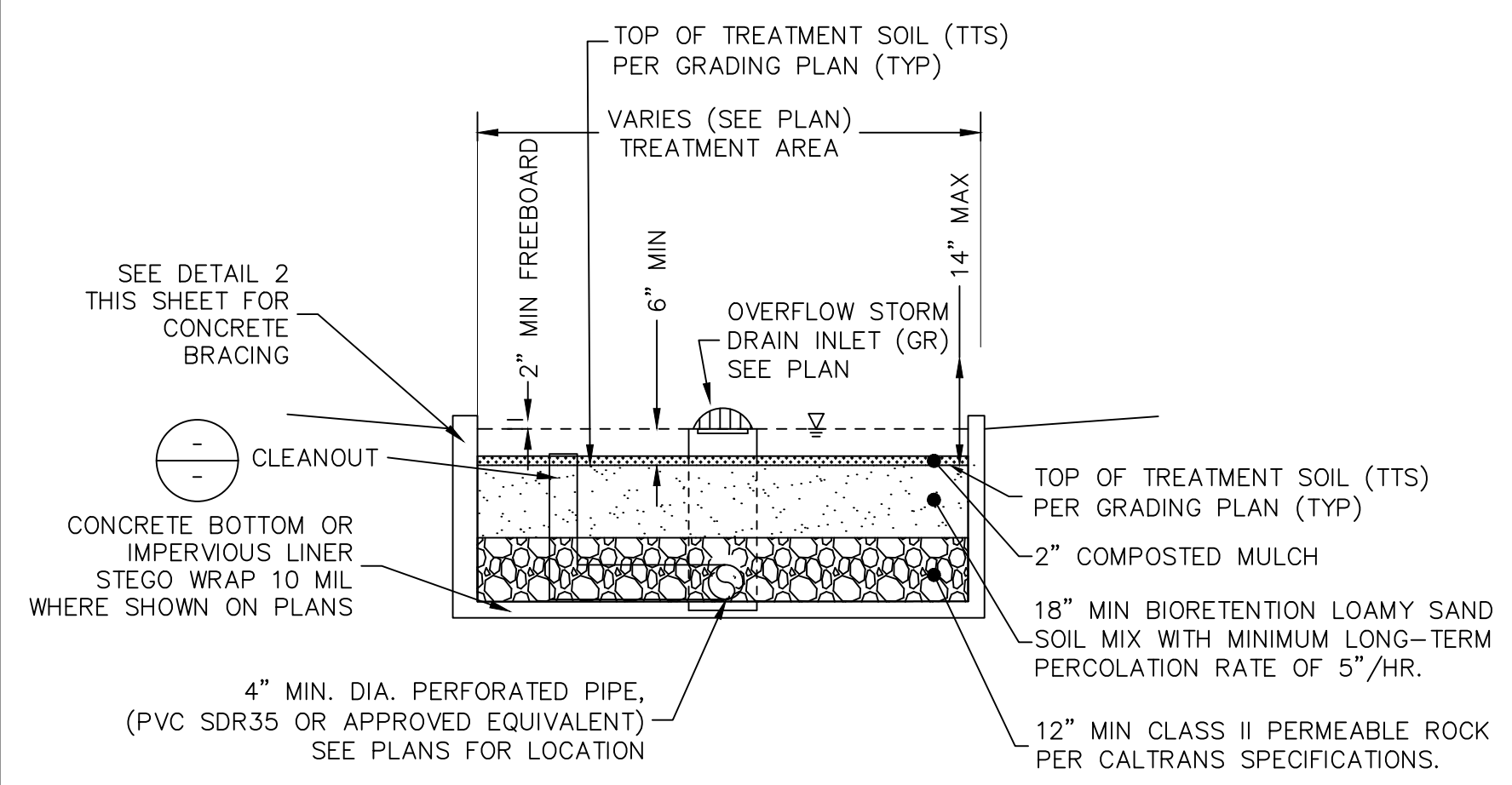
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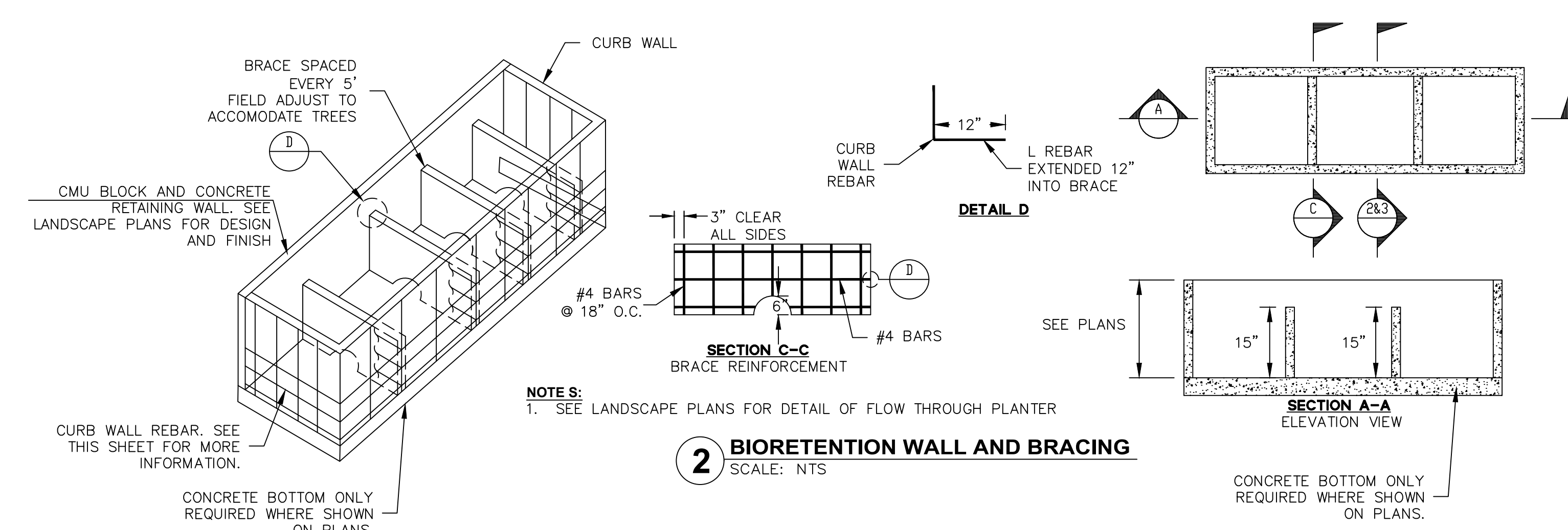
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Sheet Name: EROSION CONTROL PLAN
Sheet No.: C7.0

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1 BIORETENTION BASIN
SCALE: NONE



2 BIORETENTION WALL AND BRACING
SCALE: NTS

NOTE:
1. SEE LANDSCAPE PLANS FOR DETAIL OF FLOW THROUGH PLANTER

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PLANS FOR THE CONSTRUCTION OF
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RENOVATION/EXPANSION
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Consultants:

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REGISTERED PROFESSIONAL ARCHITECT
No. 64607
CIVIL
STATE OF CALIFORNIA
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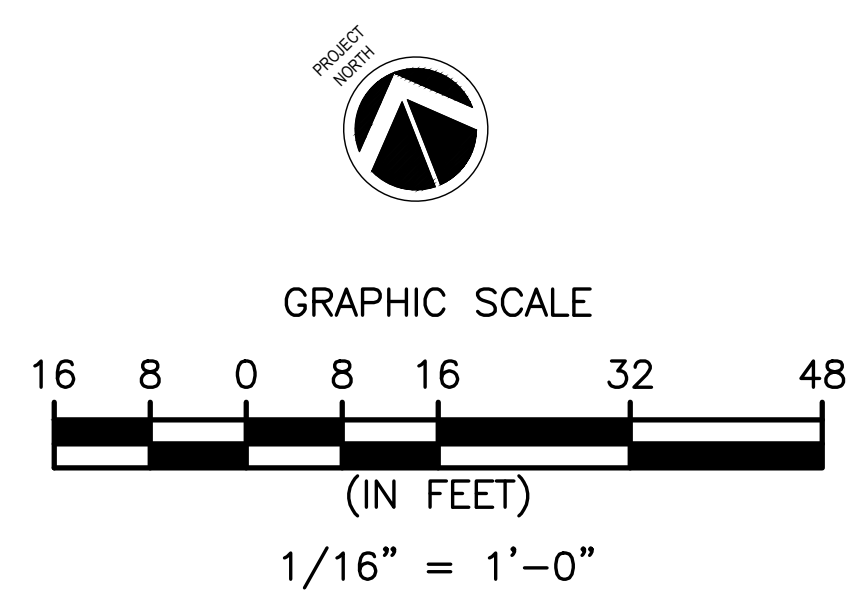
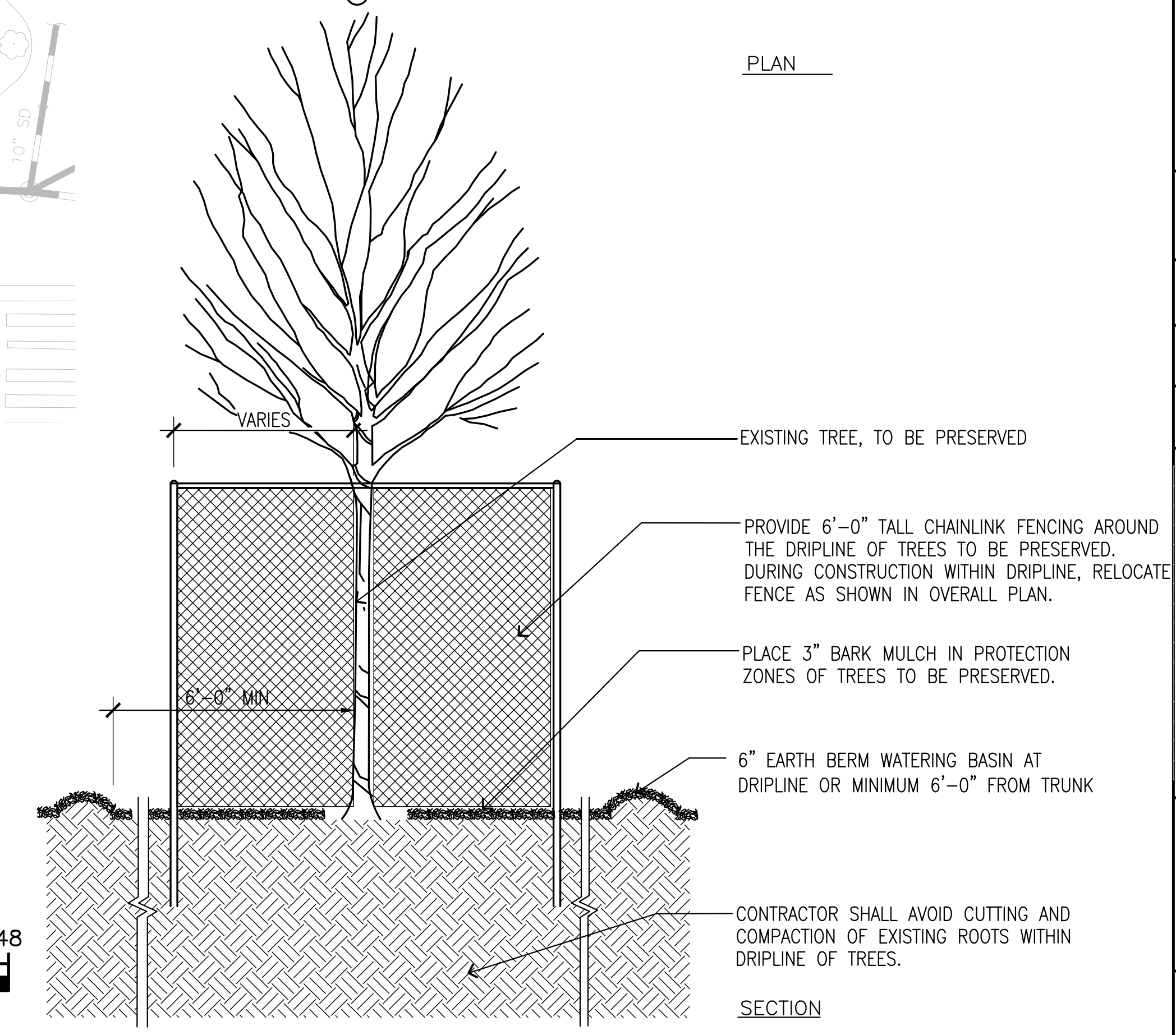
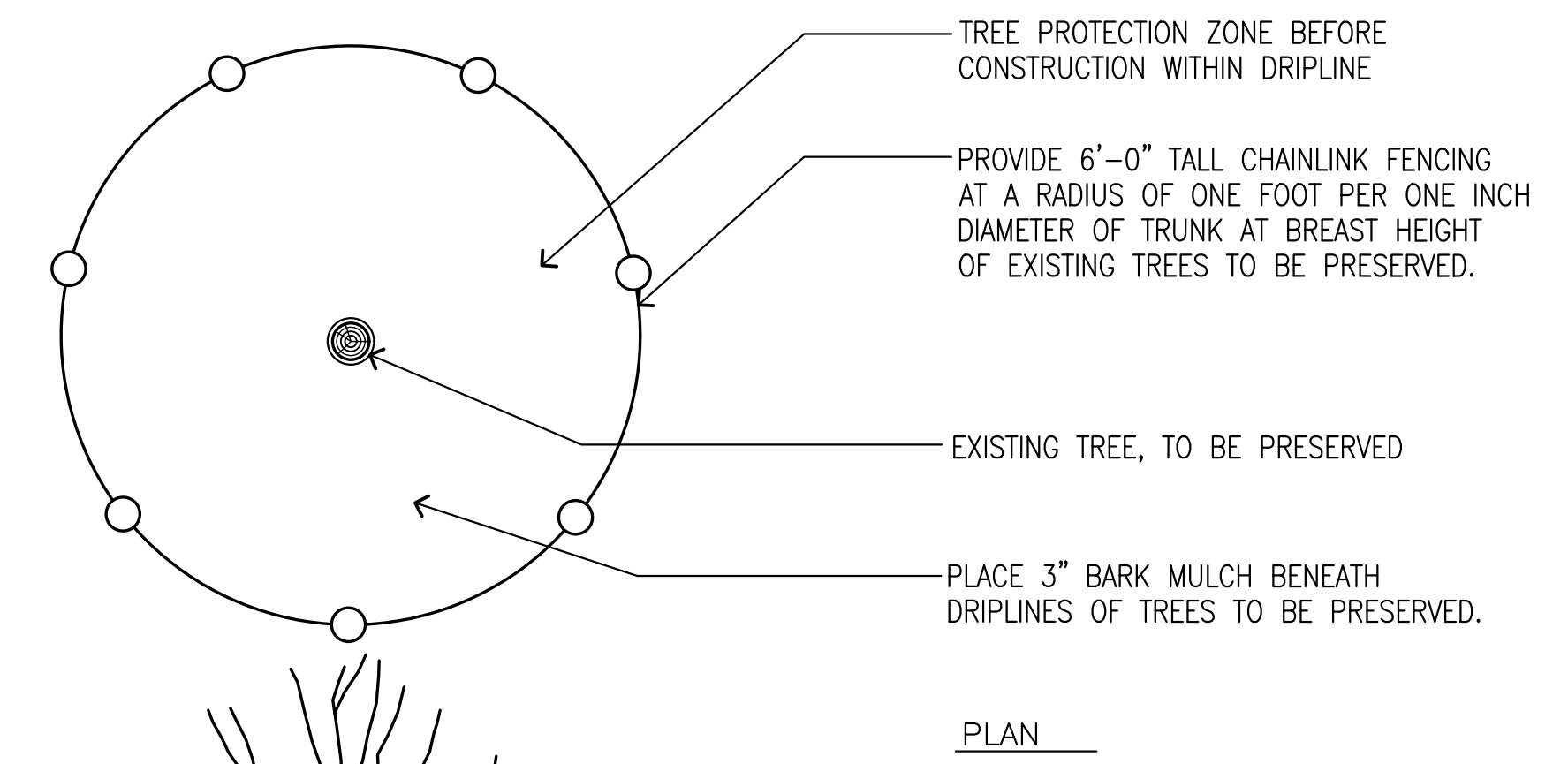
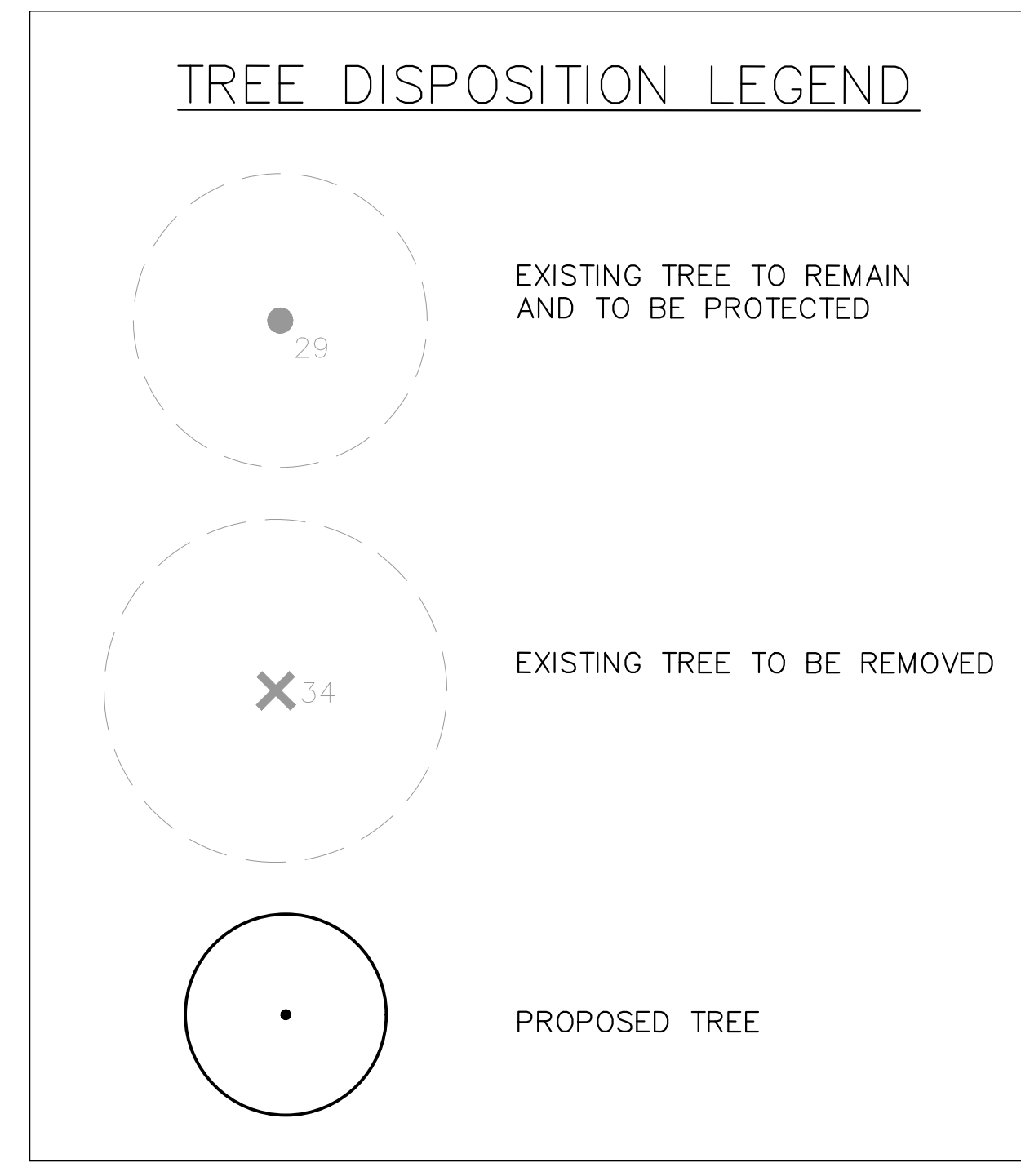
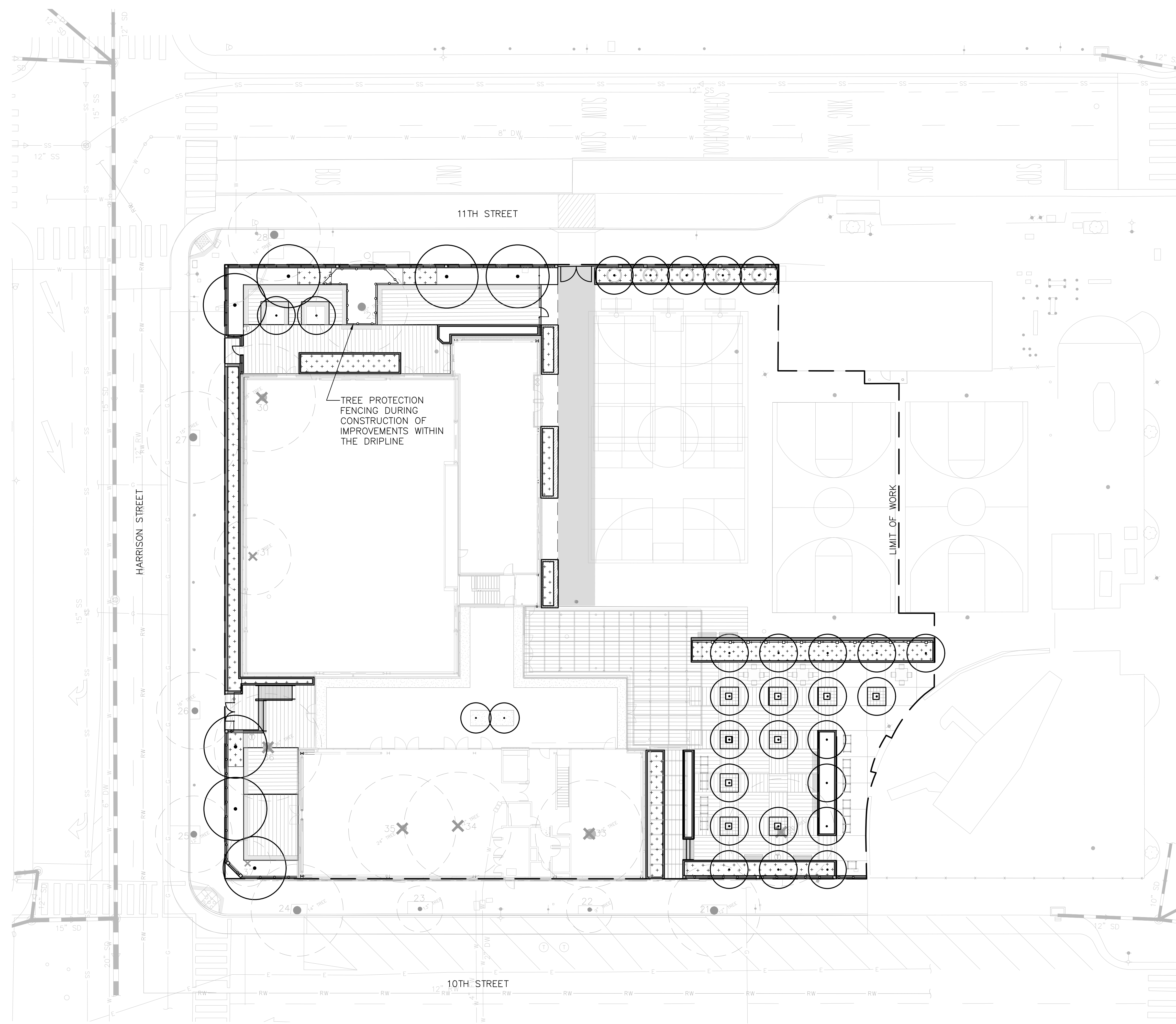
Sheet Name:
CONSTRUCTION DETAILS

Sheet No.:
C8.0

NOT FOR CONSTRUCTION

20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

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TREE PROTECTION DETAIL
SECTION
SCALE: 1/2"=1'-0"
L2.0 TREE DISPOSITION PLANNING

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PLANS FOR THE CONSTRUCTION OF
Lincoln Square Recreation Center
250 10th Street, Oakland, CA 94607

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Sheet Name
TREE DISPOSITION PLAN

Sheet No.
L2.0

SKA Project Number: [00000.000] **NOT FOR CONSTRUCTION**

20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

TREE PROTECTION NOTES

- 1. PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY IN THE AREA, INCLUDING GRADING, TEMPORARY PROTECTIVE FENCING SHALL BE INSTALLED AT EACH SITE TREE. FENCING SHALL BE LOCATED AT OR BEYOND THE CANOPY DRIP LINE SO THAT 100% OF THE DRIP LINE WILL BE PROTECTED BY FENCING. TO REDUCE SOIL COMPACTION FROM EQUIPMENT. DURING CONSTRUCTION IMPROVEMENTS TREE PROTECTION FENCING WITHIN TREE DRIPLINE IS AS SHOWN ON TREE DISPOSITION PLAN.
2. THE CONTRACTOR IS REQUIRED TO WATER, FERTILIZE AND ATTEND TO OTHER MAINTENANCE NEEDS OF EXISTING TREES AS NEEDED PER ARBORIST'S RECOMMENDATIONS TO MAINTAIN HEALTHY GROWTH THROUGHOUT THE CONSTRUCTION PERIOD. SIX FEET DIAMETER, MINIMUM, BY SIX-INCH-TALL EARTH BERMS SHALL BE CONSTRUCTED AT THE BASE OF EACH TREE TO FUNCTION AS TEMPORARY WATERING BASINS DURING THE CONSTRUCTION PERIOD. TREES SHALL BE WATERED ACCORDING TO WEATHER AND TREE REQUIREMENTS. APPROVED MULCH OF 1-2 INCH SIZED WOOD CHIPS SHALL BE PLACED AT A DEPTH OF 4 INCHES WHERE NO EXCAVATION IS TO OCCUR IN THE VICINITY OF THE TREES TO BE PROTECTED.
3. THE TREE PROTECTION FENCE SHALL BE 6' HIGH CHAIN LINK FENCE WITH IMMOVABLE POSTS. THE FENCING SHALL FORM A CONTINUOUS BARRIER WITHOUT ENTRY POINTS AROUND EACH TREE.
4. LOW HANGING LIMBS OF SAVED TREES SHALL BE PRUNED PRIOR TO GRADING, OR ANY EQUIPMENT MOBILIZATION ON SITE. THE PURPOSE OF THIS REQUIREMENT IS TO AVOID TEARING LIMBS BY HEAVY EQUIPMENT. ALL LIMBS TO BE PRUNED SHALL BE SUPERVISED BY THE ARBORIST OF RECORD FOR THE JOB.
5. THIS FENCING SHALL SERVE AS A BARRIER TO PREVENT DRIP LINE ENCROACHMENT OF ANY TYPE OF CONSTRUCTION ACTIVITIES AND EQUIPMENT. NO OILS, GAS, CHEMICALS, LIQUID WASTE, SOLID WASTE, CONSTRUCTION MACHINERY OR CONSTRUCTION MATERIALS SHALL BE STORED OR ALLOWED TO STAND FOR ANY PERIOD OF TIME WITHIN THE DRIP LINE OF THE TREE. FURTHER, NO ONE SHALL ENTER THE FENCE PERIMETER FOR ANY REASON EXCEPT FOR THE PURPOSE OF MONITORING THE HEALTH OF THE TREE. ACCIDENTAL DAMAGE TO BARK, ROOT CROWN, OR LIMBS MAY INCREASE POTENTIAL FOR FUTURE DECLINE.
6. CONTRACTORS AND SUBCONTRACTORS SHALL DIRECT ALL EQUIPMENT AND PERSONNEL TO REMAIN OUTSIDE THE FENCED AREA AND AT ALL TIMES UNTIL PROJECT IS COMPLETE AND SHALL INSTRUCT EMPLOYEES AS TO THE PURPOSE AND IMPORTANCE OF FENCING.
7. A 'TREE PROTECTION ZONE' SIGN SHALL BE POSTED AT EACH TREE INDICATING THE PURPOSE OF THE FENCING.
8. THE ARBORIST OF RECORD FOR THE JOB OR THE CITY ARBORIST SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF THE FENCING PRIOR TO ANY GRADING OPERATIONS.
9. FENCING MUST REMAIN IN PLACE AND SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETED. THIS SHALL INCLUDE GRADING AND COMPACTION ACTIVITIES, INSTALLATION OF UNDERGROUND UTILITIES, ALL CONSTRUCTION ACTIVITIES AND ANY OTHER CONSTRUCTION OR ACTIVITY WHICH IS SCHEDULED PRIOR OR LANDSCAPE INSTALLATION.
10. UNAUTHORIZED TREE REMOVAL IS SUBJECT TO IN-KIND REPLACEMENT EQUAL TO THE VALUE OF THE MATURE RESOURCE LOST, AS DETERMINED BY THE CITY.
11. NO MECHANICAL TRENCHING SHALL OCCUR WITHIN THE TREE PROTECTION ZONE. ANY EXCAVATION IF REQUIRED SHALL BE BY HAND, AIR SPADE OR BY VACUUM. CUTTING OF ANY ROOTS OVER 3" DIA SHALL BE REVIEWED BY AN ARBORIST.
12. THE CONTRACTOR SHALL CONTRACT WITH AN ARBORIST AS REQUIRED TO ENSURE PROPER TREE HEALTH IF A PROJECT ARBORIST OR CITY ARBORIST HAS NOT BEEN CONTRACTED.

Table with 6 columns: Species, Common Name, Total Amount, Heritage Tree Amount, Overall Suitability for Retention, Comments. Rows include Koelreuteria paniculata, Lophostemon confertus, Magnolia grandiflora, Pistacia chinensis, Pyrus kawakamii, Quercus agrifolia, and a TOTAL row.

COLUMN HEADING DESCRIPTIONS
Tag# - Indicates the number tag attached to tree
Species - Scientific name
Common Name - Vernacular name
DBH - Diameter measured in inches at 4.5 feet above soil grade, unless otherwise indicated
Height - In feet
Spread - In feet
Health - Tree Health: E is Excellent, G is Good, F is Fair, P is Poor, D is Dead or Dying
Structure - Tree Structural Safety: E is Excellent, G is Good, F is Fair, P is Poor, H is Hazardous
Suitability for Retention - Based on Tree Condition: G is Good, F is Fair, P is Poor
Protected - Attains City of Oakland Protected Tree Status
Notes - See below

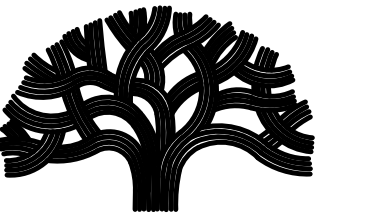
ABBREVIATIONS AND DEFINITIONS
Embedded Bark (EB) - AKA Included Bark, this is a structural defect where bark is included between the branch attachment so that the wood cannot join. Such defects have a higher propensity for failure.
Codominant (CD) - A situation where a tree has two or more stems which are of equal diameter and relative amounts of leaf area. Trees with codominant primary scaffolding stems are inherently weaker than stems, which are of unequal diameter and size.
Codominant w/ Embedded Bark (CDEB) - When bark is embedded between codominant stems, failure potential is very high and pruning to mitigate the defect is recommended.
Failure.

Table with 11 columns: Tag, Species, Common name, DBH, Height, Spread, Health, Structure, Suitability, Protected, Notes. Rows 21-24.

Table with 11 columns: Tag, Species, Common name, DBH, Height, Spread, Health, Structure, Suitability, Protected, Notes. Rows 25-32.

Table with 11 columns: Tag, Species, Common name, DBH, Height, Spread, Health, Structure, Suitability, Protected, Notes. Rows 33-37.

SEE COMPLETE ARBORIST REPORT FOR MORE INFORMATION



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PLANS FOR THE CONSTRUCTION OF

Lincoln Square Recreation Center
250 10th Street, Oakland, CA 94607

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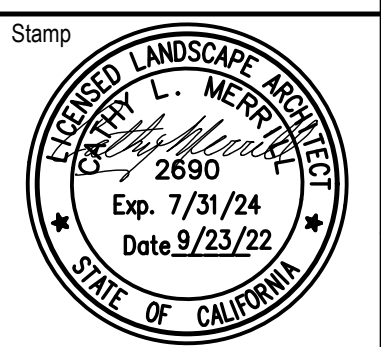
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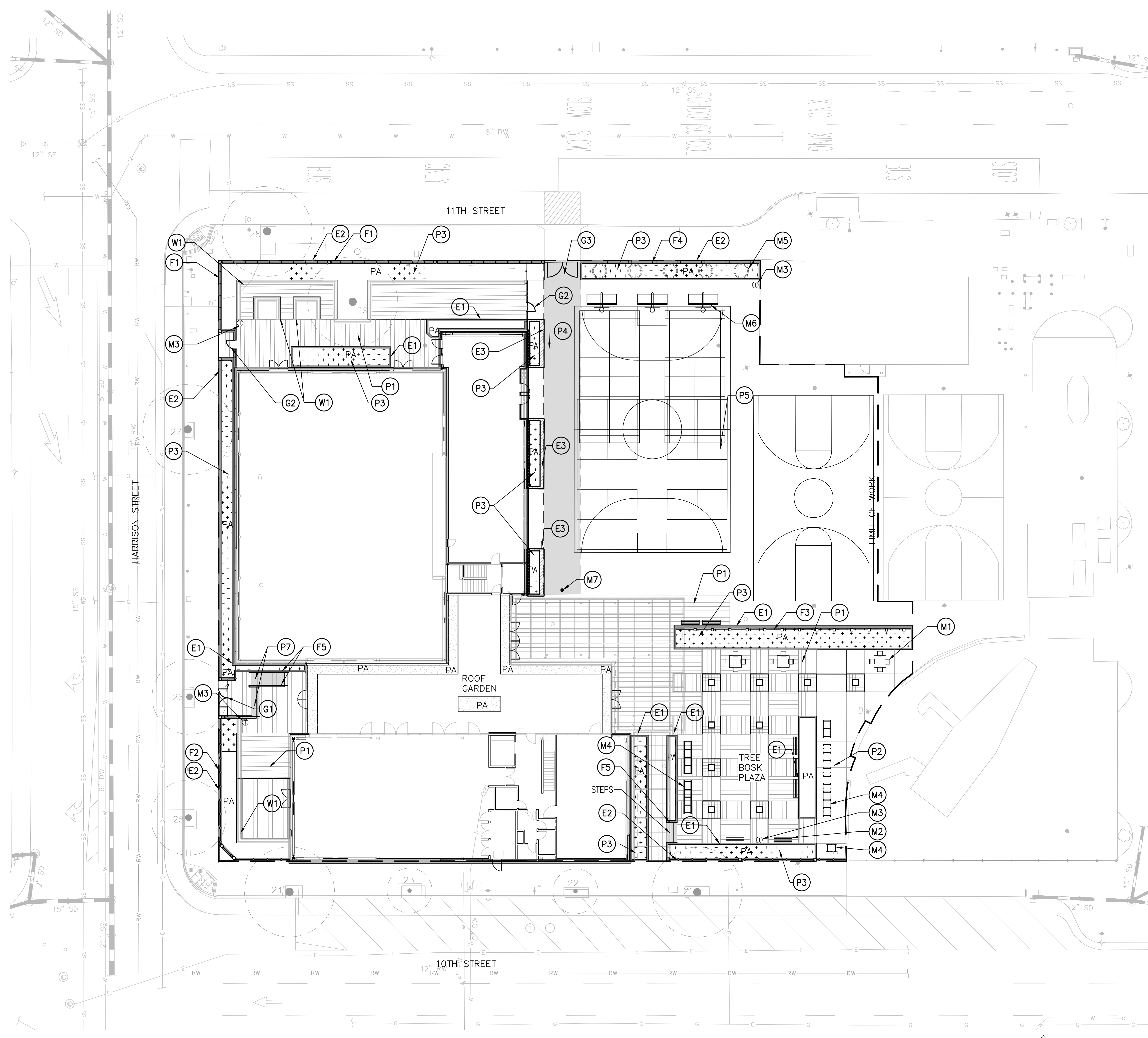
Sheet Name: ARBORIST REPORT & TREE PROTECTION

Sheet No.:

L2.1

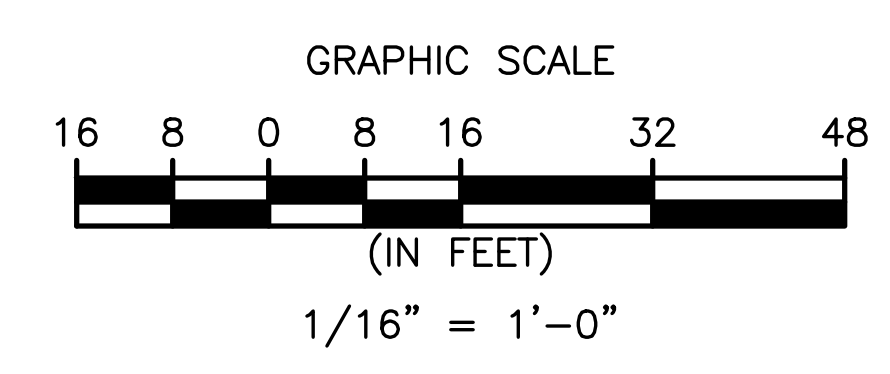
SKA Project Number: [00000.000]

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MATERIALS LEGEND AND KEY NOTES:

- (P1) CONCRETE PAVERS ①
L5.0 & ②
L5.0
- (P2) SCORED CONCRETE PAVING – PEDESTRIAN. S.C.D. FOR CONCRETE. STANDARD GRAY. TOPCAST SAND BLAST FINISH. TOOLED JOINT.
- (P3) BIOFILTRATION AREA
- (P4) VEHICULAR ASPHALT PAVING S.C.D.
- (P5) ASPHALT PAVING S.C.D. COURTS TO BE COLOR-COATED AND STRIPED
- (P6) GRANITE SETT TREE WELL ③
L5.0
- (P7) CONCRETE PAVERS AT RAMP AND STAIRS – MORTAR SET ON CONCRETE.
- (E1) 6" WIDE CONCRETE CURB. CURBS AT BIOFILTRATION AREAS WILL BE FORMED WITH CURB CUTS FOR WATER ENTRY. S.C.D. FOR CONCRETE. STANDARD GRAY. SAND BLAST FINISH.
- (E2) 12" WIDE CONCRETE CURB – PAINTED ONLY AT F1 & F2 S.C.D. FOR CONCRETE. STANDARD GRAY.
- (E3) CONCRETE SEATWALL STORMWATER PLANTER/ ①
L5.1
- (W1) CUSTOM WOOD BENCH ④
L5.0
- (G1) DOUBLE PEDESTRIAN GATE TO MATCH F2
- (G2) SINGLE PEDESTRIAN GATE TO MATCH F1
- (G3) VEHICULAR GATE – 9 GAUGE, BLACK VINYL COATED STEEL CHAIN LINK
- (F1) 60-INCH TALL BLACK METAL FENCE WITH COLUMNS AND YELLOW CURBS TO MATCH EXISTING, SEE SHEET L3.1 FOR PHOTO OF EXISTING FENCE
- (F2) 42-INCH TALL BLACK METAL FENCE WITH COLUMNS AND YELLOW CURBS TO MATCH EXISTING, SEE SHEET L3.1 FOR PHOTO OF EXISTING FENCE
- (F3) METAL "BAMBOO" SCREEN ②
L5.1
- (F4) 10-FOOT TALL 9-GAUGE, BLACK VINYL COATED STEEL CHAIN LINK FENCE
- (F5) STAINLESS STEEL HANDRAIL ③ ④
L5.1 & L5.1
- (M1) GAME TABLE AND CHAIRS
 PRODUCT: GAME TABLE
 MANUFACTURER: STREETPARK
 MOUNTING OPTION: IN-GROUND
 WEBSITE: STREETPARK.EU/CS/
- (M2) BENCH WITH BACK
 PRODUCT: 6' WINCHESTER BENCH W/ BACK
 BENCH COLOR: RED
 MOUNTING OPTION: SURFACE MOUNT
 MANUFACTURER: WABASH VALLEY
 WEBSITE: WABASHVALLEY.COM
- (M3) TRASH RECEPTACLE
 PRODUCT: URBAN RENAISSANCE
 POWDERCOAT: SLATE TEXTURE TO MATCH EXISTING
 MOUNT: SURFACE MOUNT
 MANUFACTURER: FORMS AND SURFACES
 WEBSITE: FORMS-SURFACES.COM
- (M4) BIKE RACKS
 PRODUCT: DOWNTOWN W/ CONNECTING RAILS
 COLOR: FLAT BLACK
 MOUNT OPTION(S): SURFACE MOUNT FOR CONCRETE IN-GROUND MOUNT ON PAVERS
 MANUFACTURER: DERO BIKE RACK CO.
 WEBSITE: WWW.DERO.COM
 CONTACT: PETER LEMIEUX E-MAIL: PETER@DERO.COM
- (M5) TREE GUARD
 PRODUCT: THAMES TREE GUARD
 COLOR: BLACK
 MANUFACTURER: GREEN BLUE URBAN
 WEBSITE: GREENBLUE.COM
- (M6) MESH MULTI-GOAL
 PRODUCT: P-SPO-GEBS-MULM
 MANUFACTURER: PENTAGON WEBSITE: PENTAGONPLAY.CO.UK
 COLOR: RED
- (M7) BOLLARD
 PRODUCT: BOLLARD 400
 COLOR: TEXTURED BLACK
 MOUNT: S-1SL GROUND SLEEVE OPTION
 MANUFACTURER: DUMOR
 WEBSITE: DUMOR.COM



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Sheet Name
MATERIALS PLAN

Sheet No.
L3.0



TREE BOSK PLAZA RENDERING



WINCHESTER BENCH AND CHAIR BY WABASH VALLEY
 COLOR: RED, SURFACE MOUNT- CHAIR IS USED AT GAME TABLES



MAT GAME TABLE BY STREETPARK
 SURFACE MOUNT

PLANS FOR THE CONSTRUCTION OF
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 250 10th Street, Oakland, CA 94607



TRASH RECEPTACLE MATCHES EXISTING
 URBAN RENAISSANCE FROM FORMS + SURFACES
 COLOR: SLATE, SURFACE MOUNT



BOLLARD
 BOLLARD 400 FROM DUMOR
 COLOR: TEXTURED BLACK



BIKE RACKS
 DOWNTOWN WITH CONNECTING RAILS FROM DERO
 COLOR: FLAT BLACK, RAILS ARE GALVANIZED



MESH MULTI-GOAL
 BY PENTAGON
 COLOR: RED



FENCE COLUMN & CURB PAINT
 METAL FENCES AT PERIMETER EXCEPT AT MULTI-USE COURT



TREE GUARDS NEAR MULTI-USE COURT
 THAMES TREE GUARD, GREEN BLUE URBAN
 COLOR: BLACK



CHAIN LINK FENCE
 AT PERIMETER ADJACENT TO MULTI-USE COURT
 10-FOOT TALL, BLACK VINYL COATED



PLAZA PROTECTION SCREEN RENDERING
 SHOWING ACTUAL DESIGN AND TRANSPARENCY
 BLACK STEEL CONSTRUCTION

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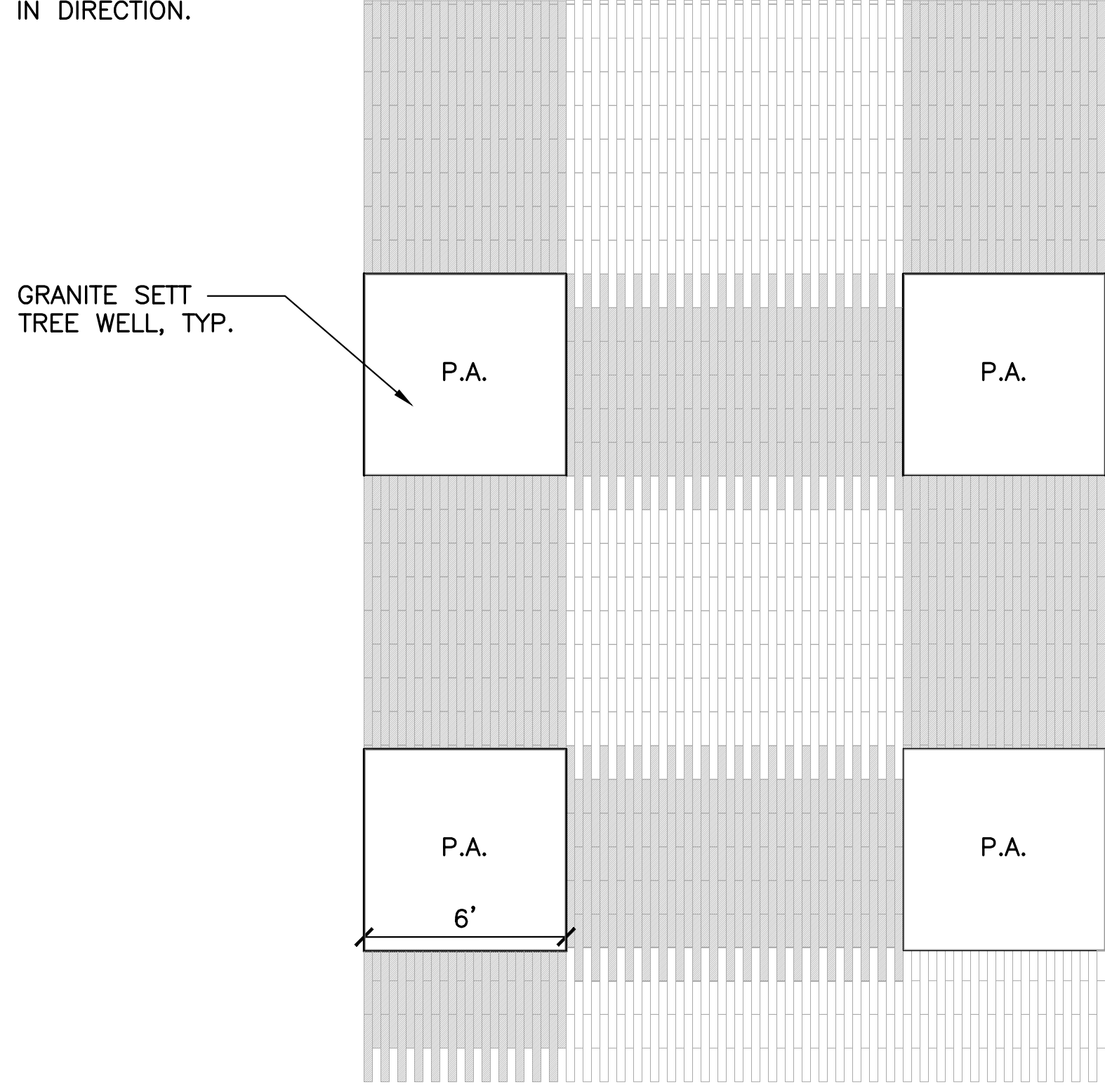
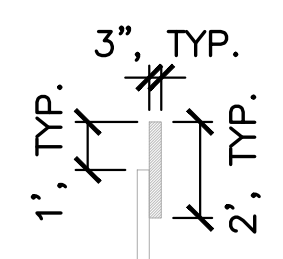
SKA Project Number: 00000.000

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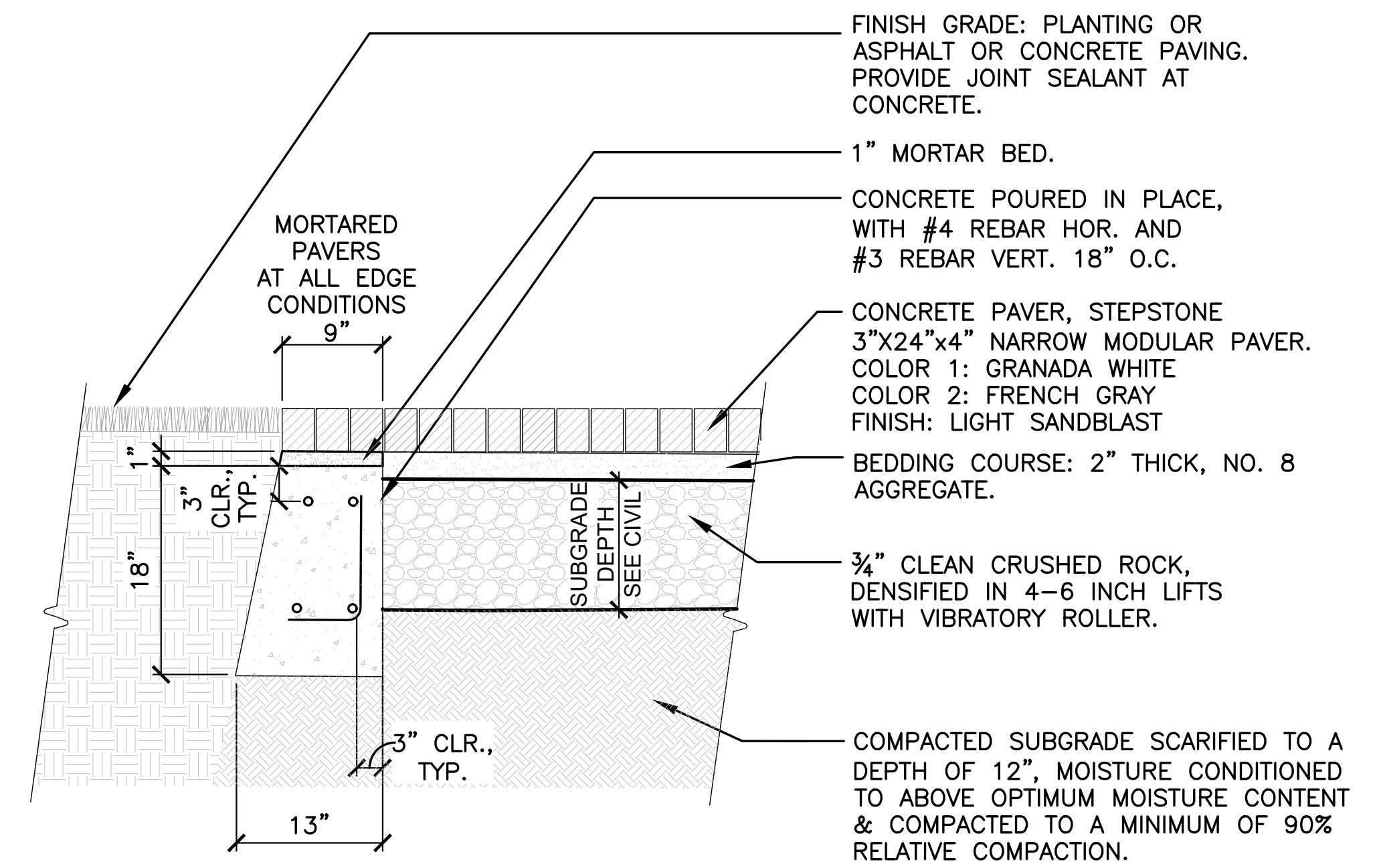
UNIT PAVER
MANUFACTURER: STEPSTONE
PRODUCT: NARROW MODULAR PAVER
FINISH: LIGHT SANDBLAST
COLORS: GRANADA WHITE, FRENCH GRAY
WEBSITE: <https://www.stepstoneinc.com>

NOTE:
UNIT PAVERS IN OTHER LOCATIONS ARE FRENCH GRAY IN A RUNNING BOND PATTERN. SEE SHEET L-3.0 FOR CHANGES IN DIRECTION.



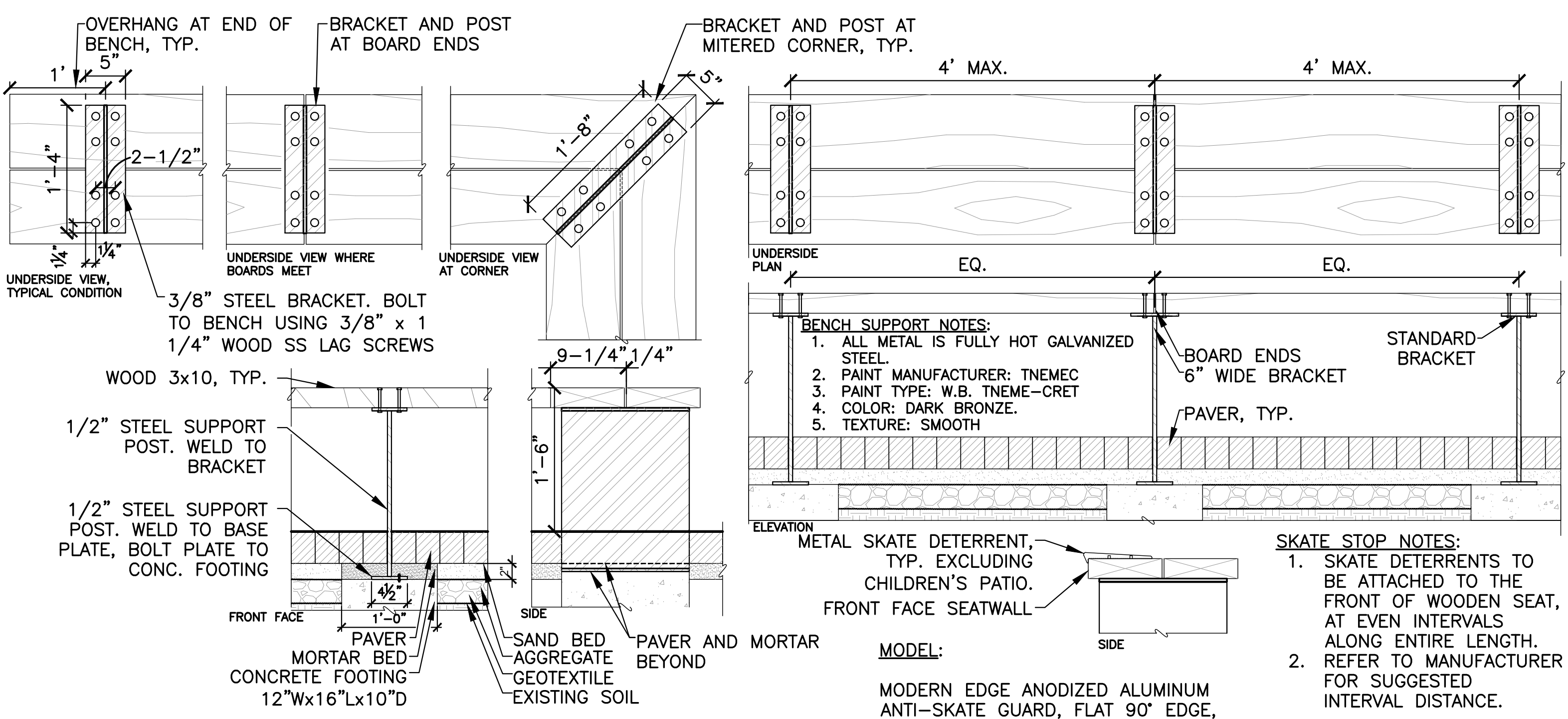
2 TREE BOSK PLAZA PAVING PATTERN
SCALE: 1/4"=1'

NOTE:
SEE DETAIL 2 ON THIS SHEET FOR TREE BOSK PLAZA PAVING PATTERN. UNIT PAVERS IN OTHER LOCATIONS ARE FRENCH GRAY IN A RUNNING BOND PATTERN. SEE SHEET L-3.0 FOR CHANGES IN DIRECTION.



1 CONCRETE PAVER
SCALE: 1"=1'

NOTE: ALL WOOD TO BE CLEAR HEART WESTERN YELLOW CEDAR.

