



BROOKLYN BASIN-PARCEL C
OAKLAND, CALIFORNIA

DATE: JULY 14, 2017



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PROJECT TEAM DIRECTORY

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PROJECT DESCRIPTION

THE PROJECT IS A MIXED-USE RESIDENTIAL AND RETAIL BUILDING. THERE ARE 241 ONE AND TWO BEDROOM UNITS PROPOSED, AND APPROXIMATELY 3,069 SF OF COMMERCIAL SPACE.

THE BUILDING IS EIGHT STORIES TALL. THE LOWER THREE STORIES ARE TYPE IA CONSTRUCTION, WITH A CONCRETE GARAGE, SURROUNDED ON THREE SIDES BY RESIDENTIAL UNITS. THE UPPER FIVE STORIES ARE TYPE IIIA CONSTRUCTION AND CONTAIN RESIDENTIAL UNITS AND AMENITY SPACES. THE RESIDENTIAL UNITS ABOVE THE PODIUM ARE ARRANGED IN A "U" SHAPED BUILDING CREATING A LARGE PODIUM COURTYARD AT THE FOURTH LEVEL.

TABLE A: ORIGINAL DEVELOPMENT PARCELS

	A	B	C	D	E	F	G	H	J	K	L	M	N	Total
Net Acres	2.38	1.53	1.48	1.46	1.2	1.75	2.72	2.08	1.84	1.69	1.45	2.6	0	22.18
No. D.U.	407	175	175	175	131	165	300	375	339	322	146	390	0	3100
D.U./Net Acre	171	114	118	120	108	94	110	180	184	190	101	292	0	140

TABLE B: CURRENT DEVELOPMENT PARCELS

	A	B	C	D	E	F	G	H	J	K	L	M	N	Total
Net Acres	2.38	1.53	1.48	1.46	1.2	1.75	2.72	2.08	1.84	1.69	1.45	2.6	0	22.18
No. D.U.	300	241	241	175	131	165	300	375	339	322	146	365	0	3100
D.U./Net Acre	171	114	118	120	108	94	110	180	184	190	101	292	0	1782

PLANNING AND BUILDING CODE DATA	
Address	Parcel C - Brooklyn Basin
APN:	018-0465-014
Lot Area	62,437 SF
Zoning	1.433 AC PWD-4
BUILDING CODE	
Construction shall comply with the 2016 California Building Code, which is based on the 2015 IBC	
OCCUPANCY GROUPS	
Residential	R-2
Garage	S-2
Retail	A / M
CONSTRUCTION TYPES	
R-2	Type IA, Fully sprinklered & Type IIIA, Fully sprinklered
S-2	Type IA, Fully sprinklered
A / M	Type IA & IIIA, Fully sprinklered
BUILDING HEIGHT	
Zoning	Oak to 9th Brooklyn Basin Design Guidelines 86'
Building Code - Type IIIA	85' to Roof Membrane
Proposed	90' to T.O.P; mech penthouses, stairs, elevators, 96' max.

PROGRAM	
Retail (NSF)	3,069
Residential Units	241
Dwelling Units per Acre (DU/AC)	168
Residential Amenities (leasing office, lobby, fitness, amenities)	6,942

Open Usable Space	
Mew	4,000
Podium	13,826
8th Level roof deck	2,170

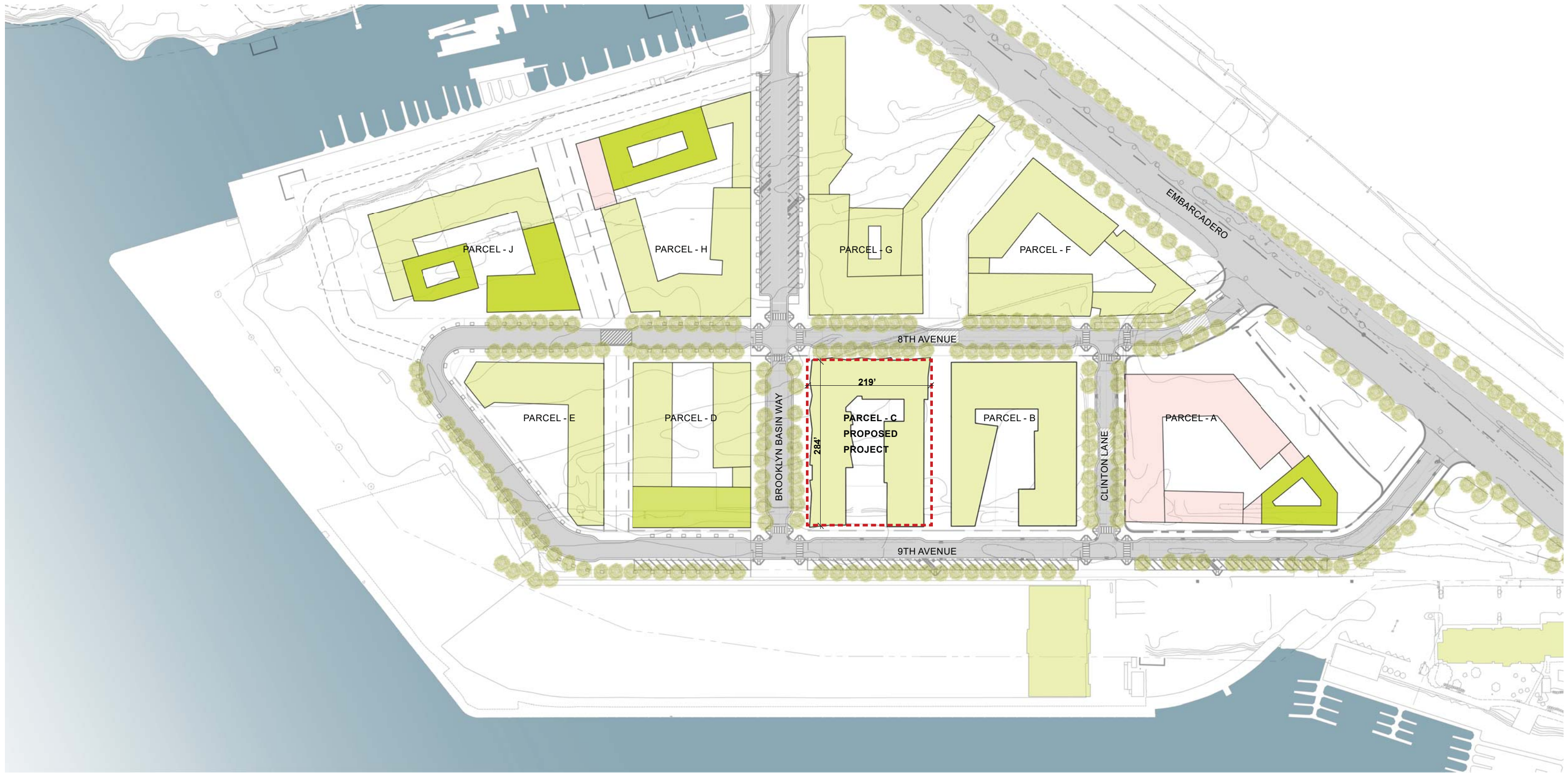
Residential Parking	
Accessible Stalls	5
EV Stalls	12
Standard Stalls	165
Compact Stalls	58
Total Stalls	240
Bicycle Parking Stalls Provided	61

FLOOR AREA CALCULATIONS *	GARAGE	GSF
Level 1 Residential, retail, amenities, garage	29,350	54,251
Level 2 Residential, garage	29,232	53,879
Level 3 Residential, garage	29,415	54,724
Level 4 Residential, amenities		40,459
Level 5 Residential		40,406
Level 6 Residential		40,404
Level 7 Residential		39,898
Level 8 Residential, amenities		37,777
TOTAL		361,798

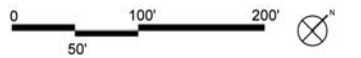
UNITS	Quan.	N.S.F.	Mix	Rentable S.F.	Parking Provided
1BR Units Total	142	710	58.9%	100,820	152
2BR Units Total	99	1079	41.1%	106,821	89
ALL UNITS -TOTAL	241	862	100.0%	207,641	240

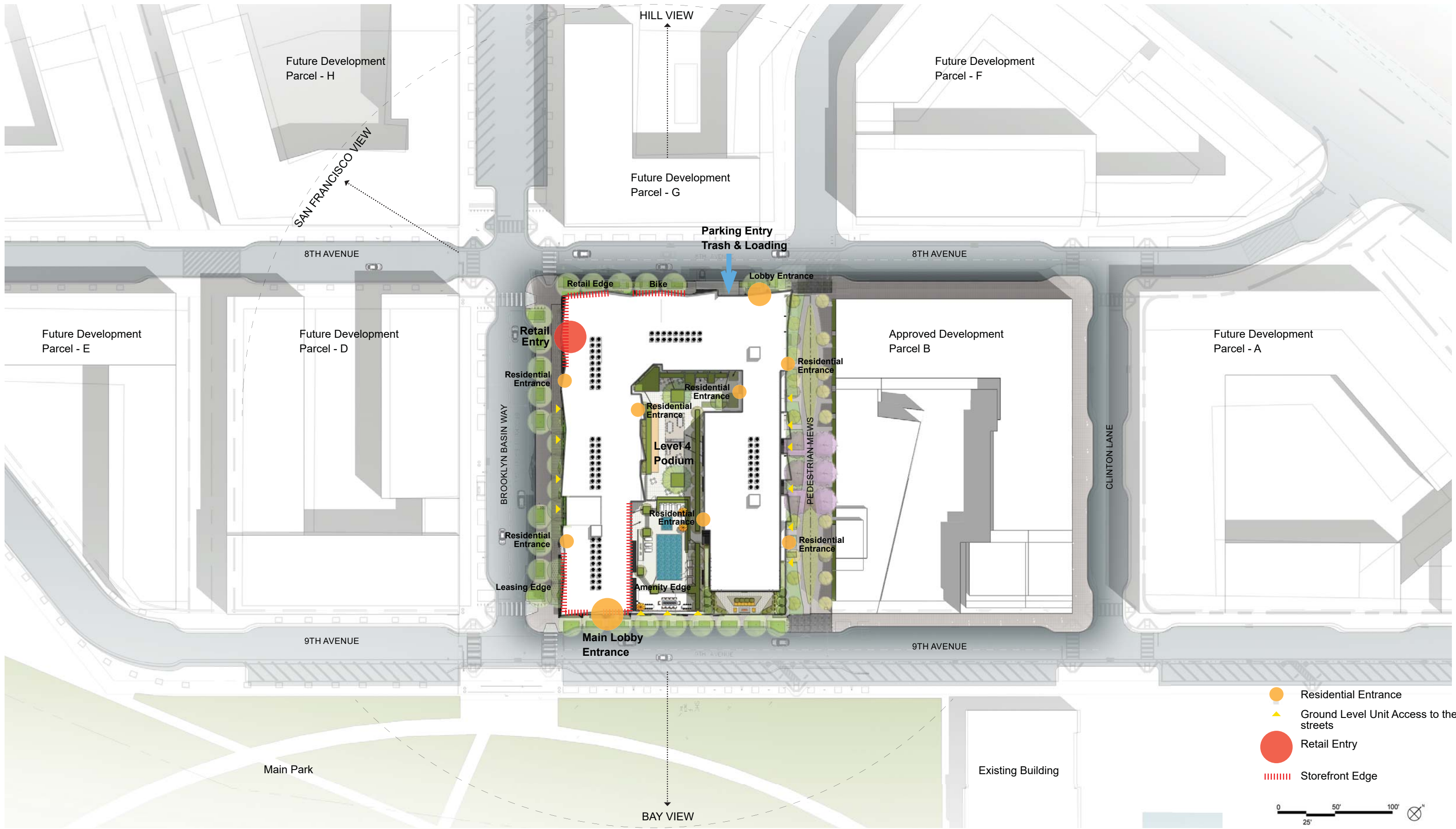


PROPOSED PROJECT SHOWN IN BROOKLYN BASIN'S APPROVED DEVELOPEMENT MASSING 2

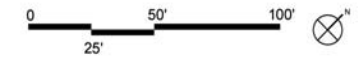


- POTENTIAL TOWER HEIGHT ZONE (Buildings above 120' and up to 240' in Height are limited to particular tower zones)
- TOWER 120' - 240' BUILDING
- 120' BUILDING HEIGHT
- 85' BUILDING HEIGHT TYPICAL





- Residential Entrance
- ▲ Ground Level Unit Access to the streets
- Retail Entry
- ||||| Storefront Edge



