

LAKE MERRITT BART DEVELOPMENT

VESTING TENTATIVE TRACT MAP NO. 8560 (BLOCK 1) AND 8577 (BLOCK 2) TRACT MAP NO. 8560, A 3 LOT SUBDIVISION AND REMAINDER LOT (2 RESIDENTIAL UNITS, 2 COMMERCIAL UNITS, AND 2 NON-CONDOMINIUM PARCELS) TRACT MAP NO. 8577, A 2 LOT SUBDIVISION (1 RESIDENTIAL UNIT AND 5 COMMERCIAL UNITS) CITY OF OAKLAND ALAMEDA COUNTY STATE OF CALIFORNIA

PROJECT DESCRIPTION

BLOCK 1 (TRACT MAP NO. 8560)

THE PROJECT IS PROPOSING TO DEMOLISH THE EXISTING PAVEMENT AND STRUCTURES ON BLOCK 1, BOUND BY 8TH STREET, FALLON STREET, 9TH STREET, AND OAK STREET. A NEW MARKET RATE RESIDENTIAL BUILDING (BUILDING A), A NEW SENIOR HOUSING BUILDING (BUILDING B), AND A NEW PEDESTRIAN PASEO WILL BE CONSTRUCTED ON THE PROPERTY SITE AND WILL MAINTAIN AND IMPROVE ACCESS TO THE EXISTING LAKE MERRITT BART STATION. THE PROJECT WILL REMOVE THE 11 EXISTING LOTS AND WILL BE SUBDIVIDED INTO 3 NEW LOTS AND 1 REMAINDER PARCEL.

BLOCK 2 (TRACT MAP NO. 8577)

THE PROJECT IS PROPOSING TO DEMOLISH THE EXISTING PAVEMENT AND STRUCTURES ON BLOCK 2, BOUND BY 7TH STREET, OAK STREET, 8TH STREET, AND MADISON STREET. A NEW OFFICE BUILDING (BUILDING C) AND A NEW AFFORDABLE HOUSING BUILDING (BUILDING D) WILL BE CONSTRUCTED ON THE PROPERTY SITE. THE PROJECT WILL SUBDIVIDE THE EXISTING LOT INTO 2 NEW LOTS.

GENERAL NOTES

- VESTING TENTATIVE TRACT MAP:** THESE VESTING TENTATIVE TRACT MAPS ARE BEING FILED IN ACCORDANCE WITH CHAPTER 3, ARTICLE 2, SECTION 66452 AND WITH CHAPTER 2, ARTICLE 1, SECTION 66426 OF THE SUBDIVISION MAP ACT.
- CONDOMINIUM UNITS AND NON-CONDOMINIUM PARCELS:**
 - VESTING TRACT MAP NO. 8560 (BLOCK 1) - A 3 LOT SUBDIVISION WITH 1 REMAINDER PARCEL BEING: 1 RESIDENTIAL CONDOMINIUM UNIT AND 1 COMMERCIAL CONDOMINIUM UNIT AS TO LOT 1, 1 RESIDENTIAL CONDOMINIUM UNIT AND COMMERCIAL CONDOMINIUM UNIT AS TO LOT 2, AND 2 NON-CONDOMINIUM PARCELS AS TO LOT 3 AND A REMAINDER PARCEL.
 - VESTING TRACT MAP NO. 8577 (BLOCK 2) - A 2 LOT SUBDIVISION BEING: 4 COMMERCIAL CONDOMINIUM UNITS AS TO LOT 1, AND 1 RESIDENTIAL CONDOMINIUM UNIT AND 1 COMMERCIAL CONDOMINIUM UNIT AS TO LOT 2.
- MULTIPLE TRACT MAPS:** THE DEVELOPER INTENDS TO FILE TWO TRACT MAPS PURSUANT TO CHAPTER 3, ARTICLE 4, SECTION 66456.1 OF THE SUBDIVISION MAP ACT.
- SOURCE OF TOPOGRAPHY:** EXISTING TOPOGRAPHIC INFORMATION SHOWN IS BASED ON A SURVEY UNDER THE SUPERVISION OF DAVIS THRESH, PLS #6868, PERFORMED ON MAY 13TH, MAY 15TH, AND MAY 22ND, 2019. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- FEMA DESIGNATED FLOOD ZONE:** PURSUANT TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, COMMUNITY NO. 06001C0067H, EFFECTIVE DATE DECEMBER 21, 2018, THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE 'X' - AREAS DETERMINED OF MINIMAL FLOOD HAZARD.
- UTILITIES:** UNDERGROUND UTILITIES PLOTTED HEREON WERE PLOTTED FROM A COMBINATION OF FIELD SURVEY, OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZE, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE ENGINEER FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.
- BOUNDARY:** THE PROPERTY BOUNDARY SHOWN HERON IS BASED UPON RESOLUTIONS OF RECORD STREET AND LOT DIMENSIONS AND COLLECTED STREET MONUMENT LOCATIONS WITHIN THE SURROUNDING STREETS. MONUMENT COLLECTION WAS CONDUCTED ON APRIL 19, 2019. NO CURRENT MAP OR RECORD OF SURVEY CURRENTLY EXISTS FOR THE MAPPED BLOCKS; DEEDS MAKE REFERENCE TO KELLERSBERGER'S MAP OF OAKLAND FILED IN BOOK 7 OF MISCELLANEOUS MAPS AT PAGE 3, ALAMEDA COUNTY RECORDS.
- HORIZONTAL CONTROL:** HORIZONTAL COORDINATES ARE BASED OFF OF CALIFORNIA STATE PLANE COORDINATE SYSTEM (CCS83), EPOCH 2017.00.
- BENCHMARK:** FOUND BRASS PIN IN MONUMENT WELL ON MEDIAN ISLAND AT THE CENTERLINE OF FALLON STREET AND 8TH STREET. ELEVATION = 23.062 (NAVD88)
ELEVATIONS SHOWN ARE ON NAVD88, NOT ON CITY OF OAKLAND VERTICAL DATUM (COOVD). A COMPARISON BETWEEN COLLECTED INFORMATION ON NAVD88 AND COOVD BENCHMARKS RESULTED IN AN OBSERVED DIFFERENCE OF 5.68 FT; SUBTRACTING SHOWN NAVD88 ELEVATIONS BY 5.68 WILL RESULT IN COOVD ELEVATIONS. (ALL FUTURE IMPROVEMENT PERMIT PLANS WILL REFERENCE THE CITY OF OAKLAND VERTICAL DATUM)

PROJECT DATA

OWNERS:
 STRADA INVESTMENT GROUP
 101 MISSION STREET, SUITE 420
 SAN FRANCISCO, CA 94105
 PHONE: (415) 263-9151
 CONTACT: WILLIAM GOODMAN
 EAST BAY ASIAN LOCAL DEVELOPMENT CORP
 1825 SAN PABLO AVENUE, SUITE 200
 OAKLAND, CA 94612
 PHONE: (510) 287-5353
 CONTACT: ANDREW MATSAS

ARCHITECTS:
 PYATOK SRCHITECTS
 1611 TELEGRAPH AVENUE, SUITE 200
 OAKLAND, CA 94612
 PHONE: (510) 465-7010
 CONTACT: PETER WALLER
 SOLOMON CORDWELL BUENZ ARCHITECTS
 255 CALIFORNIA STREET, 3RD FLOOR
 SAN FRANCISCO, CA 94111
 PHONE: (415) 216-2450
 CONTACT: CYRIL CHONG

CIVIL ENGINEER:
 BKF ENGINEERS
 255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 PHONE: (650) 482-6377
 CONTACT: SIMON NORTH

LANDSCAPE ARCHITECT:
 EINWILLERKUEHL LANDSCAPE ARCHITECTURE
 318 HARRISON STREET, SUITE 301
 OAKLAND, CA 94607
 PHONE: (510) 891-1696
 CONTACT: SARAH KUEHL

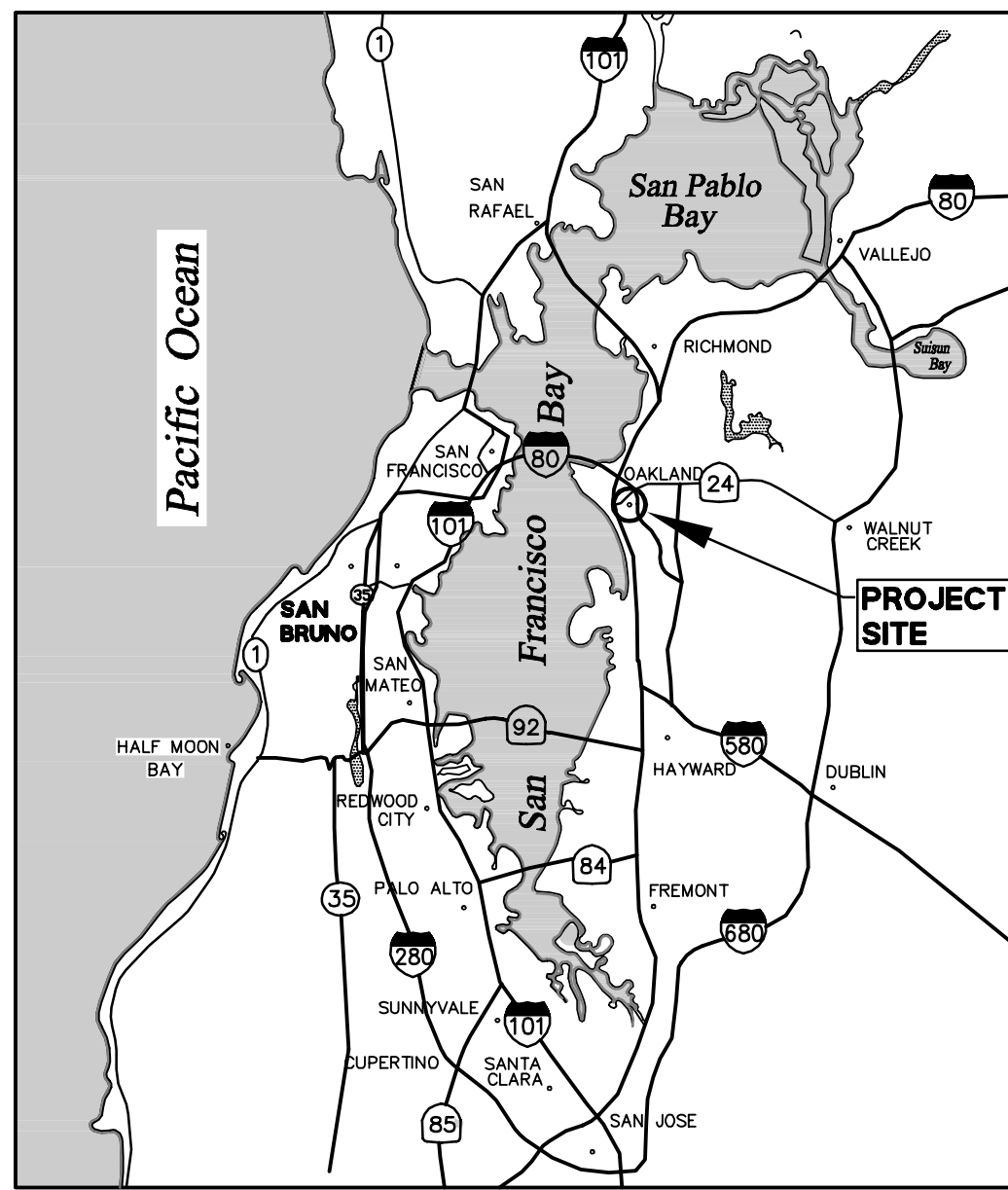
ASSESSOR PARCEL NO.:
 001-0169-001 (BLOCK 1)
 001-0171-002 (BLOCK 2)

