

Location:	Wattling Street (see map on the reverse)
Assessors Parcel Number:	(APN: 033-2169-016-01; 033-2169-016-02; and 033-2170-003-00)
Proposal:	Revisions to a portion of previously-approved phased Planned Unit Development project to reduce the number of units within Areas C, D & E from 61 to 51 townhouse condominium units. (Areas A and B remain the same as previously approved with 18 units and an open space garden).
Applicant Contact Person / Phone Number:	City Ventures - Andrew Warner (415)845-0293
Owners:	Oak Partners LLC c/o Philip Lesser
Planning Permits Required:	Revision to Preliminary Planned Unit Development for a phased project; Final Planned Unit Development to allow 51 townhouse units at a portion of the development site; Amended Vesting Tentative Parcel Map for condominium purposes.
General Plan:	Housing and Business Mix
Zoning:	HBX-2 Housing and Business Mix 2 Zone
Environmental Determination:	Projects consistent with a community plan, general plan or zoning (CEQA Guidelines Section 15183); Infill Exemption (CEQA Guidelines Section 15332)
Historic Status:	The project site is vacant.
City Council district	5
Staff Recommendation	Provide design improvement comments
For further information:	Contact case planner Maurice Brenyah-Addow at 510 238-3659 or by e-mail at mbrenyah@oaklandnet.com .

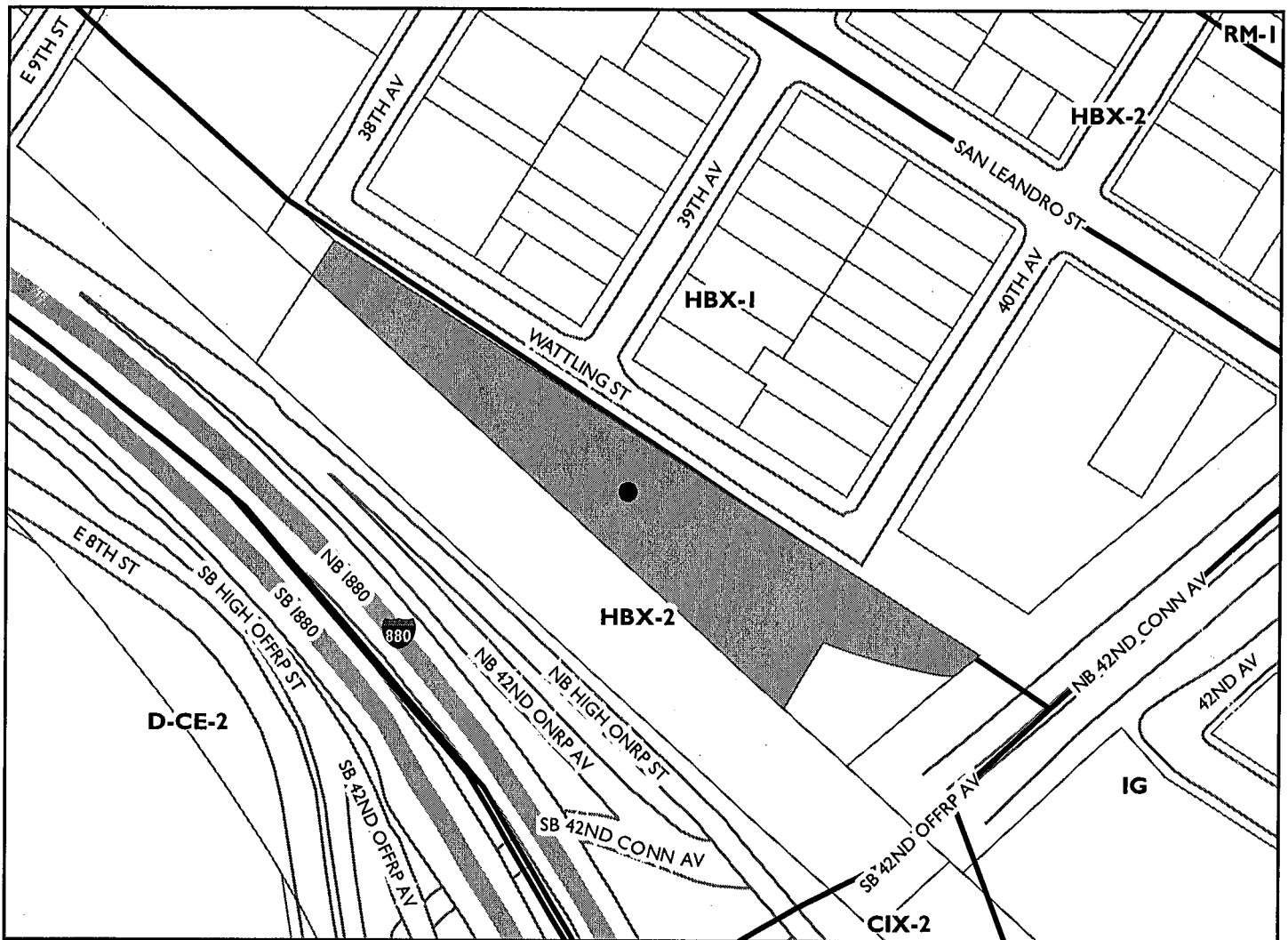
SUMMARY

City Ventures has submitted an application to revise a previously-approved phased Planned Unit Development project, build the proposed revision in two phases instead of five, and amend a Tentative Parcel Map to reduce the number of units within Areas C, D & E from 61 to 51 townhouse condominium units. (Areas A and B remain the same as previously approved with 18 units and an open space garden).

The project was originally approved on June 18, 2008 and the applicant has taken advantage of all ministerial options for extensions. The Planning Commission approved additional one-year extensions on January 20, 2016, January 11, 2017, and February 7, 2018. These approvals included an additional Condition of Approval imposing impact fees which is still applicable. The entitlements will now expire on December 31, 2018. The Planning Commission approved the proposed revisions at the August 1, 2018 hearing and directed that the project goes before the Design Review Committee for further design enhancements.

The project site is located on three vacant parcels southwest on Wattling Street and between 37th Avenue and 40th Avenue. The site is currently used for container storage. The architect's overall intent is to create a scheme that is consistent with the surrounding neighborhood development pattern, while lessening the impact imposed on the area by the nearby railroad tracks and Interstate 880. Since the site is very long and thin, the overall design goal is to create sub-neighborhoods within the project. This is accomplished through imposing a smaller street pattern on the site. The development will serve as a buffer and a transition piece between the industrial area and the more residential oriented area starting on 38th Ave. The single family townhouses between 38th and 40th Ave. are designed to be consistent with the scale of the residential neighborhood across Wattling Street.

CITY OF OAKLAND PLANNING COMMISSION



Case File: PUDF08166-R01
Applicant: City Ventures - Andrew Warner
Address: 3927 Wattling Street
Zone: HBX-2

On August 1, 2018, the Planning Commission approved revisions to the original project and referred it to the Design Review Committee for further design improvements. Overall, staff believes that the proposed revisions to the project are consistent with the previously- approved project and will be a positive contribution to this neighborhood and recommends approval of the proposed revision subject to the findings and conditions. However, Staff believes the proposed revision could be more successful if the street-facing units had raised entryways or stoops.

PROJECT SITE AND SURROUNDING AREA

Existing Conditions

The proposed development is located on three irregularly-shaped parcels southwest on Wattling Street. Specifically, the three parcels total 1.77 acres and are bounded by Wattling Street, 37th Ave., 40th Ave., and the Southern Pacific Railroad. The project site is vacant but is being used for container storage. The property does not have a historic rating per the Oakland Cultural Heritage Survey.

Surrounding Area

The area surrounding the project site is a mix of industrial and residential uses. To the northeast of Wattling Street are several warehouse buildings and several small 1-2 story single-family homes. To the east are live / work and warehouse buildings. To the southwest are the Southern Pacific Railroad (50' from the rear property line to the centerline of the tracks) and Interstate 880 (120' from the rear property line) to the west are more warehouse and industrial buildings

PROJECT DESCRIPTION

Building Program and Floor Plans

The proposed revisions reduces the number of residential units within Areas C, D and E from 61 to 51 attached single-family townhomes. A majority of these units are oriented inwards onto pedestrian walkways with shared driveways leading to the garages located on the rear of each row of townhomes. The end units can also be accessed directly from Wattling Street. All the units have a private garage. Parcel 3(Lot 2/Area B) contains the garden with a billboard above that was approved as part of the original project. Parcel 4 (Lot 3/Area A) would include 18 units in a four-story building the would not change from the original approval.

The architect's overall intent is to create a scheme that is consistent with the surrounding neighborhood development pattern, while lessening the impact imposed of the nearby railroad tracks and Interstate 880. Since the site is long and thin, the overall design goal is to create sub-neighborhoods within the project. Specifically, the northwest end of the site is in a heavy industrial area being bound by 37th Ave, railroad tracks, and the State Shingle building. The project incorporates a sound wall along the rear property line to act as a buffer between the site and the more residential oriented area starting on 38th Avenue and the abutting railroad, highway noise and views and the industrial area. The townhouses are organized in a smaller street pattern perpendicular to Wattling and designed to have volumes and elements scaled to fit in with the rest of the neighborhood. The facades have been designed to break up the massing and repetitiveness along Wattling Street. The materials for the project include stucco, horizontal siding, tiles, and fiber cement board and panels.

The unit mix include 3-story single-family townhomes with a combination of two to three bedroom units that range in size from 1,162 to 1,955 sq. ft. The project proposes extensive hardscape and softscape elements throughout the development, including new sidewalk, curb, and gutter. Planting areas and open space are located throughout the development. A 4' wide landscape buffer and street trees are proposed in front of the residential units fronting Wattling Street. The units fronting onto the paseos have landscaped areas with decorative paving. A 2,404 sq. ft. garden or park is also located on Parcel 3 (Lot 2/Area B) of the site and does not change from the original approval. The landscaping plans show ornamental trees, shrubs, vines, and groundcover.

GENERAL PLAN ANALYSIS

Land Use and Transportation Element of the General Plan

The General Plan designation for the project site is Housing and Business Mix (HBX). The HBX zoning designations have been adopted by the City Council to implement the Housing and Business Mix LUTE classification. Therefore, the proposed density conforms to the General Plan density.

The General Plan states that the *intent* of the HBX designation is to "recognize the equal importance of both housing and business. This classification is intended to guide a transition from heavy industry to low impact light industrial and other businesses that can co-exist compatibly with residential development." The General Plan states that the *desired character* of future development within this classification should be compatible with housing, and development should recognize the mixed business nature of the area. This classification allows mixed housing type density housing, "live-work", low light industrial, commercial, and service businesses, and compatible community facilities.

The following General Plan Land Use and Transportation Policies and Objectives apply to the proposed project:

Objective N3: Encourage the construction, conservation, and enhancement of housing resources in order to meet the current and future needs of the Oakland community.

Policy N3.1 Facilitating Housing Construction

Policy N3.2 Encouraging Infill Development

The project site has been used as container storage for years and has been the subject of several complaints including blight, trash and debris, unauthorized access to the property, abandoned vehicles and dumping. The proposal to construct housing on this site would be positive for the neighborhood. The Land Use and Transportation Element considers the construction of new housing to be one of the highest priorities in Oakland to meet the demand of a growing population. In addition, the project site has no existing buildings, is located across the street from a small residential neighborhood and is appropriate for infill development. The project meets the objectives listed above by providing 69 new residential units on several underutilized parcels.

Policy T2.1 Encouraging Transit-Oriented Development **Although the project is not technically considered a Transit-Oriented Development, it is located just 6 blocks away (less than a quarter mile) from the**

Fruitvale BART station. This project would meet the goal of this policy by providing housing near transit consistent with the City's transit first policy.

Policy N6.1 Mixing Housing Types **The project is proposing a mix of condominium units and larger attached townhomes style units that range from one to three bedroom units. This mix of unit types and sizes will provide housing for a range of incomes and family units.**

The proposed project meets the referenced objectives, the general intent of the HBX land use designation, and is a good fit for this area.

Coliseum Area Redevelopment Project Area Plan

In addition, the project is located in the Coliseum Area Redevelopment Project Area and is subject to the policies and goals in the Coliseum Area Redevelopment Plan. The following Redevelopment Plan goals apply to the proposed project:

Goal 1: The elimination of blighting influences and the correction of environmental deficiencies in the Project Area, including among others, small and irregular lots, faulty exterior spacing, obsolete and aged building types, mixed character or shifting uses or vacancies, incompatible and uneconomic land uses, substandard alleys and inadequate or deteriorated public improvements, facilities, and utilities.

Goal 2: The assembly of land into parcels suitable for modern, integrated development with improved pedestrian and vehicular circulation in the Project Area.

Goal 3: The re-planning, redesign, and development of undeveloped areas which are stagnant or improperly utilized.

The project develops an underutilized, vacant property that has had several complaints for trash, blight, dumping, and inoperable vehicles into an integrated residential community. The project will combine several small thin and irregular parcels sufficiently large to allow for comprehensive planning. The project is proposing new curb, gutter, and sidewalk, as well as street trees to improve pedestrian circulation. Staff would include, as typical for all new development projects, a condition requiring half street improvements for vehicular circulation.

The proposed project meets the referenced objectives, policies, goals, and the general intent of the Coliseum Redevelopment Plan. Staff finds that the project is a good fit for this area.

ZONING ANALYSIS

The zoning of the site is designated HBX-2 (Housing and Business Mix 2 Zone). The HBX-2 Zone is intended to "provide development standards for areas that have a mix of industrial, certain commercial and medium to high density residential development. This zone recognizes the equal importance of housing and business." The maximum residential density for this zone is 1 unit per 930 sq. ft. of lot area. Staff has calculated a maximum density of 83 units. The revision from 79 units down to 69 units proposed project is under the maximum density permitted by the zoning designation. To create condominium units for the project, a Tentative Parcel Map

(TPM9439) was also approved for the project. This map will be amended to address the reduction of units from 61 down to 51 condominium units.

The following table depicts the project's comparison to HBX-2 zoning requirements.

Zoning Regulation Comparison Table

Criteria	Requirement HBX-2	Proposed	Comment
Lot Area	4,000 sq. ft.	Parcel 1 = 14,968 sq. Parcel 2 = 49,652 sq. Parcel 3 = 2,434 sq. Parcel 4 = 10,149 sq.	All parcels meet the HBX-2 requirements, except parcel 3. Can be waived with the PUD bonuses.
Lot Width	35'	All parcels are over 35' width	Meets the HBX-2 requirements.
Lot Frontage	35'	All parcels are over 35' frontage	Meets the HBX-2 requirements.
Yard – Front Setback	Per HBX Design Guidelines Manual	0-47'	Consistent with the HBX Design Guidelines Manual
Yard – Interior Side Setback	Per HBX Design Guidelines Manual	0-21'	Consistent with the HBX Design Guidelines
Yard – Corner Side Setback	N/A	0'	Consistent with the HBX Design Guidelines
Yard – Rear Setback	Per HBX Design Guidelines Manual	0-10'	Consistent with the HBX Design Guidelines
Height	45'	33'-45'	Meets the HBX-2 requirements.
Open Space	150 sq. ft. / unit = 10,350 sq. ft.	Exceeds required 10,350 (Garden, Paseos, Private)	Meets the HBX-2 requirements.
Parking	1 space / unit = 80 spaces	1 spaces / unit = 120 spaces	Consistent with the HBX Design Guidelines with landscaping.
Parking Design	Per HBX Design Guidelines Manual	Garages & Located in a lot of the street in front of the	Consistent with the HBX Design Guidelines
Loading	50,000-149,999 sq. ft. resid. = 1 berth	0 berths (Driveway Alleys provide loading areas)	Variance Granted for original project
Residential density	1 unit / 930 sq. ft. = 83 units	69 units	Meets the HBX-2 requirements.
FAR	2.6	Less than 2.6	Meets the HBX-2 requirements.

The criteria for review and approval of this facility at this location includes the following: The Planned Unit Development Criteria (Preliminary and Final) in Section 17.140.080 and 17.140.060, the Design Review Criteria in Section 17.136.050A for the residential development; the Minor Variance Criteria in 17.48.050; and the Tentative Parcel Map Section 16.24.040 and 16.08.030. All applicable criteria are analyzed and appropriate findings are made in the *Findings* Section of this report.

KEY ISSUES AND IMPACTS

In summary, the proposal seeks to revise a portion of a previously approved residential project in East Oakland. The project meets the primary goal of providing new housing units and infill development on underused or vacant parcels. Furthermore, the project is clearly in conformance with the General Plan and the Coliseum Area Redevelopment Project Area Plan goals and policies.

Street-facing elevations on Wattling Street

Following the August 1st 2018 DRC meeting the applicant has submitted a set of revisions that mostly apply material changes to portions of the street facing façade. Staff believes the project could better relate to the neighborhood and create a better streetscape by incorporating raised and covered entry porches and or stoops for the units fronting on Wattling Street.

Access to Open Space

The proposed revision involves shifting adjustments to the location of the units adjacent to the open space area to provide a second means of egress. However, Staff believes that the pathways are too narrow and too close the side-yards of the adjacent homes and present privacy, security and noise concerns that require more attention and resolution.

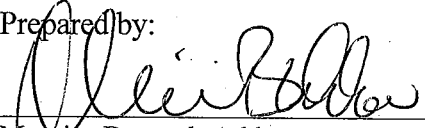
CONCLUSIONS

Staff recommend approval of the revisions because the redesigned three-story townhouse building type feature street facing facades that are more residential in appearance and pedestrian-oriented. The design is a contemporary, multi-unit residential development in a predominantly mixed-use and transitional neighborhood. Staff believes it is an improvement over the previous design and therefore appropriate for the site but could be further enhanced and more successful if the street-facing units had raised and covered entryways or stoops and the access to the open space area is adequately addressed.

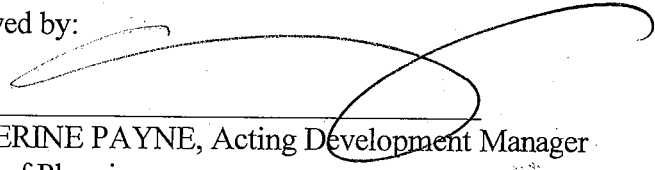
RECOMMENDATIONS

1. Provide design enhancement comments for the project.

Prepared by:


Maurice Brenyah-Addow
Planner IV

Approved by:



CATHERINE PAYNE, Acting Development Manager
Bureau of Planning

ATTACHMENTS:

A. Plans and Elevations

OAKLAND - 5

STREETSCAPE & BUILDING ELEVATIONS

3927 WATTLING STREET, OAKLAND, CA
09.19.2018

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No.	Date	Revision
1	09-09-2018	

Sheet Description:

COVER SHEET

Scale	N/T
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Date	06-27-2018 PERMIT SUBMITTAL
Project#	317055

CS



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No.	Date	Revision
1	09-06-2018	

Sheet Description:

SITE PLAN

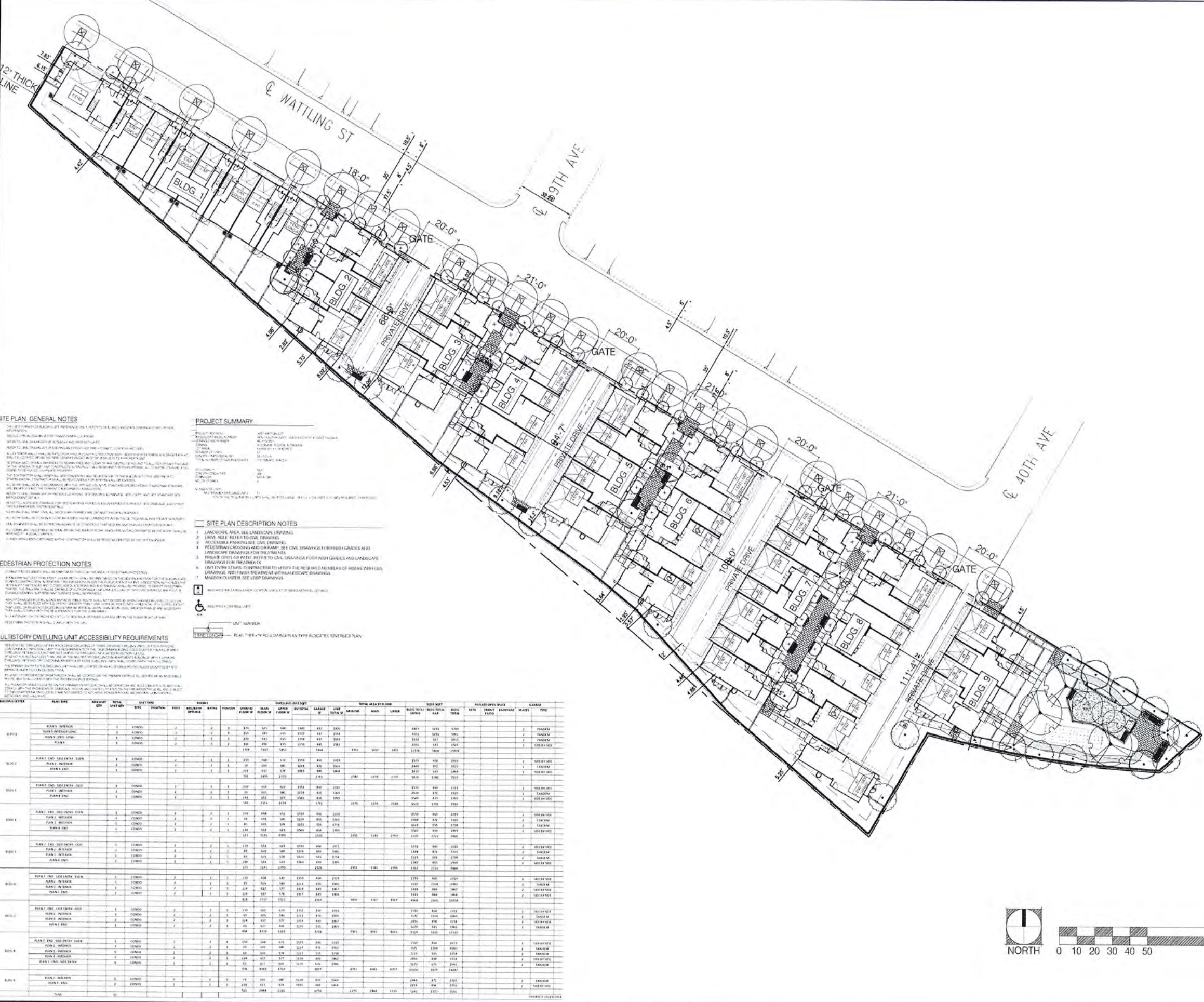
Scale: 1" = 20'-0"

Drawn: RJA/CK/AS

Checked: JH/RJ

Date: 06-27-2018 PERMIT SUBMITTAL

Project#: 317055



SITE PLAN GENERAL NOTES

- 1. THE EXISTING CONDITIONS AT THE PROJECT SITE, INCLUDING THE EXISTING UTILITIES, ARE SHOWN ON THE SITE PLAN AS NOTED.
- 2. THE EXISTING BUILDING FOOTPRINTS ARE SHOWN ON THE SITE PLAN AS NOTED.
- 3. THE EXISTING DRIVEWAYS ARE SHOWN ON THE SITE PLAN AS NOTED.
- 4. THE EXISTING UTILITIES ARE SHOWN ON THE SITE PLAN AS NOTED.
- 5. THE EXISTING LANDSCAPE IS SHOWN ON THE SITE PLAN AS NOTED.
- 6. THE EXISTING EROSION CONTROL MEASURES ARE SHOWN ON THE SITE PLAN AS NOTED.
- 7. THE EXISTING SITE CONDITIONS ARE SHOWN ON THE SITE PLAN AS NOTED.

PROJECT SUMMARY

- PROJECT NAME: OAKLAND 5 WATTLING STREET CONDOMINIUMS
- PROJECT NUMBER: 317055
- LOCATION: 3927 WATTLING STREET, OAKLAND, CA
- CLIENT: CITY VENTURES
- DATE: 06/27/2018
- SCALE: AS SHOWN
- DESIGNER: HUNT HALE JONES ARCHITECTS

SITE PLAN DESCRIPTION NOTES

- 1. LANDSCAPE AREA SEE LANDSCAPE DRAWINGS
- 2. DRIVE AREA SEE CIVIL DRAWINGS
- 3. ACCESSIBLE PARKING SEE CIVIL DRAWINGS
- 4. PEDESTRIAN CROSSING AND GRAMP SEE CIVIL DRAWINGS FOR FINISH GRADES AND LANDSCAPE DRAWINGS FOR TREATMENTS
- 5. PRIVATE OPEN AIR PATIO SEE CIVIL DRAWINGS FOR FINISH GRADES AND LANDSCAPE DRAWINGS FOR TREATMENTS
- 6. LEAVY ENTRY STAIRS, CONTRACTOR TO VERIFY THE REQUIRED DIMENSIONS AND LANDSCAPE DRAWINGS FOR TREATMENTS
- 7. MAIN ROOF WATER SEE USDP DRAWINGS

PEDESTRIAN PROTECTION NOTES

- 1. THE EXISTING PEDESTRIAN PATHS ARE SHOWN ON THE SITE PLAN AS NOTED.
- 2. THE EXISTING PEDESTRIAN CROSSINGS ARE SHOWN ON THE SITE PLAN AS NOTED.
- 3. THE EXISTING PEDESTRIAN GRAMP ARE SHOWN ON THE SITE PLAN AS NOTED.
- 4. THE EXISTING PEDESTRIAN STAIRS ARE SHOWN ON THE SITE PLAN AS NOTED.
- 5. THE EXISTING PEDESTRIAN ELEVATORS ARE SHOWN ON THE SITE PLAN AS NOTED.

MULTISTORY DWELLING UNIT ACCESSIBILITY REQUIREMENTS

- 1. THE ACCESSIBILITY REQUIREMENTS FOR MULTISTORY DWELLING UNITS ARE SHOWN ON THE SITE PLAN AS NOTED.
- 2. THE ACCESSIBILITY REQUIREMENTS FOR MULTISTORY DWELLING UNITS ARE SHOWN ON THE SITE PLAN AS NOTED.
- 3. THE ACCESSIBILITY REQUIREMENTS FOR MULTISTORY DWELLING UNITS ARE SHOWN ON THE SITE PLAN AS NOTED.