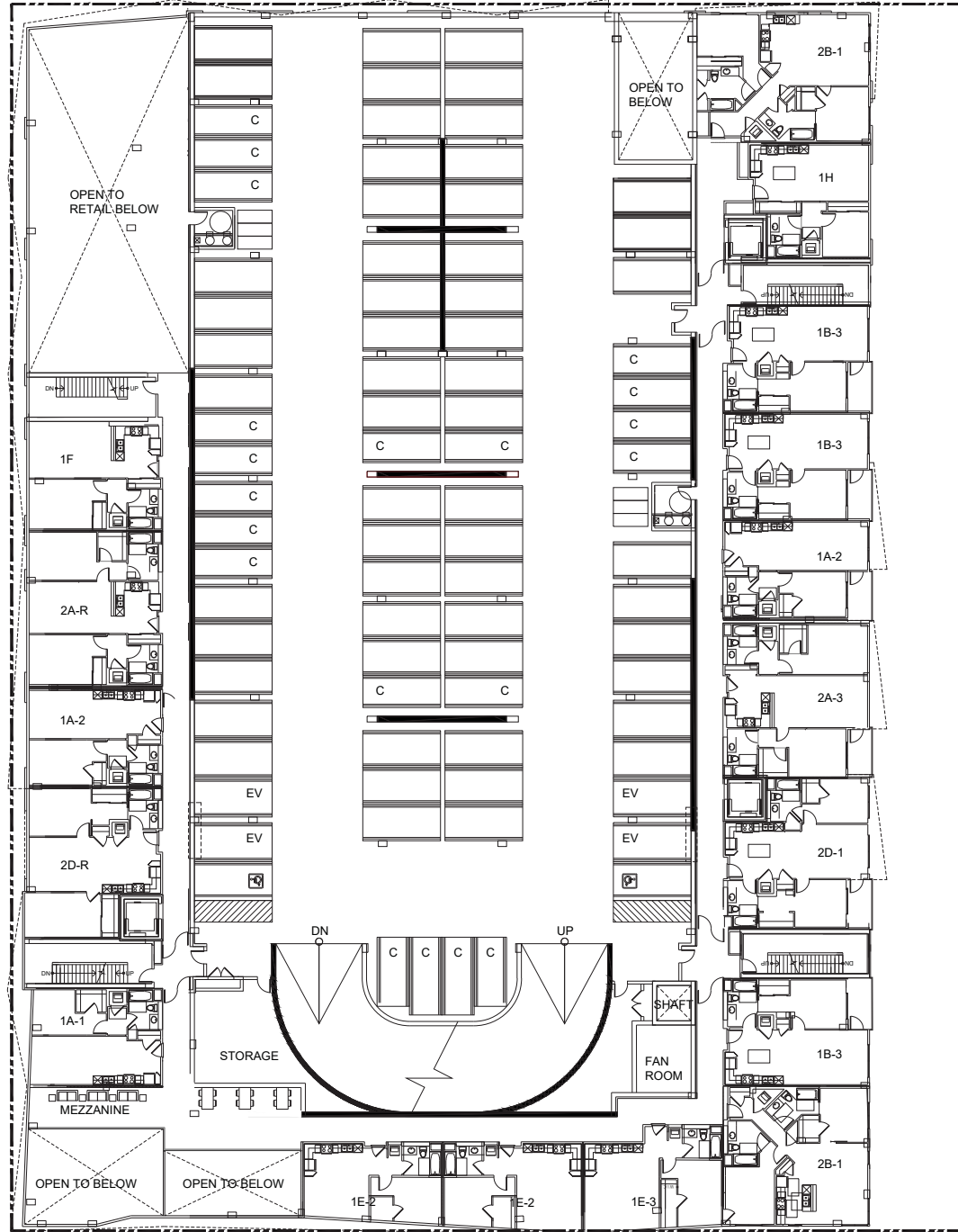




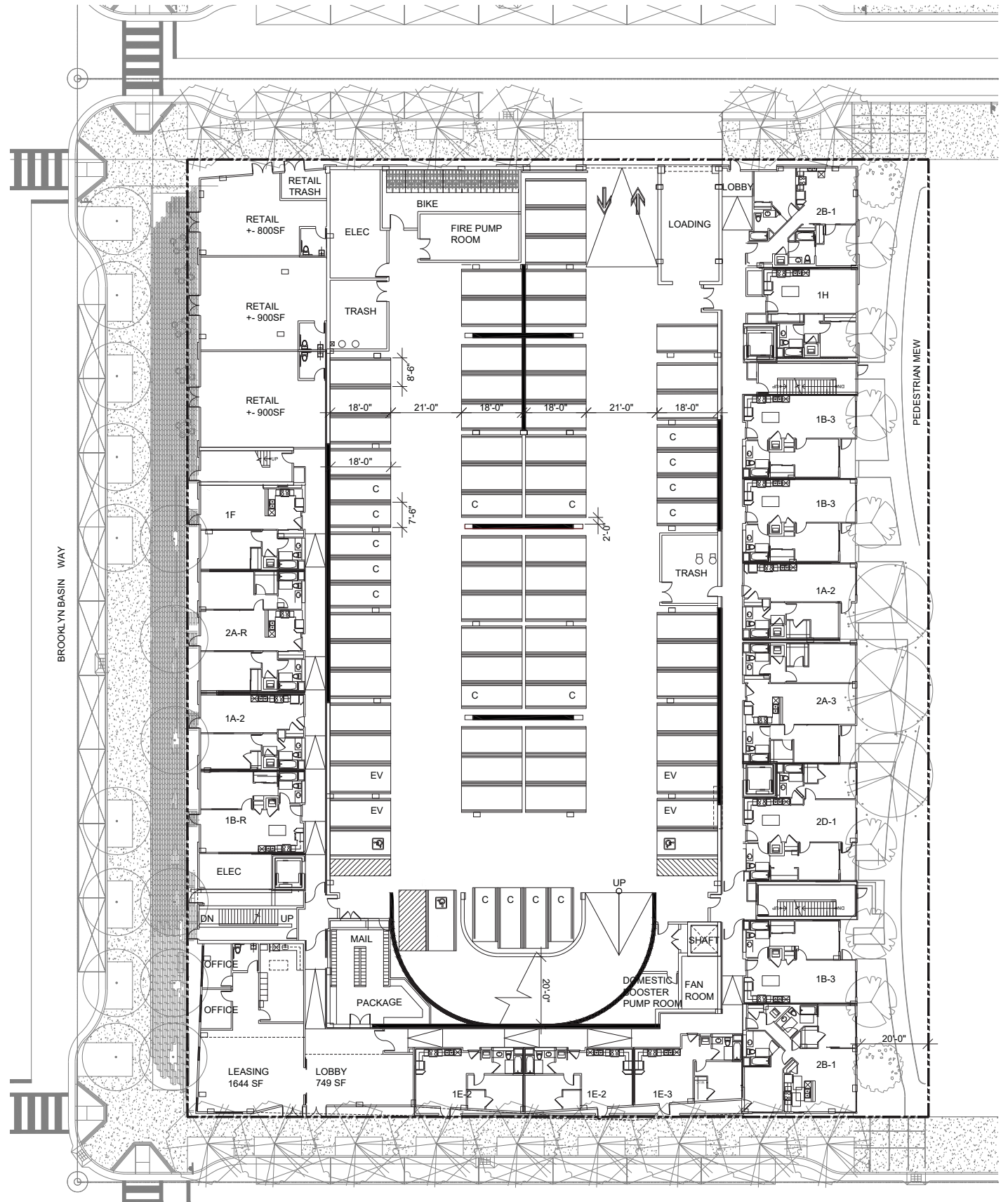
EYE LEVEL PERSPECTIVE FROM PROMENADE LOOKING NORTHEAST



EYE LEVEL PERSPECTIVE FROM BROOKLYN BASIN WAY LOOKING SOUTH

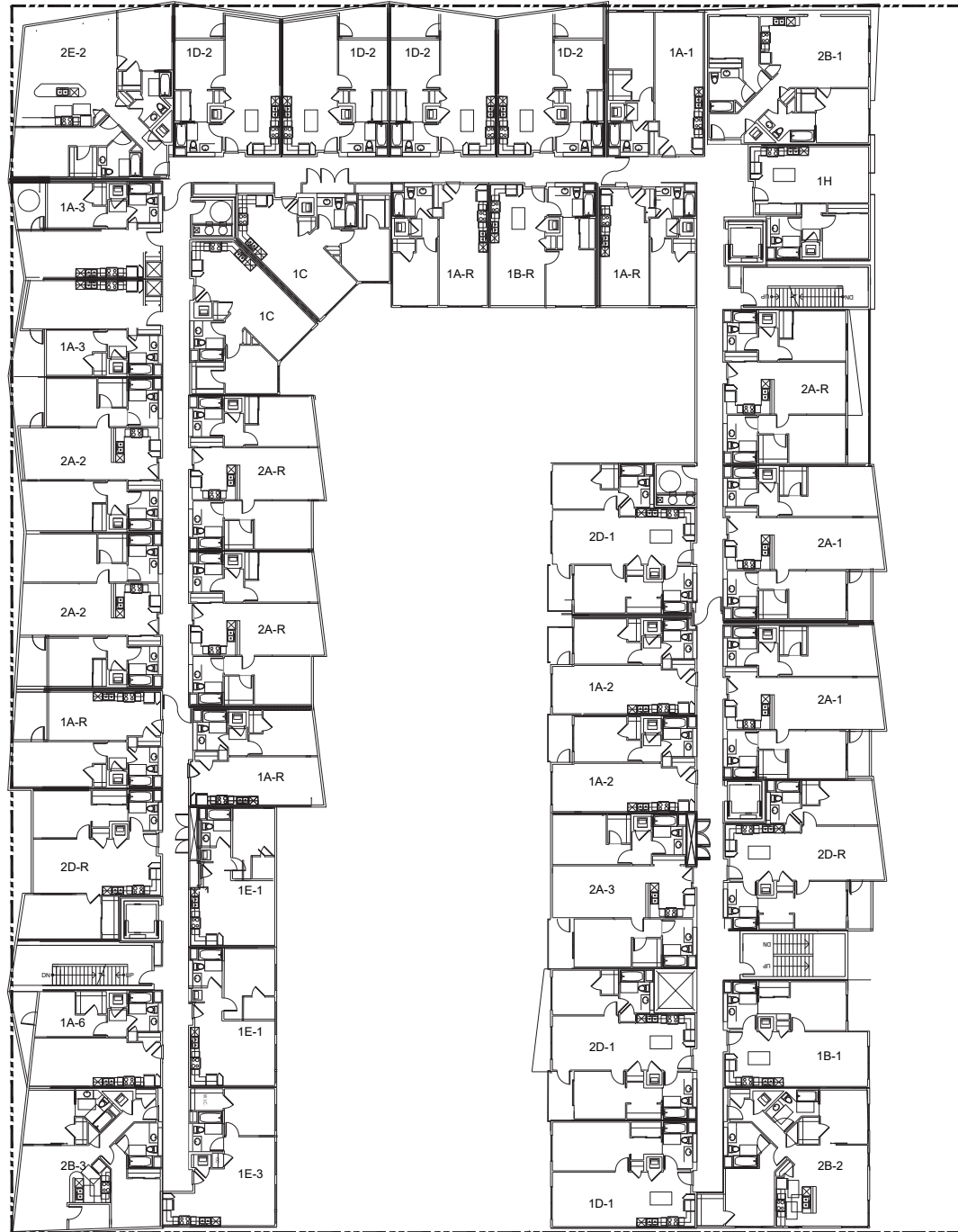


LEVEL 2 PLAN 2
SCALE: 1"=20' - 0"



LEVEL 1 PLAN 1
SCALE: 1"=20' - 0"

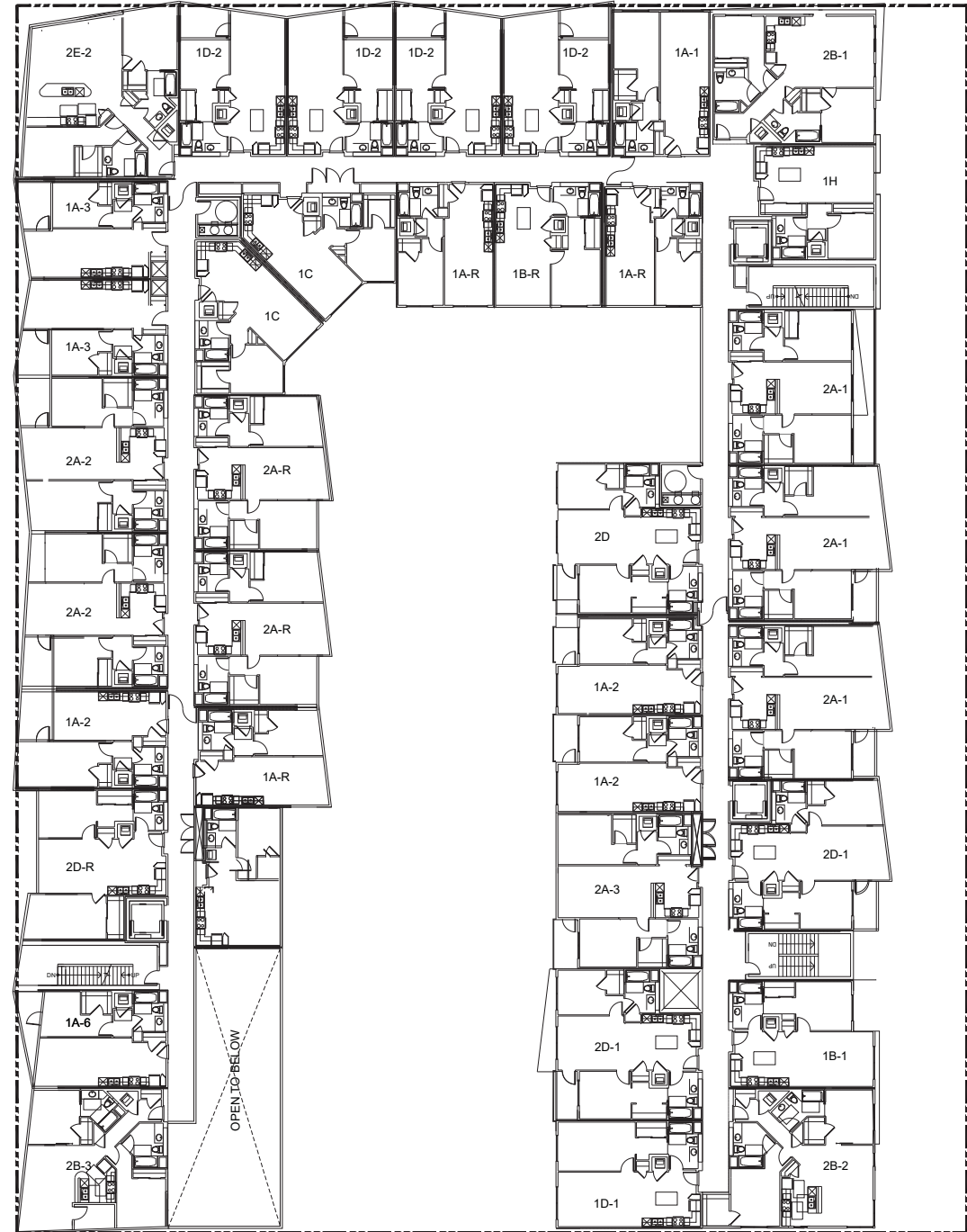




LEVEL 6 PLAN

SCALE: 1"=20' - 0"

2

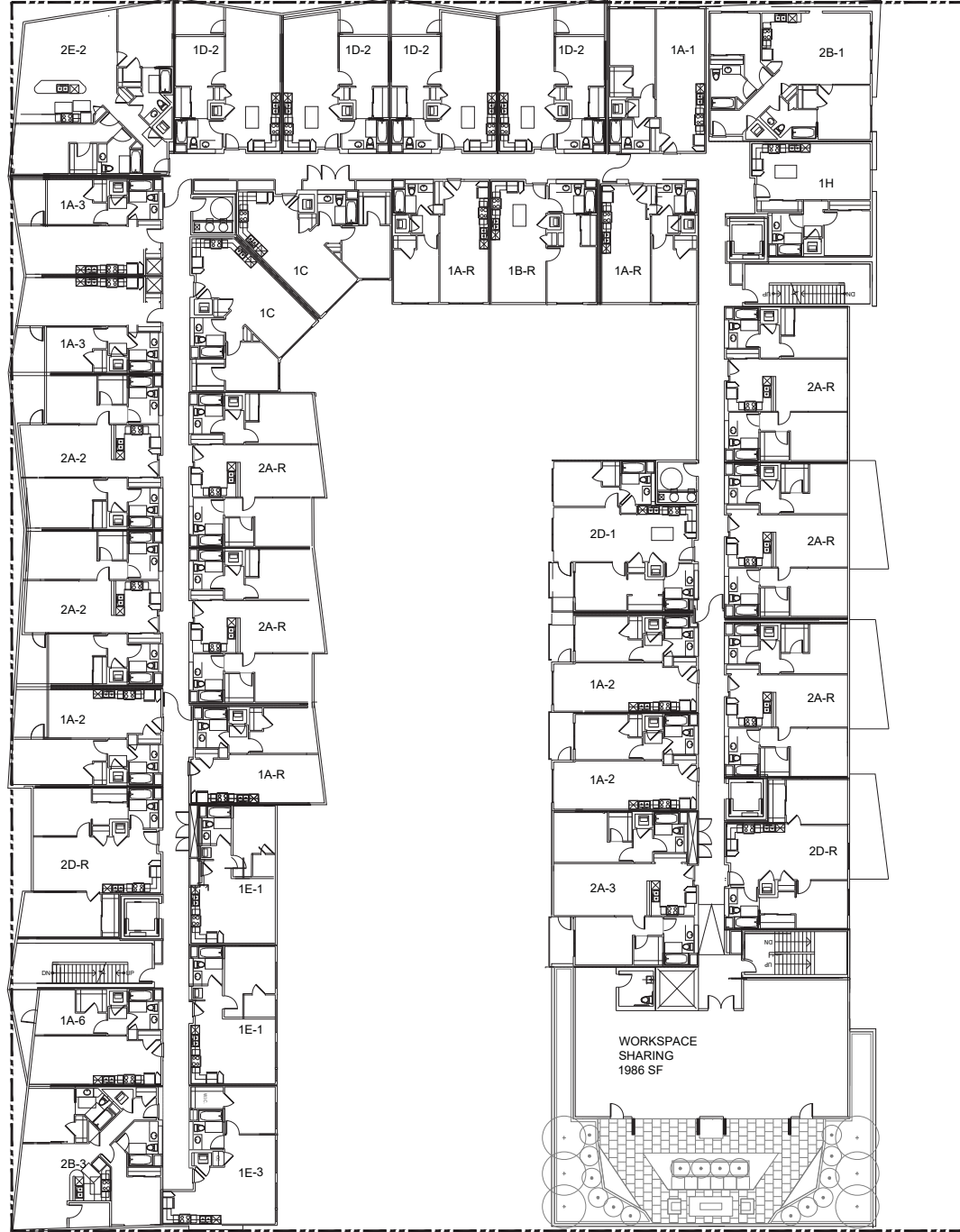


LEVEL 5 PLAN

SCALE: 1"=20' - 0"

1

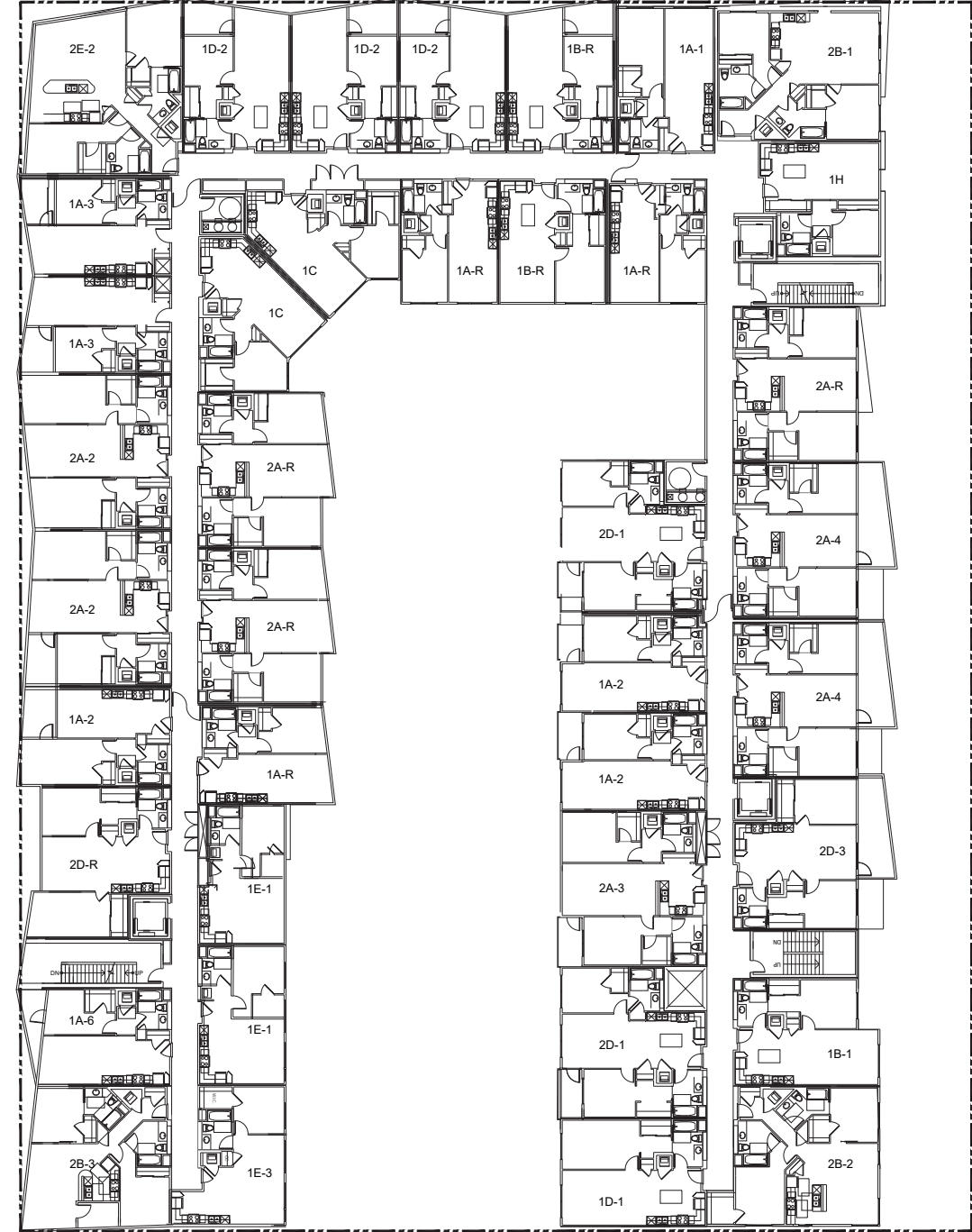




LEVEL 8 PLAN

SCALE: 1"=20' - 0"