EXISTING LAND USE: COMMERCIAL

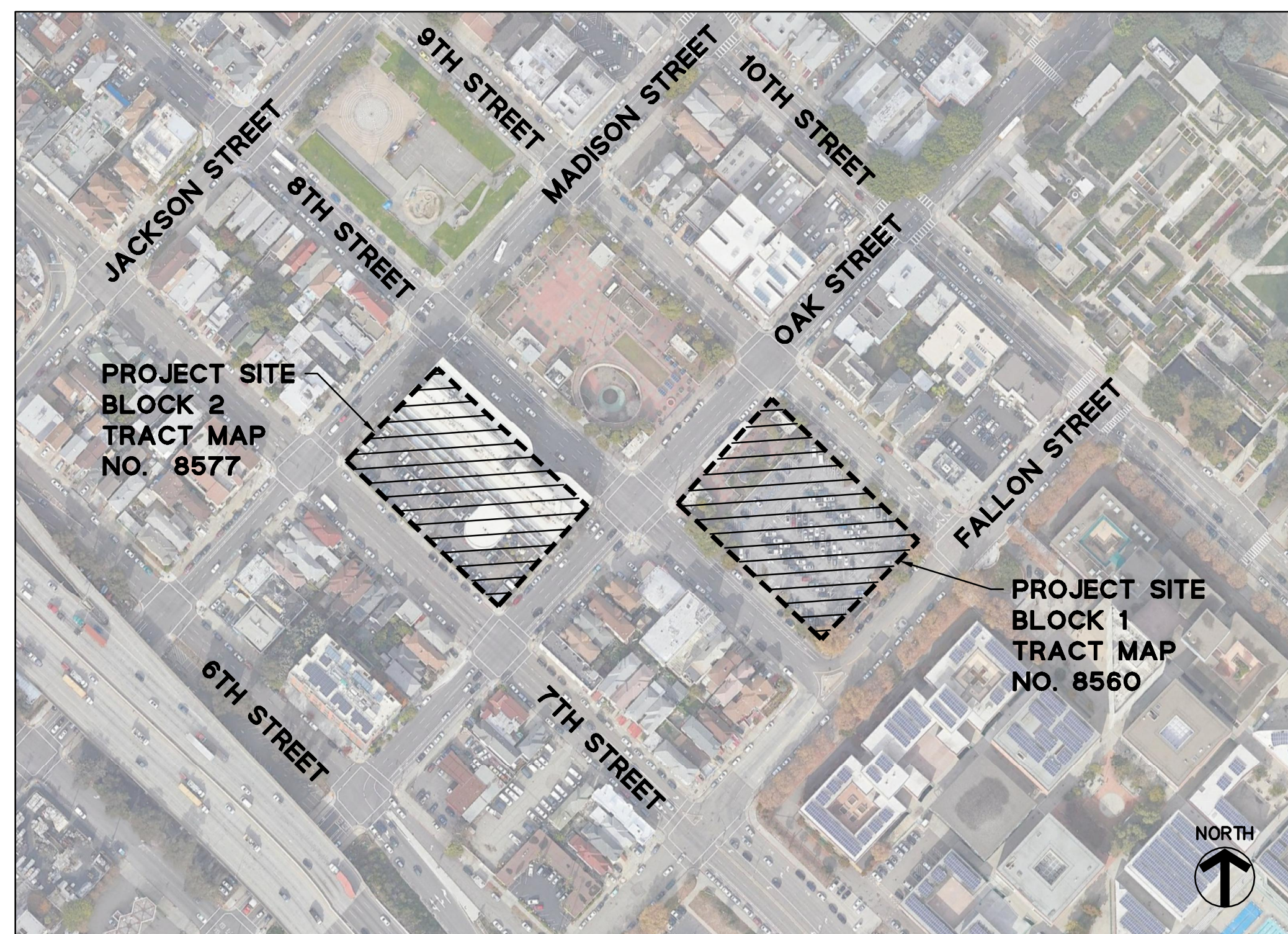
PROPOSED LAND USE: MIXED USE

LAND AREA:
 BLOCK 1: 60,031 SF (1.378 ACRES)
 BLOCK 2: 60,028 SF (1.378 ACRES)

UTILITY INFORMATION:
 WATER SUPPLY: EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD)
 FIRE PROTECTION: CITY OF OAKLAND / EBMUD
 SEWAGE DISPOSAL: CITY OF OAKLAND
 STORM DRAIN: CITY OF OAKLAND
 GAS: PACIFIC GAS & ELECTRIC (PG&E)
 ELECTRIC: PACIFIC GAS & ELECTRIC (PG&E)
 TELEPHONE: AT&T
 CABLE TELEVISION: COMCAST



LOCATION MAP
NTS



VICINITY MAP
NTS

ABBREVIATIONS

- AD = AREA DRAIN
- B = BOLLARD
- BFP = BACKFLOW PREVENTOR
- BR = BIKE RACK
- BW = BACK OF WALK
- CLDR = CENTERLINE OF DOOR
- CMH = COMMUNICATION MANHOLE
- COL = COLUMN
- COMM = COMMUNICATION
- CONC = CONCRETE
- CTV = CABLE TELEVISION
- DW = DRIVEWAY
- EB = ELECTRICAL BOX
- EMH = ELECTRICAL MANHOLE
- EP = EDGE OF PAVEMENT
- EV = ELECTRICAL VAULT
- FL = FLOWLINE
- FDC = FIRE DEPARTMENT CONNECTION
- HCR = HANDICAP RAMP
- LG = LIP OF GUTTER
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- MH = MANHOLE
- P = POST
- PKM = PARKING METER
- SDCO = STORM DRAIN CLEANOUT
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- SLB = STREET LIGHTING BOX
- SSCO = SANITARY SEWER CLEANOUT
- SSMH = SANITARY SEWER MANHOLE
- TB = TELEPHONE BOX
- TC = TOP OF CURB
- TR = TREE
- TSB = TRAFFIC SIGNAL BOX
- TW = TOP OF WALL
- UB = UTILITY BOX
- UV = UTILITY VAULT
- WM = WATER METER
- WP = WATER PIPE

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROJECT BOUNDARY
---	---	LOT LINE
---	---	EASEMENT LINE
---	---	RECORD LOT LINE TO BE REMOVED
---	---	CURB AND GUTTER
---	---	CONTOUR LINE
---	---	LIMIT OF WORK
---	---	SAWCUT
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	FIRE WATER LINE
---	---	DOMESTIC WATER LINE
---	---	UNKNOWN UTILITY LINE
---	---	ELECTRICAL LINE
---	---	GAS LINE
---	---	CATCH BASIN
---	---	SSMH
---	---	SDMH
---	---	SDDI
---	---	WATER VALVE
---	---	GAS VALVE
---	---	FIRE HYDRANT
---	---	FDC
---	---	RPBFP
---	---	PARKING LIGHT
---	---	DCDA
---	---	SANITARY SEWER CLEANOUT
---	---	POWER POLE
---	---	WATER METER
---	---	WATER VALVE
---	---	STREET LIGHT
---	---	CATV BOX
---	---	SPOT GRADE
---	---	SIGN
---	---	SIGN WITH PUSH BUTTON
---	---	SHRUB
---	---	TREE

SHEET INDEX

SHEET NO	DESCRIPTION
C1.0	TITLE SHEET
C2.1	EXISTING PARCELIZATION (BLOCK 1)
C2.2	EXISTING PARCELIZATION (BLOCK 2)
C3.1	PROPOSED PARCELIZATION PLAN (BLOCK 1)
C3.2	PROPOSED PARCELIZATION PLAN (BLOCK 2)
C4.1	PROPOSED GRADING PLAN (BLOCK 1)
C4.2	PROPOSED GRADING PLAN (BLOCK 2)
C5.1	PROPOSED UTILITY PLAN (BLOCK 1)
C5.2	PROPOSED UTILITY PLAN (BLOCK 2)

ENGINEER'S STATEMENT

THIS TENTATIVE MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

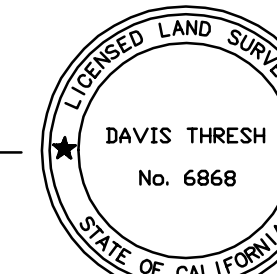
Simon North
 SIMON R. NORTH, P.E. CA 64657
 VICE PRESIDENT
 BKF ENGINEERS
 03/17/2021
 DATE



SURVEYOR'S STATEMENT

THIS TENTATIVE MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD SURVEY PRACTICE.

