

Case File Number: PLN22006

May 25, 2022

Location:	1919 Webster Street
Assessor's Parcel Number(s):	008 063700808
Proposal:	Major Conditional Use Permit for Large-Scale Development on a corner lot by demolishing an existing commercial building and surface parking lot in order to construct one of two design schemes: (1) a 25-story, 400-foot high, 520,335 square foot commercial tower with a parking garage consisting of one level under ground and three levels above ground, or (2) an 17-story, 280-foot high office tower with a basement level parking garage. The project includes three Minor Variances for tower lot coverage, off-street loading, and bicycle parking.
Applicant:	1919 Webster Street Owner, LLC
Contact Person/ Phone Number:	Matt Weber, Ellis Partners/(415) 391-9800
Owner:	1919 Webster Street Owner, LLC
Case File Number:	PLN22006
Planning Permits Required:	Major Conditional Use Permit for Large-Scale Development; two Minor Conditional Use Permits for commercial activities at the ground floor and within 30 feet from any street-abutting property line; Minor Variances for tower lot coverage, off-street loading, and bicycle parking; Regular Design Review
General Plan:	Central Business District
Zoning:	CBD-P Central Business District Pedestrian Retail Commercial Zone and CBD-C Commercial, Pedestrian & Commercial Zone Height Area 7, no limit
Environmental Determination:	Determination Pending, Environmental analysis to be conducted prior to any discretionary action
Historic Status:	OCHS Rating: F3
City Council District:	3
Finality of Decision:	No decision by DRC; receive public testimony and provide comments on design.
For Further Information:	Contact case planner Michele Morris at (510) 238-2235 or by e-mail at mmorris2@oaklandca.gov

SUMMARY

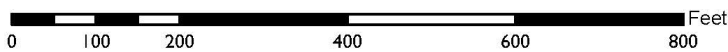
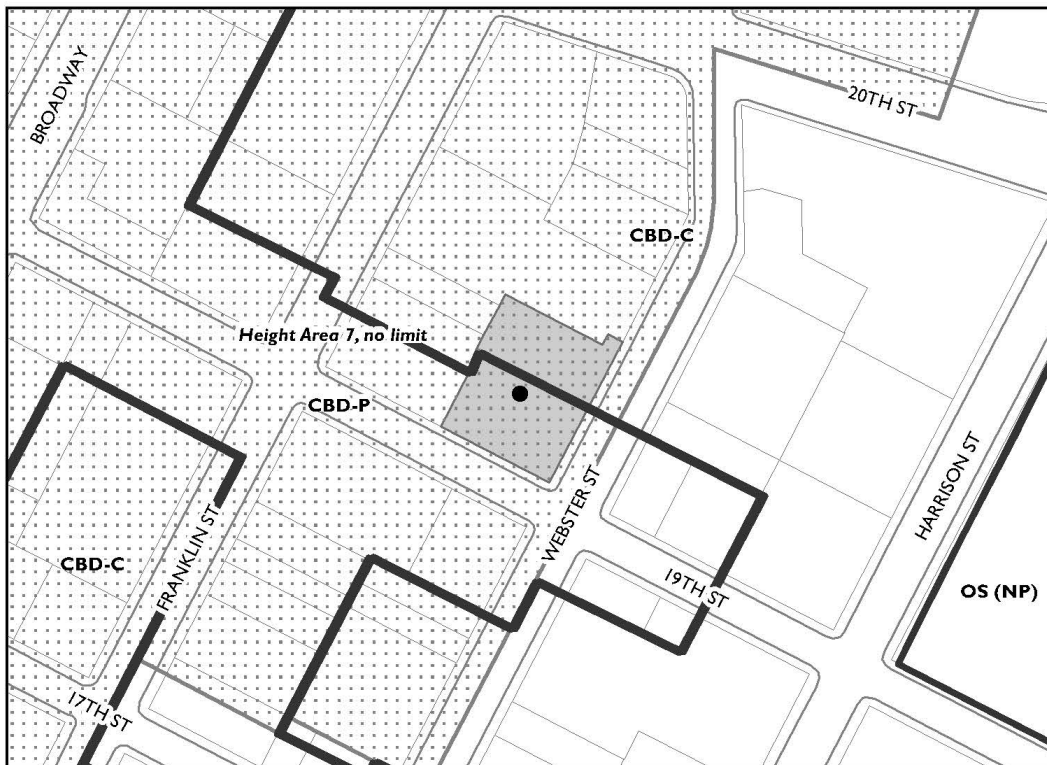
The proposed project is the for construction of a 25-story, 400.8-foot high, 520,335 square foot commercial tower with a parking garage consisting of one level underground and three levels above ground on a corner lot by removing an existing commercial building and surface parking lot. The project includes three Minor Variances for tower lot coverage, off-street loading, and bicycle parking. The applicant also proposes an alternate design that would be 240 feet high and would not include parking above the ground floor. The design of this shorter tower would be substantially similar in character to the 25-story design.

PROJECT SITE AND SURROUNDING AREA

The project site is located at 1919 Webster Street, in downtown Oakland. The site currently contains an office building and surface parking lot located at the corner of the 19th and Webster Streets, and two blocks east of Broadway. The proposal would encompass this 26,084 square-foot property line fronts on 19th Street is not in an Area of Primary Importance in terms of

historic significance but is in the vicinity of the historic Leamington Hotel building (an Oakland Landmark).

CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN22006
Applicant: 1919 Webster Street Owner, LLC c/o Ellis Partners LLC
Address: 1919 Webster Street
Zone: CBD-P, CBD-C
Height Area: 7, No limit

PROJECT BACKGROUND

Context

The project site is located in downtown Oakland at the corner of 19th and Webster Streets. This location is within two blocks of 19th Street BART station and within three blocks of Lake Merritt. Tall buildings and lower height buildings can be found throughout downtown and include varying sized office, retail, civic and institutional buildings. According to the National Register of Historic Places (U.S. Department of the Interior, National Park Service), Downtown Oakland developed with most of its tall office buildings east of Broadway. Also, most buildings were built with little or no front or side setbacks. Other common features include generous openings facing the street for commercial ground floors, four-story glass base, and spacious office lobbies.

PROJECT DESCRIPTION

The proposed project plans, elevations, and illustrations are provided in **Attachment A** to this report. In general, the proposed plans include a modern architectural styled, 25-story commercial development louvered windows covering the garage levels above ground, abundant glazing at the ground floor and throughout the proposed building. A series of terraces balconies will be integrated into the building at the office floors and centered mainly around the corner of the building tower. A rooftop deck with an optional trellis is also proposed. The proposed tower design would have four floors of parking, one at the basement level. The alternate and shorter tower design would have no above-ground parking.

GENERAL PLAN ANALYSIS

The proposed project site is in the Central Business District General Plan land use designation. The intent of the Central Business District land use designation is “to encourage, support, and enhance the downtown area as a high density mixed use urban center of regional importance and a primary hub for business, communications, office, government, high technology, retail, entertainment, and transportation in Northern California.” The Land Use Element further describes the Desired Character and Uses of this designation to include a “mix of large-scale offices, commercial, urban (high-rise) residential, institutional, open space, cultural, educational, arts, entertainment, service, community facilities, and visitor uses.

The following is an analysis of how the proposed project meets applicable General Plan objectives (staff analysis in indented, italicized text below each objective):

- Objective D7: Facilitate and promote downtown Oakland’s position as the primary office center for the region.
 - *The proposal is for a tower with 26 floors of commercial office space.*
- Objective D8: Build on the current office nodes near the 12th and 19th Street BART stations to establish these locations as the principal centers for office development in the city.

- *The project is located within two blocks of the 19th Street BART station.*

ZONING ANALYSIS

The project is located in downtown Oakland and is in both CBD-P Central Business District Pedestrian Retail Commercial Zone and CBD-C Commercial, Pedestrian & Commercial Zone. The following discussion outlines the purposes of both zoning regulations, respectively, with staff analysis provided below in indented, italicized text:

- The CBD-P Zone intends to create, maintain, and enhance areas of the Central Business District for ground-level, pedestrian-oriented, active storefront uses. Upper story spaces are intended to be available for a wide range of office and residential activities.
- The CBD-C Zone intends to create, maintain, and enhance areas of the Central Business District appropriate for a wide range of ground-floor office and other commercial activities. Upper-story spaces are intended to be available for a wide range of residential and office or other commercial activities.
 - *The project proposes the construction of a building tower for primarily administrative commercial uses that will contribute to the goals of maintaining and enhancing the Central Business District for office and other commercial activities.*

Zoning Analysis

	Zone Specific Standards (Sec. 17.58.060 A)			
	CBD-P Zone	CBD-C Zone	Proposed	Compliance Analysis
Permitted and conditionally permitted activities	Administrative Commercial Activity General Retail Sales Commercial Activity; Full-Service Restaurant and Limited-Service Restaurant and Café Activities		Office; Retail/ Restaurant/Amenity Space	The Administrative Commercial is a permitted activity. General Retail and Full-Service Restaurant and Limited-Service Restaurant and Cafe activities are permitted in this location.
Permitted and conditionally permitted facilities	Nonresidential Facilities		Enclosed office building	Permitted.
	Permitted/Required			
	CBD-P Zone	CBD-C Zone	Proposed	Compliance Analysis
<u>Minimum and Maximum Setbacks</u>				
Minimum front	0 ft.	0 ft.	0 ft.	Complies
Maximum front and street side for the first story	5 ft.	5 ft.	0 ft.	Complies
Maximum front and street side for the second and third stories or 35 ft., whatever is lower	5 ft.	5 ft.	0 ft.	Complies
Minimum interior side	0 ft.	0 ft.	0 ft.	Complies

Minimum corner side	0 ft.	0 ft.	0 ft.	Complies
Rear	0 ft.	0 ft.	0 ft.	Complies
Design Regulations				
Ground floor commercial facade transparency	65%	55%	67% on 19 th Street side; 57% on the Webster Street side	Complies
Minimum height of ground floor Nonresidential Facilities	15 ft.	15 ft.	19.8 ft.	Complies
Minimum separation between the grade and ground floor living space	N/A	N/A	No living space is proposed for the commercial building.	Not applicable.
Height/Bulk/Intensity Area (Sec. 17.58.060 C)				
Height Area 7			Proposed	Compliance Analysis
Maximum Height				
Maximum Height – Building base	120 ft.		63.9 ft.	Complies
Maximum Height - Total	No height limit		400.8 ft.	Complies
Minimum Height New principal buildings	45 ft.		400.8 ft.	Complies
Maximum Lot Coverage				
Building base (for each story)	100% of site area		Approx. 97%	Complies
Average per story lot coverage above the building base	85% of site area or 10,000 sf., whichever is greater		Approx. 92 % (24,000 sf)	Does not comply. A minor variance would be required
Tower Regulations				
Maximum average area of floor plates	No maximum		22,472 sf	Complies
Maximum tower elevation length	No maximum		337 ft.	Complies
Maximum diagonal length	No maximum		217 ft	Complies
Minimum distance between towers on the same lot	No minimum		N/A	N/A
Off-street Parking Requirements Commercial Activities (Sec. 17.116.080)				
Regulation/Standard	CBD-P Zone	CBD-C Zone	Proposed	Compliance Analysis
Minimum Total Parking Required	None	None	158 spaces	Complies. The proposed parking spaces exceed the minimum parking required.
Off-street Loading Commercial Activities (Sec. 17.116.140)				

Commercial Activity and Floor Area of Facilities Occupied (Administrative)	160,000 square feet or more three (3) berths are required	Two loading berths are proposed.	Does not comply. A minor variance would be required.	
Bicycle Parking Requirements Commercial Activities (Sec. 17.111.110)				
Regulation/Standard	CBD-P Zone	CBD-C Zone	Proposed	Compliance Analysis
<u>Office</u>				
Long-term Bicycle Parking Requirement - Administrative	1 space for each 10,000 square feet of floor area. Minimum citywide requirement is 2 spaces.		Approx. 82	Complies
Short-term Bicycle Parking Requirement - Administrative	1 space for each 10,000 square feet of floor area. Minimum citywide requirement is 2 spaces.		8 spaces; A minor variance is proposed.	Does not comply. Minor variance required.
<u>Retail</u>				
Long-term Bicycle Parking Requirement	1 space for each 12,000 square feet of floor area. Minimum citywide requirement is 2 spaces.		82	Complies
Short-term Bicycle Parking Requirement	1 space for each 12,000 square feet of floor area. Minimum citywide requirement is 2 spaces.		8 spaces; A minor variance is proposed.	Does not comply. Minor variance required.

Design Review

The Design Review Compliance Matrix for the proposed project is provided as **Attachment B** to this report. Where the project is not in compliance with any guidelines, as noted in the compliance matrix, the lack of compliance is discussed in the *Zoning and Related Issues* section of this report.

ZONING AND RELATED ISSUES

Design

Staff has worked with the applicant to refine the proposed design for the building site. The applicant team has worked to improve the overall design of the project. Staff reviewed the proposed project in accordance with the Design Review Regulations for CBD Zones and Regular Design Review findings. The project meets the following key criteria:

	Design Standards Applying to All [CBD] Zones (Sec. 17.58.060 B)		
	CBD-P Zone	CBD-C Zone	Compliance Analysis
6. Upper Story Windows	An ample placement of windows above the ground floor is required at all street-fronting façades. To create visual interest, the placement and style of windows shall contribute to a coherent and appealing composition on the	The proposed design includes ample window placement above the ground floor on street-fronting façades.	Complies

	<p>facade. Less window space is only permitted in exceptional cases if it contributes to a specific objective of the visual style and aesthetic effect of the building. Whenever possible, windows should be on all sides of a tower.</p>		
7. Building Terminus	<p>The top of each newly-constructed principal building shall include an element that provides a distinct visual terminus. The visual terminus shall be integrated into the design concept of the building. Examples include, but are not limited to, curvilinear or stepped forms that soften the truncated tops of buildings, cornices, and other architectural forms. These rooftop elements shall be sized, shaped, and sited to screen all rooftop mechanical equipment from view.</p>	<p>The roof features a visible trellis/canopy and a terrace.</p>	<p>Complies</p>
8. Utility Storage	<p>For newly-constructed buildings, areas housing trash, storage, or other utility services shall be located in the garage or be otherwise completely concealed from view of the public right-of-way. Backflow prevention devices shall be located in a building alcove, landscaped area, or utility room within the building, outside of the public right-of-way, and completely screened from view from the public right-of-way unless required otherwise by a department of the City.</p>	<p>Proposed subsurface transformer vault to be located under the public right-of-way of Webster Street.</p>	<p>Complies</p>

Issues

The applicant has responded to staff comments with explanations of the design approach and architectural style of the design; however, design issues remain and the project plans require more detail in response to the design guidelines and findings listed below. Staff has identified the following outstanding design issues related to the project excerpted from **Attachment B** to this report. Staff would like DRC to consider addressing the following issues:

Design Standards Applying to All [CBD] Zones (Sec. 17.58.060 B)			
	CBD-P Zone	CBD-C Zone	Compliance Analysis
1. Entrance	Newly constructed principal buildings shall have at least one prominent pedestrian entrance facing the principal street. Entrances at building corners facing the principal street may be used to satisfy this requirement. Building entrances include doors to one or more shops, businesses, lobbies, or living units. Entrances shall be made prominent through some combination of projecting or recessing the door area, change in material, an awning above a door, additional detailing, stairs leading to the door, and/or other features. The entrance for Nonresidential Facilities shall be at grade.		Does not comply
2. Ground Floor Treatment	All ground-floor building materials shall be durable, of high quality, and display a sense of permanence. Such materials include, but are not limited to stone, tile, brick, metal panel systems, glass, and/or other similar materials. Further, the ground level of a newly constructed building shall be designed to enhance the visual experience for pedestrians and distinguish it from upper stories... For buildings with nonresidential ground floor space, visual interest shall also be achieved through modulating the ground floor into a regular cadence of storefront sized windows and entrances.		Does not comply
4. Parking and Loading Location	For newly constructed principal buildings, access to parking and loading facilities through driveways, garage doors, or other means shall not be from the principal street when alternative access is feasible from another location such as a secondary frontage or an alley. Open parking areas shall not be located between the sidewalk and a principal building.		Does not comply

- **Entrance.** The design proposal requires more details with this design standard for prominent pedestrian entrance facing the principal street. No design details are shown or indicated on the elevations or floor plans.
 - *Does the DRC think the proposed design should be revised to show a more prominent entrance on the principal street such as a projecting awning or recessing of the door area?*

- **Ground Floor Treatment.** The design does not show how the pedestrian experience would be enhanced or how the new building would relate to the surrounding buildings.
 - *Does the DRC believe additional design information should be provided to demonstrate that the ground floor is attractive to pedestrians, includes adequate transparency and activity to support the public experience of the building?*
- **Parking and Loading Location.** Typically, one driveway or garage entrance would be included, not two driveways. Garage entrances are located on the secondary street frontage and not from the principal street (19th Street).
 - *Does the DRC think the proposed design should be revised to reduce the garage entrances down to one entrance on Webster Street, the secondary street?*

RECOMMENDATION

Staff recommends the DRC review and comment on the proposed project, with attention to the issues raised by staff in this report.

Prepared by:



Michele T. Morris, Planner III

Reviewed by:



Catherine Payne, Development Planning Manager
Bureau of Planning

Attachment:

- A. Proposed Plans, dated May 6, 2022 and May 13, 2022
- B. Design Review Conformance Matrix (PLN22006)



1919 WEBSTER Application for Development Review

MAY 6TH, 2022

Owner/Applicant:
1919 Webster Street Owner, LLC
c/o Ellis Partners
111 Sutter Street, Suite 800
San Francisco, CA 94104

Architect:
Gensler
2101 Webster Street, Suite 2000
Oakland, CA 94612

Landscape Architect:
Surface Design
Pier 33 North, The Embarcadero, Suite 200
San Francisco, CA 94111

Vertical Transportation:
GVK Elevator Consulting Services
50 California Street, Suite 3510
San Francisco, CA 94111

Civil Engineer:
BKF Engineers
255 Shoreline Drive, Suite 200,
Redwood City, CA 94065

MEP:
Meyers+ Engineers
98 Battery St #500,
San Francisco, CA 94111

Structural Engineer:
Magnusson Klemencic Associates
1301 Fifth Avenue, Suite 3200
Seattle, WA 98101-2699

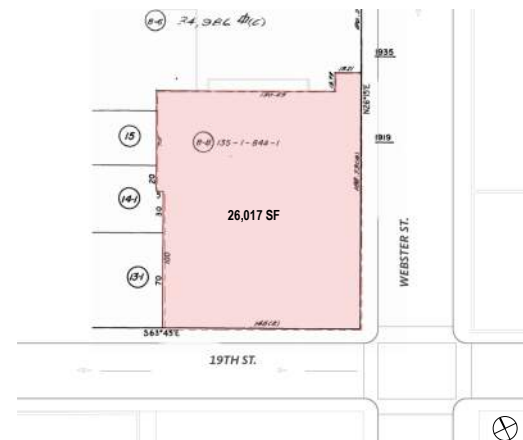
Parking:
Watry Design
2099 Gateway Pl Suite 550,
San Jose, CA 95110

Fire and Life Safety:
The Fire Consultants
1981 N. Broadway, Suite 400
Walnut Creek, CA 94596

LOCATION MAP



ASSESSOR'S PARCEL MAP



ZONING DISTRICT



PROJECT DESCRIPTION

The proposed project at 1919 Webster is a 25-floor high rise office building measuring 400' - 9 3/4" to the top of the optional photovoltaic array, with parking below-grade and on above-grade floors of the building's base. The project as proposed would use the maximum allowable floor area ratio which for the approximately 26,000 sf site will yield approximately 520,000 sf of floor area. The typical office floor plate will enclose approximately 22,000 sf and have a 14-foot floor-to-floor height.

A series of terraces balconies will be integrated into the building at the office floors, and a larger rooftop deck with associated trellis may be provided at the owner's election. Photovoltaics are under consideration as well.

As part of this project, the existing building of approximately 74,000 sf will be demolished, in addition to a surface parking lot on the site.

The project is anticipating pursuit of a peer-reviewed performance-based structural design. The development team proposes to submit the building permit applications in a phased sequence.

Additional elements that are part of this Entitlement are: (1) a Vesting Parcel Map to merge the existing lots, (2) A Master Sign Program to be provided as a deferred submittal, and (3) a smaller (approximately 240' tall plus penthouse building option) is planned as a deferred submittal.

Variances for Tower Lot Coverage, Loading, and Short Term Bike Parking are proposed. CUP Conditional Ground Floor Uses is also proposed.