2



LEVEL 7 PLAN

SCALE: 1"=20' - 0"

1





WINDOW TYPE

- (A) NAIL FIN VINYL WINDOW
- (B) STOREFRONT

MATERIALS

- (1a) SMOOTH TROWELED PLASTER-BODY KELLY-MOORE OW222-1
- (1b) SMOOTH TROWELED PLASTER-BODY KELLY-MOORE KM5825
- (1c) SMOOTH TROWELED PLASTER-BODY KELLY-MOORE KM4883-5
- (1d) SMOOTH TROWELED PLASTER-BODY KELLY-MOORE KM4024-5
- (2a) CUSTOMIZED PATINA FINISH METAL PANEL
- (2b) METAL PANEL BLACK
- (3a) CEMENTITIOUS PANEL RAINSCREEN KELLY-MOORE OW222-1
- (3b) CEMENTITIOUS PANEL RAINSCREEN KELLY-MOORE KM4883-5
- (4) METAL LATTICE OR LOUVER
- (5a) METAL BALCONY
- (5b) GLASS RAILING BALCONY
- (6) METAL CANOPY

BROOKLYN BASIN WAY ELEVATION

SCALE: 1"=16' - 0"

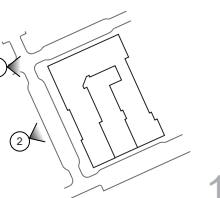
2



BROOKLYN BASIN WAY/8TH AVENUE PERSPECTIVE VIEW

N.T.S

1



12



WINDOW TYPE

- A NAIL FIN VINYL WINDOW
- B STOREFRONT

MATERIALS

- 1a SMOOTH TROWELED PLASTER-BODY KELLY-MOORE OW222-1
- 1b SMOOTH TROWELED PLASTER-BODY KELLY-MOORE KM5825
- 1c SMOOTH TROWELED PLASTER-BODY KELLY-MOORE KM4883-5
- 1d SMOOTH TROWELED PLASTER-BODY KELLY-MOORE KM4024-5
- 2a CUSTOMIZED PATINA FINISH METAL PANEL
- 2b METAL PANEL BLACK
- 3a CEMENTITIOUS PANEL RAINSCREEN KELLY-MOORE OW222-1
- 3b CEMENTITIOUS PANEL RAINSCREEN KELLY-MOORE KM4883-5
- 4 METAL LATTICE OR LOUVER
- 5a METAL BALCONY
- 5b GLASS RAILING BALCONY
- 6 METAL CANOPY

9TH AVENUE ELEVATION

SCALE: 1"=16' - 0"

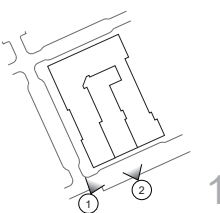
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9TH AVENUE/BROOKLYN BASIN WAY PERSPECTIVE VIEW

N.T.S

1



13



WINDOW TYPE

- A NAIL FIN VINYL WINDOW
- B STOREFRONT

MATERIALS

- 1a SMOOTH TROWELED PLASTER-BODY KELLY-MOORE OW222-1
- 1b SMOOTH TROWELED PLASTER-BODY KELLY-MOORE KM5825
- 1c SMOOTH TROWELED PLASTER-BODY KELLY-MOORE KM4883-5
- 1d SMOOTH TROWELED PLASTER-BODY KELLY-MOORE KM4024-5
- 2a CUSTOMIZED PATINA FINISH METAL PANEL
- 2b METAL PANEL BLACK
- 3a CEMENTITIOUS PANEL RAINSCREEN KELLY-MOORE OW222-1
- 3b CEMENTITIOUS PANEL RAINSCREEN KELLY-MOORE KM4883-5
- 4 METAL LATTICE OR LOUVER
- 5a METAL BALCONY
- 5b GLASS RAILING BALCONY
- 6 METAL CANOPY

8TH AVENUE ELEVATION

SCALE: 1"=16' - 0"

2



8TH AVENUE/PEDESTRIAN MEWS PERSPECTIVE VIEW

N.T.S

1



WINDOW TYPE

- (A) NAIL FIN VINYL WINDOW
- (B) STOREFRONT

MATERIALS

- (1a) SMOOTH TROWELED PLASTER-BODY KELLY-MOORE OW222-1
- (1b) SMOOTH TROWELED PLASTER-BODY KELLY-MOORE KM5825
- (1c) SMOOTH TROWELED PLASTER-BODY KELLY-MOORE KM4883-5
- (1d) SMOOTH TROWELED PLASTER-BODY KELLY-MOORE KM4024-5
- (2a) CUSTOMIZED PATINA FINISH METAL PANEL
- (2b) METAL PANEL BLACK
- (3a) CEMENTITIOUS PANEL RAINSCREEN KELLY-MOORE OW222-1
- (3b) CEMENTITIOUS PANEL RAINSCREEN KELLY-MOORE KM4883-5
- (4) METAL LATTICE OR LOUVER
- (5a) METAL BALCONY
- (5b) GLASS RAILING BALCONY
- (6) METAL CANOPY

PEDESTRIAN MEWS ELEVATION

SCALE: 1"=16' - 0"

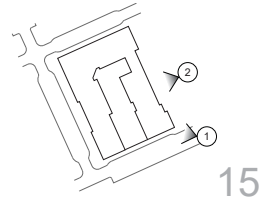
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PEDESTRIAN MEWS/9TH AVENUE PERSPECTIVE VIEW

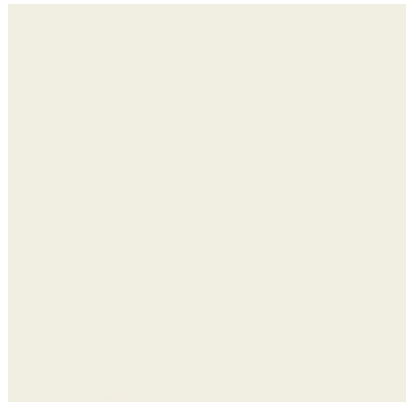
N.T.S

1

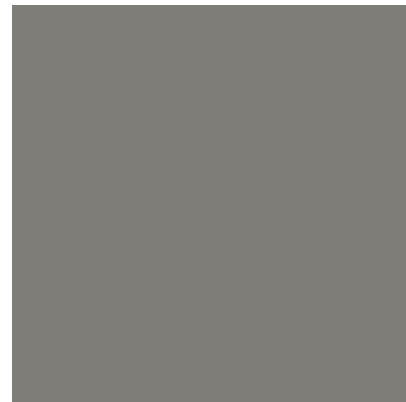


15

1a SMOOTH TROWELED PLASTER-BODY
KELLY-MOORE
OW222-1 IT'S A CREAM



1b SMOOTH TROWELED PLASTER-BODY
KELLY-MOORE
KM5825 NOT MY FAULT



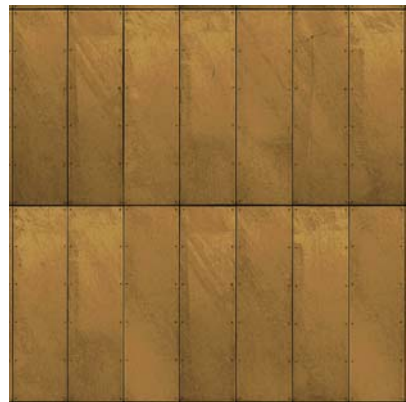
1c SMOOTH TROWELED PLASTER-BODY
KELLY-MOORE
KM4883-5 BLACK CAT



1d SMOOTH TROWELED PLASTER-BODY
KELLY-MOORE
KM4024-5 LATTE PLEASE



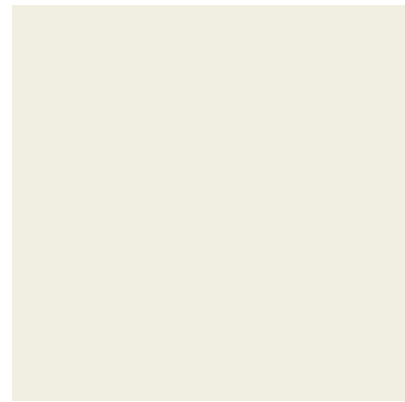
2a CUSTOMIZED PATINA FINISH
METAL PANEL



2b METAL PANEL
BLACK



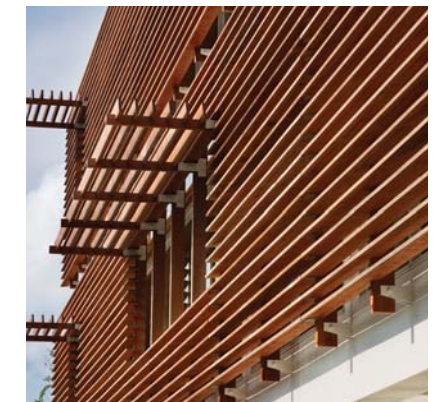
3a CEMENTITIOUS PANEL
RAINSCREEN
KELLY-MOORE
OW222-1 IT'S A CREAM



3b CEMENTITIOUS PANEL
RAINSCREEN
KELLY-MOORE
KM4883-5 BLACK CAT



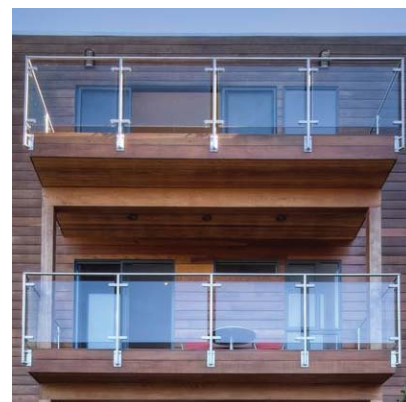
4 METAL LATTICE OR LOUVER



5a METAL BALCONY
HUNG BALCONY WITH HORIZONTAL
BAR



5b GLASS RAILING BALCONY



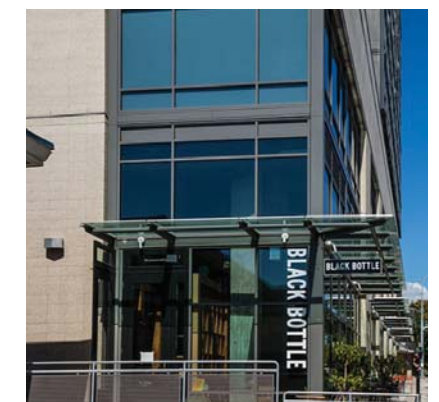
6 METAL CANOPY

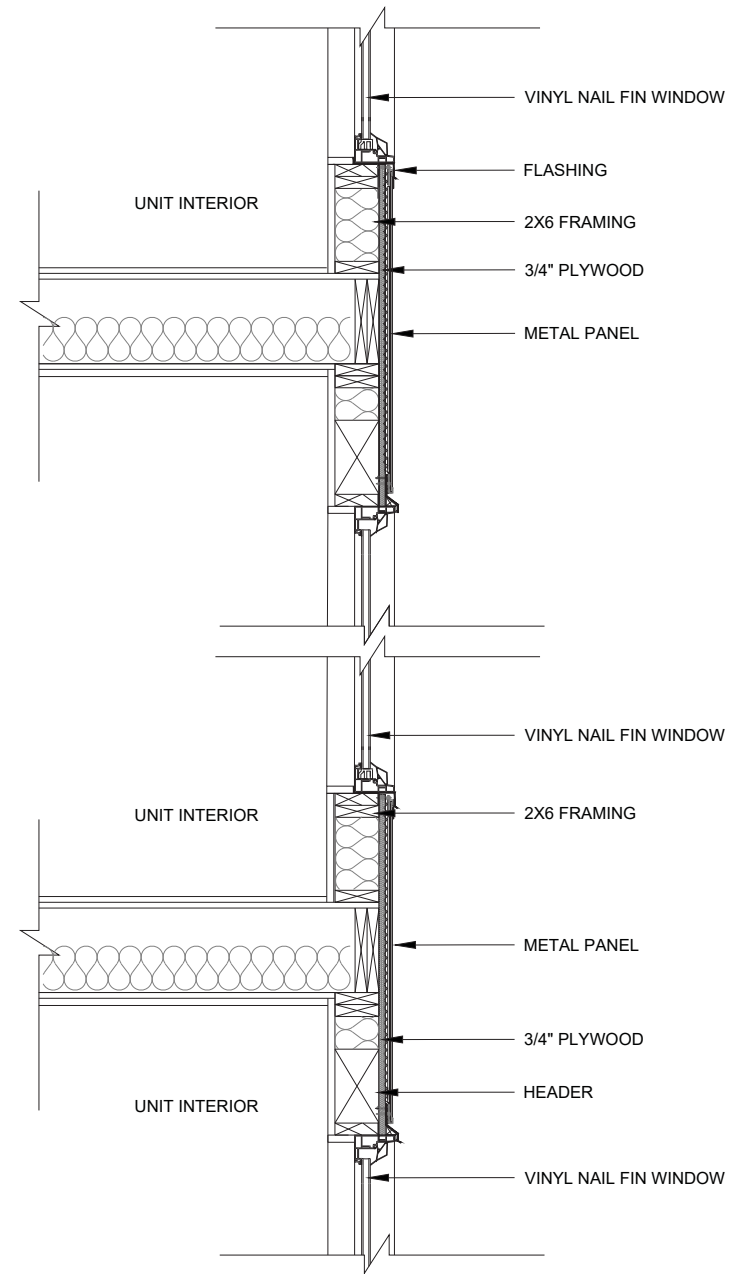


A NAIL FIN VINYL WINDOW

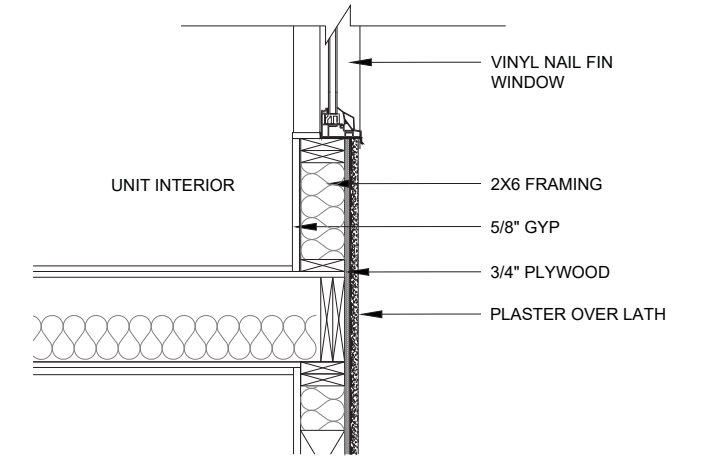


B STOREFRONT

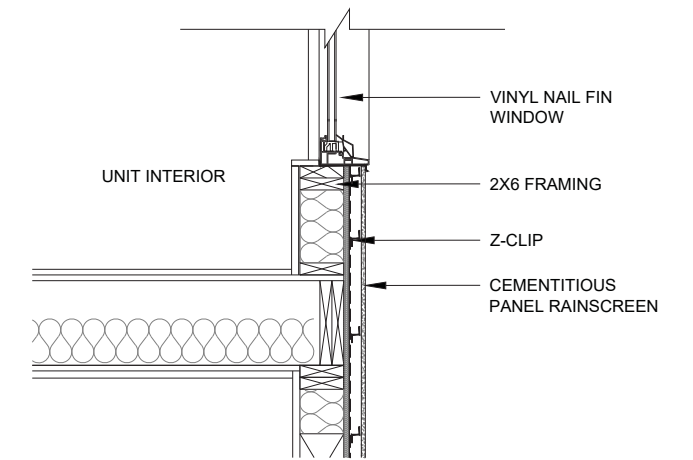
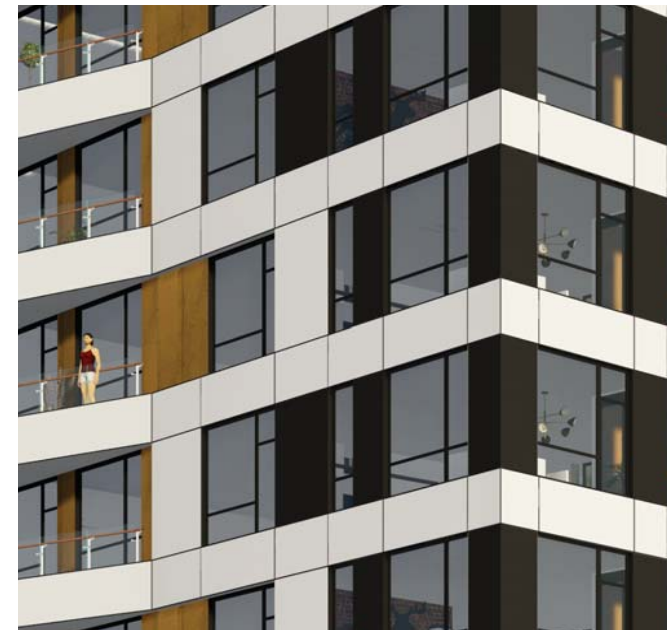