Davis Thresh
 DAVIS R. THRESH, P.L.S. CA 6868
 PRINCIPAL
 BKF ENGINEERS
 03/17/2021
 DATE



LAKE MERRITT BART DEVELOPMENT
 VESTING TENTATIVE TRACT MAP NO. 8560/8577
 TITLE SHEET
 ALAMEDA COUNTY
 CITY OF OAKLAND

BKF100
 YEARS
 ENGINEERS . SURVEYORS . PLANNERS
 255 SHORELINE DR.,
 SUITE 200
 REDWOOD CITY, CA 94065
 (650) 482-6300
 www.bkf.com

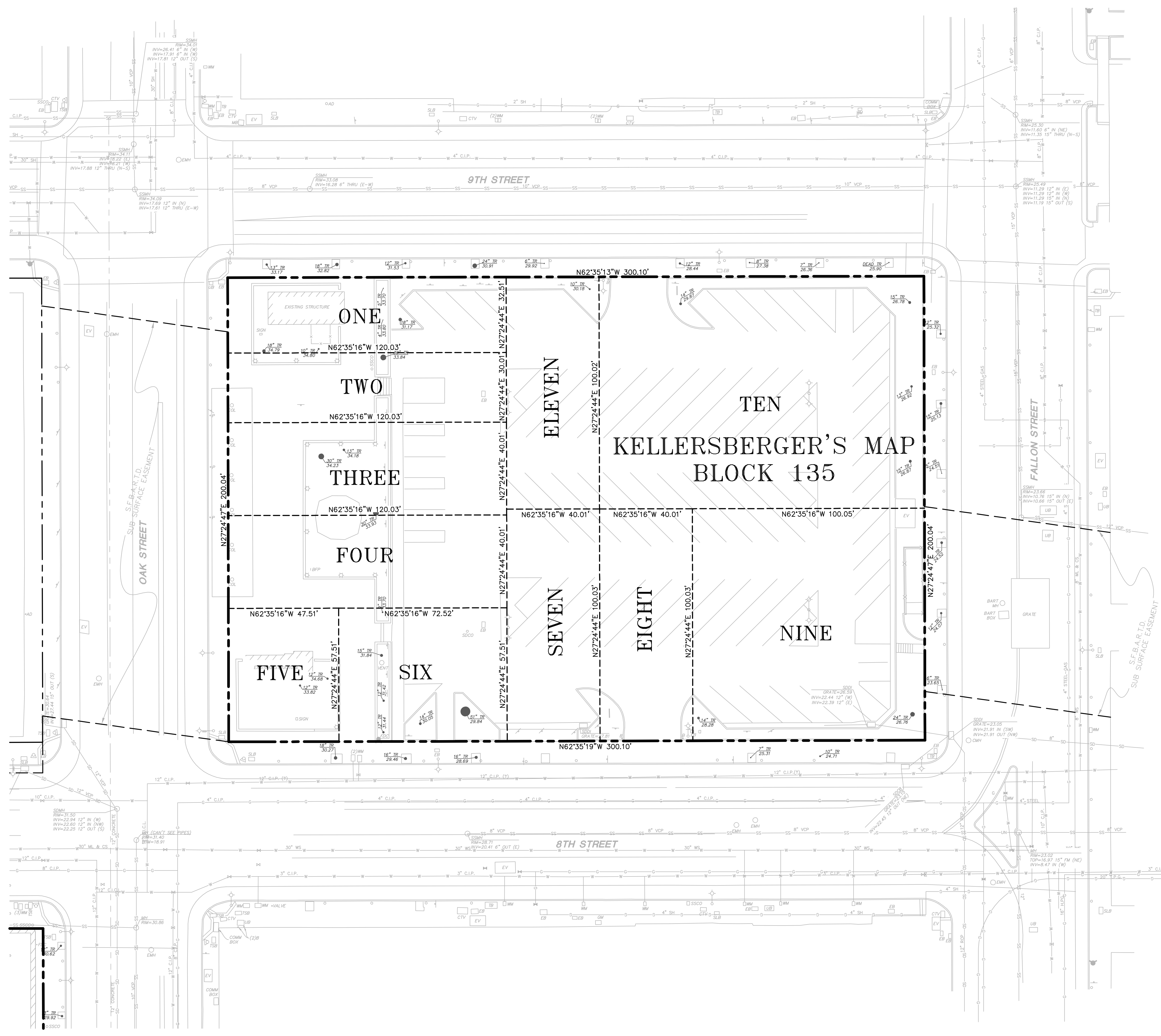
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 PLOT DATE: 03-17-21

Date	Scale	AS NOTED	Design	DFS	Drawn	DFS	Approved	SRN	Job No
03/19/2021									20190110

Revisions

Drawing Number: **C1.0**
1 OF 9

DRAWING NAME: \\BKF-r-c\da\2019\190110_BART_Lake_Merritt_TOD\ENG\01-TPM\PLOTTED_SHEETS\C2.1-C2.2_ExistingParcelization.dwg
PLOT DATE: 03-17-21



ANNOTATION & LEGEND

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NOTES

FIELD DATES OF TOPOGRAPHIC SURVEY WERE MAY 13, 15, AND 22 2019

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF

HORIZONTAL CONTROL

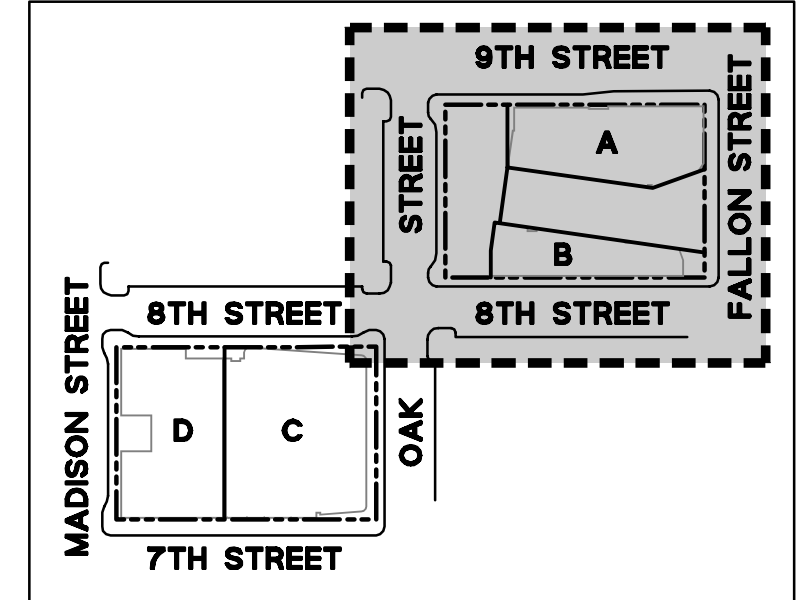
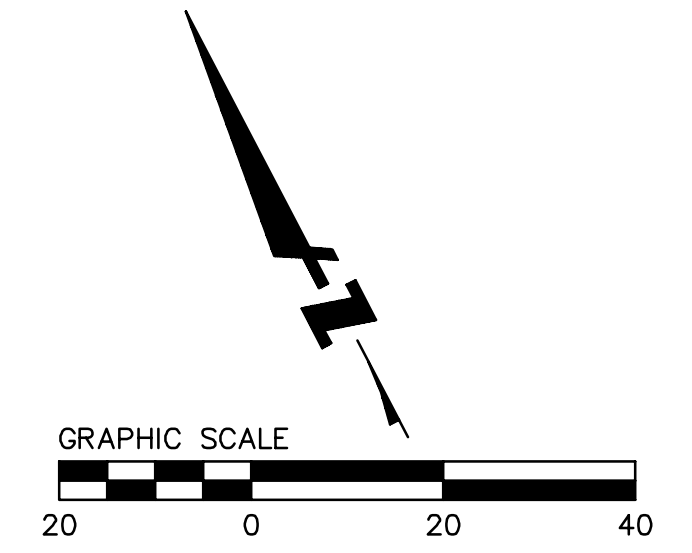
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BENCHMARK

FOUND BRASS PIN IN MONUMENT WELL ON MEDIAN ISLAND AT THE CENTERLINE OF FALLON STREET AND 8TH STREET.

ELEVATION = 23.062 (NAVD88)

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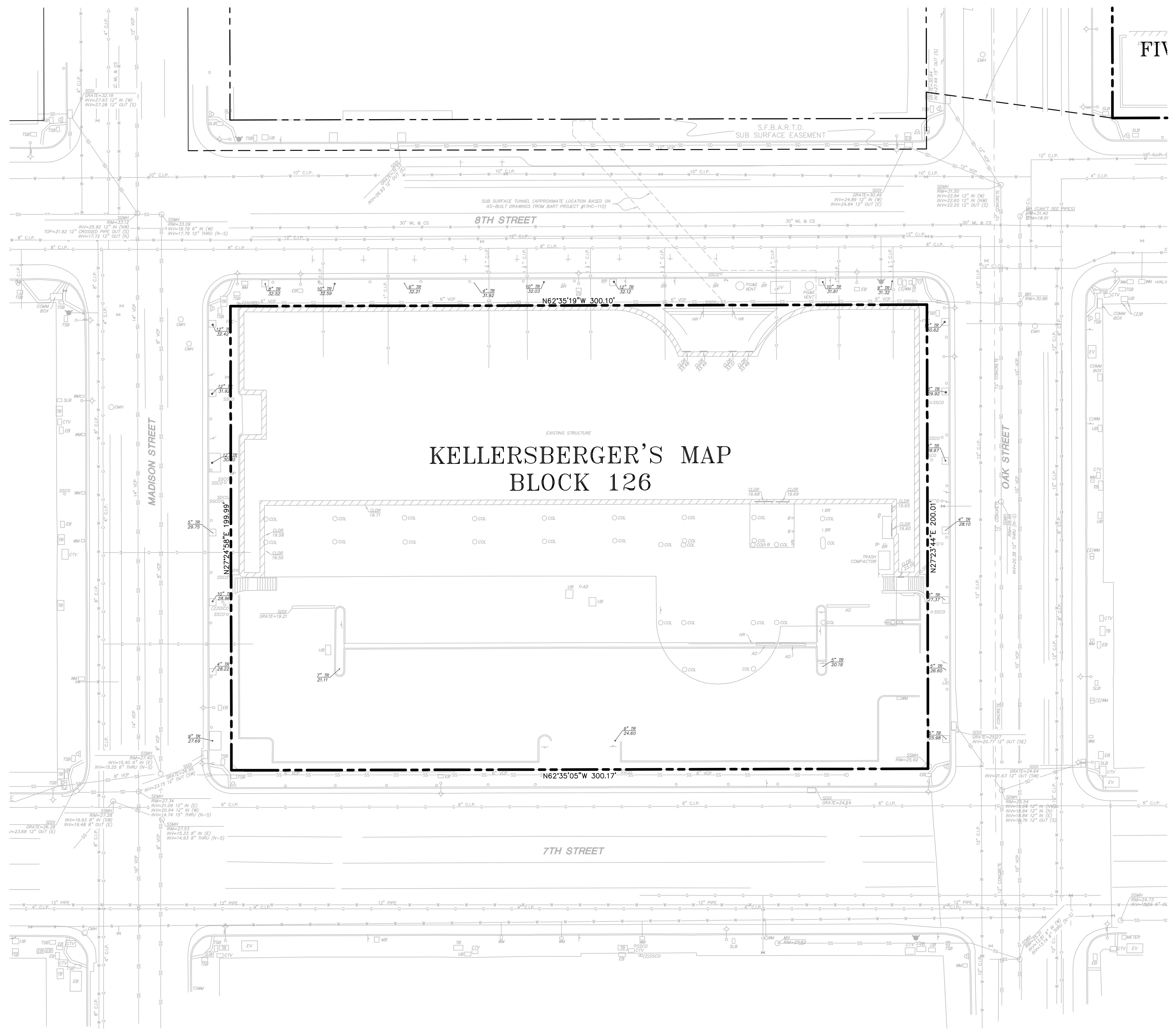
LAKE MERRITT BART DEVELOPMENT (BLOCK 1)
VESTING TENTATIVE TRACT MAP NO. 8560
EXISTING PARCELIZATION (BLOCK 1)

