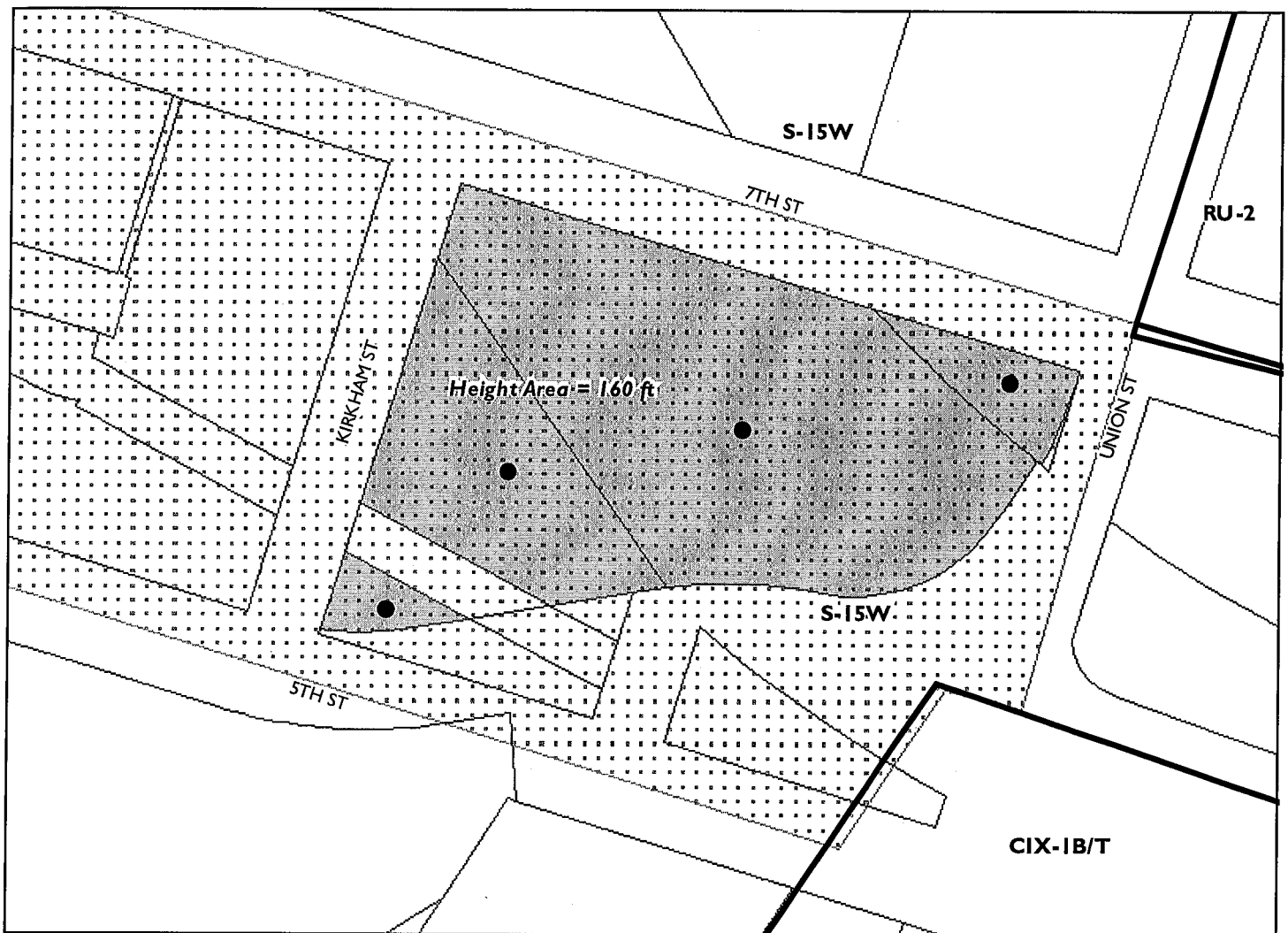


Project Location:	<b>500 Kirkham St. &amp; 1255 7<sup>th</sup> St.</b> The site is bounded by Union, 5 <sup>th</sup> and 7 <sup>th</sup> Streets, and is located one block east of the West Oakland BART Station.
Assessor's Parcel Number:	004 004900800, 004 004900900, 004 004901000 & 004 005101802.
Proposal:	To construct a total of 1,032 residential units (including 85 very low-income affordable units), approximately 35,000 square feet of retail & commercial flex space, 59 parking spaces, and privately maintained but publicly accessible dog park, playground area, and pedestrian pathways. The project will be phased as follows: Phase 1 includes all horizontal improvements and construction of the privately maintained but publicly accessible dog park, playground and pedestrian pathways; Phases 2 & 3 include construction of two 84-foot high mid-rise buildings and temporary surface parking lot; and Phase 4 includes construction of a 338-foot high-rise building & street-level 59 space parking garage accessed from Union Street.
Project Applicant/ Telephone:	Panoramic Interests-Zac Shore / (415) 701-7002
Property Owner:	500 Kirkham, LLC
Case File Number:	<b>PLN17428</b>
Planning Permits Required:	Planned Unit Development; Minor Conditional Use Permit; Regular Design Review; and Vesting Tentative Parcel Map Subdivision.
General Plan: Specific Plan:	Community Commercial; West Oakland Specific Plan (WOSP)
Zoning:	S-15W Transit-Oriented Development Zone
Environmental Determination:	A detailed CEQA (California Environmental Quality Act) Analysis was prepared for this project which concludes that the development proposal satisfies each of the following CEQA Guidelines: (A) 15164 - Addendum to EIRs; (B) 15183 - Projects Consistent with a Community Plan, General Plan, or Zoning; and (C) 15168- Program EIRs and Redevelopment Projects; and (D) 15183.3- Qualified Infill Projects. Each of the foregoing provides a separate and independent basis for CEQA compliance. The CEQA Analysis document may be reviewed at the Bureau of Planning offices, located at 250 Frank Ogawa Plaza, 2nd Floor or online at the following link: <a href="http://www2.oaklandnet.com/government/o/PBN/OurServices/Application/DO WD009157">http://www2.oaklandnet.com/government/o/PBN/OurServices/Application/DO WD009157</a> (500 Kirkham CEQA Analysis / Item # 85). The LUTE (Land Use Transportation Element) EIR which can also be viewed at the following link: <a href="http://www2.oaklandnet.com/government/o/PBN/OurServices/Application/DOW D009158">http://www2.oaklandnet.com/government/o/PBN/OurServices/Application/DOW D009158</a> (LUTE / Item #1)
Property Historic Status:	Non-Historic Property
City Council District:	3 / Lynette McElhaney
Action to be Taken:	Project Decision based on recommendation of this staff report
Staff Recommendation:	Approve subject to the attached conditions
For Further Information:	Contact Case Planner, Mike Rivera at (510) 238-6417, or by email at <a href="mailto:mrivera@oaklandnet.com">mrivera@oaklandnet.com</a>

# CITY OF OAKLAND PLANNING COMMISSION



0 100 200 400 600 800 Feet



Case File: PLN17428 / PUDF07  
Applicant: Panoramic Interests  
Address: 500 Kirkham St & 1255 7th St  
(bounded by 7th St, Union St, and 5th St)  
Zone: S-15W  
Height Area: 160 ft

**SUMMARY**

The project applicant proposes to construct two mid-rise and one high-rise buildings for residential and commercial uses on a 137,389-square foot (3.15-acre) property in West Oakland. The proposal would provide a total of 1,032 residential units (consisting of 947 market rate and 85 affordable units). The development includes usable open space, 59-space parking area, and facilities such as pedestrian pathways, a publicly accessible playground and dog park. The applicant proposes to phase the project through the Planned Unit Development (PUD) process.

The project site encompasses an entire block located one block east of the West Oakland BART Station. The site is largely vacant, except for a one-story commercial building at the corner of 7<sup>th</sup> and Union Streets that would be demolished to accommodate the project. The project site has an easement for a section of BART's elevated train tracks that crosses the property near Kirkham and 5<sup>th</sup> Streets. The proposal will not affect the infrastructure or operation of the BART train tracks.

The proposal requires a Planned Unit Development (PUD) permit for large scale project, four phased development, a Minor Conditional Use Permit (CUP) for parking and driveways within 20 feet from pedestrian walkways, Regular Design Review for new construction, and Vesting Tentative Parcel Map (VTPM) for subdivision of three new parcels. Future required permits include, and are not limited to, Final Development Permits for each phase of the project, Final Map, and tree permits.

**PROJECT SITE AND SURROUNDINGS**

The development proposal is located in West Oakland at 500 Kirkham Street and 1255-7<sup>th</sup> Street. The property is bounded by Kirkham Street to the west, 7<sup>th</sup> Street to the north, Union Street to the east and 5<sup>th</sup> Street to the south. The property is entirely paved and contains a small one-story commercial building with a small surface parking lot at the corner of 7<sup>th</sup> and Union Streets. The vacant site at 500 Kirkham is enclosed by a six-foot high chain-link fence. The property is surrounded by sidewalks and street trees that would be removed and replaced by the project applicant with new horizontal improvements and landscaping.

The property is surrounded by a mix of uses including medium-density, four-to six-story high residential and two-story commercial and light industrial buildings. Other nearby uses or facilities include BART elevated train tracks, the West Oakland BART Station, auto-fee parking lots, a gas station, Caltrans storage yards, and the Crucible metal arts fabrication facility. Staff also notes that a large development project was recently approved by the Planning Commission for 760 residential units and over 300,000 square feet of commercial space at the West Oakland BART Station. Also, new construction is underway for a six-story, 110-unit residential facility at 532 Union Street. The project site is also located near I-880 west-bound/east-bound freeway ramps and within the vicinity of the Prescott and Acorn residential neighborhoods, and the Mandela Parkway.

**PROJECT PROPOSAL**

The applicant proposes to construct two 84-foot-tall and one 338-foot-tall buildings that will include market-rate and affordable residential units, private courtyards, upper terraces and a rooftop. The project includes ground-floor retail and flex commercial spaces, two publicly accessible pedestrian pathways, and a publicly accessible playground and dog park. A 59-space parking garage with one commercial loading space will be accessed from Union Street. The existing one-story commercial building near 7<sup>th</sup> and Union Streets will be demolished. The proposal includes a Vesting Tentative Parcel Map (VTPM) to merge

existing parcels and create a total of three new parcels. The existing easement for the elevated BART tracks near Kirkham & 5<sup>th</sup> Streets will remain and will not be negatively impacted by the project. The proposal includes the removal of 15 street trees and installation of approximately 30 new street trees around the property. All of the existing ornamental street lights located along 7<sup>th</sup> Street will be saved and reinstalled by the applicant under the supervision of the City's Department of Public-Works.

The main entries for the three residential and retail buildings will be from 7<sup>th</sup> Street. The ground level would contain retail, flexible commercial space, mailrooms, recyclable/trash areas, service corridors, residential and commercial loading berths, a parking garage, laundry and utility rooms. Buildings 1 and 2 will contain ground-level residential units that would be accessible from the project courtyards. The upper floors would provide a mix of two-bedroom to four-bedroom units, bike storage and laundry rooms. Building 1 provides a roof terrace on the third floor. Building 3 also contains a mix of one- to five-bedroom residential units, bike storage, tenant storage, roof terrace and rooftop with two lounges. Table 1 below shows a summary for each of the proposed buildings:

TABLE 1

Project Program	Building 1 / (phase 2)	Building 2 / (phase 3)	Building 3 / (phase 4)
Building Story/ Height	9 stories / 84 ft.	8 stories / 84 ft.	32 stories / 338 ft.
Building Gross Area	236,736 sf.	200,429 sf.	453,407 sf.
Market Rate Units	286 residential units	243 residential units	419 residential units
Affordable Units	25 residential units	22 residential units	37 residential units
Bedroom Type:			
1-Bedroom	7 units	0 units	28 units
2-Bedroom	129 units	125 units	0 units
2-Bedroom Suite	126 units	102 units	242 units
3-Bedroom	7 units	14 units	0 units
4-Bedroom	42 units	24 units	155 units
5-Bedroom	0 units	0 units	31 units
<b>Total Unit Count:</b>	<b>311</b>	<b>265</b>	<b>456</b>
Retail Floor Area	3,660 sf.	3,624 sf.	3,650 sf.
Flex Space Floor Area	13,296 sf.	10,821 sf.	0 sf.
Off-Street-Residential Parking	59 (on Bld. 3 site/ total)	59 (on Bld. 3 site/ total)	59 parking spaces (total)
Off-Street Residential Loading	1 space (move-in/out)	0 space	0 space
Off-Street Commercial Loading	0 parking space	0 parking space	1 parking space

#### Planned Unit Development (PUD)

The applicant proposes a PUD with four phases of development. A PUD is a large, integrated development plan that may allow certain uses in addition to those otherwise allowed in the underlying zone. Certain regulations may be waived for development at the initial granting of the PUD. In order to develop the entire site, the applicant proposes four phases, as noted above. In summary, Phase 1 of the PUD is for the construction of all street and horizontal improvements including pedestrian pathways, a playground, dog park, bike lane and bus lane on 7<sup>th</sup> Street and a road diet on 5<sup>th</sup> Street. Phase 2 is for the construction of Building 1 (mid-rise) and a temporary 59-space surface residential parking lot on the site

for Building 3. Phase 3 is for the construction of Building 2 (mid-rise). Phase 4 is for the construction of Building 3 (high-rise) (which includes the 59-space street-level residential parking garage accessed from Union Street). To provide for parking while Phase 4 is under construction, the applicant has secured the right to lease a surface parking area across 5<sup>th</sup> Street. The 59-space temporary parking lot will be reserved for the project residents, and will then be terminated after the parking garage in Building 3 is completed.

The four proposed phases of the PUD would be as follows (each phase will be subject to a separate Final Development Permit to be considered by the Planning Commission at future dates):

- **Phase 1:** Horizontal improvements (FDP sought within two years of PUD approval): The horizontal improvements will be approved and delivered (or guaranteed) prior to consideration of any future phases of development, and include the following. All stages are included in Phase 1:
  - Stage 1: East & West Public Pathways, Playground; Class 4 Bike Lane & Bus Lane on 7<sup>th</sup> Street; Road Diet on 5<sup>th</sup> & Union Streets; Dog Park; and New Street Trees around the project site.
  - Stage 2: Temporary Landscaped 59 Space Surface Parking Lot accessed from Union Street.
  - Stage 3: Temporary Landscaped Surface Parking Lot Remains.
  - Stage 4: Other Works as Deemed Required by the City.
- **Phase 2:** Building 1 (FDP sought within two years of Phase 1 FDP issuance) (mid-rise building with 311 du, including 25 units affordable to very low-income residents). (Building 1 includes the approved residential loading space off Kirkham Street).
- **Phase 3:** Building 2 (FDP sought within two years of Phase 2 FDP issuance) (mid-rise building with 265 du, including 22 units affordable to very low-income residents).
- **Phase 4:** Building 3 (FDP sought within two years of Phase 3 FDP issuance) (high-rise building with 456 du, including 37 units affordable to very low-income residents. Building 3 includes the approved 59-space residential parking garage, and one commercial loading space off Union Street).

### Landscaping

The applicant proposes new on-site and off-site landscaping. The project hardscape plans include built-in concrete and wood benches, moveable furniture, color concrete paving, and cobble paving. The project includes a flex-space plaza, fence and gate at the pedestrian pathways, a playground for 5-12 year-old children, a synthetic surface dog park including overhead art canopies, overhead trellis structure and seating and a mix of individual art exhibits for public display. The landscaping proposal is designed to make the grade-level public outdoors accessible to the public in general. The proposed pathways and outdoor furniture along with the adjacent commercial spaces would make the open spaces more interesting and public-serving by serving to support connectivity between the development and the surrounding neighborhood.

### Subdivision

The proposal includes a Vesting Tentative Parcel Map (VTPM) to merge four existing parcels into three new parcels. Parcel 1 includes the new construction of Building 1. The existing 40-foot-wide BART

train easement within the site of Parcel 1 will remain and will not be negatively impacted by the project. Parcel 2 includes the construction of Building 2, and Parcel 3 includes the construction of Building 3 and a parking garage. The VTPM includes some of the street improvements that will be part of the final subdivision map. Prior to or contemporaneous with final Subdivision Map recordation, the applicant will be required to file all related project deed restrictions with the Alameda County Recorder's Office, and provide a copy of the filed deed restrictions to the City prior to the submittal of any building permits.

## **BACKGROUND**

In 2018, the Design Review Committee (DRC) reviewed this application at three different public meetings, and provided comments to improve the project design. Based on the 2018 project design plans, the DRC and staff expressed numerous concerns, including:

- Reduce building mass.
- Create useful open space to accommodate families.
- Provide additional on-site parking spaces and loading berths.
- Reduce the size of the residential entry lobbies.
- Make the retail spaces prominent on 7<sup>th</sup> Street.
- Improve the design of the pedestrian pathways.
- Hold community meetings, and report back to the DRC.

At the last 2018 public meeting, the DRC supported the design revisions and asked the applicant to respond to the remaining staff concerns and forwarded the application to the Planning Commission for final review and decision. In early 2019, the applicant commissioned a new project design team to take the lead on the project with the intent to revamp the design and respond to the comments from the DRC and staff. Based on the newly proposed plans, staff believes that the new proposal is a much improved design that can be supported.

## **GENERAL PLAN POLICIES/ GOALS**

The proposal is located in the "Community Commercial" land use classification of the Oakland General Plan. The intent of the Community Commercial land use classification is to identify, create, maintain and enhance areas suitable for a wide variety of commercial and institutional operations along the City's major corridors and in shopping districts and centers. The desired character and uses include neighborhood center uses and large scale retail and commercial uses, such as auto-related businesses, business and personal services, health services and medical uses, educational facilities and entertainment uses. The Community Commercial General Plan land use areas can be complemented by the addition of urban residential and compatible mixed-use development. Based on the development proposal submitted, staff has listed below the City's General Plan policies that would be applicable to the project when a decision is made by the Planning Commission:

**Policy N1.1 / Concentrating Commercial Development:** *Commercial development in the neighborhoods should be concentrated in areas that are economically viable and provide opportunities for smaller scale, neighborhood-oriented retail.*

The proposal would provide retail and commercial flex space units on the ground floor of the buildings. The project would create and support business opportunities that can be allowed in the

underlying zoning district, which fronts 7<sup>th</sup> Street, the historic commercial corridor in West Oakland. Some of these commercial activities can include custom-manufacturing goods and compatible personal services and general food sales. The commercial flex spaces comply because these uses are fronting Kirkham Street and the public pathways between the buildings.

**Policy N1.5 / Designing Commercial Development:** *Commercial development should be designed in a manner that is sensitive to surrounding residential uses.*

The proposal includes ground floor retail and flex space commercial facilities that would be sensitive to the character of the surrounding residential properties. These commercial and flex spaces front 7<sup>th</sup> and Kirkham Streets, and the public pathways located between the project buildings. The mixed-use ground floor commercial spaces with tall ceilings would be inviting to existing and future residents and make the streets more lively and inviting.

**Policy N3.1 / Facilitating Housing Construction:** *Facilitating the construction of housing units should be considered a high priority of the City of Oakland.*

The proposal would provide a broad mix of new housing types for different income levels on a site that has not been developed and thus, the project would increase much needed affordable and market rate housing stock in Oakland.

**Policy N3.2 / Encouraging Infill Development:** *In order to facilitate the construction of needed housing units, infill development that is consistent with the General Plan should take place throughout the City of Oakland.*

The proposal is located in an urban setting and the construction of new housing on an underdeveloped site will be consistent with the General Plan goal of providing increased residential units in commercial corridors and near transit-oriented development areas such as West Oakland.

**Policy N3.8 / Required High-Quality Design:** *High-quality design standards should be required of all new residential construction. Design requirements and permitting procedures should be developed and implemented in a manner that is sensitive to the added costs of those requirements and procedures.*

The proposed buildings have interesting design features and use quality materials to create an attractive and distinctive design, while respecting the character of nearby buildings.

**Policy N3.9 / Orienting Residential Development:** *Residential development should be encouraged to face the street and to orient their units to desirable sunlight and view, while avoiding unreasonably blocking sunlight and views for neighboring buildings, respecting the privacy needs of residents of the development and surrounding properties, providing for sufficient conveniently located on-site open space, and avoiding undue noise exposure.*

The proposal contains residential units that are designed to face the streets, and courtyards and open-space that would allow sunlight and views. Based on a solar study, the project would not block sunlight of existing neighboring residential properties. There are no significant views of residential buildings that would be blocked by the project. The proposal includes courtyards, upper terraces, rooftops and parks that would be conveniently accessible to project residents. The proposed playground, dog park, and pedestrian pathways would also be accessible to the public. The project would include building materials and window types to meet sound regulations.

**Policy N3.10 / Guiding the Development of Parking:** *Off-street parking for residential buildings should be adequate in amount and conveniently located and laid out, but its visual prominence should be minimized.*

The proposal is located near downtown, along major transit routes and would include transportation amenities such as transit passes and shared parking for the project residents. The proposal also provides on-site residential parking for 59 spaces. The temporary 59-space parking lot would be landscaped to provide screening from public view. Once the residential garage is completed, parking would not be visible from view.

**Policy N6.1 / Mixing Housing Types:** *The City will generally be supportive of a mix of projects that provide a variety of housing types, unit sizes, and lot sizes which are available to households with a range of incomes.*

The proposal includes a mix of residential units in all buildings that vary in size, unit type and would accommodate households with different incomes.

**Policy N8. / Developing Transit Villages.** *"Transit Village" areas should consist of attached multi-story development on properties near or adjacent to BART Stations or other well-used or high volume transit facilities, such as light rail, train, ferry stations or multiple-bus transfer locations. While residential units should be encouraged as part of any transit village, other uses may be included where they will not negatively affect the residential living environment.*

The mixed-use residential and commercial proposal is within a designated Transient-Oriented Development (TOD) area that includes multi-story high-density residential development, located near the West Oakland BART Station and along major AC transit bus routes. The project also includes commercial uses that would be compatible with the new and existing residential uses in the immediate area.

## ZONING ANALYSIS

The proposal is located in the S-15W Transit Oriented Development Zone with regulations intended to create, preserve and enhance areas devoted primarily to serve multiple nodes of transportation. The regulations also support high-density residential, commercial, and mixed-use developments to encourage a balance of pedestrian-oriented activities, transit opportunities, and concentrated development.

Development in the S-15W Zone is intended to encourage a safe and pleasant pedestrian environment near transit stations by allowing a mix of residential, civic, commercial, and light industrial activities including amenities such as benches, kiosks, lighting, and outdoor cafes. The S-15W Zone is also intended to limit conflicts between vehicles and pedestrians, and is typically appropriate around transit centers such as Bay Area Rapid Transit (BART) stations, and AC Transit centers.

The project meets the intent of the S-15W Zone because it creates high-density residential and commercial facilities that will promote and enhance the use of the existing major transportation systems such as BART and AC Transit bus lines, and other potential modes of transportation such as car-share, bikes, etc. The proposal will facilitate the growth of pedestrian-oriented activities because retail uses and other flexible commercial uses are included that will serve local and regional residents, and therefore contribute to a vibrant transit corridor in the West Oakland BART Station area.



Zoning Development Standards

Table 2 below shows the proposal is in compliance with applicable S-15W zoning regulations:

TABLE 2

Development Standards	Requirements	Proposed	Comments
Min. Lot Area	4,000 sq. ft.	Parcel 1: 1.07 ac Parcel 2: 1.10 ac Parcel 3: 0.76 ac (3.15 acres total)	Meets Code
Min. Lot Width and Frontage	25 ft.	Parcel 1: 162 ft. Parcel 2: 165 ft. Parcel 3: 171 ft.	Meets Code
Max. Residential Density	611 units (baseline or outright permitted)	$611 \times 0.25 = 153$ $153 + 611 = 764$ $764 \times 0.35 = 268$ $268 + 764 =$ <b>1,032 units (total)</b>	Meets Code: Allowed per 35% Density Bonus and 25% PUD Regulations
Max. Building Height	160 ft.	Building 3: 338 ft.	Does not comply; Concession and Waiver Requested
Max. Building Height on Principal Street (7 <sup>th</sup> St.) <i>(If within 10 feet of the front property line, the maximum building height is the height area of the parcel across the principal street, whichever is less)</i>	75 ft.	Building 1: 84 ft. Building 2: 84 ft. Building 3: 338 ft.	
Off-Street Parking-Residential	258 spaces	59 spaces	
Group Open Space	77,400 sq. ft.	27,025 sq. ft.	Does not comply; Waiver Requested
Min. Front Setback (7 <sup>th</sup> St.)	0 ft.	5 ft.	Meets Code
Min. Street Side Setback (Kirkham 5 <sup>th</sup> & Union)	0 ft.	0 ft. to 37 ft.	Meets Code
Min. Side Setback	0 ft.	17 ft. to 18 ft.	Meets Code
Ground Floor Off-Street Parking & Loading within Pedestrian Walkways	20 ft.	5 ft.	Meets Code; Minor CUP Requested
Off-Street Parking-Retail/Commercial	0 space	0 space	Meets Code
Residential Loading Berth	1 space	1 space	Meets Code
Commercial Loading Berth	1 space	1 space	Meets Code
Bicycle Parking-Residential Long Term	258 spaces	621 spaces	Meets Code
Bicycle Parking-Residential Short Term	52 spaces	64 spaces	Meets Code
Bicycle Parking-Commercial Long Term	3 spaces	5 spaces	Meets Code
Bicycle Parking-Commercial Short Term	18 spaces	38 spaces	Meets Code

**Project Density Bonus / Concessions and Waivers**

California Government Code Section 65915 allows an increase in the number of units a project can produce if the project includes a certain amount of affordable housing through the state’s Density Bonus Law. The purpose of the State and City’s Density Bonus and Planned Unit Development provisions is to encourage the construction of affordable housing where incentives or concessions and waivers can be applied to provide relaxation of the required local jurisdiction development standards. The proposed project includes affordable housing relying on density bonus allowances, and as such, the applicant requests two concessions and two waivers. See Table 3 below.

The applicant proposes a Planned Unit Development bonus of 25% and a state Density Bonus of 35%, while agreeing to construct 11% of the base project as very low-income affordable units in order to permit the state-mandated 35% density bonus. This would result in a total of 8% affordable units to very low income residents after the 35% Density Bonus is applied. The proposal would increase the number of residential units from the allowed 611 units to 1,032 units and, as is typical in Planned Unit Developments, allow the overall number of units permitted to be located within the development as a whole without reference to lot lines pursuant Oakland Municipal Code Section 17.142.100(F).

**Note:** When calculating the 11% of 764 residential units, the resulting number is 84.04. State Density Bonus Law requires that the fractional units be rounded up. In this case, since the State Density Bonus calculation is just over 84 units, the number of required affordable units must be rounded up to 85. Therefore, the applicant should be providing **85 very-low** affordable residential units with the project. Staff has added a Condition in the Specific Conditions of Approval Section in Attachment B.

**TABLE 3**

AFFORDABLE HOUSING CONCESSION AND WAIVER ANALYSIS								
City Regulations			Application Request			Justification/ Comment	Allowance	
Code Section	Standard	Density Allowed	Density Bonus	Concessions	Waivers		State Law Section	City Code
<i>Planned Unit Development Regulations (PUD)</i>								
17.142.004(B)	Dwelling Units (du)	611 du	153 du (max. 25% increase)  153+611=764 du	N/A	Up to One:  1) waiver of 75 ft. w/in 10 ft. of principal street.	Meets Planning Code.	N/A	17.142.100 E (2)
<i>Density Bonus and Concessions or Incentive Procedures</i>								
17.107.010	Dwelling Units (du)	764 du (based on S15W and PUD regulations)	268 du (max. 35% increase)  268+764=1,032 du (total proposed)	Up to Two: 1) Building height, and 2) off-street parking.	Up to One: 1) Reduced Open space.	Meets Planning Code.	Government al Code Section 65915(d)(1)(2)(B)	17.107.040 (C)

**Density Bonus- Planned Unit Development / Concessions and Waivers**

The State of California encourages the development of affordable housing in part through the state’s Density Bonus law. California Government Code Section 65915 allows an increase in the number of

units a project can provide if the project includes a certain amount of affordable housing. In addition, in recognition that increased density may only be possible with concessions of, and waivers from, local regulations, the state includes concessions and waivers from development standards and other zoning regulations such as PUDs. The proposed project includes affordable housing that relies on density bonus allowances, and as such, the applicant requests two concessions and three waivers as follows:

Concession 1: Increased Building Height for Tower

Through the State Density Bonus, the applicant requests a concession to increase the maximum allowed building height of 160 feet in the S-15W Zone. The proposal would increase the building height from 160 feet to 338 feet (178 feet). The proposed 38-story north-wing (slim tower) of the residential building at the corner of 7<sup>th</sup> and Union Streets is planned in Phase 4 of the project. The current height area of 160 feet on Parcel 3 would limit and create a physical challenge and make the construction of the affordable residential units unfeasible. The increased height would manage building mass, allow natural light to the residential units and upper terrace, and serve as a sound barrier from BART trains to neighboring properties to the north.

The requested concession for a building height increase is for the north-wing of the residential high-rise. The additional height is necessary to accommodate affordable and market-rate units. Without an increase of height, the massing of the high-rise would be transferred to Buildings 1 and 2, and thus intensify their size, and make building cost prohibitive.

Concession 2: Reduced Parking

Through the State Density Bonus, the applicant requests a second concession to reduce off-street residential parking from the normally required 258 spaces to the proposed 59 spaces. The project site is located in a designated Transit-Oriented Development (TOD) zone, and only one block east of the West Oakland BART Station. The proposal provides 59 residential parking spaces, and would offer transportation incentives such as shared-parking and transit passes to their residents. In order to develop the required parking, the proposal would need to reduce the residential density that is needed to make the project economically viable. Further, if all parking is provided at grade level, most of the required ground-floor commercial space would be reduced, thus making the project unfeasible.

Waiver 1: Reduced Useable Open Space

Through the State Density Bonus, the applicant requests a waiver to reduce open-space for the residential units. The buildings would occupy close to two-thirds of the 137,389-square foot property. The proposal requires at least 77,400 square feet of open space for the 1,032 residential units. Given the large size of the building footprint, the project proposes a mix of courtyards, terraces and rooftop of approximately 27,000 square feet. Considering that the proposed public playground, dog park and pathways are within proximity of the residential units, these spaces can also be used by the project. If the project were to provide the required open space, then it would not be feasible to construct the buildings on a very limited space. Per the requested waivers, the project would be eligible for this reduction because it is not physically possible to comply with to the open space requirements.

Waiver 2: Increased Height Adjacent to 7<sup>th</sup> Street

The applicant requests a waiver from the zoning regulations to allow the height of the buildings facing 7<sup>th</sup> Street to exceed 75 feet within 10 feet from the front property lines. In the case of the two 84 -foot high mid-rise buildings, part of these two buildings exceed the maximum height by nine feet. In the case of the

338-foot high-rise building, the building exceeds the maximum height by 263 feet. The PUD allows some flexibility to waive development standards for the purpose of providing an integrated site plan. The project contains different wall and roof planes to provide massing relief and façade articulation. The building materials, colors and details are high-quality and attractive that would create a visual anchor on 7<sup>th</sup> St.

#### **DESIGN GUIDELINES APPLICABLE TO ALL INDUSTRIAL / BUSINESS / COMMERCIAL OPPORTUNITY AREAS IN THE WEST OAKLAND SPECIFIC PLANS (WOSP)**

The following guidelines are applicable throughout the West Oakland Specific Plan's industrial/ business/ commercial Opportunity Areas. The Intent for new construction and renovation in the four identified Opportunity Areas should be designed to maintain continuity with West Oakland's unique history and character. The proposal is in the West Oakland Specific Plan (WOSP) in Opportunity Area 2 (7th Street).

#### **SITE PLANNING**

**Site Planning 1 / Pedestrian Circulation:** *Active street edges with entrances from city sidewalks should directly face streets, maximizing the utilization of city sidewalks by users of the buildings.*

The proposal is designed to provide direct access to the streets with the commercial retail and residential lobbies facing the main corridor of 7<sup>th</sup> Street. Some of the active flexible commercial spaces would also face Kirkham, and portions of 5<sup>th</sup> Street. The main residential entry lobbies are centered in each building and would provide pedestrian circulation, and help activate the commercial corridor.

**Site Planning 2 / Vehicular Circulation:** *Vehicular entrances and garages should be less prominent than pedestrian entrances.*

The proposal includes two separate vehicular entries. The residential parking garage entry on Union Street would be approximately 75 feet from 7<sup>th</sup> Street, and the residential loading berth on Kirkham Street would be approximately 60 feet from 7<sup>th</sup> Street. The recessed parking garage and small size of the residential loading are not conspicuous compared to the residential and commercial entries.

**Site Planning 3 / Service Circulation:** *Service areas should be hidden from view from sidewalks whenever possible.*

The proposal is bounded by four separate streets with 7<sup>th</sup> Street being the main street corridor. The proposal shows service circulation on 7<sup>th</sup>, Kirkham and portions of 5<sup>th</sup> Streets. To minimize service circulation from public view, an improved service circulation plan is recommended to maintain the sidewalks clear and clean from view. A condition of approval is recommended. **See Condition #21.**

**Site Planning 4 / Building Footprint:** *New construction should be built to the edge of sidewalks to maintain the continuity of the area's street walls. Small ground-level inset bays for entrances, outdoor seating, and special corner features are appropriate variations within the street wall. In addition, an occasional plaza may be also appropriate.*

- *Relate to existing buildings and utilitarian structures, which need to be rehabilitated and reused.*
- *Expansion of existing buildings is encouraged, with unique aspects of existing buildings respected, featured, and protected.*
- *Surface parking is strongly discouraged along frontages facing public streets.*

The proposal provides new residential and commercial construction to the edge of the sidewalks along 7<sup>th</sup> and Kirkham Streets. The ground floor façade is stepped back 2 feet to 5 feet from the streetline to allow potential outdoor seating to the commercial businesses that would create more active spaces on the street.

***Site Planning 5 / Open Space:*** *West Oakland's public streetscapes along with its parks need to be embraced, improved, and enriched as public open space elements. Any new open space located in public view should not be walled from the street by dense planting or a tall fence.*

The proposal provides a playground, pedestrian pathways and a dog park that would be open to the public, and maintained by the project property owner. These open spaces are located within the private property, but will be accessible to the general public with some time restrictions. The project is also within the vicinity of Mandela Parkway, an urban park serving West Oakland.

### **BUILDING DESIGN**

***Building Design 1 / Massing:*** *New buildings should be designed with major massing elements that are consistent with those found in existing desirable buildings located in the immediate vicinity.*

The proposal consists of three separate buildings, each one located in a separate new parcel and separated by pathways and courtyards. The building mass is broken up with wall and roof plane relief and details to provide architectural context.

***Building Design 2 / Fenestration and Materials:*** *Fenestration elements, such as windows, doors, louvers, vents, wall panels, skylights, storefronts, curtain walls, and other glazed systems, can be either more historic or more contemporary depending on the context, and should be articulated to maintain the sense of scale found in the immediate context.*

The proposal incorporates a contemporary design that combines a large proportion of glazed surfaces, window patterns, and a variety of exterior wall panels with interesting colors to create a cohesive architectural arrangement with a bit of a light industrial look when viewed from public points.

### **WEST OAKLAND SPECIFIC DESIGN GUIDELINES FOR THE 7TH STREET OPPORTUNITY AREAS**

The following Design Guidelines addresses the urban design strategies and guidelines that are particular to the 7th Street Opportunity Areas, especially as to neighborhood commercial corridors with housing. The 7th Street guidelines intend that the project become the focus of the surrounding neighborhoods with active street edges that would encourage neighbors and visitors to experience a high-quality urban streetscape.

### **NEIGHBORHOOD COMMERCIAL**

***Neighborhood Commercial 1/ Site Planning:*** *Buildings should be built immediately fronting 7th Street to emphasize and re-establish where necessary the continuity of the neighborhood commercial street. Ground floors should have active publicly accessible uses such as restaurants, retail, lobbies and galleries. Driveways and vehicular entrances are discouraged from accessing directly from 7th Street and moved to side streets where feasible.*

The proposal contains three separate buildings with floor-to-ceiling heights of 19 to 22 feet high. The ground-floor retail and flexible commercial spaces are transparent and minimally recessed to allow outdoor seating, and make the street more active. The project driveways are located on Union Street, and a recessed residential loading berth is located on Kirkham Street.

***Neighborhood Commercial 2 / Massing:*** Residential upper stories are encouraged to include bay windows above the ground floor to provide light and air, and to break up the scale of buildings and convey residential use.

The proposal includes residential bay windows on the north and southeast sides of the high-rise. There are no bay windows on the mid-rises; however, portions of the wall planes are recessed to create a visual appearance that the buildings have bay windows.

***Neighborhood Commercial 3 / Height:*** Except when located at important intersections such as Mandela Parkway and 7th Street, buildings over 5 stories in height should generally include a significant step-back along commercial arterial roadways to harmonize the scale of new buildings with the existing neighborhood.

The proposal has buildings over five-stories high that face 7<sup>th</sup> Street, but are not at the Mandela Parkway intersection. Although the mid-rise and high-rise buildings are not stepped back from 7<sup>th</sup> Street, the design uses mass and height articulation to provide scale and visual relief when viewed from the street.

***Neighborhood Commercial 4 / Fenestration:*** Ground floors should have as many openings as possible with as few blank wall sections as possible. Awnings and canopies are encouraged.

The proposal provides large-scale storefronts with up to 22 foot-high transparent glazing to make the ground floor commercial space more inviting and visually attractive when viewed from around the streets.

***Neighborhood Commercial 5 / Materials:*** Buildings should have a variety of high quality materials that will define an interesting character when viewed up close and from a distance.

The proposal uses a variety of exterior building materials such as dark frame with clear glazing, dark bricks, plank cement and metal siding, perforated metal screens, low E window glass, wood and metal accents, and light blue canopies to create architectural texture and interest.

***Neighborhood Commercial 6 / Renovation of Older Buildings:*** Older commercial buildings should be restored in a manner consistent with their original architectural style.

The proposal is for the new construction of a mixed-use building; therefore, this criterion does not apply.

***Neighborhood Commercial 7 / Landscape:*** Street trees should be of a type that allows high visibility to storefronts and spaced to allow street lights to penetrate to sidewalks during nighttime.

The proposal includes at least 30 street trees around the project site. The trees are a mix of 24" box size Podocarpus Gracilior and Quercus Virginiana that would be planted at least 20 to 25 feet apart. Provided that new utilities would be installed in the street (e.g., street lights, the City's Public Works Department would make a final determination regarding the location of the trees to be installed and other furniture.

***Neighborhood Commercial 8 / Landscape:*** Publicly accessible outdoor space areas should be comprehensively designed with high quality pavement, landscaping, and seating, and are encouraged at

*the following locations: Mandela and 7th Street, Pablo and West Grand Avenue, San Pablo and 32nd Street.*

The project proposal is not located at the intersection of Mandela and 7<sup>th</sup> Street. However, the project includes a public playground, pedestrian pathways and a dog park. These public accessible outdoor spaces provide a mix of trees, shrubs, planters, metal bench and concrete seating, overhead art canopy, and colorful cement paving and cobble-stone materials for the outdoor areas.

## **KEY DESIGN ISSUES**

### **Planned Unit Development, Final Development Plan & Project Phasing**

The proposal currently under consideration is for a Planned Unit Development (PUD). This is the conceptual design of a phased development to be delivered over approximately eight years. The phasing is intentionally structured to achieve the following:

- **Guaranteed delivery of public-serving improvements:** The phasing plan requires delivery of the public-serving improvements in the first phase of development, including: a high quality, at-grade playground, dog park, pedestrian pathways, and gathering areas, and streetscape improvements prior to delivery of residential units. This ensures the project won't be constructed without the components that contribute to the livability and success of the surrounding neighborhood.
- **Guaranteed delivery of affordable units in each phase of development:** Each phase of residential development is required to include the overall required percentage of affordable units (at the targeted very low affordability level) to ensure that the waivers and concessions allowing the development as proposed are justified for any given phase.
- **Guaranteed availability of project parking throughout buildout of the project:** The project includes 59 on-site parking spaces that will be available to residents as of the first Certificate of Occupancy. Due to the very limited provision of parking, this strategy ensures the maximum availability of that parking, particularly during the early buildout years when single-occupancy automobile use will just be starting to wane.

### **Building Design**

The design of the proposed project has evolved significantly throughout the past eighteen months. As noted in previous DRC staff reports, staff (and DRC members) raised concerns about the uninspired appearance of the buildings and site design, the oppressive flat and repetitious facade treatments and general poor quality of the overall design. More recently, the applicant has worked diligently to resolve these concerns. The project is now designed with varied massing and facade treatments and details to provide differentiation between the buildings, as well as strong bases and vertical orientation. In addition, the ground plane has been designed to create interesting and pleasant spaces for residents and the public, with significant amenities and details specifically designed to create well-proportioned, inviting spaces.

Each project phase will be subject to a Final Development Permit (FDP). The FDP, by definition, will include a more resolved and refined design of what is included in the PUD. In this way, the public and Planning Commission will have an opportunity to control the quality of the design details as this project is further refined.

**Lack of Residential Parking**

Under the baseline zoning regulations for the project, the required number of parking spaces for the 1,032-unit residential facility is 258 spaces. However, consistent with the State's Density Bonus regulations, the project sponsor is requesting a concession for reduced parking. As a result, the project includes a total of 59 on-site residential parking spaces including six shared-parking spaces. To offset the current demand for on-site parking, the project is providing transit passes to residents through the project's Transportation Demand Management (TDM) plan. In addition, the project includes delivery of significant pedestrian and bicycle facilities in the public right-of-way. Because the site is located near major transit lines, in an area planned for intensification, it is reasonable to anticipate that future residents will rely on alternative modes of transportation.

**Land Use Intensity**

The proposal is located in a transit oriented-development area and is near the West Oakland BART Station. The 1,032 residential units and 34,000 square feet of commercial space is ideal because the site is on a major corridor, near downtown and close to major public transit facilities. The project includes a wide range of unit types from one- to five-bedroom units. In addition, the applicant is committed to providing high-quality and diversified open space (including play areas, a dog park, and public and exclusive use areas) to allow for quality living inside and outside of the dwelling units.

**Open Space**

The proposal provides approximately 27,000 square feet of group open space through private courtyards, upper terraces and rooftop for the residents of the 1,032-unit residential project. The Transit Oriented-Development zone requires 75 square feet of open space per dwelling unit (total of 77,400-sf), and the proposed open space may not be enough for this high-density development. The project, however, provides an additional 40,000 square feet of public open space in the form of pedestrian pathways, playground and dog park within the property. Staff believes that these privately-owned public spaces that are easily accessible and visually inviting would be a convenient open space for the residents of this large, complex project. These public amenities will contain high quality urban outdoor furniture, landscaping and parks that would be an asset for the enjoyment of all residents.

**Overview of Previous Disposition and Development Agreement ("DDA") and Requirement for an Amended DDA**

On May 17, 2016, the City Council adopted Ordinance No. 13368 C.M.S which authorized the City Administrator to exercise an exclusive Option to purchase the 500 Kirkham property from the California Department of Transportation ("Caltrans") in the amount of \$4,253,977, and to negotiate and execute a DDA that allowed the City to sell the 500 Kirkham property to TL Partners V, L.P. (TLC) for the same amount purchased by the City, to build a mixed-use transit-oriented development project consistent with the West Oakland Specific Plan (WOSP). The DDA was executed on October 24, 2016.

The project was entitled and approved under the DDA for 417 residential units. Staff negotiated the following community benefits under the DDA: (1) a 15 percent affordable housing requirement to be met by: (a) 7.5 percent of the project's on-site units (31 units) set as affordable to moderate-income households and (b) a \$3.15 million payment to the city's Affordable Housing Trust Fund (AHTF) to fund 31 units off-site; (c) a local jobs requirement to be met with a \$1 million payment to the City of Oakland or an entity to be named by the City of Oakland to provide job training for local residents; and (d) a requirement for open space on Property to be built, maintained and made available to the public.



TLC thereafter assigned the DDA to Panoramic Interests, who was ready to purchase the 500 Kirkham property before the Caltrans purchase deadline and willing to pursue Planning approval for an "Alternate Project" that they believed would be consistent with the West Oakland Specific Plan, but have a better chance of getting financed and built quickly in the current economic climate.

The City Council approved the DDA's assignment to Panoramic Interests on March 28, 2017, pursuant to Ordinance No. 13423 C.M.S. On April 12, 2017, Panoramic acquired the 500 Kirkham property from Caltrans via a "double escrow sale." Panoramic's "Alternate Project" is this project currently before the Planning Commission.

Panoramic must return the City Council for an amendment to the DDA that is consistent with the project approvals in the event the Planning Commission approves this project. Such requirement for an amendment will trigger further negotiations as to community benefits the City may seek in return for approval of an amended DDA. Staff has included a Condition of Approval to this project entitlement requiring the applicant to obtain approval for an amendment to the DDA prior to obtaining any project-related approvals.

### **California Environmental Quality Act (CEQA)**

A CEQA Analysis was prepared for this project which concludes that the proposed project satisfies each of the following CEQA Guidelines: (A) 15164-Addendum to EIRs; (B) 15183-Projects Consistent with a Community Plan, General Plan, or Zoning; (C) 15168-Program EIRs and Redevelopment Projects; and (D) 15183.3-Qualified Infill Projects. Each of the foregoing provides a separate and independent basis for CEQA compliance. The CEQA Analysis document was published and made publicly available on Friday, April 26, 2019 and separately provided to the Planning Commission. The CEQA Analysis document for the 500 Kirkham Street project can be reviewed at the Bureau of Planning offices, located at 250 Frank Ogawa Plaza, 2nd Floor or online at the following link here:

<http://www2.oaklandnet.com/government/o/PBN/OurServices/Application/DOWD009157>  
(Current Environmental Review Documents #85)

The CEQA analysis also relies upon the WOSP (West Oakland Specific Plan), EIR which can be viewed at the following links here:

<https://www.oaklandca.gov/resources/read-the-final-west-oakland-specific-plan-environmental-impact-report>

The CEQA analysis also relies upon the LUTE (Land Use Transportation Element), EIR which can be viewed at the following links here:

<http://www2.oaklandnet.com/government/o/PBN/OurServices/Application/DOWD009158>  
(LUTE / Item #1)

### **CONCLUSION**

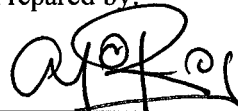
The development proposal would provide new affordable and market-rate residential and commercial facilities on a large, mostly vacant site in West Oakland. The project would provide much needed housing for very low-income households and market-rate housing to Oakland residents. The broad mix of residential unit types, ground floor commercial spaces, and open space opportunities will serve a wide

range of needs. The mixed-use proposal would be compatible with the existing uses that are mostly residential and commercial facilities. The proposal is an appropriate development for this underutilized site, and will improve the property with new uses, and a more sensitive development that minimize conflict between residential and freeway uses. Finally, the project will deliver well-designed, dense development close to a major transit node, supporting reliance on public transit for Oakland residents into the future.

**RECOMMENDATIONS**

1. Affirm staff's Environmental Determination and adopt the attached CEQA Findings; and
2. Approve the Project, including PUD, Conditional Use Permit, Vesting Tentative Parcel Map, and Regular Design Review, subject to the attached findings and conditions (including the SCAMMRP).

Prepared by:



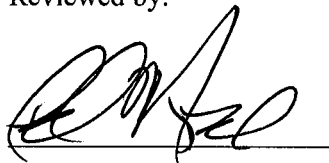
Mike Rivera  
Planner II, Development Planning  
Bureau of Planning

Reviewed by:



Catherine Payne  
Acting Development Planning Manager  
Bureau of Planning

Reviewed by:



Ed Manasse, Interim Deputy Planning Director  
Bureau of Planning

**ATTACHMENTS**

- A. Project Findings and CEQA Findings
- B. Project-Specific Conditions of Approval
  - Exhibit A:  
Standard Conditions of Approval-Mitigation Monitoring & Reporting Program (SCAMMRP)
  - Exhibit B:  
Graphic of 7<sup>th</sup> Street Conceptual Design
  - Exhibit C:  
Deed Restriction for Pedestrian Pathway
- C. Design Plans, dated May 2, 2019
- D. Public Comment Letters
- E. The CEQA document is provided under a separate cover, and is also online at the following link:  
<http://www2.oaklandnet.com/government/o/PBN/OurServices/Application/DOWD009157>  
*(The 500 Kirkham St CEQA Analysis / Item # 85)*

## ATTACHMENT A

### Findings for Approval

#### SECTION 17.140.080 for PLANNED UNIT DEVELOPMENT CRITERIA

A planned unit development permit may be granted only if it is found that the development conforms to all of the following criteria:

- A. That the location, design, size, and uses are consistent with the Oakland General Plan and with any other applicable plan, development control map, design guidelines, or ordinance adopted by the City Council or Planning Commission.

**The location and uses of the proposal are consistent with the General Plan and the West Oakland Specific Plan (WOSP). The General Plan land use designation for the project site is Community Commercial and is intended to create, maintain, and enhance areas suitable for a wide variety of commercial and institutional operations along the City's major corridors and in shopping districts or centers. The General Plan anticipates urban residential and mixed use developments in this designated area. The proposal which includes a variety of ground floor commercial and flexible commercial spaces, would be consistent with this designation.**

**The Project is also consistent with the WOSP because the property is identified as Opportunity Site #24 in Subarea 2A of the 7<sup>th</sup> Street Opportunity Area. As a transit-oriented development area, the redevelopment of this site has been a longstanding City goal and vision of the WOSP. The 7<sup>th</sup> Street Corridor is contemplated as an area for higher-density housing, commercial office, and government/institutional office space around the core of the West Oakland BART Station. By providing high-density housing, neighborhood-serving commercial/retail uses, and flexible commercial spaces for local artisans, manufacturers, and other local small businesses, the Project would implement the City's vision under the WOSP.**

- B. That the location, design, and size are such that the development can be well integrated with its surroundings, and, in the case of a departure in character from surrounding uses, that the location and design will adequately reduce the impact of the development.

**The proposal would attract new residents and bring commercial and residential vitality to a block of 7<sup>th</sup> Street that has been traditionally underutilized, thus meeting the vision of the WOSP. The project is in a transit-oriented development area and would implement the goals of the City by creating new high-density housing types, and ground floor commercial and flexible spaces.**

**The proposal would minimize any potential effects on the surrounding area by promoting neighborhood-serving retail uses and encourage the use of public transit as opposed to reliance on single-occupancy automobiles. The Project's reduced parking, and use of the TDM program will help reduce auto use and its related issues. The buildings consist of two mid-rises and one high-rise that would be located at the corner of 7<sup>th</sup> and Union Streets. The WOSP vision included a tower at the corner of 7<sup>th</sup> and Union Streets that would serve as a visual anchor and gateway for the area.**

- C. That the location, design, size, and uses are such that traffic generated by the development can be accommodated safely and without congestion on major streets and will avoid traversing other local streets.

**The location, design, size and operation of the project are such that traffic would be minimized, limiting congestion on nearby major streets, and nearby local streets.**

**The commercial uses in the project will provide convenience goods and services to the project residents and to other residents and workers in the area. The proposal would reduce the need to travel outside of the neighborhood, where limited retail facilities exist. The proposal's limited supply of parking, and its close location to the West Oakland BART Station, would attract households that do not own cars and thus would reduce reliance on automobiles.**

**The project is close to major transportation modes such as the West Oakland BART Station and AC transit bus lines. The proximity to public transit, and the availability of transportation alternatives would encourage residents and workers to utilize these alternatives, rather than driving.**

- D. That the location, design, size, and uses are such that the residents or establishments to be accommodated will be adequately served by existing or proposed facilities and services.

**The proposal is located in an urban area and is mostly surrounded by developed properties. The project site would be adequately served by existing and new utilities and services as described in the project CEQA analysis. The project applicant would also be required to provide or improve the needed infrastructure for the project residents and tenants.**

- E. That the location, design, size, and uses will result in an attractive, healthful, efficient, and stable environment for living, shopping, or working, the beneficial effects of which environment could not otherwise be achieved under the zoning regulations.

**The proposal fits the criteria for developing a high-density mixed-use in a transit corridor. The residential and commercial uses would rely and benefit from each other. The proposal would potentially create new job opportunities for local and regional residents. The project design is attractive and provides pedestrian pathways and parks to make the site inviting to the neighborhood.**

- F. That the development will be well integrated into its setting, will not require excessive earth moving or destroy desirable natural features, will not be visually obtrusive and will harmonize with surrounding areas and facilities, will not substantially harm major views for surrounding residents, and will provide sufficient buffering in the form of spatial separation, vegetation, topographic features, or other devices.

**The proposal would not require excessive earth moving because the site is flat, and will not include underground stories. The site was previously developed, and does not contain any natural features. The proposal would not block views, and the project contains a large mix of new landscaping, hardscape and other artistic design features to provide spatial separation and visual interest from the street and nearby properties.**

**SECTION 17.134.050- GENERAL CONDITIONAL USE PERMIT (CUP)**

Ground Floor Parking, Loading and Driveway within 20 feet of pedestrian pathway in the S-15W Zone

- A. That the location, size, design and operating characteristics of the proposed development will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to harmony in scale, bulk, coverage, and density; to the availability of civic facilities and utilities; to harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity of surrounding streets; and to any other relevant impact of the development.

**The proposal for two separate driveways and a loading space will not adversely affect the livability of the surrounding neighborhood. The size and operation of the residential driveway and loading area would be in scale to the large size development. The location and size of the residential driveway on Union Street would not conflict with the pedestrian pathway. The garage door is approximately seven feet from the sidewalk. Staff recommends a condition that the garage roll-up door is stepped-back at least an additional five feet. See Condition of Approval # 22.**

**The proposal also includes a residential loading space for move-in/move-out that is located on Kirkham Street. The location and size of the residential loading berth would not conflict with pedestrian traffic because the residential loading berth is approximately 2 feet from the inner side of the sidewalk. Staff believes that the loading area would not create a significant challenge to pedestrians.**

- B. That the location, design, and site planning of the proposed development will provide a convenient and functional living, working, shopping, or civic environment, and will be as attractive as the nature of the use and its location and setting warrant.

**The location of the residential driveway, and residential loading space will be a convenient use to the project residents. The residential driveway is the only access to the 59-space parking garage. The residential driveway would not interfere with pedestrian flow because it is located away from the main 7<sup>th</sup> Street corridor, and residential vehicles would not block the sidewalk because a Condition would require the garage door to be set back at least five feet from the back side of the sidewalk in order to allow vehicles to pull-in and not block the pedestrian path. The other residential loading space would not interfere with the pedestrian path because it will be located inside the building. Access to the residential loading space is from Kirkham Street and the loading area is set back at least 3 feet from the inner side of the 10-foot wide sidewalk. Given that his loading space is reserved for residential move-in/move-out, it is not expected to create to obstruct pedestrian traffic.**

- C. That the proposed development will enhance the successful operation of the surrounding area in its basic community functions, or will provide as essential service to the community or region.

**The proposal will provide on-site residential parking to the project residents of Building 1 and 2, and a reserved loading area for move-in/move-out. These two residential facilities would enable the project residents to use them, and not rely on on-street parking, thus enhancing the operation in the surrounding area.**

- D. That the proposal conforms to all applicable regular design review criteria set forth in the regular design review procedures at Section 17.136.050.

**The proposal for the residential driveway and residential loading space meets the Design Review Findings listed below in this report.**

- E. That the proposal conforms in all significant respects with the Oakland General Plan and with any other applicable guidelines or criteria, district plan or development control map which has been adopted by the Planning Commission or City Council.

**The proposal conforms to the policies of the General Plan by providing a specific number of on-site residential parking for the residents of Buildings 1 and 2. Also, the reserved residential loading space in Building 1 would only be used for move-in/move-out, a basic service and benefit to the project residents. As described within this report, the project also conforms to the applicable design review criteria.**

#### **17.97.100-ADDITIONAL USE PERMIT CRITERIA IN THE S-15 ZONE**

- A. That the proposal will be of a quality and character which harmonizes with and serves to protect the value of private and public investment in the area.

**The design proposal will be an improvement to the site and will relate to the surrounding area by providing a densely developed, amenity-rich project in a Transit Oriented-Development area, and thus providing value of private and public investment in the area.**

- B. That the proposal will encourage an appropriate mixture of Residential and Commercial Activities in a manner which promotes and enhances use of multiple modes of transportation.

**The proposal will provide a mix size of residential unit types, and ground-floor commercial areas that will encourage and promote the use of existing transit facilities along 7<sup>th</sup> Street and the West Oakland BART Station.**

- C. That the proposal is designed to provide a safe and pleasant pedestrian environment.

**The proposal is surrounded by four different public streets and new pedestrian pathways. The outdoor areas are designed to accommodate landscaping and street furniture to provide a safe and pleasant experience to future pedestrians.**

- D. That no front yard parking, loading area, or driveway shall connect or abut directly with the principal commercial street unless the determination can be made:

1. That vehicular access cannot reasonably be provided from a different street or other way.
2. That every reasonable effort has been made to share means of vehicular access with abutting properties.
3. That the proposal is enclosed or screened from view of the abutting principal street by the measures required in Section 17.110.040B.

**The proposal provides a street-level parking garage for 59 parking space that will be accessed from Union Street. The residential parking driveway will be located on Union Street, and the residential loading area will be located on Kirkham Street.**

- E. That the amount of off-street parking, if any, provided in excess of this code will not contribute significantly to an increased orientation of the area to automobile or truck movement.

**The proposal includes off-street residential parking for at least 59 parking spaces. The project will not provide off-street parking in excess of the Code requirement.**

- F. In addition to the foregoing criteria and any other applicable requirements, auto fee parking within this zone shall be subject to the following use permit criteria:
1. Auto fee parking shall be part of a larger development that contains a significant amount of commercial and/or residential facilities.
  2. Auto fee parking may only be contained in a structured parking facility of at least three stories that replaces an existing at grade parking facility.
  3. The new parking structure shall represent no more than a seventy-five percent (75%) increase of existing parking at the site.
  4. Auto fee parking at the site shall be specifically designated by a city sponsored plan or study designed to promote a transit oriented district as defined by the general plan.
  5. The facility or facilities containing the residential and/or commercial activities shall be adjacent to the principal street(s) and the auto fee parking shall be behind and substantially visually obstructed from the principal Street(s) by the residential and/or commercial facility or facilities; and
  6. The project shall be consistent in all significant respects with the general plan's goals, objectives, and policies that promote transit oriented development and districts.

**The mixed-use residential and commercial facility does not include auto-fee parking.**

**SECTION 17.136.050 (B) - DESIGN REVIEW CRITERIA / Non-Residential Facilities**

1. That the proposal will help achieve or maintain a group of facilities which are well related to one another and which, when taken together, will result in a well composed design, with consideration given to site, landscape, bulk, height, arrangement, texture, materials, colors, and appurtenances; the relation of these factors to other facilities in the vicinity; and the relation of the proposal to the total setting as seen from key points in the surrounding area. Only elements of design which have some significant relationship to outside appearance shall be considered, except as otherwise provided in Section 17.136.060.

**The proposal provides a storefront with up to 22-foot high glazing surfaces and aluminum framing on 7<sup>th</sup>, Kirkham, 5<sup>th</sup>, and a section of Union Streets. The storefronts have large openings to provide transparency, and provide visual interest and façade articulation. The project includes street trees, other trees within the property, raised planters, shrubs, ornamental plants and other street furniture such as wood and concrete built-in benches, decorative pathways, light poles and accent lights to create interest when seen from the surrounding area. The project provides approximately 35,000 square feet of commercial space, and includes a signage plan diagram depicting locations for future signs. The plans are preliminary, and it is recommended that a more developed plan is submitted under a Master Sign Program application. See Condition # 23.**



2. That the proposed design will be of a quality and character which harmonizes with, and serves to protect the value of, private and public investments in the area.

**The ground-floor commercial space has an interesting design and high quality materials that create character and harmony with surrounding retail/commercial uses and development. The development proposal protects and increases the value of private and public investment in the S-15 Zone by creating an attractive residential building with active ground floor uses, commercial pedestrian pathways, a playground and a dog park.**

3. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

**As discussed earlier in this report, the design proposal conforms to the General Plan by creating an attractive commercial, retail and flexible commercial space in the transit-oriented development of West Oakland and conforms to the design review criteria discussed in the applicable design review findings.**

#### **SECTION 17.136.050- DESIGN REVIEW CRITERIA**

##### **A. For Residential Facilities.**

1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures.

**The proposal is designed to contribute to the urban setting, where architectural elements such as building scale, design details and high quality materials are expected to relate to the surrounding area. The building manages building mass by applying a variety of roof and wall planes, angle bay windows, Juliette balconies, mix of window pattern, and a mix of colored materials, all of which create an interesting design that relates to the materials and textures of the surrounding area.**

2. That the proposed design will protect, preserve, or enhance desirable neighborhood characteristics.

**The proposal is designed to enhance the neighborhood setting by creating a contemporary style building that will enhance and encourage development of quality design along 7<sup>th</sup> Street. The proposal provides transparent storefront with tall ceilings, and prominent entries. The facade articulation and mix of materials and colors of the residential tower will encourage the development of high quality design, thus promoting desirable neighborhood characteristics.**

3. That the proposed design will be sensitive to the topography and landscape.

**The development site is flat and has a paved surface. The applicant proposes to remove street trees located around the project through a filed tree permit. The applicant proposes to install approximately 30 new street trees around the property, and new additional trees and a mix of landscaping will be planted within property.**

4. That, if situated on a hill, the design and massing of the proposed building relates to the grade of the hill.

**The site is not situated on a hill or on a hillside property.**

5. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

**As discussed earlier in this report, the proposal conforms to the related policies of the General Plan by providing residential and commercial uses in a high-density area and along major corridors. The project also conforms to the applicable design review criteria as discussed in the findings sections within this report.**

#### **16.08.030 – VESTING TENTATIVE PARCEL MAP FINDINGS**

Pursuant to California Government Code Section 66474, Chapter 4 of the Subdivision Map Act, the findings are presented as a basis for denial; thus, in order to approve the Project, none of the following findings should be satisfied.

- A. That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.

**The subdivision proposal to merge four parcels and create three new parcels is consistent with the designated Community Commercial Land Use Classification of the City's General Plan by encouraging urban multi-story residential development. The project would enhance the 7<sup>th</sup> Street major corridor by delivering 1,032 residential units in the West Oakland Transit Area.**

- B. That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.

**The proposal for residential development is consistent with the policy framework of the Community Commercial area for intensifying urban housing, and operating new commercial businesses near major transportation systems.**

- C. That the site is not physically suitable for the type of development.

**The project site is physically suitable for high-density residential and commercial development because it will meet the zoning development standards and requirements from other City agencies. The site will also contain infrastructure such as utilities, and vehicular and pedestrian access from the existing streets.**

- D. That the site is not physically suitable for the proposed density of development.

**The subdivision proposal is located in the S-15 Transit-Oriented Development Zone and nearby the West Oakland BART Station. The project site is suitable for the residential density because the property is located in a high-density district with existing supportive infrastructure already in existence.**

- E. That the design of the subdivision or the proposed improvements is likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

**The site has a paved surface and was previously developed with industrial uses in an urbanized area and is not habitat for any wildlife, as indicated in the environmental analysis.**

- F. That the design of the subdivision or type of improvements is likely to cause serious public health problems.

**The subdivision proposal is not likely to cause any serious public health problems because the property will be subject to the remediation process as discussed in the preliminary CEQA analysis including mitigation measures and/or conditions of approval. The proposal will be served by public water and sewer service.**

- G. That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. In this connection, the governing body may approve a map if it finds that alternate easements, for access or for use, will be provided, and that these will be substantially equivalent to ones previously acquired by the public. This subsection shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision.

**The proposal will be located on a vacant site previously developed and based on plans submitted, there are no public access easements or use of property within the proposed subdivision. The City Engineer/ City Surveyor/Fire Bureau may place conditions as necessary prior to the approval of the final Map.**

- H. The design of the subdivision provides to the extent feasible for future passive or natural heating or cooling opportunities in the subdivision.

**The subdivision proposal for residential and commercial development is designed to provide natural heating or cooling opportunities as required by building codes.**

**SECTION 16.24.040- LOT DESIGN STANDARDS**

- A. No lot shall be created without frontage on a public street, as defined by Section 16.04.030, except:
1. Lots created in conjunction with approved private easements.
  2. A single lot with frontage on a public street by means of a vehicular access corridor provided that in all cases the corridor shall have a minimum width of twenty (20) feet and shall not exceed three hundred (300) feet in length. Provided further, the corridor shall be a portion of the lot it serves, except that its area (square footage) shall not be included in computing the minimum lot area requirements of the zoning district.

**The proposal will include street frontage on public streets. The proposed parcels will have frontage on at least 7<sup>th</sup> and 5<sup>th</sup> Streets. Two of the parcels will have additional frontages on Kirkham and Union Streets.**

- B. The side lines of lots shall run at right angles or radially to the street upon which the lot fronts, except where impractical by reason of unusual topography.

**The three proposed new parcels will provide side lot lines that are at right angles to the frontage of 7th Street.**

- C. All applicable requirements of the zoning regulations shall be met.

**The proposal will result with three new parcels for the development of two residential and commercial parcels and one residential parcel. State Density Bonus law permits certain concessions and waivers to relax the zoning standards for the purpose of delivering affordable housing. Based on the criteria described in the body of the staff report, the applicable requirements can be met.**

- D. Lots shall be equal or larger in measure than the prevalent size of existing lots in the surrounding area except:
1. Where the area is still considered acreage.
  2. Where a deliberate change in the character of the area has been initiated by the adoption of a specific plan, a change in zone, a development control map, or a planned unit development.

**The three-parcel subdivision will result in new parcel sizes of similar size to the existing parcels in the immediate area.**

- E. Lots shall be designed in a manner to preserve and enhance natural out-croppings of rock, specimen trees or group of trees, creeks or other amenities.

**The property does not contain natural features such as out-croppings of rock, or a significant group of trees or creeks that will be affected within the proposed three-parcel subdivision.**

**CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)****CEQA COMPLIANCE FINDINGS**

- I. Introduction: These findings are made pursuant to the California Environmental Quality Act (Public Resources Code section 21000 et seq.; "CEQA") and the CEQA Guidelines (Cal. Code Regulations title 14, section 15000 et seq.; "CEQA Guidelines") by the Planning Commission in connection with the environmental analysis of the effects of implementation of the 500 Kirkham-Mixed Use project, as more fully described elsewhere in this Staff Report and in the City of Oakland ("City") CEQA Analysis document entitled "500 Kirkham CEQA Analysis" dated April 2019 ("CEQA Analysis") (the "Project"). The City is the lead agency for purposes of compliance with the requirements of CEQA. These CEQA findings are attached and incorporated by reference into each and every decision associated with approval of the Project and are based on substantial evidence in the entire administrative record.
  
- II. Applicability/Adoption of Previous CEQA Documents
  - A. Adoption of General Plan Land Use and Transportation Element (LUTE) and Certification of the 1998 LUTE EIR: The City finds and determines that (a) the Oakland City Council on March 24, 1998 adopted Resolution No. 74129 C.M.S. which adopted the General Plan Land Use and Transportation Element, made appropriate CEQA findings, including certification of the 1998 LUTE Environmental Impact Report ("EIR"); and (b) the LUTE satisfies the description of "Community Plan" set out in Public Resources Code section 21083.3(e) and in CEQA Guidelines section 15183, as well the description of "Planning Level Document" set out in Public Resources Code section 21094.5 and in CEQA Guidelines section 15183.3. The City Council, in adopting the LUTE following a public hearing, approved applicable mitigation measures which are largely the same as those identified in the other Program EIRs prepared after the 1998 LUTE EIR, either as mitigation measures or as a part of newer Standard Conditions of Approval ("SCAs") which constitute uniformly applied development policies or standards (together with other City development regulations) and determined that the mitigation measures set out in the 1998 LUTE EIR, would substantially mitigate the impacts of the LUTE and future projects thereunder. While approved after certification of the 1998 LUTE EIR, growth and potential effects of the development of the Project would have been considered in the cumulative growth projections factored into the LUTE EIR analysis.
  
- III. CEQA Analysis Document: The CEQA Analysis and all of its findings, determinations and information is hereby incorporated by reference as if fully set forth herein. The CEQA Analysis concluded that the Project satisfies each of the following CEQA provisions, qualifying the Project for four separate CEQA exemptions as summarized below and provides substantial evidence to support the following findings.

The City hereby finds that, as set forth below and as part of the CEQA Analysis, the Project is exempt from any additional CEQA Analysis under Public Resources Code Section 21166 (CEQA Guidelines §15162 and §15164), under Public Resources Code Section 21083.3 (CEQA Guidelines §15183), under Public Resources Code Section 21094.5 (CEQA Guidelines §15183.3) thus no additional environmental analysis beyond the CEQA Analysis is necessary, and no exceptions to the CEQA categorical exemptions under CEQA Guidelines §15300.2 apply. The specific statutory exemptions and the categorical exemption are discussed below in more detail.

- A. CEQA Analysis-Addendum; Public Resources Code Section 21166 (CEQA Guidelines §15162 and §15164): The City finds and determines that the CEQA Analysis constitutes an Addendum to the 2014 WOSP (West Oakland Specific Plan) EIR and that no additional environmental analysis of the Project beyond that contained in the 2014 EIR is necessary. The City further finds that no substantial changes are proposed in the Project that would require major revisions to the 2014 EIR because of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; no substantial changes occur with respect to the circumstances under which the Project will be undertaken which will require major revisions of the 2014 EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and there is no new information of substantial importance not known and which could not have been known with the exercise of reasonable diligence as of the time of certification of the 2014 EIR showing that the Project will have one or more significant effects not discussed in the 2014 EIR; significant effects previously examined will be substantially more severe than shown in the 2014 EIR, mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project; or mitigation measures or alternatives which are considerably different from those analyzed in the 2014 EIR would substantially reduce one or more significant effects on the environment.
- B. Projects Consistent with a Community Plan, General Plan, or Zoning; Public Resources Code Section 21083.3 (CEQA Guidelines §15183): The City finds and determines that, for the reasons set out below and in the CEQA Analysis, streamlining under CEQA Guidelines §15183 applies to the Project. No further environmental analysis is required because the Project is consistent with the development density and land use characteristics established by existing zoning and General Plan policies for which an EIR was certified, and all of the Project's effects on the environment were adequately analyzed and mitigation measures provided in the 1998 LUTE EIR for the overall project (collectively called "Previous CEQA Documents"); there are no significant effects on the environment which are peculiar to the Project or to the parcel upon which it is located not addressed and mitigated in the Previous CEQA Documents; and there is no new information showing that any of the effects shall be more significant than described in the Previous CEQA Documents.

As set out in detail in the attached CEQA Analysis, the City finds that, pursuant to CEQA Guidelines section 15183 and Public Resources Code section 21083.3, the Project is consistent with the development density analyzed in the Previous CEQA Documents and that there are no environmental effects of the Project peculiar to the Project or the Project Site which were not analyzed as significant effects in the Previous CEQA Documents or that will not be substantially mitigated by the imposition of the City's SCAs, nor are there potentially significant off-site impacts and cumulative impacts not discussed in the Previous CEQA Documents or that will not be substantially mitigated by the imposition of the City's SCAs; nor are any of the previously identified significant effects which, as a result of substantial information not known at the time of certification of the Previous CEQA Documents, are now determined to present a more severe adverse impact than discussed in the Previous CEQA Documents. As such, no further analysis of the environmental effects of the Project is required.

- C. Streamlining for In-Fill Projects; Public Resources Code Section 21094.5 (CEQA Guidelines §15183.3): The City finds and determines that, for the reasons set forth below and in the CEQA Analysis, Streamlining for In-Fill Projects applies to the Project and no further environmental analysis is required since the Project meets the criteria under CEQA Guidelines §15183.3, and all the Project's effects on the environment were adequately analyzed and mitigation measures

provided in the Previous CEQA Documents; the Project will cause no new specific effects not addressed in the Previous CEQA Documents that are specific to the Project or the Project Site; and there is no substantial new information showing that the adverse environmental effects of the Project are more significant than described in the Previous CEQA Documents.

The City finds that, pursuant to CEQA Guidelines section 15183.3, the CEQA Analysis contains in Attachment A, a written analysis consistent with Appendix M to the CEQA Guidelines examining whether the Project will cause any effects that require additional review under CEQA. The contents of Attachment A documents that the Project is located in an urban area satisfying the requirements of CEQA Guidelines §15183.3(a), satisfies the applicable performance standards set forth in Appendix M to the CEQA Guidelines, and is consistent with the General Plan land use designation, density, building intensity and applicable policies satisfying the requirements of CEQA Guidelines §15183.3(c). It also explains how the effects of the Project were analyzed in the Previous CEQA Documents; and indicates that the Project incorporates all applicable mitigation measures and SCAs from the Previous CEQA Documents. Attachment A also determines that the Project will cause no new specific effects not analyzed in the Previous CEQA Documents; determines that there is no substantial new information showing that the adverse environmental effects of the Project are more significant than described in the Previous CEQA Documents, determines that the Project will not cause new specific effects or more significant effects, and documents how uniformly applicable development policies or standards (including, without limitation, the SCAs) will mitigate environmental effects of the Project. Based upon the CEQA Analysis and other substantial evidence in the record, the City finds and determines that no further environmental analysis of the effects of the Project is required.

- D. Program EIRs and Redevelopment Projects (CEQA Guidelines §15168 and § 15180): The City finds and determines that for the reasons set forth below and in the CEQA Analysis, that the 2003 Redevelopment Plan EIR applies to the Project and no further environmental analysis is required since all the Project's effects on the environment were adequately analyzed and mitigation measures provided in the 2003 Redevelopment Plan EIR; the Project will cause no new specific effects not addressed in the 2003 Redevelopment Plan EIR that are specific to the Project or the Project Site; and there is no substantial new information showing that the adverse environmental effects of the Project are more significant than described in the 2003 Redevelopment Plan EIR.
- IV. Severability: The City finds that all three CEQA provisions discussed and determined to be applicable in Section III above are separately and independently applicable to the consideration of the Project and should any of the three be determined not to be so applicable, such determinations shall have no effect on the validity of these findings and the approval of the 500 Kirkham Project on any of the other grounds.
- V. Incorporation by Reference of Statement of Overriding Considerations: Each of the Previous CEQA Documents identified significant and unavoidable impacts.<sup>1</sup> The 1998 LUTE EIR identified six areas of environmental effects of the LUTE that presented significant and unavoidable impacts. Because the Project may contribute to some significant and unavoidable impacts identified in the Previous CEQA Documents identified above, but a Subsequent and/or Supplemental EIR is not required in accordance with CEQA Guidelines sections 15162, 15163, 15164, 15168, 15180, 15183 and 15183.3, a Statement of Overriding Considerations is not

---

<sup>1</sup> If these or any other findings inaccurately identify or fail to list a significant and unavoidable impact identified in the analysis, findings and conclusions of the 1988 LUTE EIR or their administrative records as a whole, the identification of that impact and any mitigation measure or SCA required to be implemented as part of the Project is not affected.

legally required. Nevertheless, in the interest of being conservative, the Statements of Overriding Consideration for the 1998 LUTE EIR, adopted by the City Council on March 24, 1998, via Resolution No. 74129 C.M.S are all hereby incorporated by reference as if fully set forth herein.



**ATTACHMENT B****Exhibit A – CONDITIONS OF APPROVAL****PART 1: STANDARD CONDITIONS OF APPROVAL – GENERAL CONDITIONS****1. Approved Use**

The project shall be constructed and operated in accordance with the authorized use as described in the approved application materials, and staff report dated June 5, 2019, and the approved plans, dated May 2, 2019, as amended by the following conditions of approval and mitigation measures, if applicable (“Conditions of Approval” or “Conditions”).

**2. Effective Date, Expiration, Extensions and Extinguishment**

This Approval shall become effective immediately, unless the Approval is appealable, in which case the Approval shall become effective in ten (10) calendar days unless an appeal is filed. Unless a different termination date is prescribed, this Approval shall expire two years from the Approval date, or from the date of the final decision in the event of an appeal, unless within such period a complete Final Development Permit for Phase 1 has been received and documented by the Bureau of Planning or the authorized activities have commenced in the case of a permit not involving construction or alteration. FDP applications must be deemed complete by the Bureau of Planning by the following dates:

- Phase 1 (all horizontal improvements): June 5, 2021
- Phase 2 (Building 1): June 5, 2023
- Phase 3 (Building 2): June 5, 2025
- Phase 4 (Building 3): June 5, 2027

In any case, the last Final Development Permit application shall be submitted to the City of Oakland and deemed complete within eight (8) years of this approval. Upon written request and payment of appropriate fees submitted no later than the expiration date of this Approval, the Director of City Planning or designee may grant a one-year extension of this date, with additional extensions subject to approval by the approving body. Expiration of any necessary building permit or other construction-related permit for this project may invalidate this Approval if said Approval has also expired. If litigation is filed challenging this Approval, or its implementation, then the time period stated above for obtaining necessary permits for construction or alteration and/or commencement of authorized activities is automatically extended for the duration of the litigation.

Any additional time extensions or any change to the phasing plan shall be considered by the Planning Commission.

**3. Compliance with Other Requirements**

The project applicant shall comply with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to those imposed by the City’s Bureau of Building, Fire Marshal, Department of Transportation, and Public Works Department. Compliance with other applicable requirements may require

changes to the approved use and/or plans. These changes shall be processed in accordance with the procedures contained in Condition #4.

**4. Minor and Major Changes**

- a. Minor changes to the approved project, plans, Conditions, facilities, or use may be approved administratively by the Director of City Planning.
- b. Major changes to the approved project, plans, Conditions, facilities, phasing or use shall be reviewed by the Director of City Planning to determine whether such changes require submittal and approval of a revision to the Approval by the original approving body or a new independent permit/approval. Major revisions shall be reviewed in accordance with the procedures required for the original permit/approval. A new independent permit/approval shall be reviewed in accordance with the procedures required for the new permit/approval.

**5. Compliance with Conditions of Approval**

- a. The project applicant and property owner, including successors, (collectively referred to hereafter as the "project applicant" or "applicant") shall be responsible for compliance with all the Conditions of Approval and any recommendations contained in any submitted and approved technical report at his/her sole cost and expense, subject to review and approval by the City of Oakland.
- b. The City of Oakland reserves the right at any time during construction to require certification by a licensed professional at the project applicant's expense that the as-built project conforms to all applicable requirements, including but not limited to, approved maximum heights and minimum setbacks. Failure to construct the project in accordance with the Approval may result in remedial reconstruction, permit revocation, permit modification, stop work, permit suspension, or other corrective action.
- c. Violation of any term, Condition, or project description relating to the Approval is unlawful, prohibited, and a violation of the Oakland Municipal Code. The City of Oakland reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the Approval or alter these Conditions if it is found that there is violation of any of the Conditions or the provisions of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions. The project applicant shall be responsible for paying fees in accordance with the City's Master Fee Schedule for inspections conducted by the City or a City-designated third-party to investigate alleged violations of the Approval or Conditions.

**6. Signed Copy of the Approval/Conditions**

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times.

**7. Blight/Nuisances**

The project site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within sixty (60) days of approval, unless an earlier date is specified elsewhere.

**8. Indemnification**

- a. To the maximum extent permitted by law, the project applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the Oakland City Council, the Oakland Redevelopment Successor Agency, the Oakland City Planning Commission, and their respective agents, officers, employees, and volunteers (hereafter collectively called "City") from any liability, damages, claim, judgment, loss (direct or indirect), action, causes of action, or proceeding (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "Action") against the City to attack, set aside, void or annul this Approval or implementation of this Approval. The City may elect, in its sole discretion, to participate in the defense of said Action and the project applicant shall reimburse the City for its reasonable legal costs and attorneys' fees.
- b. Within ten (10) calendar days of the filing of any Action as specified in subsection (a) above, the project applicant shall execute a Joint Defense Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment, or invalidation of the Approval. Failure to timely execute the Letter of Agreement does not relieve the project applicant of any of the obligations contained in this Condition or other requirements or Conditions of Approval that may be imposed by the City.

**9. Severability**

The Approval would not have been granted but for the applicability and validity of each and every one of the specified Conditions, and if one or more of such Conditions is found to be invalid by a court of competent jurisdiction this Approval would not have been granted without requiring other valid Conditions consistent with achieving the same purpose and intent of such Approval.

**10. Special Inspector/Inspections, Independent Technical Review, Project Coordination and Monitoring**

The project applicant may be required to cover the full costs of independent third-party technical review and City monitoring and inspection, including without limitation, special inspector(s)/inspection(s) during times of extensive or specialized plan-check review or construction, and inspections of potential violations of the Conditions of Approval. The project applicant shall establish a deposit with Engineering Services and/or the Bureau of Building, if directed by the Director of Public Works, Building Official, Director of City Planning, Director of Transportation, or designee, prior to the issuance of a construction-related permit and on an ongoing as-needed basis.

**11. Public Improvements**

The project applicant shall obtain all necessary permits/approvals, such as encroachment permits, obstruction permits, curb/gutter/sidewalk permits, and public improvement ("p-job") permits from the City for work in the public right-of-way, including but not limited to, streets, curbs, gutters, sidewalks, utilities, and fire hydrants. Prior to any work in the public right-of-way, the applicant shall submit plans for review and approval by the Bureau of Planning, the Bureau of Building, Engineering Services, Department of Transportation, and other City

departments as required. Public improvements shall be designed and installed to the satisfaction of the City.

**12. Compliance Matrix**

The project applicant shall submit a Compliance Matrix, in both written and electronic form, for review and approval by the Bureau of Planning and the Bureau of Building that lists each Condition of Approval (including each mitigation measure if applicable) in a sortable spreadsheet. The Compliance Matrix shall contain, at a minimum, each required Condition of Approval, when compliance with the Condition is required, and the status of compliance with each Condition. For multi-phased projects, the Compliance Matrix shall indicate which Condition applies to each phase. The project applicant shall submit the initial Compliance Matrix prior to the issuance of the first construction-related permit and shall submit an updated matrix upon request by the City.

**13. Construction Management Plan**

Prior to the issuance of the first construction-related permit, the project applicant and his/her general contractor shall submit a Construction Management Plan (CMP) for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments such as the Fire Department, Department of Transportation, and the Public Works Department as directed. The CMP shall contain measures to minimize potential construction impacts including measures to comply with all construction-related Conditions of Approval (and mitigation measures if applicable) such as dust control, construction emissions, hazardous materials, construction days/hours, construction traffic control, waste reduction and recycling, stormwater pollution prevention, noise control, complaint management, and cultural resource management (see applicable Conditions below). The CMP shall provide project-specific information including descriptive procedures, approval documentation, and drawings (such as a site logistics plan, fire safety plan, construction phasing plan, proposed truck routes, traffic control plan, complaint management plan, construction worker parking plan, and litter/debris clean-up plan) that specify how potential construction impacts will be minimized and how each construction-related requirement will be satisfied throughout construction of the project.

**14. Standard Conditions of Approval / Mitigation Monitoring and Reporting Program (SCAMMRP)**

- a. All mitigation measures identified in the 500 Kirkham Street CEQA Analysis are included in the Standard Condition of Approval / Mitigation Monitoring and Reporting Program (SCAMMRP) which is included in these Conditions of Approval and are incorporated herein by reference, at Attachment C, as Conditions of Approval of the project. The Standard Conditions of Approval identified in the 500 Kirkham Street CEQA Analysis document are also included in the SCAMMRP, and are, therefore, incorporated into these Conditions by reference but are not repeated in these Conditions. To the extent that there is any inconsistency between the SCAMMRP and these Conditions, the more restrictive Conditions shall govern. In the event a Standard Condition of Approval or mitigation measure recommended in the 500 Kirkham Street CEQA Analysis document has been inadvertently omitted from the SCAMMRP, that Standard Condition of Approval or mitigation measure is adopted and incorporated from the 500 Kirkham Street CEQA Analysis document into the SCAMMRP by reference, and adopted as a Condition of Approval. The project applicant and property owner shall be responsible for compliance with the requirements of any submitted and approved technical reports, all applicable mitigation measures adopted, and with all Conditions of Approval set forth herein at his/her sole cost and expense, unless otherwise expressly provided

in a specific mitigation measure or Condition of Approval, and subject to the review and approval by the City of Oakland. The SCAMMRP identifies the timeframe and responsible party for implementation and monitoring for each Standard Condition of Approval and mitigation measure. Unless otherwise specified, monitoring of compliance with the Standard Conditions of Approval and mitigation measures will be the responsibility of the Bureau of Planning, with overall authority concerning compliance residing with the Environmental Review Officer. Adoption of the SCAMMRP will constitute fulfillment of the CEQA monitoring and/or reporting requirement set forth in section 21081.6 of CEQA.

Prior to the issuance of the first construction-related permit, the project applicant shall pay the applicable mitigation and monitoring fee to the City in accordance with the City's Master Fee Schedule.

**PART 2: STANDARD CONDITIONS OF APPROVAL- MITIGATION MONITORING & REPORTING PROGRAM (SCAMMRP)**

This Standard Conditions of Approval and Mitigation Monitoring and Reporting Program (SCAMMRP) is based on the CEQA Analysis prepared for the 500 Kirkham Street Project (project). See **Exhibit A**.

This SCAMMRP is in compliance with Section 15097 of the CEQA Guidelines, which requires that the Lead Agency “adopt a program for monitoring or reporting on the revisions which it has required in the project and the measures it has imposed to mitigate or avoid significant environmental effects.” The SCAMMRP includes the City’s Standard Conditions of Approval (SCAs) imposed by the City on all projects with locational or other characteristics shared by the project; the City’s intent in imposing these SCAs is to minimize potential adverse effects that could result from implementation of the project and to ensure the conditions are implemented and monitored.

This CEQA Analysis is also based on the analysis in the following Program EIRs that apply to the project: Oakland’s West Oakland Specific Plan (WOSP) EIR, 1998 General Plan Land Use and Transportation Element (LUTE) EIR, the 2010 General Plan Housing Element EIR (2010 Housing Element Update EIR) and 2014 Addendum. None of the Mitigation Measures or SCAs from the 1998 LUTE or 2010 Housing Element Update and 2014 Addendum are included in this SCAMMRP because updated and equally effective Mitigation Measures or SCAs are identified in the WOSP EIR or in this CEQA Analysis for the project. Thus, the revised/current SCAs are designed to and would reduce impacts to less than significant levels. To the extent that there is any inconsistency between any mitigation measures and/or SCAs, the more restrictive conditions shall govern; to the extent any Mitigation Measure and/or SCA identified in the CEQA Analysis was inadvertently omitted, it is automatically incorporated herein by reference.

- The first column of the SCAMMRP table identifies applicable mitigation measures from the WOSP EIR and City of Oakland SCAs. Only the mitigation measures or the portions of the mitigation measures applicable to the project are listed. The SCAs listed are the City’s most current SCAs (May 2018). The SCAs were updated by the City and determined to be equally as effective and comprehensive, if not more, in reducing potential impacts to a less-than-significant level than those included in the WOSP EIR. The SCAs are identified by a number that is consistent with the most recent update or revision to the City’s *Standard Conditions of Approval and Uniformly Applied Development Standards* document<sup>2</sup> as provided in parentheses.
- The second column identifies the monitoring schedule or timing applicable of the project.
- The third column identifies the party responsible for monitoring the required action for the project.
- The fourth column summarizes the monitoring procedure.

The project sponsor is responsible for compliance with any mitigation measures and/or SCAs set forth herein at its sole cost and expense, unless otherwise expressly provided in a specific mitigation measure or SCA, and subject to the review and approval of the City of Oakland. Overall monitoring and compliance with the mitigation measures will be the responsibility of the Bureau of Planning or the Bureau of Building. Prior to the issuance of a demolition, grading, and/or construction permit, the project sponsor shall pay the applicable mitigation and monitoring fee to the City in accordance with the City’s Master Fee Schedule.

---

<sup>2</sup> Standard Conditions of Approval, Department of Planning and Building, Bureau of Planning, Adopted by the Oakland City Council on November 3, 2008 (Ordinance No. 12899 C.M.S.) Revised May 2018.

**EXHIBIT A**

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<b>Aesthetics, Shadow and Wind</b>			
<p><b>SCA-AES-1: Graffiti Control (#17)</b></p> <p>a. During construction and operation of the project, the project applicant shall incorporate best management practices reasonably related to the control of graffiti and/or the mitigation of the impacts of graffiti. Such best management practices may include, without limitation:</p> <ul style="list-style-type: none"> <li>i. Installation and maintenance of landscaping to discourage defacement of and/or protect likely graffiti-attracting surfaces.</li> <li>ii. Installation and maintenance of lighting to protect likely graffiti-attracting surfaces.</li> <li>iii. Use of paint with anti-graffiti coating.</li> <li>iv. Incorporation of architectural or design elements or features to discourage graffiti defacement in accordance with the principles of Crime Prevention Through Environmental Design (CPTED).</li> <li>v. Other practices approved by the City to deter, protect, or reduce the potential for graffiti defacement.</li> </ul> <p>b. The project applicant shall remove graffiti by appropriate means within seventy-two (72) hours. Appropriate means include:</p> <ul style="list-style-type: none"> <li>i. Removal through scrubbing, washing, sanding, and/or scraping (or similar method) without damaging the surface and without discharging wash water or cleaning detergents into the City storm drain system.</li> <li>ii. Covering with new paint to match the color of the surrounding surface.</li> <li>iii. Replacing with new surfacing (with City permits if required).</li> </ul>	Ongoing	N/A	Bureau of Building
<p><b>SCA-AES-2: Landscape Plan (#18)</b></p> <p>a. <i>Landscape Plan Required.</i> The project applicant shall submit a final Landscape Plan for City review and approval that is consistent with the approved Landscape Plan. The Landscape Plan shall be included with the set of drawings submitted for the construction-related permit and shall comply with the landscape requirements of chapter 17.124 of the Planning Code. Proposed plants shall be predominantly drought-tolerant. Specification of any street trees shall comply with the Master Street Tree List and Tree Planting Guidelines (which can be viewed at <a href="http://www2.oaklandnet.com/oakca1/groups/pwa/documents/report/oak042662.pdf">http://www2.oaklandnet.com/oakca1/groups/pwa/documents/report/oak042662.pdf</a> and <a href="http://www2.oaklandnet.com/oakca1/groups/pwa/documents/form/oak025595.pdf">http://www2.oaklandnet.com/oakca1/groups/pwa/documents/form/oak025595.pdf</a>, respectively), and with any applicable streetscape plan.</p> <p>b. <i>Landscape Installation.</i> The project applicant shall implement the approved Landscape Plan unless a bond, cash deposit, letter of credit, or other equivalent instrument acceptable to the Director of City Planning, is provided. The financial instrument shall equal the greater of \$2,500 or the estimated cost of implementing the Landscape Plan based on a licensed contractor's bid.</p> <p>c. <i>Landscape Maintenance.</i> All required planting shall be permanently maintained in good growing condition and, whenever necessary, replaced with new plant materials to ensure continued compliance with applicable landscaping requirements. The property owner shall be responsible for maintaining planting in adjacent public rights-of-way. All required fences, walls, and irrigation systems shall be permanently maintained in good condition and, whenever necessary, repaired or replaced.</p>	<p>a. Prior to approval of construction-related permit</p> <p>b. Prior to building permit final</p> <p>c. Prior to approval of construction-related permit</p>	<p>a. Bureau of Planning</p> <p>b. Bureau of Planning</p> <p>c. N/A</p>	<p>a. Bureau of Building</p> <p>b. Bureau of Building</p> <p>c. Bureau of Building</p>

<b>STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM</b>			
<b>Standard Conditions of Approval/ Mitigation Measures</b>	<b>Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring</b>		
	<b>When Required</b>	<b>Initial Approval</b>	<b>Monitoring/ Inspection</b>
<p><b>SCA-AES 3: Lighting (#19)</b>  <u>Requirement:</u> Proposed new exterior lighting fixtures shall be adequately shielded to a point below the light bulb and reflector to prevent unnecessary glare onto adjacent properties.</p>	Prior to building permit final	N/A	Bureau of Building
<p><b>SCA-AES-4: Trash and Blight Removal (#16)</b>  <u>Requirement:</u> The project applicant and his/her successors shall maintain the property free of blight, as defined in chapter 8.24 of the Oakland Municipal Code. For nonresidential and multi-family residential projects, the project applicant shall install and maintain trash receptacles near public entryways as needed to provide sufficient capacity for building users.</p>	Ongoing	N/A	Bureau of Building
<p><b>SCA-AES-5: Public Art for Private Development (#20)</b>  <u>Requirement:</u> The project is subject to the City’s Public Art Requirements for Private Development, adopted by Ordinance No. 13275 C.M.S. (“Ordinance”). The public art contribution requirements are equivalent to one-half percent (0.5%) for the “residential” building development costs, and one percent (1.0%) for the “non-residential” building development costs.</p> <p>The contribution requirement can be met through: 1) the installation of freely accessible art at the site; 2) the installation of freely accessible art within one-quarter mile of the site; or 3) satisfaction of alternative compliance methods described in the Ordinance, including, but not limited to, payment of an in-lieu fee contribution. The applicant shall provide proof of full payment of the in-lieu contribution and/or provide plans, for review and approval by the Planning Director, showing the installation or improvements required by the Ordinance prior to issuance of a building permit.</p> <p>Proof of installation of artwork, or other alternative requirement, is required prior to the City’s issuance of a final certificate of occupancy for each phase of a project unless a separate, legal binding instrument is executed ensuring compliance within a timely manner subject to City approval.</p>			
<b>Air Quality</b>			
<p><b>SCA-AIR-1: Diesel Particulate Matter Controls – Construction Related (#23)</b>  <b>a. Diesel Particulate Matter Reduction Measures</b>  <u>Requirement:</u> The project applicant shall implement appropriate measures during construction to reduce potential health risks to sensitive receptors due to exposure to diesel particulate matter (DPM) from construction emissions. The project applicant shall choose one of the following methods:</p> <p>i. The project applicant shall retain a qualified air quality consultant to prepare a Health Risk Assessment (HRA) in accordance with current guidance from the California Air Resources Board (CARB) and Office of Environmental Health and Hazard Assessment to determine the health risk to sensitive receptors exposed to DPM from project construction emissions. The HRA shall be submitted to the City (and the Air District if specifically requested) for review and approval. If the HRA concludes that the health risk is at or below acceptable levels, then DPM reduction measures are not required. If the HRA concludes that the health risk exceeds acceptable levels, DPM reduction measures shall be identified to reduce the health risk to acceptable levels as set forth under subsection b below. Identified DPM reduction measures shall be</p>	During construction	N/A	Bureau of Building



STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>submitted to the City for review and approval prior to the issuance of building permits and the approved DPM reduction measures shall be implemented during construction.</p> <p>-or-</p> <p>ii. All off-road diesel equipment shall be equipped with the most effective Verified Diesel Emission Control Strategies (VDECS) available for the engine type (Tier 4 engines automatically meet this requirement) as certified by CARB. The equipment shall be properly maintained and tuned in accordance with manufacturer specifications. This shall be verified through an equipment inventory submittal and Certification Statement that the Contractor agrees to compliance and acknowledges that a significant violation of this requirement shall constitute a material breach of contract.</p> <p><b>b. Construction Emissions Minimization Plan</b></p> <p><u>Requirement:</u> The project applicant shall prepare a Construction Emissions Minimization Plan (Emissions Plan) for all identified DPM reduction measures (if any). The Emissions Plan shall be submitted to the City (and the Bay Area Air Quality District if specifically requested) for review and approval prior to the issuance of building permits. The Emissions Plan shall include the following:</p> <p>i. An equipment inventory summarizing the type of off-road equipment required for each phase of construction, including the equipment manufacturer, equipment identification number, engine model year, engine certification (tier rating), horsepower, and engine serial number. For all VDECS, the equipment inventory shall also include the technology type, serial number, make, model, manufacturer, CARB verification number level, and installation date.</p> <p>ii. A Certification Statement that the Contractor agrees to comply fully with the Emissions Plan and acknowledges that a significant violation of the Emissions Plan shall constitute a material breach of contract.</p>			
<p><b>SCA-AIR-2: Dust Controls – Construction-Related (#21)</b></p> <p>The project applicant shall implement all of the following applicable air pollution control measures during construction of the project:</p> <p>a. Water all exposed surfaces of active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever feasible.</p> <p>b. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e., the minimum required space between the top of the load and the top of the trailer).</p> <p>c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.</p> <p>d. Limit vehicle speed on unpaved roads to 15 miles per hour.</p> <p>e. All demolition activities (if any) shall be suspended when average wind speed exceed 20 mph.</p> <p>f. All trucks and equipment, including tires, shall be washed off prior to leaving the site.</p> <p>e. Site accesses to a distance of 100 feet from the paved road shall be treated with a 6 to 12 inch compacted layer of wood chips, mulch or gravel.</p>	During construction	N/A	Bureau of Building

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<ul style="list-style-type: none"> <li>• Extensive site preparation (i.e., the construction site is four acres or more in size); or</li> <li>• Extensive soil transport (i.e., 10,000 or more cubic yards of soil import/export).</li> </ul> <p>h. Apply and maintain vegetative ground cover (e.g., hydroseed) or non-toxic soil stabilizers to disturbed areas of soil that will be inactive for more than one month. Enclose, cover, water twice daily, or apply (non-toxic) soil stabilizers to exposed stockpiles (dirt, sand.. etc.</p> <p>i. Designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust off-site. Their duties shall include holidays and weekends periods when work may not be in progress.</p> <p>j. When working at a site, install appropriate wind breaks (e.g., trees, fences) on the windward side(s) of the site, to minimize wind-blown dust. Windbreaks must have a maximum 50 percent air porosity.</p> <p>k. Post a publicly visible large on-site sign that includes the contact name and phone number for the project complaint manager responsible for responding to dust complaints and the telephone numbers of the City’s Code Enforcement unit and the Bay Area Quality Management District. When contacted, the project compliant manager shall respond and take corrective action within 48 hours.</p> <p>l. All exposed surfaces shall be watered at a frequency adequate to maintain minimum soil moisture of 12 percent. Moisture content can be verified by lab samples or moisture probe.</p>			
<p><b>SCA-AIR-3: Criteria Air Pollutant Controls – Construction Related (#22)</b>  <u>Requirement:</u> The project applicant shall implement all of the following applicable basic control measures for criteria air pollutants during construction of the project as applicable:</p> <p>a. Idling times on all diesel-fueled commercial vehicles over 10,000 lbs. shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes (as required by the California airborne toxics control measure Title 13, Section 2485, of the California Code of Regulations). Clear signage to this effect shall be provided for construction workers at all access points.</p> <p>b. Idling times on all diesel-fueled off-road vehicles over 25 horsepower shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes and fleet operators must develop a written policy as required by Title 23, Section 2449, of the California Code of Regulations (“California Air Resources Board Off-Road Diesel Regulations”).</p> <p>c. All construction equipment shall be maintained and properly tuned in accordance with the manufacturer’s specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. Equipment check documentation should be kept at the construction site and be available for review by the City and the Bay Area Air Quality District as needed.</p> <p>d. Portable equipment shall be powered by electricity if available. If electricity is not available, propane or natural gas shall be used if feasible. Diesel engines shall only be used if electricity is not available and it is not feasible to use propane or natural gas generators cannot meet the electrical demand.</p> <p>e. Low VOC (i.e., ROG) coatings shall be used that comply with BAAQMD Regulation 8, Rule 3: Architectural Coatings.</p> <p>f. All equipment to be used on the construction site shall comply with the requirements of Title 13, Section 2449, of the California Code of Regulations (“California Air Resources Board Off-Road Diesel Regulations”) and upon request by the City (and the Air District if specifically requested), the project applicant shall provide written documentation that fleet requirements have been met.</p>	During construction	N/A	Bureau of Building

<b>STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM</b>			
<b>Standard Conditions of Approval/ Mitigation Measures</b>	<b>Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring</b>		
	<b>When Required</b>	<b>Initial Approval</b>	<b>Monitoring/ Inspection</b>
<p><b>SCA-AIR-4: Asbestos in Structures (#27)</b></p> <p><u>Requirement:</u> The project applicant shall comply with all applicable laws and regulations regarding demolition and renovation of Asbestos Containing Materials (ACM), including but not limited to California Code of Regulations, Title 8; California Business and Professions Code, Division 3; California Health and Safety Code sections 25915-25919.7; and Bay Area Air Quality Management District, Regulation 11, Rule 2, as may be amended. Evidence of compliance shall be submitted to the City upon request.</p>	Prior to approval of construction-related permit	Bureau of Planning	Bureau of Building
<p><b>SCA-AIR-5: Stationary Sources of Air Pollution (Toxic Air Contaminants (#25))</b></p> <p><u>Requirement:</u> The project applicant shall incorporate appropriate measures into the project design in order to reduce the potential health risk due to on-site stationary sources of toxic air contaminants. The project applicant shall choose <b>one</b> of the following methods:</p> <p>a. The project applicant shall retain a qualified air quality consultant to prepare a Health Risk Assessment (HRA) in accordance with California Air Resources Board (CARB) and Office of Environmental Health and Hazard Assessment requirements to determine the health risk associated with proposed stationary sources of pollution in the project. The HRA shall be submitted to the City for review and approval. If the HRA concludes that the health risk is at or below acceptable levels, then health risk reduction measures are not required. If the HRA concludes the health risk exceeds acceptable levels, health risk reduction measures shall be identified to reduce the health risk to acceptable levels. Identified risk reduction measures shall be submitted to the City for review and approval and be included on the project drawings submitted for the construction-related permit or on other documentation submitted to the City.</p> <p>– or –</p> <p>a. The project applicant shall incorporate the following health risk reduction measures into the project. These features shall be submitted to the City for review and approval and be included on the project drawings submitted for the construction-related permit or on other documentation submitted to the City:</p> <p>i. Installation of non-diesel fueled generators, if feasible, or;</p> <p>ii. Installation of diesel generators with an EPA-certified Tier 4 engine or engines that are retrofitted with a CARB Level 3 Verified Diesel Emissions Control Strategy, if feasible.</p>	Prior to approval of construction-related permit	Bureau of Planning	Bureau of Building
<p><b>SCA-AIR-6: Exposure to Air Pollution (Toxic Air Contaminants) (#24)</b></p> <p><u>Requirement:</u> The project applicant shall incorporate appropriate measures into the project design in order to reduce the potential health risk due to on-site stationary sources of toxic air contaminants. The project applicant shall choose <b>one</b> of the following methods:</p> <p>i. The project applicant shall retain a qualified air quality consultant to prepare a Health Risk Assessment (HRA) in accordance with California Air Resources Board (CARB) and Office of Environmental Health and Hazard Assessment requirements to determine the health risk of exposure of project residents/occupants/users to air pollutants. The HRA shall be submitted to the City for review and approval. If the HRA concludes that the health risk is at or below acceptable levels, then health risk reduction measures are not required. If the HRA concludes that the health risk exceeds acceptable levels, health risk reduction measures shall be identified to reduce the health risk to acceptable levels. Identified risk reduction measures shall be submitted to the City for review and approval and be included on the project drawings submitted for the construction-related permit or on other documentation submitted to the City.</p> <p>– or –</p>	Prior to approval of construction-related permit	Bureau of Planning	Bureau of Building

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>ii. The project applicant shall incorporate the following health risk reduction measures into the project. These features shall be submitted to the City for review and approval and be included on the project drawings submitted for the construction-related permit or on other documentation submitted to the City:</p> <ul style="list-style-type: none"> <li>• Installation of air filtration to reduce cancer risks and Particulate Matter (PM) exposure for residents and other sensitive populations in the project that are in close proximity to sources of air pollution. Air filter devices shall be rated MERV-13 [insert MERV-16 for projects located in the West Oakland Specific Plan area] or higher. As part of implementing this measure, an ongoing maintenance plan for the building's HVAC air filtration system shall be required.</li> <li>• Where appropriate, install passive electrostatic filtering systems, especially those with low air velocities (i.e., 1 mph).</li> <li>• Phasing of residential developments when proposed within 500 feet of freeways such that homes nearest the freeway are built last, if feasible.</li> <li>• The project shall be designed to locate sensitive receptors as far away as feasible from the source(s) of air pollution. Operable windows, balconies, and building air intakes shall be located as far away from these sources as feasible. If near a distribution center, residents shall be located as far away as feasible from a loading dock or where trucks concentrate to deliver goods.</li> <li>• Sensitive receptors shall be located on the upper floors of buildings, if feasible.</li> <li>• Planting trees and/or vegetation between sensitive receptors and pollution source, if feasible. Trees that are best suited to trapping PM shall be planted, including one or more of the following: Pine (<i>Pinus nigra</i> var. <i>maritima</i>), Cypress (<i>X Cupressocyparis leylandii</i>), Hybrid poplar (<i>Populus deltoids X trichocarpa</i>), and Redwood (<i>Sequoia sempervirens</i>).</li> <li>• Sensitive receptors shall be located as far away from truck activity areas, such as loading docks and delivery areas, as feasible.</li> <li>• Existing and new diesel generators shall meet CARB's Tier 4 emission standards, if feasible.</li> <li>• Emissions from diesel trucks shall be reduced through implementing the following measures, if feasible: <ul style="list-style-type: none"> <li>• Installing electrical hook-ups for diesel trucks at loading docks.</li> <li>• Requiring trucks to use Transportation Refrigeration Units (TRU) that meet Tier 4 emission standards.</li> <li>• Requiring truck-intensive projects to use advanced exhaust technology (e.g., hybrid) or alternative fuels.</li> <li>• Prohibiting trucks from idling for more than two minutes.</li> <li>• Establishing truck routes to avoid sensitive receptors in the project. A truck route program, along with truck calming, parking, and delivery restrictions, shall be implemented.</li> </ul> </li> </ul> <p><b>b. Maintenance of Health Risk Reduction Measures</b>  <b>Requirement:</b> The project applicant shall maintain, repair, and/or replace installed health risk reduction measures, including but not limited to the HVAC system (if applicable), on an ongoing and as-needed basis. Prior to occupancy, the project applicant shall prepare and then distribute to the building manager/operator an operation and maintenance manual for the HVAC system and filter including the maintenance and replacement schedule for the filter.</p>			
<b>Biological Resources</b>			

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p><b>SCA-BIO-1: Bird Collision Reduction Measures (#29)</b></p> <p><b>Requirement:</b> The project applicant shall submit a Bird Collision Reduction Plan for City review and approval to reduce potential bird collisions to the maximum feasible extent. The Plan shall include all of the following mandatory measures, as well as applicable and specific project Best Management Practice (BMP) strategies to reduce bird strike impacts to the maximum feasible extent. The project applicant shall implement the approved Plan. Mandatory measures include <u>all</u> of the following:</p> <ul style="list-style-type: none"> <li>• For large buildings subject to federal aviation safety regulations, install minimum intensity white strobe lighting with three second flash instead of solid red or rotating lights.</li> <li>• Minimize the number of and co-locate rooftop-antennas and other rooftop structures. Monopole structures or antennas shall not include guy wires.</li> <li>• Avoid the use of mirrors in landscape design.</li> <li>• Avoid placement of bird-friendly attractants (i.e., landscaped areas, vegetated roofs, water features) near glass unless shielded by architectural features taller than the attractant that incorporate bird friendly treatments no more than two inches horizontally, four inches vertically, or both (the “two-by-four” rule), as explained below.</li> <li>• Apply bird-friendly glazing treatments to no less than 90 percent of all windows and glass between the ground and 60 feet above ground or to the height of existing adjacent landscape or the height of the proposed landscape. Examples of bird-friendly glazing treatments include the following: <ul style="list-style-type: none"> <li>• Use opaque glass in window panes instead of reflective glass.</li> <li>• Uniformly cover the interior or exterior of clear glass surface with patterns (e.g., dots, stripes, decals, images, abstract patterns). Patterns can be etched, fritted, or on films and shall have a density of no more than two inches horizontally, four inches vertically, or both (the “two-by-four” rule).</li> <li>• Install paned glass with fenestration patterns with vertical and horizontal mullions no more than two inches horizontally, four inches vertically, or both (the “two-by-four” rule).</li> <li>• Install external screens over non-reflective glass (as close to the glass as possible) for birds to perceive windows as solid objects.</li> <li>• Install UV-pattern reflective glass, laminated glass with a patterned UV-reflective coating, or UV-absorbing and UV-reflecting film on the glass since most birds can see ultraviolet light, which is invisible to humans.</li> <li>• Install decorative grilles, screens, netting, or louvers, with openings no more than two inches horizontally, four inches vertically, or both (the “two-by-four” rule).</li> <li>• Install awnings, overhangs, sunshades, or light shelves directly adjacent to clear glass which is recessed on all sides.</li> <li>• Install opaque window film or window film with a pattern/design which also adheres to the “two-by-four” rule for coverage.</li> </ul> </li> </ul> <p>Reduce light pollution. Examples include the following:</p> <ul style="list-style-type: none"> <li>• Extinguish night-time architectural illumination treatments during bird migration season (February 15 to May 15 and August 15 to November 30).</li> <li>• Install time switch control devices or occupancy sensors on non-emergency interior lights that can be programmed to turn off during non-work hours and between 11:00 p.m. and sunrise.</li> <li>• Reduce perimeter lighting whenever possible.</li> <li>• Install full cut-off, shielded, or directional lighting to minimize light spillage, glare, or light trespass.</li> </ul>	<p>Prior to approval of construction-related permit</p>	<p>Bureau of Planning</p>	<p>Bureau of Building</p>

**STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM**

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<ul style="list-style-type: none"> <li>Do not use beams of lights during the spring (February 15 to May 15) or fall (August 15 to November 30) migration.</li> <li>Develop and implement a building operation and management manual that promotes bird safety. Example measures in the manual include the following:                             <ul style="list-style-type: none"> <li>Donation of discovered dead bird specimens to an authorized bird conservation organization or museums (e.g., UC Berkeley Museum of Vertebrate Zoology) to aid in species identification and to benefit scientific study, as per all federal, state and local laws.</li> <li>Distribution of educational materials on bird-safe practices for the building occupants. Contact Golden Gate Audubon Society or American Bird Conservancy for materials.</li> <li>Asking employees to turn off task lighting at their work stations and draw office blinds, shades, curtains, or other window coverings at end of work day.</li> <li>Install interior blinds, shades, or other window coverings in windows above the ground floor visible from the exterior as part of the construction contract, lease agreement, or CC&amp;Rs.</li> <li>Schedule nightly maintenance during the day or to conclude before 11 p.m., if possible.</li> </ul> </li> </ul>			
<p><b>SCA-BIO-2: Tree Removal During Bird Breeding Season (#30)</b>  <u>Requirement:</u> To the extent feasible, removal of any tree and/or other vegetation suitable for nesting of birds shall not occur during the bird breeding season of February 1 to August 15 (or during December 15 to August 15 for trees located in or near marsh, wetland, or aquatic habitats). If tree removal must occur during the bird breeding season, all trees to be removed shall be surveyed by a qualified biologist to verify the presence or absence of nesting raptors or other birds. Pre-removal surveys shall be conducted within 15 days prior to the start of work and shall be submitted to the City for review and approval. If the survey indicates the potential presence of nesting raptors or other birds, the biologist shall determine an appropriately sized buffer around the nest in which no work will be allowed until the young have successfully fledged. The size of the nest buffer will be determined by the biologist in consultation with the California Department of Fish and Wildlife, and will be based to a large extent on the nesting species and its sensitivity to disturbance. In general, buffer sizes of 200 feet for raptors and 50 feet for other birds should suffice to prevent disturbance to birds nesting in the urban environment, but these buffers may be increased or decreased, as appropriate, depending on the bird species and the level of disturbance anticipated near the nest.</p>	Prior to removal of trees	Bureau of Planning	Bureau of Building
<p><b>SCA-BIO-3: Tree Permit (#31)</b>  <b>a. Tree Permit Required</b>  <u>Requirement:</u> Pursuant to the City’s Tree Protection Ordinance (OMC chapter 12.36), the project applicant shall obtain a tree permit and abide by the conditions of that permit.</p> <p><b>b. Tree Protection During Construction</b>  <u>Requirement:</u> Adequate protection shall be provided during the construction period for any trees which are to remain standing, including the following, plus any recommendations of an arborist:</p> <p>i. Before the start of any clearing, excavation, construction, or other work on the site, every protected tree deemed to be potentially endangered by said site work shall be securely fenced off at a distance from the base of the tree to be determined by the project’s consulting arborist. Such fences shall remain in place for duration of all such work. All trees to be removed shall be clearly marked. A scheme shall be established</p>	<p>a. Prior to approval of construction-related permit</p> <p>b. During Construction</p> <p>c. Prior to building permit final</p>	<p>a. Permit approval by Public Works Department, Tree Division; evidence of approval submitted to Bureau of Building</p> <p>b. Public Works</p>	<p>a. Bureau of Building</p> <p>b. Bureau of Building</p> <p>c. Bureau of Building</p>

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>for the removal and disposal of logs, brush, earth and other debris which will avoid injury to any protected tree.</p> <p>ii. Where proposed development or other site work is to encroach upon the protected perimeter of any protected tree, special measures shall be incorporated to allow the roots to breathe and obtain water and nutrients. Any excavation, cutting, filling, or compaction of the existing ground surface within the protected perimeter shall be minimized. No change in existing ground level shall occur within a distance to be determined by the project's consulting arborist from the base of any protected tree at any time. No burning or use of equipment with an open flame shall occur near or within the protected perimeter of any protected tree.</p> <p>iii. No storage or dumping of oil, gas, chemicals, or other substances that may be harmful to trees shall occur within the distance to be determined by the project's consulting arborist from the base of any protected trees, or any other location on the site from which such substances might enter the protected perimeter. No heavy construction equipment or construction materials shall be operated or stored within a distance from the base of any protected trees to be determined by the project's consulting arborist. Wires, ropes, or other devices shall not be attached to any protected tree, except as needed for support of the tree. No sign, other than a tag showing the botanical classification, shall be attached to any protected tree.</p> <p>iv. Periodically during construction, the leaves of protected trees shall be thoroughly sprayed with water to prevent buildup of dust and other pollution that would inhibit leaf transpiration.</p> <p>v. If any damage to a protected tree should occur during or as a result of work on the site, the project applicant shall immediately notify the Public Works Department and the project's consulting arborist shall make a recommendation to the City Tree Reviewer as to whether the damaged tree can be preserved. If, in the professional opinion of the Tree Reviewer, such tree cannot be preserved in a healthy state, the Tree Reviewer shall require replacement of any tree removed with another tree or trees on the same site deemed adequate by the Tree Reviewer to compensate for the loss of the tree that is removed.</p> <p>vi. All debris created as a result of any tree removal work shall be removed by the project applicant from the property within two weeks of debris creation, and such debris shall be properly disposed of by the project applicant in accordance with all applicable laws, ordinances, and regulations.</p> <p><b>c. Tree Replacement Plantings</b></p> <p><u>Requirement:</u> Replacement plantings shall be required for tree removals for the purposes of erosion control, groundwater replenishment, visual screening, wildlife habitat, and preventing excessive loss of shade, in accordance with the following criteria:</p> <p>i. No tree replacement shall be required for the removal of nonnative species, for the removal of trees which is required for the benefit of remaining trees, or where insufficient planting area exists for a mature tree of the species being considered.</p> <p>ii. Replacement tree species shall consist of Sequoia sempervirens (Coast Redwood), Quercus agrifolia (Coast Live Oak), Arbutus menziesii (Madrone), Aesculus californica (California Buckeye), Umbellularia californica (California Bay Laurel), or other tree species acceptable to the Tree Division.</p>		<p>Department, Tree Division</p> <p>c. Public Works Department, Tree Division</p>	

<b>STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM</b>			
<b>Standard Conditions of Approval/ Mitigation Measures</b>	<b>Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring</b>		
	<b>When Required</b>	<b>Initial Approval</b>	<b>Monitoring/ Inspection</b>
iii. Replacement trees shall be at least twenty-four (24) inch box size, unless a smaller size is recommended by the arborist, except that three fifteen (15) gallon size trees may be substituted for each twenty-four (24) inch box size tree where appropriate.  iv. Minimum planting areas must be available on site as follows: <ul style="list-style-type: none"> <li>• For Sequoia sempervirens, three hundred fifteen (315) square feet per tree;</li> <li>• For other species listed, seven hundred (700) square feet per tree.</li> </ul> v. In the event that replacement trees are required but cannot be planted due to site constraints, an in lieu fee in accordance with the City's Master Fee Schedule may be substituted for required replacement plantings, with all such revenues applied toward tree planting in city parks, streets and medians.  vi. The project applicant shall install the plantings and maintain the plantings until established. The Tree Reviewer of the Tree Division of the Public Works Department may require a landscape plan showing the replacement plantings and the method of irrigation. Any replacement plantings which fail to become established within one year of planting shall be replanted at the project applicant's expense.			



STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<b>Cultural Resources</b>			
<p><b>SCA-CUL-1: Archaeological and Paleontological Resources – Discovery During Construction (#33).</b></p> <p><u>Requirement:</u> Pursuant to CEQA Guidelines Section 15064.5(f), in the event that any historic or prehistoric subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant shall notify the City and consult with a qualified archaeologist or paleontologist, as applicable, to assess the significance of the find. In the case of discovery of paleontological resources, the assessment shall be done in accordance with the Society of Vertebrate Paleontology standards. If any find is determined to be significant, appropriate avoidance measures recommended by the consultant and approved by the City must be followed unless avoidance is determined unnecessary or infeasible by the City. Feasibility of avoidance shall be determined with consideration of factors such as the nature of the find, project design, costs, and other considerations. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery, excavation) shall be instituted. Work may proceed on other parts of the project site while measures for the cultural resources are implemented.</p> <p>In the event of data recovery of archaeological resources, the project applicant shall submit an Archaeological Research Design and Treatment Plan (ARDTP) prepared by a qualified archaeologist for review and approval by the City. The ARDTP is required to identify how the proposed data recovery program would preserve the significant information the archaeological resource is expected to contain. The ARDTP shall identify the scientific/historic research questions applicable to the expected resource, the data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. The ARDTP shall include the analysis and specify the curation and storage methods. Data recovery, in general, shall be limited to the portions of the archaeological resource that could be impacted by the proposed project. Destructive data recovery methods shall not be applied to portions of the archaeological resources if nondestructive methods are practicable. Because the intent of the ARDTP is to save as much of the archaeological resource as possible, including moving the resource, if feasible, preparation and implementation of the ARDTP would reduce the potential adverse impact to less than significant. The project applicant shall implement the ARDTP at his/her expense.</p> <p>In the event of excavation of paleontological resources, the project applicant shall submit an excavation plan prepared by a qualified paleontologist to the City for review and approval. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by a qualified paleontologist, as appropriate, according to current professional standards and at the expense of the project applicant.</p>	During construction	Bureau of Building; Bureau of Planning	Bureau of Building
<p><b>SCA-CUL-2: Archaeologically Sensitive Areas – Pre-Construction Measures (#34)</b></p> <p><u>Requirement:</u> The project applicant shall implement either Provision A (Intensive Pre-Construction Study) or Provision B (Construction ALERT Sheet) concerning archaeological resources.</p> <p><b>Provision A: Intensive Pre-Construction Study</b></p> <p>The project applicant shall retain a qualified archaeologist to conduct a site-specific, intensive archaeological resources study for review and approval by the City prior to soil-disturbing activities occurring on the project site. The purpose of the site-specific, intensive archaeological resources study is to identify early the potential presence of history-period archaeological resources on the project site. At a minimum, the study shall include:</p>	Prior to construction	Bureau of Building	Bureau of Building

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>a. Subsurface presence/absence studies of the project site. Field studies may include, but are not limited to, auguring and other common methods used to identify the presence of archaeological resources.</p> <p>b. A report disseminating the results of this research.</p> <p>c. Recommendations for any additional measures that could be necessary to mitigate any adverse impacts to recorded and/or inadvertently discovered cultural resources.</p> <p>If the results of the study indicate a high potential presence of historic-period archaeological resources on the project site, or a potential resource is discovered, the project applicant shall hire a qualified archaeologist to monitor any ground disturbing activities on the project site during construction and prepare an ALERT sheet pursuant to Provision B below that details what could potentially be found at the project site. Archaeological monitoring would include briefing construction personnel about the type of artifacts that may be present (as referenced in the ALERT sheet, required per Provision B below) and the procedures to follow if any artifacts are encountered, field recording and sampling in accordance with the Secretary of Interior’s Standards and Guidelines for Archaeological Documentation, notifying the appropriate officials if human remains or cultural resources are discovered, and preparing a report to document negative findings after construction is completed if no archaeological resources are discovered during construction.</p> <p><b>Provision B: Construction ALERT Sheet.</b>                      The project applicant shall prepare a construction “ALERT” sheet developed by a qualified archaeologist for review and approval by the City prior to soil-disturbing activities occurring on the project site. The ALERT sheet shall contain, at a minimum, visuals that depict each type of artifact that could be encountered on the project site. Training by the qualified archaeologist shall be provided to the project’s prime contractor, any project subcontractor firms (including demolition, excavation, grading, foundation, and pile driving), and utility firms involved in soil- disturbing activities within the project site.</p> <p>The ALERT sheet shall state, in addition to the basic archaeological resource protection measures contained in other standard conditions of approval, all work must stop and the City’s Environmental Review Officer contacted in the event of discovery of the following cultural materials: concentrations of shellfish remains; evidence of fire (ashes, charcoal, burnt earth, fire-cracked rocks); concentrations of bones; recognizable Native American artifacts (arrowheads, shell beads, stone mortars [bowls], humanly shaped rock); building foundation remains; trash pits, privies (outhouse holes); floor remains; wells; concentrations of bottles, broken dishes, shoes, buttons, cut animal bones, hardware, household items, barrels, etc.; thick layers of burned building debris (charcoal, nails, fused glass, burned plaster, burned dishes); wood structural remains (building, ship, wharf); clay roof/floor tiles; stone walls or footings; or gravestones. Prior to any soil-disturbing activities, each contractor shall be responsible for ensuring that the ALERT sheet is circulated to all field personnel, including machine operators, field crew, pile drivers, and supervisory personnel. The ALERT sheet shall also be posted in a visible location at the project site.</p>			
<p><b>SCA-CUL-3: Human Remains – Discovery During Construction (#35)</b>                      Pursuant to CEQA Guidelines section 15064.5(e)(1), in the event that human skeletal remains are uncovered at the project site during construction activities, all work shall immediately halt and the project applicant shall notify the City and the Alameda County Coroner. If the County Coroner determines that an investigation of the cause of death is required or that the remains are Native American, all work shall cease within 50 feet of the remains until appropriate arrangements are made. In the event that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of Section 7050.5 of the California Health and Safety</p>	During construction	N/A	Bureau of Building

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
Code. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance, and avoidance measures (if applicable) shall be completed expeditiously and at the expense of the project applicant.			
<b>Geology, Soils and Geohazards</b>			
<b>SCA-GEO-1: Construction-Related Permit(s) (#37)</b> The project applicant shall obtain all required construction-related permits/approvals from the City. The project shall comply with all standards, requirements and conditions contained in construction-related codes, including but not limited to the Oakland Building Code and the Oakland Grading Regulations, to ensure structural integrity and safe construction.	Prior to approval of construction-related permit	Bureau of Building	Bureau of Building
<b>SCA-GEO-2: Seismic Hazards Zone (Landslide/Liquefaction) (#40)</b> The project applicant shall submit a site-specific geotechnical report, consistent with California Geological Survey Special Publication 117 (as amended), prepared by a registered geotechnical engineer for City review and approval containing at a minimum a description of the geological and geotechnical conditions at the site, an evaluation of site-specific seismic hazards based on geological and geotechnical conditions, and recommended measures to reduce potential impacts related to liquefaction and/or slope stability hazards. The project applicant shall implement the recommendations contained in the approved report during project design and construction.	Prior to approval of construction-related permit	Bureau of Building	Bureau of Building
<b>SCA-HYD-1: Erosion and Sedimentation Control Plan for Construction (#49)</b> See SCA-HYD-1 below.	See SCA-HYD-1 below.	See SCA-HYD-1 below.	See SCA-HYD-1 below.
<b>SCA-HYD-2: State Construction General Permit (#50)</b> See SCA-HYD-2 below.	See SCA-HYD-2 below.	See SCA-HYD-2 below.	See SCA-HYD-2 below.
<b>Greenhouse Gas Emissions/Global Climate Change</b>			
<b>SCA-GHG-1: Greenhouse Gas (GHG) Reduction Plan (#42)</b> <b>a. Greenhouse Gas (GHG) Reduction Plan Required</b> <u>Requirement:</u> The project applicant shall retain a qualified air quality consultant to develop a Greenhouse Gas (GHG) Reduction Plan for City review and approval and shall implement the approved GHG Reduction Plan.  The requirement for a Greenhouse Gas Reduction Plan, would apply under any of the following scenarios:  <b>Scenario A:</b> Projects which (a) involve a land use development (i.e., a project that does <u>not</u> require a permit from the Bay Area Air Quality Management District (BAAQMD) to operate), (b) exceed the greenhouse gas (GHG) emissions screening criteria contained in the BAAQMD CEQA Guidelines, <u>AND</u> (c) after a GHG analysis is prepared would produce total GHG emissions of more than 1,100 metric tons of CO <sub>2</sub> e annually <u>AND</u> more than 4.6 metric tons of CO <sub>2</sub> e per service population annually (with "service population" defined as the total number of employees and residents of the project).  <b>Scenario B:</b> Projects which (a) involve a land use development, (b) exceed the GHG emissions screening criteria contained in the BAAQMD CEQA Guidelines, (c) after a GHG analysis is prepared would exceed <u>at least one</u> of the BAAQMD Thresholds of Significance	a. Prior to approval of construction-related permit  b. During construction  c. Ongoing	a. Bureau of Planning  b. Bureau of Planning  c. Bureau of Planning	a. N/A  b. Bureau of Planning  c. Bureau of Planning

<b>STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM</b>			
	<b>Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring</b>		
	<b>When Required</b>	<b>Initial Approval</b>	<b>Monitoring/ Inspection</b>
<p align="center"><b>Standard Conditions of Approval/ Mitigation Measures</b></p> <p>(more than 1,100 metric tons of CO<sub>2</sub>e annually OR more than 4.6 metric tons of CO<sub>2</sub>e per service population annually), <u>AND</u> (d) are considered to be "Very Large Projects."</p> <p><b>Scenario C:</b> Projects which (a) involve a stationary source of GHG (i.e., a project that requires a permit from BAAQMD to operate) <u>AND</u> (b) after a GHG analysis is prepared would produce total GHG emissions of more than 10,000 metric tons of CO<sub>2</sub>e annually.</p> <p>The goal of the GHG Reduction Plan shall be to increase energy efficiency and reduce GHG emissions to below at least one of the Bay Area Quality Management District's (BAAQMD's) CEQA Thresholds of Significance (1,100 metric tons of CO<sub>2</sub>e per year or 4.6 metric tons of CO<sub>2</sub>e per year per service population) AND to reduce GHG emissions by 36 percent below the project's 2005 "business-as usual" baseline GHG emissions (as explained below) to help implement the City's Energy and Climate Action Plan (adopted in 2012) which calls for reducing GHG emissions by 36 percent below 2005 levels. The GHG Reduction Plan shall include, at a minimum, (a) a detailed GHG emissions inventory for the project under a "business-as-usual" scenario with no consideration of project design features, or other energy efficiencies, (b) an "adjusted" baseline GHG emissions inventory for the project, taking into consideration energy efficiencies included as part of the project (including the City's Standard Conditions of Approval, proposed mitigation measures, project design features, and other City requirements), additional GHG reduction measures available to further reduce GHG emissions, and (c) requirements for ongoing monitoring and reporting to demonstrate that the additional GHG reduction measures are being implemented. If the project is to be constructed in phases, the GHG Reduction Plan shall provide GHG emissions scenarios by phase.</p> <p>Potential GHG reduction measures to be considered include, but are not be limited to, measures recommended in BAAQMD's latest CEQA Air Quality Guidelines, the California Air Resources Board Scoping Plan (December 2008, as may be revised), the California Air Pollution Control Officers Association (CAPCOA) Quantifying Greenhouse Gas Mitigation Measures (August 2010, as may be revised), the California Attorney General's website, and Reference Guides on Leadership in Energy and Environmental Design (LEED) published by the U.S. Green Building Council.</p> <p>The types of allowable GHG reduction measures include the following (listed in order of City preference): (1) physical design features; (2) operational features; and (3) the payment of fees to fund GHG-reducing programs (i.e., the purchase of "carbon credits") as explained below.</p> <p>The allowable locations of the GHG reduction measures include the following (listed in order of City preference): (1) the project site; (2) off site within the city of Oakland; (3) off site within the SFBAAB; (4) off site within the state of California; then (5) elsewhere in the U.S.</p> <p>As with preferred locations for the implementation of all GHG reductions measures, the preference for carbon credit purchases include those that can be achieved as follows (listed in order of City preference): (1) within the city of Oakland; (2) within the SFBAAB; (3) within the state of California; then (4) elsewhere in the U.S. The cost of carbon credit purchases shall be based on current market value at the time purchased and shall be based on the project's operational emissions estimated in the GHG Reduction Plan or subsequent approved emissions inventory, which may result in emissions that are higher or lower than those estimated in the GHG Reduction Plan.</p> <p>For physical GHG reduction measures to be incorporated into the design of the project, the measures shall be included on the drawings submitted for construction-related permits.</p> <p><b>b. GHG Reduction Plan Implementation During Construction</b></p>			

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p><b>Requirement:</b> The project applicant shall implement the GHG Reduction Plan during construction of the project. For physical GHG reduction measures to be incorporated into the design of the project, the measures shall be implemented during construction. For physical GHG reduction measures to be incorporated into off-site projects, the project applicant shall obtain all necessary permits/approvals and the measures shall be included on drawings and submitted to the City Planning Director or his/her designee for review and approval. These off-site improvements shall be installed prior to completion of the subject project (or prior to completion of the project phase for phased projects). For GHG reduction measures involving the purchase of carbon credits, evidence of the payment/purchase shall be submitted to the City for review and approval prior to completion of the project (or prior to completion of the project phase, for phased projects).</p> <p><b>c. GHG Reduction Plan Implementation After Construction</b></p> <p><b>Requirement:</b> The project applicant shall implement the GHG Reduction Plan after construction of the project (or at the completion of the project phase for phased projects). For operational GHG reduction measures to be incorporated into the project or off-site projects, the measures shall be implemented on an indefinite and ongoing basis.</p> <p>The project applicant shall satisfy the following requirements for ongoing monitoring and reporting to demonstrate that the additional GHG reduction measures are being implemented. The GHG Reduction Plan requires regular periodic evaluation over the life of the project (generally estimated to be at least 40 years) to determine how the Plan is achieving required GHG emissions reductions over time, as well as the efficacy of the specific additional GHG reduction measures identified in the Plan.</p> <p><b>Annual Report.</b> Implementation of the GHG reduction measures and related requirements shall be ensured through compliance with Conditions of Approval adopted for the project. Generally, starting two years after the City issues the first Certificate of Occupancy for the project, the project applicant shall prepare each year of the useful life of the project an Annual GHG Emissions Reduction Report (“Annual Report”), for review and approval by the City Planning Director or his/her designee. The Annual Report shall be submitted to an independent reviewer of the City’s choosing, to be paid for by the project applicant.</p> <p>The Annual Report shall summarize the project’s implementation of GHG reduction measures over the preceding year, intended upcoming changes, compliance with the conditions of the Plan, and include a brief summary of the previous year’s Annual Report results (starting the second year). The Annual Report shall include a comparison of annual project emissions to the baseline emissions reported in the GHG Plan.</p> <p>The GHG Reduction Plan shall be considered fully attained when project emissions are less than either applicable numeric BAAQMD CEQA Thresholds <u>AND</u> GHG emissions are 36 percent below the project’s 2005 “business-as-usual” baseline GHG emissions, as confirmed by the City through an established monitoring program. Monitoring and reporting activities will continue at the City’s discretion, as discussed below.</p> <p><b>Corrective Procedure.</b> If the third Annual Report, or any report thereafter, indicates that, in spite of the implementation of the GHG Reduction Plan, the project is not achieving the GHG reduction goal, the project applicant shall prepare a report for City review and approval, which proposes additional or revised GHG measures to better achieve the GHG emissions reduction goals, including without limitation, a discussion on the feasibility and effectiveness of the menu of other additional measures (“Corrective GHG Action Plan”). The project applicant shall then implement the approved Corrective GHG Action Plan.</p> <p>If, one year after the Corrective GHG Action Plan is implemented, the required GHG emissions reduction target is still not being achieved, or if the project applicant fails to submit a report at the times described above, or if the reports do not meet City requirements outlined above, the City may, in addition to its other remedies, (a) assess the project</p>			

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>applicant a financial penalty based upon actual percentage reduction in GHG emissions as compared to the percent reduction in GHG emissions established in the GHG Reduction Plan; or (b) refer the matter to the City Planning Commission for scheduling of a compliance hearing to determine whether the project's approvals should be revoked, altered or additional conditions of approval imposed.</p> <p>The penalty as described in (a) above shall be determined by the City Planning Director or his/her designee and be commensurate with the percentage GHG emissions reduction not achieved (compared to the applicable numeric significance thresholds) or required percentage reduction from the "adjusted" baseline.</p> <p>In determining whether a financial penalty or other remedy is appropriate, the City shall not impose a penalty if the project applicant has made a good faith effort to comply with the GHG Reduction Plan.</p> <p>The City would only have the ability to impose a monetary penalty after a reasonable cure period and in accordance with the enforcement process outlined in Planning Code Chapter 17.152. If a financial penalty is imposed, such penalty sums shall be used by the City solely toward the implementation of the GHG Reduction Plan.</p> <p><b>Timeline Discretion and Summary.</b> The City shall have the discretion to reasonably modify the timing of reporting, with reasonable notice and opportunity to comment by the applicant, to coincide with other related monitoring and reporting required for the project.</p>			
<p><b>SCA-TRANS-2:</b> Transportation and Parking Demand Management (#79) See SCA-TRANS-2 below.</p>	See SCA-TRANS-2 below.	See SCA-TRANS-2 below.	See SCA-TRANS-2 below.
<p><b>SCA-UTIL-5:</b> Construction and Demolition Waste Reduction and Recycling (#84) See SCA-UTIL-5 below.</p>	See SCA-UTIL-5 below.	See SCA-UTIL-5 below.	See SCA-UTIL-5 below.
<p><b>SCA-UTIL-7:</b> Green Building Requirements (#87) See SCA-UTIL-7 below.</p>	See SCA-UTIL-7 below.	See SCA-UTIL-7 below.	See SCA-UTIL-7 below.
<b>Hazards and Hazardous Materials</b>			
<p><b>SCA-HAZ-1:</b> Hazardous Materials Related to Construction (#43) <b>Requirement:</b> The project applicant shall ensure that Best Management Practices (BMPs) are implemented by the contractor during construction to minimize potential negative effects on groundwater, soils, and human health. These shall include, at a minimum, the following:</p> <ol style="list-style-type: none"> <li>Follow manufacture's recommendations for use, storage, and disposal of chemical products used in construction;</li> <li>Avoid overtopping construction equipment fuel gas tanks;</li> <li>During routine maintenance of construction equipment, properly contain and remove grease and oils;</li> <li>Properly dispose of discarded containers of fuels and other chemicals;</li> <li>Implement lead-safe work practices and comply with all local, regional, state, and federal requirements concerning lead (for more information refer to the Alameda County Lead Poisoning Prevention Program); and</li> <li>If soil, groundwater, or other environmental medium with suspected contamination is encountered unexpectedly during construction activities (e.g., identified by odor or visual staining, or if any underground storage tanks, abandoned drums or other</li> </ol>	During construction	N/A	Bureau of Building

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
hazardous materials or wastes are encountered), the project applicant shall cease work in the vicinity of the suspect material, the area shall be secured as necessary, and the applicant shall take all appropriate measures to protect human health and the environment. Appropriate measures shall include notifying the City and applicable regulatory agency(ies) and implementation of the actions described in the City's Standard Conditions of Approval, as necessary, to identify the nature and extent of contamination. Work shall not resume in the area(s) affected until the measures have been implemented under the oversight of the City or regulatory agency, as appropriate.			
<p><b>SCA-HAZ-2: Hazardous Materials Business Plan (#45)</b></p> <p><u>Requirement:</u> The project applicant shall submit a Hazardous Materials Business Plan for review and approval by the City, and shall implement the approved Plan. The approved Plan shall be kept on file with the City and the project applicant shall update the Plan as applicable. The purpose of the Hazardous Materials Business Plan is to ensure that employees are adequately trained to handle hazardous materials and provides information to the Fire Department should emergency response be required. Hazardous materials shall be handled in accordance with all applicable local, state, and federal requirements. The Hazardous Materials Business Plan shall include the following:</p> <ol style="list-style-type: none"> <li>a. The types of hazardous materials or chemicals stored and/or used on-site, such as petroleum fuel products, lubricants, solvents, and cleaning fluids.</li> <li>b. The location of such hazardous materials.</li> <li>c. An emergency response plan including employee training information.</li> <li>d. A plan that describes the manner in which these materials are handled, transported, and disposed.</li> </ol>	Prior to building permit final	Oakland Fire Department	Oakland Fire Department

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p><b>SCA-HAZ-3: Hazardous Building Materials and Site Contamination (#44)</b></p> <p><b>a. Hazardous Building Materials Assessment</b>  <u>Requirement:</u> The project applicant shall submit a comprehensive assessment report to the Bureau of Building, signed by a qualified environmental professional, documenting the presence or lack thereof of asbestos-containing materials (ACMs), lead-based paint, polychlorinated biphenyls (PCBs), and any other building materials or stored materials classified as hazardous materials by State or federal law. If lead-based paint, ACMs, PCBs, or any other building materials or stored materials classified as hazardous materials are present, the project applicant shall submit specifications prepared and signed by a qualified environmental professional, for the stabilization and/or removal of the identified hazardous materials in accordance with all applicable laws and regulations. The project applicant shall implement the approved recommendations and submit to the City evidence of approval for any proposed remedial action and required clearances by the applicable local, state, or federal regulatory agency.</p> <p><b>b. Environmental Site Assessment Required</b>                      The project applicant shall submit a Phase I Environmental Site Assessment report, and Phase II Environmental Site Assessment report if warranted by the Phase I report, for the project site for review and approval by the City. The report(s) shall be prepared by a qualified environmental assessment professional and include recommendations for remedial action, as appropriate, for hazardous materials. The project applicant shall implement the approved recommendations and submit to the City evidence of approval for any proposed remedial action and required clearances by the applicable local, state, or federal regulatory agency.</p> <p><b>c. Health and Safety Plan Required</b>                      The project applicant shall submit a Health and Safety Plan for the review and approval by the City in order to protect project construction workers from risks associated with hazardous materials. The project applicant shall implement the approved Plan.</p> <p><b>d. Best Management Practices (BMPs) Required for Contaminated Sites</b>                      The project applicant shall ensure that Best Management Practices (BMPs) are implemented by the contractor during construction to minimize potential soil and groundwater hazards. These shall include the following:</p> <p>i. Soil generated by construction activities shall be stockpiled on-site in a secure and safe manner. All contaminated soils determined to be hazardous or non-hazardous waste must be adequately profiled (sampled) prior to acceptable reuse or disposal at an appropriate off-site facility. Specific sampling and handling and transport procedures for reuse or disposal shall be in accordance with applicable local, state, and federal requirements.</p> <p>ii. Groundwater pumped from the subsurface shall be contained on-site in a secure and safe manner, prior to treatment and disposal, to ensure environmental and health issues are resolved pursuant to applicable laws and policies. Engineering controls shall be utilized, which include impermeable barriers to prohibit groundwater and vapor intrusion into the building.</p>	<p>a. Prior to approval of demolition, grading, or building permits</p> <p>b. Prior to approval of construction-related permit</p> <p>c. Prior to approval of construction-related permit</p> <p>d. During construction</p>	<p>a. Bureau of Building</p> <p>b. Applicable regulatory agency with jurisdiction</p> <p>c. Bureau of Building</p> <p>d. N/A</p>	<p>a. Bureau of Building</p> <p>b. Applicable regulatory agency with jurisdiction</p> <p>c. Bureau of Building</p> <p>d. Bureau of Building</p>
<p><b>SCA-AIR-4: Asbestos in Structures (#27)</b>                      See SCA-AIR-4 above.</p>	<p>See SCA-AIR-4 above.</p>	<p>See SCA-AIR-4 above.</p>	<p>See SCA-AIR-4 above.</p>



STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
SCA-TRAN-1: Construction Activity in the Public Right-of-Way (#76) See SCA-TRAN-1 below.	See SCA-TRAN-1 below	See SCA-TRAN-1 below	See SCA-TRAN-1 below
<b>Hydrology and Water Quality</b>			
<p><b>SCA-HYD-1: Erosion and Sedimentation Control Plan for Construction (#49)</b></p> <p><b>a. Erosion and Sedimentation Control Plan Required</b>  <b>Requirement:</b> The project applicant shall submit an Erosion and Sedimentation Control Plan to the City for review and approval. The Erosion and Sedimentation Control Plan shall include all necessary measures to be taken to prevent excessive stormwater runoff or carrying by stormwater runoff of solid materials on to lands of adjacent property owners, public streets, or to creeks as a result of conditions created by grading and/or construction operations. The Plan shall include, but not be limited to, such measures as short-term erosion control planting, waterproof slope covering, check dams, interceptor ditches, benches, storm drains, dissipation structures, diversion dikes, retarding berms and barriers, devices to trap, store and filter out sediment, and stormwater retention basins. Off-site work by the project applicant may be necessary. The project applicant shall obtain permission or easements necessary for off-site work. There shall be a clear notation that the plan is subject to changes as changing conditions occur. Calculations of anticipated stormwater runoff and sediment volumes shall be included, if required by the City. The Plan shall specify that, after construction is complete, the project applicant shall ensure that the storm drain system shall be inspected and that the project applicant shall clear the system of any debris or sediment.</p> <p><b>b. Erosion and Sedimentation Control During Construction</b>                      The project applicant shall implement the approved Erosion and Sedimentation Control Plan. No grading shall occur during the wet weather season (October 15 through April 15) unless specifically authorized in writing by the Bureau of Building.</p>	<p>a. Prior to approval of construction-related permit</p> <p>b. During construction</p>	<p>a. Bureau of Building</p> <p>b. N/A</p>	<p>a. N/A</p> <p>b. Bureau of Building</p>
<p><b>SCA-HYD-2: State Construction General Permit (#50)</b></p> <p>The project applicant shall comply with the requirements of the Construction General Permit issued by the State Water Resources Control Board (SWRCB). The project applicant shall submit a Notice of Intent (NOI), Stormwater Pollution Prevention Plan (SWPPP), and other required Permit Registration Documents to SWRCB. The project applicant shall submit evidence of compliance with Permit requirements to the City.</p>	Prior to approval of construction-related permit	State Water Resources Control Board; evidence of compliance submitted to Bureau of Building	State Water Resources Control Board
<p><b>SCA-HYD-3: NPDES C.3 Stormwater Requirements for Regulated Projects (#54)</b></p> <p><b>a. Post-Construction Stormwater Management Plan Required</b>                      The project applicant shall comply with the requirements of Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES). The project applicant shall submit a Post-Construction Stormwater Management Plan to the City for review and approval with the project drawings submitted for site improvements, and shall implement the approved Plan during construction. The Post-Construction Stormwater Management Plan shall include and identify the following:</p> <p>i. Location and size of new and replaced impervious surface;</p> <p>ii. Directional surface flow of stormwater runoff;</p> <p>iii. Location of proposed on-site storm drain lines;</p>	<p>a. Prior to approval of construction-related permit</p> <p>b. Prior to building permit final</p>	<p>a. Bureau of Planning; Bureau of Building</p> <p>b. Bureau of Building</p>	<p>a, Bureau of Building</p> <p>b. Bureau of Building</p>

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
iv. Site design measures to reduce the amount of impervious surface area; v. Source control measures to limit stormwater pollution; vi. Stormwater treatment measures to remove pollutants from stormwater runoff, including the method used to hydraulically size the treatment measures; and vii. Hydromodification management measures, if required by Provision C.3, so that post-project stormwater runoff flow and duration match pre-project runoff.  <b>b. Maintenance Agreement Required</b> The project applicant shall enter into a maintenance agreement with the City, based on the Standard City of Oakland Stormwater Treatment Measures Maintenance Agreement, in accordance with Provision C.3, which provides, in part, for the following: i. The project applicant accepting responsibility for the adequate installation/construction, operation, maintenance, inspection, and reporting of any on-site stormwater treatment measures being incorporated into the project until the responsibility is legally transferred to another entity; and ii. Legal access to the on-site stormwater treatment measures for representatives of the City, the local vector control district, and staff of the Regional Water Quality Control Board, San Francisco Region, for the purpose of verifying the implementation, operation, and maintenance of the on-site stormwater treatment measures and to take corrective action if necessary.  The maintenance agreement shall be recorded at the County Recorder's Office at the applicant's expense.			
<b>SCA-HAZ-1: Hazardous Materials Related to Construction (#43)</b> See SCA-HAZ-1 above.	See SCA-HAZ-1 above.	See SCA-HAZ-1 above.	See SCA-HAZ-1 above.
<b>SCA-HAZ-3: Hazardous Building Materials and Site Contamination (#44)</b> See SCA-HAZ-3 above.	See SCA-HAZ-3 above.	See SCA-HAZ-3 above.	See SCA-HAZ-3 above.
<b>Noise</b>			
<b>SCA-NOI-1: Construction Days/Hours (#62)</b> <u>Requirement:</u> The project applicant shall comply with the following restrictions concerning construction days and hours: a. Construction activities are limited to between 7:00 a.m. and 7:00 p.m. Monday through Friday, except that pier drilling and/or other extreme noise generating activities greater than 90 dBA shall be limited to between 8:00 a.m. and 4:00 p.m. b. Construction activities are limited to between 9:00 a.m. and 5:00 p.m. on Saturday. In residential zones and within 300 feet of a residential zone, construction activities are allowed from 9:00 a.m. to 5:00 p.m. only within the interior of the building with the doors and windows closed. No pier drilling or other extreme noise generating activities greater than 90 dBA are allowed on Saturday. c. No construction is allowed on Sunday or federal holidays.  Construction activities include, but are not limited to, truck idling, moving equipment (including trucks, elevators, etc.) or materials, deliveries, and construction meetings held on-site in a non-enclosed area.  Any construction activity proposed outside of the above days and hours for special activities (such as concrete pouring which may require more continuous amounts of time) shall be evaluated on a case-by-case basis by the City, with criteria including the	During construction	N/A	Bureau of Building

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
urgency/emergency nature of the work, the proximity of residential or other sensitive uses, and a consideration of nearby residents'/occupants' preferences. The project applicant shall notify property owners and occupants located within 300 feet at least 14 calendar days prior to construction activity proposed outside of the above days/hours. When submitting a request to the City to allow construction activity outside of the above days/hours, the project applicant shall submit information concerning the type and duration of proposed construction activity and the draft public notice for City review and approval prior to distribution of the public notice.			
<p><b>SCA-NOI-2: Construction Noise (#63)</b></p> <p><u>Requirement:</u> The project applicant shall implement noise reduction measures to reduce noise impacts due to construction. Noise reduction measures include, but are not limited to, the following:</p> <ol style="list-style-type: none"> <li>Equipment and trucks used for project construction shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures and acoustically-attenuating shields or shrouds) wherever feasible.</li> <li>Except as provided herein, impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for project construction shall be hydraulically or electrically powered to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler can lower noise levels from the exhaust by up to about 10 dBA. External jackets on the tools themselves shall be used, if such jackets are commercially available, and this could achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever such procedures are available and consistent with construction procedures.</li> <li>Applicant shall use temporary power poles instead of generators where feasible.</li> <li>Stationary noise sources shall be located as far from adjacent properties as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or use other measures as determined by the City to provide equivalent noise reduction.</li> <li>The noisiest phases of construction shall be limited to less than 10 days at a time. Exceptions may be allowed if the City determines an extension is necessary and all available noise reduction controls are implemented.</li> </ol>	During construction	N/A	Bureau of Building
<p><b>SCA-NOI-3: Extreme Construction Noise (#64)</b></p> <p><b>a. Construction Noise Management Plan Required</b></p> <p><u>Requirement:</u> Prior to any extreme noise generating construction activities (e.g., pier drilling, pile driving and other activities generating greater than 90dBA), the project applicant shall submit a Construction Noise Management Plan prepared by a qualified acoustical consultant for City review and approval that contains a set of site-specific noise attenuation measures to further reduce construction impacts associated with extreme noise generating activities. The project applicant shall implement the approved Plan during construction. Potential attenuation measures include, but are not limited to, the following:</p> <ol style="list-style-type: none"> <li>Erect temporary plywood noise barriers around the construction site, particularly along on sites adjacent to residential buildings;</li> <li>Implement "quiet" pile driving technology (such as pre-drilling of piles, the use of more than one pile driver to shorten the total pile driving duration), where feasible, in consideration of geotechnical and structural requirements and conditions;</li> <li>Utilize noise control blankets on the building structure as the building is erected to reduce noise emission from the site;</li> <li>Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings by the use of sound blankets for</li> </ol>	<p>a. Prior to approval of construction-related permit</p> <p>b. During construction</p>	<p>a. Bureau of Building</p> <p>b. Bureau of Building</p>	<p>a. Bureau of Building</p> <p>b. Bureau of Building</p>

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>example and implement such measure if such measures are feasible and would noticeably reduce noise impacts; and</p> <p>v. Monitor the effectiveness of noise attenuation measures by taking noise measurements.</p> <p><b>b. Public Notification Required</b>                      The project applicant shall notify property owners and occupants located within 300 feet of the construction activities at least 14 calendar days prior to commencing extreme noise generating activities. Prior to providing the notice, the project applicant shall submit to the City for review and approval the proposed type and duration of extreme noise generating activities and the proposed public notice. The public notice shall provide the estimated start and end dates of the extreme noise generating activities and describe noise attenuation measures to be implemented.</p>			
<p><b>SCA-NOI-4: Project Specific Construction Noise Reduction Measures (#65)</b>  <u>Requirement:</u> The project applicant shall submit a Construction Noise Management Plan prepared by a qualified acoustical consultant for City review and approval that contains a set of site-specific noise attenuation measures to further reduce construction noise impacts on the mixed-use apartment building located approximately 70 feet north of the proposed site, the dance studio located 70 feet east of the site across Union Street, the art studio located approximately 80 feet north of the site across 7<sup>th</sup> Street, and multi-family residences located approximately 85 feet northeast of the site. The project applicant shall implement the approved Plan during construction.</p>	Prior to approval of construction-related permit	Bureau of Building	Bureau of Building
<p><b>SCA-NOI-5: Construction Noise Complaints (#66)</b>  <u>Requirement:</u> The project applicant shall submit to the City for review and approval a set of procedures for responding to and tracking complaints received pertaining to construction noise, and shall implement the procedures during construction. At a minimum, the procedures shall include:</p> <p>a. Designation of an on-site construction complaint and enforcement manager for the project;</p> <p>b. A large on-site sign near the public right-of-way containing permitted construction days/hours, complaint procedures, and phone numbers for the project complaint manager and City Code Enforcement unit;</p> <p>c. Protocols for receiving, responding to, and tracking received complaints; and</p> <p>d. Maintenance of a complaint log that records received complaints and how complaints were addressed, which shall be submitted to the City for review upon the City's request.</p> <p>Also see <b>SCA-NOI-2: Construction Noise (#63)</b>, and <b>SCA-NOI-3: Extreme Construction Noise (#64)</b> listed above.</p>	Prior to approval of construction-related permit	Bureau of Building	Bureau of Building
<p><b>SCA NOI-6: Operational Noise (#68)</b>  <u>Requirement:</u> Noise levels from the project site after completion of the project (i.e., during project operation) shall comply with the performance standards of Chapter 17.120 of the Oakland Planning Code and chapter 8.18 of the Oakland Municipal Code. If noise levels exceed these standards, the activity causing the noise shall be abated until appropriate noise reduction measures have been installed and compliance verified by the City.</p>	Ongoing	N/A	Bureau of Building
<p><b>SCA-NOI-7: Exposure to Community Noise (#67)</b>  <u>Requirement:</u> The project applicant shall submit a Noise Reduction Plan prepared by a qualified acoustical engineer for City review and approval that contains noise reduction measures (e.g., sound-rated window, wall, and door assemblies) to achieve an acceptable</p>	Prior to approval of construction-	Bureau of Planning	Bureau of Building

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
interior noise level in accordance with the land use compatibility guidelines of the Noise Element of the Oakland General Plan. The applicant shall implement the approved Plan during construction. To the maximum extent practicable, interior noise levels shall not exceed the following: a. 45 dBA: Residential activities, civic activities, hotels b. 50 dBA: Administrative offices; group assembly activities c. 55 dBA: Commercial activities d. 65 dBA: Industrial activities	related permit		
<b>SCA-NOI-8: Vibration Impacts on Adjacent Historic Structures or Vibration-Sensitive Activities (#70)</b> <u>Requirement:</u> The project applicant shall submit a vibration analysis prepared by an acoustical and/or structural engineer or other appropriate qualified professional for City review and approval that establishes pre-construction baseline conditions and threshold levels of vibration that could damage the structure and/or substantially interfere with activities located at dance studio, 70 feet east of the site across Union Street. The vibration analysis shall identify design means and methods of construction that shall be utilized in order to not exceed the thresholds. The applicant shall implement the recommendations during construction.	Prior to construction	Bureau of Building	Bureau of Building
<b>SCA-NOI-9: Exposure to Vibration (#69)</b> <u>Requirement:</u> The project applicant shall submit a Vibration Reduction Plan prepared by a qualified acoustical consultant for City review and approval that contains vibration reduction measures to reduce groundborne vibration to acceptable levels per Federal Transit Administration (FTA) standards. The applicant shall implement the approved Plan during construction. Potential vibration reduction measures include, but are not limited to, the following: a. Isolation of foundation and footings using resilient elements such as rubber bearing pads or springs, such as a "spring isolation" system that consists of resilient spring supports that can support the podium or residential foundations. The specific system shall be selected so that it can properly support the structural loads, and provide adequate filtering of groundborne vibration to the residences above. b. Trenching, which involves excavating soil between the railway and the project so that the vibration path is interrupted, thereby reducing the vibration levels before they enter the project's structures. Since the reduction in vibration level is based on a ratio between trench depth and vibration wavelength, additional measurements shall be conducted to determine the vibration wavelengths affecting the project. Based on the resulting measurement findings, an adequate trench depth and, if required, suitable fill shall be identified (such as foamed styrene packing pellets [i.e., Styrofoam] or low-density polyethylene).	Prior to approval of construction-related permit	Bureau of Planning	Bureau of Planning
<b>Public Services Parks and Recreation</b>			
<b>SCA-PUB-1: Public Improvements (#11)</b> The project applicant shall obtain all necessary permits/approvals, such as encroachment permits, obstruction permits, curb/gutter/sidewalk permits, and public improvement ("p-job") permits from the City for work in the public right-of-way, including but not limited to, streets, curbs, gutters, sidewalks, utilities, and fire hydrants. Prior to any work in the public right-of-way, the applicant shall submit plans for review and approval by the Bureau of Planning, the Bureau of Building, and other City departments as required. Public improvements shall be designed and installed to the satisfaction of the City.	N/A	N/A	N/A
<b>SCA-PUB-2: Capital Improvements Impact Fee (#74)</b>	Prior to issuance of	Bureau of Building	N/A

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p><b>Requirement:</b> The project applicant shall comply with the requirements of the City of Oakland Capital Improvements Fee Ordinance (chapter 15.74 of the Oakland Municipal Code).</p>	building permit		
<b>Transportation and Circulation</b>			
<p><b>SCA-TRAN-1: Construction Activity in the Public Right-of-Way (#76)</b></p> <p><b>a. Obstruction Permit Required</b></p> <p><b>Requirement:</b> The project applicant shall obtain an obstruction permit from the City prior to placing any temporary construction-related obstruction in the public right-of-way, including City streets, sidewalks, bicycle facilities and bus stops.</p> <p><b>b. Traffic Control Plan Required</b></p> <p><b>Requirement:</b> In the event of obstructions to vehicle or bicycle travel lanes, bus stops, or sidewalks, the project applicant shall submit a Traffic Control Plan to the City for review and approval prior to obtaining an obstruction permit. The project applicant shall submit evidence of City approval of the Traffic Control Plan with the application for an obstruction permit. The Traffic Control Plan shall contain a set of comprehensive traffic control measures for auto, transit, bicycle, and pedestrian accommodations (or detours, if accommodations are not feasible), , including detour signs if required, lane closure procedures, signs, cones for drivers, and designated construction access routes. The Traffic Control Plan shall be in conformance with the City's Supplemental Design Guidance for Accommodating Pedestrians, Bicyclists, and Bus Facilities in Construction Zones. The project applicant shall implement the approved Plan during construction.</p> <p><b>c. Repair of City Streets</b></p> <p><b>Requirement:</b> The project applicant shall repair any damage to the public right-of way, including streets and sidewalks caused by project construction at his/her expense within one week of the occurrence of the damage (or excessive wear), unless further damage/excessive wear may continue; in such case, repair shall occur prior to approval of the final inspection of the construction-related permit. All damage that is a threat to public health or safety shall be repaired immediately.</p>	<p>a. Prior to approval of construction-related permit</p> <p>b. Prior to submitting building permits</p> <p>c. Prior to building permit final</p>	<p>a. Department of Transportation</p> <p>b. Department of Transportation</p> <p>c. N/A</p>	<p>a. Department of Transportation</p> <p>b. Department of Transportation</p> <p>c. Department of Transportation</p>
<p><b>SCA-TRANS-2: Transportation and Parking Demand Management (#79)</b></p> <p><b>a. Transportation and Parking Demand Management (TDM) Plan Required</b></p> <p><b>Requirement:</b> The project applicant shall submit a Transportation and Parking Demand Management (TDM) Plan for review and approval by the City.</p> <p>i. The goals of the TDM Plan shall be the following:</p> <ul style="list-style-type: none"> <li>• Reduce vehicle traffic and parking demand generated by the project to the maximum extent practicable.</li> <li>• Achieve the following project vehicle trip reductions (VTR):</li> <li>• Projects generating 50-99 net new AM or PM peak hour vehicle trips: 10 percent VTR</li> <li>• Projects generating 100 or more net new AM or PM peak hour vehicle trips: 20 percent VTR</li> <li>• Increase pedestrian, bicycle, transit, and carpool/vanpool modes of travel. All four modes of travel shall be considered, as appropriate.</li> <li>• Enhance the City's transportation system, consistent with City policies and programs.</li> </ul> <p>ii. The TDM Plan should include the following:</p> <ul style="list-style-type: none"> <li>• Baseline existing conditions of parking and curbside regulations within the surrounding neighborhood that could affect the effectiveness of TDM strategies, including inventory of parking spaces and occupancy if applicable.</li> </ul>	<p>a. Prior to approval of planning application</p> <p>b. Prior to building permit final Initial</p> <p>c. Ongoing</p>	<p>a. Bureau of Planning</p> <p>b. Bureau of Building</p> <p>c. Department of Transportation</p>	<p>a. N/A</p> <p>b. Bureau of Building</p> <p>c. Department of Transportation</p>

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM				
Standard Conditions of Approval/ Mitigation Measures		Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
		When Required	Initial Approval	Monitoring/ Inspection
<ul style="list-style-type: none"> <li>Proposed TDM strategies to achieve VTR goals (see below).</li> </ul> <p>iii. For employers with 100 or more employees at the subject site, the TDM Plan shall also comply with the requirements of Oakland Municipal Code Chapter 10.68 Employer-Based Trip Reduction Program.</p> <p>iv. The following TDM strategies <b>must</b> be incorporated into a TDM Plan based on a project location or other characteristics. When required, these mandatory strategies should be identified as a credit toward a project's VTR.</p>				
<b>Improve ment</b>	Required by code or when...			
<b>Bus boarding bulbs or islands</b>	<ul style="list-style-type: none"> <li>A bus boarding bulb or island does not already exist and a bus stop is located along the project frontage; and/or</li> <li>A bus stop along the project frontage serves a route with 15 minutes or better peak hour service and has a shared bus-bike lane curb</li> </ul>			
<b>Bus shelter</b>	<ul style="list-style-type: none"> <li>A stop with no shelter is located within the project frontage, or</li> <li>The project is located within 0.10 miles of a flag stop with 25 or more boardings per day</li> </ul>			
<b>Concrete bus pad</b>	<ul style="list-style-type: none"> <li>A bus stop is located along the project frontage and a concrete bus pad does not already exist</li> </ul>			
<b>Curb extensio ns or bulb-outs</b>	<ul style="list-style-type: none"> <li>Identified as an improvement within site analysis</li> </ul>			
<b>Impleme ntation of a corridor-level bikeway improve ment</b>	<ul style="list-style-type: none"> <li>A buffered Class II or Class IV bikeway facility is in a local or county adopted plan within 0.10 miles of the project location; and</li> <li>The project would generate 500 or more daily bicycle trips</li> </ul>			
<b>Impleme ntation of a corridor-level transit capital improve ment</b>	<ul style="list-style-type: none"> <li>A high-quality transit facility is in a local or county adopted plan within 0.25 miles of the project location; and</li> <li>The project would generate 400 or more peak period transit trips</li> </ul>			
<b>Installati on of amenitie s such as lighting;</b>	<ul style="list-style-type: none"> <li>Always required</li> </ul>			

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM				
Standard Conditions of Approval/ Mitigation Measures		Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
		When Required	Initial Approval	Monitoring/ Inspection
pedestrian-oriented green infrastructure, trees, or other greening landscape; and trash receptacles per the Pedestrian Master Plan and any applicable streetscape plan.				
Installation of safety improvements identified in the Pedestrian Master Plan (such as crosswalk striping, curb ramps, count down signals, bulb outs, etc.)	<ul style="list-style-type: none"> <li>When improvements are identified in the Pedestrian Master Plan along project frontage or at an adjacent intersection</li> </ul>			
In-street bicycle corral	<ul style="list-style-type: none"> <li>A project includes more than 10,000 square feet of ground floor retail, is located along a Tier 1 bikeway, and on-street vehicle parking is provided along the project frontages.</li> </ul>			



STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM				
Standard Conditions of Approval/ Mitigation Measures		Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
		When Required	Initial Approval	Monitoring/ Inspection
Intersection improvements <sup>a</sup>	<ul style="list-style-type: none"> <li>Identified as an improvement within site analysis</li> </ul>			
New sidewalk, curb ramps, curb and gutter meeting current City and ADA standards	<ul style="list-style-type: none"> <li>Always required</li> </ul>			
No monthly permits and establish minimum price floor for public parking <sup>b</sup>	<ul style="list-style-type: none"> <li>If proposed parking ratio exceeds 1:1000 sf. (commercial)</li> </ul>			
Parking garage is designed with retrofit capability	<ul style="list-style-type: none"> <li>Optional if proposed parking ratio exceeds 1:1.25 (residential) or 1:1000 sf. (commercial)</li> </ul>			
Parking space reserved for car share	<ul style="list-style-type: none"> <li>If a project is providing parking and a project is located within downtown. One car share space reserved for buildings between 50 – 200 units, then one car share space per 200 units.</li> </ul>			
Paving, lane striping or restriping (vehicle and bicycle), and signs	<ul style="list-style-type: none"> <li>Typically required</li> </ul>			

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM				
Standard Conditions of Approval/ Mitigation Measures		Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
		When Required	Initial Approval	Monitoring/ Inspection
to midpoint of street section				
Pedestrian crossing improvements	<ul style="list-style-type: none"> <li>Identified as an improvement within site analysis</li> </ul>			
Pedestrian-supportive signal changes <sup>c</sup>	<ul style="list-style-type: none"> <li>Identified as an improvement within operations analysis</li> </ul>			
Real-time transit information system	<ul style="list-style-type: none"> <li>A project frontage block includes a bus stop or BART station and is along a Tier 1 transit route with 2 or more routes or peak period frequency of 15 minutes or better</li> </ul>			
Relocating bus stops to far side	<ul style="list-style-type: none"> <li>A project is located within 0.10 mile of any active bus stop that is currently near-side</li> </ul>			
Signal upgrades <sup>d</sup>	<ul style="list-style-type: none"> <li>Project size exceeds 100 residential units, 80,000 sf. of retail, or 100,000 sf. of commercial; and</li> <li>Project frontage abuts an intersection with signal infrastructure older than 15 years</li> </ul>			
Transit queue jumps	<ul style="list-style-type: none"> <li>Identified as a needed improvement within operations analysis of a project with frontage along a Tier 1 transit route with 2 or more routes or peak period frequency of 15 minutes or better</li> </ul>			
Trenching and placement of conduit for providing traffic signal interconnect	<ul style="list-style-type: none"> <li>Project size exceeds 100 units, 80,000 sf. of retail, or 100,000 sf. of commercial; and</li> <li>Project frontage block is identified for signal interconnect improvements as part of a planned ITS improvement; and</li> <li>A major transit improvement is identified within operations analysis requiring traffic signal interconnect</li> </ul>			
Unbundled parking	<ul style="list-style-type: none"> <li>If proposed parking ratio exceeds 1:1.25 (residential)</li> </ul>			

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p><sup>a</sup> Including but not limited to visibility improvements, shortening corner radii, pedestrian safety islands, accounting for pedestrian desire lines.</p> <p><sup>b</sup> May also provide a cash incentive or transit pass alternative to a free parking space in commercial properties.</p> <p><sup>c</sup> Including but not limited to reducing signal cycle lengths to less than 90 seconds to avoid pedestrian crossings against the signal, providing a leading pedestrian interval, provide a “scramble” signal phase where appropriate.</p> <p><sup>d</sup> Including typical traffic lights, pedestrian signals, bike actuated signals, transit-only signals.</p> <p>v. Other TDM strategies to consider include, but are not limited to, the following:</p> <ul style="list-style-type: none"> <li>• Inclusion of additional long-term and short-term bicycle parking that meets the design standards set forth in Chapter five of the Bicycle Master Plan and the Bicycle Parking Ordinance (Chapter 17.117 of the Oakland Planning Code), and shower and locker facilities in commercial developments that exceed the requirement.</li> <li>• Construction of and/or access to bikeways per the Bicycle Master Plan; construction of priority bikeways, on-site signage and bike lane striping.</li> <li>• Installation of safety elements per the Pedestrian Master Plan (such as crosswalk striping, curb ramps, count down signals, bulb outs, etc.) to encourage convenient and safe crossing at arterials, in addition to safety elements required to address safety impacts of the project.</li> <li>• Installation of amenities such as lighting, street trees, and trash receptacles per the Pedestrian Master Plan, the Master Street Tree List and Tree Planting Guidelines (which can be viewed at <a href="http://www2.oaklandnet.com/oakca1/groups/pwa/documents/report/oak042662.pdf">http://www2.oaklandnet.com/oakca1/groups/pwa/documents/report/oak042662.pdf</a> and <a href="http://www2.oaklandnet.com/oakca1/groups/pwa/documents/form/oak025595.pdf">http://www2.oaklandnet.com/oakca1/groups/pwa/documents/form/oak025595.pdf</a>, respectively) And any applicable streetscape plan.</li> <li>• Construction and development of transit stops/shelters, pedestrian access, way finding signage, and lighting around transit stops per transit agency plans or negotiated improvements.</li> <li>• Direct on-site sales of transit passes purchased and sold at a bulk group rate (through programs such as AC Transit Easy Pass or a similar program through another transit agency).</li> <li>• Provision of a transit subsidy to employees or residents, determined by the project applicant and subject to review by the City, if employees or residents use transit or commute by other alternative modes.</li> <li>• Provision of an ongoing contribution to transit service to the area between the project and nearest mass transit station prioritized as follows: 1) Contribution to AC Transit bus service; 2) Contribution to an existing area shuttle service; and 3) Establishment of new shuttle service. The amount of contribution (for any of the above scenarios) would be based upon the cost of establishing new shuttle service (Scenario 3).</li> <li>• Guaranteed ride home program for employees, either through 511.org or through separate program.</li> <li>• Pre-tax commuter benefits (commuter checks) for employees.</li> <li>• Free designated parking spaces for on-site car-sharing program (such as City Car Share, Zip Car, etc.) and/or car-share membership for employees or tenants.</li> <li>• On-site carpooling and/or vanpool program that includes preferential (discounted or free) parking for carpools and vanpools.</li> </ul>			

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<ul style="list-style-type: none"> <li>• Distribution of information concerning alternative transportation options.</li> <li>• Parking spaces sold/leased separately for residential units. Charge employees for parking, or provide a cash incentive or transit pass alternative to a free parking space in commercial properties.</li> <li>• Parking management strategies including attendant/valet parking and shared parking spaces.</li> <li>• Requiring tenants to provide opportunities and the ability to work off-site.</li> <li>• Allow employees or residents to adjust their work schedule in order to complete the basic work requirement of five eight-hour workdays by adjusting their schedule to reduce vehicle trips to the worksite (e.g., working four, ten-hour days; allowing employees to work from home two days per week).</li> <li>• Provide or require tenants to provide employees with staggered work hours involving a shift in the set work hours of all employees at the workplace or flexible work hours involving individually determined work hours.</li> <li>• The TDM Plan shall indicate the estimated VTR for each strategy, based on published research or guidelines where feasible. For TDM Plans containing ongoing operational VTR strategies, the Plan shall include an ongoing monitoring and enforcement program to ensure the Plan is implemented on an ongoing basis during project operation. If an annual compliance report is required, as explained below, the TDM Plan shall also specify the topics to be addressed in the annual report.</li> </ul> <p><b>b. TDM Implementation – Physical Improvements</b>  <u>Requirement:</u> For VTR strategies involving physical improvements, the project applicant shall obtain the necessary permits/approvals from the City and install the improvements prior to the completion of the project.</p> <p><b>c. TDM Implementation – Operational Strategies</b>  <u>Requirement:</u> For projects that generate 100 or more net new a.m. or p.m. peak hour vehicle trips and contain ongoing operational VTR strategies, the project applicant shall submit an annual compliance report for the first five years following completion of the project (or completion of each phase for phased projects) for review and approval by the City. The annual report shall document the status and effectiveness of the TDM program, including the actual VTR achieved by the project during operation. If deemed necessary, the City may elect to have a peer review consultant, paid for by the project applicant, review the annual report. If timely reports are not submitted and/or the annual reports indicate that the project applicant has failed to implement the TDM Plan, the project will be considered in violation of the Conditions of Approval and the City may initiate enforcement action as provided for in these Conditions of Approval. The project shall not be considered in violation of this Condition if the TDM Plan is implemented but the VTR goal is not achieved.</p>			
<b>Utilities and Service Systems</b>			
<p><b>SCA-UTIL-1: Sanitary Sewer System (#89)</b>  <u>Requirement:</u> The project applicant shall prepare and submit a Sanitary Sewer Impact Analysis to the City for review and approval in accordance with the City of Oakland Sanitary Sewer Design Guidelines. The Impact Analysis shall include an estimate of pre-project and post-project wastewater flow from the project site. In the event that the Impact Analysis indicates that the net increase in project wastewater flow exceeds City-projected increases in wastewater flow in the sanitary sewer system, the project applicant shall pay the Sanitary Sewer Impact Fee in accordance with the City’s Master Fee Schedule for funding improvements to the sanitary sewer system.</p>	Prior to approval of construction-related permit	Public Works Department, Department of Engineering and Construction	N/A

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p><b>SCA-UTIL-2: Storm Drain System (#90)</b>  <u>Requirement:</u> The project storm drainage system shall be designed in accordance with the City of Oakland's Storm Drainage Design Guidelines. To the maximum extent practicable, peak stormwater runoff from the project site shall be reduced by at least 25 percent compared to the pre-project condition.</p>	Prior to approval of construction-related permit	Bureau of Building	Bureau of Building
<p><b>SCA-UTIL-3: Recycled Water (#91)</b>  <u>Requirement:</u> Pursuant to section 16.08.030 of the Oakland Municipal Code, the project applicant shall provide for the use of recycled water in the project for landscape irrigation purposes unless the City determines that there is a higher and better use for the recycled water, the use of recycled water is not economically justified for the project, or the use of recycled water is not financially or technically feasible for the project. The project applicant shall contact the New Business Office of the East Bay Municipal Utility District (EBMUD) for a recycled water feasibility assessment by the Office of Water Recycling. If recycled water is to be provided in the project, the project drawings submitted for construction-related permits shall include the proposed recycled water system and the project applicant shall install the recycled water system during construction.</p>	Prior to approval of construction-related permit	Bureau of Planning; Bureau of Building	Bureau of Building
<p><b>SCA-UTIL-4: Recycling Collection and Storage Space (#86)</b>  <u>Requirement:</u> The project applicant shall comply with the City of Oakland Recycling Space Allocation Ordinance (Chapter 17.118 of the Oakland Planning Code). The project drawings submitted for construction-related permits shall contain recycling collection and storage areas in compliance with the Ordinance. For residential projects, at least two (2) cubic feet of storage and collection space per residential unit is required, with a minimum of ten (10) cubic feet. For nonresidential projects, at least two (2) cubic feet of storage and collection space per 1,000 square feet of building floor area is required, with a minimum of ten (10) cubic feet.</p>	Prior to approval of construction-related permit	Bureau of Planning	Bureau of Building
<p><b>SCA-UTIL-5: Construction and Demolition Waste Reduction and Recycling (#84)</b>  <u>Requirement:</u> The project applicant shall comply with the City of Oakland Construction and Demolition Waste Reduction and Recycling Ordinance (Chapter 15.34 of the Oakland Municipal Code) by submitting a Construction and Demolition Waste Reduction and Recycling Plan (WRRP) for City review and approval, and shall implement the approved WRRP. Projects subject to these requirements include all new construction, renovations/alterations/modifications with construction values of \$50,000 or more (except R-3 type construction), and all demolition (including soft demolition) except demolition of type R-3 construction. The WRRP must specify the methods by which the project will divert construction and demolition debris waste from landfill disposal in accordance with current City requirements. The WRRP may be submitted electronically at <a href="http://www.greenhalosystems.com">www.greenhalosystems.com</a> or manually at the City's Green Building Resource Center. Current standards, FAQs, and forms are available on the City's website and in the Green Building Resource Center.</p>	Prior to approval of construction-related permit	Public Works Department, Environmental Services Division	Public Works Department, Environmental Services Division
<p><b>SCA-UTIL-6: Underground Utilities (#85)</b>  <u>Requirement:</u> The project applicant shall place underground all new utilities serving the project and under the control of the project applicant and the City, including all new gas, electric, cable, and telephone facilities, fire alarm conduits, street light wiring, and other wiring, conduits, and similar facilities. The new facilities shall be placed underground along the project's street frontage and from the project structures to the point of service. Utilities under the control of other agencies, such as PG&amp;E, shall be placed underground if feasible. All utilities shall be installed in accordance with standard specifications of the serving utilities.</p>	During construction	N/A	Bureau of Building

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p><b>SCA-UTIL-7: Green Building Requirements (#87)</b></p> <p><b>a. Compliance with Green Building Requirements During Plan-Check</b>  <u>Requirement:</u> The project applicant shall comply with the requirements of the California Green Building Standards (CALGreen) mandatory measures and the applicable requirements of the City of Oakland Green Building Ordinance (Chapter 18.02 of the Oakland Municipal Code).</p> <p>i. The following information shall be submitted to the City for review and approval with the application for a building permit:</p> <ul style="list-style-type: none"> <li>• Documentation showing compliance with Title 24 of the current version of the California Building Energy Efficiency Standards.</li> <li>• Completed copy of the final green building checklist approved during the review of the Planning and Zoning permit.</li> <li>• Copy of the Unreasonable Hardship Exemption, if granted, during the review of the Planning and Zoning permit.</li> <li>• Permit plans that show, in general notes, detailed design drawings, and specifications as necessary, compliance with the items listed in subsection (ii) below.</li> <li>• Copy of the signed statement by the Green Building Certifier approved during the review of the Planning and Zoning permit that the project complied with the requirements of the Green Building Ordinance.</li> <li>• Signed statement by the Green Building Certifier that the project still complies with the requirements of the Green Building Ordinance, unless an Unreasonable Hardship Exemption was granted during the review of the Planning and Zoning permit.</li> <li>• Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.</li> </ul> <p>ii. The set of plans in subsection (i) shall demonstrate compliance with the following:</p> <ul style="list-style-type: none"> <li>• CALGreen mandatory measures.</li> <li>• All pre-requisites per the green building checklist approved during the review of the Planning and Zoning permit, or, if applicable, all the green building measures approved as part of the Unreasonable Hardship Exemption granted during the review of the Planning and Zoning permit.</li> <li>• Minimum of 23 points per the appropriate checklist approved during the Planning entitlement process.</li> <li>• All green building points identified on the checklist approved during review of the Planning and Zoning permit, unless a Request for Revision Plan-check application is submitted and approved by the Bureau of Planning that shows the previously approved points that will be eliminated or substituted.</li> <li>• The required green building point minimums in the appropriate credit categories.</li> </ul> <p><b>b. Compliance with Green Building Requirements During Construction</b>  <u>Requirement:</u> The project applicant shall comply with the applicable requirements of CALGreen and the Oakland Green Building Ordinance during construction of the project.</p> <p>The following information shall be submitted to the City for review and approval:</p> <p>i. Completed copies of the green building checklists approved during the review of the Planning and Zoning permit and during the review of the building permit.</p> <p>ii. Signed statement(s) by the Green Building Certifier during all relevant phases of construction that the project complies with the requirements of the Green Building Ordinance.</p> <p>iii. Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.</p>	<p>a. Prior to approval of construction-related permit</p> <p>b. During construction</p> <p>c. Prior to Final Approval</p>	<p>a. Bureau of Building</p> <p>b. N/A</p> <p>c. Bureau of Planning</p>	<p>a. N/A</p> <p>b. Bureau of Building</p> <p>c. Bureau of Building</p>

STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM			
Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p><b>c. Compliance with Green Building Requirements After Construction</b>  <u>Requirement:</u> Within sixty (60) days of the final inspection of the building permit for the project, the Green Building Certifier shall submit the appropriate e documentation to Build It Green and attain the minimum required certification/point level. Within one year of the final inspection of the building permit for the project, the applicant shall submit to the Bureau of Planning the Certificate from the organization listed above demonstrating certification and compliance with the minimum point/certification level noted above.</p>			
<p><b>SCA-UTIL-8: Water Efficient Landscape Ordinance (WELo) (#92)</b>  <u>Requirement:</u> The project applicant shall comply with California’s Water Efficient Landscape Ordinance (WELo) in order to reduce landscape water usage. For any landscape project with an aggregate (total noncontiguous) landscape area equal to 2,500 sq. ft. or less. The project applicant may implement either the Prescriptive Measures or the Performance Measures, of, and in accordance with the California’s Model Water Efficient Landscape Ordinance. For any landscape project with an aggregate (total noncontiguous) landscape area over 2,500 sq. ft., the project applicant shall implement the Performance Measures in accordance with the WELo.  <i>Prescriptive Measures:</i> Prior to construction, the project applicant shall submit documentation showing compliance with Appendix D of California’s Model Water Efficient Landscape Ordinance (see website below starting on page 23):  <a href="http://www.water.ca.gov/wateruseefficiency/landscapeordinance/docs/Title%2023%20extract%20-%20Official%20CCR%20pages.pdf">http://www.water.ca.gov/wateruseefficiency/landscapeordinance/docs/Title%2023%20extract%20-%20Official%20CCR%20pages.pdf</a>  <i>Performance Measures:</i> Prior to construction, the project applicant shall prepare and submit a Landscape Documentation Package for review and approval, which includes the following                      a. Project Information:                          i. Date,                          ii. Applicant and property owner name,                          iii. Project address,                          iv. Total landscape area,                          v. Project type (new, rehabilitated, cemetery, or home owner installed),                          vi. Water supply type and water purveyor,                          vii. Checklist of documents in the package, and                          viii. Applicant signature and date with the statement: “I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.”                      b. Water Efficient Landscape Worksheet                          i. Hydrozone Information Table                          ii. Water Budget Calculations with Maximum Applied Water Allowance (MAWA) and Estimated Total Water Use                      c. Soil Management Report                      d. Landscape Design Plan                      e. Irrigation Design Plan, and                      f. Grading Plan                      Upon installation of the landscaping and irrigation systems, the Project applicant shall submit a Certificate of Completion and landscape and irrigation maintenance schedule for review and approval by the City. The Certificate of Compliance shall also be submitted to the local water purveyor and property owner or his or her designee.</p>	<p>Prior to approval of construction-related permit</p>	<p>Bureau of Planning</p>	<p>Bureau of Planning</p>

<b>STANDARD CONDITION OF APPROVALS AND MITIGATION MEASURES MONITORING AND REPORTING PROGRAM</b>			
<b>Standard Conditions of Approval/ Mitigation Measures</b>	<b>Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring</b>		
	<b>When Required</b>	<b>Initial Approval</b>	<b>Monitoring/ Inspection</b>
For the specific requirements within the Water Efficient Landscape Worksheet, Soil Management Report, Landscape Design Plan, Irrigation Design Plan and Grading Plan, see the link below. <a href="http://www.water.ca.gov/wateruseefficiency/landscapeordinance/docs/Title%2023%20extract%20-%20Official%20CCR%20pages.pdf">http://www.water.ca.gov/wateruseefficiency/landscapeordinance/docs/Title%2023%20extract%20-%20Official%20CCR%20pages.pdf</a>			



**PART 3: PROJECT SPECIFIC CONDITIONS****15. Improvements-Ongoing**

The approval of this development application does not constitute approval of public improvements. It is the applicant's responsibility to seek and service any required permits from the appropriate departments or agencies.

**16. Site Remediation**

All site remediation shall be approved and completed as part of Phase 1 of the project.

**17. Submission of Construction Plans for Public / Private Improvements**

The applicant shall file all required building permits for horizontal on-site and off-site improvements under Phase 1 as follows:

## Requirement #1

- a) East and west public pedestrian pathways.
- b) Playground.
- c) Temporary 59-space parking lot.
- d) Dog park.
- e) Road-diet on 5<sup>th</sup> and Union Streets.
- f) Provide a 12-foot wide sidewalk on Kirkham Street.
- g) Make improvements to 5th and Union Streets, unless deemed infeasible by OakDOT, including extending the curb line of the southwest corner (project side) to narrow the intersection and incorporate placemaking to be reviewed and approved by the Bureau of Planning and OakDOT with a minimum of pedestrian scale lighting, seating, and public art.
- h) Deliver public improvements on 7th Street between Kirkham and Union Streets that include the following, consistent with **Exhibit B** to these conditions:
  - i. Conduct a process under the auspices of OakDOT to confirm the feasibility of bus improvements and Class 4 cycle tracks, consistent with conceptual design plans prepared by Einwiller-Kuehl project architects (*See Exhibit B*)
  - ii. Develop 35% plans for the entire street section, and
  - iii. Build/deliver improvements to the median of the street segment.
- i) Make sidewalk improvements as specified in the plans, and subject to approval by OAKDOT, along the north side of 5<sup>th</sup> Street, and also between Kirkham Street and Mandela Parkway to improve the pedestrian connection to the West Oakland BART Station.
- j) Install approximately 30 new street trees around the property. The trees should be a mix of 24" box size Podocarpus Gracilior and Quercus Virginiana, and spaced at least 20 to 25 feet from the center.

## Requirement #2

- a) Install directional curb ramps at all four corners of the 5th Street/Union Street/I-880 Ramps and 7th Street/ Union Street intersections.

- b) Install truncated domes at all corners of these two intersections, consistent with current Americans with Disabilities Act (ADA) standards.
- c) Provide pedestrian signal heads with countdowns at all corners of the 5th Street/Union Street/I-880 Ramps and 7th Street/Union Street intersections.
- d) Install vibrotactile pedestrian actuation buttons at all corners of the 5th Street/ Union Street/I-880 Ramps intersection.
- e) Provide a curb ramp at the southeast corner of the 5th Street/Kirkham Street intersection.

Requirement #3

- a) The residential loading driveway (move-in/move-out) on Kirkham Street shall provide adequate sight distance between existing vehicles and pedestrians approaching from the north.
- b) Coordinate with the City of Oakland to develop a curb management plan along project frontage. Consider one of the following:
  - i. Implement metered and/or time-restricted parking for most of the spaces.
  - ii. Identify two car-share spaces.
- c) Identify passenger and delivery loading spaces.

**18. Deed Restriction for Pedestrian Pathways.**

Prior to or contemporaneous with the recordation of the Final Map, the applicant shall record a Deed Restriction to make the two privately-owned pedestrian pathways located in the sites of Buildings 1, 2 and 3 publicly accessible. The legal document shall include provisions for the allowed uses and/or facilities per the approved design and subdivision plans. The document shall include, but not be limited to, the hours of operation, construction, maintenance, management, agreements and liabilities of all approved structures and landscaping. Prior to the recordation of the Deed Restriction, the applicant shall obtain final approval of the Deed Restriction by the Office of the City Attorney. This Deed Restriction may be incorporated into the Deed Restriction for the Dog Park and Playground. The Deed Restriction shall be substantially similar to the Deed Restriction attached at Exhibit C, subject to final approval by the City Attorney.

**19. Restriction to the Temporary Residential Surface Parking Lot.**

The construction of the required 59-space temporary residential surface parking lot in the site for Building 3 shall be provided and reserved for the use of the project residents only. Prior to start of construction of Building 3, the applicant shall relocate the 59-space temporary residential parking space area in the existing surface parking lot located at 1375 5<sup>th</sup> Street or other site to be approved by the Bureau of Planning. The applicant shall submit a signed lease agreement from the parking lot operator that states the expiration terms of the reserved 59-space residential parking lot. In addition, the applicant shall include on the project plans and on the subdivision map a layout of the 59-space temporary residential parking lot.

**20. Deed Restriction for Property Security and Maintenance.**

Prior to the issuance of building permits, the applicant shall record a Deed Restriction with the Alameda County Recorder's Office that holds the project property owner(s)/operator(s) responsible for maintaining and managing security and deterrence of loitering. This shall apply to the project pedestrian pathways, playground, dog park including BART track easement and within outdoor areas around the property. In addition, the applicant shall include measures to include

daily/24-hour security guards at each building, managed and monitored security cameras in the playground, pedestrian pathways, dog park, temporary surface residential parking lot, parking garage and near the intersection of 5<sup>th</sup> and Union Streets.

**21. Service Circulation & Submittal of Revised Plans.**

Prior to the issuance of building permits, the project applicant shall submit an improved service circulation plan around the streets. The plan shall make efforts to minimize views of service activities and manage circulation to prevent conflicts for pedestrian traffic.

**22. Parking Garage Door & Submittal of Revised Plans.**

Prior to the issuance of building permits, the project applicant shall submit a revised plan that shows the residential garage roll-up door is set back an additional five feet from the current location indicated on plans.

**23. Master Sign Program**

Prior to the issuance of building permits, the applicant shall submit for City review and approval a Conditional Use Permit for a Master Sign Program that addresses all new commercial signage for the project. The plan shall include, but not be limited to the locations, dimensions, materials, color, type style, and illumination.

**24. Property Maintenance Agreement and On-Going Owner Responsibility**

*Prior to issuance of a Certificate of Occupancy for the first units-Ongoing*

Applicants for a shared-access facility (Pedestrian Pathways) shall submit for approval a binding maintenance agreement for the shared-access pedestrian pathways for maintenance, restrictions and allocation, landscape, utility and pedestrian entry gate maintenance. Upon City staff approval, the proposed agreement shall be recorded by the applicant within thirty (30) days of City Staff approval with the Alameda County Recorder's office. In addition, applicants for a shared-access facility shall provide documentation of continuing liability insurance coverage. Documentation of insurance coverage shall include the written undertaking of each insurer to give the City thirty (30) days' prior written notice of cancellation, termination, or material change of such insurance coverage.

**25. Certification**

*Prior to construction of shared access facilities (Pedestrian Pathways)-Ongoing*

Prior to construction of the shared access facilities (Pedestrian Pathways), applicants for the proposed shared-access facility (Pedestrian Pathways) shall retain a California registered professional civil engineer to certify, upon completion, that the access facility was constructed in accordance with the approved plans and construction standards. Applicants may also be required to show assurance of performance bonding for grading and other associated improvements required under this permit. In addition, prior to the installation of landscaping, applicants shall retain a landscape architect or other qualified individual to certify upon completion that the landscaping was installed in accordance with the approved landscape plan.

**26. Provide Noise Buffering of BART Tracks**

Requirement: Consistent with the requirements of the WOSP, the proposed buildings adjacent to the BART tracks shall be designed to buffer and attenuate noise from BART to the surrounding neighborhood. New buildings shall not aggravate noise conditions for the surrounding community, and where feasible shall mitigate BART noise in compliance with the WOSP.

When Required: Prior to approval of building permit and ongoing.

Initial Approval: Bureau of Building, Bureau of Planning

Monitoring/Inspection: Bureau of Building

**27. Affordable Residential Units per State Density Bonus Law**

The project applicant shall provide the required total of 85 very-low affordable residential units from the approved 1,032 unit residential development.

**28. Affordable Residential Rental Units - Agreement and Monitoring**

Requirement #1:

Pursuant to Section 17.107 of the Oakland Planning Code and the State Density Bonus Law at California Government Code Section 65915 et seq. (“**State Density Bonus Law**”), the project shall provide a minimum of 84 target dwelling units available and affordable to at very low-income households (at least 8% of the units per Buildings 1, 2, and 3 and 11% of the base density) for receiving a density bonus, concession and waivers of development standards.

When Required: Ongoing

Requirement #2:

The approved residential affordable units that are part of this approval shall remain and continue to be affordable at the specified level in accordance with California Health and Safety Code Section 50053 and its implementing regulations for a term of not less than 55 years or a longer period of time if required by the construction or mortgage finance assistance program, mortgage insurance program, or rental subsidy program. This Condition of Approval must also be in compliance with Section 65915(c)(1) of the State Density Bonus Law specifically, as well as all other applicable provisions of the State Density Bonus Law.

When Required: Ongoing

Requirement #3:

Prior to submittal of a construction-related permit, the applicant shall contact the City Attorney, the Housing and Community Development Department and any other relevant City departments to enter into a Regulatory Agreement based on the City’s model documents, as may be amended from time to time, governing the target dwelling units. The Agreement shall contain restrictive covenants to ensure the continued affordability of the target dwelling units at the specified rent levels for a period of not less than fifty-five (55) years pursuant Section 65915 (c)(1) of the State Density Bonus Law, and restrict the occupancy of those units only to residents who satisfy the affordability requirement as approved for this project. Only households meeting the eligibility standards for the target

dwelling units shall be eligible to occupy the target dwelling units. If the property has an approved condominium map and the developer chooses to rent the affordable units at initial occupancy, the units cannot convert to ownership during the term of the Agreement, even if the market rate units in the development convert to ownership.

The Regulatory Agreement shall be recorded with the Alameda County Recorder's Office as an encumbrance against the property, and a copy of the recorded agreement shall be provided to and retained by the City. **The Regulatory Agreement may not be subordinated in priority to any other lien interest in the property.**

When Required: Prior to issuance of a construction related permit

Requirement #4:

Rental target dwelling units shall be managed / operated by the developer or developer's agent or the developer's successor. The developer of rental target dwelling units shall submit for review and approval by the Housing and Community Development Department and any other relevant City departments, an annual report identifying which units are target dwelling units, the monthly rent, vacancy information, monthly income for tenants of each target rental dwelling unit throughout the prior year, and other information required by the City. Said agreement shall maintain the tenants' privacy. The applicant shall pay to the Housing and Community Development Department an annual monitoring fee pursuant to the Master Fee Schedule for City monitoring of target dwelling units (currently \$140 per affordable unit per year).

When Required: Ongoing (annually)

Requirement #5:

The floor area, number of bedrooms, and amenities (such as fixtures, appliances, location and utilities) of the affordable units shall be comparable to those of the market rate units. Further, the proportion of unit types (i.e. three-bedroom, four-bedroom, etc.) of the affordable units shall be approximately the same as the project's market rate units.

When Required: Ongoing

Requirement #6:

Tenant households in affordable units must have equal access to the project's services and facilities as tenant households in all other units within the project.

When Required: Ongoing

Requirement #7:

Affordable units must be evenly distributed throughout the project.

When Required: Ongoing

Requirement #8:

Applicant shall comply with the requirements of Section 65915(c)(3)(A) of the State Density Bonus Law requiring, without limitation, replacement units in those circumstances where the parcel subject to the density bonus requests contains or contained affordable units within the last five years.

When Required: Ongoing

Requirement #9:

Applicants shall comply with all applicable provisions of State Density Bonus Law and all provisions of the City's density bonus law that are not preempted by state law.

When Required: Ongoing

Requirement #10:

Affordable units shall be constructed concurrent with the construction of the market rate units in each phase of the project.

When Required: Ongoing

Requirement #11:

The City will not issue final certificates of occupancy for more than fifty percent (50%) of the market rate units in any phase of development until final certificates of occupancy are issued for all of the affordable units in that phase.

When Required: Ongoing

**29. Requirement to Obtain City Council Approval of an Amended Disposition and Development Agreement Consistent with Planning Entitlements.**

*Prior to Recordation of Final Map, or obtaining any other project approval.*

Prior to recordation of final map, or obtaining any other project approval, whichever may occur first, applicant must obtain City Council approval for an amended Disposition and Development Agreement ("DDA") for the property so that applicant's ownership rights in the property are consistent with the entitlements set forth in this approval. If the applicant fails to obtain City Council approval of the amended DDA, the project entitlements cannot be implemented.

When Required: Prior to Recordation of Final Map, or Obtaining Any Other Project Approval

**30. High-Quality Design of Ground-Floor Pedestrian Pathways, Dog Park and Playground.**

Requirement: In order to ensure a safe and lively pedestrian realm on the Pedestrian Pathways, dog park and Playground, these ground floor areas and pathways shall be high-quality, well-designed spaces that include excellent pedestrian-scaled lighting, extensive furnishings, interactive art and high quality amenities for children in the Playground.

When Required: FDP for horizontal improvements and PX/PZ Permit.

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

**31. Requirement to Implement All Mandatory CEQA and Non-CEQA Mandatory TDM Measures**

The applicant shall implement each mandatory TDM measure that is required in the CEQA TDM (through the SCAMMRP) and the non-CEQA TDM for the life of the project, beginning with building permit approval or as soon thereafter as the measure becomes applicable. Compliance with this condition is ongoing for the life of the project and is required to mitigate the traffic-related impacts of the project.

Upon six months following Certificate of Occupancy, the Bureau of Planning and the Department of Transportation may require a Compliance Meeting with the applicant to determine whether the mandatory TDM measures have been implemented, as well as to determine what optional TDM measures have been implemented. If, after one year from Certificate of Occupancy, the City determines that the TDM measures are insufficient or do not address the project's transportation impacts, the City, in consultation with a third-party traffic consultant paid for by the applicant, may require additional TDM measures to appropriately mitigate any traffic-related impacts from the project.

When Required: Ongoing.

**Applicant Statement**

I have read and accept responsibility for the Conditions of Approval. I agree to abide by and conform to the Conditions of Approval, as well as to all provisions of the Oakland Planning Code and Oakland Municipal Code pertaining to the project.

---

Name of Project Applicant

# EXHIBIT 'B'

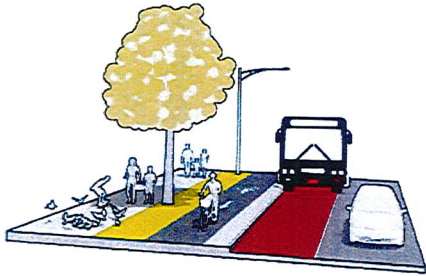
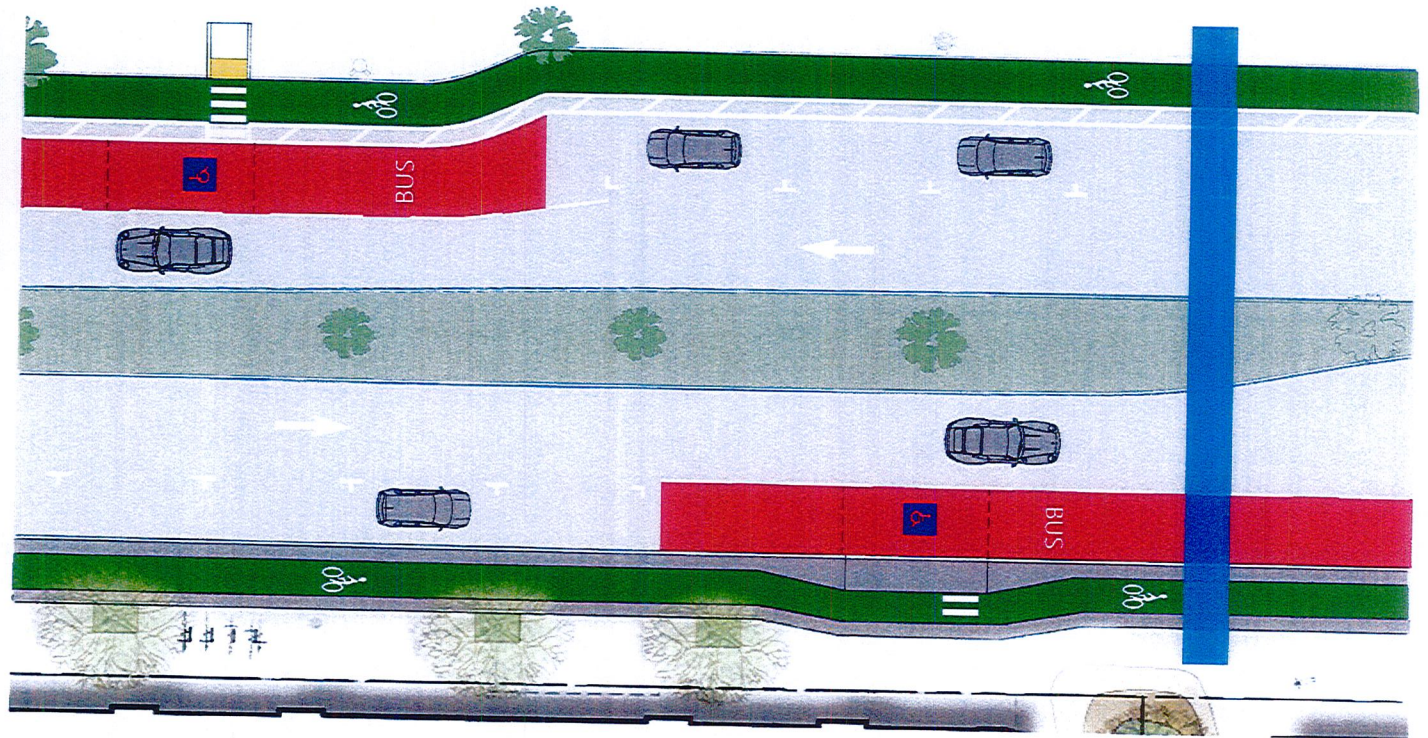


IMAGE FROM MASS DOT

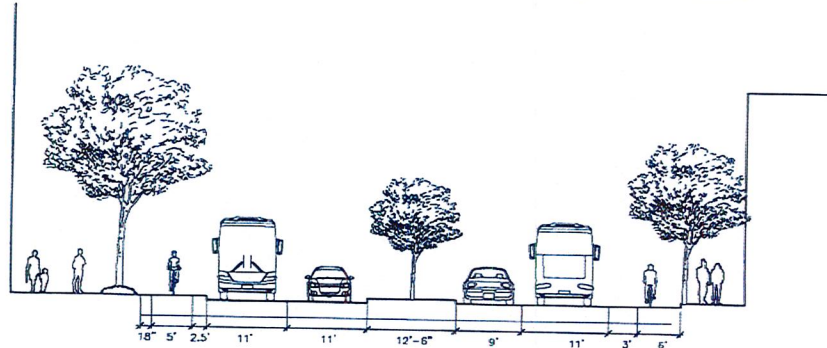
## 6 LANES ACCOMODATES:

### EACH DIRECTION:

- class four cycle track
- dedicated curbside bus queue
- jump lane w/ paratransit loading
- some parking/loading



Cycle Track on south side, with ADA loading in Bus Lane



ALL CONCEPTS NEED TO BE VETTED AND DEVELOPED BY THE APPROPRIATE ENGINEERS AND REVIEW AGENCIES AND CHECKED AGAINST A MEASURED SURVEY. DRAWINGS ARE DESIGN INTENT ONLY.



PLN17428  
VTPM 10823  
PUD Permit

**EXHIBIT C**

**DRAFT DEED RESTRICTION**

**When Recorded Mail To:**

Attn: Daniel Frattin  
Reuben, Junius & Rose, LLP  
One Bush Street, Suite 600  
San Francisco, California 94104

APN: See Attached

(Space above for Recorder's use only)

**DEED RESTRICTION AND DECLARATION OF COVENANT**

THIS DEED RESTRICTION AND DECLARATION OF COVENANT (the "**Declaration**") is made this \_\_\_ day of \_\_\_\_\_, 20\_\_ by 500 Kirkham, LLC, LLC, a Delaware limited liability company ("**Declarant**").

RECITALS

A. Declarant is the sole owner in fee simple of certain real property commonly known as 500 Kirkham Street, located in the City of Oakland ("**City**"), County of Alameda, State of California, as more particularly described in **Exhibit A**, attached hereto and incorporated herein by this reference (the "**Property**"); and

B. Declarant intends to construct a one thousand, thirty two (1,032) unit residential and ground-floor commercial project on the Property pursuant to the approvals (which approvals, the vested rights conferred thereby, and the project so constructed shall be termed "**Entitlements**") set forth in Case File No. PLN17428-PUDF07 (the "**Project**").

C. Per Condition of Approval \_\_\_\_\_ for the Project, Declarant is required to make available for public pedestrian access, during the hours and pursuant to the conditions specified herein, portions of the Property between Buildings 1 and 2 and between Buildings 2 and 3, in the locations described on **Exhibit B** attached hereto and incorporated herein by this reference (the "**Pedestrian Pathways**").

D. Per Condition of Approval \_\_\_\_\_ for the Project, Declarant is required to set aside portions of the Property south of the Bay Area Rapid Transit (BART) tracks as privately-owned and maintained, publicly-accessible open space in the locations described on **Exhibit C** attached hereto and incorporated herein by this reference (the "**Playground**").

**DRAFT DEED RESTRICTION**

E. Per Condition of Approval \_\_\_\_\_ for the Project, Declarant is required to set aside a portion of the Property adjacent to the pedestrian pathway between Buildings 2 and 3 as privately-owned and maintained, publicly-accessible open space in the locations described on **Exhibit D** attached hereto and incorporated herein by this reference (the "**Dog Park**"), which shall be open to the public, during the hours and pursuant to the conditions specified herein.

F. Declarant desires to enter into and record this Declaration against the Property to satisfy the Project Conditions of Approval referenced above.

**COVENANTS, TERMS, CONDITIONS, AND RESTRICTIONS**

In consideration of the above and other good and valuable consideration, the receipt and adequacy of which is hereby acknowledged, Declarant hereby voluntarily covenants to restrict the use of the Property to the extent hereinafter set forth.

1. **PURPOSE.** It is the purpose of this Declaration to provide nonexclusive pedestrian access from the hours of 7:00 a.m. to 9:00 p.m. along the publicly accessible, private Pedestrian Pathways, the Playground, and the Dog Park (collectively, the "**Privately-Owned Public Open Space**") in accordance with the Entitlements, including all conditions of approval and other legal requirements, which restriction is for the benefit of the public. The Privately-Owned Public Open Space can open earlier or stay open later at the Declarant's sole discretion. In no event shall the Declarant limit the specified access hours beyond the 7:00 a.m. to 9:00 p.m. time period set forth above unless the City's Director of Planning and Building or his/her designee determines that more restrictive hours are in the interests of the public health, safety and welfare. The Privately-Owned Public Open Space will be gated and inaccessible outside of the hours specified, or as approved, above.

2. **RIGHTS OF CITY AS THIRD PARTY BENEFICIARY.** To accomplish the purpose of this Declaration, the following rights are conveyed solely to the City, as an express third-party beneficiary ("**Third Party Beneficiary**") under this Declaration, from and after the date this Declaration is recorded in the official records of Alameda County:

- (a) to enter the Property upon reasonable notice and to monitor Declarant's compliance with and otherwise enforce the terms of this Declaration; provided that such entry shall not unreasonably impair or interfere with Declarant's use and quiet enjoyment of the Property;
- (b) to confirm pedestrian ingress/egress during the hours of 7:00 a.m. to 9:00 p.m. to a 12-foot unobstructed portion of the Pedestrian Pathways, subject to Section 3 below;;
- (c) to confirm public access to the Playground during the hours of 7:00 a.m. to 9:00 p.m.;

**DRAFT DEED RESTRICTION**

(d) to confirm public access to the Dog Park during the hours of 7:00 a.m. to 9:00 p.m.;

(e) to approve or disapprove any amendment, modification or termination of all or any portion of this Declaration (and in no event shall this Declaration be amended, modified or terminated without the written approval of the Third Party Beneficiary); and

(f) to require Declarant to comply with any and all requirements associated with the Entitlements, including, without limitation, any condition of approval associated with the Privately-Owned Public Open Space and the management and security plan approved by the City (the "*Management and Security Plan*").

3. **RESERVED RIGHTS.** Except as otherwise specified herein or in the Entitlements, Declarant reserves to itself, and to its personal representative, heirs, successors, assigns, agents, all rights accruing from its ownership of the Property, including without limitation in the Privately-Owned Public Open Space, including the right to engage in or permit or invite others to engage in all uses of the Property and Privately-Owned Public Open Space that are not inconsistent with the purpose of this Declaration and/or do not unreasonably interfere with the purpose of this Declaration and imposing reasonable security measures, including but not limited to further limiting access to the Privately-Owned Public Open Space and removing and/or refusing access to disruptive individuals who threaten the public health, safety, and welfare of public citizens and/or residents of the Project. In addition, Declarant shall have the right to close the Pedestrian Pathways for up to 5 days per month for public and/or private events, with prior written notice to the City. If Declarant proposes further limitations on the Privately-Owned Public Open Space, Declarant shall seek the prior written approval of the City's Planning and Building Director or his/her designee. Nothing contained herein shall in any way limit or prevent the City's regulatory powers, including, without limitation, enforcing the Entitlements and/or any code, ordinance or regulation applicable to the Property and/or the Project.

4. **MAINTENANCE.** Declarant shall be solely responsible for the construction, installation, maintenance, care, and upkeep of the Privately-Owned Public Open Space, including the implementation of the Management and Security Plan. The Declarant shall maintain the Privately-Owned Public Open Space with a well-tended appearance and in good working condition so that the Privately-Owned Public Open Space continues to operate as originally designed and approved, and in accordance with the approved plans and specifications for the Project, including without limitation, any concrete walkways, vegetation, and lighting.

5. **COSTS AND LIABILITIES.** Declarant retains all responsibilities and liabilities related to the ownership, operation, upkeep, and maintenance of the Property, including without limitation, the Privately-Owned Public Open Space.

**DRAFT DEED RESTRICTION**

6. **SUCCESSORS AND ASSIGNS.** The covenants, terms, conditions and restrictions of this Declaration shall be binding upon, and inure to the benefit of, Declarant and the Third Party Beneficiary and their respective personal representatives, heirs, successors, and assigns regardless of any voluntary or involuntary conveyance or transfer of the Property. Any successor-in-interest to Declarant and any purchaser or transferee of the Property shall be subject to all of the duties and obligations imposed on Declarant under this Declaration with respect to such owner's or transferee's period of ownership of the Property. The term "Declarant" as used in this Declaration shall include all such assigns, successors-in-interest, and transferees. Declarant and Third Party Beneficiary intend that the covenants contained in this Declaration shall constitute covenants running with the land and shall bind the Property and every person having an interest in the Property. Declarant agrees for itself and for its successors that in the event that a court of competent jurisdiction determines that the covenants herein do not run with the land, such covenants shall be enforced as equitable servitudes against the Property.

7. **ESTOPPEL CERTIFICATES.** Declarant shall provide an estoppel certificate to the City as requested from time to time stating that this Agreement has not been modified, or, if modified, stating the nature of such modification, and certifying that this Agreement, as modified, is in full force and effect.

8. **INDEMNIFICATION.** Declarant agrees to protect, defend (with counsel acceptable to City), indemnify, save, and hold the City, its Councilmembers, Planning Commissioners, officers, partners, employees, attorneys, contractors, agents and volunteers (collectively, the "*Indemnitees*") harmless from and against any and all actions, liability, claims, losses, expenses (including reasonable attorneys' fees and costs) or liability (collectively called "*Claims*"), resulting from or relating to the use of the Privately-Owned Public Open Space. Declarant agrees that Declarant has an immediate and independent obligation to defend City and all Indemnitees from any Claims, when such a claim is tendered to Declarant and shall continue thereafter until the matter is resolved to the satisfaction of City.

9. **RECORDATION.** Declarant shall promptly record this instrument in the official records of Alameda County, California.

10. **GENERAL PROVISIONS.**

(a) **Controlling Law.** The interpretation and performance of this Declaration shall be governed by the laws of the State of California and other applicable Federal laws.

(b) **Severability.** If any provision of this Declaration, or the application thereof to any person or circumstances, is found to be invalid, the remainder of the provisions of this Declaration, or the application of such provision to persons or circumstances other than those as to which it is found to be invalid, as the case may be, shall not be affected thereby.

(c) **Entire Agreement.** This instrument sets forth the entire agreement of

PLN17428  
VTPM 10823  
PUD Permit

**DRAFT DEED RESTRICTION**

Declarant with respect to the Declaration and supersedes all prior discussions, negotiations, understandings, or agreements relating to the Declaration.

(d) No Forfeiture. Nothing contained herein will result in a forfeiture or reversion of Declarant's title in any respect.