WINDOW DETAIL ON METAL PANEL
SCALE: 1"=1' - 0" **3**



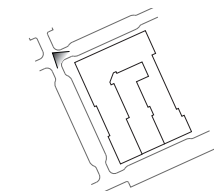
WINDOW DETAIL ON PLASTER
SCALE: 1"=1' - 0" **2**



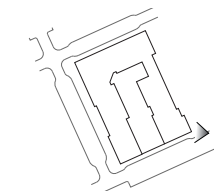
WINDOW DETAIL ON CEMENTITIOUS PANEL RAINSCREEN
SCALE: 1"=1' - 0" **1**

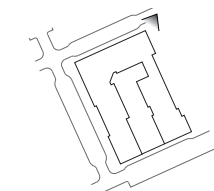


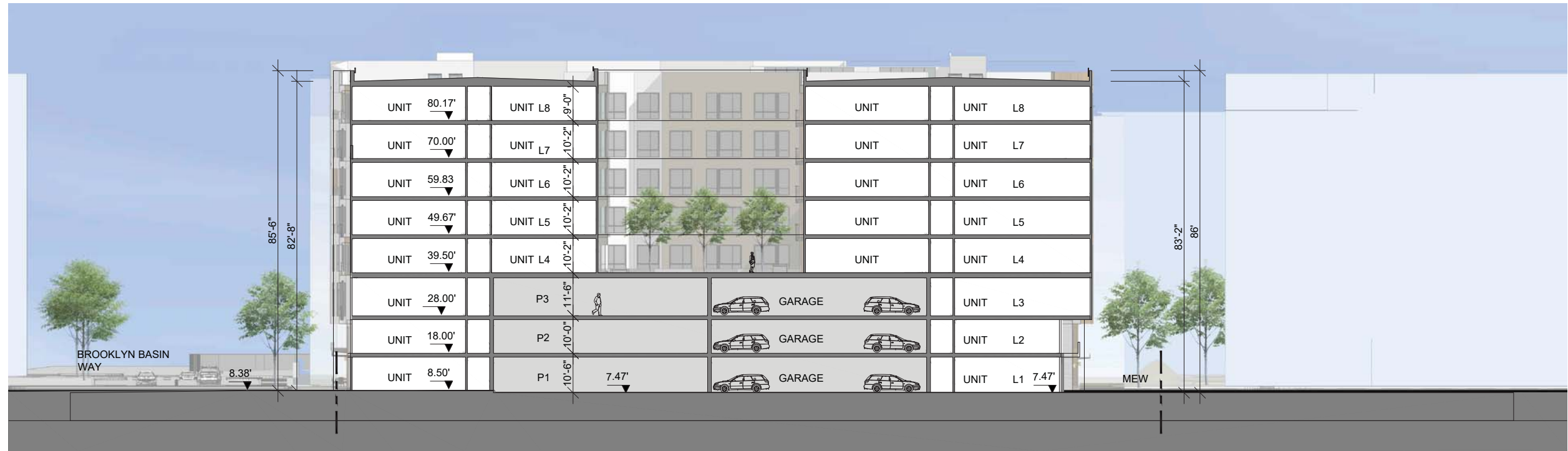
LEASING CORNER PERSPECTIVE 18



RETAIL CORNER PERSPECTIVE 19



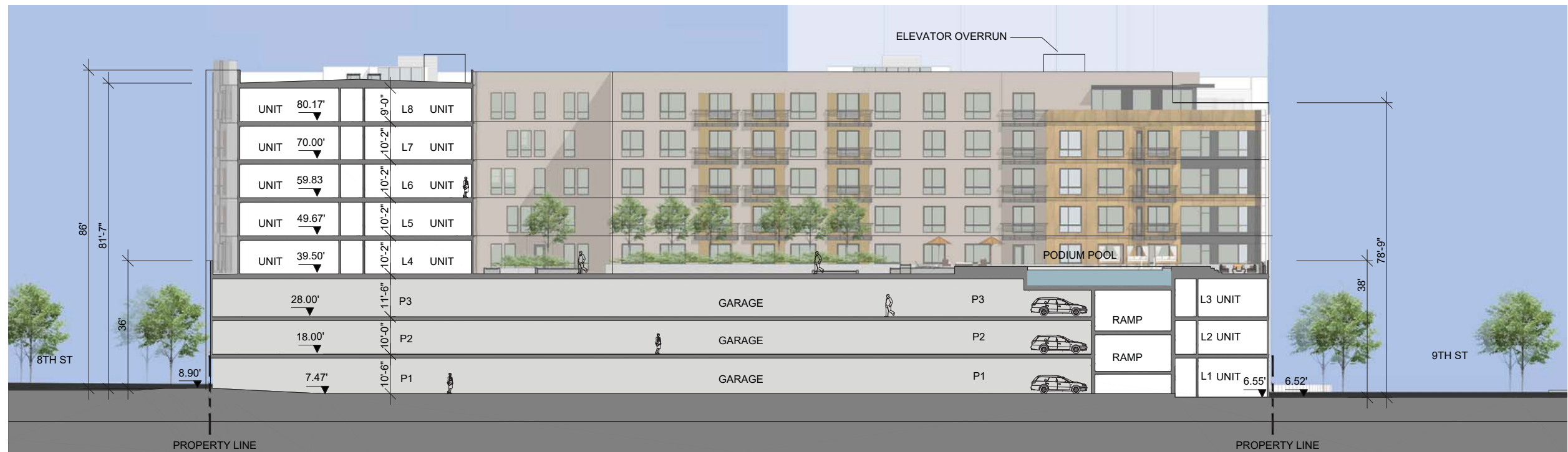




BUILDING SECTION B-B'

SCALE: 1"=16' - 0"

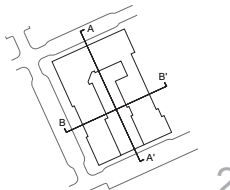
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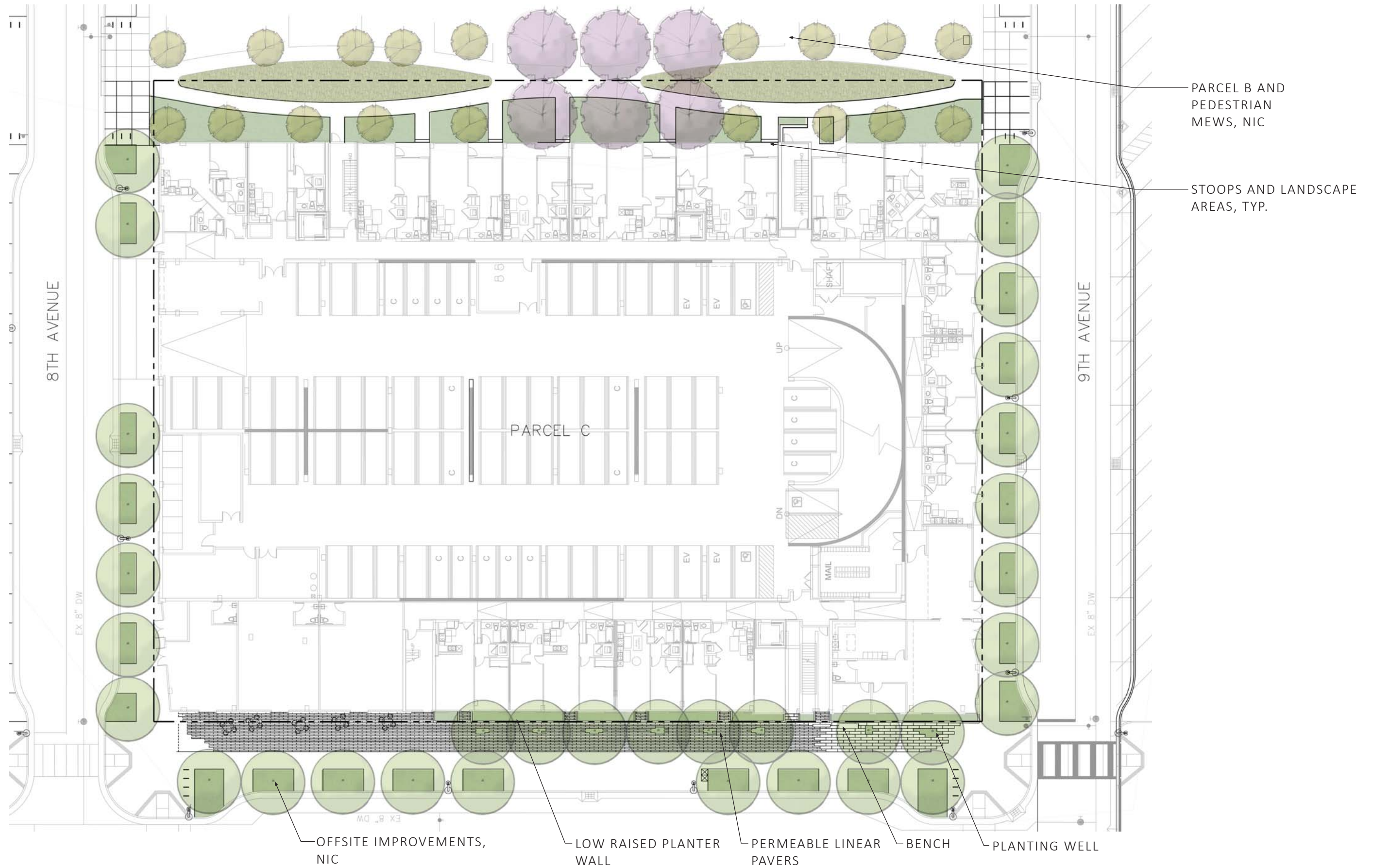


BUILDING SECTION A-A'

SCALE: 1"=16' - 0"

1





OVERHEAD SHADE STRUCTURE WITH LIGHTING

LOW GREEN ROOF PLANTER

CONCRETE PAVERS (GRAVEL SET)

24" +/- RAISED CMU PLANTER, HEIGHT ABOVE FINISH PAVING TYP.

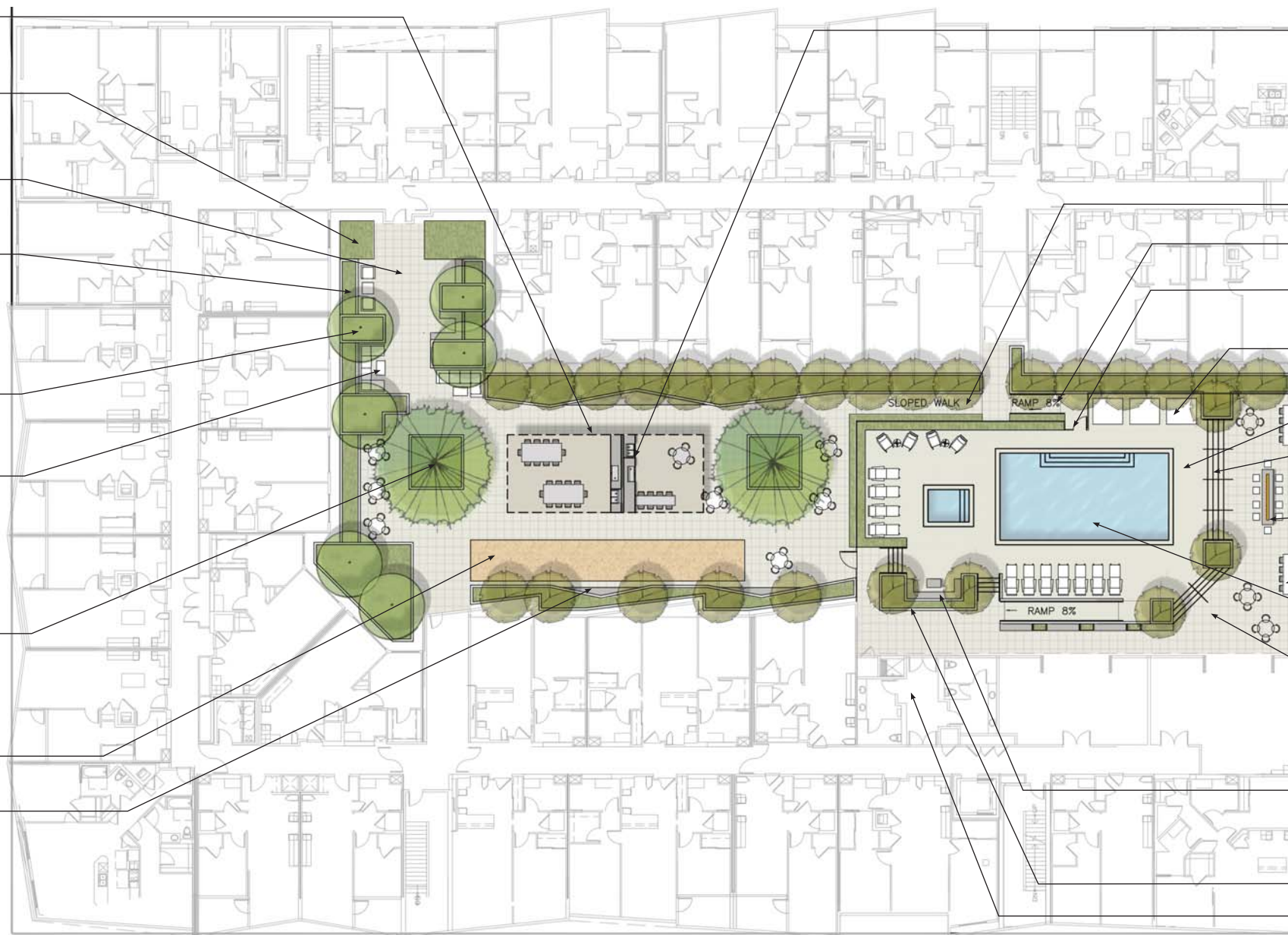
36" +/- RAISED CMU PLANTER WITH WALL LIGHTS

LOUNGE NOOK, TYP.

LARGE SPECIMEN TREE IN 36" RAISED CONCRETE PLANTER WITH STONE VENEER AND LIGHTING

BOCCE COURT

SEATING, TYP.



KITCHEN AREA

- 2 GRILLS
- LARGE SCREEN TV & LOUNGE SEATING
- COMMUNITY TABLES
- ACCESSIBLE SINKS
- STONE COUNTER TOPS
- TILE PAVING

SLOPED WALK

ADA RAMP

GLASS POOL ENCLOSURE AND GATE, TYP.

