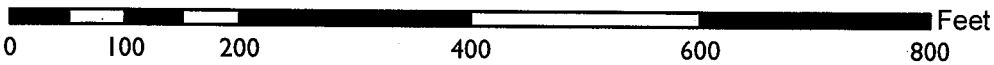
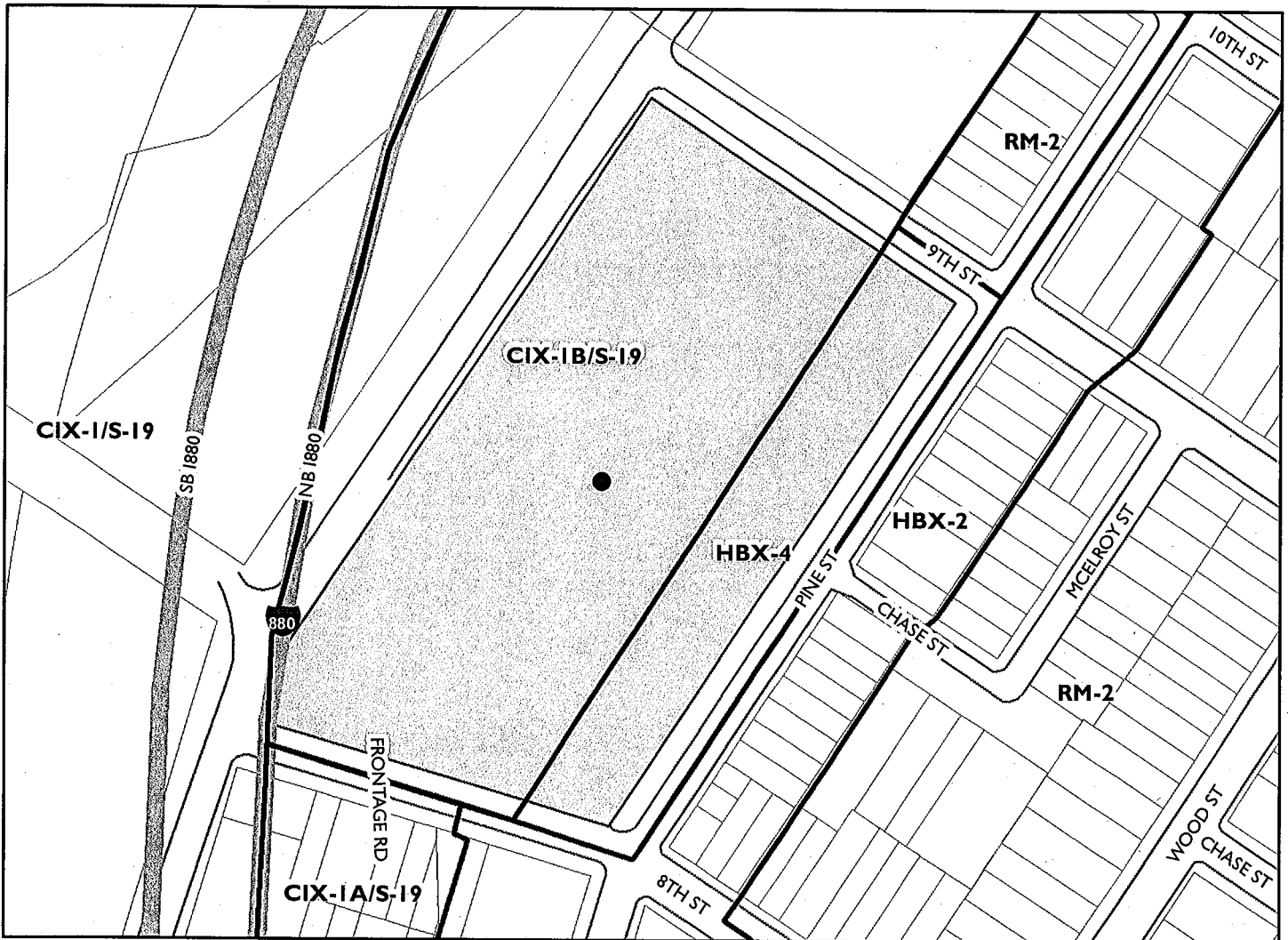


Project Location:	801 Pine Street. The vacant parcel is bounded by Pine Street, 9 th Street, Shorey Street, and Frontage Road and located in West Oakland.
Assessor's Parcel No:	006 004700100
Development Proposal:	To construct two-and five-story detached mixed use buildings consisting of supportive housing and related administrative offices, market-rate and affordable residential units, light industrial maker space, and rear surface parking lot to be accessed at the end of Shorey and 9 th Streets. The project would be developed in different phases, with the first phase (Phase 1) consisting of approximately 101 units of supportive and affordable housing.
Project Applicant / Phone Number:	Jamie Hiteshew and Kevin Brown - Holliday Development, LLC / (510) 588-5147
Property Owner:	State Department of Transportation
Case File Number:	PLN18252
Planning Permits Required:	<ol style="list-style-type: none"> 1) Major Conditional Use Permit for 150-foot expansion of residential uses into adjacent zone; 2) Planned Unit Development 3) Final Development Plan for Phase 1; 4) Conditional Use Permit for a rear Shared-Access Driveway; 5) Tentative Parcel Map for a four-parcel subdivision; and 6) Regular Design Review for new building construction.
General Plan: Specific Plan	Housing and Business Mix; and Business Mix West Oakland Specific Plan Area (WOSP)
Zoning District:	HBX-4, Housing and Business Mix Commercial Zone; and CIX-1B / S-19, West Oakland Plan Area Commercial Industrial Mix-1B Industrial Zone / Health and Safety Protection Combining Zone
Environmental Determination:	<p>A detailed CEQA (California Environmental Quality Act) Analysis was prepared for this project which concludes that the proposed development satisfies each of the following CEQA Guidelines: (A) 15183 - Projects Consistent with a Community Plan, General Plan, or Zoning; (B) 15183.3 - Streamlining for Infill Projects; (C) 15164 – Addendum to EIRs; and (D) 15168- Program EIRs. Each of the foregoing provides a separate and independent basis for CEQA compliance:</p> <p>The CEQA Analysis document may be reviewed at the Bureau of Planning offices, located at 250 Frank Ogawa Plaza, 2nd Floor or online at http://www2.oaklandnet.com/government/o/PBN/OurServices/Application/DOWD009157 (<i>The Phoenix CEQA Analysis / Item # 78</i>)</p> <p>The LUTE (Land Use Transportation Element) EIR which can be viewed here: http://www2.oaklandnet.com/government/o/PBN/OurServices/Application/DOWD009158 (<i>LUTE / Item #1</i>)</p>
Historic Status:	Non-Historic Property
City Council District:	3
Date Filed:	06/19/18
Action to be Taken:	Decision based on staff report
For Further Information:	Contact Project Case Planner, Mike Rivera at (510) 238-6417 or by email at mriviera@oaklandnet.com

#10

CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN18252
Applicant: Jamie Hiteshow & Kevin Brown – Holliday Development LLC
Address: 801 Pine Street
Zone: HBX-4, CIX-1B / S-19

SUMMARY

The development proposal is for a mixed-use project consisting of multi-story residential, office and light industrial buildings at 801 Pine Street. The project includes a surface parking lot that will be accessible at the end of Shorey and 9th Streets. The project would construct a total of 316 residential units, 7,837 square feet of office and 27,501 square feet of light industrial space, including 133 off-street parking spaces. The applicant proposes affordable and market-rate residential units through the Density Bonus regulations.

The proposal includes a subdivision map to subdivide the vacant 202,571 square foot parcel into four new parcels (Parcels 1-4). All new parcels will have street frontage on Pine, 9th and Shorey streets. The subdivision map also contains a shared-access private driveway, located along the rear of the property and will be accessible from 9th and Shorey streets. The shared private driveway will also be used as an access easement to City Fire trucks.

The applicant proposes a Preliminary/Planned Unit Development (PUD) to develop the project in five phases. Phase 1 is for a Final Development Permit (FDP) to construct two detached buildings consisting of 101 units for supportive and affordable housing and related offices, and including the parking lot (Parcel 1). Approximately 50 percent of the units are dedicated to permanent supportive housing and the remaining units to households earning less than 60 percent of the AMI. The resident services and community programming includes a community gathering space; bicycle storage; laundry facilities; and office space for the case workers, property managers and security guards who support the health of the residents. The applicant plans to engage Abode Services, an agency dedicated to ending homelessness through a "Housing First" approach, to oversee the supportive housing.

Phases 2 to 5 are for a PUD to construct approximately 217 market-rate housing in a mix of studios, 1-bedroom, and 2-bedroom unit detached market-rate residential buildings and one large, 27,501 square foot maker space building as part of the FDP (Parcels 2-4).

The applicant is applying for affordable housing grant funds from the Alameda County Measure A-1 to help finance the development of the proposed 101 supportive and affordable residential units (Parcel 1). To qualify for the funds, the applicant states that land-use entitlements need to be secured by the end of 2018. As such, the applicant has requested, pursuant to Oakland Municipal Code (O.M.C.) Section 17.142.020, that Design Review Committee (DRC) review of Phase 1 be deferred until after PUD approval. To prioritize affordable housing for the City's homeless and low income population, staff recommends the Planning Commission approve the PUD and Phase 1 FDP with a condition that Phase 1 is referred to DRC for final design review.

The California Environmental Quality Act (CEQA) analysis was prepared for the project and concluded that the proposal qualifies for an addendum and infill exemption under the CEQA Guidelines. A copy of this document was made available to the Planning Commission and public, and is also available on the City's website: <http://www2.oaklandnet.com/government/o/PBN/OurServices/Application/DOWD009157> (The Phoenix CEQA Analysis / Item # 78).

The development proposal requires approval of the following Planning-related permits:

- 1) Major Conditional Use Permit for 150-foot expansion of residential uses into the CIX Zone;
- 2) Planned Unit Development / Preliminary Development Plan (PUD) for the entire site;
- 3) Final Development Plans (FDP) for Phase 1 (supportive and affordable housing in Parcel 1);
- 4) Minor Conditional Use Permit for a shared-access driveway;

- 5) Tentative Parcel Map for a four-parcel subdivision; and
- 6) Regular Design Review for new building construction.

For the reasons set forth in this report, staff recommends that the Planning Commission (1) affirm staff's Environmental Determination and adopt the attached CEQA Findings; and (2) approve the project, including Major and Minor Conditional Use Permits, PUD and FDP (Phase 1), Subdivision Map, and Regular Design Review, subject to the attached findings and conditions (including the Standard Conditions of Approval and Mitigation Monitoring and Reporting Program / SCAMMRP) contained in this report and related project documents.

PROJECT SITE AND SURROUNDINGS

The property at 801 Pine Street is flat, vacant and measures approximately 4.65 acres (202,540 square feet). The site is bounded to the south by Shorey Street, north by 9th Street and west by Frontage Road and the I-880. Both Shorey and 9th Streets are dead-end public roads. The property is partially gated with a chain-link fence and gate. The site is surrounded by unpaved and partially paved public roads and unimproved sidewalks along Pine, Shorey and 9th Streets. A tall sound wall along the west side of the property provides a buffer from Frontage Road and the I-880 freeway. There are some trees within the project site that are proposed for removal.

The development site is mostly surrounded by a mix of traditional and contemporary single-family and multi-family residential facilities, and a handful of vacant properties. Some commercial and industrial facilities are located nearby and include the Trapeze Art Studio, Prescott Circus Theater, and California Waste Solutions. The project site is also adjacent to Frontage Road, a four-lane two-way street connecting to I-880 beyond. The property is also located a block away from an AC transit bus stop on Wood Street and is approximately 10 blocks from the West Oakland BART Station.

GENERAL PLAN ANALYSIS

A significant portion of the project is located in the Housing and Business Mix Land Use District (HBX) designations of the West Oakland Specific Plan Area (WOSP). The intent of the Housing and Business mix designation (HBX) District is to maintain and enhance the residential edge along Pine Street, with light industrial/business uses serving as a buffer between the residential uses and the I-880 freeway. The proposal is also in the Housing and Business Mix (HBX) area of the Oakland General Plan Land Use and Transportation Element (LUTE). The intent of the LUTE Housing and Business Mix (HBX) designation is to guide a transition from heavy industry to low impact light industrial and other businesses that can co-exist compatibly with residential development. Respect for environmental quality, coupled with opportunities for additional housing and neighborhood-friendly businesses is desired as well as the transition from industry that generates impacts detrimental to nearby residences.

The project development is located in an area with a mix of urban uses such as large industrial and medium size commercial facilities, along with a large concentration of residential properties. The proposal consists of residential, administrative and light industrial facilities. The project would be ideal for this area because it would create a mix of housing types with different income levels, supportive and affordable housing and related administrative offices to serve the area's homeless, and light industrial facilities for maker space uses that would serve to buffer the residential uses from nearby industrial and commercial facilities on 9th Street. The project would be consistent with the City's Policy-Based Strategies of the West Oakland Specific Plan (WOSP), which seek to reduce conflicts between neighborhoods and industrial uses, expand upon, improve and stabilize a range of housing opportunities, and create new anchors for an arts and cultural district. The policies below are shown in normal font, and the reasons these satisfy the policies are shown in **bold font**.

Low Intensity Business 1: Capture a greater share of the shifting regional market, which is seeing a change from traditional industrial use to more modern flexible space that can accommodate a wide variety of business applications.

The project includes a light manufacturing “maker” facility located on 9th Street, which is across from other existing industrial and commercial facilities. The one-story, 27,500 square foot building would provide opportunities for a new range of businesses that relate to the current market and the public need for light industrial, production, and arts businesses. The proposed maker space could also include custom manufacturing, which is becoming prevalent in industrial areas throughout West Oakland. It would also serve to provide jobs for nearby residents, while buffering the project’s residential uses from neighboring, more intense, commercial and industrial uses. Its thoughtful placement on the project site addresses the City’s dire need for housing for all income levels, while also protecting those residential uses along Pine Street from industrial and commercial activities to the north.

Low Intensity Business-2: Develop marketing and outreach programs to target the attraction of advanced manufacturing companies and other “new economy” commercial ventures, as well as the expansion of Oakland’s creative economy arts and “makers” industries.

The proposal will include the development of the 27,500 square foot light manufacturing “maker” facility that would facilitate new opportunities for local businesses and residents in the arts and crafts, art media and other light industrial and custom manufacturing sectors that are becoming more prevalent in West Oakland.

Low Intensity Business- 3: Designate certain sites where new development can encourage lower-scale, light industrial uses and development that provides for custom artisan, additive and advanced manufacturing (also known as ‘urban manufacturing’), technical design engineering and construction businesses, and other light industrial business uses that provide good-paying, middle-wage jobs.

The proposal would develop the 27,500 square foot light manufacturing “maker” facility, which would be a lower-scale building at only one story, while spanning a significant portion of the property’s northern property line to provide a screening use between the project’s residential facilities and pre-existing industrial and commercial uses to the north. The light industrial “maker” space’s location across the street from other industrial and commercial makes it an appropriate location to encourage new light industrial uses in West Oakland. Its low-profile placement next to and close to residential uses would provide a convenient job location for a range of incomes located in the supportive, affordable and market-rate housing to be built as part of the project.

Low Intensity Business-4: As new developments occur, leverage the increased investment of private capital to cleanup and redevelop previously contaminated sites.

The applicant is proposing to develop a new mixed-use project on a large vacant site that will require an environmental correction plan to bring the property to a level suitable for residential uses. Currently, the project site is vacant, under-utilized and shows evidence of needing environmental cleanup and remediation. The project would facilitate the clean-up of a vacant, underutilized and contaminated site, and convert it into a project that would provide much needed housing for a variety of income levels, as well as new light industrial “maker” uses in West Oakland.

Low Intensity Business-5: Limit the permitted Floor Area Ratio of those lots designated for lower intensity business and industrial use as a means of discouraging speculative higher use, retaining the lower intensity character of the area, and preserving relatively affordable rents and land values.

The proposal for a mixed-use residential and light manufacturing facility is below the maximum Floor Area Ratio. The project would provide affordable housing for at least 50 units for supportive housing and an additional 50 units for households that make less than 60% of the AMI.

Low Intensity Business-6: Limit the permitted Floor Area Ratio of those lots designated for lower intensity business and industrial use as a means of discouraging speculative higher use, retaining the lower intensity character of the area, and preserving relatively affordable rents and land values.

The proposal is for a mixed-use residential and light manufacturing project that is below the maximum Floor Area Ratio (FAR), and contains relatively low profile buildings including the one-story, light industrial “maker” building. The project would encourage affordable residential rents by providing affordable housing for at least 50 units for very low-income households and approximately 50 units for households earning below 60 percent of the AMI. The project would also introduce 27,500 square feet of light industrial space to West Oakland, which will have a positive impact on rents and space availability for light industrial, “maker” production, and/or light manufacturing uses.

ZONING ANALYSIS

The portion of the property fronting Pine Street is located in the Housing and Business Mix-4 (HBX-4) Commercial Zone. The intent of the HBX-4 Zone is to provide development standards for Live/Work, Work/Live, and housing in areas with a strong presence of industrial and heavy commercial activities. The purpose of the HBX regulations is to:

- a) allow for mixed use districts that recognize both residential and business activities,
- b) establish development standards that allow residential and business activities to compatibly co-exist,
- c) provide a transition between industrial areas and residential neighborhoods,
- d) encourage development that respects environmental quality and historic patterns of development, and
- e) foster a variety of small, entrepreneurial, and flexible home-based businesses.

The proposal would provide a mix of residential and business facilities that are compatible with the existing uses around the project. The configuration of permanent residential and supportive services with a large light industrial/ manufacturing facility provide a development pattern that is sensitive to the neighborhood. The siting of the proposed residential and light industrial facilities provides a transition between the properties to the southeast and north of Shorey, Pine and 9th Streets that have similar uses. The uses would be environmentally compatible and create less of an impact onto the surrounding neighborhood. The maker space would be utilized for light industrial and custom manufacturing business activities such as arts and crafts and art media. The project would also provide new employment opportunities for the local community, because it would create and enhance the operation of the light industrial business base of the City, while also providing assistance to the homeless population through housing and job services.

The western portion of the property is located in the CIX-1B, Industrial Zone. The intent of the CIX-1B Zone is to support industrial areas in the West Oakland Specific Plan Area that are appropriate for a broad range of new custom and light manufacturing, light industrial, warehouse, research and development, and service commercial uses.

The project site is located in two adjacent zoning districts (HBX-4 and CIX-1B), one of which (CIX-1B), does not allow residential. However, Section 17.102.110 of the Planning Code allows for the residential use permitted in the HBX-4 Zone fronting Pine Street to expand 150 feet to the west into the adjacent

CIX-1B Zone upon the granting a Conditional Use Permit. The Planning Code states that when an applicable individual zone regulations conditionally permit activities that are prohibited in the subject zone, but permitted on nearby lots in an adjacent zone, a residential use expansion of 150 feet may be granted, subject to the required Conditional Use Permit criteria. The project site is mostly surrounded by a mix of residential facilities, and some non-residential facilities that were once utilized for manufacturing activities. In the immediate vicinity, the one facility that operates as an industrial activity is the California Waste Solutions, located one block north from the project site. The proposed expansion for residential uses would be compatible with the surrounding area because the majority of the surrounding properties to the south, east and north are a mix of residential facilities. Also, the project proposes a 27,500-square foot maker facility that would buffer the project's residential uses from California Waste Solutions and other manufacturing activities to the north. Further, if industrial facilities were to be developed in the CIX-1B expansion area, these uses would likely be much taller and out of character with the surrounding existing and proposed residential uses in the area.

PROJECT PROPOSAL

Facilities & Uses

The proposal is to develop a mixed-use project that contains residential, office and light industrial buildings, and includes on-site parking to the rear, western portion of the property. The project includes five detached buildings that range from one-story to four-stories high, and will contain supportive housing with related offices, affordable and market rate residential units and a maker space industrial building. The project includes an off-street parking lot with approximately 133 spaces with two separate driveways, located at the end of 9th Street and Shorey Street. The proposed plans also show street improvements around the property that include new sidewalks and street trees. Although additional parking is proposed on Shorey and 9th Streets, these do not count as part of the required parking for the project and would require a separate approval with Conditions by the City's Department of Transportation (DOT).

Planned Unit Development (PUD)

The applicant proposes a Planned Unit Development (PUD) with phased development. A PUD is a large, integrated development comprehensive plan that may allow certain uses in addition to those otherwise allowed in the underlying zone. Certain regulations may be waived or modified for development at the initial granting of the PUD. The applicant proposes 5 phases. Phase 1 is a Final Development Plan (FDP) to construct a three-story supportive and affordable housing facility with approximately 101 residential units, and a two-story office facility for the employees and security personnel. The supportive office building includes meeting rooms and a bike room. A PUD is proposed for the other market-rate residential units and a one-story maker space buildings. These buildings will be constructed in subsequent phases, and will require review by the Design Review Committee before being considered for review as an FDP by the Planning Commission at a future public meeting.

Landscaping

The proposal provides a landscaping plan that includes trees, shrubs, groundcover, stormwater and vegetated swales around the property and within the public right-of-way. The landscaping includes at least 16 street trees (24-inch box) with tree grates in the new improved sidewalks, and 14 trees (24-inch box) within the rear new parking lot and along the north side of the proposed building. The project includes some landscaping within the proposed courtyards and plazas as well.

Subdivision

The proposal includes a Tentative Parcel Map for the subdivision of four new parcels that include a shared-access driveway with parking stalls, located along the rear, western portion of the property. The subdivision map shows four parcels, Parcel 1, Parcel 2, Parcel 3 and Parcel 4 and includes a shared-

access driveway along the rear of the new parcels. The shared-access driveway will provide vehicle access to the tenants of the property, including an access easement to fire trucks. Access to the private driveway will be from 9th Street and/or from Shorey Street, and will provide approximately 136 off-street parking spaces.

The table below is the phasing plan for the project. Note: Phases 2-4 do not show allocation of residential unit count and bedroom type for each of the proposed buildings.

Project Plan	Phase 1 / FDP (Parcel 1)	Phase 2 / PUD (Parcel 2)	Phases 3 & 4 / PUD (Parcel 3)	Phase 5 / PUD (Parcel 4)
Lot Area	0.93 acres	0.81 acres	2.05 acres	0.87 acres
Shared-Access Driveway	Built in Phase 1	Built in Phase 1	Built in Phase 1	Built in Phase 1
Building Height/Story	25 ft. and 58 ft. / 2 and 4 stories	60 ft. / 5 stories	60 ft. / 5 stories	36 ft. / 1 story
Building Gross Area (Residential)	45,826 sf.	73,150 sf.	56,230 sf. (Bld. 3-A) 58,520 sf. (Bld. 3-B)	-
Building Gross Area (Office)	7,503 sf.	-	-	-
Building Gross Area (maker space)	-	-	-	24,553 sf.
Residential Units (total of 317 du)	101 (50 supportive & 51 affordable)	-	-	-
Bedroom Type- Studio	82	-	-	-
Bedroom Type- 1 Bedroom	3	-	-	-
Bedroom Type- 2 Bedroom	16	-	-	-
Off-Street Parking	26	25	75	10
Shared Access Driveway	Built in Phase 1	-	-	-

The table below is a summary of the Final Development Plan (FDP) for Phase 1 only:

Project Program	Phase 1 (Parcel 1)
Lot Area	40,342 square feet
Building Height/Story	58-ft. / 4 stories
Building Gross Area (Residential)	45,826 sf.
Building Gross Area (Office)	7,503 sf.
Number of Residential Units	101 (total)
Bedroom Type- Studio	82
Bedroom Type- 1 Bedroom	3
Bedroom Type- 2 Bedroom	16

The table below is a summary of the development standards in the HBX-4 and CIX-1B Zones:

Development Standards	Requirements	Proposed	Comments
Minimum Lot Area (HBX) Minimum Lot Area (CIX)	0.09 acres and 0.11 acres	Parcel 1: 0.93 ac. Parcel 2: 0.81 ac Parcel 3: 2.05 ac Parcel 4: 0.87 ac	All Meet Code
Minimum Lot Frontage	35-ft.	Parcel 1: 139-ft Parcel 2: 105-ft Parcel 3: 210-ft Parcel 4: 105-ft	All Meet Code
Minimum Front Setback (HBX) Minimum Front Setback (CIX)	0-ft. 0-ft.	2-ft., 9-ft. & 14-ft. (same as above)	All Meet Code
Minimum Interior Side Setback (HBX) Minimum Interior Side Setback (CIX)	5-ft. 5-ft.	8-ft. (+) varies 8-ft. (+) varies	All Meet Code
Minimum Rear Setback (CIX)	0-ft.	45-ft.	Meets Code
Maximum Building Height (HBX) Maximum Building Height (CIX)	55-ft. 85-ft.	60-ft. 60-ft.	Waiver Requested Meets Code
Maximum Residential Density (HBX) Maximum Residential Density (CIX)	74 du N/A	74 du N/A	Meets Code Concession Requested
Maximum FAR (HBX) Maximum FAR (CIX)	2.5 2.0	2.0 1.1	Meets Code
Min. Off-Street Parking	189 spaces	136 spaces	Concession Requested
Loading Berths	3 berths	3 berths	Meets Code

Density Bonus / Concessions and Waivers

The State of California encourages the development of affordable housing in part through the state's Density Bonus law. California Government Code Section 65915 allows an increase in the number of units a project can include if the project includes a certain amount of affordable housing. In addition, in recognition that increased density may only be possible with concessions of and waivers from local regulations, the state includes concessions and waivers from development standards and other zoning regulations. The proposed project includes affordable housing that allows reliance on density bonus allowances, and as such, the applicant requests two concessions and two waivers as follows:

Concession 1:

The applicant requests to convert allowances for Floor Area Ratio (FAR) to residential density in the CIX-1B Zone. Because the CIX-1B Zone does not prescribe residential density, the permitted maximum Floor Area Ratio (FAR) would be used to calculate the unit residential count. The calculation is based on that portion of the lot area in the CIX-1B Zone where a 150-foot expansion is being proposed per Conditional Use Permit (17.102.110).

The specific purpose of this concession is to allow residential development on the portion of the lot that is zoned CIX-1B and residential density is not allowed under the existing regulations. The requested concession is deemed necessary to set and guide the site planning, and the development of supportive, affordable and market-rate residential units that is needed, and thus will provide appropriate development, and economic and social benefits to the neighborhood and City.

Concession 2:

The applicant requests a second concession to reduce required off-street parking spaces. The project requires 189 parking spaces for residential, office and light-industrial facilities. The proposal provides two small and one large parking lot with a total of 136 spaces to the rear of the property. To physically provide the required number of parking spaces, the proposal would eliminate the required residential density that is needed to make the development economic viable. This concession is similar to the current parking requirements in other areas of Oakland where only 0.5 parking space is required per residential unit.

Waiver 1:

The applicant requests a waiver to increase the maximum building height in the HBX-4 Zone. The maximum allowed height is 55 feet. The proposal would increase the building height from 55 feet to 60 feet (5-feet) for a portion of the proposed five-story residential building planned in Phase 2. The height of 55 feet would limit and create a physical challenge and make the construction of the affordable and market-rate residential units unfeasible. The increased height also masks the freeway soundwall to the rear of the property, a possible aesthetic benefit for neighbors.

Waiver 2:

The applicant requests a second waiver to extend the distance for expansion of residential use in the CIX-1B Zone. The applicant proposes a waiver to extend an additional 50 feet of residential use in the 150 feet expansion of use ($50' + 150' = 200'$) to construct a five-story residential building. The request is to allow a rear portion of Building 3-A, located in Parcel 3. Without the requested waiver, the residential building will need to be reconfigured to fit in the 150 expansion of use area and may affect the operation of the outdoor and parking areas. This waiver works in concert with Concession 1 (described above) and improves the site planning and massing of the project to better fit into the fine-grain neighborhood context.

WEST OAKLAND SPECIFIC PLAN (WOSP) - DESIGN GUIDELINES APPLICABLE TO COMMERCIAL OPPORTUNITY AREA 2 - PINE STREET

The proposal is located in the West Oakland Specific Plan (WOSP) Opportunity Area 2 of the 7th Street area. This section of the WOSP addresses the urban design strategies and guidelines that are particular to Pine Street. The intent for this section of Pine Street is identified as part of the 7th Street Opportunity Area and needs to be carefully respected, as it includes some of the oldest Victorian houses in West Oakland.

The following Design Guidelines (shown in normal type) apply to properties directly facing onto Pine Street. The reasons this proposal satisfies these guidelines are shown in **bold**.

Pine 1- Site Planning

Create entries facing Pine Street that are compatible with the porches and entrances on historic houses on the opposite side of street.

Phase 1 of the project contains two-and three-story buildings that provides a larger scale entry at the corner of the property. The entry is two-stories high and recessed from the street that is not consistent with the more traditional porches and entries found on Pine Street. At this early stage, the project requires additional design development to create harmony and appeal with the historic buildings along Pine Street. It is feasible to modify and bring the entry to a more human scale to create smaller building forms. The project will need review by the Design Review Committee to ensure that the project becomes more compatible with the residential development in the area. To this end, the project is required to obtain Design Review Committee approval pursuant to the Conditions of Approval for the project. To maintain the character of the Pine Street, staff recommends a Condition to scale down and integrate design elements to the proposed entry. See Condition of Approval # 15.

Pine 2- Massing

Articulate facades on the west side of Pine Street into segments that are generally 25 to 35 feet wide to roughly match the scale of historic housing on the opposite side of the street. Bay windows and porches are encouraged.

Phase 1 of the project contains two-story and three-story building facades that are segmented to reduce their width. However, at this early stage, the building facades look monolithic when compared with the variety of historic buildings across Pine Street. Façade articulation can provide massing relief and visual interest. Through the Design Review process, the applicant shall create more articulation in the buildings to be more consistent with the scale and rhythm of the residential buildings on Pine Street. To this end, the applicant is required to obtain Design Review Committee approval pursuant to Condition of Approval. Staff recommends a Condition that design elements are considered such as window projections or other design features. See Condition of Approval # 15.

Pine 3-Height

Buildings directly facing Pine Street should relate to the scale of historic housing on the opposite side of the street.

Phase 1 contains buildings facing Pine Street that measure from two- to three-stories high, and are directly across existing historic buildings that are one- to two-stories high. At this early stage, the proposed three-story building requires additional design development to avoid appearing out of scale with the existing character of Pine Street. Through the Design Review process, the applicant shall create more articulation in the buildings through the use of building articulation measures that are more consistent with the scale and rhythm of the residential buildings on Pine Street. To this end, the applicant is required to obtain Design Review Committee approval pursuant to Condition of Approval. Staff suggests mass articulation on the facades and recommends a Condition to use strong architectural features to manage building height. See Condition of Approval #15.

Pine 4-Fenestration and Materials

Employ clear, logical, and high quality building openings appropriate detail around entries and primary windows.

Phase 1 contains two detached buildings that provide one principal entry at the corner of the property. The mix of window types lacks details to confirm window depth from the building façade. Through the Design Review process, the applicant shall create more articulation in the buildings through the use of building articulation measures that are more consistent with the existing residential buildings on Pine Street. To this end, the applicant is required to obtain Design Review Committee approval pursuant to Condition of Approval. Staff recommends a Condition that details are shown on the elevations and floor plans. See Condition of Approval #15.

Pine 5- Landscape

Establish landscaped yards between the sidewalk and the face of the building

The applicant will construct extensive landscaping improvements, including 24-inch size trees and street trees, as well as extensive sidewalk and street improvements along the property. Specifically Phase 1 provides ground landscaping and seven 24-inch box size trees and street trees in front of the buildings facing Pine Street.

KEY ISSUES

Use expansion of residential activity into the CIX Zone

As noted earlier in the report, the project site is located in two adjacent zoning districts (HBX-4 and CIX-1B), one of which (CIX-1B), does not allow residential. However, Section 17.102.110 of the Planning Code allows for the residential use permitted in the HBX-4 Zone fronting Pine Street to expand 150 feet to the west into the adjacent CIX-1B Zone upon the granting a Conditional Use Permit. The Planning Code states that when an applicable individual zone regulations conditionally permit activities that are prohibited in the subject zone, but permitted on nearby lots in an adjacent zone, a residential use expansion of 150 feet may be granted, subject to the required Conditional Use Permit criteria. The project site is mostly surrounded by a mix of residential facilities, and some non-residential facilities that were once utilized for manufacturing activities. In the immediate vicinity, the one facility that operates as an industrial activity is the California Waste Solutions, located one block north from the project site. The proposed expansion for residential uses would be compatible with the surrounding area because the majority of the surrounding properties to the south, east and north are a mix of residential facilities. Also, the project proposes a 27,500-square foot maker facility that would buffer the project's residential uses from California Waste Solutions and other manufacturing activities to the north. Further, if industrial facilities were to be developed in the CIX-1B expansion area, these uses would likely be much taller and out of character with the surrounding existing and proposed residential uses in the area.

Planned / Preliminary Unit Development, Final Development Plan & Project Phasing

The applicant proposes to develop the project in five phases through a PUD and FDP for Phase 1. PUD regulations allow flexibility to create a comprehensive and well-integrated project on properties that are more than 60,000 square feet in area. The proposal would enable the project to be eligible for bonuses that would allow certain uses and increase density subject to specified PUD provisions. The applicant proposes a PUD to lay out the building site and mass and shared access easement for the buildings and driveway. The applicant also proposes an FDP to develop first the supportive and affordable housing with related offices as Phase 1 of the project. Phase 1 includes architectural site, floor, elevation, design, driveway and landscaping plans for the buildings (Parcel 1). It is the applicant's intent to develop of the

other four buildings (Parcels 2, 3, and 4) in phases after the completion of Phase 1. The layout of the detached residential and manufacturing buildings in Parcels 2-4 include the envelope of the building footprint and mass. As a PUD, staff believes that the applicant can further refine and design the buildings prior to requesting FDP approvals for Phases 2, 3 and 4 from the Planning Commission.

Density Bonus

The proposal includes a Density Bonus to provide affordable residential units. The purpose of the Density Bonus provisions is to encourage the construction of affordable housing where concessions and waivers can be applied to provide relaxation of the required development standards. California Government Code Section 65915 states that local governments shall grant a density bonus and concessions to residential development that include the required percentage of affordable units within the development site. The applicant proposes a Density Bonus of 35% to construct 16 % of very low-income affordable units within the property. The proposal would increase the number of residential units from the allowed 74 units to 316 units. Based on the Density Bonus regulations, the applicant can receive up to three concessions and can also ask for waivers or relaxations from the development standards. Based on documentation submitted, the following table shows the applicable density bonus regulations, the applicant’s request, and the State and City’s allowance for concessions and waivers:

AFFORDABLE HOUSING CONCESSION AND WAIVER ANALYSIS								
City Regulations			Application Request			Justification/ Comment	Allowance	
Code Section	Standard	Density Allowed	Density Bonus	Concession	Waiver		State Law Section	City Code
<i>Density Bonus - Concessions and Waivers (HBX-4 Zone)</i>								
17.107.010	Dwelling Units (du)	74 du (lot area: 58,427-sf) (800-sf per unit)	N/A	N/A	N/A	Meets Planning Code.	N/A	17.65.060
<i>Density Bonus - Concessions and Waivers (CIX-1B Zone)</i>								
17.107.010	N/A	N/A	367 du (lot area divided by average unit size) 238,258 / 650= 367 du (total allowed)	Two • convert FAR to residential density in CIX Zone • reduce parking by 59 spaces	Two • extend 50 feet residential use in the CIX Zone • increase height from 55 ft. to 60 ft.	Meets Planning Code	Governmental Code Section 65915(d)(1)(2)(B)	17.107.040 (C)

Building Design-New Construction

The mixed-use residential and office facility in Phase 1 of the project is a modular two- and three-story building design with a large recessed entry, medium size windows and a variety of building materials and colors. The building includes some articulation to help break up mass along the frontage of the

property on Pine Street. New low planters and medium size street trees are also proposed around the property. The building in Phase 1 can be improved by making the entry more to scale and articulating the facades, including the roof planes, to relate to the character of the residential properties in the immediate area. Staff has included conditions of approval requiring review by the Design Review Committee following entitlement to ensure adequate design of Phase 1.

Accelerated Schedule & Design Review Committee Review

Accelerated Schedule

As noted in this staff report, the applicant is applying for affordable housing grant funds from the Alameda County Measure A-1 to finance the project for the development of affordable residential units. To qualify for the funds, the project needs to secure land-use entitlements by the end of 2018. To meet this funding deadline, the applicant has requested an accelerated City entitlement schedule and bypass of the Design Review Committee review. The applicant indicated that it is not their intent to avoid design review, but must meet the submittal deadline of land-use entitlements to qualify for the funds. Staff has worked with the applicant to improve the design of Phase 1, and has recommended Conditions for the FDP in Phase 1 to be reviewed by the DRC after the project is approved by the Planning Commission. The City is in a housing and homeless crisis. This project addresses the City's priority to support our community, particularly our most vulnerable members. With this in mind, staff supports an expedited review process to enable the funding to make this specific project feasible.

Design Review Committee Review

The applicant is applying for affordable housing grant funds from the Alameda County Measure A-1 to help finance the development of the proposed 101 supportive and affordable residential units (Parcel 1). To qualify for the funds, the applicant states that land-use entitlements need to be secured by the end of 2018, and has requested expedited review. To prioritize affordable housing for the City's homeless population, staff recommends the Planning Commission approve the PUD and Phase 1 FDP with a condition that Phase 1 be referred to DRC for final design review.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

A CEQA Analysis was prepared for this project which concludes that the proposed project satisfies each of the following CEQA Guidelines: (A) 15183 - Projects Consistent with a Community Plan, General Plan, or Zoning; (B) 15183.3 - Streamlining for Infill Projects; (C) 15164 - Addendum to EIRs; and (D) 15168 - Program EIRs. Each of the foregoing provides a separate and independent basis for CEQA compliance. The CEQA Analysis document was published and made publicly available on Friday, November 30, 2018 and separately provided to the Planning Commission. The CEQA Analysis document for The Phoenix Project at 801 Pine Street can be reviewed at the Bureau of Planning offices, located at 250 Frank Ogawa Plaza, 2nd Floor or online at the following link here:

<http://www2.oaklandnet.com/government/o/PBN/OurServices/Application/DOWD009157>
(Current Environmental Review Documents #78)

The CEQA analysis also relies upon the LUTE (Land Use Transportation Element), EIR which can be viewed at the following links here:

<http://www2.oaklandnet.com/government/o/PBN/OurServices/Application/DOWD009158>
(LUTE / Item #1)

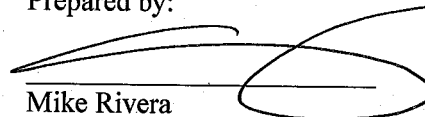
CONCLUSION

The proposal would provide new residential and light industrial facilities on a vacant, contaminated site in West Oakland. The project includes affordable and supportive housing that will provide much needed housing for the homeless population and for very low-income households. The addition of a market-rate residential housing and light-industrial facility would be compatible with the existing uses that are mostly residential and some industrial facilities. The proposal is an appropriate mixed-use development for this underutilized vacant site, and will improve the property with remediation, and a more sensitive development that minimize conflict between residential and industrial and freeway uses.

RECOMMENDATIONS

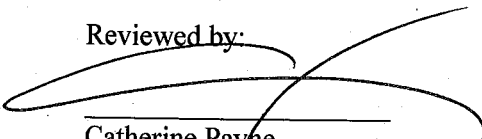
1. Affirm staff's Environmental Determination and adopt the attached CEQA Findings; and
2. Approve the Project, including Conditional Use Permit, PUD, FDP for Phase 1, Tentative Parcel Map, Regular Design Review, subject to the attached findings and conditions (including the SCAMMRP).

Prepared by:

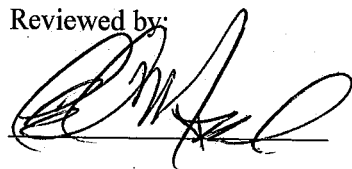

Mike Rivera
Planner II, Development Planning
Bureau of Planning

FOR

Reviewed by:


Catherine Payne
Acting Development Planning Manager
Bureau of Planning

Reviewed by:


Ed Manasse, Interim Deputy Director
Bureau of Planning

ATTACHMENTS

- A. Project Findings and CEQA Findings
- B. Conditions of Approval
- C. Standard Conditions of Approval Mitigation Monitoring & Reporting Program (SCAMMRP)
- D. Revised Design Plans, dated December 13, 2018

The CEQA document is provided under a separate cover, and online at or online at <http://www2.oaklandnet.com/government/o/PBN/OurServices/Application/DOWD009157>
(*The Phoenix CEQA Analysis / Item # 78*)

ATTACHMENT A

Findings for Approval

The findings required for granting approval for this application for Conditional Use Permit, Regular Design Review, Tentative Parcel Map are shown in normal type, and the reasons for satisfying these findings are shown in **bold**. (Note: The Project's conformance with the following findings is not limited to the discussion below, but is also included in all discussions in this report and elsewhere in the record):

SECTION 17.134.050- GENERAL CONDITIONAL USE PERMIT (CUP)

Major CUP for the expansion of residential uses 150 feet from the HBX to the CIX Zone.

- A. That the location, size, design and operating characteristics of the proposed development will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to harmony in scale, bulk, coverage, and density; to the availability of civic facilities and utilities; to harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity of surrounding streets; and to any other relevant impact of the development.

The proposal to expand 150 feet of residential uses from the HBX-4 into the CIX-1B Zone will be in relation and character with the uses permitted in the HBX-4 Zone, and with the existing residential uses near and around Pine Street. The CIX-1B Zone does not allow residential uses, but the expansion of use is permitted upon the granting of a Conditional Use Permit; and will be consistent with development standards and improve the character of the underutilized vacant property.

Further, the project is in a neighborhood that is primarily residential. The project would improve the neighborhood character of West Oakland because it will serve to provide supportive housing to a significant number of homeless individuals and families who would otherwise be living on the street and in public places or existing homeless encampments in the area.

The buildings also are oriented so that the five-story buildings are located closer to the western, rear portion of the property and gradually transition to one to two-story buildings near Pine and Storey Street to respect the existing lower profile Victorian homes on Pine Street.

The one-story light industrial "maker" building is located along 9th Street where it is consistent with, but less intense than, the adjacent Trapeze Arts warehouses and California Waste Solutions one block away. The project will also improve the character of the neighborhood by cleaning up a contaminated, vacant, and underutilized parcel.

- B. That the location, design, and site planning of the proposed development will provide a convenient and functional living, working, shopping, or civic environment, and will be as attractive as the nature of the use and its location and setting warrant.

The expansion of residential uses from the HBX-4 to the CIX-1B Zone will be convenient to resident and employees because the residential and administrative facilities will have direct access to and from the streets, open space, parking lot and public transit.

The location, design and site planning responds to the character of the surrounding neighborhood by providing light industrial maker space close to other industrial and commercial facilities, while buffering the residential portion of the project from these industrial and commercial uses.

- C. That the proposed development will enhance the successful operation of the surrounding area in its basic community functions, or will provide as essential service to the community or region.

The expansion of the residential uses will be consistent with the character of the surrounding area, which is mostly residential. The proposal will create new residential facilities, thus creating opportunities to provide housing to the City's homeless population and low income residents. The project will also serve to create much needed light industrial maker space that will buffer both the project's and area's residential uses from more intense industrial and commercial uses north of the project. Supportive and affordable housing, market rate housing, and light industrial maker facilities are all uses that are contemplated and encouraged in the West Oakland Specific Plan (WOSP), and in demand for the area in general.

- D. That the proposal conforms to all applicable regular design review criteria set forth in the regular design review procedures at Section 17.136.050.

The proposed development in Phase 1 meets the Design Review Findings listed below in this report which are hereby incorporated by reference as if fully set forth herein. These findings can be met with staff's recommended Conditions. The applicant will be required, per the Conditions of Approval, to obtain Design Review Committee approval, subject to required findings, prior to obtaining a building permit for each Phase of development. The Design Review Committee will apply the Design Review criteria and also make the Design Review Findings under the West Oakland Specific Plan (WOSP) and other applicable findings as required.

- E. That the proposal conforms in all significant respects with the Oakland General Plan and with any other applicable guidelines or criteria, district plan or development control map which has been adopted by the Planning Commission or City Council.

The proposal is consistent with the General Plan because the extension of residential uses from the Housing and Business Mix into the Business Mix classification would be compatible with the surrounding neighborhood, where many properties are residential and some industrial. Further, Planning Code Section 17.102.110, allowing for the Expansion of Use, was in effect prior to the General Plan and West Oakland Specific Plan (WOSP). Thus, the Planning Commission may find that such expansion was contemplated when the General Plan and WOSP were adopted.

17.102.110 - EXPANSION OF USE INTO ADJACENT ZONE.

A. A conditional use permit for such a use may be granted only upon determination that the proposal conforms to the general use permit criteria set forth in the conditional use permit procedure in Chapter 17.134 and the following additional use permit criteria:

1. That the location, size, design, and other characteristics of the entire use as proposed will substantially improve or provide superior environmental relationships among all uses in the immediate vicinity.

The proposal would develop and improve the vacant, contaminated site with residential and light industrial maker facilities that will be compatible with the surrounding properties. The project would be more environmental friendly and contribute to the construction of affordable and supportive housing.

The buildings are also oriented so that the five-story buildings are located closer to the western, rear portion of the property and gradually transition to one to two-story buildings near Pine and Shorey Streets to respect the existing lower profile Victorian homes on Pine Street.

The one-story light industrial "maker" building is located along 9th Street where it is consistent with the adjacent Trapeze Arts warehouses and California Waste Solutions one block away. The project will also improve the character of the neighborhood by cleaning up a contaminated, vacant, and underutilized parcel.

2. That the design and site planning of all buildings, open areas, parking, service areas, paths, stairways, accessways, corridors, and balconies will be so designed as to not adversely affect the privacy, safety, or environmental amenities of adjacent properties.

The development will be built in different phases. Phase 1 is for the construction of the supportive and affordable housing, administrative office, and shared access driveway. The other development phases will be reviewed by the Design Review Committee after formal Planning applications are submitted by the applicant. Phase 1 has moderate building mass and height, but more modifications will be needed through the Design Review Committee approval process.

The applicant will be required, per the Conditions of Approval, to obtain Design Review Committee approval prior to obtaining a building permit for each Phase of development. The Design Review Committee will apply the Design Review criteria and also make the Design Review Findings under the West Oakland Specific Plan (WOSP) and other applicable findings as required.

3. That within the expansion area every reasonable effort will be undertaken to preserve natural grades, topographic features, watercourses, and significant landscape features.

The project site does not contain any significant topographic features or landscaping.

B. The following standards shall apply:

1. Such uses shall be allowed only when they constitute an expansion of or are a part of an existing or proposed activity or facility which is located in or partially located in the adjacent zone, and is permitted or conditionally permitted therein. Such uses shall be allowed only on a lot, or one of a series of lots under one (1) ownership, directly contiguous to the lot in the adjacent zone, with no intervening streets.

The proposal will extend the residential facilities that are permitted in the HBX Zone into the CIX zone. The properties are in one ownership, and no intervening streets exist.

2. Maximum Distance from Zone Boundary. Such uses shall not extend more than one hundred fifty (150) feet into the zone, as measured perpendicularly from the zone boundary at any point.

State Density Bonus law allows the applicant to thirty-five percent (35%) density bonus above the maximum allowable residential density under the City's General Plan and Planning Code standards. (Gov't Code § 65915(f).) Since this project is proposing approximately 101 units of supportive and affordable housing, the applicant is entitled to the 35% density bonus as well as two waivers and two concessions. The applicant proposes a concession from the 150 feet expansion of use to convert FAR with density. The Density Bonus also would allow the applicant to request for an additional 50 feet beyond the 150 feet allowed under Planning Code Section 17.102.110, Expansion of Use.

3. Height. Within the area of the allowed expansion, the maximum height of any building or facility shall not exceed the maximum height permitted on abutting lots.

The proposal includes a mix of two-story to five-story buildings that measure up to 60 feet high. These five-story buildings are located approximately 45 feet to 50 feet from Pine Street. The project site is not abutting any lots with buildings whose height is lower than the proposed 60 feet.

4. Increased Yard Areas. The minimum yard depth or width, as the case may be, for buildings within the expansion area shall be no less than one hundred fifty percent (150%) of the yard depth or width, if any, required for uses on those properties abutting the expansion area.

There are no minimum yard depth required for buildings in the expansion area.

5. Screening and Buffering. The exterior perimeter of the expansion area shall be provided with screening and buffering devices including, but not limited to, established trees.

The project proposal includes street trees on the sides of the expansion area along Shorey Street and 9th Street. The project also serves to create a light industrial maker facility buffer between the project's residential uses and more intense industrial and commercial uses to the north of the project site. The project applicant will also construct road, street, and site improvements per the Conditions of Approval, which will serve to soften the effect of the project and improve the visual appeal of the property.

6. Maximum Density. The number of living units on any lot or series of lots involved in the expansion of use shall be calculated separately on the basis of the amount of lot area and the density ratio applying in each of the affected zones. The maximum number of living units allowed in the proposed development shall not exceed the accumulative total resulting from adding the density calculations for each of the lot areas and zones involved in the expansion.

The project site contains two different zoning districts and the density within the expansion of use was calculated for each of the respective zones, including the area where the FAR was converted into residential density under the density bonus regulations. When taking into account the applicant's entitled Density Bonus under state law, the applicant does not exceed the accumulative total resulting from adding the density calculations for each zone.

SECTION 17.136.050 (B) - DESIGN REVIEW CRITERIA / Non-Residential Facilities

1. That the proposal will help achieve or maintain a group of facilities which are well related to one another and which, when taken together, will result in a well composed design, with consideration given to site, landscape, bulk, height, arrangement, texture, materials, colors, and appurtenances; the relation of these factors to other facilities in the vicinity; and the relation of the proposal to the total setting as seen from key points in the surrounding area. Only elements of design which have some significant relationship to outside appearance shall be considered, except as otherwise provided in Section 17.136.060.

Phase 1 of the project includes a two-story administrative office building that is related to the three-story supportive and affordable housing facility. The two-story office is at the corner of Pine and Shorey Streets and has a tall entry with a circular opened canopy above. The building has a flat roof, and uses at least three different materials and has subtle colors. The entry of the office building can be scaled and include some design features that would emphasize the variety of building styles along Pine and 8th Streets. Also, the windows can be recessed to provide more depth and articulation on the facades. The height and orientation of the residential buildings are sensitive to the fact that traditional Victorian low profile homes exist across Pine Street. The residential buildings near the corner of Pine and Shorey Streets are lower profile to relate with the Victorian homes and the administrative office building.

The applicant will be required, per the Conditions of Approval, to obtain Design Review Committee approval prior to obtaining a building permit for each Phase of development. The Design Review Committee will apply the Design Review criteria and also make the Design Review Findings under the West Oakland Specific Plan (WOSP) and other applicable findings as required. As noted in the staff report, these modifications can be met with the recommended Conditions of Approval. See Condition of Approval # 15.

2. That the proposed design will be of a quality and character which harmonizes with, and serves to protect the value of, private and public investments in the area.

The proposed office building appears boxy, but contains a recessed entry with glazing to emphasize the corner. The entry can be modified to provide scale with the existing buildings, and recommends improvements in the Conditions of Approval.

The applicant will be required, per Condition of Approval, to obtain Design Review Committee approval prior to obtaining a building permit for each Phase of development. The Design Review Committee will apply the Design Review criteria and also make the Design Review Findings under the West Oakland Specific Plan (WOSP) and other applicable findings as required. See Condition of Approval #15.

3. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

The project design conforms to the General Plan and West Oakland Specific Plan (WOSP) as set forth above if modifications are made to meet the design criteria of the West Oakland Specific Plan. Further, the applicant will be required, per Condition of Approval, to obtain Design Review Committee approval prior to obtaining a building permit for each Phase of development. The Design Review Committee will apply the Design Review criteria and also make the Design Review Findings under the West Oakland Specific Plan (WOSP) and other applicable findings as required.

SECTION 17.136.050- DESIGN REVIEW CRITERIA

A. For Residential Facilities.

1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures.

Phase 1 contains an L-shaped three-story and four-story residential facility that is adjacent to the proposed two-story office building. The residential building appears boxy, but contains different size of windows, materials and subtle colors. However, the east side of the three-story building facing Pine Street needs some improvements. Staff recommends a Condition of Approval for articulation of the building walls and/or implementation of design features to create visual interest.

Further, the applicant will be required, per Condition of Approval, to obtain Design Review Committee approval prior to obtaining a building permit for each Phase of development. The Design Review Committee will apply the Design Review criteria and also make the Design Review Findings under the West Oakland Specific Plan (WOSP) and other applicable findings as required. See Condition of Approval #15.

2. That the proposed design will protect, preserve, or enhance desirable neighborhood characteristics.

The proposed residential building will enhance the character of the established neighborhood that has a variety of building styles. The portion of the residential building is three-story high and measures approximately 45 feet. The proposal needs massing relief on the building facade facing Pine Street, and recommends a Condition of Approval that further development is made to reduce building scale.

Further, the applicant will be required, per Condition of Approval to obtain Design Review Committee approval prior to obtaining a building permit for each Phase of development. The Design Review Committee will apply the Design Review criteria and also make the Design Review Findings under the West Oakland Specific Plan (WOSP) and other applicable findings as required. See Condition of Approval #15.

3. That the proposed design will be sensitive to the topography and landscape.

The development site has a partial paved surface and new additional street trees and a mix of landscaping will be planted around property. Currently, the project site is a vacant, underutilized and contaminated site. By contrast, the project will develop the property and facilitate the installation of landscaping, sidewalk, and road improvements in and around the

property, which will be a tremendous improvement as compared to current property conditions.

4. That, if situated on a hill, the design and massing of the proposed building relates to the grade of the hill.

The site is not situated on a hill or on a hillside property hillside property.

5. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

As discussed in this report, the proposal conforms with the West Oakland Specific Plan (WOSP) and recommends further building modifications to meet the design criteria of the West Oakland Specific Plan pursuant to the Plan.

The Subdivision Findings required for granting approval for this application are (shown in **bold**) found in Sections 16.24.040 and 16.08.030 of the Oakland Subdivision Regulations. The following are the reasons your proposal satisfy these findings:

SECTION 16.24.040- LOT DESIGN STANDARDS

- A. No lot shall be created without frontage on a public street, as defined by Section 16.04.030, except:
1. Lots created in conjunction with approved private easements.
 2. A single lot with frontage on a public street by means of a vehicular access corridor provided that in all cases the corridor shall have a minimum width of twenty (20) feet and shall not exceed three hundred (300) feet in length. Provided further, the corridor shall be a portion of the lot it serves, except that its area (square footage) shall not be included in computing the minimum lot area requirements of the zoning district.

The proposal to subdivide a parcel into four new parcels with a shared-access easement will have street frontage on public streets.

- B. The side lines of lots shall run at right angles or radially to the street upon which the lot fronts, except where impractical by reason of unusual topography.

The four proposed new parcels will provide side lot lines that are at right angles to the frontage of Pine Street.

- C. All applicable requirements of the zoning regulations shall be met.

The proposal will result with four new parcels for the development of three residential parcels and one that will contain a light industrial facility. State Density Bonus law permits certain concessions and waivers to relax the zoning standards for the purpose of creating a well-integrated development. Based on the criteria described in the body of the staff report, the applicable requirements can be met.

- D. Lots shall be equal or larger in measure than the prevalent size of existing lots in the surrounding area except:
1. Where the area is still considered acreage.

2. Where a deliberate change in the character of the area has been initiated by the adoption of a specific plan, a change in zone, a development control map, or a planned unit development.

The four-lot subdivision will result in new parcel sizes that are much larger than most of the existing parcels in the immediate area.

E. Lots shall be designed in a manner to preserve and enhance natural out-croppings of rock, specimen trees or group of trees, creeks or other amenities.

The property does not contain natural amenities such as out-croppings of rock, or a significant group of trees or creeks that will be affected within the proposed four-parcel subdivision.

SECTION 16.08.030 – TENTATIVE MAP FINDINGS (Pursuant to California Government Code Section 66474, Chapter 4 of the Subdivision Map Act).

The Advisory Agency shall deny approval of a tentative map, or a parcel map for which a tentative map was not required, if it makes any of the following findings:

A. The proposed map is consistent with the applicable general and specific plans as specified in the State Government Code Section 65451.

The subdivision proposal is consistent with the General Plan and West Oakland Specific Plan (WOSP) because the extension of the residential uses from the Housing and Business Mix into the Business Mix classification would be consistent with the zoning that pre-existed both plans, as well as with the and the character of the primarily residential neighborhood.

B. That the design or improvement of the proposed subdivision is consistent with applicable general and specific plans.

The design of the four-parcel subdivision is consistent with the General Plan and West Oakland Specific Plan (WOSP) because the residential and light industrial facilities would be compatible with the pre-existing, neighboring uses and applicable policies. The proposal will also make street improvements with new sidewalks, street trees and other required public services.