UNITS	UNIT TYPE	NO. OF UNITS	NO. OF BEDS	FLOOR	AREA	FINISH	MEASUREMENT	STAIRS	VIEW	REMARKS	AREA	FINISH	MEASUREMENT	STAIRS	VIEW	REMARKS	AREA	FINISH	MEASUREMENT	STAIRS	VIEW	REMARKS
BLDG 1	BLDG 1 INTERIOR	3	CONDO	2	2	2	1,070	100	100	100	1,070	100	100	100	100	100	1,070	100	100	100	100	100
BLDG 1	BLDG 1 INTERIOR	2	CONDO	2	2	2	1,070	100	100	100	1,070	100	100	100	100	100	1,070	100	100	100	100	100
BLDG 1	BLDG 1 INTERIOR	1	CONDO	2	2	2	1,070	100	100	100	1,070	100	100	100	100	100	1,070	100	100	100	100	100
BLDG 1	BLDG 1 INTERIOR	1	CONDO	2	2	2	1,070	100	100	100	1,070	100	100	100	100	100	1,070	100	100	100	100	100
BLDG 1	BLDG 1 INTERIOR	1	CONDO	2	2	2	1,070	100	100	100	1,070	100	100	100	100	100	1,070	100	100	100	100	100
BLDG 1	BLDG 1 INTERIOR	1	CONDO	2	2	2	1,070	100	100	100	1,070	100	100	100	100	100	1,070	100	100	100	100	100
BLDG 1	BLDG 1 INTERIOR	1	CONDO	2	2	2	1,070	100	100	100	1,070	100	100	100	100	100	1,070	100	100	100	100	100
BLDG 1	BLDG 1 INTERIOR	1	CONDO	2	2	2	1,070	100	100	100	1,070	100	100	100	100	100	1,070	100	100	100	100	100
BLDG 1	BLDG 1 INTERIOR	1	CONDO	2	2	2	1,070	100	100	100	1,070	100	100	100	100	100	1,070	100	100	100	100	100
BLDG 1	BLDG 1 INTERIOR	1	CONDO	2	2	2	1,070	100	100	100	1,070	100	100	100	100	100	1,070	100	100	100	100	100

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OAKLAND 5
WATTLING STREET
CONDOMINIUMS

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1	08-27-2018	

Sheet Description:

STREET SCAPE

Scale	3/16" = 1'-0"
Drawn	RJ/NR/CK/AS
Checked	DH/RJ
Date	08-27-2018 PERMIT SUBMITTAL
Project#	317055

A--



BUILDING 4

BUILDING 3

BUILDING 2

BUILDING 1

WATTLING STREET



BUILDING 9

WATTLING STREET

BUILDING 8

BUILDING 7

BUILDING 6

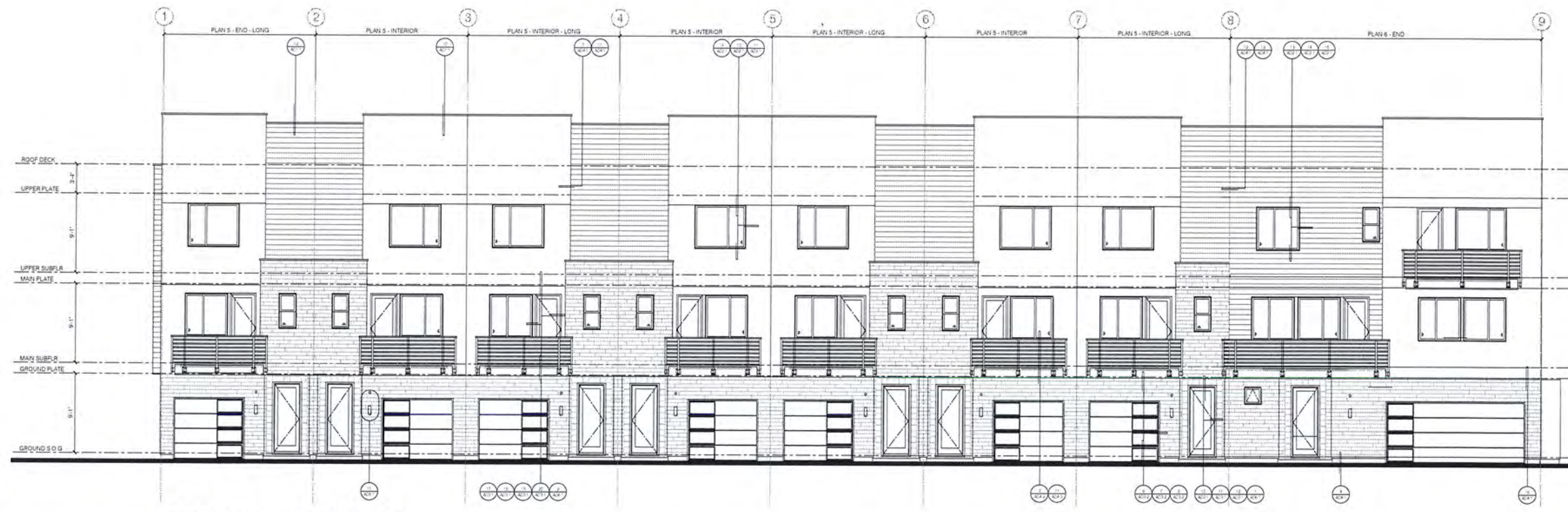
BUILDING 5

BUILDING

STREETSCAPE

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FRONT ELEVATION

BLDG. 1

ELEVATION NOTES

- ROOF**
1. PARAPET WALL W/ GCM COPING CAP
 2. LINE OF ROOF DECK ELEVATION
 3. GCM EQUIDISTANT & OVERFLOW SCUPPER, SEE MEP FOR DIMENSIONS, SEE ROOF PLAN FOR LOCATIONS
 4. CLASS A 40 YEAR COMPOSITION ROOF SYSTEMS, SEE ROOF PLAN
 5. GCM GUTTER THROUGH W/ SPILLWAY

DOORS AND WINDOWS

7. GARAGE DOORS SHALL BE A SECTIONAL ROLL-UP METAL DOOR BY JAMIE DALTON #100 SERIES OR APPROVED EQ.
8. FIBERGLASS FRONT ENTRY DOOR
9. METAL METER CABINET DOORS
10. DUAL GLAZED VINYL CLAD WINDOWS BY MILGARD STYLE LINE OR APPROVED EQ.
11. DUAL GLAZED VINYL CLAD SLIDING GLASS DOOR
12. DUAL GLAZED VINYL CLAD FRENCH DOOR
- 13.
- 14.

MATERIALS

15. 3 COAT STUCCO APPLICATION W/ CONTROL JOINT AS INDICATED
16. STUCCO USE SMOOTH LAP SIDING BY JAMIE SHADROFF OR EQUAL
17. 4" HIGH GUARDRAIL AT BALCONY RAOO SURFACES GREATER THAN 40" ABOVE GRADE PER CBC SECT 1613.2
- 18.
- 19.
- 20.
- 21.

MISCELLANEOUS

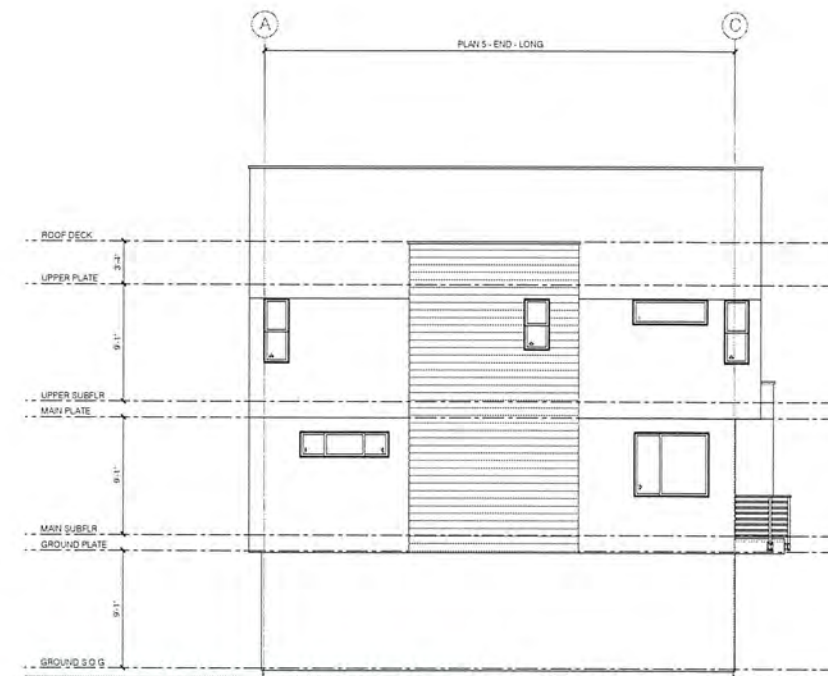
22. WALL CEILING BEYOND
23. ADDRESS SIGN W/ MINIMUM 4" HIGH 1/2" WIDE NUMBERS, PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. VERIFY LOCATION W/ LOCAL FIRE DEPARTMENT
- 24A. 0 SMALL SURFACE MOUNTED COMMON AREA LIGHT FIXTURE, PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION.
- 24B. 1 LARGE SURFACE MOUNTED COMMON AREA LIGHT FIXTURE, PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION.
- 24C. 2 SURFACE MOUNTED LIGHT LIGHT FIXTURE. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION.
25. WALL MOUNTED TYPE 400 MIN. SIZE 2X1000 FIRE EXTINGUISHER SEPARATED BY A MAX. TRAVEL DISTANCE OF 75'. VERIFY LOCATIONS WITH FIRE DEPT. TOP OF CABINET TO MOUNTED BETWEEN 48" @ INSTALL SQUARE AND CABINET WITHIN 72" @. SEE DETS. 11 A 13 AND 1.
26. SURFACE MOUNTED ROOF ACCESS LADDER - ALACO 664992C SECURITY DR OR APPROVED EQ.

ELEVATION GENERAL NOTES

1. FLOOR FINISHES, REFER TO ROOF PLAN
2. ALIGN WINDOW HEADS AS FOLLOWS, VERIFY ACTUAL FRAMING HEIGHTS WITH SELECTED WINDOW MANUFACTURERS AND OPENING SPECIFICATIONS. TYPICAL - 1/8" NOMINAL 1/8"
3. ACoustics - SEE RECOMMENDATIONS OF ACOUSTIC REPORT.
4. CONTRACTOR TO CONSTRUCT AND CERTIFY THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHER PROOF. PER CBC CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
5. FINISH GRADES Varies - SEE CIVIL PLANS FOR FINAL GRADES AND SITE DRAINAGE
6. EXTERIOR WALLS WITH FLEES SHALL BE FIRE SEPARATION DISTANCE SHALL BE 1 HOUR RATED FROM BOTH SIDES. NOTIFY ARCHITECT IN THE EVENT OF SUCH AN OCCURRENCE.
7. PROVIDE BACKING FOR ALL EXTERIOR BALCONIES, CORBELS, BOVES, AND MISC. IRM.
8. ALL EXTERIOR PENETRATIONS SHALL INCORPORATE GUSK-FLASH OR EQ. AT M.E.P. TYP.
9. PROVIDE BACKING AT FESTIVE LIGHTING - REFER TO LSP DRAWINGS FOR FURTHER INFO.

SEALANT & FASTENERS NOTES

- DOOR FASTENER & SEALANT NOTES**
1. AT DOOR SILL PANEL FLASHING FASTENERS THROUGH THE HORIZONTAL PORTION OF THE FIN ARE PROHIBITED. FASTEN THROUGH DAMS ONLY.
- WINDOW FASTENER & SEALANT NOTES**
1. SECURE THE FULL PERIMETER WITH THE MINIMUM EQUAL DIST. OF 40" FASTENERS ON A MAXIMUM OF 400 MM (16") CENTERS USING PRE-PLACED HOLES, IF PROVIDED (HINGED) AND PROOF WINDOWS MAY REQUIRE ADDITIONAL FASTENERS LOCATED NEAR THE HINGE AND PIVOT POINTS. FOR CERTAIN WINDOWS IT MAY BE APPROPRIATE TO FASTEN THE HEAD RAIL MEMBER TO ALLOW FOR POSSIBLE MOVEMENT. IN ALL CASES FOLLOW THE MANUFACTURER'S INSTRUCTIONS FOR ANY SPECIAL PROCEDURES OR APPLICATIONS AND NO OTHER FASTENER PENETRATIONS ARE ALLOWED THROUGH THE WINDOW FLANGE.
 2. AVOID OVERDRIVING FASTENERS. USE AN APPROPRIATELY SIZED FASTENER TO COVER THE WIDTH OF ANY PRE-PLACED HOLES AND ADEQUATELY SECURE THE WINDOW TO THE STRUCTURE.
 3. IN EACH DIRECTION FROM ALL CORNERS THERE SHALL BE A FASTENER WITH 400 MM (16") BUT NO CLOSER THAN 15 MM (1/2") TO PREVENT FRAME DISTORTION OR FRACTURE OF JOINT SEAL.
 4. IF ANY DAMAGE TO WINDOW FRAME JOINT SEAL OR MOUNTING FLANGE IS OBSERVED DURING INSTALLATION, THE INSTALLER SHALL REPAIR IT OR CONSULT WITH THE MANUFACTURER.
 5. VERIFY THAT SEALANT IS COMPATIBLE WITH FLASHING MEMBRANE (SJM) AND WINDOW FRAME. DO NOT USE PLASTERERS WITH ASPHALT BASED FLASHING.



LEFT ELEVATION

BLDG. 1

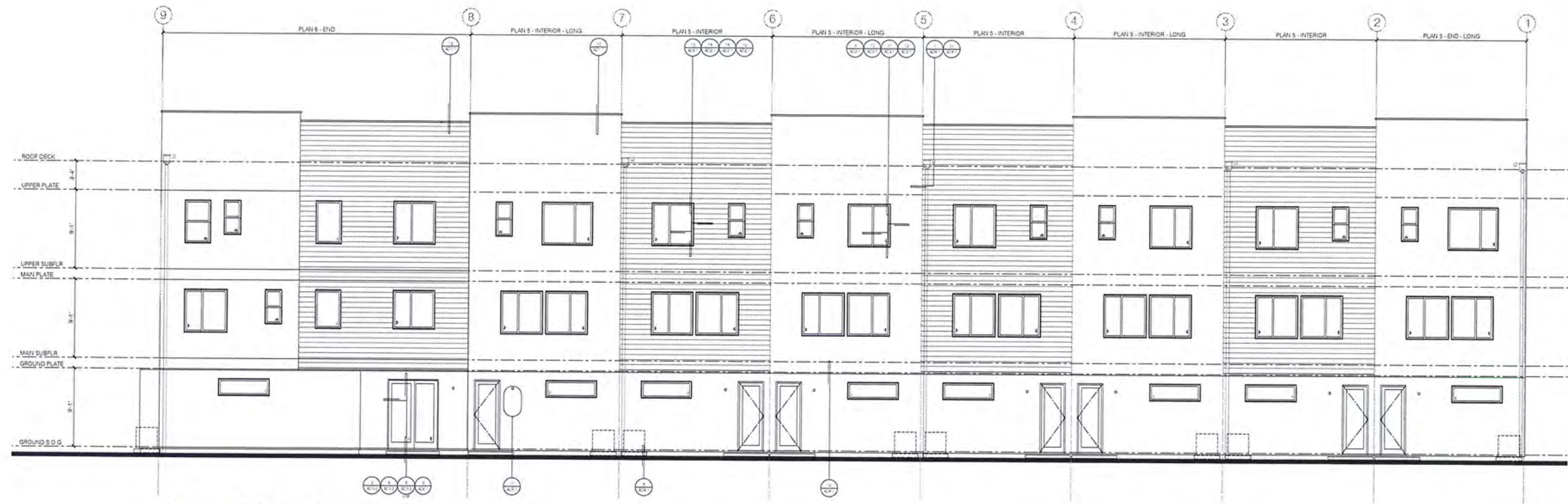
Revisions

No.	Date	Revision
1	00-00-2018	

Sheet Description

**BUILDING 1
EXTERIOR ELEVATIONS**

Scale	3/8" = 1'-0"
Drawn	RZ/AR/CK/AS
Checked	OH/RJ
Date	06-27-2018 PERMIT SUBMITTAL
Project#	317055



REAR ELEVATION

BLDG. 1

ELEVATION NOTES

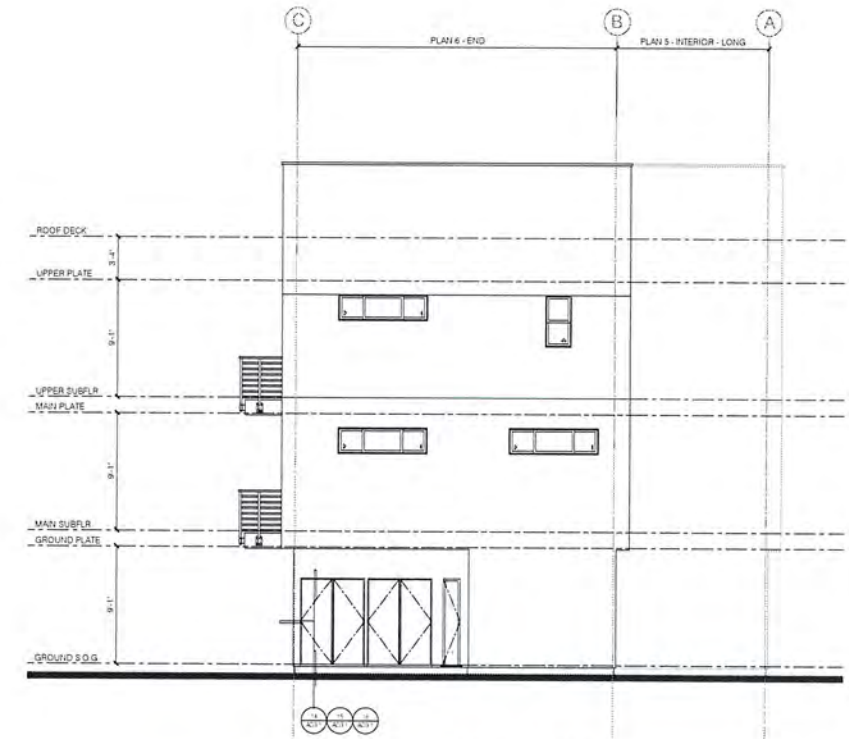
- DOOR AND WINDOWS**
- 1 FINISH WALL IN GYM CORING CAP
 - 2 USE OF ROOF DECK BEYOND
 - 3 GYM DOWNPOUTS & OVERFLOW SCUPPER. SEE MEP FOR DIMENSION. SEE ROOF PLAN FOR LOCATION.
 - 4 CLASS 4 48 HOUR COMPOSITION ROOF SHEET. SEE ROOF PLAN.
 - 5 GYM GUTTER THROUGH WALL SPILLWAY
 - 6
- 7 GARAGE DOORS SHALL BE A SECTIONAL ROLL-UP METAL DOOR BY SWAIN DALTON #800 SERIES OR APPROX. EQ.
 - 8 FIBERGLASS FRONT ENTRY DOOR
 - 9 METAL WETTER GARAGE DOORS
 - 10 DUAL GLAZED VINYL CLAD WINDOWS BY MILGARD STYL. LINE OR APPROX. EQ.
 - 11 DUAL GLAZED VINYL CLAD SLIDING GLASS DOOR
 - 12 DUAL GLAZED VINYL CLAD FRENCH DOOR
 - 13
 - 14
- MATERIALS**
- 15 3 COAT STUCCO APPLICATION W/ CONTROL JOINT AS INDICATED
 - 16 1/2" EXPOSURE SMOOTH LAP SIDING BY JAMES HARDIE OR EQUAL
 - 17 42" HIGH QUINACRYL AT BALCONY PARAPET SURFACES GREATER THAN 30" ABOVE GRADE PER CBC SECT. 1903.2
 - 18
 - 19
 - 20
 - 21
- MISCELLANEOUS**
- 22 WALL CEILING BEYOND
 - 23 ADDRESS SIGN W/ MINIMUM 4 HIGH x 6" WIDE NUMBERS PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. VERIFY LOCATION W/ LOCAL FIRE DEPARTMENT.
 - 24 0 SMALL SURFACE MOUNTED COMMON AREA LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION.
 - 24B 1 LARGE SURFACE MOUNTED COMMON AREA LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION.
 - 24C 2 SURFACE MOUNTED LIGHT FIXTURE. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION.
 - 25 WALL MOUNTED TYPE ABC (MAX. SIZE 2A) 1800 LB. FIRE EXTINGUISHER SEPARATED BY A MAX. TRAVEL DISTANCE OF 75'. VERIFY LOCATION WITH FIRE DEPT. TOP OF CABINET TO MOUNTED 18" IN 48" HIG. INSTALL SIGNAGE AND CABINET WITHIN 24" SEE LISTS 11 & 13 AND 1.
 - 26 SURFACE MOUNTED ROOF ACCESS LADDER - ALUM. SHAPING W/ SECURITY GR. OR APPROX. EQ.

ELEVATION GENERAL NOTES

- 1 EXTERIOR FINISHES REFER TO ROOF PLAN.
- 2 ALUM. OVERHEAD VEHICLES FOLLOW. VERIFY ACTUAL FINISHING HEIGHTS WITH SELECTED WINDOW MANUFACTURERS RUGH OPENING SPECIFICATIONS TYPICAL - 8" NOMINAL U/IN.
- 3 ACOUSTICS - SEE RECOMMENDATIONS OF ACOUSTIC REPORT.
- 4 CONTRACTOR TO CONSTRUCT AND VERIFY THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL FLASHED IN SUCH MANNER AS TO MAKE THEM WEATHERPROOF. PER CBC CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
- 5 FINISH GRADES VARY. SEE ON PLAN(S) FOR FINAL GRADES AND SITE DRAINAGE.
- 6 EXTERIOR WALLS WITH LESS THAN 1/2" FIRE SEPARATION DISTANCE SHALL BE 1 HOUR RATED FROM BOTH SIDES, NOTIFY ARCHITECT IN THE EVENT OF SUCH AN OCCURRENCE.
- 7 PROVIDE BACKING FOR ALL EXTERIOR BALCONIES, CORBLES, BONES, APRONS, TRIM.
- 8 ALL EXTERIOR PENETRATIONS SHALL INCORPORATE GASKET FLASHING EQ. AT M.E.P. TYP.
- 9 PROVIDE BACKING AT FESTIVE LIGHTING. REFER TO LISP DRAWINGS FOR FURTHER INFO.

SEALANT & FASTENERS NOTES

- DOOR FASER & SEALANT NOTES**
- 1 AT DOOR SILL PAN FLASHING, FASTENERS THROUGH THE HORIZONTAL PORTION OF THE PAN ARE PROHIBITED. FASTEN THROUGH THE UPRIGHT DAMB ONLY.
- WINDOW FASTER & SEALANT NOTES**
- 1 SECURE THE FULL PERIMETER WITH THE MINIMUM EQUIVALENT OF 4D FASTENERS ON A MAXIMUM OF 80 MM ON 200 CENTER USING PRE-PUNCHED HOLES, IF PROVIDED. HINGED AND POIST OPERATORS MAY REQUIRE ADDITIONAL FASTENERS LOCATED NEAR THE HINGE AND POIST POINTS. FOR CERTAIN WINDOWS IT MAY BE APPROPRIATE TO FASTEN THE HEAD IN A MANNER TO ALLOW FOR POSSIBLE MOVEMENT. IN ALL CASES FOLLOW THE MANUFACTURERS INSTRUCTIONS FOR ANY SPECIAL PROCEDURES OR APPLICATIONS AND NO OTHER FASTENER PRE INSTALLATIONS ARE ALLOWED THROUGH THE WINDOW FLANGE.
 - 2 PROVIDE OVERSHOOT FASTENERS USE AN APPROPRIATELY VIBRATED FASTENER TO COVER THE WIDTH OF ANY PRE-PUNCHED HOLE AND ADEQUATELY SECURE THE WINDOW TO THE STRUCTURE.
 - 3 IN EACH DIRECTION FROM ALL CORNERS THERE SHALL BE A FASTENER WITHIN 200 MM (8") TO BUT NO CLOSER THAN 75 MM (3") TO PREVENT FRAME DISTORTION OR FRACTURE OF JOINT SEAL.
 - 4 IF ANY DAMAGE TO WINDOW FRAME, JOINT SEAL OR MOUNTING FLANGES IS OBSERVED DURING INSTALLATION, THE INSTALLER SHALL REPAIR IT OR CONSULT WITH THE MANUFACTURER. VERIFY THAT SEALANT IS COMPATIBLE WITH FLASHING MATERIALS. CLEAN AND WINDOW FRAME. DO NOT USE PLASTER OVER WITH ASPHALT BASED FLASHING.
 - 5



RIGHT ELEVATION

BLDG. 1

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Revisions

No.	Date	Revision
1	08-08-2018	

Sheet Description:

BUILDING 1
 EXTERIOR ELEVATIONS

Scale	3/16" = 1'-0"
Drawn	BJ/HR CK AS
Checked	CH RJ
Date	06-27-2018 PERMIT SUBMITTAL
Project#	317055

ELEVATION NOTES

- ROOF**
- 1 PARAPET WALL W/ GOM CORING CAP
 - 2 LINE OF ROOF DECK BEYOND
 - 3 GOM DOWNPOUTS & DRAIN LOW SCOPPER SEE MFP FOR DIMENSION, SEE ROOF PLAN FOR LOCATION
 - 4 CLASS 3 40 YEAR COMPOSITION ROOF SHINGLES, SEE ROOF PLAN
 - 5 GOM GUTTER THROUGH S/WELWAY

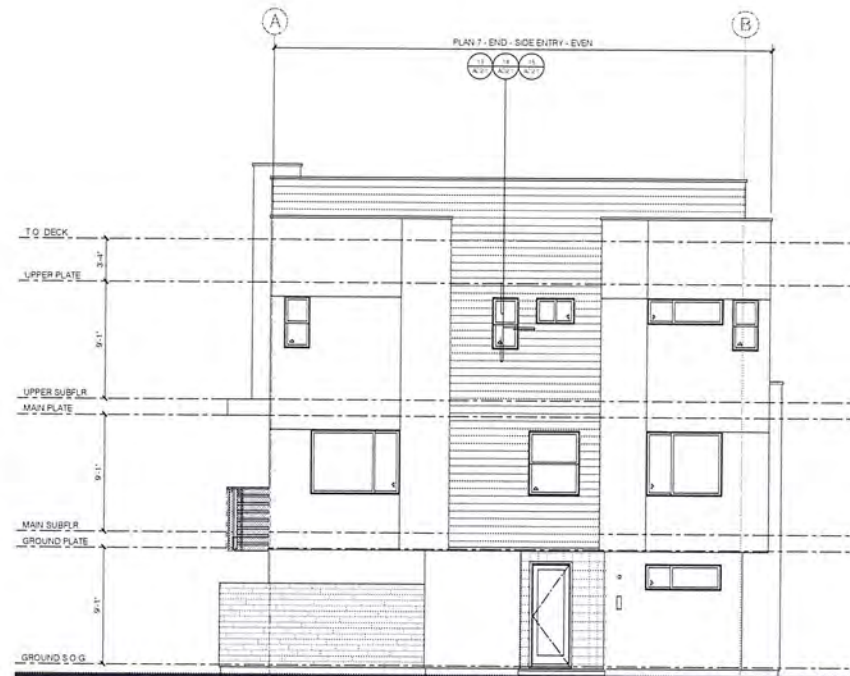
- DOORS AND WINDOWS**
- 7 GARAGE DOORS SHALL BE A SECTIONAL ROLL-UP METAL DOOR BY WYMAN DALTON (WH) SERIES OR APPROVED EQ.
 - 8 FIRE-RATED FRONT ENTRY DOOR
 - 9 METAL METEOR CHALET DOORS
 - 10 DUAL GLAZED VINYL CLAD WINDOWS BY MILGARD STYLE LINE OR APPROVED EQ.
 - 11 DUAL GLAZED VINYL CLAD SLIDING GLASS DOOR
 - 12 DUAL GLAZED VINYL CLAD FRENCH DOOR
 - 13
 - 14

- MATERIALS**
- 15 3 COAT STUCCO APPLICATION W/ CONTROL JOINT AS INDICATED
 - 16 (7) EXPOSURE SMOOTH LAP SIDING BY JAMES HARDIE OR EQUAL
 - 17 (2) HIGH QUALITY BALCONY PATIO SURFACES GREATER THAN UP ABOVE GRADE PER CBC SECTION 19032
 - 18
 - 19
 - 20
 - 21

- MISCELLANEOUS**
- 22 WALL CEILING FINISH
 - 23 ADDRESS SIGN W/ MINIMUM 4" HIGH x 1/2" WIDE NUMBERS PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. VERIFY LOCATION W/ LOCAL FIRE DEPARTMENT
 - 24 (1) SMALL SURFACE MOUNTED COMMON AREA LIGHT FIXTURE PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
 - 25 (2) LARGE SURFACE MOUNTED COMMON AREA LIGHT FIXTURE PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
 - 26 (1) SURFACE MOUNTED LIGHT FIXTURE. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
 - 27 WALL MOUNTED TYPE ABC MIN. SIZE 2A 100(3) FIRE EXTINGUISHER SEPARATED BY A MAX. TRAVEL DISTANCE OF 75'. VERIFY LOCATION WITH FIRE DEPT. TOP OF CABINET TO MOUNTED STATIONARY FIRE EXTINGUISHER 48" CLEARANCE FROM 22" DIA. SEE DET. 11 & 11A (LAD-1)
 - 28 SURFACE MOUNTED ROOF ACCESS LADDER - ALACO SAFEPAC SECURITY OR APPROVED EQ.