(e) Captions. The captions in this instrument have been inserted solely for convenience of reference and are not a part of this instrument and shall have no effect upon construction of interpretation.

(f) Counterparts. The signatories may execute this instrument in two or more counterparts, which shall, in the aggregate, be signed by both signatories; each counterpart shall be deemed an original instrument as against any signatory who has signed it. In the event of any disparity between the counterparts produced, the recorded counterpart shall be controlling.

DRAFT

PLN17428  
VTPM 10823  
PUD Permit

**DRAFT DEED RESTRICTION**

IN WITNESS WHEREOF, the parties execute this Declaration as of the date set forth above.

**DECLARANT:**

500 Kirkham, LLC,  
a Delaware limited liability company

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Its: \_\_\_\_\_

**APPROVED:**

**THIRD PARTY BENEFICIARY**

**CITY OF OAKLAND**  
a municipal corporation

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Its: \_\_\_\_\_

**APPROVED AS TO FORM AND LEGALITY**

\_\_\_\_\_  
Deputy City Attorney

PLN17428  
VTPM 10823  
PUD Permit

**DRAFT DEED RESTRICTION**

[ATTACH NOTARY ACKNOWLEDGEMENTS]

DRAFT

| PLN17428

VTPM 10823

PUD Permit

**DRAFT DEED RESTRICTION**

EXHIBIT A

LEGAL DESCRIPTION OF PROPERTY

DRAFT



PLN17428  
VTPM 10823  
PUD Permit  
**DRAFT DEED RESTRICTION**

EXHIBIT B

LEGAL DESCRIPTIONS OF THE PEDESTRIAN PATHWAYS

DRAFT

PLN17428  
VTPM 10823  
PUD Permit  
**DRAFT DEED RESTRICTION**

EXHIBIT C

LEGAL DESCRIPTION OF THE PLAYGROUND

DRAFT

PLN17428  
VTPM 10823

PUD Permit

**DRAFT DEED RESTRICTION**

EXHIBIT D

LEGAL DESCRIPTION OF THE DOG PARK

DRAFT

# TITLE SHEET

# 500 KIRKHAM STREET

CITY OF OAKLAND, CALIFORNIA

MARCH 2018  
 (REVISED: MAY 2018)  
 (REVISED: AUGUST 2018)  
 (REVISED: MARCH 2019)  
 (REVISED: APRIL 2019)  
 (REVISED: MAY 2019)  
 SHEET 1 OF 5

SHEET INDEX	
C01	TITLE SHEET
C02	VESTING TENTATIVE PARCEL MAP
C03	EXISTING CONDITIONS
C04	SITE GRADING EXHIBIT
C05	SITE UTILITY EXHIBIT

(PLN17428 / PUDF07)



## CITY OF OAKLAND TENTATIVE PARCEL MAP SUPPLEMENTAL SUBMITTAL REQUIREMENTS

### TENTATIVE PARCEL MAP (1 to 4 lots / condominium conversions, or construction of 1 or more new condominiums)

**Supplemental Submittal Requirements:**

- Obtain the Parcel Map Number from the Mapping Division of the Alameda County Recorder's Office. Please call (510) 208-9857 to determine what information they need in order to assign a Parcel Map number. **Applications cannot be accepted without this information.**
- Six (6) **full-size** copies of the proposed Tentative Parcel Map prepared by a California State licensed Land Surveyor or by a Civil Engineer with a license number below 33966 (licensed prior to January 1, 1982). Each copy must be folded to a size of no larger than 9" x 12". Maps must be no more than 3 years old from the time of submittal.
- Two (2) **reduced** (8½" x 11" or 11" x 17") copies of the proposed Tentative Parcel Map.
- Prevalent lot size information:
  - a map of all parcels within or partially within 200' of the site perimeter (all using the same map scale).
  - a sequential list of all the parcels within or partially within 200' of the site perimeter, in order of lot area (including a notation of the median lot area).
  - a sequential list of all the parcels within or partially within 200' of the site perimeter, in order of lot width (including a notation of the median lot width).

*Prevalent lot size information is not required for the following project types:*

  - Creation of new condominiums
  - Condominium conversions
  - Mini-lot developments with also involve a Conditional Use Permit pursuant to Section 17.102.320 O.P.C.
  - Planned Unit Developments (PUD's)
  - Subdivisions between existing principal buildings which also involve a Conditional Use Permit to waive the lot area and lot width requirements pursuant to Sections 17.102.330 and 17.106.010(B) O.P.C.
  - Projects which also involve a rezoning, or the creation of a Specific Plan or Development Control Map.
- For condominium conversions only:** 60-day tenant notification as required by Sections 16.36.020-16.36.020 O.M.C.
- For condominium conversions only:** Copy of 3R report from Building Services documenting number of legal units.
- For condominium conversions only:** If units are vacant, a notarized letter stating when the units were vacant (must be at least 60 days).

**Map Content:**

- |                                     |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | 1. Name and address of record property owner(s), the subdivider, and the licensed engineer or surveyor preparing the map.  |
| <input checked="" type="checkbox"/> | 2. Wet stamp and signature of the Land Surveyor or Civil Engineer who prepared the survey.   |
| <input checked="" type="checkbox"/> | 3. The Parcel Map number assigned by the real estate records of the Alameda County Recorder's Office.  |
| <input checked="" type="checkbox"/> | 4. Contours with intervals of five (5) feet or less referred to City of Oakland datum, north arrow, date and scale.  |
| <input checked="" type="checkbox"/> | 5. Original lot boundaries with lot numbers, as shown on earlier tracts or parcel maps (or names of record owners for unsubdivided land), within and adjacent to boundary of proposed land division.   |
| <input checked="" type="checkbox"/> | 6. The location, width, improvement status, purpose, and names of all existing or platted streets (including distance to nearest intersecting street), easements, railroad rights-of-way, other public ways, and buildings within or adjacent to the proposed land division. |
| <input checked="" type="checkbox"/> | 7. Location of all political subdivision lines, corporation lines, water courses, and other physical features.   |
| <input checked="" type="checkbox"/> | 8. Location, type, and trunk diameter of trees measuring at least 9-inch diameter (4" diameter if Coast Live Oaks) at a location 4½' above grade.  |
| <input checked="" type="checkbox"/> | 9. The layout, numerical or alphabetic designation, dimensions, and square footage of all proposed lots, with the boundary lines accurate in scale.  |
| <input checked="" type="checkbox"/> | 10. Proposed vehicular access (including driveway width and slope) and building site location for each parcel.   |
| <input checked="" type="checkbox"/> | 11. Provisions for drainage, flood control, sewage disposal and water supply availability.   |

**These supplemental submittal requirements are in addition to the submittal requirements listed in the Basic Application for Development Review.**

L:\Zoning Counter Files\Subdivisions (TPM, TTM, PMW, PUD)\TPM supplemental requirements (01-14-11) revision.doc

Revised: 01/14/11

**PROJECT TEAM**

**APPLICANT**  
 PANORAMIC INTERESTS  
 1321 MISSION STREET  
 SAN FRANCISCO, CA 94103  
 CONTACT: ZAC SHORE  
 PHONE: 415 701-7002



**ENGINEER**  
 KPFF  
 45 FREMONT STREET, 28th FLOOR  
 SAN FRANCISCO, CA 94105  
 CONTACT: CORY BANNON  
 PHONE: 415 268-1086



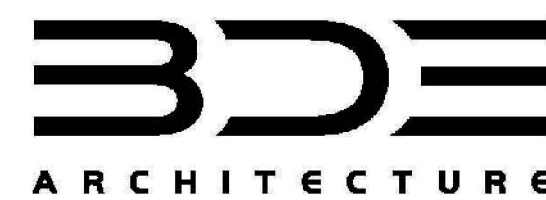
**ARCHITECT**  
 SCB  
 255 CALIFORNIA STREET,  
 SAN FRANCISCO, CA 94111  
 CONTACT: BEN WRIGLEY  
 PHONE: 415 216-2450



**LANDSCAPE ARCHITECT**  
 EINWILLER KUEHL  
 318 HARRISON STREET, SUITE 301  
 OAKLAND, CA 94607  
 CONTACT: LAUREN McCLURE  
 PHONE: 510 891-1696



**ARCHITECT**  
 BDE ARCHITECTURE  
 934 HOWARD ST.,  
 SAN FRANCISCO, CA 94103  
 CONTACT: SARAH PETRI  
 PHONE: 415 677-0966



**URBAN PLANNERS**  
 SITE LAB urban studio  
 660 MISSION STREET, SUITE 200  
 SAN FRANCISCO, CA 94105  
 CONTACT: MICHEL ST. PIERRE  
 PHONE: 415 852-6940



**SURVEYOR**  
 WOOD RODGERS  
 4670 WILLOW ROAD, SUITE 125  
 PLEASANTON, CA 94588  
 CONTACT: RYAN SEXTON  
 PHONE: 925 847-1556



# LAND USE SUMMARY

LAND USE	NET AREA (SF.)	NET AREA (AC.)
PARCEL 1	46,768	1.07
PARCEL 2	47,713	1.10
PARCEL 3	33,275	0.76

# LEGEND

PROPOSED	EXISTING
PROJECT BOUNDARY	PROPERTY LINE
EASEMENT LINE	CENTERLINE
BUILDING	HARDSCAPE

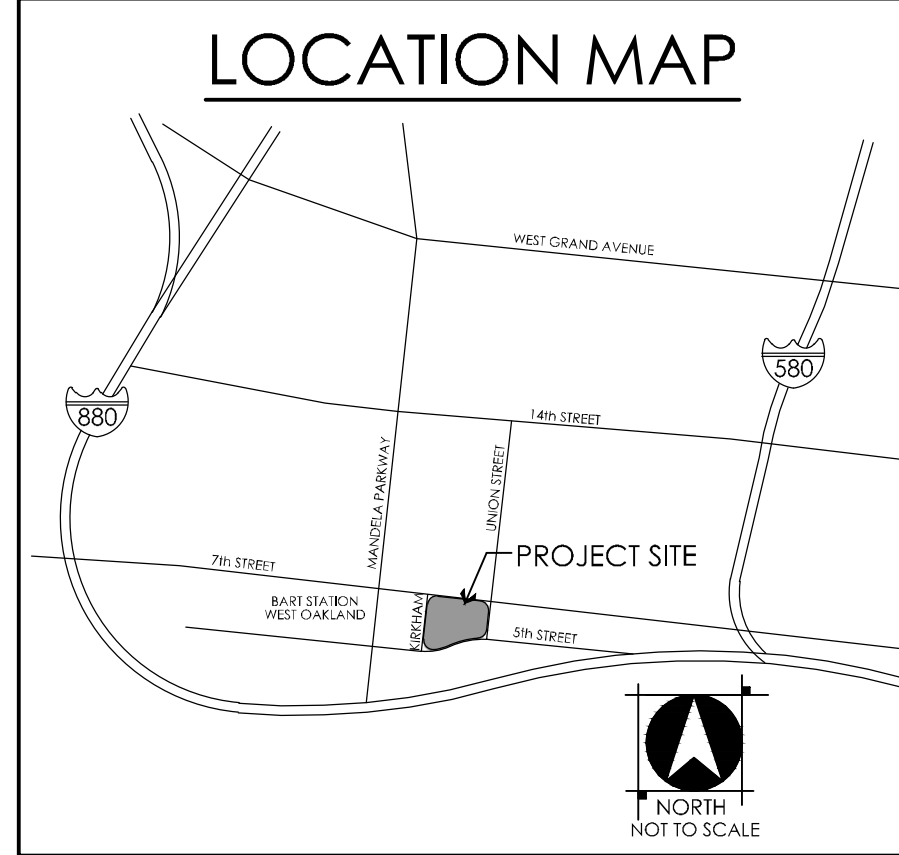
# PARCEL MAP 10823

## VESTING TENTATIVE PARCEL MAP

# 500 KIRKHAM STREET

CITY OF OAKLAND, CALIFORNIA

MARCH 2018  
 (REVISED: MAY 2018)  
 (REVISED: AUGUST 2018)  
 (REVISED: MARCH 2019)  
 (REVISED: APRIL 2019)  
 (REVISED: MAY 2019)  
 SHEET 2 OF 5



# PROJECT NOTES

**APPLICANT/SUBDIVIDER**  
 PANORAMIC INTERESTS  
 1321 MISSION STREET, SUITE 101  
 SAN FRANCISCO, CA 94103  
 CONTACT: MICHAEL THOMAS  
 PHONE: (415) 701-7006

**OWNERS**  
 500 KIRKHAM, LLC.  
 1321 MISSION STREET, SUITE 101  
 SAN FRANCISCO, CA 94103

**SURVEYOR/ENGINEER**  
 WOOD RODGERS INC.  
 4670 WILLOW ROAD, SUITE 125  
 PLEASANTON, CA 94588  
 CONTACT: RYAN SEXTON, LS / KARRIE MOSCA, PE  
 PHONE: (925) 398-7916 / (925) 847-1547

**ASSESSOR'S PARCEL NO.** 004-0049-008, -009 & 04-051-018-02  
**No. OF PROPOSED LOTS | UNITS** 3 LOTS | 1,032 UNITS

**EXISTING GENERAL PLAN | ZONING**  
 COMMUNITY COMMERCIAL | TRANSIT ORIENTED WEST OAKLAND (S-15W)

**EXISTING USE** VACANT, BART TRACKS, PARKING & COMMERCIAL BUILDING  
**PROPOSED USE** GROUND FLOOR COMMERCIAL WITH RESIDENTIAL MULTI-FAMILY RENTAL HOUSING ABOVE; GROUND FLOOR RESIDENTIAL (BLDG 1&2)

**BENCHMARK**  
 THE BENCHMARK FOR THIS SURVEY IS A PIN IN A MONUMENT WELL LOCATED AT THE CENTERLINE INTERSECTION OF 5TH STREET AND MANDELA PARKWAY (FORMERLY CYPRESS STREET), CITY OF OAKLAND MONUMENT 16NW05 (1192), CITY DATUM, ELEVATION=3.693 FEET

**BASIS OF BEARINGS**  
 THE BEARING 17°06'32" BETWEEN FOUND MONUMENTS ON MANDELA PARKWAY WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

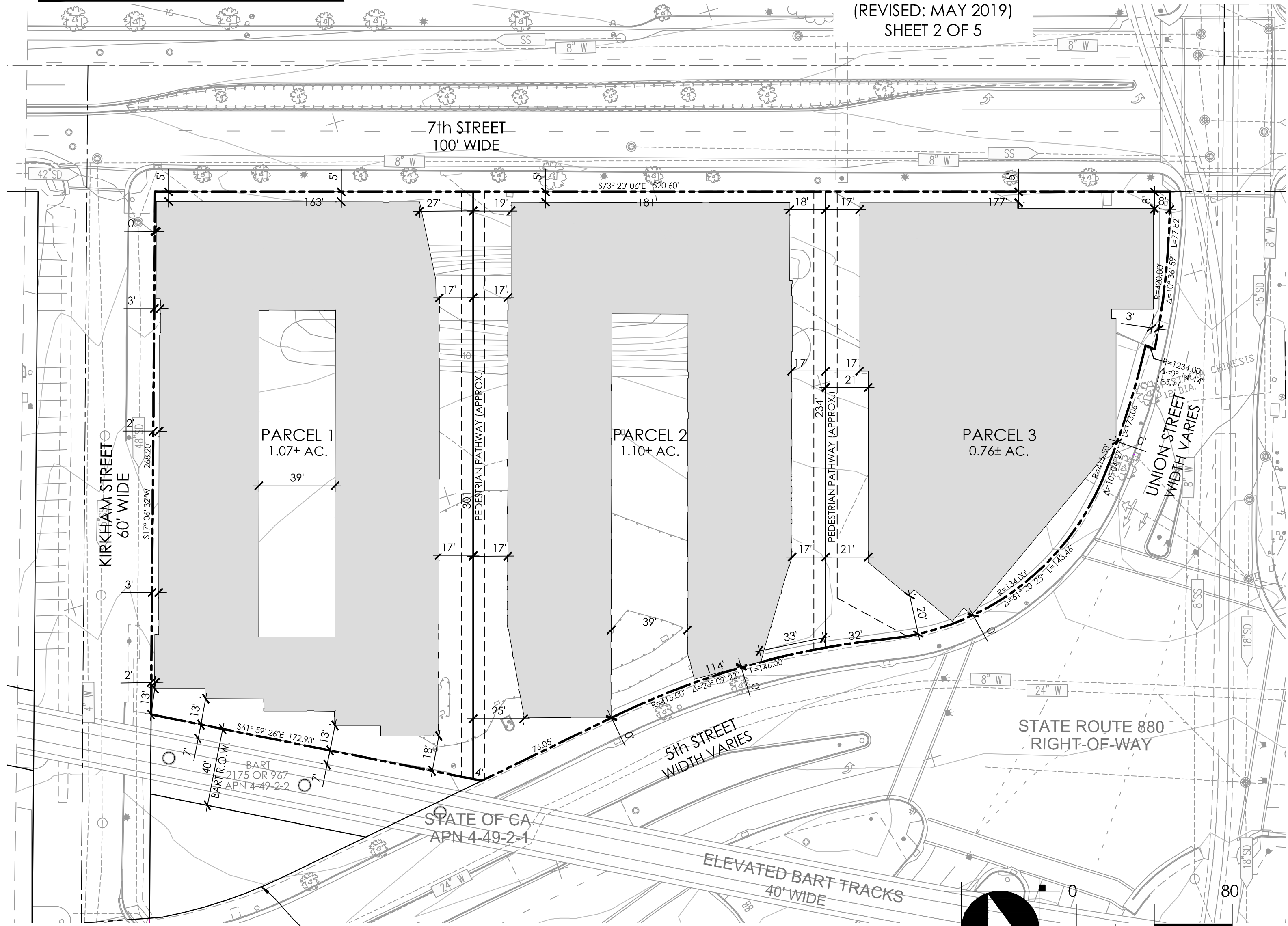
**FLOOD ZONE**  
 "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, MAP NUMBER: 06001C0066G, EFFECTIVE DATE: AUGUST 3, 2009  
 FEMA DATUM: NORTH AMERICAN VERTICAL DATUM (NAVD88)

**WATER** EAST BAY MUNICIPAL UTILITY DISTRICT  
**GAS & ELECTRIC** PG&E

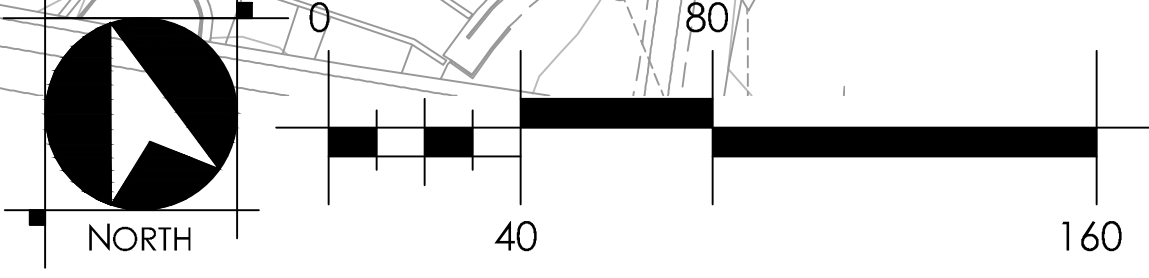
**STORM** CITY OF OAKLAND  
**TELEPHONE** AT&T / COMCAST

**SEWER** CITY OF OAKLAND  
**CABLE TV** COMCAST

- NOTES**
- THIS IS AN APPLICATION FOR A DEVELOPMENT PERMIT PER THE PERMIT STREAMLINING ACT (SECTION 65920 ET SEQ OF THE GOVERNMENT CODE).
  - SUBDIVIDER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS PURSUANT TO SECTION 66456.1(A) OF THE SUBDIVISION MAP ACT.
  - ALL EXISTING STRUCTURES TO BE REMOVED AND ALL EXISTING WELLS TO BE ABANDONED.
  - THIS EXHIBIT IS FOR TENTATIVE MAP PURPOSES ONLY. ALL SITE CHARACTERISTICS ARE TO BE VERIFIED.
  - THE PEDESTRIAN PATHWAYS, AND RELATED OPEN SPACE, SHOWN HEREON WILL BE OPEN TO THE PUBLIC SUBJECT TO THE TERMS AND CONDITIONS OF THE FOLLOWING DOCUMENT: DEED RESTRICTION & DECLARATION OF COVENANT, RECORDED ON \_\_\_\_\_ AS DOC. NO. \_\_\_\_\_
  - A LOT MERGER AND 3 LOT RE-SUBDIVISION OF PARCEL 1 ON PARCEL MAP 10662, IN BOOK 336 OF PARCEL MAPS, AT PAGES 47 THROUGH 48, WITH A PORTION OF LOTS 19 TO 25 INCLUSIVE, BLOCK 490, MAP NO. 2 OF THE BRIGGS TRACT, MAP BOOK 2, AT PAGE 19, ALAMEDA COUNTY RECORDS CITY OF OAKLAND APRIL 2019 COUNTY OF ALAMEDA.



APN 004-049-010 IS A SEPARATE LEGAL PARCEL THAT IS A PART OF THE DEVELOPMENT PROJECT TO BE ENTITLED BY THIS VESTING TENTATIVE PARCEL MAP AND WILL BE OPEN TO THE PUBLIC SUBJECT TO THE TERMS AND CONDITIONS OF THE DEED OF RESTRICTIONS AND DECLARATION OF COVENANT, RECORDED ON \_\_\_\_\_ AS DOC. NO. \_\_\_\_\_, BUT IS NOT TO BE FURTHER SUBDIVIDED OR MERGED BY THIS MAP.



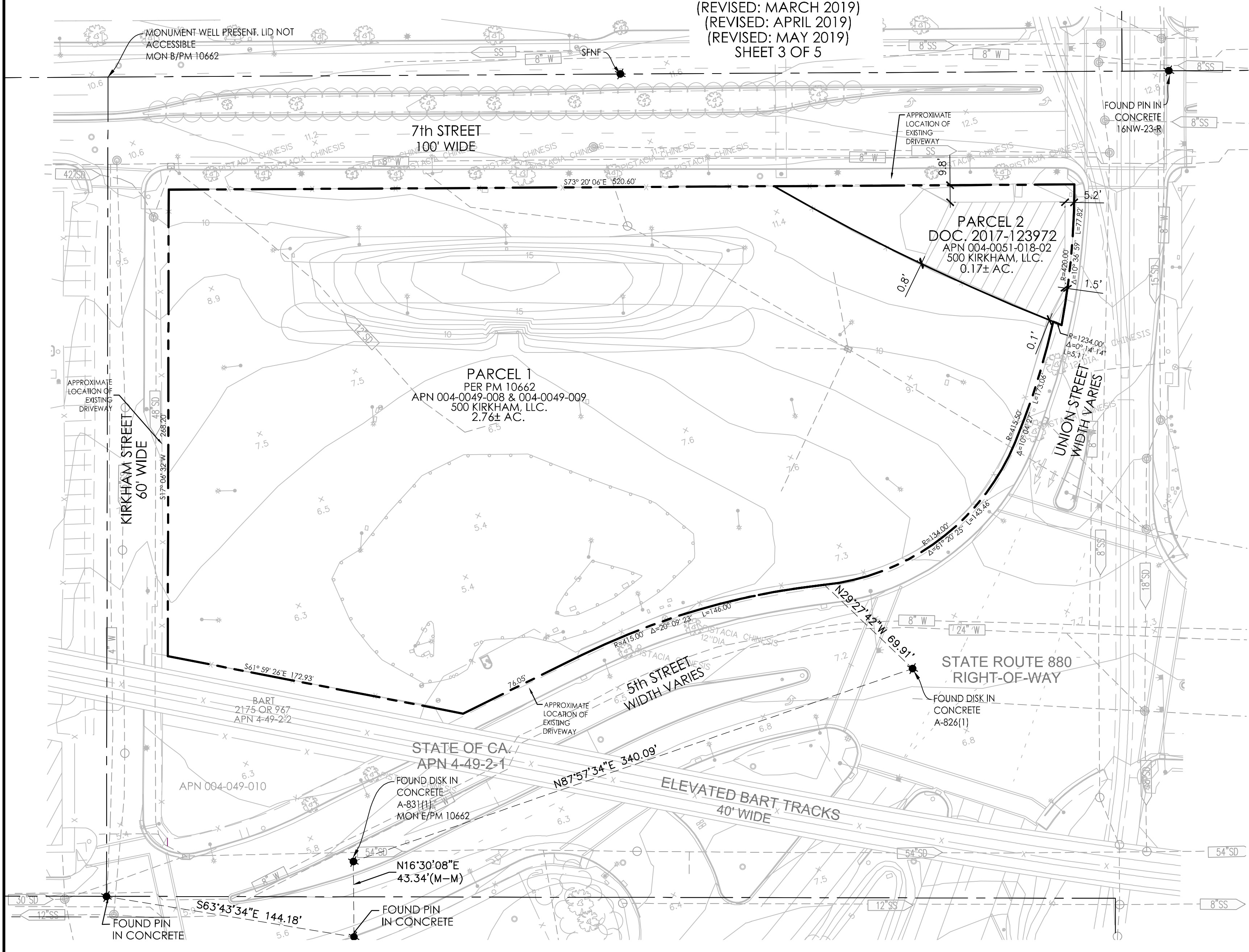
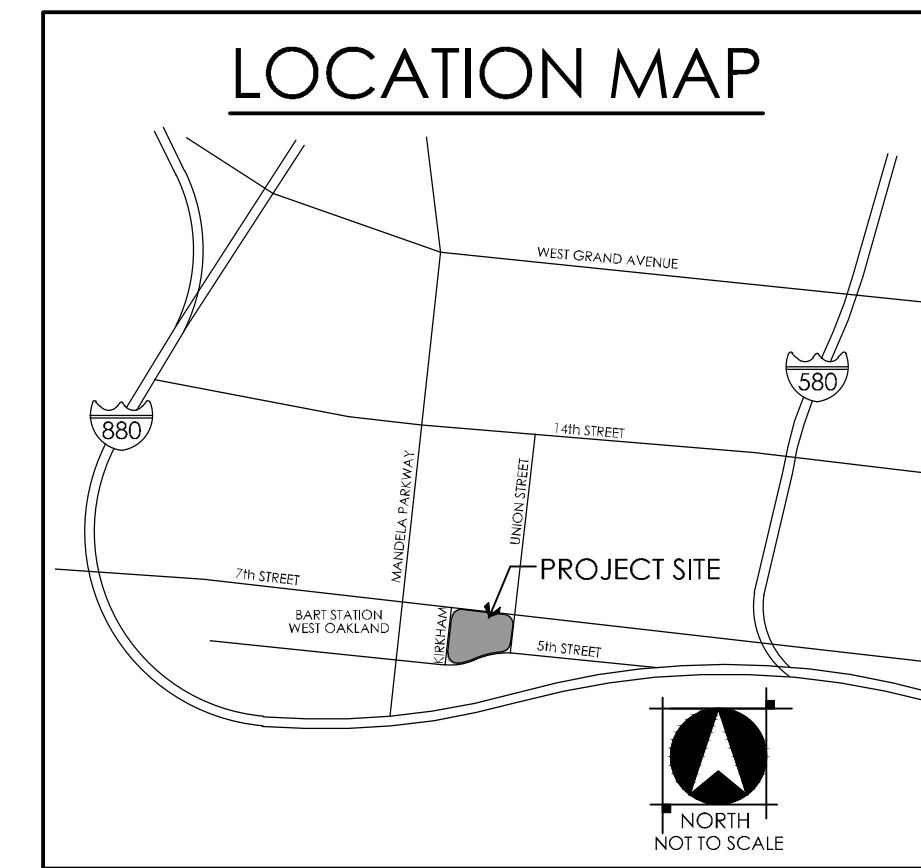
4670 WILLOW ROAD STE 125 TEL 925.847.1556  
 PLEASANTON, CA 94588 FAX 925.847.1557

# EXISTING CONDITIONS & SURVEY PLAN

## 500 KIRKHAM STREET

CITY OF OAKLAND, CALIFORNIA

MARCH 2018  
 (REVISED: MAY 2018)  
 (REVISED: AUGUST 2018)  
 (REVISED: MARCH 2019)  
 (REVISED: APRIL 2019)  
 (REVISED: MAY 2019)  
 SHEET 3 OF 5



### BASIS OF BEARINGS

THE BEARING N17°06'32"E BETWEEN FOUND MONUMENTS ON MANDELA PARKWAY WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

### BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS A PIN IN THE MONUMENT LOCATED AT THE INTERSECTION OF 5TH STREET AND MANDELA PARKWAY (FORMERLY CYPRESS STREET).

CITY OF OAKLAND MONUMENT 16NW05  
 ELEVATION = 3.693 FEET

### SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE CALIFORNIA LAND SURVEYORS ACT AT THE REQUEST OF PANORAMIC INTERESTS, ON AUGUST 1, 2018.

I HEREBY STATE THAT ALL EXISTING GRADES AND CONTOURS ARE BASED UPON THE CITY OF OAKLAND DATUM.

I HEREBY FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN FULLY SATISFIED.

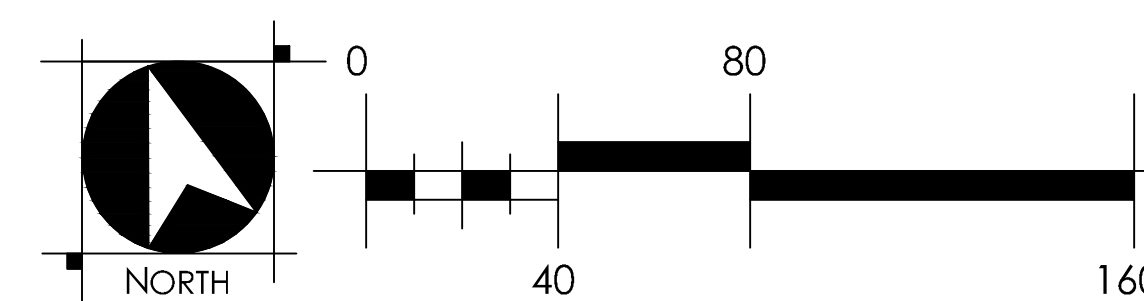
I HEREBY FURTHER STATE THAT THE PARCEL DESIGNATED BY MY SURVEY AND SHOWN ON THIS MAP IS THE SAME AS THAT SHOWN ON THAT CERTAIN MAP ENTITLED "PARCEL MAP 10662" FILED ON JULY 25, 2017 IN BOOK 336 OF MAPS AT PAGES 47-48 IN THE OFFICE OF THE ALAMEDA COUNTY RECORDER.

I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE CALIFORNIA LAND SURVEYORS ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE A CORNER RECORD OR RECORD OF SURVEY TO BE FILED.

I HEREBY ACKNOWLEDGE THAT THIS SURVEY SHALL BE A PUBLIC RECORD AND MAY BE AVAILABLE FOR INSPECTION AND DISTRIBUTION TO THE GENERAL PUBLIC.

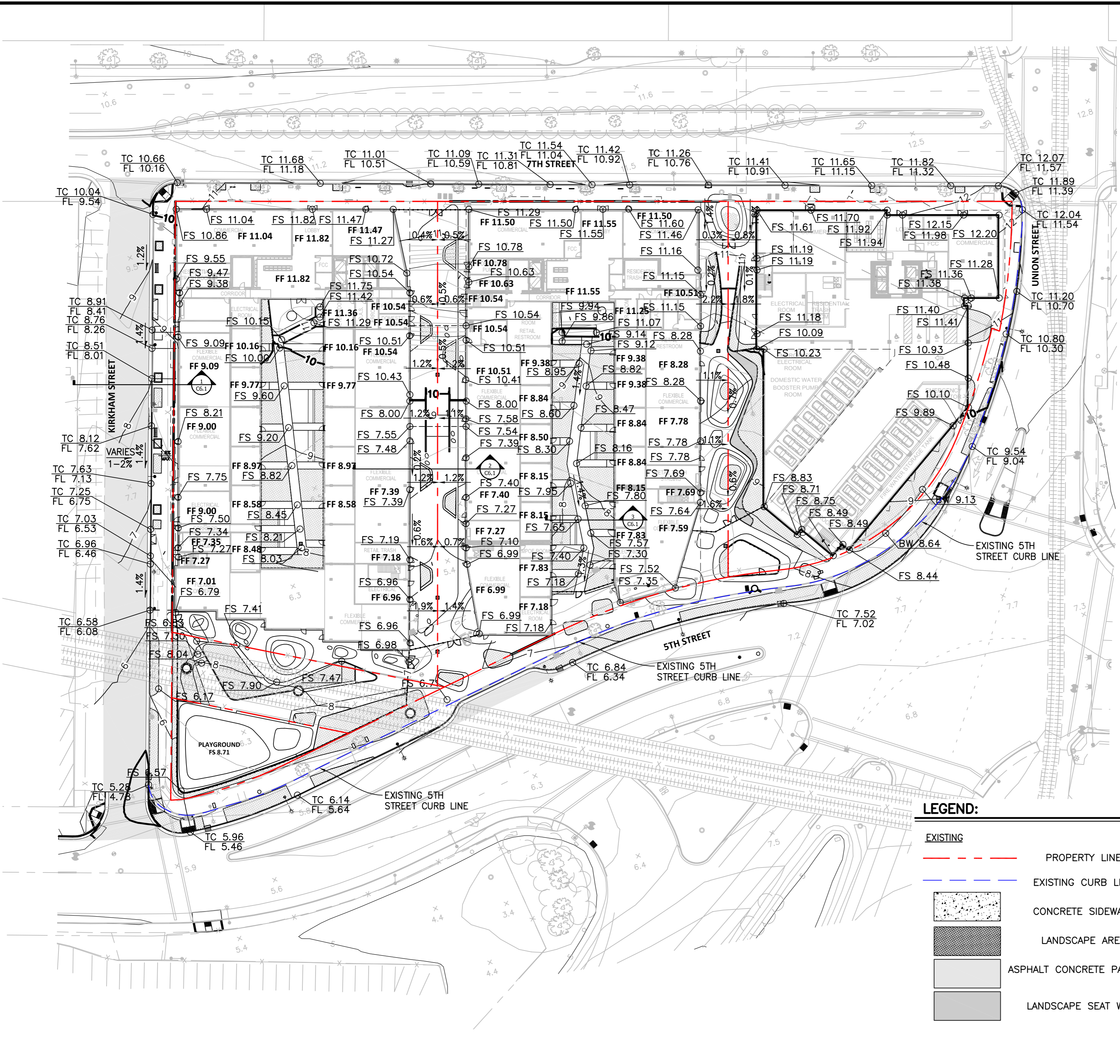
### NOTES:

- THIS SURVEY DOES NOT IDENTIFY SPRINGS, WATERS OF THE STATE, WATERS OF THE UNITED STATES, OR JURISDICTIONAL WETLANDS.
- NO MONUMENTS WERE SET WITH THIS SURVEY.



**WOOD RODGERS**  
 BUILDING RELATIONSHIPS ONE PROJECT AT A TIME  
 4670 WILLOW ROAD, SUITE 125 TEL 925.847.1556  
 PLEASANTON, CA 94588 FAX 925.847.1557

J:\Jobs\3298\_Kirkham\_OA\Planning\Exhibits\Tentative Map - PD\EC\_Kirkham.dwg 5/2/2019 2:03 PM Katie Caradee



**GRADING GENERAL NOTES:**

1. PROVIDE STRAIGHT LINE GRADING BETWEEN SPOT ELEVATIONS AND CONTOUR LINES.
2. SURFACE CROSS SLOPES OF SIDEWALKS SHALL NOT EXCEED 2%.
3. FOUNDATION EXCAVATION SHALL BE OBSERVED BY A GEOTECHNICAL ENGINEER.
4. EXCAVATIONS BELOW THE EXISTING TRENCHES SHOULD BE OUTSIDE AN IMAGINARY PLANE EXTENDING OUT AND DOWN FROM THE OUTSIDE-BOTTOM EDGE OF THE EXISTING TRENCH AT A SLOPE OF 1V:1H.
5. COORDINATE WITH ARCHITECTURAL PLANS FOR SIDEWALK AND DRIVE AISLE FINISH.
6. ELEVATIONS SHOWN ARE TO FINISHED GRADE, UNLESS NOTED OTHERWISE.
7. SEE LANDSCAPE PLANS FOR HARDSCAPE MATERIALS.

**AREA OF DISTURBANCE**

166,670 SF  
**HAUL ROUTE**  
 7TH STREET TO UNION STREET TO INTERSTATE 880

**ESTIMATED EARTHWORK QUANTITIES**

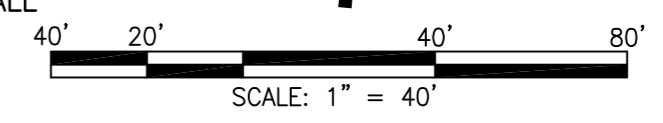
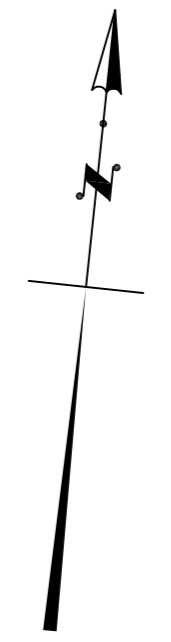
CUT (CY)	FILL (CY)	TOTAL (CY)
<3,180>	2,180	<1,000>

**NOTES**

1. ALL QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE, CALCULATED CUT AND FILL ARE TO "ROUGH GRADE" AND EXISTING GROUND. THE ACTUAL AMOUNT OF EARTH MOVED IS VARIABLE DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING REQUIREMENTS, AND THE CONTRACTOR'S METHOD OF OPERATION.
2. EARTHWORK QUANTITIES SHOWN DO NOT INCLUDE ADDITIONAL EXCAVATION FOR PAVEMENT AND SIDEWALK STRUCTURAL SECTIONS, BIORETENTION VAULTS, OR UTILITY TRENCH SPOILS.

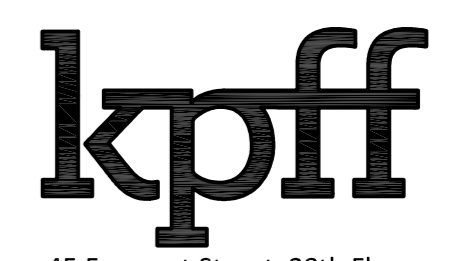
**LEGEND:**

- EXISTING
- PROPERTY LINE
- EXISTING CURB LINE
- CONCRETE SIDEWALK
- LANDSCAPE AREA
- ASPHALT CONCRETE PAVEMENT
- LANDSCAPE SEAT WALL

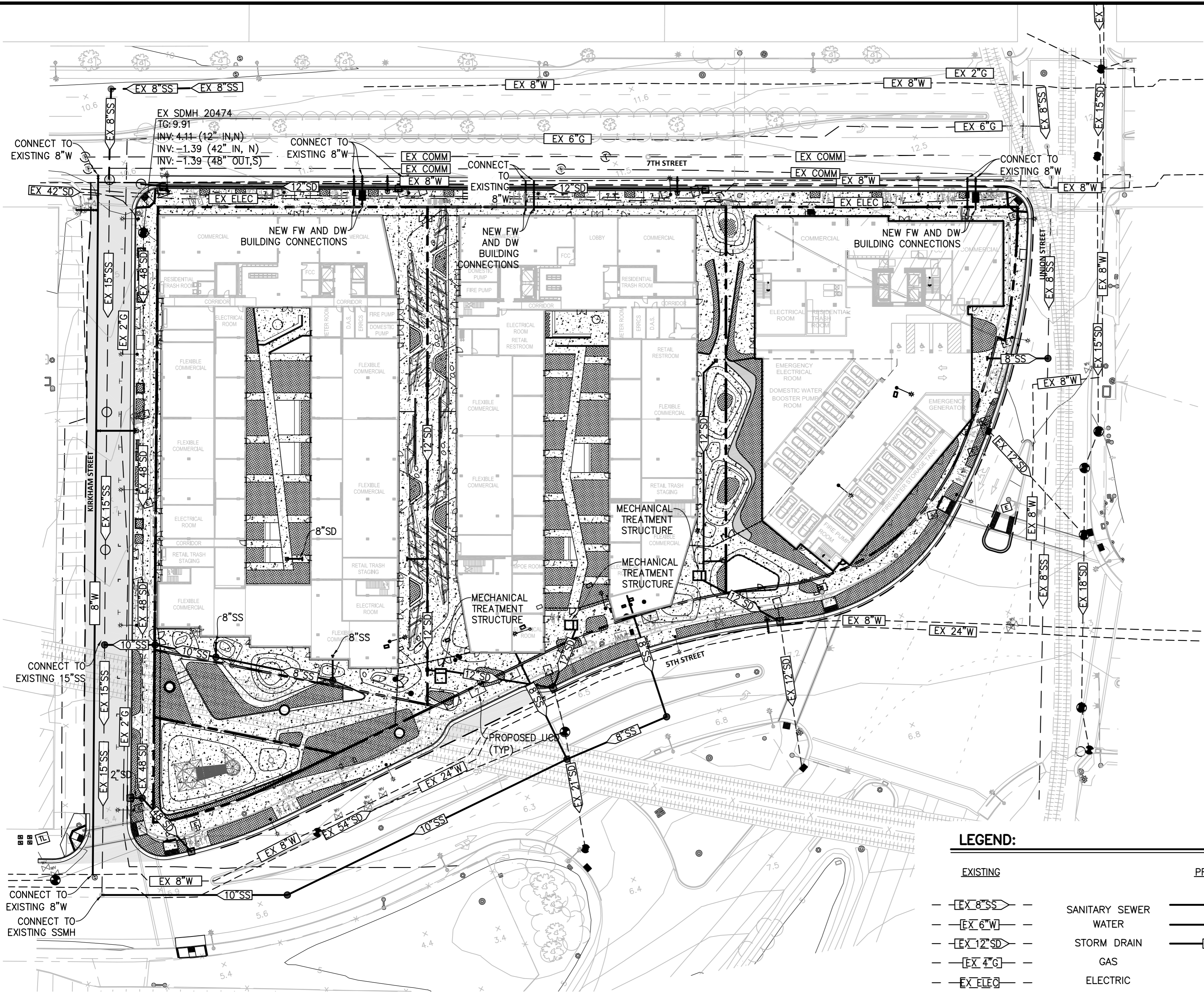


**SITE GRADING EXHIBIT**

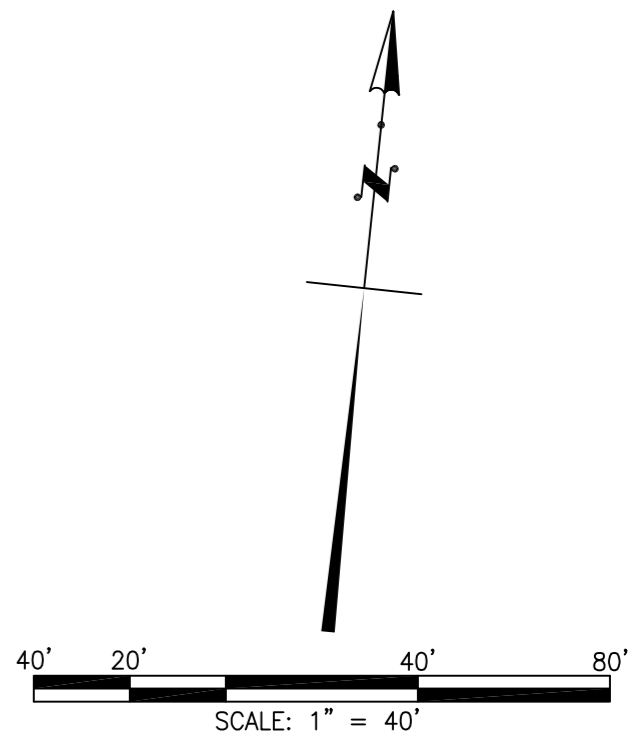
500 KIRKHAM



45 Fremont Street, 28th Floor  
 San Francisco, CA 94105  
 415.989.1004 | kpff.com



EX SDMH 20474  
 TC: 9.91  
 INV: 4.11 (12" IN, N)  
 INV: -1.39 (42" IN, N)  
 INV: -1.39 (48" OUT, S)

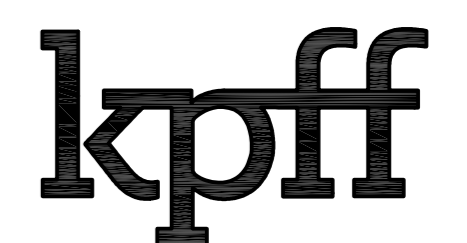


**LEGEND:**

EXISTING		PROPOSED	
— EX 8"SS —	SANITARY SEWER	— 8"SS —	
— EX 6"W —	WATER	— 6"W —	
— EX 12"SD —	STORM DRAIN	— 12"SD —	
— EX 4"G —	GAS		
— EX ELEC —	ELECTRIC		
— EX 6"FW —	FIRE WATER	— 6"FW —	
— EX COMM —	COMMUNICATION		

**SITE UTILITY EXHIBIT**

500 KIRKHAM



45 Fremont Street, 28th Floor  
 San Francisco, CA 94105  
 415.989.1004 | kpff.com

JOB NUMBER: 1700033

DATE: MAY 2, 2019



# 500 KIRKHAM

500 KIRKHAM STREET  
OAKLAND, CA 94607

REVISED PUD & FDP SUBMITTAL

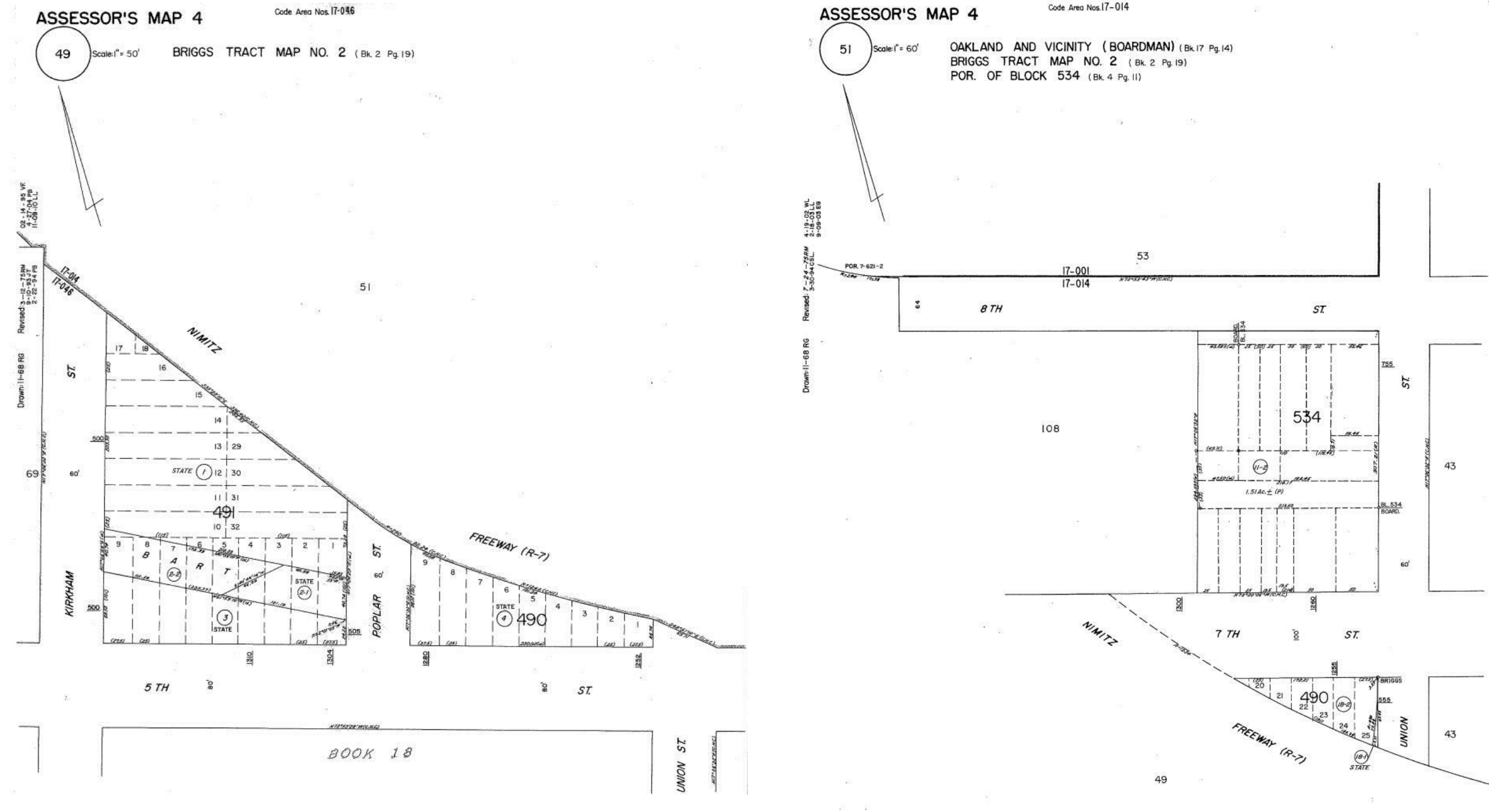
CITY OF OAKLAND PLANNING COMMISSION

CASE FILE NUMBER : PLN17428

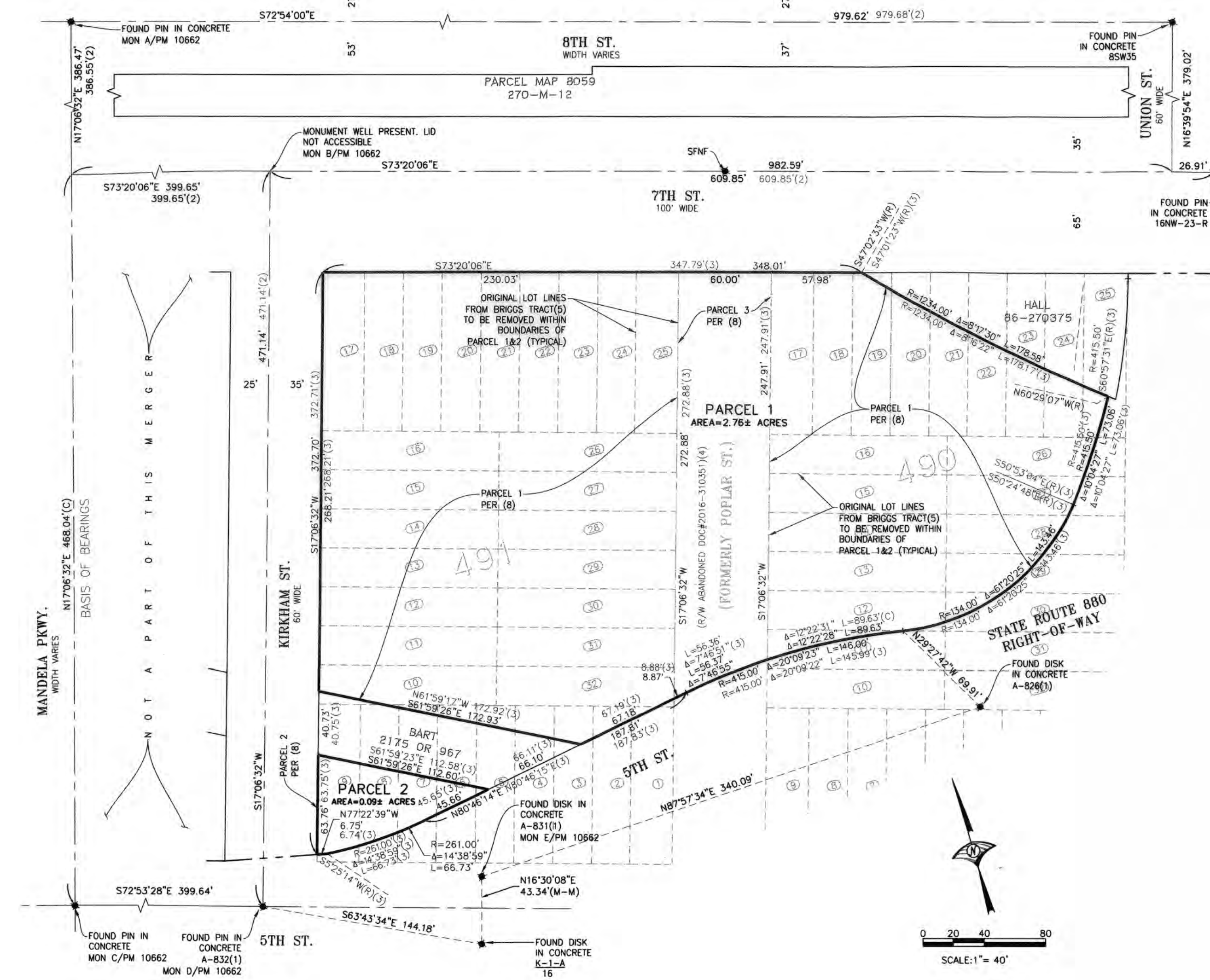
PUD NUMBER: PUDF07



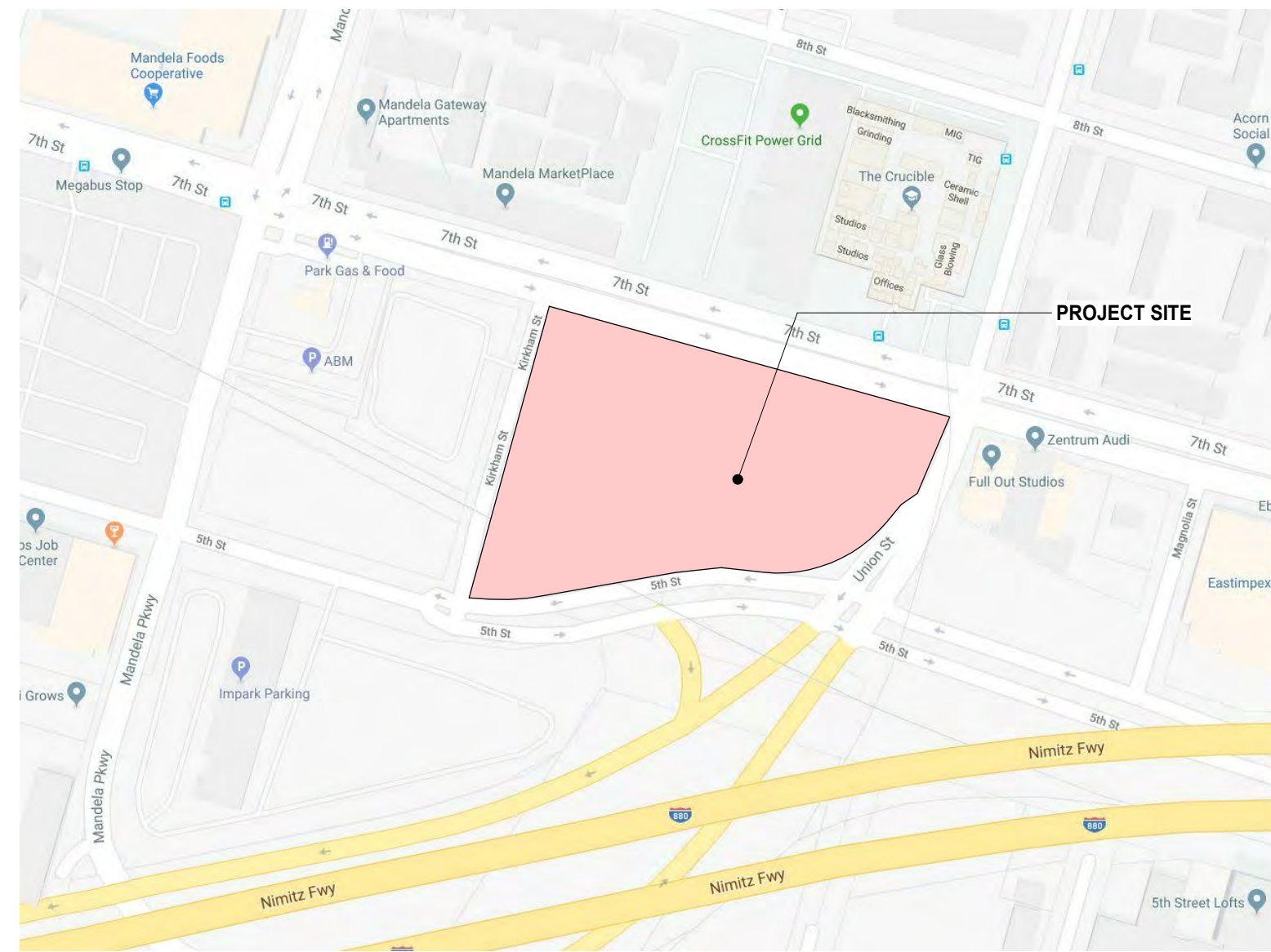
# ASSESSOR'S MAP



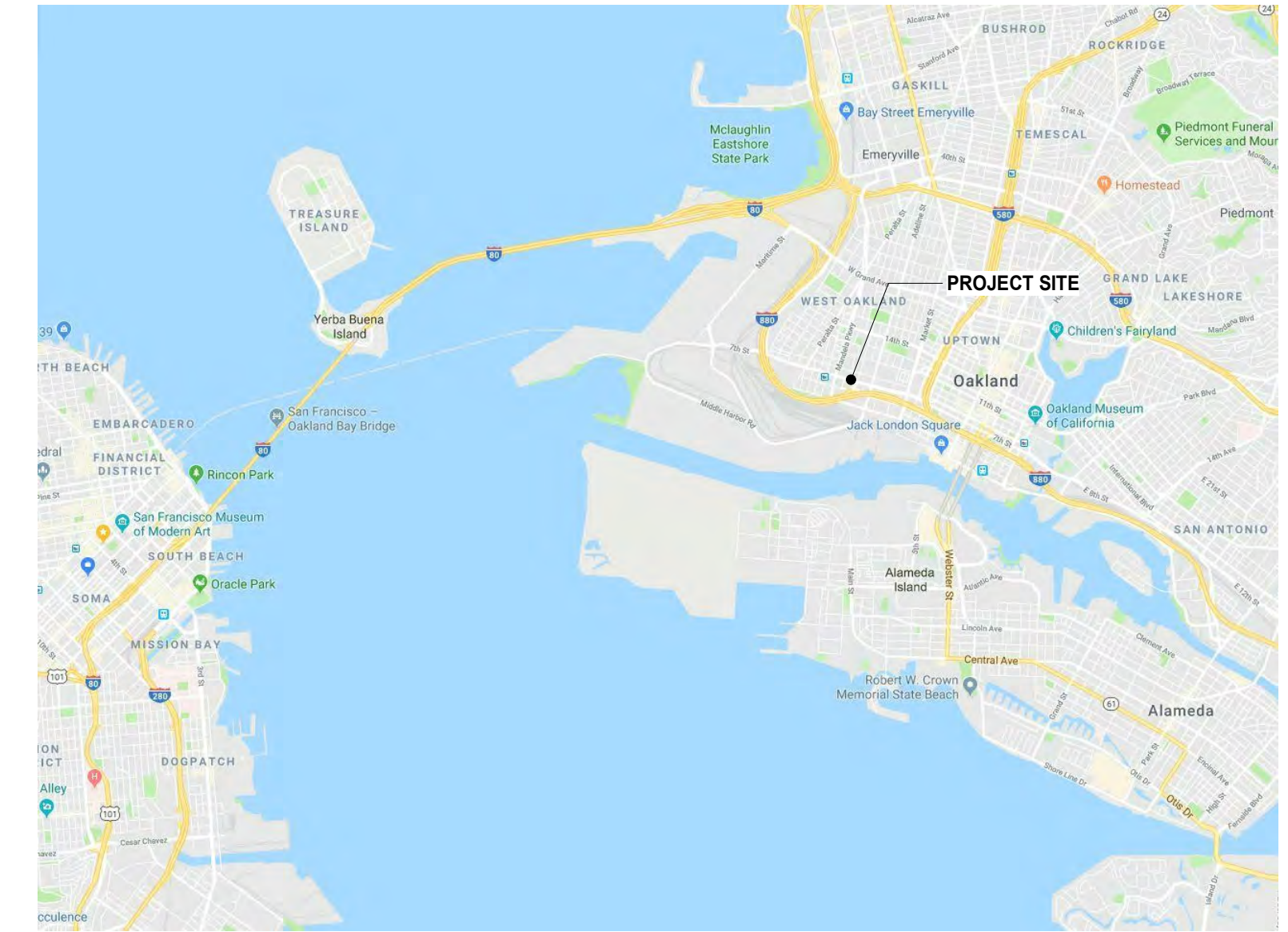
# PARCEL MAP



# VICINITY MAP



# SITE LOCATION MAP



# SHEET INDEX

<b>GENERAL</b>	G0.0 COVER SHEET	G0.1 PROJECT INFORMATION	G0.2 PROJECT INFORMATION	G0.3 PUD ZONING INFORMATION & DIAGRAMS	G0.4 EXISTING CONDITIONS	G0.5 EXISTING CONDITIONS	G1.0 GPR CHECKLIST	G1.1 TRASH MANAGEMENT PLAN	G1.2 SERVICE CIRCULATION DIAGRAM	L1.00 ILLUSTRATIVE LANDSCAPE PLAN	L2.00 LANDSCAPE PLANTING AND IRRIGATION																									
<b>CIVIL</b>	C0.1 GENERAL NOTES	C0.2 EXISTING CONDITIONS (FOR REFERENCE ONLY)	C1.1 DEMOLITION PLAN	C2.1 GRADING PLAN	C3.1 UTILITY PLAN	C4.1 STORMWATER CONTROL PLAN	C5.1 EROSION CONTROL PLAN	C6.1 DETAILS	C6.2 DETAILS	A2.7 BUILDING 3 ROOF PLAN	A3.0 NORTH ELEVATION	A3.1 EAST ELEVATION	A3.2 SOUTH ELEVATION	A3.3 WEST ELEVATION	A3.4 MATERIAL BOARD	A4.0 SITE SECTIONS	A4.1 SITE SECTIONS	A4.2 BUILDING 1 SECTIONS	A4.3 BUILDING 1 SECTIONS	A4.4 BUILDING 2 SECTIONS	A4.5 BUILDING 2 SECTIONS	A4.6 BUILDING 3 SECTIONS	A5.0 TYPICAL UNIT PLANS	A7.0 WALL SECTIONS AND DETAILS	A7.1 WALL SECTIONS AND DETAILS	A7.2 SIGNAGE PLAN DIAGRAM	A7.3 SIGNAGE ELEVATIONS	A8.0 RENDERINGS	A8.1 RENDERINGS	A8.2 RENDERINGS	A8.3 RENDERINGS	A8.4 RENDERINGS	A8.5 RENDERINGS	A8.6 RENDERINGS	A8.7 RENDERINGS	A8.8 RENDERINGS
<b>LANDSCAPE</b>	L1.01 ILLUSTRATIVE LANDSCAPE PLAN	L2.01 BUILDING 1 LANDSCAPE PLAN	L3.00 BUILDING 2 LANDSCAPE PLAN	L4.00 PEDESTRIAN PATHWAY WEST	L4.01 PEDESTRIAN PATHWAY EAST	L6.00 BUILDING 3 ROOFTOP LANDSCAPE PLAN	L7.00 PUBLIC REALM PLAN	L7.1 PUBLIC OPEN SPACE LANDSCAPE PLAN	L8.00 OVERHEAD CANOPY DESIGN	L8.1 OVERHEAD CANOPY DESIGN	L9.00 SITE SECTIONS	L9.1 SITE SECTION	L9.2 SITE SECTIONS	L10.00 TREE PRESERVATION PLAN	<b>LIGHTING</b>	LT.1 EXTERIOR LIGHTING PLAN	LT.2 EXTERIOR LIGHTING PLAN																			
<b>ARCHITECTURAL</b>	A0.0 PHASING DIAGRAMS	A0.1 BUILDING DELIVERY PHASING RENDERINGS	A0.2 LOADING DIAGRAM	A0.4 SITE SECURITY DIAGRAM	A1.0 EXISTING SITE PLAN	A1.3 SITE PLAN PHASE 3	A1.4 SITE PLAN PHASE 4	A1.5 OVERALL PLAN FLOOR 1	A2.0 BUILDING 1 FLOOR 1 & 2	A2.1 BUILDING 1 FLOOR 3 AND FLOORS 4-9	A2.2 BUILDING 1 ROOF	A2.3 BUILDING 2 FLOOR 1 & 2	A2.4 BUILDING 2 FLOOR 3-8 AND ROOF	A2.5 BUILDING 3 GROUND FLOOR & MEZZANINE	A2.6 BUILDING 3 FLOOR 2 - 8 & FLOOR 9 - 32																					

# PROJECT DIRECTORY

<b>DEVELOPER</b>	<b>PANORAMIC INTERESTS</b> 1321 MISSION STREET SAN FRANCISCO, CA 94103 ZAC SHORE 415.701.7002 ZAC@PANORAMIC.COM
<b>DESIGN ARCHITECT</b>	<b>SOLOMON CORDWELL BUENZ</b> 255 CALIFORNIA STREET SAN FRANCISCO, CA 94111 BEN WRIGLEY 415.701.7002 BEN.WRIGLEY@SCB.COM
<b>ARCHITECT OF RECORD</b>	<b>BDE ARCHITECTURE</b> 934 HOWARD STREET SAN FRANCISCO, CA 94103 JON ENNIS 415.677.0966 JENNIS@BDEARCH.COM
<b>LANDSCAPE ARCHITECT</b>	<b>ENWILLER KUEHL</b> 318 HARRISON STREET, SUITE 301 SAN FRANCISCO, CA 94103 SARAH KUEHL 510.891.1696 SARAH@ENWILLERKUEHL.COM
<b>URBAN DESIGN</b>	<b>SITELAB URBAN STUDIO</b> 156 2ND STREET SAN FRANCISCO, CA 94102 MICHEL ST PIERRE 425.741.1200 MSTPIERRE@SITELABURBANSTUDIO.COM
<b>CIVIL ENGINEER</b>	<b>KPFF ENGINEERS</b> 45 FREMONT STREET, 28TH FLOOR SAN FRANCISCO, CA 94105 CORY BANNON 415.989.1004 CORY.BANNON@KPFF.COM
<b>SURVEYOR</b>	<b>WOOD ROGERS</b> 4670 WILLOW DRIVE, SUITE 125 PLEASANTON, CA 94588 KARRIE MOSCA 925.847.1547 KMOSCA@WOODRODGERS.COM
<b>LIGHTING DESIGN</b>	<b>HLB LIGHTING</b> 300 BRANNAN STREET, SUITE 212 SAN FRANCISCO, CA 94107 ANDREW MOORE 415.348.8273 AMOORE@HLBLIGHTING.COM
<b>ACOUSTICS</b>	<b>CSDA DESIGN GROUP</b> 475 SANSOME ST, SUITE 800 SAN FRANCISCO, CA 94111 415.693.9800

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

# PROJECT INFORMATION

## PROJECT DESCRIPTION & ZONING SUMMARY

### PROJECT DESCRIPTION

The project envisions creating a transit village in the heart of West Oakland. The site is located at a critical junction in Oakland. By location, it would work as a bridge between West Oakland and Downtown Oakland. The massing strategies for the project are a direct response to the West Oakland Specific Plan identifying 500 Kirkham as an "opportunity site" for high density housing. The project offers 1,032 rental apartments and tens of thousands of square feet of commercial space which will create much needed retail and essential services for residents and members of the community alike.

The taller portion of the project is located to relate to Downtown Oakland and Oakland as a whole. The iconic high-rise building is oriented facing 7th Street to reinforce the role of the street as an important boulevard in the district. Moving South-West, the massing steps down to the South-West and creates mid-rise buildings that relate to the industrial past of West Oakland. The Site is intersected by pedestrian alleys, oriented North-South, inviting the neighborhood in to partake in ground floor activities. These pedestrian alleys more than double the retail and flex space frontage of the project, with the goal of activating the ground floor and creating much needed essential services for all residents of the surrounding community. The longer and Western most alley is envisioned as very active, while the Eastern alley will be more passive offering places for families to spend time and access services. The project embraces the opportunity to bring the community into the project site through ample art offerings along 5th street, connected by the two public pedestrian alleys allowing for circulation and connectivity.

### ZONING SUMMARY

	S-15W ZONE REQUIREMENT	PUD REQUIREMENT /WAIVER*	STATE DENSITY BONUS BONUS CONCESSION/ WAIVER	PROPOSED PROJECT
<b>MINIMUM LOT AREA</b>	4,000 SF	60,000 SF	--	137,389 SF (3.15 ACRES)
<b>MINIMUM LOT WIDTH AND FRONTAGE</b>	25 FT	--	--	372 - 520 FT
<b>MAXIMUM RESIDENTIAL DENSITY</b>	611 UNITS (225 SF LOT AREA/UNIT)	764 UNITS (+25% BONUS)	1,032 UNITS (+35% BONUS)	1,032 UNITS
<b>MAXIMUM BUILDING HEIGHT</b>	160 FT 75 FT WITHIN 10 FT OF PRINCIPAL ST	75 FT HEIGHT LIMIT WAIVED	338 FT WITH CONCESSION	84 FT 4 IN (BUILDING 1) 84 FT 4 IN (BUILDING 2) 338 FT 0 IN (BUILDING 3)
<b>USABLE OPEN SPACE</b>	206,400 SF (200 SF/DWELLING UNIT)	77,400 SF (75 SF/DU; 15 SF/DU MIN GROUP OS WHEN SUBSTITUTING PRIVATE OPEN SPACE)	WAIVER	27,025 S.F. (67,113 S.F. TOTAL, INCL'D 40,088 S.F. PUBLIC OPEN SPACE)
<b>SETBACKS</b>				
<b>FRONT</b>	0 FT	0 FT	N/A	0 FT TO 5.0 FT
<b>INTERIOR SIDE</b>	0 FT	0 FT	N/A	VARIES
<b>STREET SIDE</b>	0 FT	0 FT	N/A	0 FT
<b>REAR</b>	10 FT	10 FT REAR SETBACK WAIVED	N/A	0 FT TO 16.0 FT
<b>RESIDENTIAL OFF-STREET PARKING REQUIREMENT</b>	258 SPACES (0.5 SPACES/DWELLING UNIT +50% REDUCTION FOR TDM MEASURES**)	--	CONCESSION	59 SPACES
<b>COMMERCIAL OFF-STREET PARKING</b>	0 SPACES	--	--	0 SPACES
<b>RESIDENTIAL LOADING BERTH</b>	1 SPACE	--	--	1 SPACE (BUILDING 1)
<b>COMMERCIAL LOADING BERTH</b>	1 SPACE	--	--	1 SPACE (BUILDING 3)
<b>BICYCLE PARKING</b>				
<b>RESIDENTIAL SHORT TERM</b>	1 SPACE PER 20 DWELLING UNITS (52 BIKE SPACES)	--	--	64 BIKE SPACES
<b>RESIDENTIAL LONG TERM</b>	1 SPACE PER 4 DWELLING UNITS (258 BIKE SPACES)	--	--	621 BIKE SPACES
<b>COMMERCIAL SHORT TERM</b>	1 SPACE PER 2,000 SF	--	--	38 BIKE SPACES
<b>COMMERCIAL LONG TERM</b>	1 SPACE PER 12,000 SF	--	--	5 BIKE SPACES

\* PER OAKLAND PLANNING CODE SECTION 17.142.100, CERTAIN DEVELOPMENT REQUIREMENTS MAY BE WAIVED FOR THE PURPOSE OF PROMOTING AN INTEGRATED SITE PLAN

\*\* PER OAKLAND PLANNING CODE SECTION 17.116.100.C, PARKING REQUIREMENTS MAY BE REDUCED BY UP TO 50% IF THE PROJECT IMPLEMENTS CERTAIN DEMAND MANAGEMENT MEASURES

**NOTE 1:** REFER TO SUPPLEMENTAL FINDINGS DOCUMENT FOR ADDITIONAL INFORMATION

**NOTE 2:** PROJECT WILL PROVIDE 8 CAR SHARE SPACES TOTAL. DURING PHASES II THROUGH IV, SIX SPACES WILL BE ON-SITE OR ON A NEIGHBORING SITE (DURING CONSTRUCTION OF PHASE IV), TWO SPACES WILL BE STREET PARKING, EXACT LOCATIONS TBD BY INTERDEPARTMENTAL CITY REVIEW.

**NOTE 3:** FROM COMPLETION OF PHASE II UNTIL CONSTRUCTION OF PHASE IV, 59 TEMPORARY SPACES WILL BE PROVIDED ON-SITE. DURING CONSTRUCTION OF PHASE IV, 59 TEMPORARY SPACES WILL BE PROVIDED OFF-SITE LOCATED AT 1357 5TH STREET ADJACENT TO THE PROJECT SITE. 59 PERMANENT PARKING SPACES WILL BE PROVIDED IN THE GARAGE OF THE TOWER AFTER COMPLETION OF CONSTRUCTION

**NOTE 4:** TOTAL OF 10% EV PARKING PROVIDED IN BUILDING 3 PARKING GARAGE.

### LAND USE AREA TABLE

RESIDENTIAL	902,476 S.F.
COMMERCIAL / FLEXIBLE COMMERCIAL	35,017 S.F.
PARKING	9,030 S.F.
OPEN SPACE	67,113 S.F.

## PROJECT SUMMARY

	BUILDING 1	BUILDING 2	BUILDING 3	PROJECT
<b>BUILDING INFORMATION</b>				
NUMBER OF STORIES	9	8	32	
HEIGHT	84'-4"	84'-4"	338'-4"	
CONSTRUCTION TYPE	IB	IB	IA	
SPRINKLERED	YES	YES	YES	
OCCUPANCY	R2	R2	R2	
FOOTPRINT AREA	30,777 S.F.	28,391 S.F.	24,289 S.F.	83,751 S.F.

RESIDENTIAL OPEN SPACE				
GROUP USABLE OPEN SPACE				
ROOFTOP	1,632 S.F. (AT FLOOR 3)		6,584 S.F.	8,216 S.F.
PODIUM			3,986 S.F.	3,986 S.F.
COURTYARD	6,917 S.F.	7,006 S.F.		13,923 S.F.
PRIVATE OPEN SPACE	900 S.F.			900 S.F.
<b>TOTAL</b>	<b>9,449 S.F.</b>	<b>7,006 S.F.</b>	<b>10,570 S.F.</b>	<b>27,025 S.F.</b>

PUBLIC OPEN SPACE & PEDESTRIAN PATHWAYS		
WEST PEDESTRIAN PATHWAYS (ALLEY)		10,086 S.F.
EAST PEDESTRIAN PATHWAY (ALLEY)		6,792 S.F.
UNDER BART PARK AREA		11,536 S.F.
MISCELLANEOUS PUBLIC OPEN SPACE		11,674 S.F.
<b>TOTAL</b>		<b>40,088 S.F.</b>

PARKING				
TEMPORARY RESIDENTIAL (DURING PHASE II & III AND PHASE IV CONSTRUCTION)	0	0	59 SPACES (ADJACENT TO LOT DURING PHASE IV CONSTRUCTION)	
PERMANENT RESIDENTIAL	0	0	59 SPACES	59 SPACES

BICYCLE PARKING				
RESIDENTIAL - LONG TERM	240	207	174	621
RESIDENTIAL - SHORT TERM	24	16	24	64
COMMERCIAL - LONG TERM	1	2	2	5
COMMERCIAL - SHORT TERM	10	20	8	38

### PUD CALCULATIONS

#### A. Estimated Poplations:

ESTIMATED POPULATION WOULD BE 2,585 PEOPLE (BASED ON 1 OCCUPANT PER BEDROOM IN ALL UNITS) AND 2,570 PEOPLE (BASED ON AN AVERAGE OF 249 PEOPLE PER HOUSEHOLD PER THE CITY OF OAKLAND 2010 CENSUS)

#### B. Land Area to be devoted to various uses:

**RESIDENTIAL** (Includes Residential, Lobbies, Circulation, Utilities, and Bike Room)

**COMMERCIAL** (Includes Commercial and Flex Commercial)

**PARKING** (Garage Parking)

**OPEN SPACE**

1) **Group Useable O.S.** (Roof, Podium, Courtyards)

2) **Community Gathering Space** (Alley/Pathways)

3) **Public Open Space** (Park Under/South BART)

#### C. Average Residential Density per net acre (excluding dedicated street)

THE TOTAL NUMBER OF PROPOSED UNITS IS 1,032; THE NET ACRERAGE IS 3.15 ACRES

#### D. Average residential density per net residential acre (exclude dedicated street) and land in uses other than related recreation, circulation and open space

THE TOTAL NUMBER OF PROPOSED UNITS IS 1,032 THE NET RESIDENTIAL ACREAGE IS 1.4 ACRES. THE NET RESIDENTIAL DENSITY IS 737 DU/AC.

## PROJECT STATISTICS

### PROJECT AREA AND STATISTICS

#### CONSTRUCTION TYPE

BUILDING 1 - TYPE IB, 9 FLOORS  
BUILDING 2 - TYPE IB, 8 FLOORS  
BUILDING 3 - TYPE IA, 32 FLOORS OVER PARKING GARAGE

#### DWELLING UNIT COUNT

UNIT TYPE	UNIT SQ FT	BUILDING 1	BUILDING 2	BUILDING 3	PROJECT
<b>1 BR</b>	420	7	0	28	35
<i>BMR #</i>					3
<b>2 BR</b>	425	129	125		254
<i>BMR #</i>					21
<b>2 BR SUITE</b>	660	126	102	242	470
<i>BMR #</i>					38
<b>3 BR</b>	600	7	14	0	21
<i>BMR #</i>					2
<b>4 BR</b>	665	42	24	155	221
<i>BMR #</i>					18
<b>5 BR</b>	880	0	0	31	31
<i>BMR #</i>					2
<b>TOTAL</b>		<b>311</b>	<b>265</b>	<b>456</b>	<b>1,032</b>

\* Below Market Rate Housing Units 11% of Base Project to be evenly distributed throughout the Building

#### AFFORDABLE HOUSING UNITS BY BUILDING DELIVERY

PROJECT PHASE	BUILDING 1	BUILDING 2	BUILDING 3	PROJECT
<b>PHASE 2</b>	<b>25 Units</b>			
<b>PHASE 3</b>	<b>22 Units</b>			
<b>PHASE 4</b>	<b>37 Units</b>			
<b>TOTAL</b>	<b>84 Units</b>			

#### NET SELLABLE AREA BY FLOOR

##### NET SELLABLE AREA BY FLOOR

Calculation from Outside Face of corridor, Centerline of Demising Wall, Outside face of Sheathing/Glass, excluding balconies and decks

FLOOR	BUILDING 1	BUILDING 2	BUILDING 3	PROJECT
FLOOR 1	5,580	5,654	0	
MEZZANINE	n/a	n/a	0	
FLOOR 2	6,262	6,991	16,662	
FLOOR 3	25,298	23,871	16,983	
FLOOR 4	25,495	23,871	16,983	
FLOOR 5	25,495	23,871	16,983	
FLOOR 6	25,495	23,871	16,983	
FLOOR 7	25,495	23,871	16,983	
FLOOR 8	25,495	23,871	16,933	
FLOOR 9	25,495			
FLOORS 9-32 (BUILDING 3)			229,128	
<b>TOTAL</b>	<b>190,110</b>	<b>155,871</b>	<b>347,638</b>	<b>693,619</b>

#### GROSS AREA BY FLOOR

##### RESIDENTIAL GROSS AREA BY FLOOR

(Includes Residential Units, Utilities, Laundry, Storage & Bike Parking Storage)

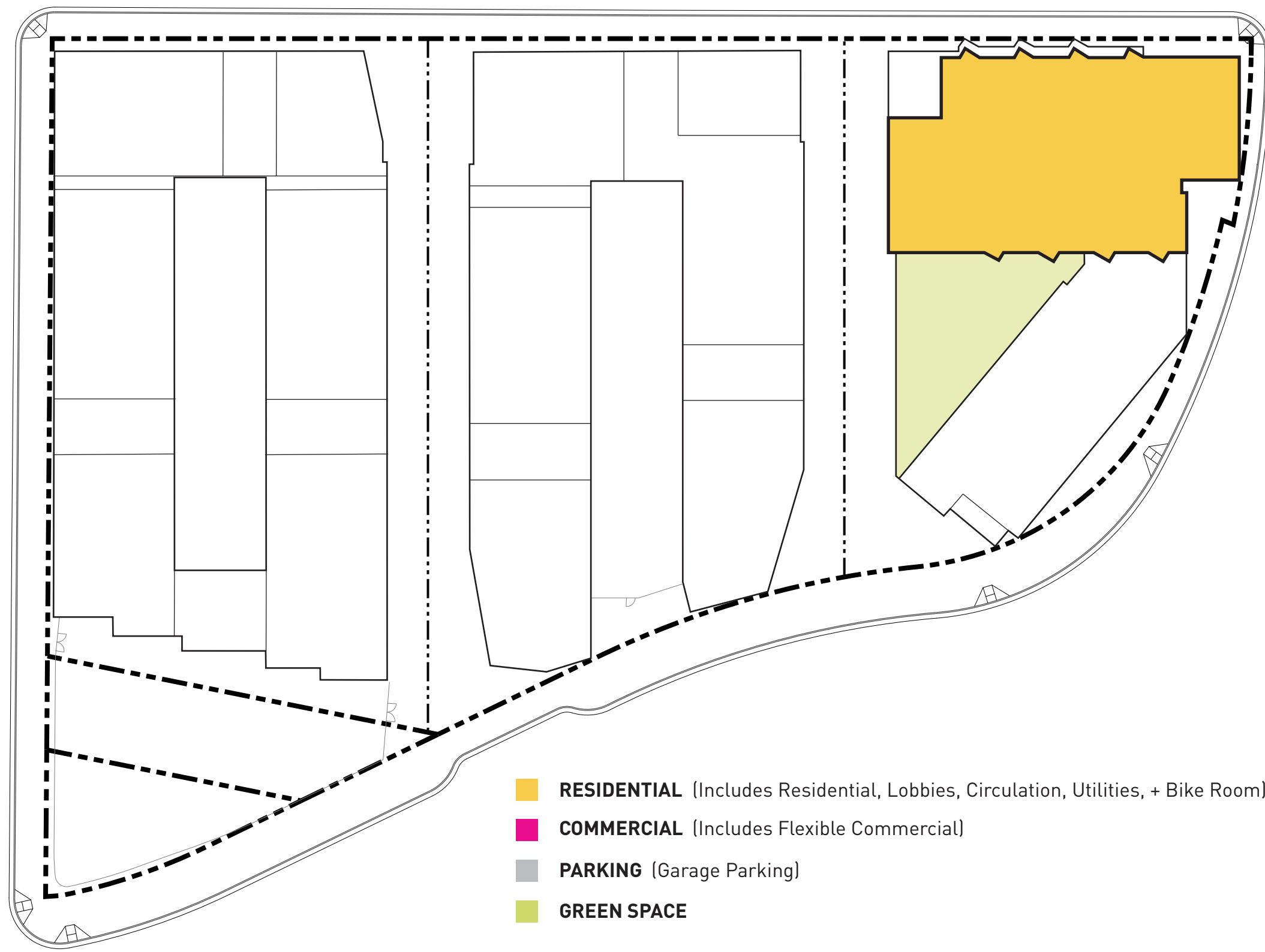
FLOOR	BUILDING 1	BUILDING 2	BUILDING 3	PROJECT
FLOOR 1	12,021	12,036	11,610	
MEZZANINE	n/a	n/a	9,670	
FLOOR 2	13,623	13,703	20,512	
FLOOR 3	30,156	29,115	20,563	
FLOOR 4	30,156	29,115	20,563	
FLOOR 5	30,156	29,115	20,563	
FLOOR 6	30,156	29,115	20,563	
FLOOR 7	30,156	29,115	20,563	
FLOOR 8	30,156	29,115	20,512	
FLOOR 9	30,156			
FLOORS 9-32 (BUILDING 3)			288,288	
<b>TOTAL</b>	<b>236,736</b>	<b>200,429</b>	<b>453,407</b>	<b>890,572</b>

#### RESIDENTIAL AMENITY, COMMERCIAL & FLEXIBLE COMMERCIAL GROSS AREA BY BUILDING

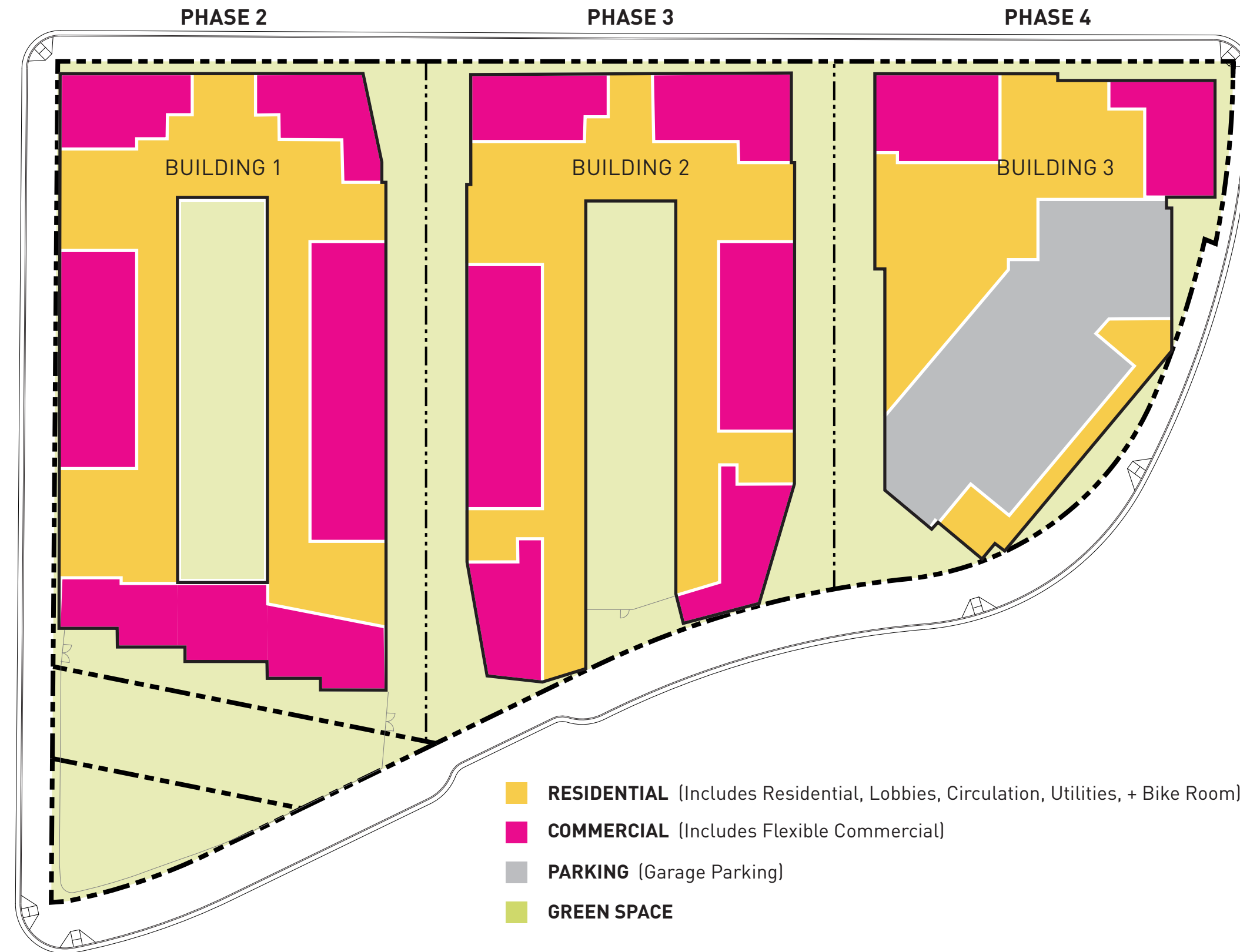
<b>RESIDENTIAL AMENITY</b>	2,551	2,526	4,814	9,891
<b>COMMERCIAL</b>	3,660	3,624	3,650	10,934
<b>FLEXIBLE COMMERCIAL</b> (incl' Trash Staging)	13,296	10,821		24,117
<b>PARKING GARAGE</b>			9,030	9,030

<b>GROSS SQUARE AREA TOTAL</b>	<b>256,243</b>	<b>217,400</b>	<b>470,901</b>	<b>944,544</b>
--------------------------------	----------------	----------------	----------------	----------------

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



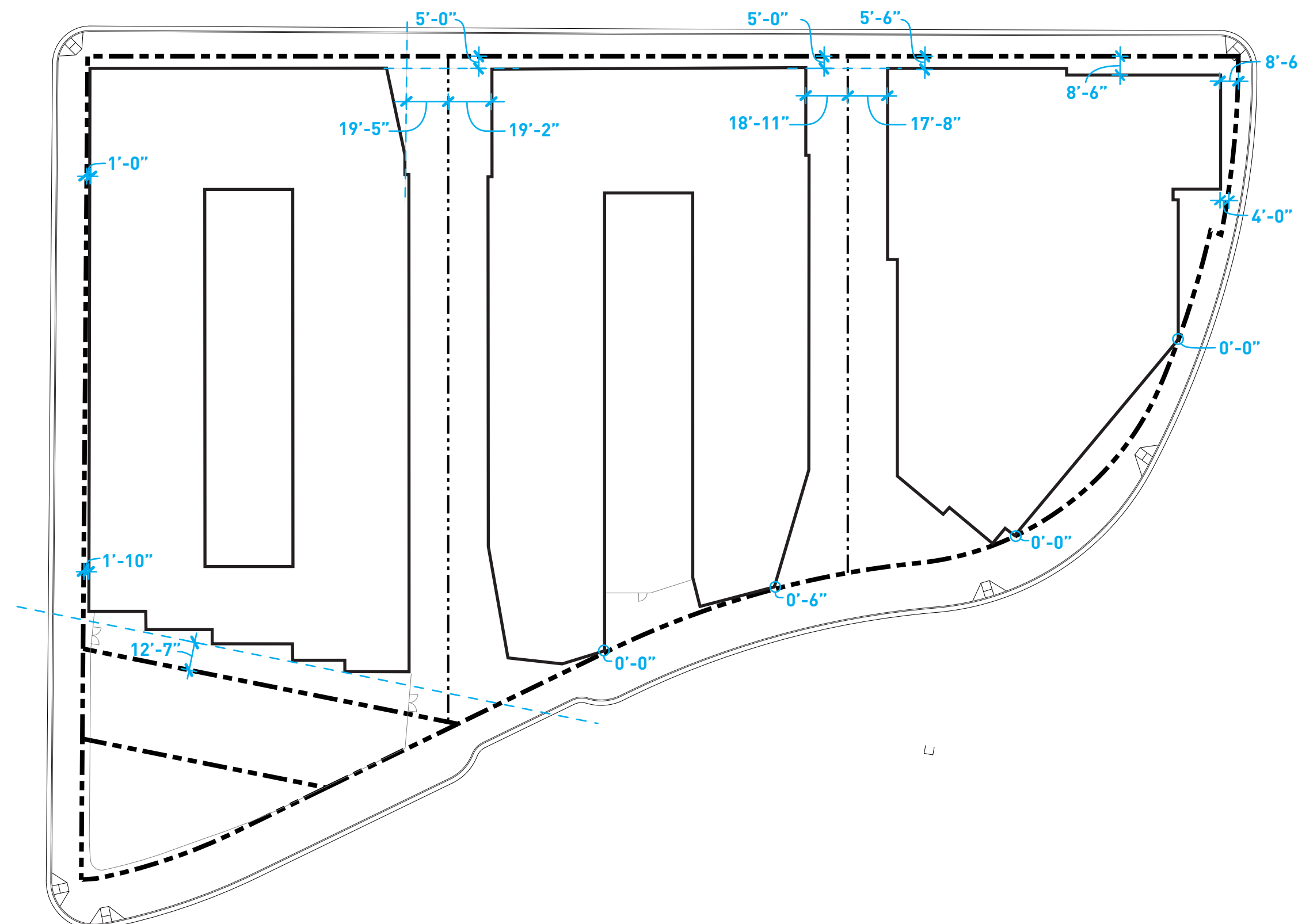
7 BUILDING USE - LEVELS 9 - 32  
SCALE: 1" = 50'



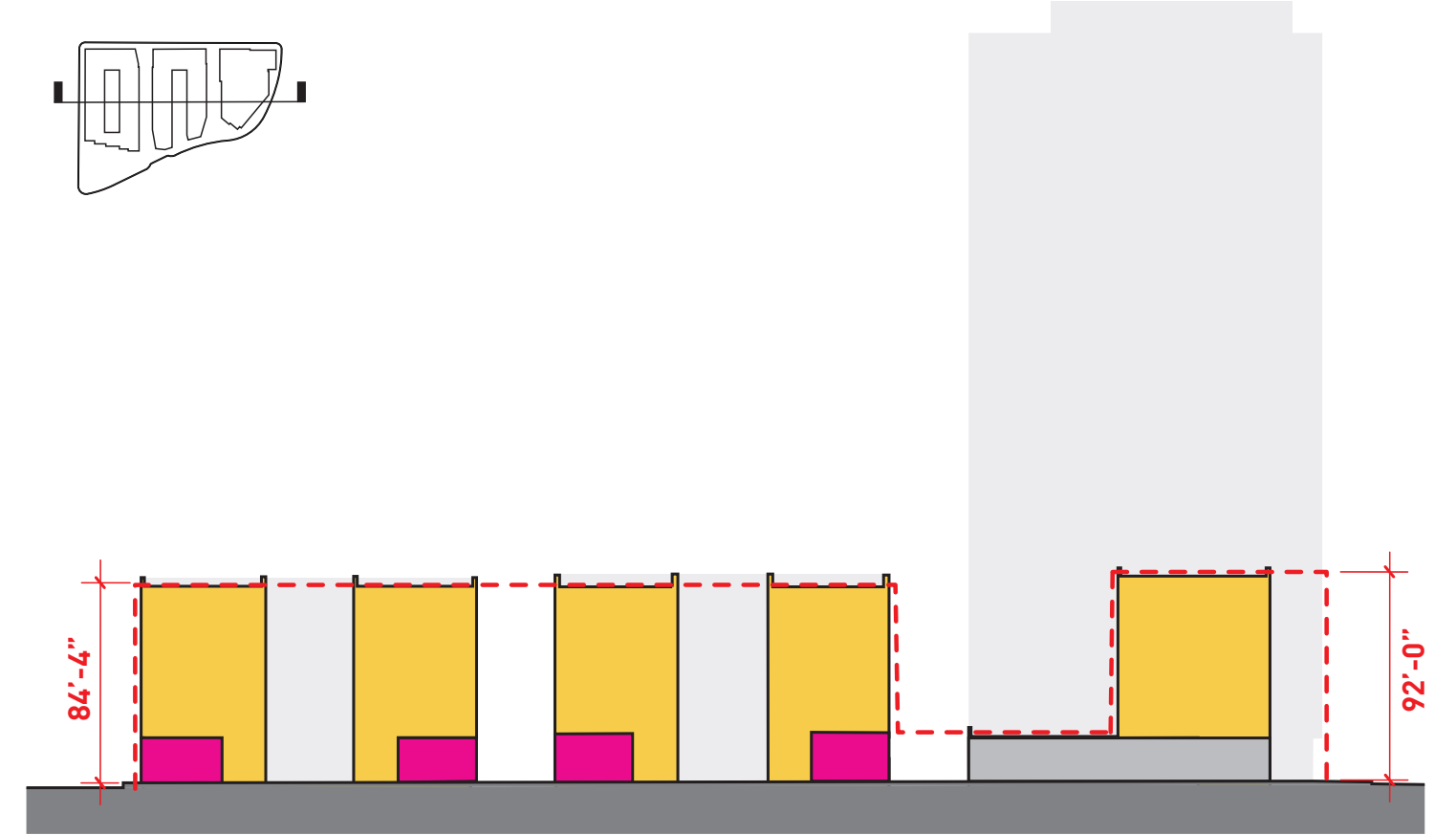
5 BUILDING USE - GROUND LEVEL  
SCALE: 1" = 50'



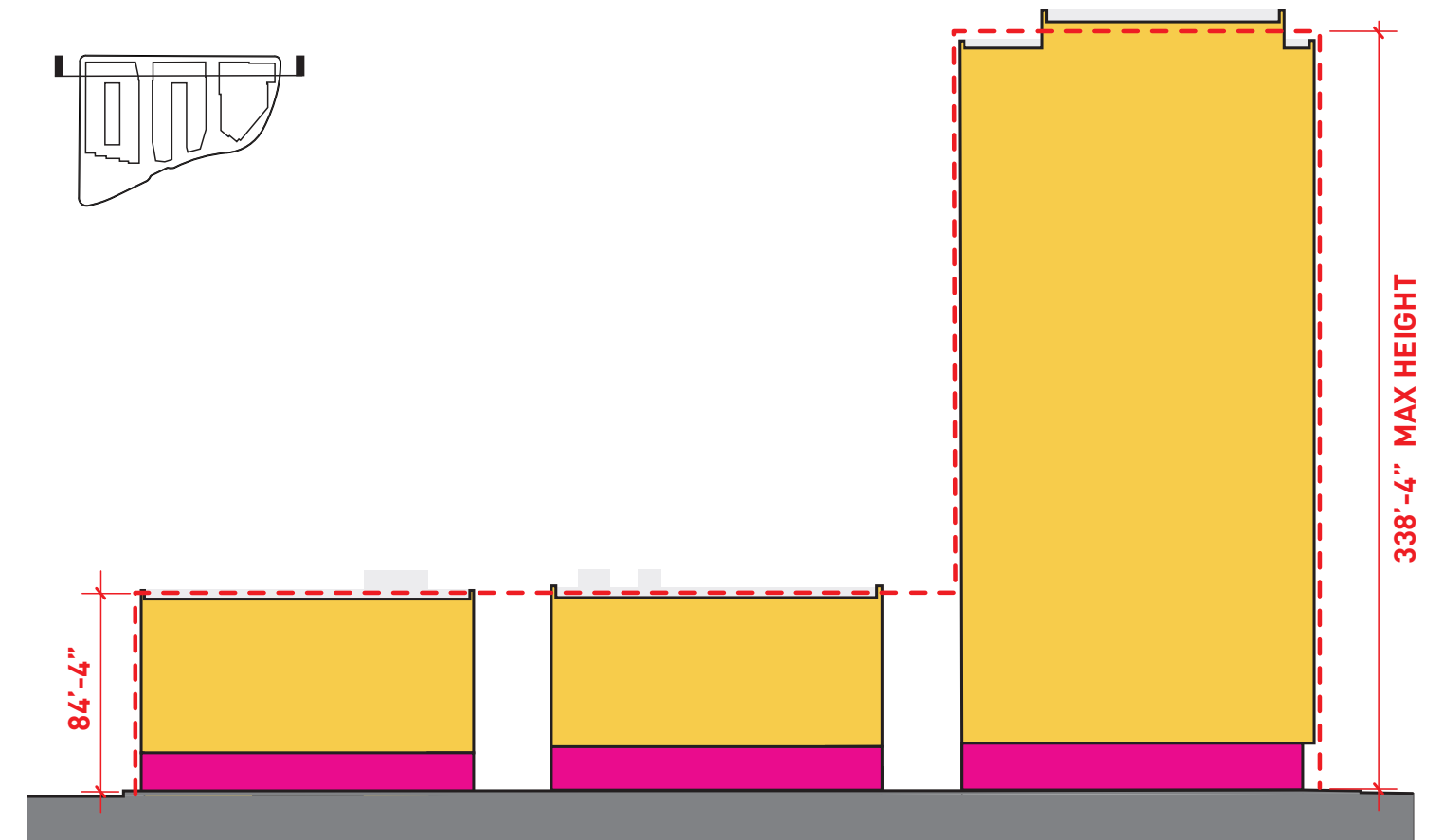
6 BUILDING USE - LEVELS 2 - 8  
SCALE: 1" = 50'



4 SITE PLAN  
SCALE: 1" = 50'

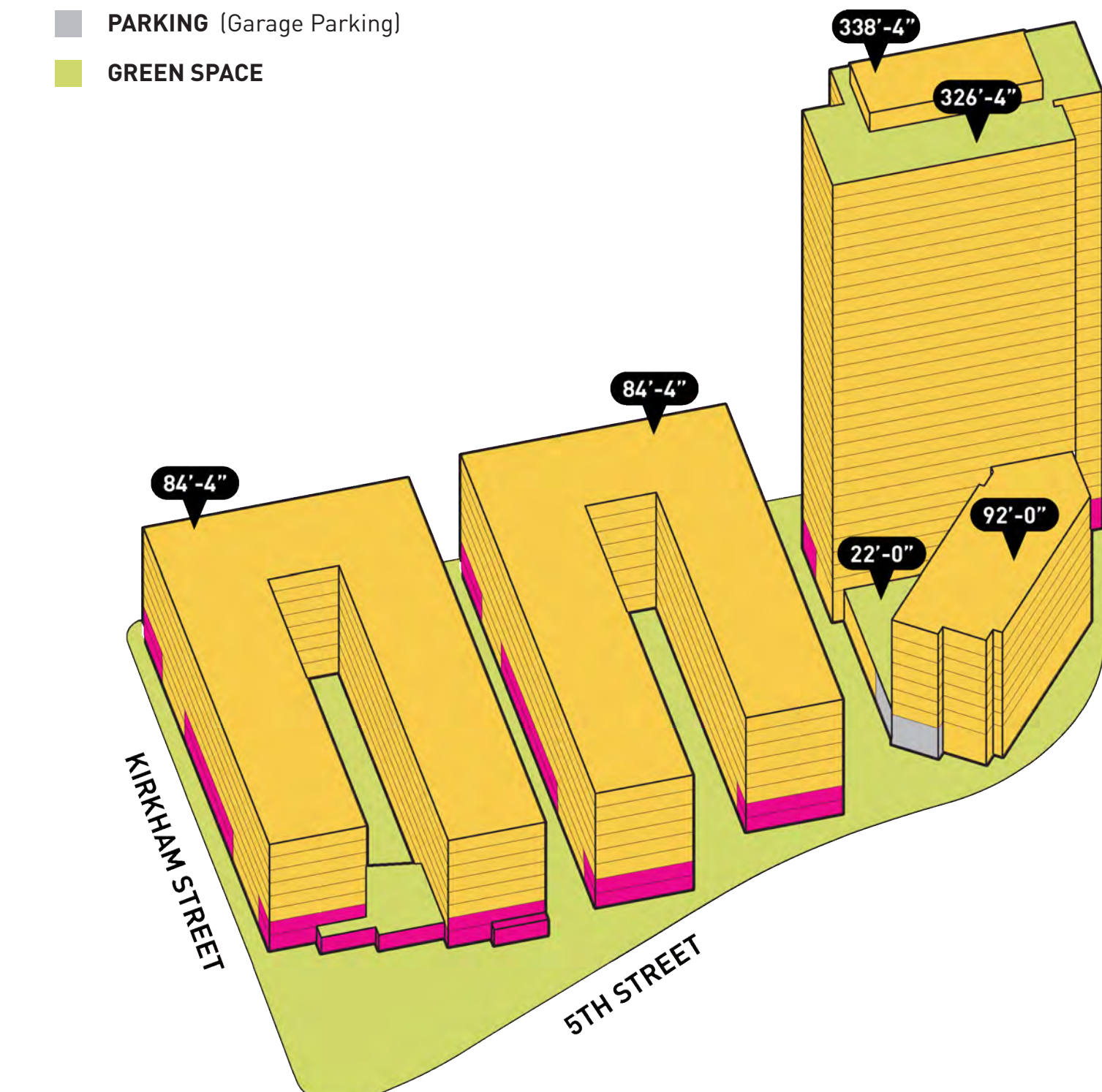


3 ZONING HEIGHT DIAGRAM B WITH SCHEMATIC LAND USE  
SCALE: NTS



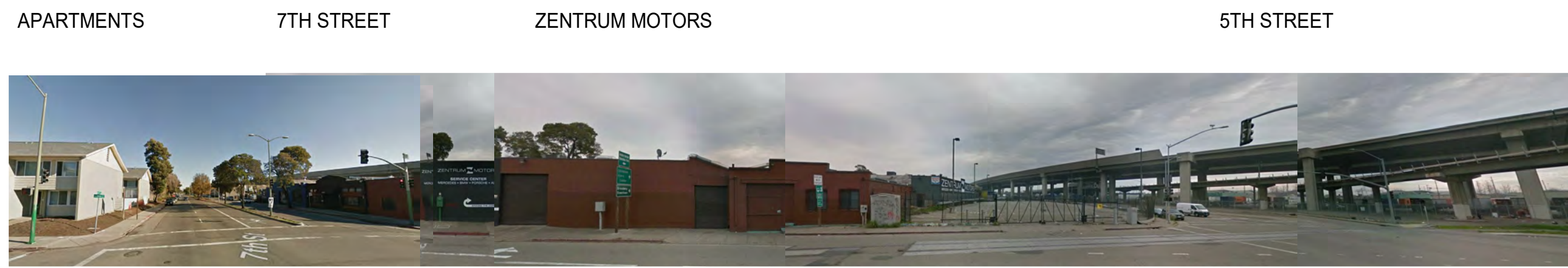
2 ZONING HEIGHT DIAGRAM A WITH SCHEMATIC LAND USE  
SCALE: NTS

- RESIDENTIAL (Includes Residential, Lobbies, Circulation, Utilities, + Bike Room)
- COMMERCIAL (Includes Flexible Commercial)
- PARKING (Garage Parking)
- GREEN SPACE

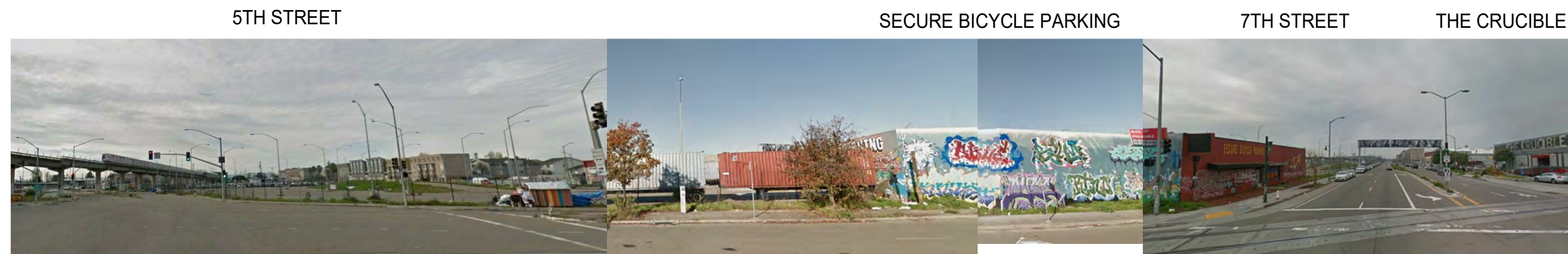


1 AXON ZONING DIAGRAM

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



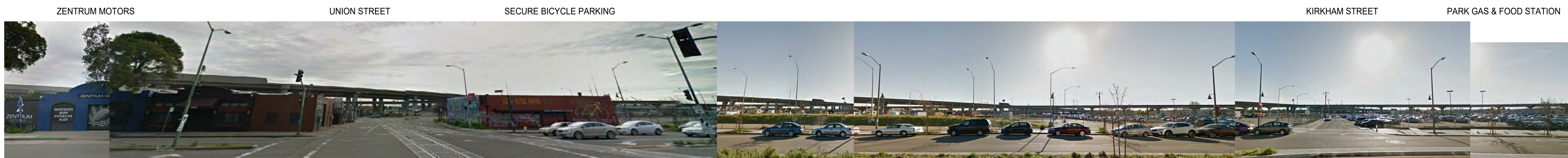
UNION STREET - LOOKING EAST ①



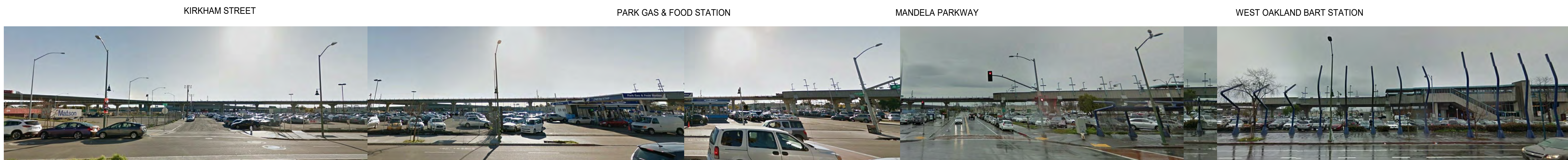
UNION STREET - LOOKING WEST ②



7TH STREET - LOOKING NORTH ③



7TH STREET - LOOKING SOUTH ④



7TH STREET - LOOKING SOUTH ⑤



Predominance of large surface parking lots

Kirkham Street

KIRKHAM STREET

11



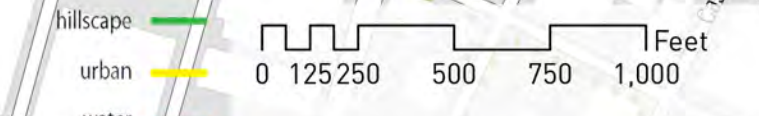
No active frontage

Numerous vacant lots

7th Street

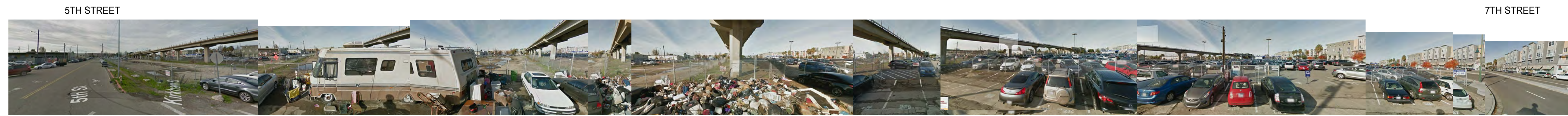
7TH STREET

12



KIRKHAM STREET - LOOKING EAST

6



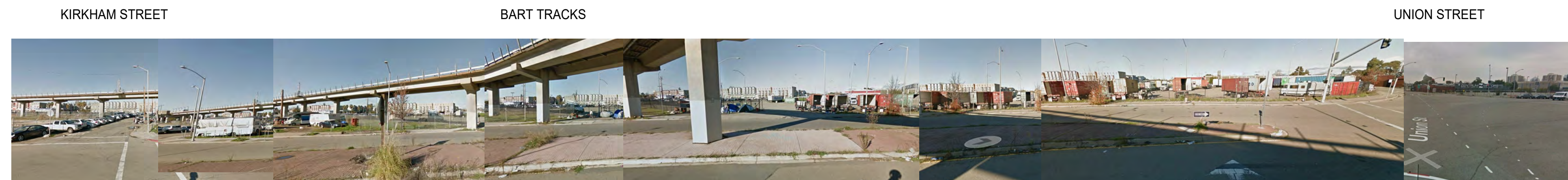
KIRKHAM STREET - LOOKING WEST

7



5TH STREET - LOOKING SOUTH

8



5TH STREET - LOOKING NORTH

9



7TH STREET - LOOKING NORTH (CONT.)

