

**Case File Number: PLN 19070**

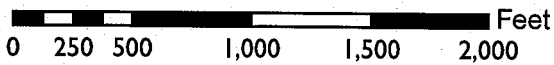
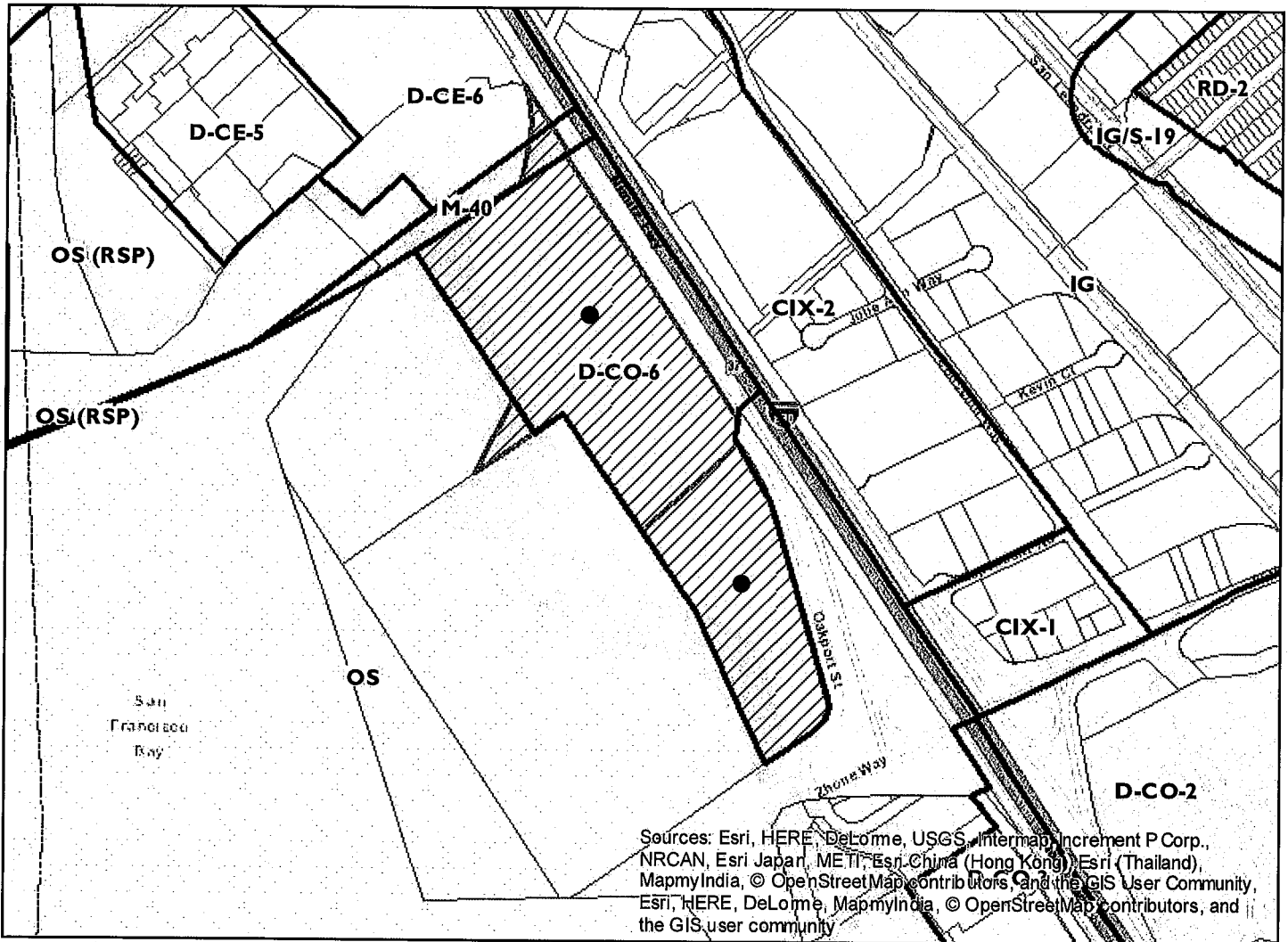
**April 24, 2019**

<b>Location:</b>	<b>0 Oakport St.</b>
<b>Assessor's Parcel Number(s):</b>	<b>041-3904-001-05, 041-3903-002-08</b>
<b>Proposal:</b>	Proposed office (160,000 sf) and warehouse (133,000 sf) development on 16.42 acres (715,125 square feet), relocation of EBMUD corporation yard, master sign program, and relocation of temporary group assembly (circus and similar temporary events).
<b>Applicant:</b>	K to College DBA Supply Bank Org.
<b>Contact Person/ Phone Number:</b>	Benito Delgado-Olson (510) 967-8978
<b>Owner:</b>	East Bay Municipal Utility District (EBMUD)
<b>Case File Number:</b>	<b>PLN19070</b>
<b>Planning Permits Required:</b>	Design Review; Conditional Use Permits for project over 100,000 square feet in the D-CO zone, civic extensive impact activity/facility (EBMUD corporation yard), group assembly, and master sign program; Parcel Map Waiver for Lot Line Adjustment; Creek Permit
<b>General Plan:</b>	Business Mix
<b>Zoning:</b>	D-CO-6
<b>Environmental Determination:</b>	To Be Determined
<b>Historic Status:</b>	Vacant lot, not historic
<b>City Council District:</b>	7
<b>Finality of Decision:</b>	N/A
<b>For Further Information:</b>	Contact Case Planner <b>Rebecca Lind</b> , Planner III at (510) 238-3472 or by email at <a href="mailto:rlind@oaklandca.gov">rlind@oaklandca.gov</a> .

**SUMMARY**

The purpose of this report is to provide design review analysis for a new mixed-use office and warehouse development located on two existing parcels in the Opportunity Area of the Coliseum Specific Plan. The proposed project includes: a lot line adjustment between the two parcels; development of a regional non-profit headquarters for Supply Bank.Org (including office and warehouse facilities); and relocation of a portion of an existing East Bay Municipal Utilities District (EBMUD) corporation yard from one parcel to the other (See Figure 1 and Attachment A: Plan Sheet C7.0). The purpose of this meeting is to solicit early review of the three new proposed buildings, the site plan, signage and the landscape concept for Parcel 1 and for conceptual review of the site planning for Parcel 2.

# CITY OF OAKLAND PLANNING COMMISSION



Case File: ZPI80118  
Applicant: K to College DBA Supply Bank Org.  
Address: 0 Oakport St  
Zone: D-CO-6

## PROJECT SITE AND SURROUNDING AREA

The site is located in east Oakland, on Oakport Street and includes two parcels, both owned by EBMUD. Parcel 1 is currently undeveloped but is used on a short-term basis for short-term seasonal events such as circuses, Christmas tree sales and overflow parking for the Coliseum. Parcel 2 is the current location of the EBMUD corporation yard, Oakport Wet Weather Treatment Plant, and Oakport Storage Center building which serves the corporation yard. Adjacent uses include open space parcels owned by the East Bay Regional Park District (EBRPD), the San Francisco Bay Trail (Bay Trail) located on EBRPD property, Oakport Soccer Field, Garretson Point Trail, surface parking, and industrial activity on Oakport Street. The site is within 100 feet of the ordinary high water mark and includes areas with estuary characteristics.

## PROJECT BACKGROUND

The applicant, Supply Bank.Org (Supply Bank), is a local nonprofit organization providing collection and distribution services of non-food household items (such as diapers) to partner organizations for eventual distribution to low-income families.

Supply Bank is under contract to EBMUD to develop Parcel 1 and a portion of Parcel 2 with a new office, new shared warehouse facility and a relocated corporation yard facility. The proposed office would be Supply Bank's headquarters, and would also provide leased office space to other non-profit organizations.

The warehouse facility would be shared between Supply Bank and EBMUD and used for distribution and storage activities by both organizations. The new corporation yard would include a workshop building, outdoor work/training areas and re-located and upgraded outdoor storage, fleet parking, and employee parking.

The seasonal event area now on Parcel 1 would be re-located to Parcel 2. The Oakport Wet Weather Treatment Plant will remain on Parcel 2. The existing storage structures on Parcel 2 would remain after relocation of the corporation yard and could be leased by EBMUD for use as staging areas for seasonal events.

The site plan for Parcel 1 is shown on **Sheet A1.0** and an aerial map labeled to show changes to Parcel 2 is shown on page **C7.0**

A lot line adjustment between the two parcels is required to provide sufficient land area to accommodate the various activities proposed on each portion of the site. The lot line adjustment would result in a larger Parcel 1 and a smaller Parcel 2. This proposal is shown on the Parcel Map Waiver Map in Figure 2.

Development will require a City Creek Permit. Review of the project also falls within the Bay Conservation & Development Commission (BCDC) jurisdiction because it is within 100 feet of a slough that is subject to tidal action.

## PROJECT DESCRIPTION

In summary, the proposed project includes six components:

- Lot Line Adjustment.
- A 5-story, 160,000 square-foot (sf) office building to be used at the headquarters of Supply Bank.Org, including potential lease space of other local non-profit organizations, and proposed surface parking spaces.
- A one-story, 123,000 sf warehouse building divided into 2 occupancies:
  - Unit 1: 63,000 sf of warehouse for EBMUD; and
  - Unit 2: 60,000 sf of storage and distribution functions for the Supply Bank.
- A relocated EBMUD corporation yard including truck fleet parking, covered pipe and materials and scraps bins, and a 10,000 sf workshop which will house welding.
- Relocation of the circus and other event activities from Parcel 1 to Parcel 2.
- Signage.

## GENERAL PLAN ANALYSIS

The General Plan Land Use designation for this property is Business Mix. The site is located in the Coliseum Specific Plan Sub-Area E.

The Specific Plan envisions waterfront open space and EBMUD operations within sub-Area E. The plan provides 1) *“that the EDMUD Wet Weather Treatment Facility would continue operations 2) that the existing vacant lot at 66<sup>th</sup> Ave would be utilized in a manner that creates and maintains an attractive frontage along Oakport Street”* and *“that the waterfront parcels facing East Creek slough and the San Leandro Bay would be improved to include a combination of open space, wetland and habitat restoration as well as space for potential future expansion of the existing corporation yard”*. (Coliseum Specific Plan p. 73).

The portion of this Sub-area with access off Oakport St. was designated Business Mix which allows a mix of commercial, industrial and institutional uses. The **Desired Character** Section of policy adopted for the Business Mix Land Use category includes warehouse and distribution, and offices. (Oakland General Plan Land Use Diagram p. 152)

The General Plan also identifies several industry and Commerce Objectives for this area. including Policy I/C1.1 Attracting New Business, Policy I/C 1.2 Retaining Existing Business, and Policy I/C4.1 Protecting Existing Activities. There were no sub-area specific design guidelines adopted for this Sub-Area of the Coliseum Specific Plan.

The project complies with the General Plan and Specific Plan, by 1) providing a new location for Supply Bank, 2) allowing expansion of the office business opportunity to other businesses, 3) retaining elements of the EBMUD operation, and 4) providing for expansion and upgrading of the EBMUD storage function and corporation yard.

**ZONING ANALYSIS**

The site is zoned DCO-6. The DCO-6 zone *“is intended to apply to commercial, industrial and institutional areas with strong locational advantages that make possible the attraction of higher intensity commercial and light industrial land uses and development types.”*

The following table compares the proposed project with the DCO-6 development standards.

**Zoning Analysis Table (includes only applicable regulations):**

Development Standard	Applicable Regulations		Compliance Analysis
	DCO-6 Zone Standards	Proposed Project	
<b>Land Use Activities</b>			
1.	Non-Profit Administrative Office 17.10.	Office 160,000 sq. ft. Supply Bank	Complies
2.	Warehouse Distribution 17.10.583 Accessory welding/workshop in a separate building	63000 sq. ft. EBMUD 60,000 sq. Supply Bank	Requires CUP
3.	Extensive Impact Civic Public and public utility corporation or truck yards	Pipe Layout 57,000 sf Materials Bin 18,000 sf Scrap Bins 10,800 sf PTA Training 13,300 Truck Fleet Parking Area	Requires CUP
4.	Group Assembly Circus and similar activities	Proposed by EBMUD on Parcel 2	Requires CUP
<b>Land Use Facilities</b>			
1.	1. Sign Facilities Master CUP under consideration	Enclosed Non-Residential Open Non-Residential Sign Facility	Requires CUP
2.	Enclosed Non-Residential	Enclosed Office Warehouse	Complies
3.	Open Non-Residential	Outdoor Corporation yard	Complies
<b>Development Standards</b>			
1. Non-Residential FAR	4.0 Maximum	Major buildings are at 4.1 Pipe Layout and Materials Bin Add 75,000 sf	Requires variance for covered pipe layout area and bins
2. Site landscaping 721, 180 sf site	5% overall 36,059 sf required	110,724 sf submitted	Complies
3. Shade trees	1/10 spaces through the parking lot	Tristaniopsis Laurina Water Gum Number is not called out	Incomplete; to be discussed May 22
4. Surface parking area	Minimum of 10% of to be landscaped with permanent irrigation	Surface of parking area is not called out	Incomplete; to be discussed May 22
5. Street trees	One 15-gallon tree/20 feet of street frontage if curbside planting exists the ratio is 1/25'	Plan indicates 1.25 feet 1442 ft. of street frontage 58 15 gallon trees.	Complies when combined with curbside planting

6. Buffering Open parking areas > 3 spaces,  Open loading, storage, sales, display, service, and processing area	Landscaping 3½ feet high and 3 feet wide to screen from all abutting streets, alleys, paths, and private streets or other ways, and/or decorative screening fence or wall (3½) feet high, except where a driveway is located for access	Plan indicates 3' perimeter of planting on Oakport and 5' of planting on the Bay (interior) property line in a stormwater planter. Height of plant material is not indicated	Incomplete to be discussed May 22
7. Setbacks Front, Interior and side Interior corner lot Rear	Zero 10 feet Zero	Site is linear along Oakport St with no interior corner lot.	Complies
8. Maximum Height	85 feet	85feet	Complies
9. Fence Height	8 feet adjacent to Open Space Zones	3-4' retaining wall 8' fence around the property perimeter. Site plan and detail sheet Plan set p. A6.2 S show both "chain link" and "wrought iron" fence Applicant to clarify location of each on site plan.	Complies but design review issue
10. Lot Coverage	No standard; separate from FAR		Review as part of CUP; and Creek Permit
<b>Parking</b>			
1. Supply Bank Office	No Minimum Maximum 367 1/300 sf ground floor 99 max 1/500 sf maximum 268 max	274 spaces proposed for Supply Bank office	Review as part of CUP Less than maximum
2. Supply Bank Warehouse	1/1,500 sf building area Supply Bank 42	Shared with office	Complies; Meets minimum
3. EBMUD Warehouse	EBMUD 40	Plan shows 50 spaces adjacent to the warehouse for EBMUD use	Complies
4. EBMUD Yard	Number of spaces determined by the Planning Director	28 automobile parking spaces 18 medium truck 12 large truck	Review as part of CUP
<b>Loading</b>			
Admin office	3 berths 2/. 159,000 sf+ 1	Supply Bank: 8 at warehouse	Warehouse Complies None designated for Office
Warehouse	4 berths 3/99,000sf+1	EBMUD: 4 at warehouse	
EBMUD yard	None		
<b>Other</b>			
Bicycle Parking	Long Term Office 16 spaces Warehouse 4 spaces	Short Term Office 8 spaces	Not yet identified. Bike parking will likely be at the Bay side of the office building. This issue is part of the discussion with BCDC about public access to the Bay Trail
Public Art	Required		Proposed on site. The location and concept are not yet developed
Open Space	N/A		
<b>Special Regulations for Large-Scale Developments</b>			
No development which involves more than 100,000 square feet of new floor area shall be permitted except upon the granting of a conditional use permit. As such, the project is subject to a major CUP.			

## DESIGN AND RELATED ISSUES

The overall building complex design integrates the three buildings by using consistent colors and providing some overlap in materials despite the three very different building functions. The total site development provides an integrated approach that meets the intent of the Coliseum Specific Plan policies for this area. The following numbered sections are analyses of each individual building:

### **1. 10,000 sf Workshop (See Plan Sheet AO.1a Perspective, Plan Sheet A3.1-1 Elevations)**

This building is proposed as a welding center and instruction area for employees. It is a pre-engineered metal structure with one story and height of 34' maximum at the roof and 26' at the roof edge. Roof materials are not indicated.

The dominant color treatment for the building is Sherman Williams Cityscape a medium grey with a darker Peppercorn accent around door and windows, and with light gray Sherman Williams SW 7064 is indicated for the roll up doors building walls providing additional contrast.

#### Elevations

Roll-up metal doors are proposed on both the South and West elevations so that the building opens on to an 80' wide paved area that can easily accommodate welding and fabrication activity. The roll-up doors are presented in 2 sizes: 14'x 16' and 14' x 20'. The larger doors provide access to the training area and the parts warehouse while the smaller doors open the welding area.

The west elevation also has clerestory windows providing additional fenestration, and two storefront entry doors separated by 9 solid metal siding panels. A bank of 5 of the smaller roll-up door are shown on this side of the building so that the welding shop can expand outside as needed. The Oakport Street side of the building (north) will have metal panels and windows and no entry. The glazing is identified as "vision glass" but the tint is not indicated. The east elevation facing the parking area has 4 storefront entries separated by metal panel siding and windows. There is no dominant entry to the building.

This combination of windows, doors and panels provides visual interest and variety to the building and increases its functionality.

### **2. Warehouse Plan (See Sheet A4.1-2 and A4.12-2 Elevations)**

This building is designed to accommodate the programmatic needs of two organizations. EBMUD requires a higher height and volume to accommodate storage of pipes and a larger accessory office/ employee area, while Supply Bank requires less height and a smaller floor area. The building is 53' high on the EBMUD half and 43' high setback on the Supply Bank portion. In addition, the building is stepped back at the South elevation creating a recessed area that provides loading docks for Supply Bank. The change in height creates more variety in the urban form.

Otherwise the building is presented with a typical design for a warehouse. Materials are concrete, metal and glass. There is a major entry for each business with glass above the entry. The EBMUD warehouse will have 5 truck loading docks with roll up doors and 3 larger roll up doors at grade. Supply Bank will have 8 smaller truck docks and one large bay.

Additional visual interest is created with color. The building uses the same color palette proposed for the small workshop with the darker gray at the base. Blue is added as an accent around the windows and as a repeating pattern on the walls. A trellis is projects from the building at the Supply Bank entry that relates to a walkway to the new office building.

Future mural treatment of the east wall of the warehouse building is also proposed. This concept is shown on the Perspective drawings submittal p. 3 (Attachment D.). Proposed murals would be in addition to public art.

### **3. Office Building Plan (See Sheet A4.1-3A4.2-3)**

This building is a contemporary office building with 5 stories and a maximum of 85' height at the highest point. The building design overall meets the City's design criteria in that there is a defined base middle and top and the building uses various building modulations and transparency to create visual interest. The building concept is open and light with large window walls on the upper floors that extend around the corners of the building on three sides. The design is organized around a mid-building core on the front that highlights the entry. The core element is set apart visually by a combination of rectangular painted glass panels that show 3 randomly arranged blue color tones and a frame composed of white porcelain tile over concrete that forms a large rectangular element.

#### **Front Elevation (North)Lobby Element**

The front elevation base building and lobby elements need further clarification. The front lobby element extends beyond the building wall on the first floor. On the second floor, there is a patio above this first floor projection. This portion of the building is shown in the perspective drawings on page AO.1 and AO.1b. and on the building first and second floor plan on pages A2.1-3 and A2.1-3. It is not clear why this element is needed and what it adds to the overall design. The front entry area is already defined by a) first two floors of the building that are recessed on either side of the core and b) the columns which terminate at the ground on one side of the entry, and end in a horizontal band above the entry. A tile wall is shown in perspective and elevation at approximate size of the entry storefront window system. These elements would adequately define the entry of the building. The addition of the projecting lobby element detracts from the appearance of the front façade and seems inappropriate for an office building.

#### **Building Middle**

The middle of the building is defined by a horizontal band of tile separating the top window elements. Above the base the building wall is transparent.



### Top

The top of the building is defined by a roof edge composed of white ceramic tile. The north (front) and east elevations have a narrow band of light blue glass panels. On the west elevation, the top element uses recessed window and a roof supported by dark gray pillars (peppercorn). This combination creates the feeling that the roof is projecting and adds visual interest. The underside of this roof is finished with the white paint matching the tile. Half of the building on this elevation is recessed.

### Building Back (South Elevation)

The back of the building (south elevation) is also organized around a mid building core but on this side the core is recessed and defined by the same rectangular painted glass panels that with blue color tones used on the front.

The south and west elevation use horizontal bands of the white tile between windows at each floor line and at the top of the building. These elevations also have an open parapet finished with what appears to be the same white tile material further defining the top. On these sides of the building it is open and presumably screens utility equipment.

### Other Accessory Structures (See Plan sheets A2.1-4 A4.1-5 and A4.2-5)

The plan includes covered materials and scrap bins and a covered pipe laydown area in the EBMUD corporation yard. These accessory buildings are pre-engineered structures with concrete wall and simple rooflines. The pipe laydown shed is 36' high at the highest point of the roof with a 28' wall height. The materials bins shed has a shed roof that is 32' at the highest point. Both sheds will be painted in gray tones using the color palate proposed for the other buildings. The plan also shows a walkway connecting the back of the office building to the warehouse. The walkway is design with a simple roof and metal pillars.

### Site planning

The office building is pushed back on the site with a large surface parking lot in the front. This layout is atypical of what we see in other parts of Oakland, but is permitted in this location because the DCO-6 zone does not include a maximum setback standard or any special design criteria intended to create activated street front. The warehouse and workshop buildings and work The Specific Plan Goal for this property is to use the site *in a manner that creates and maintains an attractive frontage along Oakport Street*. The proposed complex of buildings proposed for this site and the landscape plan will accomplish that goal.

### **Issues**

1. Office Building Lobby: Staff requests that DRC provide direction on this design element. Staff recommends modification to both the size and shape of this entry feature.

2. Several elements of the proposal are still under development. Staff recommends that these issues be held to the May DRC meeting to give staff and the applicant time to work with other departments and agencies and/or refine current proposals.

1. Bay Trail. The Bay Trail is adjacent to the property and within the jurisdiction of Bay Conservation & Development Commission (BCDC). The applicant has initiated review with BCDC and at this point it is unclear whether additional improvements enhancing public access to the trail will be included in the proposal.

2. Drainage/Landscaping The proposal includes a bio-swale design that is integrated into the landscape plan. The plan shows two drainage swales draining across the property line onto city property. The parcel receiving these waters is not part of the city drainage system and while labeled an existing infiltration pond on the plans, it is not a designed city facility. The issue of whether the drainage can be channeled on to city property will need to be reviewed by other city departments, and the outcome could potentially alter the landscape plan.

3. Signage The application includes a request for approval of three signs: one for each organization on the warehouse and one for Supply Bank on the office building. Staff previously discussed the potential of developing a Master Sign Program with the applicant to accommodate the needs of the future office building tenants, however the sign submittal is not yet at the appropriate level for consideration. Staff requests initial feedback on the primary business identification signs but recommends that this portion of the application be continued.

4. Frontage improvement on Parcel 2. A site plan and frontage improvements are not proposed as part of this project; however, since the proposal includes the relocation of the group assembly activities (circus, temporary Christmas tree sales and other events) staff initiated discussion of this issue with the applicant and property owner. The Coliseum Specific Plan Policies envision *creating and maintains an attractive frontage along Oakport Street.*

## **CONCLUSION**

Staff requests the DRC to conduct design review of the proposal. Specifically, staff requests the DRC to:

1. Review and comment on the proposed building design and site planning of the office, warehouse and workshop buildings.
2. Continue to the May 2019 meeting to review and discuss:
  - Bay Trail
  - Drainage/Landscaping
  - Master Sign Program
  - Potential site improvements needed to accommodate the public assembly activity to be relocated on for Parcel 2 (still under discussion).

Prepared by:

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Rebecca Lind  
Planner III

Approved for forwarding to the  
Design Review Committee:

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Catherine Payne  
Acting Development Planning Manager

**Attachments:**

- A. Figure One Parcels 1 and 2
- B. Parcel Map Waiver
- C. Proposed Project Plans
- D. Perspectives
- E. Signage

Prepared by:



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Rebecca Lind  
Planner III

Approved for forwarding to the  
Design Review Committee:



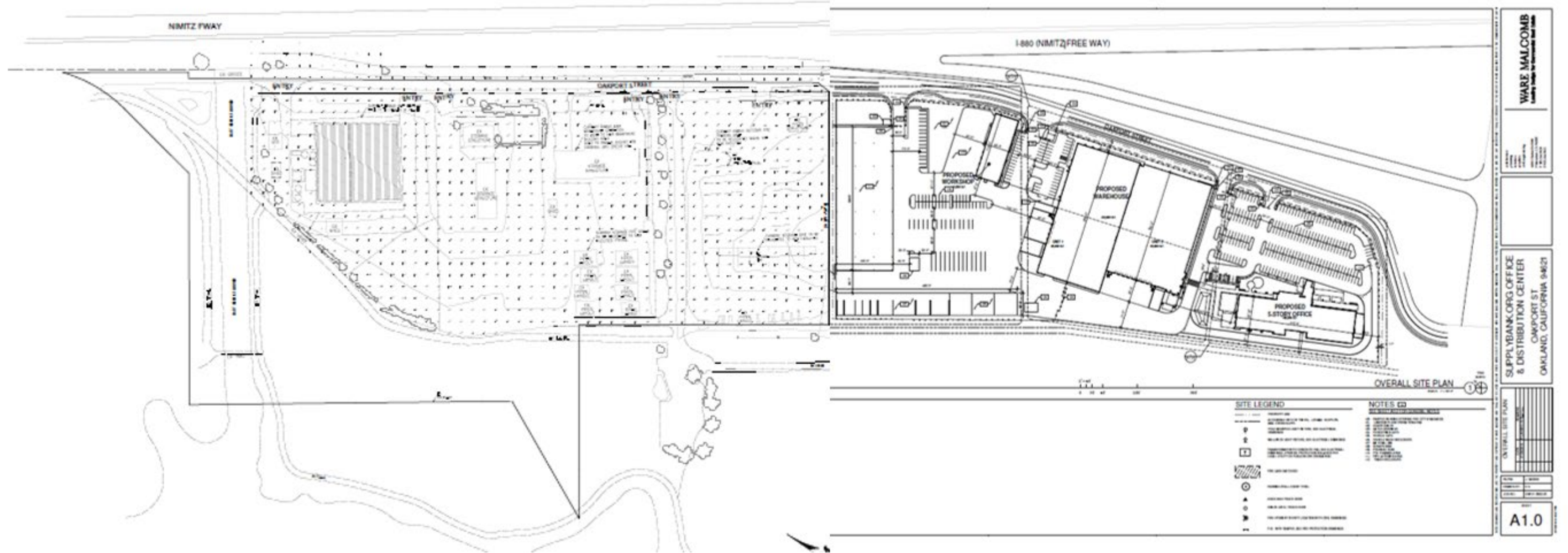
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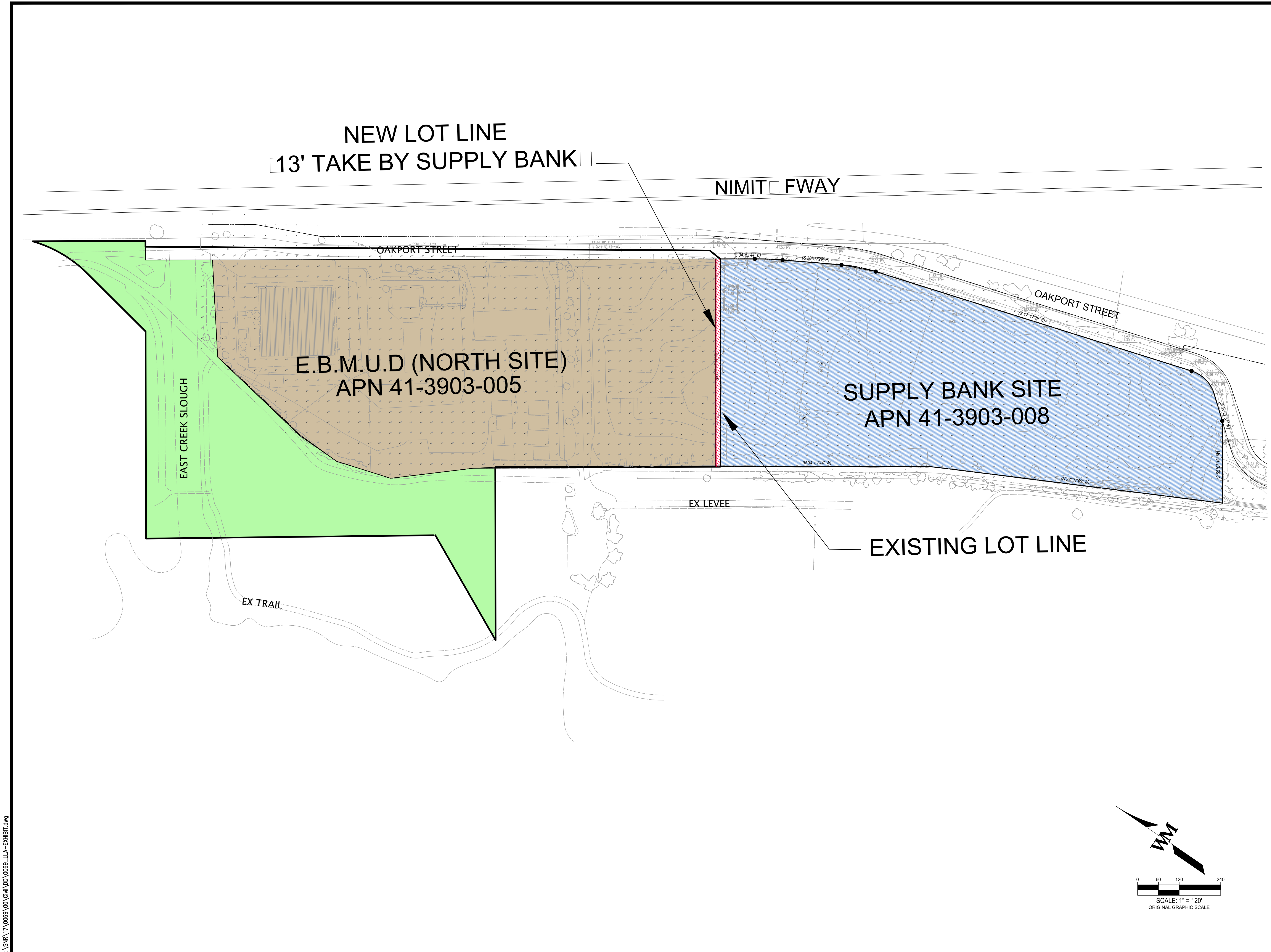
Catherine Payne  
Acting Development Planning Manager

Attachments:

- A. Figure One Parcels 1 and 2
- B. Parcel Map Waiver
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- D. Perspectives
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**Attachment A - Figure 1, Parcels 1 and 2 \*\*NOT TO SCALE - FOR REFERENCE PURPOSES ONLY\*\***





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REGISTERED PROFESSIONAL ENGINEER  
**GERRY L. PARRO**  
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STATE OF CALIFORNIA  
Apr 17, 2019

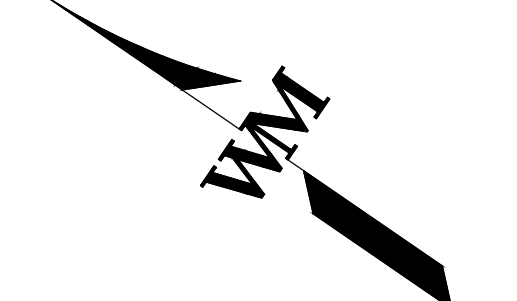
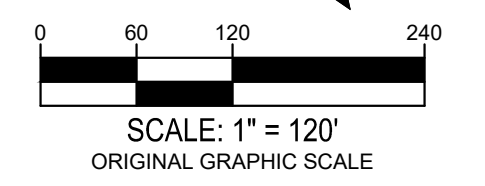
FOR AND ON BEHALF  
OF WARE MALCOMB

**SUPPLYBANK.ORG OFFICES**  
& DISTRIBUTION FACILITY  
OAKPORT STREET  
OAKLAND, CALIFORNIA

LOT LINE ADJUSTMENT EXHIBIT

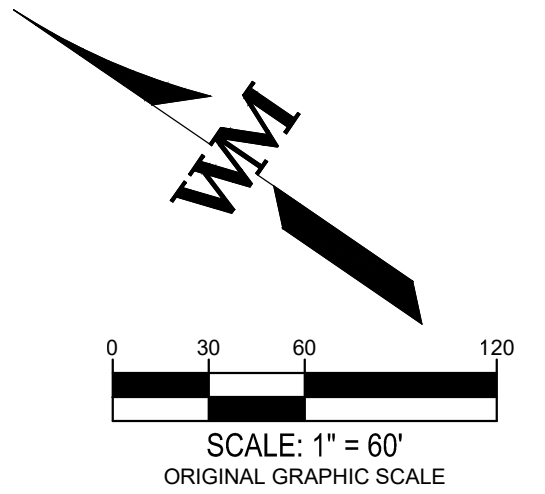
NO.	DATE	REMARKS

JOB NO.:	SNR17-0069
PA / PM:	GP
DRAWN BY:	SY
DATE:	JAN 15, 2019





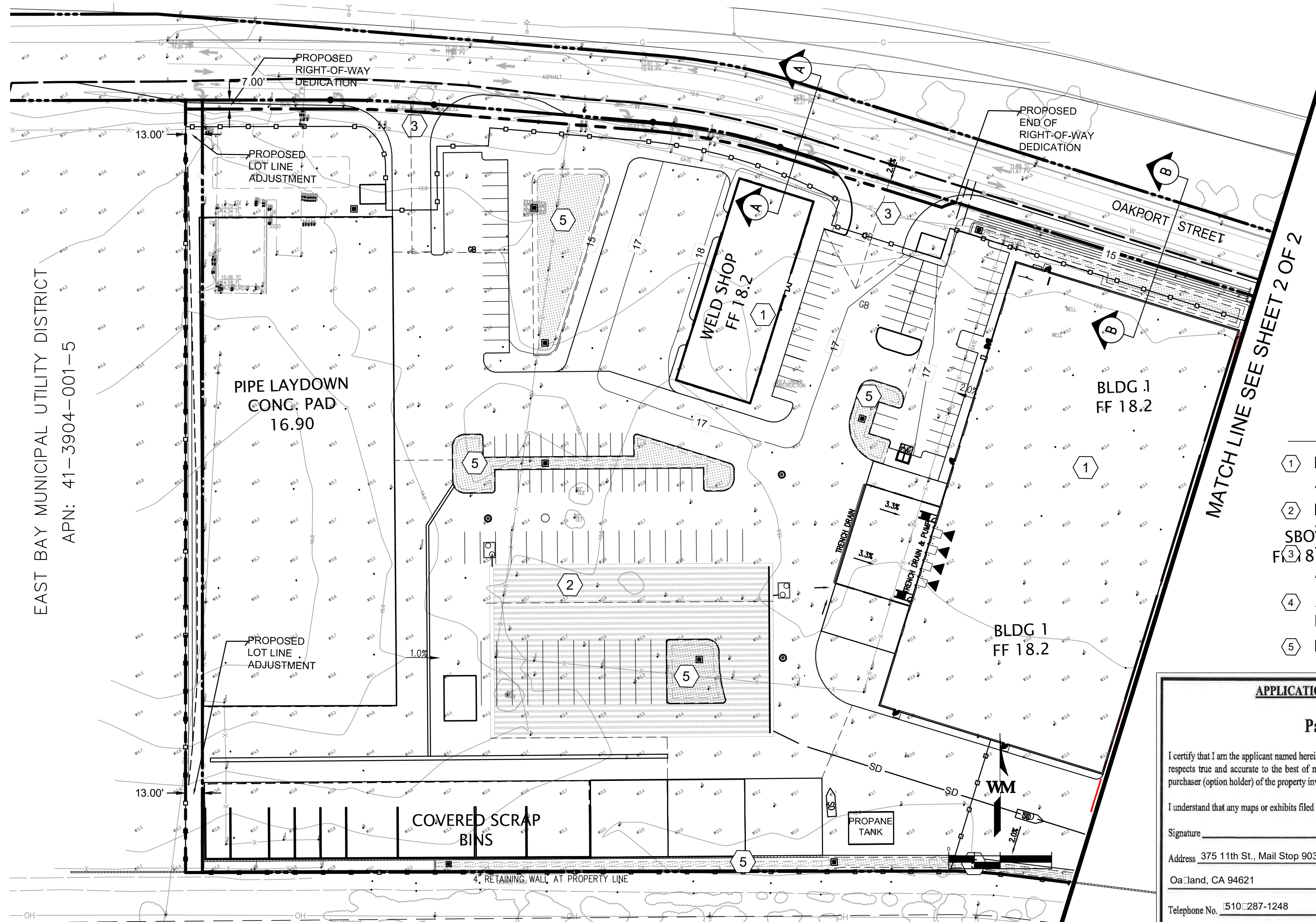
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SCALE: 1" = 60'  
ORIGINAL GRAPHIC SCALE

MAP NOTES:

- ① PROPOSED BUILDING, SEE ARCHITUTURAL PLANS
- ② PROPOSED UNDERGROUND SD STORAGE PIPE SYSTEM
- ③ TRUCK TRAFFIC DRIVEWAY ACCESS
- ④ AUTOMOBILE DRIVEWAY ACCESS
- ⑤ BIO-RETENTION AREA



EAST BAY MUNICIPAL UTILITY DISTRICT  
APN: 41-3904-001-5

APPLICATION TO WAIVE PARCEL MAP

Parcel No. 041-3903-2-8 / 041-3904-1-5

I certify that I am the applicant named herein and that the information given on any submission herewith is in all respects true and accurate to the best of my knowledge and belief. I further certify that I am the owner or purchaser (option holder) of the property involved in this application.

I understand that any maps or exhibits filed become a permanent part of the file and may not be returned to me.

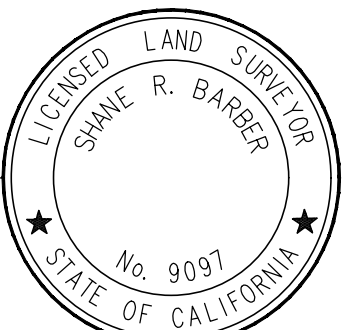
Signature \_\_\_\_\_ I am the:  Property Owner  
 Purchaser (include copy of contract)  
 Address 375 11th St., Mail Stop 903  
 Oakland, CA 94621  
 Telephone No. 510-287-1248  
 Owner's Name EBMUD, Matt Elawad (if other than applicant)  
 Owner's Address Same as above Telephone No. Same as above

PARCEL MAP WAIVER MAP

STATEMENT OF PURPOSE OF PARCEL MAP WAIVER:  
 THE PURPOSE OF THIS MAP IS TO PRESENT THE PROPOSED 13.00' LOT LINE ADJUSTMENT NORTH TO TAKE APPROXIMATELY 7,800 SF FROM THE EBMUD PROPERTY, AND TO DEDICATE A 7' WIDE BY APPROXIMATELY 608.5' AREA TO THE CITY FOR OAKPORT STREET, AT THE NORTHWEST CORNER OF THE SITE.



713 Nacomis Court 925-344-6461  
Tracy, CA 95304



DATE \_\_\_\_\_ PREPARED BY OR UNDER THE SUPERVISION OF  
SHANE R. BARBER, L.S. 9097  
sbarber@barbersurveying.com

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**WARE MALCOMB**  
CIVIL ENGINEERING & SURVEYING

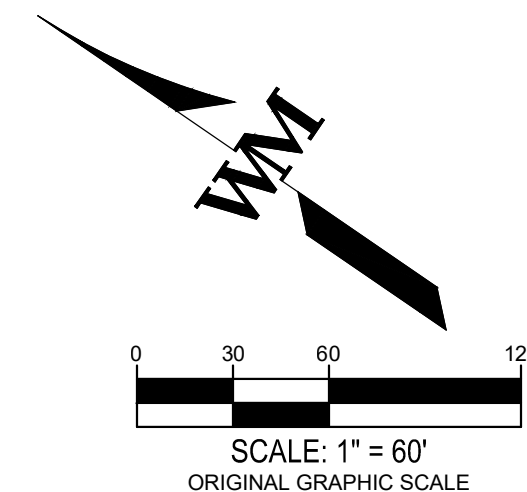
JOB NO. SNR17-0069-00  
 DATE: APRIL 3, 2019  
 SCALE: 1" = 60'  
 Sheet 1 of 2

NO.	DATE	REMARKS
DRAWN BY: GP		PA/PM: GP

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MAP NOTES:

- ① PROPOSED BUILDING, SEE ARCHITITURAL PLANS
- ② PROPOSED UNDERGROUND SD STORAGE PIPE SYSTEM
- ③ TRUCK TRAFFIC DRIVEWAY ACCESS
- ④ AUTOMOBILE DRIVEWAY ACCESS
- ⑤ BIO-RETENTION AREA

APPLICATION TO WAIVE PARCEL MAP

Parcel No. 041-3903-2-8 / 041-3904-1-5

I certify that I am the applicant named herein and that the information given on any submission herewith is in all respects true and accurate to the best of my knowledge and belief. I further certify that I am the owner or purchaser (option holder) of the property involved in this application.

I understand that any maps or exhibits filed become a permanent part of the file and may not be returned to me.

Signature \_\_\_\_\_ I am the:  Property Owner

Address 375 11th St., Mail Stop 903 \_\_\_\_\_ Purchaser (include copy of contract)

Oa□land, CA 94621 \_\_\_\_\_

Telephone No. 510-287-1248 \_\_\_\_\_

Owner's Name EBMUD, Matt Elawad□ (if other than applicant)

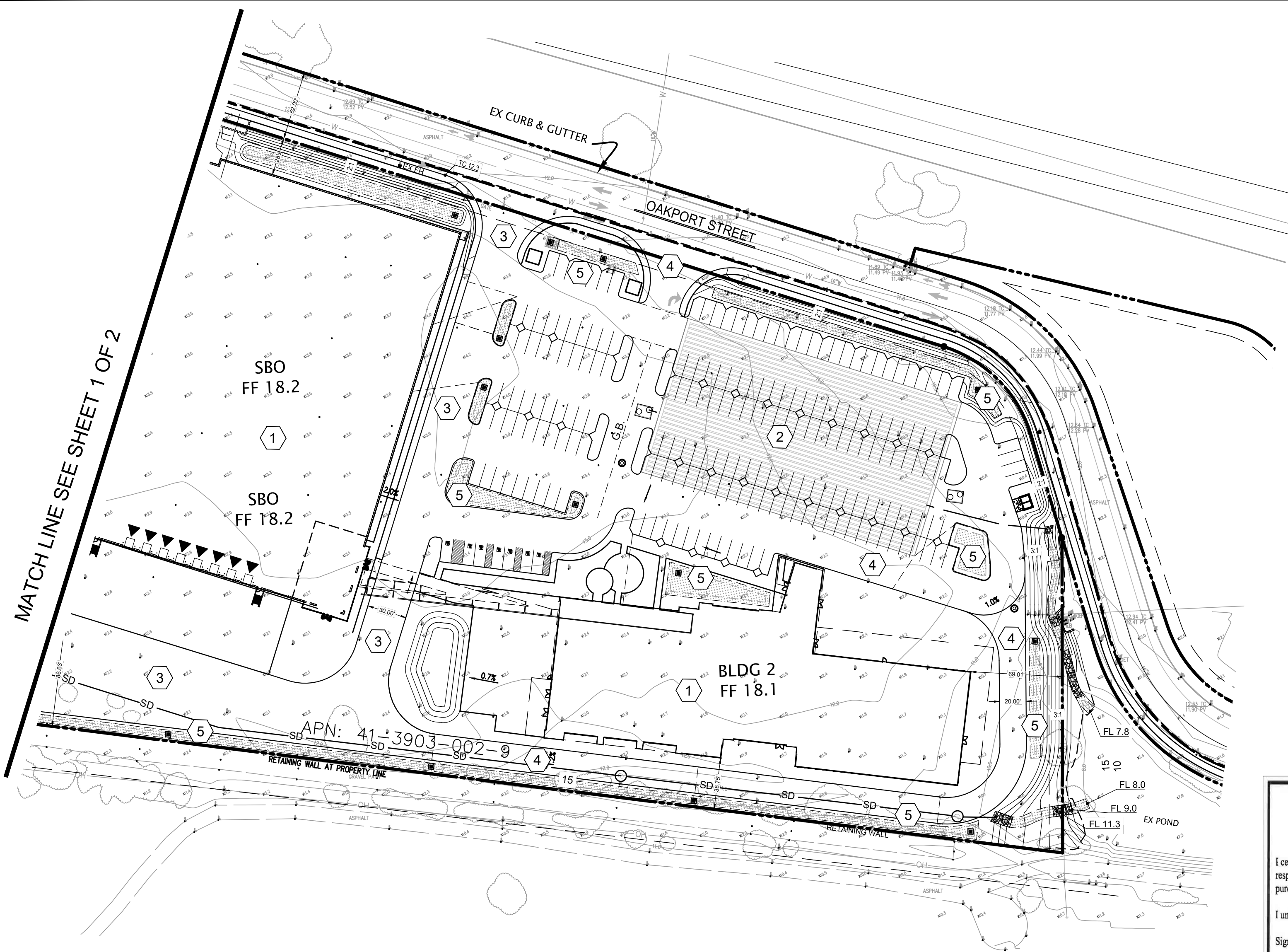
Owner's Address Same as above Telephone No. Same as above

JOB NO. SNR17-0069-00  
 DATE: APRIL 3, 2019  
 SCALE: 1" = 60'  
 Sheet 2 of 2

PARCEL MAP WAIVER MAP

WARE MALCOMB  
CIVIL ENGINEERING & SURVEYING

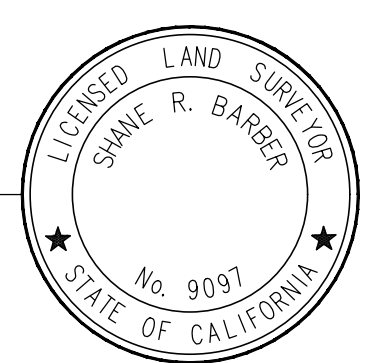
NO.	DATE	REMARKS
DRAWN BY: GP		PA/PM: GP



MATCH LINE SEE SHEET 1 OF 2



DATE \_\_\_\_\_ PREPARED BY OR UNDER THE SUPERVISION OF SHANE R. BARBER, L.S. 9097 sbarber@barbersurveying.com



STATEMENT OF PURPOSE OF PARCEL MAP WAIVER:

THE PURPOSE OF THIS MAP IS TO PRESENT THE PROPOSED 13.00' LOT LINE ADJUSTMENT NORTH TO TAKE APPROXIMATELY 7,800 SF FROM THE EBMUD PROPERTY, AND TO DEDICATE A 7' WIDE BY APPROXIMATELY 608.5' AREA TO THE CITY FOR OAKPORT STREET, AT THE NORTHWEST CORNER OF THE SITE.

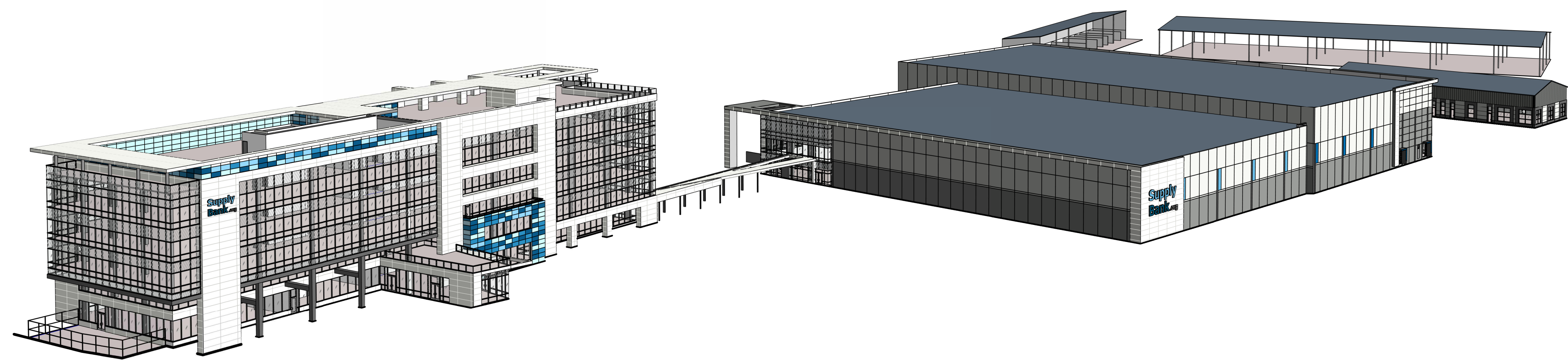
4683 chabot drive  
suite 300  
pleasanton, ca 94588  
p. 925.244.9620  
waremalcomb.com

W:\SNR17\_0069\_00\C\I\DD\0069-PM\Waiver Map.dwg



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OAKLAND, CALIFORNIA 94621



## SHEET INDEX

TOTAL SHEETS 61

### ARCHITECTURAL

- A0.1 TITLE SHEET
  - A0.1a PROJECT RENDERINGS
  - A0.1b PROJECT RENDERINGS
  - A1.0 OVERALL SITE PLAN
  - A1.1-1 BUILDING 1 - ENLARGED SITE PLAN
  - A1.2-1 BUILDING 1 - SITE SECTIONS
  - A2.1-1 BUILDING 1 - FLOOR & ROOF PLANS
  - A3.1-1 BUILDING 1 - EXTERIOR ELEVATIONS
  - A1.1-2 BUILDING 2 - ENLARGED SITE PLAN
  - A1.2-2 BUILDING 2 - SITE SECTIONS
  - A2.0-2 BUILDING 2 - OVERALL FLOOR PLAN
  - A2.1-2 BUILDING 2 - PARTIAL FLOOR PLAN
  - A2.2-2 BUILDING 2 - PARTIAL FLOOR PLAN
  - A3.1-2 BUILDING 2 - ROOF PLAN
  - A4.1-2 BUILDING 2 - EXTERIOR ELEVATIONS
  - A4.2-2 BUILDING 2 - EXTERIOR ELEVATIONS
  - A5.1-2 BUILDING 2 - ENLARGED FLOOR PLAN
  - A1.1-3 BUILDING 3 - ENLARGED SITE PLAN
  - A1.2-3 BUILDING 3 - SITE SECTIONS
  - A2.1-3 BUILDING 3 - FIRST FLOOR PLAN
  - A2.2-3 BUILDING 3 - SECOND FLOOR PLAN
  - A2.3-3 BUILDING 3 - THIRD FLOOR PLAN
  - A2.4-3 BUILDING 3 - FOURTH FLOOR PLAN
  - A2.5-3 BUILDING 3 - FIFTH FLOOR PLAN
  - A3.1-3 BUILDING 3 - LOWER ROOF PLAN
  - A3.2-3 BUILDING 3 - UPPER ROOF PLAN
  - A4.1-3 BUILDING 3 - EXTERIOR ELEVATIONS
  - A4.2-3 BUILDING 3 - EXTERIOR ELEVATIONS
  - A2.1-4 BUILDING 4 - FLOOR PLAN & EXT. ELEV.
  - A2.1-5 PIPE LAYDOWN & MATERIAL BINS FLOOR PLANS
  - A4.1-5 PIPE LAYDOWN EXTERIOR ELEVATIONS
  - A4.2-5 MATERIAL BINS EXTERIOR ELEVATION
  - A5.1 EXTERIOR WINDOW TYPES
  - A5.2 EXTERIOR WINDOW TYPES
  - A5.3 EXTERIOR WINDOW TYPES
  - A6.1 DETAILS
  - A6.2 DETAILS
  - A6.3 DETAILS
  - A6.4 DETAILS
- ARCHITECTURAL SHEET COUNT: 39

### PHOTOMETRIC

- PS1.0 PHOTOMETRIC SURVEY
- PHOTOMETRIC SHEET COUNT: 1

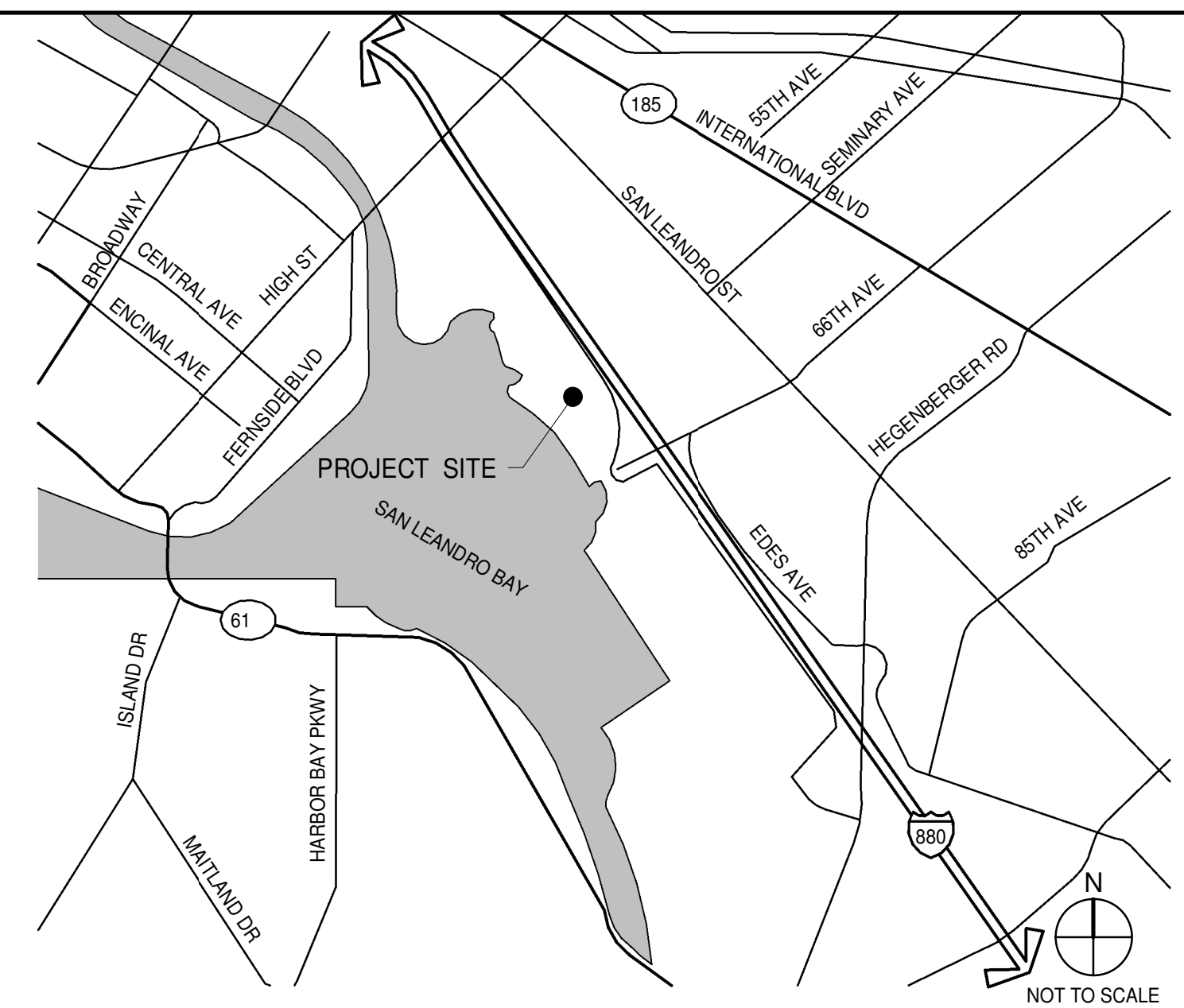
### LANDSCAPE

- L1.1 PRELIMINARY PLAN
  - L1.2 PRELIMINARY PLAN
  - L1.3 PRELIMINARY PLAN
  - L1.4 PRELIMINARY PLAN
  - L1.5 PRELIMINARY PLAN
  - L1.6 PRELIMINARY PLAN
  - L1.7 ROOF TOP PRELIMINARY PLAN
  - L1.8 TREE IMAGES AND PLANT LIST
  - L1.9 TREE SURVEY PLAN
- LANDSCAPE SHEET COUNT: 9

### CIVIL

- C1.0 COVER SHEET
  - C2.0 EXISTING CONDITION
  - C3.0 PRELIMINARY GRADING AND DRAINAGE PLAN
  - C3.1 PRELIMINARY GRADING AND DRAINAGE PLAN
  - C3.2 PRELIMINARY GRADING AND DRAINAGE PLAN
  - C4.0 CONCEPTUAL UTILITY PLAN
  - C4.1 CONCEPTUAL UTILITY PLAN
  - C5.0 EROSION CONTROL PLAN
  - C5.1 CONSTRUCTION DETAILS
  - C6.0 STORMWATER CONTROL PLAN
  - C6.1 STORMWATER CONTROL DETAILS
  - C7.0 EBMUD PRELIMINARY POST CONSTRUCTION NORTH SITE EXHIBIT
- CIVIL SHEET COUNT: 12

### VICINITY MAP



### OWNER

#### SUPPLYBANK.ORG

7730 PARDEE LANE  
OAKLAND, CALIFORNIA 94621

BENITO DELGADO-OLSON  
PH: (510) 569-5862  
CELL: (510) 967-8978

#### ARCHITECT

#### WARE MALCOMB

4683 CHABOT DR #300  
PLEASANTON, CALIFORNIA 94588

JIM BABINE  
P 925.244.9620  
F 925.244.9621

#### OWNER'S CONSULTANTS

#### GEOTECHNICAL ENGINEER

TERRACON CONSULTANTS, INC  
5075 COMMERCIAL CIRCLE, SUITE E  
CONCORD CALIFORNIA 94520

NOAH T. SMITH  
PH: (925) 609-7224  
FAX: (925) 609-6324

### ARCHITECT'S CONSULTANTS

#### LANDSCAPE ARCHITECT

THOMAS BAAK & ASSOCIATES, LLP  
1620 N MAIN ST #4  
WALNUT CREEK, CALIFORNIA 94596

RICK STOVER  
PH: (925) 933-2583 EXT. 105  
FAX: (000) 000-0000

#### CIVIL ENGINEER

WARE MALCOMB  
4683 CHABOT DR #300  
PLEASANTON, CALIFORNIA 94588

MICHAEL MURPHY  
PH: (925) 244-9620  
FAX: (925) 244-9621

### DEFERRED SUBMITTALS

DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEERS OF RECORD WHO SHALL REVIEW AND PROVIDE NOTATION INDICATING DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE BUILDING DESIGN. SUBMITTAL MATERIALS SHALL INCLUDE PLANS, DETAILS AND CALCULATIONS PREPARED AND SIGNED BY A STATE REGISTERED ENGINEER. CONTRACTOR SHALL SUBMIT ARCHITECT AND ENGINEER REVIEWED SUBMITTAL MATERIALS TO THE BUILDING OFFICIAL FOR REVIEW AND PERMIT APPROVAL. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED PRIOR TO OBTAINING THE BUILDING OFFICIAL'S APPROVAL OF THE SUBMITTAL.

1. AUTOMATIC FIRE SPRINKLER SYSTEM.
2. FIRE ALARM SYSTEM.
3. STEEL JOISTS, TRUSSES AND GIRDERS CONFORMING TO SJI STANDARDS SPECIFICATIONS.
4. STEEL STAIRS, HANDRAILS AND GUARDS.
5. HIGH PILED STORAGE RACKING.
6. EXTERIOR BUILDING SIGNAGE.
7. ANCHORAGE DESIGN FOR ALL ELECTRICAL EQUIPMENT REQUIRED.
8. STOREFRONT AND CURTAIN WALL GLAZING SYSTEMS.
9. MECHANICAL EQUIPMENT, VENTS, DUCTS AND UTILITY BOXES.
10. GUARD SHACKS.
11. VEHICLE WASH ENCLOSURE.
12. BUILDING SIGNAGE.

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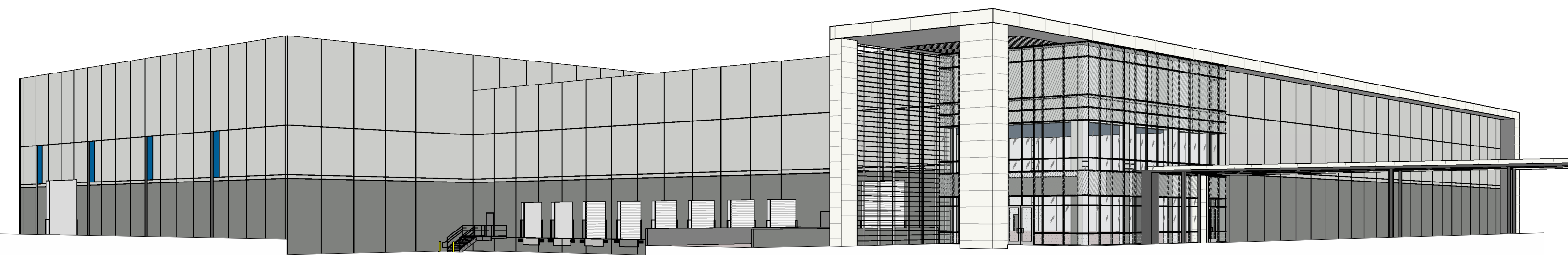
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TITLE SHEET	
DATE	REMARKS
04/03/2019	PLANNING SUBMITTAL
1	

PA/PM:	J. BABINE
DRAWN BY.:	E.S.
JOB NO.:	SNR17-0069-00

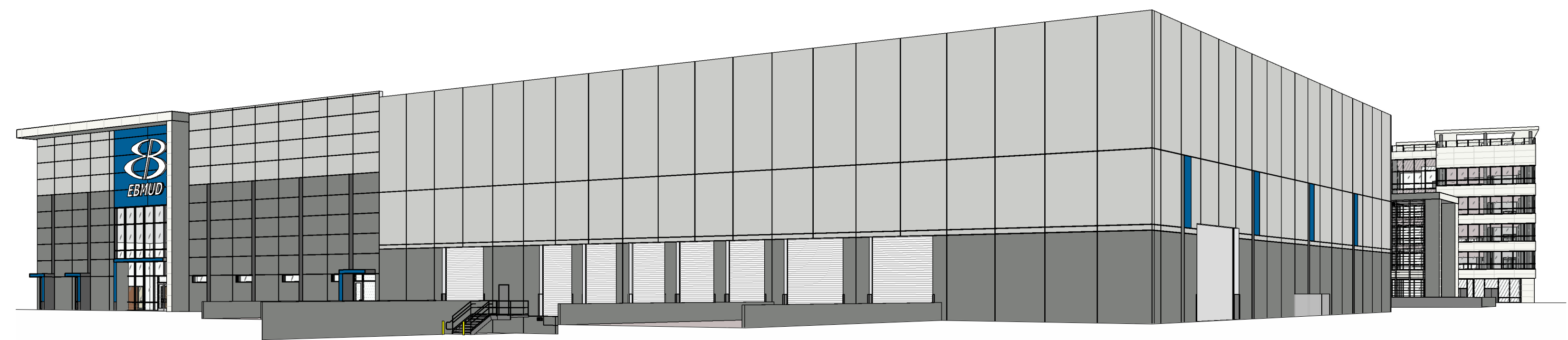
SHEET  
**A0.1**



BUILDING 2 PERSPECTIVE 8  
SCALE:



BUILDING 2 PERSPECTIVE 6  
SCALE:



BUILDING 2 PERSPECTIVE 7  
SCALE:



BUILDING 2 PERSPECTIVE 5  
SCALE:



BUILDING 1 PERSPECTIVE 4  
SCALE:



BUILDING 1 PERSPECTIVE 2  
SCALE:



BUILDING 1 PERSPECTIVE 3  
SCALE:



BUILDING 1 PERSPECTIVE 1  
SCALE:

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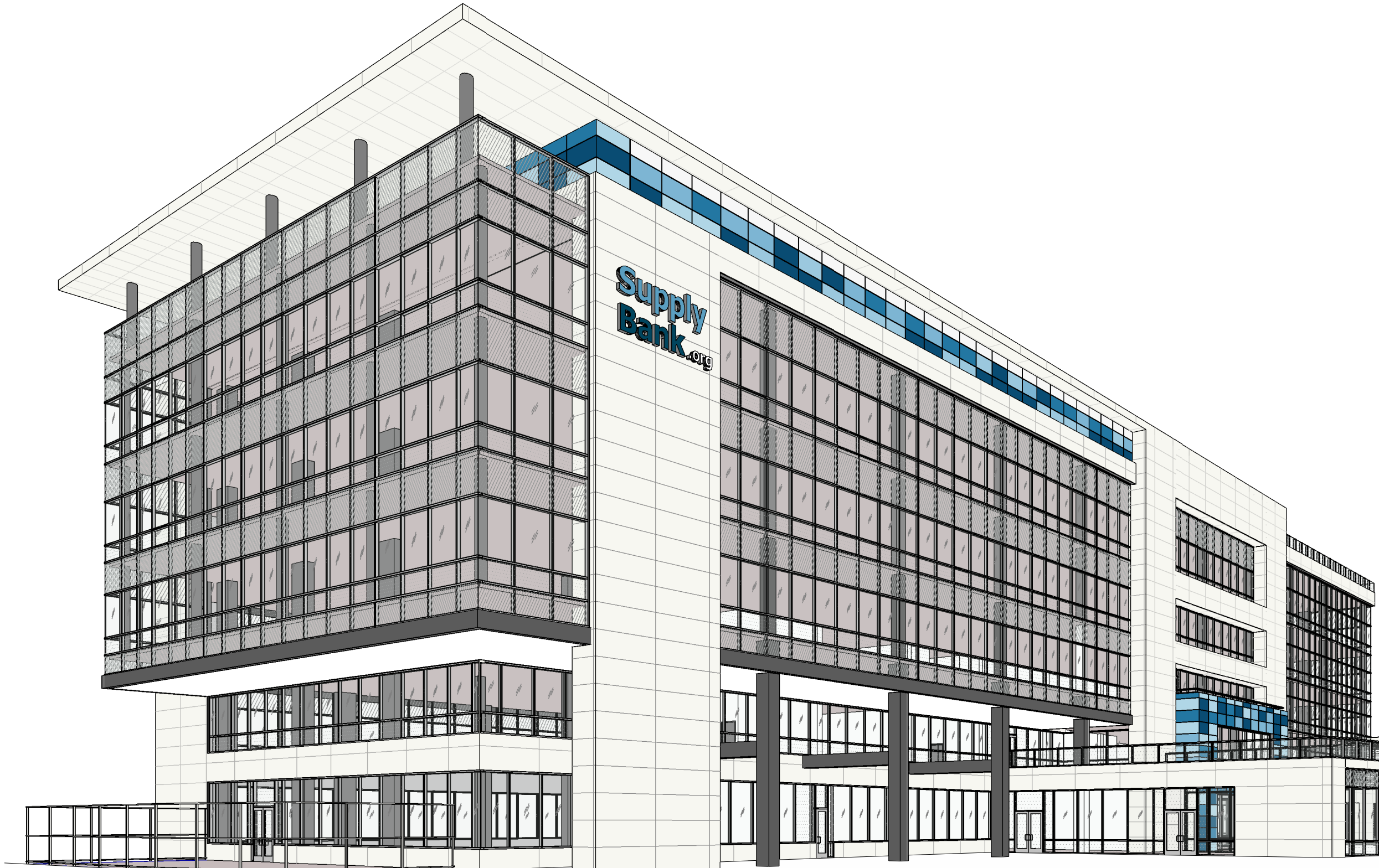
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OAKLAND, CALIFORNIA 94621

PROJECT RENDERINGS	
DATE	04/03/2019
REMARKS	

PA/PM:	Approver
DRAWN BY.:	Author
JOB NO.:	SNR17-0069-00

SHEET  
**A0.1a**  
4/2/2019 12:55:14 PM

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BUILDING 3 PERSPECTIVE

SCALE:

3



BUILDING 3 PERSPECTIVE

SCALE:

2



BUILDING 3 PERSPECTIVE

SCALE:

1

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PROJECT RENDERINGS

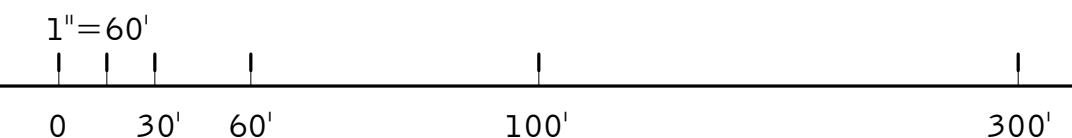
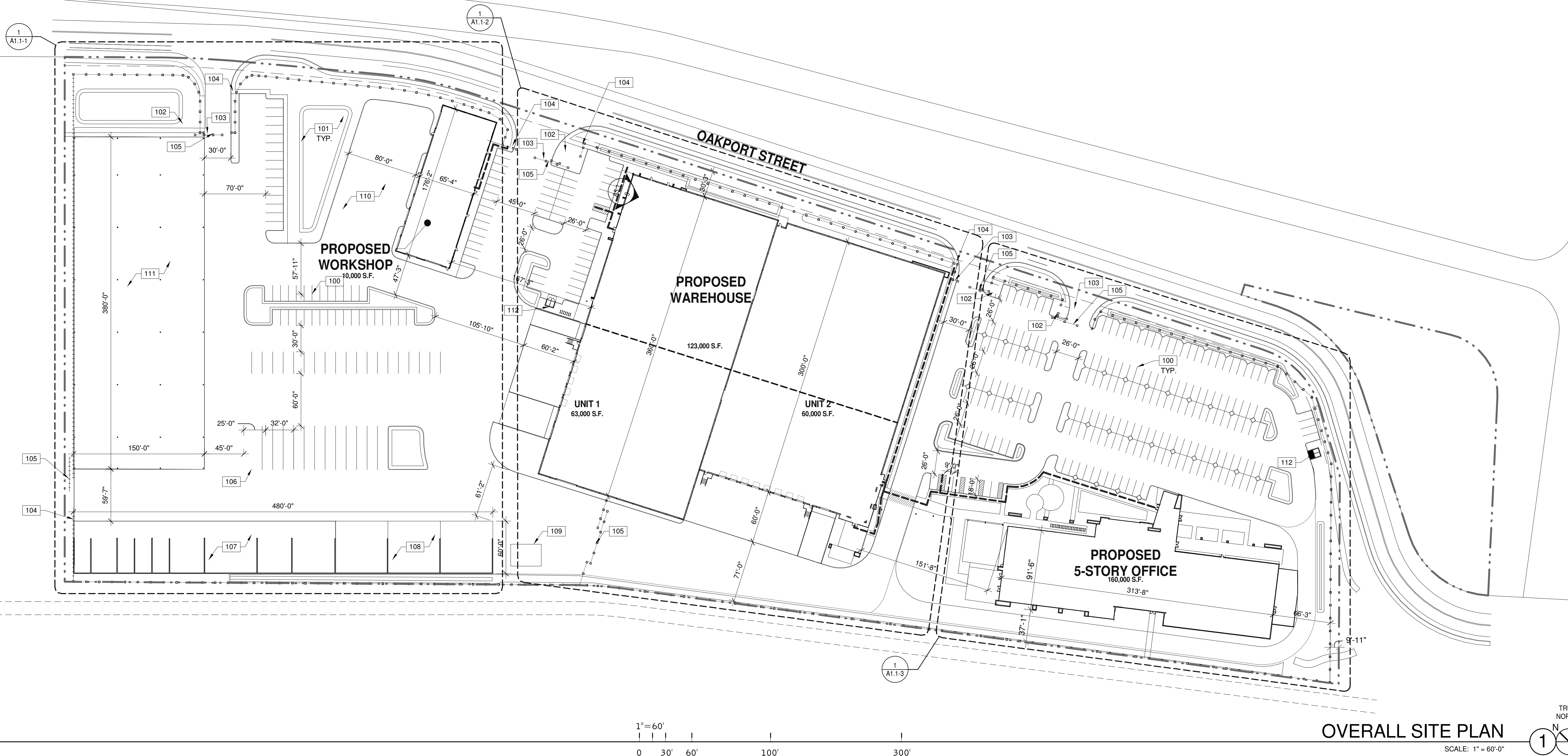
DATE	REMARKS
04/03/2019	

PA/PM:	J. BABINE
DRAWN BY.:	E.S.
JOB NO.:	SNR17-0069-00

SHEET  
**A0.1b**

I-880 (NIMITZ FREE WAY)

OAKPORT STREET



OVERALL SITE PLAN  
SCALE: 1" = 60'-0"

**SITE LEGEND**

- PROPERTY LINE.
- ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE 2% MAX. CROSS SLOPE.
- POLE MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- WALLPACK LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- TRANSFORMER WITH CONCRETE PAD, SEE ELECTRICAL DRAWINGS. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- FIRE LANE (HATCHED)
- PARKING STALL COUNT TOTAL
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- P.I.V. WITH TAMPER, SEE FIRE PROTECTION DRAWINGS

**NOTES**

- SEE SHEET A0.2 FOR GENERAL NOTES
100. PAINTED PARKING STRIPING PER CITY STANDARDS.
  101. LANDSCAPE AND IRRIGATION AREA.
  102. GUARD SHACK.
  103. GATED DRIVEWAY.
  104. PEDESTRIAN GATE.
  105. VEHICLE GATE.
  106. VEHICLE WASH ENCLOSURE.
  107. MATERIAL BIN.
  108. SCRAPS BINS.
  109. PROPANE TANK.
  110. PTA TRAINING AREA.
  111. PIPE LAYDOWN AREA.
  112. TRASH ENCLOSURE.

**OVERALL SITE PLAN**

DATE	REMARKS
04/03/2019	PLANNING SUBMITTAL
1	

PA/PM:	J. BABINE
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JOB NO.:	SNR17-0069-00

SHEET  
**A1.0**

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<b>BUILDING 1 - ENLARGED SITE PLAN</b>	
DATE	04/03/2019
REMARKS	PLANNING SUBMITTAL
1	

PA/PM:	J. BABINE
DRAWN BY.:	E.S.
JOB NO.:	SNR17-0069-00

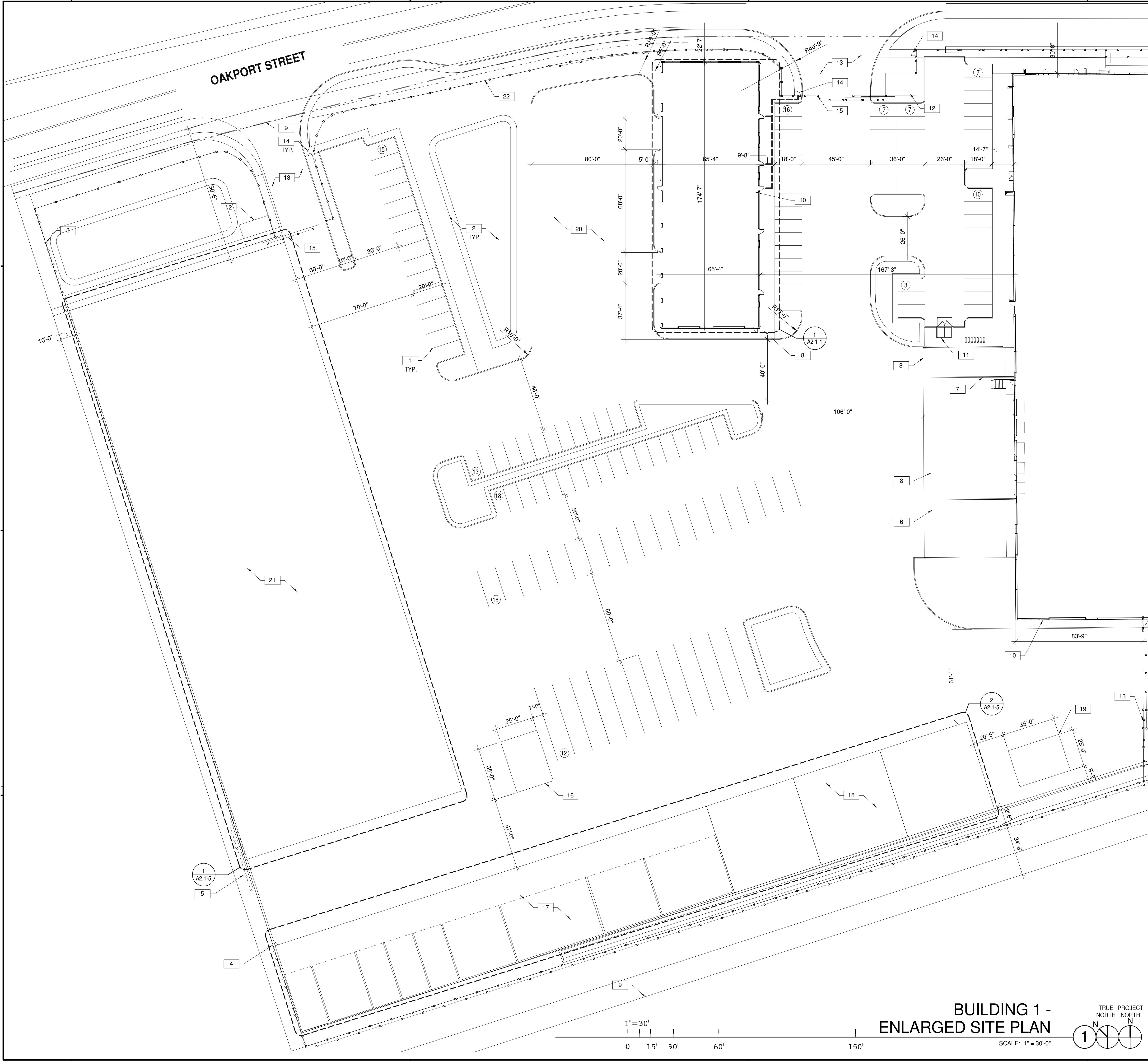
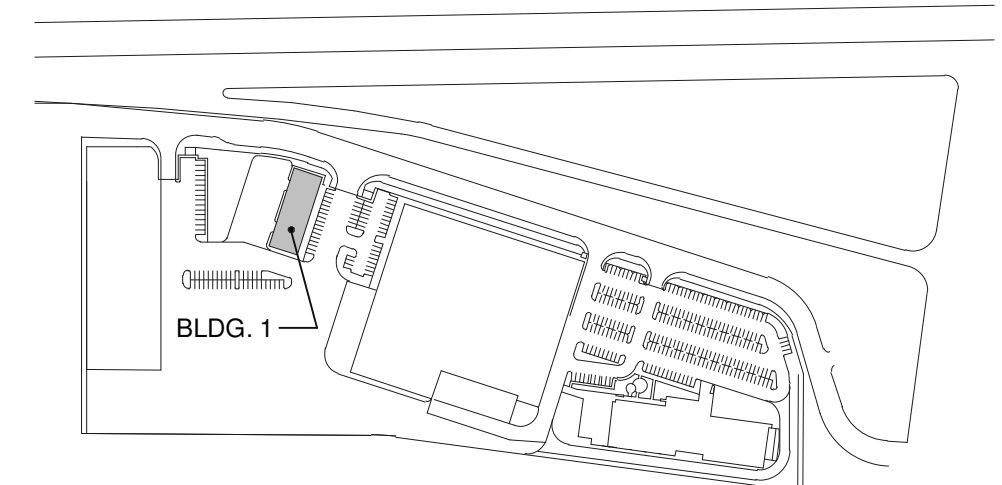
**NOTES**  
SEE SHEET A0.2 FOR GENERAL NOTES

1. PAINTED PARKING STRIPING PER CITY STANDARDS.
2. LANDSCAPE AND IRRIGATION AREA.
3. CHAINLINK FENCE. SEE DETAIL 11/A6.2.
4. CHAINLINK GATE. SEE DETAIL 9/A6.2.
5. CHAINLINK ROLLING GATE. SEE DETAIL 6/A6.2.
6. CONCRETE RAMP.
7. GALVANIZED RAILING.
8. CONCRETE PAVEMENT.
9. EASEMENT LINE.
10. RECESSED OR SURFACE MOUNTED KNOX-BOX, INSTALL AT 5'-0" ABOVE FINISH FLOOR.
11. TRASH ENCLOSURE. SEE DETAIL 9/A6.1.
12. GUARD SHACK.
13. GATED DRIVEWAY.
14. PEDESTRIAN GATE. SEE DETAIL 10/A6.2.
15. VEHICLE GATE. SEE DETAIL 6/A6.2.
16. VEHICLE WASH ENCLOSURE.
17. MATERIALS BIN.
18. SCRAPS BINS.
19. PROPANE TANK.
20. PTA TRAINING AREA.
21. PIPE LAYDOWN AREA.
22. WROUGHT IRON FENCING. SEE DETAIL 13/A6.2.
23. WROUGHT IRON GATE.

**SITE LEGEND**

- PROPERTY LINE, SEE CIVIL DRAWINGS
- ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- POLE MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- FIRE LANE (HATCHED)
- PARKING STALL COUNT TOTAL
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- P.I.V. WITH TAMPER, SEE FIRE PROTECTION DRAWINGS

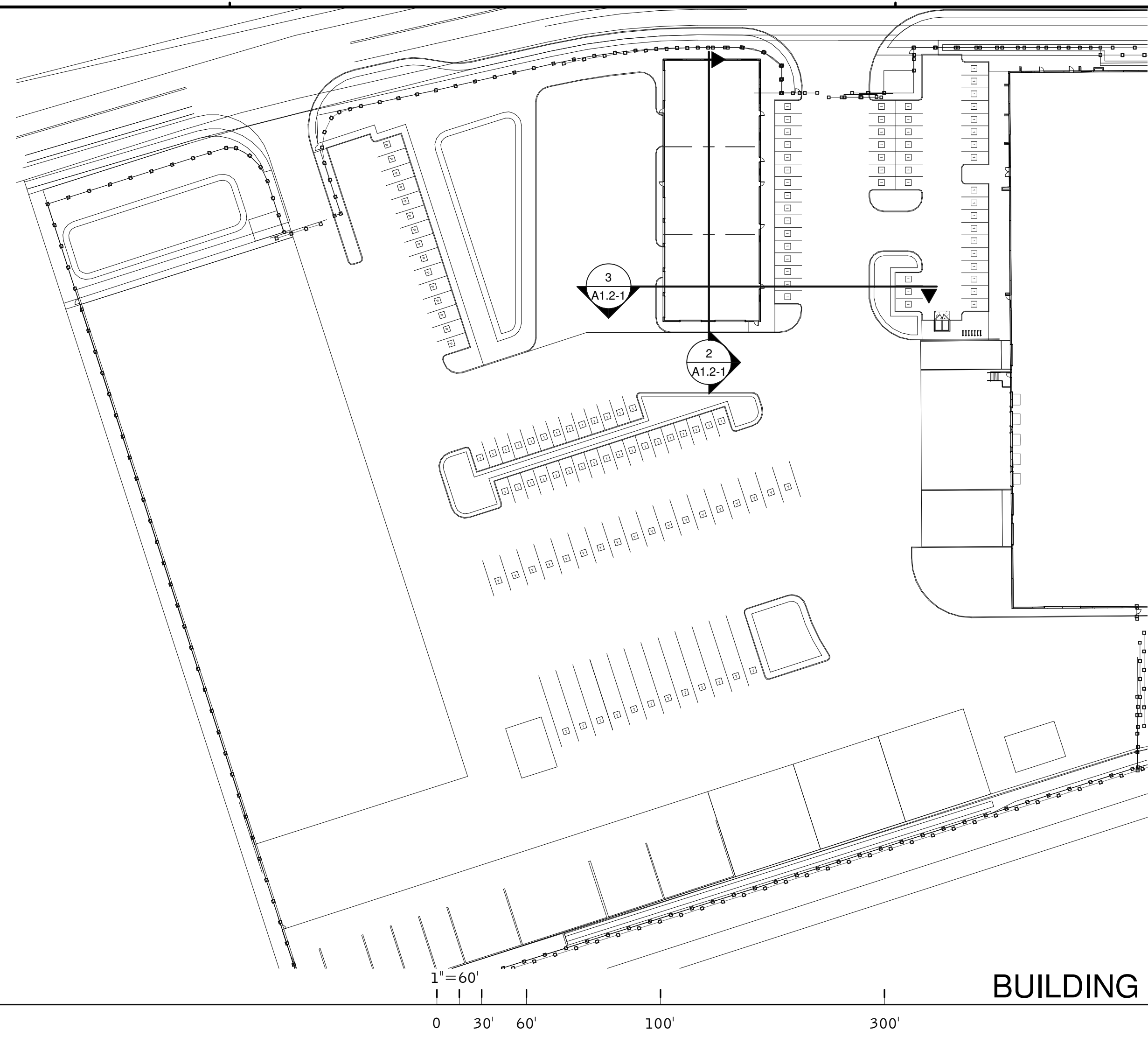
**KEY PLAN**



**BUILDING 1 - ENLARGED SITE PLAN**  
SCALE: 1" = 30'-0"  
TRUE PROJECT NORTH NORTH

BM 360/SNR17-0069-00\_06th Ave and Oakport St 0009\_B1\_ARCH.rvt

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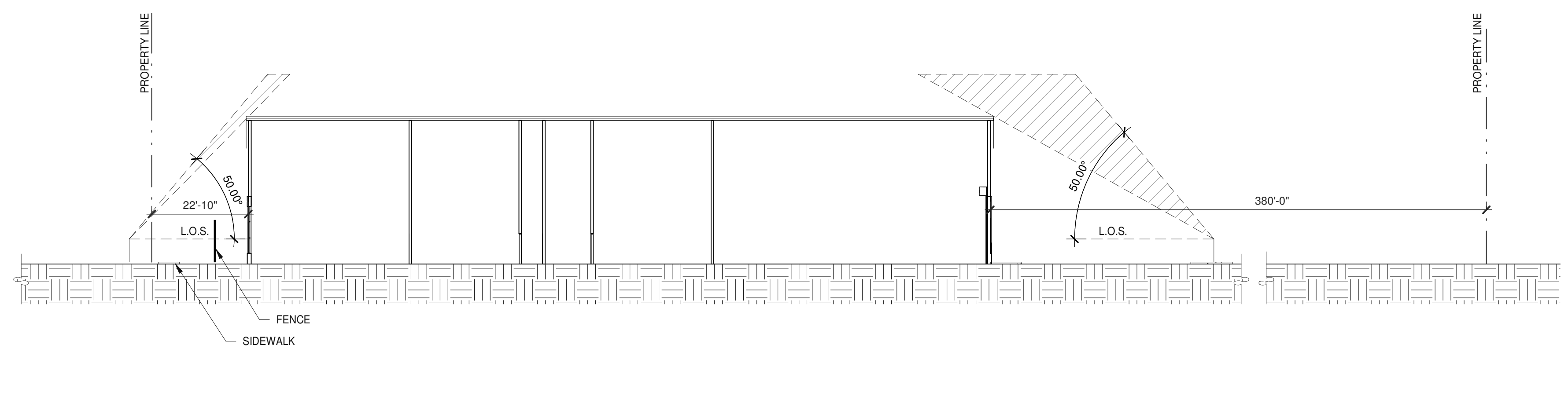


**BUILDING 1 - KEY PLAN - SITE SECTION**

1" = 60'  
0 30' 60' 100' 300'

SCALE: 1" = 60'-0"

①

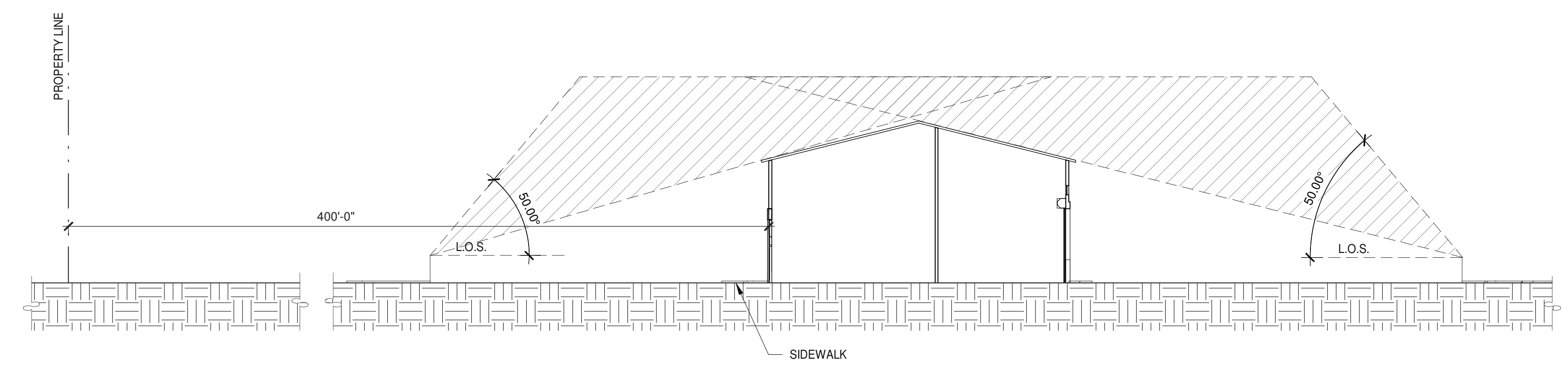


**BUILDING 1 - SITE SECTION**

1" = 20'  
0 10' 20' 40' 100'

SCALE: 1" = 20'-0"

②



**BUILDING 1 - SITE SECTION**

SCALE: 1" = 20'-0"

③

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BUILDING 1 - SITE SECTIONS	
DATE	REMARKS
04/03/2019	PLANNING SUBMITTAL
1	

PA/PM:	J. BABINE
DRAWN BY.:	E.S.
JOB NO.:	SNR17-0069-00

SHEET  
**A1.2-1**

BUILDING 1 - FLOOR & ROOF PLANS	
DATE	REMARKS
04/03/2019	PLANNING SUBMITTAL
1	

PA/PM:	J. BABINE
DRAWN BY:	E.S.
JOB NO.:	SNR17-0069-00

- NOTES**
- FLOOR PLAN**
- 252 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
  - 267 ROLL UP DOOR (GRADE LEVEL), SEE ELEVATIONS.
  - 268 NARROWSTILE STOREFRONT ENTRANCE.
- ROOF PLAN**
- 308 ROOF HATCH. VERIFY JOIST LOCATIONS WITH STRUCTURAL DRAWINGS.
  - 310 STANDING SEAM METAL ROOF OVER RIGID INSULATION.