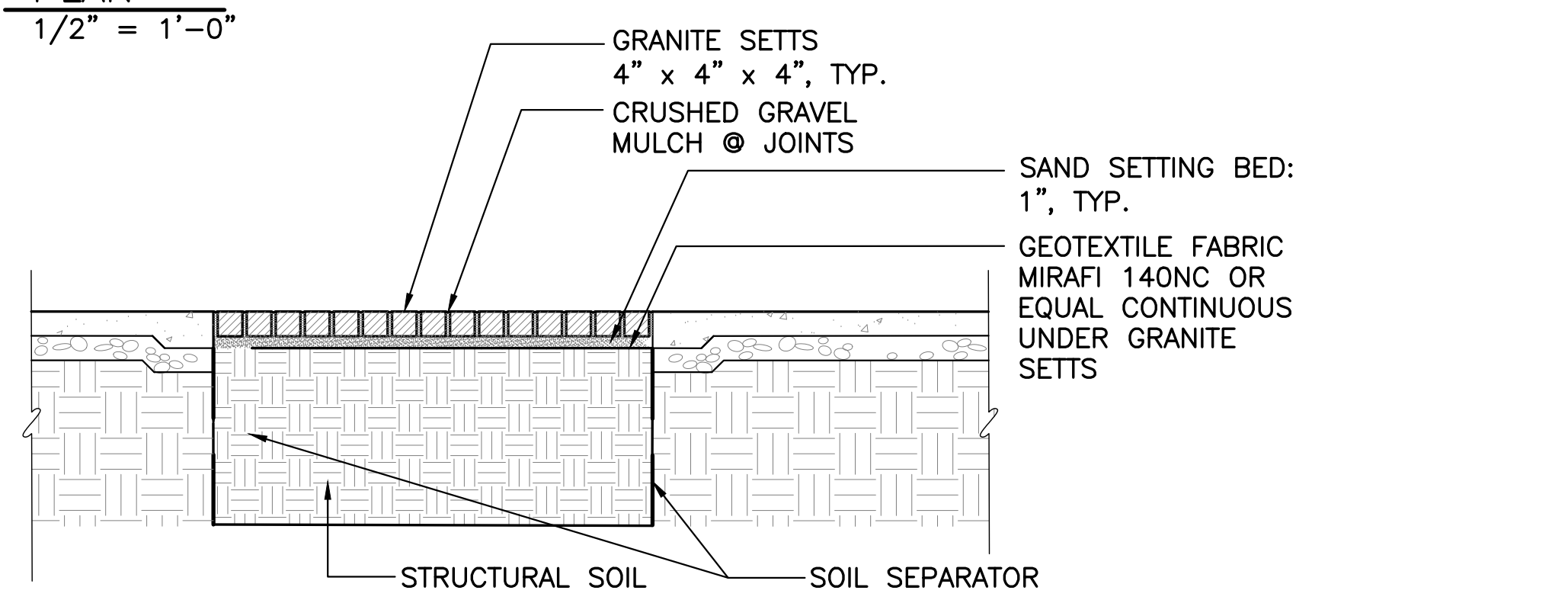
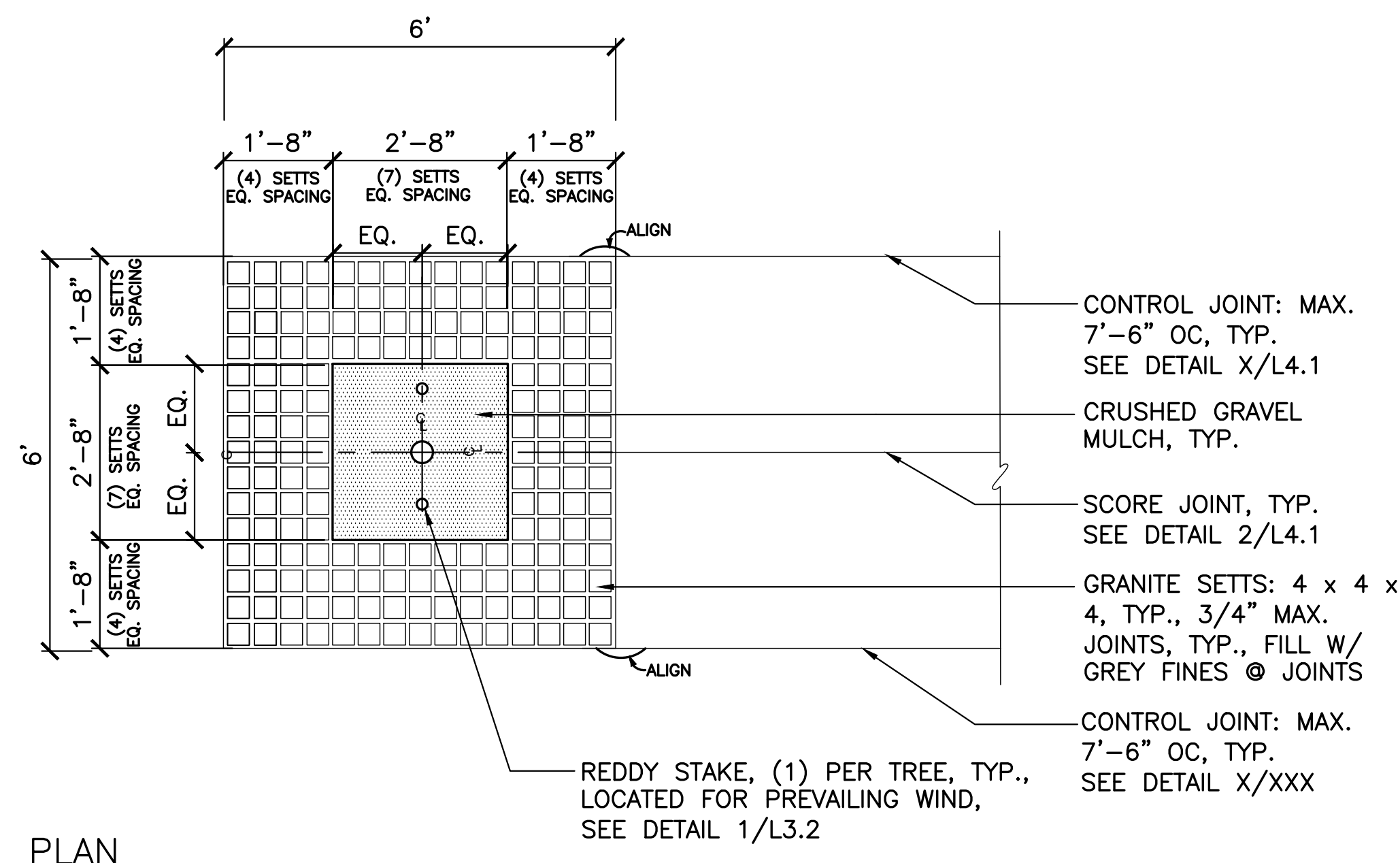


4 CUSTOM WOOD BENCH
SCALE: 1"=1'

BENCH SUPPORT NOTES:
1. ALL METAL IS FULLY HOT GALVANIZED STEEL.
2. PAINT MANUFACTURER: TNE MEC
3. PAINT TYPE: W.B. TNE ME-CRET
4. COLOR: DARK BRONZE.
5. TEXTURE: SMOOTH

SKATE STOP NOTES:
1. SKATE DETERRENTS TO BE ATTACHED TO THE FRONT OF WOODEN SEAT, AT EVEN INTERVALS ALONG ENTIRE LENGTH.
2. REFER TO MANUFACTURER FOR SUGGESTED INTERVAL DISTANCE.

MODEL:
MODERN EDGE ANODIZED ALUMINUM ANTI-SKATE GUARD, FLAT 90° EDGE, HARD ANODIZED FINISH. FINISH COLOR: MATTE BLACK. SEE <https://www.bcsiteservice.com/>



3 GRANITE SETT TREE WELL
SCALE: 1/2"=1'-0"

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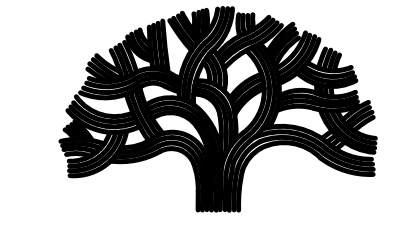
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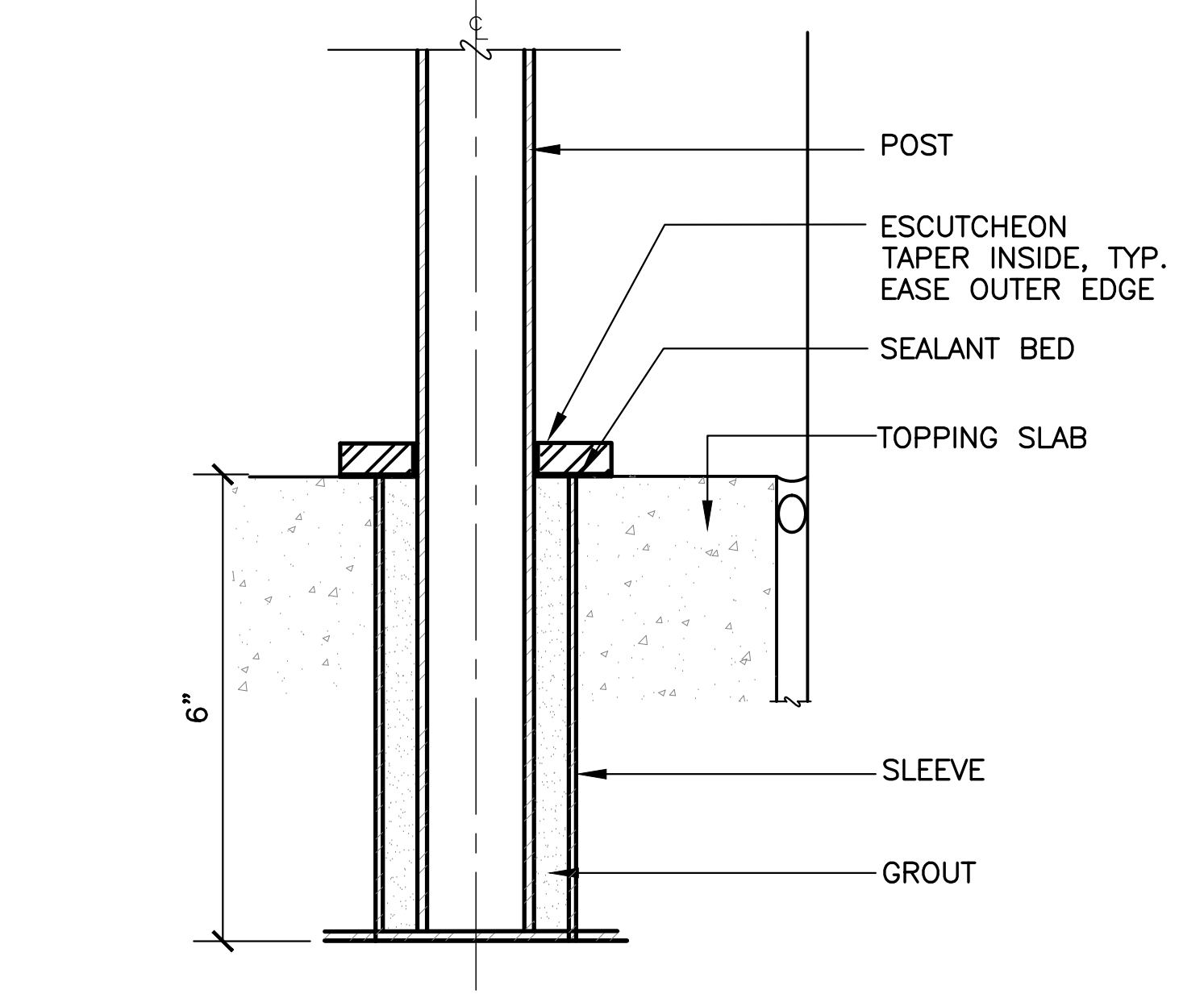
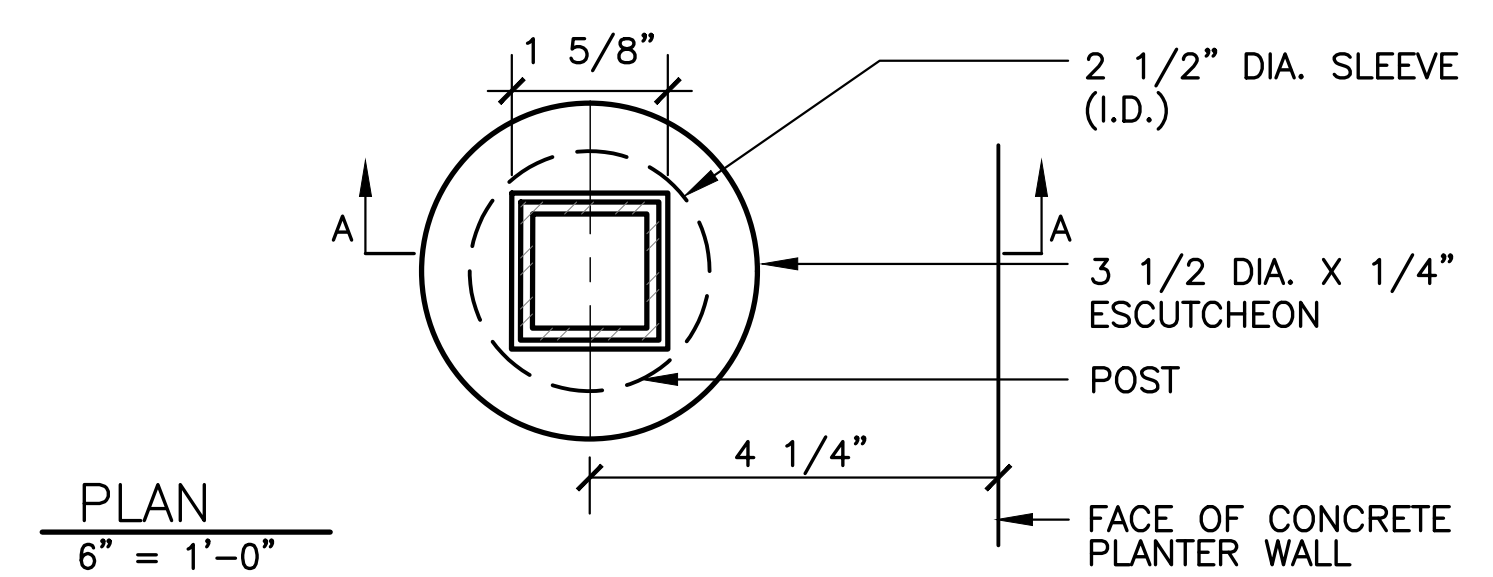
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Exp. 7/31/24
Date 9/23/22
STATE OF CALIFORNIA

Sheet Name
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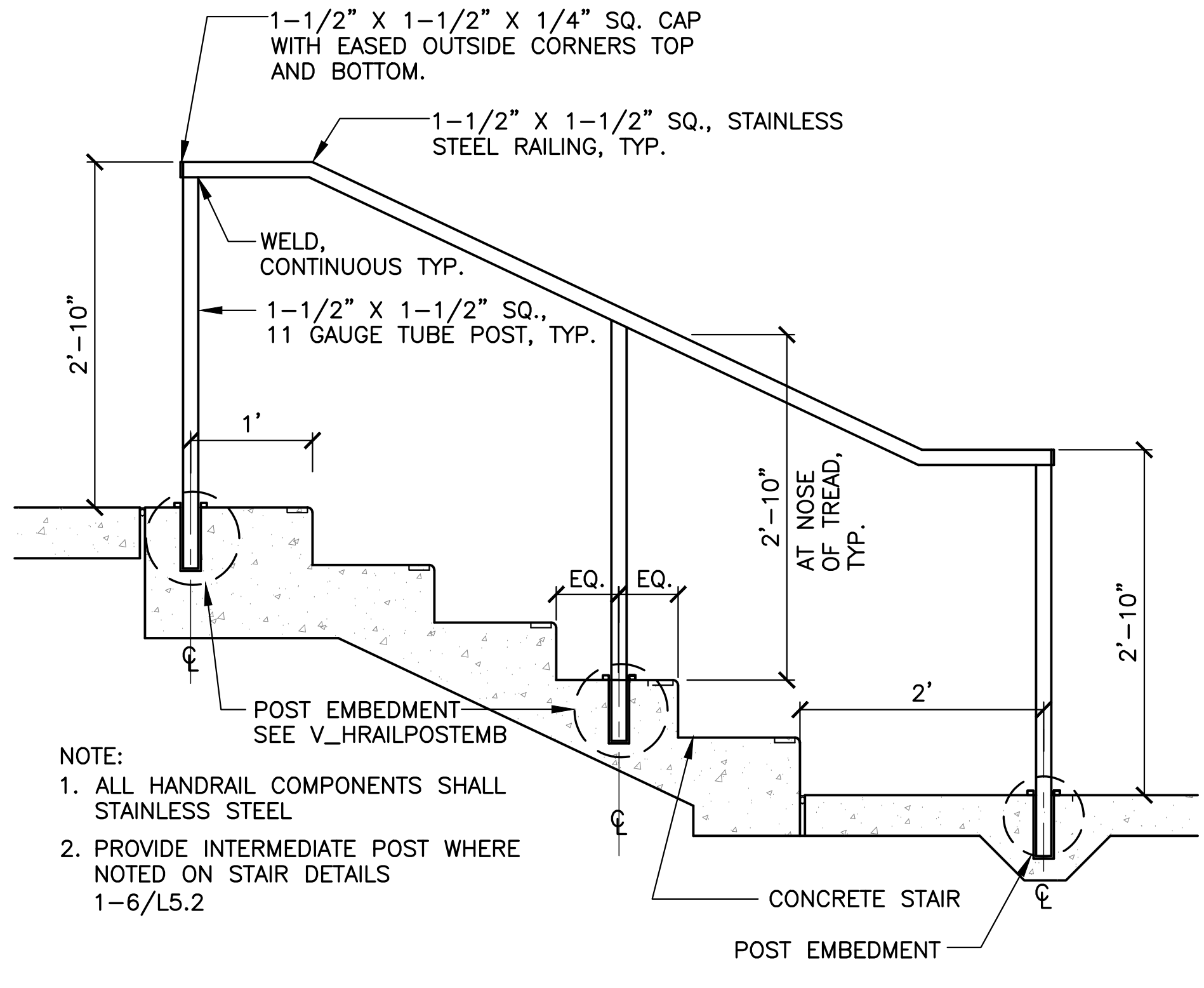
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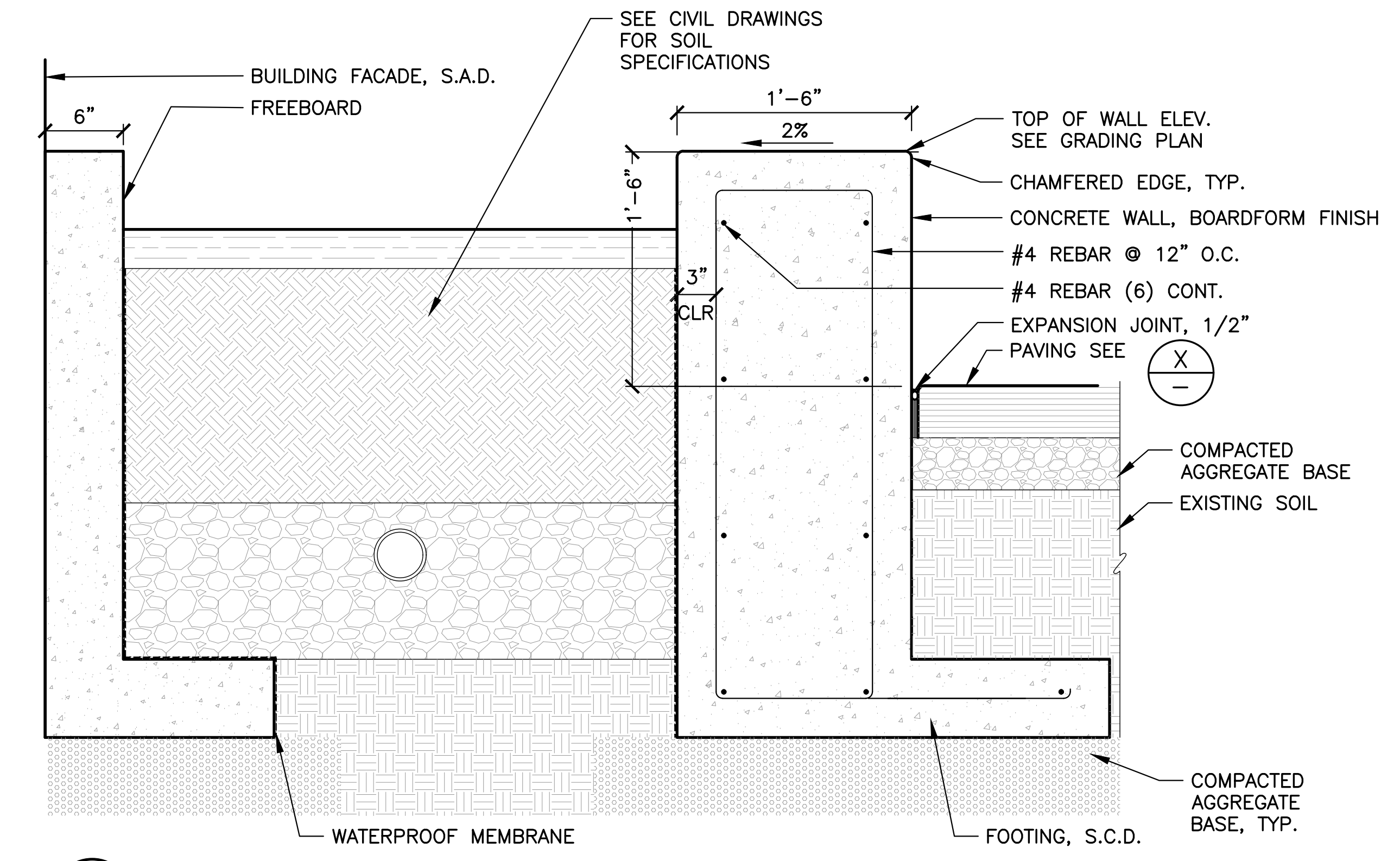
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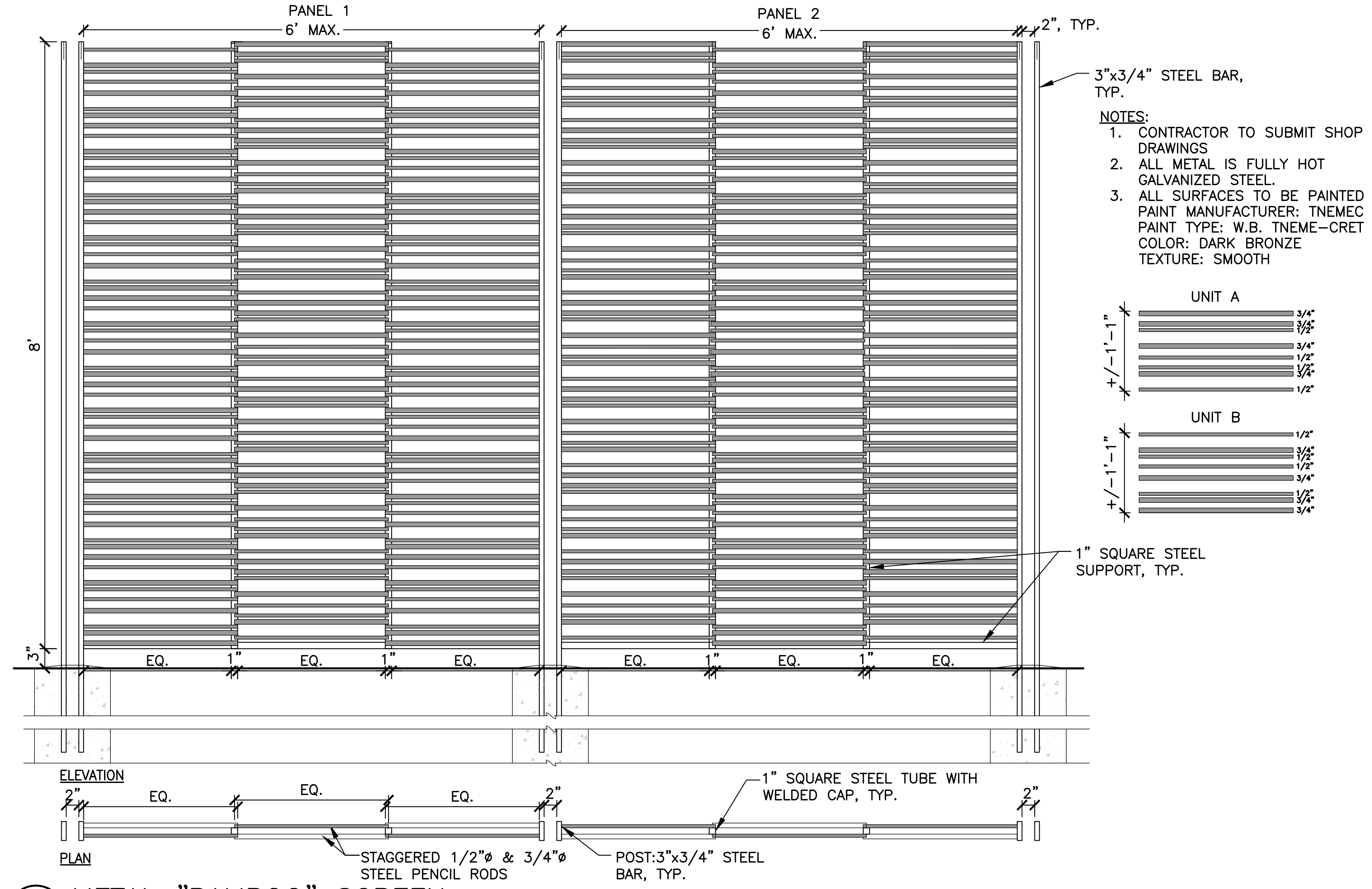
4 POST EMBEDMENT
 SCALE: 1"=1'-0"
 V_HRAILPOSTEMB



3 HANDRAIL
 SCALE: 1"=1'-0"
 FOR DESIGN INTENT ONLY

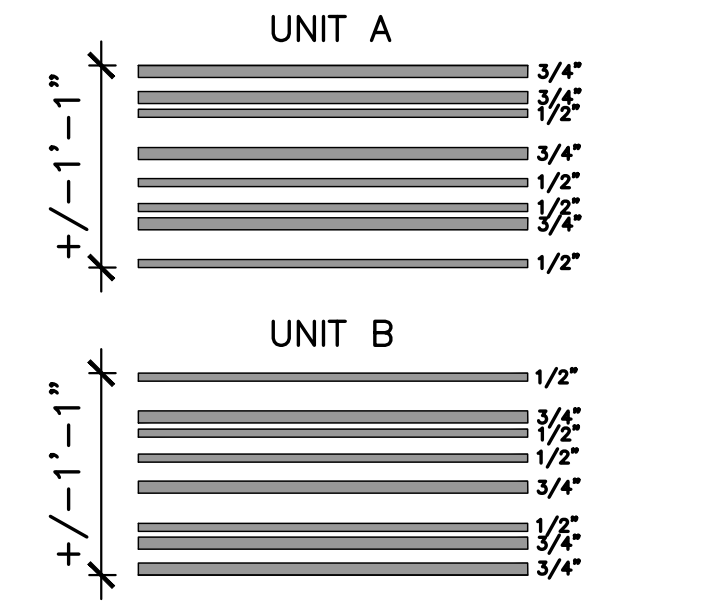


1 CONCRETE SEATWALL STORMWATER PLANTER
 SCALE: 1-1/2"=1'
 V_CONCSW01



2 METAL "BAMBOO" SCREEN
 SCALE: 1"=1'

- NOTES:**
- CONTRACTOR TO SUBMIT SHOP DRAWINGS
 - ALL METAL IS FULLY HOT GALVANIZED STEEL.
 - ALL SURFACES TO BE PAINTED
 PAINT MANUFACTURER: TNEMEC
 PAINT TYPE: W.B. TNEME-CRET
 COLOR: DARK BRONZE
 TEXTURE: SMOOTH



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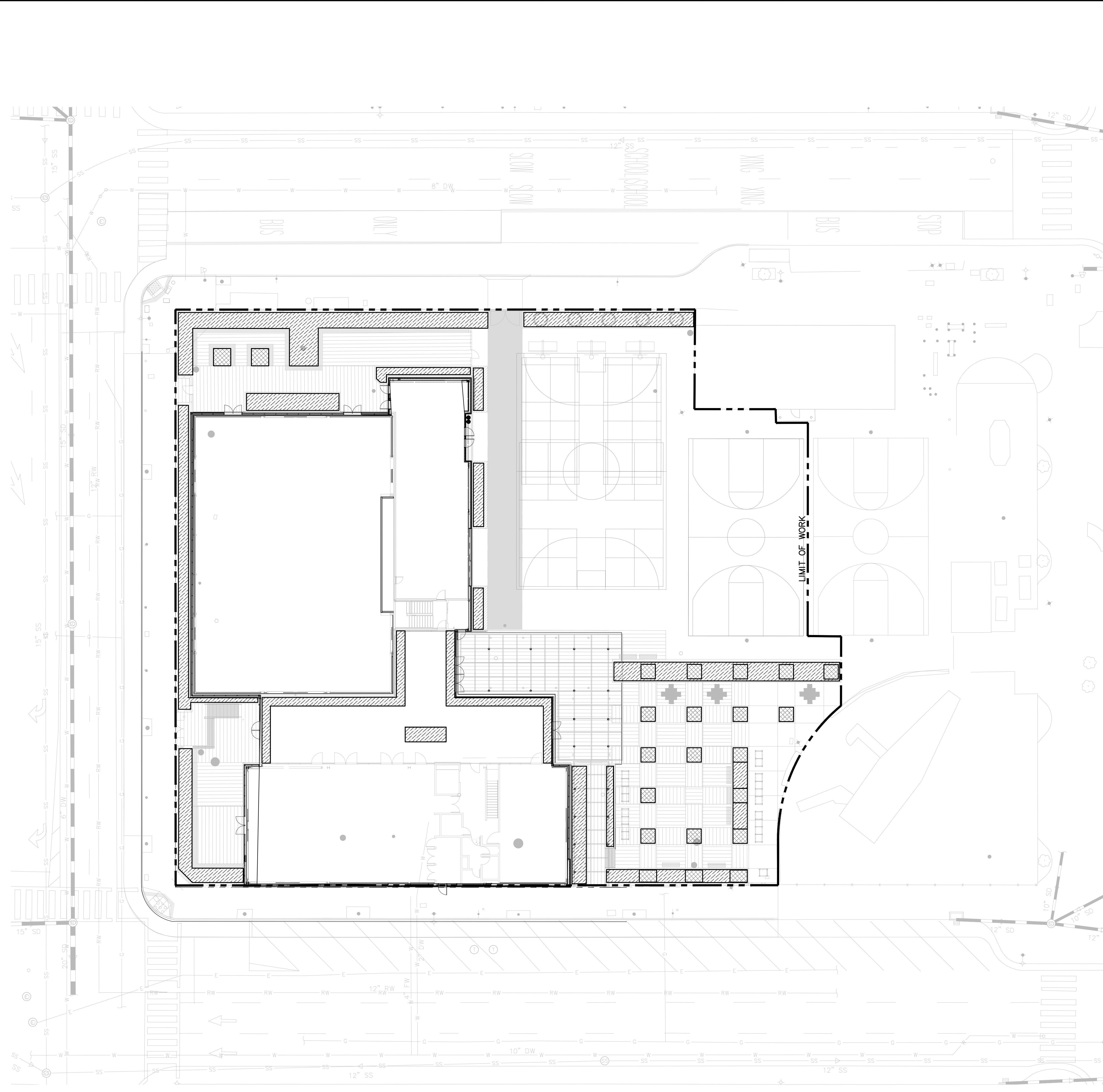
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IRRIGATION NOTES:

1. ESTIMATED WATER USAGE, BY PLANT COUNT: 86% OF PLANTS ARE RATED 'LOW' WATER USE; 14% OF PLANTS ARE 'MODERATE' WATER USE.
2. ALL LANDSCAPE AREAS WITHIN THE LIMIT OF WORK LINE TO BE IRRIGATED WITH A NEW, AUTOMATIC IRRIGATION SYSTEM FITTED WITH A 'SMART CONTROLLER' THAT CAN PROVIDE MULTI-CYCLE WATERING AND ADJUST TO REAL-TIME SITE CONDITIONS. IRRIGATION TO BE SUBSURFACE INLINE DRIP FOR ALL PLANTING AREAS. TREES TO BE WATERED ON INDEPENDENT VALVE CIRCUITS WITH DRIP BUBBLERS THAT CAN PROVIDE DEEP-ROOT IRRIGATION.

IRRIGATION AUDIT AND SCHEDULE:

AFTER LANDSCAPING AND IRRIGATION HAS BEEN INSTALLED (AND PRIOR TO FINAL INSPECTION FOR A BUILDING PERMIT), A LANDSCAPING MAINTENANCE SCHEDULE AND CERTIFICATE OF COMPLETION MUST BE SUBMITTED. FOR NEW LANDSCAPING INSTALLATIONS 500 SQ. FT. OR MORE AND REHABILITATED LANDSCAPES 2,500 SQ. FT. OR MORE, AN IRRIGATION AUDIT REPORT AND IRRIGATION SCHEDULE MUST BE PREPARED AND SUBMITTED BY A THIRD PARTY CERTIFIED PROFESSIONAL.

WATER EFFICIENCY:

OPTION1: NO TURF AND EIGHT PERCENT WATER CONSERVATION PLANTS. THERE WILL BE NO TURF OR HIGH WATER USE PLANTS IN THE LANDSCAPE AREAS OF THIS PROJECT, AND AT LEAST EIGHTY PERCENT OF THE PLANTS INSTALLED SHALL BE LOW WATER USE OR NO WATER PLANTS. THE WATER USE FACTOR HAVE BEEN OBTAINED FROM WUCOLS, WATER USE CLASSIFICATION OF LANDSCAPE SPECIES.

WELO STATEMENT:

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENT PACKAGE DURING THE CONSTRUCTION DOCUMENT PHASE OF THIS PROJECT.

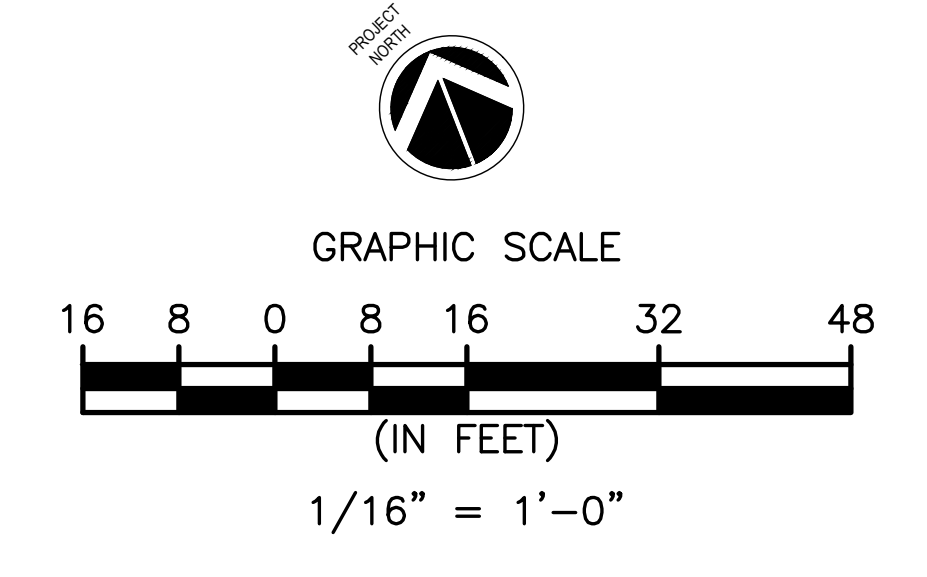
NAME Cathy Merrill DATE 09/09/2022

HYDROZONE LEGEND

- LOW WATER USE: 3,839 SF = 87%
- MEDIUM WATER USE: 575 SF = 13%
- TOTAL LANDSCAPE AREA: 4,414 SF
- LIMIT OF WORK

PLANT LIST

Scientific Name	Common Name	Size	Water Use
TREES			
Celtis sinensis	Chinese Hackberry	24" box	Low
Cercis occidentalis	Western Redbud	15 gal.	Very Low
Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	24" box	Moderate
Lophostemon confertus	Brisbane Box	24" box	Low
SHRUBS, PERENNIALS & GRASSES			
Callistemon viminalis 'Better John'	Better John Dwarf Bottlebrush	5 gal	Low
Chondropetalum tectorum	Small Cape Rush	5 gal	Low
Diets bicolor 'Liz's Selection'	Yellow Wild Iris	5 gal	Low
Hesperaloe parviflora 'perpa'	Brakelights Red Yucca	5 gal	Low
Juncus patens 'Elk Blue'	Elk Blue California Gray Rush	1 gal	Low
Lomandra 'Lime Tuff'	Dwarf Mat Rush	1 gal	Low
Lomandra 'Platinum Beauty'	Variegated Dwarf Mat Rush	1 gal	Low
Pennisetum 'Fairy Tails'	Evergreen Fountain Grass	5 gal	Low
Phormium 'Duet'	Dwarf Variegated Flax	5 gal	Low



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PLANS FOR THE CONSTRUCTION OF

**Lincoln Square
Recreation Center**

250 10th Street, Oakland, CA 94607

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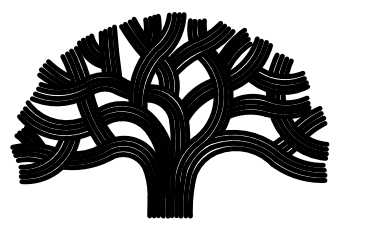
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Sheet Name
**PRELIMINARY
PLANTING &
HYDROZONE PLAN**

Sheet No.
L6.0

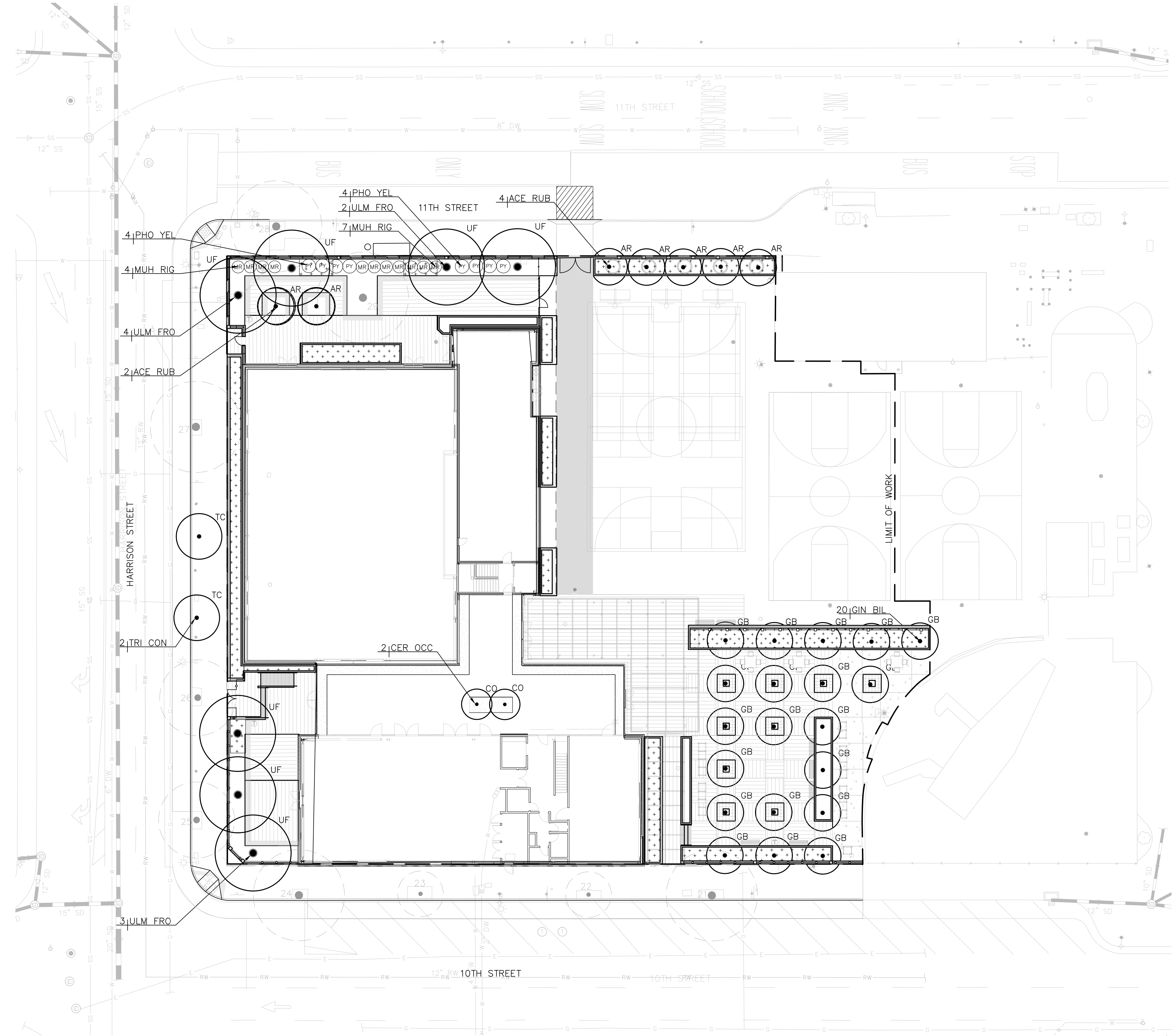
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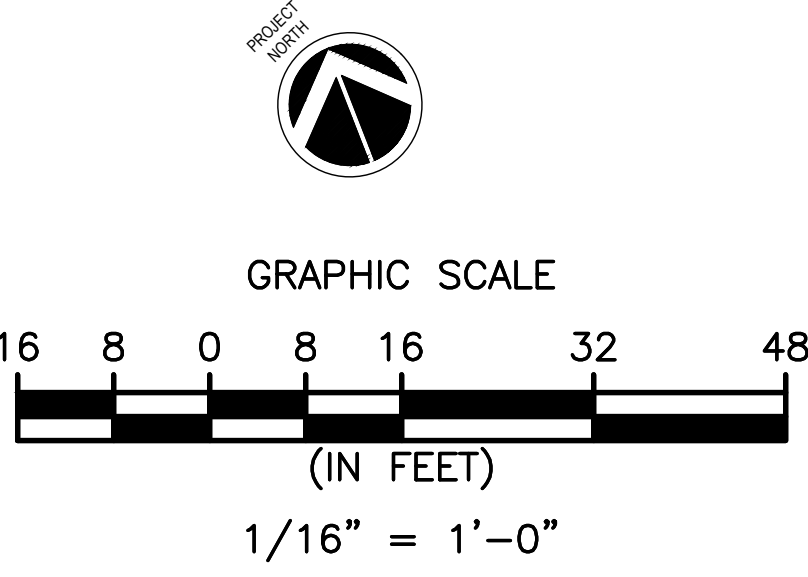
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KEY LATIN NAME	COMMON NAME	QTY	SIZE	CONTAINER	WATER USE
TREES					
AR	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG GOLD RED MAPLE	X	35'X12' 24" BOX	LOW
CO	CERCIS OCCIDENTALIS	WESTERN REDBUD	X	35'X12' 15 GAL	VERY LOW
GB	GINKGO BILOBA 'PRINCETON SENTINEL'	MAIDENHAIR	X	40'X20' 24" BOX	MED
TC	TRISTANIA CONFERTA	BRISBANE BOX	X	35'X25' 24" BOX	LOW
UF	ULMUS 'FRONTIER'	FRONTIER ELM	X	40'X30' 24" BOX	LOW
SHRUBS AND GROUNDCOVER					
ARC ML	ARCHILEX MILLEFOLIUM	'YARROW'	142	1'0.C.	1 GAL LOW
ARC UVA	ARCTOSTAPHYLOS UVA 'EMERALD CARPET'	EMERALD CARPET MANZANITA	17	1'x4'	1 GAL LOW
CEA YAN	CEANOTHUS 'YANKEE POINT'	CALIFORNIA LILAC	60	3'x6'	5 GAL LOW
CHO TEC	CHONDROPETALUM TECTORUM	CAPE REED	60	2'x3'	1 GAL LOW BIOFILTRATION
CIS LAD	CISTUS LADANIFER	CRIMSON-SPOT ROCKROSE	60	4'x4'	5 GAL LOW
DIE BIC	DIETIS BICOLOR 'LIZ'S SELECTION'	YELLOW WILD IRIS	7	2'x3'	5 GAL LOW
ERI GLA	ERIGERON GLAUCUS 'CAPE SEBASTIAN'	SEASIDE DAISY	223	1'x2'	1 GAL LOW BIOFILTRATION
FRA CAL	FRANGULA CALIFORNICA 'SEA VIEW'	COFFEEBERRY	485	3'x6'	5 GAL LOW
LAN NEW	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	485	1'x4'	5 GAL LOW
LOR CHI	LOROPETALUM CHINENSIS 'EVER RED'	EVER RED FRINGE FLOWER	485	6'x6'	5 GAL LOW
MUH RIG	MUHLENBERGIA RIGENS	DEER GRASS	23	4'x4'	1 GAL LOW
PHO TEN	PHORMIUM TENAX 'DUET'	YELLOW WAVE NEW ZEALAND FLAX	26	3'x4'	1 GAL LOW
RIB SAN	RIBES SANGUINEUM 'CLAREMONT'	PINK FLOWERING CURRENT	6	4'x4'	5 GAL LOW BIOFILTRATION
WES FRU	WESTRINGIA FRUTICOSA	FALSE ROSEMARY	21	3'x3'	5 GAL LOW
GRASSES					
CAR DV	CAREX DIALSA	BERKELEY SEDGE	347	1.5'x1.5'	1 GAL LOW BIOFILTRATION
JUN PAT	JUNCUS PATENS 'ELK BLUE'	ELK BLUE CALIFORNIA GRAY RUSH	180	2'x2'	1 GAL LOW BIOFILTRATION
LOM LON	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	180	3'x3'	5 GAL LOW BIOFILTRATION

DRAIN ROCK - SEE STORMWATER DRAWINGS FOR INSTALLATION



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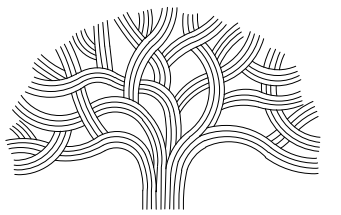
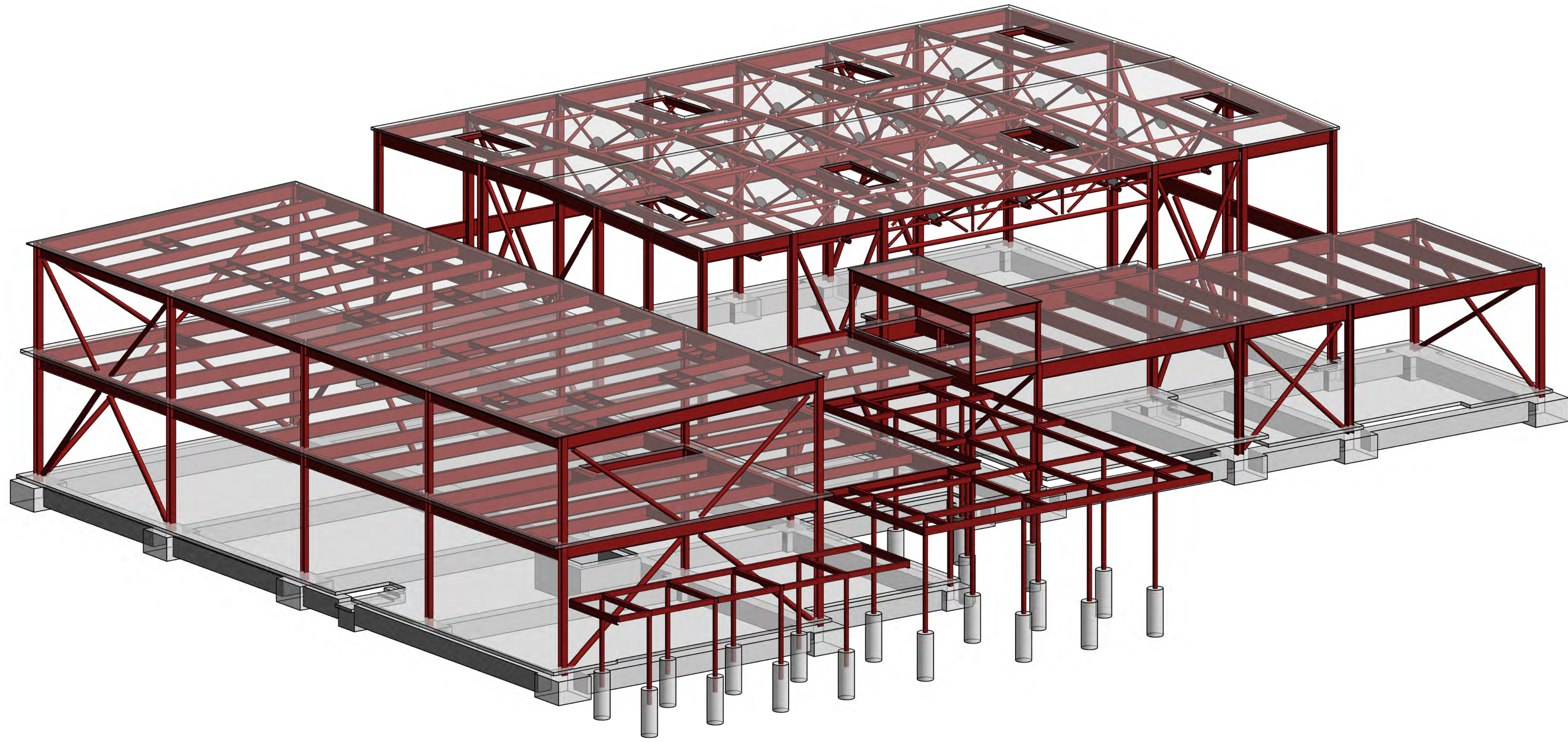
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 Sheet No.
L9.0

SKA Project Number: [00000.000]