C. That the site is physically suitable for the type of development.

The subdivision proposal will be suitable and provide for the development of mixed-use residential and light industrial facilities. These facilities are thoughtfully oriented on the project site so that they are compatible with preexisting neighboring uses. The residential buildings will require further Design Review per the West Oakland Specific Plan (WOSP) to ensure that the buildings are consistent in design with the existing Victorian homes on Pine Street and elsewhere in West Oakland. The light industrial maker building is oriented so that it serves to screen the more intense industrial and commercial uses to the north from the residential buildings, providing a lighter industrial/arts use near residences for employment opportunity. The project will also contain available infrastructure such as utilities, and vehicular and pedestrian access from the existing streets.

D. That the site is physically suitable for the proposed density of development.

The proposal is physically suitable for the requested residential density under the Density Bonus

law, where increases in the overall density can be applied and justified given the area's need for supportive and affordable housing. The ingress and egress from the property will require approval from the City's Departments of Transportation and Fire to ensure safe ingress and egress to and from the property.

- E. That the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The subdivision proposal or improvements for development will not cause significant environmental damage because there are no fish or other wildlife within the property. The property is currently a vacant, underutilized and contaminated urban/infill property. The applicant is proposing to clean up the property and use it for much needed housing across a broad spectrum of income levels, as well as to provide a large light industrial maker facility for West Oakland arts, manufacturing, and/or maker businesses.

- F. That the design of the subdivision or type of improvements is not likely to cause serious public health problems.

The project sponsor will be required to do a remediation action plan to clean up the site to a standard level suitable for future development. Also, the project is proposing to build approximately 50 supportive housing units for the homeless. This will help to provide housing and support for homeless people and families who would otherwise be living on the streets in West Oakland. Thus, the project will result in a dramatic improvement to the public health condition in West Oakland.

- G. That the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. In this connection, the governing body may approve a map if it finds that alternate easements, for access or for use, will be provided, and that these will be substantially equivalent to ones previously acquired by the public. (This subsection shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision).

The subdivision proposal will not conflict with any public right-of-way or easements because plans provided by the applicant do not show any conflicts, and the project development, including the Shared Access Driveway, is all proposed to be built within the private property. The proposal will also be subject for review by the City Surveyor and City Engineer to confirm that the subdivision map meets all regulations and conditions prior to approval of the final Parcel Map.

- H. That the design of the subdivision provides to the extent feasible, for future passive or natural heating or cooling opportunities in the subdivision.

The subdivision proposal for the development of a mixed-use residential and light-industrial facility will be subject to meet Building code regulation for required natural heating or cooling.

USE PERMIT for SHARED-ACCESS FACILITIES

- A. Use Permit Required. A shared access facility shall be allowed only upon the granting of a conditional use permit pursuant to the conditional use permit procedure in Chapter 17.134.

The application development includes a Minor Conditional Use Permit pursuant to Section 17.134. See findings above.

- B. Use Permit Criteria. A conditional use permit under this section may be granted only upon determination that the proposal conforms to the general use permit criteria set forth in the conditional use permit procedure in Chapter 17.134 and to all of the following additional use permit criteria:

1. Compliance with Guidelines. Each shared access facility proposal shall be in compliance with the City Planning Commission guidelines for development and evaluation of shared-access facilities.

The project proposal includes a private shared-access facility (driveway) that provides adequate width for maneuverability for both emergency and non-emergency vehicles, and is therefore consistent with the guidelines for development and evaluation of shared-access facilities.

2. Public Safety. The width of a shared-access facility shall be adequate to ensure unimpeded emergency and nonemergency ingress and egress at all times. Additionally, the shared-access facility shall conform to city standards for roadway layout and design.

The project proposes at least a 24-foot wide shared-access facility (driveway) that is adequate for emergency/nonemergency ingress and egress. The shared-driveway will conform to the City standards for private access easement.

3. Aesthetics. A shared access facility shall be designed to provide the environmentally superior alternative to other approaches for the development of the property and shall be designed to be visually compatible with its surroundings, as set forth in the City Planning Commission guidelines; necessary retaining walls shall not be of excessive height and shall not be visibly obtrusive, as such are defined in the City Planning Commission guidelines.

The shared-access facility (driveway) is on a flat surface, and does not require retaining walls. The driveway will include new landscaping such as trees and bioswale systems to provide shade and minimize the impacts of stormwater run-off.

4. On-Going Owner Responsibility. Applicants for a shared-access facility shall submit, for approval, an agreement for access facility maintenance, parking restrictions, and landscape maintenance. Upon staff approval, the proposed agreement shall be recorded by the applicant within thirty (30) days with the Alameda County Recorder. In addition, applicants for a shared-access facility shall provide documentation of continuing liability insurance coverage. Documentation of insurance coverage shall include the written undertaking of each insurer to give the city thirty (30) days' prior written notice of cancellation, termination, or material change of such insurance coverage.

As a condition of approval, the applicant is required to prepare a maintenance agreement for the proposed development, and submit it to the Planning Department for review and approval prior to issuance of a certificate of occupancy for the first unit.

5. Certification. Prior to construction, applicants for a shared-access facility shall retain a California registered professional civil engineer to certify, upon completion, that the access facility was constructed in accordance with the approved plans and construction standards. This requirement may be modified or waived at the discretion of the Director of Public Works, based on the topography or geotechnical considerations. An applicant may also be required to show assurance of performance bonding for grading and other associated improvements. In addition, prior to the installation of landscaping, an applicant shall retain a landscape architect or other qualified individual to certify, upon completion, that landscaping was installed in accordance with the approved landscape plan.

Staff has added conditions of approval to this report for the project to meet the above criteria.

CEQA COMPLIANCE FINDINGS

- I. Introduction: These findings are made pursuant to the California Environmental Quality Act (Public Resources Code section 21000 et seq.; "CEQA") and the CEQA Guidelines (Cal. Code Regs. title 14, section 15000 et seq.; "CEQA Guidelines") by the Planning Commission in connection with the environmental analysis of the effects of implementation of the Phoenix-Mixed Use project, as more fully described elsewhere in this Staff Report and in the City of Oakland ("City") CEQA Analysis document entitled "The Phoenix Project-CEQA Analysis" dated November 2018 ("CEQA Analysis") (the "Project"). The City is the lead agency for purposes of compliance with the requirements of CEQA. These CEQA findings are attached and incorporated by reference into each and every decision associated with approval of the Project and are based on substantial evidence in the entire administrative record.
- II. Applicability/Adoption of Previous CEQA Documents
- A. Adoption of General Plan Land Use and Transportation Element (LUTE) and Certification of 1998 LUTE EIR: The City finds and determines that (a) the Oakland City Council on March 24, 1998 adopted Resolution No. 74129 C.M.S. which adopted the General Plan Land Use and Transportation Element, made appropriate CEQA findings, including certification of the 1998 LUTE Environmental Impact Report ("EIR"); and (b) the LUTE satisfies the description of "Community Plan" set out in Public Resources Code section 21083.3(e) and in CEQA Guidelines section 15183, as well the description of "Planning Level Document" set out in Public Resources Code section 21094.5 and in CEQA Guidelines section 15183.3. The City Council, in adopting the LUTE following a public hearing, approved applicable mitigation measures which are largely the same as those identified in the other Program EIRs prepared after the 1998 LUTE EIR, either as mitigation measures or as a part of newer Standard Conditions of Approval ("SCAs") which constitute uniformly applied development policies or standards (together with other City development regulations) and determined that the mitigation measures set out in the 1998 LUTE EIR, would substantially mitigate the impacts of the LUTE and future projects thereunder. While approved after certification of the 1998 LUTE EIR, growth and potential effects of the development of the Project would have been considered in the cumulative growth projections factored into the LUTE EIR analysis.
- III. CEQA Analysis Document: The CEQA Analysis and all of its findings, determinations and information is hereby incorporated by reference as if fully set forth herein. The CEQA Analysis

concluded that the Project satisfies each of the following CEQA provisions, qualifying the Project for four separate CEQA statutory exemptions as summarized below and provides substantial evidence to support the following findings.

The City hereby finds that, as set forth below and as part of the CEQA Analysis, the Project is exempt from any additional CEQA Analysis under the "Community Plan Exemption" of Public Resources Code section 21083.3 (CEQA Guidelines §15183) and/or the "Qualified Infill Exemption" under Public Resources section 21094.5 (CEQA Guidelines §15183.3), thus no additional environmental analysis beyond the CEQA Analysis is necessary. The specific statutory exemptions and the categorical exemption are discussed below in more detail.

- A. Community Plan Exemption; Public Resources Code Section 21083.3 (CEQA Guidelines §15183): The City finds and determines that, for the reasons set out below and in the CEQA Analysis, the Community Plan Exemption applies to the Project. Therefore, no further environmental analysis is required because all of the Project's effects on the environment were adequately analyzed and mitigation measures provided in the 1998 LUTE EIR for the overall project (collectively called "Previous CEQA Documents"); there are no significant effects on the environment which are peculiar to the Project or to the parcel upon which it is located not addressed and mitigated in the Previous CEQA Documents; and there is no new information showing that any of the effects shall be more significant than described in the Previous CEQA Documents.

As set out in detail in the attached CEQA Analysis, the City finds that, pursuant to CEQA Guidelines section 15183 and Public Resources Code section 21083.3, the Project is consistent with the development density analyzed in the Previous CEQA Documents and that there are no environmental effects of the Project peculiar to the Project or the Project Site which were not analyzed as significant effects in the Previous CEQA Documents, nor are there potentially significant off-site impacts and cumulative impacts not discussed in the Previous CEQA Documents; nor are any of the previously identified significant effects which, as a result of substantial information not known at the time of certification of the Previous CEQA Documents, are now determined to present a more severe adverse impact than discussed in the Previous CEQA Documents. As such, no further analysis of the environmental effects of the Project is required.

- B. Qualified Infill Exemption; Public Resources Code Section 21094.5 (CEQA Guidelines §15183.3): The City finds and determines that, for the reasons set forth below and in the CEQA Analysis, a Qualified Infill Exemption applies to the Project and no further environmental analysis is required since all the Project's effects on the environment were adequately analyzed and mitigation measures provided in the Previous CEQA Documents; the Project will cause no new specific effects not addressed in the Previous CEQA Documents that are specific to the Project or the Project Site; and there is no substantial new information showing that the adverse environmental effects of the Project are more significant than described in the Previous CEQA Documents.

The City finds that, pursuant to CEQA Guidelines section 15183.3, the CEQA Analysis contains in Attachment A, a written analysis consistent with Appendix M to the CEQA Guidelines examining whether the Project will cause any effects that require additional review under CEQA. The contents of Attachment A documents that the Project is located in an urban area satisfying the requirements of CEQA Guidelines section 15183.3 and satisfies the applicable performance standards set forth in Appendix M to the CEQA Guidelines. It also explains how the effects of the Project were analyzed in the Previous CEQA Documents; and indicates that the Project incorporates all applicable mitigation measures and SCAs from the Previous CEQA Documents. Attachment A also determines that the Project will cause no new specific effects not analyzed in

the Previous CEQA Documents; determines that there is no substantial new information showing that the adverse environmental effects of the Project are more significant than described in the Previous CEQA Documents, determines that the Project will not cause new specific effects or more significant effects, and documents how uniformly applicable development policies or standards (including, without limitation, the SCAs) will mitigate environmental effects of the Project. Based upon the CEQA Analysis and other substantial evidence in the record, the City finds and determines that no further environmental analysis of the effects of the Project is required.

- C. Program EIR (CEQA Guideline §15168): The City finds and determines that for the reasons set forth below and in the CEQA Analysis, that the 1998 LUTE EIR and 2014 West Oakland Specific Plan (WOSP) EIRs apply to the Project and no further environmental analysis is required since all the Project's effects on the environment were adequately analyzed and covered and mitigation measures provided in the 2014 WOSP EIR; the Project will cause no new specific effects not addressed in the 2014 WOSP EIR that are specific to the Project or the Project Site; and there is no substantial new information showing that the adverse environmental effects of the Project are more significant than described in the 2014 WOSP EIR. Therefore, no further review or analysis under CEQA is required.
- D. CEQA Analysis-Addendum; Public Resources Code Section 21166 (CEQA Guideline §15164): The City finds and determines that the CEQA Analysis constitutes an Addendum to the 2014 WOSP (West Oakland Specific Plan) EIR and that no additional environmental analysis of the Project beyond that contained in the 2014 EIR is necessary. The City further finds that no substantial changes are proposed in the Project that would require major revisions to the 2014 EIR because of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; no substantial changes occur with respect to the circumstances under which the Project will be undertaken which will require major revisions of the 2014 EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and there is no new information of substantial importance not known and which could not have been known with the exercise of reasonable diligence as of the time of certification of the 2014 EIR showing that the Project will have one or more significant effects not discussed in the 2014 EIR; significant effects previously examined will be substantially more severe than shown in the 2014 EIR, mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project; or mitigation measures or alternatives which are considerably different from those analyzed in the 2014 EIR would substantially reduce one or more significant effects on the environment.

Based on these findings and determinations, the City further finds that no Subsequent or Supplemental EIR or additional environmental analysis shall be required because of the Project. The City has considered the CEQA Analysis along with the 2014 EIR prior to making its decision on the Project and a discussion is set out in the CEQA Analysis explaining the City's decision not to prepare a Subsequent or Supplemental EIR pursuant to Guidelines sections 15162 and/or 15163.

- IV. Severability: The City finds that all four CEQA provisions discussed and determined to be applicable in Section III above are separately and independently applicable to the consideration of the Project and should any of the four be determined not to be so applicable, such determinations shall have no effect on the validity of these findings and the approval of the Project on any of the other grounds.

- V. Incorporation by Reference of Statement of Overriding Considerations: Each of the Previous CEQA Documents identified significant and unavoidable impacts.¹ The 1998 LUTE EIR identified six areas of environmental effects of the LUTE that presented significant and unavoidable impacts. Because the Project may contribute to some significant and unavoidable impacts identified in the Previous CEQA Documents identified above, but a Subsequent and/or Supplemental EIR is not required in accordance with CEQA Guidelines sections 15162, 15163, 15164, 15168, 15180, 15183 and 15183.3, a Statement of Overriding Considerations is not legally required. Nevertheless, in the interest of being conservative, the Statements of Overriding Consideration for the 1998 LUTE EIR, adopted by the City Council on March 24, 1998, via Resolution No. 74129 C.M.S via Resolution No. 2003-69 C.M.S are all hereby incorporated by reference as if fully set forth herein.

¹ If these or any other findings inaccurately identify or fail to list a significant and unavoidable impact identified in the analysis, findings and conclusions of the 1988 LUTE EIR or the Redevelopment Plan Amendments EIR or their administrative records as a whole, the identification of that impact and any mitigation measure or SCA required to be implemented as part of the Project is not affected.

ATTACHMENT B

CONDITIONS OF APPROVAL

1. Approved Use

The project shall be constructed and operated in accordance with the authorized use as described in the approved application materials, and staff report dated, December 19, 2018, and the approved plans, dated received December 13, 2018, as amended by the following conditions of approval and mitigation measures, if applicable (“Conditions of Approval” or “Conditions”).

2. Effective Date, Expiration, Extensions and Extinguishment

This Approval shall become effective immediately, unless the Approval is appealable, in which case the Approval shall become effective in ten (10) calendar days unless an appeal is filed. Unless a different termination date is prescribed, this Approval shall expire two years from the Approval date, or from the date of the final decision in the event of an appeal, unless within such period a complete building permit application has been filed with the Bureau of Building and diligently pursued towards completion, or the authorized activities have commenced in the case of a permit not involving construction or alteration. This approval is subject to a phasing plan that includes five phases (noted on the plans as “Parcel 1 (which includes entire site remediation and all public on- and off-site infrastructure improvements”, “Future Building A”, “Future Building B”, “Future Building C” and “Future Maker Space”), each subject to approval of a Final Development Permit. An application for a Final Development Permit for each subsequent phase shall be submitted and deemed complete within two years of the deemed complete date for the previous phase Final Development Permit. In any case, the last Final Development Permit application shall be submitted to the City of Oakland and deemed complete within ten years of this approval. Upon written request and payment of appropriate fees submitted no later than the expiration date of this Approval, the Director of City Planning or designee may grant a one-year extension of this date, with additional extensions subject to approval by the approving body. Expiration of any necessary building permit or other construction-related permit for this project may invalidate this Approval if said Approval has also expired. If litigation is filed challenging this Approval, or its implementation, then the time period stated above for obtaining necessary permits for construction or alteration and/or commencement of authorized activities is automatically extended for the duration of the litigation.

3. Compliance with Other Requirements

The project applicant shall comply with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to those imposed by the City’s Bureau of Building, Fire Marshal, Department of Transportation, and Public Works Department. Compliance with other applicable requirements may require changes to the approved use and/or plans. These changes shall be processed in accordance with the procedures contained in Condition #4.

4. Minor and Major Changes

- a. Minor changes to the approved project, plans, Conditions, facilities, or use may be approved administratively by the Director of City Planning.

- b. Major changes to the approved project, plans, Conditions, facilities, or use shall be reviewed by the Director of City Planning to determine whether such changes require submittal and approval of a revision to the Approval by the original approving body or a new independent permit/approval. Major revisions shall be reviewed in accordance with the procedures required for the original permit/approval. A new independent permit/approval shall be reviewed in accordance with the procedures required for the new permit/approval.

5. Compliance with Conditions of Approval

- a. The project applicant and property owner, including successors, (collectively referred to hereafter as the “project applicant” or “applicant”) shall be responsible for compliance with all the Conditions of Approval and any recommendations contained in any submitted and approved technical report at his/her sole cost and expense, subject to review and approval by the City of Oakland.
- b. The City of Oakland reserves the right at any time during construction to require certification by a licensed professional at the project applicant’s expense that the as-built project conforms to all applicable requirements, including but not limited to, approved maximum heights and minimum setbacks. Failure to construct the project in accordance with the Approval may result in remedial reconstruction, permit revocation, permit modification, stop work, permit suspension, or other corrective action.
- c. Violation of any term, Condition, or project description relating to the Approval is unlawful, prohibited, and a violation of the Oakland Municipal Code. The City of Oakland reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the Approval or alter these Conditions if it is found that there is violation of any of the Conditions or the provisions of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions. The project applicant shall be responsible for paying fees in accordance with the City’s Master Fee Schedule for inspections conducted by the City or a City-designated third-party to investigate alleged violations of the Approval or Conditions.

6. Signed Copy of the Approval/Conditions

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times.

7. Blight/Nuisances

The project site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within sixty (60) days of approval, unless an earlier date is specified elsewhere.

8. Indemnification

- a. To the maximum extent permitted by law, the project applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the Oakland City Council, the Oakland Redevelopment Successor Agency, the Oakland City Planning Commission, and their respective agents, officers, employees, and volunteers (hereafter collectively called “City”) from any liability, damages, claim, judgment, loss (direct or indirect), action, causes of action, or proceeding (including legal costs, attorneys’ fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called

“Action”) against the City to attack, set aside, void or annul this Approval or implementation of this Approval. The City may elect, in its sole discretion, to participate in the defense of said Action and the project applicant shall reimburse the City for its reasonable legal costs and attorneys’ fees.

- b. Within ten (10) calendar days of the filing of any Action as specified in subsection (a) above, the project applicant shall execute a Joint Defense Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment, or invalidation of the Approval. Failure to timely execute the Letter of Agreement does not relieve the project applicant of any of the obligations contained in this Condition or other requirements or Conditions of Approval that may be imposed by the City.

9. Severability

The Approval would not have been granted but for the applicability and validity of each and every one of the specified Conditions, and if one or more of such Conditions is found to be invalid by a court of competent jurisdiction this Approval would not have been granted without requiring other valid Conditions consistent with achieving the same purpose and intent of such Approval.

10. Special Inspector/Inspections, Independent Technical Review, Project Coordination and Monitoring

The project applicant may be required to cover the full costs of independent third-party technical review and City monitoring and inspection, including without limitation, special inspector(s)/inspection(s) during times of extensive or specialized plan-check review or construction, and inspections of potential violations of the Conditions of Approval. The project applicant shall establish a deposit with Engineering Services and/or the Bureau of Building, if directed by the Director of Public Works, Building Official, Director of City Planning, Director of Transportation, or designee, prior to the issuance of a construction-related permit and on an ongoing as-needed basis.

11. Public Improvements

The project applicant shall obtain all necessary permits/approvals, such as encroachment permits, obstruction permits, curb/gutter/sidewalk permits, and public improvement (“p-job”) permits from the City for work in the public right-of-way, including but not limited to, streets, curbs, gutters, sidewalks, utilities, and fire hydrants. Prior to any work in the public right-of-way, the applicant shall submit plans for review and approval by the Bureau of Planning, the Bureau of Building, Engineering Services, Department of Transportation, and other City departments as required. Public improvements shall be designed and installed to the satisfaction of the City.

12. Compliance Matrix

The project applicant shall submit a Compliance Matrix, in both written and electronic form, for review and approval by the Bureau of Planning and the Bureau of Building that lists each Condition of Approval (including each mitigation measure if applicable) in a sortable spreadsheet. The Compliance Matrix shall contain, at a minimum, each required Condition of Approval, when compliance with the Condition is required, and the status of compliance with each Condition. For multi-phased projects, the Compliance Matrix shall indicate which

Condition applies to each phase. The project applicant shall submit the initial Compliance Matrix prior to the issuance of the first construction-related permit and shall submit an updated matrix upon request by the City.

13. Construction Management Plan

Prior to the issuance of the first construction-related permit, the project applicant and his/her general contractor shall submit a Construction Management Plan (CMP) for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments such as the Fire Department, Department of Transportation, and the Public Works Department as directed. The CMP shall contain measures to minimize potential construction impacts including measures to comply with all construction-related Conditions of Approval (and mitigation measures if applicable) such as dust control, construction emissions, hazardous materials, construction days/hours, construction traffic control, waste reduction and recycling, stormwater pollution prevention, noise control, complaint management, and cultural resource management (see applicable Conditions below). The CMP shall provide project-specific information including descriptive procedures, approval documentation, and drawings (such as a site logistics plan, fire safety plan, construction phasing plan, proposed truck routes, traffic control plan, complaint management plan, construction worker parking plan, and litter/debris clean-up plan) that specify how potential construction impacts will be minimized and how each construction-related requirement will be satisfied throughout construction of the project.

14. Standard Conditions of Approval / Mitigation Monitoring and Reporting Program (SCAMMRP)

- a. All mitigation measures identified in the 801 Pine Street CEQA Analysis are included in the Standard Condition of Approval / Mitigation Monitoring and Reporting Program (SCAMMRP) which is included in these Conditions of Approval and are incorporated herein by reference, as Attachment C as Conditions of Approval of the project. The Standard Conditions of Approval identified in the 801 Pine Street CEQA Analysis document are also included in the SCAMMRP, and are, therefore, incorporated into these Conditions by reference but are not repeated in these Conditions. To the extent that there is any inconsistency between the SCAMMRP and these Conditions, the more restrictive Conditions shall govern. In the event a Standard Condition of Approval or mitigation measure recommended in the 801 Pine Street CEQA Analysis document has been inadvertently omitted from the SCAMMRP, that Standard Condition of Approval or mitigation measure is adopted and incorporated from the 801 Pine Street CEQA Analysis document into the SCAMMRP by reference, and adopted as a Condition of Approval. The project applicant and property owner shall be responsible for compliance with the requirements of any submitted and approved technical reports, all applicable mitigation measures adopted, and with all Conditions of Approval set forth herein at his/her sole cost and expense, unless otherwise expressly provided in a specific mitigation measure or Condition of Approval, and subject to the review and approval by the City of Oakland. The SCAMMRP identifies the timeframe and responsible party for implementation and monitoring for each Standard Condition of Approval and mitigation measure. Unless otherwise specified, monitoring of compliance with the Standard Conditions of Approval and mitigation measures will be the responsibility of the Bureau of Planning, with overall authority concerning compliance residing with the Environmental Review Officer. Adoption of the SCAMMRP will constitute fulfillment of the CEQA monitoring and/or reporting requirement set forth in section 21081.6 of CEQA.

- b. Prior to the issuance of the first construction-related permit, the project applicant shall pay the applicable mitigation and monitoring fee to the City in accordance with the City's Master Fee Schedule.

PROJECT SPECIFIC CONDITIONS

15. Subsequent Design Review Committee Approval Required for Final Development Plans

Prior to Building Permit for Phase 1 and Each Applicable Subsequent Phase

The applicant shall obtain Design Review approval from the Design Review Committee prior to approval of each FDP, with the exception of the Phase 1 FDP. The applicant will be required to present a project design that, in the discretion of the Design Review Committee, satisfies all applicable Design Review findings that are the subject of this project.

The Phase 1 FDP shall be subject to review by the Design Review Committee following approval by the Planning Commission to resolve design issues identified in the Planning Commission staff report and any other design issues identified by the Planning Commission at the time of Phase 1 FDP approval.

16. Construction of Supportive and Affordable Housing (Phase 1) of Project Prior to Construction of Subsequent Phases

The applicant shall construct the Supportive and Affordable Housing portion of the Project (Phase 1) prior to the construction of any other Phase of the project.

17. Execution and Recordation of Deed Restriction for Supportive and Affordable Housing for Phase 1 Parcel

Prior to Building Permit for Phase 1

The applicant shall execute and record a deed restriction on the property requiring that at least 50 units on Parcel 1 (Phase 1) be supportive housing and that at least 51 units on Parcel 1 (Phase 1) be affordable housing for residents making less than 60% of the local AMI. The deed restrictions shall stipulate that they run with the land, and inure to the benefit of, and are binding upon, Parcel 1 property owners and their respective grantees, heirs, successors and assigns.

18. Subsequent Approval for Shared Access Facility (Driveway) from Departments of Transportation and Fire Required

Prior to Building Permit for Phase 1

The applicant will be required to obtain all necessary approvals from the City's Department of Transportation and Department of Fire with regard to the Shared Access Driveway being proposed as part of this project.

19. Improvements-Ongoing

The approval of this development application does not constitute approval of public improvements. It is the applicant's responsibility to seek and service any required permits from the appropriate departments or agencies.

20. Site Remediation

All site remediation shall be approved and completed as part of Phase 1 of the project.

21. All public improvements (on- and off-site) related to the PUD shall be constructed as part of Phase 1.

22. Property Maintenance Agreement and On-Going Owner Responsibility

Prior to issuance of a Certificate of Occupancy for the first units

Applicants for a shared-access facility (driveway) shall submit for approval a binding maintenance agreement for the shared-access driveway for maintenance, parking restrictions and vehicle allocation, landscape, utility and driveway gate maintenance. Upon City staff approval, the proposed agreement shall be recorded by the applicant within thirty (30) days with the Alameda County Recorder's office. In addition, applicants for a shared-access facility shall provide documentation of continuing liability insurance coverage. Documentation of insurance coverage shall include the written undertaking of each insurer to give the City thirty (30) days' prior written notice of cancellation, termination, or material change of such insurance coverage.

23. Certification

Prior to construction of shared access facility

Prior to construction, applicants for the proposed shared access facility shall retain a California registered professional civil engineer to certify, upon completion, that the access facility was constructed in accordance with the approved plans and construction standards. This requirement may be modified or waived at the discretion of the Director of Public Works, based on the topography or geotechnical considerations. Applicants may also be required to show assurance of performance bonding for grading and other associated improvements. In addition, prior to the installation of landscaping, applicants shall retain a landscape architect or other qualified individual to certify upon completion that the landscaping was installed in accordance with the approved landscape plan.

Applicant Statement

I have read and accept responsibility for the Conditions of Approval. I agree to abide by and conform to the Conditions of Approval, as well as to all provisions of the Oakland Planning Code and Oakland Municipal Code pertaining to the project.

Name of Project Applicant

ATTACHMENT C

STANDARD CONDITIONS OF APPROVAL AND MITIGATION MONITORING AND REPORTING PROGRAM

This standard Conditions of Approval and Mitigation Monitoring and Reporting Program (SCA/MMRP) is based on CEQA Analysis prepared for 801 Pine Street-The Phoenix Project.

These SCAs are incorporated into projects as conditions of approval, regardless of the determination of a project's environmental impacts. As applicable, the SCAs are adopted as requirements of an individual project when it is approved by the City, and are designed to, and will, avoid or substantially reduce a project's environmental effects.

In reviewing project applications, the City determines which SCAs apply based upon the zoning district, community plan, and the type of permits/approvals required for the project. Depending on the specific characteristics of the project type and/or project site, the City will determine which SCAs apply to a specific project. Because these SCAs are mandatory City requirements imposed on a city-wide basis, environmental analyses assume that these SCAs will be imposed and implemented by the project, and are not imposed as mitigation measures under CEQA.

All SCAs identified in the CEQA Analysis—which is consistent with the measures and conditions presented in the City of Oakland General Plan, Land Use and Transportation EIR (LUTE EIR, 1998)—are included herein. To the extent that any SCA identified in the CEQA Analysis was inadvertently omitted, it is automatically incorporated herein by reference.

- The first column identifies the SCA applicable to that topic in the CEQA Analysis.
- The second column identifies the monitoring schedule or timing applicable to the project.
- The third column names the party responsible for monitoring the required action for the project.

In addition to the SCAs identified and discussed in the CEQA Analysis, other SCAs that are applicable to the project are included herein.

The project sponsor is responsible for compliance with any recommendations in approved technical reports and with all SCAs set forth herein at its sole cost and expense, unless otherwise expressly provided in a specific SCA, and subject to the review and approval of the City of Oakland. Overall monitoring and compliance with the SCAs will be the responsibility of the Planning and Zoning Division. Prior to the issuance of a

demolition, grading, and/or construction permit, the project sponsor shall pay the applicable mitigation and monitoring fee to the City in accordance with the City's Master Fee Schedule.

Note that the SCAs included in this document are referred to using an abbreviation for the environmental topic area and are numbered sequentially for each topic area—i.e., SCA-AIR-1, SCA-AIR-2, etc. The SCA title and the SCA number that corresponds to the City's master SCA list are also provided—i.e., SCA-AIR-1: Construction-Related Air Pollution (Dust and Equipment Emissions) (#21).

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
General			
<p>SCA-GEN-1: Compliance with Other Requirements (#3). The project applicant shall comply with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to those imposed by the City's Bureau of Building, Fire Marshal, Department of Transportation, and Public Works Department. Compliance with other applicable requirements may require changes to the approved use and/or plans. These changes shall be processed in accordance with the procedures contained in Condition #4.</p>			N/A
<p>SCA-GEN-2: Regulatory Permits and Authorizations from Other Agencies (#15). The project applicant shall obtain all necessary regulatory permits and authorizations from applicable resource/regulatory agencies including, but not limited to, the Regional Water Quality Control Board, Bay Area Air Quality Management District, Bay Conservation and Development Commission, California Department of Fish and Wildlife, U. S. Fish and Wildlife Service, and Army Corps of Engineers and shall comply with all requirements and conditions of the permits/authorizations. The project applicant shall submit evidence of the approved permits/authorizations to the City, along with evidence demonstrating compliance with any regulatory permit/authorization conditions of approval.</p>	Prior to activity requiring permit/ authorization from regulatory agency	Approval by applicable regulatory agency with jurisdiction; evidence of approval submitted to Bureau of Planning	Applicable regulatory agency with jurisdiction
Aesthetics, Shadow and Wind			
<p>SCA-AES-1: Trash and Blight Removal (#16).</p>	Ongoing	N/A	Bureau of Building

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
The project applicant and his/her successors shall maintain the property free of blight, as defined in chapter 8.24 of the Oakland Municipal Code. For nonresidential and multi-family residential projects, the project applicant shall install and maintain trash receptacles near public entryways as needed to provide sufficient capacity for building users.			
SCA-AES-2: Graffiti Control (#17). a. During construction and operation of the project, the project applicant shall incorporate best management practices reasonably related to the control of graffiti and/or the mitigation of the impacts of graffiti. Such best management practices may include, without limitation: <ol style="list-style-type: none"> i. Installation and maintenance of landscaping to discourage defacement of and/or protect likely graffiti-attracting surfaces. ii. Installation and maintenance of lighting to protect likely graffiti-attracting surfaces. iii. Use of paint with anti-graffiti coating. iv. Incorporation of architectural or design elements or features to discourage graffiti defacement in accordance with the principles of Crime Prevention Through Environmental Design (CPTED). v. Other practices approved by the City to deter, protect, or reduce the potential for graffiti defacement. b. The project applicant shall remove graffiti by appropriate means within seventy-two (72) hours. Appropriate means include: <ol style="list-style-type: none"> i. Removal through scrubbing, washing, sanding, and/or scraping (or similar method) without damaging the surface and without discharging wash water or cleaning detergents into the City storm drain system. ii. Covering with new paint to match the color of the surrounding surface. iii. Replacing with new surfacing (with City permits if required). 	Ongoing	N/A	Bureau of Building
SCA-AES-3: Landscape Plan (#18). a. <i>Landscape Plan Required</i> The project applicant shall submit a final Landscape Plan for City review and approval that is consistent with the approved Landscape Plan. The Landscape	a. Prior to approval of construction-related permit	a. Bureau of Planning b. Bureau of Planning	a. Bureau of Building b. Bureau of Building

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>Plan shall be included with the set of drawings submitted for the construction-related permit and shall comply with the landscape requirements of chapter 17.124 of the Planning Code.</p> <p>b. <i>Landscape Installation</i> The project applicant shall implement the approved Landscape Plan unless a bond, cash deposit, letter of credit, or other equivalent instrument acceptable to the Director of City Planning, is provided. The financial instrument shall equal the greater of \$2,500 or the estimated cost of implementing the Landscape Plan based on a licensed contractor's bid.</p> <p>c. <i>Landscape Maintenance</i> All required planting shall be permanently maintained in good growing condition and, whenever necessary, replaced with new plant materials to ensure continued compliance with applicable landscaping requirements. The property owner shall be responsible for maintaining planting in adjacent public rights-of-way. All required fences, walls, and irrigation systems shall be permanently maintained in good condition and, whenever necessary, repaired or replaced.</p>	<p>b. Prior to building permit final</p> <p>c. Prior to approval of construction-related permit</p>	<p>c. N/A</p>	<p>c. Bureau of Building</p>
<p>SCA-AES-4: Lighting (#19). Proposed new exterior lighting fixtures shall be adequately shielded to a point below the light bulb and reflector to prevent unnecessary glare onto adjacent properties.</p>	<p>Prior to building permit final</p>	<p>N/A</p>	<p>Bureau of Building</p>
<p>SCA-AES-5: Public Art for Private Development (#20). The project is subject to the City's Public Art Requirements for Private Development, adopted by Ordinance No. 13275 C.M.S. ("Ordinance"). The public art contribution requirements are equivalent to one-half percent (0.5%) for the "residential" building development costs, and one percent (1.0%) for the "non-residential" building development costs. The contribution requirement can be met through: 1) the installation of freely accessible art at the site; 2) the installation of freely accessible art within one-quarter mile of the site; or 3) satisfaction of alternative compliance methods described in the Ordinance, including, but not limited to, payment of an in-lieu fee</p>	<p>Payment of in-lieu fees and/or plans showing fulfillment of public art requirement – Prior to Issuance of Building permit</p> <p>Installation of art/cultural space – Prior to Issuance of a</p>	<p>Bureau of Planning</p>	<p>Bureau of Building</p>

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<p>contribution. The applicant shall provide proof of full payment of the in-lieu contribution and/or provide plans, for review and approval by the Planning Director, showing the installation or improvements required by the Ordinance prior to issuance of a building permit.</p> <p>Proof of installation of artwork, or other alternative requirement, is required prior to the City's issuance of a final certificate of occupancy for each phase of a project unless a separate, legal binding instrument is executed ensuring compliance within a timely manner subject to City approval.</p>	Certificate of Occupancy		
Air Quality			
<p>SCA-AIR-1: Dust Controls – Construction Related (#21). The project applicant shall implement all of the following applicable air pollution control measures during construction of the project:</p> <ol style="list-style-type: none"> Water all exposed surfaces of active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever feasible. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e., the minimum required space between the top of the load and the top of the trailer). All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited. Limit vehicle speeds on unpaved roads to 15 miles per hour. All demolition activities (if any) shall be suspended when average wind speeds exceed 20 mph. All trucks and equipment, including tires, shall be washed off prior to leaving the site. Site accesses to a distance of 100 feet from the paved road shall be treated with a 6 to 12 inch compacted layer of wood chips, mulch, or gravel. <p>Enhanced Controls for projects with construction sites greater than 4 acres in size:</p>	During construction	N/A	Bureau of Building

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<p>h. Apply and maintain vegetative ground cover (e.g., hydroseed) or non-toxic soil stabilizers to disturbed areas of soil that will be inactive for more than one month. Enclose, cover, water twice daily, or apply (non-toxic) soil stabilizers to exposed stockpiles (dirt, sand, etc.).</p> <p>i. Designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust offsite. Their duties shall include holidays and weekend periods when work may not be in progress.</p> <p>j. When working at a site, install appropriate wind breaks (e.g., trees, fences) on the windward side(s) of the site, to minimize wind-blown dust. Windbreaks must have a maximum 50 percent air porosity.</p> <p>k. Post a publicly visible large on-site sign that includes the contact name and phone number for the project complaint manager responsible for responding to dust complaints and the telephone numbers of the City's Code Enforcement unit and the Bay Area Air Quality Management District. When contacted, the project complaint manager shall respond and take corrective action within 48 hours.</p> <p>l. All exposed surfaces shall be watered at a frequency adequate to maintain minimum soil moisture of 12 percent. Moisture content can be verified by lab samples or moisture probe.</p>			
<p>SCA-AIR-2: Criteria Air Pollutant Controls - Construction-Related (#22). The project applicant shall implement all of the following applicable basic control measures for criteria air pollutants during construction of the project as applicable:</p> <p>a. Idling times on all diesel-fueled commercial vehicles over 10,000 lbs. shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to two minutes (as required by the California airborne toxics control measure Title 13, Section 2485, of the California Code of Regulations). Clear signage to this effect shall be provided for construction workers at all access points.</p> <p>b. Idling times on all diesel-fueled off-road vehicles over 25 horsepower shall be minimized either by shutting equipment off when not in use or reducing the</p>	<p>Basic Controls: During construction</p> <p>Enhanced Controls: Prior to issuance of a construction-related permit</p>	<p>Basic Controls: N/A</p> <p>Enhanced Controls: Bureau of Planning</p>	<p>Basic Controls: Bureau of Building</p> <p>Enhanced Controls: Bureau of Planning</p>

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<p>maximum idling time to two minutes and fleet operators must develop a written policy as required by Title 23, Section 2449, of the California Code of Regulations (“California Air Resources Board Off-Road Diesel Regulations”).</p> <p>c. All construction equipment shall be maintained and properly tuned in accordance with the manufacturer’s specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. Equipment check documentation should be kept at the construction site and be available for review by the City and the Bay Area Air Quality District as needed.</p> <p>d. Portable equipment shall be powered by grid electricity if available. If electricity is not available, propane or natural gas generators shall be used if feasible. Diesel engines shall only be used if grid electricity is not available and propane or natural gas generators cannot meet the electrical demand.</p> <p>e. Low VOC (i.e., ROG) coatings shall be used that comply with BAAQMD Regulation 8, Rule 3: Architectural Coatings.</p> <p>f. All equipment to be used on the construction site shall comply with the requirements of Title 13, Section 2449, of the California Code of Regulations (“California Air Resources Board Off-Road Diesel Regulations”) and upon request by the City (and the Air District if specifically requested), the project applicant shall provide written documentation that fleet requirements have been met.</p> <p>Enhanced Controls for projects exceeding CEQA thresholds for construction activity:</p> <p>g. <i>Criteria Air Pollutant Reduction Measures</i> The project applicant shall retain a qualified air quality consultant to identify criteria air pollutant reduction measures to reduce the project's average daily emissions below 54 pounds per day of ROG, NOx, or PM2.5 or 82 pounds per day of PM10. Quantified emissions and identified reduction measures shall be submitted to the City (and the Air District if specifically requested) for review and approval prior to the issuance of building permits and the approved criteria air pollutant reduction measures shall be implemented during construction.</p>			

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<p><i>h. Construction Emissions Minimization Plan</i></p> <p>The project applicant shall prepare a Construction Emissions Minimization Plan (Emissions Plan) for all identified criteria air pollutant reduction measures. The Emissions Plan shall be submitted to the City (and the Air District if specifically requested) for review and approval prior to the issuance of building permits. The Emissions Plan shall include the following:</p> <ul style="list-style-type: none"> i. An equipment inventory summarizing the type of off-road equipment required for each phase of construction, including the equipment manufacturer, equipment identification number, engine model year, engine certification (tier rating), horsepower, and engine serial number. For all Verified Diesel Emissions Control Strategies (VDECS), the equipment inventory shall also include the technology type, serial number, make, model, manufacturer, CARB verification number level, and installation date. ii. A Certification Statement that the Contractor agrees to comply fully with the Emissions Plan and acknowledges that a significant violation of the Emissions Plan shall constitute a material breach of contract. 			
<p>SCA-AIR-3: Diesel Particulate Matter Controls-Construction Related (#23).</p> <p><i>a. Diesel Particulate Matter Reduction Measures</i></p> <p>The project applicant shall implement appropriate measures during construction to reduce potential health risks to sensitive receptors due to exposure to diesel particulate matter (DPM) from construction emissions. The project applicant shall choose one of the following methods:</p> <ul style="list-style-type: none"> i. The project applicant shall retain a qualified air quality consultant to prepare a Health Risk Assessment (HRA) in accordance with current guidance from the California Air Resources Board (CARB) and Office of Environmental Health and Hazard Assessment to determine the health risk to sensitive receptors exposed to DPM from project construction emissions. The HRA shall be submitted to the City (and the Air District if specifically requested) for review and approval. If the HRA concludes that the health risk is at or below acceptable levels, then DPM reduction 	<ul style="list-style-type: none"> a. Prior to issuance of a construction related permit (i), during construction (ii) b. Prior to issuance of a construction related permit 	<ul style="list-style-type: none"> a. Bureau of Planning b. Bureau of Planning 	<ul style="list-style-type: none"> a. Bureau of Building b. Bureau of Building

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<p>measures are not required. If the HRA concludes that the health risk exceeds acceptable levels, DPM reduction measures shall be identified to reduce the health risk to acceptable levels as set forth under subsection b below. Identified DPM reduction measures shall be submitted to the City for review and approval prior to the issuance of building permits and the approved DPM reduction measures shall be implemented during construction.</p> <p>or</p> <p>ii. All off-road diesel equipment shall be equipped with the most effective Verified Diesel Emission Control Strategies (VDECS) available for the engine type (Tier 4 engines automatically meet this requirement) as certified by CARB. The equipment shall be properly maintained and tuned in accordance with manufacturer specifications. This shall be verified through an equipment inventory submittal and Certification Statement that the Contractor agrees to compliance and acknowledges that a significant violation of this requirement shall constitute a material breach of contract.</p> <p>b. <i>Construction Emissions Minimization Plan</i> (if required by a above)</p> <p>The project applicant shall prepare a Construction Emissions Minimization Plan (Emissions Plan) for all identified DPM reduction measures (if any). The Emissions Plan shall be submitted to the City (and the Bay Area Air Quality District if specifically requested) for review and approval prior to the issuance of building permits. The Emissions Plan shall include the following:</p> <p>i. An equipment inventory summarizing the type of off-road equipment required for each phase of construction, including the equipment manufacturer, equipment identification number, engine model year, engine certification (tier rating), horsepower, and engine serial number. For all VDECS, the equipment inventory shall also include the technology type, serial number, make, model, manufacturer, CARB verification number level, and installation date.</p> <p>ii. A Certification Statement that the Contractor agrees to comply fully with the Emissions Plan and acknowledges that a significant violation of the Emissions Plan shall constitute a material breach of contract.</p>			

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<p>SCA-AIR-4: Exposure to Air Pollution (Toxic Air Contaminants) (#24).</p> <p><i>a. Health Risk Reduction Measures</i></p> <p>The project applicant shall incorporate appropriate measures into the project design in order to reduce the potential health risk due to exposure to toxic air contaminants. The project applicant shall choose one of the following methods:</p> <p>i. The project applicant shall retain a qualified air quality consultant to prepare a Health Risk Assessment (HRA) in accordance with California Air Resources Board (CARB) and Office of Environmental Health and Hazard Assessment requirements to determine the health risk of exposure of project residents/occupants/users to air pollutants. The HRA shall be submitted to the City for review and approval. If the HRA concludes that the health risk is at or below acceptable levels, then health risk reduction measures are not required. If the HRA concludes that the health risk exceeds acceptable levels, health risk reduction measures shall be identified to reduce the health risk to acceptable levels. Identified risk reduction measures shall be submitted to the City for review and approval and be included on the project drawings submitted for the construction-related permit or on other documentation submitted to the City.</p> <p>- or -</p> <p>ii. The project applicant shall incorporate the following health risk reduction measures into the project. These features shall be submitted to the City for review and approval and be included on the project drawings submitted for the construction-related permit or on other documentation submitted to the City:</p> <p>Installation of air filtration to reduce cancer risks and Particulate Matter (PM) exposure for residents and other sensitive populations in the project that are in close proximity to sources of air pollution. Air filter devices shall be rated MERV-16 or higher. As part of implementing this measure, an ongoing maintenance plan for the building's HVAC air filtration system shall be required.</p>	<p>a. Prior to approval of construction-related permit</p> <p>b. Ongoing</p>	<p>a. Bureau of Planning</p> <p>b. N/A</p>	<p>a. Bureau of Building</p> <p>b. Bureau of Building</p>

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<p>Where appropriate, install passive electrostatic filtering systems, especially those with low air velocities (i.e., 1 mph).</p> <p>Phasing of residential developments when proposed within 500 feet of freeways such that homes nearest the freeway are built last, if feasible.</p> <p>The project shall be designed to locate sensitive receptors as far away as feasible from the source(s) of air pollution. Operable windows, balconies, and building air intakes shall be located as far away from these sources as feasible. If near a distribution center, residents shall be located as far away as feasible from a loading dock or where trucks concentrate to deliver goods.</p> <p>Sensitive receptors shall be located on the upper floors of buildings, if feasible.</p> <p>Planting trees and/or vegetation between sensitive receptors and pollution source, if feasible. Trees that are best suited to trapping PM shall be planted, including one or more of the following: Pine (<i>Pinus nigra</i> var. <i>maritima</i>), Cypress (<i>X Cupressocyparis leylandii</i>), Hybrid poplar (<i>Populus deltoids X trichocarpa</i>), and Redwood (<i>Sequoia sempervirens</i>).</p> <p>Sensitive receptors shall be located as far away from truck activity areas, such as loading docks and delivery areas, as feasible.</p> <p>Existing and new diesel generators shall meet CARB's Tier 4 emission standards, if feasible.</p> <p>Emissions from diesel trucks shall be reduced through implementing the following measures, if feasible:</p> <ul style="list-style-type: none"> ○ Installing electrical hook-ups for diesel trucks at loading docks. ○ Requiring trucks to use Transportation Refrigeration Units (TRU) that meet Tier 4 emission standards. ○ Requiring truck-intensive projects to use advanced exhaust technology (e.g., hybrid) or alternative fuels. ○ Prohibiting trucks from idling for more than two minutes. 			

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<ul style="list-style-type: none"> o Establishing truck routes to avoid sensitive receptors in the project. A truck route program, along with truck calming, parking, and delivery restrictions, shall be implemented. <p>b. <i>Maintenance of Health Risk Reduction Measures</i> The project applicant shall maintain, repair, and/or replace installed health risk reduction measures, including but not limited to the HVAC system (if applicable), on an ongoing and as-needed basis. Prior to occupancy, the project applicant shall prepare and then distribute to the building manager/operator an operation and maintenance manual for the HVAC system and filter including the maintenance and replacement schedule for the filter.</p>			
<p>SCA-AIR-5: Truck-Related Risk Reduction Measures (Toxic Air Contaminants) (#26).</p> <p>a. <i>Truck Loading Docks</i> The project applicant shall locate proposed truck loading docks as far from nearby sensitive receptors as feasible.</p> <p>b. <i>Truck Fleet Emission Standards</i> The project applicant shall comply with all applicable California Air Resources Board (CARB) requirements to control emissions from diesel engines and demonstrate compliance to the satisfaction of the City. Methods to comply include, but are not limited to, new clean diesel trucks, higher-tier diesel engine trucks with added Particulate Matter (PM) filters, hybrid trucks, alternative energy trucks, or other methods that achieve the applicable CARB emission standard. Compliance with this requirement shall be verified through CARB's Verification Procedures for In-Use Strategies to Control Emissions from Diesel Engines.</p>	<p>a. Prior to approval of construction-related permit</p> <p>b. Prior to building permit final; ongoing</p>	<p>a. Bureau of Planning</p> <p>b. Bureau of Planning</p>	<p>a. Bureau of Building</p> <p>b. Bureau of Building</p>
<p>SCA-AIR-6: Asbestos in Structures (#27). The project applicant shall comply with all applicable laws and regulations regarding demolition and renovation of Asbestos Containing Materials (ACM), including but not limited to California Code of Regulations, Title 8; California Business and Professions Code, Division 3; California Health and Safety Code sections 25915-25919.7; and Bay Area Air Quality Management District,</p>	Prior to approval of construction-related permit	Applicable regulatory agency with jurisdiction	Applicable regulatory agency with jurisdiction

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Regulation 11, Rule 2, as may be amended. Evidence of compliance shall be submitted to the City upon request.			
Biological Resources			
<p>SCA-BIO-1: Tree Removal During Bird Breeding Season (#30). To the extent feasible, removal of any tree and/or other vegetation suitable for nesting of birds shall not occur during the bird breeding season of February 1 to August 15 (or during December 15 to August 15 for trees located in or near marsh, wetland, or aquatic habitats). If tree removal must occur during the bird breeding season, all trees to be removed shall be surveyed by a qualified biologist to verify the presence or absence of nesting raptors or other birds. Pre-removal surveys shall be conducted within 15 days prior to the start of work and shall be submitted to the City for review and approval. If the survey indicates the potential presence of nesting raptors or other birds, the biologist shall determine an appropriately sized buffer around the nest in which no work will be allowed until the young have successfully fledged. The size of the nest buffer will be determined by the biologist in consultation with the California Department of Fish and Wildlife, and will be based to a large extent on the nesting species and its sensitivity to disturbance. In general, buffer sizes of 200 feet for raptors and 50 feet for other birds should suffice to prevent disturbance to birds nesting in the urban environment, but these buffers may be increased or decreased, as appropriate, depending on the bird species and the level of disturbance anticipated near the nest.</p>	Prior to removal of trees	Bureau of Planning	Bureau of Building
<p>SCA-BIO-2: Tree Permit (#31).</p> <p>a. <i>Tree Permit Required</i> Pursuant to the City's Tree Protection Ordinance (OMC chapter 12.36), the project applicant shall obtain a tree permit and abide by the conditions of that permit.</p> <p>b. <i>Tree Protection During Construction</i> Adequate protection shall be provided during the construction period for any trees which are to remain standing, including the following, plus any recommendations of an arborist:</p>	<p>a. Prior to approval of construction-related permit</p> <p>b. During construction</p> <p>c. Prior to building permit final</p>	<p>a. Permit approval by Public Works Department, Tree Division; evidence of approval submitted to Bureau of Building</p> <p>b. Public Works Department, Tree Division</p>	<p>a. Bureau of Building</p> <p>b. Bureau of Building</p> <p>c. Bureau of Building</p>

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<p>i. Before the start of any clearing, excavation, construction, or other work on the site, every protected tree deemed to be potentially endangered by said site work shall be securely fenced off at a distance from the base of the tree to be determined by the project's consulting arborist. Such fences shall remain in place for duration of all such work. All trees to be removed shall be clearly marked. A scheme shall be established for the removal and disposal of logs, brush, earth and other debris which will avoid injury to any protected tree.</p> <p>ii. Where proposed development or other site work is to encroach upon the protected perimeter of any protected tree, special measures shall be incorporated to allow the roots to breathe and obtain water and nutrients. Any excavation, cutting, filling, or compaction of the existing ground surface within the protected perimeter shall be minimized. No change in existing ground level shall occur within a distance to be determined by the project's consulting arborist from the base of any protected tree at any time. No burning or use of equipment with an open flame shall occur near or within the protected perimeter of any protected tree.</p> <p>iii. No storage or dumping of oil, gas, chemicals, or other substances that may be harmful to trees shall occur within the distance to be determined by the project's consulting arborist from the base of any protected trees, or any other location on the site from which such substances might enter the protected perimeter. No heavy construction equipment or construction materials shall be operated or stored within a distance from the base of any protected trees to be determined by the project's consulting arborist. Wires, ropes, or other devices shall not be attached to any protected tree, except as needed for support of the tree. No sign, other than a tag showing the botanical classification, shall be attached to any protected tree.</p> <p>iv. Periodically during construction, the leaves of protected trees shall be thoroughly sprayed with water to prevent buildup of dust and other pollution that would inhibit leaf transpiration.</p> <p>v. If any damage to a protected tree should occur during or as a result of work on the site, the project applicant shall immediately notify the Public Works</p>		c. Public Works Department, Tree Division	

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<p>Department and the project's consulting arborist shall make a recommendation to the City Tree Reviewer as to whether the damaged tree can be preserved. If, in the professional opinion of the Tree Reviewer, such tree cannot be preserved in a healthy state, the Tree Reviewer shall require replacement of any tree removed with another tree or trees on the same site deemed adequate by the Tree Reviewer to compensate for the loss of the tree that is removed.</p> <p>vi. All debris created as a result of any tree removal work shall be removed by the project applicant from the property within two weeks of debris creation, and such debris shall be properly disposed of by the project applicant in accordance with all applicable laws, ordinances, and regulations.</p> <p>c. <i>Tree Replacement Plantings</i> Replacement plantings shall be required for tree removals for the purposes of erosion control, groundwater replenishment, visual screening, wildlife habitat, and preventing excessive loss of shade, in accordance with the following criteria:</p> <p>i. No tree replacement shall be required for the removal of nonnative species, for the removal of trees which is required for the benefit of remaining trees, or where insufficient planting area exists for a mature tree of the species being considered.</p> <p>ii. Replacement tree species shall consist of <i>Sequoia sempervirens</i> (Coast Redwood), <i>Quercus agrifolia</i> (Coast Live Oak), <i>Arbutus menziesii</i> (Madrone), <i>Aesculus californica</i> (California Buckeye), <i>Umbellularia californica</i> (California Bay Laurel), or other tree species acceptable to the Tree Division.</p> <p>iii. Replacement trees shall be at least twenty-four (24) inch box size, unless a smaller size is recommended by the arborist, except that three fifteen (15) gallon size trees may be substituted for each twenty-four (24) inch box size tree where appropriate.</p> <p>iv. Minimum planting areas must be available on site as follows:</p>			

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<p>For Sequoia sempervirens, three hundred fifteen (315) square feet per tree;</p> <p>For other species listed, seven hundred (700) square feet per tree.</p> <p>v. In the event that replacement trees are required but cannot be planted due to site constraints, an in-lieu fee in accordance with the City's Master Fee Schedule may be substituted for required replacement plantings, with all such revenues applied toward tree planting in city parks, streets and medians.</p> <p>vi. The project applicant shall install the plantings and maintain the plantings until established. The Tree Reviewer of the Tree Division of the Public Works Department may require a landscape plan showing the replacement plantings and the method of irrigation. Any replacement plantings which fail to become established within one year of planting shall be replanted at the project applicant's expense.</p>			
Cultural Resources			
<p>SCA-CUL-1: Archaeological and Paleontological Resources – Discovery During Construction (#33).</p> <p>Pursuant to CEQA Guidelines Section 15064.5(f), in the event that any historic or prehistoric subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant shall notify the City and consult with a qualified archaeologist or paleontologist, as applicable, to assess the significance of the find. In the case of discovery of paleontological resources, the assessment shall be done in accordance with the Society of Vertebrate Paleontology standards. If any find is determined to be significant, appropriate avoidance measures recommended by the consultant and approved by the City must be followed unless avoidance is determined unnecessary or infeasible by the City. Feasibility of avoidance shall be determined with consideration of factors such as the nature of the find, project design, costs, and other considerations. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery, excavation) shall be instituted. Work</p>	During construction	N/A	Bureau of Building

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<p>Standard Conditions of Approval/ Mitigation Measures</p> <p>may proceed on other parts of the project site while measures for the cultural resources are implemented.</p> <p>In the event of data recovery of archaeological resources, the project applicant shall submit an Archaeological Research Design and Treatment Plan (ARDTP) prepared by a qualified archaeologist for review and approval by the City. The ARDTP is required to identify how the proposed data recovery program would preserve the significant information the archaeological resource is expected to contain. The ARDTP shall identify the scientific/historic research questions applicable to the expected resource, the data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. The ARDTP shall include the analysis and specify the curation and storage methods. Data recovery, in general, shall be limited to the portions of the archaeological resource that could be impacted by the proposed project. Destructive data recovery methods shall not be applied to portions of the archaeological resources if nondestructive methods are practicable. Because the intent of the ARDTP is to save as much of the archaeological resource as possible, including moving the resource, if feasible, preparation and implementation of the ARDTP would reduce the potential adverse impact to less than significant. The project applicant shall implement the ARDTP at his/her expense.</p> <p>In the event of excavation of paleontological resources, the project applicant shall submit an excavation plan prepared by a qualified paleontologist to the City for review and approval. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by a qualified paleontologist, as appropriate, according to current professional standards and at the expense of the project applicant.</p>			
<p>SCA-CUL-2: Archaeologically Sensitive Areas – Pre-Construction Measures (#34).</p> <p>The project applicant shall implement either Provision A (Intensive Pre-Construction Study) or Provision B (Construction ALERT Sheet) concerning archaeological resources.</p>	Prior to approval of construction-related permit;	Bureau of Building; Bureau of Planning	Bureau of Building