CABANAS

RAISED POOL DECK WITH TILE PAVING

GRAND STAIR WITH CONCRETE AND WOOD TOP

FIRE RIBBON

BAR TABLES

POOL AND SPA WITH ADA LIFTS AND GRAND STAIR

CLUB ROOM SPILL OUT -FLEX SPACE

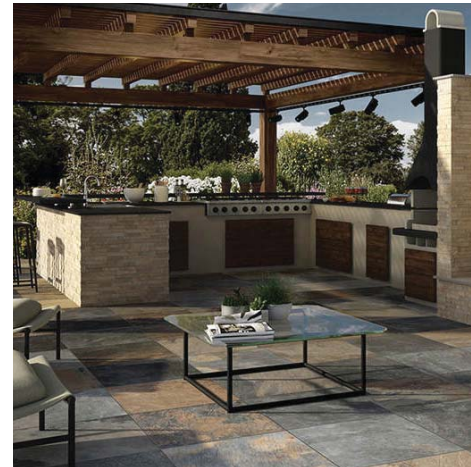
SEATING NOOK

C.I.P. CONCRETE PLANTER

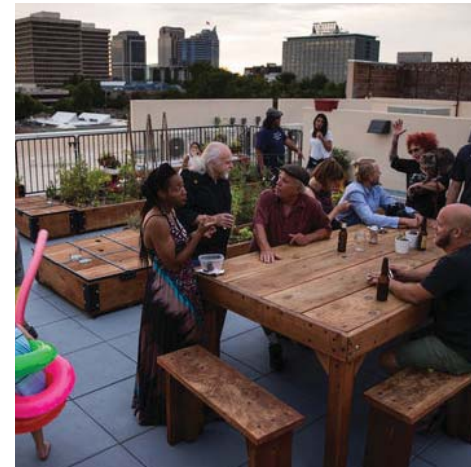
RESTROOM AND SHOWER



POOL WITH ENHANCED PAVING



OUTDOOR KITCHEN



COMMUNITY TABLES



GLASS PANEL POOL ENCLOSURE



FIRE RIBBON

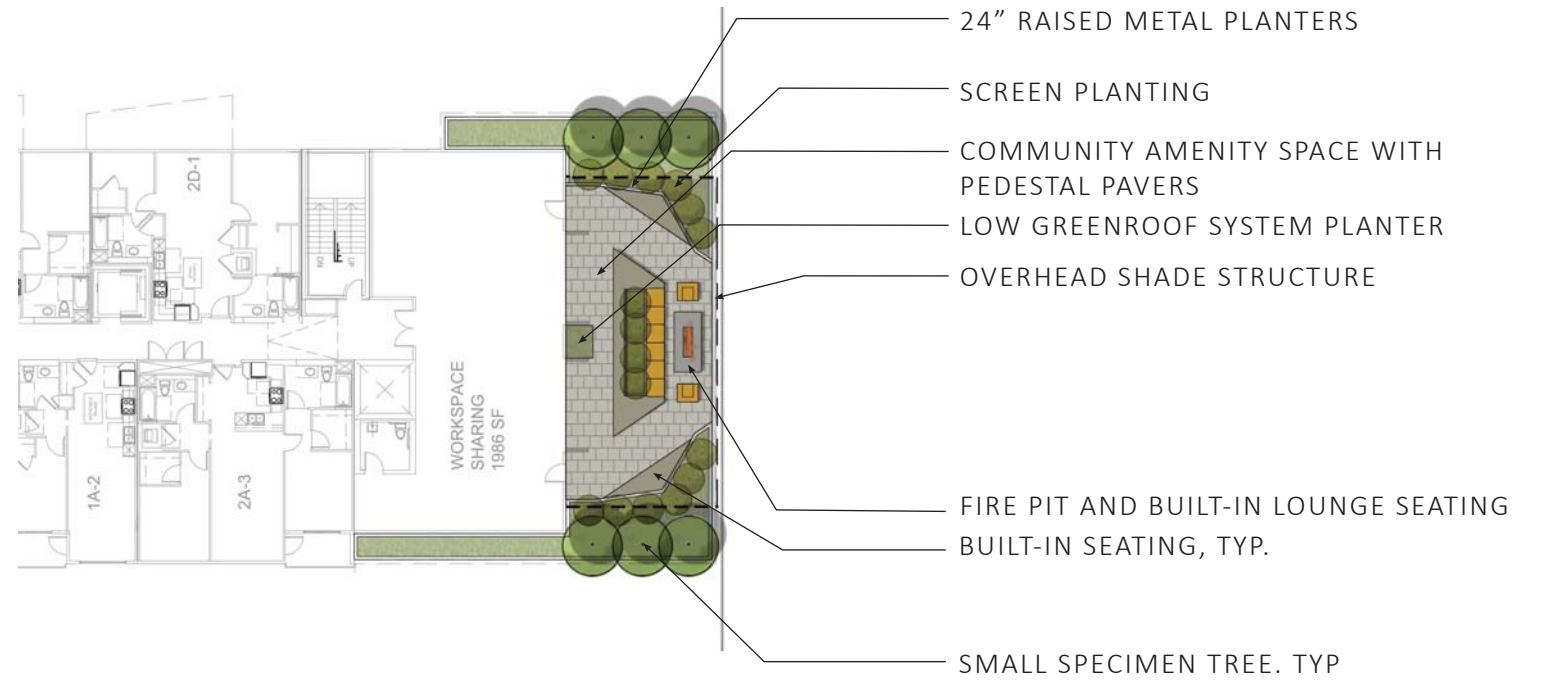


SPECIMEN TREE IN PLANTER



PRELIMINARY PLANT LIST

Botanical Name	Common Name	Size	Quantity
Trees			
Arbutus 'Marina'	Strawberry Tree	24" Box	-
Cercis occidentalis	Western redbud	24" Box	-
Fagus sylvatica	European Beech	24" Box	-
Pistachia chinensis	Chinese Pistache	24" Box	-
Tristania conferta	Brisbane box	24" Box	-
Shrubs & Groundcovers			
Achillea millefolium	Common Yarrow	1 Gal	-
Anigozanthos 'Bush Tango'	Kangaroo Paw	5 Gal	-
Arctostaphylos uva-ursi	Manzanita	5 Gal	-
Artemisia spp.	Mugwort	1 Gal	-
Carpenteria californica	Bush Anemone	5 Gal	-
Ceanothus concha	California Lilac	5 Gal	-
Dodonea viscosa 'Purpurea'	Purple-leafed Hop Bush	5 Gal	-
Heuchera 'Santa Ana Cardinal'	Coral Bells	1 Gal	-
Heteromeles arbutifolia	Toyon	5 Gal	-
Limonium perzii	Sea Lavender	1 Gal	-
Mahonia aquifolium	Oregon Grape	1 Gal	-
Mimulus aurantiacus	Common Monkeyflower	1 Gal	-
Nandina domestica 'Lemon Lime'	Heavenly Bamboo	5 Gal	-
Rhamnus californica 'Eve Case'	Coffeeberry	5 Gal	-
Ribes sanguineum 'King Edward'	CA Current	1 Gal	-
Salvia leucophylla	Purple sage	5 Gal	-
Grasses & Grass-like			
Agrostis pallens	Bent grass	1 Gal	-
Carex tumulicola	Berkeley Sedge	1 Gal	-
Dietes spp.	Fortnight lily	1 Gal	-
Elymus glaucus	Blue wild rye	1 Gal	-
Festuca rubra	Red fescue	Seeded	-
Leymus triticoides	Creeping wild rye	1 Gal	-
Nassella pulchra	Purple needle grass	1 Gal	-



METAL PLANTERS



FIRE PIT



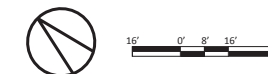
INDOOR-OUTDOOR AMENITY SPACE



PEDESTAL PAVERS AND LOW GREEN ROOF



OVERHEAD SHADE STRUCTURE



I. GENERAL NOTES

- ALL APPLICABLE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, PROJECT GEOTECHNICAL REPORT, RESPONSE PLAN, IMPLEMENTATION PLANS AND REMEDIAL ACTION PLAN.
- THE CONTRACTOR SHALL GIVE THE CLIENT REPRESENTATIVE TWO (2) WORKING DAYS ADVANCE NOTICE FOR INSPECTION SERVICES.
- ALL REVISIONS TO THESE PLANS MUST BE FAVORABLY REVIEWED IN WRITING BY THE OWNER, ENGINEER OF RECORD AND ENVIRONMENTAL ENGINEER, WHO WILL OBTAIN APPROVAL FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED ITEMS. REVISIONS SHALL BE ACCURATELY SHOWN ON REVISED PLANS, WHICH SHALL BE FAVORABLY REVIEWED BY THE CIVIL ENGINEER AND CITY ENGINEER PRIOR TO INSTALLATION OF THE IMPROVEMENTS.
- THE CONTRACTOR SHALL RESTORE ALL WALLS, FENCES, SERVICES, UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE WHICH ARE DAMAGED DUE TO THE CONTRACTOR'S WORK TO THEIR PREVIOUS CONDITION.
- ALL STREET MONUMENTS AND OTHER PERMANENT MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR BEFORE ACCEPTANCE OF THE IMPROVEMENTS BY THE CITY ENGINEER; IF ANY MONUMENTS DISTURBED ARE TO BE REPLACED BY CITY SURVEYOR THERE WILL BE A MINIMUM FEE ASSESSED OF \$5,000 FOR EACH DISTURBED MONUMENT. ACTUAL FEE OWED IS DETERMINED BY THE CITY'S CURRENT FEE SCHEDULE AT THE TIME OF APPLICATION.
- EXISTING PUBLIC PEDESTRIAN WALKWAYS, BIKE PATHS AND ACCESSIBLE ACCESS PATHWAYS SHALL BE MAINTAINED TO THE SATISFACTION OF THE CITY ENGINEER DURING CONSTRUCTION.
- EXCAVATIONS SHALL BE ADEQUATELY SUPPORTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT, AND IN CONFORMANCE WITH THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA SO THAT THE SOIL WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS TO REMAIN WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM LACK OF ADEQUATE EXCAVATION SUPPORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL COMPLETE THE NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. THE CONTRACTOR SHALL PERFORM WORK IN CONFORMANCE WITH APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF THE STATE OF CALIFORNIA. CONTRACTOR SHALL COMPLY WITH OSHA REQUIREMENTS AT ALL TIMES.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL AND STORM WATER CONTROL FOR THE ENTIRE PROJECT SITE AT ALL TIMES AND IN ACCORDANCE WITH THE PROJECT DOCUMENTS AND SWPPP. IN THE EVENT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE JURISDICTIONAL AGENCIES (CITY, DTSC) RESERVE THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
- ALL CONSTRUCTION STAKING FOR CURB, GUTTER, SIDEWALK, SANITARY SEWERS, STORM DRAINS, ETC., SHALL BE DONE BY A CIVIL ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE CLIENT REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- WHEN PROJECT DOCUMENTS, STANDARDS OR REPORTS DIFFER FOR THE SAME SUBJECT MATTER, THE MORE STRINGENT SHALL GOVERN.

II. EXISTING CONDITIONS

- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL REVIEW EXISTING RECORD DOCUMENTS AND VERIFY THAT EXISTING CONDITIONS AT THE PROJECT SITE ARE AS SHOWN ON THE CONSTRUCTION DOCUMENTS FOR THIS PROJECT. CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEER IMMEDIATELY UPON DISCOVERY OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND INFORMATION SHOWN ON THESE CONSTRUCTION DOCUMENTS.
- THE UTILITY INFORMATION SHOWN IS NOT MEANT TO BE A FULL CATALOG OF EXISTING CONDITIONS. PRIOR TO COMMENCEMENT OF CONSTRUCTION, CONTRACTOR SHALL REVIEW EXISTING RECORD DRAWINGS AND CONDUCT FIELD INVESTIGATIONS TO VERIFY THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT. CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEER IMMEDIATELY UPON DISCOVERY OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND INFORMATION SHOWN ON THESE CONSTRUCTION DOCUMENTS.
- ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID UTILITY LINES.
- CONTRACTOR SHALL CONTACT USA AT (800) 227-2600 AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION OR GRADING WORK AND SHALL KEEP NOTIFICATION TICKET CURRENT.

III. GRADING

- GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.
- THE CLIENT REPRESENTATIVE SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- ALL HANDLING OF SITE SOIL INCLUDING FENCE POST EXCAVATION, PIPE LINE TRENCHING, BULK SOIL EXCAVATION, AND ANY OTHER SOIL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE SITE SPECIFIC PLANS, PROJECT GEOTECHNICAL REPORT, REMEDIAL ACTION PLAN, REMEDIATION PLAN, IMPLEMENTATION PLAN AND ENVIRONMENTAL REPORT.
- A GEOTECHNICAL CONSULTANT SHALL BE PRESENT AT THE SITE DURING BACKFILL AND GRADING OPERATIONS AND SHALL PERFORM ALL TESTING DEEMED NECESSARY. THE GEOTECHNICAL CONSULTANT SHALL OBSERVE ALL OPERATIONS AND IDENTIFY THOSE CONDITIONS WITH RECOMMENDED CORRECTIVE MEASURES TO THE CONTRACTOR AND THE ENVIRONMENTAL ENGINEER.
- ALL FILL TO BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.

IV. RECORD DRAWINGS

- CONTRACTOR SHALL KEEP ACCURATE RECORD DRAWINGS WHICH SHOW THE FINAL LOCATION, ELEVATION, AND DESCRIPTION OF ALL WORK. CONTRACTOR SHALL ALSO NOTE THE LOCATION AND ELEVATION OF ANY EXISTING IMPROVEMENTS ENCOUNTERED. RECORD DRAWINGS SHALL BE "REDLINED" AND CERTIFIED ON A SET OF CONSTRUCTION PLAN REPRODUCIBLES, AND SHALL BE DELIVERED TO THE CIVIL ENGINEER BY THE CONTRACTOR.

V. UNAUTHORIZED CHANGES AND USES

- THE CIVIL ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

VI. STATEMENT OF RESPONSIBILITY

- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

VII. SEDIMENTATION AND POLLUTION CONTROL

- CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP), PREPARED FOR THIS PHASE OF CONSTRUCTION. CONTRACTOR SHALL UPDATE THE SWPPP AS NECESSARY. A COPY OF THE SWPPP SHALL REMAIN ON-SITE THROUGHOUT CONSTRUCTION.

VIII. PROJECT NOTES

- SOURCE OF TOPOGRAPHY: EXISTING TOPOGRAPHIC SURVEY SHOWN IS BASED ON AN AERIAL TOPOGRAPHY SURVEY COMPLETED ON SEPTEMBER 19, 2002 BY AERO GEODETIC CORP, AND SUPPLEMENTAL TOPOGRAPHIC SURVEY BY BKF, OCTOBER, 2013.
- UTILITIES: UTILITY SIZING AND LOCATIONS, SITE GRADES, INCLUDING PADS AND STREETS AND LOT DIMENSIONS ARE SUBJECT TO FINAL ENGINEERING DESIGN.
- FEMA DESIGNATED FLOOD ZONE: FLOOD ZONE AE, AREAS OF MINIMAL FLOODING, PANEL NUMBER 0601C067G, DATED AUG. 3, 2009.

IX. UTILITY COMPANIES

PACIFIC GAS & ELECTRIC: NICHOLAS ESLINGER (510)437-2039
 AT&T: NEVADA GROSS (510)206-9054
 CABLECOM, LLC: RAY PEINADO (707)759-4070
 EAST BAY M.U.D.: MARK SWEARINGEN (510)287-1278

BASIS OF BEARINGS

THE BASIS OF BEARING IS "S 65° 21' 44" E" BETWEEN FOUND MONUMENTS "SHIP" AND "H130" AS SHOWN ON PAGE 2 OF 4 OF THAT UNRECORDED "RECORD OF SURVEY" MAP ENTITLED, "MONUMENT AND PLAN LINES OF THE EMBARCADERO BETWEEN 5TH AVENUE AND 19TH AVENUE" DATED JULY 2001. SAID MAP IS BEING PREPARED BY THE PORT OF OAKLAND.

BENCHMARK

ELEVATIONS SHOWN HEREIN ARE ON THE CITY OF OAKLAND VERTICAL DATUM AND BASED ON CITY OF OAKLAND BENCHMARK "CS 84": A FOUND U.S.C. & G.S. DISK AT THE CROSSING OF 5TH AVENUE AND THE SOUTHERN PACIFIC RAILROAD, BENEATH THE SOUTHBOUND LANES OF THE 880 FREEWAY, SET IN THE NORTHERLY FACE OF A COLUMN, APPROXIMATELY 25' WEST OF THE CENTERLINE OF 5TH AVENUE, 4.4 FEET ABOVE GROUND. ELEVATION = 9.164 FT, CITY OF OAKLAND DATUM.

DATUM SUMMARY

BENCHMARK CITY OF OAKLAND DATUM
 CITY OF OAKLAND BENCHMARK "CS84"
 FOUND USCS&G DISK AT THE CROSSING OF 5TH AVENUE AND THE SOUTHERN PACIFIC RAILROAD, BENEATH THE SOUTH-BOUND LANES OF 880 FREEWAY, SET IN NORTHERLY FACE COLUMN, APPROXIMATELY 25' WEST OF THE CENTERLINE OF 5TH AVENUE AND 4.4 FEET ABOVE THE GROUND.
 ELEVATION USED: 9.16 FT, CITY OF OAKLAND DATUM
 NOTE BENCHMARK IS NOW DESTROYED. INFORMATION SHOWN IS BASED ON OBSERVATIONS AND DATA PROVIDED IN 2002. NOT CURRENT.

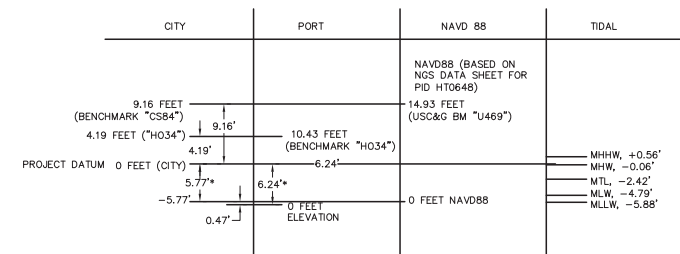
BENCHMARK PORT DATUM ELEVATION
 PORT OF OAKLAND BENCHMARK "H034 TBM"
 FOUND BRASS DISK "SHIP" IN MONUMENT WELL STAMPED "EBMUD CONTROL SURVEY SHIP 1960" OPPOSITE ENTRANCE TO KAISER CEMENT, 401 EMBARCADERO. ELEVATION USED: 10.43 FT, PORT OF OAKLAND DATUM

GEOTECHNICAL REPORT

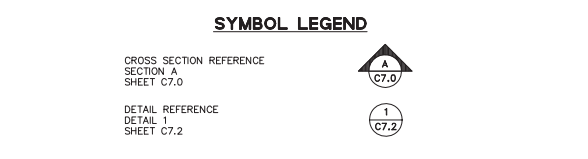
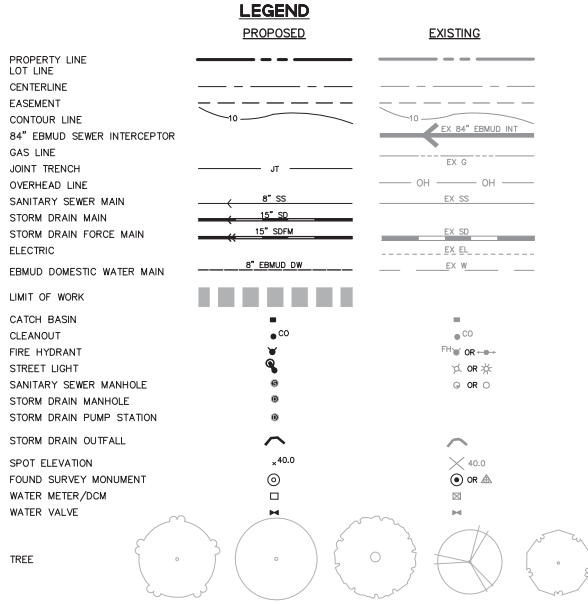
THE GEOTECHNICAL REPORT TITLED "BROOKLYN BASIN PHASE I INFRASTRUCTURE IMPROVEMENTS-OAKLAND, CA" WAS PREPARED BY ENGEO ON NOVEMBER 12, 2013. THE GEOTECHNICAL PAVEMENT RECOMMENDATIONS SUPPLEMENTAL LETTER WAS PREPARED BY ENGEO INCORPORATED ON FEBRUARY 17, 2015.