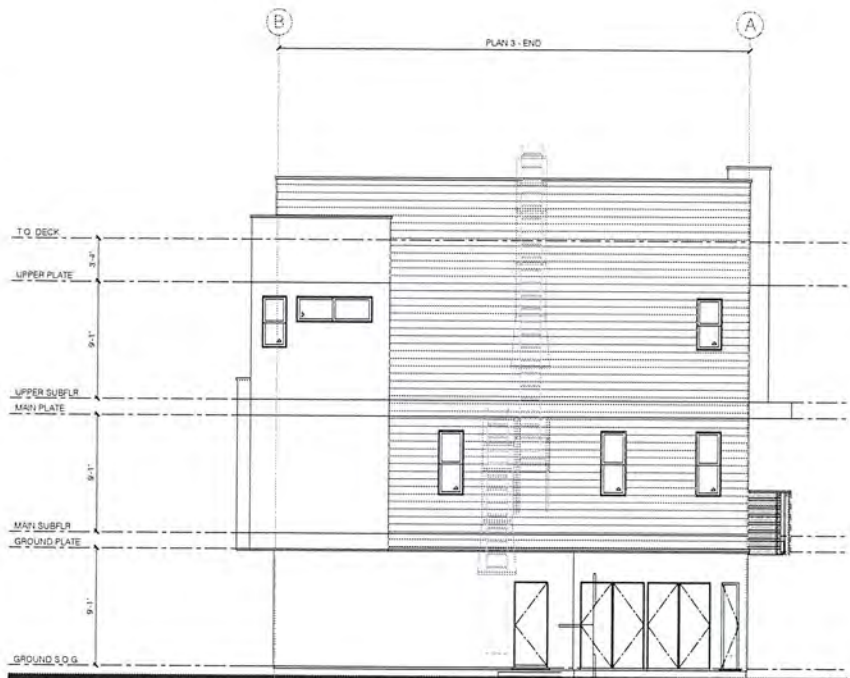
- ELEVATION GENERAL NOTES**
- 1 FOR ROOF PITCHES REFER TO ROOF PLAN
 - 2 ALIGN WINDOW HEADS AS FOLLOWS. VERIFY ACTUAL FINISHING HEIGHTS WITH SELECTED WINDOW MANUFACTURERS ROLLUP OPENING SPECIFICATIONS (TYPICAL 1/4" NORMAL GUT) 3 ACQUITIES SEE RECOMMENDATIONS OF ACCESS TO ROOFPOINT
 - 3 CONTRACTOR TO CONTRACT AND VERIFY THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHER PROOF PER CBC
 - 4 CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
 - 5 FINISH GRADES Varies - SEE CIVIL PLANS FOR FINAL GRADES AND SITE DRAINAGE
 - 6 EXTERIOR WALLS WITH LESS THAN 10' FIRE SEPARATION DISTANCE SHALL BE RATED FROM BOTTOM EDGE, NOTY APPLICABLE TO THE EVENT OF SUCH AN OCCURRENCE
 - 7 PROVIDE BACKINGS FOR ALL EXTERIOR BALCONIES, CORBLES, BOULE AND MISC. TRIM
 - 8 ALL EXTERIOR PENETRATIONS SHALL INCORPORATE QUICK FLASH (REQ. AT M.F.P. TYP
 - 9 PROVIDE BACKINGS AT FESTIVE LIGHTING - REFER TO USDP DRAWINGS FOR FURTHER INFO

- SEALANT & FASTENERS NOTES**
- DOOR FASTENERS & SEALANT NOTES**
- 1 AT DOOR SILL PROVIDE FLASHING FASTENERS THROUGH THE HORIZONTAL PORTION OF THE PANEL. PROVIDE FASTENERS THROUGH SILL DAM ONLY
- WINDOW FASTENERS & SEALANT NOTES**
- 1 SECURE THE FULL PERIMETER WITH THE MINIMUM EQUIVALENT OF 4D FASTENERS ON A MAXIMUM OF 48" BETWEEN CONTIGUOUS PUNCHED HOLES. IF PROVIDED, HINGED AND PIVOT WINDOWS MAY REQUIRE ADDITIONAL FASTENERS LOCATED NEAR THE HINGE AND PIVOT POINTS. FOR CLEARANCE WINDOWS IT MAY BE APPROPRIATE TO FASTEN THE HEAD IN A MANNER TO ALLOW FOR POSSIBLE MOVEMENT. ALWAYS FOLLOW THE MANUFACTURERS INSTRUCTIONS FOR ANY SPECIAL PROCEDURES OR APPLICATIONS AND NO OTHER FASTENERS PERMITS ARE ALLOWED THROUGH THE WINDOW FRAME.
 - 2 AVOID OVERDRIVING FASTENERS. USE AN APPROPRIATELY SIZED FASTENER TO COVER THE WIDTH OF ANY PUNCHED HOLE AND ADEQUATELY SECURE THE WINDOW TO THE STRUCTURE.
 - 3 IN EACH DIRECTION FROM ALL CORNERS THERE SHALL BE A FASTENER WITH 150 MM MIN. BUT NOT CLOSER THAN 15 MM TO PREVENT FRAME DISTORTION OR FRACTURE OF JOINT SEALS.
 - 4 IF ANY DAMAGE TO WINDOW FRAME, JOINT SEAL OR MOUNTING FLANGE IS OBSERVED DURING INSTALLATION, THE INSTALLER SHALL REPAIR OR CONSULT WITH THE MANUFACTURER.
 - 5 VERIFY THAT SEALANT IS COMPATIBLE WITH FLASHING MEMBRANE (GSM) AND WINDOW FRAME. DO NOT USE PLASTICERS WITH ASPHALT BASED FLASHING.



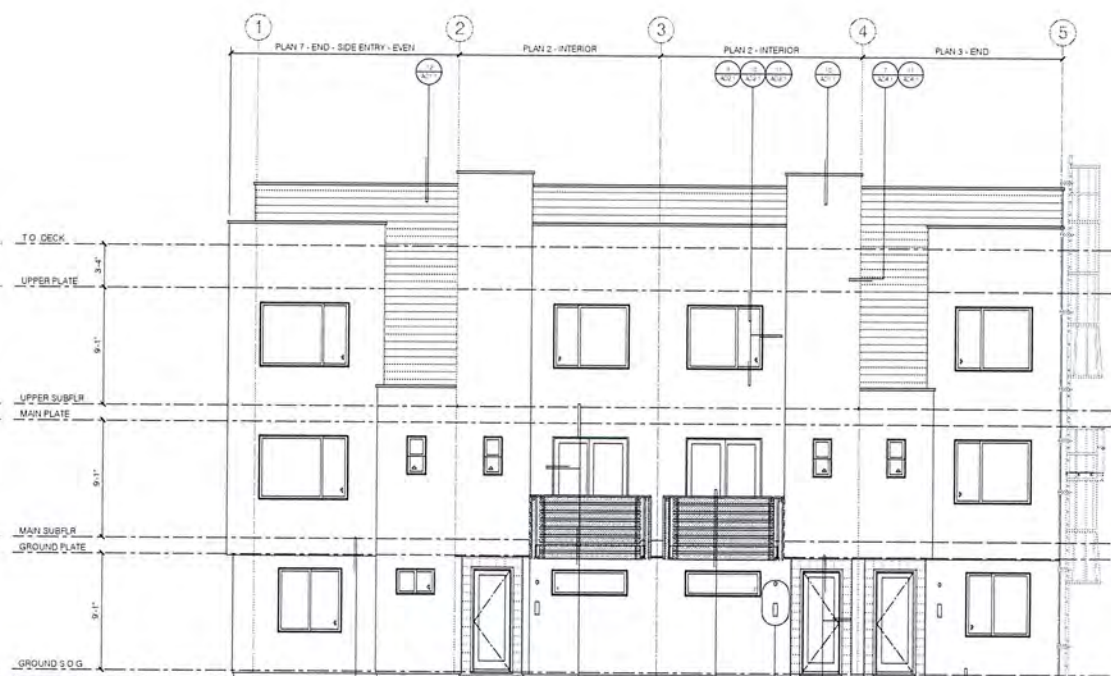
LEFT ELEVATION

BLDG. 2



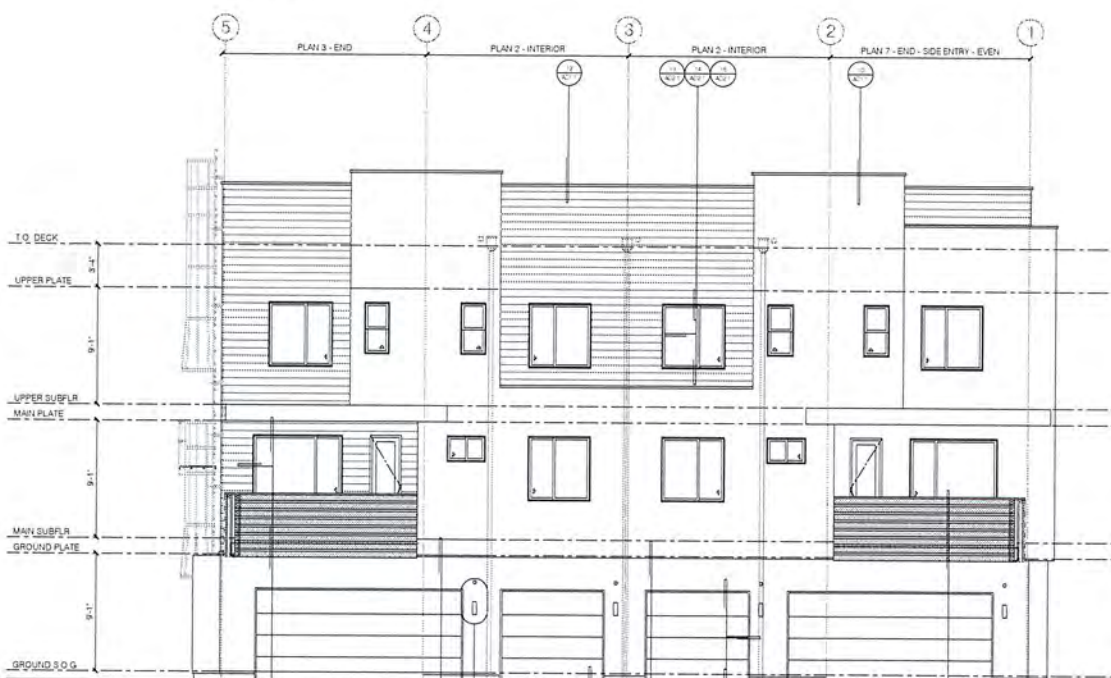
RIGHT ELEVATION

BLDG. 2



FRONT ELEVATION

BLDG. 2



REAR ELEVATION

BLDG. 2



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Revisions

No.	Date	Revision
1	06-09-2018	

Sheet Description

BUILDING 2
EXTERIOR ELEVATIONS

Scale	3/8" = 1'-0"
Drawn	RJ/RJ/CK-AS
Checked	DH/RJ
Date	06-27-2018 PERMIT SUBMITTAL
Project#	317055

ELEVATION NOTES

- ROOF**
1. PARAPET WALL WITH GUM COPING CURB
 2. LINE OF ROOF DECK BEYOND
 3. GUM DOWNSPOUTS & DOWNDRAUGHT SCUPPER SEE MEFP FOR DIMENSIONS. SEE ROOF PLAN FOR LOCATIONS
 4. CLASS A 48 YEAR COMPOSITION ROOF SHAKES. SEE ROOF PLAN
 5. GUM GUTTER TROUGH WITH SPILLWAY

DOORS AND WINDOWS

7. GARAGE DOORS SHALL BE A RECTORAL ROLL-UP (METAL) DOOR BY SWAYE DALTON WITH SERIES OR APPROVED EQ.
8. FIRE RATED FRONT ENTRY DOOR
9. METAL METEOR CABINET DOORS
10. DUAL GLAZED VINYL CLAD WINDOWS BY MILDARD STYLE LINE OR APPROVED EQ.
11. DUAL GLAZED VINYL CLAD SLIDING GLASS DOOR
12. DUAL GLAZED VINYL CLAD FRENCH DOOR
- 13.
- 14.

MATERIALS

15. JOINT STUCCO APPLICATIONS: CONTROL JOINT AS REQUIRED
16. (7) EXPOSURE SMOOTH LAP SIDING BY JAMES HARDIE OR EQUAL
17. 1/2" HIGH QUARTZITE AT BALCONY PATIO SURFACES GREATER THAN 30" ABOVE GRADE PER CBC SECT. 0902
- 18.
- 19.
- 20.
- 21.

MISCELLANEOUS

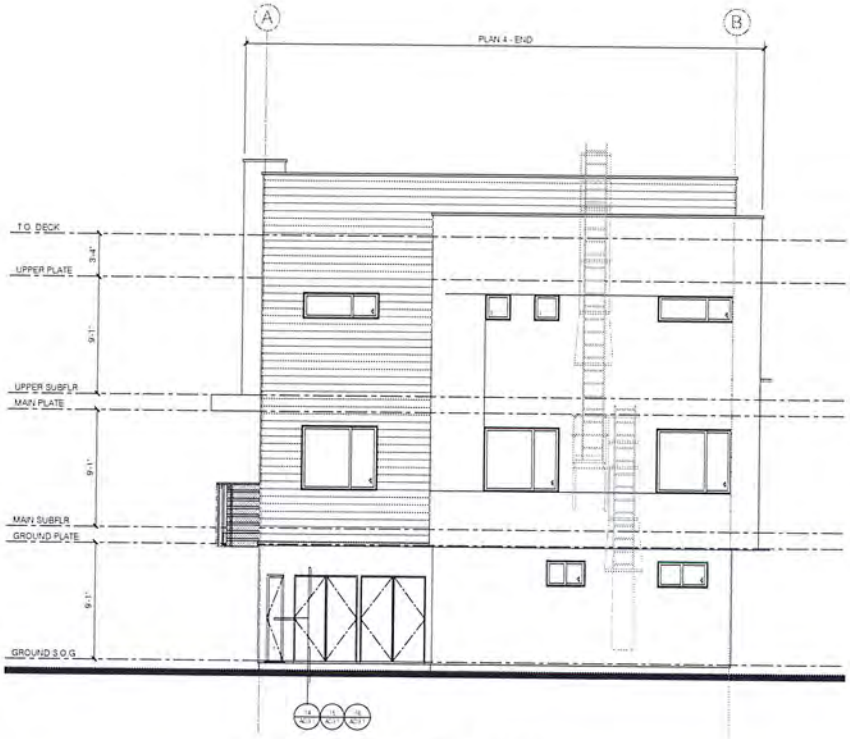
22. WALL CEILING BEYOND
23. ADDRESS SIGN WITH MINIMUM 4" HIGH 1" WIDE NUMBERS. VEN COLOR BOOKLET BY AT DESIGN CONSULTANTS. VERIFY LOCATION WITH LOCAL FIRE DEPARTMENT
24. SMALL SURFACE MOUNTED COMPACT FLUORESCENT LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
25. LARGE SURFACE MOUNTED COMPACT FLUORESCENT LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
26. SURFACE MOUNTED LIGHT FIXTURE. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
27. WALL MOUNTED TYPE ABC 2 1/2 A BIRCO FIRE EXTINGUISHER SEPARATED BY A MAX. TRAVEL DISTANCE OF 75'. VERIFY LOCATIONS WITH FIRE DEPT. TOP OF CABINET TO MOUNTED STATION 48" MIN. INSTALL STORAGE AND CABINET STATION 27-48". SEE DET. 11 & 13 AD-1
28. SURFACE MOUNTED ROOF ACCESS LADDER - ALACOD 3/4" PINNAC SECURITY OR APPROVED EQ.

ELEVATION GENERAL NOTES

1. FOR ROOF FINISHES. REFER TO ROOF PLAN
2. ALONG WINDOW HEADS AS FOLLOWS. VERIFY ACTUAL FRAMING HEIGHTS WITH SELECTED WINDOW MANUFACTURERS. VERIFY ACTUAL WINDOW SIZES WITH SELECTED WINDOW MANUFACTURERS. TYPICAL 1/8" TOLERANCE UP/DN
3. ACOUSTICS - SEE RECOMMENDATIONS OF ACOUSTIC REPORT.
4. CONTRACTOR TO CONSTRUCT AND CERTIFY THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF. PER CBC
5. CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
6. FINISH GRADES VARY - SEE CIVIL PLANS FOR FINAL GRADES AND SITE DRAINAGE
7. EXTERIOR WALLS WITH LESS THAN 10' FIRE SEPARATION DISTANCE SHALL BE 4 HOUR RATED FROM BOTH SIDES. VERIFY ARCHITECT IN THE EVENT OF SUCH AN OCCURRENCE
8. PROVIDE BACKING FOR ALL EXTERIOR BALCONIES, CORBELS, BOXES, AND MISCELLANEOUS TRIM
9. ALL EXTERIOR PENETRATIONS SHALL INCORPORATE QUICK-FLASH OR EQ. AT M.E.P. TOP
10. PROVIDE BACKING AT FESTIVE LIGHTING - REFER TO LESP DRAWINGS FOR FURTHER INFO.

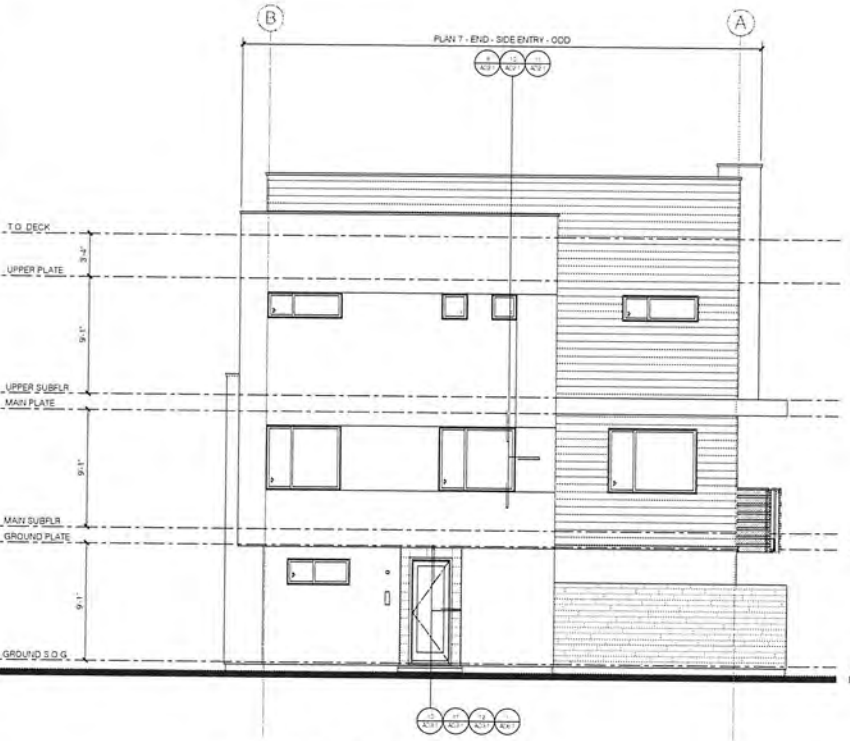
SEALANT & FASTENERS NOTES

- DOOR FASTENERS & SEALANT NOTES**
1. AT DOOR SILL FLASHING, FASTENERS THROUGH THE HORIZONTAL PORTION OF THE FLASHING ARE PROHIBITED. FASTEN THROUGH VERTICAL FLASHING ONLY
- WINDOW FASTENERS & SEALANT NOTES**
1. SECURE THE FULL PERIMETER WITH THE MINIMUM EQUIVALENT OF 40 FASTENERS ON A MAXIMUM OF 800 MM (31.5") BETWEEN CENTERS USING THE PUNCHED HOLES. IF PROVIDED. HINGED AND PROPT WINDOWS MAY REQUIRE ADDITIONAL FASTENERS LOCATED NEAR THE HINGE AND PROPT POINTS. FOR CERTAIN WINDOWS IT MAY BE APPROPRIATE TO FASTEN THE HEAD IN A MANNER TO ALLOW FOR POSSIBLE MOVEMENT. IN ALL CASES FOLLOW THE MANUFACTURER'S INSTRUCTIONS FOR ANY SPECIAL PROCEDURES OR APPLICATIONS AND NO OTHER FASTENER PENETRATIONS ARE ALLOWED THROUGH THE WINDOW FLANGE.
 2. AVOID OVERDRIVING FASTENERS. USE AN APPROPRIATELY SIZED FASTENER TO COVER THE WINDOW AND PREPUNCHED HOLES. USE ADEQUATELY SECURE THE WINDOW TO THE STRUCTURE.
 3. REACH TO THE CORNER FROM ALL CORNERS THERE SHALL BE A FASTENER WITHIN 250 MM (10") BUT NO CLOSER THAN 75 MM (3") TO THE PREPUNCHED FRAME. INSPECTOR OR STRUCTURE OF JOINT SEALS.
 4. IF ANY DAMAGE TO WINDOW FRAME, JOINT SEAL OR MOUNTING FLANGE IS OBSERVED DURING INSTALLATION, THE INSTALLER SHALL REPAIR IT OR CONSULT WITH THE MANUFACTURER.
 5. VERIFY THAT SEALANT IS COMPATIBLE WITH FLASHING MEMBRANE (GSM) AND WINDOW FRAME. DO NOT USE PLASTICERS WITH ASPHALT BASED FLASHING.



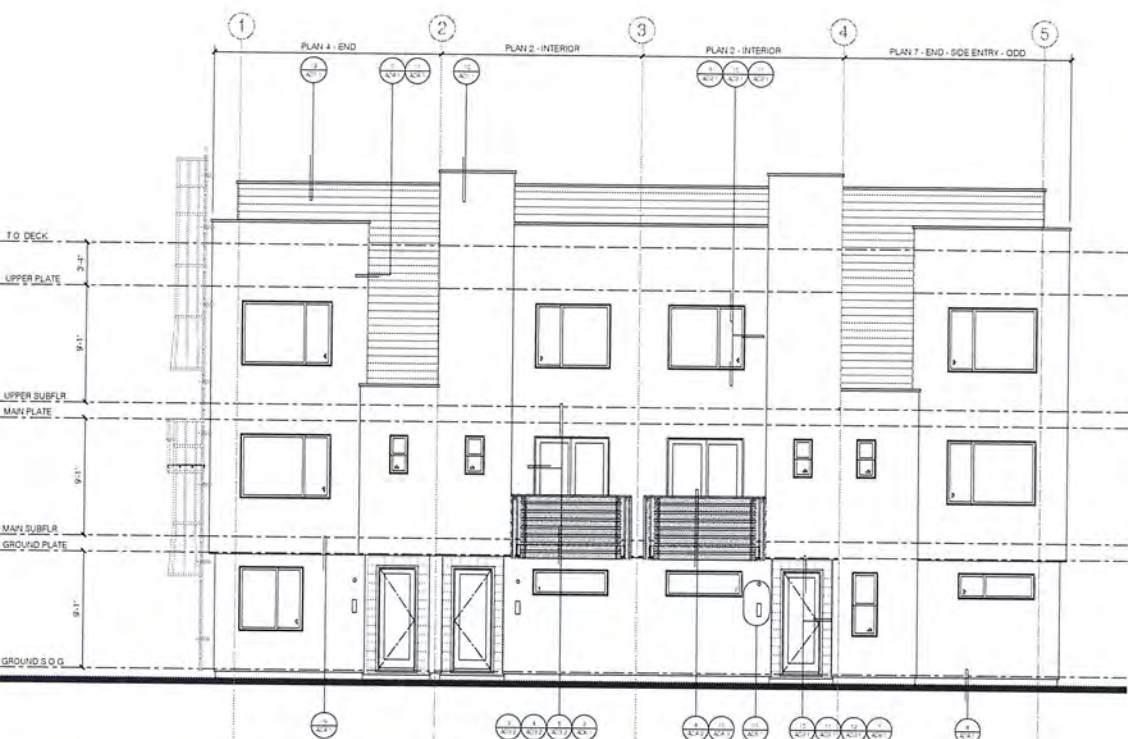
LEFT ELEVATION

BLDG. 3



RIGHT ELEVATION

BLDG. 3



FRONT ELEVATION

BLDG. 3



REAR ELEVATION

BLDG. 3



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APN# 033-2149-016-01 033-2149-016-02 & 033-2170-003-00

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Revisions

No.	Date	Revision
1	06-09-2014	

Sheet Description

BUILDING 3
EXTERIOR ELEVATIONS

Scale	3/16" = 1'-0"
Drawn	RJR/CH-AS
Checked	CH-RJ
Date	06-27-2014 PERMIT SUBMITTAL
Project#	317055

ELEVATION NOTES

ROOF

1. FINISH: 1/2" GYM CORRUGATED CAP
2. LINE OF ROOF DECK BEYOND
3. GOMECORROSIONS & OVERFLOW SCUMPER. REF. MEYER DIMENSION. SEE ROOF PLAN FOR LOCATION
4. CLASS A 48" RIB COMPOSITION ROOF SHAKLES. SEE ROOF PLAN
5. GOM GUTTER THROUGH SPILLWAY
- 6.

DOORS AND WINDOWS

7. GARAGE DOORS SHALL BE A SECTIONAL ROLL-UP METAL DOOR BY WAYNE DALE TONHOFF SERIES OR APPROVED EQ.
8. FIRE-RATED FRONT ENTRY DOOR
9. METAL METER CABINET LOCATED
10. DUAL GLAZED VINYL CLAD WINDOWS BY MILDARD STYLE LINE OR APPROVED EQ.
11. DUAL GLAZED VINYL CLAD SLIDING GLASS DOOR
12. DUAL GLAZED VINYL CLAD FRENCH DOOR
- 13.
- 14.

MATERIALS

15. 3 COAT STUCCO APPLICATION. CONTROL JOINT AS INDICATED
16. (7) EXPOSURE 5 SMOOTH LAP SIDING BY JAMES HARDIE OR EQUAL
17. 40" HIGH GUARDRAIL AT BALCONY RATIO SURFACES GREATER THAN 30" ABOVE GRADE PER CODE. 1x4x2
- 18.
- 19.
- 20.
- 21.

