



THINK CONTEXT

FRUITVALE TRANSIT VILLAGE PHASE IIB

35TH AVE & 12 ST, OAKLAND, CA 94601

JOINT DEVELOPERS:



DATE ISSUED: 2018.10.03

PROJECT NO: 2017-40133

SHEET NUMBER: **A1**

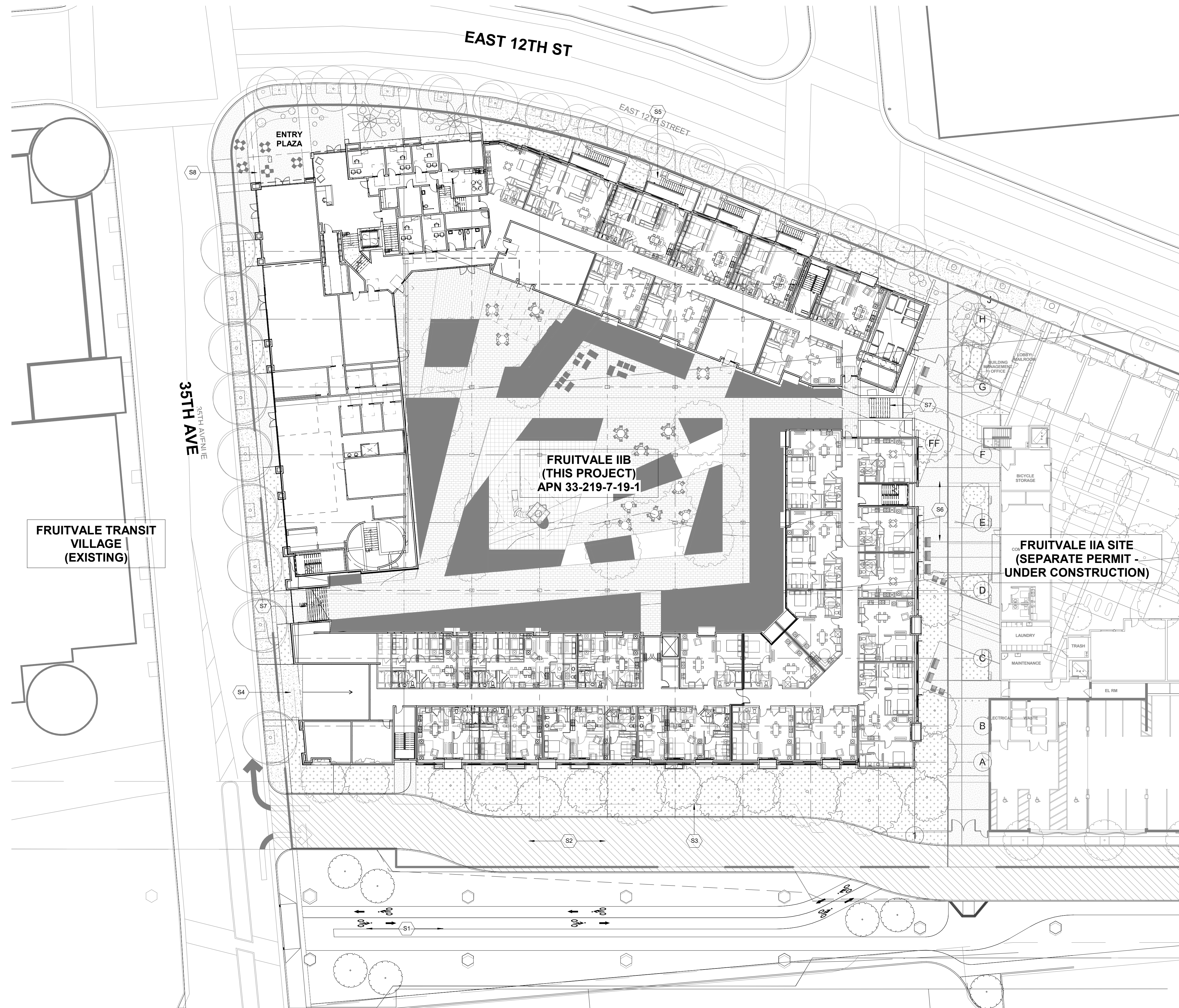


ARCHITECTURAL

Cover Sheet	A1
Sheet Index	A2
Site Plan & Project Description	A3
Site Context Overview	A4
Site Context Photographs	A5
Rendering Perspective "A"	A6
Rendering Perspective "B"	A7
Code Analysis Plan	A10
Parking Plan	A11
Level 1 Plan	A12
Level 2 - 4 Typical Plan	A13
Level 5 Plan	A14
Building Elevation - 35th Ave.	A21
Building Elevation - 35th Ave (Transparency)	A22
Mural Samples	A23
Building Elevation - East 12th St.	A24
Rendering - East 12th St.	A25
Enlarged Elevation - Stoops	A26
Building Elevation - East (Paseo)	A27
Building Elevation - South (BART)	A28
Proposed Exterior Building Materials	A29
Site Sections	A31
Window and Storefront Types	A32

LANDSCAPE

Landscape Street Level	L1
Corner Plaza Enlarged Plan	L2
Entry Stoops Enlarged Plan	L3
Paseo Enlarged Plan	L4
Podium Courtyard	L5
Precedent Imagery - Corner Plaza & Paseo	L6
Precedent Imagery - Play & Community Garden	L7
Precedent Imagery - Seating & Planters	L8



- S1 ELEVATED BART TRACKS AND BART RIGHT-OF-WAY
- S2 EMERGENCY VEHICLE ACCESS LANE & PARKING ENTRY FOR RESIDENTS ONLY - PREVIOUSLY APPROVED AS PART OF PARCEL IIA
- S3 30' SETBACK LINE FROM ELEVATED BART PLATFORM
- S4 DRIVEWAY ENTRY TO BELOW-GRADE GARAGE
- S5 STOOPS FOR UNIT ENTRY ALONG EAST 12TH ST (NOTE STOOPS ARE SHOWN EXTENDING TO WITHIN 3' OF BACK OF SIDEWALK INSTEAD OF 5')
- S6 SHARED PLAZA BETWEEN PARCELS IIA & IIB
- S7 STAIRS FROM PODIUM COURTYARD FROM PUBLIC RIGHT-OF-WAY (FOR FIRE ACCESS AND EXITING) - WILL BE CONTROLLED BY GATES
- S8 PROPOSED OUTDOOR SEATING AREA TO SERVE CAFE

SITE PLAN KEYNOTES

Fruitvale Transit Village Phase IIB ("FTV IIB") is a 181-unit affordable family housing development. The project is the final phase of a comprehensive plan to transform the area immediately surrounding the Fruitvale BART station. The residential uses will target families and individuals earning between 20% and 80% of Area Median Income ("AMI"). In addition to residences, the project will also include approximately 6,000 square feet of ground floor office space along 35th Avenue for a non-profit tenant, including small retail space to be operated by the non-profit tenant. The project is designed in conformance with the approved design guidelines, and features a podium covering the majority of the site, with 4-stories above the podium along the BART tracks, and 3-stories over the podium along 35th Avenue and E. 12th Street – the two masses will surround a landscaped internal courtyard accessible to residents. The garage will include approximately 100 parking spaces accessed from a driveway on 35th Ave. 12th Street is designed with individual residential units exiting directly onto the street.

PROJECT DESCRIPTION

SITE PLAN & PROJECT DESCRIPTION

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OVERHEAD AERIAL VIEW

THINK CONTEXT

SITE CONTEXT

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AVENIDA DE LA FUENTE



FRUITVALE TRANSIT VILLAGE AND BART PLATFORM (ACROSS 35TH AVE)



PARCEL IIA DESIGN (ADJACENT TO SOUTHEAST)



FRUITVALE TRANSIT VILLAGE (CORNER OF 25TH AND EAST 12TH)

SELECTED VIEWS ONLY SHOWN ON THIS SHEET - SEE PROVIDED PHOTOGRAPHS FOR ALL REQUIRED PHOTOGRAPHS FOR DESIGN REVIEW COMMITTEE REVIEW.



FRUITVALE PUBLIC MARKET (NEXT BLOCK ON EAST 12TH)



EMPTY LOT (OPPOSITE SITE OF EAST 12TH ST)

SITE CONTEXT PHOTOGRAPHS

THINK CONTEXT

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CODE ANALYSIS

TYPICAL NOTES THROUGHOUT:
 1. TYPE I-A GARAGE AND TYPE R-2 RESIDENTIAL ABOVE ARE SEPARATED BY 3-HR PODIUM SLAB PER CBC 509.2.3.
 2. PARTITIONS WITHIN UNITS - COMBUSTIBLE FRAMING W/ NON-COMBUSTIBLE SOFFITS.
 3. FIRE RESISTIVE ASSEMBLIES FOR PROTECTION OF OPENINGS SHALL BE PER CBC INCLUDING DOORS AND FRAMES, WINDOWS AND FIRE DAMPERS.

