

Case File Number: PLN18-142

October 24, 2018

Location:	3245 Hollis Street (See map on reverse)
Assessors Parcel Number:	007-0594-008-00 & 007-0594-009-00
Proposal:	To merge two parcels and re-subdivide them into five mini-lots and construct a 10-unit townhouse-style condominium development.
Owner:	Timberline Funds, LP
Applicant:	Levy Design Partners – Casey Feeser (415)777-5117
Planning Permits Required:	Minor Conditional Use Permit for a Mini-lot Development and Shared Access Facility; Design Review for new construction; and Tentative Tract Map (TTM8464) to merge and re-subdivide the site into five mini-lots and create 10 residential condominiums.
General Plan:	Housing and Business Mix
Zoning:	HBX – 2 Housing and Business Mix Zone 2
Environmental Determination:	Exempt 15332; State CEQA Guidelines, Infill development; Project also relies on WOSP EIR; and Section 15183 of the CEQA Guidelines (projects consistent with a community plan, general plan, or zoning).
Historic Status:	Not a Potential Designated Historic Property (PDHP); Survey Rating: N/A
Service Delivery District:	1
City Council District:	3
Status:	Approved at the August 1, PC and referred to DRC
Action to be Taken:	Provide design comments.
For Further Information:	Contact case planner Maurice Brenyah-Addow at (510) 238-6342 or by email at mbrenyah@oaklandnet.com

SUMMARY

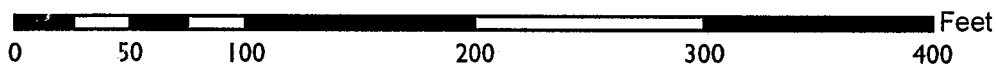
Levi Design Partners is requesting approval of an application for a new Mini-lot Development served by a Shared Access Facility to create five mini-lots and construct 10 new townhouse-style residential condominiums (with two units on each of the five mini-lots). The project is proposed to be constructed at a 9,975 square-foot site mid-block on Hollis Street between 34th Street to the north, and Peralta Street to the south.

A Minor Conditional Use Permit is required for the Mini-lot development and the Shared Access Facility. Design Review is required for the new construction, and a Tentative Tract Map is required to subdivide the site into five parcels. The proposed development is substantially consistent with the applicable land use regulations and property development standards as specified in the Oakland Planning Code subject to conditions of approval.

On August 1, 2018, the Planning Commission approved the project and referred it to the Design Review Committee for further design improvements. Staff believes the proposed revision fails to successfully address the front façade in that it applies too many different shapes and treatments, including a rectangular protrusion at the upper level.

(SEE MAP ON REVERSE SIDE)

CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN18142 (TTM8464)
Applicant: Levy Design Partners – Casey Feeser
Address: 3245 Hollis Street
Zone: HBX – 2

PROPERTY DESCRIPTION

The subject 9,975 square-foot vacant surface parking lot site on Hollis Street between 34th Street to the north and Peralta Street to the south. Prominent uses and developments in the vicinity include the Union Park Plaza where there is ongoing community garden, an Extra Storage facility, the Poplar Playground, Ephesians Missionary Baptist Church, Alliance Recycling, a mixture of Period and contemporary architecture, and a variety of non-residential uses. Madison Park Financial, the developer for the proposed project is currently in the process of building a mixed use development project across the street and is involved the rehabilitation of the “flatiron” shaped historic building at the corner of Hollis and Peralta Streets.

PROJECT DESCRIPTION

The proposed project involves the merger of two existing lots currently used as surface parking into one, creation of five mini lots, and construction of a ten-unit townhouse-style residential development. The project involves a shared access facility along the southern property line to provide vehicular access to the proposed units central driveway. Each of the proposed five mini-lots will contain a two-unit townhouse structure for a total of ten. The four-story structures will feature two residential units with a shared ground floor parking garage. The uppermost levels also feature private useable open spaces.

The exterior materials and treatments include fiber cement-board siding, metal siding, cement plaster and aluminum clad wood windows. The designs incorporate various elements and detailing such as projecting/recessed planes, a series of grouped fenestration, rhythm of shapes and forms, varied rooflines and material changes. The proposed landscaping includes trees, shrubs, ground cover, as well as hardscape such as decorative pavers, planters and other features that enhance the visual quality, functionality, and experience of the open areas.

GENERAL PLAN ANALYSIS

The subject site is located in the Housing and Business Mix land use classification according to the City of Oakland General Plan Land Use and Transportation Element (LUTE). According to the LUTE, the intent of the Housing and Business Mix classification is to recognize the equal importance of both housing and business and guide a transition from heavy industry to low impact light industrial and other businesses that can co-exist compatibly with residential development. Environmentally sensitive developments including medium density housing, live-work and commercial facilities are encouraged in the Housing and Business Mix classification. The proposed project is consistent in all significant respects with the following General Plan objectives and policies:

- Objective N3: *Encourage the construction, conservation, and enhancement of housing resources in order to meet the current and future housing needs of the Oakland community.* The project will provide the Oakland community with 10 new dwelling units.

- Policy N3.1, Facilitating Housing Construction: *Facilitating the construction of housing units should be considered a high priority for the City of Oakland.* The City of Oakland’s Bureau of Planning has streamlined its systems in order to facilitate the construction of new homes by assisting developers to navigate the permitting process smoothly and in a timely manner.
- Policy N3.2, Encouraging Infill Development: *In order to facilitate the construction of needed housing units, infill development that is consistent with the General Plan should take place throughout the City Oakland.* The project is proposed for a site located in an urban area of West Oakland. The new development will be an infill development for the currently underutilized site.
- Policy N6.2, Increased Home Ownership: *Housing developments that increase home ownership opportunities for households of all incomes are desirable.* The project will provide property ownership opportunities for 10 new households. The developer intends to build these units as condominiums which will create homeownership opportunities.

ZONING ANALYSIS

The site is zoned HBX2 which allows a maximum density of 1 unit per 930 sq. ft. of lot area which translates into a maximum of 10.7 units for the 9,975 square-foot project site. The proposed 10-unit residential units are therefore consistent with the prescribed density.

Development Standards

Standard	Allowed/Required	Proposed
Max. Residential Density	10.7 units (1/930 sq. ft)	10 units
Max. Non-Residential Density	N/A	N/A
Max. FAR	N/A	N/A
Max. Height	45 ft.	45 ft.
Min. setbacks	0ft.	0.
Min. useable open space	1,500 sq. ft. (150 sq. ft./unit)	>1,50 sq. ft./unit
Reqd. Bicycle Parking	0 Long term(LT)/1 Short Term(ST)	Garage LT; One ST
Reqd. off-street parking	10 spaces (1/Unit)	10 spaces

KEY ISSUES AND IMPACTS

Site Plan and Building Design

The site plan presents an urban medium-density type development that responds to the context of urbanized development in the vicinity. The designs incorporate various elements and detailing such as projecting/recessed planes, a series of grouped fenestration, rhythm of shapes and forms, varied rooflines, material changes, etc.

At the August 1st Planning Commission meeting, one of the Commissioners expressed concern about the fact that the proposed project failed to properly relate to the development pattern on the same side of Hollis Street and the adjacent detached Victorian buildings. Instead it seems to respond more

to the new multi-unit development under construction on the city block across the street. Some interested parties in the community have also expressed the same concern. In considering the current revision, Staff believes that the proposed new front façade fails to successfully address these concerns and rather appears cluttered. The design tries to include too many different shapes and forms that are inconsistent with the immediate context of detached Victorians on that side of the street. Particularly, staff finds the rectangular protrusion at the upper left corner problematic as it obtrusively juts out towards the street whereas a step back would have been more appropriate in relating to the adjacent properties. The opposite side of Hollis street is different in that it largely occupies the whole city block and does not serve as an appropriate context for the proposed project.

Density/Setbacks/Height

The proposed 10-unit residential project is consistent with the permitted uses and density of the HBX2 Zone. The proposed structures will also comply with all the prescribed setbacks and height limits of the HBX2 Zone.

Automobile Parking

The project provides two parking spaces within enclosed garages on the ground floor or each duplex townhouse structure. The entire project will provide 10 off-street parking spaces.

Useable Open Space

The HBX2 requires 150 square feet of useable open space per dwelling unit. The project provides an average of 150 square feet of private open space per unit and at least 1,500 square feet total private open space in the form of decks for the entire project. The project incorporates landscaping (softscape and hardscape) to enhance the open areas to achieve a net reduction of peak flow stormwater run-off.

Private Access Easement (PAE)/Shared Access Facility

The proposed Private Access Easement (also referred to as a Shared Access Facility) provides vehicular access to all five lots and enables four of the five lots to be created without frontage on a public street. This is an efficient way of minimizing the number of driveway openings at the subject site. The PAE also serves as a common space for utility lines and other shared facilities.

Landscaping

The project incorporates various landscaping elements such as trees, shrubs, and other plantings to soften and achieve an attractive street and courtyard ambience. The project involves landscaped terraces on the second levels of the two wings. The proposed landscaping include trees, shrubs, ground cover, as well as hardscape such as decorative pavers, planters and other features that enhance the visual quality, functionality, and experience of the open areas.

CEQA Analysis

As described in the "Environmental Determination" section, above, none of the circumstances necessitating further CEQA review are present. Thus, the City can rely on the Previous CEQA Documents as well as qualify for Infill Exemption under Section 15332 of CEQA. As a separate and independent basis, the project is also exempt from CEQA review pursuant to CEQA Guidelines Section 15183, projects consistent with a community plan, general plan or zoning.

CONCLUSION:

In considering the current revision, Staff believes that the proposed new front façade fails to successfully address these concerns, in that it appears cluttered and tries to incorporate too many different shapes and treatments on the design. This approach is inconsistent with the immediate context of detached Victorians on that side of Hollis street. Particularly, staff finds the rectangular protrusion at the upper level problematic as it obtrusively juts out at the front where a recess would have been more appropriate in relating to the adjacent properties. The opposite side of Hollis street is different in that it largely occupies the whole city block and does not serve as an appropriate context for the proposed project.

RECOMMENDATIONS:

Staff believes that the proposed revision to the project can be improved by simplifying the elements and treatments at the front façade to make the overall development better fit in with the immediate context on the that side of Hollis Street. Thus, staff recommends that the Commission:

1. Provide design improvement comments aimed at achieving a better fit with the existing structures on the same side of Hollis Street.
2. Direct that the final design addressing the Committees comments be brought back to the DRC for review.

Prepared by:



MAURICE BRENYAH-ADDOW - Planner IV

Reviewed by:



CATHERINE PAYNE – Acting Development
Manager

ATTACHMENTS: A. Project Plans



1 SITE PHOTO



MAP

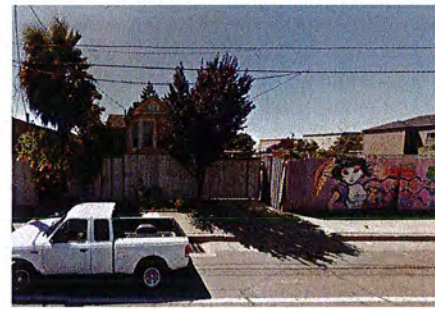


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3245 HOLLIS STREET
5 MINI-LOT DEVELOPMENT
OAKLAND, CA



1 3219 PERALTA STREET, DOWN THE STREET FROM THE SITE



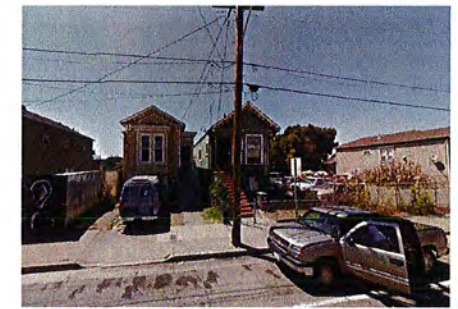
2 3209 & 3221 HOLLIS STREET, DOWN THE STREET FROM THE SITE



3 3225 & 3227 HOLLIS STREET, DOWN THE STREET FROM THE SITE



4 3231 HOLLIS STREET, DOWN THE STREET FROM THE SITE



5 3237 & 3241 HOLLIS STREET, NEIGHBOR TO THE SITE



6 3245 & 3251 HOLLIS STREET, SITE



7 3255 & 3261 HOLLIS STREET, NEIGHBOR TO THE SITE



8 3267 & 3275 HOLLIS STREET, DOWN THE STREET FROM THE SITE



9 3421 HOLLIS STREET, NEAREST CORNER FROM THE SITE



10 3408 HOLLIS STREET, NEAREST CORNER FROM THE SITE



11 3250 HOLLIS STREET, 45'-0" TALL BUILDING ACROSS THE STREET FROM THE SITE, ON HOLLIS BETWEEN PERALTA STREET AND 34TH STREET

2 NEIGHBORING BUILDING PHOTOS & LEGEND



3245 HOLLIS STREET
APN: 007-059400-800
APN: 007-059400-900
SAN FRANCISCO, CA
PROJECT NO. 2018-02

DATE	SET ISSUE
03-05-2018	PLANNING SUBMITTAL
05-11-2018	PLANNING RE-SUBMITTAL
07-20-2018	PLANNING RE-SUBMITTAL

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

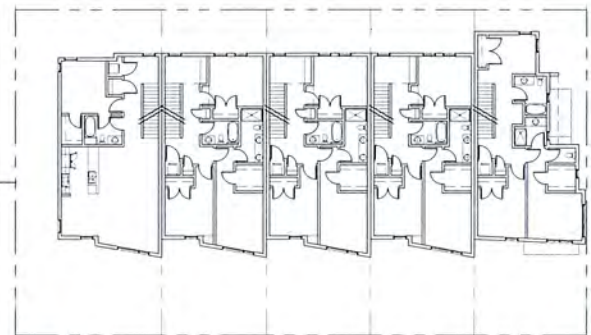
SCALE: AS NOTED

SITE
CONTEXT

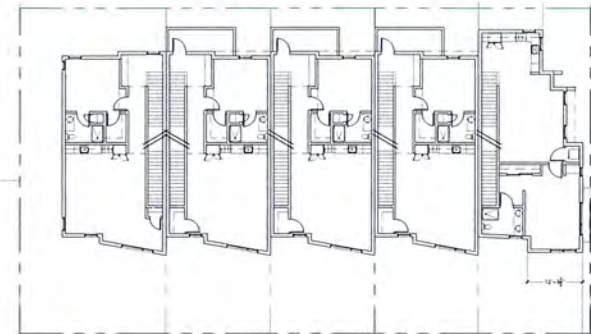
ACCESS PLANS



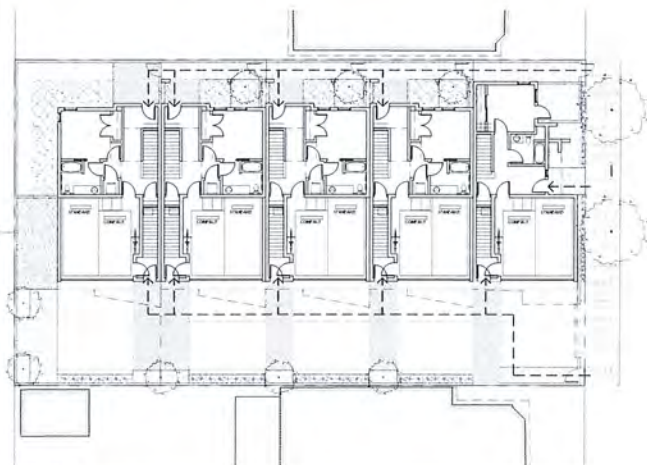
FOURTH FLOOR



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

1 PLAN: ACCESS
1"=20'-0"

ACCESSIBILITY NOTES

1. ACCESSIBLE PATH OF TRAVEL (P.O.T.) AS INDICATED ON PLANS IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. ALL ACCESSIBLE ROUTES OF TRAVEL TO BE AT LEAST 44" SURFACE IS STABLE, FIRM & SLIP RESISTANT, CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% U.O.N.
2. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEED 1:20, IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMP.
3. WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHALL BE FREE OF GRATINGS WHERE EVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF THESE AREAS, GRID OPENINGS SHALL BE LIMITED TO 1/2" IN THE DIRECTION OF TRAVEL FLOW.
4. SURFACES WITH A SLOP OF LESS THAN 6% GRADIENT SHALL BE AT LEAST AS SLIP-RESISTANT AS THAT DESCRIBED AS A MEDIUM SALT FINISH AND HEAVY BROOM FINISH FOR SLOPES GREATER THAN 6%.
5. ACCESSIBLE ROUTES OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80"
6. ALL REQUIRED ACCESSIBLE DOOR TO HAVE 32" CLEAR OPENING MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM IT'S CLOSED POSITION

LEGEND

- PROPERTY LINE
- - - ACCESSIBLE PATH OF TRAVEL (P.O.T.)

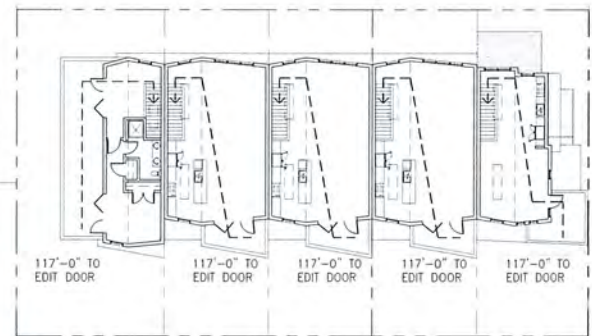
PROJECT NORTH



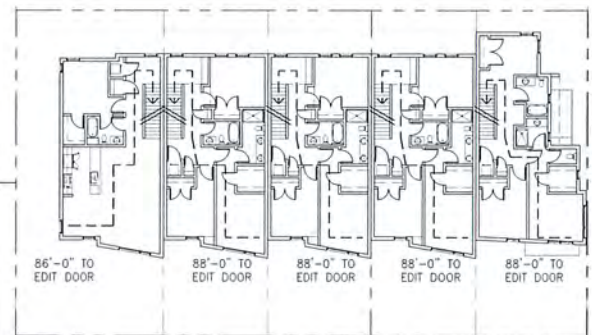
TRUE NORTH



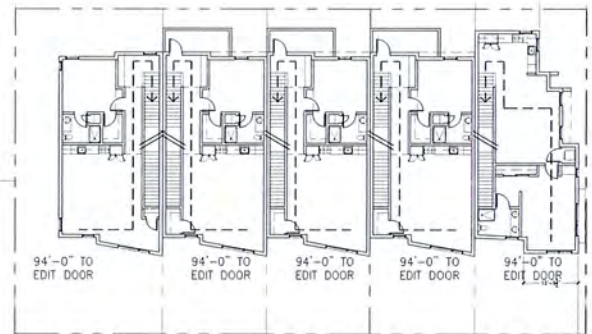
EGRESS PLANS



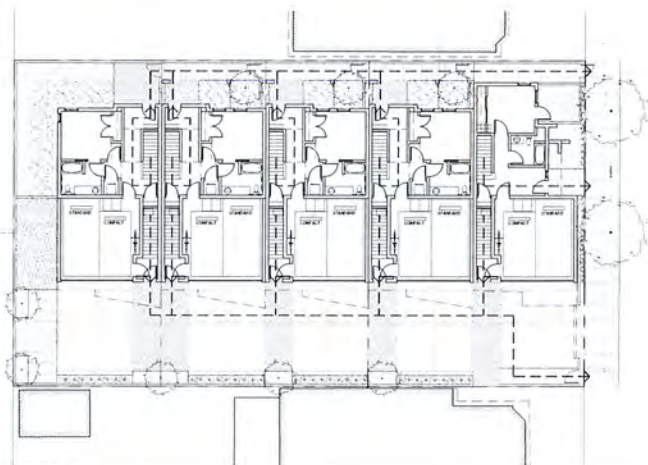
FOURTH FLOOR



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

2 PLAN: EGRESS
1"=20'-0"

EGRESS NOTES

TYPICAL EACH LOWER LEVEL UNIT	
OCCUPANCY TYPE/USE	R-3
AREA (S.F.)	1,280
OCCUPANT LOAD FACTOR	200
OCCUPANT LOAD	7
EXITS REQUIRED***	1
EXITS PROVIDED	1
MIN. EGRESS WIDTH**	1.4'
EGRESS WIDTH PROVIDED	36"
MIN. STAIR WIDTH*	2.1'
STAIR WIDTH PROVIDED	36"
TRAVEL DISTANCE	
MAX. TRAVEL DISTANCE (CBC TABLE 1006.3.2(1))	125'
MAX. TRAVEL DISTANCE	94'

TYPICAL EACH UPPER LEVEL UNIT	
OCCUPANCY TYPE/USE	R-3
AREA (S.F.)	1,780
OCCUPANT LOAD FACTOR	200
OCCUPANT LOAD	9
EXITS REQUIRED***	1
EXITS PROVIDED	1
MIN. EGRESS WIDTH**	1.8'
EGRESS WIDTH PROVIDED	36"
MIN. STAIR WIDTH*	2.7'
STAIR WIDTH PROVIDED	36"
TRAVEL DISTANCE	
MAX. TRAVEL DISTANCE (CBC TABLE 1006.3.2(1))	125'
MAX. TRAVEL DISTANCE	117'

* OCCUPANT LOAD X 0.3" (2016 CBC 1005.3.1)

** OCCUPANT LOAD X 0.2" (2016 CBC 1005.3.2)

*** ALL UNITS EGRESS DIRECTLY TO STREET. NO UNITS HAVE OVER 49 OCCUPANTS OR HAVE A TRAVEL DISTANCE MORE THAN 125'-0" FROM FURTHER CORNER OF UNIT TO EXIT. THEREFORE, PER 2016 CBC TABLE 1006.3.2(1), ONLY ONE EXIT IS REQUIRED.