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 Sheet No.
S-110

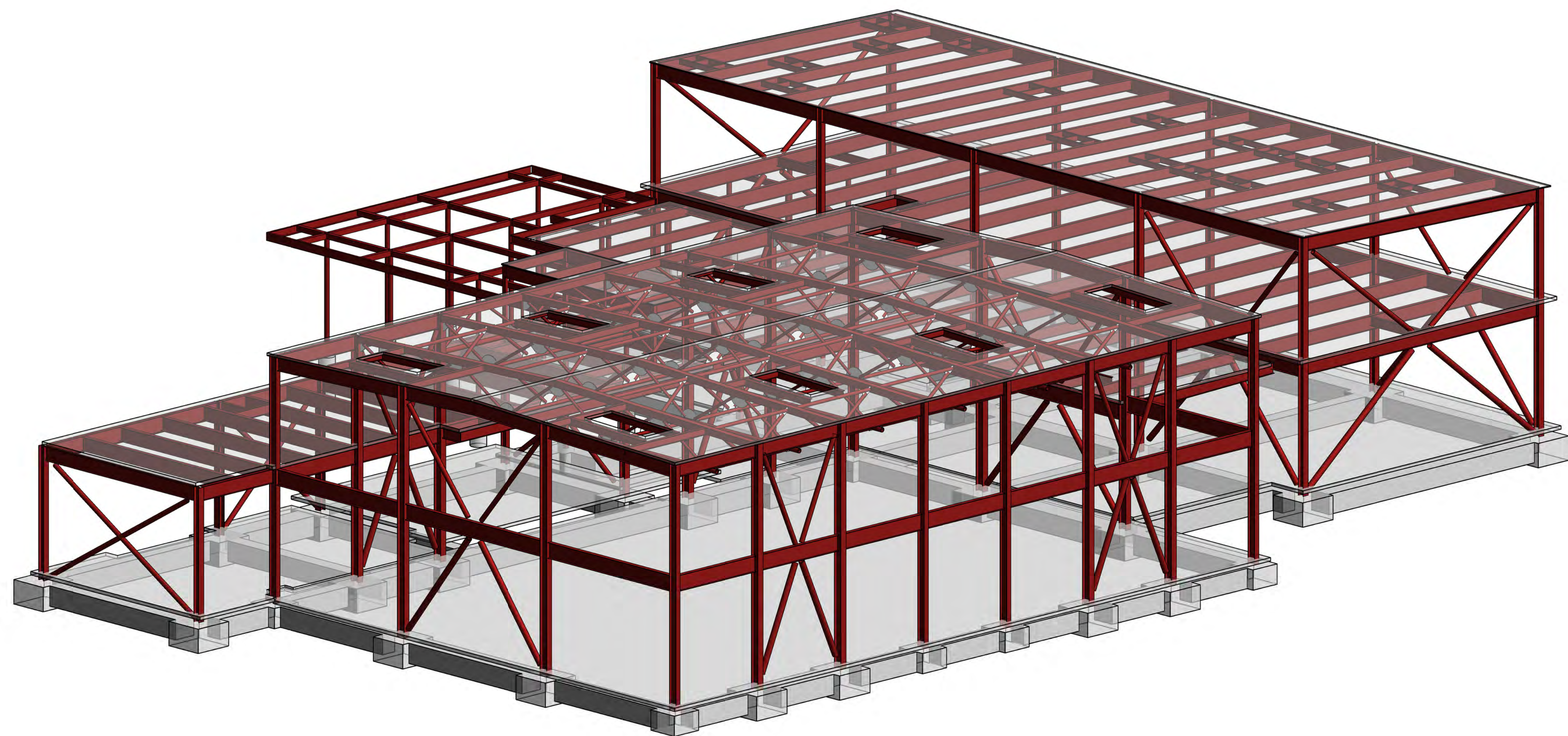
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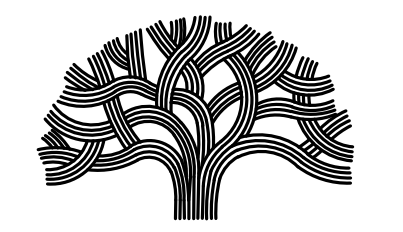
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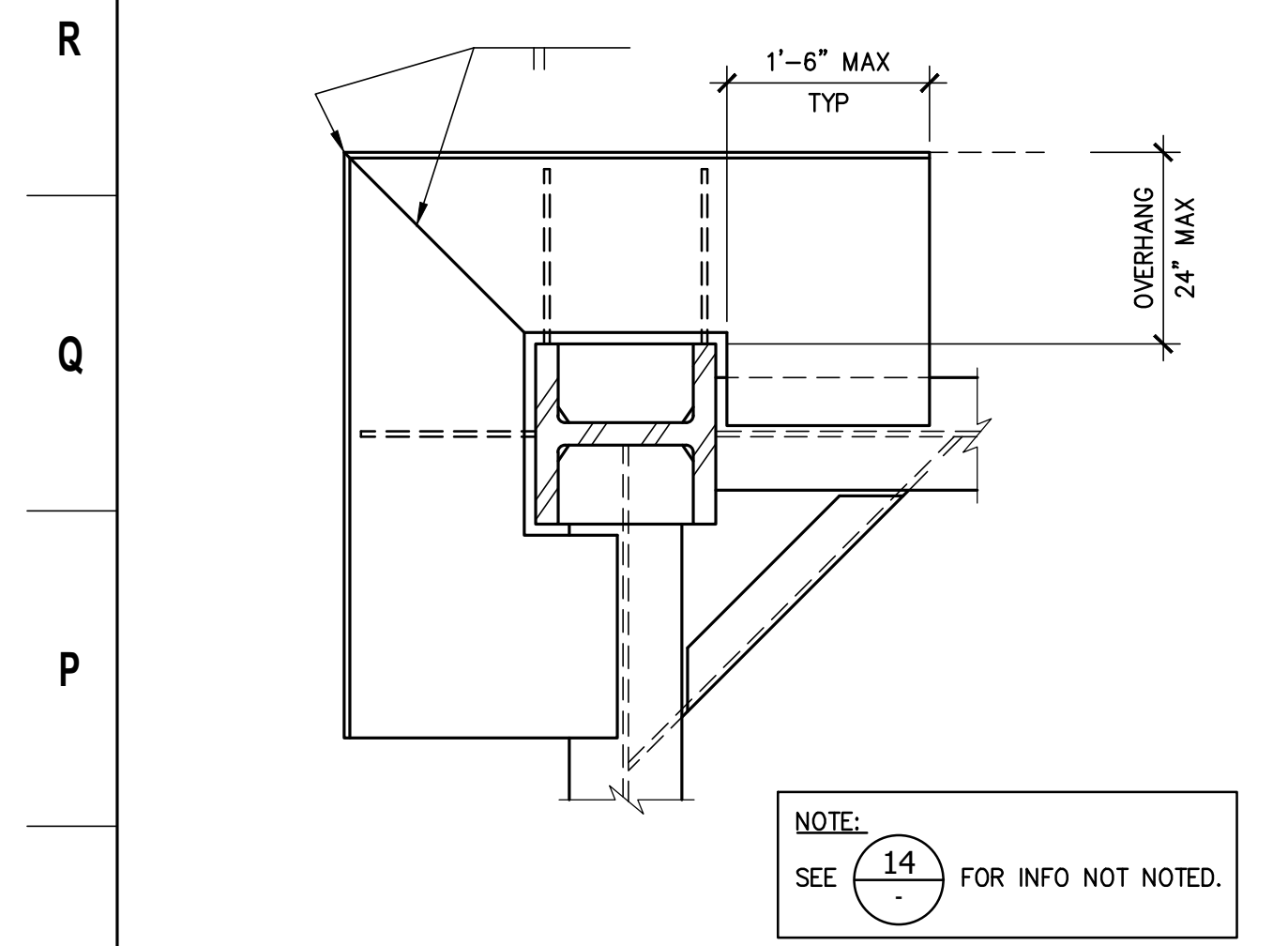
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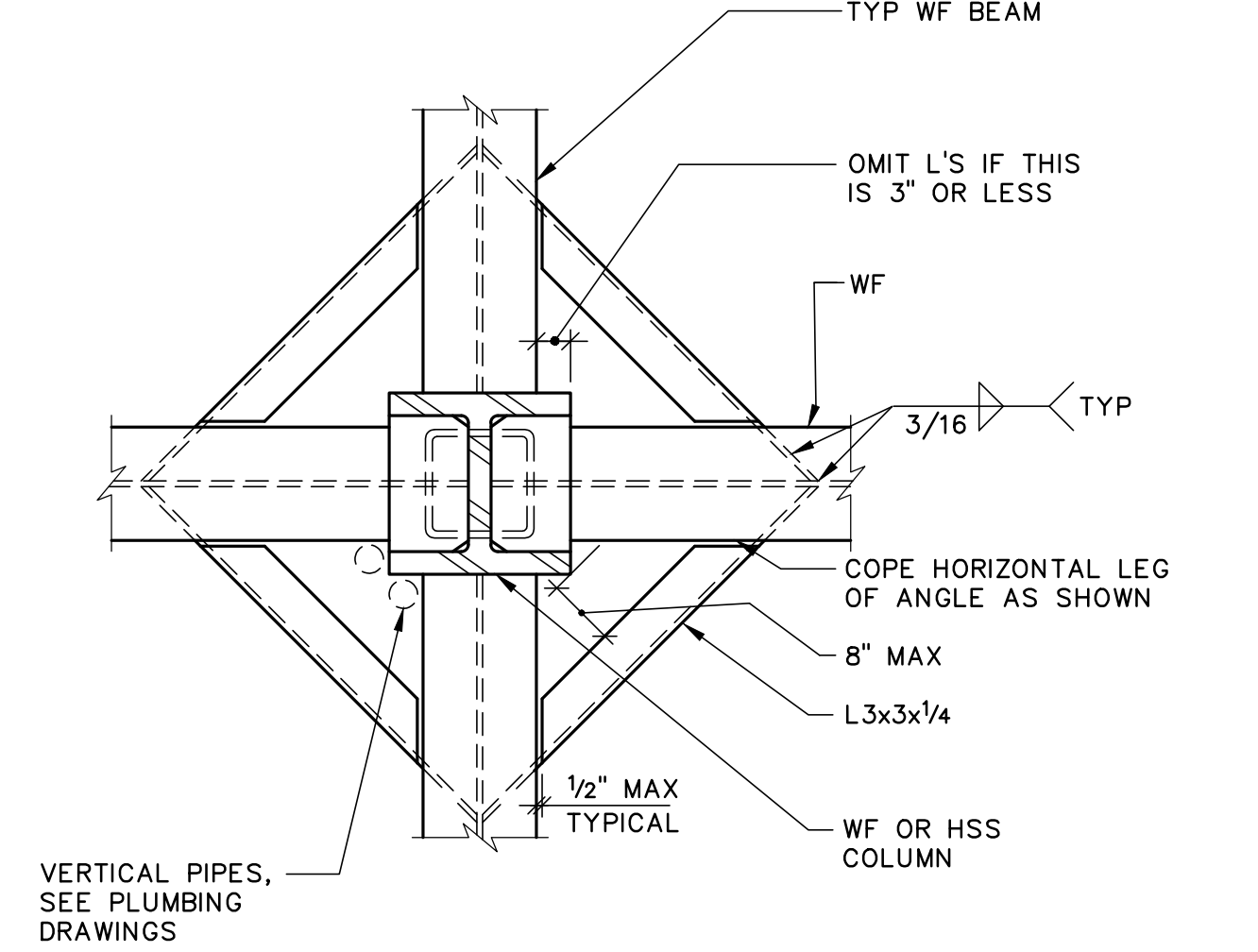
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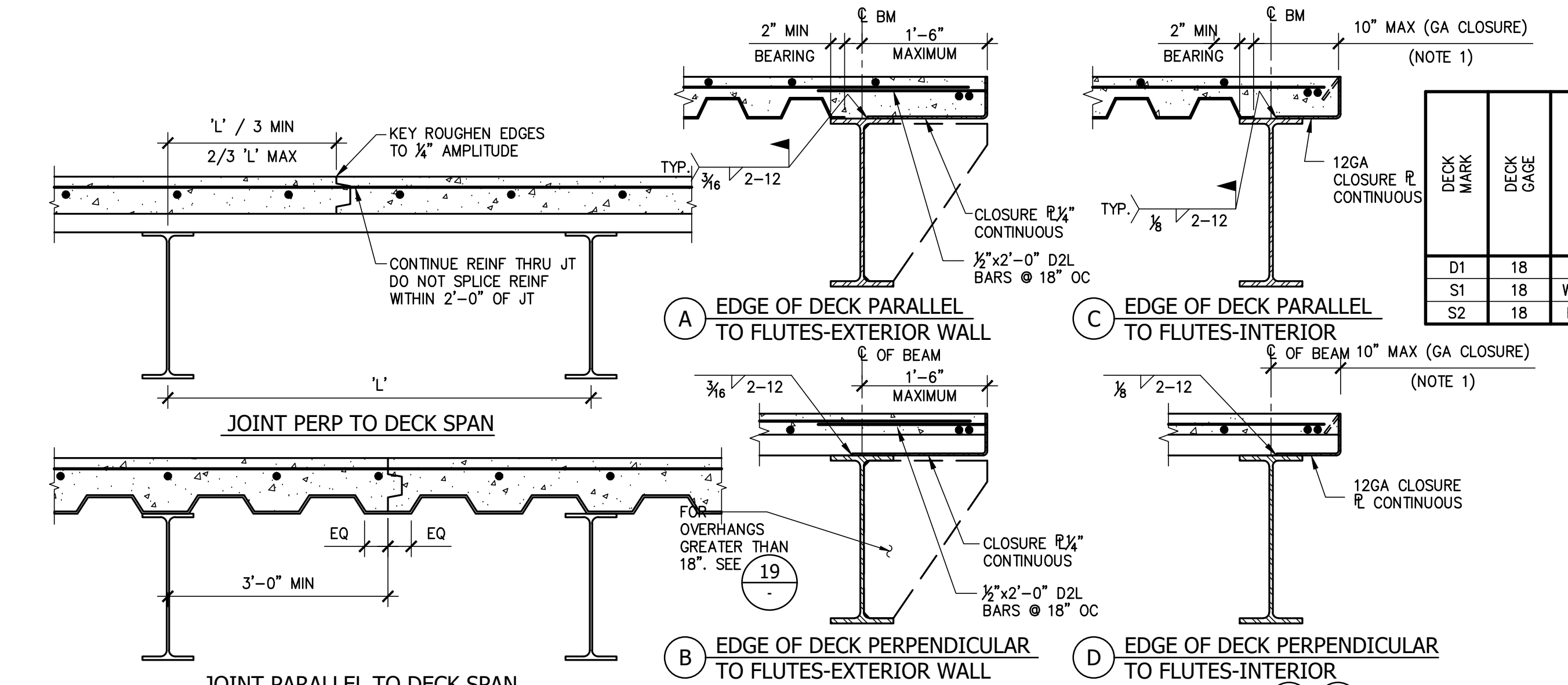
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17 STEEL DECK SUPPORT AT CORNER Scale: NTS



13 STEEL DECK SUPPORT AT COLUMN Scale: NTS

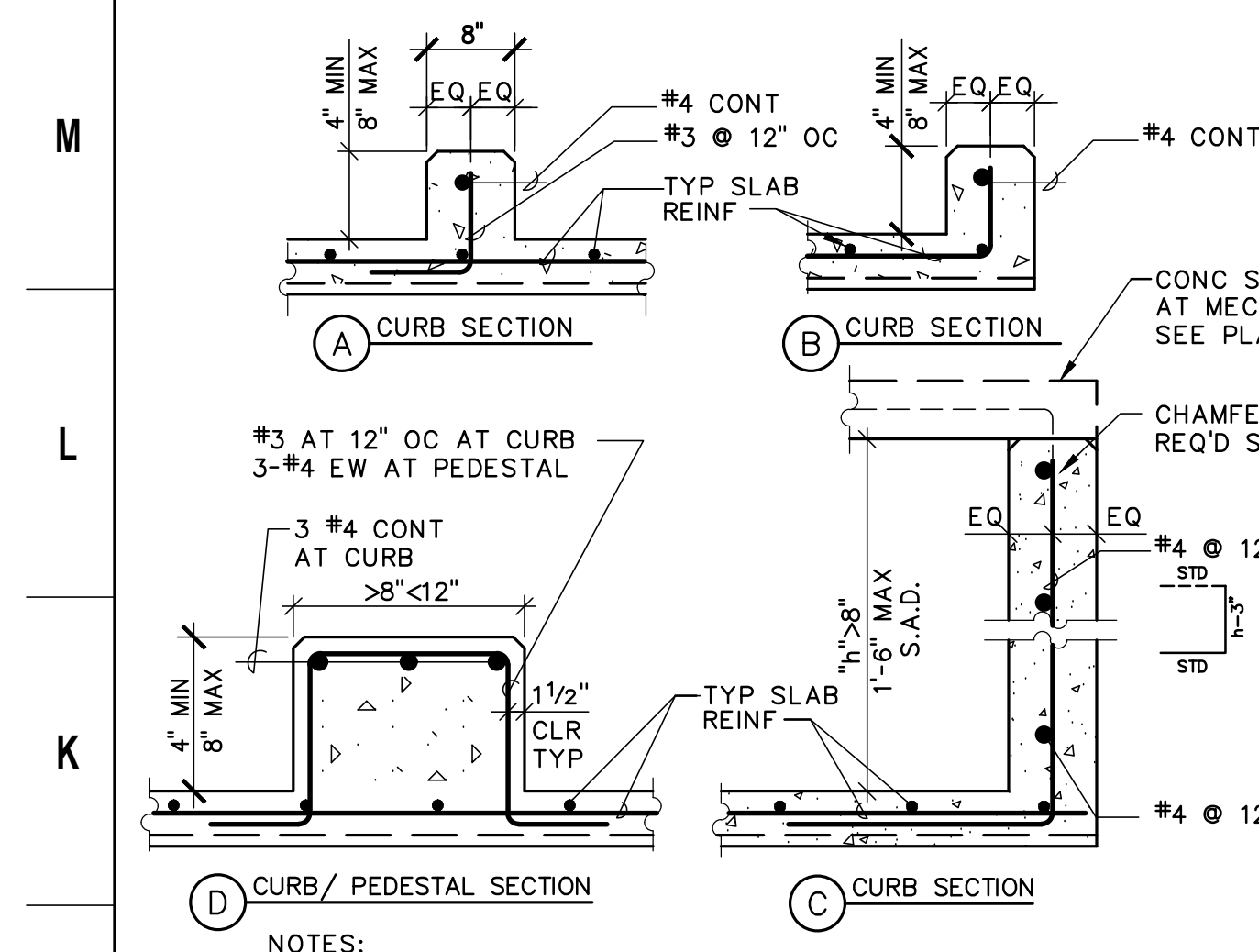


9 SLAB ON METAL DECK CONSTRUCTION JOINT LOCATIONS Scale: NTS

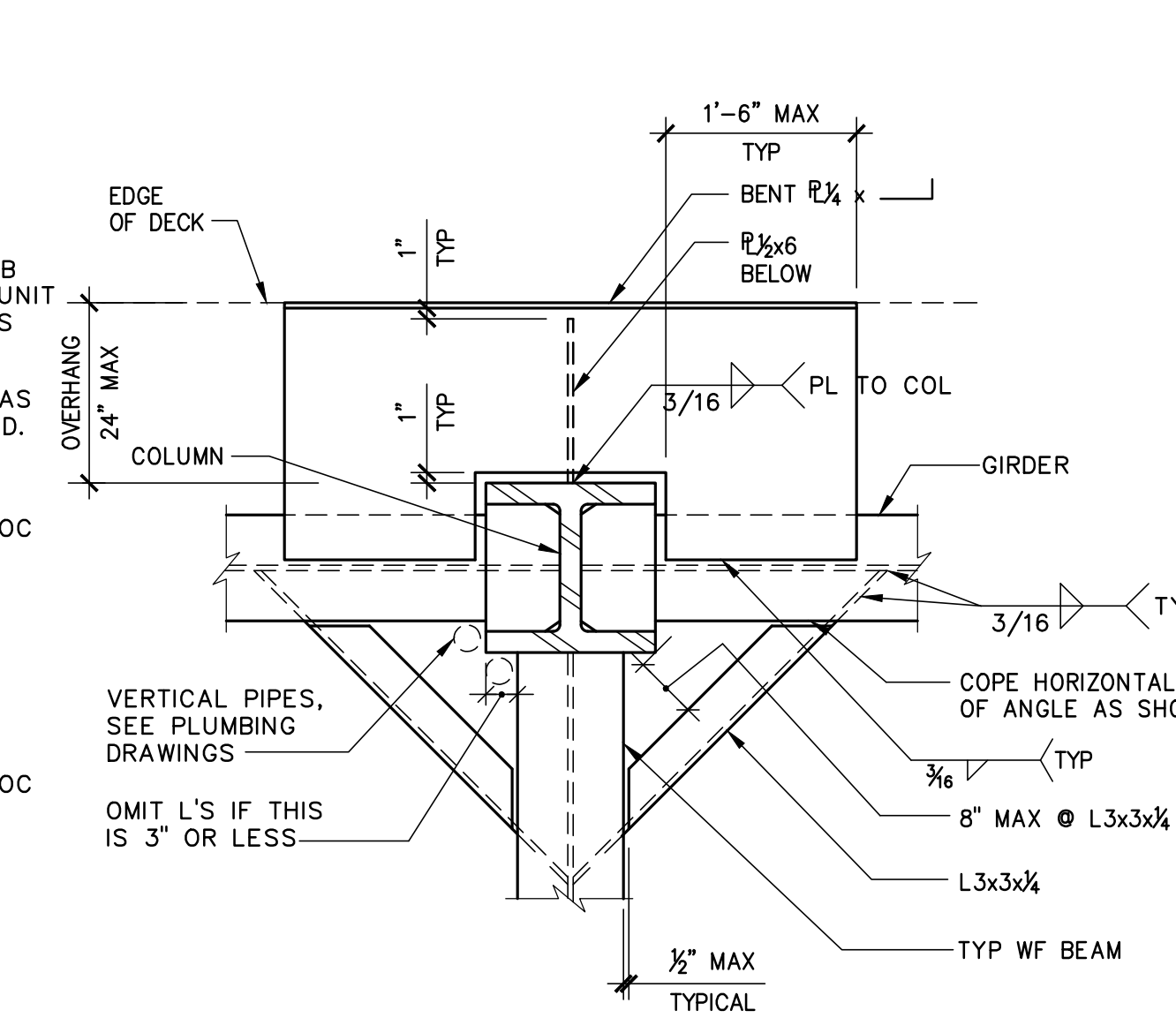
DECK MARK	DECK GAGE	GALVANIZED METAL DECK (G60) OR VEBO OR EQUIVALENT	DECK DEPTH	CONCRETE FILL (3)		WELDS TO SUPPORTS (5)		SIDE SEAM WELDS (6)		
				MINIMUM SPANS	STUD LENGTH (INCHES)	TOTAL THICKNESS (INCHES)	PARALLEL TO FLUTES	PERPENDICULAR TO FLUTES	BUTTON SPACING	TOP SEAM WELD SPACING
D1	18	HSB-36	1 1/2"	2	-	-	12	7	-	24
S1	18	W2 FORMLOCK	2"	2	4	3 1/4	12	4	-	24
S2	18	B FORMLOCK	1 1/2"	2	-	2 1/2	4	12	7	24

NOTES:
 ① DECK ORIENTATION AS SHOWN ON PLANS OVER MINIMUM NUMBER OF SPANS SHOWN. INCREASE METAL DECK GAGE AS REQUIRED TO ALLEVIATE SHORING IF MINIMUM NUMBER OF SPANS CAN NOT BE OBTAINED.
 ② PROVIDE 3/4" NELSON STUD ANCHORS EQUALLY SPACED OVER LENGTH OF BEAM. SEE PLAN [] FOR QUANTITIES. PUDDLE WELDS MAY BE OMITTED WHERE STUD SPACING COINCIDES WITH WELD SPACING.
 ③ SEE GENERAL NOTES FOR CONCRETE TYPE AND STRENGTH. SEE PLAN FOR SLAB REINFORCING. SEE 3/- FOR REINFL LOCATION.
 ④ WHERE CONCRETE FILL OR INSULATING CONCRETE FILL IS PLACED OVER METAL DECK, PROVIDE VENT TABS PER MANUFACTURER'S RECOMMENDATIONS.
 ⑤ PROVIDE 3/4" PUDDLE WELDS AS INDICATED.

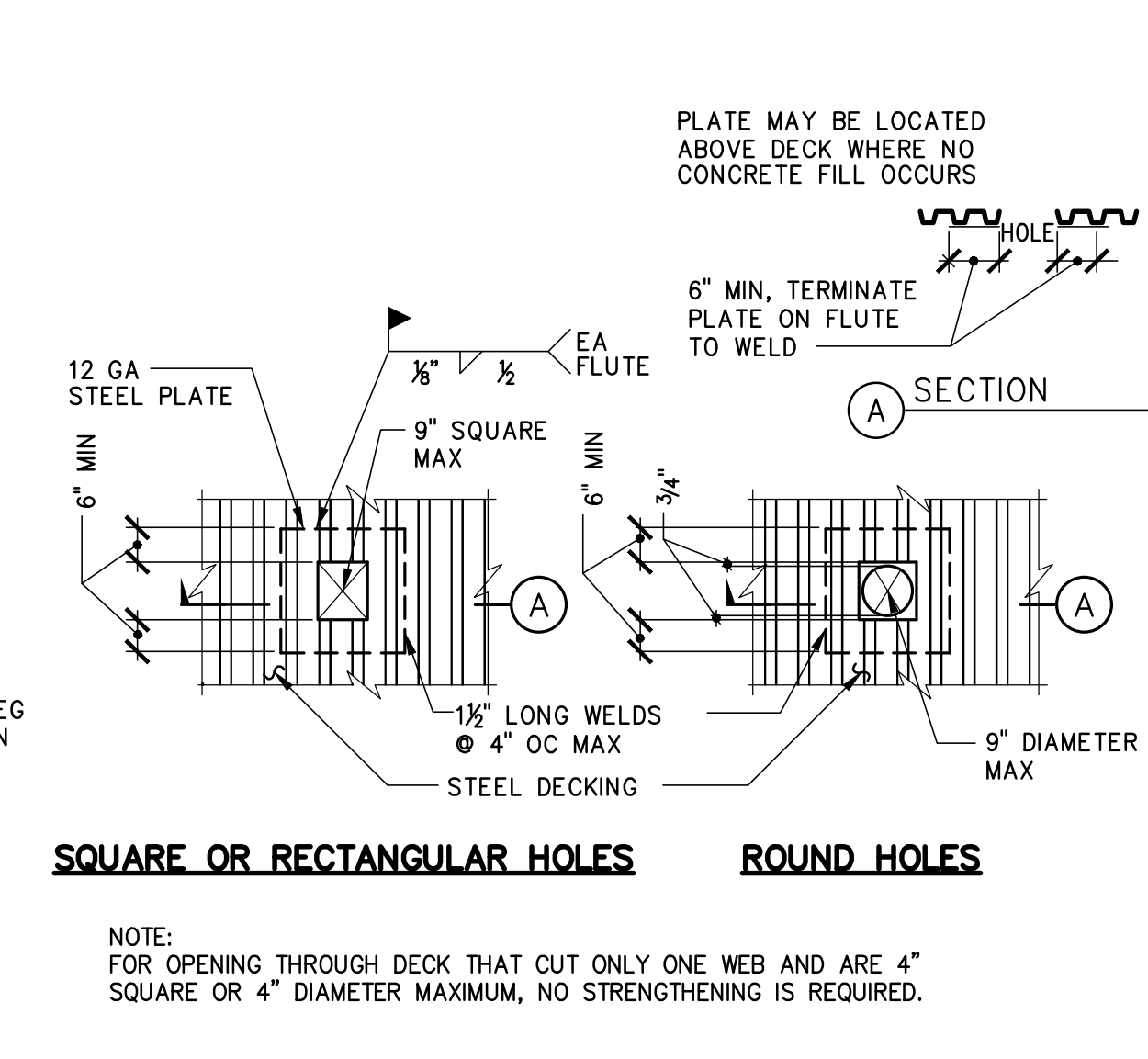
1 METAL DECK SCHEDULE (ICC ESR-1735P) Scale: NTS



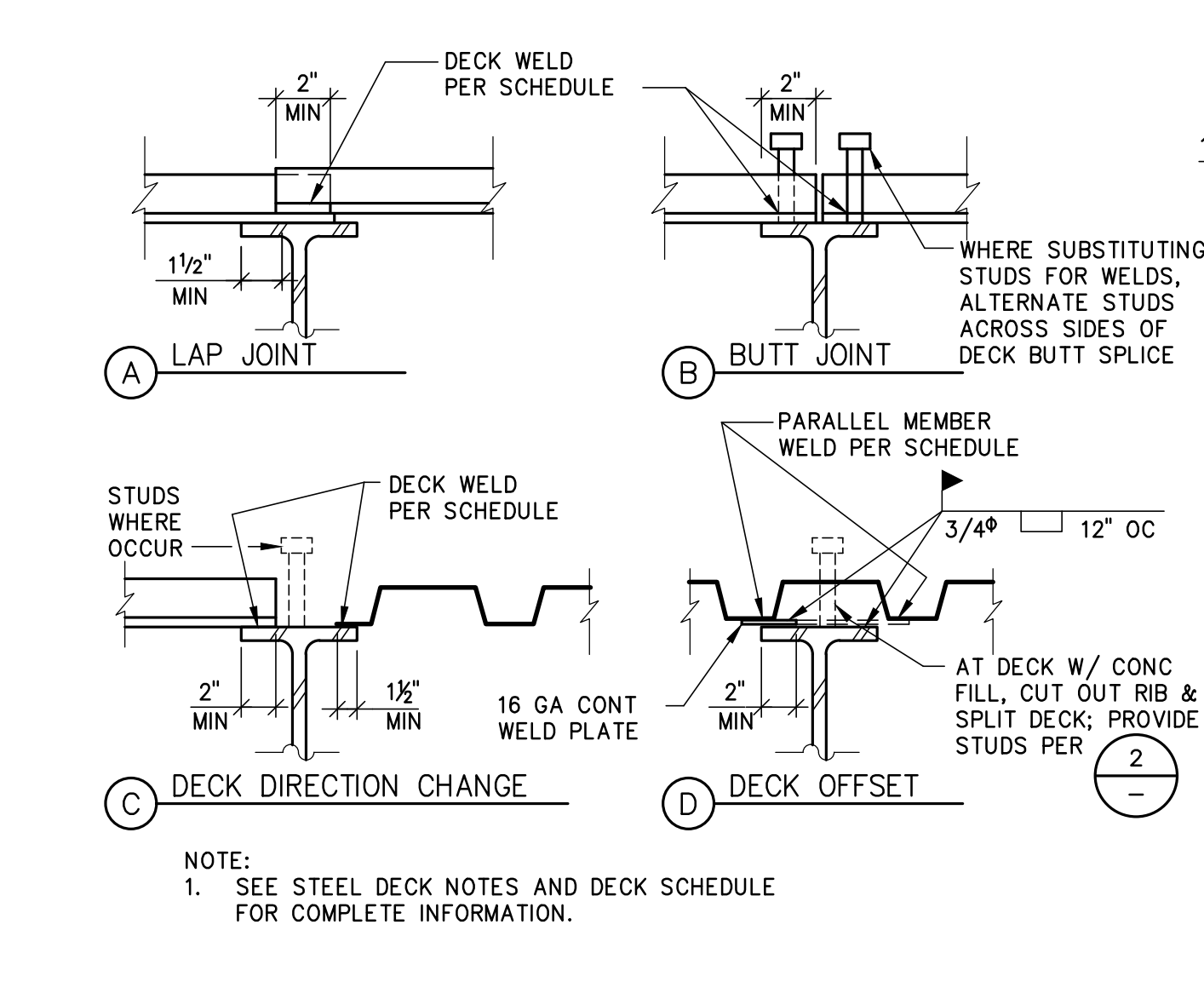
18 CONCRETE CURBS AT STEEL DECK Scale: NTS



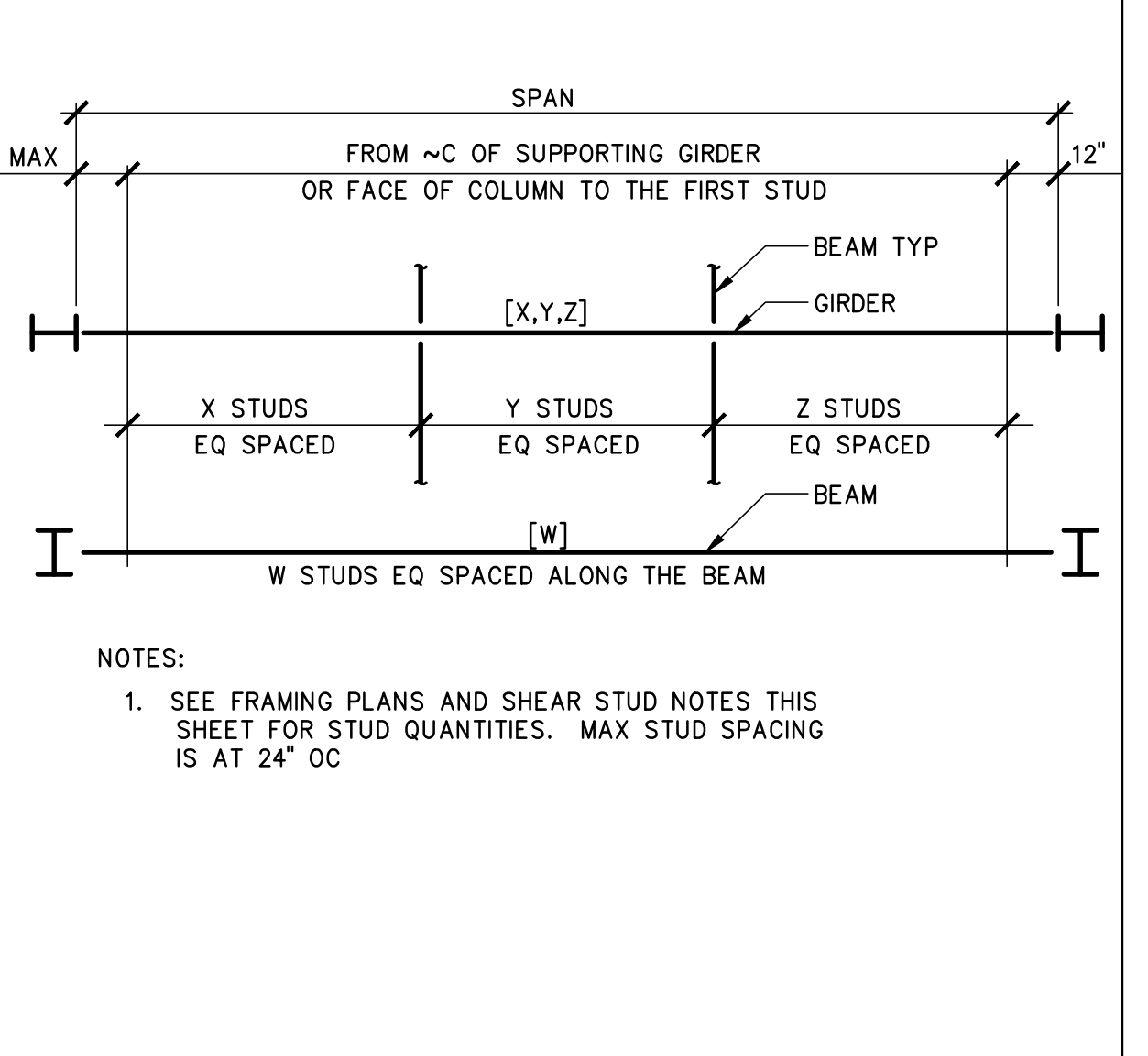
14 STEEL DECK SUPPORT AT EXTERIOR WALL COLUMN Scale: NTS



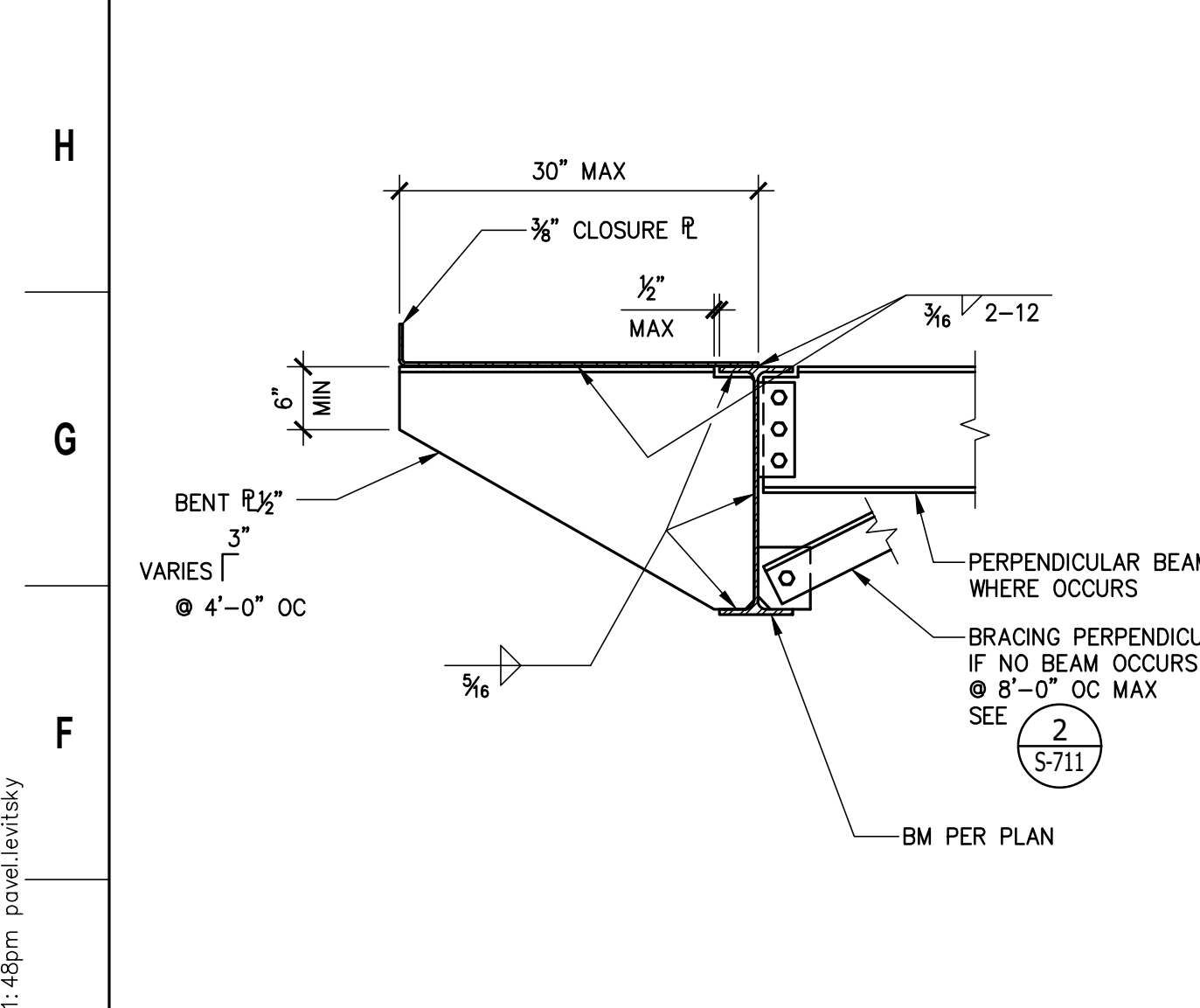
10 SMALL OPENING IN STEEL DECK Scale: NTS



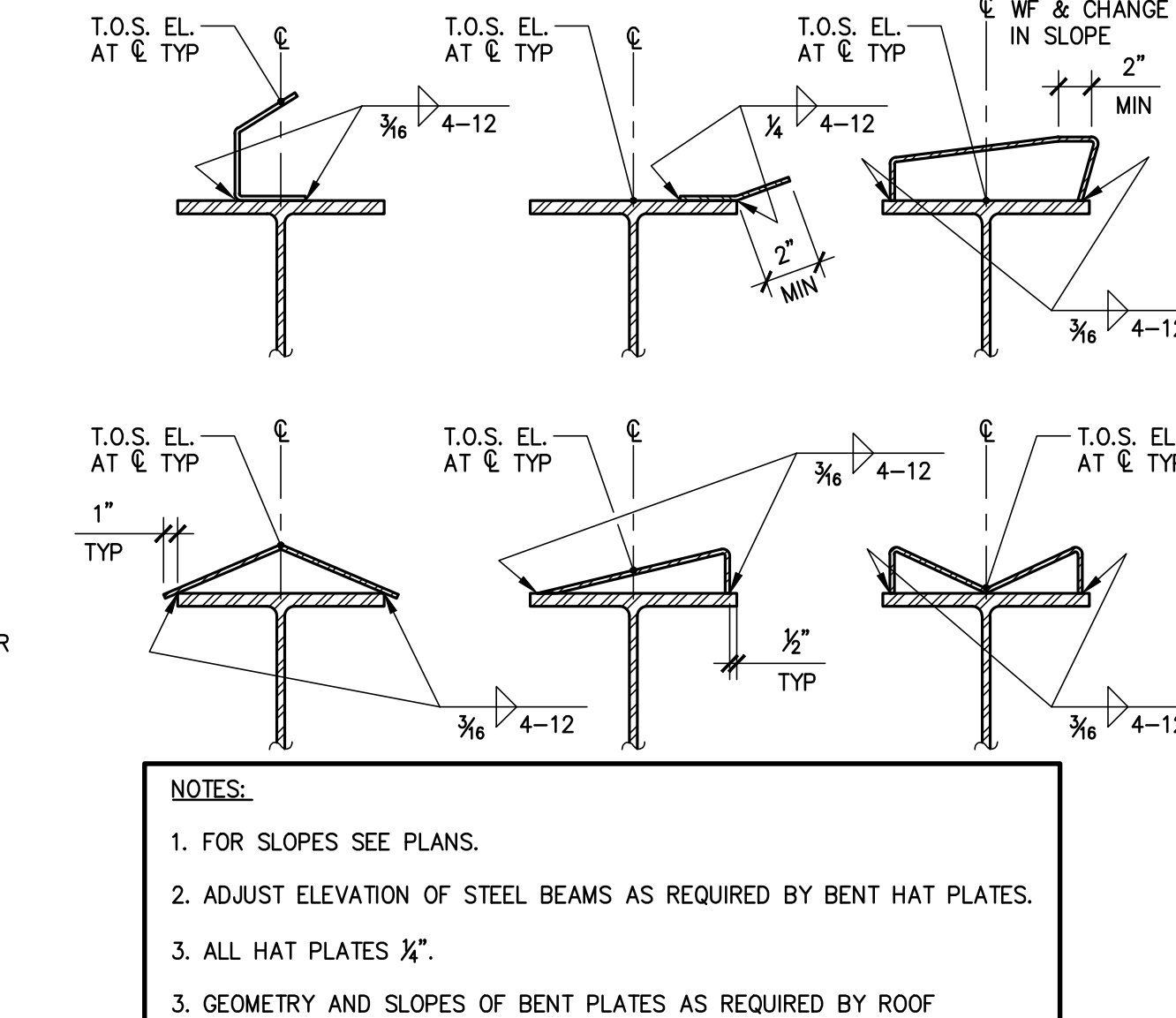
6 TYPICAL DECK WELDING DETAILS Scale: NTS



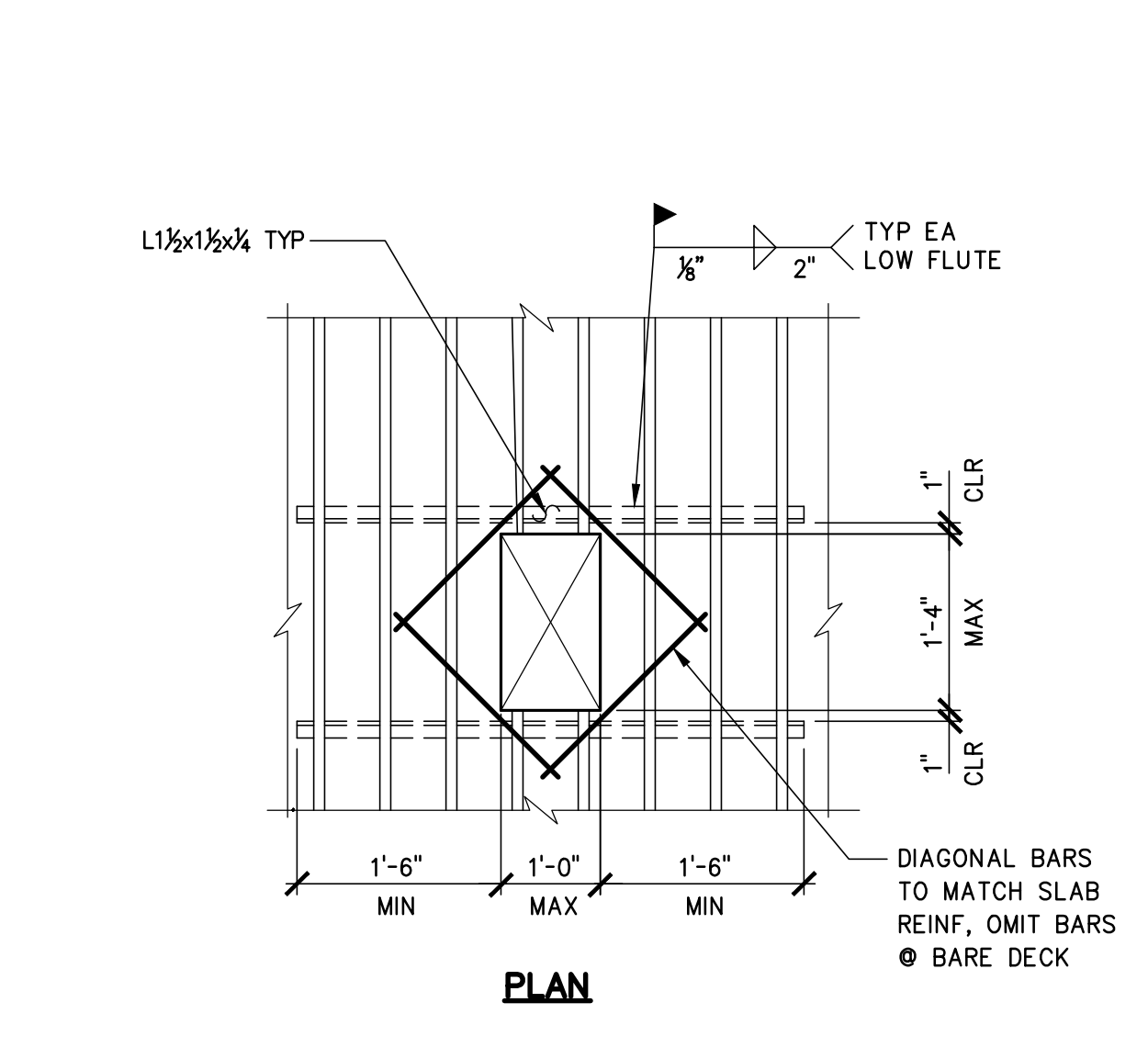
2 SHEAR STUD SPACING DIAGRAM Scale: NTS



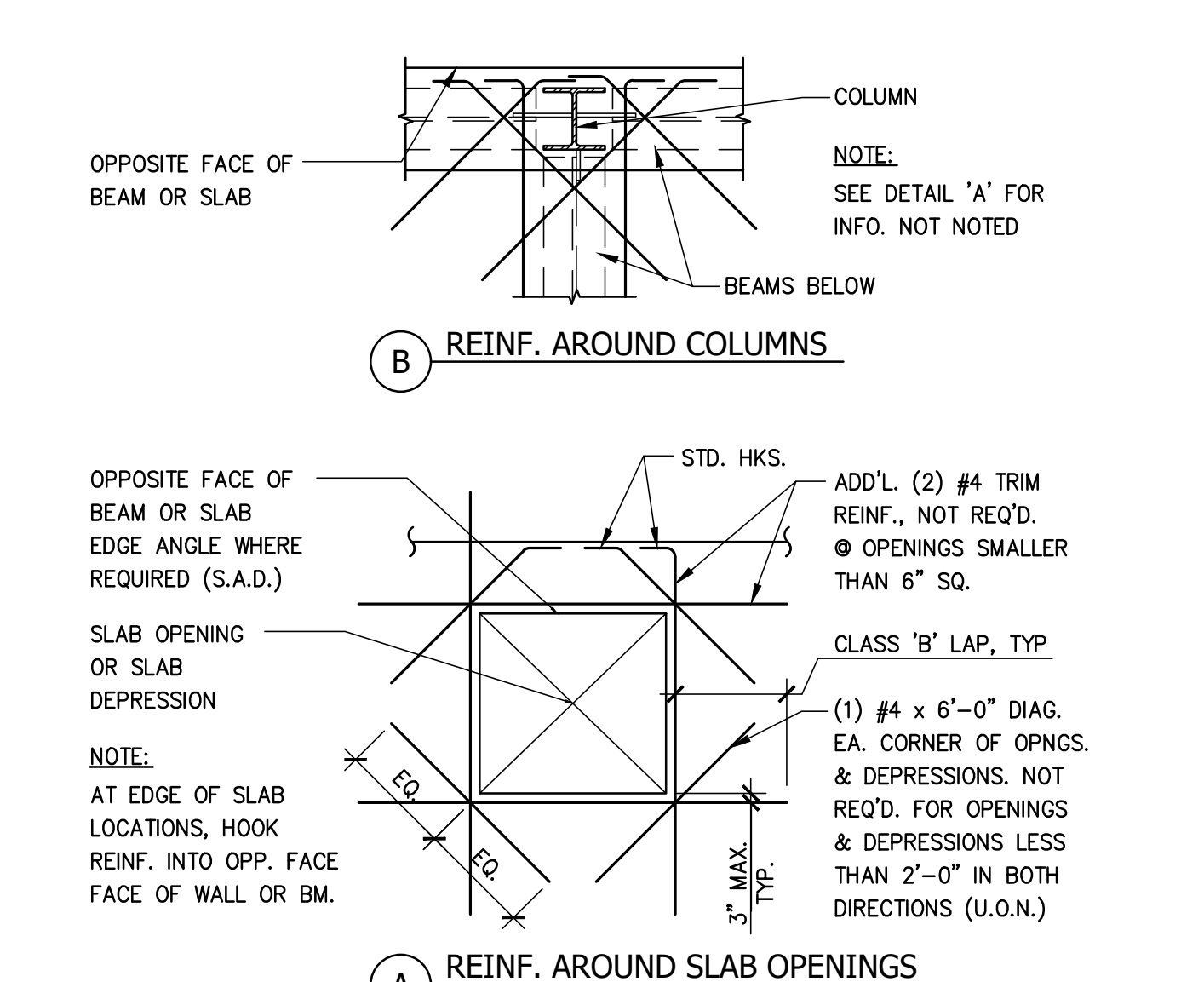
19 DECK SUPPORT FOR 18\"/>



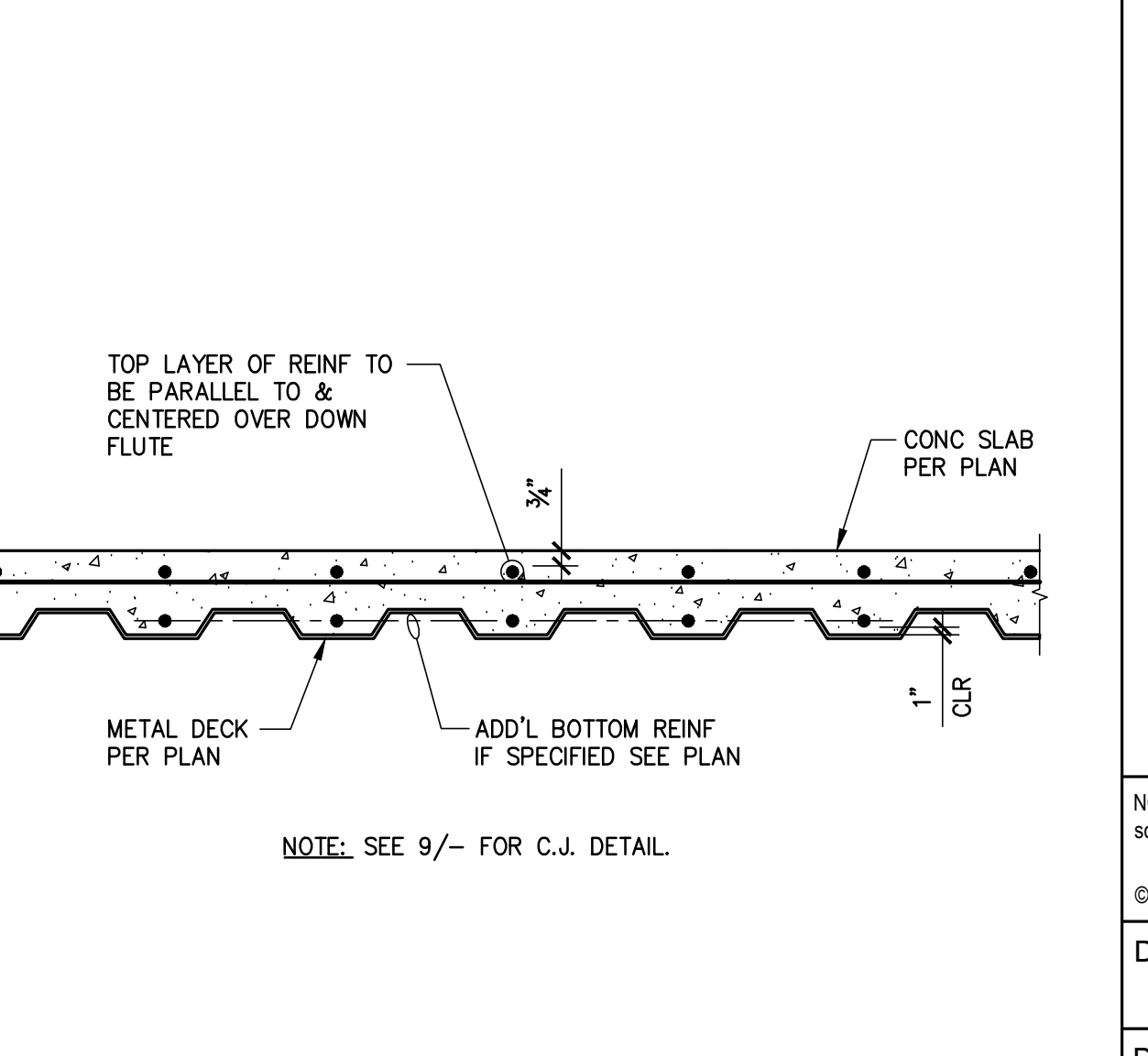
15 TYPICAL TOP FLANGE BENT PLATES TO RECEIVE SLOPING DECKING Scale: NTS



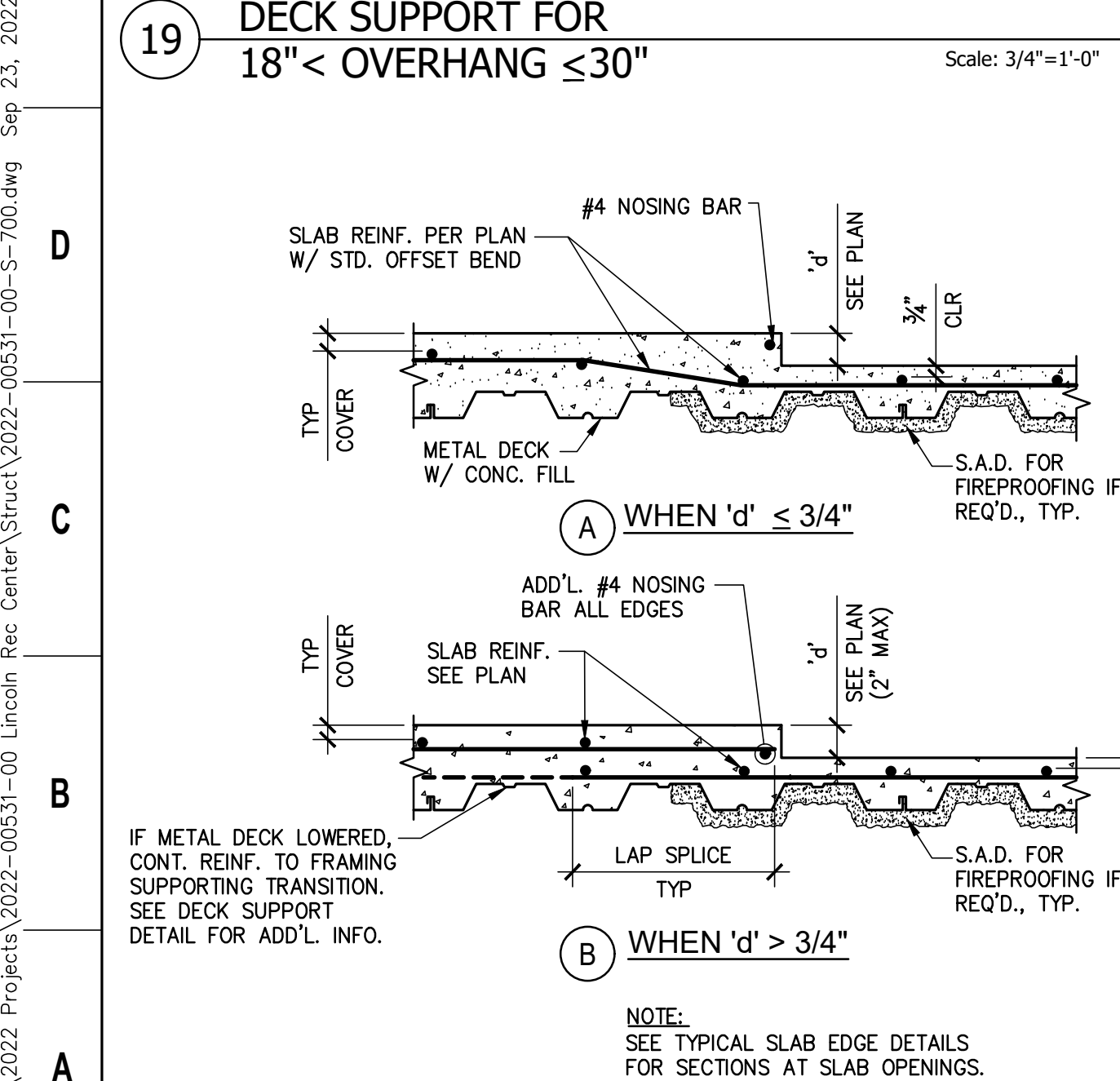
11 MEDIUM OPENING IN STEEL DECK Scale: NTS



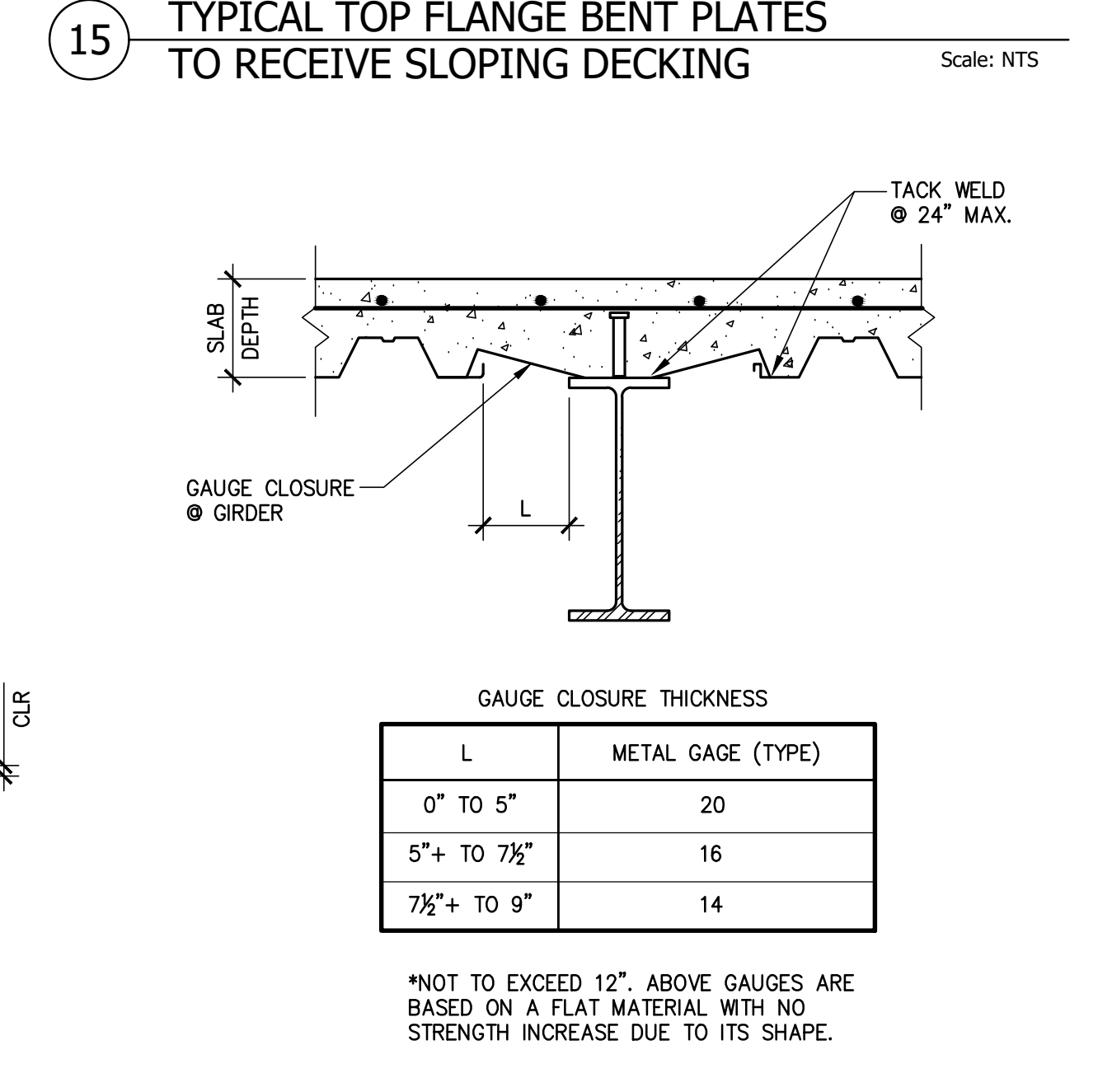
7 REINF. AT MTL. DECK SLAB OPENINGS AND DEPRESSIONS Scale: NTS