**DOOR TYPES**

**SF2** 6'-0" x 8'-0" (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)

FRAME: MANUFACTURER

HARDWARE:

- 2 SETS PIVOT SET
- 2 SETS INTER PIVOT
- 1 EA MORTISE CYLINDER
- 2 SETS OFFSET PULL
- 2 EA CH CLOSER
- 1 EA THRESHOLD
- 1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

**RU1** 14'-0" x 16'-0" ROLL UP DOOR W/ FACTORY PAINTED FINISH

**RU2** 20'-0" x 16'-0" ROLL UP DOOR W/ FACTORY PAINTED FINISH

HARDWARE:

- 1 EA SLIDE BOLT
- 1 EA PAD LOCK

**DOOR NOTES**

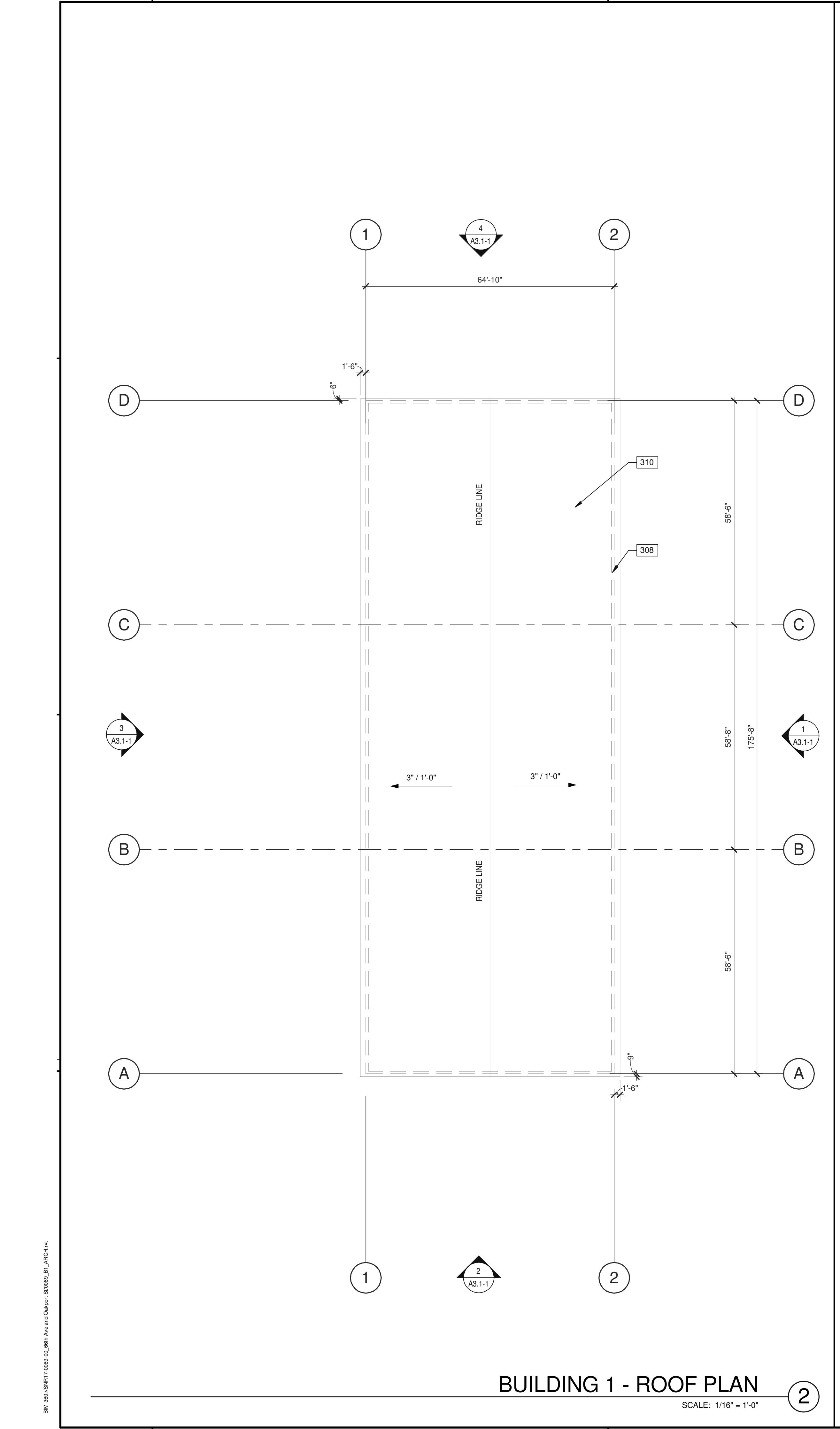
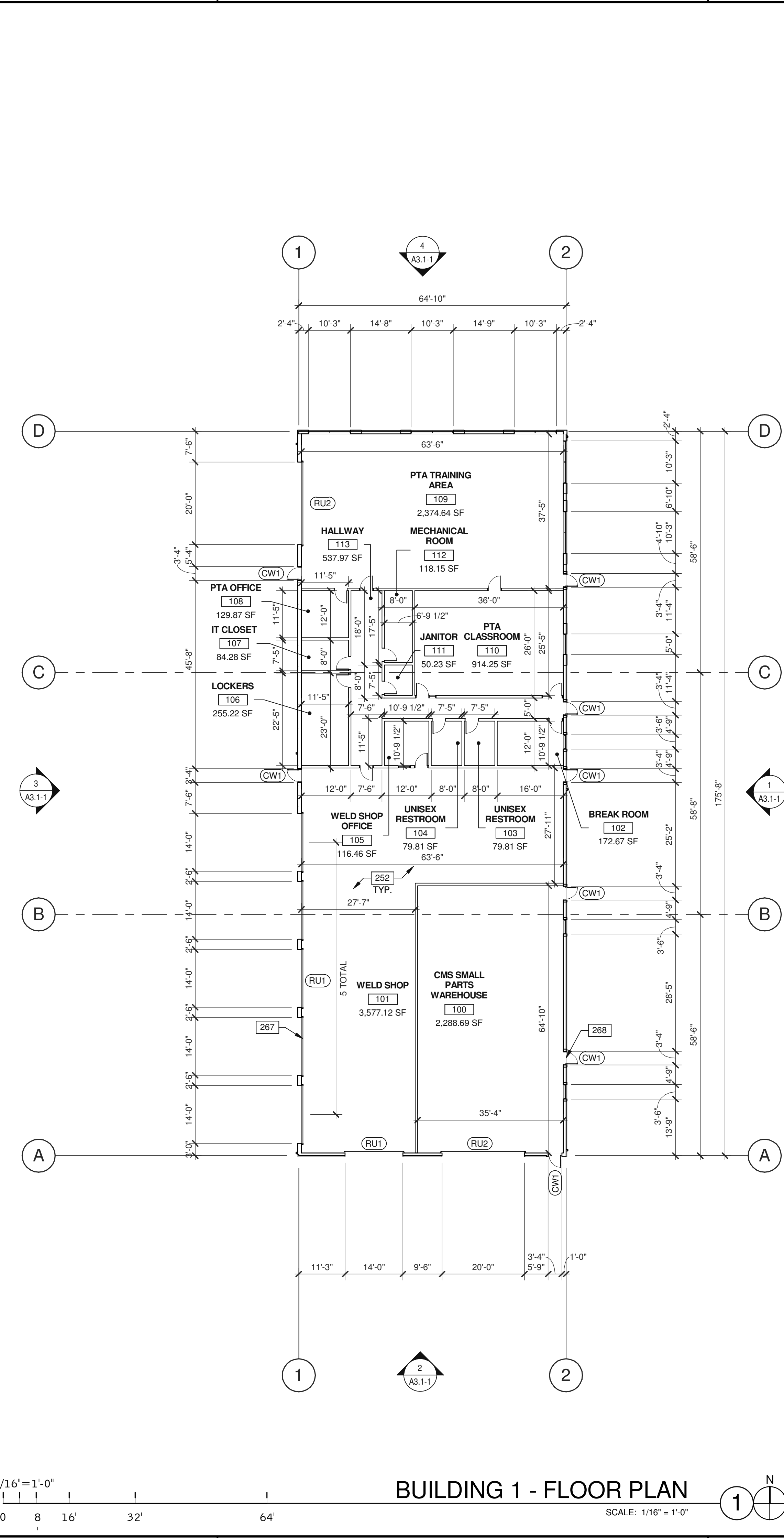
**BUTT HINGES:**  
SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL. ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.

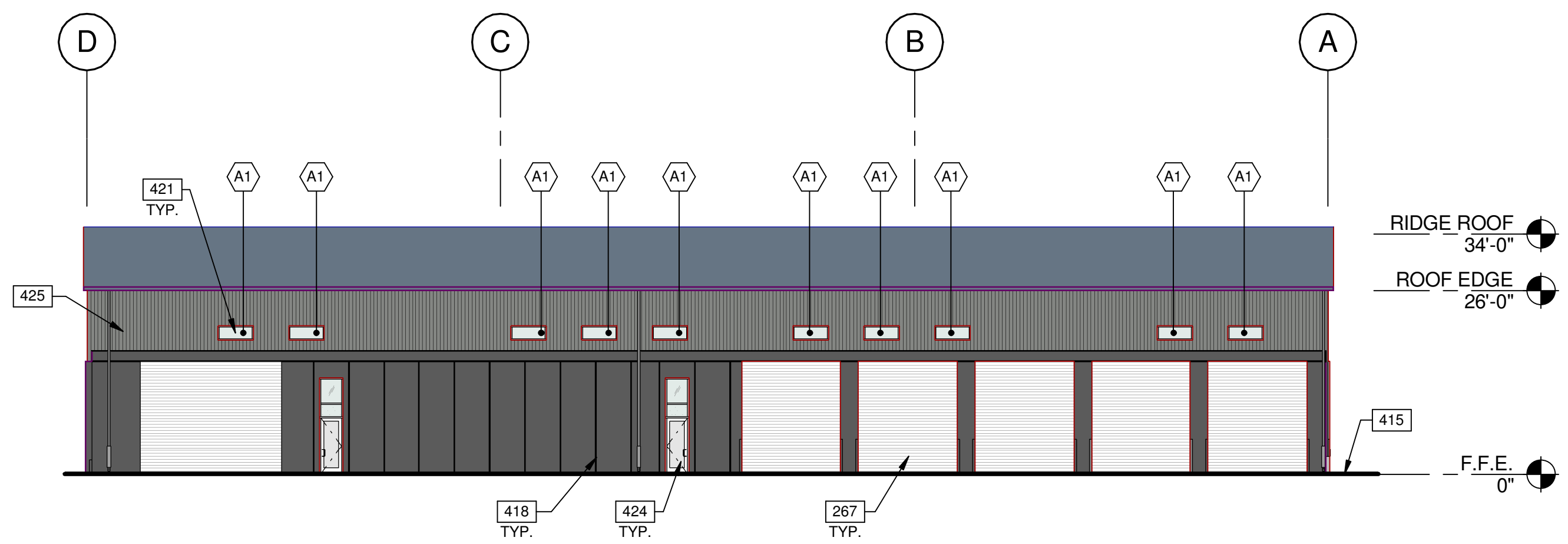
**VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL**

**CLOSING DEVICES:** HORTON 8500 BF SERIES OR APPROVED EQUAL

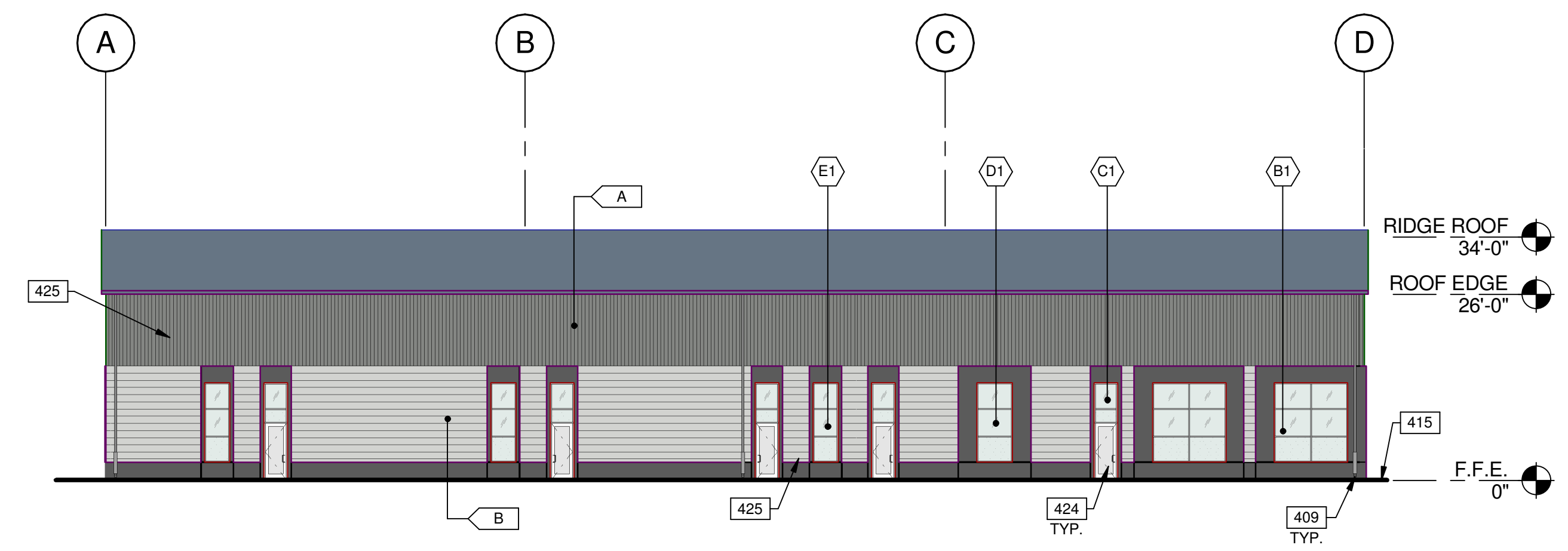
**STOPS:** TRIMCO W1200 SERIES DOOR STOP

**SLIDE BOLT AND PAD LOCK:** INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD

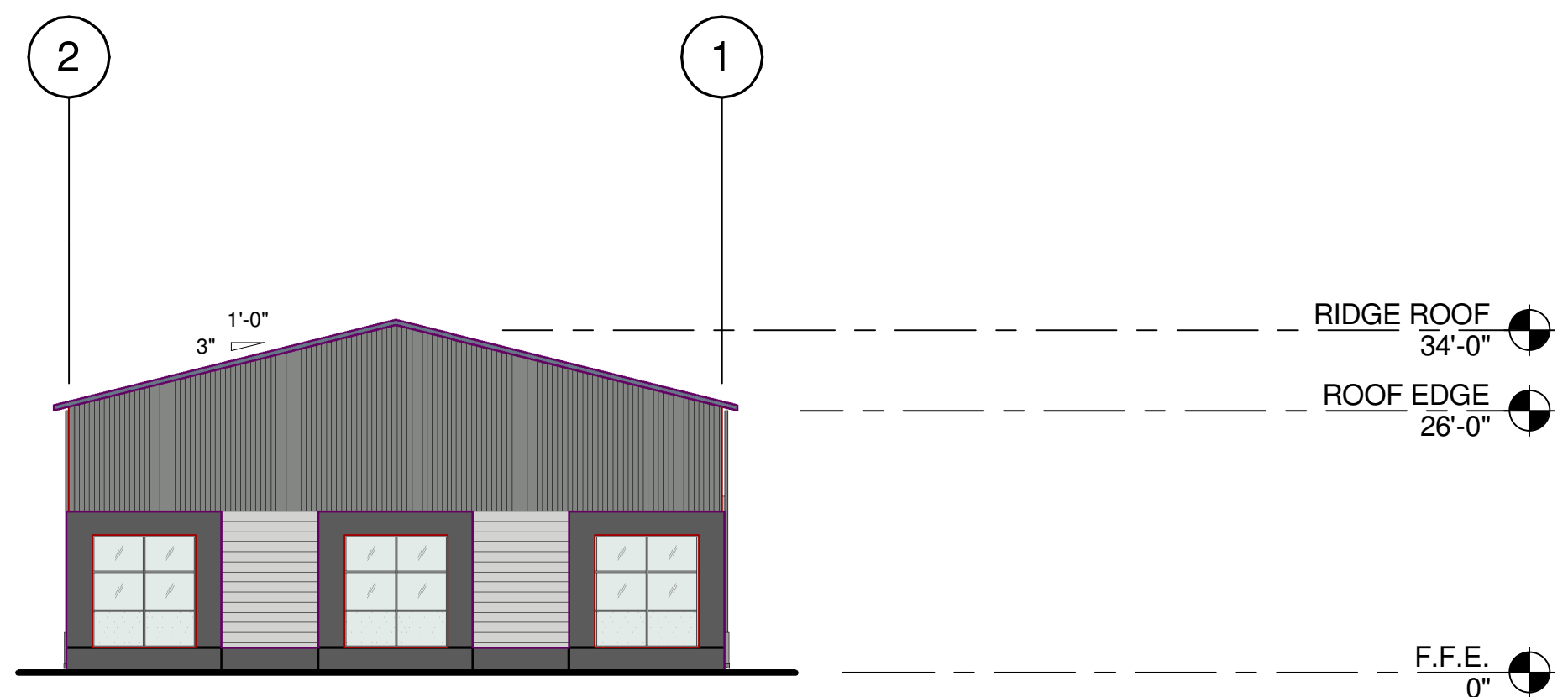




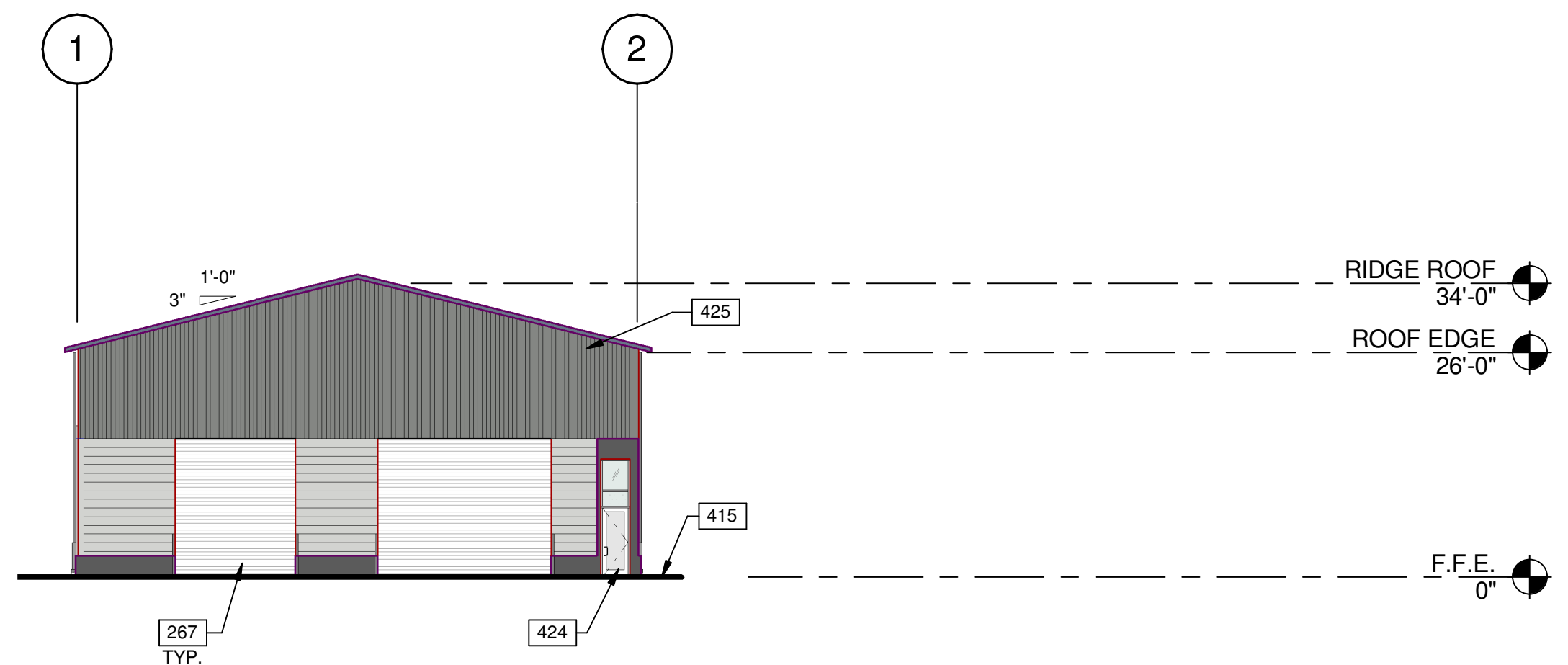
**BUILDING 1 - WEST EXTERIOR ELEVATION**  
SCALE: 1/16" = 1'-0" **3**



**BUILDING 1 - EAST EXTERIOR ELEVATION**  
SCALE: 1/16" = 1'-0" **1**



**BUILDING 1 - NORTH EXTERIOR ELEVATION**  
SCALE: 1/16" = 1'-0" **4**



**BUILDING 1 - SOUTH EXTERIOR ELEVATION**  
SCALE: 1/16" = 1'-0" **2**

**LEGEND**

- MATERIALS:**
- PRE-ENGINEERED METAL STRUCTURE
- COLORS:**
- PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- BASE COLOR: SHERWIN WILLIAMS SW 7674 - PEPPERCORN
  - SECONDARY COLOR: SHERWIN WILLIAMS SW 7067 - CITYSCAPE
  - SECONDARY COLOR: SHERWIN WILLIAMS SW 7064 - PASSIVE

- GLASS:**
- VISION GLASS
  - SPANDREL GLASS
  - TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
20 ULTRACLEAR LOW IRON FLOAT GLASS  
23 GUARDING CRYSTALBLUE FLOAT GLASS (1" INSULATED ON CLEAR/SPANDREL WHERE INDICATED)  
SUNGUARD SPANDREL HT - WARM GRAY  
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

MULLION FINISH:  
KAWNEER CLEAR NO. 14 AND NO. 17 (OR COMPARABLE)

**NOTES**

- 267 ROLL UP DOOR (GRADE LEVEL). SEE ELEVATIONS.
- 409 DRAIN LEADER, PAINTED TO MATCH BUILDING.
- 415 FINISH GRADE VARIES.
- 418 3/4" V-REVEAL.
- 421 CLERESTORY WINDOW.
- 424 NARROWSTILE STOREFRONT ENTRANCE.
- 425 PRE-ENGINEERED METAL STRUCTURE.

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OAKLAND, CALIFORNIA 94621**

**BUILDING 1 - EXTERIOR ELEVATIONS**

DATE	REMARKS
04/03/2019 <td>PLANNING SUBMITTAL</td>	PLANNING SUBMITTAL
1	

PA/PM:	J. BABINE
DRAWN BY.:	E.S.
JOB NO.:	SNR17-0069-00

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**A3.1-1**

4/2/2019 12:42:07 PM



BUILDING 2 - ENLARGED SITE PLAN	
DATE	REMARKS
04/03/2019	PLANNING SUBMITTAL
1	

PA/PM:	J. BABINE
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JOB NO.:	SNR17-0069-00

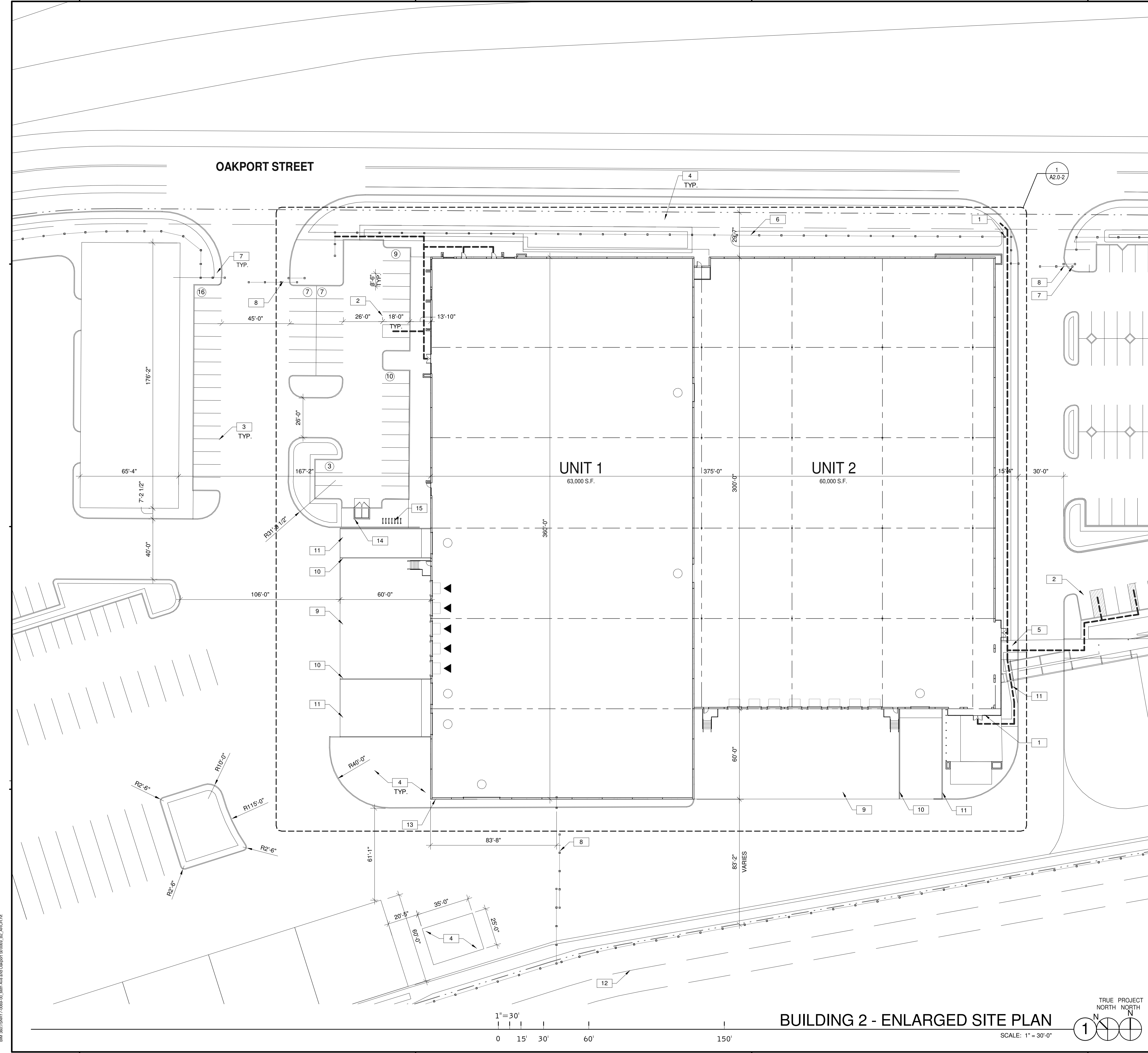
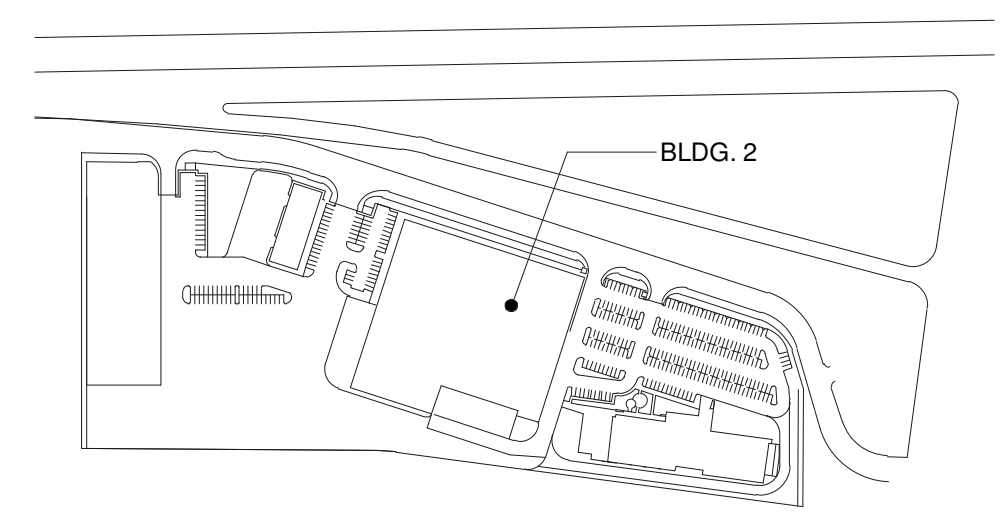
**NOTES**  
SEE SHEET A0.2 FOR GENERAL NOTES

1. ACCESSIBLE ENTRY SIGNAGE.
2. ACCESSIBLE PARKING STALL WITH SIGNAGE.
3. PAINTED PARKING STRIPING PER CITY STANDARDS. 2'-0" PARKING OVERHANG.
4. LANDSCAPE AND IRRIGATION AREA.
5. ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
6. WROUGHT IRON FENCING. SEE DETAIL 13/A6.2.
7. WROUGHT IRON GATE. SEE DETAIL 10/A6.2.
8. VEHICLE GATE. SEE DETAIL 6/A6.2.
9. CONCRETE RAMP.
10. GALVANIZED RAILING.
11. CONCRETE PAVEMENT.
12. EASEMENT LINE.
13. RECESSED OR SURFACE MOUNTED KNOX-BOX, INSTALL AT 5'-0" ABOVE FINISH FLOOR.
14. TRASH ENCLOSURE. SEE DETAIL 9/A6.1.
15. BIKE RACK.

**SITE LEGEND**

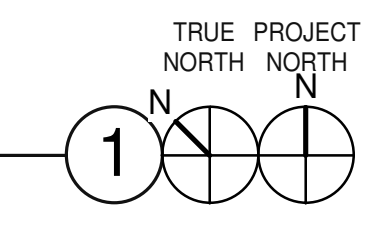
- PROPERTY LINE, SEE CIVIL DRAWINGS
- - - ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE
- POLE MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- ▨ FIRE LANE (HATCHED)
- ⊗ PARKING STALL COUNT TOTAL
- ▲ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- ⊙ FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- ⊥ P.I.V. WITH TAMPER, SEE FIRE PROTECTION DRAWINGS

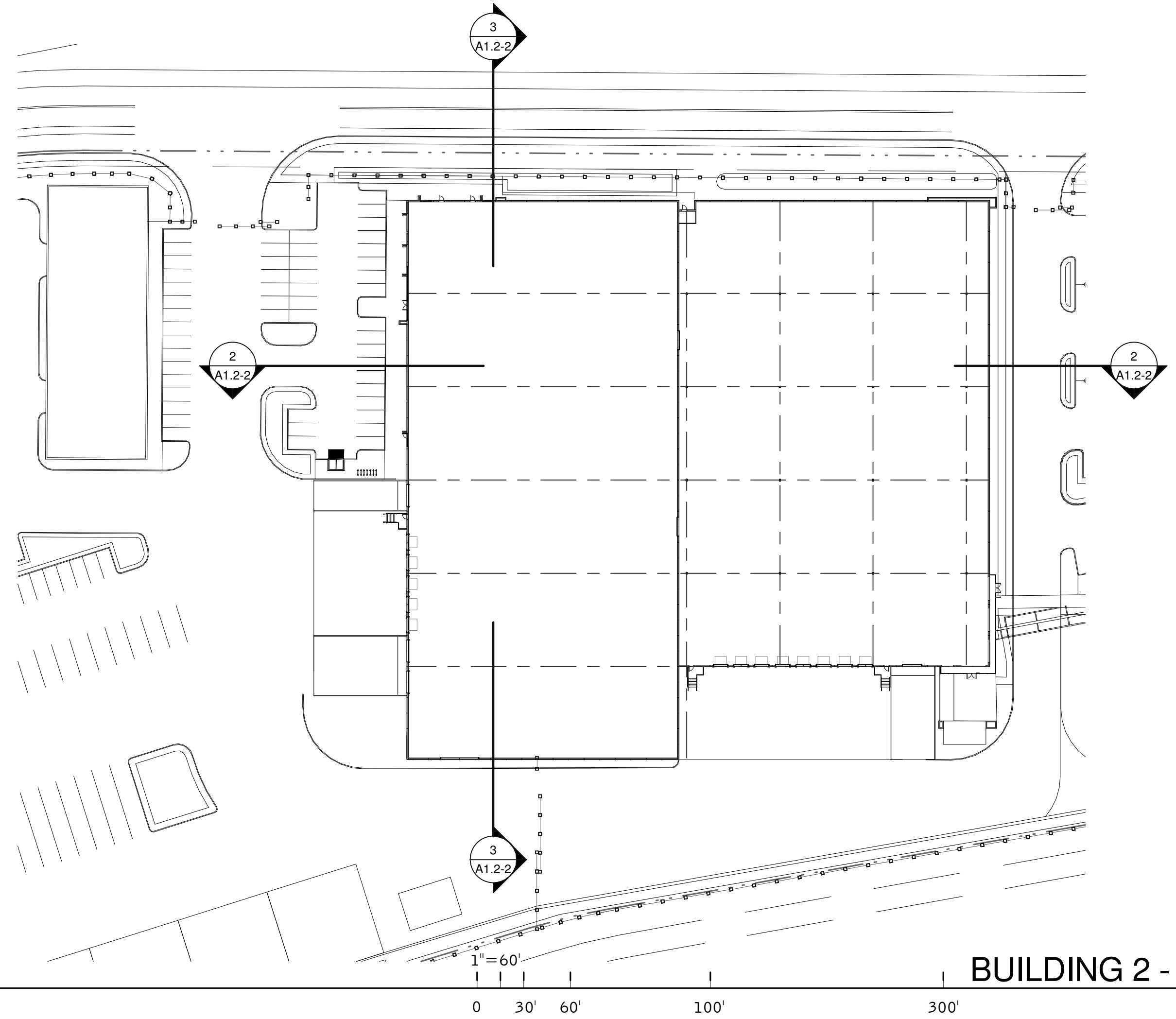
**KEY PLAN**



**BUILDING 2 - ENLARGED SITE PLAN**

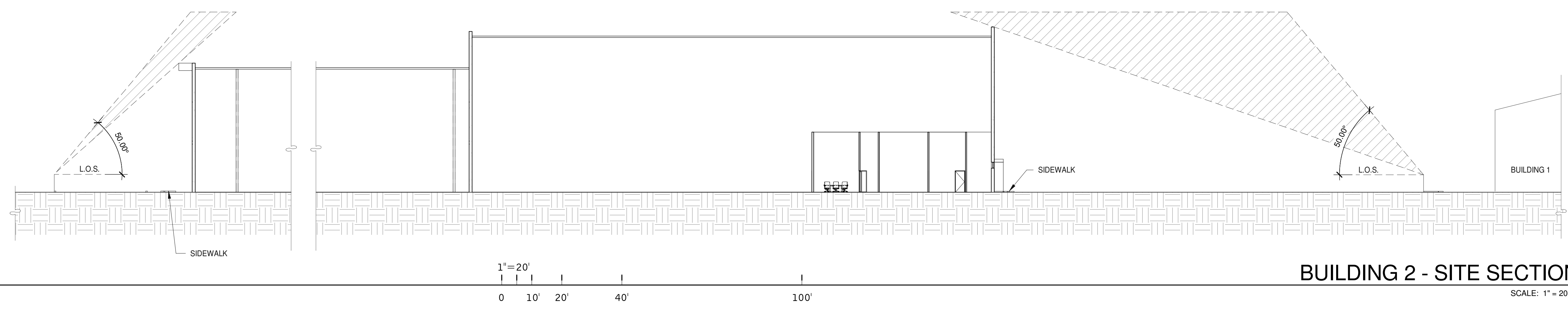
SCALE: 1" = 30'-0"





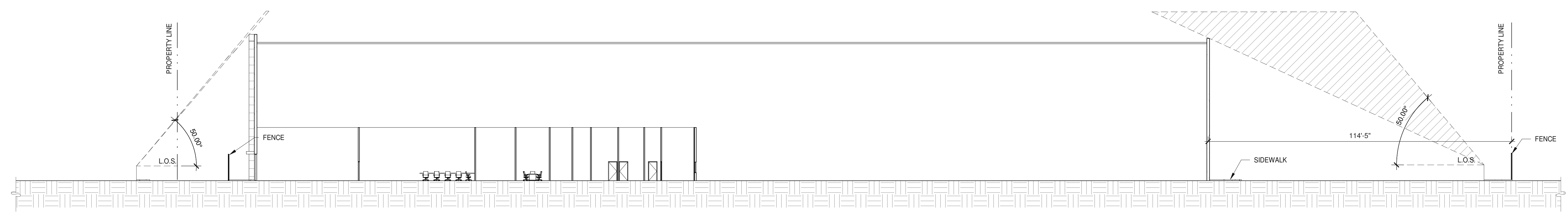
**BUILDING 2 - KEY PLAN - SITE SECTION**

1



**BUILDING 2 - SITE SECTION**

2



**BUILDING 2 - SITE SECTION**

3

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BUILDING 2 - SITE SECTIONS	
DATE	REMARKS
04/03/2019	PLANNING SUBMITTAL
1	

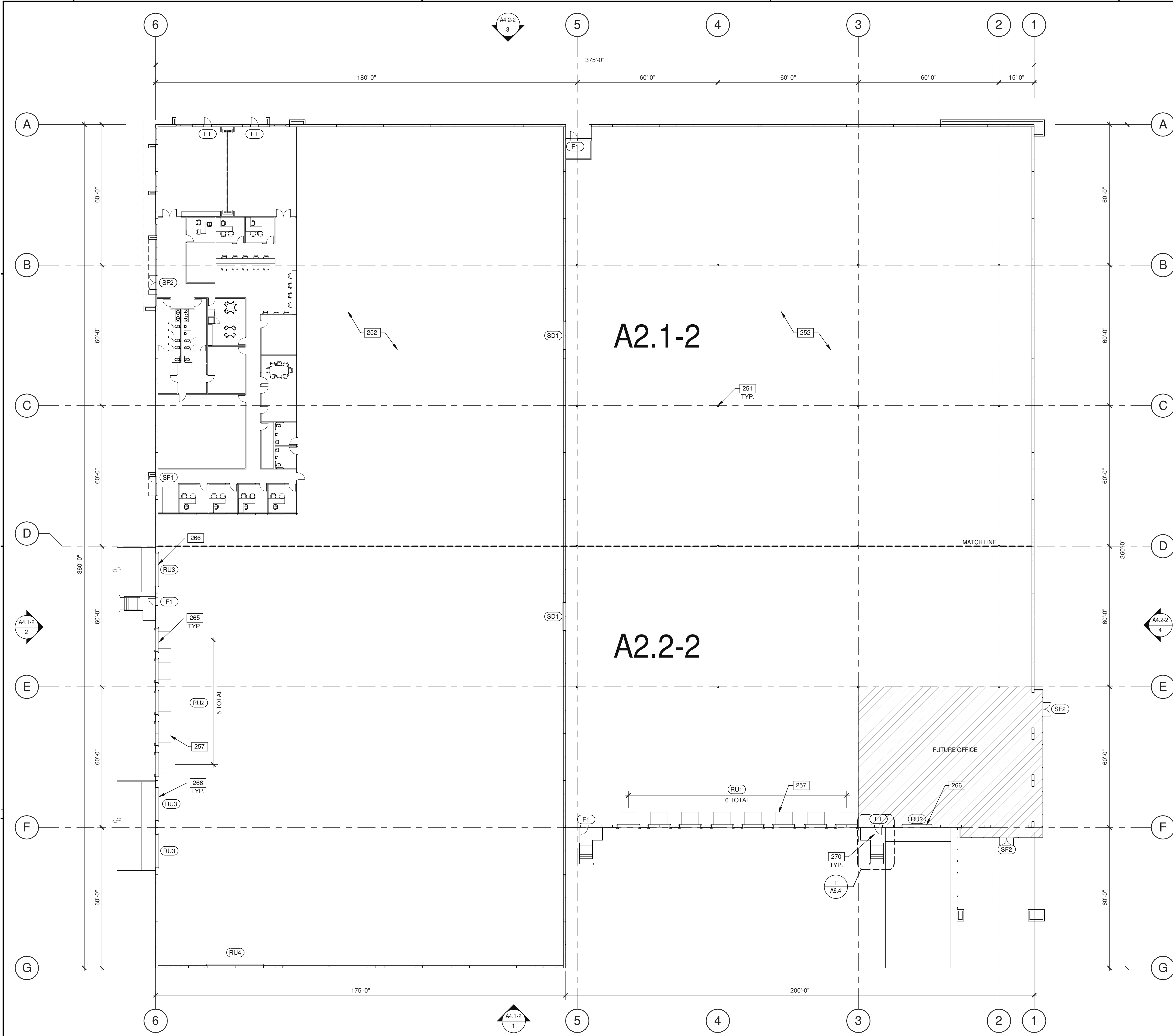
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**A1.2-2**

4/2/2019 12:34:48 PM

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**NOTES**

- 251 STRUCTURAL STEEL COLUMN.
- 252 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 257 6'X8' HYDRAULIC DOCK LEVELER.
- 265 SECTIONAL DOOR (DOCK HIGH), SEE ELEVATIONS.
- 266 SECTIONAL DOOR (ON GRADE), SEE ELEVATIONS.
- 270 EXTERIOR STAIRS WITH REFUGE AREA.

**DOOR TYPES**

**(SF1)** 3'-0" x 8'-0" CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)

**(SF2)** 6'-0" x 8'-0" (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)

FRAME: MANUFACTURER

HARDWARE:  
 2 SETS PIVOT SET  
 2 SETS INTER PIVOT  
 1 EA MORRISE CYLINDER  
 2 SETS OFFSET PULL  
 2 EA OH CLOSER  
 1 EA THRESHOLD  
 1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

**(F1)** 3'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR

**(F2)** 6'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR

FRAME: PAINTED HOLLOW METAL

HARDWARE:  
 3 EA HINGES  
 1 EA EXIT DEVICE  
 1 EA CYLINDER  
 1 EA CLOSER  
 1 EA PERIMETER SEAL  
 1 EA BOTTOM DRIP  
 1 EA THRESHOLD  
 1 EA LOCK GUARD  
 1 EA HVY DUTY FLOOR STOP

**(RU1)** 9'-0" x 10'-0" ROLL UP DOOR W/ FACTORY PAINTED FINISH

**(RU2)** 10'-0" x 16'-0" ROLL UP DOOR W/ FACTORY PAINTED FINISH

**(RU3)** 14'-0" x 16'-0" ROLL UP DOOR W/ FACTORY PAINTED FINISH

**(RU4)** 24'-0" x 18'-0" ROLL UP DOOR W/ FACTORY PAINTED FINISH

HARDWARE:  
 1 EA SLIDE BOLT  
 1 EA PAD LOCK

**(SD1)** 12'-0" x 14'-0" SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH

**DOOR NOTES**

- BUTT HINGES:**  
 SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.  
 ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.  
**VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL**
- CLOSING DEVICES:** NORTON 8500 BF SERIES OR APPROVED EQUAL
- STOPS:** TRIMCO W1200 SERIES DOOR STOP
- SLIDE BOLT AND PAD LOCK:** INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD

**WALL LEGEND**

- CONCRETE WALL
- EXTERIOR METAL FRAMED WALL WITH (PLASTER/ALUMINUM) FINISH

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**BUILDING 2 - OVERALL FLOOR PLAN**

DATE	REMARKS
04/03/2019	PLANNING SUBMITTAL

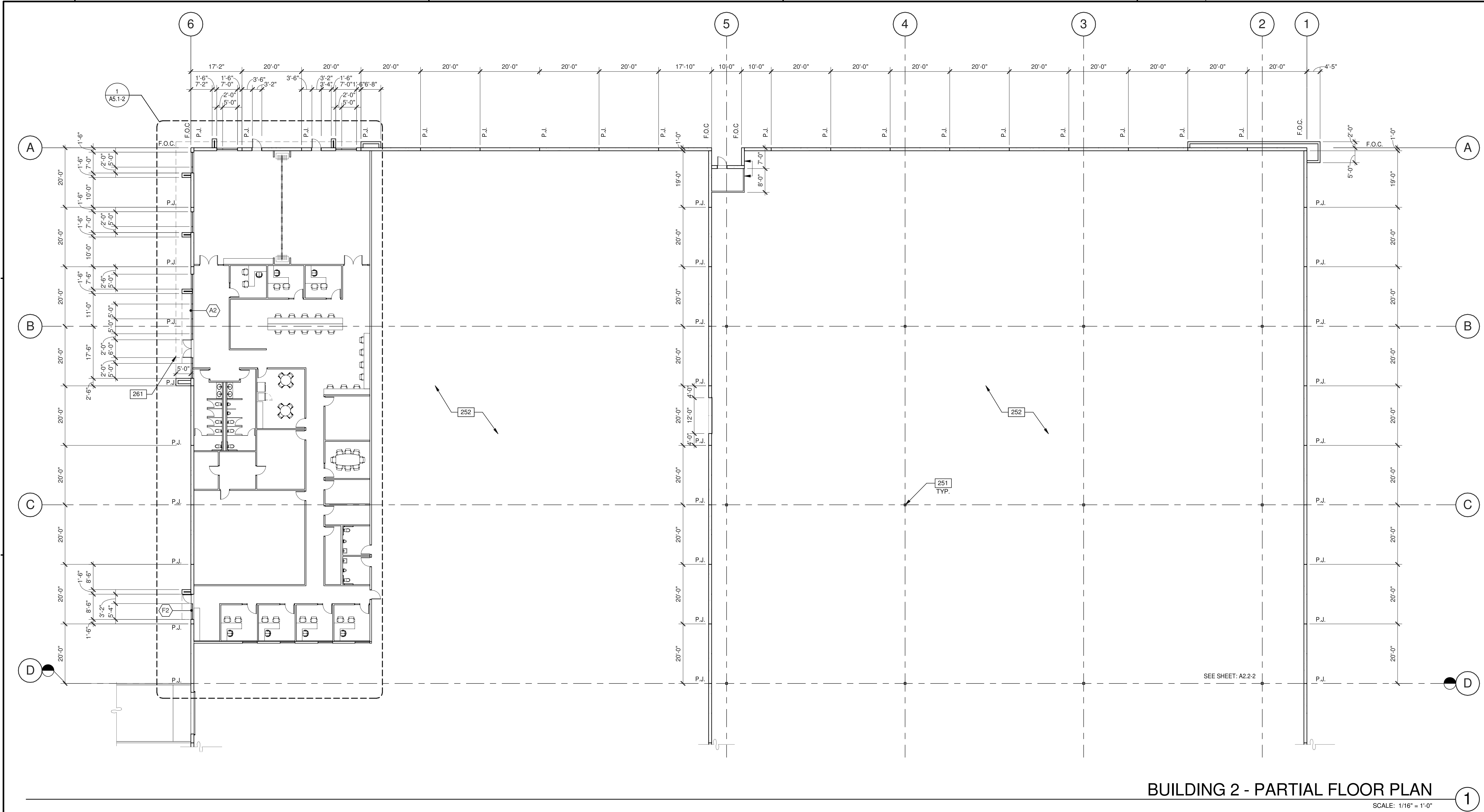
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JOB NO.:	SNR17-0069-00

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**A2.0-2**

BUILDING 2 - PARTIAL FLOOR PLAN	
DATE	REMARKS
04/03/2019 <td>PLANNING SUBMITTAL</td>	PLANNING SUBMITTAL
1	

PA/PM:	J. BABINE
DRAWN BY.:	E.S.
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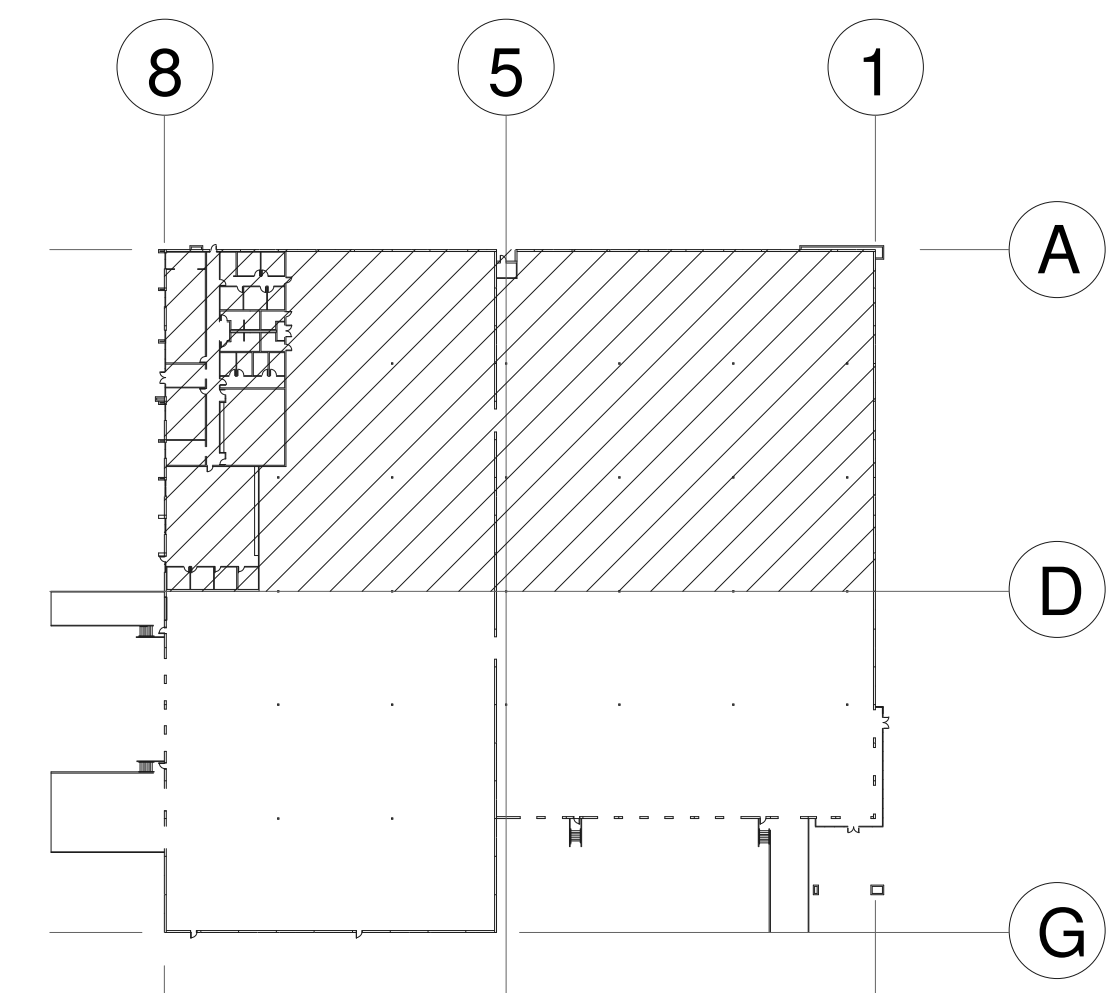
**BUILDING 2 - PARTIAL FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

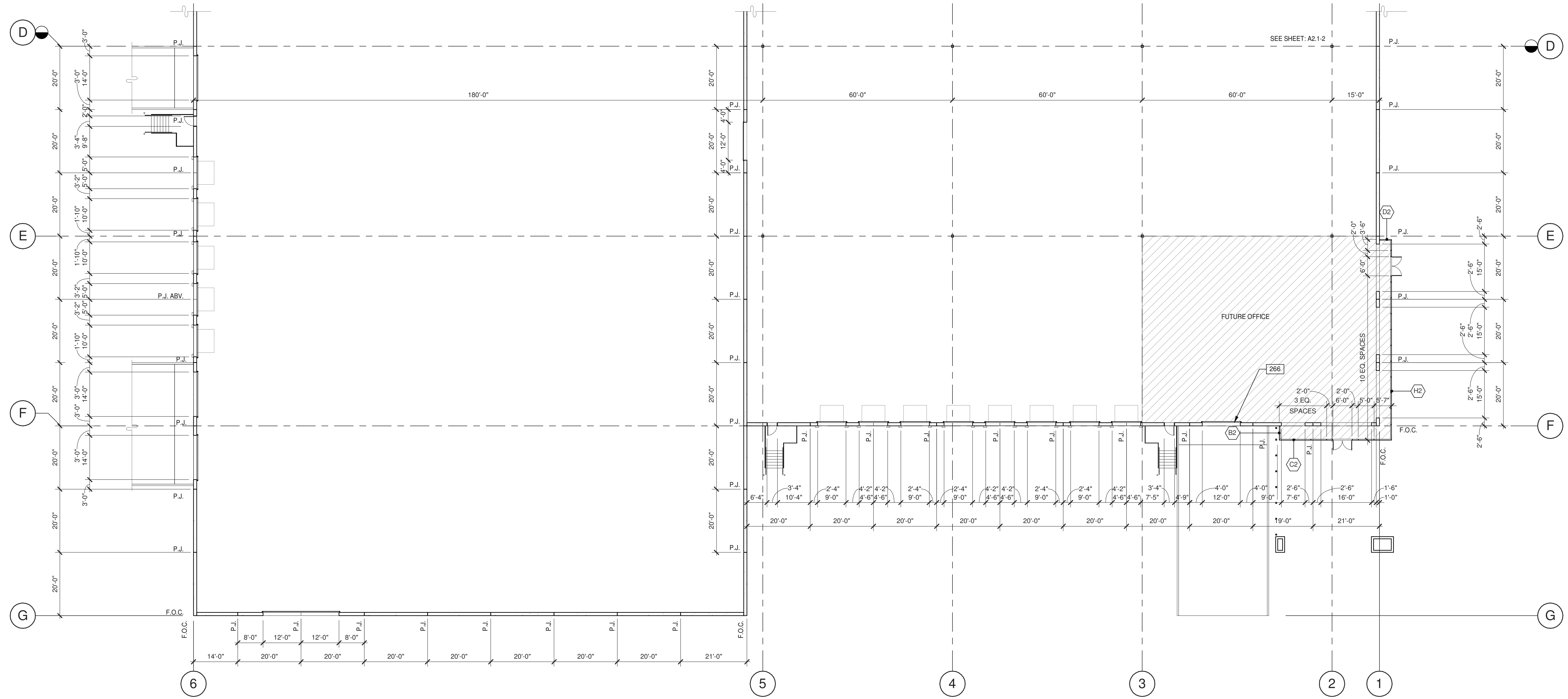
**NOTES**

- 251 STRUCTURAL STEEL COLUMN.
- 252 CONCRETE SLAB: PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 261 OUTLINE OF CANOPY ABOVE.

**WALL LEGEND**

- CONCRETE WALL
- EXTERIOR METAL FRAMED WALL WITH (PLASTER/ALUMINUM) FINISH





**BUILDING 2 - PARTIAL FLOOR PLAN**

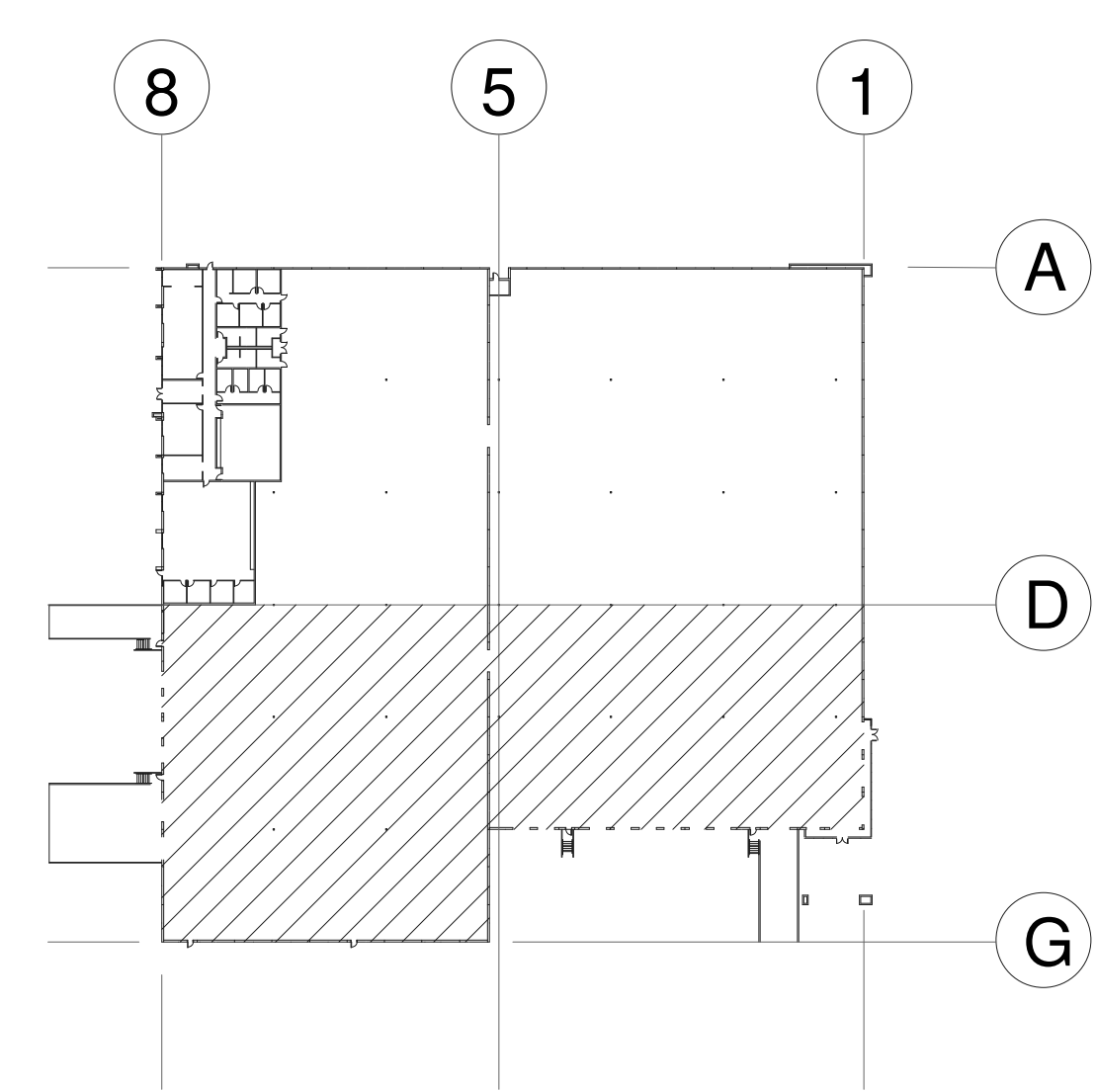
SCALE: 1/16" = 1'-0"

**NOTES**

- 266 SECTIONAL DOOR (ON GRADE), SEE ELEVATIONS.

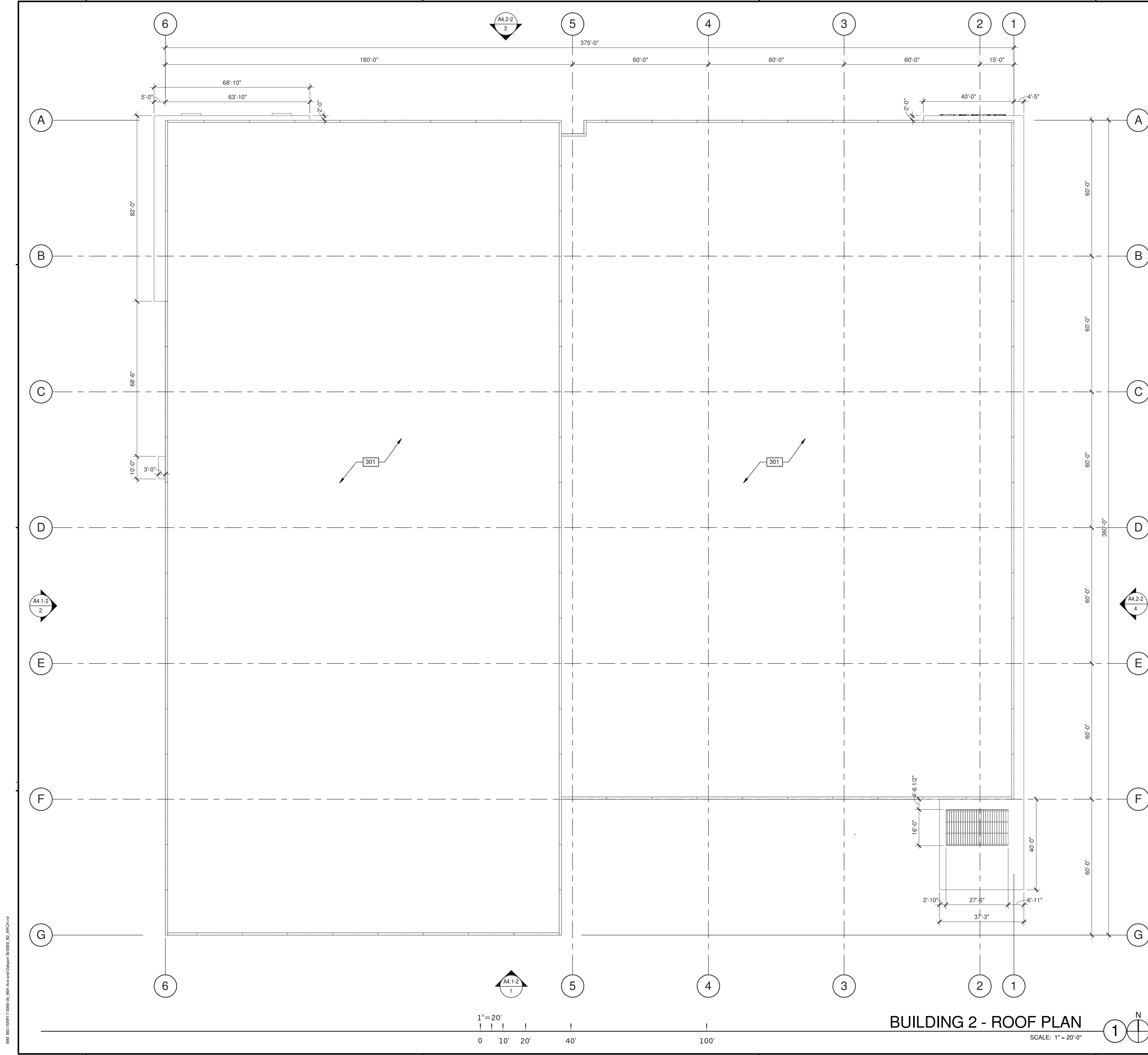
**WALL LEGEND**

- CONCRETE WALL
- EXTERIOR METAL FRAMED WALL WITH (PLASTER/ALUMINUM) FINISH



BUILDING 2 - PARTIAL FLOOR PLAN	
DATE	REMARKS
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**NOTES**

301 SINGLE-PLY ROOFING OVER RIGID INSULATION OVER METAL DECK.

**ABBREVIATIONS**

T.O.P. = TOP OF PARAPET  
 H.P. = TOP OF ROOFING - HIGH POINT  
 M.P. = TOP OF ROOFING - MID POINT  
 L.P. = TOP OF ROOFING - LOW POINT

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**BUILDING 2 - ROOF PLAN**

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**A3.1-2**

4/2/2019 12:35:02 PM

BM\300\SNR17-0069-00\_06th Ave and Oakport St\0069\_B2\_ARCH.rvt

BUILDING 2 - EXTERIOR ELEVATIONS	
DATE	REMARKS
04/03/2019	PLANNING SUBMITTAL
1	

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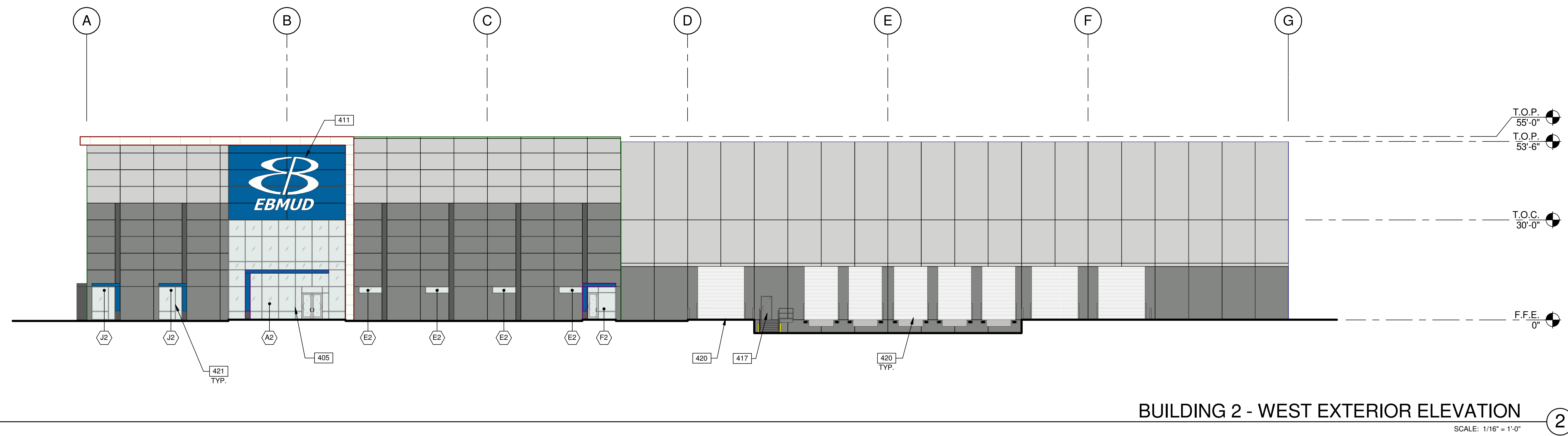
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**BUILDING 2 - SOUTH EXTERIOR ELEVATION**

SCALE: 1/16" = 1'-0"

1



**BUILDING 2 - WEST EXTERIOR ELEVATION**

SCALE: 1/16" = 1'-0"

2

**LEGEND**

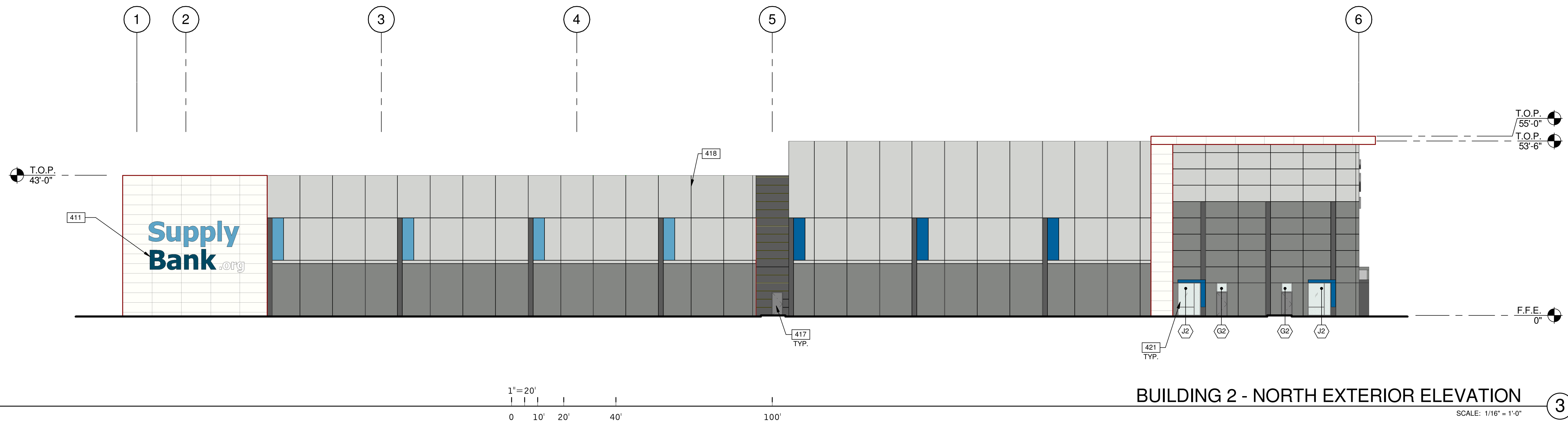
- MATERIALS:**
- WHITE PORCELAIN TILE RAIN SCREEN SYSTEM OVER CONCRETE WALL
  - EXTERIOR SMOOTH PLASTER FINISH WITH INTEGRAL COLOR OVER METAL STUD WALL
  - METAL CANOPY, PAINTED

- GLASS:**
- VISION GLASS
  - TEMPERED GLASS
  - SPANDREL GLASS
- ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
20 ULTRACLEAR LOW IRON FLOAT GLASS  
23 GUARDING CRYSTALBLUE FLOAT GLASS (1" INSULATED ON CLEAR/SPANDREL WHERE INDICATED)  
SUNGUARD SPANDREL HT - WARM GRAY  
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT
- MULLION FINISH:  
KAWNEER CLEAR NO. 14 AND NO. 17 (OR COMPARABLE)
- TRELLIS:  
LONGBOARD - WESTERN CEDAR

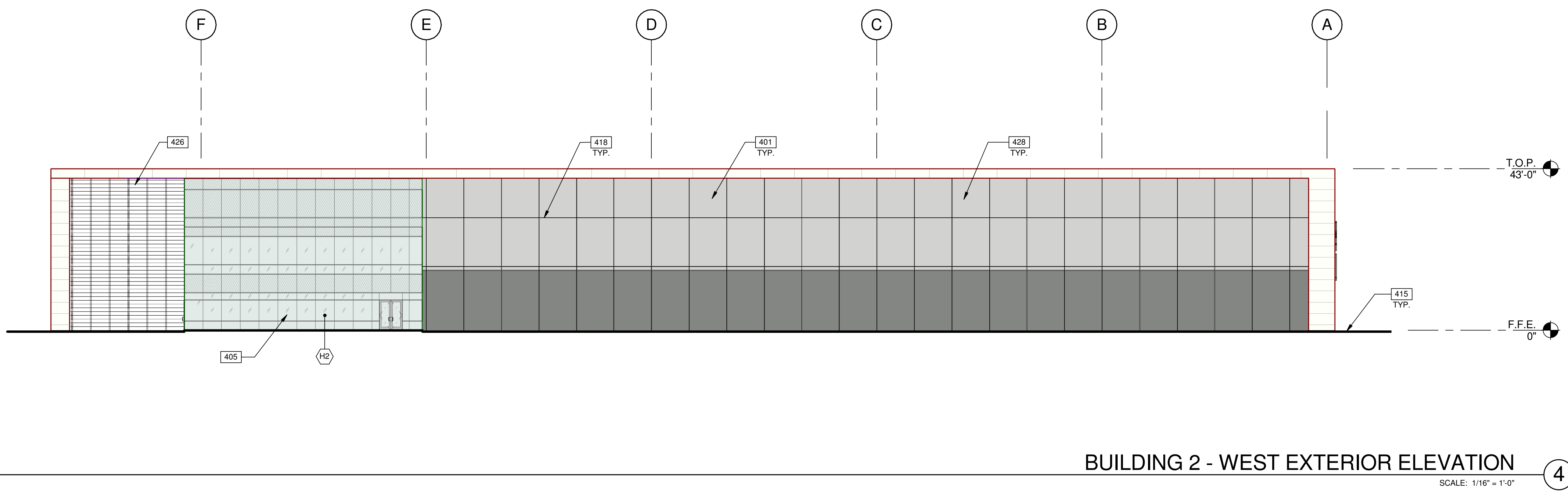
- COLORS:**  
PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- BASE COLOR: SHERWIN WILLIAMS SW 7064 - PASSIVE
  - SECONDARY COLOR: SHERWIN WILLIAMS SW 7067 - CITYSCAPE
  - ACCENT COLOR: SHERWIN WILLIAMS SW 7676 - PEPPERCORN
  - ACCENT COLOR: SHERWIN WILLIAMS SW 6965 - HYPER BLUE
  - ACCENT/SIGNAGE COLOR: SHERWIN WILLIAMS SW 6802 - JACARANDA
  - ACCENT/SIGNAGE COLOR: SHERWIN WILLIAMS SW 6510 - LOYAL BLUE

**NOTES**

- 401 CONCRETE WALL, PAINTED.
- 405 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
- 411 SIGNAGE, UNDER SEPARATE PERMIT.
- 412 DOCK BUMPER.
- 415 FINISH GRADE VARIES.
- 417 MAN DOOR.
- 418 3/4" V-REVEAL.
- 420 ROLL UP DOOR (GRADE LEVEL).
- 421 CLERESTORY WINDOW.



BUILDING 2 - NORTH EXTERIOR ELEVATION  
SCALE: 1/16" = 1'-0" 3



BUILDING 2 - WEST EXTERIOR ELEVATION  
SCALE: 1/16" = 1'-0" 4

**LEGEND**

**MATERIALS:**

	WHITE PORCELAIN TILE RAIN SCREEN SYSTEM OVER CONCRETE WALL
	EXTERIOR SMOOTH PLASTER FINISH WITH INTEGRAL COLOR OVER METAL STUD WALL
	METAL CANOPY, PAINTED

**GLASS:**

	VISION GLASS
	TEMPERED GLASS
	SPANDREL GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
 20 ULTRACLEAR LOW IRON FLOAT GLASS  
 23 GUARDING CRYSTALBLUE FLOAT GLASS (1" INSULATED ON CLEAR/SPANDREL WHERE INDICATED)  
 SUNGUARD SPANDREL HT - WARM GRAY  
 GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

MULLION FINISH:  
 KAWNEER CLEAR NO. 14 AND NO. 17 (OR COMPARABLE)

TRELLIS:  
 LONGBOARD - WESTERN CEDAR

**COLORS:**

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

	BASE COLOR: SHERWIN WILLIAMS SW 7064 - PASSIVE
	SECONDARY COLOR: SHERWIN WILLIAMS SW 7067 - CITYSCAPE
	ACCENT COLOR: SHERWIN WILLIAMS SW 7676 - PEPPERCORN
	ACCENT COLOR: SHERWIN WILLIAMS SW 6965 - HYPER BLUE
	ACCENT/SIGNAGE COLOR: SHERWIN WILLIAMS SW 6802 - JACARANDA
	ACCENT/SIGNAGE COLOR: SHERWIN WILLIAMS SW 6510 - LOYAL BLUE

**NOTES**

401	CONCRETE WALL, PAINTED.
405	ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
411	SIGNAGE, UNDER SEPARATE PERMIT.
415	FINISH GRADE VARIES.
417	MAN DOOR.
418	3/4" V-REVEAL.
421	CLERESTORY WINDOW.
426	TRELLIS.
428	PAINTED MURAL - BY OTHERS.

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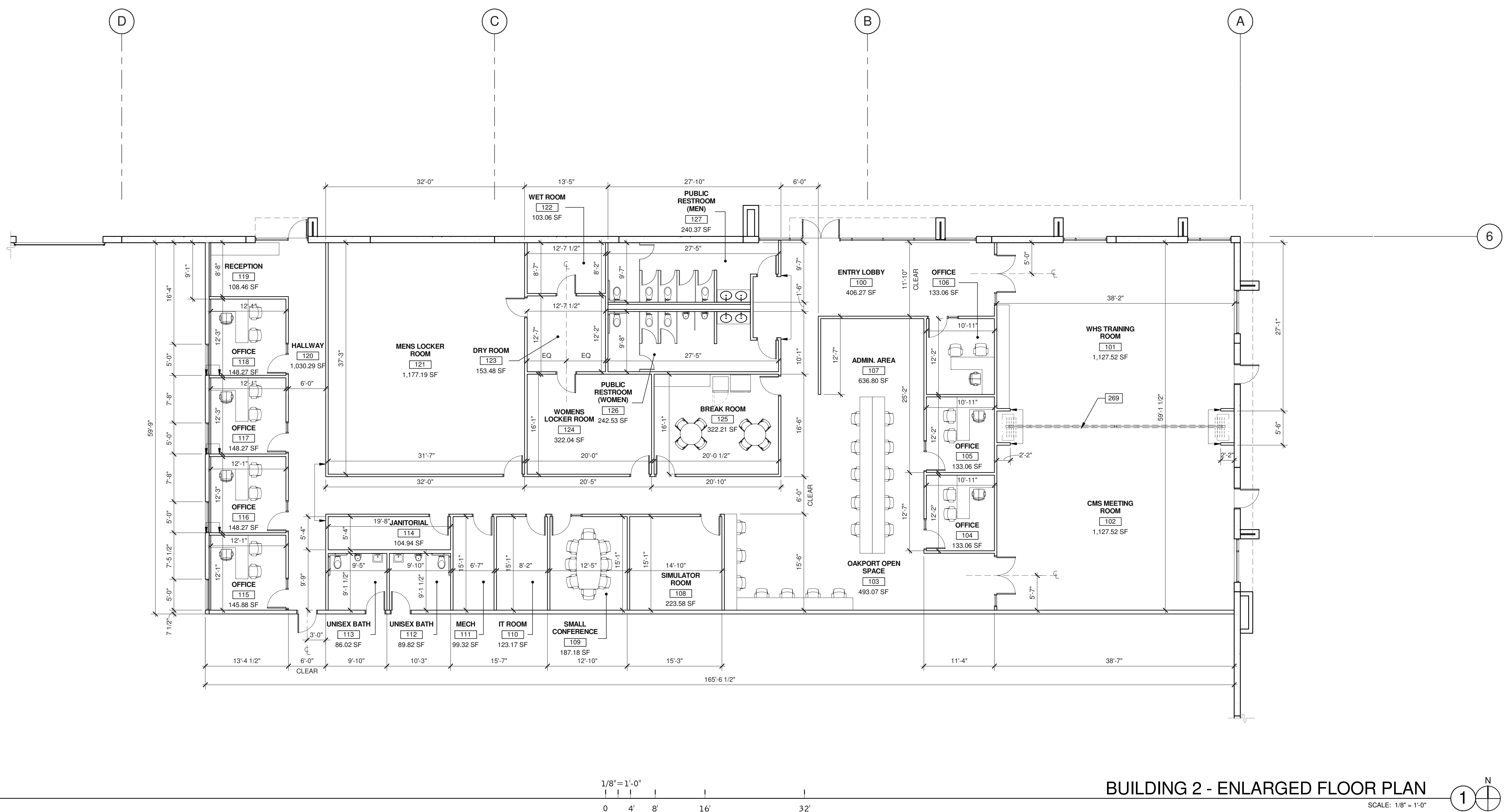
**BUILDING 2 - EXTERIOR ELEVATIONS**

DATE	REMARKS
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**A4.2-2**





**BUILDING 2 - ENLARGED FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**NOTES**

- 269 INTERIOR PARTITION.

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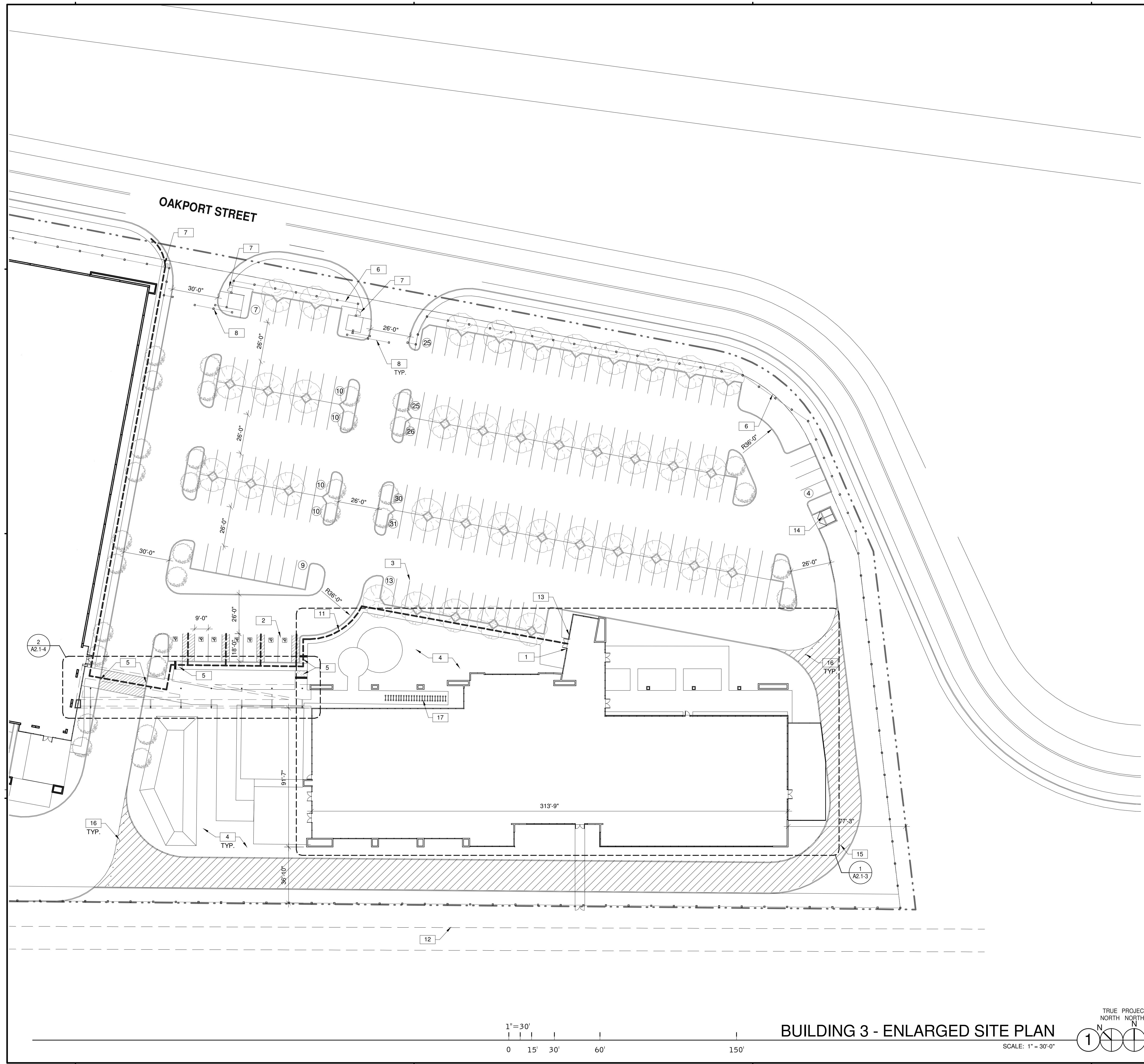
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BUILDING 2 - ENLARGED FLOOR PLAN	
DATE	REMARKS
04/03/2019	PLANNING SUBMITTAL
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**A5.1-2**



**NOTES**

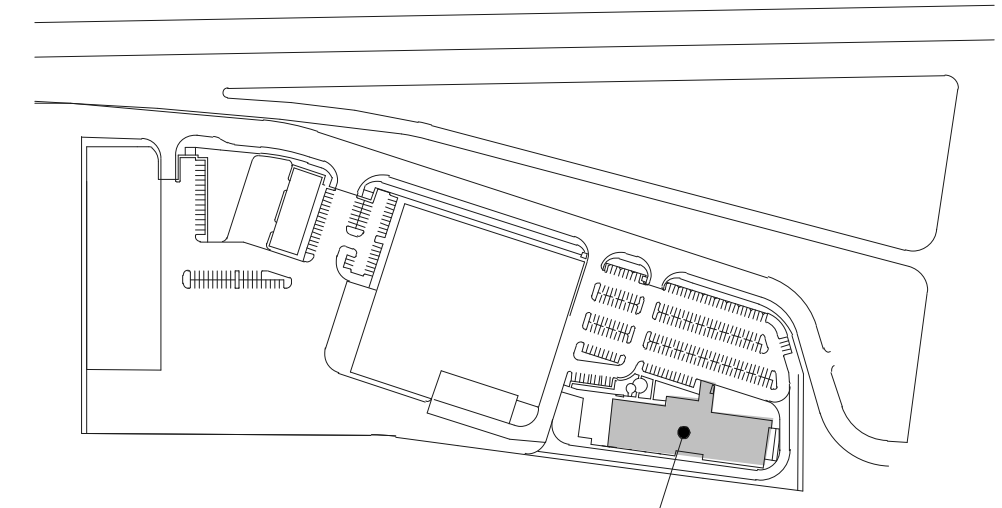
SEE SHEET A0.2 FOR GENERAL NOTES

1. ACCESSIBLE ENTRY SIGNAGE.
2. ACCESSIBLE PARKING STALL SIGNAGE.
3. PAINTED PARKING STRIPING PER CITY STANDARDS. 2'-0" PARKING OVERHANG.
4. LANDSCAPE AND IRRIGATION AREA. REFER TO LANDSCAPE PLANS.
5. ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
6. WROUGHT IRON FENCE.
7. WROUGHT IRON GATE.
8. WROUGHT IRON ROLLING GATE SEE DETAIL 6/A6.2.
9. CONCRETE RAMP.
10. GALVANIZED RAILING.
11. CONCRETE PAVEMENT.
12. EASEMENT LINE.
13. RECESSED OR SURFACE MOUNTED KINOX-BOX, INSTALL AT 5'-0" ABOVE FINISH FLOOR SEE DETAIL 13/A6.2.
14. TRASH ENCLOSURE SEE DETAIL 9/A6.1.
15. PERMEABLE PAVERS.
16. REMOVABLE/LOCKABLE BOLLARDS SEE DETAIL 14/A6.2.
17. BIKE RACK.