MISCELLANEOUS

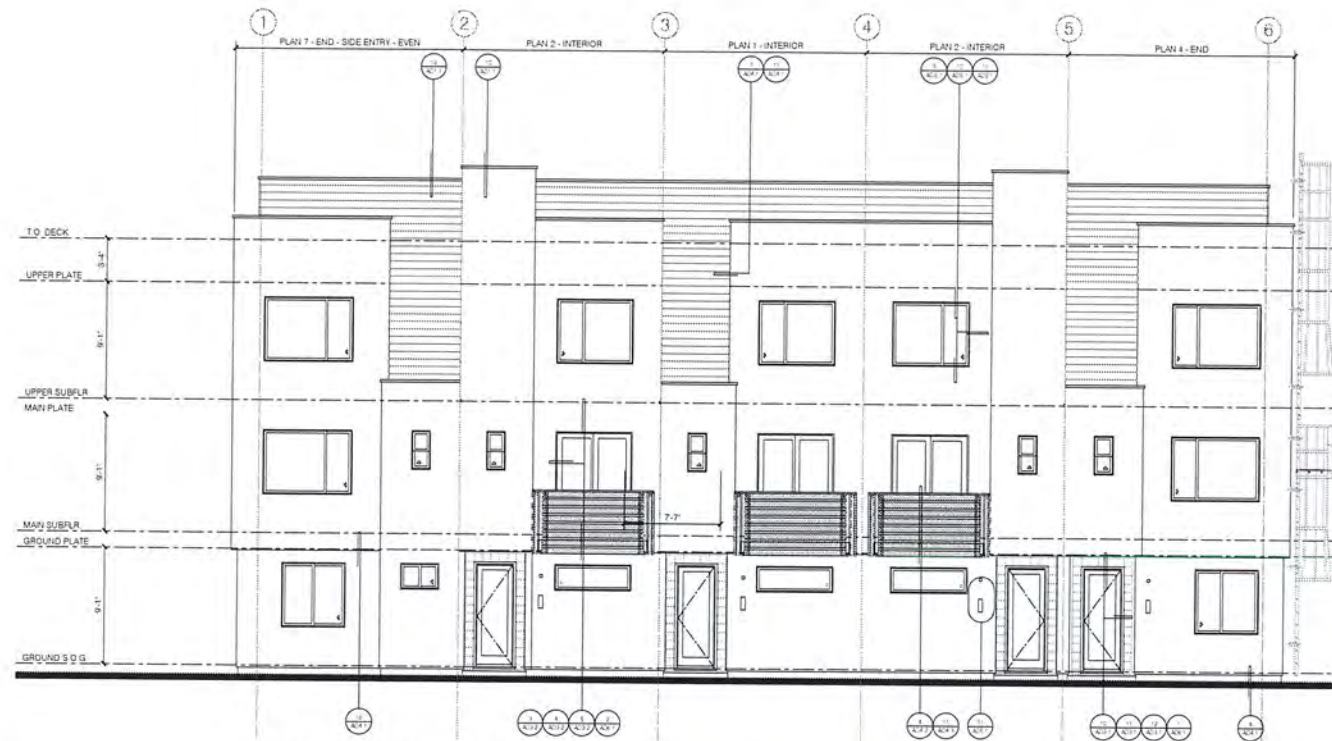
22. WALL CEILING BEYOND
23. ADDRESS SIGN (A) MINIMUM 4" HIGH x 30" WIDE NUMBERS. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. VERIFY LOCATION @ LOCAL FIRE DEPARTMENT
24. (1) SMALL SURFACE MOUNTED COMMON AREA LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 24B. (1) LARGE SURFACE MOUNTED COMMON AREA LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 24C. (1) SURFACE MOUNTED UNIT LIGHT FIXTURE. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
25. WALL MOUNTED TYPE ABC 150 LB 2 1/2" HIGH FIRE EXTINGUISHER SEPARATED BY A MAX. TRAVEL DISTANCE OF 75'. VERIFY LOCATIONS WITH FIRE DEPT. TOP OF CABINET TO MOUNTED STATION 48" HIGH. INSTALL STORAGE BIN CABINET 24" HIGH. SEE DET. 11 & 13 ADJ. 1
26. SURFACE MOUNTED ROOF ACCESS LADDER. ALACO 564-PRPC 26 SECURITY. OR APPROVED EQ.

ELEVATION GENERAL NOTES

1. FOR ROOF FINISHES, REFER TO ROOF PLAN
2. ALUMINUM HEADS AS FOLLOWS. VERIFY ACTUAL FINISHING HEIGHTS WITH SELECTED WINDOW MANUFACTURER'S FINISHING SPECIFICATIONS. TYPICAL - 4" @ 1/2" MINIMUM TO 1/8"
3. ACoustics - SEE "RECOMMENDATIONS OF ACOUSTIC MECHANIC"
4. CONTRACTOR TO CONSTRUCT AND VERIFY THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF. PER CBC
5. CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
6. FINISH GRADES VARY - SEE CIVIL PLANS FOR FINAL GRADES AND SITE DRAINAGE
7. EXTERIOR WALLS WITH LESS THAN A 10' FIRE SEPARATION DISTANCE SHALL BE 1-HOUR RATED FROM BOTH SIDES. 1x4x2 REQUIRED IN THE EVENT OF SUCH AN OCCURRENCE
8. PROVIDE BACKING FOR ALL EXTERIOR BALCONY CORBELS, BOXES, RECESSED BAY
9. ALL EXTERIOR PENETRATIONS SHALL INCORPORATE QUICK-FLASH OR EQ. AT M.F.P. TOP
10. PROVIDE BACKING AT FESTIVE LIGHTING - REFER TO LISP DRAWINGS FOR FURTHER INFO

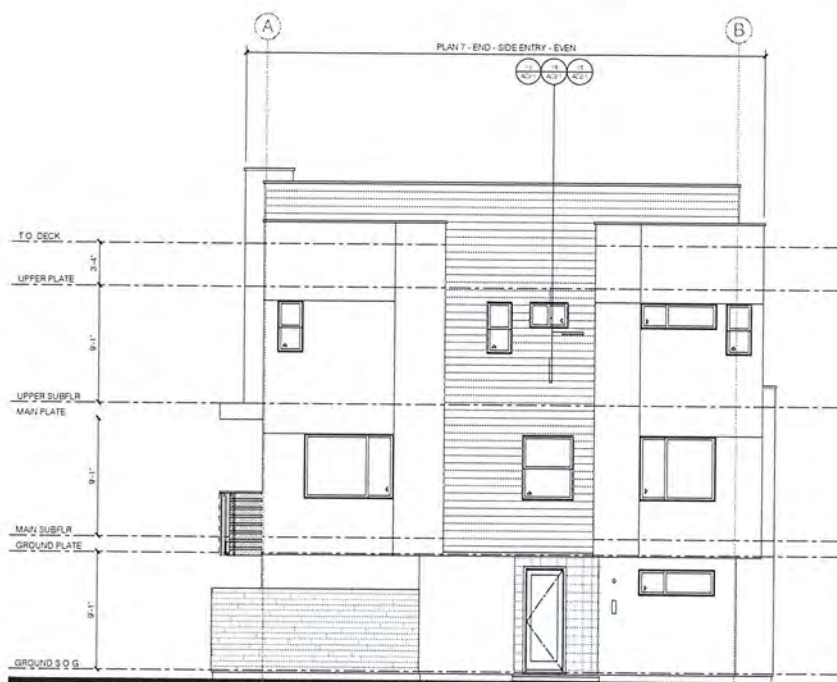
SEALANT & FASTENERS NOTES

- DOOR FASTENERS & SEALANT NOTES**
1. AT DOOR SILL FLASHING, FASTENERS THROUGH THE HORIZONTAL PORTION OF THE PAN ARE PROHIBITED. FASTEN THROUGH THE VERTICAL ONLY
- WINDOW FASTENERS & SEALANT NOTES**
1. SECURE THE FULL PERIMETER WITH THE MINIMUM EQUIVALENT OF 40 FASTENERS ON A MAXIMUM OF 800 MM (31.5") CENTERS USING THE PROPOSED HOLES. IF PROVIDED 1/2" DIA AND PUCH WINDOWS MAY REQUIRE ADDITIONAL FASTENERS LOCATED NEAR THE HINGE AND PUCH POINTS. FOR CERTAIN WINDOWS IT MAY BE APPROPRIATE TO FASTEN THE HEAD FLASHING MANNER TO ALLOW FOR POSSIBLE MOVEMENT. SHALL CHECK COLOR THE MANUFACTURER'S INSTRUCTIONS FOR ANY SPECIAL PROCEDURES OR APPLICATIONS AND NO OTHER FASTENER TYPE PROVIDED ARE ALLOWED THROUGH THE WINDOW FLANGE
 2. AVOID OVERDRIVING FASTENERS. USE AN APPROPRIATELY SIZED FASTENER TO COVER THE WIDTH OF ANY PRE-PUNCHED HOLE AND ADEQUATELY SECURE THE WINDOW TO THE STRUCTURE
 3. IN EACH DIRECTION FROM ALL CORNERS THERE SHALL BE A FASTENER WITHIN 250 MM (10") BUT NO CLOSER THAN 75 MM (3") TO PREVENT FRAME DISTORTION OR FRACTURE OF JOINT SEALS
 4. IF ANY DAMAGE TO WINDOW FRAME, JOINT SEAL, OR MOUNTING FLANGES IS OBSERVED DURING INSTALLATION, THE INSTALLER SHALL REPAIR OR CORRECT WITH THE MANUFACTURER
 5. VERIFY THAT SEALANT IS COMPATIBLE WITH FLASHING MEMBRANE, STAIN AND WINDOW FRAME. DO NOT USE PLASTICERS WITH ASPHALT BASED FLASHING.



FRONT ELEVATION

BLDG. 4



LEFT ELEVATION

BLDG. 4



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Revisions:

No.	Date	Revision
1	08-09-2018	

Sheet Description:

BUILDING 4
EXTERIOR ELEVATIONS

Scale	3/16" = 1'-0"
Drawn	RJ/RK/AS
Checked	DH/RJ
Date	08-27-2018 PERMIT SUBMITTAL
Project#	317055

ELEVATION NOTES

- ROOF**
1. PARAPET WALL IS GPM COVERING CAP
 2. LINE OF ROOF DECK BEYOND
 3. GPM DOWNSPUTS & OVERFLOW SCUPPER. SEE MEP FOR DIMENSION. SEE ROOF PLAN FOR LOCATIONS
 4. CLASS A INSULATION COMPOSITION ROOF SYSTEMS. SEE ROOF PLAN
 5. GPM GUTTER THROUGH SLEEVES
 - 6.

- DOOR & WINDOW NOTES**
7. GARAGE DOORS SHALL BE A SECTIONAL ROLL-UP (METAL) DOOR BY BAYNE (ALUMINUM) SERIES OR APPROVED EQ.
 8. FIREGLASS FRONT ENTRY DOOR
 9. METAL W/ TYPICAL CABINET DOORS
 10. DUAL GLAZED VINYL CLAD ANEWAS BY MILGARD STYLE LINE OR APPROVED EQ.
 11. DUAL GLAZED VINYL CLAD SLIDING GLASS DOOR
 12. DUAL GLAZED VINYL CLAD FRENCH DOOR
 - 13.
 - 14.

- MATERIALS**
15. 3 COAT STUCCO APPLICATION W/ CONTROL JOINT AS INDICATED
 16. 1/2" EXPOSURE SMOOTH LAP SIDING BY JAMES HARDIE OR EQUAL
 17. 4" HIGH GUARDRAIL AT BALCONY RAILS SURFACES GREATER THAN 4' ABOVE GRADE PER CBC SECT. 10312
 - 18.
 - 19.
 - 20.
 - 21.

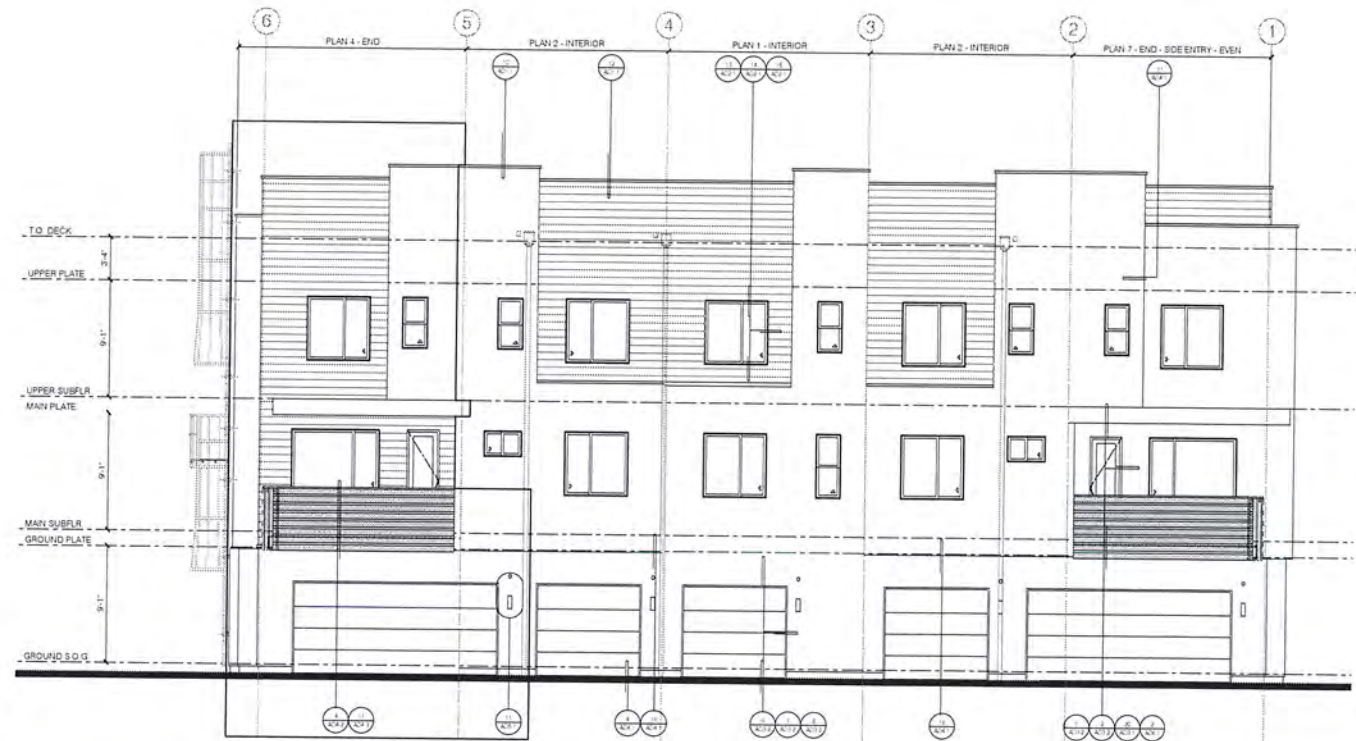
- MISCELLANEOUS**
22. WALL CEILING BEYOND
 23. ADDRESS SIGN A MINIMUM 4" HIGH x 1/2" WIDE NUMBERS PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. VERIFY LOCATION W/ LOCAL FIRE DEPARTMENT
 24. ○ SMALL SURFACE MOUNTED COMMON AREA LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
 25. ■ LARGE SURFACE MOUNTED COMMON AREA LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
 26. ▲ SURFACE MOUNTED UNIT LIGHT FIXTURE. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
 27. WALL MOUNTED TYPE ABC 200A SIZE 2A 1800 FIRE EXTINGUISHER SEPARATED BY A MAX. TRAVEL DISTANCE OF 75'. VERIFY LOCATIONS WITH FIRE DEPT. TOP OF CABINET TO MOUNTED 650N 48" HIG. METAL STORAGE CABINET WITH 17" HIG. SEE DETS. 11 & 13 AND 1
 28. SURFACE MOUNTED ROOF ACCESS LADDER. AIAACO 344RPP100 SECURITY DR. OR APPROVED EQ.

ELEVATION GENERAL NOTES

1. FOR ROOF PROFILES, REFER TO ROOF PLAN
2. ALSO WINDOW HEADS AS FOLLOWS: VERIFY ACTUAL FINISHING HEIGHTS WITH SELECTED WINDOW MANUFACTURERS ROKKOR OPENING SPECIFICATIONS
TYPICAL - 2" OF NORMAL U.O.D.
3. ACQUISITION - SEE RECOMMENDATIONS OF ACOUSTIC W/ P/ O/ N.
4. CONTRACTOR TO CONSTRUCT AND VERIFY THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHER PROOF. PER CBC
5. CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
6. FINISH GRADE VARIES - SEE CIVIL PLANS FOR FINAL GRADES AND SITE DRAINAGE.
7. EXTERIOR WALLS WITH LESS THAN 10' FIRE SEPARATION DISTANCE SHALL BE 1-HOUR RATED FROM BOTH SIDES. NOTIFY ARCHITECT IN THE EVENT OF SUCH AN OCCURRENCE.
8. PROVIDE BACKING FOR ALL EXTERIOR BALCONIES, CORBELS, BOARDS, AND MISC. TRIM.
9. ALL EXTERIOR PENETRATIONS SHALL INCORPORATE QUICK FLASH OR EQ. AT M.P. TYP.
10. PROVIDE BACKING AT FESTIVE LIGHTING - REFER TO LSP DRAWINGS FOR FURTHER INFO.

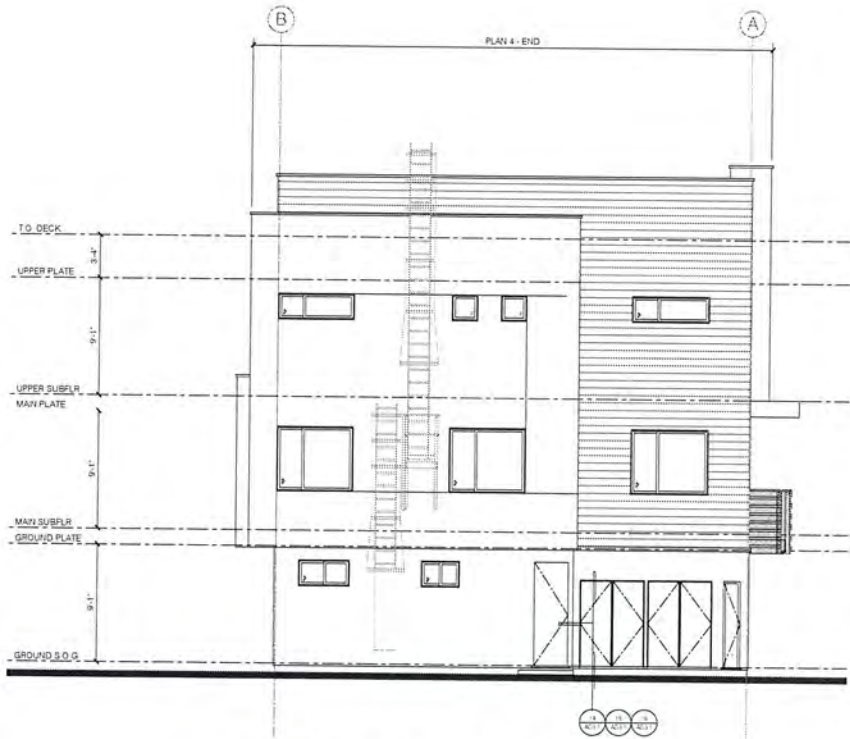
SEALANT & FASTENERS NOTES

- DOOR FASTENERS & SEALANT NOTES**
1. AT DOOR SILL FIN FLASHING, FASTENERS THROUGH THE HORIZONTAL PORTION OF THE FIN ARE PROHIBITED. FASTENERS THROUGH VERTICAL DAMPS ONLY.
- WINDOW FASTENERS & SEALANT NOTES**
1. SECURE THE FULL PERIMETER WITH THE MINIMUM EQUIVALENT OF 4D FASTENERS ON A MAXIMUM OF 600 MM (24") CENTER. CENTRAL LOCATIONS PUNCHED HOLES. IF PROVIDED IMPROVED AND PROTECT WINDOWS MAY REQUIRE ADDITIONAL FASTENERS LOCATED NEAR THE JOINT AND POINT POINTS. FOR CERTAIN WINDOWS IT MAY BE APPROPRIATE TO FASTEN THE HEAD IN A MANNER TO ALLOW FOR POSSIBLE MOVEMENT. IN ALL CASES FOLLOW THE MANUFACTURER'S INSTRUCTIONS FOR ANY SPECIAL PROCEDURES OR APPLICATIONS AND NO OTHER FASTENER PENETRATIONS ARE ALLOWED THROUGH THE WINDOW FLANGE.
 2. AVOID OVERDRIVING FASTENERS. USE AN APPROPRIATELY SIZED FASTENER TO COVER THE WIDTH OF ANY PUNCHED HOLE AND ADEQUATELY SECURE THE WINDOW TO THE STRUCTURE.
 3. REACH DISTANCE FROM ALL CORNERS THERE SHALL BE A FASTENER WITHIN 250 MM (10") BUT NO CLOSER THAN 75 MM (3") TO PREVENT FRAME DISTORTION OR FRACTURE OF JOINT SEALS.
 4. IF ANY DAMAGE TO WINDOW FRAME, JOINT SEAL OR MOUNTING FLANGE IS OBSERVED DURING INSTALLATION, THE INSTALLER SHALL REPORT IT OR CONSULT WITH THE MANUFACTURER.
 5. VERIFY THAT SEALANT IS COMPATIBLE WITH FLASHING MEMBRANE (SADM) AND WINDOW FRAME. DO NOT USE PLASTICERS WITH ASPHALT BASED FLASHING.



REAR ELEVATION

BLDG. 4



RIGHT ELEVATION

BLDG. 4



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Revisions

No.	Date	Revision
1	06-05-2018	

Sheet Description

BUILDING 4
EXTERIOR ELEVATIONS

Scale	3/16" = 1'-0"
Drawn	RJ/RK/AS
Checked	DH/RJ
Date	06-27-2018 PERMIT SUBMITTAL
Project#	317655

A5.3.2

ELEVATION NOTES

ROOF

- 1 PARAPET WALL IN GUM CORING CAP
- 2 LINE OF ROOF DECK BEYOND
- 3 GUM GUMSPURS & OVERHEAD SUPPERS, SEE MEPT OR DIMENSION, SEE ROOF PLAN FOR LOCATION
- 4 CLASS 4 AIR-BARRIER COMPOSITE ROOF SHEETING, SEE ROOF PLAN
- 5 GUM GUTTER THROUGH SLEEWAY

DOORS AND WINDOWS

- 7 GARAGE DOORS SHALL BE A SECTIONAL ROLL-UP METAL DOOR BY WYMAN BROTHERS H&B OR APPROVED EQ
- 8 FIBERGLASS FRONT ENTRY DOOR
- 9 METAL METER CABINET DOORS
- 10 DUAL GLAZED VNR CLAD WINDOWS BY MULLARD STUE LINE OR APPROVED EQ
- 11 DUAL GLAZED VNR CLAD SLOPED GLASS DOOR
- 12 DUAL GLAZED VNR CLAD FRENCH DOOR
- 13
- 14

MATERIALS

- 15 3 COAT STUCCO APPLICATION BY CORNER, JOINT AS INDICATED
- 16 1/2" EXPOSURE SMOOTH TOP SURF BY ARNE GARDNER OR EQUAL
- 17 47 HIGH GLOSS/ROL AT BALCONY PATIO SURFACES GREATER THAN 30' ABOVE GRADE PER CBC SECT. 1803.2
- 18
- 19
- 20
- 21

MISCELLANEOUS

- 22 WALL CEILING BEYOND
- 23 ADDRESS SIGN A MINIMUM 4" HIGH x 3" WIDE FRAMES, PER COLOR BOOKLET BY AT DESIGN CONSULTANTS, VERIFY LOCATION W/ LOCAL FIRE DEPARTMENT
- 24 3 SMALL SQUARE MOUNTED COMMON AREA LIGHT FIXTURE, PER COLOR BOOKLET BY AT DESIGN CONSULTANTS, SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 25 3 LARGE SURFACE MOUNTED COMMON AREA LIGHT FIXTURE, PER COLOR BOOKLET BY AT DESIGN CONSULTANTS, SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 26 3 SURFACE MOUNTED LIGHT FIXTURE, SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 27 WALL MOUNTED TYPE ABC 100% 2 1/2" X 1/8" FIRE EXTINGUISHER SEPARATED BY A MAX. TRAVEL DISTANCE OF 75'. VERIFY LOCATIONS WITH THE DEPT. TOP OF CABINET TO MOUNTED BEYOND 48" W/ INSTALL SIGNAGE ANY CABINET STAIN 72" W/ SEE DETS. 11 & 13 ADT. 1
- 28 SURFACE MOUNTED ROOF ACCESS LADDER - ALACO 5843RRC W/ SECURITY DR. OR APPROVED EQ

ELEVATION GENERAL NOTES

- 1 FOR ROOF PITCHES, REFER TO ROOF PLAN
- 2 ALIGN WINDOW HEADS AS FOLLOWS: VERIFY ACTUAL FRAMING HEIGHTS WITH SELECTED WINDOW MANUFACTURER'S DESIGN SPECIFICATIONS. TYPICAL - 8" NOMINAL S/D N
- 3 ACOUSTICS - SEE "RECOMMENDATIONS OF ACOUSTIC REPORT"
- 4 CONTRACTOR TO CONSULT AND VERIFY THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF. PER CBC CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 5 FINISH GRADES VARY - SEE CIVIL PLANS FOR FINISH GRADES AND SITE DRAINAGE
- 6 EXTERIOR WALLS WITHIN 10' OF FIRE SEPARATION DISTANCE SHALL BE FLASHED FROM BOTH SIDES, NOTIFY ARCHITECT IN THE EVENT OF SUCH AN OCCURRENCE
- 7 PROVIDE BACKING FOR ALL EXTERIOR BALCONIES, CORBELS, BONES, AND MISC. IRM
- 8 ALL EXTERIOR PENETRATIONS SHALL INCORPORATE QUICK FLASH GREGG AT M.E.P. TYP
- 9 PROVIDE BACKING AT FEELING LIGHTS - REFER TO LISP DRAWINGS FOR FURTHER INFO

SEALANT & FASTENERS NOTES

DOOR FASTENERS & SEALANT NOTES

- 1 AT DOOR SILL PAN FLASHING, FASTENERS THROUGH THE HORIZONTAL PORTION OF THE PAN ARE PROHIBITED. FASTEN THROUGH END DAMS ONLY

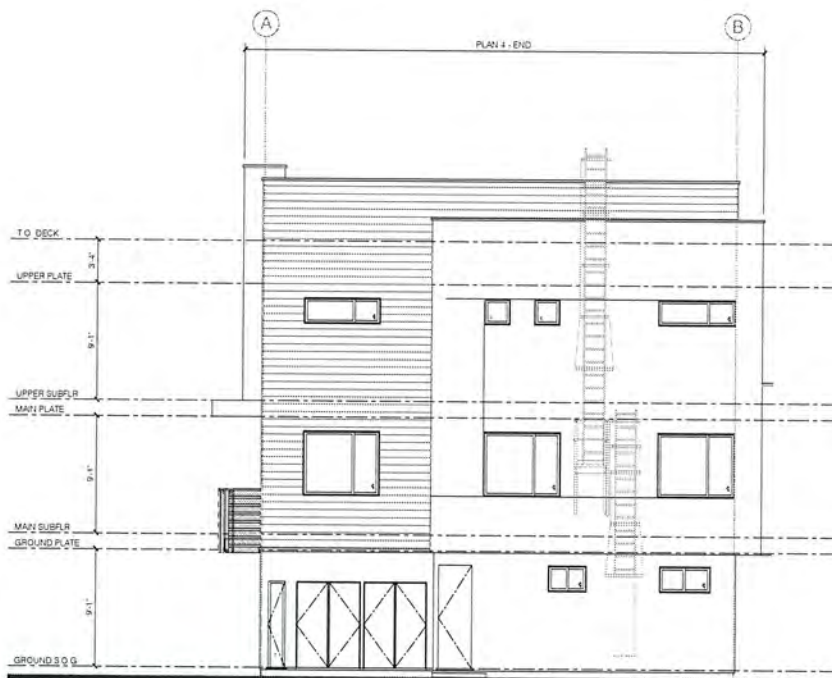
WINDOW FASTENERS & SEALANT NOTES

- 1 SECURE THE FULL PERIMETER WITH THE MINIMUM EQUIVALENT OF (3) FASTENERS ON A MAXIMUM OF 800 MM (31") CENTERS USING THE PUNCHED HOLES. IF PROVIDED, PUNCHED AND PUFFED WINDOWS MAY REQUIRE ADDITIONAL FASTENERS LOCATED NEAR THE HOZE AND PUFF POINTS. FOR CERTAIN WINDOWS IT MAY BE APPROPRIATE TO FASTEN THE HEADS IN A MANNER TO ALLOW FOR POSSIBLE MOVEMENT. SHALL CASES FOLLOW THE MANUFACTURER'S INSTRUCTIONS FOR ANY SPECIAL PROCEDURES OR APPLICATIONS AND NO OTHER FASTENER PENETRATIONS ARE ALLOWED THROUGH THE WINDOW FLANGE
- 2 AVOID OVERDRIVING FASTENERS. USE AN APPROPRIATELY SIZED FASTENER TO COVER THE WIDTH OF ANY PUNCHED HOLES AND NEARLY SECURE THE WINDOW TO THE STRUCTURE
- 3 BREAK BACK FROM ALL CORNERS THERE SHALL BE A FASTENER WITHIN 250 MM (10") BUT NO CLOSER THAN 15 MM (3/8") TO PREVENT FRAME DISTORTION OR FRACTURE OF JOINT SEAL
- 4 IF ANY DAMAGE TO WINDOW FRAME, JOINT SEAL OR MOUNTING FLANGE IS OBSERVED DURING INSTALLATION, THE INSTALLER SHALL REPAIR IT OR CONSULT WITH THE MANUFACTURER
- 5 VERIFY THAT SEALANT IS COMPATIBLE WITH FLASHING MEMBRANE (SAM) AND WINDOW FRAME. DO NOT USE PLASTICERS WITH ANY UNLASED FLASHING