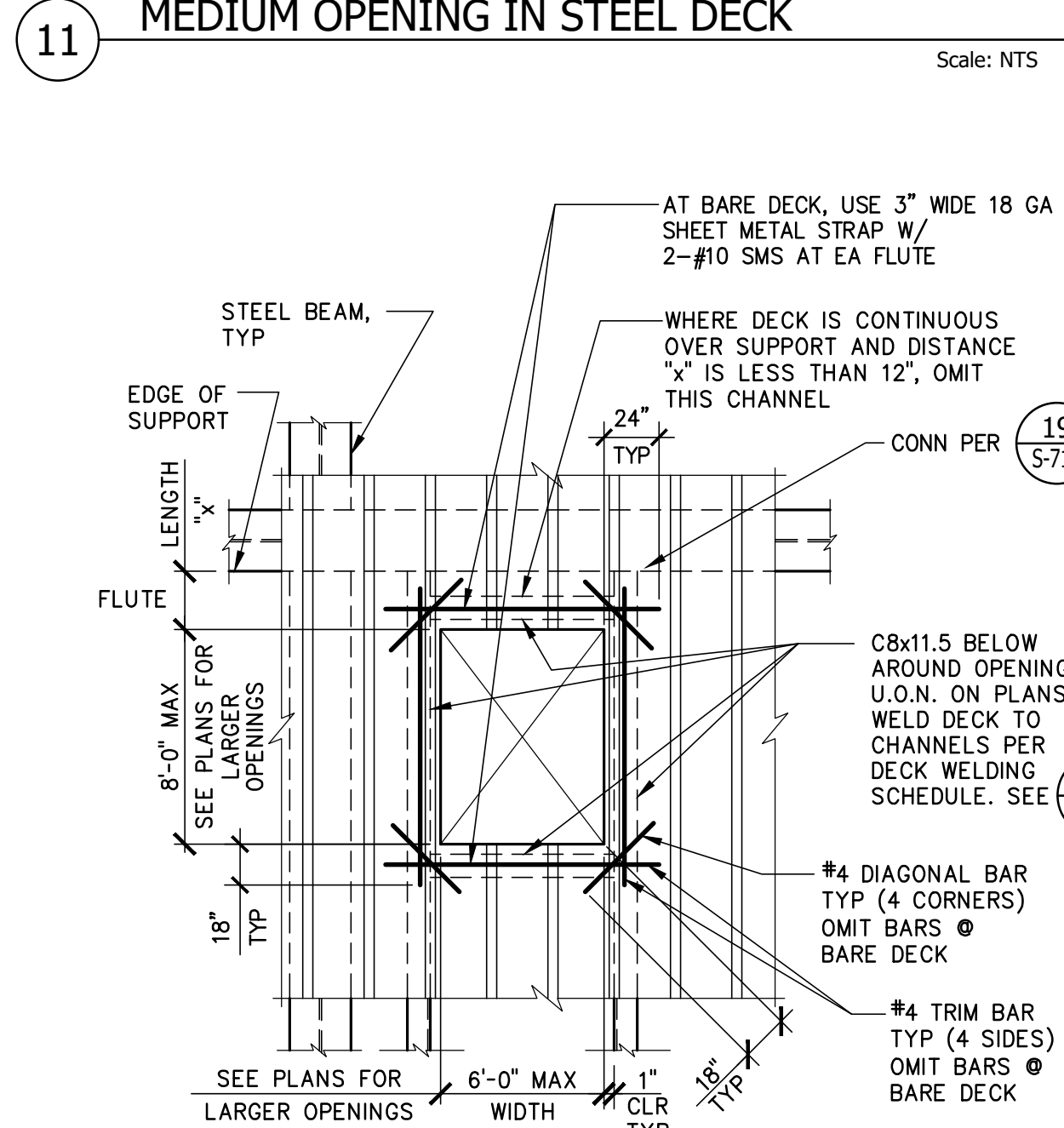
3 CONCRETE FILL ON METAL DECK REINFORCING Scale: NTS



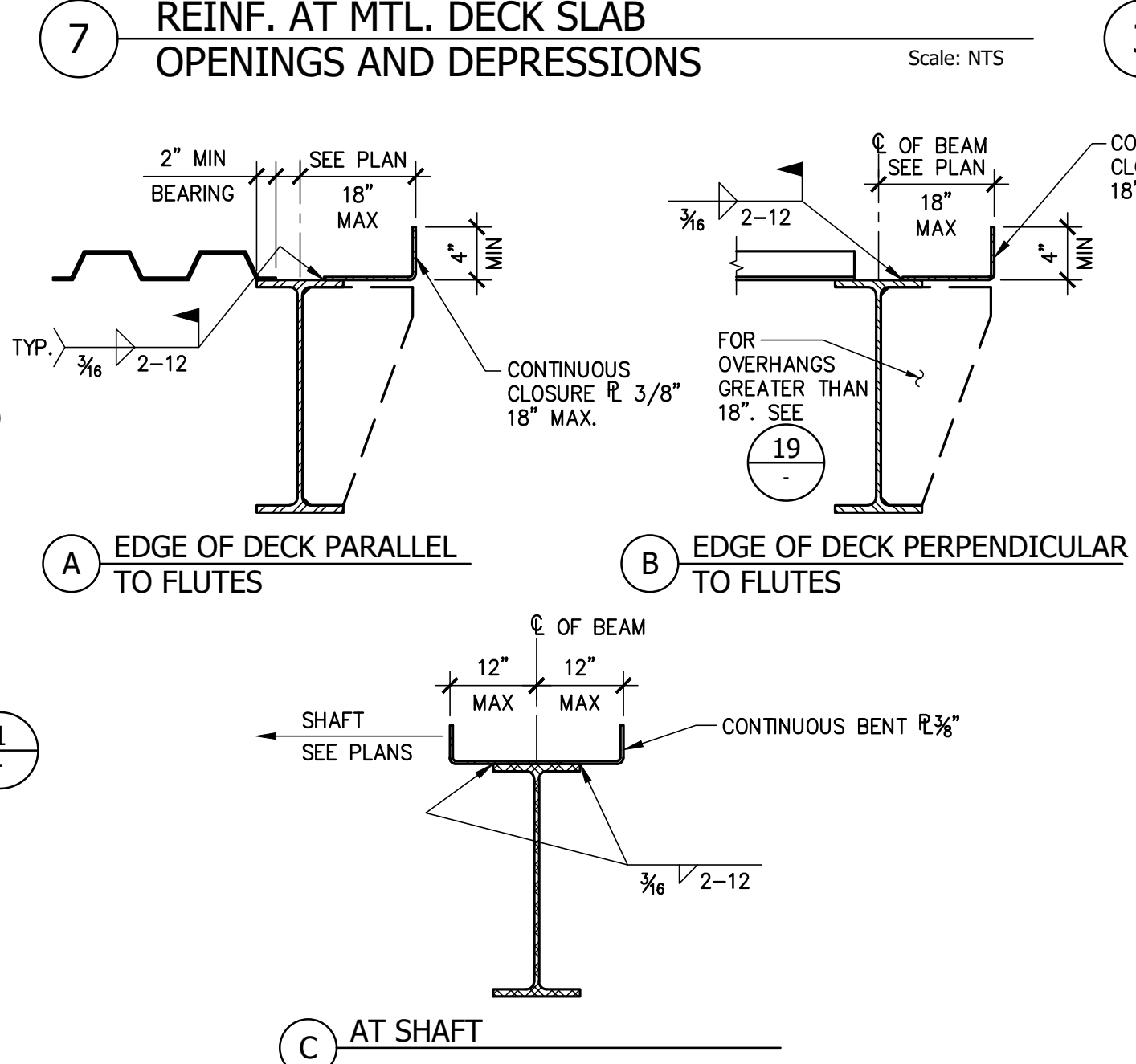
20 METAL DECK DEPRESSIONS Scale: NTS



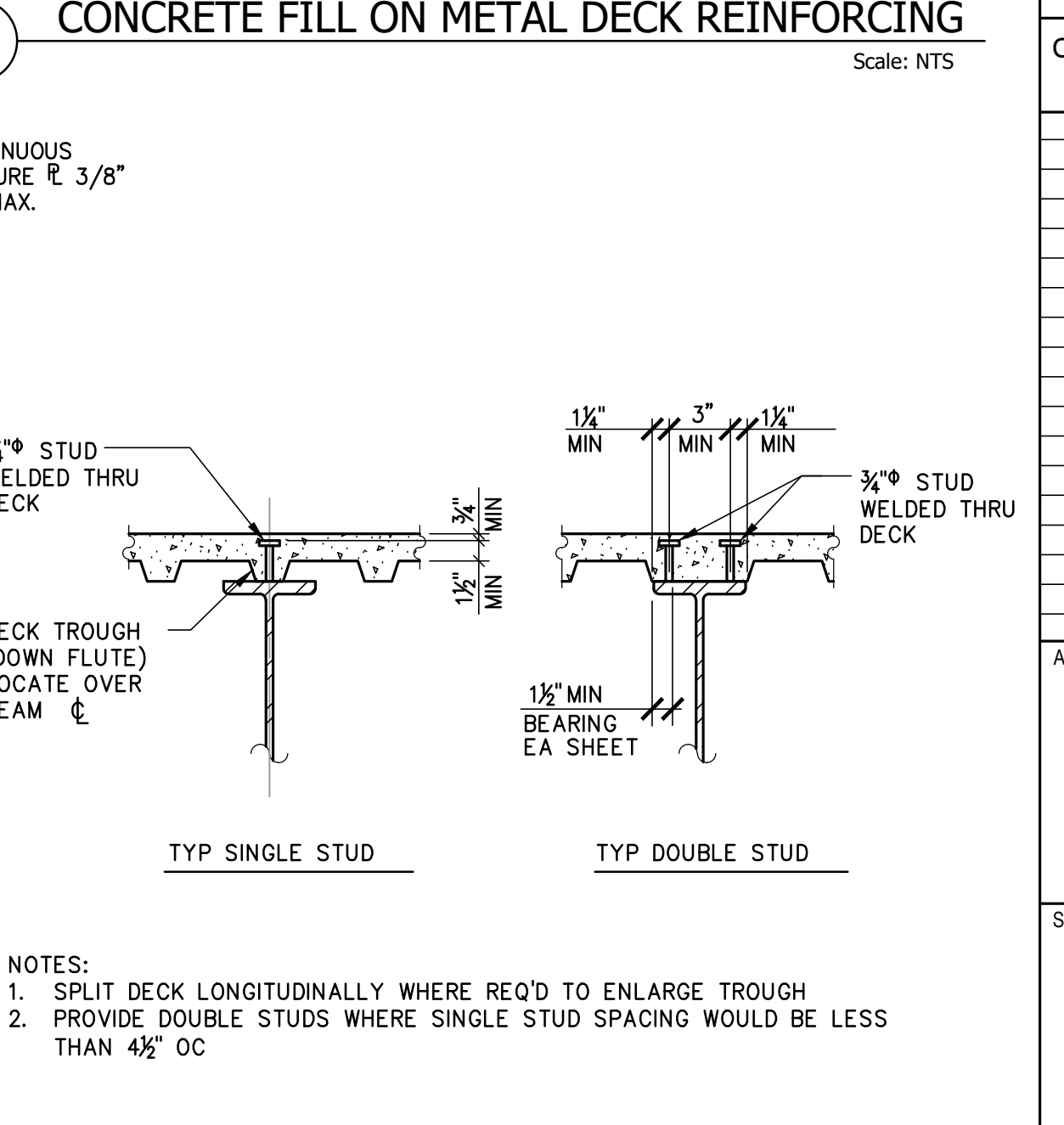
16 GAUGE CLOSURE AT GIRDER Scale: NTS



12 LARGE OPENING IN STEEL DECK Scale: NTS



8 TYPICAL BARE STEEL DECK EDGE Scale: NTS



4 SHEAR STUD DETAIL Scale: NTS

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4/29/22	8/26/22	50% DESIGN DEVELOPMENT
7/29/22	8/26/22	90% DESIGN DEVELOPMENT

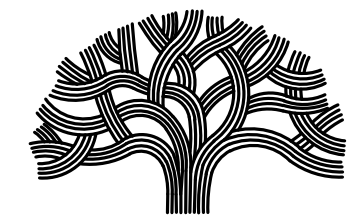
Architect
SHAH KAWASAKI ARCHITECTS
 570 10th Street, Suite 207
 Oakland, CA 94607

Consultants
KPW STRUCTURAL ENGINEERS, INC.
 1000 Broadway, Suite 200
 Oakland, CA 94607

Stamp
 Sheet Name
TYPICAL DECK DETAILS
 Sheet No.
S-700

SKA Project Number: 00000 000

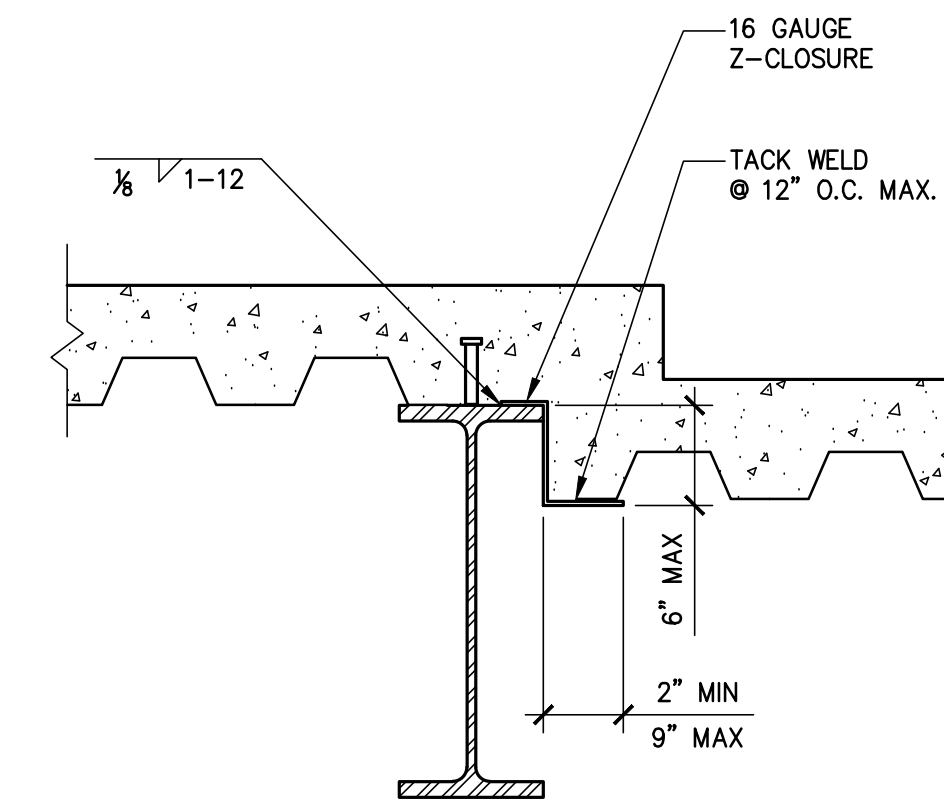
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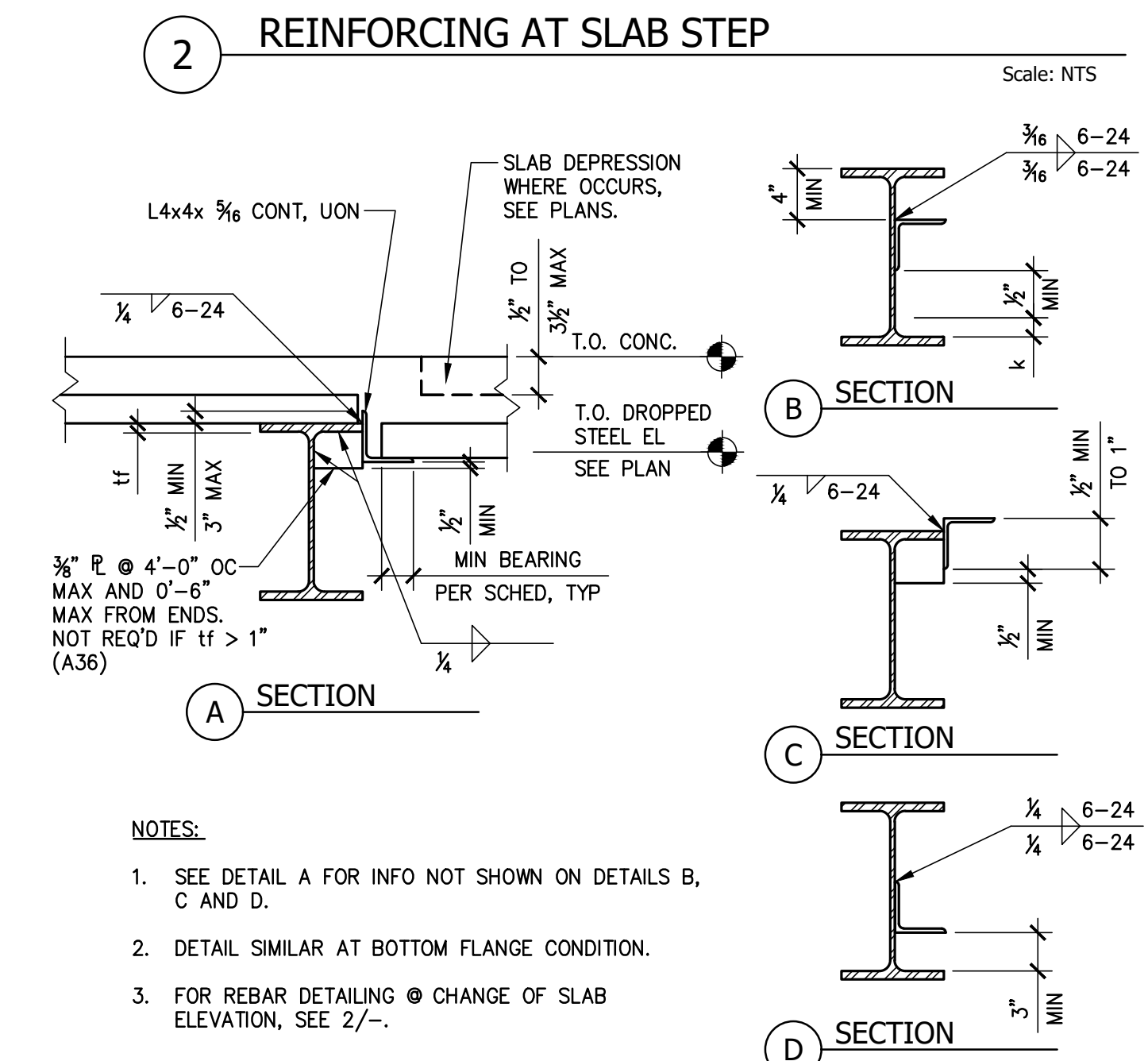
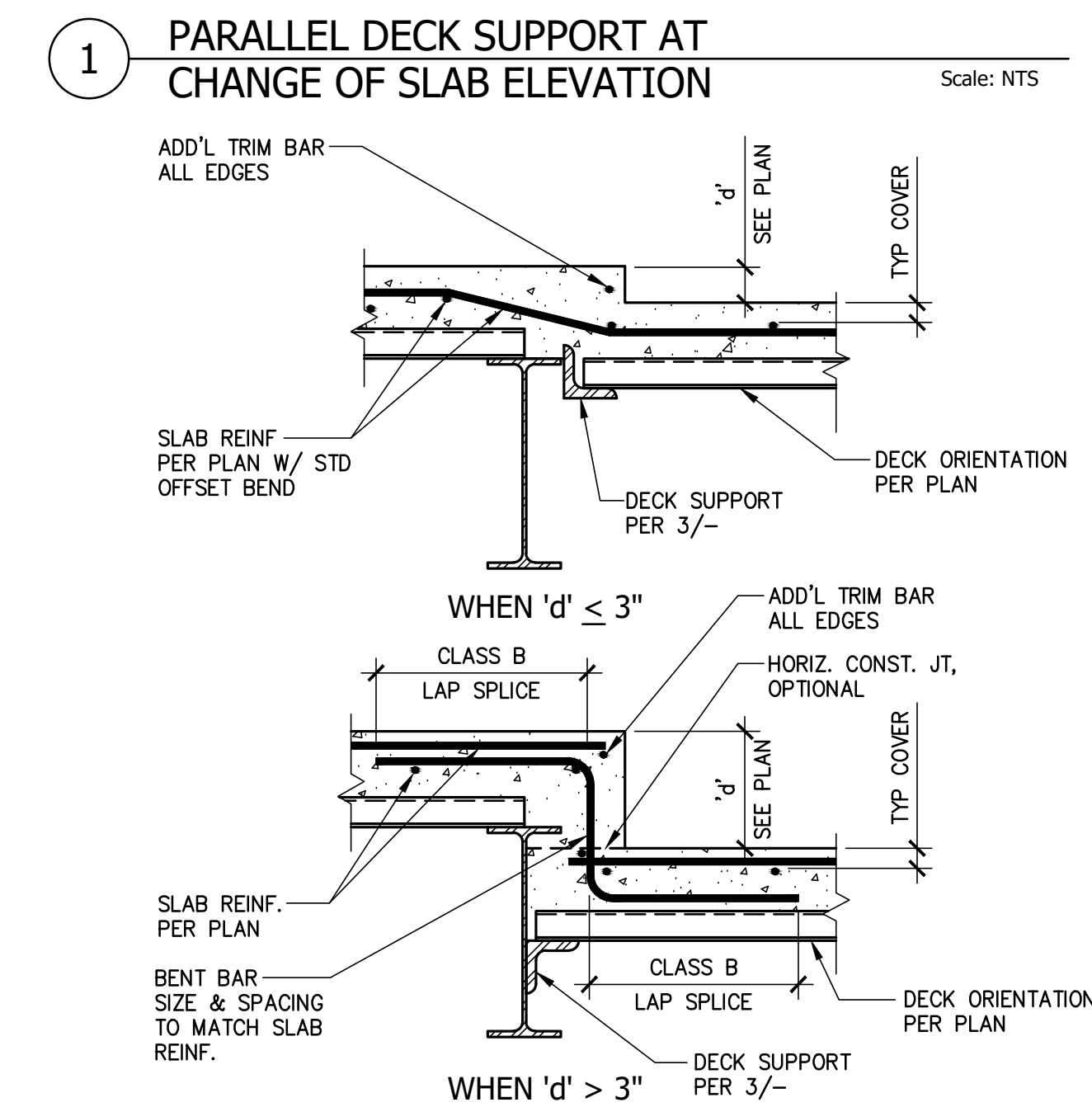
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 FAX (510) 238-7227

PLANS FOR THE CONSTRUCTION OF

**Lincoln Square
 Recreation Center**
 250 10th Street, Oakland, CA 94607



- NOTES:
 1. USE DETAIL 3/- WHEN DISTANCE BETWEEN TOP FLANGE AND BOTTOM OF METAL DECK IS GREATER THAN 6 INCHES.
 2. SEE 2/- FOR SLAB REINF. AT STEPPED SLAB.



- NOTES:
 1. SEE DETAIL A FOR INFO NOT SHOWN ON DETAILS B, C AND D.
 2. DETAIL SIMILAR AT BOTTOM FLANGE CONDITION.
 3. FOR REBAR DETAILING @ CHANGE OF SLAB ELEVATION, SEE 2/-.

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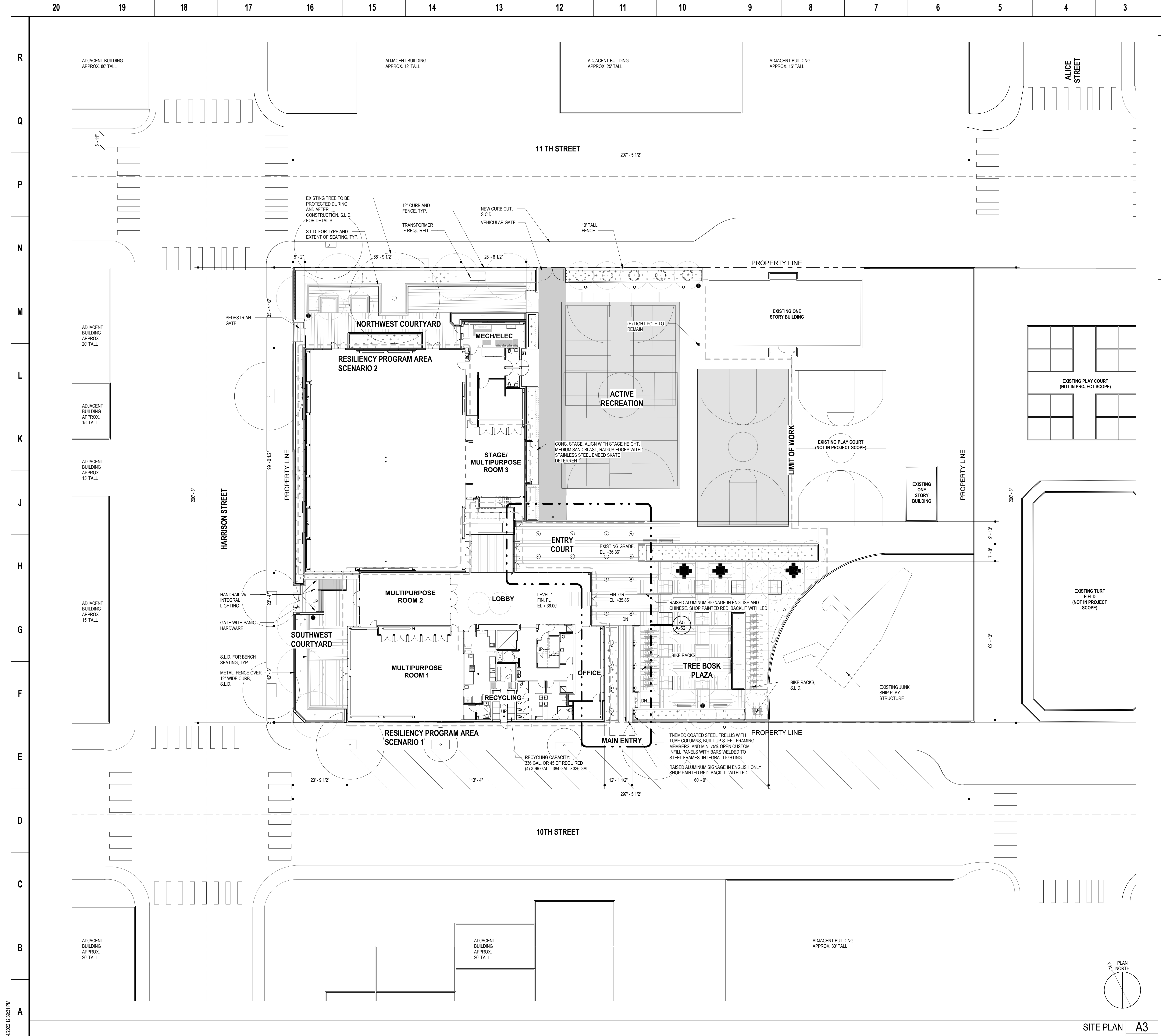
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4/29/22	04/29/22	SCHEMATIC REVIEW
7/29/22	07/29/22	50% DESIGN DEVELOPMENT
8/26/22	08/26/22	90% DESIGN DEVELOPMENT

Architect S H A H KAWASAKI ARCHITECTS 570 10th Street, Suite 207 Oakland, CA 94607	Consultants KPW STRUCTURAL ENGINEERS, INC. 1500 Broadway, Suite 1000 Oakland, CA 94612
Stamp	Sheet Name TYPICAL DECK DETAILS DETAILS
	Sheet No. S-701
SKA Project Number: [00000.000]	



GENERAL NOTES

- SITE ELEMENTS SHOWN FOR REFERENCE ONLY. SEE LANDSCAPE AND CIVIL DRAWINGS FOR FULL INFORMATION, INCL. TREES, PAVINGS, AND OTHER FURNISHINGS. SEE SITE ELECTRICAL DRAWING FOR SITE LIGHTING STRATEGY.

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PLANS FOR THE CONSTRUCTION OF
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 250 10th Street, Oakland, CA 94607

KEY LEGEND

- PROPERTY LINE
- - - - - LIMIT OF WORK

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10/04/2022	DRC REVIEW	

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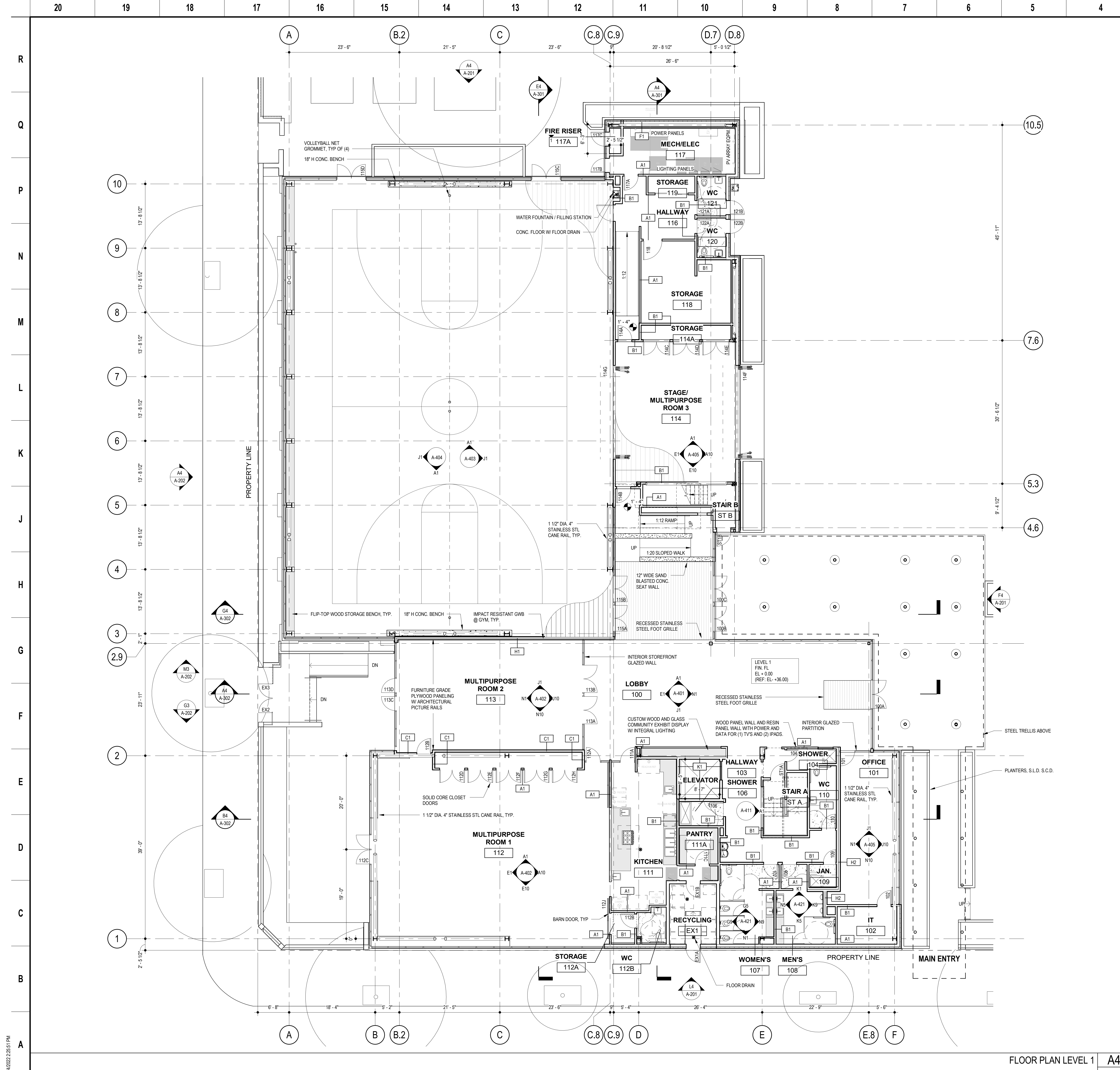
Sheet Name
SITE PLAN

Sheet No.
A-101

SKA Project Number: 21703

SITE PLAN A3
 RE: A4/ A-201 1/16" = 1'-0"

10/4/2022 12:39:31 PM



GENERAL NOTES

- SEE LANDSCAPE AND CIVIL DRAWINGS FOR SITE WORK
- KITCHEN EQUIPMENT IS SHOWN FOR REFERENCE ONLY. SEE FOOD SERVICE DRAWINGS FOR DIMENSIONS, EQUIPMENT AND OTHER DETAILS
- REFER TO SHEET A-400 FOR PARTITION TYPE SCHEDULE
- REFER TO SHEET A-501 FOR SCHEDULE OF INTERIOR FINISHES
- REFER TO SHEET A-602 FOR DOOR SCHEDULE
- ALL STRUCTURE SHOWN EXPOSED TO BE PRIMED AND PAINTED
- LEVEL 2 FLOOR TO HAVE TOPPING SLAB OVER ACUSTIC UNDERLAY
- SEE A-123 ROOF PLAN FOR ALL ROOF MOUNTED EQUIPMENT AND FIXTURES FOR EXTENT AND LOCATION OF PHOTOVOLTAIC PANELS. SEE ELECTRICAL ROOF PLAN

KEY LEGEND

- POLISHED CONCRETE, U.O.N.
- WOOD FLOOR
- METAL WALK-OFF MAT
- TERRAZZO
- MILLWORK
- PEDESTOOL PAVERS
- PLANTING AREA

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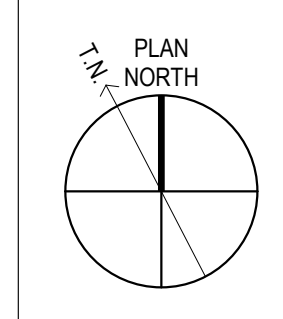
Stamp

Sheet Name
FLOOR PLAN LEVEL 1

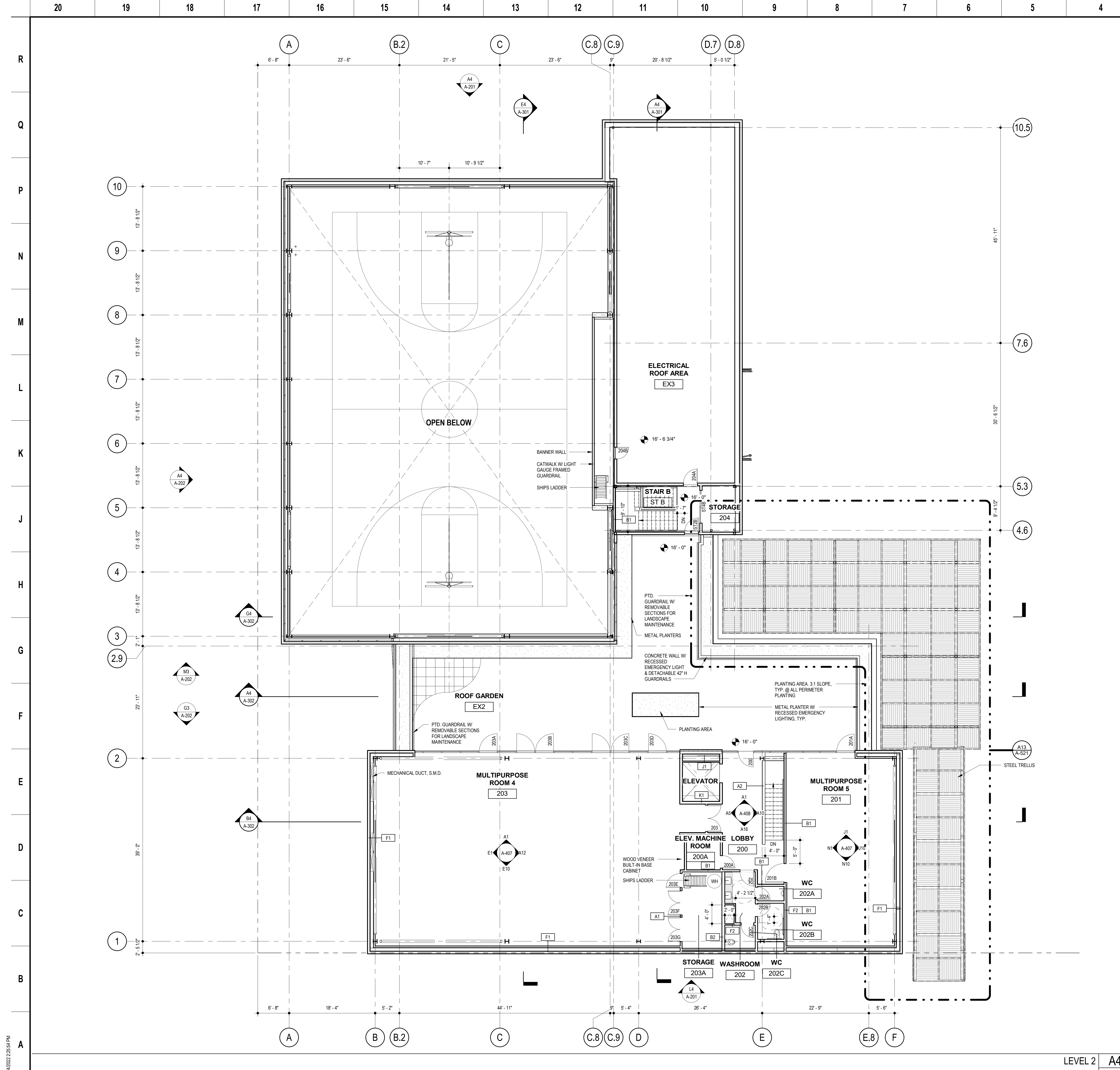
Sheet No.
A-121

SKA Project Number: 21703

FLOOR PLAN LEVEL 1
 RE: A4/ A-201 1/8" = 1'-0"

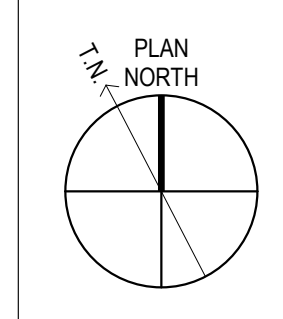


10/4/2022 2:25:51 PM



- GENERAL NOTES**
- SEE LANDSCAPE AND CIVIL DRAWINGS FOR SITE WORK
 - KITCHEN EQUIPMENT IS SHOWN FOR REFERENCE ONLY. SEE FOOD SERVICE DRAWINGS FOR DIMENSIONS, EQUIPMENT AND OTHER DETAILS
 - REFER TO SHEET A-440 FOR PARTITION TYPE SCHEDULE
 - REFER TO SHEET A-401 FOR SCHEDULE OF INTERIOR FINISHES
 - REFER TO SHEET A-602 FOR DOOR SCHEDULE
 - ALL STRUCTURE SHOWN EXPOSED TO BE PRIMED AND PAINTED
 - LEVEL 2 FLOOR TO HAVE TOPPING SLAS OVER ACOUSTIC UNDERLAY
 - SEE A-123 ROOF PLAN FOR ALL ROOF MOUNTED EQUIPMENT AND FIXTURES
 - FOR EXTENT AND LOCATION OF PHOTOVOLTAIC PANELS, SEE ELECTRICAL ROOF PLAN

- KEY LEGEND**
- POLISHED CONCRETE, U.O.N.
 - WOOD FLOOR
 - METAL WALK-OFF MAT
 - TERRAZZO
 - MILLWORK
 - PEDESTOOL PAVERS
 - PLANTING AREA



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PLANS FOR THE CONSTRUCTION OF

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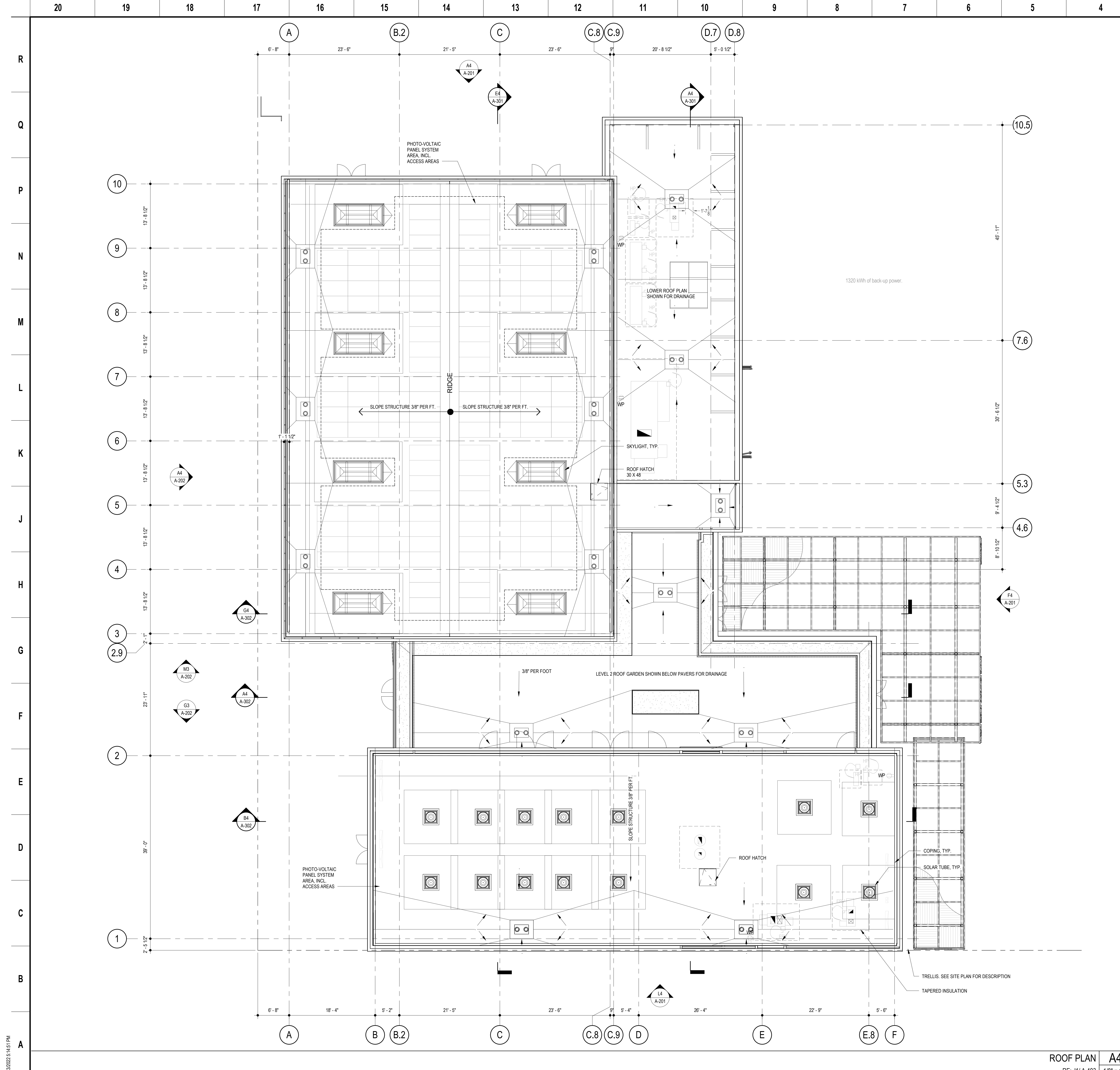
Sheet Name
FLOOR PLAN LEVEL 2

Sheet No.
A-122

SKA Project Number: 21703

LEVEL 2
 RE: A4/ A-201
 1/8" = 1'-0"

10/10/2022 2:25:54 PM



GENERAL NOTES

1. SEE MECHANICAL ROOF PLAN FOR TYPES OF EQUIPMENT
2. SOLAR PANEL AREAS ARE SHOWN FOR DESIGN INTENT ONLY
3. FOR ROOF DRAIN COUNTS AND LOCATIONS REFER TO PLUMBING DRAWINGS

KEY LEGEND

- (RD) ROOF DRAIN AND (ORD) OVERFLOW ROOF DRAIN
- PHOTOVOLTAIC PANEL SYSTEM AREA, INCL. ACCESS AREAS

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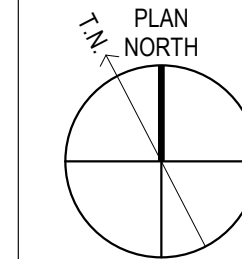
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Oakland, CA 94607

Stamp
Sheet Name
ROOF PLAN

Sheet No.
A-123



PLANS FOR THE CONSTRUCTION OF
Lincoln Square Recreation Center
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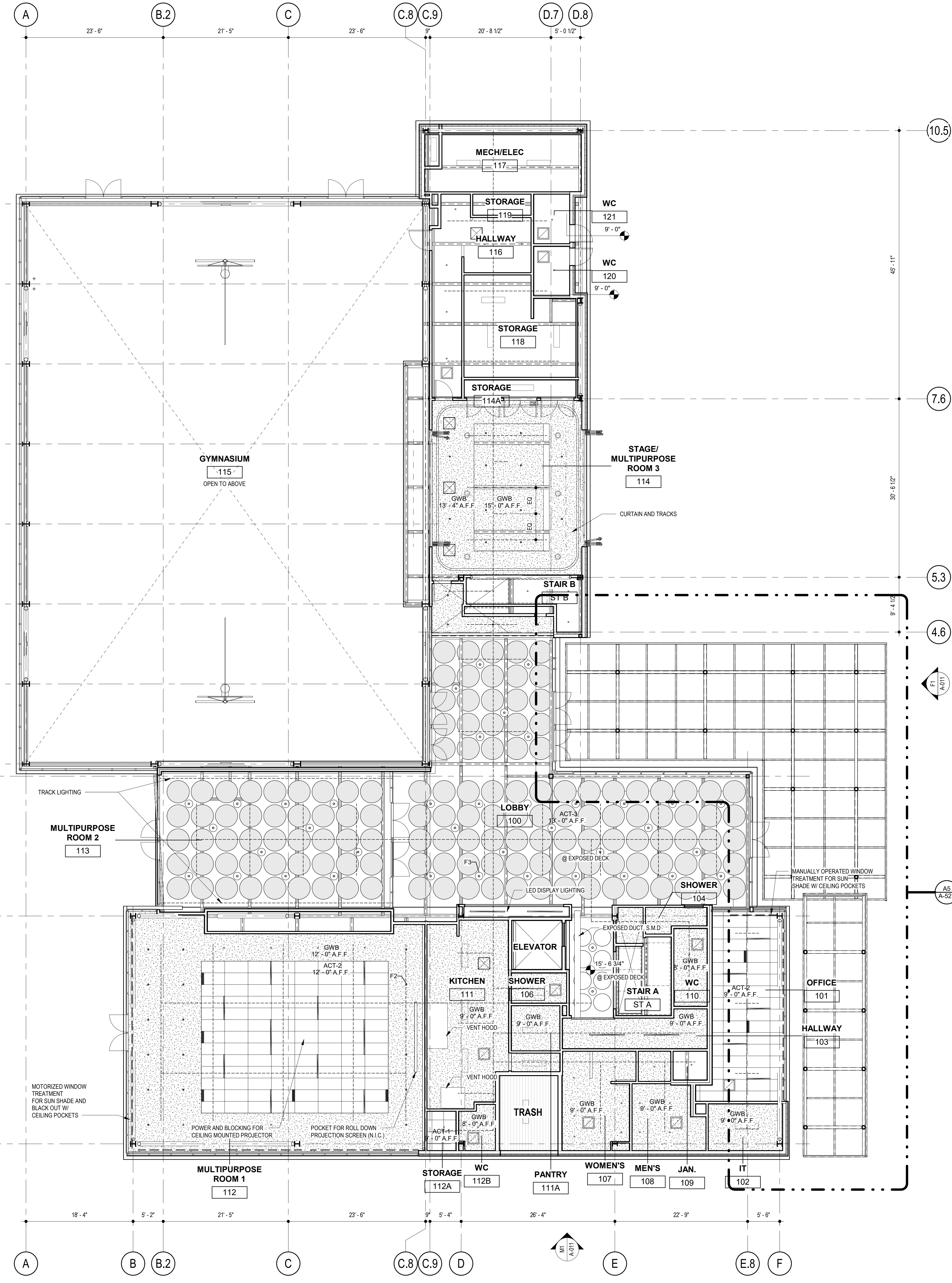


ROOF PLAN | **A4**
RE: J1/ A-403 | 1/8" = 1'-0"

9/23/2022 5:14:51 PM

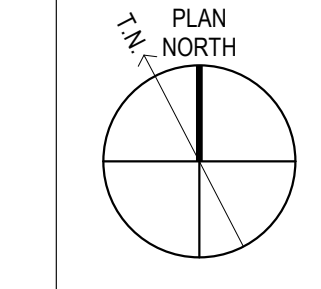
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R
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E
D
C
B
A



FINISH LEGEND

	ACT-1: 24x24 TEGULAR ACOUSTIC CEILING TILE
	ACT-2: 24x48 TEGULAR ACOUSTIC CEILING TILE
	GWB: GWB CEILING
	ASC: ACOUSTIC SOUND CLOUD
	NO CEILING: PTD STRUCTURAL DECK ABOVE



PLANS FOR THE CONSTRUCTION OF
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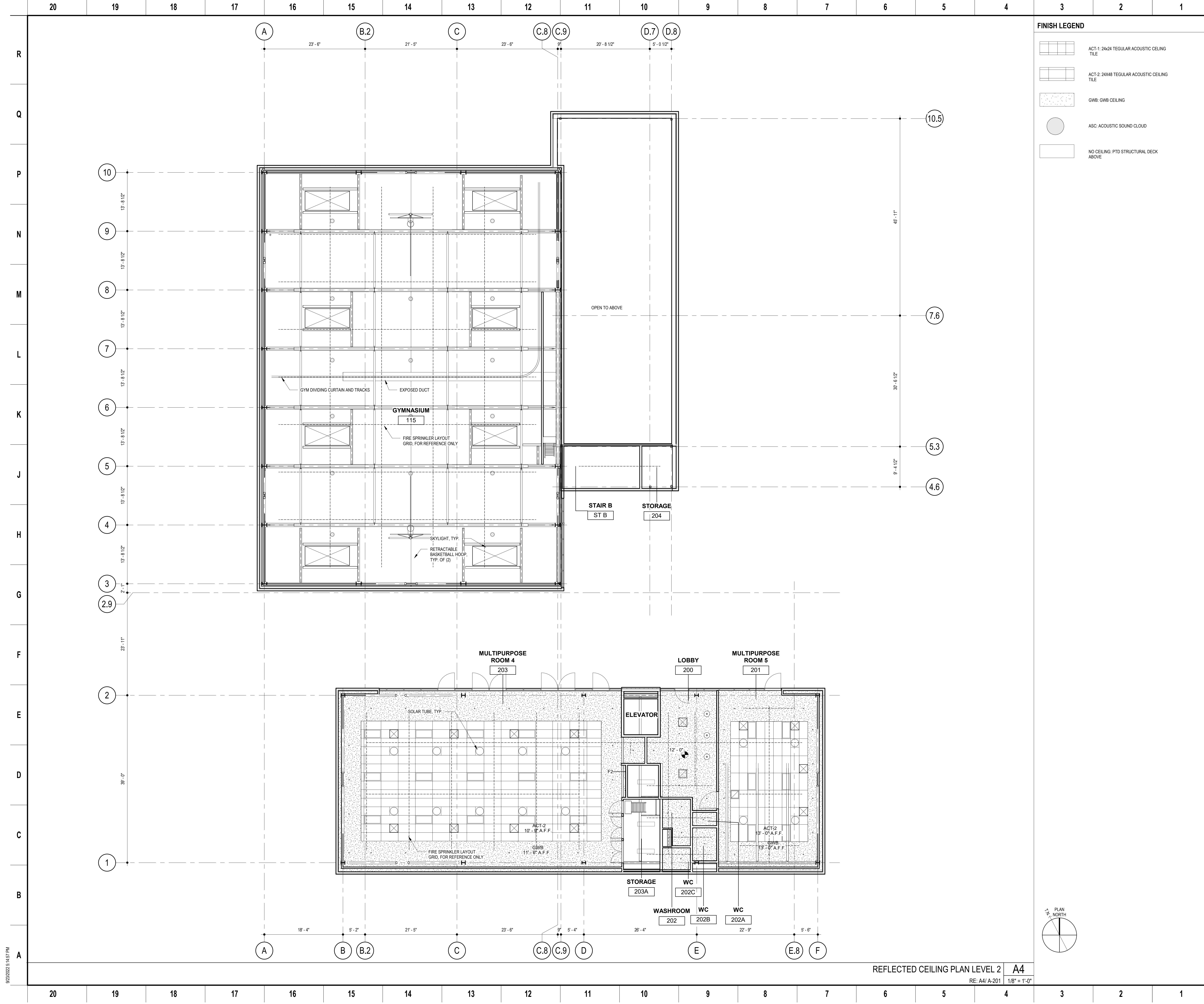
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Sheet Name
REFLECTED CEILING PLAN LEVEL 1
Sheet No.