10

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

EXISTING CONDITIONS

Green Building Compliance Standards Table Beginning July 1, 2014

Project	Threshold	Checklist	Requirements	Review	Condition of Project Approval	Compliance Verification
Multi-Family Dwellings 3+ Units	Any Size	• Build It Green: Multi-Family GPR**	• Completed GPR checklist • Pre-requisites except J5.1: Building Performance Exceeds Title 24, Part 6 and any cool roof requirements • Minimum 23 points (3 Community; 6 IAQ/Health; 6 Resources; 8 Water) • CALGreen mandatory measures for residential new construction • Green Building Compliance Verification (GreenPoint Rater)	After intake, during case file review	Yes	• GreenPoint Rater signature • Planning and Zoning to verify per COA during plan check • Building Services to verify at CO



**NEW HOME RATING SYSTEM, VERSION 7.0**

**Blueprint Scoresheet**

500 Kirkham		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	Responsible Party	Blueprint Page No.
<b>CALGreen</b>			Possible Points						
Yes	CALGreen Res (REQUIRED)	4		1	1	1	1		
<b>A. SITE</b>									
Yes	A2. Job Site Construction Waste Diversion A2.1 75% C&D Waste Diversion (Including Alternative Daily Cover)	2				2			
<b>C. LANDSCAPE</b>									
Yes	C4. Minimal Turf in Landscape C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	2					2		
<b>E. EXTERIOR</b>									
Yes	E5. Durable Roofing Materials E5.1 Durable and Fire Resistant Roofing Materials or Assembly E5.2 Roofing Warranty for Shingle Roofing	1				1			
<b>F. INSULATION</b>									
Yes	F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions F2.1 Walls and Floors F2.2 Ceilings	1			1				
<b>G. PLUMBING</b>									
1.28 gpf	G2. Install Water-Efficient Fixtures G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 600 Grams 1.28gpf OR 1.1 gpf	1					2		
<b>H. HEATING, VENTILATION, AND AIR CONDITIONING</b>									
Yes	H1. Sealed Combustion Units H1.2 Sealed Combustion Water Heater H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality H6.1 Meet ASHRAE Standard 62.2-2010 Ventilation Residential Standards	2			2				
<b>J. BUILDING PERFORMANCE AND TESTING</b>									
Option 1: Compliance Over Title 24	J5. Building Performance Exceeds Title 24 Part 6 J5.1 Home Outperforms Title 24	0		30+					
<b>L. FLOORING</b>									
≥25%	L2. LowEmitting Flooring Meets CDPH 2010 Standard Method—Residential	1			3				
<b>M. APPLIANCES AND LIGHTING</b>									
Yes	M1. ENERGY STAR® Dishwasher M7. Central Laundry	1					1		
<b>N. COMMUNITY</b>									
Yes	N1. Smart Development N1.1 Infill Site N1.5 Home Size Efficiency Enter the area of the home, in square feet Enter the number of bedrooms	2	1			1			
800		9				9			
2									
Yes	N2. Home(s)/Development Located Near Transit N2.2. Within 1/2 mile of a Major Transit Stop	2	2						
Yes	N3. Pedestrian and Bicycle Access N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services Enter the number of Tier 1 services Enter the number of Tier 2 services	2	2						
8									
8									
Yes	N3.5 Bicycle Storage for Residents	1	1						
Yes	N4. Outdoor Gathering Places N4.1 Public or Semi-Public Outdoor Gathering Places for Residents	1	1						
Yes	N11. Mixed-Use Developments N11.2 At Least 12% of Development Floor Space Supports Mixed Use	1	1						
<b>D. OTHER</b>									
Yes	O1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	R		
Yes	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors	2		0.5		1	0.5		
Yes	O7. Green Appraisal Addendum	Y	R	R	R	R	R		
<b>Summary</b>									
Total Available Points in Specific Categories		359.5	46	95.5	70	94	54		
Minimum Points Required in Specific Categories		50	2	25	6	6	6		
Total Points Targeted		37	1	1.5	1	15	1.5		

**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE DATE

PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

GPR  
CHECKLIST

G1.0

**Panoramic Interests**  
500 Kirkham Buildings 1, 2 & 3, Oakland, CA  
Trash Management Plan

**Task:** Design a waste and recycling system for this 1032-unit mixed use residential project which minimizes upfront and ongoing costs while successfully meeting all local and state trash-related mandates and regulatory requirements. This project is comprised of 3 buildings (Building 1 - 265 units with 3,660 square feet of ground-floor retail/restaurant space plus 13,298 square feet of office space, Building 2 - 311 units with 3,624 square feet of ground-floor retail/restaurant space plus 10,821 square feet of flex space and Building 3 - 456 units with 3,650 square feet of ground-floor retail/restaurant space). Please note, as used in this document, the term "trash" refers to all materials generated by this location, wastes (materials to be landfilled), dry recyclables (paper products, plastics, metal and glass) and organics.

**Waste and Recycling Removal:** The City of Oakland has contracted with Waste Management of Alameda County (WMAC) to provide residential and commercial waste and composting services within the city limits. Residential Recycling is provided by California Waste Solutions. Under the current contract (called a "franchise agreement") the following factors are critical:

1. Exclusivity: WMAC is the only company that can legally engage in waste disposal within the city limits.
2. Non-negotiable rates: Waste disposal rates for both residential and commercial customers are set by the City and cannot be negotiated. These rates are typically adjusted annually on July 1st.
3. Residential mixed recycling services provided by California Waste Solutions. Residential Recycling is \$12.97 per unit.
4. Residential compost service (included in waste fee) and commercial mixed recycling and compost service is provided by WMAC. Commercial Recycling is also provided by a number of vendors.

**City Mandates and Requirements:** As of July 1, 2012, under Assembly Bill 341, State law requires commercial establishments (businesses, schools, and apartments) to recycle. This law was further extended by AB1828 to require organics diversion by all businesses with more than 4 cubic yards of waste per week and all residential properties with more than 5 units. Residential properties are not required to divert organic food waste under AB1828 but Alameda County Ordinance 2012-1 supersedes this exemption and requires food waste recycling. Based on this, the City requires all residential and commercial entities to recycle paper, cardboard, glass, aluminum and metal containers, and PET (#1) and HDPE (#2) plastic bottles and to separate out organics from the waste stream. The City of Oakland requires residential trash to be source-separated into mixed recyclables, compost and waste. The City also mandates project be made available for the collection of "banned wastes" (electronics, fluorescent tubes, etc.) and bulky items.

**Specific Project Design Issues & Recommendations:**  
First, waste and recycling must be collected in 3 streams (waste, recycling, compost) to meet the State requirements of AB341, AB1828 and Alameda Ordinance 2012-1. Waste and mixed recycling will be collected in gravity chutes on each of the residential floors and compost will be collected using a thru-wall intake on the ground floor.

Second, 2-chutes (one each for waste and recycling) will be used due to the high projected trash loads for each building. The chute diameter is 30" with 15"Wx18"H bottom hinge doors to reduce the potential jams.  
Third, Trash Collection rooms are on the 1st level for each building.  
Fourth, compactors will be used in the residential trash room due to the project's large number of units.  
Fifth, chutes will have automatic opening chute intake doors to meet accessibility requirements and to increase the convenience of trash disposal.  
Sixth, trash container staging will be in dedicated trash loading zones. Compactor bins are 2 cubic yards front load containers emptied by a front-load truck. Front load dumpsters require 25' clearance for pickup.  
Eighth, the commercial trash room are physically separated from the residential trash room since it is not safe to allow untrained tenants into chute discharge rooms.

**Residential Trash Volume Projections:** Projections for residential waste, dry recycling and compost follow. For waste and dry recycling, both loose dumpster and compacted services are projected, which allows for evaluation of each type of service. We recommend compost only be collected in plastic carts since these are easily cleaned.

Building	SF	Waste Volume CV/WK	Recycle Volume CV/WK	Compost Volume CV/WK	Total # of Loose Waste Bins/Week	Total # of Loose Recycle Bins/Week	Total # of Loose Compost Carts/Week
Retail*	0	0	0	0	0	0	0
Restaurant*	3,223	4.3	8.1	0.7	1	3	1
Flex*	12,287	3.3	6.6	0.5	2	3	1
<b>Total</b>	<b>15,510</b>	<b>7.6</b>	<b>14.7</b>	<b>1.2</b>	<b>3</b>	<b>6</b>	<b>2</b>

Building	SF	Waste Volume CV/WK	Recycle Volume CV/WK	Compost Volume CV/WK	Total # of Loose Waste Bins/Week	Total # of Loose Recycle Bins/Week	Total # of Loose Compost Carts/Week
Retail*	0	0	0	0	0	0	0
Restaurant*	3,624	4.9	9.1	0.8	2	3	2
Flex*	10,821	2.7	5.4	0.4	1	2	1
<b>Total</b>	<b>14,445</b>	<b>7.6</b>	<b>14.5</b>	<b>1.2</b>	<b>3</b>	<b>5</b>	<b>3</b>

Building	SF	Waste Volume CV/WK	Recycle Volume CV/WK	Compost Volume CV/WK	Total # of Loose Waste Bins/Week	Total # of Loose Recycle Bins/Week	Total # of Loose Compost Carts/Week
Retail*	1,825	0.5	1.1	0.1	1	1	1
Restaurant*	1,825	2.5	5.4	0.5	1	2	2
Flex*	0	0	0.0	0.0	0	0	0
<b>Total</b>	<b>3,650</b>	<b>3</b>	<b>6.5</b>	<b>0.6</b>	<b>2</b>	<b>3</b>	<b>3</b>

\*Calculations for equate footage labeled 'retail' was assumed 50% retail and 50% restaurant, Flex space assumed no F&B. Changes to this ratio will affect projected trash volumes.

Building	SF	Waste Volume CV/WK	Recycle Volume CV/WK	Compost Volume CV/WK	Total # of Loose Waste Bins/Week	Total # of Loose Recycle Bins/Week	Total # of Loose Compost Carts/Week
Retail*	0	0	0	0	0	0	0
Restaurant*	3,223	4.3	8.1	0.7	1	3	1
Flex*	12,287	3.3	6.6	0.5	2	3	1
<b>Total</b>	<b>15,510</b>	<b>7.6</b>	<b>14.7</b>	<b>1.2</b>	<b>3</b>	<b>6</b>	<b>2</b>

Building	SF	Waste Volume CV/WK	Recycle Volume CV/WK	Compost Volume CV/WK	Total # of Loose Waste Bins/Week	Total # of Loose Recycle Bins/Week	Total # of Loose Compost Carts/Week
Retail*	0	0	0	0	0	0	0
Restaurant*	3,624	4.9	9.1	0.8	2	3	2
Flex*	10,821	2.7	5.4	0.4	1	2	1
<b>Total</b>	<b>14,445</b>	<b>7.6</b>	<b>14.5</b>	<b>1.2</b>	<b>3</b>	<b>5</b>	<b>3</b>

Building	SF	Waste Volume CV/WK	Recycle Volume CV/WK	Compost Volume CV/WK	Total # of Loose Waste Bins/Week	Total # of Loose Recycle Bins/Week	Total # of Loose Compost Carts/Week
Retail*	1,825	0.5	1.1	0.1	1	1	1
Restaurant*	1,825	2.5	5.4	0.5	1	2	2
Flex*	0	0	0.0	0.0	0	0	0
<b>Total</b>	<b>3,650</b>	<b>3</b>	<b>6.5</b>	<b>0.6</b>	<b>2</b>	<b>3</b>	<b>3</b>

\*Calculations for equate footage labeled 'retail' was assumed 50% retail and 50% restaurant, Flex space assumed no F&B. Changes to this ratio will affect projected trash volumes.

**Residential Trash System**  
To comply with City ordinances, residential trash will be collected in 3 different streams, waste, mixed recyclables (paper, cardboard & containers) and compost (food & organic materials). We recommend the project use two 30" diameter trash chutes with 15" x 18" automatic intake doors; one for waste, one for mixed recyclables. Compost will be collected on the ground-floor level only.  
**Compactors:** All waste and mixed recycling will be collected in chute-fed compactors under the trash chutes. Compactors will reduce space requirements, staffing needs and disposal fees, while minimizing truck traffic, thereby lowering the project's operational costs and overall environmental impact. All compactor bins will have locks on the lids and other openings to reduce access by vagrants. Compactor bins will be moved using an electric pallet jack. Staff will be alerted (via web or email) on a real-time basis when bins are 80% and 100% full and if there is a fault in the chute or compactor systems through the SmartTrash Compactor Management System. The SmartTrash system will eliminate the need to check the trash rooms on a set schedule and will allow quicker response to any system failures. If SmartTrash System is not installed, staff will need to visually check the compactor rooms several times a day to check on the status of the compactors and the chute.  
**Cardboard:** Multi-family dwellings generate a large amount of cardboard due to online shopping and food delivery. Typically, half of the units will receive a delivery in a cardboard box every day. This building is projected to receive around 1,477 cardboard boxes per week for the residential portion alone. We recommend providing a convenient area for residents to leave their flattened boxes that are too big to fit in the chute. This can be accomplished by a 24" x 24" automatic thru-wall intake door in the ground level trash collection room or by making space in the alternate trash disposal area required for ground level residents. This cardboard will need to be moved to a spare compactor bin by building staff.  
**Compost:** Compost will be collected in loose 6 gallon carts accessed by a 15" x 18" automatic thru-wall intake door in the ground level trash collection room. ATM does not recommend collecting apartment compostable materials using a gravity chute due to the sanitation and collection issues, the corrosive properties of the material, and odorous nature of putrefying household food waste (the primary component of organic waste from apartments). First, the acidic nature of fermenting compost causes chutes to rust prematurely unless they are made of expensive 304 stainless steel. Second, compostable materials adhere to chute walls, becoming an excellent medium for growing rat flies, maggots, moths, fungus, yeast and bacteria, which can cause insect infestations, allergic reactions and mold/drocks. These problems can only be mitigated by frequent wash downs, which in turn will increase project water usage and sewage loads.

**Residential Trash System Equipment for Each Building**  
Below is a summary of the recommended trash system equipment.

Gravity Chutes	Chute Size	Compactor Count	Bin Type	# of Bins	Bin Size Cubic Yards
2	30"	2	Front Load	6	2



**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

TRASH MANAGEMENT PLAN

**AMERICAN TRASH MANAGEMENT**

**Projected Residential Loose Trash Volumes and Compacted Trash Bins Service Per Week.**

Bldg	Units	Waste Volume CY	Recycle Volume CY	Compost Volume CY	Total # of Waste Bins	# of Recycle Bins	# of Compost Carts
One	311	46.7	37.3	1.6	5	4	5
Two	265	39.8	31.8	1.3	4	4	5
Three	456	68.4	54.7	2.3	7	6	8
<b>Total</b>	<b>1032</b>	<b>154.9</b>	<b>123.8</b>	<b>5.2</b>	<b>16</b>	<b>14</b>	<b>18</b>

**Projected Commercial Trash Volume and Loose Trash Bins Service Per Week.**

Building One Commercial	SF	Waste Volume CY	Recycle Volume CY	Compost Volume CY	# of Loose Waste bins	# of Loose Recycle bins	# of Loose compost carts
Retail*	0	0	0	0	0	0	0
Restaurant*	3,223	4.3	8.1	0.7	1	3	1
Flex*	12,287	3.3	6.6	0.5	2	3	1
<b>Total</b>	<b>15,510</b>	<b>7.6</b>	<b>14.7</b>	<b>1.2</b>	<b>3</b>	<b>6</b>	<b>2</b>

Building Two Commercial	SF	Waste Volume CY	Recycle Volume CY	Compost Volume CY	# of Loose Waste bins	# of Loose Recycle bins	# of Loose compost carts
Retail*	0	0	0	0	0	0	0
Restaurant*	3,624	4.9	9.1	0.8	2	3	2
Flex*	10,821	2.7	5.4	0.4	1	2	1
<b>Total</b>	<b>14,445</b>	<b>7.6</b>	<b>14.5</b>	<b>1.2</b>	<b>3</b>	<b>5</b>	<b>3</b>

Building Three Commercial	SF	Waste Volume CY	Recycle Volume CY	Compost Volume CY	# of Loose Waste bins	# of Loose Recycle bins	# of Loose compost carts
Retail*	1,825	0.5	1.1	0.1	1	1	1
Restaurant*	1,825	2.5	5.4	0.5	1	2	2
Flex*	0	0	0	0.0	0	0	0
<b>Total</b>	<b>3,650</b>	<b>3</b>	<b>6.5</b>	<b>0.6</b>	<b>2</b>	<b>3</b>	<b>3</b>

**Commercial Trash System**  
We recommend the commercial tenants including the flex space tenants handle their trash within their space and transport it to the communal trash room for loading into bins or carts for emptying by the trash hauler. Building staff will be responsible for lowering the bins and/or carts to and from the communal trash room and the trash staging area.

The retail portion of the ground level trash room must be separated from the residential portion. It is not safe to have untrained persons in the chute discharge room. This separation can be accomplished by a sliding chain-link fence.

**SAMPLE COMMERCIAL TENANT TRASH RULES**

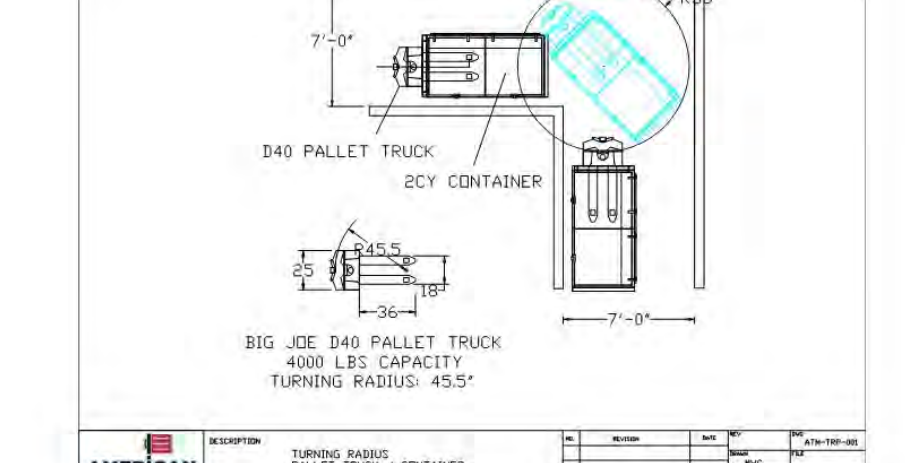
1. **Moving Trash:** Commercial tenants who have wet trash are required to move all solid waste and recycling with wheeled carts. These carts can have clear plastic liners which make it easy for tenants to put their waste, recycling and compost into the communal trash compactors. Clean cardboard is to be loaded in the bales. No items can be moved in bags only if there is wet items in the bag. This is to avoid leaks. Virtually all tenants fall into this category since they regularly throw away old partially full drink cups.
2. **Cleaning:** Tenants are responsible for keeping these carts clean and common areas clean. They cannot clean their carts in the common areas. Any sewer blockage is the responsibility of the tenant. All spills if they do happen must be immediately cleaned up or the property management will fine the tenant and arrange for the clean up at the tenants expense. No vent food filters or floor mats are to be cleaned on site including the communal trash area.
3. **Cooking Oil & Fat Disposal:** Tenant producing used cooking oil to arrange and pay for a service to collect this used oil. Oil must be stored in the tenant space. No oil can be moved in open containers on the property. All spills if they do happen must be immediately cleaned up or the property management will fine the tenant and arrange for the clean up at the tenants expense. Used cooking oil cannot be stored in the communal trash room (it stinks and when it is consensual you get a mess).
4. **Bulky Items:** Disposal of any large bulky items that do not easily fit within the communal trash must be removed from the property by the tenant at the tenants expense. (Exclude all non-standard solid waste disposal). Anything that is not typically disposed of on a regular basis (at least every quarter) must be handled directly by the tenant.
5. **Hazardous Materials:** Tenants are responsible for arranging and paying for the disposal of all Hazardous Material as defined by law.

Residential Bins	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Compacted Waste	2	0	1	0	1	1	0
Compacted Recycle	1	0	1	0	1	1	0
Compost	1	0	1	1	1	1	0

**Building One Trash Service Location:**  
All residential bins will be moved by staff using an electric pallet jack from Trash Discharge/Collection room to the designated trash loading zone area on Kirkham.

Residential Bins	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Compacted Waste	2	0	1	0	1	1	0
Compacted Recycle	1	0	1	0	1	1	0
Compost	1	0	1	1	1	1	0

**Trash Bin Moving:**  
All residential & retail compacted bins will be moved by staff using an electric pallet jack from Trash Discharge/Collection rooms to the designated trash loading zone areas.



Residential Bins	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Compacted Waste	2	0	1	0	1	1	0
Compacted Recycle	1	0	1	0	1	1	0
Compost	1	0	1	1	1	1	0

**Building One Trash Service Location:**  
All residential bins will be moved by staff using an electric pallet jack from Trash Discharge/Collection room to the designated trash loading zone area on Kirkham.

Residential Bins	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Compacted Waste	2	0	1	0	1	1	0
Compacted Recycle	1	0	1	0	1	1	0
Compost	1	0	1	1	1	1	0

Residential Bins	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
<b>Total</b>	<b>4</b>	<b>0</b>	<b>3</b>	<b>1</b>	<b>3</b>	<b>3</b>	<b>0</b>

All flex and commercial bins will be moved by staff using an electric pallet jack from Trash Collection rooms to the designated trash loading zone area on Kirkham on 5th.

Commercial Bins	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Loose Waste	1	0	0	1	1	1	0
Loose Recycle	1	0	1	1	1	1	0
Compost	1	1	1	0	1	1	0
<b>Total</b>	<b>3</b>	<b>1</b>	<b>2</b>	<b>2</b>	<b>3</b>	<b>3</b>	<b>0</b>

**Building Two Trash Service Location:**  
All residential bins will be moved by staff using an electric pallet jack from Trash Discharge/Collection room to the designated trash loading zone area on 5th Street.

Residential Bins	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Compacted Waste	1	0	1	0	1	1	0
Compacted Recycle	1	0	1	0	1	1	0
Compost	0	0	0	5	0	0	0
<b>Total</b>	<b>2</b>	<b>0</b>	<b>2</b>	<b>5</b>	<b>2</b>	<b>2</b>	<b>0</b>

All flex and commercial bins will be moved by staff using an electric pallet jack from Trash Collection rooms to the designated trash loading zone area on 5th.

Commercial Bins	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Loose Waste	1	0	0	1	0	1	0
Loose Recycle	1	0	0	0	1	0	0
Compost	1	0	0	0	0	0	0
<b>Total</b>	<b>3</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>3</b>	<b>0</b>	<b>0</b>

Residential Bins	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Compacted Waste	2	0	1	0	1	1	0
Compacted Recycle	1	0	1	0	1	1	0
Compost	1	0	1	1	1	1	0

Residential Bins	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Compacted Waste	2	0	2	0	2	1	0
Compacted Recycle	2	0	1	0	2	1	0
<b>Total</b>	<b>4</b>	<b>0</b>	<b>4</b>	<b>0</b>	<b>4</b>	<b>2</b>	<b>0</b>

**Building Three Trash Service Location:**  
All residential bins will be moved by staff using an electric pallet jack from Trash Discharge/Collection room to the designated trash loading zone area on Union Street.

Residential Bins	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Compacted Waste	1	0	0	0	1	0	





SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG KIRKHAM STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITIONS OF APPROVAL

BICYCLE AND TRANSIT IMPROVEMENTS SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

BICYCLE AND TRANSIT IMPROVEMENTS SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

BINS STAGED ALONG 7TH STREET SIDEWALK

BINS STAGED ALONG KIRKHAM STREET

ALL RESIDENTIAL TRASH TO BE STAGED IN ROOM ADJACENT TO CORRIDOR.

RESIDENTIAL LOADING AREA (N) CURB CUT FOR RESIDENTIAL TRASH STAGING PICK-UP, S.C.D.

(N) CURB CUT FOR RETAIL TRASH STAGING PICK-UP, S.C.D.

BINS STAGED ALONG KIRKHAM STREET

ALL MICRO-RETAIL TRASH TO BE STAGED IN ROOMS ADJACENT TO STAIRS. RETAILERS WALK BINS TO STAGING AREA

(N) TWO STREET CAR SHARE SPACES, EXACT LOCATIONS TO BE DETERMINED BY INTERDEPARTMENTAL CITY REVIEW

WEST PEDESTRIAN PATHWAY  
SECURITY GATE, OPEN DURING HOURS OF OPERATION

EAST PEDESTRIAN PATHWAY  
SECURITY GATE, OPEN DURING HOURS OF OPERATION

BINS FROM BUILDING 3  
RESIDENTIAL STAGED ALONG UNION STREET

COMMERCIAL LOADING & RESIDENTIAL LOADING AREA

GARAGE ENTRANCE (N) CURB CUT, S.C.D.

GAS METERS

SAFETY TREATMENTS TO BE ADDED AT THE INTERSECTION PER THE CITY OF OAKLAND INPUT

(N) CURB EXTENSION, S.C.D.

DOG PARK WILL BE OPEN TO THE PUBLIC FROM 7AM TO 9PM PURSUANT TO THE CONDITIONS OF APPROVAL, S.L.D. SECURITY GATE, OPEN DURING HOURS OF OPERATION

SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG 5TH STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITIONS OF APPROVAL

SECURITY GATE, OPEN DURING HOURS OF OPERATION

(N) REMOVEABLE BOLLARD, S.C.D.

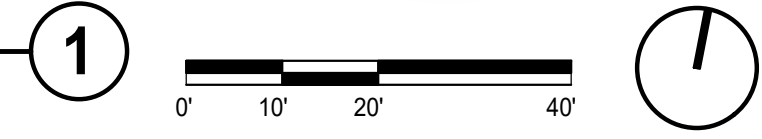
(N) CURB LOADING ZONE

(N) CURB CUT, S.C.D.

BINS FROM MICRO-RETAIL STAGED ALONG 5TH STREET

(N) FENCED AREA, S.L.D.

**SERVICE CIRCULATION DIAGRAM**



ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

**SERVICE CIRCULATION DIAGRAM**



**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



BICYCLE AND TRANSIT IMPROVEMENTS SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

REQUIRED SHORT-TERM BICYCLE PARKING, TYP

STANDARD CITY SIDEWALK  
LOW PLANTING TYP.

ROOF TERRACE AT 2ND FLOOR

ROOF TERRACE AT 3RD FLOOR

**SITE LEGEND**

- ① CONCRETE PAVING CITY STANDARD
- ② MORTAR SET COBBLE PAVING
- ③ DOG PARK WITH SYNTHETIC TURF
- ④ PLAYGROUND: 5-12 YRS
- ⑤ FLEXIBLE PLAZA SPACE
- ⑥ FENCE AND GATE
- ⑦ REQUIRED SHORT TERM BICYCLE PARKING, TYP
- ⑧ ROOF TERRACE
- ⑨ ART CANOPY
- ⑩ GATHERING SPACE
- ⑪ STREET TREE
- ⑫ MOVE-ABLE SEATING
- ⑬ BENCH
- ⑭ BART COLUMN/OVERHEAD BART
- ⑮ EXISTING PUBLIC ART GATEWAY

0' 10' 20' 40'

ON-SITE PLANTING



*Acer palmatum* spp.  
Japanese Maple



*Chamaedorea seifrizii*  
Bamboo Palm



*Phoenix dactylifera*  
DATE PALM



*Brahia edulis*  
GUADALUPE PALM



*Asparagus densiflorus 'Myers'*  
FOXTAIL FERN



*Matteuccia struthiopteris*  
OSTRICH FERN



*Asarum caudatum*  
WESTERN WILD GINGER



*Hakonechloa macra 'Aureola'*  
HAKONE GRASS

STREET TREES



*Podocarpus gracillior*  
FERN PODOCARPUS



*Quercus virginiana cathedral*  
SOUTHERN LIVE OAK



*Olea europaea 'swan hill'*  
OLIVE



*Cercis occidentalis*  
WESTERN REDBUD



*Acer macrophyllum*  
BIGLEAF MAPLE



*Arbutus 'marina'*  
STRAWBERRY TREE



*Lagerstroemia 'natchez'*  
NATCHEZ GRAPE MYRTLE

PUBLIC REALM TREES

PLANTING CONCEPT STATEMENT

GREENING AND PROVIDING HEALTHY PLANT MATERIAL WITH RICH TEXTURES IS AN IMPORTANT PART OF THE DESIGN FOR THIS SITE ADJACENT TO INDUSTRIAL AND HIGHWAY LANDSCAPES. THE PLANTING DESIGN SHOWCASES DURABLE URBAN PLANTS THAT HAVE BEEN PROVEN TO BE SUCCESSFUL IN OAKLAND. TREES WILL BE INSTALLED AT 24" BOX SIZE. THE DESIGN OF THE PUBLIC OPEN SPACE MELTS WITH THE STREETScape AND PROVIDES VARIETY THROUGHOUT THE SITE. CONCEPTUALLY CONNECTING PLANTING AT GRADE TO ON STRUCTURE ROOF TERRACES AT THE LOWER LEVELS SHOWS VISUAL CONTINUITY OF THE SITE AND BUILDINGS. MICROCLIMATES INFORM THE PLANTING SELECTION AND THE OPPORTUNITY TO SHOWCASE DEEP SHADE UNDERSTORY TROPICAL PLANTINGS FOR A STRONG GARDEN CHARACTER. IN AREAS WITH MORE SUN, LOW WATER PLANTS ARE SHOWCASED AND COMPOSED INTO LARGE AREAS FOR BLOOM, FALL COLOR, AND SCALE.

IRRIGATION CONCEPT STATEMENT

THE IRRIGATION DESIGN FOR THE SITE SHALL COMPLY WITH THE STATE OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (TITLE 23 - DIVISION 2-CHAPTER 2.7) AND THE CITY OF OAKLAND WATER EFFICIENT LANDSCAPE STANDARDS. THE IRRIGATION SYSTEMS WILL BE AUTOMATICALLY CONTROLLED BY AN ET IRRIGATION CONTROLLER CAPABLE OF MULTIPLE PROGRAMMING AND INDEPENDENT TIMING OF INDIVIDUAL IRRIGATION SYSTEMS. THE CONTROLLER WILL HAVE A 24-HOUR CLOCK TO ALLOW MULTIPLE START TIMES AND REPEAT CYCLES TO ADJUST FOR SOIL PERCOLATION RATES. THE IRRIGATION SYSTEMS WILL CONSIST PRIMARILY OF LOW VOLUME, LOW FLOW BUBBLERS FOR TREES, POINT SOURCE DRIP IRRIGATION FOR SHRUBS AND GROUNDCOVERS, AND LOW FLOW IRRIGATION FOR TURF PLANTINGS. PLANTS WILL BE GROUPED ONTO SEPARATE VALVES ACCORDING TO SUN EXPOSURE AND WATER USE TO ALLOW FOR IRRIGATION APPLICATION BY HYDROZONE. THE IRRIGATION SCHEDULING WILL REFLECT THE REGIONAL EVAPO-TRANSPIRATION RATES. THE ENTIRE SITE WILL BE DESIGNED TO RUN DURING NIGHTTIME HOURS WHEN IRRIGATION IS MOST EFFICIENT.



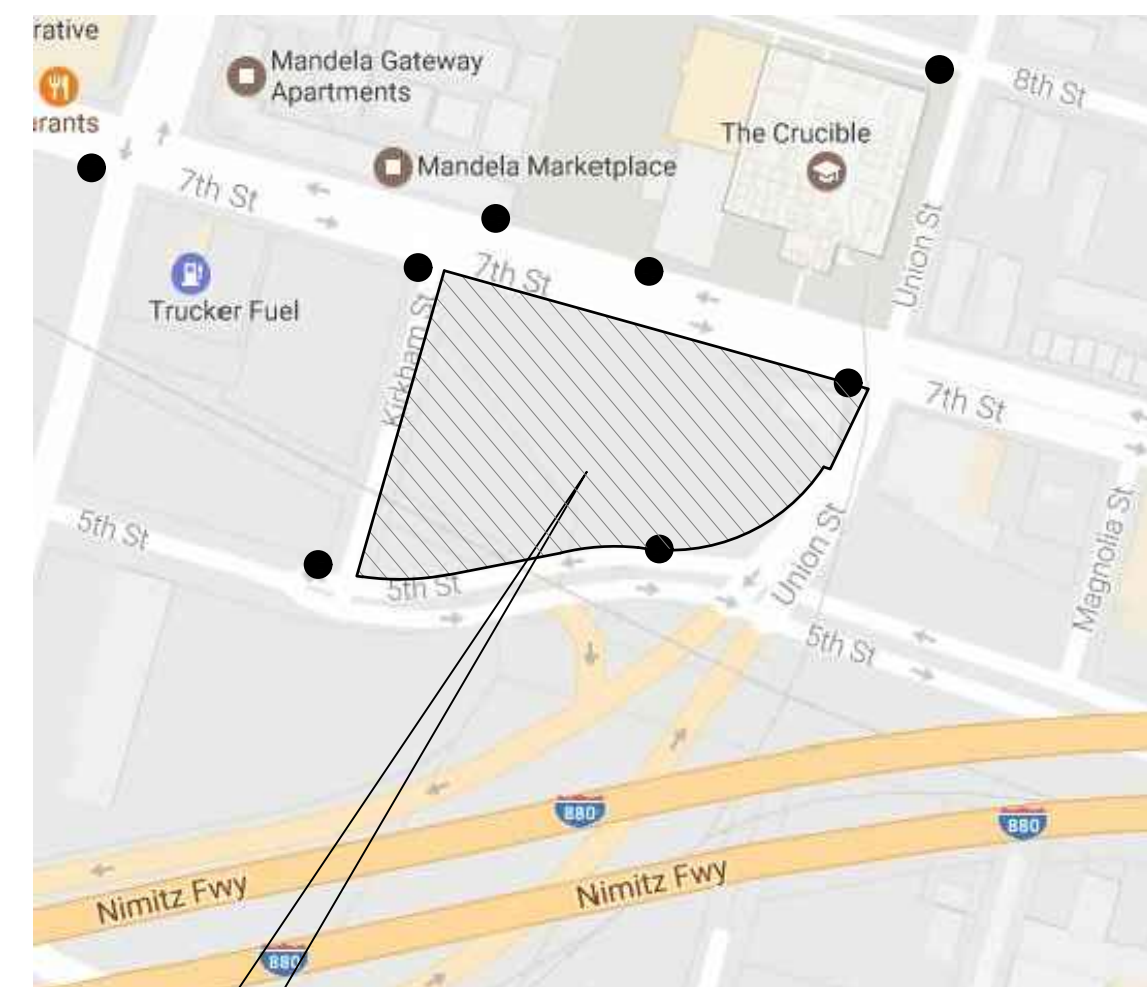
ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

**GENERAL NOTES:**

- WORK SHOWN HEREON SHALL BE DONE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION," LATEST EDITION AND SUPPLEMENTS, THE UNIFORM BUILDING CODE (EXCAVATION AND GRADING), AND CITY OF OAKLAND LOCAL ORDINANCES AS APPLICABLE.
- EXISTING TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM A SURVEY DATED FEBRUARY 17, 2017 BY WOOD RODGERS.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
- PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS FOR GRADING, DRAINAGE, AND UNDERGROUND FACILITIES INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
- ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
- THE EXISTENCE, LOCATION, AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
- THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
- STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
- ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AS IT IS GENERATED AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
- ALL FILL SOILS OR SOILS DISTURBED OR OVEREXCAVATED DURING CONSTRUCTION SHALL BE COMPACTED PER THE REQUIREMENTS OF THE SOILS REPORT BUT NOT LESS THAN 90% MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D-1557.
- THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER.
- DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
- THRUST BLOCKS SHALL BE INSTALLED AT WATERLINE HORIZONTAL AND VERTICAL BENDS, TEES, CAPPED ENDS AND REDUCERS ACCORDING TO THE DETAILS PROVIDED ON THESE PLANS.
- CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR.
- THE CONTRACTOR SHALL REPLACE ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO MATCH EXISTING, INCLUDING PERMANENT TRENCH RESURFACING.
- CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT (800-227-2600) PRIOR TO EXCAVATION.
- ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
- ALL CURB DIMENSIONS AND RADII ARE TO PAVEMENT FACE OF CURB.
- CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY OF OAKLAND FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR DISCHARGE OF GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.
- IF DEWATERING IS NECESSARY, THE CONTRACTOR SHALL PROVIDE DEWATERING PLAN. DEWATERING PLAN SHALL BE SUBMITTED AND APPROVED PRIOR TO COMMENCING GRADING ACTIVITIES. WATER GENERATED DURING DEWATERING SHALL BE DISCHARGED OR COLLECTED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE REGULATIONS WHICH MAY INCLUDE BUT NOT LIMITED TO OBTAINING APPROPRIATE PERMITS FROM EAST BAY MUNICIPAL UTILITIES DISTRICT TO DISCHARGE THROUGH THE SANITARY SEWER TO THE LOCAL TREATMENT PLANT AND NPDES PERMIT FROM REGIONAL WATER BOARD. WATER MAY NOT BE DISCHARGED DIRECTLY TO NEARBY SURFACE WATER DRAINAGES UNLESS APPROPRIATE PERMITS AND APPROVALS ARE OBTAINED AND CONDITIONS OF THOSE PERMITS AND APPROVALS ARE APPLIED. TEMPORARY DEWATERING PLANS SHALL BE SUBMITTED TO TOXICS MANAGEMENT DIVISION AND PUBLIC WORKS FOR REVIEW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE OR DETERIORATION OCCURRING TO EXISTING CALTRANS IMPROVEMENTS AS A DIRECT RESULT OF CONSTRUCTION ACTIVITY RELATED TO CONSTRUCTION OF THE COMMON IMPROVEMENTS (GRADING, ROAD CONSTRUCTION, UTILITY INSTALLATION, ETC.). REQUIRED REPAIR MAY REQUIRE PATCHING, SEALING, OR OVERLAYING AFFECTED AREAS AS APPROPRIATE TO RETURN THE EXISTING CALTRANS IMPROVEMENTS (ROADS, SIDEWALKS, UTILITIES, ETC.) TO AS GOOD A CONDITION AS THEY WERE PRIOR TO CONSTRUCTION. IF THE CONTRACTOR DOES NOT ACT PRUDENTLY IN A TIMELY MANNER, CALTRANS MAY, AT ITS DISCRETION, PERFORM THE CORRECTION AND CHARGE THE CONTRACTOR FOR ALL COSTS AND OVERHEAD INCURRED.
- BICYCLE AND TRANSIT IMPROVEMENTS ON 7TH STREET SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.
- SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG 5TH STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.
- SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG KIRKHAM STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

**EROSION CONTROL NOTES:**

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.
- A "STANDBY EMERGENCY CREW" SHALL BE ALERTED BY THE PERMITTEE OR THE CONTRACTOR TO PERFORM EMERGENCY WORK DURING RAINSTORMS. THE PARTY TO BE CONTACTED IS (TO BE FILLED IN BY CONTRACTOR):  
 NAME: \_\_\_\_\_  
 PHONE NUMBER: \_\_\_\_\_
- THE RAINY SEASON IS AS DECLARED BY THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) DEPENDING ON THE REGION IN WHICH THE PROJECT IS LOCATED. ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES AND ACTIONS MAY BE NECESSARY DURING THE RAINY SEASON. THE CONTRACTOR IS RESPONSIBLE FOR INCLUDING SUCH MEASURES REQUIRED PER THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA)
- THIS PLAN IS TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED, AS AND WHEN, DIRECTED AS THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
- CONTRACTOR IS RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- EXCEPT WHEN DIRECTED OTHERWISE, ALL DEVICES SHOWN TO BE IN PLACE AT THE END OF EACH WORKING DAY, WHEN RAIN IS FORECASTED, AND MAINTAINED.
- TAKE REASONABLE CARE WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- DURING THE RAINY SEASON, KEEP ALL PAVED AREAS CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
- CONTRACTOR PROVIDES DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- COORDINATE WITH SECTION "311000 SITE CLEARING" OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING DEMOLITION AND EROSION CONTROL.
- FILLED FILTER BAGS SHALL BE STOCKPILED ON SITE, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECASTED, OR WHEN THE INSPECTOR SO DIRECTS.
- CONTRACTOR PROVIDES WATER ONSITE AND USE IT FOR DUST CONTROL DURING CONSTRUCTION.
- INSTALL CONSTRUCTION EXIT PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION EXIT WAYS.
- CONTRACTOR MAINTAINS STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE INSPECTOR.
- INSTALL INLET PROTECTION AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE INSPECTOR OF ANY FIELD CHANGES.
- BEST MANAGEMENT PRACTICES (BMPs) SHOWN ARE OUTLINED IN, BUT NOT LIMITED TO, THE CONSTRUCTION BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA), 2009, OR THE LATEST REVISED EDITION, AND APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS). IN ADDITION, SEE SHEET CX.X.
- MAINTENANCE IS TO BE PERFORMED PER THE CASQA BMP HANDBOOK AND AS FOLLOWS:
  - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION BY THE END OF EACH WORKING DAY.
  - INSPECT SEDIMENT TRAPS, BERMS, AND SWALES PERIODICALLY AND AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - REMOVE SEDIMENT AND RESTORE SEDIMENT BARRIER TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF HALF THE SEDIMENT BARRIER HEIGHT.
  - DEPOSIT SEDIMENT THAT HAS BEEN REMOVED FROM BARRIER SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- CLEAN OUT INLET PROTECTION WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE FILLED FILTER BAG.



**PROJECT SITE**

**LEGEND**

- APPROXIMATE LOCATION OF EXISTING FIRE HYDRANT

**VICINITY MAP**  
NOT TO SCALE

**LEGEND:**

PROPOSED		
CONTOUR	85	CURB AND GUTTER
SPOT ELEVATION	80.00	LIMIT OF DISTURBANCE
EXISTING SPOT ELEVATION	80.00	PROPERTY LINE/R.O.W.
FLOW (DIRECTION AND SLOPE)		GRADE BREAK LINE
EXISTING FLOW (DIRECTION AND SLOPE)		SEDIMENT BARRIER
SANITARY SEWER	SS	TRENCH DRAIN FILTER FABRIC
DOMESTIC WATER	DW	BUILDING FOOTPRINT
STORM DRAIN	SD	CONCRETE PAVEMENT
GAS	G	BIORETENTION AREA
ELECTRIC	E	CONCRETE PAVEMENT REMOVAL
FIRE WATER	FW	DEMOLISH STRUCTURE
TELEPHONE	T	ASPHALT CONCRETE PAVEMENT REMOVAL
COORDINATION POINT		STABILIZED CONSTRUCTION EXIT
STORM DRAIN INLET		
MANHOLE	●	
SEWER CLEANOUT		
AREA DRAIN		
TRENCH DRAIN		
CAP OR PLUG	J	
FIRE HYDRANT		
PVC		
PIV		
WATER VALVE	⊗	
DOUBLE DETECTOR CHECK VALVE	DCDV	
WATER METER		
INLET PROTECTION		
FILTER BAGS		
SAWCUT	-----	

**ABBREVIATIONS:**

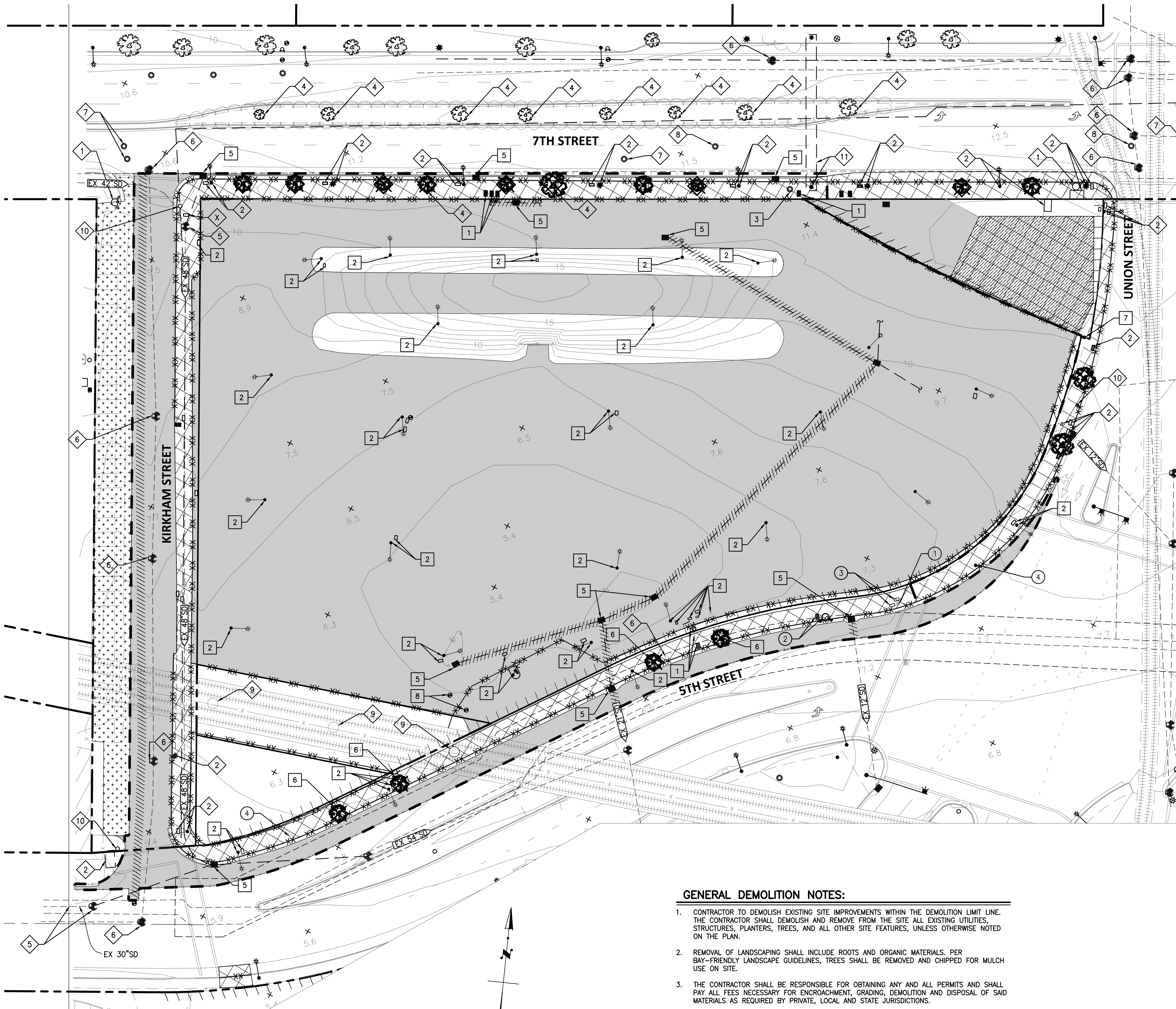
AC	ASPHALTIC CONCRETE	MH	MANHOLE
BW	BACK OF WALK	NTS	NOT TO SCALE
BLDG	BUILDING	PA	PLANTER AREA
BM	BENCH MARK	POC	POINT OF CONNECTION
BOS	BOTTOM OF STAIRS	PIV	POST INDICATOR VALVE
CB	CATCH BASIN	PCC	PORTLAND CEMENT CONCRETE
CI	CAST IRON	PRV	PRESSURE REDUCING VALVE
CL	CENTER LINE	PVC	POLYVINYL CHLORIDE
CMU	CONCRETE MASONRY UNIT	R	RADIUS
CO	CLEANOUT	RCIP	RECTANGULAR CAST IRON PIPE
CONC	CONCRETE	RCP	REINFORCED CONCRETE PIPE
CF	CURB FACE	RD	ROOF DRAIN
DI	DROP INLET	SD	STORM DRAIN
DW	DOMESTIC WATER	SSMH	SANITARY SEWER MANHOLE
EL. OR ELEV.	ELEVATION	SS	SANITARY SEWER
ELEC	ELECTRIC, ELECTRICAL	STD	STANDARD
EX. OR EXIST.	EXISTING	SDMH	STORM DRAIN MANHOLE
FDC	FIRE DEPARTMENT CONNECTION	TC	TOP OF CURB
FF	FINISHED FLOOR	TEL	TELEPHONE
FG	FINISHED GRADE (LANDSCAPE)	TG	TOP OF GRATE
FS	FINISHED SURFACE (HARDSCAPE)	TOS	TOP OF STAIRS
FH	FIRE HYDRANT	TW	TOP OF WALL
FL	FLOW LINE	TS	TRAFFIC SIGNAL
FT	FOOT OR FEET	TSB	TRAFFIC SIGNAL BOX
FS	FIRE SERVICE	TYP	TYPICAL
GV	GATE VALVE	TV	TELEVISION
HDPE	HIGH DENSITY POLYETHYLENE	VIF	VERIFY IN FIELD
HP	HIGH POINT	VLT	VAULT
INV.	INVERT	VCP	VITRIFIED CLAY PIPE
LP	LOW POINT	W	WATER
MAX.	MAXIMUM	WM	WATER METER
MIN.	MINIMUM	WV	WATER VALVE

**SHEET INDEX:**

CIVIL DRAWINGS	
C0.1	GENERAL NOTES
C0.2	EXISTING CONDITIONS (FOR REFERENCE ONLY)
C1.1	DEMOLITION PLAN
C2.1	GRADING PLAN
C3.1	UTILITY PLAN
C4.1	STORMWATER CONTROL PLAN
C5.1	EROSION CONTROL PLAN
C6.1	DETAILS
C6.2	DETAILS

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19





**DEMOLISH OR ABANDON IN PLACE #**

- 1 WATER STRUCTURE, MAIN, VALVE, METER, APPURTENANCES
- 2 ELECTRICAL STRUCTURE, BOX, MANHOLE, CONDUIT/LINE, EQUIPMENT, APPURTENANCES
- 3 COMMUNICATION STRUCTURE, BOX CONDUIT/LINE, EQUIPMENT, APPURTENANCES
- 4 STREET LIGHT, LIGHT POLE
- 5 STORM DRAIN STRUCTURE, BOX, MANHOLE, PIPE, APPURTENANCES
- 6 TREE
- 7 STREET SIGN
- 8 EBMUD MONITORING WELL. SEE NOTE 8 THIS SHEET.

**PROTECT IN PLACE:**

- 1 WATER STRUCTURE, MAIN, VALVE, METER, APPURTENANCES
- 2 ELECTRICAL STRUCTURE, BOX, MANHOLE, CONDUIT/LINE, EQUIPMENT, APPURTENANCES
- 3 IRRIGATION STRUCTURE OR LINE
- 4 TREE
- 5 STORM DRAIN STRUCTURE, INLET, MANHOLE, PIPE, APPURTENANCES
- 6 SANITARY SEWER STRUCTURE, MANHOLE, PIPE, APPURTENANCES
- 7 COMMUNICATION STRUCTURE, BOX CONDUIT/LINE, EQUIPMENT, APPURTENANCES
- 8 TELEPHONE STRUCTURE, BOX CONDUIT/LINE, EQUIPMENT, APPURTENANCES
- 9 BAY AREA RAPID TRANSIT STRUCTURE
- 10 STREET SIGN. SEE NOTE 7 THIS SHEET.
- 11 MISC. SITE STRUCTURE

**REMOVE AND RELOCATE**

- 1 STREET LIGHT SIGNAL POLE
- 2 WATER STRUCTURE, MAIN, VALVE, METER, HYDRANT, APPURTENANCES
- 3 ELECTRICAL STRUCTURE, BOX, MANHOLE, CONDUIT/LINE, EQUIPMENT, APPURTENANCES
- 4 STREET SIGN

**DEMOLITION LEGEND:**

- ASPHALT CONCRETE PAVEMENT AND BASE REMOVAL
- CONCRETE PAVEMENT AND BASE REMOVAL
- GRIND AND OVERLAY EXISTING AC PAVEMENT
- DEMOLISH BUILDING

---x---x---x--- DEMOLISH CURB & GUTTER/WALL/FENCE

////// DEMOLISH OR ABANDON UTILITY LINE/PIPE

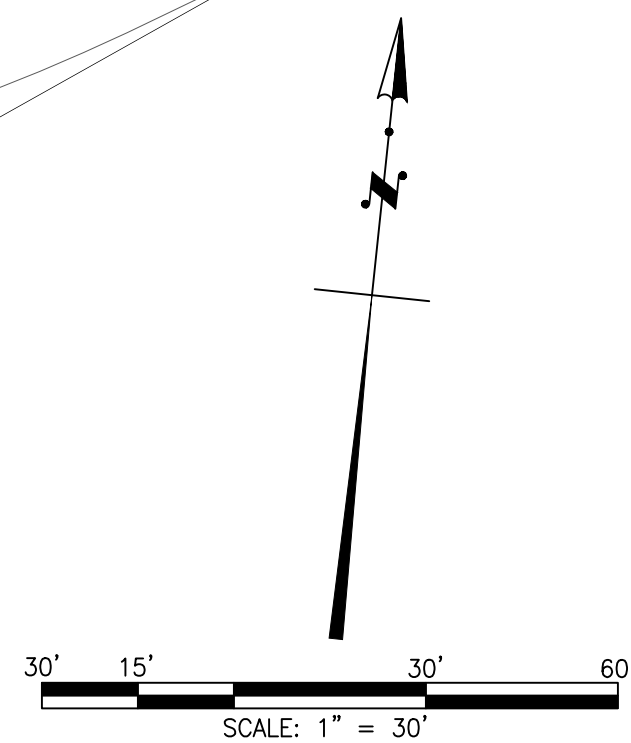
--- LIMIT OF DEMOLITION

DEMOLISH TREE

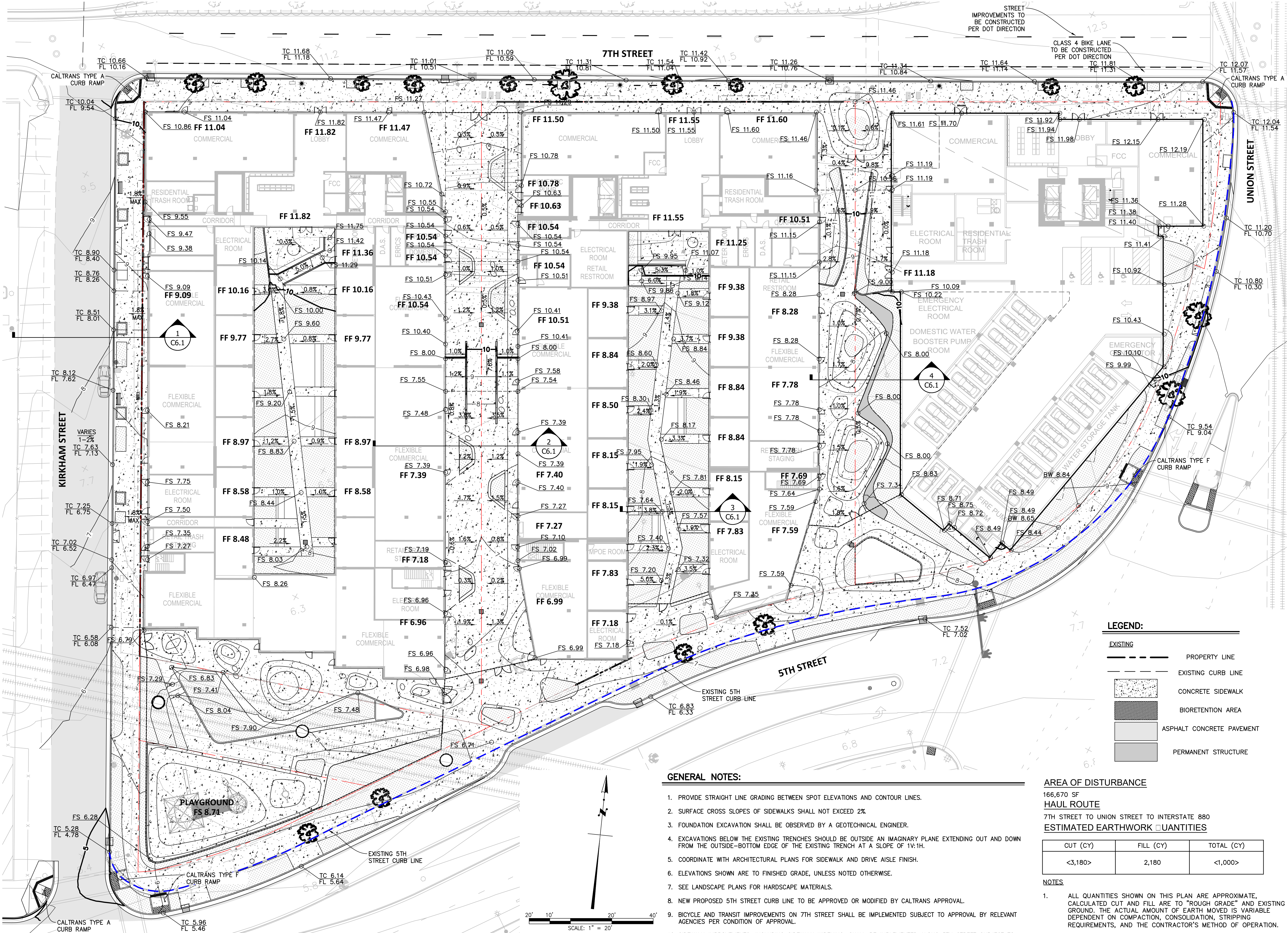
**AREA OF DISTURBANCE**  
165,000 SF

**GENERAL DEMOLITION NOTES:**

1. CONTRACTOR TO DEMOLISH EXISTING SITE IMPROVEMENTS WITHIN THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITIES, STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.
2. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS. PER BAY-FRIENDLY LANDSCAPE GUIDELINES, TREES SHALL BE REMOVED AND CHIPPED FOR MULCH USE ON SITE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
5. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
6. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
7. CONTRACTOR TO STORE STREET SIGNS TO BE PROTECTED ON-SITE UNTIL CONSTRUCTION OF NEW PUBLIC SIDEWALK IS COMPLETED.
8. CONTRACTOR TO COORDINATE WITH EBMUD FOR REMOVAL/ABANDONMENT OF EXISTING MONITORING WELLS.



ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



**LEGEND:**

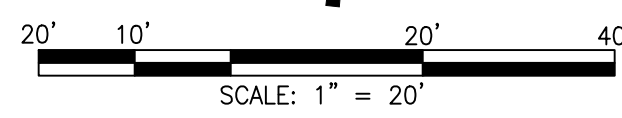
---	PROPERTY LINE
- - -	EXISTING CURB LINE
[Stippled Box]	CONCRETE SIDEWALK
[Cross-hatched Box]	BIORETENTION AREA
[Solid Grey Box]	ASPHALT CONCRETE PAVEMENT
[Dark Grey Box]	PERMANENT STRUCTURE

**AREA OF DISTURBANCE**  
166,670 SF  
**HAUL ROUTE**  
7TH STREET TO UNION STREET TO INTERSTATE 880  
**ESTIMATED EARTHWORK QUANTITIES**

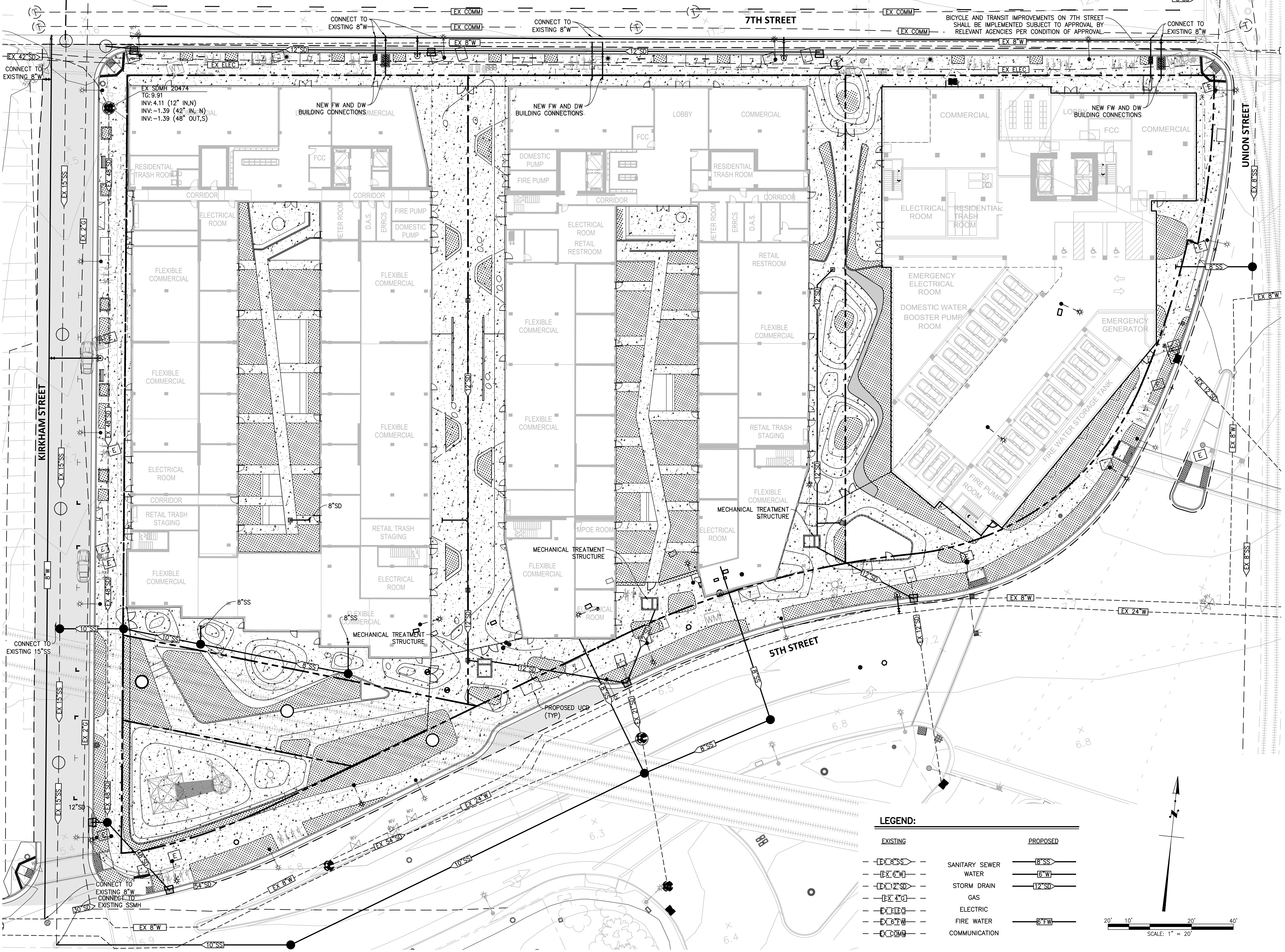
CUT (CY)	FILL (CY)	TOTAL (CY)
<3,180>	2,180	<1,000>

- NOTES**
- ALL QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE, CALCULATED CUT AND FILL ARE TO "ROUGH GRADE" AND EXISTING GROUND. THE ACTUAL AMOUNT OF EARTH MOVED IS VARIABLE DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING REQUIREMENTS, AND THE CONTRACTOR'S METHOD OF OPERATION.
  - EARTHWORK QUANTITIES SHOWN DO NOT INCLUDE ADDITIONAL EXCAVATION FOR PAVEMENT AND SIDEWALK STRUCTURAL SECTIONS, BIORETENTION VAULTS, OR UTILITY TRENCH SPOILS.

- GENERAL NOTES:**
- PROVIDE STRAIGHT LINE GRADING BETWEEN SPOT ELEVATIONS AND CONTOUR LINES.
  - SURFACE CROSS SLOPES OF SIDEWALKS SHALL NOT EXCEED 2%.
  - FOUNDATION EXCAVATION SHALL BE OBSERVED BY A GEOTECHNICAL ENGINEER.
  - EXCAVATIONS BELOW THE EXISTING TRENCHES SHOULD BE OUTSIDE AN IMAGINARY PLANE EXTENDING OUT AND DOWN FROM THE OUTSIDE-BOTTOM EDGE OF THE EXISTING TRENCH AT A SLOPE OF 1V:1H.
  - COORDINATE WITH ARCHITECTURAL PLANS FOR SIDEWALK AND DRIVE AISLE FINISH.
  - ELEVATIONS SHOWN ARE TO FINISHED GRADE, UNLESS NOTED OTHERWISE.
  - SEE LANDSCAPE PLANS FOR HARDSCAPE MATERIALS.
  - NEW PROPOSED 5TH STREET CURB LINE TO BE APPROVED OR MODIFIED BY CALTRANS APPROVAL.
  - BICYCLE AND TRANSIT IMPROVEMENTS ON 7TH STREET SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.
  - SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG 5TH STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.
  - SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG KIRKHAM STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

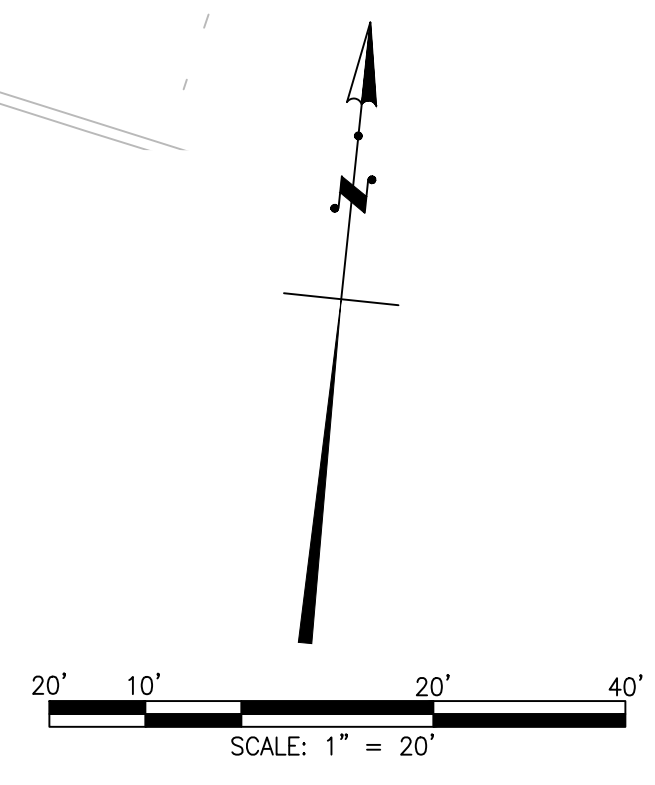


ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



**LEGEND:**

EXISTING		PROPOSED	
-EX 8"SS-	SANITARY SEWER	8"SS	
-EX 6"W-	WATER	6"W	
-EX 12"SD-	STORM DRAIN	12"SD	
-EX 4"G-	GAS		
-EX ELEC-	ELECTRIC		
-EX 6"FW-	FIRE WATER	6"FW	
-EX COMM-	COMMUNICATION		



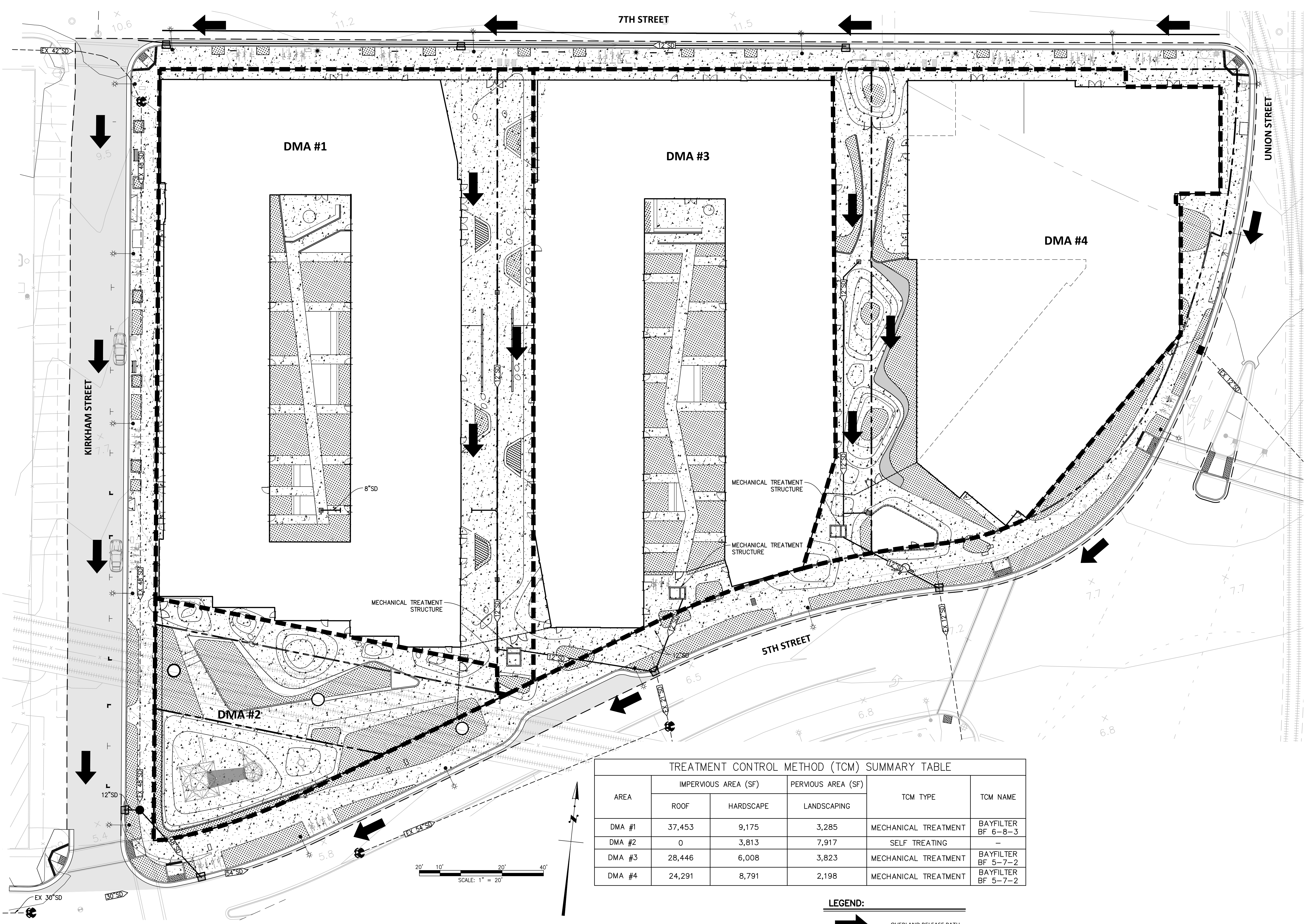
**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

**UTILITY PLAN**

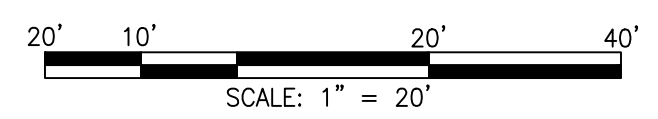
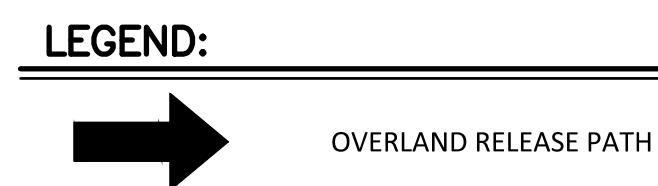


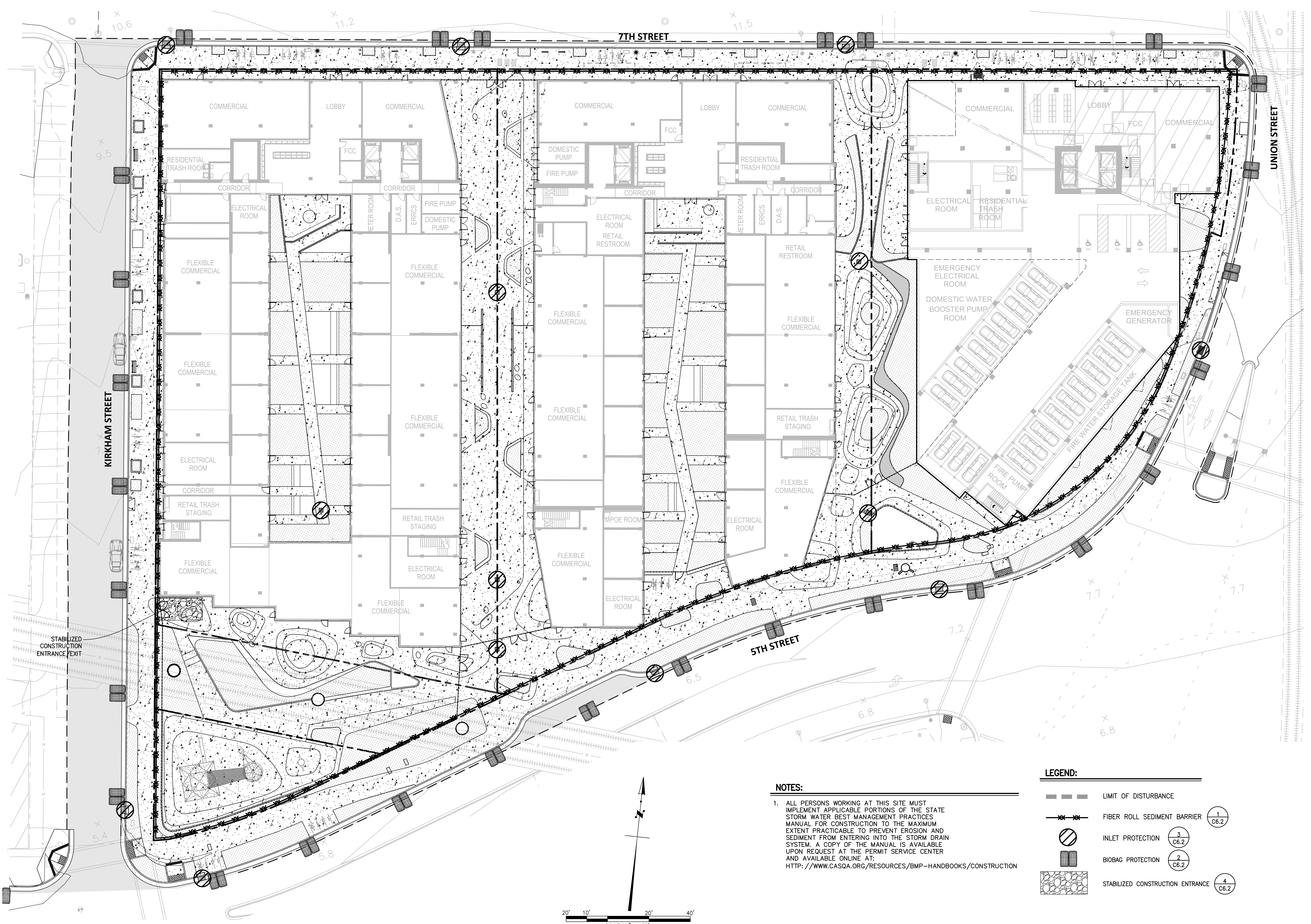
ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



TREATMENT CONTROL METHOD (TCM) SUMMARY TABLE

AREA	IMPERVIOUS AREA (SF)		PERVIOUS AREA (SF)	TCM TYPE	TCM NAME
	ROOF	HARDSCAPE			
DMA #1	37,453	9,175	3,285	MECHANICAL TREATMENT	BAYFILTER BF 6-8-3
DMA #2	0	3,813	7,917	SELF TREATING	-
DMA #3	28,446	6,008	3,823	MECHANICAL TREATMENT	BAYFILTER BF 5-7-2
DMA #4	24,291	8,791	2,198	MECHANICAL TREATMENT	BAYFILTER BF 5-7-2



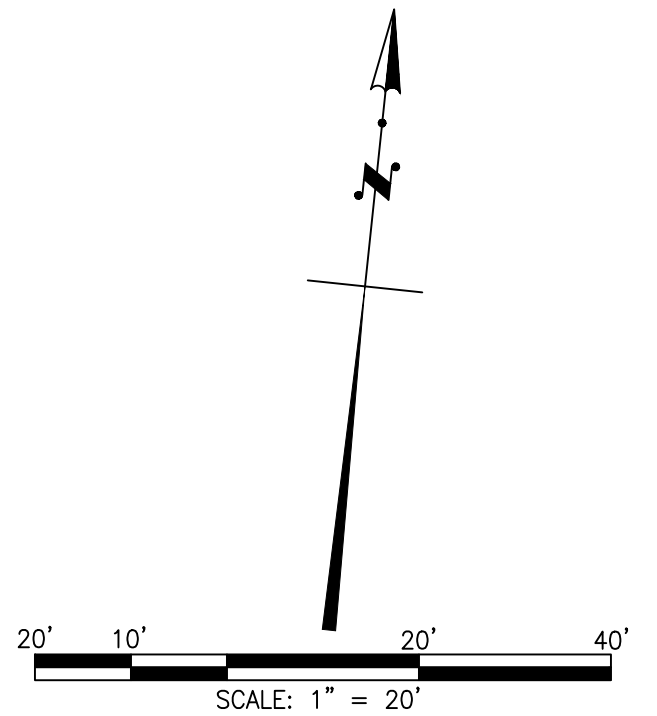


**NOTES:**

- ALL PERSONS WORKING AT THIS SITE MUST IMPLEMENT APPLICABLE PORTIONS OF THE STATE STORM WATER BEST MANAGEMENT PRACTICES MANUAL FOR CONSTRUCTION TO THE MAXIMUM EXTENT PRACTICABLE TO PREVENT EROSION AND SEDIMENT FROM ENTERING INTO THE STORM DRAIN SYSTEM. A COPY OF THE MANUAL IS AVAILABLE UPON REQUEST AT THE PERMIT SERVICE CENTER AND AVAILABLE ONLINE AT: [HTTP://WWW.CASQA.ORG/RESOURCES/BMP-HANDBOOKS/CONSTRUCTION](http://www.casqa.org/resources/BMP-HANDBOOKS/CONSTRUCTION)

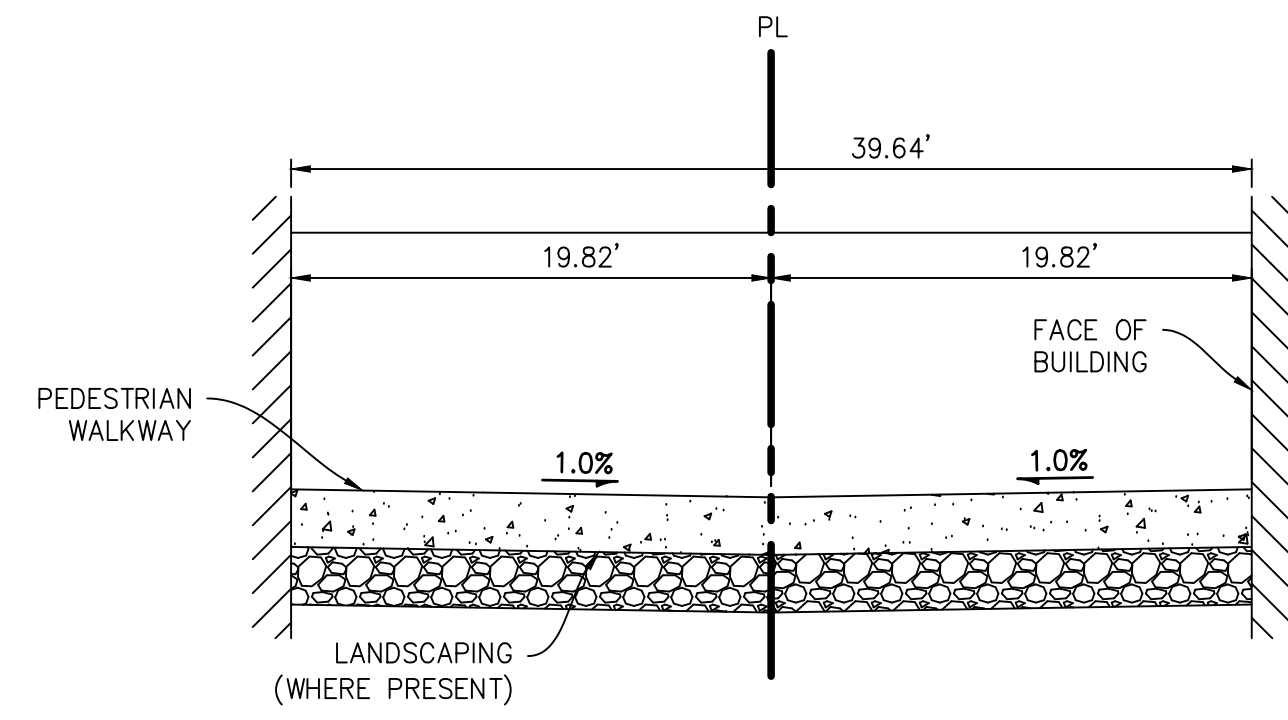
**LEGEND:**

- LIMIT OF DISTURBANCE
- FIBER ROLL SEDIMENT BARRIER (1) C6.2
- ⊗ INLET PROTECTION (3) C6.2
- BIOBAG PROTECTION (2) C6.2
- ▨ STABILIZED CONSTRUCTION ENTRANCE (4) C6.2



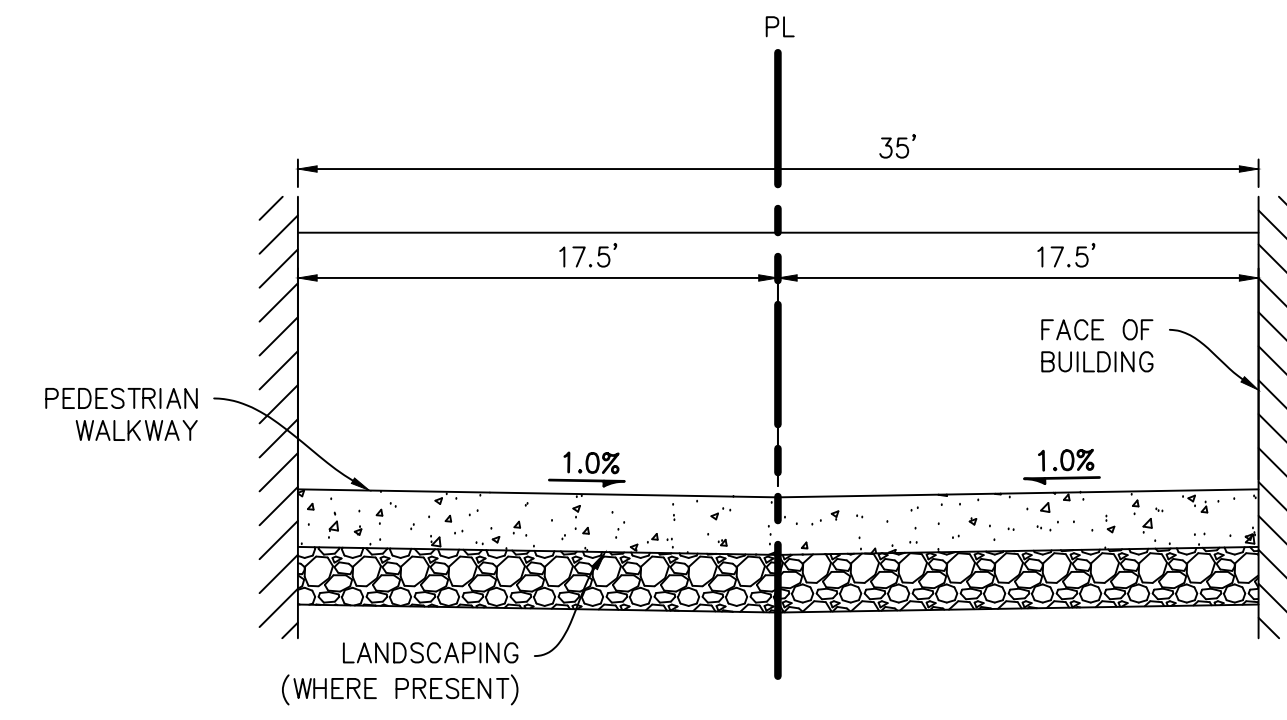
ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



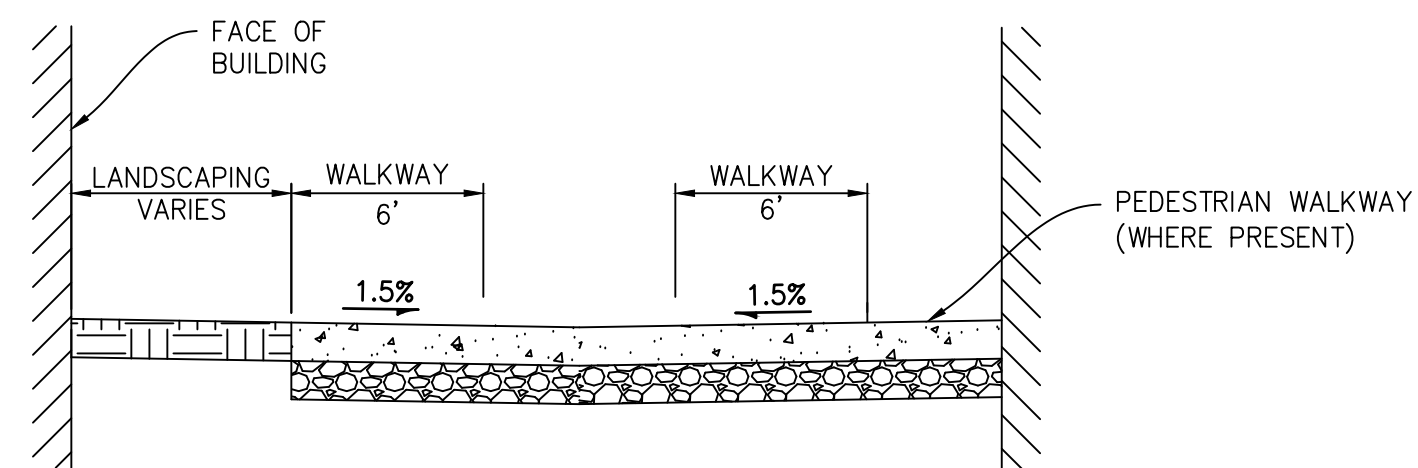
NOT TO SCALE

4 SECTION 4/C2.1



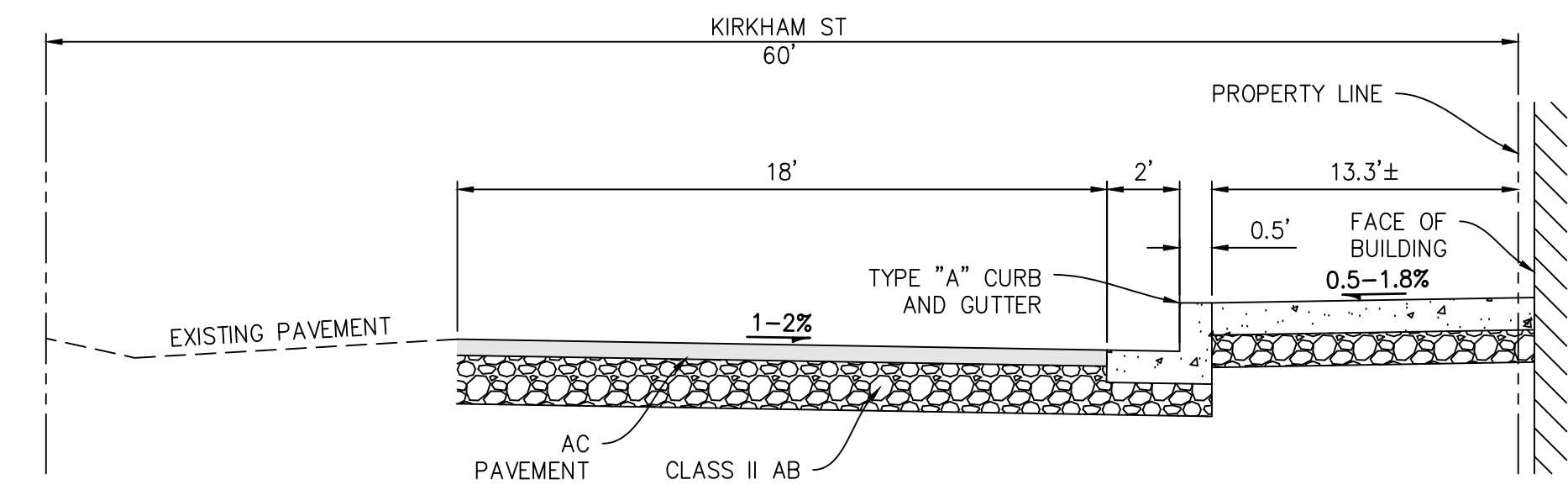
NOT TO SCALE

2 SECTION 2/C2.1



NOT TO SCALE

3 SECTION 3/C2.1



NOT TO SCALE

1 SECTION 1/C2.1

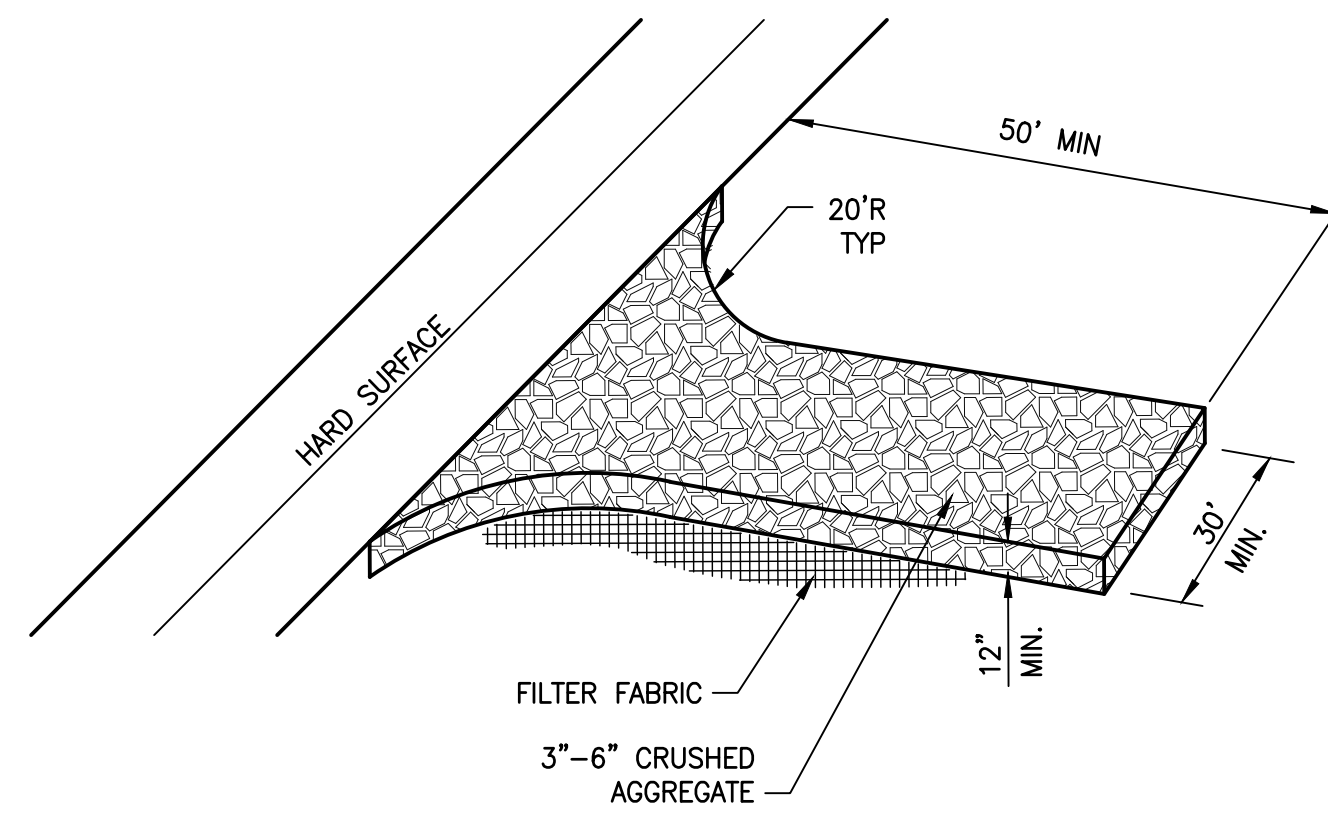
NOT TO SCALE

6 NOT USED

NOT TO SCALE

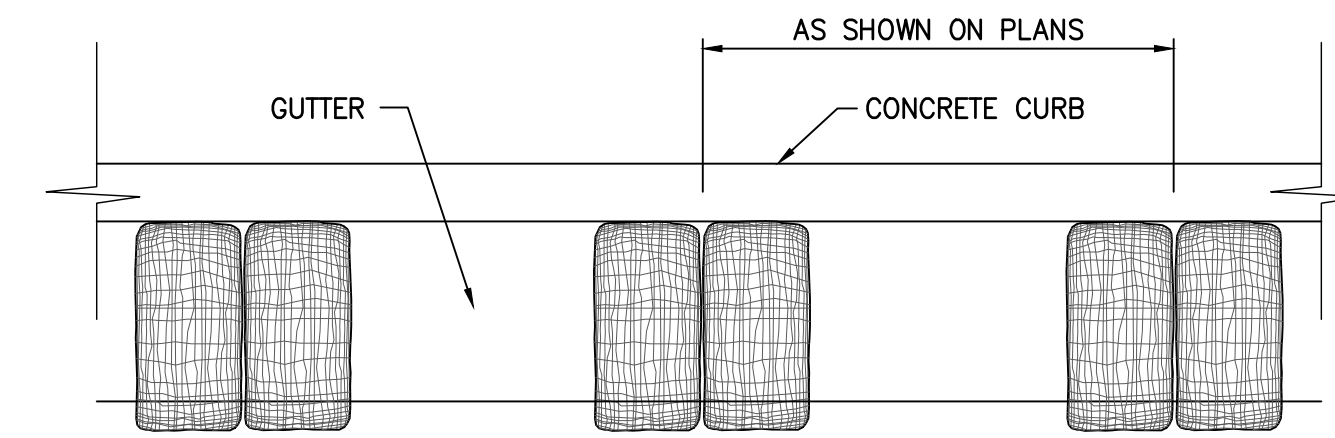
5 NOT USED

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



NOT TO SCALE

4 STABILIZED CONSTRUCTION ENTRANCE

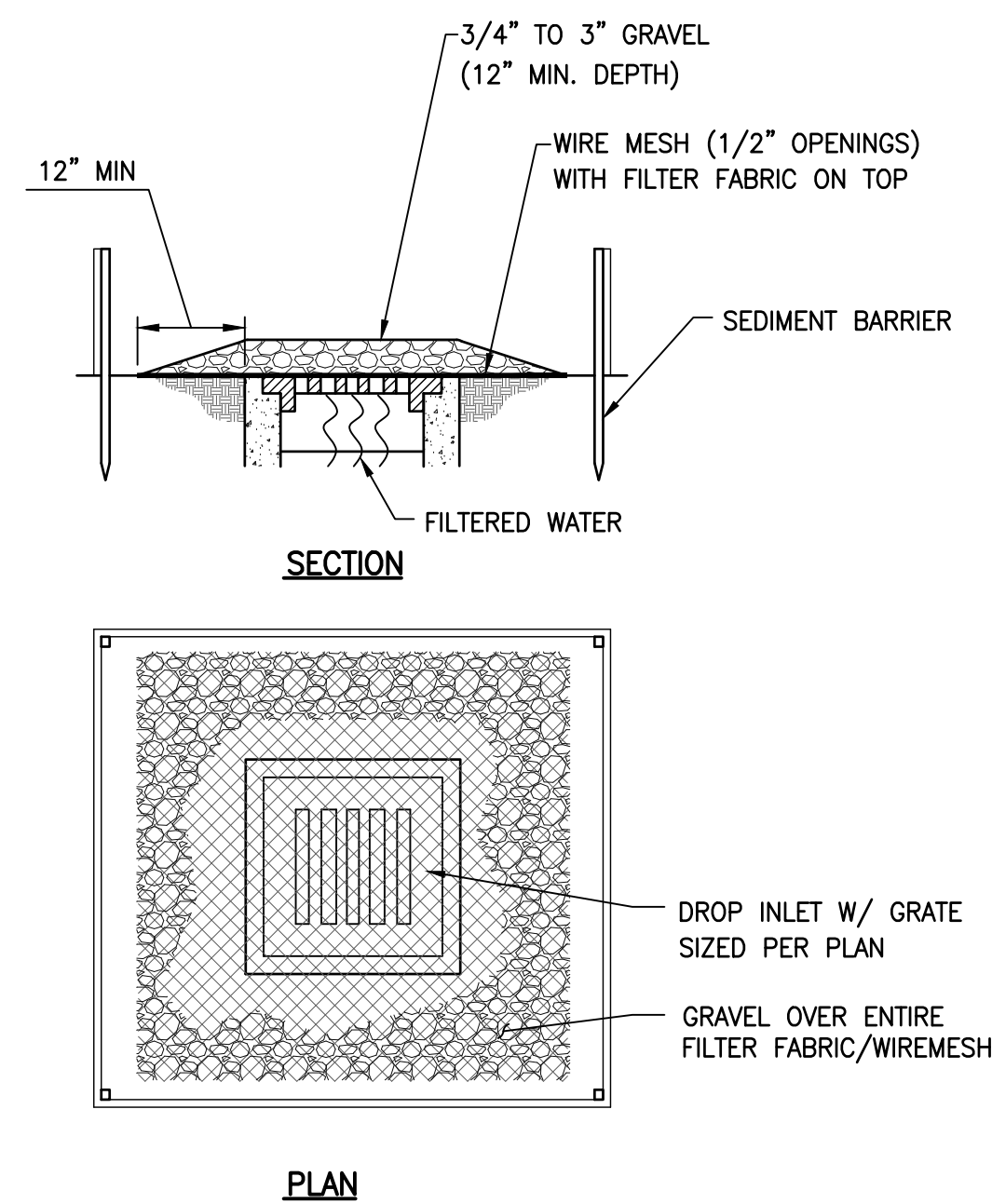


NOTE:

1. PLACE BIOBAG FLUSH AGAINST CURB IN GUTTER
2. BIOBAG SHALL BE CLEAN 100-PERCENT RECYCLED WOOD PRODUCT WASTE. STANDARD SIZE 10X8X30-INCHES, WEIGHT APPROXIMATELY 45-LBS, WITH 1/2-INCH PLASTIC NETTING.