**SITE LEGEND**

- PROPERTY LINE, SEE CIVIL DRAWINGS.
- ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- POLE MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- FIRE LANE (HATCHED)
- PARKING STALL COUNT TOTAL
- FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- P.I.V. WITH TAMPER, SEE FIRE PROTECTION DRAWINGS

**KEY PLAN**



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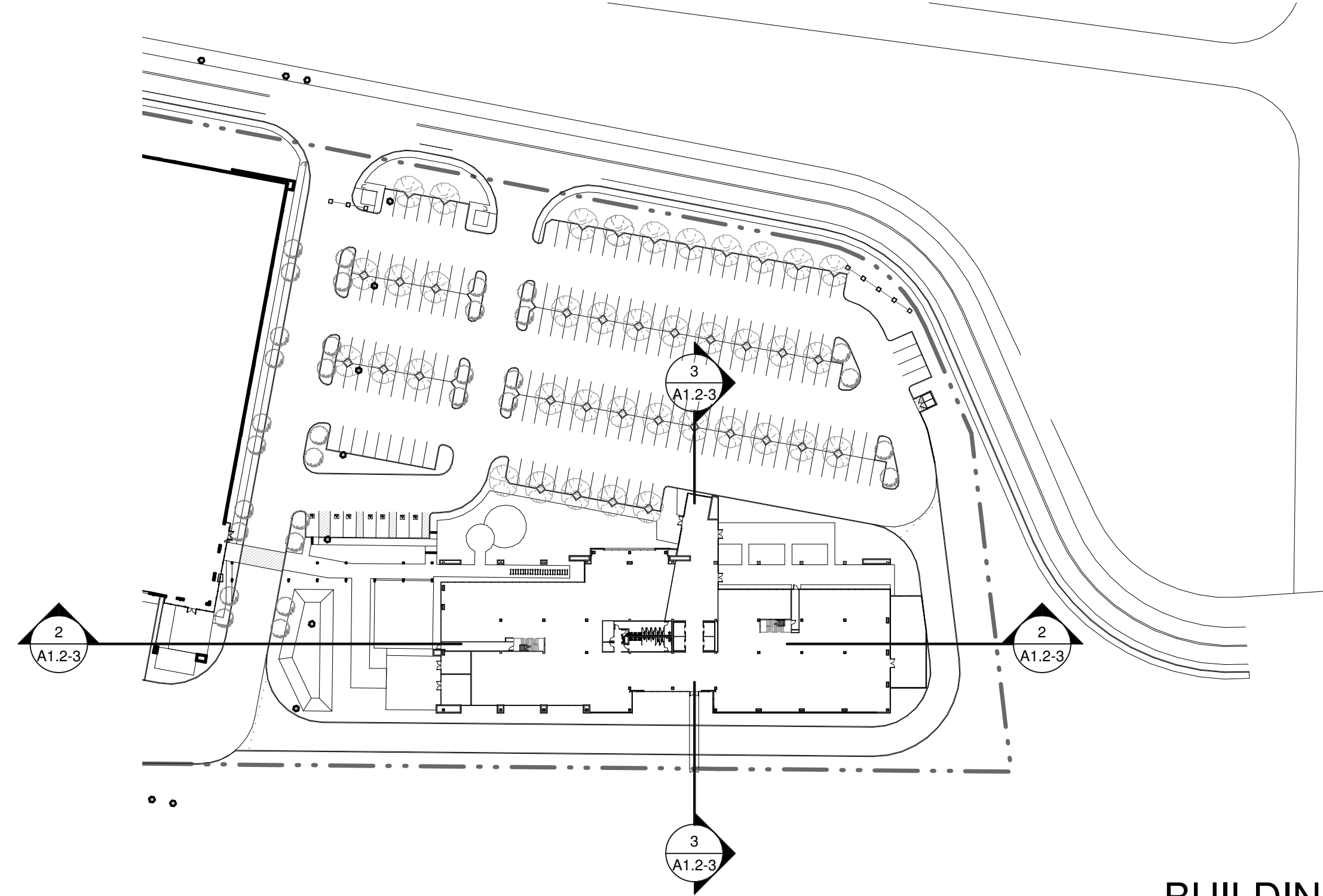
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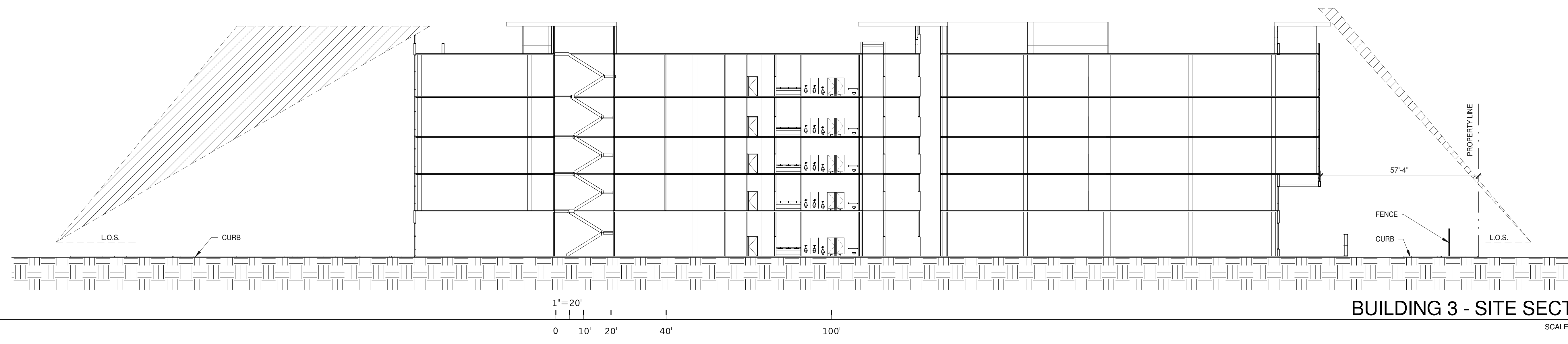
BUILDING 3 - ENLARGED SITE PLAN	
DATE	REMARKS
04/03/2019	PLANNING SUBMITTAL
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DRAWN BY.:	E.S.
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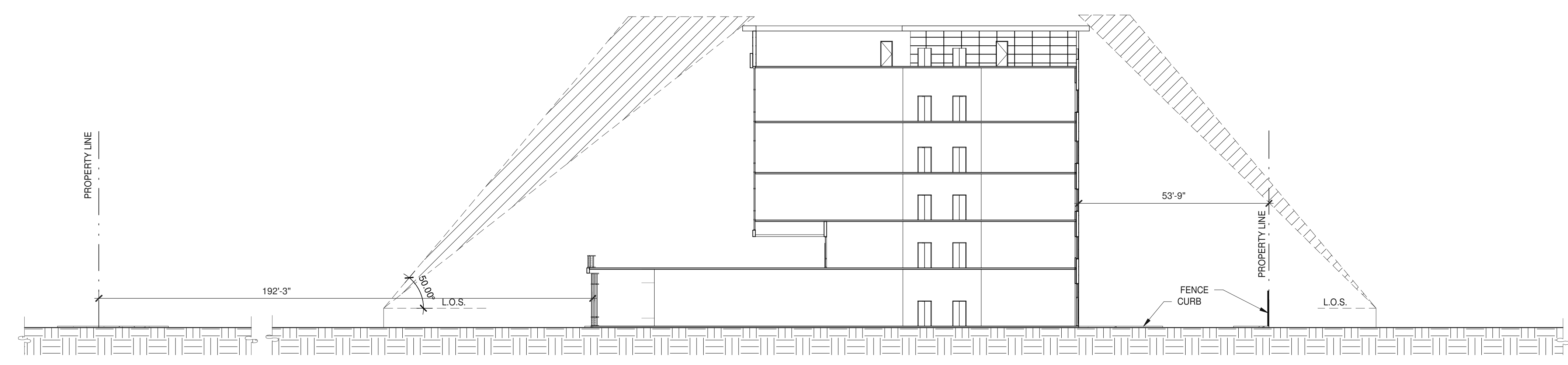
SHEET  
**A1.1-3**



**BUILDING 3 - KEY PLAN - SITE SECTION** ①  
SCALE: 1" = 80'-0"



**BUILDING 3 - SITE SECTION** ②  
SCALE: 1" = 20'-0"



**BUILDING 3 - SITE SECTION** ③  
SCALE: 1" = 20'-0"

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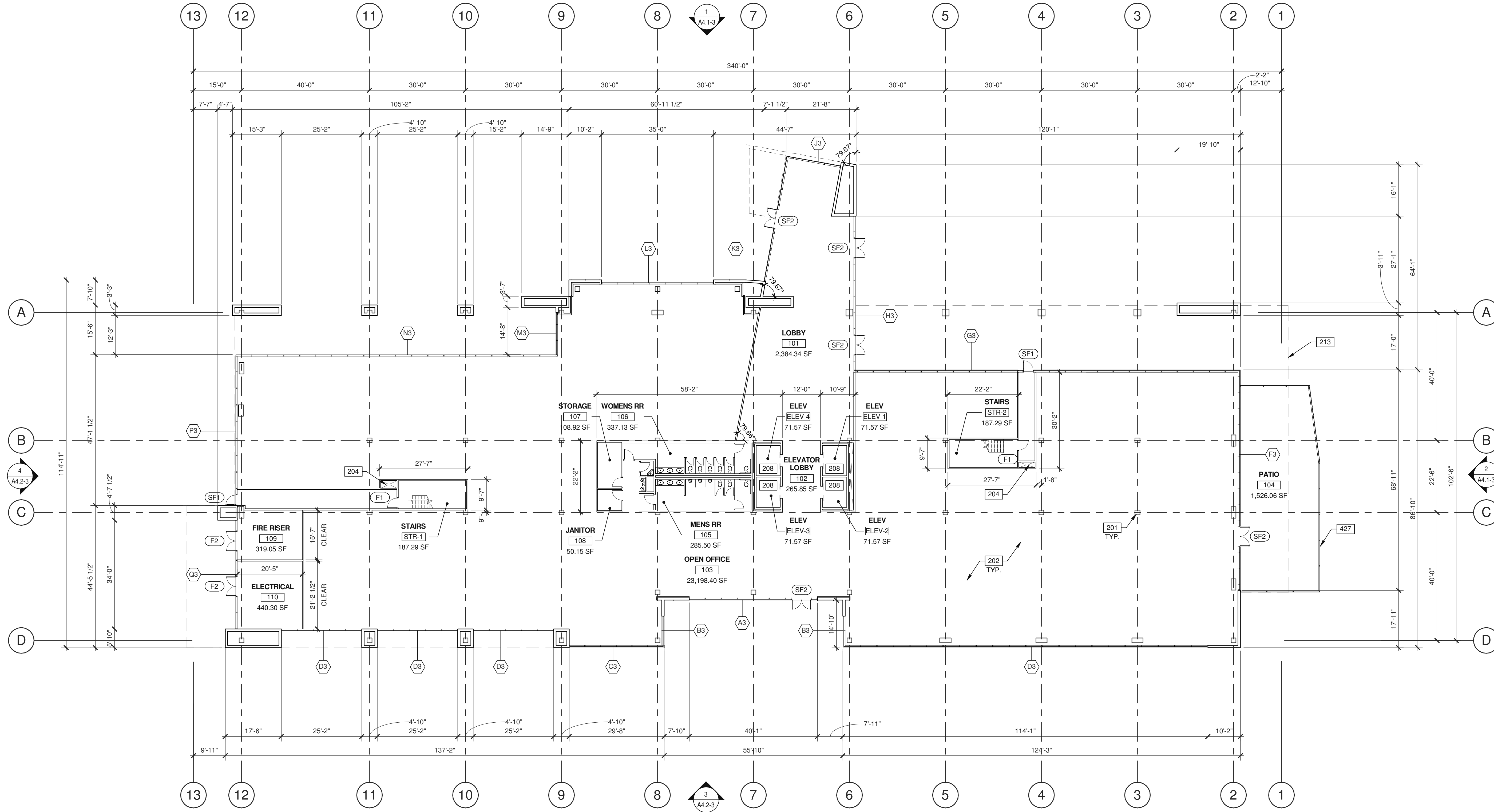
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BUILDING 3 - SITE SECTIONS	
DATE	REMARKS
04/03/2019	PLANNING SUBMITTAL
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JOB NO.:	SNR17-0069-00

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**A1.2-3**  
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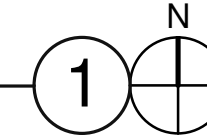
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1/16" = 1'-0"  
0 8 16' 32' 64'

**BUILDING 3 - FIRST FLOOR PLAN**

SCALE: 1/16" = 1'-0"



**WALL LEGEND**

	CONCRETE WALL
	CONCRETE WALL WITH FURRING
	CONCRETE MASONRY WALL
	EXTERIOR PLASTER FINISH OVER METAL STUD WALL
	EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL
	1HR FIRE-RESISTANCE RATED
	INTERIOR NON-RATED PARTITION

**DOOR TYPES**

(SF1)	3'-0" x 8'-0" CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)
(SF2)	6'-0" x 8'-0" (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)
(F1)	3'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR
(F2)	6'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR

FRAME: MANUFACTURER

**HARDWARE:**  
 2 SETS PIVOT SET  
 2 SETS INTER PIVOT  
 1 EA EXIT DEVICE  
 1 EA MORTISE CYLINDER  
 2 SETS OFFSET PULL  
 2 EA OH CLOSER  
 1 EA THRESHOLD  
 1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

**DOOR NOTES**

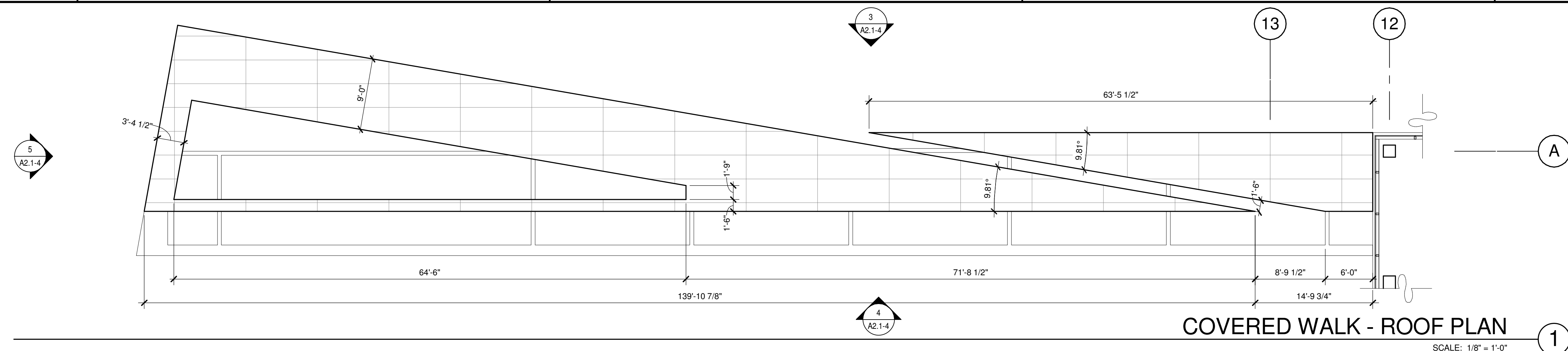
**BUTT HINGES:**  
 SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.  
 ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.

**VON DUPRIN 28 SERIES PANIC DEVICE OR APPROVED EQUAL**  
**CLOSING DEVICES:** NORTON 8500 BF SERIES OR APPROVED EQUAL  
**STOPS:** TRIMCO W1200 SERIES DOOR STOP  
**SLIDE BOLT AND PAD LOCK:** INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD

**NOTES**

201	STRUCTURAL COLUMN.
202	CONCRETE SLAB, PROVIDE VAPOR BARRIER OVER SAND PER SOILS REPORT.
204	MECHANICAL SHAFT.
208	3500 LB TRACTION.
213	OUTLINE OF FLOOR ABOVE.
427	DECORATIVE FENCE ENCLOSING PATIO.

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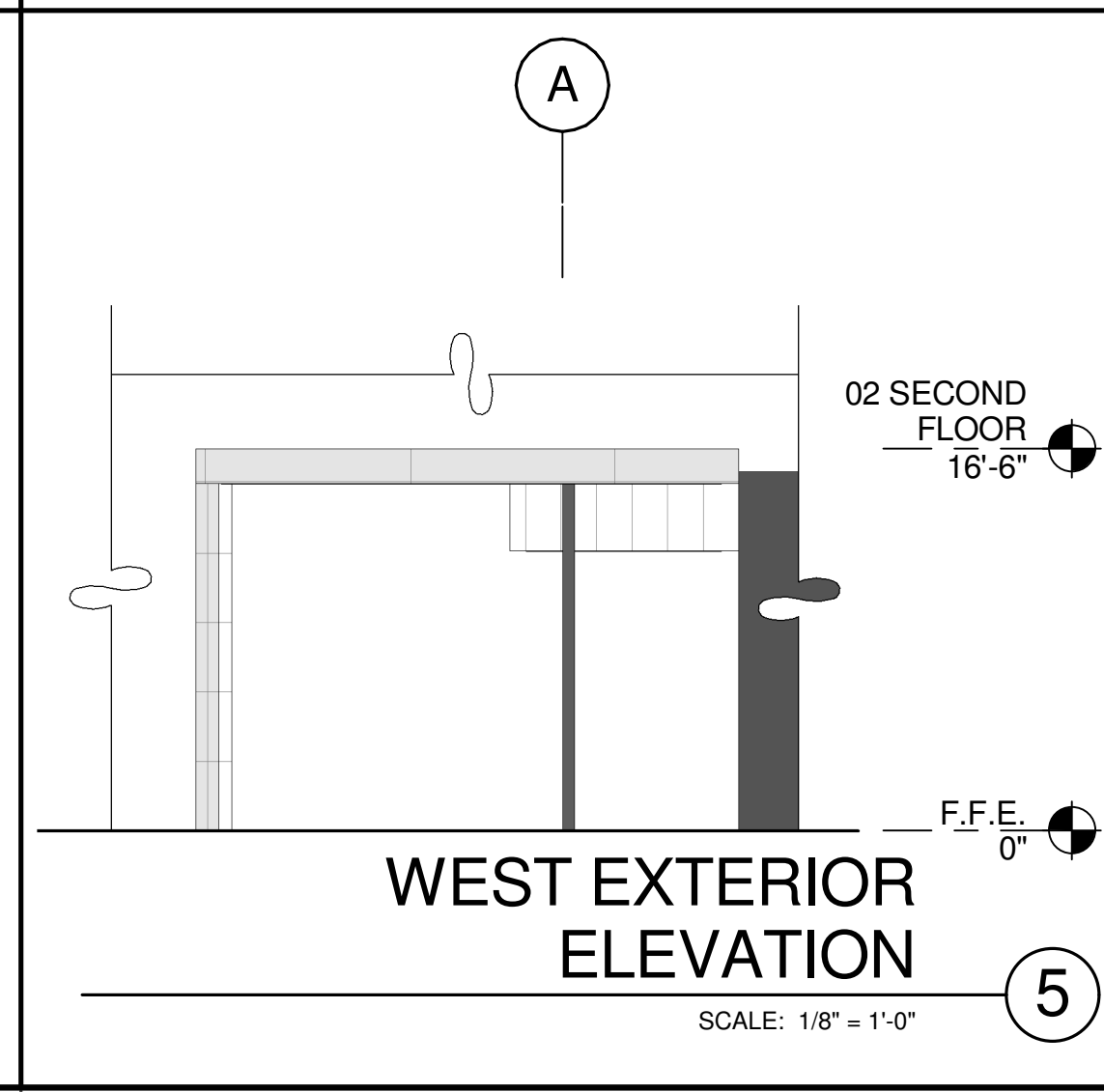
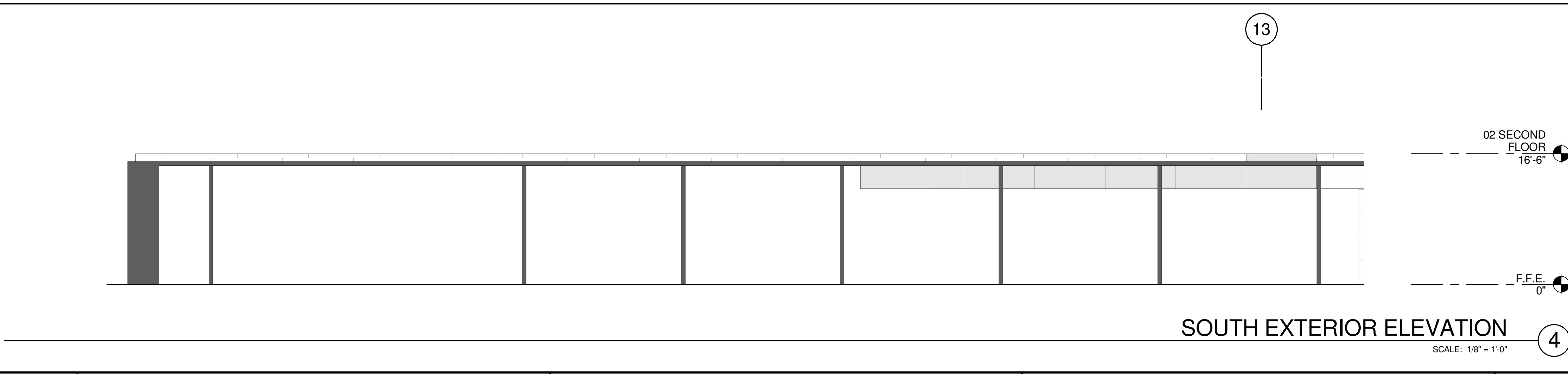
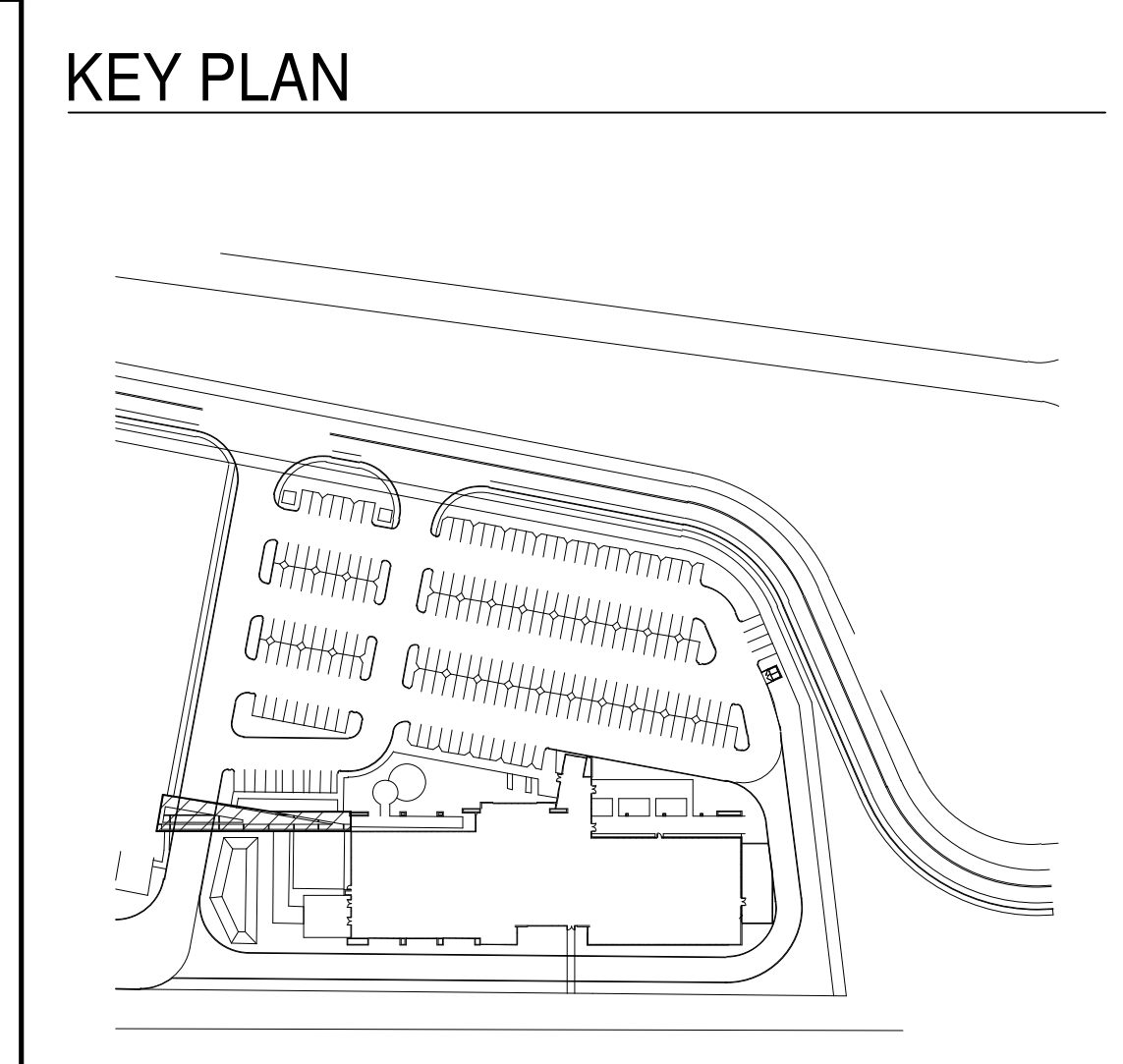
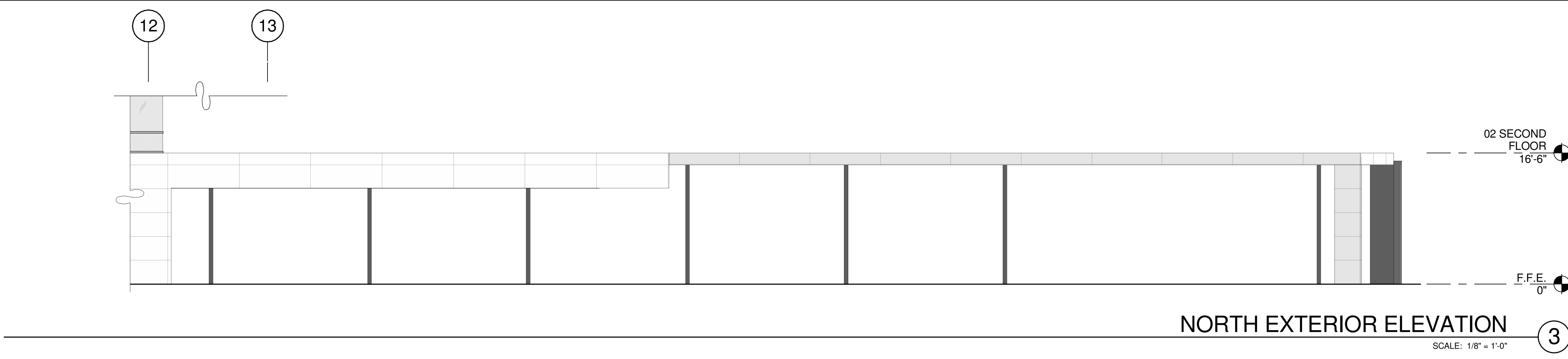
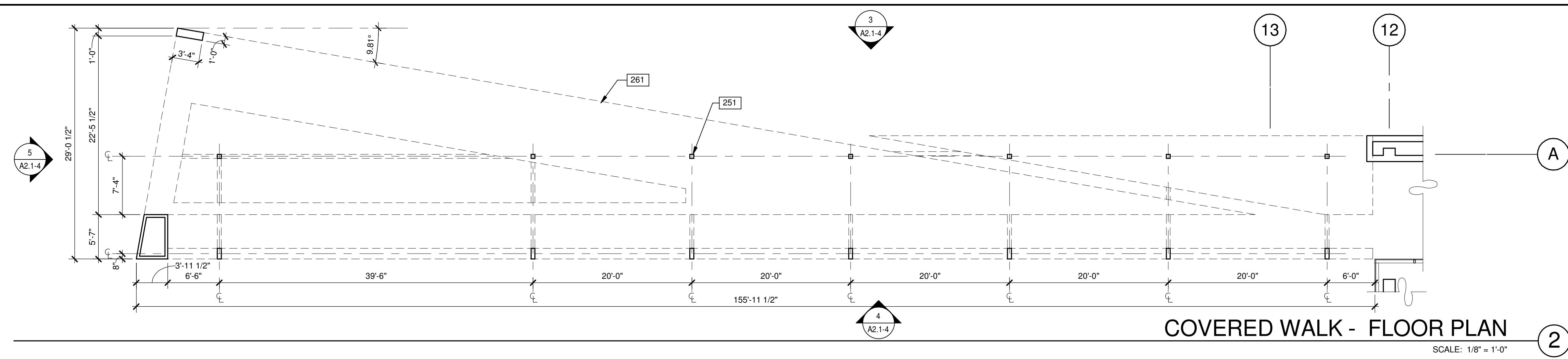
**LEGEND**

**MATERIALS:**

- WHITE PORCELAIN TILE RAIN SCREEN SYSTEM OVER CONCRETE WALL
- BASE COLOR: SHERWIN WILLIAMS SW 7674 PEPPERCORN

**NOTES**

251 STRUCTURAL STEEL COLUMN.



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**BUILDING 4 - FLOOR PLAN & EXT. ELEV.**

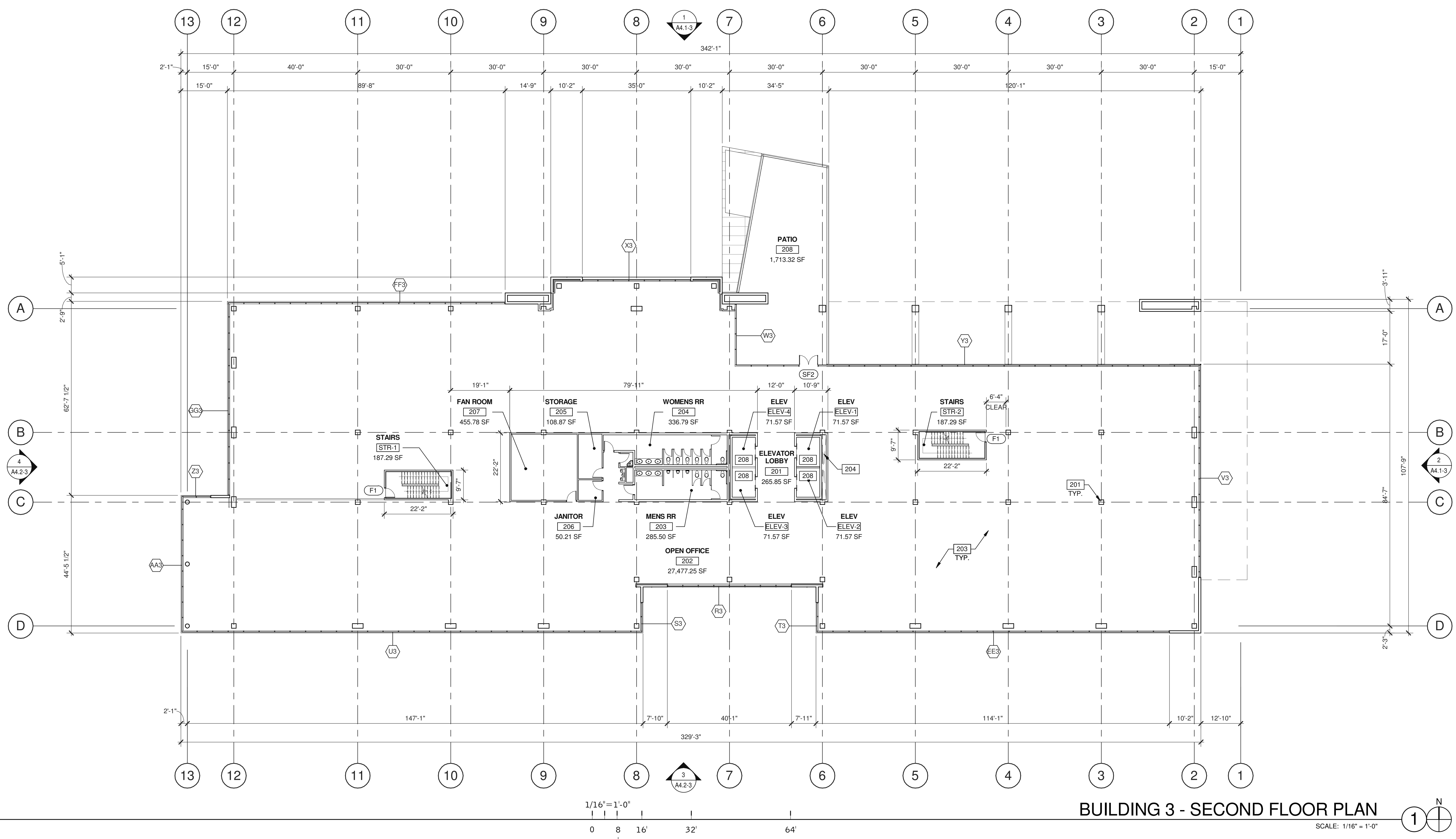
DATE	REMARKS
04/03/2019 <td>PLANNING SUBMITTAL</td>	PLANNING SUBMITTAL
1	

PA/PM:	J. BABINE
DRAWN BY.:	E.S.
JOB NO.:	SNR17-0069-00

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**A2.1-4**

BUILDING 3 - SECOND FLOOR PLAN	
DATE	REMARKS
04/03/2019	PLANNING SUBMITTAL
1	

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DRAWN BY:	E.S.
JOB NO.:	SNR17-0069-00



**WALL LEGEND**

	CONCRETE WALL
	CONCRETE WALL WITH FURRING
	CONCRETE MASONRY WALL
	EXTERIOR PLASTER FINISH OVER METAL STUD WALL
	EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL
	1HR FIRE-RESISTANCE RATED PARTITION
	INTERIOR NON-RATED PARTITION

**DOOR TYPES**

(SF1) 3'-0" x 8'-0" CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STYLE)	(F1) 3'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR
(SF2) 6'-0" x 8'-0" (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STYLE)	(F2) 6'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR
FRAME: PAINTED HOLLOW METAL	FRAME: PAINTED HOLLOW METAL
<b>HARDWARE:</b> 2 SETS PIVOT SET 2 SETS INTER PIVOT 1 EA EXIT DEVICE 1 EA MORTISE CYLINDER 2 SETS OFFSET PULL 2 EA OH CLOSER 1 EA THRESHOLD 1 EA DECAL	<b>HARDWARE:</b> 3 EA HINGES 1 EA EXIT DEVICE 1 EA CYLINDER 1 EA CLOSER 1 EA PERIMETER SEAL 1 EA BOTTOM DRIP 1 EA THRESHOLD 1 EA LOCK GUARD 1 EA HVY DUTY FLOOR STOP

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

**DOOR NOTES**

**BUTT HINGES:**  
SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.  
ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.

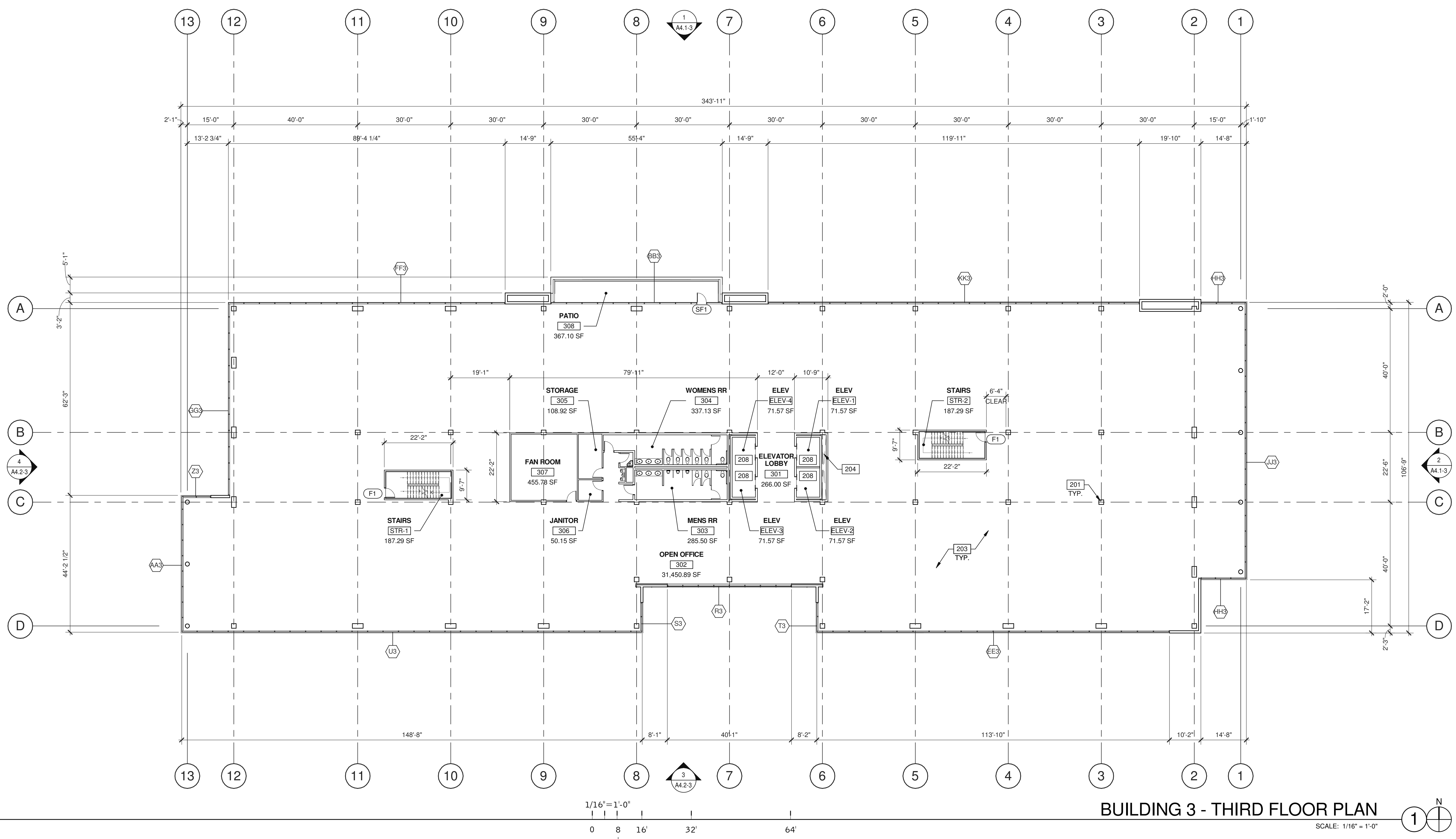
**VON DUPRIN 28 SERIES PANIC DEVICE OR APPROVED EQUAL**  
**CLOSING DEVICES:** NORTON 8500 BF SERIES OR APPROVED EQUAL  
**STOPS:** TRIMCO W1200 SERIES DOOR STOP  
**SLIDE BOLT AND PAD LOCK:** INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD

**NOTES**

201	STRUCTURAL COLUMN.
203	CONCRETE OVER METAL DECK FLOOR.
204	MECHANICAL SHAFT.
208	3500 LB TRACTION.

BUILDING 3 - THIRD FLOOR PLAN	
DATE	REMARKS
04/03/2019 <td>PLANNING SUBMITTAL</td>	PLANNING SUBMITTAL
1	

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DRAWN BY:	E.S.
JOB NO.:	SNR17-0069-00



**BUILDING 3 - THIRD FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

**WALL LEGEND**

	CONCRETE WALL
	CONCRETE WALL WITH FURRING
	CONCRETE MASONRY WALL
	EXTERIOR PLASTER FINISH OVER METAL STUD WALL
	EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL
	1HR FIRE-RESISTANCE RATED PARTITION
	INTERIOR NON-RATED PARTITION

**DOOR TYPES**

	3'-0" x 8'-0" CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)
	6'-0" x 8'-0" (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)
	3'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR
	6'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR

FRAME: PAINTED HOLLOW METAL

**HARDWARE:**

2 SETS PIVOT SET	3 EA HINGES
2 SETS INTER PIVOT	1 EA EXIT DEVICE
1 EA EXIT DEVICE	1 EA CYLINDER
1 EA MORTISE CYLINDER	1 EA CLOSER
2 SETS OFFSET PULL	1 EA PERIMETER SEAL
2 EA OH CLOSER	1 EA BOTTOM DRIP
1 EA THRESHOLD	1 EA THRESHOLD
1 EA DECAL	1 EA LOCK GUARD
	1 EA HVY DUTY FLOOR STOP

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

**DOOR NOTES**

**BUTT HINGES:**  
SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.  
ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.

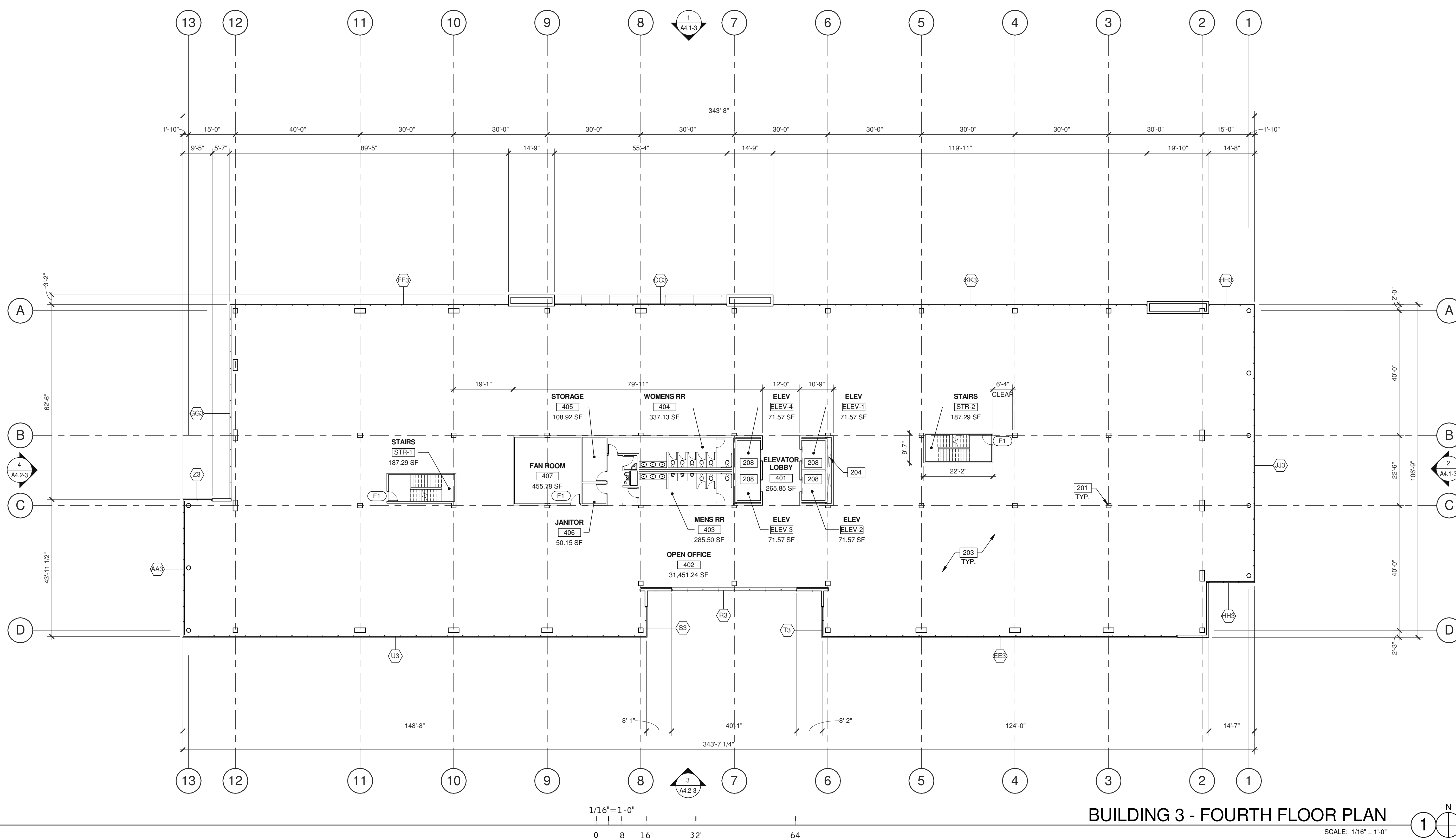
**VON DUPRIN 28 SERIES PANIC DEVICE OR APPROVED EQUAL CLOSING DEVICES:** NORTON 8500 BF SERIES OR APPROVED EQUAL.  
**STOPS:** TRIMCO W1200 SERIES DOOR STOP  
**SLIDE BOLT AND PAD LOCK:** INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD

**NOTES**

201	STRUCTURAL COLUMN.
203	CONCRETE OVER METAL DECK FLOOR.
204	MECHANICAL SHAFT.
208	3500 LB TRACTION.

BUILDING 3 - FOURTH FLOOR PLAN	
DATE	REMARKS
04/03/2019	PLANNING SUBMITTAL
1	

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DRAWN BY:	E.S.
JOB NO.:	SNR17-0069-00



**BUILDING 3 - FOURTH FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

**WALL LEGEND**

	CONCRETE WALL
	CONCRETE WALL WITH FURRING
	CONCRETE MASONRY WALL
	EXTERIOR PLASTER FINISH OVER METAL STUD WALL
	EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL
	1HR FIRE-RESISTANCE RATED PARTITION
	INTERIOR NON-RATED PARTITION

**DOOR TYPES**

(SF1) 3'-0" x 8'-0" CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)	(F1) 3'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR
(SF2) 6'-0" x 8'-0" (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)	(F2) 6'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR
FRAME: MANUFACTURER	FRAME: PAINTED HOLLOW METAL
<b>HARDWARE:</b> 2 SETS PIVOT SET 2 SETS INTER PIVOT 1 EA EXIT DEVICE 1 EA MORTISE CYLINDER 2 SETS OFFSET PULL 2 EA OH CLOSER 1 EA THRESHOLD 1 EA DECAL	<b>HARDWARE:</b> 3 EA HINGES 1 EA EXIT DEVICE 1 EA CYLINDER 1 EA CLOSER 1 EA PERIMETER SEAL 1 EA BOTTOM DRIP 1 EA THRESHOLD 1 EA LOCK GUARD 1 EA HVY DUTY FLOOR STOP

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

**DOOR NOTES**

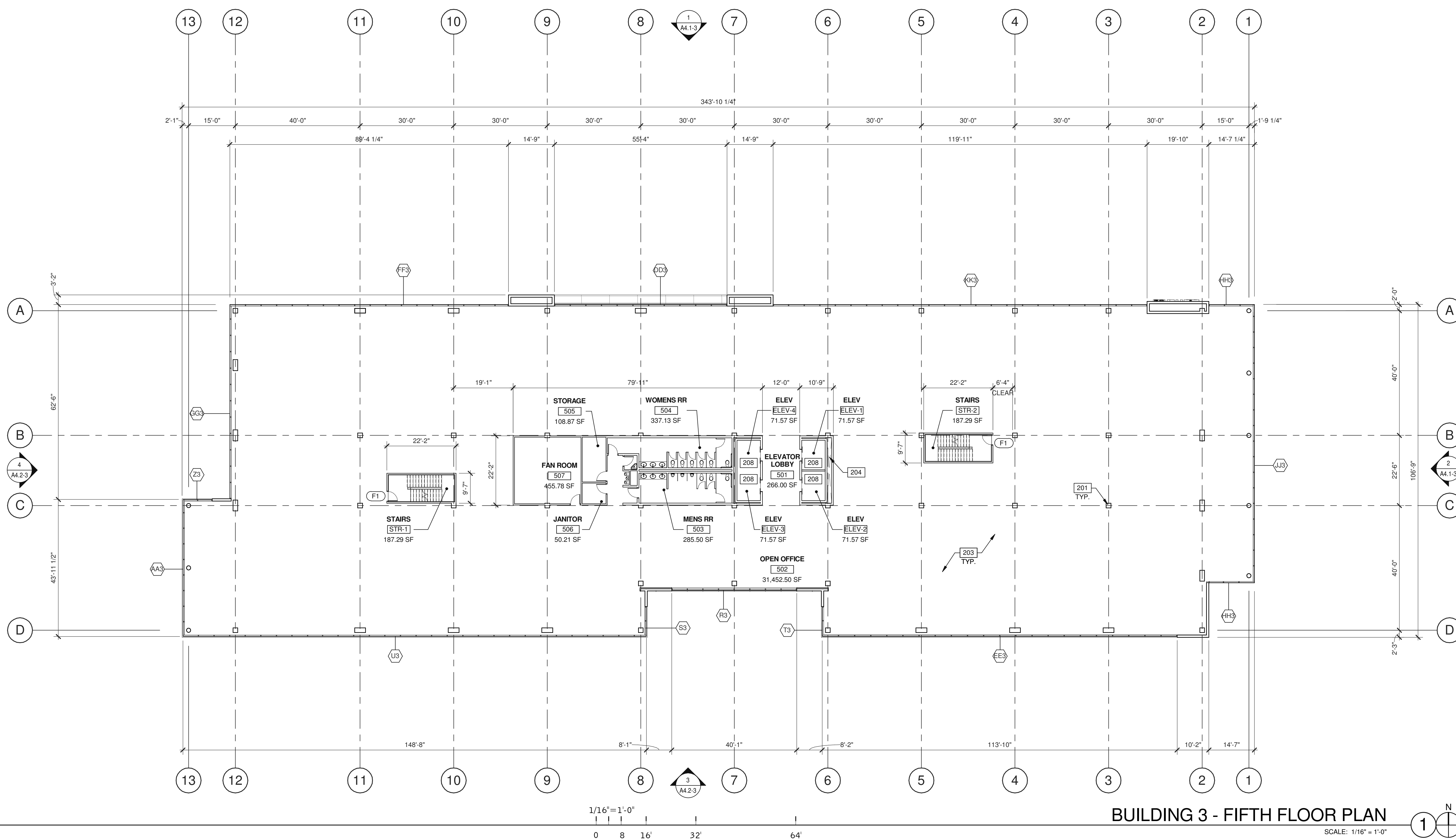
**BUTT HINGES:**  
SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.  
ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.

**VON DUPRIN 28 SERIES PANIC DEVICE OR APPROVED EQUAL**  
**CLOSING DEVICES:** NORTON 8500 BF SERIES OR APPROVED EQUAL  
**STOPS:** TRIMCO W1200 SERIES DOOR STOP  
**SLIDE BOLT AND PAD LOCK:** INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD



BUILDING 3 - FIFTH FLOOR PLAN	
DATE	REMARKS
04/03/2019 <td>PLANNING SUBMITTAL</td>	PLANNING SUBMITTAL
1	

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**BUILDING 3 - FIFTH FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

**WALL LEGEND**

	CONCRETE WALL
	CONCRETE WALL WITH FURRING
	CONCRETE MASONRY WALL
	EXTERIOR PLASTER FINISH OVER METAL STUD WALL
	EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL
	1HR FIRE-RESISTANCE RATED PARTITION
	INTERIOR NON-RATED PARTITION

**DOOR TYPES**

	(SF1) 3'-0" x 8'-0" CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STYLE)
	(SF2) 6'-0" x 8'-0" (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STYLE)
	(F1) 3'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR
	(F2) 6'-0" x 7'-0" PAINTED INSULATED HOLLOW METAL DOOR

FRAME: PAINTED HOLLOW METAL

**HARDWARE:**

2 SETS PIVOT SET	3 EA HINGES
2 SETS INTER PIVOT	1 EA EXIT DEVICE
1 EA EXIT DEVICE	1 EA CYLINDER
1 EA MORTISE CYLINDER	1 EA CLOSER
2 SETS OFFSET PULL	1 EA PERIMETER SEAL
2 EA OH CLOSER	1 EA BOTTOM DRIP
1 EA THRESHOLD	1 EA THRESHOLD
1 EA DECAL	1 EA LOCK GUARD
	1 EA HVY DUTY FLOOR STOP

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

**DOOR NOTES**

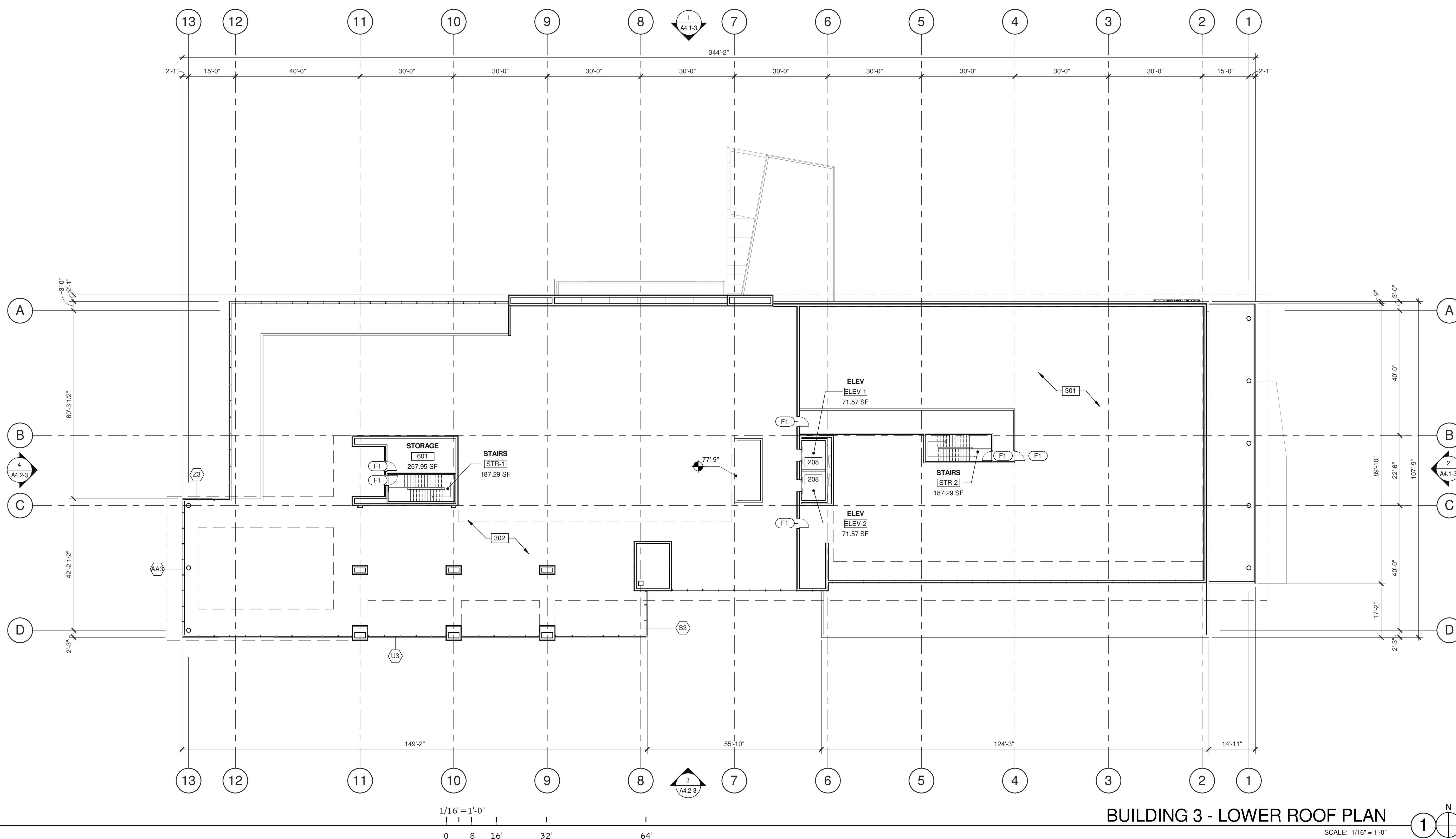
**BUTT HINGES:**  
SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.  
ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.

**VON DUPRIN 28 SERIES PANIC DEVICE OR APPROVED EQUAL**  
CLOSING DEVICES: NORTON 8500 BF SERIES OR APPROVED EQUAL  
STOPS: TRIMCO W1200 SERIES DOOR STOP  
SLIDE BOLT AND PAD LOCK: INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD

BUILDING 3 - LOWER ROOF PLAN	
REVISIONS	REMARKS
1	PLANNING SUBMITTAL

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JOB NO.:	SNR17-0069-00

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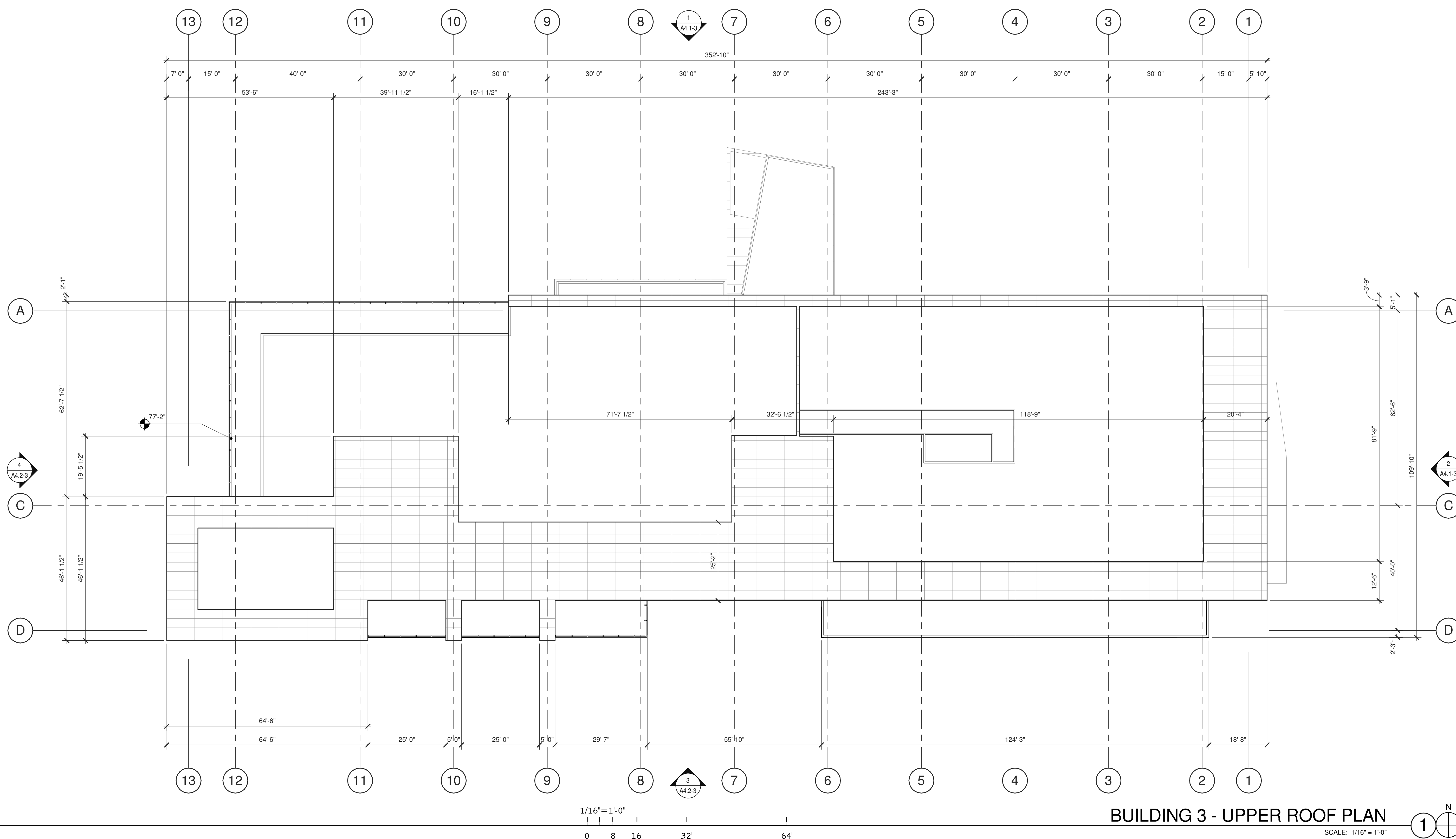
**BUILDING 3 - LOWER ROOF PLAN**  
SCALE: 1/16" = 1'-0"

**ABBREVIATIONS**

- T.O.P. = TOP OF PARAPET
- H.P. = TOP OF ROOFING - HIGH POINT
- M.P. = TOP OF ROOFING - MID POINT
- L.P. = TOP OF ROOFING - LOW POINT

**NOTES**

- 208 3500 LB TRACTION.
- 301 SINGLE-PLY ROOFING OVER RIGID INSULATION OVER METAL DECK.
- 302 VEGETATED ROOF REFER TO LANDSCAPE SHEET L1.8.

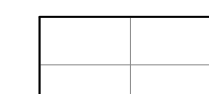


**BUILDING 3 - UPPER ROOF PLAN**  
SCALE: 1/16" = 1'-0"

**ABBREVIATIONS**

- T.O.P. = TOP OF PARAPET
- H.P. = TOP OF ROOFING - HIGH POINT
- M.P. = TOP OF ROOFING - MID POINT
- L.P. = TOP OF ROOFING - LOW POINT

**NOTES**

- MATERIALS:**
-  WHITE PORCELAIN TILE RAIN SCREEN SYSTEM OVER CONCRETE WALL

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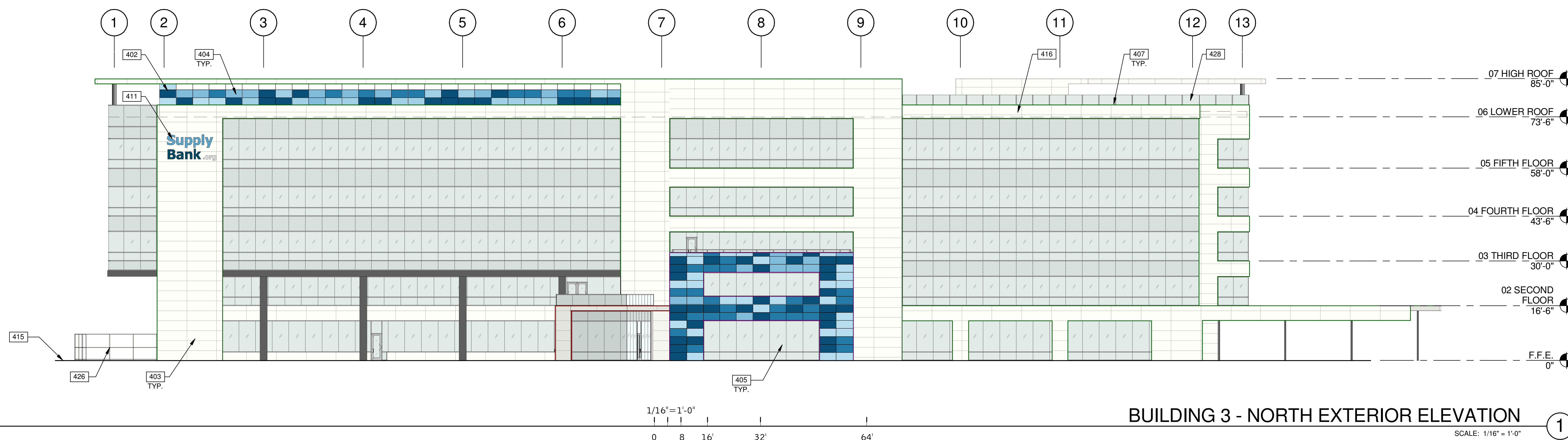
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BUILDING 3 - UPPER ROOF PLAN	
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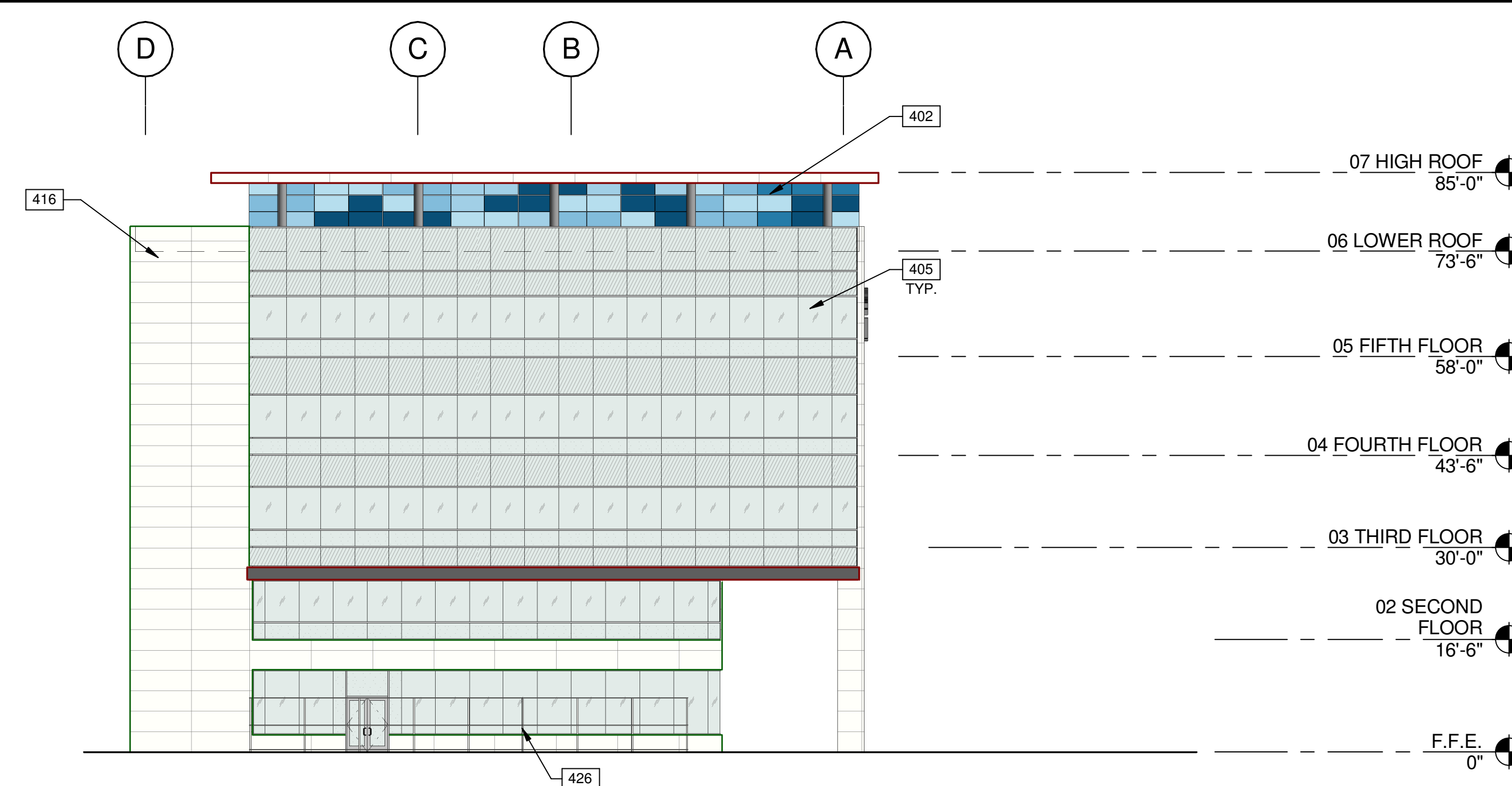
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**BUILDING 3 - NORTH EXTERIOR ELEVATION**

SCALE: 1/16" = 1'-0"

1



**BUILDING 3 - EAST EXTERIOR ELEVATION**

SCALE: 1/16" = 1'-0"

2

**LEGEND**

**MATERIALS:**

WHITE PORCELAIN TILE RAIN SCREEN SYSTEM OVER CONCRETE WALL

**GLASS:**

VISION GLASS  
SPANDREL GLASS  
TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
20 ULTRACLEAR LOW IRON FLOAT GLASS  
23 GUARDING CRYSTALBLUE FLOAT GLASS (1" INSULATED ON CLEAR/SPANDREL WHERE INDICATED)  
SUNGUARD SPANDREL HT - WARM GRAY  
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT  
MULLION FINISH:  
KAWNEER CLEAR NO. 14 AND NO. 17 (OR COMPARABLE)

**COLORS:**

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

BASE COLOR: SHERWIN WILLIAMS SW 7674 PEPPERCORN

ACCENT COLOR: SHERWIN WILLIAMS SW 6800 SOMETHING BLUE

ACCENT COLOR: SHERWIN WILLIAMS SW 9063 PORCH CEILING

ACCENT COLOR: SHERWIN WILLIAMS SW 6801 REGALE BLUE

ACCENT COLOR: SHERWIN WILLIAMS SW 6803 DANUBE

ACCENT COLOR: SHERWIN WILLIAMS SW 6804 DIGNITY BLUE

ACCENT/SIGNAGE COLOR: SHERWIN WILLIAMS SW 6802 JACARANDA

ACCENT/SIGNAGE COLOR: SHERWIN WILLIAMS SW 6510 LOYAL BLUE

**NOTES**

- 402 PRE-FINISHED ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD FRAMING.
- 403 EXTERIOR PORCELAIN TILE RAINSCREEN.
- 404 ALUMINUM WALL JOINT.
- 405 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
- 407 CONTINUOUS METAL CAP TO MATCH BUILDING COLOR.
- 411 SIGNAGE, UNDER SEPARATE PERMIT.
- 415 FINISH GRADE VARIES.
- 416 LINE OF ROOF BEYOND.
- 426 TRELLIS.
- 428 PAINTED MURAL - BY OTHERS.

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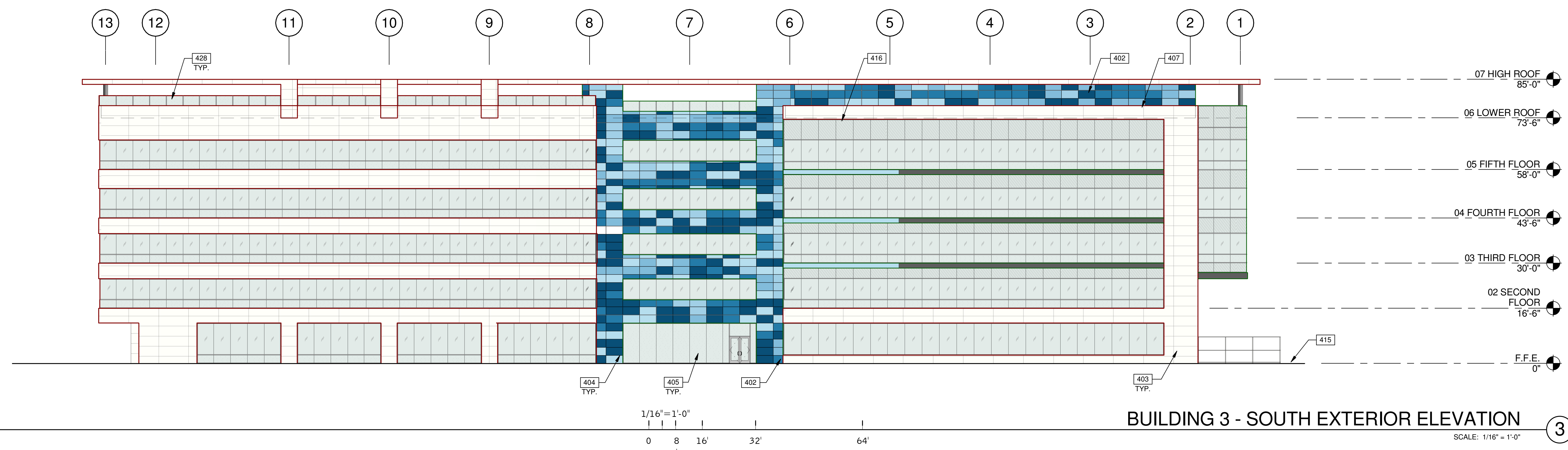
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**BUILDING 3 - EXTERIOR ELEVATIONS**

DATE	REVISIONS
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1	

PA/PM:	J. BABINE
DRAWN BY:	E.S.
JOB NO.:	SNR17-0069-00

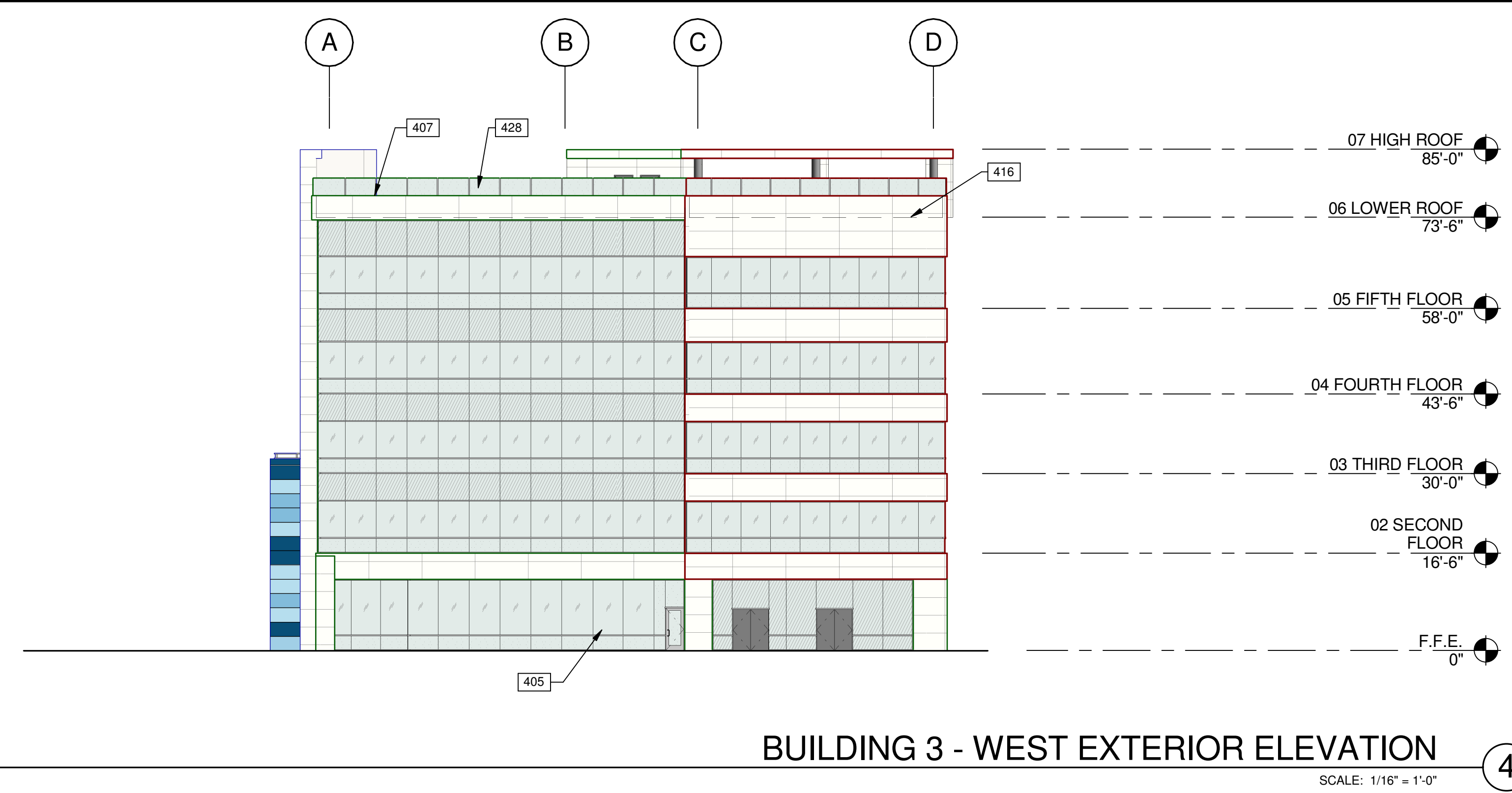
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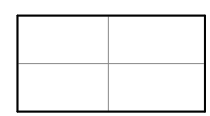
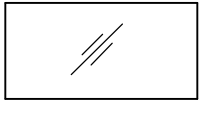


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**LEGEND**









**MATERIALS:**

-  WHITE PORCELAIN TILE RAIN SCREEN SYSTEM OVER CONCRETE WALL
-  VISION GLASS
-  SPANDREL GLASS
-  TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
20 ULTRACLEAR LOW IRON FLOAT GLASS  
23 GUARDING CRYSTALBLUE FLOAT GLASS (1" INSULATED ON CLEAR/SPANDREL WHERE INDICATED)  
SUNGUARD SPANDREL HT - WARM GRAY  
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

MULLION FINISH:  
KAWNEER CLEAR NO. 14 AND NO. 17 (OR COMPARABLE)

**COLORS:**

-  BASE COLOR: SHERWIN WILLIAMS SW 7674 PEPPERCORN
-  ACCENT COLOR: SHERWIN WILLIAMS SW 6800 SOMETHING BLUE
-  ACCENT COLOR: SHERWIN WILLIAMS SW 9063 PORCH CEILING
-  ACCENT COLOR: SHERWIN WILLIAMS SW 6801 REGALE BLUE
-  ACCENT COLOR: SHERWIN WILLIAMS SW 6803 DANUBE
-  ACCENT COLOR: SHERWIN WILLIAMS SW 6804 DIGNITY BLUE
-  ACCENT/SIGNAGE COLOR: SHERWIN WILLIAMS SW 6802 JACARANDA
-  ACCENT/SIGNAGE COLOR: SHERWIN WILLIAMS SW 6510 LOYAL BLUE

**NOTES**

- 402 PRE-FINISHED ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD FRAMING.
- 403 EXTERIOR PORCELAIN TILE RAINSCREEN.
- 404 ALUMINUM WALL JOINT.
- 405 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
- 407 CONTINUOUS METAL CAP TO MATCH BUILDING COLOR.
- 415 FINISH GRADE VARIES.
- 416 LINE OF ROOF BEYOND.
- 428 PAINTED MURAL - BY OTHERS.

**BUILDING 3 - EXTERIOR ELEVATIONS**

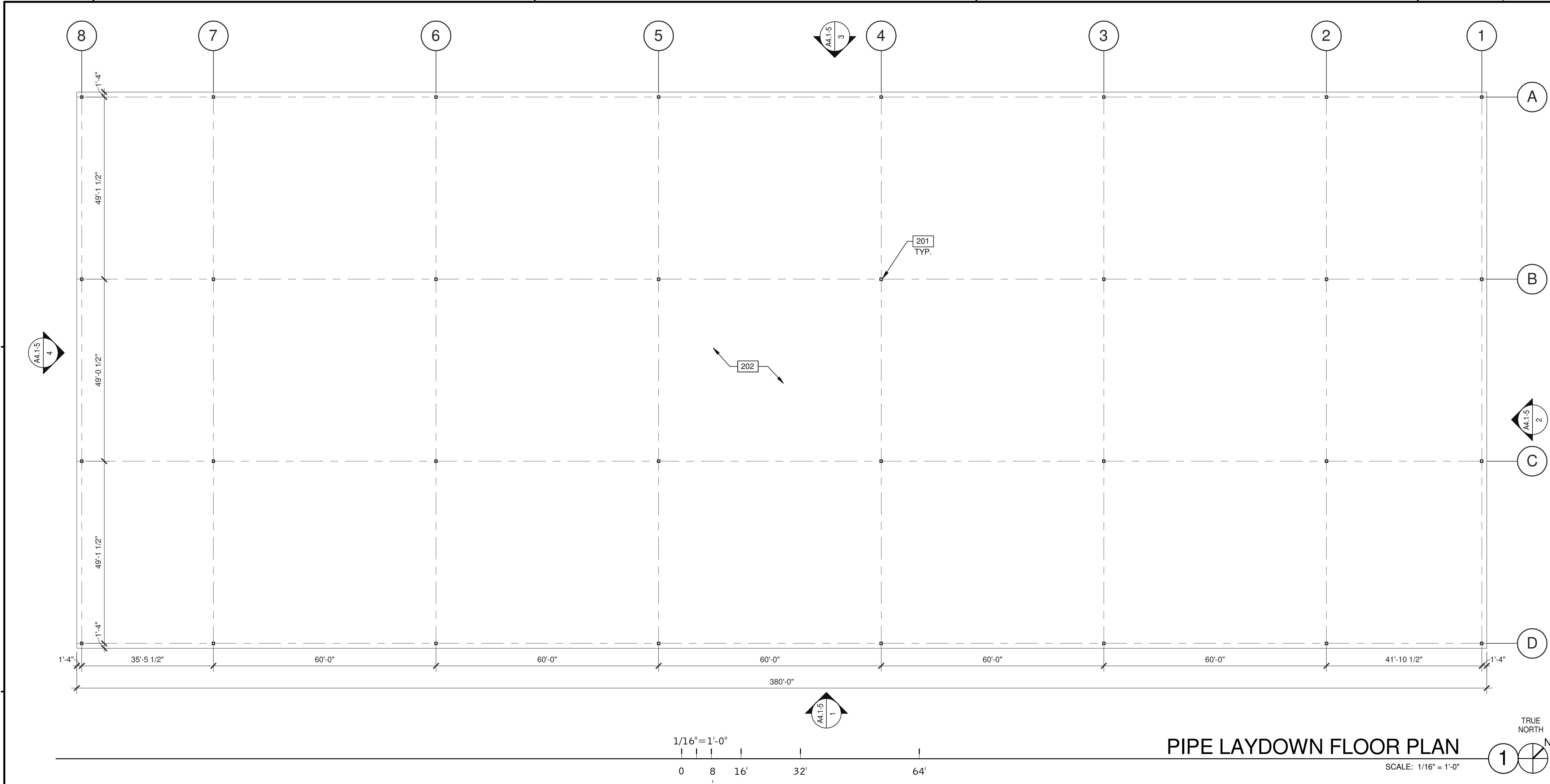
DATE	REMARKS
04/03/2019 <td>PLANNING SUBMITTAL</td>	PLANNING SUBMITTAL
1	

PA/PM:	J. BABINE
DRAWN BY.:	E.S.
JOB NO.:	SNR17-0069-00

SHEET

**A4.2-3**

4/2/2019 12:26:15 PM



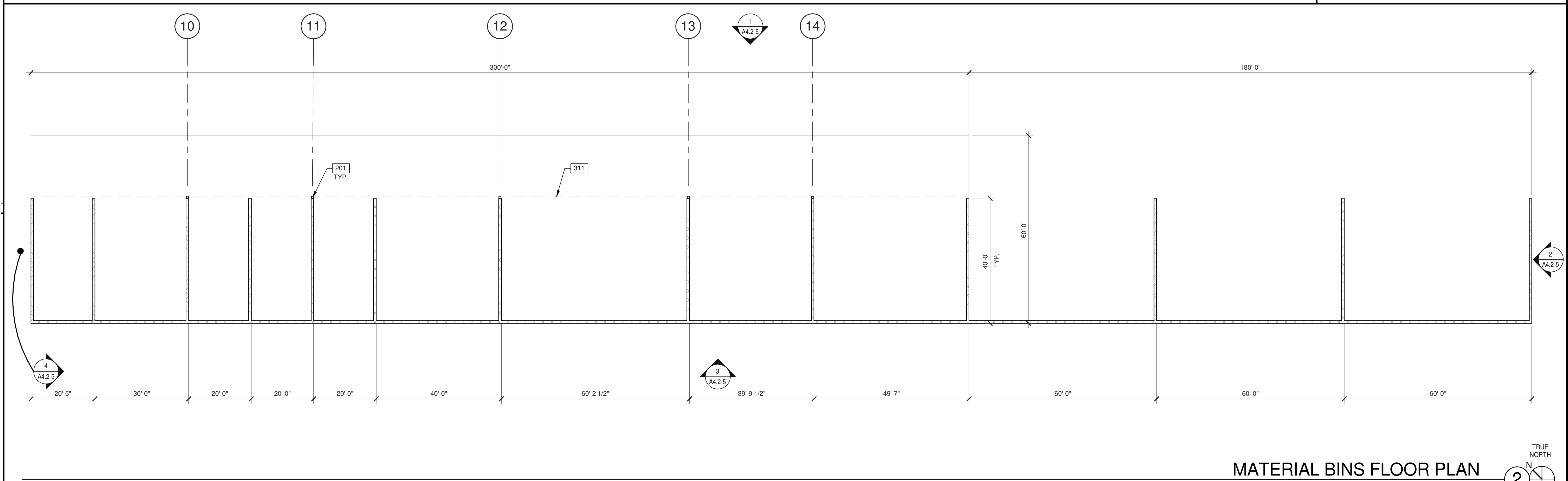
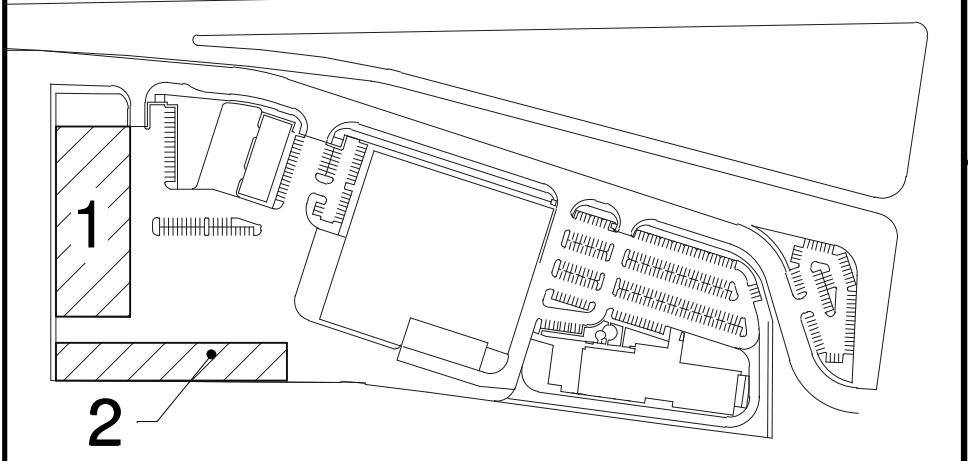
PIPE LAYDOWN FLOOR PLAN

SCALE: 1/16" = 1'-0"

- NOTES**
- 201 STRUCTURAL COLUMN.
  - 202 CONCRETE SLAB, PROVIDE VAPOR BARRIER OVER SAND PER SOILS REPORT.
  - 311 ROOF LINE.