Stamp
A-131
SKA Project Number: 21703

20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1



FINISH LEGEND

[Grid Pattern]	ACT-1: 24x24 TEGULAR ACOUSTIC CEILING TILE
[Grid Pattern]	ACT-2: 24x48 TEGULAR ACOUSTIC CEILING TILE
[Stippled Pattern]	GWB: GWB CEILING
[Circle]	ASC: ACOUSTIC SOUND CLOUD
[Empty Box]	NO CEILING: PTD STRUCTURAL DECK ABOVE


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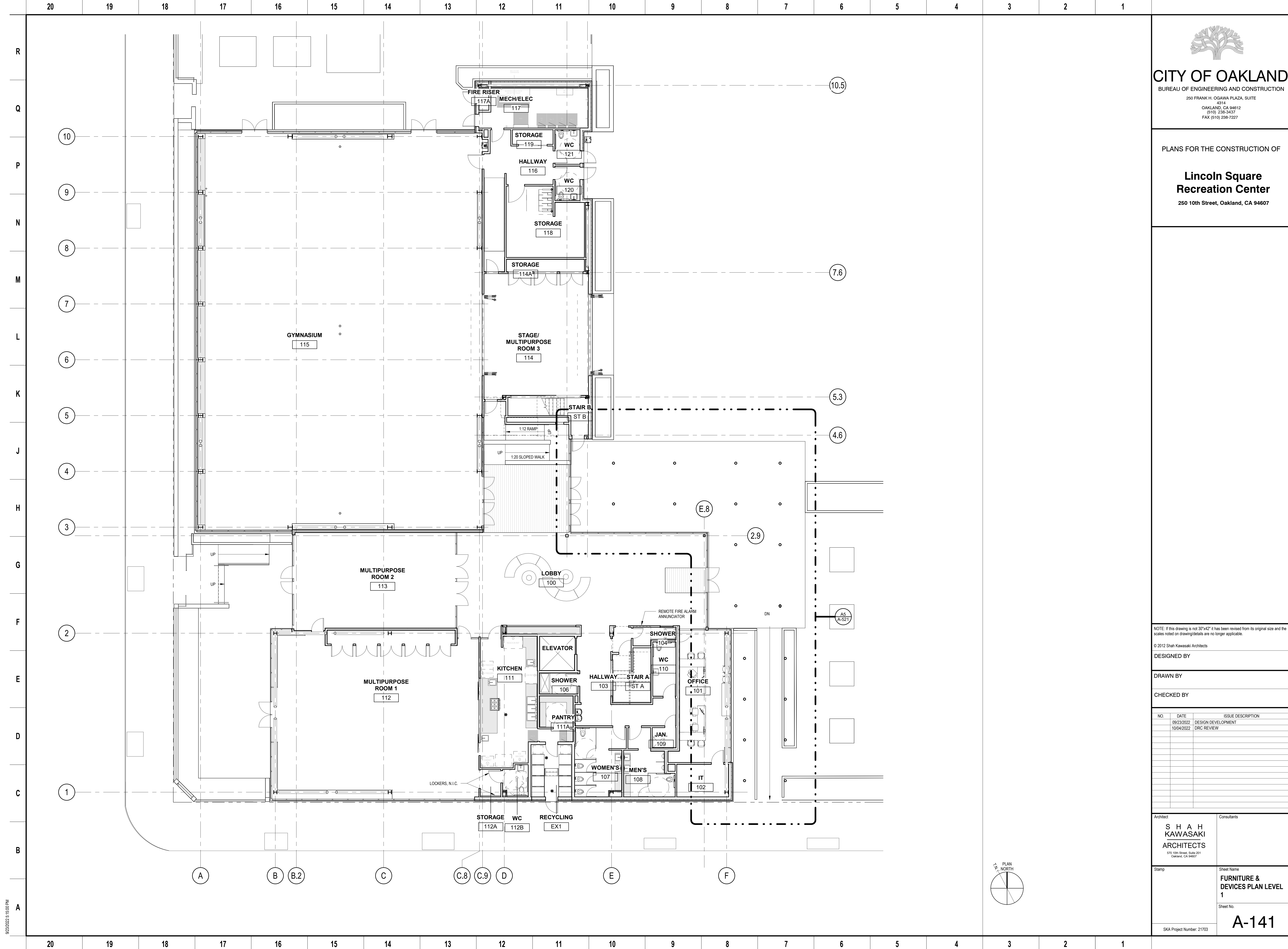
Stamp

Sheet Name
REFLECTED CEILING PLAN LEVEL 2

Sheet No.
A-132

REFLECTED CEILING PLAN LEVEL 2 **A4**
 RE: A4/A-201 1/8" = 1'-0"

9/20/2022 5:14:57 PM





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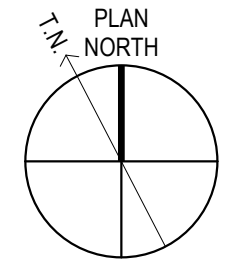
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10/04/2022	DRC REVIEW	

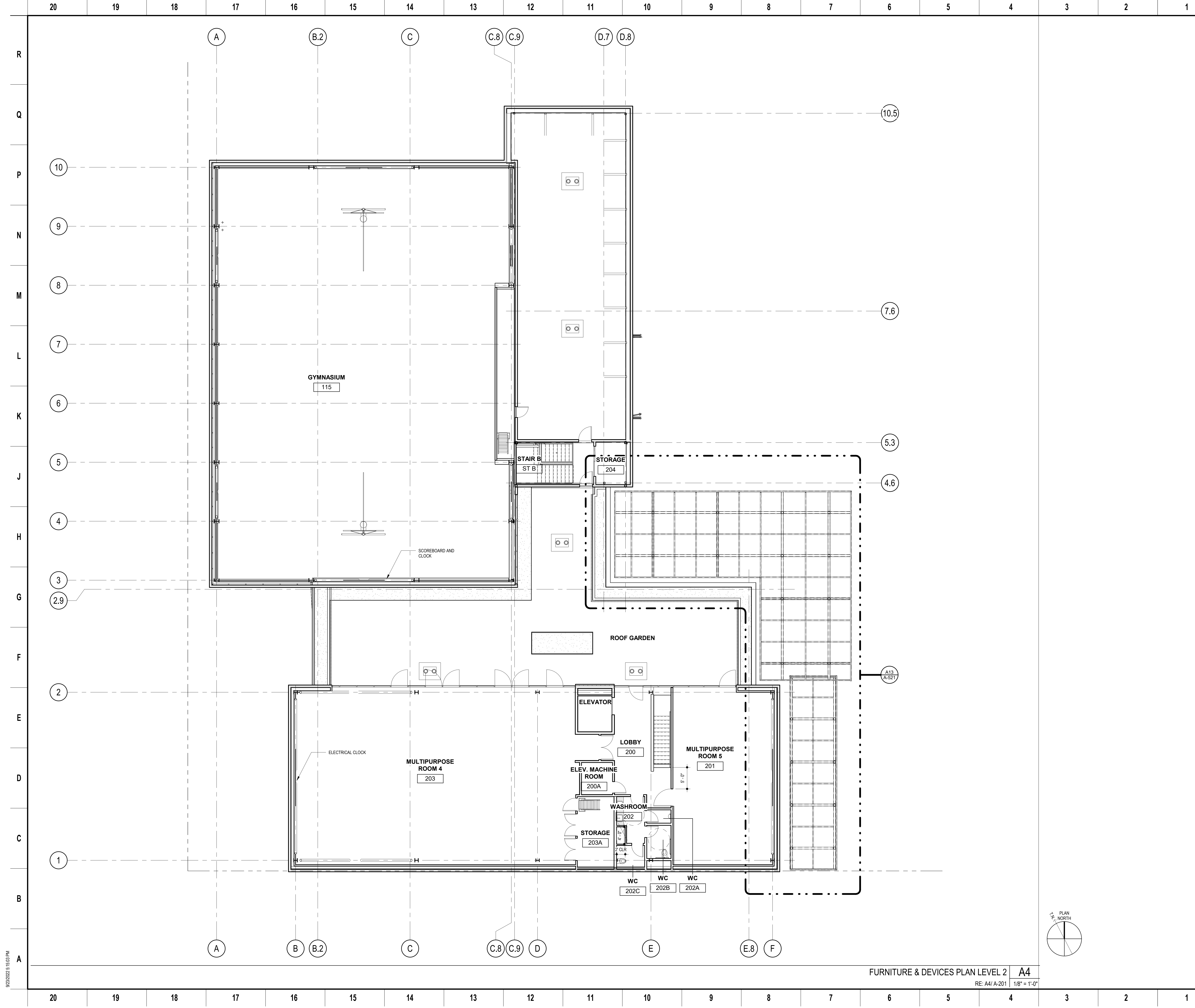
Architect	Consultants
S H A H KAWASAKI ARCHITECTS <small>570 10th Street, Suite 201 Oakland, CA 94607</small>	

Stamp	Sheet Name FURNITURE & DEVICES PLAN LEVEL 1
	Sheet No. A-141

SKA Project Number: 21703



9/23/2022 5:15:00 PM



PLANS FOR THE CONSTRUCTION OF
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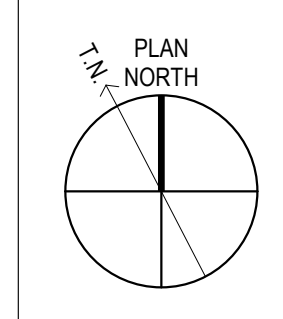
NO.	DATE	ISSUE DESCRIPTION
09/23/2022	DESIGN DEVELOPMENT	
10/04/2022	DRC REVIEW	

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 ARCHITECTS**
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Sheet Name
**FURNITURE &
 DEVICES PLAN LEVEL
 2**
Sheet No.

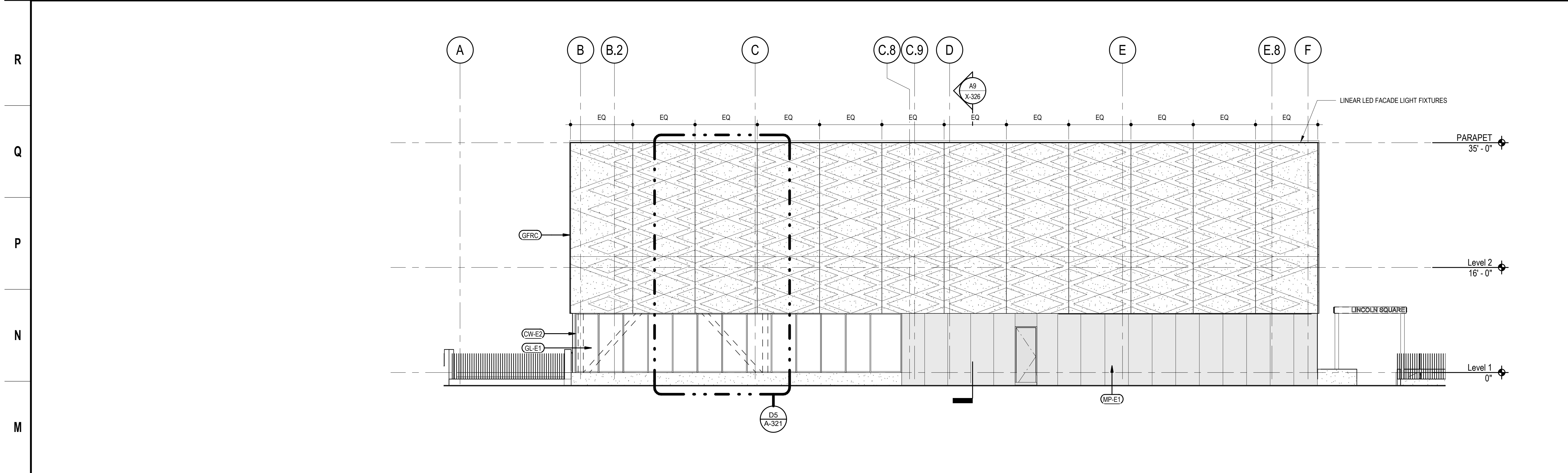
A-142

SKA Project Number: 21703



9/20/2022 5:15:00 PM

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GENERAL NOTES

- ELEVATION DRAWINGS SHOW GENERAL DESIGN INTENT ONLY. CONTACT B.O.D. PRODUCT REPRESENTATIVES LISTED IN ARCHITECTURAL NARRATIVE FOR DETAILED PRICING INFORMATION.
- ALL INSULATED GLAZING UNITS TO BE TEMPERED, U.O.N., PER THE REQUIREMENTS OF 2022 CBC, CH. 24, SECTION 2406 SAFETY GLAZING.
- INSULATED GLAZING UNITS SPECIFIED TO BE LAMINATED SHALL HAVE LAMINATED PANE ON THE INTERIOR SIDE.

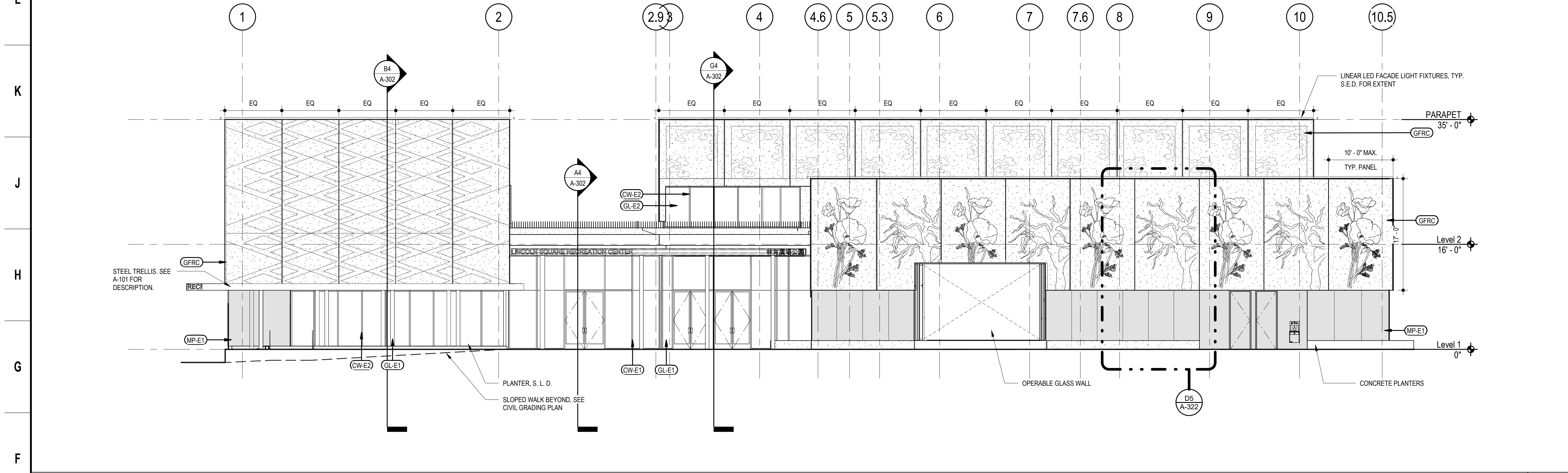
KEY LEGEND

- GFRG: SOLID INFINITE FACADE PANEL WITH (3) TYPES OF LINERS 2/ R-20 SPRAY INSULATION, TWO LINES OF SEALANT
- MP-E1: PRE-FINISHED ALUMINUM PLATE
- MP-E2: FLUTED METAL SIDING
- GL-E1: INSULATED GLASS UNIT, LOW-E ON #2 LITE, LAMINATED
- GL-E2: INSULATED GLASS UNIT, LOW-E ON #2 LITE
- CW-E1: ALUMINUM FRAME & GLASS CURTAINWALL SYSTEM, THERMALLY BROKEN, B.O.D. KAWNEER 1600-UT
- CW-E2: ALUMINUM FRAME & GLASS STOREFRONT SYSTEM, THERMALLY BROKEN, B.O.D. KAWNEER 451T
- ANTI-GRAFFITI COATING, CLEAR



PLANS FOR THE CONSTRUCTION OF
Lincoln Square Recreation Center
250 10th Street, Oakland, CA 94607

SOUTH L4
RE: A4/ A-121 1/8" = 1'-0"



KEY LEGEND

- GFRG: SOLID INFINITE FACADE PANEL WITH (3) TYPES OF LINERS 2/ R-20 SPRAY INSULATION, TWO LINES OF SEALANT
- MP-E1: PRE-FINISHED ALUMINUM PLATE
- MP-E2: FLUTED METAL SIDING
- GL-E1: INSULATED GLASS UNIT, LOW-E ON #2 LITE, LAMINATED
- GL-E2: INSULATED GLASS UNIT, LOW-E ON #2 LITE
- CW-E1: ALUMINUM FRAME & GLASS CURTAINWALL SYSTEM, THERMALLY BROKEN, B.O.D. KAWNEER 1600-UT
- CW-E2: ALUMINUM FRAME & GLASS STOREFRONT SYSTEM, THERMALLY BROKEN, B.O.D. KAWNEER 451T
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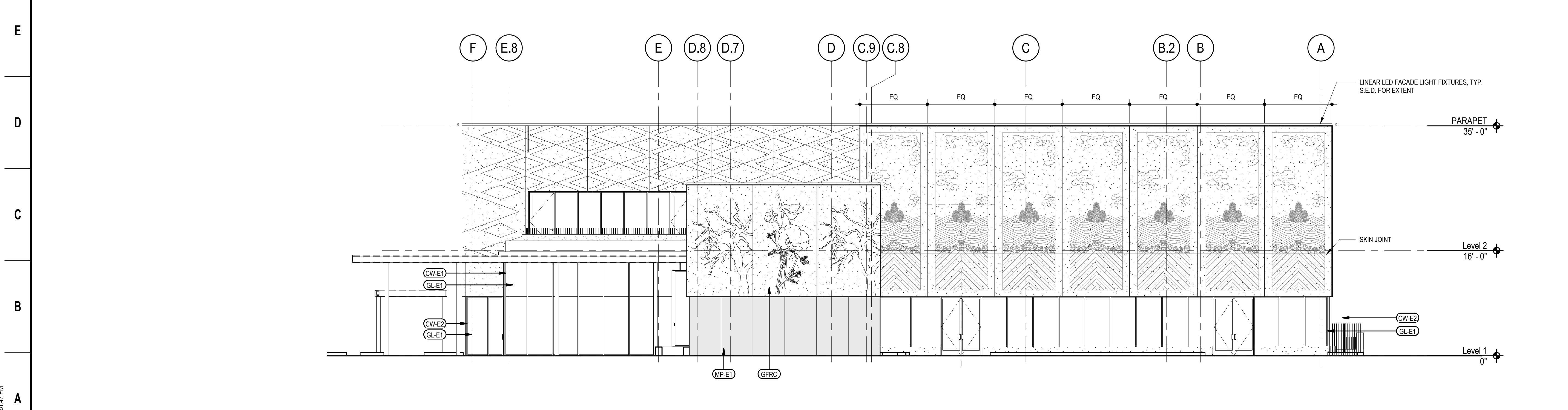
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570 10th Street, Suite 201
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Stamp
Sheet Name
EXTERIOR ELEVATIONS

Sheet No.
A-201

SKA Project Number: 21703

EAST F4
RE: A4/ A-121 1/8" = 1'-0"



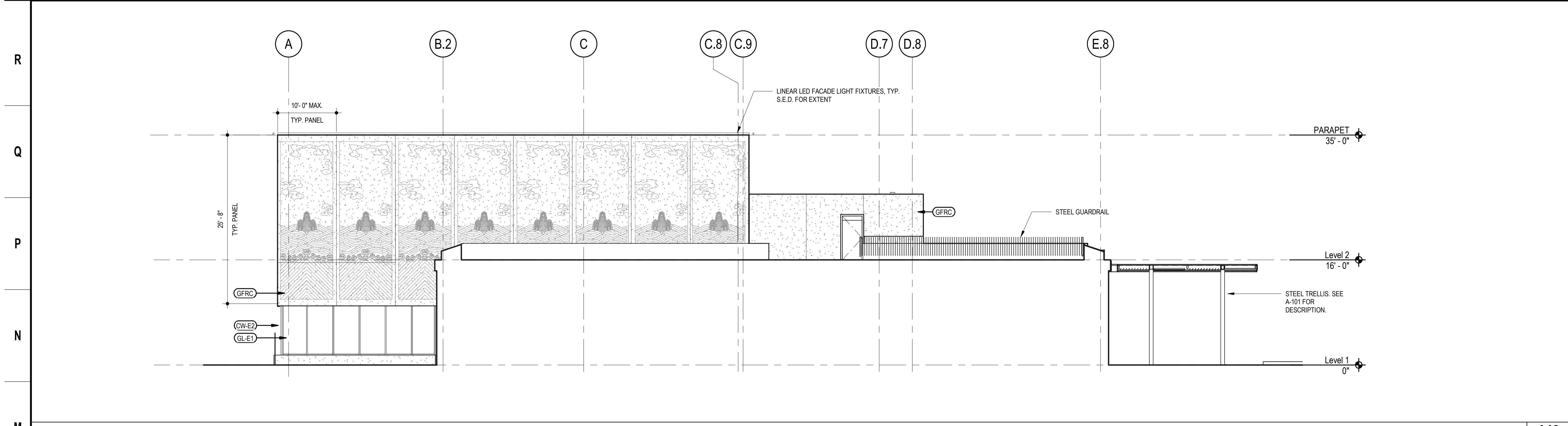
KEY LEGEND

- GFRG: SOLID INFINITE FACADE PANEL WITH (3) TYPES OF LINERS 2/ R-20 SPRAY INSULATION, TWO LINES OF SEALANT
- MP-E1: PRE-FINISHED ALUMINUM PLATE
- MP-E2: FLUTED METAL SIDING
- GL-E1: INSULATED GLASS UNIT, LOW-E ON #2 LITE, LAMINATED
- GL-E2: INSULATED GLASS UNIT, LOW-E ON #2 LITE
- CW-E1: ALUMINUM FRAME & GLASS CURTAINWALL SYSTEM, THERMALLY BROKEN, B.O.D. KAWNEER 1600-UT
- CW-E2: ALUMINUM FRAME & GLASS STOREFRONT SYSTEM, THERMALLY BROKEN, B.O.D. KAWNEER 451T
- ANTI-GRAFFITI COATING, CLEAR

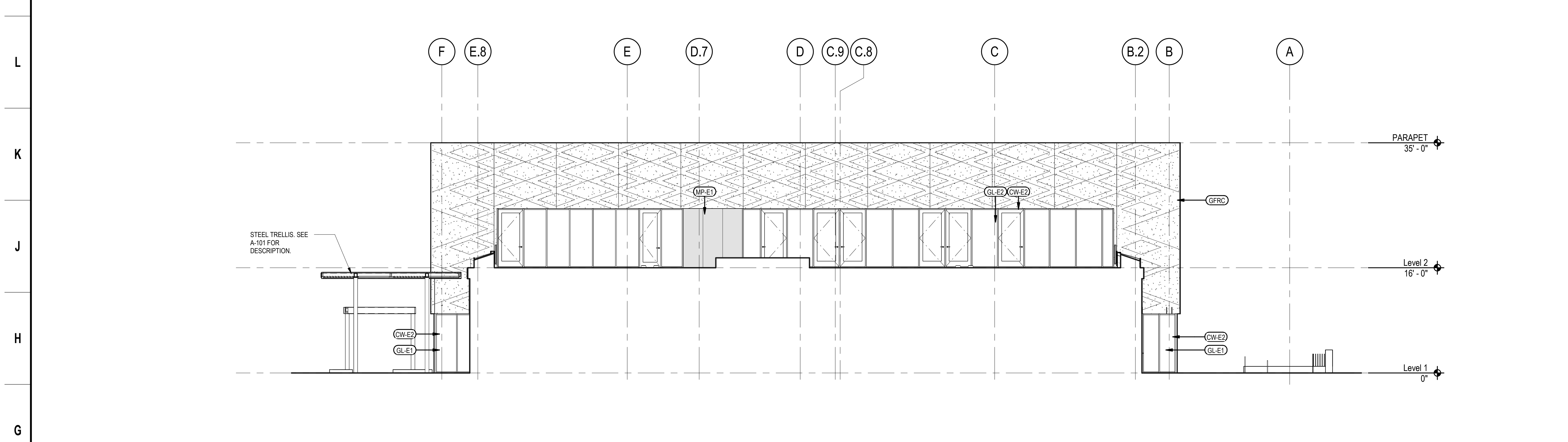
NORTH A4
RE: A4/ A-121 1/8" = 1'-0"

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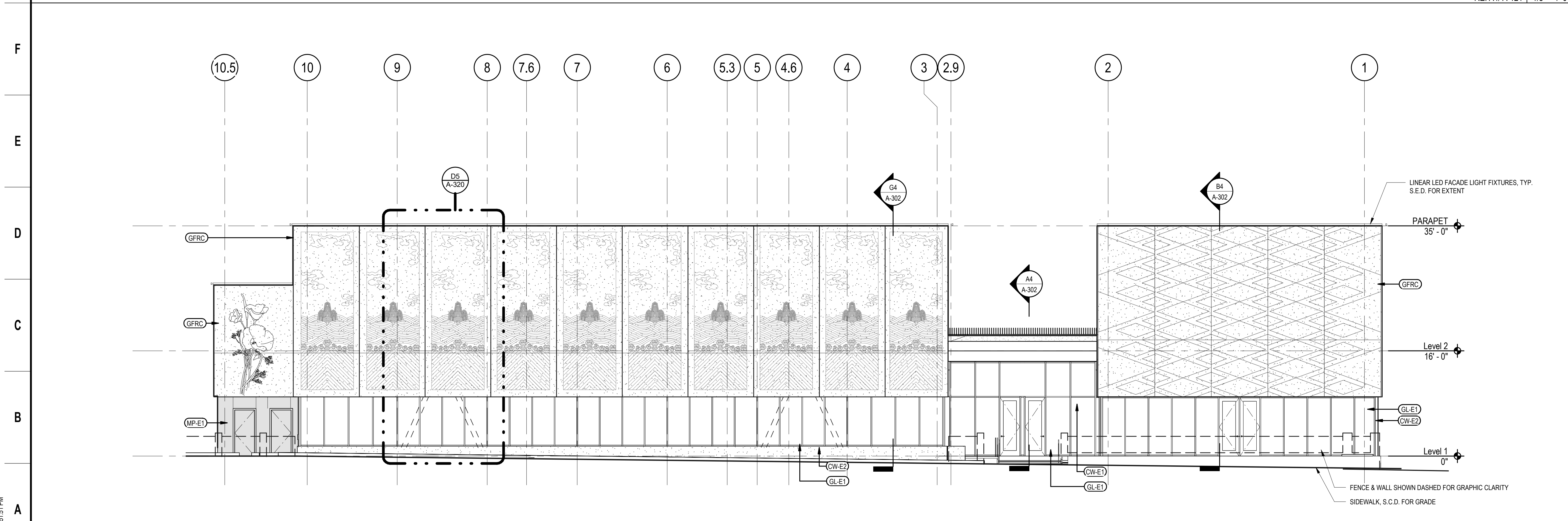
10/30/2022 6:51:17 PM



SOUTH-GYM VOLUME M3
RE: A4/ A-121 1/8" = 1'-0"



NORTH-MPR VOLUME G3
RE: A4/ A-121 1/8" = 1'-0"



WEST ELEVATION - HARRISON ST. A4
RE: A4/ A-121 1/8" = 1'-0"

GENERAL NOTES

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- INSULATED GLAZING UNITS SPECIFIED TO BE LAMINATED SHALL HAVE LAMINATED PANE ON THE INTERIOR SIDE.

KEY LEGEND

- GFRC: SOLID INFINITE FACADE PANEL WITH (3) TYPES OF LINERS 2/ R-20 SPRAY INSULATION, TWO LINES OF SEALANT
- MP-E1: PRE FINISHED ALUMINUM PLATE
- MP-E2: FLUTED METAL SIDING
- GL-E1: INSULATED GLASS UNIT, LOW-E ON #2 LITE, LAMINATED
- GL-E2: INSULATED GLASS UNIT, LOW-E ON #2 LITE
- CW-E1: ALUMINUM FRAME & GLASS CURTAINWALL SYSTEM, THERMALLY BROKEN, B.O.D. KAWNEER 1600-UT
- CW-E2: ALUMINUM FRAME & GLASS STOREFRONT SYSTEM, THERMALLY BROKEN, B.O.D. KAWNEER 451T
- ANTI-GRAFFITI COATING, CLEAR



PLANS FOR THE CONSTRUCTION OF
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Sheet Name: **EXTERIOR ELEVATIONS**

Sheet No.: **A-202**

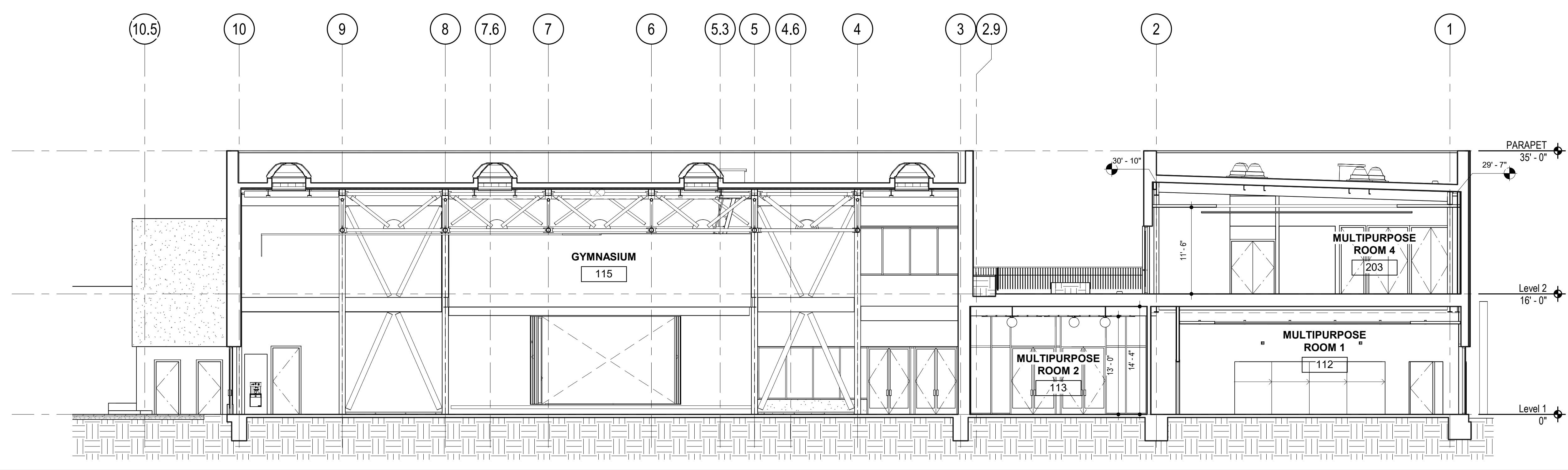
SKA Project Number: 21703

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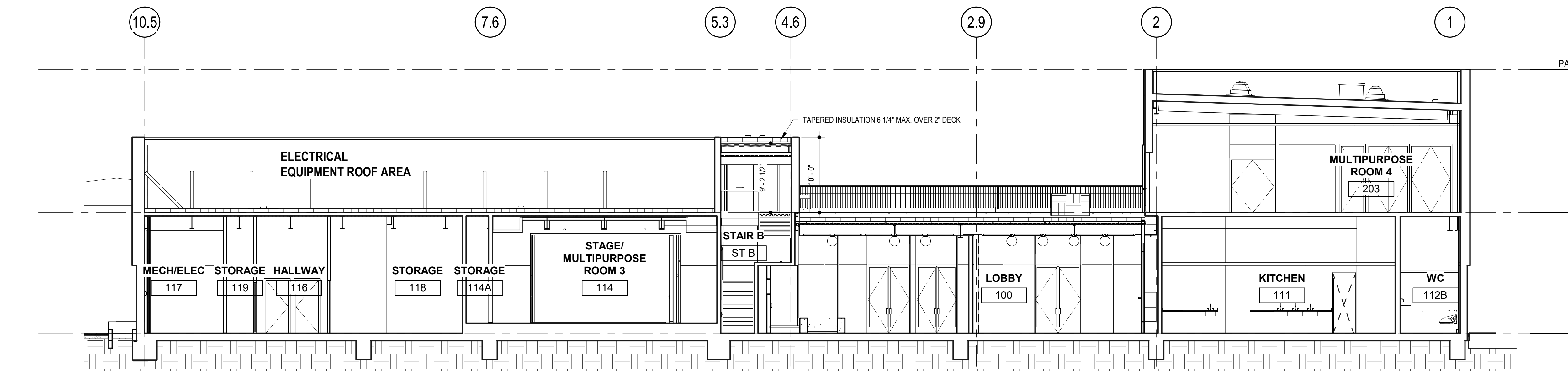
R
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PLANS FOR THE CONSTRUCTION OF
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NS BLDG SECTION THRU GYM & MPR - VIEW EAST **E4**
RE: A4/ A-121 1/8" = 1'-0"



NS BLDG SECTION THRU STAGE AREA - VIEW EAST **A4**
RE: A4/ A-121 1/8" = 1'-0"

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Sheet Name
BUILDING SECTIONS

Sheet No.
A-301

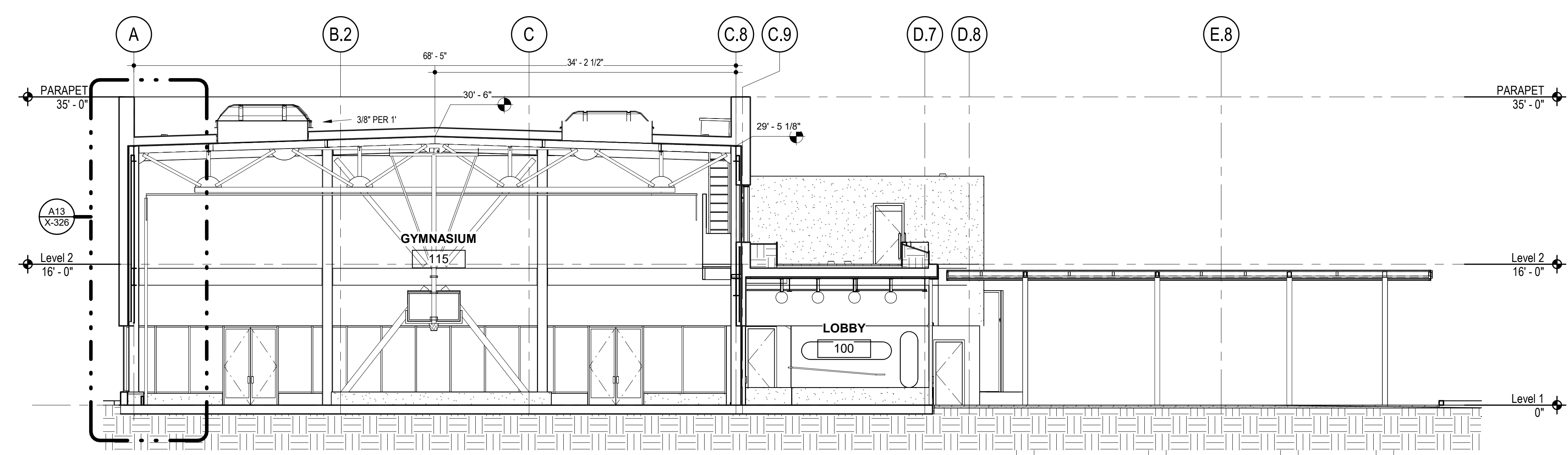
SKA Project Number: 21703

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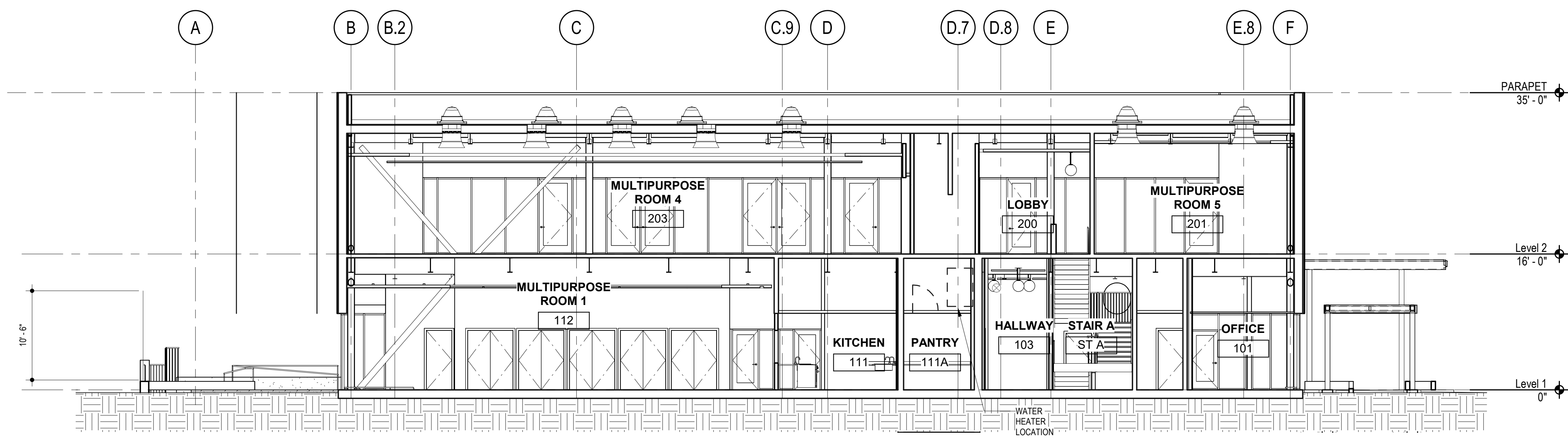
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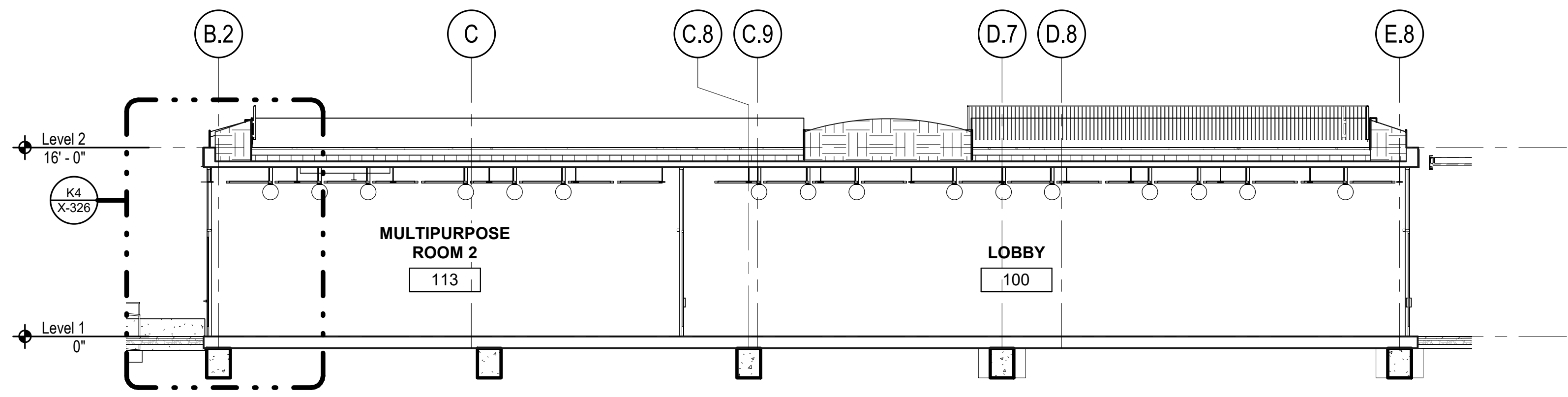
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EW SECTION GYM/LOBBY - VIEW NORTH G4
RE: A4/ A-121 1/8" = 1'-0"



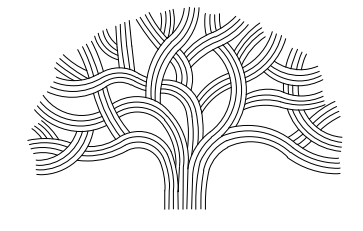
EW SECTION THROUGH MPR - VIEW NORTH B4
RE: A4/ A-121 1/8" = 1'-0"



EW SECTION THROUGH LOBBY - VIEW NORTH A4
RE: A4/ A-121 1/8" = 1'-0"

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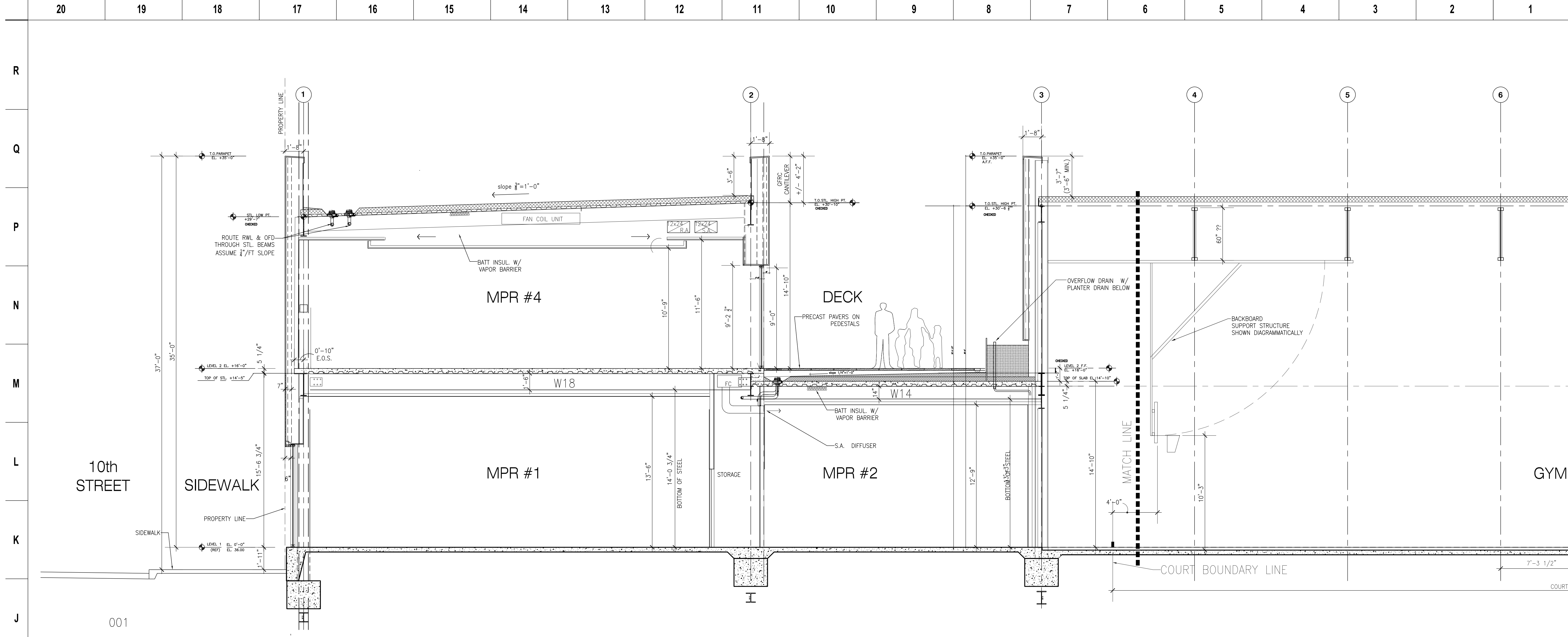
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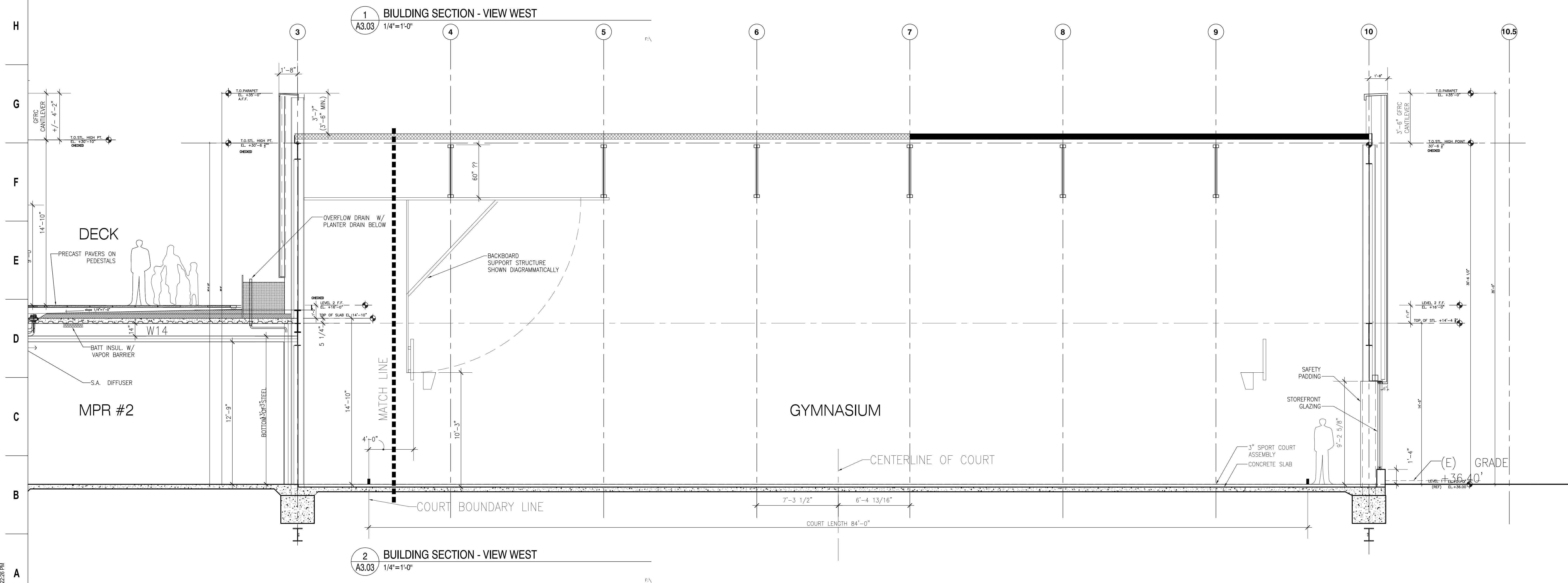
Stamp
Sheet Name
BUILDING SECTIONS

Sheet No.
A-302

SKA Project Number: 21703



1 BUILDING SECTION - VIEW WEST
 A3.03 1/4"=1'-0"



2 BUILDING SECTION - VIEW WEST
 A3.03 1/4"=1'-0"

PLANS FOR THE CONSTRUCTION OF
Project Name
 Project Address

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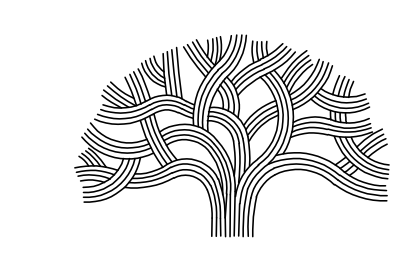
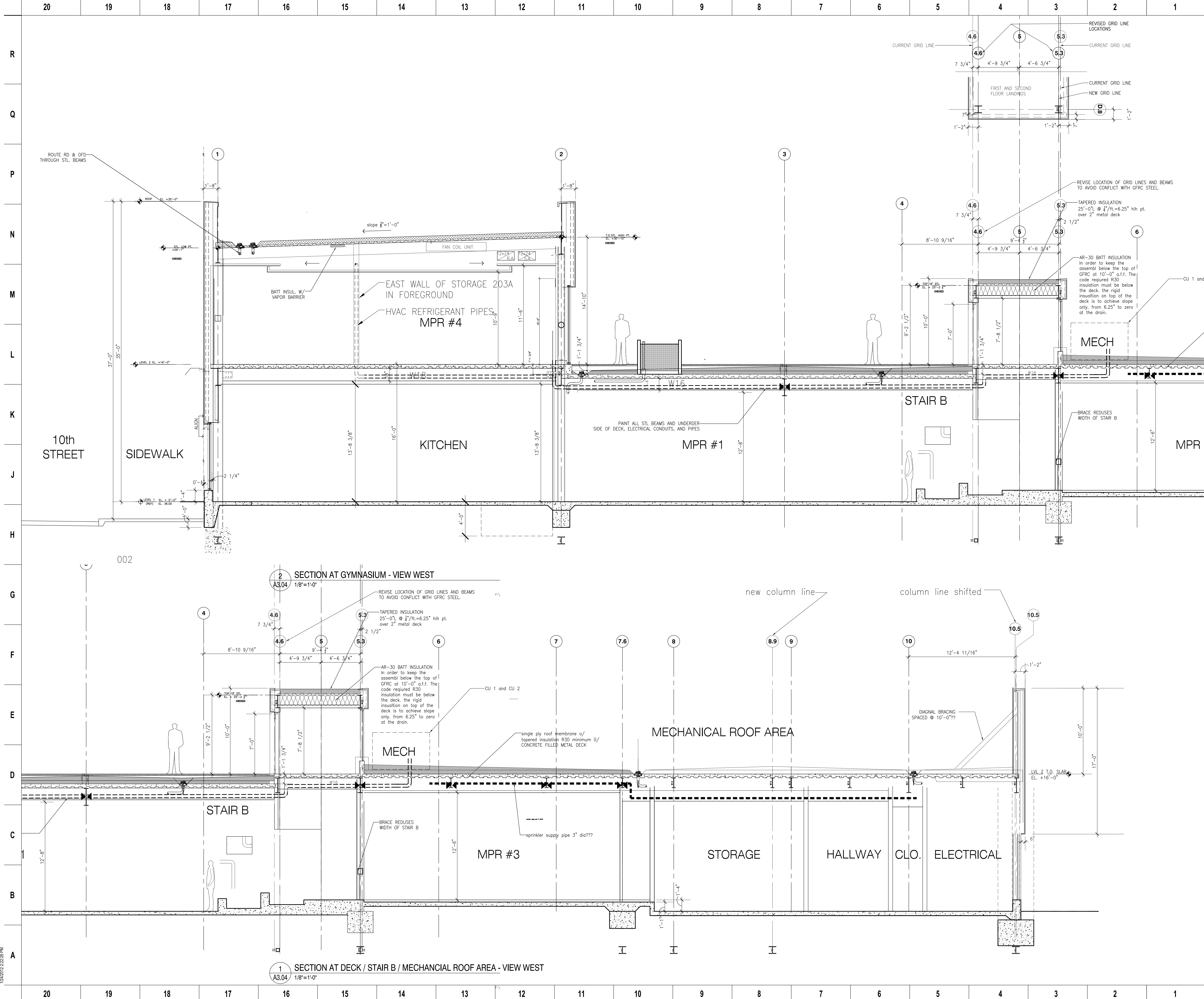
Consultants

Sheet Name
BLDG SECTIONS

Sheet No.
A-303

Stamp

SKA Project Number: [00000.000]



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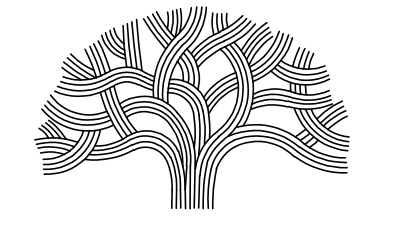
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10/04/2022	DRC REVIEW	

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Stamp
 Sheet Name
BLDG SECTIONS
 Sheet No.