PROJECT & ZONING SUMMARY

Address: 1919 Webster, Oakland, CA 94612
Parcel Number: 008-0637-006-06
Development Standard Zone: CBD-P & CBD-C
Height Area: 7 (No height limit, 120' max building base height)
Proposed Total Building Height: 400' - 9 3/4" to top of optional PV array
Proposed Building Base Height: 63' - 9 3/4"
Max FAR: 20
Proposed FAR: 20
Maximum Allowable Floor Area: 520,335 SF
Proposed Floor Area: 520,335 SF
Total Lot Area: 26,017 SF
Total Building Footprint: 25,750 SF
Max Lot Coverage: 100% 26,017 SF
Max Average Lot Coverage Above Building Base: 85% 22,113 SF
Proposed Average Lot Coverage Above Building Base: ≤ 92% 24,000 SF
Max Average Area of Floor Plates: No max
Average Area of Office Floor Plates: 22,472 SF
Max Tower Elevation Length: No Max
Max Diagonal Length: No Max
Office Floor Diagonal Length: 217' - 1"

HEIGHT / BULK / INTENSITY AREA SUMMARY TABLE

1919 Webster Street Proposed Areas								EXTERIOR SPACE
FLOOR NUMBER	FL-FL HEIGHT	FLOOR ELEVATION	RETAIL AREA <small>(Retail, Restaurant, Bar, Office Amenity Area)</small>	OFFICE / AMENITY AREA	TOTAL FAR AREA	NON-FAR AREA	GROSS AREA	
Optional PV Array		400.81						
Roof Canopy	5.00	395.81						
High Roof	5.00	390.81						
P2	15.00	375.81		7,178	7,178		7,178	
Low Roof / P1	15.00	360.81		7,178	7,178		7,178	8,800
25	17.00	343.81		22,452	22,452		22,452	650
24	14.00	329.81		22,452	22,452		22,452	
23	14.00	315.81		22,452	22,452		22,452	650
22	14.00	301.81		22,452	22,452		22,452	
21	14.00	287.81		22,452	22,452		22,452	650
20	14.00	273.81		22,452	22,452		22,452	
19	14.00	259.81		22,452	22,452		22,452	650
18	14.00	245.81		22,492	22,492		22,492	
17	14.00	231.81		22,492	22,492		22,492	612
16	14.00	217.81		22,492	22,492		22,492	
15	14.00	203.81		22,492	22,492		22,492	612
14	14.00	189.81		22,492	22,492		22,492	
13	14.00	175.81		22,492	22,492		22,492	612
12	14.00	161.81		22,492	22,492		22,492	
11	14.00	147.81		22,492	22,492		22,492	612
10	14.00	133.81		22,452	22,452		22,452	
9	14.00	119.81		22,452	22,452		22,452	650
8	14.00	105.81		22,452	22,452		22,452	
7	14.00	91.81		22,452	22,452		22,452	650
6	14.00	77.81		22,452	22,452		22,452	
5	14.00	63.81		22,452	22,452		22,452	650
4	20.00	43.81		1,414	1,414	24,336	25,750	
3	12.00	31.81		0	0	25,750	25,750	
2	12.00	19.81		0	0	25,750	25,750	
(STREET) 1	19.81	0.00	2,008	19,223	21,231	3,016	24,247	
B1	16.60	-16.60		11,524	11,524	13,460	24,984	
Total:			2,008	518,327	520,335	92,312	612,647	15,798

*All areas are shown in Square Feet (SF)
 Floor plates may extend to property lines pending city's approval of submitted alternate means and methods request.

BICYCLE PARKING, SHOWER, AND LOCKER REQUIREMENTS

Program	Area	Long Term Ratio	Long Term Spaces	Short Term Ratio	Short Term Spaces
Commercial - Office	518,327	1:10,000 SF (Min 2)	52	1:20,000 SF (Min 2)	26
Commercial - Retail	2,008	1:12,000 SF (Min 2)	2	1:2,000 SF (Min 2)	2
Total Required			52		26
Total Provided			> 82		8

17.117.080 - Calculation Rules: A. If after calculating the number of required bicycle parking spaces a quotient is obtained containing a fraction of one-half (1/2) or more, an additional space shall be required; if such fraction is less than one-half (1/2), it may be disregarded.

See Proposed Bicycle Parking Variance for Details

Program	Area	Male Showers	Female Showers	Male Lockers	Female Lockers
Commercial - Office + Retail	509,865	4	4	16	16

A minimum of two (2) showers per gender plus one (1) shower per gender for each 150,000 sf. Above 150,000 sf. Four (4) lockers per shower

PARKING INFORMATION

Parking Required: None in CBD Zone

Parking Provided:

Total Basement Stalls: **32**
 Total Above Grade Stalls: **126**
Total Stalls Above And Below Grade: 158

Minimum Required EVCS 10%: 16
 Additional EV Parking may be provided at owner's discretion.

As no parking is required, plans represent the maximum number of proposed parking floors; mechanical parking may also increase/adjust the number of parking stalls. Final parking at Owner's election, subject to ADA and EV regulations.

DRAWING INDEX

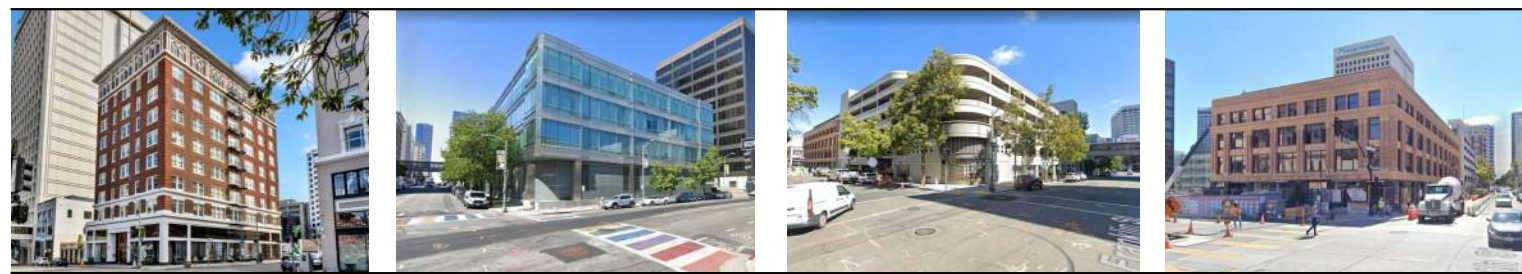
ARCHITECTURAL	
A0.00	COVER SHEET
A0.01	PROJECT INFORMATION
A0.02	EXISTING SITE PHOTOGRAPHS
A0.03	DESIGN INSPIRATION
A0.04	DESIGN DIAGRAMS
A0.05	PERSPECTIVE RENDERINGS
A0.06	PERSPECTIVE RENDERINGS
A0.07	PERSPECTIVE RENDERINGS
A0.08	CONTEXT ELEVATION 19TH STREET
A0.09	CONTEXT ELEVATION WEBSTER STREET
A0.10	TOWER CONTEXT PERSPECTIVE
A1.00	SITE PLAN
A1.01	FLOOR PLAN - BASEMENT
A1.02	FLOOR PLAN - GROUND FLOOR
A1.03	FLOOR PLAN - 2ND FLOOR
A1.04	FLOOR PLAN - 3RD FLOOR
A1.05	FLOOR PLAN - 4TH FLOOR
A1.06	FLOOR PLAN - LOW RISE (FL5-10)
A1.07	FLOOR PLAN - LOW RISE (FL11-18)
A1.08	FLOOR PLAN - HIGH RISE (FL19-25)
A1.10	FLOOR PLAN - LOW ROOF & PENTHOUSE 01
A1.11	PENTHOUSE 02
A1.12	FLOOR PLAN - HIGH ROOF PLAN
A2.00	BUILDING ELEVATIONS AND MATERIALS
A2.01	BUILDING ELEVATIONS AND MATERIALS
A2.02	TOWER ANALYTIQUE
A2.03	MATERIAL PHOTOS
A2.04	MATERIAL BOARD
A3.00	BUILDING SECTION
A4.00	PROPERTY LINE ENCROACHMENT
LANDSCAPE	
L1.01	LANDSCAPE SITE PLAN - GROUND LEVEL
L1.02	LANDSCAPE SITE PLAN - TYP. BALCONY
L1.03	LANDSCAPE SITE PLAN - ROOF TERRACE
CIVIL	
201304	ALTA SURVEY
C2.0	EXISTING CONDITION PLAN
C3.0	DEMOLITION PLAN
C4.0	EXISTING PARCELIZATION PLAN
C4.1	PROPOSED PARCELIZATION PLAN
C5.0	PROPOSED SITE PLAN
C6.0	PROPOSED GRADING PLAN
C7.0	PROPOSED UTILITY PLAN
C8.0	PROPOSED STORMWATER MANAGEMENT PLAN
C9.0	EROSION CONTROL PLAN



(1) 1935 Webster St (2) 1951 Webster St (3) 1940 Webster St (4) 1956 Webster St



(5) 1999 Harrison St (6) 1970 Franklin St (7) 1950 Franklin St (8) 1924 Franklin St



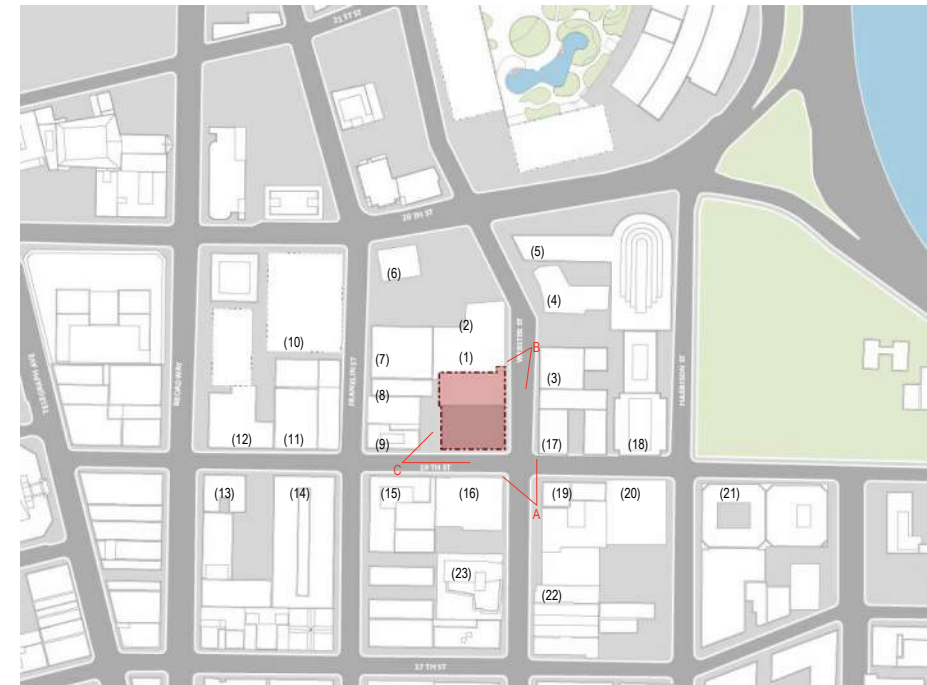
(9) 1900 Franklin St (10) 415 Thomas L Berkley Way (11) 414 19th St (12) 440 19th St



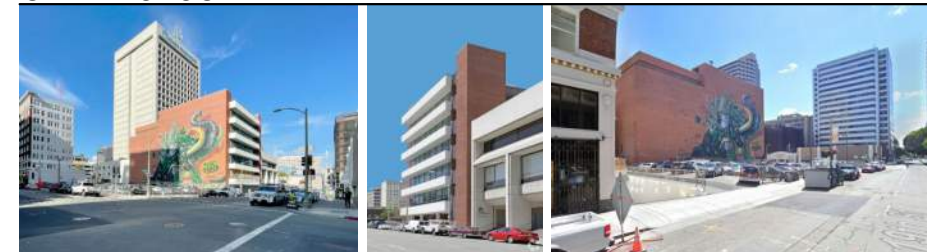
(13) 1776 Broadway (14) 1731 Franklin St (15) 1834 Franklin St (16) 355 19th St



(17) 1900 Webster St (18) 1901 Harrison St (19) 1830 Webster St (20) 1889 Harrison St (21) 1800 Harrison St (22) 1700 Webster St (23) 1717 Webster St



SITE PHOTOS



A B C

CONNECTING TO OAKLAND'S CLASSIC MODERN ARCHITECTURE:

- SIMPLE ABSTRACT FORMS AND VOLUMES
- MODERN HIGH PERFORMANCE MATERIALS
- MAXIMIZING GLASS TO MAXIMIZE DAYLIGHT

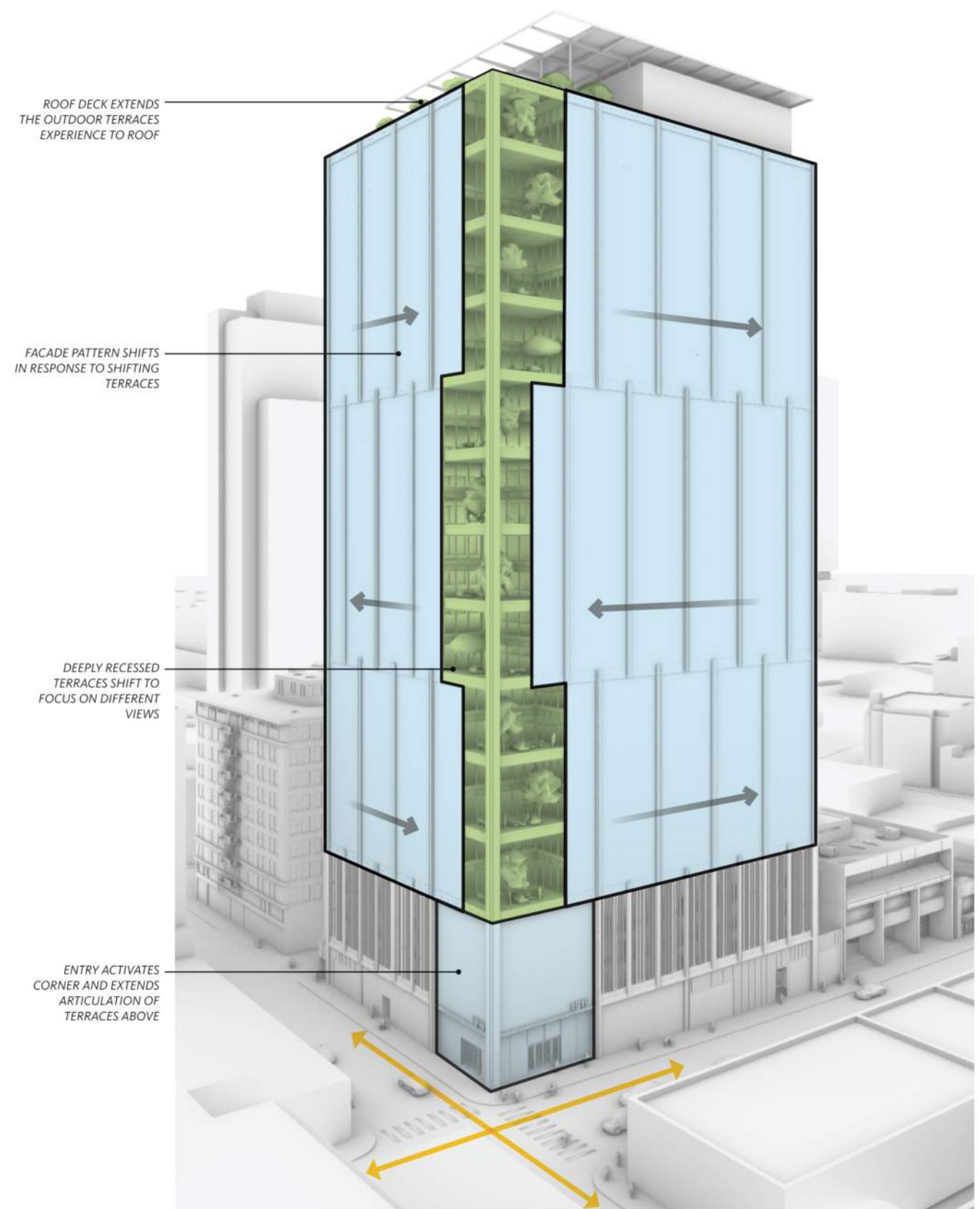
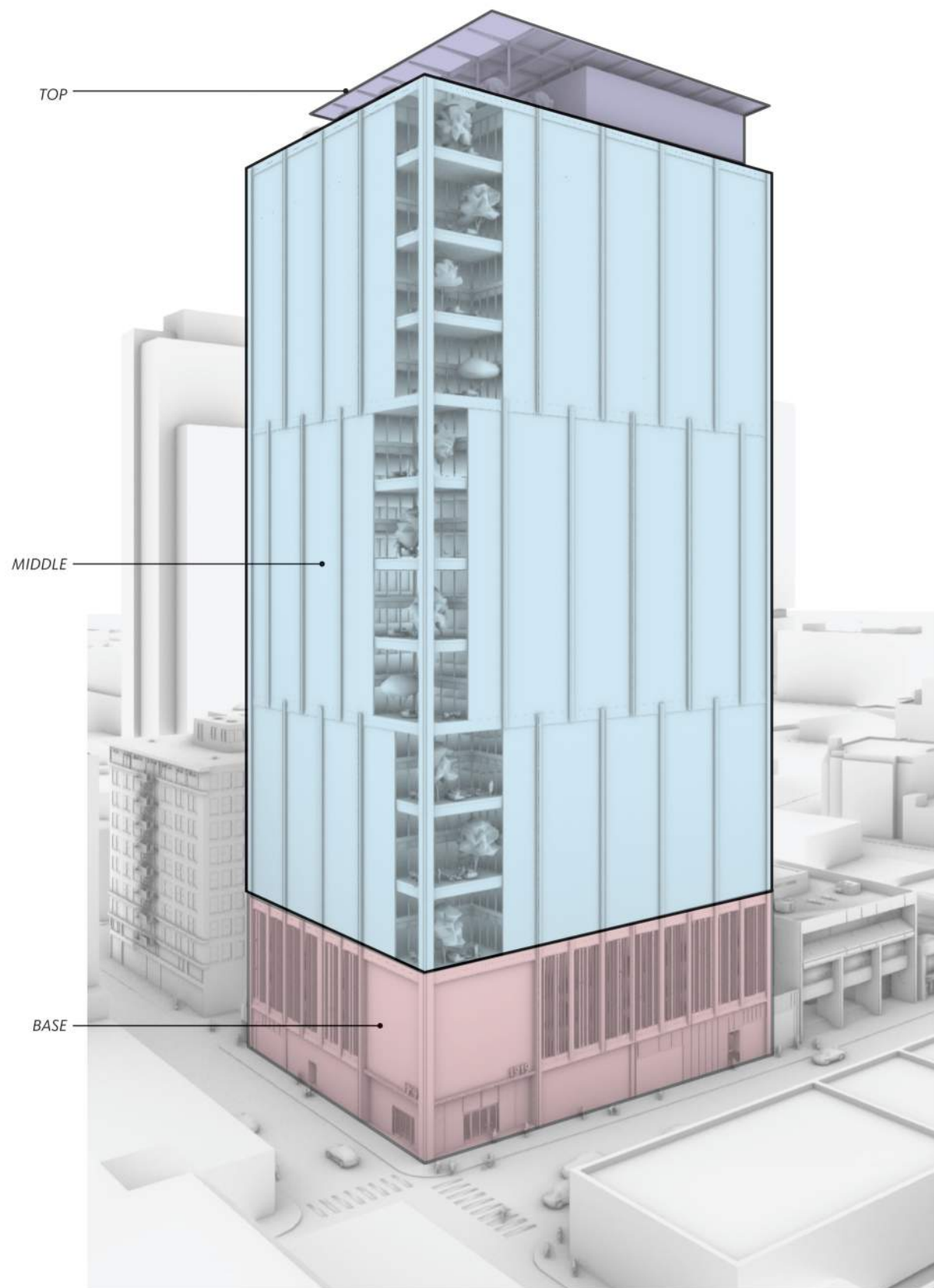


CONNECTING TO OAKLAND'S HISTORIC ARCHITECTURE:

- VARIATION OF FACADE MATERIALS
- PLAY OF SHIFTING FENESTRATION PATTERNS
- STRONG HORIZONTALS AND BUILDING TOP



1919 WEBSTER ST.
DESIGN INSPIRATION







APPLICATION FOR DEVELOPMENT REVIEW

ELLIS PARTNERS **Gensler**

1919 WEBSTER ST.

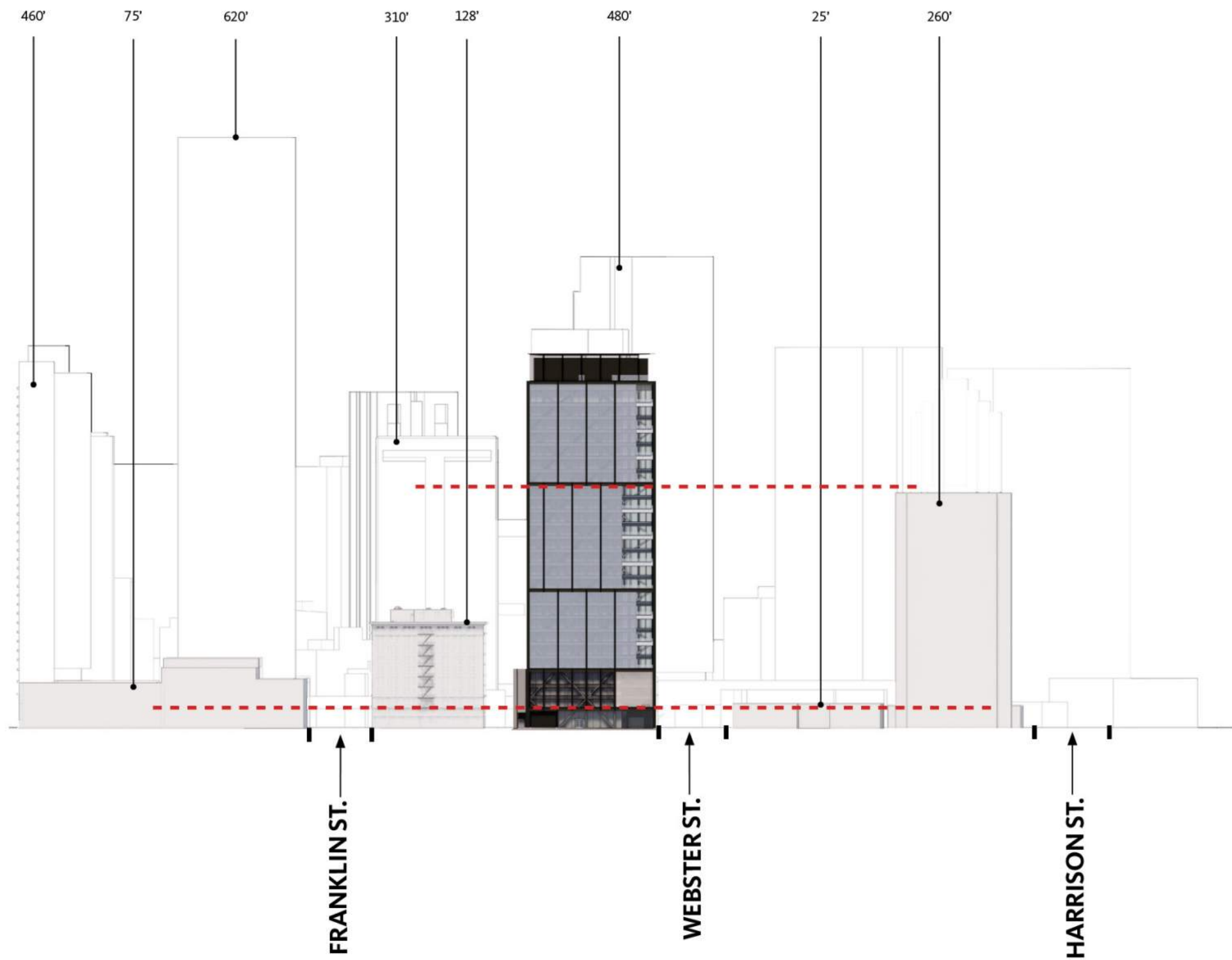
PERSPECTIVE RENDERINGS

05/06/2022

A0.06



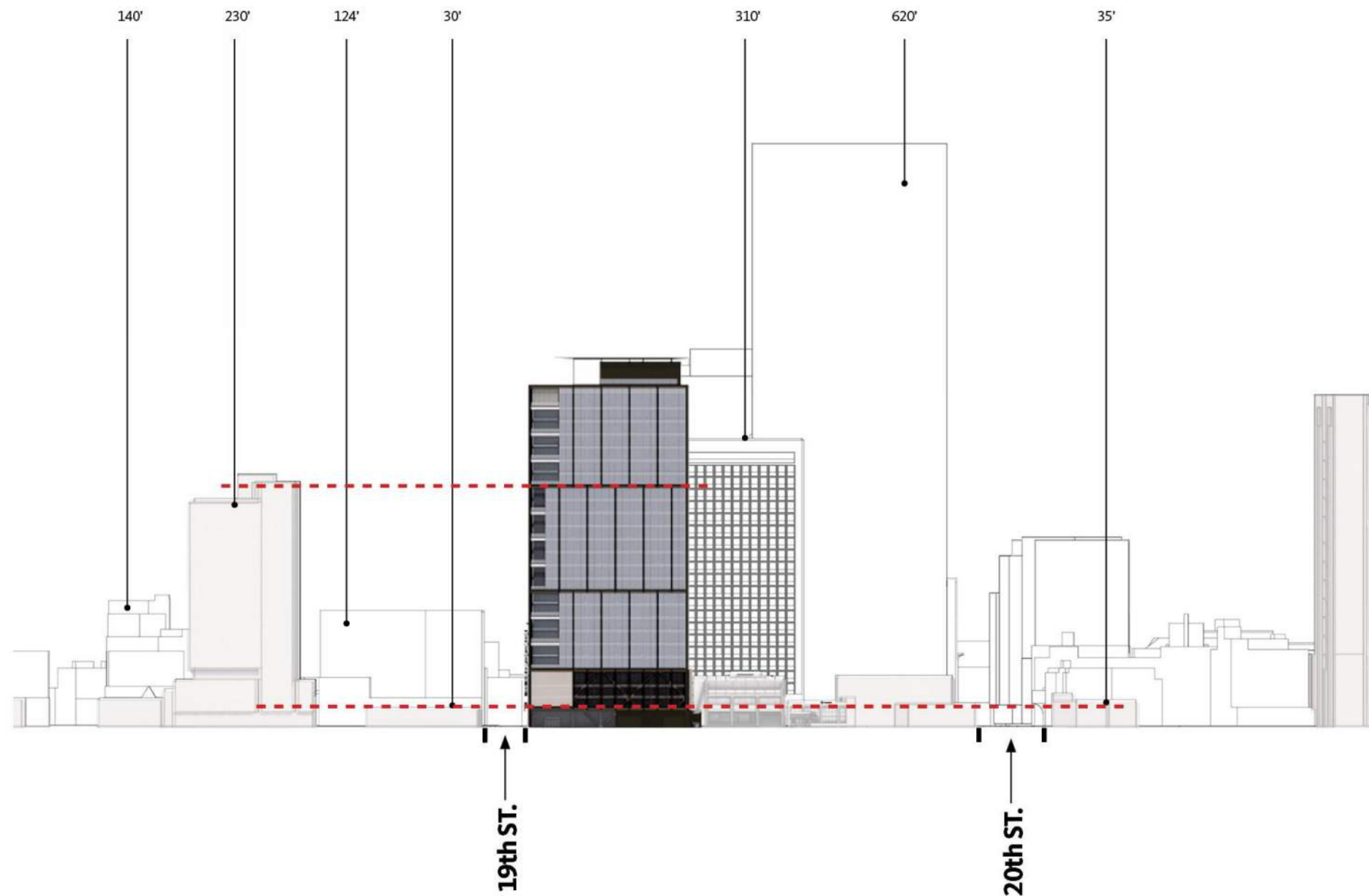
1919 WEBSTER ST.
PERSPECTIVE RENDERINGS



RELATING TO ADJACENT SIGNIFICANT HORIZONTAL DATUMS

1919 WEBSTER ST.

05/06/2022

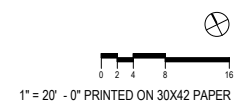
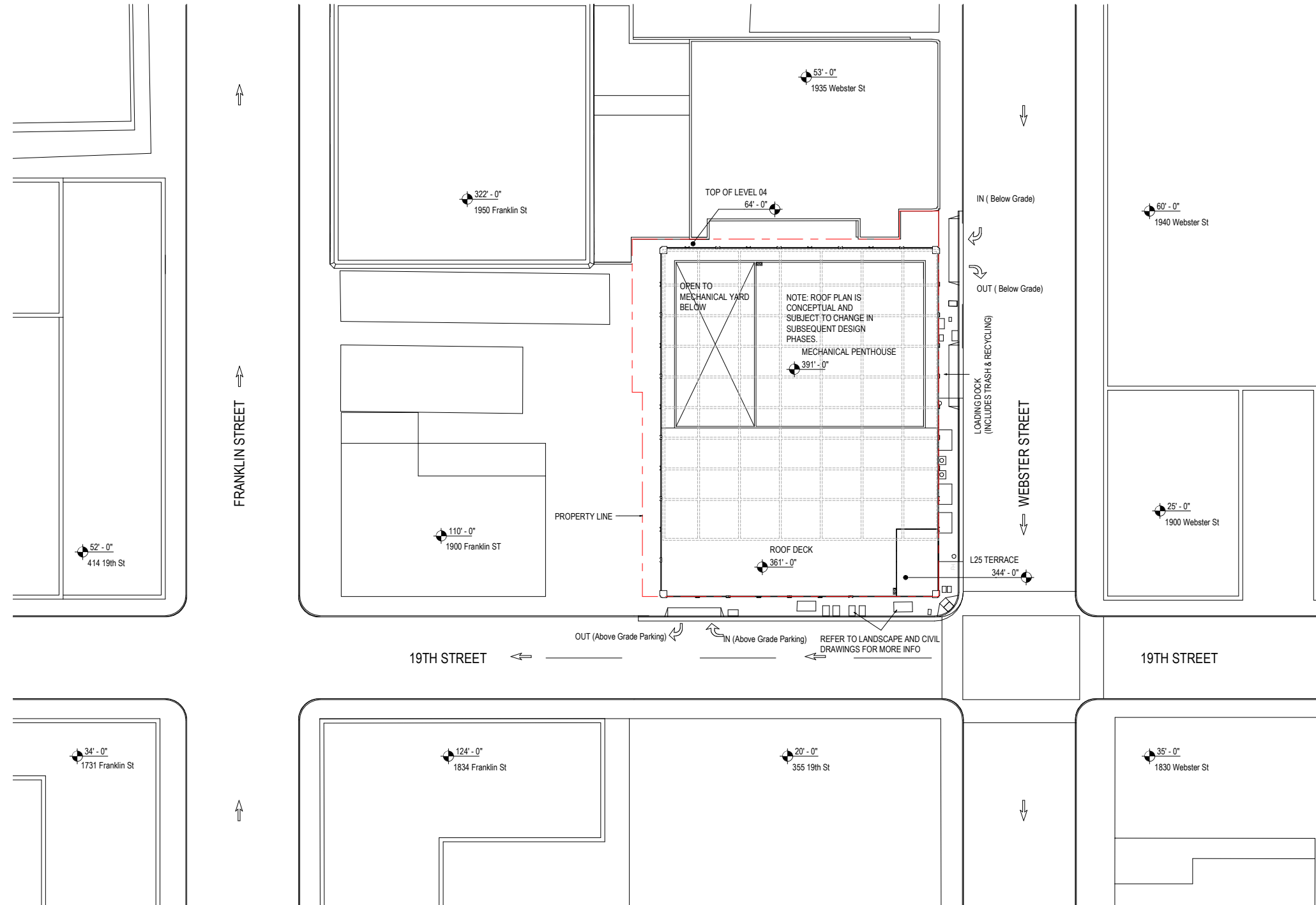


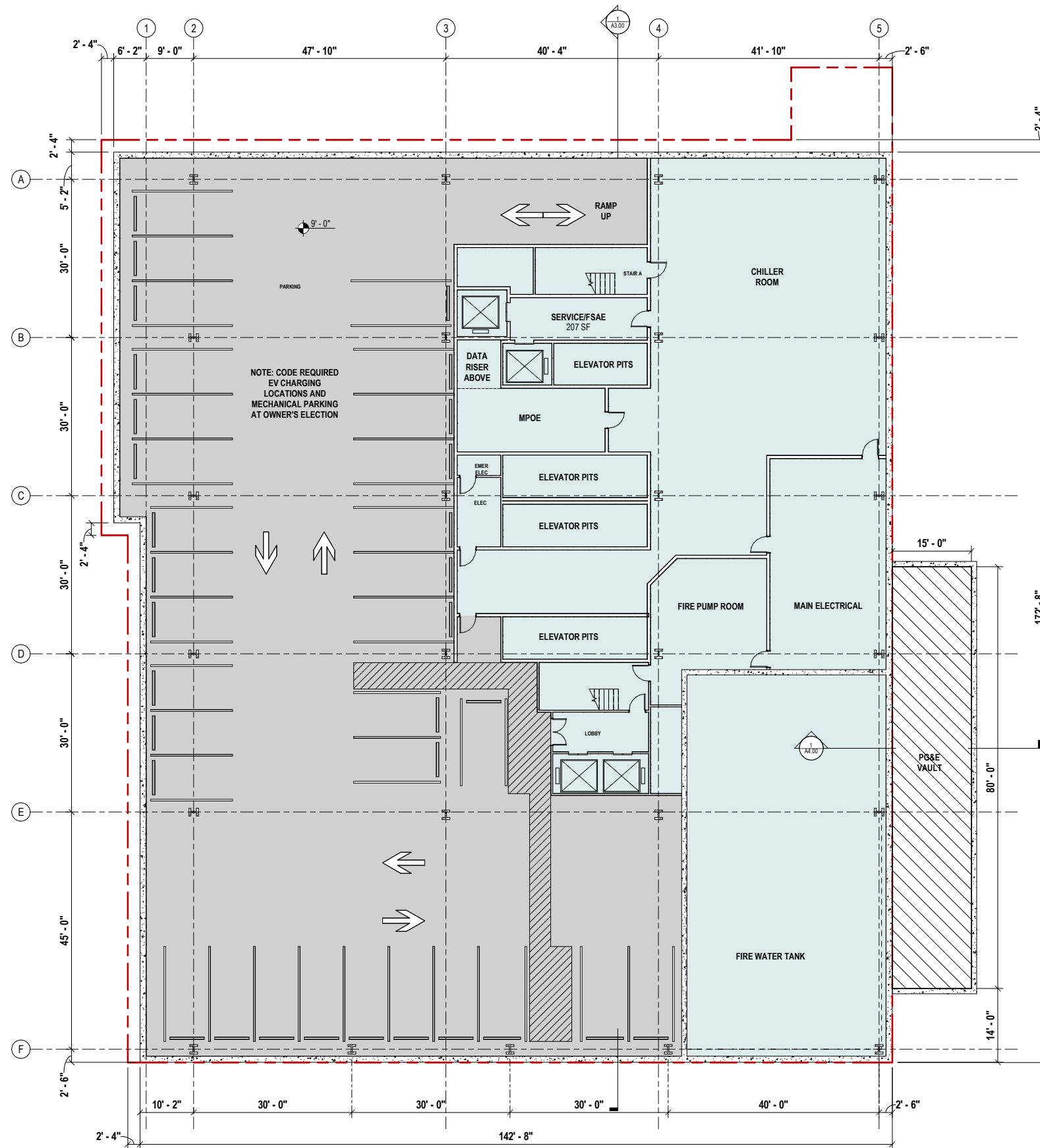
RELATING TO ADJACENT SIGNIFICANT HORIZONTAL DATUMS

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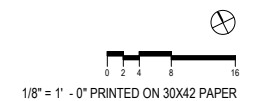


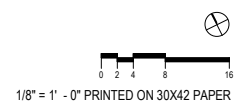
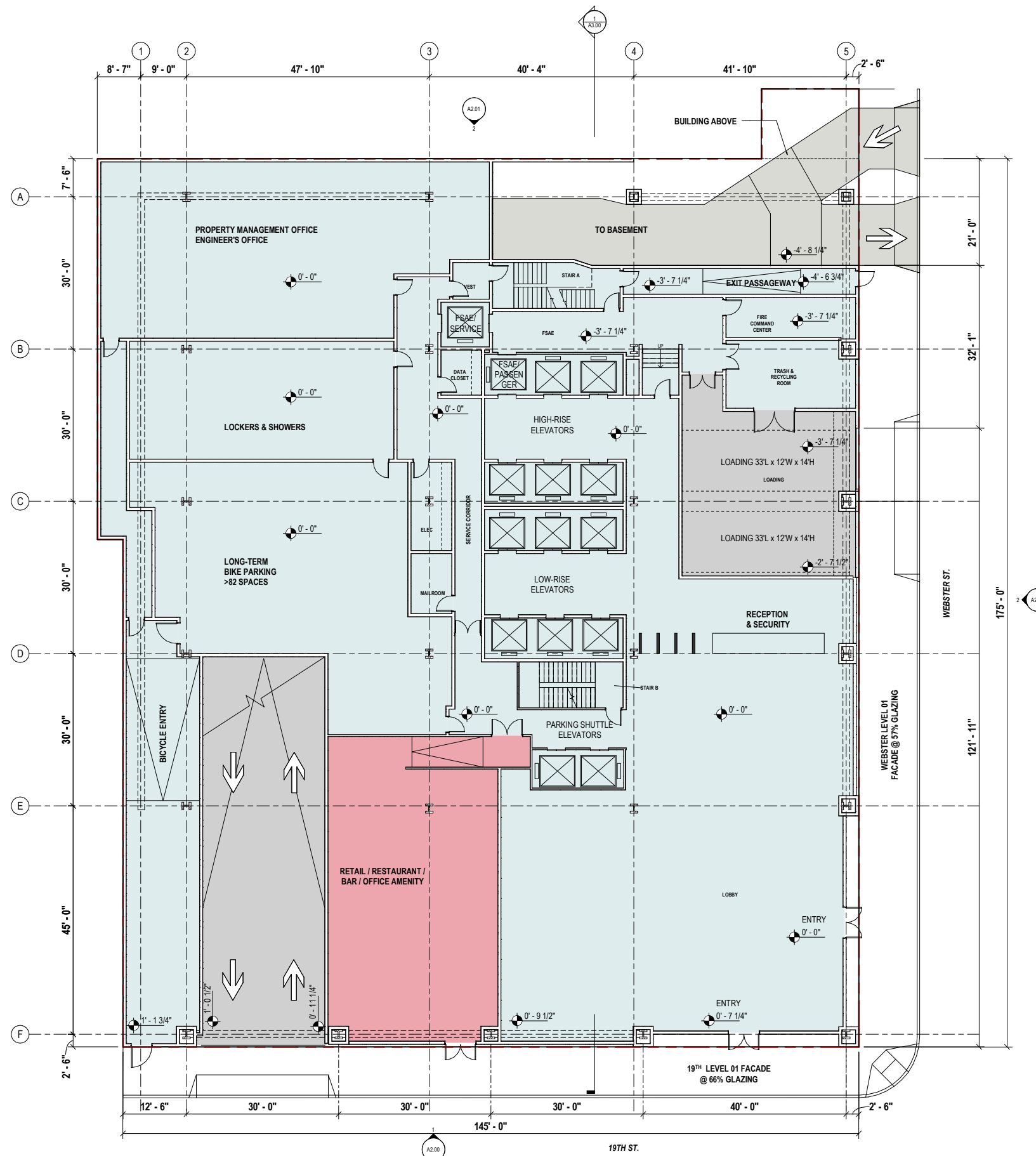
1919 WEBSTER ST.
TOWER CONTEXT PERSPECTIVE

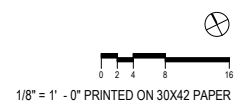
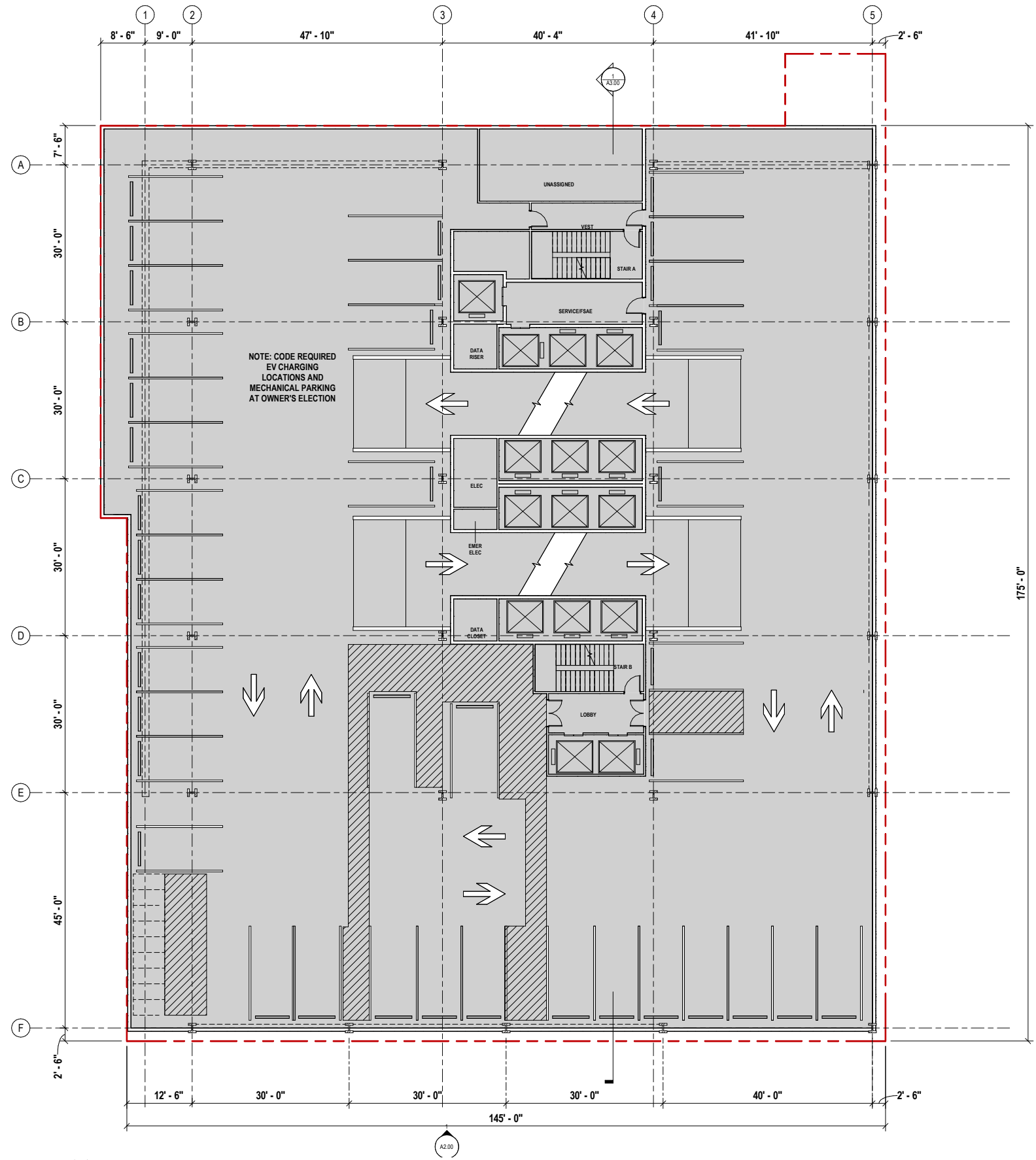