GARAGE (BELOW PODIUM)

OCCUPANCY	CONSTRUCTION	OPENINGS AND AREAS ALLOWED
OCCUPANCY S-2 PARAKING GARAGE	TYPE I-A FULLY SPRINKLERED	OPENING NOT PERMITTED LESS THAN 3' REFER TO CBC TABLE 705.1 AND CBC 705.8.1 FOR ALLOWABLE OPENINGS

FIRE RESISTIVE REQUIREMENTS (TYPE I-A)

BEARING WALLS (EXTERIOR AND INTERIOR)	3-HR
NON-BEARING WALLS	1-HR LESS THAN 10'
STRUCTURAL FRAME	3-HR
PERMANENT PARTITIONS	1-HR
SHAFT WALLS THROUGH PODIUM	2-HR
TRASH ROOMS	2-HR W/ 90 MIN. DOORS
ELEVATOR MACHINE ROOM	1-HR
ELEVATOR LOBBIES	NOT-RATED
ELECTRICAL ROOMS	1-HR
PODIUM SLAB OCCUPANCY SEPARATION	3-HR

ALLOWABLE AREA CALCULATION

OCC.	CONST. TYPE	SPRINKLER DESIG.	ALLOWABLE AREA PER TABLE 506.2 (At)	INCREASES PER CBC SECTION 506	
				MAXIMUM SINGLE STORY (Aa)	MAXIMUM TOTAL BUILDING (Sa = 2)
S-2	I-A	S1	316,000	Aa = [316,000 + (0)] x 1 Aa = [316,000] x 1 Aa = 316,000	

TOTAL GARAGE BUILDING AREA 49,514 SF < 316,000 SF. OK.
 APPROX. 5' BELOW GRADE PLAN

BUILDING 1 (ABOVE PODIUM / ON-GRADE)

OCCUPANCY	CONSTRUCTION	OPENINGS AND AREAS ALLOWED
OCCUPANCY R-2 RESIDENTIAL	TYPE V-A FULL SPRINKLERED	OPENING NOT PERMITTED LESS THAN 3' REFER TO CBC TABLE 705.1 AND CBC 705.8.1 FOR ALLOWABLE OPENINGS

FIRE RESISTIVE REQUIREMENTS (TYPE V-A)

BEARING WALLS	1-HR
NON-BEARING WALLS	NOT-RATED
STRUCTURAL FRAME	1-HR
UNIT-TO-UNIT FIRE BARRIERS	1-HR
FIRE WALLS	2-HR W/ 90 MIN. DOORS
PERMANENT PARTITIONS	1-HR
ELEVATOR LOBBIES	1-HR W/ 20 MIN. DOORS
SHAFT ENCLOSURES (3-STORIES OR LESS)	1-HR
SHAFT ENCLOSURES (4-STORIES OR PENETRATING PODIUM SLAB)	2-HR

ALLOWABLE AREA CALCULATION

OCC.	CONST. TYPE	SPRINKLER DESIG.	ALLOWABLE AREA PER TABLE 506.2 (At)	INCREASES PER CBC SECTION 506	
				MAXIMUM SINGLE STORY (Aa)	MAXIMUM TOTAL BUILDING (Sa = 2)
R-2	V-A	SM	36,000	Aa = [36,000 + (12,000 x .324)] x 1 Aa = [36,000 + 3,888] x 1 Aa = 39,888	79,776
B	V-A	SM	54,000	Aa = [54,000 + (18,000 x 0.324)] x 1 Aa = [54,000 + 5832] x 1 Aa = 59,832	119,664
A-2 / A-3	V-A	SM	34,500	Aa = [34,500 + (11,500 x 0.324)] x 1 Aa = [34,500 + 3726] x 1 Aa = 38,226	76,452

Aa - ALLOWABLE AREA CALCULATED PER 506.2
 At - TABULAR AREA PER CBC TABLE 506.2
 If - FRONTAGE INCREASE PER CBC SECTION 506.3.3 - SEE CALCULATION BELOW
 Sa - MULTIPLE STORY INCREASE PER CBC 506.2.3

FRONTAGE INCREASE (If) = (F / P - 0.25) W / 30
 P - PERIMETER OF ENTIRE BUILDING = 961.5'
 F - PERIMETER OF BUILDING W/ MIN. 20' FRONTAGE = 551.5'
 W - FRONTAGE WIDTH = 30'
 (If) = (F / P - 0.25) W / 30 = (551.5 / 961.5 - 0.25) 30 / 30
 = (0.324) (1)
 = **32.4%**

MIXED OCCUPANCY CALCULATIONS

FLOOR	RESIDENTIAL (R-2) AREA	OTHER OCCUPANCIES		
		A-2 TOTAL	A-3 TOTAL	B TOTAL
1	9,627 SF	1068 SF	2745 SF	9960 SF
2	23,400 SF			
3	23,400 SF			
4	23,400 SF			
TOTAL				

BUILDINGS 2A & 2B (ABOVE PODIUM)

OCCUPANCY	CONSTRUCTION	OPENINGS AND AREAS ALLOWED
OCCUPANCY R-2 RESIDENTIAL	TYPE III-A FULL SPRINKLERED	OPENING NOT PERMITTED LESS THAN 3' REFER TO CBC TABLE 705.1 AND CBC 705.8.1 FOR ALLOWABLE OPENINGS

BUILDING CODE NOTES:
 1. TYPE I-A GARAGE AND TYPE R-2 RESIDENTIAL ABOVE ARE SEPARATED BY 3-HR PODIUM SLAB PER CBC 509.2.3.
 2. PARTITIONS WITHIN UNITS - COMBUSTIBLE FRAMING W/ NON-COMBUSTIBLE SOFFITS.
 3. FIRE RESISTIVE ASSEMBLIES FOR PROTECTION OF OPENINGS SHALL BE PER CBC INCLUDING DOORS AND FRAMES, WINDOWS AND FIRE DAMPERS.

FIRE RESISTIVE REQUIREMENTS (TYPE III-A)

EXTERIOR BEARING WALLS	2-HR
INTERIOR BEARING WALLS	1-HR
NON-BEARING WALLS	NOT-RATED
STRUCTURAL FRAME	1-HR
UNIT-TO-UNIT FIRE BARRIERS	1-HR
FIRE WALLS	2-HR W/ 90 MIN. DOORS
PERMANENT PARTITIONS	1-HR
ELEVATOR LOBBIES	1-HR W/ 20 MIN. DOORS
SHAFT ENCLOSURES (3-STORIES OR LESS)	1-HR
SHAFT ENCLOSURES (4-STORIES OR PENETRATING PODIUM SLAB)	2-HR