LEGEND

- PROPERTY LINE
- - - EGRESS PATH OF TRAVEL

PROJECT NORTH



TRUE NORTH



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3245 HOLLIS STREET
5 MINI-LOT DEVELOPMENT
OAKLAND, CA



3245 HOLLIS STREET
APN: 007-059400-800
APN: 007-059400-900
SAN FRANCISCO, CA
PROJECT NO. 2018-02

DATE	SET ISSUE
03-05-2018	PLANNING SUBMITTAL
05-11-2018	PLANNING RE-SUBMITTAL
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09-24-2018	PLANNING RE-SUBMITTAL

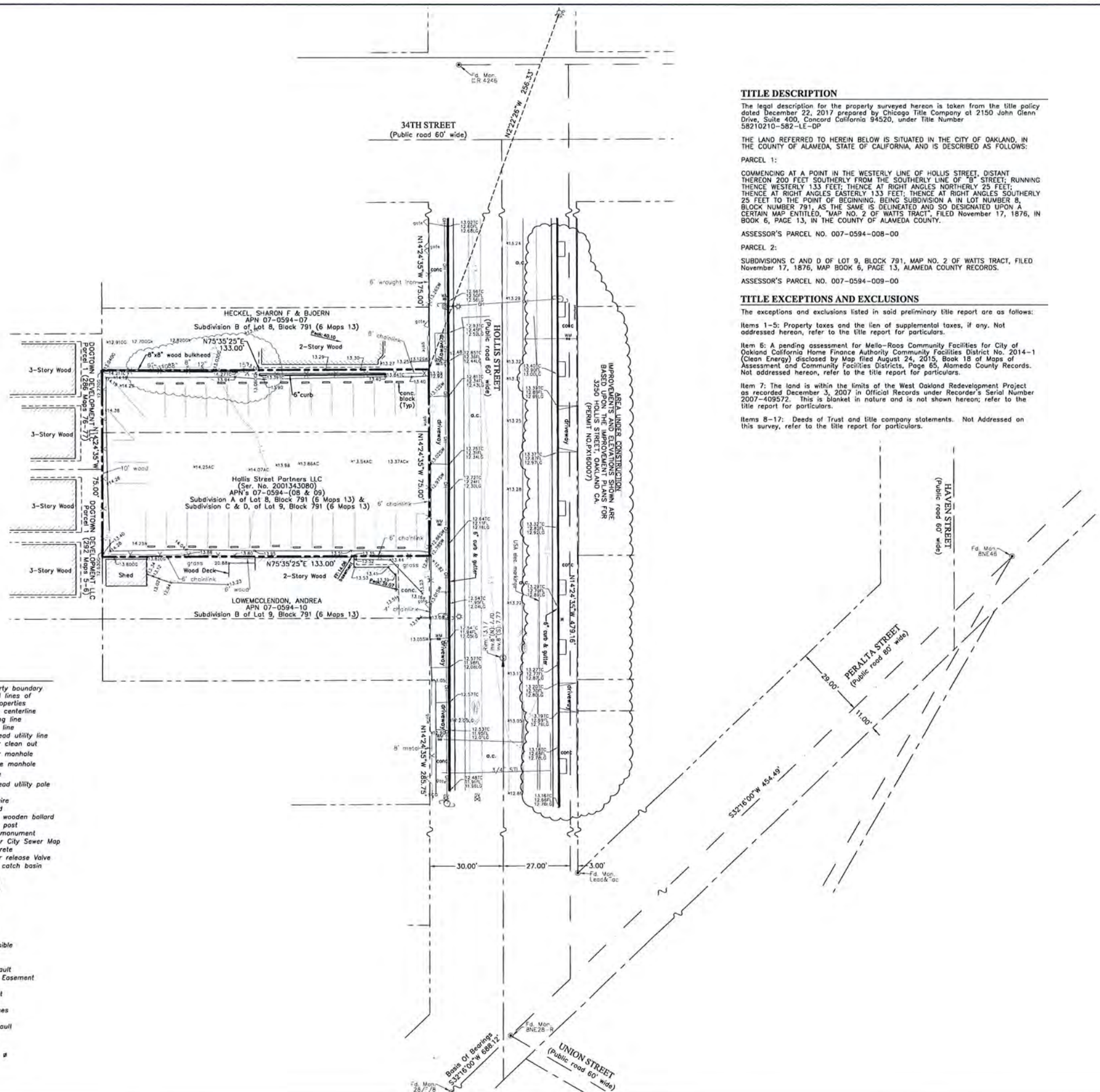
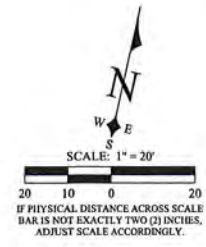
CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

PLANS: ACCESS & EGRESS

A0.2



TITLE DESCRIPTION

The legal description for the properly surveyed hereon is taken from the title policy dated December 22, 2017 prepared by Chicago Title Company at 2150 John Glenn Drive, Suite 400, Concord California 94520, under Title Number 58210210-582-1E-0P

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF OAKLAND, IN THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
COMMENCING AT A POINT IN THE WESTERLY LINE OF HOLLIS STREET, DISTANT THEREON 200 FEET SOUTHERLY FROM THE SOUTHERLY LINE OF "B" STREET; RUNNING THENCE WESTERLY 133 FEET; THENCE AT RIGHT ANGLES NORTHERLY 25 FEET; THENCE AT RIGHT ANGLES EASTERLY 133 FEET; THENCE AT RIGHT ANGLES SOUTHERLY 25 FEET TO THE POINT OF BEGINNING, BEING SUBDIVISION A IN LOT NUMBER 8, BLOCK NUMBER 791, AS THE SAME IS DELINEATED AND SO DESIGNATED UPON A CERTAIN MAP ENTITLED, "MAP NO. 2 OF WATTS TRACT", FILED November 17, 1876, IN BOOK 6, PAGE 13, IN THE COUNTY OF ALAMEDA COUNTY.

ASSESSOR'S PARCEL NO. 007-0594-008-00

PARCEL 2:
SUBDIVISIONS C AND D OF LOT 9, BLOCK 791, MAP NO. 2 OF WATTS TRACT, FILED November 17, 1876, MAP BOOK 6, PAGE 13, ALAMEDA COUNTY RECORDS.

ASSESSOR'S PARCEL NO. 007-0594-009-00

TITLE EXCEPTIONS AND EXCLUSIONS

The exceptions and exclusions listed in said preliminary title report are as follows:
Items 1-5: Property taxes and the lien of supplemental taxes, if any. Not addressed hereon, refer to the title report for particulars.

Item 6: A pending assessment for Mello-Roos Community Facilities for City of Oakland California Home Finance Authority Community Facilities District No. 2014-1 (Clean Energy) disclosed by Map filed August 24, 2015, Book 18 of Maps of Assessment and Community Facilities Districts, Page 65, Alameda County Records. Not addressed hereon, refer to the title report for particulars.

Item 7: The land is within the limits of the West Oakland Redevelopment Project as recorded December 3, 2007 in Official Records under Recorder's Serial Number 2007-409572. This is blanket in nature and is not shown hereon; refer to the title report for particulars.

Items 8-17: Deeds of Trust and title company statements. Not Addressed on this survey, refer to the title report for particulars.

BASIS OF BEARINGS

The bearings shown on this survey are based on the monument line of Peralta Street as shown on Parcel Map 8534 (298 P.M. 55). That Bearing taken as N32°16'00"E.

CONTOUR INTERVAL

Contours shown on this survey are plotted at a 1 foot interval.

DATUM

The elevations shown on this survey are based upon the City of Oakland Datum, City Benchmark No. 270. Being a brass pin set in the back of the concrete sidewalk at the northwest corner of the intersection of 32nd and Peralta Streets. Elevation taken as 12.173'

SURVEYOR NOTES

- All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, buildings, party walls, parking, easements, servitudes, and encroachments; are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.
- Utilities shown have been located from visible above-ground, on-site observation and city utility schematics only. Therefore the surveyor assumes no liability for the location and/or existence of any utilities that may have been concealed at the time of this survey. The locations of underground utilities have not been located and are not included as a portion of this survey. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned.
- The location of overhead utility lines have been shown for the sole purpose of indicating the interconnection of utility poles and general route of lines. The number and type of lines strung between the poles are not shown nor are the cross arm widths or individual line locations. Overhead service locations are not shown on this survey.

MONUMENT NOTE

No Monuments were set during the course of this survey.
[1] Found City of Oakland Street Monuments as shown on Monument Map 267

PUBLIC ADVISORY

This map is based on private surveys performed by licensed professionals and will not be updated or corrected by the City of Oakland after its filing. No warranty, either expressed or implied is made by the City of Oakland that this map and the survey information on which it is based is correct, accurate, and current, nor that the City will retain for public inspection any related information which may be subsequently submitted to the City, including alleged or actual discrepancies, inaccuracies, deficiencies, and errors.

HORIZONTAL AND VERTICAL CURVE NOTE

There are no existing horizontal curves or vertical curves on Valley Street within 300' of the subject Parcel of this survey.

CERTIFICATION

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the California Land Surveyors' Act at the request of Calichi Design Group, on Dec. 14, 2017.

I hereby state that all existing grades and contours are based upon the City of Oakland Datum.

I hereby further state to the best of my knowledge all provisions of applicable state laws and local ordinances have been fully satisfied.

I hereby further state that the parcels designated by my survey and shown on this map are the same as that certain map entitled Map No. 2 of Watts Tract, filed November 17, 1876, Map Book 6 Page 13, Alameda County Records, and identified on the current equalized assessment roll of the Alameda County Assessor as Parcel Numbers: 007-0594-008 and 007-0594-009

I hereby further state that in accordance with the California Land Surveyors' Act the performance of this survey does not require a Corner Record or Record of Survey to be filed.

I hereby acknowledge that this survey shall be a public record and may be available for inspection and distribution to the general public.

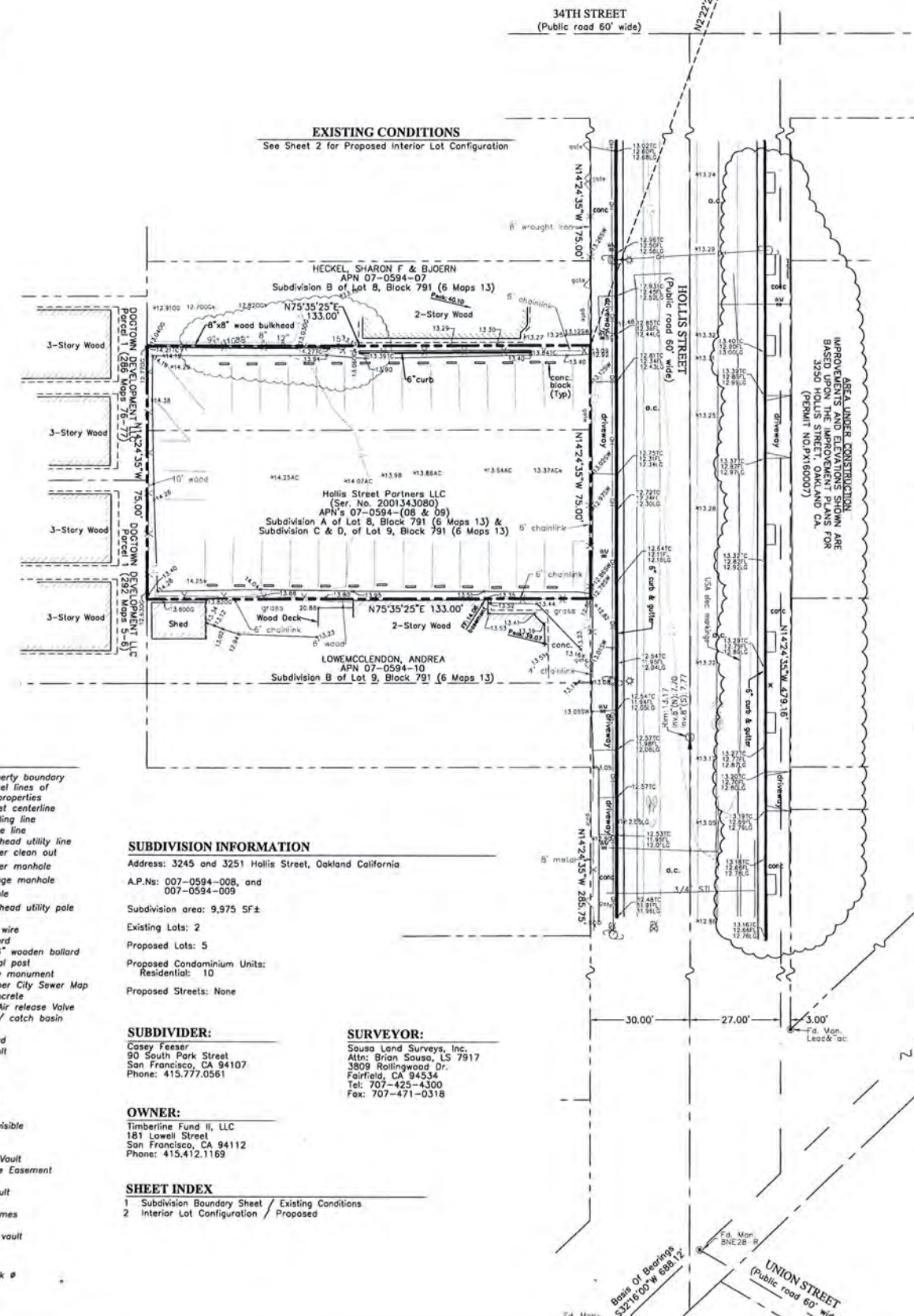
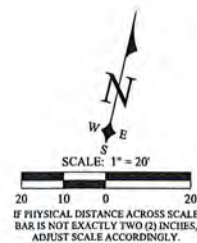
By: Brian L. Sousa, PLS#7917

Date: March 8, 2018



Topographic Survey
of
3245 and 3251 Hollis Street, Oakland, CA.
being:
Assessor Parcel Numbers 007-0594-008 and 007-0594-009
as Described in the Grant Deed DOC. 2015094925
Surveyed: March 1, 2018
Sousa Land Surveys
tel 707.425.4300 fax 707.425.4300
3809 Rollingwood Dr. Fairfield, CA 94534

- LEGEND**
- Existing property boundary
 - - - Existing parcel lines of adjacent properties
 - - - Existing street centerlines
 - Existing building line
 - - - Existing fence line
 - - - Existing overhead utility line
 - Sanitary sewer clean out
 - ⊙ Sanitary sewer manhole
 - ⊙ Storm drainage manhole
 - ⊙ Water manhole
 - ⊙ Existing overhead utility pole
 - ⊙ Existing light
 - ⊙ Existing guy wire
 - ⊙ Existing bollard
 - ⊙ Cut-off 4"x6" wooden ballard
 - ⊙ Cut-off metal post
 - ⊙ Found survey monument
 - ⊙ Invert elev. per City Sewer Map
 - A.C. Asphaltic concrete
 - BOV Blow-off / Air release Valve
 - ⊙ Curb inlet w/ catch basin
 - conc Concrete
 - C.R. Corner Record
 - E Electrical vault
 - ⊙ Gas valve
 - ⊙ Fire hydrant
 - FL Flow Line
 - GB Grade break
 - GM Gas meter
 - GNV Ground not visible
 - LS Landscaping
 - P. Planter box
 - PGE PGE Box or Vault
 - PSE Public Service Easement
 - Sign
 - T Telephone vault
 - TC Top of curb
 - TD Truncated domes
 - Th: Threshold
 - TV T.V. / cable vault
 - W Water meter
 - W Water valve
 - Tree w/ trunk #



EXISTING CONDITIONS
See Sheet 2 for Proposed Interior Lot Configuration

HECKEL, SHARON F & BJOERN
Subdivision B of Lot 8, Block 791 (6 Maps 13)
APN 07-0594-07

Hollis Street Partners LLC
(Ser. No. 2001343080)
APN's 07-0594-08 & 09
Subdivision A of Lot 8, Block 791 (6 Maps 13) &
Subdivision C & D, of Lot 9, Block 791 (6 Maps 13)

LOWMCLENDON, ANDREA
APN 07-0594-10
Subdivision B of Lot 9, Block 791 (6 Maps 13)

- LEGEND**
- Existing property boundary
 - - - Existing parcel lines of adjacent properties
 - - - Existing street centerline
 - - - Existing building line
 - - - Existing fence line
 - - - Existing overhead utility line
 - - - Sanitary sewer clean out
 - ⊙ Sanitary sewer manhole
 - ⊙ Storm drainage manhole
 - ⊙ Water manhole
 - ⊙ Existing overhead utility pole
 - ⊙ Existing light
 - ⊙ Existing guy wire
 - ⊙ Existing bollard
 - ⊙ Cut-off 4"x6" wooden bollard
 - ⊙ Cut-off metal post
 - ⊙ Found survey monument
 - ⊙ Invert elev. per City Sewer Map
 - A.C. Asphaltic concrete
 - BOV Blow-off / Air release Valve
 - CA Curb inlet w/ catch basin
 - conc Concrete
 - C.R. Corner Record
 - E Electrical vault
 - G Gas valve
 - H Fire hydrant
 - FL Flow Line
 - GB Grade break
 - GM Gas meter
 - GNV Ground not visible
 - LS Landscaping
 - P Planter box
 - PGE PGE Box or Vault
 - PSE Public Service Easement
 - Sign
 - T Telephone vault
 - TC Top of curb
 - TD Truncated domes
 - TH Threshold
 - TV T.V. / cable vault
 - W Water meter
 - W Water valve
 - Tree w/ trunk #

SUBDIVISION INFORMATION

Address: 3245 and 3251 Hollis Street, Oakland California

A.P.N.s: 007-0594-008, and 007-0594-009

Subdivision area: 9,975 SF±

Existing Lots: 2

Proposed Lots: 5

Proposed Condominium Units: Residential: 10

Proposed Streets: None

SUBDIVIDER:
Casey Feeser
90 South Park Street
San Francisco, CA 94107
Phone: 415.777.0561

SURVEYOR:
Sousa Land Surveys, Inc.
Attn: Brian Sousa, LS 7917
3809 Rollingwood Dr.
Fairfield, CA 94534
Tel: 707-425-4300
Fax: 707-471-0318

OWNER:
Timberline Fund II, LLC
181 Lowell Street
San Francisco, CA 94112
Phone: 415.412.1169

SHEET INDEX

1 Subdivision Boundary Sheet / Existing Conditions

2 Interior Lot Configuration / Proposed

TITLE DESCRIPTION

The legal description for the property surveyed hereon is taken from the title policy dated December 22, 2017 prepared by Chicago Title Company at 2150 John Glenn Drive, Suite 400, Concord California 94520, under Title Number 58210210-582-LE-DP

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF OAKLAND, IN THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
COMMENCING AT A POINT IN THE WESTERLY LINE OF HOLLIS STREET, DISTANT THEREON 200 FEET SOUTHERLY FROM THE SOUTHERLY LINE OF "B" STREET; RUNNING THENCE WESTERLY 133 FEET; THENCE AT RIGHT ANGLES NORTHERLY 25 FEET; THENCE AT RIGHT ANGLES EASTERLY 133 FEET; THENCE AT RIGHT ANGLES SOUTHERLY 25 FEET TO THE POINT OF BEGINNING, BEING SUBDIVISION A IN LOT NUMBER 8, BLOCK NUMBER 791, AS THE SAME IS DELINEATED AND SO DESIGNATED UPON A CERTAIN MAP ENTITLED, "MAP NO. 2 OF WATTS TRACT," FILED NOVEMBER 17, 1876, IN BOOK 6, PAGE 13, IN THE COUNTY OF ALAMEDA COUNTY.

ASSESSOR'S PARCEL NO. 007-0594-008-00

PARCEL 2:
SUBDIVISIONS C AND D OF LOT 9, BLOCK 791, MAP NO. 2 OF WATTS TRACT, FILED NOVEMBER 17, 1876, MAP BOOK 6, PAGE 13, ALAMEDA COUNTY RECORDS.

ASSESSOR'S PARCEL NO. 007-0594-009-00

TITLE EXCEPTIONS AND EXCLUSIONS

The exceptions and exclusions listed in said preliminary title report are as follows:

- Items 1-5: Property taxes and the lien of supplemental taxes, if any. Not addressed hereon, refer to the title report for particulars.
- Item 6: A pending assessment for Mello-Roos Community Facilities for City of Oakland California Home Finance Authority Community Facilities District No. 2014-1 (Clean Energy) disclosed by Map filed August 24, 2015, Book 18 of Maps of Assessment and Community Facilities Districts, Page 55, Alameda County Records. Not addressed hereon, refer to the title report for particulars.
- Item 7: The land is within the limits of the West Oakland Redevelopment Project as recorded December 3, 2007 in Official Records under Recorder's Serial Number 2007-409572. This is blanket in nature and is not shown hereon; refer to the title report for particulars.
- Items 8-17: Deeds of Trust and title company statements. Not Addressed on this survey, refer to the title report for particulars.

BASIS OF BEARINGS

The bearings shown on this survey are based on the monument line of Peralta Street as shown on Parcel Map 8534 (298 P.M. 55). That Bearing taken as N32°16'00"E.

CONTOUR INTERVAL

Contours shown on this survey are plotted at a 1 foot interval.

DATUM

The elevations shown on this survey are based upon the City of Oakland Datum, City Benchmark No. 270. Being a brass pin set in the back of the concrete sidewalk at the northwest corner of the intersection of 32nd and Peralta Streets. Elevation taken as 12.173'

SURVEYOR NOTES

- All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, buildings, party walls, parking, easements, servitudes, and encroachments; are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.
- Utilities shown have been located from visible above-ground, on-site observation and city utility schematics only. Therefore the surveyor assumes no liability for the location and or existence of any utilities that may have been concealed at the time of this survey. The locations of underground utilities have not been located and are not included as a portion of this survey. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned.
- The location of overhead utility lines have been shown for the sole purpose of indicating the interconnection of utility poles and general route of lines. The number and type of lines strung between the poles are not shown nor are the cross arm widths or individual line locations. Overhead service locations are not shown on this survey.

MONUMENT NOTE

- No Monuments were set during the course of this survey.
- [1] Found City of Oakland Street Monuments as shown on Monument Map 267

PUBLIC ADVISORY

This map is based on private surveys performed by licensed professionals and will not be updated or corrected by the City of Oakland after its filing. No warranty, either expressed or implied is made by the City of Oakland that this map and the survey information on which it is based is correct, accurate, and current, nor that the City will retain for public inspection any related information which may be subsequently submitted to the City, including alleged or actual discrepancies, inaccuracies, deficiencies, and errors.

HORIZONTAL AND VERTICAL CURVE NOTE

There are no existing horizontal curves or vertical curves on Valley Street within 300' of the subject Parcel of this survey.