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CITY OF OAKLAND
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Revisions	No.
Date	02/22/2021
Scale	1" = 20'
Design	DFS
Drawn	DFS
Approved SRN	
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Drawing Number:	C2.1
	2 OF 9

DRAWING NAME: \\BKF-r\cda\o\2019\190110_BART_Lake_Merritt_TOD\ENG\01-TPM\PLOTTED_SHEETS\C2.1-C2.2_ExistingParcelization.dwg
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- G—G— = GAS LINE
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NOTES

FIELD DATES OF TOPOGRAPHIC SURVEY WERE MAY 13, 15, AND 22 2019

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF

HORIZONTAL CONTROL

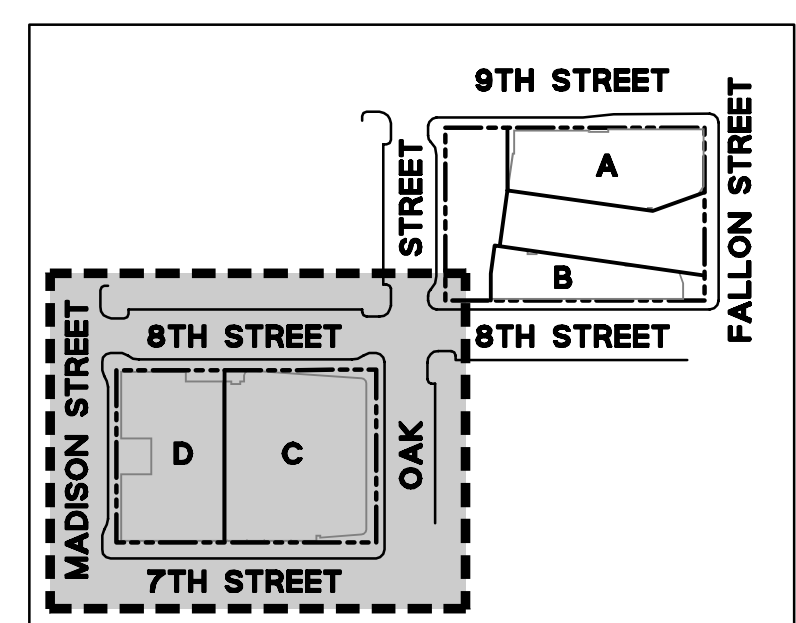
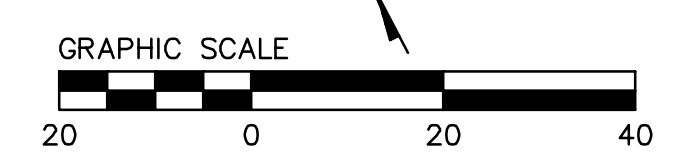
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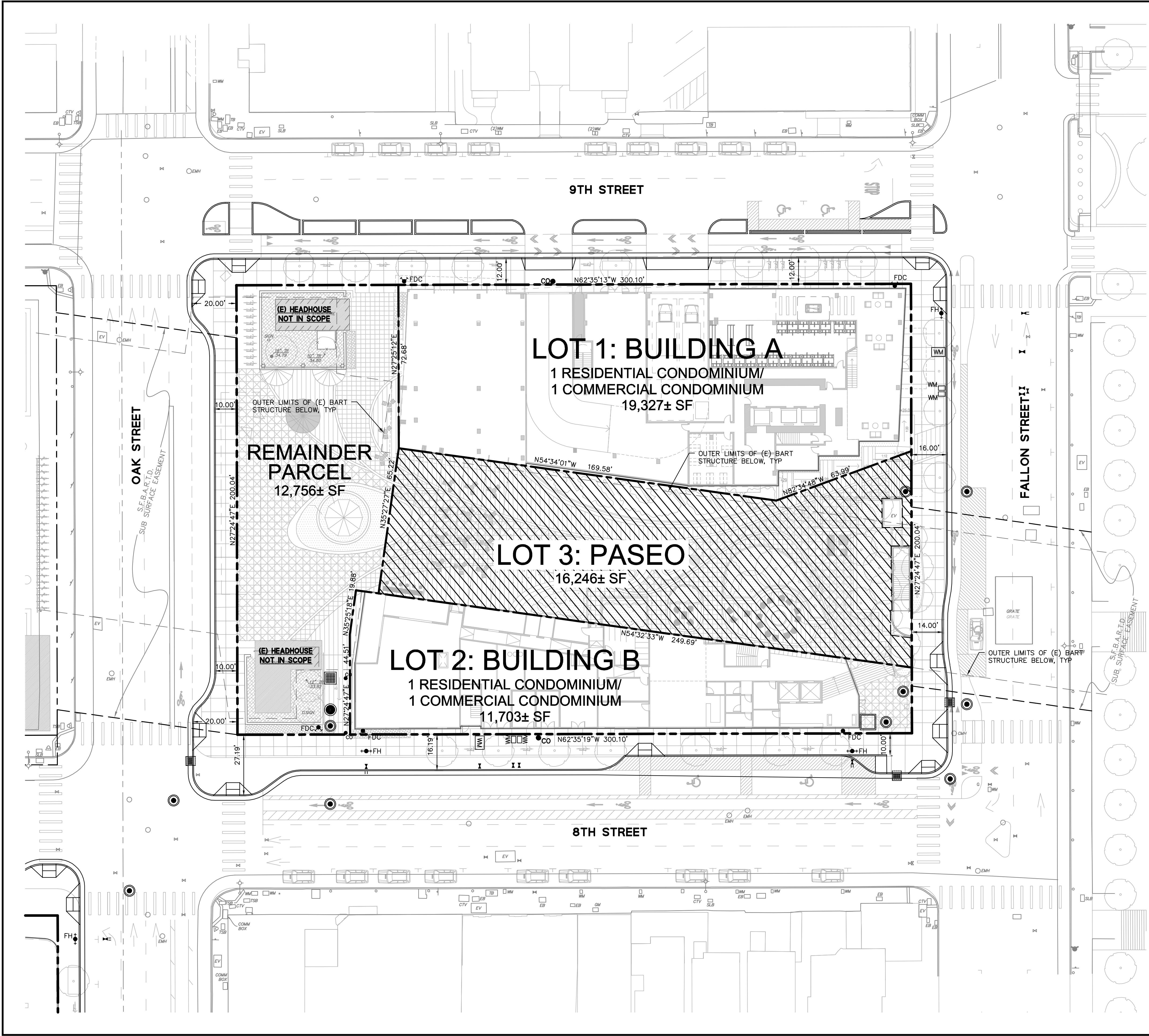


Revisions	No.
Date	02/22/2021
Scale	1" = 20'
Design	DFS
Drawn	DFS
Approved	SRN
Job No	20190110

Drawing Number: **C2.2**

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DRAWING NAME: \\BKF-r\c\da\2019\190110_BART_Lake_Merritt_TOD\ENG\01-TPM\PLOTTED_SHEETS\C3.1-C3.2_ProposedParcelization.dwg
PLOT DATE: 03-17-21
PLOTTED BY: suid



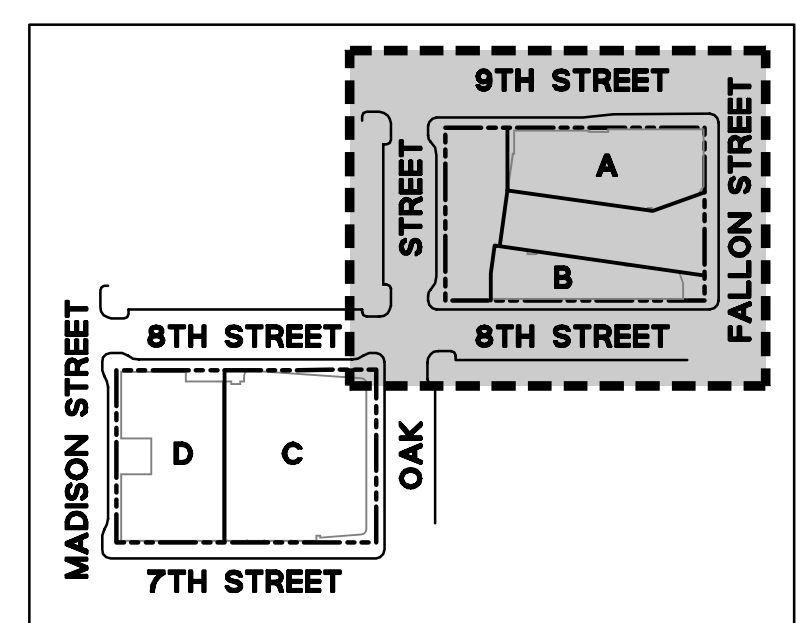
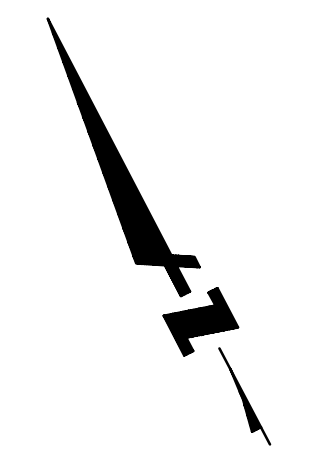
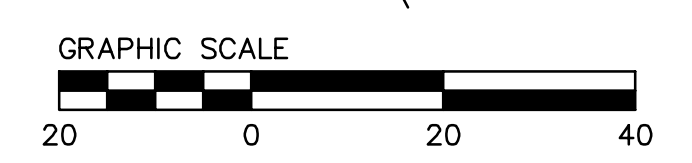
SITE PLAN NOTES:

1. ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES
2. SEE GEOTECHNICAL REPORT FOR ALL FLATWORK AND VEHICULAR PAVEMENT SECTIONS AND BASE REQUIREMENTS.
3. THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING, AND ALL UNACCEPTABLE CONCRETE WORK HAS BEEN REMOVED AND REPLACED BY PROJECT CIVIL ENGINEER.
4. ONSITE PAVING SHALL BE IN CONFORMANCE WITH SECTION 26 "AGGREGATE BASE" AND SECTION 39 "ASPHALT CONCRETE" PER LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS. PAVING WITHIN THE PUBLISH RIGHT OF WAY SHALL BE PER THE LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("GREENBOOK") AND CITY OF OAKLAND STANDARDS.
5. COLOR AND FINISH OF CONCRETE TO BE SPECIFIED BY LANDSCAPE ARCHITECT.
6. SEE LANDSCAPE PLANS FOR ALL SIDEWALK FINISHES AND MATERIALS.
7. FUTURE STRIPING AND MEDIAN ISLANDS SHOWN FOR REFERENCE ONLY.