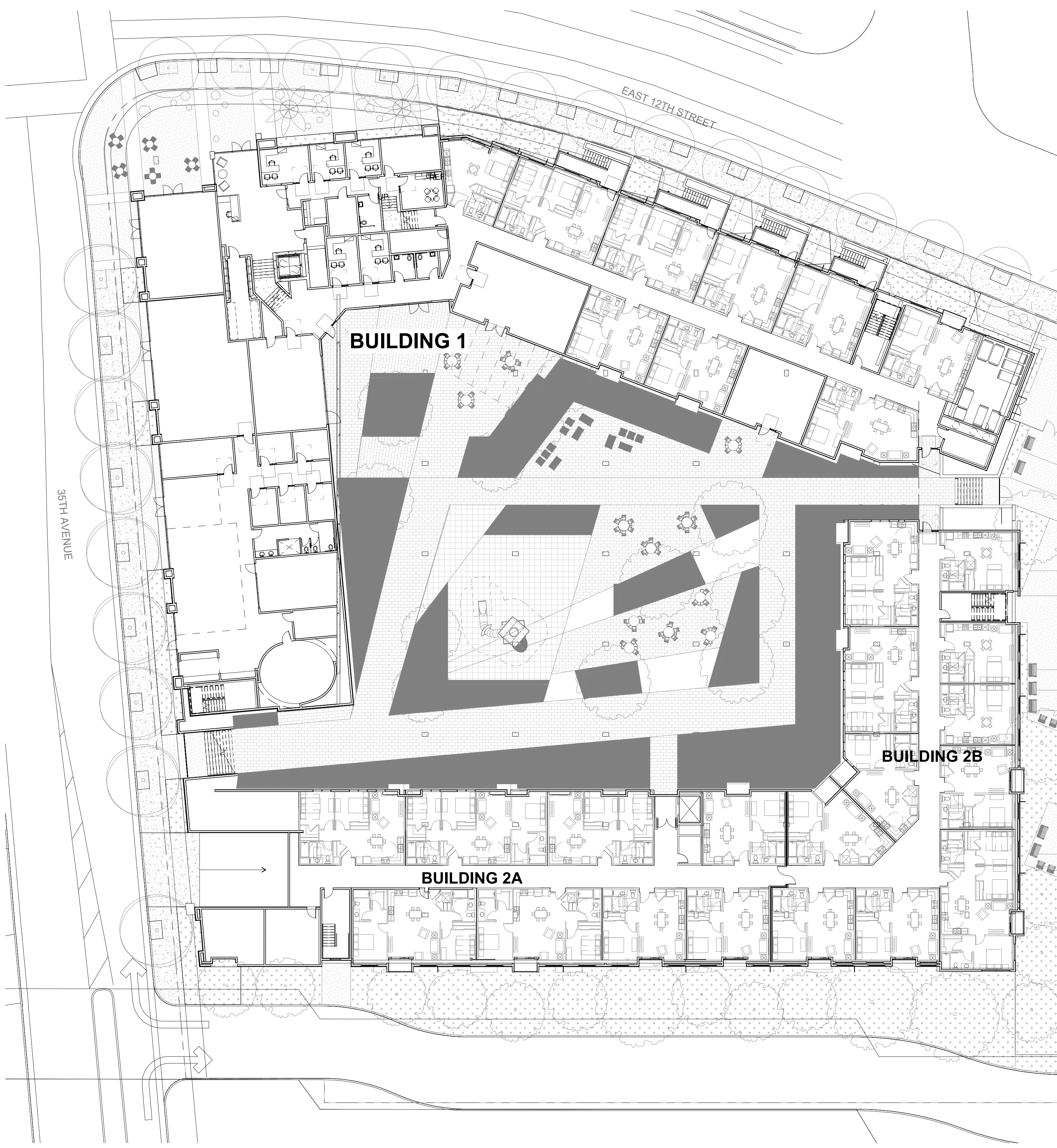
ALLOWABLE AREA CALCULATION

OCC.	CONST. TYPE	SPRINKLER DESIG.	ALLOWABLE AREA PER TABLE 506.2 (At)	INCREASES PER CBC SECTION 506	
				MAXIMUM SINGLE STORY (Aa)	MAXIMUM TOTAL BUILDING (Sa = 2)
R-2	III-A	SM	24,000	Aa = [24,000 + (24,000 x .324)] x 1 Aa = [24,000 + 7632] x 1 Aa = 31,632	63,264

Aa - ALLOWABLE AREA CALCULATED PER 506.2
 At - TABULAR AREA PER CBC TABLE 506.2
 If - FRONTAGE INCREASE PER CBC SECTION 506.3.3 - SEE CALCULATION BELOW
 Sa - MULTIPLE STORY INCREASE PER CBC 506.2.3

FRONTAGE INCREASE (If) = (F / P - 0.25) W / 30
 P - PERIMETER OF ENTIRE BUILDING = 849'
 F - PERIMETER OF BUILDING W/ MIN. 20' FRONTAGE = 482.33'
 W - FRONTAGE WIDTH = 30'
 (If) = (F / P - 0.25) W / 30 = (482.33 / 849 - 0.25) 30 / 30
 = (0.318) (1)
 = **31.8%**

TOTAL AREA PER FLOOR 20,280 SF
 TOTAL AREA (4 STORIES) 81,120 SF (SPLIT BETWEEN TWO BUILDING AREAS W/ AREA SEPARATION WALL)



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JOINT DEVELOPERS:



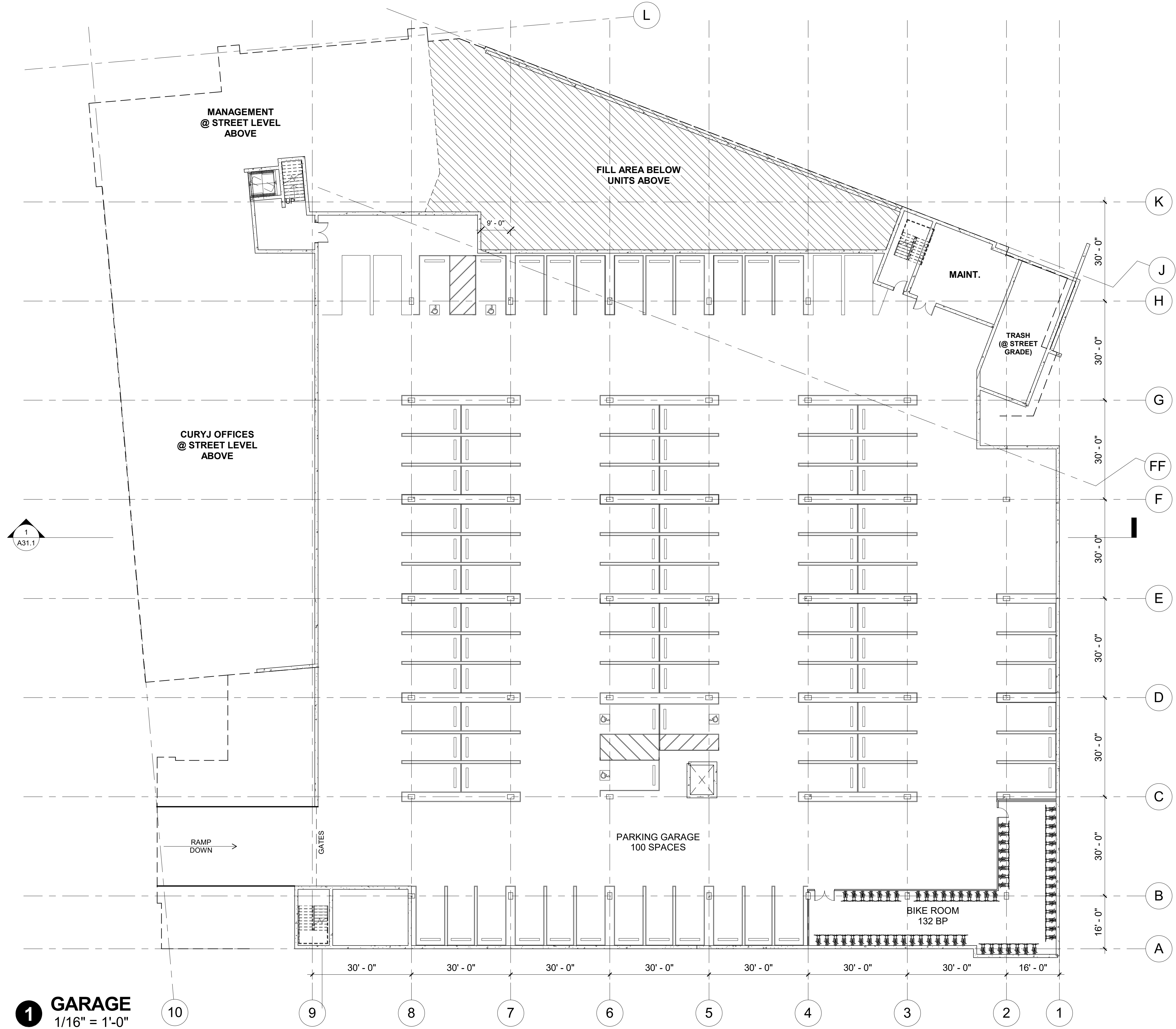
CODE ANALYSIS PLAN

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1 GARAGE
1/16" = 1'-0"

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FRUITVALE TRANSIT VILLAGE PHASE IIB