CERTIFICATION

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the California Land Surveyors' Act at the request of Simon Chen, on Feb. 20, 2018.

I hereby state that all existing grades and contours are based upon the City of Oakland Datum.

I hereby further state to the best of my knowledge all provisions of applicable state laws and local ordinances have been fully satisfied.

I hereby further state that the parcels designated by my survey and shown on this map are the same as that certain map entitled Map No. 2 of Watts Tract, filed November 17, 1876, Map Book 6 Page 13, Alameda County Records, and identified on the current equalized assessment roll of the Alameda County Assessor as Parcel Numbers: 007-0594-008 and 007-0594-009

I hereby further state that in accordance with the California Land Surveyors' Act the performance of this survey does not require a Corner Record or Record of Survey to be filed.

I hereby acknowledge that this survey shall be a public record and may be available for inspection and distribution to the general public.

By: Brian L. Sousa, PLS#7917

Date: March 8, 2018



TRACT MAP NO. 8464
TENTATIVE TRACT MAP

Being a Merger and Re-Subdivision to Create Five Lots for 10 Residential Condominium Purposes of

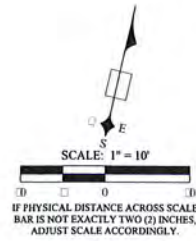
3245 and 3251 Hollis Street, Oakland, CA, being:

Assessor Parcel Numbers 007-0594-008 and 007-0594-009 as Described in the Grant Deed DOC. 2015094925

Surveyed: March 1, 2018

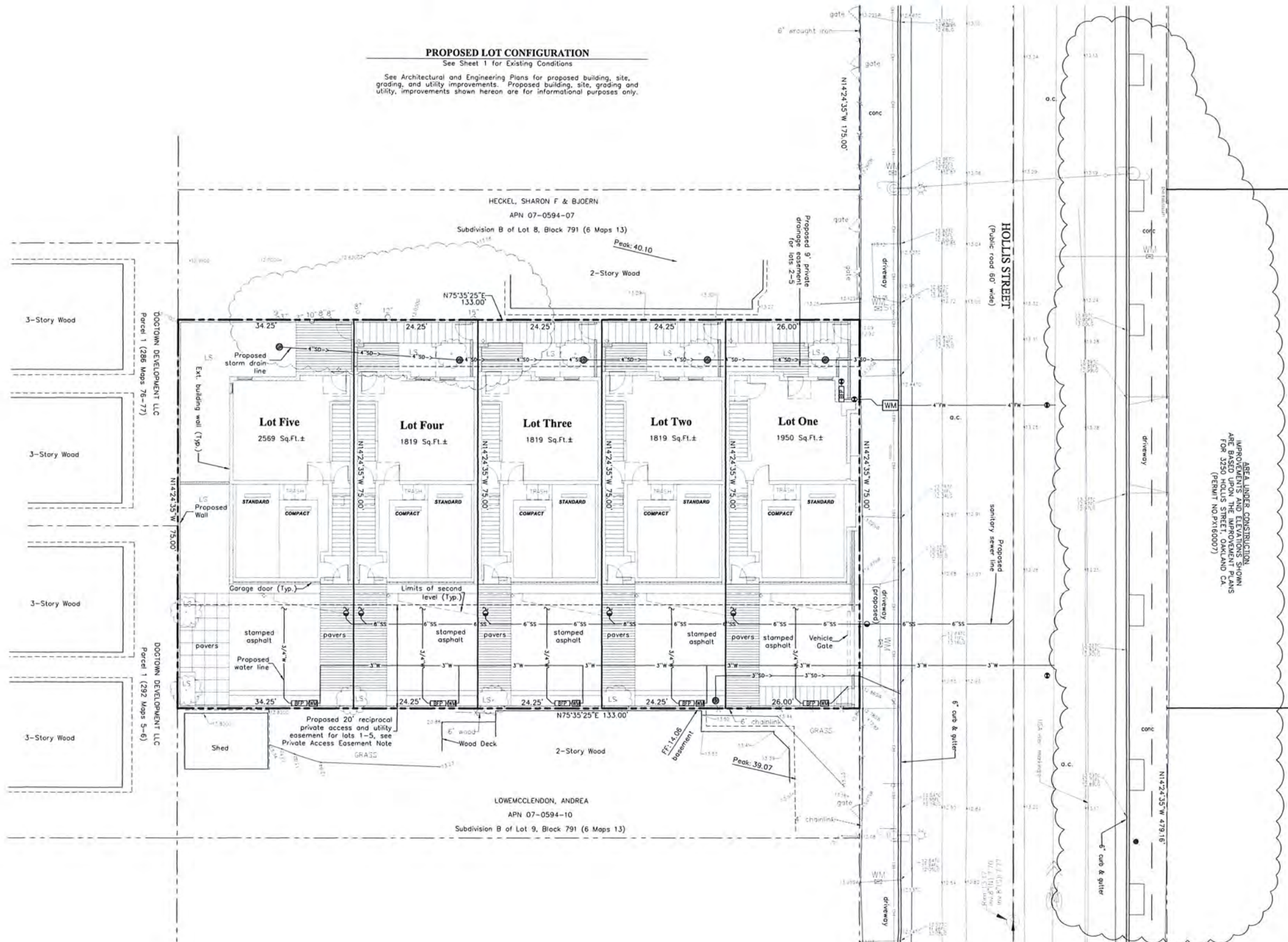
Sousa Land Surveys

tel 707.425.4300 fax 707.425.4300
3809 Rollingwood Dr. Fairfield, CA 94534



PROPOSED LOT CONFIGURATION

See Sheet 1 for Existing Conditions
 See Architectural and Engineering Plans for proposed building, site, grading, and utility improvements. Proposed building, site, grading and utility, improvements shown hereon are for informational purposes only.



LEGEND

- Existing property boundary
- - - Existing parcel lines of adjacent properties
- Proposed Lot Line
- - - Existing street centerline
- Existing building line
- Proposed building wall at ground level
- Proposed Privacy Wall / Fence
- Existing fence line
- Existing overhead utility line
- Sanitary sewer clean out
- Sanitary sewer manhole
- Storm drainage manhole
- Water manhole
- Existing overhead utility pole
- Existing light
- Existing guy wire
- Existing ballard
- Cut-off 4"x6" wooden ballard
- Cut-off metal post
- Found survey monument
- Invert elev. per City Sewer Map
- Asphaltic concrete
- Blow-off / Air release Valve
- Curb inlet w/ catch basin
- Concrete
- Corner Record
- Electrical vault
- Gas valve
- Fire hydrant
- Flow Line
- GB Grade break
- OM Gas meter
- QNV Ground not visible
- LS Landscaping
- P Planter box
- PCE Box or Vault
- PSE Public Service Easement
- Sign
- Telephone vault
- TC Top of curb
- TD Truncated domes
- TH Threshold
- TV T.V. / cable vault
- WM Water meter
- Water valve
- Tree w/ trunk

SHEET INDEX

- 1 Subdivision Boundary Sheet / Existing Conditions
- 2 Interior Lot Configuration / Proposed

PRIVATE ACCESS EASEMENT NOTE

Cantilevered building items, such as building overhangs, decks, and upper floors, are permitted to extend up to 5 feet inside the northern portion of the private access and utility easement as shown hereon. No building items within said easement are allowed to be located less than 8 vertical feet above the ground elevation.

AREA UNDER CONSTRUCTION
 ARE BASED UPON THE IMPROVEMENT PLANS
 FOR 3250 HOLLIS STREET, OAKLAND CA.
 (PERMIT NO. P180007)

**TRACT MAP NO. 8464
 TENTATIVE TRACT MAP**

Being a Merger and Re-Subdivision to Create Five Lots for 10 Residential Condominium Purposes of 3245 and 3251 Hollis Street, Oakland, CA. being: Assessor Parcel Numbers 007-0594-008 and 007-0594-009 as Described in the Grant Deed DOC. 2015094925 Surveyed: March 1, 2018



tel 707.425.4300 fax 707.425.4300
 3809 Rollingwood Dr. Fairfield, CA 94534

CIVIL PLANNING SUBMITTAL

3245 HOLLIS ST. - PROPOSED MIXED-USE BUILDING

3245 HOLLIS ST. | OAKLAND, CALIFORNIA 94608



NOTICE
These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners



3245 HOLLIS STREET
OAKLAND, CA



3245 HOLLIS STREET
APN: 007-059400-800
APN: 007-059400-900
SAN FRANCISCO, CA
PROJECT NO. 2018-02

DATE	SET ISSUE
07-20-2018	PLANNING RESUBMITTAL
03-05-2018	PLANNING SUBMITTAL

CONTACT: RECO PRIANTO

(510) 250-7877 P
(415) 260-2452 C

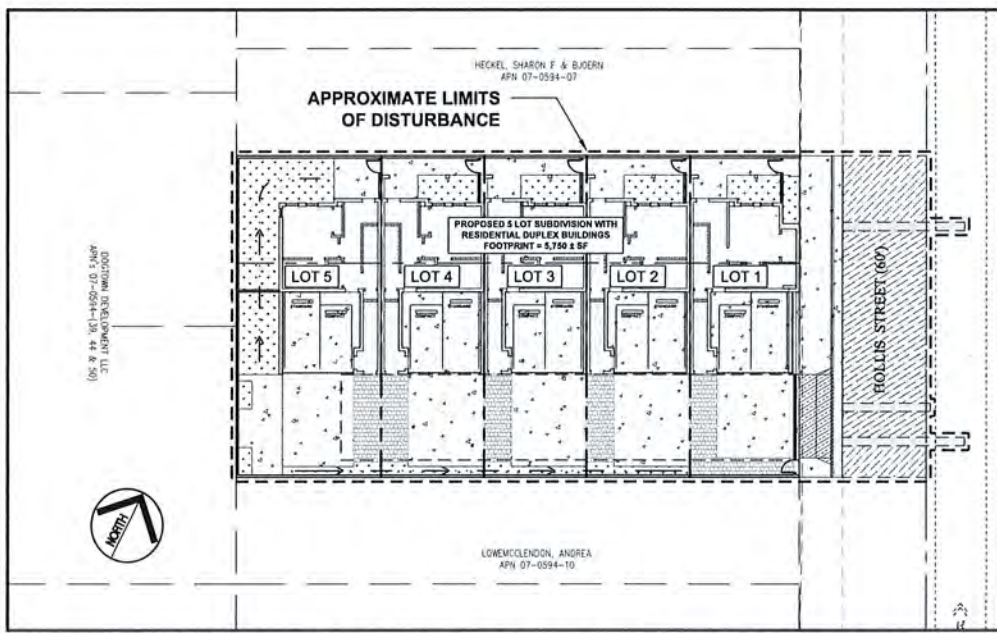
SCALE: AS NOTED

CIVIL TITLE SHEET

C0.1

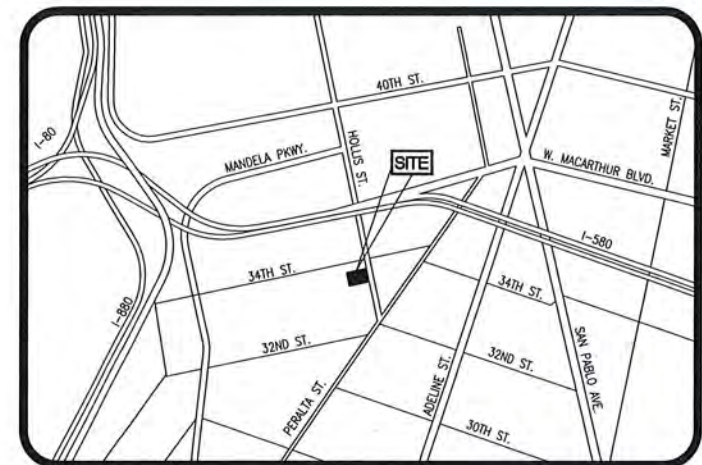
PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SITE IMPROVEMENTS	---
9	1-FOOT CONTOUR	9
10	5-FOOT CONTOUR	10
WTR	POTABLE WATER LINE (PVC SCHEDULE 80)	WTR
FP	FIRE PROTECTION WATER LINE (PVC C-900 CLASS 200)	WTR
SS	SANITARY SEWER LINE	SSAN
SD	STORM DRAIN LINE	SD
G	GAS LINE	G
UE	UNDERGROUND ELECTRIC	UE
---	UNDERGROUND DATA AND TELEPHONE LINE	---
---	FENCE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
○	TREE	○
---	STANDARD PCC PAVEMENT	---
---	TRENCH EXCAVATION LIMITS, REPLACE FULL DEPTH	---
---	HEAVY DUTY PCC PAVEMENT	---
---	NEW GRIND AND OVERLAY OF 2" AC	---
---	PROPOSED PERMEABLE PAVERS - SEE LANDSCAPE PLANS FOR COLOR, AND DETAILS.	---
---	PROPOSED LANDSCAPED AREA	---
○	SIGN	○
○	WATER VALVE	○
○	FIRE HYDRANT	○
○	WATER METER OR BOX	○
○	ELECTRIC VAULT	○
○	SEWER MANHOLE	○
○	CLEANOUT	○
○	CATCH BASIN OR DRAIN INLET	○
○	GAS VALVE	○
○	LIGHT POLE AND UTILITY POLE	○
○	BACKFLOW PREVENTER	○
○	PROPOSED DRAINAGE SWALE	○
○	PROPOSED TRANSFORMER IN UNDERGROUND VAULT	○

SITE INFORMATION:
 APN: 07-0594-08, 07-0594-09
 ZONING: HBX-2
 FLOOD ZONE: THE PROPERTY LIES WITHIN FLOOD ZONE "X" PER FIRM PANEL NO: 06001C0058C, DATED AUGUST 03, 2009. ZONE X IS DEFINED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD."
SUMMARY:
 PARCEL AREA = 19,975 SF (±0.229 ACRES)
 TOTAL DISTURBED AREA = 112,262 SF (±0.229 ACRES)
 PROPOSED BUILDING FOOTPRINT AREA = 15,750 SF
ON-SITE AREA SUMMARY:
 TOTAL DISTURBED ON-SITE AREA = ± 9,975 SF
 EXISTING IMPERVIOUS AREA = ± 9,975 SF
 EXISTING PERVIOUS AREA = ± 0 SF
 PROPOSED IMPERVIOUS AREA = ± 7,918 SF
 PROPOSED PERVIOUS AREA = ± 2,057 SF
 CHANGE IN IMPERVIOUS AREA = ± 2,057 SF DECREASE



CIVIL ONSITE IMPROVEMENT PLAN / LIMITS OF CONSTRUCTION
SCALE: 1"=20'

ABBREVIATIONS	
AC	ASPHALT CONCRETE
ADA	AMERICANS WITH DISABILITIES ACT
APN	ASSESSORS PARCEL NUMBER
APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AVE	AVENUE
BAMQMD	BAY AREA AIR QUALITY MANAGEMENT DISTRICT
BLDG	BUILDING
BLVD	BOULEVARD
BK	BOOK
BM	BENCHMARK
BOP	BOTTOM OF PIPE
BSM	BIOTREATMENT SOIL MIX
C	CONCRETE
CA	CALIFORNIA
CASQA	CALIFORNIA STORMWATER QUALITY ASSOCIATION
CB	CATCH BASIN
CCTV	CLOSED-CIRCUIT TELEVISION
CL	CENTERLINE
CLR	CLEAR
COMM	COMMUNICATION
CONC	CONCRETE
CVLT	COMMUNICATION VAULT
DCV	DETECTOR CHECK VALVE
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY
DI	DROP INLET
DA	DIAMETER
DWG	DRAWING
E	ELECTRIC / EAST
EBMUD	EAST BAY MUNICIPAL UTILITY DISTRICT
ECAB	ELECTRIC CABINET
EVL	ELECTRIC VAULT
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FIRE HYDRANT
FL	FLOW LINE
FND	FOUND
FOC	FACE OF CURB
FP	FIRE PROTECTION
FS	FINISHED SURFACE
FT	FEET
FW	FRONT OF WALK
FWC	FACE OF WALL CONCRETE
G	GAS
GB	GRADE BREAK
GV	GAS VALVE
HDPE	HIGH-DENSITY POLYETHYLENE
HWY	HIGHWAY
HYD	HYDRANT
IE	INVERT ELEVATION
INV	INVERT
IV	IRRIGATION VALVE
JP	JOINT POLE
L	LENGTH
L/S	LANDSCAPE
LF	LINEAL FEET
LT	LIGHT
LUM	LUMINAIRE
MAX	MAXIMUM
MANH	MANHOLE
MIN	MINIMUM
MON	MONUMENT
MTR	METER
N	NORTH
NG	NATURAL GROUND
N.I.C.	NOT IN CONTRACT
NO	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OH	OVERHANG
P	PAVEMENT
PB	PULL BOX
PCC	PORTLAND CEMENT CONCRETE
PGE	PACIFIC GAS AND ELECTRIC
PW	POST INDICATOR VALVE
POC	POINT OF CONNECTION
PP	POWER POLE
PVC	POLYVINYL CHLORIDE
RD	ROAD
RPPA	REDUCED PRESSURE PRINCIPLE ASSEMBLY
S	SLOPE / SANITARY / SOUTH
SAN	SANITARY SEWER PVC
SDMH	STORM DRAIN MANHOLE
SDR35	STANDARD DIMENSIONAL RATIO 35
SF	SQUARE FEET
SL	STREET LIGHT
SLPB	STREET LIGHT PULL BOX
SP	SPECIFIC PLAN
SPEC	SPECIFICATION
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
ST	STREET
STD	STANDARD
STLT	STREET LIGHT
SW	SIDEWALK
T	TELEPHONE
TBM	TEMPORARY BENCHMARK
TC	TOP OF CURB
TCD	TRAFFIC CONTROL DEVICE
TEV	TELEPHONE VAULT
TL	TRAFFIC LIGHT
TOE	TOE OF SLOPE
TOP	TOP OF SLOPE / TOP OF PIPE
TS	TRAFFIC SIGNAL
TSBP	TRAFFIC SIGNAL PULL BOX
TVLT	TELEPHONE VAULT
TOW	TOP OF WALL
TYP	TYPICAL
UE	UNDERGROUND ELECTRIC
UT	UNDERGROUND TELEPHONE
UTIL	UTILITY
VAR	VARIABLE
VAT	VACUUM AIR TUBE
VCP	VITRIFIED CLAY PIPE
VLT	VAULT
W	WEST
W/	WITH
WM	WATER METER
WTR	WATER LINE
WV	WATER VALVE
WLT	WATER VAULT



VICINITY MAP
NOT TO SCALE

CIVIL SHEET INDEX

C0.1	CIVIL TITLE SHEET
C1.0	PRELIMINARY SITE, PAVING AND LAYOUT PLAN
C2.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C3.0	PRELIMINARY UTILITY PLAN

SCOPE OF WORK:

THE SCOPE OF WORK IS TO DEVELOP A NEW MIX-USE BUILDING INCLUDING FOUR (4) PROPOSED PARCELS - EACH CONTAINING A DUPLEX - THAT WILL EVENTUALLY BE TURNED INTO CONDOMINIUMS ON A SINGLE EXISTING PARCEL (APNs: 07-05984-08; 07-05984-09).

SOILS REPORT NOTE:

NO GEOTECHNICAL EVALUATION HAS BEEN PERFORMED AT THIS TIME. A GEOTECHNICAL INVESTIGATION SHALL BE COMPLETED PRIOR TO THE COMPLETION OF THESE PLANS.

SURVEY NOTE:

TOPOGRAPHIC SURVEY PROVIDED BY SOUSA LAND SURVEYS INC., DATED 05/28/2015. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.

LEGAL DESCRIPTION AND EASEMENT NOTE:

THE LEGAL DESCRIPTION AND EASEMENT INFORMATION FOR THE PROPERTY SURVEYED HEREON IS TAKEN FROM THE PRELIMINARY TITLE REPORT DATED JANUARY 28, 2015, PREPARED BY CHICAGO TITLE COMPANY AT 2150 JOHN GLENH, SUITE 400, CONCORD, CA 94520, UNDER TITLE NUMBER 15-58205927-KD.

BASIS OF BEARING:

THE BEARINGS SHOWN ON THIS SURVEY ARE BASED ON THE MONUMENT LINE OF PERALTA STREET AS SHOWN ON PARCEL MAP 8534 (298 P.M. 55). THAT BEARING TAKEN AS N32°16'00"E.

DATUM / BENCHMARK:

THE ELEVATIONS SHOWN ON THIS SURVEY ARE BASED UPON THE CITY OF OAKLAND DATUM, CITY BENCHMARK NO. 270 BEING A BRASS PIN SET IN THE BACK OF THE CONCRETE SIDEWALK AT THE NORTHWEST CORNER OF THE INTERSECTION OF 32ND AND PERALTA STREETS. ELEVATION TAKEN AS 12.173.

LEGAL DESCRIPTION:

PARCEL TWO - APN: 007-0594-008; COMMENCING AT A POINT IN THE WESTERLY LINE OF HOLLIS STREET, DISTANT THEREON 200 FEET SOUTHERLY FROM THE SOUTHERLY LINE OF "B" STREET; RUNNING THENCE WESTERLY 133 FEET; THENCE AT RIGHT ANGLES NORTHERLY 25 FEET; THENCE AT RIGHT ANGLES EASTERLY 133 FEET; THENCE AT RIGHT ANGLES SOUTHERLY 25 FEET TO THE POINT OF BEGINNING. BEING SUBDIVIDED IN A IN LOT NUMBER 8, BLOCK NUMBER 791, AS THE SAME IS DELINEATED AND SO DESIGNATED UPON A CERTAIN MAP ENTITLED, "MAP NO. 2 OF WATTS TRACT", FILED NOVEMBER 17, 1876, IN BLOCK 6, PAGE 13, IN THE COUNTY OF ALAMEDA COUNTY.