- WALL LEGEND**
- CONCRETE WALL
  - CONCRETE MASONRY WALL

**KEY PLAN**



MATERIAL BINS FLOOR PLAN

SCALE: 1/16" = 1'-0"

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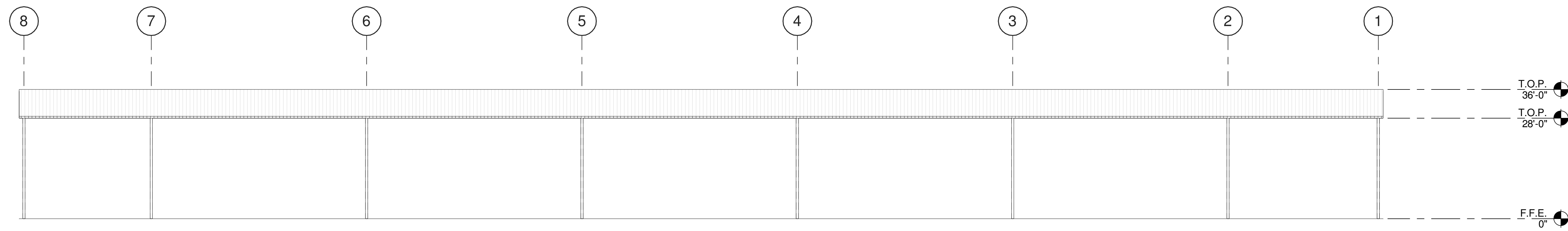
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**PIPE LAYDOWN & MATERIAL BINS FLOOR PLANS**

NO.	DATE	REMARKS
1	04/03/2019	PLANNING SUBMITTAL
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PA/PM:	J. BABINE
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SHEET  
**A2.1-5**



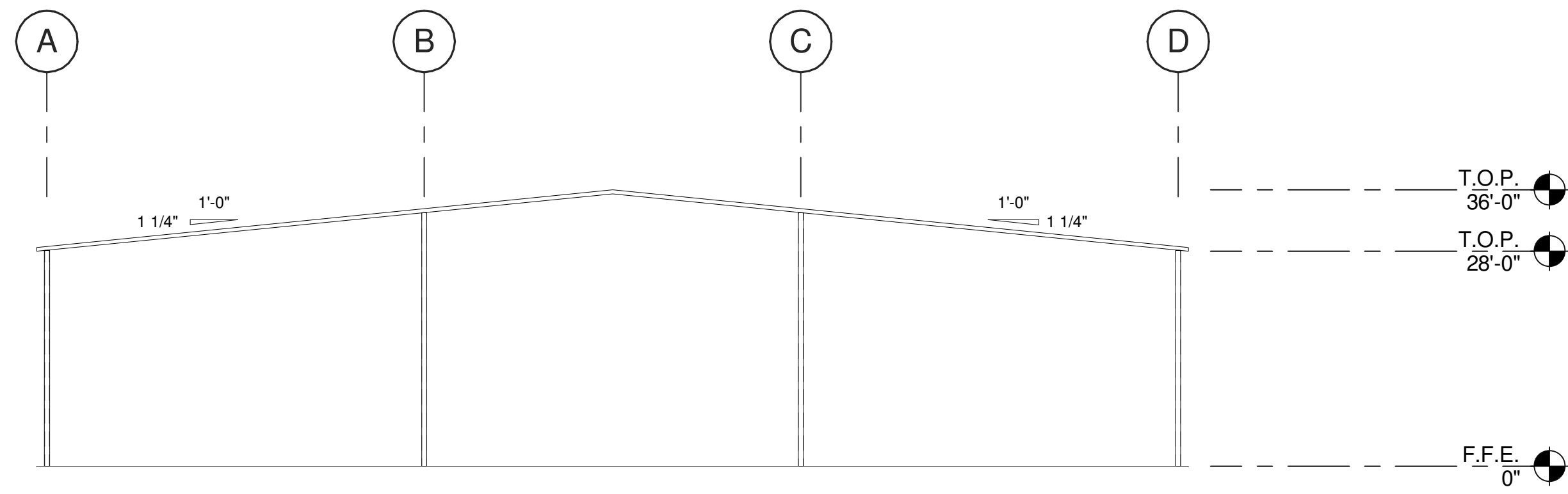
1/16" = 1'-0"

0 8 16' 32' 64'

PIPE LAYDOWN - EASTH ELEVATION

SCALE: 1/16" = 1'-0"

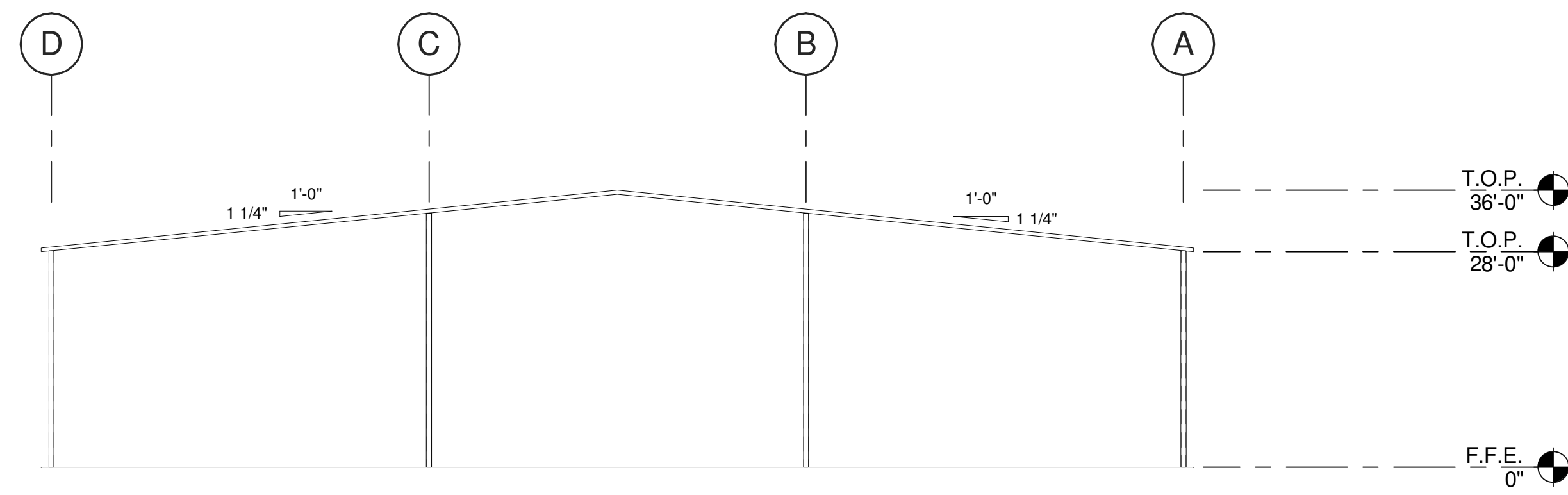
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PIPE LAYDOWN - SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

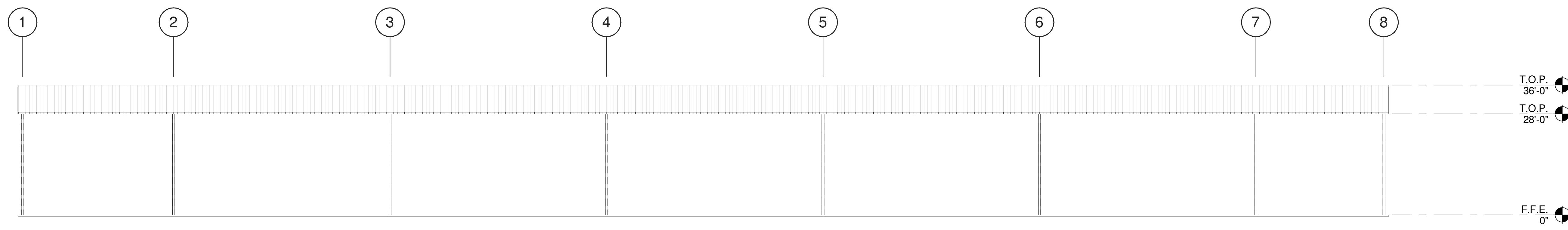
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PIPE LAYDOWN - NORTH ELEVATION

SCALE: 1/16" = 1'-0"

2



PIPE LAYDOWN - WEST ELEVATION

SCALE: 1/16" = 1'-0"

3

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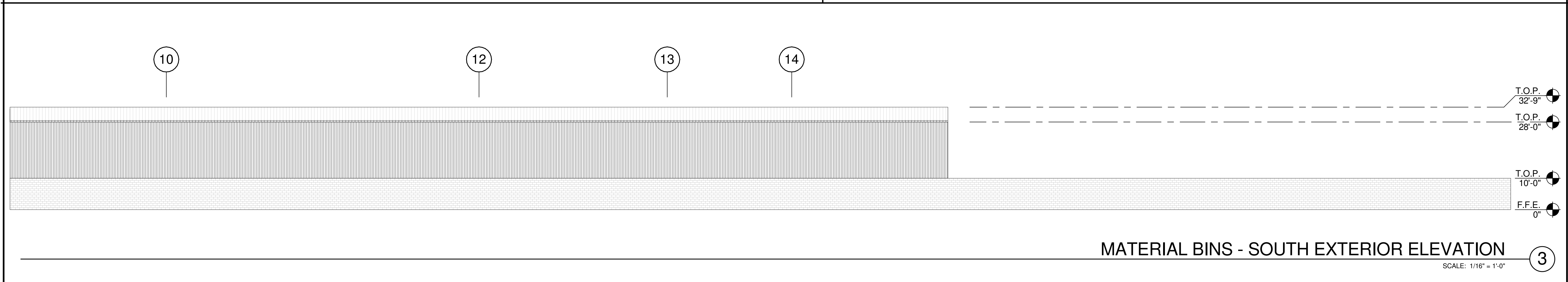
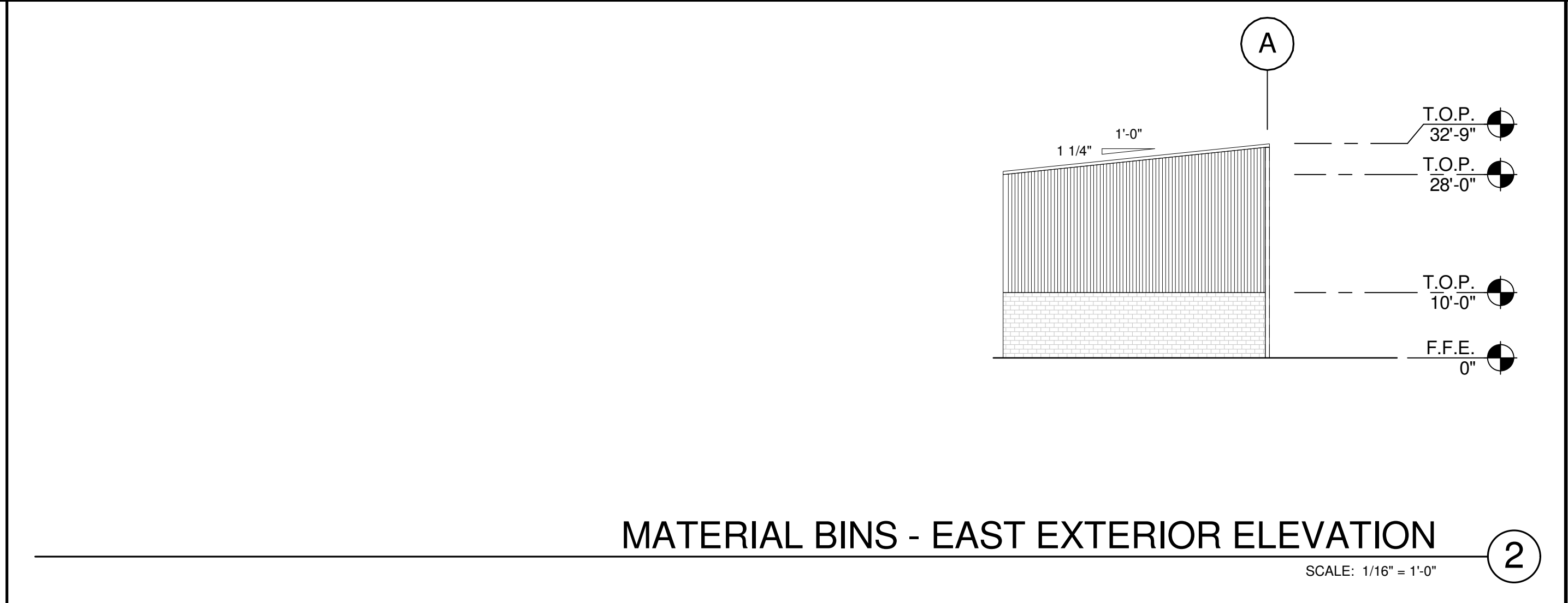
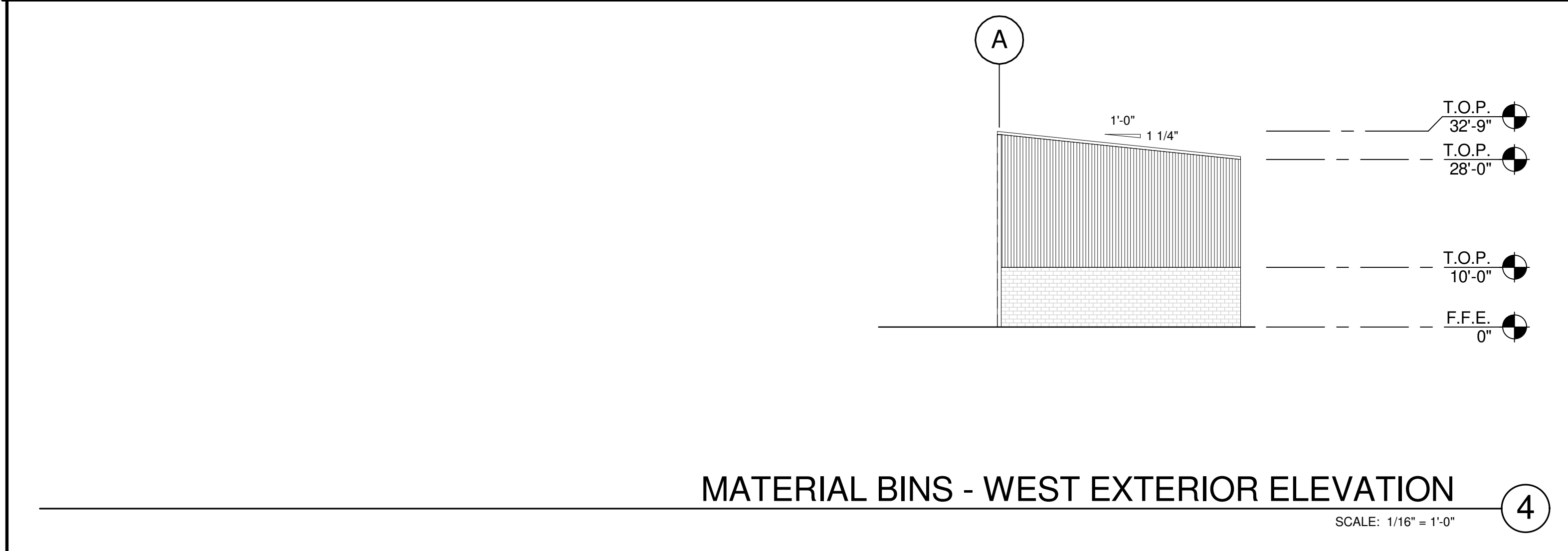
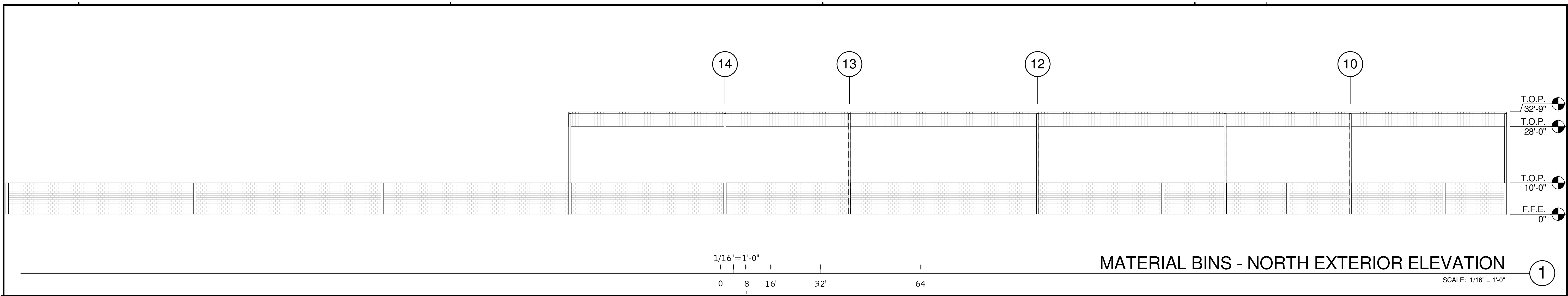
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PIPE LAYDOWN EXTERIOR ELEVATIONS	
DATE	REMARKS
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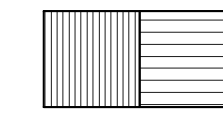
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JOB NO.:	SNR17-0069-00

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**A4.1-5**



**LEGEND**

**MATERIALS:**



PRE-ENGINEERED METAL STRUCTURE

**COLORS:**

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.



SECONDARY COLOR: SHERWIN WILLIAMS SW 7067 - CITYSCAPE

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MATERIAL BINS EXTERIOR ELEVATION	
DATE	REMARKS
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PA/PM:	J. BABINE
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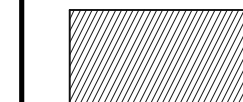
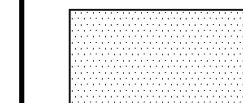
SHEET  
**A4.2-5**



### EXTERIOR WINDOW TYPES

### LEGEND

GLASS:

-  VISION GLASS
-  SPANDREL GLASS
-  TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
 XXXXXX  
 U FACTOR = 0.28 AND SHGC = 0.28  
 GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

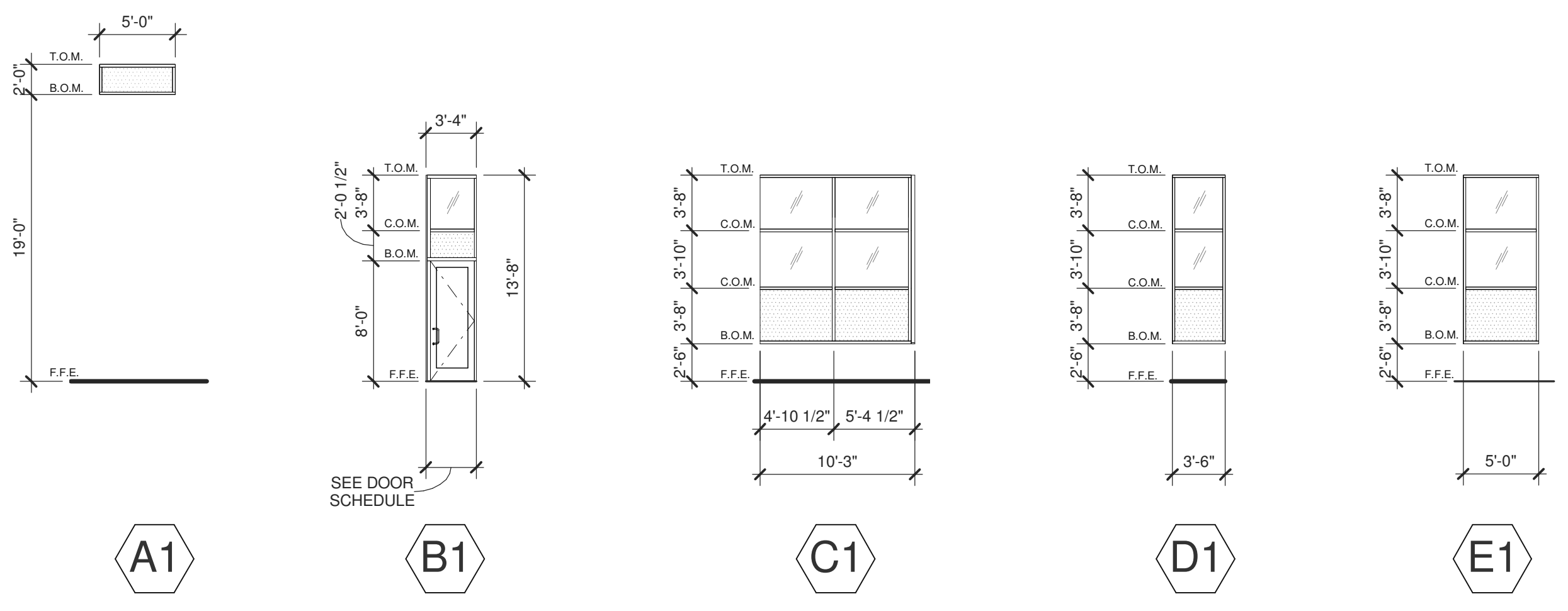
### ABBREVIATIONS

- T.O.M. = TOP OF MULLION
- C.O.M. = CENTER OF MULLION
- B.O.M. = BOTTOM OF MULLION
- F.F.E. = FINISH FLOOR ELEVATION

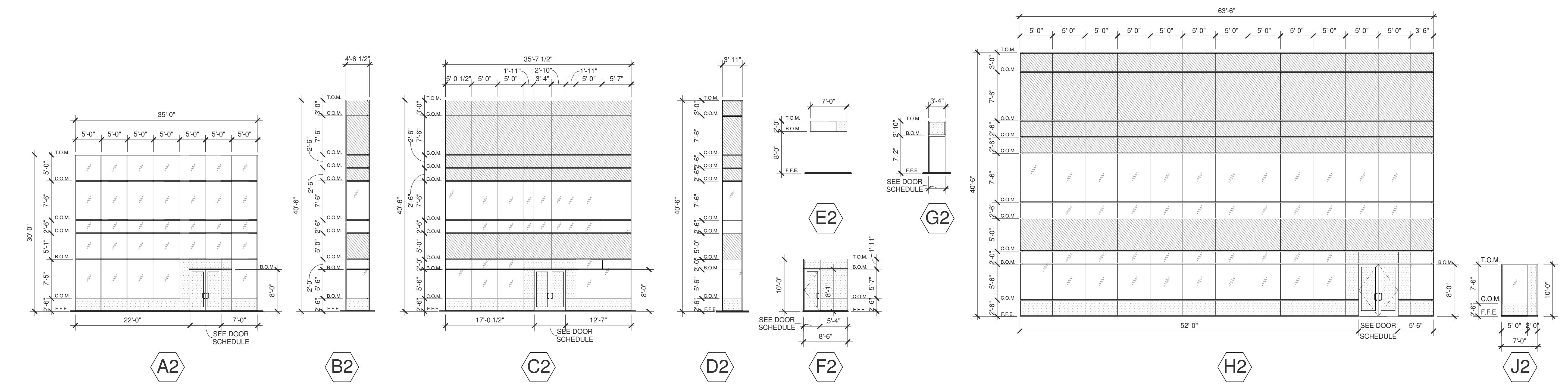
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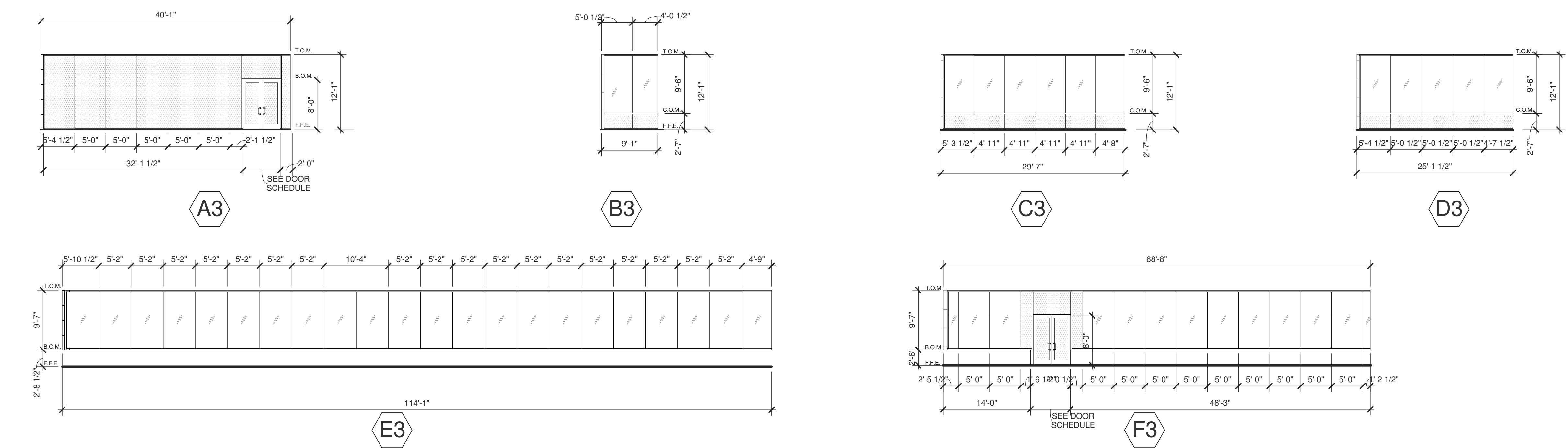
### BUILDING 1



### BUILDING 2



### BUILDING 3



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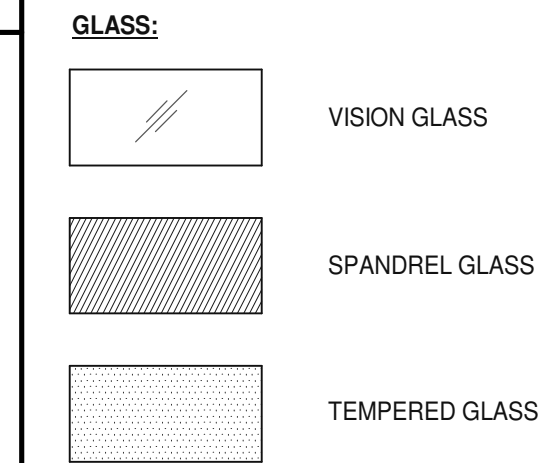
EXTERIOR WINDOW TYPES	
DATE	REMARKS
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SHEET  
**A5.1**

### EXTERIOR WINDOW TYPES

### LEGEND

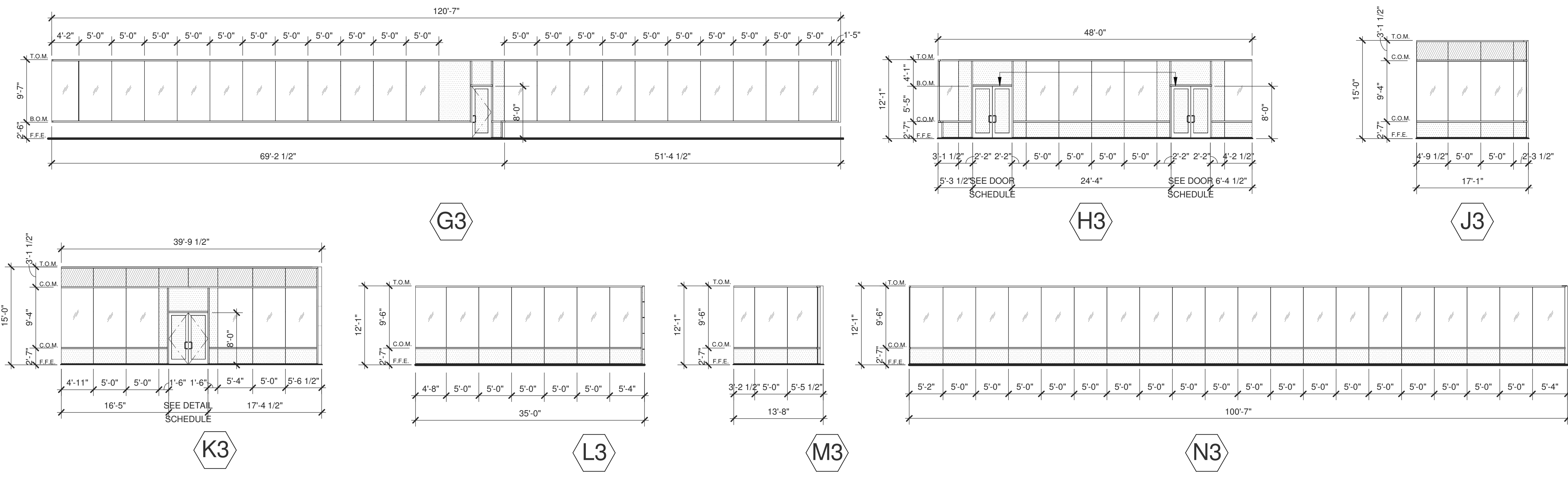


ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
XXXXXX  
U FACTOR = 0.28 AND SHGC = 0.28  
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

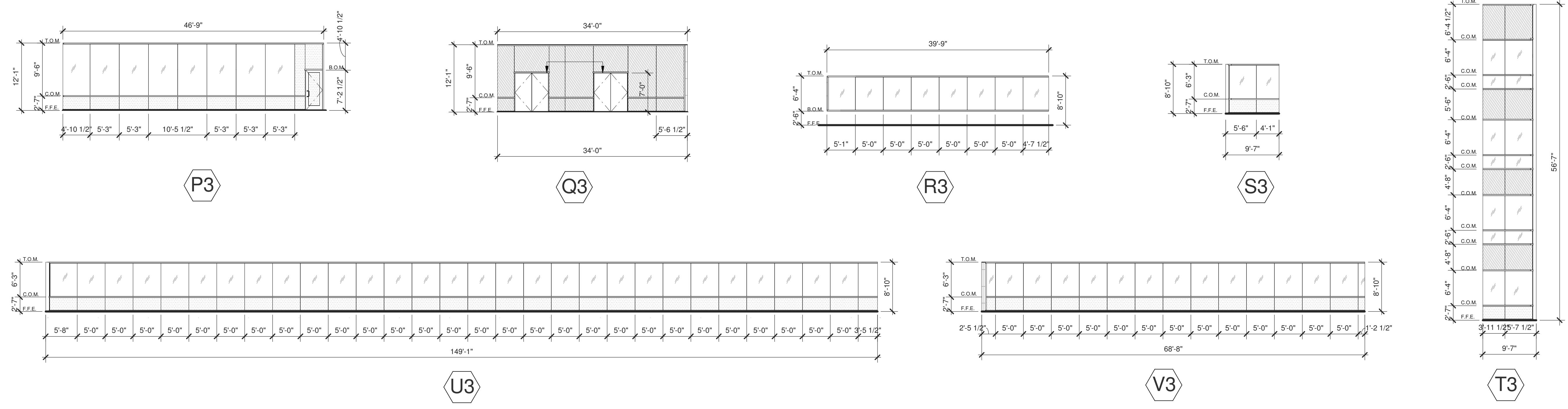
### ABBREVIATIONS

T.O.M. = TOP OF MULLION  
C.O.M. = CENTER OF MULLION  
B.O.M. = BOTTOM OF MULLION  
F.F.E. = FINISH FLOOR ELEVATION

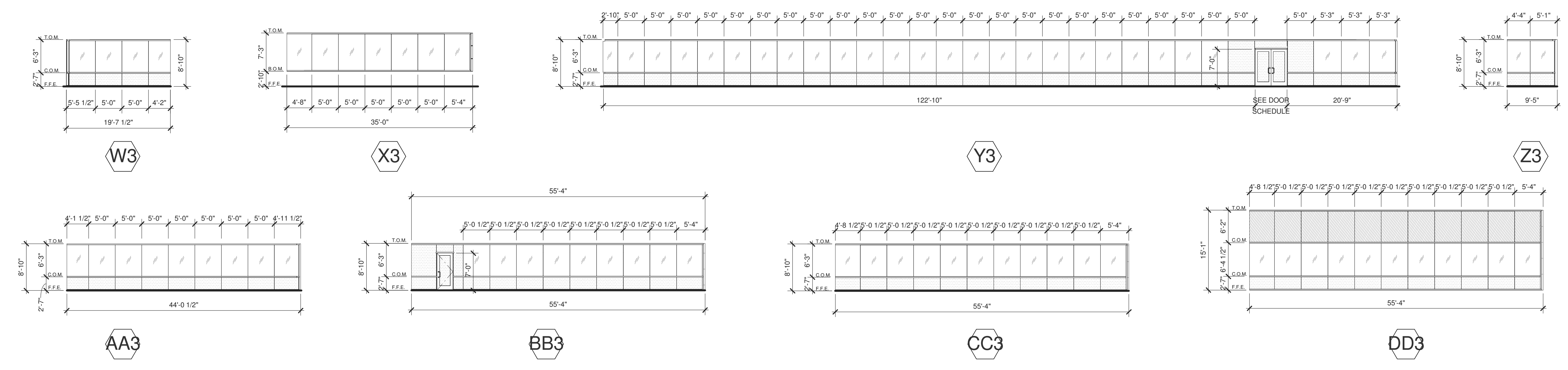
BUILDING 3



BUILDING 3



BUILDING 3



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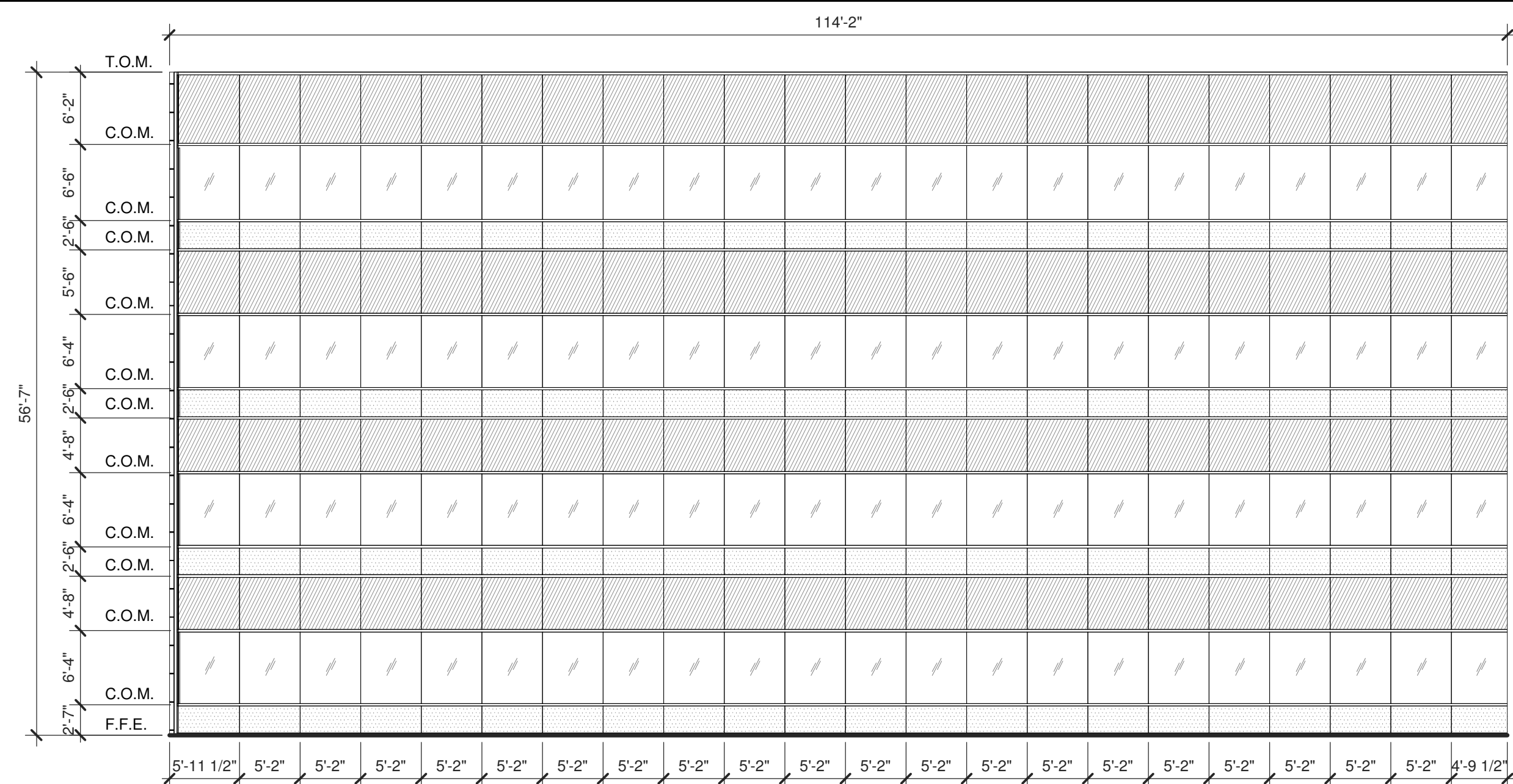
EXTERIOR WINDOW TYPES	
DATE	REMARKS
04/03/2019	PLANNING SUBMITTAL
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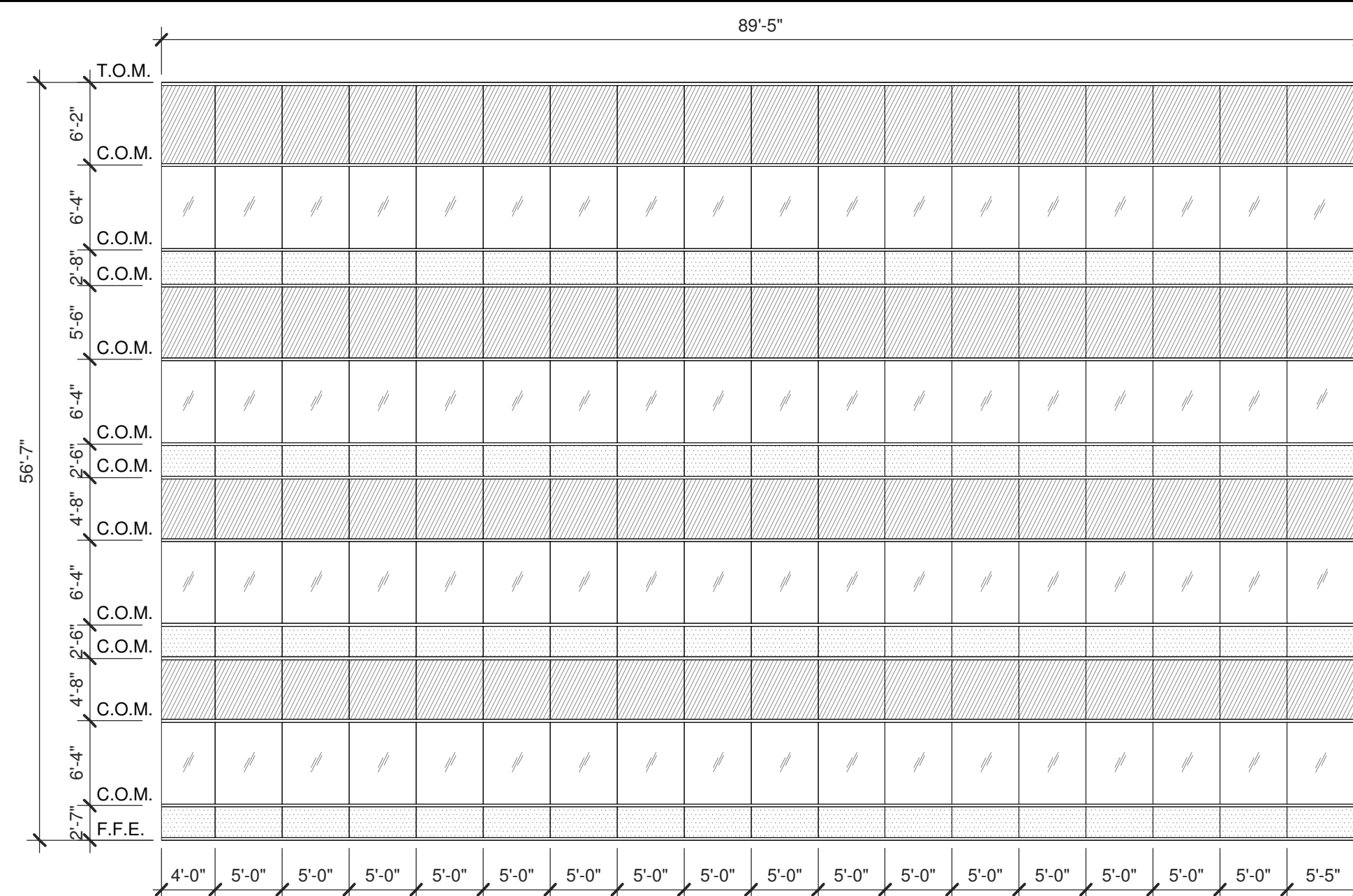
SHEET  
**A5.2**

### EXTERIOR WINDOW TYPES

BUILDING 3

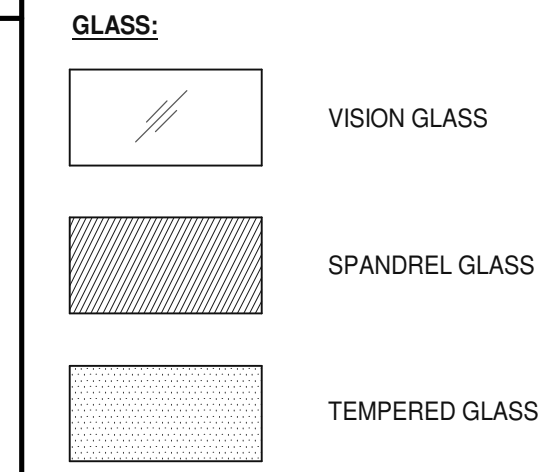


EE3



FF3

### LEGEND

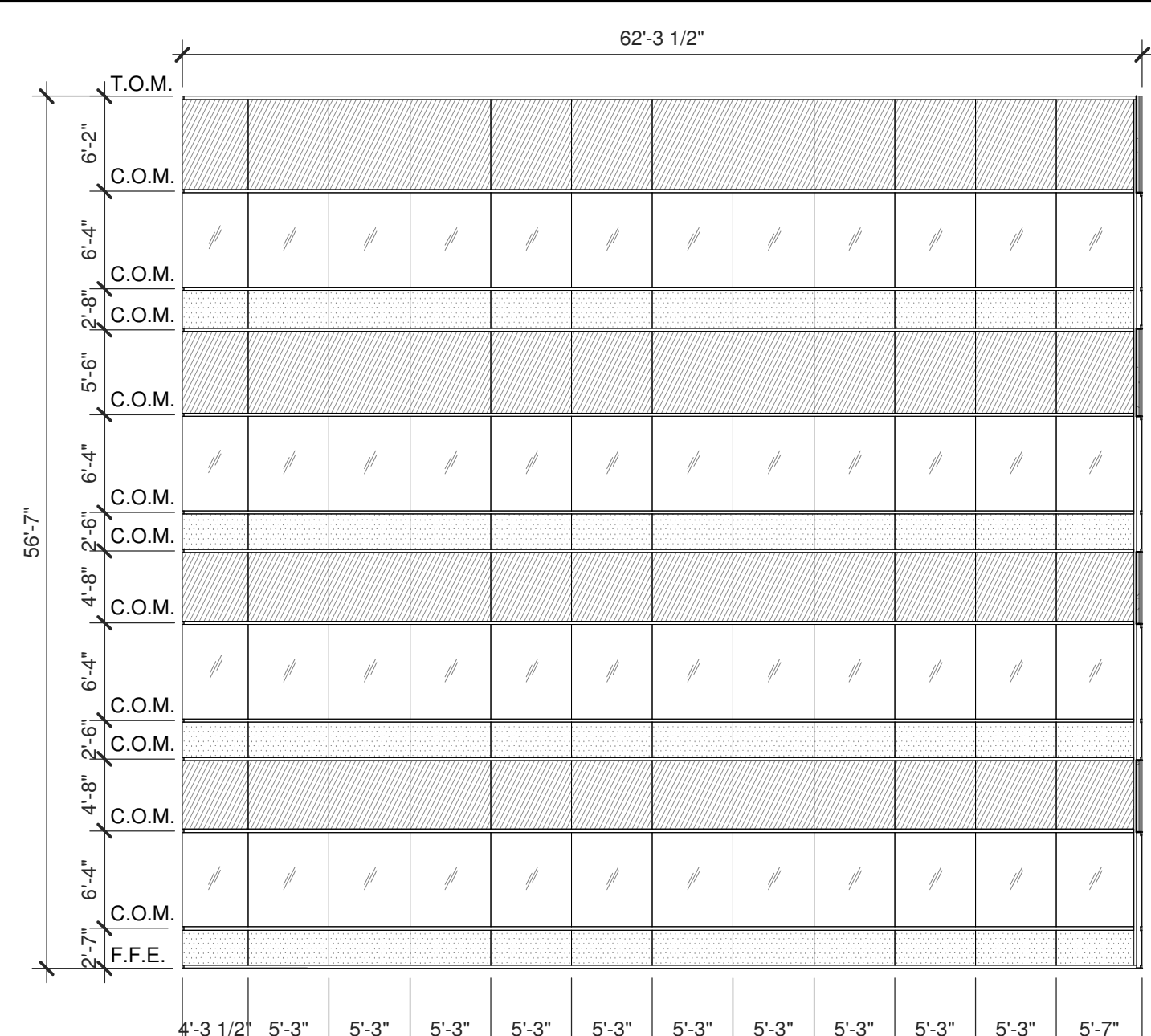


ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:  
 XXXXXXX  
 U FACTOR = 0.28 AND SHGC = 0.28  
 GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

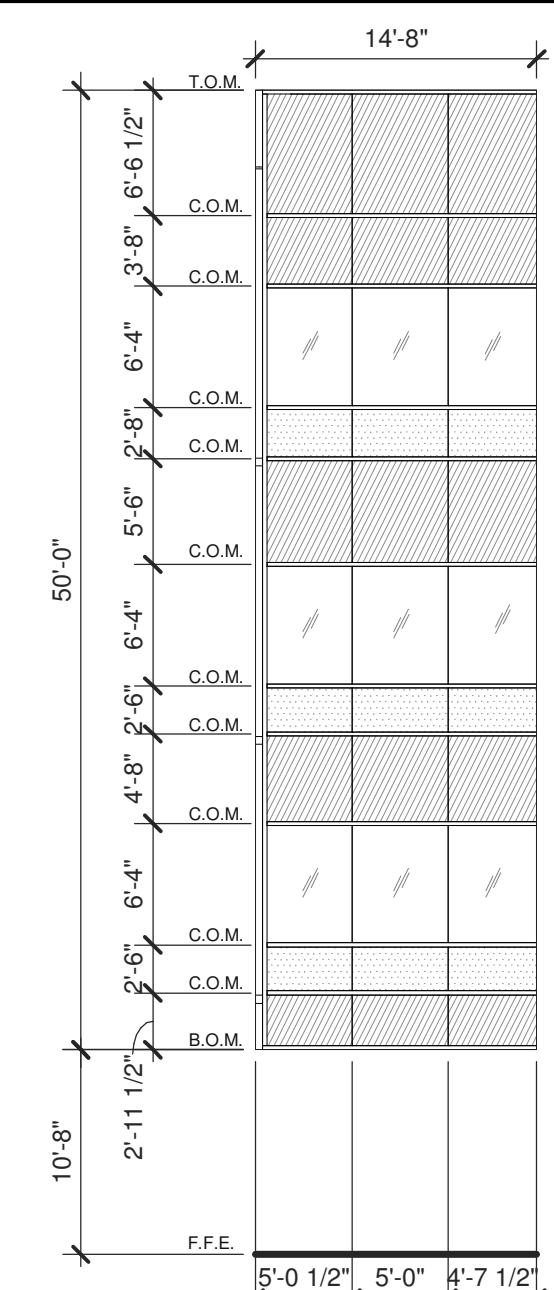
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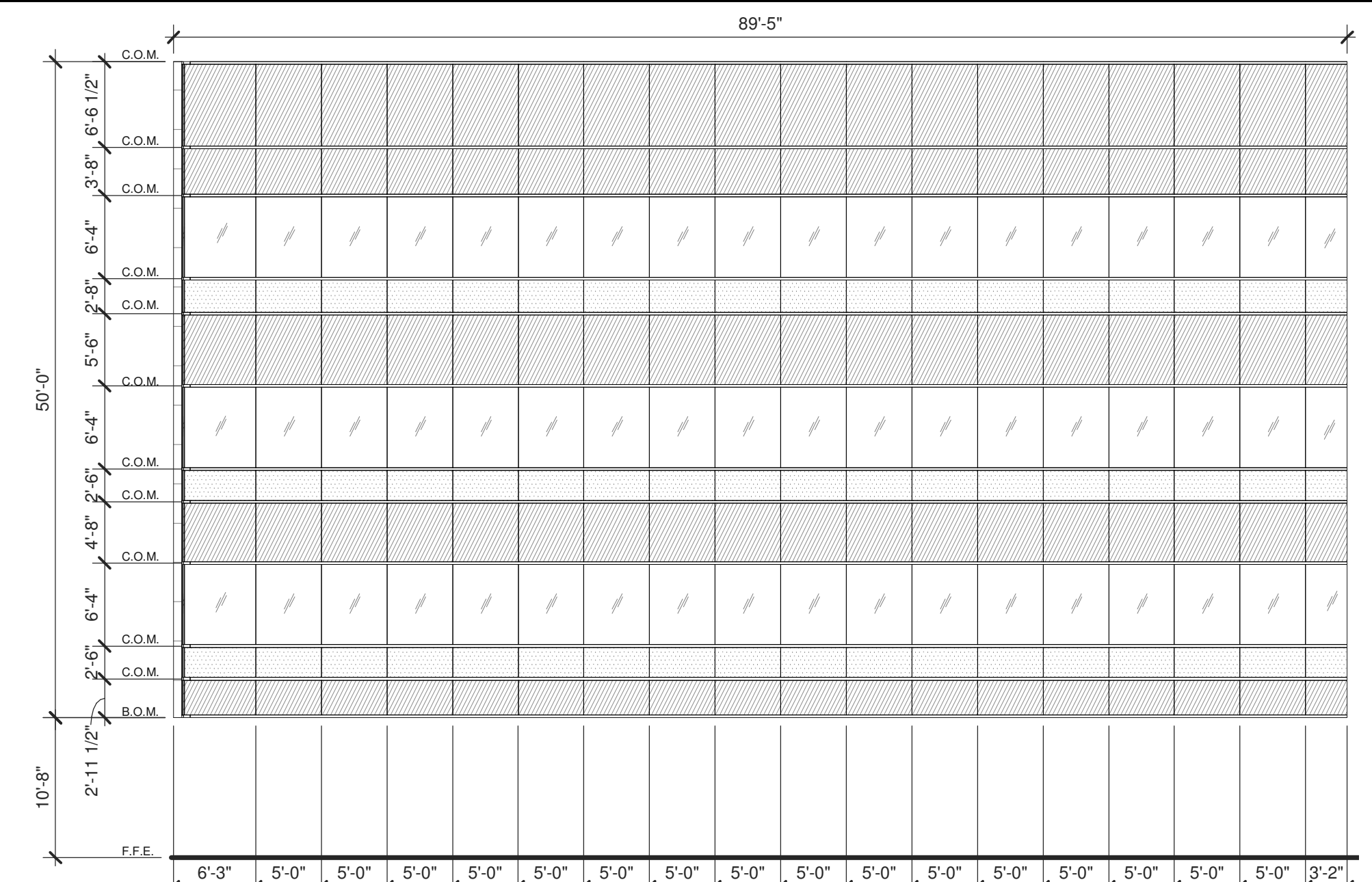
BUILDING 3



GG3

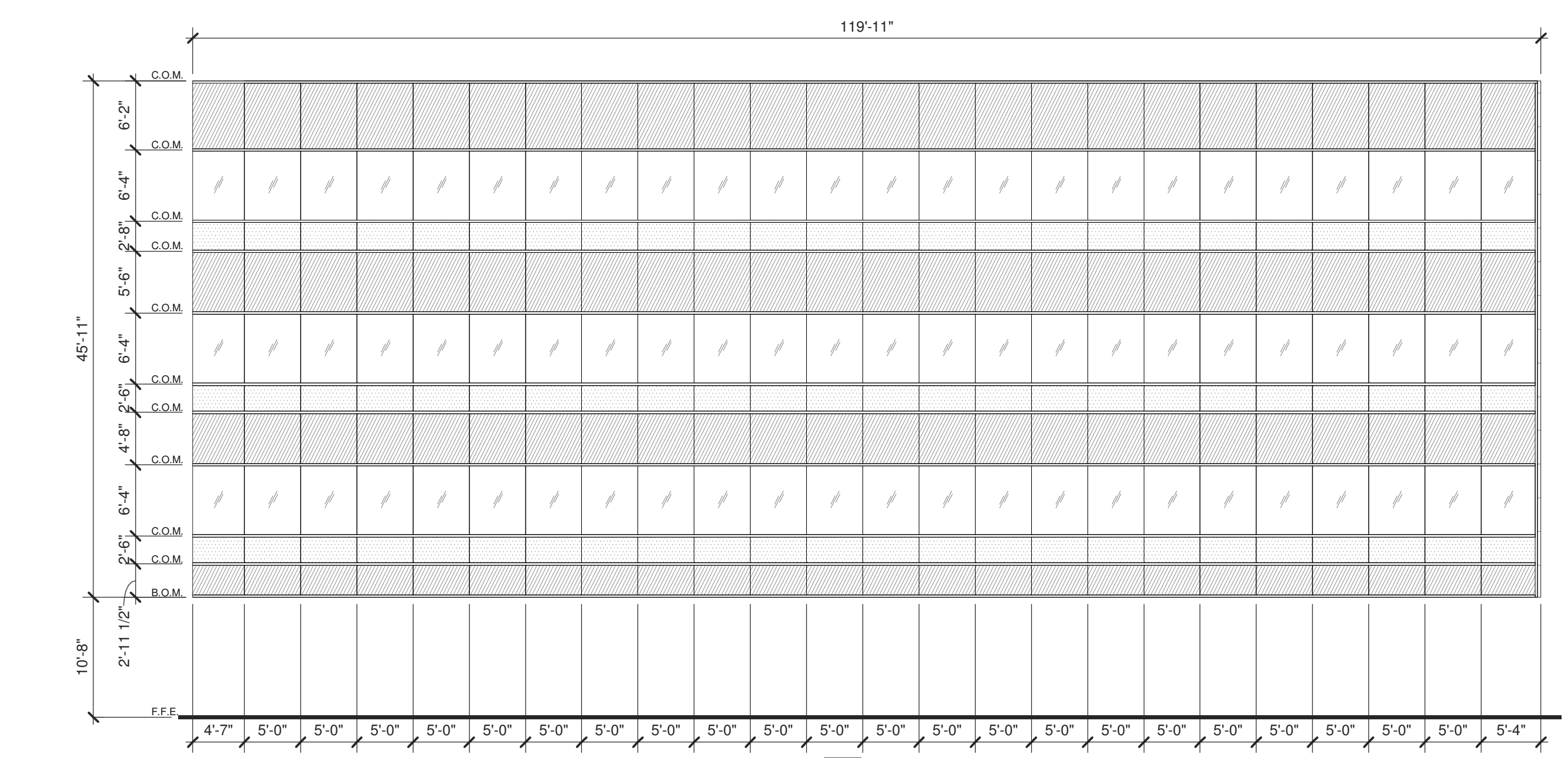


HH3



JJ3

BUILDING 3



KK3

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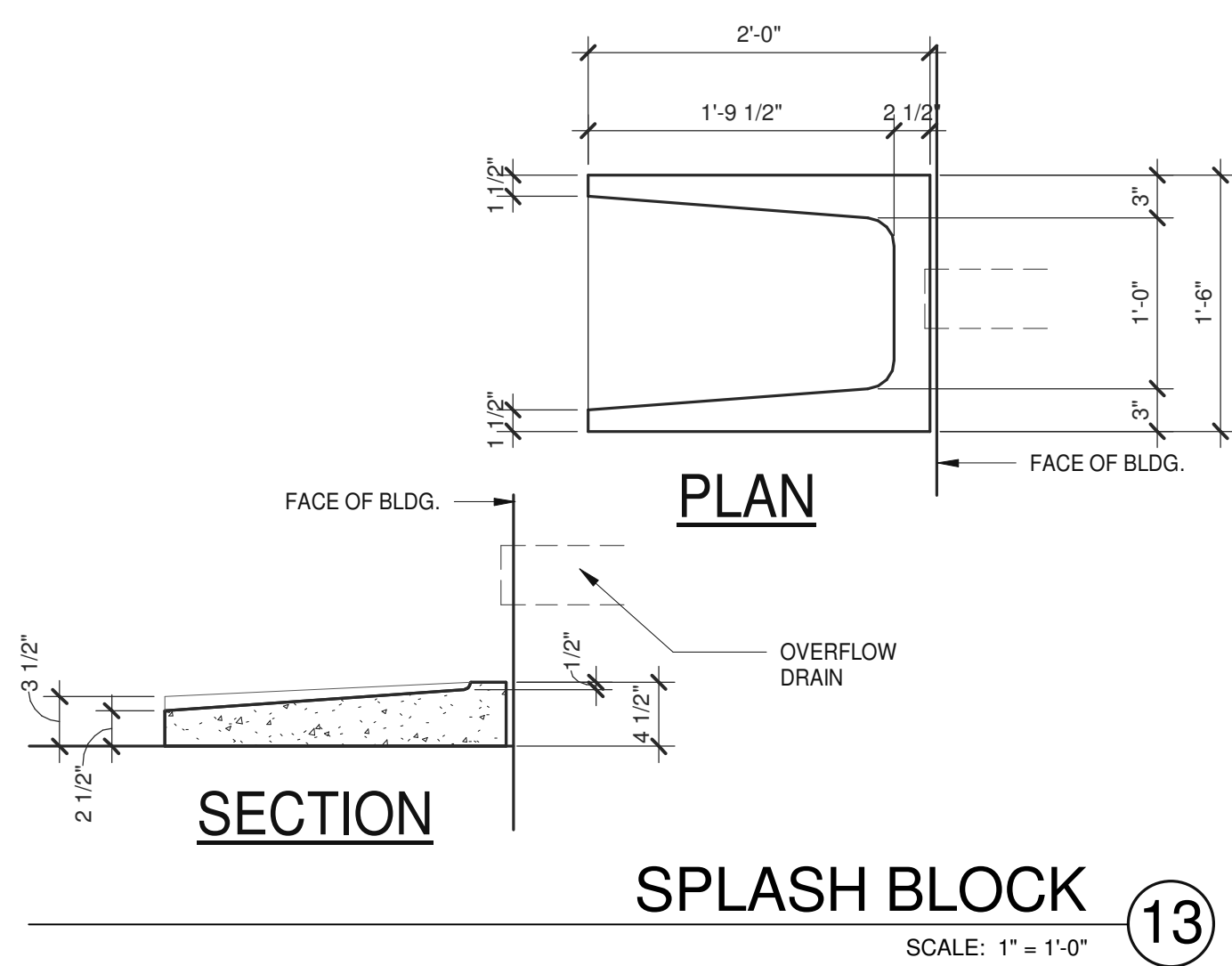
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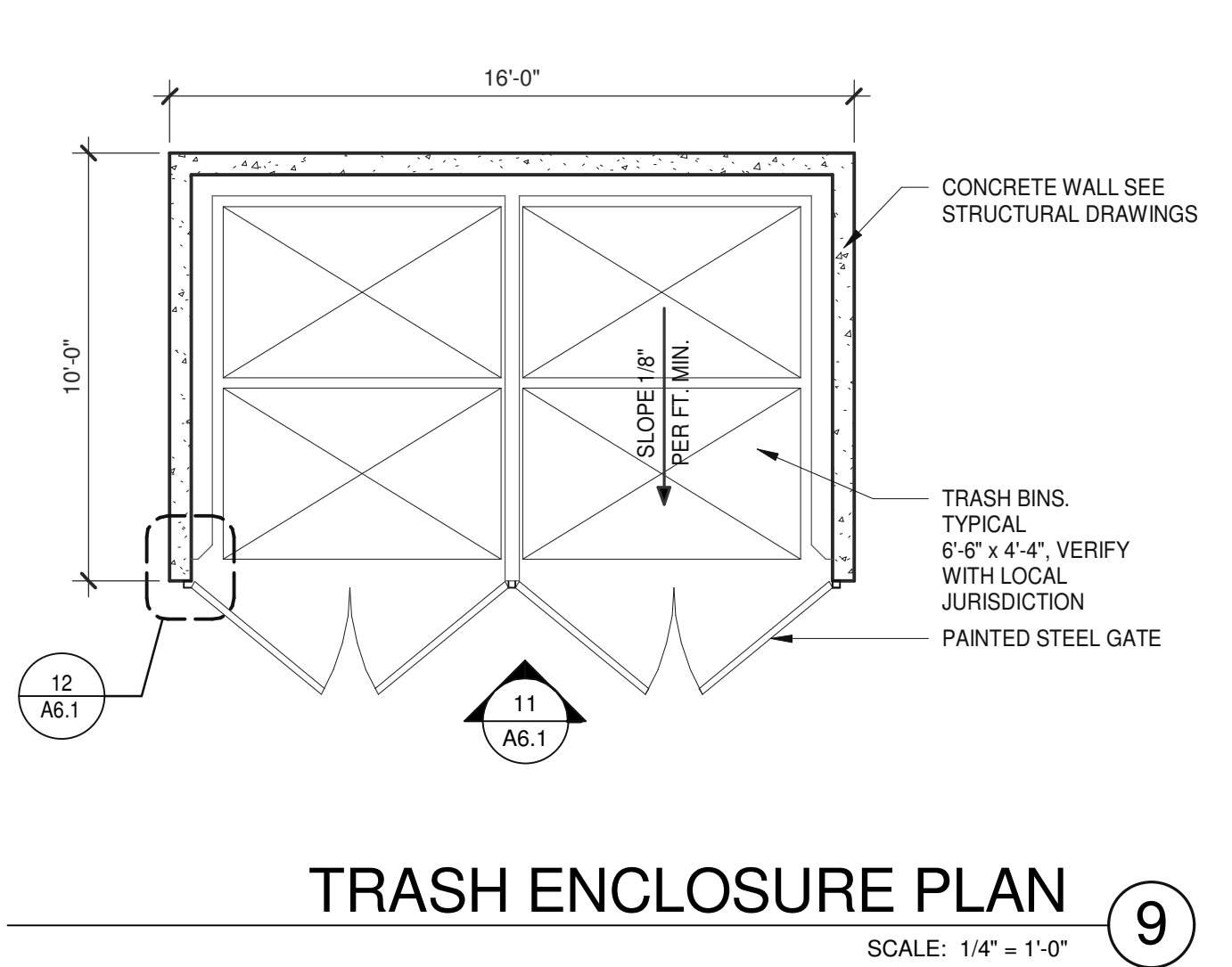
EXTERIOR WINDOW TYPES	
DATE	REMARKS
04/03/2019	PLANNING SUBMITTAL
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DRAWN BY.:	E.S.
JOB NO.:	SNR17-0069-00

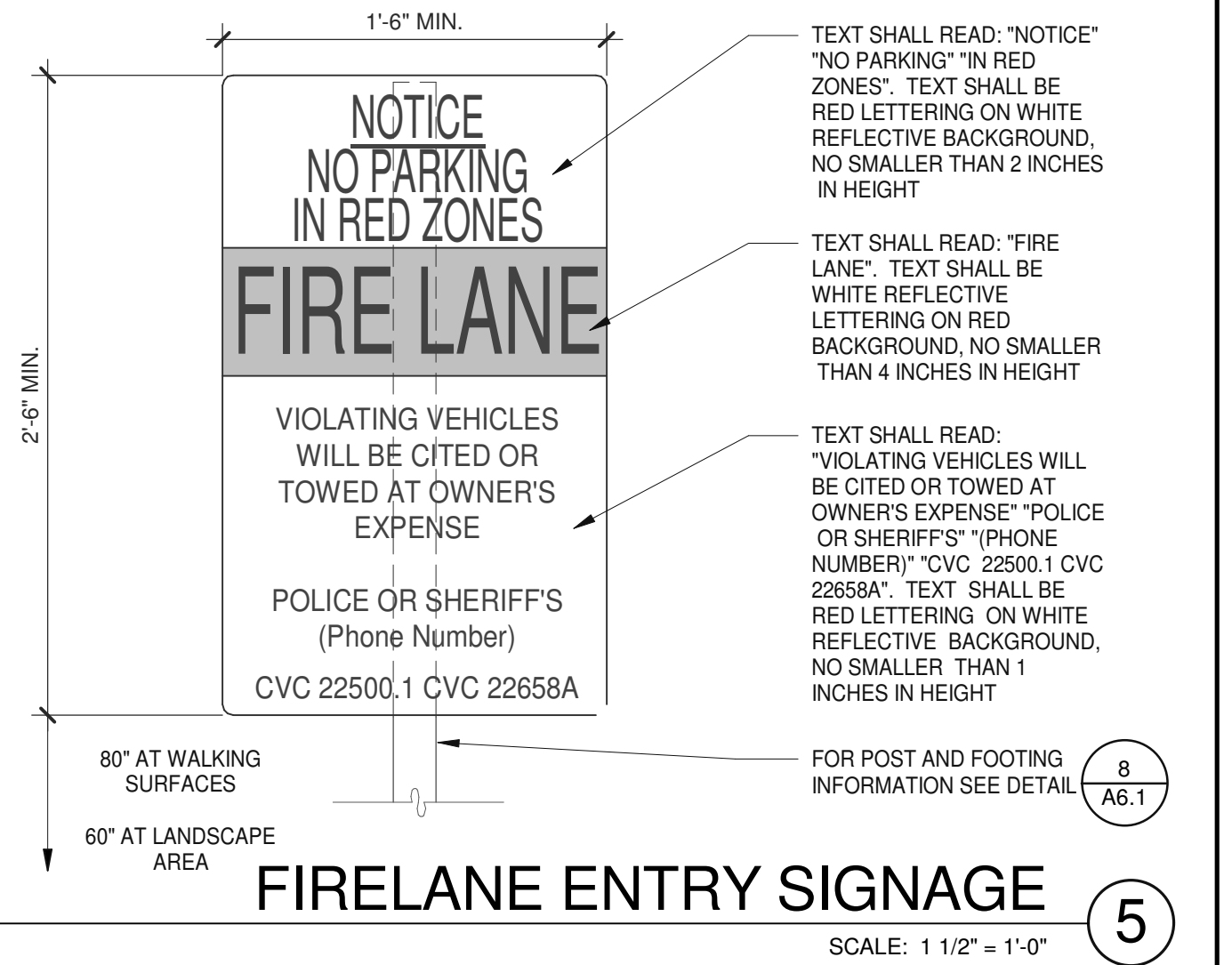
SHEET  
**A5.3**



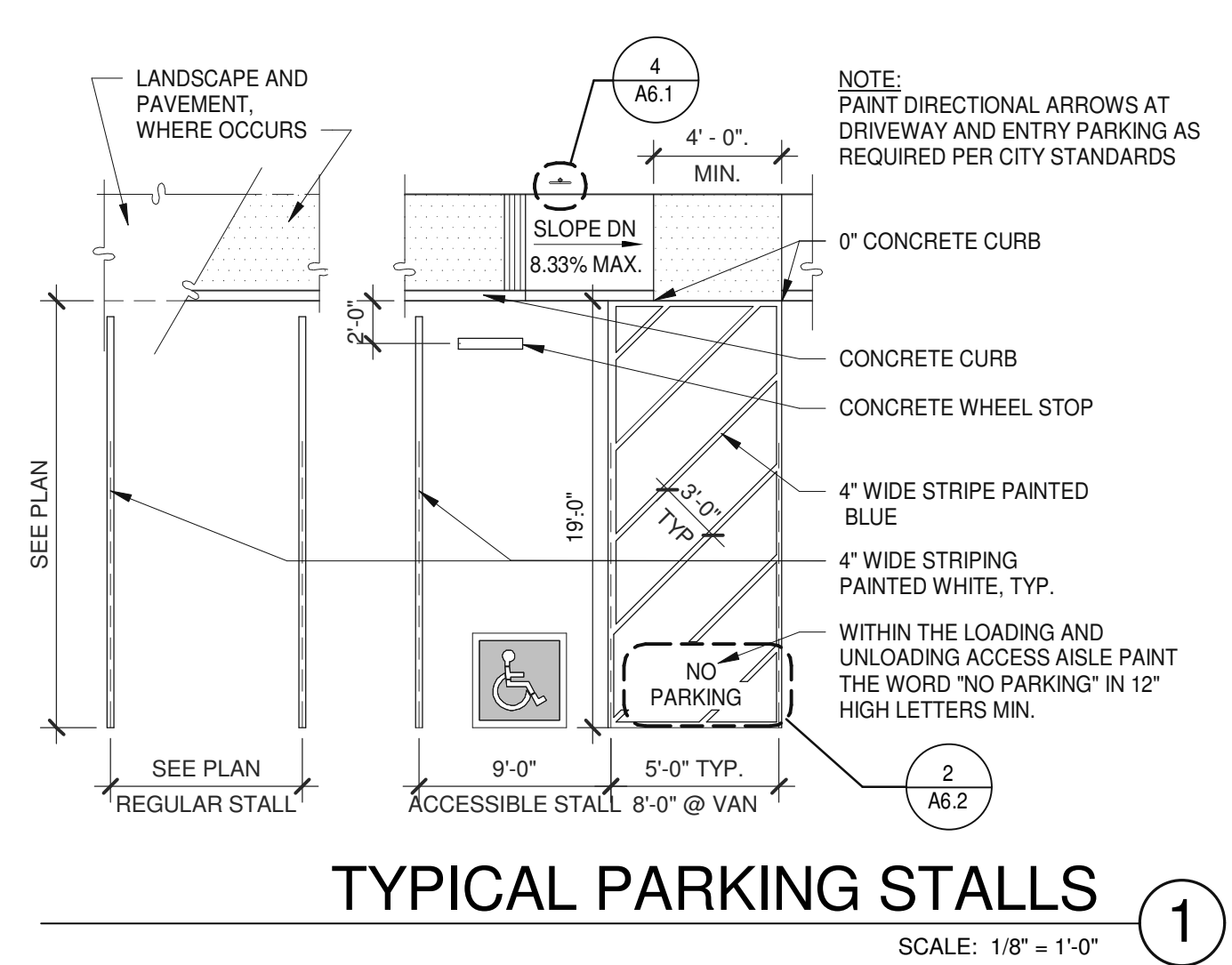
**SPLASH BLOCK** 13



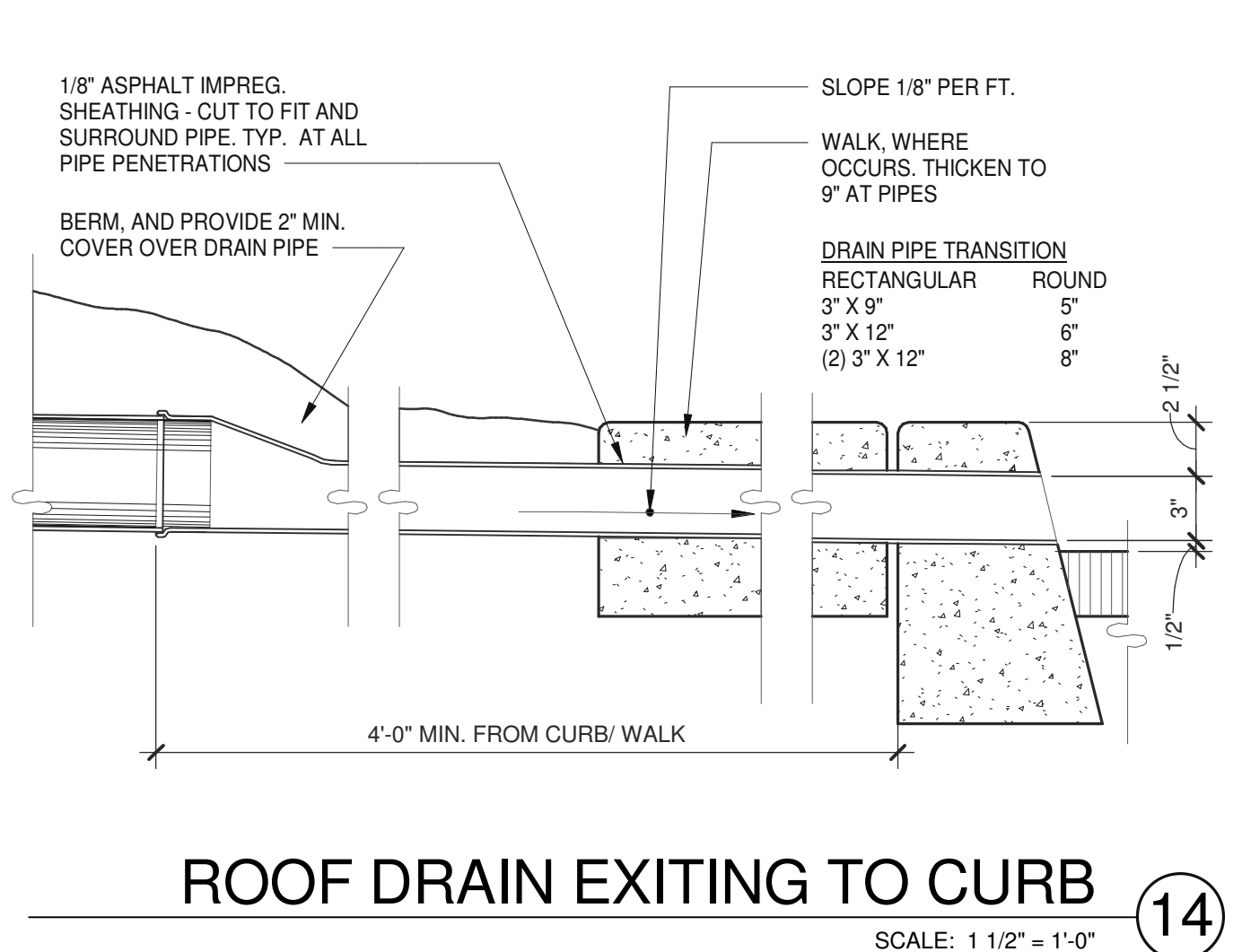
**TRASH ENCLOSURE PLAN** 9



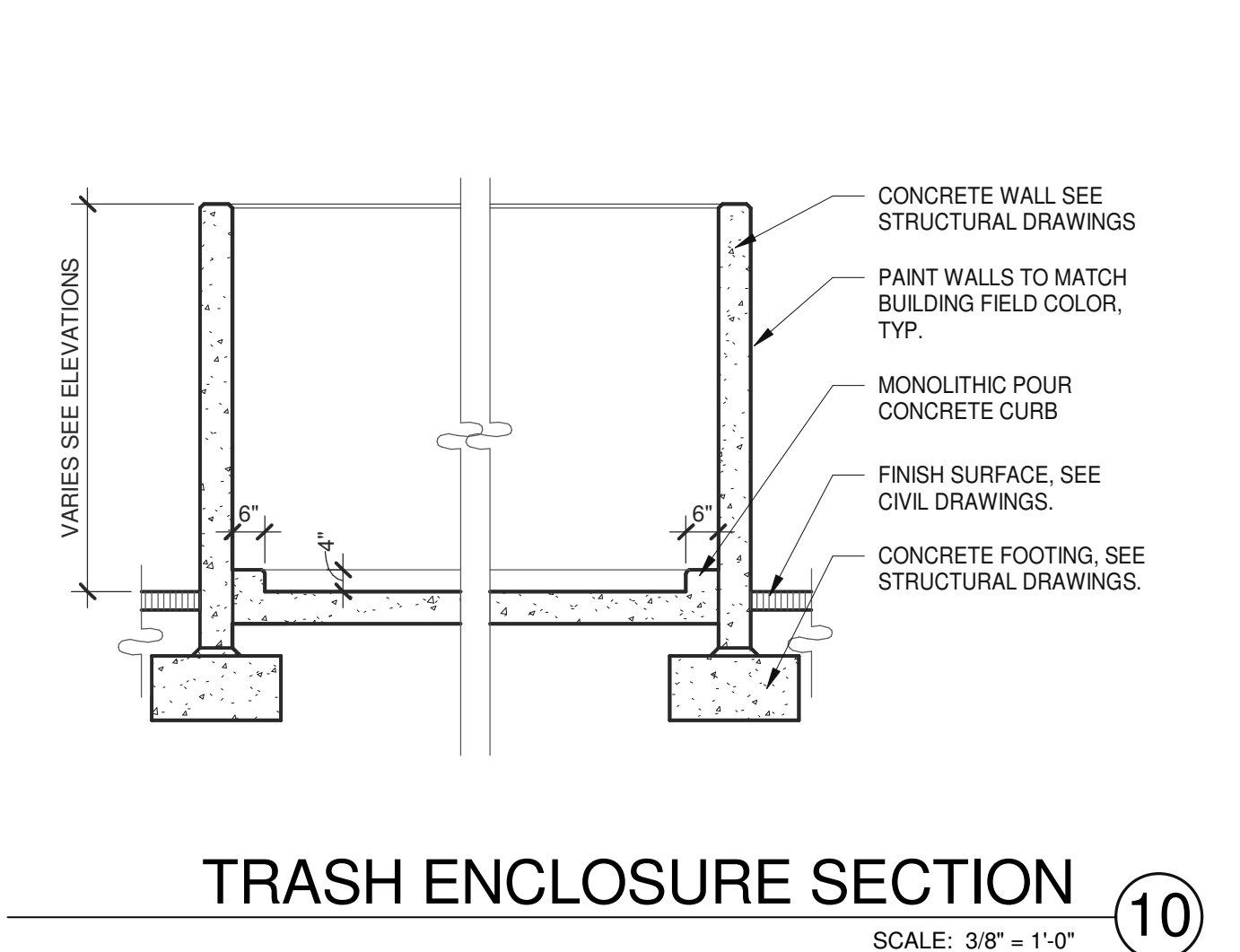
**FIRELANE ENTRY SIGNAGE** 5



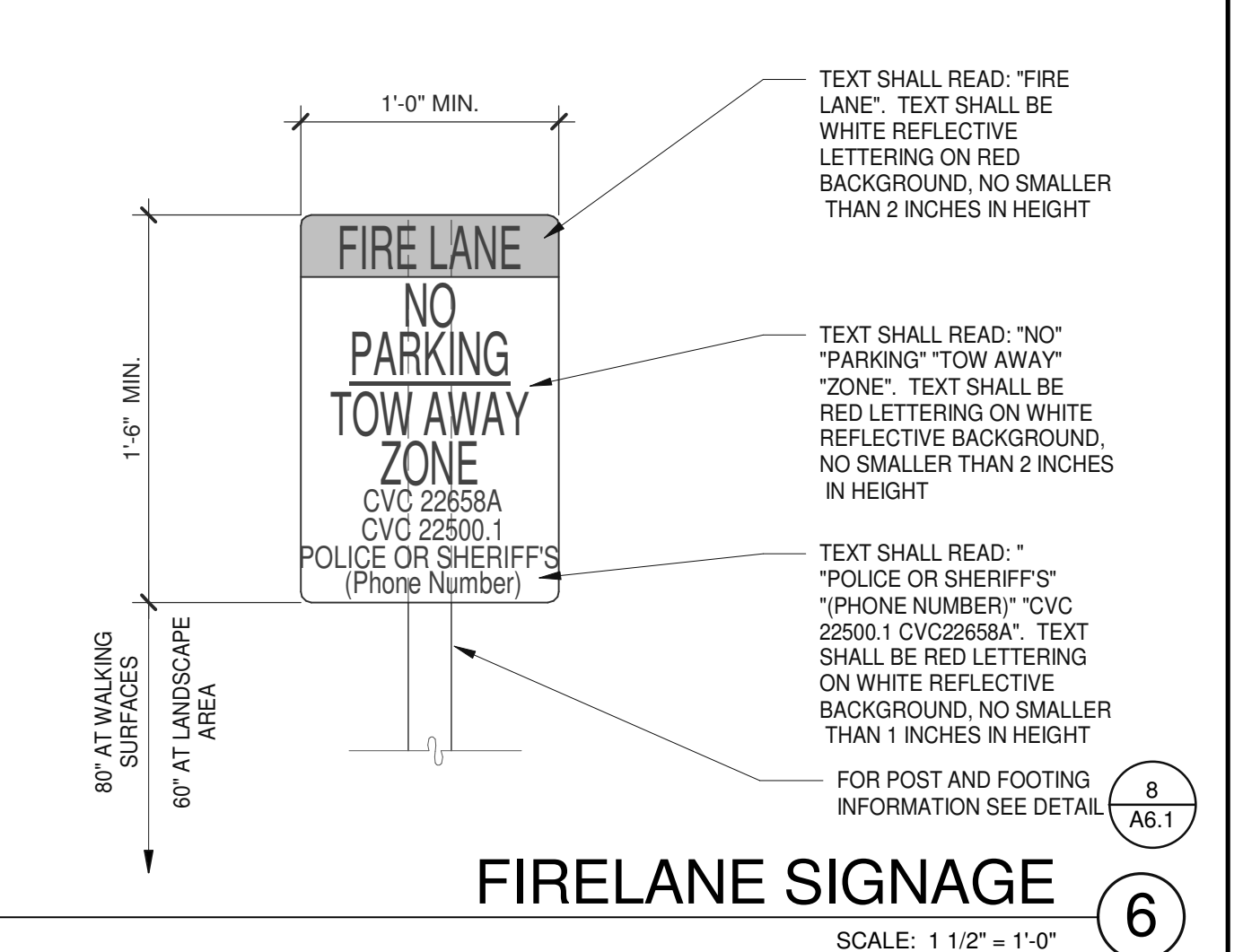
**TYPICAL PARKING STALLS** 1



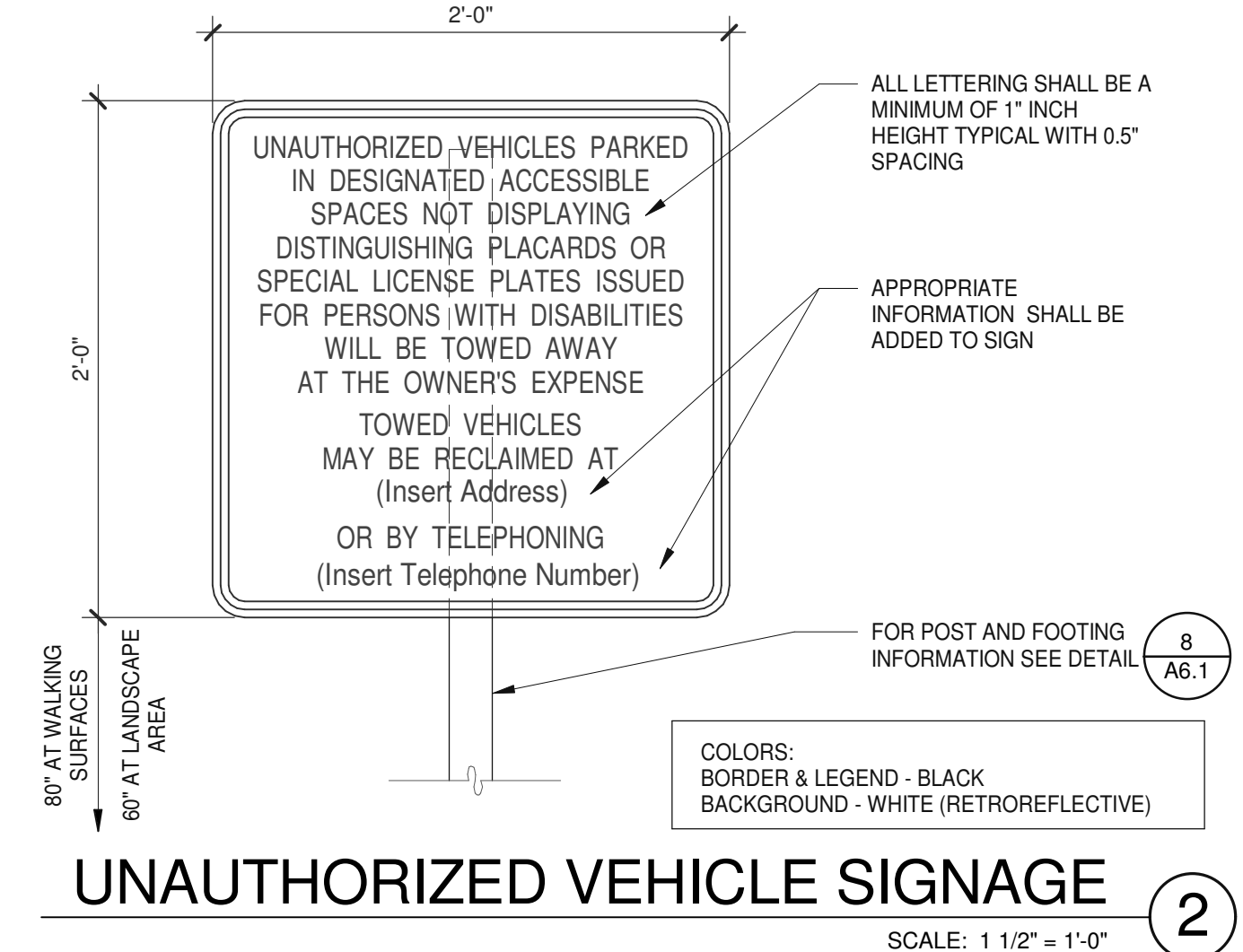
**ROOF DRAIN EXITING TO CURB** 14



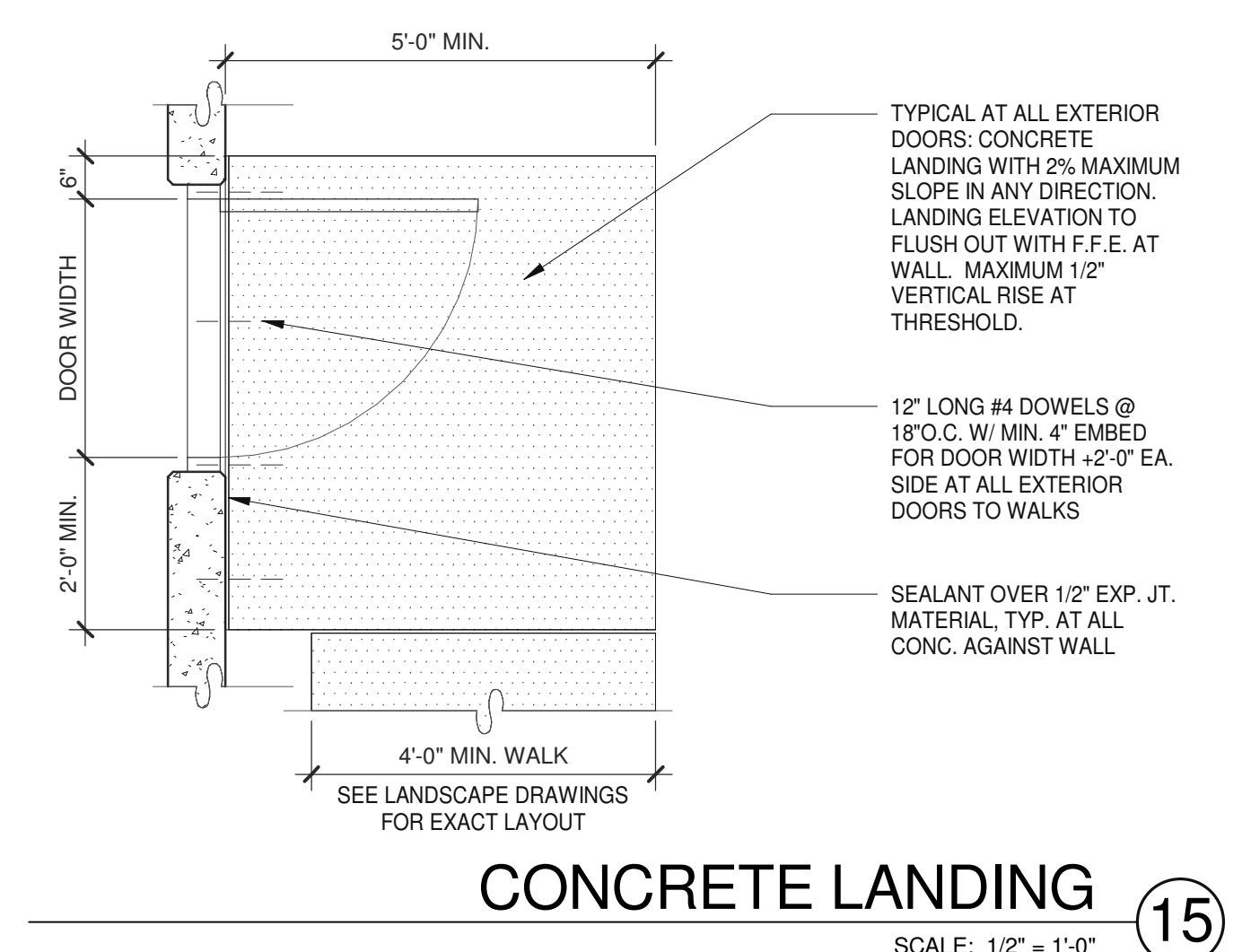
**TRASH ENCLOSURE SECTION** 10



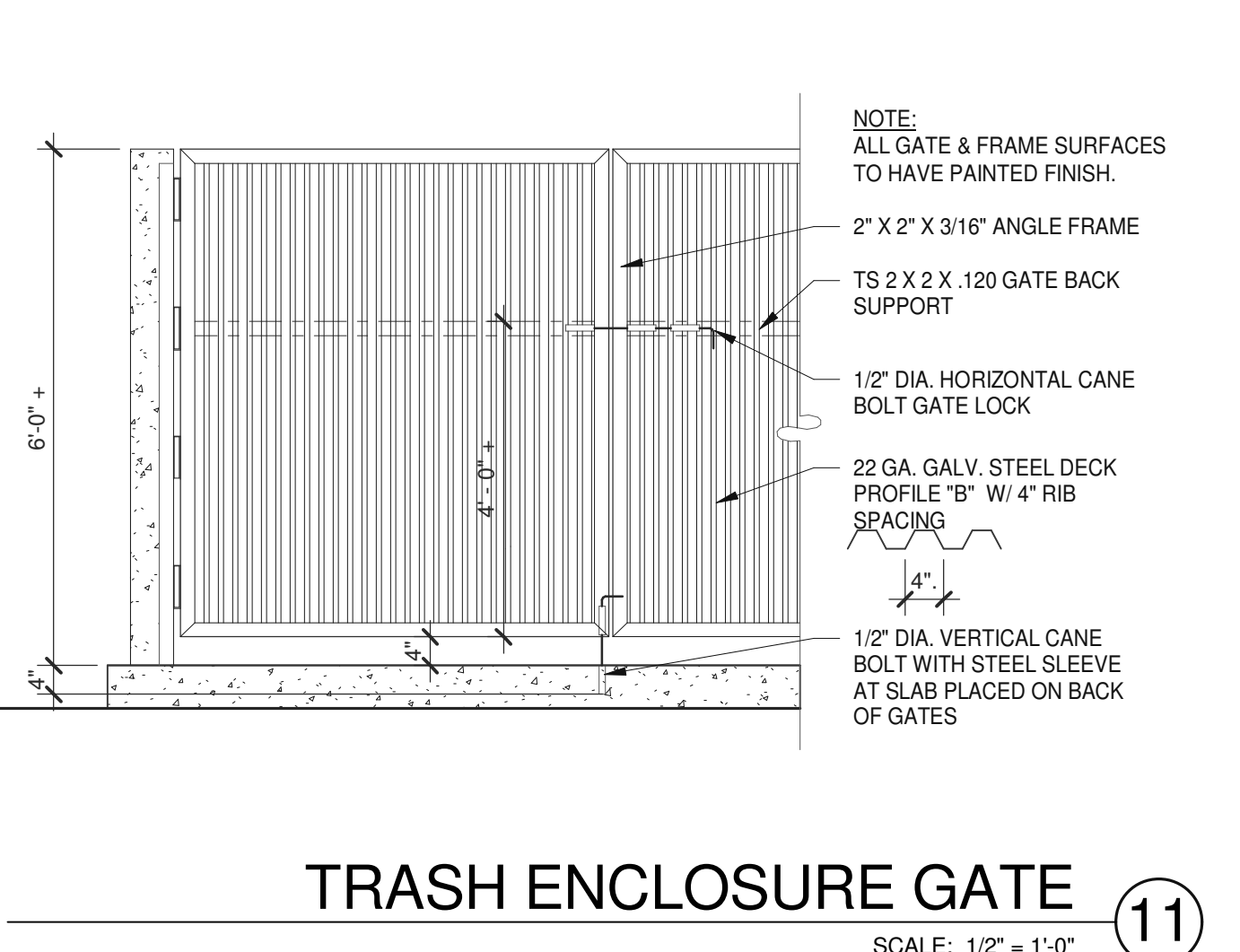
**FIRELANE SIGNAGE** 6



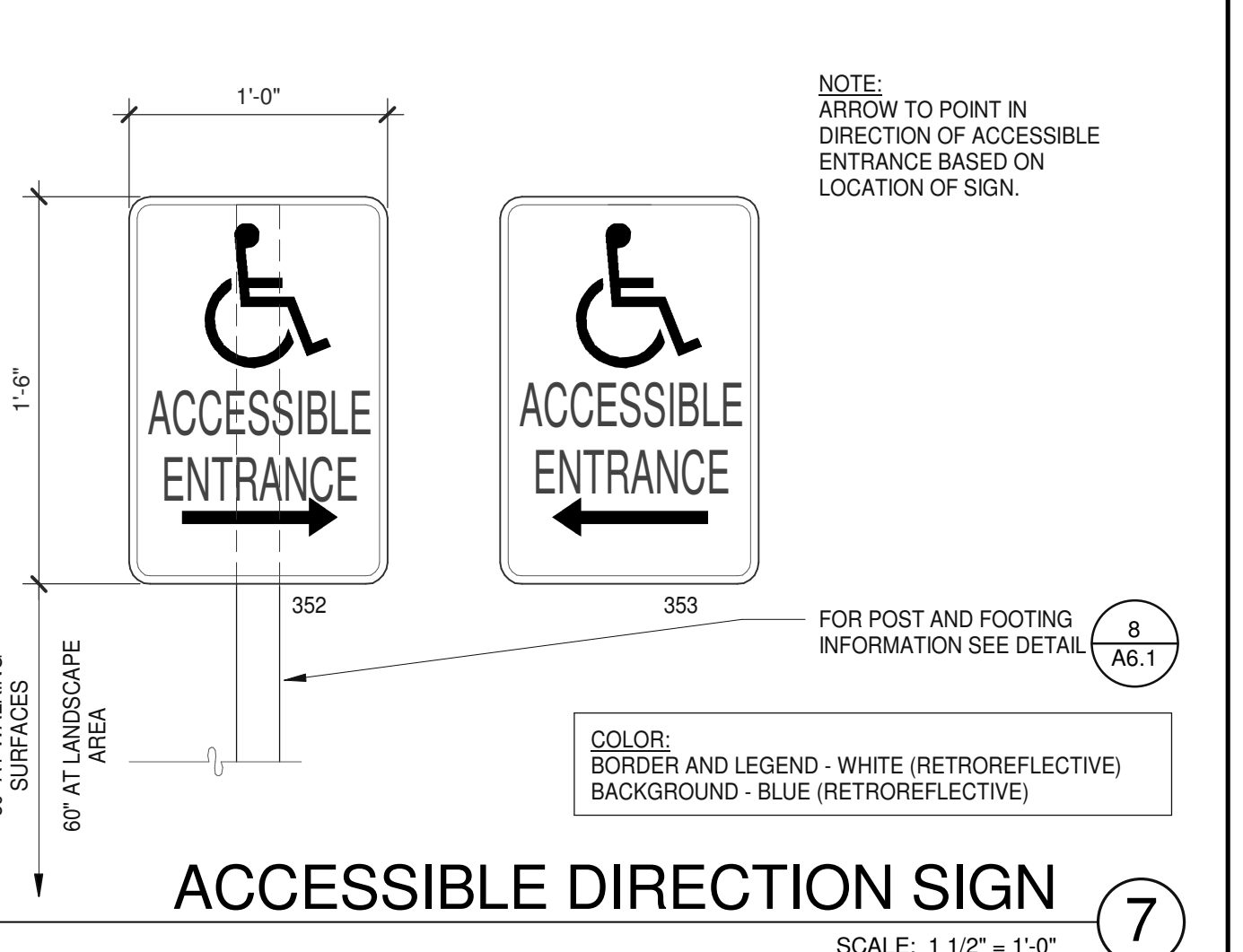
**UNAUTHORIZED VEHICLE SIGNAGE** 2



**CONCRETE LANDING** 15



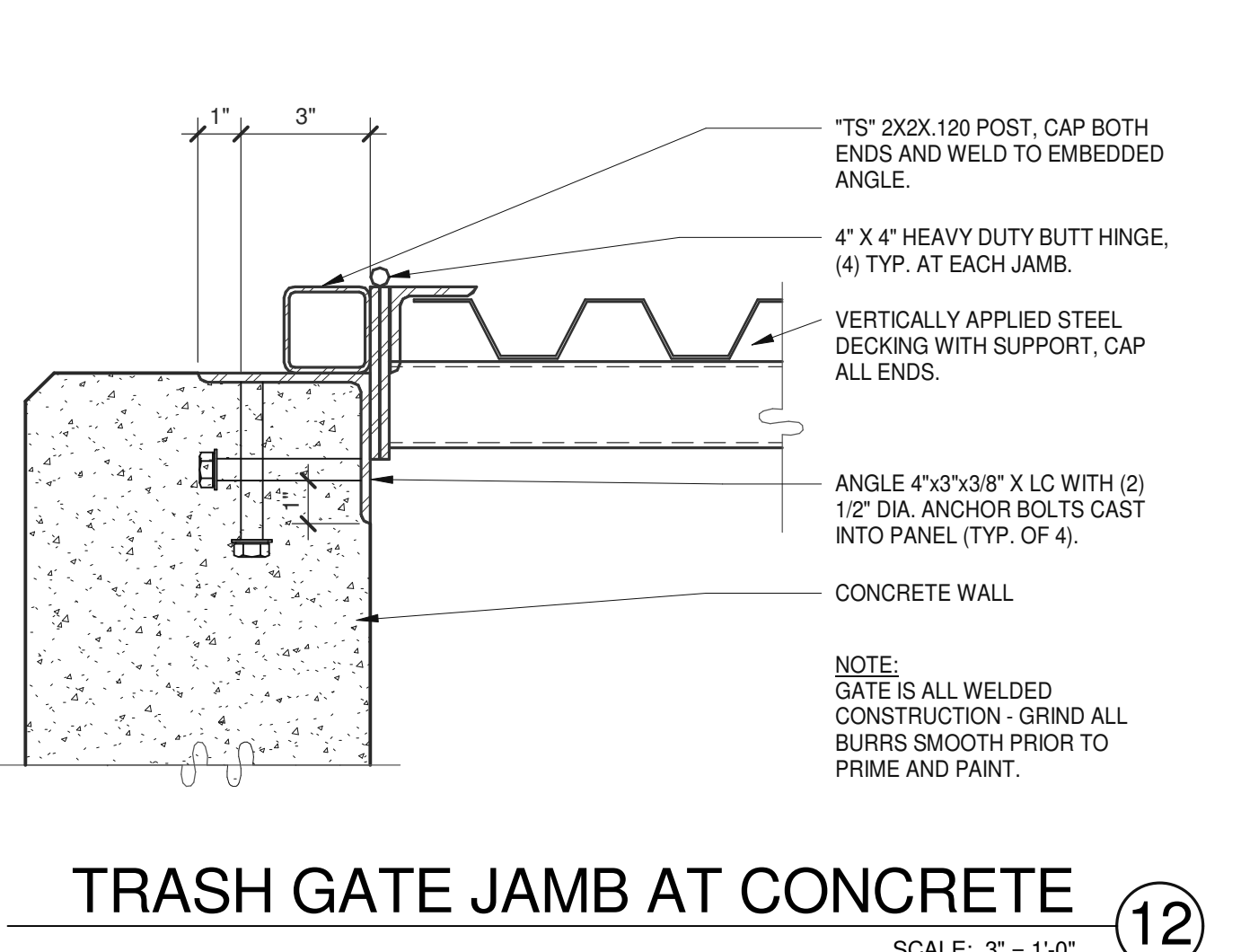
**TRASH ENCLOSURE GATE** 11



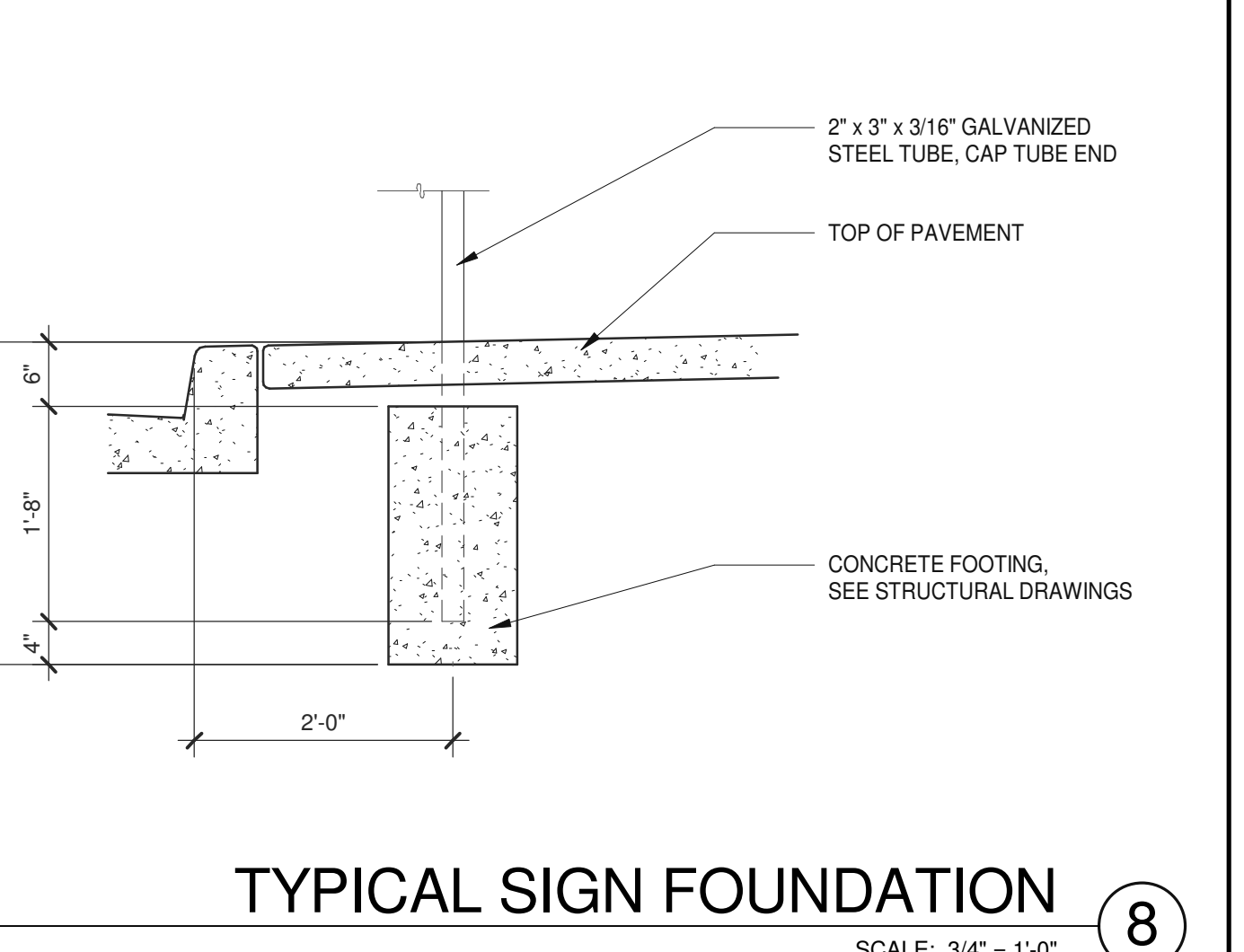
**ACCESSIBLE DIRECTION SIGN** 7



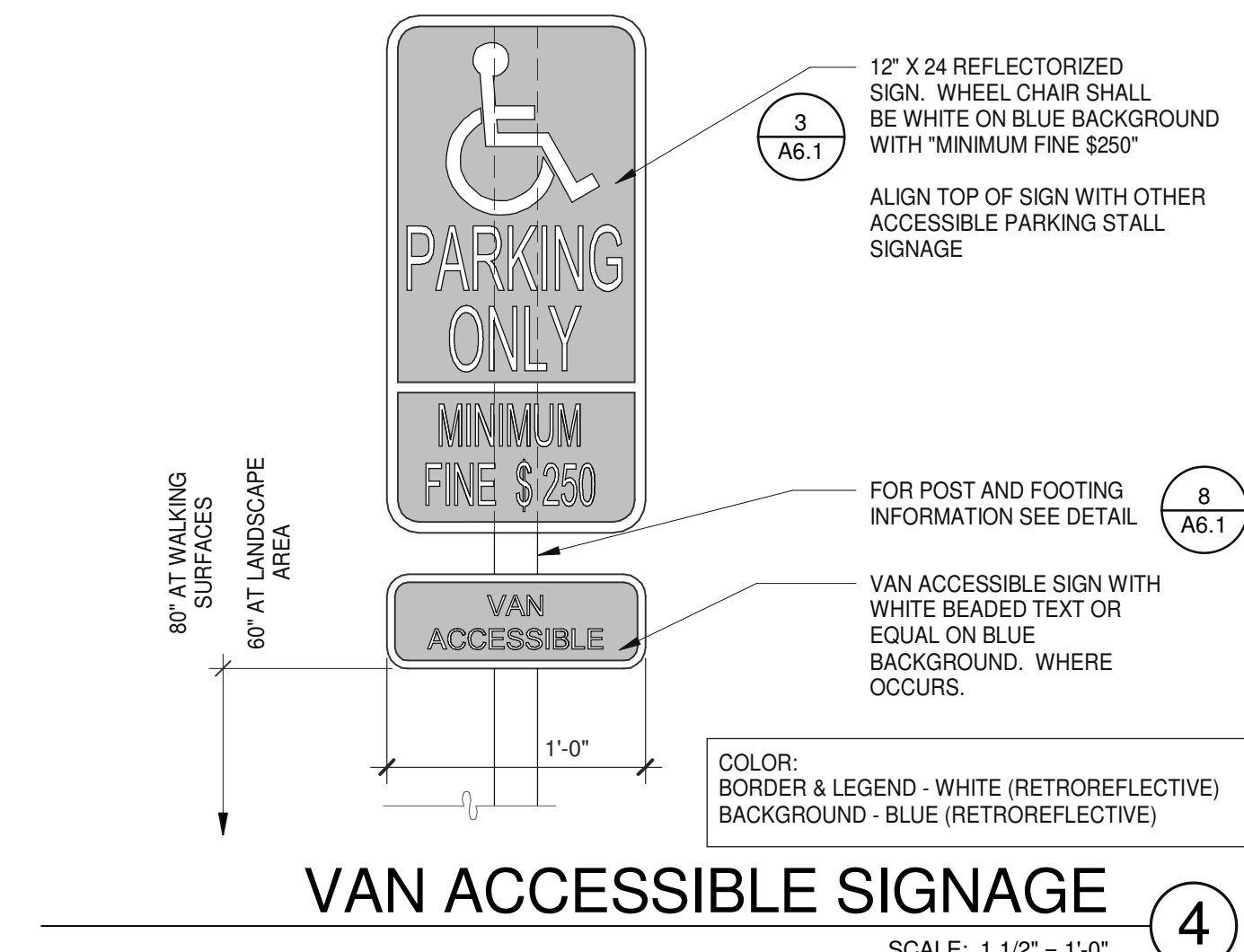
**ACCESSIBLE SIGNS** 3



**TRASH GATE JAMB AT CONCRETE** 12



**TYPICAL SIGN FOUNDATION** 8



**VAN ACCESSIBLE SIGNAGE** 4

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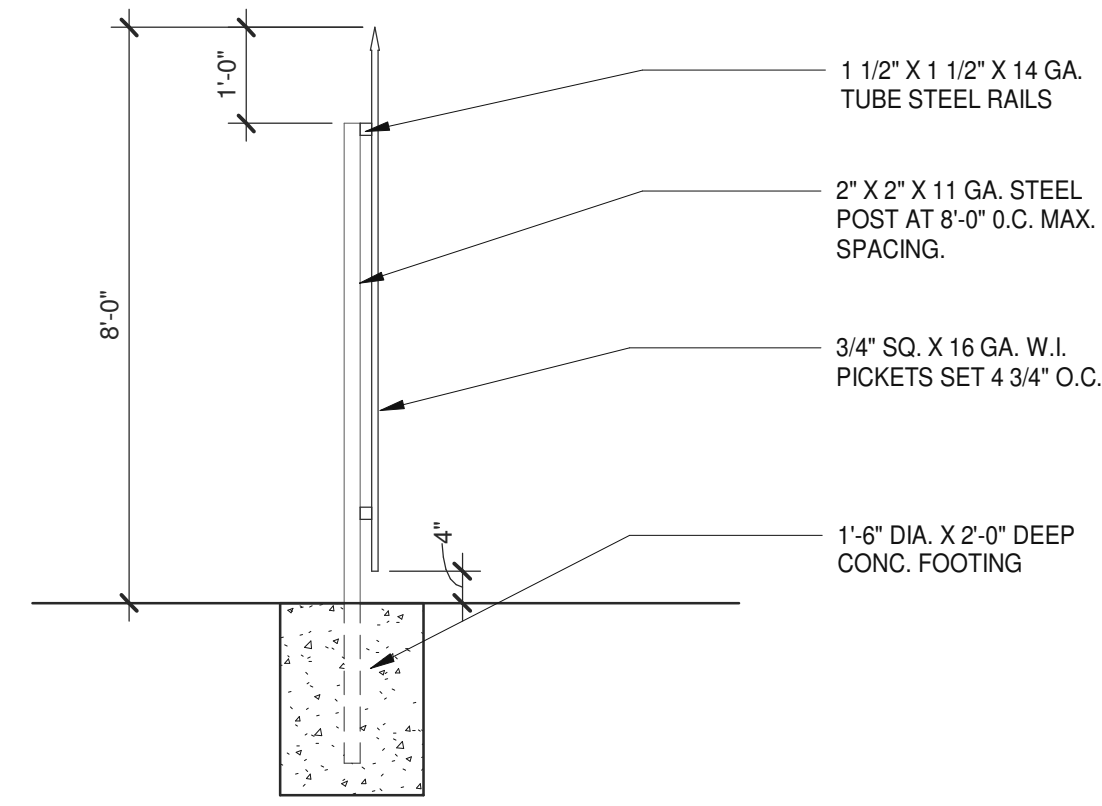
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JOB NO.: SNR17-0069-00