ENVIRONMENTAL REPORT

THE ENVIRONMENTAL REPORT TITLED "FINAL RESPONSE PLAN/REMEDIAL ACTION PLAN, OAK-TO-NINTH PROJECT, OAKLAND, CALIFORNIA" WAS WRITTEN BY EKI ON JUNE 2010.
 THE ENVIRONMENTAL REPORT TITLED "DRAFT IMPLEMENTATION PLANS FOR PARCELS F&G, T, CWA, A, B, AND C, BROOKLYN BASIN PROJECT, OAKLAND, CALIFORNIA" WAS WRITTEN BY EKI ON FEBRUARY OF 2014.



- TO CHANGE FROM CITY ELEVATION TO A PORT ELEVATION: SUBTRACT 6.24 FEET.
 - TO CHANGE FROM PORT ELEVATION TO A CITY ELEVATION: ADD 6.24 FEET.
- * BENCHMARK DIAGRAM (UPDATED 5/2017)



ABBREVIATIONS

SYMBOL	DESCRIPTION
⊙	AT
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
AF	BACK FLOW PREVENTOR
BFP	BACK FLOW PREVENTOR
BLDG	BUILDING
BO	BACK OF WALK
CB	CATCH BASIN
CC	CELLULAR CONCRETE
C&G	CURB AND GUTTER
CL	CENTERLINE
CO	CLASS
DI	DROP INLET
DW	DOMESTIC WATER
E	EAST
EL	ELECTRICAL OR ELEVATION
EC	END CURB RETURN
EA	EMERGENCY VEHICLE ACCESS EASEMENT
EVC	END VERTICAL CURVE
EX	EXISTING
FC	FACE OF CURB
FH	FIRE HYDRANT
FL	FLOW LINE
FM	FORCE MAIN
FS	FIRE SERVICE
FW	FIRE WATER
GAS	GAS
GB	GRADE BREAK
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT OR HORSE POWER
INV	INVERT
IP	IMPLEMENTATION PLAN
JT	JOINT TRENCH
L	LENGTH
L/S	LANDSCAPING
LW	LIMIT OF WORK
LP	LOW POINT
MH	MANHOLE
MEH	MEAN HIGH WATER
MHHW	MEAN HIGHER HIGH WATER
MTL	MEAN TIDE LEVEL
MON	MONUMENT
ON	ON CENTER
OFF	OFFSET
OH	OVERHEAD
OS	OPEN SPACE
PAE	PAVEMENT GRADE
PCC	PUBLIC ACCESS EASEMENT
POC	POINT OF CONTINUOUS CURVE
POB	POINT OF BEGINNING
POS	PUBLIC OPEN SPACE
PR	PROPOSED
PRC	POINT OF REVERSE CURVE
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE
R	RADIUS
RAP	REMEDIAL ACTION PLAN
RCP	REINFORCED CONCRETE PIPE
RIM	RIM ELEVATION
RW	RECLAIMED WATER
RFP	REMEDATION PLAN
R/W	RIGHT OF WAY
S	SOUTH
SD	STORM DRAIN
SDE	STORM DRAIN EASEMENT
SF	SQUARE FEET
SL	STREET LIGHT
SS	SANITARY SEWER
STA	STATION
SW	SIDEWALK
TC	TOP OF CURB
TEL	TELEPHONE
TYP	TYPICAL
VC	VERTICAL CURB
VG	VALLEY GUTTER
WEST	WEST
W	WATERLINE
WL	WATER METER
WM	WATER METER BOX
WV	WATER VALVE

ENGINEER'S STATEMENT

THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

 TODD M. ADAIR, P.E.
 PRINCIPAL/VICE PRESIDENT
 BKF ENGINEERS



DATE

 ASHLEY STANLEY, P.E.
 PROJECT MANAGER
 BKF ENGINEERS



DATE

CITY OF OAKLAND

APPROVED: CITY OF OAKLAND FIRE DEPARTMENT (FOR STREET NAMES, FIRE HYDRANT SPACING AND FIRE SERVICE LOCATION AND CONSTRUCTION DETAILS.)

BY: _____ DATE: _____

APPROVED: CITY OF OAKLAND TRAFFIC ENGINEERING DEPARTMENT

BY: _____ DATE: _____

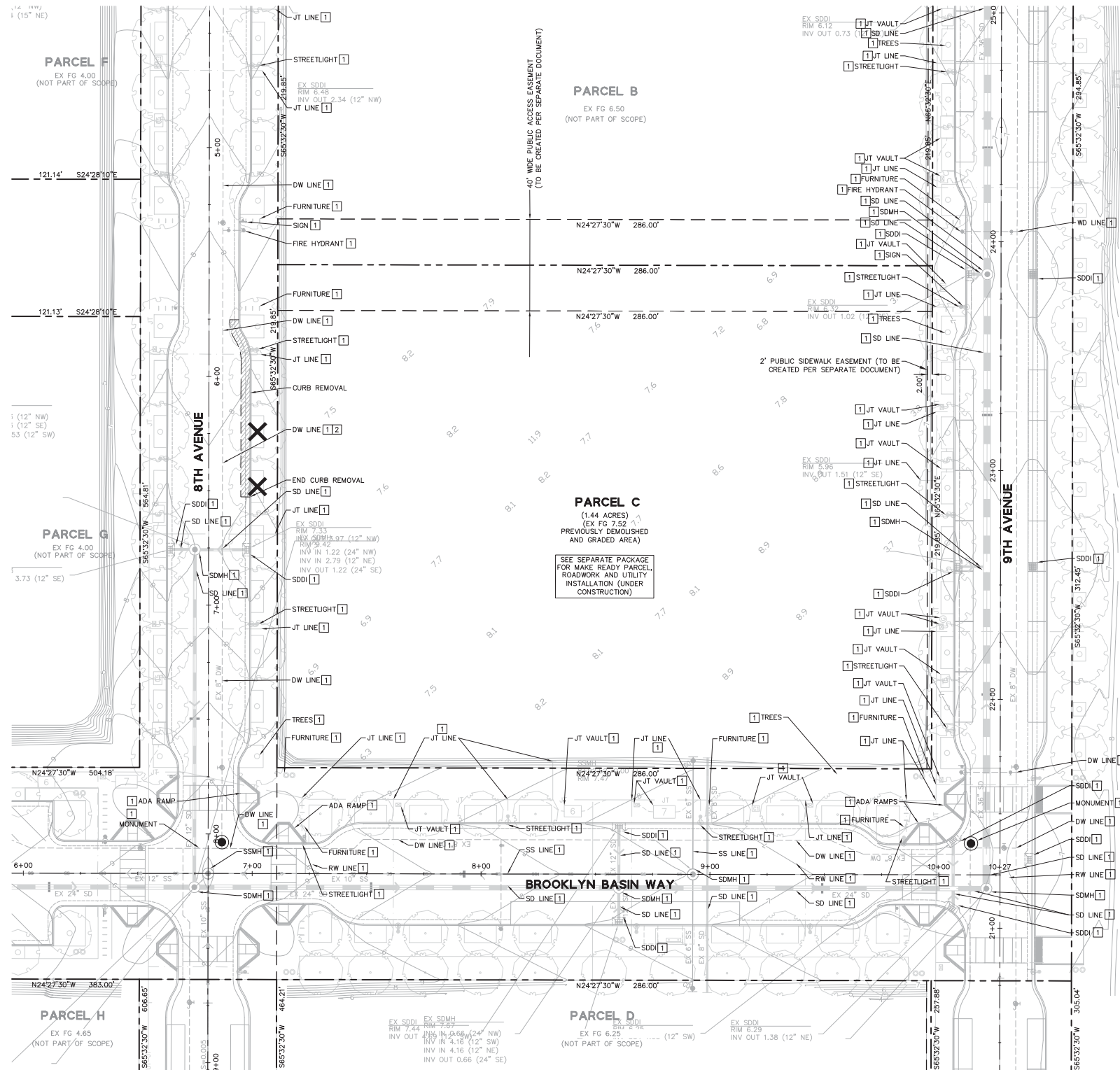
APPROVED: CITY OF OAKLAND ELECTRICAL SERVICES

BY: _____ DATE: _____

APPROVED: CITY OF OAKLAND ENGINEERING DEPARTMENT

BY: _____ DATE: _____





SHORELINE PARK
(NOT PART OF SCOPE)

DEMOLITION LEGEND:

- SAWCUT, DEMO, AND REMOVE EXISTING HARDSCAPE INCLUDING FULL DEPTH AC WITHIN THIS HATCH UNLESS OTHERWISE CALLED OUT AS PROTECT IN PLACE.
- BOUNDARY
- EASEMENT
- DEMOLISH EXISTING UTILITY

LEGEND:

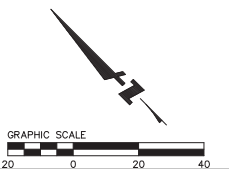
- EXISTING STORM DRAIN
- SANITARY SEWER
- EBMUD DOMESTIC WATER
- JOINT TRENCH
- FIRE HYDRANT
- CATCH BASIN
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- STORM DRAIN PUMP STATION
- ROADSIDE SIDE
- STREET LIGHT
- MONUMENT
- TREE
- REMOVE EXISTING TREE

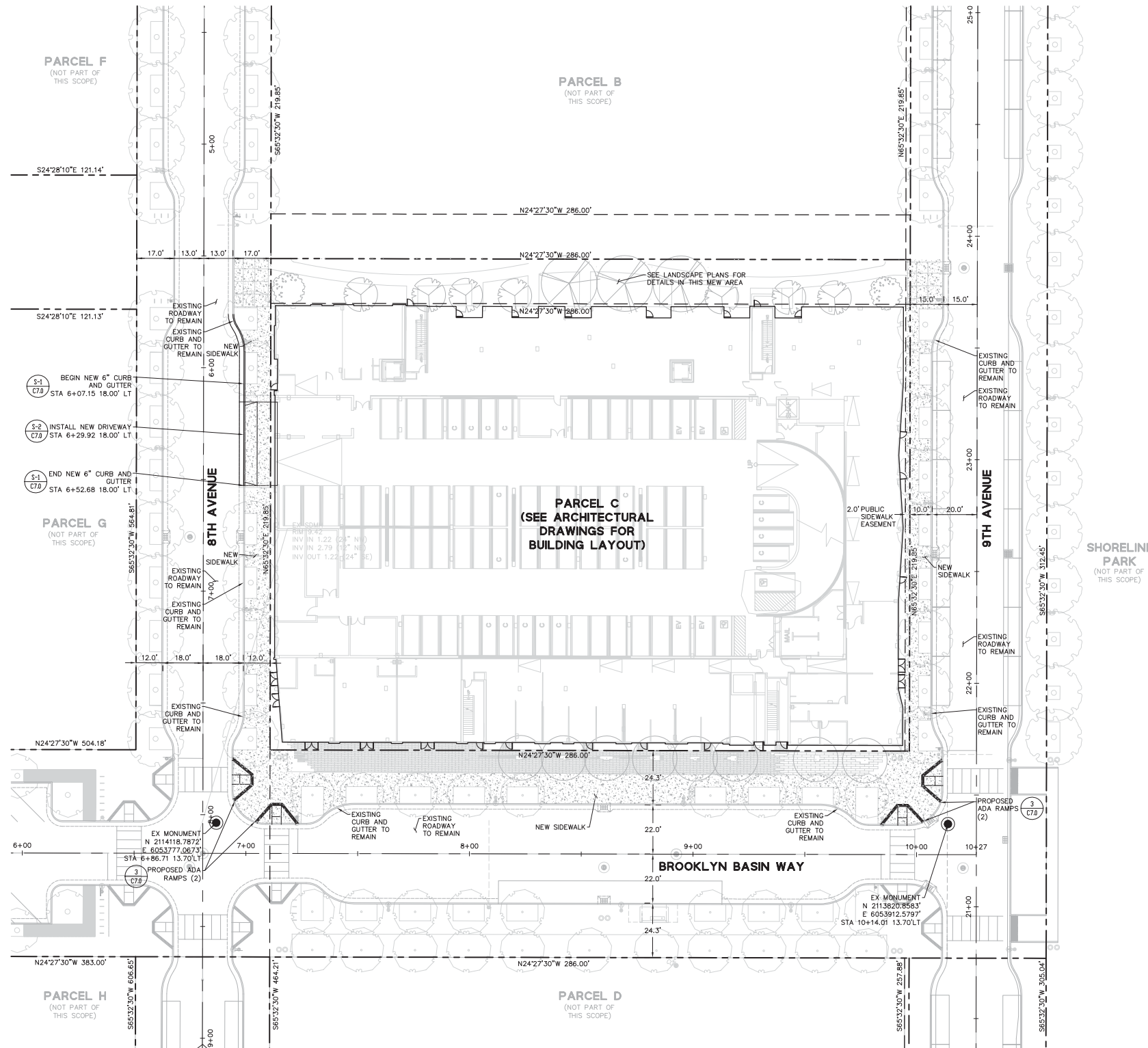
KEYNOTE LEGEND:

- EXISTING FACILITY TO REMAIN.
- EXISTING FACILITY TO BE PROTECTED IN PLACE.





SHEET NOTES:

1. SEE SEPARATE DESIGN PACKAGE FOR MAKE-READY ROADWORK AND UTILITY INSTALLATION, WHICH IS UNDER CONSTRUCTION. PLANS ARE DATED MARCH 27, 2015, TITLED "PHASE I ON-SITE IMPROVEMENT PLANS BROOKLYN BASIN"
2. PARCEL C IS AN EXISTING PARCEL, CREATED BY TRACT MAP 7621, DATED JULY 2014, PREPARED BY BKF ENGINEERS.



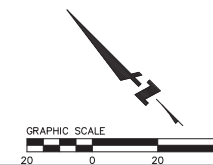


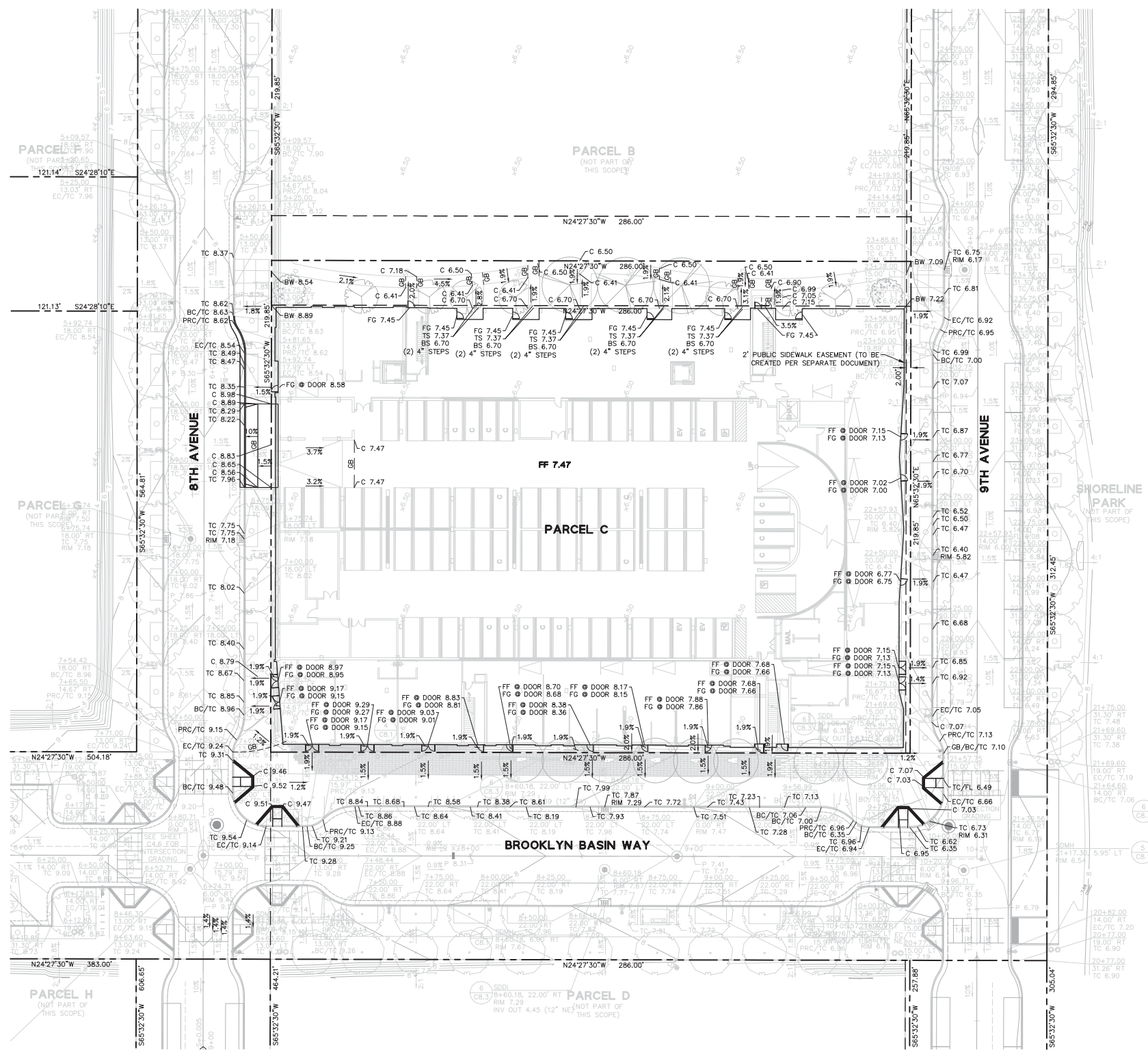
LEGEND:

-  EXISTING TREE
-  EXISTING LIGHT, SEE LANDSCAPE PLAN
-  EXISTING MONUMENT
-  PROPOSED SIDEWALK

NOTES:

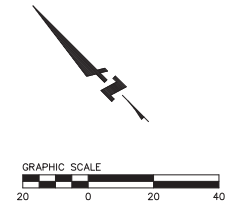
1. EXISTING SITE AND SURROUNDING ROADWAY AND PARCELS WERE PREVIOUSLY DEVELOPED DURING PHASE 1 OF THE BROOKLYN BASIN DEVELOPMENT. REFER TO PHASE 1 ON-SITE DRAWINGS FOR MORE DETAILS.
2. BUILDING SHOWN FOR REFERENCE ONLY. SEE ARCHITECTURAL PLANS FOR BUILDING DETAILS.
3. LANDSCAPE SHOWN FOR REFERENCE ONLY. SEE LANDSCAPE DRAWINGS FOR DETAILS.