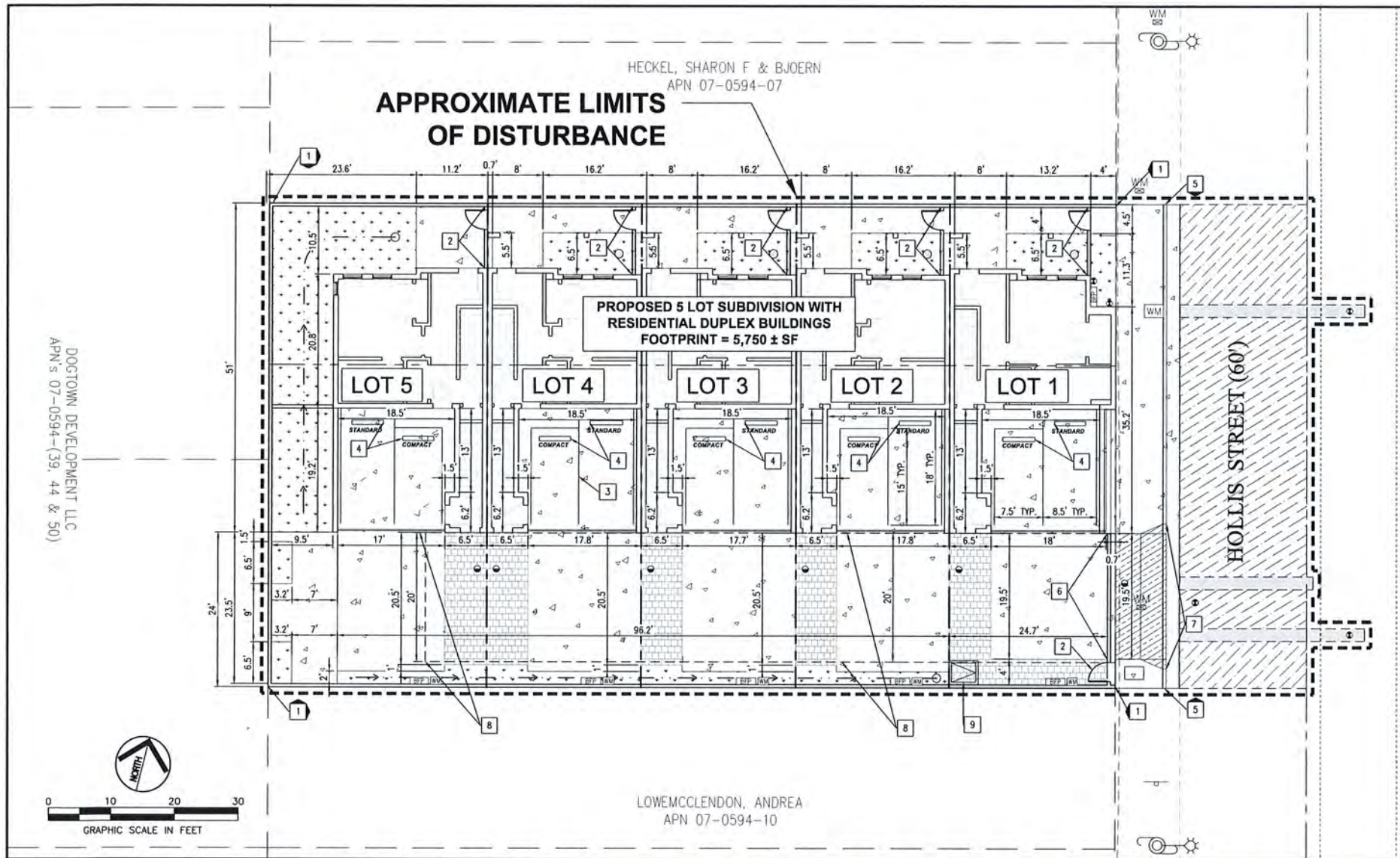
PARCEL THREE - APN: 007-0594-009; SUBDIVISIONS C AND D OF LOT 9, BLOCK 791, MAP NO. 2 OF WATTS TRAT, FILED NOVEMBER 17, 1876, MAP BOOK 6, PAGE 13, ALAMEDA COUNTY RECORDS.



ENGINEERS NOTE TO THE CONTRACTOR:

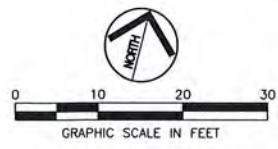
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

CALL 811 OR 1-800-227-2600
WWW.USANORTH.ORG
CALL TWO WORKING DAYS BEFORE YOU DIG



PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SITE IMPROVEMENTS	---
---	1-FOOT CONTOUR	9
---	5-FOOT CONTOUR	10
WTR	POTABLE WATER LINE (PVC SCHEDULE 80)	WTR
FP	FIRE PROTECTION WATER LINE (PVC C-900 CLASS 200)	WTR
SS	SANITARY SEWER LINE	SS
SD	STORM DRAIN LINE	SD
G	GAS LINE	G
UE	UNDERGROUND ELECTRIC	UE
---	UNDERGROUND DATA AND TELEPHONE LINE	UT
---	FENCE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
○	TREE	○
□	STANDARD PCC PAVEMENT	□
▨	TRENCH EXCAVATION LIMITS, REPLACE FULL DEPTH	▨
▩	HEAVY DUTY PCC PAVEMENT	▩
▧	NEW GRIND AND OVERLAY OF 2" AC	▧
▦	PROPOSED PERMEABLE PAVERS - SEE LANDSCAPE PLANS FOR COLOR, AND DETAILS.	▦
▤	PROPOSED LANDSCAPED AREA	▤
⊕	SIGN	⊕
⊕	WATER VALVE	⊕
⊕	FIRE HYDRANT	⊕
⊕	WATER METER OR BOX	⊕
⊕	ELECTRIC VAULT	⊕
⊕	SEWER MANHOLE	⊕
⊕	CLEANOUT	⊕
⊕	CATCH BASIN OR DRAIN INLET	⊕
⊕	GAS VALVE	⊕
⊕	LIGHT POLE AND UTILITY POLE	⊕
⊕	BACKFLOW PREVENTER	⊕
⊕	PROPOSED DRAINAGE SWALE	⊕
⊕	PROPOSED TRANSFORMER IN UNDERGROUND VAULT	⊕

DOGTOWN DEVELOPMENT, LLC
APN'S 07-0594-(39, 44 & 50)



GENERAL NOTES:

- ALL CURBS ARE PCC VERTICAL BARRIER CURB 6" UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ALAMEDA COUNTY AND CITY OF OAKLAND STANDARDS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE COVERED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

ENGINEER'S ADA NOTES:

- ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CURRENT AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAG), THE AMERICANS WITH DISABILITIES ACT (ADA), AND MUNICIPAL AND STATE ADA REGULATIONS.
- RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%)
 - RAMPS ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 (5%) AND 1:12 (8.33%) AND SHALL HAVE A MINIMUM WIDTH OF 3 FEET (EXCEPT AT DOORWAYS) AND A MAXIMUM CROSS-SLOPE OF 2%. RAMPS EXCEEDING 30 INCHES VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2% MAX SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN THE DIRECTION OF TRAVEL OF 60 INCHES.
 - MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
 - TRUNCATED DUMPS AS DETECTABLE WARNINGS ARE REQUIRED ON ALL WALKS THAT CROSS OR ADJOIN A VEHICULAR WAY WITHOUT A VERTICAL SEPARATION BETWEEN WALKWAY AND VEHICULAR WAY.
 - ANY REQUEST BY A MUNICIPALITY OR INSPECTOR TO MODIFY THE ACCESSIBILITY DETAILS OR DESIGN SHOWN ON THESE PLANS AND SPECIFICATIONS MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. ANY CHANGES MADE BY A PRIMARY OR SUB-CONTRACTOR WITHOUT APPROVAL FROM THE ENGINEER AND LATER FOUND TO BE NON-COMPLIANT WITH THE DETAILS AS SHOWN IN THESE PLANS AND SPECIFICATIONS AND FEDERAL, STATE AND LOCAL LAW WILL BE REMOVED AND REPLACED AND MADE FULLY COMPLIANT REGARDLESS OF MAGNITUDE AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL FOLLOW THE RFI PROCESS IN ESTABLISHING THE APPROVAL OR DENIAL OF CHANGES TO ADA RELATED DETAILS OR MOUNTING DIMENSIONS.
 - 1/8" MAXIMUM DEPTH TO TOP OF SEALANT AND 1/8" MAXIMUM PROTRUSION TO TOP OF SEALANT ALONG ADA ACCESS ROUTES.

SITE PLAN KEY NOTES

- PROPOSED RETAINING WALL. SEE GRADING PLAN FOR HEIGHT.
- PROPOSED FENCE AND PEDESTRIAN SWING GATE. SEE ARCHITECTURAL PLANS FOR DETAIL.
- PROPOSED 4" WIDE PARKING STRIPE. TRAFFIC WHITE PAINT. MINIMUM TWO COATS.
- PROPOSED CONCRETE WHEEL STOP.
- PROPOSED TYPE "A" CURB AND GUTTER PER CITY OF OAKLAND STANDARD.
- PROPOSED FENCE AND VEHICLE GATE. SEE ARCHITECTURAL PLANS.
- PROPOSED DRIVEWAY PER CITY OF OAKLAND STANDARD.
- PROPOSED 20' WIDE UTILITY EASEMENT
- PROPOSED TRANSFORMER IN UNDERGROUND VAULT. SEE ON-SITE ELECTRICAL PLANS AND P&E PLANS FOR DETAILS.

ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.



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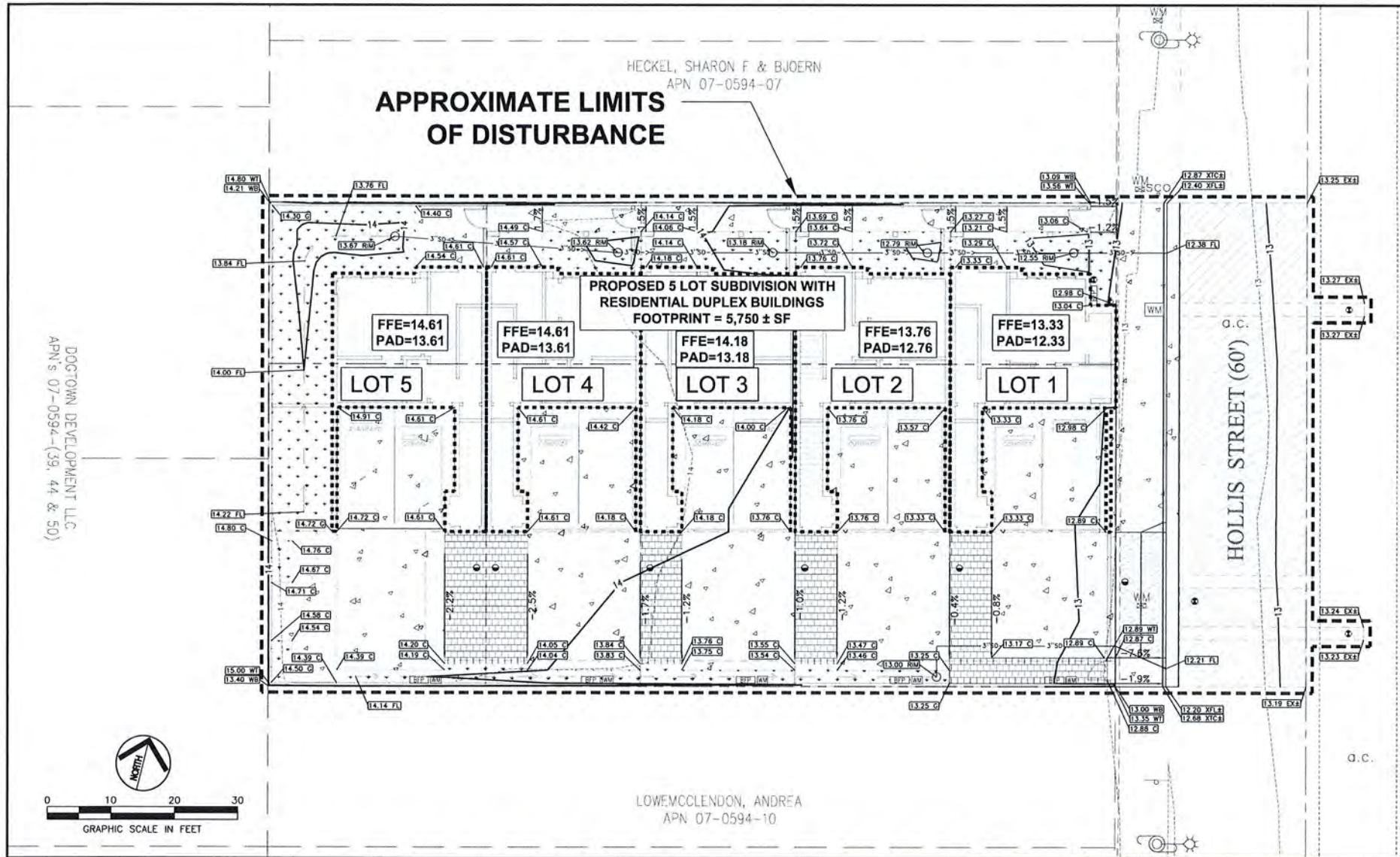
CONTACT: RECO PRIANTO

(510) 250-7877 P
(415) 260-2452 C

SCALE: AS NOTED

PRELIMINARY SITE
PAVING AND
LAYOUT PLAN

C1.1



PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SITE IMPROVEMENTS	---
---	1-FOOT CONTOUR	9
---	5-FOOT CONTOUR	10
WTR	POTABLE WATER LINE (PVC SCHEDULE 80)	WTR
FP	FIRE PROTECTION WATER LINE (PVC C-900 CLASS 200)	WTR
SS	SANITARY SEWER LINE	SAN
SD	STORM DRAIN LINE	SD
G	GAS LINE	G
UE	UNDERGROUND ELECTRIC	UE
---	UNDERGROUND DATA AND TELEPHONE LINE	UT
---	FENCE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
○	TREE	○
□	STANDARD PCC PAVEMENT	□
□	TRENCH EXCAVATION LIMITS, REPLACE FULL DEPTH	□
□	HEAVY DUTY PCC PAVEMENT	□
□	NEW GRIND AND OVERLAY OF 2" AC	□
□	PROPOSED PERMEABLE PAVERS - SEE LANDSCAPE PLANS FOR COLOR, AND DETAILS.	□
□	PROPOSED LANDSCAPED AREA	□
○	SIGN	○
○	WATER VALVE	○
○	FIRE HYDRANT	○
○	WATER METER OR BOX	○
○	ELECTRIC VAULT	○
○	SEWER MANHOLE	○
○	CLEANOUT	○
○	CATCH BASIN OR DRAIN INLET	○
○	GAS VALVE	○
○	LIGHT POLE AND UTILITY POLE	○
○	BACKFLOW PREVENTER	○
○	PROPOSED DRAINAGE SWALE	○
○	PROPOSED TRANSFORMER IN UNDERGROUND VAULT	○

SPOT GRADING LEGEND	
---	INDICATES ELEVATION TO MATCH EXISTING ITEM
---	INDICATES ELEVATION AT TOP OF CURB
---	INDICATES ELEVATION AT FINISHED GROUND
---	INDICATES ELEVATION AT TOP OF CONCRETE
---	INDICATES FLOWLINE ELEVATION OF PIPE, SWALE, OR GUTTER
---	INDICATES RIM ELEVATION OF UTILITY
---	INDICATES ELEVATION AT TOP OF ASPHALT PAVEMENT
---	INDICATES ELEVATION AT BOTTOM OF WALL
---	INDICATES ELEVATION AT TOP OF WALL
---	INDICATES ELEVATION AT FLOOR FINISH
---	DRAINAGE ARROW AND PROPOSED SLOPE

- GENERAL NOTES:**
- ALL CURBS ARE PCC VERTICAL BARRIER CURB 6" UNLESS OTHERWISE NOTED.
 - ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ALAMEDA COUNTY AND CITY OF OAKLAND STANDARDS.
 - ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
 - ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
 - ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
 - THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

- GRADING NOTES:**
- ALL GRADE BREAKS SHALL BE CONSTRUCTED AS A VERTICAL CURVE TO AVOID ANY DEFINED CRESTS OR SUMPS.

PAVEMENT ELEVATION NOTE:
UNLESS OTHERWISE NOTED, PAVEMENT ELEVATION (P) IS 6" BELOW THE TOP OF CURB (TC) ELEVATION.

PRELIMINARY EARTHWORK:
TOTAL CUT TO FFE = 26 CY
TOTAL FILL TO FFE = 53 CY
NET (EXPORT/IMPORT) = 27 CY (IMPORT)

CALL 811 OR 1-800-227-2600

ENGINEERS NOTE TO THE CONTRACTOR:

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WWW.USANORTH.ORG
CALL TWO WORKING DAYS BEFORE YOU DIG



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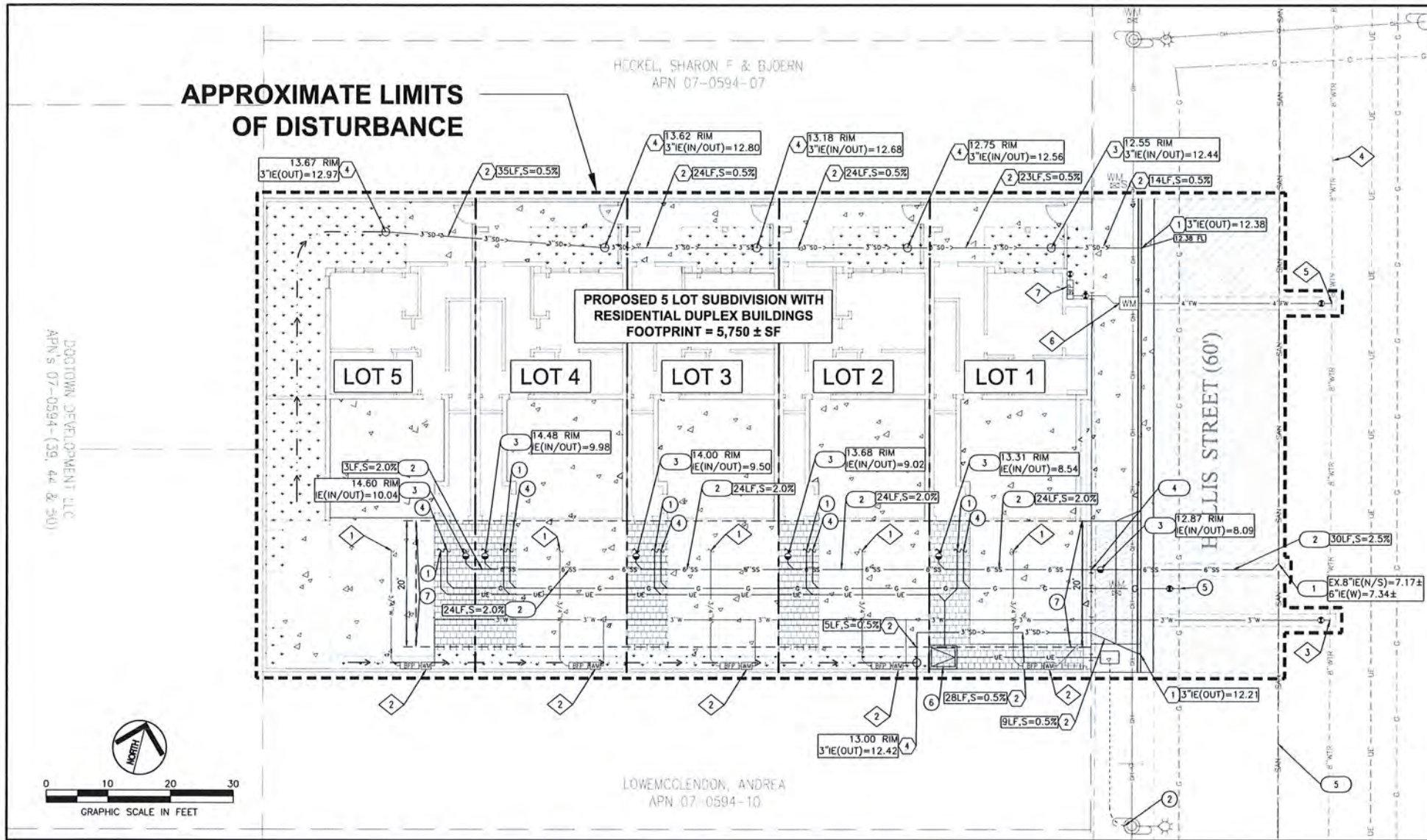
CONTACT: RECO PRANTO

(510) 250-7877 P
(415) 260-2452 C

SCALE: AS NOTED

PRELIMINARY
GRADING AND
DRAINAGE PLAN

C2.1



PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	SITE IMPROVEMENTS	---
---	1-FOOT CONTOUR	9
---	5-FOOT CONTOUR	10
WTR	POTABLE WATER LINE (PVC SCHEDULE 80)	WTR
FP	FIRE PROTECTION WATER LINE (PVC C-900 CLASS 200)	WTR
SS	SANITARY SEWER LINE	SS
SD	STORM DRAIN LINE	SD
G	GAS LINE	G
UE	UNDERGROUND ELECTRIC	UE
---	UNDERGROUND DATA AND TELEPHONE LINE	---
---	FENCE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
○	TREE	○
□	STANDARD PCC PAVEMENT	□
▨	TRENCH EXCAVATION LIMITS, REPLACE FULL DEPTH	▨
▩	HEAVY DUTY PCC PAVEMENT	▩
▧	NEW GRIND AND OVERLAY OF 2" AC	▧
▦	PROPOSED PERMEABLE PAVERS - SEE LANDSCAPE PLANS FOR COLOR AND DETAILS.	▦
▤	PROPOSED LANDSCAPED AREA	▤
○	SIGN	○
○	WATER VALVE	○
○	FIRE HYDRANT	○
○	WATER METER OR BOX	○
○	ELECTRIC VAULT	○
○	SEWER MANHOLE	○
○	CLEANOUT	○
○	CATCH BASIN OR DRAIN INLET	○
○	GAS VALVE	○
○	LIGHT POLE AND UTILITY POLE	○
○	BACKFLOW PREVENTER	○
○	PROPOSED DRAINAGE SWALE	○
○	PROPOSED TRANSFORMER IN UNDERGROUND VAULT	○



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SCALE: AS NOTED

**PRELIMINARY
UTILITY PLAN**

C3.0

GENERAL NOTES:

- ALL CURBS ARE PCC VERTICAL BARRIER CURB 6" UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ALAMEDA COUNTY AND CITY OF OAKLAND STANDARDS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

UTILITY PLAN NOTES:

- SEE SHEET C4.0 AND C4.1 - STORM WATER CONTROL PLAN FOR ADDITIONAL STORM DRAIN UTILITY DESIGN INFORMATION.
- EXISTING OFF-SITE UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON RECORD DRAWINGS OR AS-BUILT INFORMATION.
- LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED AND ARE SHOWN BASED ON LOCATIONS OF EXISTING VISIBLE UTILITY STRUCTURES SURVEYED IN THE FIELD. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
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- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

UNDERGROUND UTILITY NOTE:

THE TYPES, LOCATIONS, SIZES AND/OR DEPTH OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

SANITARY SEWER KEY NOTES

- CONNECT PROPOSED SANITARY SEWER TO SERVICE LATERAL STUB. SIZE AND INVERT PER PLAN. SEE ONSITE PLUMBING PLANS FOR CONTINUATION.
- PROPOSED 12" VCP SANITARY SEWER SERVICE PIPE. SIZE, LENGTH AND SLOPE PER PLAN. TRENCH AND BACKFILL PER CITY OF OAKLAND STD. DWG. D-22.
- PROPOSED TWO-WAY SANITARY SEWER CLEANOUT PER CITY OF OAKLAND STD. DWG. D-24. RIM AND INVERT PER PLAN.
- PROPOSED SANITARY SEWER STUB AT PROPERTY LINE, INVERT ELEVATION PER PLAN.
- CONTRACTOR TO PROTECT EXISTING SEWER LINE TO REMAIN.