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PARKING LEVEL PLAN

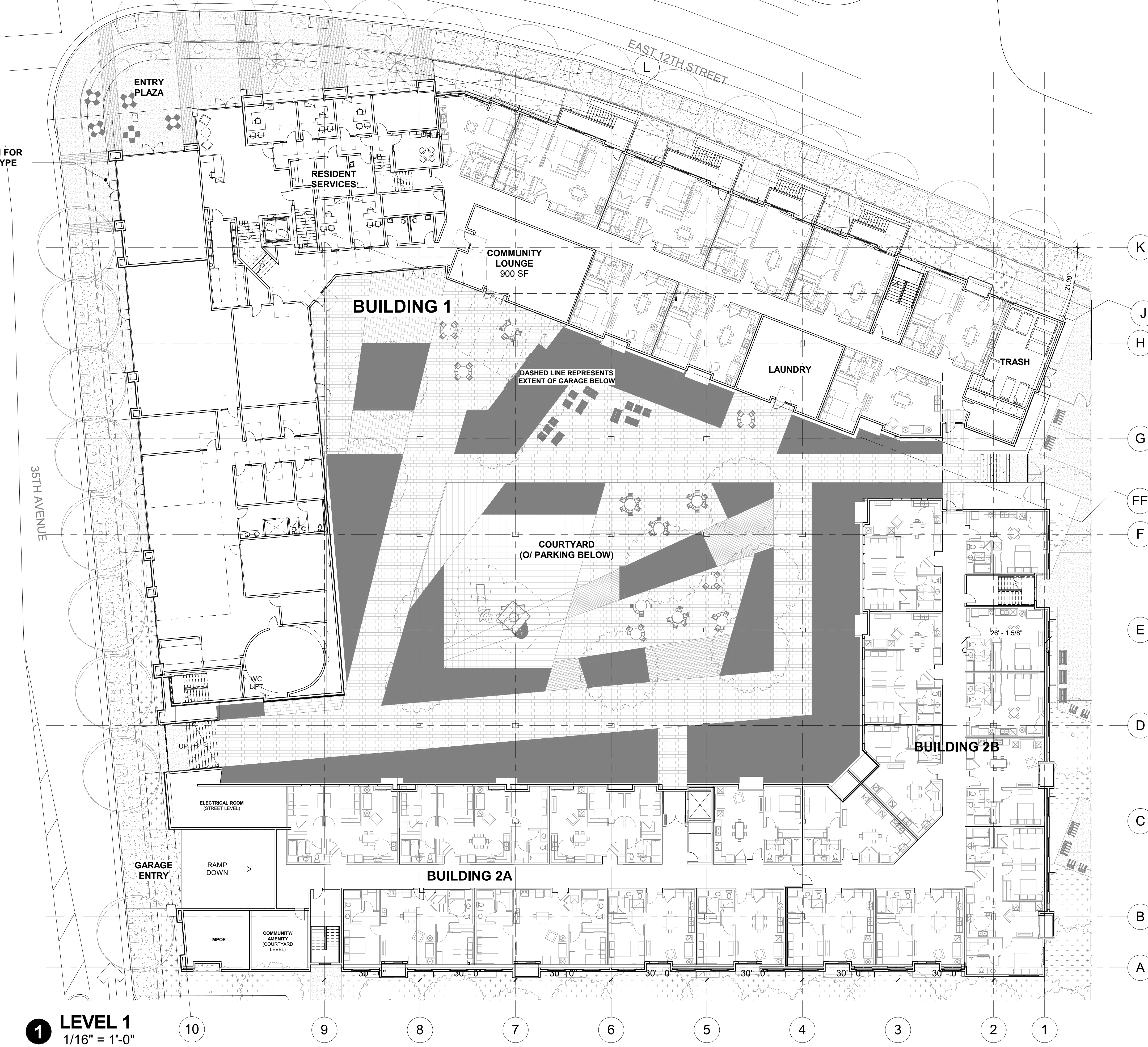
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SIGN LOCATION FOR CAFE (FINAL TYPE T.B.D)



1 LEVEL 1
1/16" = 1'-0"

LEVEL 1 FLOOR PLAN

THINK CONTEXT

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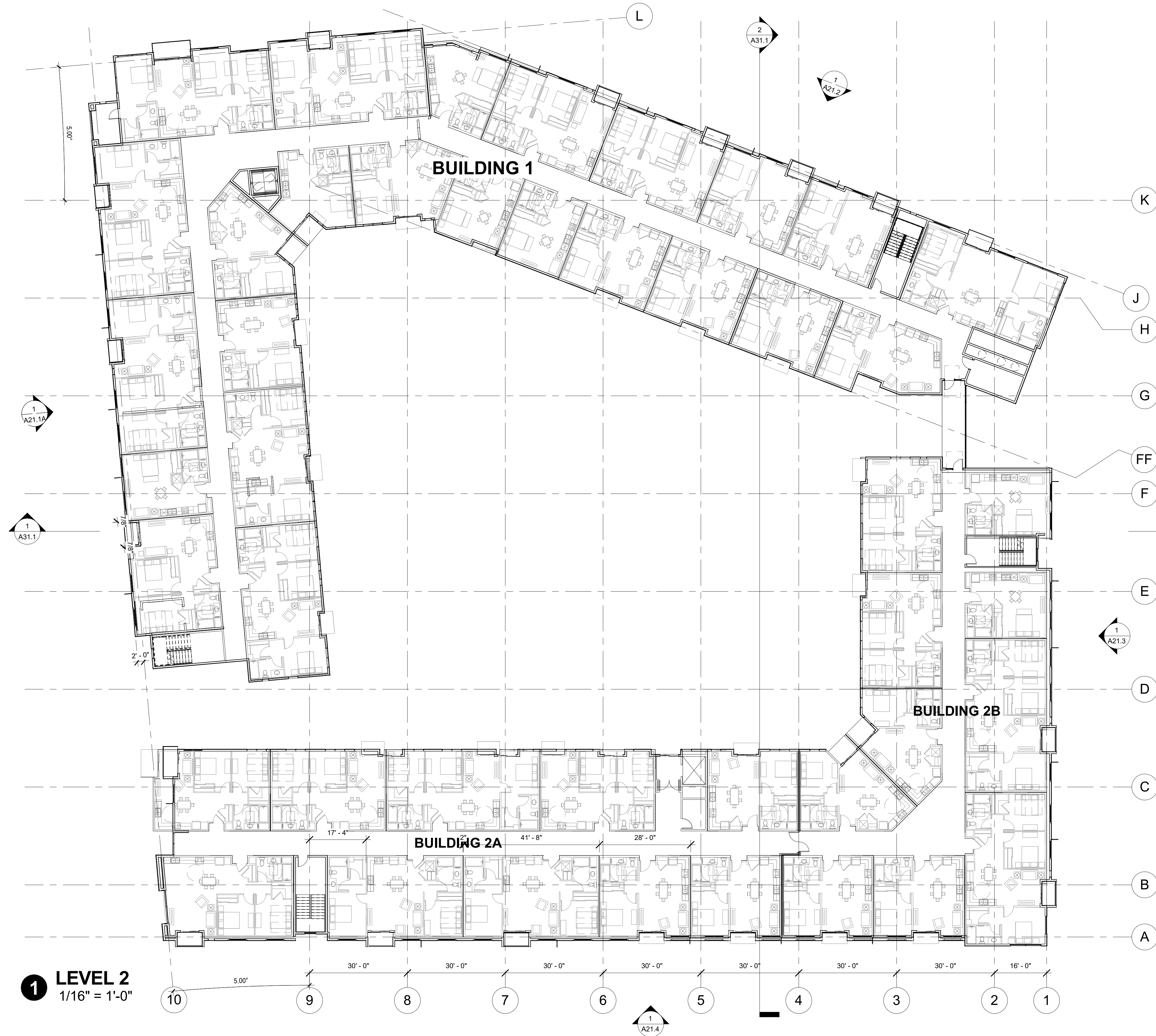
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1 LEVEL 2
1/16" = 1'-0"

LEVEL 2 FLOOR PLAN

THINK CONTEXT

FRUITVALE TRANSIT VILLAGE PHASE IIB

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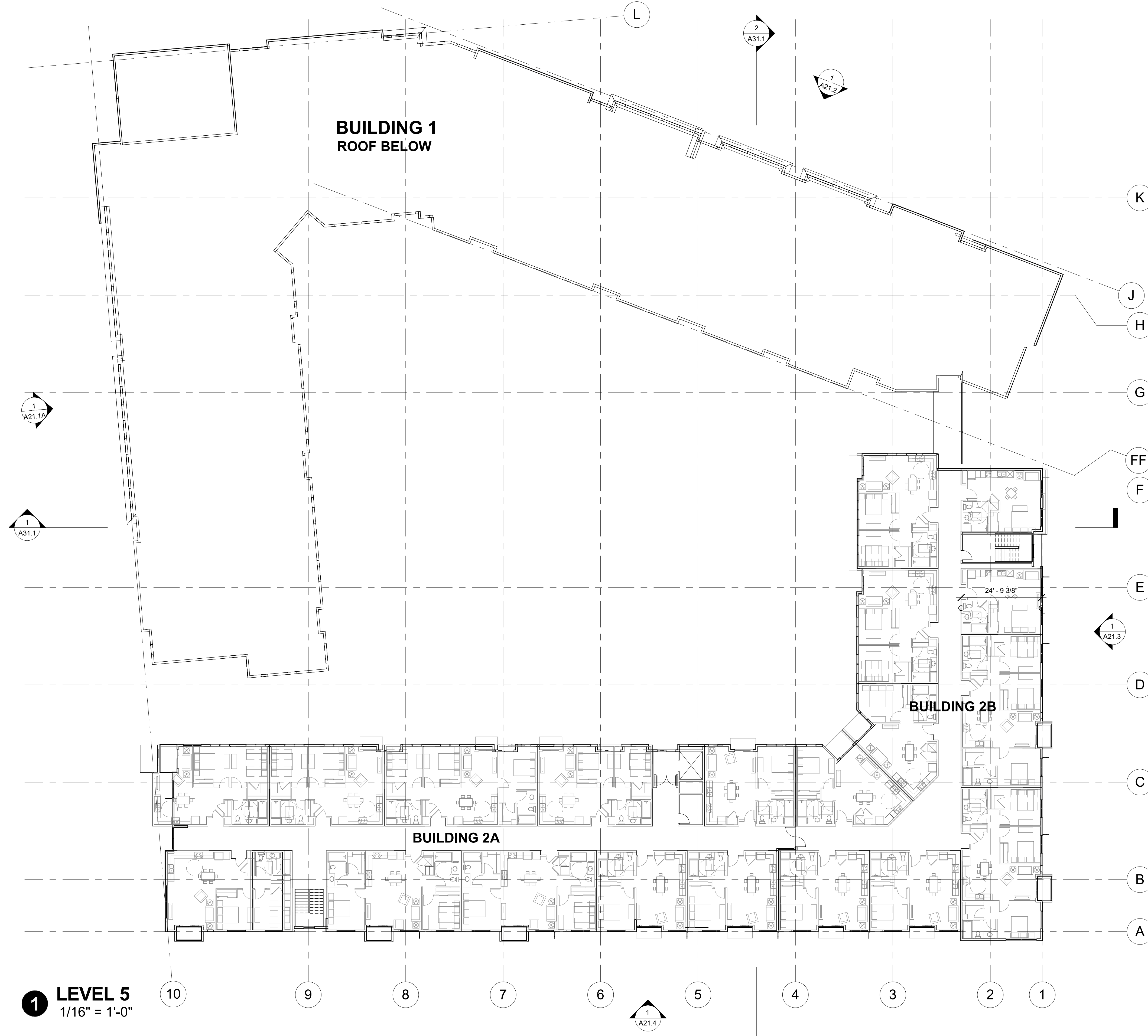