A-304

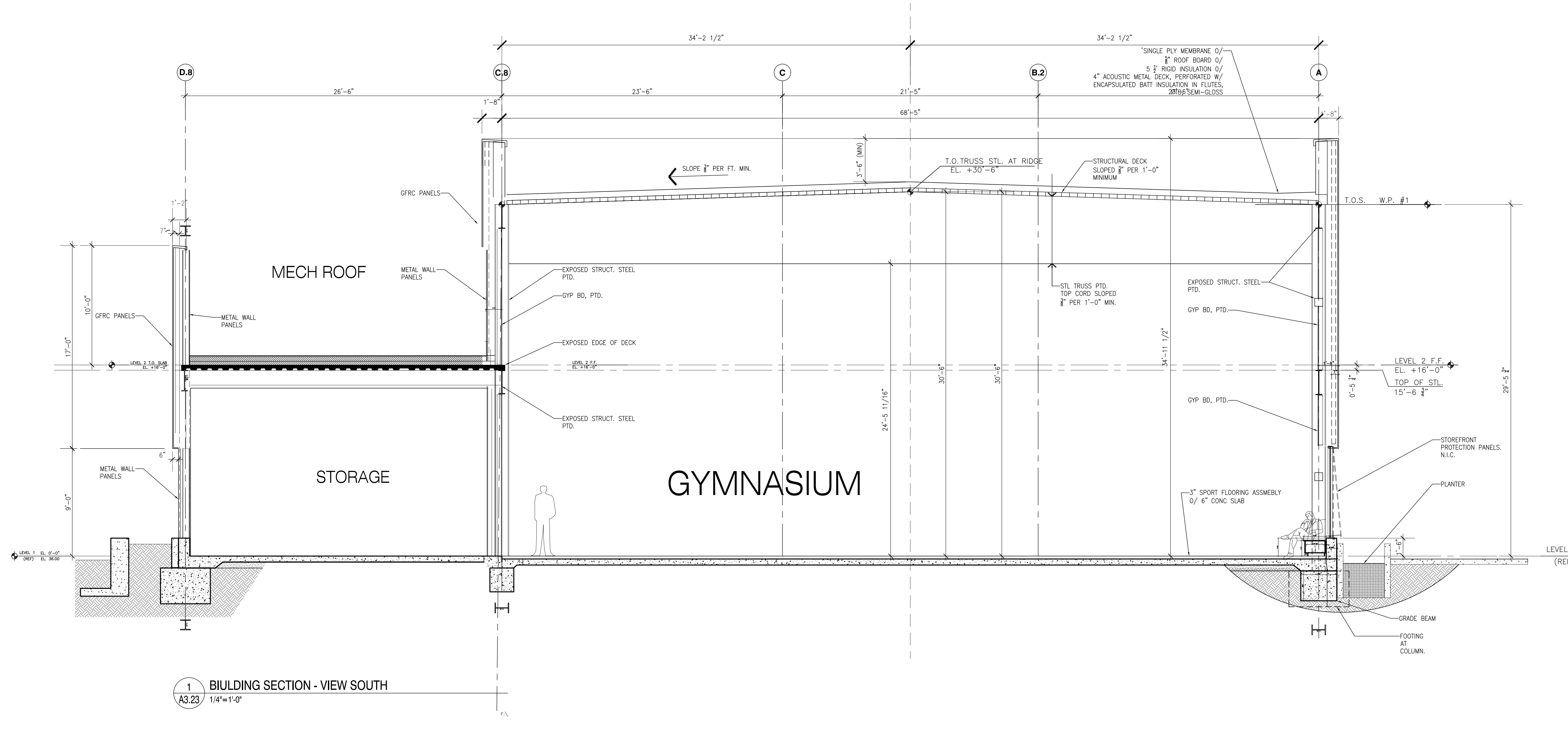
SKA Project Number: [00000.000]
NOT FOR CONSTRUCTION



PLANS FOR THE CONSTRUCTION OF
Project Name

Project Address

$35'-0" - 3'-7" = 31'-5"$
 $31'-5" - 10 \frac{3}{4}"(\text{deck, insul, roof bd. + membr} + 1/2") = 30'-6 \frac{3}{4}" \text{ WRK PT. \#2}$



1 BUILDING SECTION - VIEW SOUTH
A3.23 1/4"=1'-0"

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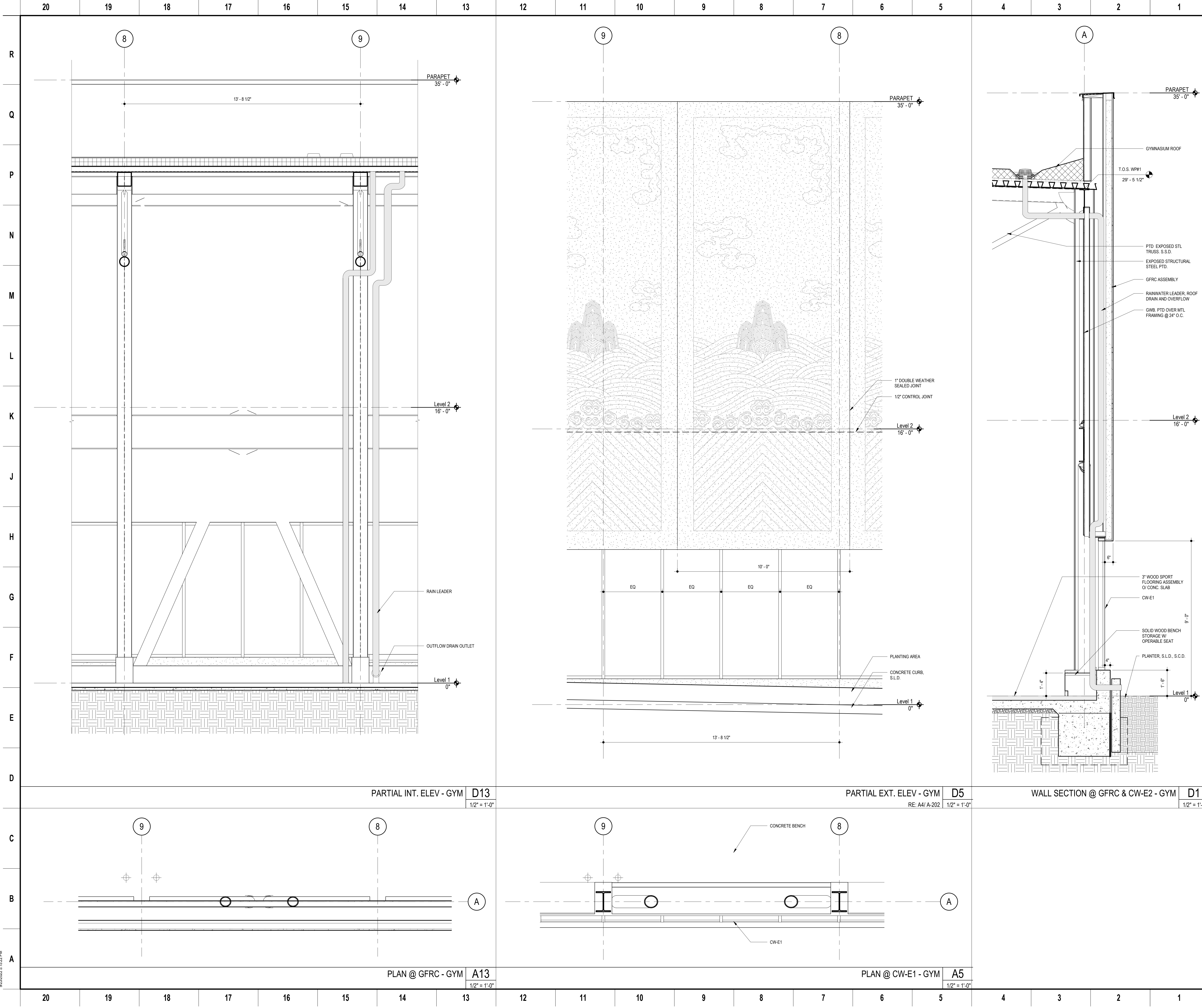
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10042022		DRC REVIEW

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Stamp	Sheet Name
	SHEET NAME
	Sheet No.
	A-305

SKA Project Number: [00000.000] **NOT FOR CONSTRUCTION**



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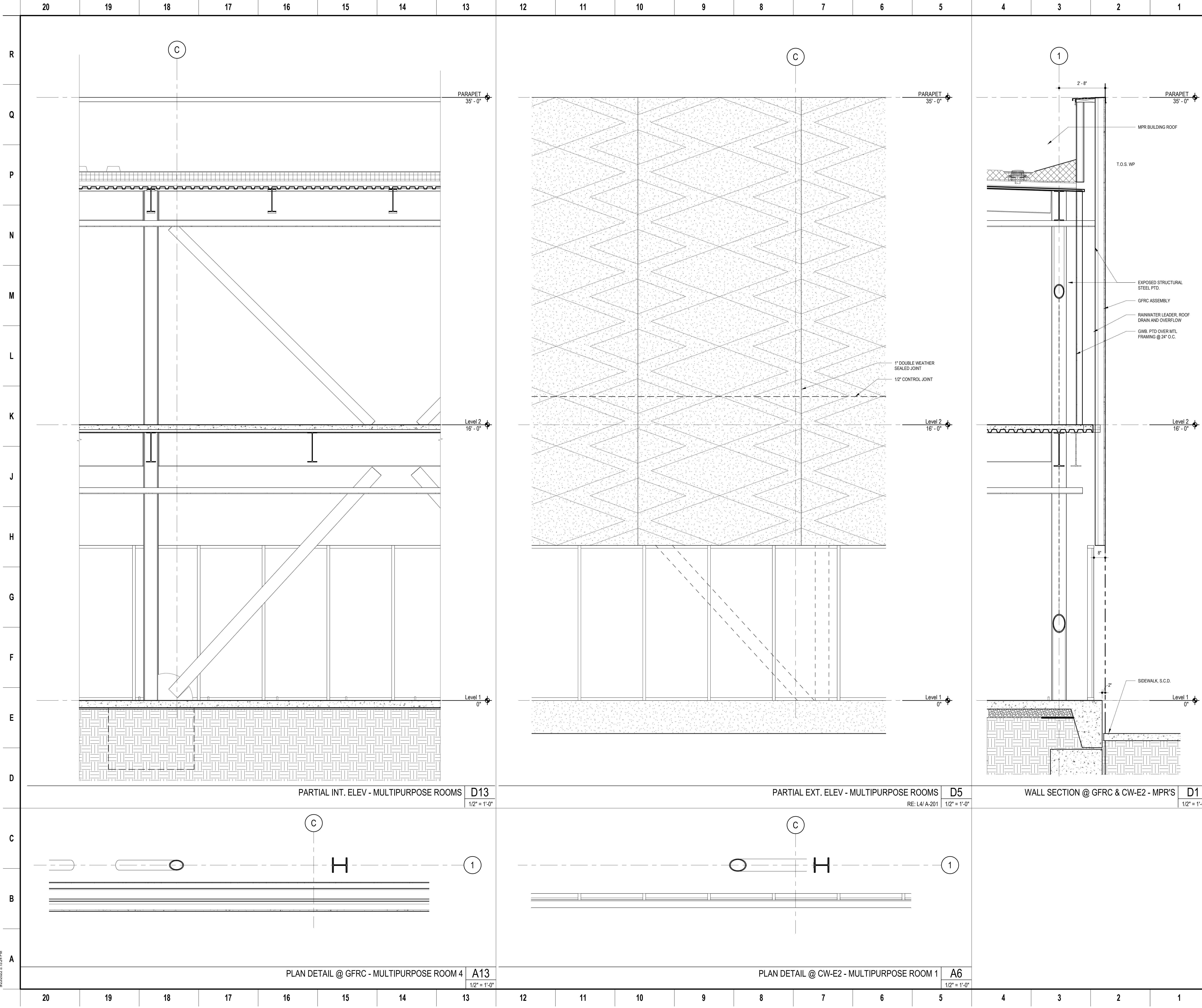
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 ENVELOPE SYSTEM
 GFRP & CW-E2 - GYMNASIUM
 Sheet No.
A-320

SKA Project Number: 21703

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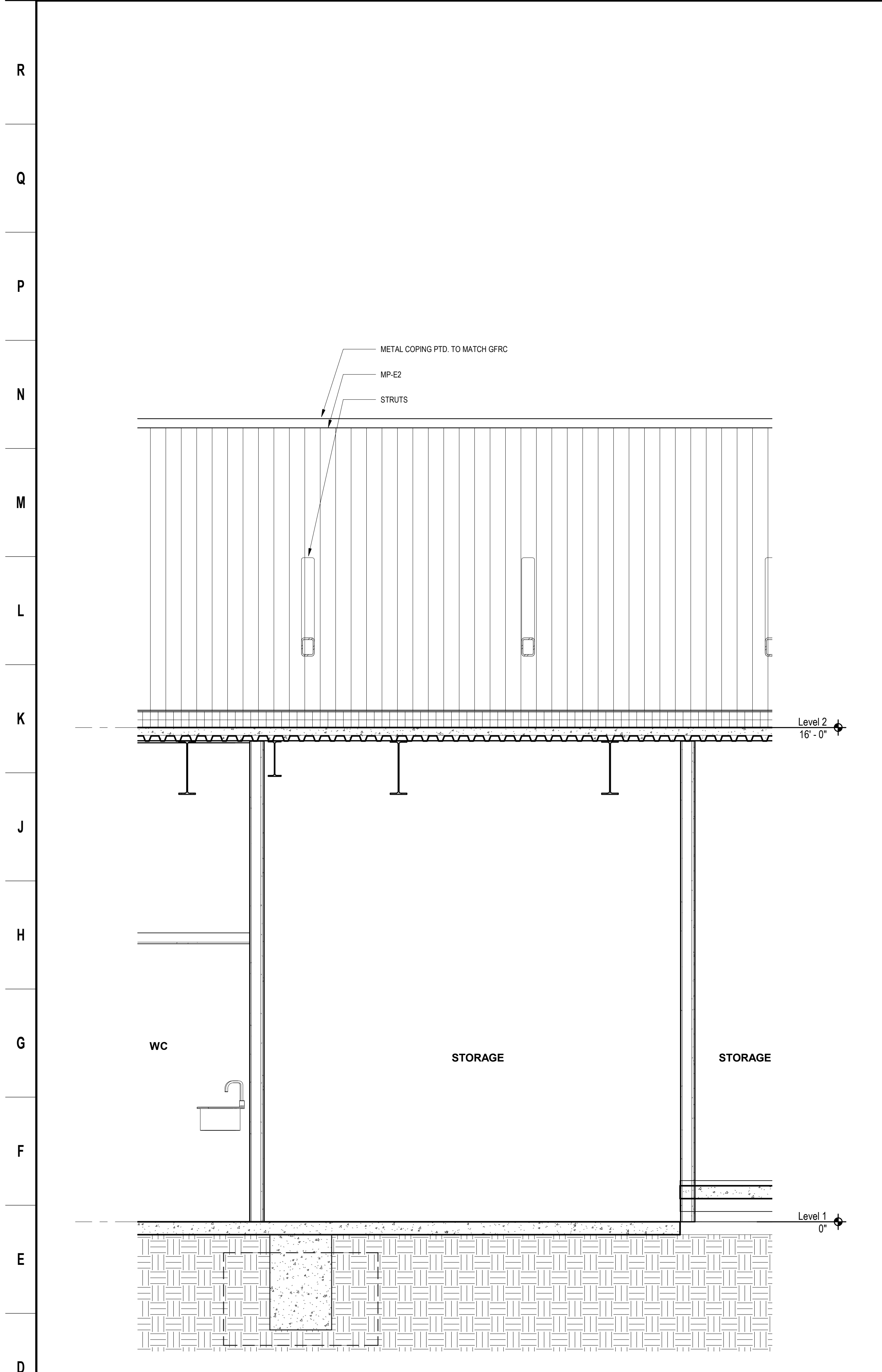
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Stamp
 SHEET NAME
**ENVELOPE SYSTEM
 GFRc & CW-E2 - MPR'S**
 SHEET NO.

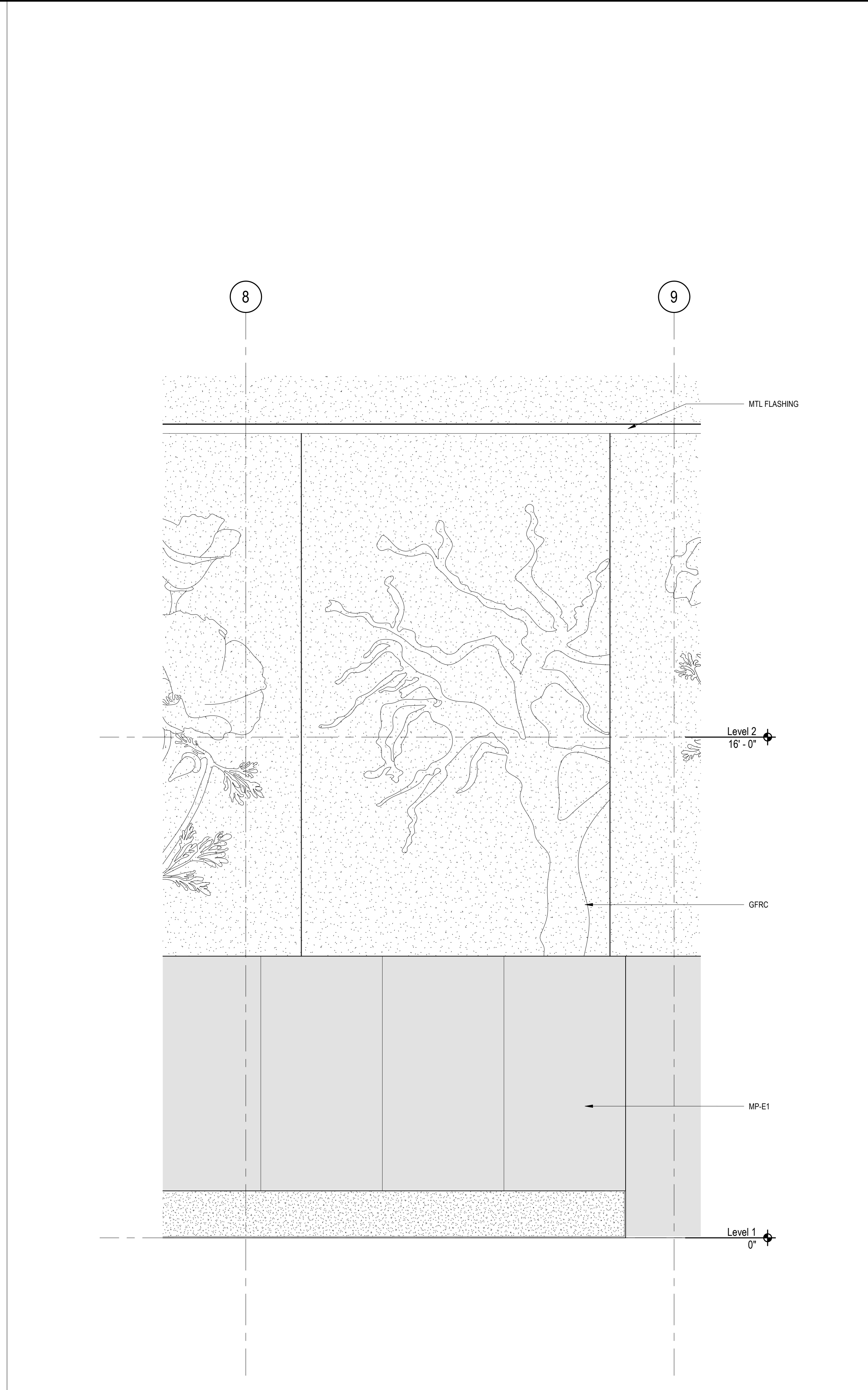
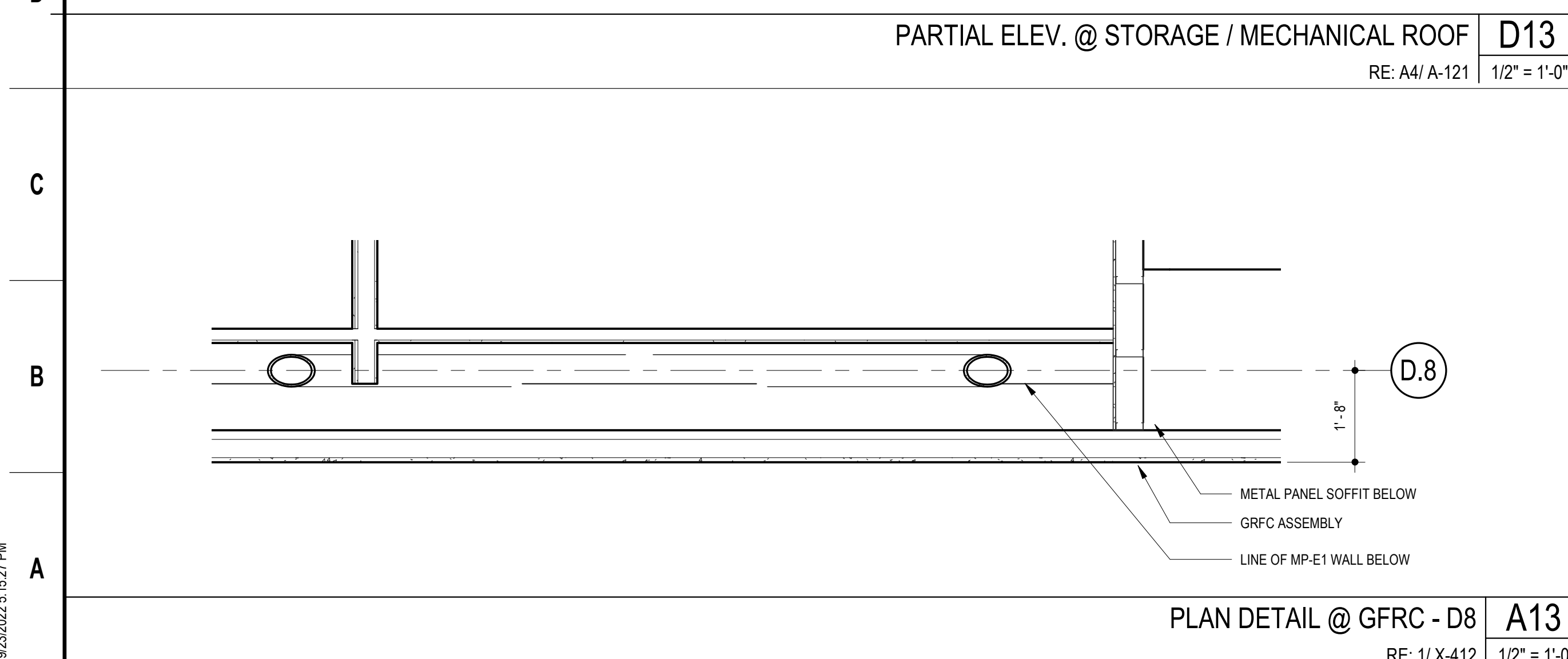
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A-321

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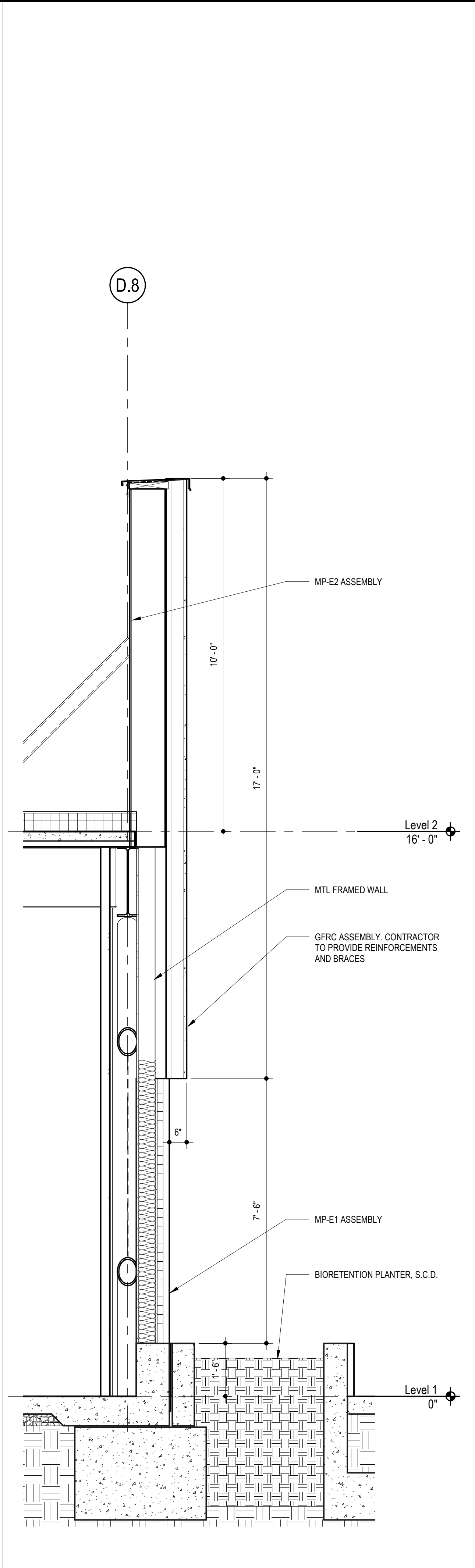
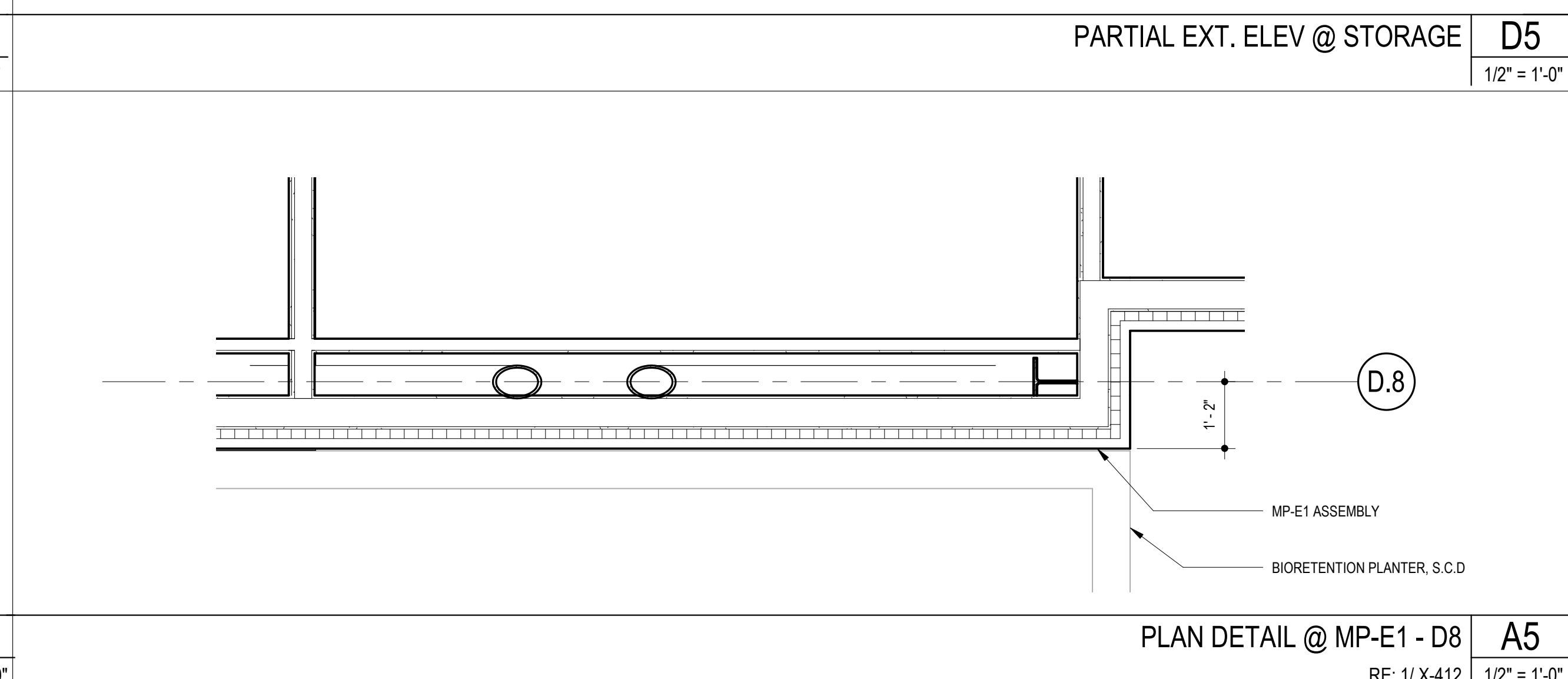
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PARTIAL ELEV. @ STORAGE / MECHANICAL ROOF **D13**
RE: A4/ A-121 1/2" = 1'-0"



PARTIAL EXT. ELEV @ STORAGE **D5**
1/2" = 1'-0"



WALL SECTION @ GFRC & MP-E1 - D8 **D1**
1/2" = 1'-0"



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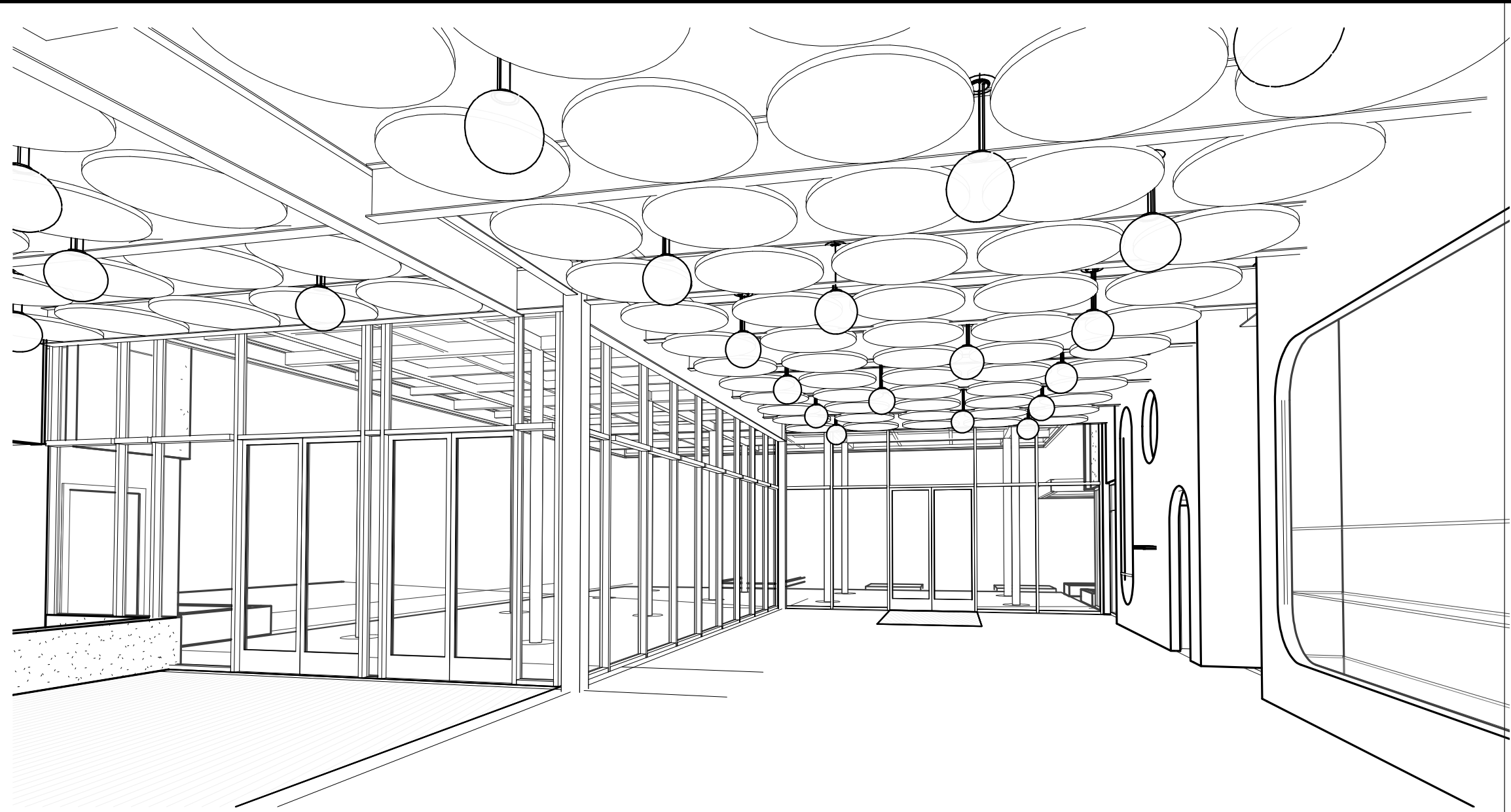
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Sheet Name
**EXTERIOR SYSTEM @
GFRC & MP-E1**

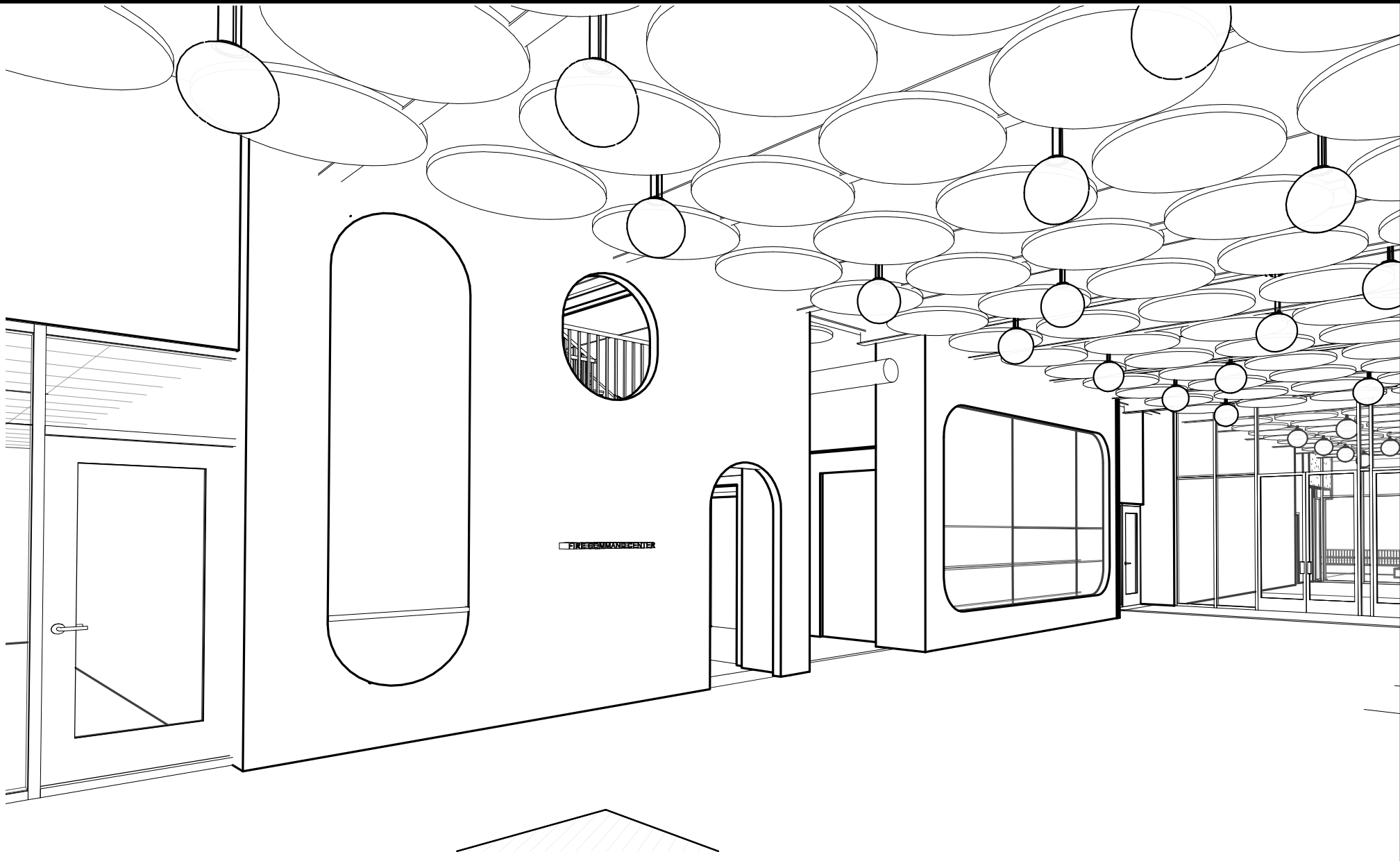
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A-322

SKA Project Number: 21703

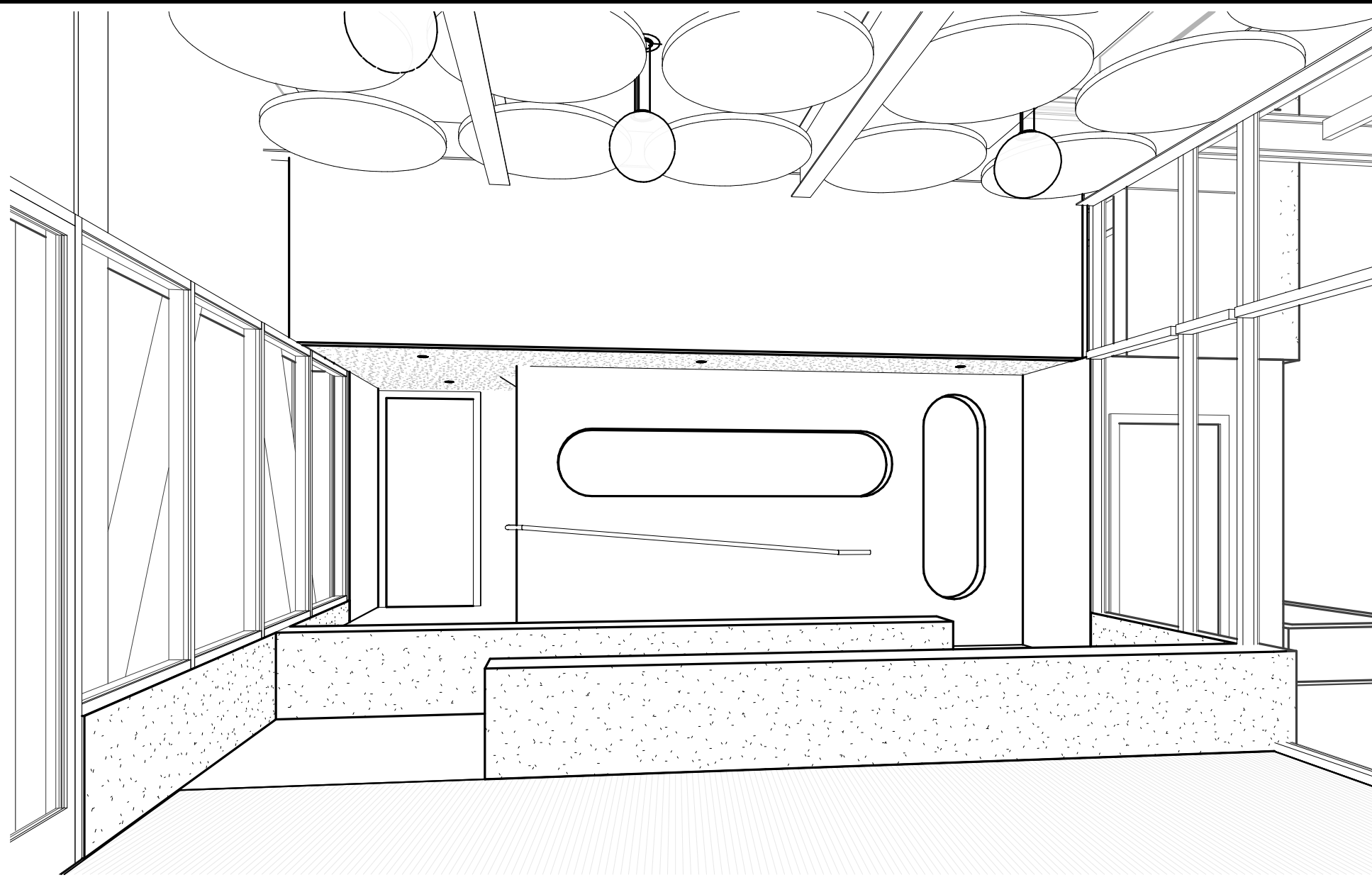
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LOBBY ENTRY N14

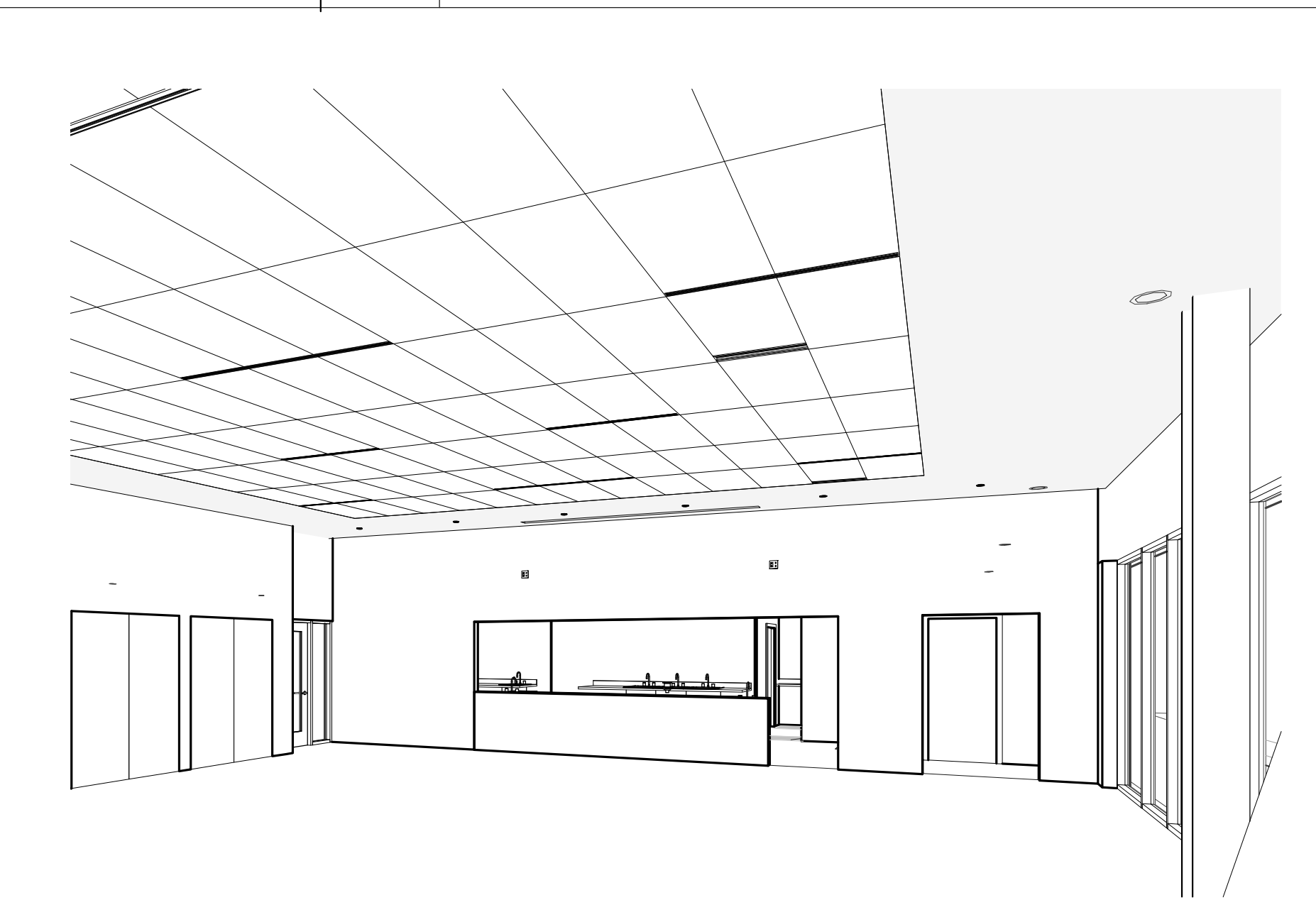


LOBBY VIEW N7

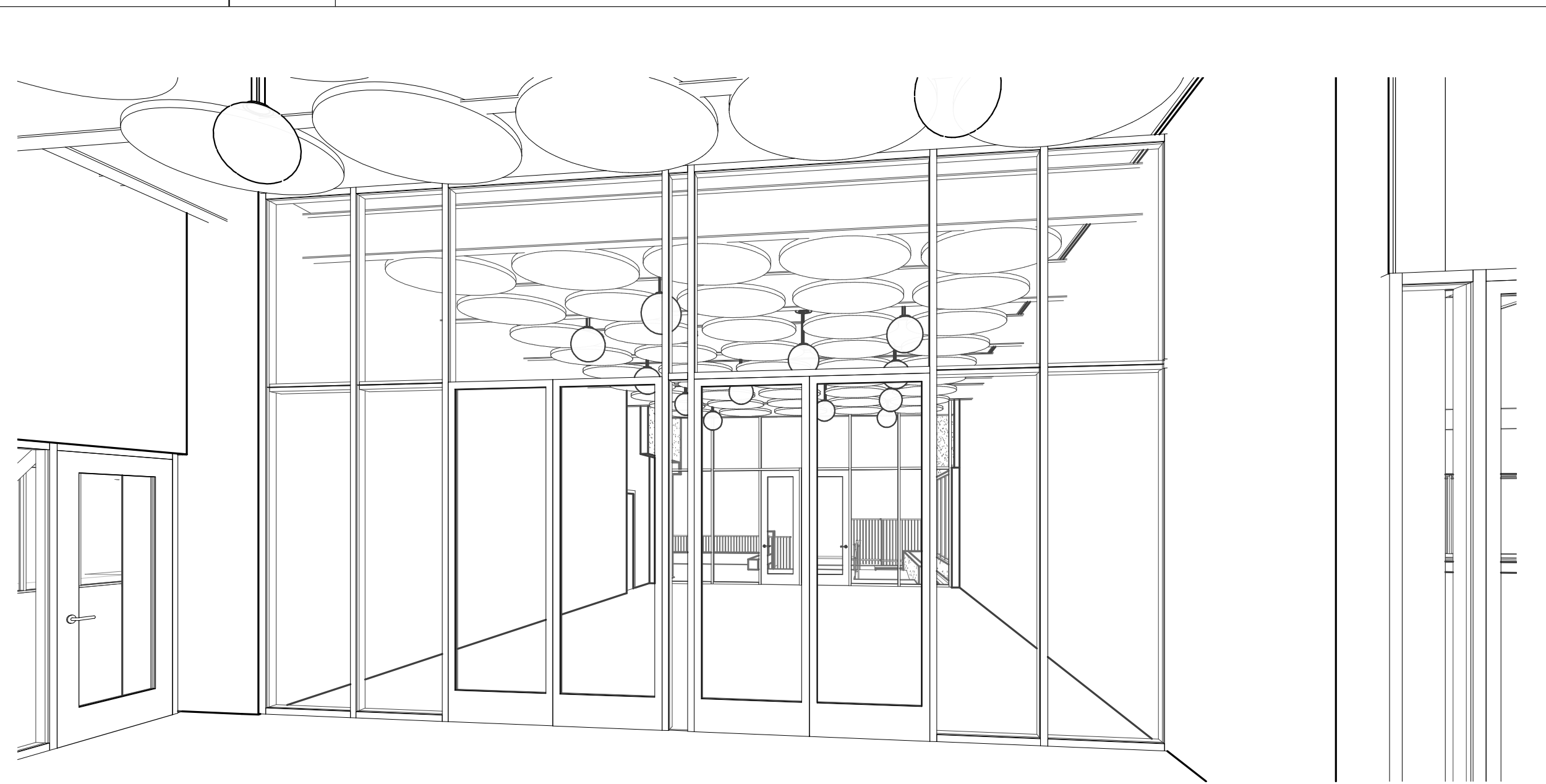


MPR 3 ENTRY N1

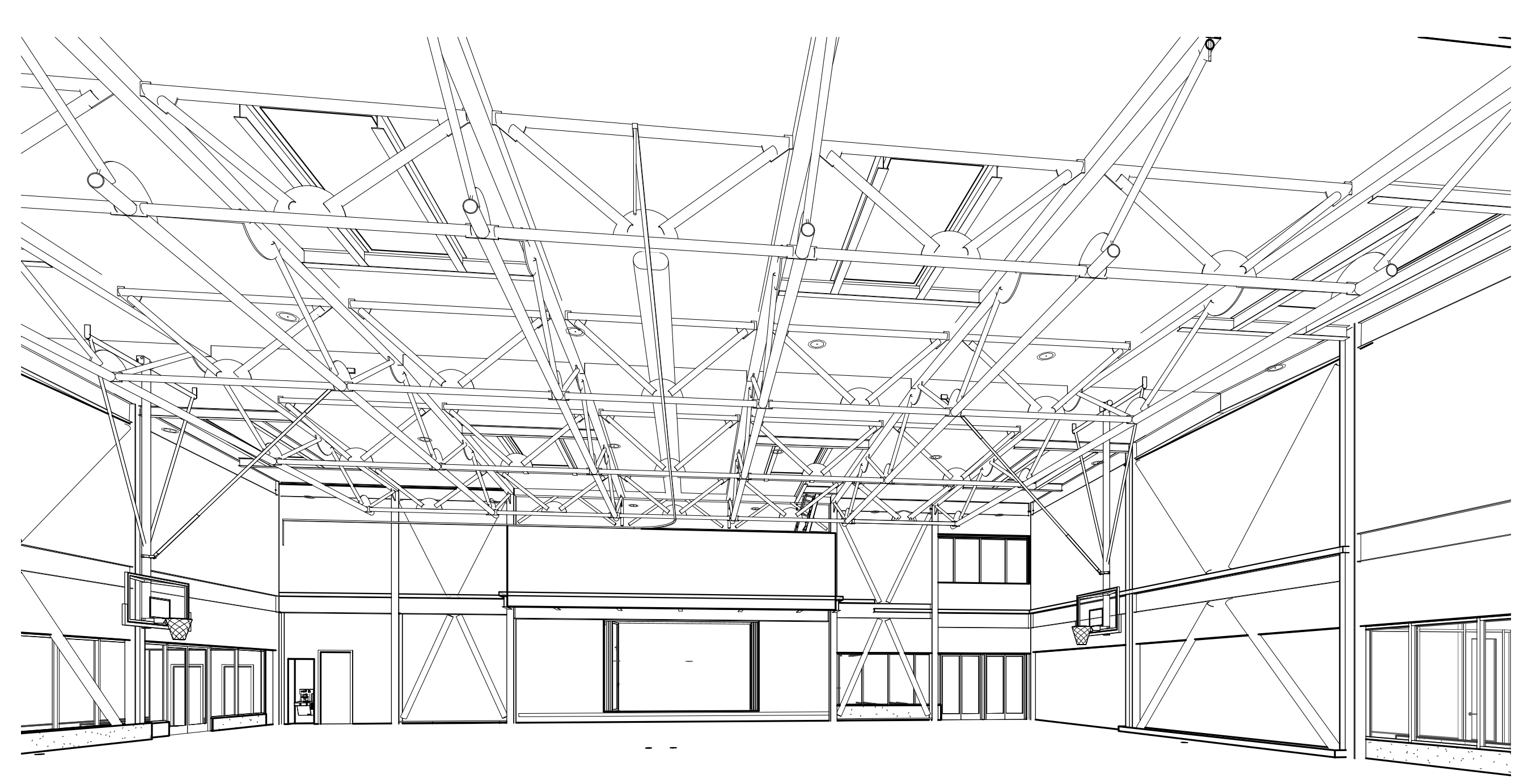
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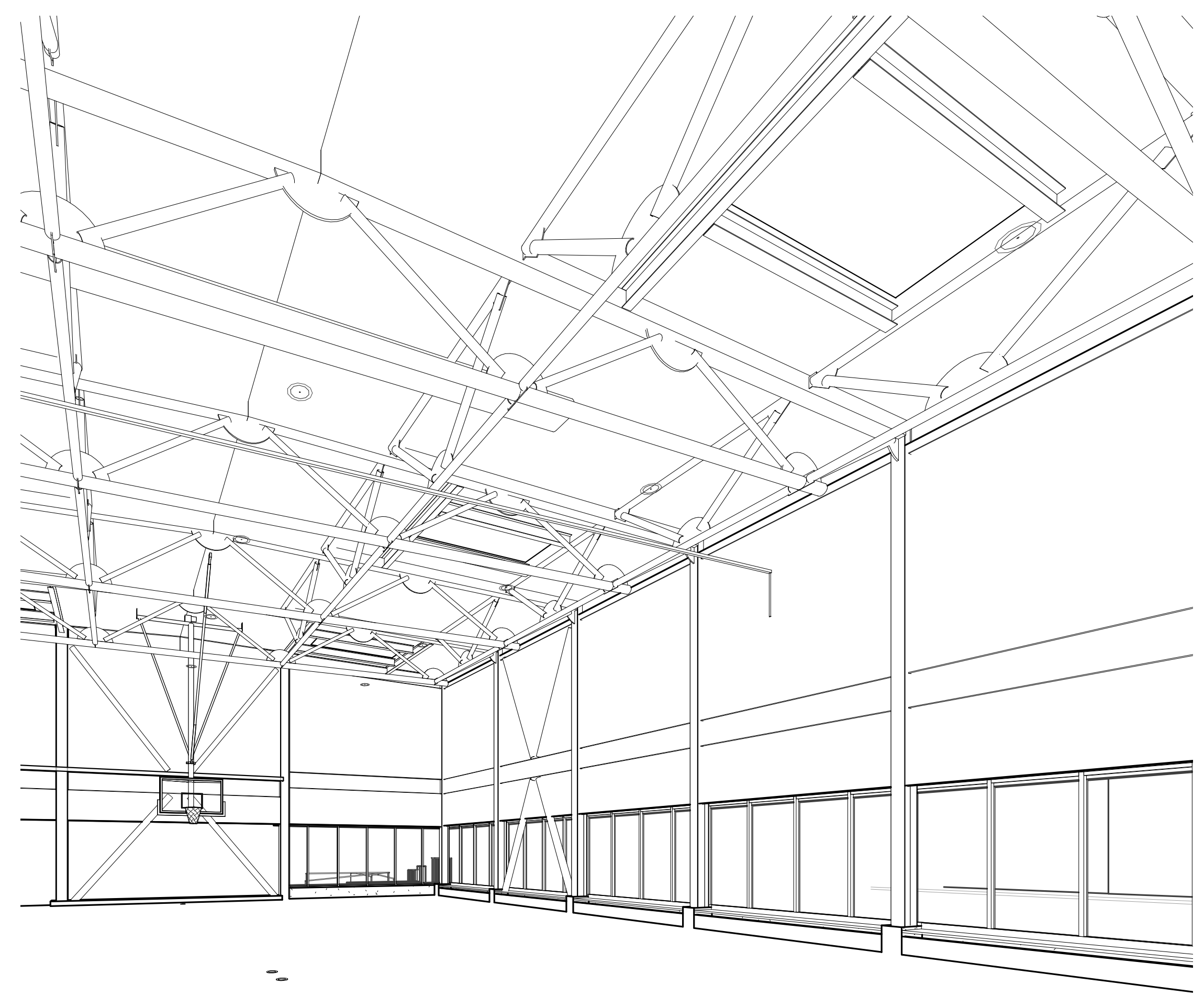
PERSPECTIVE - MPR 1 J10