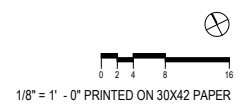
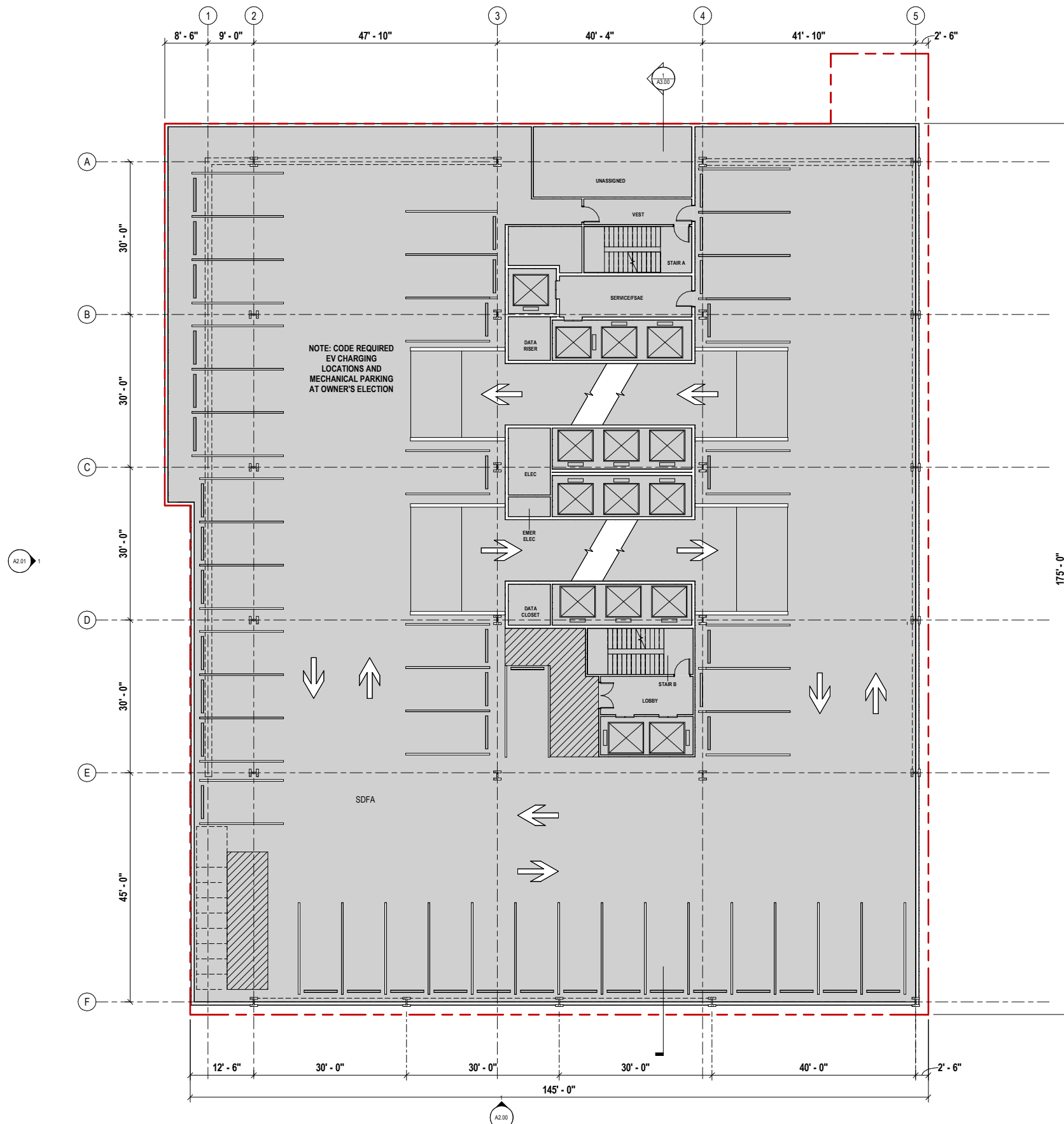


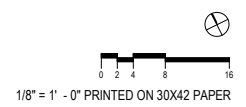
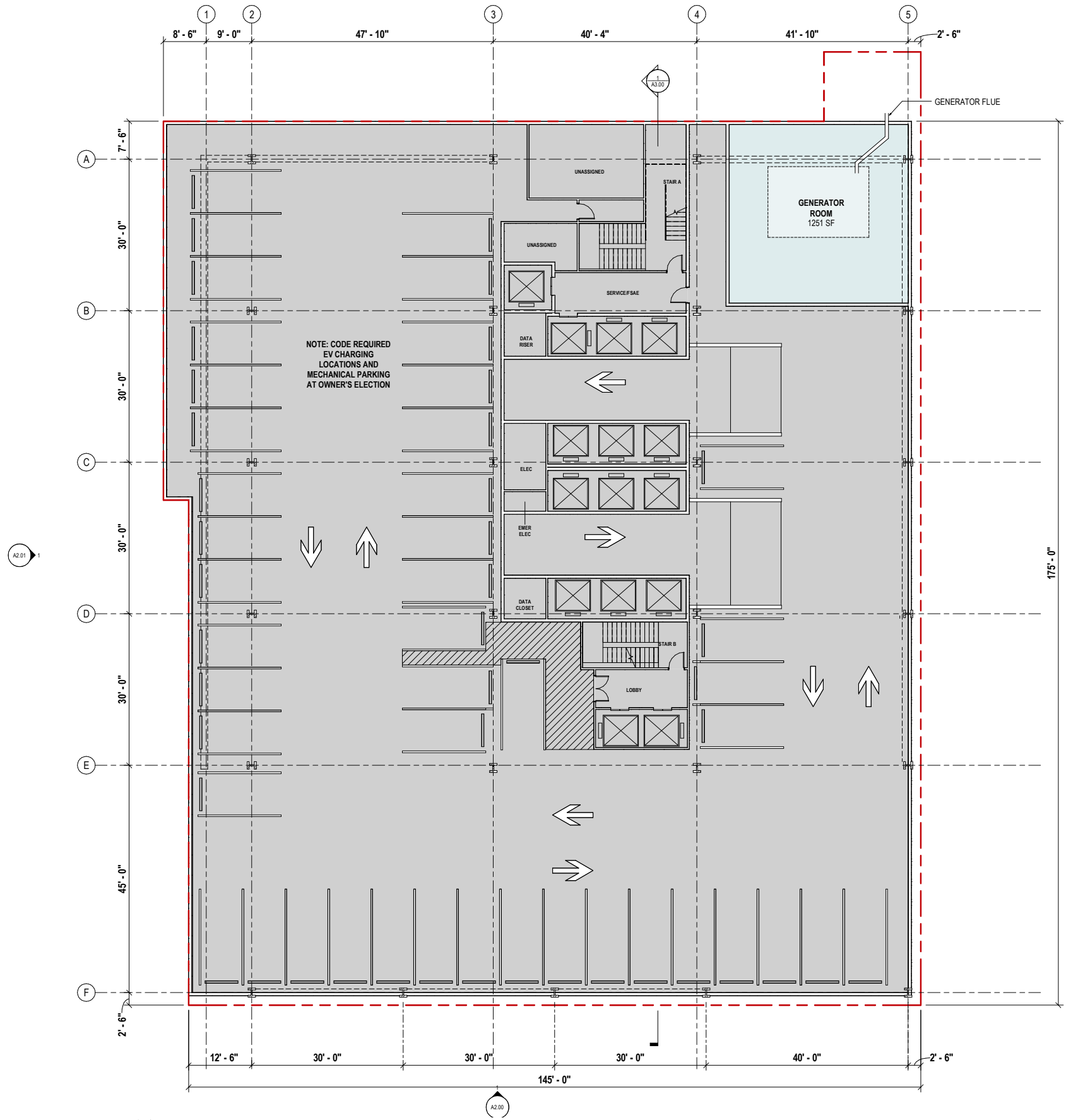
- RETAIL
- OFFICE / AMENITY
- NON-FAR

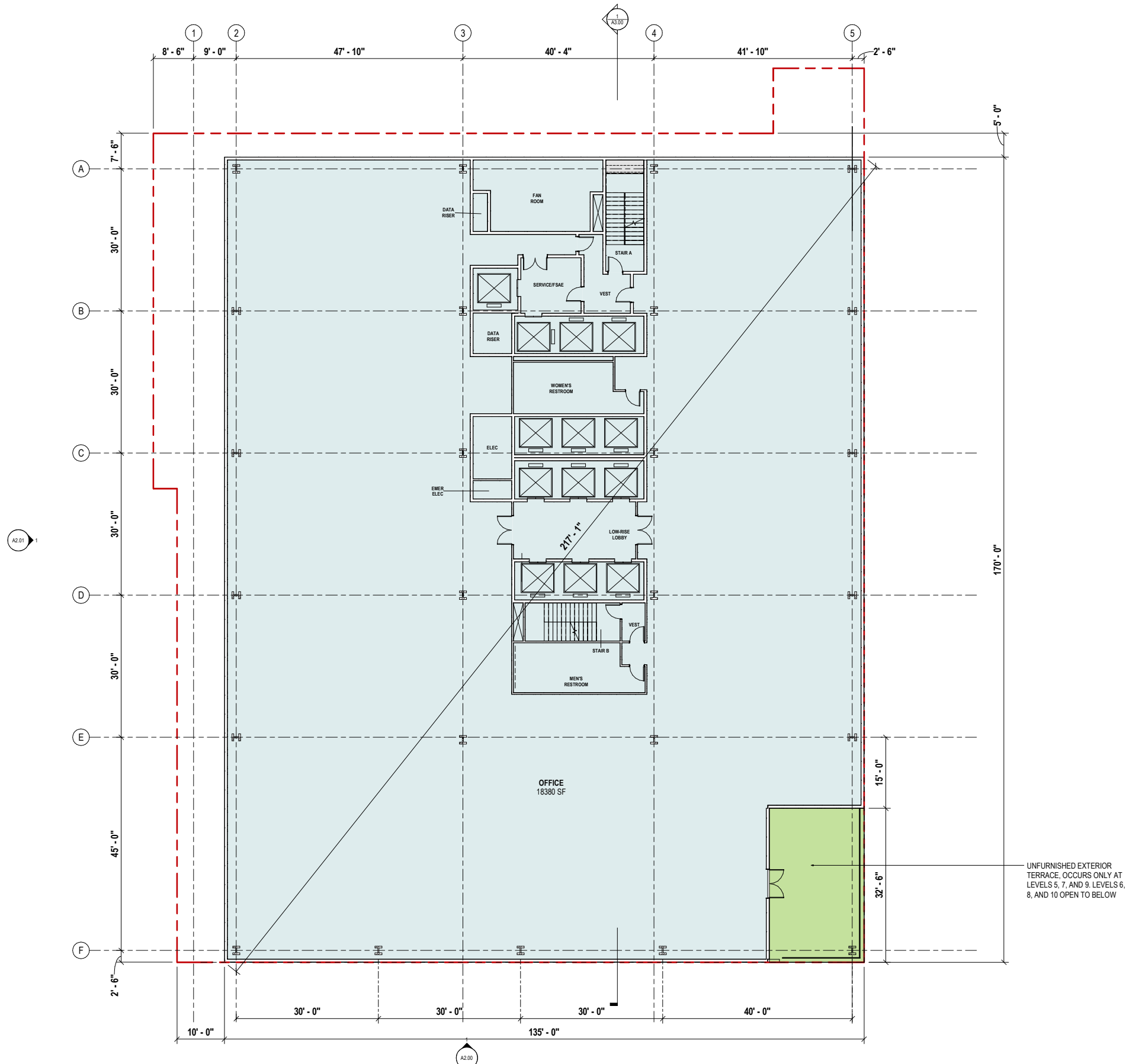




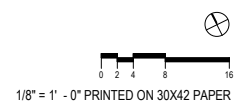


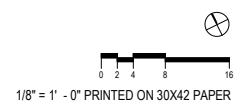
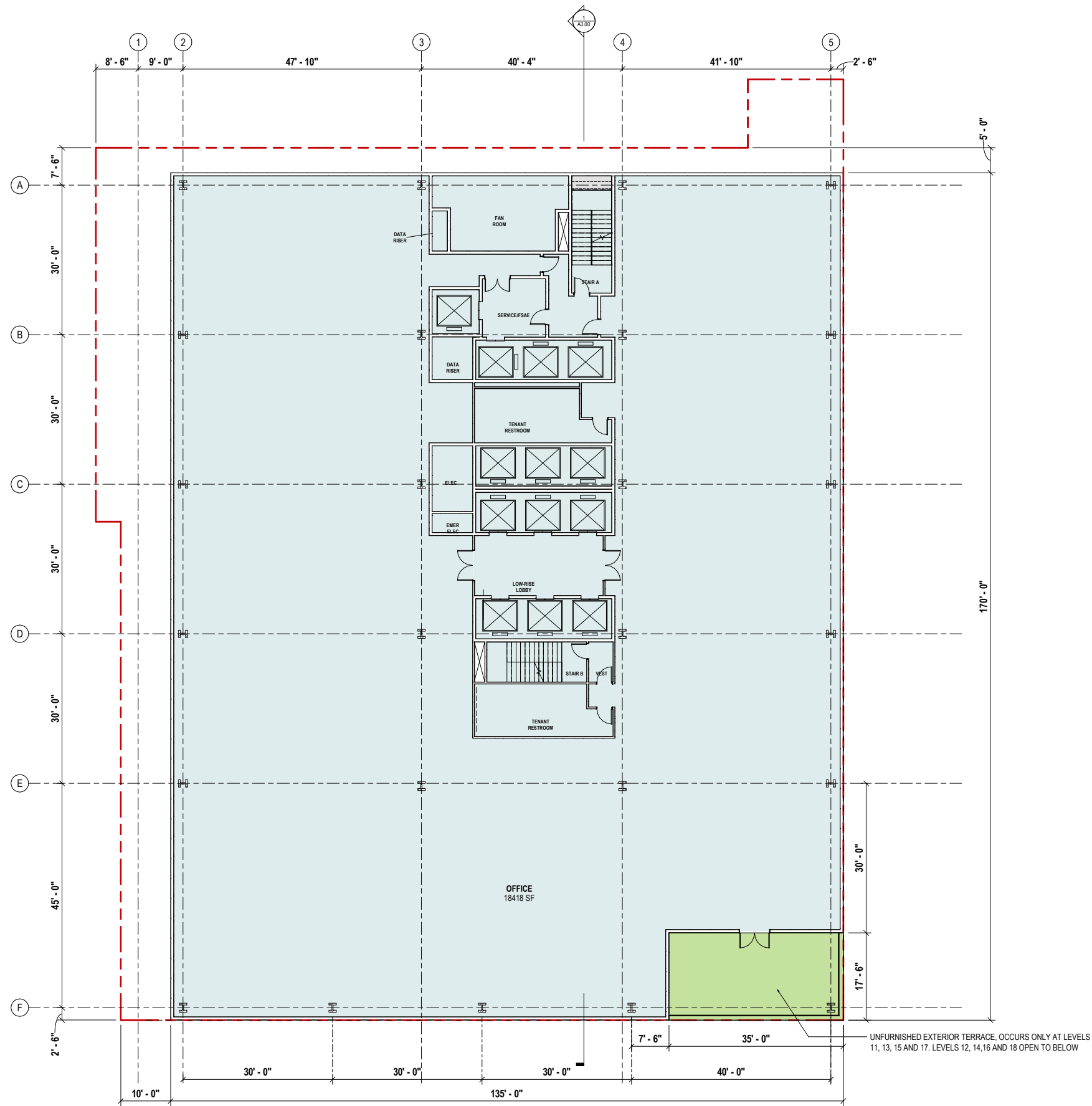


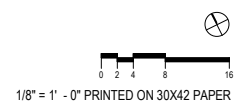
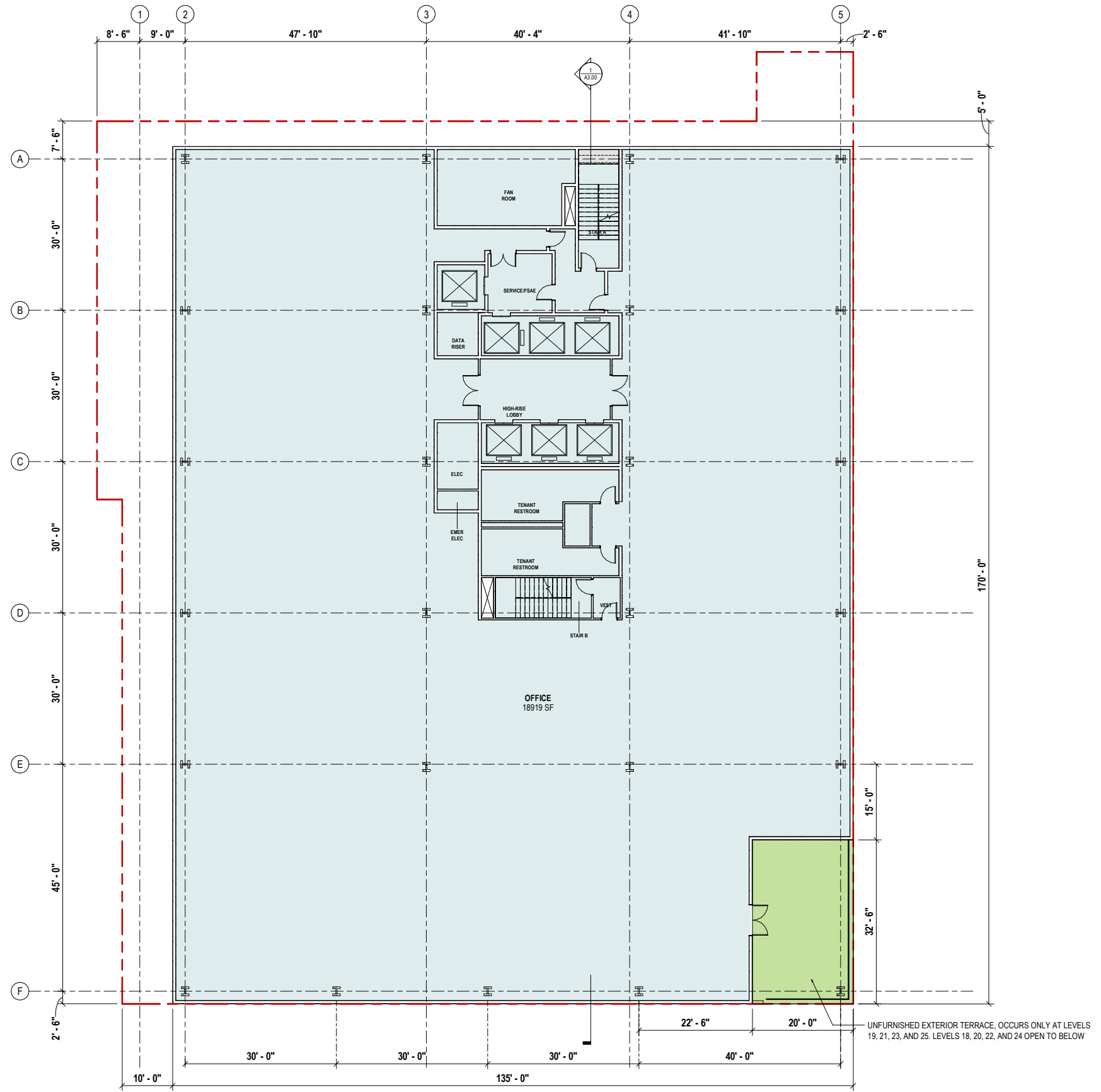