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LEVEL 5 FLOOR PLAN

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LEGEND

- A** CEMBRIT "PATINA" FIBER CEMENT PANELS
- B** BOARD FORM CONCRETE @ BASE
- C** STUCCO COLOR 1 (BASE)
- D** STUCCO COLOR 2 (UPPER)
- F** TREX BOARD GATES AT PODIUM ENTRANCE
- H** MURALS
- L** CANOPY @ STOREFRONT



1 WEST ELEVATION - 35TH
1" = 10'-0"

THINK CONTEXT

WEST ELEVATION (35TH AVE)

FRUITVALE TRANSIT VILLAGE PHASE IIB

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1 WEST ELEVATION TRANSPARENCY
1" = 10'-0"

TOTAL STOREFRONT LENGTH ALONG COMMERCIAL PORTION - 122' - 3"
 TOTAL WALL LENGTH ALONG COMMERCIAL PORTION OF BUILDING - 191' - 8"
 % OF TRANSPARENCY (@ BOTH 2' AND 9') - 63.8%

THINK CONTEXT

WEST ELEVATION TRANSPARENCY ANALYSIS

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REPRESENTATIVE MURAL SAMPLES

(ACTUAL MURALS TO BE SELECTED THROUGH ARTIST SELECTION PROCESS DURING PROJECT DEVELOPMENT)



THINK CONTEXT

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MURAL EXAMPLES

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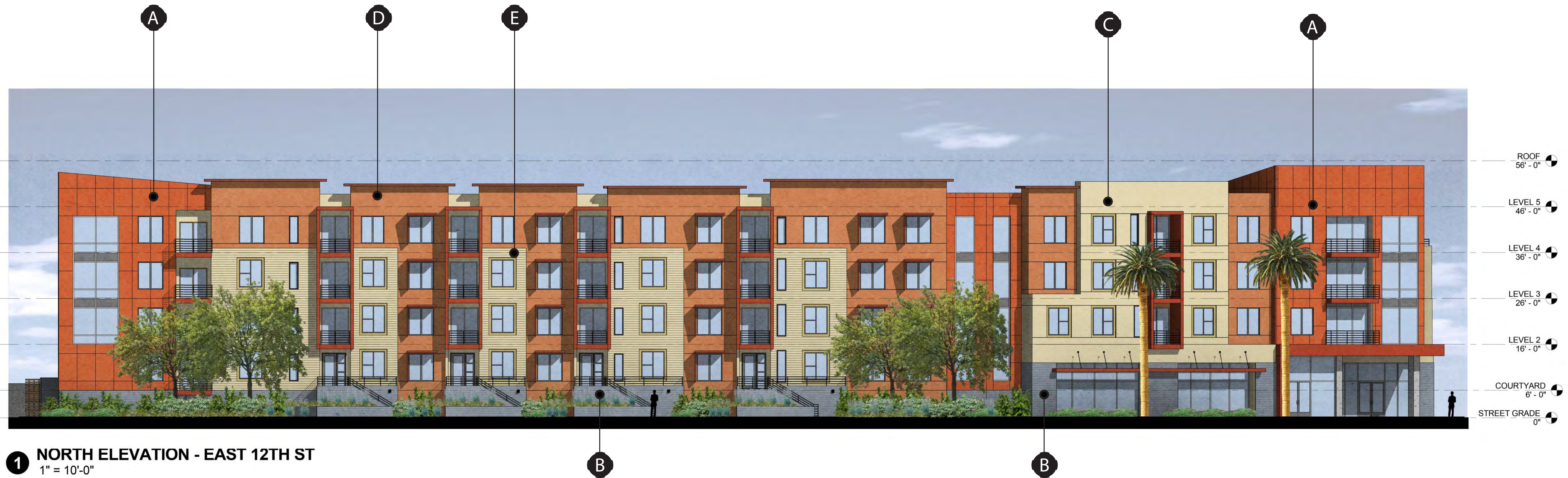
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LEGEND

- A** CEMBRIT "PATINA" FIBER CEMENT PANELS
- B** BOARD FORM CONCRETE @ BASE
- C** STUCCO COLOR 1 (BASE)
- D** STUCCO COLOR 2 (UPPER)
- E** FIBER CEMENT LAP SIDING



1 NORTH ELEVATION - EAST 12TH ST
1" = 10'-0"

THINK CONTEXT

NORTH ELEVATION (EAST 12TH ST)

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THINK CONTEXT

RENDERING (EAST 12TH ST)

FRUITVALE TRANSIT VILLAGE PHASE IIB

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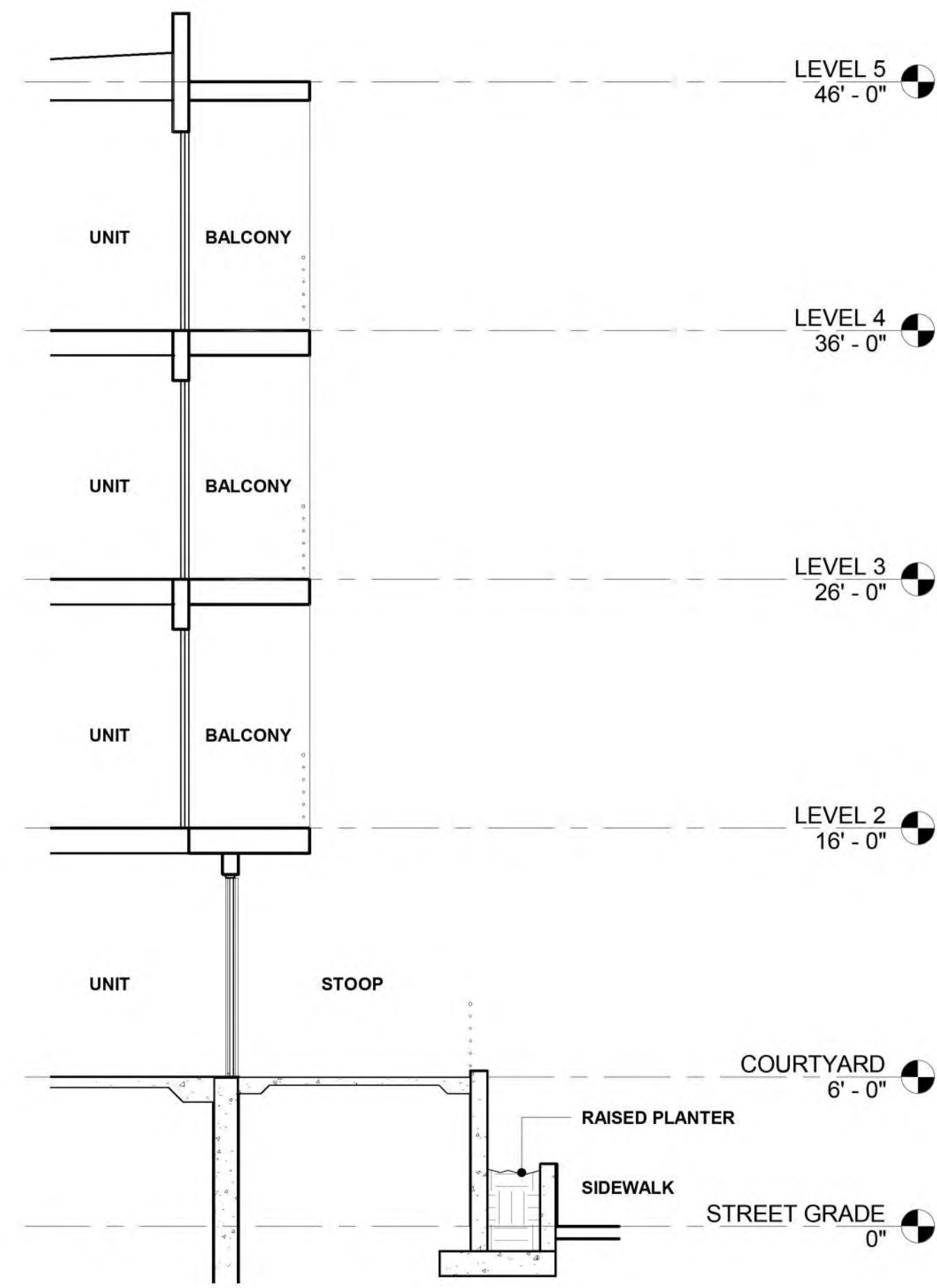
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LEGEND