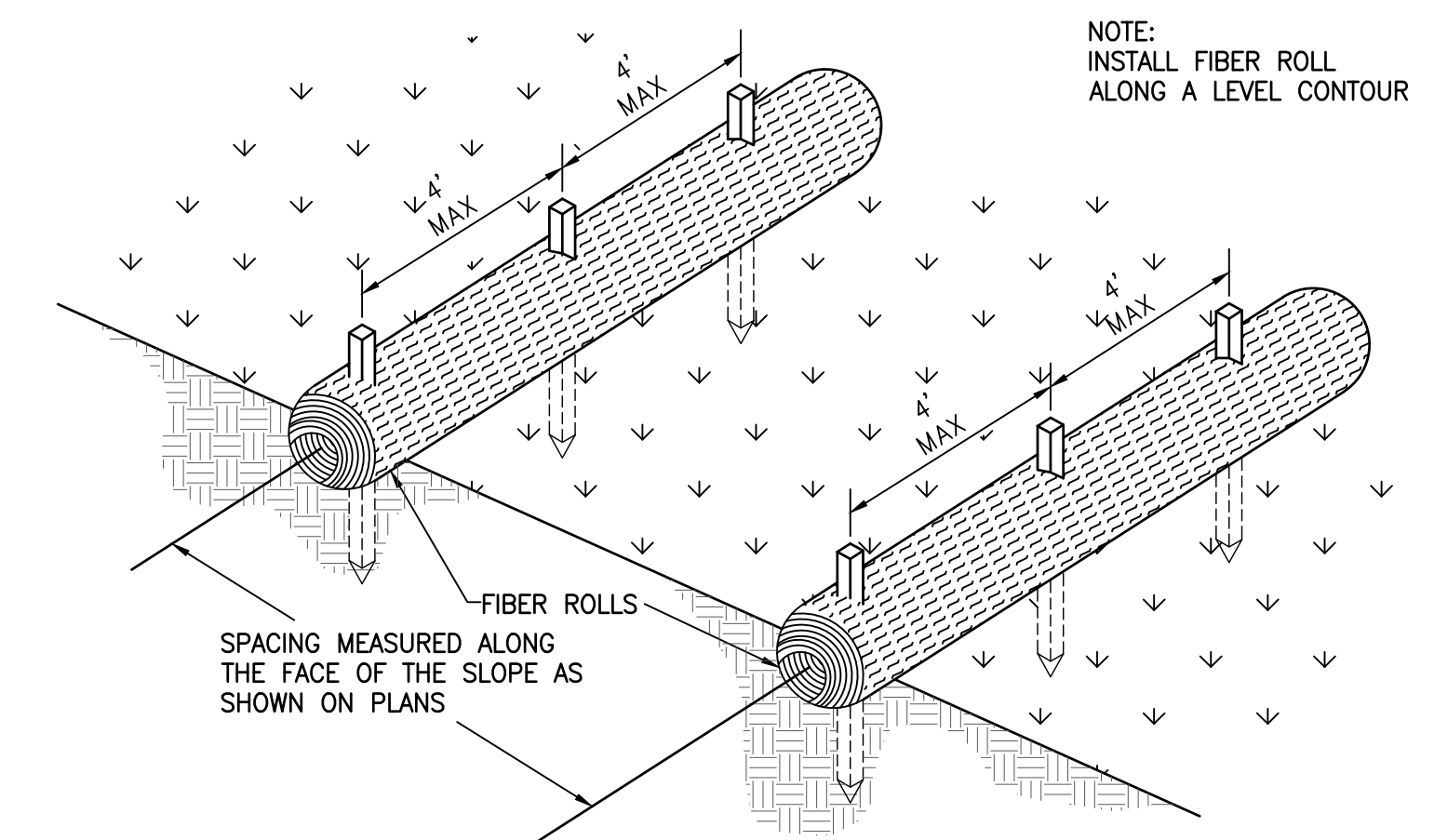
NOT TO SCALE

2 BIOBAG PROTECTION

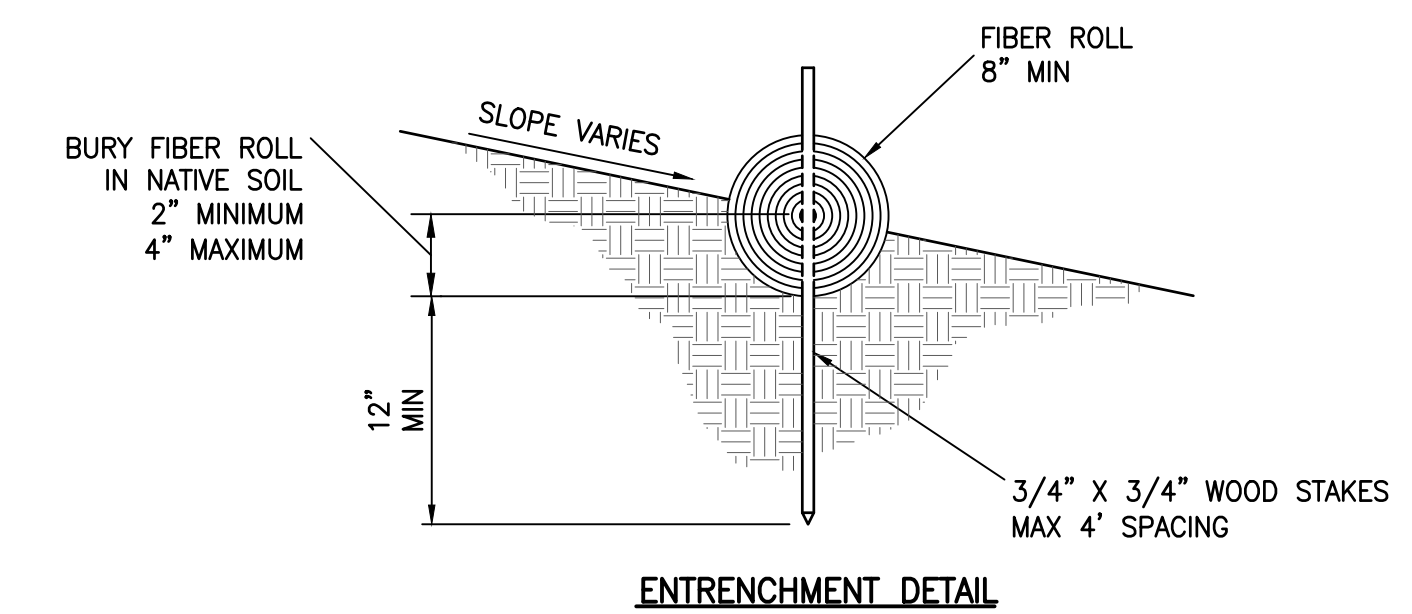


NOTES:

1. PLACE WIRE MESH OVER AND 1' (MINIMUM) BEYOND THE INLET STRUCTURE.
2. PLACE FILTER FABRIC OVER WIRE MESH.
3. PLACE 12" MINIMUM DEPTH OF 3/4" TO 3" GRAVEL OVER THE FILTER FABRIC/WIRE MESH.



TYPICAL FIBER ROLL INSTALLATION



ENTRENCHMENT DETAIL

NOT TO SCALE

1 FIBER ROLL SEDIMENT BARRIER

NOT TO SCALE

x NOT USED

x NOT USED



**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

PRECEDENT IMAGERY



*Acer palmatum* spp.  
Japanese Maple



*Chamaedorea seifrizii*  
Bamboo Palm



*Asparagus densiflorus 'Myers'*  
FOXTAIL FERN



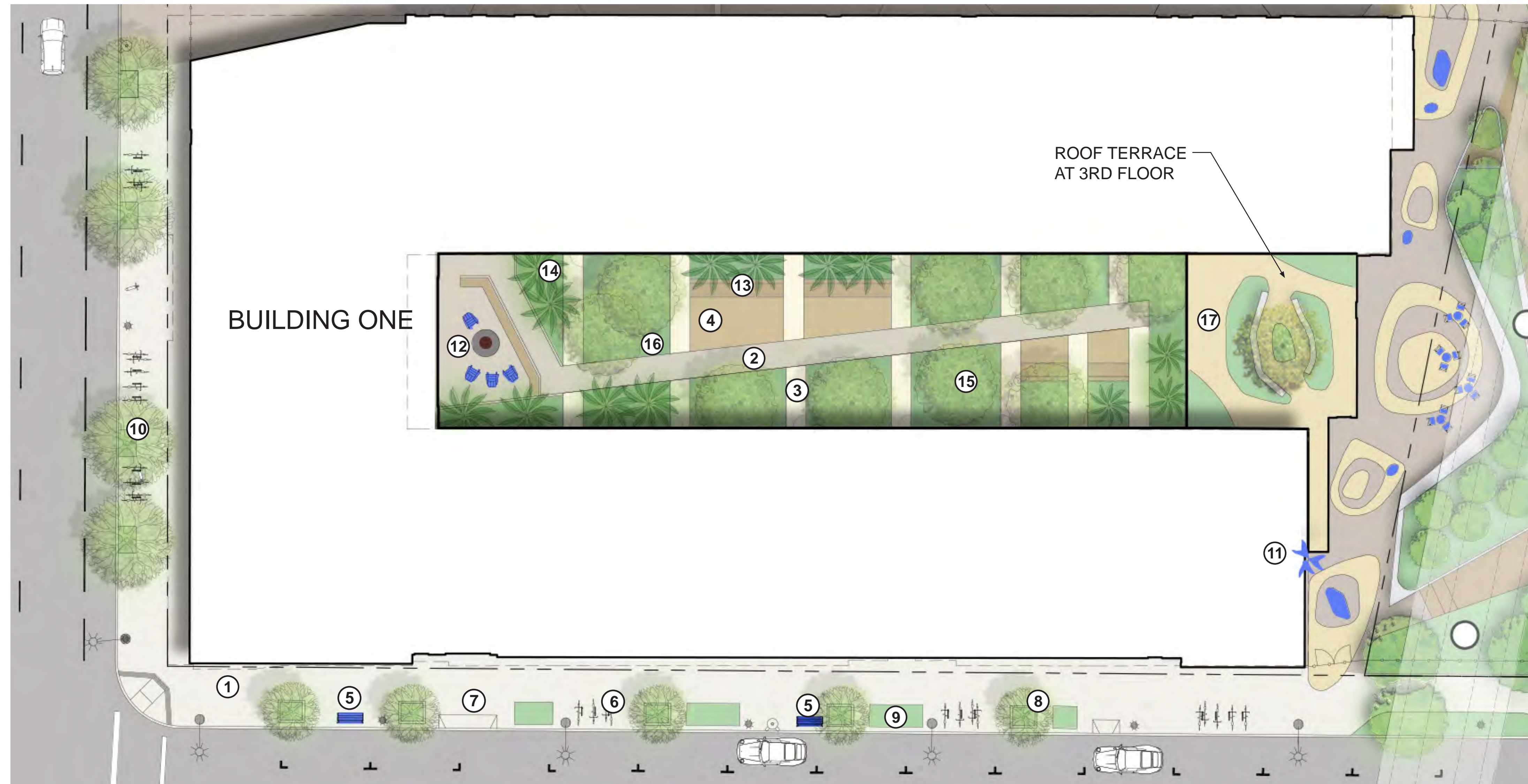
*Matteuccia struthiopteris*  
OSTRICH FERN



PEACEFUL COURTYARD SEATING AREA



FIRE-PIT & SEATING



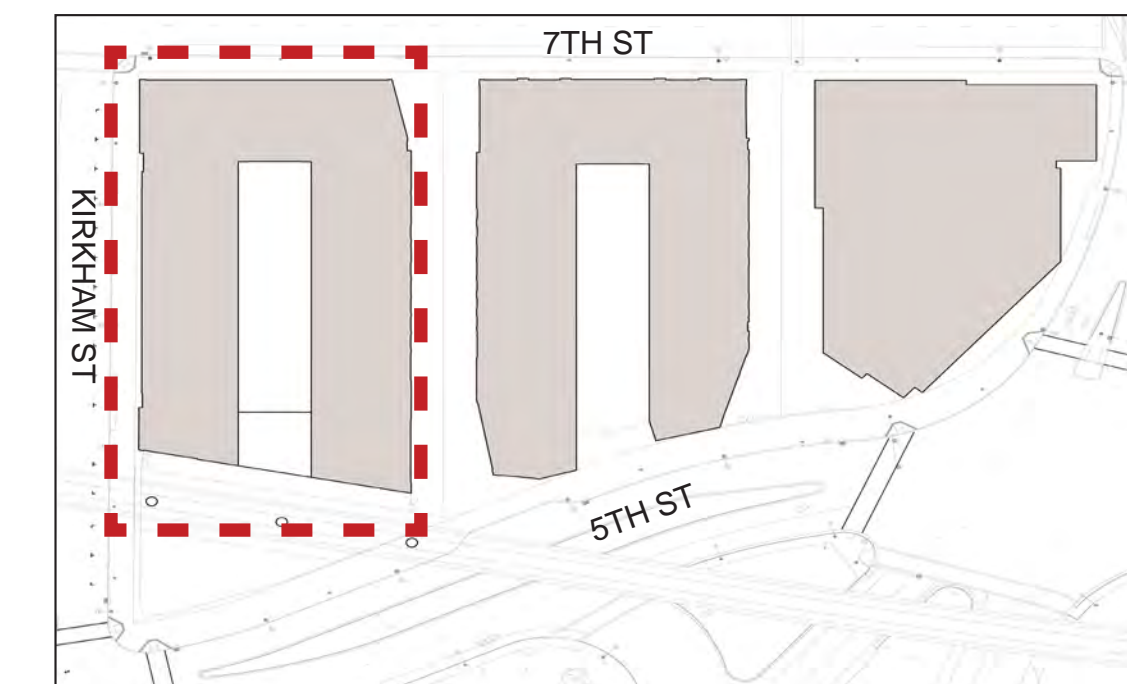
GENERAL NOTES:

1. DRIP IRRIGATION TO BE USED IN ALL LANDSCAPE AREAS.
2. 3" BARK MULCH TO BE USED IN ALL LANDSCAPED AREAS

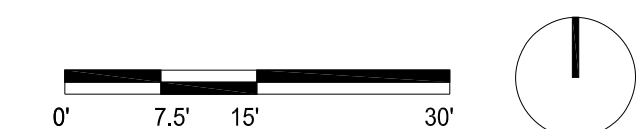
SITE LEGEND

- |   |   |  |
|---|---|--|
| ① CONCRETE PAVING CITY STANDARD             | ⑧ RAISED PLANTER WITH OLEA EUROPEA TREE ON KIRKHAM ST., MULTISTEM 24" BOX | ⑭ COURTYARD TREE 1, PALM SIZE 15'-0" CLEAR BROWN TRUNK   |
| ② CONCRETE PAVER                            | ⑨ SIDEWALK PLANTER WITH CEANOTHUS YANKEE POINT, TYP.                      | ⑮ COURTYARD TREE 2, JAPANESE MAPLE, SIZE 24" BOX   |
| ③ CONCRETE PAVER                            | ⑩ PODOCARPUS GRACILIOR TREE ON 7TH ST., STANDARD 24" BOX                  | ⑯ LUSH COURTYARD PLANTING, SEE PHOTOS FOR SPECIES, SIZE VARIES BETWEEN 1 GALLON AND 15 GALLON) |
| ④ ADA COMPLIANT GRAVEL PAVE                 | ⑪ FACADE ART PIECE  | ⑰ LEVEL 3 ROOFTOP GARDEN   |
| ⑤ METAL BENCH SEATING                       | ⑫ FIRE PIT SEATING AREA   |  |
| ⑥ REQUIRED SHORT-TERM BICYCLE PARKING, TYP. | ⑬ BUILT IN WOOD BENCH, TYP.   |  |
| ⑦ LOADING DRIVEWAY ACCESS                   |   |  |

KEY PLAN



PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



PRECEDENT IMAGERY



*Cyathea cooperi*  
TREE FERN



*Brahia edulis*  
GUADALUPE PALM



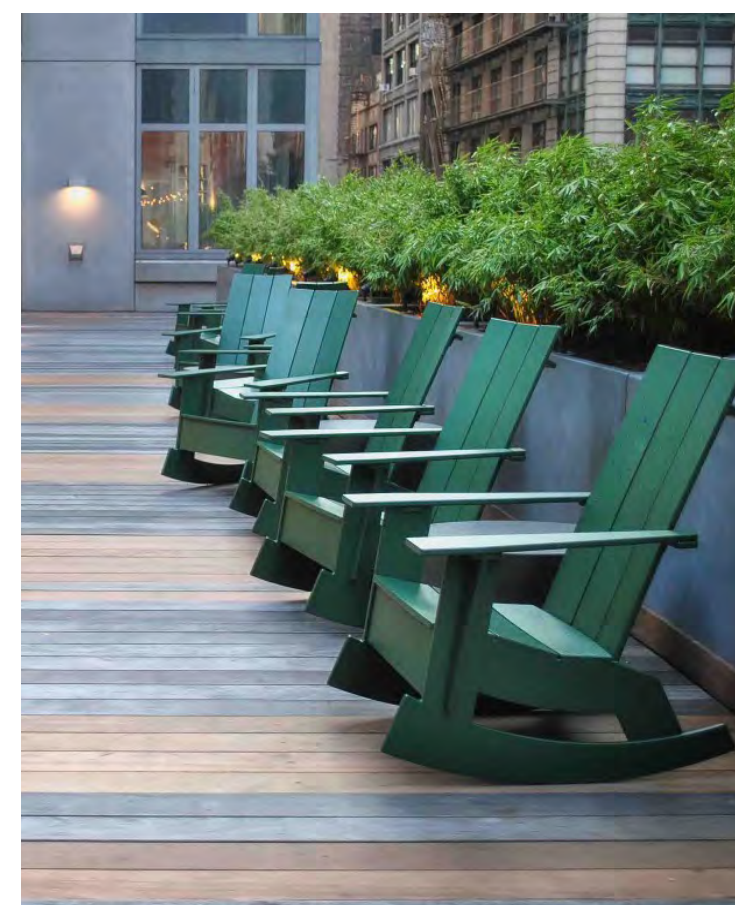
*Asarum caudatum*  
WESTERN WILD GINGER



*Hakonechloa macra 'Aureola'*  
HAONE GRASS



LUSH GARDEN



SOCIAL PORCH



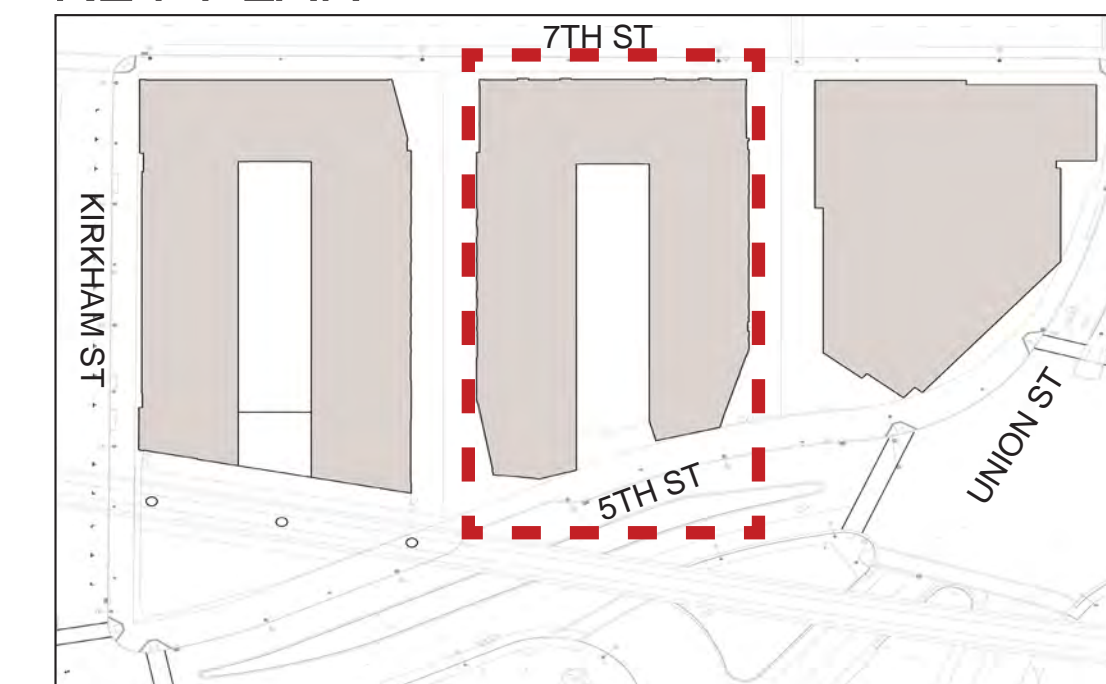
GENERAL NOTES:

1. DRIP IRRIGATION TO BE USED IN ALL LANDSCAPE AREAS.
2. 3" BARK MULCH TO BE USED IN ALL LANDSCAPED AREAS.

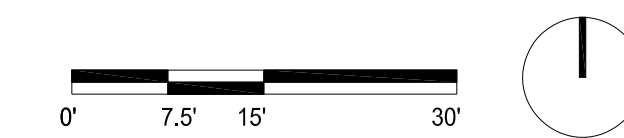
SITE LEGEND

- |   |  |
|---|--|
| ① CONCRETE PAVING<br>CITY STANDARD                          | ⑧ BUILT IN WOOD BENCH, TYP.  |
| ② CONCRETE PAVER  | ⑨ COURTYARD FENCE AND GATE   |
| ③ MORTAR SET COBBLESTONES                                   | ⑩ COURTYARD TREE 1, PALM SIZE<br>15'-0" CLEAN BROWN TRUNK  |
| ④ ADA COMPLIANT GRAVEL PAVE                                 | ⑪ COURTYARD TREE 2, TREE FERN, 36"<br>BOX  |
| ⑤ PODOCARPUS GRACILIOR TREE<br>ON 7TH ST., STANDARD 24" BOX | ⑫ LUSH COURTYARD PLANTING<br>SEE PHOTOS FOR SPECIES, SIZE<br>VARIES BETWEEN 1 GALLON AND 15<br>GALLON) |
| ⑥ QUERCUS VIRGINIANA<br>ON 5TH ST., STANDARD 24" BOX        |  |
| ⑦ COMMUNAL TABLE<br>SEATING AREA                            |  |

KEY PLAN



PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



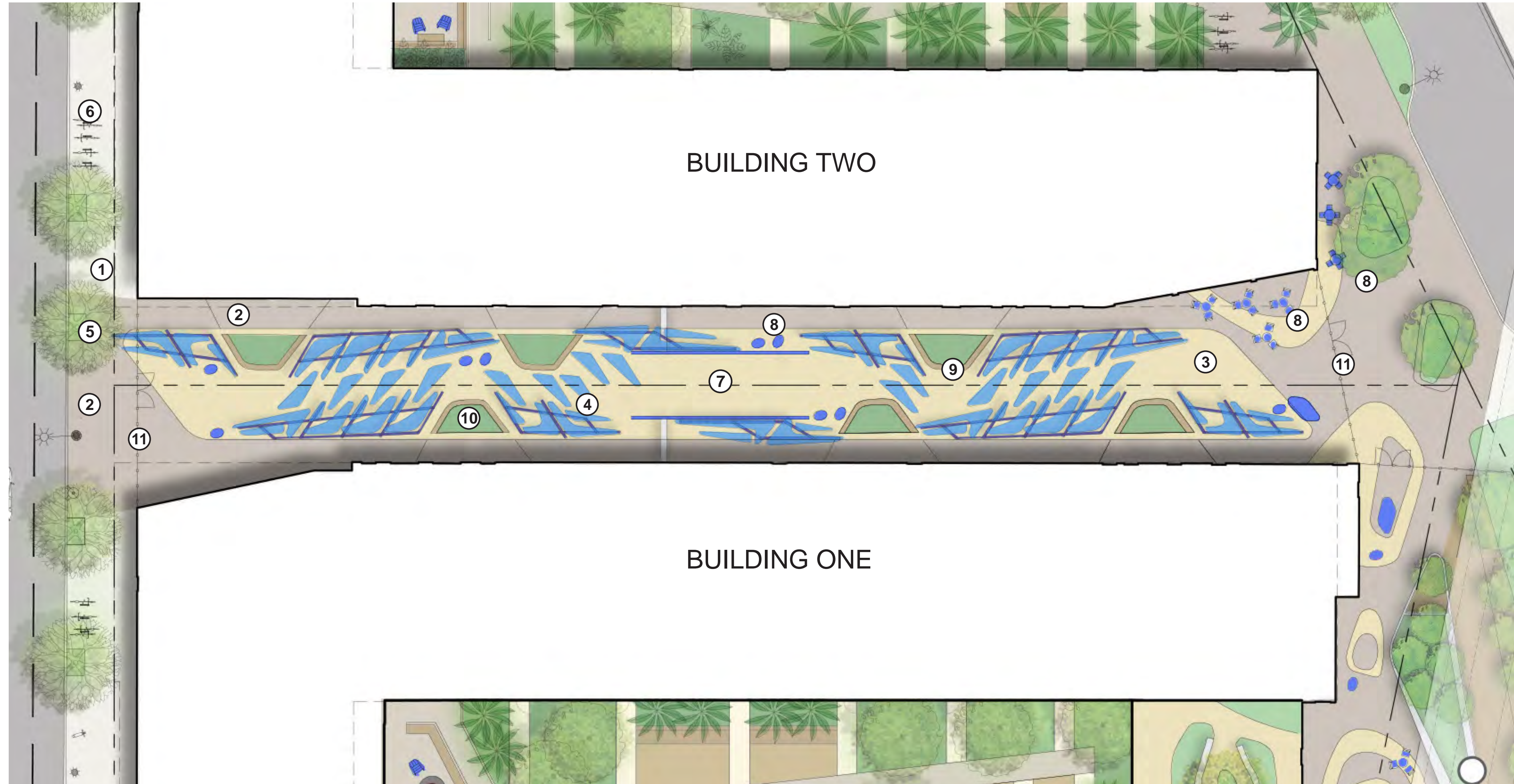
PRECEDENT IMAGERY



SITE PAVING



OVERHEAD TRELLIS STRUCTURE AND SEATING



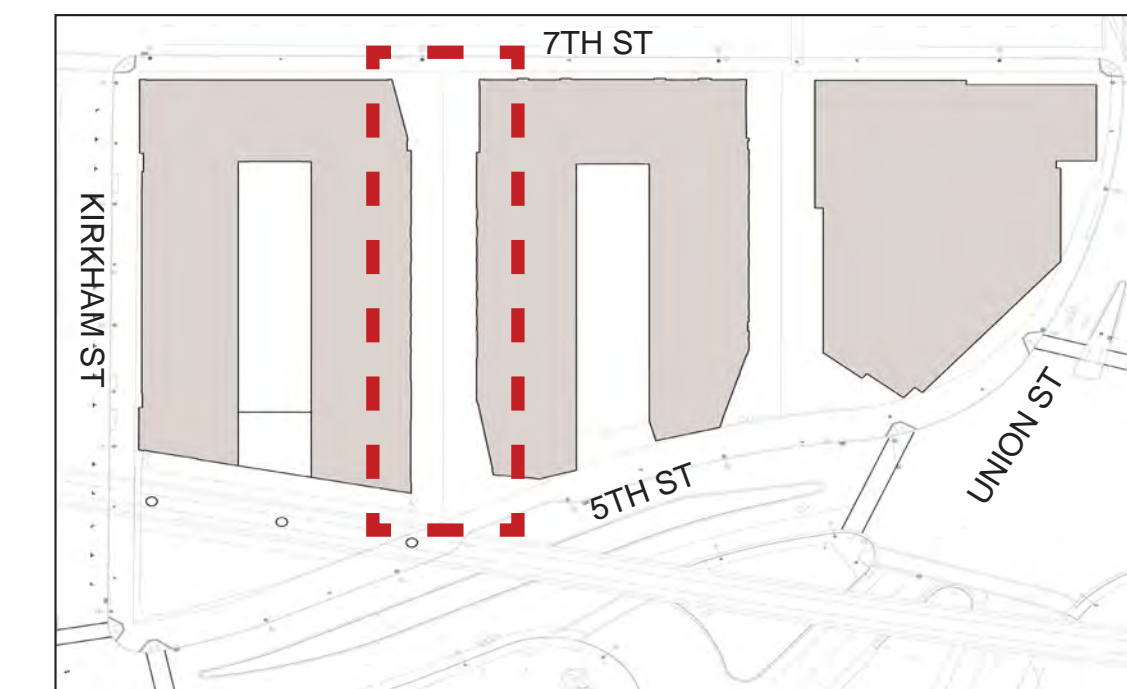
GENERAL NOTES:

- 1. DRIP IRRIGATION TO BE USED IN ALL LANDSCAPE AREAS.
- 2. 3" BARK MULCH TO BE USED IN ALL LANDSCAPED AREAS.

SITE LEGEND

- |  |                                      |
|--|--------------------------------------|
| ① CONCRETE PAVING CITY STANDARD  | ⑦ RAMP TO ACCOMMODATE SITE GRADING   |
| ② MORTAR SET COBBLE PAVING   | ⑧ MOVABLE FURNITURE                  |
| ③ FIBER REINFORCED INTEGRALLY COLORED CONCRETE PAVING WITH TOPCAST RETARDER FINISH. -20% CUSTOM TERRAZZO INLAY | ⑨ BUILT IN WOOD BENCH                |
| ④ OVERHEAD ART CANOPY  | ⑩ PLANTER WITH SHRUBS AND PERENNIALS |
| ⑤ PODOCARPUS GRACILIOR TREE ON 7TH ST., 24" BOX SIZE   | ⑪ FENCE AND GATE                     |
| ⑥ REQUIRED SHORT-TERM BICYCLE PARKING, TYP.  |                                      |

KEY PLAN



ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

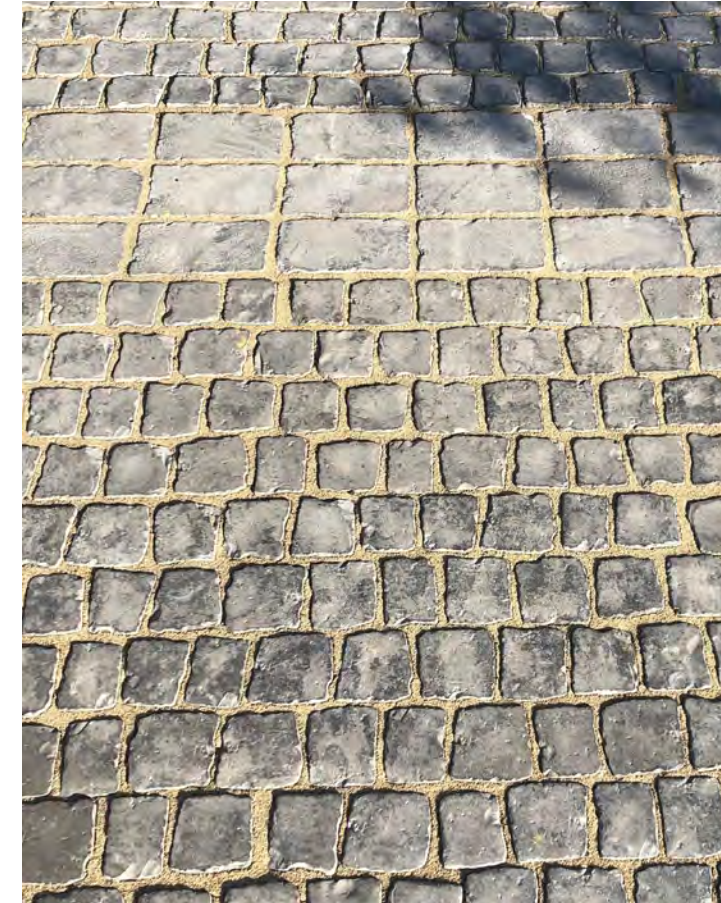




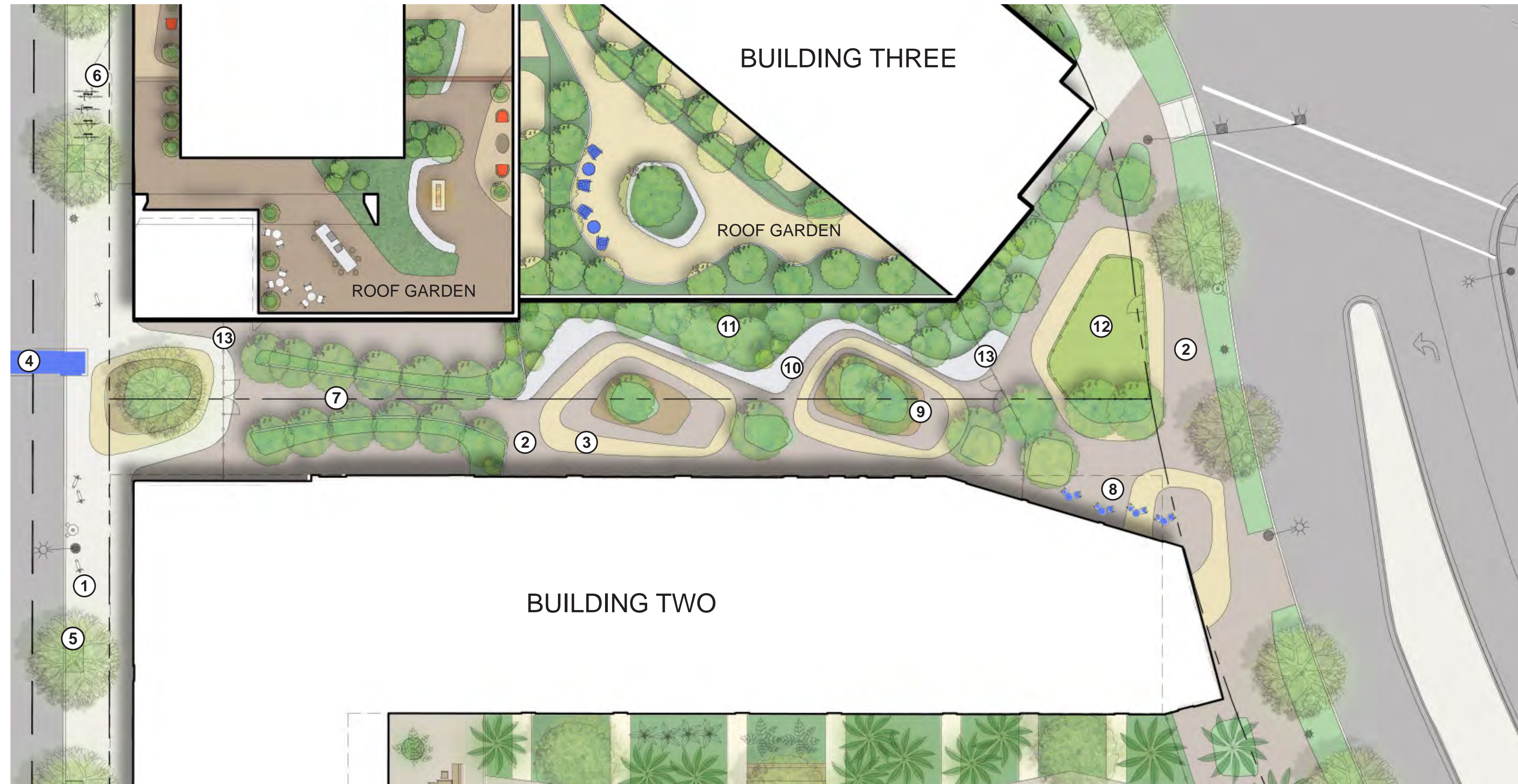
PRECEDENT IMAGERY



SITE PAVING



SEATWALL PLANTERS



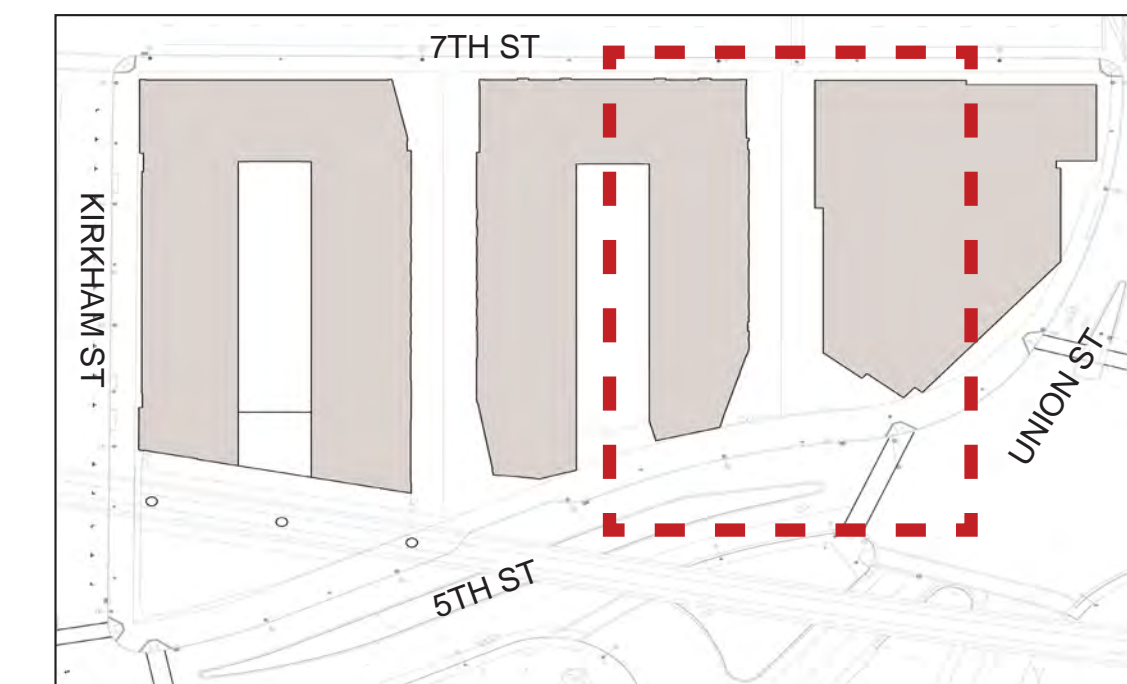
GENERAL NOTES:

1. DRIP IRRIGATION TO BE USED IN ALL LANDSCAPE AREAS.
2. 3" BARK MULCH TO BE USED IN ALL LANDSCAPED AREAS.

SITE LEGEND

- |   |   |
|---|---|
| ① CONCRETE PAVING<br>CITY STANDARD  | ⑦ RAMP TO ACCOMMODATE<br>SITE GRADING   |
| ② MORTAR SET COBBLE PAVING  | ⑧ MOVEABLE FURNITURE                    |
| ③ FIBER REINFORCED INTEGRALLY<br>COLORED CONCRETE PAVING<br>WITH TOPCAST RETARDER FINISH.<br>-20% CUSTOM TERRAZZO INLAY | ⑨ BUILT IN WOOD BENCH                   |
| ④ EXISTING ART GATEWAY  | ⑩ BUILT IN CONCRETE BENCH/PLANTER WALL  |
| ⑤ PODOCARPUS GRACILIOR TREE<br>ON 7TH ST., 24" BOX MINIMUM SIZE   | ⑪ PLANTER WITH SHRUBS<br>AND PERENNIALS |
| ⑥ REQUIRED SHORT-TERM BICYCLE<br>PARKING, TYP.  | ⑫ DOG PARK                              |
|   | ⑬ FENCE AND GATE                        |

KEY PLAN



PRECEDENT IMAGERY



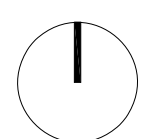
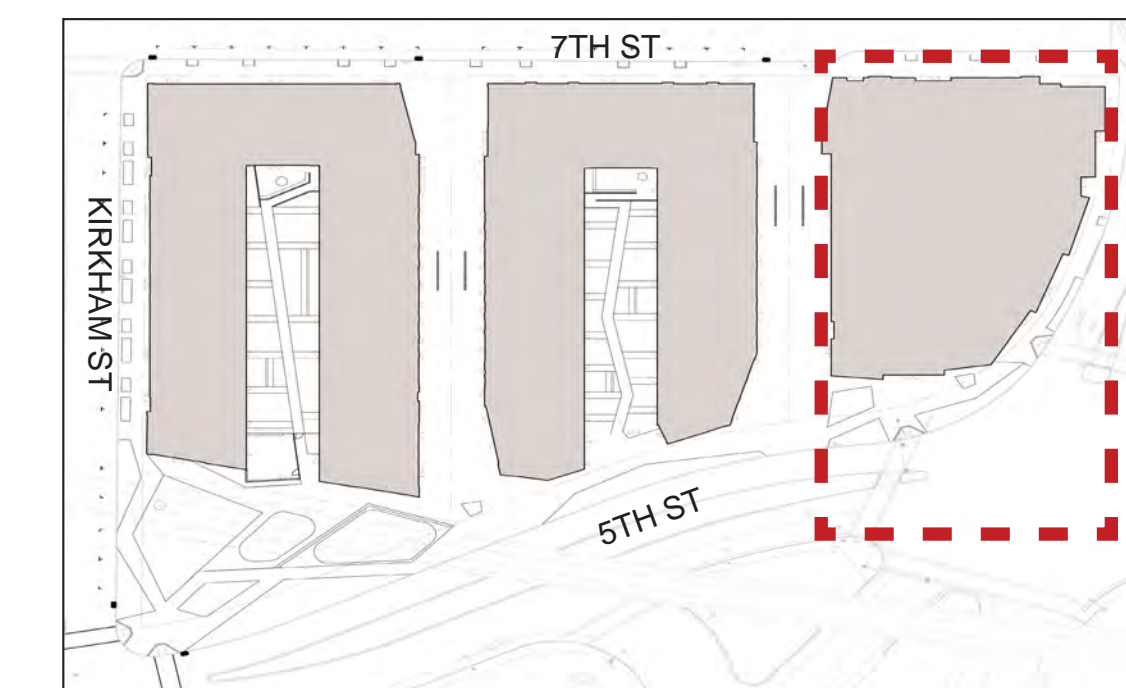
SITE LEGEND

- |                                       |                        |                             |
|---------------------------------------|------------------------|-----------------------------|
| ① PEDESTAL PAVING                     | ⑧ INDOOR LOUNGE        | ⑮ LUSH COURTYARD PLANTING   |
| ② CONCRETE PAVER AT PRIVATE COURTYARD | ⑨ PRIVATE PATIO FENCE  | ⑯ MEADOW ROOFTOP PLANTING   |
| ③ PLANTS IN POTS                      | ⑩ CITY VIEW            | ⑰ OLEA EUROPEA TREE         |
| ④ GLASS RAILING                       | ⑪ MOVABLE SEATING      | ⑱ ROOF PATIO TREE 1         |
| ⑤ BOLLARD LIGHT IN PLANTING           | ⑫ PARTY AREA           | ⑲ METAL FRAME WITH LIGHTING |
| ⑥ RAISED PLANTER                      | ⑬ FIRE PIT LOUNGE AREA |                             |
| ⑦ BUILT IN CONCRETE BENCH             | ⑭ BBQ COUNTER AND SINK |                             |

GENERAL NOTES:

1. DRIP IRRIGATION TO BE USED IN ALL LANDSCAPE AREAS.
2. 3" BARK MULCH TO BE USED IN ALL LANDSCAPED AREAS.

KEY PLAN





**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607



PRECEDENT IMAGERY



PLAYGROUND



PASSIVE PARK

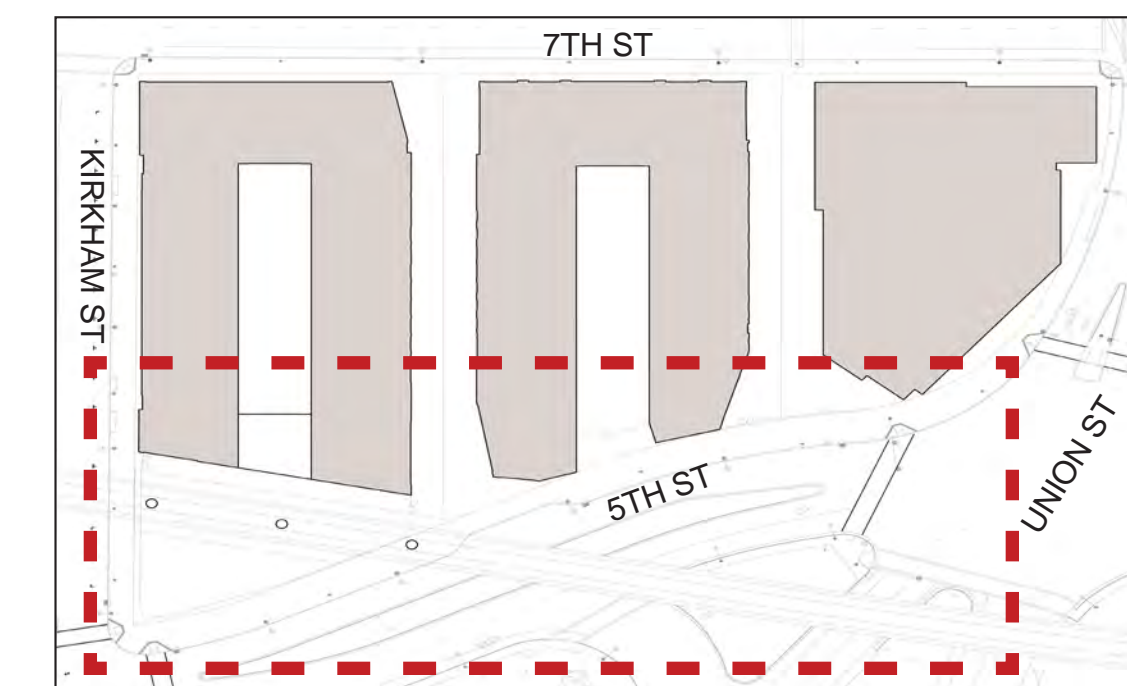
SITE LEGEND

- ① CONCRETE PAVING CITY STANDARD
- ② MORTAR SET COBBLE PAVING
- ③ DOG PARK WITH SYNTHETIC TURF
- ④ PLAYGROUND: 5-12 YRS
- ⑤ FLEXIBLE PLAZA SPACE
- ⑥ FENCE AND GATE
- ⑦ REQUIRED SHORT-TERM BICYCLE PARKING, TYP.
- ⑧ OVERHEAD ART CANOPY
- ⑨ QUERCUS VIRGINIANA AT 5TH ST., SIZE 24" BOX
- ⑩ MOVABLE SEATING
- ⑪ BUILT-IN CONCRETE BENCH
- ⑫ BART COLUMN/OVERHEAD BART
- ⑬ SIDEWALK PLANTER WITH LOW SHRUBS
- ⑭ LOW ORNAMENTAL TREE, SIZE 24" BOX

GENERAL NOTES:

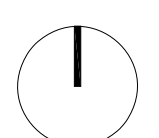
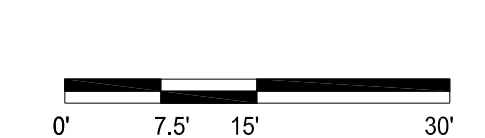
- 1. DRIP IRRIGATION TO BE USED IN ALL LANDSCAPE AREAS.
- 2. 3" BARK MULCH TO BE USED IN ALL LANDSCAPED AREAS.

KEY PLAN

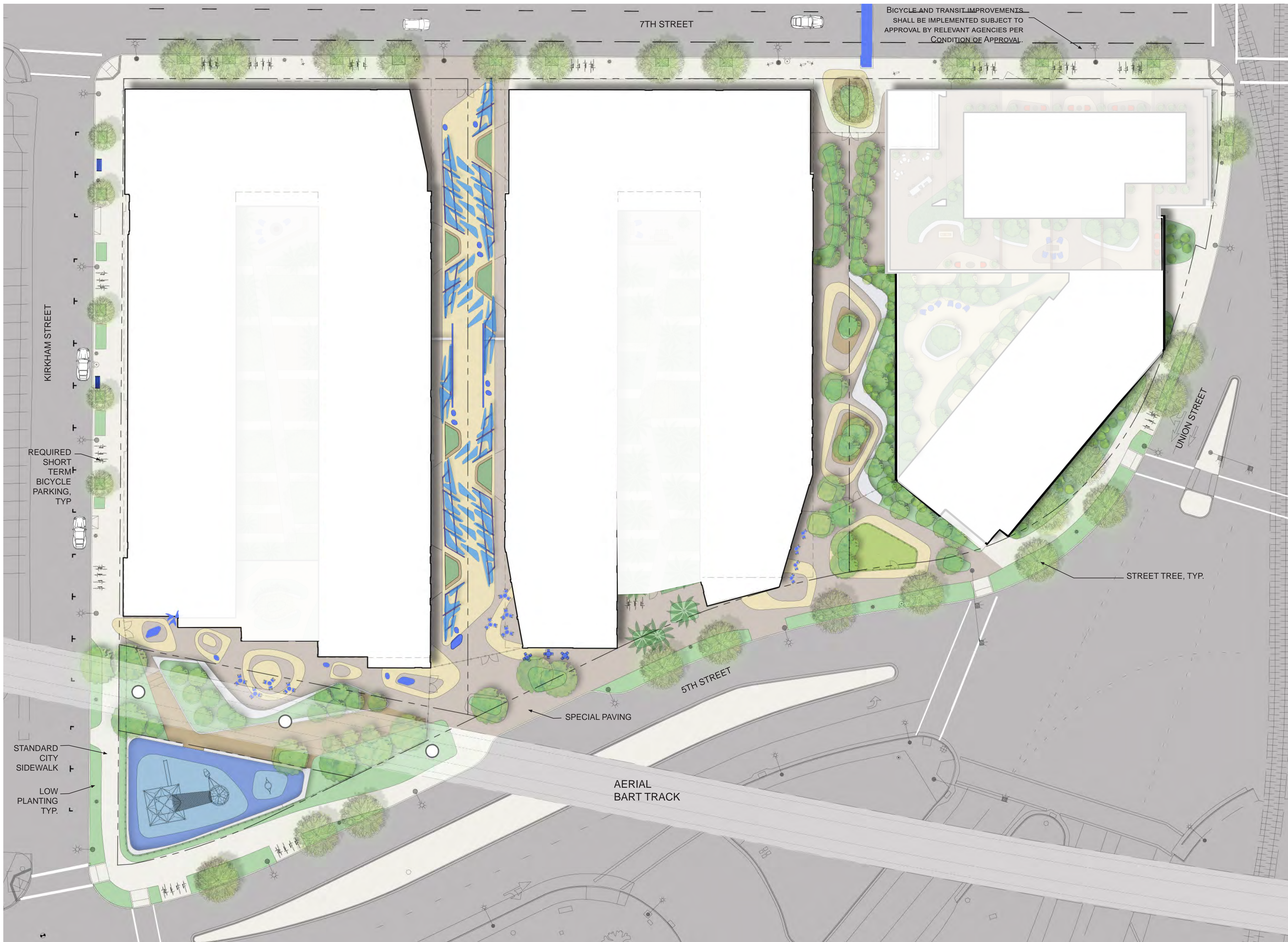


ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

PUBLIC REALM PLAN



**L7.00**

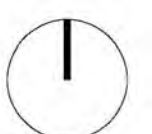
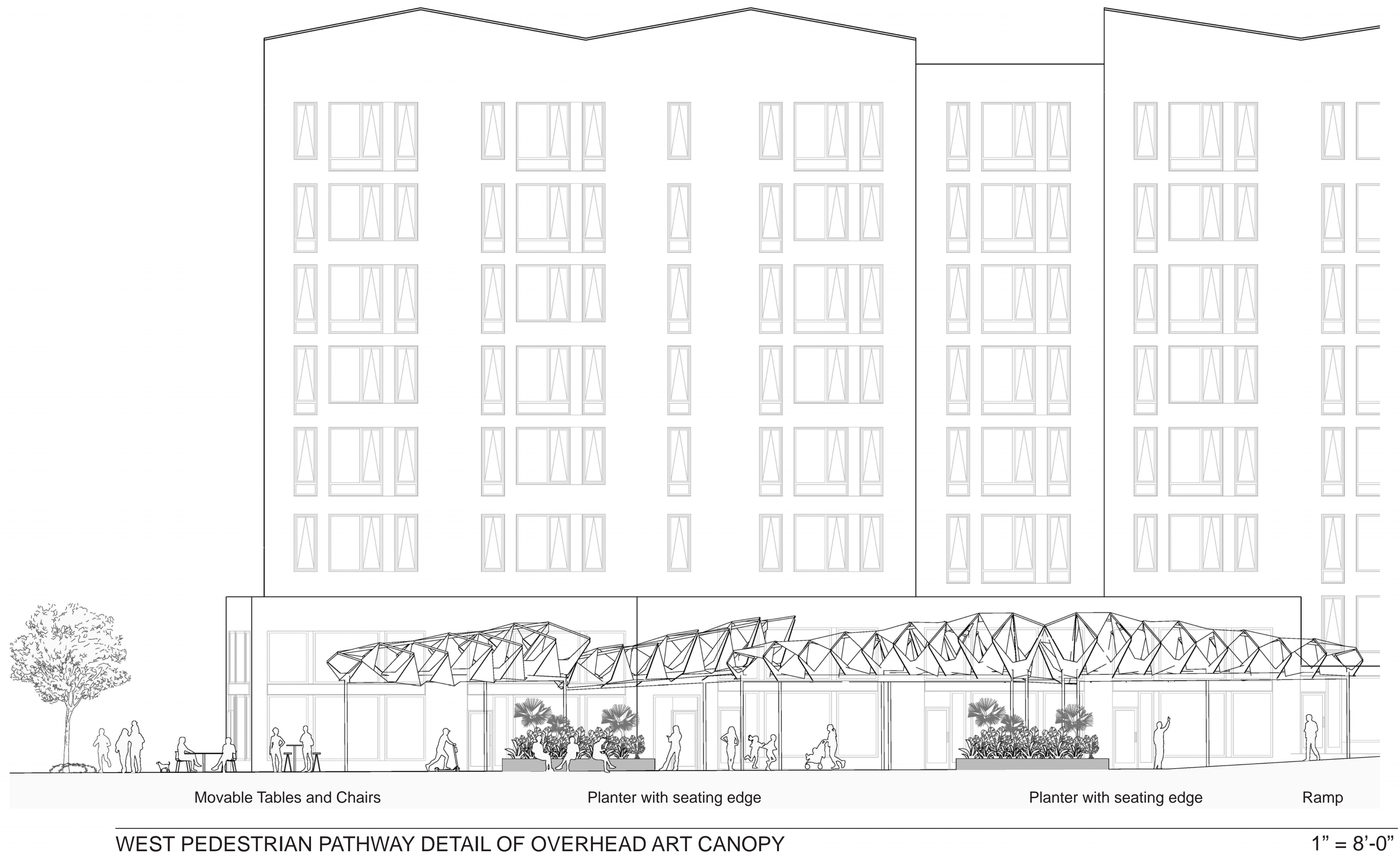
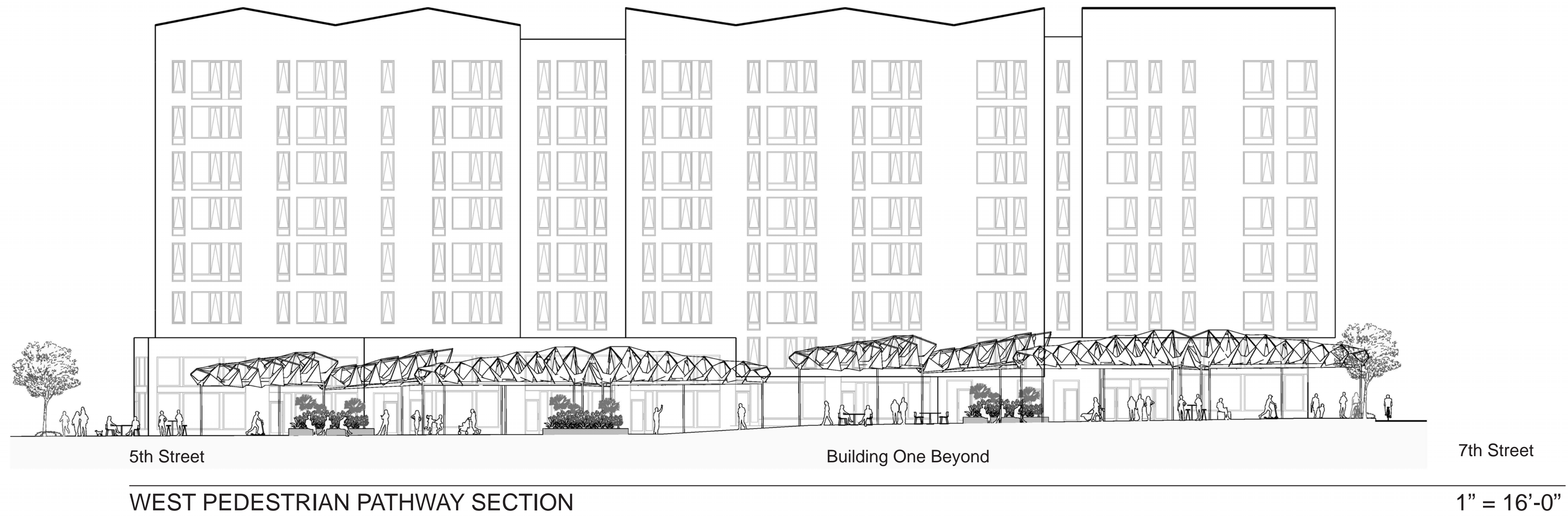


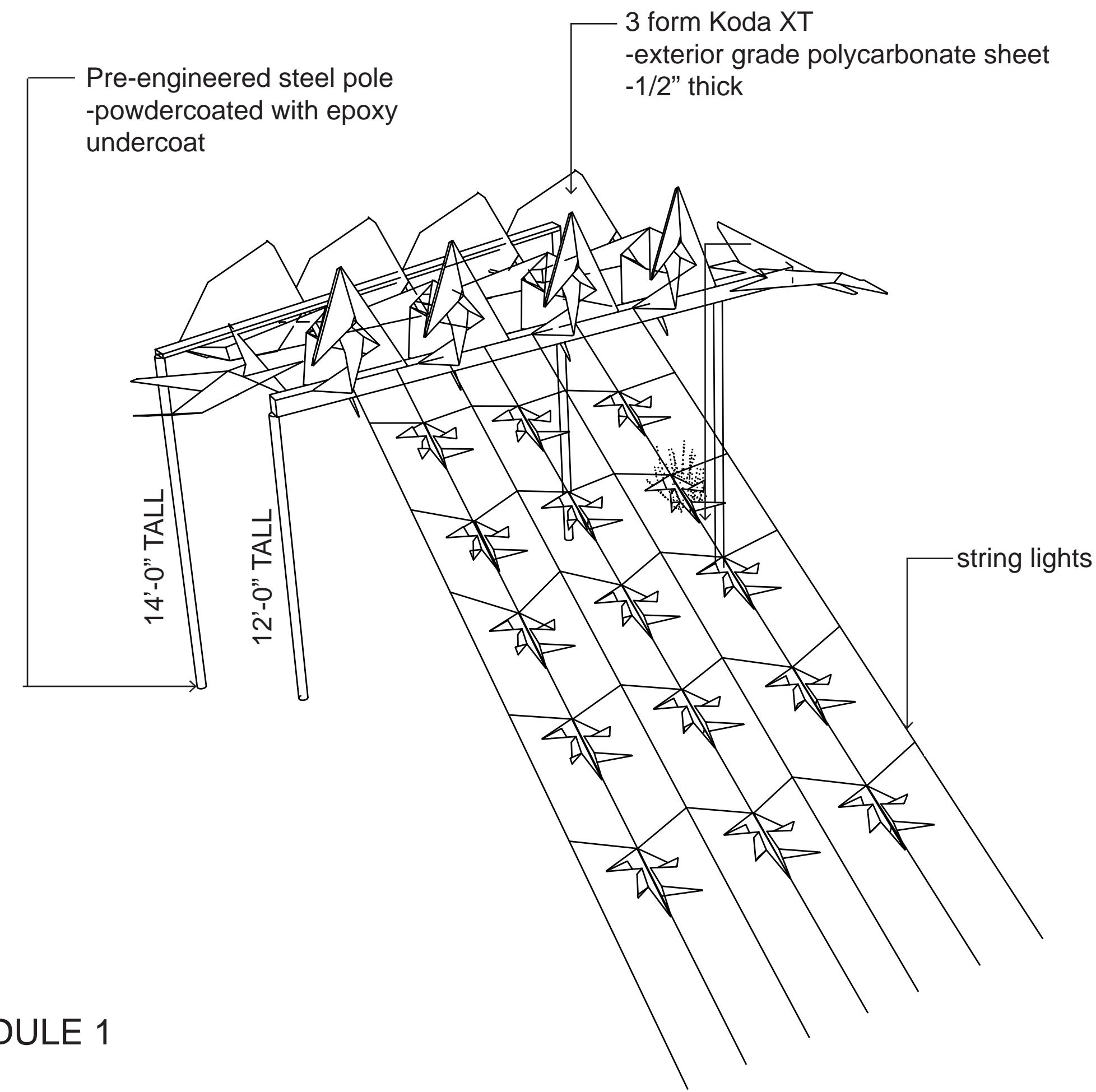
**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

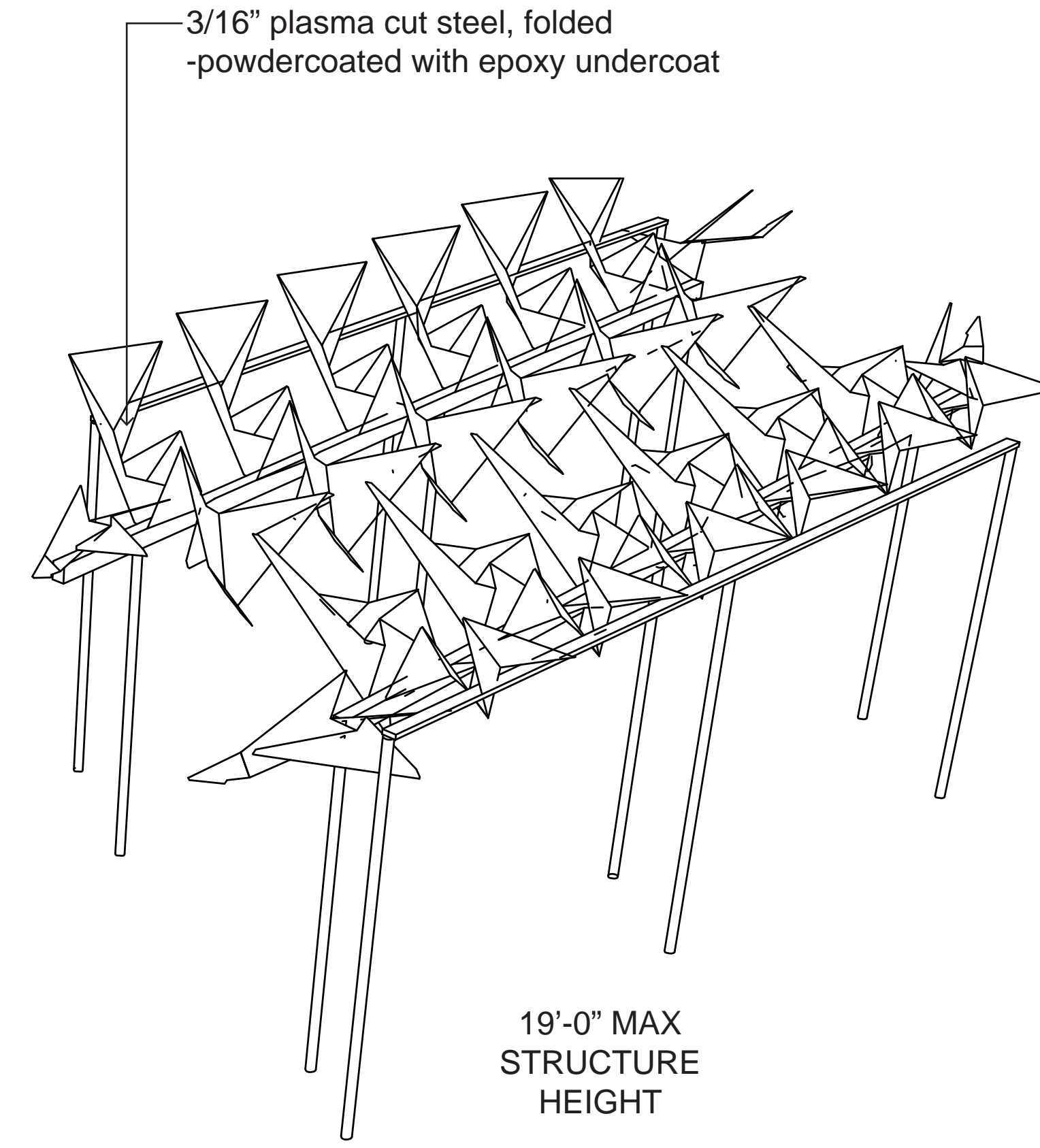


PRECEDENT IMAGERY





MODULE 1



MODULE 2

OVERHEAD ART CANOPY



ART CANOPY MODELS AND SHADOW

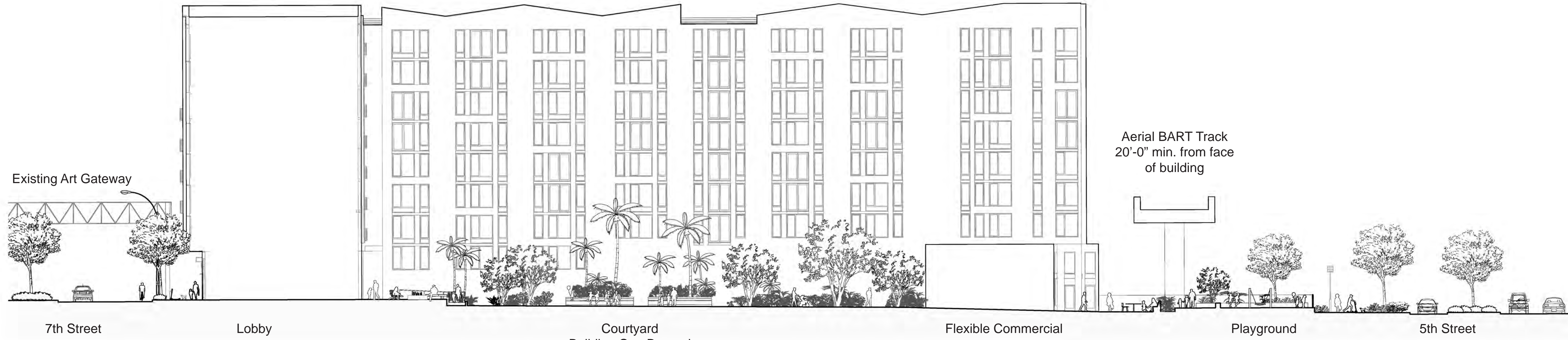


ARTIST WORK "OAK"  
Materials: 3/16" plasma cut steel, folded, and powdercoated with epoxy undercoat and polycarbonate sheet



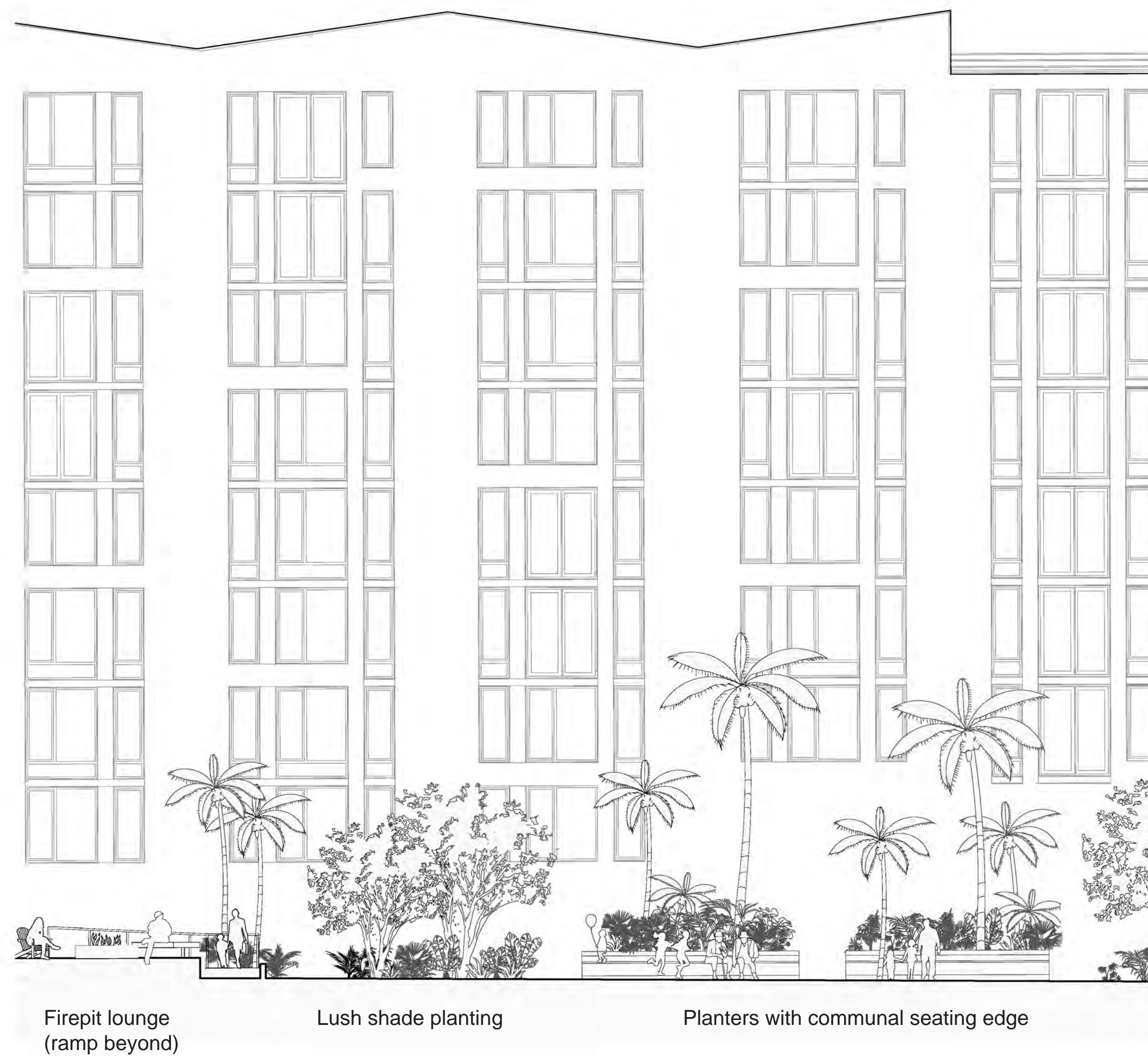
ARTIST WORK "FLIGHT"  
Materials: powdercoated steel, wood, and polycarbonate sheet

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



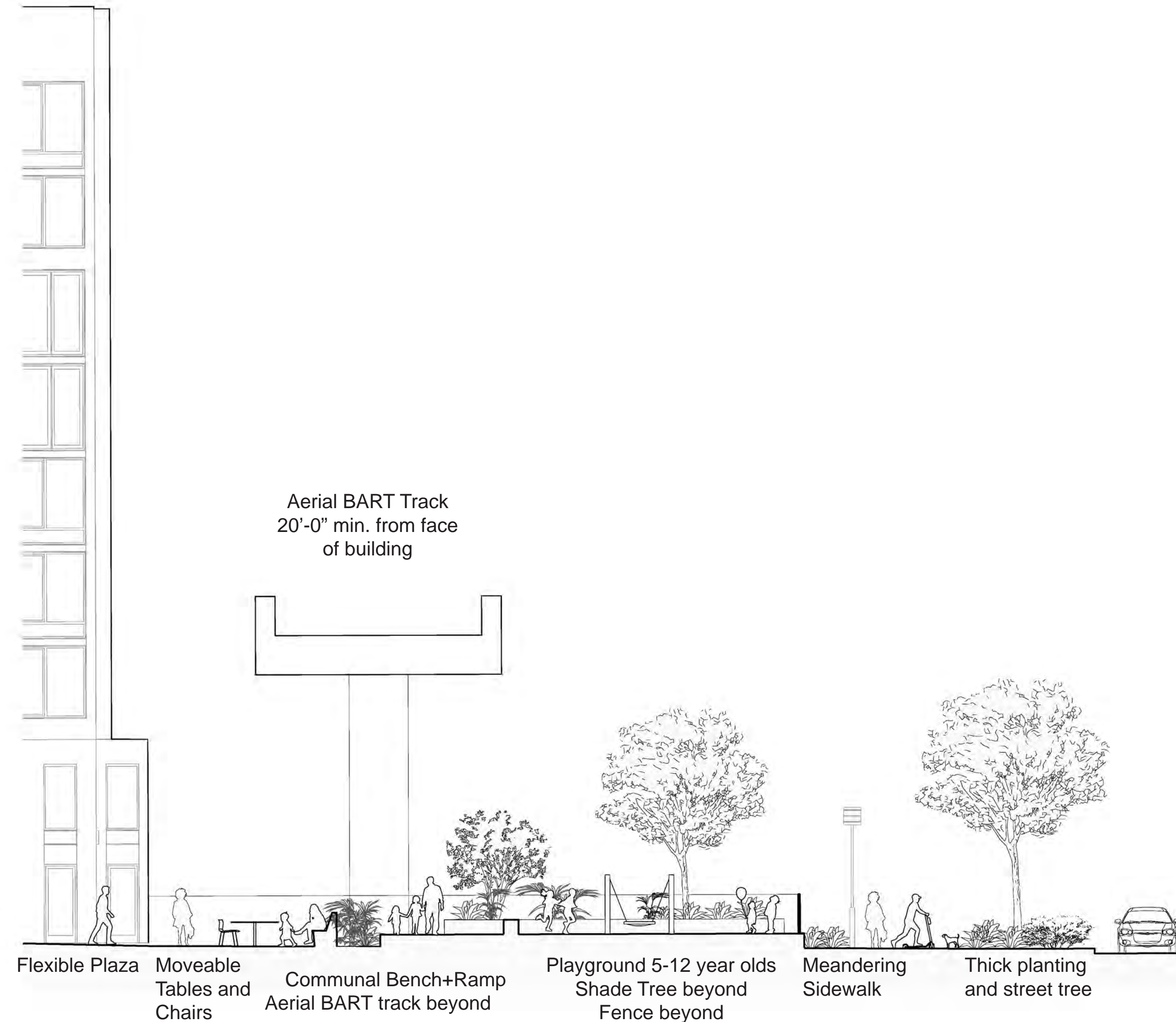
WEST COURTYARD AND OPEN SPACE AND PLAYGROUND SITE SECTION

1" = 16'-0"



WEST COURTYARD SITE DETAIL SECTION

1" = 8'-0"



OPEN SPACE AND PLAYGROUND SITE DETAIL SECTION

1" = 8'-0"

**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

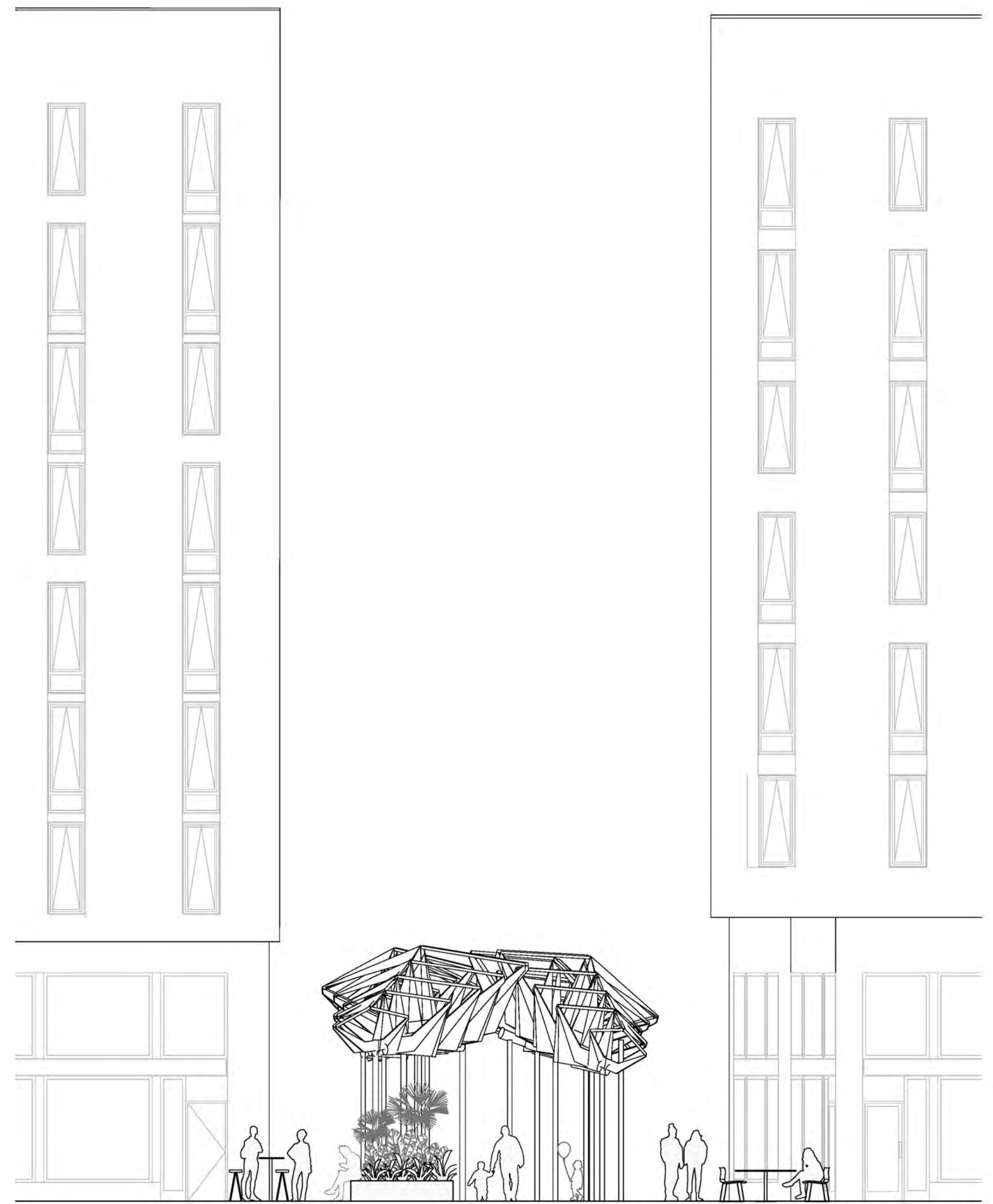
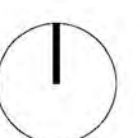
SITE SECTIONS

**L9.00**



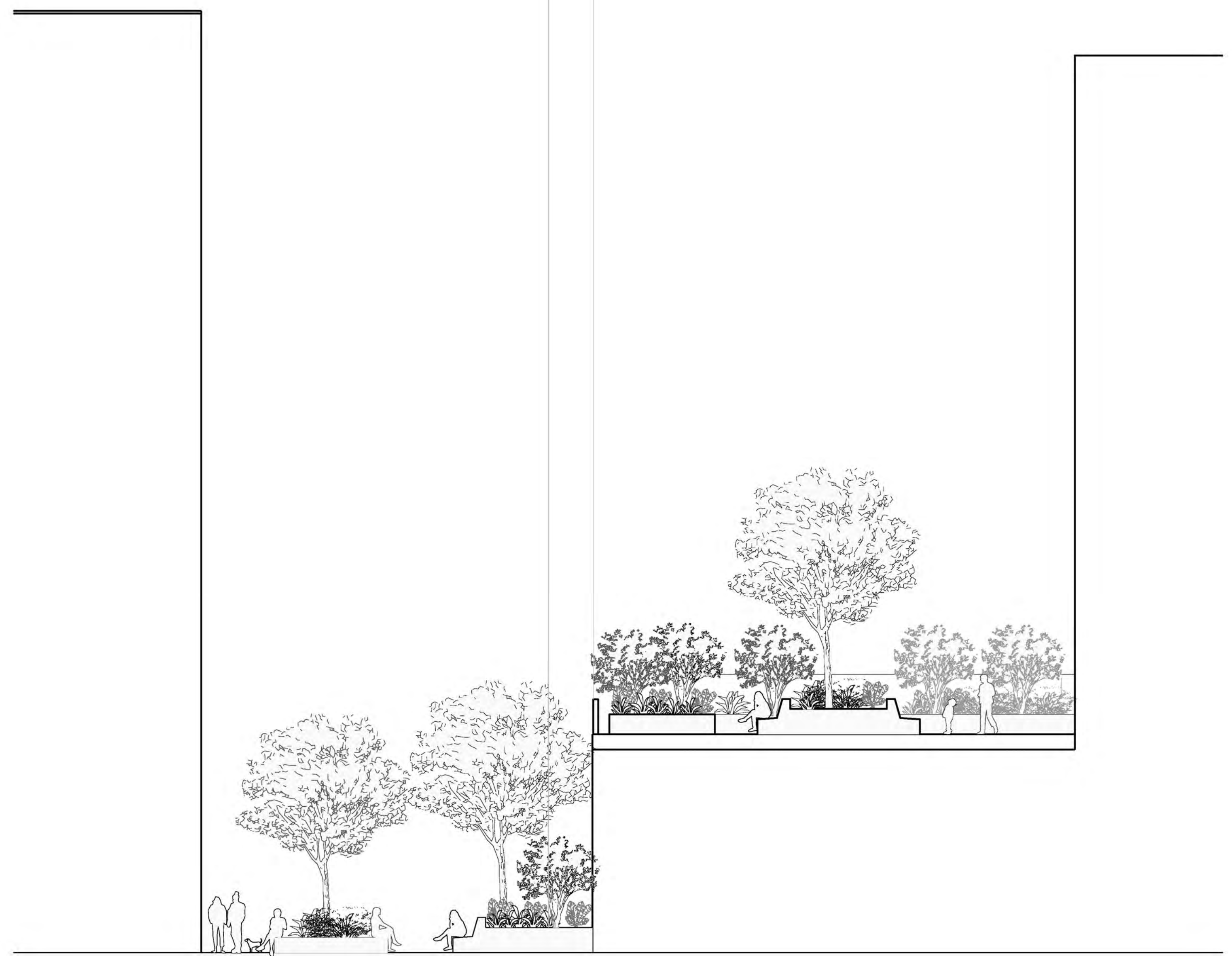
**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



WEST ALLEY SECTION

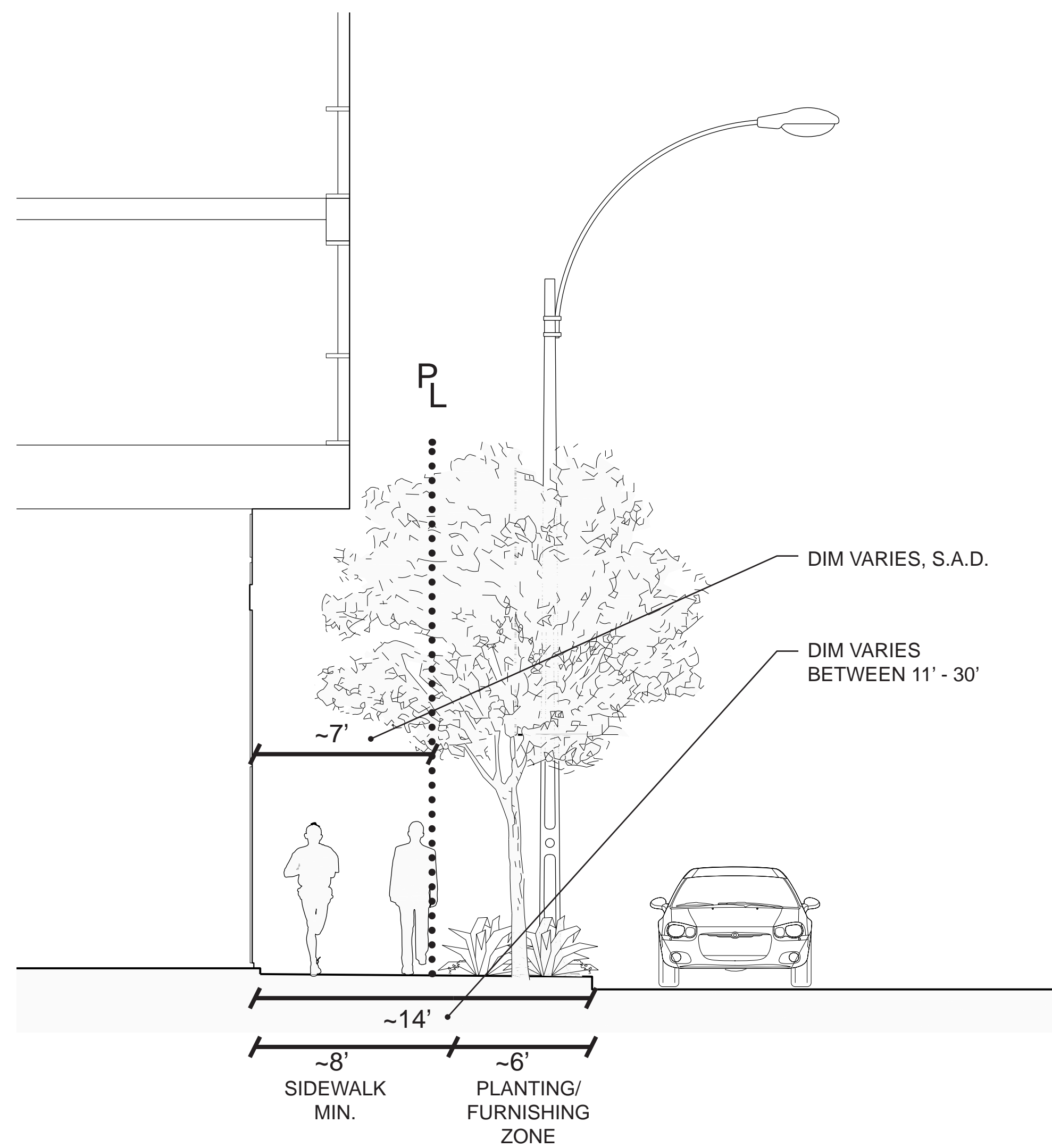
1" = 8'-0"



EAST ALLEY AND PODIUM ROOF GARDEN SECTION

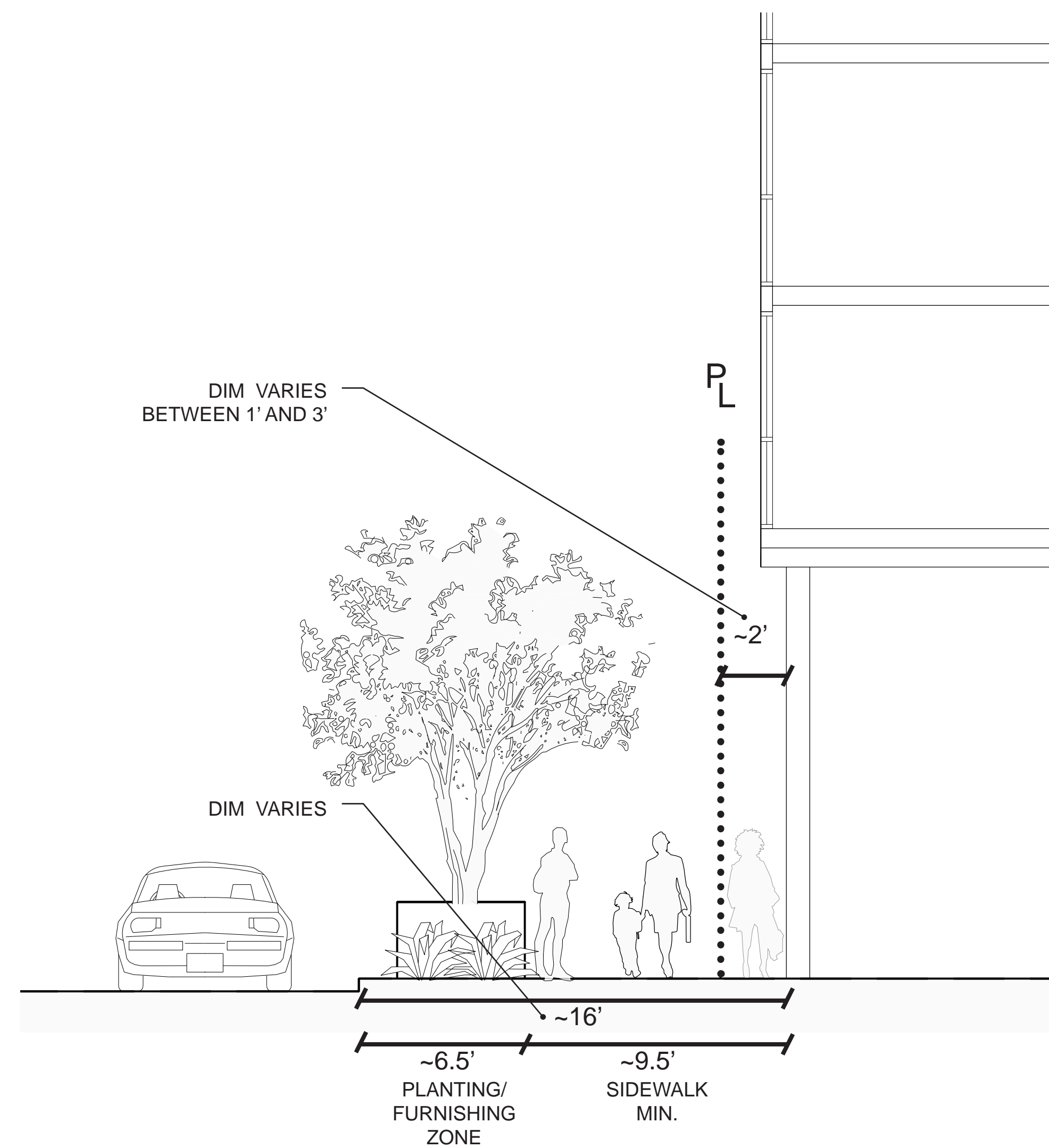
1" = 8'-0"





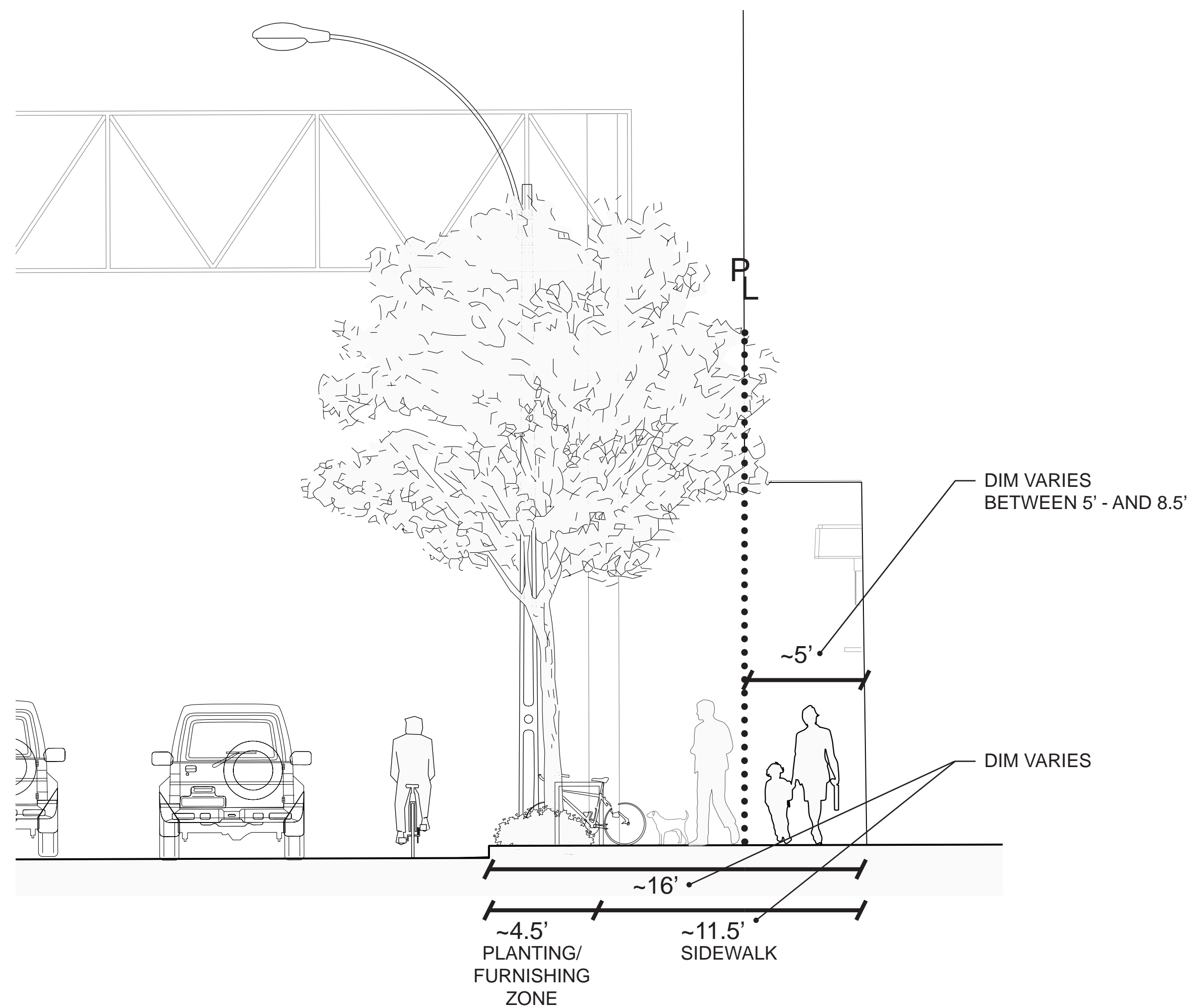
UNION ST. SIDEWALK SECTION AT TOWER

1" = 4'-0"



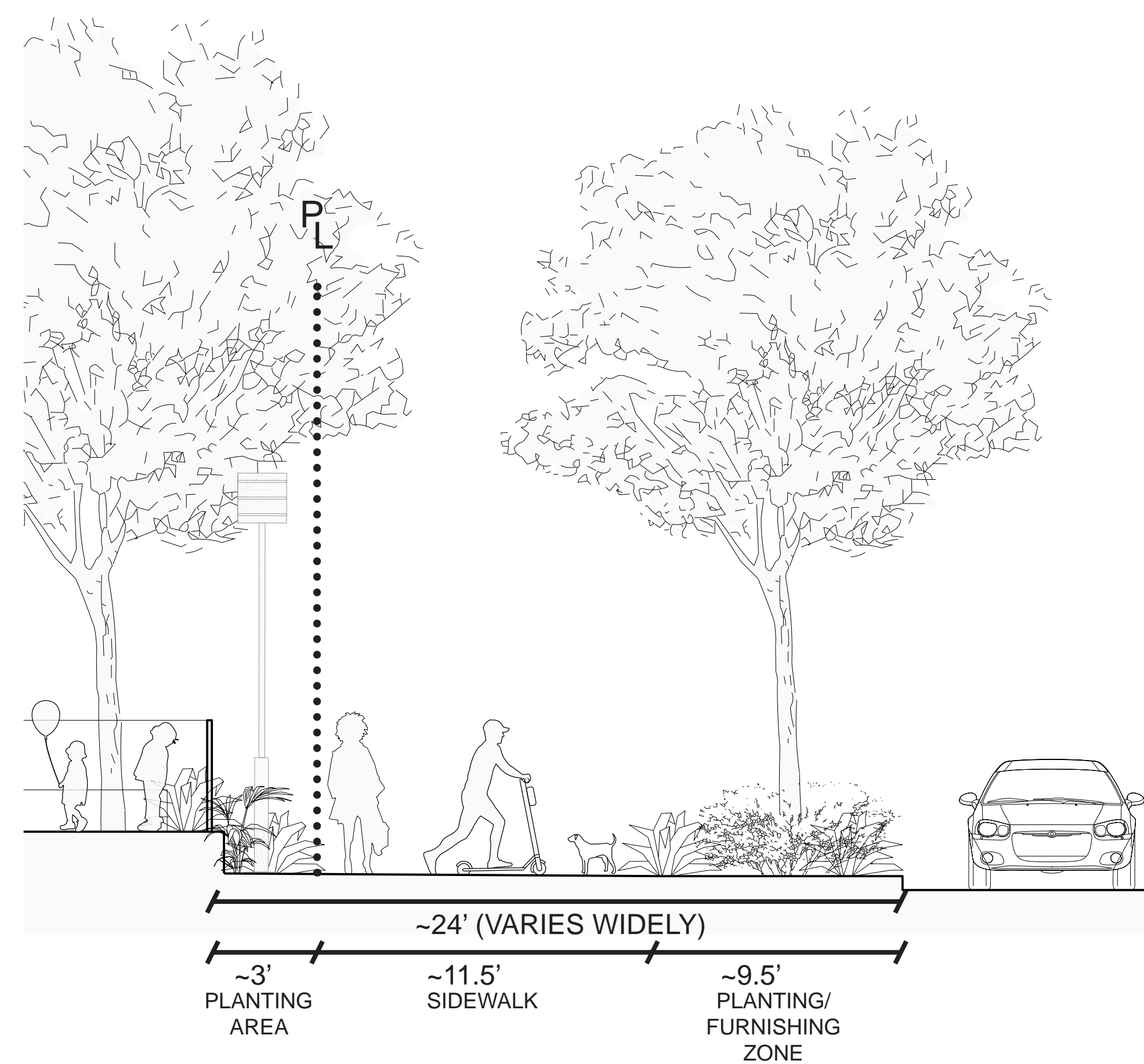
KIRKHAM ST. SIDEWALK SECTION

1" = 4'-0"



7th ST. SIDEWALK SECTION AT BUILDING ONE

1" = 4'-0"



5TH ST. SIDEWALK SECTION

1" = 4'-0"

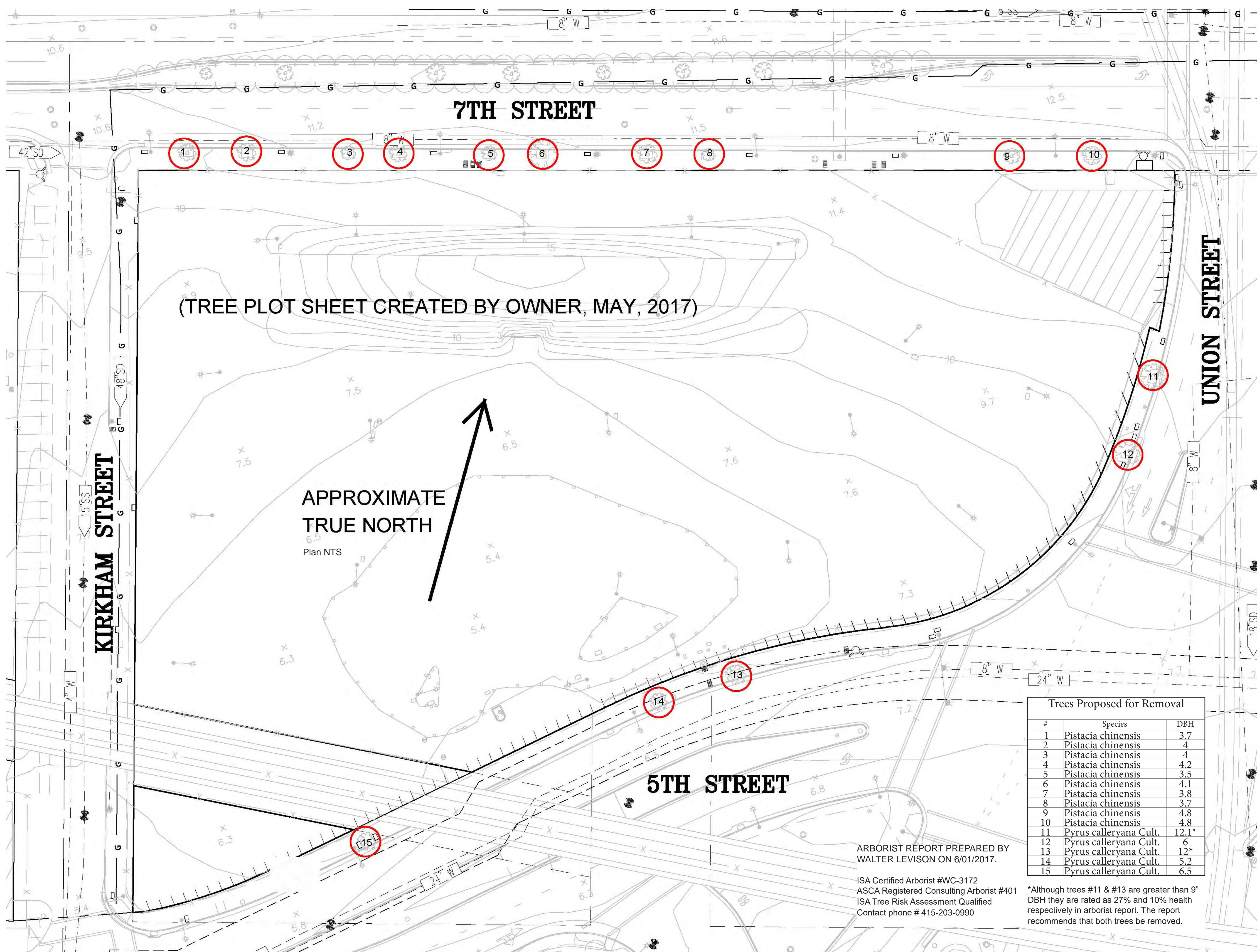
**SHEET NOTES:**

1. SIDEWALK WIDTH AND DISTANCE FROM BUILDING TO PROPERTY LINE VARIES THROUGHOUT THE SITE. SEE ARCHITECTURE PLANS.

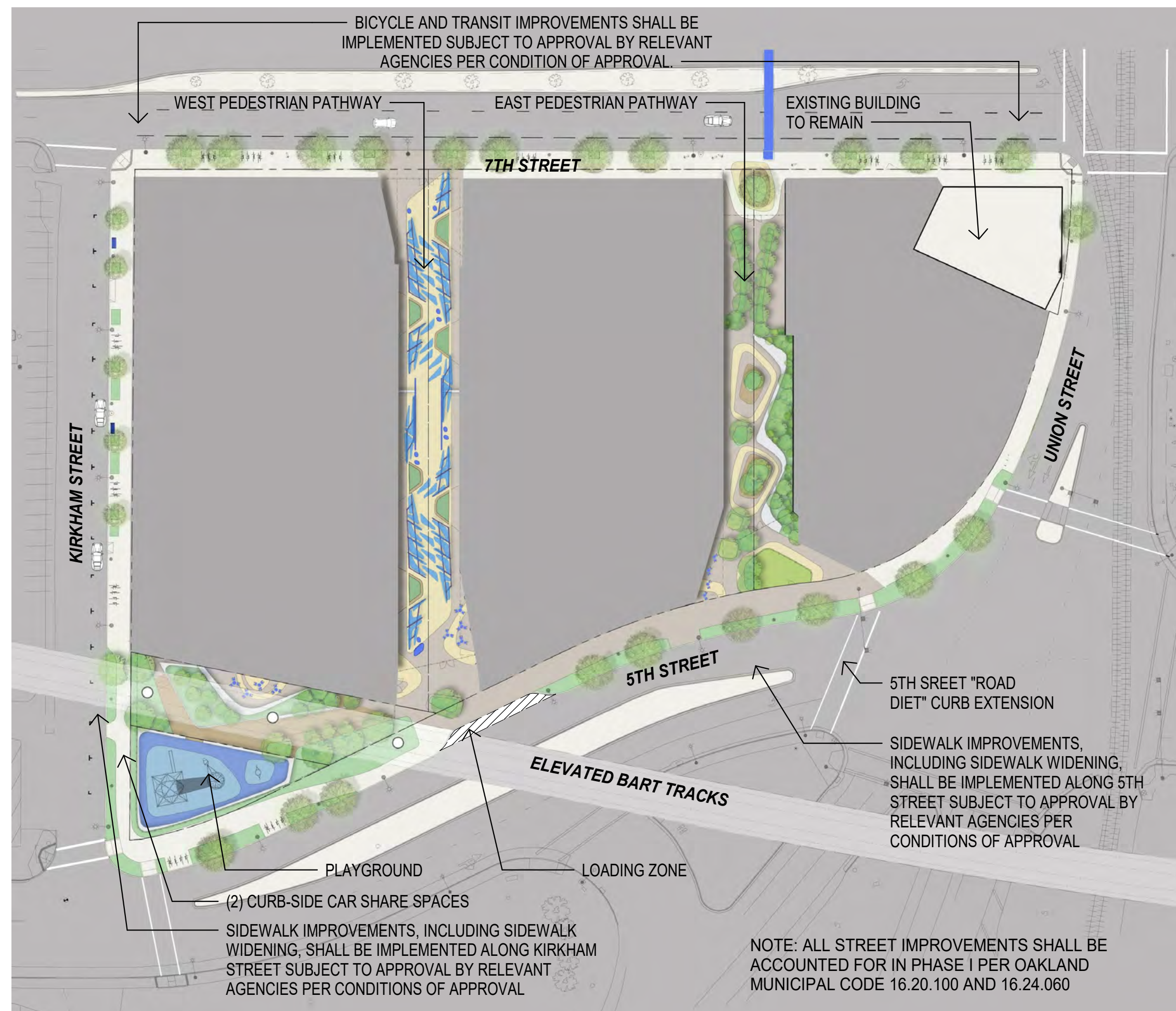
1. TREE WELLS ARE A MINIMUM OF 6'X4' WIDE AND COMPLY WITH CITY STANDARDS.