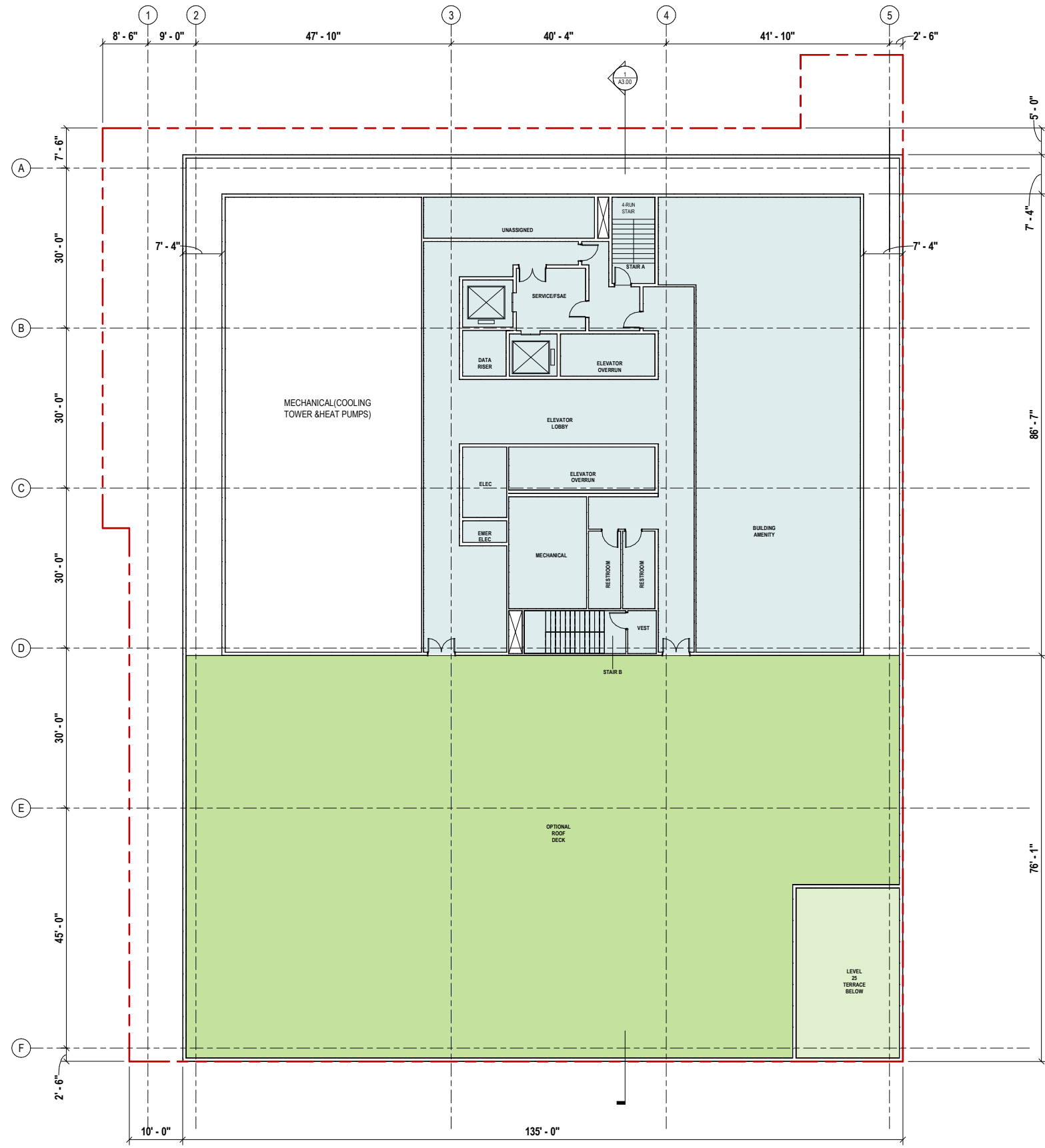


UNFURNISHED EXTERIOR TERRACE, OCCURS ONLY AT LEVELS 5, 7, AND 9. LEVELS 6, 8, AND 10 OPEN TO BELOW

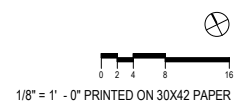


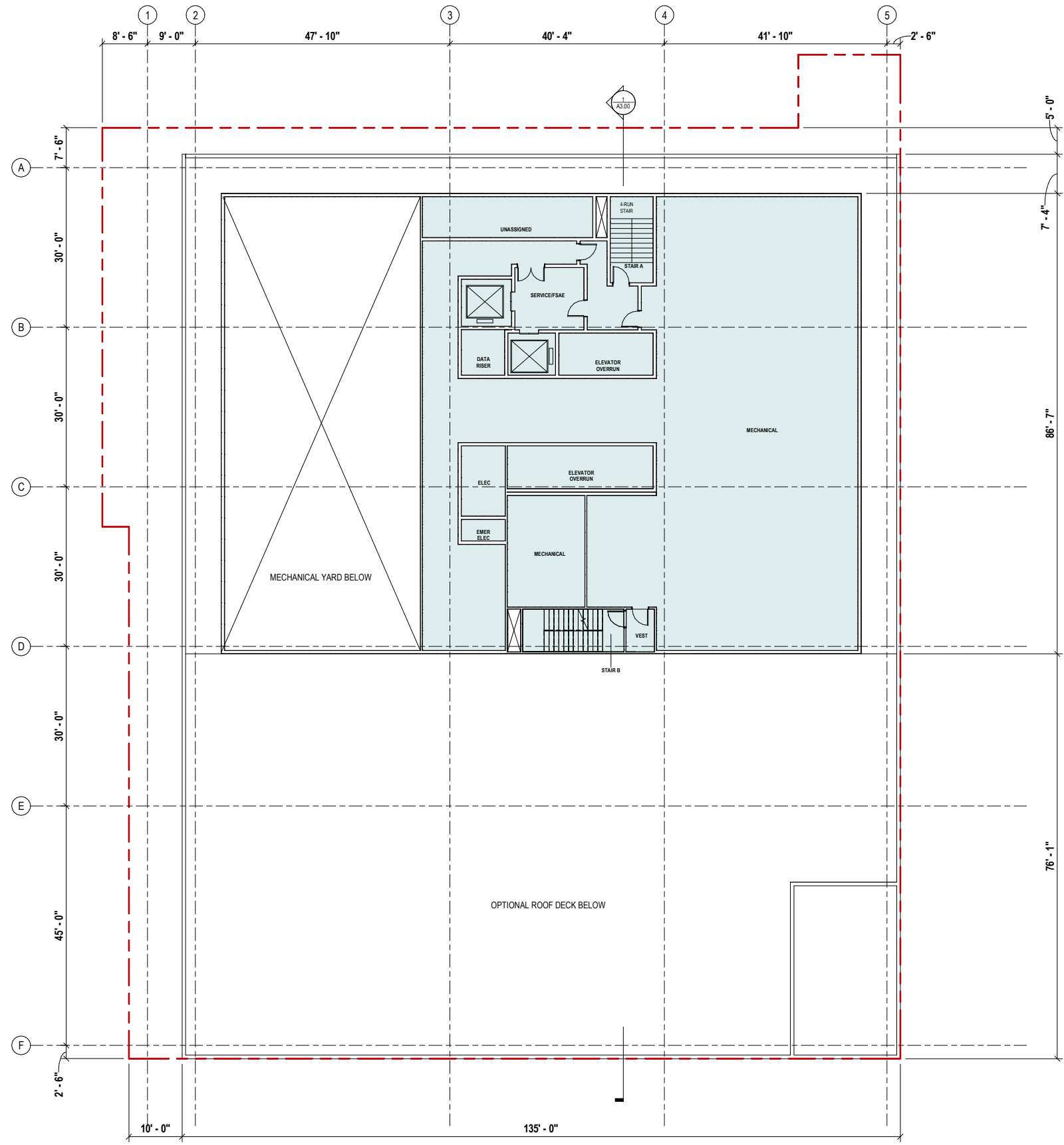




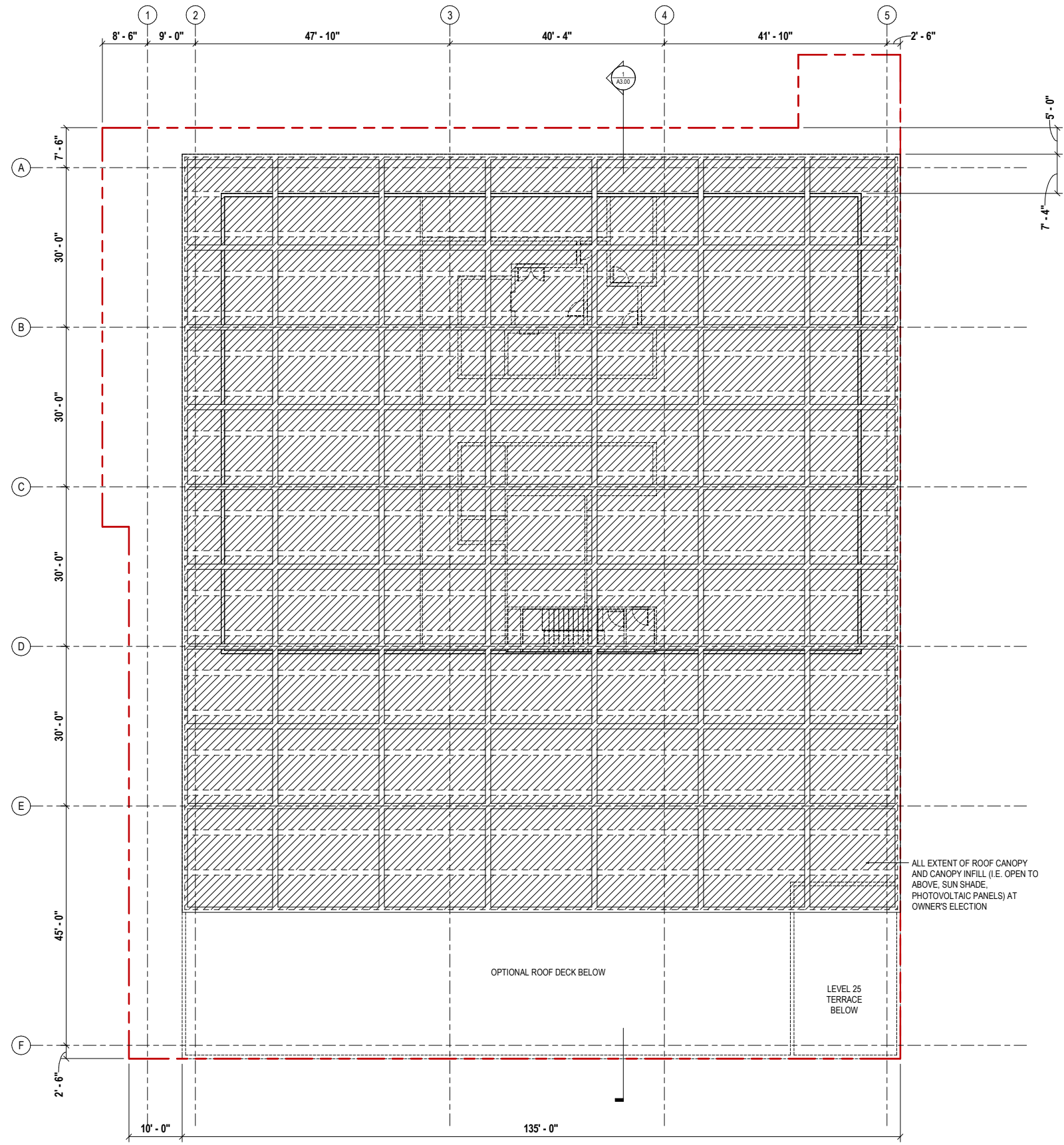


- RETAIL
- OFFICE / AMENITY
- NON-FAR



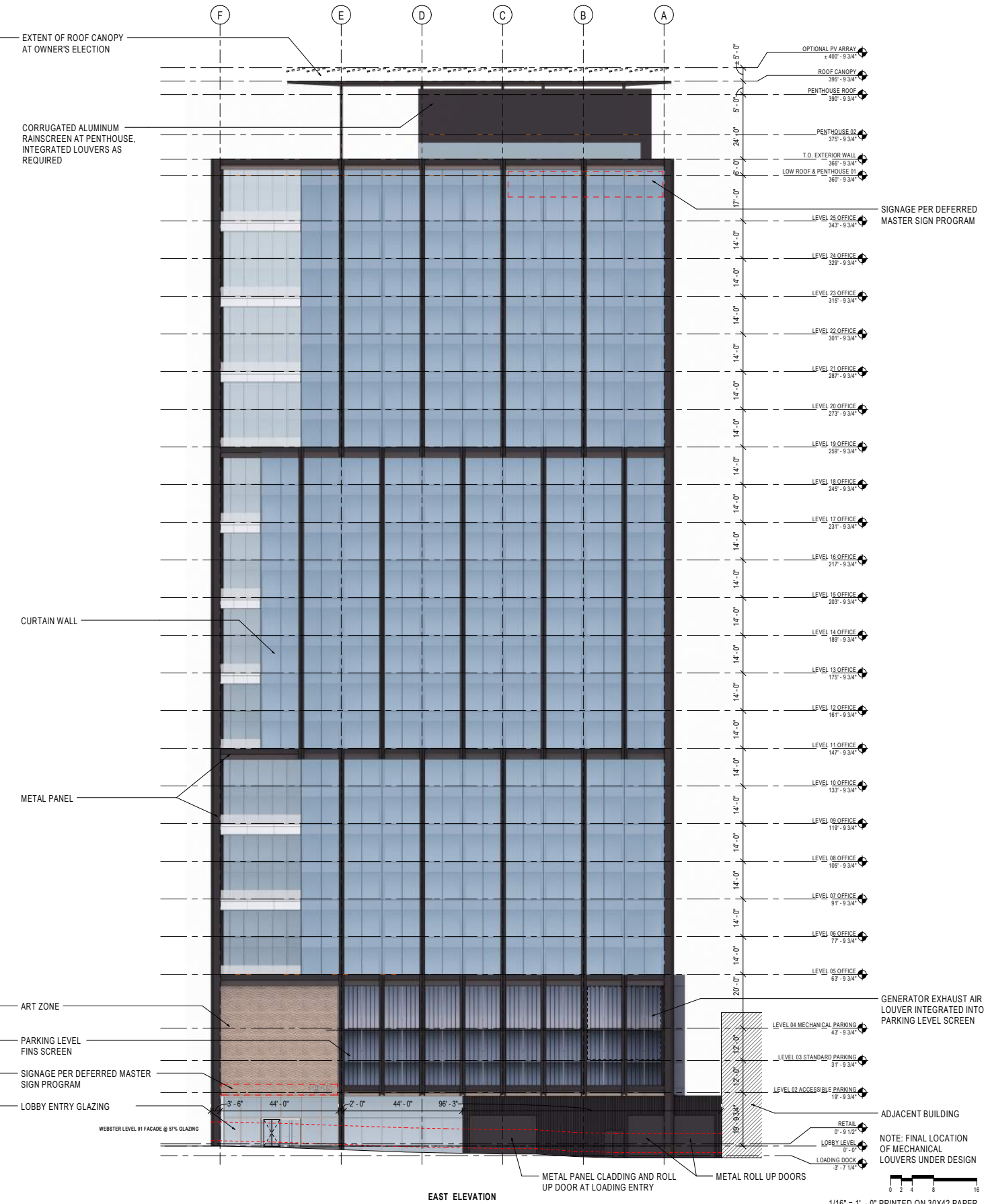
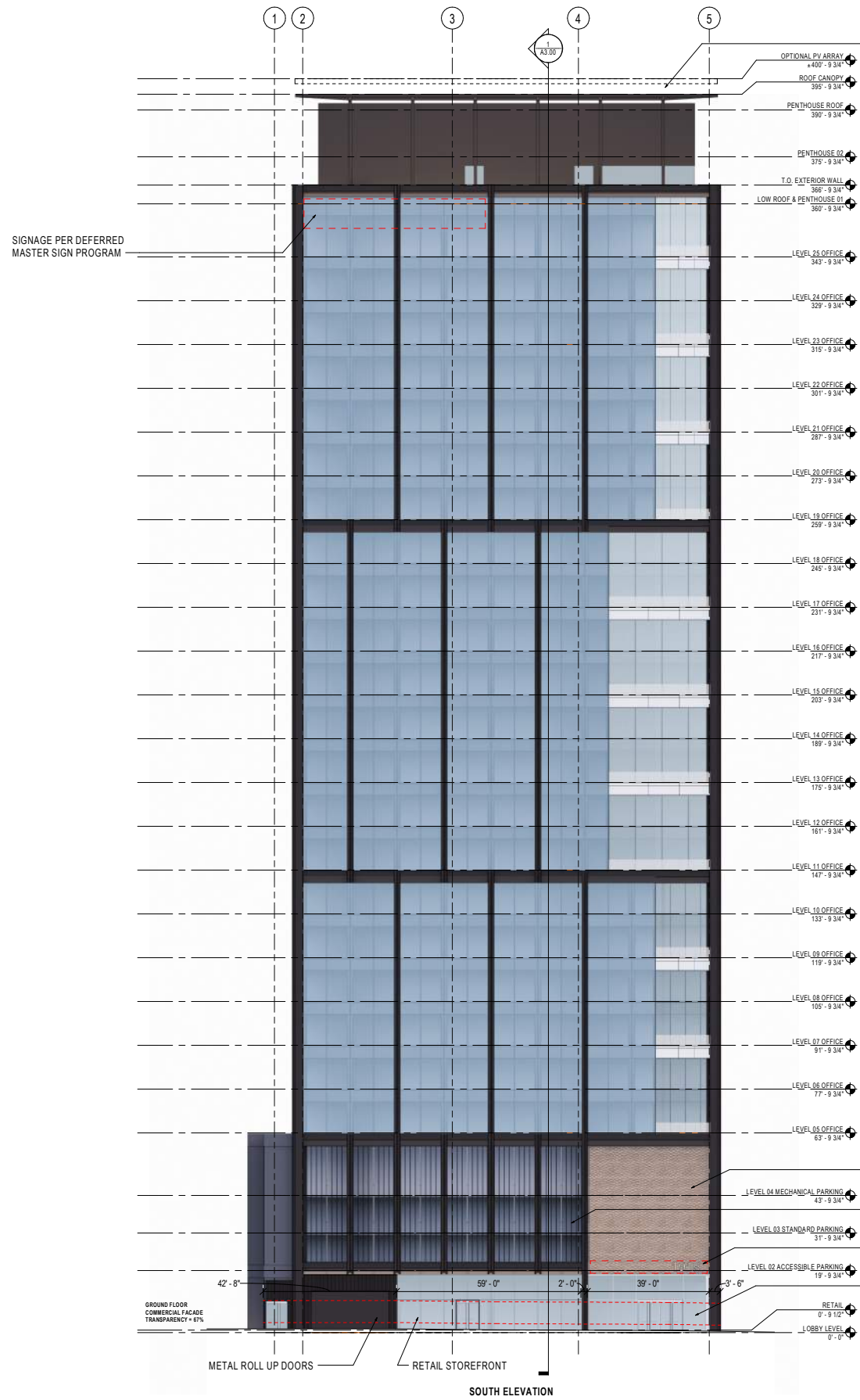