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<p>Provision A: Intensive Pre-Construction Study. The project applicant shall retain a qualified archaeologist to conduct a site-specific, intensive archaeological resources study for review and approval by the City prior to soil-disturbing activities occurring on the project site. The purpose of the site-specific, intensive archaeological resources study is to identify early the potential presence of history-period archaeological resources on the project site. At a minimum, the study shall include:</p> <ol style="list-style-type: none"> Subsurface presence/absence studies of the project site. Field studies may include, but are not limited to, auguring and other common methods used to identify the presence of archaeological resources. A report disseminating the results of this research. Recommendations for any additional measures that could be necessary to mitigate any adverse impacts to recorded and/or inadvertently discovered cultural resources. <p>If the results of the study indicate a high potential presence of historic-period archaeological resources on the project site, or a potential resource is discovered, the project applicant shall hire a qualified archaeologist to monitor any ground disturbing activities on the project site during construction and prepare an ALERT sheet pursuant to Provision B below that details what could potentially be found at the project site. Archaeological monitoring would include briefing construction personnel about the type of artifacts that may be present (as referenced in the ALERT sheet, required per Provision B below) and the procedures to follow if any artifacts are encountered, field recording and sampling in accordance with the Secretary of Interior's Standards and Guidelines for Archaeological Documentation, notifying the appropriate officials if human remains or cultural resources are discovered, and preparing a report to document negative findings after construction is completed if no archaeological resources are discovered during construction.</p> <p>Provision B: Construction ALERT Sheet.</p>			

	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
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<p>Standard Conditions of Approval/ Mitigation Measures</p> <p>The project applicant shall prepare a construction "ALERT" sheet developed by a qualified archaeologist for review and approval by the City prior to soil-disturbing activities occurring on the project site. The ALERT sheet shall contain, at a minimum, visuals that depict each type of artifact that could be encountered on the project site. Training by the qualified archaeologist shall be provided to the project's prime contractor, any project subcontractor firms (including demolition, excavation, grading, foundation, and pile driving), and utility firms involved in soil-disturbing activities within the project site.</p> <p>The ALERT sheet shall state, in addition to the basic archaeological resource protection measures contained in other standard conditions of approval, all work must stop and the City's Environmental Review Officer contacted in the event of discovery of the following cultural materials: concentrations of shellfish remains; evidence of fire (ashes, charcoal, burnt earth, fire-cracked rocks); concentrations of bones; recognizable Native American artifacts (arrowheads, shell beads, stone mortars [bowls], humanly shaped rock); building foundation remains; trash pits, privies (outhouse holes); floor remains; wells; concentrations of bottles, broken dishes, shoes, buttons, cut animal bones, hardware, household items, barrels, etc.; thick layers of burned building debris (charcoal, nails, fused glass, burned plaster, burned dishes); wood structural remains (building, ship, wharf); clay roof/floor tiles; stone walls or footings; or gravestones. Prior to any soil-disturbing activities, each contractor shall be responsible for ensuring that the ALERT sheet is circulated to all field personnel, including machine operators, field crew, pile drivers, and supervisory personnel. The ALERT sheet shall also be posted in a visible location at the project site.</p>			
<p>SCA-CUL-3: Human Remains – Discovery During Construction (#35). Pursuant to CEQA Guidelines section 15064.5(e)(1), in the event that human skeletal remains are uncovered at the project site during construction activities, all work shall immediately halt and the project applicant shall notify the City and the Alameda County Coroner. If the County Coroner determines that an investigation of the cause of death is required or that the remains are Native American, all work shall cease within 50 feet of the remains until appropriate arrangements are made.</p>	During construction	N/A	Bureau of Building

	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
Standard Conditions of Approval/ Mitigation Measures			
In the event that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of Section 7050.5 of the California Health and Safety Code. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance, and avoidance measures (if applicable) shall be completed expeditiously and at the expense of the project applicant.			
Geology, Soils and Geohazards			
SCA-GEO-1: Construction-Related Permit(s) (#37). The project applicant shall obtain all required construction-related permits/approvals from the City. The project shall comply with all standards, requirements and conditions contained in construction-related codes, including but not limited to the Oakland Building Code and the Oakland Grading Regulations, to ensure structural integrity and safe construction.	Prior to approval of construction-related permit	Bureau of Building	Bureau of Building
SCA-GEO-2: Soils Report (#38). The project applicant shall submit a soils report prepared by a registered geotechnical engineer for City review and approval. The soils report shall contain, at a minimum, field test results and observations regarding the nature, distribution and strength of existing soils, and recommendations for appropriate grading practices and project design. The project applicant shall implement the recommendations contained in the approved report during project design and construction.	Prior to approval of construction-related permit	Bureau of Building	Bureau of Building
SCA-GEO-3: Seismic Hazards Zone (Landslide/Liquefaction) (#40). The project applicant shall submit a site-specific geotechnical report, consistent with California Geological Survey Special Publication 117 (as amended), prepared by a registered geotechnical engineer for City review and approval containing at a minimum a description of the geological and geotechnical conditions at the site, an evaluation of site-specific seismic hazards based on geological and geotechnical conditions, and recommended measures to reduce potential impacts	Prior to approval of construction-related permit	Bureau of Building	Bureau of Building

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
related to liquefaction and/or slope stability hazards. The project applicant shall implement the recommendations contained in the approved report during project design and construction.			
Hazards and Hazardous Materials			
<p>SCA-HAZ-1: Hazardous Materials Related to Construction (#43). The project applicant shall ensure that Best Management Practices (BMPs) are implemented by the contractor during construction to minimize potential negative effects on groundwater, soils, and human health. These shall include, at a minimum, the following:</p> <ol style="list-style-type: none"> a. Follow manufacture's recommendations for use, storage, and disposal of chemical products used in construction; b. Avoid overtopping construction equipment fuel gas tanks; c. During routine maintenance of construction equipment, properly contain and remove grease and oils; d. Properly dispose of discarded containers of fuels and other chemicals; e. Implement lead-safe work practices and comply with all local, regional, state, and federal requirements concerning lead (for more information refer to the Alameda County Lead Poisoning Prevention Program); and f. If soil, groundwater, or other environmental medium with suspected contamination is encountered unexpectedly during construction activities (e.g., identified by odor or visual staining, or if any underground storage tanks, abandoned drums or other hazardous materials or wastes are encountered), the project applicant shall cease work in the vicinity of the suspect material, the area shall be secured as necessary, and the applicant shall take all appropriate measures to protect human health and the environment. Appropriate measures shall include notifying the City and applicable regulatory agency(ies) and implementation of the actions described in the City's Standard Conditions of Approval, as necessary, to identify the nature and extent of contamination. Work shall not resume in the area(s) affected until the measures have been implemented under the oversight of the City or regulatory agency, as appropriate. 	During construction	N/A	Bureau of Building

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>SCA-HAZ-2: Hazardous Building Materials and Site Contamination (#44).</p> <p><i>a. Hazardous Building Materials Assessment</i> The project applicant shall submit a comprehensive assessment report to the Bureau of Building, signed by a qualified environmental professional, documenting the presence or lack thereof of asbestos-containing materials (ACMs), lead-based paint, polychlorinated biphenyls (PCBs), and any other building materials or stored materials classified as hazardous waste by State or federal law. If lead-based paint, ACMs, PCBs, or any other building materials or stored materials classified as hazardous waste are present, the project applicant shall submit specifications signed by a qualified environmental professional, for the stabilization and/or removal of the identified hazardous materials in accordance with all applicable laws and regulations.</p> <p><i>b. Environmental Site Assessment Required</i> The project applicant shall submit a Phase I Environmental Site Assessment report, and Phase II Environmental Site Assessment report if warranted by the Phase I report, for the project site for review and approval by the City. The report(s) shall be prepared by a qualified environmental assessment professional and include recommendations for remedial action, as appropriate, for hazardous materials. The project applicant shall implement the approved recommendations and submit to the City evidence of approval for any proposed remedial action and required clearances by the applicable local, state, or federal regulatory agency.</p> <p><i>c. Health and Safety Plan Required</i> The project applicant shall submit a Health and Safety Plan for the review and approval by the City in order to protect project construction workers from risks associated with hazardous materials. The project applicant shall implement the approved Plan.</p> <p><i>d. Best Management Practices (BMPs) Required for Contaminated Sites</i></p>	<p>a. Prior to approval of demolition, grading, or building permits</p> <p>b. Prior to approval of construction-related permit</p> <p>c. Prior to approval of construction-related permit</p> <p>d. During construction</p>	<p>a. Bureau of Building</p> <p>b. Applicable regulatory agency with jurisdiction</p> <p>c. Bureau of Building</p> <p>d. N/A</p>	<p>a. Bureau of Building</p> <p>b. Applicable regulatory agency with jurisdiction</p> <p>c. Bureau of Building</p> <p>d. Bureau of Building</p>

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>The project applicant shall ensure that Best Management Practices (BMPs) are implemented by the contractor during construction to minimize potential soil and groundwater hazards. These shall include the following:</p> <ul style="list-style-type: none"> i. Soil generated by construction activities shall be stockpiled on-site in a secure and safe manner. All contaminated soils determined to be hazardous or non-hazardous waste must be adequately profiled (sampled) prior to acceptable reuse or disposal at an appropriate off-site facility. Specific sampling and handling and transport procedures for reuse or disposal shall be in accordance with applicable local, state, and federal requirements. ii. Groundwater pumped from the subsurface shall be contained on-site in a secure and safe manner, prior to treatment and disposal, to ensure environmental and health issues are resolved pursuant to applicable laws and policies. Engineering controls shall be utilized, which include impermeable barriers to prohibit groundwater and vapor intrusion into the building. 			
<p>SCA-HAZ-3: Hazardous Materials Business Plan (#45). The project applicant shall submit a Hazardous Materials Business Plan for review and approval by the City, and shall implement the approved Plan. The approved Plan shall be kept on file with the City and the project applicant shall update the Plan as applicable. The purpose of the Hazardous Materials Business Plan is to ensure that employees are adequately trained to handle hazardous materials and provides information to the Fire Department should emergency response be required. Hazardous materials shall be handled in accordance with all applicable local, state, and federal requirements. The Hazardous Materials Business Plan shall include the following:</p> <ul style="list-style-type: none"> a. The types of hazardous materials or chemicals stored and/or used on-site, such as petroleum fuel products, lubricants, solvents, and cleaning fluids. b. The location of such hazardous materials. c. An emergency response plan including employee training information. d. A plan that describes the manner in which these materials are handled, transported, and disposed. 	Prior to building permit final	Oakland Fire Department	Oakland Fire Department

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>SCA-HAZ-4: Fire Safety Phasing Plan (#46). The project applicant shall submit a Fire Safety Phasing Plan for City review and approval, and shall implement the approved Plan. The Fire Safety Phasing Plan shall include all of the fire safety features incorporated into each phase of the project and the schedule for implementation of the features.</p>	Prior to approval of construction-related permit	Oakland Fire Department	Bureau of Building
Hydrology and Water Quality			
<p>SCA-HYD-1: Erosion and Sedimentation Control Measures for Construction (#48). The project applicant shall implement Best Management Practices (BMPs) to reduce erosion, sedimentation, and water quality impacts during construction to the maximum extent practicable. At a minimum, the project applicant shall provide filter materials deemed acceptable to the City at nearby catch basins to prevent any debris and dirt from flowing into the City's storm drain system and creeks.</p>	During construction	N/A	Bureau of Building
<p>SCA-HYD-2: State Construction General Permit (#50). The project applicant shall comply with the requirements of the Construction General Permit issued by the State Water Resources Control Board (SWRCB). The project applicant shall submit a Notice of Intent (NOI), Stormwater Pollution Prevention Plan (SWPPP), and other required Permit Registration Documents to SWRCB. The project applicant shall submit evidence of compliance with Permit requirements to the City.</p>	Prior to approval of construction-related permit	State Water Resources Control Board; evidence of compliance submitted to Bureau of Building	State Water Resources Control Board
<p>SCA-HYD-3: NPDES C.3 Stormwater Requirements for Regulated Projects (#54). a. <i>Post-Construction Stormwater Management Plan Required</i> The project applicant shall comply with the requirements of Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES). The project applicant shall submit a Post-Construction Stormwater Management Plan to the City for review and approval with the project drawings submitted for site improvements, and shall implement the approved Plan during construction. The Post-Construction Stormwater Management Plan shall include and identify the following: i. Location and size of new and replaced impervious surface;</p>	<p>a. Prior to approval of construction-related permit</p> <p>b. Prior to building permit final</p>	<p>a. Bureau of Planning; Bureau of Building</p> <p>b. Bureau of Building</p>	<p>a. Bureau of Building</p> <p>b. Bureau of Building</p>

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>ii. Directional surface flow of stormwater runoff;</p> <p>iii. Location of proposed on-site storm drain lines;</p> <p>iv. Site design measures to reduce the amount of impervious surface area;</p> <p>v. Source control measures to limit stormwater pollution;</p> <p>vi. Stormwater treatment measures to remove pollutants from stormwater runoff, including the method used to hydraulically size the treatment measures; and</p> <p>vii. Hydromodification management measures, if required by Provision C.3, so that post-project stormwater runoff flow and duration match pre-project runoff.</p> <p>b. <i>Maintenance Agreement Required</i></p> <p>The project applicant shall enter into a maintenance agreement with the City, based on the Standard City of Oakland Stormwater Treatment Measures Maintenance Agreement, in accordance with Provision C.3, which provides, in part, for the following:</p> <p>i. The project applicant accepting responsibility for the adequate installation/construction, operation, maintenance, inspection, and reporting of any on-site stormwater treatment measures being incorporated into the project until the responsibility is legally transferred to another entity; and</p> <p>ii. Legal access to the on-site stormwater treatment measures for representatives of the City, the local vector control district, and staff of the Regional Water Quality Control Board, San Francisco Region, for the purpose of verifying the implementation, operation, and maintenance of the on-site stormwater treatment measures and to take corrective action if necessary.</p> <p>The maintenance agreement shall be recorded at the County Recorder's Office at the applicant's expense.</p>			
Noise			
<p>SCA-NOI-1: Construction Days/Hours (#62).</p> <p>The project applicant shall comply with the following restrictions concerning construction days and hours:</p>	During construction	N/A	Bureau of Building

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>a. Construction activities are limited to between 7:00 a.m. and 7:00 p.m. Monday through Friday, except that pier drilling and/or other extreme noise generating activities greater than 90 dBA shall be limited to between 8:00 a.m. and 4:00 p.m.</p> <p>b. Construction activities are limited to between 9:00 a.m. and 5:00 p.m. on Saturday. In residential zones and within 300 feet of a residential zone, construction activities are allowed from 9:00 a.m. to 5:00 p.m. only within the interior of the building with the doors and windows closed. No pier drilling or other extreme noise generating activities greater than 90 dBA are allowed on Saturday.</p> <p>c. No construction is allowed on Sunday or federal holidays.</p> <p>Construction activities include, but are not limited to, truck idling, moving equipment (including trucks, elevators, etc.) or materials, deliveries, and construction meetings held on-site in a non-enclosed area.</p> <p>Any construction activity proposed outside of the above days and hours for special activities (such as concrete pouring which may require more continuous amounts of time) shall be evaluated on a case-by-case basis by the City, with criteria including the urgency/emergency nature of the work, the proximity of residential or other sensitive uses, and a consideration of nearby residents'/occupants' preferences. The project applicant shall notify property owners and occupants located within 300 feet at least 14 calendar days prior to construction activity proposed outside of the above days/hours. When submitting a request to the City to allow construction activity outside of the above days/hours, the project applicant shall submit information concerning the type and duration of proposed construction activity and the draft public notice for City review and approval prior to distribution of the public notice.</p>			
<p>SCA-NOI-2: Construction Noise (#63). The project applicant shall implement noise reduction measures to reduce noise impacts due to construction. Noise reduction measures include, but are not limited to, the following:</p>	During construction	N/A	Bureau of Building

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>a. Equipment and trucks used for project construction shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures and acoustically-attenuating shields or shrouds) wherever feasible.</p> <p>b. Except as provided herein, impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for project construction shall be hydraulically or electrically powered to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler can lower noise levels from the exhaust by up to about 10 dBA. External jackets on the tools themselves shall be used, if such jackets are commercially available, and this could achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever such procedures are available and consistent with construction procedures.</p> <p>c. Applicant shall use temporary power poles instead of generators where feasible.</p> <p>d. Stationary noise sources shall be located as far from adjacent properties as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or use other measures as determined by the City to provide equivalent noise reduction.</p> <p>e. The noisiest phases of construction shall be limited to less than 10 days at a time. Exceptions may be allowed if the City determines an extension is necessary and all available noise reduction controls are implemented.</p>			
<p>SCA-NOI-3: Extreme Construction Noise (#64).</p> <p><i>a. Construction Noise Management Plan Required</i></p> <p>Prior to any extreme noise generating construction activities (e.g., pier drilling, pile driving and other activities generating greater than 90dBA), the project applicant shall submit a Construction Noise Management Plan prepared by a qualified acoustical consultant for City review and approval that contains a set of site-specific noise attenuation measures to further reduce construction impacts associated with extreme noise generating activities. The project applicant shall</p>	<p>a. Prior to approval of construction-related permit</p> <p>b. During construction</p>	<p>a. Bureau of Building</p> <p>b. Bureau of Building</p>	<p>a. Bureau of Building</p> <p>b. Bureau of Building</p>

	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>Standard Conditions of Approval/ Mitigation Measures</p> <p>implement the approved Plan during construction. Potential attenuation measures include, but are not limited to, the following:</p> <ol style="list-style-type: none"> i. Erect temporary plywood noise barriers around the construction site, particularly along on sites adjacent to residential buildings; ii. Implement “quiet” pile driving technology (such as pre-drilling of piles, the use of more than one pile driver to shorten the total pile driving duration), where feasible, in consideration of geotechnical and structural requirements and conditions; iii. Utilize noise control blankets on the building structure as the building is erected to reduce noise emission from the site; iv. Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings by the use of sound blankets for example and implement such measure if such measures are feasible and would noticeably reduce noise impacts; and v. Monitor the effectiveness of noise attenuation measures by taking noise measurements. <p>b. <i>Public Notification Required</i></p> <p>The project applicant shall notify property owners and occupants located within 300 feet of the construction activities at least 14 calendar days prior to commencing extreme noise generating activities. Prior to providing the notice, the project applicant shall submit to the City for review and approval the proposed type and duration of extreme noise generating activities and the proposed public notice. The public notice shall provide the estimated start and end dates of the extreme noise generating activities and describe noise attenuation measures to be implemented.</p>			
<p>SCA-NOI-4: Construction Noise Complaints (#66).</p> <p>The project applicant shall submit to the City for review and approval a set of procedures for responding to and tracking complaints received pertaining to construction noise, and shall implement the procedures during construction. At a minimum, the procedures shall include:</p>	Prior to approval of construction-related permit	Bureau of Building	Bureau of Building

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>a. Designation of an on-site construction complaint and enforcement manager for the project;</p> <p>b. A large on-site sign near the public right-of-way containing permitted construction days/hours, complaint procedures, and phone numbers for the project complaint manager and City Code Enforcement unit;</p> <p>c. Protocols for receiving, responding to, and tracking received complaints; and</p> <p>d. Maintenance of a complaint log that records received complaints and how complaints were addressed, which shall be submitted to the City for review upon the City's request.</p>			
<p>SCA-NOI-5: Exposure to Community Noise (#67). The project applicant shall submit a Noise Reduction Plan prepared by a qualified acoustical engineer for City review and approval that contains noise reduction measures (e.g., sound-rated window, wall, and door assemblies) to achieve an acceptable interior noise level in accordance with the land use compatibility guidelines of the Noise Element of the Oakland General Plan. The applicant shall implement the approved Plan during construction. To the maximum extent practicable, interior noise levels shall not exceed the following:</p> <p>a. 45 dBA: Residential activities, civic activities, hotels</p> <p>b. 50 dBA: Administrative offices; group assembly activities</p> <p>c. 55 dBA: Commercial activities</p> <p>d. 65 dBA: Industrial activities</p>	Prior to approval of construction-related permit	Bureau of Planning	Bureau of Building
<p>SCA NOI-6: Operational Noise (#68). Noise levels from the project site after completion of the project (i.e., during project operation) shall comply with the performance standards of Chapter 17.120 of the Oakland Planning Code and chapter 8.18 of the Oakland Municipal Code. If noise levels exceed these standards, the activity causing the noise shall be abated until appropriate noise reduction measures have been installed and compliance verified by the City.</p>	Ongoing	N/A	Bureau of Building
Public Services and Recreation			

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>SCA-PUB-1: Capital Improvements Impact Fee (#74). The project applicant shall comply with the requirements of the City of Oakland Capital Improvements Fee Ordinance (chapter 15.74 of the Oakland Municipal Code).</p>	Prior to issuance of building permit	Bureau of Building	N/A
Transportation and Circulation			
<p>SCA-TRAN-1: Construction Activity in the Public Right-of-Way (#76). <i>a. Obstruction Permit Required</i> The project applicant shall obtain an obstruction permit from the City prior to placing any temporary construction-related obstruction in the public right-of-way, including City streets, sidewalks, bicycle facilities, and bus stops. <i>b. Traffic Control Plan Required</i> In the event of obstructions to vehicle or bicycle travel lanes, bus stops, or sidewalks, the project applicant shall submit a Traffic Control Plan to the City for review and approval prior to obtaining an obstruction permit. The project applicant shall submit evidence of City approval of the Traffic Control Plan with the application for an obstruction permit. The Traffic Control Plan shall contain a set of comprehensive traffic control measures for auto, transit, bicycle, and pedestrian accommodations (or detours, if accommodations are not feasible), including detour signs if required, lane closure procedures, signs, cones for drivers, and designated construction access routes. The Traffic Control Plan shall be in conformance with the City's Supplemental Design Guidance for Accommodating Pedestrians, Bicyclists, and Bus Facilities in Construction Zones. The project applicant shall implement the approved Plan during construction. <i>c. Repair of City Streets</i> The project applicant shall repair any damage to the public right-of way, including streets and sidewalks caused by project construction at his/her expense within one week of the occurrence of the damage (or excessive wear), unless further damage/excessive wear may continue; in such case, repair shall occur prior to</p>	<p>a. Prior to approval of construction-related permit b. Prior to approval of construction-related permit c. Prior to building permit final</p>	<p>a. Department of Transportation b. Department of Transportation c. N/A</p>	<p>a. Department of Transportation b. Department of Transportation c. Department of Transportation</p>

	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
Standard Conditions of Approval/ Mitigation Measures			
approval of the final inspection of the construction-related permit. All damage that is a threat to public health or safety shall be repaired immediately.			
SCA-TRAN-2: Bicycle Parking (#77). The project applicant shall comply with the City of Oakland Bicycle Parking Requirements (chapter 17.118 of the Oakland Planning Code). The project drawings submitted for construction-related permits shall demonstrate compliance with the requirements.	Prior to approval of construction-related permit	Bureau of Planning	Bureau of Building
SCA-TRAN-3: Transportation Improvements (#78). The project applicant shall implement the recommended on- and off-site transportation-related improvements contained within the Transportation Impact Review for the project (e.g., signal timing adjustments, restriping, signalization, traffic control devices, roadway reconfigurations, transportation demand management measures, and transit, pedestrian, and bicyclist amenities). The project applicant is responsible for funding and installing the improvements and shall obtain all necessary permits and approvals from the City and/or other applicable regulatory agencies such as, but not limited to, Caltrans (for improvements related to Caltrans facilities) and the California Public Utilities Commission (for improvements related to railroad crossings), prior to installing the improvements. To implement this measure for intersection modifications, the project applicant shall submit Plans, Specifications, and Estimates (PS&E) to the City for review and approval. All elements shall be designed to applicable City standards in effect at the time of construction and all new or upgraded signals shall include these enhancements as required by the City. All other facilities supporting vehicle travel and alternative modes through the intersection shall be brought up to both City standards and ADA standards (according to Federal and State Access Board guidelines) at the time of construction. Current City Standards call for, among other items, the elements listed below: a. 2070L Type Controller with cabinet accessory b. GPS communication (clock) c. Accessible pedestrian crosswalks according to Federal and State Access Board guidelines with signals (audible and tactile)	Prior to building permit final or as otherwise specified	Bureau of Building; Department of Transportation	Bureau of Building

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
d. Countdown pedestrian head module switch out e. City Standard ADA wheelchair ramps f. Video detection on existing (or new, if required) g. Mast arm poles, full activation (where applicable) h. Polara Push buttons (full activation) i. Bicycle detection (full activation) j. Pull boxes k. Signal interconnect and communication with trenching (where applicable), or through existing conduit (where applicable), 600 feet maximum l. Conduit replacement contingency m. Fiber switch n. PTZ camera (where applicable) o. Transit Signal Priority (TSP) equipment consistent with other signals along corridor p. Signal timing plans for the signals in the coordination group q. Bi-directional curb ramps (where feasible, and if project is on a street corner) r. Upgrade ramps on receiving curb (where feasible, and if project is on a street corner)			
SCA-TRAN-4: Transportation and Parking Demand Management (#79). a. Transportation and Parking Demand Management (TDM) Plan Required The project applicant shall submit a Transportation and Parking Demand Management (TDM) Plan for review and approval by the City. i. The goals of the TDM Plan shall be the following: Reduce vehicle traffic and parking demand generated by the project to the maximum extent practicable. Achieve the following project vehicle trip reductions (VTR): Projects generating 50-99 net new AM or PM peak hour vehicle trips: 10 percent VTR Projects generating 100 or more net new AM or PM peak hour vehicle trips: 20 percent VTR	a. Prior to approval of planning application b. Prior to building permit final c. Ongoing	a. Bureau of Planning b. Bureau of Building c. Department of Transportation	a. N/A b. Bureau of Building c. Department of Transportation

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring										
	When Required	Initial Approval	Monitoring/ Inspection								
<p>Increase pedestrian, bicycle, transit, and carpool/vanpool modes of travel. All four modes of travel shall be considered, as appropriate.</p> <p>Enhance the City's transportation system, consistent with City policies and programs.</p> <p>ii. The TDM Plan should include the following: Baseline existing conditions of parking and curbside regulations within the surrounding neighborhood that could affect the effectiveness of TDM strategies, including inventory of parking spaces and occupancy if applicable.</p> <p>Proposed TDM strategies to achieve VTR goals (see below).</p> <p>iii. For employers with 100 or more employees at the subject site, the TDM Plan shall also comply with the requirements of Oakland Municipal Code Chapter 10.68 Employer-Based Trip Reduction Program.</p> <p>iv. The following TDM strategies must be incorporated into a TDM Plan based on a project location or other characteristics. When required, these mandatory strategies should be identified as a credit toward a project's VTR.</p> <table border="1" data-bbox="247 959 1066 1386"> <thead> <tr> <th>Improvement</th> <th>Required by code or when...</th> </tr> </thead> <tbody> <tr> <td>Bus boarding bulbs or islands</td> <td>A bus boarding bulb or island does not already exist and a bus stop is located along the project frontage; and/or A bus stop along the project frontage serves a route with 15 minutes or better peak hour service and has a shared bus-bike lane curb</td> </tr> <tr> <td>Bus shelter</td> <td>A stop with no shelter is located within the project frontage, or The project is located within 0.10 miles of a flag stop with 25 or more boardings per day</td> </tr> <tr> <td>Concrete bus pad</td> <td>A bus stop is located along the project frontage and a concrete bus pad does not already exist</td> </tr> </tbody> </table>	Improvement	Required by code or when...	Bus boarding bulbs or islands	A bus boarding bulb or island does not already exist and a bus stop is located along the project frontage; and/or A bus stop along the project frontage serves a route with 15 minutes or better peak hour service and has a shared bus-bike lane curb	Bus shelter	A stop with no shelter is located within the project frontage, or The project is located within 0.10 miles of a flag stop with 25 or more boardings per day	Concrete bus pad	A bus stop is located along the project frontage and a concrete bus pad does not already exist			
Improvement	Required by code or when...										
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Standard Conditions of Approval/ Mitigation Measures		Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
		When Required	Initial Approval	Monitoring/ Inspection
Curb extensions or bulb-outs	Identified as an improvement within site analysis			
Implementation of a corridor-level bikeway improvement	A buffered Class II or Class IV bikeway facility is in a local or county adopted plan within 0.10 miles of the project location; and The project would generate 500 or more daily bicycle trips			
Implementation of a corridor-level transit capital improvement	A high-quality transit facility is in a local or county adopted plan within 0.25 miles of the project location; and The project would generate 400 or more peak period transit trips			
Installation of amenities such as lighting; pedestrian-oriented green infrastructure, trees, or other greening landscape; and trash receptacles per the Pedestrian Master Plan and any applicable streetscape plan.	Always required			
Installation of safety improvements identified in the Pedestrian Master Plan (such as crosswalk striping,	When improvements are identified in the Pedestrian Master Plan along project frontage or at an adjacent intersection			

Standard Conditions of Approval/ Mitigation Measures		Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
		When Required	Initial Approval	Monitoring/ Inspection
curb ramps, count down signals, bulb outs, etc.)				
In-street bicycle corral	A project includes more than 10,000 square feet of ground floor retail, is located along a Tier 1 bikeway, and on-street vehicle parking is provided along the project frontages.			
Intersection improvements ^a	Identified as an improvement within site analysis			
New sidewalk, curb ramps, curb and gutter meeting current City and ADA standards	Always required			
No monthly permits and establish minimum price floor for public parking ^b	If proposed parking ratio exceeds 1:1000 sf. (commercial)			
Parking garage is designed with retrofit capability	Optional if proposed parking ratio exceeds 1:1.25 (residential) or 1:1000 sf. (commercial)			
Parking space reserved for car share	If a project is providing parking and a project is located within downtown. One car share space reserved for buildings between 50 – 200 units, then one car share space per 200 units.			
Paving, lane striping or restriping (vehicle and bicycle), and signs	Typically required			

Standard Conditions of Approval/ Mitigation Measures		Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
		When Required	Initial Approval	Monitoring/ Inspection
to midpoint of street section				
Pedestrian crossing improvements	Identified as an improvement within site analysis			
Pedestrian-supportive signal changes ^c	Identified as an improvement within operations analysis			
Real-time transit information system	A project frontage block includes a bus stop or BART station and is along a Tier 1 transit route with 2 or more routes or peak period frequency of 15 minutes or better			
Relocating bus stops to far side	A project is located within 0.10 mile of any active bus stop that is currently near-side			
Signal upgrades ^d	Project size exceeds 100 residential units, 80,000 sf. of retail, or 100,000 sf. of commercial; and Project frontage abuts an intersection with signal infrastructure older than 15 years			
Transit queue jumps	Identified as a needed improvement within operations analysis of a project with frontage along a Tier 1 transit route with 2 or more routes or peak period frequency of 15 minutes or better			
Trenching and placement of conduit for providing traffic signal interconnect	Project size exceeds 100 units, 80,000 sf. of retail, or 100,000 sf. of commercial; and Project frontage block is identified for signal interconnect improvements as part of a planned ITS improvement; and A major transit improvement is identified within operations analysis requiring traffic signal interconnect			

Standard Conditions of Approval/ Mitigation Measures		Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
		When Required	Initial Approval	Monitoring/ Inspection
Unbundled parking	If proposed parking ratio exceeds 1:1.25 (residential)			
<p>^a Including but not limited to visibility improvements, shortening corner radii, pedestrian safety islands, accounting for pedestrian desire lines.</p> <p>^b May also provide a cash incentive or transit pass alternative to a free parking space in commercial properties.</p> <p>^c Including but not limited to reducing signal cycle lengths to less than 90 seconds to avoid pedestrian crossings against the signal, providing a leading pedestrian interval, provide a “scramble” signal phase where appropriate.</p> <p>^d Including typical traffic lights, pedestrian signals, bike actuated signals, transit-only signals.</p> <p>v. Other TDM strategies to consider include, but are not limited to, the following: Inclusion of additional long-term and short-term bicycle parking that meets the design standards set forth in Chapter five of the Bicycle Master Plan and the Bicycle Parking Ordinance (Chapter 17.117 of the Oakland Planning Code), and shower and locker facilities in commercial developments that exceed the requirement. Construction of and/or access to bikeways per the Bicycle Master Plan; construction of priority bikeways, on-site signage and bike lane striping. Installation of safety elements per the Pedestrian Master Plan (such as crosswalk striping, curb ramps, count down signals, bulb outs, etc.) to encourage convenient and safe crossing at arterials, in addition to safety elements required to address safety impacts of the project. Installation of amenities such as lighting, street trees, and trash receptacles per the Pedestrian Master Plan, the Master Street Tree List and Tree Planting Guidelines (which can be viewed at http://www2.oaklandnet.com/oakca1/groups/pwa/documents/report/oak042662.pdf and http://www2.oaklandnet.com/oakca1/groups/pwa/documents/form/oak025595.pdf, respectively) And any applicable streetscape plan.</p>				

	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>Standard Conditions of Approval/ Mitigation Measures</p> <p>Construction and development of transit stops/shelters, pedestrian access, way finding signage, and lighting around transit stops per transit agency plans or negotiated improvements.</p> <p>Direct on-site sales of transit passes purchased and sold at a bulk group rate (through programs such as AC Transit Easy Pass or a similar program through another transit agency).</p> <p>Provision of a transit subsidy to employees or residents, determined by the project applicant and subject to review by the City, if employees or residents use transit or commute by other alternative modes.</p> <p>Provision of an ongoing contribution to transit service to the area between the project and nearest mass transit station prioritized as follows: 1) Contribution to AC Transit bus service; 2) Contribution to an existing area shuttle service; and 3) Establishment of new shuttle service. The amount of contribution (for any of the above scenarios) would be based upon the cost of establishing new shuttle service (Scenario 3).</p> <p>Guaranteed ride home program for employees, either through 511.org or through separate program.</p> <p>Pre-tax commuter benefits (commuter checks) for employees.</p> <p>Free designated parking spaces for on-site car-sharing program (such as City Car Share, Zip Car, etc.) and/or car-share membership for employees or tenants.</p> <p>On-site carpooling and/or vanpool program that includes preferential (discounted or free) parking for carpools and vanpools.</p> <p>Distribution of information concerning alternative transportation options.</p> <p>Parking spaces sold/leased separately for residential units. Charge employees for parking, or provide a cash incentive or transit pass alternative to a free parking space in commercial properties.</p> <p>Parking management strategies including attendant/valet parking and shared parking spaces.</p> <p>Requiring tenants to provide opportunities and the ability to work off-site.</p> <p>Allow employees or residents to adjust their work schedule in order to complete the basic work requirement of five eight-hour workdays by adjusting their</p>			

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
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<p>schedule to reduce vehicle trips to the worksite (e.g., working four, ten-hour days; allowing employees to work from home two days per week). Provide or require tenants to provide employees with staggered work hours involving a shift in the set work hours of all employees at the workplace or flexible work hours involving individually determined work hours. The TDM Plan shall indicate the estimated VTR for each strategy, based on published research or guidelines where feasible. For TDM Plans containing ongoing operational VTR strategies, the Plan shall include an ongoing monitoring and enforcement program to ensure the Plan is implemented on an ongoing basis during project operation. If an annual compliance report is required, as explained below, the TDM Plan shall also specify the topics to be addressed in the annual report.</p> <p><i>b. TDM Implementation – Physical Improvements</i> For VTR strategies involving physical improvements, the project applicant shall obtain the necessary permits/approvals from the City and install the improvements prior to the completion of the project.</p> <p><i>c. TDM Implementation – Operational Strategies</i> For projects that generate 100 or more net new a.m. or p.m. peak hour vehicle trips and contain ongoing operational VTR strategies, the project applicant shall submit an annual compliance report for the first five years following completion of the project (or completion of each phase for phased projects) for review and approval by the City. The annual report shall document the status and effectiveness of the TDM program, including the actual VTR achieved by the project during operation. If deemed necessary, the City may elect to have a peer review consultant, paid for by the project applicant, review the annual report. If timely reports are not submitted and/or the annual reports indicate that the project applicant has failed to implement the TDM Plan, the project will be considered in violation of the Conditions of Approval and the City may initiate enforcement action as provided for in these Conditions of Approval. The project shall not be considered in violation of this Condition if the TDM Plan is implemented but the VTR goal is not achieved.</p>			

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>SCA-TRAN-5: Transportation Impact Fee (#80). The project applicant shall comply with the requirements of the City of Oakland Transportation Impact Fee Ordinance (chapter 15.74 of the Oakland Municipal Code).</p>	Prior to issuance of building permit	Bureau of Building	N/A
<p>SCA-TRAN-6: Plug-In Electric Vehicle (PEV) Charging Infrastructure (#83).</p> <p><i>a. PEV-Ready Parking Spaces</i> The applicant shall submit, for review and approval of the Building Official and the Zoning Manager, plans that show the location of parking spaces equipped with full electrical circuits designated for future PEV charging (i.e. "PEV-Ready") per the requirements of Chapter 15.04 of the Oakland Municipal Code. Building electrical plans shall indicate sufficient electrical capacity to supply the required PEV-Ready parking spaces.</p> <p><i>b. PEV-Capable Parking Spaces</i> The applicant shall submit, for review and approval of the Building Official, plans that show the location of inaccessible conduit to supply PEV-capable parking spaces per the requirements of Chapter 15.04 of the Oakland Municipal Code. Building electrical plans shall indicate sufficient electrical capacity to supply the required PEV-capable parking spaces.</p> <p><i>c. ADA-Accessible Spaces</i> The applicant shall submit, for review and approval of the Building Official, plans that show the location of future accessible EV parking spaces as required under Title 24 Chapter 11B Table 11B-228.3.2.1, and specify plans to construct all future accessible EV parking spaces with appropriate grade, vertical clearance, and accessible path of travel to allow installation of accessible EV charging station(s).</p>	<p>a. Prior to issuance of building permit</p> <p>b. Prior to issuance of building permit</p> <p>c. Prior to issuance of building permit</p>	<p>a. Bureau of Building</p> <p>b. Bureau of Building</p> <p>c. Bureau of Building</p>	<p>a. Bureau of Building</p> <p>b. Bureau of Building</p> <p>c. Bureau of Building</p>
Utilities and Service Systems			
<p>SCA-UTIL-1: Construction and Demolition Waste Reduction and Recycling (#84). The project applicant shall comply with the City of Oakland Construction and Demolition Waste Reduction and Recycling Ordinance (chapter 15.34 of the Oakland Municipal Code) by submitting a Construction and Demolition Waste</p>	Prior to approval of construction-related permit	Public Works Department, Environmental Services Department	Public Works Department, Environmental Services Department

	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
Standard Conditions of Approval/ Mitigation Measures			
Reduction and Recycling Plan (WRRP) for City review and approval, and shall implement the approved WRRP. Projects subject to these requirements include all new construction, renovations/alterations/modifications with construction values of \$50,000 or more (except R-3 type construction), and all demolition (including soft demolition) except demolition of type R-3 construction. The WRRP must specify the methods by which the project will divert construction and demolition debris waste from landfill disposal in accordance with current City requirements. The WRRP may be submitted electronically at www.greenhalosystems.com or manually at the City's Green Building Resource Center. Current standards, FAQs, and forms are available on the City's website and in the Green Building Resource Center.			
SCA-UTIL-2: Underground Utilities (#85). The project applicant shall place underground all new utilities serving the project and under the control of the project applicant and the City, including all new gas, electric, cable, and telephone facilities, fire alarm conduits, street light wiring, and other wiring, conduits, and similar facilities. The new facilities shall be placed underground along the project's street frontage and from the project structures to the point of service. Utilities under the control of other agencies, such as PG&E, shall be placed underground if feasible. All utilities shall be installed in accordance with standard specifications of the serving utilities.	During construction	N/A	Bureau of Building
SCA-UTIL-3: Recycling Collection and Storage Space (#86). The project applicant shall comply with the City of Oakland Recycling Space Allocation Ordinance (Chapter 17.118 of the Oakland Planning Code). The project drawings submitted for construction-related permits shall contain recycling collection and storage areas in compliance with the Ordinance. For residential projects, at least two (2) cubic feet of storage and collection space per residential unit is required, with a minimum of ten (10) cubic feet. For nonresidential projects, at least two (2) cubic feet of storage and collection space per 1,000 square feet of building floor area is required, with a minimum of ten (10) cubic feet.	Prior to approval of construction-related permit	Bureau of Planning	Bureau of Building

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>SCA-UTIL-4: Green Building Requirements (#88).</p> <p><i>a. Compliance with Green Building Requirements During Plan-Check</i> The project applicant shall comply with the requirements of the California Green Building Standards (CALGreen) mandatory measures and the applicable requirements of the City of Oakland Green Building Ordinance (Chapter 18.02 of the Oakland Municipal Code).</p> <p>i. The following information shall be submitted to the City for review and approval with the application for a building permit: Documentation showing compliance with Title 24 of the current version of the California Building Energy Efficiency Standards. Completed copy of the final green building checklist approved during the review of the Planning and Zoning permit. Copy of the Unreasonable Hardship Exemption, if granted, during the review of the Planning and Zoning permit. Permit plans that show, in general notes, detailed design drawings, and specifications as necessary, compliance with the items listed in subsection (ii) below. Copy of the signed statement by the Green Building Certifier approved during the review of the Planning and Zoning permit that the project complied with the requirements of the Green Building Ordinance. Signed statement by the Green Building Certifier that the project still complies with the requirements of the Green Building Ordinance, unless an Unreasonable Hardship Exemption was granted during the review of the Planning and Zoning permit. Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.</p> <p>ii. The set of plans in subsection (i) shall demonstrate compliance with the following: CALGreen mandatory measures. 53 points per the appropriate checklist approved during the Planning entitlement process.</p>	<p>a. Prior to approval of construction-related permit</p> <p>b. During construction</p> <p>c. Prior to final approval</p>	<p>a. Bureau of Building</p> <p>b. N/A</p> <p>c. Bureau of Planning</p>	<p>a. N/A</p> <p>b. Bureau of Building</p> <p>c. Bureau of Building</p>

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>All green building points identified on the checklist approved during review of the Planning and Zoning permit, unless a Request for Revision Plan-check application is submitted and approved by the Bureau of Planning that shows the previously approved points that will be eliminated or substituted.</p> <p>The required green building point minimums in the appropriate credit categories.</p> <p>b. Compliance with Green Building Requirements During Construction The project applicant shall comply with the applicable requirements of CALGreen and the Oakland Green Building Ordinance during construction of the project.</p> <p>The following information shall be submitted to the City for review and approval:</p> <p>i. Completed copies of the green building checklists approved during the review of the Planning and Zoning permit and during the review of the building permit.</p> <p>ii. Signed statement(s) by the Green Building Certifier during all relevant phases of construction that the project complies with the requirements of the Green Building Ordinance.</p> <p>iii. Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.</p> <p>c. Compliance with Green Building Requirements After Construction Prior to the finaling the Building Permit, the Green Building Certifier shall submit the appropriate documentation to City staff and attain the minimum required point level.</p>			
<p>SCA-UTIL-5: Sanitary Sewer System (#89). The project applicant shall prepare and submit a Sanitary Sewer Impact Analysis to the City for review and approval in accordance with the City of Oakland Sanitary Sewer Design Guidelines. The Impact Analysis shall include an estimate of pre-project and post-project wastewater flow from the project site. In the event that the Impact Analysis indicates that the net increase in project wastewater flow exceeds City-projected increases in wastewater flow in the sanitary sewer system, the project applicant shall pay the Sanitary Sewer Impact Fee in accordance with the</p>	Prior to approval of construction-related permit	Public Works Department, Department of Engineering and Construction	N/A

Standard Conditions of Approval/ Mitigation Measures	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
City's Master Fee Schedule for funding improvements to the sanitary sewer system.			
<p>SCA-UTIL-6: Storm Drain System (#90). The project storm drainage system shall be designed in accordance with the City of Oakland's Storm Drainage Design Guidelines. To the maximum extent practicable, peak stormwater runoff from the project site shall be reduced by at least 25 percent compared to the pre-project condition.</p>	Prior to approval of construction-related permit	Bureau of Building	Bureau of Building
<p>SCA-UTIL-7: Recycled Water (#91). Pursuant to section 16.08.030 of the Oakland Municipal Code, the project applicant shall provide for the use of recycled water in the project for landscape irrigation purposes unless the City determines that there is a higher and better use for the recycled water, the use of recycled water is not economically justified for the project, or the use of recycled water is not financially or technically feasible for the project. The project applicant shall contact the New Business Office of the East Bay Municipal Utility District (EBMUD) for a recycled water feasibility assessment by the Office of Water Recycling. If recycled water is to be provided in the project, the project drawings submitted for construction-related permits shall include the proposed recycled water system and the project applicant shall install the recycled water system during construction.</p>	Prior to approval of construction-related permit	Bureau of Planning; Bureau of Building	Bureau of Building
<p>SCA-UTIL-8: Water Efficient Landscape Ordinance (WELO) (#92). The project applicant shall comply with California's Water Efficient Landscape Ordinance (WELO) in order to reduce landscape water usage. For any landscape project with an aggregate (total noncontiguous) landscape area equal to 2,500 sq. ft. or less. The project applicant may implement either the Prescriptive Measures or the Performance Measures, of, and in accordance with the California's Model Water Efficient Landscape Ordinance. For any landscape project with an aggregate (total noncontiguous) landscape area over 2,500 sq. ft., the project applicant shall implement the Performance Measures in accordance with the WELO. <i>Prescriptive Measures:</i> Prior to construction, the project applicant shall submit documentation showing compliance with Appendix D of California's Model Water Efficient Landscape Ordinance (see website below starting on page 23):</p>	Prior to approval of construction-related permit	Bureau of Planning	Bureau of Building

	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>Standard Conditions of Approval/ Mitigation Measures</p> <p>http://www.water.ca.gov/wateruseefficiency/landscapeordinance/docs/Title%2023%20extract%20-%20Official%20CCR%20pages.pdf</p> <p><i>Performance Measures</i></p> <p>Prior to construction, the project applicant shall prepare and submit a Landscape Documentation Package for review and approval, which includes the following</p> <p>a. Project Information:</p> <ul style="list-style-type: none"> i. Date, ii. Applicant and property owner name, iii. Project address, iv. Total landscape area, v. Project type (new, rehabilitated, cemetery, or home owner installed), vi. Water supply type and water purveyor, vii. Checklist of documents in the package, and viii. Applicant signature and date with the statement: "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package." <p>b. Water Efficient Landscape Worksheet</p> <ul style="list-style-type: none"> i. Hydrozone Information Table ii. Water Budget Calculations with Maximum Applied Water Allowance (MAWA) and Estimated Total Water Use <p>c. Soil Management Report</p> <p>d. Landscape Design Plan</p> <p>e. Irrigation Design Plan, and</p> <p>f. Grading Plan</p> <p>Upon installation of the landscaping and irrigation systems, the Project applicant shall submit a Certificate of Completion and landscape and irrigation maintenance schedule for review and approval by the City. The Certificate of Compliance shall</p>			

	Standard Conditions of Approval and Mitigation Measures Implementation/Monitoring		
	When Required	Initial Approval	Monitoring/ Inspection
<p>Standard Conditions of Approval/ Mitigation Measures</p> <p>also be submitted to the local water purveyor and property owner or his or her designee.</p> <p>For the specific requirements within the Water Efficient Landscape Worksheet, Soil Management Report, Landscape Design Plan, Irrigation Design Plan and Grading Plan, see the link below.</p> <p>http://www.water.ca.gov/wateruseefficiency/landscapeordinance/docs/Title%2023%20extract%20-%20Official%20CCR%20pages.pdf</p>			
Other Standard Conditions			
<p>SCA-OTHER-1: Employee Rights (#99).</p> <p>The project applicant and business owners in the project shall comply with all state and federal laws regarding employees' right to organize and bargain collectively with employers and shall comply with the City of Oakland Minimum Wage Ordinance (chapter 5.92 of the Oakland Municipal Code).</p>	Ongoing	N/A	N/A

THE PHOENIX

FINAL DEVELOPMENT PLAN FOR PHASE 1

801 PINE STREET

OAKLAND, CALIFORNIA 94607

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#	DATE	ISSUES & REVISIONS	BY
04/04/2018	PLANNING SUBMITTAL	NG	
08/24/2018	PLANNING RESUBMITTAL	NG	
12/03/2018	PLANNING RESUBMITTAL	PS	

DRAWN BY: Author
PROJECT NUMBER: 18-010
SHEET ISSUE DATE: 03/21/18
SHEET TITLE:

COVER SHEET

SHEET NUMBER

P0.0

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PLANNING RESUBMITTAL 12/03/2018

DRAWING LIST

DRAWING LIST	
SHEET NUMBER	SHEET NAME
P0.0	COVER SHEET
P0.1	PROJECT INFORMATION
P0.2	EXISTING CONDITIONS
P0.3	EXISTING CONDITIONS
P0.4	EXISTING CONDITIONS
P0.5	GPR CHECKLIST & FIRE ACCESS DIAGRAM
C-1.0	TITLE SHEET
C-2.0	GRADING & UTILITY PLAN
ER-1	EROSION CONTROL
SW-1	CONCEPTUAL STORMWATER TREATMENT & MANAGEMENT PLAN
L1.0	TREE SURVEY PLAN
L1.01	LANDSCAPE MATERIALS PLAN
L2.01	LANDSCAPE PLANTING PLAN
L2.02	PLANTING PALETTE
P1.0	SITE PLAN
P2.1	GROUND FLOOR PLAN
P2.2	SECOND LEVEL PLAN
P2.3	THIRD LEVEL PLAN
P2.4	FOURTH LEVEL PLAN
P2.5	ROOF PLAN
P3.0	BUILDING ELEVATIONS
P3.1	BUILDING ELEVATIONS
P3.2	BUILDING ELEVATIONS
P4.0	BUILDING SECTIONS
P4.1	BUILDING SECTIONS
P5.0	ENLARGED UNIT PLANS
P5.2	PERSPECTIVE DRAWINGS
P6.0	PERSPECTIVE DRAWINGS
P7.0	LIGHTING PLAN
P7.1	LIGHTING PLAN
P7.2	LIGHTING PLAN

FOR REFERENCE ONLY: ALTA SURVEY

PROJECT DIRECTORY

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		ELECTRICAL ENGINEER:	FARD 309 LENNON LANE, SUITE 200 WALNUT CREEK, CA 94598 MAX SAIDNIA PHONE 925-5505 X203 MAX@FARD.COM309

PROPOSED PROJECT



PINE STREET VIEW

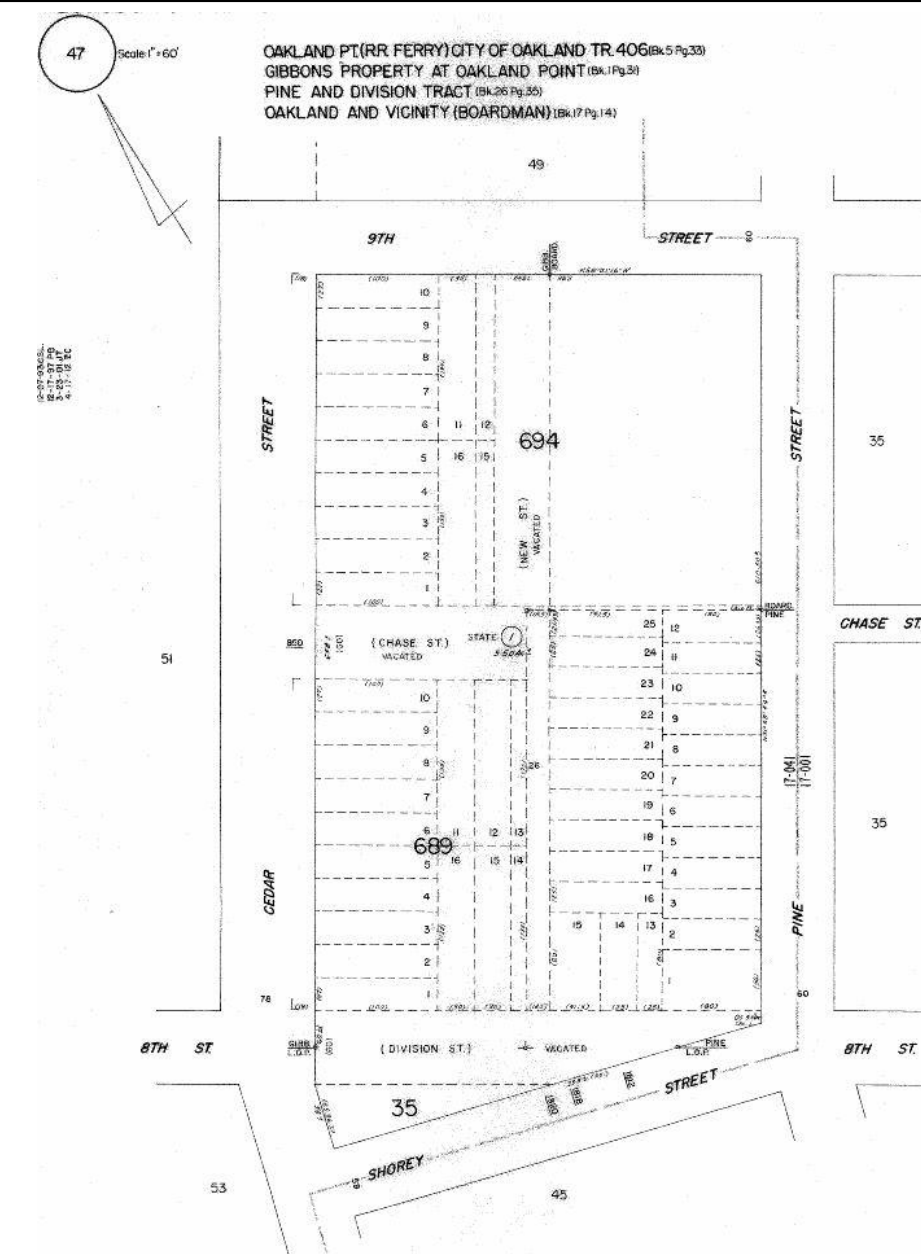
PROJECT LOCATION



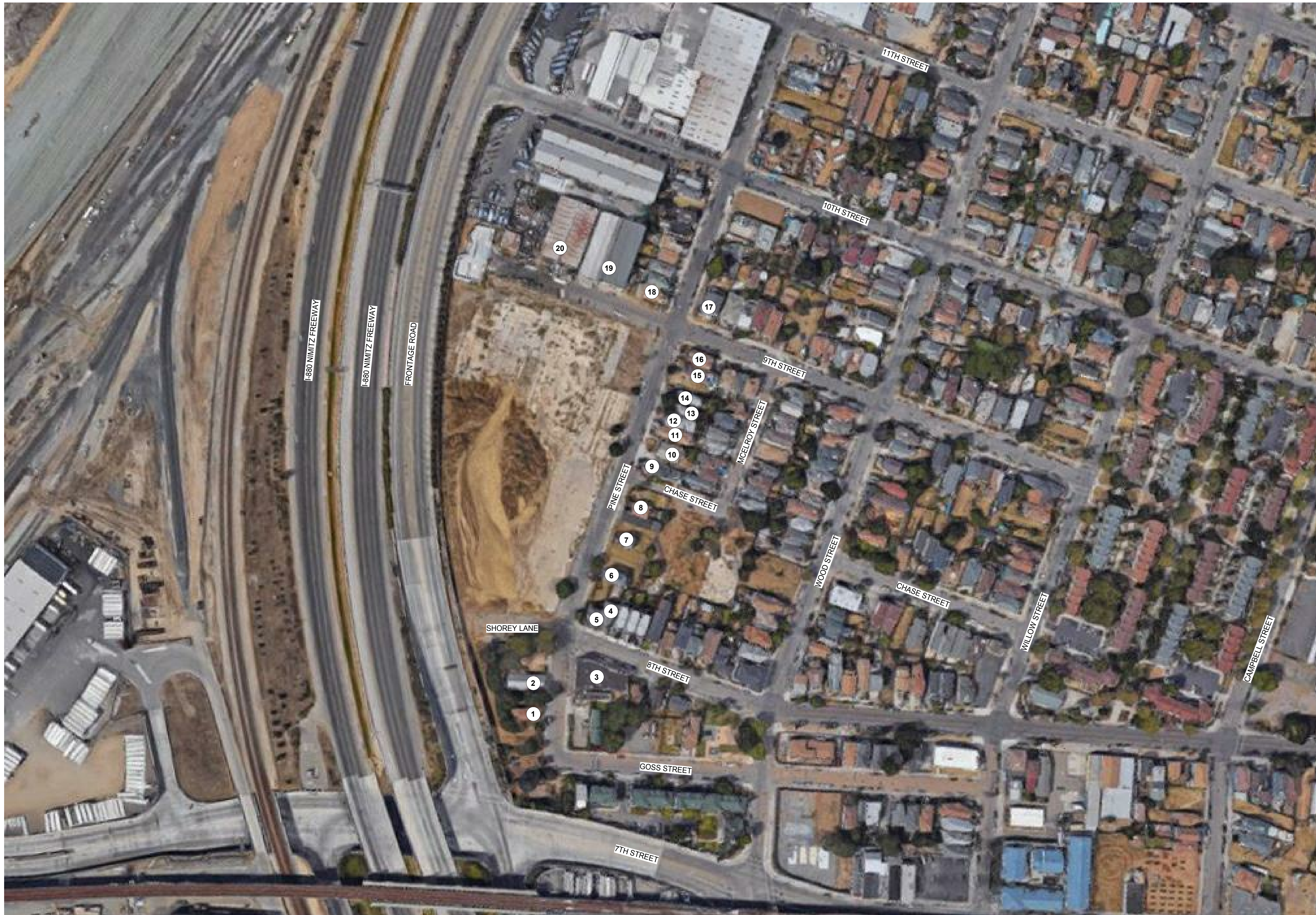
PROJECT LOCATION



PARCEL MAP



6-47-1



THE PHOENIX

801 PINE STREET, OAKLAND, CA 94607

URBAN DESIGNS LLC

1201 Pine St, Suite 151
Oakland, CA 94607

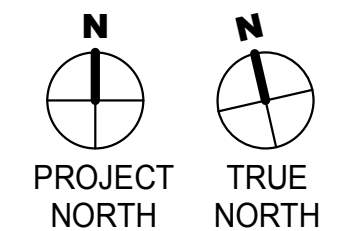
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	04/04/2018	PLANNING SUBMITTAL	NG
	08/24/2018	PLANNING RESUBMITTAL	NG
	12/03/2018	PLANNING RESUBMITTAL	PS



DRAWN BY: Author
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SHEET TITLE:

EXISTING CONDITIONS

SHEET NUMBER **P0.2**

NOTE: SEE SHEET P0.5 FOR PHOTOS OF ADJACENT PROPERTIES CORRESPONDING TO THE NUMBERS ON THIS PLAN.