FRONT ELEVATION

BLDG. 5



LEFT ELEVATION

BLDG. 5



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Revisions:

No.	Date	Revision
1	05-09-2018	

Sheet Description

BUILDING 5
EXTERIOR ELEVATIONS

Scale	3/16" = 1'-0"
Drawn	RJ/NR/CK/AS
Checked	DH/RJ
Date	05-27-2018 PERMIT SUBMITTAL
Project#	311055

A6.3.1

ELEVATION NOTES

- ROOF**
- 1 PARAPET WALL W/ GOM COPING CAP
 - 2 LINE OF ROOF DECK BEYOND
 - 3 GOM/COPINGS/SCUPERS & OVERFLOW SCUPERS SEE MEP FOR DIMENSION. SEE ROOF PLAN FOR LOCATION
 - 4 CLASS A 40 YEAR COMPOSITION ROOF SHINGLES SEE ROOF PLAN
 - 5 GOM/GUTTER THROUGH SPILLWAY
 - 6

DOORS AND WINDOWS

- 7 GARAGE DOORS SHALL BE A SECTIONAL ROLL-UP METAL DOOR BY BAYNE, DALLTON/HO. SERIES OR APPROVED EQ.
- 8 FIBERGLASS FRONT ENTRY DOOR
- 9 METAL METR CABINET DOORS
- 10 DUAL GLAZED VINYL CLAD WINDOWS BY MILDARD STEEL LINE OR APPROVED EQ.
- 11 DUAL GLAZED VINYL CLAD SIKING GLASS DOOR
- 12 DUAL GLAZED VINYL CLAD FRENCH DOOR
- 13
- 14

MATERIALS

- 15 3 COAT STUCCO APPLICATION W/ CONTROL JOINT AS INDICATED
- 16 (7) EXPOSURE SMOOTH LAP SIDING BY JAMES HARDIE OR EQUAL
- 17 (7) FRESH GIPSUM BOARD AT BAL CONY PANO SURFACES GREATER THAN 10' ABOVE GRADE PER CBC SEC. 1403.2
- 18
- 19
- 20
- 21

MISCELLANEOUS

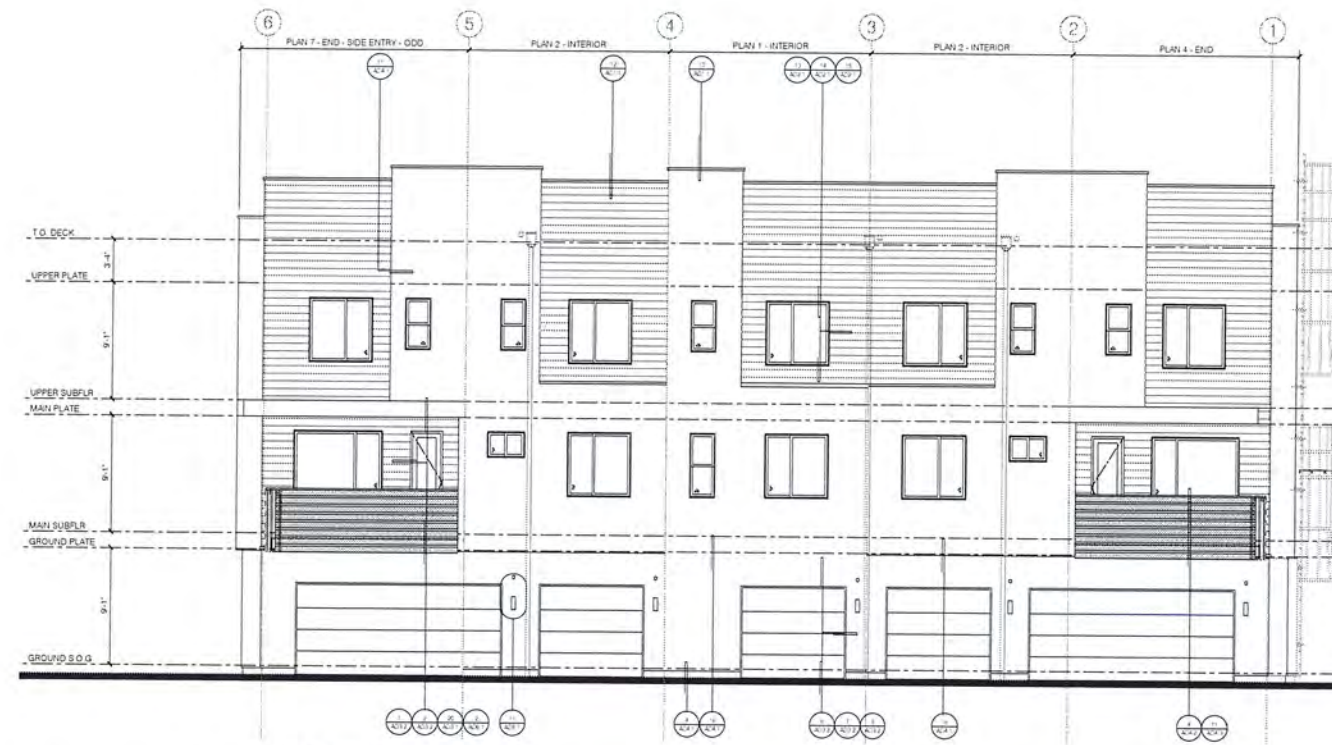
- 22 WALL CEILING BEYOND
- 23 ADDRESS SIGN W/ MINIMUM 4" HIGH x 1/2" WIDE NUMBERS PER COLOR BOOKLET BY AT DENZI CONSULTANTS. VERIFY LOCATION W/ LOCAL FIRE DEPARTMENT
- 24 ALL SMALL SURFACE MOUNTED COMMON AREA LIGHT FIXTURES PER COLOR BOOKLET BY AT DENZI CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 25 LARGE SURFACE MOUNTED COMMON AREA LIGHT FIXTURES PER COLOR BOOKLET BY AT DENZI CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 26 ALL SURFACE MOUNTED LIGHT FIXTURES. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 27 WALL MOUNTED TYPE ABC MIN. SIZE 2A 1500 FIRE EXTINGUISHER SEPARATED BY A MAX. TRAVEL DISTANCE OF 75' VERIFY LOCATION WITH FIRE DEPT. TOP OF CABINET TO MOUNTED BEYOND 48" HIG. INITIAL SIGNAGE AND CABINET BY 17" HIG. SEE DET. 11-A-13-01-1
- 28 SURFACE MOUNTED ROOF ACCESS LADDER - ALACO 564 P/N W/ SECURITY PIN OR APPROVED EQ.

ELEVATION GENERAL NOTES

- 1 FOR ROOF PITCHES, REFER TO ROOF PLAN
- 2 ALLOW WINDOW HEADS AS FOLLOWS. VERIFY ACTUAL FRAMING HEIGHTS WITH SELECTED WINDOW MANUFACTURERS RULCH OPENING SPECIFICATIONS. TYPICAL 18" HIG. MINIMUM 1/8"
- 3 ACoustics - SEE RECOMMENDATIONS OF ACOUSTIC REPORT
- 4 CONTRACTOR TO CONSTRUCT AND CERTIFY THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF. PER CBC
- 5 CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 6 FINISH GRADES VARY - SEE CIVIL PLANS FOR FINAL GRADES AND SITE DRAINAGE
- 7 EXTERIOR WALLS WITH LESS THAN 10' TO FIRE SEPARATION DISTANCE SHALL BE 1 HOUR RATED FROM INTERIORS. VERIFY ARCHITECT IN THE EVENT OF SUCH AN OCCURRENCE
- 8 PROVIDE BACKING FOR ALL EXTERIOR BALCONIES, CORBELS, BOVELS, AND MISC. IRM
- 9 ALL EXTERIOR PENETRATIONS SHALL INCORPORATE QUICK FLASH OR EQ. AT M.E.P. FWP
- 10 PROVIDE BACKING AT FESTIVE LIGHTING - REFER TO LSP/DRAINAGE FOR FURTHER INFO

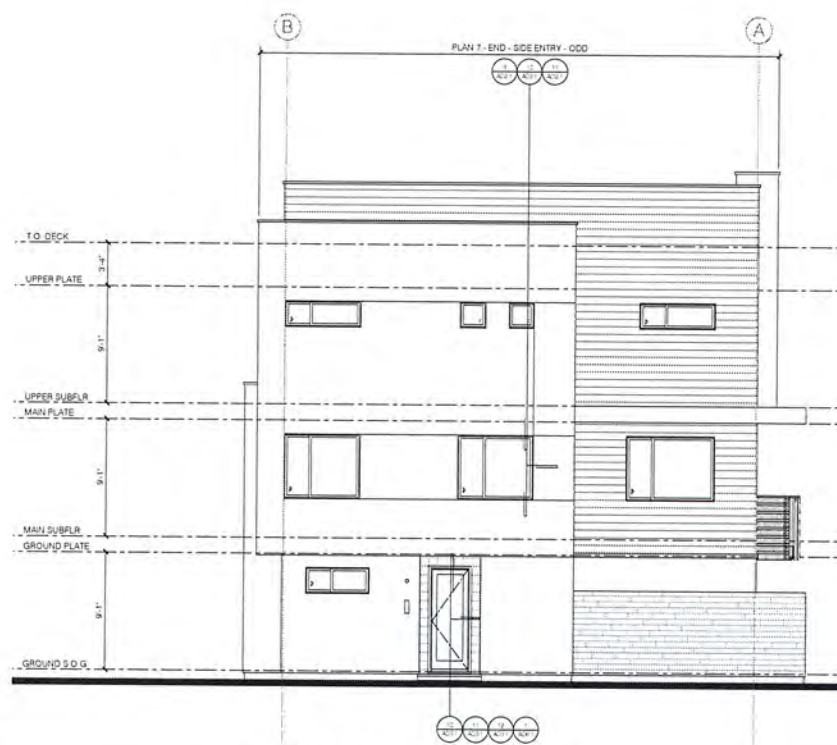
SEALANT & FASTENERS NOTES

- DOOR/FASTER SEALANT NOTES**
- 1 AT DOOR SILL FLASHING FACE SIDE THROUGH THE HORIZONTAL PORTION OF THE PANEL ARE PROHIBITED. FASTEN THROUGH END DANA ONLY
- WINDOW FASTENER SEALANT NOTES**
- 1 SECURE THE FULL PERIMETER WITH THE MINIMUM EQUIVALENT OF 40 FASTENERS ON A MINIMUM OF 80 MM IN SPACES UNLESS OTHERWISE INDICATED. IF PROVIDED HINGES AND PIVOT POINTS FOR CERTAIN WINDOWS IT MAY BE APPROPRIATE TO FASTEN THE HEAD IN A MANNER TO ALLOW FOR POSSIBLE MOVEMENT. IN ALL CASES FOLLOW THE MANUFACTURER'S INSTRUCTIONS FOR ANY SPECIAL PROCEDURES OR APPLICATIONS AND NO OTHER FASTENER PENETRATIONS ARE ALLOWED THROUGH THE WINDOW FLANGE
 - 2 AVOID OVERDRIVING FASTENERS. USE AN APPROPRIATELY SIZED FASTENER TO COVER THE WIDTH OF ANY PRE-PUNCHED HOLE AND ADEQUATELY SECURE THE WINDOW TO THE STRUCTURE
 - 3 IN EACH DIRECTION FROM ALL CORNERS THERE SHALL BE A FASTENER WITH 250 MM (10") BUT NO CLOSER THAN 75 MM (3") TO PREVENT FRAME DISTORTION OR FRACTURE OF JOINT SEALS
 - 4 IF ANY DAMAGE TO WINDOWS FRAME, JOINT SEAL OR MOUNTING FLANGES IS OBSERVED DURING INSTALLATION, THE INSTALLER SHALL REPAIR OR CORRECT WITH THE MANUFACTURER
 - 5 VERIFY THAT SEALANT IS COMPATIBLE WITH LAMINATE MEMBRANE (IGU) AND WINDOW FRAME. DO NOT USE PLASTICIZERS WITH ASPHALT BASED FLASHING



REAR ELEVATION

BLDG. 5



RIGHT ELEVATION

BLDG. 5



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Revisions

No.	Date	Revision
1	09-05-2018	

Sheet Description

BUILDING 5
EXTERIOR ELEVATIONS

Scale	3/16" = 1'-0"
Drawn	RJ NR CX 45
Checked	ZH RJ
Date	06-27-2018 PERMIT SUBMITTAL
Project#	317058

ELEVATION NOTES

- ROOF**
1. PARAPET WALL W/ GUM COPING CAP
 2. LINE OF ROOF DECK BEYOND
 3. GUM COPING CAPS & OVERFLOW SCUPPER. SEE MEP FOR DIMENSION. SEE ROOF PLAN FOR LOCATIONS
 4. CLASS A 40 YEAR COMPOSITION ROOF SHAKES. SEE ROOF PLAN
 5. GUM GUTTER THROUGH SPOUW

- DOORS AND WINDOWS**
7. GARAGE DOORS SHALL BE A SECTIONAL ROLL-UP (METAL) DOOR BY WARE DALTON WITH SERVO MOTOR OPERATED
 8. FIBERGLASS FRONT ENTRY DOOR
 9. METAL METER CABINET DOORS
 10. DUAL GLAZED VINYL CLAD WINDOWS BY MCGARD STYLE LINE OR APPROVED EQ
 11. DUAL GLAZED VINYL CLAD SLIDING GLASS DOOR
 12. DUAL GLAZED VINYL CLAD FRENCH DOOR
 - 13.
 - 14.

- MATERIALS**
15. 3 COAT SILVICO APPLICATION W/ CONTROL JOINT AS INDICATED
 16. UTY EXPOSURE BRUSH ON STEEL BY JAMES HARDEN OR EQUAL
 17. 47' HIGH GUARDRAIL AT BALCONY RATIO SURFACES GREATER THAN 30" ABOVE GRADE PER CBC SEC 1013.2
 - 18.
 - 19.
 - 20.
 - 21.

- MISCELLANEOUS**
22. WALL CREEPING BEYOND
 23. ADDRESS SIGN BY W/MAN A 10" X 11" ONE NAME PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. VERIFY LOCATION W/ LOCAL FIRE DEPARTMENT
 24. SMALL SURFACE MOUNTED COMMON AREA LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
 25. LARGE SURFACE MOUNTED COMMON AREA LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
 26. SURFACE MOUNTED LIGHT FIXTURE. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
 27. WALL MOUNTED TYPE ABC (MIN. SIZE 2A 1000) FIRE EXTINGUISHER REPAIRED BY A MAX TRUCK. DISTANCE OF 75' VERIFY LOCATIONS WITH FIRE DEPT. TOP OF CABINET TO MOUNTED WITH 48" W/ INSTALL SIGNAGE ANY CABINET 18" X 24" SEE DETS. 11 & 11 ADJ 1
 28. SURFACE MOUNTED ROOF ACCESS LADDER - ALACO 568 PPHC W/ SECURITY PIN OR APPROVED EQ

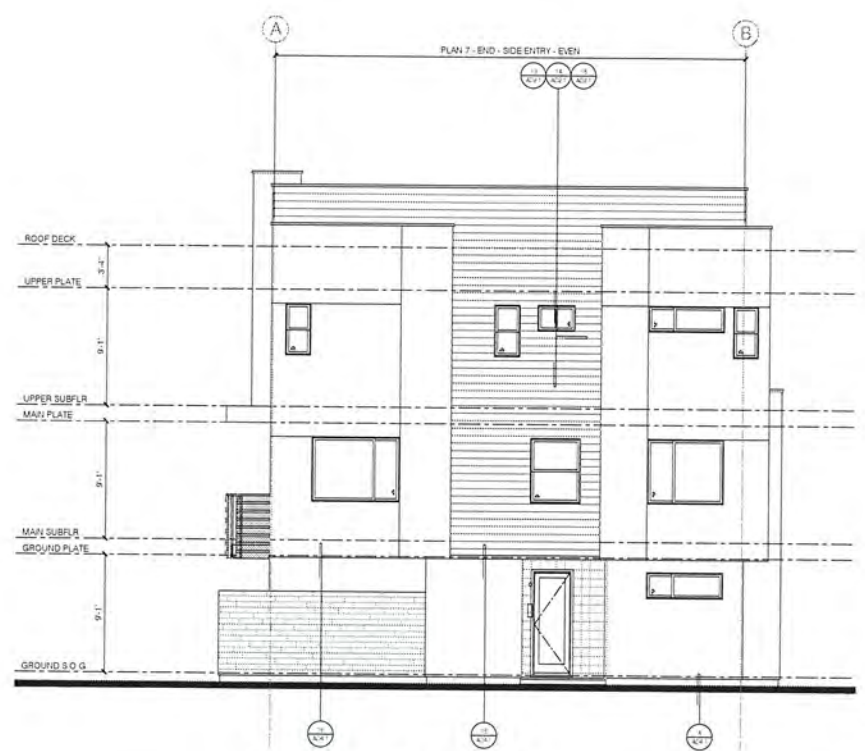
- ELEVATION GENERAL NOTES**
1. FOR ROOF PITCHES REFER TO ROOF PLAN
 2. ALIGN WINDOW HEADS AS FOLLOWS. VERIFY ACTUAL FRAMING HEIGHTS WITH SELECTED WINDOW MANUFACTURER'S WINDOW SPECIFICATIONS. MINIMAL 1/8" OF NORMAL UTILITY
 3. ACOUSTICS - SEE RECOMMENDATIONS OF ACOUSTIC REPORT
 4. CONTRACTOR TO CONSTRUCT AND CERTIFY THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF. PUBLIC CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
 5. FINISH GRADES VARY. SEE CIVIL PLANS FOR FINISH GRADES AND SITE DRAINAGE
 6. EXTERIOR WALLS WITH LESS THAN 10' OF SEPARATION DISTANCE SHALL BE 1/4 HOUR RATED FROM BOTH SIDES. NOTIFY ARCHITECT IN THE EVENT OF SUCH AN OCCURRENCE
 7. PROVIDE BACKSPLASH FOR ALL EXTERIOR BALCONIES, CORBELS, BOWLS, AND MISC TRIM
 8. ALL EXTERIOR PENETRATIONS SHALL INCORPORATE QUICK-FLASH OR EQ AT M.E.P. TRIP
 9. PROVIDE BACKSPLASH AT TESTS, LIGHTING - REFER TO LEAD DRAWINGS FOR DIMENSIONS

- SEALANT & FASTENERS NOTES**
- DOOR FASTENERS & SEALANT NOTES**
1. AT DOOR SILL FLASHING, FASTENERS THROUGH THE HORIZONTAL PORTION OF THE PAN ARE PROHIBITED. FASTEN THROUGH THE DAMS ONLY
- WINDOW FASTENERS & SEALANT NOTES**
1. SECURE THE FULL FRAME WITHIN THE MINIMUM EQUIVALENT OF 40 FASTENERS ON A MAXIMUM OF 20" MAX IN PG CENTERS USING PRE-PUNCHED HOLES. IF PROVIDED, HINGED AND PIVOT WINDOWS MAY REQUIRE ADDITIONAL FASTENERS LOCATED NEAR THE HINGE AND PIVOT POINTS. FOR CERTAIN WINDOWS IT MAY BE APPROPRIATE TO FASTEN THE HEADLINE MANNER TO ALLOW FOR POSSIBLE MOVEMENT. IN ALL CASES FOLLOW THE MANUFACTURER'S INSTRUCTIONS FOR ANY SPECIAL PROCEDURES OR APPLICATIONS AND DO NOT FASTENER PENETRATIONS ARE ALLOWED THROUGH THE WINDOW FLANGE
 2. WINDOW DESIGNER'S FASTENERS USE 20 APPROPRIATELY USED FASTENERS TO COVER THE WIDTH OF ANY PRE-PUNCHED HOLE AND ADEQUATELY SECURE THE WINDOW TO THE STRUCTURE
 3. REACHER FROM ALL CORNERS THERE SHALL BE A FASTENER WITHIN 200 MM (8") IN BUT NO CLOSER THAN 15 MM (3/4") TO PREVENT FRAME DISTORTION OR FRACTURE OF JOINT SEAL
 4. IF ANY DAMAGE TO WINDOW FRAME, JOINT SEAL OR MOUNTING FLANGE IS OBSERVED DURING INSTALLATION, THE INSTALLER SHALL REPAIR IT OR CONSULT WITH THE MANUFACTURER
 5. VERIFY THAT SEALANT IS COMPATIBLE WITH FLASHING MATERIALS, FRAME AND WINDOW FRAME. DO NOT USE PLASTICERS WITH ANY VITON FLANGES



FRONT ELEVATION

BLDG. 6



LEFT ELEVATION

BLDG. 6



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Revisions:

No.	Date	Revision
1	09-09-2018	

Sheet Description:

BUILDING 6
EXTERIOR ELEVATIONS

Scale	3/8" = 1'-0"
Drawn	RJ/R OK/AS
Checked	OH/RJ
Date	09-27-2018 PERMIT SUBMITTAL
Project#	317055

A7.3.1

ELEVATION NOTES

- ROOF**
- 1 PARAPET WALL W/ GUM COPPING CAP
 - 2 LINE OF ROOF CHECK BEYOND
 - 3 GUM COPPING POINTS & OVERFLOW SCUPPER. SEE MEP FOR DIMENSION. SEE ROOF PLAN FOR LOCATIONS
 - 4 CLASS A 40 YEAR COMPOSITION ROOF SHINGLES. SEE ROOF PLAN
 - 5 GUM GUTTER TROUGH W/ SPILLWAY
 - 6

DOORS AND WINDOWS

- 7 GARAGE DOORS SHALL BE A SECTIONAL ROLL-UP (METAL) DOOR BY AMME DULUTH HIGH SEALS OR APPROVED EQ.
- 8 FINE GLASS FRONT ENTRY DOOR
- 9 METAL METEX CABINET DOORS
- 10 DUAL GLAZED VINYL CLAD WINDOWS BY MILGARD STYLE LINE OR APPROVED EQ.
- 11 DUAL GLAZED VINYL CLAD SLIDING GLASS DOOR
- 12 DUAL GLAZED VINYL CLAD FRENCH DOOR
- 13
- 14

MATERIALS

- 15 3 COAT STUCCO APPLICATION W/ CONTROL JOINT AS INDICATED
- 16 1/2" EXPOSURE SMOOTH LAP SIDING BY JAMES HARDIE OR EQUAL
- 17 4" HIGH GARDING. AT BALCONY RAILS SURFACES GREATER THAN 48" ABOVE GRADE PER CBC SECT. 1603.2.
- 18
- 19
- 20
- 21

MISCELLANEOUS

- 22 WALL CEILING BEYOND
- 23 ADDRESS SIGN W/ MINIMUM 4" HIGH x 1/2" WIDE NUMBERS. PER COLOR BOOKLET BY AT DESIGN CONSULTANT. VERIFY LOCATION W/ LOCAL FIRE DEPARTMENT
- 24A ○ SMALL SURFACE MOUNTED COMMON AREA LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANT. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION.
- 24B ■ LARGE SURFACE MOUNTED COMMON AREA LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANT. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION.
- 24C ▲ SURFACE MOUNTED LIGHT FIXTURE. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION.
- 25 SMALL MOUNTED TYPE ABC (MIN. SIZE 2A 180C) FIRE EXTINGUISHER SEPARATED BY A MAX. TRAVEL DISTANCE OF 75'. VERIFY LOCATIONS WITH FIRE DEPT. TOP OF CABINET TO MOUNTED BOTTLE. MIN. NET STORAGE CABINET BOTTLE 27" HIG. SEE DECS. 118.11.4.6.1
- 26 SURFACE MOUNTED ROOF ACCESS LADDER. ALACO 584 P/PC W/ SECURITY GR. OR APPROVED EQ.

ELEVATION GENERAL NOTES

- 1 FOR ROOF PITCHES, REFER TO ROOF PLAN
- 2 ALONG WINDOW HEADS AND FOLLOWS. VERIFY ACTUAL FRAMING HEIGHTS WITH SELECTED WINDOW MANUFACTURERS ROUGH OPENING SPECIFICATIONS TYPICAL 4" MINIMUM LEAD
- 3 ACOUSTICS - SEE RECOMMENDATIONS OF ACOUSTIC REPORT
- 4 CONTRACTOR TO CONSTRUCT AND CERTIFY THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF. PER CBC
- 5 CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 6 FINISH GRACES Varies - SEE CIVIL PLANS FOR FINAL GRADES AND SITE DRAINAGE
- 7 EXTERIOR WALLS WITH LESS THAN 10' FIRE SEPARATION DISTANCE SHALL BE 1 HOUR RATED FROM BOTH SIDES. NOTIFY ARCHITECT IN THE EVENT OF SUCH OCCURRENCE
- 8 PROVIDE BACKING FOR ALL EXTERIOR BALCONIES, CORBELS, BOWLS AND MISC. IRM
- 9 ALL EXTERIOR PENETRATIONS SHALL INCORPORATE QUICK-FLASH OR EQ. AT M.E.P. TOP
- 10 PROVIDE BACKING AT FESTIVE LIGHTING - REFER TO LED SPACING FOR FURTHER INFO.