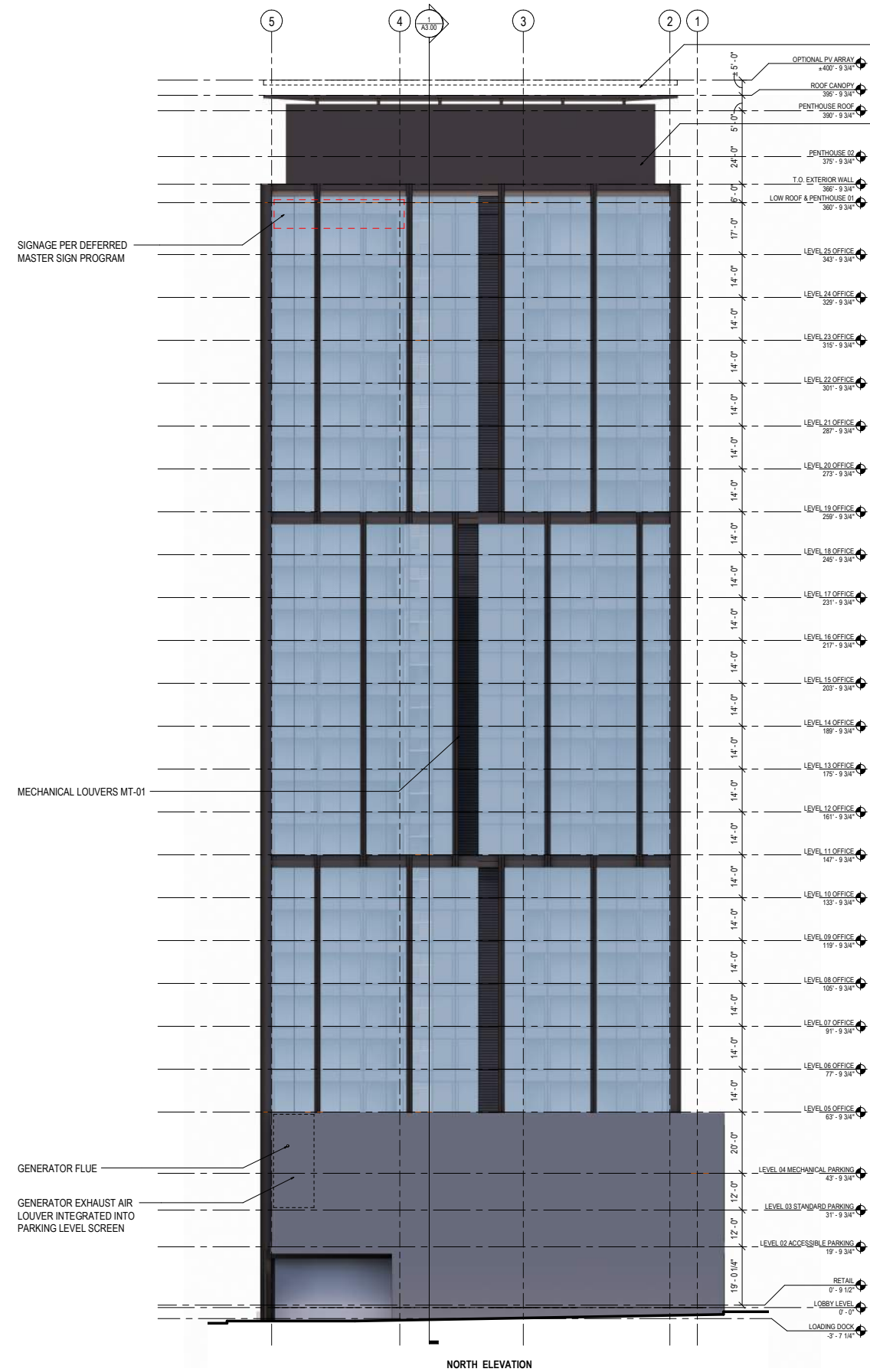
1919 WEBSTER ST.
PENTHOUSE 02



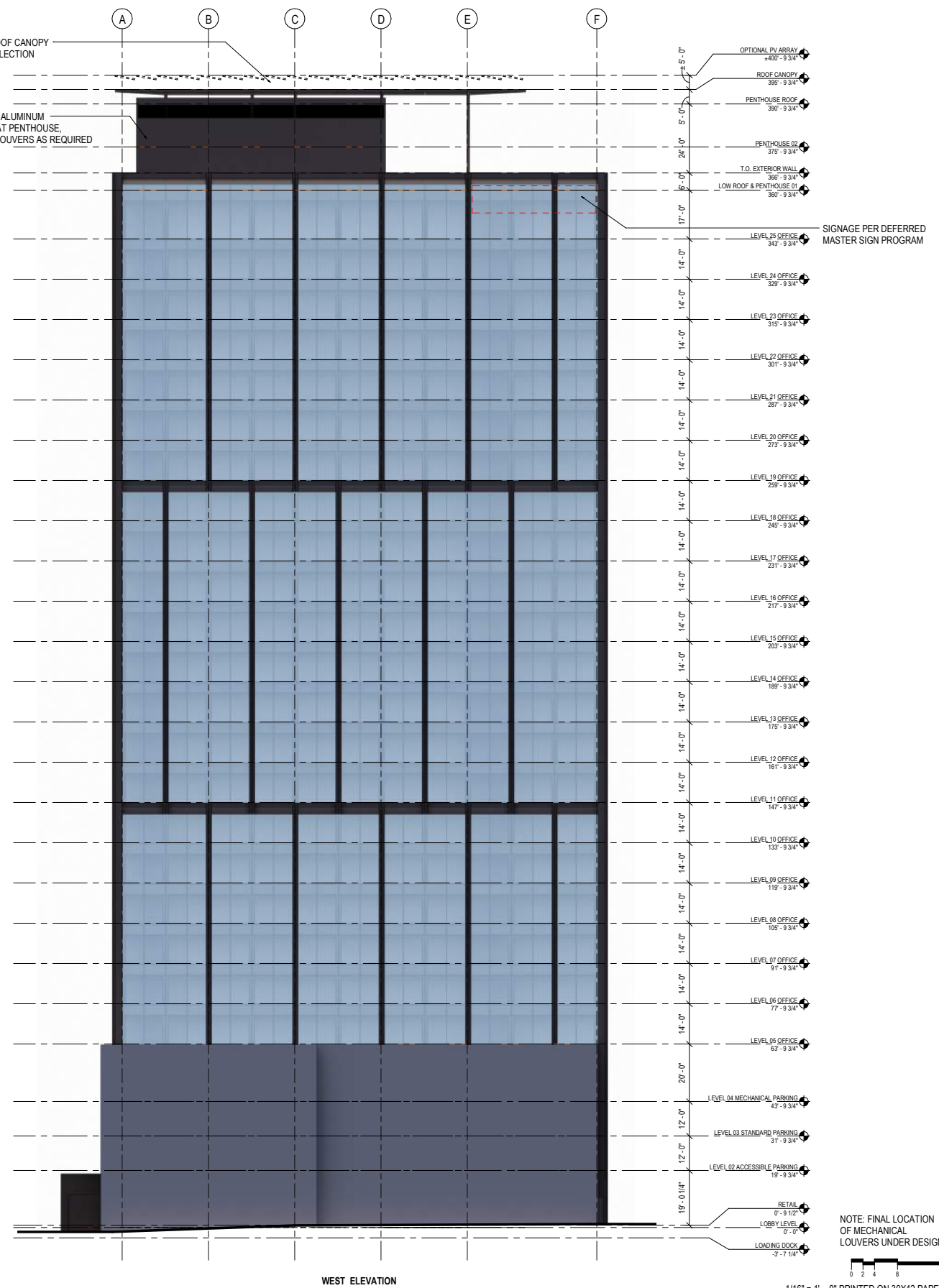
1919 WEBSTER ST.

FLOOR PLAN - HIGH ROOF PLAN



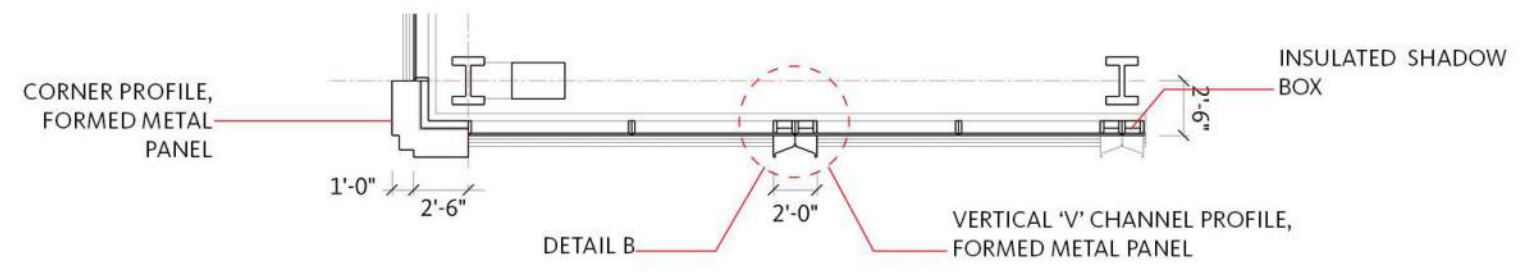
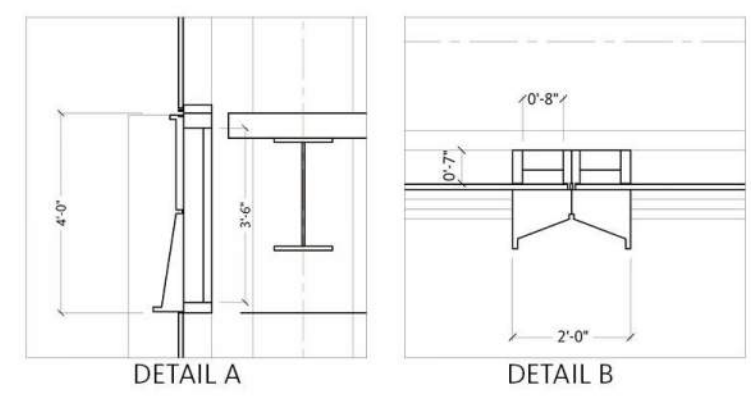
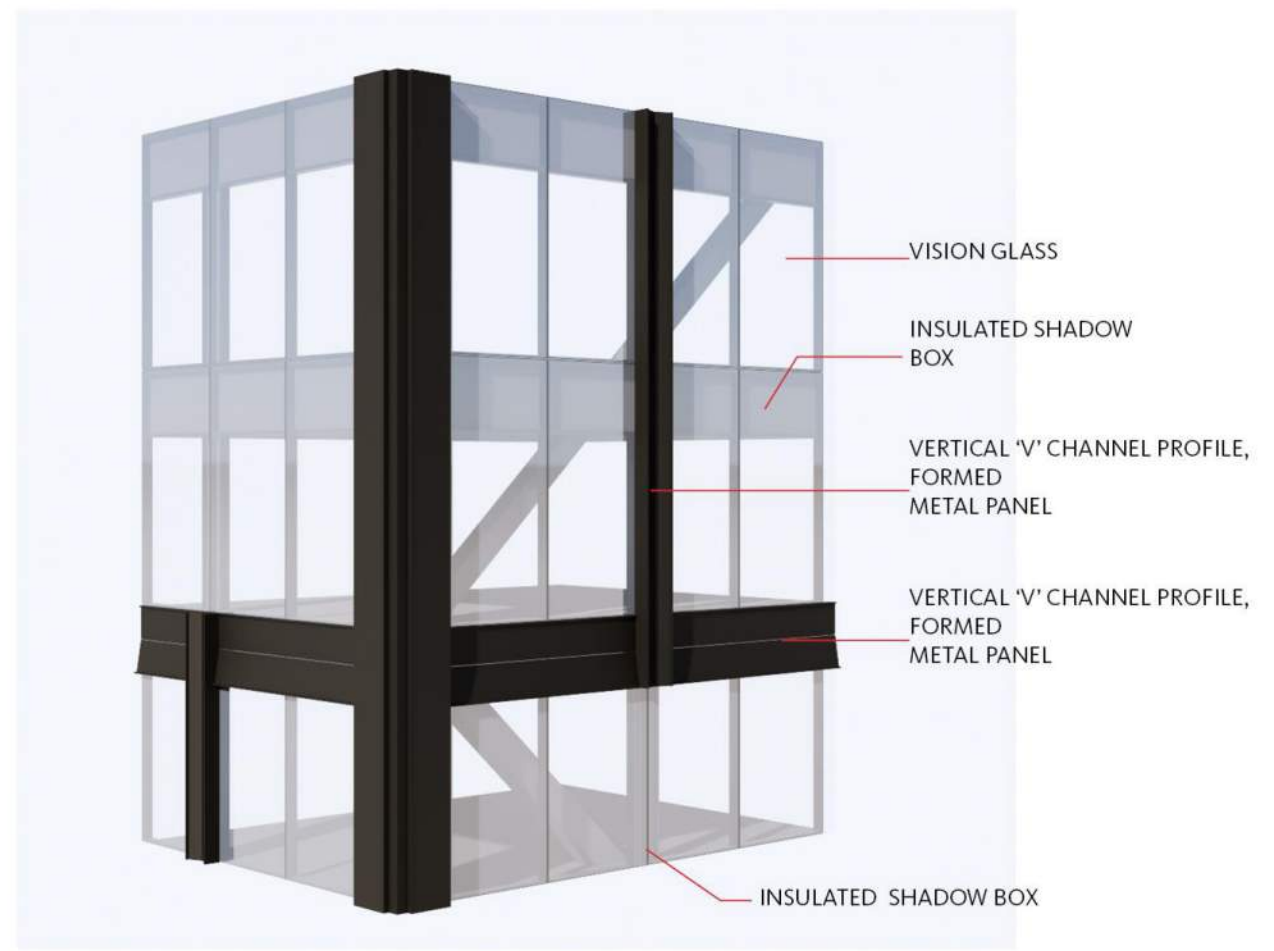
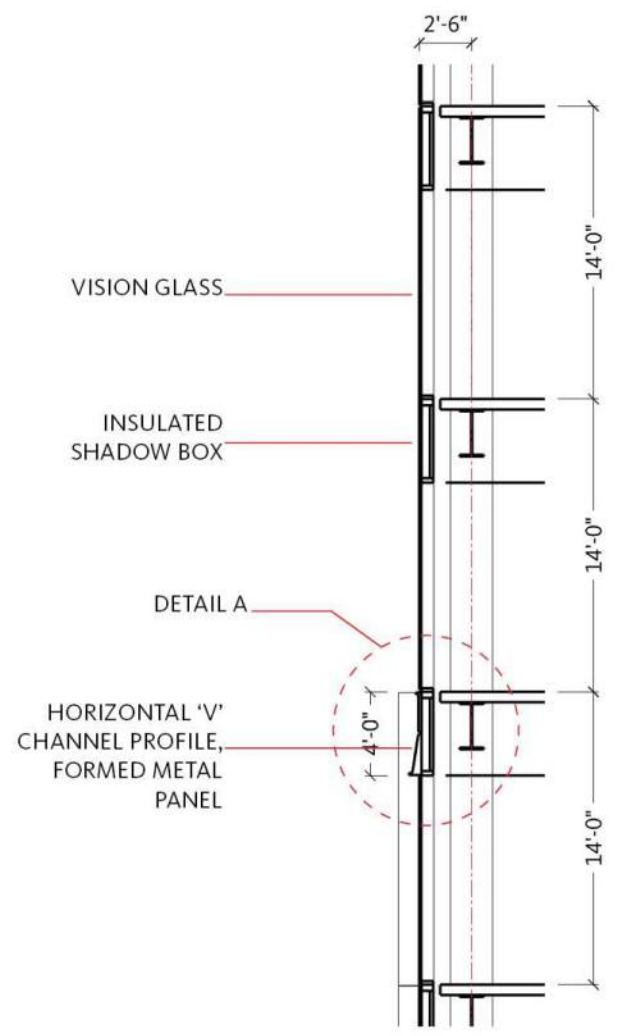