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THE PHOENIX

801 PINE STREET, OAKLAND, CA 94607

URBAN DESIGNS LLC

1201 Pine St, Suite 151
Oakland, CA 94607

ARCHITECT STAMP

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DRAWN BY: Author
PROJECT NUMBER: 18-010
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SHEET TITLE:

**EXISTING
CONDITIONS**

SHEET NUMBER

P0.3

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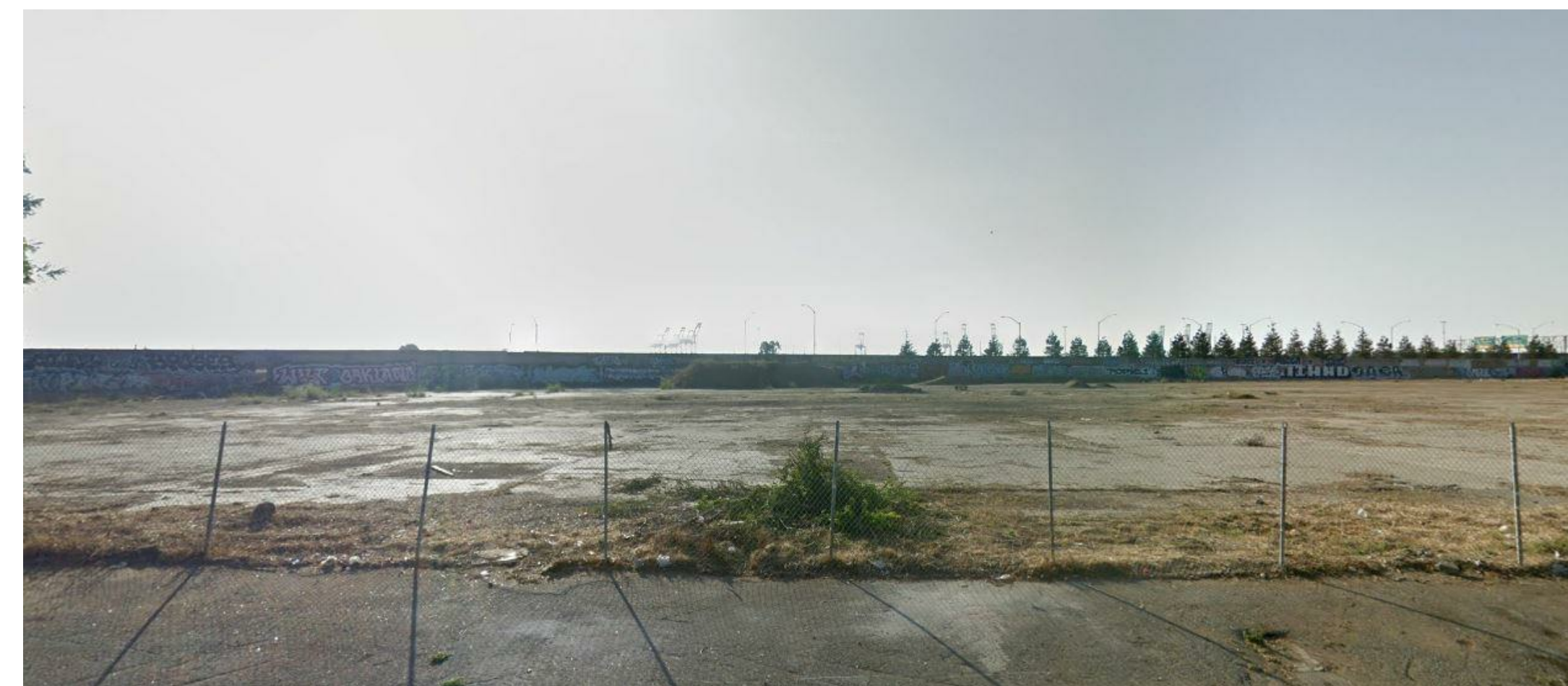
① FROM CORNER OF 9TH ST & PINE ST
1/8" = 1'-0"



③ FROM CORNER OF 8TH ST & PINE ST
1/8" = 1'-0"



② FROM END OF 9TH STREET
1/8" = 1'-0"



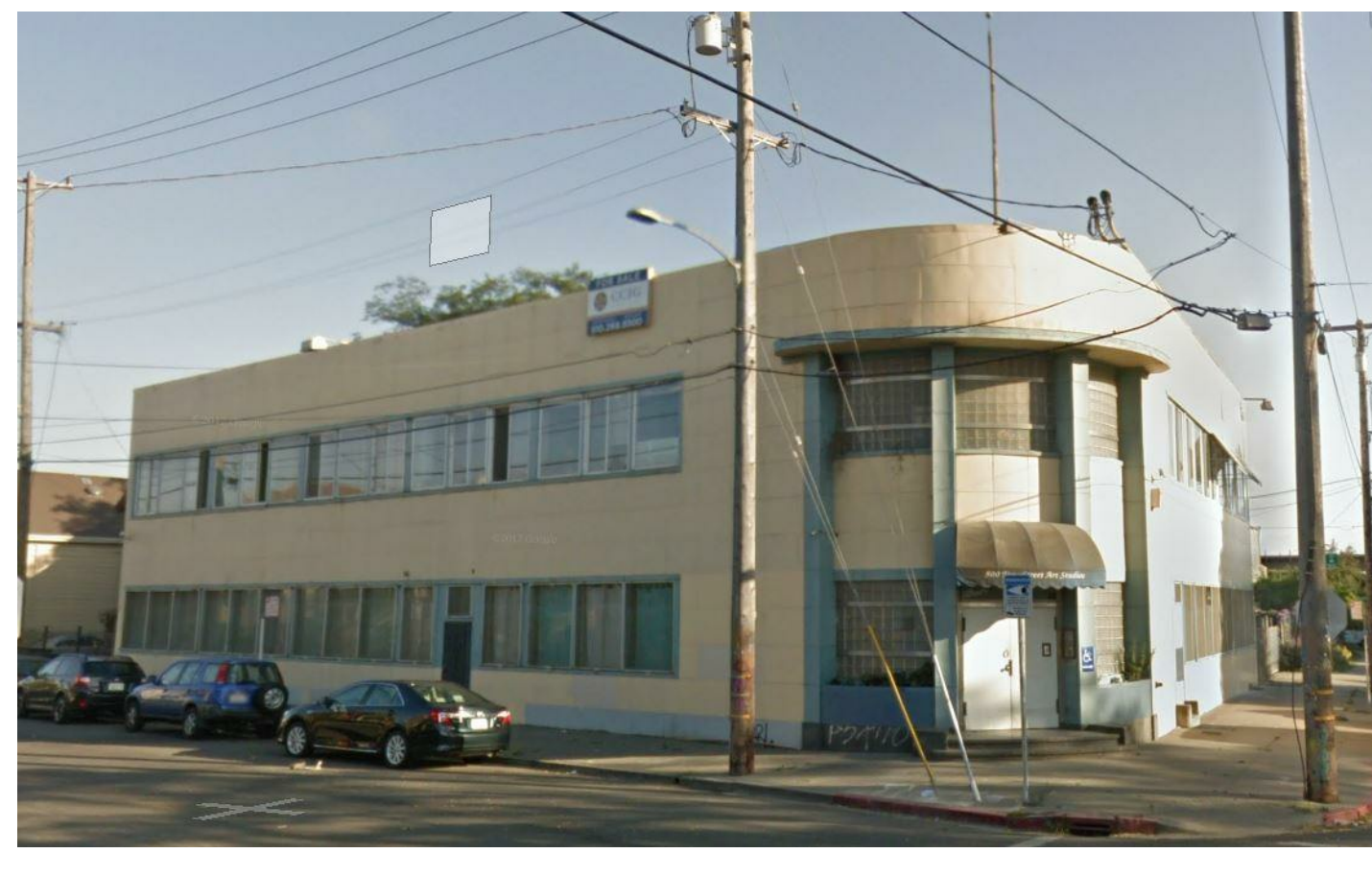
④ FROM ACROSS PINE STREET
1/8" = 1'-0"



① 759 Pine St
1/8" = 1'-0"



② 767 Pine St
3/32" = 1'-0"



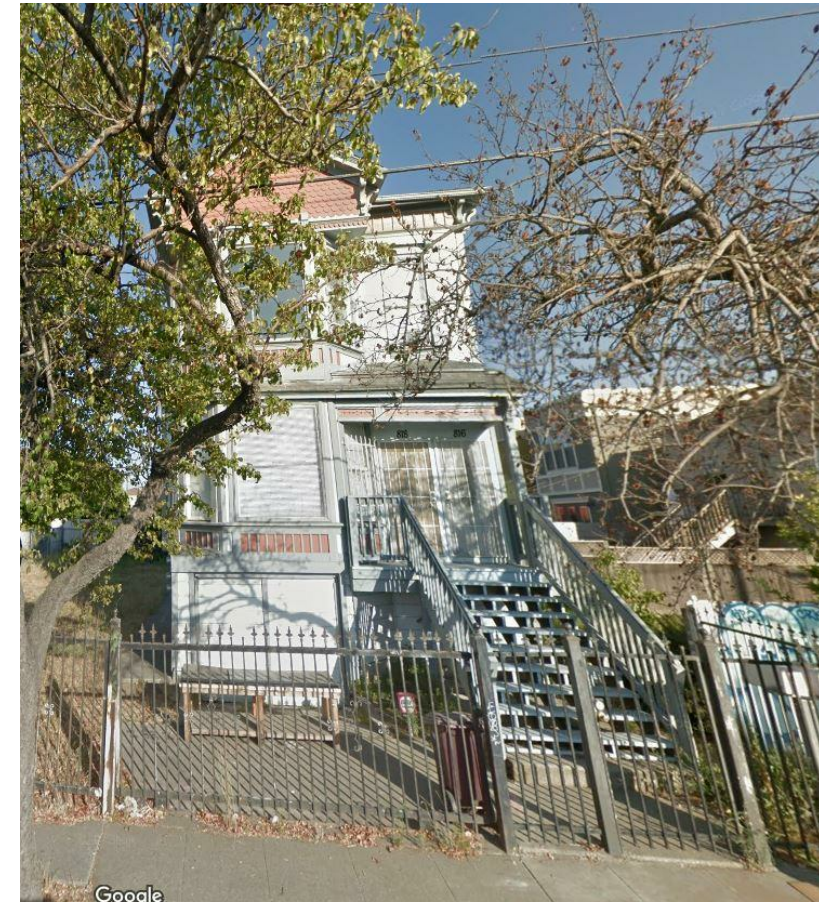
③ 800 Pine St
1/16" = 1'-0"



④ 1794 8th St
1/16" = 1'-0"



⑤ 1796 8th St
1/16" = 1'-0"



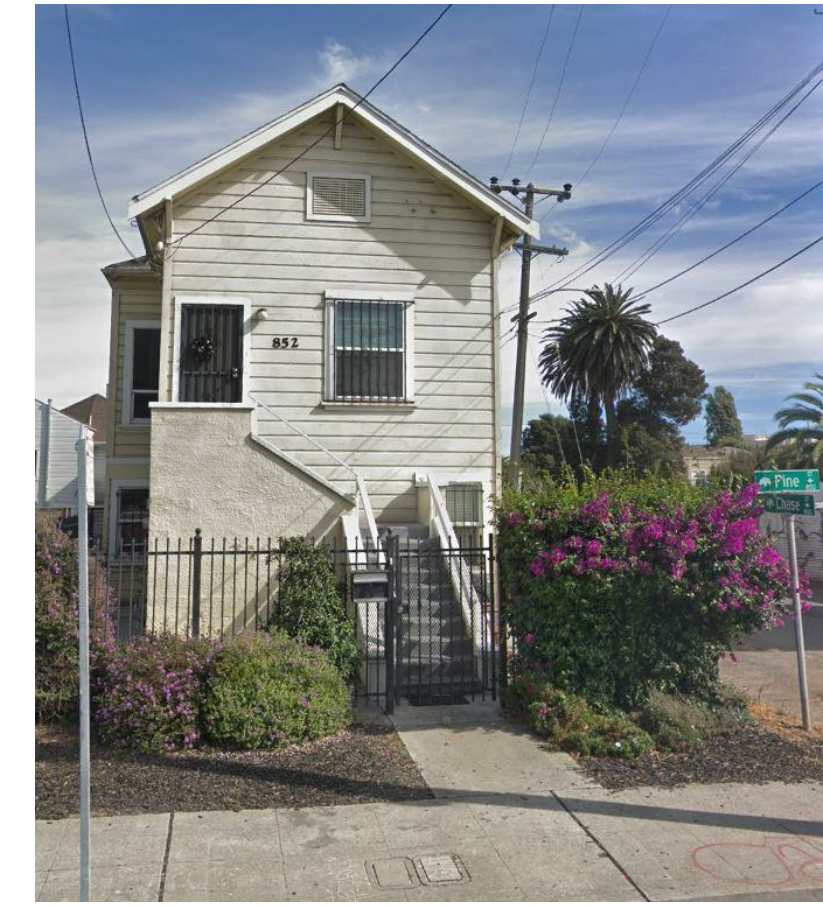
⑥ 816 Pine St
1/16" = 1'-0"



⑦ 830 Pine St
1/16" = 1'-0"



⑧ 840 Pine Street
1/8" = 1'-0"



⑨ 852 Chase St
1/8" = 1'-0"



⑩ 858 Pine St
1/8" = 1'-0"



⑪ 862 Pine St
1/8" = 1'-0"



⑫ 866 Pine St
1/8" = 1'-0"



⑬ 870 Pine St
1/8" = 1'-0"



⑭ 874 Pine St
1/8" = 1'-0"



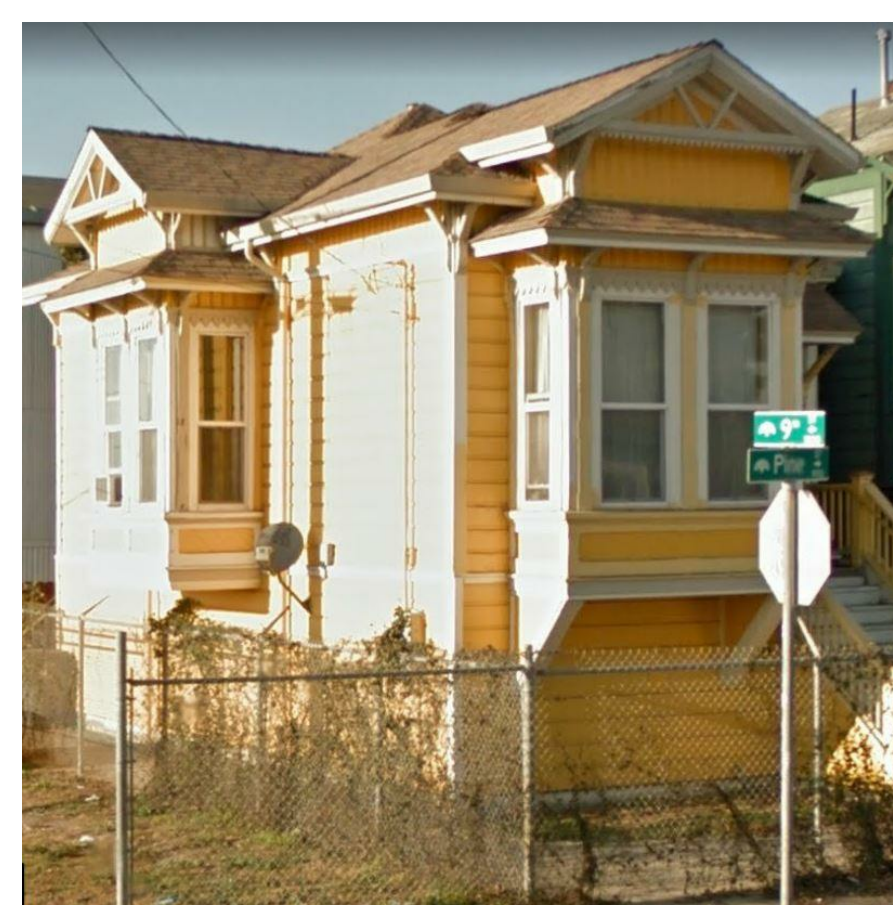
⑮ 882 Pine St
1/8" = 1'-0"



⑯ 886 Pine St
1/8" = 1'-0"



⑰ 1798 9th St
1/8" = 1'-0"



⑱ 903 Pine St
1/8" = 1'-0"



⑲ 1822 9th St
1/8" = 1'-0"



⑳ 1832 9th St
1/8" = 1'-0"

THE PHOENIX

801 PINE STREET, OAKLAND, CA 94607

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1201 Pine St, Suite 151
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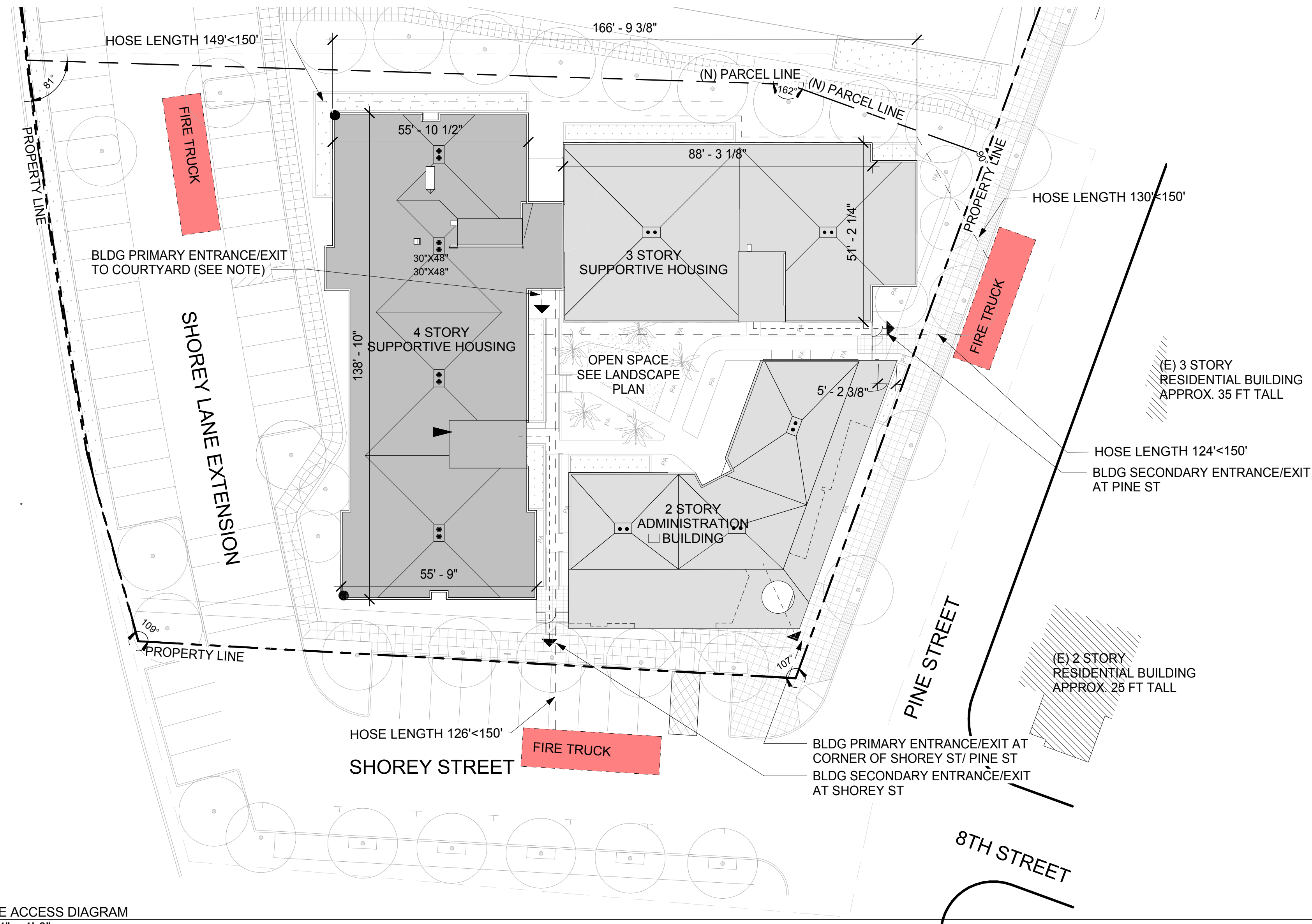
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	08/24/2018	PLANNING RESUBMITTAL	NG
	12/03/2018	PLANNING RESUBMITTAL	PS

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SHEET TITLE:

**EXISTING
CONDITIONS**

SHEET NUMBER
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1 FIRE ACCESS DIAGRAM
3/64" = 1'-0"

NOTE: RESIDENTS IN SUPPORTIVE HOUSING TO GO THROUGH THE ADMINISTRATION BUILDING FOR MAIN ENTRY/EXIT TO THE PROJECT

GreenPointRATED NEW HOME RATING SYSTEM, VERSION 7.0

Blueprint Scoresheet

The Phoenix

Points Targeted	Community	Energy	IndoorHealth	Resources	Water	Responsible Party	Responsible Page No.	
4	1	1	1	1	1			
C. LANDSCAPE								
2.35%	C3. Resource Efficient Landscapes							
1	C3.1 No Invasive Species Listed by Cal-IPC						Landscape Arch	
2	C4. Minimal Turf in Landscape							
2	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide						Landscape Arch	
1	C4.2 Turf on a Small Percentage of Landscaped Area						Landscape Arch	
D. STRUCTURAL FRAME AND BUILDING ENVELOPE								
1	D2. Construction Material Efficiencies							
1	D3. Engineered Lumber							
0.5	D3.2 Wood Joists or Web Trusses for Floors						Lowney/Factory OS	AB01.1
0.5	D3.3 OSB for Subfloor						Lowney/Factory OS	AB01.1
0.5	D3.6 OSB for Wall and Roof Sheathing						Lowney/Factory OS	AB01.1
E. EXTERIOR								
1	E5. Durable Roofing Materials							
1	E5.2 Roofing Warranty for Shingle Roofing							
G. PLUMBING								
1	G1. Efficient Distribution of Domestic Hot Water							
1	G1.1 Insulated Hot Water Pipes						Fair	P0.01
1	G2. Install Water-Efficient Fixtures							
1	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 550 Grams 1.28gpf CW 1.1 gpf						Fair	P0.02
H. HEATING, VENTILATION, AND AIR CONDITIONING								
1	H1. Sealed Combustion Units							
1	H1.1 Sealed Combustion Furnace						Fair	M2.51
1	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality							
1	H6.1 Meet ASHRAE Standard 62.2-2010 Ventilation Residential Standards						Fair	M4.50
J. BUILDING PERFORMANCE AND TESTING								
25.9169	J5.1 Home Outperforms Title 24						30+	Fair
K. FINISHES								
2	K2. Zero-VOC Interior Wall and Ceiling Paints						2	Factory OS
M. APPLIANCES AND LIGHTING								
1	M1. ENERGY STAR® Dishwasher						1	Fair
1	M2. Efficient Clothes Washing and Drying						1	Lowney/Factory OS
N. COMMUNITY								
10	N1. Smart Development						10	stok
2	N1.5 Home Size Efficiency							
1	N2. Home(s) Development Located Near Transit						1	stok
1	N3.2 Community Location						1	stok
2	N10. Affordability						2	
2	N10.1 Dedicated Units for Households Making 80% of AMI or Less						2	
O. OTHER								
2	O1. GreenPoint Rated Checklist in Blueprints						2	
0.5	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors						0.5	
2	O7. Green Appraisal Addendum						2	
2	O11. Smokefree Housing						2	Factory OS
Summary								
375.5	46	110.5	70	95	54			
50	2	25	6	6	6			
32.92	4	22.41	7	16	6.3			

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GPR CHECKLIST & FIRE ACCESS DIAGRAM
SHEET NUMBER **P0.5**

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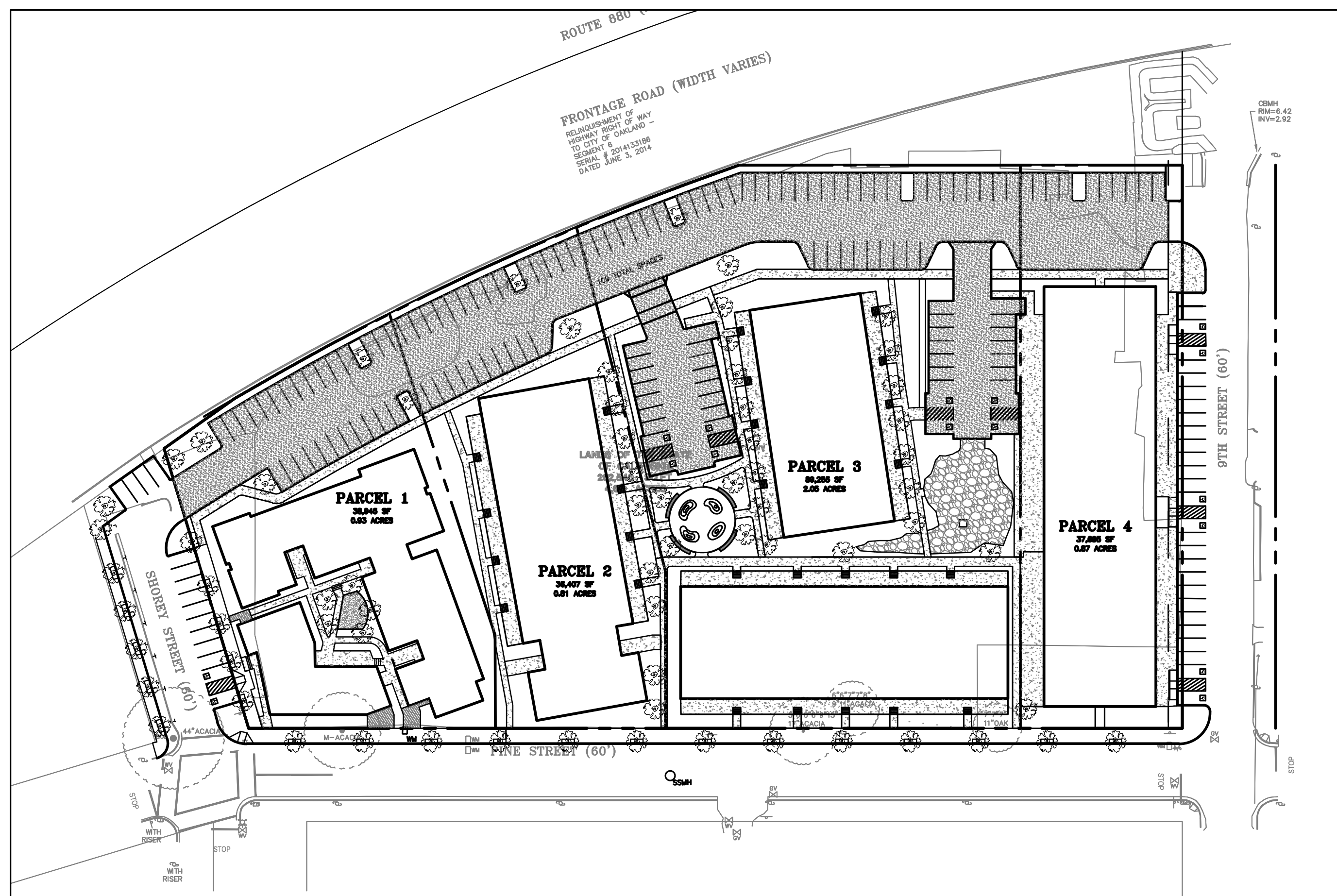
PHOENIX IRON WORKS 800 CEDAR STREET OAKLAND, CALIFORNIA

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	--- RW --- RW ---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	--- TL ---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
CB	CB	CATCH BASIN
JB	JB	JUNCTION BOX
Ad	Ad	AREA DRAIN
SDMH	SDMH	CURB INLET
SSMH	SSMH	STORM DRAIN MANHOLE
222.57 INV	222.57 INV	FIRE HYDRANT
200	200	SANITARY SEWER MANHOLE
200	200	STREET SIGN
200	200	SPOT ELEVATION
200	200	FLOW DIRECTION
200	200	DEMOLISH/REMOVE
200	200	BENCHMARK
200	200	CONTOURS
200	200	TREE TO BE REMOVED
200	200	OVERLAND RELEASE

ABBREVIATIONS

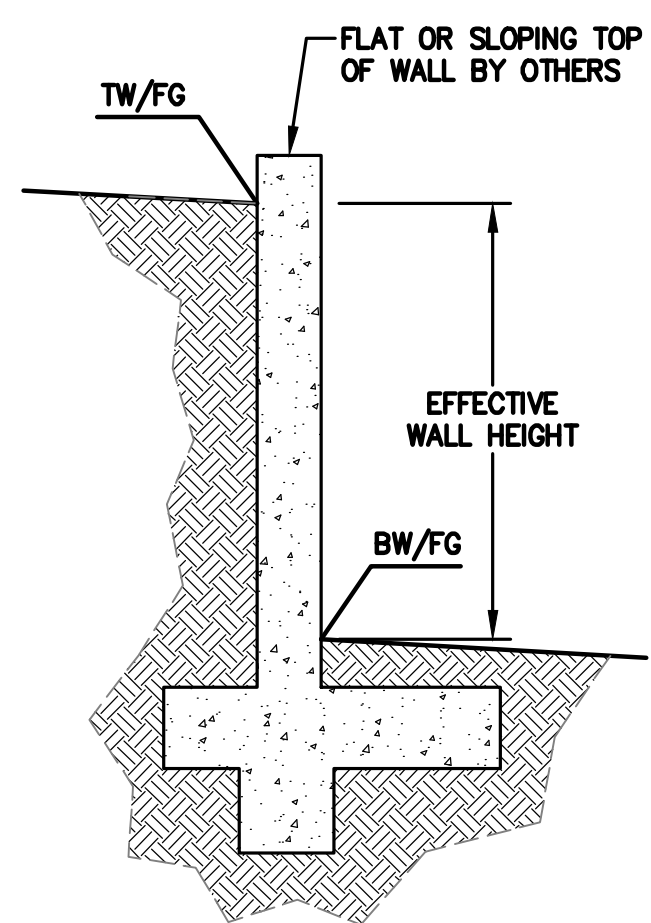
AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	(N)	NEW
BM	BENCHMARK	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH	NTS	NOT TO SCALE
GRADE		O.C.	ON CENTER
CB	CATCH BASIN	O/A	OVER
C & G	CURB AND GUTTER	(PA)	PLANTING AREA
CL	CENTER LINE	PED	PEDESTRIAN
CPP	CORRUGATED PLASTIC PIPE	PIV	POST INDICATOR VALVE
CO	CLEANOUT	PSS	PUBLIC SERVICES EASEMENT
COTG	CLEANOUT TO GRADE	P	PROPERTY LINE
CONC	CONCRETE	PP	POWER POLE
CONST	CONSTRUCT or -TION	PUE	PUBLIC UTILITY EASEMENT
CONC COR	CONCRETE CORNER	PVC	POLYVINYL CHLORIDE
CY	CUBIC YARD	R	RADIUS
D	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DI	DROP INLET	RIM	RIM ELEVATION
DIP	DUCTILE IRON PIPE	RW	RAINWATER
EA	EACH	R/W	RIGHT OF WAY
EC	END OF CURVE	S	SLOPE
EG	EXISTING GRADE	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EL	ELEVATIONS	SAN	SANITARY
EP	EDGE OF PAVEMENT	SD	STORM DRAIN
EQ	EQUIPMENT	SDMH	STORM DRAIN MANHOLE
EW	EACH WAY	SHT	SHEET
(E)	EXISTING	S.L.D.	SEE LANDSCAPE DRAWINGS
FC	FACE OF CURB	SPEC	SPECIFICATION
FF	FINISHED FLOOR	SS	SANITARY SEWER
FG	FINISHED GRADE	SSCO	SANITARY SEWER CLEANOUT
FL	FIRE HYDRANT	SSMH	SANITARY SEWER MANHOLE
FL	FLOW LINE	ST.	STREET
FS	FINISHED SURFACE	STA	STATION
G	GAS	STD	STANDARD
GA	GAGE OR GAUGE	STRUCT	STRUCTURAL
GB	GRADE BREAK	T	TELEPHONE
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	TC	TOP OF CURB
HORIZ	HORIZONTAL	TEMP	TEMPORARY
HI PT	HIGH POINT	TP	TOP OF PAVEMENT
H&T	HUB & TACK	TW/FG	TOP OF WALL/FINISH GRADE
ID	INSIDE DIAMETER	TYP	TYPICAL
INV	INVERT ELEVATION	VC	VERTICAL CURVE
JB	JUNCTION BOX	VCP	VITRIFIED CLAY PIPE
JT	JOINT TRENCH	VERT	VERTICAL
JP	JOINT UTILITY POLE	W/	WITH
L	LENGTH	W, WL	WATER LINE
LNDC	LANDING	WM	WATER METER
		WWF	WELDED WIRE FABRIC



RETAINING WALL NOTES

KEY MAP

- TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT 1" = 60' TOP OF WALL, NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC.
- DIMENSIONS SHOWN IN BRACKETS SHOWN AS [X.X'] DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
- REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.
- REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
- ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING WEEPHOLES TO PREVENT HYDROSTATIC PRESSURE.
- SEE DETAIL SHEET FOR SPECIFIC INFORMATION.
- PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.



ESTIMATED EARTHWORK QUANTITIES

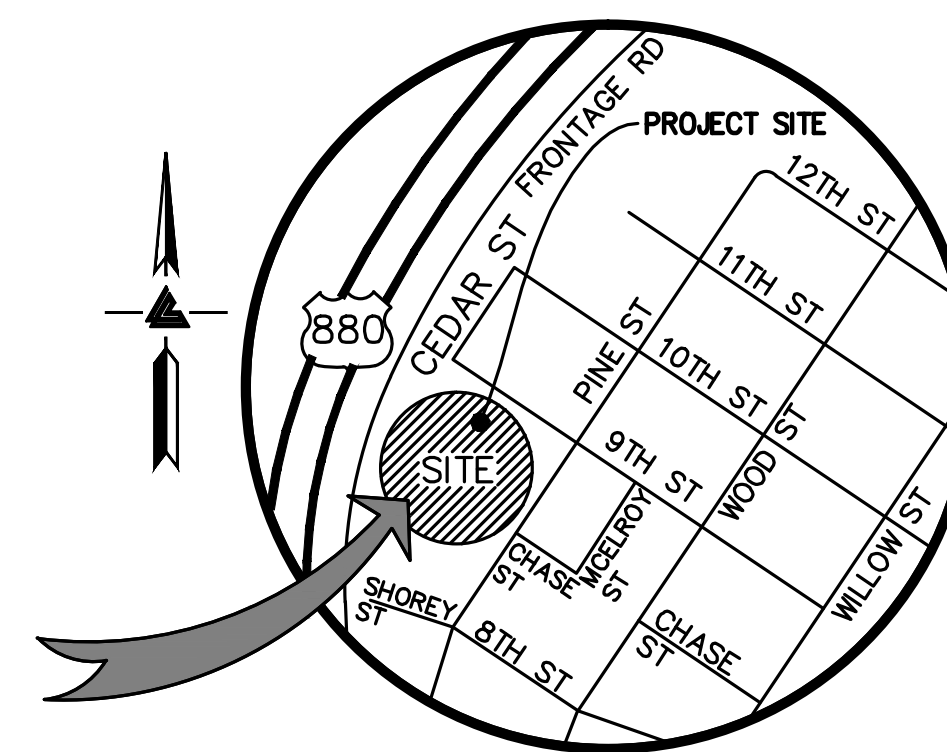
CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	TOTAL CUBIC YARDS
CUT	0	0	0
FILL		7000 CY	7000 CY
EXPORT / IMPORT			0

(1) EARTHWORK REPRESENTS IMPORT TO BACKFILL (E) FOUNDATIONS. SLABS ASSUMED AT 12" THICK.

NOTE:
GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

*** BUILDING PAD NOTE:**
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510) 887-4086 EXT 116.
aabaya@leabraz.com



VICINITY MAP NO SCALE

OWNER'S INFORMATION

OWNER:
PHOENIX IRON WORKS
800 CEDAR STREET
OAKLAND, CA

APN: 006-0047-001

REFERENCES

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, ENTITLED: "TOPOGRAPHIC SURVEY" 800 CEDAR STREET OAKLAND, CA DATED: 11-3-17 JOB# 2171135
 - SITE PLAN BY LOWNEY ARCHITECTS, ENTITLED: SUPPORTIVE HOUSING
 - OVERALL SITE PLAN BY DAVID BAKER ARCHITECTS, ENTITLED: OVERALL SITE PLAN
 - LANDSCAPE PLAN BY MILLER LANDSCAPE ARCHITECTS, ENTITLED: LANDSCAPE AND IRRIGATION PLAN

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.



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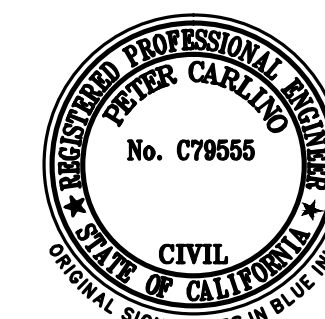
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TITLE SHEET

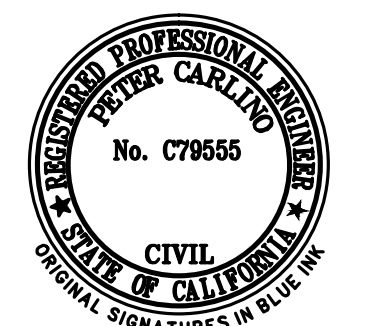
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SACRAMENTO REGION 3017 DOUGLAS BLVD., # 300 ROSEVILLE, CA 95661
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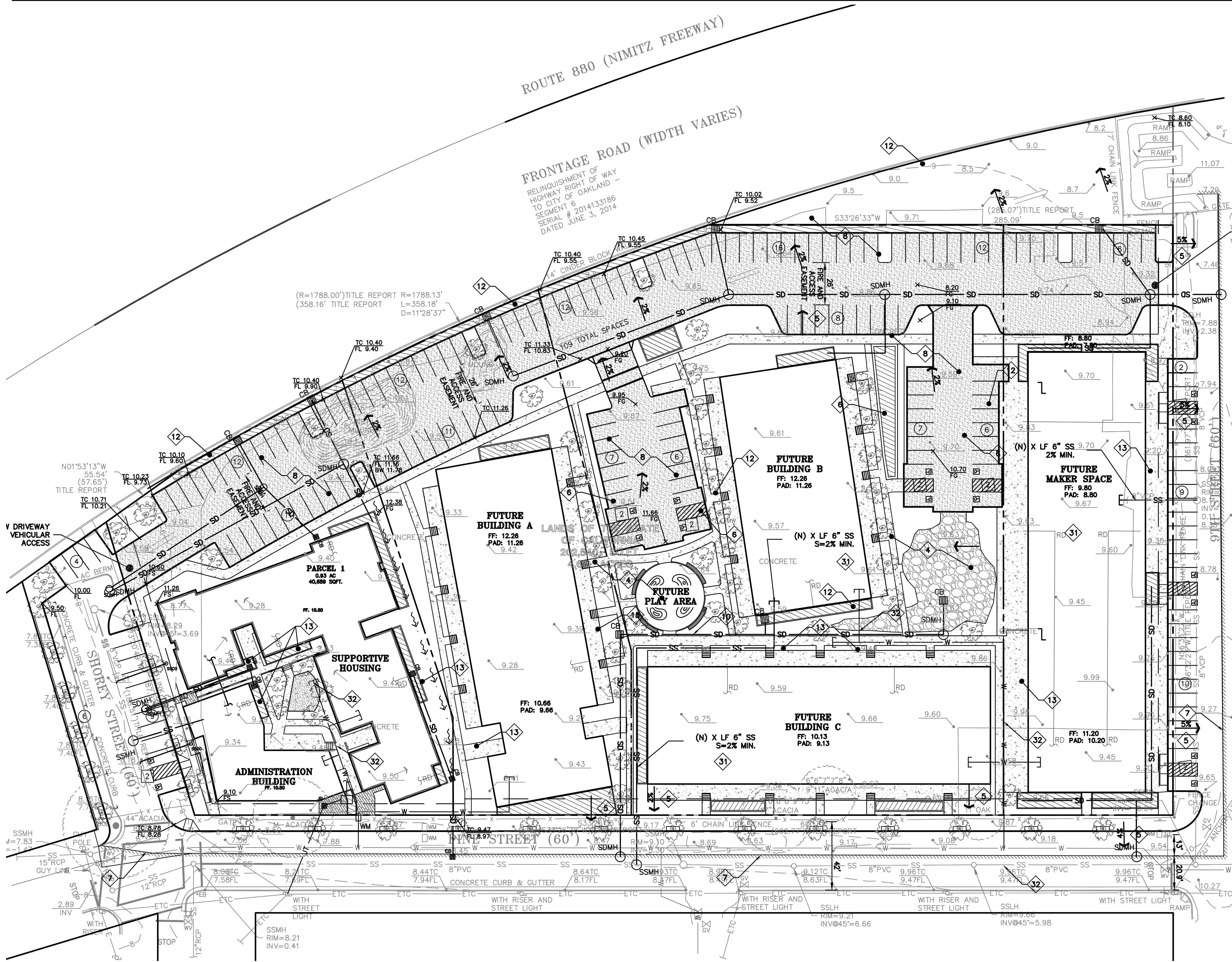
DRAWN BY: RPI/JORB
PROJECT NUMBER: 18-010
SHEET ISSUE DATE: 03/21/18
SHEET TITLE:

GRADING & UTILITY PLAN

SHEET NUMBER

C-2.0

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- FLATWORK KEYNOTES 1 TO 8**
- FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING
 - PROVIDE 2% (1% MIN.) SLOPE ACROSS FLAT WORK AND/OR PAVING
 - GRIND AC TO TIE (N) AC INTO (E) AC PAVING.
 - (N) CONCRETE PATIOS/WALKWAYS.
 - (N) 4" CONCRETE SIDEWALK @ 2% CROSS SLOPE
 - (N) HC STALLS PER ADA STANDARDS. 2% CROSS SLOPE IN ALL DIRECTIONS.
 - (N) 13" AC CONFORM OVERLAY W/ (N) CURB AND GUTTER IMPROVEMENTS
 - (N) AC AND CLASS 2 AB SECTION DEPTH TO BE DETERMINED.

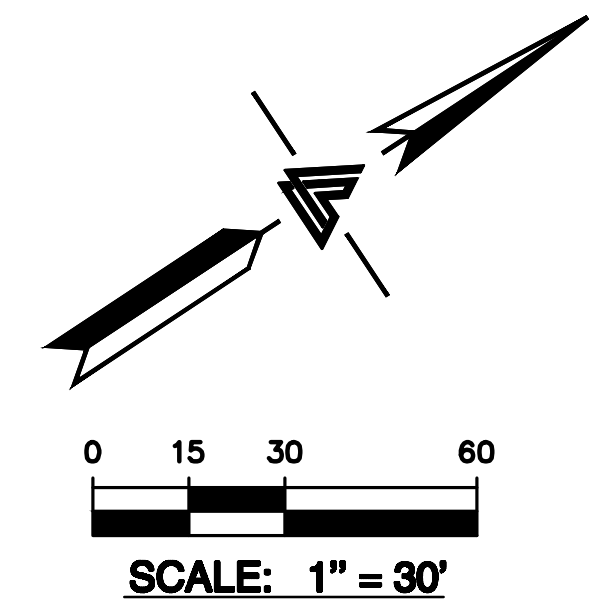
- STORM DRAIN KEYNOTES 10 TO 14**
- INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS).
 - DIRECT DOWNSPOUTS TO 24" LONG PRECAST CONCRETE SPLASHBLOCKS OR OTHER HARD SURFACE. DIRECT AWAY FROM ANY STRUCTURE AND TOWARDS POSITIVE DRAINAGE. SEE DETAIL X ON SHEET C-X.
 - (N) C3 STORMWATER TREATMENT BIO-INFILTRATION AT GRADE PLANTERS FOR (N) IMPERVIOUS STREET & PARKING IMPROVEMENTS.
 - (N) C3 STORMWATER FLOW TRANSIT TREATMENT PLANTERS. INSTALL ADJACENT TO (N) BUILDING. BIO-INFILTRATION INLETS ABOVE GRADE PLANTERS SIZED AT 4% FLOW BASED METHOD.
 - VEGETATED SWALE 1.5% MIN.

- UTILITIES KEYNOTES 31 TO 33**
- INSTALL (N) SANITARY SEWER LATERALS. USE (SIZE TO BE DETERMINED 6" MIN) PVC (SDR-26) SLOPED AT 2% MINIMUM. CONNECT TO (E) SEWER MAIN AS SHOWN.
 - CONNECT (N) WATER SERVICE PER WATER DISTRICT STANDARDS. UPGRADE (E) WATER METER PER WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" MINIMUM SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.
 - INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.

- DEMOLITION KEYNOTES 41 TO 41**
- DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. THERE ARE AN (E) CONCRETE SLAB FOUNDATIONS ACROSS THE SITE THAT COVERS APPROX. 194,200 SF. OF THE SITE.

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510) 887-4086 EXT 116. aabaya@leabraze.com

*** BUILDING PAD NOTE:**
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.



3/16/2018 4:20:29 PM

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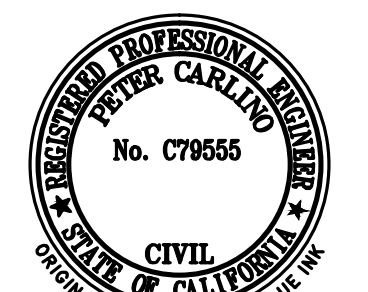
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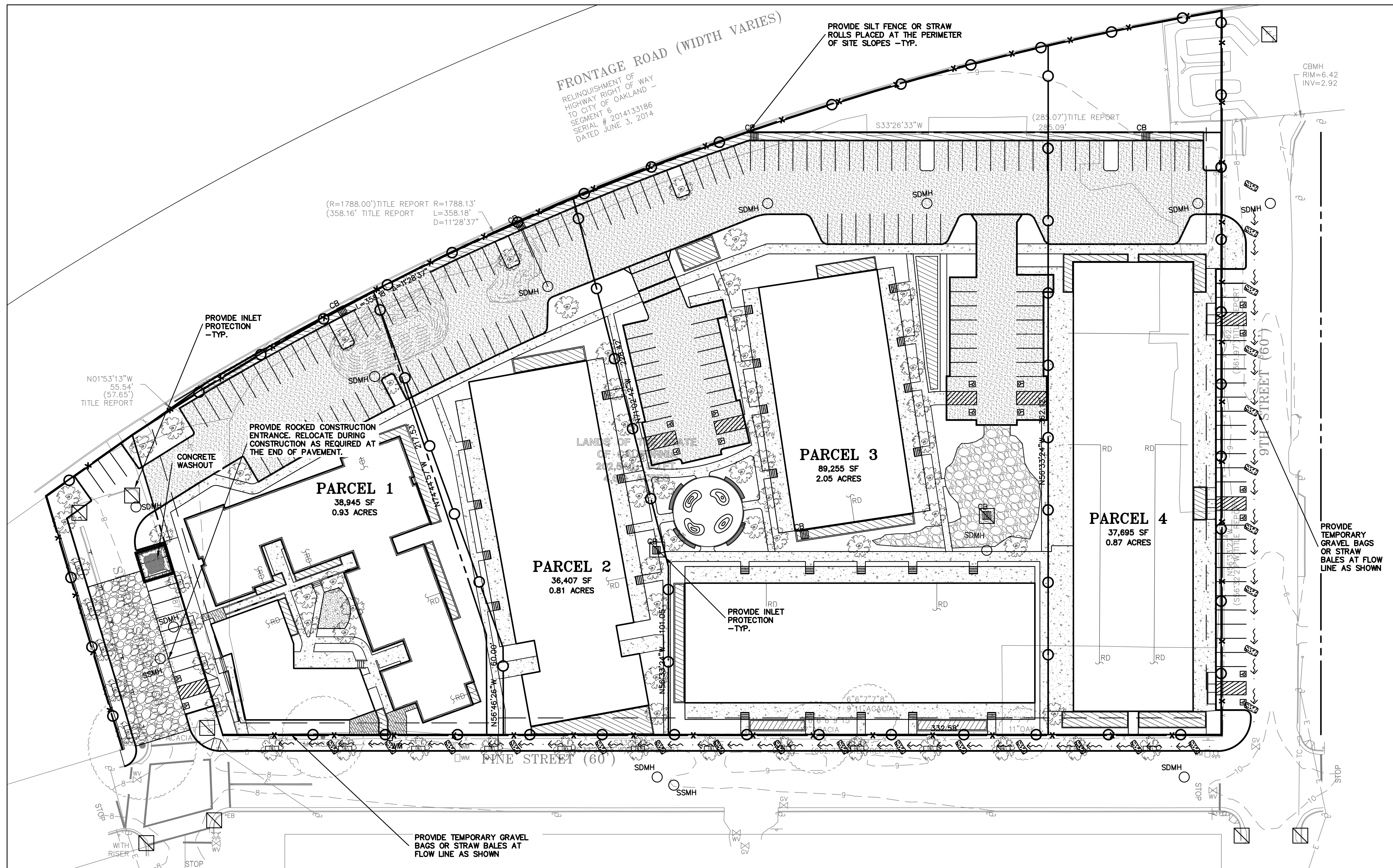
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PROJECT NUMBER: 18-010
SHEET ISSUE DATE: 03/21/18
SHEET TITLE:

EROSION CONTROL PLAN

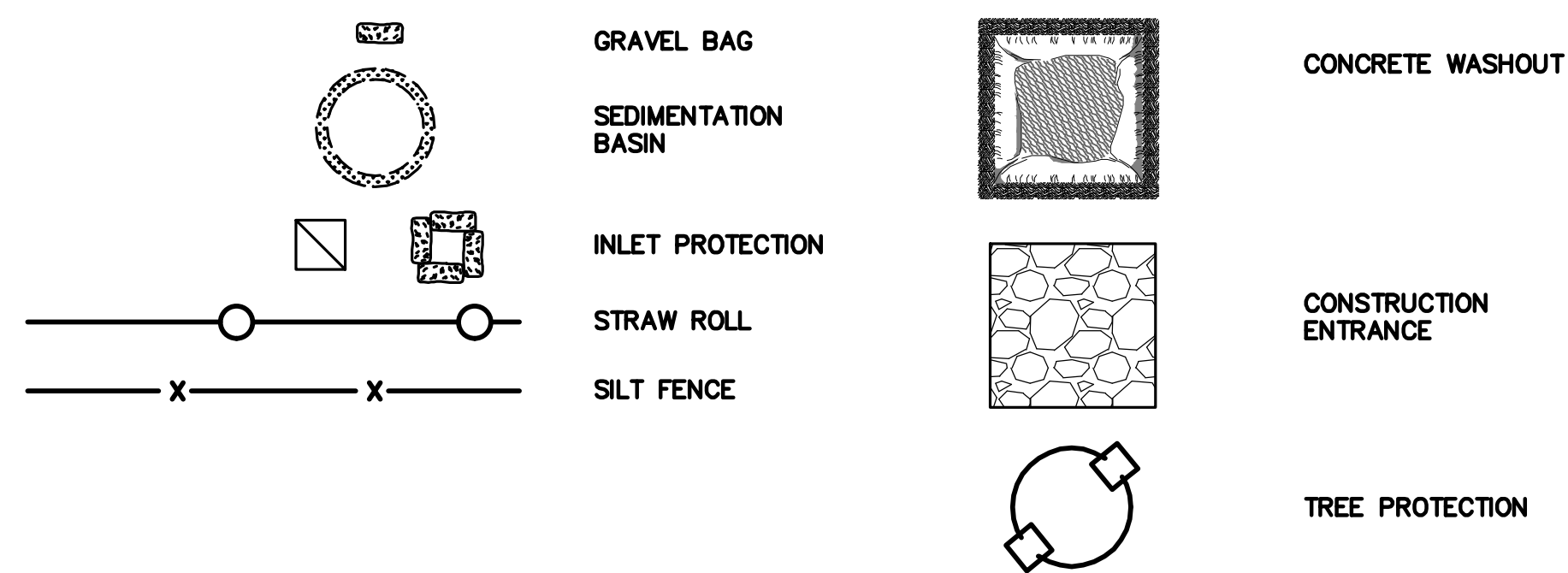
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EROSION CONTROL LEGEND



NOTE:
SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP

PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

EROSION CONTROL NOTES:

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15 THROUGH APRIL 15, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INSPECTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

EROSION CONTROL NOTES CONTINUED:

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM,
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALS, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURES SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

REFERENCES:

- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

PERIODIC MAINTENANCE:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1" FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION



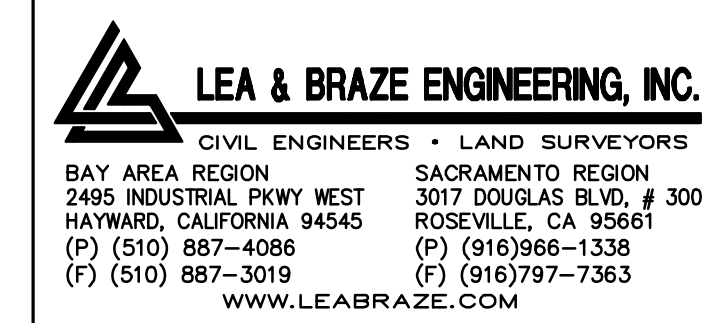
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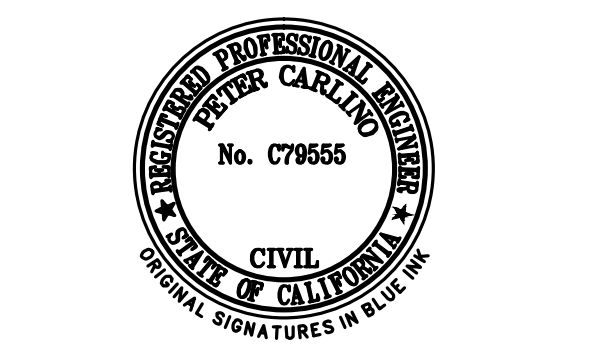
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EROSION CONTROL DETAILS