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**A6.1**

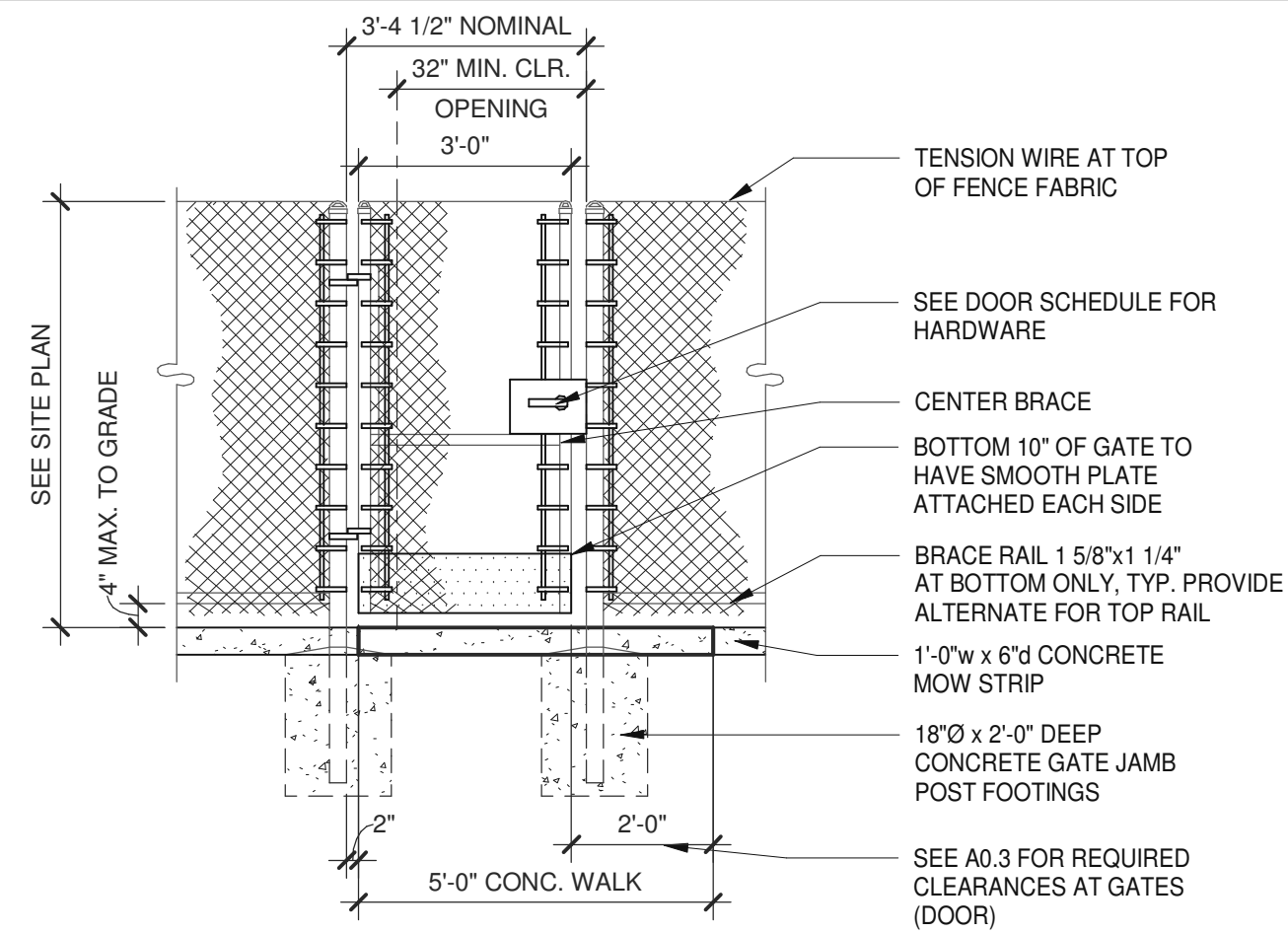
NOTE: FENCE TO PAINTED PER CLIENT SPECIFICATION



**WROUGHT IRON FENCE**

SCALE: 1/2" = 1'-0"

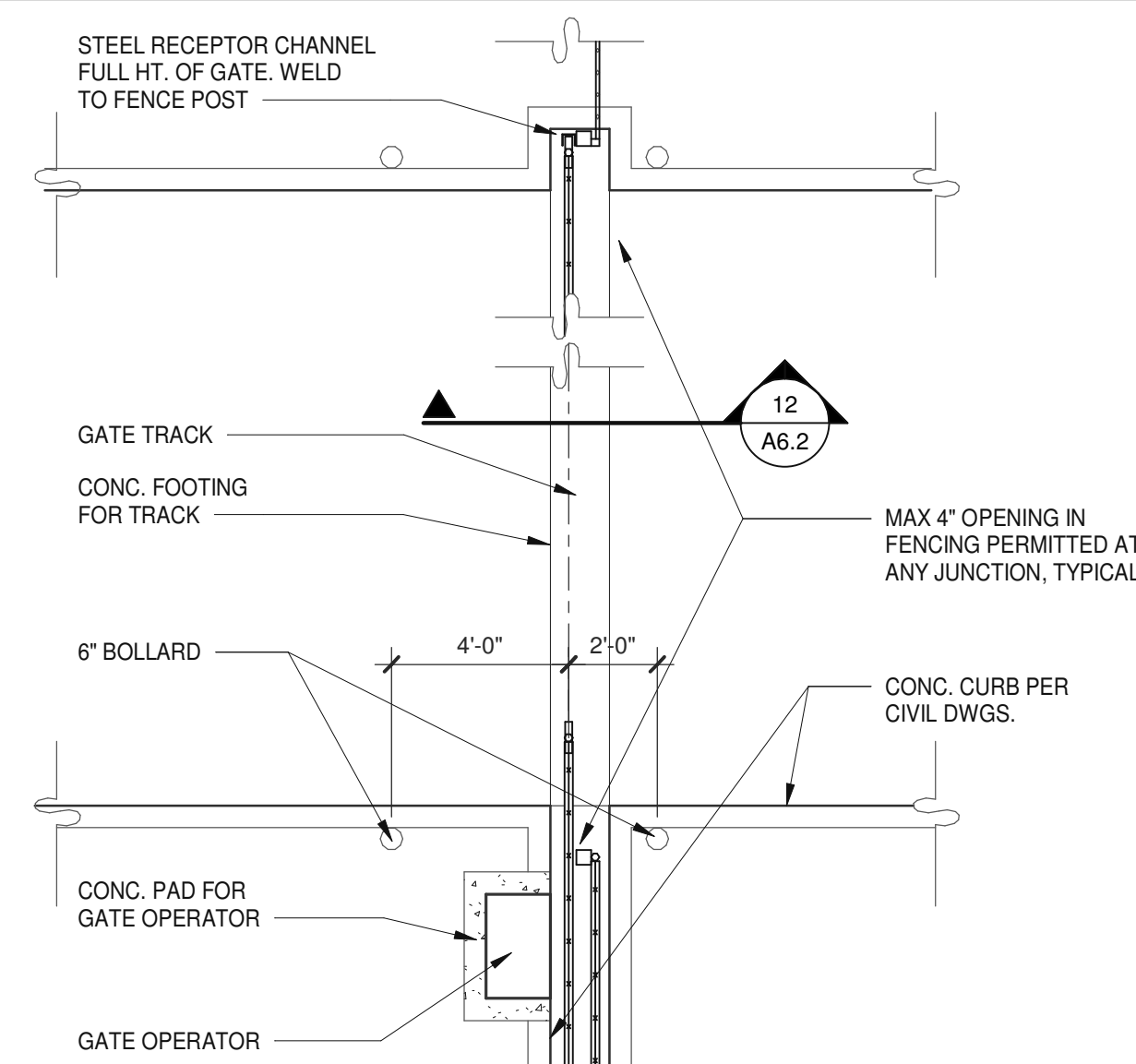
13



**CHAIN LINK GATE**

SCALE: 3/8" = 1'-0"

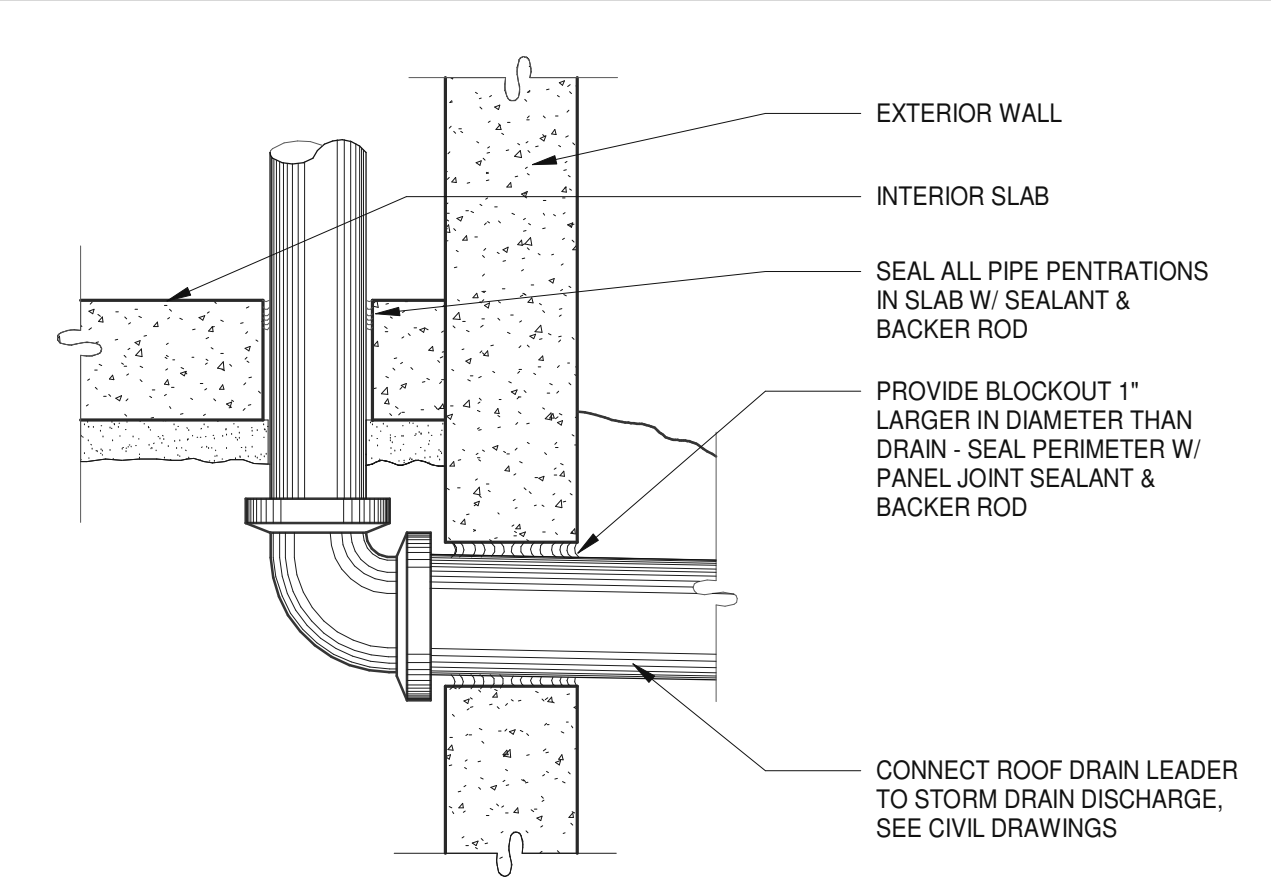
9



**SLIDING GATE - PLAN**

SCALE: 1/4" = 1'-0"

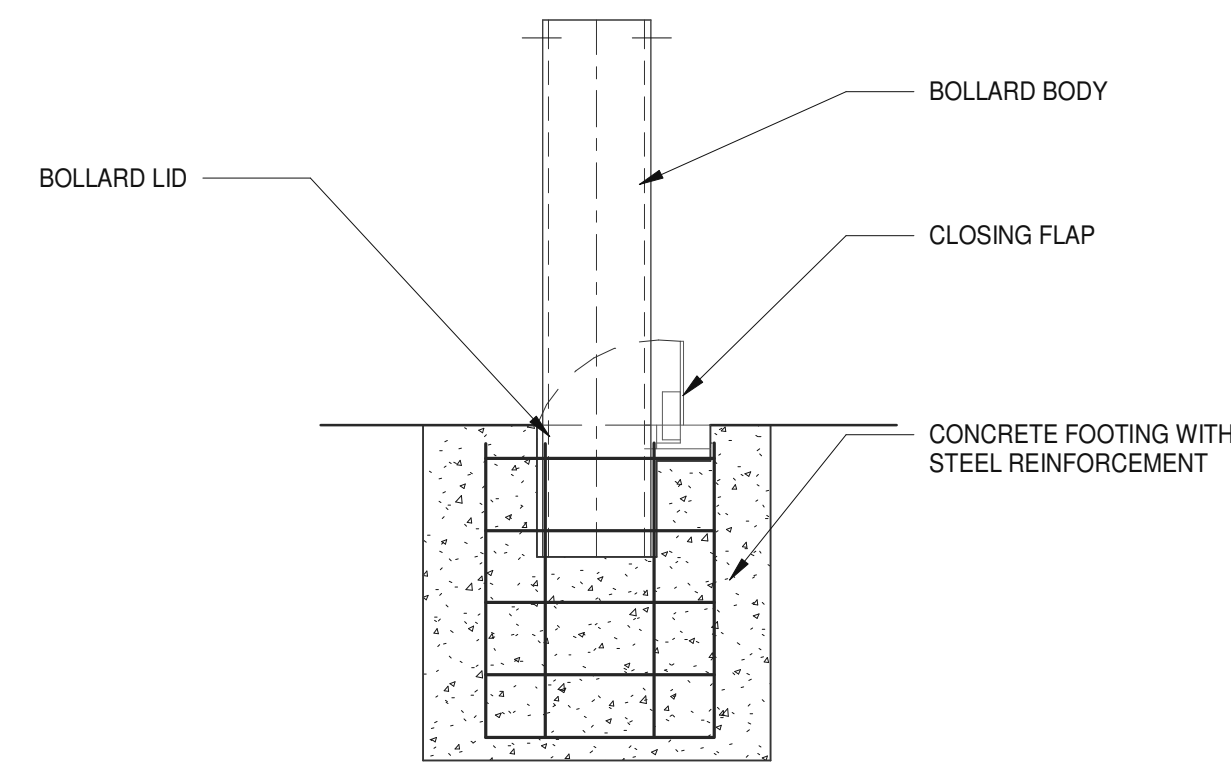
6



**ROOF DRAIN LEADER**

SCALE: 1 1/2" = 1'-0"

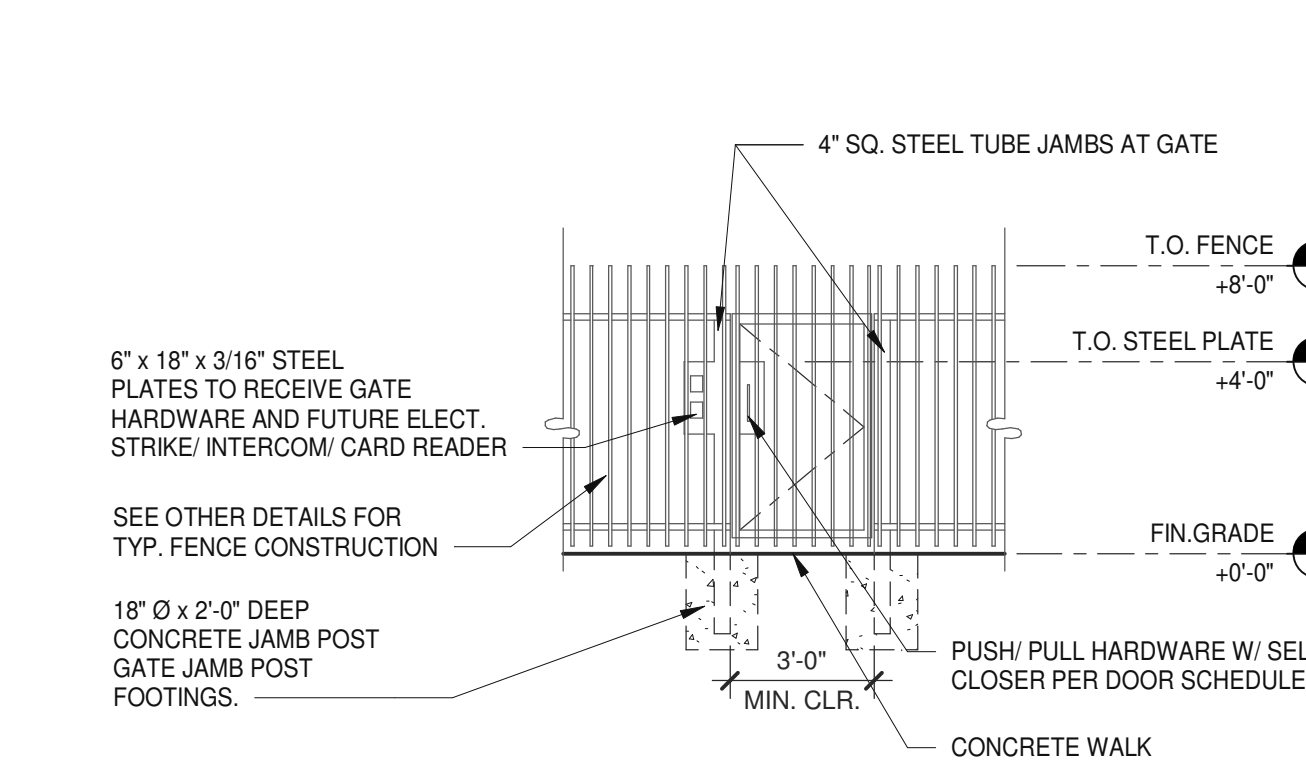
1



**REMOVABLE/LOCKABLE BOLLARD**

SCALE: 3/4" = 1'-0"

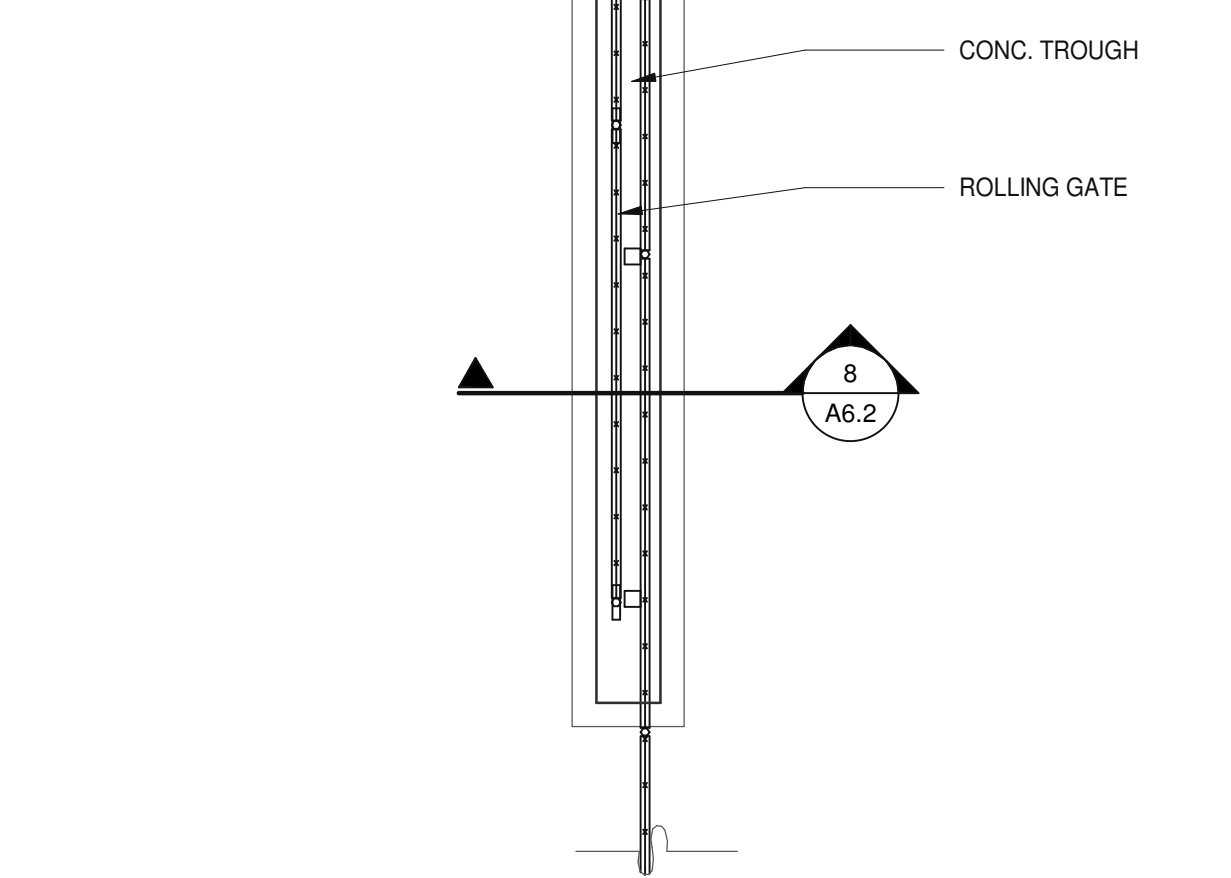
14



**WROUGHT IRON GATE**

SCALE: 1/4" = 1'-0"

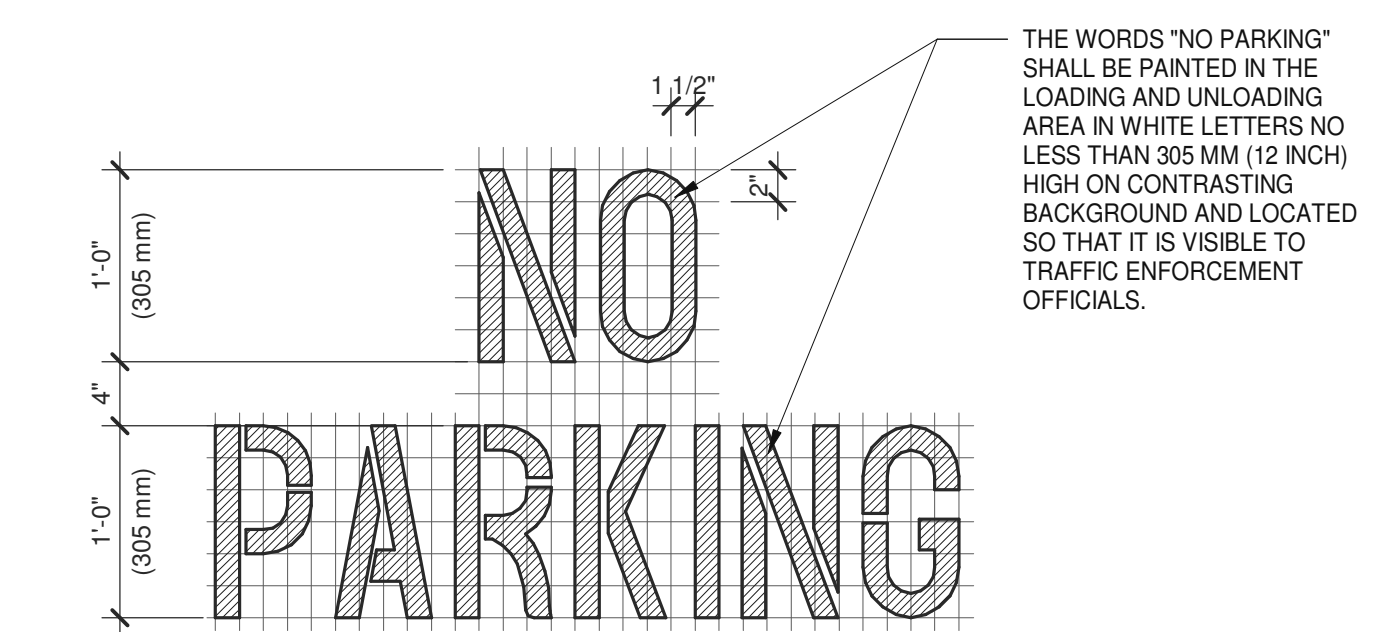
10



**SLIDING GATE - SECTION**

SCALE: 1" = 1'-0"

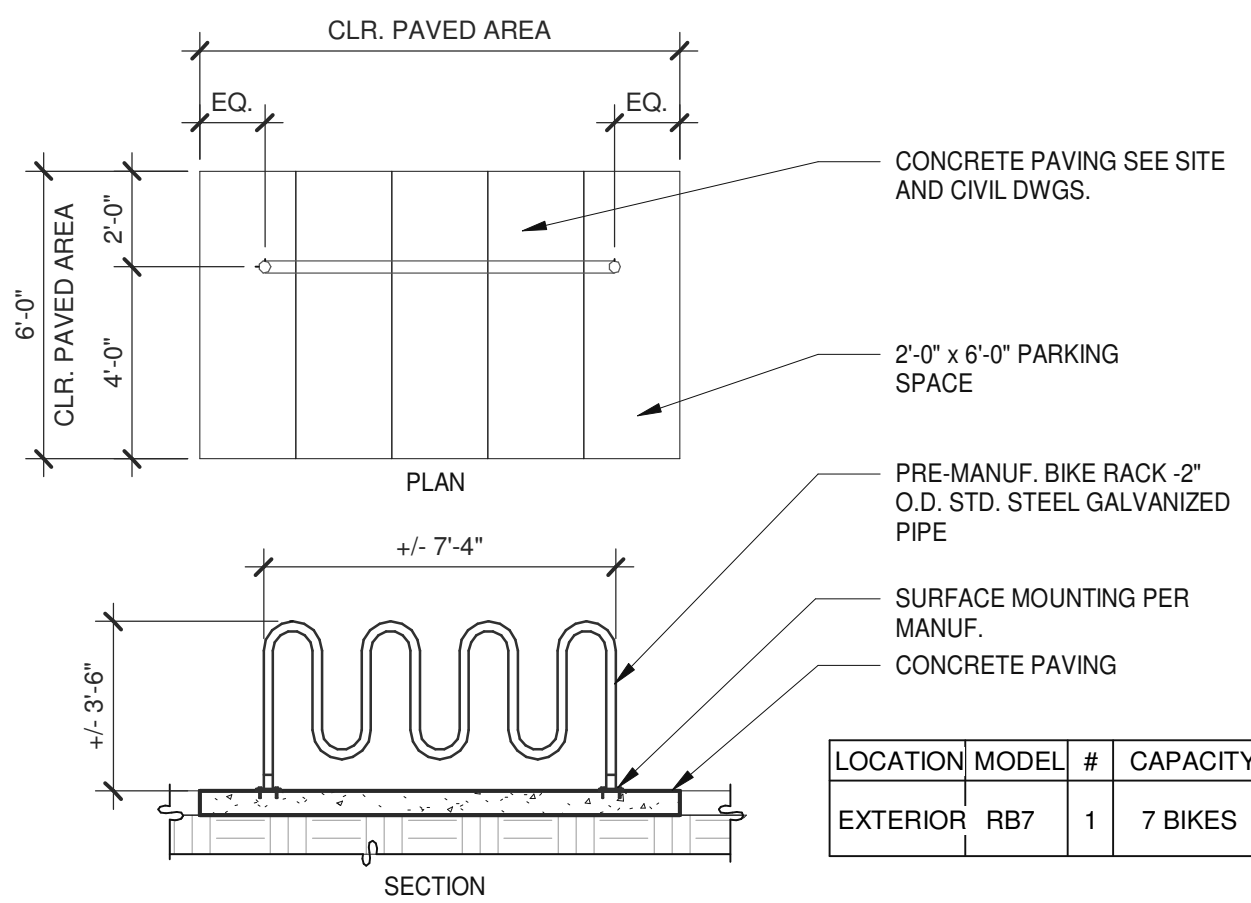
8



**"NO PARKING" PAVEMENT MARKING**

SCALE: 1" = 1'-0"

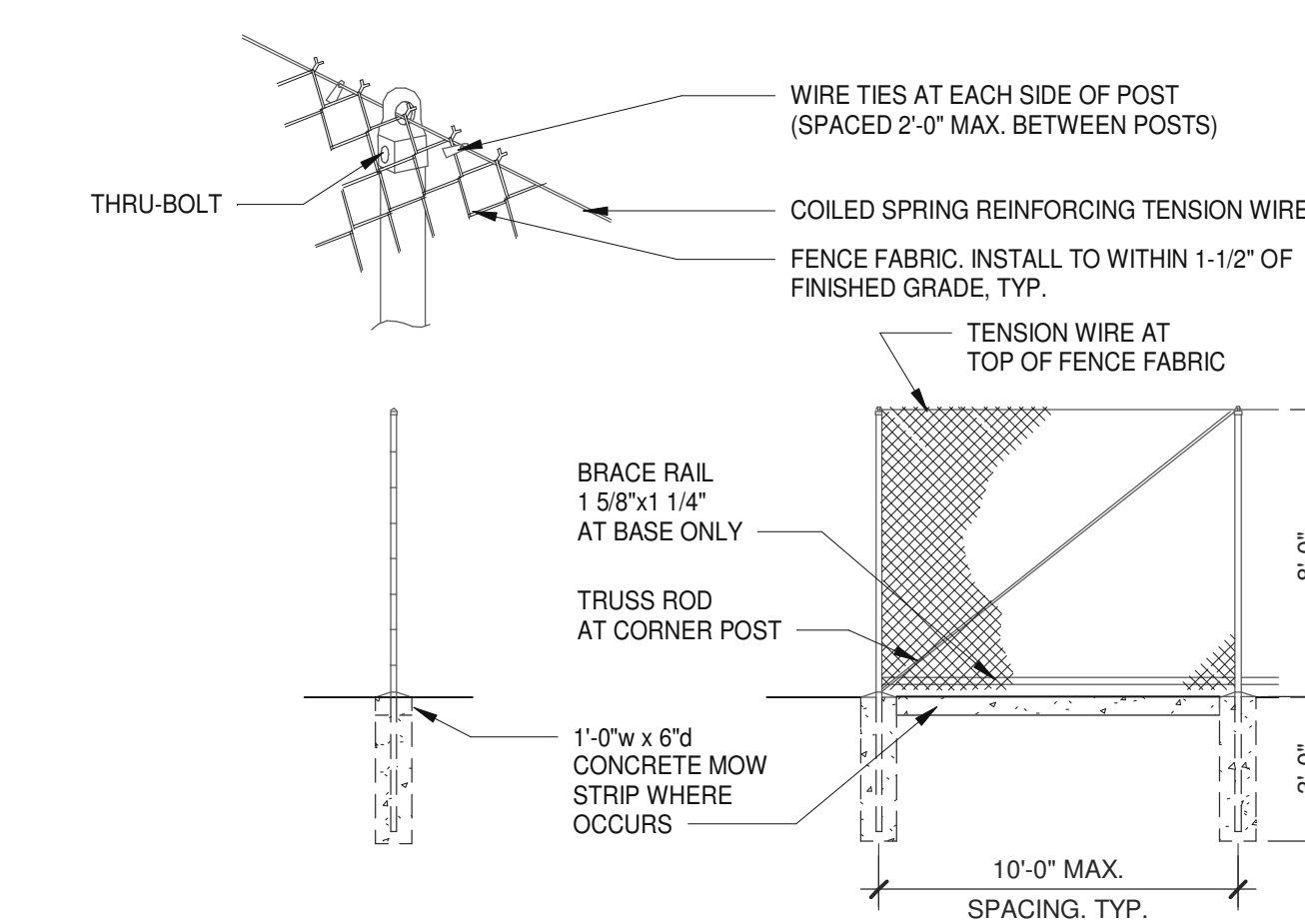
2



**BIKE RACK DETAIL**

SCALE: 1/4" = 1'-0"

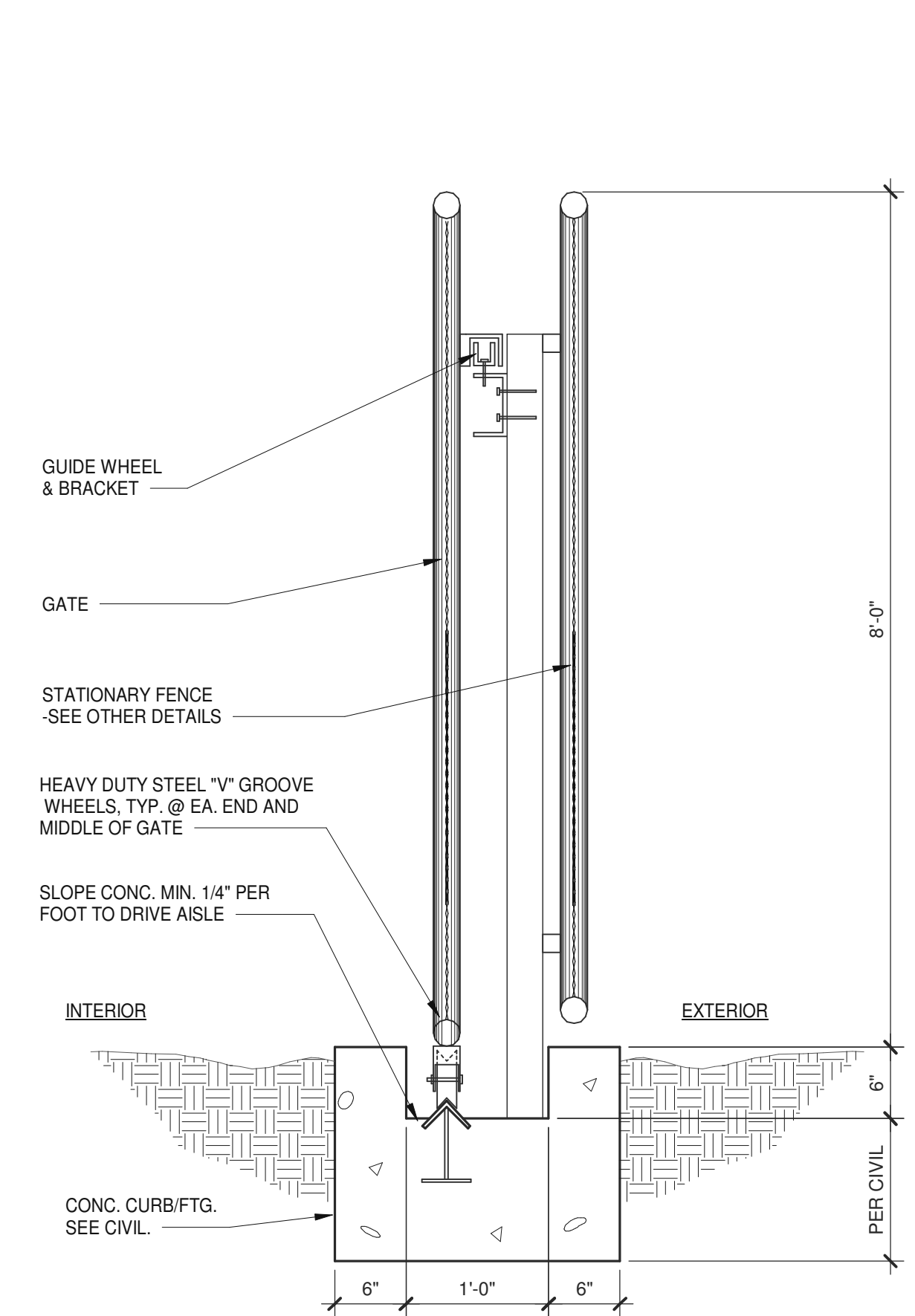
15



**CHAIN LINK FENCE**

SCALE: 1/4" = 1'-0"

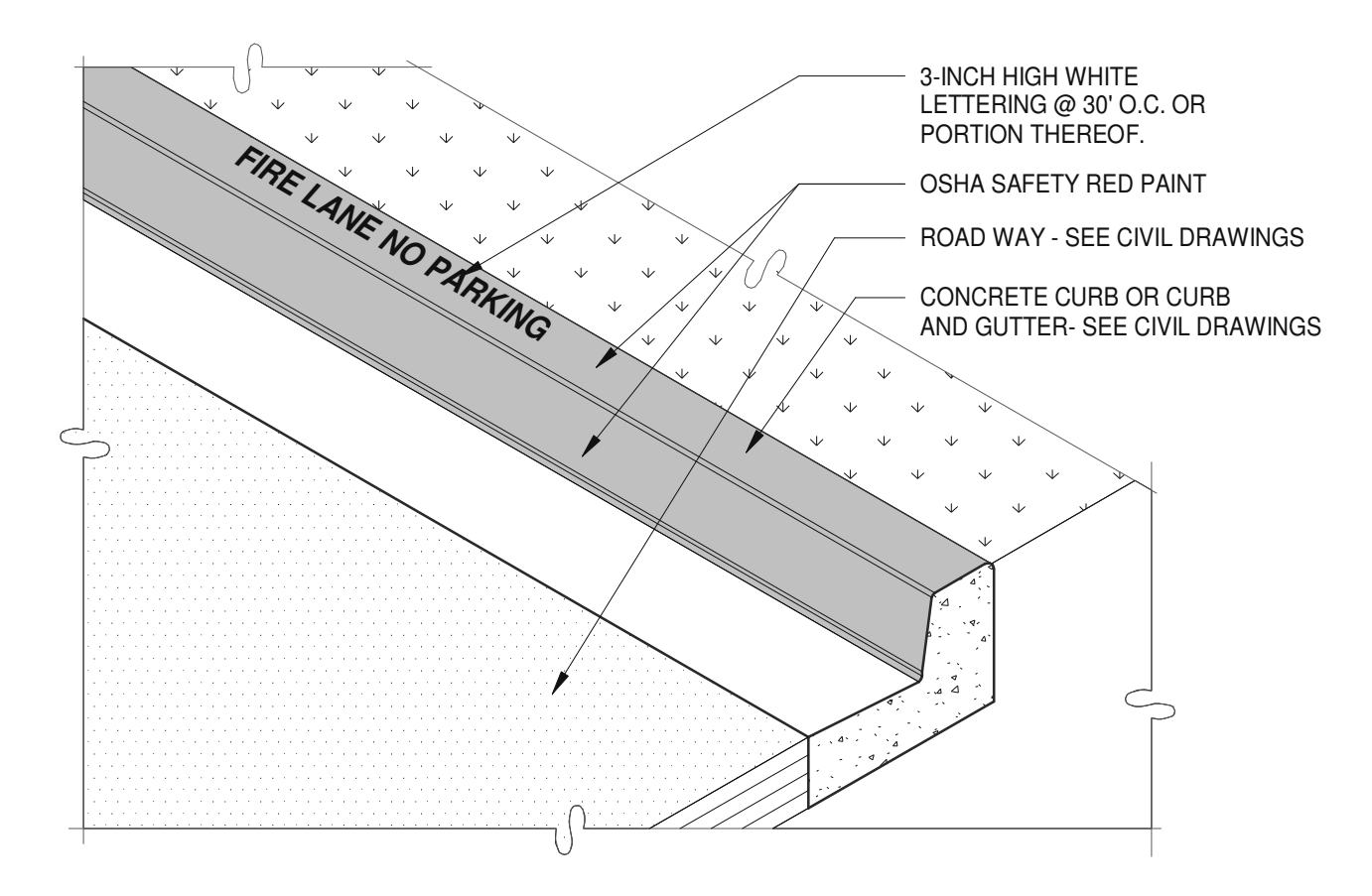
11



**SLIDING GATE - SECTION**

SCALE: 1" = 1'-0"

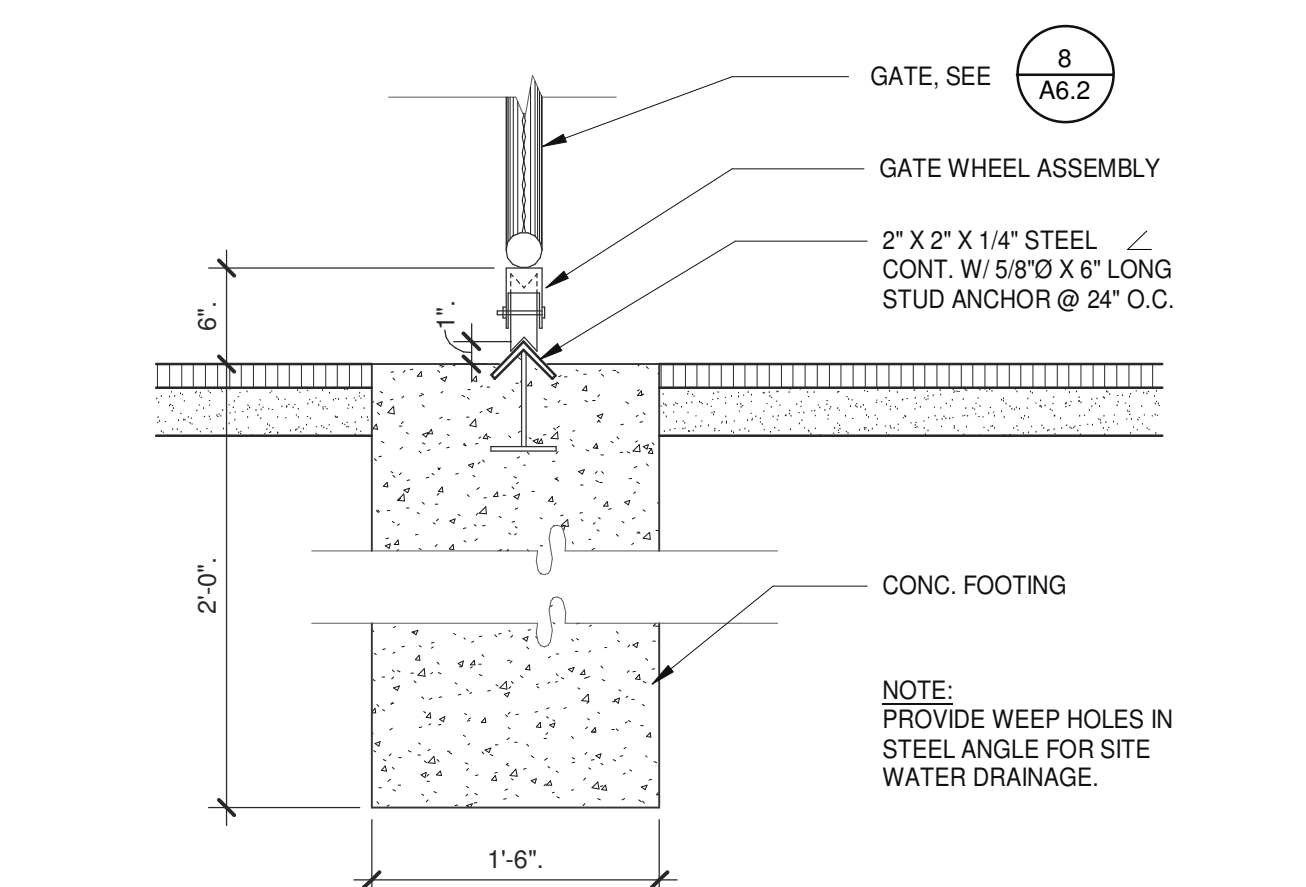
8



**FIRE LANE CURB**

SCALE: 3/4" = 1'-0"

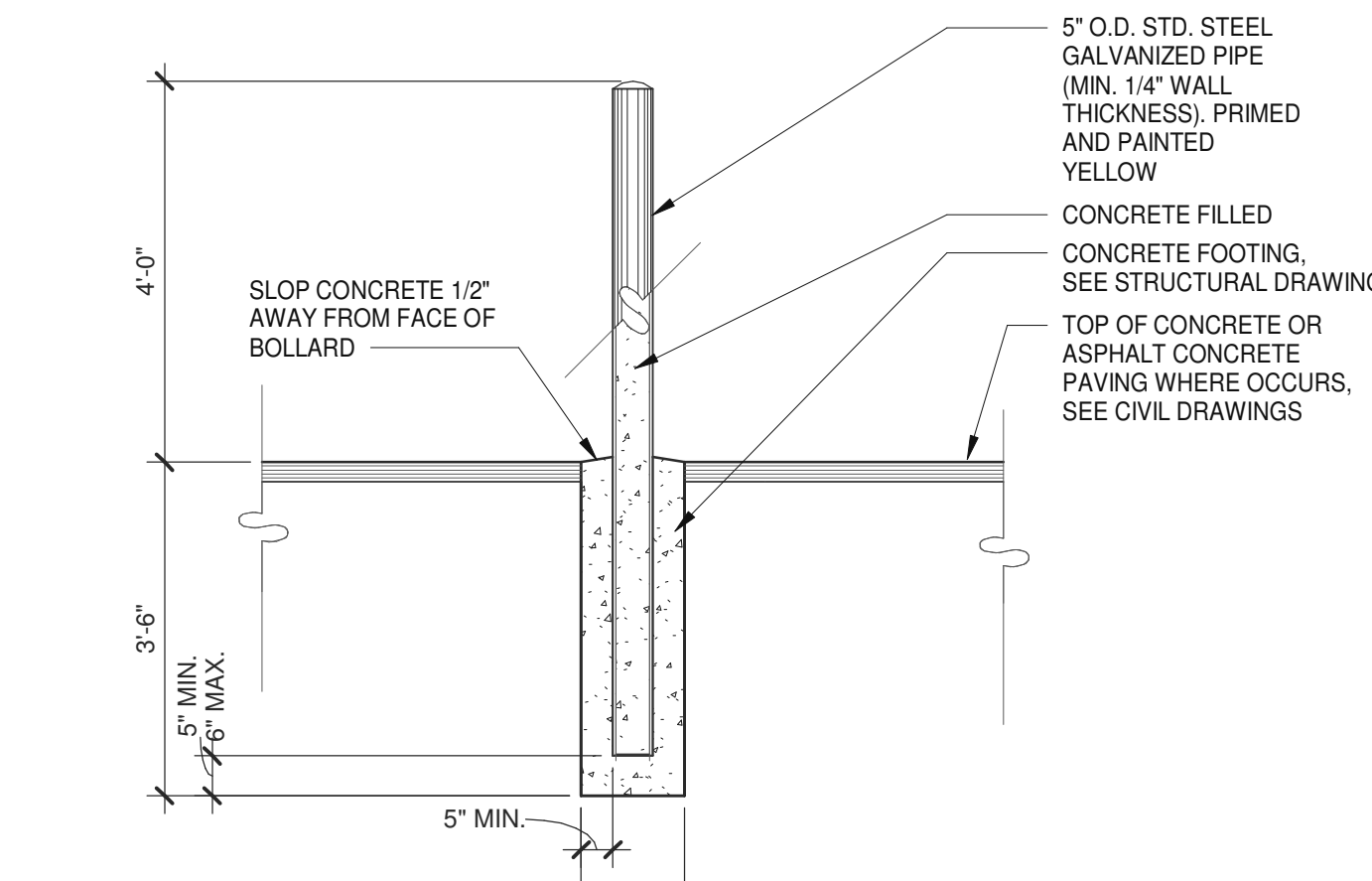
3



**SLIDING GATE - TRACK**

SCALE: 3/4" = 1'-0"

12



**BOLLARD**

SCALE: 1/2" = 1'-0"

4

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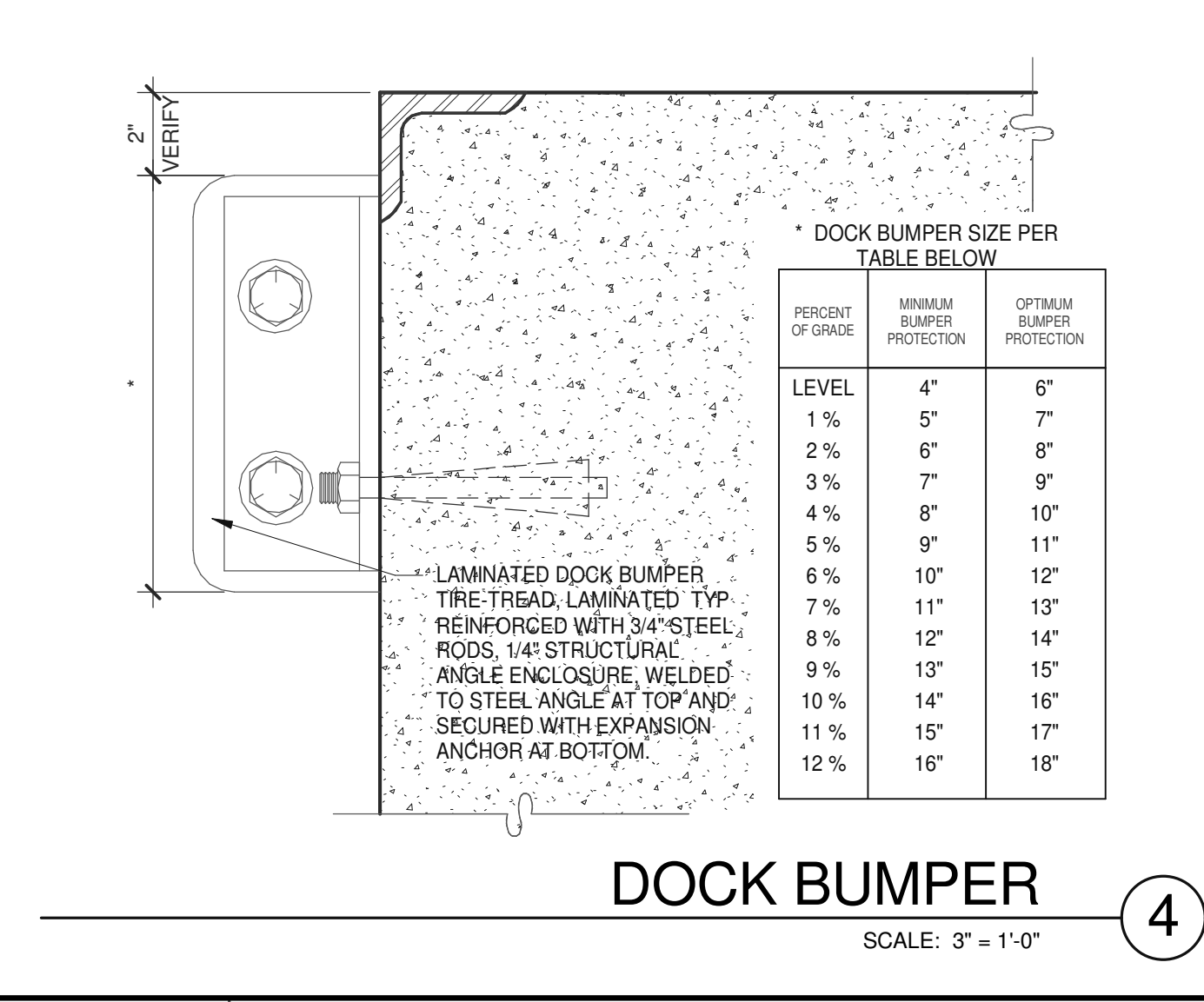
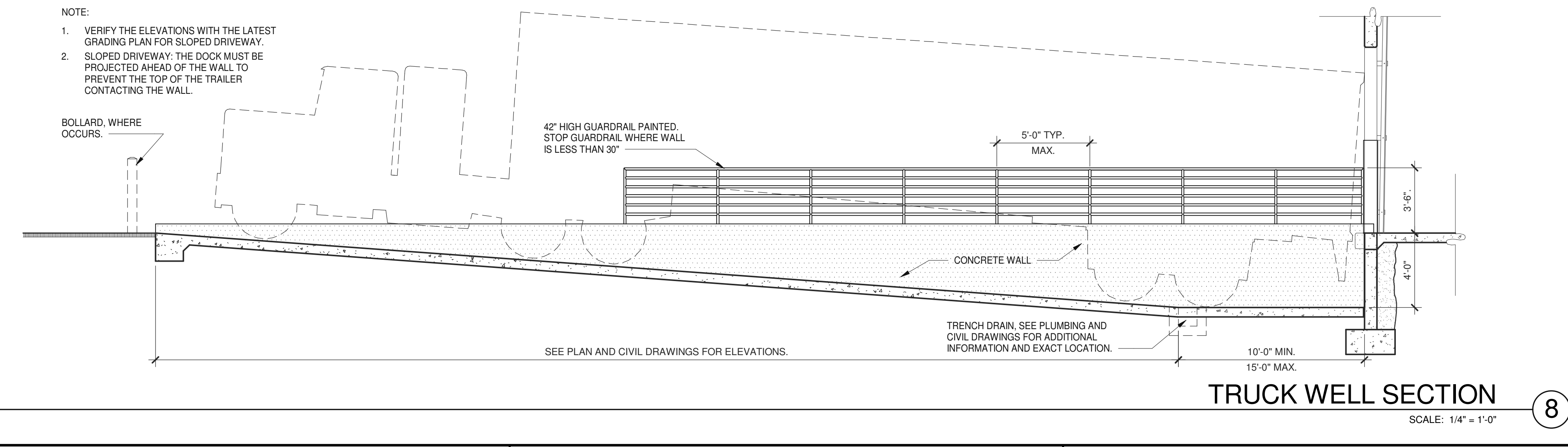
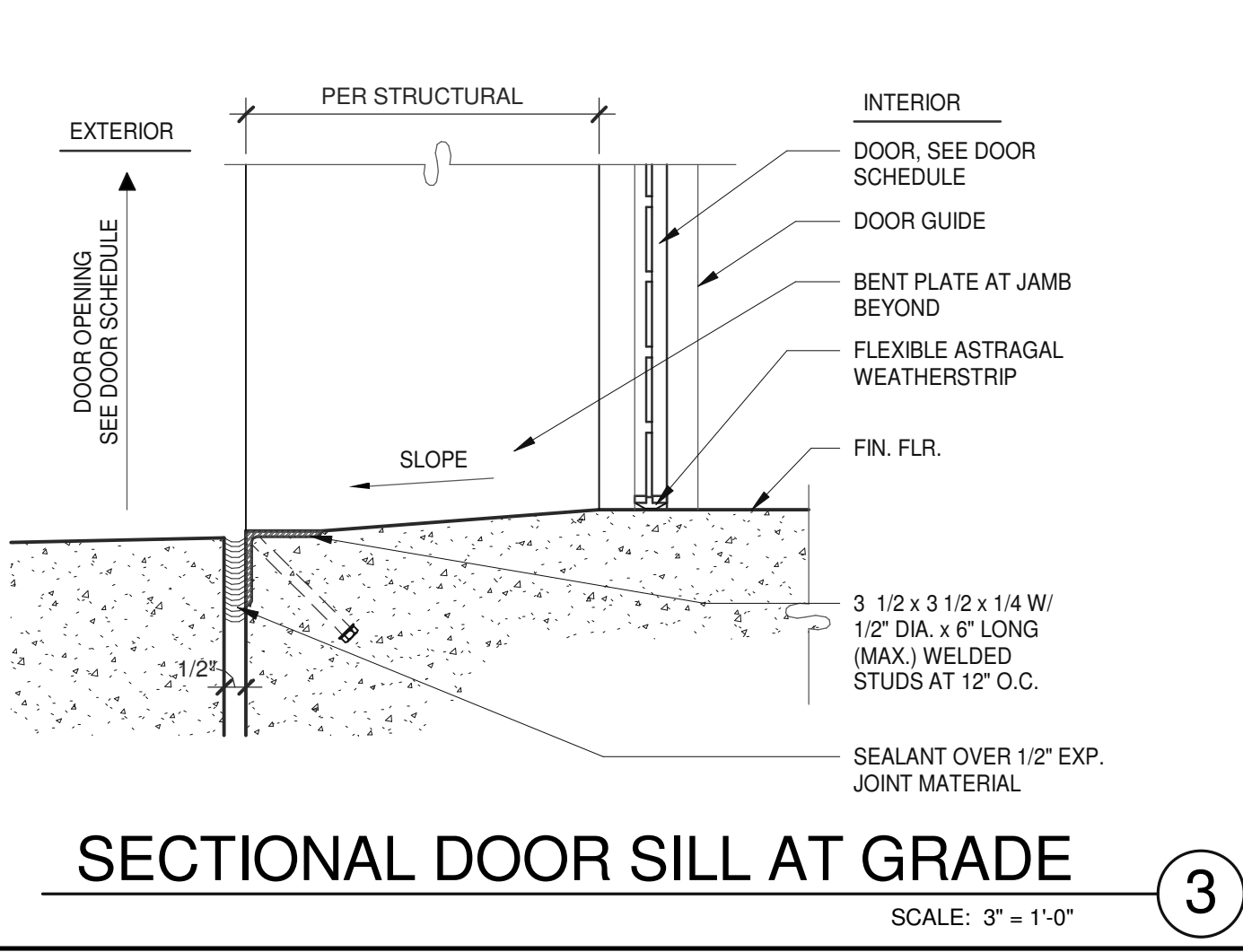
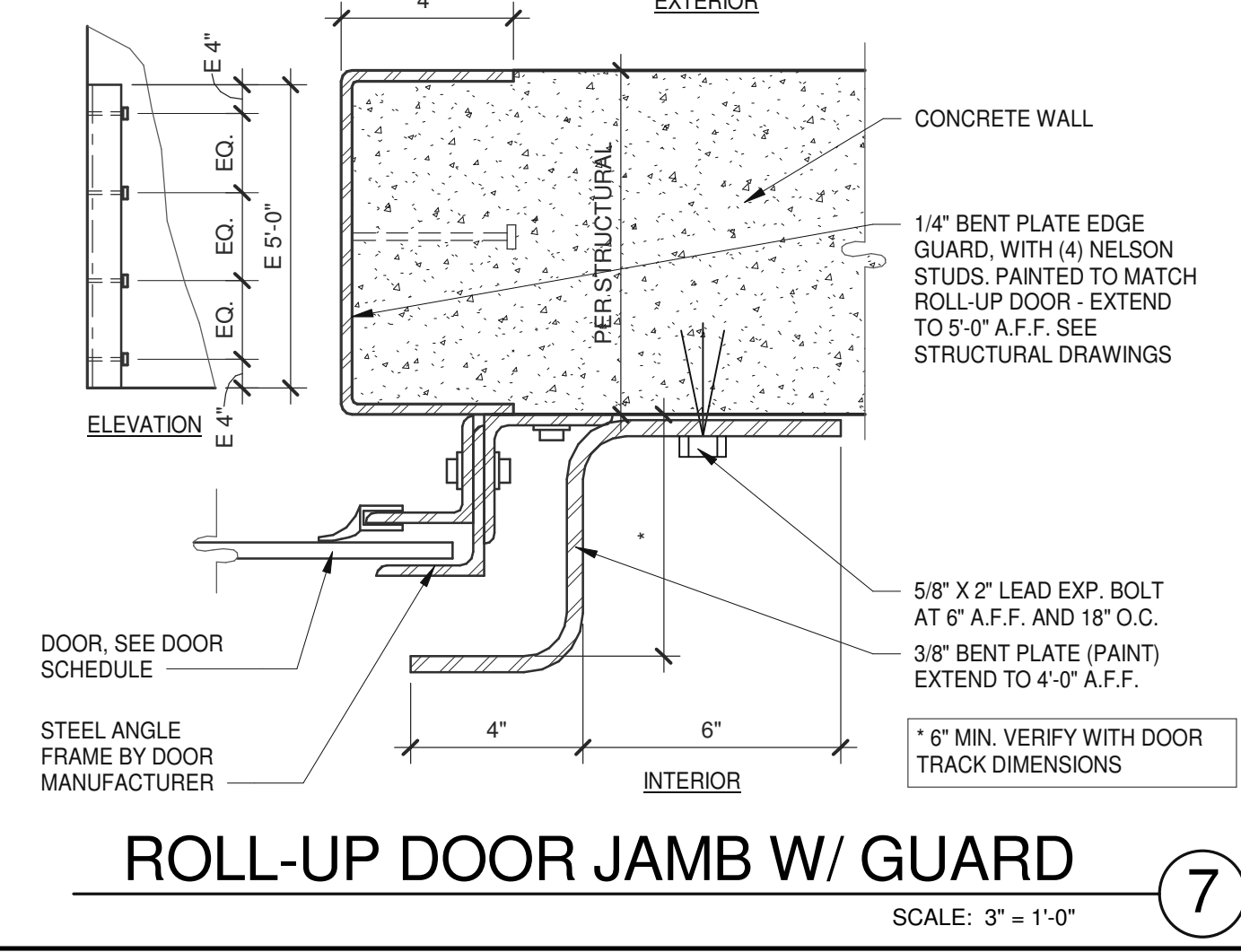
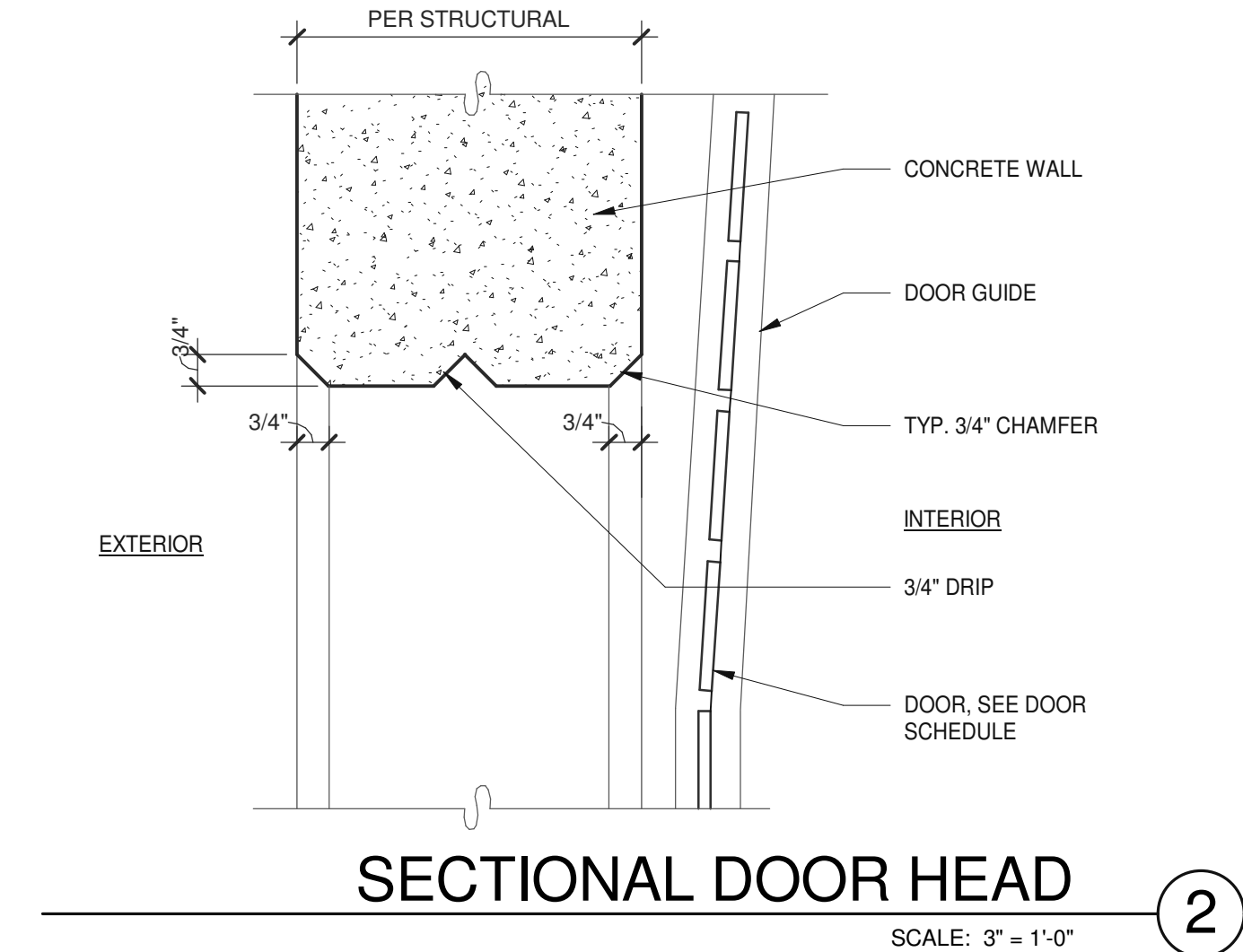
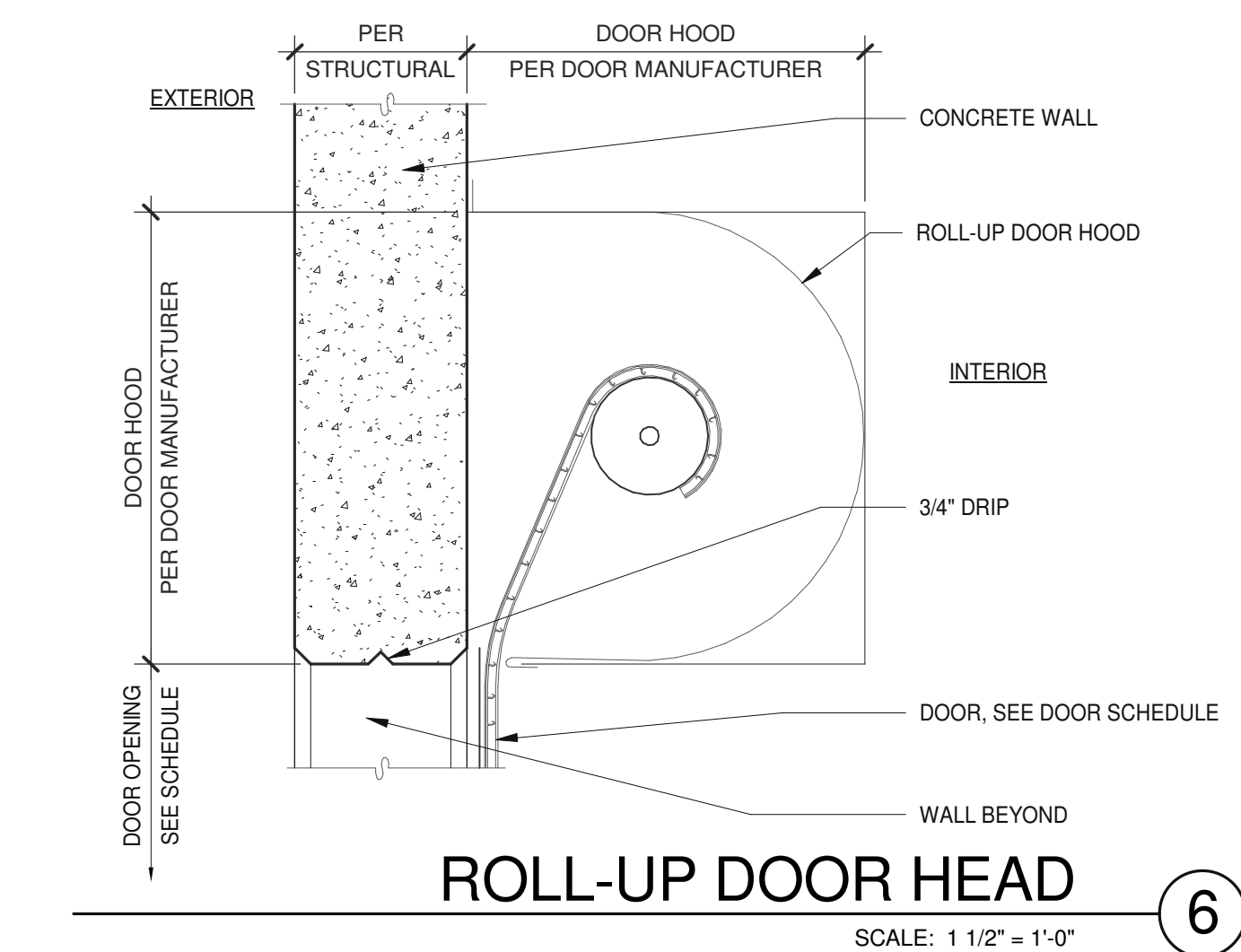
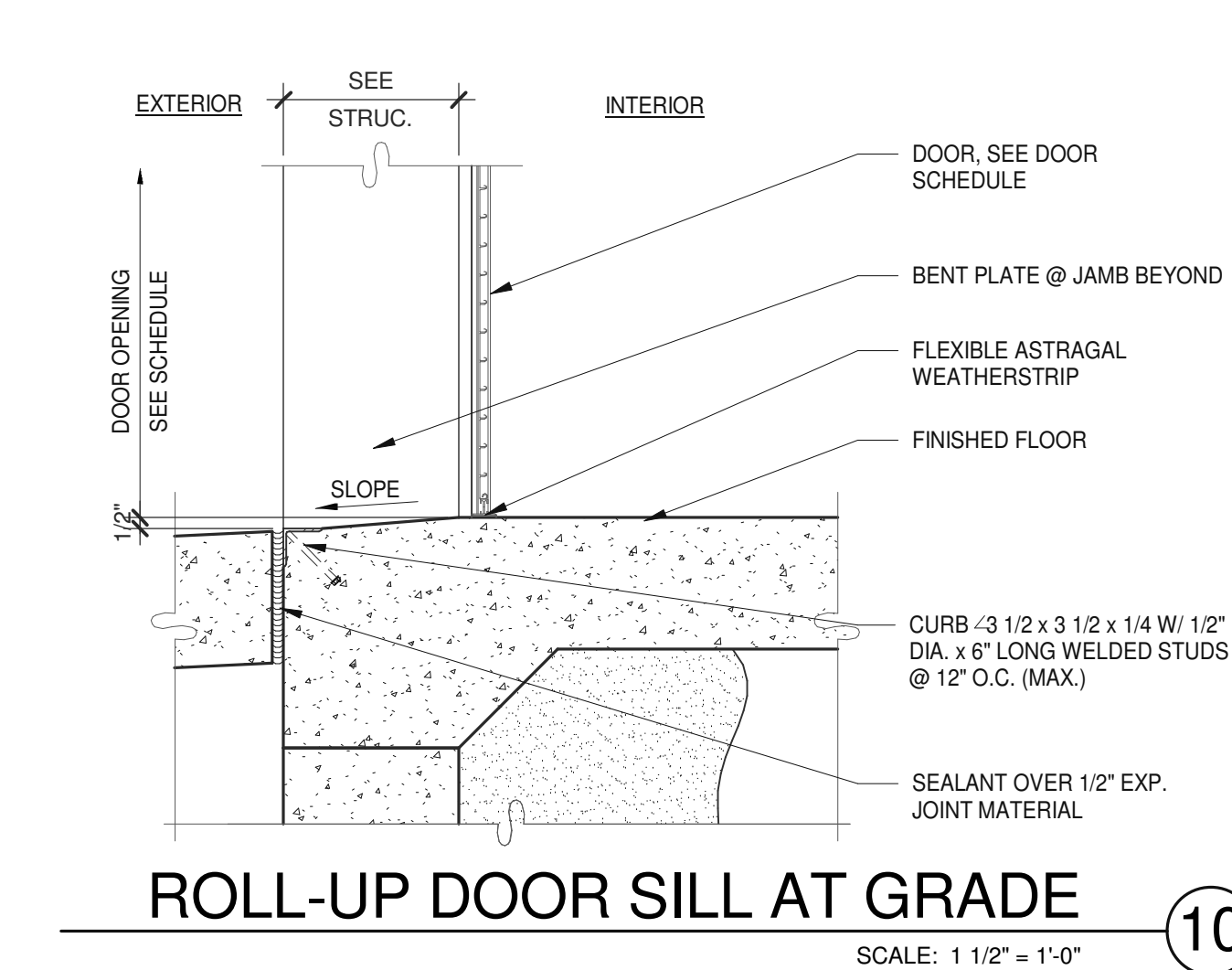
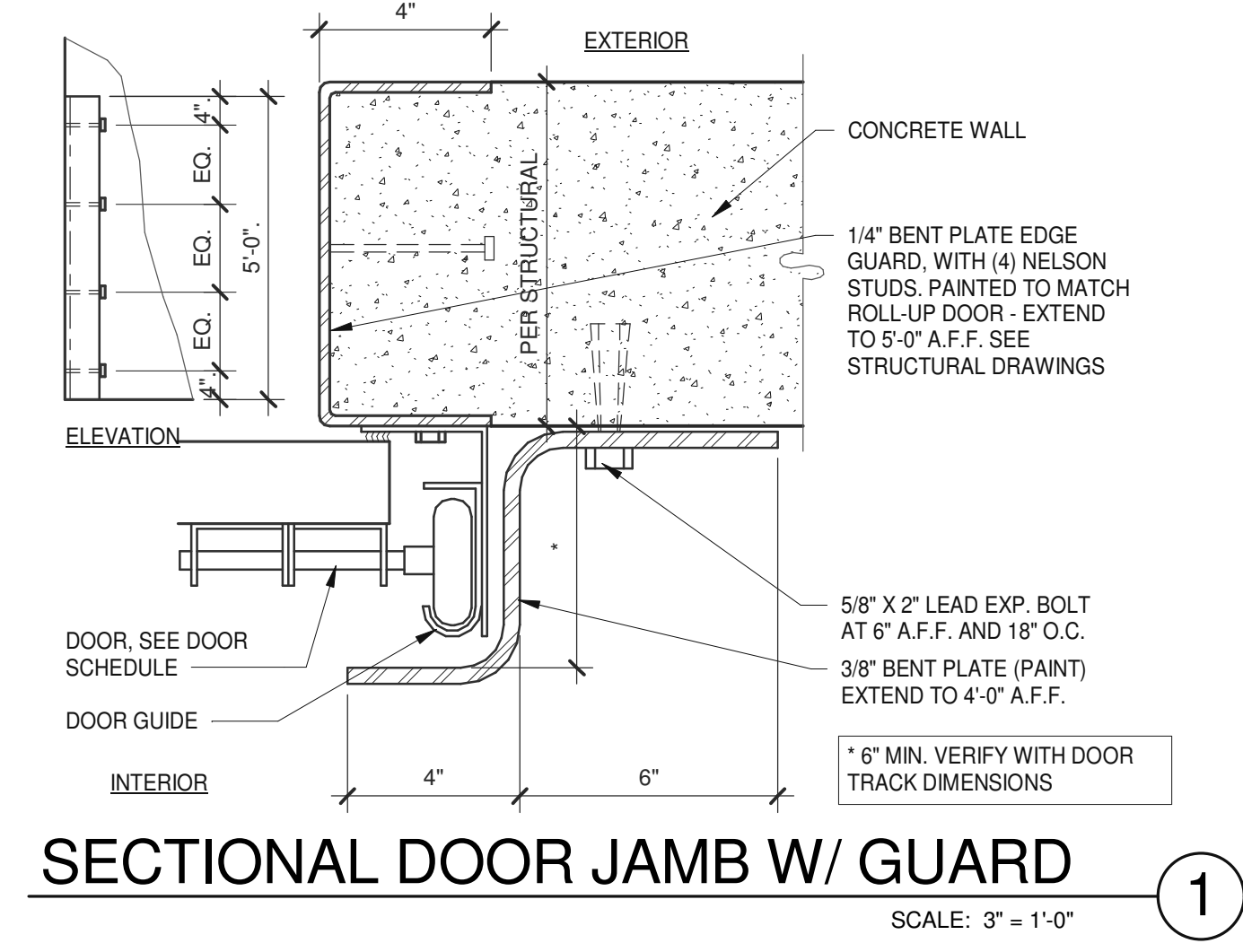
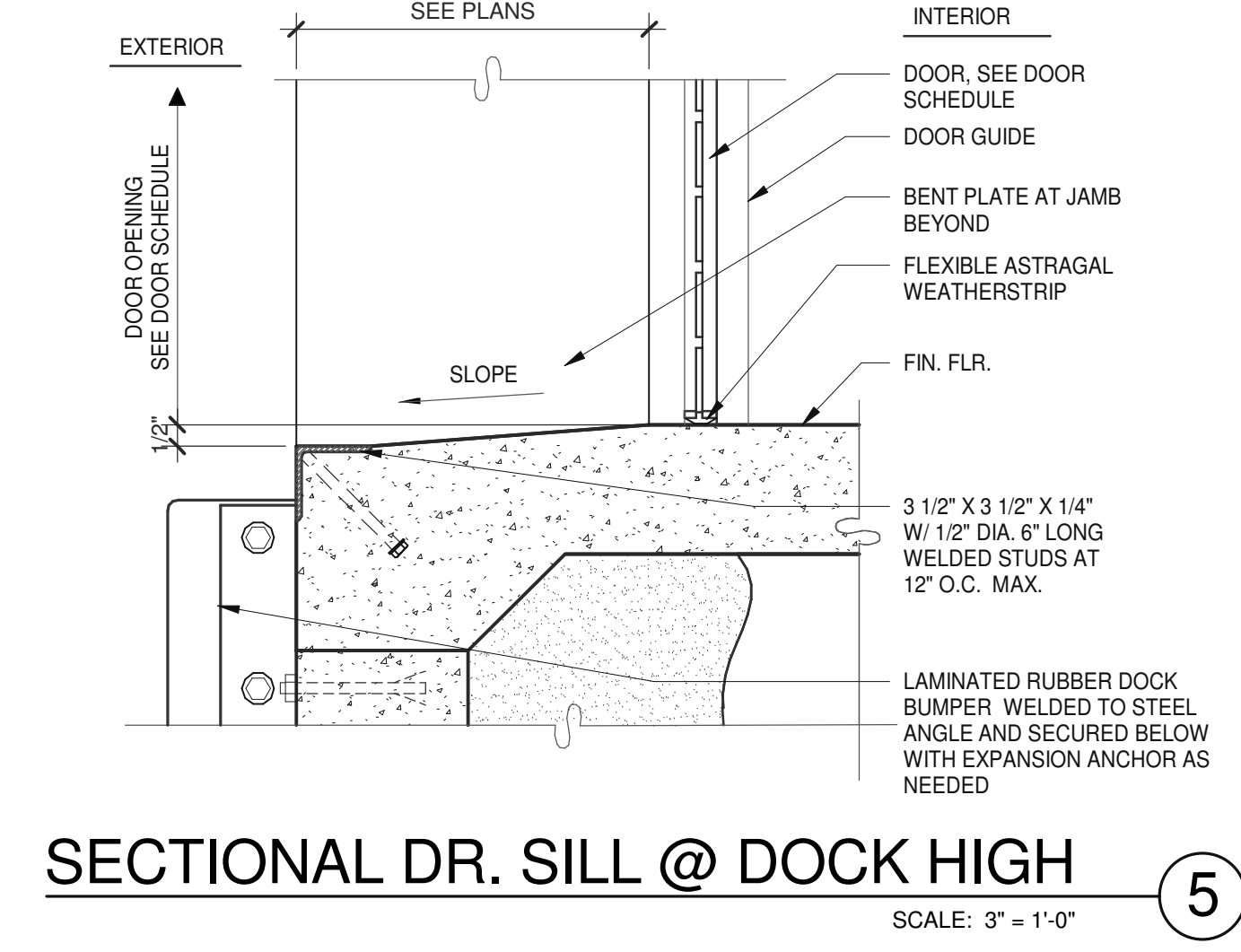
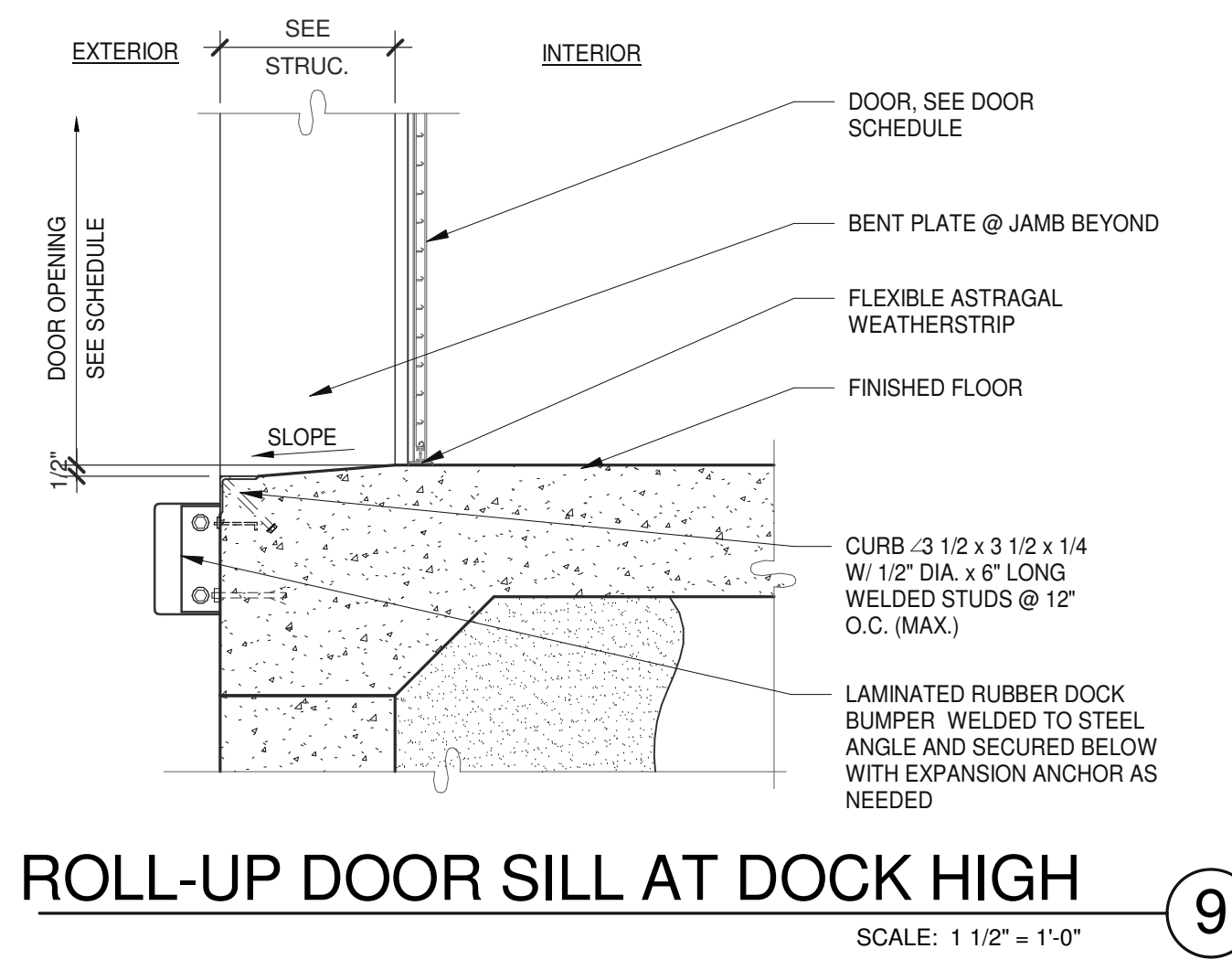
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DATE	04/03/2019
REVISION	
1	

PA/PM:	J. BABINE
DRAWN BY.:	E.S.
JOB NO.:	SNR17-0069-00

SHEET  
**A6.2**



- NOTE:
- VERIFY THE ELEVATIONS WITH THE LATEST GRADING PLAN FOR SLOPED DRIVEWAY.
  - SLOPED DRIVEWAY: THE DOCK MUST BE PROJECTED AHEAD OF THE WALL TO PREVENT THE TOP OF THE TRAILER CONTACTING THE WALL.