NORTH ELEVATION



WEST ELEVATION

NOTE: FINAL LOCATION OF MECHANICAL LOUVERS UNDER DESIGN
 1/16" = 1' - 0" PRINTED ON 30X42 PAPER



1919 WEBSTER ST.
TOWER ANALYTIQUE



MT-01
DARK PAINTED METAL PANEL



GL-01
INSULATED GLASS UNIT WITH HIGH PERFORMANCE
LOW-E COATING



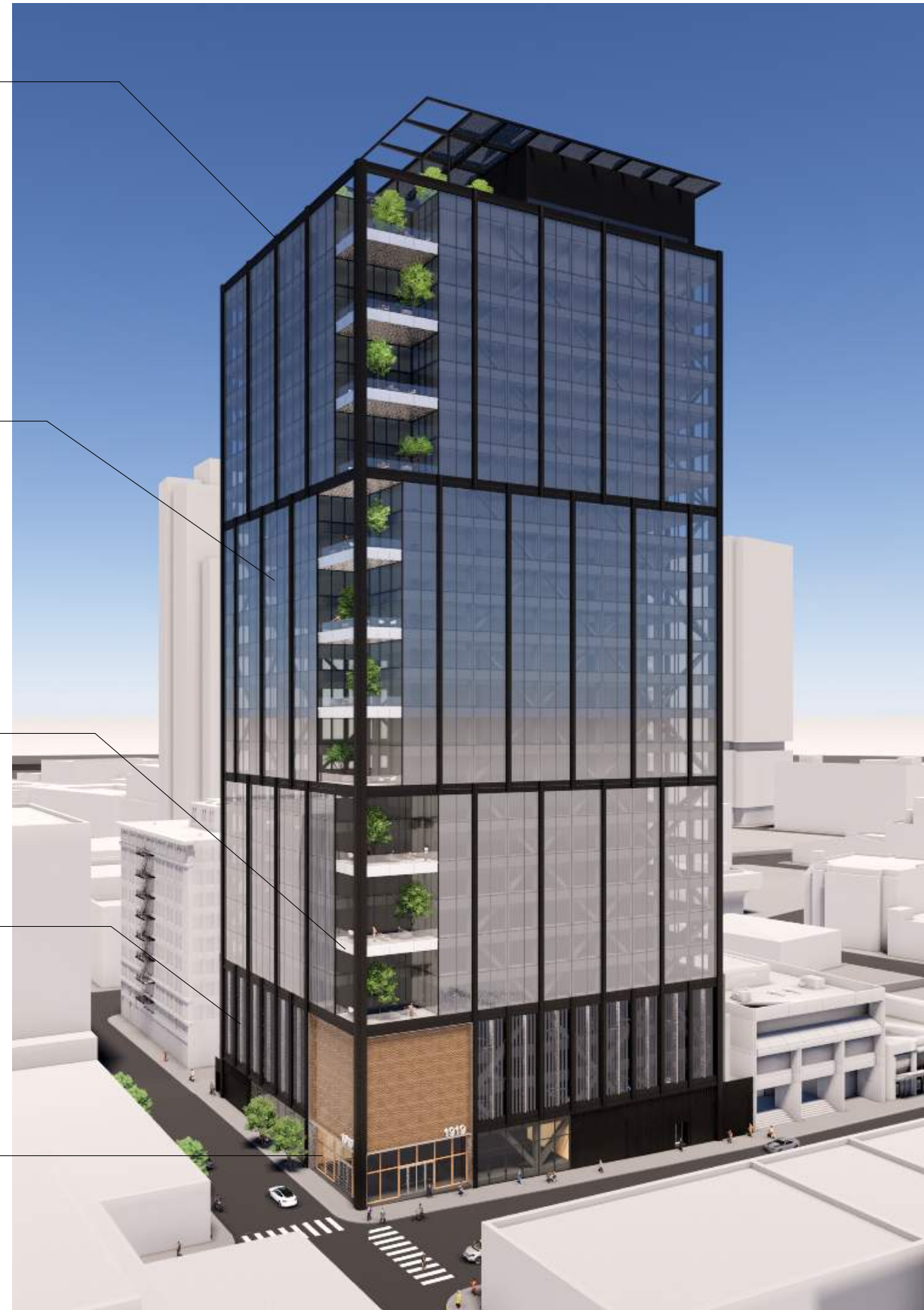
BALCONY FASCIA AND SOFFIT
METAL PANEL



PARKING LEVEL SCREEN
LAMINATED FROSTED GLASS FINS



LOBBY AND RETAIL GLASS





MT-01
DARK PAINTED METAL PANEL

BALCONY FASCIA AND SOFFIT
METAL PANEL

GL-01
INSULATED GLASS UNIT WITH HIGH PERFORMANCE
LOW-E COATING

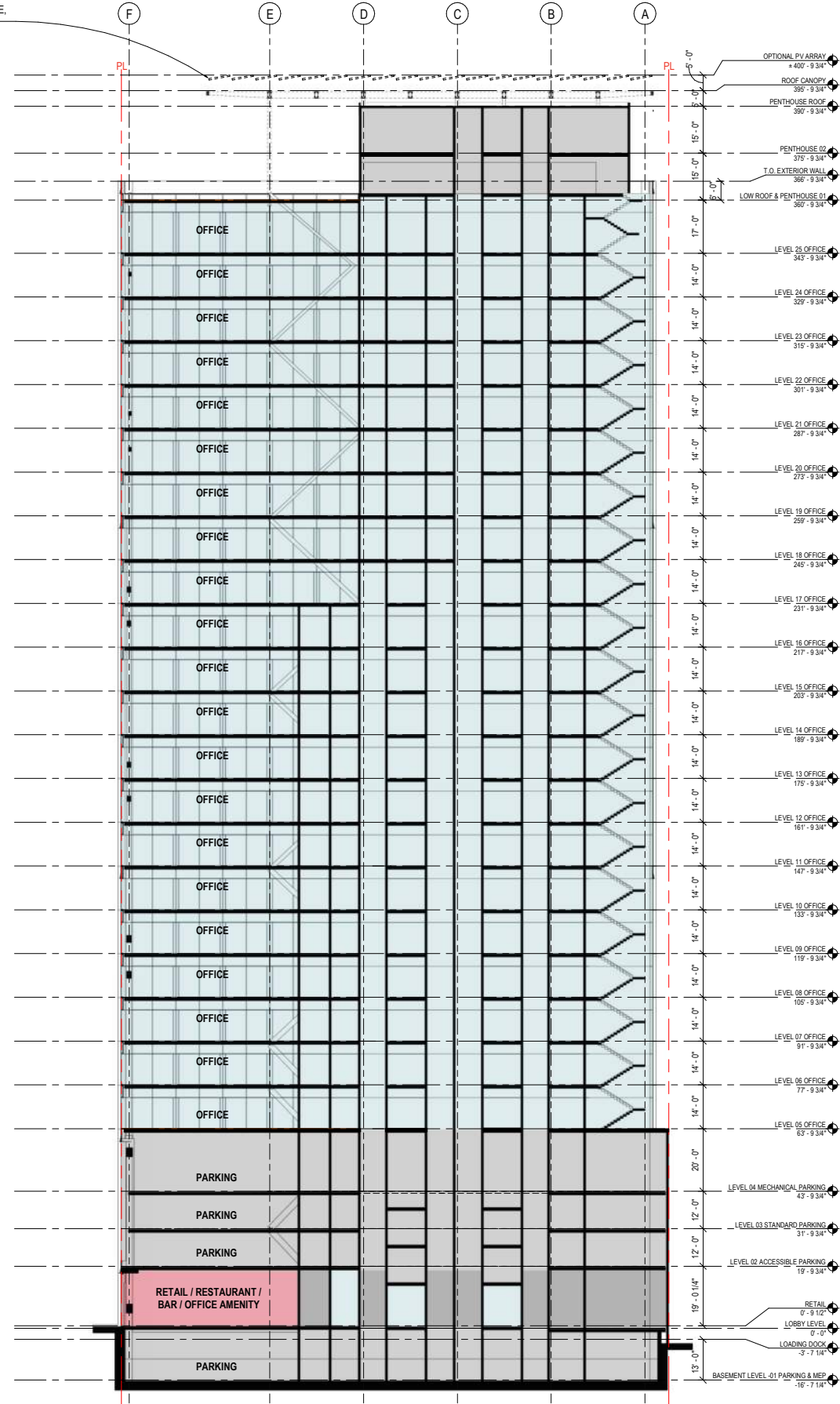
LOBBY AND RETAIL GLASS

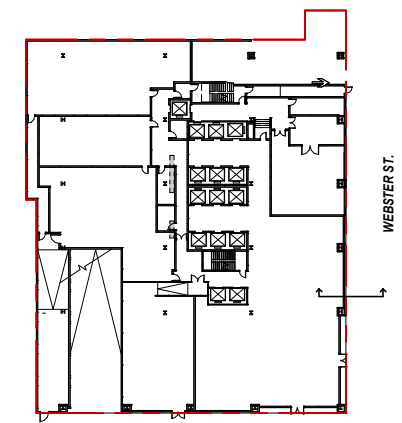
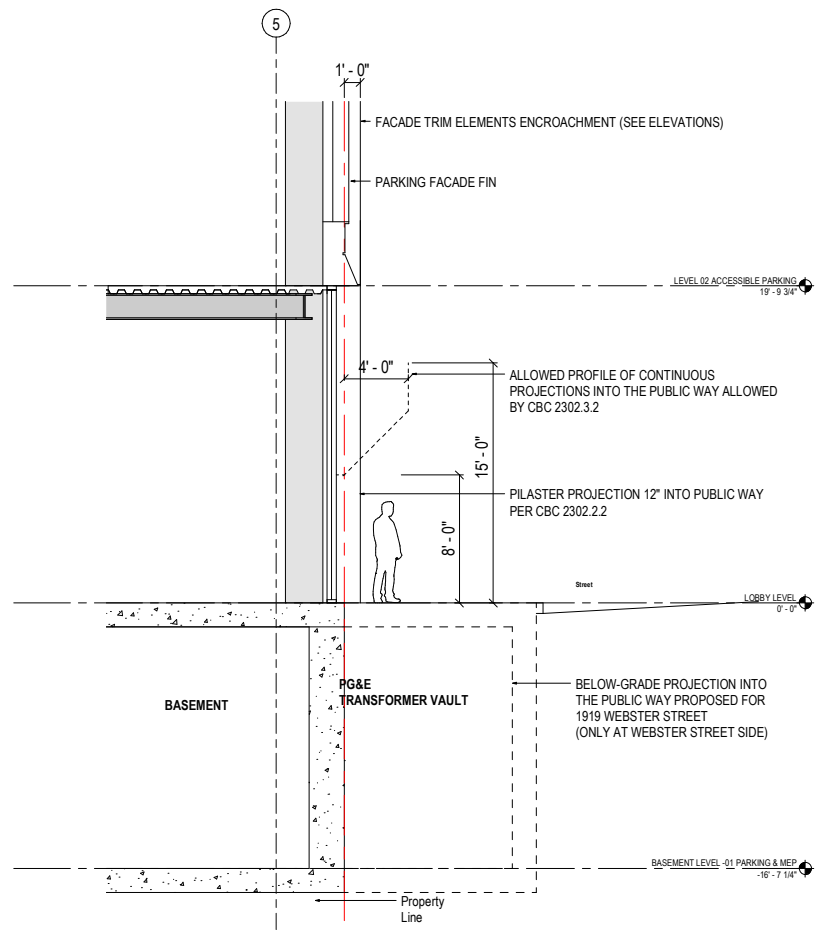
PARKING LEVEL SCREEN
LAMINATED FROSTED GLASS FINIS

STAINLESS STEEL

EXTENT OF ROOF CANOPY AND CANOPY INFILL (I.E. OPEN TO ABOVE, SUN SHADE, PHOTOVOLTAIC PANELS) AT OWNER'S ELECTION

- RETAIL
- OFFICE / AMENITY
- NON-FAR





Key Plan

19TH ST.

1919 WEBSTER ST.

PROPERTY LINE ENCROACHMENT



1919 WEBSTER

Application for Development Review

Scheme 2

MAY 13TH, 2021

Owner/Applicant:
1919 Webster Street Owner, LLC
c/o Ellis Partners
111 Sutter Street, Suite 800
San Francisco, CA 94104

Landscape Architect:
Surface Design
Pier 33 North, The Embarcadero, Suite 200
San Francisco, CA 94111

Civil Engineer:
BKF Engineers
255 Shoreline Drive, Suite 200,
Redwood City, CA 94065

Structural Engineer:
Magnusson Klemencic Associates
1301 Fifth Avenue, Suite 3200
Seattle, WA 98101-2699

Fire and Life Safety:
The Fire Consultants
1981 N. Broadway, Suite 400
Walnut Creek, CA 94596

Architect:
Gensler
2101 Webster Street, Suite 2000
Oakland, CA 94612

Vertical Transportation:
GVK Elevator Consulting Services
50 California Street, Suite 3510
San Francisco, CA 94111

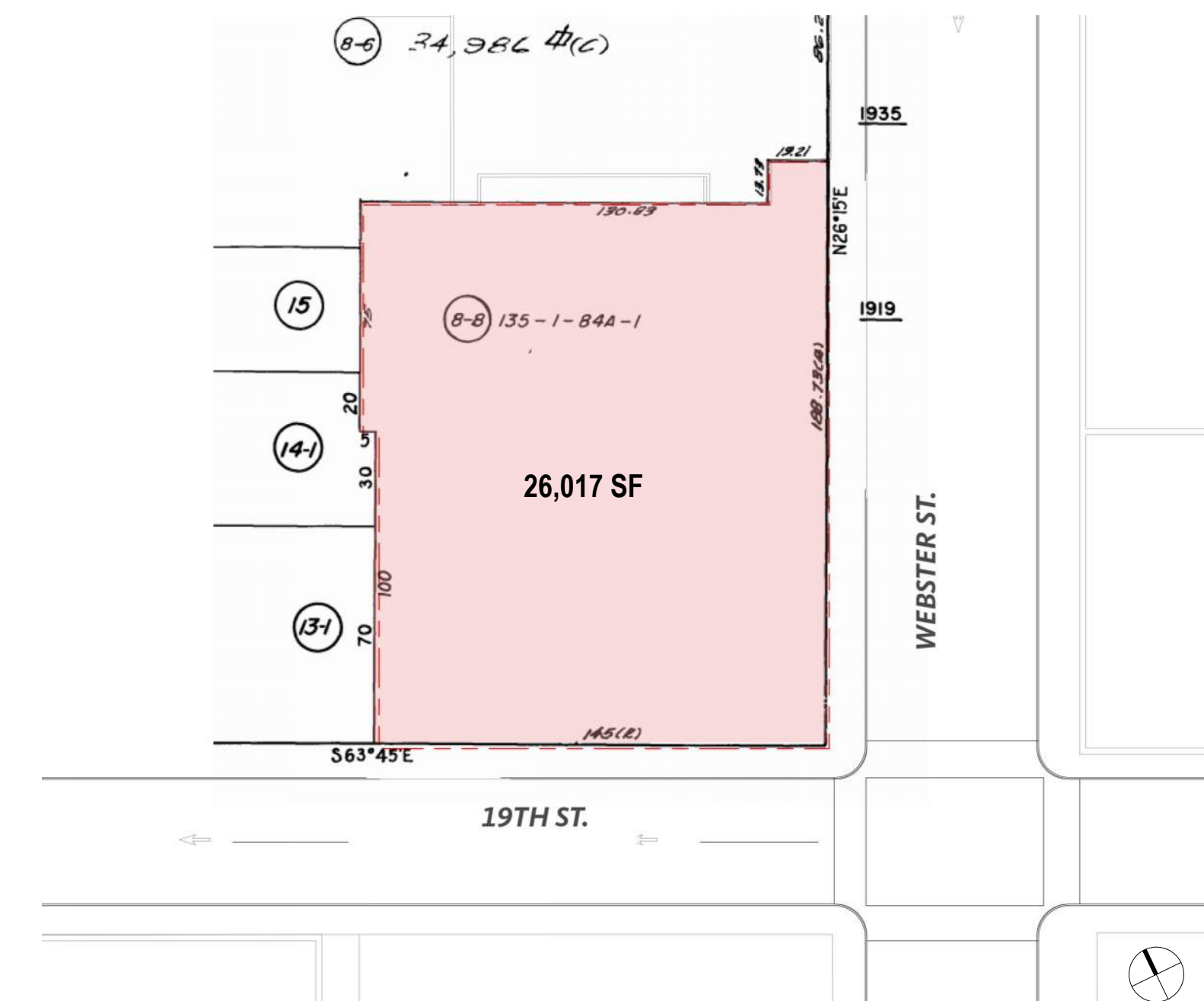
MEP:
Meyers+ Engineers
98 Battery St #500,
San Francisco, CA 94111

Parking:
Watry Design
2099 Gateway PI Suite 550,
San Jose, CA 95110

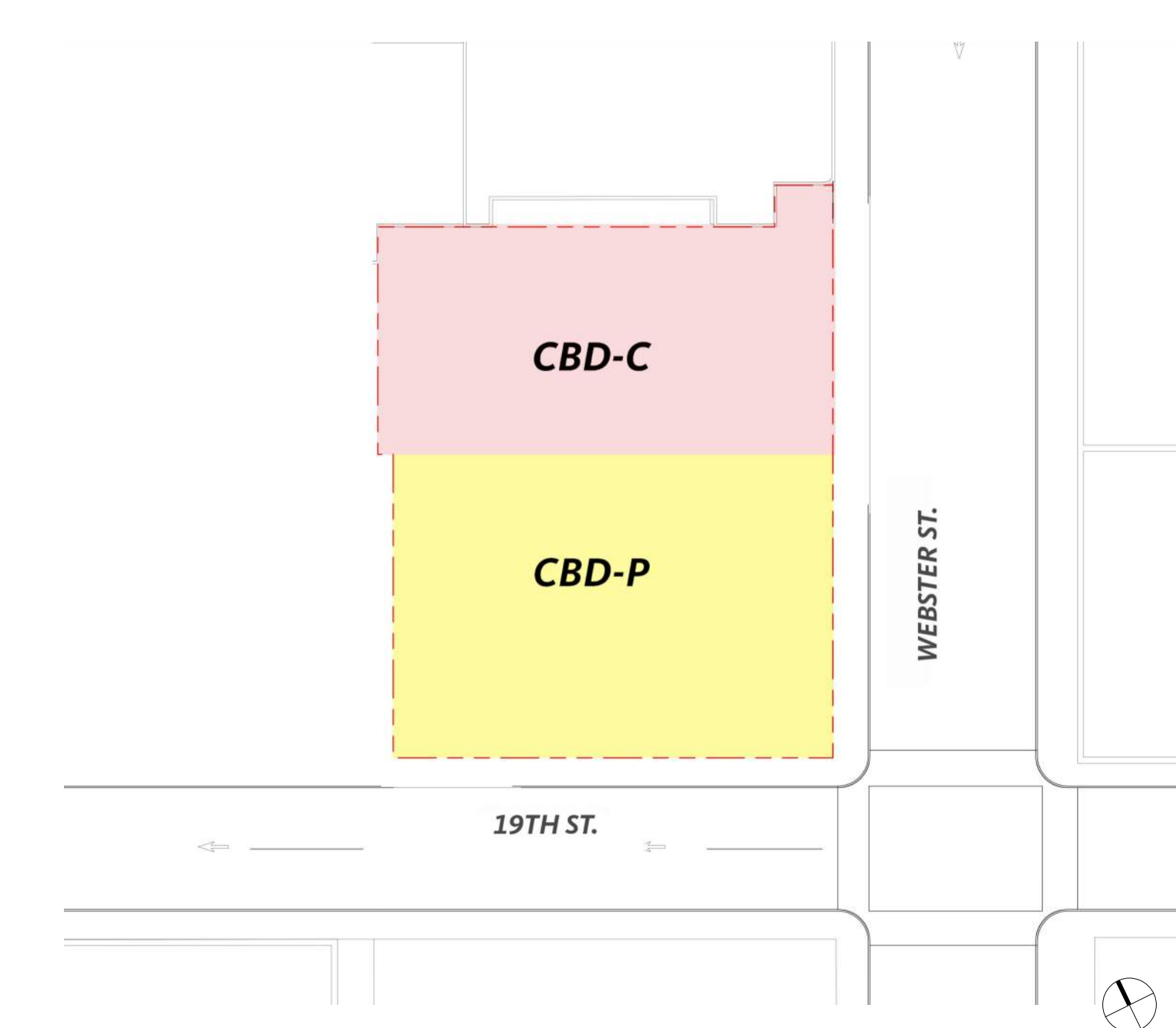
LOCATION MAP



ASSESSOR'S PARCEL MAP



ZONING DISTRICT



PROJECT DESCRIPTION

The proposed project at 1919 Webster is a 17-floor high rise office building measuring 283 feet to the top of the optional photovoltaic array, with parking below-grade. The project as proposed would build approximately 407,000 sf of floor area which on our approximately 26,000 sf site will yield an FAR of 15.7, therefore below the allowable FAR of 20. The typical office floor plate will enclose approximately 22,500 sf and have a 14-foot floor-to-floor height.

A series of terraces balconies will be integrated into the building at the office floors, and a larger rooftop deck with associated trellis may be provided at the owner's election. Photovoltaics are under consideration as well.

As part of this project, the existing building of approximately 74,000 sf will be demolished, in addition to a surface parking lot on the site.

This proposed scheme 2 of the project will be pursuing a prescriptive-based structural design. The development team proposes to submit the building permit applications in a phased sequence.

Additional elements that are part of this Entitlement are: (1) a Vesting Parcel Map to merge the existing lots, (2) A Master Sign Program to be provided as a deferred submittal, and (3) a taller (400 foot) scheme which was initially submitted.

Variances for Tower Lot Coverage, Loading, and Short Term Bike Parking are proposed. CUP Conditional Ground Floor Uses is also proposed.

PROJECT & ZONING SUMMARY

Address: 1919 Webster, Oakland, CA 94612
Parcel Number: 008-0637-008-08
Development Standard Zone: CBD-P & CBD-C
Height Area: 7 (No height limit, 120' max building base height)
Proposed Total Building Height: 283' - 0" to top of optional PV array
Proposed Building Base Height: 33' - 0"
Max FAR: 20
Proposed FAR: 15.7
Maximum Allowable Floor Area: 520,335 SF
Proposed Floor Area: 407,740 SF
Total Lot Area: 26,017 SF
Total Building Footprint: 24,985 SF
Max Lot Coverage: 100% 26,017 SF
Max Average Lot Coverage Above Building Base: 85% 22,113 SF
Proposed Average Lot Coverage Above Building Base: < 92% 24,000 SF
Max Average Area of Floor Plates: No max
Average Area of Office Floor Plates: 22,472 SF
Max Tower Elevation Length: No Max
Max Diagonal Length: No Max
Office Floor Diagonal Length: 217' - 1"

HEIGHT / BULK / INTENSITY AREA SUMMARY TABLE

1919 Webster Street Proposed Areas								
FLOOR NUMBER	FL-FL HEIGHT	FLOOR ELEVATION FROM LOBBY DATUM	RETAIL AREA <small>(Retail, Restaurant, Bar, Office Amenity Area)</small>	OFFICE / AMENITY AREA	TOTAL FAR AREA	NON-FAR AREA	GROSS AREA	EXTERIOR SPACE
Optional PV Array		283.00						
Roof Canopy	5'-0"	278.00						
High Roof	5'-0"	273.00						
P2	15'-0"	258.00		7,480	7,480		7,480	
Low Roof / P1	15'-0"	243.00		7,480	7,480		7,480	8,800
17	14'-0"	229.00		22,452	22,452		22,452	650
16	14'-0"	215.00		22,452	22,452		22,452	
15	14'-0"	201.00		22,452	22,452		22,452	650
14	14'-0"	187.00		22,452	22,452		22,452	
13	14'-0"	173.00		22,452	22,452		22,452	650
12	14'-0"	159.00		22,452	22,452		22,452	
11	14'-0"	145.00		22,452	22,452		22,452	650
10	14'-0"	131.00		22,452	22,452		22,452	
9	14'-0"	117.00		22,452	22,452		22,452	650
8	14'-0"	103.00		22,492	22,492		22,492	
7	14'-0"	89.00		22,492	22,492		22,492	612
6	14'-0"	75.00		22,492	22,492		22,492	
5	14'-0"	61.00		22,492	22,492		22,492	612
4	14'-0"	47.00		22,492	22,492		22,492	
3	14'-0"	33.00		22,492	22,492		22,492	612
2	14'-0"	19.00		22,565	22,565		22,565	
(Lobby) 1	19'-0"	0.00	3,375	18,920	22,295	1,100	23,395	
B1	16'-7"	-16.60			10,900	14,085	24,985	
			3,375	393,465	407,740	15,185	422,925	13,886

*All areas are shown in Square Feet (SF)
 Floor plates may extend to property lines pending city's approval of submitted alternate means and methods request.

BICYCLE PARKING, SHOWER, AND LOCKER REQUIREMENTS

BICYCLE PARKING REQUIREMENTS PER SECTION 17.117.110					
Program	Area	Long Term Ratio	Long Term Spaces	Short Term Ratio	Short Term Spaces
Commercial - Office	393,465	1:10,000 SF (Min 2)	39	1:20,000 SF (Min 2)	20
Commercial - Retail	3,375	1:12,000 SF (Min 2)	2	1:2,000 SF (Min 2)	2
Total Required			41		22
Total Provided			63		8

17.117.080 - Calculation Rules. A. If after calculating the number of required bicycle parking spaces a quotient is obtained containing a fraction of one-half (1/2) or more, an additional space shall be required; if such fraction is less than one-half (1/2), it may be disregarded.

See Proposed Bicycle Parking Variance for Details

SHOWER AND LOCKER FACILITY REQUIREMENTS PER 17.117.130					
Program	Area	Male Showers	Female Showers	Male Lockers	Female Lockers
Commercial - Office + Retail	407,740	3	3	12	12

A minimum of two (2) showers per gender plus one (1) shower per gender for each 150,000 sf. above 150,000 sf. Four (4) lockers per shower

PARKING INFORMATION

Parking Required: None In CBD Zone

Parking Provided:

Total Basement Stalls: 30

Total Stalls Above And Below Grade: 30

As no parking is required, plans represent the maximum number of proposed parking floors; mechanical parking may also increase/adjust the number of parking stalls. Final parking at Owner's election, subject to ADA and EV regulations.