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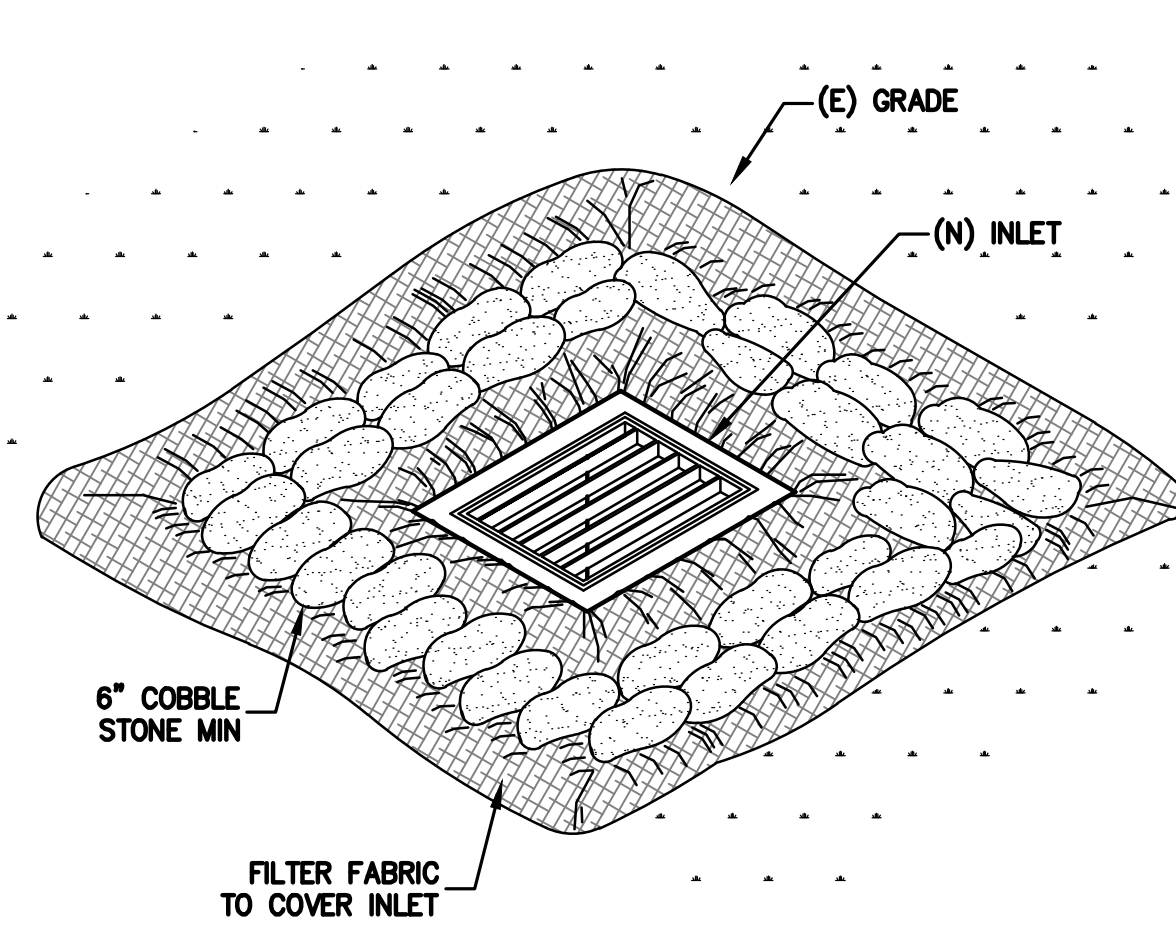
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EROSION CONTROL DETAILS

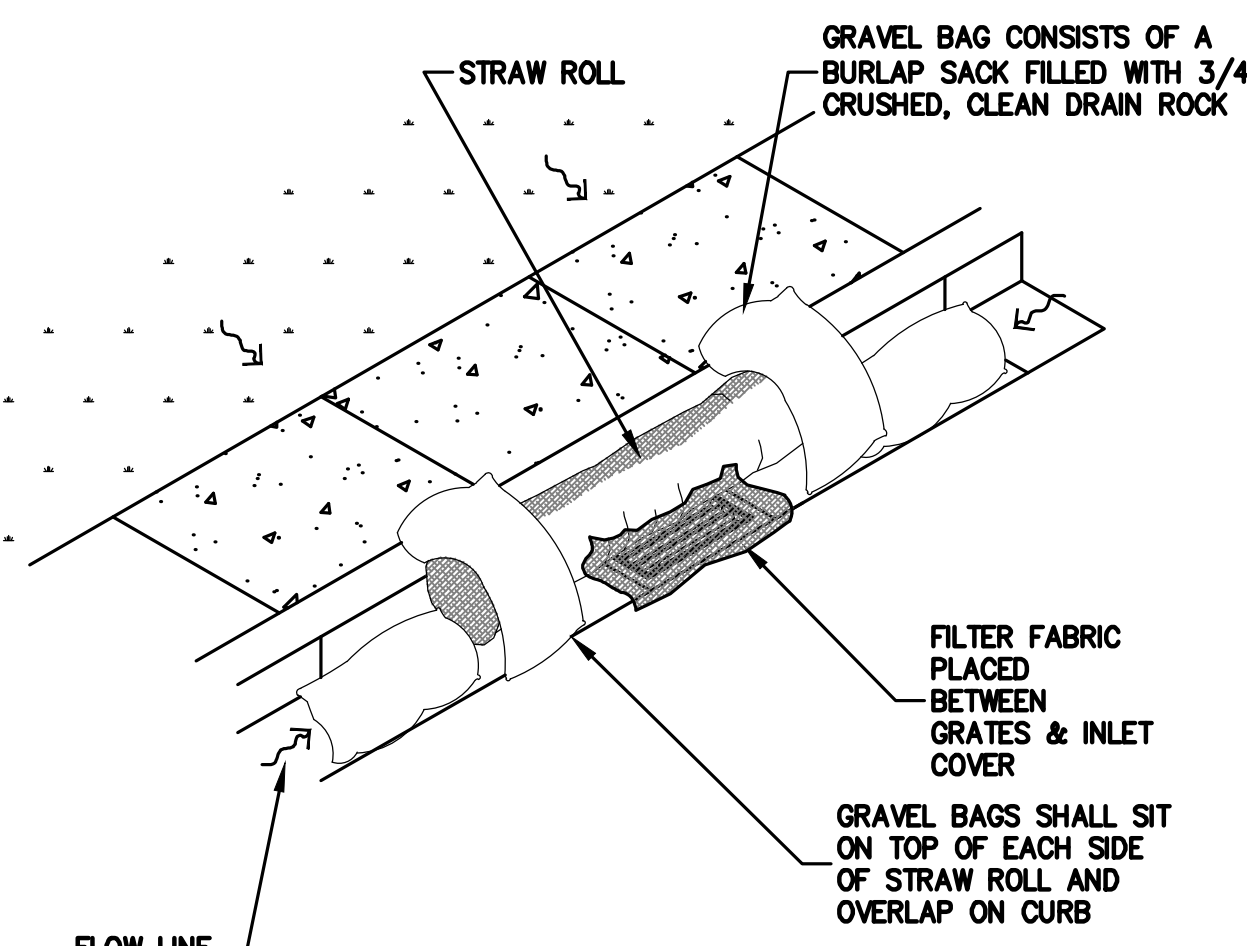
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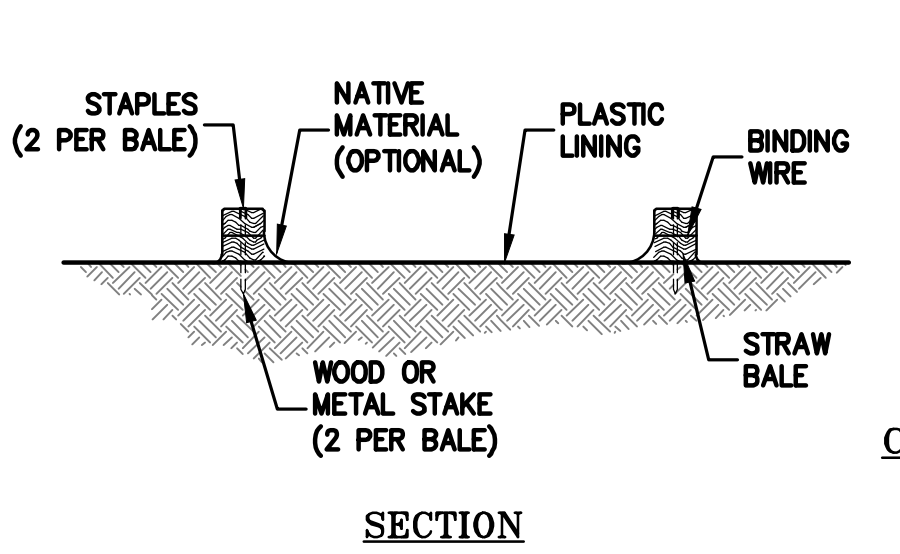
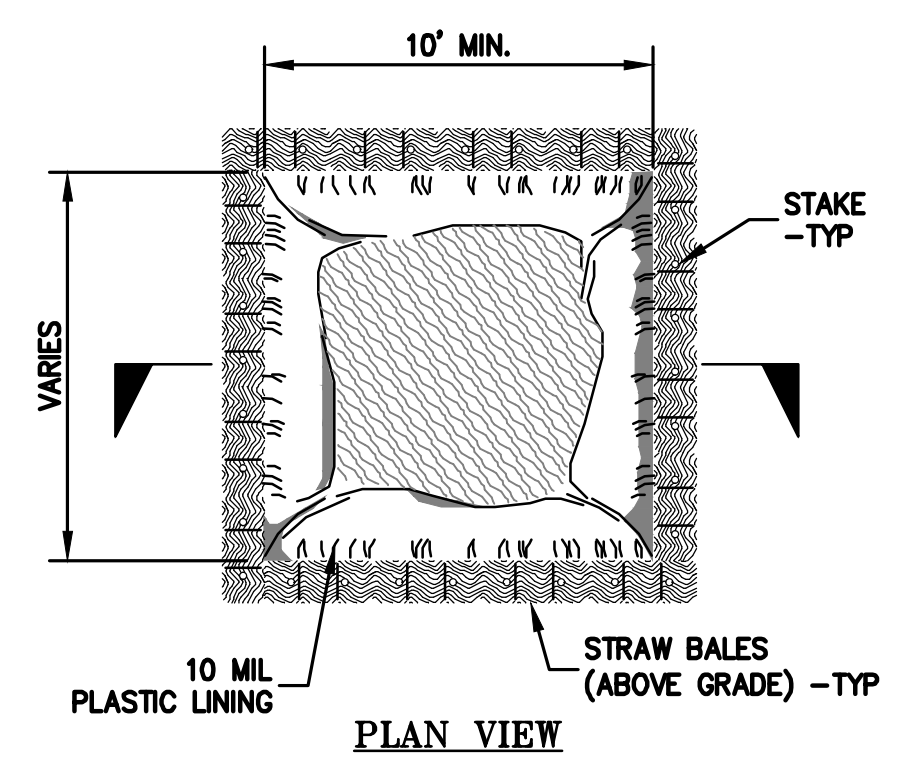
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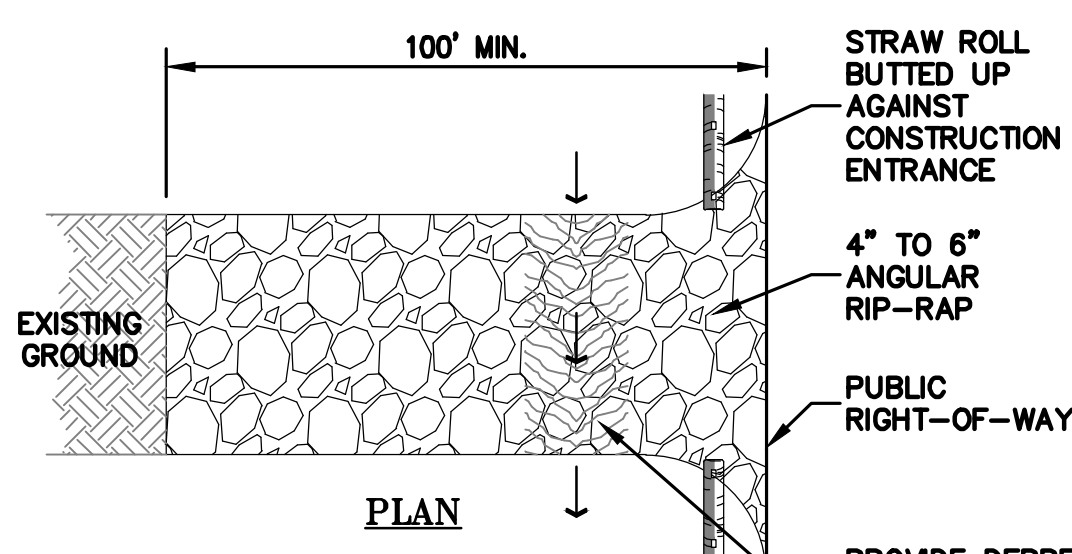
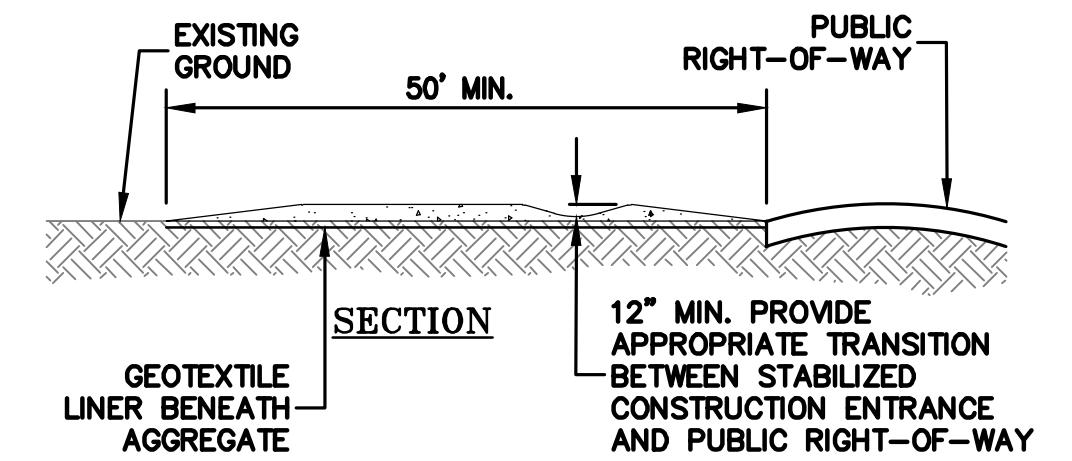
1 INLET PROTECTION
ER-3 NTS



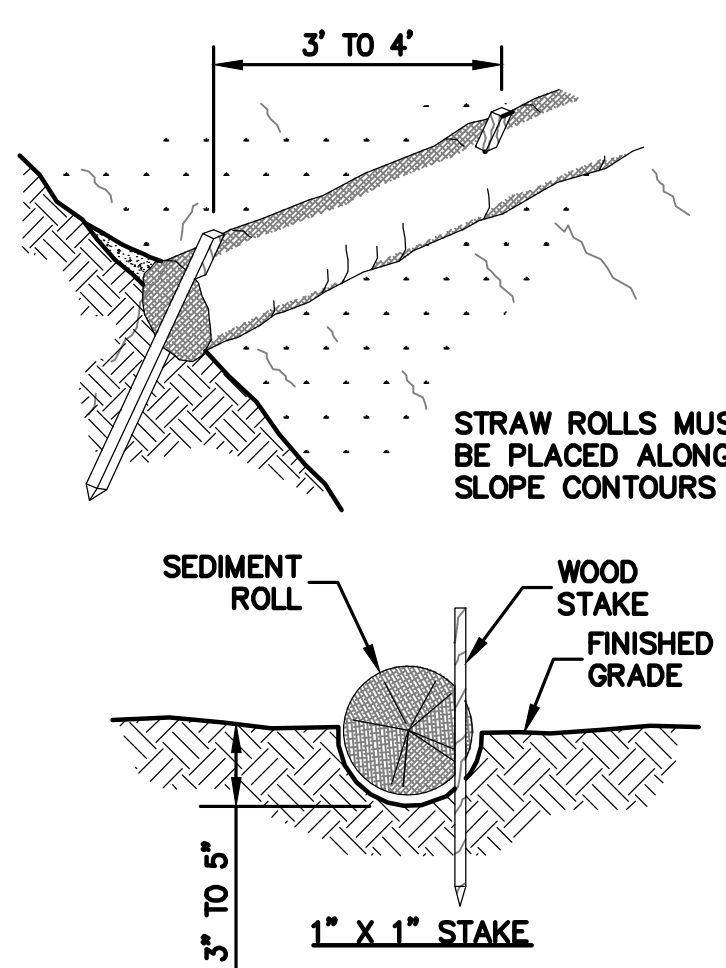
2 STREET INLET PROTECTION
ER-3 NTS



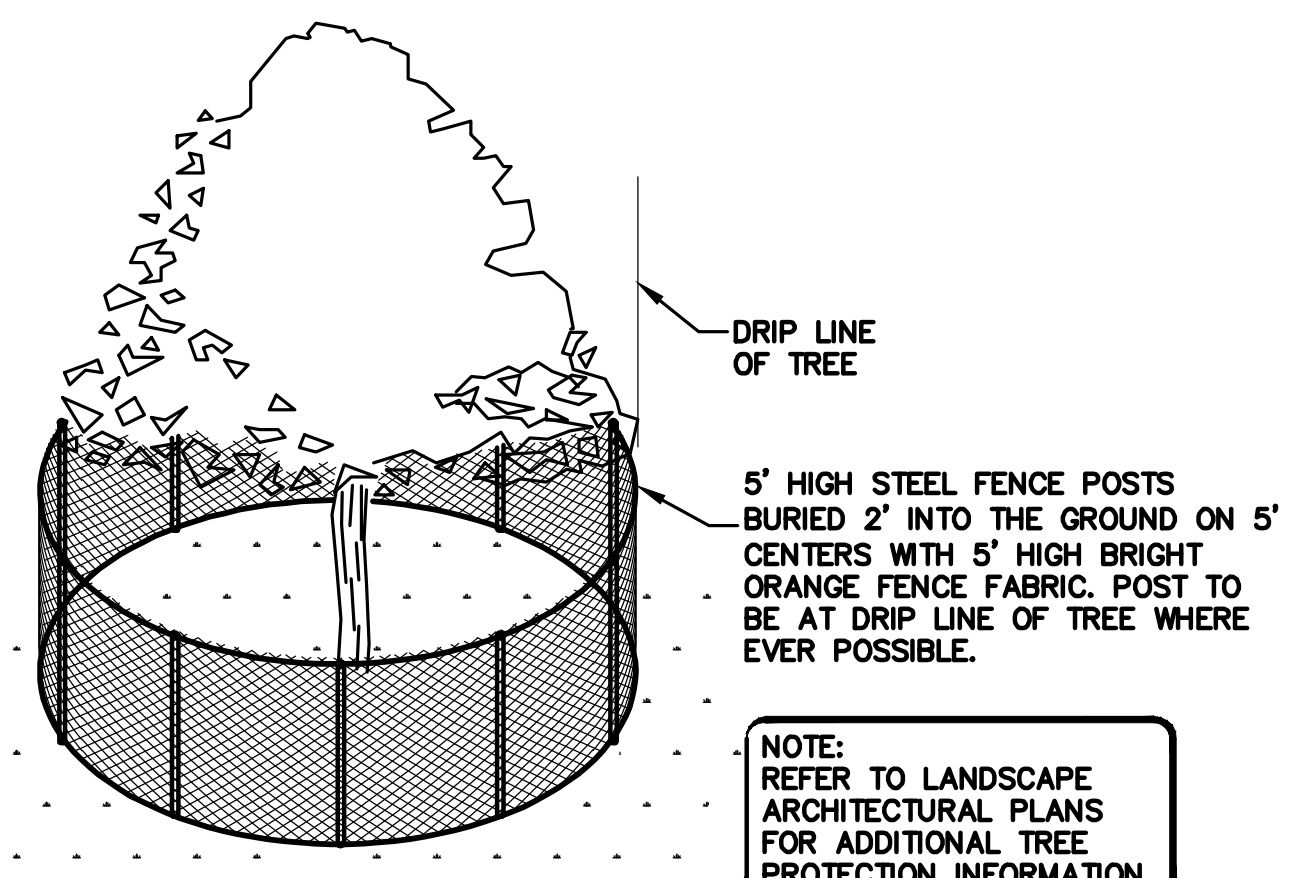
3 CONCRETE WASHOUT
ER-3 NTS



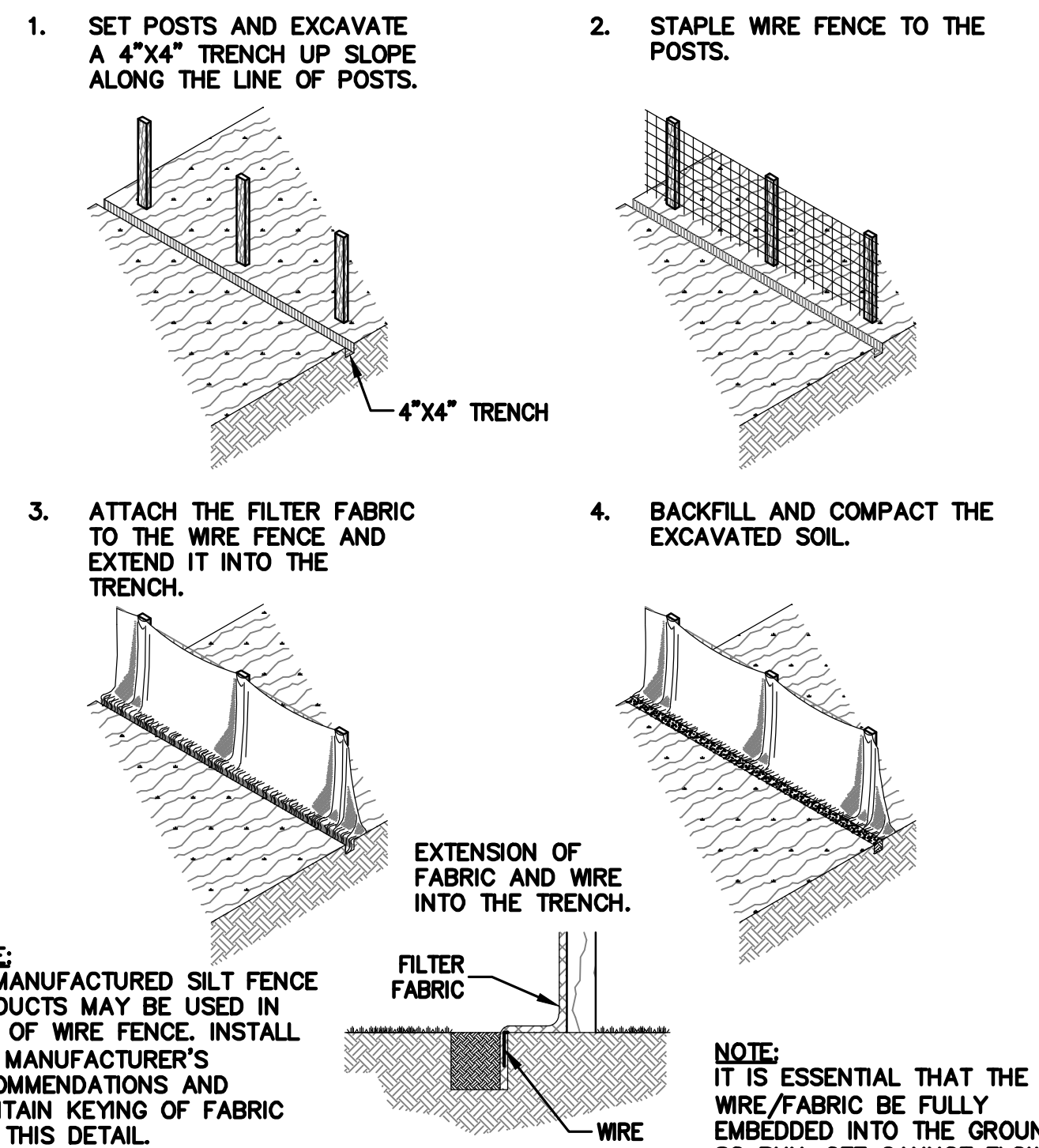
4 CONSTRUCTION ENTRANCE
ER-3 NTS



5 STRAW ROLLS FLAT LOT
ER-3 NTS

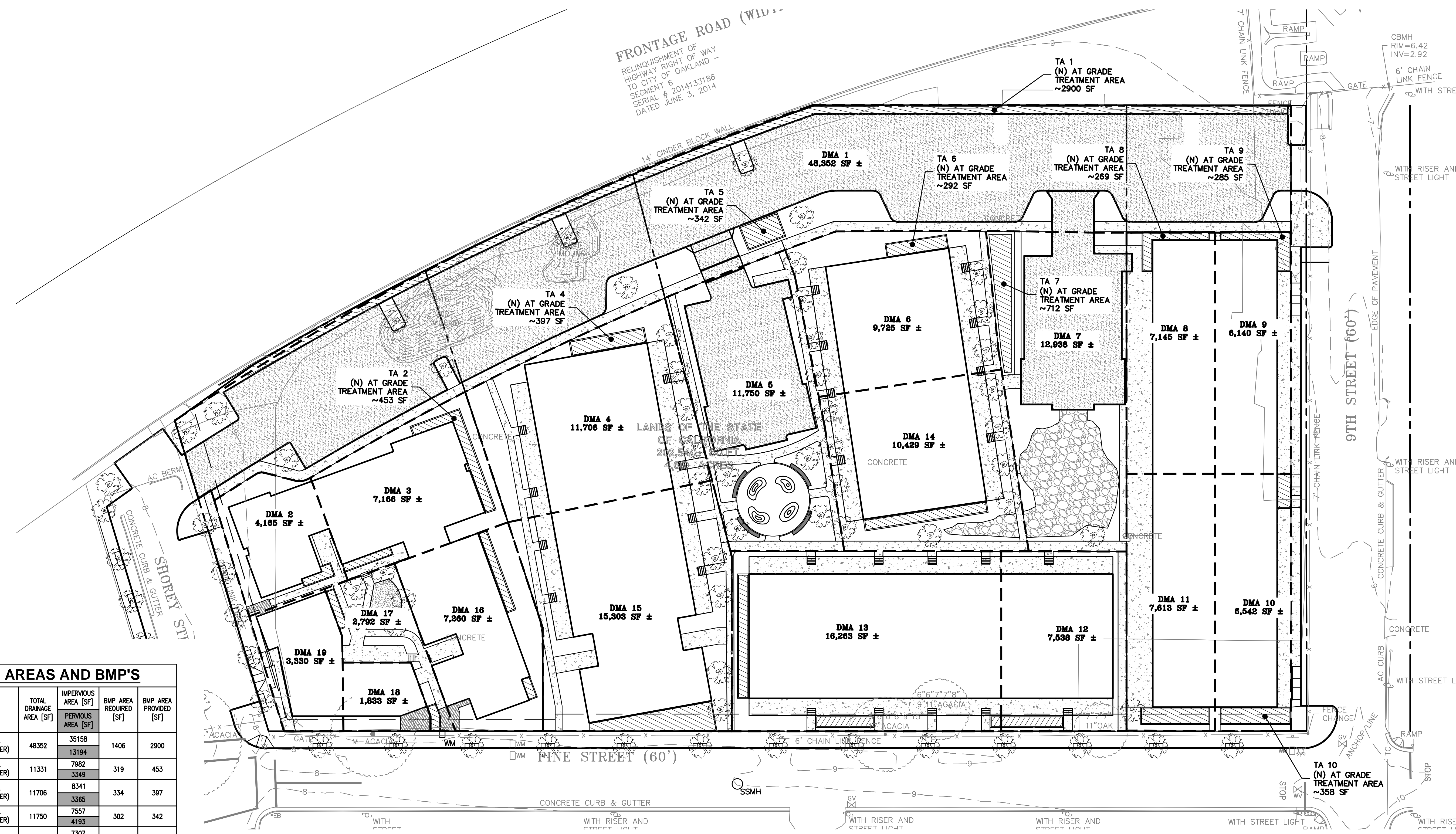


6 EXISTING TREE PROTECTION DETAIL
ER-3 NTS



7 SILT FENCE
ER-3 NTS

RELINQUISHMENT OF HIGHWAY RIGHT OF WAY TO CITY OF OAKLAND - SEGMENT 6 SERIAL # 2014133186 DATED JUNE 3, 2014

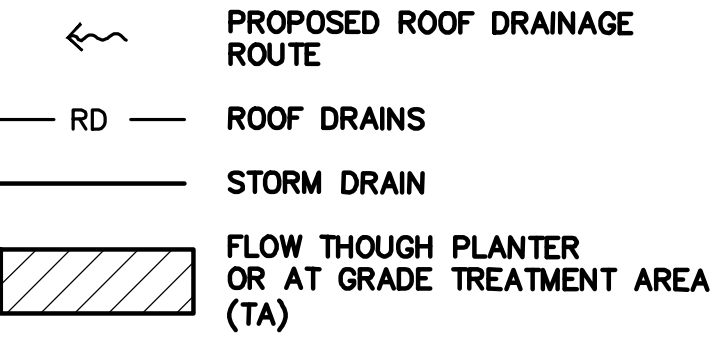


SITE DRAINAGE AREAS AND BMP'S						
BMP	DMA	BMP TYPE	TOTAL DRAINAGE AREA [SF]	IMPERVIOUS AREA [SF]	BMP AREA REQUIRED [SF]	BMP AREA PROVIDED [SF]
1	1	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	48352	35158	1406	2900
2	2 & 3	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	11331	7982	319	453
4	4	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	11706	8341	334	397
5	5	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	11750	7557	302	342
6	6	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	9725	7307	292	292
7	7	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	12938	9476	379	712
8	8	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	7145	6733	269	269
9	9	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	6140	5784	231	285
10	10	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	6542	5777	231	358
11	11	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	7613	6911	276	350
12	12	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	7538	6610	264	290
13	13	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	16263	13675	547	562
14	14	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	10429	8259	330	381
15	15	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	15303	11567	463	744
16	16	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	7260	4971	199	385
17	17	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	2792	1490	60	94
18	18	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	2792	1362	62	90
19	19	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	3330	1544	109	121

GENERAL NOTES:

- A. THIS PROJECT IS CONSIDERED A C.3. REGULATED PROJECT, AND WILL CREATE/ REPLACE APPROX 171,290 S.F. OF IMPERVIOUS AREA.

LEGEND:

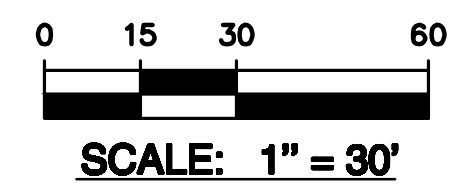
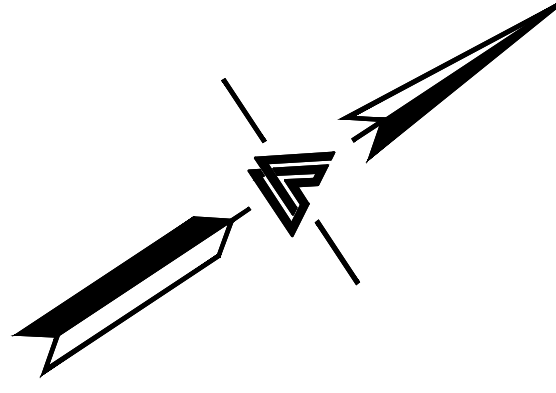


SITE DESIGN MEASURES:

- MINIMIZE LAND DISTURBANCE AND IMPERVIOUS SURFACES (ESPECIALLY PARKING LOTS)

SOURCE CONTROL MEASURES:

- A. INSTALL STENCILING AT STORM DRAIN INLETS, SUCH AS "NO DUMPING - DRAINS TO BAY".
- B. DRAINS TO BAY".
- C. PLUMB INTERIOR FLOOR DRAINS TO SANITARY SEWER.
- D. PLUMB INTERIOR PARKING GARAGE FLOOR DRAINS TO SANITARY SEWER.
- E. INCORPORATE SUSTAINABLE LANDSCAPING PRACTICES, USE EFFICIENT IRRIGATION SYSTEMS TO MINIMIZE RUNOFF, PROMOTE SURFACE INFILTRATION, MINIMIZE THE USE OF PESTICIDES AND FERTILIZERS, AND OTHER PRACTICES OF BAY AREA FRIENDLY LANDSCAPING.
- F. DISCHARGE FIRE SPRINKLER TEST WATER TO ON-SITE VEGETATED AREAS OR TO THE SANITARY SEWER IF DISCHARGE ON-SITE VEGETATED AREAS IS NOT FEASIBLE.



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CONCEPTUAL STORMWATER TREATMENT AND MANAGEMENT PLAN

DRAWN BY: RP/JO/RB
PROJECT NUMBER: 18-010
SHEET ISSUE DATE: 03/21/18
SHEET TITLE:

SHEET NUMBER AS NOTED

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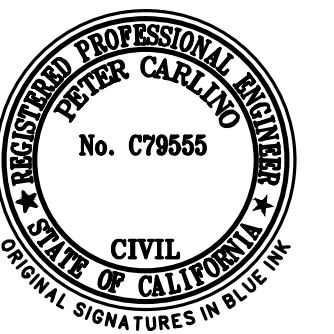
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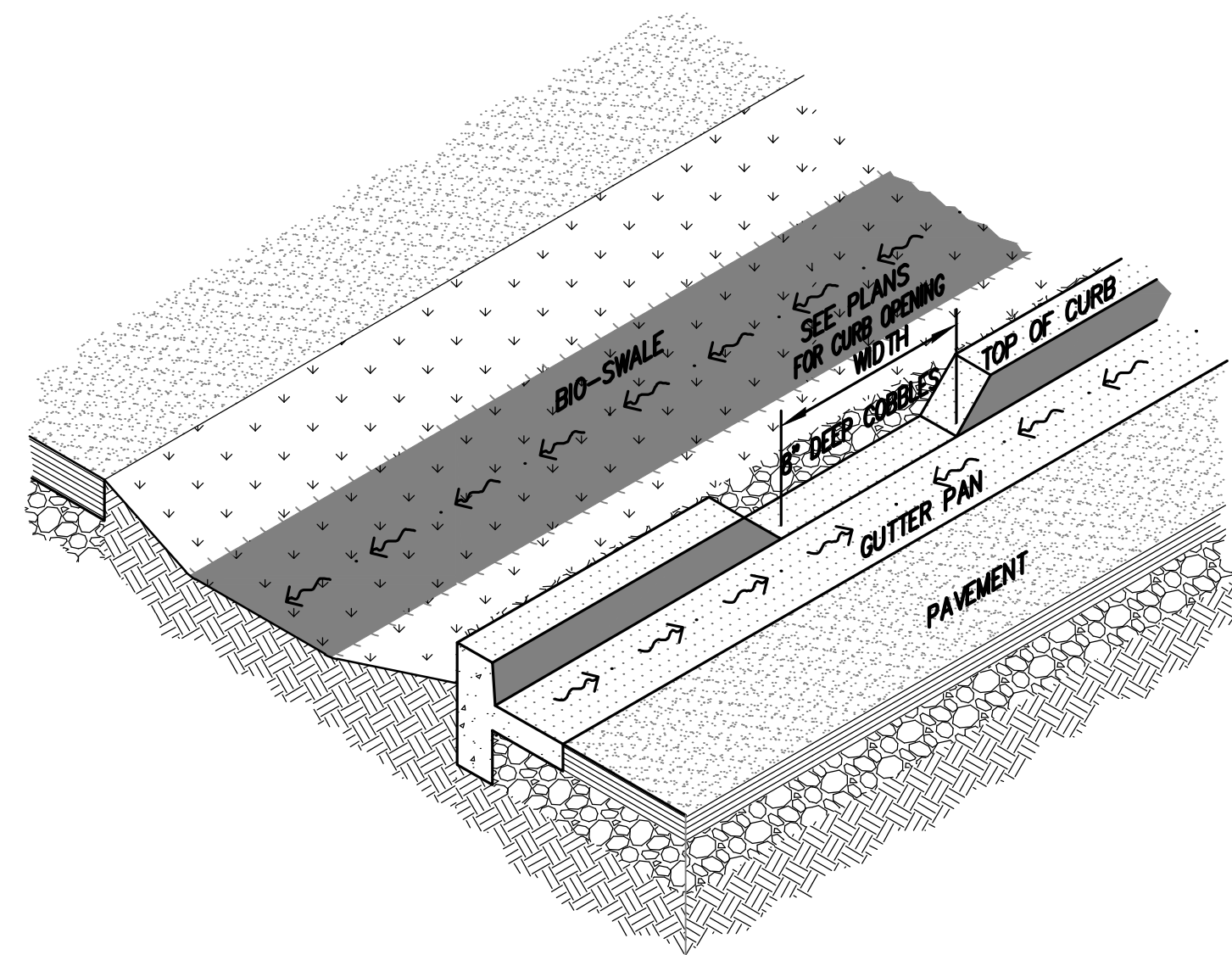
CONCEPTUAL STORMWATER TREATMENT AND MANAGEMENT DETAILS

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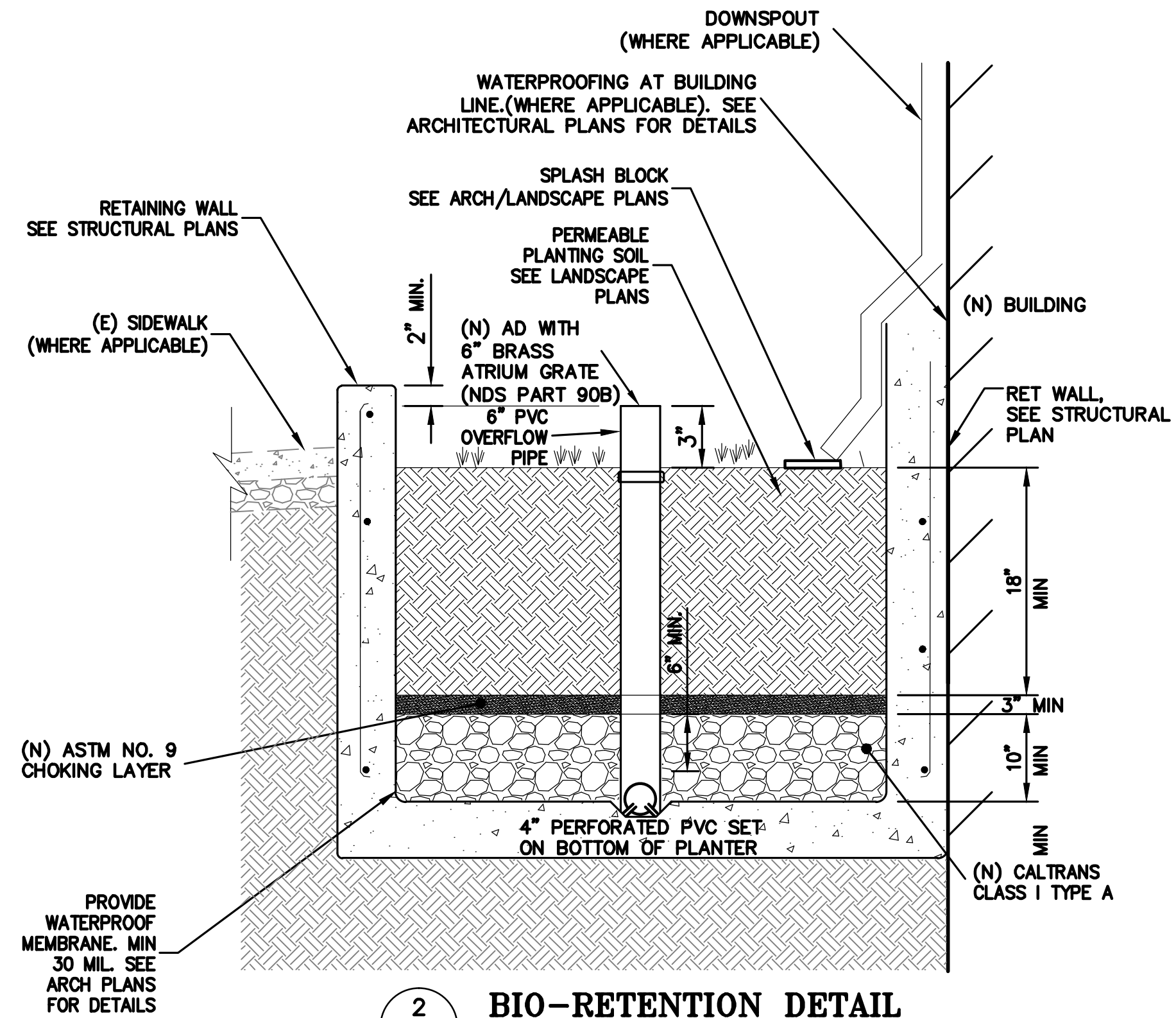
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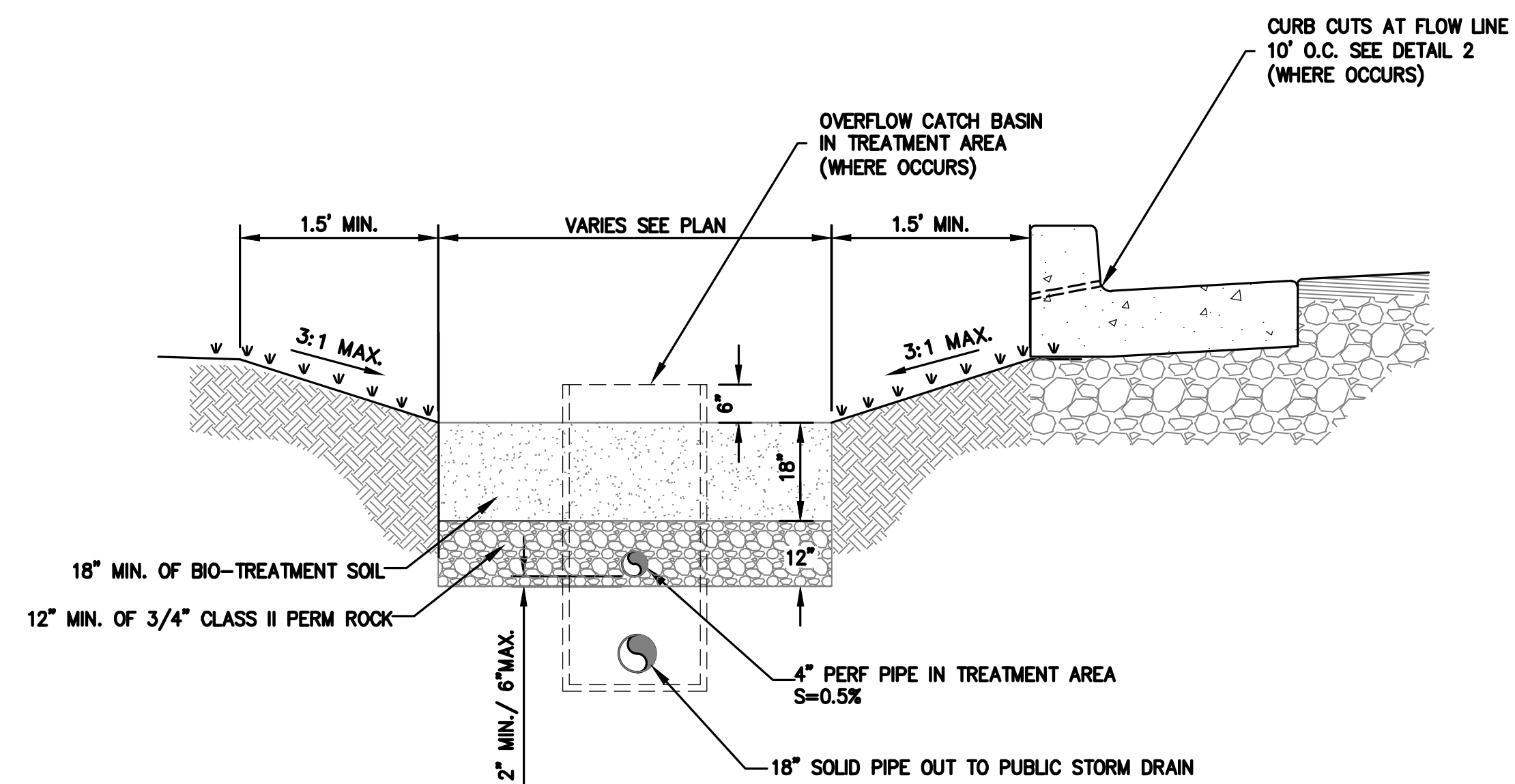
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1 BIO-SWALE CURB OPENING DETAIL
SW-2 NTS



2 BIO-RETENTION DETAIL
SW-2 NTS



3 BIO-RETENTION DETAIL
SW-2 NTS



LEGEND

1. Outdoor Terrace with Enhanced Paving
2. Outdoor Area with Enhanced Paving
3. Concrete Accessible Ramp
4. Concrete Sidewalk Paving
5. Building Access
6. Street Tree in Tree Well
7. Egress Exit Gate and Fence, See L3.01
8. Concrete Paving with Saw Cut Joints
9. Bicycle Rack (3 Racks, Total), See L3.01
10. Property Line
11. Flow Through Planter
12. Planting Area
13. Courtyard Trees
14. Concrete Path
15. Bermed Planting Area
16. Feature Paving (Oculus Above)
17. Enhanced Paving at Furnishing Zone
18. Waste Management Service Access

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landscape architects

1585 FOLSOM ST. SAN FRANCISCO, CA 94103
415.252.7288 www.millercomp.com

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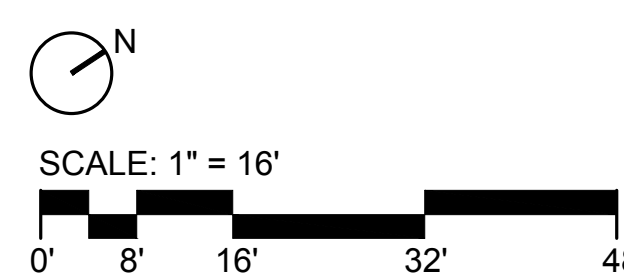
DRAWN BY:
PROJECT NUMBER: 18-010
SHEET ISSUE DATE: 03/21/18
SHEET TITLE:

LANDSCAPE MATERIALS PLAN

SHEET NUMBER

L1.01

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PLANT SCHEDULE - GROUND LEVELS

TYPE		SCIENTIFIC NAME	COMMON NAME	SIZE
T	S	P	Gr	Gc

STREETSCAPE PLANTING

•		ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	24" BOX
•		BULBINE FRUTESCENS	STALKED BULBINE	1 GAL
•		DIETES BICOLOR	FORTNIGHT LILY	5 GAL
•		ERIGERON KARVINSKIANUS	FLEABANE	5 GAL
•		GINKGO BILOBA	MAIDENHAIR TREE	24" BOX
•		LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX
•		ORIGANUM VULGARE 'BETTY ROLLINS'	BETTY ROLLINS OREGANO	1 GAL

COURTYARD PLANTING

•		ANIGOZANTHOS HYBRID 'BUSH RANGER'	BUSH RANGER KANGAROO PAW	5 GAL
•		ARCTOSTAPYLOS MANZANITA	MANZANITA	15 GAL
•		ARTEMISIA CALIFORNICA 'CANYON GRAY'	CALIFORNIA SAGEBRUSH	5 GAL
•		FRAGARIA CHILOENSIS	DUNE STRAWBERRY	1 GAL
•		HELICOTRICHON SEMPERVIRENS	BLUE OAT GRASS	5 GAL
•		SALVIA LEUCOPHYLLA	PURPLE SAGE	5 GAL
•		SALVIA SONOMENSIS	SONOMA SAGE	5 GAL
•		FESTUCA SPECIES	FINE FESCUE MIX	SOD
•		WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	24" BOX

PERIMETER PLANTING

•		ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	24" BOX
•		AGAVE AMERICANA	AGAVE	15 GAL
•		GINKGO BILOBA	MAIDENHAIR TREE	24" BOX
•		BERBERIS THUNBERGII	JAPANESE BARBERRY	5 GAL
•		HAKEA LAURINA	SEA URCHIN TREE	15 GAL
•		LEUCOPHYLUM FRUTESCENS	TEXAS RANGER	5 GAL
•		PYRACANTHA COCCINEA 'LOWBOY'	LOWBOY FIRETHORN	5 GAL
•		RIBES SPECIOSUM	FUCHSIA FLOWERING GOOSEBERRY	5 GAL

STORMWATER PLANTING

•		AQUILEGIA FORMOSA	WESTERN COLUMBINE	1 GAL
•		BERBERIS AQUIFOLIUM	OREGON GRAPE	1 GAL
•		CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL
•		CORNUS SERICEA	REDSTEM DOGWOOD	5 GAL
•		DESCHAMPSIA CESPITOSA	TUFTED HAIRGRASS	5 GAL
•		DICHELOSTEMMA IDA-MAIA	FIRECRACKER FLOWER	5 GAL
•		JUNCUS PATENS	CALIFORNIA GRAY RUSH	5 GAL
•		PTERIDIUM AQUILINUM	WESTERN BRACKEN FERN	5 GAL

IRRIGATION NOTES

1. ALL NEW PLANTING AREAS SHALL HAVE NEW IRRIGATION SYSTEM. THE IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY LICENSED CONTRACTORS AND EXPERIENCED WORKMEN. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND FEES RELATING TO HIS WORK. INSTALL ALL PLANTING AFTER IRRIGATION SYSTEM IS COMPLETED, FULLY OPERATIONAL, AND HAS BEEN REVIEWED BY THE LANDSCAPE ARCHITECT.
2. THE LANDSCAPE IRRIGATION SHALL COMPLY WITH THE CITY OF OAKLAND WATER EFFICIENT LANDSCAPE ORDINANCE FOR ALL PLANTING AREAS.
3. THE IRRIGATION SHALL BE FULLY AUTOMATED WITH A SMART CONTROLLER AND WEATHER SENSOR AND WILL IRRIGATE ALL PLANTING AREAS. TYPICALLY ALL GROUND COVER AND SHRUB PLANTING SHALL BE IRRIGATED WITH INLINE EMITTER DRIP LINES (NETAFIM TECHLINE) AND ALL TREES TO HAVE ROOT WATERING SYSTEM WITH BUBBLERS (2 PER EACH TREE).
4. SEPARATE WATER METER SHALL BE INSTALLED THAT SERVES ONLY THE IRRIGATION SYSTEM.
5. BACKFLOW PROTECTION IS PROVIDED WITH A REDUCED PRESSURE BACKFLOW PREVENTER AT THE METER. LOCATION OF IRRIGATION BACKFLOW PREVENTER TO BE COORDINATED WITH CIVIL ENGINEER.
6. QUICK COUPLING VALVES WILL BE PROVIDED FOR INCIDENTAL WATERING

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LANDSCAPE PLANTING PLAN

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STREETSCAPE PLANTING



Acer rubrum Armstrong



Bulbine frutescens



Dietes bicolor



Lophostemon confertus



Erigeron karvinskianus



Origanum 'Betty Rollins'

COURTYARD PLANTING



Aloe maculata



Anigozanthos 'Bush Ranger'



Arctostaphylos manzanita



Helicotrichon sempervirens



Salvia leucophylla



Salvia sonomensis



Washingtonia robusta

PERIMETER PLANTING



Acer rubrum Armstrong



Agave americana



Ginkgo biloba



Leucophyllum frutescens



Lophostemon confertus



Hakea laurina



Ribes speciosum

STORMWATER PLANTING



Berberis aquifolium



Chondropetalum tectorum



Cornus sericea



Deschampsia cespitosa

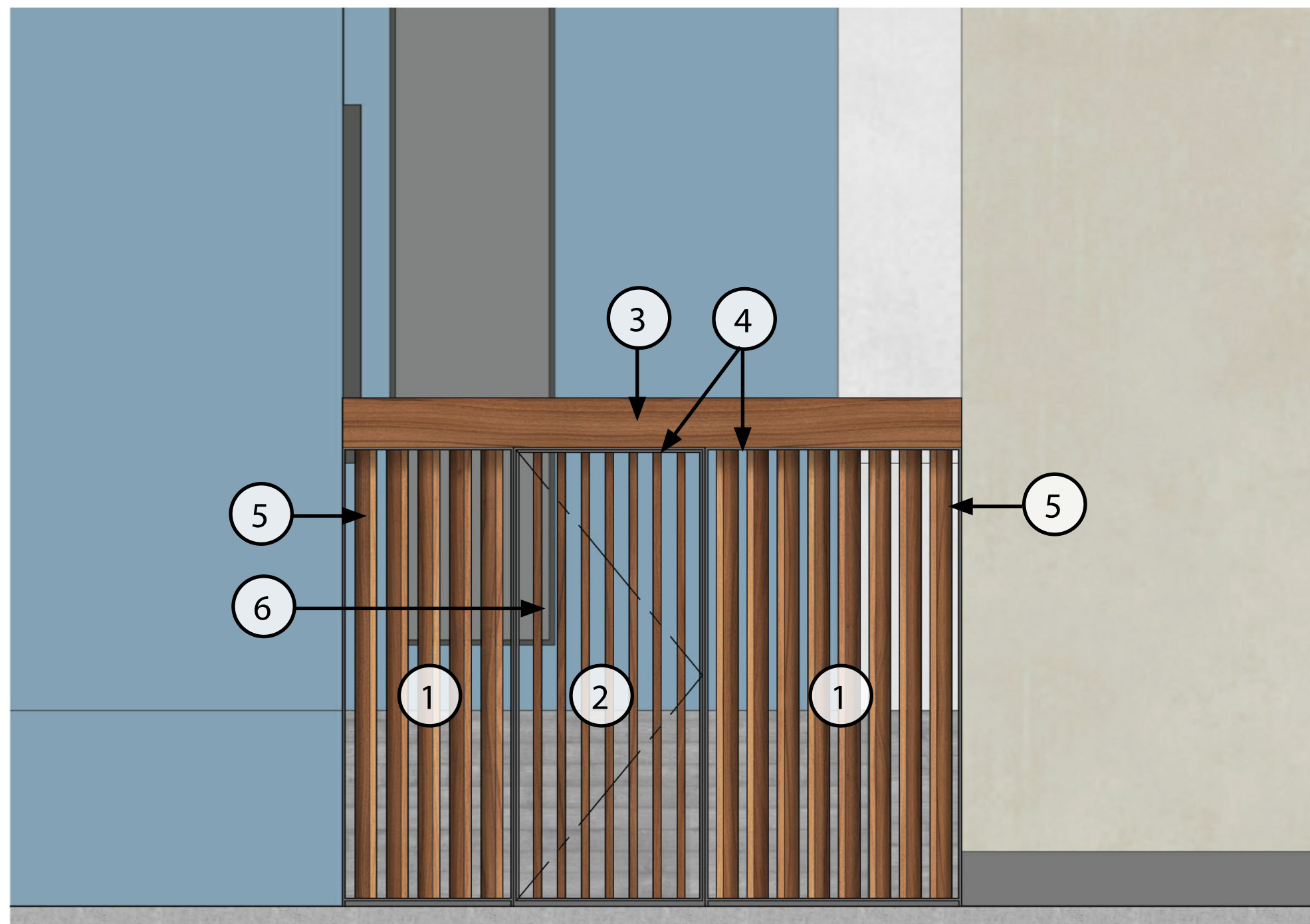


Dichelostemma 'Ida-Maia'

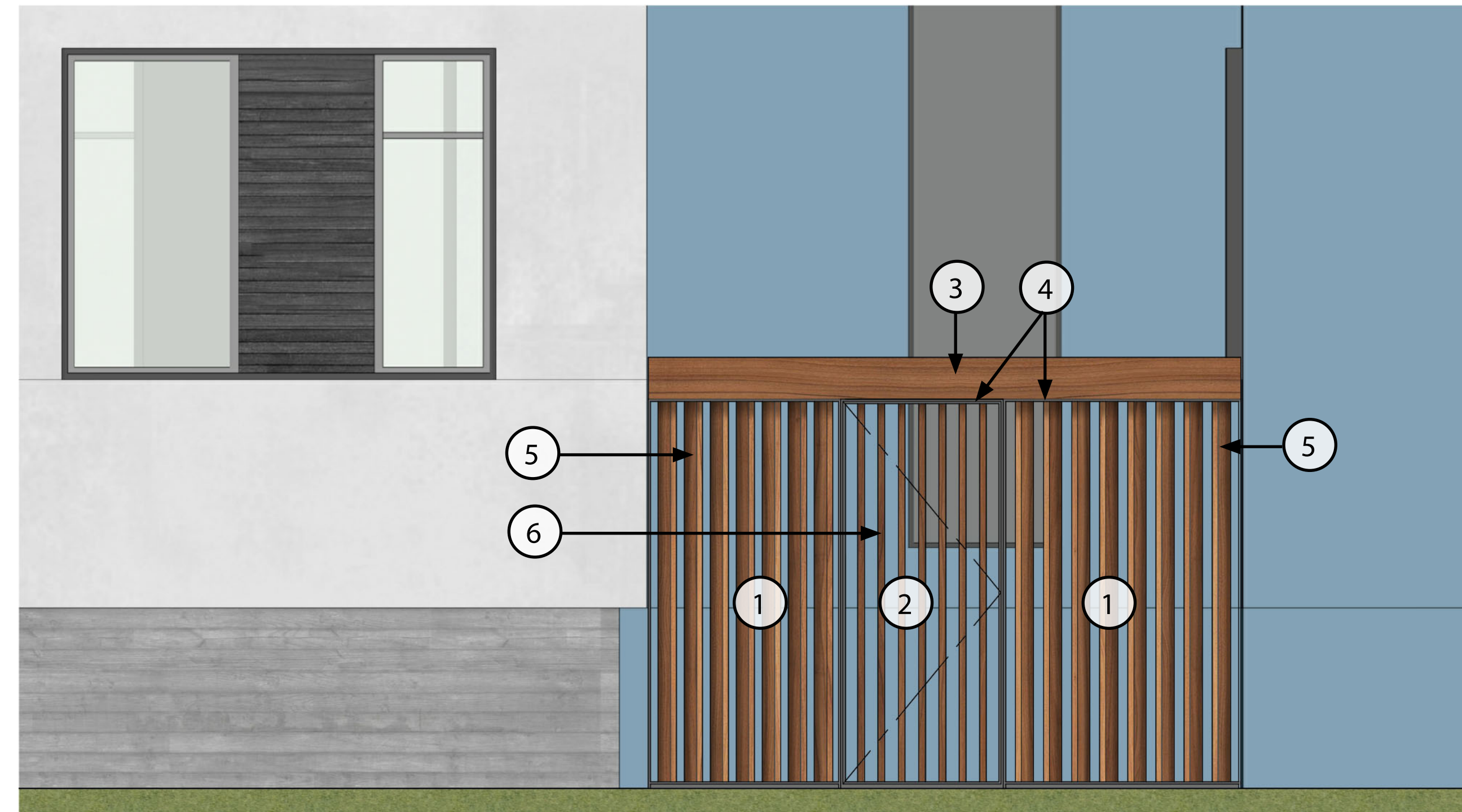


Pteridium aquilinum

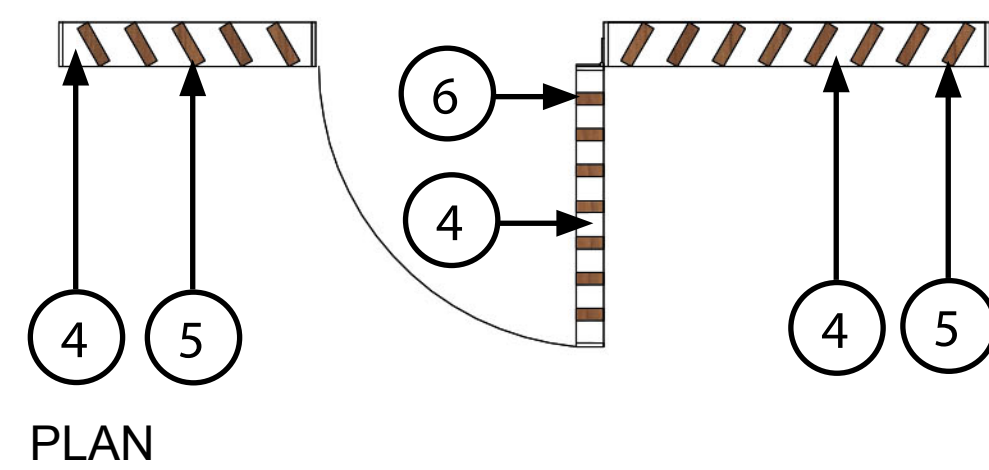
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ELEVATION



ELEVATION

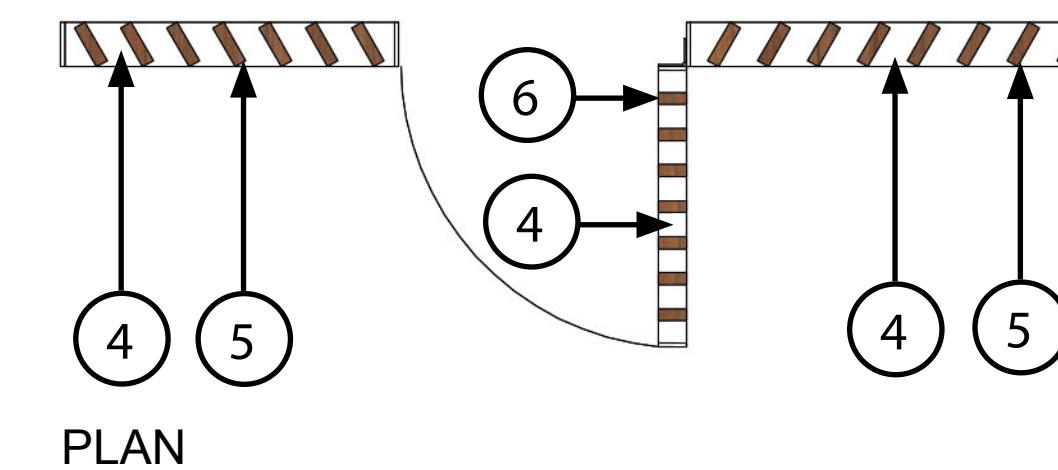


PLAN

LEGEND

1. Screen
2. Egress Gate
3. 6x10 Wood Beam
4. Painted 1/2" Structural Steel Plate Frame
5. 2x6 Wood Pickets
6. 2x4 Wood Pickets

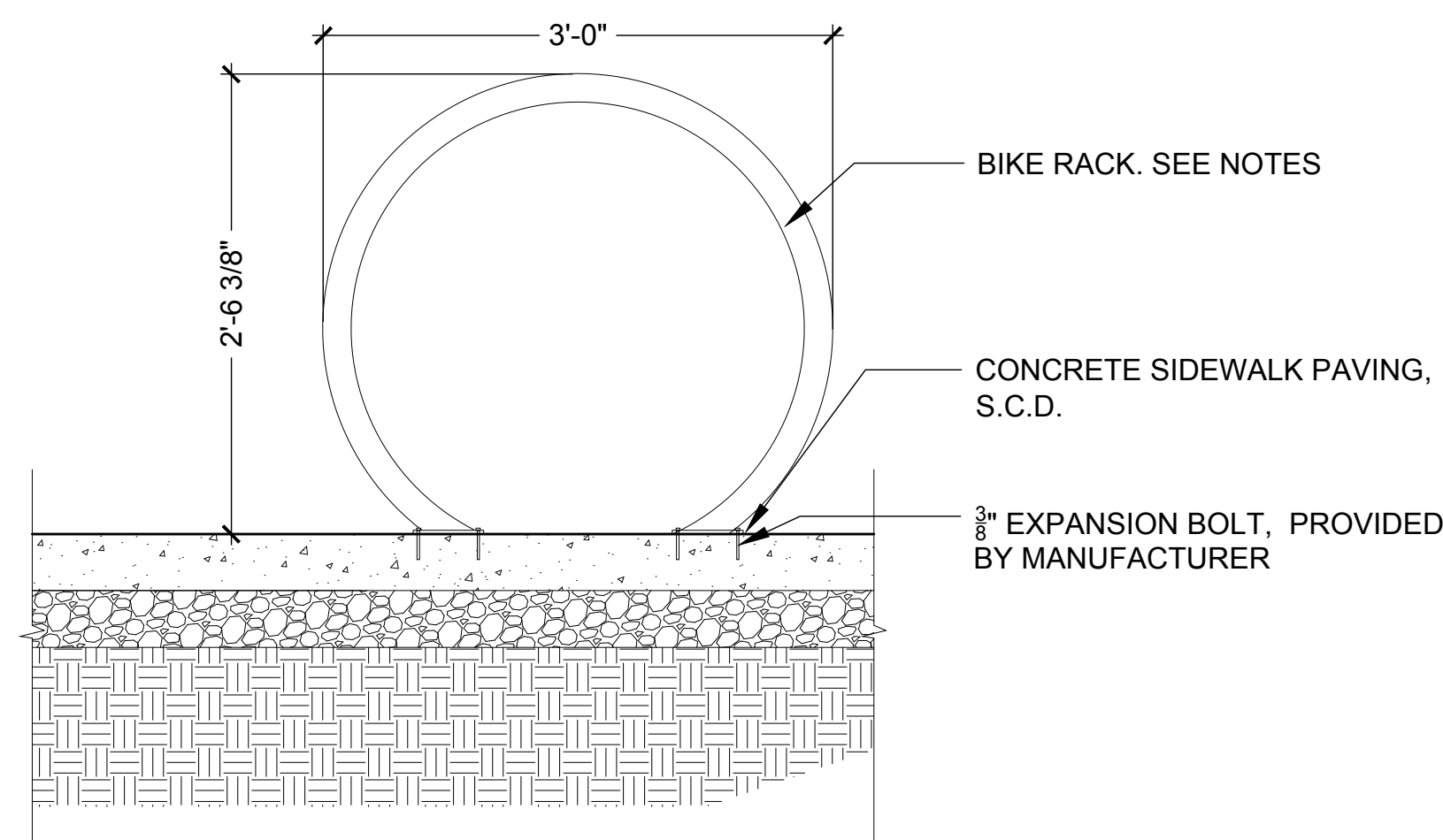
Panic hardware to be mounted on interior side of gate. No latches or controls to be mounted on exterior side of gate.