LEGEND:

- BOUNDARY LINE
- LOT LINE
- EASEMENT LINE
- PUBLIC ACCESS EASEMENT, 23 FEET ABOVE FINISH SURFACE

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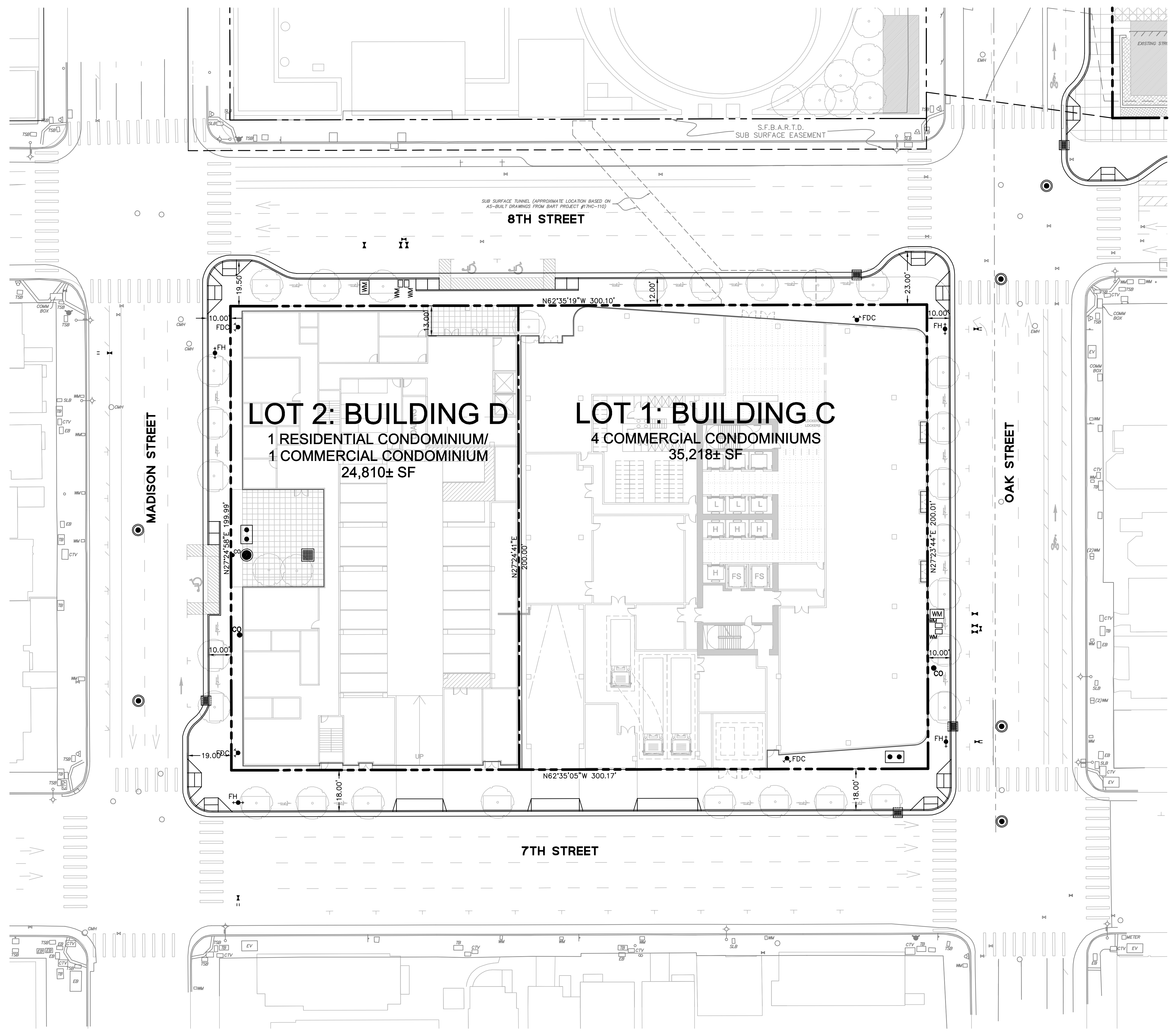


LAKE MERRITT BART DEVELOPMENT (BLOCK 1)
VESTING TENTATIVE TRACT MAP NO. 8560
PROPOSED PARCELIZATION PLAN (BLOCK 1)
 CITY OF OAKLAND
 ALAMEDA COUNTY
 CALIFORNIA

BKF100
 YEARS
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Revisions	Date	02/22/2021	No.	
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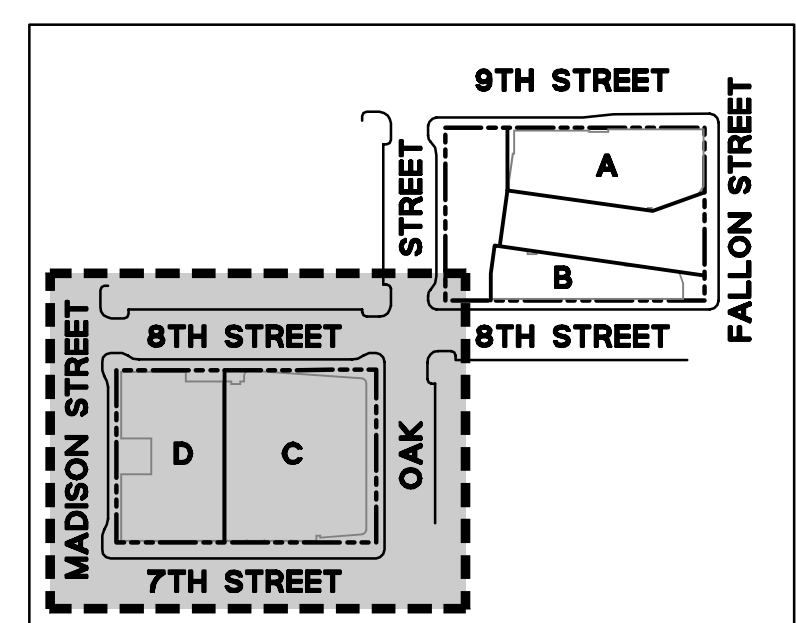
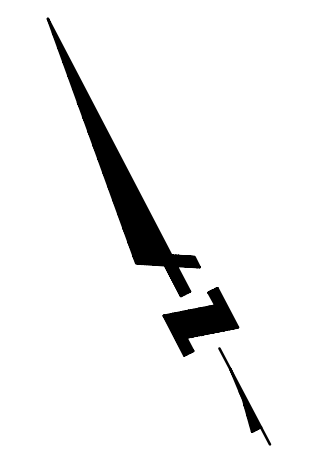
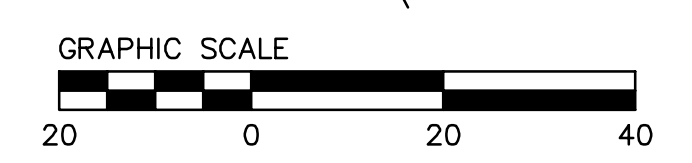
SITE PLAN NOTES:

1. ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES
2. SEE GEOTECHNICAL REPORT FOR ALL FLATWORK AND VEHICULAR PAVEMENT SECTIONS AND BASE REQUIREMENTS.
3. THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING, AND ALL UNACCEPTABLE CONCRETE WORK HAS BEEN REMOVED AND REPLACED BY PROJECT CIVIL ENGINEER.
4. ONSITE PAVING SHALL BE IN CONFORMANCE WITH SECTION 26 "AGGREGATE BASE" AND SECTION 39 "ASPHALT CONCRETE" PER LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS. PAVING WITHIN THE PUBLISH RIGHT OF WAY SHALL BE PER THE LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("GREENBOOK") AND CITY OF OAKLAND STANDARDS.
5. COLOR AND FINISH OF CONCRETE TO BE SPECIFIED BY LANDSCAPE ARCHITECT.
6. SEE LANDSCAPE PLANS FOR ALL SIDEWALK FINISHES AND MATERIALS.
7. FUTURE STRIPING AND MEDIAN ISLANDS SHOWN FOR REFERENCE ONLY.

LEGEND:

- BOUNDARY LINE
- - - LOT LINE
- . - . EASEMENT LINE
- ▨ PUBLIC ACCESS EASEMENT, 23 FEET ABOVE FINISH SURFACE

ELEVATIONS SHOWN ARE ON NAVD88, NOT ON CITY OF OAKLAND VERTICAL DATUM (COOVD). A COMPARISON BETWEEN COLLECTED INFORMATION ON NAVD88 AND COOVD BENCHMARKS RESULTED IN AN OBSERVED DIFFERENCE OF 5.68 FT; SUBTRACTING SHOWN NAVD88 ELEVATIONS BY 5.68 WILL RESULT IN COOVD ELEVATIONS.