2. ALL BIKE RACKS LAYED OUT IN SITE FURNISHING ZONES COMPLY WITH CITY OF OAKLAND MINIMUM CLEARANCE STANDARDS.

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

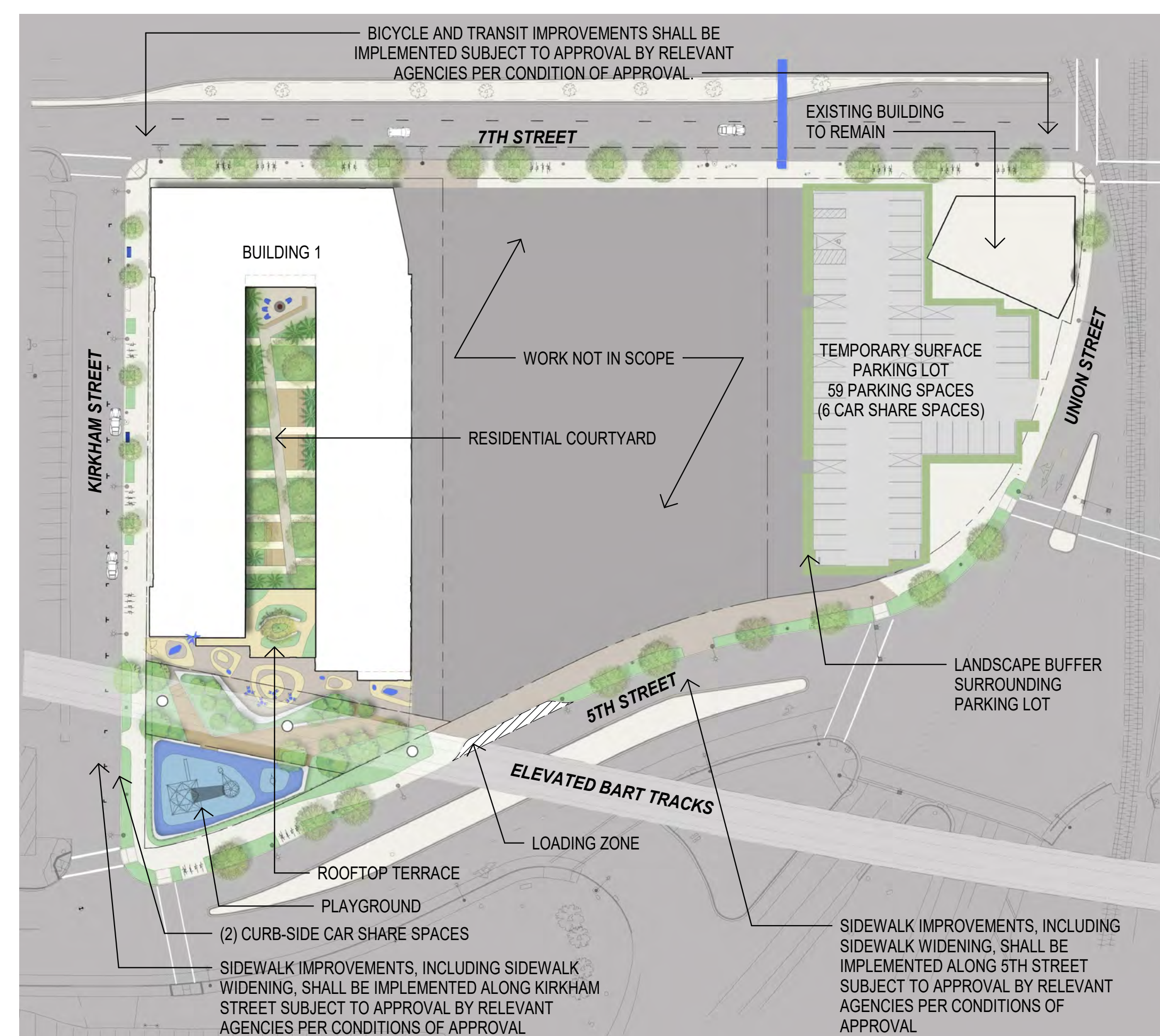


ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



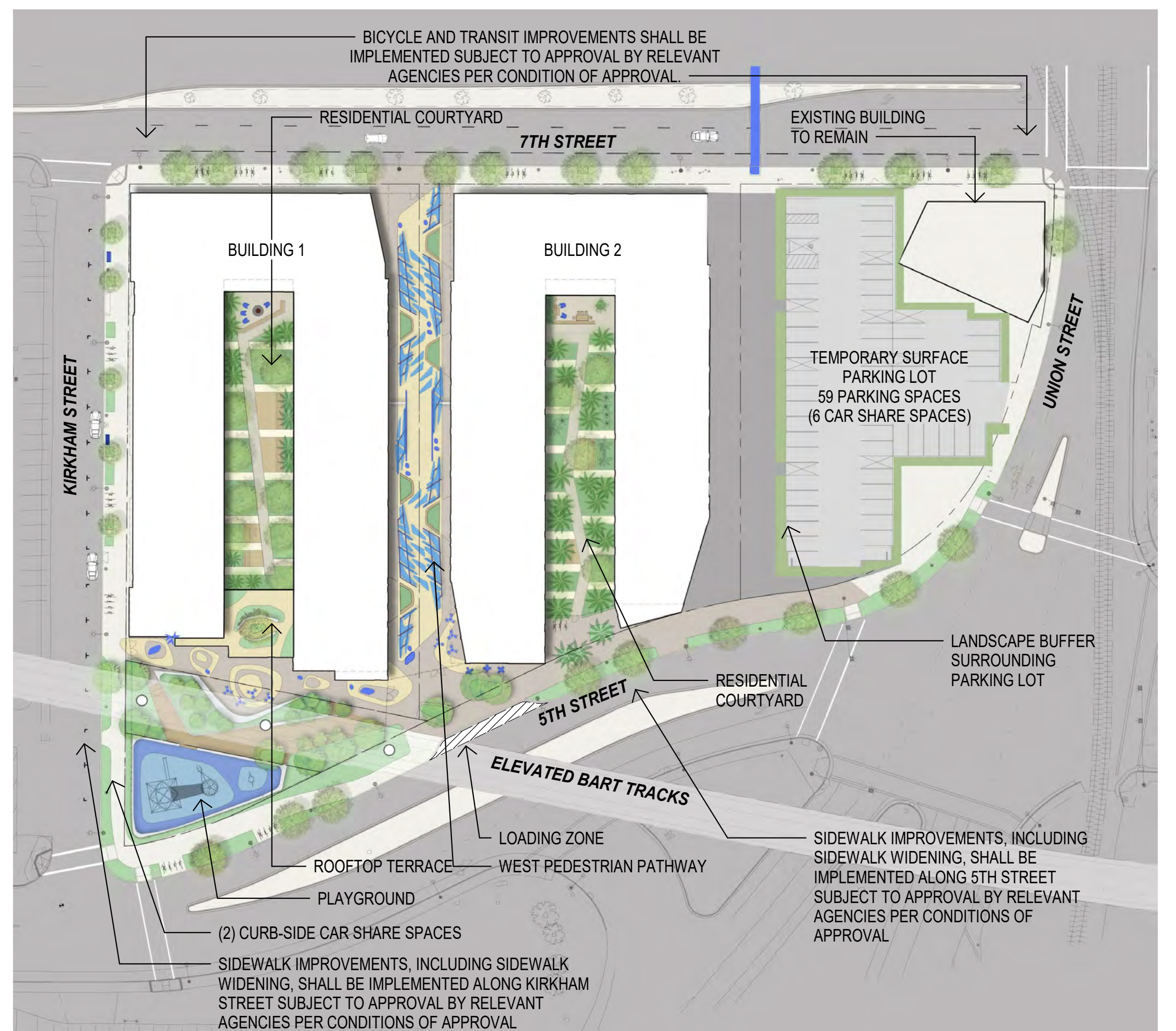
PHASE 1 DIAGRAM

1



PHASE 2 DIAGRAM

2



PHASE 3 DIAGRAM

3



PHASE 4 DIAGRAM

4

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



BUILDING DELIVERY PHASE 2

1



BUILDING DELIVERY PHASE 3

2



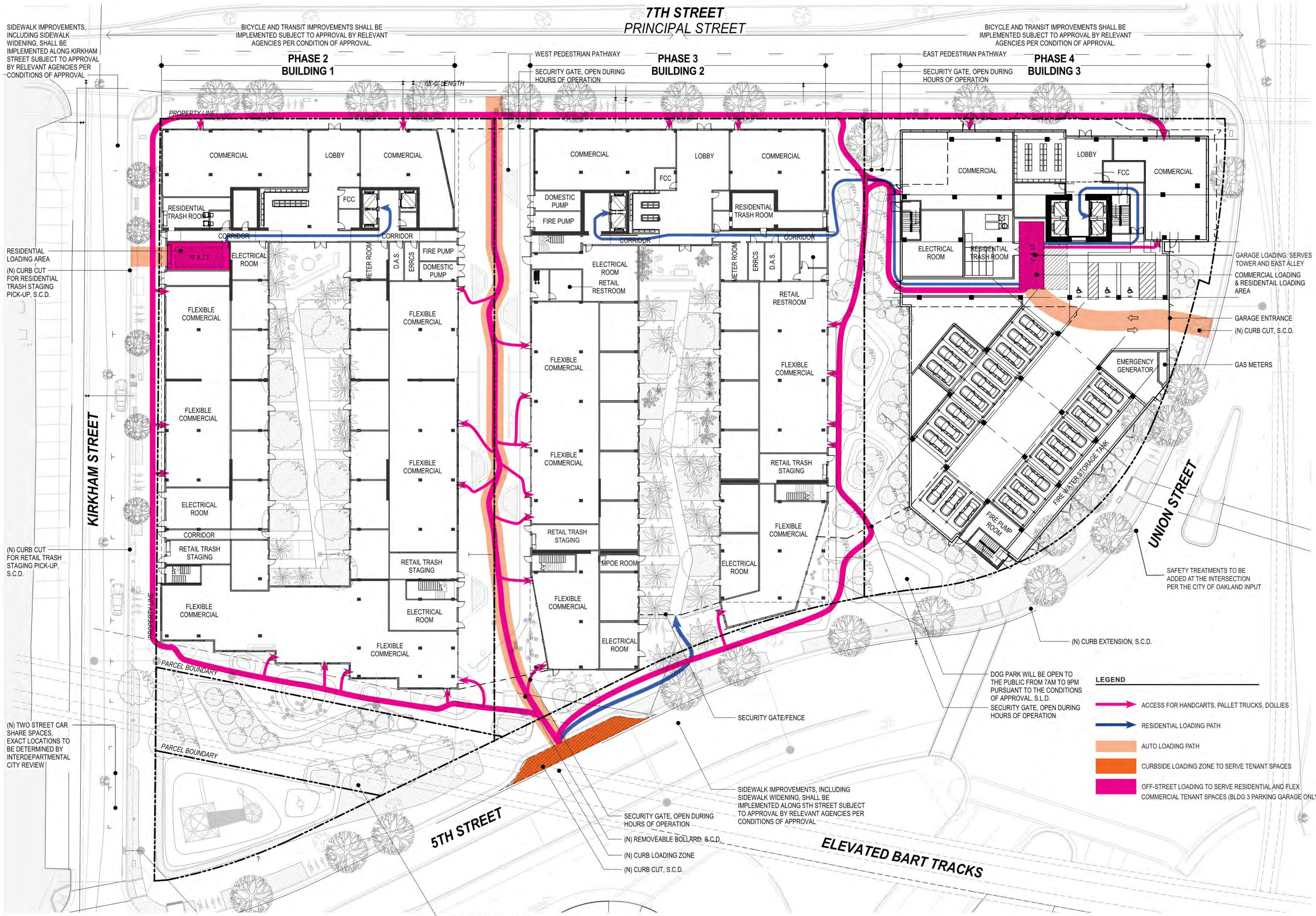
BUILDING DELIVERY PHASE 4

3

**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

**BUILDING  
DELIVERY  
PHASING  
RENDERINGS**



SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG KIRKHAM STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITIONS OF APPROVAL

BICYCLE AND TRANSIT IMPROVEMENTS SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

BICYCLE AND TRANSIT IMPROVEMENTS SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

RESIDENTIAL LOADING AREA (N) CURB CUT FOR RESIDENTIAL TRASH STAGING PICK-UP, S.C.D.

(N) CURB CUT FOR RETAIL TRASH STAGING PICK-UP, S.C.D.

(N) TWO STREET CAR SHARE SPACES, EXACT LOCATIONS TO BE DETERMINED BY INTERDEPARTMENTAL CITY REVIEW

WEST PEDESTRIAN PATHWAY  
SECURITY GATE, OPEN DURING HOURS OF OPERATION

EAST PEDESTRIAN PATHWAY  
SECURITY GATE, OPEN DURING HOURS OF OPERATION

SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG 5TH STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITIONS OF APPROVAL

SECURITY GATE, OPEN DURING HOURS OF OPERATION  
(N) REMOVEABLE BOLLARD, S.C.D.  
(N) CURB LOADING ZONE  
(N) CURB CUT, S.C.D.

GARAGE LOADING: SERVES TOWER AND EAST ALLEY  
COMMERCIAL LOADING & RESIDENTIAL LOADING AREA

GARAGE ENTRANCE (N) CURB CUT, S.C.D.

GAS METERS

SAFETY TREATMENTS TO BE ADDED AT THE INTERSECTION PER THE CITY OF OAKLAND INPUT

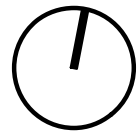
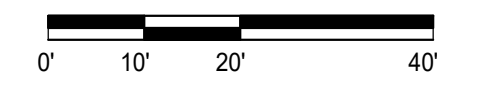
(N) CURB EXTENSION, S.C.D.

DOG PARK WILL BE OPEN TO THE PUBLIC FROM 7AM TO 9PM PURSUANT TO THE CONDITIONS OF APPROVAL, S.I.D.  
SECURITY GATE, OPEN DURING HOURS OF OPERATION

- LEGEND**
- ACCESS FOR HANDCARTS, PALLET TRUCKS, DOLLIES
  - RESIDENTIAL LOADING PATH
  - AUTO LOADING PATH
  - CURBSIDE LOADING ZONE TO SERVE TENANT SPACES
  - OFF-STREET LOADING TO SERVE RESIDENTIAL AND FLEX COMMERCIAL TENANT SPACES (BLDG 3 PARKING GARAGE ONLY)

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

LOADING DIAGRAM 1





SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG KIRKHAM STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITIONS OF APPROVAL

BICYCLE AND TRANSIT IMPROVEMENTS SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

BICYCLE AND TRANSIT IMPROVEMENTS SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

RESIDENTIAL LOADING AREA (N) CURB CUT FOR RESIDENTIAL TRASH STAGING PICK-UP, S.C.D.

(N) CURB CUT FOR RETAIL TRASH STAGING PICK-UP, S.C.D.

(N) TWO STREET CAR SHARE SPACES, EXACT LOCATIONS TO BE DETERMINED BY INTERDEPARTMENTAL CITY REVIEW

WEST PEDESTRIAN PATHWAY  
SECURITY GATE, OPEN DURING HOURS OF OPERATION

EAST PEDESTRIAN PATHWAY  
SECURITY GATE, OPEN DURING HOURS OF OPERATION

COMMERCIAL LOADING & RESIDENTIAL LOADING AREA  
GARAGE ENTRANCE (N) CURB CUT, S.C.D.  
GAS METERS

SAFETY TREATMENTS TO BE ADDED AT THE INTERSECTION PER THE CITY OF OAKLAND INPUT

(N) CURB EXTENSION, S.C.D.

DOG PARK WILL BE OPEN TO THE PUBLIC FROM 7AM TO 9PM PURSUANT TO THE CONDITIONS OF APPROVAL, S.L.D.  
SECURITY GATE, OPEN DURING HOURS OF OPERATION

OPEN DURING HOURS OF OPERATION  
SECURITY GATE/FENCE

SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG 5TH STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITIONS OF APPROVAL

SECURITY GATE, OPEN DURING HOURS OF OPERATION  
(N) REMOVEABLE BOLLARD, S.C.D.  
(N) CURB LOADING ZONE

SECURITY FENCE TO BE LOCKED AT NIGHT  
(N) CURB CUT, S.C.D.

(N) FENCED AREA, S.L.D. OPEN DURING HOURS OF OPERATION

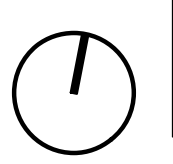
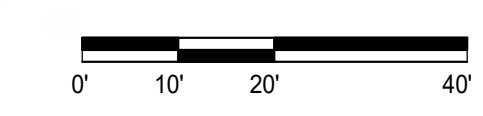
**LEGEND**

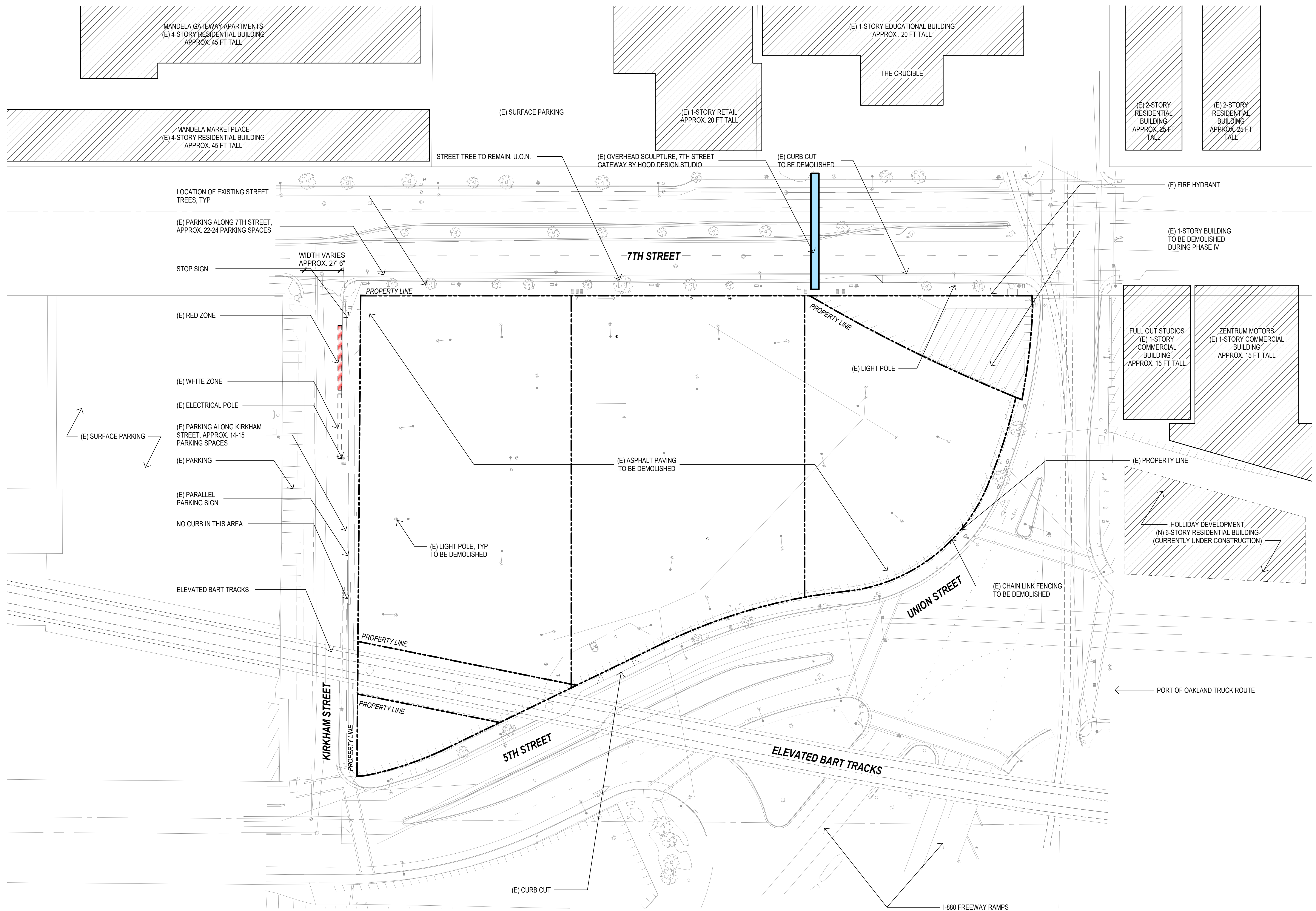
- 360 SECURITY CAMERA
- 50' CAMERA RADIUS
- INTERCOM, CAMERA, AND KEYLESS ENTRY SYSTEM
- FENCING AND GATES
- RETRACTABLE FENCING AND GATE
- NO LOITERING SIGNAGE
- SECURITY MONITOR

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

**SITE SECURITY DIAGRAM**

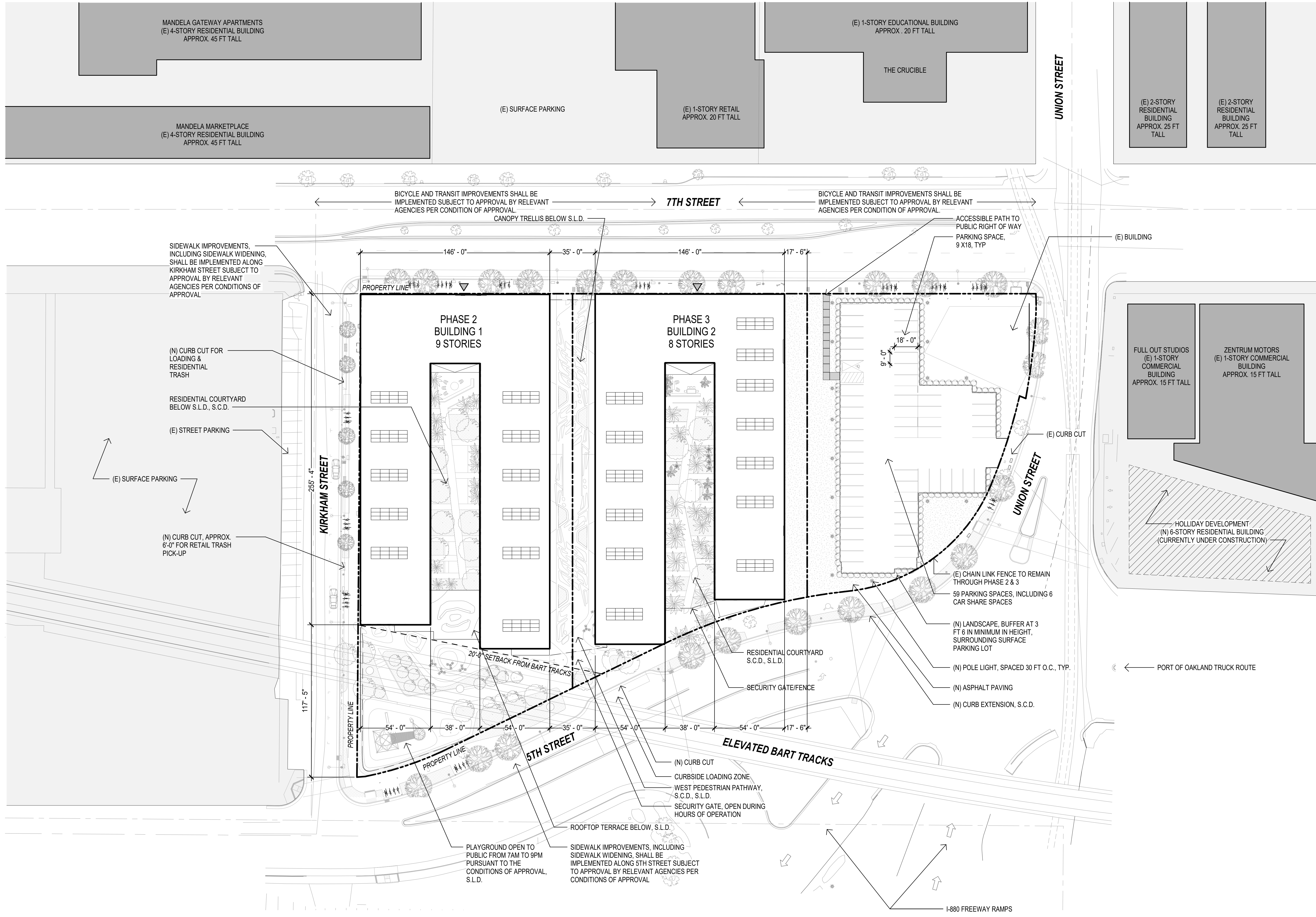
**SITE SECURITY DIAGRAM**





ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

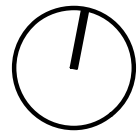
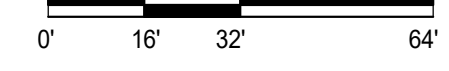
ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



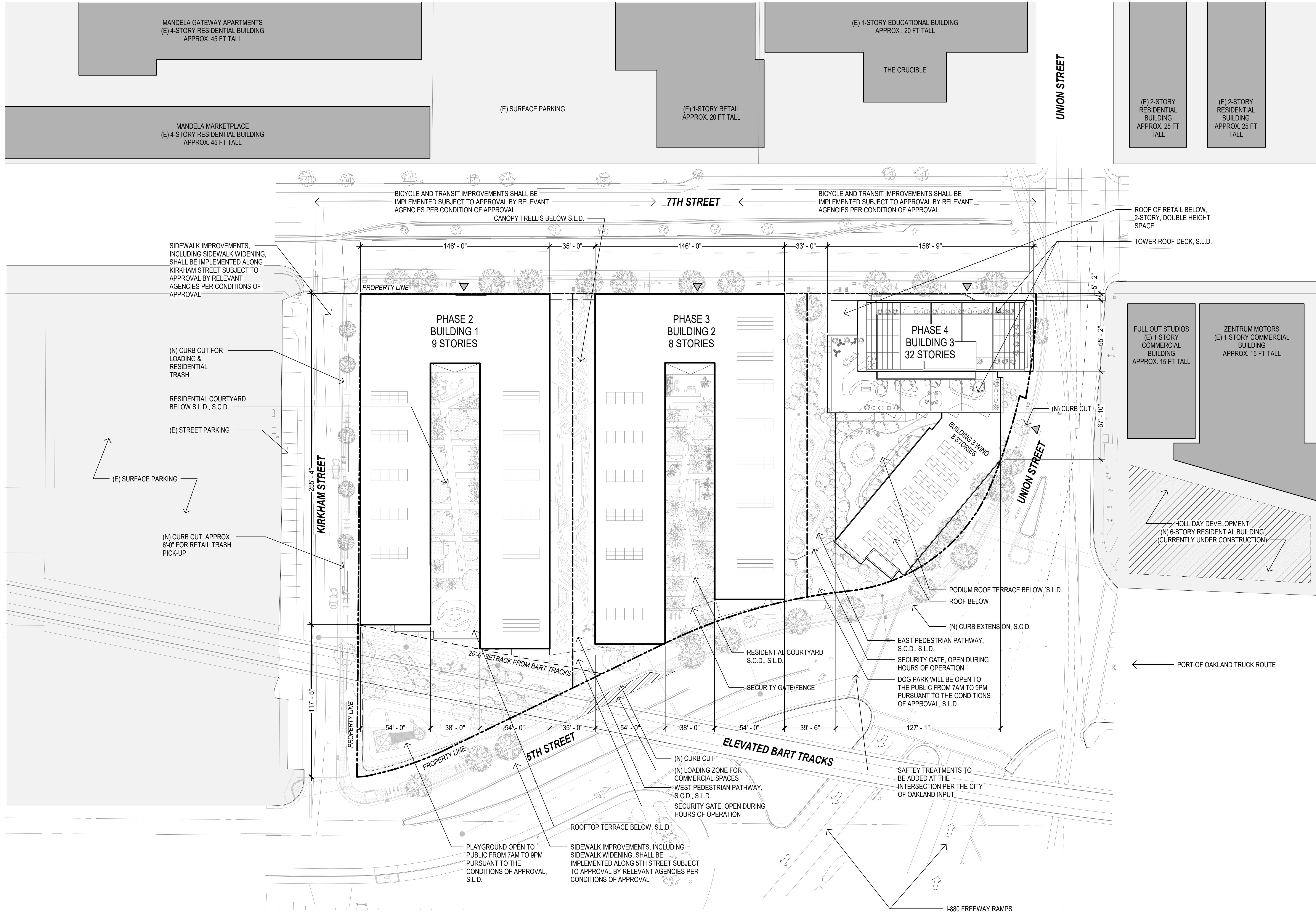
**SITE PLAN - PHASE 3**

1

1/32" = 1'-0"

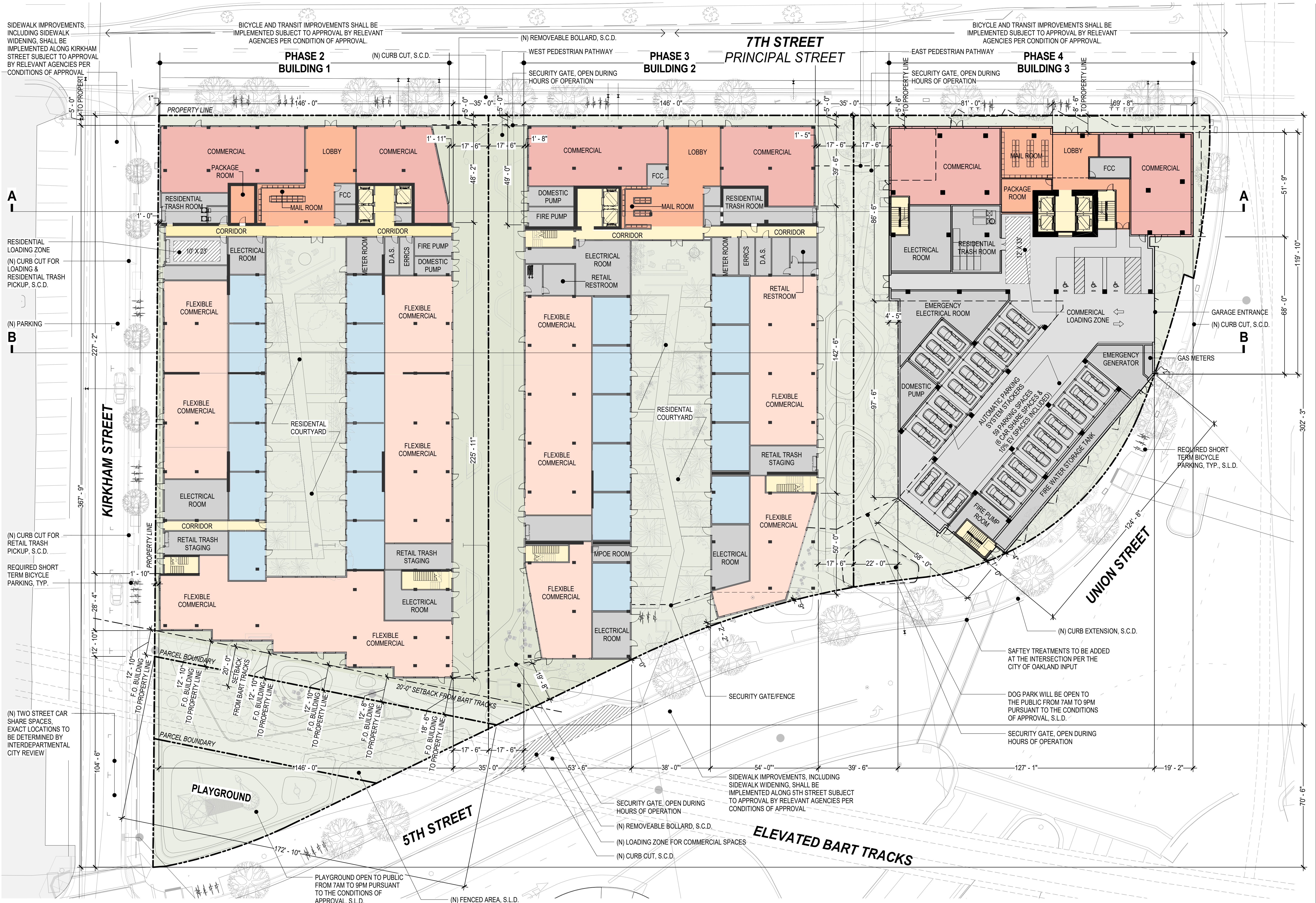






ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

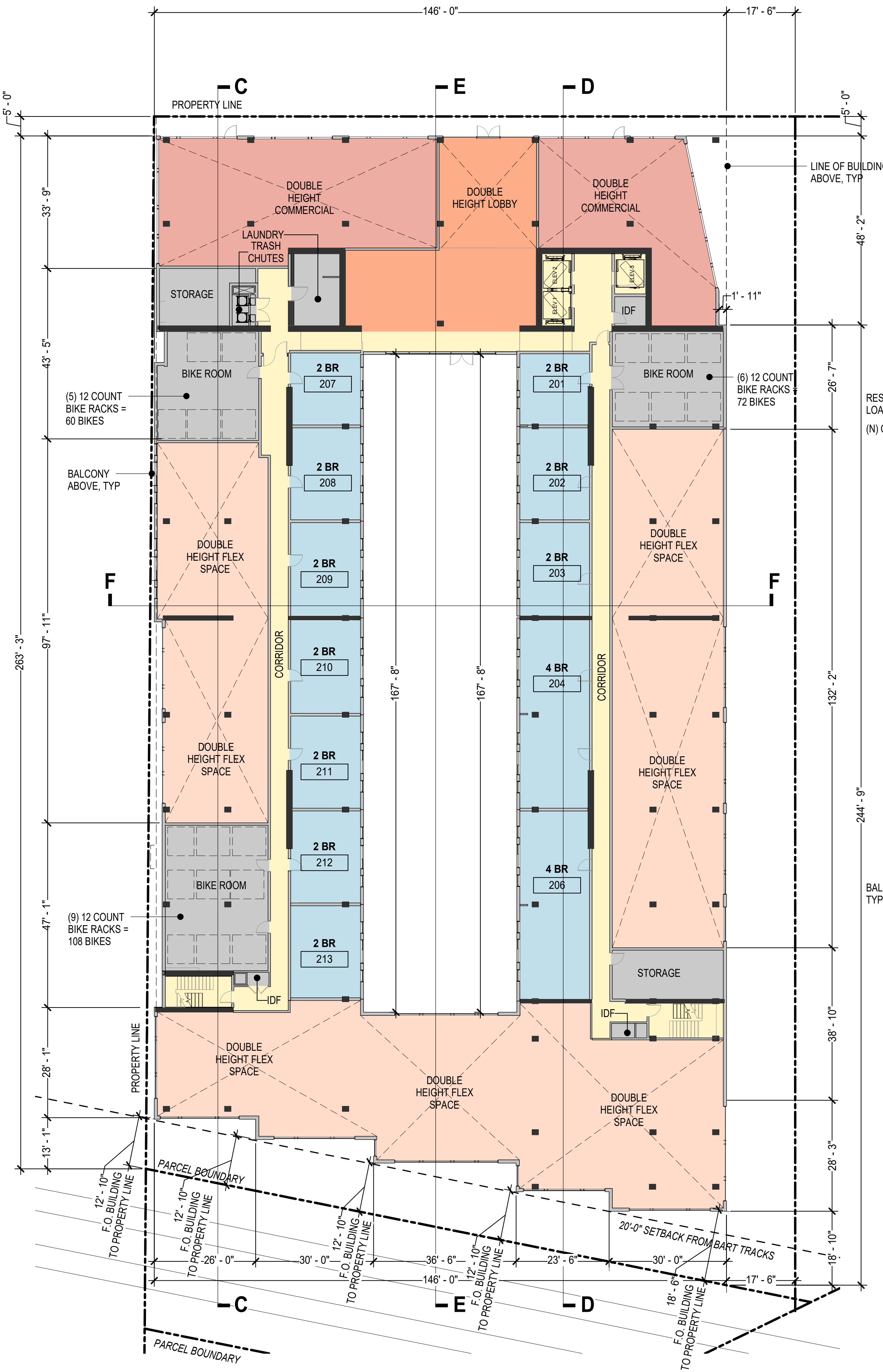
ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



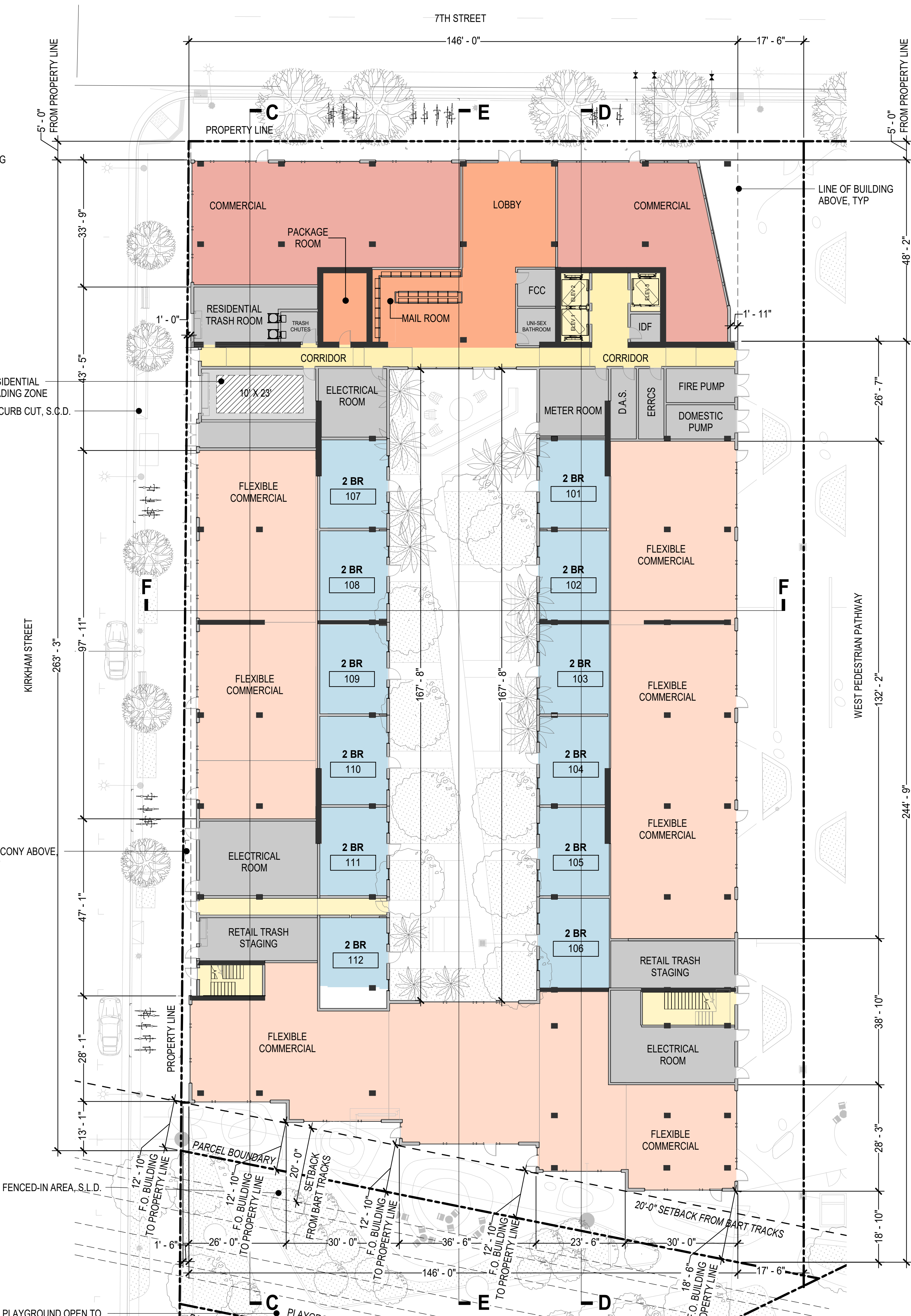
OVERALL PLAN FLOOR 1



ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

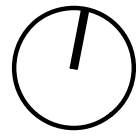
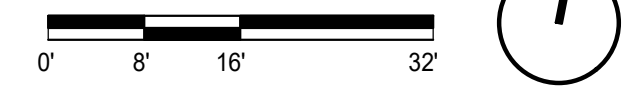


**BUILDING 1 FLOOR 2**  
 1/16" = 1'-0" (2)

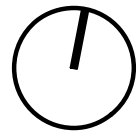
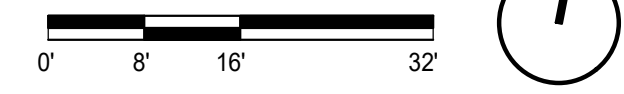


**BUILDING 1 FLOOR 1**  
 1/16" = 1'-0" (1)

PLAYGROUND OPEN TO PUBLIC FROM 7AM TO 9PM PURSUANT TO THE CONDITIONS OF APPROVAL, S.L.D.



ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19





CREATORS OF CITYSPACE

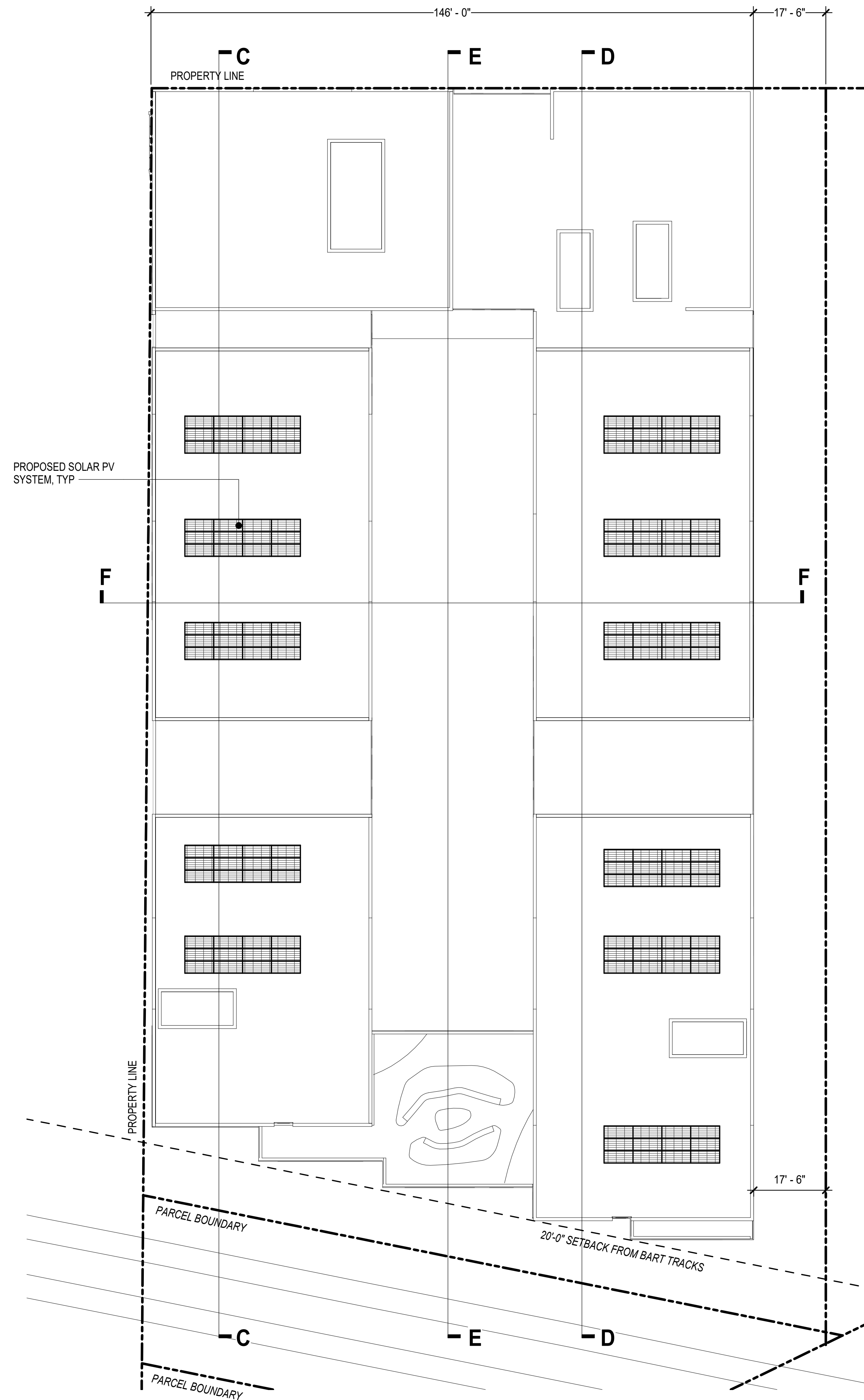
**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE DATE

PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

**BUILDING 1  
ROOF**

**A2.2**

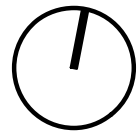
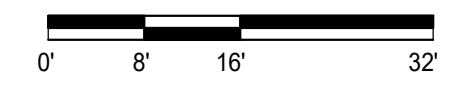


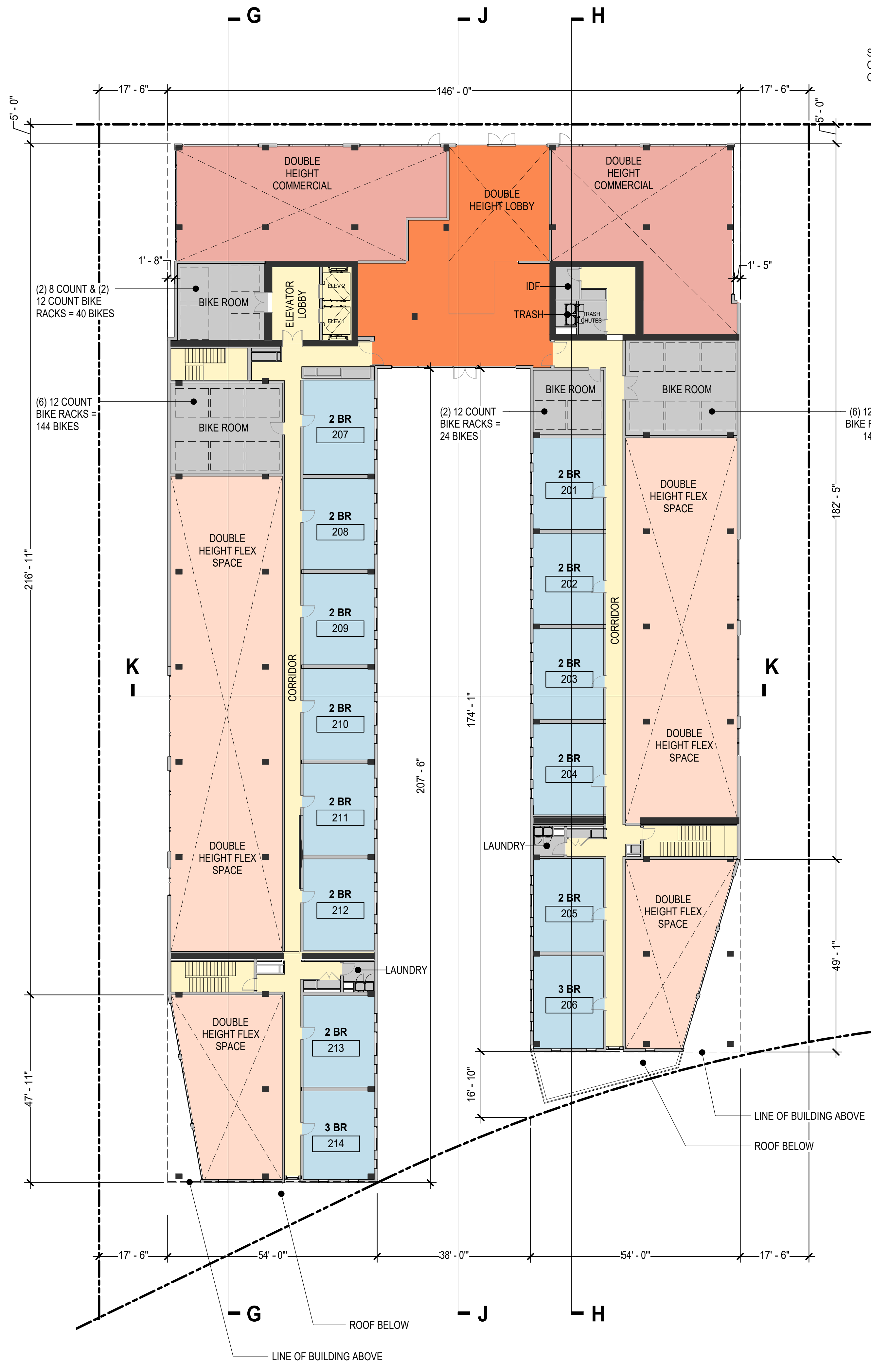
PROPOSED SOLAR PV SYSTEM, TYP

**BUILDING 1 ROOF**

1/16" = 1'-0"

1





**BUILDING 2 FLOOR 2**  
1/16" = 1'-0" **2**

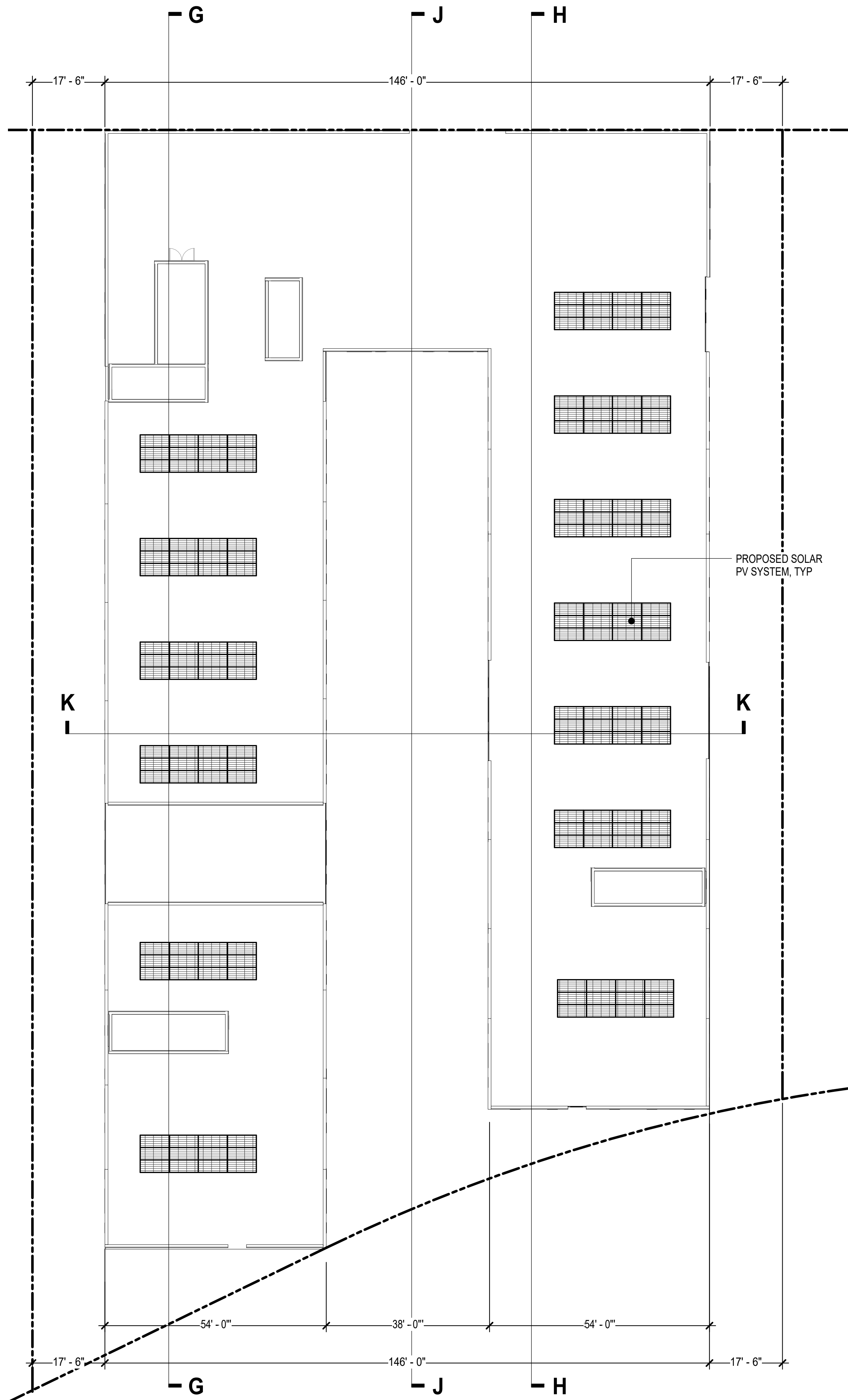


**BUILDING 2 FLOOR 1**  
1/16" = 1'-0" **1**

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



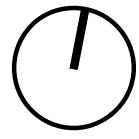
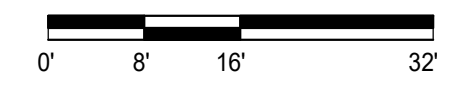
ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



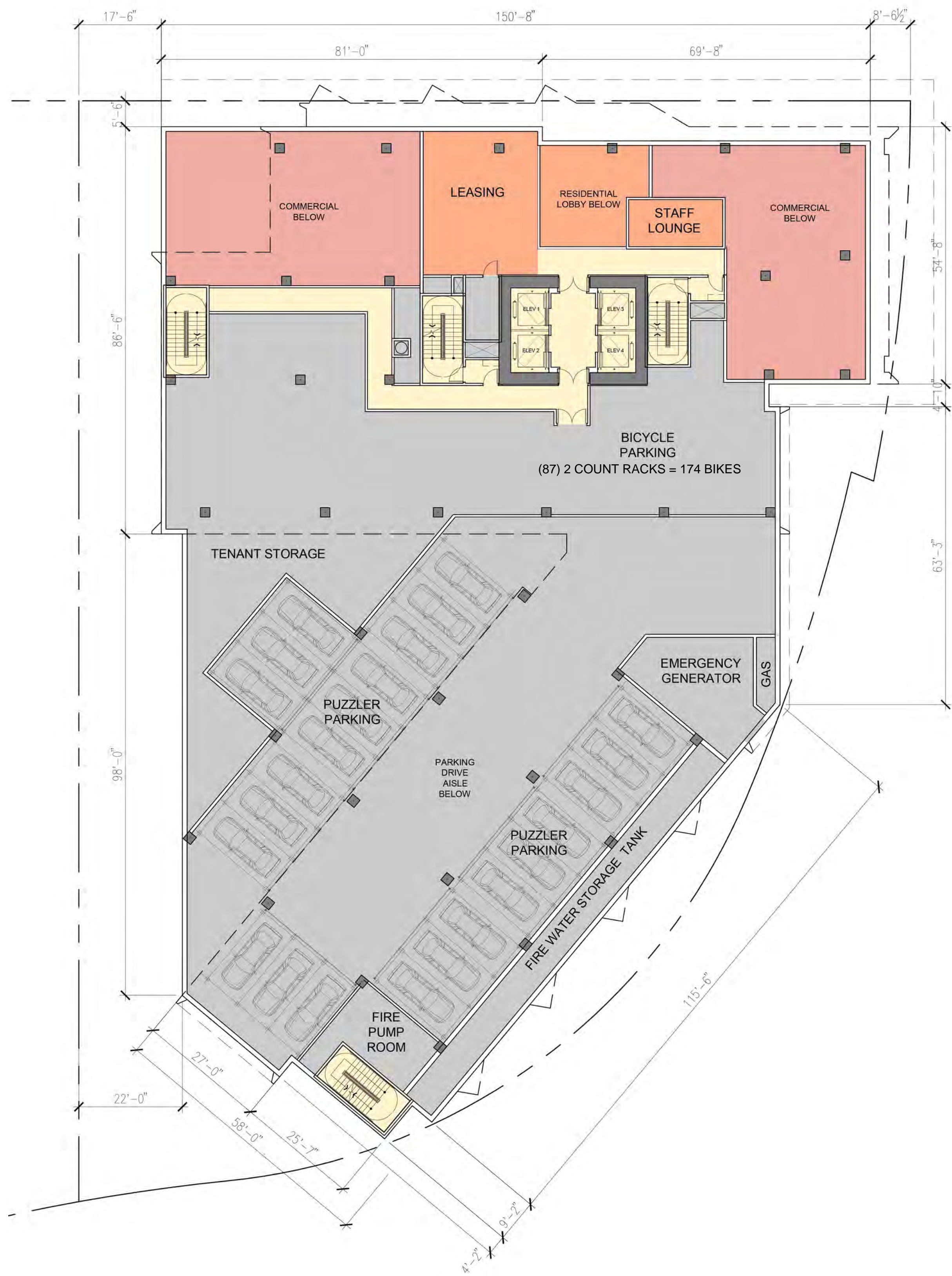
**BUILDING 2 ROOF**  
 1/16" = 1'-0" **2**



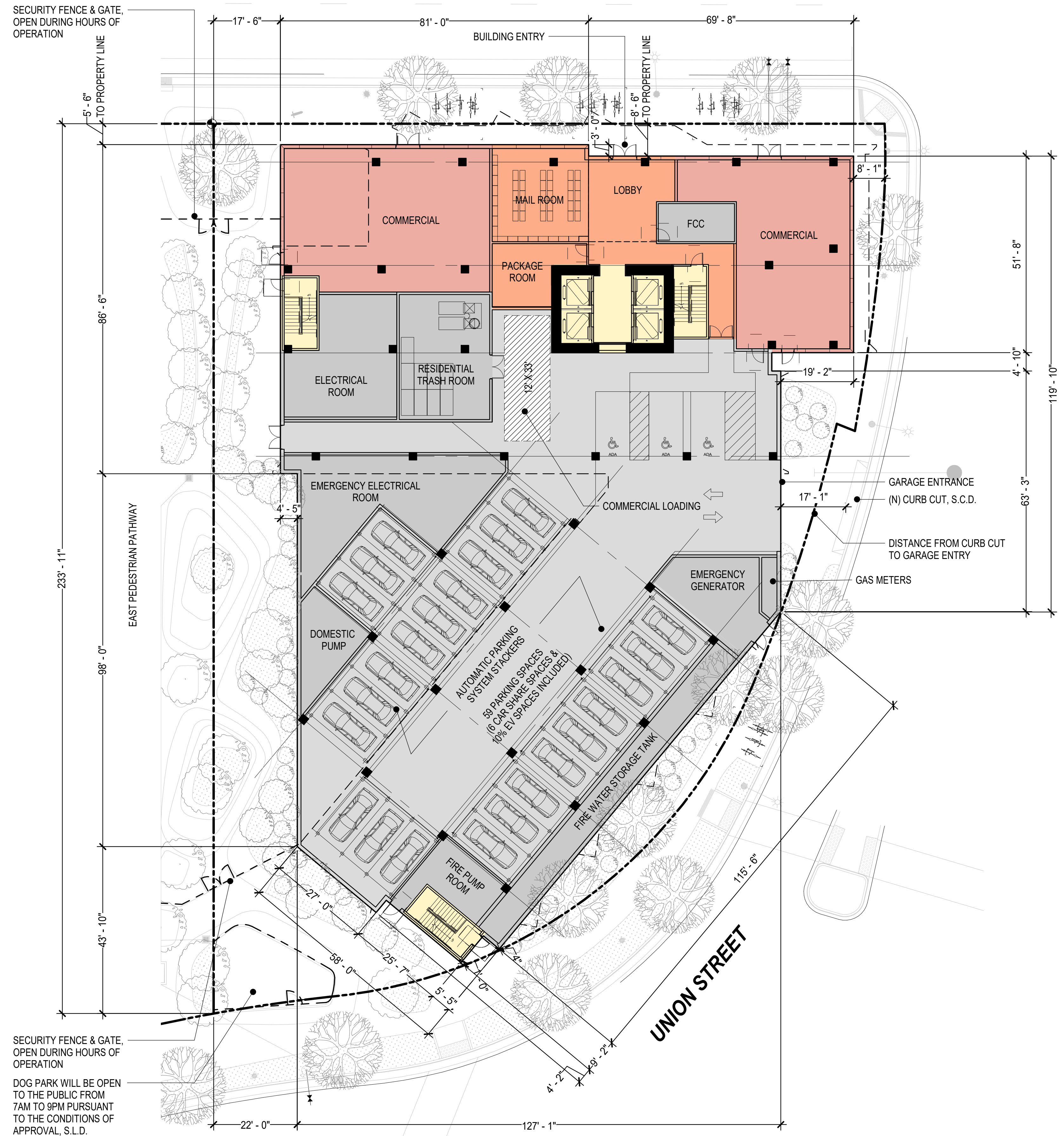
**BUILDING 2 FLOOR 3-8**  
 1/16" = 1'-0" **1**



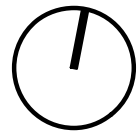
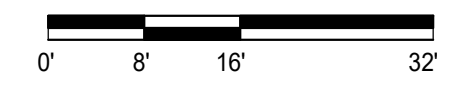
ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



**BUILDING 3 MEZZANINE** ②  
1/16" = 1'-0"



**BUILDING 3 FLOOR 1** ①  
1/16" = 1'-0"







**BUILDING 3 FLOOR 9 - 32**

1/16" = 1'-0"

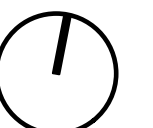
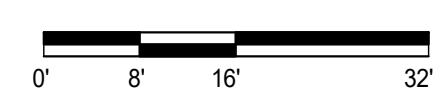
2



**BUILDING 3 FLOOR 2 - 8**

1/16" = 1'-0"

1

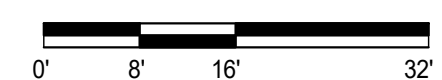




**BUILDING 3 ROOF TERRACE**

1/16" = 1'-0"

1





CONSULTANT



**MATERIAL BOARD**

1. FACING BRICK AT STOREFRONT
2. VISION GLASS, E-GL-2 – Guardian SunGuard SuperNeutral 68 on Ultraclear or similar
3. VISION GLASS, E-GL-1 – Guardian SunGuard SNR 43 on Clear or similar
4. ACCENT CANOPIES & SIGNAGE
5. VERTICAL PLANK CEMENTITIOUS SIDING; BLENDING TEXTURES
6. METAL ACCENTS & REVEALS; WINDOW FRAME & BALCONY RAILS
7. MECHANICAL PENTHOUSE SCREEN
8. METAL PANEL SIDING & FRAMING ELEMENTS
9. UNITIZED WINDOW WALL + METAL PANEL, E-Win-01 – Quest Ecowall + Shift Grid or similar
10. WOOD ACCENTS

3/64" = 1' 0" @ 36" x 24"

**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

**ISSUE DATE**

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

**NORTH ELEVATION**

**A3.0**

**MATERIAL BOARD**

1. FACING BRICK AT STOREFRONT
2. VISION GLASS, E-GL-2 – Guardian SunGuard SuperNeutral 68 on Ultraclear or similar
3. VISION GLASS, E-GL-1 – Guardian SunGuard SNR 43 on Clear or similar
4. ACCENT CANOPIES & SIGNAGE
5. VERTICAL PLANK CEMENTITIOUS SIDING; BLENDING TEXTURES
6. METAL ACCENTS & REVEALS; WINDOW FRAME & BALCONY RAILS
7. MECHANICAL PENTHOUSE SCREEN
8. METAL PANEL SIDING & FRAMING ELEMENTS
9. UNITIZED WINDOW WALL + METAL PANEL, E-Win-01 – Quest Ecowall + Shift Grid or similar
10. WOOD ACCENTS



3/64" = 1' 0" @ 36" x 24"

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

**MATERIAL BOARD**

1. FACING BRICK AT STOREFRONT
2. VISION GLASS, E-GL-2 – Guardian SunGuard SuperNeutral 68 on Ultraclear or similar
3. VISION GLASS, E-GL-1 – Guardian SunGuard SNR 43 on Clear or similar
4. ACCENT CANOPIES & SIGNAGE
5. VERTICAL PLANK CEMENTITIOUS SIDING; BLENDING TEXTURES
6. METAL ACCENTS & REVEALS; WINDOW FRAME & BALCONY RAILS
7. MECHANICAL PENTHOUSE SCREEN
8. METAL PANEL SIDING & FRAMING ELEMENTS
9. UNITIZED WINDOW WALL + METAL PANEL, E-Win-01 – Quest Ecowall + Shift Grid or similar
10. WOOD ACCENTS



3/64" = 1' 0" @ 36" x 24"



CREATORS OF CITYSPACES

CONSULTANT



**MATERIAL BOARD**

- 1. FACING BRICK AT STOREFRONT
- 2. VISION GLASS, E-GL-2 – Guardian SunGuard SuperNeutral 68 on Ultraclear or similar
- 3. VISION GLASS, E-GL-1 – Guardian SunGuard SNR 43 on Clear or similar
- 4. ACCENT CANOPIES & SIGNAGE
- 5. VERTICAL PLANK CEMENTITIOUS SIDING; BLENDING TEXTURES
- 6. METAL ACCENTS & REVEALS; WINDOW FRAME & BALCONY RAILS
- 7. MECHANICAL PENTHOUSE SCREEN
- 8. METAL PANEL SIDING & FRAMING ELEMENTS
- 9. UNITIZED WINDOW WALL + METAL PANEL, E-Win-01 – Quest Ecowall + Shift Grid or similar
- 10. WOOD ACCENTS

3/64" = 1' 0" @ 36" x 24"

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

WEST  
ELEVATION

**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607



**MATERIAL BOARD**

1. FACING BRICK AT STOREFRONT
2. VISION GLASS, E-GL-2 – Guardian SunGuard SuperNeutral 68 on Ultraclear or similar
3. VISION GLASS, E-GL-1 – Guardian SunGuard SNR 43 on Clear or similar
4. ACCENT CANOPIES & SIGNAGE
5. VERTICAL PLANK CEMENTITIOUS SIDING; BLENDING TEXTURES.
6. METAL ACCENTS & REVEALS; WINDOW FRAME & BALCONY RAILS.
7. MECHANICAL PENTHOUSE SCREEN
8. METAL PANEL SIDING & FRAMING ELEMENTS.
9. UNITIZED WINDOW WALL + METAL PANEL, E-Win-01 – Quest Ecowall + Shift Grid or similar
10. WOOD ACCENTS

SNR 43 ON CLEAR - 6 mm/12.7 mm/6 mm				GUARDIAN SUNGUARD Advanced Architectural Glass		
Visible Light		Reflect In	U-Value	Solar Heat Gain Coefficient	Light to Solar Gain	
Transmittance	Reflect Out					
43%	28%	14%	.29	.23	1.89	

SuperNeutral® 68 ON ULTRACLEAR™ - 6 mm/12.7 mm/6 mm				GUARDIAN SUNGUARD Advanced Architectural Glass		
Visible Light		Reflect In	U-Value	Solar Heat Gain Coefficient	Light to Solar Gain	
Transmittance	Reflect Out					
71%	11%	13%	.29	.39	1.80	

**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

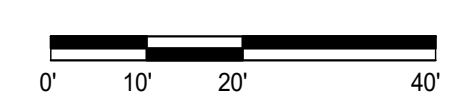
ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



**SITE SECTION A-A**

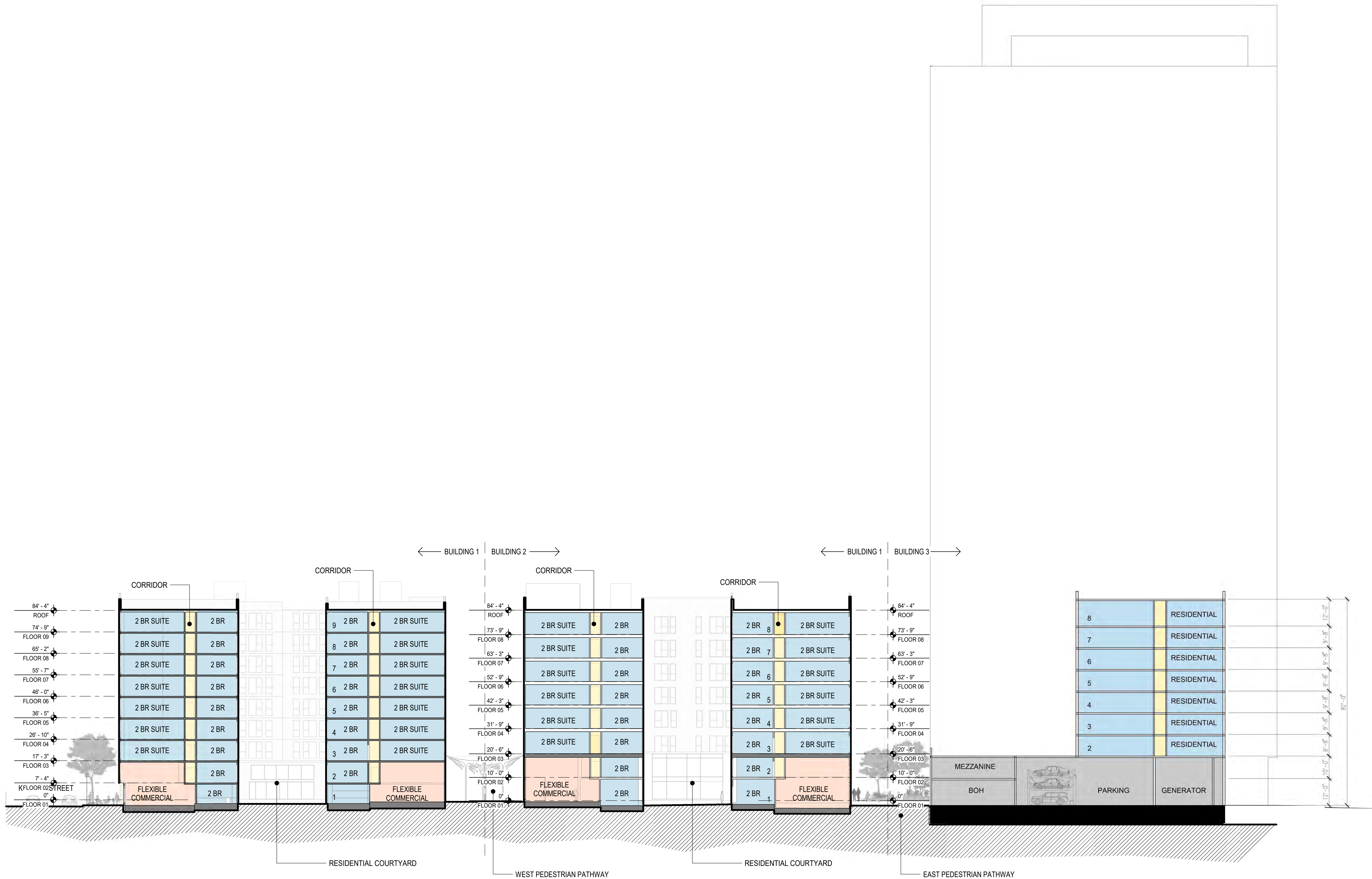
1" = 20'-0"

1



ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



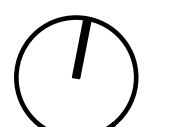
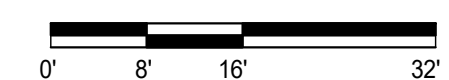


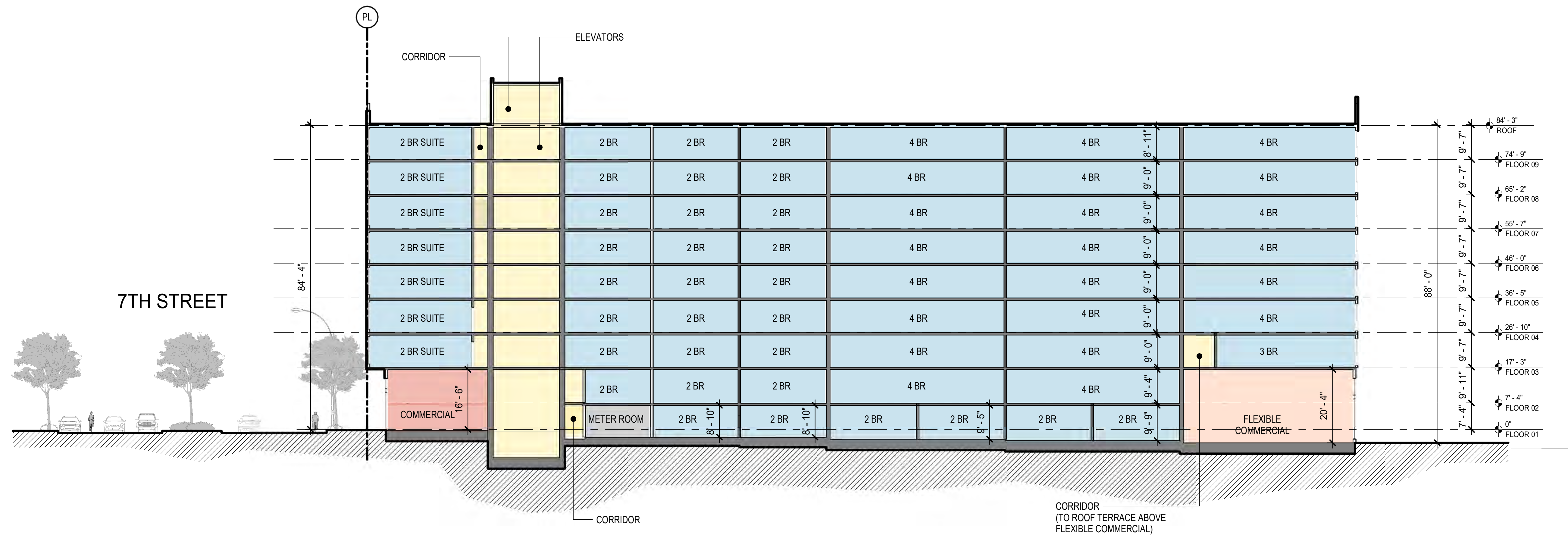
ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

**SITE SECTION B-B**

1" = 20'-0"

1

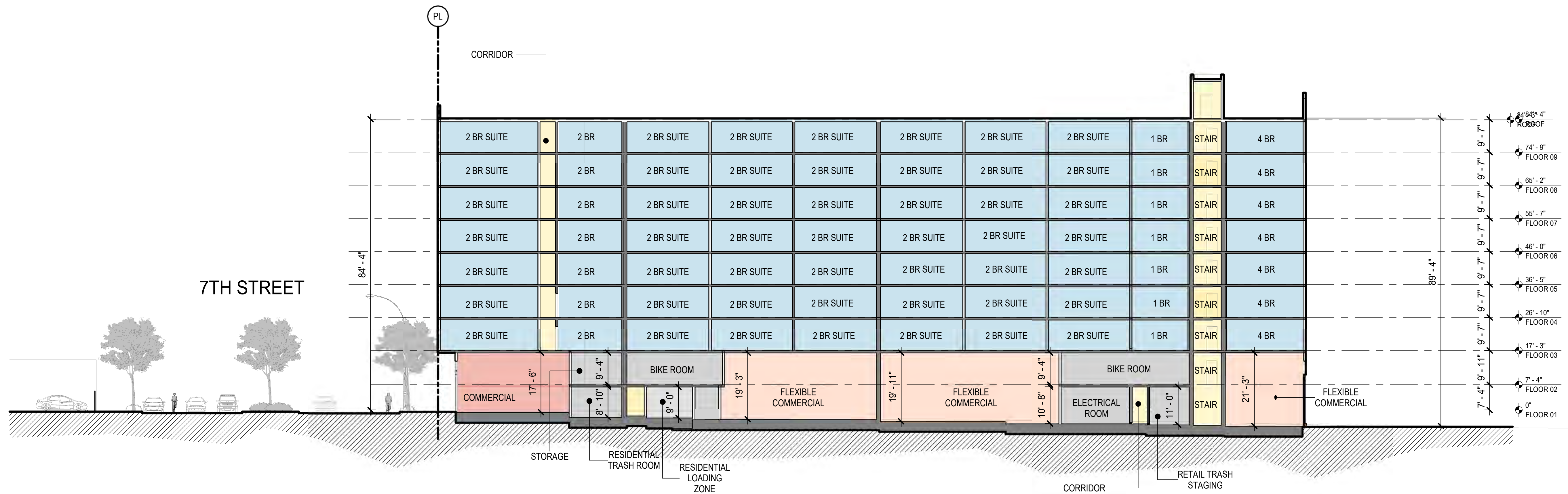




**BUILDING 1 SECTION D-D**

1/16" = 1'-0"

2



**BUILDING 1 SECTION C-C**

1/16" = 1'-0"

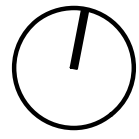
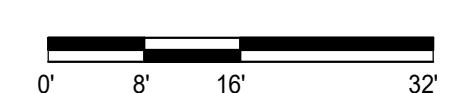
1

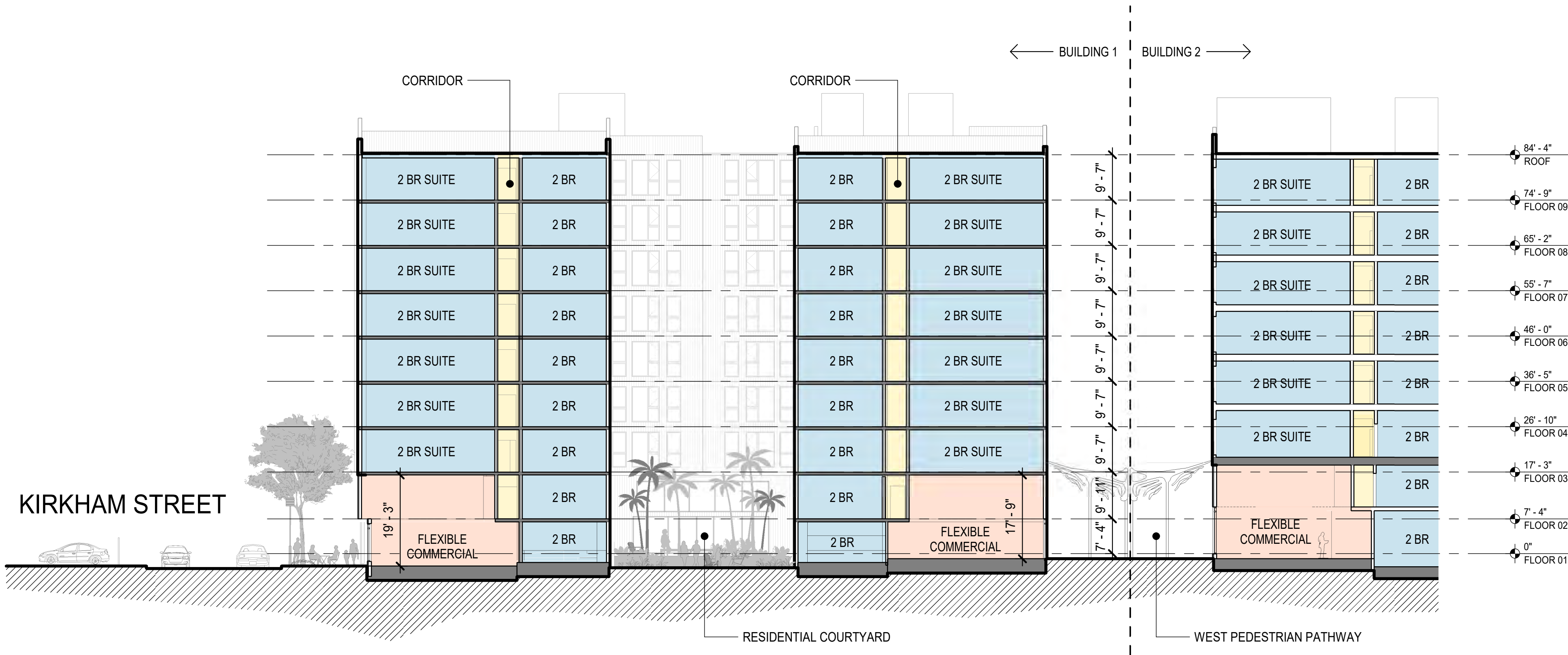
**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

**BUILDING 1 SECTIONS**

**A4.2**

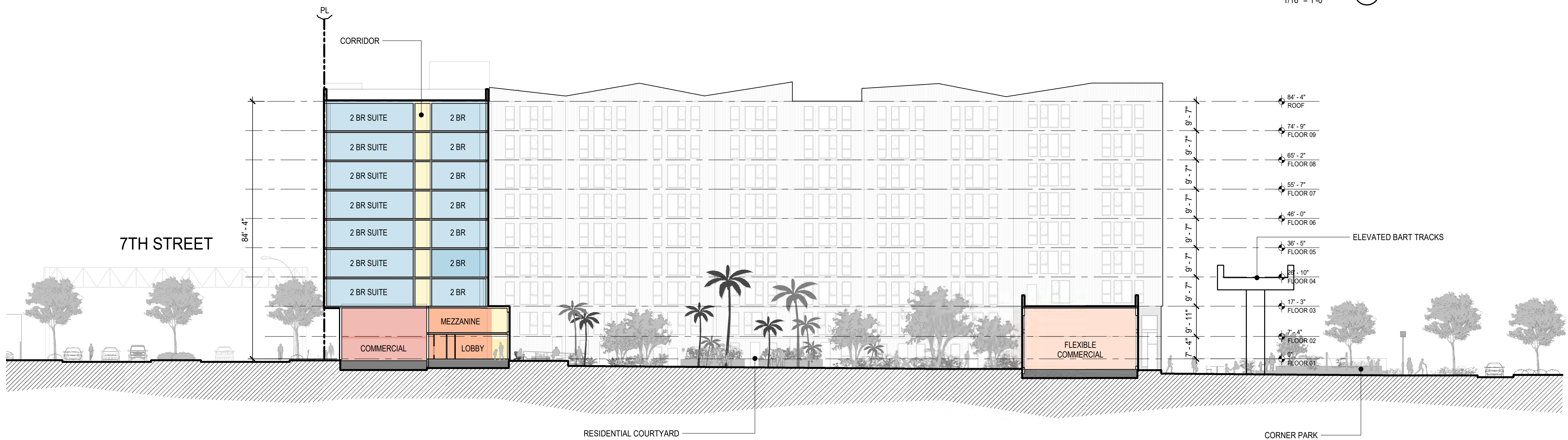




**BUILDING 1 SECTION F-F**

1/16" = 1'-0"

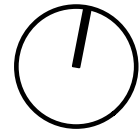
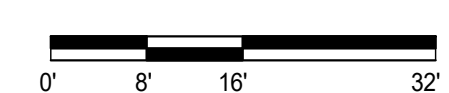
2



**BUILDING 1 SECTION E-E**

1/16" = 1'-0"

1



**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

**BUILDING 1 SECTIONS**

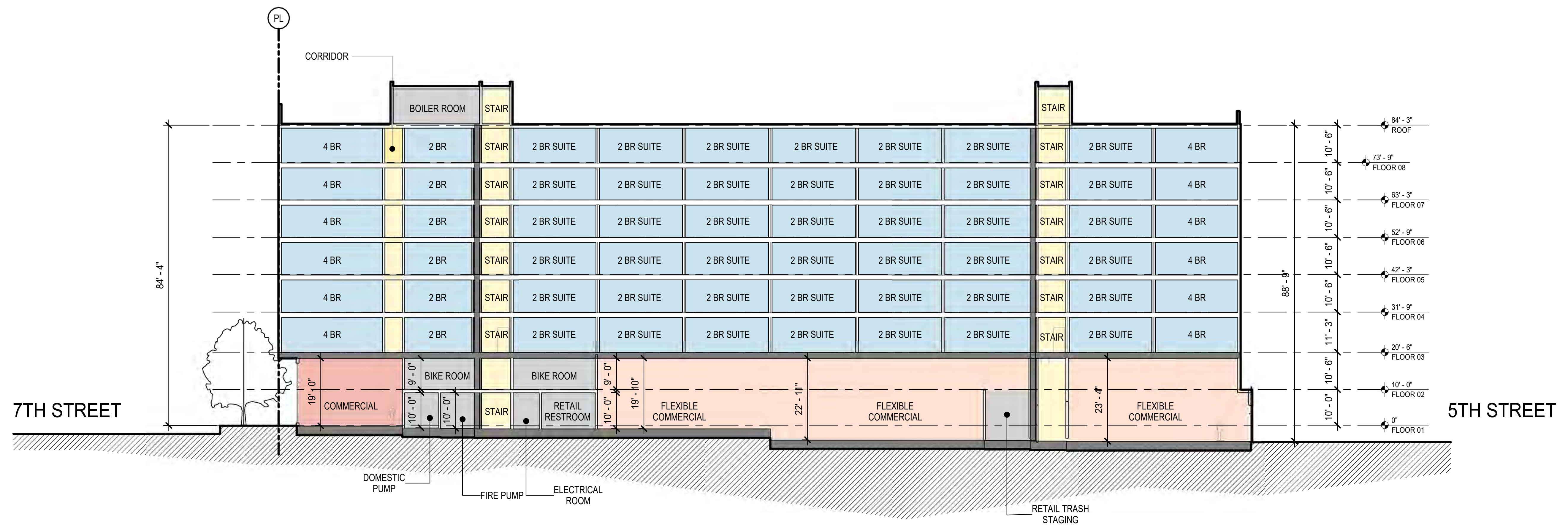
**A4.3**



**BUILDING 2 SECTION H-H**

1/16" = 1'-0"

2

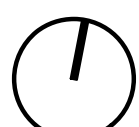
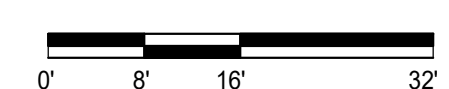


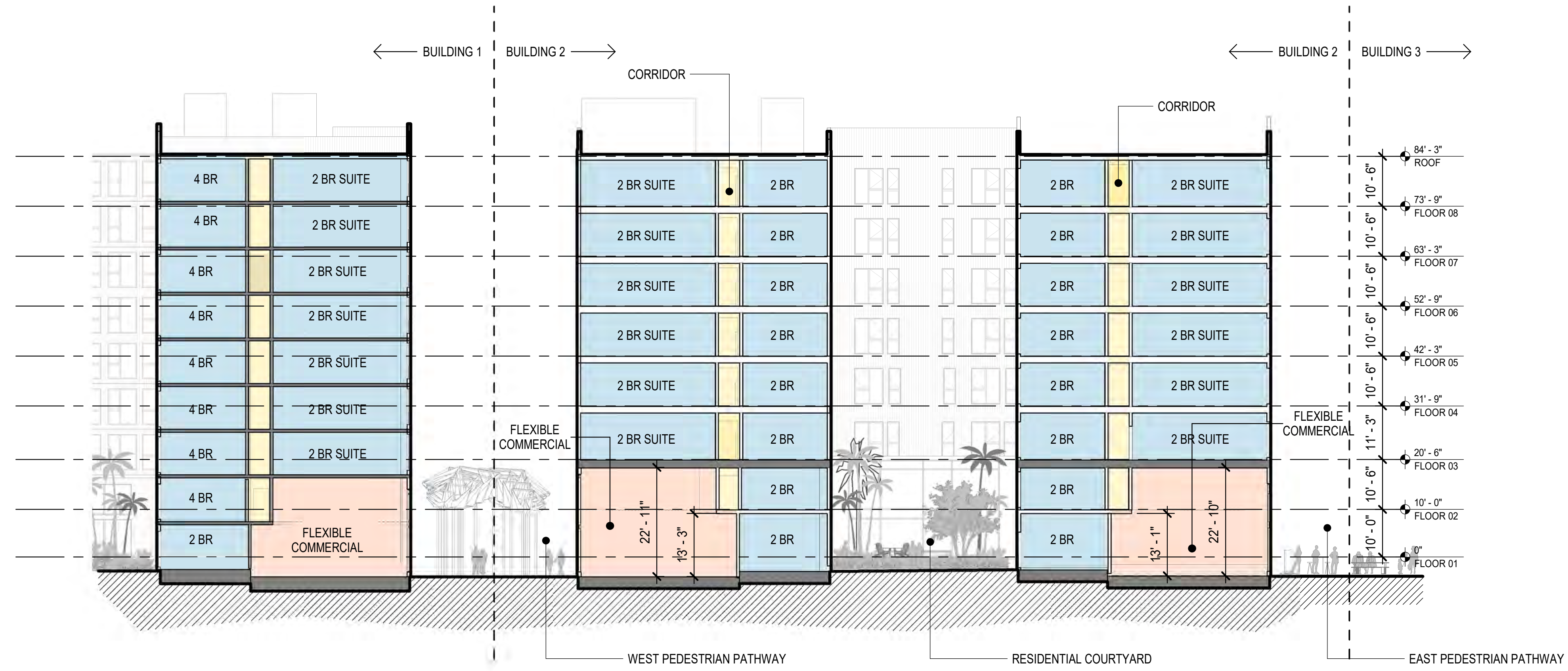
**BUILDING 2 SECTION G-G**

1/16" = 1'-0"

1

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

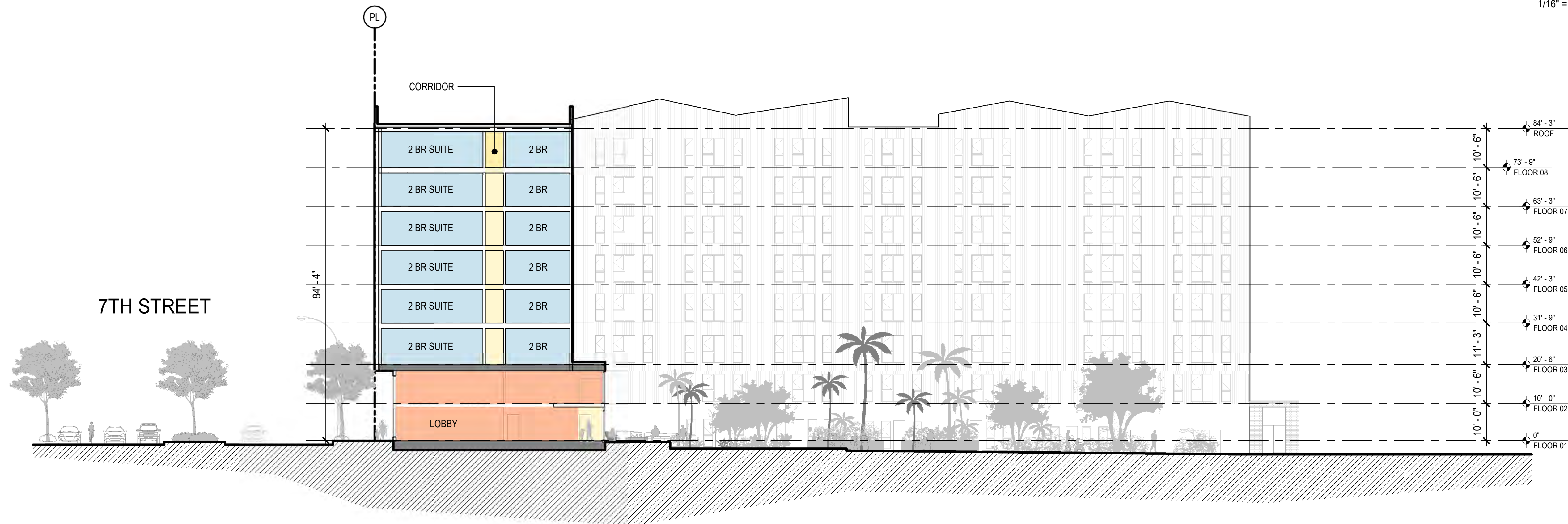




**BUILDING 2 SECTION K-K**

2

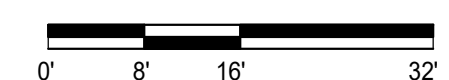
1/16" = 1'-0"



**BUILDING 2 SECTION J-J**

1

1/16" = 1'-0"

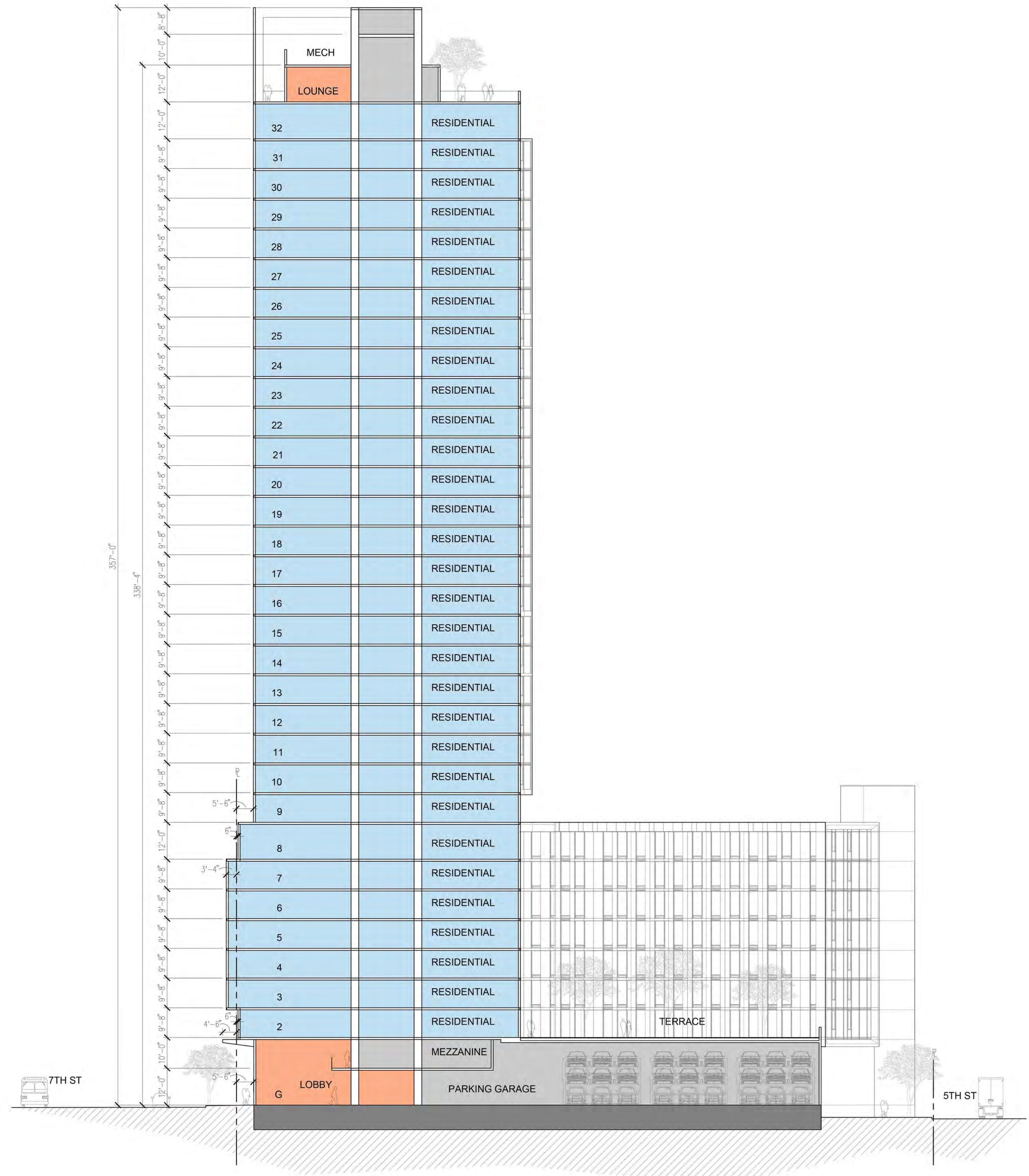


**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

**BUILDING 2 SECTIONS**

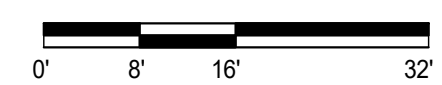
**A4.5**

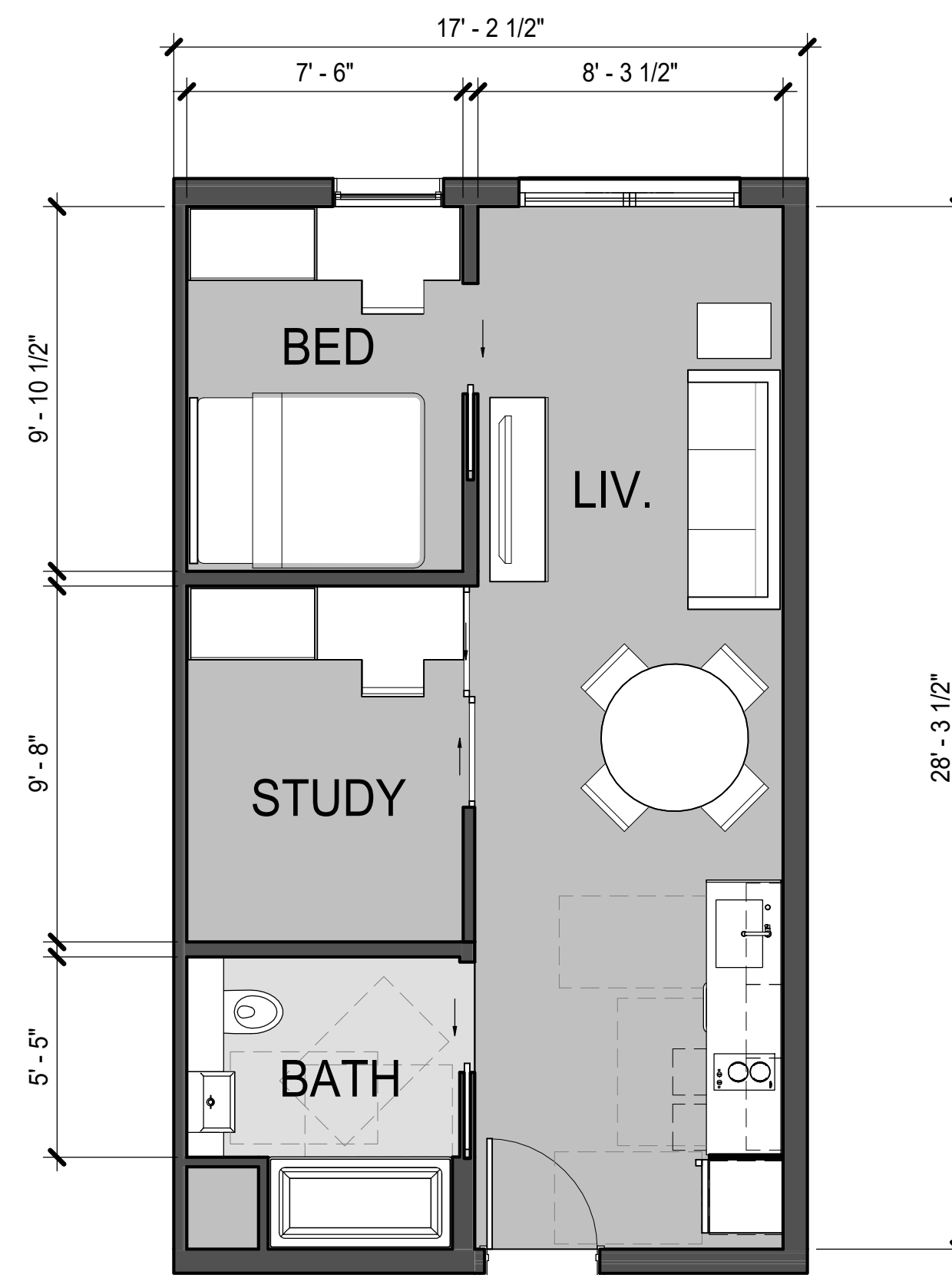


**BUILDING 3 SECTION THROUGH TOWER AT 7TH STREET**

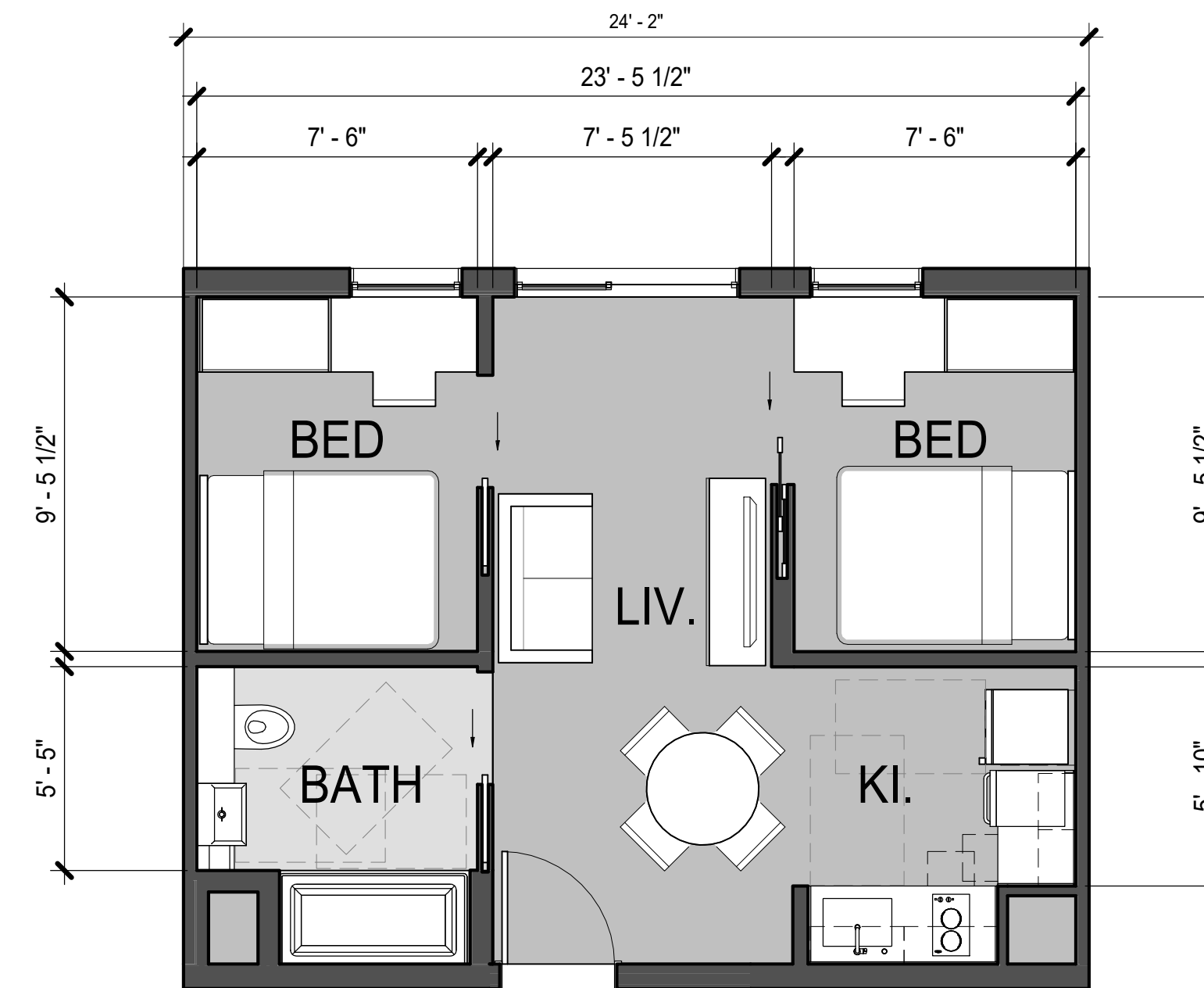
1/16" = 1'-0"

1

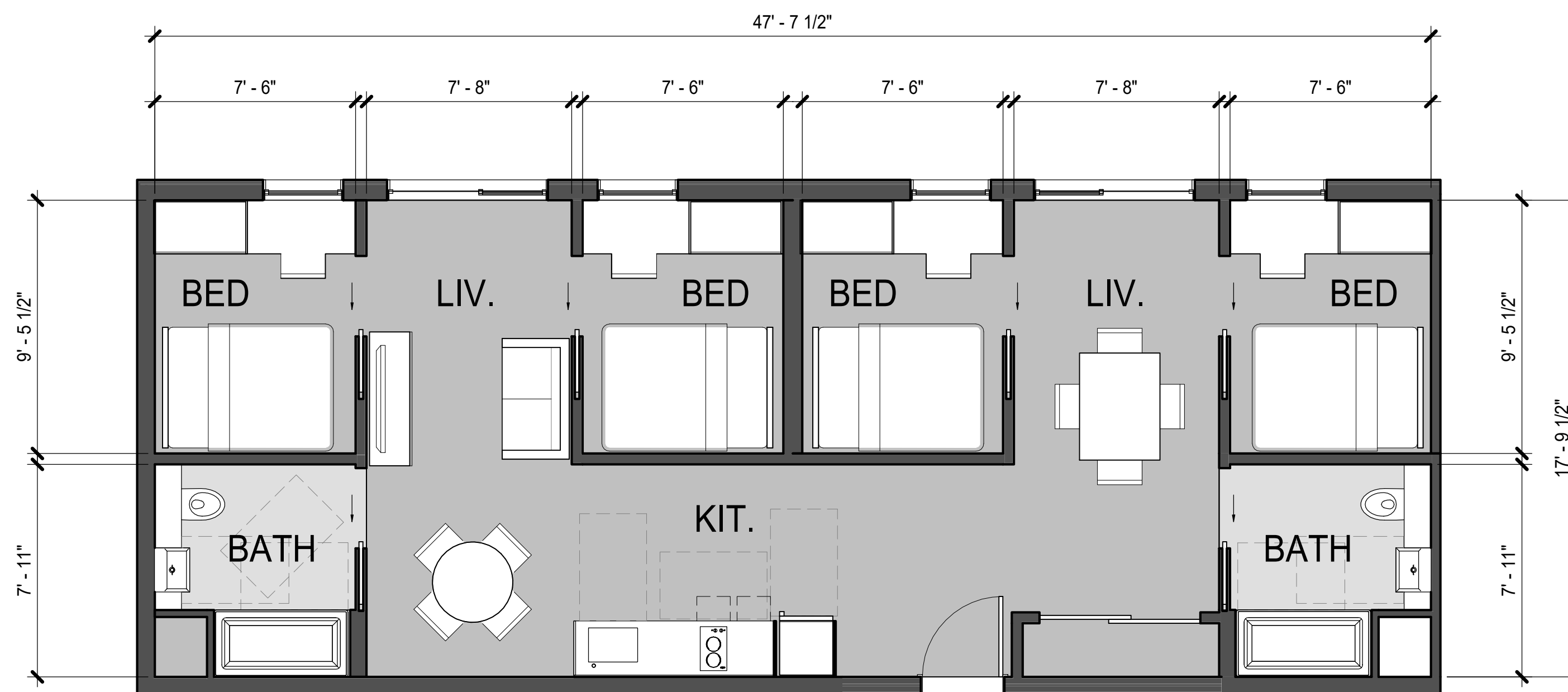




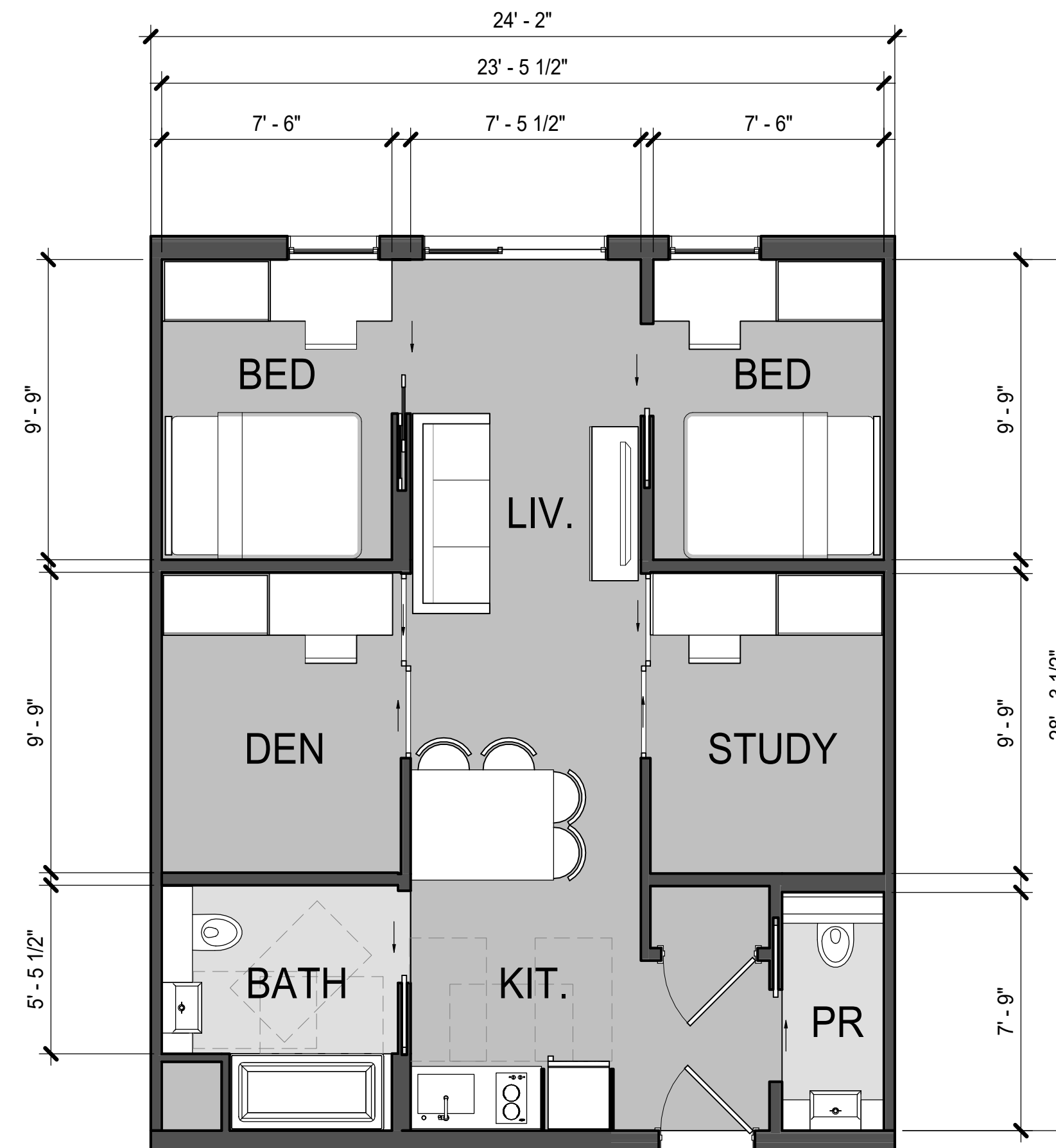
1 BEDROOM UNIT  
460 S.F.