PLAN

PINE STREET EGRESS GATE AND SCREEN
SCALE: 1/2" = 1'-0"

SHOREY STREET EGRESS GATE AND SCREEN
SCALE: 1/2" = 1'-0"



BIKE RACK: 'WELLE' CIRCULAR, SQUARE TUBE, HOT-DIPPED GALVANIZED FINISH SURFACE MOUN, MODEL: WCR02-SQ-SF-G. AVAILABLE FROM www.bikeparking.com

BIKE RACK
SCALE: 1" = 1'-0"



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DETAILS

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SHEET NOTES

1. OFF-SITE IMPROVEMENT TO INCLUDE NEW PARKING ON SHOREY STREET.
2. SHOREY LANE EXTENSION TO BE A NEW ROAD FOR FIRE ACCESS AND PARKING.

KEY NOTES

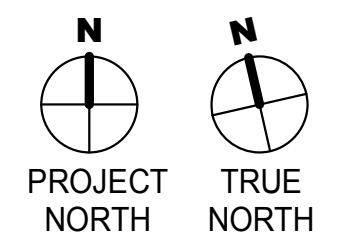
- 1 PUBLIC ART WALL OPPORTUNITY

OPEN SPACE	
Name	Area
OPEN SPACE	3,582 SF

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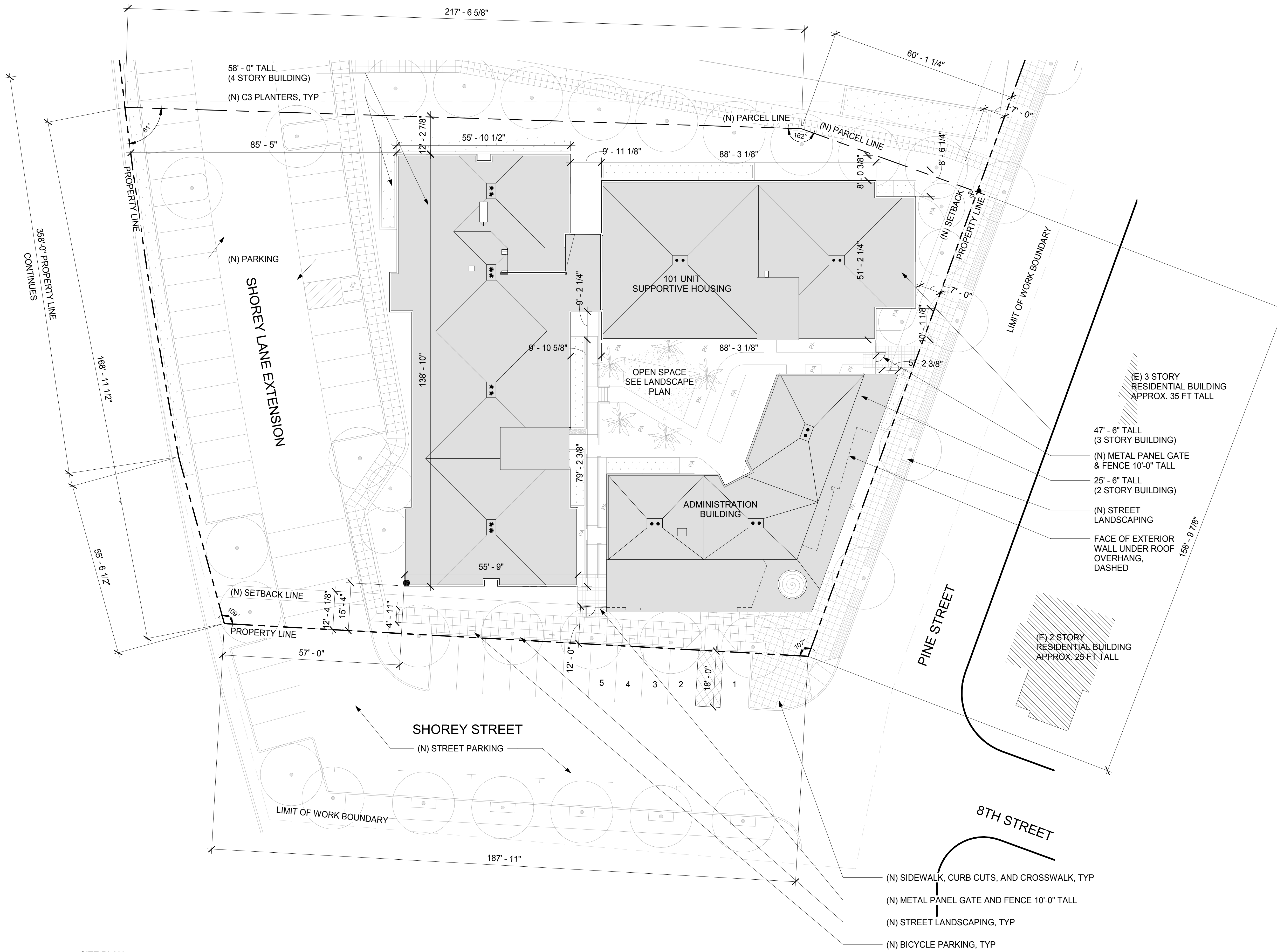
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SITE PLAN

SHEET NUMBER

P1.0

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1 SITE PLAN
1/16" = 1'-0"

12/3/2018 2:50:46 PM

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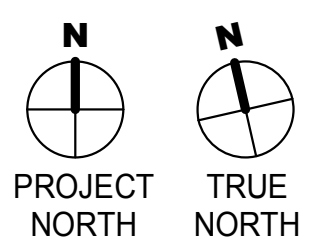
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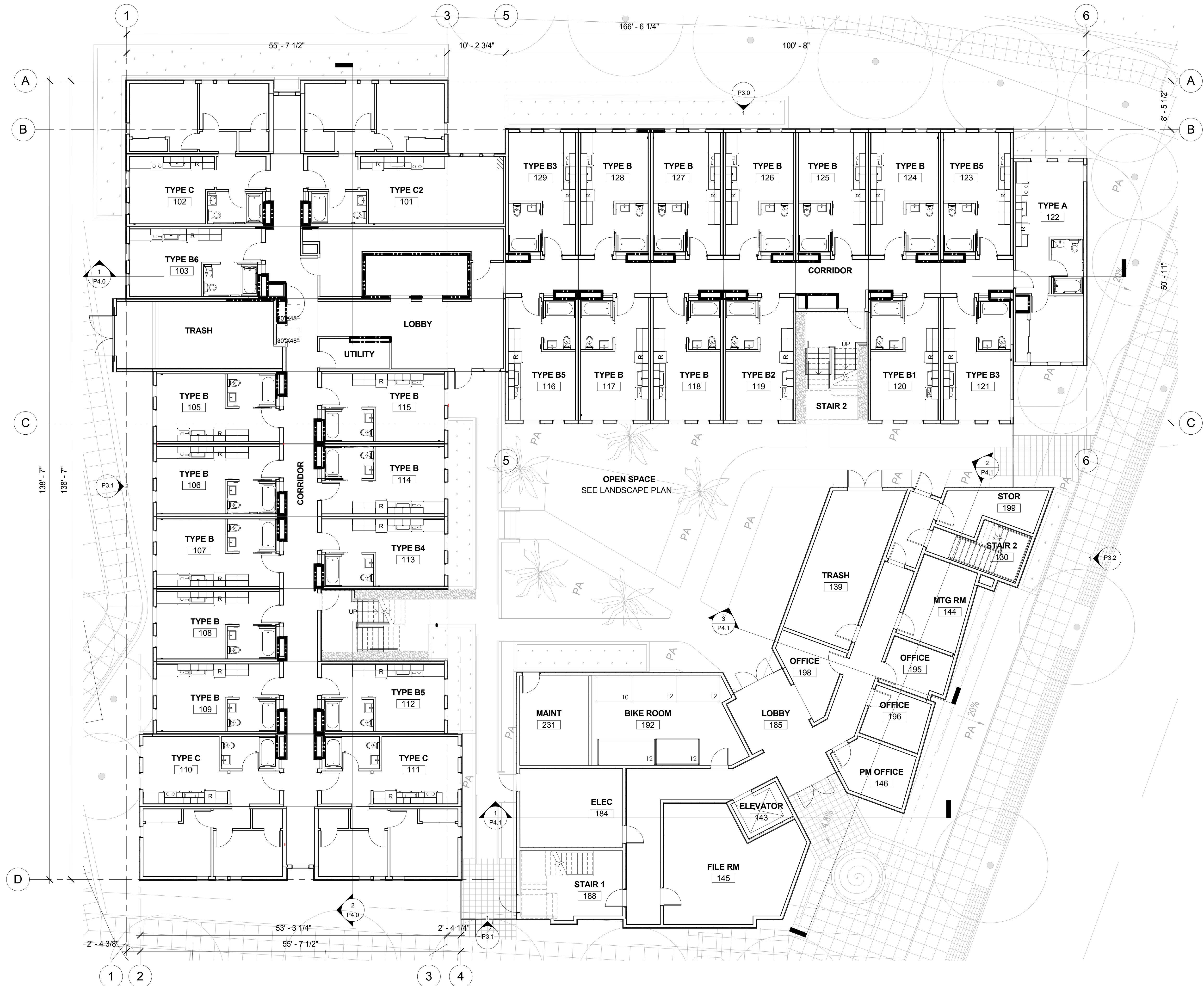
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**GROUND FLOOR
PLAN**

SHEET NUMBER

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12/3/2018 2:50:48 PM

1 GROUND FLOOR PLAN
1/8" = 1'-0"

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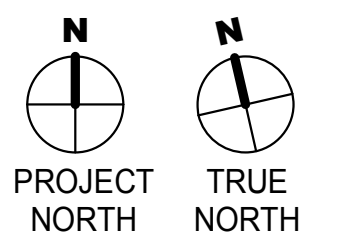
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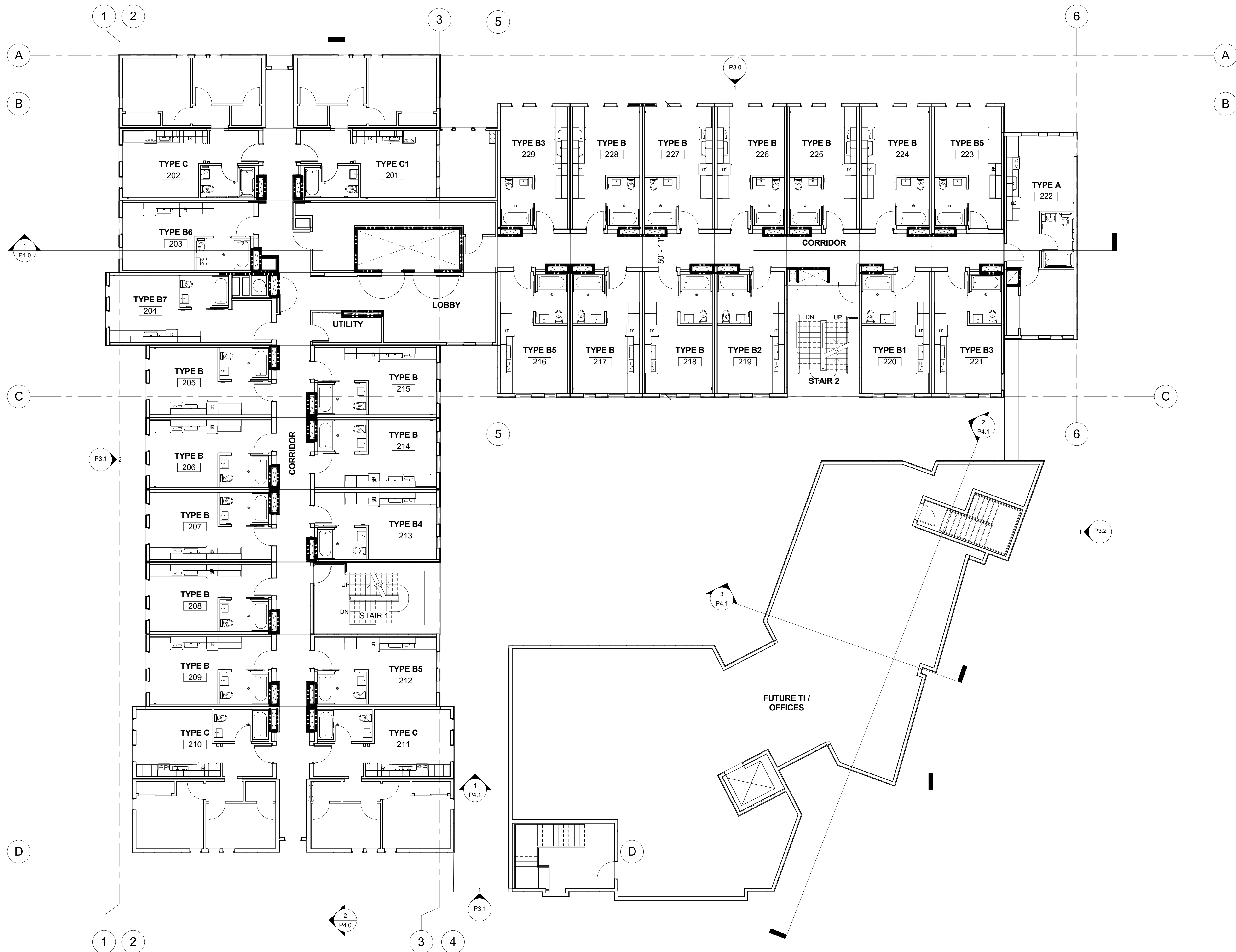
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**SECOND LEVEL
PLAN**

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P2.2

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12/3/2018 2:50:55 PM

1 LEVEL 2 FLOOR PLAN
1/8" = 1'-0"

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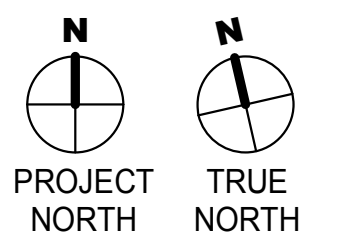
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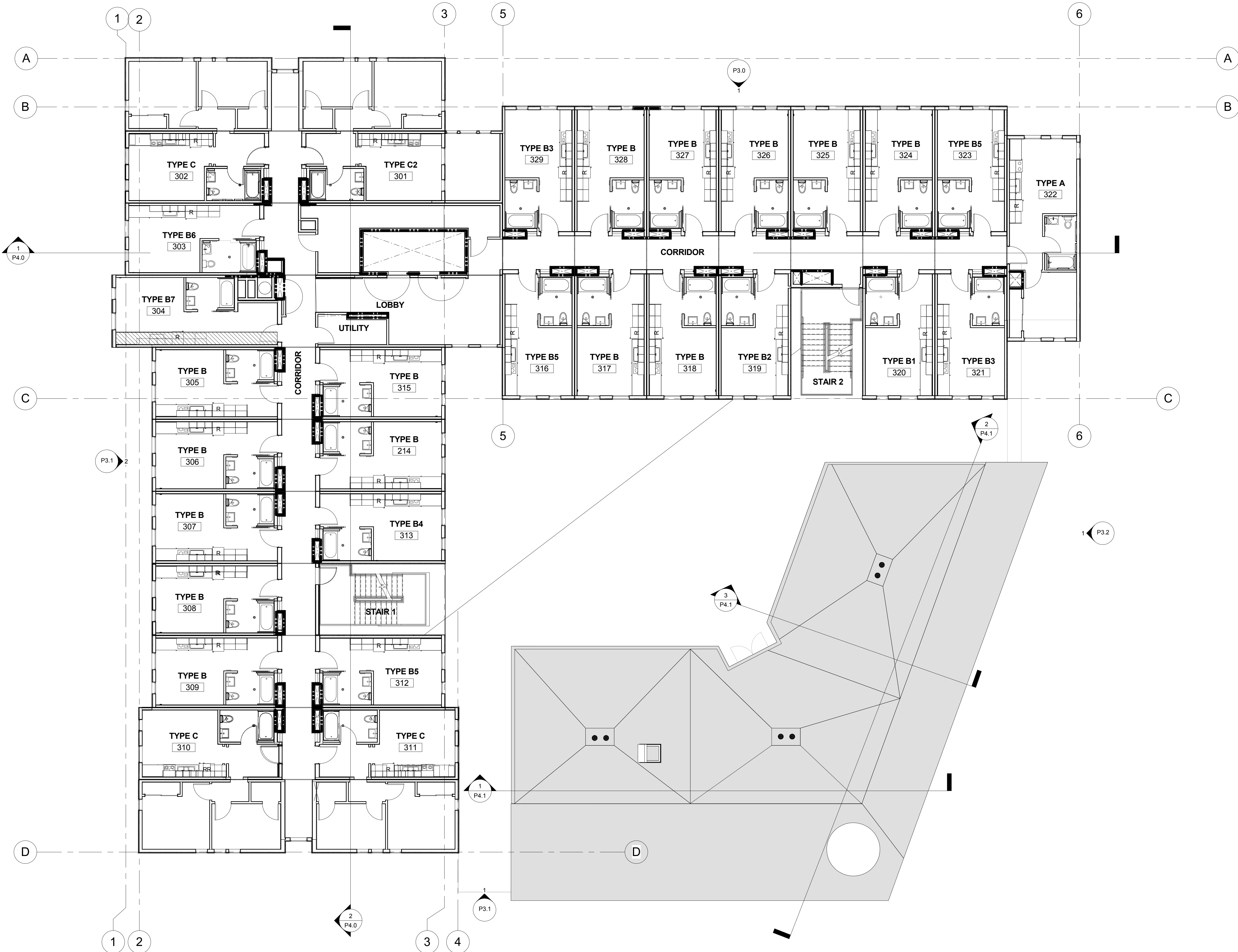
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**THIRD LEVEL
PLAN**

SHEET NUMBER

P2.3

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1 LEVEL 3 FLOOR PLAN
1/8" = 1'-0"

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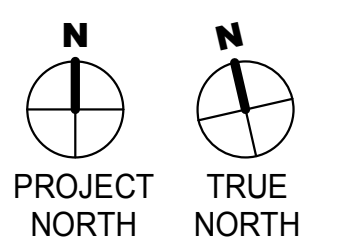
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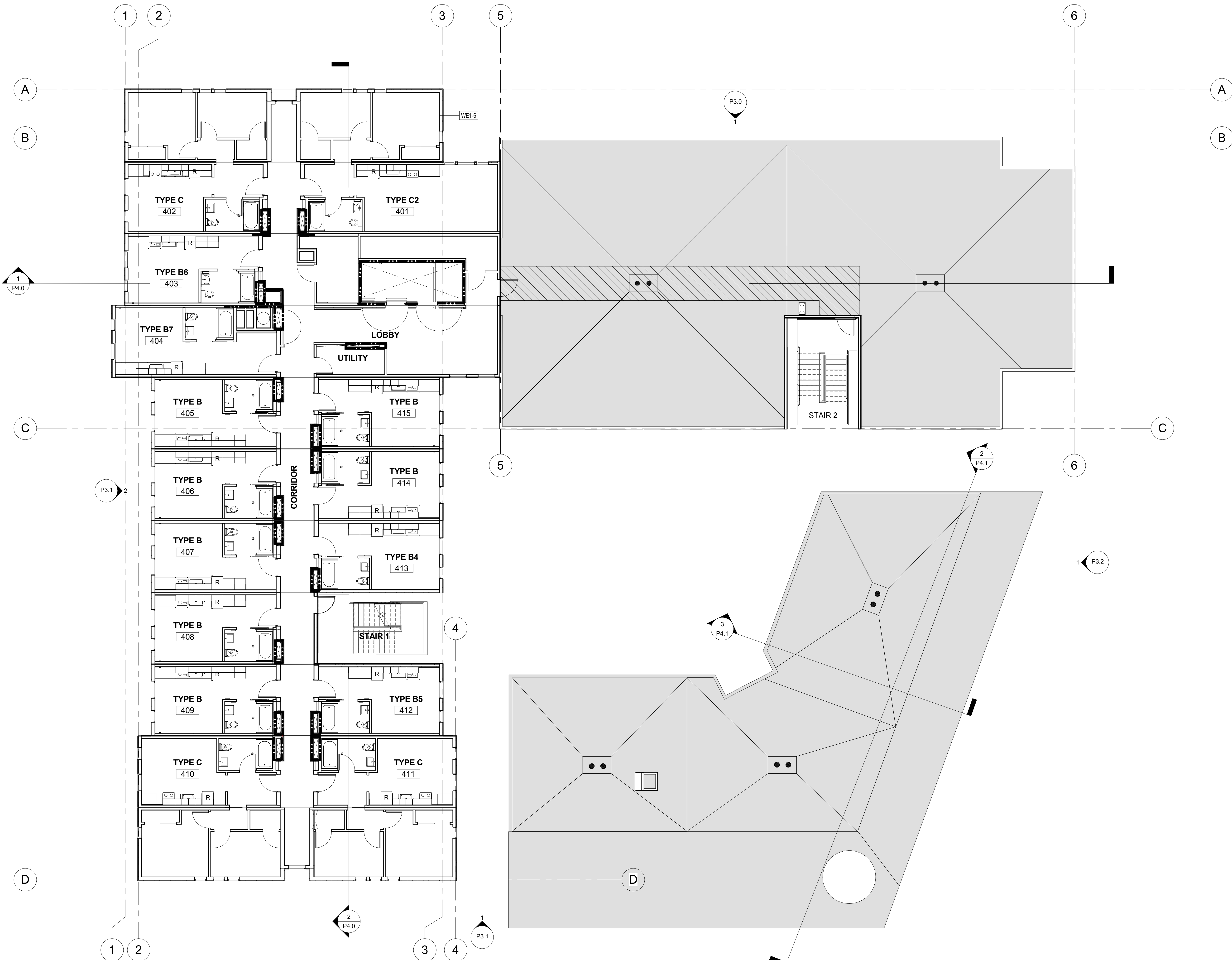
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**FOURTH LEVEL
PLAN**

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1 LEVEL 4 FLOOR PLAN
1/8" = 1'-0"

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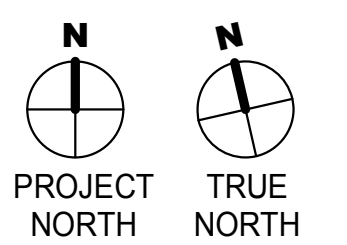
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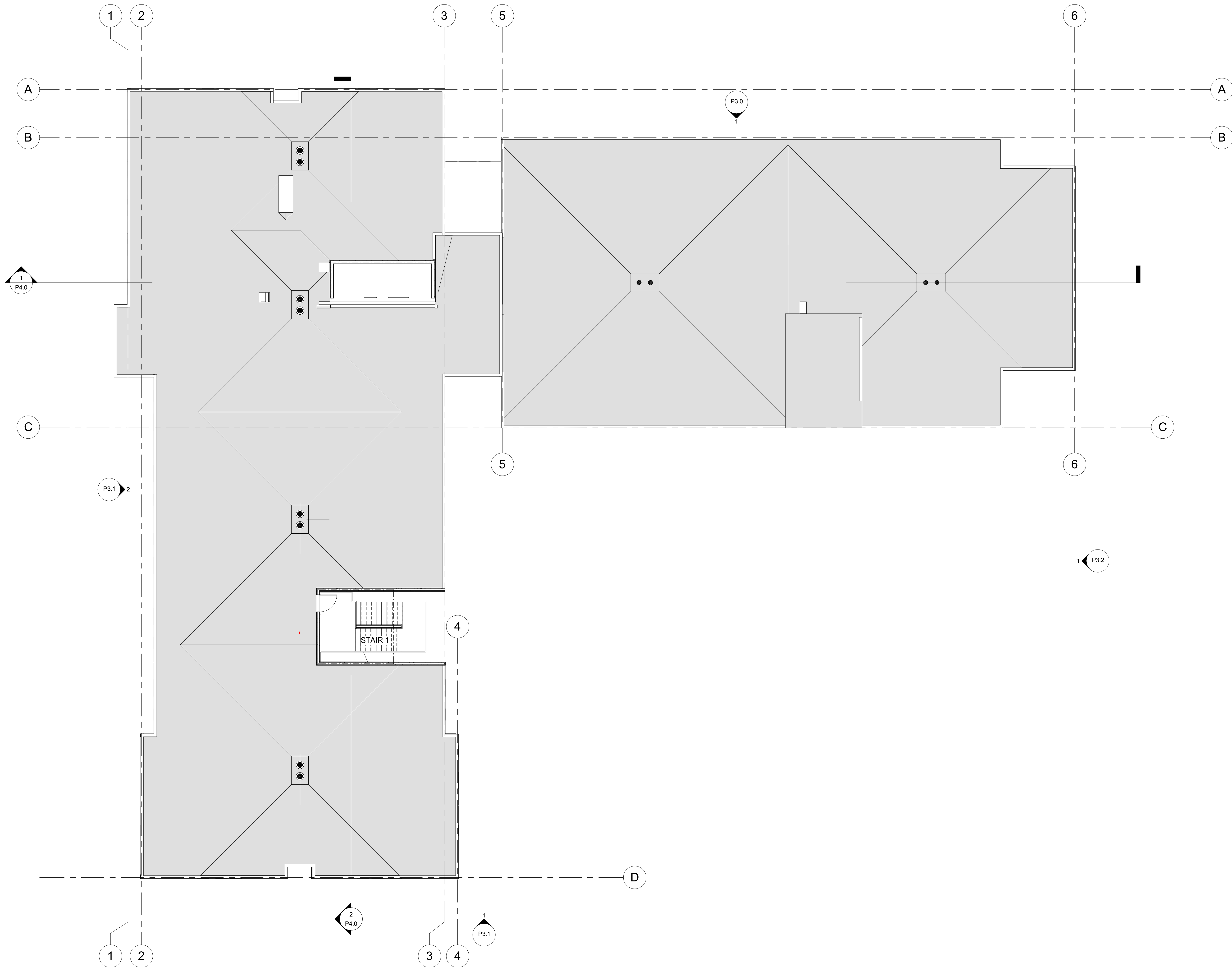
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ROOF PLAN

SHEET NUMBER

P2.5

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1 ROOF PLAN
1/8" = 1'-0"



HS1 HORIZONTAL SIDING TUPELO TREE SW 6417



C1 BOARD FORMED CONCRETE WALL



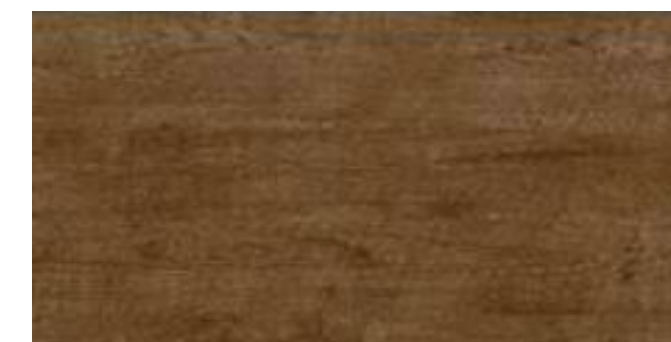
P2 PANEL PAINTED RESOLUTE BLUE SW 6507



S1 STUCCO PAINTED LUAU GREEN SW 6712



S3 STUCCO PAINTED CREAMY SW 7012



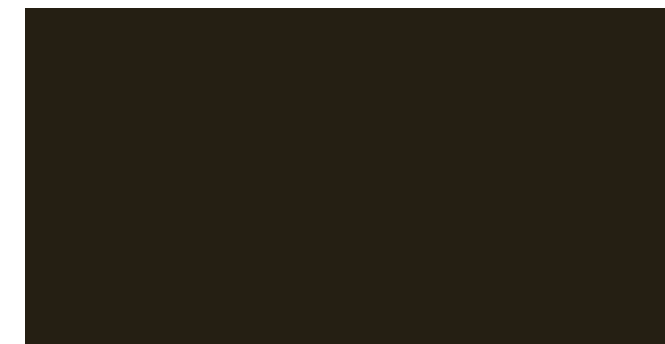
W2 WOOD LIKE PANEL



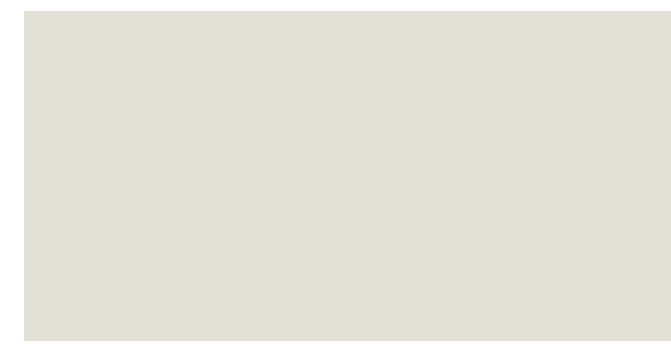
HS2 HORIZONTAL SIDING TECHNO GRAY SW 6170



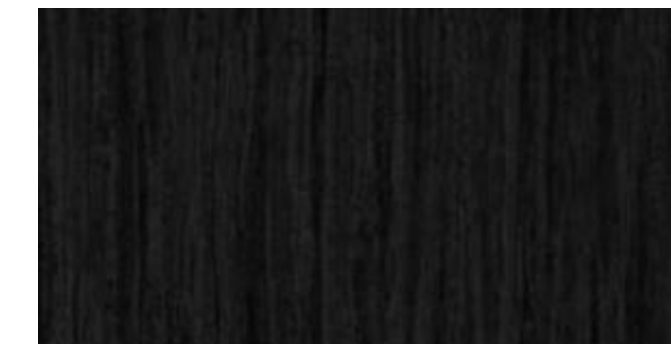
P1 PANEL PAINTED TEMPE STAR SW 6229



WF1 WINDOW FRAME DARK ANODIZED BRONZE



S2 STUCCO PAINTED EIDER WHITE SW 7014



W1 WOOD LIKE PANEL - NORDIC BLACK NW23



W3 WOOD LIKE PANEL - HALMSTAD NW28

MATERIAL LEGEND

- H1 HORIZONTAL SIDING TUPELO TREE SW 6417
- H2 HORIZONTAL SIDING TECHNO GRAY SW 6170
- C1 BOARD FORMED CONCRETE WALL
- P1 PANEL PAINTED TEMPE STAR SW 6229
- P2 PANEL PAINTED RESOLUTE BLUE SW 6507
- S1 STUCCO PAINTED LUAU GREEN SW 6712
- S2 STUCCO PAINTED EIDER WHITE SW 7014
- S3 STUCCO PAINTED CREAMY SW 7012
- W1 WOOD LIKE PANEL - NORDIC BLACK NW23
- W2 WOOD LIKE PANEL - LOFT BROWN NW05
- W3 WOOD LIKE PANEL - HALMSTAD NW28
- WF1 WINDOW FRAME DARK ANODIZED BRONZE

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1 BUILDING ELEVATION - NORTH
1/8" = 1'-0"

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BUILDING ELEVATIONS

SHEET NUMBER

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BUILDING ELEVATIONS

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MATERIAL LEGEND

- (H1) HORIZONTAL SIDING TUPELO TREE SW 6417
- (H2) HORIZONTAL SIDING TECHNO GRAY SW 6170
- (C1) BOARD FORMED CONCRETE WALL
- (P1) PANEL PAINTED TEMPE STAR SW 6229
- (P2) PANEL PAINTED RESOLUTE BLUE SW 6507
- (S1) STUCCO PAINTED LUAU GREEN SW 6712
- (S2) STUCCO PAINTED EIDER WHITE SW 7014
- (S3) STUCCO PAINTED CREAMY SW 7012
- (W1) WOOD LIKE PANEL - NORDIC BLACK NW23
- (W2) WOOD LIKE PANEL - LOFT BROWN NW05
- (W3) WOOD LIKE PANEL - HALMSTAD NW28
- (WF1) WINDOW FRAME DARK ANODIZED BRONZE



2 BUILDING ELEVATION - WEST
1/8" = 1'-0"



1 BUILDING ELEVATION - SOUTH
1/8" = 1'-0"

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**BUILDING
ELEVATIONS**

SHEET NUMBER

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MATERIAL LEGEND

- (H1) HORIZONTAL SIDING TUPELO TREE SW 6417
- (H2) HORIZONTAL SIDING TECHNO GRAY SW 6170
- (C1) BOARD FORMED CONCRETE WALL
- (P1) PANEL PAINTED TEMPE STAR SW 6229
- (P2) PANEL PAINTED RESOLUTE BLUE SW 6507
- (S1) STUCCO PAINTED LUAU GREEN SW 6712
- (S2) STUCCO PAINTED EIDER WHITE SW 7014
- (S3) STUCCO PAINTED CREAMY SW 7012
- (W1) WOOD LIKE PANEL - NORDIC BLACK NW23
- (W2) WOOD LIKE PANEL - LOFT BROWN NW05
- (W3) WOOD LIKE PANEL - HALMSTAD NW28
- (WF1) WINDOW FRAME DARK ANODIZED BRONZE



① BUILDING ELEVATION - EAST
1/8" = 1'-0"

THE PHOENIX

801 PINE STREET, OAKLAND, CA 94607

URBAN DESIGNS LLC

1201 Pine St, Suite 151
Oakland, CA 94607

ARCHITECT STAMP

NOT FOR CONSTRUCTION

CONSULTANT

CONSULTANT STAMP

#	DATE	ISSUES & REVISIONS	BY
04/04/2018	PLANNING SUBMITTAL	NG	
08/24/2018	PLANNING RESUBMITTAL	NG	
12/03/2018	PLANNING RESUBMITTAL	PS	

DRAWN BY: Author
PROJECT NUMBER: 18-010
SHEET ISSUE DATE: 03/21/18
SHEET TITLE:

BUILDING SECTIONS

SHEET NUMBER

P4.0

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT

Color Legend

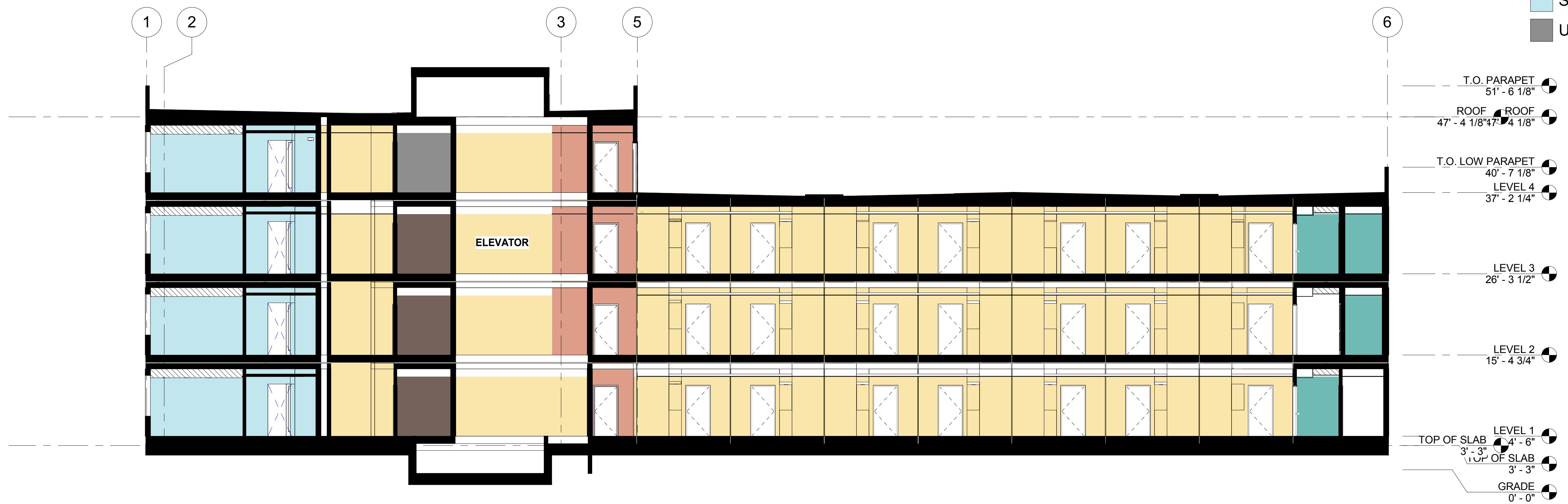
- 2 BEDROOM
- CIRCULATION
- RESIDENTIAL LOBBY
- STORAGE
- STUDIO

Color Legend

- 1 BEDROOM
- CIRCULATION
- RESIDENTIAL LOBBY
- STORAGE
- STUDIO
- UTILITY



2 BUILDING SECTION - WEST TO EAST
1/8" = 1'-0"



1 BUILDING SECTION - NORTH TO SOUTH
1/8" = 1'-0"

THE PHOENIX

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DRAWN BY: Author
PROJECT NUMBER: 18-010
SHEET ISSUE DATE: 03/15/18
SHEET TITLE:

**BUILDING
SECTIONS**

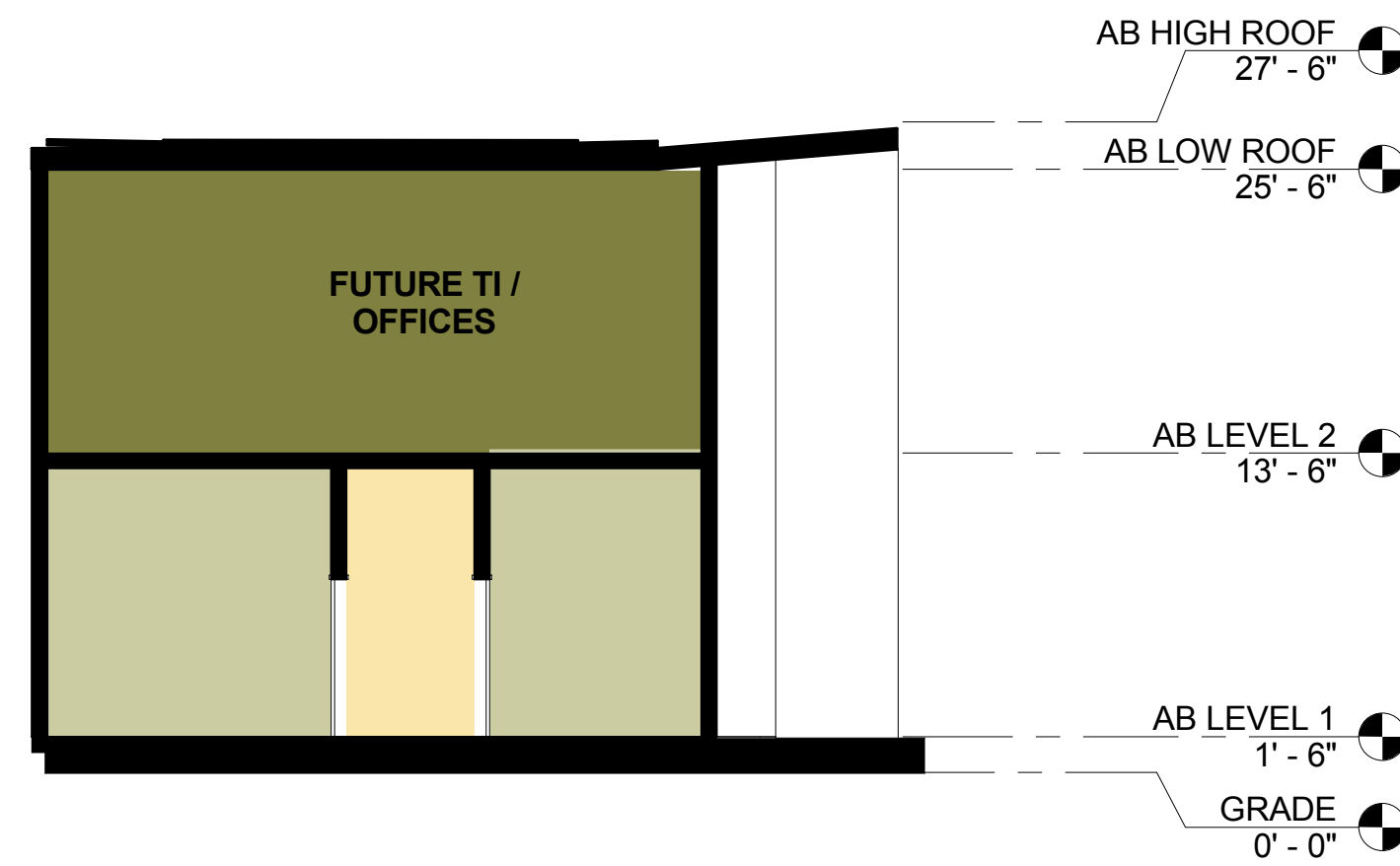
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P4.1

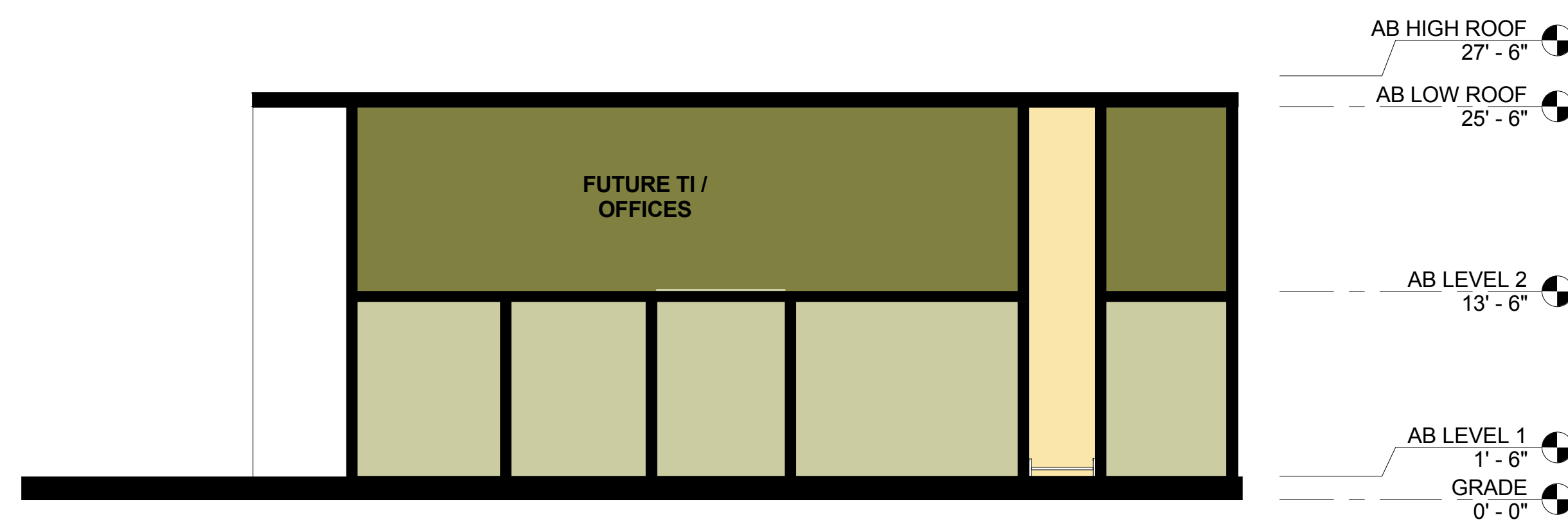
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Color Legend

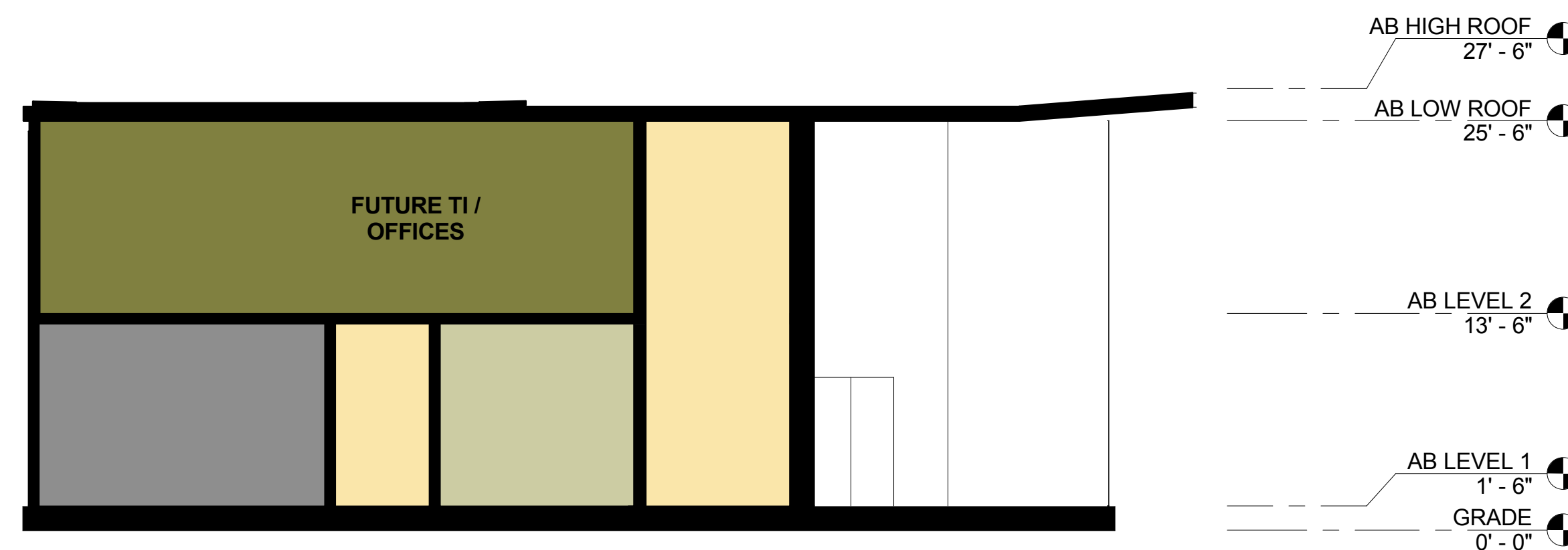
- CIRCULATION
- COMMERCIAL
- OFFICE



③ ADMIN BUILDING SECTION
1/8" = 1'-0"



② ADMIN BUILDING SECTION
1/8" = 1'-0"



① ADMIN BUILDING SECTION
1/8" = 1'-0"

THE PHOENIX

801 PINE STREET, OAKLAND, CA 94607

URBAN DESIGNS LLC

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CONSULTANT STAMP

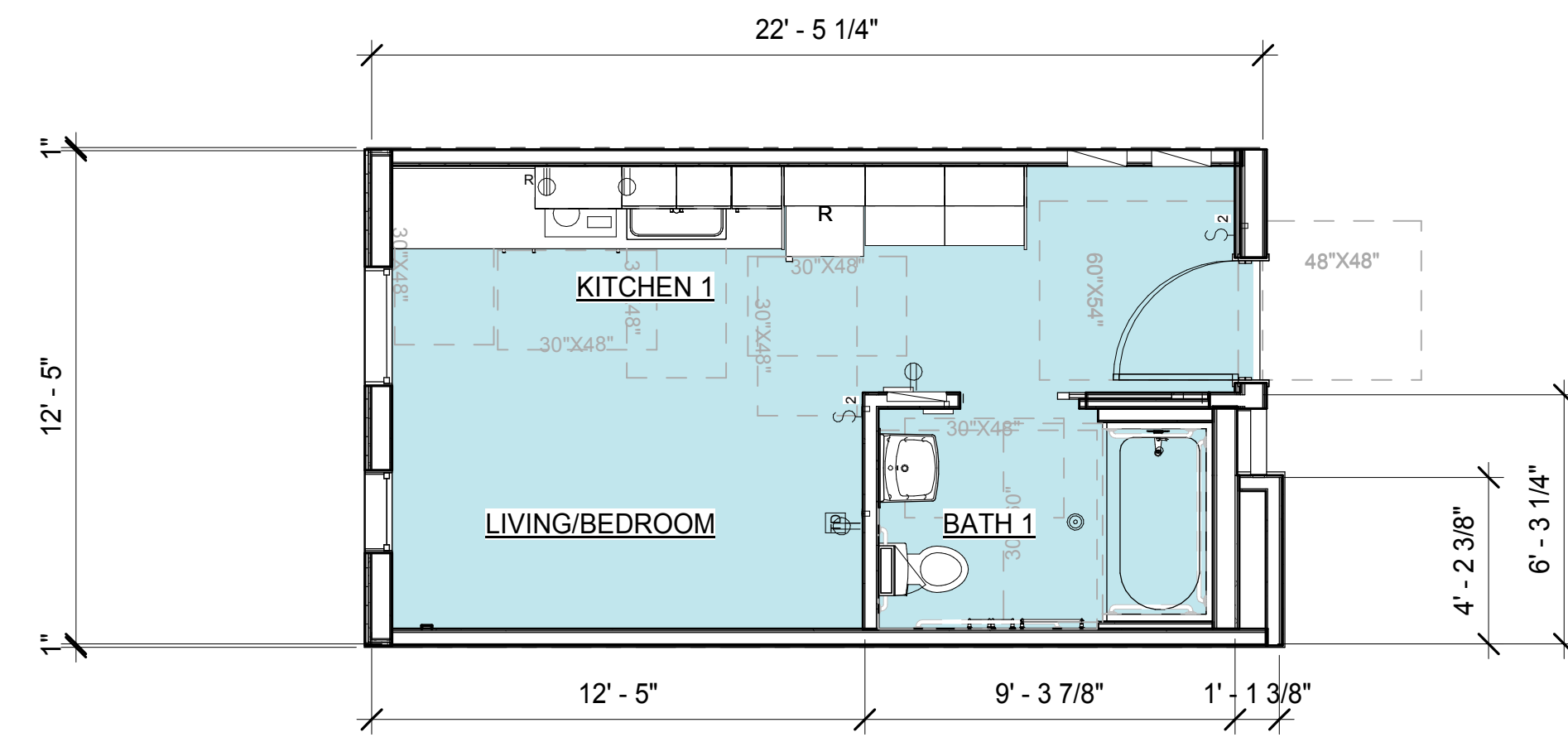
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08/24/2018	PLANNING RESUBMITTAL	NG	
12/03/2018	PLANNING RESUBMITTAL	PS	