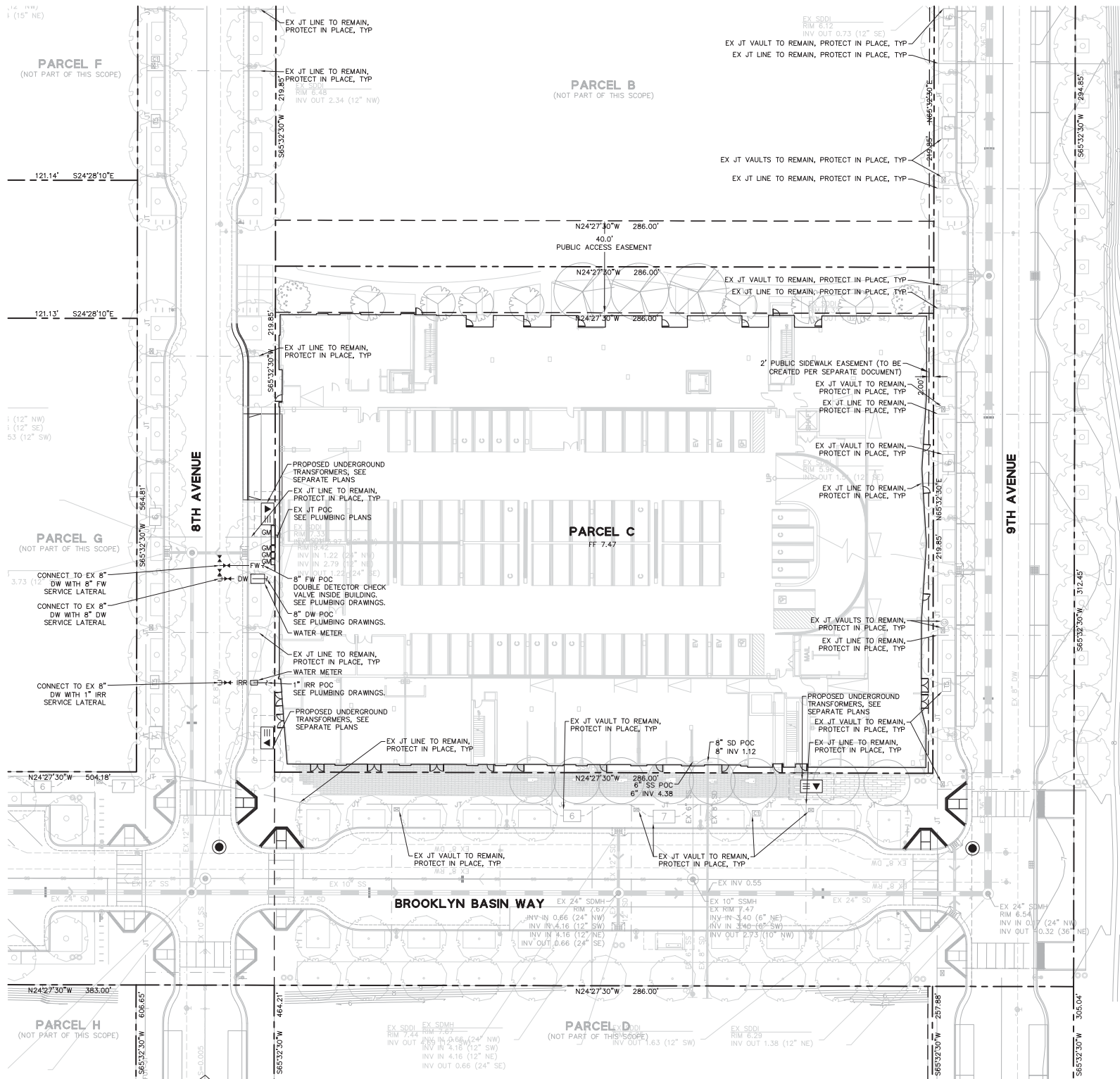




NOTES:

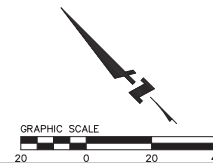
1. ALL ELEVATIONS AT FINISHED FLOORS ARE SET 0.02 FEET (1/4 INCHES) BELOW THE FINISHED FLOOR ELEVATION. SEE ARCHITECTURAL PLANS FOR INTERIOR SLAB DETAILS.
2. EXISTING SITE AND SURROUNDING ROADWAY AND PARCELS WERE PREVIOUSLY DEVELOPED DURING PHASE 1 OF THE BROOKLYN BASIN DEVELOPMENT. REFER TO PHASE 1 ON-SITE DRAWINGS FOR MORE DETAILS.
3. BUILDING SHOWN FOR REFERENCE ONLY. SEE ARCHITECTURAL PLANS FOR BUILDING DETAILS.
4. LANDSCAPE SHOWN FOR REFERENCE ONLY. SEE LANDSCAPE DRAWINGS FOR DETAILS.
5. EXISTING UTILITIES SHOWN ON THIS PLAN ARE DERIVED FROM DATA AND/OR SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE (TOGETHER WITH PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN IN THIS PLAN) SHALL BE VERIFIED BY THE CONTRACTOR DURING CONSTRUCTION.
6. CONTRACTOR TO REFER TO LANDSCAPE PLANS FOR GRADING IN LANDSCAPE AREAS.
7. FILL SHALL NOT BE PLACED UNTIL PREPARATION OF SUBGRADE IS APPROVED BY THE GEOTECHNICAL ENGINEER.
8. IF THERE ARE ANY ELEVATION DISCREPANCIES ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR DIRECTION PRIOR TO PLACEMENT OF ANY CURBS, CONCRETE, OR ASPHALT PAVING.

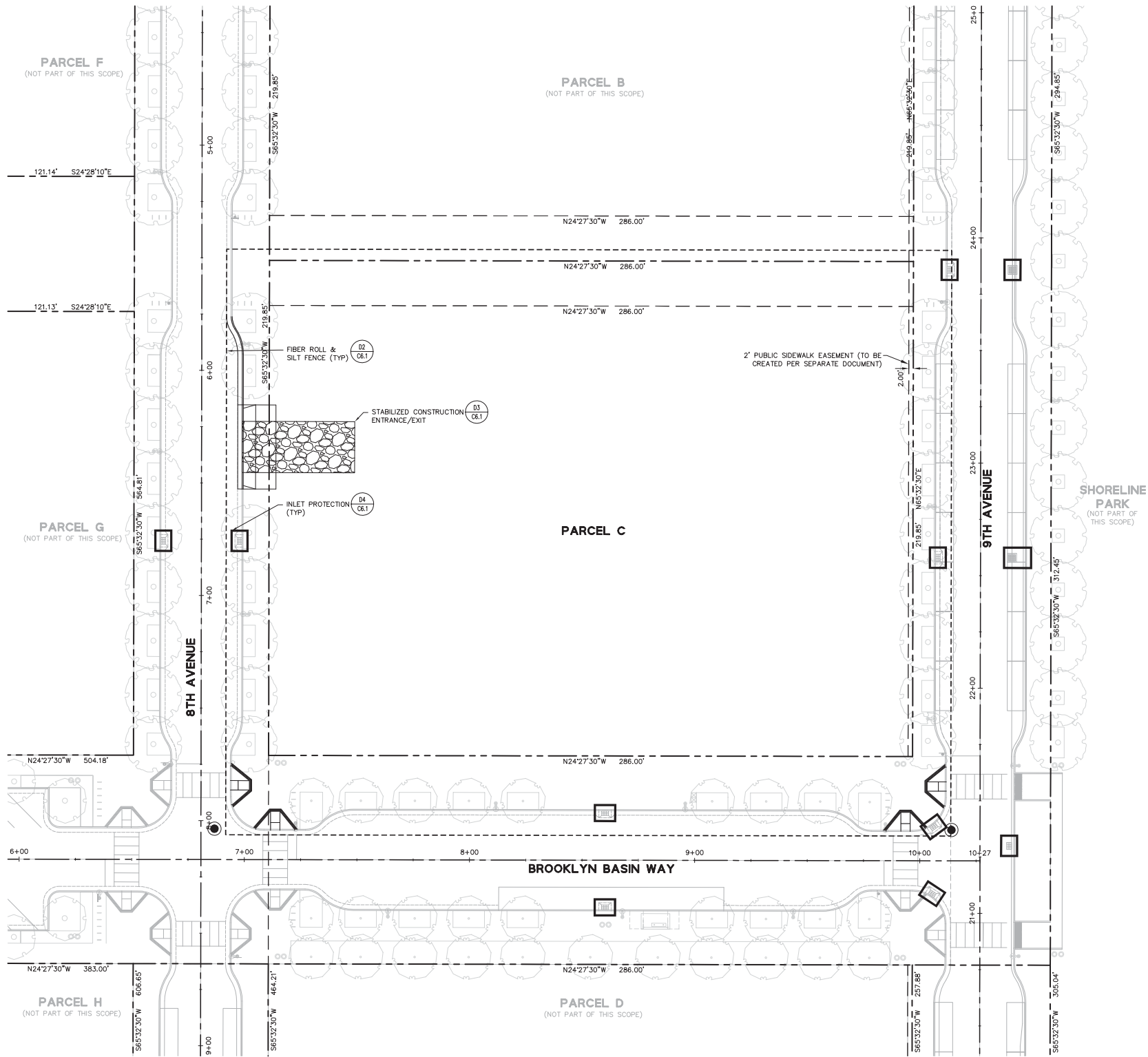




NOTES:

1. DOMESTIC WATER, FIRE WATER, AND IRRIGATION WATER SIZES ARE SHOWN FOR PLANNING PURPOSES ONLY. SIZES TO BE CONFIRMED DURING THE CONSTRUCTION DOCUMENTS PHASE.
2. THE CIVIL SCOPE OF WORK ENDS 5' OUTSIDE OF THE BUILDING. UTILITIES ON THE BUILDING-SIDE OF THIS LIMIT ARE TO BE DESIGNED BY A SEPARATE PLUMBING CONSULTANT.
3. EXISTING UTILITIES SHOWN ON THIS PLAN ARE DERIVED FROM DATA AND/OR SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE, TOGETHER WITH PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN IN THIS PLAN, SHALL BE VERIFIED BY THE CONTRACTOR DURING CONSTRUCTION.
4. GROUNDWATER TABLE VARIES BETWEEN 2' TO 8' BELOW GROUND SURFACE BASED ON THE "GEO-TECHNICAL REPORT BROOKLYN BASIN PHASE 1 INFRASTRUCTURE IMPROVEMENTS" PREPARED BY ENGEO, DATED NOVEMBER 12, 2013. GROUNDWATER ELEVATIONS ARE CONSIDERED UNSTABILIZED AND ACTUAL GROUNDWATER ELEVATIONS MAY VARY.
5. NOT ALL PIPE FITTINGS ARE SHOWN. CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL ALL NECESSARY FITTINGS TO COMPLETE WORK.
6. CONTRACTOR TO REFER TO LANDSCAPE PLANS FOR LANDSCAPE, IRRIGATION CONTROLS, AND STUB OUTS.
7. JOINT TRENCH SHOWN FOR REFERENCE ONLY. CONTRACTOR TO REFER TO JOINT TRENCH PLANS FOR JOINT TRENCH VAULT AND CONDUITS FOR APPROVED PG&E ROUTING.
8. ALL VALVES FOR FIRE HYDRANT LATERALS SHALL BE LOCATED 2' FROM MAIN. SEE EBMUD STANDARDS FOR REQUIREMENTS.
9. ALL PIPE MATERIALS FOR WATER SYSTEM SHALL BE PVC C-900, UNLESS OTHERWISE NOTED. DESIGN PER EBMUD. SEE SEPARATE PLANS FOR DETAILS.
10. ALL PIPE MATERIAL FOR SANITARY SEWER SYSTEM SHALL BE HDPE SDR17 (FUSION WELDED), UNLESS OTHERWISE NOTED.
11. ALL STORM DRAIN INLETS SHALL BE MARKED WITH THE CITY OF OAKLAND STEEL STORM DRAIN MARKER "NO DUMPING, DRAINS TO BAY".
12. EBMUD WATER MAINS ARE SHOWN FOR COORDINATION PURPOSES ONLY. EBMUD TO PROVIDE WATER LINE DESIGN.



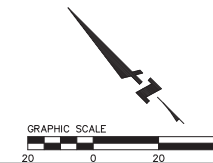


LEGEND:

- PARCEL BOUNDARY
- FIBER ROLL & SILT FENCE (D1, D2, C6.1)
- STABILIZED CONSTRUCTION ENTRANCE/EXIT (D3, C6.1)
- INLET PROTECTION (D4, C6.1)

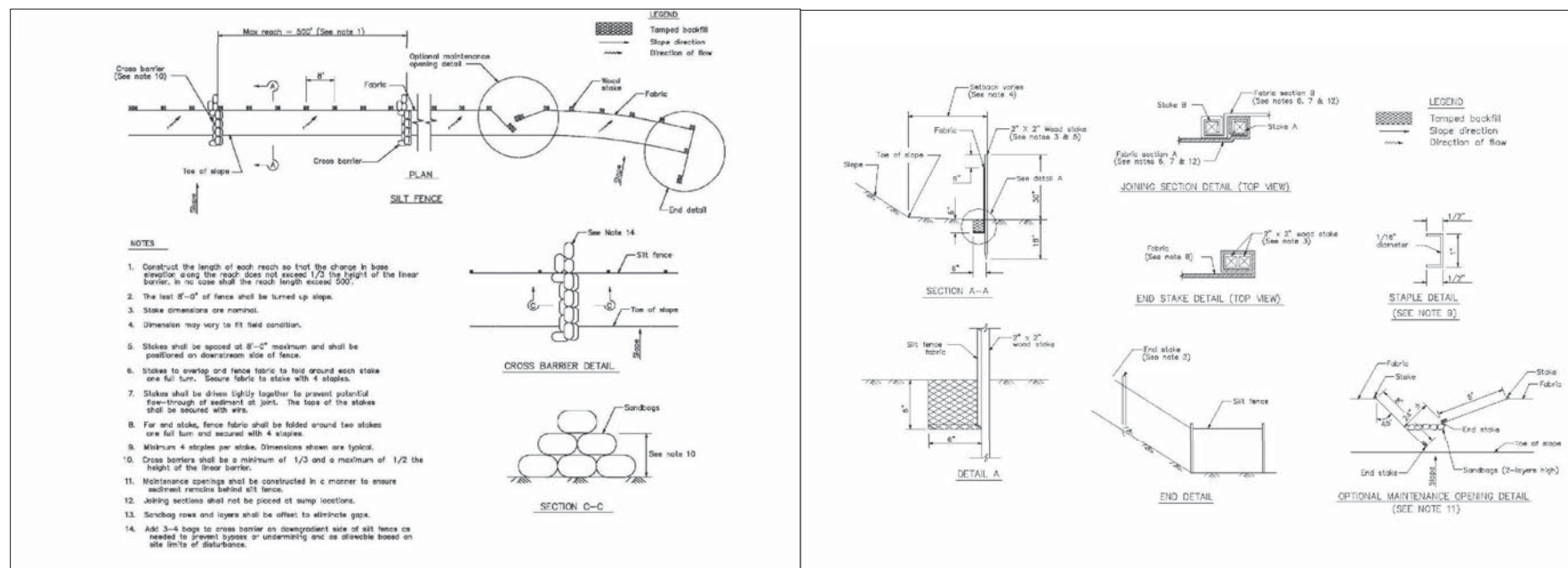
NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS FOR GENERAL EROSION CONTROL MEASURES. SITE SPECIFIC MEASURES SHALL BE DONE BY THE OSP ON SITE.
2. FIELD CONDITIONS GOVERN OVER THE CONDITIONS SHOWN ON THIS DRAWING DUE TO THE SURROUNDING PROJECT SITE ALREADY BEING CONSTRUCTED PER THE APPROVED PHASE 1 ON-SITE BROOKLYN BASIN DRAWINGS.