STORM DRAIN KEY NOTES

- CONNECT PROPOSED STORM DRAIN TO XXX. RIM, INVERT, AND PIPE SIZE PER PLAN.
- PROPOSED STORM DRAIN PIPE. SIZE, LENGTH AND SLOPE PER PLAN.
- PROPOSED STORM DRAIN INLET. RIM AND INVERT PER PLAN.
- PROPOSED LANDSCAPE AREA DRAIN INLET. RIM AND INVERT PER PLAN.
- PROPOSED STORM DRAIN CLEAN-OUT. RIM AND INVERT PER PLAN.

WATER KEY NOTES

- CONNECT PROPOSED 3/4" DOMESTIC WATER SERVICE TO BUILDING SERVICE STUB. SEE ONSITE PLUMBING PLANS FOR CONTINUATION.
- PROPOSED 4" DOMESTIC WATER METER AND VAULT PER EBMUD STANDARD DRAWING 3602-B-2.
- CONNECT 4" DOMESTIC WATER SERVICE TO EXISTING WATER MAIN PER EBMUD STANDARD DRAWING 3684-B. SIZE AND LENGTH PER PLAN. TRENCH AND BACKFILL PER EBMUD STANDARD DRAWING 1992-A.
- CONTRACTOR TO PROTECT EXISTING WATER LINE TO REMAIN.
- CONNECT FIRE SERVICE TO EXISTING WATER MAIN PER EBMUD STANDARD DRAWING 3684-B. TRENCH AND BACKFILL PER EBMUD STANDARD DRAWING 1992-A.
- PROPOSE UNDERGROUND SINGLE DETECTOR CHECK WITH METER ASSEMBLY PER EBMUD STANDARD DRAWING 3684-B AND 314-EA.
- POINT OF CONNECTION FOR PROPOSED FIRE WATER SERVICE. SEE ONSITE PLUMBING PLANS FOR REQUIRED BACKFLOW PREVENTION DEVICE PER EBMUD STANDARD DETAIL 1931-A-1.

NOTE: EBMUD TO PERFORM ALL WATER LINE CONSTRUCTION IN THE PUBLIC ROW, UNLESS OTHERWISE NOTED.

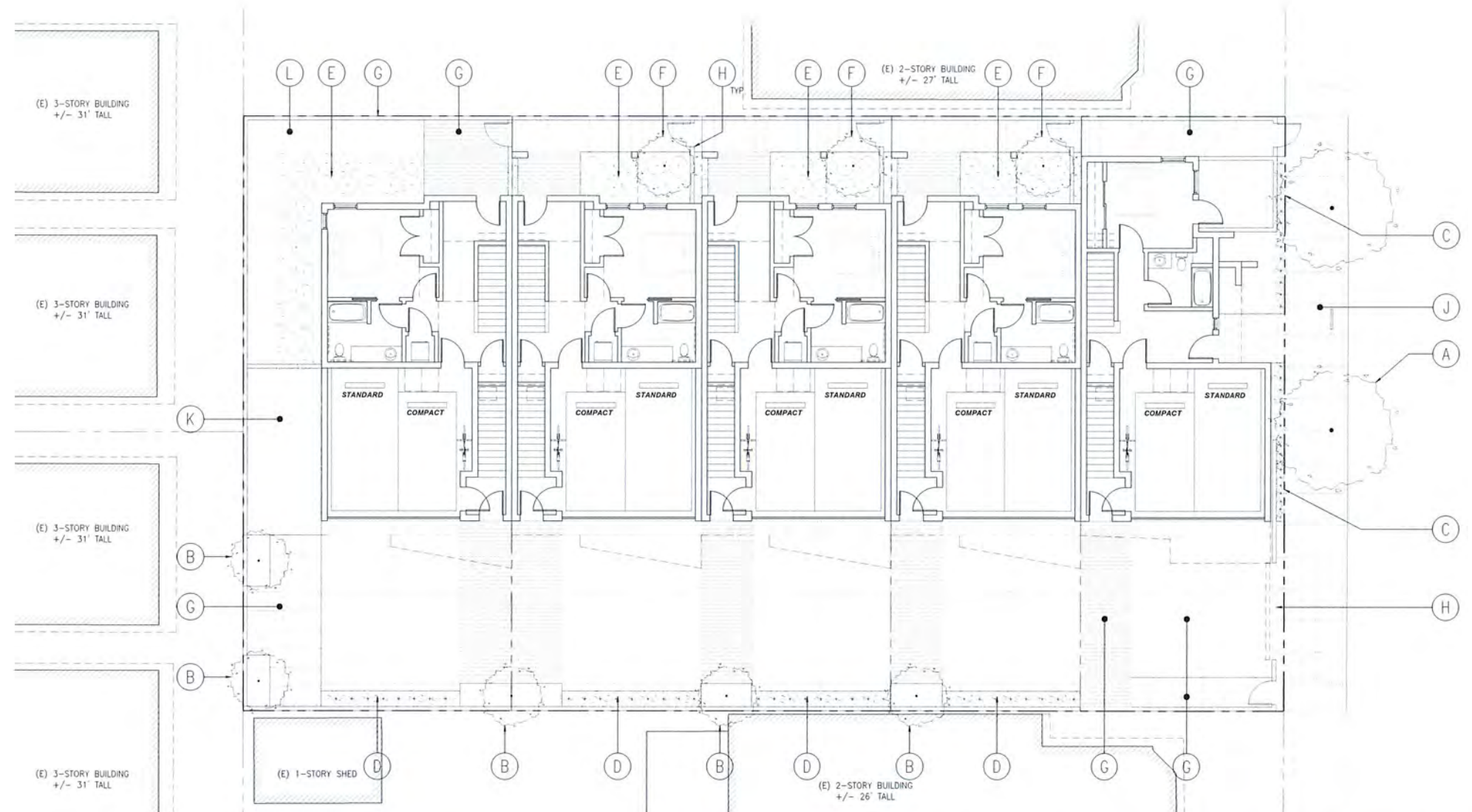
DRY UTILITY KEY NOTES

- PROPOSED ELECTRICAL SERVICE CONDUITS AND ELECTRICAL METER TO BUILDING. SEE ONSITE ELECTRICAL PLANS AND PG&E PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS.
- CONNECT PROPOSED ELECTRICAL SERVICE CONDUITS TO EXISTING ELECTRICAL UTILITY IN PUBLIC SIDEWALK. SEE PG&E PLANS FOR DETAILS.
- CONNECT PROPOSED DATA AND TELEPHONE PVC SERVICE CONDUITS TO BUILDING. SEE ONSITE ELECTRICAL PLANS AND DATA PROVIDER PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS.
- PROPOSED GAS METER ON SIDE OF BUILDING. SEE ONSITE GAS PLANS AND PG&E PLANS FOR CONNECTION AND DETAILS.
- CONNECT PROPOSED GAS SERVICE AND GAS VALVE TO EXISTING GAS LINE IN PUBLIC ROADWAY. SEE PG&E PLANS FOR DETAILS.
- PROPOSED TRANSFORMER IN UNDERGROUND VAULT. SEE ONSITE ELECTRICAL PLANS AND PG&E PLANS FOR DETAILS.
- PROPOSED 20' UTILITY EASEMENT

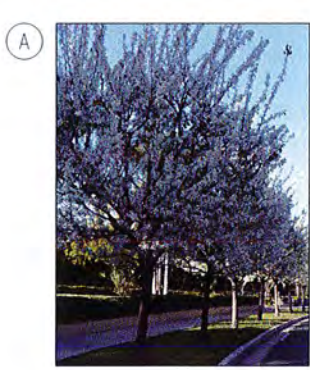


ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.



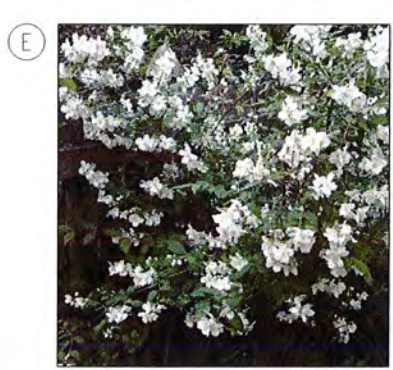
1 LANDSCAPE PLAN
1/8" = 1'-0"



(A) PYRUS KAWAKAMI
'EVERGREEN PEAR'
36" BOX



(C) JUNCUS PATENS
'CALIFORNIA GRAY RUSH'
5 GALLON



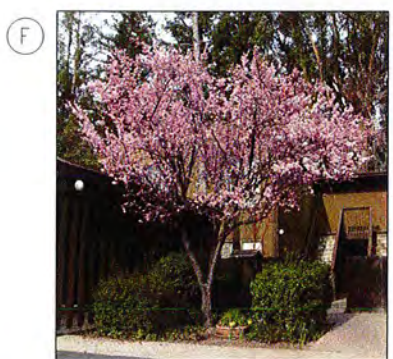
(E) PHILADELPHUS LEWISII
'WILD MOCK ORANGE'
5 GALLON



(B) PARROTIA PERSICA
'PERSIAN IRONWOOD'
24" BOX



(D) CAREX DIVULSA (TUMULICOLA)
'BERKELEY SEDGE'
5 GALLON



(F) PRUNUS X BUREANA
'FLOWERING PLUM'
24" BOX

- (G) STAMPED CONCRETE
- (H) 6'-0" TALL FENCING WITH PEDESTRIAN AND VEHICULAR GATE
- (J) CITY STANDARD SIDEWALK
- (K) DG MULCH
- (L) MULCH



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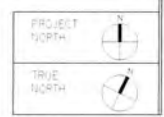
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09-24-2018	PLANNING RE-SUBMITTAL

CONTACT: TOBY LEVY

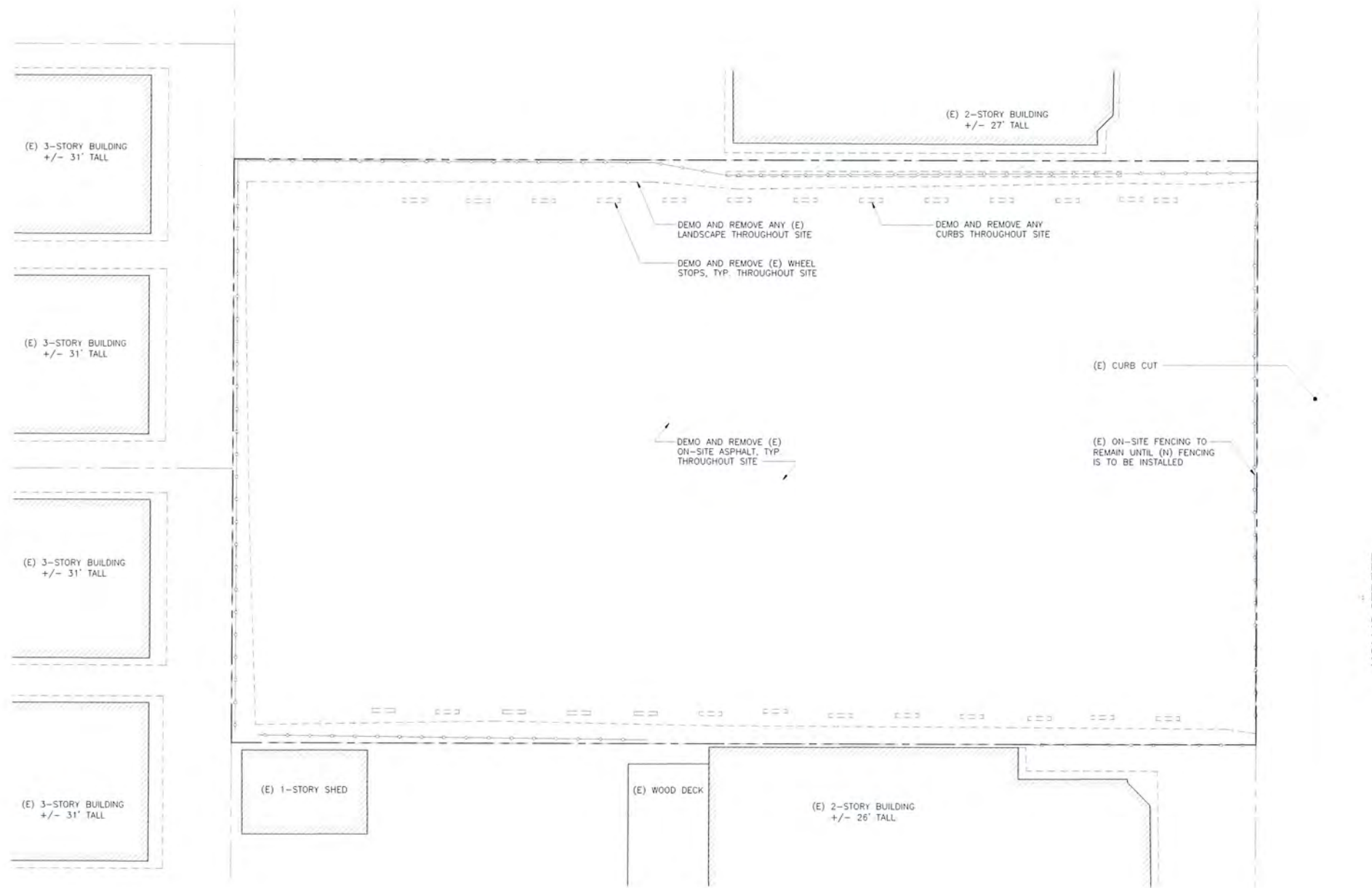
(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

LANDSCAPE PLAN



L2.1



1 SITE PLAN: DEMO
1/8" = 1'-0"

SITE PLAN DEMO: GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND/OR PROTECTION OF THE EXISTING ITEMS AS NOTED IN THIS PLAN.
2. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES.
3. CONTRACTOR IS TO DISPOSE OF ALL MATERIAL RESULTING FROM PREVIOUS AND CURRENT DEMOLITION IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL LAWS.
4. THE CONTRACTOR IS CAUTIONED TO LOCATE ALL EXISTING UTILITIES AND CONFLICTS. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY CONSTRUCTION ACTIVITY IN ORDER TO FIELD VERIFY EXISTING UTILITY INFORMATION.
5. LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR. PROTECT ALL EXISTING UTILITIES IN PLACE.
6. CONTRACTOR TO CAP EXISTING WATER LINES AT THE PROPERTY LINE FOR FUTURE USE. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH AND PROVIDE TO ENGINEER.
7. CONTRACTOR TO PROTECT EXISTING STREET LIGHTS & POSTS, TRAFFIC SIGNALS & POSTS, TRAFFIC CONTROL DEVICES, SIGNS AND UTILITY BOXES IN THE SIDEWALK; UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DEMOLITION PERMITS AS REQUIRED FROM THE CITY OF OAKLAND, OR ANY OTHER AGENCY HAVING JURISDICTION.



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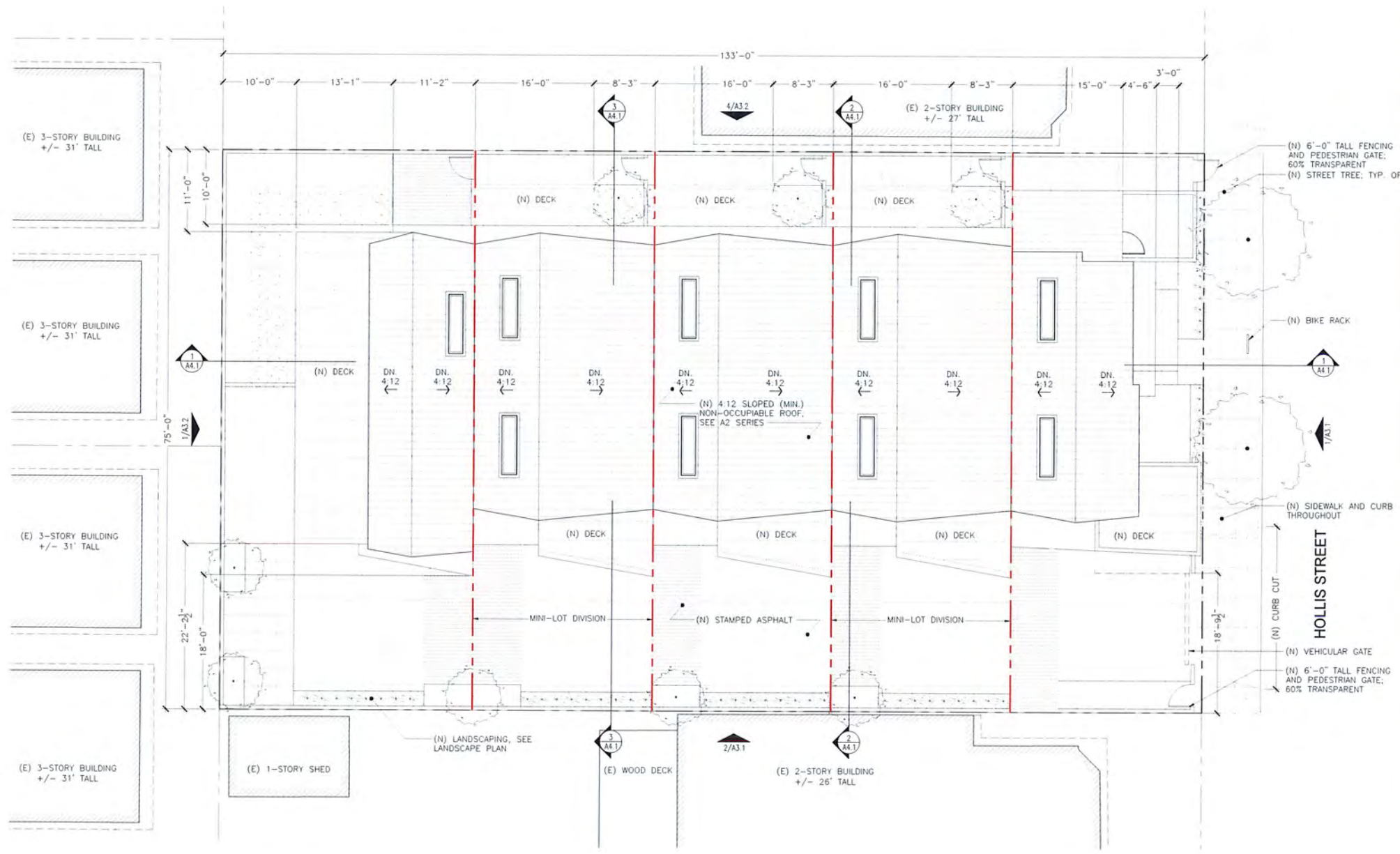
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SCALE: AS NOTED

SITE PLAN:
DEMO

A1.0





SITE PLAN PROPOSED: GENERAL NOTES

- 1 SEE CIVIL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- 2 SEE A0.2 FOR ACCESS AND EGRESS INFORMATION
- 3 SEE A2 SERIES FOR OVERALL FLOOR PLANS
- 4 SEE A5 SERIES FOR ENLARGED UNIT PLANS
- 5 DIMENSIONS SHOWN HERE ARE PROVIDED TO SHOW SETBACK INFORMATION ONLY. SEE FLOOR PLANS FOR ADDITIONAL BUILDING DIMENSIONS