2 BEDROOM UNIT  
425 S.F.



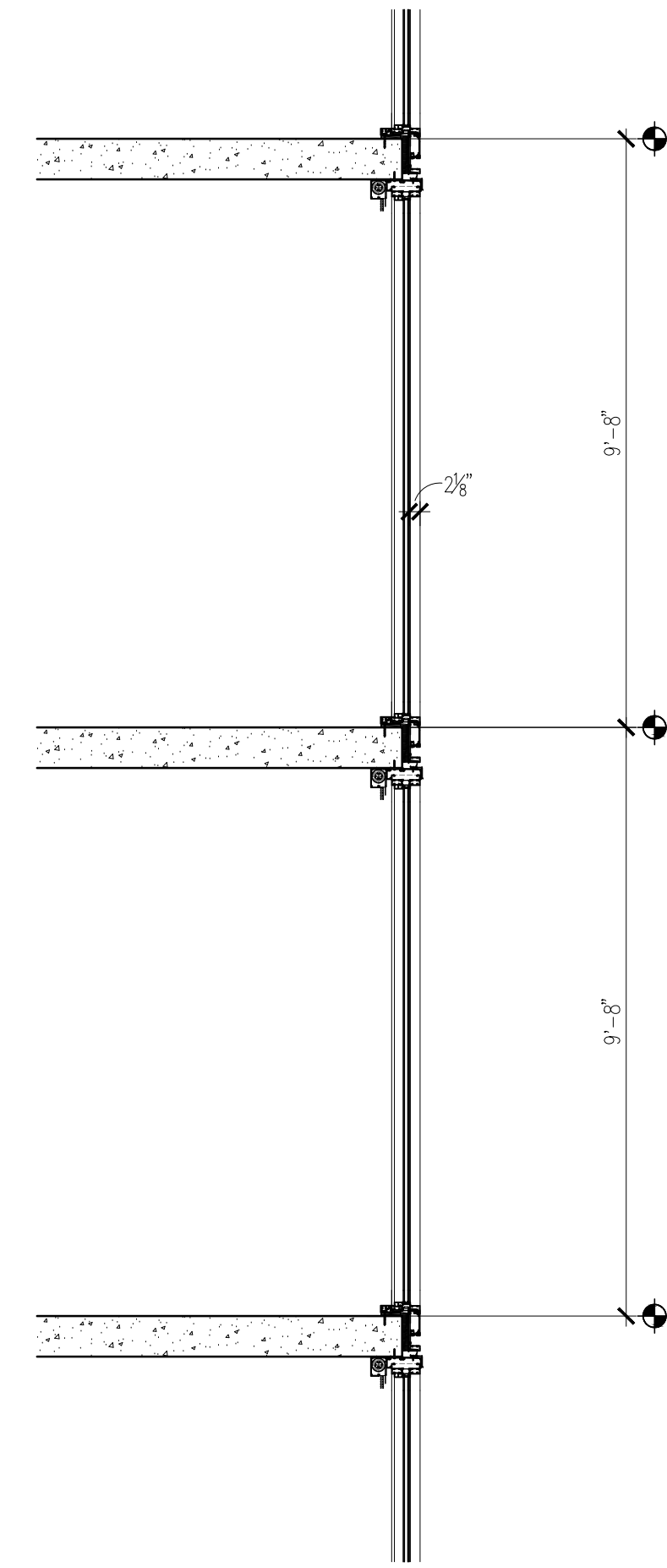
4 BEDROOM UNIT  
860 S.F.



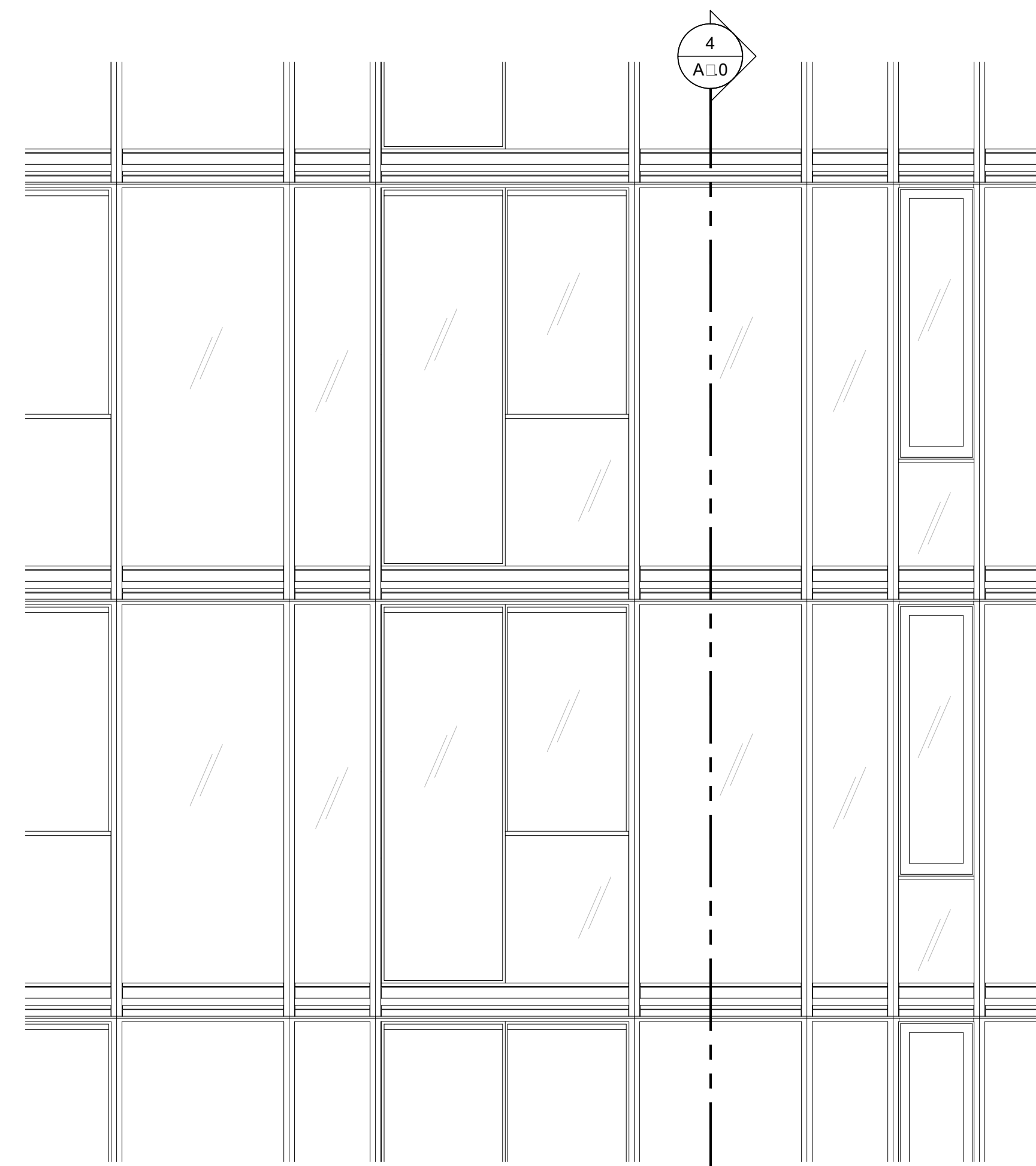
2 BEDROOM SUITE UNIT  
660 S.F.

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

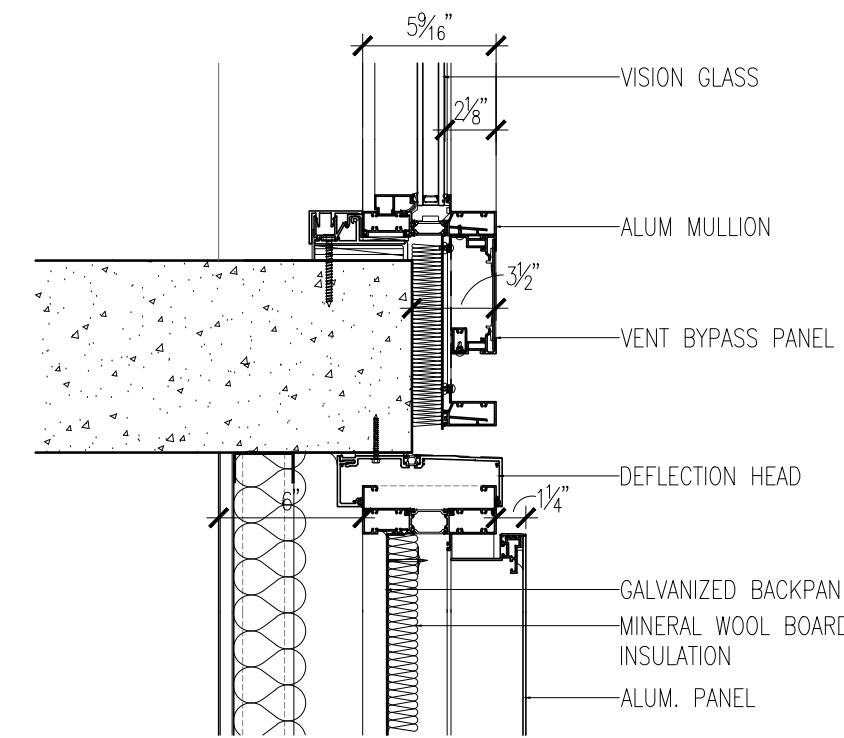
ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



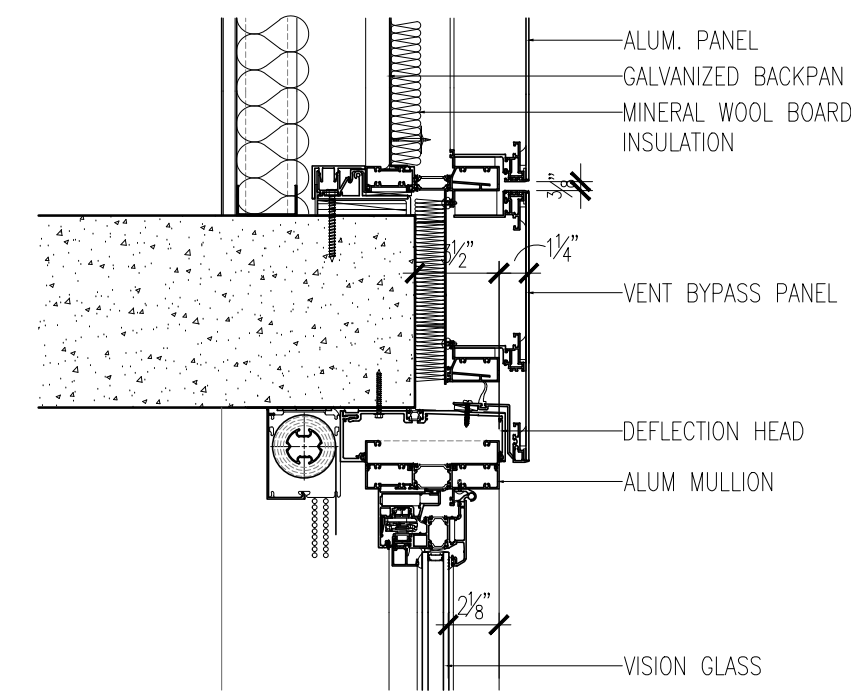
**4 WALL SECTION**  
SCALE: 1/8" = 1'-0"



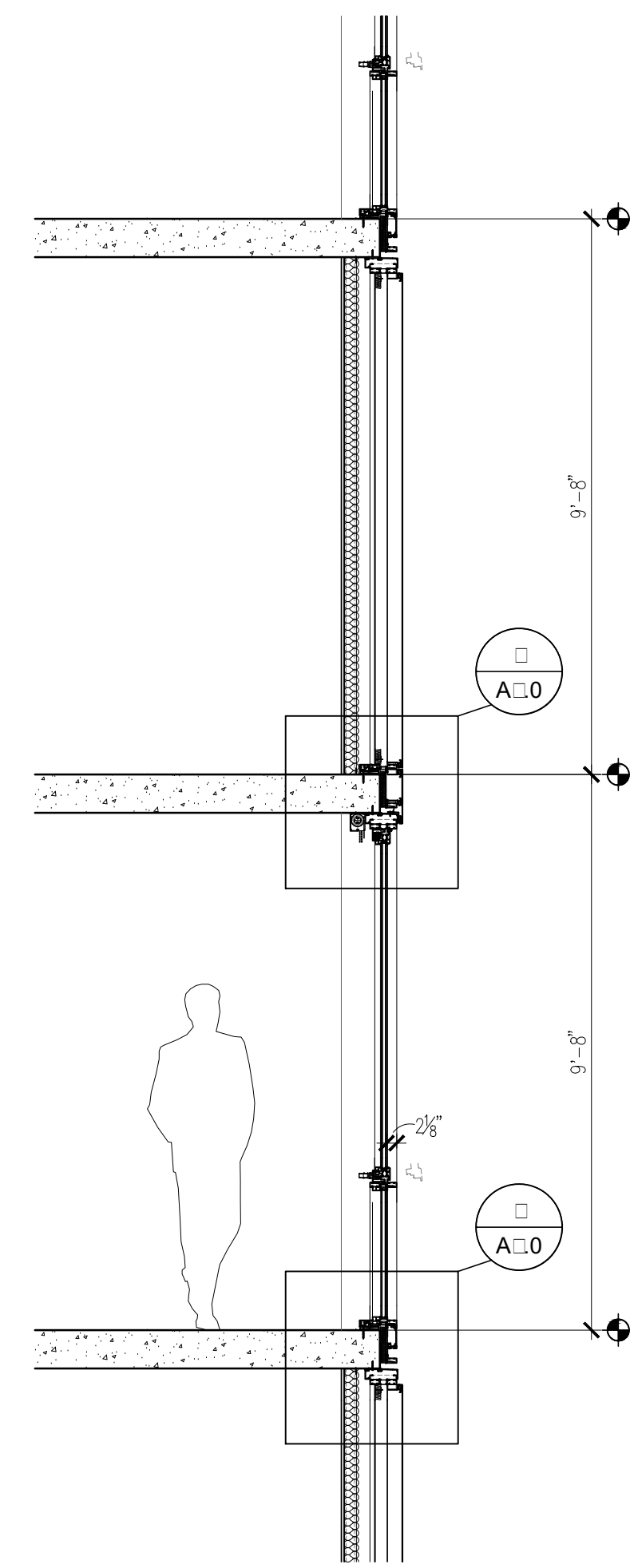
**5 TOWER ELEVATION DETAIL**  
SCALE: 1/8" = 1'-0"



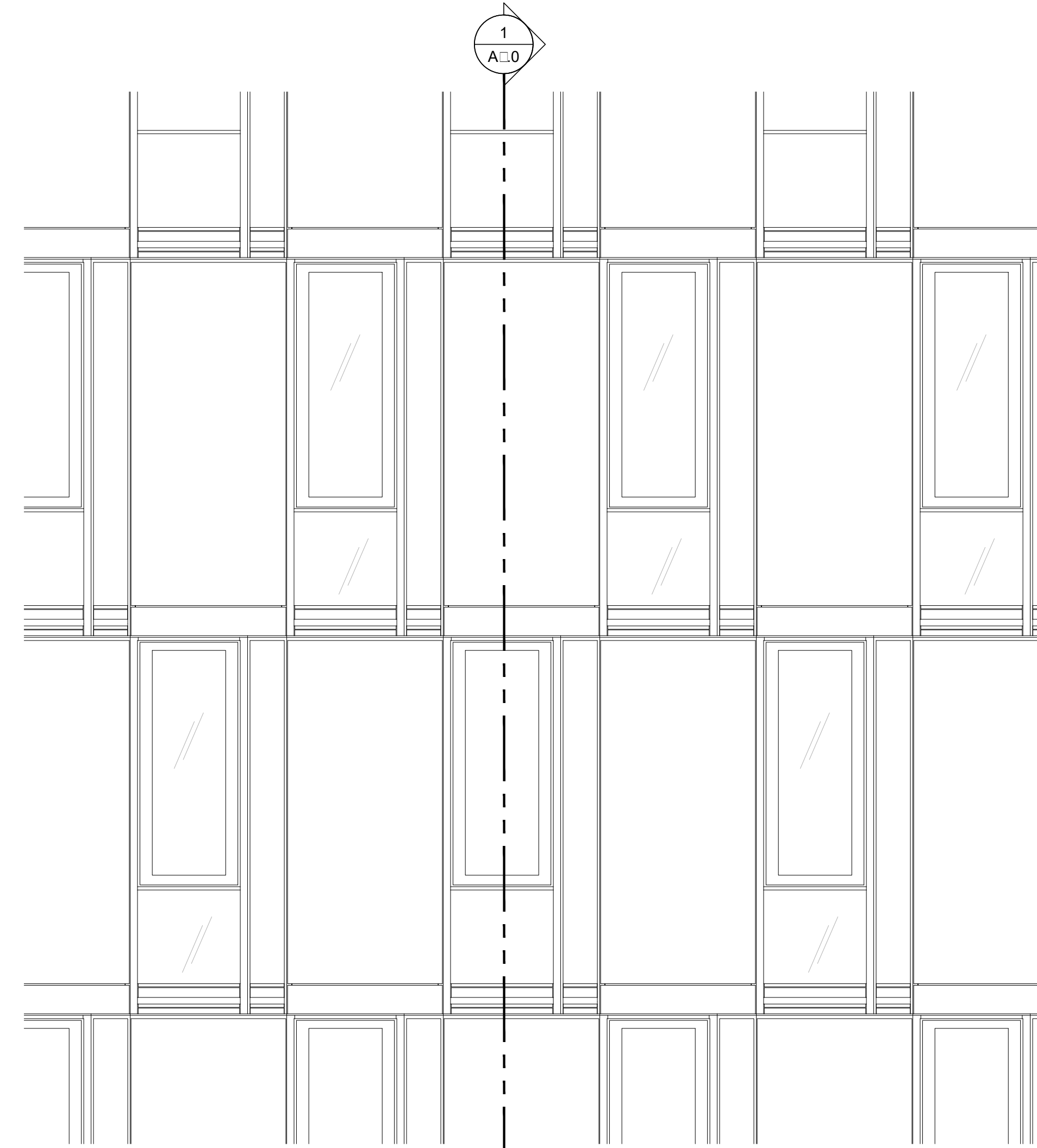
**6 VISION SILL TO ALUM PANEL HEAD DETAIL**  
SCALE: 1 1/2" = 1'-0"



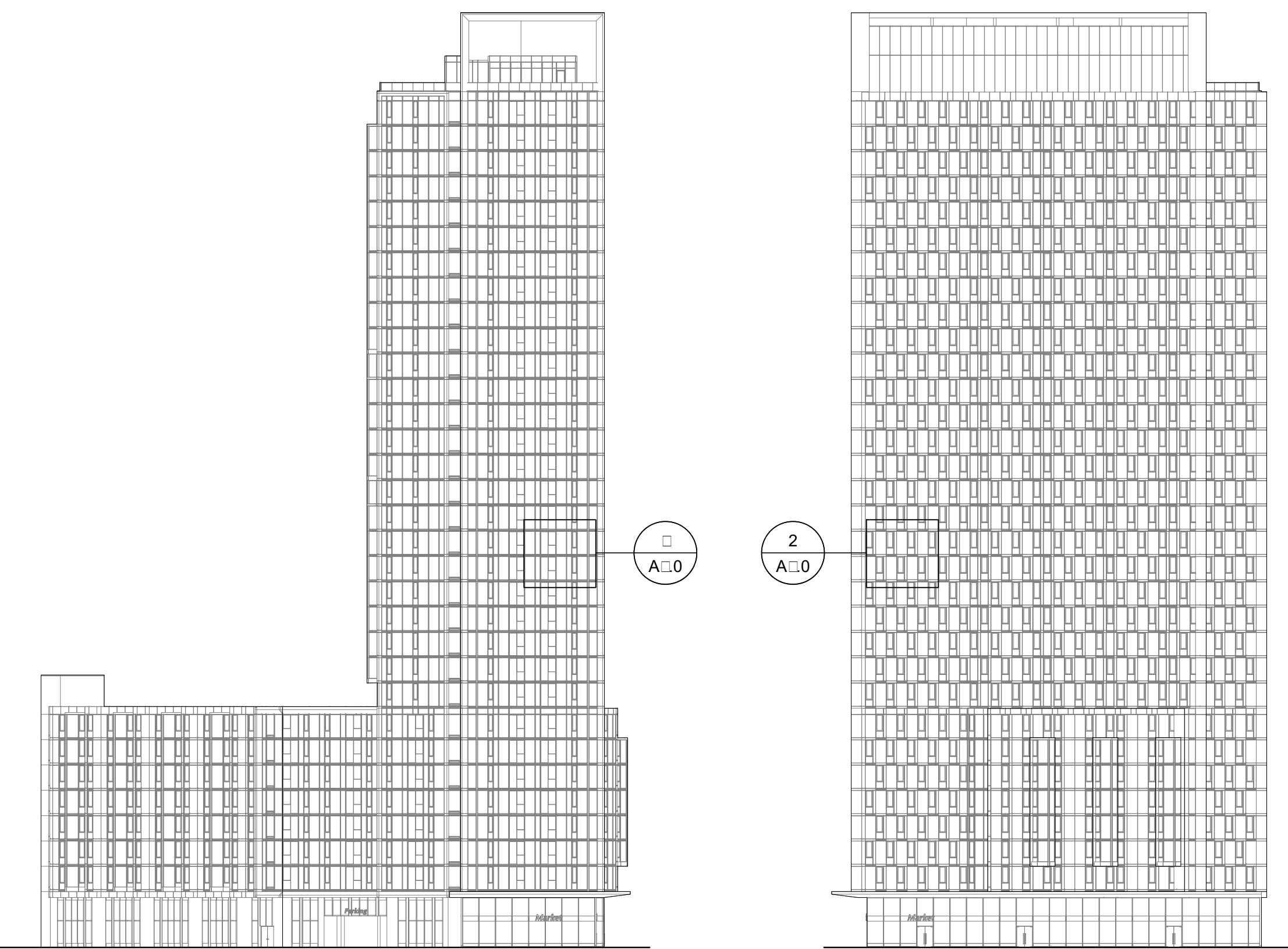
**7 ALUM PANEL SILL TO OPERABLE WINDOW HEAD DETAIL**  
SCALE: 1 1/2" = 1'-0"



**1 WALL SECTION**  
SCALE: 1/8" = 1'-0"



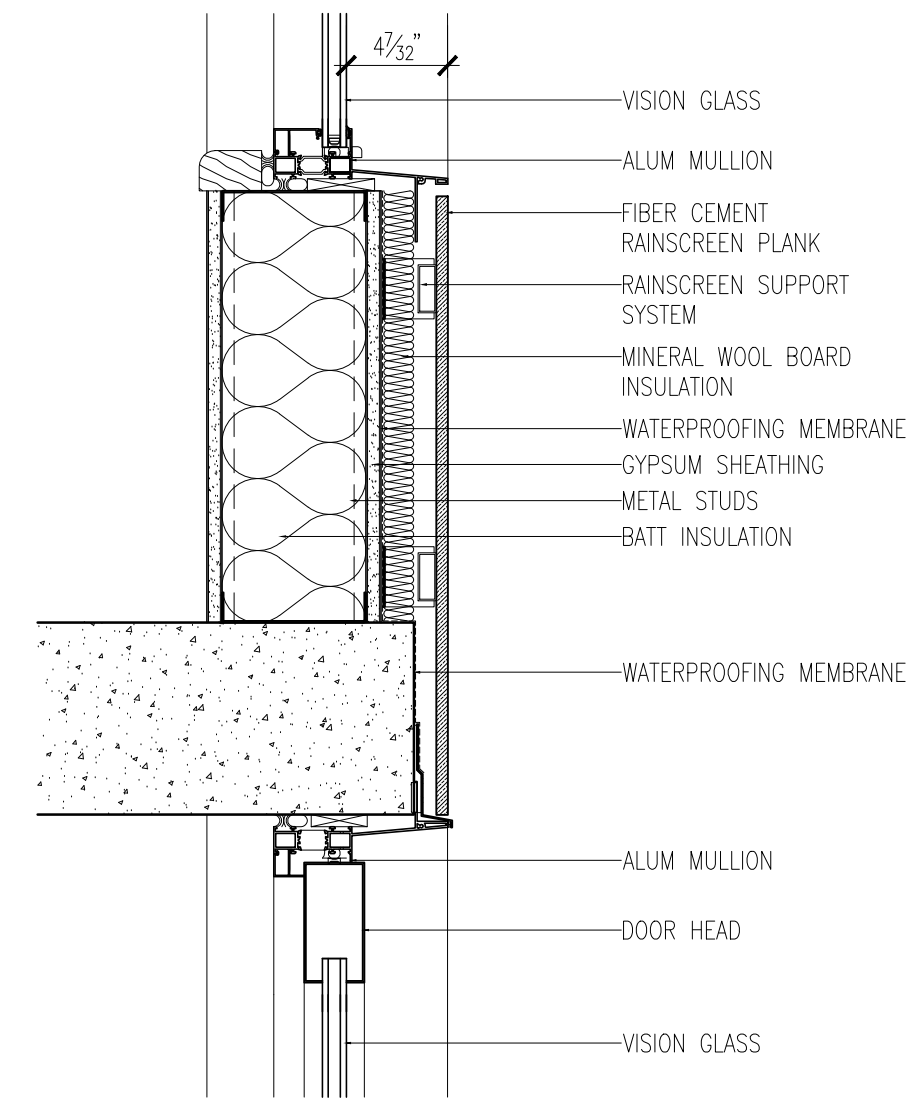
**2 TOWER ELEVATION DETAIL**  
SCALE: 1/8" = 1'-0"



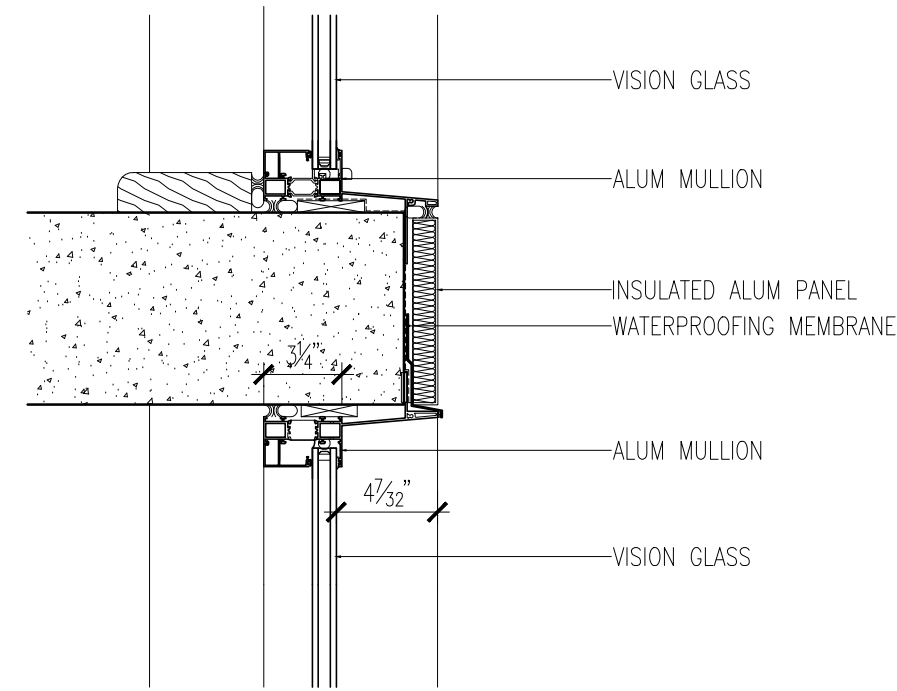
**3 BLDG 3 KEY ELEVATIONS**  
SCALE: NTS



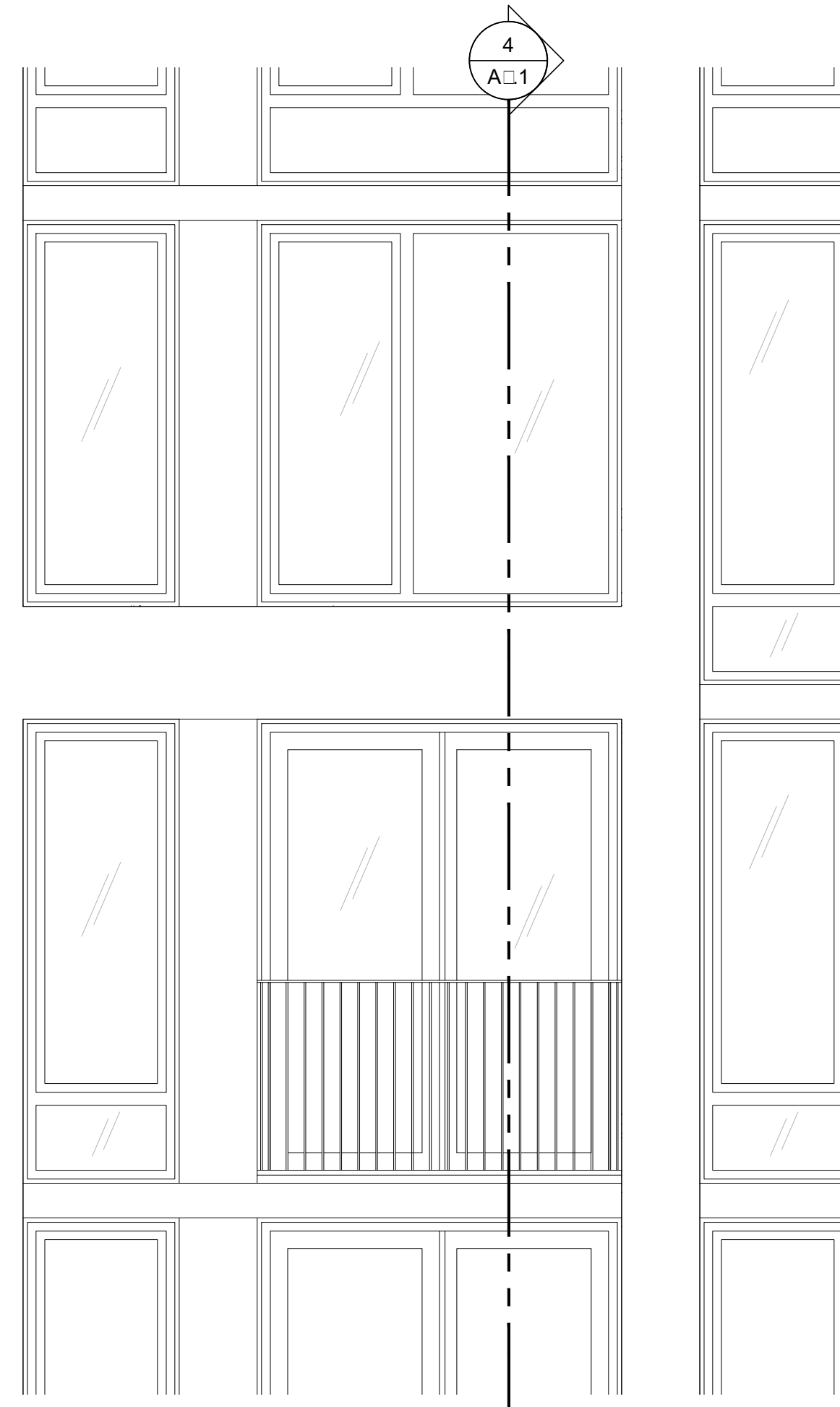
ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



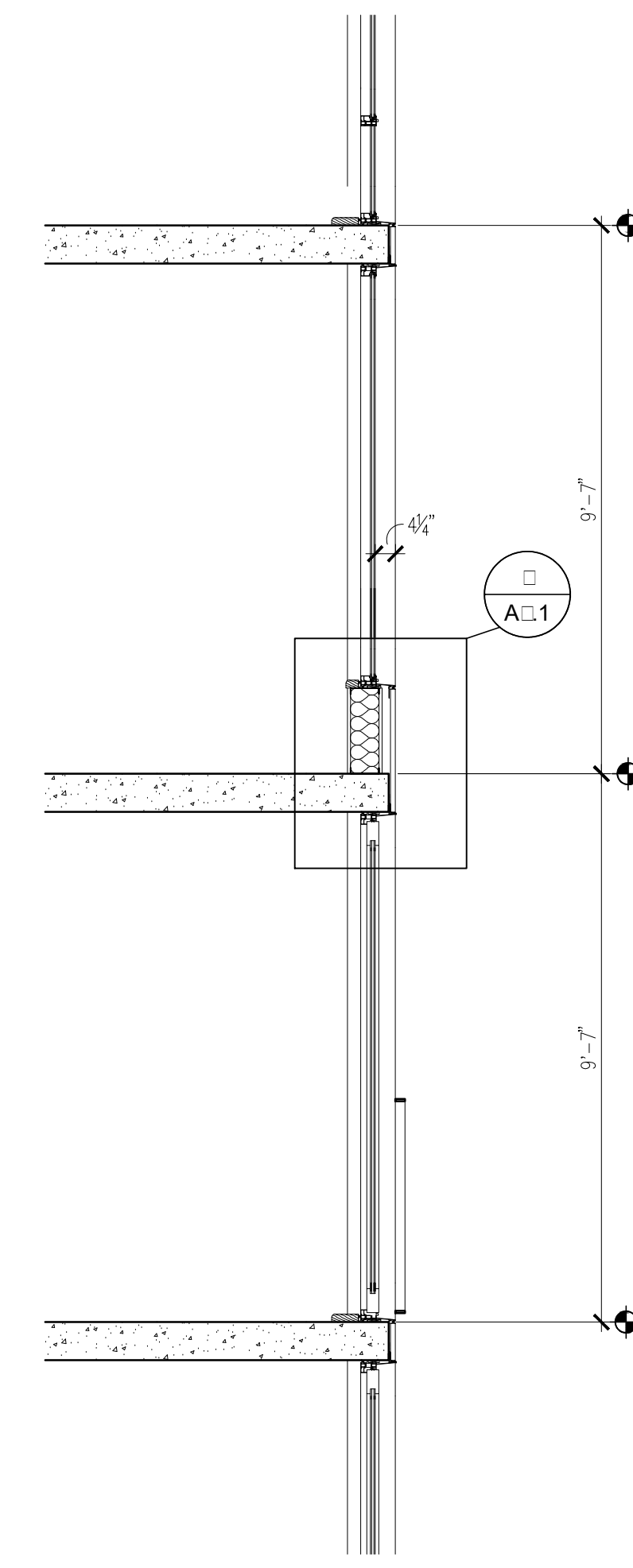
**7** ALUM PANEL SILL TO OPERABLE WINDOW HEAD DETAIL  
SCALE: 1 1/2" = 1'-0"



**6** VISION SILL TO VISION HEAD DETAIL  
SCALE: 1 1/2" = 1'-0"



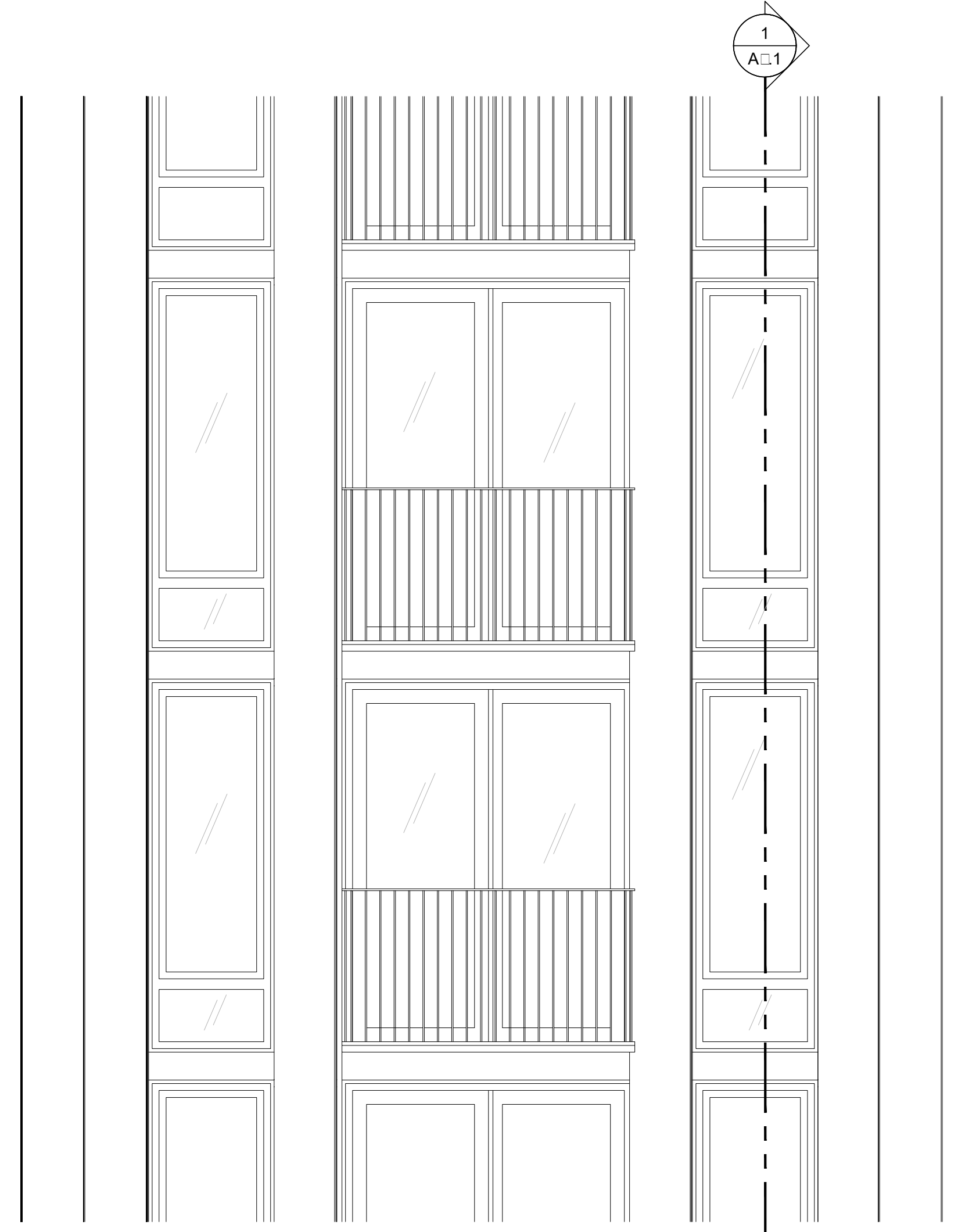
**5** MID-RISE ELEVATION DETAIL  
SCALE: 3/8" = 1'-0"



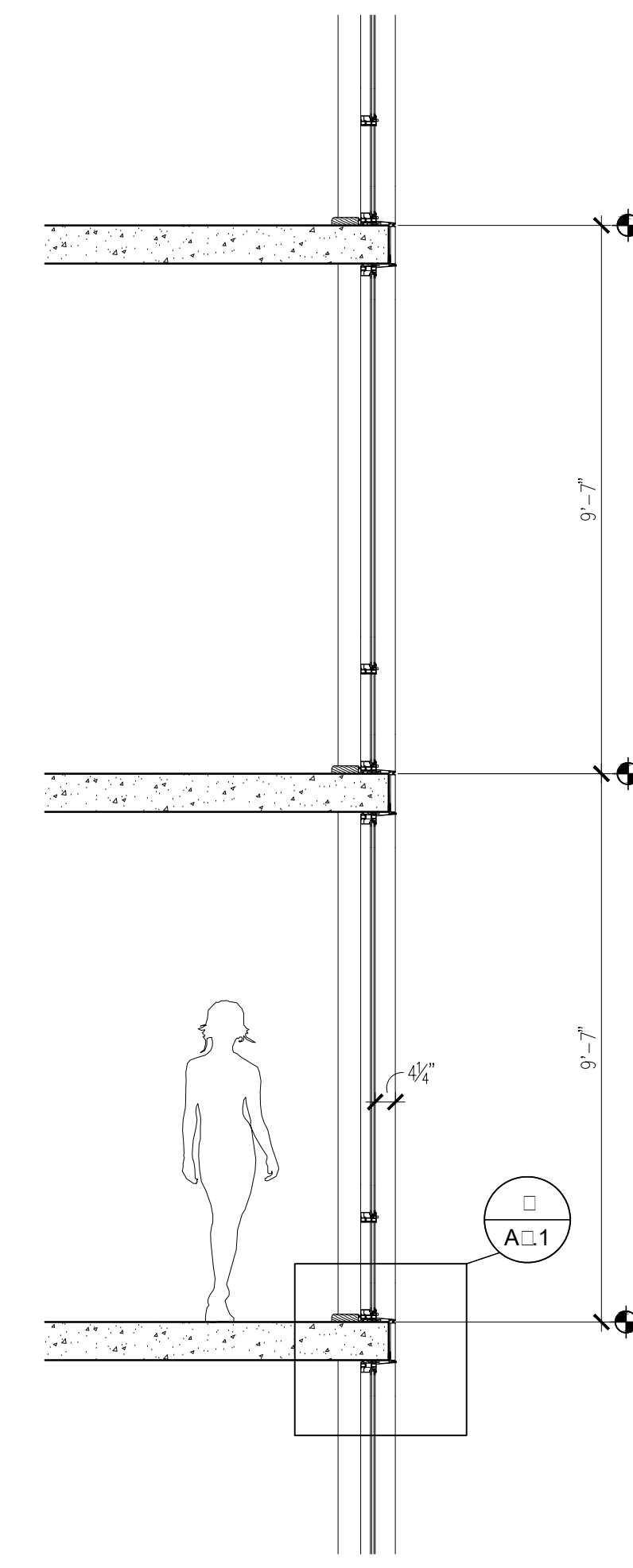
**4** WALL SECTION  
SCALE: 3/8" = 1'-0"



**3** BLDG 1 NORTH KEY ELEVATION  
SCALE: NTS



**2** MID-RISE ELEVATION DETAIL  
SCALE: 3/8" = 1'-0"



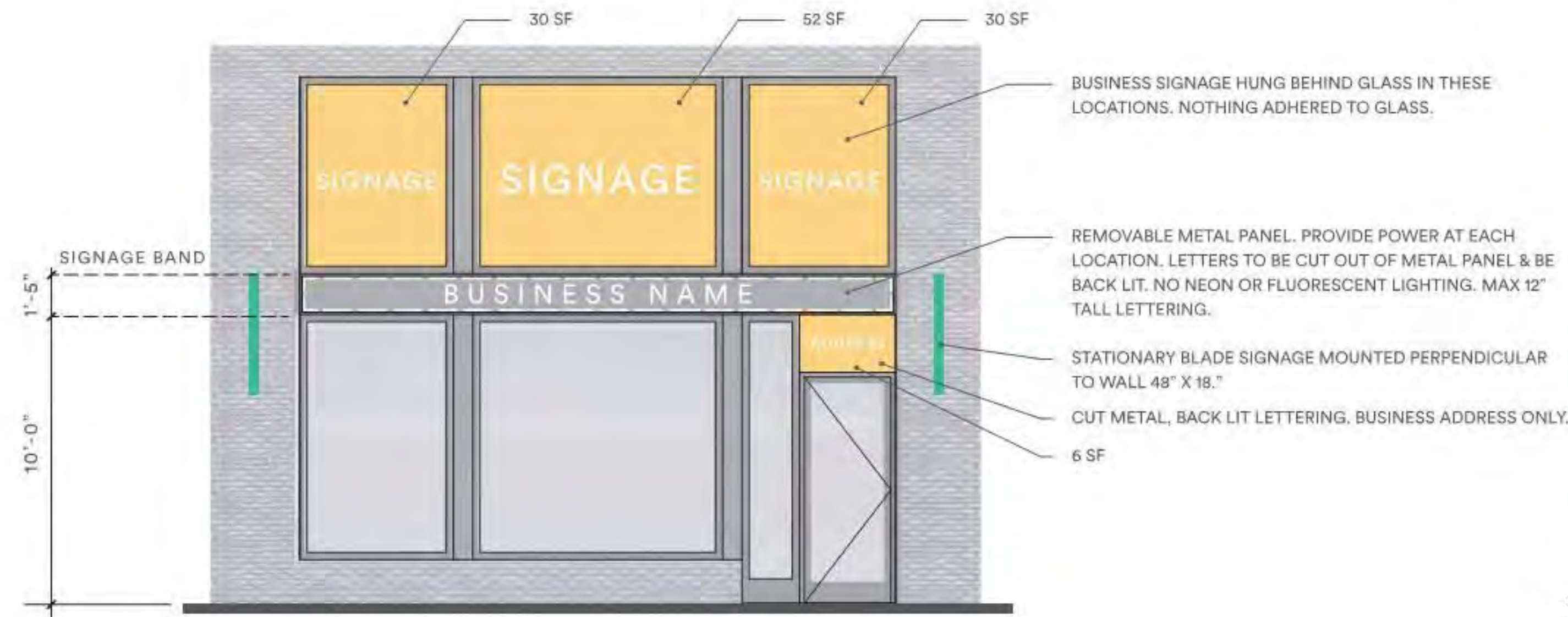
**1** WALL SECTION  
SCALE: 3/8" = 1'-0"



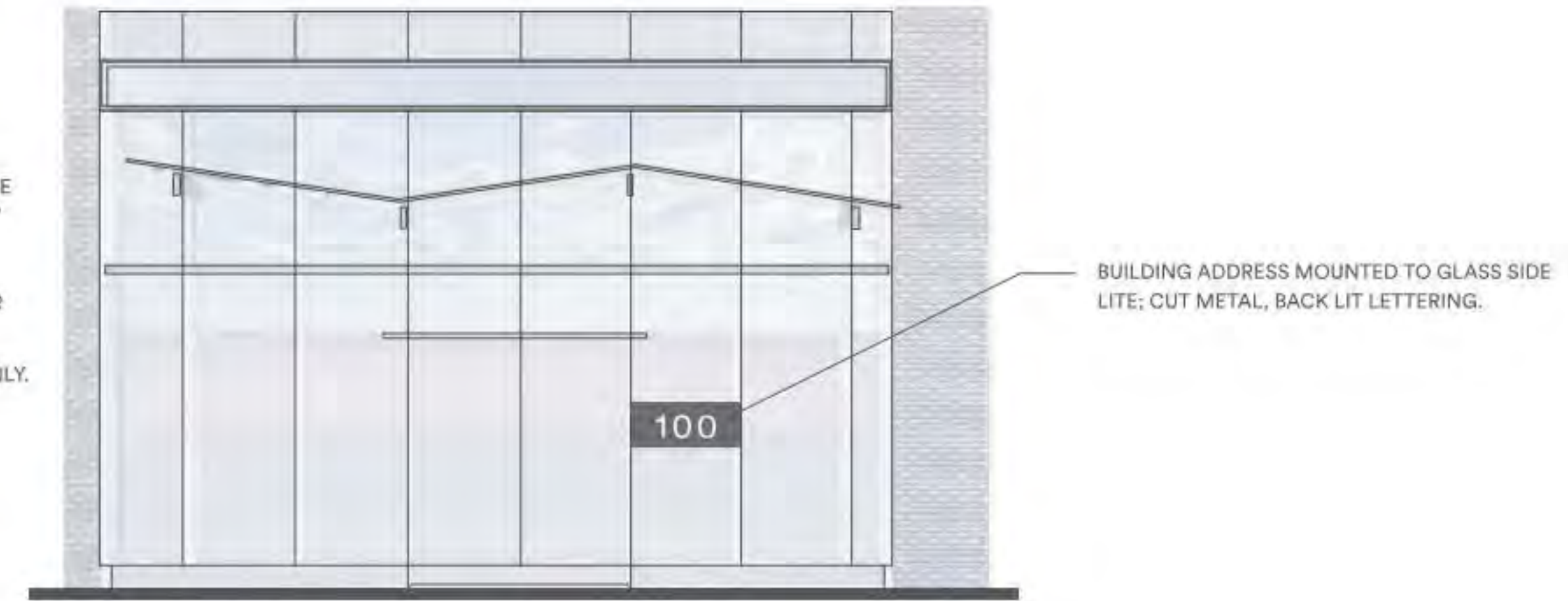
**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

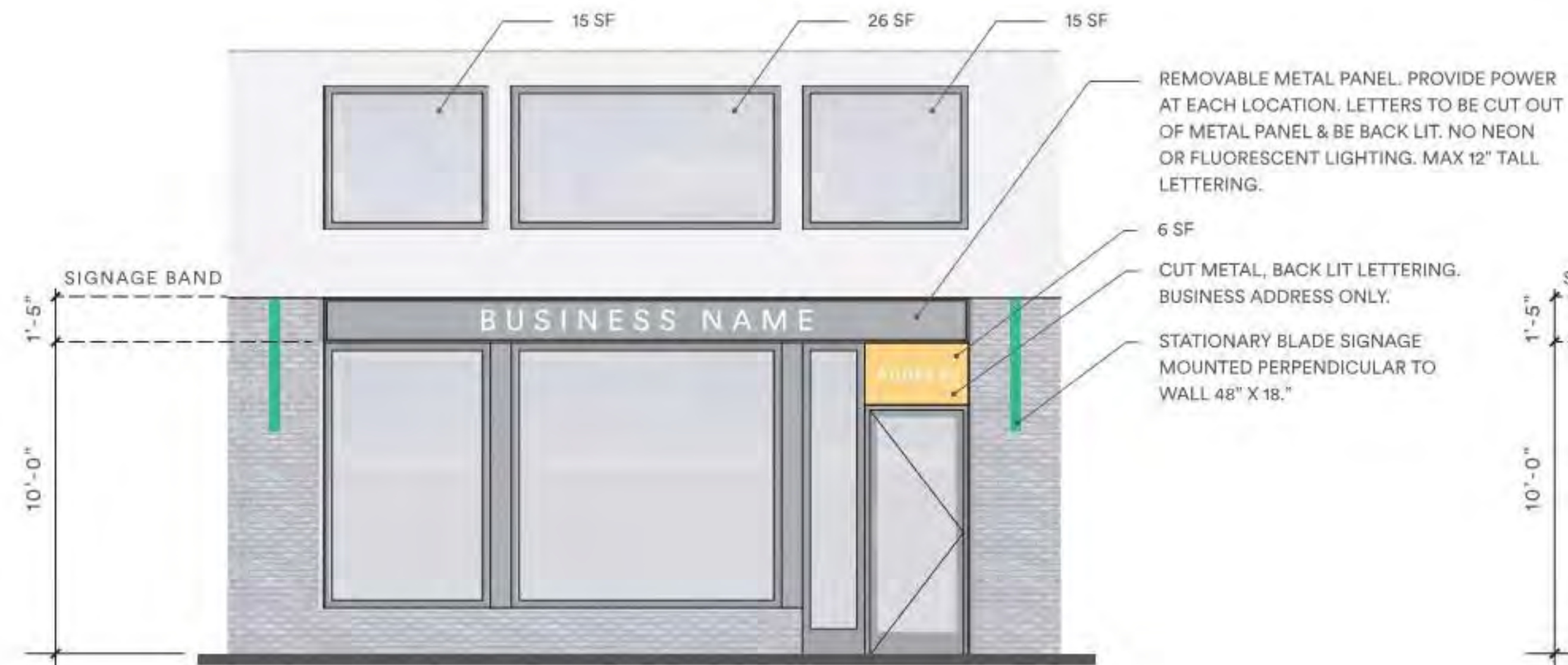
ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



2, 3, TYPICAL SEVENTH ST. RETAIL BAY



1, TYPICAL RESIDENTIAL LOBBY



4, TYPICAL MID BLOCK RETAIL BAY

EACH BUSINESS TO CONSTRUCT ITS UNIQUE IDENTITY  
PER GUIDELINES SET FORTH BY THE DESIGN TEAM



5, TYPICAL FIFTH ST. RETAIL BAY



PERSPECTIVE VIEW LOOKING WEST DOWN 7TH STREET



**500 KIRKHAM**  
 500 KIRKHAM STREET  
 OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

PERSPECTIVE VIEW LOOKING EAST DOWN 7TH STREET



**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

PERSPECTIVE VIEW LOOKING AT BUILDING 1 AND BUILDING 2



PERSPECTIVE VIEW AT CORNER OF 7TH STREET AND UNION STREET

1

**500 KIRKHAM**

500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE DATE

PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE DATE

PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

RENDERINGS



PERSPECTIVE VIEW LOOKING EAST DOWN 7TH STREET





ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



**500 KIRKHAM**  
 500 KIRKHAM STREET  
 OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

# LIGHTING FIXTURE LEGEND

- 

TYPE E1:  
ILLUMINATED BOLLARD  
BEGA 99 570
- 

TYPE E2:  
WALL MOUNTED DOWNLIGHT SCONCE  
BK LIGHTING EL CAPITAN SERIES
- 

TYPE E3:  
LANDSCAPE UPLIGHT  
BK LIGHTING DENALI SERIES
- 

TYPE E4:  
UNDER BENCH CURRENT LIGHT  
ACOLYTE AC RIBBONLYTE
- 

TYPE E5:  
IN-GRADE UPLIGHT  
TARGETTI KEPLERO
- 

TYPE E6:  
PEDESTRIAN SCALE AREA LIGHT  
BEGA 88 064
- 

TYPE E7:  
SUSPENDED DECORATIVE STRINGLIGHT  
PRIMUS DECOSTRING
- 

TYPE E8:  
WALL MOUNTED SCONCE  
BEGA 24 592
- 

TYPE E9:  
RECESSED DOWNLIGHT  
BEGA 55 826
- 

TYPE E10:  
WALL MOUNTED LINEAR DOWNLIGHT  
LUMENWERX VIA WET
- 

TYPE E11:  
GROUND MOUNTED WALL WASHER  
KIM LIGHTING 4300 SERIES
- 

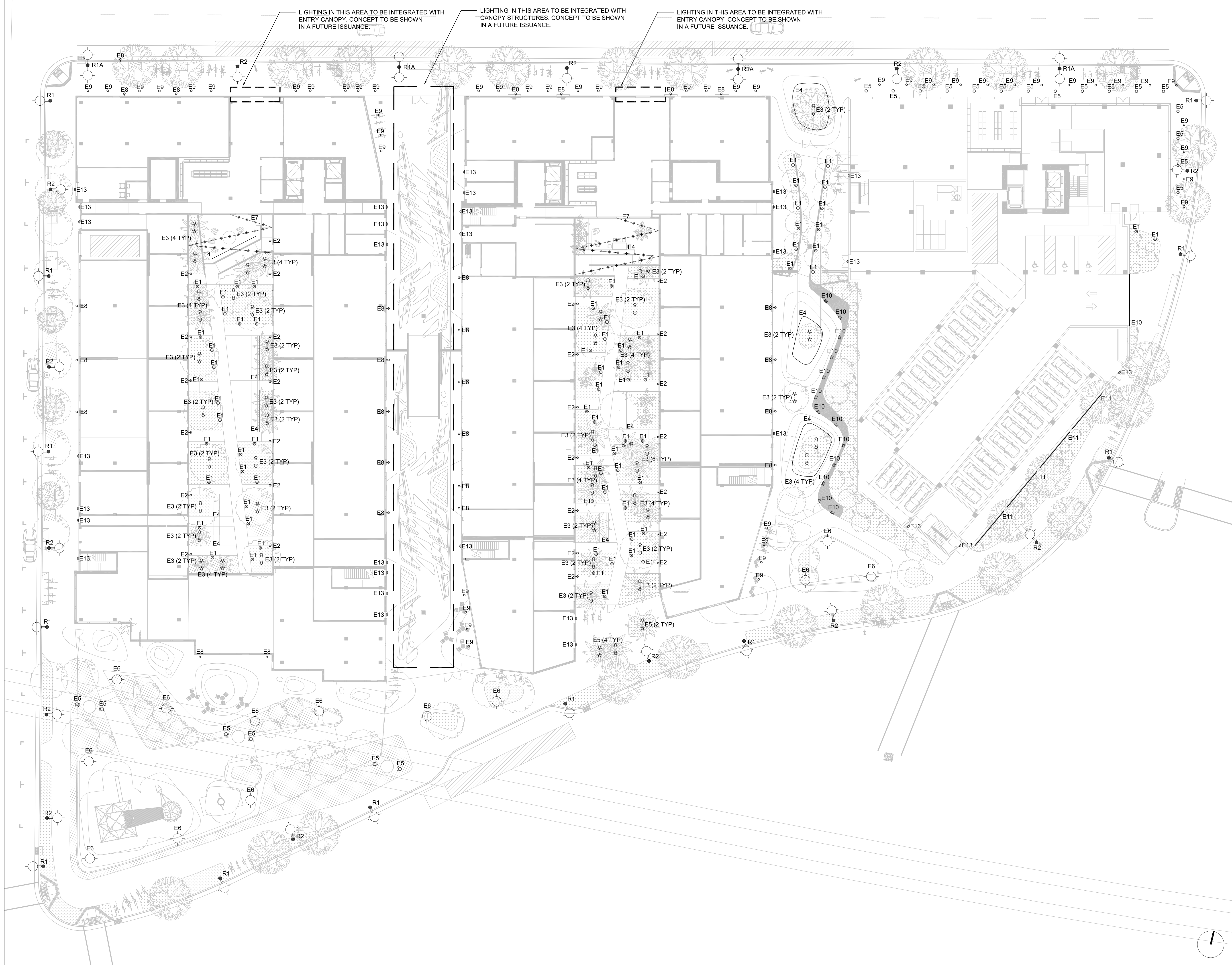
TYPE E12:  
TRELLIS MOUNTED ADJUSTABLE ACCENT  
B-K LIGHTING DELTA STAR
- 

TYPE E13:  
WALL MOUNTED SCONCE  
BEGA 22 360
- 

TYPE R1:  
ROADWAY COBRA HEAD FIXTURE
- 

TYPE R1A:  
ROADWAY COBRA HEAD FIXTURE WITH MID  
POLE PEDESTRIAN STREETSCAPE AREA  
LIGHT
- 

TYPE R2:  
PEDESTRIAN STREETSCAPE AREA LIGHT



ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

**LIGHTING FIXTURE LEGEND**

- 

TYPE E1:  
ILLUMINATED BOLLARD  
BEGA 99 570
- 

TYPE E2:  
WALL MOUNTED DOWNLIGHT SCONCE  
BK LIGHTING EL CAPITAN SERIES
- 

TYPE E3:  
LANDSCAPE UPLIGHT  
BK LIGHTING DENALI SERIES
- 

TYPE E4:  
UNDER BENCH CURRENT LIGHT  
ACOLYTE AC RIBBONLYTE
- 

TYPE E5:  
IN-GRADE UPLIGHT  
TARGETTI KEPLERO
- 

TYPE E6:  
PEDESTRIAN SCALE AREA LIGHT  
BEGA 88 064
- 

TYPE E7:  
SUSPENDED DECORATIVE STRINGLIGHT  
PRIMUS DECOSTRING
- 

TYPE E8:  
WALL MOUNTED SCONCE  
BEGA 24 592
- 

TYPE E9:  
RECESSED DOWNLIGHT  
BEGA 55 826
- 

TYPE E10:  
WALL MOUNTED LINEAR DOWNLIGHT  
LUMENWERX VIA WET
- 

TYPE E11:  
GROUND MOUNTED WALL WASHER  
KIM LIGHTING 4300 SERIES
- 

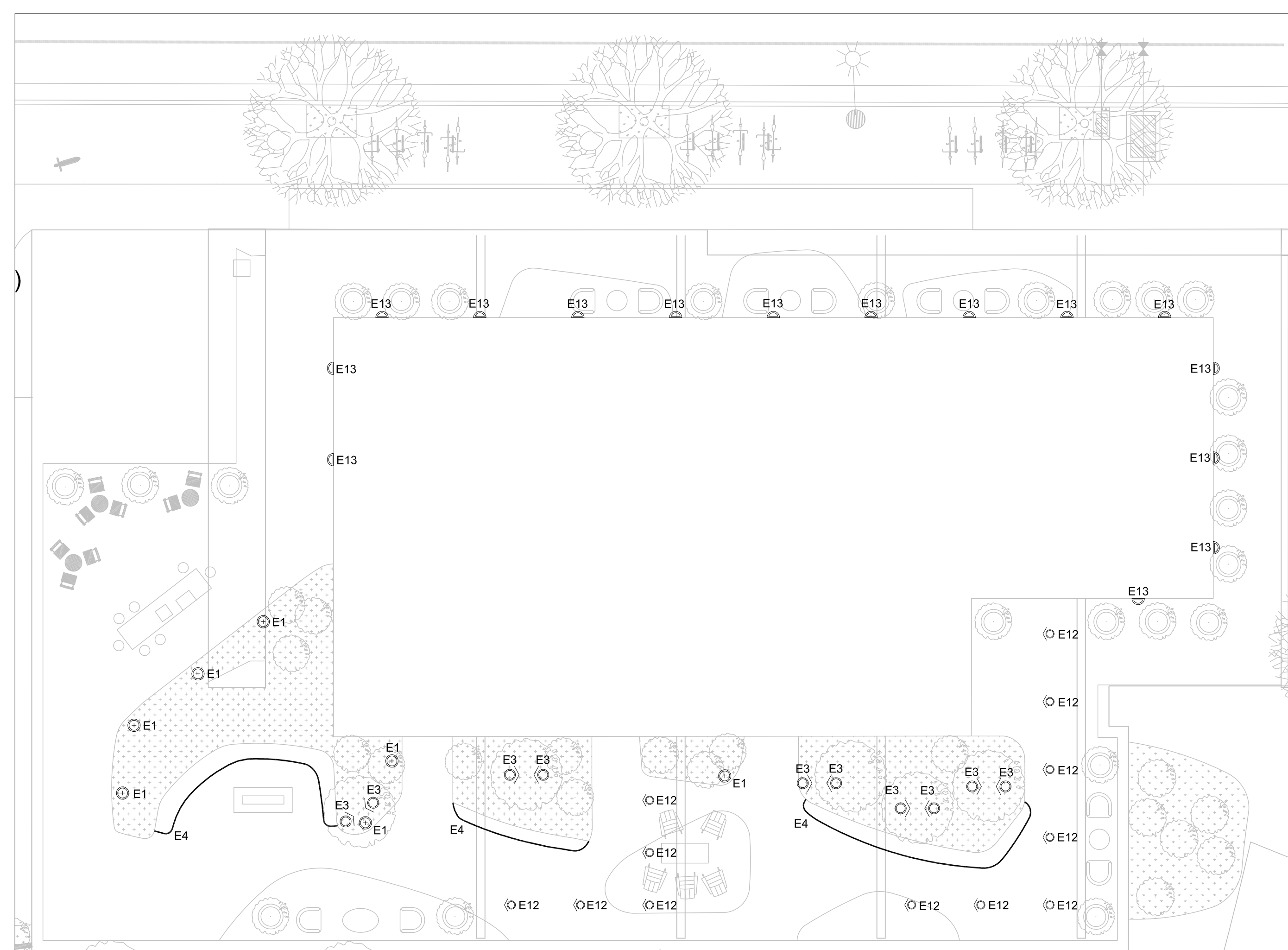
TYPE E12:  
TRELLIS MOUNTED ADJUSTABLE ACCENT  
B-K LIGHTING DELTA STAR
- 

TYPE E13:  
WALL MOUNTED SCONCE  
BEGA 22 360
- 

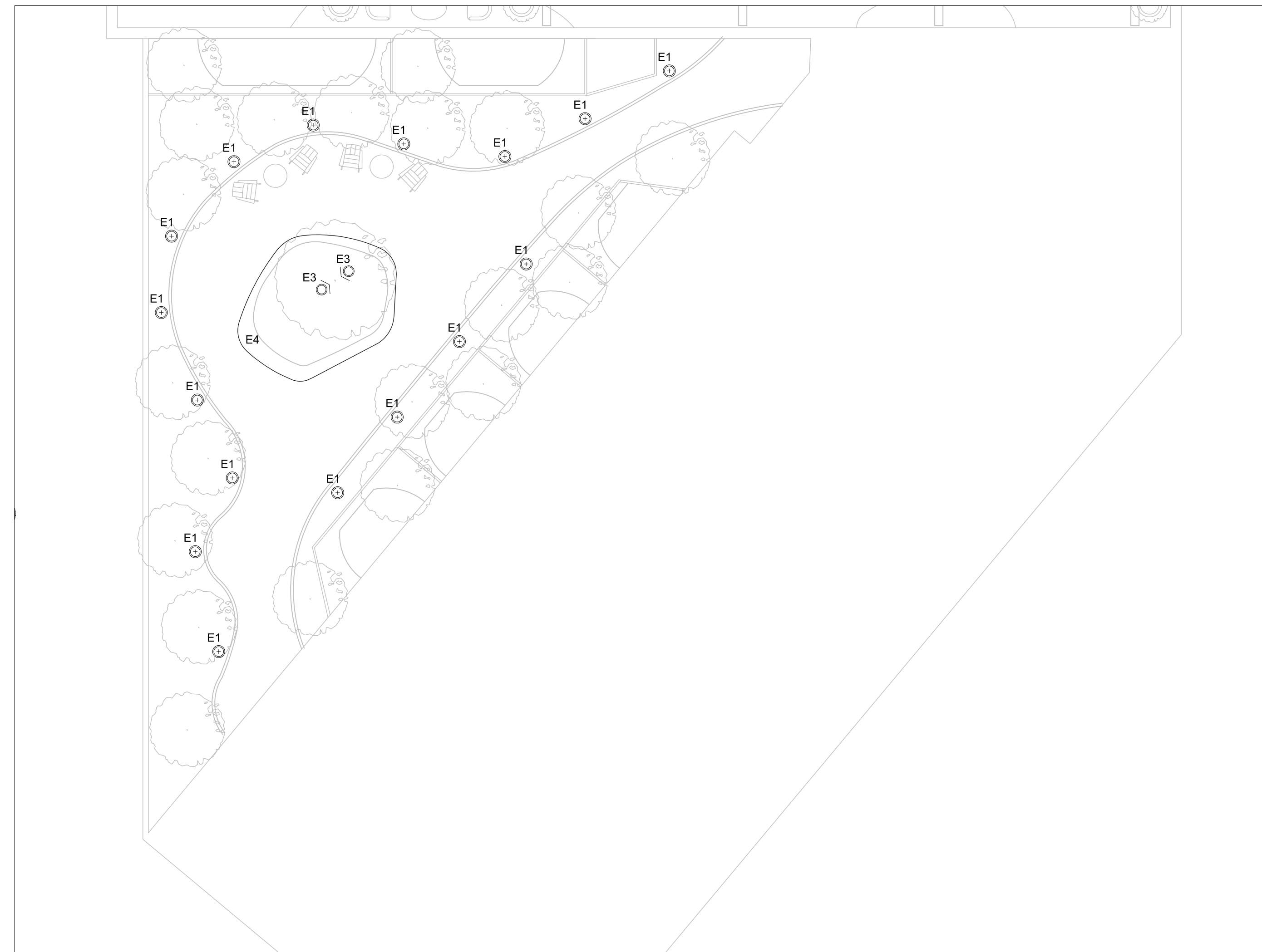
TYPE R1:  
ROADWAY COBRA HEAD FIXTURE
- 

TYPE R1A:  
ROADWAY COBRA HEAD FIXTURE WITH MID  
POLE PEDESTRIAN STREETScape AREA  
LIGHT
- 

TYPE R2:  
PEDESTRIAN STREETScape AREA LIGHT



**1 ROOF TOP TERRACE**  
3/32" = 1' - 0"

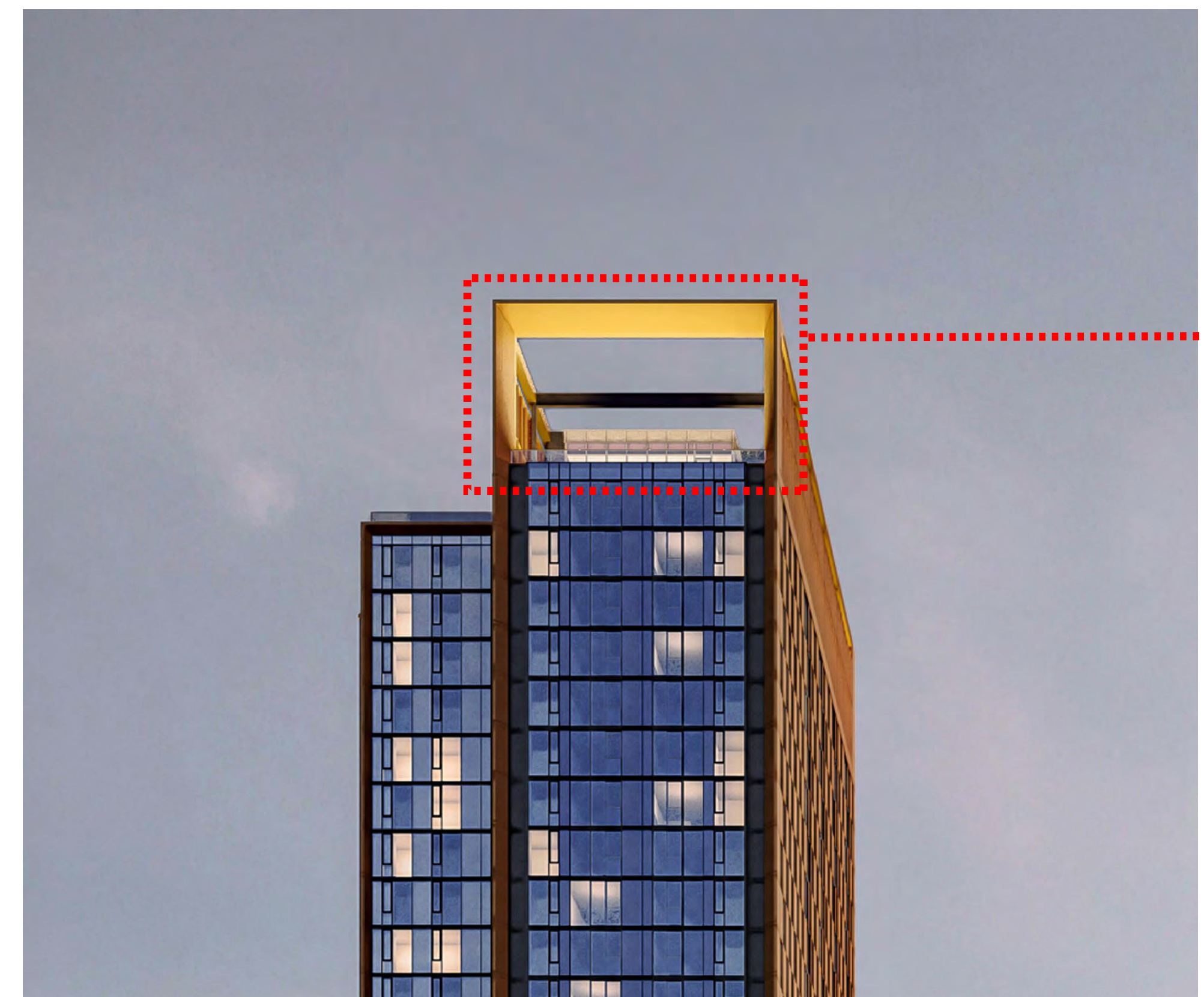


**2 LEVEL 2 - TERRACE**  
3/32" = 1' - 0"



**3 BUILDING 1 - SCULPTURAL ELEMENT**

LIGHTING INTEGRATED INTO SCULPTURAL ELEMENT



**4 BUILDING 3 - CROWN**

LIGHTING INTEGRATED WITH BUILDING CROWN

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

DESIGN PRINCIPLE 1

# LEARN FROM THE UNIQUE HISTORY AND CONTEXT OF WEST OAKLAND

NEIGHBORHOOD CONTEXT:

## NEIGHBORHOOD ASSETS

Today, the area of West Oakland is amidst a positive transformation. The Mandela Food Coop, the Grow Incubator Center, which promotes small, local arts businesses, and the Civicorps Job Training and Education Center, all have made tremendous community impact and are setting the direction for the social and physical transformation of the district.



The Crucible



Civicorps



Grow Incubator

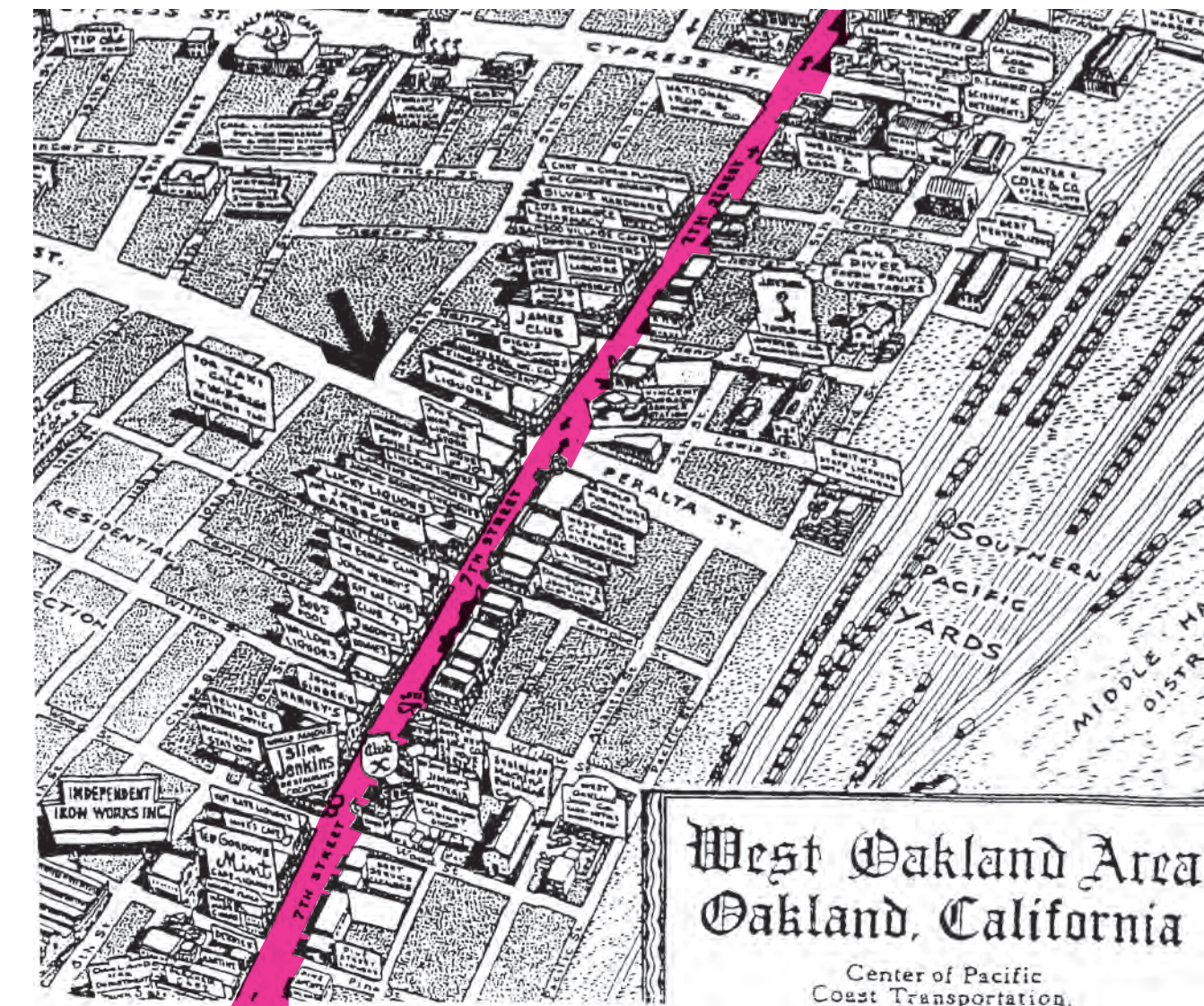


Mandela Food Co-Op

SITE AND WEST OAKLAND HISTORY:

## A LEGACY OF JAZZ: 7TH STREET

West Oakland's 7th Street was once known as the Harlem of the West, with its rich legacy and high concentration of jazz and blues performance halls. However, in recent times, the construction of the BART line along 7th Street greatly impacted this character and legacy. Now, however, 500 Kirkham, along with its reinforcement of West Oakland assets, can help rebirth 7th Street as the main cultural street of the district.



West Oakland circa 1940's: The West Coast Blues



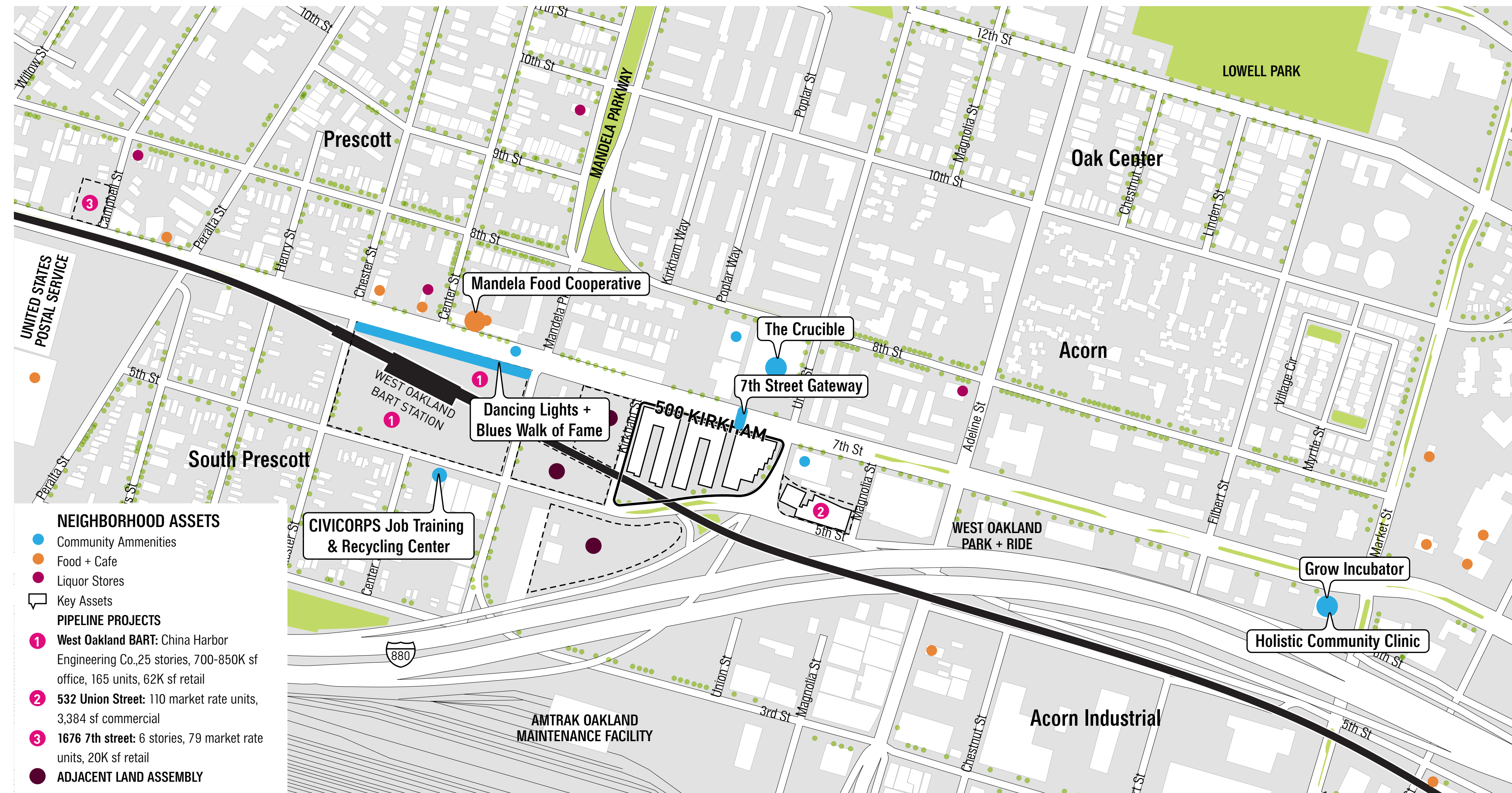
Slim Jenkins



Esthers Orbit Room (closed 2011)

## OAKLAND'S INDUSTRIAL PAST

One of the project's goals is to be anchored to its unique context. West Oakland's rich history is closely associated with the development of the Oakland Port and the ship building activities during the Second World War. The area's history and wide mix of creative uses are key elements that drive the project design and will be celebrated through the incorporation of related materials, finishes, visual references and creative programming.



ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

# CREATE A LANDMARK ON 7TH STREET AS A GATEWAY TO OAKLAND



View from 7th Street Looking East



View from 7th Street Looking West

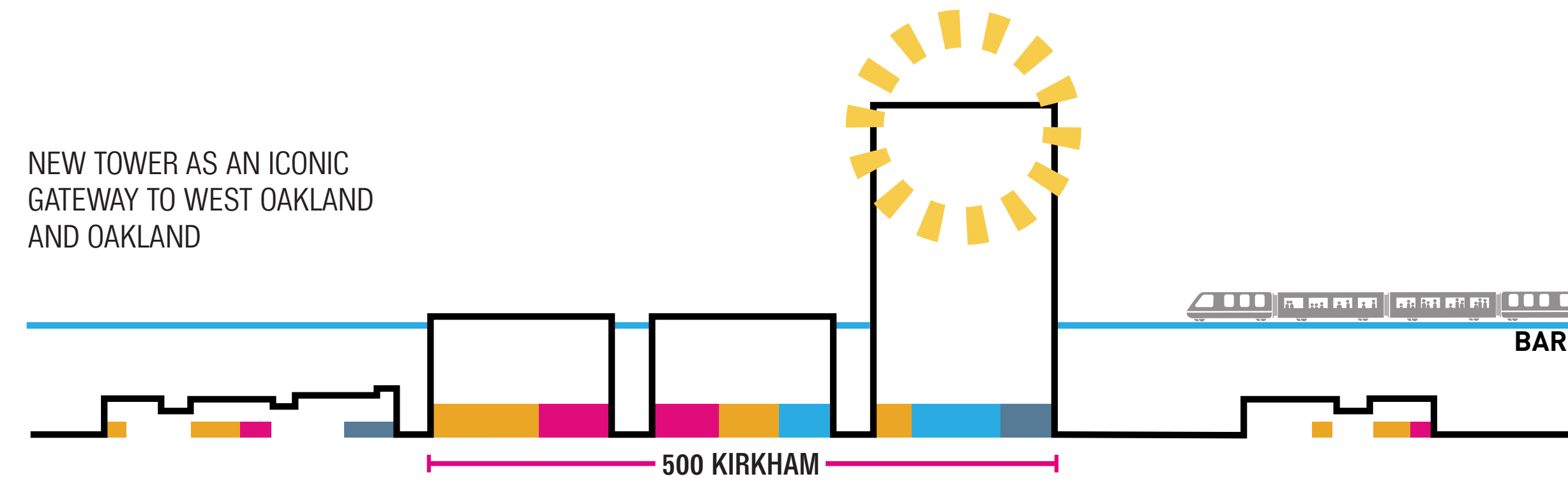
## A CRITICAL JUNCTION FOR OAKLAND

The site is at a critical junction in Oakland. By location, it works as a bridge between West Oakland and Downtown Oakland and the high-rise serves as a gateway to West Oakland and Oakland as a whole, as seen from BART and Highway 880.

BRIDGING MATERIALITY AND SCALE

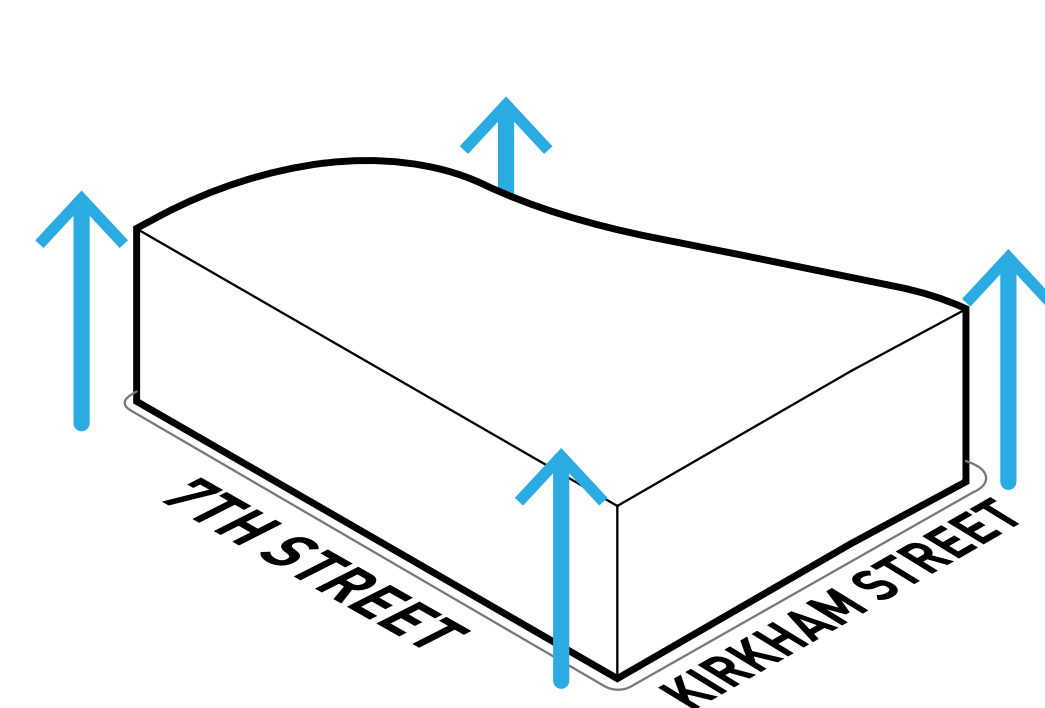


NEW TOWER AS AN ICONIC GATEWAY TO WEST OAKLAND AND OAKLAND

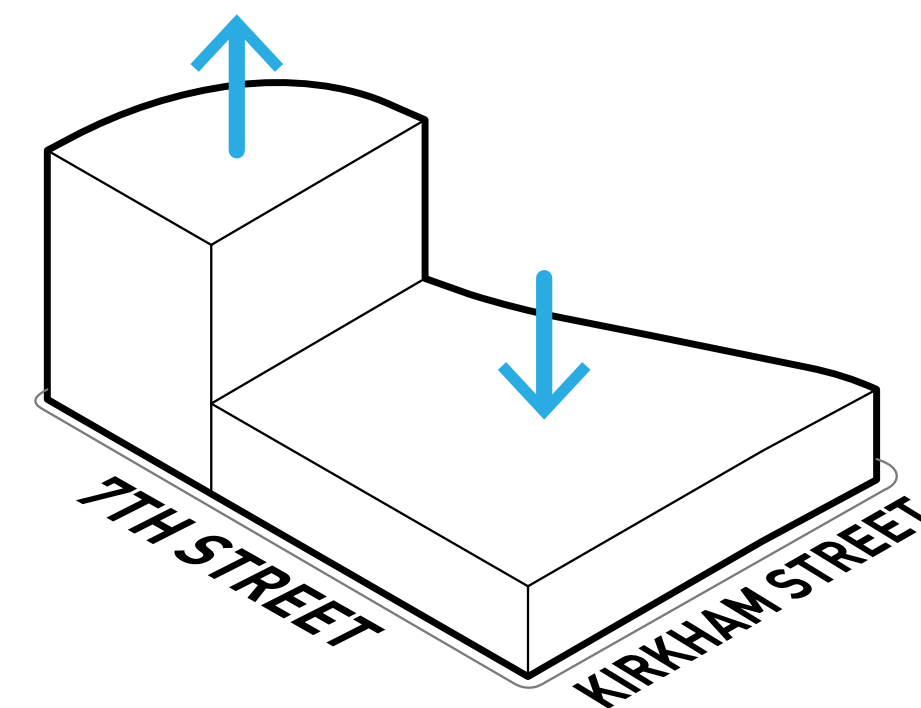


## MORPHOLOGY: CONTEXT RESPONSIVE FORM

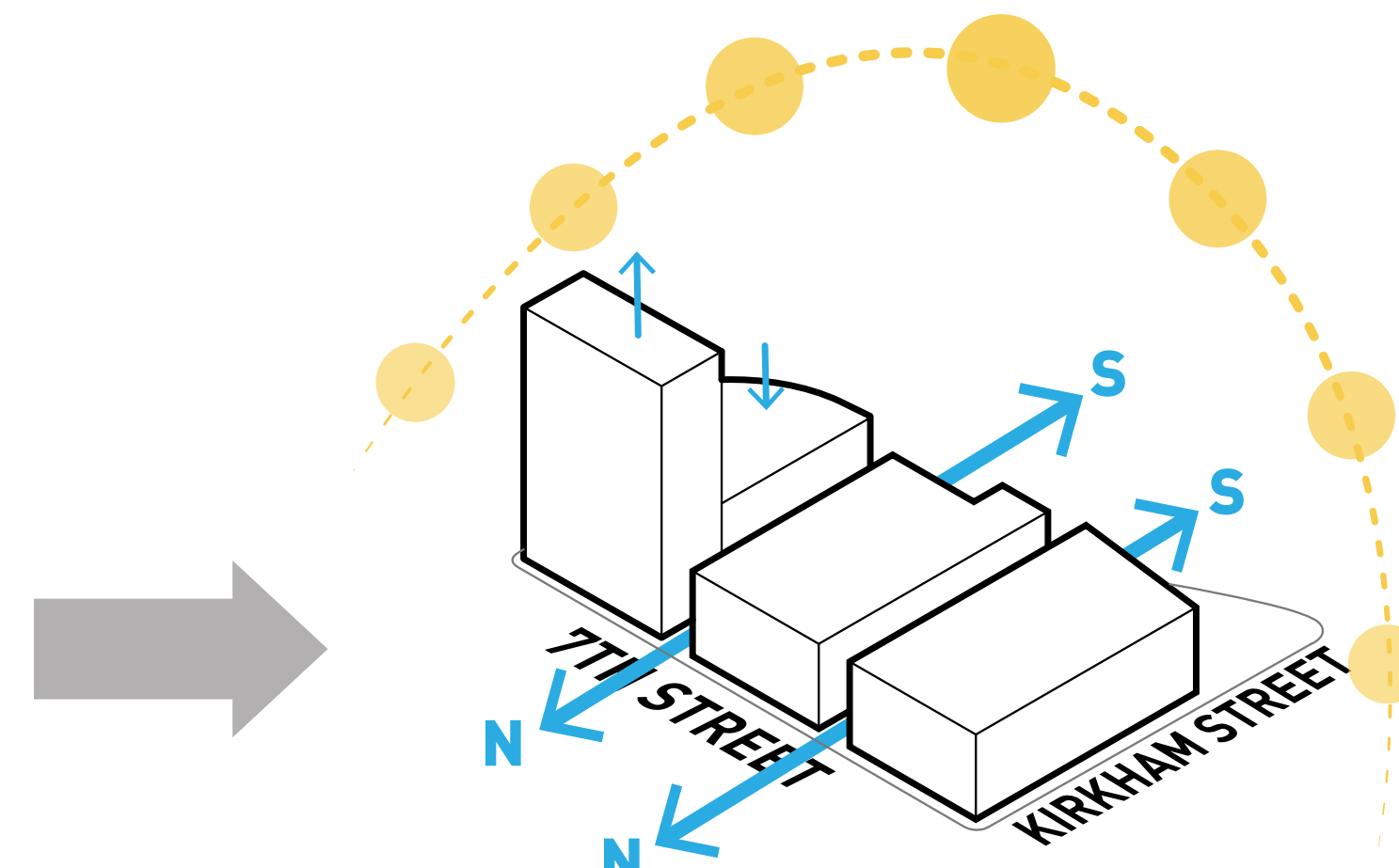
The massing strategies are a direct response to the site location and the potential role the project could play in creating a legible urban environment. The taller portion of the project connects the project to Downtown Oakland and Oakland as a whole. The site is intersected by pedestrian pathway, oriented North-South, inviting the neighborhood in, to partake in the ground floor activities. Residential courtyards are also oriented North-South to be thermally welcoming and comfortable. The iconic high-rise building is oriented facing 7th Street to reinforce the role of the street as an important boulevard in the district.



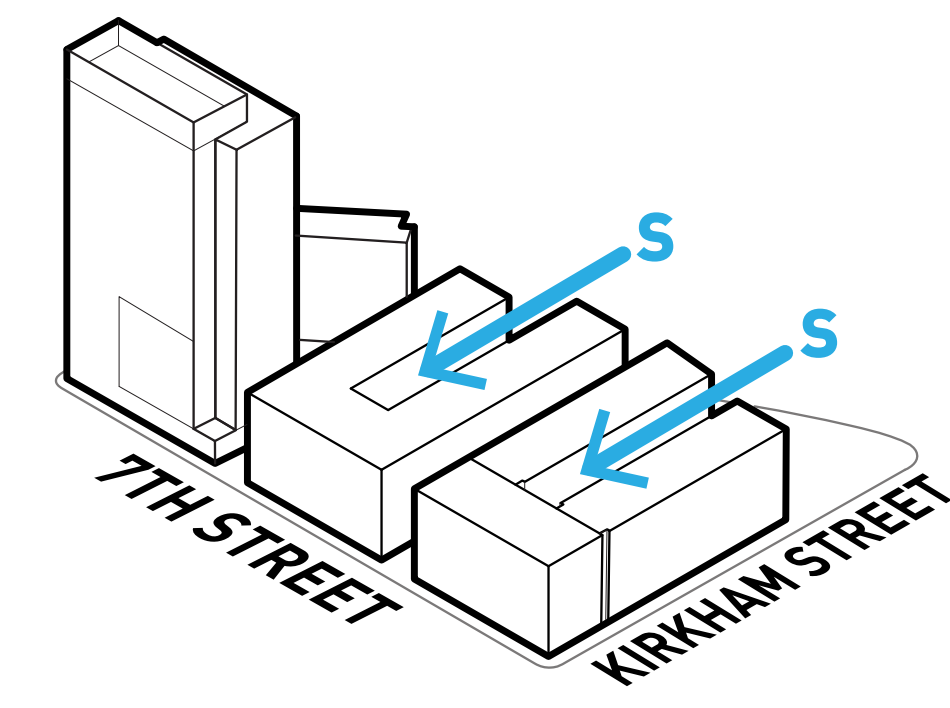
MASSING ENVELOPE



TALLER LANDMARK TOWARDS DOWNTOWN OAKLAND



OPEN SITE WITH NORTH - SOUTH PEDESTRIAN PATHWAYS



FORM OF BUILDINGS REINFORCES ROLE OF 7TH STREET, COURTYARDS OPEN ON TO 5TH STREET



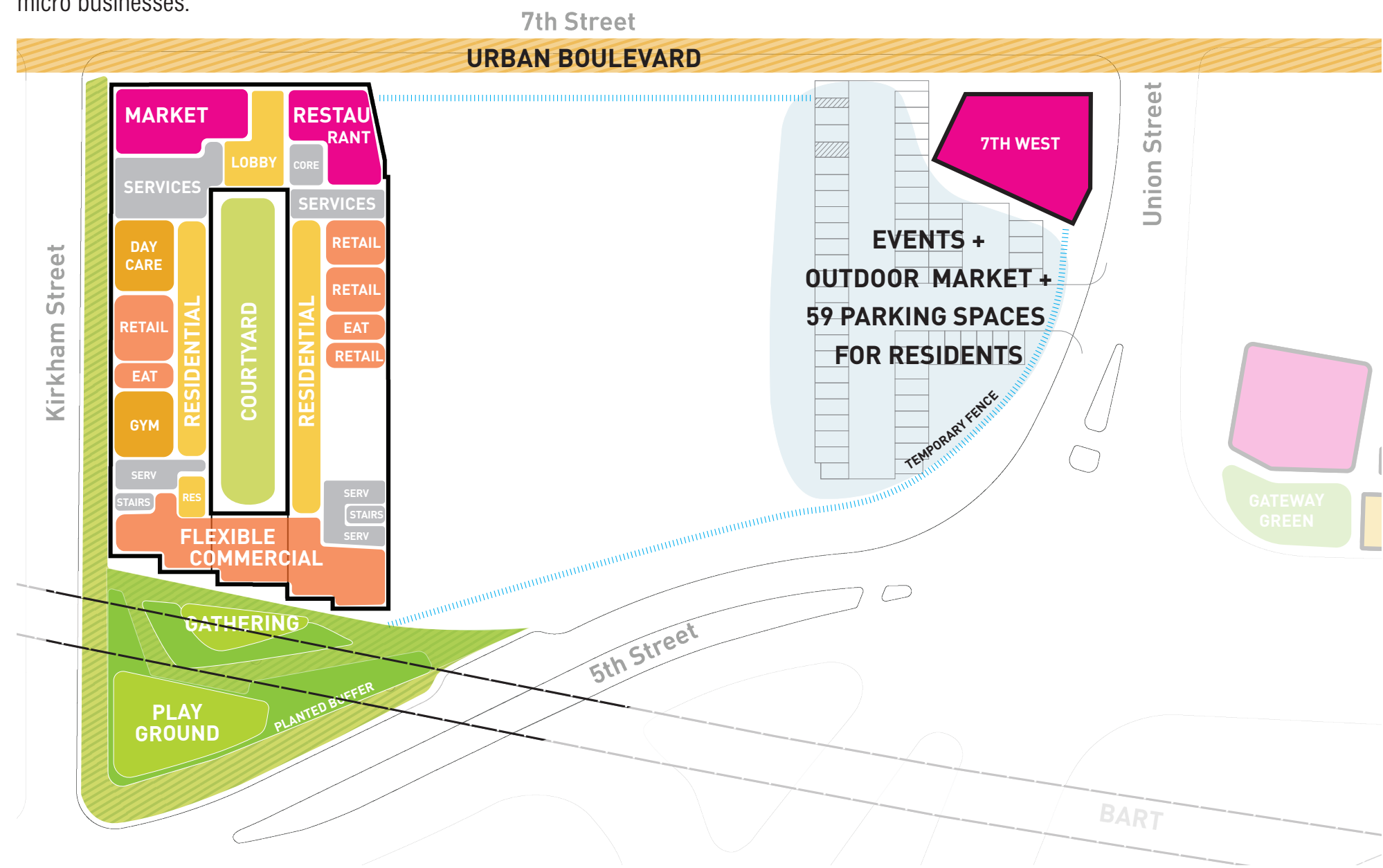
DESIGN PRINCIPLE 3

# PROMOTE AN ACTIVE GROUND PLANE EXPERIENCE

## PROGRAMMING: PHASE 2

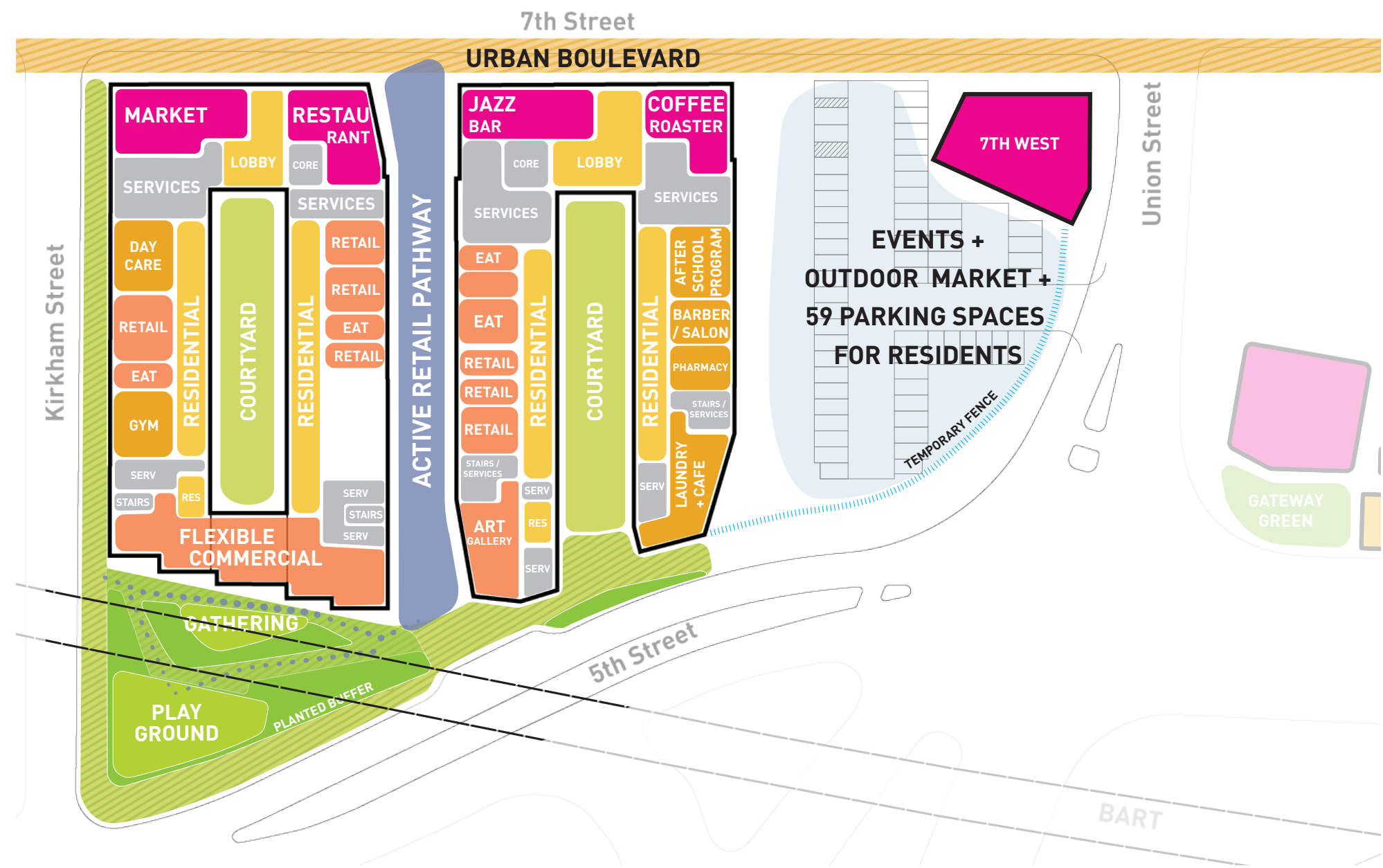
The ground plane diagram indicates how the public realm could begin the transformation of the area in Phase 2 as an attractive and active urban place. Kirkham retail frontage will be the first experience that pedestrians coming from the West Oakland BART station will encounter. The retail frontage on Kirkham will provide a strong connection to the open space located under the BART elevated tracks that is also activated with additional commercial frontage. This new park/open space will become a social destination in the district and will set the tone for the overall transformation of the area.