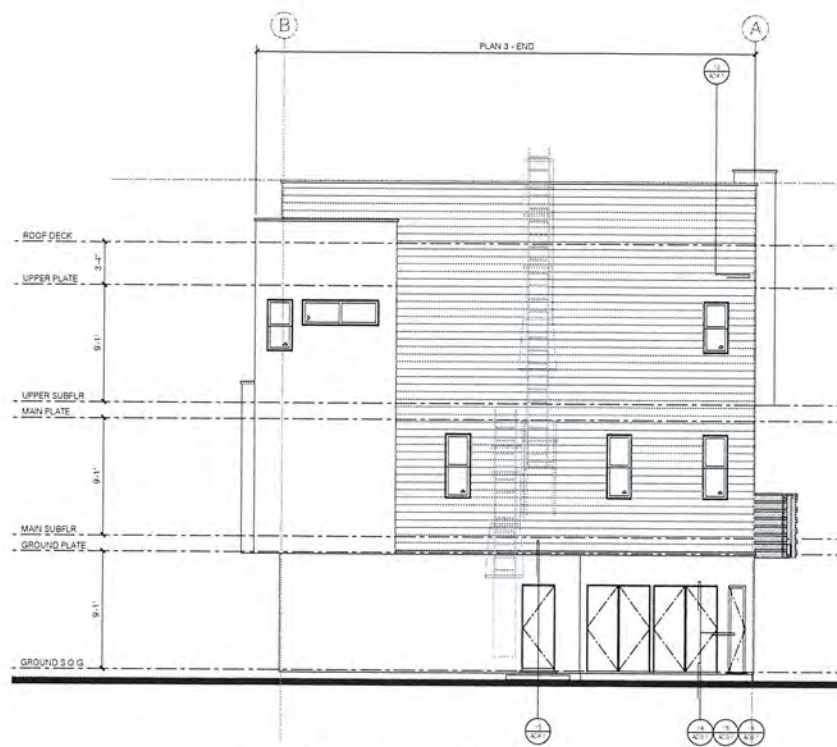
SEALANT & FASTENERS NOTES

- DOOR AND SEALANT NOTES**
- 1 AT DOOR RAIL PAN FLASHING, FASTENERS THROUGH THE HORIZONTAL PORTION OF THE PAN ARE PROHIBITED. FASTEN THROUGH VERTICAL DAMPS ONLY
- WINDOW FASTEN & SEALANT NOTES**
- 1 SECURE THE FLASH PARTS WITH THE MINIMUM EQUIVALENT OF 40 FASTENERS ON A MINIMUM OF 400 MM (16 IN) SPACES USING THE PUNCHED HOLES. IF PROVIDED HINGED AND PIVOT WINDOWS MAY REQUIRE ADDITIONAL FASTENERS LOCATED NEAR THE HINGE AND PIVOT POINTS. FOR CERTAIN WINDOWS IT MAY BE APPROPRIATE TO FASTEN THE HEAD IN A MANNER TO ALLOW FOR POSSIBLE MOVEMENT. IN ALL CASES FOLLOW THE MANUFACTURERS RECOMMENDATIONS FOR ANY SPECIAL PROCEDURES OR APPLICATIONS AND NO OTHER FASTENER PENETRATIONS ARE ALLOWED THROUGH THE WINDOW FLASH.
 - 2 AVOID OVERDRIVING FASTENERS. USE AN APPROPRIATELY SIZED FASTENER TO COVER THE WIDTH OF ANY PRE-PUNCHED HOLE AND ADEQUATELY SECURE THE WINDOW TO THE STRUCTURE.
 - 3 FLASH OR PROTECT FROM ALL CORNERS THERE SHALL BE A FASTENER WITHIN 250 MM (10 IN) BUT NO CLOSER THAN 10 MM (3/8 IN) TO PREVENT FRAME DISTORTION OR FRACTURE OF ADJACENT SEALS.
 - 4 IF ANY DAMAGE TO WINDOW FRAME, JOINT SEAL OR MOUNTING FLANGE IS OBSERVED DURING INSTALLATION, THE INSTALLER SHALL REPAIR IT OR CONSULT WITH THE MANUFACTURER.
 - 5 VERIFY THAT SEALANT IS COMPATIBLE WITH FLASHING MEMBRANE (SMA) AND WINDOW FRAME. DO NOT USE PLASTICERS WITH ASPHALT BASED FLASHING.



REAR ELEVATION

BLDG. 6



RIGHT ELEVATION

BLDG. 6



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Revisions:

No	Date	Revision
1	06-05-2018	

Sheet Description

**BUILDING 6
EXTERIOR ELEVATIONS**

Scale	3/16" = 1'-0"
Drawn	RJ NR CA 45
Checked	DH RJ
Date	06-21-2018 PERMIT SUBMITTAL
Project#	317658

A7.3.2

ELEVATION NOTES

ROOF

1. PARAPET WALL W/ GSM COPING CAP
2. LINE OF ROOF DECK BEYOND
3. GSM DOWNPOUTS & OVERFLOW SCUPPER SEE MEFP FOR DIMENSIONS. SEE ROOF PLAN FOR LOCATIONS
4. CLASS A 40 YEAR COMPOSITION ROOF SHINGLES. SEE ROOF PLAN
5. GSM GUTTER THROUGH SILLWAY

DOORS AND WINDOWS

7. GARAGE DOORS SHALL BE A SECTIONAL ROLL-UP (METAL) DOOR BY WAYNE DALTON (FBI) SERIES OR APPROVED EQ
8. FIBREGLASS FIBER GYPSUM DOOR
9. METAL METER CABINET DOORS
10. DUAL GLAZED VINYL CLAD WINDOWS BY MUGARDI STYLE LINE. OR APPROVED EQ
11. DUAL GLAZED VINYL CLAD SLIDING GLASS DOOR
12. DUAL GLAZED VINYL CLAD FRENCH DOOR
- 13.
- 14.

MATERIALS

15. 3 COAT STUCCO APPLICATION W/ CONTROL JOINT AS INDICATED
16. F73 EXPOSURE SMOOTH LAP SIDING BY JAMES HARDIE OR EQUAL
17. 2" FIBREGLASS INSULATION AT BALCONY PATIO SURFACES GREATER THAN 30" ABOVE GRADE PER SECTION 1013.2
- 18.
- 19.
- 20.
- 21.

MISCELLANEOUS

22. WALL CEILING BEYOND
23. ADDRESS SIGN W/ MINIMUM 4" HIGH 1/2" WIDE NUMBERS. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. VERIFY LOCATION W/ LOCAL FIRE DEPARTMENT
24. SMALL SURFACE MOUNTED COMMON AREA LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
25. LARGE SURFACE MOUNTED COMMON AREA LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
26. SURFACE MOUNTED LIGHT FIXTURE. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
27. WALL MOUNTED TYPE ABC MIN SIZE 2A 180C FIRE EXTINGUISHER SEPARATED BY A MAX. TRAVEL DISTANCE OF 75'. VERIFY LOCATIONS WITH FIRE DEPT. TOP OF CABINET TO MOUNTED WITHIN 48" OF INSTALLED SCISSOR ANY CORNER FROM 22" MAX. SEE SECS. 11 & 11.0.1.0.1
28. SURFACE MOUNTED ROOF ACCESS LADDER - ALAZO. MARKING W/ SECURITY OR APPROVED EQ

ELEVATION GENERAL NOTES

1. FOR ROOF PITCHES REFER TO ROOF PLAN
2. ALL WINDOW HEADS AS FOLLOWS. VERIFY ACTUAL FRAMING HEIGHTS WITH SELECTED WINDOW MANUFACTURER'S INSTALLATION SPECIFICATIONS. TYPICAL - 4" IF NOMINAL U.O.N.
3. ACOUSTICS - SEE RECOMMENDATIONS OF ACOUSTIC REPORT.
4. CONTRACTOR TO CONFIRM AND VERIFY THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHER-PROOF. PER CSC CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
5. FRESH GRADES VIEWS - SEE CIVIL PLANS FOR FINAL GRADES AND SITE DRAINAGE
6. EXTERIOR FINISHES WITH LESS THAN A 10' FIRE SEPARATION DISTANCE SHALL BE 1-HOUR RATED FROM BOTH SIDES. NOTIFY ARCHITECT IN THE EVENT OF SUCH AN OCCURRENCE
7. PROVIDE BACKING FOR ALL EXTERIOR BALCONIES, CORBELS, BOWS, AND MISC. TRIM
8. ALL EXTERIOR PENETRATIONS SHALL INCORPORATE QUICK-FLASH OR EQ. AT M.E.P. PIP
9. PROVIDE BACKERS AT FLESH LIGHTING - REFER TO LISP DRAWINGS FOR FURTHER INFO

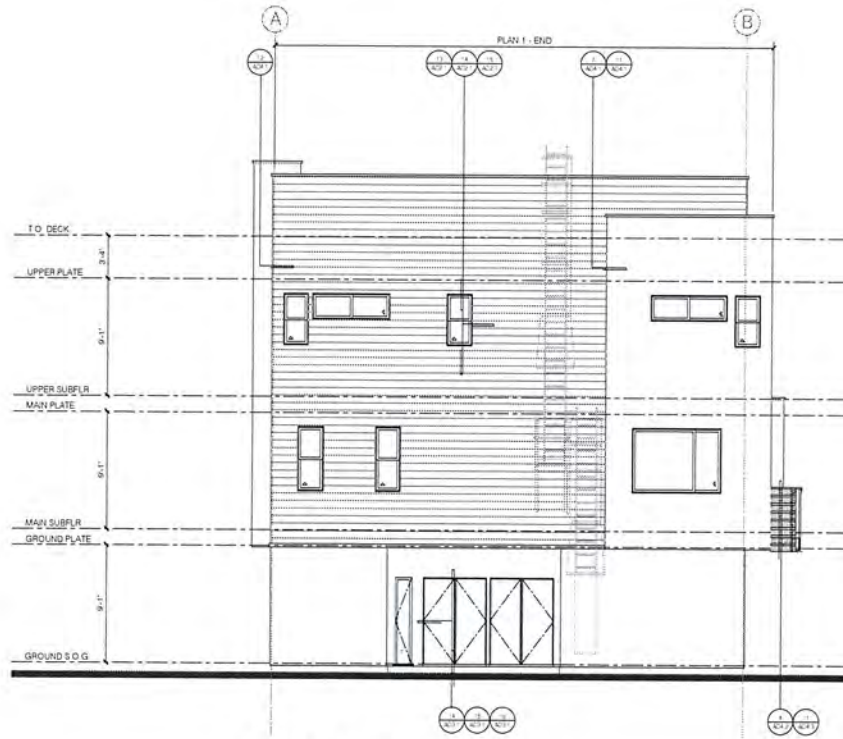
SEALANT & FASTENERS NOTES

- DOOR FASTENER & SEALANT NOTES**
1. AT DOOR SILL FLASHING FASTENERS THROUGH THE HORIZONTAL PORTION OF THE PAN ARE PROHIBITED. FASTENERS THROUGH THE DAMS ONLY.
- WINDOW FASTENER & SEALANT NOTES**
1. SECURE THE FULL PERIMETER WITH THE MAXIMUM EQUIVALENT OF 40 FASTENERS ON A MAXIMUM OF 80 MM (3 1/8") ON CENTERS USING PRE-DRILLED HOLES. IF PROVIDED, HANG AND PULL WINDOWS MAY REQUIRE ADDITIONAL FASTENERS LOCATED NEAR THE HINGE AND PULL POINTS FOR CERTAIN WINDOWS IF THAT IS APPROPRIATE. TO FASTEN THE HEAD IN A MANNER TO ALLOW FOR POSSIBLE MOVEMENT. IN ALL CASES FOLLOW THE MANUFACTURER'S INSTRUCTIONS FOR ANY SPECIAL PROCEDURES OR APPLICATIONS AND NO OTHER FASTENER PENETRATIONS ARE ALLOWED THROUGH THE WINDOW FLANGE.
 2. AVOID OVERDRIVING FASTENERS. USE AN APPROPRIATELY SIZED FASTENER TO COVER THE WIDTH OF ANY PRE-DRILLED HOLES. DO NOT OVERDRIVE THE WINDOW TO THE STRUCTURE.
 3. IN EACH DIRECTION FROM ALL CORNERS THERE SHALL BE A FASTENER WITH A 25 MM (1") BUT NO CLOSER THAN 15 MM (3/8") TO PREVENT FRAME DISTORTION OR FRACTURE OF JOINT SEALS.
 4. IF ANY DAMAGE TO WINDOW FRAME JOINT SEAL OR MOUNTING FLANGES IS OBSERVED DURING INSTALLATION, THE INSTALLER SHALL REPAIR IT OR CONSULT WITH THE MANUFACTURER.
 5. VERIFY THAT SEALANT IS COMPATIBLE WITH FLASHING MEMBRANE (SICM) AND WINDOW FRAME. DO NOT USE PLASTICERS W/ WITH ANY FULL BANE FLASHING.



FRONT ELEVATION

BLDG. 7



LEFT ELEVATION

BLDG. 7



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Revisions

No.	Date	Revision
1	06-06-2018	

Sheet Description

**BUILDING 7
EXTERIOR ELEVATIONS**

Scale	3/16" = 1'-0"
Drawn	RJ/RK/AS
Checked	DH/RJ
Date	06-27-2018 PERMIT SUBMITTAL
Project#	317555

A8.3.1

ELEVATION NOTES

- ROOF**
- 1 PARAPET SHALL BE GCM COPING CAP
 - 2 LINE OF ROOF DECK BEYOND
 - 3 GCM DOWNPOUTS & DRAIN/LOW SCOPPER, SEE MEP FOR DIMENSION, SEE ROOF PLAN FOR LOCATIONS
 - 4 CLASS 2 48 HOUR COMBUSTION ROOF INSULATION, SEE ROOF PLAN
 - 5 GCM GUTTER TROUGH IN SPILLWAY
 - 6

- DOORS AND WINDOWS**
- 7 GARAGE DOORS SHALL BE A SECTIONAL ROLL-UP (METAL) DOOR BY WATTE DALTON WITH SERIES OR APPROVED EQ
 - 8 FIRE-RATED FRONT ENTRY DOOR
 - 9 METAL W/ET CABINET DOORS
 - 10 DUAL GLAZED VINYL CLAD WINDOWS BY MILDARD STYLE LINE OR APPROVED EQ
 - 11 DUAL GLAZED VINYL CLAD SLIDING GLASS DOOR
 - 12 DUAL GLAZED VINYL CLAD FRENCH DOOR
 - 13
 - 14

- MATERIALS**
- 15 3 COAT BRUCCO APPLICATION w/ CONTROL JOINT AS INDICATED
 - 16 1/2" EXPOSURE SMOOTH LAP SIDING BY JAMES HARDIE OR EQUAL
 - 17 4" HIGH GUMBERAL AT BALCONY PATIO SURFACES GREATER THAN 36" ABOVE GRADE PER CBC SECT. 1903.2
 - 18
 - 19
 - 20
 - 21

- MISCELLANEOUS**
- 22 WALL CEILING BEYOND
 - 23 ADDRESS SIGN w/ MINIMUM 4" HIGH x 1/2" WIDE FRAMERS, PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. VERIFY LOCATION w/ LOCAL FIRE DEPARTMENT
 - 24 ○ SMALL SURFACE MOUNTED COMMON AREA LIGHT FIXTURE, PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
 - 24B ■ LARGE SURFACE MOUNTED COMMON AREA LIGHT FIXTURE, PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
 - 24C ▲ SURFACE MOUNTED UNIT LIGHT FIXTURE. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
 - 25 WALL MOUNTED FIRE ALARM SILENCE 2A 1800 FIRE EXTINGUISHER SEPARATED BY A MIN. TRAVEL DISTANCE OF 75'. VERIFY LOCATIONS WITH FIRE DEPT. TOP OF CABINET TO MOUNTED BATTEN 48" HP. METAL STORAGE CABINET BATTEN 72" HP. SEE DET. 11 & 13 AND 1
 - 26 SURFACE MOUNTED ROOF ACCESS LADDER - ALACO SHIPPING w/ SECURITY DR. OR APPROVED EQ

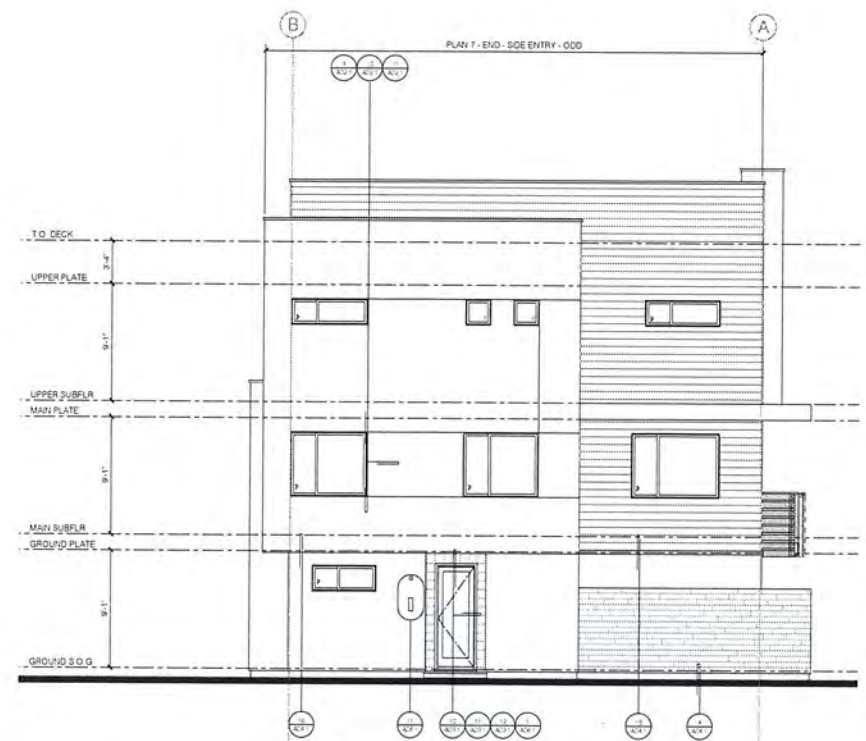
- ELEVATION GENERAL NOTES**
- 1 FOR ROOF PITCHES, REFER TO ROOF PLAN
 - 2 ALIGN WINDOW HEADS AS FOLLOWS. VERIFY ACTUAL FRAMING HEIGHTS WITH SELECTED WINDOW MANUFACTURERS THROUGH OPENING SPECIFICATIONS TYPICAL - 1/8" TYPICAL LIFT
 - 3 ACOUSTICS - SEE "RECOMMENDATIONS OF ACOUSTIC REPORT"
 - 4 CONTRACTOR TO CONSTRUCT AND CERTIFY THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF. PER CBC
 - 5 CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
 - 6 FINISH GRADES VARIES - SEE CIVIL PLANS FOR FINAL GRADES AND SITE DRAINAGE
 - 7 EXTERIOR WALLS WITH LESS THAN 10" FIRE SEPARATION DISTANCE SHALL BE 1-HOUR RATED FROM BOTH SIDES. NOTIFY ARCHITECT IN THE EVENT OF SUCH AN OCCURRENCE
 - 8 PROVIDE BACKING FOR ALL EXTERIOR BALCONIES, CORBELS, BONES, AND MISC. BIM
 - 9 ALL EXTERIOR PENETRATIONS SHALL INCORPORATE QUICK FLASH OR EQ. AT M.E.P. TYP.
 - 10 PROVIDE BACKING AT FESTIVE LIGHTING - REFER TO LEBST DRAWINGS FOR FURTHER DETAILS

- SEALANT & FASTENERS NOTES**
- DOOR FASTENER & SEALANT NOTES**
- 1 AT DOOR SILL PIN FLASHING, FASTENERS THROUGH THE HORIZONTAL PORTION OF THE PIN ARE PROHIBITED. FASTEN THROUGH VERTICAL DAMP-O-SEAL
- WINDOW FASTENER & SEALANT NOTES**
- 1 SECURE THE FULL PERIMETER WITH THE MINIMUM EQUIVALENT OF 40 FASTENERS ON A MAXIMUM OF 400 MM IN THE CENTER USING PRE-PUNCHED HOLES. IF PROVIDED, HORIZONTAL AND VERTICAL WINDOWS MAY REQUIRE ADDITIONAL FASTENERS LOCATED NEAR THE HEAD AND FOOT POINTS. FOR CURVED WINDOWS IT MAY BE APPROPRIATE TO FASTEN THE HEAD BUSH MARKER TO ALLOW FOR POSSIBLE MOVEMENT. IN ALL CASES FOLLOW THE MANUFACTURERS INSTRUCTIONS FOR ANY SPECIAL PROCEDURES OR APPLICATIONS AND NO OTHER FASTENER PENETRATIONS ARE ALLOWED THROUGH THE WINDOW FLANGE.
 - 2 AVOID OVERDRIVING FASTENERS. USE AN APPROPRIATELY SIZED FASTENER TO COVER THE WIDTH OF ANY PRE-PUNCHED HOLES AND SECURELY SECURE THE WINDOW TO THE STRUCTURE.
 - 3 SEARCH DIRECTION FROM ALL CORNERS THERE SHALL BE AT LEAST ONE WITHIN 250 MM (10") BUT NO CLOSER THAN 75 MM (3") TO PRESENT FRAME. OBSERVE FOR CRACKS OR FRACTURE OF JOINT SEAL.
 - 4 IF ANY DAMAGE TO WINDOW FRAME, JOINT SEAL OR MOUNTING FLANGE IS OBSERVED DURING INSTALLATION, THE INSTALLER SHALL REPAIR IT OR CONSULT WITH THE MANUFACTURER.
 - 5 VERIFY THAT SEALANT IS COMPATIBLE WITH FLASHING MEMBRANE (SAM) AND WINDOW FRAME. DO NOT USE PLASTICERS WITH ASPHALT BASED FLASHING.



REAR ELEVATION

BLDG. 7



RIGHT ELEVATION

BLDG. 7



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Revisions

No.	Date	Revision
1	06-06-2018	

Sheet Description:

BUILDING 7
EXTERIOR ELEVATIONS

Scale	3/16" = 1'-0"
Drawn	RJ/RK/AS
Checked	CH/RJ
Date	06-27-2018 PERMIT SUBMITTAL
Project#	317055

A8.3.2

ELEVATION NOTES

ROOF

- 1 PARAPET WALL W/ GCM CORNING CAP
- 2 LINE OF ROOF DECK BEYOND
- 3 GCM DOWNSPOUTS & OVERLOW SCUPPER SEE MEFP FOR DIMENSIONS. SEE ROOF PLAN FOR LOCATION
- 4 CLASS 4 40 YEAR COMPOSITION ROOF SYSTEMS SEE ROOF PLAN
- 5 GCM GUTTER THROUGH W/ SPILLWAY
- 6

DOORS AND WINDOWS

- 7 GARAGE DOORS SHALL BE A SECTIONAL ROLL-UP METAL DOOR BY QUANTEC BALCONY (R) SERIES OR APPROVED EQ.
- 8 FIBERGLASS FRONT ENTRY DOOR
- 9 METAL MESH CABINET DOORS
- 10 DUAL GLAZED VINYL CLAD WINDOWS BY MILGARD STYLE LINE OR APPROVED EQ.
- 11 DUAL GLAZED VINYL CLAD SLIDING GLASS DOOR
- 12 DUAL GLAZED VINYL CLAD FRENCH DOOR
- 13
- 14

MATERIALS

- 15 3 COAT BRUCO APPLICATION W/ CONTROL JOINT AS INDICATED
- 16 1/2" EXPOSURE SMOOTH LAP SIDING BY JAMES HARDIE OR EQUAL
- 17 1/2" HIGH QUALITY BALCONY PATIO SURFACES GREATER THAN 48" ABOVE GRADE PER CBC SECT. 1903.2
- 18
- 19
- 20
- 21

MISCELLANEOUS

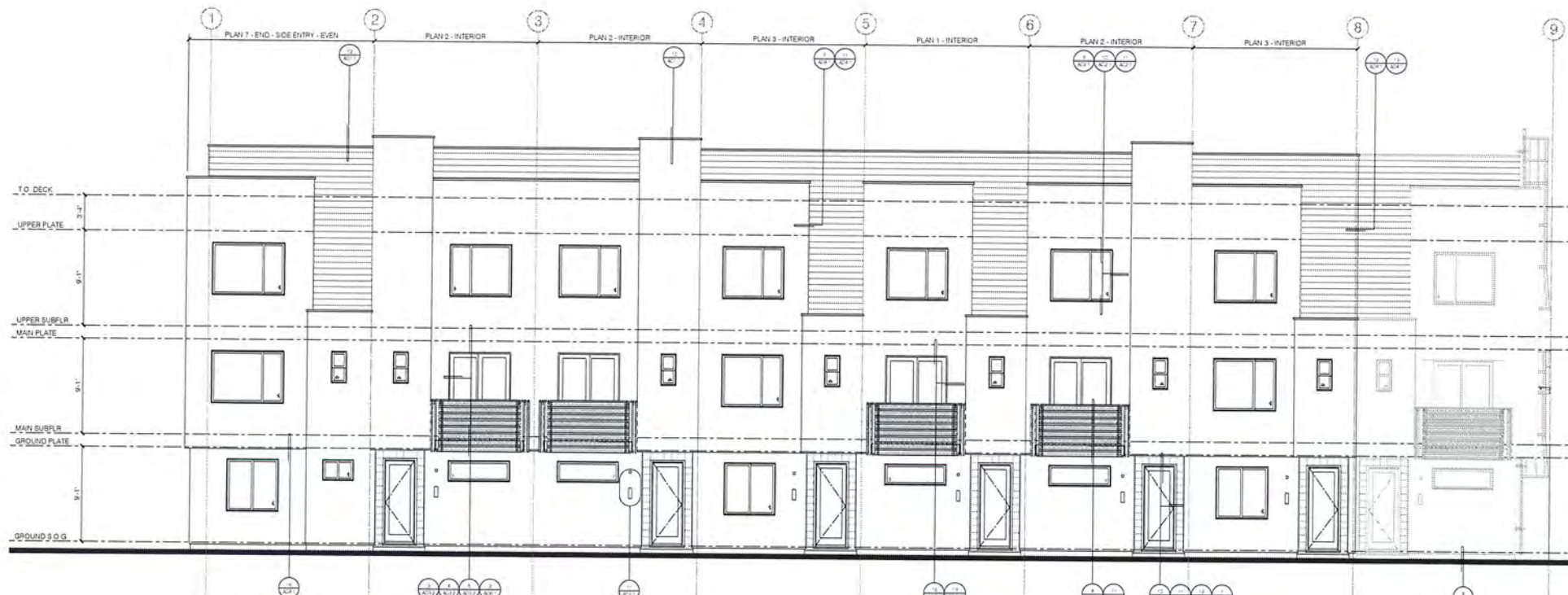
- 22 WALL CEILING BEYOND
- 23 ADDRESS 300 W/ MINIMUM 4" HIGH x 1/2" GORE MEMBERS PER COLOR BOOKLET BY AT 163021 CONDOR TENTS. VERIFY LOCATION LOCAL FIRE DEPARTMENT
- 24 0 SMALL SURFACE MOUNTED COMMON AREA LIGHT FIXTURE PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 25 0 LARGE SURFACE MOUNTED COMMON AREA LIGHT FIXTURE PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 26 0 SURFACE MOUNTED UNDERLIGHT FIXTURE. SEE BIA (BIA) ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 27 WALL MOUNTED TYPE ABC MIN. SIZE 2A RATED FIRE EXTINGUISHER SEPARATED BY A MAX. TRAVEL DISTANCE OF 70' VERIFY LOCATIONS WITH FIRE DEPT. TOP OF CABINET TO MOUNTED BETWEEN 48" OF EXISTING FINISH AND CABINET BOTTOM 27" AFF. SEE CDS 11 A 13 AND 17
- 28 SURFACE MOUNTED ROOF ACCESS LADDER - ALACO 5649920 W/ SECURITY OR APPROVED EQ.