- B** BOARD FORM CONCRETE @ BASE
- D** STUCCO COLOR 2 (UPPER)
- E** FIBER CEMENT LAP SIDING
- J** WALL MOUNT LIGHT FIXTURE @ STOOPS
- K** OPEN RAILING @ STOOPS



2 STOOP SECTION
3/16" = 1'-0"



1 NORTH ELEVATION - TYPICAL STOOP
3/16" = 1'-0"



EXAMPLE - OPEN LINEAR RAILING @ CONCRETE STOOP



EXAMPLE - CAST IN PLACE PLANTER BOX



EXAMPLE - BOARD FORM CONCRETE @ STOOP



EXAMPLES - PLANTERS @ STOOP

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ENLARGED STOOP ELEVATION

LEGEND

- A** CEMBRIT "PATINA" FIBER CEMENT PANELS
- B** BOARD FORM CONCRETE @ BASE
- C** STUCCO COLOR 1 (BASE)
- D** STUCCO COLOR 2 (UPPER)
- F** TREX BOARD GATES AT PODIUM ENTRANCE
- G** TREX RAILING @ BRIDGE BETWEEN BUILDINGS



1 EAST ELEVATION (PASEO BETWEEN IIB & IIA)
1" = 10'-0"

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LEGEND

- A** CEMBRIT "PATINA" FIBER CEMENT PANELS
- B** BOARD FORM CONCRETE @ BASE
- C** STUCCO COLOR 1 (BASE)
- D** STUCCO COLOR 2 (UPPER)
- E** FIBER CEMENT LAP SIDING
- M** JULIETTE BALCONY RAILING (SIMILAR @ FULL BALCONIES)



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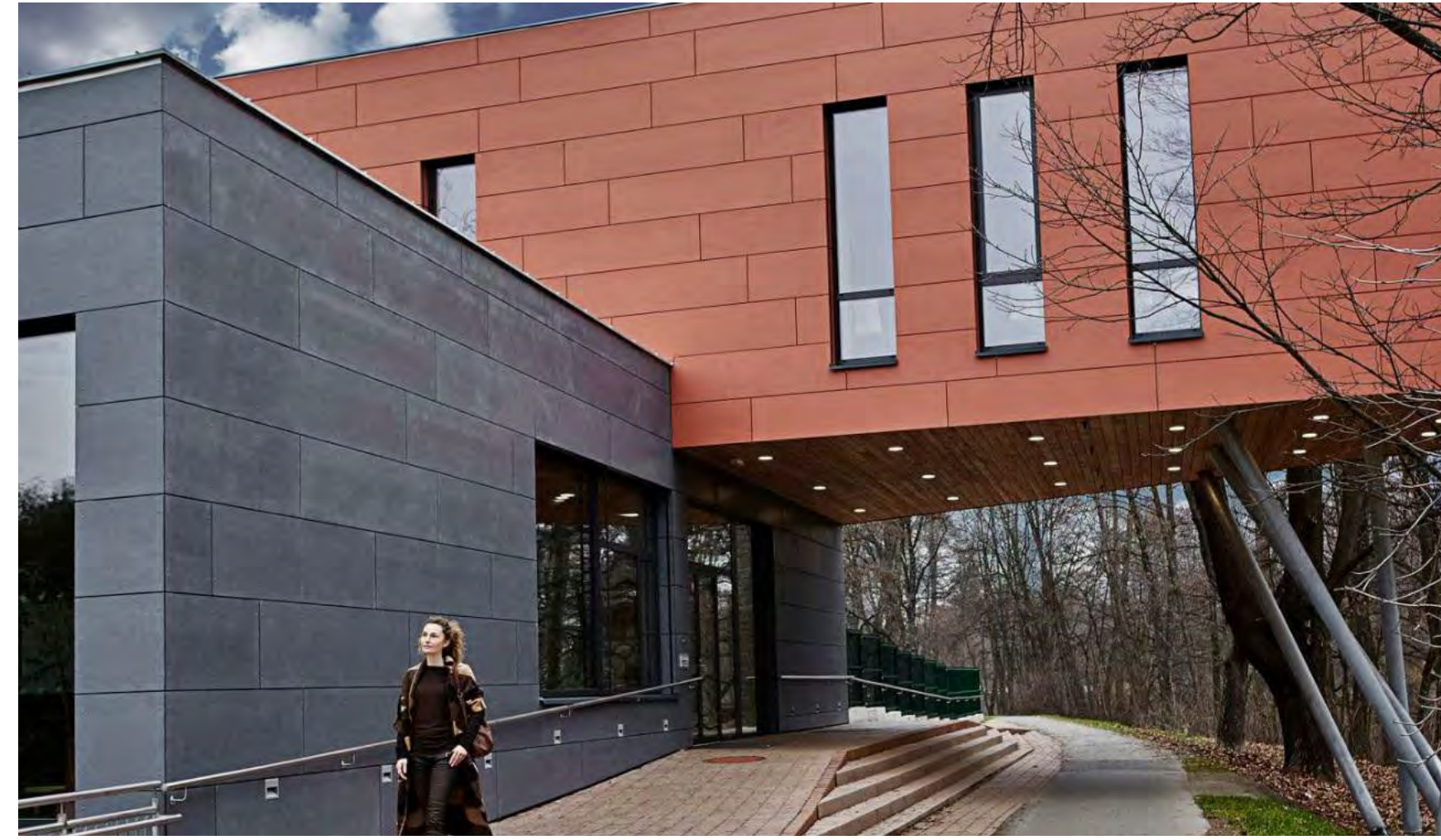
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A CEMBRIT "PATINA" FIBER CEMENT PANELS



E FIBER CEMENT LAP SIDING



B BOARD FORM CONCRETE @ BASE



L STOREFRONT CANOPY



M JULIETTE BALCONY RAIL

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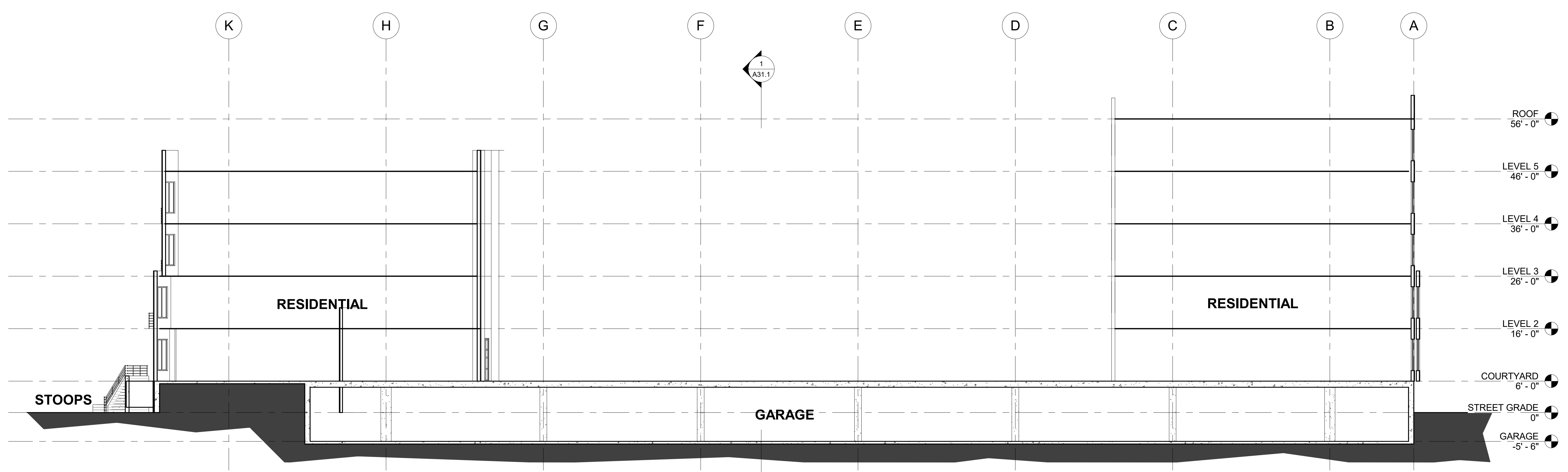