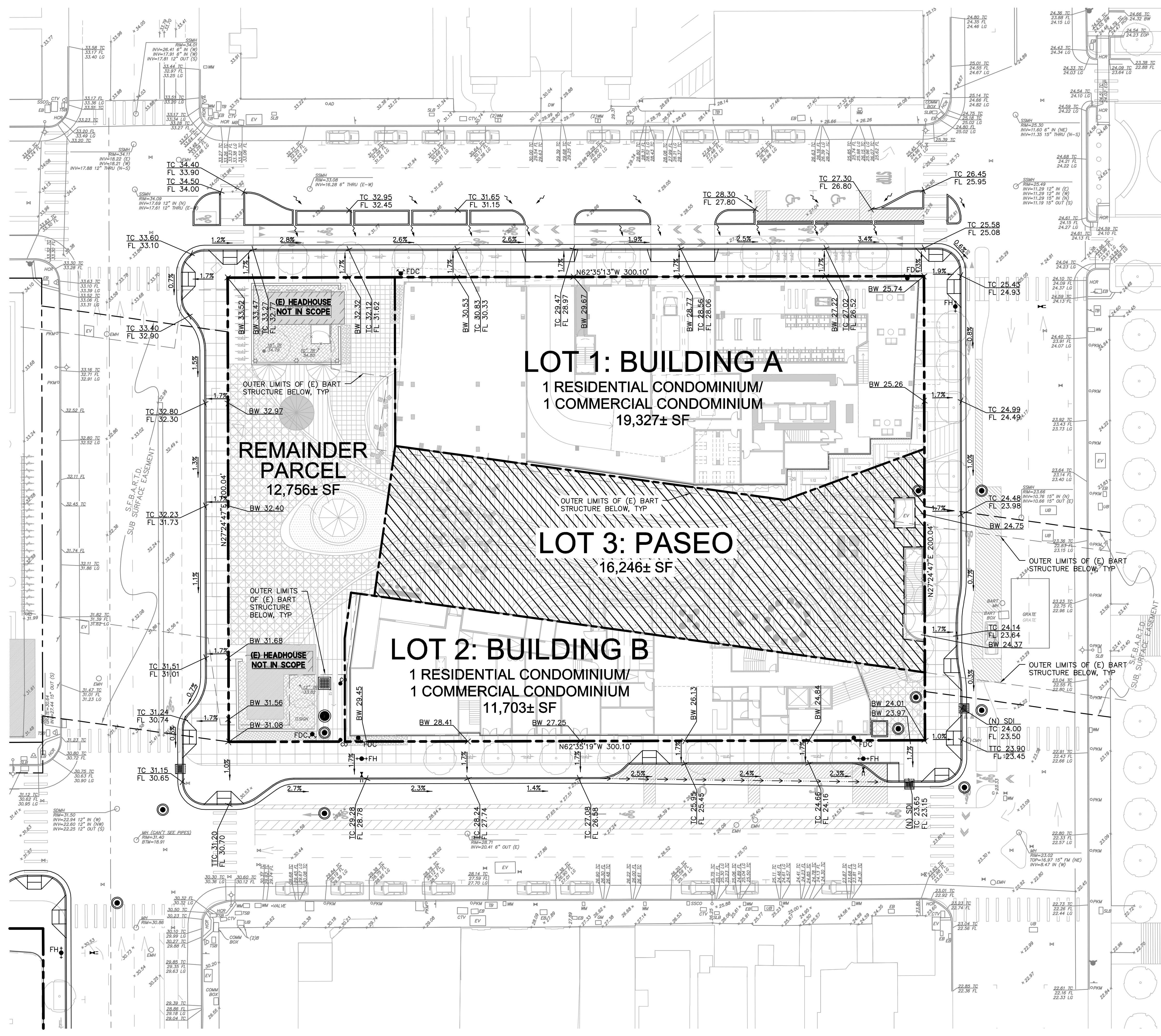


LAKE MERRITT BART DEVELOPMENT (BLOCK 2)
VESTING TENTATIVE TRACT MAP NO. 8577
PROPOSED PARCELIZATION PLAN (BLOCK 2)
 CITY OF OAKLAND
 ALAMEDA COUNTY CALIFORNIA

BKF100
 YEARS
 ENGINEERS . SURVEYORS . PLANNERS
 255 SHORELINE DR.,
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 REDWOOD CITY, CA 94065
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Date	02/22/2021	No.	
Scale	1" = 20'	Design	DFS
Drawn	DFS	Approved SRN	
Drawing Number:	C3.2	Job No	201910110
	5	OF	9

DRAWING NAME: \\BKF-r-c\da\2019\190110_BART_Lake_Merritt_TOD\ENG\01-TPM\PLOTTED_SHEETS\C4.1-C4.2_GradingPlan.dwg PLOT DATE: 03-17-21 PLOTTED BY: suid



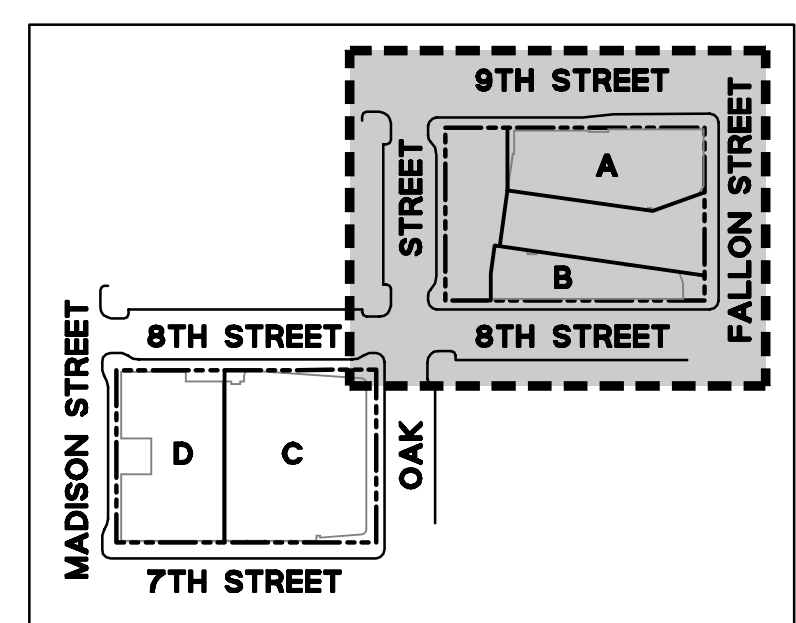
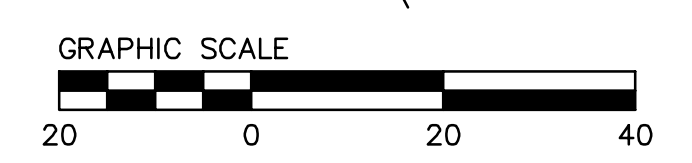
GRADING NOTES:

1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 2%, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE PORCHES, LANDINGS AND TERRACES 2% (1/4" PER FOOT) AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
2. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS.
3. CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTORS RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
4. ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT, OR CITY OF OAKLAND STANDARDS, WHICHEVER IS MORE STRINGENT, AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S GEOTECHNICAL ENGINEER TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
5. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
6. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
7. ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05', HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
8. THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT.
9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
10. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.

LEGEND:

- BOUNDARY LINE
- - - LOT LINE
- - - EASEMENT LINE
- ▨ PUBLIC ACCESS EASEMENT, 23 FEET ABOVE FINISH SURFACE

ELEVATIONS SHOWN ARE ON NAVD88, NOT ON CITY OF OAKLAND VERTICAL DATUM (COVD). A COMPARISON BETWEEN COLLECTED INFORMATION ON NAVD88 AND COVD BENCHMARKS RESULTED IN AN OBSERVED DIFFERENCE OF 5.68 FT; SUBTRACTING SHOWN NAVD88 ELEVATIONS BY 5.68 WILL RESULT IN COVD ELEVATIONS.

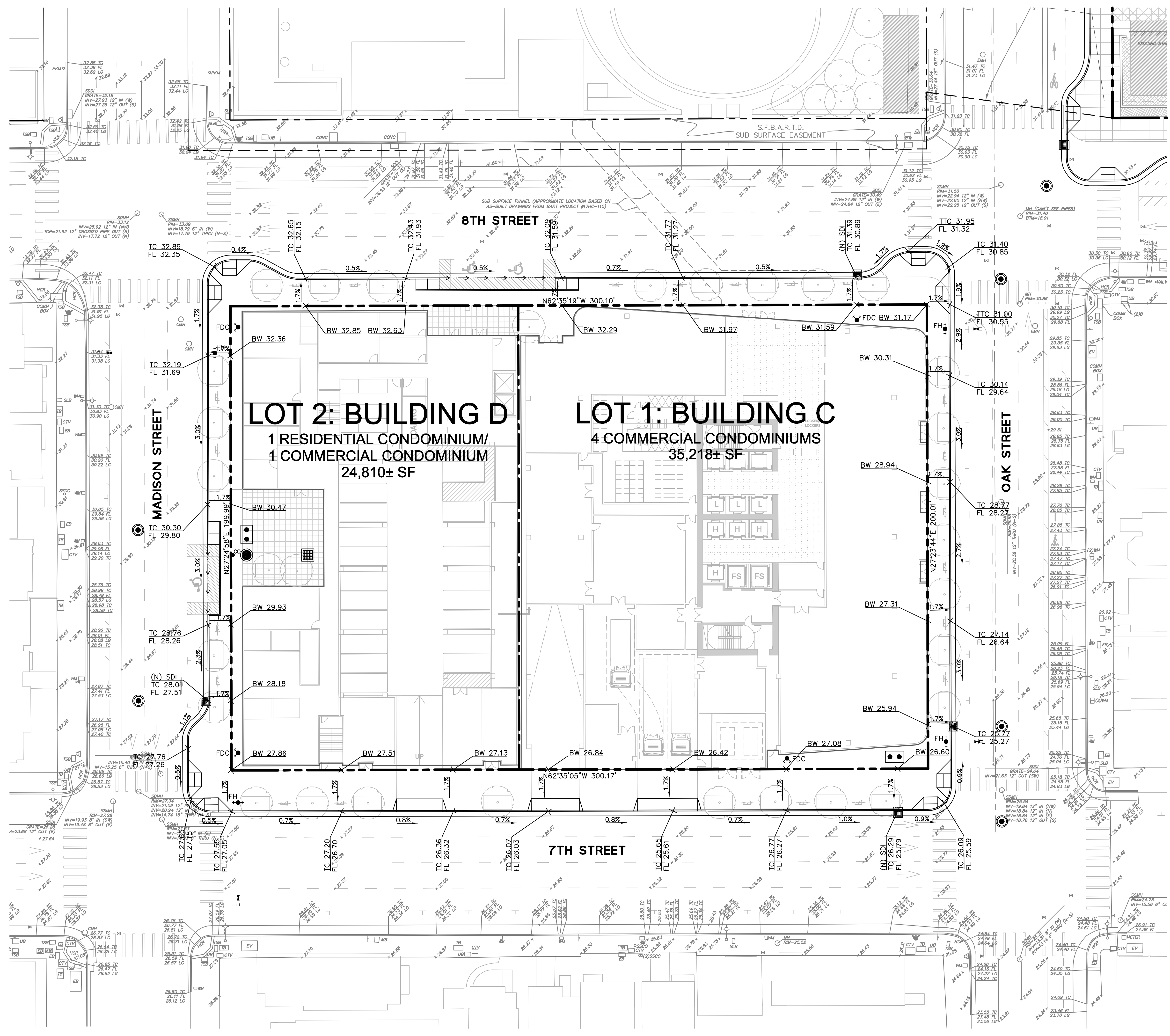


LAKE MERRITT BART DEVELOPMENT (BLOCK 1)
VESTING TENTATIVE TRACT MAP NO. 8560
PROPOSED GRADING PLAN (BLOCK 1)
 CITY OF OAKLAND
 ALAMEDA COUNTY
 CALIFORNIA