3D View 12 J1



PERSPECTIVE - GYM A9



PERSPECTIVE - GYM 2 A1

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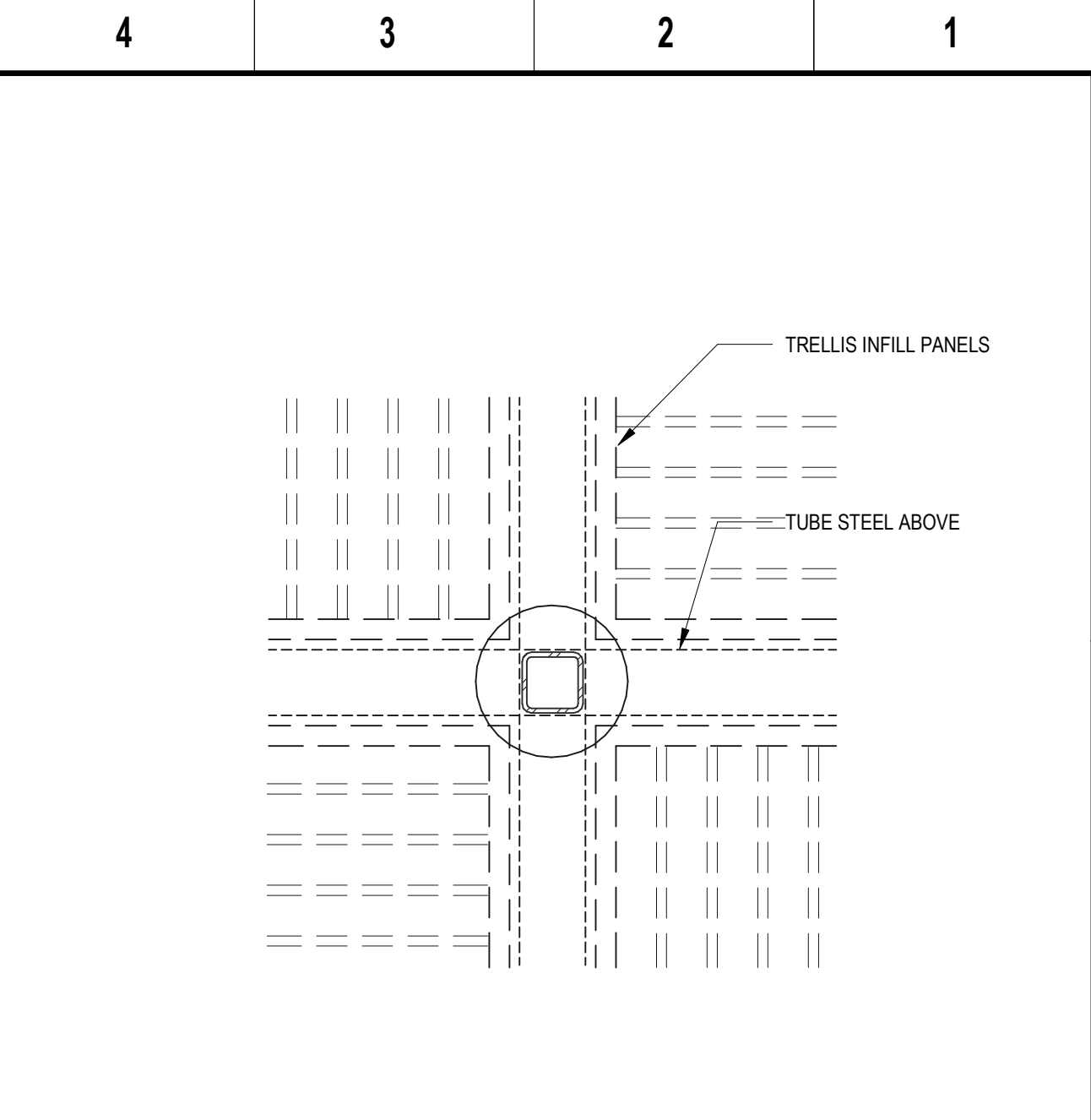
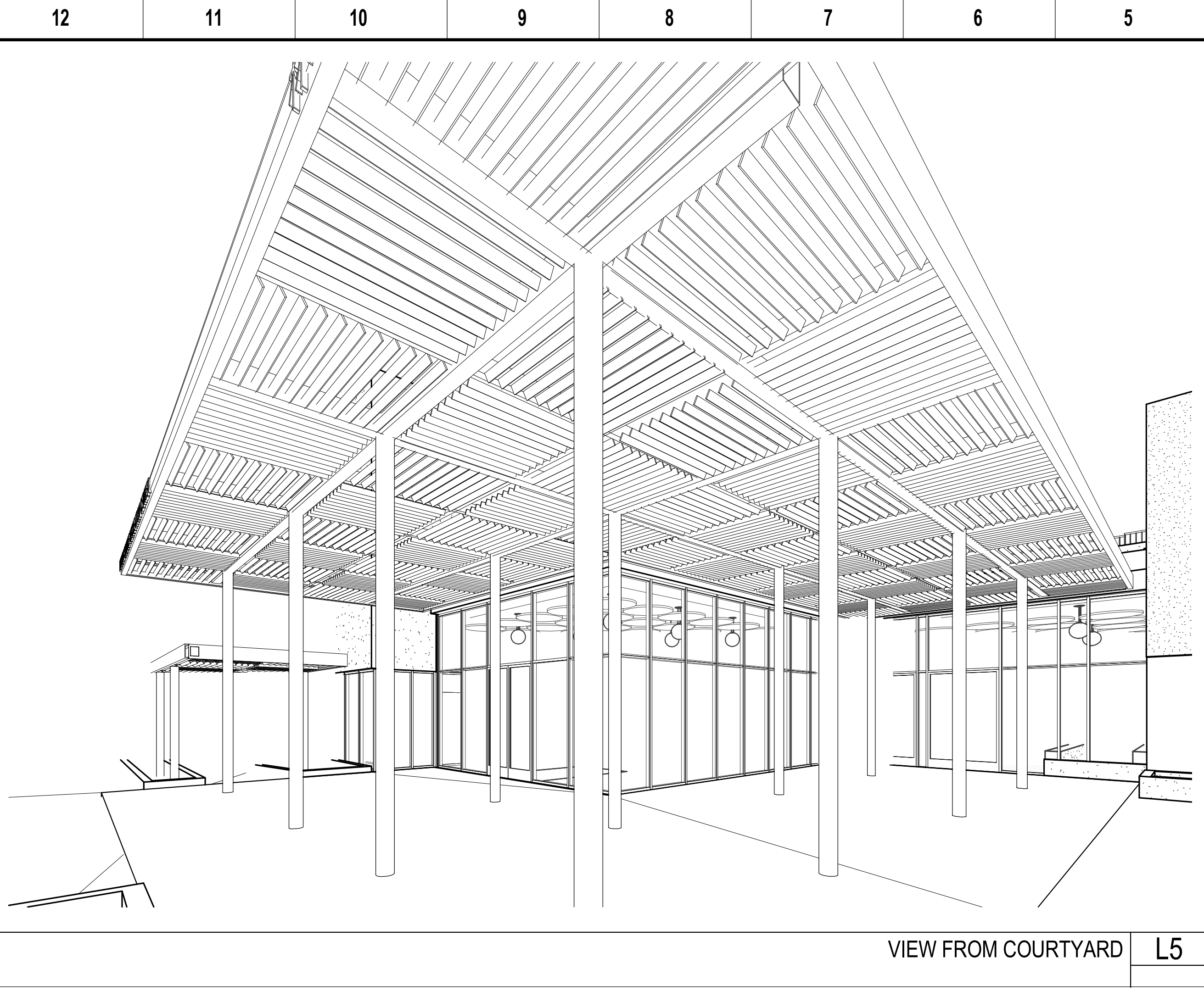
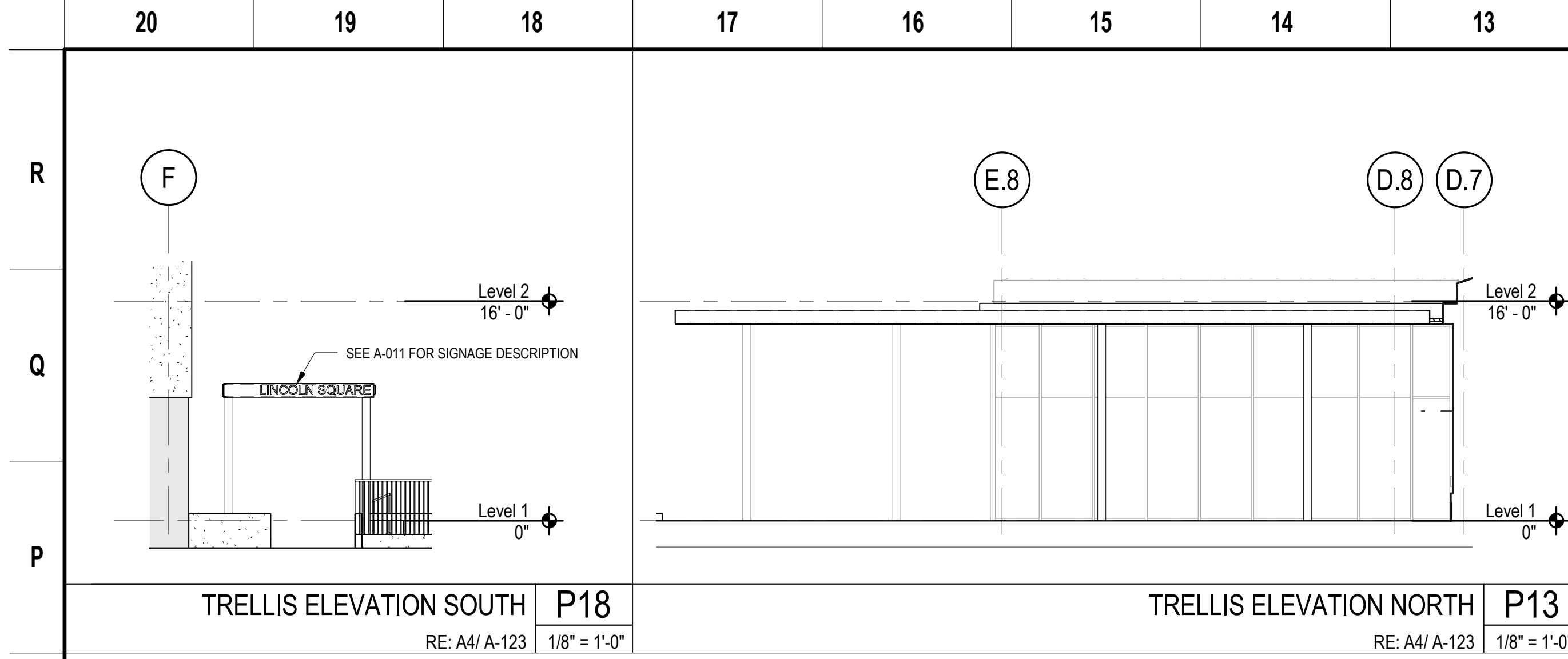
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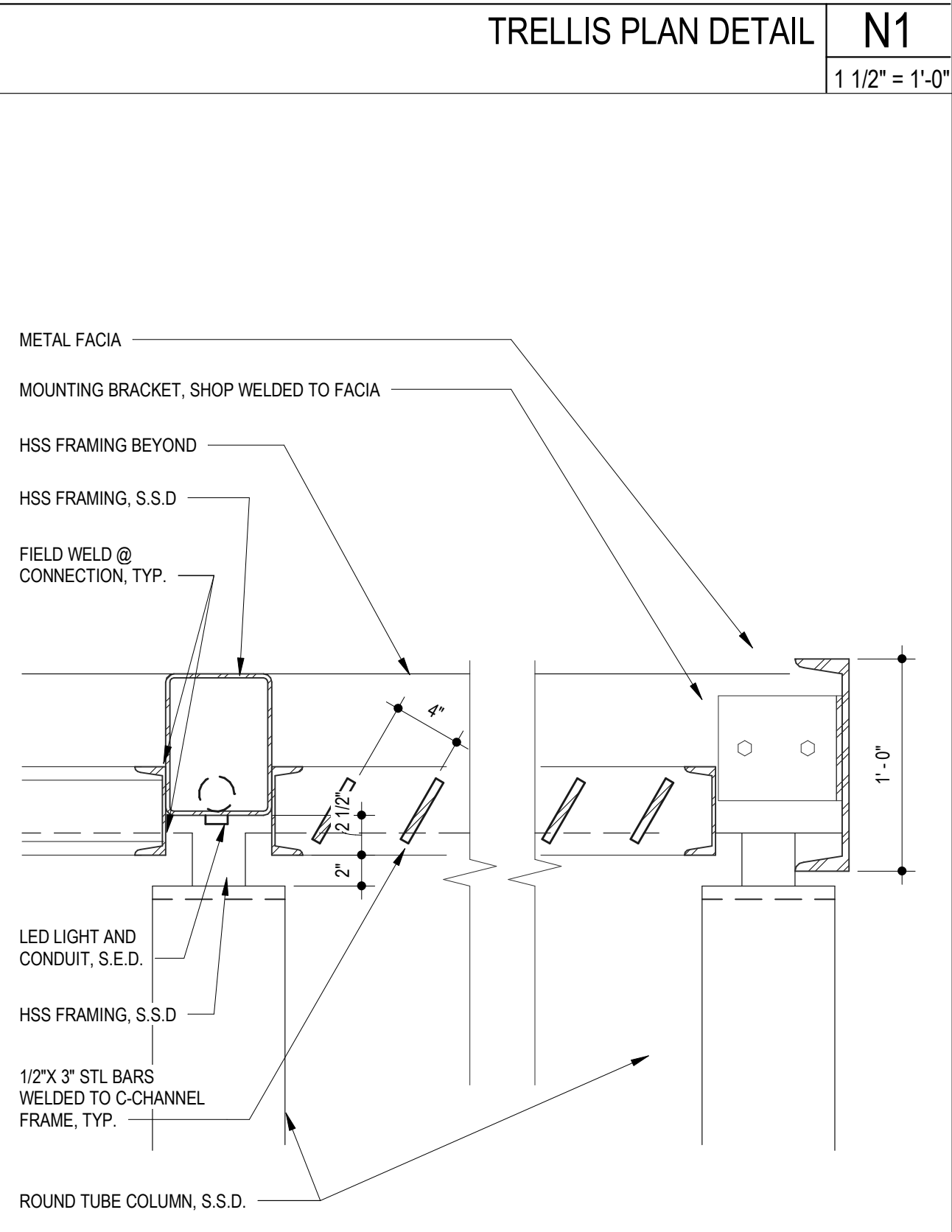
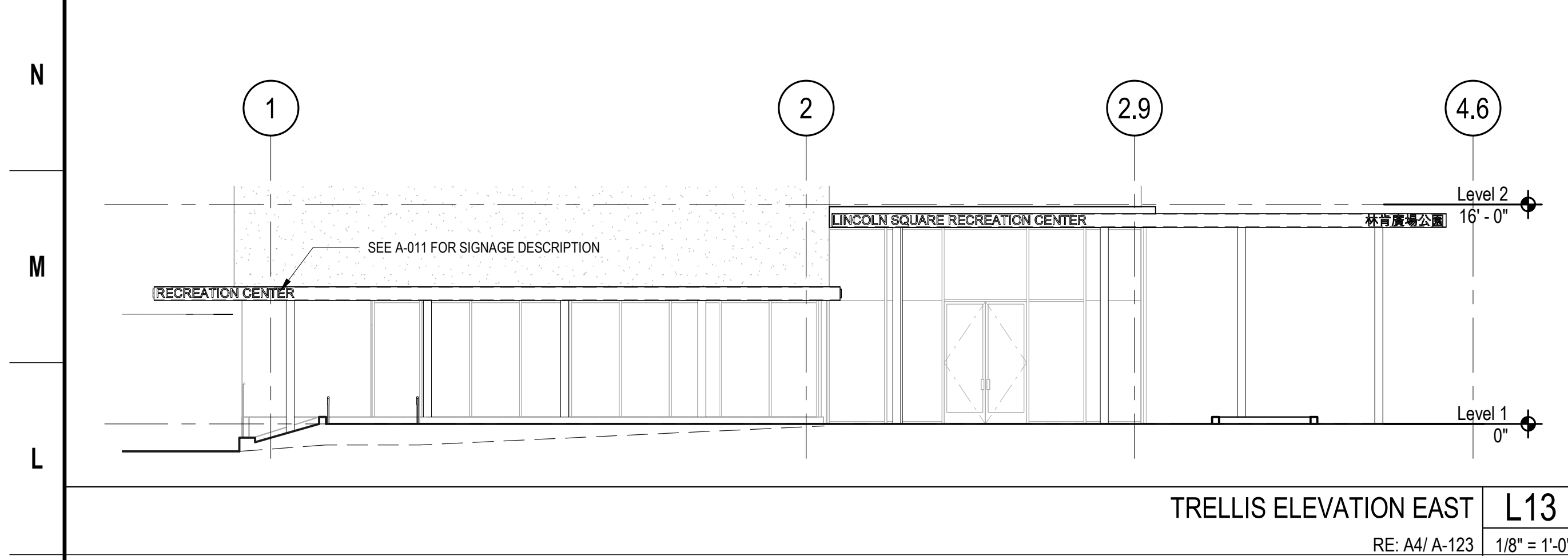
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Sheet Name
3D VIEWS - INTERIOR

Sheet No.
A-490
SKA Project Number: 21703



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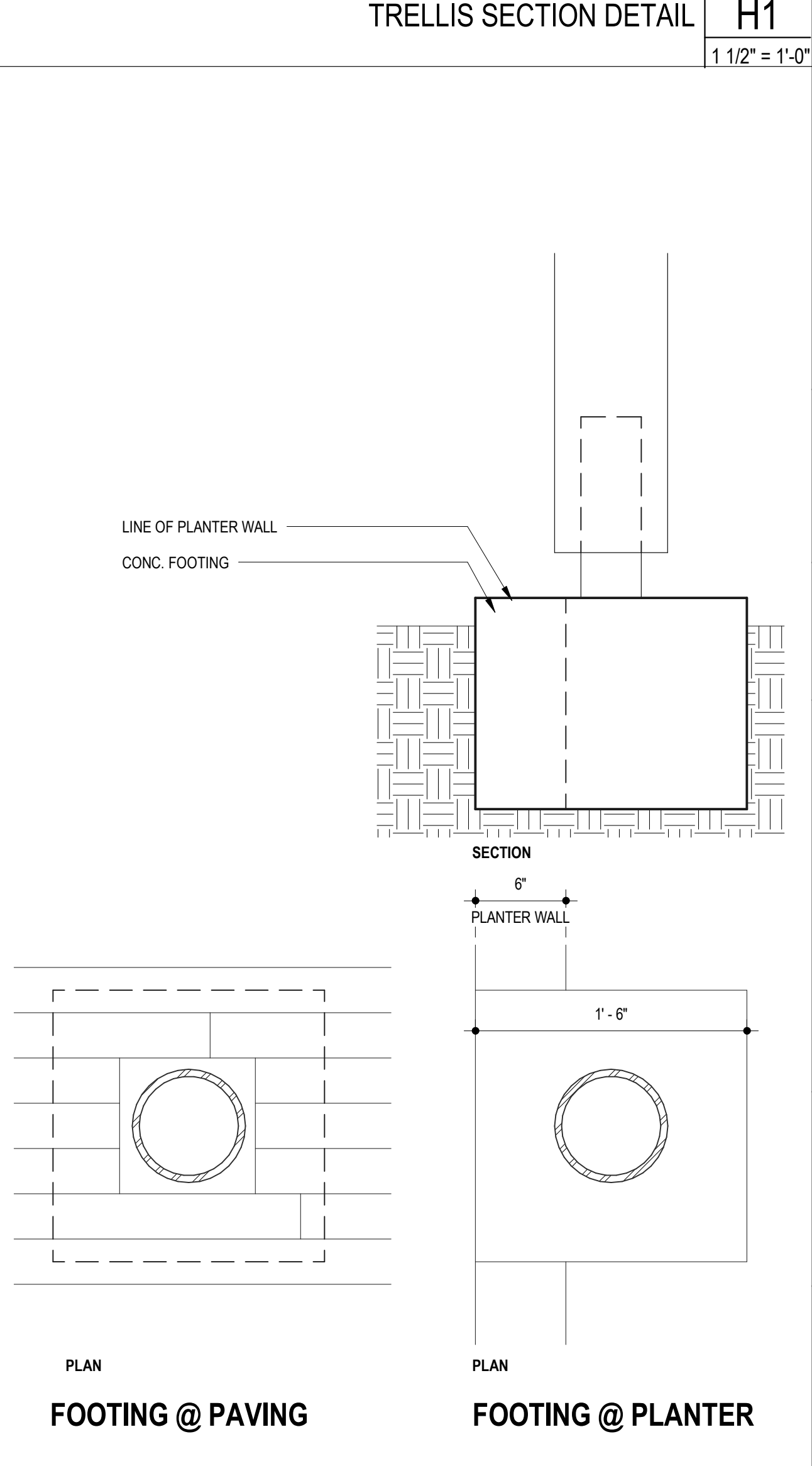
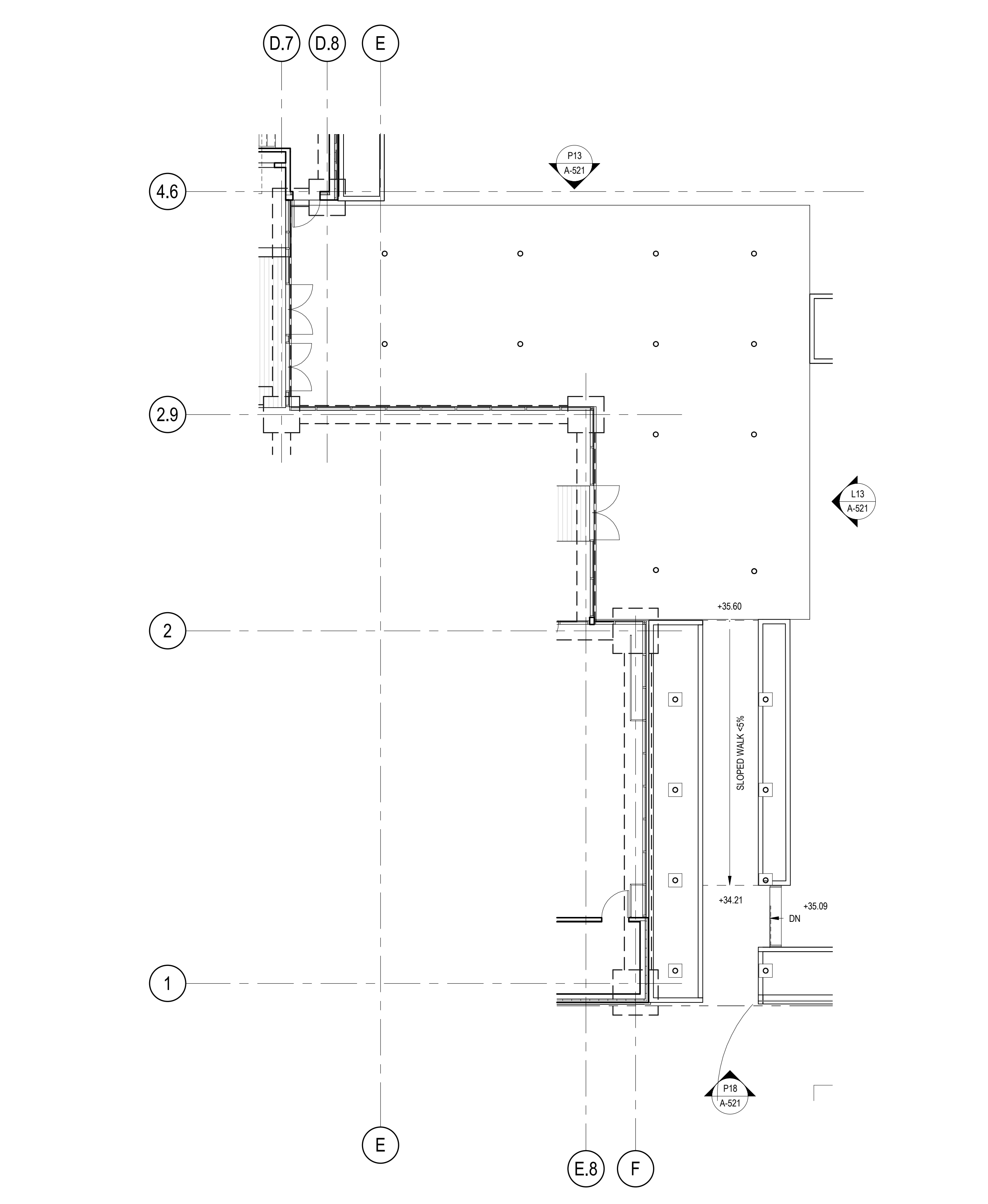
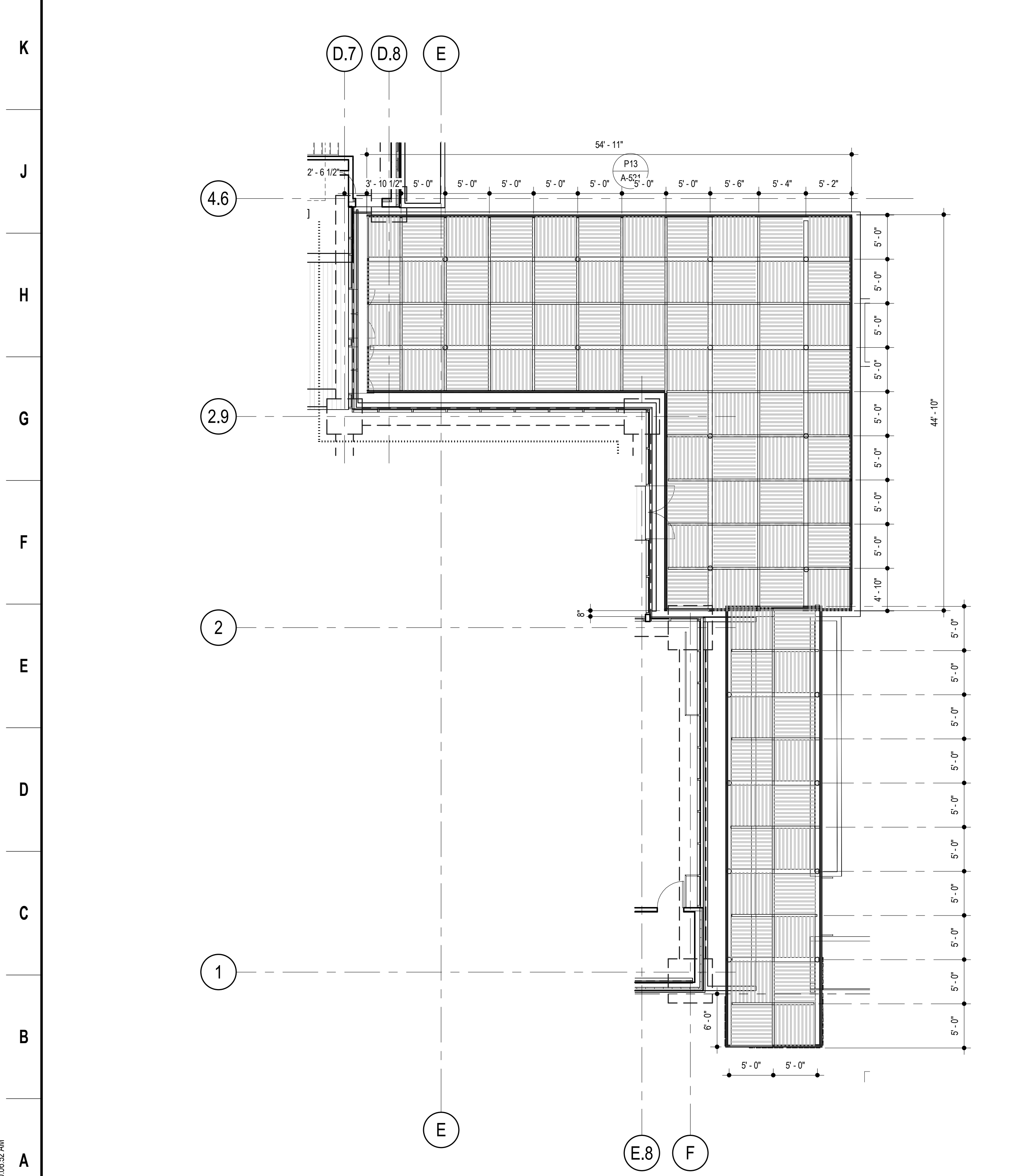
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TRELLIS LAYOUT AND DETAILS
Sheet No.
A-521

SKA Project Number: 21703



LINE OF PLANTER WALL
CONC. FOOTING

SECTION
6"
PLANTER WALL
1'-6"

PLAN
FOOTING @ PAVING

PLAN
FOOTING @ PLANTER

REFLECTED CEILING PLAN A13
RE: A4/A-122 1/8" = 1'-0"

PLAN - TRELLIS COLUMN A5
RE: A3/A-101 1/8" = 1'-0"

TRELLIS FOOTING DETAIL A1
1 1/2" = 1'-0"

10/04/2022 10:06:52 AM

ROOM NO.	ROOM NAME	FLOOR FINISH	WALL BASE	WALL FINISH	CEILING FINISH	REMARKS
	ROOF GARDEN					
100	LOBBY	CF-1, FG-1	RB-1	PT-1, TYP.	EXPOSED, ASC-1	
101	OFFICE	CF-1	RB-1	PT-1, TYP.	ACT-2	
102	IT	CF-1	RB-1	PT-1, TYP.	GWB-1	
103	HALLWAY	CF-1	RB-1	PT-1, TYP.	EXPOSED, ASC-1, GWB-1	
104	SHOWER	TF-1	TF-1	CT-1	GWB-1	
106	SHOWER	TF-1	TF-1	CT-1	GWB-1	
107	WOMENS	TF-1	TF-1	CT-1	GWB-1	
108	MENS	TF-1	TF-1	CT-1	GWB-1	
109	JAN	TF-1	TF-1	CT-1	EXPOSED	
110	WC	TF-1	TF-1	CT-1	GWB-1	
111	KITCHEN	CF-1	RB-1	PT-1, TYP.	GWB-1	
111A	PANTRY	CF-1	RB-1	PT-1, TYP.	GWB-1	
112	MULTIPURPOSE ROOM 1	CF-1	RB-1	PT-1, TYP.	ACT-2, GWB-1	
112A	STORAGE	CF-1	RB-1	PT-1, TYP.	ACT-1	
112B	WC	TF-1	TF-1	CT-1	GWB-1	
113	MULTIPURPOSE ROOM 2	TF-1	RB-1	PT-1, TYP.	ACT-2, GWB-1	
114	STAGE/MULTIPURPOSE ROOM 3	WD-2	RB-1	PT-1, TYP.	GWB-1	
114A	STORAGE	CF-1	RB-1	PT-1, TYP.	EXPOSED	
115	GYMNASIUM	WD-1	WD-1	PT-1, TYP.	EXPOSED	
116	HALLWAY	CF-1	RB-1	PT-1, TYP.	EXPOSED	
117	MECH/ELEC	CF-1	RB-1	PT-1, TYP.	EXPOSED	
117A	FIRE RISER	CF-1	RB-1			
118	STORAGE	CF-1	RB-1	PT-1, TYP.	EXPOSED	
119	STORAGE	CF-1	RB-1	PT-1, TYP.	EXPOSED	
120	WC	EF-1	EF-1	EW-1	GWB-1	
121	WC	EF-1	EF-1	EW-1	GWB-1	
200	LOBBY	CF-1	RB-1	PT-1, TYP.	GWB-1	
200A	ELEV. MACHINE ROOM	CF-1	RB-1	PT-1, TYP.	EXPOSED	
201	MULTIPURPOSE ROOM 5	TF-1	RB-1	GYP. BD.	ACT-2, GWB-1	
202	WASHROOM	TF-1	TF-1	CT-1	GWB-1	
202A	WC	TF-1	TF-1	CT-1	GWB-1	
202B	WC	TF-1	TF-1	CT-1	GWB-1	
202C	WC	TF-1	TF-1	CT-1	GWB-1	
203	MULTIPURPOSE ROOM 4	TF-1	RB-1	GYP. BD.	ACT-2, GWB-1	
203A	STORAGE	TF-1	RB-1	GYP. BD.	EXPOSED	
204	STORAGE	TF-1	RB-1	PT-1, TYP.	EXPOSED	
EL1	ELEVATOR	EF-1	STAINLESS STEEL	STAINLESS STEEL	EXPOSED	
EL1	ELEVATOR	EF-1	STAINLESS STEEL	STAINLESS STEEL	EXPOSED	
EX1	RECYCLING	MP-E2				
ST A	STAIR A	CF-2	RB-1	PT-1, TYP.	EXPOSED / GWB-1	
ST B	STAIR B	CF-2	RB-1	PT-1, TYP.	EXPOSED	
ST B	STAIR B	CF-2	RB-1	PT-1, TYP.	EXPOSED	

EXTERIOR FINISHES **INTERIOR FINISHES**

CW-E1	ALUMINIUM FRAME AND GLASS CURTAINWALL SYSTEM	ACT-1	ACOUSTICAL CEILING TILE SIZE: 2X2	MTL-1	STEEL ANGLE / BENT PLATE
CW-E2	ALUMINIUM FRAME AND GLASS CURTAINWALL SYSTEM	ACT-2	ACOUSTICAL CEILING TILE SIZE: 2X4	MTL-2	PAINTED STEEL PLATE
GL-E1	INSULATED GLASS UNIT, LAMINATED	ACT-3	ACOUSTICAL CEILING CLOUD	MTL-3	STAINLESS STEEL
GL-E2	INSULATED GLASS UNIT	AWP-1	ACOUSTIC FABRIC WRAPPED WALL PANEL	PL-1	PLASTIC LAMINATE
GFR	GLASS FIBER REINFORCED CONCRETE	AWP-2	ACOUSTIC FABRIC WRAPPED WALL PANEL (TACKABLE)	PT-1	LATEX ACRYLIC PAINT
MP-E1	PREFINISHED ALUMINIUM PLATE	AGP-1	ALUMINIUM GLAZED PARTITION	PT-2	LATEX ACRYLIC PAINT
MP-E2	FLUTED METAL SIDING	CT-1	CERAMIC TILE	RB-1	RUBBER BASE
SL-E1	SKYLIGHT	CT-2	CERAMIC TILE	SSM-1	SOLID SURFACE MATERIAL
SL-E2	SOLAR TUBE	CT-3	CERAMIC TILE	SSM-2	ACRYLIC SHEET
RFG-1	COLD FLUID-APPLIED ROOFING OVER CONCRETE DECK AND MIN. 6" RIGID INSULATION	CT-4	CERAMIC TILE	SSM-3	ACRYLIC SHEET
RFG-2	TPO SINGLE PLY MEMBRANE ROOF	CT-5	CERAMIC TILE	TF-1	TERRAZO FLOORING
PT-E1	PAINT - TRELLIS	CF-1	SEALED CONCRETE WITH POLISH	TP-1	TOILET PARTITIONS
PT-E2	PAINT - ASPHALT	CF-2	CONCRETE WITH EPOXY PAINT	WD-1	WOOD VENEER AT ENGINEERED WOOD
PT-E1	ANTI-GRAFFITI COATING	EF-1	EPOXY FLOORING SYSTEM	WD-1	SPRUNG WOOD FLOOR
RLG-E1	CUSTOM STEEL GUARDRAIL	EW-1	EPOXY WALL SYSTEM	WD-1	WOOD FLOOR
		FG-1	STAINLESS STEEL WALK-OFF MAT		
		GL-1	SAFETY GLASS, LAMINATED		
		MWB-1	MAGNETIC WHITEBOARD		
		MT-1	MOTORIZED WINDOW SHADES		

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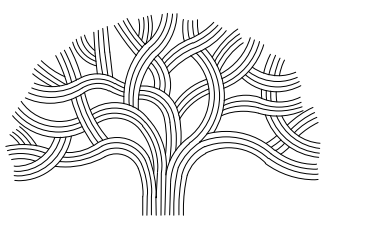
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	10/04/2022	DRC REVIEW

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Stamp Sheet Name
FINISH SCHEDULE

Sheet No.
A-601

SKA Project Number: 21703



CITY OF OAKLAND

BUREAU OF ENGINEERING AND CONSTRUCTION

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OAKLAND, CA 94612
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PLANS FOR THE CONSTRUCTION OF

Lincoln Square Recreation Center

250 10th Street, Oakland, CA 94607

FINISH LEGEND:

FLOOR:
CF = SEALED CONCRETE
FG = FLOOR GRATE
TF = TERRAZZO
WD = WOOD FLOOR

BASE:
RB = RUBBER BASE

WALL:
AGP = ALUMINIUM GLASS PARTITION
CR = CORK
CT = CERAMIC TILE
GL = SAFETY GLASS
GYP. BD. = GYPSIUM BOARD, PAINTED
MP = METAL PANELS
MWB = MAGNETIC WHITEBOARD
MTL = METAL
PL = PLASTIC LAMINATE
PT = PAINT
STN = STAIN

CEILING:
ACT = ACOUSTIC TILE
GYP. BD. = GYPSUM BOARD, PAINTED
EX = EXPOSED STRUCTURE, PAINTED

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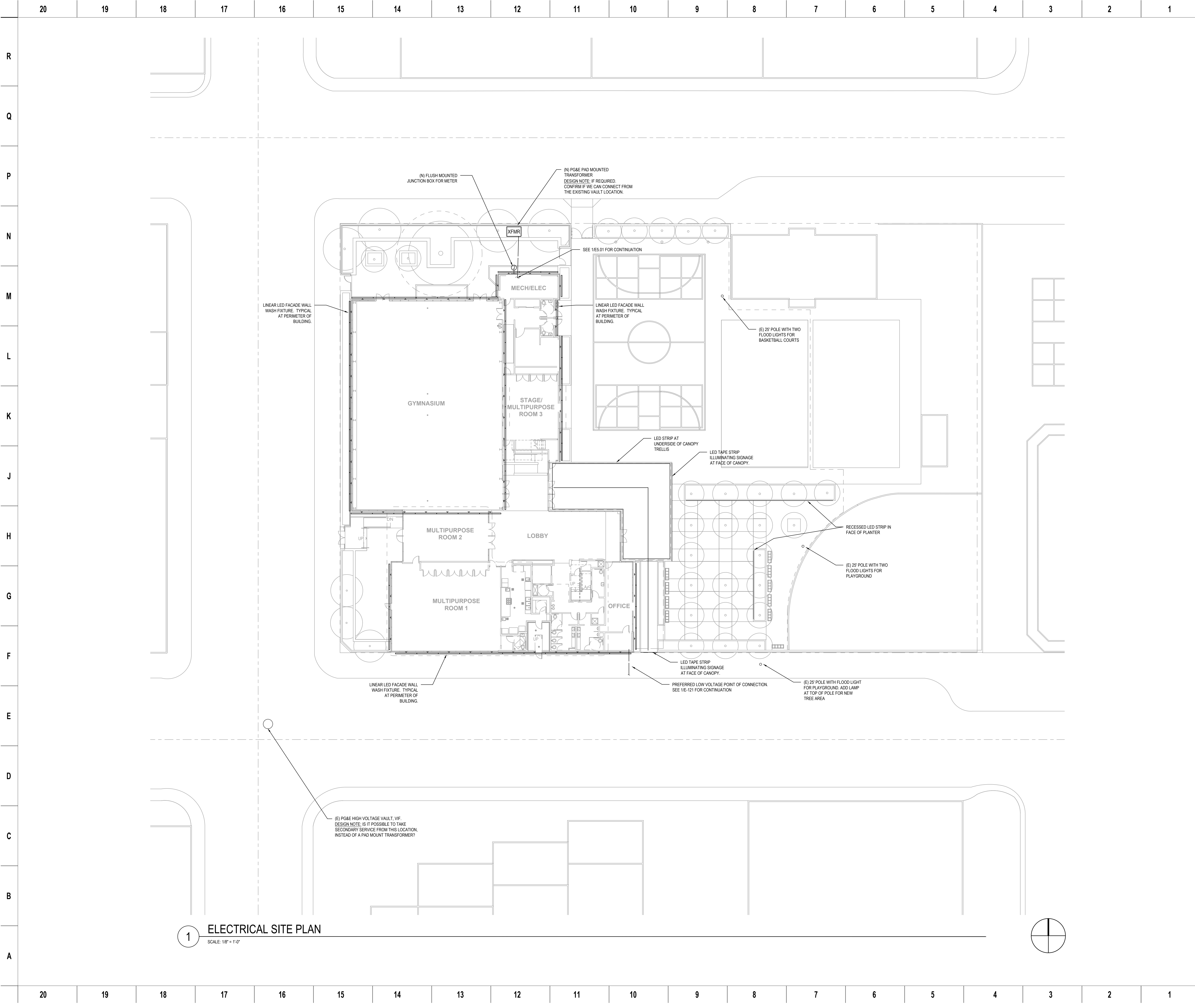
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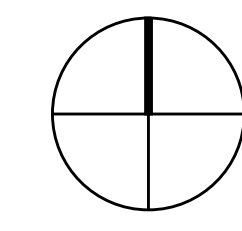
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FINISH SCHEDULE

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A-601

SKA Project Number: 21703



1 ELECTRICAL SITE PLAN
SCALE: 1/8" = 1'-0"



PLANS FOR THE CONSTRUCTION OF

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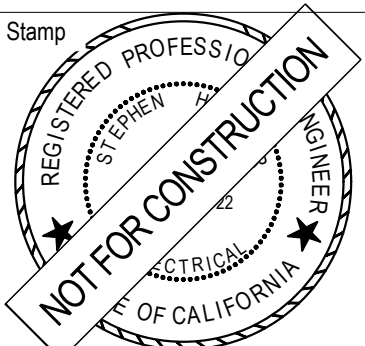
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Architect SHAH KAWASAKI ARCHITECTS 570 10th Street, Suite 201 Oakland, CA 94607	Consultants  <small>REGULATORY STREET LIGHTS AND SIGNAGE CONSULTANTS 2525 24th STREET, SUITE 200 SAN FRANCISCO, CA 94115 REGULATORY LANDSCAPE LIGHTING CONSULTANTS 1450 UNIVERSITY AVENUE, SUITE 100 PACIFIC PALISADES, CA 94963 415-854-8400</small>
Stamp  REGISTERED PROFESSIONAL ENGINEER NOT FOR CONSTRUCTION STATE OF CALIFORNIA	Sheet Name ELECTRICAL SITE PLAN Sheet No. E-101

ROOF MOUNTED OUTDOOR AIR TEMPERING UNIT. TABLE WITH 12 COLUMNS: SYMBOL, MANUFACTURER /MODEL, AREA SERVED, MIN OSA (CFM), COOLING (TONS), REFRIG. TYPE, SEER, HEATING (MBH), CFM, ESP, HP, VOLTS, PH, MCA, MOCP, WEIGHT (LBS), NOTES.

MAKE-UP AIR UNIT. TABLE WITH 10 COLUMNS: SYMBOL, MANUFACTURER /MODEL, AREA SERVED, CFM, ESP, HP, VOLT, PHASE, MOCP, DRIVE, WEIGHT (LBS), NOTES.

EXHAUST FAN. TABLE WITH 15 COLUMNS: SYMBOL, MANUFACTURER /MODEL, CONFIG, SERVING, FAN (CFM, ESP, HP/WATTS), ELECTRICAL (VOLT, PHASE, FLA, MOCP, DRIVE), WEIGHT (LBS), CONTROL, NOISE (SONES), NOTES.

VARIABLE REFRIGERANT FLOW FAN COIL UNIT. TABLE WITH 14 COLUMNS: SYMBOL, MANUFACTURER /MODEL, OUTDOOR UNIT, AREA SERVED, FAN COIL STYLE, CAPACITY (COOL, HEAT), SUPPLY FAN (CFM, ESP), ELECTRICAL (VOLTS, PHASE, MCA, MOCP), MIN ACCESS PANEL, WEIGHT (LBS), NOTES.

VARIABLE REFRIGERANT FLOW CONDENSING UNIT. TABLE WITH 12 COLUMNS: SYMBOL, MANUFACTURER /MODEL, FAN COIL UNIT CONNECTED, REFRIG. TYPE, OSA TEMP (F), COOLING (TOTAL, SEER), HEAT (TOTAL), ELECTRICAL (VOLTS, PHASE, MCA, MOCP), WEIGHT (LBS), NOTES.

VARIABLE REFRIGERANT FLOW BRANCH SELECTOR UNIT (BUILDING "1"). TABLE WITH 10 COLUMNS: SYMBOL, MANUFACTURER /MODEL, OUTDOOR UNIT, NO. OF BRANCHES, POWER INPUT (COOL, HEAT), ELECTRICAL (VOLTS, PHASE, MCA, MOCP), WEIGHT (LBS), NOTES.

SPLIT SYSTEM AIR CONDITIONER. TABLE WITH 13 COLUMNS: SYMBOL, MANUFACTURER /MODEL, AREA SERVED, COOLING (TOTAL, SEER, AIR FLOW), SUPPLY FAN (ESP, WATTS), ELECTRICAL (VOLTS, PHASE, MCA, MOCP), WEIGHT (LBS), NOTES.

ENERGY RECOVERY VENTILATION UNIT. TABLE WITH 11 COLUMNS: SYMBOL, MANUFACTURER /MODEL, AREA SERVED, FAN (CFM, ESP, WATTS), ELECTRICAL (VOLT, PHASE, FLA, MOCP, DRIVE), WEIGHT (LBS), NOTES.

DIFFUSER, GRILLE AND REGISTER SCHEDULE. TABLE WITH 8 COLUMNS: SYMBOL, MANUFACTURER /MODEL, AREA SERVED, FACE SIZE, TYPE, MOUNTING, DESCRIPTION, NOTES.



PLANS FOR THE CONSTRUCTION OF

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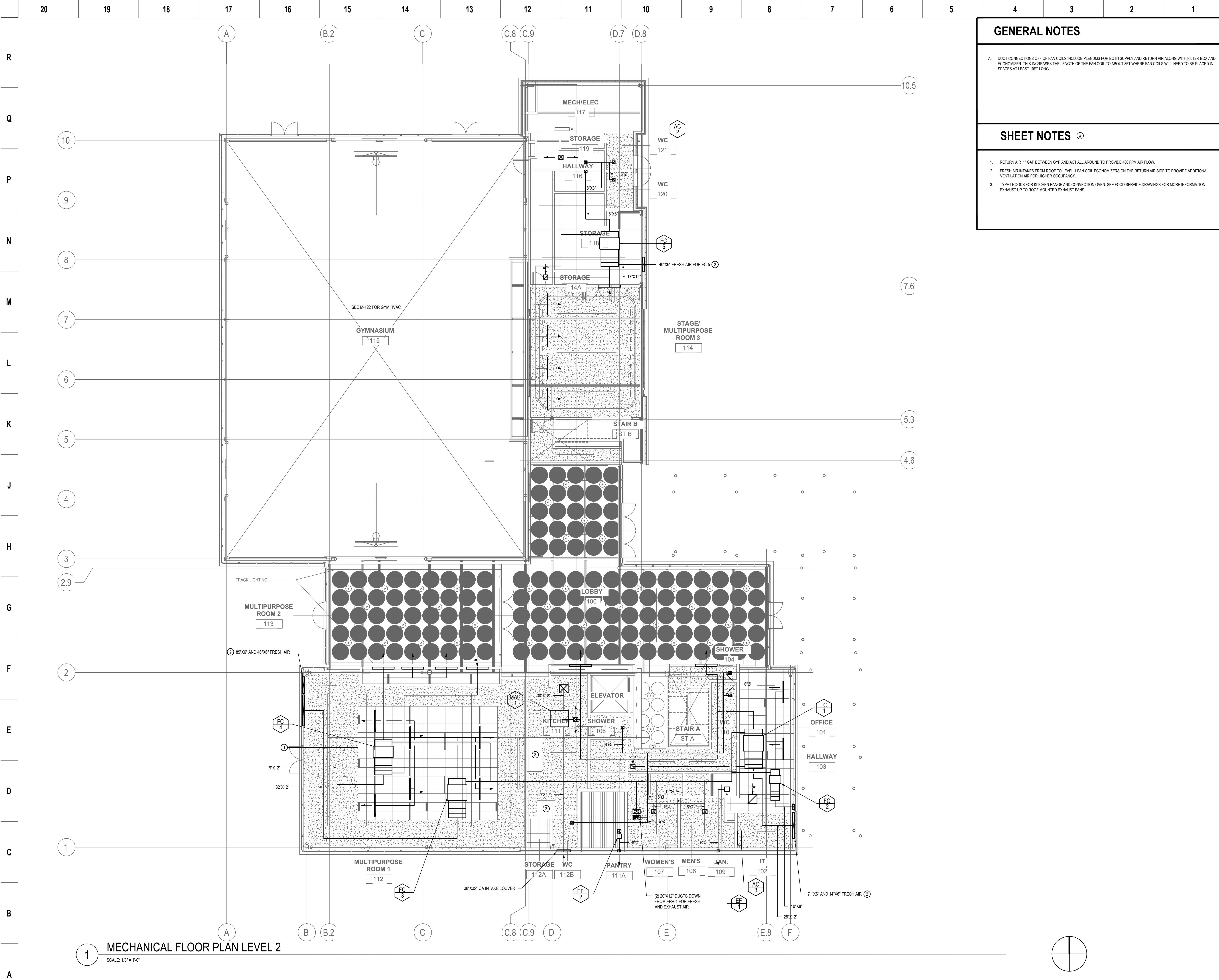
Revision table with columns: NO., DATE, ISSUE DESCRIPTION.

Architect: SHAH KAWASAKI ARCHITECTS, 570 10th Street, Suite 201, Oakland, CA 94607.

Consultants: EDesignC Incorporated, 1250 SHAW BLVD, SUITE 100, OAKLAND, CA 94612.

Stamp: REGISTERED PROFESSIONAL ARCHITECT, NOT FOR CONSTRUCTION, 2023, SHAH KAWASAKI ARCHITECTS.

Sheet Name: MECHANICAL SCHEDULE SHEET, Sheet No. M-001.



GENERAL NOTES

A. DUCT CONNECTIONS OFF OF FAN COILS INCLUDE PLENUMS FOR BOTH SUPPLY AND RETURN AIR ALONG WITH FILTER BOX AND ECONOMIZER. THIS INCREASES THE LENGTH OF THE FAN COIL TO ABOUT 8FT WHERE FAN COILS WILL NEED TO BE PLACED IN SPACES AT LEAST 10FT LONG.

SHEET NOTES

1. RETURN AIR 1" GAP BETWEEN GYP AND ACT ALL AROUND TO PROVIDE 400 FPM AIR FLOW.
2. FRESH AIR INTAKES FROM ROOF TO LEVEL 1 FAN COIL ECONOMIZERS ON THE RETURN AIR SIDE TO PROVIDE ADDITIONAL VENTILATION AIR FOR HIGHER OCCUPANCY.
3. TYPE-I HOODS FOR KITCHEN RANGE AND CONVECTION OVEN. SEE FOOD SERVICE DRAWINGS FOR MORE INFORMATION. EXHAUST UP TO ROOF MOUNTED EXHAUST FANS.



PLANS FOR THE CONSTRUCTION OF

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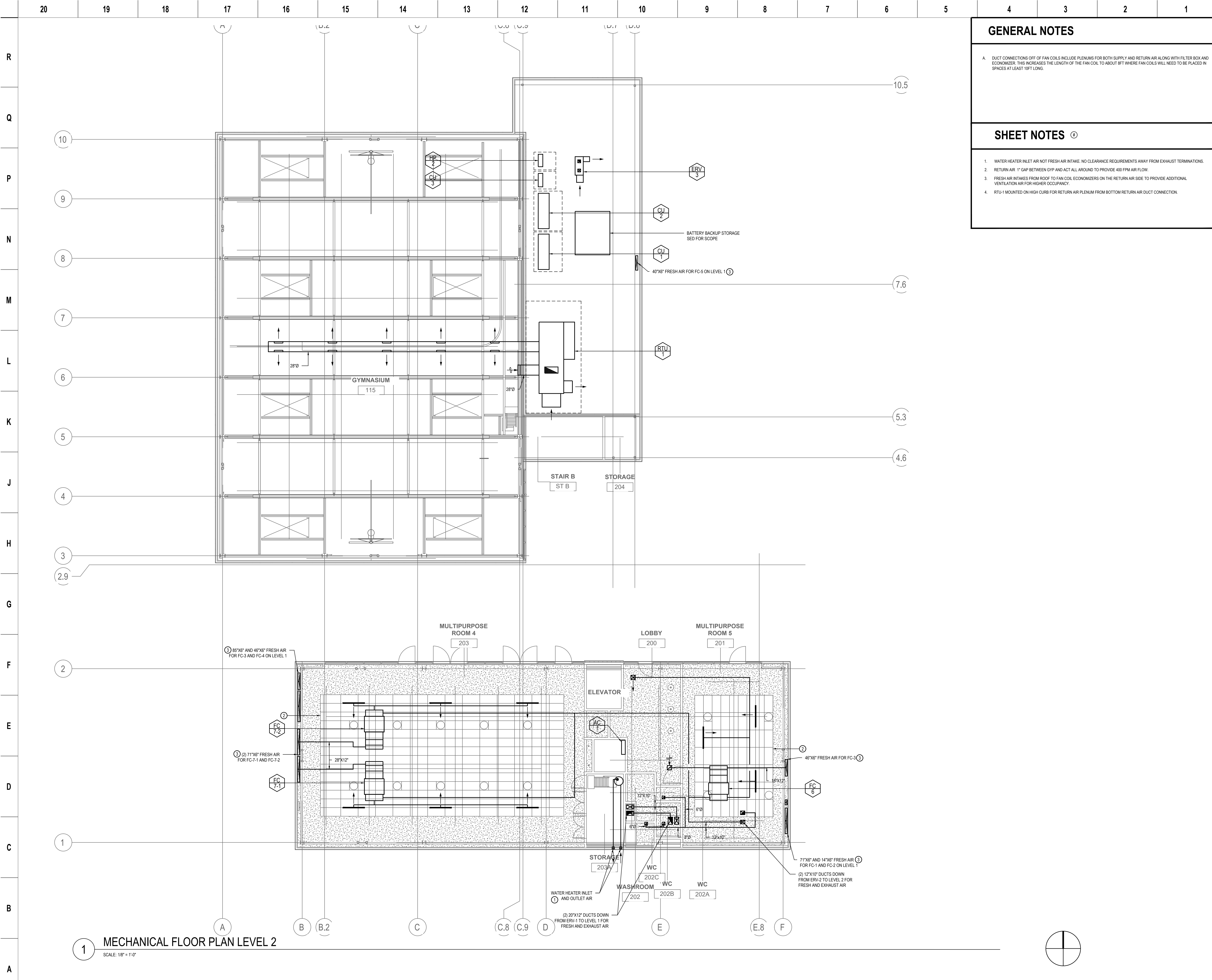
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Sheet Name: **MECHANICAL FLOOR PLAN LEVEL 1**

Sheet No.: **M-121**

1 MECHANICAL FLOOR PLAN LEVEL 2
 SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION



GENERAL NOTES

A. DUCT CONNECTIONS OFF OF FAN COILS INCLUDE PLENUMS FOR BOTH SUPPLY AND RETURN AIR ALONG WITH FILTER BOX AND ECONOMIZER. THIS INCREASES THE LENGTH OF THE FAN COIL TO ABOUT 8FT WHERE FAN COILS WILL NEED TO BE PLACED IN SPACES AT LEAST 16FT LONG.

SHEET NOTES

1. WATER HEATER INLET AIR NOT FRESH AIR INTAKE. NO CLEARANCE REQUIREMENTS AWAY FROM EXHAUST TERMINATIONS.
2. RETURN AIR 1" GAP BETWEEN GYP AND ACT ALL AROUND TO PROVIDE 400 FPM AIR FLOW.
3. FRESH AIR INTAKES FROM ROOF TO FAN COIL ECONOMIZERS ON THE RETURN AIR SIDE TO PROVIDE ADDITIONAL VENTILATION AIR FOR HIGHER OCCUPANCY.
4. RTU-1 MOUNTED ON HIGH CURB FOR RETURN AIR PLENUM FROM BOTTOM RETURN AIR DUCT CONNECTION.



PLANS FOR THE CONSTRUCTION OF

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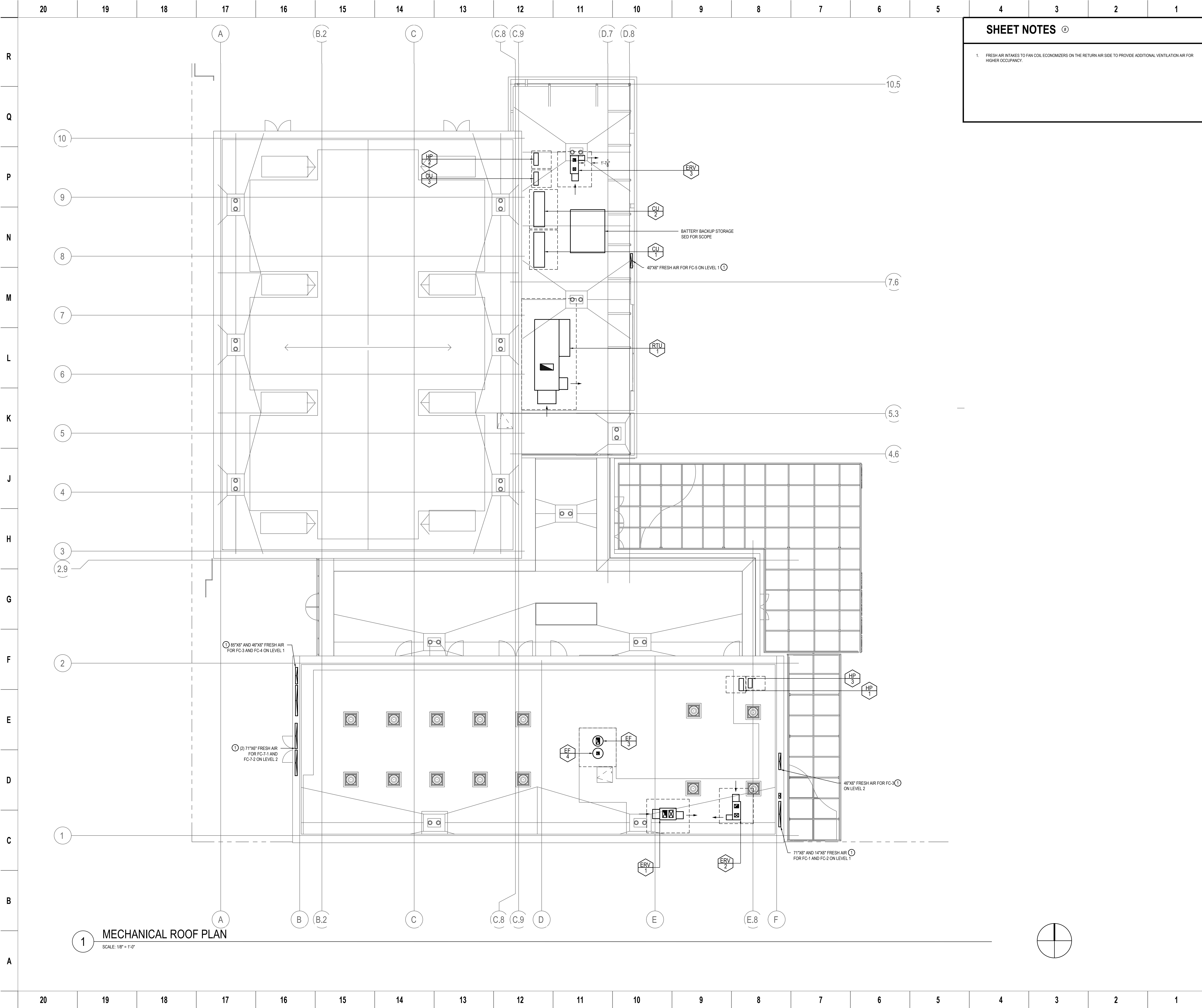
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<p>Stamp</p> <p>REGISTERED PROFESSIONAL ARCHITECT</p> <p>NOT FOR CONSTRUCTION</p>	<p>Sheet Name</p> <p>MECHANICAL FLOOR PLAN LEVEL 2</p> <p>Sheet No.</p> <p>M-122</p>

1 MECHANICAL FLOOR PLAN LEVEL 2
 SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION



SHEET NOTES

- FRESH AIR INTAKES TO FAN COIL ECONOMIZERS ON THE RETURN AIR SIDE TO PROVIDE ADDITIONAL VENTILATION AIR FOR HIGHER OCCUPANCY.