PROPOSED EXTERIOR MATERIALS

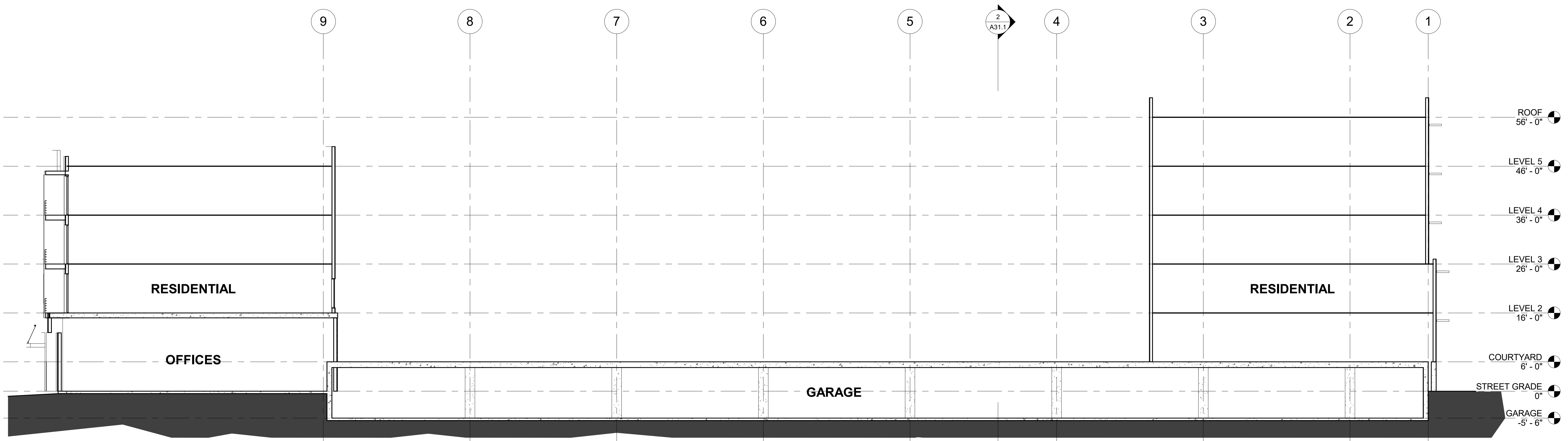
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2 BUILDING SECTION 2
1" = 10'-0"



1 BUILDING SECTION 1
1" = 10'-0"

SITE SECTIONS

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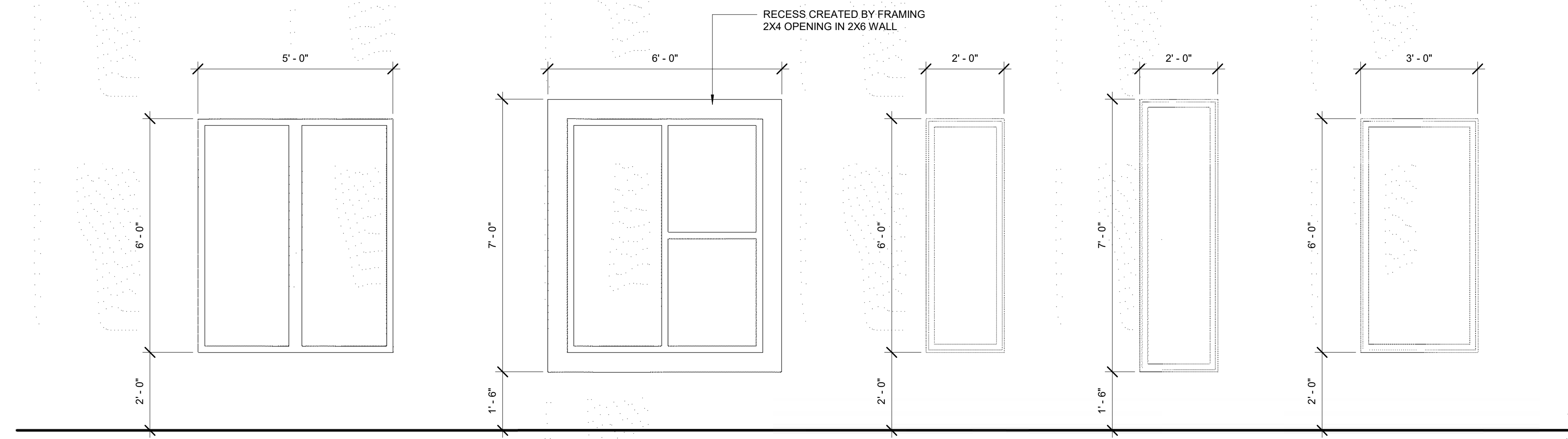