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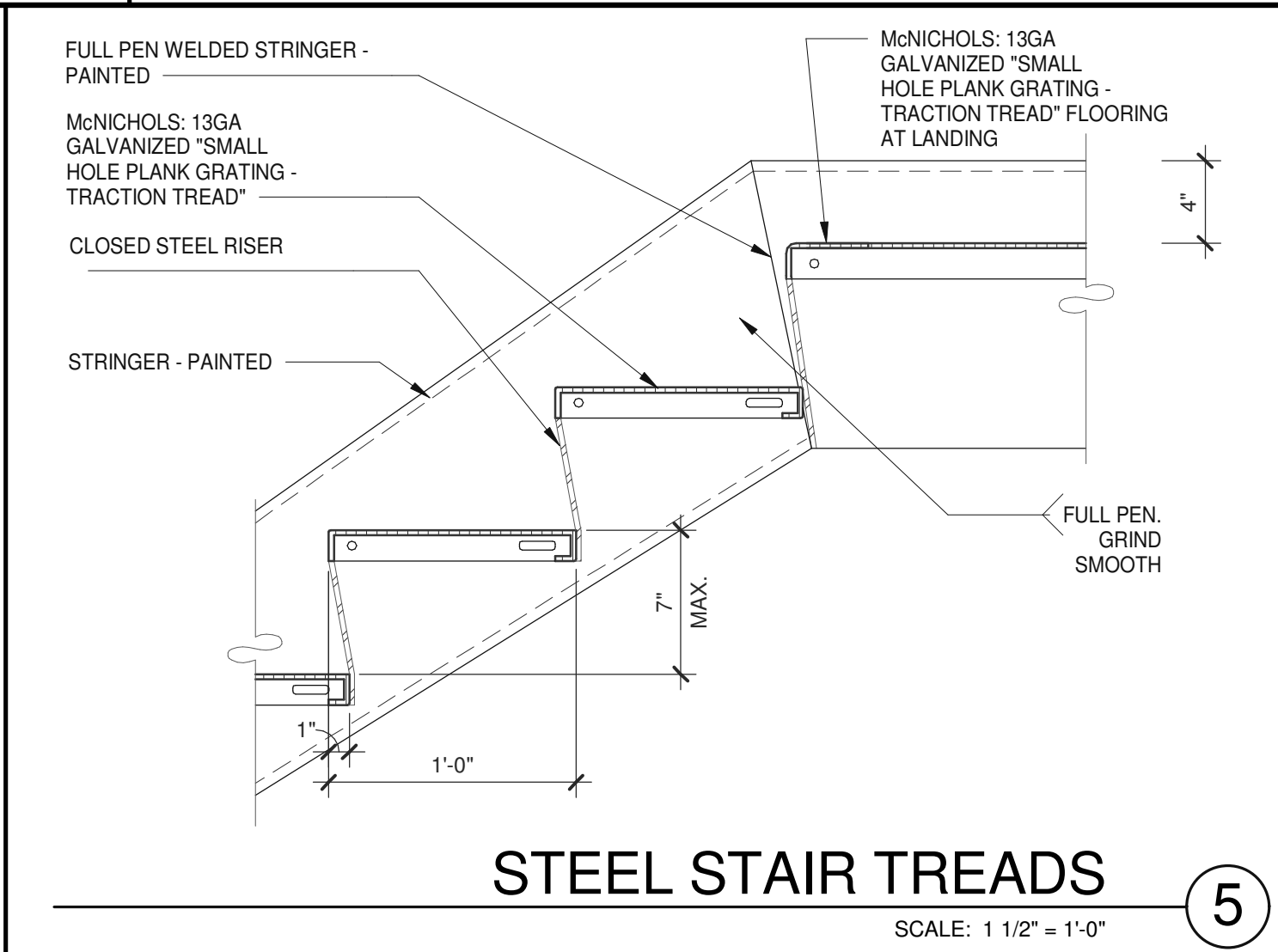
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DETAILS

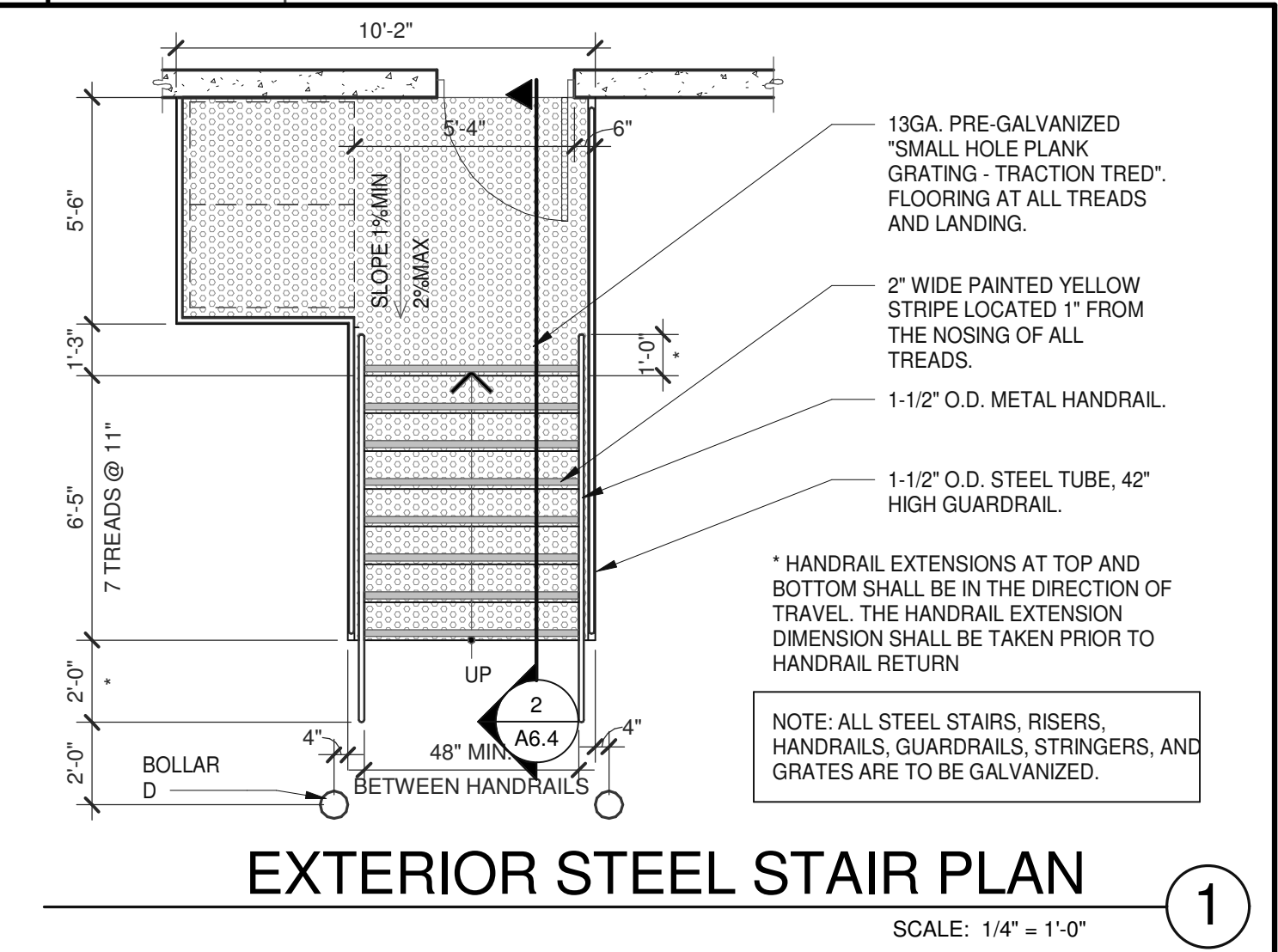
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04/03/2019 <td>PLANNING SUBMITTAL</td>	PLANNING SUBMITTAL

PA/PM: J. BABINE  
DRAWN BY: E.S.  
JOB NO.: SNR17-0069-00

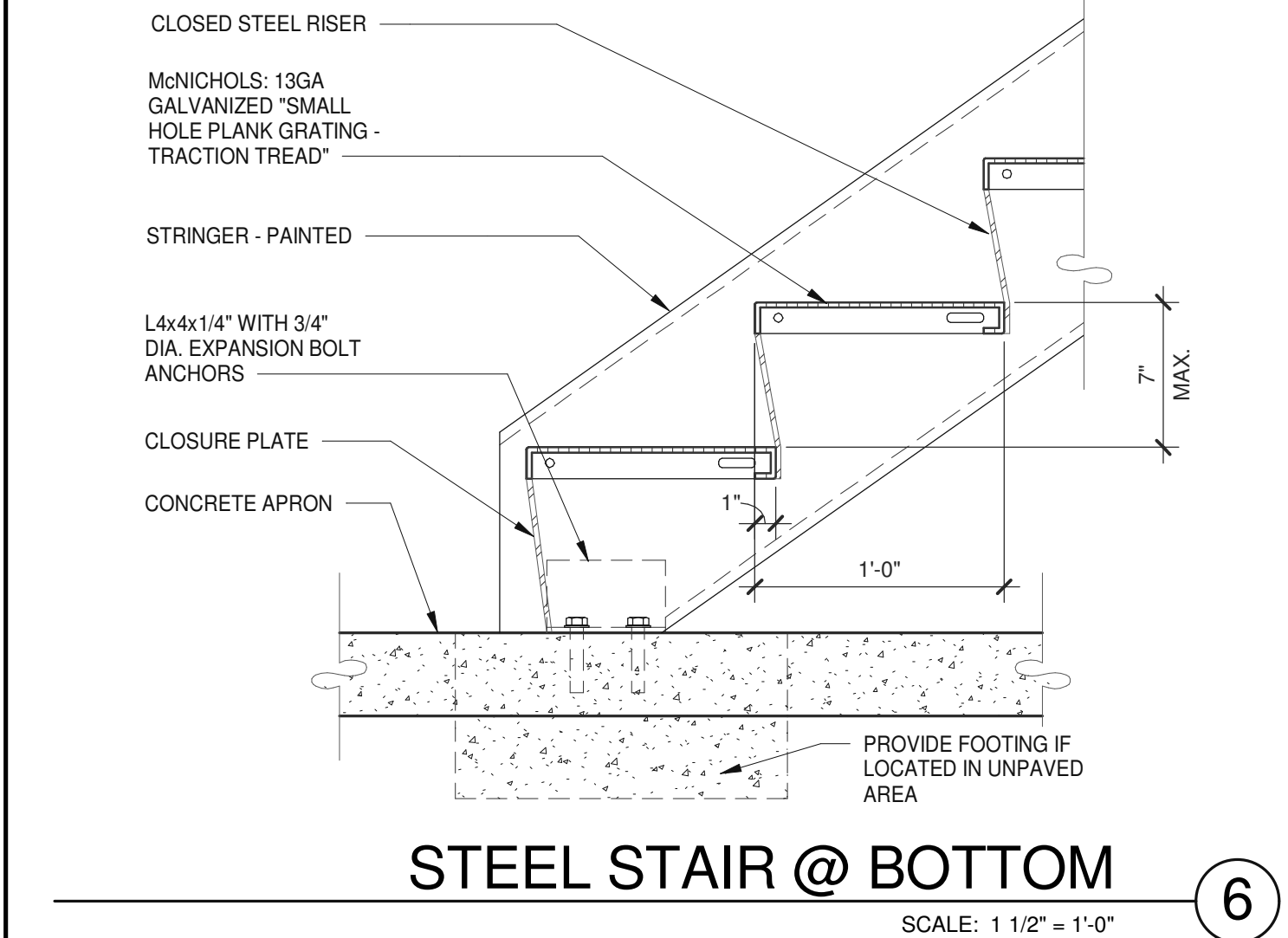
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4/2/2019 12:48:07 PM



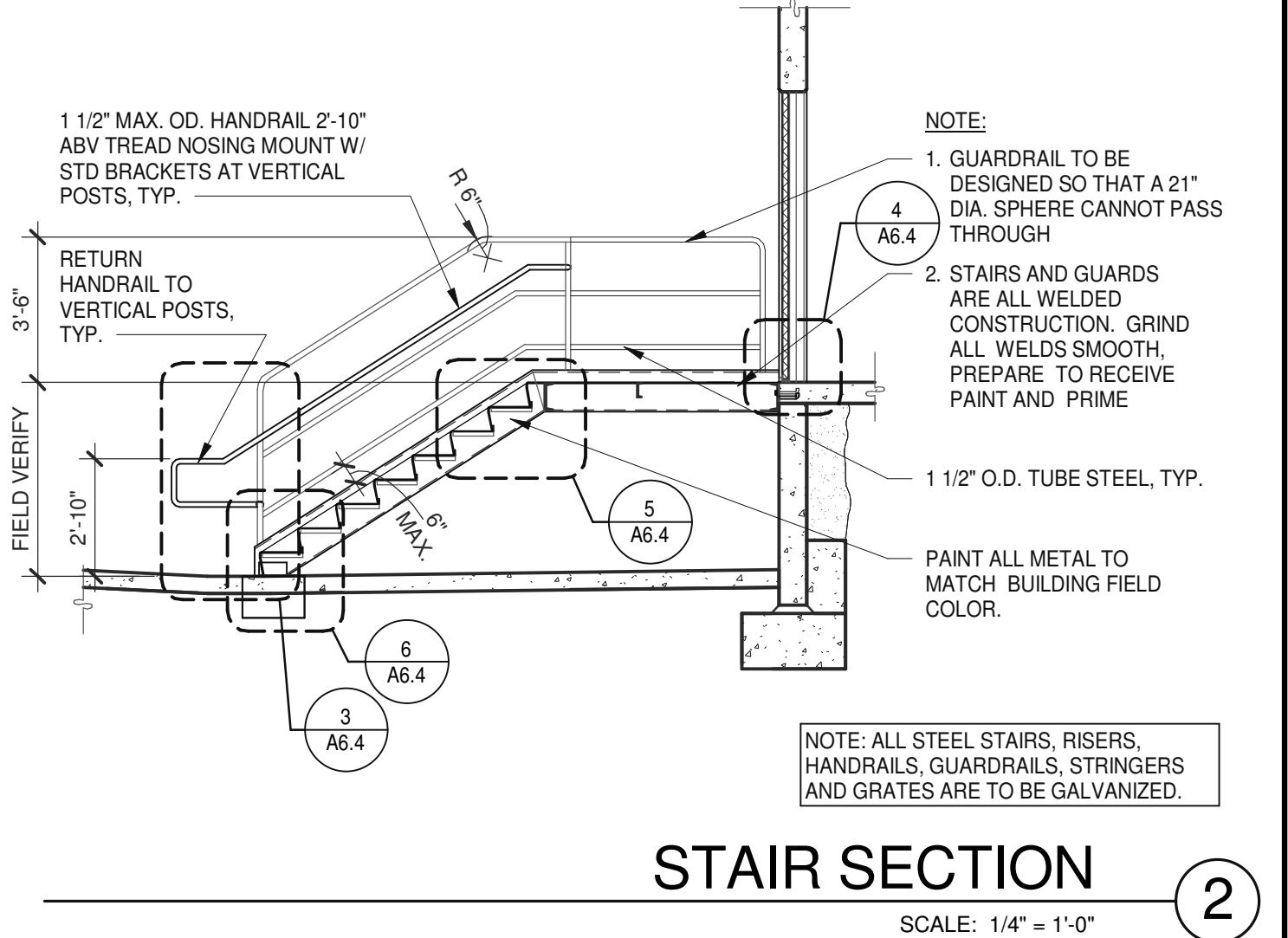
**STEEL STAIR TREADS**  
SCALE: 1 1/2" = 1'-0" **5**



**EXTERIOR STEEL STAIR PLAN**  
SCALE: 1/4" = 1'-0" **1**



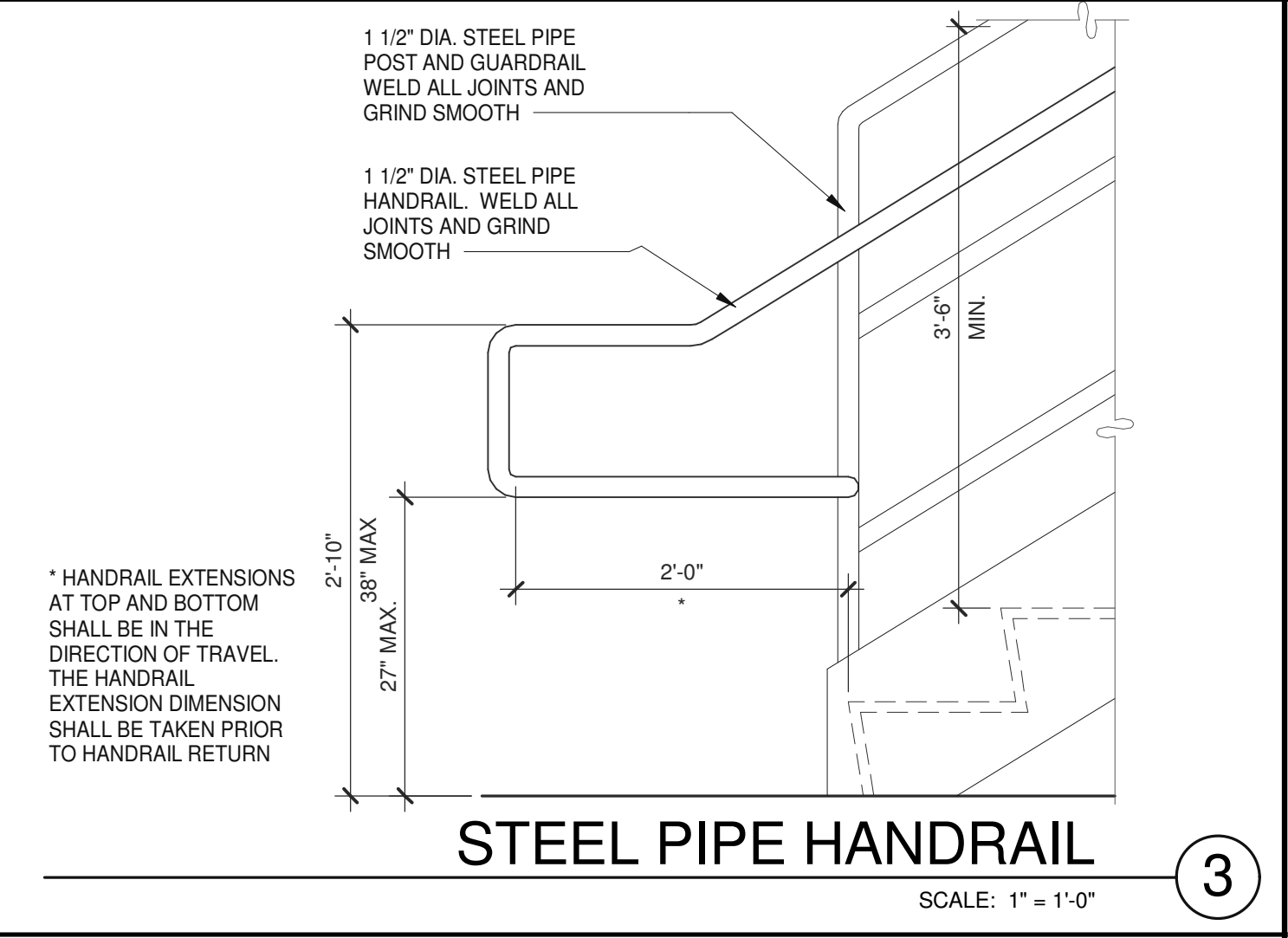
**STEEL STAIR @ BOTTOM**  
SCALE: 1 1/2" = 1'-0" **6**



**STAIR SECTION**  
SCALE: 1/4" = 1'-0" **2**



**STEEL PIPE HANDRAIL**  
SCALE: 1" = 1'-0" **3**



**STEEL STAIR LANDING**  
SCALE: 1 1/2" = 1'-0" **4**

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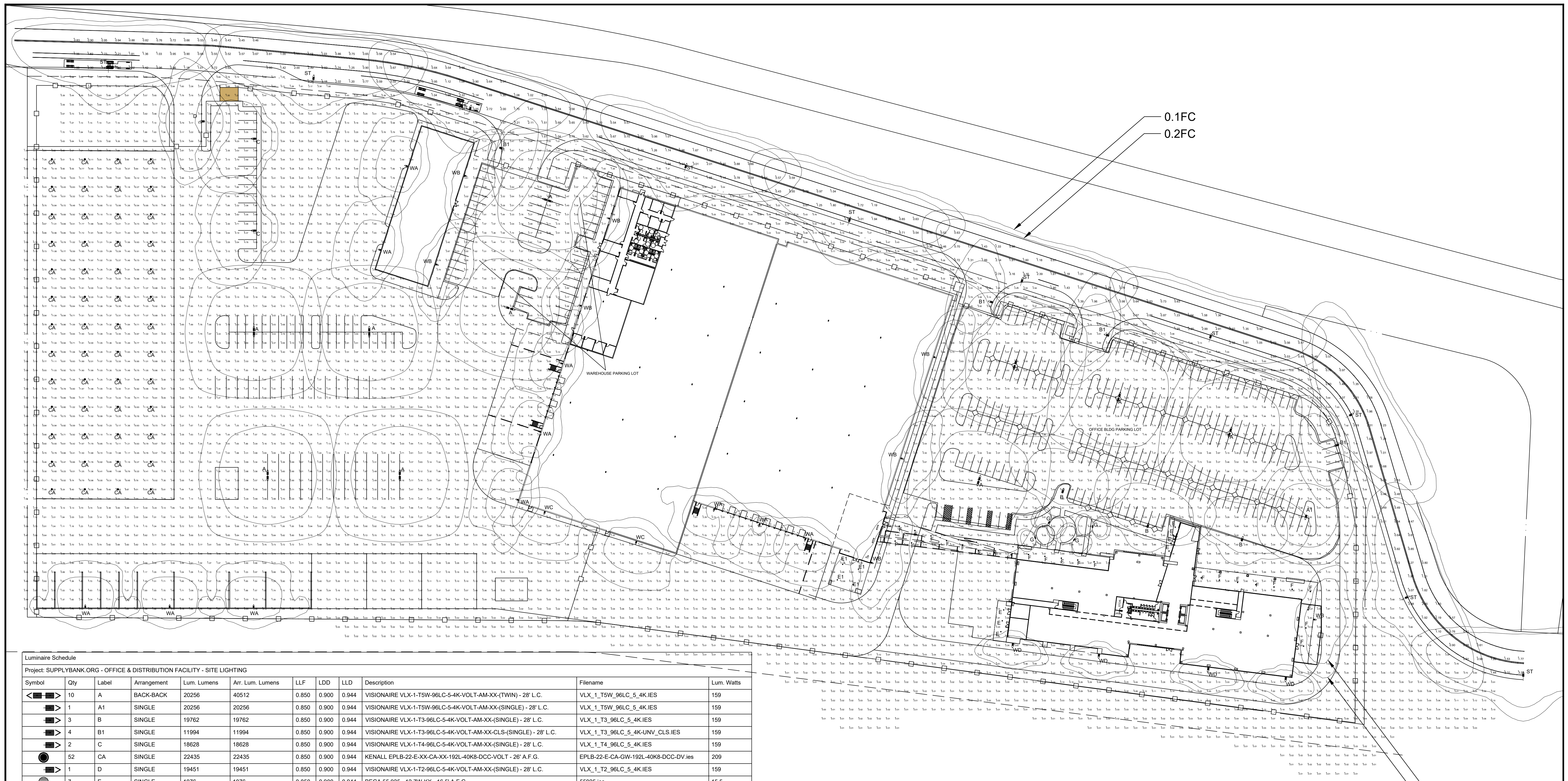
4683 Chabot Dr #200  
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SHEET  
**A6.4**



**Luminaire Schedule**  
Project: SUPPLYBANK.ORG - OFFICE & DISTRIBUTION FACILITY - SITE LIGHTING

Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	LDD	LLD	Description	Filename	Lum. Watts
◀▶	10	A	BACK-BACK	20256	40512	0.850	0.900	0.944	VISIONAIRE VLX-1-T5W-96LC-5-4K-VOLT-AM-XX-(TWIN) - 28' L.C.	VLX_1_T5W_96LC_5_4K.IES	159
▶	1	A1	SINGLE	20256	20256	0.850	0.900	0.944	VISIONAIRE VLX-1-T5W-96LC-5-4K-VOLT-AM-XX-(SINGLE) - 28' L.C.	VLX_1_T5W_96LC_5_4K.IES	159
▶	3	B	SINGLE	19762	19762	0.850	0.900	0.944	VISIONAIRE VLX-1-T3-96LC-5-4K-VOLT-AM-XX-(SINGLE) - 28' L.C.	VLX_1_T3_96LC_5_4K.IES	159
▶	4	B1	SINGLE	11994	11994	0.850	0.900	0.944	VISIONAIRE VLX-1-T3-96LC-5-4K-VOLT-AM-XX-CLS-(SINGLE) - 28' L.C.	VLX_1_T3_96LC_5_4K-UNV_CLS.IES	159
▶	2	C	SINGLE	18628	18628	0.850	0.900	0.944	VISIONAIRE VLX-1-T4-96LC-5-4K-VOLT-AM-XX-(SINGLE) - 28' L.C.	VLX_1_T4_96LC_5_4K.IES	159
●	52	CA	SINGLE	22435	22435	0.850	0.900	0.944	KENALL EPLB-22-E-XX-CA-XX-192L-40K8-DCC-VOLT - 26' A.F.G.	EPLB-22-E-CA-GW-192L-40K8-DCC-DV.IES	209
▶	1	D	SINGLE	19451	19451	0.850	0.900	0.944	VISIONAIRE VLX-1-T2-96LC-5-4K-VOLT-AM-XX-(SINGLE) - 28' L.C.	VLX_1_T2_96LC_5_4K.IES	159
●	7	E	SINGLE	1076	1076	0.850	0.900	0.944	BEGA 55 925 - 12.7W-KX - 16.5' A.F.G.	55925.IES	15.5
●	4	E1	SINGLE	2986	2986	0.850	0.900	0.944	BEGA 55 929 - 26.8W-KX - 29' A.F.G.	55929.IES	42
●	26	F	SINGLE	1980	1980	0.850	0.900	0.944	BEGA 66 978 - 15.7W-KX - 16.5' M.H.	66978.IES	19
●	4	G	SINGLE	2370	2370	0.850	0.900	0.944	BEGA 99075 - 50.6W-KX - 14.5' L.C.	99075.IES	57
▶	10	ST	SINGLE	12757	12757	0.900	0.900	1.000	SIGNIFY LUMEC RFM-108W48LED4K-G2-R2M-UNV - 30' L.C. + 6' ARM	RFM-108W48LED4K-G2-R2M.IES	106
▶	11	WA	SINGLE	11558	11558	0.850	0.900	0.944	VISIONAIRE VSC-1-T4-32LC-10-4K-UNV-WM-XX - 28' & 25' M.H.	VSC-1_T4_32LC_10_4K.IES	112
▶	8	WB	SINGLE	11715	11715	0.850	0.900	0.944	VISIONAIRE VSC-1-T2-32LC-10-4K-UNV-WM-XX - 28' & 25' M.H.	VSC-1_T2_32LC_10_4K.IES	112
▶	2	WC	SINGLE	11810	11810	0.850	0.900	0.944	VISIONAIRE VSC-1-T3-32LC-10-4K-UNV-WM-XX - 28' M.H.	VSC-1_T3_32LC_10_4K.IES	112
▶	4	WD	SINGLE	5858	5858	0.850	0.900	0.944	VISIONAIRE VSC-1-T2-16LC-10-4K-UNV-WM-XX - 16' M.H.	VSC-1_T2_16LC_10_4K.IES	56

**Calculation Summary**  
Project: SUPPLYBANK.ORG - OFFICE & DISTRIBUTION FACILITY - SITE LIGHTING

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	# Pts
OAKPORT ST - SECTION	Illuminance	Fc	1.24	3.55	0.36	3.44	9.86	290
CANOPY	Illuminance	Fc	10.17	12.46	3.00	3.39	4.15	570
OFFICE BLDG PARKING LOT	Illuminance	Fc	2.22	5.43	1.04	2.13	5.22	820
WAREHOUSE PARKING LOT	Illuminance	Fc	2.48	4.33	1.33	1.86	3.26	193

\*\*OFFICE & DIST. FACILITY / EBMUD - SITE LIGHTING\*\*

\*\*\*LIGHTING LAYOUT RECOMMENDATION\*\*\*

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE  
\*\*\*\*\*  
PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL AND SITE CHARACTERISTICS.  
\*\*\*\*\*

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

**AR Associated Lighting Representatives, Inc.**

**ALR** ASSOCIATED LIGHTING REPRESENTATIVES, INC  
7777 PARDEE LANE  
P.O. BOX 2265  
OAKLAND, CA 94621  
PHONE: (510) 638-3800 - FAX (510) 638-2908

REPORT FOR: WARE MALCOMB  
BY: APPLICATIONS ENGINEERING; GILBERTO J. RODRIGUEZ  
SALES REPRESENTATIVE: ALR; CATHY JOHNSON

**AGI32** lighting software  
by Lighting Analysts

AGI32 VERSION 19.3  
AGI (C) 1999-2019 LIGHTING ANALYSIS, INC.  
10268 W. CENTENNIAL ROAD - SUITE 202  
LITTLETON, CO 80127

PROJECT DESCRIPTION  
**SUPPLYBANK.ORG - OFFICE & DIST. FACILITY**  
OAKLAND, CA

DRAWING NO. / INPUT FILE  
16429GOT-R3.DWG / AGI

SCALE: 1" = 50'

SHEET: 1 OF 1

DATE: 01.18.2019

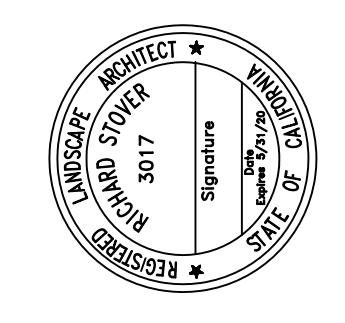
REV: 3

SHEET: PS1.0



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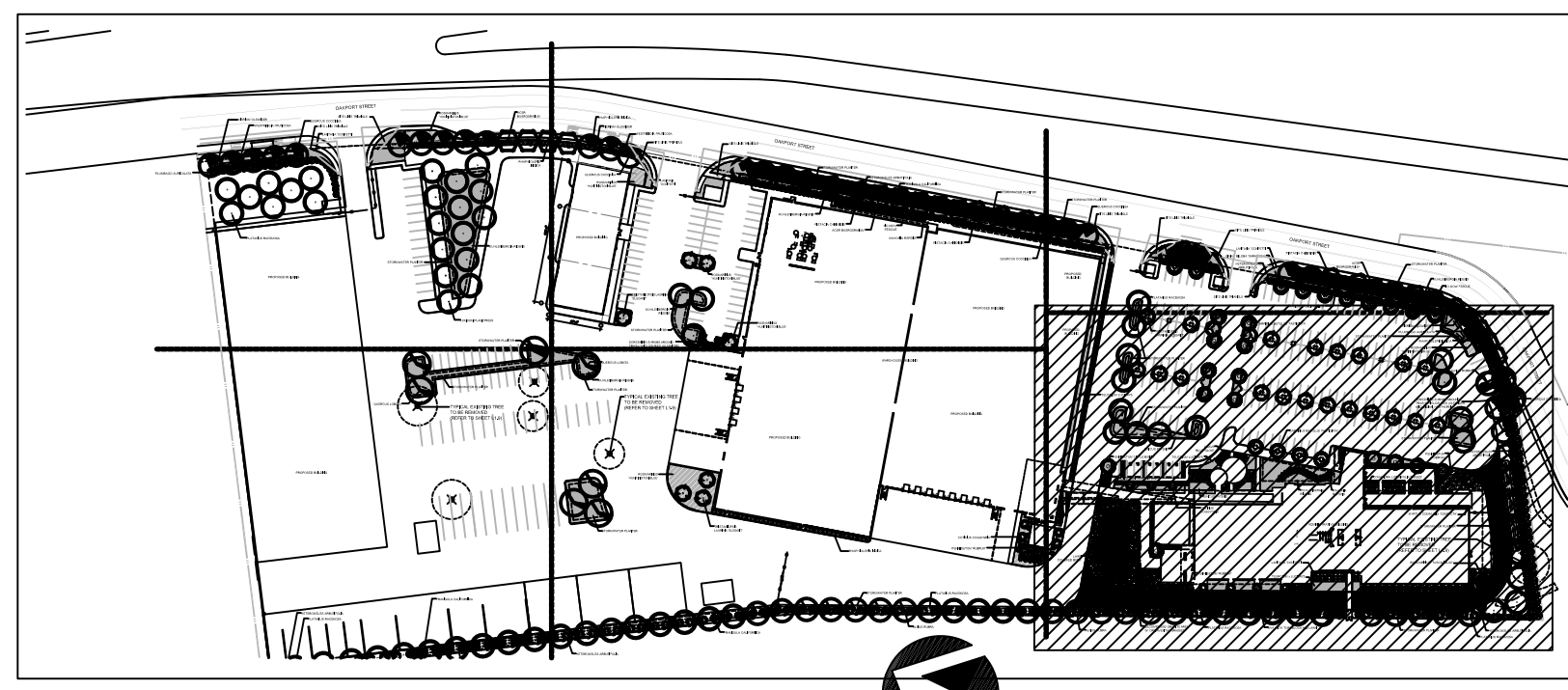
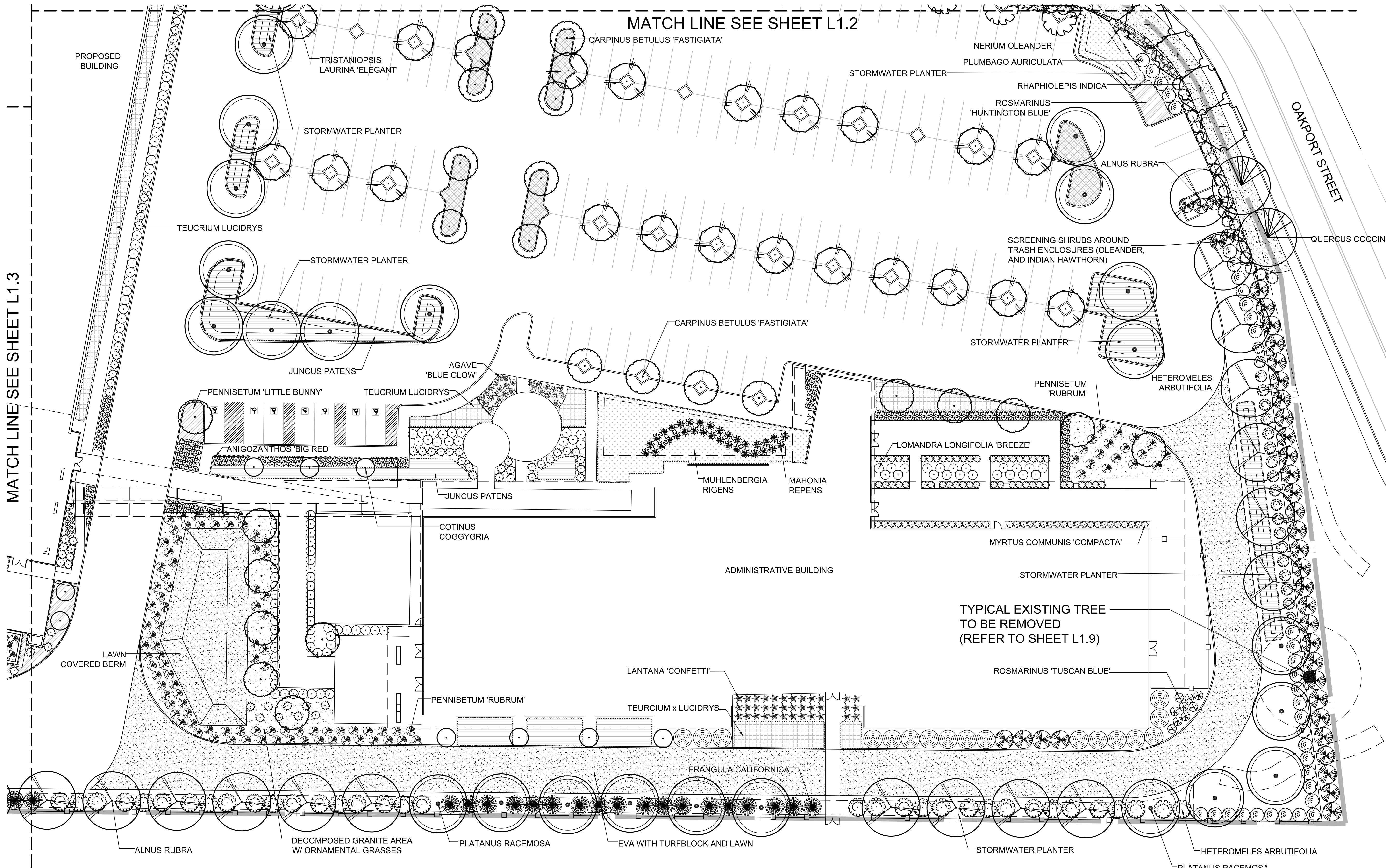


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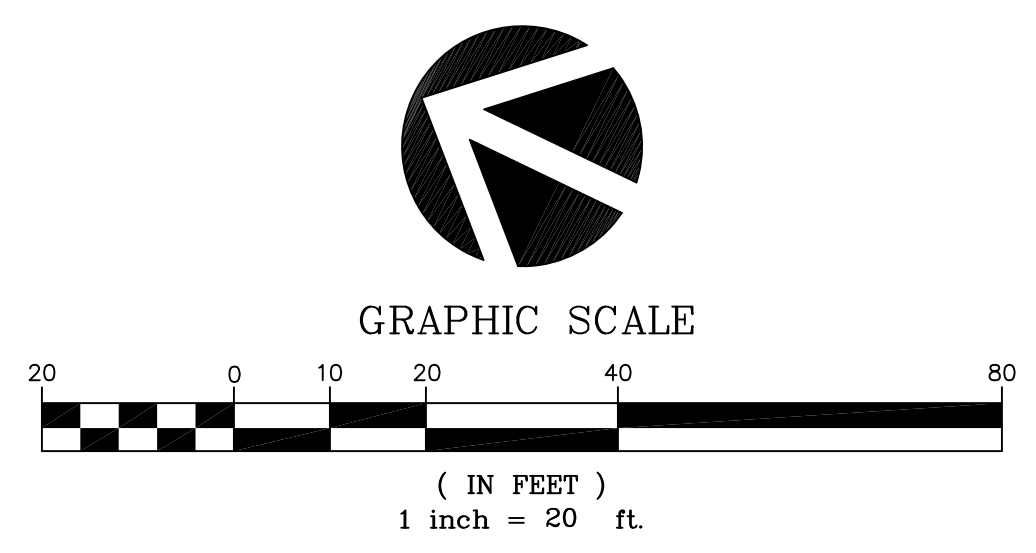
DATE	REMARKS
01/20/2019	PLANNING SUBMITTAL
04-03-19	

PA / PM:	J. BABINE
DRAWN BY:	
JOB NO.:	SNR17-0069-00

SHEET  
**L1.1**



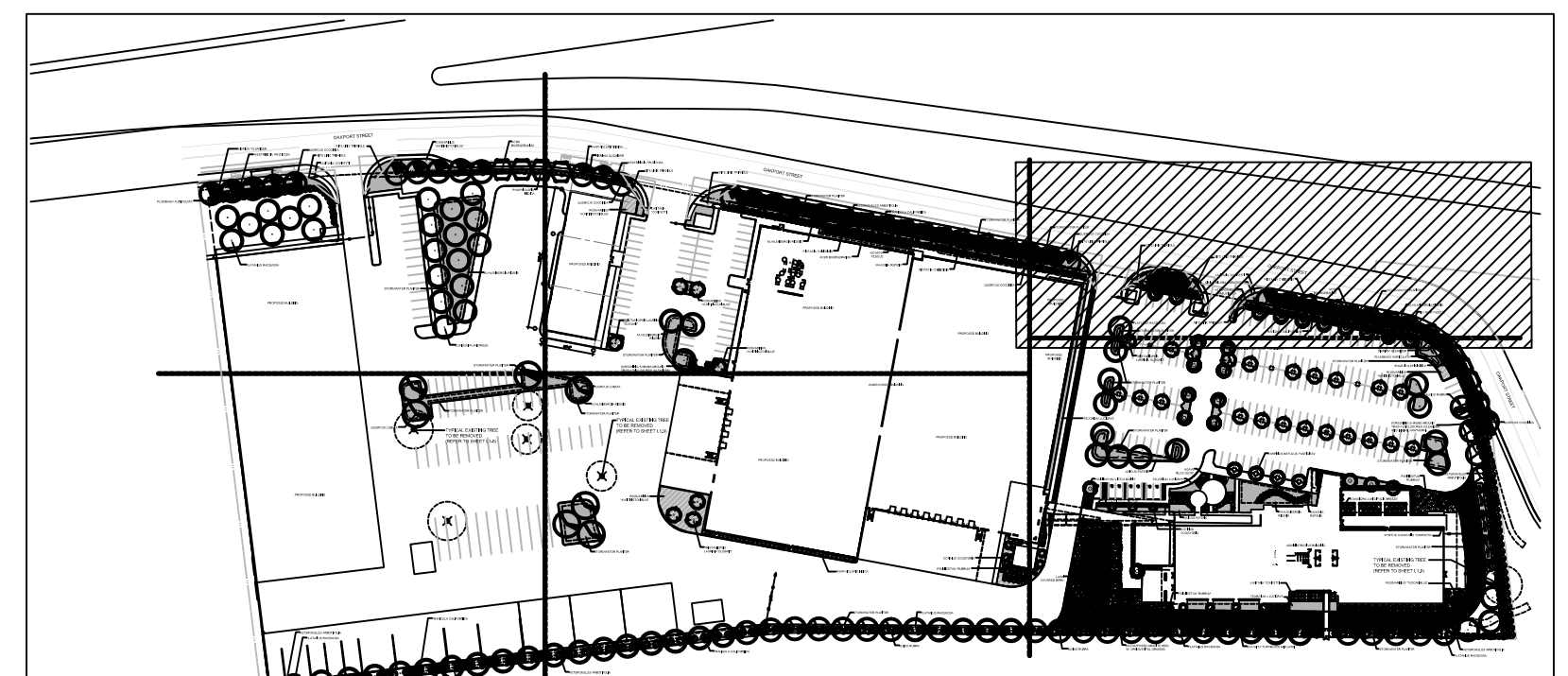
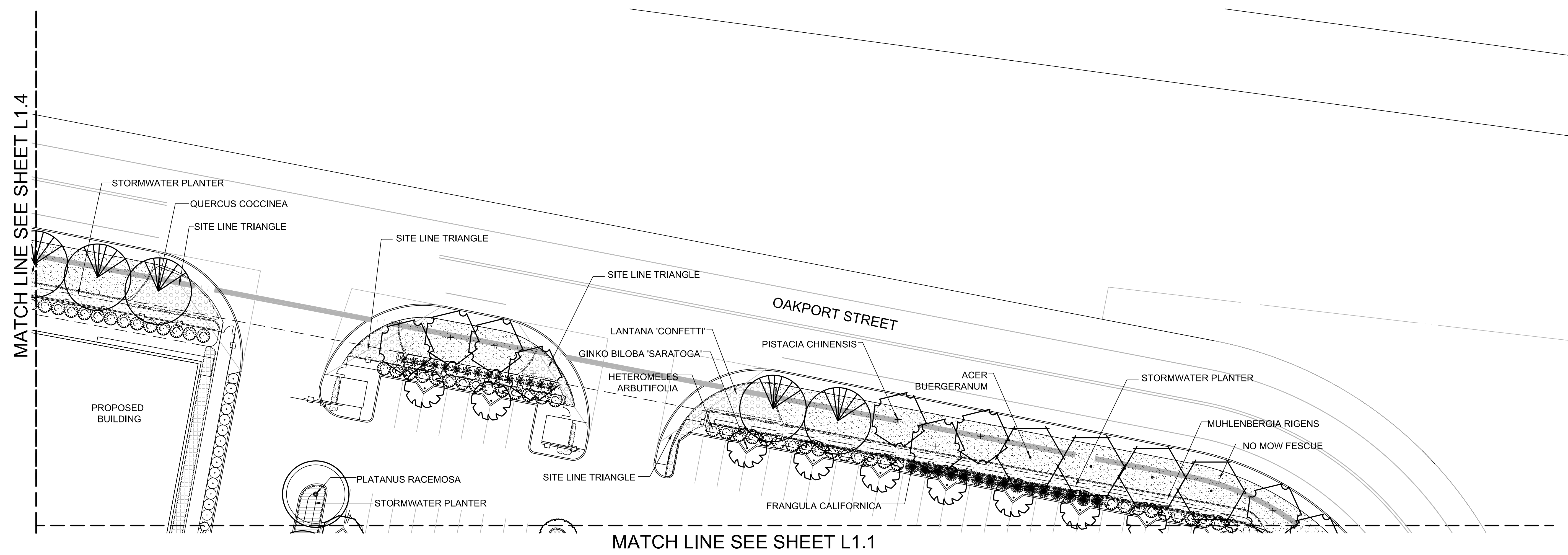
REFER TO SHEET L1.8 FOR PLANT LEGEND



**PRELIMINARY PLAN**

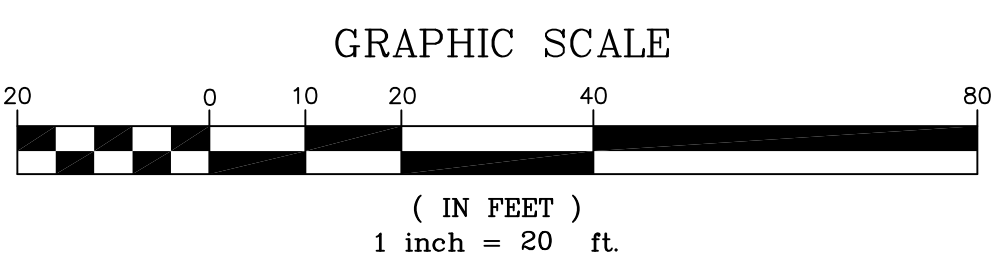
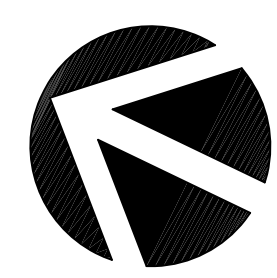
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SITE MAP

REFER TO SHEET L1.8 FOR PLANT LEGEND

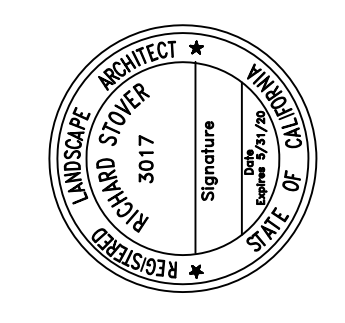


PRELIMINARY PLAN

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 DRAWN BY:  
 JOB NO.: SNR17-0069-00

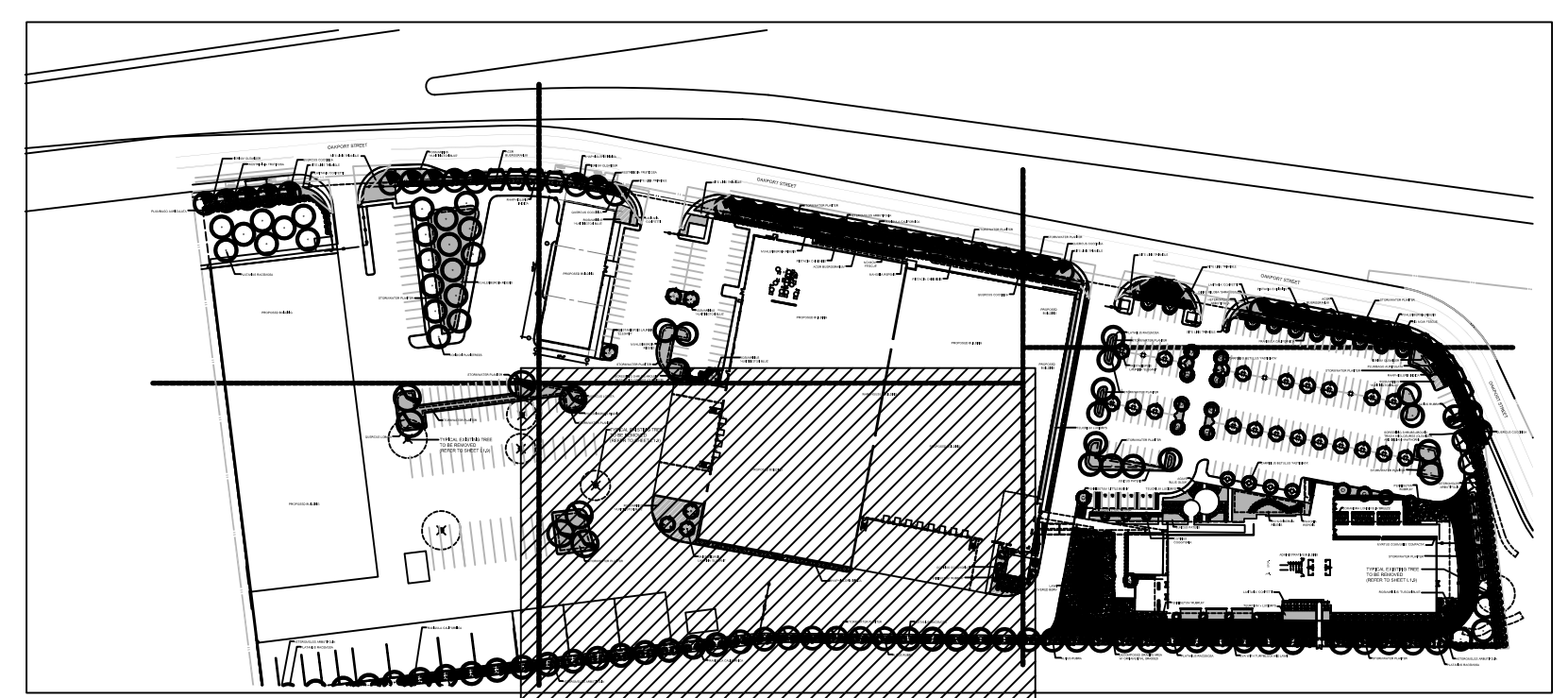
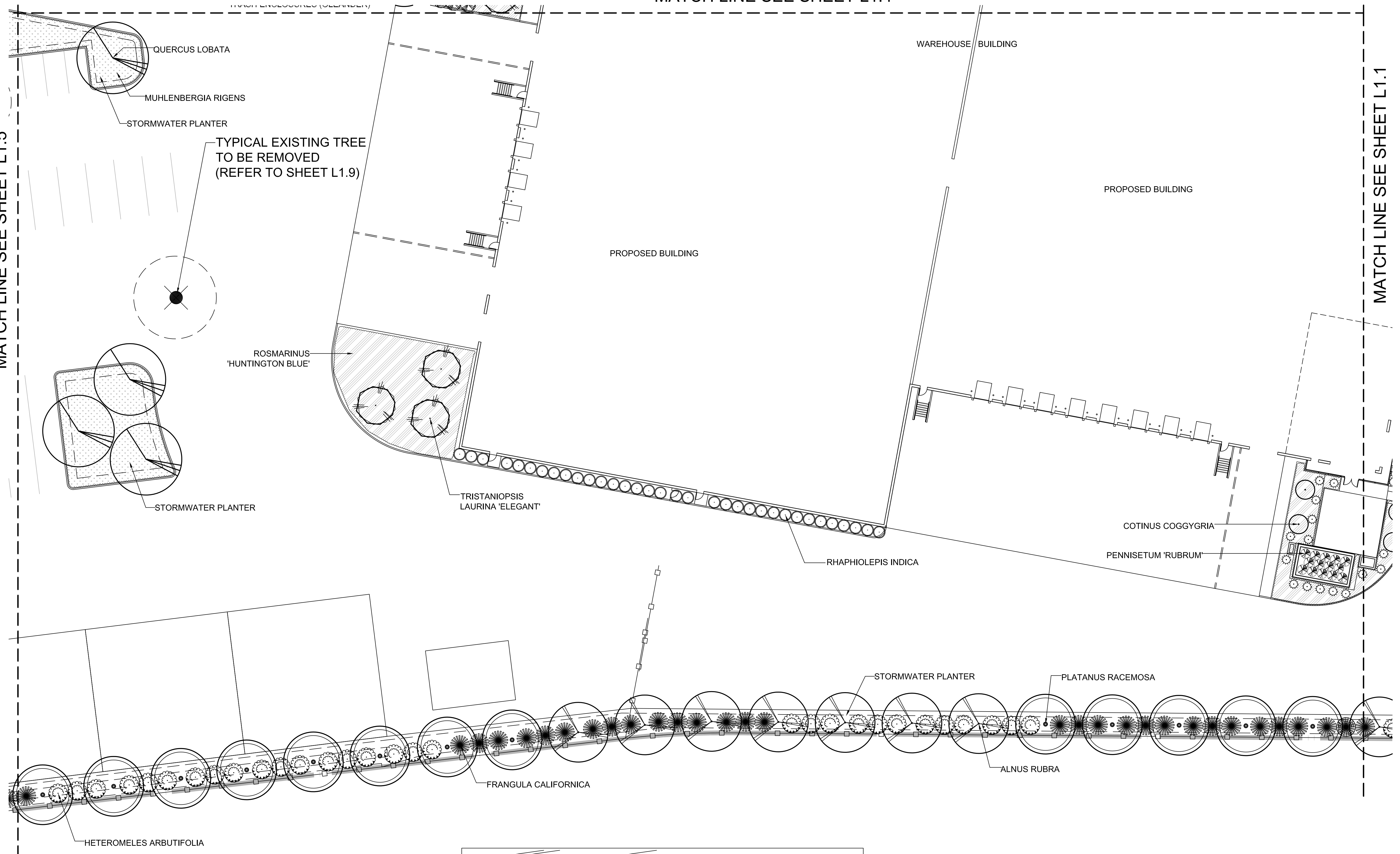
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MATCH LINE SEE SHEET L1.4

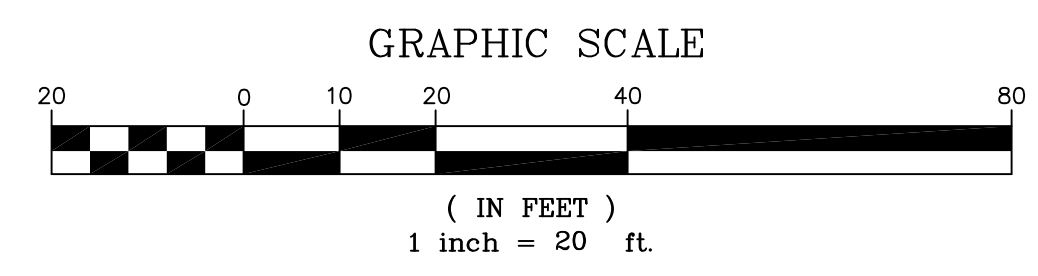
MATCH LINE SEE SHEET L1.5

MATCH LINE SEE SHEET L1.1



SITE MAP

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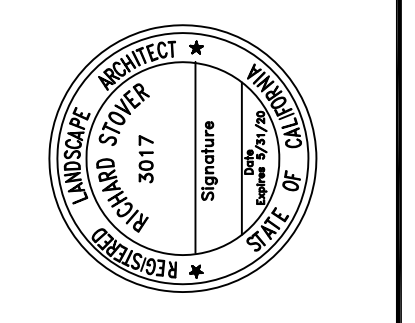


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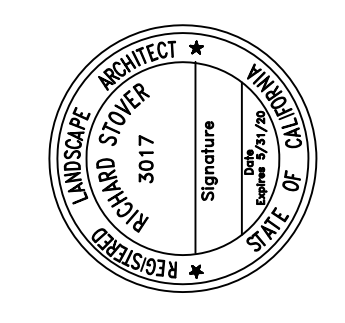
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SHEET  
**L1.3**

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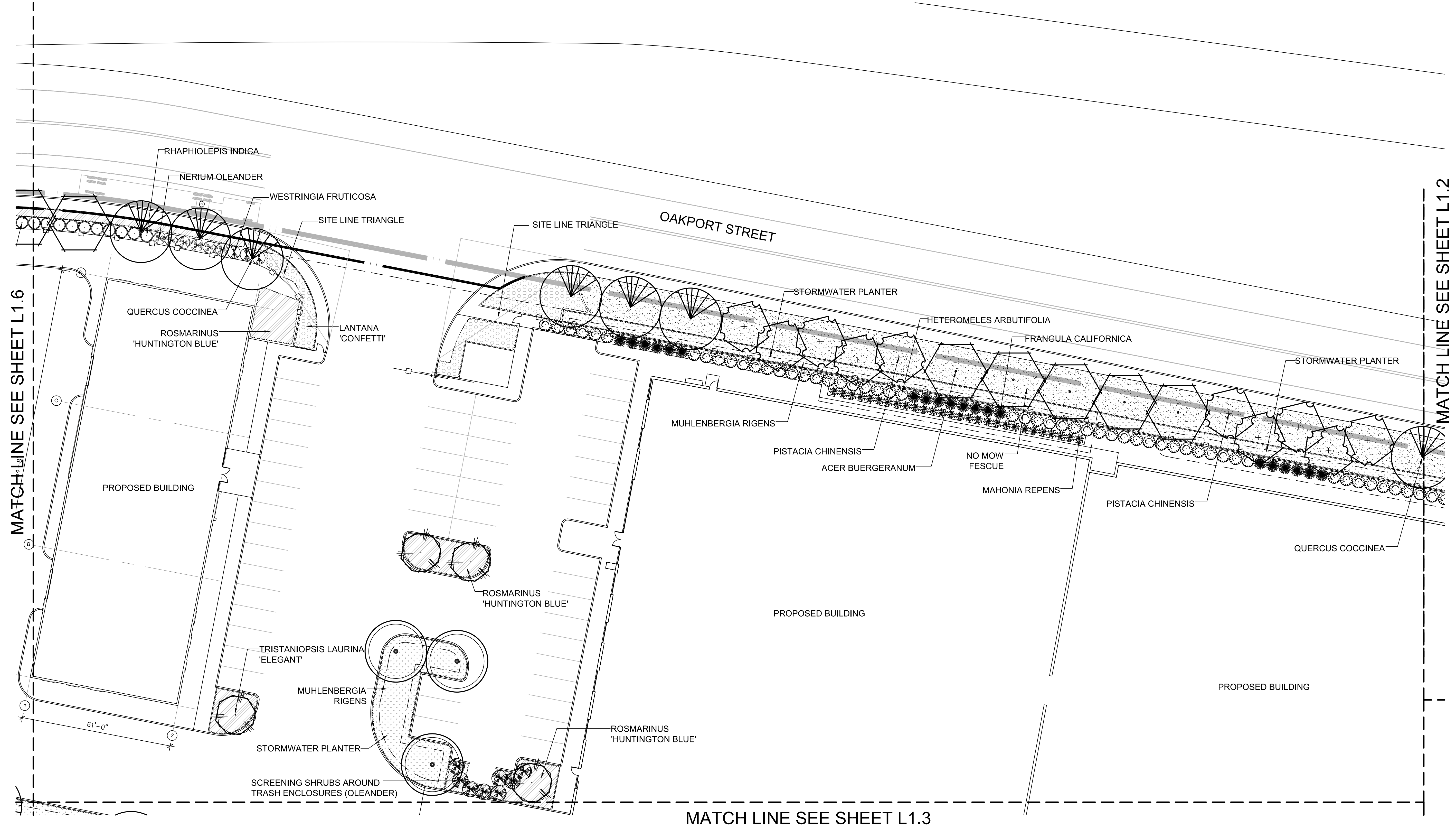


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DATE	04-03-19	
REMARKS		

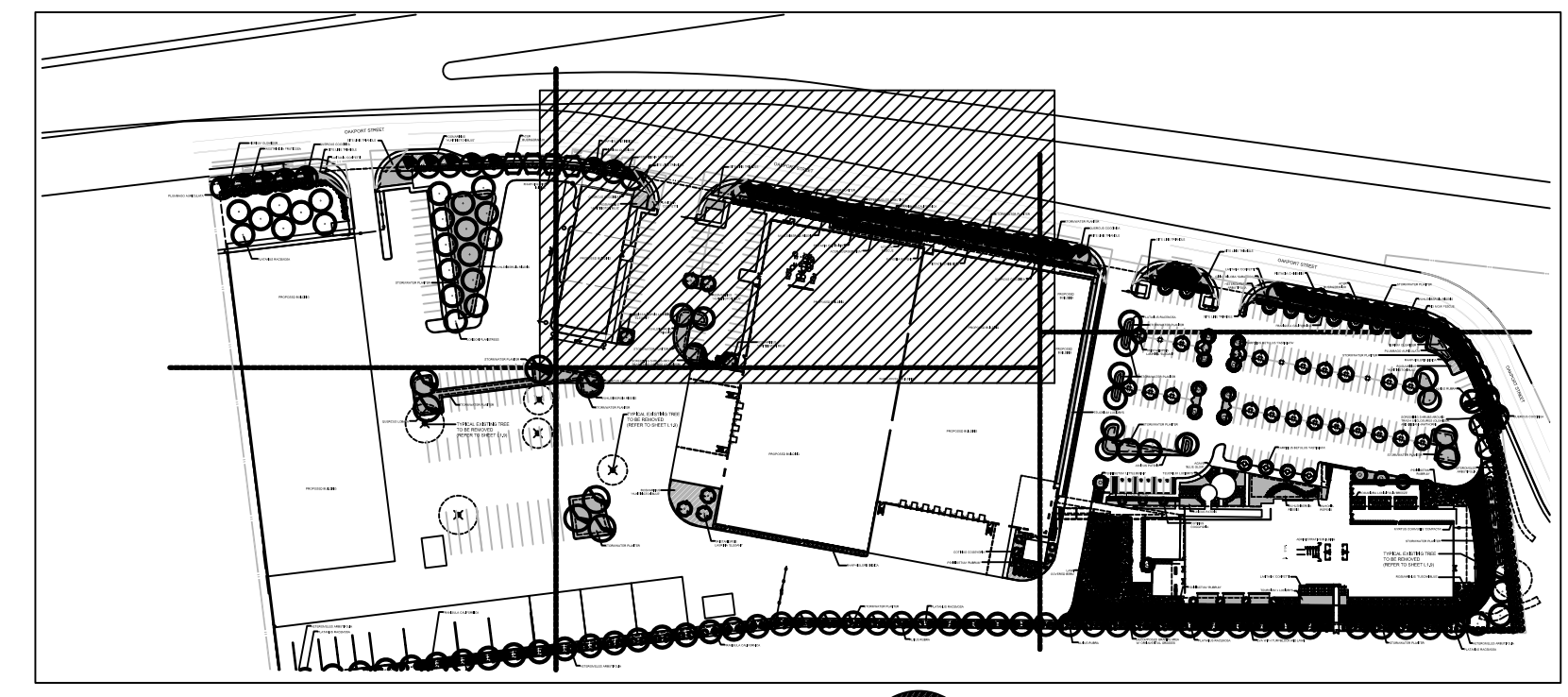
PA / PM:	J. BABINE
DRAWN BY:	
JOB NO.:	SNR17-0069-00

SHEET  
**L1.4**

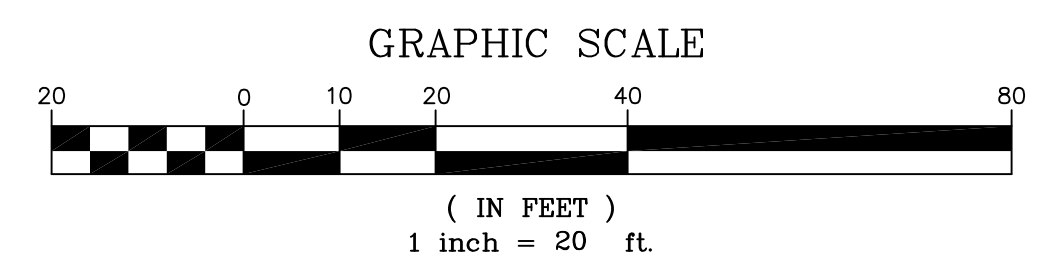
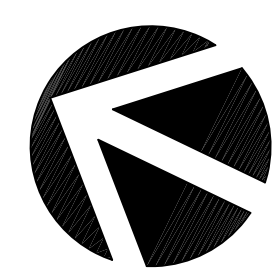


MATCH LINE SEE SHEET L1.6

MATCH LINE SEE SHEET L1.3



REFER TO SHEET L1.8 FOR PLANT LEGEND



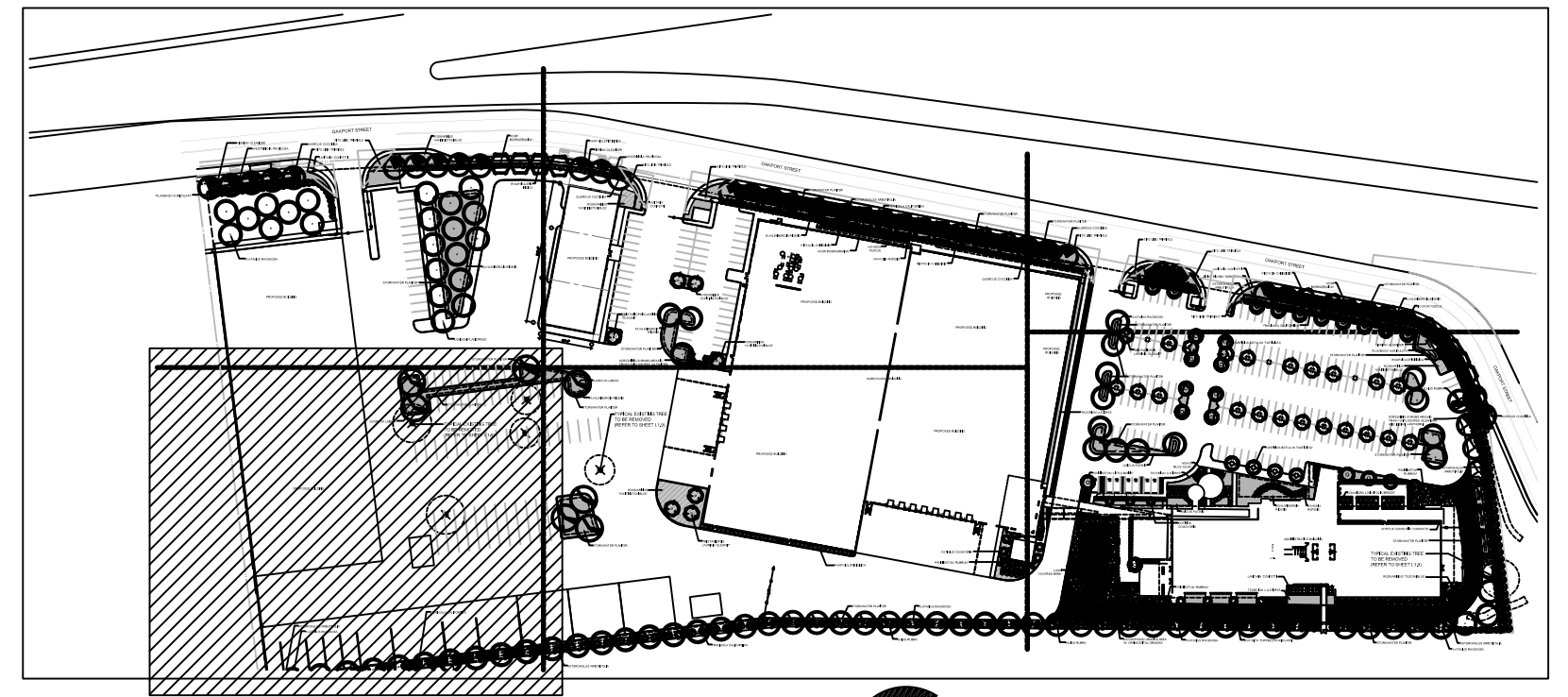
**PRELIMINARY PLAN**

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MATCH LINE SEE SHEET L1.6

MATCH LINE SEE SHEET L1.3



SITE MAP

PROPOSED BUILDING

QUERCUS LOBATA

STORMWATER PLANTER

TYPICAL EXISTING TREE TO BE REMOVED (REFER TO SHEET L1.9)

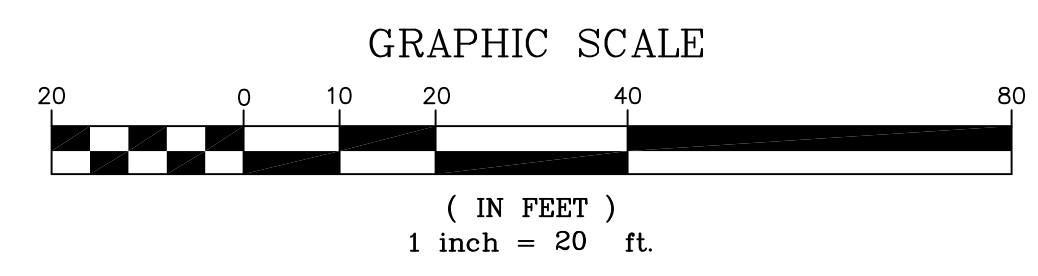
FRANGULA CALIFORNICA

HETEROMELES ARBUTIFOLIA

PLATANUS RACEMOSA

STORMWATER PLANTER

REFER TO SHEET L1.8 FOR PLANT LEGEND

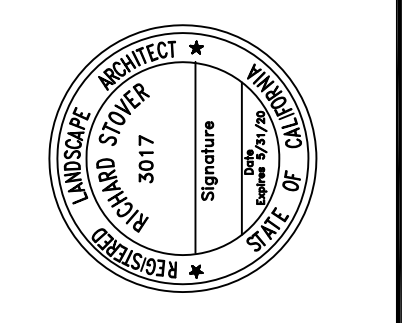


PRELIMINARY PLAN

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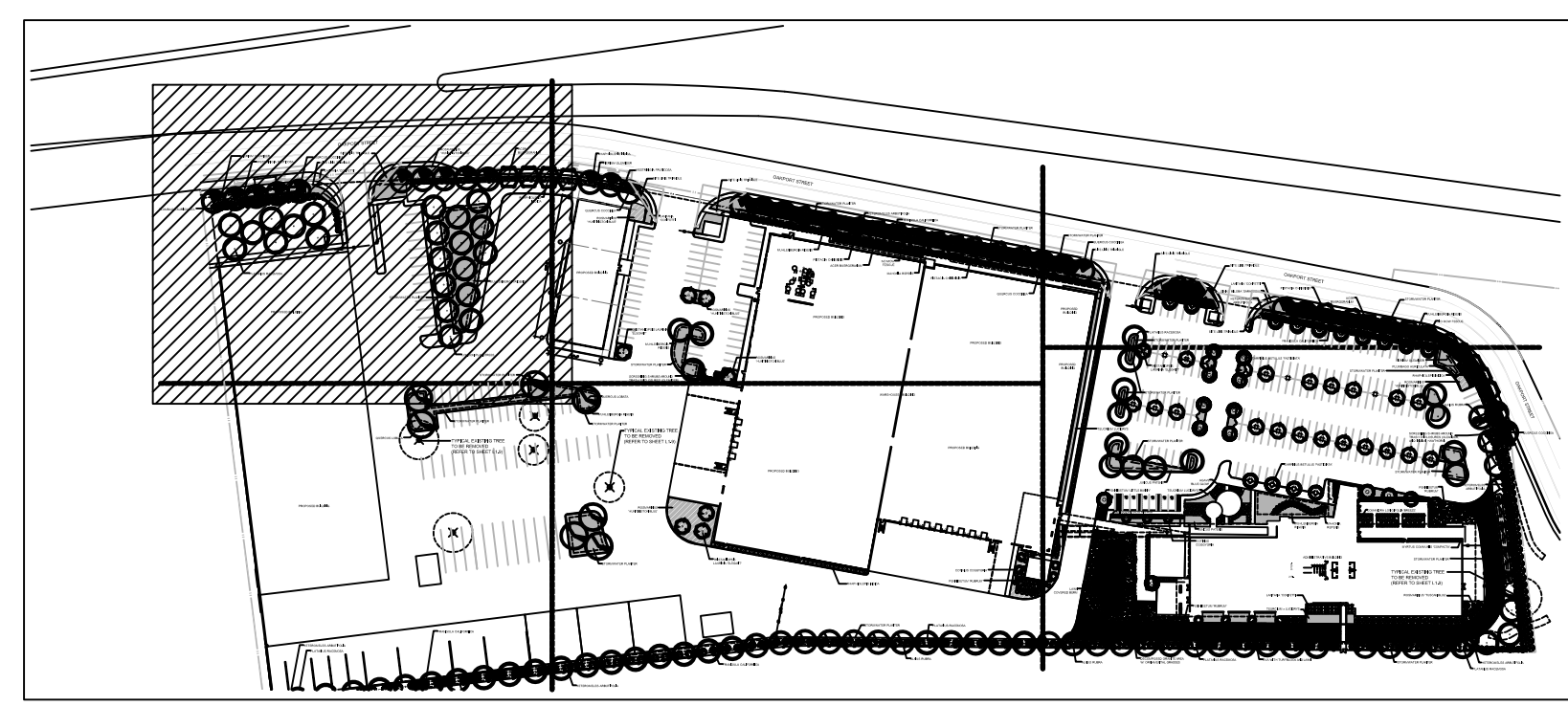
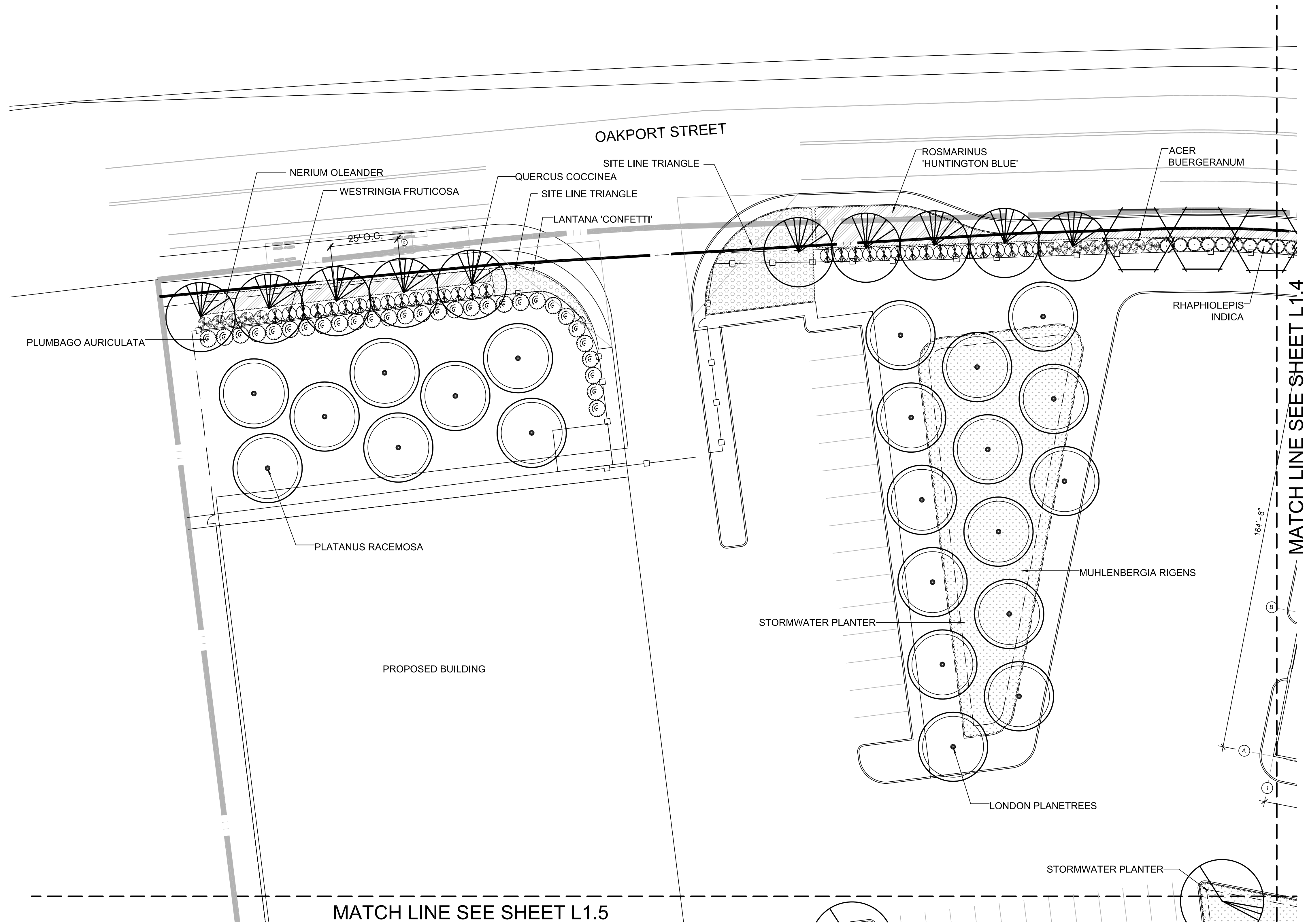
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OAKPORT ST  
OAKLAND, CALIFORNIA

DATE	REMARKS
07/20/2019	PLANNING SUBMITTAL
04-03-19	

PA / PM: J. BABINE  
DRAWN BY:  
JOB NO.: SNR17-0069-00

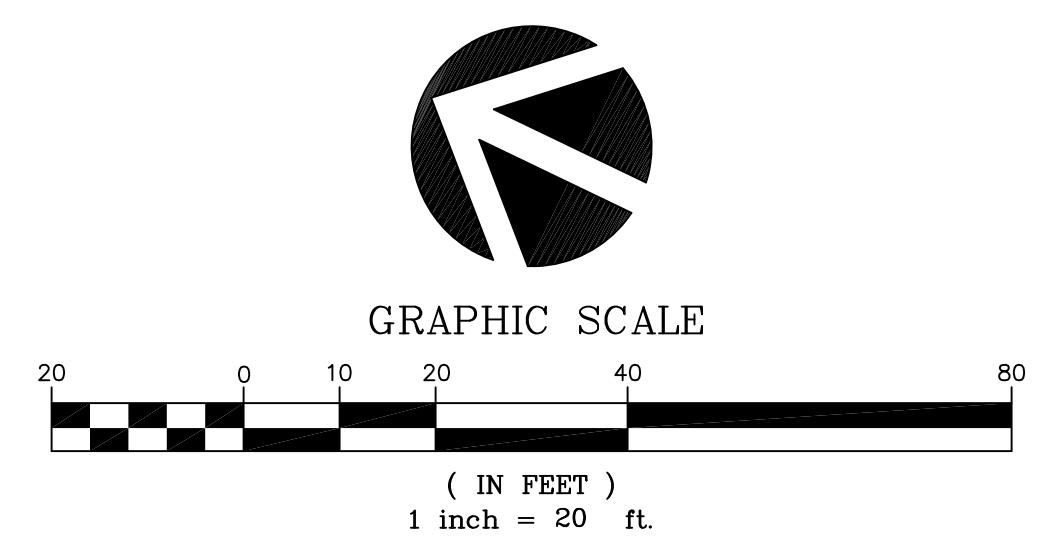
SHEET  
**L1.5**

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SITE MAP

REFER TO SHEET L1.8 FOR PLANT LEGEND

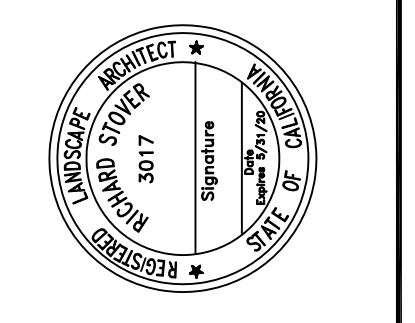


PRELIMINARY PLAN

Thomas Baak & Associates, LLP  
 Landscape Architects  
 1620 North Main Street, Suite 4  
 Walnut Creek, CA 94596  
 Ph: 925.933.2583

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 OAKLAND, CALIFORNIA

DATE	REMARKS
01/20/2019	PLANNING SUBMITTAL
04-03-19	

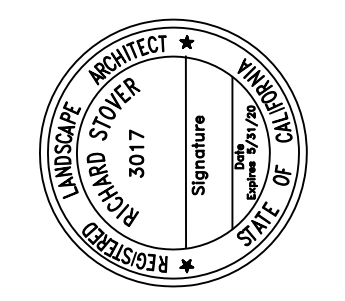
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**L1.6**

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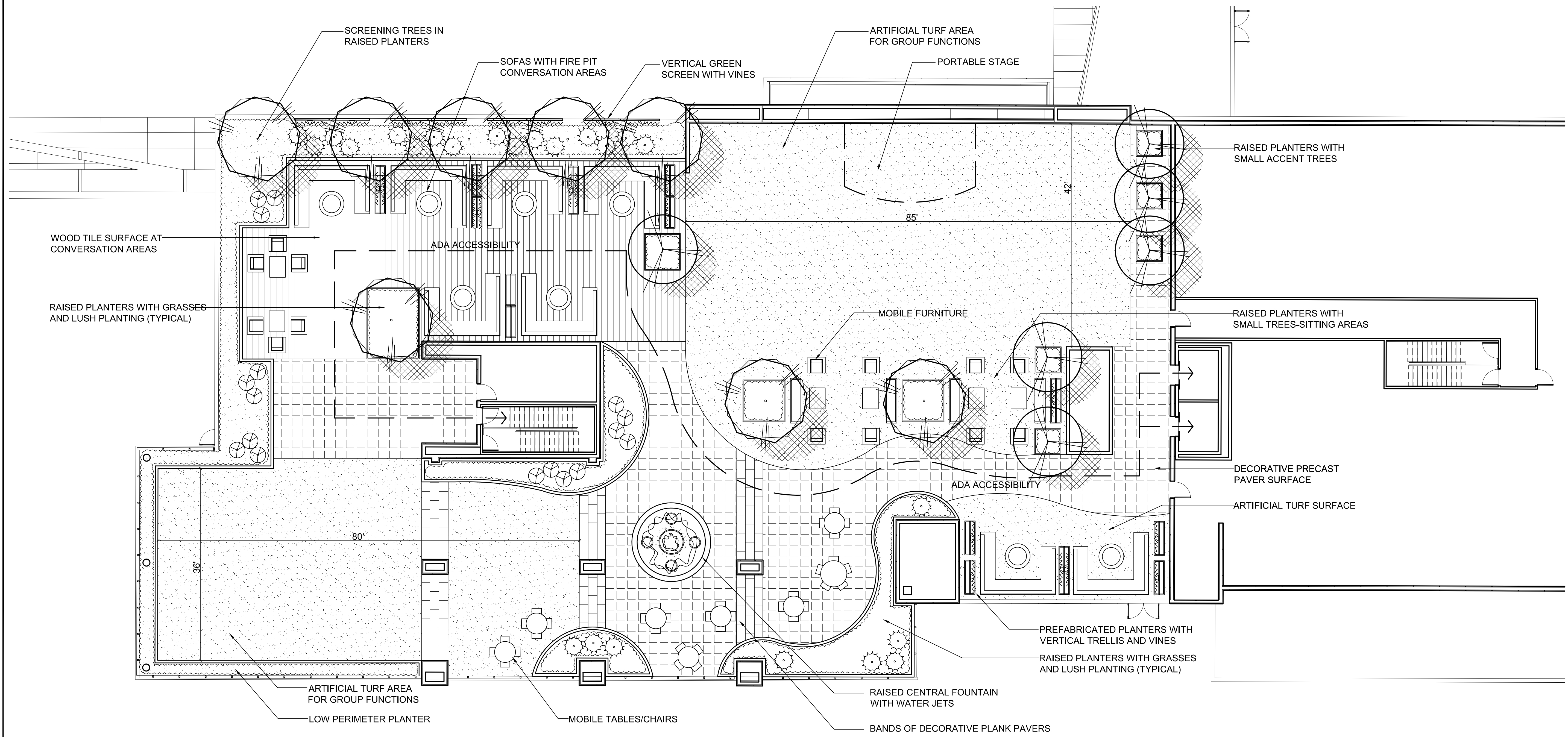