ELEVATION GENERAL NOTES

- 1 FOR ROOF PITCHES REFER TO ROOF PLAN
- 2 ALIGN WINDOW HEADS AS FOLLOWS. VERIFY ACTUAL FRAMING HEIGHTS WITH SELECTED WINDOW MANUFACTURER THROUGH OPERATING SPECIFICATIONS. TYPICAL - 8" OF NOMINAL U.O.N.
- 3 ACOUSTICS - SEE RECOMMENDATIONS OF ACOUSTIC REPORT.
- 4 CONTRACTOR TO CONFIRM AND CERTIFY THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL FLASHED AS PER MANUFACTURER'S RECOMMENDATIONS. PER OBC CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 5 FINISHES & VARIES - SEE OCA PLAN FOR FIN. GRADES AND SITE DRAINAGE
- 6 EXTERIOR WALLS WITH LESS THAN 4" FREE SEPARATION DISTANCE SHALL BE THICKER RATED FROM BOTH SIDES. NOTIFY ARCHITECT IN THE EVENT OF SUCH AN OCCURRENCE
- 7 PROVIDE BACKING FOR ALL EXTERIOR BALCONIES, CORBELS, BONES, AND MISC. TRIM
- 8 ALL EXTERIOR FINISHES SHALL INCORPORATE QUICK FLASHING EQ. AT ME.P. TRIM
- 9 PROVIDE BACKING AT FINISH LIGHTINGS - REFER TO LUMP DRAWINGS FOR FURTHER INFO
- 10

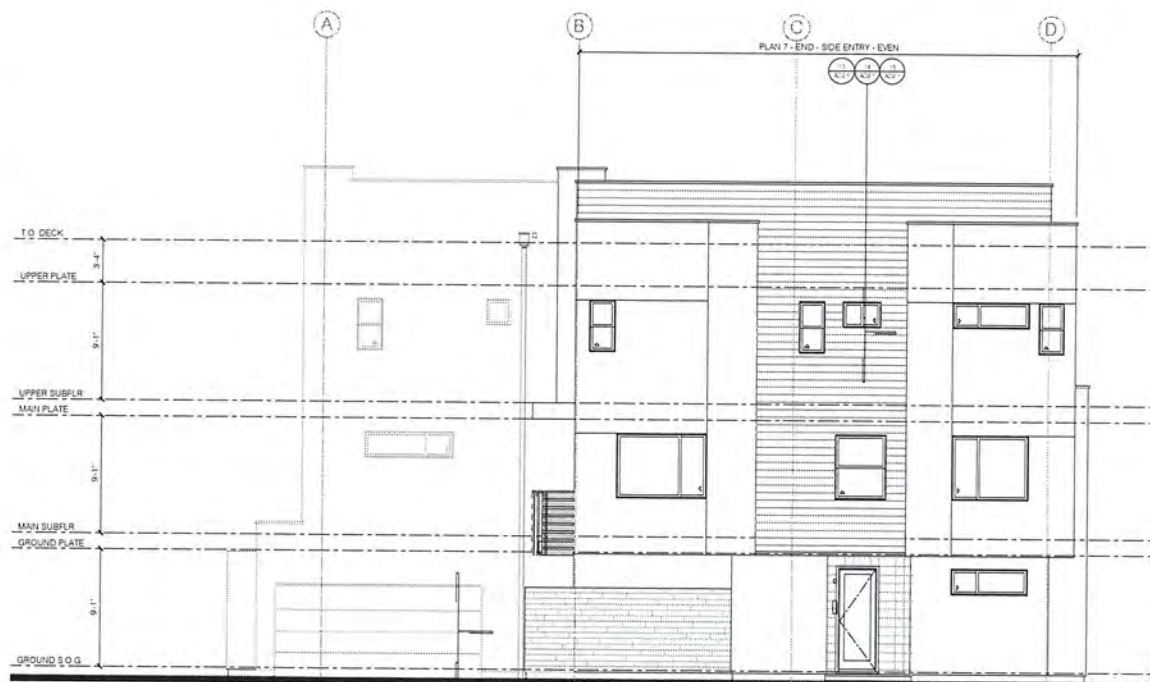
SEALANT & FASTENERS NOTES

- DOOR/FASER & SEALANT NOTES**
- 1 AT DOOR SILL PAN FLASHING FASTENERS THROUGH THE HORIZONTAL PORTION OF THE PAN ARE PROHIBITED. FASTENERS THROUGH VERTICAL PORTION ARE PERMITTED.
- WINDOW FASTENERS & SEALANT NOTES**
- 1 SECURE THE FULL PERME TRIM WITH THE MINIMUM EQUIVALENT OF 10 FASTENERS ON A MAXIMUM OF 800 MM IN 10 CENTERS USING PRE-PUNCHED HOLES. IF PROVIDED, HINGED AND POIST WINDOWS MAY REQUIRE ADDITIONAL FASTENERS LOCATED NEAR THE HINGE AND POIST POINTS. FOR CERTAIN WINDOWS IT MAY BE APPROPRIATE TO FASTEN THE HEAD IN A MANNER TO ALLOW FOR POSSIBLE MOVEMENT. FULL CARE MUST FOLLOW THE MANUFACTURER'S INSTRUCTIONS FOR ANY SPECIAL PROCEDURES OR APPLICATIONS AND ANY OTHER FASTENER FINISHINGS ARE ALLOWED THROUGH THE WINDOW FLANGE.
 - 2 ADDITIONAL FASTENERS USE AN APPROPRIATELY SIZED FASTENER TO COVER THE WIDTH OF ANY PRE-PUNCHED HOLE AND ADEQUATELY SECURE THE WINDOW TO THE STRUCTURE.
 - 3 IN EACH DIRECTION FROM ALL CORNERS THERE SHALL BE A FASTENER WITHIN 250 MM (10 IN) BUT NO CLOSER THAN 75 MM (3 IN) TO PREVENT FRAME DISTORTION OR FRACTURE OF JOINT SEAL.
 - 4 IF ANY DAMAGE TO WINDOW FRAME JOINT SEAL OR MOUNTING FLANGES IS OBSERVED DURING INSTALLATION, THE INSTALLER SHALL REPAIR IT OR CONSULT WITH THE MANUFACTURER.
 - 5 VERIFY THAT SEALANT IS COMPATIBLE WITH FLASHING MEMBRANE, GYPSUM AND WINDOW FRAME. DO NOT USE PLASTICIZERS WITH ASPHALT BASED FLASHING.



FRONT ELEVATION

BLDG. 8



LEFT ELEVATION

BLDG. 8

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Revisions

No.	Date	Revision
1	08-05-2018	

Sheet Description

**BUILDING 8
EXTERIOR ELEVATIONS**

Scale	3/16" = 1'-0"
Drawn	RJ/SR CK-AS
Checked	DH/RJ
Date	08-27-2018 PERMIT SUBMITTAL
Project#	317055

ELEVATION NOTES

ROOF

1. FLASHING SHALL BE 1/2" GALV CORRUG CAP
2. LINE OF ROOF DECK BEYOND
3. GUM DOWNSPOUTS & OVERFLOW SCOPPER SEE MEFF FOR DIMENSIONS SEE ROOF PLAN FOR LOCATIONS
4. CLEAR 4" MIN COMPOSITION ROOF SHEETES SEE ROOF PLAN
5. GUM GUTTER THROUGH SPILLWAY
- 6.

DOORS AND WINDOWS

7. GARAGE DOORS SHALL BE A SECTIONAL ROLL-UP METAL DOOR BY WARRIOR DALTON 1500 SERIES OR APPROVED EQ
8. FIBERGLASS FRONT ENTRY DOOR
9. METAL METER CABINET DOORS
10. DUAL GLAZED VINYL CLAD WINDOWS BY MINGARD STEEL LINE OR APPROVED EQ
11. DUAL GLAZED VINYL CLAD SLIDING GLASS DOOR
12. DUAL GLAZED VINYL CLAD FRENCH DOOR
- 13.
- 14.

MATERIALS

15. 3 COAT BRUXCO APPLICATIONS CONTROL JOINT AS INDICATED
16. (7) EXPOSURE SMOOTH LAP SERIES BY JAMES HARVEY OR EQUAL
17. 4" HIGH GUARDRAIL AT BALCONY PATIO SURFACES GREATER THAN 30" ABOVE GRADE PER CBC SECT 1603.2
- 18.
- 19.
- 20.
- 21.

MISCELLANEOUS

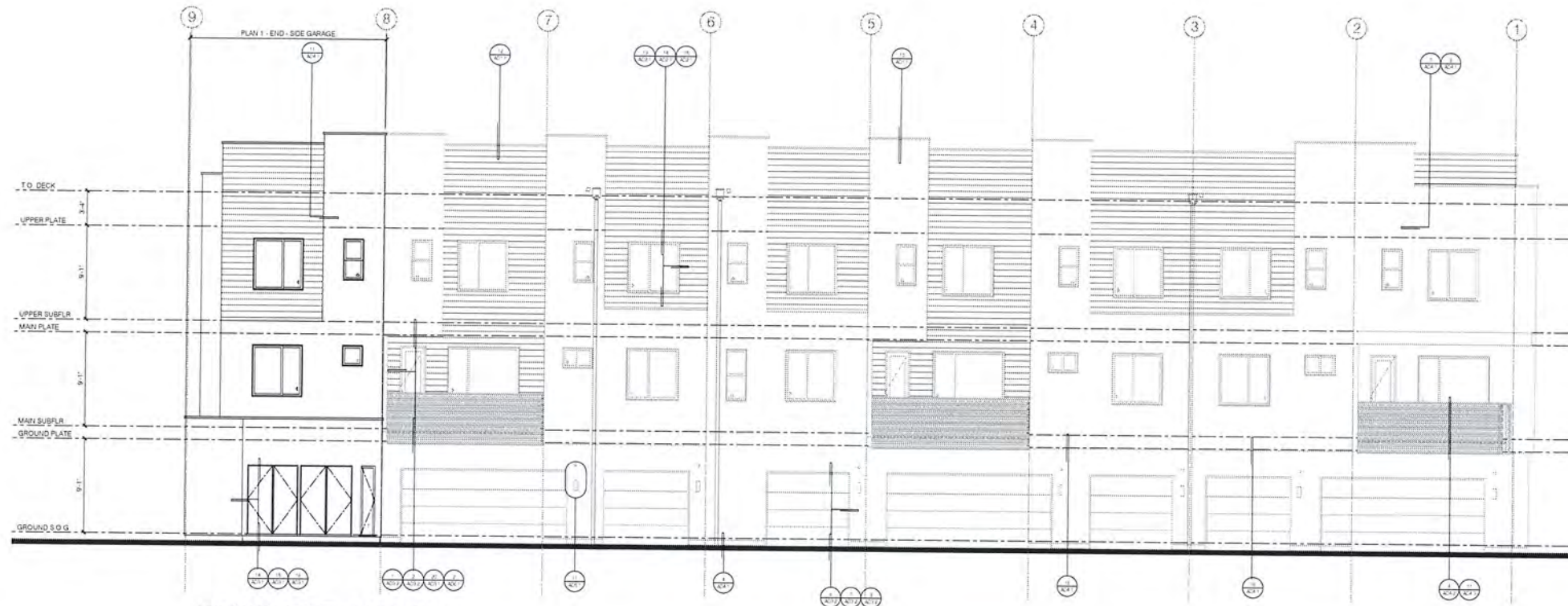
22. WALL CEILING BEYOND
23. ADDRESS SIGN IN MINIMUM 4" HIGH x 6" WIDE NUMBERS PER COLOR BOOKLET BY AT DESIGN CONSULTANTS VERIFY LOCATION W/ LOCAL FIRE DEPARTMENT
24. (D) SMALL SURFACE MOUNTED COMMON AREA LIGHT FIXTURE PER COLOR BOOKLET BY AT DESIGN CONSULTANTS SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 24C. (D) LARGE SURFACE MOUNTED COMMON AREA LIGHT FIXTURE PER COLOR BOOKLET BY AT DESIGN CONSULTANTS SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 24D. (D) SURFACE MOUNTED UNIT LIGHT FIXTURE SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
25. WALL MOUNTED FIRE ABC 1/2" MIN SIZE 2 1/2" HIGH FIRE EXTINGUISHER SEPARATED BY A MIN. TRAVEL DISTANCE OF 75' VERIFY LOCATIONS WITH FIRE DEPT. TOP OF CABINET TO MOUNTED STATION 48" MIN. INSTALL SIGNAGE AND CABINET 18" MIN. 27" H. SEE DETS. 11 & 13 ADT 1
26. SURFACE MOUNTED ROOF ACCESS LADDER - ALACO 264RPPC W/ SECURITY OR OR APPROVED EQ

ELEVATION GENERAL NOTES

1. FOR ROOF PITCHES REFER TO ROOF PLAN
2. ALLOW WINDOW HEADS AS FOLLOWS. VERIFY ACTUAL FRAMING HEIGHTS WITH SELECTED WINDOW MANUFACTURERS THROUGH OPENING SPECIFICATIONS TYPICAL - 8" OF NORMAL V.O.M.
3. ACCESSORIES - SEE RECOMMENDATIONS OF ACQUA/TIC REPORT.
4. CONTRACTOR TO CONSTRUCT AND CERTIFY THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF PER CBC.
5. CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS FINISHES AND COLORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
6. FINISH GRADES VARY - SEE CIVIL PLANS FOR FINAL GRADES AND SITE DRAINAGE.
7. EXTERIOR WALLS UNLESS FINISH TO FIRE SEPARATION DISTANCE SHALL BE 1/2" MIN. RATED FROM BOTH SIDES. NOTIFY ARCHITECT IN THE EVENT OF SUCH AN OCCURRENCE.
8. PROVIDE BACKING FOR ALL EXTERIOR BALCONIES, CORBELS, BOXES, AND MISC. IRM.
9. ALL EXTERIOR PENETRATIONS SHALL INCORPORATE QUICK-FLASH OR EQ. AT M.E.P. TYP.
10. PROVIDE BACKING AT FESTIVE LIGHTING - REFER TO LSP DRAWINGS FOR FURTHER INFO.

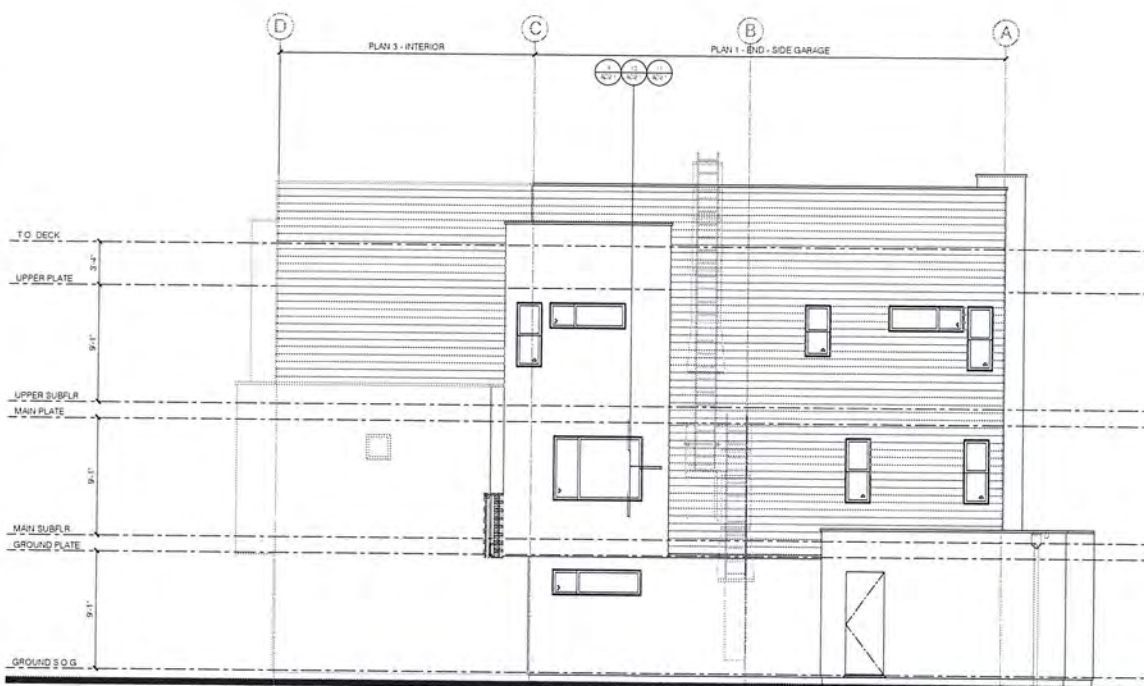
SEALANT & FASTENERS NOTES

- DOOR/FASTER & SEALANT NOTES**
1. AT DOOR SILL PANEL FLASHING FASTENERS THROUGH THE HORIZONTAL PORTION OF THE PANEL ARE PROHIBITED. FASTEN THROUGH DAMS ONLY.
- WINDOW FASTER & SEALANT NOTES**
1. SECURE THE FULL PERMETER WITH THE MINIMUM EQUIVALENT OF 40 FASTENERS ON A MAXIMUM OF 8" MAX PER FT. SPACES USING PRE-PUNCHED HOLES. IF PROVIDED TRIGGERS AND PUNCH WINDOWS MAY REQUIRE ADDITIONAL FASTENERS LOCATED NEAR THE HINGE AND PUNCH POINTS. FOR CERTAIN WINDOWS IT MAY BE APPROPRIATE TO FASTEN THE HEAD IN A MANNER TO ALLOW FOR POSSIBLE MOVEMENT. IN ALL CASES FOLLOW THE MANUFACTURERS INSTRUCTIONS FOR ANY SPECIAL PROCEDURES OR APPLICATIONS AND NO OTHER FASTENER TYPE TRACKS ARE ALLOWED THROUGH THE WINDOW FLANGE.
 2. AVOID OVERDRIVING FASTENERS. USE AN APPROPRIATELY SIZED FASTENER TO COVER THE WIDTH AND PRE-PUNCHED HOLES AND SECURELY SECURE THE WINDOW TO THE STRUCTURE.
 3. REACH DIRECTLY FROM ALL CORNERS THERE SHALL BE A FASTENER WITHIN 250 MM (10 IN) BUT NO CLOSER THAN 75 MM (3 IN) TO PREVENT FRAME DISTORTION OR FRACTURE OF JOINT SEALS.
 4. IF ANY DAMAGE TO WINDOW FRAME JOINT SEAL OR MOUNTING FLANGES IS OBSERVED DURING INSTALLATION, THE INSTALLER SHALL REPAIR IT OR CONSULT WITH THE MANUFACTURER.
 5. VERIFY THAT SEALANT IS COMPATIBLE WITH FLASHING MEMBRANE (SBSM) AND WINDOW FRAME. DO NOT USE PLASTICERS WITH ASPHALT BASED FLASHING.



REAR ELEVATION

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RIGHT ELEVATION

BLDG. 8



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Revisions:

No.	Date	Revision
1	06-20-2018	

Sheet Description:

BUILDING 8
EXTERIOR ELEVATIONS

Scale	3/16" = 1'-0"
Drawn	RJ/RJ/CK/AS
Checked	DH/RJ
Date	06-27-2018 PERMIT SUBMITTAL
Project#	1817055

ELEVATION NOTES

- 1. FINISH SHALL BE GOM COPING CAP
- 2. LINE OF ROOF DECK FINISH
- 3. DIMENSIONS AND OVERLAP SCUPPER. SEE MEP FOR DIMENSION. SEE ROOF PLAN FOR LOCATIONS
- 4. CLASS A W/HEAR COMPOSITION ROOF SHAKES. SEE ROOF PLAN
- 5. GOM GUTTER THROUGH SLEEVES
- 6.

DOORS AND WINDOWS

- 7. GARAGE DOORS SHALL BE A SECTIONAL ROLL-UP METAL DOOR BY WYMAN DALZIEL #100 SERIES OR APPROVED EQ.
- 8. FRIGGLASS FRONT ENTRY DOOR
- 9. METAL METER CABINET DOORS
- 10. DUAL GLAZED VINYL CLAD WINDOWS BY MILGARD STYLE LINE. OR APPROVED EQ.
- 11. DUAL GLAZED VINYL CLAD TUBING GLASS DOOR
- 12. DUAL GLAZED VINYL CLAD FRENCH DOOR
- 13.
- 14.

MATERIALS

- 15. 3/8" GOM STUCCO APPLICATION @ CONTROL JOINT AS NOTATED
- 16. (7) EXPOSURE SMOOTH LAP SERIES BY JAMES HANCOCK OR EQUAL
- 17. 4" HIGH GUARDRAIL AT BALCONY PATIO SURFACES GREATER THAN 30" ABOVE GRADE PER CBC SECT. 1603.2
- 18.
- 19.
- 20.
- 21.

MISCELLANEOUS

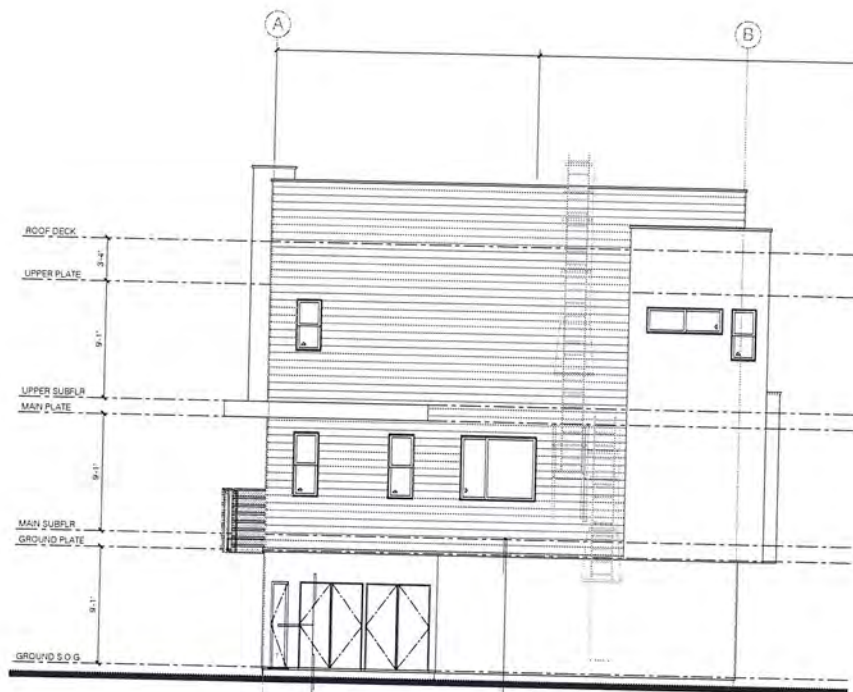
- 22. WALL OPENING PROTECT
- 23. ADDRESS SIGN 6" MINIMUM X 12" X 12" (SEE NUMBER). PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. VERIFY LOCATION W/ LOCAL FIRE DEPARTMENT
- 24. SMALL SURFACE MOUNTED COMMON AREA LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 25. LARGE SURFACE MOUNTED COMMON AREA LIGHT FIXTURE. PER COLOR BOOKLET BY AT DESIGN CONSULTANTS. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 26. SURFACE MOUNTED LIGHT FIXTURE. SEE BUILDING ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
- 27. WALL MOUNTED FIRE ALARM. SEE 2016 IBC 7105.1 FIRE EXTINGUISHER SEPARATED BY A MAX. TRAVEL DISTANCE OF 75'. VERIFY LOCATIONS WITH THE DEPT. TOP OF CABINET TO MOUNTED WITHIN 48" OF INSTALLED STORAGE CABINET WITHIN 77'-4" SEE DET. 11 & 13 ADOT 1
- 28. SURFACE MOUNTED ROOF ACCESS LADDER - ALLOY STEEL W/ SECURITY EN. OR APPROVED EQ.

ELEVATION GENERAL NOTES

- 1. FOR ROOF PITCHES, REFER TO ROOF PLAN
- 2. ALONG WINDOW HEADS AS FOLLOWS. VERIFY ACTUAL FINISHING HEIGHTS WITH SELECTED WINDOW MANUFACTURERS THROUGH PLANNING SPECIFICATIONS TYPICAL 4'-0" NOMINAL U.O.M.
- 3. ACOUSTICS - SEE RECOMMENDATIONS OF ACOUSTIC REPORT
- 4. CONTRACTOR TO CONSTRUCT AND VERIFY THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHER PROOF. PER CBC
- 5. CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION
- 6. FINISH GRADES VARY - SEE C.A.L. PLANS FOR FINISH GRADES AND SITE DRAINAGE
- 7. EXTERIOR WALLS WITH LESS THAN A 10' FIRE SEPARATION DISTANCE SHALL BE 1-HOUR RATED FROM BOTH SIDES. VERIFY ASPECT IN THE EVENT OF SUCH AN OCCURRENCE
- 8. PROVIDE BACKING FOR ALL EXTERIOR SLOTTED, CORBEL, BOHEM, AND MISC. IRM
- 9. ALL EXTERIOR PENETRATIONS SHALL INCORPORATE QUICK FLASH OR EQ. AT M.E.P. TP
- 10. PROVIDE BACKING AT FEATHER LIGHTING - REFER TO LDRP DRAWINGS FOR FURTHER INFO

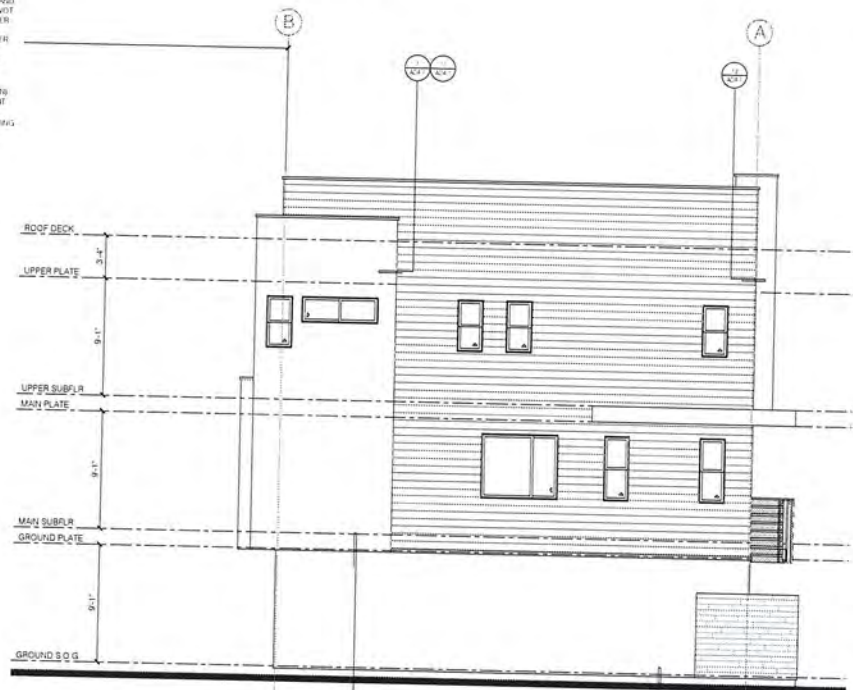
SEALANT & FASTENERS NOTES

- DOOR FASTENERS & SEALANT NOTES
- 1. AT DOOR SILL PAN FLASHING, FASTENERS THROUGH THE HORIZONTAL PORTION OF THE PAN ARE PROHIBITED. FASTEN THROUGH VERTICAL DIMS ONLY
- WINDOW FASTENERS & SEALANT NOTES
- 2. SECURE THE FULL PERIMETER WITH THE MINIMUM EQUIVALENT OF 10D FASTENERS ON A MAXIMUM OF 48" MAX IN THE CENTER (SEE PROTECTIVE SCHEDULES IF PROVIDED). FINISHED AND PROOF WINDOWS MAY REQUIRE ADDITIONAL FASTENERS LOCATED NEAR THE HINGE AND POINT POINTS FOR CERTAIN WINDOW TYPES MAY BE APPROPRIATE TO ADJUST THE HEAD IN A MANNER TO ALLOW FOR POSSIBLE MOVEMENT. IN ALL CASES FOLLOW THE MANUFACTURER'S INSTRUCTIONS FOR ANY SPECIAL PROCEDURES OR APPLICATIONS AND NO OTHER FASTENER PENETRATIONS ARE ALLOWED THROUGH THE WINDOW FRAME
- 3. AVOID OVERPENETRATING FASTENERS. USE AN APPROPRIATELY SIZED FASTENER TO COVER THE WIDTH OF ANY FINISHED HOLES AND ADEQUATELY SECURE THE WINDOW TO THE STRUCTURE
- 4. IN EACH DIRECTION FROM ALL CORNERS THERE SHALL BE A FASTENER WITH AN 80 MM (3 1/8") BUT NOT CLOSER THAN 75 MM (3") TO PREVENT FRAME DISTORTION OR FRACTURE OF JOINT SEALS
- 5. IF ANY DAMAGE TO WINDOW FRAME, JAMB SEAL OR MOUNTING FRAMES IS OBSERVED DURING INSTALLATION, THE INSTALLER SHALL REPAIR IT OR CONSULT WITH THE MANUFACTURER
- 6. VERIFY THAT SEALANT IS COMPATIBLE WITH FRAME MEMBRANE (SAM) AND WINDOW FRAME. DO NOT USE PLASTICERS WITH ASPHALT BASED FLASHINGS