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Date	02/22/2021
Scale	1" = 20'
Design	DFS
Drawn	DFS
Approved SRN	
Job No	20190110
Drawing Number:	C4.1
	6 OF 9

DRAWING NAME: \\BKF-r-c\o\2019\190110.BART_Lake_Merritt_TOD\ENG\01-TPM\PLOTTED_SHEETS\C4.1-C4.2_GradingPlan.dwg
PLOT DATE: 03-17-21
PLOTTED BY: suid



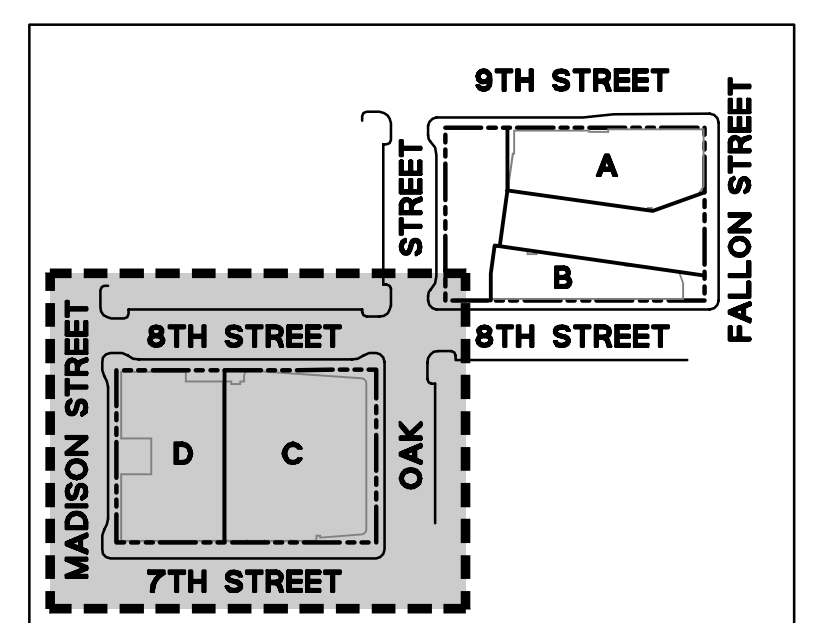
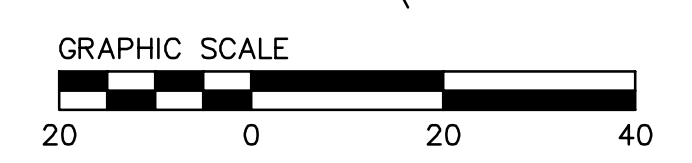
GRADING NOTES:

1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 2%, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE PORCHES, LANDINGS AND TERRACES 2% (1/4" PER FOOT) AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
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LEGEND:

- BOUNDARY LINE
- LOT LINE
- EASEMENT LINE
- PUBLIC ACCESS EASEMENT, 23 FEET ABOVE FINISH SURFACE

ELEVATIONS SHOWN ARE ON NAVD88, NOT ON CITY OF OAKLAND VERTICAL DATUM (COOVD). A COMPARISON BETWEEN COLLECTED INFORMATION ON NAVD88 AND COOVD BENCHMARKS RESULTED IN AN OBSERVED DIFFERENCE OF 5.68 FT; SUBTRACTING SHOWN NAVD88 ELEVATIONS BY 5.68 WILL RESULT IN COOVD ELEVATIONS.

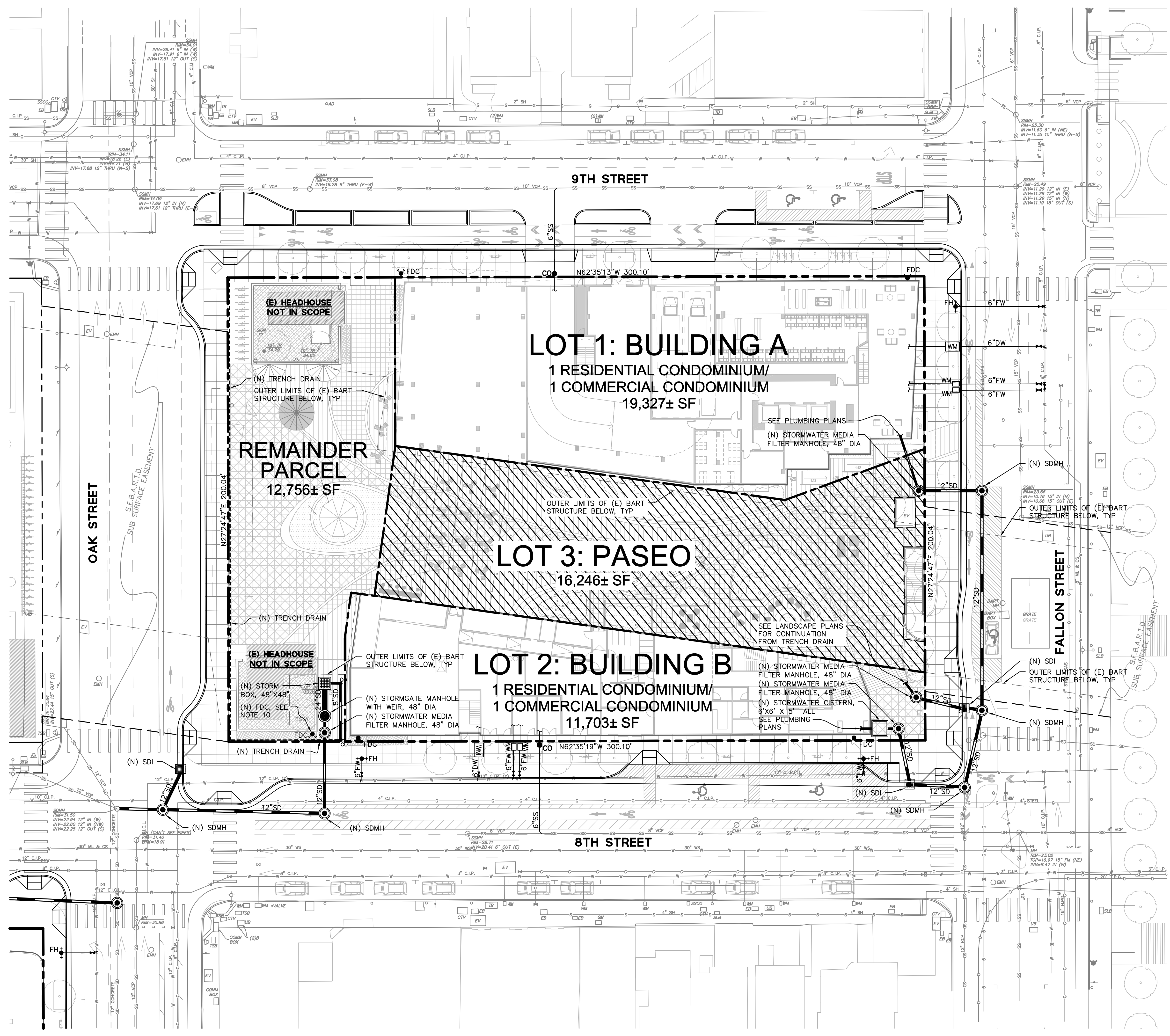


LAKE MERRITT BART DEVELOPMENT (BLOCK 2)
VESTING TENTATIVE TRACT MAP NO. 8577
PROPOSED GRADING PLAN (BLOCK 2)
 CALIFORNIA
 ALAMEDA COUNTY
 CITY OF OAKLAND

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Revisions	No.	Date
		02/22/2021
Scale	1" = 20'	
Design	DFS	
Drawn	DFS	
Approved SRN		
Job No	20190110	
Drawing Number:	C4.2	
	7 OF 9	

DRAWING NAME: \\BKF-r-c\da\2019\190110_BART_Lake_Merritt_TOD\ENG\01-TPM\PLOTTED_SHEETS\C5.1-C5.2_UtilityPlan.dwg
PLOT DATE: 03-17-21
PLOTTED BY: suid



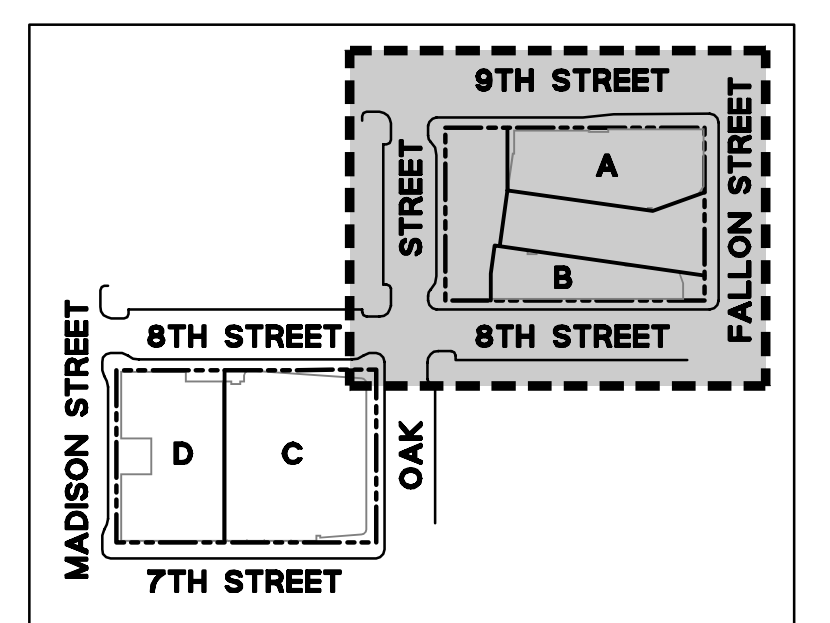
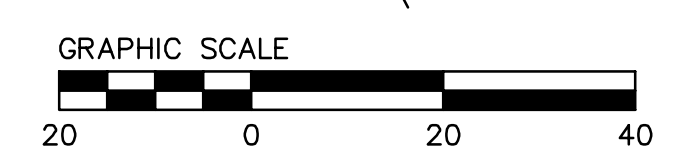
UTILITY NOTES:

1. INFORMATION REGARDING EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES SHOWN ON THESE PLANS WAS TAKEN FROM RECORD DATA AND IS NOT MEANT TO BE A FULL CATALOG OF EXISTING CONDITIONS. CONTRACTOR SHALL CONDUCT FIELD INVESTIGATIONS, SUCH AS POT-HOLING, AS REQUIRED TO VERIFY THE LOCATIONS, ELEVATIONS, AND CONNECTION POINTS OF ALL EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, PRIOR TO THE COMMENCEMENT OF WORK AND UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD AND INFORMATION SHOWN ON THESE PLANS.
2. DOMESTIC WATER, FIRE WATER, AND SANITARY SEWER LATERAL SIZES TO BE CONFIRMED DURING THE DETAILED DESIGN PHASE.
3. CONTRACTOR SHALL COORDINATE GRAVITY UTILITY WORK WITH ALL JOINT TRENCH/RULE 20 UNDERGROUND WORK. IF JOINT TRENCH SCOPE OF WORK IS TO BE PERFORMED FIRST, CONTRACTOR SHALL STAKE LOCATIONS AND ELEVATIONS OF ALL PROPOSED GRAVITY UTILITY CROSSINGS. JOINT TRENCH TO BE INSTALLED WITH MINIMUM 12" VERTICAL CLEARANCE TO PROPOSED GRAVITY UTILITY AT ALL CROSSINGS.
4. ALL GRAVITY UTILITY INSTALLATION SHALL BEGIN AT THE FURTHEST DOWNSTREAM POINT OF THE SYSTEM AND PROCEED UPSTREAM.
5. ALL AREA DRAIN AND LANDSCAPE DRAIN GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
6. ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
7. FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POT-HOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR GROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
8. DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER.
9. THE LOCATION OF THE 12" WATER LINE IN 8TH STREET HAS BEEN SHOWN BASED ON RECORD INFORMATION PROVIDED BY EAST BAY MUD. EXACT LOCATION TO BE VERIFIED AND CONFIRMED PRIOR TO INSTALLATION OF THE PROPOSED DOMESTIC AND FIRE WATER SERVICES TO BUILDING B.
10. THE RELOCATION OF THE EXISTING FDC THAT CURRENTLY SERVES THE BART PROPERTY IS SHOWN SCHEMATICALLY. FINAL LOCATION AND PIPING SHALL BE DESIGNED AND VERIFIED BY A SEPARATE PLUMBING ENGINEER AND/OR FIRE ENGINEER.

LEGEND:

- BOUNDARY LINE
- - - LOT LINE
- . - . EASEMENT LINE
- ▨ PUBLIC ACCESS EASEMENT, 23 FEET ABOVE FINISH SURFACE

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LAKE MERRITT BART DEVELOPMENT (BLOCK 1)
VESTING TENTATIVE TRACT MAP NO. 8560
PROPOSED UTILITY PLAN (BLOCK 1)

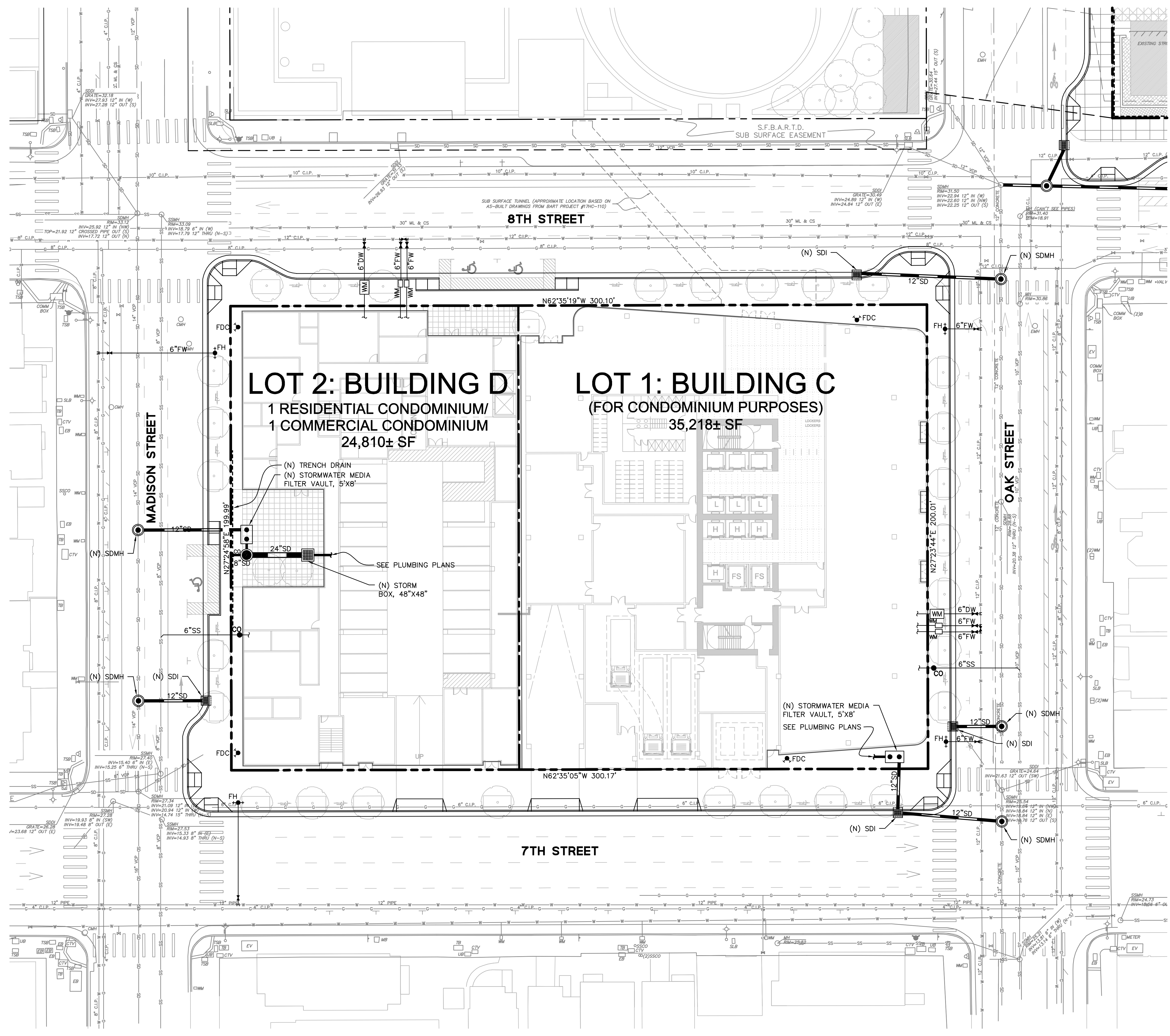
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Revisions	No.
Date	02/22/2021
Scale	1" = 20'
Design	DFS
Drawn	DFS
Approved SRN	
Job No	20190110
Drawing Number:	C5.1
	8 OF 9

DRAWING NAME: \\BKF-rdc\o\2019\190110_BART_Lake_Merritt_TOD\ENG\01-TPM\PLOTTED_SHEETS\C5.1-C5.2_UtilityPlan.dwg PLOT DATE: 03-17-21



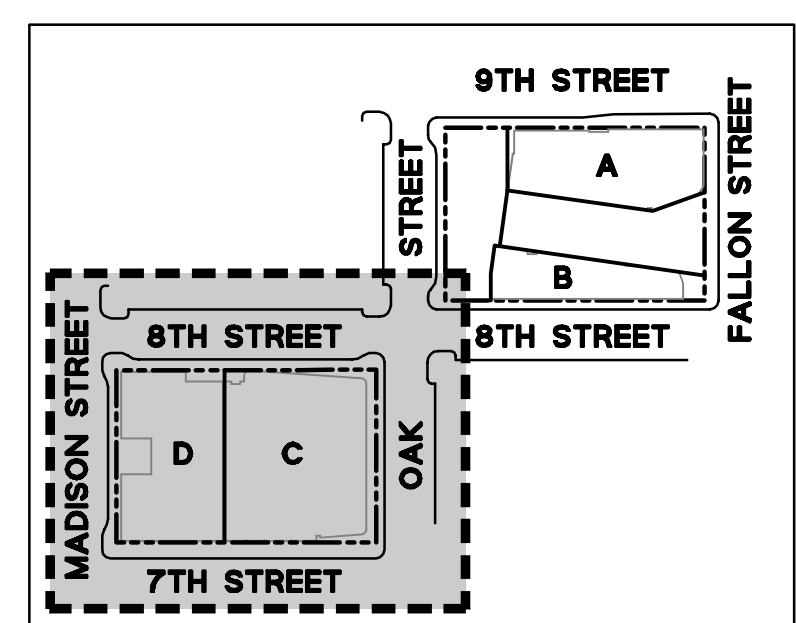
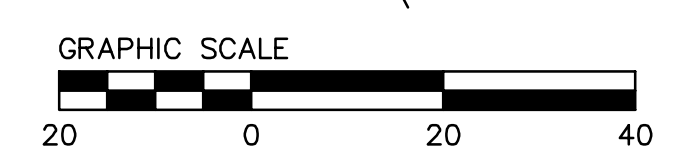
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 VESTING TENTATIVE TRACT MAP NO. 8577
 PROPOSED UTILITY PLAN (BLOCK 2)
 CITY OF OAKLAND
 ALAMEDA COUNTY
 CALIFORNIA

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Job No	20190110		
Page	9	Of	9