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CONTACT: TOBY LEVY

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SCALE: AS NOTED

**SITE PLAN:
 PROPOSED**

A1.1

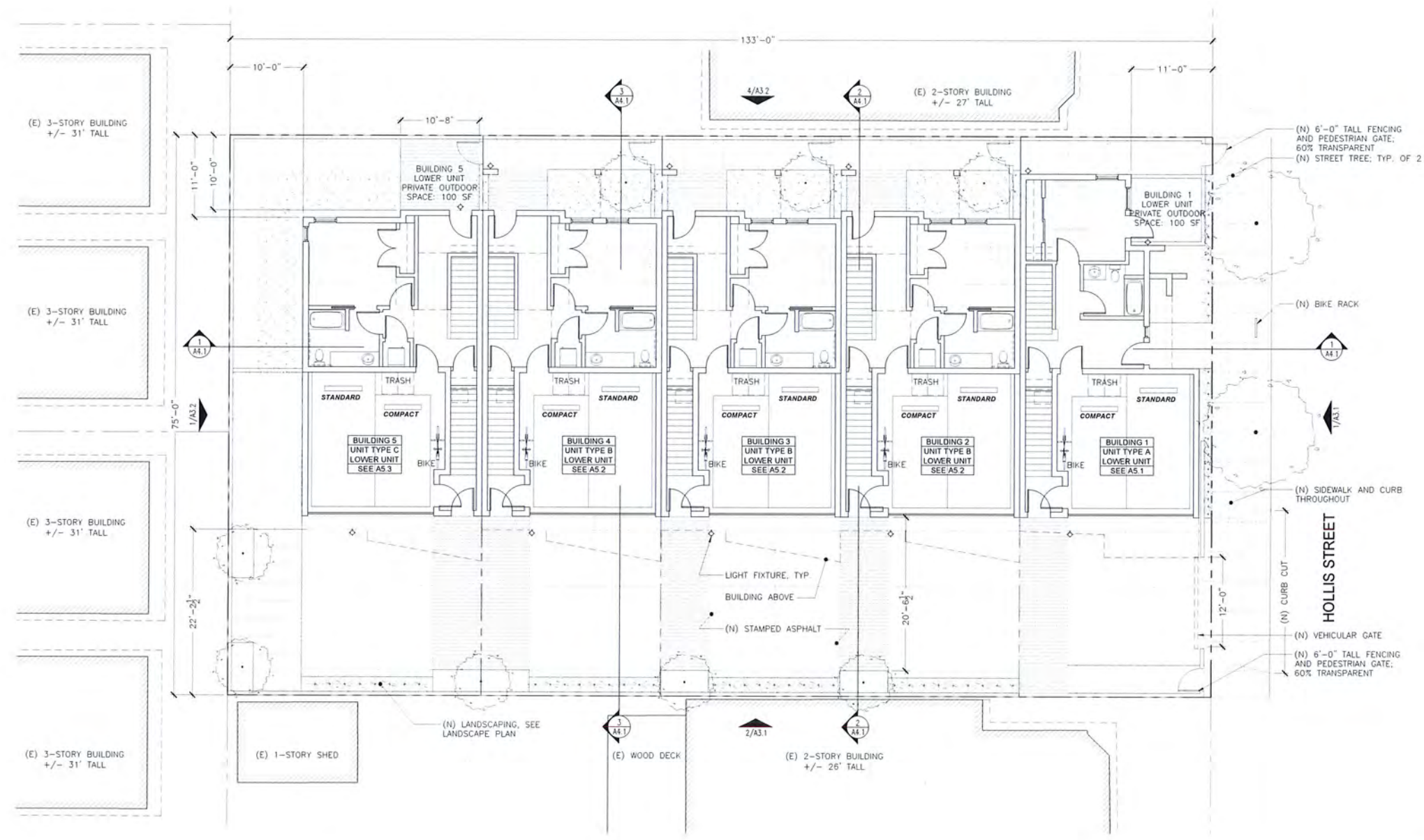
1 SITE PLAN: PROPOSED
 1/8" = 1'-0"





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- PLAN NOTES**
- MINI-LOT, LOT IS DIVIDED INTO 5 MINI-LOTS. SEE SITE PLAN FOR CAL. OUT OF DIVISION LINES.
 - OPEN SPACE
BUILDINGS 1-4
 - LOWER LEVEL UNIT: 75 SF DECK ON 2ND FLOOR. NO DIMENSION LESS THAN 5'-0"
 - UPPER LEVEL UNIT: 75 SF DECK ON 4TH FLOOR. NO DIMENSION LESS THAN 5'-0"**BUILDINGS 5**
 - LOWER LEVEL UNIT: 100 SF ON GROUND FLOOR. NO DIMENSION LESS THAN 10'-0"
 - UPPER LEVEL UNIT: 350 SF DECK ON 4TH FLOOR. NO DIMENSION LESS THAN 5'-0"
 - CAR PARKING
BUILDINGS 1-5
 - 1 PARKING SPACE PROVIDED PER UNIT.
 - BIKE PARKING
SHORT TERM
 - 1 BIKE RACK PROVIDED ON SIDEWALK**LONG TERM**
 - NO SPACE REQUIRED WITH PRIVATE GARAGES



**3245 HOLLIS STREET
 5 MINI-LOT DEVELOPMENT
 OAKLAND, CA**



3245 HOLLIS STREET
 APN: 007-059400-800
 APN: 007-059400-900
 SAN FRANCISCO, CA
 PROJECT NO. 2018-02

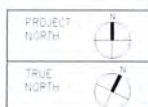
DATE	SET ISSUE
03-05-2018	PLANNING SUBMITTAL
05-11-2018	PLANNING RE-SUBMITTAL
07-20-2018	PLANNING RE-SUBMITTAL
09-24-2018	PLANNING RE-SUBMITTAL

CONTACT: TOBY LEVY

(415) 777-0561 P
 (415) 777-5117 F

SCALE: AS NOTED

FLOOR PLAN:
 1ST FLOOR



1 PLAN: 1ST FLOOR
 1/8" = 1'-0"

A2.1

PLAN NOTES

- MINI-LOT. LOT IS DIVIDED INTO 5 MINI-LOTS. SEE SITE PLAN FOR CAL OUT OF DIVISION LINES.
- OPEN SPACE
 - BUILDINGS 1-4**
 - LOWER LEVEL UNIT: 75 SF DECK ON 2ND FLOOR. NO DIMENSION LESS THAN 5'-0"
 - UPPER LEVEL UNIT: 75 SF DECK ON 4TH FLOOR. NO DIMENSION LESS THAN 5'-0"
 - BUILDING 5**
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- CAR PARKING
 - BUILDINGS 1-5**
 - 1 PARKING SPACE PROVIDED PER UNIT
- BIKE PARKING
 - SHORT TERM**
 - 1 BIKE RACK PROVIDED ON SIDEWALK
 - LONG TERM**
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5 MINI-LOT DEVELOPMENT
OAKLAND, CA**



3245 HOLLIS STREET
APN: 007-059400-800
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SAN FRANCISCO, CA
PROJECT NO. 2018-02

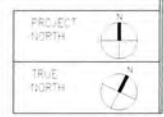
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09-24-2018	PLANNING RE-SUBMITTAL

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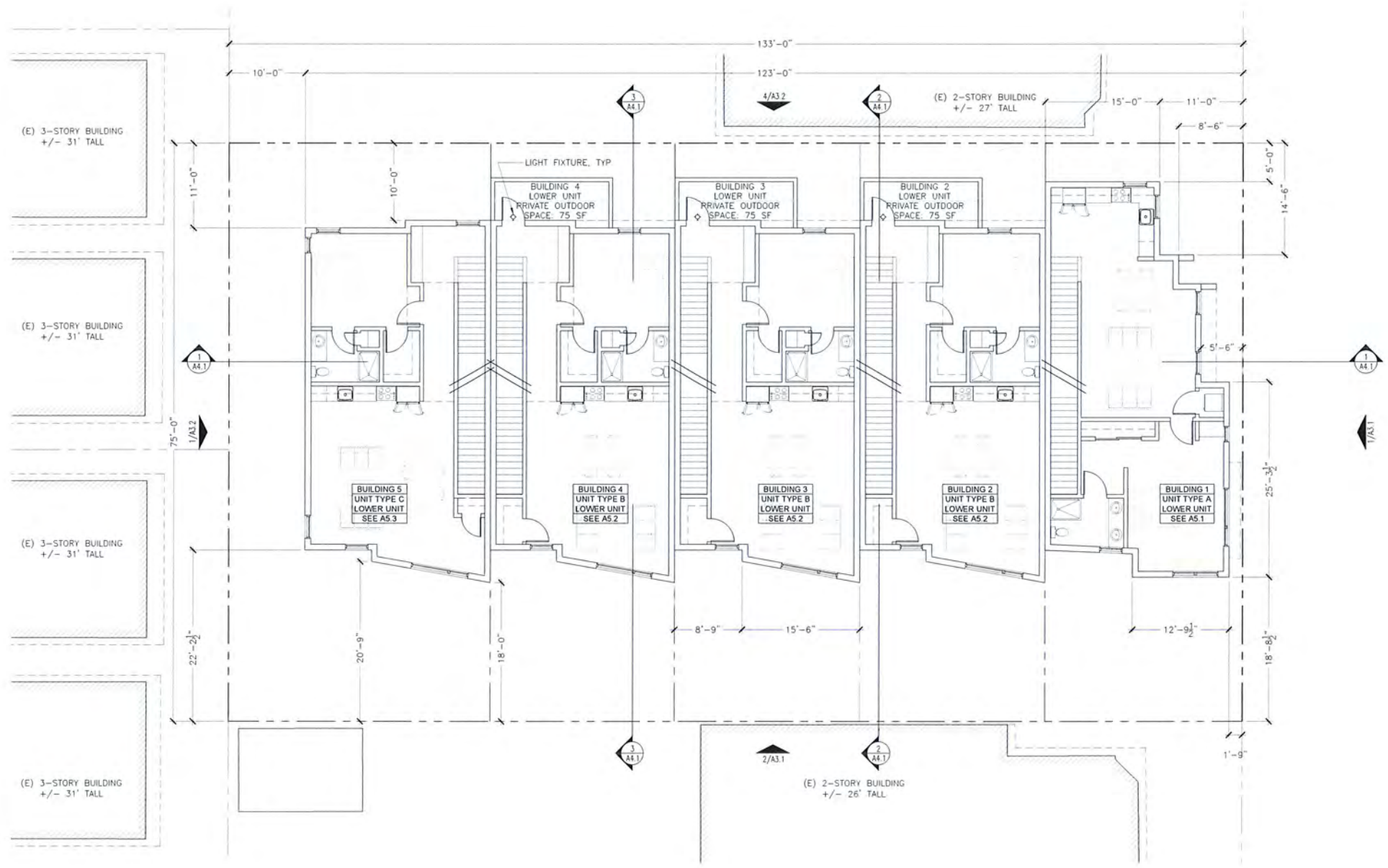
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SCALE: AS NOTED

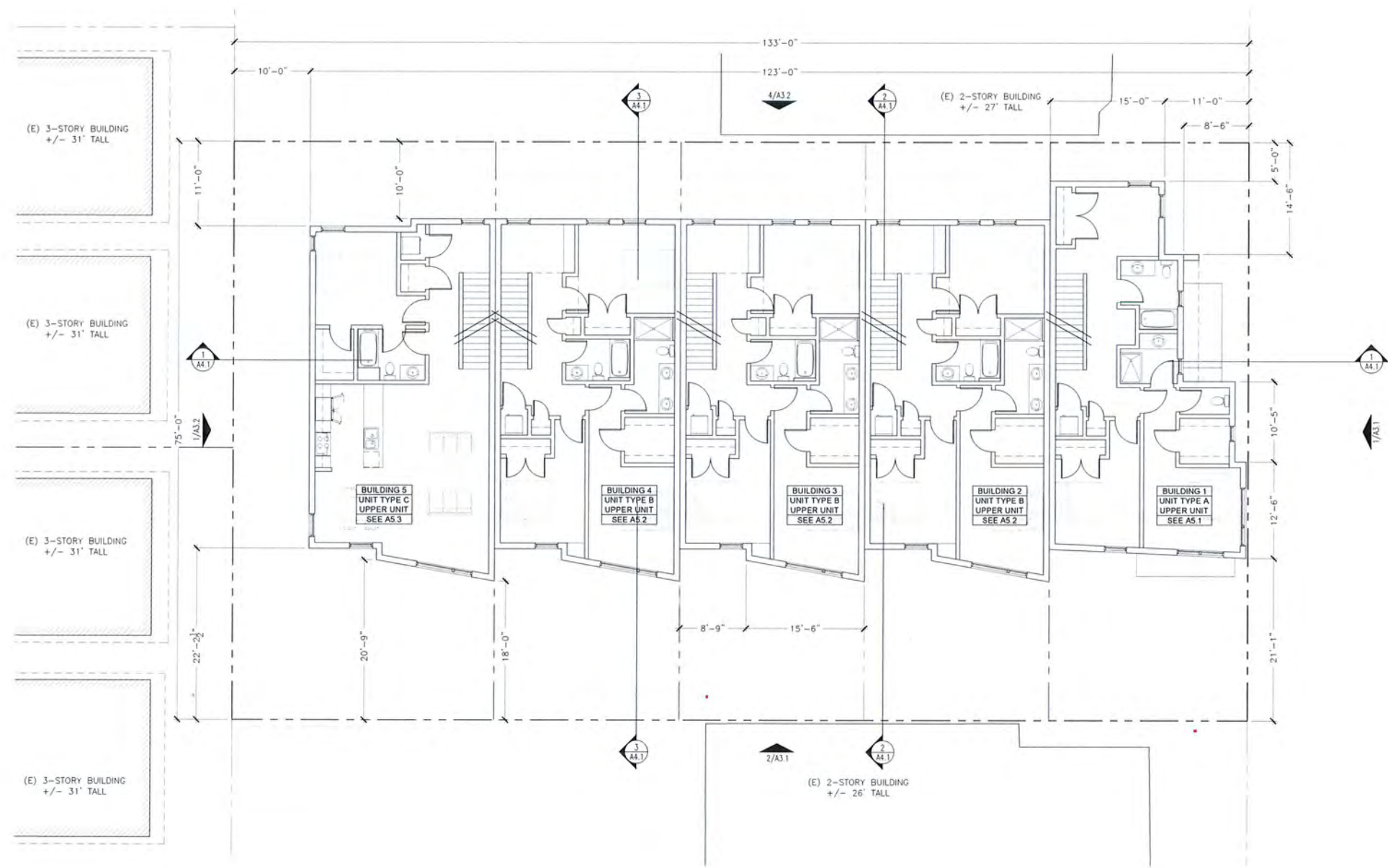
FLOOR PLAN:
2ND FLOOR



A2.2



1 PLAN: 2ND FLOOR
1/8" = 1'-0"



1 PLAN: 3RD FLOOR
1/8" = 1'-0"



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OAKLAND, CA**



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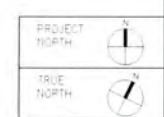
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09-24-2018	PLANNING RE-SUBMITTAL

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SCALE: AS NOTED

FLOOR PLAN:
3RD FLOOR

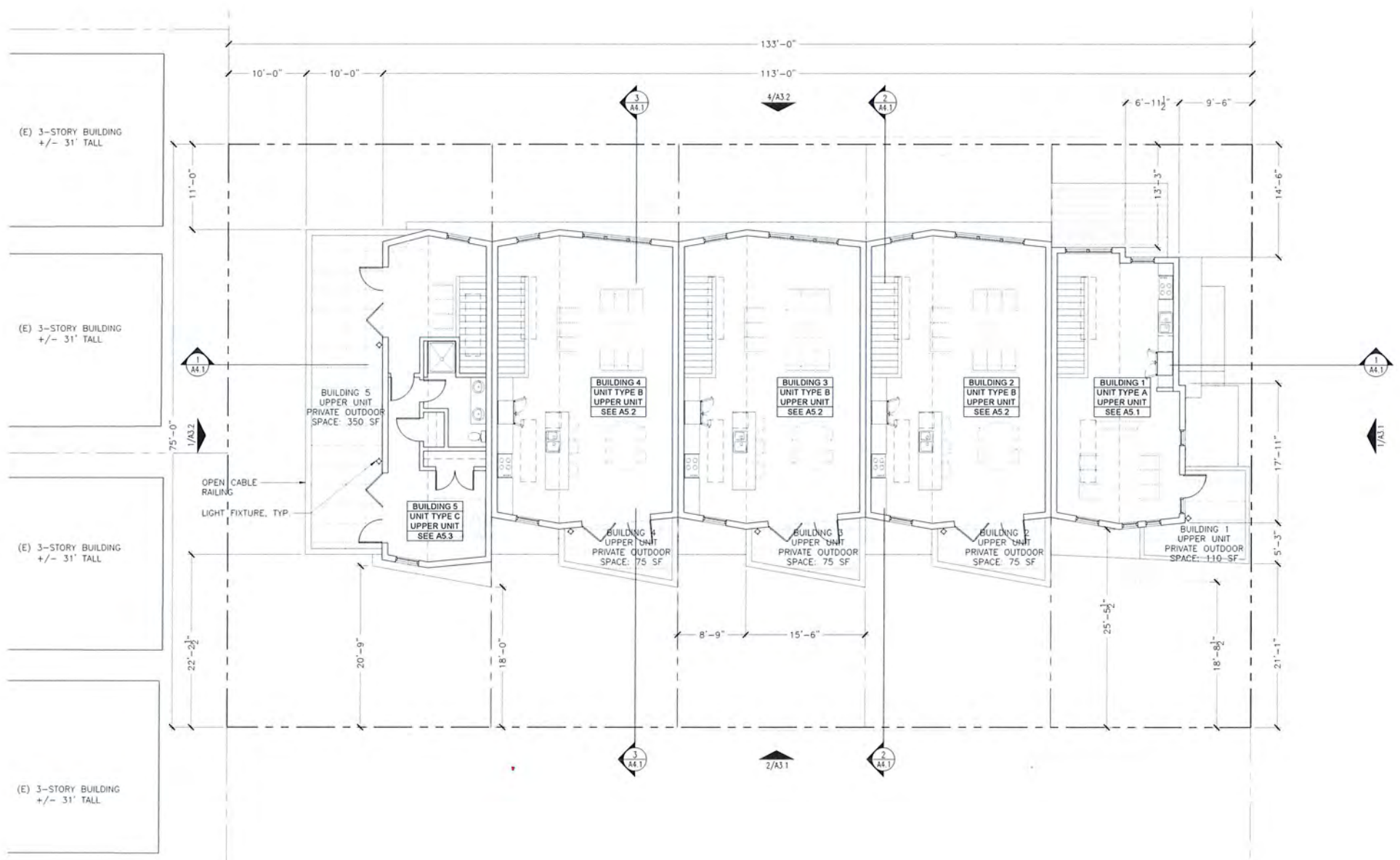


A2.3



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- PLAN NOTES**
- MINI-LOT. LOT IS DIVIDED INTO 5 MINI-LOTS. SEE SITE PLAN FOR CAL OUT OF DIVISION LINES.
 - OPEN SPACE
 - BUILDINGS 1-4**
 - LOWER LEVEL UNIT: 75 SF DECK ON 2ND FLOOR. NO DIMENSION LESS THAN 5'-0"
 - UPPER LEVEL UNIT: 75 SF DECK ON 4TH FLOOR. NO DIMENSION LESS THAN 5'-0"
 - BUILDINGS 5**
 - LOWER LEVEL UNIT: 100 SF ON GROUND FLOOR. NO DIMENSION LESS THAN 10'-0"
 - UPPER LEVEL UNIT: 350 SF DECK ON 4TH FLOOR. NO DIMENSION LESS THAN 5'-0"
 - CAR PARKING
 - BUILDINGS 1-5**
 - 1 PARKING SPACE PROVIDED PER UNIT
 - BIKE PARKING
 - SHORT TERM**
 - 1 BIKE RACK PROVIDED ON SIDEWALK
 - LONG TERM**
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**3245 HOLLIS STREET
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09-24-2018	PLANNING RE-SUBMITTAL

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SCALE: AS NOTED

FLOOR PLAN:
4TH FLOOR

1 PLAN: 4TH FLOOR
1/8" = 1'-0"



A2.4

- PLAN NOTES**
- MINI-LOT LOT IS DIVIDED INTO 5 MINI-LOTS. SEE SITE PLAN FOR CAL OUT OF DIVISION LINES.
 - OPEN SPACE.
 - BUILDINGS 1-4**
 - LOWER LEVEL UNIT: 75 SF DECK ON 2ND FLOOR. NO DIMENSION LESS THAN 5'-0".
 - UPPER LEVEL UNIT: 75 SF DECK ON 4TH FLOOR. NO DIMENSION LESS THAN 5'-0".
 - BUILDINGS 5**
 - LOWER LEVEL UNIT: 100 SF ON GROUND FLOOR. NO DIMENSION LESS THAN 10'-0".
 - UPPER LEVEL UNIT: 350 SF DECK ON 4TH FLOOR. NO DIMENSION LESS THAN 5'-0".
 - CAR PARKING.
 - BUILDINGS 1-5**
 - 1 PARKING SPACE PROVIDED PER UNIT.
 - BIKE PARKING.
 - SHORT TERM**
 - 1 BIKE RACK PROVIDED ON SIDEWALK.
 - LONG TERM**
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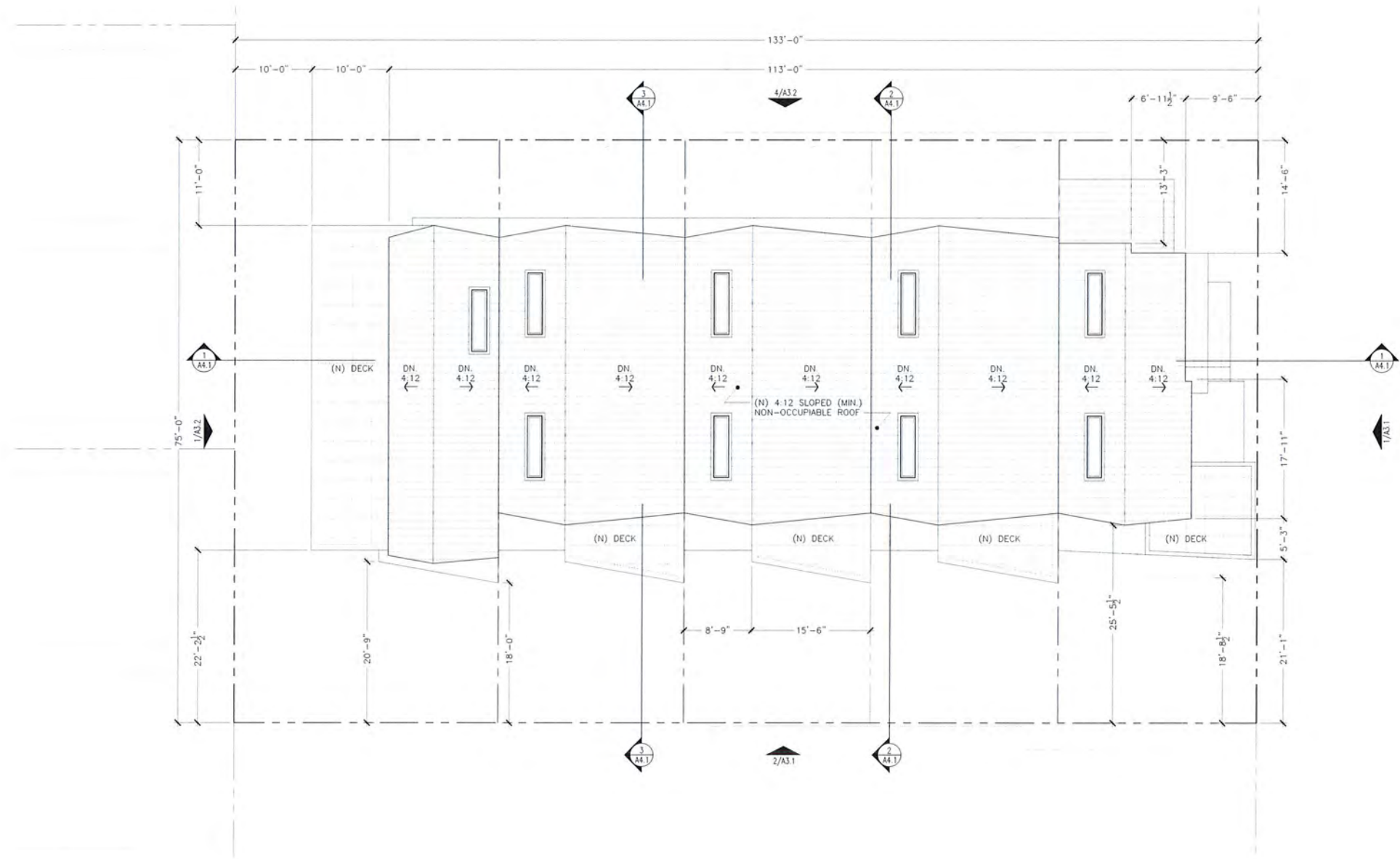
(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