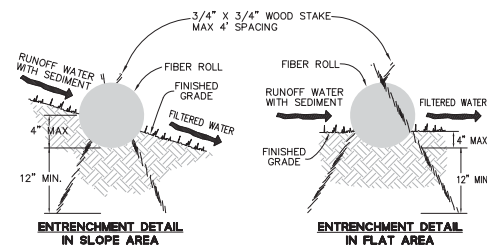


EROSION CONTROL NOTES:

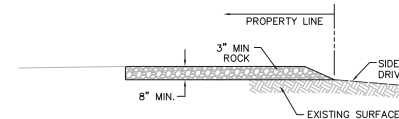
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT, ENVIRONMENTAL REPORT, RESPONSE PLAN/REMEDIATION ACTION PLAN, IMPLEMENTATION PLAN AND PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
2. ALTHOUGH SPECIFIC LOCATIONS FOR SEDIMENT CONTROL FACILITIES ARE SHOWN ON THESE PLANS, IT IS INTENDED THAT THIS EROSION CONTROL PLAN BE MODIFIED WHEN NECESSARY TO MEET FIELD CONDITIONS.
3. THE INTENT OF THESE PLANS IS TO PROVIDE THE INITIAL CONCEPT FOR INTERIM EROSION CONTROL. THE CONTRACTOR AND THE PROJECT QSD/QSP SHALL UPDATE THE PLANS TO REFLECT CHANGING SITE CONDITIONS. PLAN UPDATES SHALL BE BASED UPON CHANGING FIELD CONDITIONS. EROSION CONTROL EFFECTIVENESS SHALL ALSO BE MONITORED AND THE PLANS MODIFIED AS REQUIRED TO PREVENT SEDIMENT FROM ENTERING THE DOWNSTREAM DRAINAGE SYSTEM AS REQUIRED PER THE CONSTRUCTION GENERAL PERMIT (CGP). THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION.
4. FIBER ROLLS SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
5. AS REQUIRED IN THE CGP, PUBLIC ROADS WITHIN THE HAUL ROUTE SHALL BE CLEANED.
6. BEST MANAGEMENT PRACTICES, AS DEFINED IN THE SWPPP, SHALL BE OPERABLE YEAR AROUND.
7. FOLLOW THE CITY'S MET WEATHER GRADING PERMIT REQUIREMENTS FOR WORK FROM OCTOBER 15TH THROUGH APRIL 15TH.
8. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED DAILY. ALL SLOPES SHALL BE REPAIRED AS SOON AS POSSIBLE WHEN DAMAGED.
9. ALL TRUCK TIRES SHALL BE CLEANED PRIOR TO EXITING THE PROPERTY.
10. DURING PERIODS WHEN STORMS ARE FORECAST, FOLLOW THE PROJECT SWPPP AND CONSTRUCTION GENERAL PERMIT REQUIREMENTS.
11. EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH STORM AND REPAIRED OR MODIFIED AS REQUIRED TO PROVIDE APPROPRIATE EROSION CONTROL MEASURES AS REQUIRED IN THE SWPPP AND CGP.
12. HAUL ROADS SHALL BE OBSERVED AND EROSION CONTROL MEASURES SHALL BE PLACED, AS NECESSARY.
13. THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE PROVIDED TO THE CITY.
14. IF IT SHOULD APPEAR THAT THE EROSION CONTROL PLAN, OR ANY OTHER MATTER THEREOF, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT SIMON NORTH AT (650) 482-8377 TO RESOLVE ANY QUESTIONS AND REQUEST MODIFICATIONS TO THIS PLAN.
15. FOLLOW ALL REQUIREMENTS FOR A RISK LEVEL 1 PROJECT, AS DEFINED IN THE CGP.
16. THE CONTRACTOR'S QUALIFIED SWPPP PRACTITIONER (QSP) IS RESPONSIBLE FOR MAKING AVAILABLE THE ORIGINAL SWPPP AT THE CONSTRUCTION SITE DURING WORKING HOURS WHILE CONSTRUCTION IS OCCURRING AND THE SWPPP SHALL BE MADE AVAILABLE UPON REQUEST BY THE CITY OR STATE INSPECTOR.
17. IF THERE IS ANY CHANGE OR ABSENCE OF THE QSP ASSIGNED TO THE PROJECT THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR IMMEDIATELY AND PROVIDE THE CITY INSPECTOR WITH NAME AND CONTACT INFORMATION OF ANY QUALIFIED REPLACEMENT QSP WITHIN 72 HOURS.
18. ALL AMENDMENTS PROPOSED OR IMPLEMENTED TO THE SWPPP SHALL BE APPROVED AND SIGNED BY THE QUALIFIED SWPPP DEVELOPER (QSD).



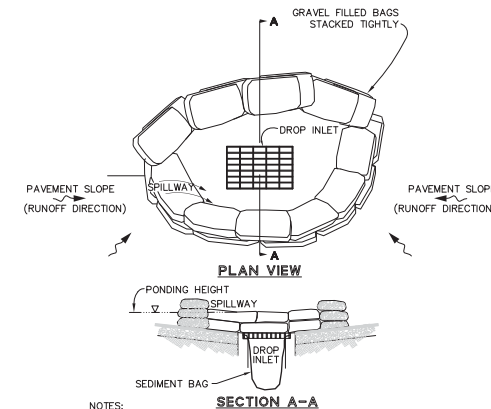
D1
SILT FENCE DETAIL
 SCALE : NTS



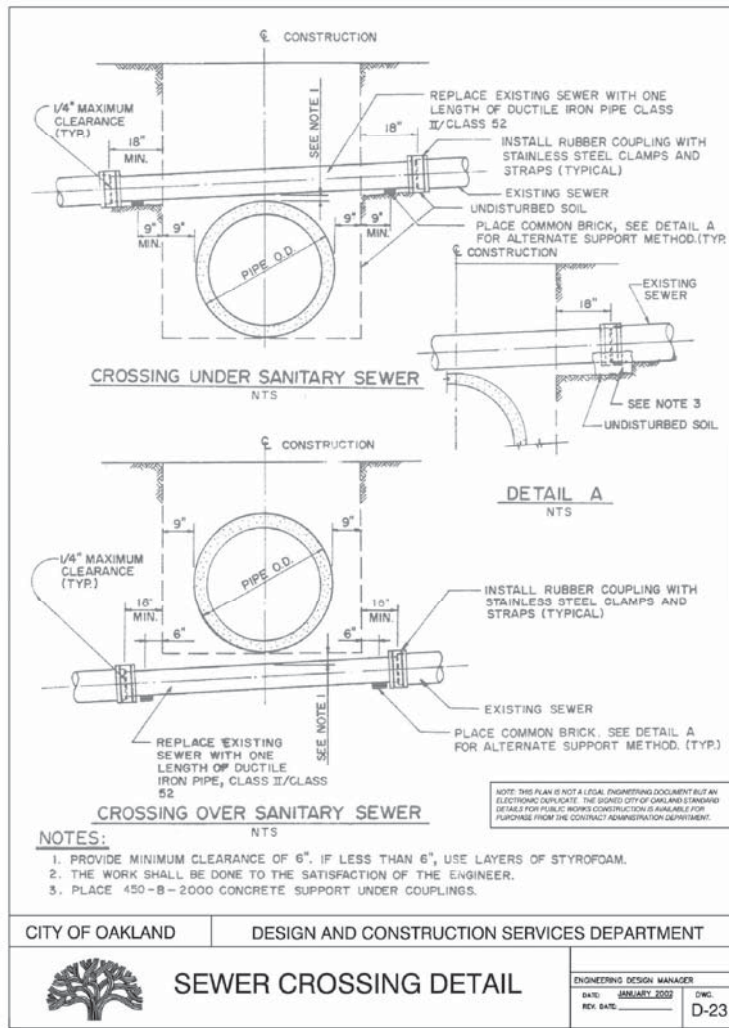
D2
FIBER ROLL DETAIL
 NTS



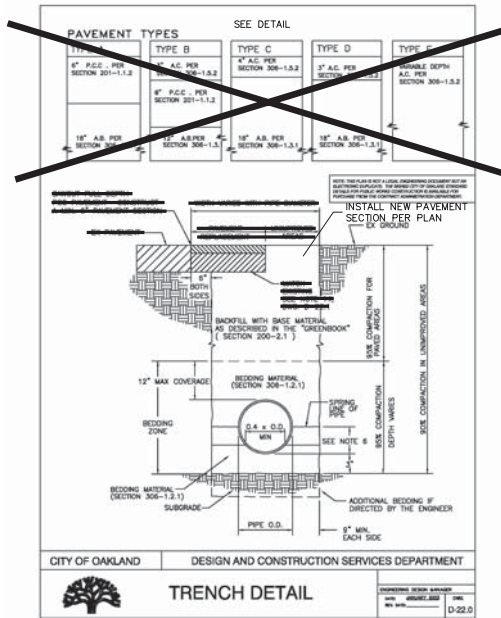
D3
STABILIZED CONSTRUCTION ENTRANCE DETAIL
 SCALE : NTS



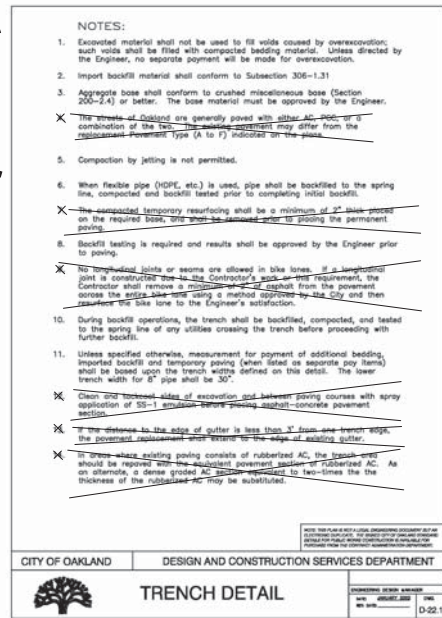
D4
INLET PROTECTION DETAIL
 SCALE : NTS



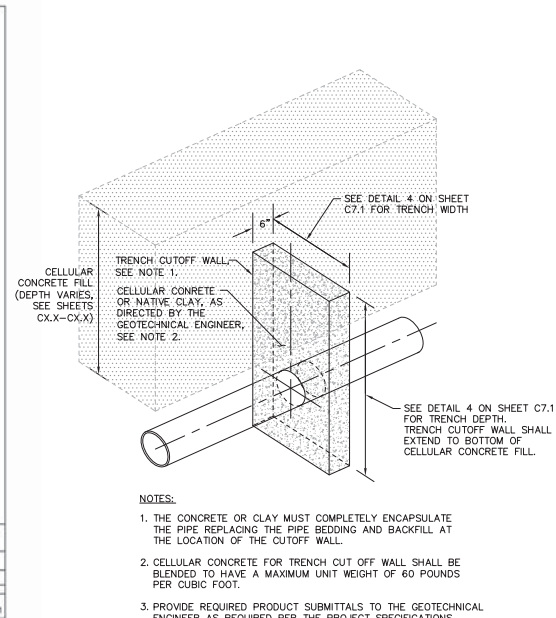
1 - SEWER CROSSING DETAIL - MODIFIED



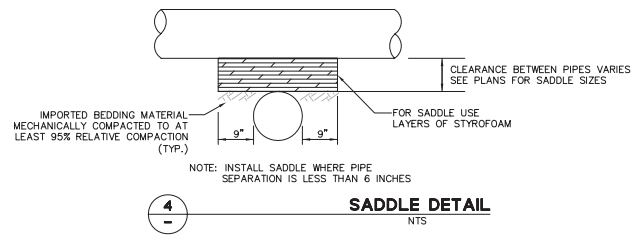
2 - TRENCH DETAIL MODIFIED FOR NEW CONSTRUCTION



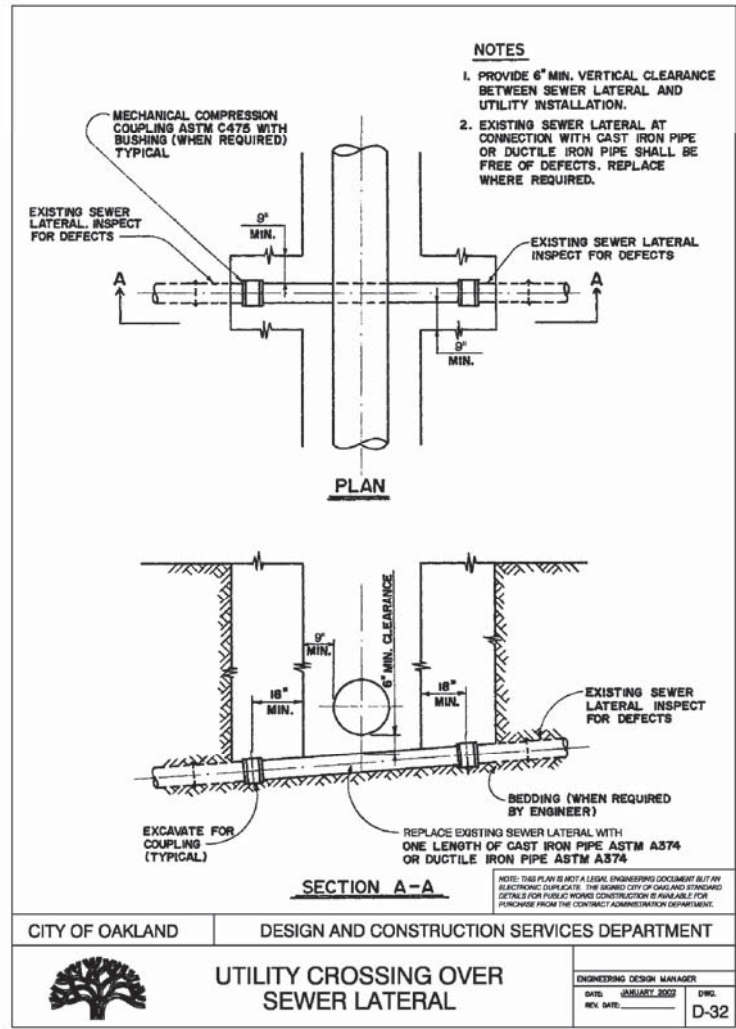
3 - TRENCH DETAIL NOTES MODIFIED FOR NEW CONSTRUCTION



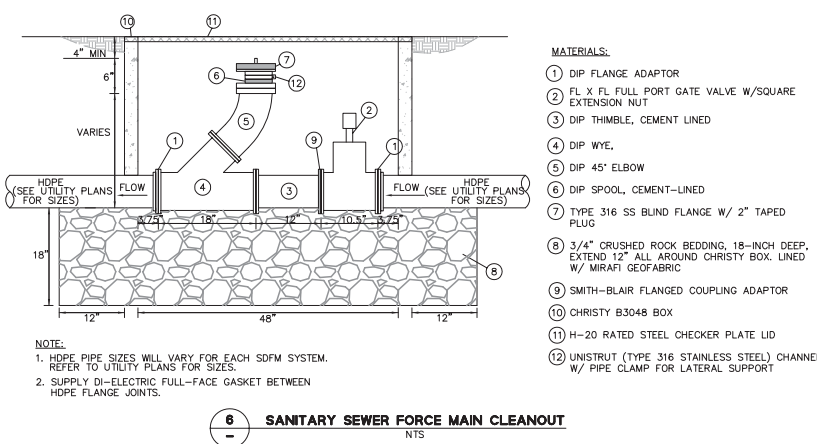
5 - TRENCH CUTOFF WALL DETAIL



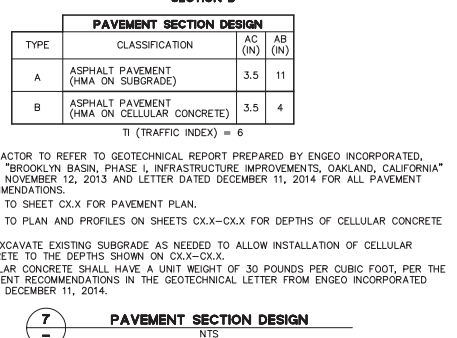
4 - SADDLE DETAIL



8 - UTILITY CROSSING OVER SEWER - MODIFIED



6 - SANITARY SEWER FORCE MAIN CLEANOUT



7 - PAVEMENT SECTION DESIGN