PLANS FOR THE CONSTRUCTION OF

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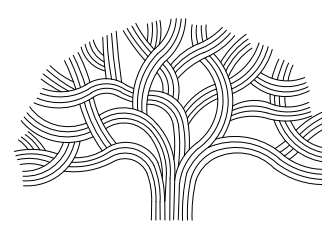
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 2023
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Sheet Name
MECHANICAL ROOF PLAN

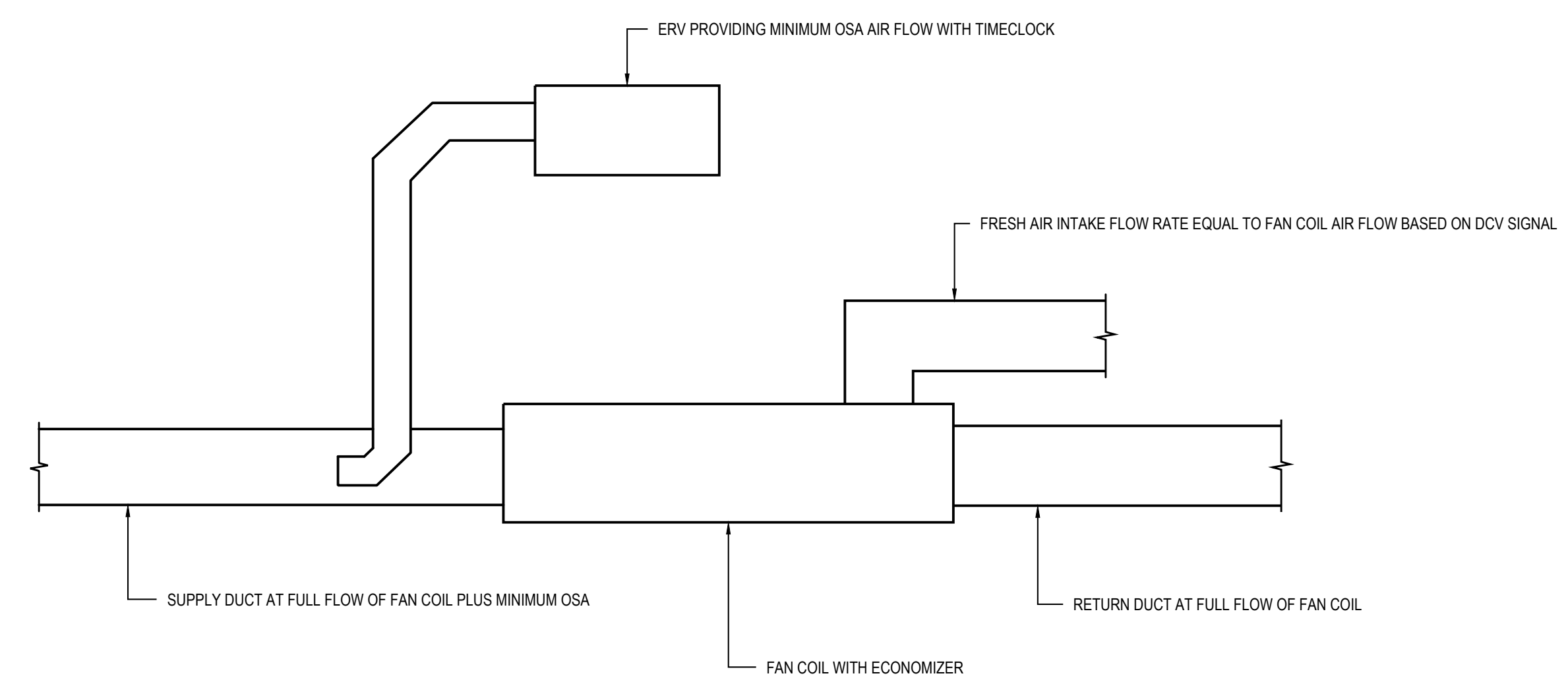
Sheet No.
M-123

1 MECHANICAL ROOF PLAN
 SCALE: 1/8" = 1'-0"

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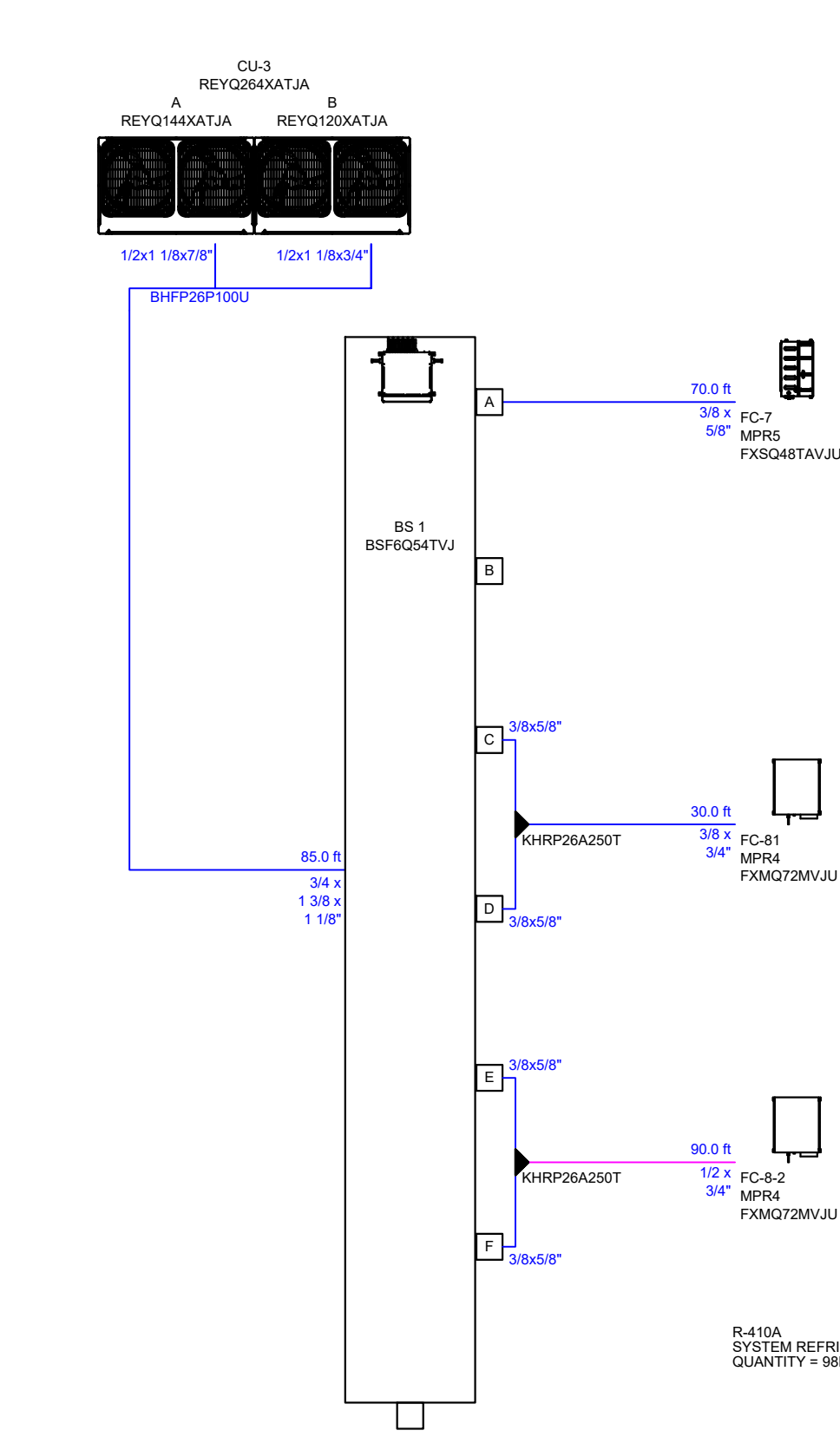


PLANS FOR THE CONSTRUCTION OF

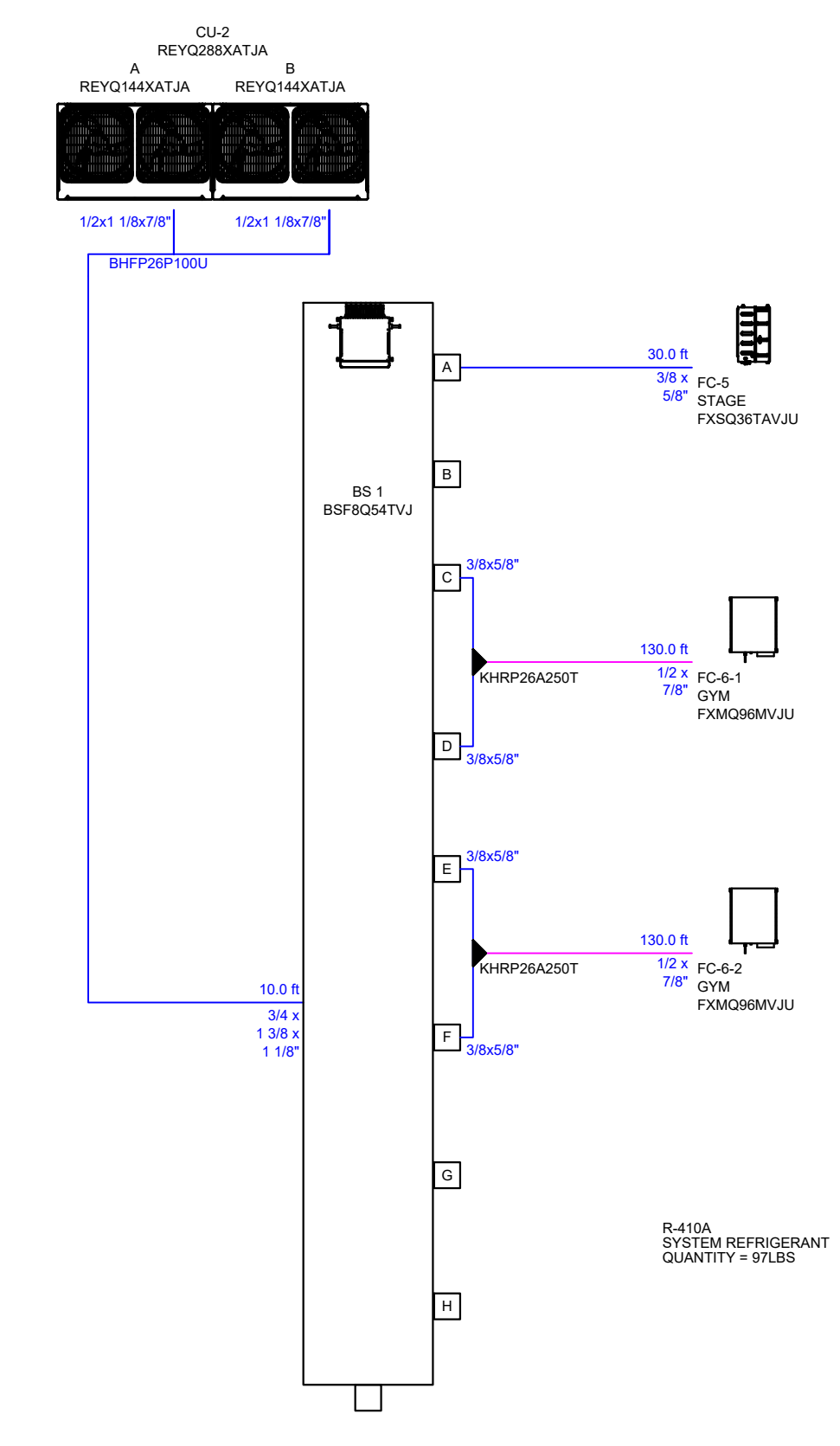


NOTE: MANUFACTURER SUPPLIED WALL THERMOSTAT CONTROLLER PER ZONE. CENTRAL CONTROL PANEL FOR OVERSIGHT IN OFFICE. ECONOMIZER CONTROLLED BASED ON ROOM CO2 SENSOR.

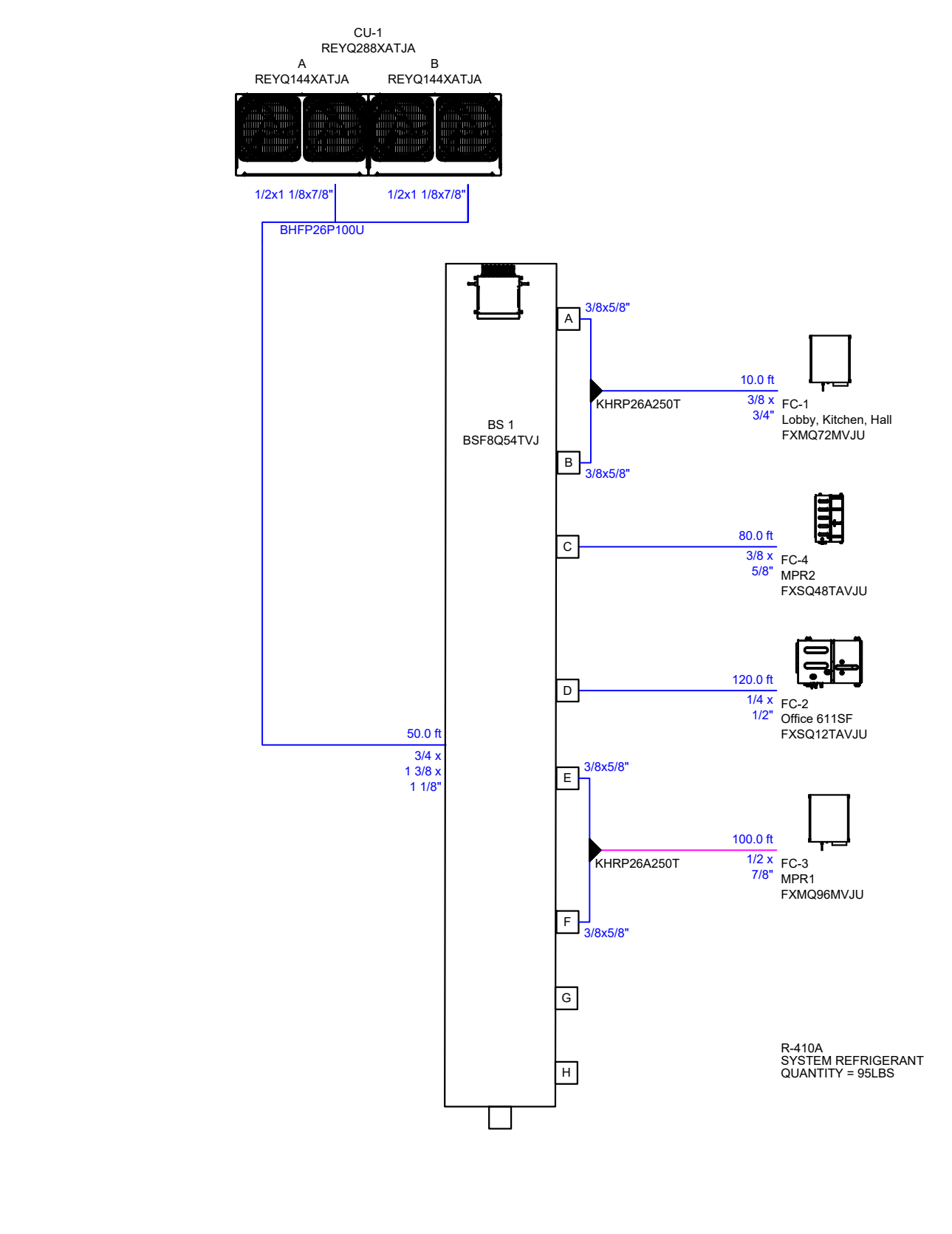
4 TYPICAL FAN COIL DUCT LAYOUT
 SCALE: NONE



3 CU-1 VRV SYSTEM DIAGRAM
 NO SCALE



2 CU-2 VRV SYSTEM DIAGRAM
 NO SCALE



1 CU-1 VRV SYSTEM DIAGRAM
 NO SCALE

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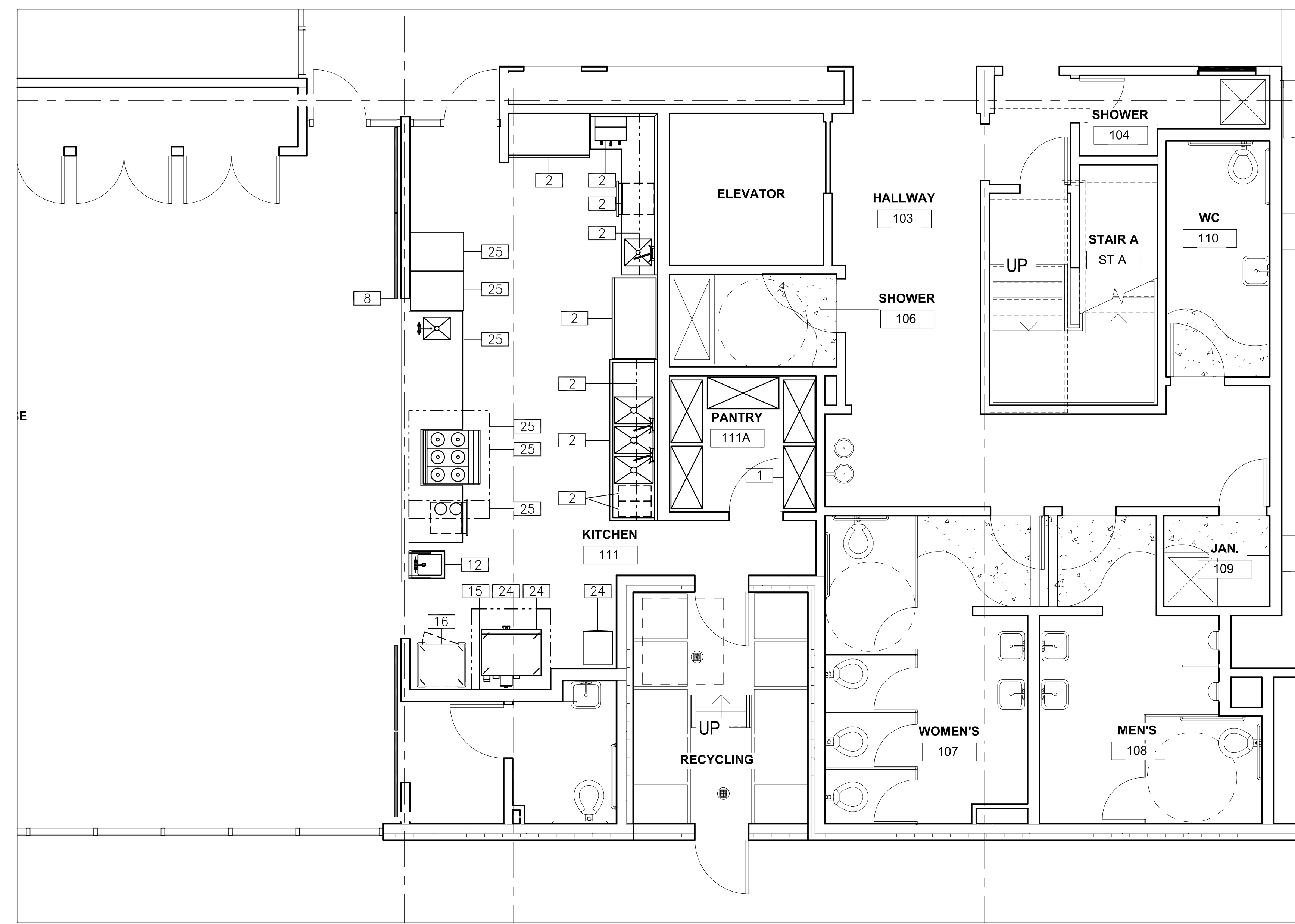
Consultants
EDesignC Incorporated
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 SAN FRANCISCO, CA 94104
 312 FISH STREET SUITE 800
 OAKLAND, CA 94607
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Sheet Name
VRV SYSTEM DIAGRAMS

Sheet No.
M-701

R
Q
P
N
M
L
K
J
H
G
F
E
D
C
B
A



- NOTES:
- HEALTH DEPARTMENT REQUIREMENTS:
- ALL EQUIPMENT, MANUFACTURED OR CUSTOM FABRICATED, TO HAVE NSF, ETL SANITATION OR UL SANITATION APPROVALS.
 - INSTALLATION TO MEET CALIFORNIA RETAIL FOOD CODE (CRFC) LATEST EDITION.
 - ALL EXPOSED PLUMBING AND GAS LINES MUST BE MOUNTED OR ENCLOSED SO AS TO FACILITATE CLEANING. AN EFFORT SHOULD BE MADE TO ENCLOSE ALL PLUMBING LINES WITHIN WALLS UNLESS OTHERWISE APPROVED.
 - ALL EQUIPMENT WHICH GENERATES CONDENSATE AND LIQUID WASTES FROM STEAM TABLES, ICE MACHINES AND BINS, UTENSIL WASH SINKS, FOOD PREPARATION SINKS, DISPLAY CASES, ETC. SHALL BE DRAINED BY MEANS OF INDIRECT WASTE PIPES INTO FLOOR SINK OR OTHER APPROVED INDIRECT WASTE RECEPTOR. FLOOR DRAINS ARE NOT TO BE USED IN LIEU OF FLOOR SINKS. ALL WASTE LINES MUST BE HARD PIPED FROM POINT OF CONNECTIONS.
 - ALL FLOOR SINKS SHALL BE AT LEAST HALF EXPOSED OR OTHERWISE READILY ACCESSIBLE FOR INSPECTION AND CLEANING. FLOOR SINK SHOULD NOT POSE A TRIPPING HAZARD (MOUNT ALL FLOOR SINKS FLUSH WITH FLOOR)
 - ALL EXPOSED ELECTRICAL LINES SHALL BE ENCLOSED WITHIN SMOOTH, RIGID CONDUIT AND BE MOUNTED OR ENCLOSED SO AS TO FACILITATE CLEANING. FLEX CONDUIT IS ONLY PERMITTED IF ENCLOSED WITHIN WALLS.
 - SUFFICIENT NATURAL OR ARTIFICIAL LIGHTING REQUIRED: FIFTY (50) FOOT-CANDLES IN FOOD PREPARATION, UTENSIL WASH AREA, BARS, STORAGE AREAS AND RESTROOMS.
 - SHATTER PROOF SHIELDS ON LIGHTS REQUIRED ABOVE FOOD PREPARATION, OPEN FOOD STORAGE, UTENSIL-CLEANING AREAS AND HOODS.
 - AN APPROVED FLOORING MATERIAL. FOUR INCH (MINIMUM) HIGH CONTINUOUSLY COVED BASE. (3/8" MIN. COVE AT WALL/FLOOR/EQUIPMENT JUNCTURE).

EQUIPMENT SCHEDULE					
ITEM	QTY	DESCRIPTION	MANUFACTURER	MODEL NUMBER	NOTES
1	5	SHELVING	METRO	BR SERIES (5-TIER 74)	
2	1	ADA HAND SINK W/ SOAP & TOWEL	EAGLE GROUP	HSAF-14-ADA-FW	
3	1	REACH IN REFRIG (EXISTING)	CONTINENTAL (EXISTING)	2R (NOT IN FSEC CONTRACT)	NIC
4	1	COFFEE BREWER	FETCO	CBS-52H-15	
5	1	WORK TABLE WITH SINK	CUSTOM FABRICATED	SEE ELEVATION DETAILS	
6	1	WALL CABINET	CUSTOM FABRICATED	SEE ELEVATION DETAILS	
7	1	REACH IN REFRIG (EXISTING)	TRUE (EXISTING)	T-49-HC (NOT IN FSEC CONTRACT)	NIC
8	1	WALL SHELF W/ UTENSIL RACK	ADVANCE TABCO	DT-6R-108	
9	1	POT SINK	CUSTOM FABRICATED	SEE ELEVATIONS/DETAILS	
10		NOT USED			
11		NOT USED			
12	LOT	TRASH CONTAINER	PROVIDED BY OWNER	NOT IN FSEC CONTRACT	NIC
13	1	REACH IN FREEZER (EXISTING)	CONTINENTAL (EXISTING)	1FN (NOT IN FSEC CONTRACT)	NIC
14	1	1-DR REACH IN FREEZER	CONTINENTAL	1FNSA	
15	1	SERVING COUNTER WITH SINK	CUSTOM FABRICATED	SEE ELEVATIONS/DETAILS	
16	1	ROLL UP SERVICE WINDOW	SPECIFIED BY ARCHITECT	NOT IN FSEC CONTRACT	NIC
17	1	EXHAUST HOOD (TYPE-I)	STREVIOR AIR SYSTEMS	ICBD 60 63 24	
18	1	ELECTRIC RANGE/OVEN	IMPERIAL	IHR-6-E	
19	1	FIRE SUPPRESSION SYSTEM	STREVIOR AIR SYSTEMS	PYRO-CHEM KITCHEN KNIGHT II	
20		NOT USED			
21		NOT USED			
22	1	ICE MACHINE	MANITOWOC	UDE0080A	
23	1	EXHAUST HOOD (TYPE-I)	STREVIOR AIR SYSTEMS	WCBD 49 54 24	
24	1	2-DECK CONVECTION OVEN	IMPERIAL	ICVE-2	
25	1	STAINLESS STEEL WALL FLASHING	CUSTOM FABRICATED	SEE ELEVATION DETAILS	
26	1	HOT HOLDING CABINET	VULCAN	VBF15	
27	1	TYPE K FIRE EXTINGUISHER	BUCKEYE	WC-6L	
28		NOT USED			
29		NOT USED			
30		NOT USED			

ABBREVIATIONS:
 FSEC FOODSERVICE EQUIPMENT CONTRACTOR
 S/S STAINLESS STEEL
 U/C UNDER COUNTER
 S&T SOAP AND TOWEL
 NIC NOT IN CONTRACT

SCHEDULE / DRAWING NOTES:



PLANS FOR THE CONSTRUCTION OF

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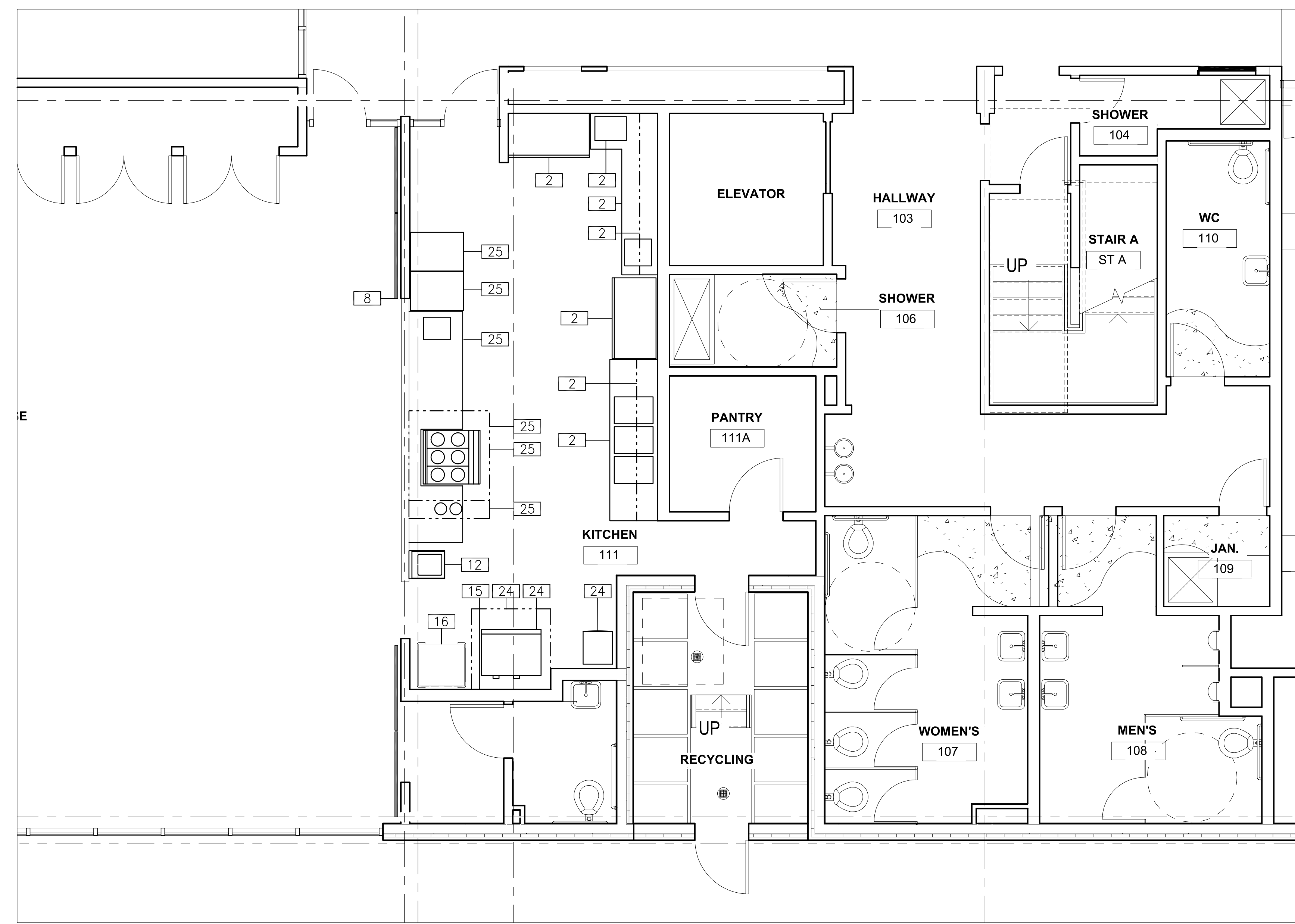
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Architect SHAH KAWASAKI ARCHITECTS 570 15th Street, Suite 201 Oakland, CA 94607	Consultants <i>The Marshall-Silverman, Inc.</i> Foodservice & Specialty Consultants/Designers 3000 Grand Ave., Suite 1000 1700 14th Street, Suite 205 415/877-1200 Fax 415/877-1210
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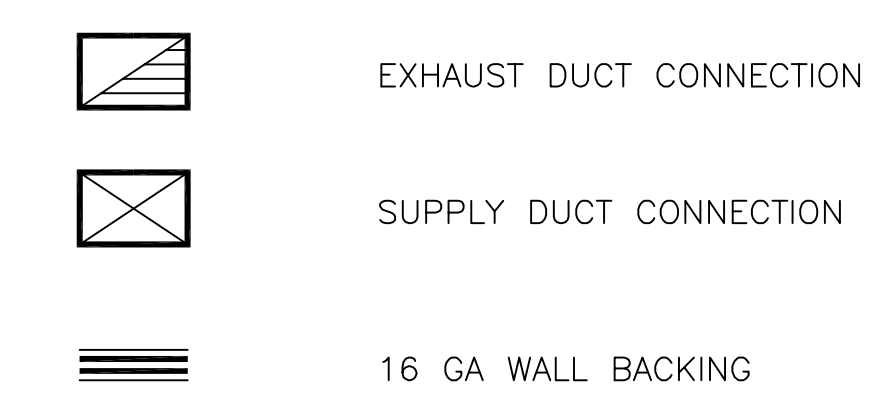
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	Sheet No. FS1.11

FOODSERVICE FLOOR PLAN
 SCALE: 1/4" = 1'-0"

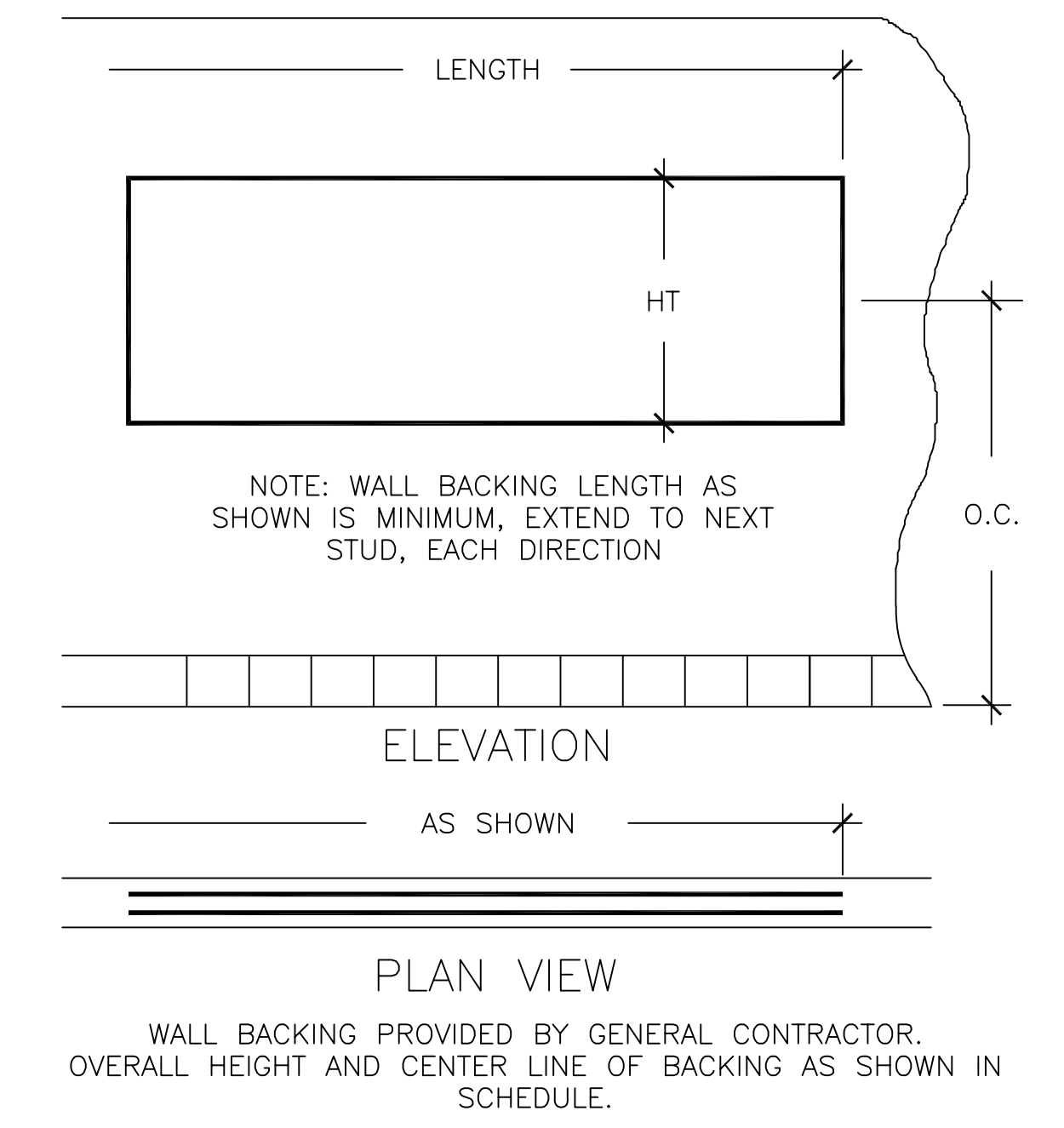


- NOTES:
- GENERAL CONTRACTOR TO PROVIDE:
- A. WORK AS DESCRIBED IN CONTRACT DOCUMENTS AND SUPPLEMENTAL REQUIREMENTS PER FOODSERVICE EQUIPMENT SECTION.
 - B. WALLS, FLOORS AND CEILINGS IN FOODSERVICE AND WASHING AREAS OR ANY OTHER LOCATION WHERE FOOD OR BEVERAGES ARE PREPARED, SHALL BE SMOOTH, EASILY CLEANABLE, NON-ABSORBENT AND DURABLE. WALLS AND CEILINGS SHALL BE "LIGHT-IN COLOR".
 - C. OPENINGS/ACCESS FOR ALL FOODSERVICE EQUIPMENT.
 - D. WALL BACKING FOR WALL MOUNTED FOODSERVICE EQUIPMENT, SEE DETAIL, THIS SHEET.
 - E. COVED FINISHED FLOOR MATERIALS AT ALL VERTICAL SURFACES. (3/8" MINIMUM)
 - F. FIRE RATED MATERIALS AND OR INSULATION AS REQUIRED FOR EXHAUST DUCTS, VENT STACKS, HEAT PRODUCING EQUIPMENT, ROOF/WALL PENETRATIONS PER LOCAL CODES.
 - G. SEE EQUIPMENT PLAN FOR ADDITIONAL HEALTH DEPARTMENT NOTES/REQUIREMENTS.
- MECHANICAL CONTRACTOR TO PROVIDE:
- H. WORK AS DESCRIBED IN CONTRACT DOCUMENTS AND SUPPLEMENTAL REQUIREMENTS PER FOODSERVICE EQUIPMENT SECTION.
 - I. EXHAUST SYSTEMS AND CONTROLS.
 - J. VFD'S AT FAN PACKAGE IF DCKY CONTROLS ARE PART OF FOODSERVICE EQUIPMENT SCOPE.
 - K. FINAL DUCT CONNECTIONS TO EXHAUST HOODS.
 - L. MAKE-UP AIR DIFFUSERS: DO NOT PLACE ANY DIFFUSERS WITHIN 10'-0" OF EXHAUST HOODS AND DO NOT HAVE ANY MAKE-UP AIR DIRECTED TOWARD EXHAUST HOODS.

SYMBOLS:



WALL BACKING DETAIL



VENTILATION / BUILDING CONDITIONS / AIR												
ITEM	QTY	DESCRIPTION	VENTILATION EXHAUST			VENTILATION SUPPLY			WALL BACKING		COMPRESSED AIR	
			SIZE	CFM	WGSP	SIZE	CFM	WGSP	HT	OC	SUP	CFM
1	5	SHELVING										
2	1	ADA HAND SINK W/ SOAP & TOWEL							12"	38"		
3	1	REACH IN REFRIG (EXISTING)										
4	1	COFFEE BREWER										
5	1	WORK TABLE WITH SINK										
6	1	WALL CABINET							30"	73"		
7	1	REACH IN REFRIG (EXISTING)										
8	1	WALL SHELF W/ UTENSIL RACK							12"	69"		
9	1	POT SINK							6"	48"		
10		NOT USED										
11		NOT USED										
12	LOT	TRASH CONTAINER										
13	1	REACH IN FREEZER (EXISTING)										
14	1	1-DR REACH IN FREEZER										
15	1	SERVING COUNTER WITH SINK										
16	1	ROLL UP SERVICE WINDOW										
17	1	EXHAUST HOOD (TYPE-I)	18"x10"	1750	.70							
18	1	ELECTRIC RANGE/OVEN										
19	1	FIRE SUPPRESSION SYSTEM										
20		NOT USED										
21		NOT USED										
22	1	ICE MACHINE										
23	1	EXHAUST HOOD (TYPE-I)	8"x8"	673	.55							
24	1	2-DECK CONVECTION OVEN										
25	1	STAINLESS STEEL WALL FLASHING										
26	1	HOT HOLDING CABINET										
27	1	TYPE K FIRE EXTINGUISHER										
28		NOT USED										
29		NOT USED										
30		NOT USED										

ABBREVIATIONS:
 CFM CUBIC FEET/MINUTE
 WGSP WATER GAUGE STATIC PRESSURE
 HT HEIGHT
 OC ON CENTER
 FA FROM ABOVE

SCHEDULE / DRAWING NOTES:
 CONNECTED LOAD = EACH CONNECTION AS SHOWN ON DRAWING



PLANS FOR THE CONSTRUCTION OF

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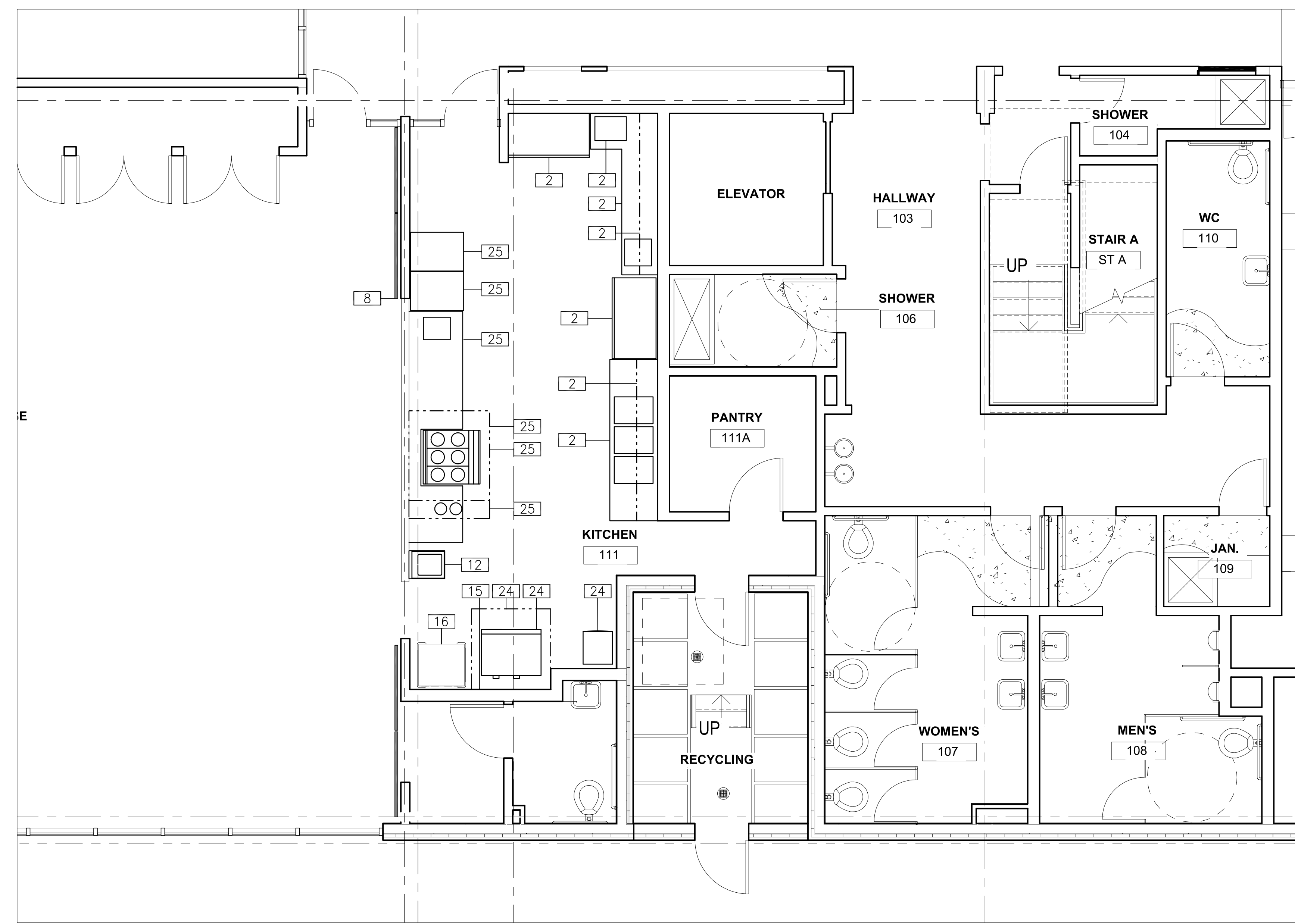
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Stamp	Sheet Name FOODSERVICE BUILDING CONDITIONS AND VENTILATION PLAN Sheet No. FS1.12
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- NOTES:
- PLUMBING CONTRACTOR TO PROVIDE:
- WORK AS DESCRIBED IN CONTRACT DOCUMENTS AND SUPPLEMENTAL REQUIREMENTS PER FOODSERVICE EQUIPMENT SECTION.
 - ROUGH-IN AND FINAL CONNECTIONS TO ALL FOODSERVICE EQUIPMENT AS INDICATED ON DRAWINGS AND IN PLUMBING ROUGH-IN SCHEDULE, INCLUDING ALL MATERIALS SUCH AS STOPS, VALVES, FILTERS, TRAPS, CHECK VALVES, PIPING, TUBING AND SHUT OFF'S AS REQUIRED.
 - MINIMUM 120 DEGREE HOT WATER WITH THE EXCEPTION OF HAND WASH SINKS.
 - ALL WASTE LINES AS NOTED.
 - MINIMUM DIAMETER OF LINE AS INDICATED ON SCHEDULE REGARDLESS OF CONNECTION SIZE.
 - ALL DRAINS SLOPED DOWNWARD WITH ADEQUATE CLEAN-OUT PROVISIONS.
 - MAINTAIN DRAINS AS HIGH AS POSSIBLE ABOVE FLOOR.
 - ALL EXPOSED DRAIN LINES TO BE FINISHED IN STAINLESS STEEL PAINT (SEYMOUR 16-054).
 - INSULATION ON ALL HOT WATER AND CONDENSATE LINES.
 - FLOOR SINKS/FLOOR DRAINS. (SET FLUSH WITH FINISHED FLOOR).
 - ALL VENT PIPES ARE TO BE CONCEALED IN WALLS, COLUMNS OR CHASES, USE LOOP-VENTS FOR ISLAND FIXTURES.
 - INTERCONNECTION BETWEEN VENTILATOR AND ANY CONTROL PANEL THAT MAY BE PROVIDED BY MECHANICAL.
 - GREASE TRAPS/INTERCEPTORS (LOCATED OUTSIDE OF KITCHEN AREA) AS SPECIFIED UNDER PLUMBING SECTION.
 - INSTALLATION OF FIRE PROTECTION SYSTEM GAS SHUT-OFF VALVE AND Y-STRAINER, 3" MAXIMUM DIA. (PROVIDED BY HOOD MANUFACTURER/FOODSERVICE EQUIPMENT CONTRACTOR).
 - SEE EQUIPMENT PLAN FOR ADDITIONAL HEALTH DEPARTMENT NOTES/REQUIREMENTS.

- SYMBOLS:
- HOT OR COLD WATER ROUGH-IN/CONNECTION
 - HOT AND COLD WATER ROUGH-IN/CONNECTION
 - HOT AND COLD WATER ROUGH-IN/CONNECTION WITH BRANCH CONNECTION
 - GAS SUPPLY ROUGH-IN/CONNECTION
 - DIRECT WASTE DRAIN ROUGH-IN/CONNECTION
 - INDIRECT WASTE DRAIN TO FLOOR SINK
 - FLOOR SINK WASTE CONNECTION SHOWN ON PLAN
 - FLOOR DRAIN 2" WASTE WITH TRAP PRIMER

PLUMBING ROUGH-IN																			
ITEM	QTY	DESCRIPTION	WATER			WASTE			GAS		CHILLED WATER		STEAM						
			CW	HW	HT	IND	DIR	HT	SUP	MBH	HT	SUP	RET	HT	GPM	SUP	RET	HT	LB/HR
1	5	SHELVING																	
2	1	ADA HAND SINK W/ SOAP & TOWEL	1/2"	1/2"	21"	5	2"												
3	1	REACH IN REFRIG (EXISTING)																	
4	1	COFFEE BREWER	1/2"		46"														
5	1	WORK TABLE WITH SINK	1/2"	1/2"	15"	10	1-1/2"												
6	1	WALL CABINET																	
7	1	REACH IN REFRIG (EXISTING)																	
8	1	WALL SHELF W/ UTENSIL RACK																	
9	1	POT SINK	1/2"	1/2"	15"	45	2"	12"											
10		NOT USED																	
11		NOT USED																	
12	LOT	TRASH CONTAINER																	
13	1	REACH IN FREEZER (EXISTING)																	
14	1	1-DR REACH IN FREEZER																	
15	1	SERVING COUNTER WITH SINK	1/2"	1/2"	18"	10	1"												
16	1	ROLL UP SERVICE WINDOW																	
17	1	EXHAUST HOOD (TYPE-I)																	
18	1	ELECTRIC RANGE/OVEN																	
19	1	FIRE SUPPRESSION SYSTEM																	
20		NOT USED																	
21		NOT USED																	
22	1	ICE MACHINE	1/2"		30"	1"													
23	1	EXHAUST HOOD (TYPE-I)																	
24	1	2-DECK CONVECTION OVEN																	
25	1	STAINLESS STEEL WALL FLASHING																	
26	1	HOT HOLDING CABINET																	
27	1	TYPE K FIRE EXTINGUISHER																	
28		NOT USED																	
29		NOT USED																	
30		NOT USED																	

ABBREVIATIONS:

CW	COLD WATER	MBH	BRITISH THERMAL UNIT x 1000	HT	HEIGHT
HW	HOT WATER	SUP	SUPPLY	SD	STUB DOWN FROM UTILITY WALL
GPH	GALLONS PER HOUR (HOT WATER)	RET	RETURN	FA	FROM ABOVE
IND	INDIRECT WASTE (AIR GAP)	GPM	GALLONS PER MINUTE	STUB	UTILITY UP FROM FLOOR
DIR	DIRECT WASTE	BHP	BOILER HORSE POWER		

SCHEDULE / DRAWING NOTES:
 CONNECTED LOAD = EACH CONNECTION AS SHOWN ON DRAWING
 REFER TO PLUMBING DRAWINGS FOR FLOOR DRAIN INFORMATION



PLANS FOR THE CONSTRUCTION OF

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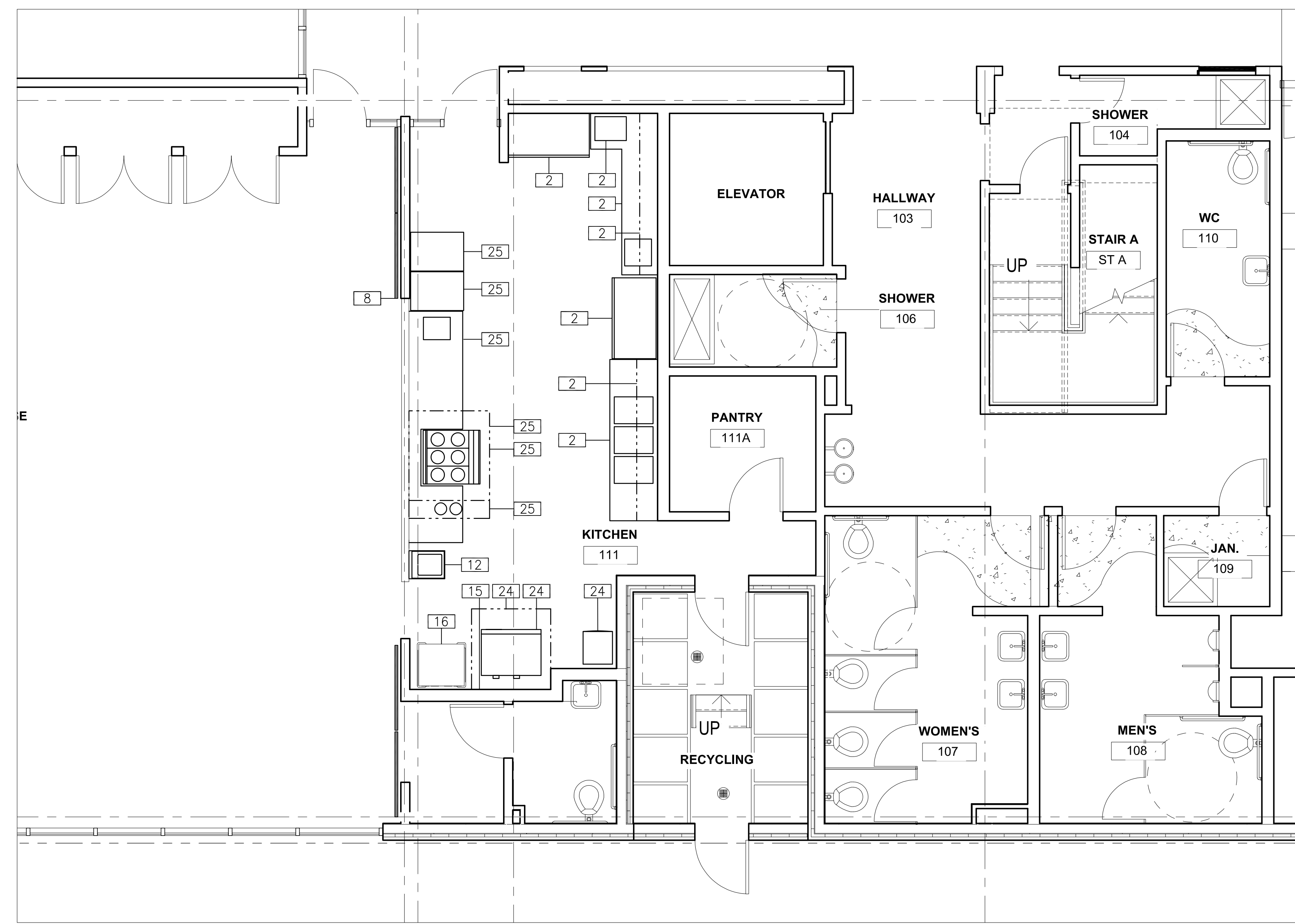
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Stamp	Sheet Name FOODSERVICE PLUMBING ROUGH-IN PLAN
	Sheet No. FS1.13

FOODSERVICE FLOOR PLAN
SCALE: 1/4" = 1'-0"



- NOTES:
- ELECTRICAL CONTRACTOR TO PROVIDE:
- A. WORK AS DESCRIBED IN CONTRACT DOCUMENTS AND SUPPLEMENTAL REQUIREMENTS PER FOODSERVICE EQUIPMENT SECTION.
 - B. ROUGH-IN AND FINAL CONNECTION TO ALL FOODSERVICE EQUIPMENT AS INDICATED ON DRAWINGS AND IN ELECTRICAL ROUGH-IN SCHEDULE.
 - C. ALL JUNCTION-BOXES, ELECTRICAL OUTLETS, COVER PLATES, SWITCHES NOT BUILT INTO FIXTURES OR EQUIPMENT.
 - D. DISH WASH AREAS TO HAVE VAPOR PROOF COMPONENTS.
 - E. SHUNT TRIP CIRCUIT BREAKERS FOR ALL FOODSERVICE EQUIPMENT BELOW EXHAUST HOODS.
 - F. SEE EQUIPMENT PLAN FOR ADDITIONAL HEALTH DEPARTMENT NOTES/REQUIREMENTS.
- INTERCONNECTION BETWEEN:
- A. FOODSERVICE EQUIPMENT WITH SWITCH ACTIVATION.
 - B. FIRE PROTECTION SYSTEM AND BUILDING LIFE SAFETY.

- SYMBOLS:
- JUNCTION BOX ROUGH-IN
 - JUNCTION BOX CONNECTION PROVIDED IN EQUIPMENT
 - DUPLEX OUTLET ROUGH-IN
 - SINGLE PHASE POWER OUTLET ROUGH-IN
 - THREE PHASE POWER OUTLET ROUGH-IN
 - FLUSH FLOOR DUPLEX OUTLET ROUGH-IN WITH DATA CONNECTION
 - CONDUIT STUB-UP ROUGH-IN
 - LIGHT/POWER SWITCH ROUGH-IN
 - FIRE PROTECTION PULL BOX - OCTAGONAL BOX 48" AFF WITH CONDUIT TO CEILING

ELECTRICAL ROUGH-IN		CONNECTED LOAD						CONNECTION TYPE				
ITEM	QTY	DESCRIPTION	120/1	120/208/1	120/208/3	208/1	208/3	480/3	HT	C&P	RECP	HW
1	5	SHELVING										
2	1	ADA HAND SINK W/SDAP & TOWEL							88"	*		
3	1	REACH IN REFRIG (EXISTING)	9.1 AMP						88"	*		
4	1	COFFEE BREWER		25.4 AMP					52"	*	*	
5	1	WORK TABLE WITH SINK	4 AMP						46"	*	*	
6	1	WALL CABINET										
7	1	REACH IN REFRIG (EXISTING)	5.4 AMP						88"	*		
8	1	WALL SHELF W/ UTENSIL RACK										
9	1	POT SINK										
10		NOT USED										
11		NOT USED										
12	LOT	TRASH CONTAINER										
13	1	REACH IN FREEZER (EXISTING)	12.02 AMP						88"	*		
14	1	1-DR REACH IN FREEZER	7.5 AMP						88"	*		
15	1	SERVING COUNTER WITH SINK	4 AMP						42"	*	*	
16	1	ROLL UP SERVICE WINDOW										
17	1	EXHAUST HOOD (TYPE-I)										
18	1	ELECTRIC RANGE/OVEN					49 AMP		24"	*	*	
19	1	FIRE SUPPRESSION SYSTEM	20A CKT									
20		NOT USED										
21		NOT USED										
22	1	ICE MACHINE	5.3 AMP						42"	*	*	
23	1	EXHAUST HOOD (TYPE-I)	4 AMP						FA		*	
24	1	2-DECK CONVECTION OVEN					62 AMP		30"/60"	*	*	
25	1	STAINLESS STEEL WALL FLASHING										
26	1	HOT HOLDING CABINET	15 AMP						84"	*		
27	1	TYPE K FIRE EXTINGUISHER										
28		NOT USED										
29		NOT USED										
30		NOT USED										

ABBREVIATIONS:
 C&P CORD AND PLUG
 RECP RECEPTACLE
 HW HARDWIRE
 HT HEIGHT
 FA FROM ABOVE

SCHEDULE / DRAWING NOTES:
 CONNECTED LOAD = EACH CONNECTION SHOWN ON DRAWING
 CONNECTION TYPES PROVIDED BY ELECTRICAL DIVISION



PLANS FOR THE CONSTRUCTION OF

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Stamp

Sheet Name
FOODSERVICE ELECTRICAL ROUGH-IN PLAN

Sheet No.
FS1.14

FOODSERVICE FLOOR PLAN
 SCALE: 1/4" = 1'-0"