DRAWN BY: Author
PROJECT NUMBER: 18-010
SHEET ISSUE DATE: 03/21/18
SHEET TITLE:

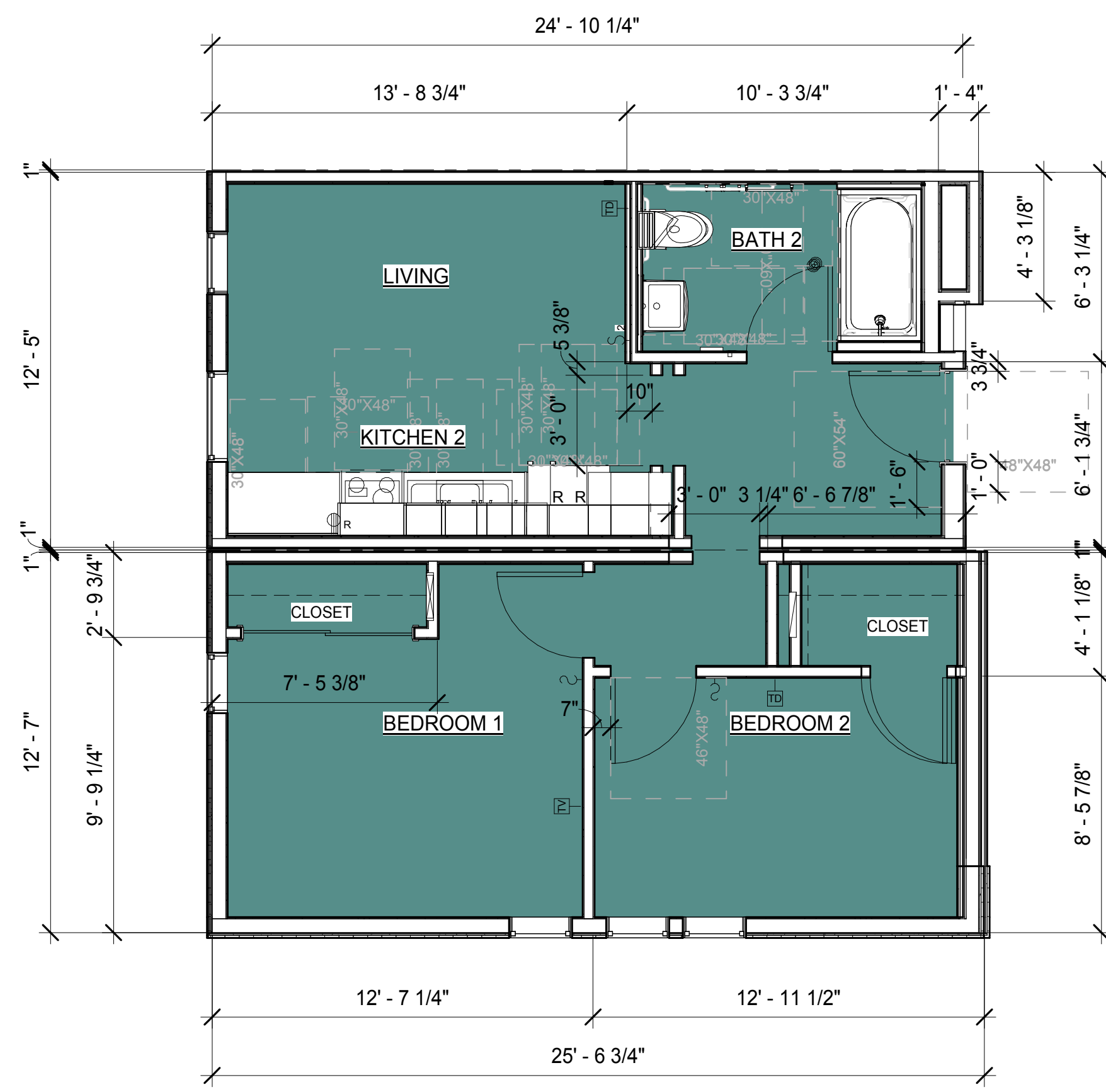
ENLARGED UNIT PLANS

SHEET NUMBER **P5.0**

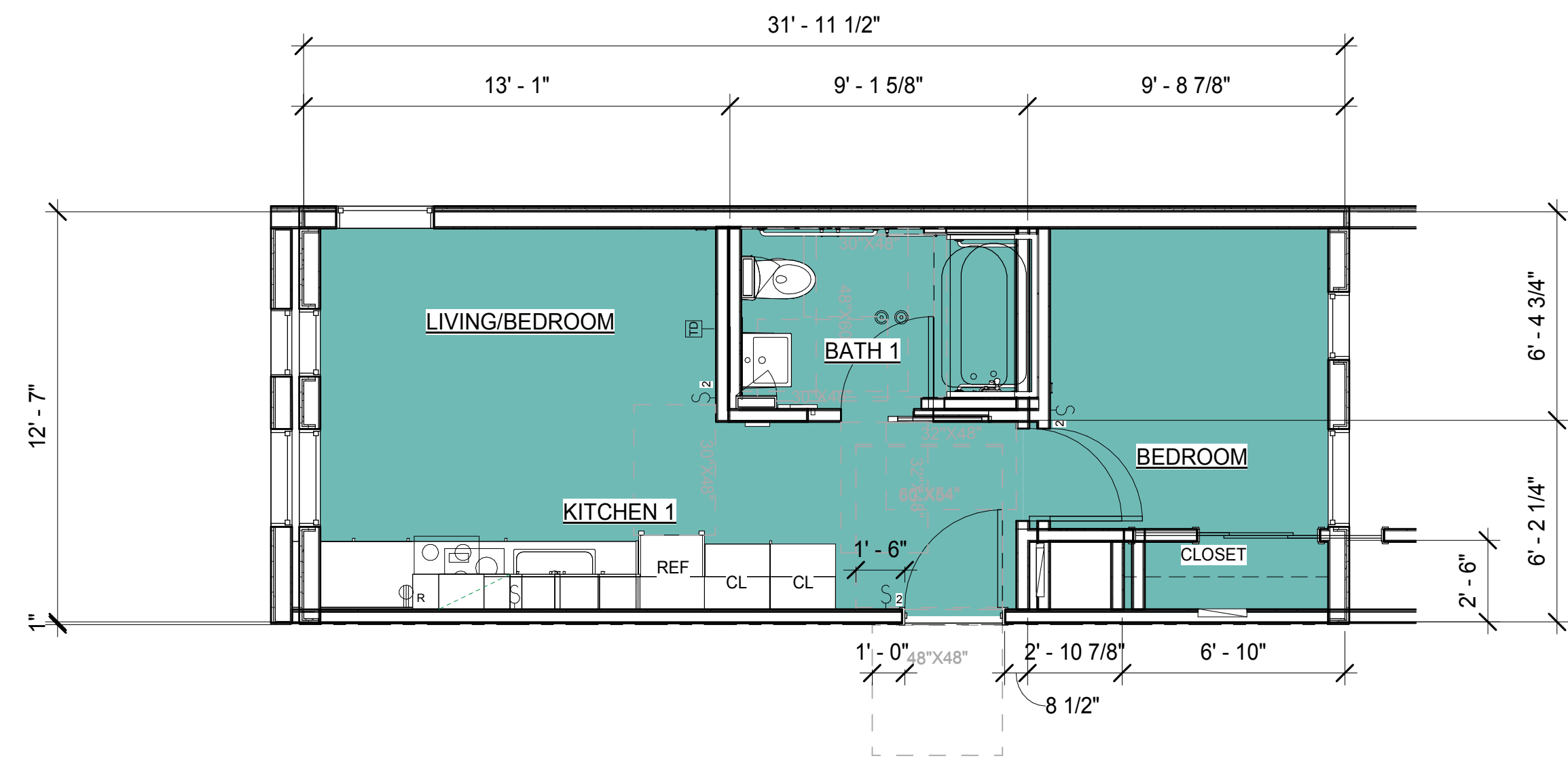
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2 MODULE TYPE B (STUDIO) - FLOOR PLAN
1/4" = 1'-0"



3 MODULE TYPE C (2 BEDROOM) - FLOOR PLAN
1/4" = 1'-0"



1 MODULE TYPE A (1 BEDROOM) - FLOOR PLAN
1/4" = 1'-0"

THE PHOENIX

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	12/03/2018	PLANNING RESUBMITTAL	PS

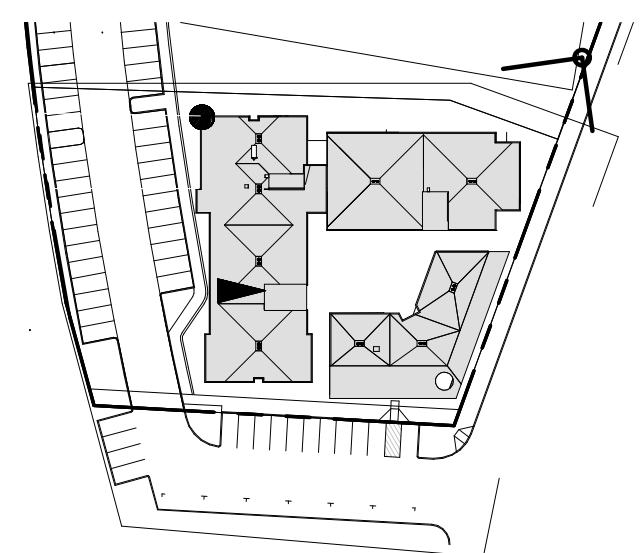
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SHEET TITLE:

**PERSPECTIVE
DRAWINGS**

SHEET NUMBER

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SHOREY LANE AND PINE STREET VIEW

THE PHOENIX

801 PINE STREET, OAKLAND, CA 94607

URBAN DESIGNS LLC

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Oakland, CA 94607

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12/03/2018	PLANNING RESUBMITTAL	PS	

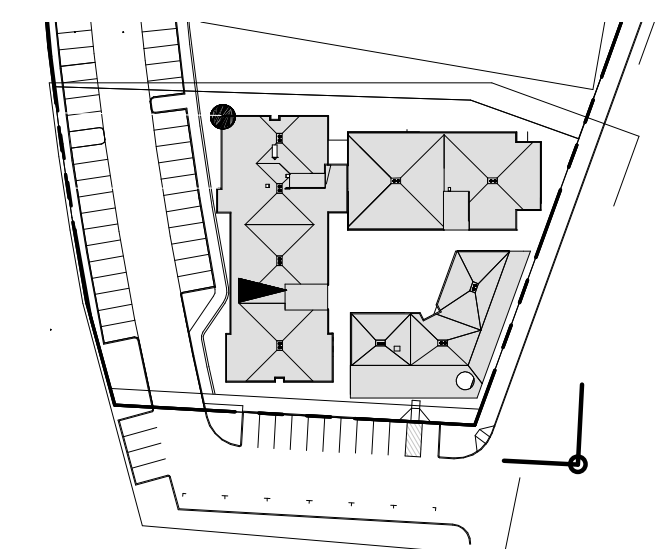
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SHEET ISSUE DATE: 03/15/18
SHEET TITLE:

**PERSPECTIVE
DRAWINGS**

SHEET NUMBER

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PINE STREET VIEW

THE PHOENIX

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URBAN DESIGNS LLC

1201 Pine St, Suite 151
Oakland, CA 94607

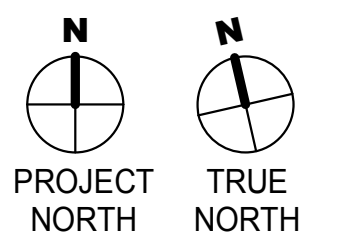
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CONSULTANT

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12/03/2018		PLANNING RESUBMITTAL	PS



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PROJECT NUMBER: 18-010
SHEET ISSUE DATE: 03/21/18
SHEET TITLE:

LIGHTING PLAN

SHEET NUMBER

P7.0

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LIGHTING FIXTURE LEGEND

A - WALL MOUNTED SCNCE LIGHT

WALL MOUNTED LIGHT FIXTURE AT GROUND LEVEL ENTRIES



66 516 Wall Luminaire with Double-sided Light Output
By BEGA Lighting



B - WALL MOUNTED SCNCE LIGHT

TYPICAL WALL MOUNTED LIGHT FIXTURE INSTALLED AT OUTSIDE STAIRS



Vessel Up & Down WS-W9102
By Modern Forms



C - LED PEDESTRIAN POST LIGHTING

POST LIGHTING ALONG PATHWAYS IN COURTYARDS



Astro 1
By Selux



12/3/2018 2:51:45 PM

1 GROUND FLOOR PLAN - BUILDING 1 LIGHTING PLAN
1/8" = 1'-0"

THE PHOENIX

801 PINE STREET, OAKLAND, CA 94607

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Oakland, CA 94607

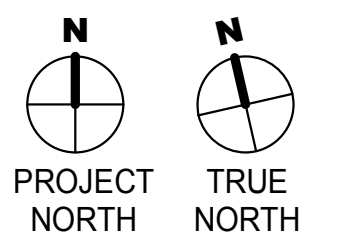
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12/03/2018		PLANNING RESUBMITTAL	PS



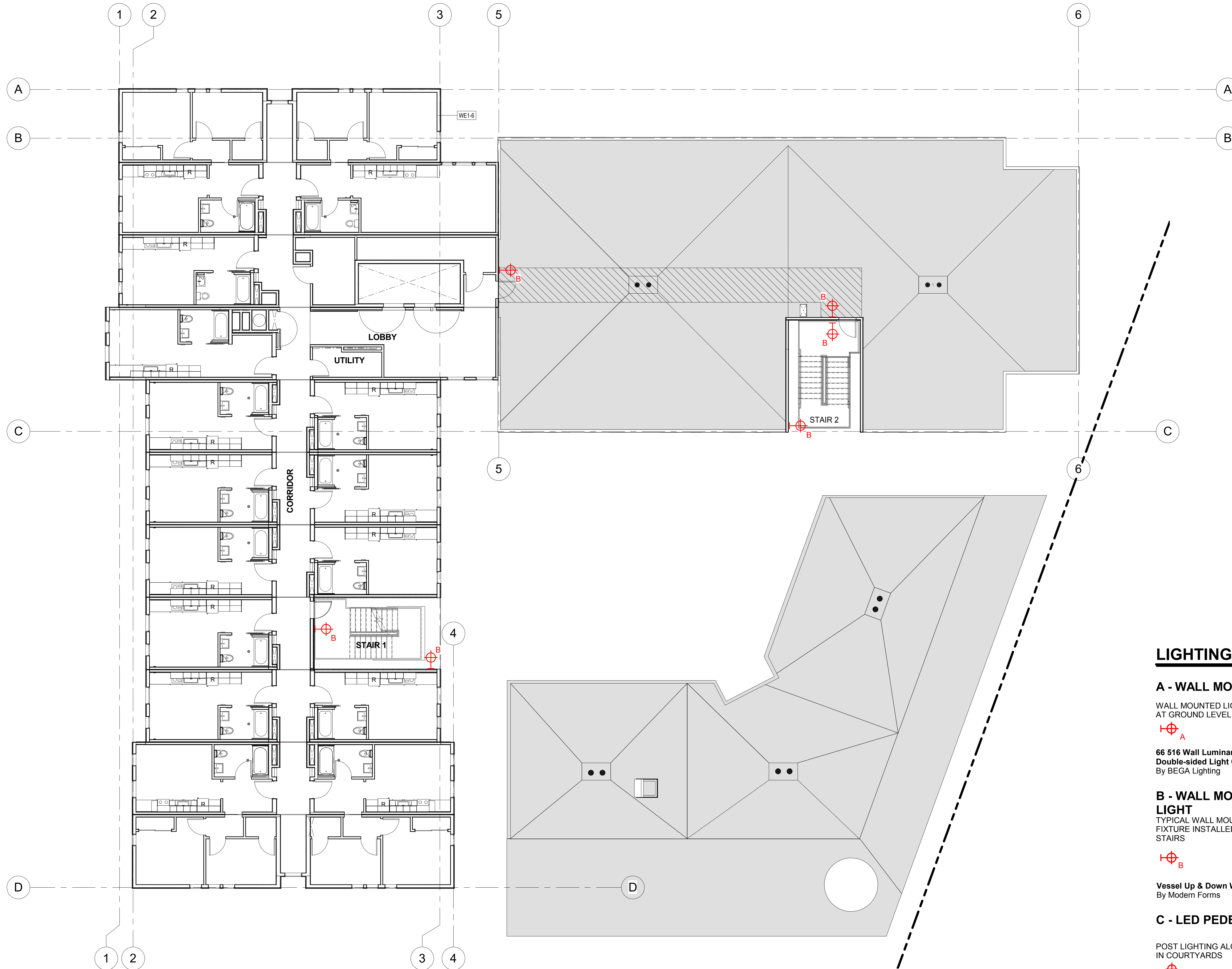
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SHEET ISSUE DATE: 03/15/18
SHEET TITLE:

LIGHTING PLAN

SHEET NUMBER

P7.1

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LIGHTING FIXTURE LEGEND

A - WALL MOUNTED SCONCE LIGHT

WALL MOUNTED LIGHT FIXTURE AT GROUND LEVEL ENTRIES



66 516 Wall Luminaire with Double-sided Light Output
By BEGA Lighting

B - WALL MOUNTED SCONCE LIGHT

TYPICAL WALL MOUNTED LIGHT FIXTURE INSTALLED AT OUTSIDE STAIRS



Vessel Up & Down WS-W9102
By Modern Forms

C - LED PEDESTRIAN POST LIGHTING

POST LIGHTING ALONG PATHWAYS IN COURTYARDS



Astro 1
By Selux

12/3/2018 3:13:58 PM

1 ENLARGED LEVEL 4 FLOOR PLAN LIGHTING PLAN
1/8" = 1'-0"

THE PHOENIX

801 PINE STREET, OAKLAND, CA 94607

URBAN DESIGNS LLC

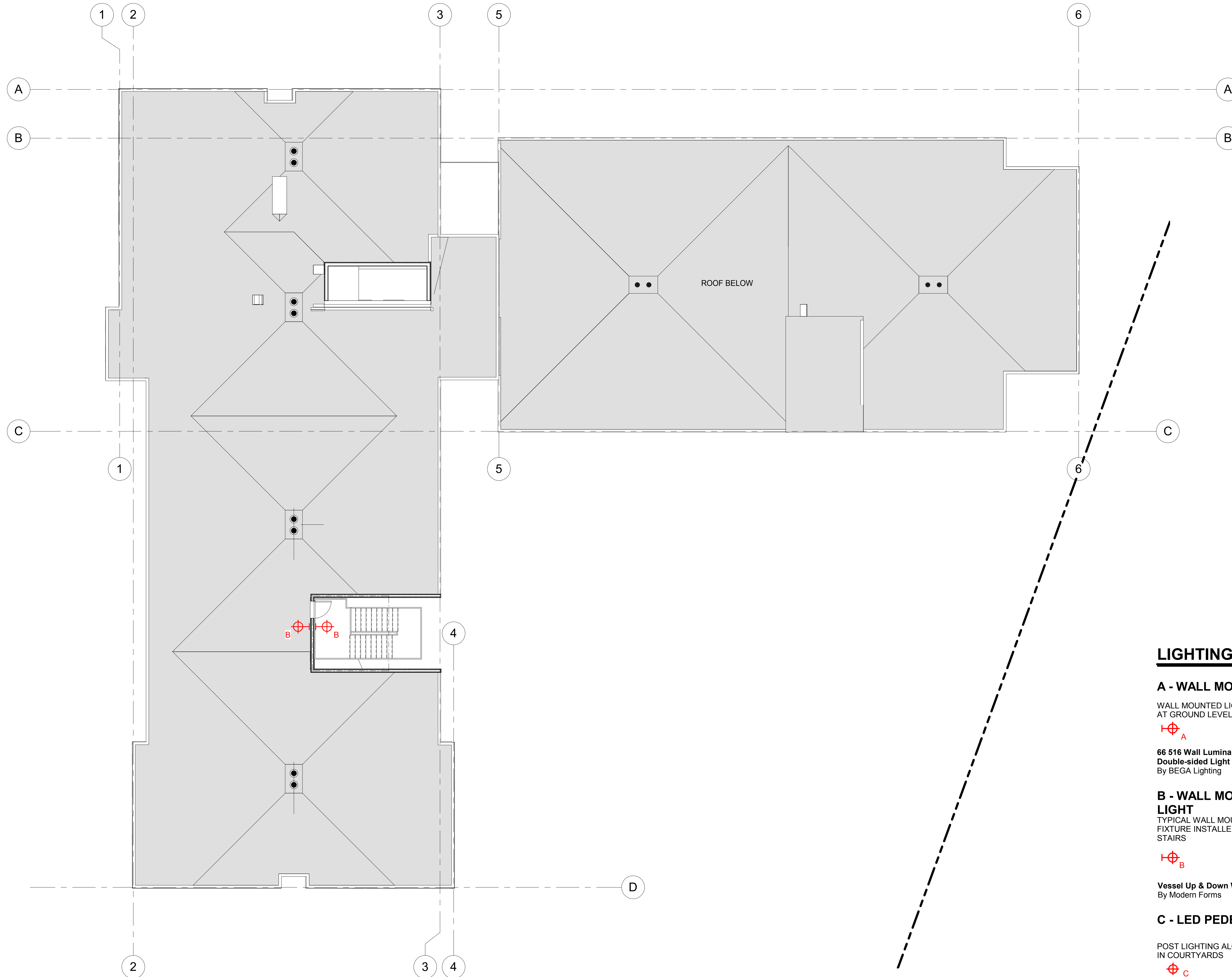
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Oakland, CA 94607

ARCHITECT STAMP

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CONSULTANT

CONSULTANT STAMP



LIGHTING FIXTURE LEGEND

A - WALL MOUNTED SCONCE LIGHT

WALL MOUNTED LIGHT FIXTURE AT GROUND LEVEL ENTRIES



66 516 Wall Luminaire with Double-sided Light Output
By BEGA Lighting



B - WALL MOUNTED SCONCE LIGHT

TYPICAL WALL MOUNTED LIGHT FIXTURE INSTALLED AT OUTSIDE STAIRS



Vessel Up & Down WS-W9102
By Modern Forms



C - LED PEDESTRIAN POST LIGHTING

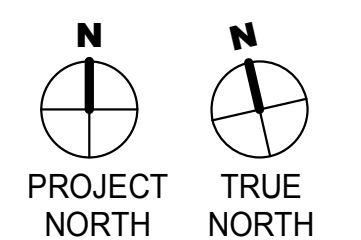
POST LIGHTING ALONG PATHWAYS IN COURTYARDS



Astro 1
By Selux



#	DATE	ISSUES & REVISIONS	BY
04/04/2018	PLANNING SUBMITTAL	NG	
08/24/2018	PLANNING RESUBMITTAL	NG	
12/03/2018	PLANNING RESUBMITTAL	PS	



DRAWN BY: Author
PROJECT NUMBER: 18-010
SHEET ISSUE DATE: 03/14/18
SHEET TITLE:

LIGHTING PLAN

SHEET NUMBER

P7.2

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THE PHOENIX

PLANNED UNIT DEVELOPMENT SET



PROJECT DIRECTORY

DEVELOPER:
URBAN DESIGNS, LLC.
1201 PINE ST #151
OAKLAND, CA 94607
T. 510-588-5152
ATTN: KEVIN BROWN
KB@HOLLIDAYDEVELOPMENT.COM

ARCHITECT:
DAVID BAKER ARCHITECTS
461 2ND STREET, LOFT C-127
SAN FRANCISCO, CA 94107
T. 415.896.6700
ATTN: DANIEL SIMONS
DANIELSIMONS@DBARCHITECT.COM

SHEET INDEX

1. GENERAL

- G.001 TITLE SHEET
- G.002 PROJECT DATA
- G.003 EXISTING SITE CONDITIONS
- G.004 LAND USE
- G.005 ZONING - GSF & FAR
- G.006 ZONING - UNIT COUNT & POPULATION

2. CIVIL

- C-1.0. TITLE SHEET
- C-2.0. GRADING & UTILITY PLAN
- ER-1. EROSION CONTROL PLAN
- ER-2. EROSION CONTROL DETAILS
- ER-3. EROSION CONTROL DETAILS
- SW-1. CONCEPTUAL STORMWATER TREAT. & MGMT
- SW-2. CONCEPTUAL STORMWATER TREAT. DETAILS

3. LANDSCAPE

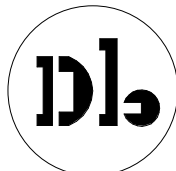
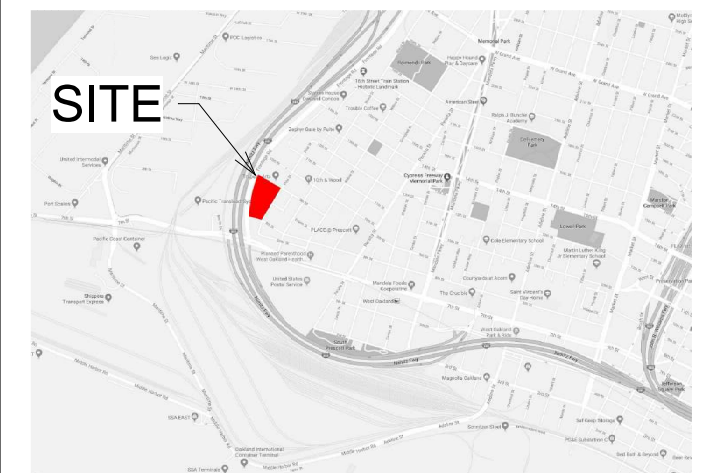
- L1.01. LANDSCAPE PLAN

4. ARCHITECTURE

- A.001 SITE PLAN - ROAD SHIFT
- A.110 FLOOR PLAN - LEVEL 1
- A.120 FLOOR PLAN - UPPER FLOOR, TYP.
- A.200 SITE ELEVATIONS
- A.201 SITE ELEVATIONS

PROJECT SITE

ADDRESS 801 PINE ST.,
OAKLAND, CA, 94607
LOT PARCEL 6-47-1
LOT SIZE 202,540 sq. ft. (4.65 acres)



David Baker Architects | Urban Designs, LLC.

The Phoenix

TITLE SHEET

21815

scale:
date: 12/13/2018

G.001

PROJECT INFORMATION

PROJECT SITE

Legal: Parcel 6-47-1
 APN 006 004700100

Zone: CIX-1B/S-19
 HBX-4

Lot Area: 202,540 SF / 4.65 Acres
 Building Footprints Total: 74877 SF
 Total Floor Area: 253402 SF

PROJECT DESCRIPTION

THE PROJECT IS LOCATED AT 801 PINE STREET IN OAKLAND, CALIFORNIA. THE PROJECT CONSISTS OF FIVE (5) BUILDINGS OF RESIDENTIAL HOUSING, SERVICES, COMMON AMENITIES, AND ARTIST SPACE, AND SURFACE PARKING AND OPEN SPACE THROUGHOUT THE PROJECT AREA.

BUILDING TYPE

NEW CONSTRUCTION OF 3-5 LEVELS OF RESIDENTIAL TYPE V CONSTRUCTION, 1-2 LEVELS OF AMENITY AND ARTIST SPACE OF TYPE V CONSTRUCTION

LAND AREA USE (GROUND LEVEL)

Name	Area(SF)
Fire Lane	17887
Group Open Space	24562
Landscape & Patios	46610
Lt. Ind. (Light Industrial)	19404
Parking	31031
Priv. Open Space	6812
Res. (Residential)	39092
Support. (Supportive Housing)	16381
	201779

BUILDING GSF BY USE

Lt. Ind. (Light Industrial)	19404
Res. (Residential)	180830
Support. (Supportive Housing)	53168
	253402

RESIDENTIAL UNITS

1BR	42
2BR	68
S	197
Total	307

LOADING

On-Property	5
-------------	---

COMPLIANCE

	PROVIDED	HBX-4	CIX-1B
PARKING (Resident'l)	0.64/UNIT	1/Unit* *0.5 / Unit per CA Gov't Code 65915(p)(3)(A)	1/Unit
PARKING (Support.)	no off-street provided	1/Unit* *0.5 / Unit per CA Gov't Code 65915(p)(3)(A)	1/Unit
PARKING (Industrial)	no off-street provided	1 per 1,500sf	1 per 1,500sf
HEIGHT	60' Max.	55' Max.*	85' Max.
F.A.R.	HBX-4 = 1.43, CIX-1B = 0 Whole Site = 1.25	2.5	2.0
USES	Permanent Residential Supportive Housing Light Manuf. (Maker Space) 19,404sf	Permitted Permitted Permitted* *CUP req'd >25,000sf	Prohibited* Prohibited* Permitted *Permitted 150' into the CIX-1B Zone per OMC 17.102.110 and Add'l 50ft per a Density Bonus
OPEN SPACE	124sf/Unit	100sf/Unit	38sf / Unit* *5% min site landscaping
FRONT YARD	2'	-	0' Min.
REAR YARD	-	10' min if abuts Residential Zone. (Does not apply)	0' Min.
SIDE YARD (Corner)	Does not apply	-	10' Min.
LOT SIZE	202,540sf	4,000sf Min.	5,000sf Min.
LOT FRONTAGE	601'	35' Min.	25' Min.
LOADING	5 Berths		5 Berths

PARKING

On-Property	
Acc.	8
Std.	124
	132
On-Street: New	
Acc.	8
Std.	41
	49
Total	181

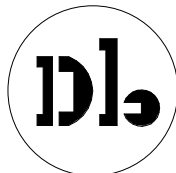
- UNIT COUNT -

Market-Rate
205

Supportive
102
307

PARKING BY BUILDING

Lt. Ind.	On-Street
Res.	0.64 Spaces / Unit, Off-Street
Support.	Staff-Only On-Street



David Baker Architects Urban Designs, LLC.

The Phoenix

PROJECT DATA

scale: 21815
 date: 12/13/2018

G.002

SKATE PARK
 880 NIMITZ FREEWAY (SUNKEN)
 FRONTAGE ROAD (SUNKEN)
 SOUND WALL

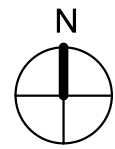
AUTO PARTS YARD &
 WAREHOUSE
 TRAPEZE ARTS STUDIO
 2-STORY SINGLE FAMILY
 HOMES



SITE

SHOREY STREET (CLOSED)
 ST. LUKE'S MISSIONARY CHURCH
 7th STREET (SUNKEN)
 BART LINE (ELEVATED)

2-STORY SINGLE FAMILY
 HOMES
 CIRCUS STUDIO /
 MAKER SPACE



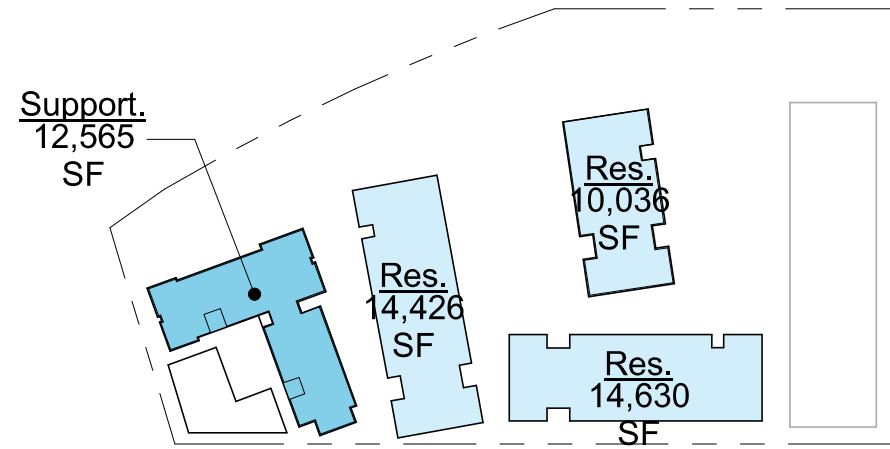
- BLDG USE -	
Name	Area(SF)
Lt. Ind.	19404
Res.	180830
Support.	53168

- OPEN SPACE -			
Name	Area(SF)	Bonus	Weighted Area (sf)
Group Open Space	24562	1	24562
Priv. Open Space	6812	2	13624
	31374		38186

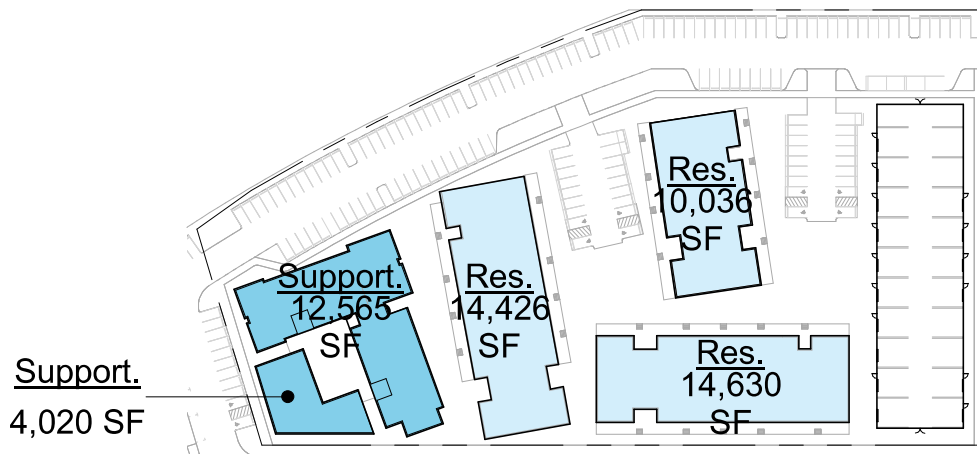
- Total Units - Open Space per Unit
 307
 38,186 sf / 307 units = **124 sf / unit***
 *complies with HBX-4 req'd min. 100sf/unit

AVERAGE RESIDENTIAL DENSITY PER NET ACRE

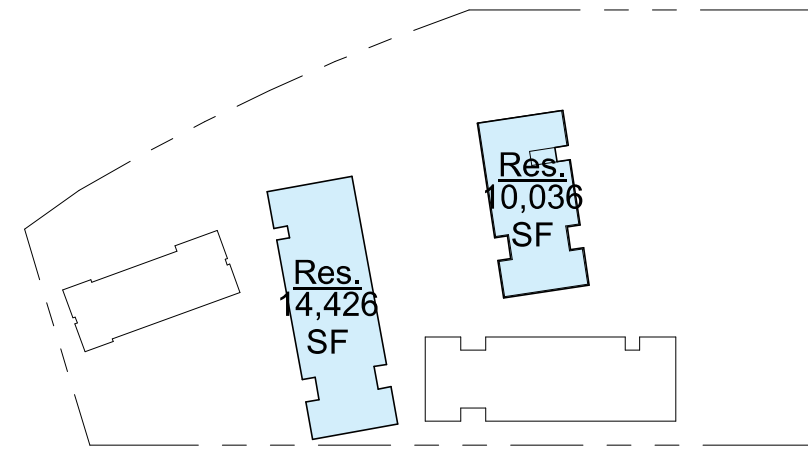
	Area (sf.)	Area (ac.)	Units/Ac.
Gross Lot	202,540 sf	4.65 acres	66.0
Non-Residential Uses	76,414 sf	1.75 acres	-
Fire Lane & Parking	48,918 sf		
Industrial Use	19,404 sf		
Admin.	8,092 sf		
Residential Uses	126,126 sf	2.9 acres	105.9



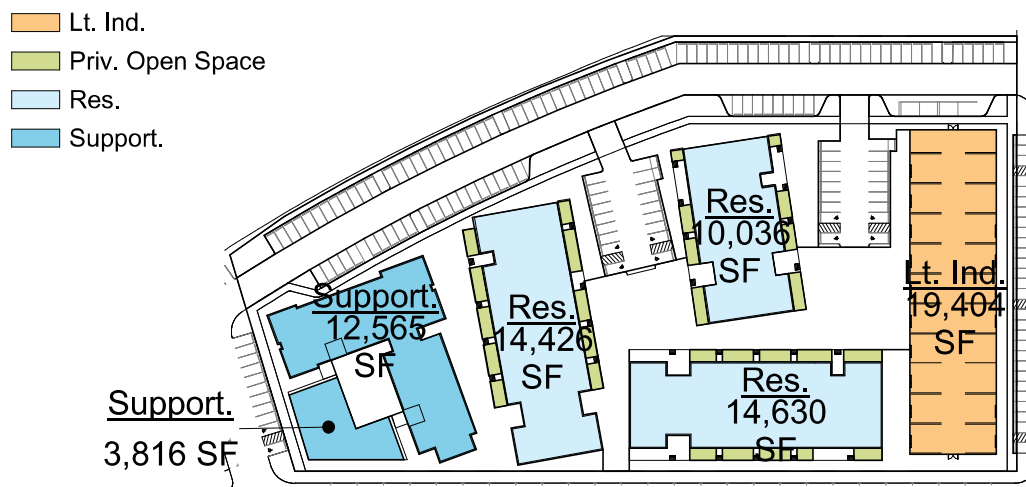
③ Building Use - Level 3
1" = 160'-0"



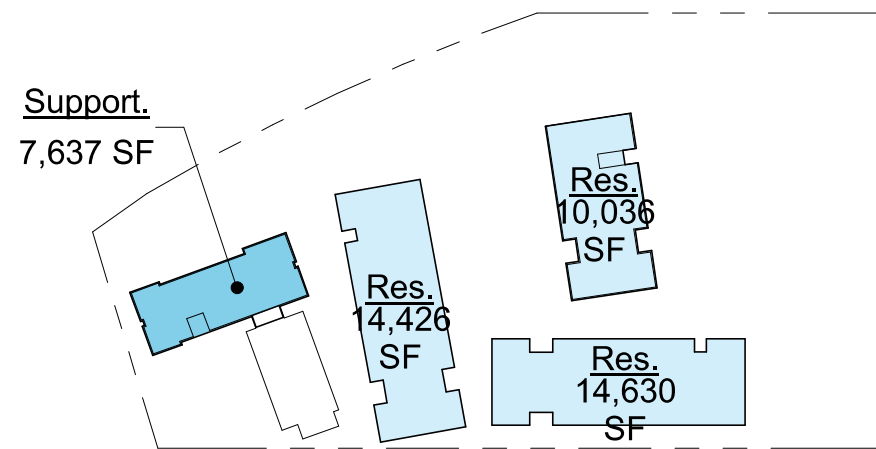
② Building Use - Level 2
1" = 160'-0"



⑤ Building Use - Level 5
1" = 160'-0"

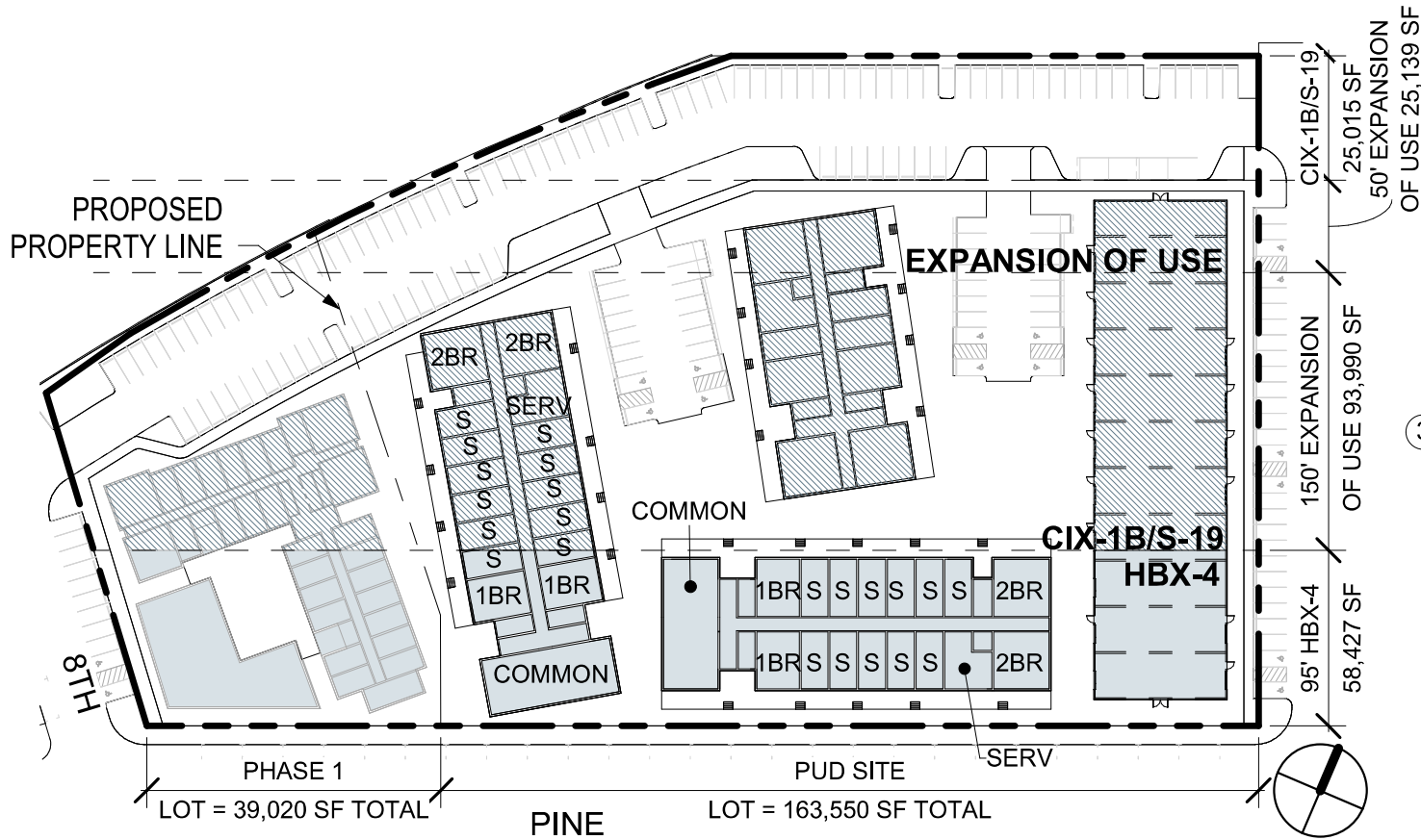


① Building Use - Level 1
1" = 160'-0"



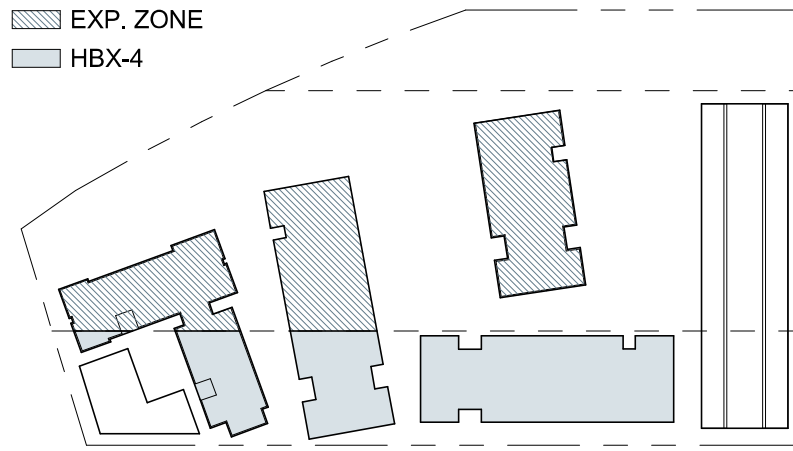
④ Building Use - Level 4
1" = 160'-0"

EXP. ZONE
HBX-4

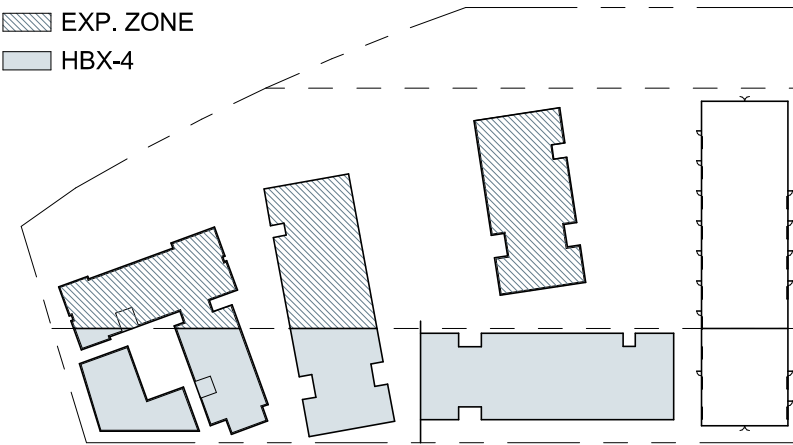


① LEVEL 1 - ZONING GSF
1" = 100'-0"

EXP. ZONE
HBX-4

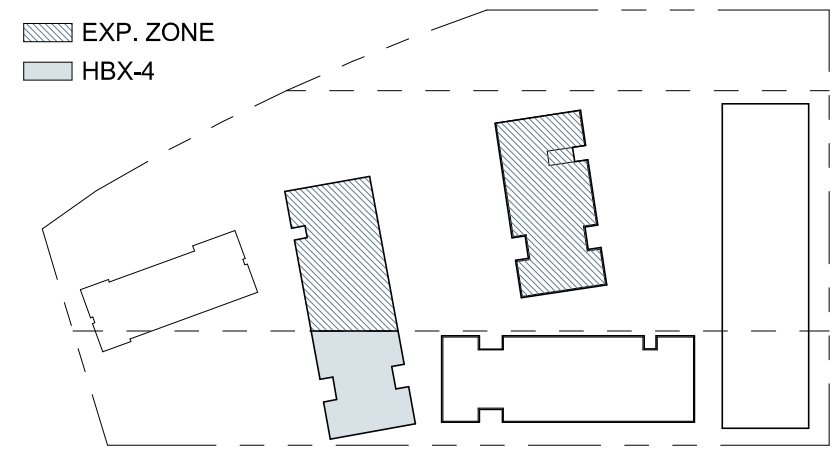


③ Level 3
1" = 160'-0"
EXP. ZONE
HBX-4

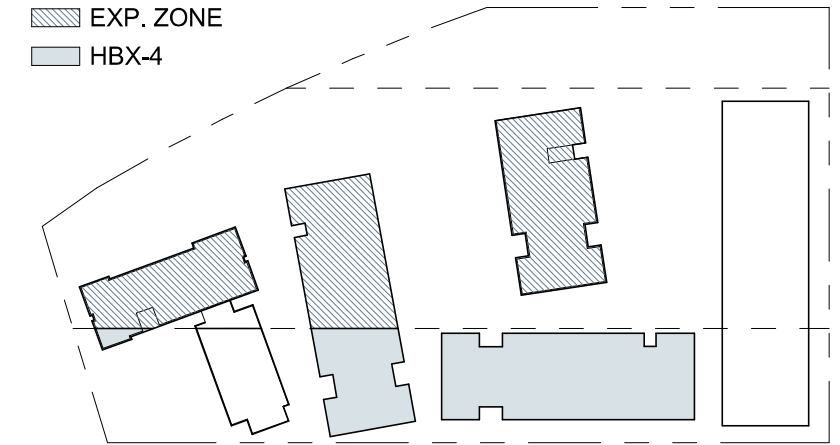


② Level 2
1" = 160'-0"

EXP. ZONE
HBX-4



⑤ Level 5
1" = 160'-0"
EXP. ZONE
HBX-4



④ Level 4
1" = 160'-0"

- GSF BY ZONE -

CIX-1B	0
EXP. ZONE	137955
HBX-4	115558

HBX-4 + EXPANSION FAR

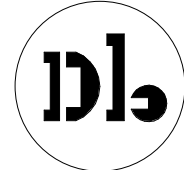
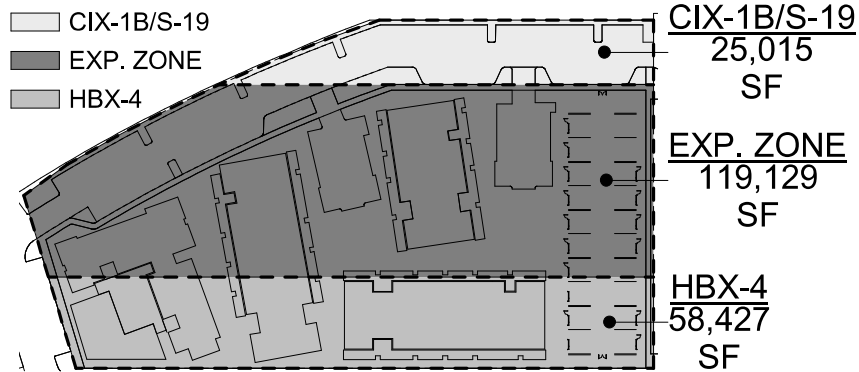
HBX-4 TOTAL AREA 177,556 SF
253,513 SF BUILT / 177,556 SF SITE =
FAR = 1.43
MAX ALLOWED HBX-4 FAR = 2.5

CIX-1B/S-19 FAR

CIX-1B/S-19 SITE AREA 25,015 SF
0 SF BUILT / 25,015 SF SITE =
FAR = 0
MAX ALLOWED CIX-1B FAR = 2.0

WHOLE SITE FAR

TOTAL SITE AREA 202,540 SF
253,513 SF BUILT / 202,540 SF SITE =
FAR = 1.25



Urban Designs, LLC.

The Phoenix

ZONING - GSF & FAR

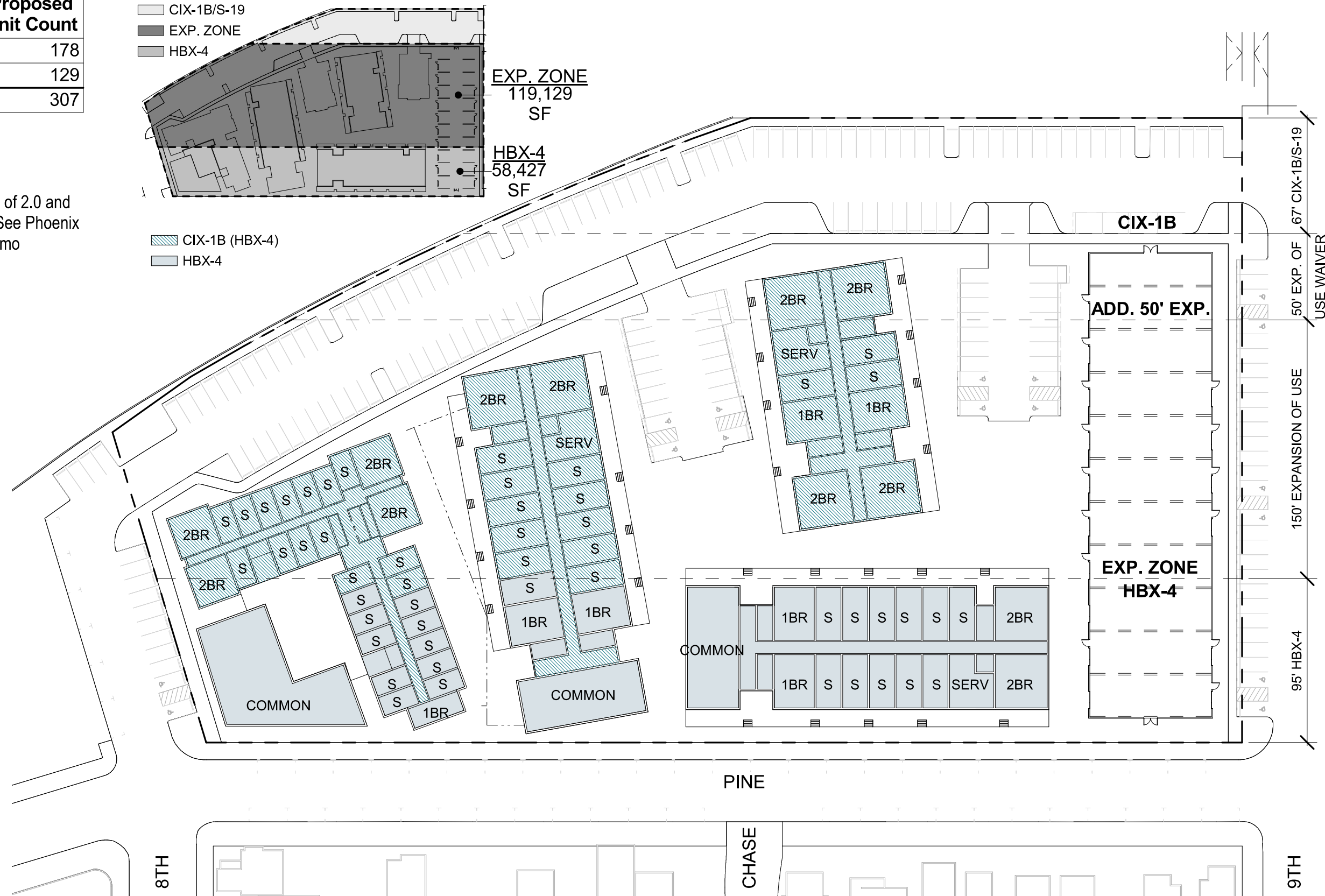
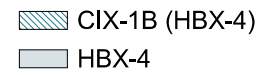
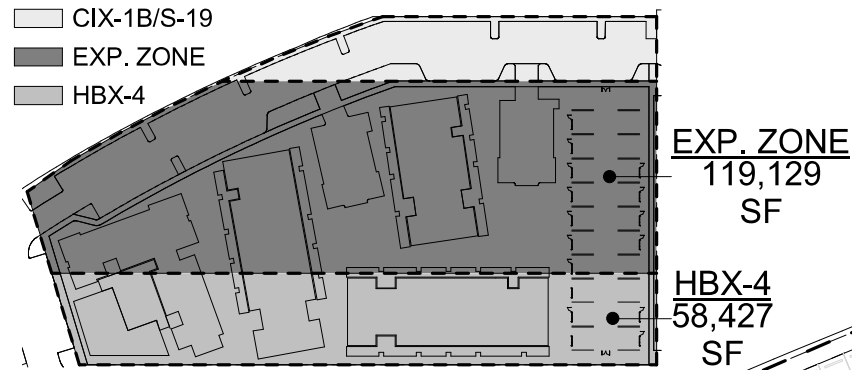
21815
scale: As indicated
date: 12/13/2018

G.005

Zone	GSF Area by Zone	Units Allowed per Zoning	Proposed Unit Count
CIX-1B/S-19	119,129 SF*	367	178
HBX-4	58,427 SF	74	129
Project Total	177,556 SF	441	307

*Includes only the 200-ft expansion of use area

Note: CIX-1B density calculation based on allowable FAR of 2.0 and estimated avg. multifamily unit size of 650 sf in Oakland. See Phoenix Project Residential Density and Concessions Waivers Memo

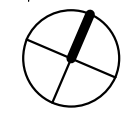


- ZONING POPULATION -

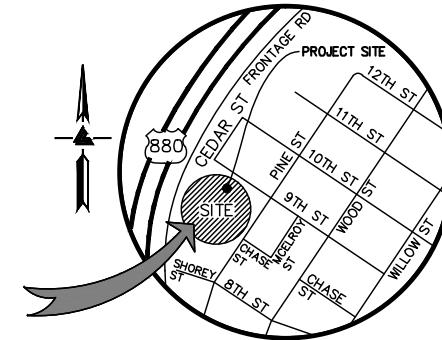
CIX-1B (HBX-4)	UNITS	POPULATION
1BR	18	36
2BR	46	138
S	118	118
	182	292

HBX-4	UNITS	POPULATION
1BR	24	48
2BR	22	66
S	79	79
	125	193

Project Total	307	485
----------------------	------------	------------



PHOENIX IRON WORKS 800 CEDAR STREET OAKLAND, CALIFORNIA



VICINITY MAP
NO SCALE

OWNER'S INFORMATION

OWNER: PHOENIX IRON WORKS
800 CEDAR STREET
OAKLAND, CA

APN: 006-0047-001

REFERENCES

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, ENTITLED: "TOPOGRAPHIC SURVEY" 800 CEDAR STREET OAKLAND, CA DATED: 11-3-17 JOB#: 2171135
 - SITE PLAN BY LOWNEY ARCHITECTS, ENTITLED: SUPPORTIVE HOUSING
 - OVERALL SITE PLAN BY DAVID BAKER ARCHITECTS, ENTITLED: OVERALL SITE PLAN
 - LANDSCAPE PLAN BY MILLER LANDSCAPE ARCHITECTS, ENTITLED: LANDSCAPE AND IRRIGATION PLAN

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.