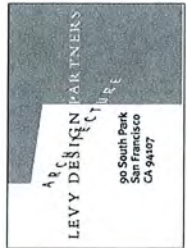
FLOOR PLAN:
ROOF



A2.5



1 PLAN: ROOF
1/8" = 1'-0"



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**3245 HOLLIS STREET
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2 ELEVATION: SOUTH
1/8" = 1'-0"



1 ELEVATION: EAST
1/8" = 1'-0"



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09-24-2018	PLANNING RE-SUBMITTAL

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SCALE: AS NOTED

ELEVATIONS:
EXTERIOR

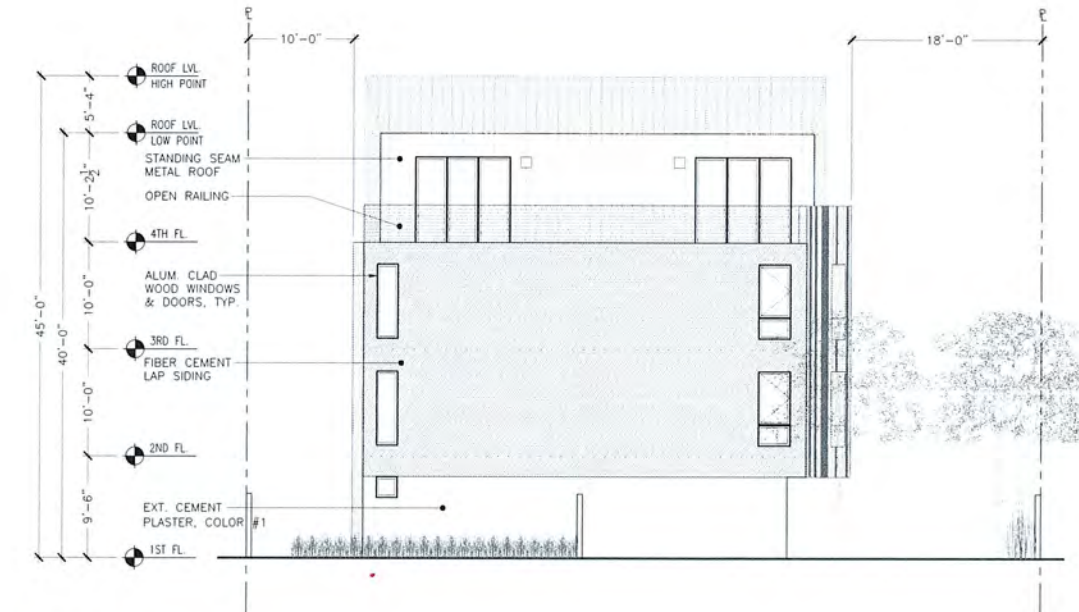
A3.1



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2 ELEVATION: NORTH
1/8" = 1'-0"



1 ELEVATION: WEST
1/8" = 1'-0"

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CONTACT: TOBY LEVY

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SCALE: AS NOTED

ELEVATIONS:
EXTERIOR

A3.2



1 RENDERING LOOKING NORTH ON HOLLIS STREET



2 RENDERING LOOKING SOUTH ON HOLLIS STREET



3 RENDERING LOOKING NORTH ON HOLLIS STREET W/ 3250 HOLLIS ACROSS STREET



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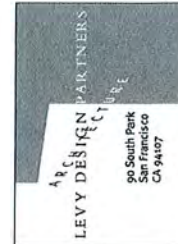
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SCALE: AS NOTED

EXTERIOR
RENDERINGS

A3.3



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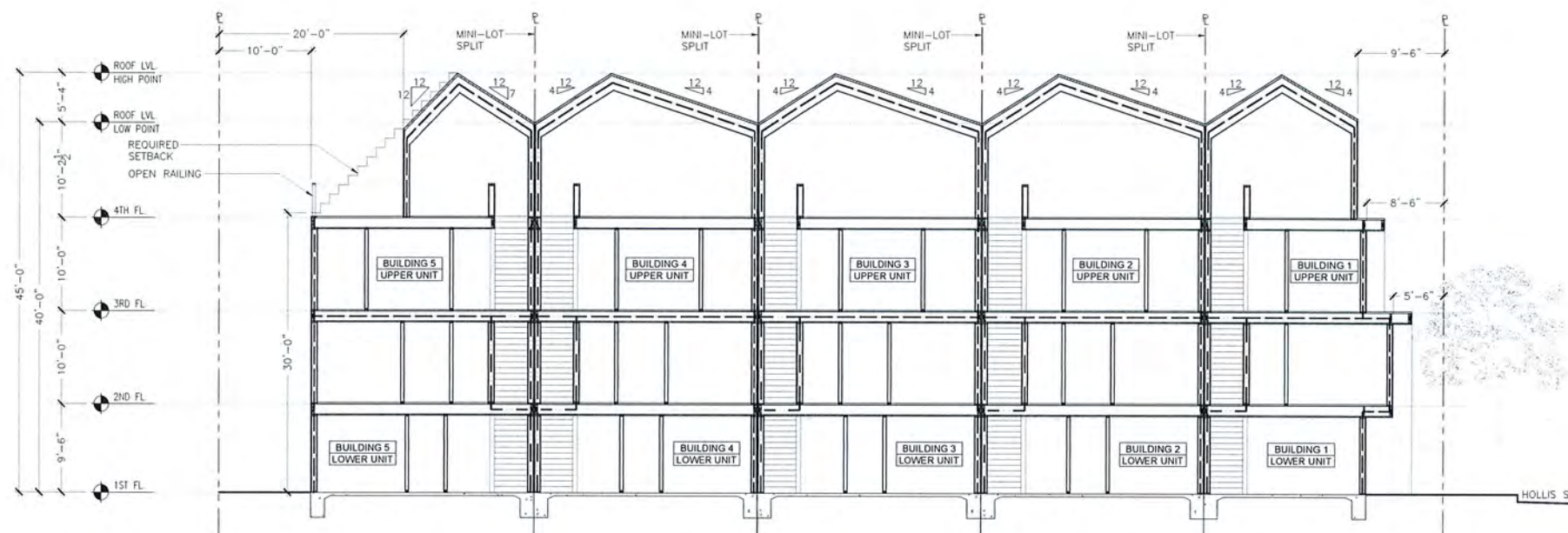
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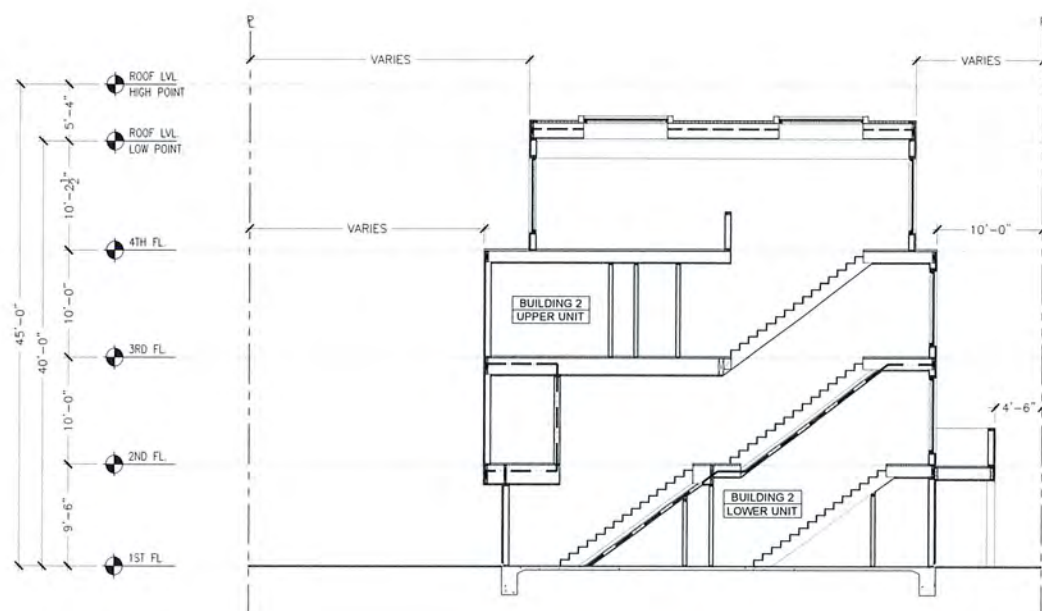
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SECTIONS:
BUILDING

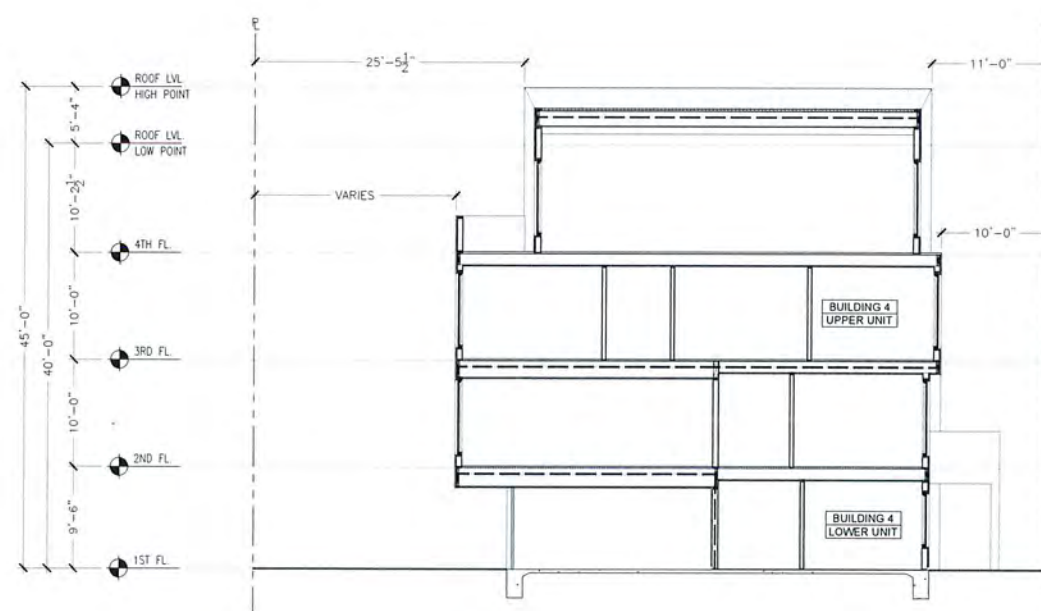
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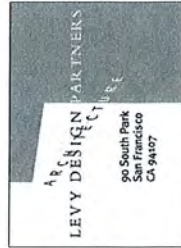
1 BUILDING SECTION
1/8" = 1'-0"



2 BUILDING SECTION
1/8" = 1'-0"



3 BUILDING SECTION
1/8" = 1'-0"



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UNIT TYPE: A
BUILDING NUMBER: 1
LOWER LEVEL UNIT:
2 BEDROOM & 2 BATHROOM
UNIT SQUARE FOOTAGE: 1,210 SF
DECK SQUARE FOOTAGE: 100 SF
UPPER LEVEL UNIT:
3 BEDROOM & 2.5 BATHROOM
UNIT SQUARE FOOTAGE: 1,350 SF
DECK SQUARE FOOTAGE: 110 SF

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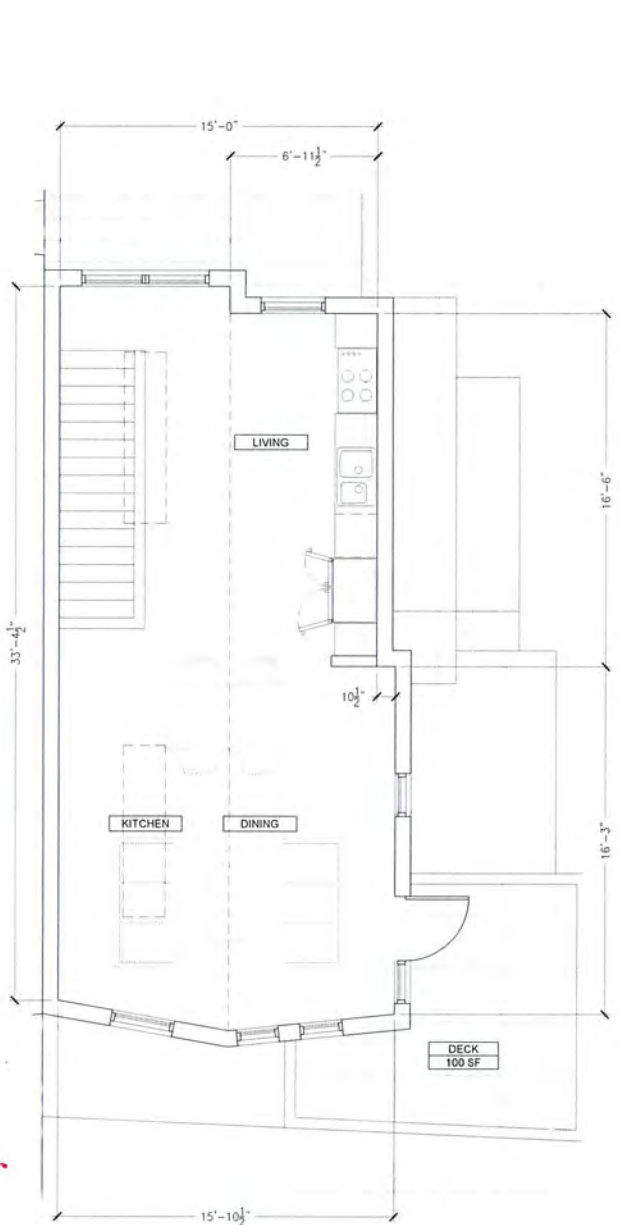
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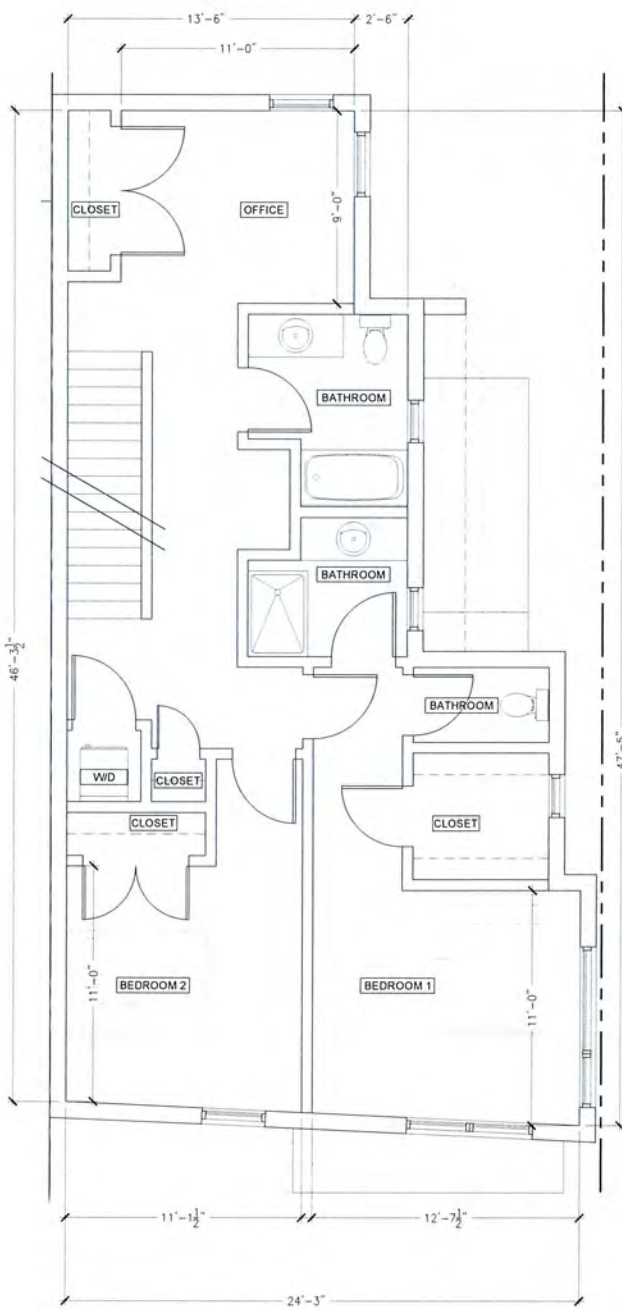
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ENLARGED UNIT PLAN:
 UNIT TYPE A

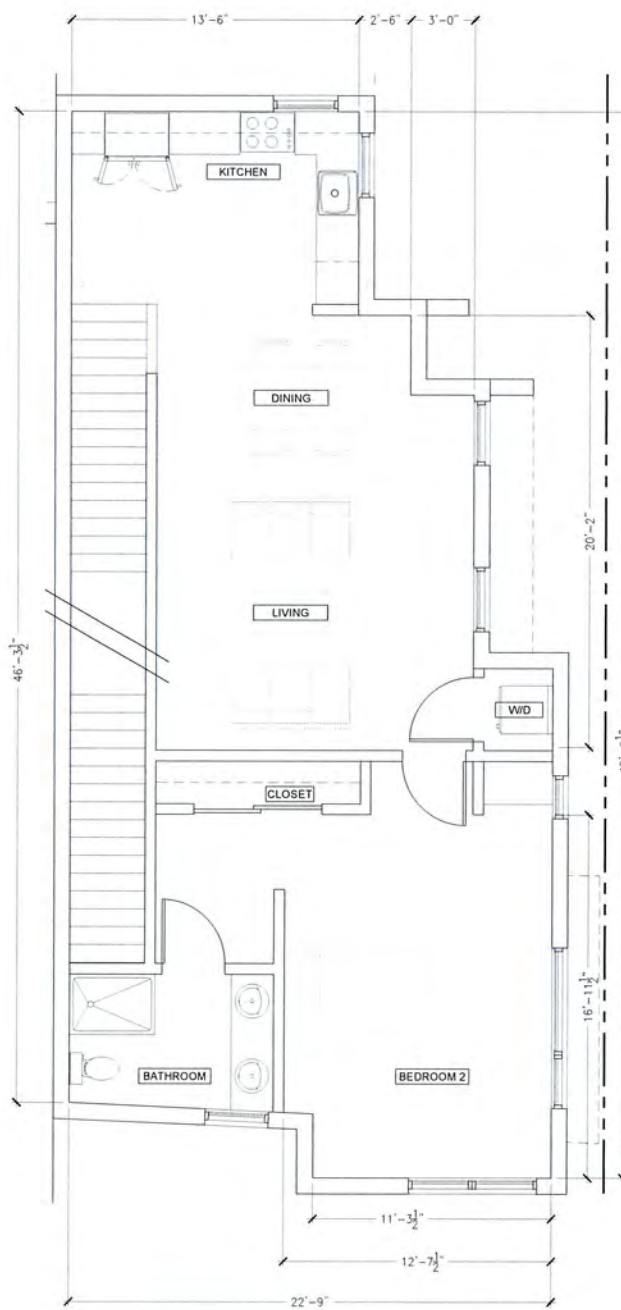
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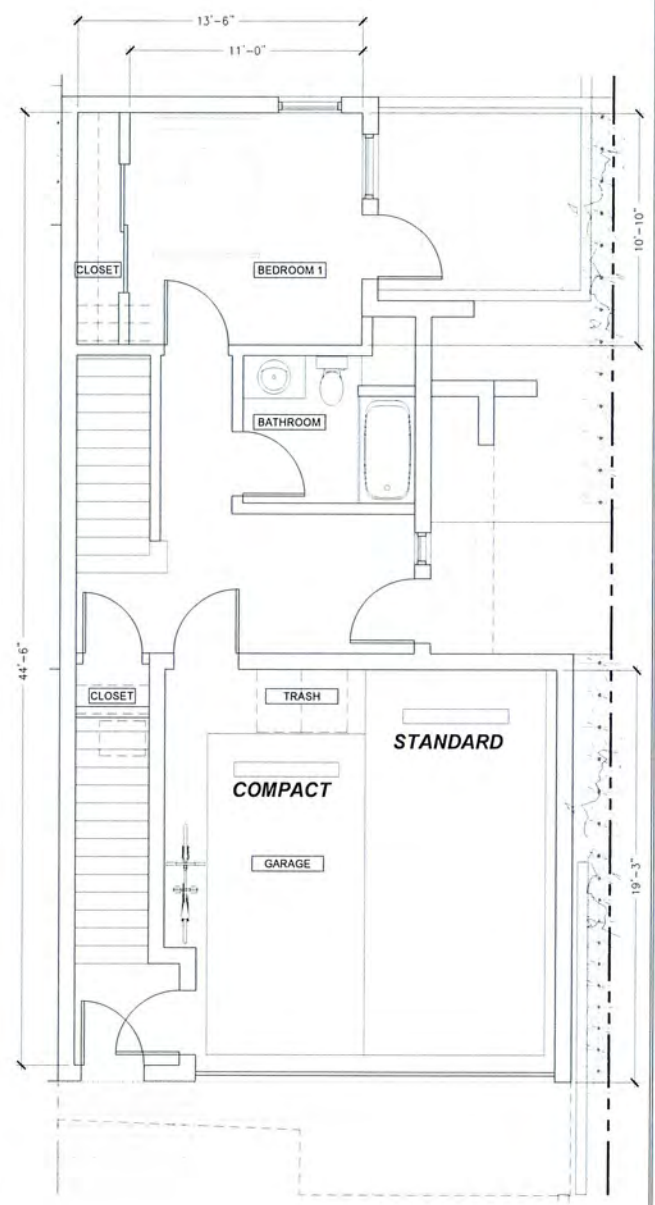
4 ENLARGED PLAN: UNIT A - 4TH FLOOR
 1/4" = 1'-0"