The surface lots adjacent to the 7th West business (Phase 2 Site) will be used for public events such as a farmers' market, pop-up performances, art shows, movie nights, and other social events to bring 500 Kirkham and surrounding community together even before final project completion. This phase will lay the ground work and connect the site's open space network and active program into a rich and active public realm. The seeds for the active retail pathway will take shape and provide West Oakland with unique opportunities for businesses and micro businesses.



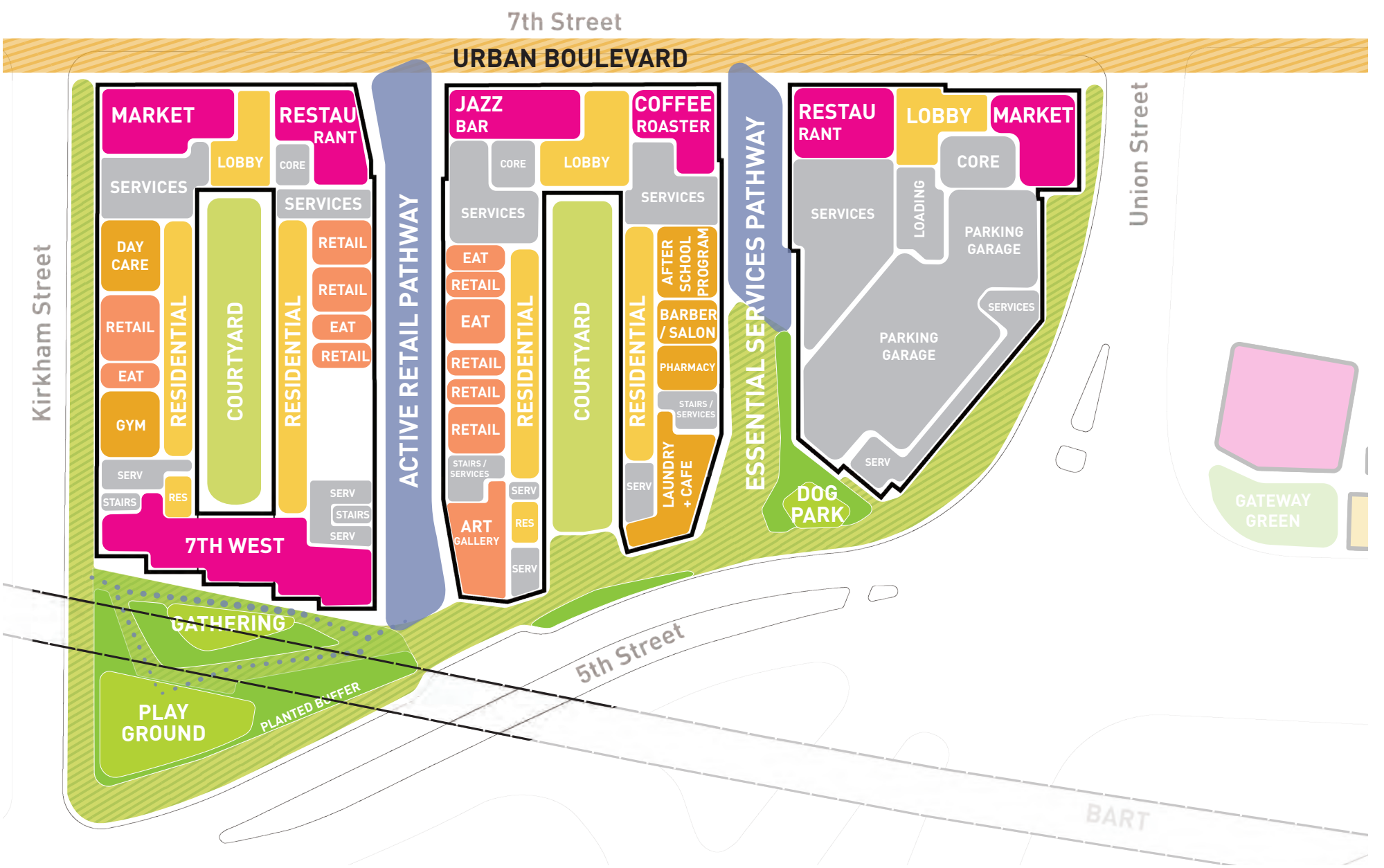
## PROGRAMMING: PHASE 3

Once Phase 2 is complete, two unique pedestrian pathways will contribute to a rich public realm, in addition to the 7th Street and 5th Street active frontages. The "Essential Services Pathway" which by that time will be framed only by one building, focuses on providing residents and neighbors with essential services such as after-school care, laundromat, food market, drugstore, and bike repair while the "Active Retail Pathway" will be a new destination in the district. Between both pathways, a wide range of uses would serve the local population, while the retail and business opportunities would provide much-needed activation to the area.



## PROGRAMMING: PHASE 4

Once Phase 3 is complete, two unique pedestrian pathways will be fully created and will contribute to create a rich public realm in the project, in addition to the 7th Street and Kirkham Street active frontages. In addition to the role of providing amenities for residents, the "Essential Services Pathway" will also be an extension of the open space network along 5th street and provide space for a dog park, encouraging social interaction between the 500 Kirkham residents.

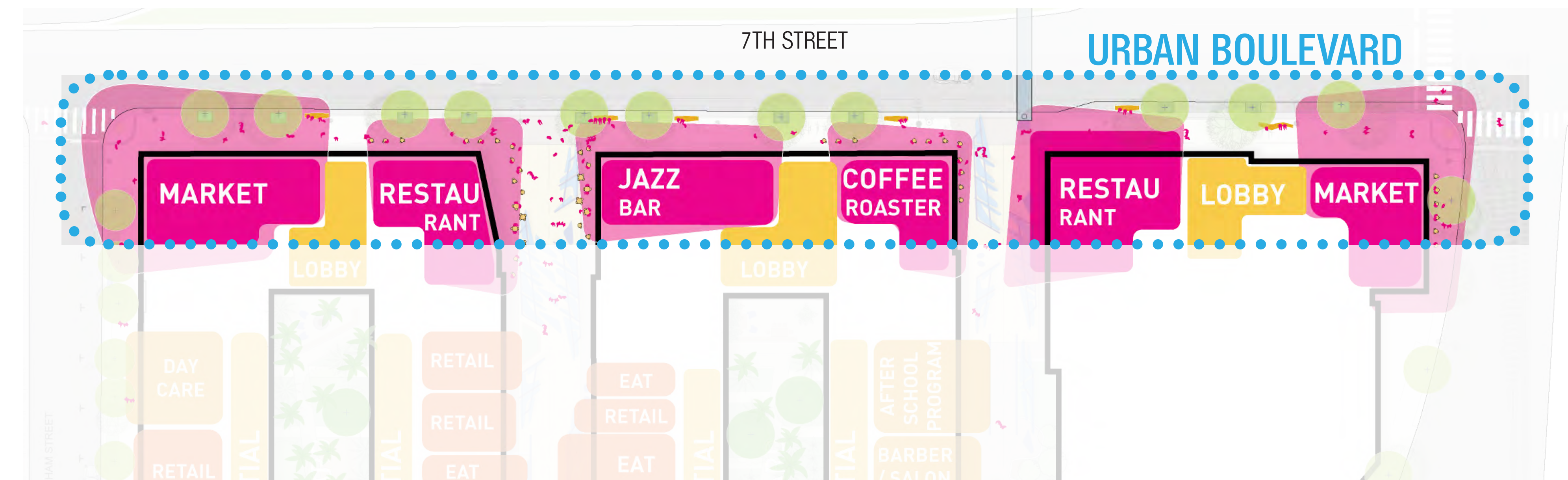


DESIGN PRINCIPLE 4

# REPOSITION 7TH STREET AS THE MAIN BOULEVARD OF WEST OAKLAND

## 7TH STREET AS AN URBAN BOULEVARD

7th Street is repositioned as the main street of West Oakland through significant urban architecture that responds appropriately to the scale of the boulevard and by locating anchor retail tenants along the frontage. The retail frontage is maximized along the length of the boulevard to ensure a vibrant urban experience that builds on the unique heritage of the district, including markets, food destinations, and a jazz performance space. The residential lobbies will have a limited presence on the boulevard and serve primarily as welcoming spaces for social interaction between residents and visitors. The retail storefront design will be open to invite the local neighborhood to engage with the project. The 7th Street sidewalk is designed to be generous in width, accentuated with a recessed ground floor and will include bike parking, outdoor seating, and street trees.



ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

# CREATE UNIQUE AND COMFORTABLE PEDESTRIAN PATHWAYS TO SUPPORT THE CREATIVE ECONOMY OF WEST OAKLAND

## PATHWAY TYPOLOGIES

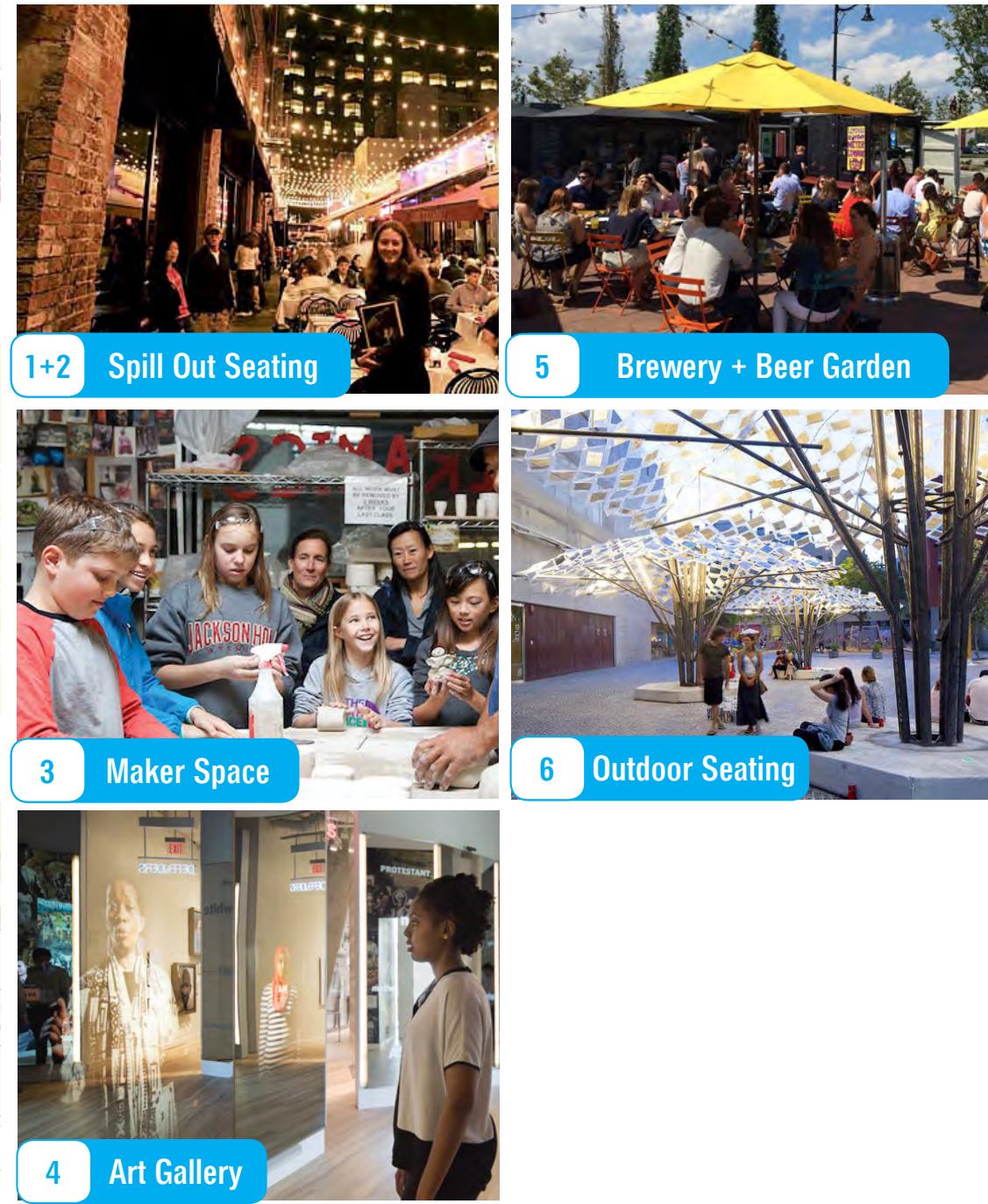
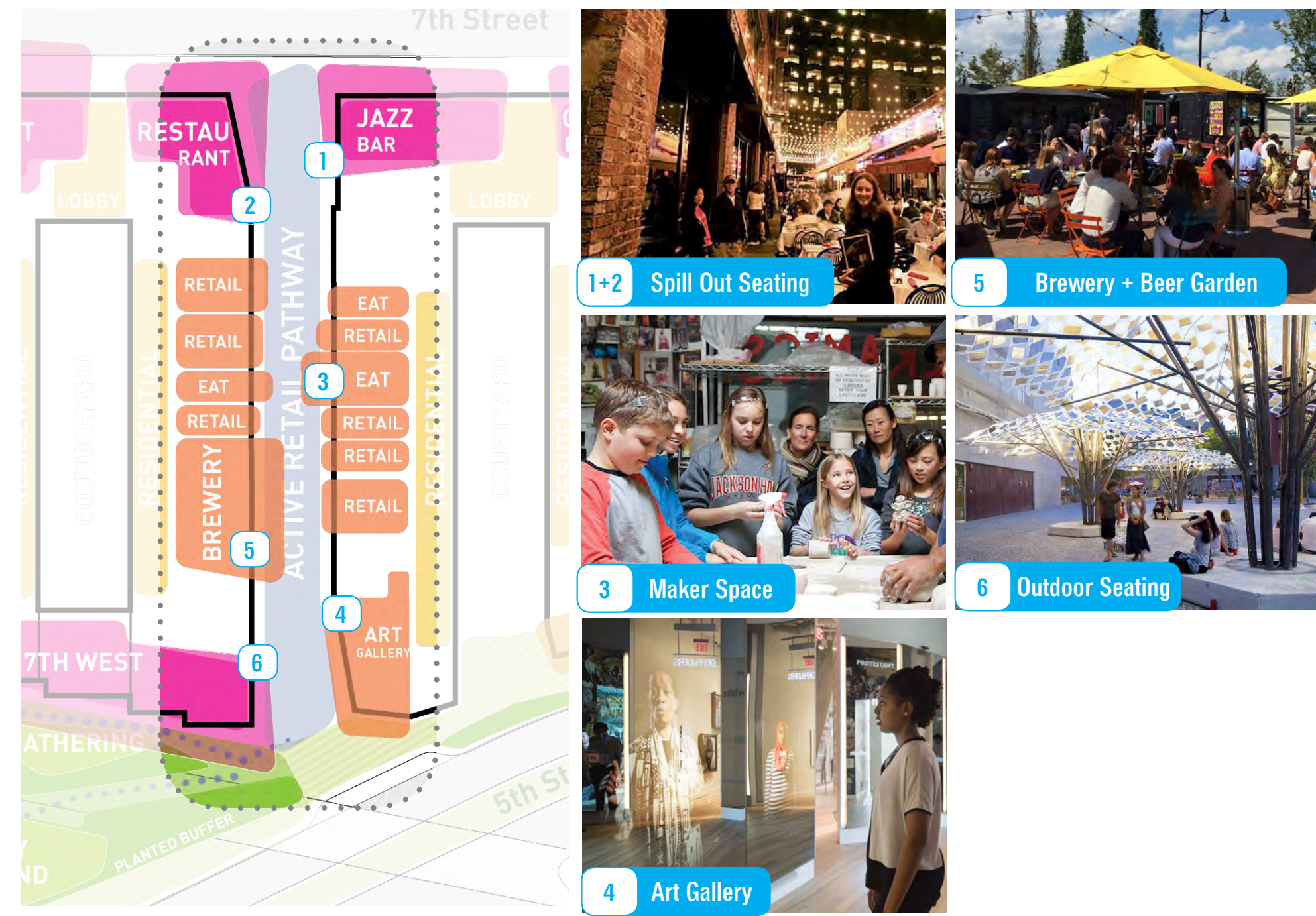
The character and experience of the pedestrian pathways are designed and programmed to provide on-site services for residents as well as a new destination for the people of Oakland. The eclectic mix of proposed uses, materials, façade design, and signage bring a human scale to the walkways. These pathways do not have curb cuts and are designed to be predominantly pedestrian-accessible. However, service and emergency vehicles will have access to them through a combination of rolled curbs and removable bollards. Vehicular access to the pathways will be restricted to non-peak hours for deliveries and/or emergencies.

### ACTIVE RETAIL PATHWAY

The Active Retail Pathway serves as the more prominent, public-facing pedestrian pathway – a new destination for both on-site residents and locals of Oakland. The character of the place intends to be energetic and inviting by providing ample types of outdoor seating, lighting, and various retail uses on both sides. Potential programming includes art galleries, performance spaces, beer garden, cafes, and incubators/makerspaces.

### PASSIVE ESSENTIAL SERVICES PATHWAY

To complement the Active Retail Pathway, the Essential Services Pathway's main purpose is to serve the residents of the project by providing more family-oriented, passive activation zones. Potential retail uses include a children's after-school program, laundromat, a workout space, and shared work spaces. The parking garage in Building 3 will be screened with lush vegetation.



## PATHWAY DEVELOPMENT STRATEGY

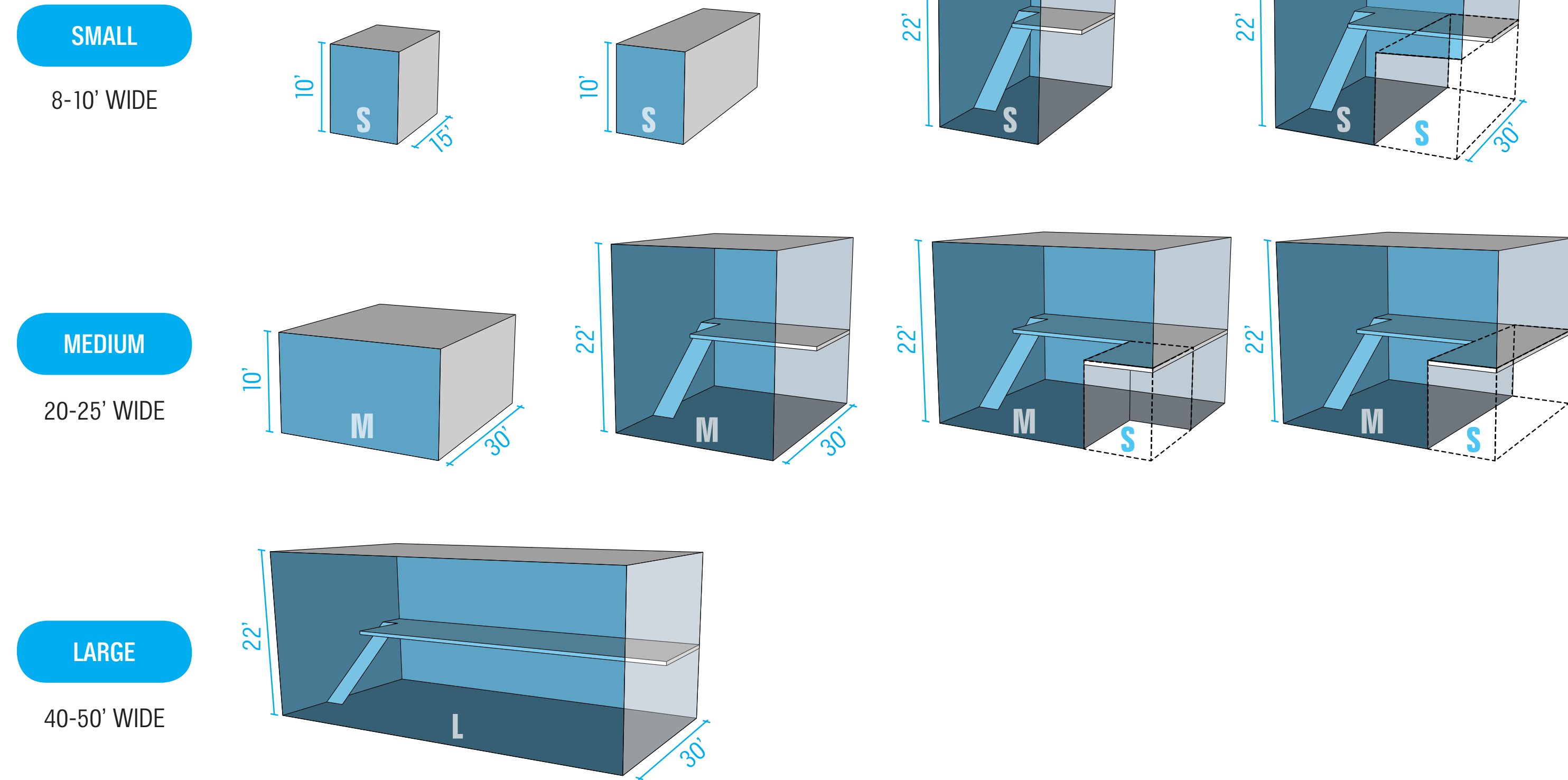
In order to provide human scale and a unique character to each pedestrian way, the façade of the buildings facing the pathways are broken down in scale through material changes and architectural features to visually lower the perceived height of the façades. Finally, at the ground floor, a variation in storefront configurations and a wide range of programming ensures interesting and active frontages along the entire walkways. In addition, a horizontal canopy on the Active Retail Pathway will reinforce a human scale and provide visual interests and a unique destination in the City.



ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

## STOREFRONT VARIATION

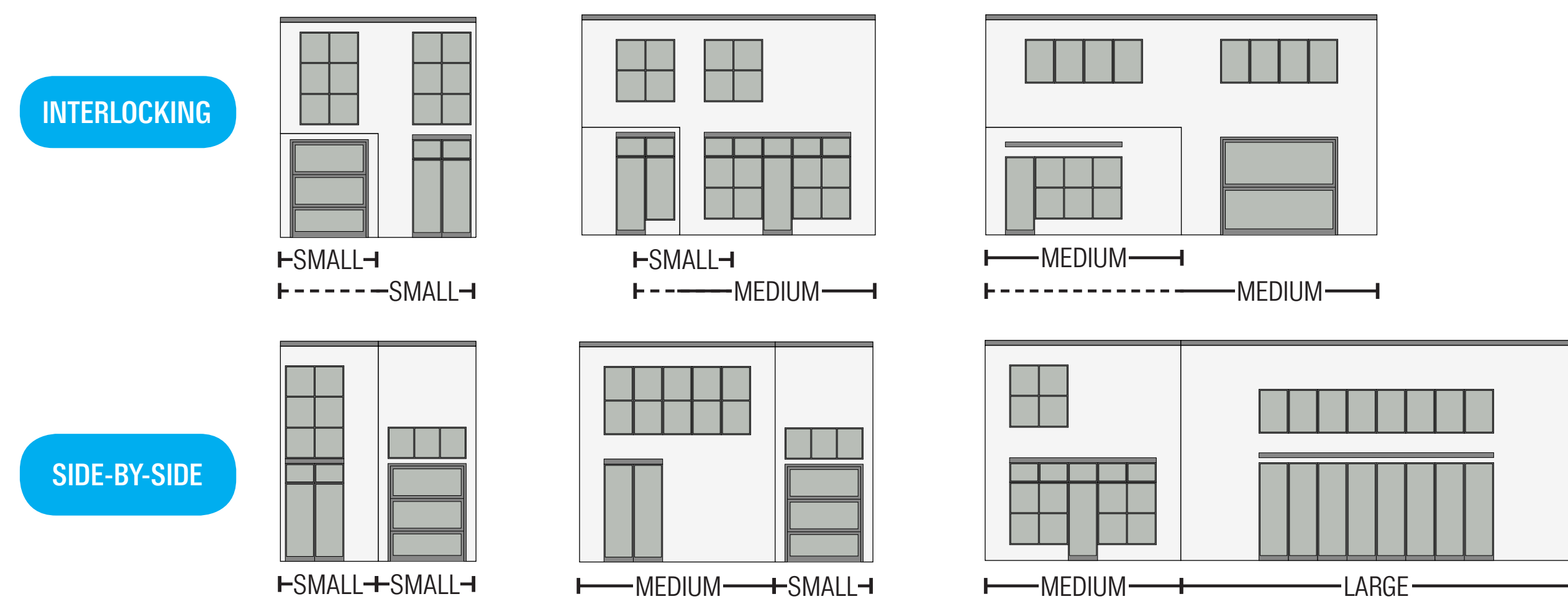
In order to attract diverse retail tenants and provide a vibrant retail environment, the design strategies for the retail frontage provide the ability to adapt the retail frontage to accommodate small (micro-retail), medium, and larger spaces with the goal to create opportunities for incubator retail and art spaces to start, grow, and expand in the pedestrian pathways. Given the taller than average ceiling heights for the ground floor retail spaces, spaces will have the opportunity to build out mezzanine levels as their businesses expand.



RENDER OF ACTIVE RETAIL PEDESTRIAN PATHWAY

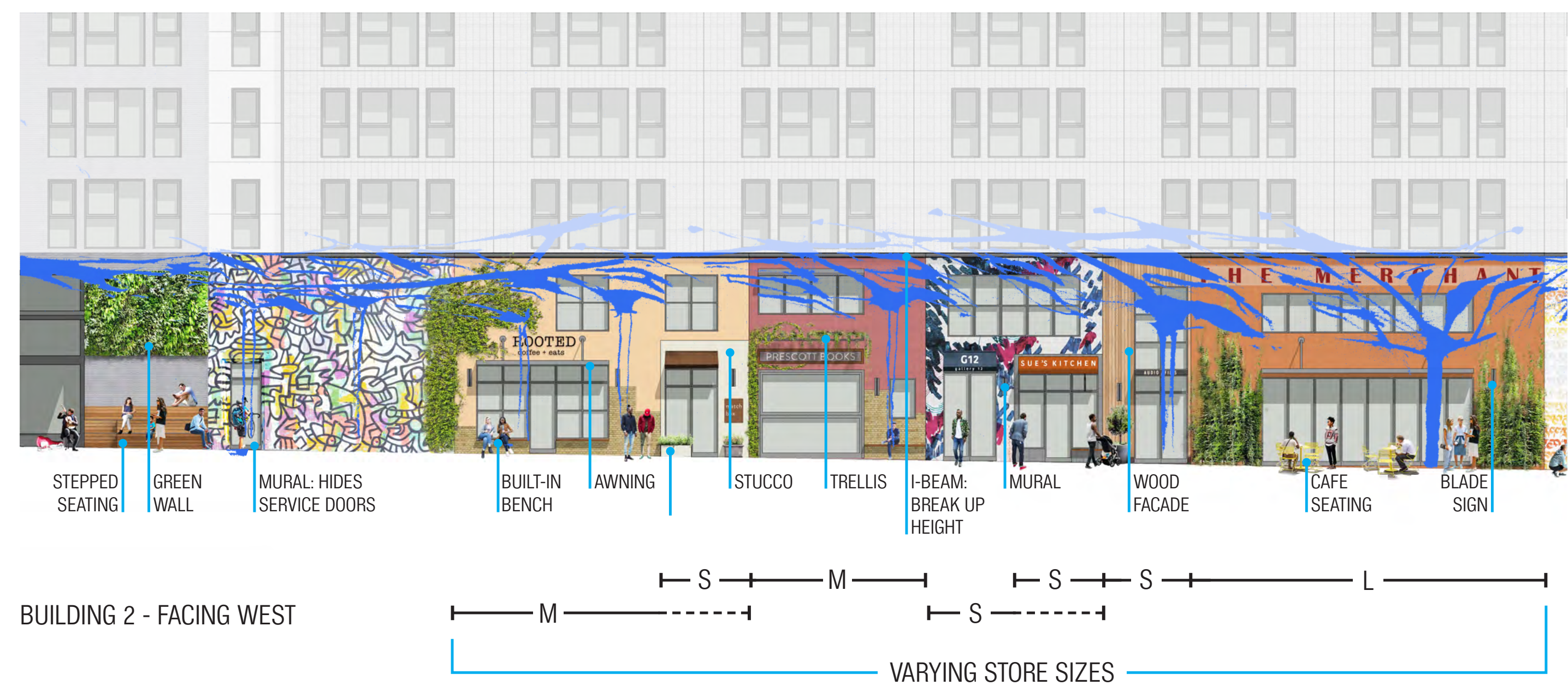
## STOREFRONT COMBINATIONS

Storefronts will be designed individually by each tenant, giving unique character to each space, with the goal that the character of the pedestrian pathways will evolve over time as the businesses grow and expand and the neighborhood is transforming. This strategy invites the West Oakland creative community - specialized users and artists - to be a part of the public realm culture. Small (micro-retail), Medium, and Large stores will provide opportunities for incubator retail and art spaces to start, grow, and expand.



## CONCEPTUAL RETAIL PATHWAY ELEVATION WITH SAMPLE COMBINATION

← VARYING COLORS, TEXTURES, STORE SIZES AND USES TO BREAK UP LENGTH OF PATHWAY →

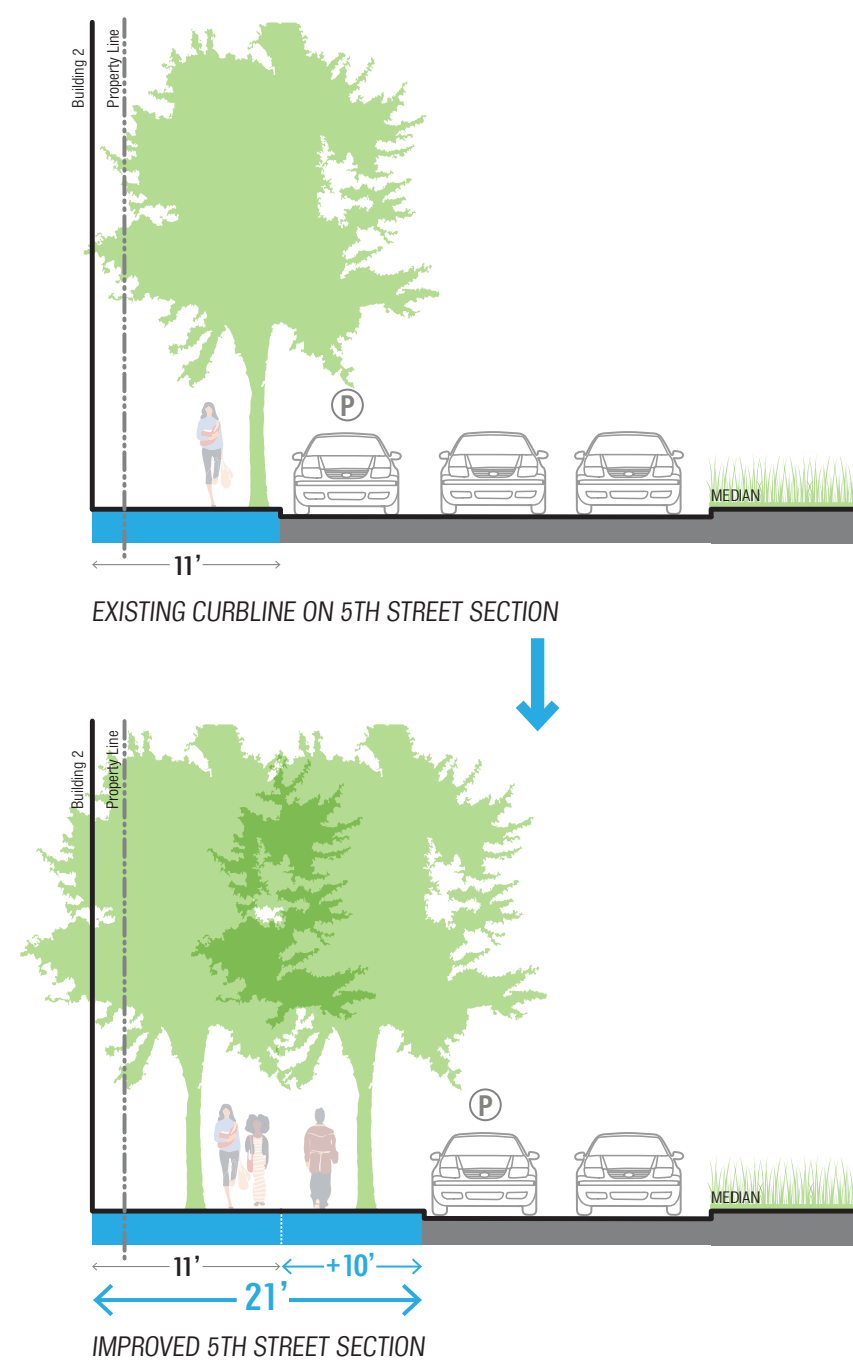
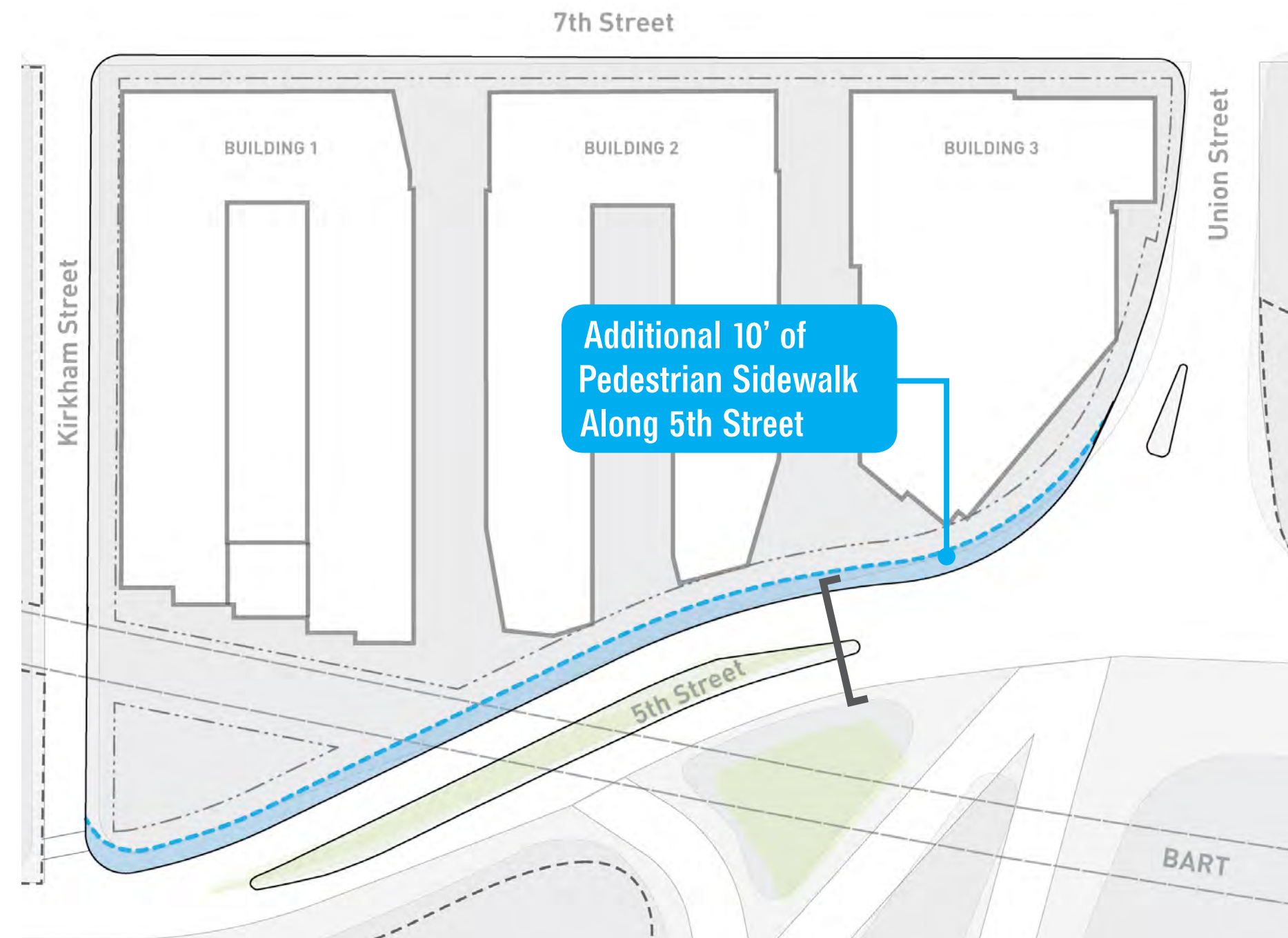


BUILDING 2 - FACING WEST

# CURATE VARIED PEDESTRIAN EXPERIENCES ALONG 5TH STREET

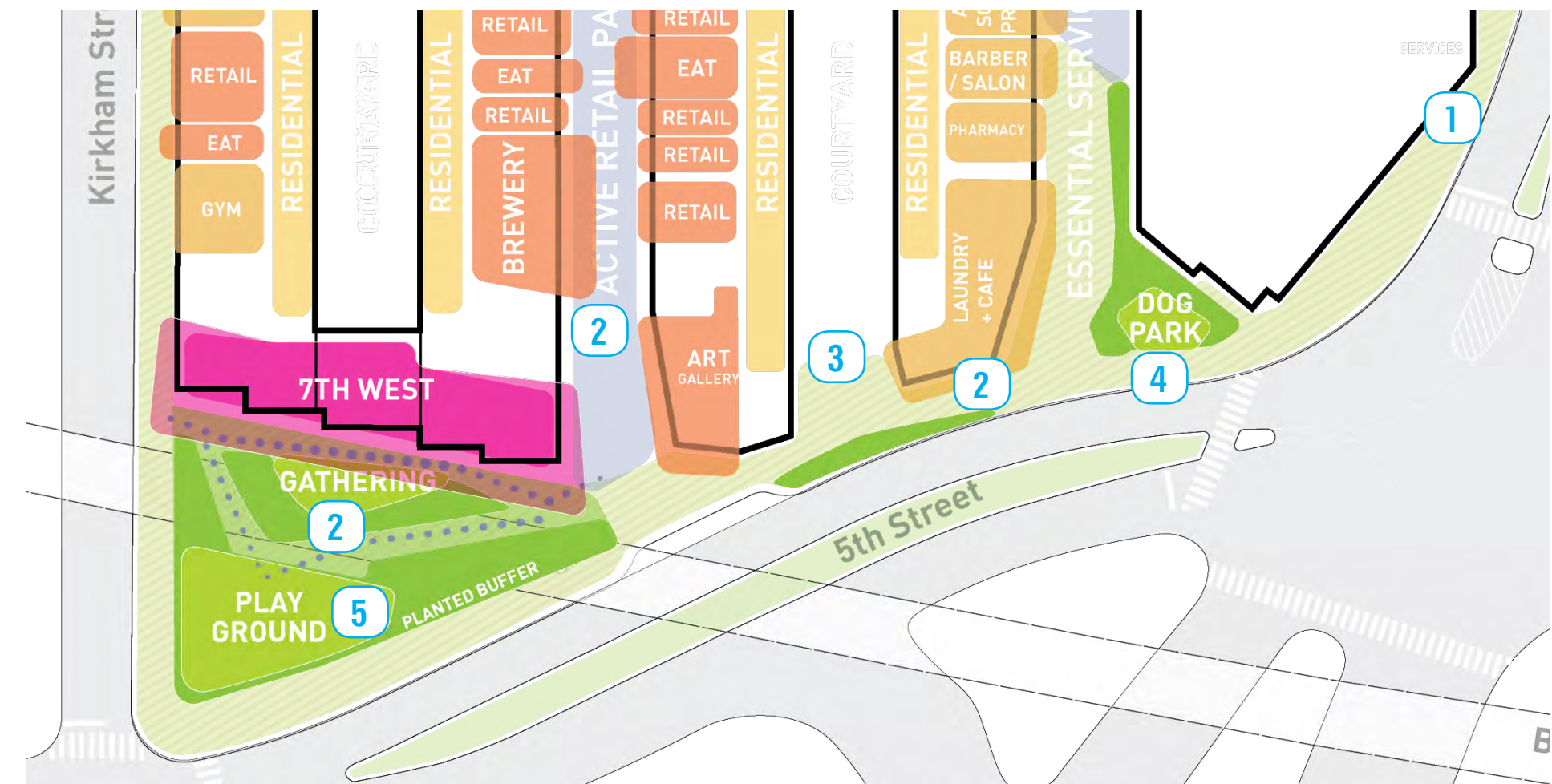
## ROAD DIET

The Project Sponsor intends to expand the sidewalk by reducing the road width along 5th Street at Union Street, in sync with the Road Diet program that the City of Oakland has embarked on, and contingent upon Caltrans and Department of Transportation approval. Additionally, the medians will be extended to create a safer mid-block crossing along 5th Street. This improvement will provide a more enjoyable pedestrian experience for people living, working, and walking in the area.



## 5TH STREET PROGRAMING

The entire open space along 5th Street is broken into subzones featuring a variety of activities and program that relate to adjacent ground floor uses. This experience serves as an additional neighborhood amenity providing a variety of on-site services for the residents and neighborhood including a dog run, groved seating, children's playground, and quality planted areas to buffer from 5th Street and the BART tracks above.

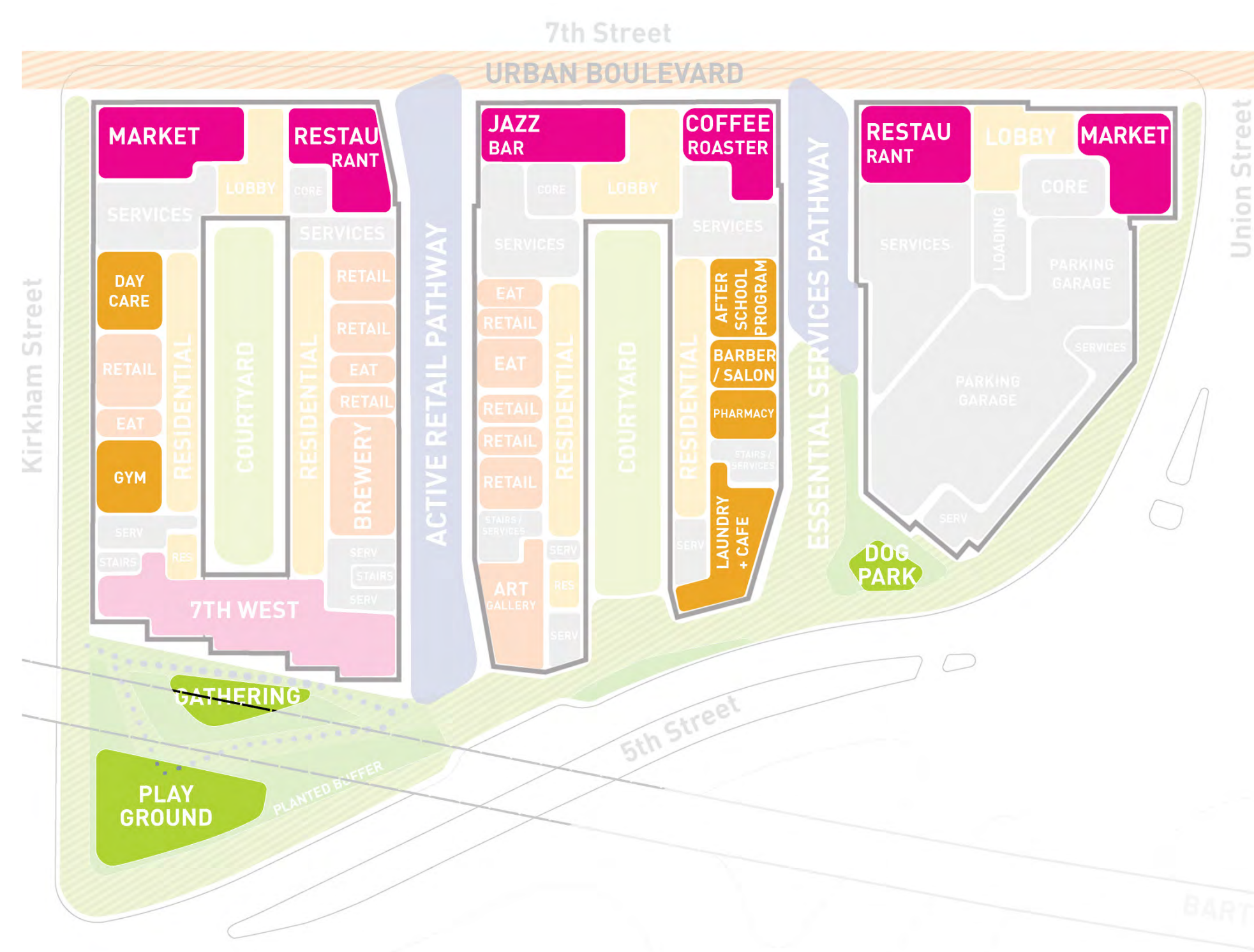
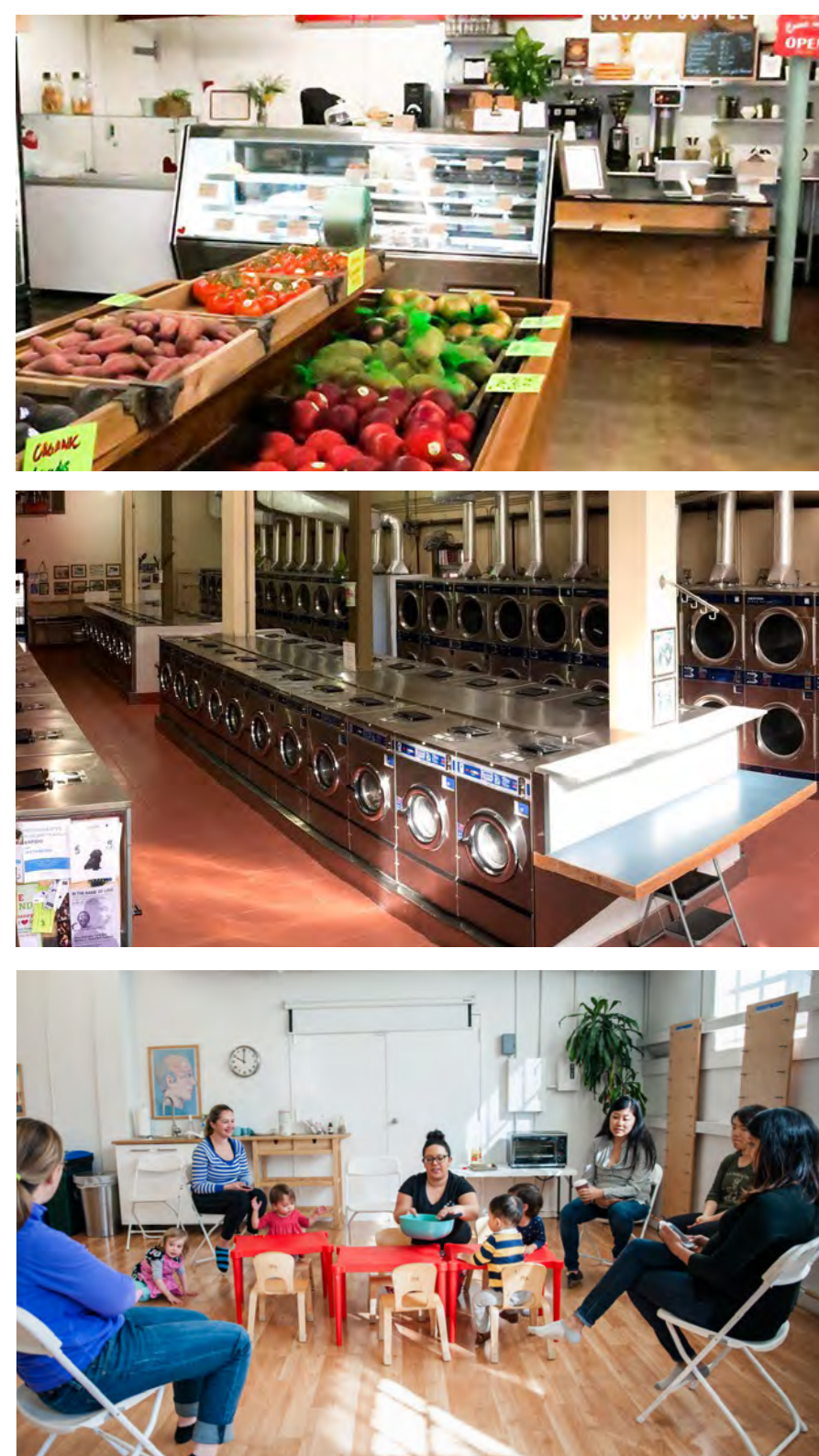


ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

# MINIMIZE PARKING NEEDS THROUGH ALTERNATIVE MODES OF TRANSPORTATION AND ON-SITE SERVICES

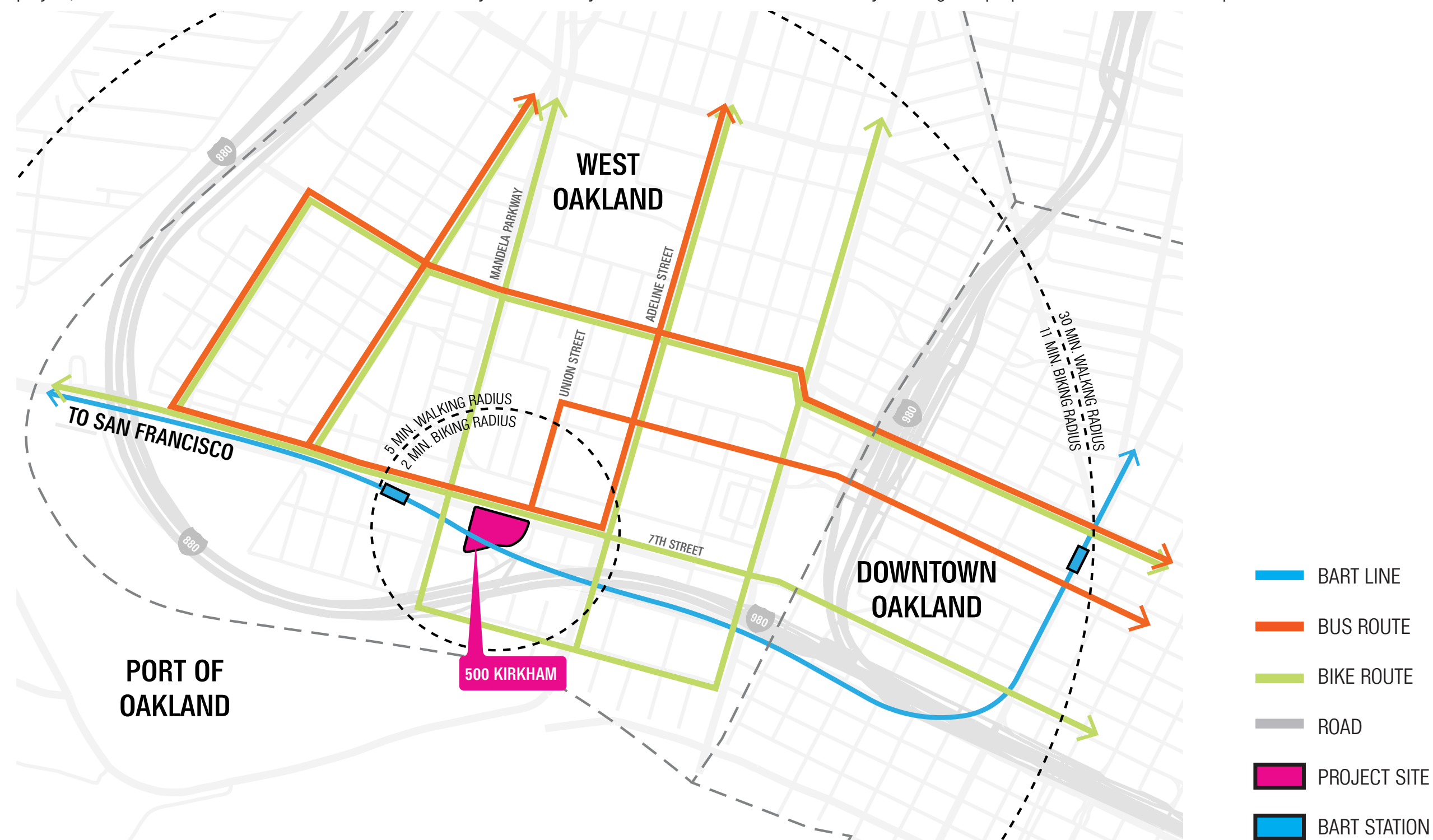
## ON-SITE SERVICES

The project is designed to include essential services on-site as a part of the ground floor activation strategies to further support a car-free lifestyle.



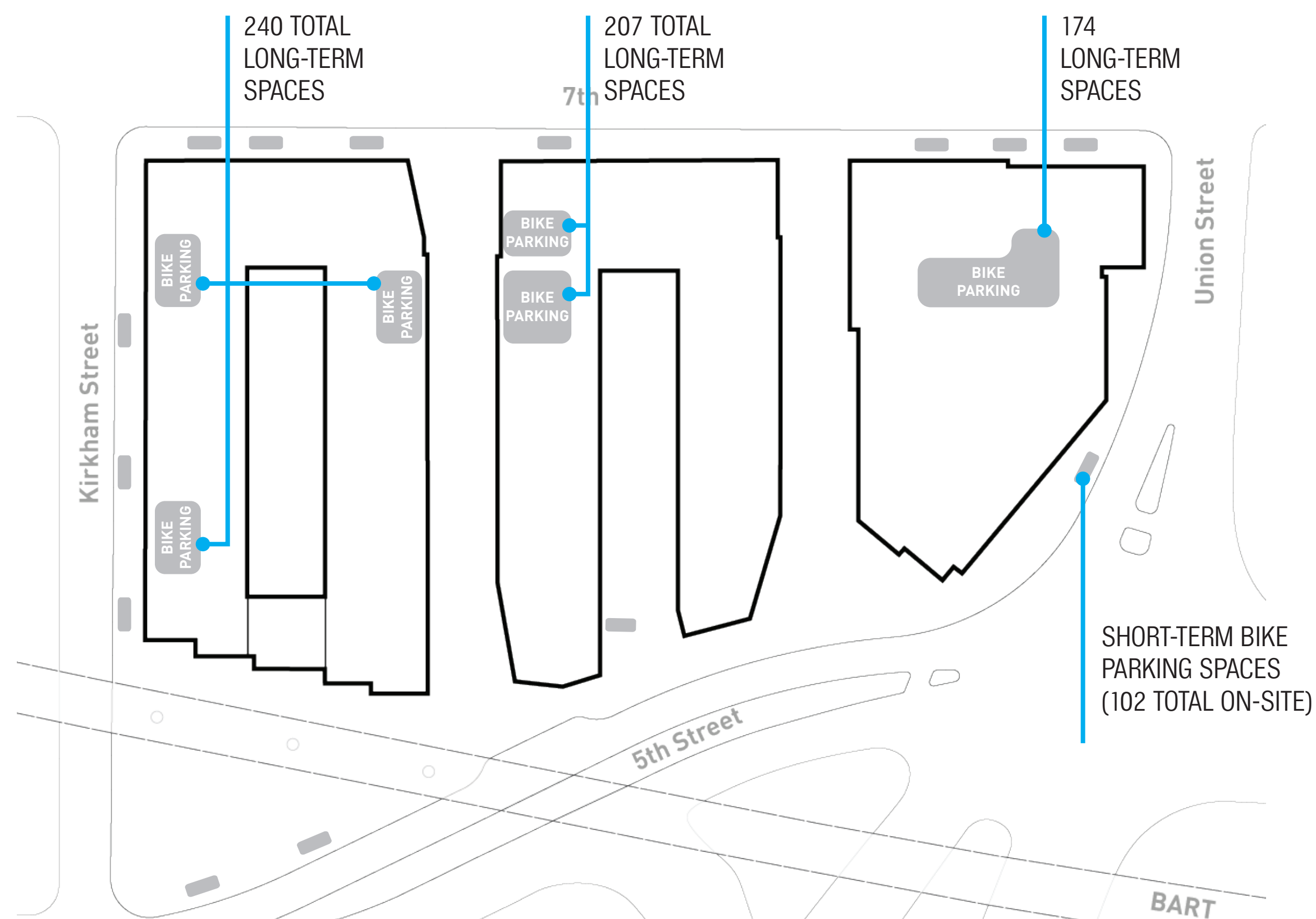
## CONNECTIVITY AND PUBLIC TRANSIT

The site is well-connected to the rest of Oakland and San Francisco through multiple modes of public transportation. With West Oakland BART station being a short walk from the project, San Francisco and Downtown Oakland become very accessible by train. The site is also well-served by existing and proposed bus routes and bike paths.



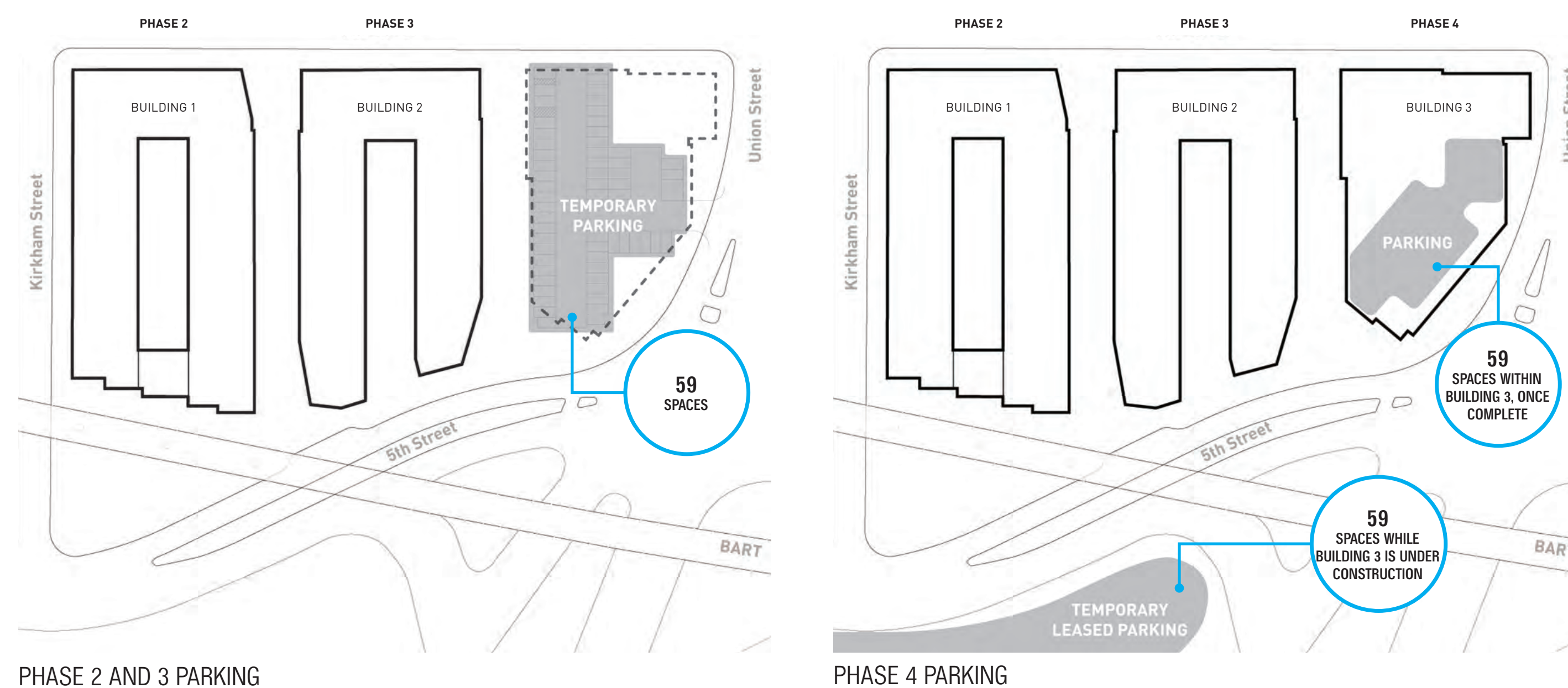
## BICYCLE PARKING

With the site's proximity to multiple modes of public transportation, the project envisions residents to be heavily reliant on public and non-vehicular modes of transport for their daily commute and last-mile connectivity. The project includes 615 bicycle parking spaces for the residents within the three buildings and an additional 102 on-site public bicycle parking provided on sidewalks along 7th, Kirkham, Union and 5th Streets totaling over 700 bicycle parking spaces for the project and exceeding the city requirement by 2.5 times.



## PARKING

The parking provisions for the project are based on the future advancements in transportation technology, while responding to residents' desire for various transit options and reduced parking needs. Phase 2 and 3 (completion of Building 1 and 2, respectively) would include 59 on-site parking spaces on the existing surface parking lot. In Phase 4, the surface parking lot would be replaced with parking garage with 59 spaces in the ground floor of Building 3. During the construction of Building 3, leased parking across the street would provide 59 spaces.



ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

TOWER | MASSING ANALYSIS

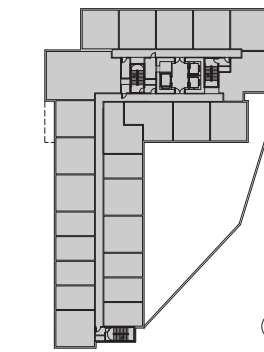
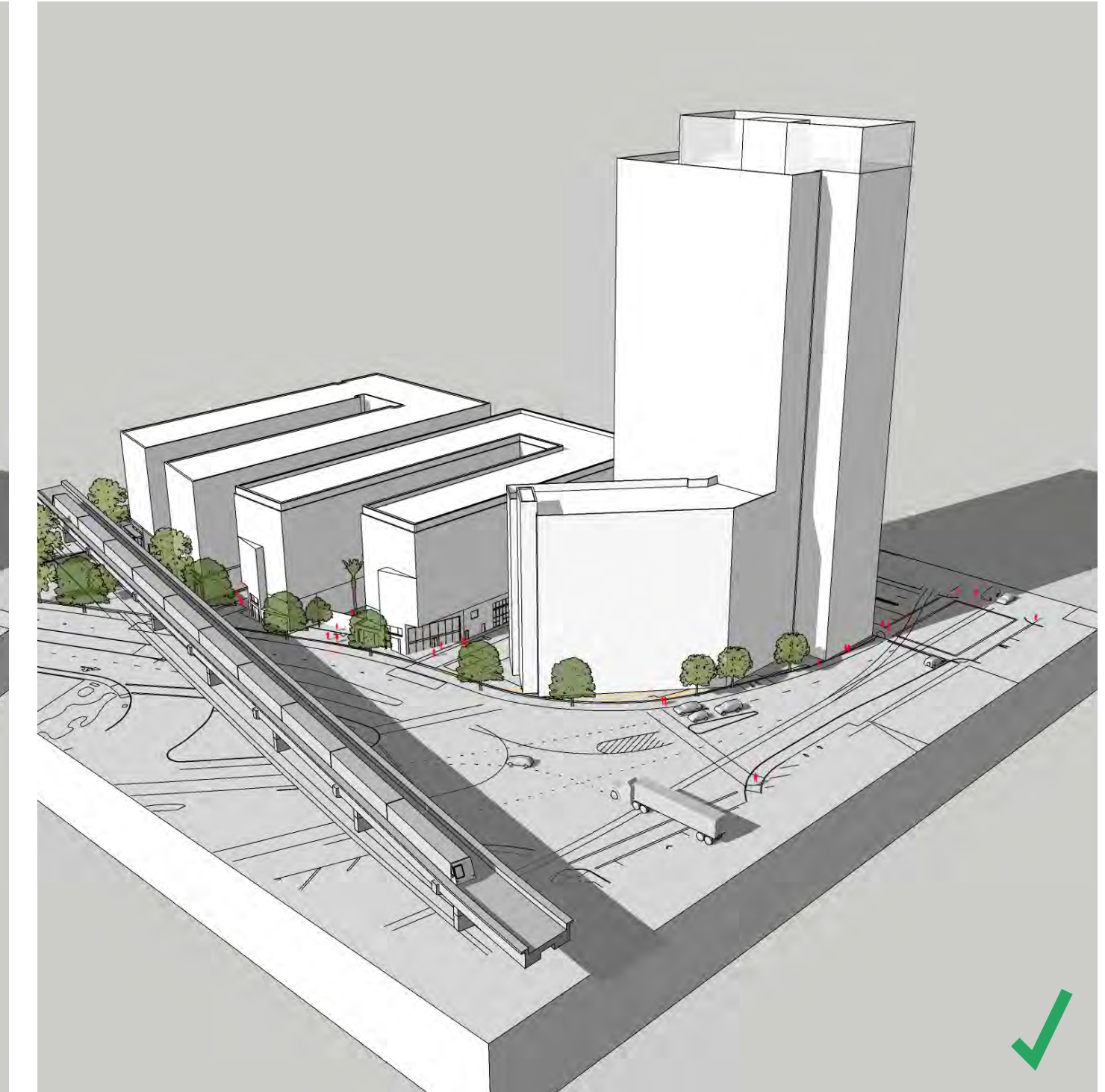


- BULKY
- UNFORGIVING

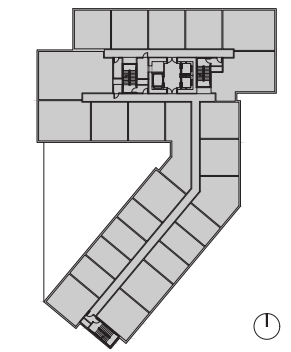


- REDISTRIBUTE MASSING
- SLENDER TOWER, SHORTER PODIUM
  - DIFFERENTIATION BETWEEN TOWER AND PODIUM
  - BETTER LIGHT PENETRATION

TOWER | MASSING ANALYSIS



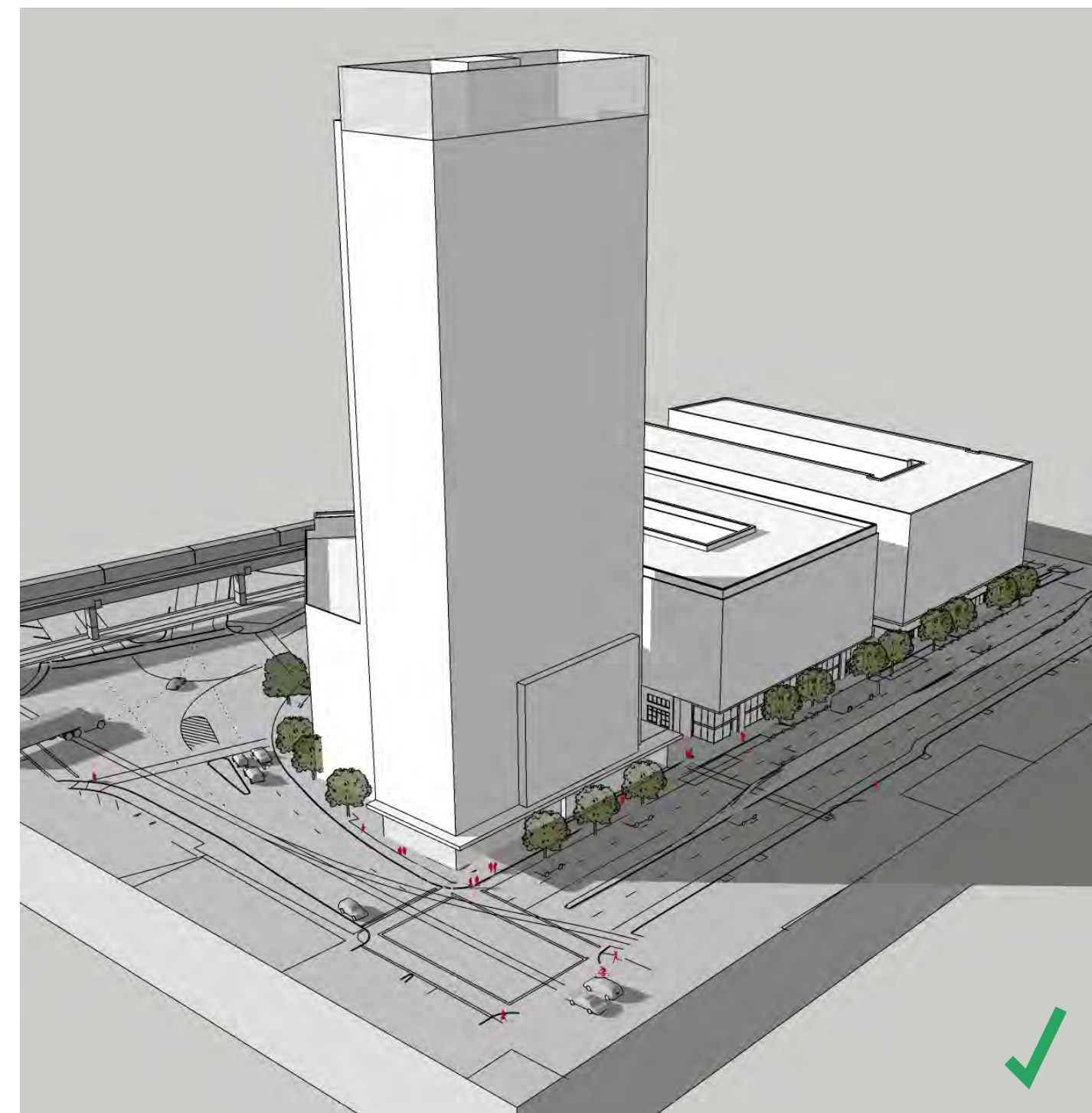
- PLAN ANALYSIS
- ACTIVATE STREET WALL ON UNION ST
  - BETTER LIGHT PENETRATION INTO THE ALLEY



TOWER | MASSING ANALYSIS

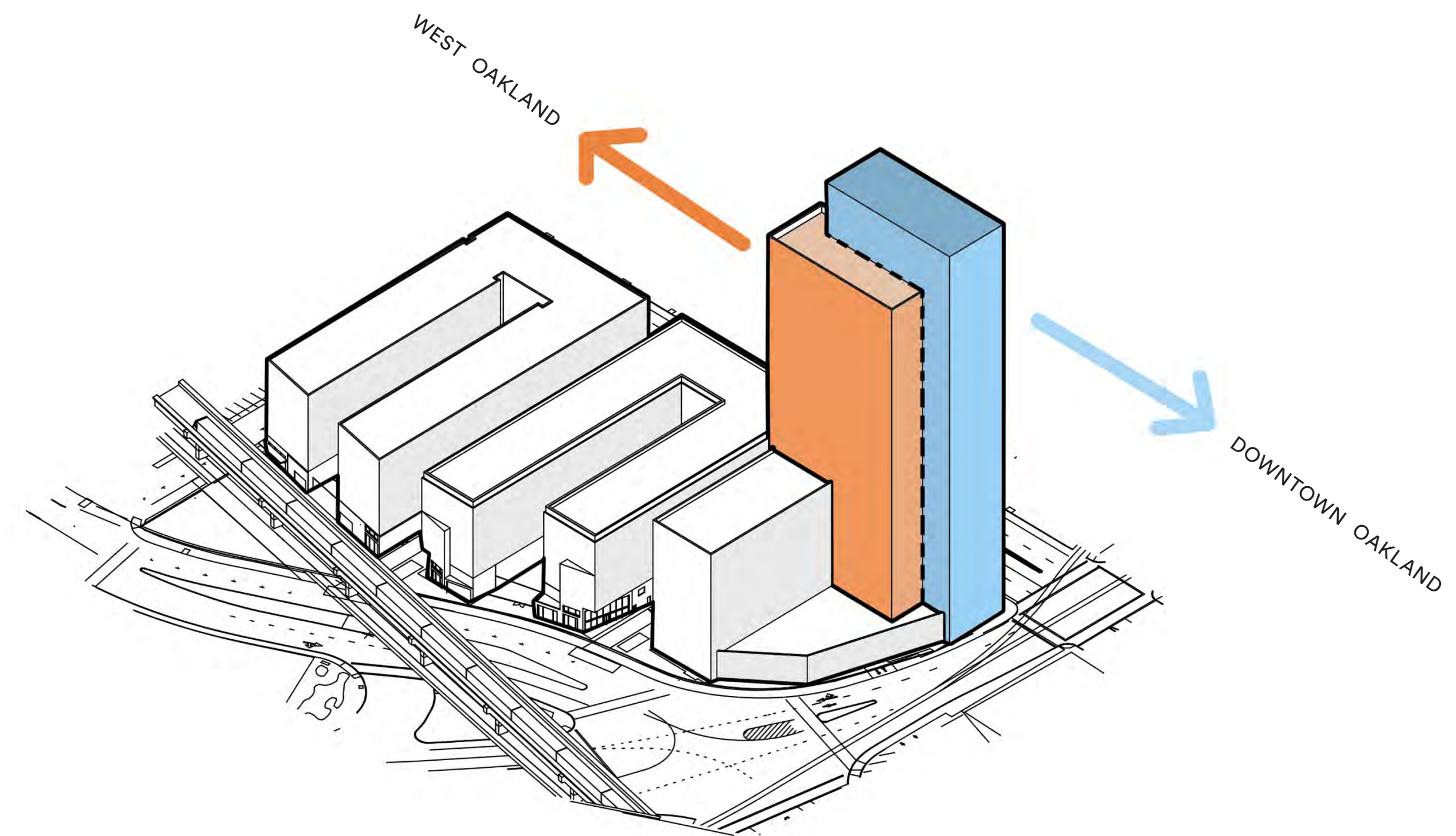


- TOWER MEETS GROUND

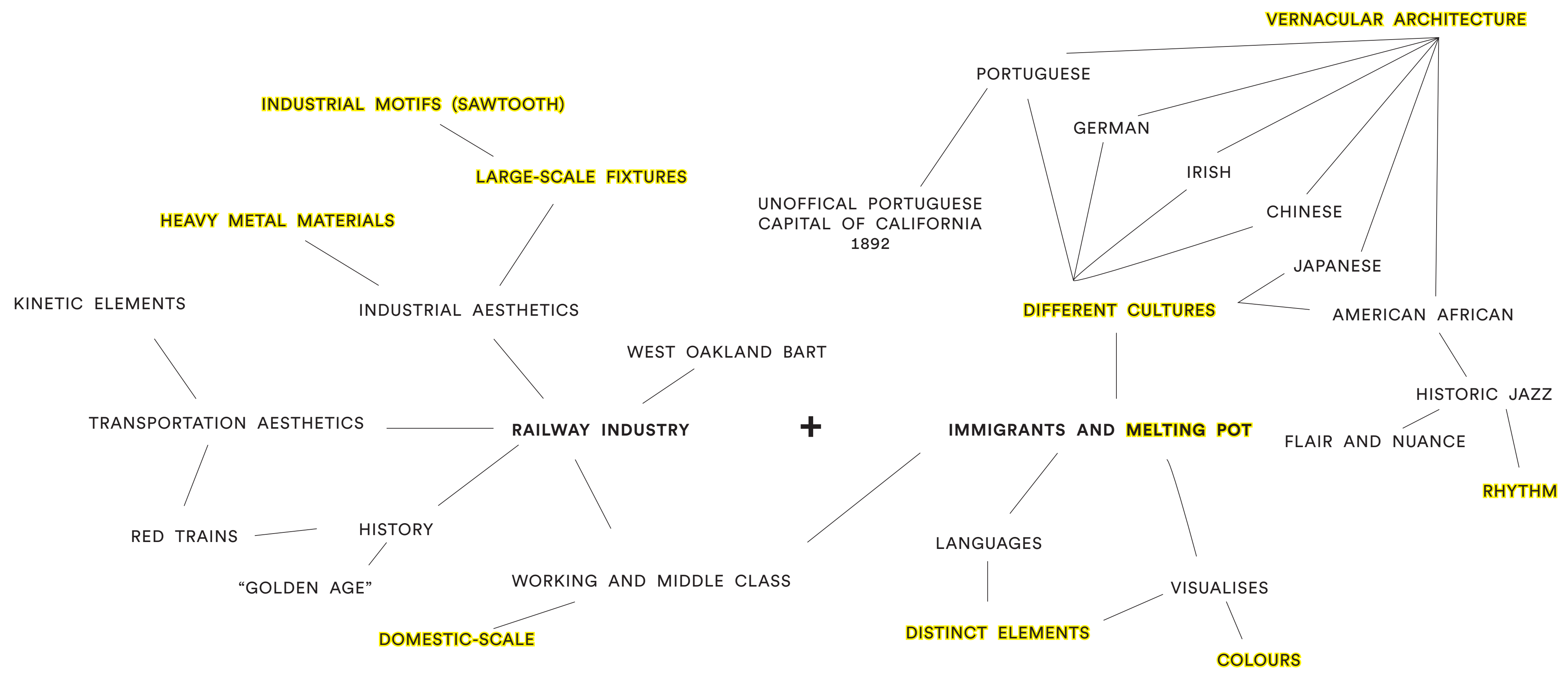


- TOWER STEPS BACK AT 75' PER DRC COMMENT
- RECESS GROUND FLOOR INBOARD
- MARKS RETAIL AND LOBBY DATUM TO BLDG 1+2
- CANOPY MITIGATES DOWNWARD WINDS
- FACADE DESIGN STRENGTHENS STREET WALL EXPRESSION

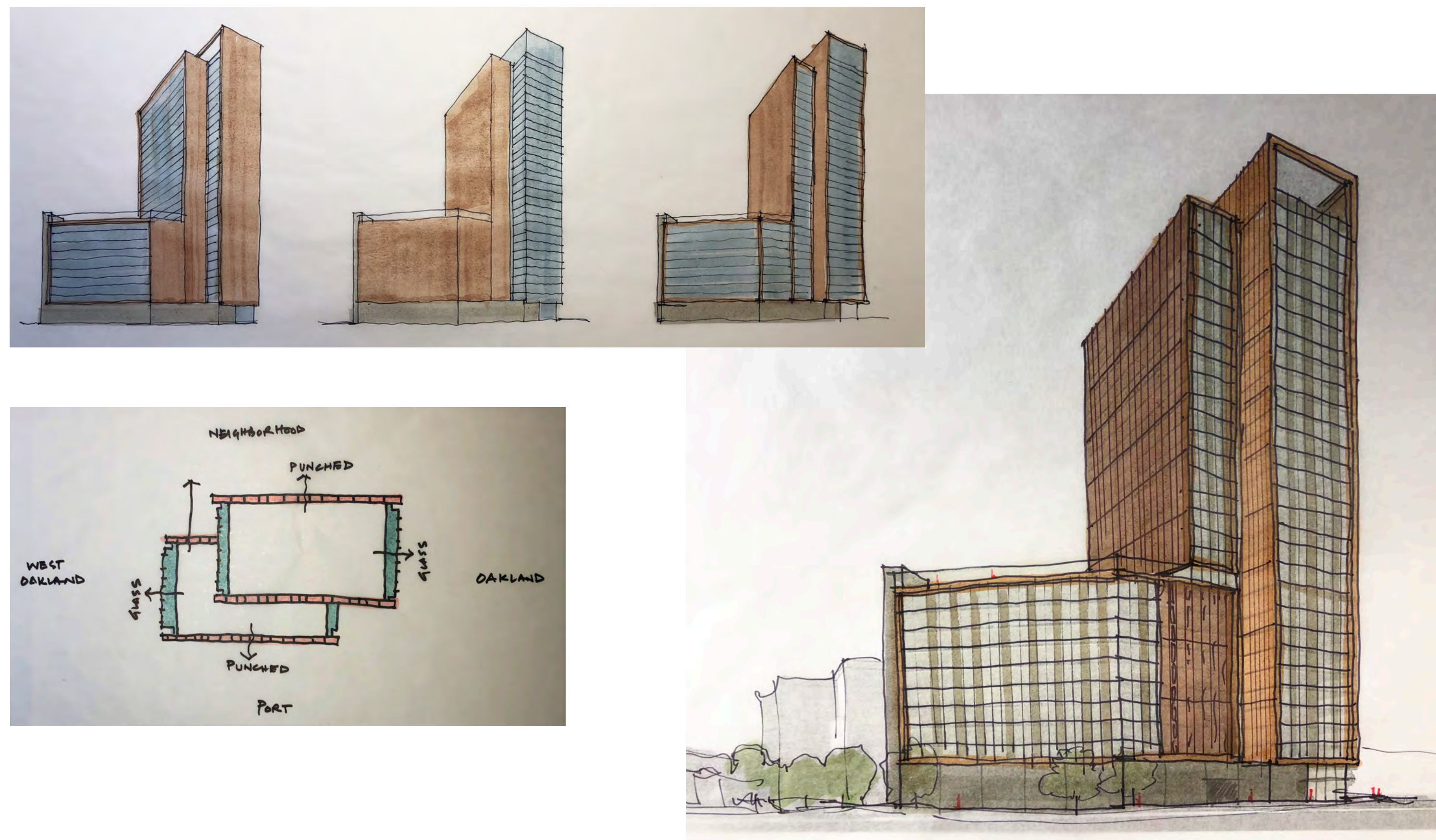
MASSING | RELATIONSHIP TO CONTEXT



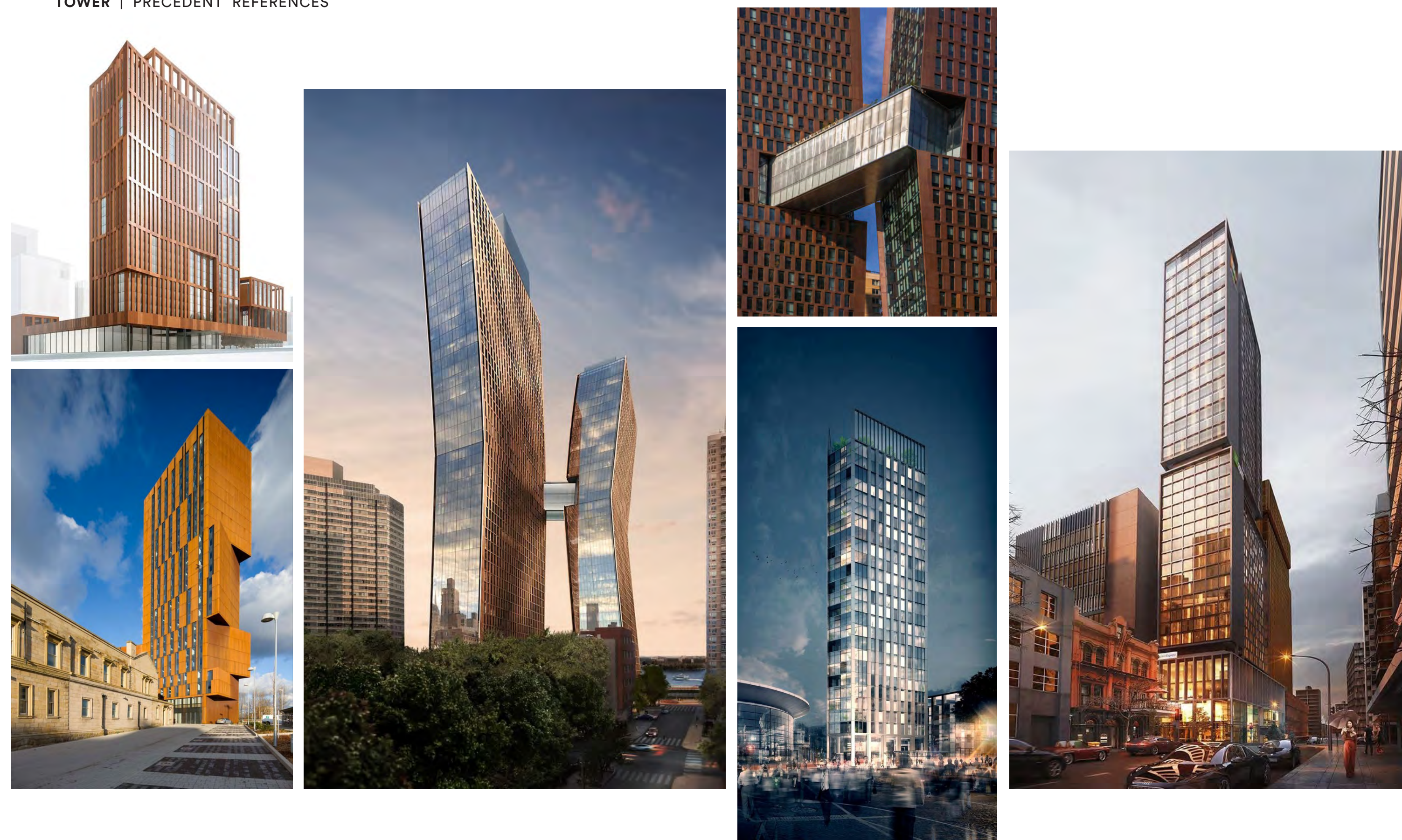
ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19



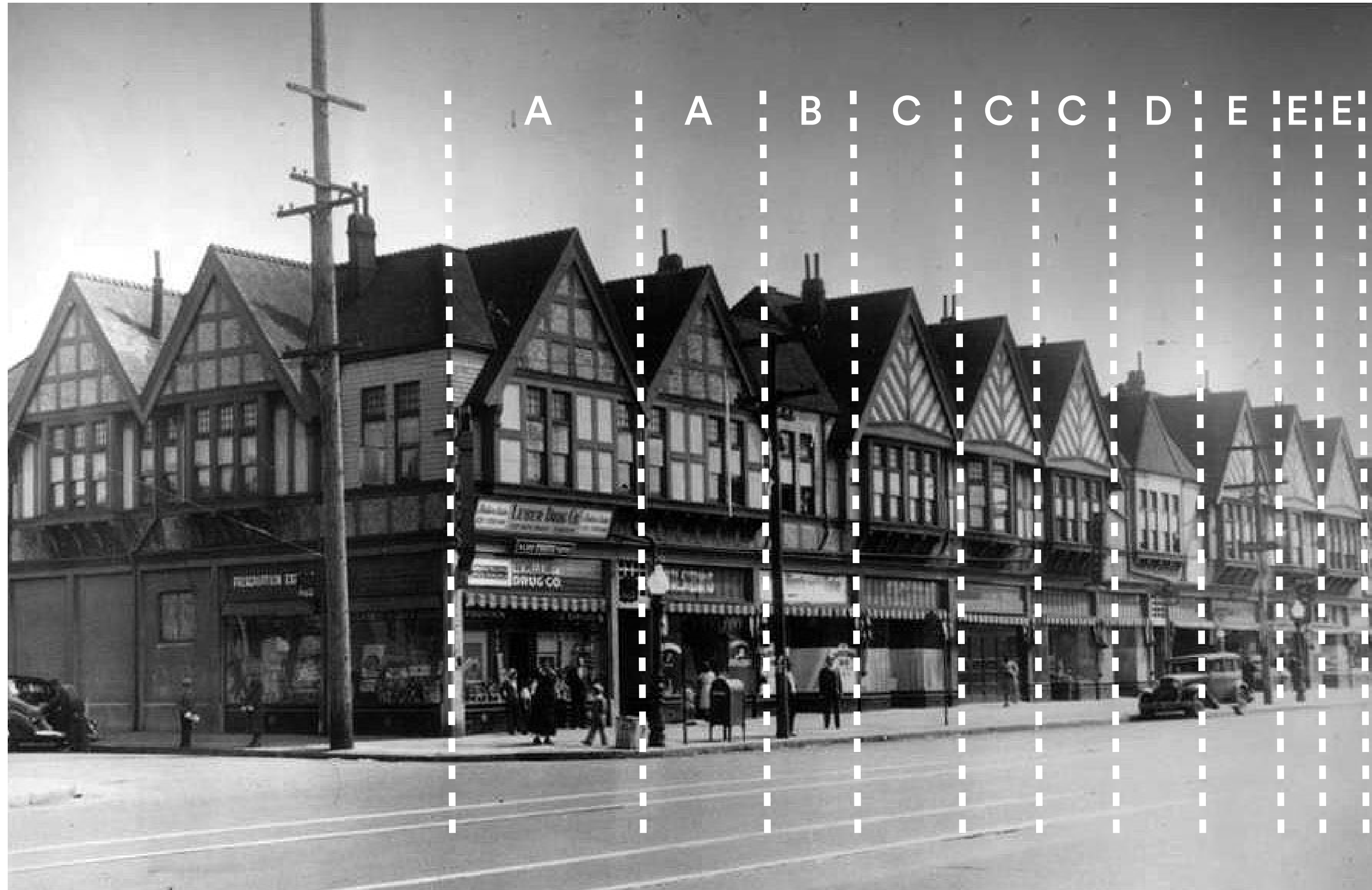
TOWER | SKETCH STUDIES



TOWER | PRECEDENT REFERENCES

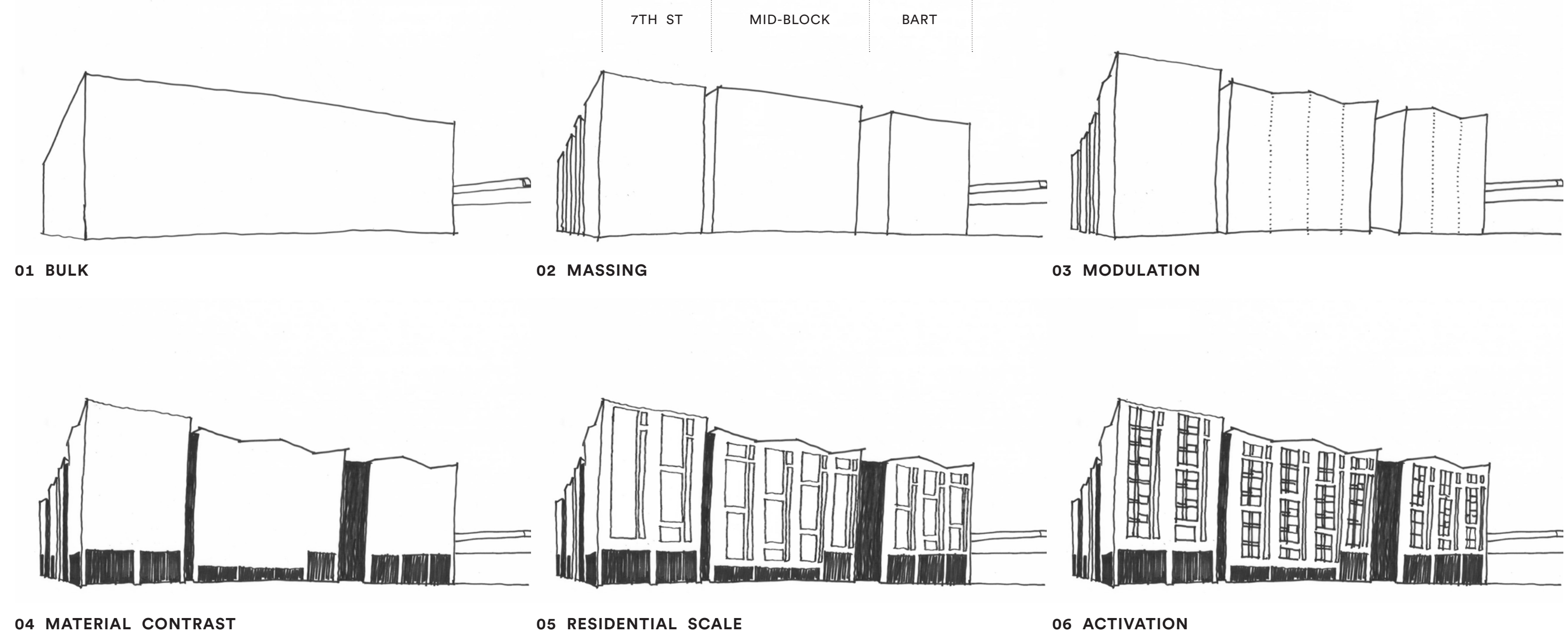


ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19

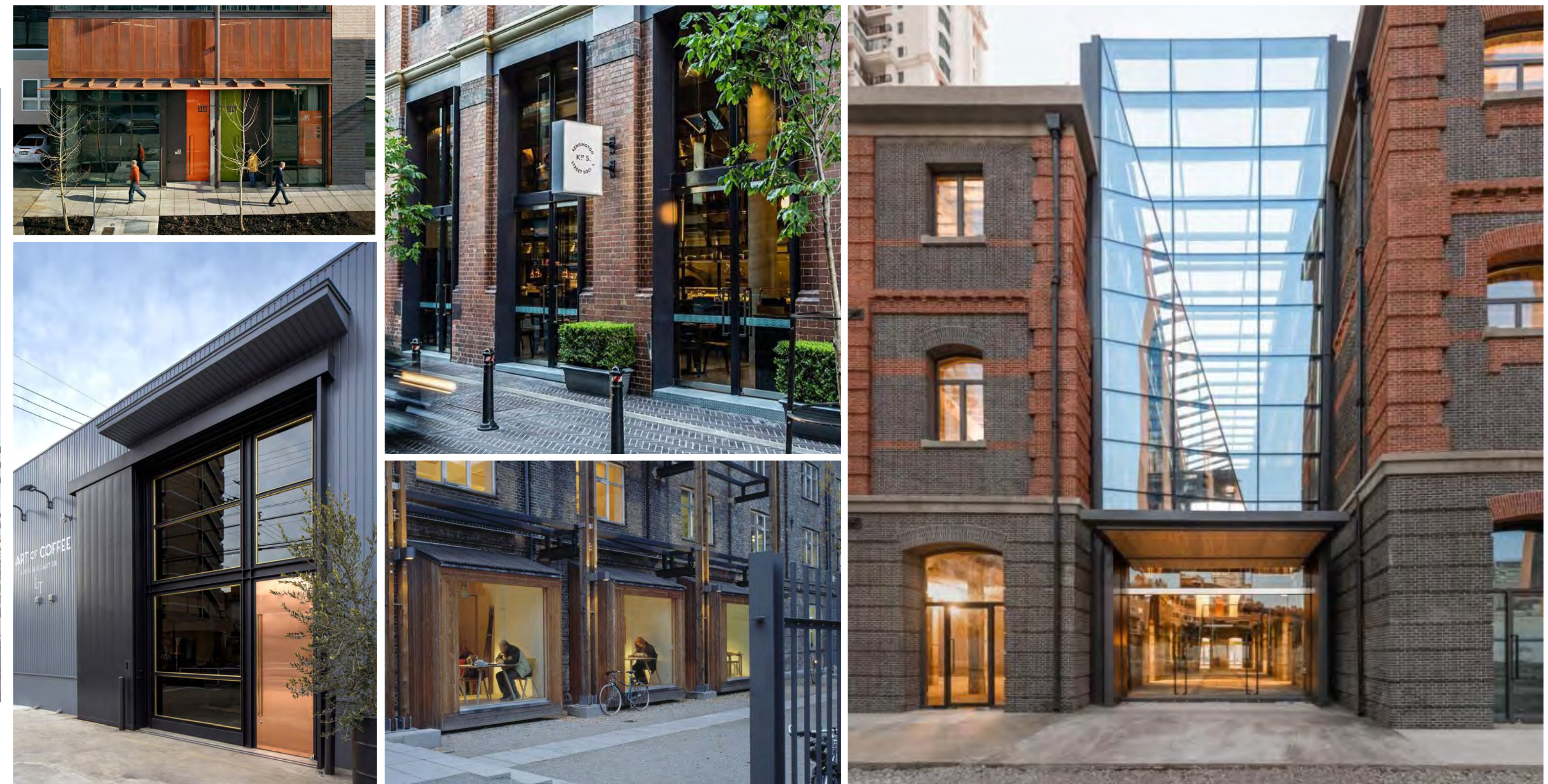


FACADE STUDY - PRECEDENTS

KIRKHAM FACADE STUDY



STOREFRONT - PRECEDENTS





Wednesday, May 29, 2019

Planning Commissioners Myers, Monchamp, Fearn,  
Hegde, Limon, Manus and Shirazi  
Oakland City Planning Commission  
City Hall, One Frank Ogawa Plaza  
Oakland, CA 94612

Re: Approval of 500 Kirkham

Dear Commissioners:

I want to express my **support** of the proposed development of 500 Kirkham, which I understand will be up for your approval on June 5.

This is an absolute no brainer from my perspective. As I am sure you know, the area around 7<sup>th</sup> Street is blighted, with empty lots and empty store fronts, and has been that way for years. Adding hundreds of new residents to this area is a HUGE net positive for the neighborhood and the community. Everyone I speak too in the neighborhood is highly supportive of building new housing on empty lots near BART. And that is not even touching on all of the community benefits that we'll get, not to mention the environmental benefits of putting housing in such a transit rich location.

As an aside, Panoramic has actually made a real effort to reach out to the community and get our input. I have personally attended several meetings with the Panoramic team and got to talk about the project with them directly.

This development is good for West Oakland, and is good for the whole City. Why am I asking you to approve this?

- Over 150 new, permanent jobs will be created.
- Housing for 84 very low-income families will be built, onsite, without any public subsidy, plus an additional \$7,100,000 contributed to Oakland's affordable housing trust fund.
- \$1,000,000 will be contributed for job training for local residents.
- 2 new parks and 2 new pedestrian-only alleys will be developed to replace the vacant concrete.
- Retail will finally be added to this long empty lot, energizing our streets with small businesses rooted in Oakland.

**Please approve 500 Kirkham on June 5.**

Sincerely,

Alex Haskell  
Owner of 1201 Pine Street #461, Oakland CA 94607  
Ahaskell1@gmail.com

**Attachment D**

## Rivera, Mike

---

**From:** Turner Miller <turner\_miller@outlook.com>  
**Sent:** Monday, May 27, 2019 9:27 AM  
**To:** Rivera, Mike  
**Cc:** Michael@panoramic.com  
**Subject:** Approval of 500 Kirkham

Dear Commissioners:

I want to express my **support** of the proposed development of 500 Kirkham, which I understand will be up for your approval on June 5.

This development is good for West Oakland, and is good for the whole City. Why am I asking you to approve this?

Over 150 new, permanent jobs will be created.

Housing for 84 very low-income families will be built, onsite, without any public subsidy, plus an additional \$7,100,000 contributed to Oakland's affordable housing trust fund.

\$1,000,000 will be contributed for job training for local residents.

2 new parks and 2 new pedestrian-only alleys will be developed to replace the vacant concrete.

Retail will finally be added to this long empty lot, energizing our streets with small businesses rooted in Oakland.

**Please approve 500 Kirkham on June 5.**

Sincerely,

Turner Miller  
1401 Pullman Way  
Oakland, CA 94607  
turner\_miller@outlook.com

## Rivera, Mike

---

**From:** Carolyn Gayden <cdg1962@icloud.com>  
**Sent:** Monday, May 27, 2019 3:04 PM  
**To:** Rivera, Mike  
**Subject:** Approval of 500 Kirkham

Dear Commissioners:

I want to express my **support** of the proposed development of 500 Kirkham, which I understand will be up for your approval on June 5.

This development is good for West Oakland, and is good for the whole City. Why am I asking you to approve this?

- Over 150 new, permanent jobs will be created.
- Housing for 84 very low-income families will be built, onsite, without any public subsidy, plus an additional \$7,100,000 contributed to Oakland's affordable housing trust fund.
- \$1,000,000 will be contributed for job training for local residents.
- 2 new parks and 2 new pedestrian-only alleys will be developed to replace the vacant concrete.
- Retail will finally be added to this long empty lot, energizing our streets with small businesses rooted in Oakland.

**Please approve 500 Kirkham on June 5.**

Sincerely,

Carolyn Gayden  
1201 Pine Street, Unit 258  
Oakland, CA. 94607  
(510) 326-6030



Strategic  
Urban  
Development  
Alliance, LLC

May 27, 2019

Planning Commissioners Myers, Monchamp, Fearn,  
Hegde, Limon, Manus and Shirazi  
Oakland City Planning Commission  
City Hall, One Frank Ogawa Plaza  
Oakland, CA 94612

Re: Approval of 500 Kirkham

Dear Commissioners:

I want to express my **support** of the proposed development of 500 Kirkham, which I understand will be up for your approval on June 5. **As an Oakland resident, business owner, and developer of a nearby parcel, I am grateful to the principals of PANORAMIC INTERESTS for their vision and courage to take on this beneficial development project for our community.**

This development is good for West Oakland, and is good for the whole City. Why am I asking you to approve this?

- Over 150 new, permanent jobs will be created.
- Housing for 84 very low-income families will be built, onsite, without any public subsidy, plus an additional \$7,100,000 contributed to Oakland's affordable housing trust fund.
- \$1,000,000 will be contributed for job training for local residents.
- 2 new parks and 2 new pedestrian-only alleys will be developed to replace the vacant concrete.
- Retail will finally be added to this long empty lot, energizing our streets with small businesses rooted in Oakland.

**Please approve 500 Kirkham on June 5.**

Sincerely,

Alan E. Dones

Cc: Mayor Libby Schaaf, Councilmembers Rebecca Kaplan, Dan Kalb, Nikki Fortunato Bas, Lynette Gibson McElhaney, Sheng Thao, Noel Gallo, Loren Taylor, Larry Reid

Sincerely,

**STRATEGIC URBAN DEVELOPMENT ALLIANCE, LLC**

Alan Dones  
Managing Partner

(510) 482-7020 - office

(510) 206-7203 - cell & messages

(510) 985-1544 - home office

1210 Excelsior Avenue ♦ Oakland, CA 94610 ♦ Phone: (510) 482-7020 ♦ Fax: (510) 482-7021  
[www.sudallc.com](http://www.sudallc.com)

Thursday, May 30, 2019

Planning Commissioners Myers, Monchamp, Fearn,  
Hegde, Limon, Manus and Shirazi  
Oakland City Planning Commission  
City Hall, One Frank Ogawa Plaza  
Oakland, CA 94612

Re: Approval of 500 Kirkham

Dear Commissioners:

I want to express my **support** of the proposed development of 500 Kirkham, which I understand will be up for your approval on June 5.

This development is good for West Oakland, and is good for the whole City. Why am I asking you to approve this?

- Over 150 new, permanent jobs will be created.
- Housing for 84 very low-income families will be built, onsite, without any public subsidy, plus an additional \$7,100,000 contributed to Oakland's affordable housing trust fund.
- \$1,000,000 will be contributed for job training for local residents.
- 2 new parks and 2 new pedestrian-only alleys will be developed to replace the vacant concrete.
- Retail will finally be added to this long empty lot, energizing our streets with small businesses rooted in Oakland.

**Please approve 500 Kirkham on June 5.**

Sincerely,

AJAYA AGRAWALLA  
1767 14<sup>th</sup> St  
Oakland, CA 94607  
R6dude@gmail.com

Cc: Mayor Libby Schaaf, Councilmembers Rebecca Kaplan, Dan Kalb, Nikki Fortunato Bas, Lynette Gibson McElhaney, Sheng Thao, Noel Gallo, Loren Taylor, Larry Reid

## **Attachment E**

**The CEQA document can be viewed online as  
Item #85 at**

**[http://www2.oaklandnet.com/government/o/PBN/  
OurServices/Application/DOWD009157](http://www2.oaklandnet.com/government/o/PBN/OurServices/Application/DOWD009157)**