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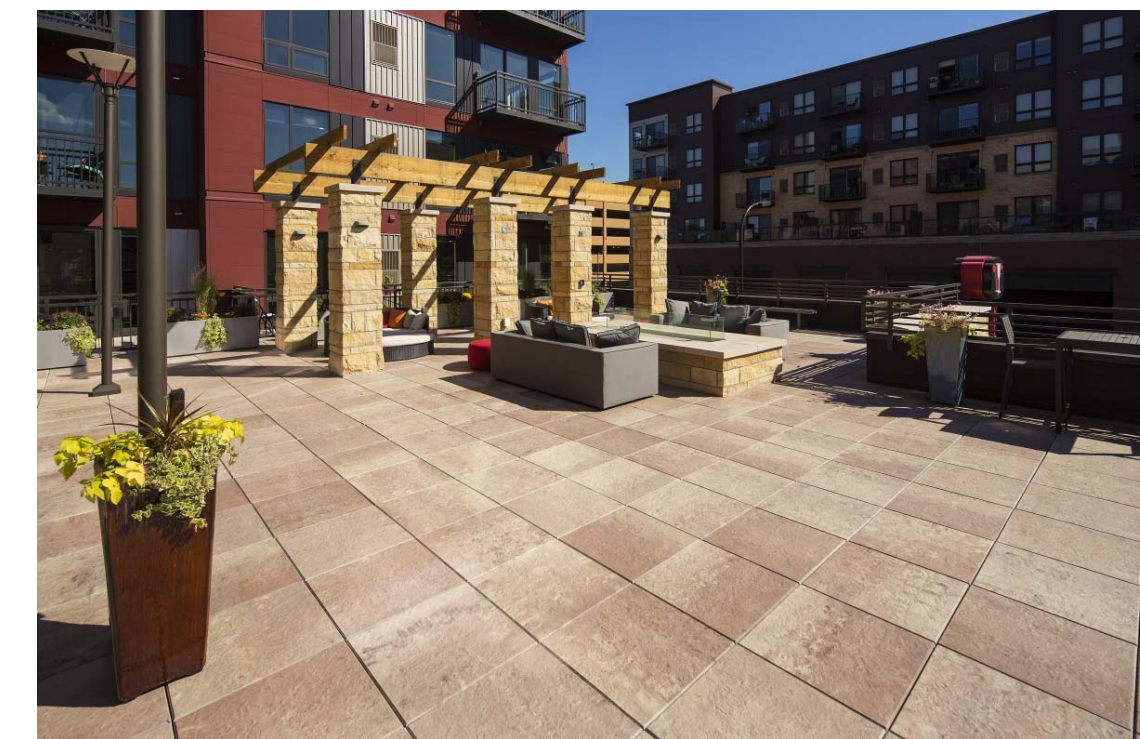
DATE	REMARKS
01/20/2019	PLANNING SUBMITTAL
04-03-19	

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DRAWN BY:	
JOB NO.:	SNR17-0069-00

SHEET  
**L1.7**



WOOD TILES



DECORATIVE PRECAST PAVERS



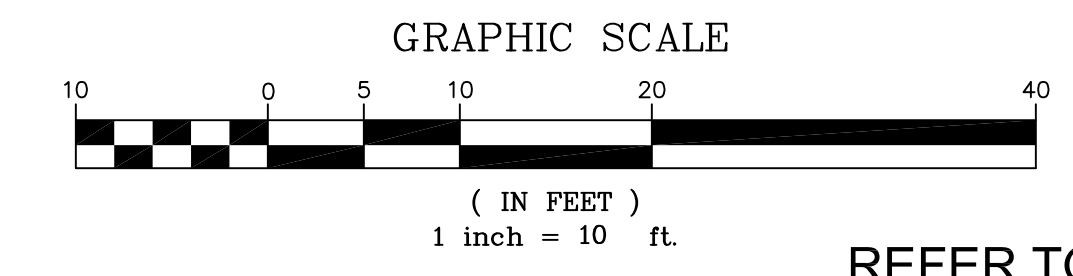
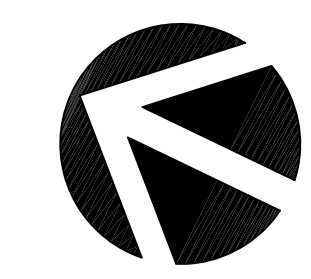
PREFABRICATED PLANTERS WITH VERTICAL TRELLISES



FIRE PITS



GREEN SCREENS  
 VERTICAL TRELLISES



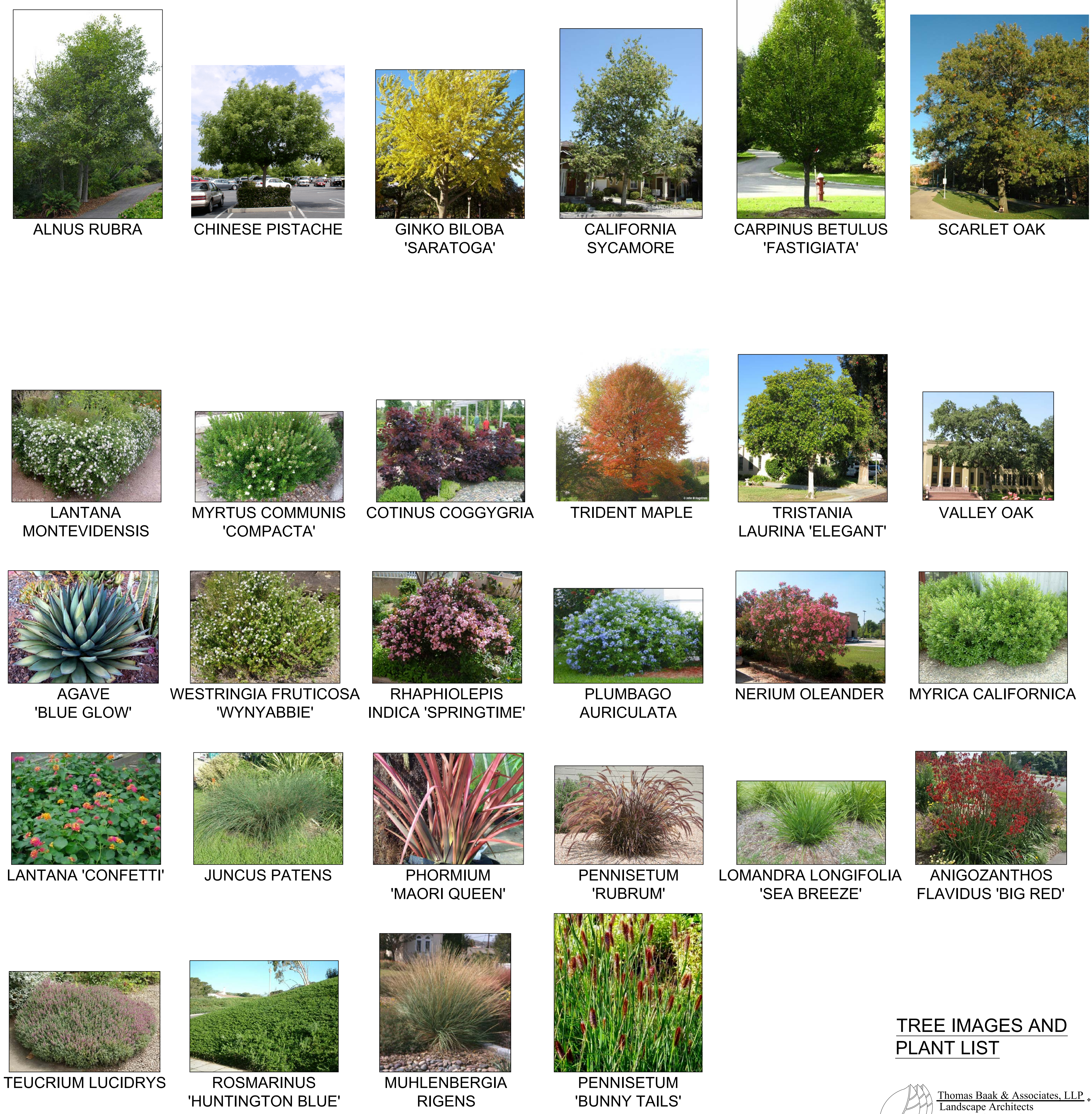
**ROOF TOP  
 PRELIMINARY PLAN**

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 Walnut Creek, CA 94596  
 Ph: 925.933.2583

REFER TO SHEET L1.8 FOR PLANT LEGEND

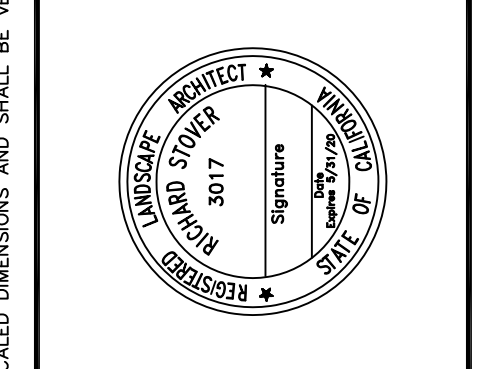
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SYMBOL / BOTANICAL NAME	COMMON NAME
<b>PLANT LEGEND:</b>	
<b>TREES:</b>	
	ACER BUERGERANUM
	ALNUS RUBRA
	CARPINUS BETULUS 'FASTIGIATA'
	GINKGO BILOBA 'SARATOGA'
	PISTACIA CHINENSIS 'KEITH DAVEY'
	PLATANUS RACEMOSA
	QUERCUS COCCINEA
	QUERCUS LOBATA
	TRISTANIA LAURINA 'ELEGANT'
<b>SHRUBS:</b>	
	COTINUS COGGYGRIA
	FRANGULA CALIFORNICA
	HETEROMELES ARBUTIFOLIA
	LANTANA 'CONFETTI'
	MAHONIA REPENS
	MYRICA CALIFORNICA
	MYRTUS COMMUNIS 'COMPACTA'
	NERIUM OLEANDER 'PETITE PINK'
	PLUMBAGO AURICULATA
	RHAPHIOLEPIS INDICA 'SPRINGTIME'
	ROSMARINUS 'TUSCAN BLUE'
	WESTRINGIA FRUTICOSA 'WYNYABBIE'
<b>PERENNIALS:</b>	
	AGAVE 'BLUE GLOW'
	ANIGOZANTHOS FLAVIDUS 'BIG RED'
	LOMANDRA LONGIFOLIA 'SEA BREEZE'
	PENNISETUM 'RUBRUM'
	PHORMIUM 'MAORI QUEEN'
<b>GROUNDCOVERS:</b>	
	JUNCUS PATENS
	LANTANA 'CONFETTI'
	LANTANA MONTEVIDENSIS (WHITE)
	MUHLENBERGIA RIGENS
	PENNISETUM 'LITTLE BUNNY'
	ROSMARINUS O. 'HUNTINGTON BLUE'
	TEUCRIUM LUCIDRYS
	CALIFORNIA GRAY RUSH
	LANTANA
	LANTANA
	DEERGRASS
	DWARF FOUNTAIN GRASS
	ROSEMARY
	ROSEMARY
	GERMANDER



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PA / PM:	J. BABINE
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JOB NO.:	SNR17-0069-00

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**L1.8**

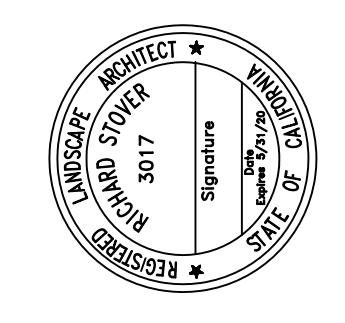
**TREE IMAGES AND  
 PLANT LIST**  
  
 Thomas Baak & Associates, LLP  
 Landscape Architects  
 1620 North Main Street, Suite 4  
 Walnut Creek, CA 94596  
 Ph: 925.933.2583

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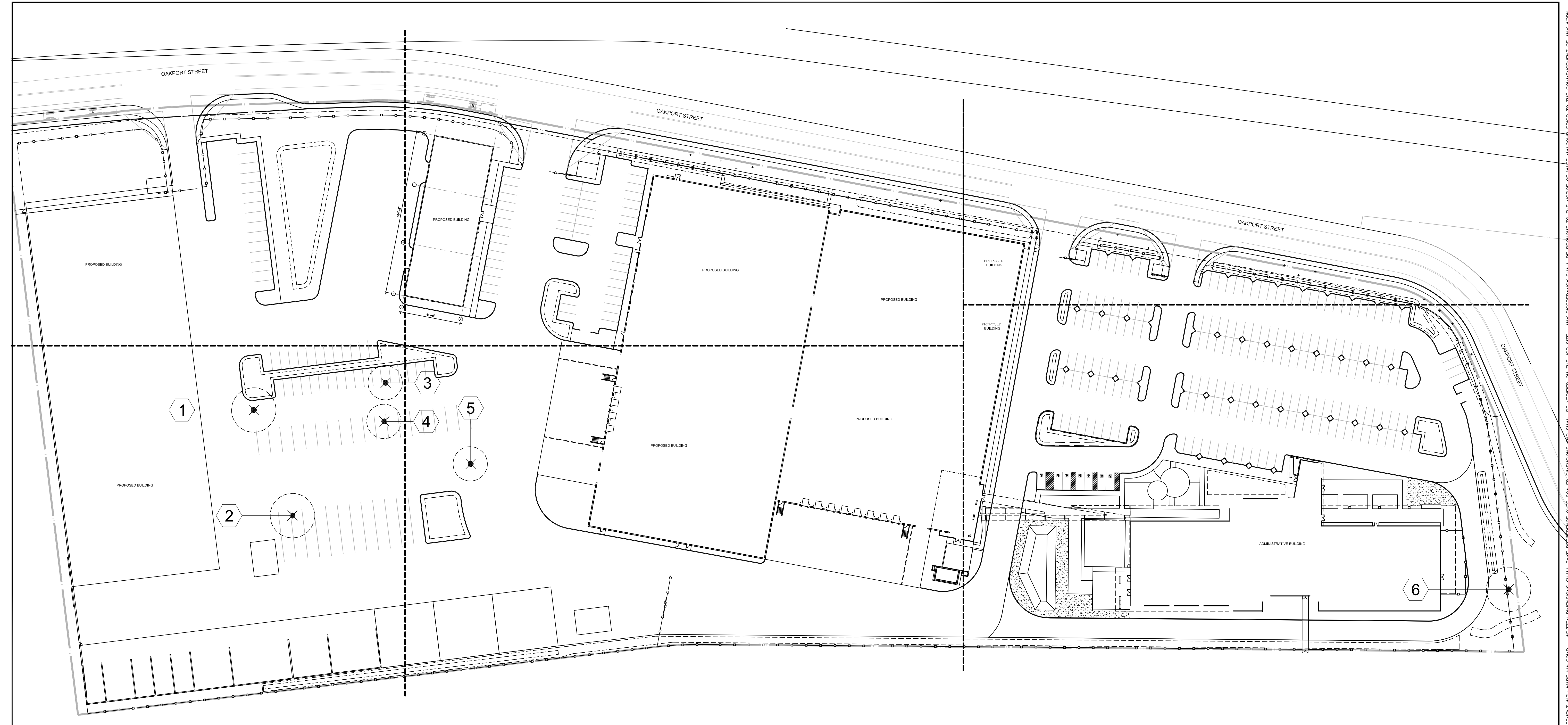


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WATER EFFICIENT LANDSCAPE WORKSHEET							
REFERENCE EVAPOTRANSPIRATION (ET <sub>o</sub> ):		41.8					
HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
<b>REGULAR LANDSCAPE AREAS:</b>							
LOW WATER USE	0.2	DRIP	0.81	0.2469135	72444	17887.40159	463569.9
MEDIUM WATER USE	0.5	BUBBLER	0.81	0.61728395	2007	1238.888888	32107.0
HIGH WATER USE	0.7	DRIP	0.81	0.86419753	10491	9066.296287	234962.1
HIGH WATER USE	0.7	SPRAY	0.75	0.9333333	15782	14729.86614	381739.2
<b>TOTALS:</b>					100724	42922	
<b>SPECIAL LANDSCAPE AREAS:</b>							
REC. AREA					1	0	0
WATER FEATURE 1					1	0	0
WATER FEATURE 2					1	0	0
<b>TOTALS:</b>						0	0
<b>ETWU TOTAL:</b>							1,112,378
<b>MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):</b>							1,174,663
<b>ETAF CALCULATIONS:</b>							
<b>REGULAR LANDSCAPE AREAS:</b>							
TOTAL ETAF x AREA	42,922						
TOTAL LANDSCAPE AREA	100,724						
AVERAGE ETAF	0.43						
NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.							
<b>ALL LANDSCAPE AREAS:</b>							
TOTAL ETAF x AREA	42,922						
TOTAL LANDSCAPE AREA	100,724						
SITOWIDE ETAF	0.43						

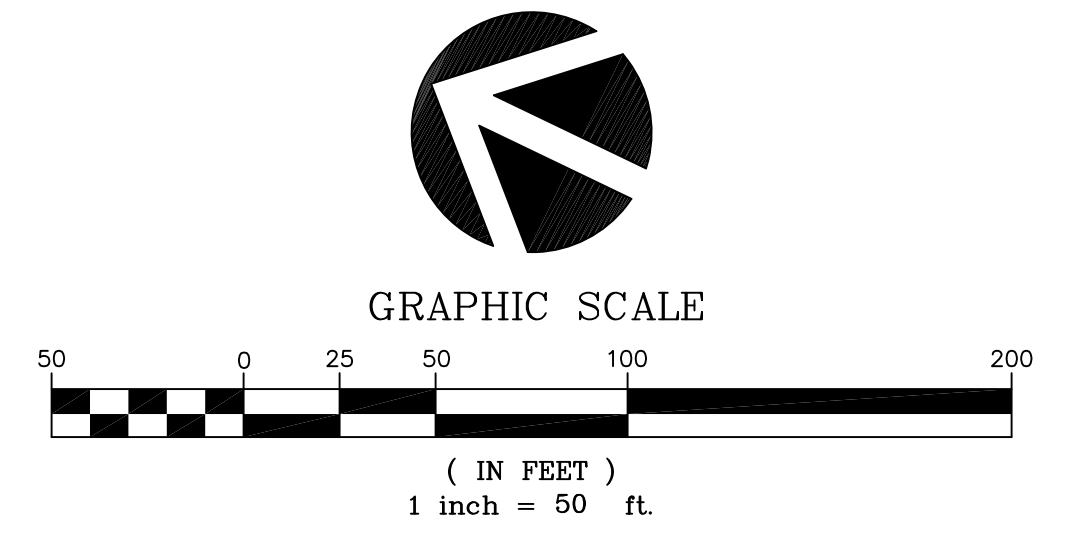
EXISTING TREE SURVEY SYMBOL	TREE COMMON NAME	CALIPER DIAMETER	STATUS
<b>TREES:</b>			
①	EUCALYPTUS	28"Ø	REMOVE
②	DATE PALM	48"Ø	REMOVE
③	OLIVE	12"Ø	REMOVE
④	OLIVE	12"Ø	REMOVE
⑤	OLIVE	10"Ø	REMOVE
⑥	DATE PALM	48"Ø	REMOVE

**STREET TREE REQUIREMENTS:**

PER CITY OF OAKLAND LANDSCAPING AND SCREENING STANDARDS, ONE STREET TREE IS REQUIRED FOR EVERY 25 FEET OF PROJECT STREET FRONTAGE (NOT NECESSARILY EVEN 25 FT. SPACING).

TOTAL PROJECT STREET FRONTAGE ALONG RIGHT OF WAY: 1,442 FT.  
TOTAL NUMBER OF (15 GALLON) STREET TREES REQUIRED: 58  
TOTAL NUMBER OF (15 GALLON) STREET TREES PROVIDED: 58

- NOTES:**
- ALL PLANTING SHALL BE WATERED BY A FULLY AUTOMATIC RECYCLED WATER IRRIGATION SYSTEM WITH WEATHER-BASED CONTROLLER OPERATION.
  - ALL PLANTING (EXCEPT LAWNS) SHALL RECEIVE A 3" DEEP LAYER OF FIR BARK MULCH DRESSING.



**TREE SURVEY PLAN**

**Thomas Baak & Associates, LLP**  
Landscape Architects  
1620 North Main Street, Suite 4  
Walnut Creek, CA 94596  
Ph: 925.933.2583

DATE	REMARKS
01/20/2019	PLANNING SUBMITTAL
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PA / PM:	J. BABINE
DRAWN BY:	
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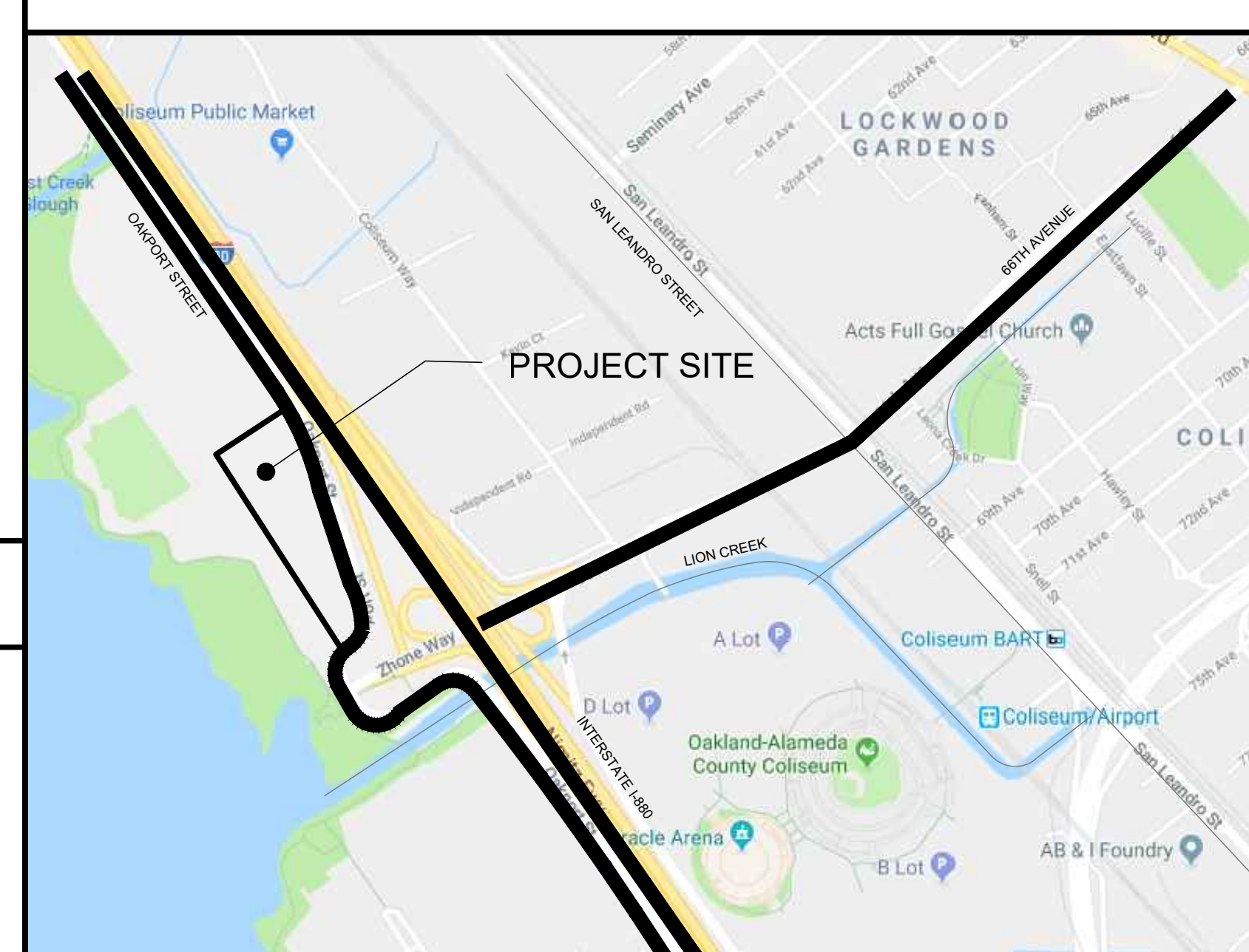
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**L1.9**

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# SUPPLYBANK.ORG OFFICES AND DISTRIBUTION FACILITY

## OAKPORT STREET OAKLAND, CA

### VICINITY MAP



### LEGEND

#### LEGEND

DEFINITION	NEW	EXISTING
PROPERTY LINE	---	---
ADJACENT PROPERTY LINE	---	---
CENTERLINE	---	---
MONUMENT LINE	---	---
EASEMENT	---	---
BUILDING LINE	---	---
FOUND MONUMENT AS NOTED		
STREET LIGHT	☀	☀
TRAFFIC SIGNAL POLE	⊙	⊙
TRANSFORMER	⊙	⊙
SANITARY SEWER MANHOLE	⊙	⊙
STORM DRAIN MANHOLE	⊙	⊙
PUMP STATION	⊙	⊙
BUBBLE UP	⊙	⊙
CATCH BASIN	⊙	⊙
AREA DRAIN	⊙	⊙
CLEAN OUT	⊙	⊙
FIRE HYDRANT	⊙	⊙
WATER METER	⊙	⊙
BACKFLOW PREVENTER	⊙	⊙
FIRE DEPARTMENT CONNECTION	⊙	⊙
DOUBLE CHECK DETECTOR ASSEMBLY	⊙	⊙
POST INDICATOR VALVE	⊙	⊙
BLOW-OFF VALVE	⊙	⊙
AUTOMATIC SPRINKLER RISER	⊙	⊙
ANODE	⊙	⊙
SIGN	⊙	⊙
TREE W/ SIZE AND ELEVATION	●	●
SPOT ELEVATION	10'	10'
INDEX CONTOUR	15	15
RIDGE	---	---
CURB	---	---
CURB & GUTTER	---	---
CONCRETE	---	---
FENCE	---	---
SANITARY SEWER	---	---
STORM DRAIN	---	---
PERFORATED PIPE	---	---
WATER	---	---
FIRE SERVICE	---	---
STORM DRAIN FORCE MAIN	---	---
SIDEWALK	---	---
2" AC GRIND AND OVERLAY	---	---
NEW AC PAVEMENT MATCH EX SECTION	---	---
DECORATIVE CONCRETE	---	---

### ABBREVIATIONS

CB	CATCH BASIN	LIP	LIP OF GUTTER
C.D.E.	COMMON DRIVEWAY & UTILITY EASEMENT	LP	LOW POINT
CTV	CABLE TELEVISION	MF	MEDIA FILTER
DI	DROP INLET	MON	MONUMENT
EB	ELECTRIC BOX	PBMH	PAC BELL MANHOLE
EM	ELECTRIC METER	PED	PEDESTAL
EV	ELECTRIC VAULT	P.S.E.	PUBLIC SERVICE EASEMENT
FG	FINISH GRADE	PV	PAVEMENT
FS	FINISH SURFACE	RE	RIM ELEVATION
FL	FLOW LINE	SD	STORM DRAIN
FND	FOUND	SD-T	TREATED STORM WATER
FF	FINISH FLOOR	SLB	STREET LIGHT BOX
FM	FORCE MAIN	SSMH	SANITARY SEWER MANHOLE
GV	GAS VALVE	TB	TELEPHONE BOX
HP	HIGH POINT	TC	TOP OF CURB
IB	IRRIGATION BOX	TSB	TRAFFIC SIGNAL BOX
ICB	IRRIGATION CONTROL BOX	TSL	TOP OF SOIL LAYER
INV	INVERT ELEVATION		
INT	INTERCONNECT BOX		

### GENERAL CIVIL NOTES

- CONTRACTOR SHALL FOLLOW CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. BUILDING CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT & CONTINUOUS GRADE WITH EXISTING.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM DRAIN STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- LOCATION AND ELEVATION OF ALL EXISTING IMPROVEMENTS WITHIN THE AREA OF WORK SHALL BE CONFIRMED BY FIELD MEASUREMENT PRIOR TO CONSTRUCTION OF NEW WORK. CONTRACTOR WILL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
- THE CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES WITH POT-HOLED ELEVATIONS AND ELEVATIONS SHOWN ON THESE PLANS IN ADVANCE WITH ENOUGH TIME SO THAT ANY REDESIGN DOES NOT DELAY THE CONSTRUCTION SCHEDULE.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY & GAS CO. FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
- FOR LOCATION OF ALL UTILITY ENTRANCES, SEE ARCHITECTURAL PLANS AND SPECIFICATIONS.
- THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN PAVED AREAS SHALL MATCH FINISH GRADE. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN GRASS AREA SHALL BE SIX (6) INCHES ABOVE FINISH GRADE.
- CONTRACTOR SHALL CONNECT ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES TO ASSURE WATER TIGHT CONNECTIONS.
- CONTRACTOR SHALL ON ALL UTILITIES, COORDINATE INSPECTION WITH APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT INSTALLATION.
- CONSTRUCTION SHALL COMPLY WITH GOVERNING CODES AND REQUIREMENTS. CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE UTILITY COMPANIES AND OWNERS INSPECTING AUTHORITIES.
- SITE/SUBGRADE PREPARATION TO BE CONDUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY KLEINFELDER, PROJECT 20164216.001A, DATED September 15, 2016

### SHEET INDEX

SHEET NUMBER	SHEET NAME
C1.0	1 COVER SHEET
C2.0	2 EXISTING CONDITIONS
C3.0	3 PRELIMINARY GRADING PLAN
C3.1	4 PRELIMINARY GRADING PLAN
C3.2	5 DETAILS AND SECTIONS
C4.0	6 PRELIMINARY UTILITY PLAN
C4.1	7 PRELIMINARY UTILITY PLAN
C5.0	8 EROSION CONTROL PLAN
C5.1	9 EROSION CONTROL DETAILS
C6.0	10 STORMWATER CONTROL PLAN
C6.1	11 STORMWATER CONTROL DETAILS
C7.0	12 EBMUD PRELIMINARY POST CONSTRUCTION NORTH SITE EXHIBIT

### UTILITY PROVIDERS

SEWER	CITY OF OAKLAND 250 FRANK H OGAWA PLAZA OAKLAND, CA 94612 (510) 615-5566
WATER	EAST BAY MUNICIPAL UTILITY DISTRICT 375 11TH STREET OAKLAND, CA 94607 (866) 403-2683
GAS	PACIFIC GAS & ELECTRIC 4801 OAKPORT STREET OAKLAND, CA 94601 (510) 437-2141
TELEPHONE	COMCAST 3070 E 9TH STREET OAKLAND, CA 94601 (800) 934-6489
ELECTRIC	PACIFIC GAS & ELECTRIC 4801 OAKPORT STREET OAKLAND, CA 94601 (510) 437-2141
STORM	CITY OF OAKLAND 250 FRANK H OGAWA PLAZA OAKLAND, CA 94612 (510) 615-5566
GARBAGE	WASTE MANAGEMENT OF ALAMEDA COUNTY 22771 MAIN STREET HAYWARD, CA 94541 (510) 537-5500

### DESCRIPTION OF PROPOSED ACTIVITIES

PROVIDING GRADING, DRAINAGE, & UTILITY DESIGN FOR THE CONSTRUCTION OF ONE NEW 93,345 SQ FT SINGLE STORY, SPECULATIVE WAREHOUSE BUILDING OF TYPE III-B CONSTRUCTION. SITEWORK IMPROVEMENTS SHALL CONSIST OF NEW HARDSCAPE AND LANDSCAPE, REPLACING EXISTING UNDEVELOPED AREAS.

### GEOTECHNICAL ENGINEER'S STATEMENT

THE PLAN HAS BEEN REVIEWED AND HAS BEEN FOUND TO BE IN SUBSTANTIAL CONFORMANCE WITH THE RECOMMENDATION OF THE REPORT ENTITLED "GEOTECHNICAL ENGINEERING STUDY", DATED 06/15/2018 PROJECT NO. ND175105

BY: TERRACON CONSULTING, INC.

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
RCE \_\_\_\_\_

### ALAMEDA COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT

STORM DRAIN SYSTEM REVIEWED

WILLIAM LEPERE, DEPUTY DIRECTOR  
DEVELOPMENT SERVICES, ALAMEDA COUNTY  
DATE \_\_\_\_\_

### PLANS PREPARED UNDER THE DIRECTION OF:

Gerryparco, P.E.  
RCE 59608  
DATE \_\_\_\_\_

### CITY OF OAKLAND FIRE DEPARTMENT

XXXXXXXX  
FIRE MARSHALL  
DATE \_\_\_\_\_

### CITY OF OAKLAND UTILITIES & ENVIRONMENTAL SERVICES DEPARTMENT

XXXXXXXXXX  
DIRECTOR OF UTILITIES & ENVIRONMENTAL SERVICES DEPARTMENT  
DATE \_\_\_\_\_

### CITY OF OAKLAND ENGINEERING

XXXXXXXX  
DIRECTOR OF PUBLIC WORKS/CITY ENGINEER  
RCE 59608  
DATE \_\_\_\_\_

### PROPERTY DATA

APN: 41-3903-008-8  
PROPERTY ADDRESS: OAKPORT STREET  
OAKLAND, CA 94612  
OWNER: EAST BAY MUNICIPAL UTILITY DISTRICT  
375 11TH STREET  
OAKLAND, CA 94607  
(866) 403-2683  
DEVELOPER: SUPPLYBANK.ORG  
7730 PARDEE LANE  
OAKLAND, CA 94621  
(510) 569-5862  
SITE AREA: 16.376 AC±  
SITE AREA TO BE ACQUIRED: 0.18 AC±  
TOTAL SITE/ PROJECT AREA : 16.556 AC±

**WARE MALCOMB**  
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4883 chabot dr  
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pleasanton, ca 94588  
p 925.244.9620  
waremalcomb.com



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OAKLAND, CALIFORNIA

COVER SHEET

REMARKS

JOB NO.:	SNR17-0069
PA / PM:	GP
DRAWN BY:	SY
DATE:	JAN 15, 2019

SHEET  
**C1.0**  
Sheet of 11



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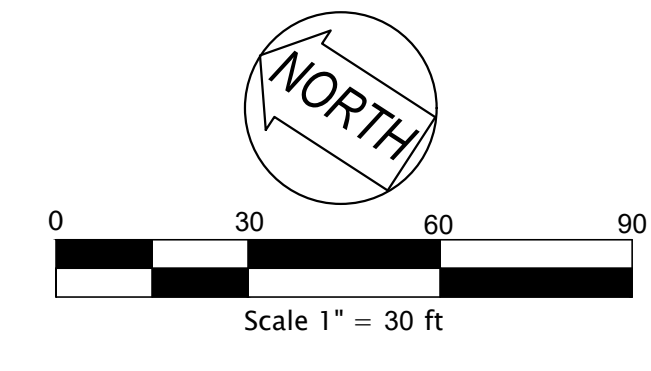
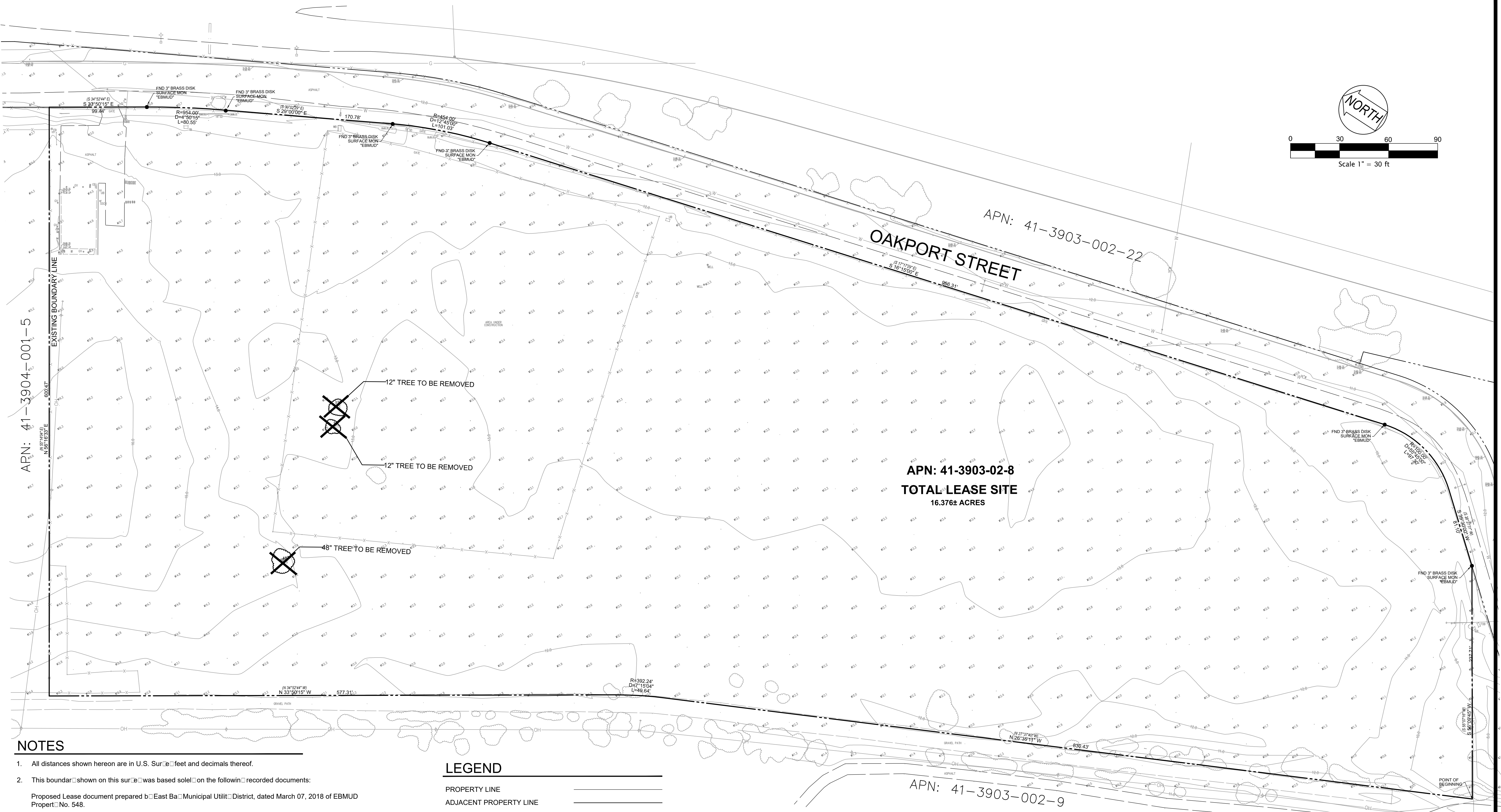
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OAKLAND, CALIFORNIA

EXISTING CONDITION  
REMARKS

JOB NO.: SNR17-0069  
PA / PM: GP  
DRAWN BY: SY  
DATE: JAN 15, 2019

SHEET  
**C2.0**  
Sheet 2 of 11



**NOTES**

- 1. All distances shown hereon are in U.S. Survey feet and decimals thereof.
2. This boundary shown on this survey was based solely on the following recorded documents: Proposed Lease document prepared by East Bay Municipal Utility District, dated March 07, 2018 of EBMUD Property No. 548.
3. The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability.
4. A.P.N.: 041-3903-002-08
5. Basis of Bearings and Benchmarks: The bearings shown hereon are based upon the California Coordinate System of 1983, Zone 3, Epoch Date of 2010.00...
6. Flood Zone Note: The subject property is shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel Number 065048 0089 G, dated August 03, 2009, as being located in Flood Zone "X"

**LEGEND**

- PROPERTY LINE
ADJACENT PROPERTY LINE
FOUND IRON PIPE OR AS NOTED
LIGHT
STREET LIGHT
TRAFFIC SIGNAL POLE
TRANSFORMER
FIRE HYDRANT
STORM DRAIN MANHOLE
SANITARY SEWER MANHOLE
CLEAN OUT
GAS METER
UTILITY POLE W/ GUY WIRE
VALVE
CATCH BASIN / DROP INLET
WATER METER
BACK FLOW PREVENTER
UTILITY BOX (SIZE VARIES)
MONITORING WELL
SIGN
RECORD INFORMATION W/ REFERENCE
TREE W/ SIZE AND ELEVATION
SPOT ELEVATION

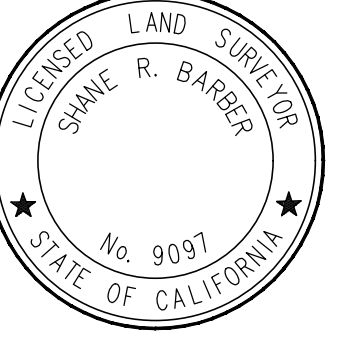
- CONTOUR
INDEX CONTOUR
CURB
CURB & GUTTER
CONCRETE
FENCE
RETAINING WALL
EDGE OF PAVEMENT
SANITARY SEWER
STORM DRAIN
WATER
GAS
OVERHEAD

**ABBREVIATIONS**

- DET DETECTOR
EB ELECTRIC BOX
FL FLOW LINE
FOB FIBER OPTIC BOX
GV GAS VALVE
LIP LIP OF GUTTER
IE INVERT ELEVATION
PV PAVEMENT
RE RIM ELEVATION
SSCO SANITARY SEWER CLEAN OUT
SSMH SANITARY SEWER MANHOLE
TB TELEPHONE BOX
UB UTILITY BOX
WB WATER BOX



DATE PREPARED BY OR UNDER THE SUPERVISION OF SHANE R. BARBER, L.S. 9097

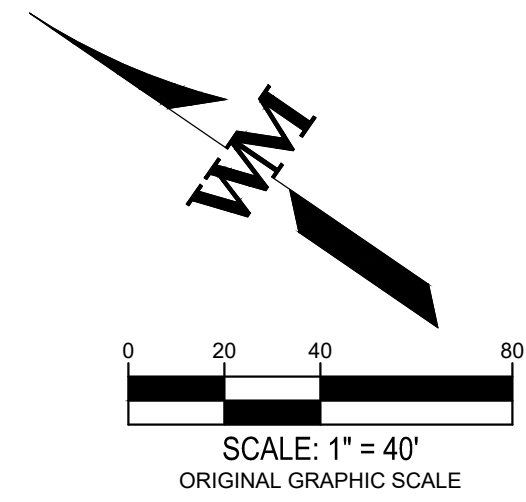


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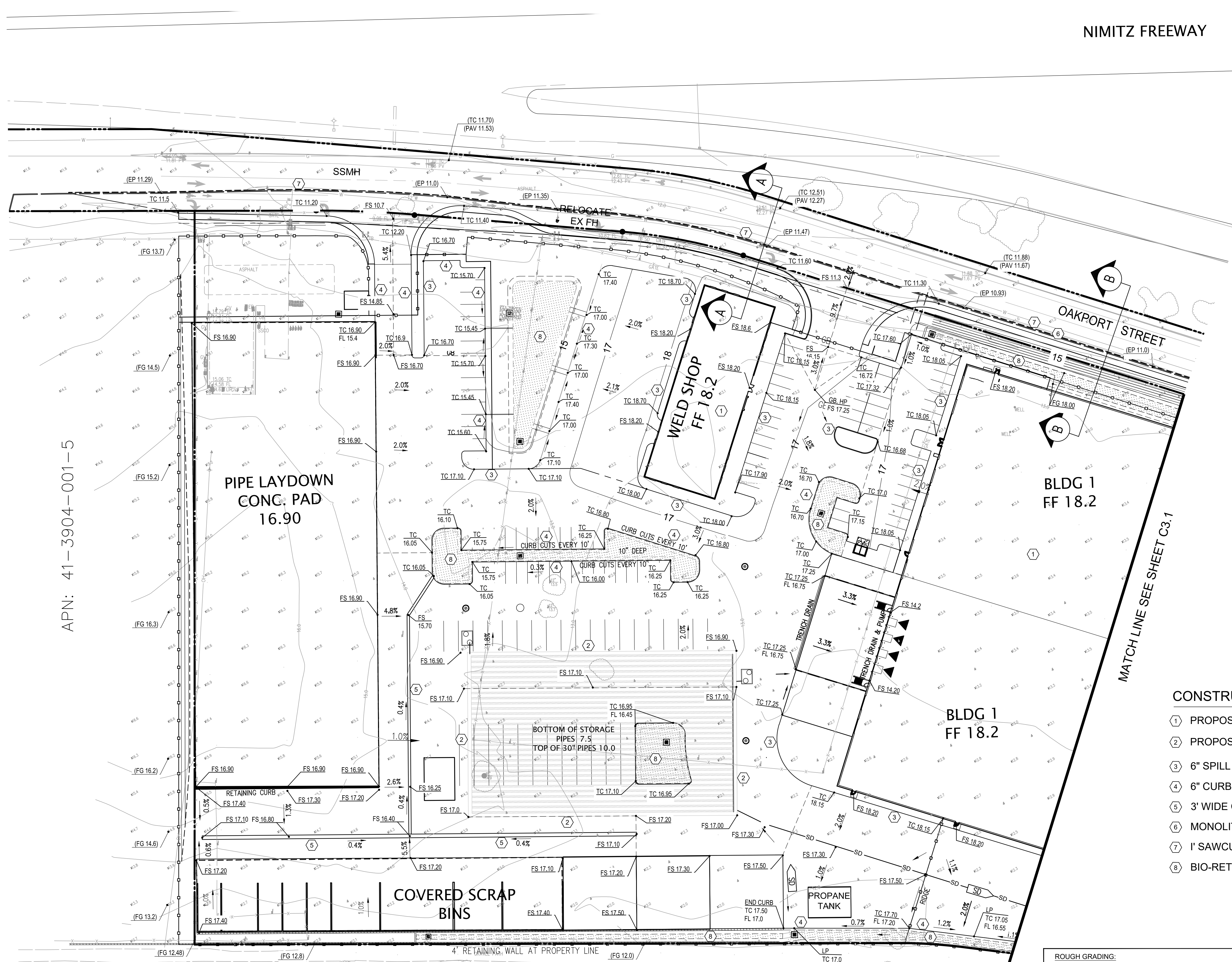
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PRELIMINARY GRADING AND DRAINAGE PLAN	
NO.	DATE

JOB NO.:	SNR17-0069
PA / PM:	GP
DRAWN BY:	SY
DATE:	JAN 15, 2019

SHEET  
**C3.0**  
Sheet 3 of 11

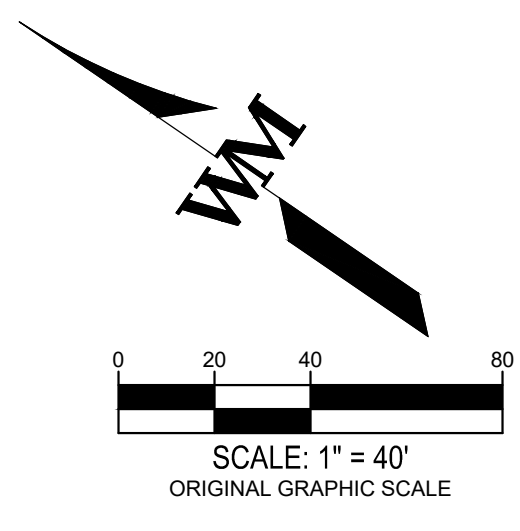
APN: 41-3904-001-5



**CONSTRUCTION NOTES:**

- ① PROPOSED BUILDING, SEE ARCHITUTURAL PLANS
- ② PROPOSED UNDERGROUND SD STORAGE PIPE SYSTEM
- ③ 6" SPILL CURB SEE DETAIL SHEET
- ④ 6" CURB AND GUTTER PER CITY STANDARDS
- ⑤ 3' WIDE CONCRETE VALLEY GUTTER
- ⑥ MONOLITHIC CURB & GUTTER AND SIDEWALK
- ⑦ 1' SAWCUT LINE
- ⑧ BIO-RETENTION AREA

ROUGH GRADING:	
PRELIMINARY EARTHWORK QUANTITIES:	
CUT:	8,430 CY
FILL:	31,378 CY
NET BALANCE:	22,941 CY IMPORT
<p>QUANTITIES SHOWN ARE "FINISHED GRADE" CALCULATIONS. NO SHRINK, SWELL, OR COMPACTION FACTORS HAVE BEEN USED. PAVEMENT AND BUILDING SLAB DEPTH HAVE NOT BEEN REMOVED FROM QUANTITIES LISTED.</p> <p>QUANTITIES ARE SHOWN FOR INFORMATION ONLY AND SHALL BE CONFORMED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION. ALL EARTHWORK OPERATIONS SHALL BE PREPARED PER GEOTECHNICAL REPORT BY RANEY GEOTECHNICAL INC. DATED MAY 24, 2018 INCLUDING SUBGRADE PERPETRATION AND DEPTHS.</p>	



**CONSTRUCTION NOTES:**

- ① PROPOSED BUILDING, SEE ARCHITECTURAL PLANS
- ② PROPOSED UNDERGROUND SD STORAGE PIPE SYSTEM
- ③ 6" SPILL CURB SEE DETAIL SHEET
- ④ 6" CURB AND GUTTER PER CITY STANDARDS
- ⑤ STORM DRAIN SPILLWAY
- ⑥ MONOLITHIC CURB & GUTTER AND SIDEWALK
- ⑦ 1' SAWCUT LINE
- ⑧ BIO-RETENTION AREA
- ⑨ CONTROLLED FLOW / ENERGY DISSIPATER ROCK SWALE



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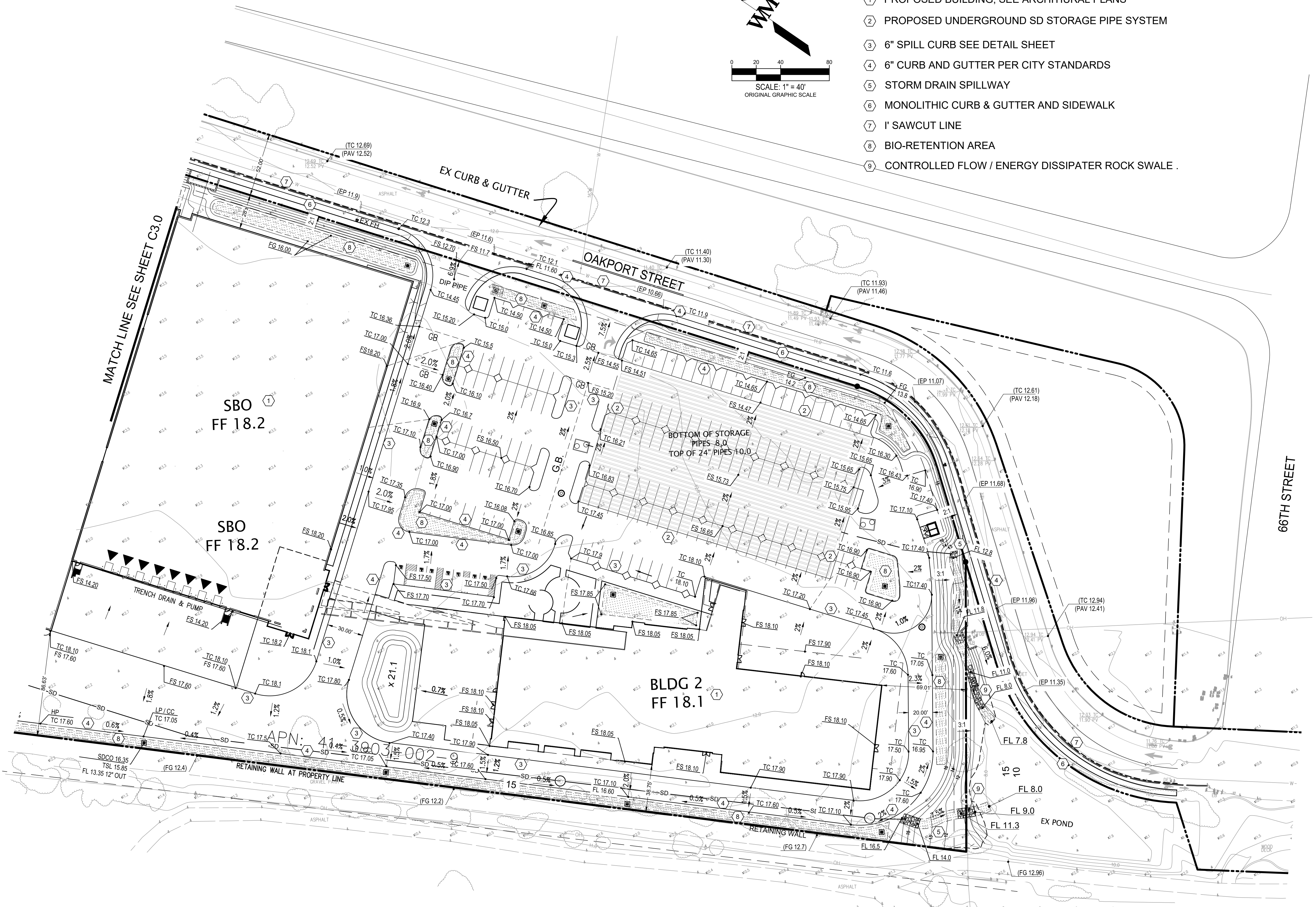
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PRELIMINARY GRADING AND  
DRAINAGE PLAN  
REMARKS

JOB NO.:	SNR17-0069
PA / PM:	GP
DRAWN BY:	SY
DATE:	JAN 15, 2019

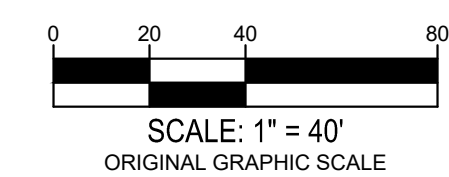
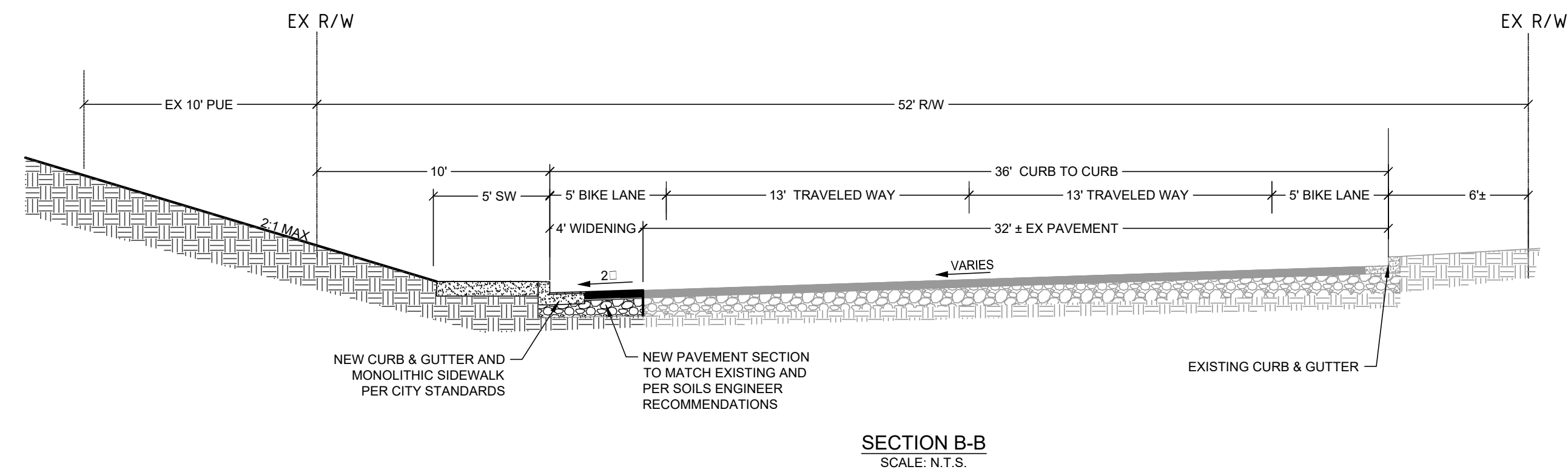
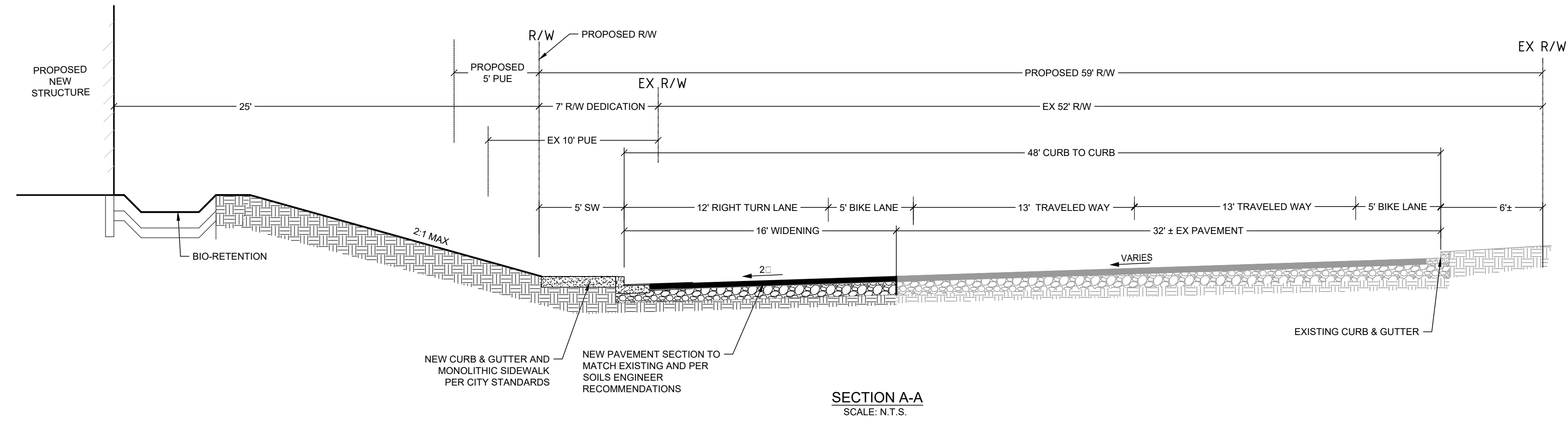
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DRAINAGE PLAN  
REMARKS

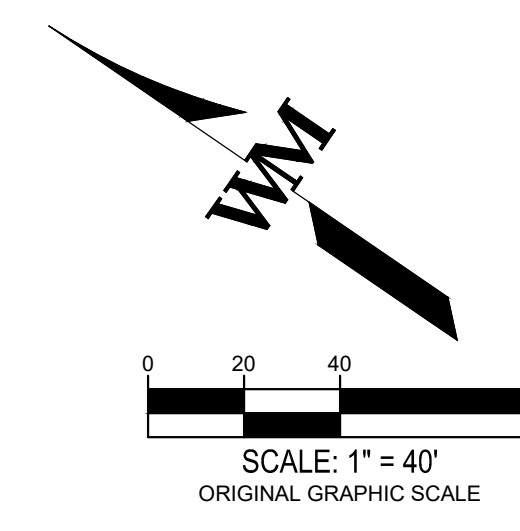
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**STORM DRAIN STRUCTURES TABLE**

STR #	GRATE/RIM	INVERT
CB-1	16.50	14.00 (8" OUT)
CB-2	14.75	14.25 (12" OUT)
CB-3	14.92	10.84 (12" THRU)
CB-4	17.50	14.50 (12" THRU)
CB-5	16.50	13.50 (12" THRU)
CB-6	16.25	13.25 (6" OUT)
CB-7	15.80	13.30 (12" OUT)
CB-8	15.80	13.30 (12" OUT)
BU-1	14.75	13.25 (8" OUT)
MF-1	16.80	13.00 (12" IN)
		10.50 (12" THRU)
MF-2	16.80	13.00 (12" IN)
		10.50 (12" THRU)
SDMH-1	15.70	10.65 (12" THRU)
SDMH-2	15.70	13.20 (12" THRU)
SDMH-3	16.7	13.15 (12" THRU)
SDMH-4	16.3	13.10 (12" THRU)
SDMH-5	16.8	9.8 (8" THRU)

**STORM CONSTRUCTION NOTES:**

- 1 INSTALL 24" OVERFLOW CB, CHRISTY OR EQUAL.
- 2 INSTALL SDMH PER CITY STANDARDS
- 3 INSTALL SDMH WITH PUMP
- 4 INSTALL MEDIA FILTER (STORM WATER TREATMENT DEVICE)
- 5 INSTALL NEW BUBBLE-UP
- 6 TREATED STORM DRAIN PIPE.
- 7 UNDERGROUND STORM WATER STORAGE SYSTEM

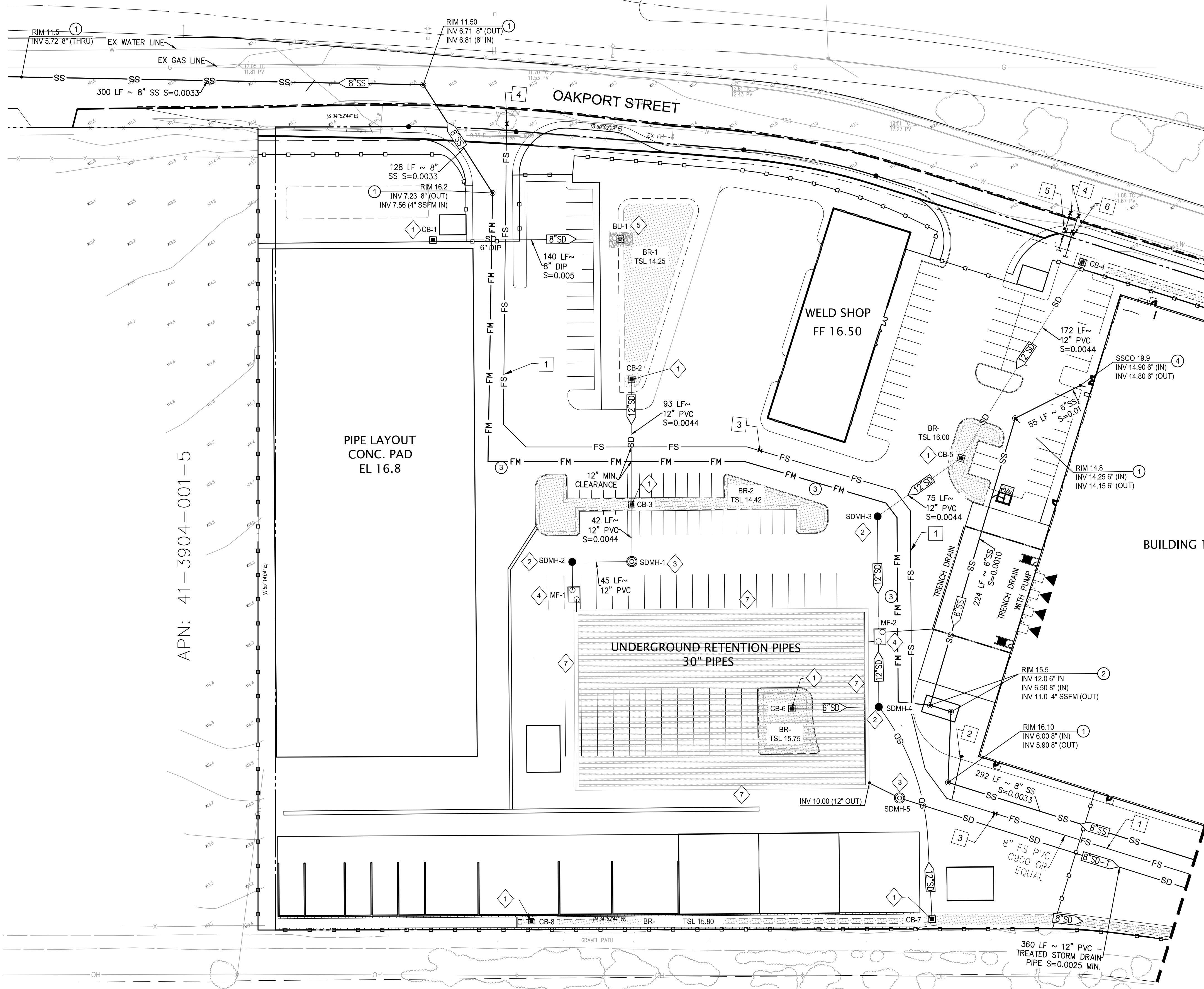
NOTES:  
ALL PIPES SHALL BE PVC SDR-35 OR APPROVED EQUAL  
UNLESS OTHERWISE NOTED.

**WATER CONSTRUCTION NOTES:**

- 1 INSTALL NEW FIRE SERVICE LINE C900 PR APPROVED EQUAL.
- 2 INSTALL NEW FIRE HYDRANT PER CITY STANDARDS
- 3 NEW SECTIONAL VALVE PER EBMUD STD.
- 4 CONNECT TO EXISTING 16" MAIN PER E.B.U.D. STD.
- 5 INSTALL WM AND IRRIGATION LINE PER E.B.M.U.D. STD.
- 6 INSTALL WM AND DOMESTIC WATER LINE PER E.B.U.D. STD.

**SEWER CONSTRUCTION NOTES**

- 1 INSTALL NEW SSMH PER CITY STANDARDS.
- 2 INSTALL NEW SEWER LIFT STATION
- 3 INSTALL 4" SS FORCE MAIN.
- 4 INSTALL 4" SSCO



APN: 41-3904-001-5

PIPE LAYOUT  
CONC. PAD  
EL 16.8

MATCH LINE SEE SHEET C3.1

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REGISTERED PROFESSIONAL ENGINEER  
**GERRY L. PARCO**  
No. 59608  
CIVIL  
STATE OF CALIFORNIA  
Mar 19, 2019

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**CONCEPTUAL UTILITY PLAN**

NO.	DATE	REMARKS

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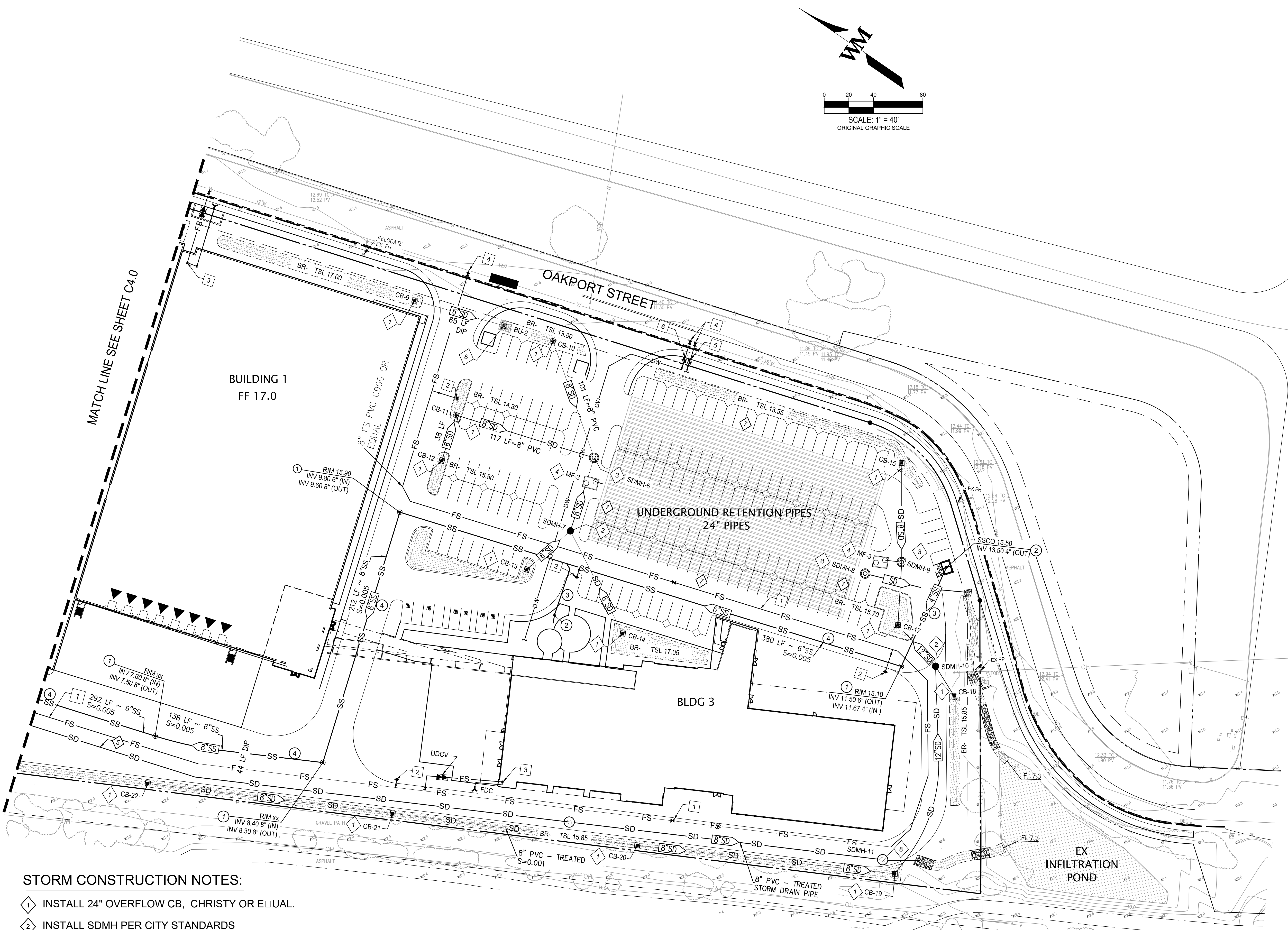
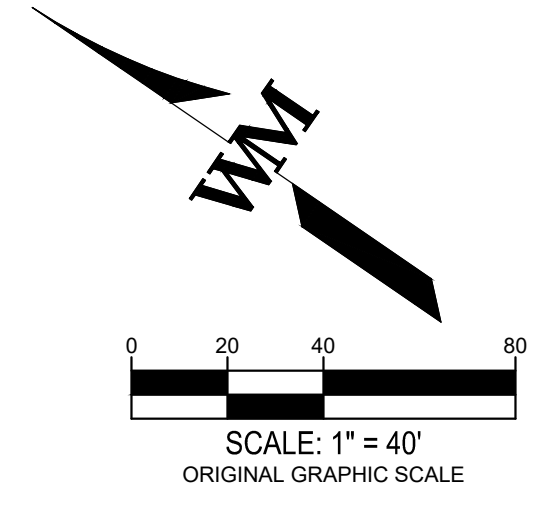
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SHEET  
**C4.1**  
Sheet 7 of 11



STR #	GRATE / RIM	INVERT
CB-9	16.50	12.30 (6\"/>
CB-10	14.30	10.90 (6\"/>
CB-11	16.00	11.50 (6\"/>
CB-12	16.00	13.00 (6\"/>
CB-13	16.30	13.30 (6\"/>
CB-14	17.55	14.55 (6\"/>
CB-15	14.05	11.00 (6\"/>
CB-16	NOT USED	
CB-17	16.20	13.16 (12\"/>
CB-18	16.35	13.35 (6\"/>
CB-19	16.45	13.35 (12\"/>
CB-20	16.45	13.55 (8\"/>
CB-21	16.45	13.75 (12\"/>
CB-22	16.45	13.95 (12\"/>
BU-1	14.30	12.00 (6\"/>
MF-3	16.10	13.00 (12\"/>
MF-4	16.00	13.00 (12\"/>
SDMH-6	15.2	10.5 (8\"/>
SDMH-7	16.9	13.20 (8\"/>
SDMH-8	NOT USED	
SDMH-9	16.1	13.21 (12\"/>
SDMH-10	16.5	13.30 (12\"/>
SDMH-11	16.5	1XXX (XX\"/>

**STORM CONSTRUCTION NOTES:**

- 1 INSTALL 24" OVERFLOW CB, CHRISTY OR EQUAL.
- 2 INSTALL SDMH PER CITY STANDARDS
- 3 INSTALL SDMH WITH PUMP
- 4 INSTALL MEDIA FILTER (STORM WATER TREATMENT DEVICE)
- 5 INSTALL NEW BUBBLE-UP
- 6 TREATED STORM DRAIN PIPE.
- 7 UNDERGROUND STORM WATER STORAGE SYSTEM
- 8 INSTALL SDMH WITH METERING DEVICE

NOTES:  
ALL PIPES SHALL BE PVC SDR-35 OR APPROVED EQUAL  
UNLESS OTHERWISE NOTED.

**WATER CONSTRUCTION NOTES:**

- 1 INSTALL NEW FIRE SERVICE LINE C900 PR APPROVED EQUAL.
- 2 INSTALL NEW FIRE HYDRANT PER CITY STANDARDS
- 3 NEW FIRE RISER INSIDE BUILDING
- 4 CONNECT TO EXISTING 16" MAIN PER E.B.U.D. STD.
- 5 INSTALL WM AND IRRIGATION LINE PER E.B.M.U.D. STD.
- 6 INSTALL WM AND DOMESTIC WATER LINE PER E.B.U.D. STD.

**SEWER CONSTRUCTION NOTES**

- 1 INSTALL NEW SSMH PER CITY STANDARDS.
- 2 INSTALL SEWER CLEANOUT PER CITY STD.
- 3 INSTALL 4" SS LATERAL
- 4 INSTALL NEW 8" PVC SEWER PIPE







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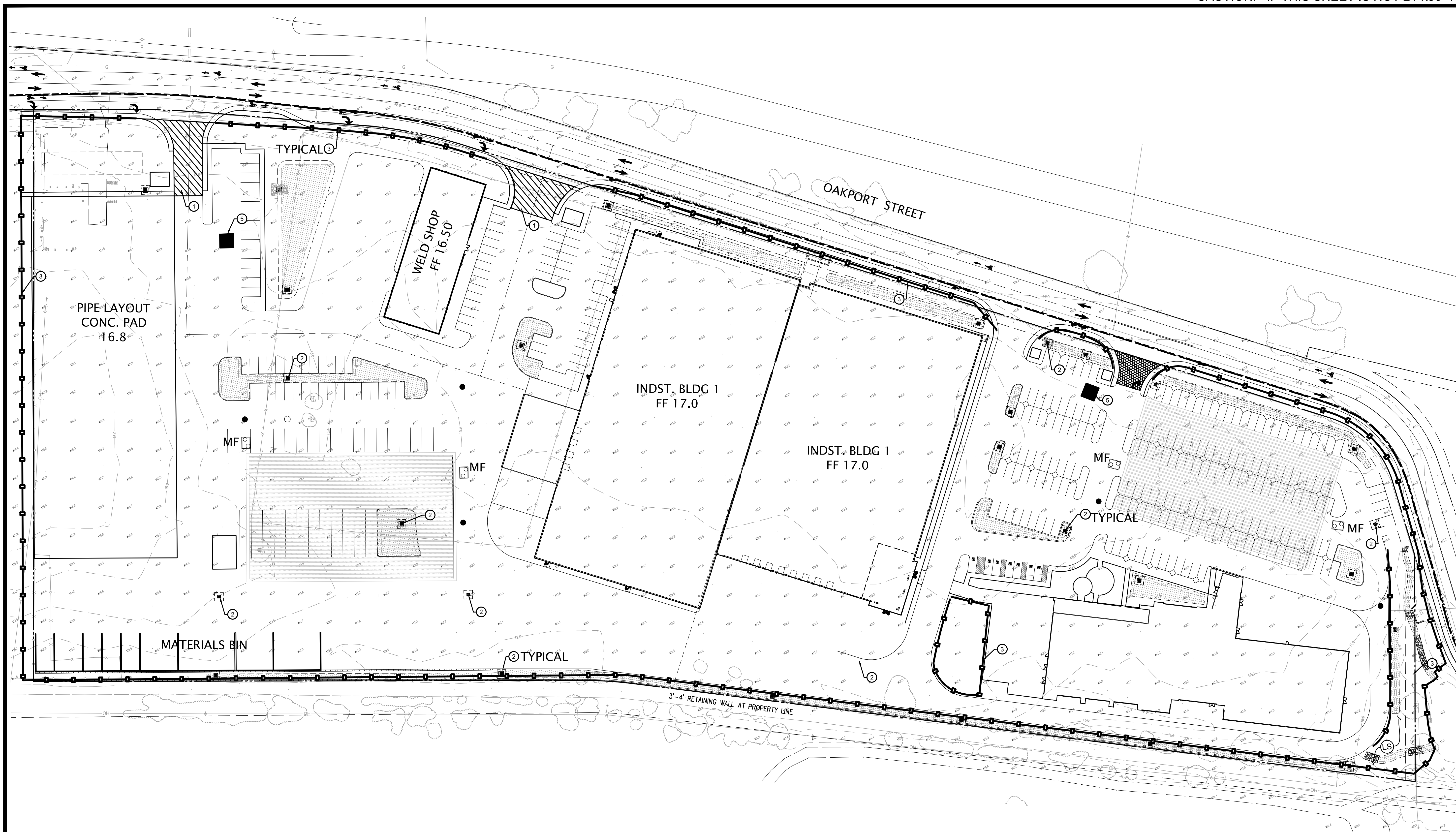
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EROSION CONTROL PLAN

REMARKS	
DATE	
NO.	

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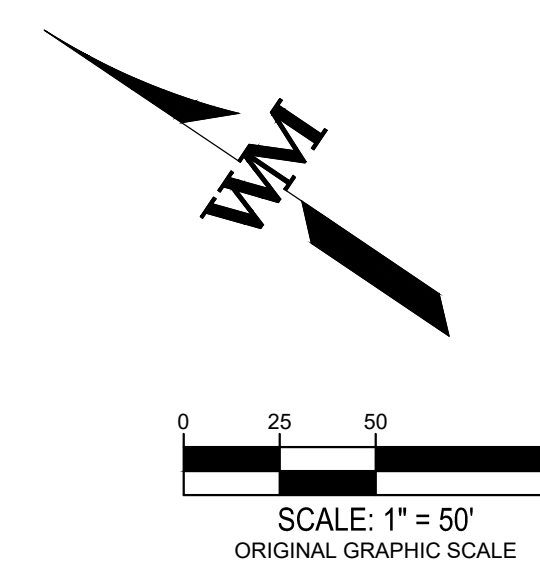
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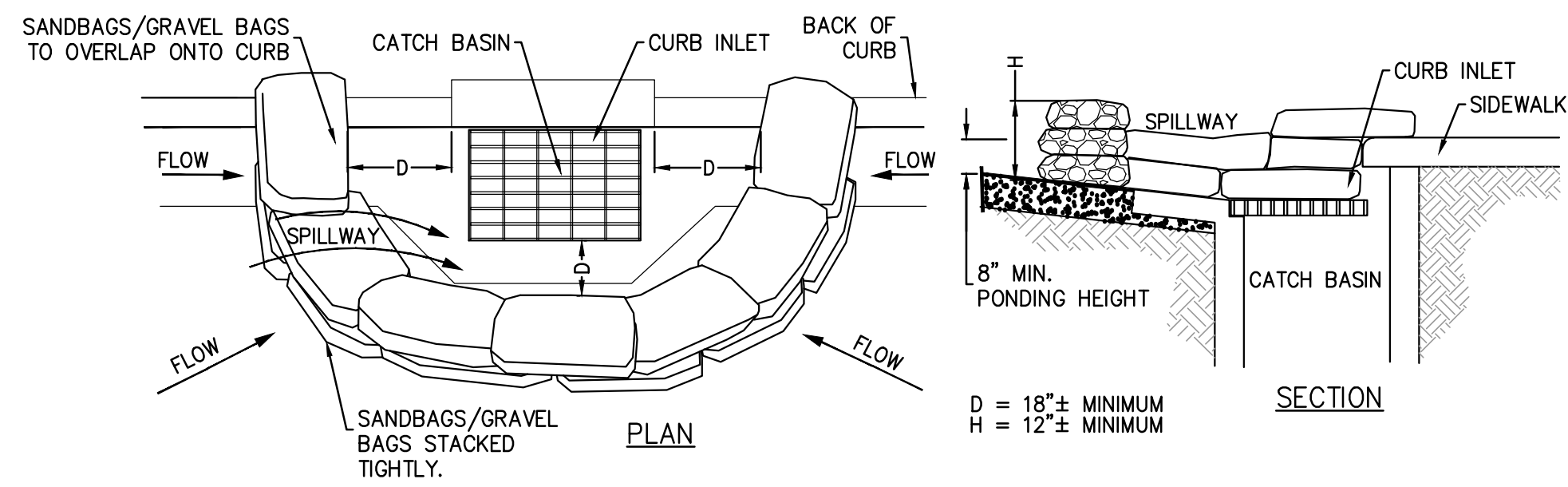


LEGEND

- ① STABILIZED CONSTRUCTION ENTRANCE WITH RUMBLE STRIPS  
SEE DETAIL D SHEET C6.1
- ② INLET PROTECTION SEE DETAIL A SHEET C6.1
- ③ FIBER ROLL / SILT FENCE BARRIER SEE DETAIL C SHEET C6.1
- ④ STABILIZED CONSTRUCTION ENTRANCE WITH COARSE AGGREGATE  
SEE DETAIL D SHEET C6.1
- ⑤ CONCRETE WASH OUT AREA SEE DETAIL B SHEET C6.1

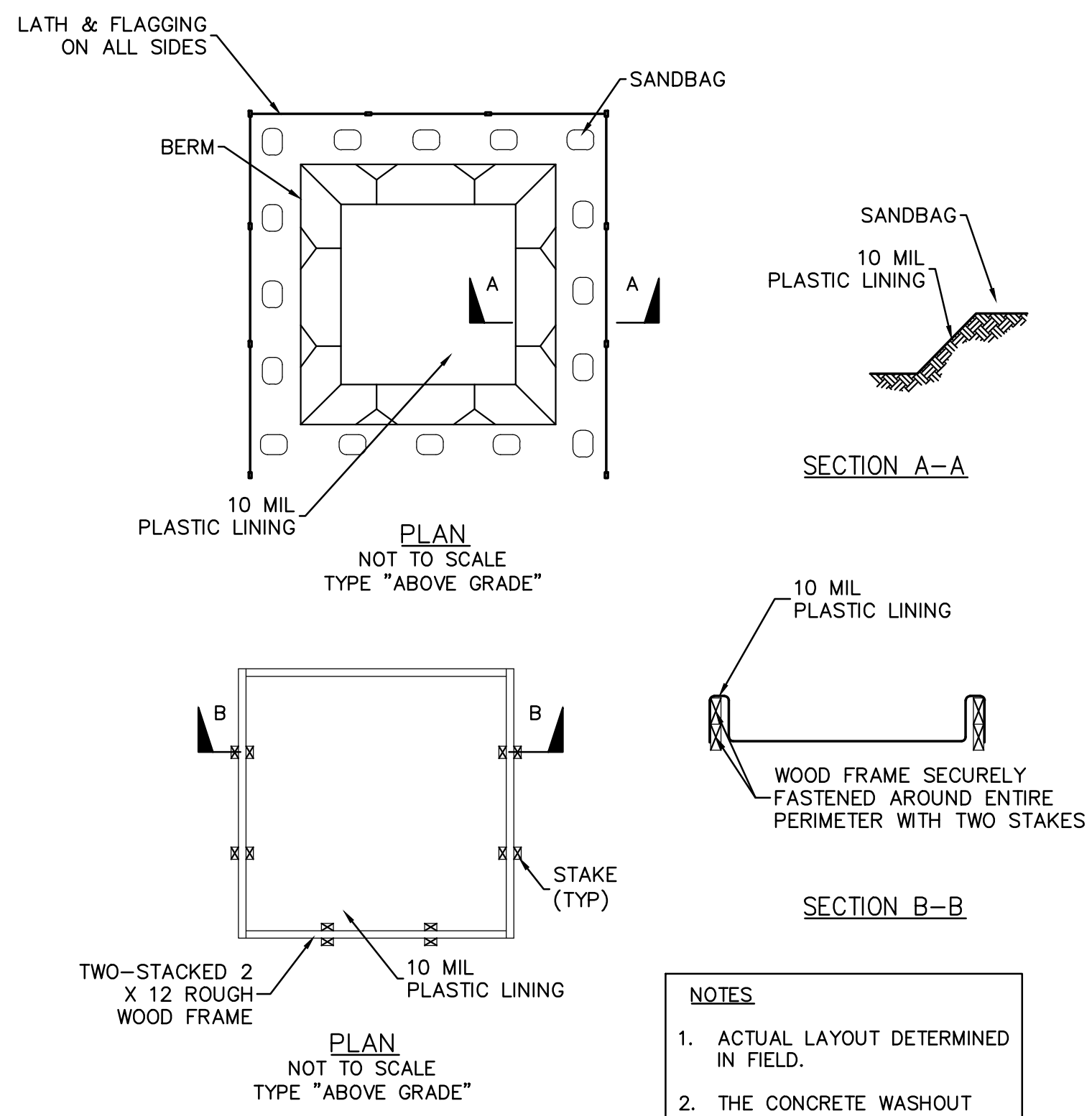
ABBREVIATIONS  
CDS MECHANICAL WATER TREATMENT DEVICE BY



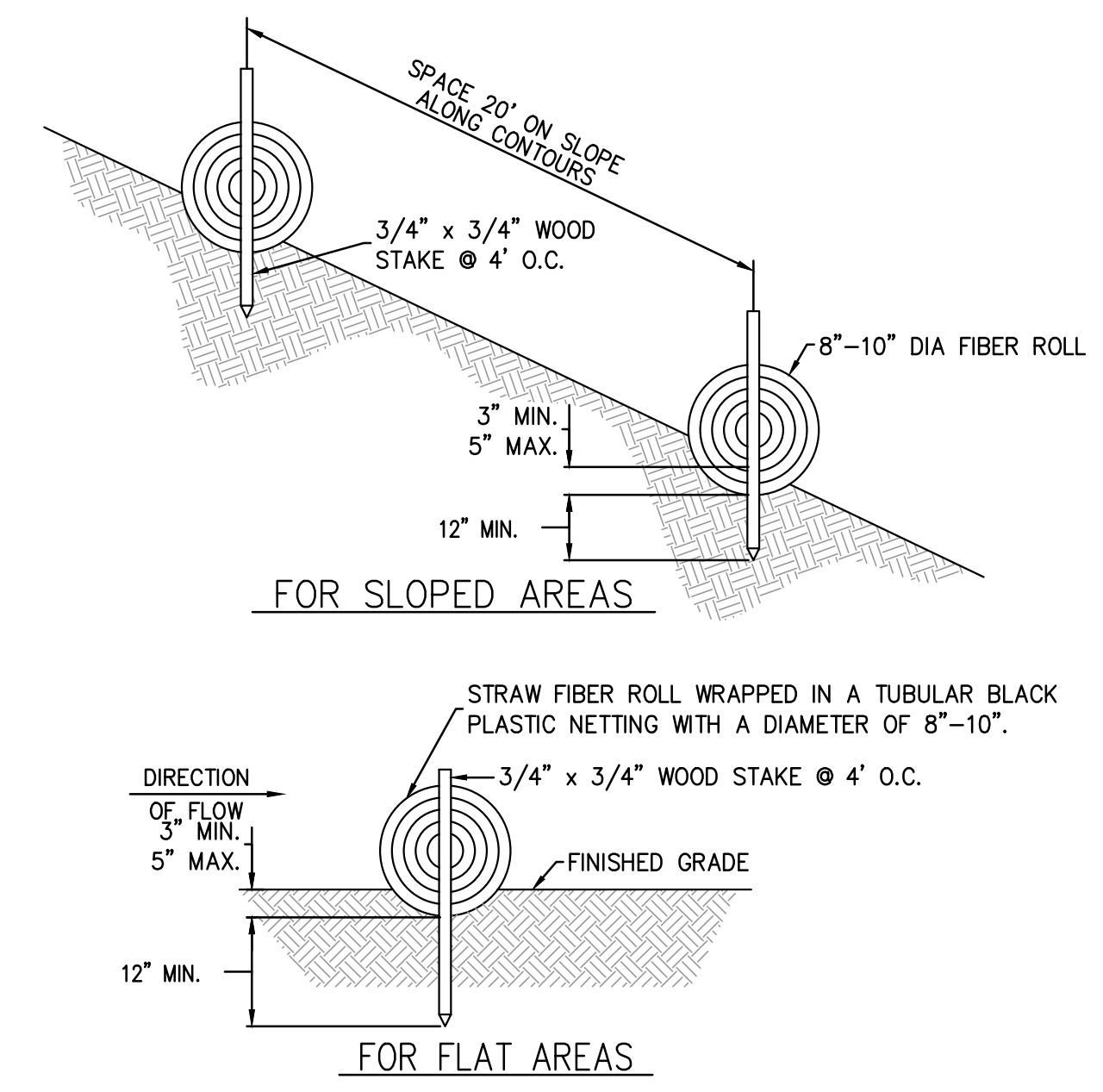


- NOTES:**
1. CATCH BASIN/INLET PROTECTION SHALL BE INSTALLED WHEREVER THERE IS A POTENTIAL OF STORMWATER OR NON-STORMWATER BEING DISCHARGED INTO IT.
  2. INLET PROTECTION IS REQUIRED ALONG WITH OTHER POLLUTION PREVENTION MEASURES SUCH AS: EROSION CONTROL, SOIL STABILIZATION, AND MEASURES TO PREVENT TRACKING ONTO PAVED SURFACES. MODIFY INLET PROTECTION AS NEEDED TO AVOID CREATING TRAFFIC HAZARDS.
  3. INCLUDE INLET PROTECTION MEASURES AT HILLSIDE V-DITCHES AND MISC. DRAINAGE SWALES.
  4. INLET PROTECTION SHALL BE INSPECTED AND ACCUMULATED SEDIMENTS REMOVED. SEDIMENT SHALL BE DISPOSED OF PROPERLY IN A MANNER THAT ASSURES THAT THE SEDIMENT DOES NOT ENTER THE STORM DRAIN SYSTEM.
  5. DAMAGED BAGS SHALL BE REPLACED IMMEDIATELY.
  6. ADDITIONAL SANDBAG SEDIMENT TRAPS SHALL BE PLACED AT INTERVALS AS INDICATED ON SITE PLAN.
  7. REFER TO CASQA SE-10 STORM DRAIN INLET PROTECTION FOR ADDITIONAL GUIDANCE.