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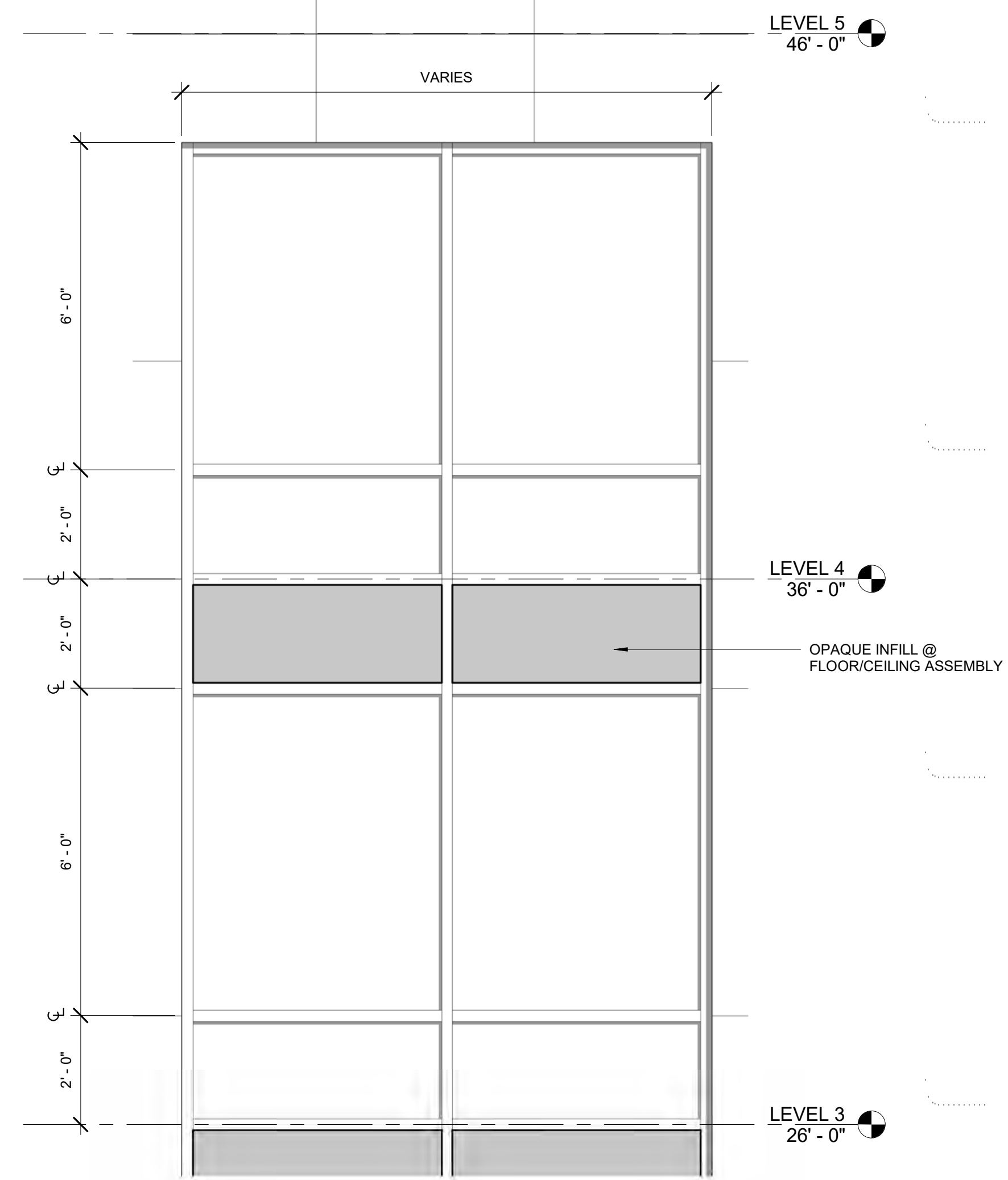
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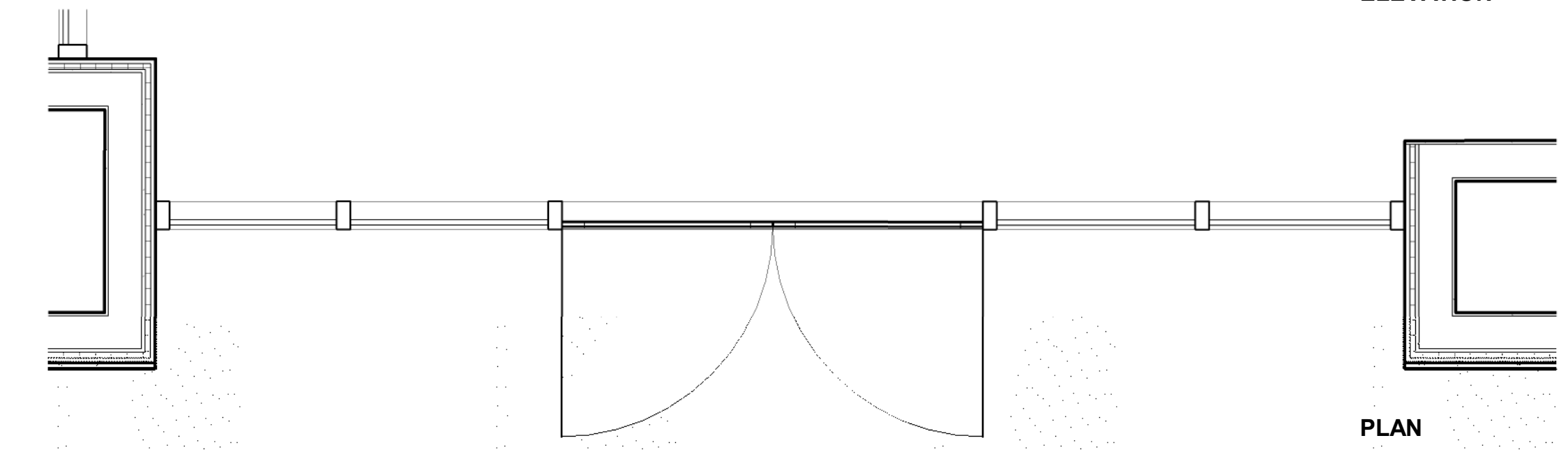
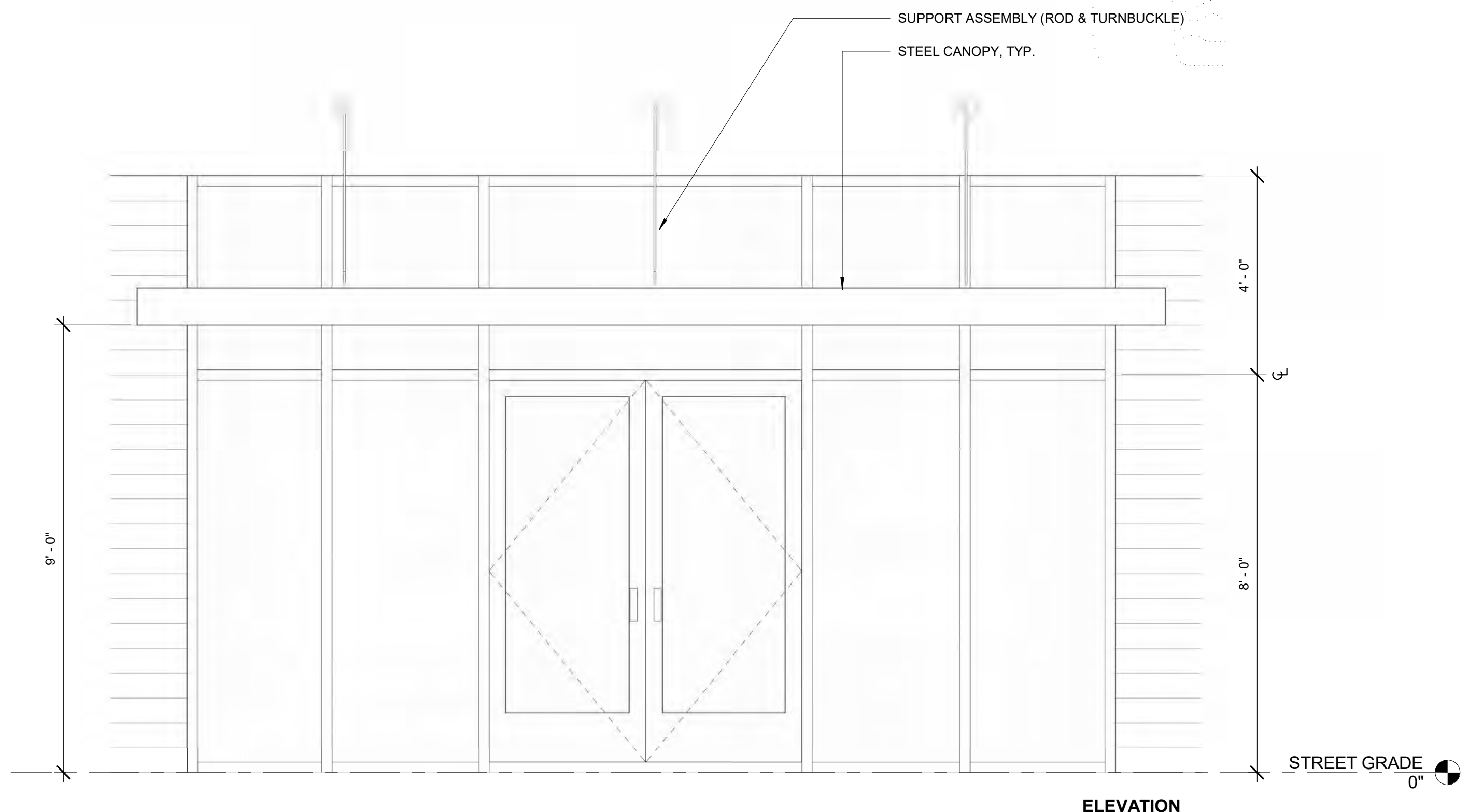
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UNIT WINDOW TYPES
1/2" = 1'-0"



1 TYPICAL STOREFRONT @ UNITS
1/2" = 1'-0"



2 TYPICAL COMMERCIAL STOREFRONT
1/2" = 1'-0"

WINDOW AND STOREFRONT TYPES

THINK CONTEXT

FRUITVALE TRANSIT VILLAGE PHASE IIB
35TH AVE & 12 ST, OAKLAND, CA 94601

JOINT DEVELOPERS:



DATE ISSUED: 2018.10.03
PROJECT NO: 2017-40133

SHEET NUMBER: **A32**



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LANDSCAPE
STREET LEVEL



KEY NOTES

- 1 PLANTING AREA
- 2 POTENTIAL BIORETENTION PLANTER
- 3 INTEGRAL COLOR CONCRETE PAVING
- 4 STANDARD SIDEWALK PAVING
- 5 STREET TREE
- 6 TREE PLANTING

LANDSCAPE
CORNER PLAZA ENLARGED PLAN

KEY NOTES

- 1 PLANTING AREA
- 2 CONCRETE PAVERS
- 3 INTEGRAL COLOR CONCRETE PAVING
- 4 STANDARD SIDEWALK PAVING
- 5 STREET TREE
- 6 PALM TREE PLANTING
- 7 CONCRETE CYLINDERS
- 8 CAFE SEATING
- 9 SEAT WALL



LANDSCAPE
ENTRY STOOPS ENLARGED PLAN

- KEY NOTES
- 1 PLANTING AREA
 - 2 INTEGRAL COLOR CONCRETE PAVING
 - 3 STANDARD SIDEWALK PAVING
 - 4 STREET TREE
 - 5 RAISED CONCRETE PLANTER
 - 6 ENTRY STOOP



LANDSCAPE
 PASEO ENLARGED PLAN

- KEY NOTES
- 1 PLANTING AREA
 - 2 INTEGRAL COLOR CONCRETE PAVING
 - 3 STANDARD SIDEWALK PAVING
 - 4 STREET TREE
 - 5 CONCRETE CYLINDERS
 - 6 FIXED SEATING
 - 7 FREESTANDING TRELLIS
 - 8 FENCE AND GATE



LANDSCAPE PODIUM COURTYARD



KEY NOTES

- 1 RAISED CONCRETE PLANTER
- 2 PLANTER W/SEATWALL
- 3 CONCRETE PAVERS
- 4 RUBBER SURFACING AT PLAY AREA
- 5 PLAY STRUCTURE
- 6 FIXED TABLES
- 7 FIXED SEATING
- 8 LIGHTED TRELLIS
- 9 CONTAINER PLANTING
- 10 OUTDOOR KITCHEN

LANDSCAPE
PRECEDENT IMAGERY | CORNER PLAZA & PASEO



LANDSCAPE
PRECEDENT IMAGERY | PLAY & COMMUNITY GARDEN



LANDSCAPE
PRECEDENT IMAGERY | SEATING & PLANTERS