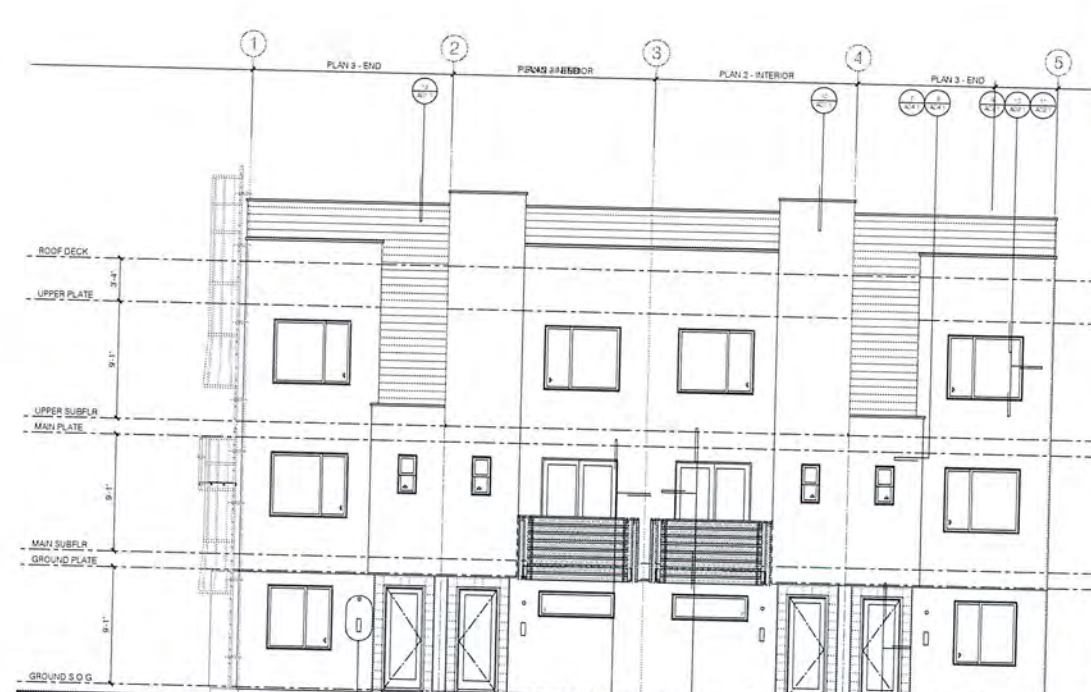
LEFT ELEVATION

BLDG. 9



RIGHT ELEVATION

BLDG. 9



FRONT ELEVATION

BLDG. 9



REAR ELEVATION

BLDG. 9

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OAKLAND 5
WATTLING STREET
CONDOMINIUMS
3927 WATTLING ST., OAKLAND, CA
AP# 17 033-2169-016-01 033-2169-016-02 & 033-2170-003-00

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Revisions:

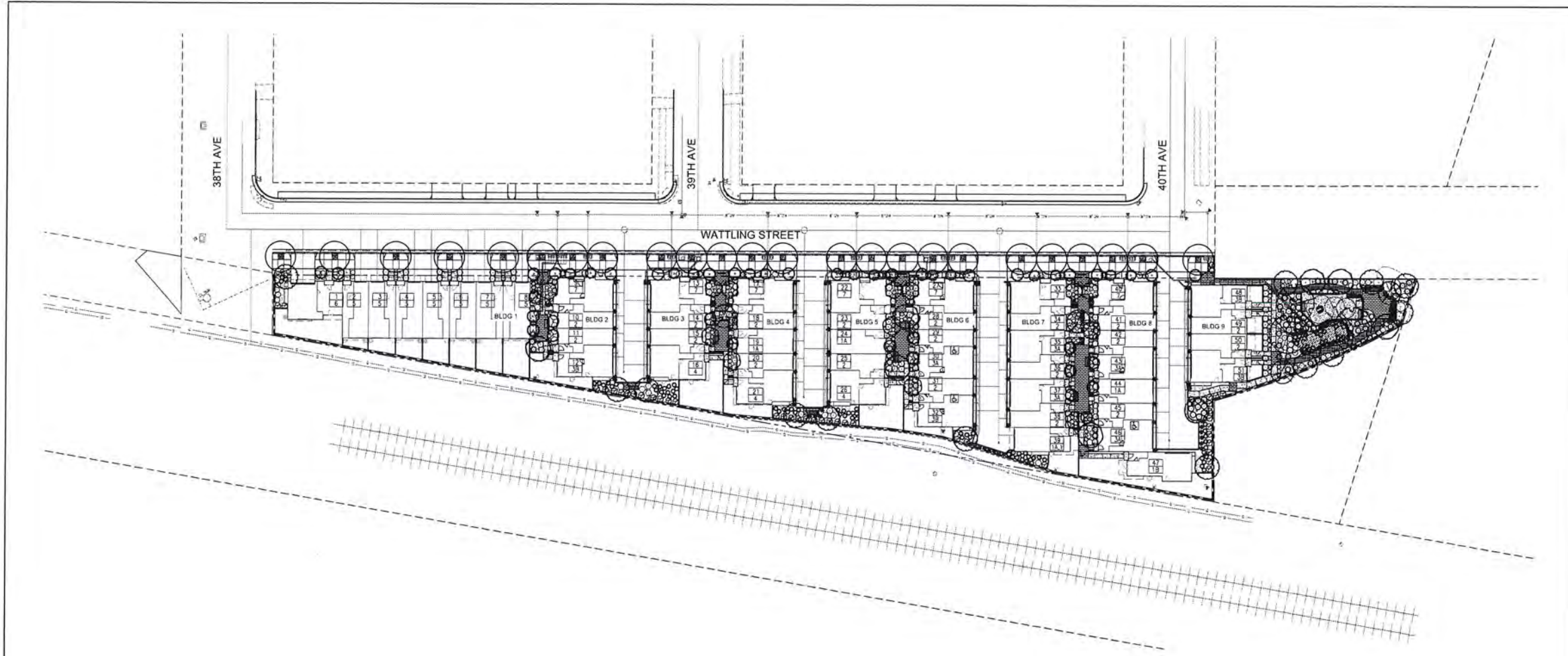
No.	Date	Revision
1	08-08-2018	

Sheet Description:

BUILDING 9
EXTERIOR ELEVATIONS

Scale	3/8" = 1'-0"
Drawn	RJ NR DK AS
Checked	DH RJ
Date	06-27-2018 PERMIT SUBMITTAL
Project#	317055

A10.3.1



PLANTING & WATER EFFICIENCY DESIGN INTENT STATEMENT

THE PLANTING DESIGN INCORPORATES PRINCIPLES INCLUDED IN THE "BAY FRIENDLY LANDSCAPE GUIDELINES".

THE PLANTING DESIGN UTILIZES PRIMARILY LOW WATER USE, HARDY, FREEWAY TOLERANT, & NATIVE PLANT SPECIES AND ORNAMENTAL PLANTS ADAPTED TO LOCAL CLIMATIC CONDITIONS. PLANTS ARE GROUPED BY HYDROZONE, & EXPOSURE. THE PLANTING DESIGN ALLOWS FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE AND ELIMINATES THE NEED FOR EXCESSIVE PRUNING OR HEDGING.

TREE SPECIES HAVE BEEN CHOSEN TO PROVIDE A VARIATION OF HEIGHTS, WIDTHS, COLORS, TEXTURES, AND CHARACTER. TREE LOCATION AND ORIENTATION HAVE BEEN DESIGNED FOR MAXIMUM AESTHETIC EFFECT AND PASSIVE SOLAR BENEFITS. EVERGREEN TREES ARE USED TO HELP IMPROVE AIR QUALITY AND REDUCE EVAPORATIVE EMISSIONS FROM VEHICLES.

VEGETATED SWALES AND BIO-TREATMENT AREAS WILL BE PLANTED WITH APPROVED GRASSES, SHRUBS & TREES THAT ARE ADAPTED TO BIO-SWALE CONDITIONS, PER THE ALAMEDA COUNTY PLANT LIST FOR LANDSCAPE BASED STORMWATER MEASURES.

THE PLANTING AND IRRIGATION DESIGN WILL COMPLY WITH THE STATE OF CALIFORNIA'S 2010 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE INCLUDING THE 2015 DROUGHT EMERGENCY REGULATIONS AND WUCOLS III.

NO PLANTS ARE USED THAT ARE CONSIDERED INVASIVE IN THE REGION AS LISTED BY THE CAL-IPC.

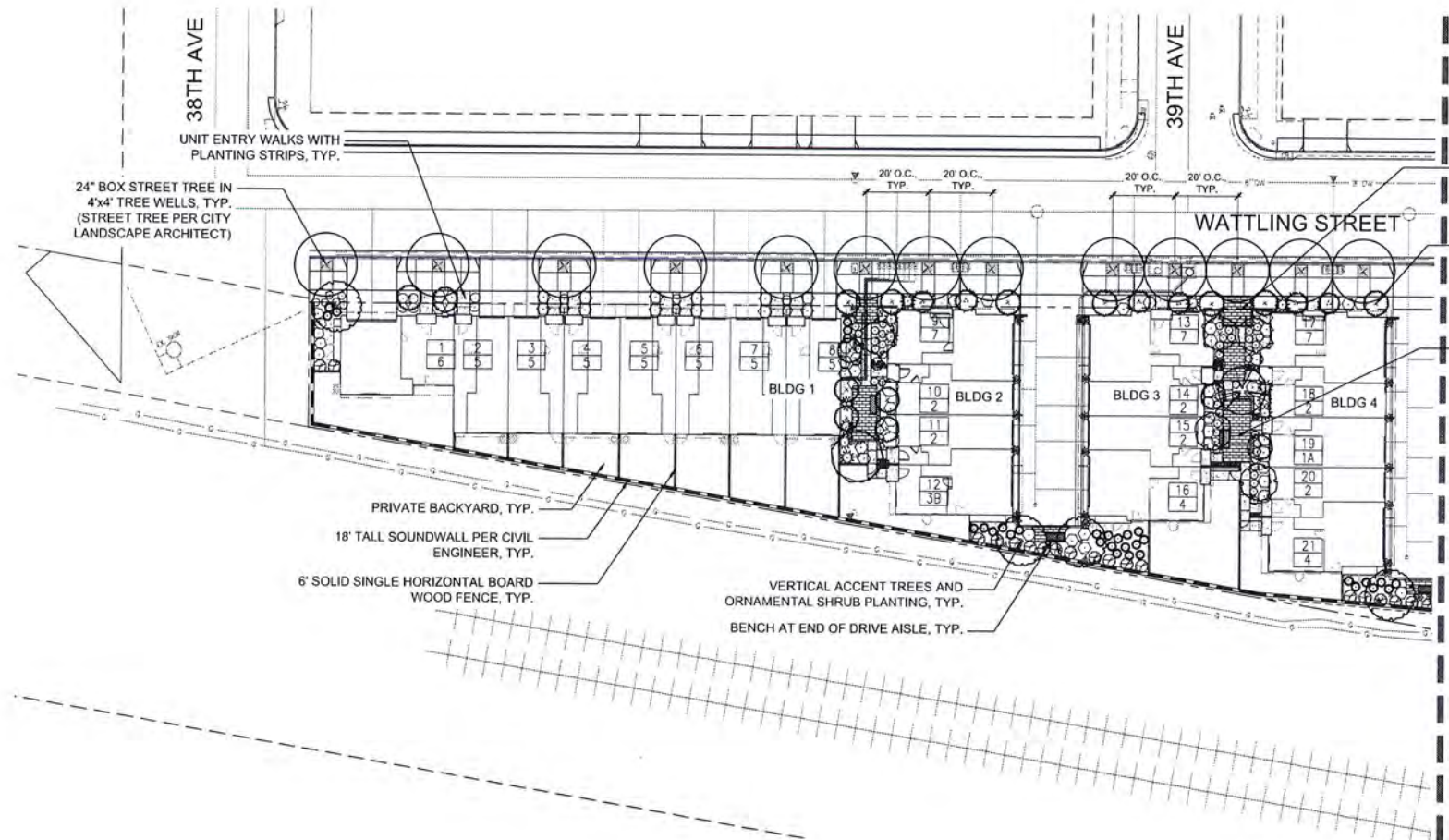
IRRIGATION DESIGN INTENT STATEMENT

THE IRRIGATION SYSTEMS WILL UTILIZE A COMBINATION OF PRESSURE COMPENSATING LOW VOLUME DRIP EMITTER. PLANT SPECIES WILL BE GROUPED BY HYDROZONE AND IRRIGATED ON SEPARATE HYDROZONE VALVE CIRCUITS.

SMART E.T. BASED IRRIGATION CONTROLLERS SHALL BE UTILIZED TO OPTIMIZE EFFICIENT WATER APPLICATION. SMART CONTROLLERS AUTOMATICALLY ADJUST THEIR DAILY WATER SCHEDULE PROGRAMMING BASED UPON THE LOCAL CLIMATE AT THE PROJECT SITE. SMART CONTROLLERS RECEIVE WIRELESS DATA DAILY FROM THE IRRIGATION MANUFACTURERS WEATHER DATA SERVICE. A RAIN SWITCH WILL BE INSTALLED TO PREVENT IRRIGATION DURING RAINY PERIODS.

A FLOW SENSOR AND MASTER VALVE WILL BE CONNECTED TO THE SMART CONTROLLER TO ALLOW AUTOMATIC SHUT OFF OF ANY VALVE CIRCUIT OR MAIN LINE IN THE EVENT OF A PIPE BRAKE TO PREVENT WATER WASTE.

THE IRRIGATION SYSTEM WILL BE DESIGNED FOR CONNECTION TO RECYCLED WATER, WHERE AVAILABLE, AND SHALL BE INSTALLED TO COMPLY WITH EBMUD'S RECYCLED WATER STANDARD, DETAILS AND SPECIFICATIONS.



RECESSED PEDESTRIAN ENTRY PATIO WITH 6" SOLID DOUBLE HORIZONTAL BOARD WOOD FENCE & GATE, MAILBOX KIOSK w/ CALL BOX AND ENHANCED DECORATIVE PAVING, TYP.

VERTICAL BAMBOOS AND DWARF ACCENT OLIVES WITH ALTERNATING MASSINGS OF BOLD STRAPPY TEXTURED SHRUBS AND OTHER SMALLER ORNAMENTAL LOW WATER USE PLANTS, TYP.

COMMUNAL PASEO WITH ENHANCED DECORATIVE PAVING w/ STAGGERED ENTRY WALKS, SEATWALLS, BENCH, AND FLOWERING ACCENT TREES AND LOW WATER USE SHRUBS AND GROUNDCOVER, TYP.

PRIVATE BACKYARD, TYP.

18" TALL SOUNDWALL PER CIVIL ENGINEER, TYP.

6" SOLID SINGLE HORIZONTAL BOARD WOOD FENCE, TYP.

VERTICAL ACCENT TREES AND ORNAMENTAL SHRUB PLANTING, TYP.

BENCH AT END OF DRIVE AISLE, TYP.

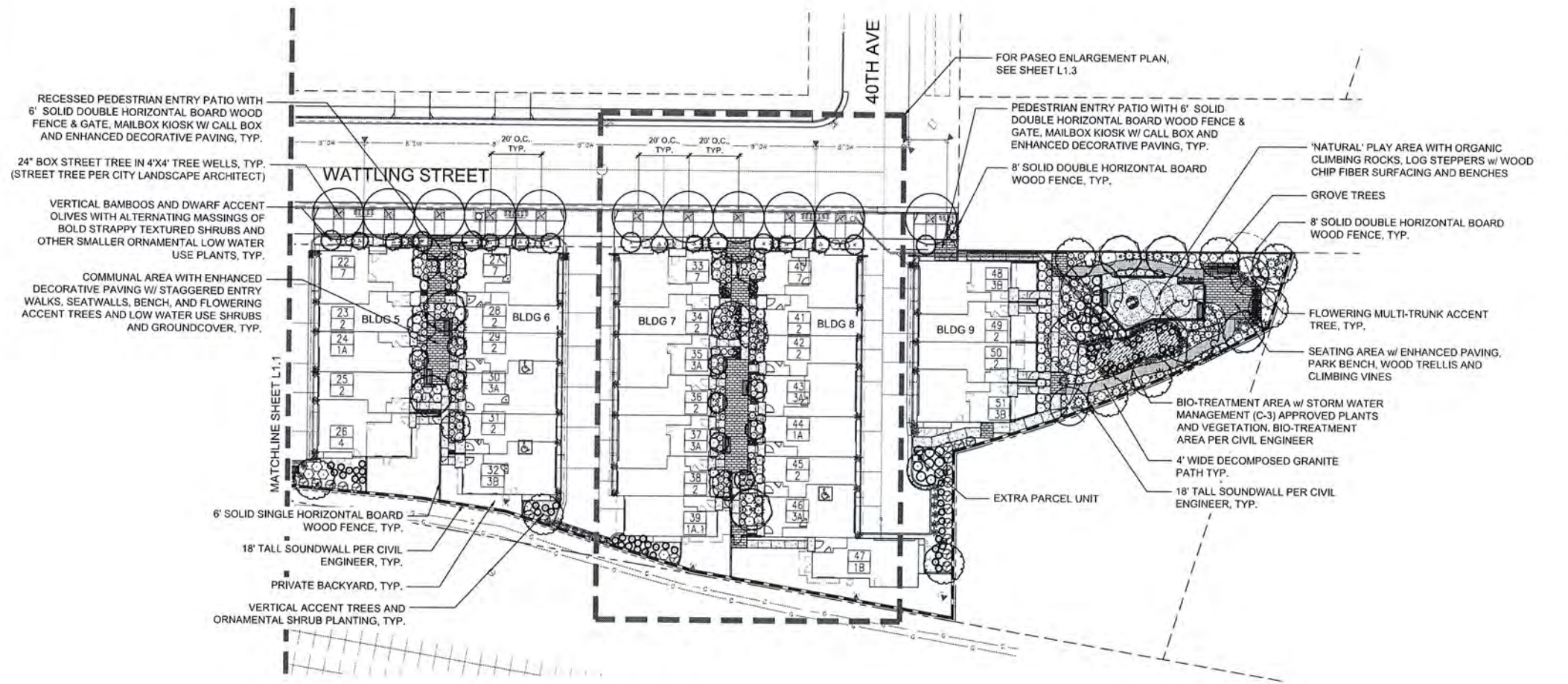
VAN DORN ABED
 LANDSCAPE ARCHITECTS, INC.
 81 14TH ST., SAN FRANCISCO, CA
 ZP 94103 PH (415) 864-1921 FAX(415) 864-4796

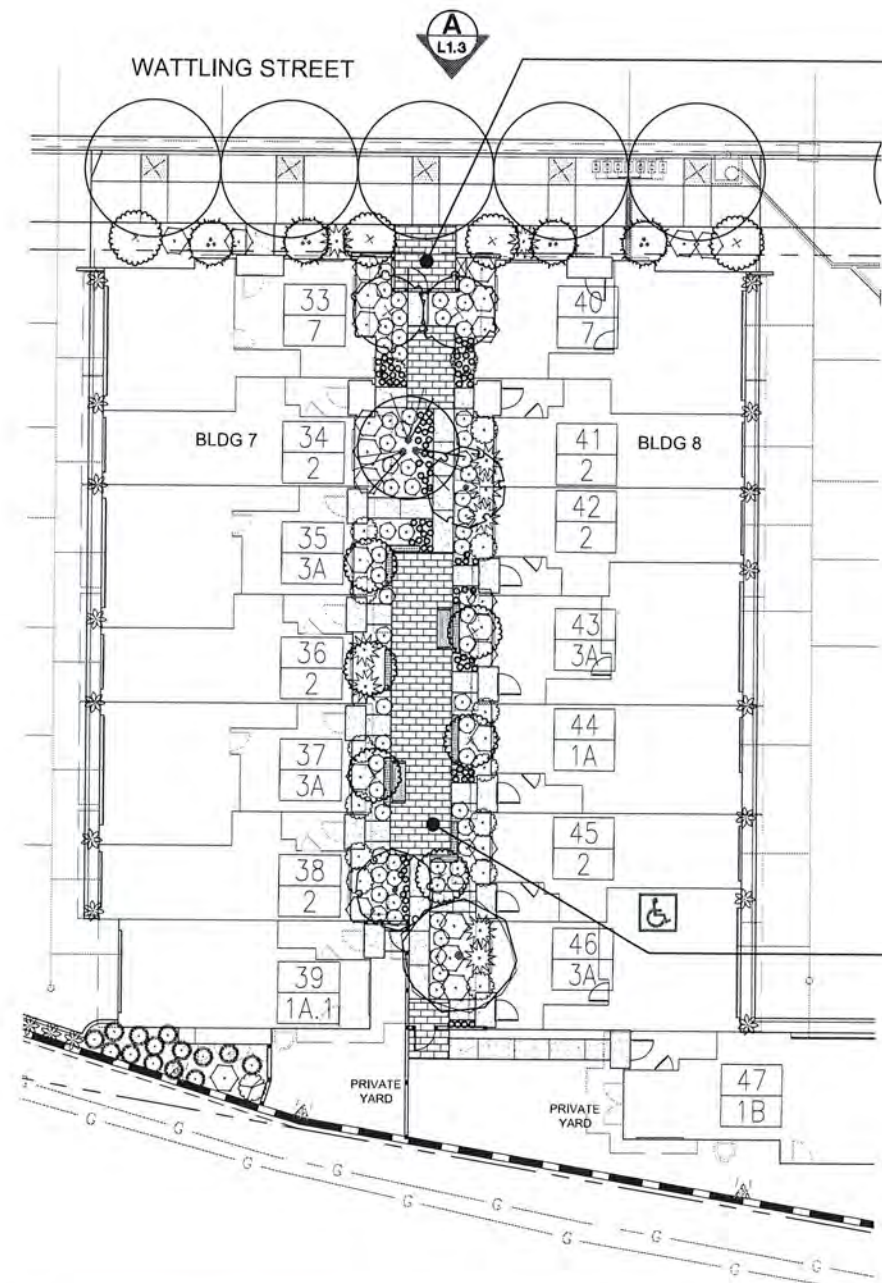
CITY VENTURES, INC.
OAKLAND 5
 OAKLAND, CALIFORNIA

CONCEPTUAL LANDSCAPE PLAN
 SCALE: 1" = 20'-0"
 DATE: 09/19/18



L1.1





PEDESTRIAN ENTRY FENCE & GATE:

MATERIALS: RECESSED PEDESTRIAN ENTRY PATIO WITH 6" SOLID DOUBLE HORIZONTAL BOARD WOOD FENCE & GATE, MAILBOX KIOSK W/ CALL BOX AND ENHANCED DECORATIVE PAVING, TYP.

PLANTING: VERTICAL BAMBOOS AND DWARF ACCENT OLIVES WITH ALTERNATING MASSINGS OF BOLD STRAPPY TEXTURED SHRUBS AND OTHER SMALLER ORNAMENTAL LOW WATER USE PLANTS, TYP.

COMMUNAL PASEO:

MATERIALS: ENHANCED DECORATIVE PAVING w/ STAGGERED ENTRY WALKS, SEATWALLS, BENCHES

PLANTING: FLOWERING ACCENT TREES AND LOW WATER USE SHRUBS AND GROUNDCOVER, TYP.



SCORED CONCRETE



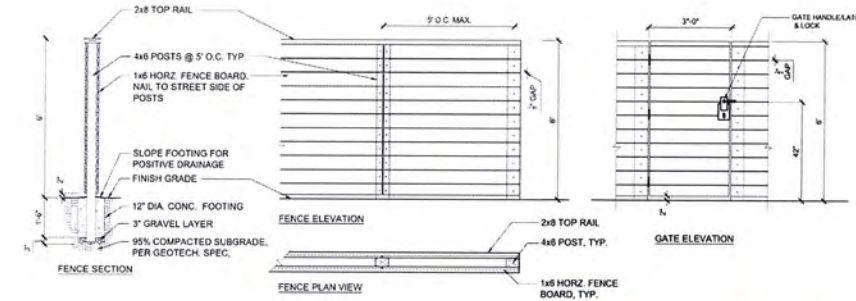
ENHANCED/ SPECIAL PAVING



DECOMPOSED GRANITE



Decomposed Granite



FENCE & GATE



LIGHT BOLLARD



BIKE RACK

TRASH & RECYCLING RECEPTACLES



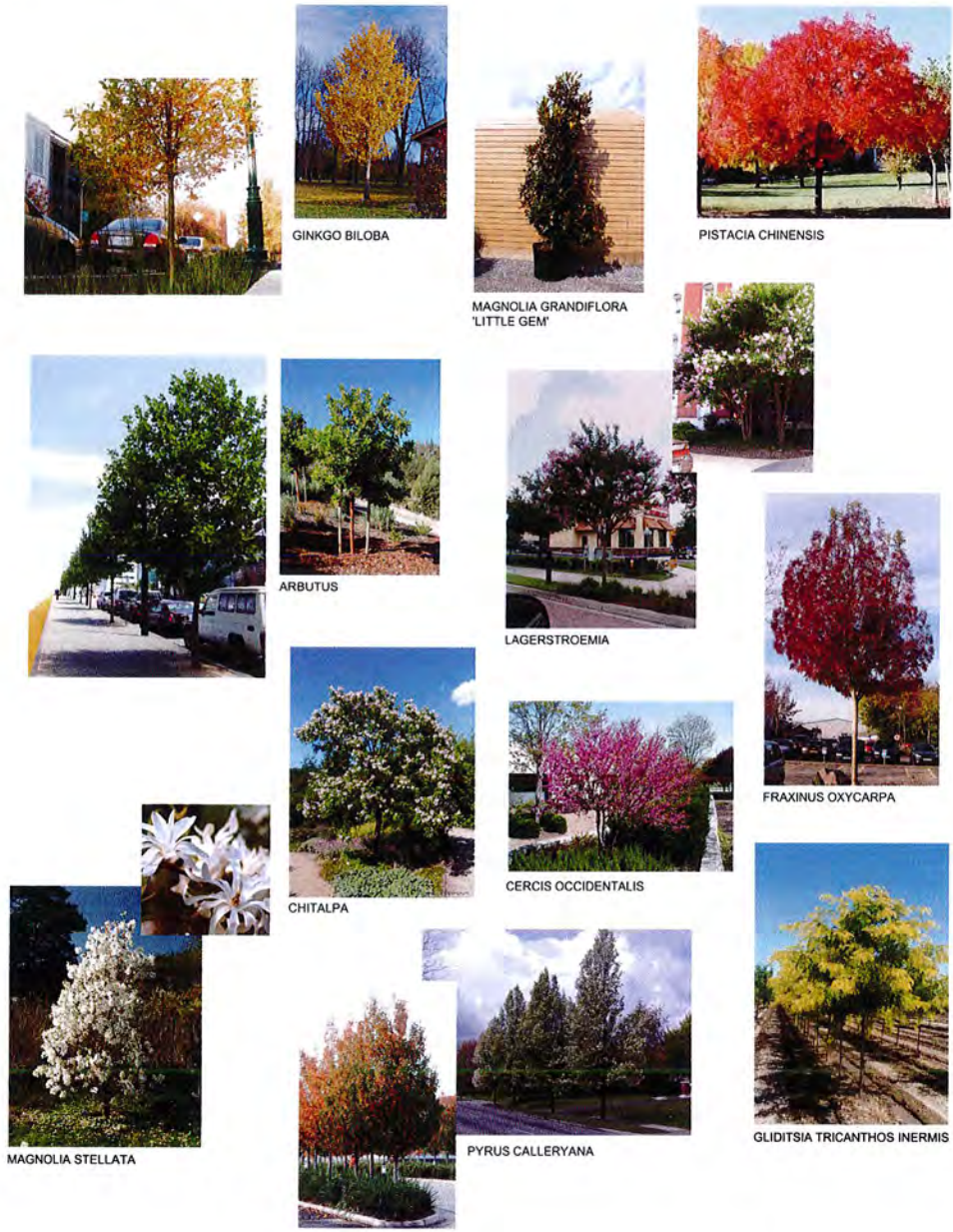
BENCH



TRELLIS



CONCEPTUAL TREE IMAGERY



CONCEPTUAL SHRUBS & GROUNDCOVER IMAGERY