**CATCH BASIN/DRAIN INLET PROTECTION** (A)  
SCALE: N.T.S.

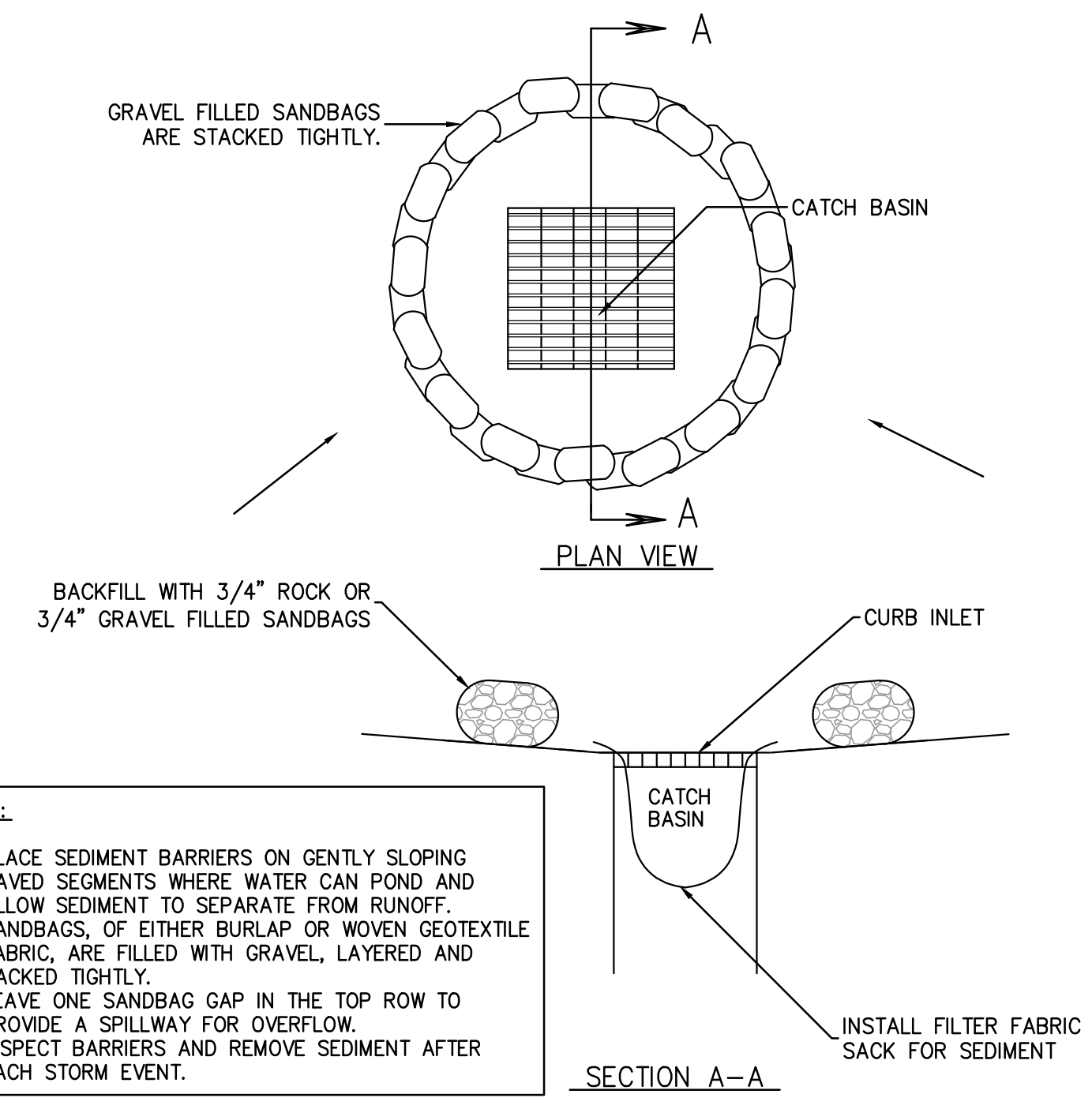


**CONCRETE WASH OUT AREA** (B)  
SCALE: N.T.S.



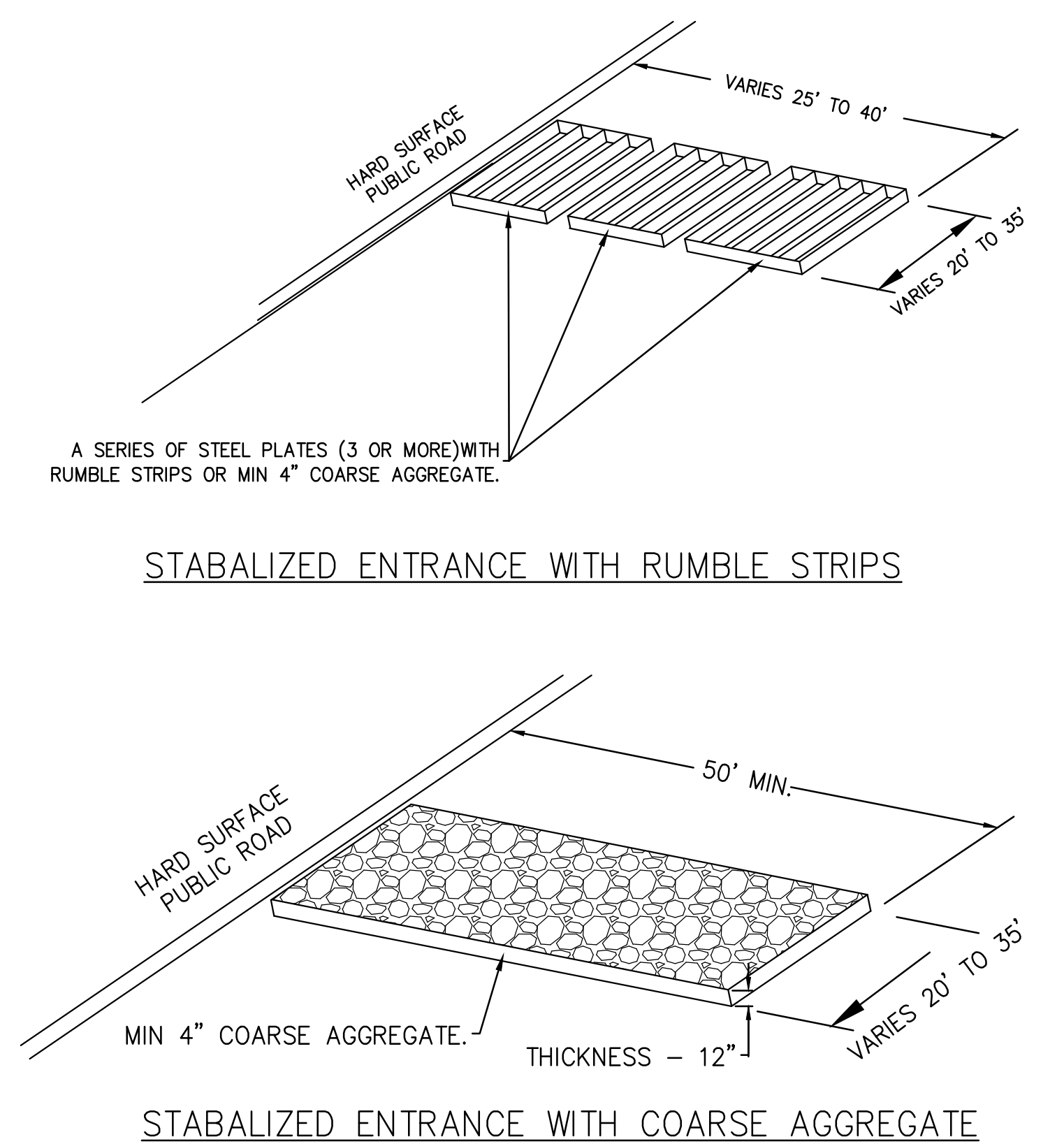
- NOTES:**
1. FIBER ROLL COMPOSED OF BIO-DEGRADABLE FIBERS STUFFED INTO A PHOTO-DEGRADABLE OPEN WEAVE NETTING.
  2. FIBER ROLL EROSION BARRIER TRAPS SEDIMENT AND REDUCES SHEET AND HILL SIDE EROSION BY REDUCING SLOPE GRADIENT, IT INCREASING INFILTRATION RATES AND BY PRODUCING A FAVORABLE ENVIRONMENT FOR PLANT ESTABLISHMENT.
  3. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH 3"-5" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.

**FIBER ROLL EROSION BARRIER** (C)  
SCALE: N.T.S.

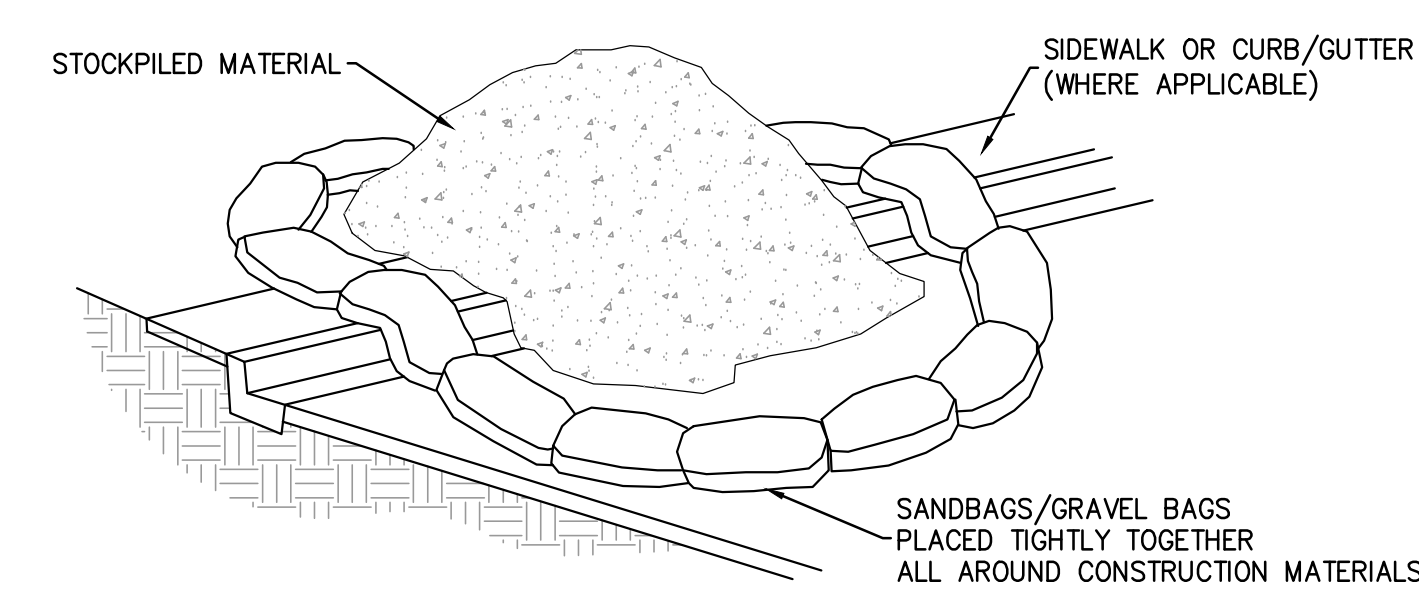


- NOTES:**
1. PLACE SEDIMENT BARRIERS ON GENTLY SLOPING PAVED SEGMENTS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
  2. SANDBAGS, OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
  3. LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
  4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT.

**INLET SEDIMENT BARRIER** (E)  
SCALE: N.T.S.

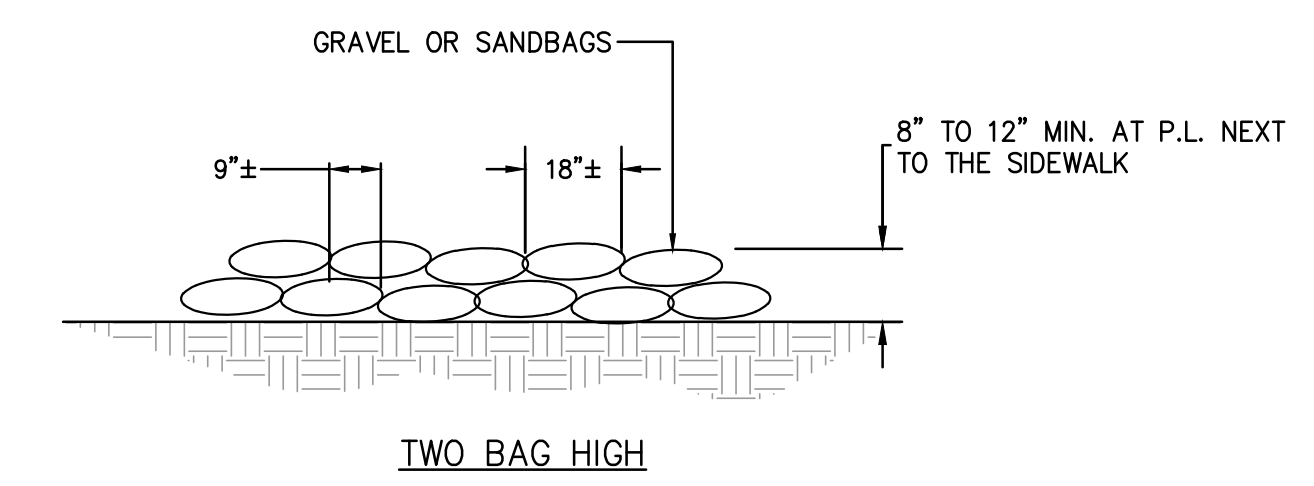


**STABILIZED ENTRANCE/EXIT DETAIL** (D)  
SCALE: N.T.S.



- STOCK PILING NOTE:**
1. DIRT AND OTHER CONSTRUCTION RELATED MATERIALS PLACED IN THE STREET OR ON OTHER IMPERVIOUS SURFACES MUST BE CONTAINED WITH SANDBAGS OR OTHER MEASURES TO PREVENT TRANSPORT TO THE STORM DRAIN SYSTEM. ANY CONSTRUCTION MATERIAL STORED OR STOCKPILED ON-SITE SHALL BE PROTECTED FROM BEING TRANSPORTED BY THE FORCE OF WIND OR WATER. COVER MATERIAL WITH PLASTIC SHEETS (MIN. 10 MIL.) WITH SAND BAGS FOR ANCHORING.
  2. REFER TO CASQA WM-3 STOCKPILE MANAGEMENT FOR ADDITIONAL GUIDANCE.

**MATERIAL STOCK PILING** (F)  
SCALE: N.T.S.



**TYPICAL GRAVEL BAGGING DETAILS** (G)  
SCALE: N.T.S.

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OAKLAND, CALIFORNIA

**EROSION CONTROL DETAILS**

NO.	DATE	REMARKS

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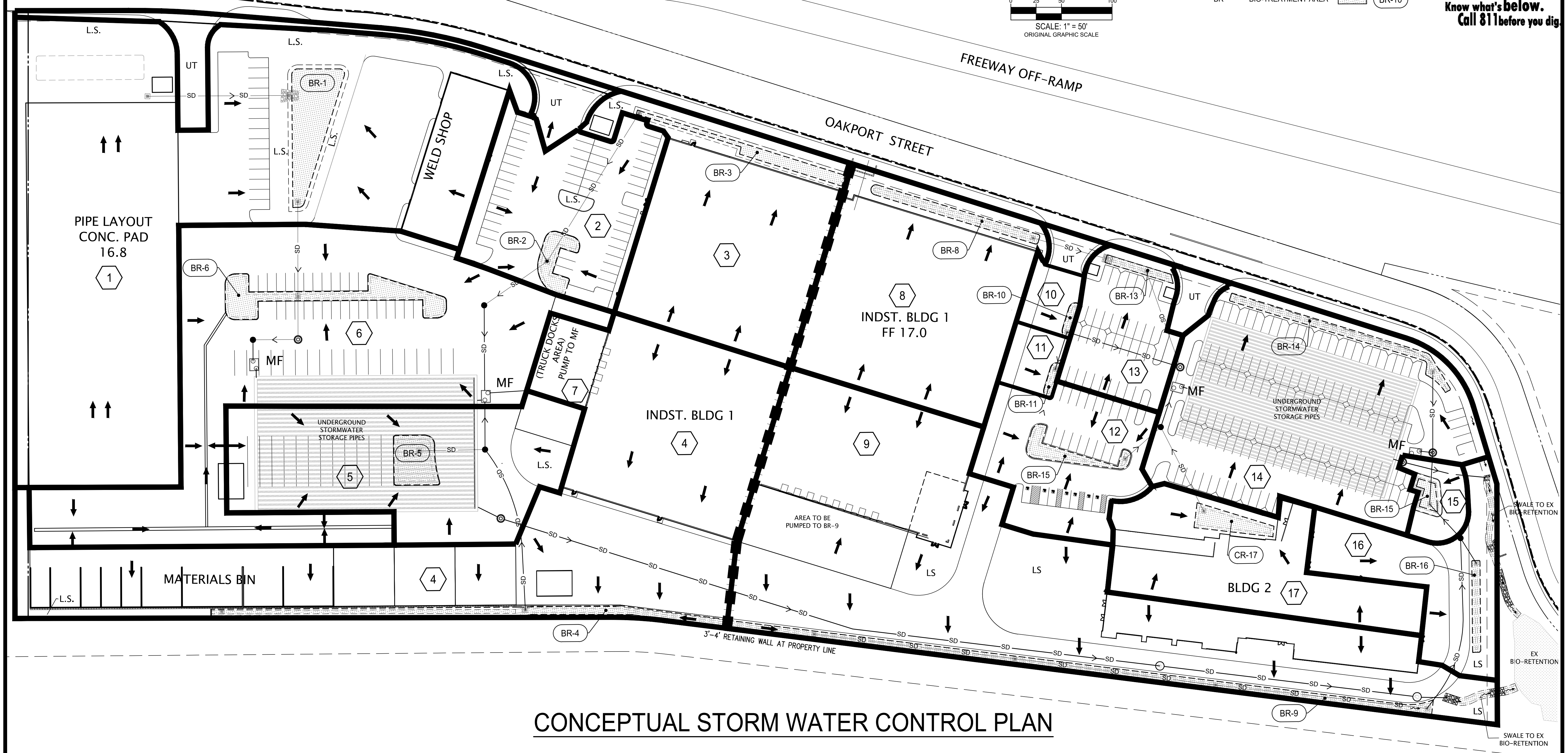
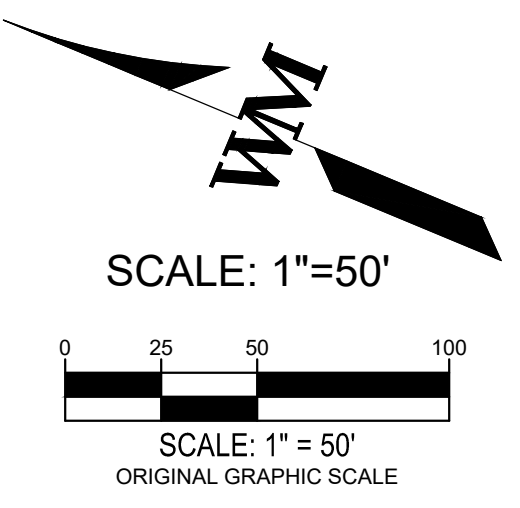
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**ABBREVIATIONS & LEGEND**

MF	MEDIA FILTER	19
DMA	DRAINAGE MANAGEMENT AREA	
LS	LANDSCAPE AREA	
ST	SELF TREATED AREA	
UT	UNTREATED AREA	
BR	BIO-TREATMENT AREA	BR-10



**CONCEPTUAL STORM WATER CONTROL PLAN**

**STORM WATER TREATMENT MEASURES SUMMARY [EBMUD]**

DRAINAGE MANAGEMENT AREAS (DMA)	TOTAL AREA (SF)	PERVIOUS (L.S. AREA) (SF)	TOTAL IMPERVIOUS AREA (SF)	TREATMENT AREA REQUIRED	TREATMENT AREA PROVIDED	TREATMENT CONTROL MEASURES (MF)	PIPE STORAGE VOLUME CU./FT
#1	132,293	34,683	93,255	3,869 SF	4,355 SF	BIO-TREATMENT	100%
#2	26,968	1,142	24,465	983 SF	1,361 SF	BIO-TREATMENT	100%
#3	40,668	5,601	33,447	1,360 SF	1,620 SF	BIO-TREATMENT	100%
#4	91,603	5,523	82,178	3,309 SF	3,902 SF	BIO-TREATMENT	100%
#5	39,469	2,564	34,905	1,406 SF	2,000 SF	BIO-TREATMENT	100%
#6	80,421	0	76,362	3,054 SF	3,680 SF	BIO-TREATMENT	100%
#7	4,850	0	4,850	194 SF	0	MECHANICAL	100%
UT 11,682 SF							
<b>Total</b>	<b>416,272</b>	<b>49,514</b>	<b>349,461</b>	<b>14,176 SF</b>	<b>16,918 SF</b>		<b>100%</b>

**AREA OF SUMMARY:**

**TOTAL SITE AREA:** 721,182 SF

**AREA A:** 427,575 SF  
**TOTAL IMPERVIOUS AREA:** 349,461 SF  
**UN-TREATED AREA:** 11,682 SF

**BIO-RETENTION AREA:** 16,918 SF  
**LANDSCAPE AREA :** 49,514 SF

**AREA B:** 293,607 SF  
**TOTAL IMPERVIOUS AREA:** 248,297 SF  
**UN-TREATED AREA:** 4,580 SF

**BIO-RETENTION AREA:** 13,035 SF  
**LANDSCAPE AREA :** 27,695 SF

**STORM WATER TREATMENT MEASURES SUMMARY [OFFICE BUILDING SITE]**

DRAINAGE MANAGEMENT AREAS (DMA)	TOTAL AREA (SF)	PERVIOUS (L.S. AREA) (SF)	TOTAL IMPERVIOUS AREA (SF)	TREATMENT AREA REQUIRED	TREATMENT AREA PROVIDED	TREATMENT CONTROL MEASURES (MF)	PIPE STORAGE VOLUME CU./FT
#8	42,255	4,230	36,305	1,469 SF	1,720 SF	BIO-TREATMENT	100%
#9	102,610	12,200	86,010	3,589 SF	4,400 SF	BIO-TREATMENT	100%
#10	3,480	0	3,183	127 SF	150 SF	BIO-TREATMENT	100%
#11	3,455	0	3,158	126 SF	150 SF	BIO-TREATMENT	100%
#12	20,788	180	19,326	774 SF	1,280 SF	BIO-TREATMENT	100%
#13	14,106	960	12,601	508 SF	545 SF	BIO-TREATMENT	100%
#14	54,060	4,700	46,930	1,910 SF	2,128 SF	BIO-TREATMENT	100%
#15	4,290	0	4,290	155 SF	420 SF	BIO-TREATMENT	100%
#16	18,186	5,425	12,037	503 SF	725 SF	BIO-TREATMENT	100%
#17	26,256	0	244,976	995 SF	1,380 SF	BIO-TREATMENT	100%
UT 4,580 SF							
<b>Total</b>	<b>289,486</b>	<b>27,695</b>	<b>248,297</b>	<b>10,057 SF</b>	<b>13,035 SF</b>		<b>100%</b>

**WARE MALCOMB**  
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

4883 chabot dr  
suite 300  
pleasanton, ca 94588  
p 925.244.9620  
waremalcomb.com

REGISTERED PROFESSIONAL ENGINEER  
**GERRY L. PARDO**  
No. 59608  
CIVIL  
STATE OF CALIFORNIA  
Mar 15, 2019  
FOR AND ON BEHALF OF WARE MALCOMB

**SUPPLYBANK.ORG OFFICES & DISTRIBUTION FACILITY**  
OAKPORT STREET  
OAKLAND, CALIFORNIA

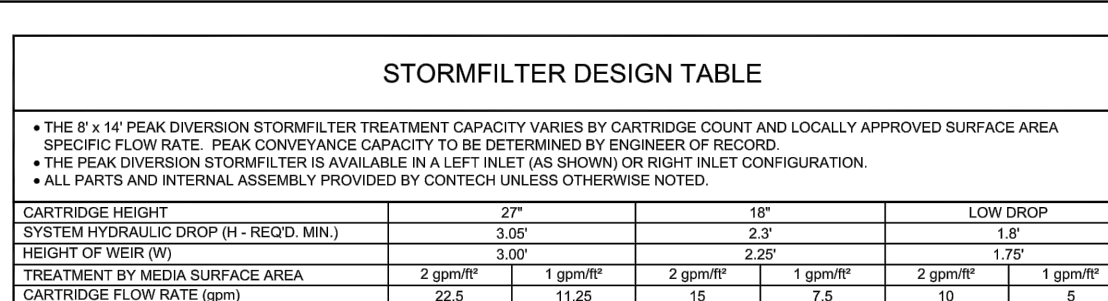
**STORM WATER CONTROL PLAN**

NO.	DATE	REMARKS

JOB NO.:	SNR17-0069
PA / PM:	GP
DRAWN BY:	SY
DATE:	JAN 15, 2019

W:\SNR\17\0069\00\Civil\00\0069\_C6.0 - SNMP.dwg

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.



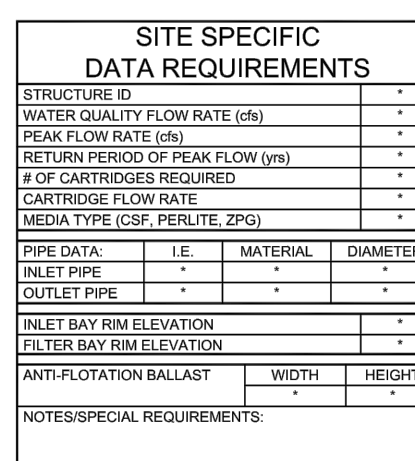
**STORMFILTER DESIGN TABLE**

• The 8' x 14' Peak Diversion Stormfilter Treatment Capacity Varies by Cartridge Count and Locally Approved Surface Area Specific Flow Rate. Peak conveyance capacity to be determined by engineer of record.

• The Peak Diversion Stormfilter is available in a Left Inlet (as shown) or Right Inlet Configuration.

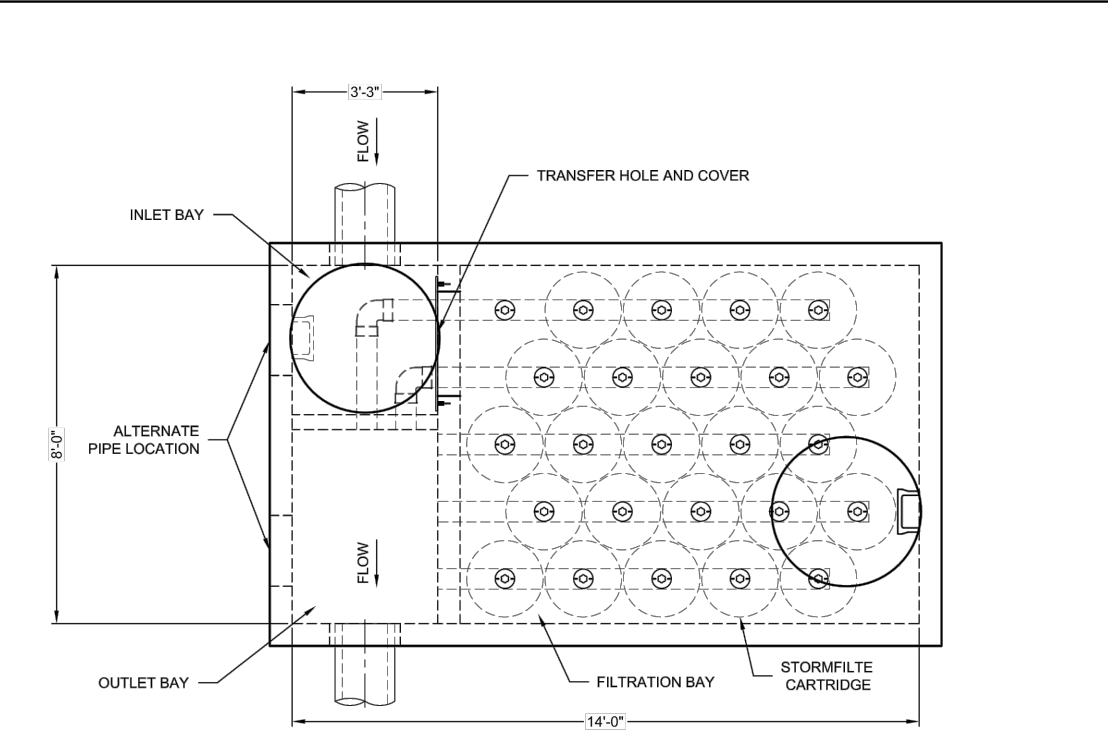
• All Parts and Internal Assembly Provided by Contech Unless Otherwise Noted.

CARTRIDGE HEIGHT	3"	10"	LOW DROP	
SYSTEM HYDRAULIC DROP (H - HEAD, MIN.)	3.00'	2.3'	1.8'	
HEIGHT OF RISK (H)	3.00'	2.25'	1.75'	
TREATMENT BY MEDIA SURFACE AREA	2 gpm/ft²	1 gpm/ft²	2 gpm/ft²	1 gpm/ft²
CARTRIDGE FLOW RATE (gpm)	22.5	11.25	15	7.5
			10	5

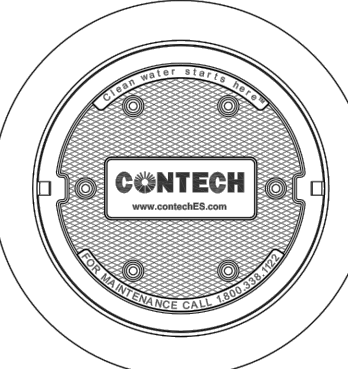


**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID	-
SYSTEM QUALITY FLOW RATE (GPM)	-
PEAK FLOW RATE (GPM)	-
RETURN PERIOD OF PEAK FLOW (YRS)	-
# OF CARTRIDGES REQUIRED	-
CARTRIDGE FLOW RATE	-
MEDIA TYPE (GPM PER SQ. FT.)	-
PIPE DATA (I.E. MATERIAL, DIAMETER)	-
INLET PIPE	-
OUTLET PIPE	-
INLET BAY RIM ELEVATION	-
OUTLET BAY RIM ELEVATION	-
ANTI-FLOTATION BALLAST	-
WIDTH	-
HEIGHT	-
NOTES/SPECIAL REQUIREMENTS:	-



**PLAN**



**FRAME AND COVER**  
(DIAMETER VARIES)  
N.T.S.

**PERFORMANCE SPECIFICATION**

FILTER CARTRIDGES SHALL BE MEDIA FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. RADIAL MEDIA DEPTH SHALL BE 4 INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 30 SECONDS.

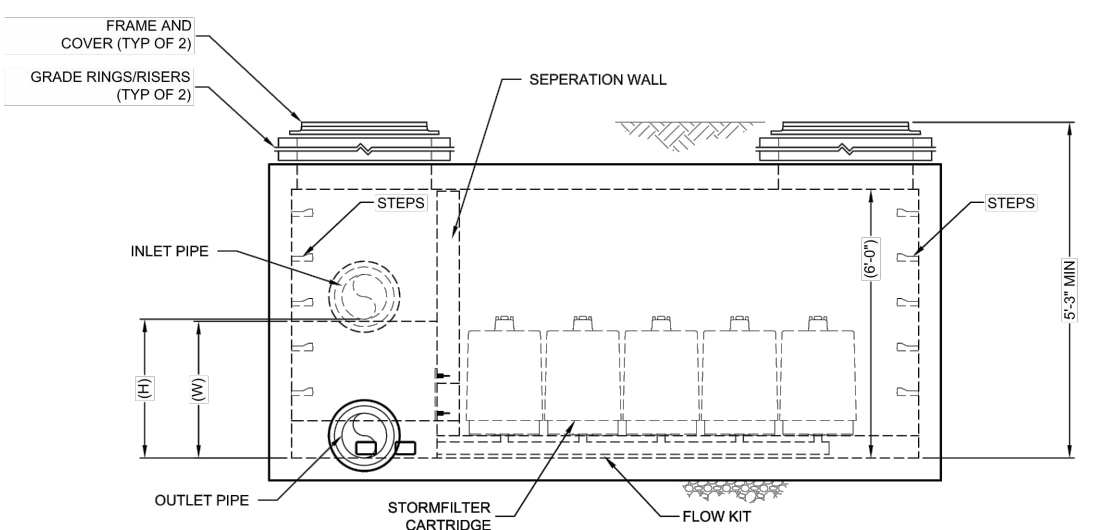
SPECIFIC FLOW RATE SHALL BE 2 GPM/SQ. FT. (MAXIMUM). SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (SQ. FT.). MEDIA VOLUMETRIC FLOW RATE SHALL BE 4 GPM/SQ. FT. (MAXIMUM).

**GENERAL NOTES:**

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH (I) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DR. FILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. [www.contech-cpi.com](http://www.contech-cpi.com)
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET ALL CITY REQUIREMENTS. ASSUMING EARTH COVER OF 2' AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.

**INSTALLATION NOTES:**

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE LIFTING CLUTCHES PROVIDED.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND SIGHT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION RELATED EROSION/RUNOFF.
- CONTRACTOR TO REMOVE THE TRANSFER HOLE COVER WHEN THE SYSTEM IS BROUGHT ONLINE.



**ELEVATION**

**CONTECH ENGINEERED SOLUTIONS LLC**

www.contech-cpi.com

8025 Central Expressway, Suite 400, West Chester, OH 45380

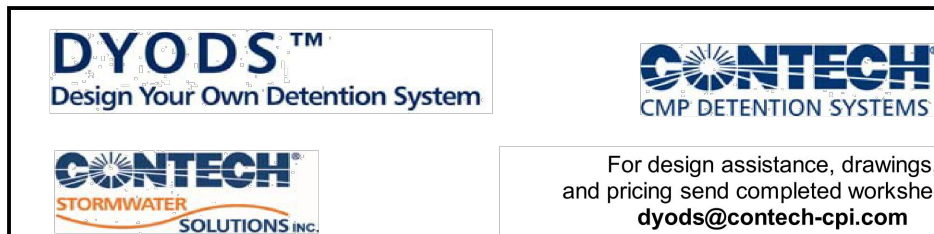
937.939.1122    937.940.7000    937.940.7911 FAX

**THE STORMWATER MANAGEMENT STORMFILTER**

**8' x 14' PEAK DIVERSION STORMFILTER**

**STANDARD DETAIL**

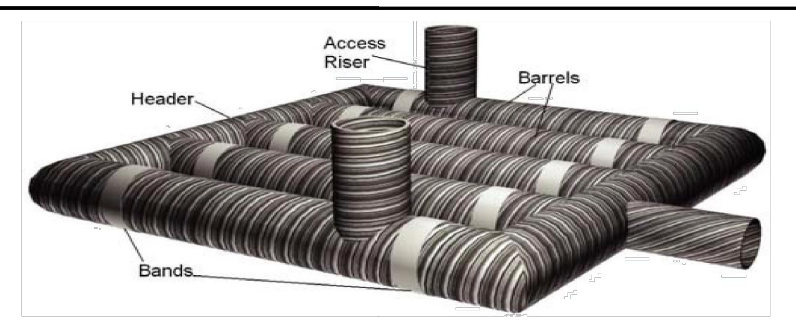
MEDIA FILTER



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**CONTECH™**  
CMP DETENTION SYSTEMS

For design assistance, drawings, and pricing send completed worksheet to: [dyods@contech-cpi.com](mailto:dyods@contech-cpi.com)



**Project Summary**

Date: 12/20/2018

Project Name: Oakport Industrial Park

City / County: Oakland/Alameda

State: CA

Designed By: Enter Information in Blue Cells

Company: Enter Information in Blue Cells

Telephone: Enter Information in Blue Cells

---

**Corrugated Metal Pipe Calculator**

Storage Volume Required (cf): 19,457

Limiting Width (ft): 40.00

Invert Depth Below Asphalt (ft): 6.00

Solid or Perforated Pipe: Solid

Shape Or Diameter (in): 24

Number Of Headers: 1

Spacing between Barrels (ft): 1.00

Stone Width Around Perimeter of System (ft): 2

Depth A: Porous Stone Above Pipe (in): 12

Depth B: Porous Stone Below Pipe (in): 0

Stone Porosity (0 to 40%): 40

3.14 ft² Pipe Area

---

**System Sizing**

Pipe Storage: 19,487 cf

Porous Stone Storage: 0 cf

Total Storage Provided: 19,487 cf    100.2% Of Required Storage

Number of Barrels: 12 barrels

Length per Barrel: 514.0 ft

Length Per Header: 35.0 ft

Rectangular Footprint (W x L): 39. ft x 520. ft

---

**CONTECH Materials**

Total CMP Footage: 6,203 ft

Approximate Total Pieces: 259 pcs

Approximate Coupling Bands: 259 bands

Approximate Truckloads: 9 trucks

---

**Construction Quantities\*\***

Total Excavation: 4507 cy

Porous Stone Backfill For Storage: 0 cy stone

Backfill to Grade Excluding Stone: 3785 cy fill

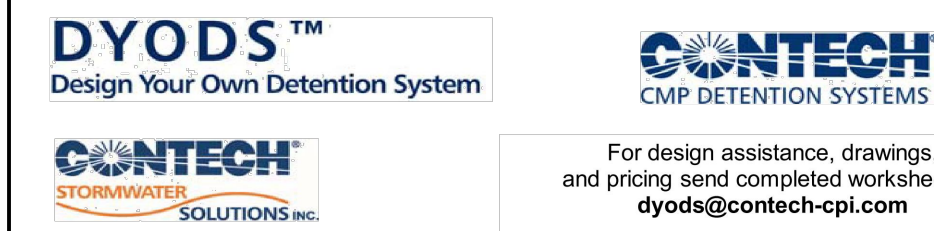
\*\*Construction quantities are approximate and should be verified upon final design

---

**System Layout**

Barrel 12	514
Barrel 11	514
Barrel 10	514
Barrel 9	514
Barrel 8	514
Barrel 7	514
Barrel 6	514
Barrel 5	514
Barrel 4	514
Barrel 3	514
Barrel 2	514
Barrel 1	514
<b>Barrel Footage</b>	<b>514</b>


CALCULATION FOR DMA 1



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Design Your Own Detention System

**CONTECH™**  
CMP DETENTION SYSTEMS

For design assistance, drawings, and pricing send completed worksheet to: [dyods@contech-cpi.com](mailto:dyods@contech-cpi.com)



**Project Summary**

Date: 12/20/2018

Project Name: Oakport Industrial Park

City / County: Oakland/Alameda

State: CA

Designed By: Enter Information in Blue Cells

Company: Enter Information in Blue Cells

Telephone: Enter Information in Blue Cells

---

**Corrugated Metal Pipe Calculator**

Storage Volume Required (cf): 28,169

Limiting Width (ft): 50.00

Invert Depth Below Asphalt (ft): 6.00

Solid or Perforated Pipe: Solid

Shape Or Diameter (in): 30

Number Of Headers: 1

Spacing between Barrels (ft): 1.25

Stone Width Around Perimeter of System (ft): 2

Depth A: Porous Stone Above Pipe (in): 12

Depth B: Porous Stone Below Pipe (in): 0

Stone Porosity (0 to 40%): 40

4.91 ft² Pipe Area

---

**System Sizing**

Pipe Storage: 28,195 cf

Porous Stone Storage: 0 cf

Total Storage Provided: 28,195 cf    100.1% Of Required Storage

Number of Barrels: 12 barrels

Length per Barrel: 475.0 ft

Length Per Header: 43.8 ft

Rectangular Footprint (W x L): 47.75 ft x 481.5 ft

---

**CONTECH Materials**

Total CMP Footage: 5,744 ft

Approximate Total Pieces: 240 pcs

Approximate Coupling Bands: 240 bands

Approximate Truckloads: 14 trucks

---

**Construction Quantities\*\***

Total Excavation: 5110 cy

Porous Stone Backfill For Storage: 0 cy stone

Backfill to Grade Excluding Stone: 4066 cy fill

\*\*Construction quantities are approximate and should be verified upon final design

---

**System Layout**

Barrel 12	475
Barrel 11	475
Barrel 10	475
Barrel 9	475
Barrel 8	475
Barrel 7	475
Barrel 6	475
Barrel 5	475
Barrel 4	475
Barrel 3	475
Barrel 2	475
Barrel 1	475
<b>Barrel Footage</b>	<b>475</b>

CALCULATION FOR DMA 2



**WARE MALCOMB**  
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

4883 Chabot dr  
suite 300  
Pleasanton, ca 94588  
p 925.244.9620  
[waremalcomb.com](http://waremalcomb.com)



REGISTERED PROFESSIONAL ENGINEER  
JEFFREY L. PARRO  
No. 59608  
CIVIL  
STATE OF CALIFORNIA  
Mar 15, 2019

FOR AND ON BEHALF OF WARE MALCOMB

**SUPPLYBANK.ORG OFFICES & DISTRIBUTION FACILITY**  
OAKPORT STREET  
OAKLAND, CALIFORNIA

NO.	DATE	REMARKS

JOB NO.: SNR17-0069

PA / PM: GP

DRAWN BY: SY

DATE: JAN 15, 2019

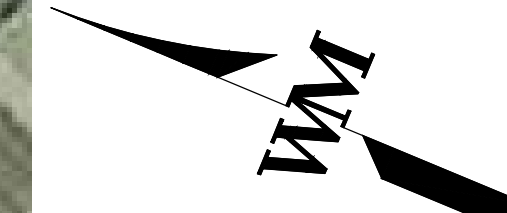
SHEET  
**C6.1**

Sheet 11 of 11

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Know what's below.  
Call 811 before you dig.



SCALE: 1"=120'



SCALE: 1" = 120'  
ORIGINAL GRAPHIC SCALE

**WARE MALCOMB**  
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

4883 Chabot dr  
suite 300  
Pleasanton, ca 94588  
p 925.244.9620  
waremalcomb.com



FOR AND ON BEHALF  
OF WARE MALCOMB

**SUPPLYBANK .ORG OFFICES  
& DISTRIBUTION FACILITY**  
OAKPORT STREET  
OAKLAND, CALIFORNIA

EBMUD PRELIMINARY POST CONSTRUCTION  
NORTH SITE EXHIBIT

REMARKS

JOB NO.:	SNR17-0069
PA / PM:	GP
DRAWN BY:	SY
DATE:	JAN 15, 2019

SHEET  
**C7.0**

Sheet of 11

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**CURRENT EBMUD WET  
WEATHER FACILITY  
TO REMAIN IN PLACE**

**CURRENT EBMUD MAIN  
WAREHOUSE OPERATION.  
TO MOVE TO THE NEW  
WAREHOUSE BUILDING AREA.  
AREA TO REMAIN VACANT  
FOR CARNIVAL AND CIRCUS  
USE.**

**CURRENT EBMUD  
OUTDOOR PIPE TRAINING  
AREA.  
TO BE RELOCATED INSIDE  
THE NEW FACILITY**

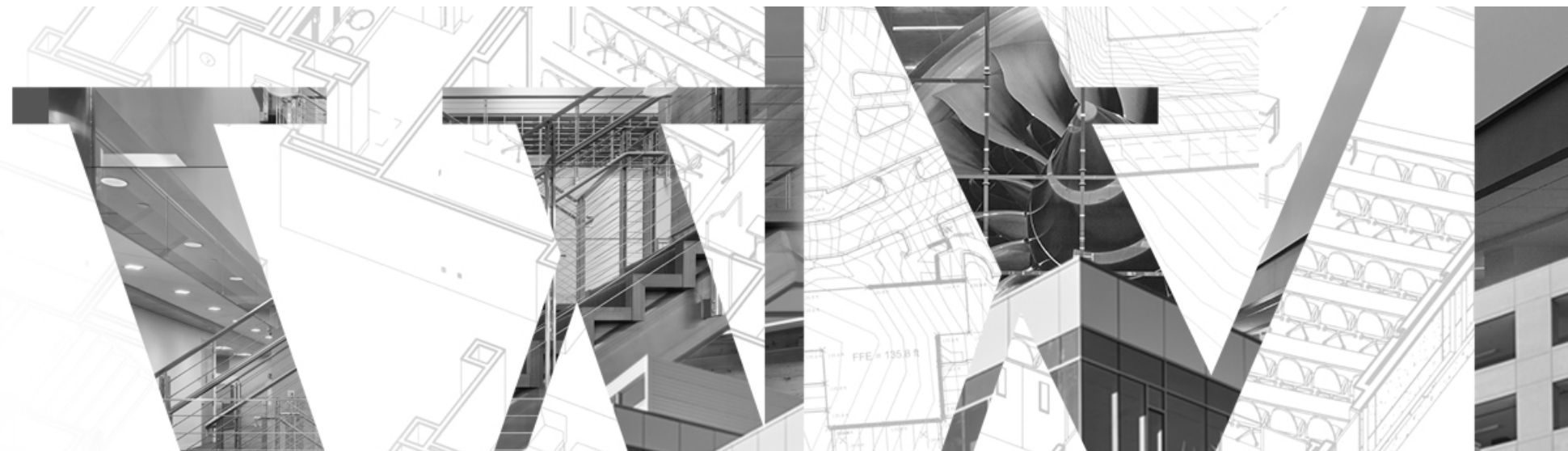
**5601 OAKPORT  
STREET**

**PROJECT SITE  
NEW FACILITY**

**880 FWY**

**880 FWY**

**880 FWY**



## SUPPLYBANK. ORG OFFICES AND DISTRIBUTION FACILITY

OAKPORT STREET  
OAKLAND, CALIFORNIA

SCHEMATIC DESIGN  
SNR17-0069-00  
04.03.2019

# WARE MALCOMB

ARCHITECTURE | PLANNING | INTERIORS  
BRANDING | CIVIL ENGINEERING









# Supply Bank.org

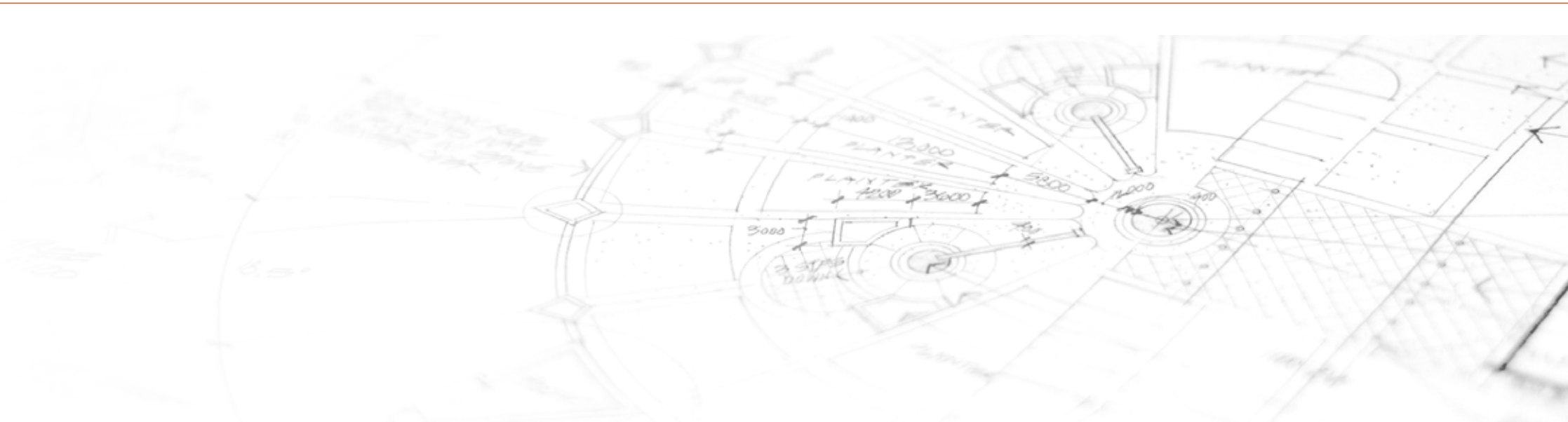
## EXTERIOR SIGNAGE PLANNING SUBMITTAL

OAKPORT ST  
OAKLAND, CA

SNR17-0069-00  
04.03.2019

**WARE MALCOMB**

ARCHITECTURE | PLANNING | INTERIORS  
BRANDING | CIVIL ENGINEERING



# Supply Bank.org

BRAND CONFIGURATION - SUPPLYBANK.ORG



BRAND CONFIGURATION - EBMUD

ABCDEFGHIJKLMNOPQRSTUVWXYZ0123456789&  
abcdefghijklmnopqrstuvwxyz0123456789&

INTERSTATE - REGULAR

FONTS



This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed. Signage shown is for illustrative purposes only and does not necessarily reflect municipal code compliance.

PROJECT FONT

SUPPLYBANK.ORG - SIGNAGE DESIGN  
OAKLAND, CA - SNR17-0069-00

WARE MALCOMB

04.03.2019

PAGE  
3

**PAINT**



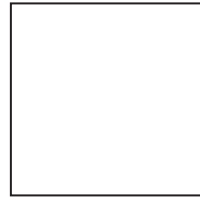
P1  
MATTHEWS  
TO MATCH  
PMS 7688c



P2  
MATTHEWS  
TO MATCH  
PMS 534C



P3  
MATTHEWS  
TO MATCH  
PMS COOL GRAY 7C



P4  
MATTHEWS  
SATIN WHITE



P5  
MATTHEWS  
TO MATCH SW 6802  
"HYPER BLUE"



P6  
MATTHEWS  
TO MATCH SW 7067  
"CITYSCAPE"



P7  
MATTHEWS  
TO MATCH SW 7676  
"PEPPERCORN"

**VINYL**



V1  
TRANSLUCENT  
VINYL TO MATCH  
PMS 7688C



V2  
TRANSLUCENT  
VINYL TO MATCH  
PMS 534C



V3  
TRANSLUCENT  
VINYL TO MATCH  
PMS COOL GRAY 7C

SAMPLES TO BE PROVIDED TO WARE MALCOMB FOR REVIEW AND APPROVAL PRIOR TO APPLICATION

Chapter 17.104 - GENERAL LIMITATIONS ON SIGNS

17.104.020 - General limitations on Signs—RU-4 and RU-5 Zones, and all Commercial and Industrial Zones.

The following limitations shall apply to the specified Signs in the RU-4 and RU-5 Zones and all Commercial and Industrial Zones, and except as otherwise provided herein, and are in addition to the limitations, if any, prescribed for Signs in the applicable individual zone regulations and development control maps:

A. Design Review. No Business, Civic, or Residential Sign shall be constructed or established, or altered in exterior appearance, unless plans for the proposal have been approved pursuant to the design review procedure in Chapter 17.136.

B. Permitted Aggregate Sign Area.

1. In the RU-4 and RU-5 Zones and all Commercial Zones, the maximum aggregate area of display surface of all Business, Civic, and Residential Signs on any one lot shall be one (1) square foot for each one (1) foot of lot frontage in the case of an interior lot, or one-half (0.5) square feet for each one (1) foot of lot frontage in the case of a corner lot. The aggregate shall include only one (1) face of a double-faced sign. The total amount of aggregate sign area shall not exceed two hundred (200) square feet on any one property. Exceptions to the total amount of aggregate sign area normally allowed on any one property may be approved pursuant to the regulations in Subsection B.3. below and to the Small project design review procedure in Chapter 17.136. 2. **In all Industrial Zones, the maximum aggregate area of display surface of all Business, Civic and Residential Signs on any one lot shall be one (1) square foot for each one (1) foot of lot frontage in the case of an interior lot, or one-half (0.5) square feet for each one (1) foot of lot frontage in the case of a corner lot. The aggregate shall include only one (1) face of a double-faced sign. The total amount of aggregate sign area shall not exceed three hundred (300) square feet on any one property. Exceptions to the total amount of aggregate sign area normally allowed on any one property may be approved pursuant to the regulations in Subsection B.3. below. 3. Exception to Aggregate Sign Area Limits. The following exceptions to the aggregate sign area limits may be approved: a. In cases in which the maximum aggregate sign area for a property is already being utilized by a portion of the existing tenant spaces in a multi-tenant building or complex, twenty (20) square feet of sign area for each tenant space in the multi-tenant building or complex without existing signage on site is allowed if approved pursuant to the Small project design review procedure in Chapter 17.136; b. Signs conforming to a Master Sign Program approved pursuant to Section 17.104.070.**

C. Maximum Height. 1. Attached Signs. The maximum height of any sign that is attached to a building may not exceed the height of the building wall that it is attached to. 2. Freestanding Signs. The maximum height of any freestanding sign in the CC, M-20, M-30, M-40, CIX, IG, IO, D-CE, D-CO-2, D-CO-3, D-CO-4, D-CO-5, and D-CO-6 Zones is twenty (20) feet. The maximum height in the RU-4 and RU-5 Zones and all other Commercial and Industrial Zones is ten (10) feet.

D. Limitations on Signs within Required Minimum Yards. 1. No business, realty, or development sign shall be located within a required minimum yard.

E. Special Limitations Near Boundaries of Residential Zones, Except the RU-4 and RU-5 Zones. The following special limitations shall apply to the indicated Signs within the specified distances from any boundary of a Residential Zone, except the RU-4 and RU-5 Zones. For the purposes of this Subsection, a Sign shall be deemed to face a zone boundary if the angle between the face of its display surface and said boundary is less than ninety (90) degrees; and a sign shall be considered visible from a zone boundary if it may be seen from any point located along such boundary within the following indicated distances from the sign and at a height equal to or less than that of the sign. 1. Within twenty-five (25) feet from any boundary of a Residential Zone, except the RU-4 and RU-5 Zones, no business sign shall face said boundary if it is visible therefrom.

F. Development Signs. In the RU-4 and RU-5 Zones and all Commercial and Industrial Zones, the maximum aggregate area of display surface of all Development Signs on any one lot shall be either seventy-five (75) square feet or one (1) square foot for each two (2) feet of street line abutting the lot, whichever is greater. However, a greater area of display surface may be permitted upon the granting of a conditional use permit pursuant to the conditional use permit procedure in Chapter 17.134.

G. Realty Signs. In the RU-4 and RU-5 Zones and all Commercial and Industrial Zones, the maximum aggregate area of display surface of all Realty Signs on any one lot shall be one (1) square foot for each two (2) feet of street line abutting the lot; provided that such area shall not exceed twenty-five (25) square feet along any consecutive fifty (50) feet of street line; and farther provided that a sign with a display surface of twelve (12) square feet or less shall be permitted for each lot, or for each building or other rentable unit thereon.

H. Signs Within One thousand (1,000) Feet of Rapid Transit Routes. Signs within one thousand (1,000) feet of the centerline of rapid transit routes shall be subject to the applicable limitations set forth in Sections 17.104.040 and 17.114.150.

I. Permitted Projection Over Sidewalk. An awning, canopy, marquee, or single sign that is attached perpendicularly to the face of a building may project up to two-thirds (66.7%) of the distance from the lot line to the curb, but can not extend more than seven (7) feet from the face of building or closer than two (2) feet to the curb. Any awning, canopy, marquee, or single sign that is attached perpendicularly to the face of a building shall provide eight (8) feet minimum clearance above a sidewalk for framed or rigid portions, and seven (7) feet minimum clearance for any unframed valance.

J. Temporary Business Signs. 1. Size Allowed. Temporary signs are allowed in addition to permanent signs. The size of the temporary signs may not exceed the allowed square footage for permanent signs. 2. Allowed Time Limits. a. Grand Opening Signs. Temporary signs for the purpose of grand openings of a new business can be in place for a maximum of thirty (30) days. The installation date of the sign shall be placed on the sign to verify compliance with this regulation. b. Special Event Signs. Temporary signs for the purpose of special events may be placed on site a maximum of four (4) times per calendar year and a maximum of five (5) consecutive days per event. 3. Placement of Signs. a. Signs are allowed on private property only. Signs shall not be placed in public rights-of-way or at off-site locations. b. Signs must be affixed to a permanent structure. 4. Temporary Signs shall not be illuminated. 5. Durable Materials Required. Signs shall be constructed of durable, rigid material suitable to the location and purpose. Only interior window Signs may be [be] made of nonrigid (e.g. paper) material. 6. Removal of Signs. Temporary Signs and their components shall be promptly removed at the expiration of the time limits set forth above.

K. Window Signs. Window signs shall not take up more than twenty-five percent (25%) of any one window. Window signs shall count against the total allowable aggregate sign area for the property as measured in Subsection 17.104.020.B. Interior signs which are located eighteen (18) inches or more from behind the window face shall be exempt from these regulations.


L. Clear Sight Restrictions. A triangular area measuring fifteen (15) feet from the intersection along each street line shall be kept free of all freestanding signs. A triangular area measuring ten (10) feet from the intersection of a driveway and a street line shall be kept free of all freestanding signs. (Ord. No. 13357, § 3(Exh. A), 2-16-2016; Ord. No. 13302, § 5(Exh. C), 4-21-2015; Ord. No. 13251, § 5(Exh. A), 7-29-2014; Ord. No. 13172, § 3(Exh. A), 7-2-2013; Ord. No. 13168, § 5(Exh. A-2), 6-18-2013; Ord. No. 13112, § 4(Exh. A), 4-30-2012; Ord. No. 13090, § 4(Exh. A), 10-4-2011; Ord. No. 13064, § 2(Exh. A), 3-15-2011; Ord. No. 12999, § 4(Exh. A), 3-16-2010; Ord. 12872 § 4 (part), 2008; Ord. 12776 § 3, Exh. A (part), 2006; Ord. 12606 Att. A (part), 2004: prior planning code § 7041)

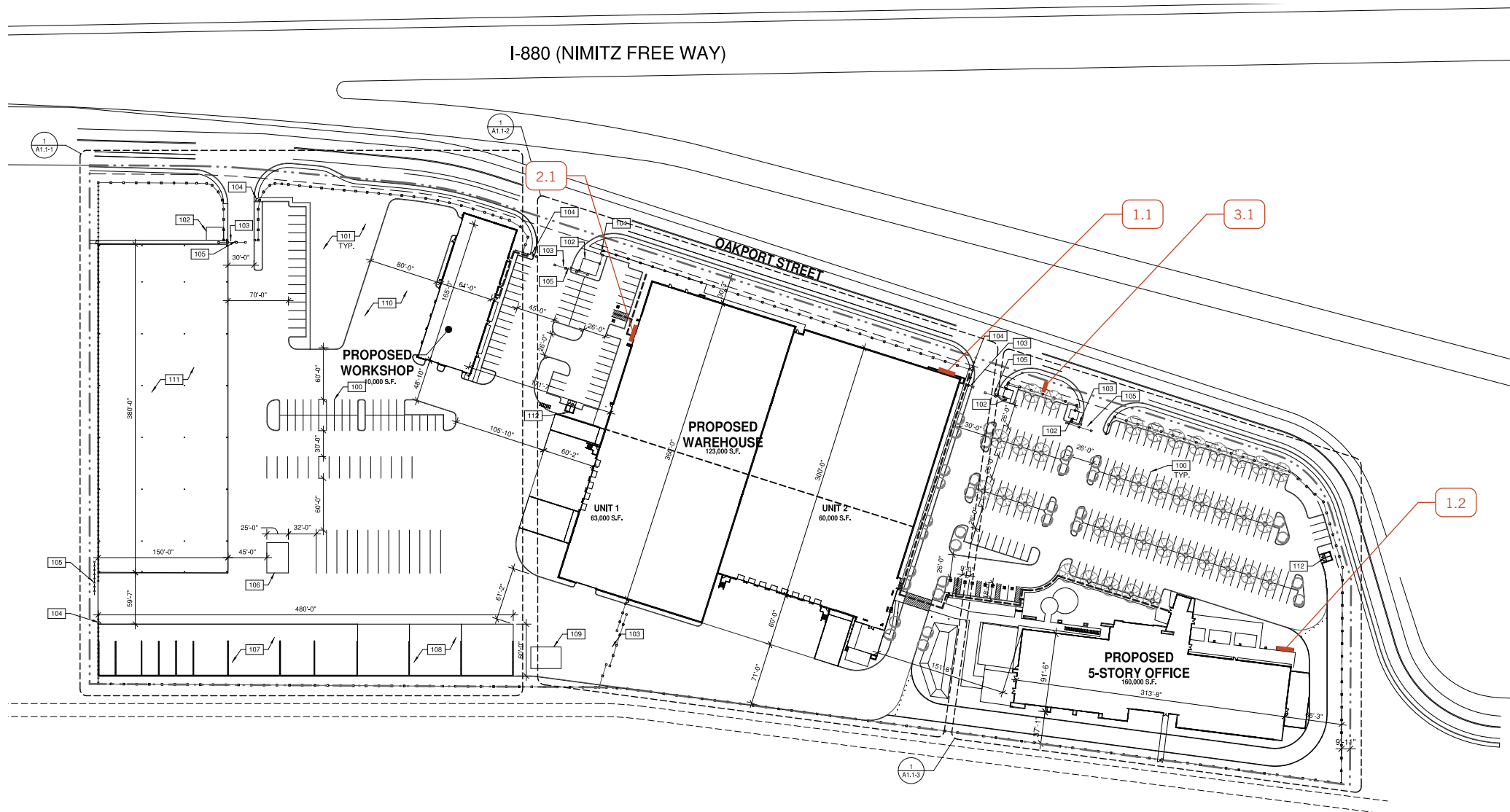
Editor's note— Ord. No. 13090, § 4(Exh. A), adopted October 4, 2011, changed the title of Section 17.104.020 from "General limitations on signs—Commercial and industrial zones" to "General limitations on signs—Commercial and industrial zones and the RU-4 and RU-5 zones." The historical notation has been preserved for reference purposes.

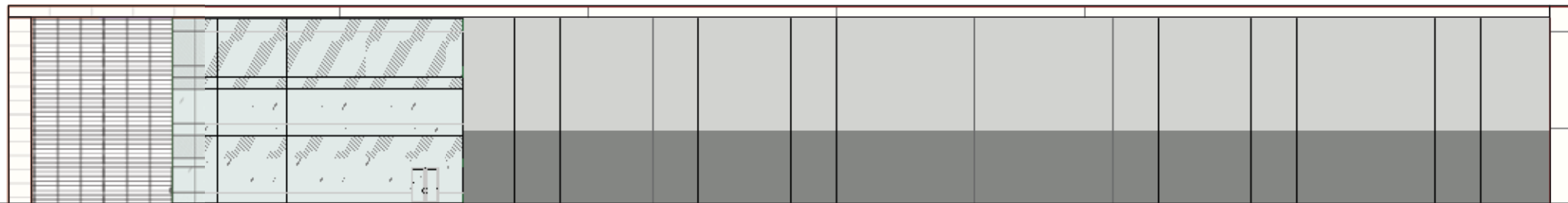
## LEGEND

TYPE	NAME	QTY
1	PRIMARY BUILDING ID SIGN	2
2	TENANT ID SIGN	1
3	MONUMENT SIGN	1

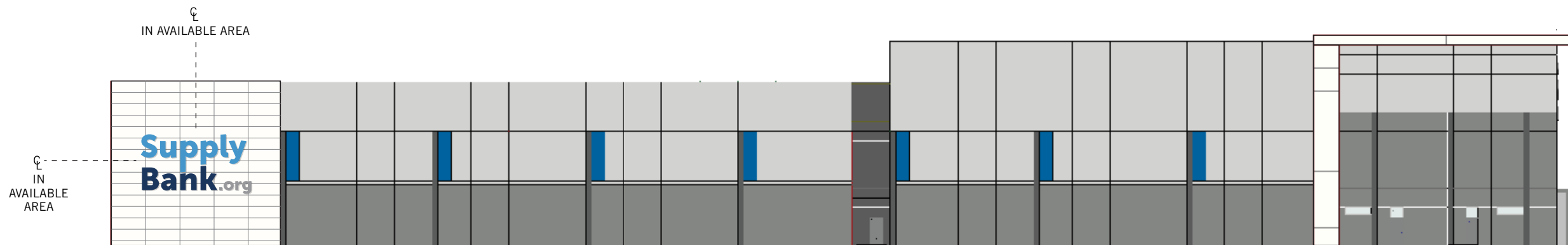
## KEY

SIGN TYPE  LOCATION





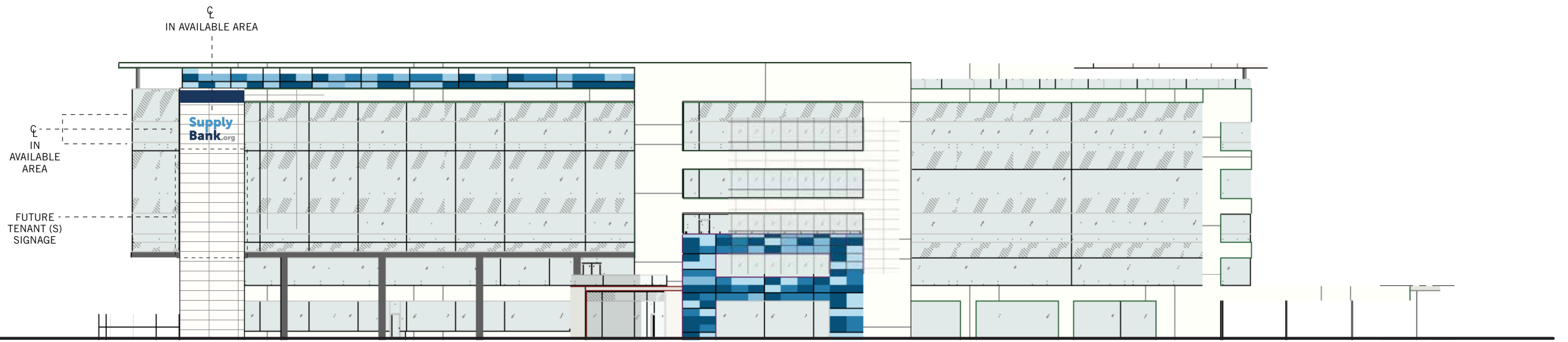
**WEST EXTERIOR ELEVATION - BUILDING 2**  
SCALE: 1/32"=1'-0"



**SIGN LOCATION 1.1**  
SQUARE FOOTAGE: 457

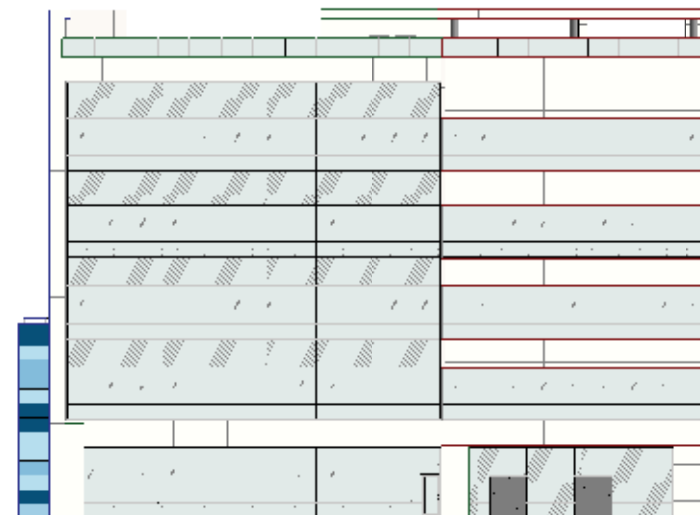
**NORTH EXTERIOR ELEVATION - BUILDING 2**  
SCALE: 1/32"=1'-0"





SIGN LOCATION 1.2  
SQUARE FOOTAGE: 105

SOUTH EXTERIOR ELEVATION - BUILDING 3  
SCALE: 1/32"=1'-0"



WEST EXTERIOR ELEVATION - BUILDING 3  
SCALE: 1/32"=1'-0"



## COLORS

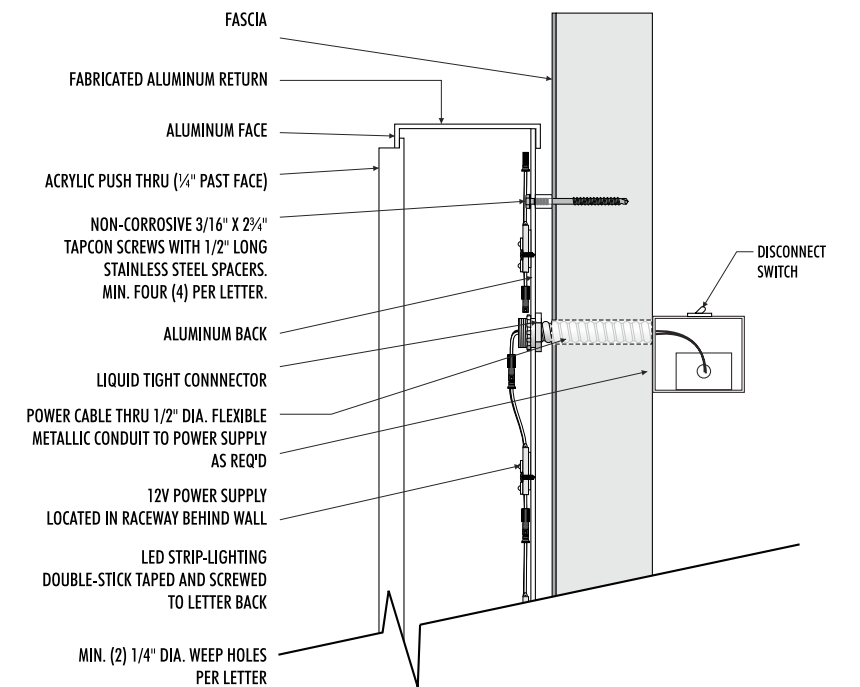
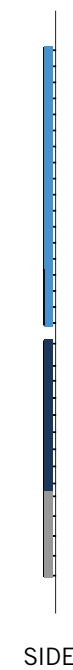
- P1** MATTHEWS TO MATCH PMS 7688C
- P2** MATTHEWS TO MATCH PMS 534C
- P3** MATTHEWS TO MATCH PMS COOL GRAY 7C
- V1** TRANSLUCENT TO MATCH PMS 7688C
- V2** TRANSLUCENT TO MATCH PMS 534C
- V3** TRANSLUCENT TO MATCH PMS COOL GRAY 7C

## KEY NOTES

- 1** FABRICATED ALUMINUM, INTERNALLY LED ILLUMINATED FACE-LIT WITH 6500K SLOAN LED'S, CHANNEL LOGO WITH 1/4" PROUD PUSH-THRU SIGN WHITE ACRYLIC FACE WITH APPLIED TRANSLUCENT VINYL.
- 2** STUDS & 3/4" SPACERS, PAINTED TO MATCH BUILDING FACE.

## ADDITIONAL NOTES

- SATIN CLEAR COAT TO BE APPLIED TO ALL PAINTED PORTIONS
- 120V POWER AND 20 AMP DEDICATED CIRCUIT TO BE PROVIDED AT SIGN LOCATION



**NOTE: WATERPROOFING AT ALL WALL PENETRATIONS TO BE SEALED WITH 3M 730 HYBRID CLEAR SEALANT**

**DETAIL VIEWS**  
SCALE: 3/16" = 1'-0"

**ILLUMINATED CHANNEL LOGO WITH PUSH-THRU FACE**  
NOT TO SCALE



**COLORS**

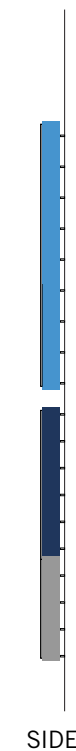
- P1** MATTHEWS TO MATCH PMS 7688C
- P2** MATTHEWS TO MATCH PMS 534C
- P3** MATTHEWS TO MATCH PMS COOL GRAY 7C
- V1** TRANSLUCENT TO MATCH PMS 7688C
- V2** TRANSLUCENT TO MATCH PMS 534C
- V3** TRANSLUCENT TO MATCH PMS COOL GRAY 7C

**KEY NOTES**

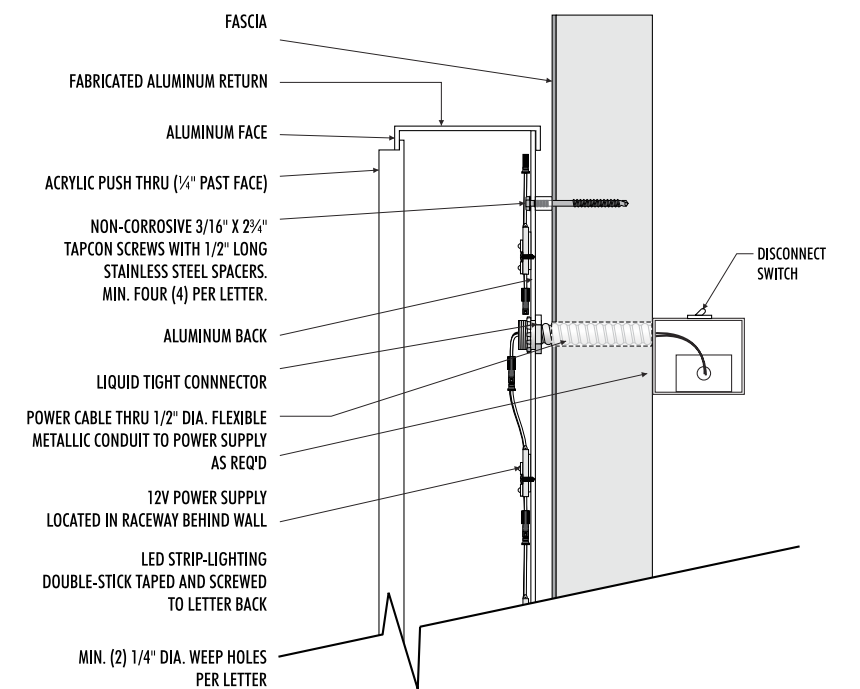
- 1** FABRICATED ALUMINUM, INTERNALLY LED ILLUMINATED FACE-LIT WITH 6500K SLOAN LED'S, CHANNEL LOGO WITH 1/4" PROUD PUSH-THRU SIGN WHITE ACRYLIC FACE WITH APPLIED TRANSLUCENT VINYL.
- 2** STUDS & 3/4" SPACERS, PAINTED TO MATCH BUILDING FACE.

**ADDITIONAL NOTES**

- SATIN CLEAR COAT TO BE APPLIED TO ALL PAINTED PORTIONS
- 120V POWER AND 20 AMP DEDICATED CIRCUIT TO BE PROVIDED AT SIGN LOCATION

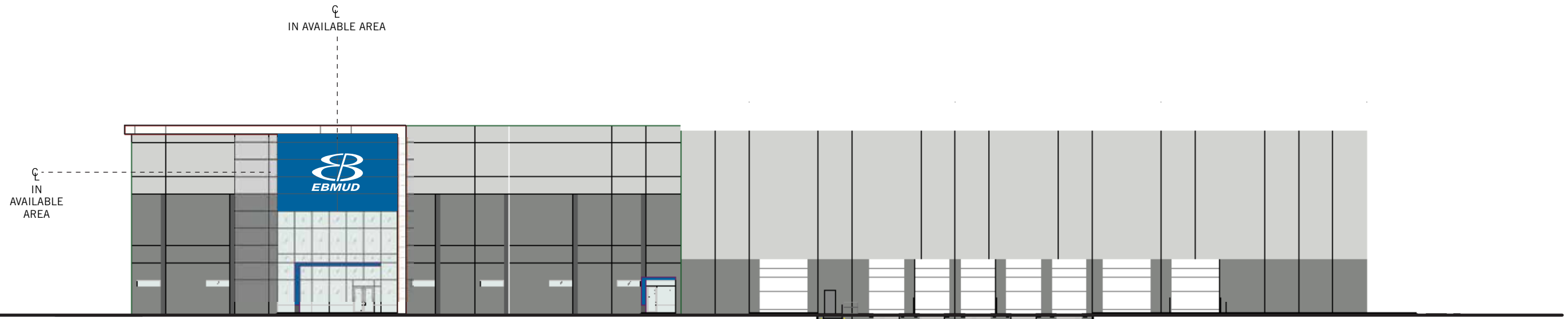


**DETAIL VIEWS**  
SCALE: 3/8" = 1'-0"



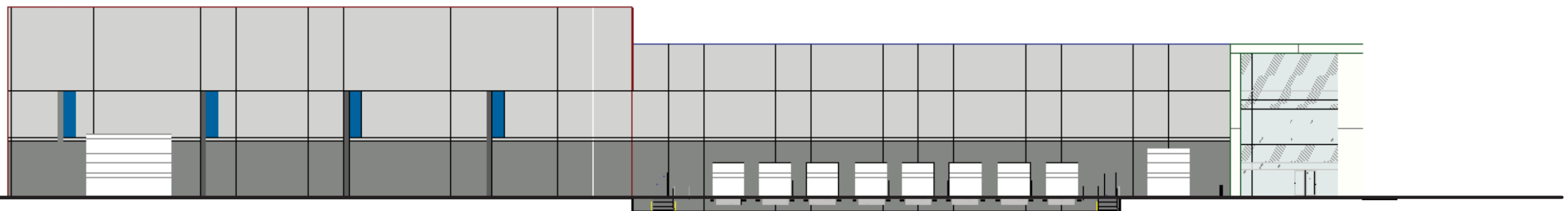
**NOTE: WATERPROOFING AT ALL WALL PENETRATIONS TO BE SEALED WITH 3M 730 HYBRID CLEAR SEALANT**

**ILLUMINATED CHANNEL LOGO WITH PUSH-THRU FACE**  
NOT TO SCALE



SIGN LOCATION 2.1  
 SQUARE FOOTAGE: 164

WEST EXTERIOR ELEVATION - BUILDING 2  
 SCALE: 1/32"=1'-0"



SOUTH EXTERIOR ELEVATION - BUILDING 2  
 SCALE: 1/32"=1'-0"

## COLORS

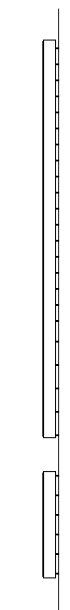
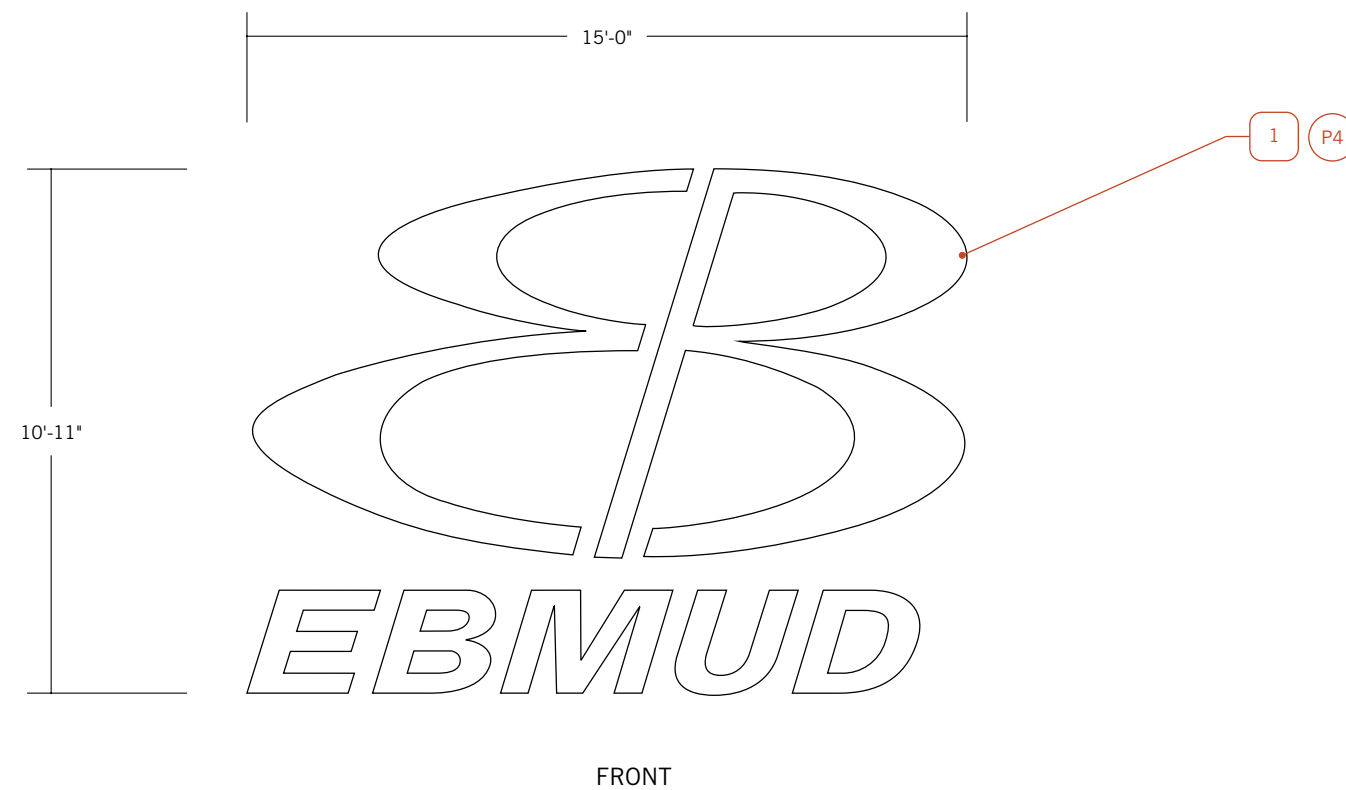
**P4** MATTHEWS SATIN WHITE

## KEY NOTES

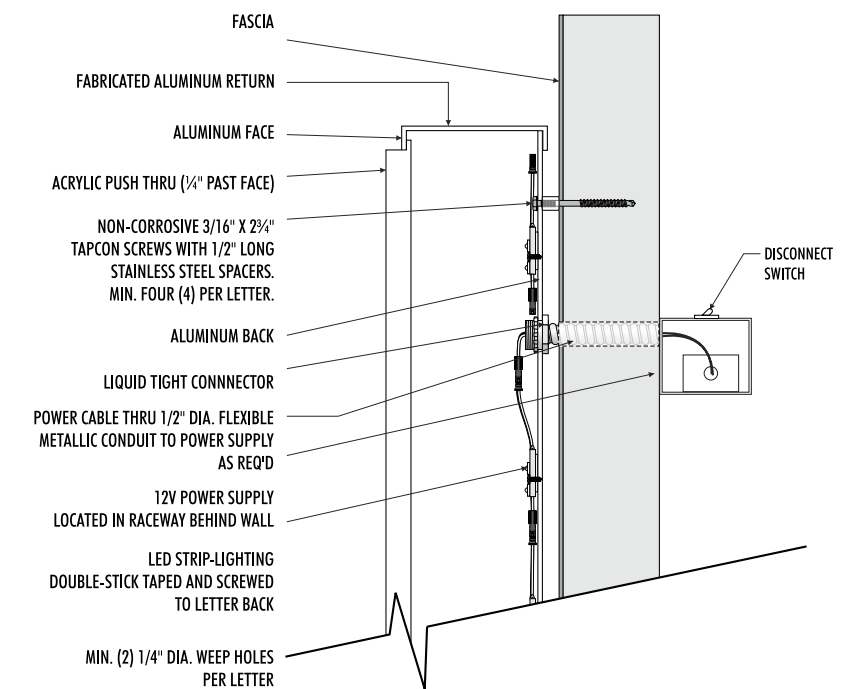
- 1** FABRICATED ALUMINUM, INTERNALLY LED ILLUMINATED FACE-LIT WITH 6500K SLOAN LED'S, CHANNEL LOGO WITH 1/4" PROUD PUSH-THRU SIGN WHITE ACRYLIC FACE WITH APPLIED TRANSLUCENT VINYL.
- 2** STUDS & 3/4" SPACERS, PAINTED TO MATCH BUILDING FACE.

## ADDITIONAL NOTES

- SATIN CLEAR COAT TO BE APPLIED TO ALL PAINTED PORTIONS
- 120V POWER AND 20 AMP DEDICATED CIRCUIT TO BE PROVIDED AT SIGN LOCATION

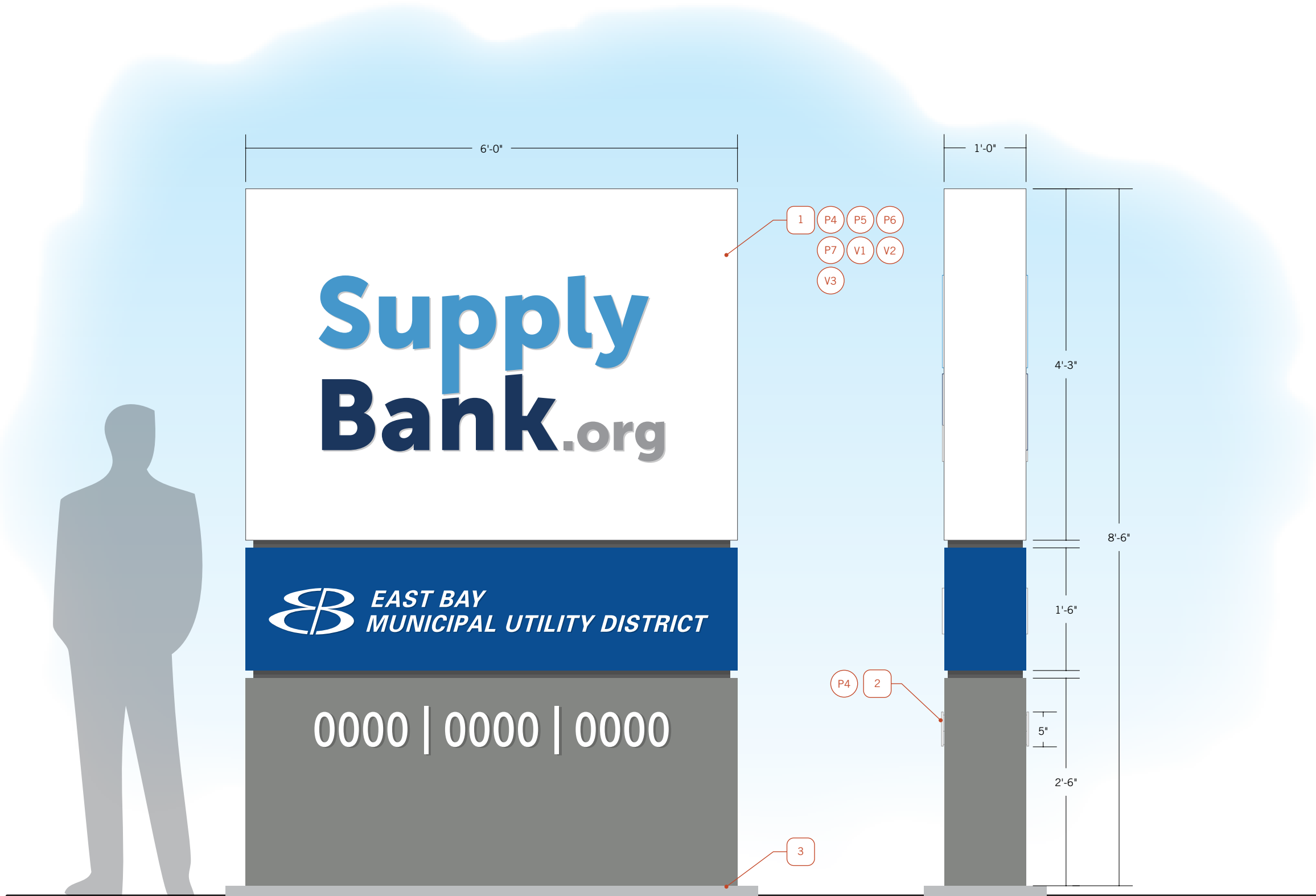


DETAIL VIEWS  
SCALE: 3/16" = 1'-0"



**NOTE: WATERPROOFING AT ALL WALL PENETRATIONS TO BE SEALED WITH 3M 730 HYBRID CLEAR SEALANT**

ILLUMINATED CHANNEL LOGO WITH PUSH-THRU FACE  
NOT TO SCALE



SIGN LOCATION 3.1 - FRONT  
 SQUARE FOOTAGE: 51

SIDE

DETAIL VIEWS  
 SCALE: 3/4"=1'-0"

### KEY NOTES

- 1** DOUBLE-SIDED, FABRICATED, SATIN PAINTED, 1/8" ALUMINUM CABINET WITH INTERNAL 6500K SLOAN LED ILLUMINATION, AND 1/4" PROUD PUSH-THRU SIGN WHITE ACRYLIC LOGO & LETTERING WITH APPLIED TRANSLUCENT VINYL.
- 2** SATIN PAINTED, 1/4" THICK FLAT CUT OUT NUMERALS, PIN MOUNTED 1/8" OFF FACE OF CABINET WITH STUDS & SPACERS. STUDS & SPACERS PAINTED TO MATCH CABINET FACE.
- 3** SMOOTH TROWELLED, NATURAL GRAY, CONCRETE MOWSTRIP 1 1/2" ABOVE GRADE, WITH SUB-GRADE FOOTING, PER SIGN FABRICATOR'S ENGINEERING SPECIFICATIONS.

### COLORS

- P4** MATTHEWS SATIN WHITE
- P5** MATTHEWS "HYPER BLUE"
- P6** MATTHEWS "CITYSCAPE"
- P7** MATTHEWS "PEPPERCORN"
- V1** TRANSLUCENT TO MATCH PMS 7688C
- V2** TRANSLUCENT TO MATCH PMS 534C
- V3** TRANSLUCENT TO MATCH PMS COOL GRAY 7C