3 ENLARGED PLAN: UNIT A - 3RD FLOOR
 1/4" = 1'-0"



2 ENLARGED PLAN: UNIT A - 2ND FLOOR
 1/4" = 1'-0"



1 ENLARGED PLAN: UNIT A - 1ST FLOOR
 1/4" = 1'-0"



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UNIT TYPE: B
BUILDING NUMBER: 2-4
LOWER LEVEL UNIT:
2 BEDROOM & 2 BATHROOM
UNIT SQUARE FOOTAGE: 1,280 SF
DECK SQUARE FOOTAGE: 75 SF
UPPER LEVEL UNIT:
3 BEDROOM & 2.5 BATHROOM
UNIT SQUARE FOOTAGE: 1,765 SF
DECK SQUARE FOOTAGE: 75 SF

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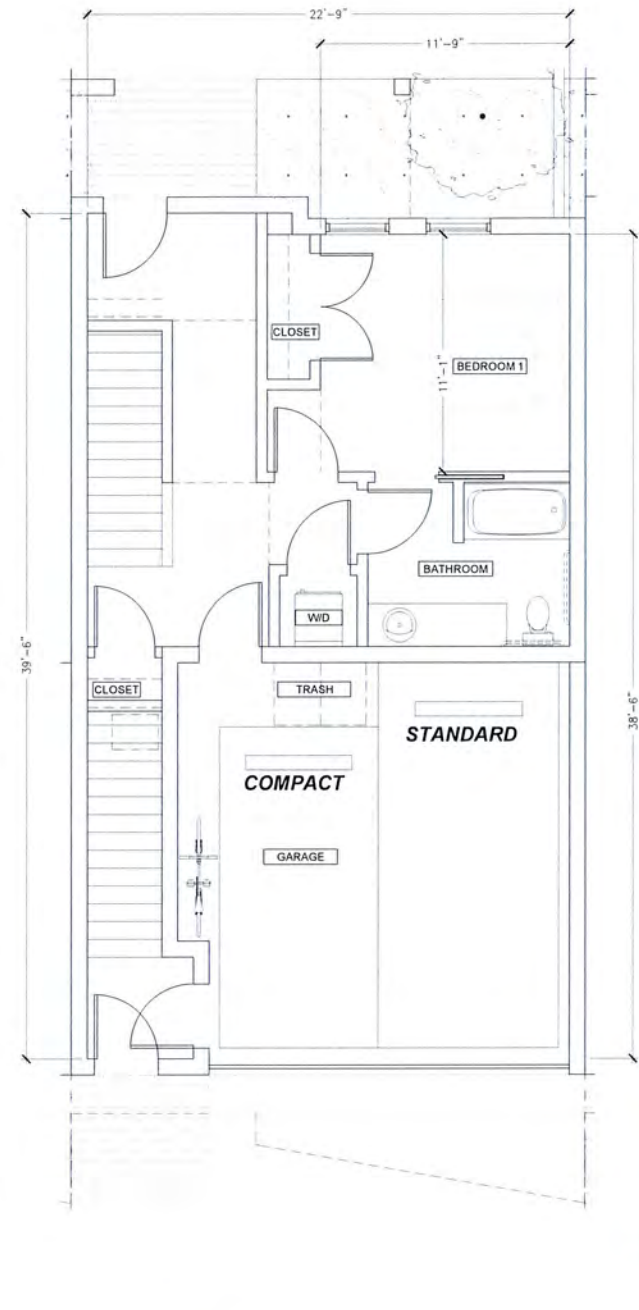
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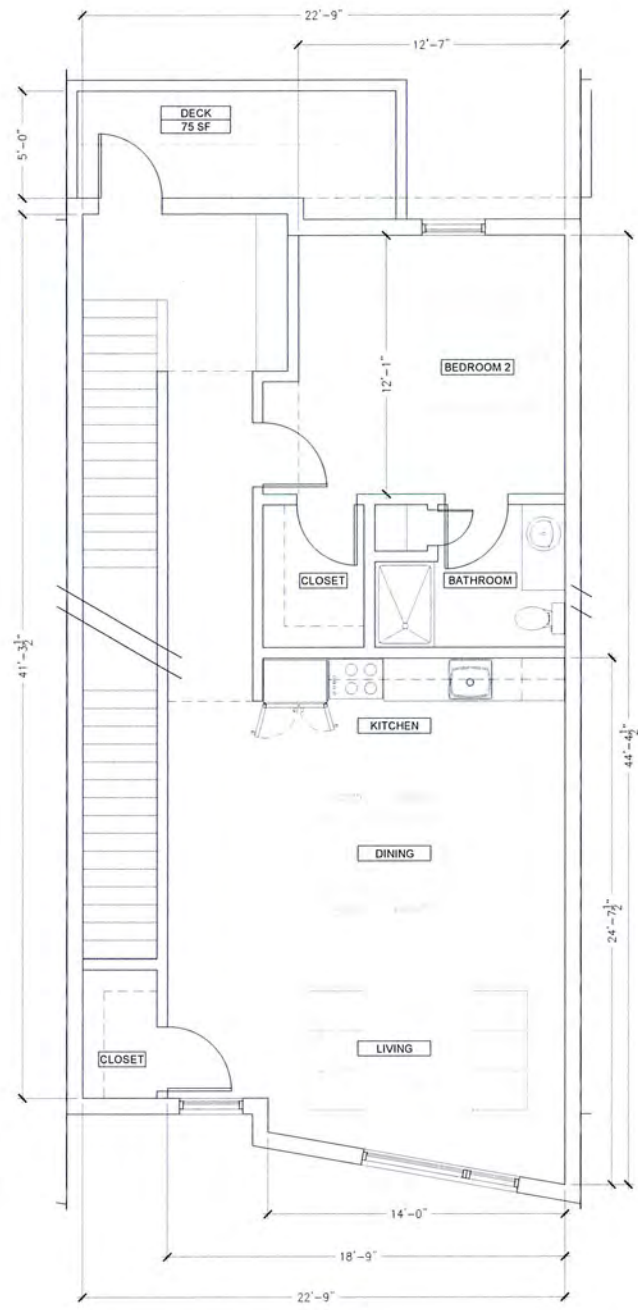
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ENLARGED UNIT
PLAN:
UNIT TYPE B

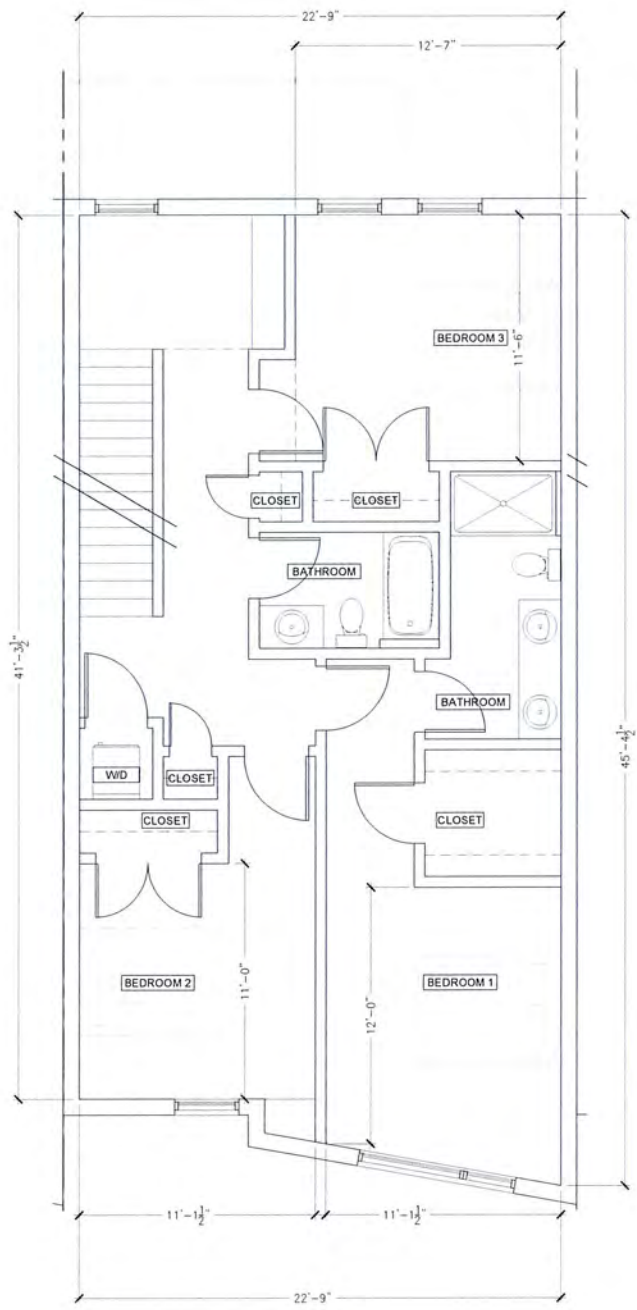
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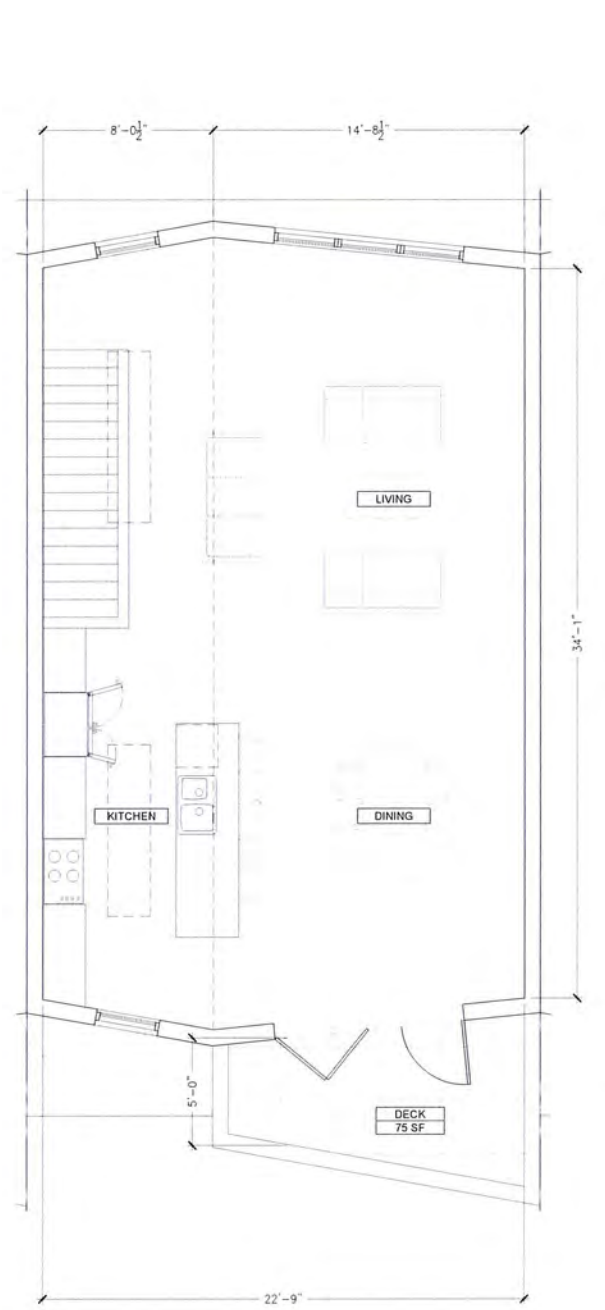
1 ENLARGED PLAN: UNIT B - 1ST FLOOR
1/4" = 1'-0"



2 ENLARGED PLAN: UNIT B - 2ND FLOOR
1/4" = 1'-0"



3 ENLARGED PLAN: UNIT B - 3RD FLOOR
1/4" = 1'-0"



4 ENLARGED PLAN: UNIT B - 4TH FLOOR
1/4" = 1'-0"



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UNIT TYPE C
BUILDING NUMBER: 5
LOWER LEVEL UNIT:
2 BEDROOM & 2 BATHROOM
UNIT SQUARE FOOTAGE: 1,280 SF
DECK SQUARE FOOTAGE: 100 SF
UPPER LEVEL UNIT:
2 BEDROOM & 2 BATHROOM
UNIT SQUARE FOOTAGE: 1,470 SF
DECK SQUARE FOOTAGE: 350 SF

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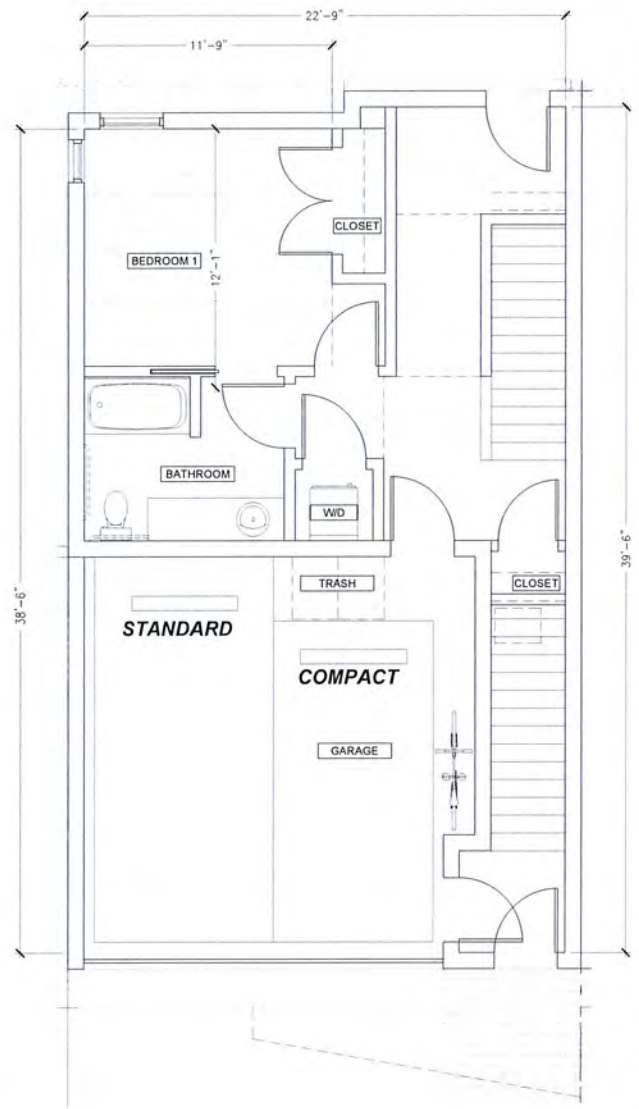
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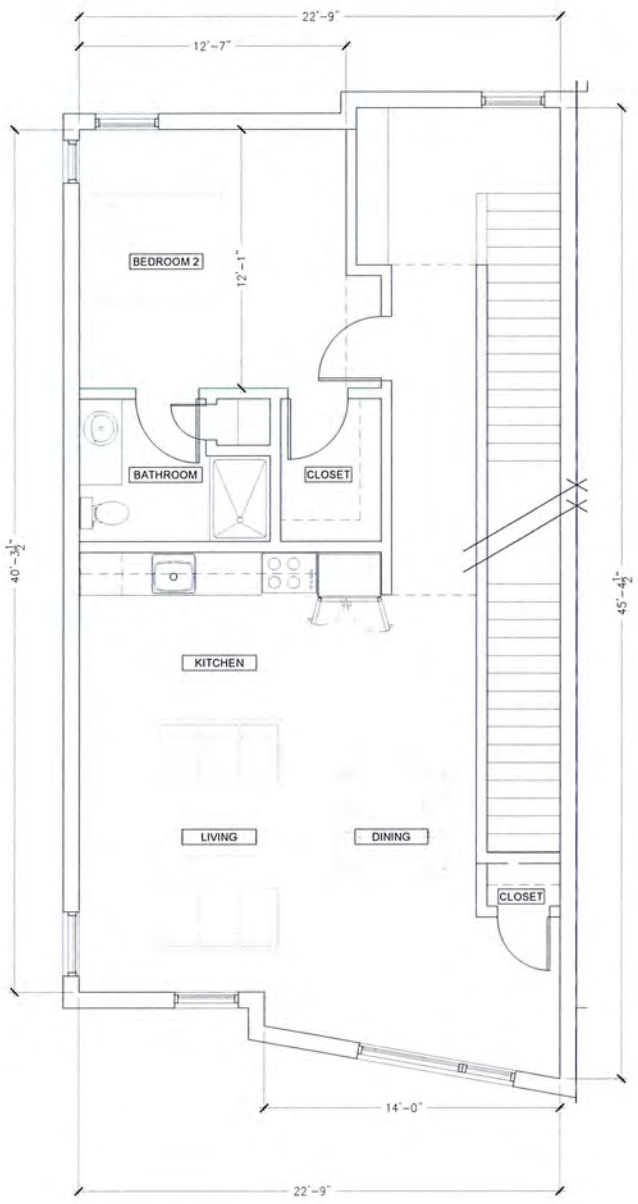
SCALE: AS NOTED

ENLARGED UNIT PLAN:
UNIT TYPE C

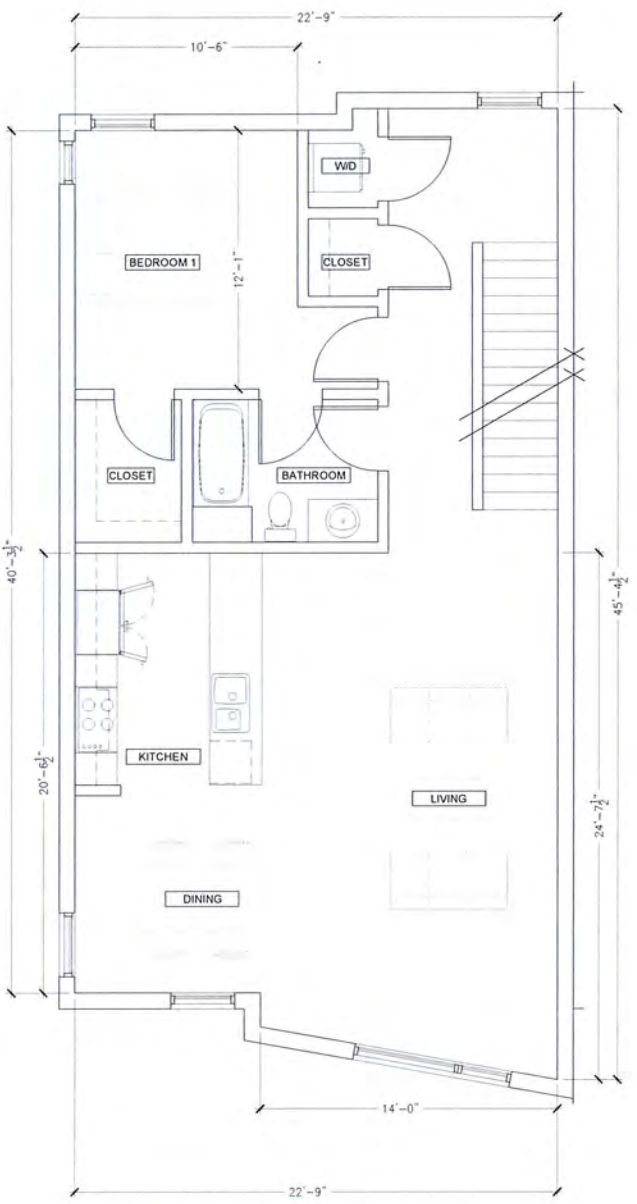
A5.3



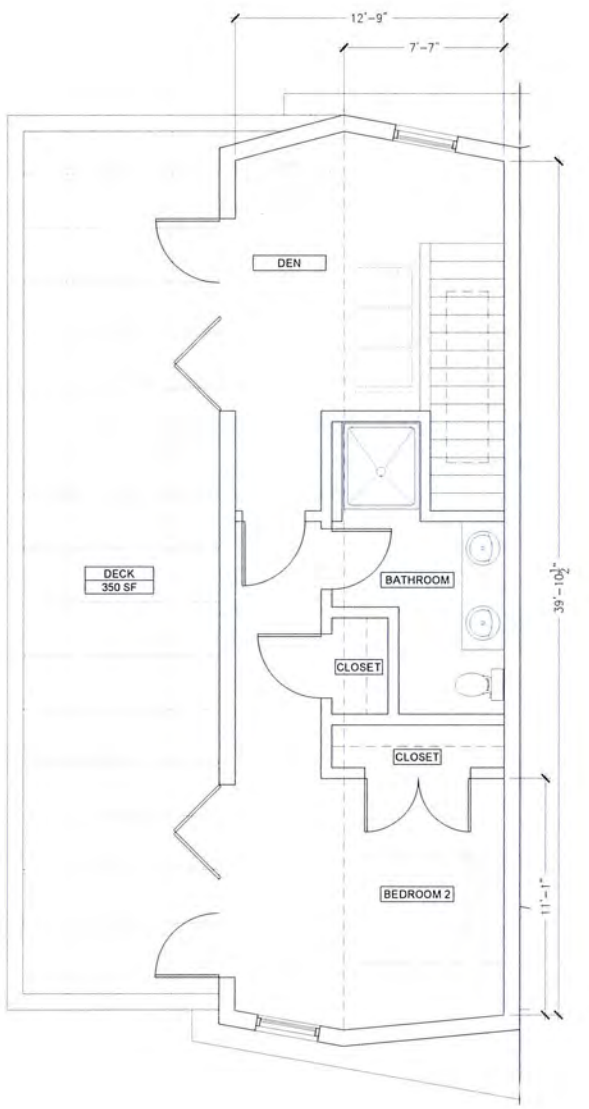
1 ENLARGED PLAN: UNIT C - 1ST FLOOR
1/4" = 1'-0"



2 ENLARGED PLAN: UNIT C - 2ND FLOOR
1/4" = 1'-0"



3 ENLARGED PLAN: UNIT C - 3RD FLOOR
1/4" = 1'-0"



4 ENLARGED PLAN: UNIT C - 4TH FLOOR
1/4" = 1'-0"