THE PHOENIX
800 CEDAR STREET, OAKLAND, CA

URBAN DESIGNS LLC
1201 Pine St, Suite 151
Oakland, CA 94607

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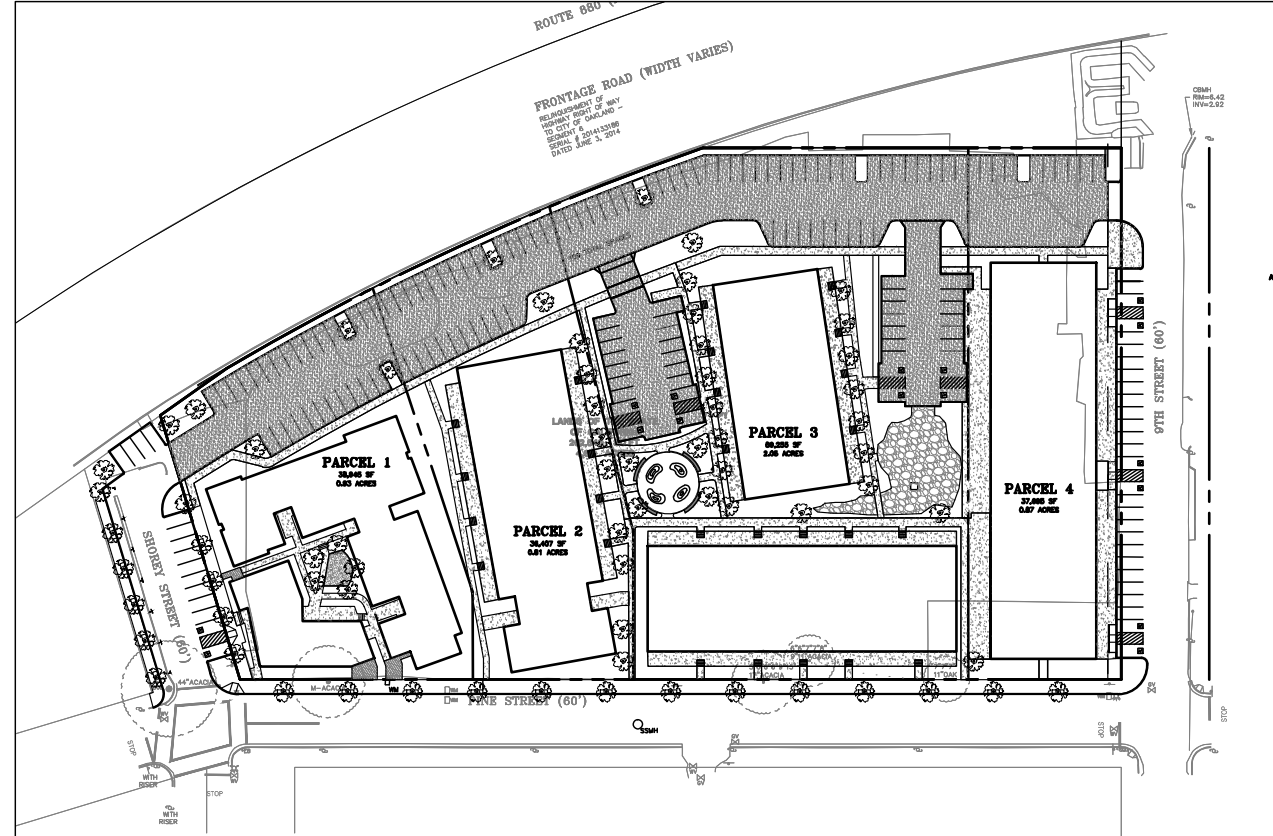
DRAWN BY: RP/JO/RB
PROJECT NUMBER: 18-010
SHEET ISSUE DATE: 03/21/18
SHEET TITLE:

TITLE SHEET

SHEET NUMBER
C-1.0

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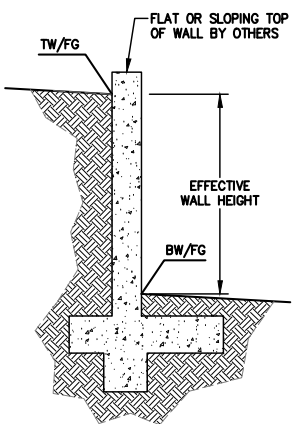
EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED
---	---	OVERLAND RELEASE



RETAINING WALL NOTES

KEY MAP

- TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT 1" = 60' TOP OF WALL. NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC.
- DIMENSIONS SHOWN IN BRACKETS SHOWN AS [X.X'] DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
- REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.
- REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
- ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING WEEPHOLES TO PREVENT HYDROSTATIC PRESSURE.
- SEE DETAIL SHEET FOR SPECIFIC INFORMATION.
- PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.



ESTIMATED EARTHWORK QUANTITIES

CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	TOTAL CUBIC YARDS
CUT	0	0	0
FILL		7000 CY	7000 CY
EXPORT / IMPORT			0

(1) EARTHWORK REPRESENTS IMPORT TO BACKFILL (E) FOUNDATIONS. SLABS ASSUMED AT 12" THICK.

NOTE:
GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

* BUILDING PAD NOTE:
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabrazee.com



SHEET INDEX

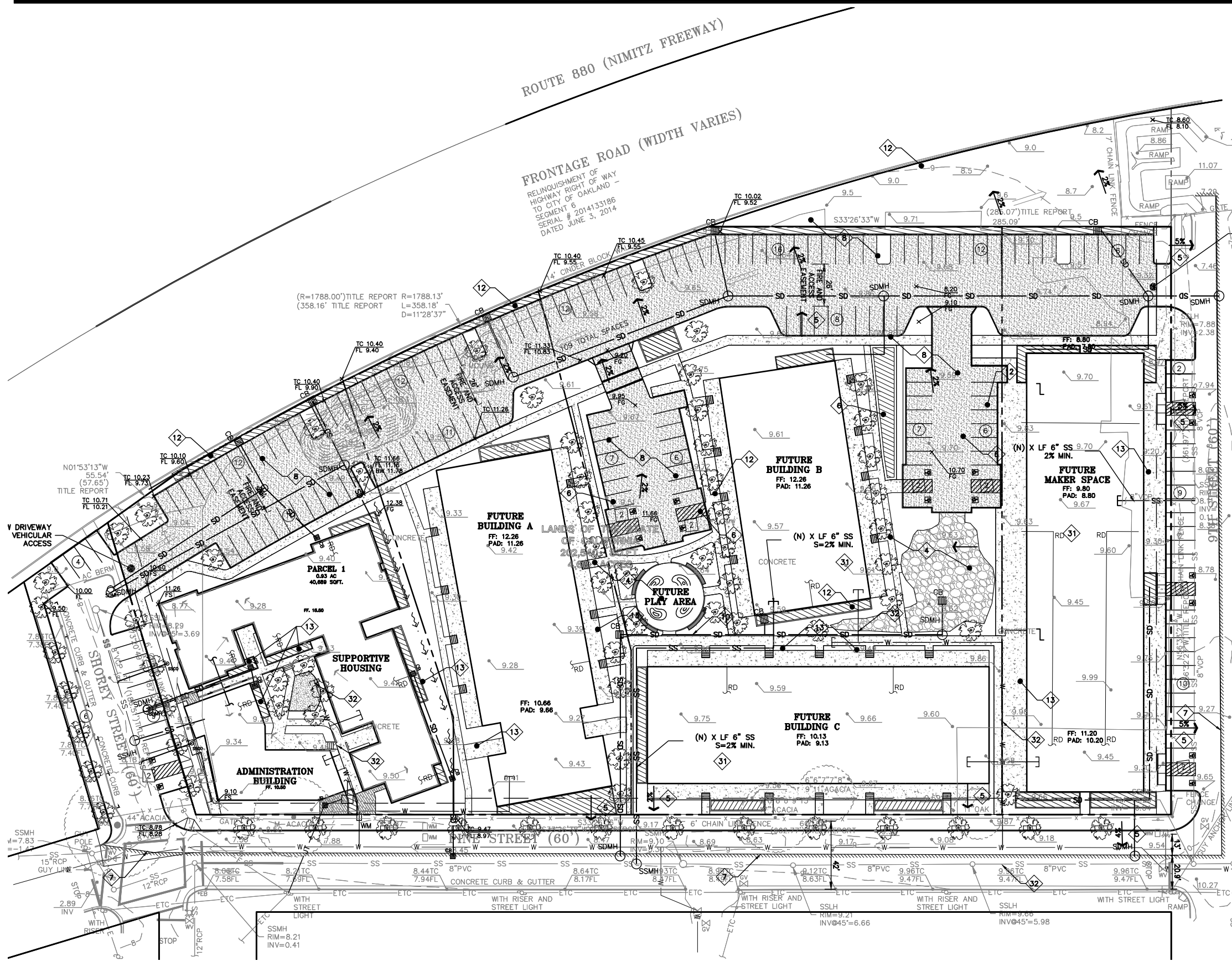
- C-1.0 TITLE SHEET
- C-2.0 GRADING & UTILITY PLAN
- ER-1 EROSION CONTROL PLAN
- ER-2 EROSION CONTROL DETAILS
- ER-3 EROSION CONTROL DETAILS
- SW-1 STORMWATER MANAGEMENT PLAN
- SW-2 STORMWATER MANAGEMENT DETAILS

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ROUTE 880 (NIMITZ FREEWAY)

FRONTAGE ROAD (WIDTH VARIES)

RELINQUISHMENT OF HIGHWAY RIGHT OF WAY TO CITY OF OAKLAND - SEGMENT 6 SERIAL # 2014133186 DATED JUNE 3, 2014



- FLATWORK KEYNOTES 1 TO 8**
- 1 FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING
 - 2 PROVIDE 2% (1% MIN.) SLOPE ACROSS FLAT WORK AND/OR PAVING
 - 3 GRIND AC TO TIE (N) AC INTO (E) AC PAVING.
 - 4 (N) CONCRETE PATIOS/WALKWAYS.
 - 5 (N) 4" CONCRETE SIDEWALK @ 2% CROSS SLOPE
 - 6 (N) HC STALLS PER ADA STANDARDS. 2% CROSS SLOPE IN ALL DIRECTIONS.
 - 7 (N) 13' AC CONFORM OVERLAY W/ (N) CURB AND GUTTER IMPROVEMENTS
 - 8 (N) AC AND CLASS 2 AB SECTION DEPTH TO BE DETERMINED.

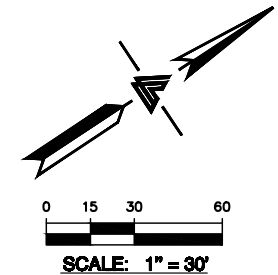
- STORM DRAIN KEYNOTES 10 TO 14**
- 10 INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS).
 - 11 DIRECT DOWNSPOUTS TO 24" LONG PRECAST CONCRETE SPLASHBLOCKS OR OTHER HARD SURFACE DIRECT AWAY FROM ANY STRUCTURE AND TOWARDS POSITIVE DRAINAGE. SEE DETAIL X ON SHEET C-X.
 - 12 (N) C3 STORMWATER TREATMENT BIO-INFILTRATION AT GRADE PLANTERS FOR (N) IMPERVIOUS STREET & PARKING IMPROVEMENTS.
 - 13 (N) C3 STORMWATER FLOW TRANSIT TREATMENT PLANTERS. INSTALL ADJACENT TO (N) BUILDING. BIO-INFILTRATION INLETS ABOVE GRADE PLANTERS SIZED AT 4% FLOW BASED METHOD.
 - 14 VEGETATED SWALE 1.5% MIN.

- UTILITIES KEYNOTES 31 TO 33**
- 31 INSTALL (N) SANITARY SEWER LATERALS. USE (SIZE TO BE DETERMINED 6" MIN) PVC (SDR-26) SLOPED AT 2% MINIMUM. CONNECT TO (E) SEWER MAIN AS SHOWN.
 - 32 CONNECT (N) WATER SERVICE PER WATER DISTRICT STANDARDS. UPGRADE (E) WATER METER PER WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" MINIMUM SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.
 - 33 INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.

- DEMOLITION KEYNOTES 41 TO 41**
- 41 DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. THERE ARE AN (E) CONCRETE SLAB FOUNDATIONS ACROSS THE SITE THAT COVERS APPROX. 194,200 SF. OF THE SITE.

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com

BUILDING PAD NOTE:
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.



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GRADING & UTILITY PLAN

SHEET NUMBER
C-2.0

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LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 BAY AREA REGION 2495 INDUSTRIAL PKWY WEST HAYWARD, CALIFORNIA 94545
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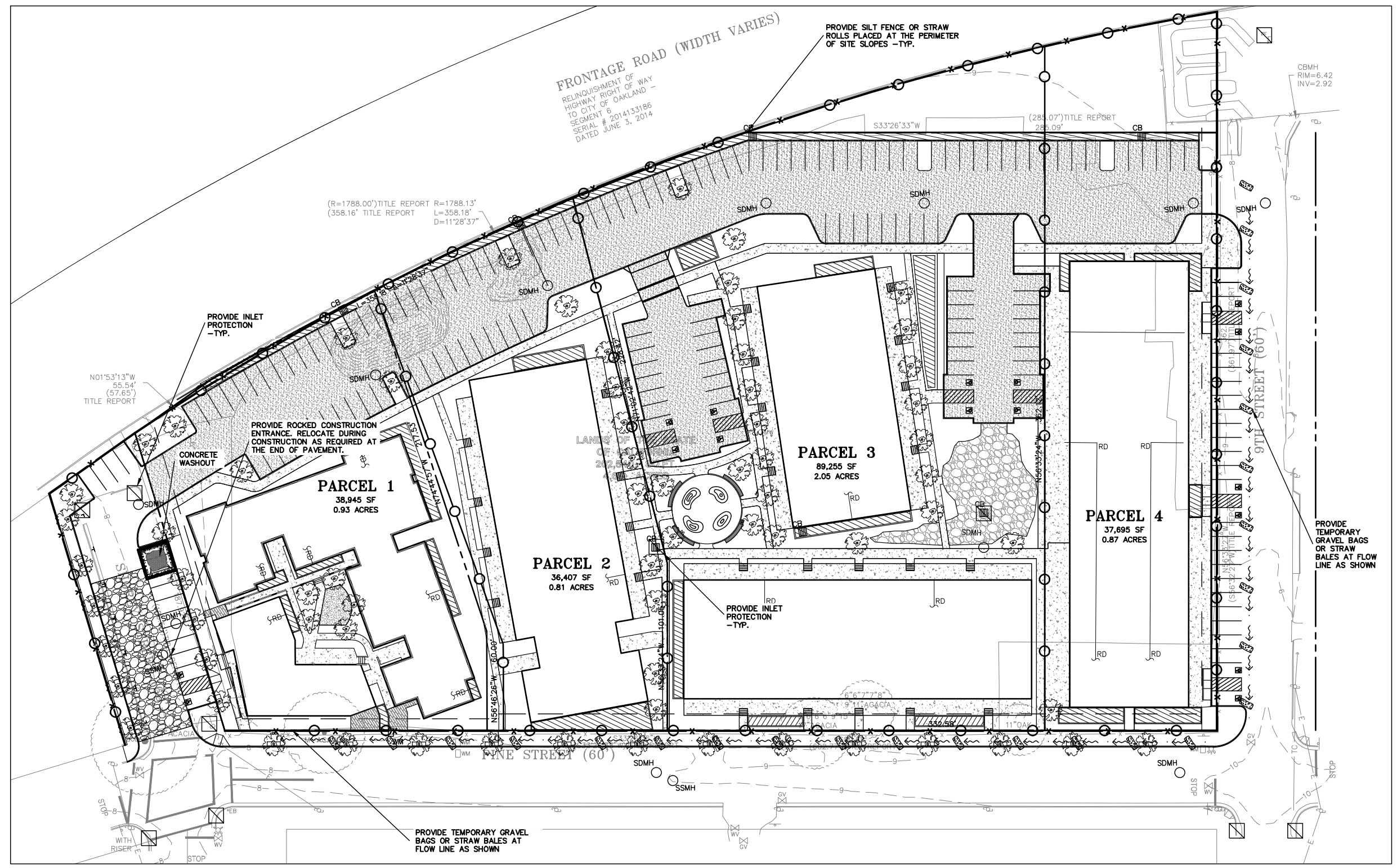
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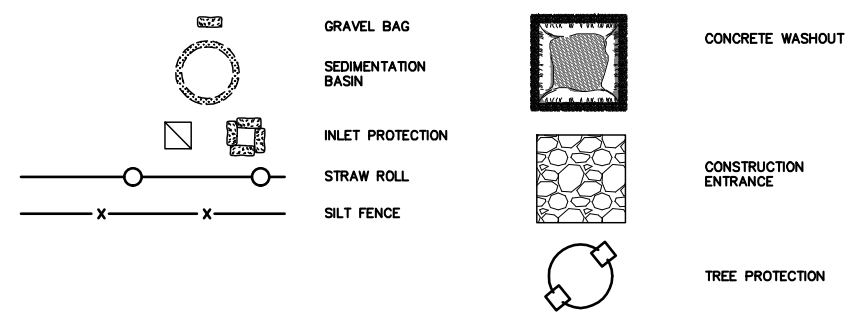
EROSION CONTROL PLAN

SHEET NUMBER
ER-1

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EROSION CONTROL LEGEND



NOTE:
 SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP

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PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

EROSION CONTROL NOTES:

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15 THROUGH APRIL 15, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INSPECTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

EROSION CONTROL NOTES CONTINUED:

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURERS SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

REFERENCES:

- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

PERIODIC MAINTENANCE:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1' FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION



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	08/24/2018	PLANNING RESUBMITTAL	NG

EROSION CONTROL DETAILS

DRAWN BY: RP/JO/RB
PROJECT NUMBER: 18-010
SHEET ISSUE DATE: 03/21/18
SHEET TITLE:

SHEET NUMBER AS NOTED

ER-2

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	08/24/2018	PLANNING RESUBMITTAL	NG

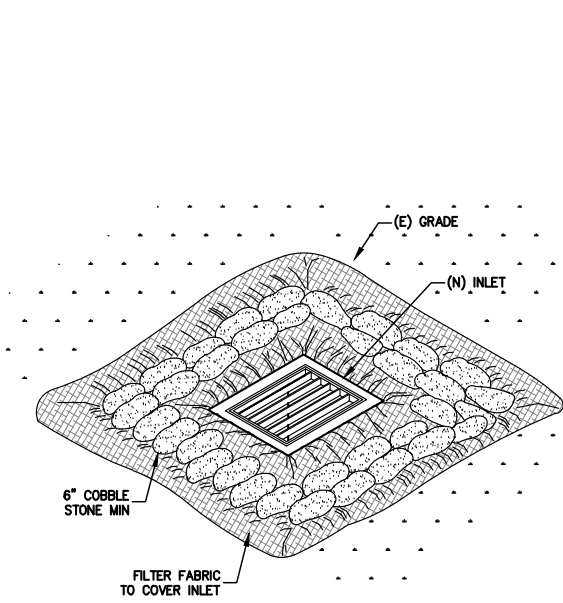
DRAWN BY: RP/JO/RB
PROJECT NUMBER: 18-010
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SHEET TITLE:

EROSION CONTROL DETAILS

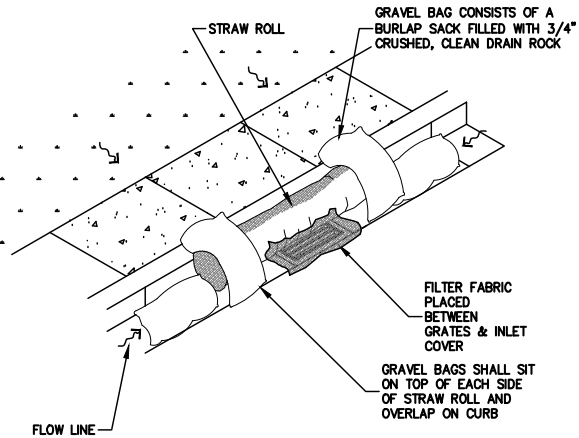
SHEET NUMBER AS NOTED

ER-3

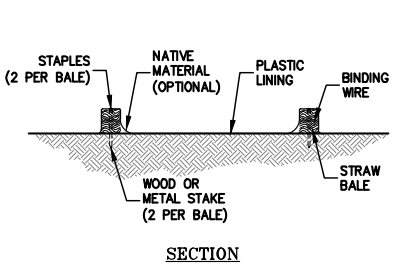
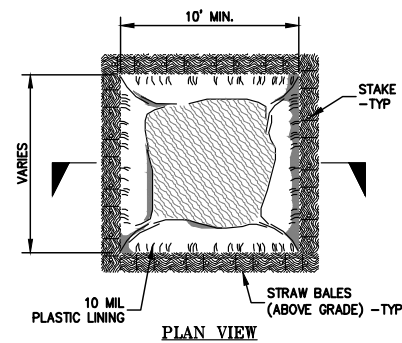
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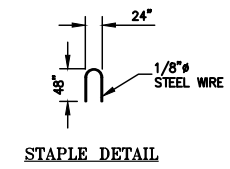
1 INLET PROTECTION
ER-3 NTS



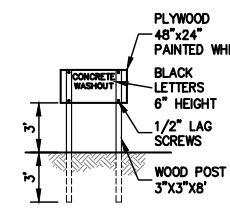
2 STREET INLET PROTECTION
ER-3 NTS



3 CONCRETE WASHOUT
ER-3 NTS

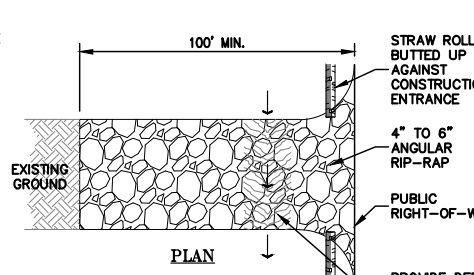
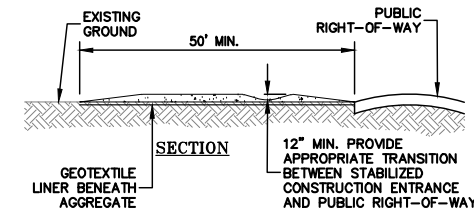


STAPLE DETAIL



CONCRETE WASHOUT SIGN DETAIL

NOTES:
ACTUAL LAYOUT DETERMINED IN FIELD.
THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 10' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



4 CONSTRUCTION ENTRANCE
ER-3 NTS

NOTES:
STABILIZED CONSTRUCTION SITE ACCESS SHALL BE CONSTRUCTED OF 3\"/>

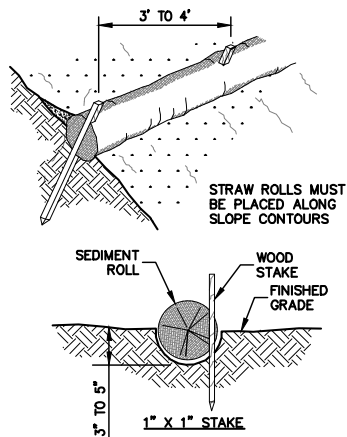
MATERIAL SHALL BE PLACED TO A MINIMUM THICKNESS OF 12\"/>

WIDTH SHALL BE A MIN. OF 15' OR GREATER IF NECESSARY TO COVER ALL VEHICULAR INGRESS AND EGRESS. PROVIDE AMPLE TURNING RADII.

THE ENTRANCE SHALL BE KEPT IN GOOD CONDITION BY OCCASIONAL TOP DRESSING WITH MATERIAL AS SPECIFIED IN ABOVE NOTE.

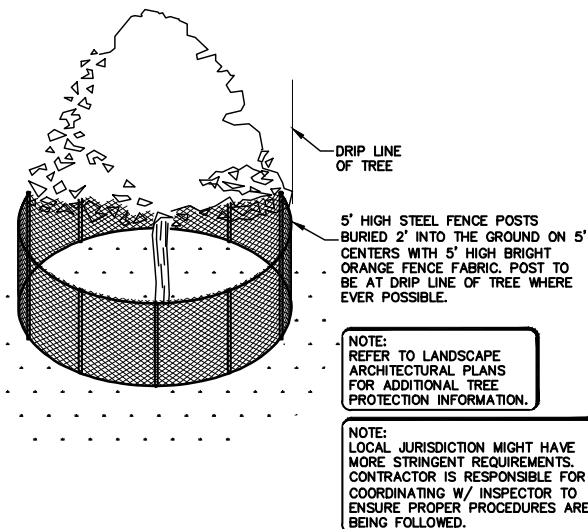
ACCESSES SHALL BE INSPECTED WEEKLY DURING PERIODS OF HEAVY USAGE, MONTHLY DURING NORMAL USAGE, AND AFTER EACH RAINFALL, WITH MAINTENANCE PROVIDED AS NECESSARY.

PERIODIC TOP DRESSING SHALL BE DONE AS NEEDED.



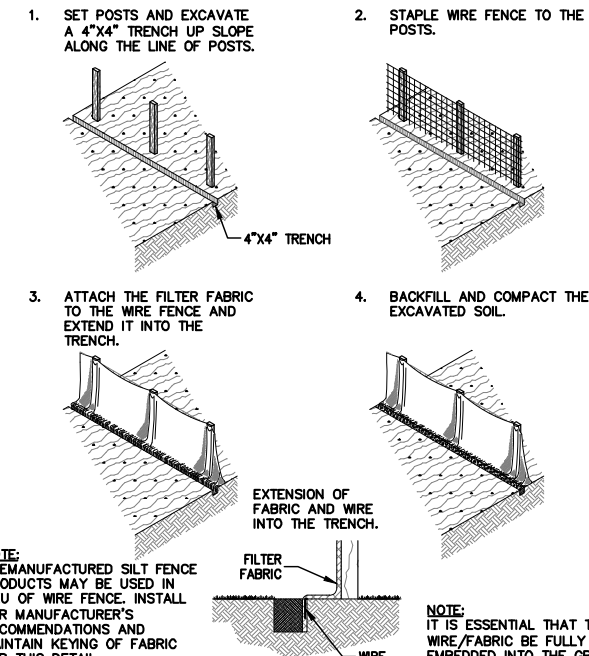
NOTE:
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3\"/>

5 STRAW ROLLS FLAT LOT
ER-3 NTS



NOTE:
REFER TO LANDSCAPE ARCHITECTURAL PLANS FOR ADDITIONAL TREE PROTECTION INFORMATION.
NOTE:
LOCAL JURISDICTION MIGHT HAVE MORE STRINGENT REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING W/ INSPECTOR TO ENSURE PROPER PROCEDURES ARE BEING FOLLOWED.

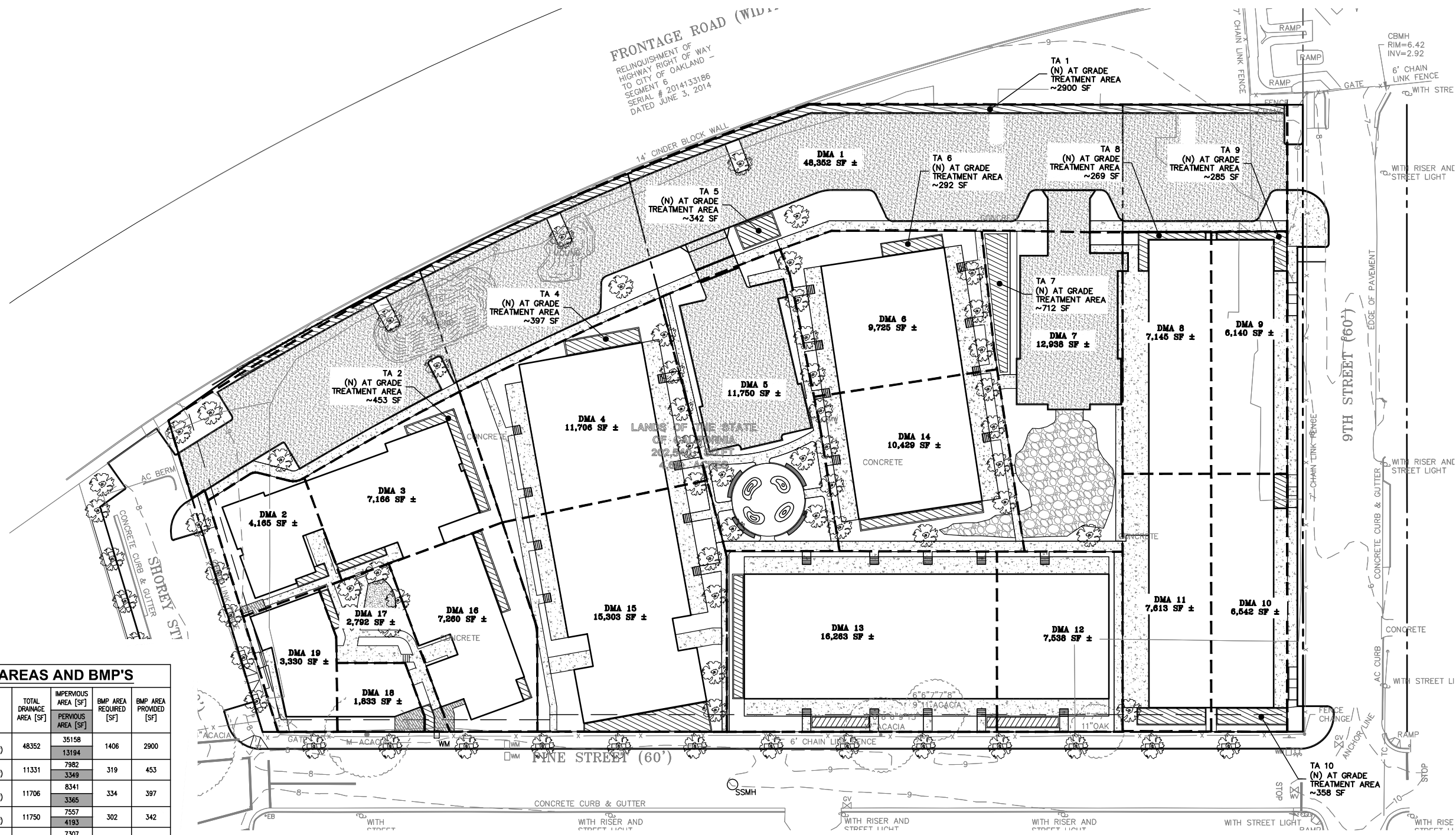
6 EXISTING TREE PROTECTION DETAIL
ER-3 NTS



NOTE:
PREMANUFACTURED SILT FENCE PRODUCTS MAY BE USED IN LIEU OF WIRE FENCE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND MAINTAIN KEYING OF FABRIC PER THIS DETAIL.
NOTE:
IT IS ESSENTIAL THAT THE WIRE/FABRIC BE FULLY EMBEDDED INTO THE GROUND SO RUN-OFF CANNOT FLOW FREELY UNDER FENCE.

7 SILT FENCE
ER-3 NTS

RELINQUISHMENT OF HIGHWAY RIGHT OF WAY TO CITY OF OAKLAND - SERIAL # 2014133186 DATED JUNE 3, 2014



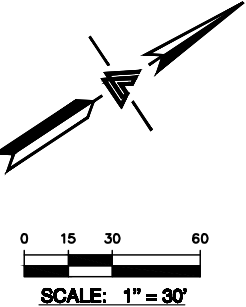
SITE DRAINAGE AREAS AND BMP'S						
BMP	DMA	BMP TYPE	TOTAL DRAINAGE AREA [SF]	IMPERVIOUS	BMP AREA REQUIRED [SF]	BMP AREA PROVIDED [SF]
				AREA [SF]		
1	1	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	48352	35158	1406	2900
				13194		
2	2 & 3	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	11331	7982	319	453
				3349		
4	4	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	11706	8341	334	397
				3365		
5	5	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	11750	7557	302	342
				4193		
6	6	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	9725	7307	292	292
				2418		
7	7	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	12938	9476	379	712
				3462		
8	8	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	7145	6733	269	269
				412		
9	9	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	6140	5784	231	285
				356		
10	10	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	6542	5777	231	358
				765		
11	11	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	7613	6911	276	350
				702		
12	12	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	7538	6610	264	290
				928		
13	13	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	16263	13675	547	562
				2588		
14	14	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	10429	8259	330	381
				2170		
15	15	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	15303	11567	463	744
				3736		
16	16	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	7260	4971	199	385
				2289		
17	17	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	2792	1490	60	94
				1302		
18	18	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	2792	1544	62	90
				389		
19	19	TREATMENT CONTROL (FLOW-THROUGH PLANTER)	3330	2729	109	121
				601		

GENERAL NOTES:
 A. THIS PROJECT IS CONSIDERED A C.3. REGULATED PROJECT, AND WILL CREATE/ REPLACE APPROX 171,290 S.F. OF IMPERVIOUS AREA.

LEGEND:
 - - - PROPOSED ROOF DRAINAGE ROUTE
 - - - RD - ROOF DRAINS
 - - - STORM DRAIN
 [Hatched Box] FLOW THROUGH PLANTER OR AT GRADE TREATMENT AREA (TA)

SITE DESIGN MEASURES:
 MINIMIZE LAND DISTURBANCE AND IMPERVIOUS SURFACES (ESPECIALLY PARKING LOTS)

SOURCE CONTROL MEASURES:
 A. INSTALL STENCILING AT STORM DRAIN INLETS, SUCH AS "NO DUMPING - DRAINS TO BAY".
 B. DRAINS TO BAY".
 C. PLUMB INTERIOR FLOOR DRAINS TO SANITARY SEWER.
 D. PLUMB INTERIOR PARKING GARAGE FLOOR DRAINS TO SANITARY SEWER.
 E. INCORPORATE SUSTAINABLE LANDSCAPING PRACTICES, USE EFFICIENT IRRIGATION SYSTEMS TO MINIMIZE RUNOFF, PROMOTE SURFACE INFILTRATION, MINIMIZE THE USE OF PESTICIDES AND FERTILIZERS, AND OTHER PRACTICES OF BAY AREA FRIENDLY LANDSCAPING.
 F. DISCHARGE FIRE SPRINKLER TEST WATER TO ON-SITE VEGETATED AREAS OR TO THE SANITARY SEWER IF DISCHARGE ON-SITE VEGETATED AREAS IS NOT FEASIBLE.



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08/24/2018	PLANNING RESUBMITTAL	NG	

CONCEPTUAL STORMWATER TREATMENT AND MANAGEMENT PLAN

DRAWN BY: RP/JO/RB
 PROJECT NUMBER: 18-010
 SHEET ISSUE DATE: 03/21/18
 SHEET TITLE:

SHEET NUMBER AS NOTED

SW-1

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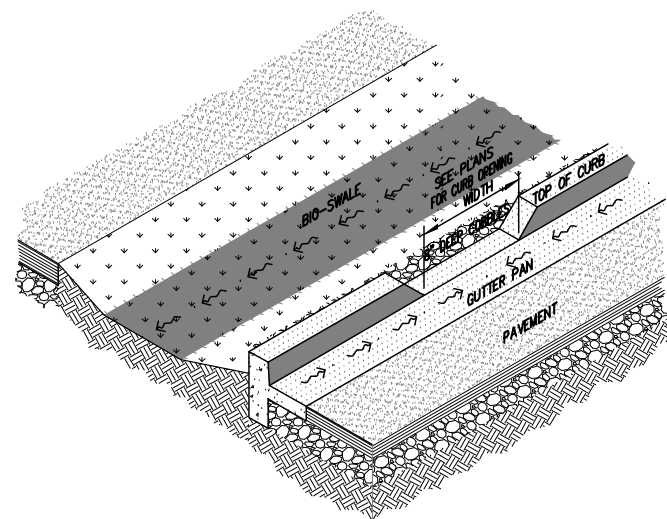
CONCEPTUAL STORMWATER TREATMENT AND MANAGEMENT DETAILS

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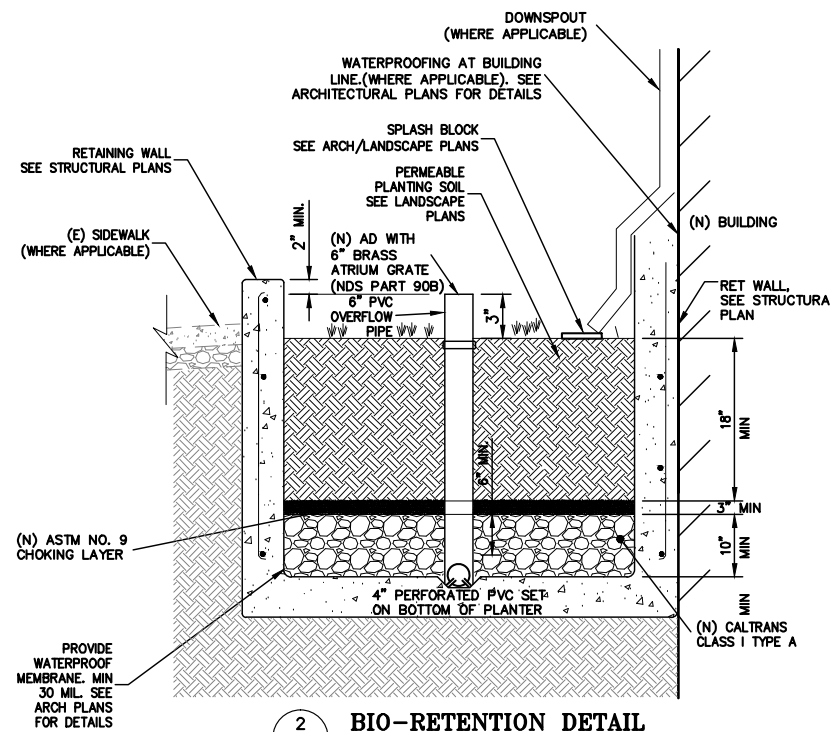
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SW-2

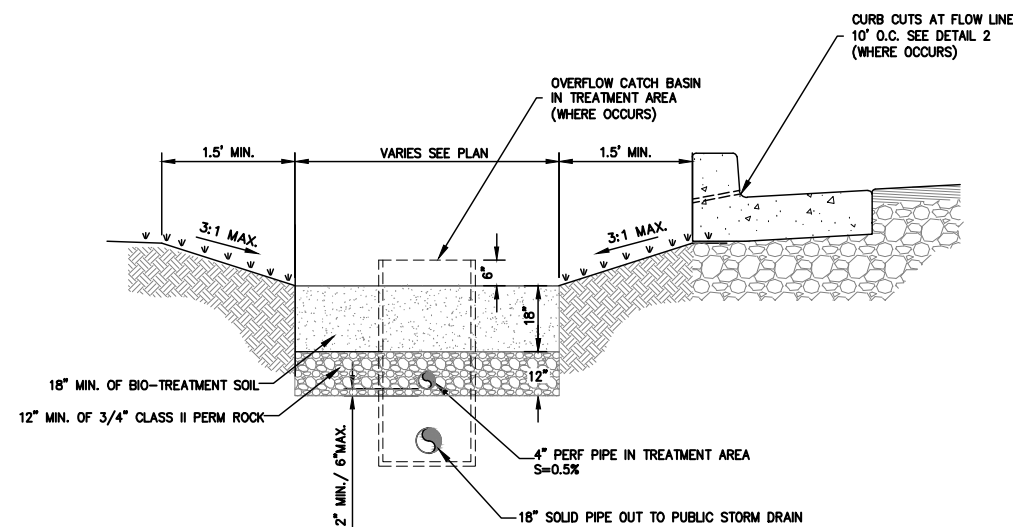
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1 BIO-SWALE CURB OPENING DETAIL
SW-2 NTS



2 BIO-RETENTION DETAIL
SW-2 NTS



3 BIO-RETENTION DETAIL
SW-2 NTS

LEGEND

- 1. Art Plaza
- 2. Artist Patio
- 3. Play Area
- 4. Concrete Sidewalk
- 5. Gathering Area
- 6. Parking Court
- 7. Pedestrian Muse
- 8. Planting Area
- 9. Flow Trough Planter
- 10. Bioretention Area
- 11. Bioswale
- 12. Resident Access
- 13. Resident Patio
- 14. Service Area
- 15. Street Tree in Tree Well
- 16. Terrace
- 17. Workspace Access
- 18. Existing Soundwall
- 19. Property Line

IRRIGATION NOTES

1. ALL NEW PLANTING AREAS SHALL HAVE NEW IRRIGATION SYSTEM. THE IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY LICENSED CONTRACTORS AND EXPERIENCED WORKMEN.

PLANTING NOTES

1. ALL PLANT MATERIAL SHALL BE OF UNIFORM HEIGHT AND FORM FOR THE SPECIES AND CONTAINER SIZE.
 2. FINAL PLACEMENT OF PLANT MATERIAL TO BE REVIEWED ON-SITE BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 3. INSTALL ALL PLANTING AFTER IRRIGATION SYSTEM IS COMPLETED, FULLY OPERATIONAL, AND HAS BEEN REVIEWED BY THE LANDSCAPE ARCHITECT.
 4. MULCH ALL PLANTING AREAS WITH 3" DEEP MULCH.



STREET



Lophostemon confertus
Brisbane Box



Ginkgo biloba 'Princeton Sentry'
Princeton Sentry Maidenhair Tree

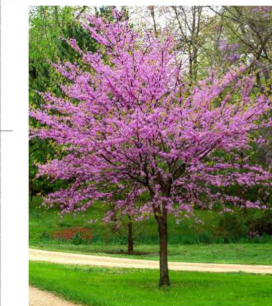
ON-SITE



Acer rubrum 'Armstrong'
Red Maple



Arbutus 'Marina'
Marina Strawberry Tree



Cercis canadensis
Eastern Redbud



Corymbia citriodora
Lemon Scented Gum



Lyonotahmnus floribundus *aspiifolius*
Lemon Scented Gum



Maytenus boaria
Mayten



Quercus agrifolia
Coast Live Oak



Washingtonia robusta
Mexican Fan Palm

- Unit Schedule -

Art Amenities

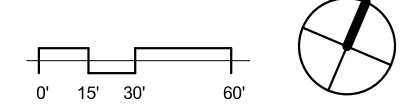
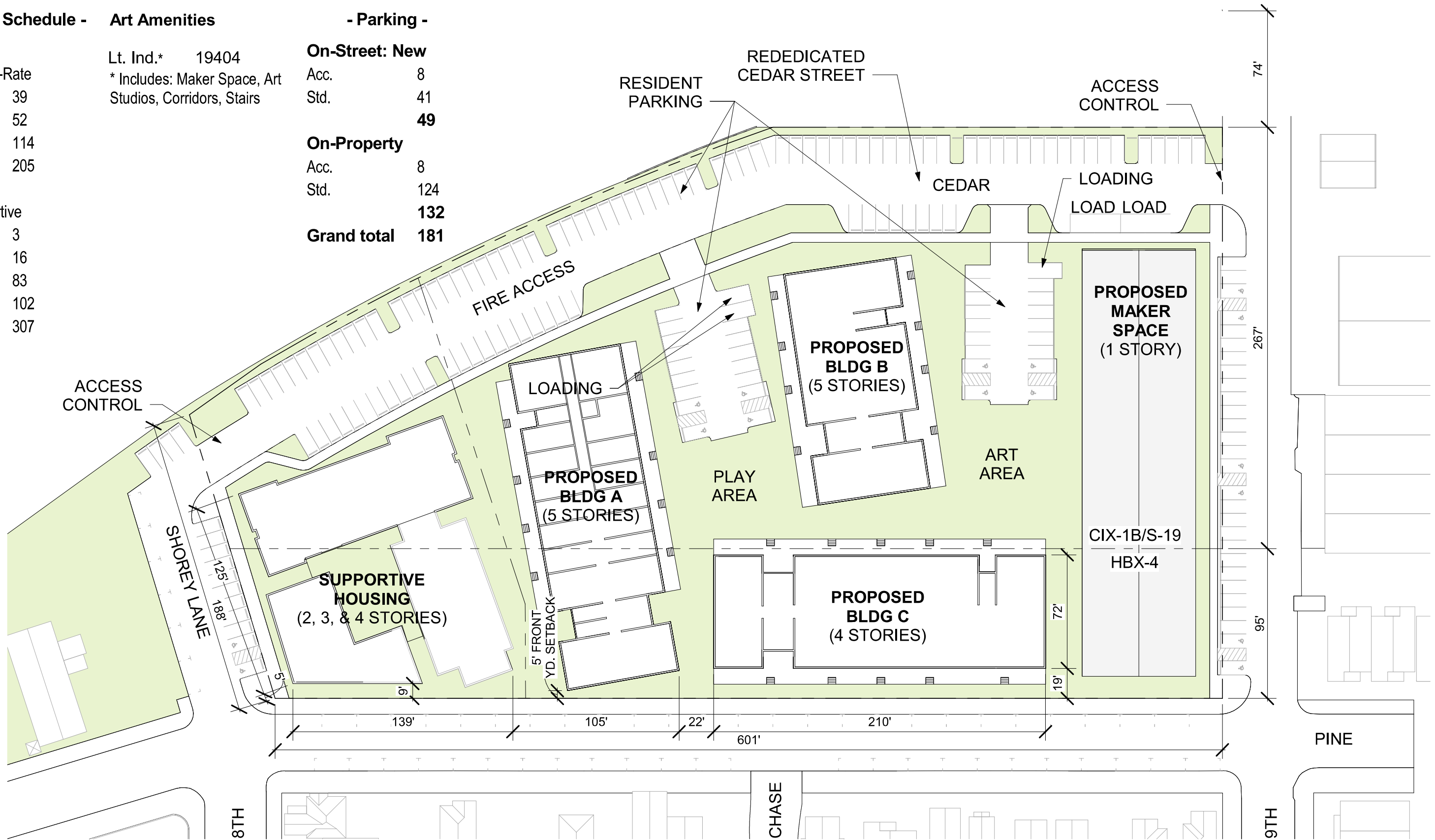
- Parking -

Market-Rate	
1BR	39
2BR	52
S	114
	205

Lt. Ind.* 19404
 * Includes: Maker Space, Art Studios, Corridors, Stairs

On-Street: New	
Acc.	8
Std.	41
	49
On-Property	
Acc.	8
Std.	124
	132
Grand total	181

Supportive	
1BR	3
2BR	16
S	83
	102
	307



- Unit Schedule -

Art Amenities

- Parking -

Use Key

Market-Rate	
1BR	39
2BR	52
S	114
	205

Lt. Ind.* 19404
 * Includes: Maker Space, Art Studios, Corridors, Stairs

On-Street: New

Acc.	8
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On-Property

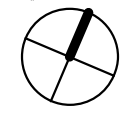
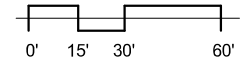
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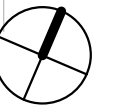
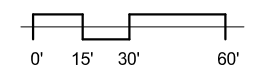
- circulation
- common
- flex / art / amenity
- residential
- service / trash

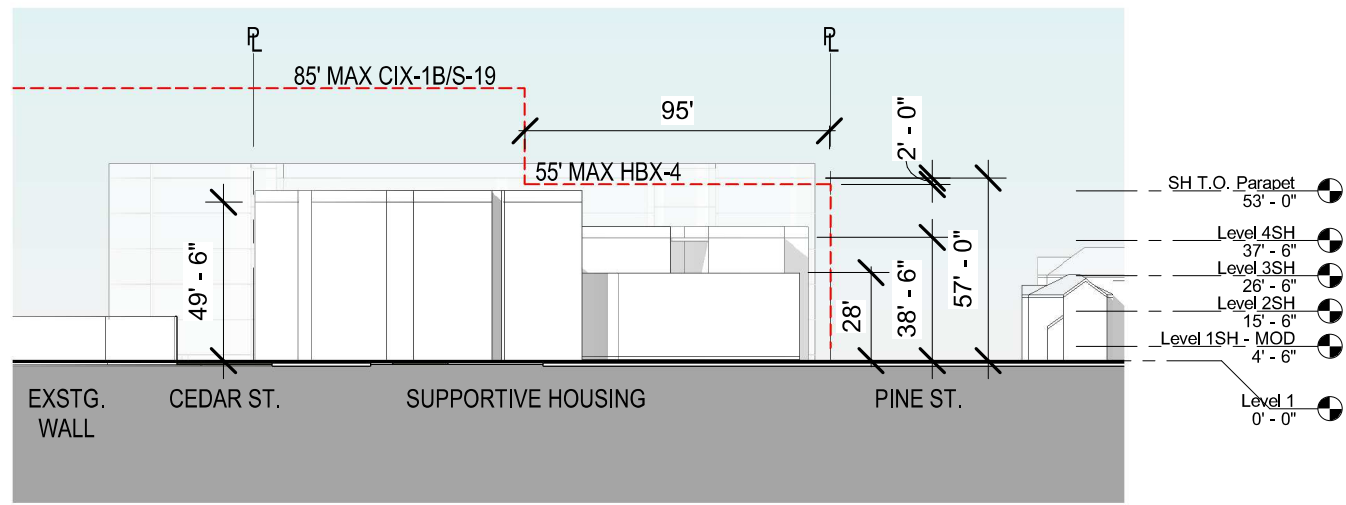
Supportive

1BR	3
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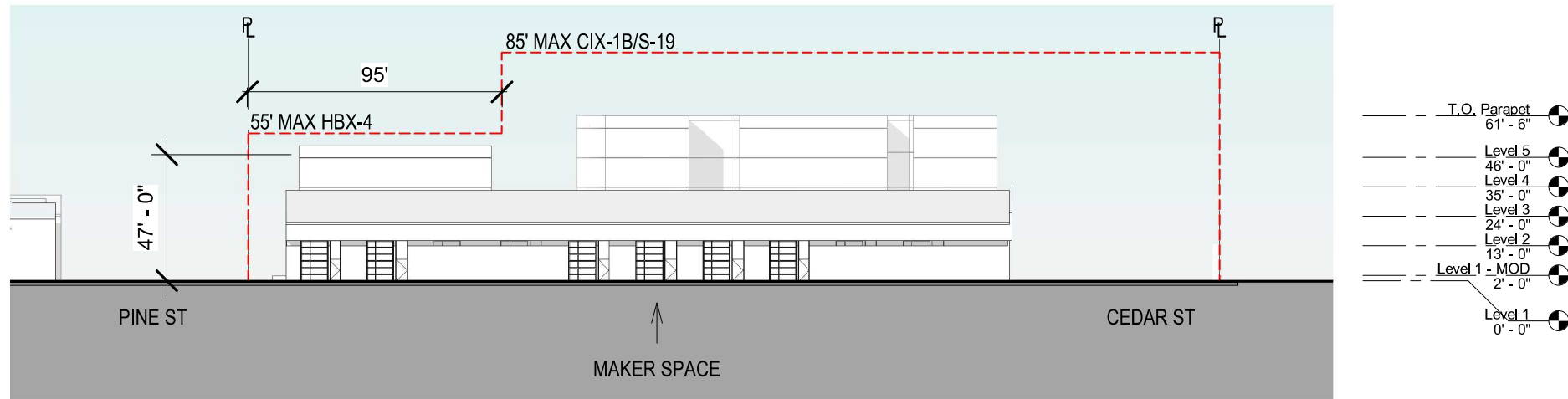


- Use Key**
- circulation
 - common
 - residential
 - service / trash

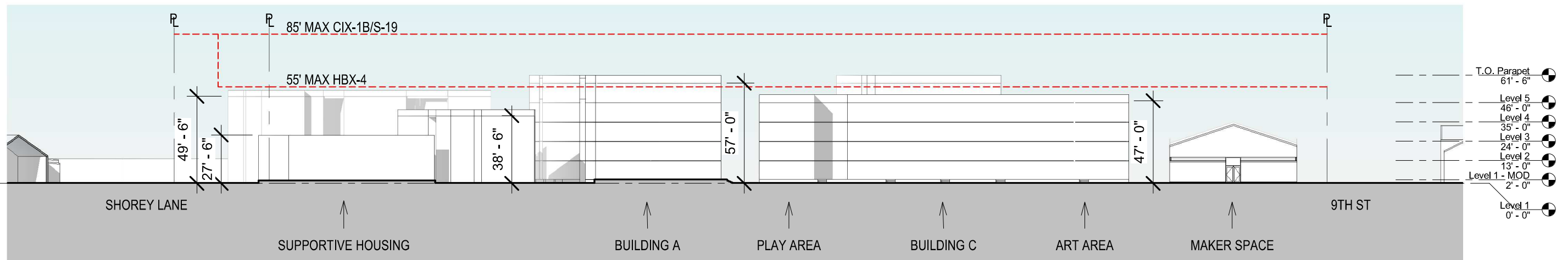




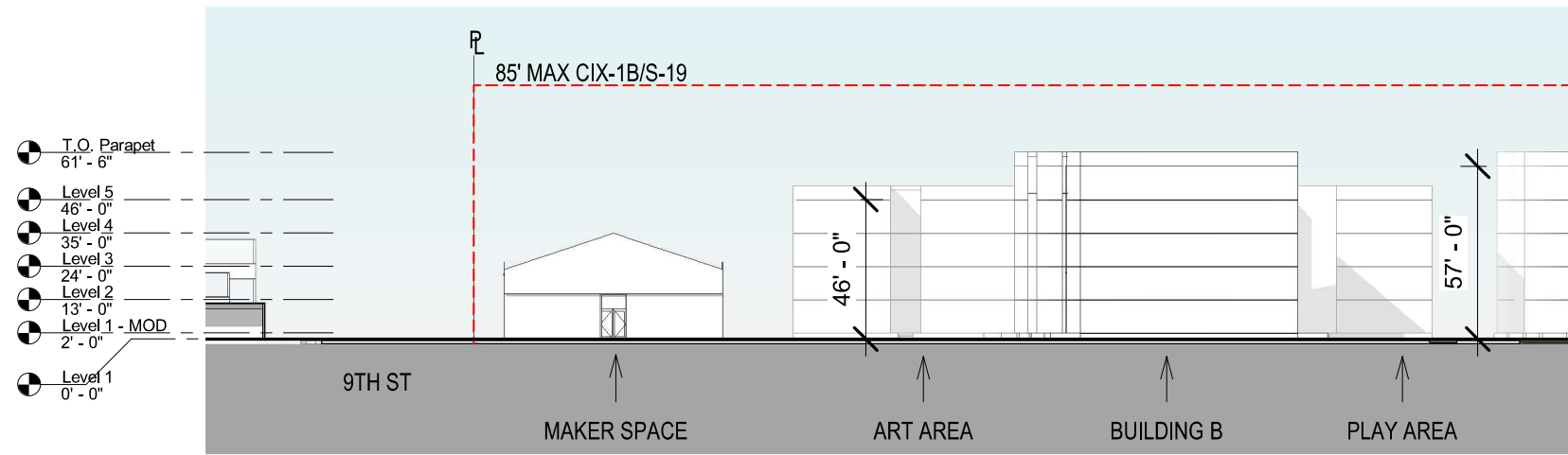
③ SHOREY LANE ELEVATION
1" = 60'-0"



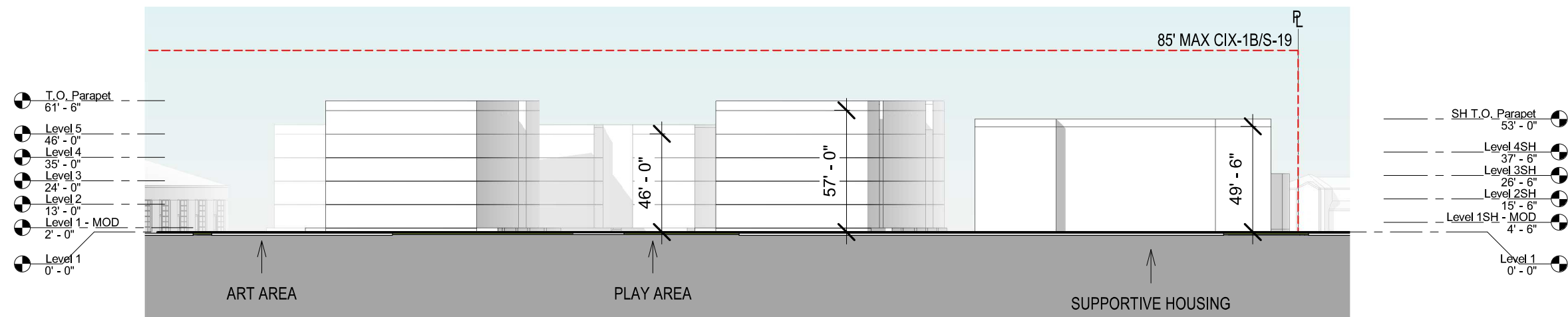
② 9TH STREET ELEVATION
1" = 60'-0"



① PINE STREET ELEVATION
1" = 60'-0"



② FIRE LANE ELEVATION - NORTH
1" = 60'-0"



① FIRE LANE ELEVATION
1" = 60'-0"