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A0.04.2	DESIGN DIAGRAMS
A0.05.2	PERSPECTIVE RENDERINGS
A0.06.2	PERSPECTIVE RENDERINGS
A0.07.2	PERSPECTIVE RENDERINGS
A0.08.2	CONTEXT ELEVATION 19TH STREET
A0.09.2	CONTEXT ELEVATION WEBSTER STREET
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A1.02.2	FLOOR PLAN - GROUND FLOOR
A1.03.2	FLOOR PLAN - 2ND FLOOR
A1.04.2	FLOOR PLAN - LOW RISE (FL3-8)
A1.05.2	FLOOR PLAN - LOW RISE (FL9-12)
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A1.08.2	FLOOR PLAN - PENTHOUSE 02
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A2.02.2	TOWER ANALYTIQUE
A2.03.2	MATERIAL PHOTOS
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A3.00.2	BUILDING SECTION
A4.00.2	PROPERTY LINE ENCROACHMENT
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L1.02.2	LANDSCAPE SITE PLAN - TYP. BALCONY
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C5.0.2	PROPOSED SITE PLAN
C6.0.2	PROPOSED GRADING PLAN
C7.0.2	PROPOSED UTILITY PLAN
C8.0.2	PROPOSED STORMWATER MANAGEMENT PLAN
C9.0.2	EROSION CONTROL PLAN



(1) 1935 Webster St



(2) 1951 Webster St



(3) 1940 Webster St



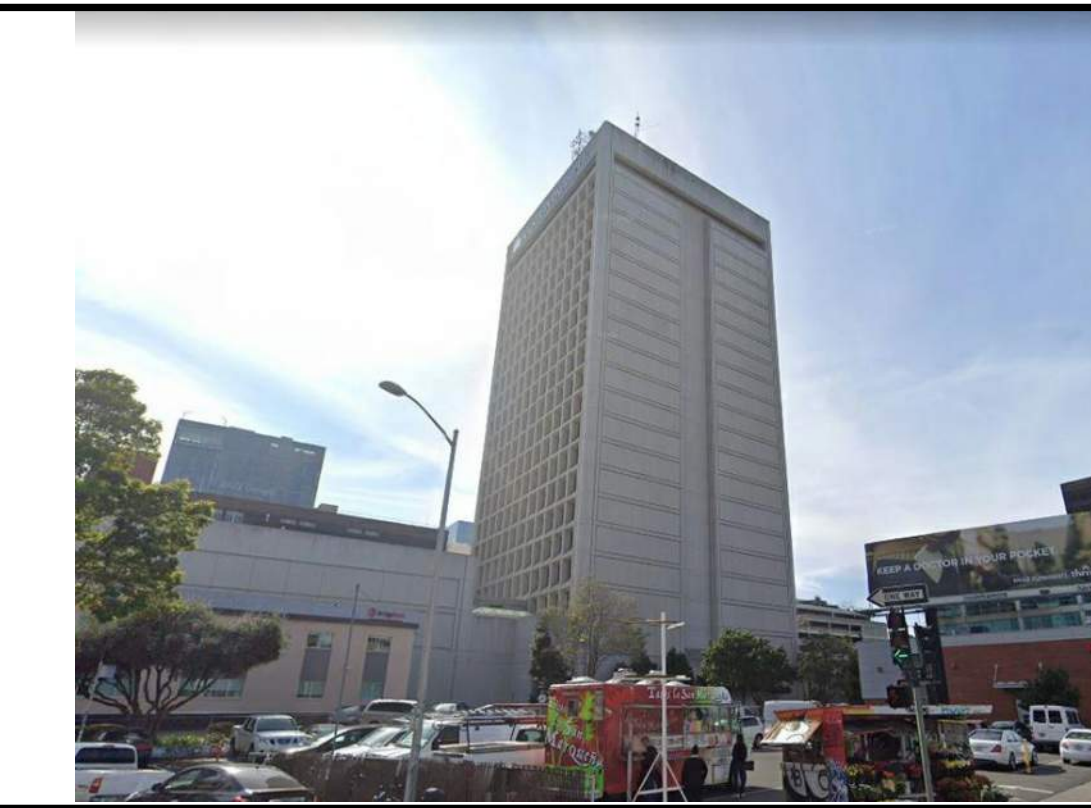
(4) 1956 Webster St



(5) 1999 Harrison St



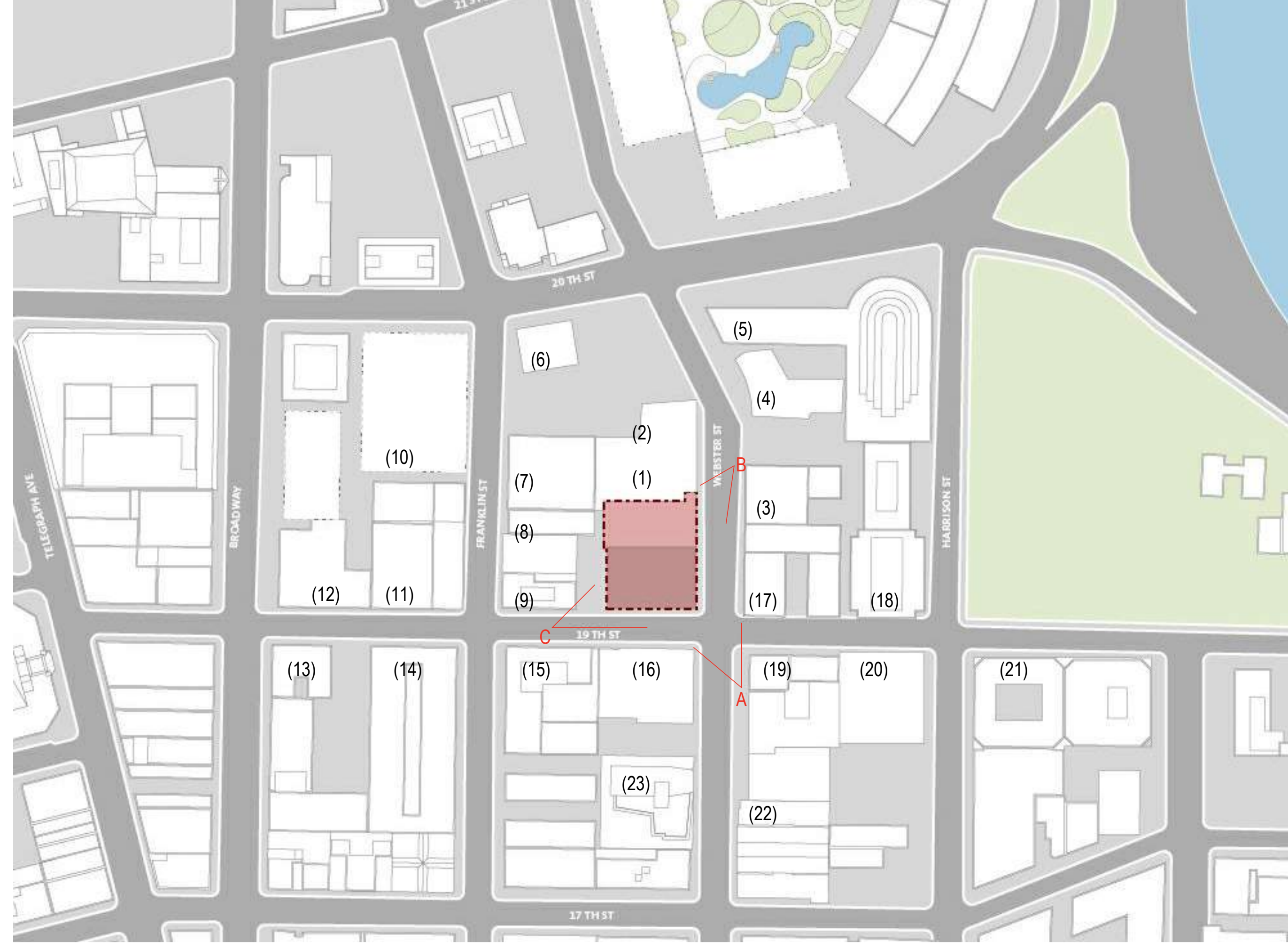
(6) 1970 Franklin St



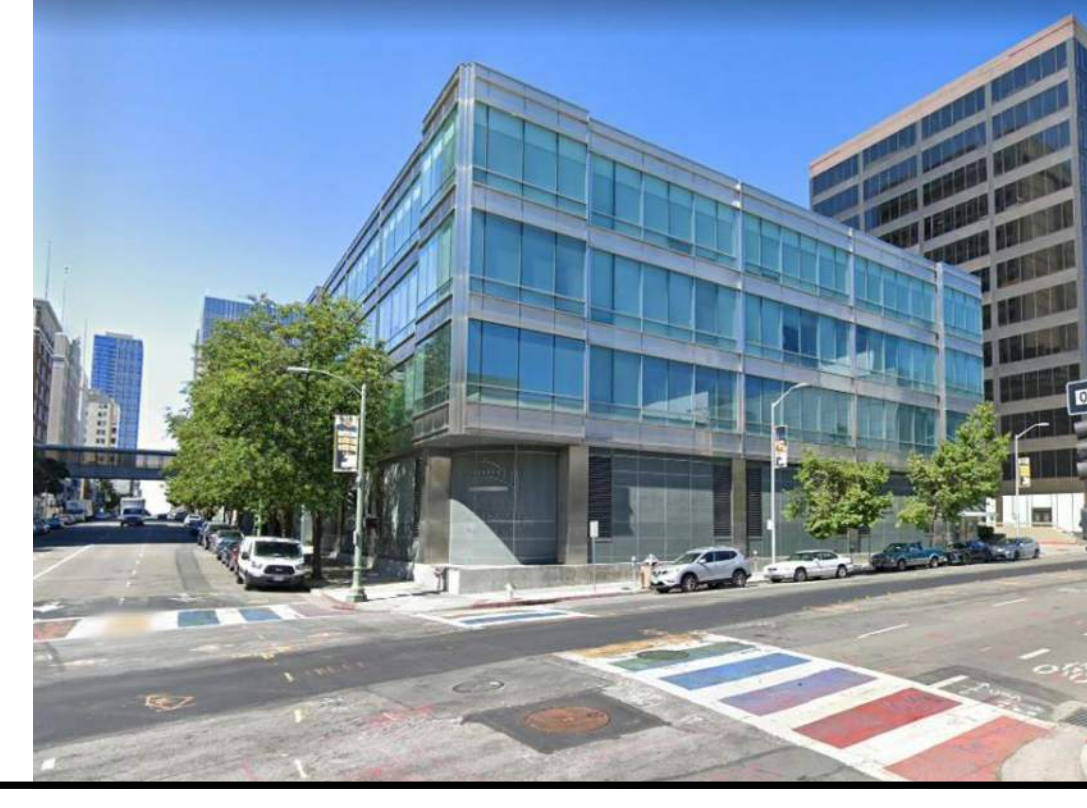
(7) 1950 Franklin St



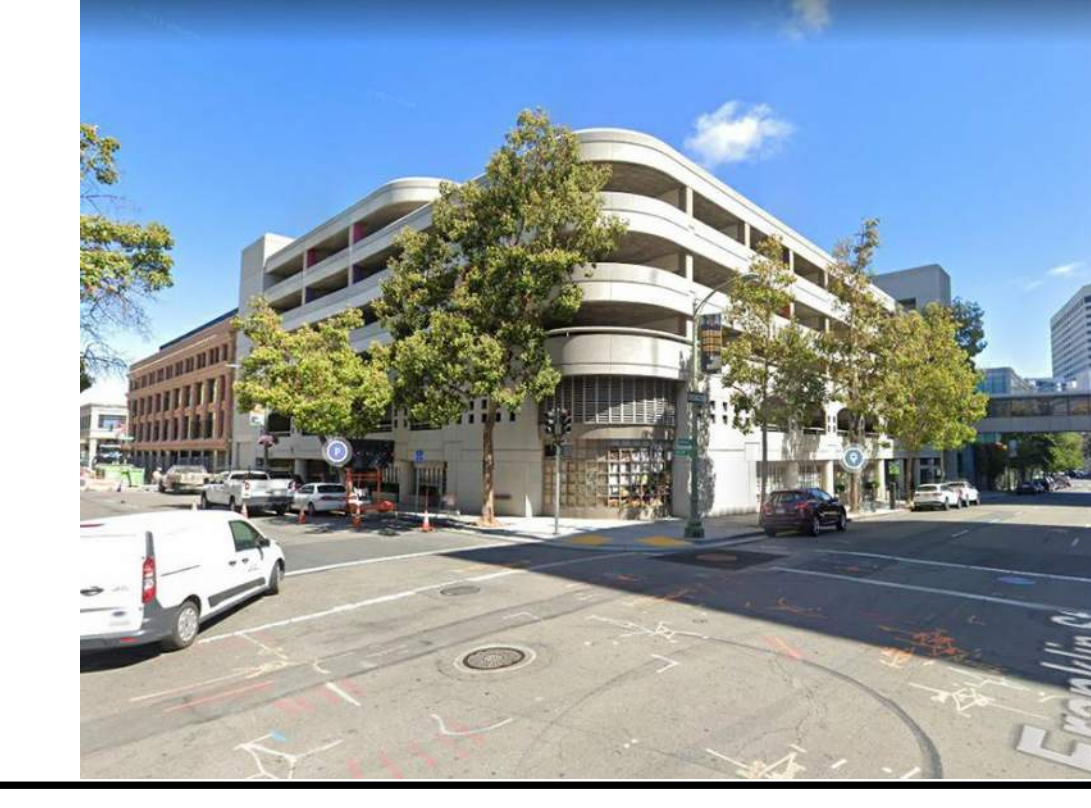
(8) 1924 Franklin St



(9) 1900 Franklin St



(10) 415 Thomas L Berkley Way



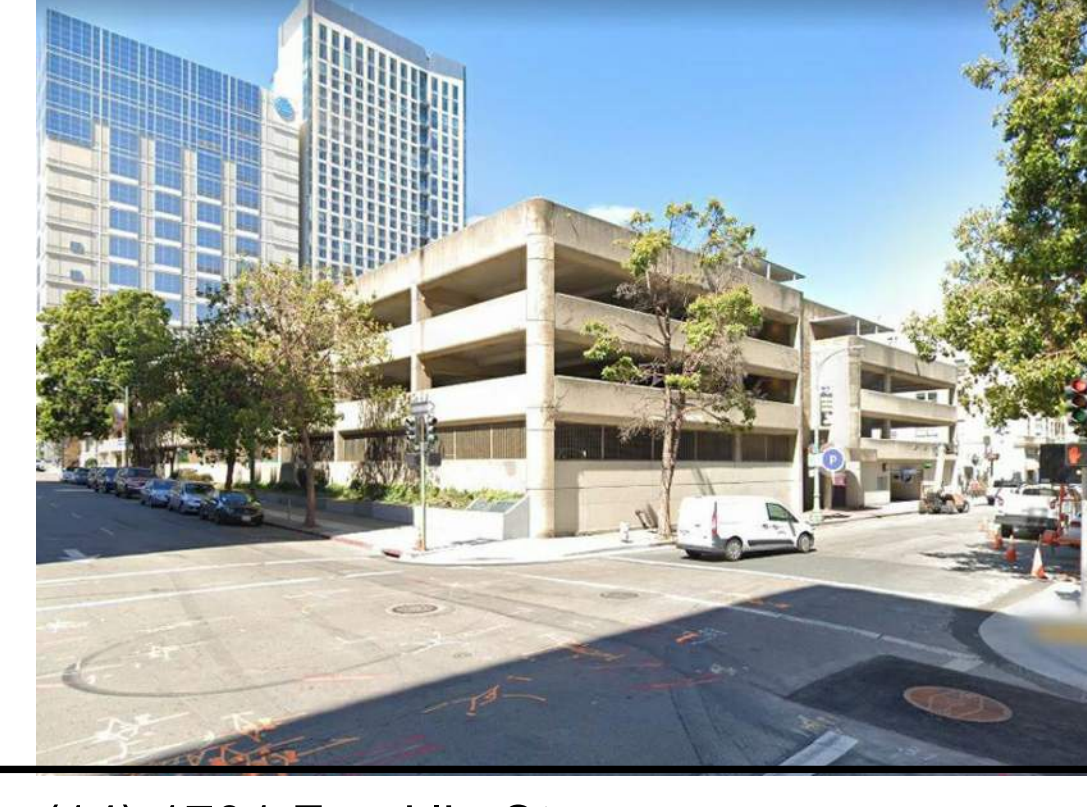
(11) 414 19th St



(12) 440 19th St



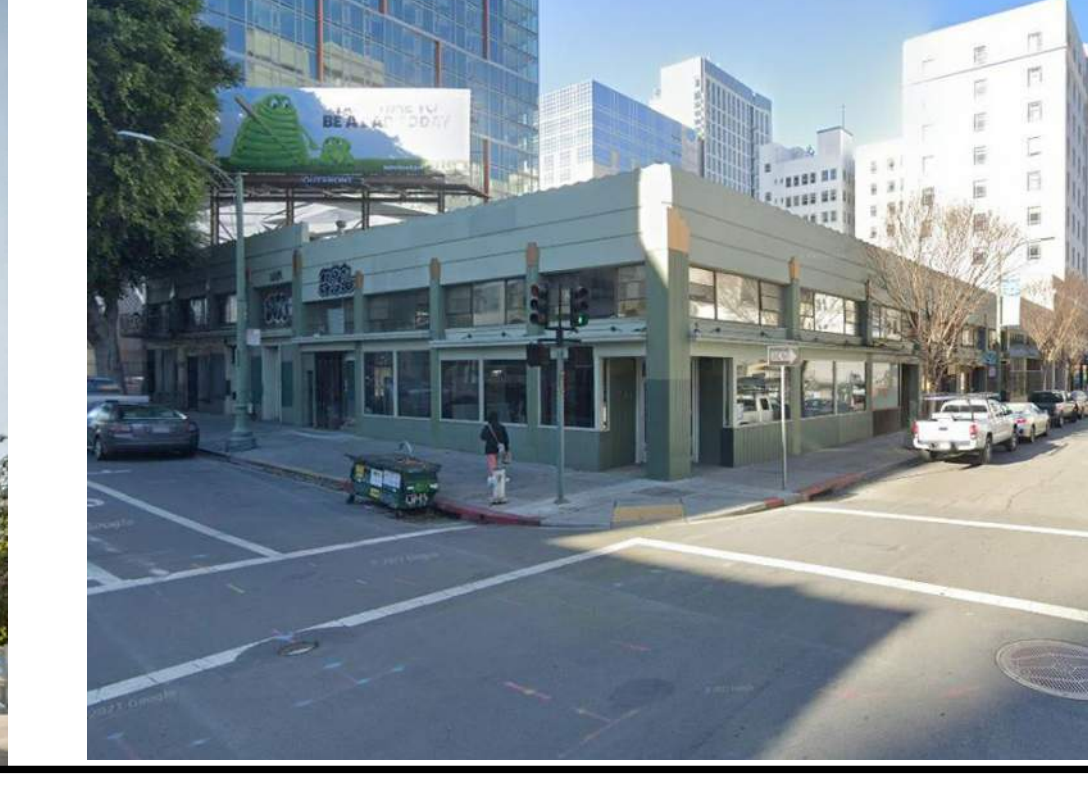
(13) 1776 Broadway



(14) 1731 Franklin St



(15) 1834 Franklin St



(16) 355 19th St

SITE PHOTOS



A

B

C



(17) 1900 Webster St



(18) 1901 Harrison St



(19) 1830 Webster St



(20) 1889 Harrison St



(21) 1800 Harrison St



(22) 1700 Webster St



(23) 1717 Webster St

CONNECTING TO OAKLAND'S CLASSIC MODERN ARCHITECTURE:

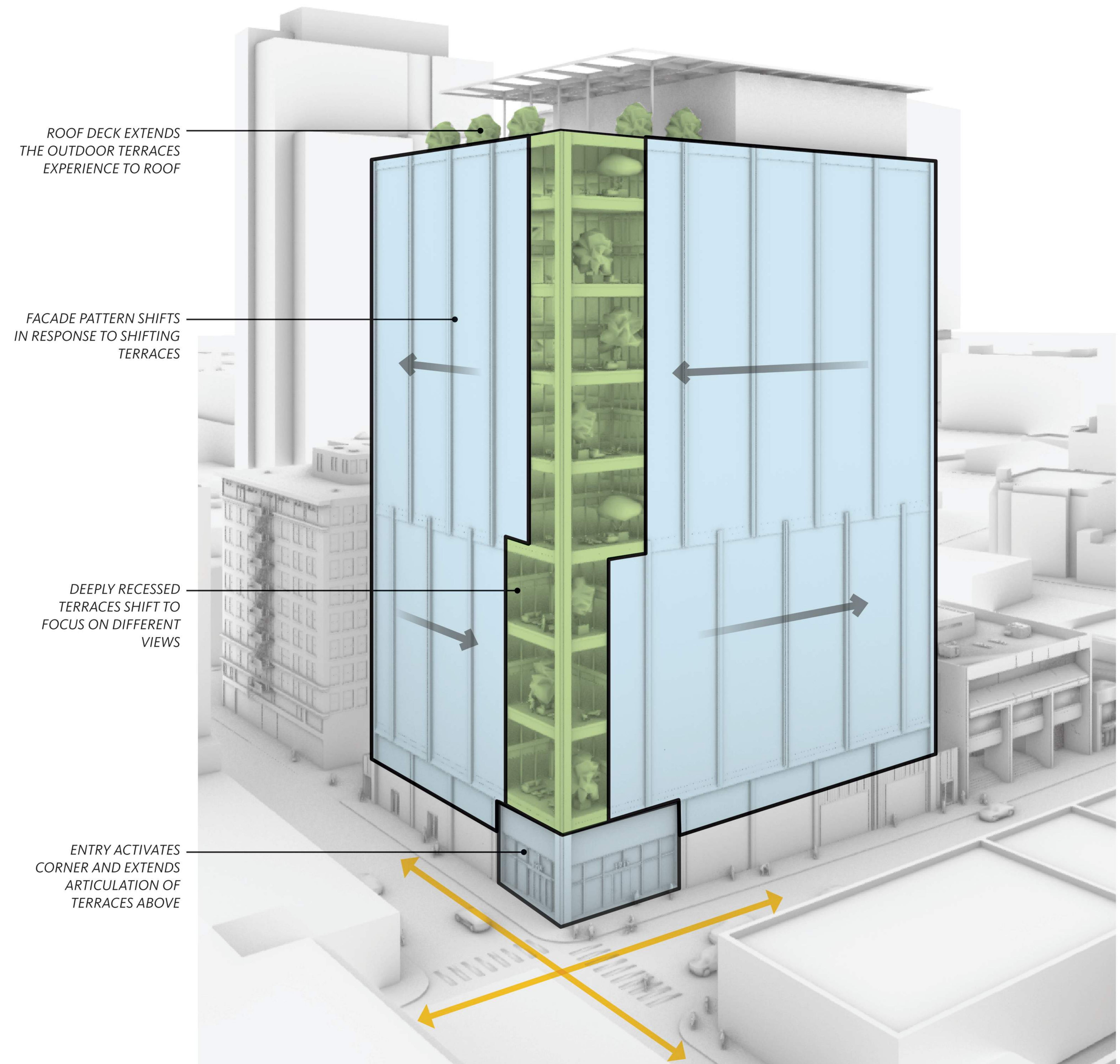
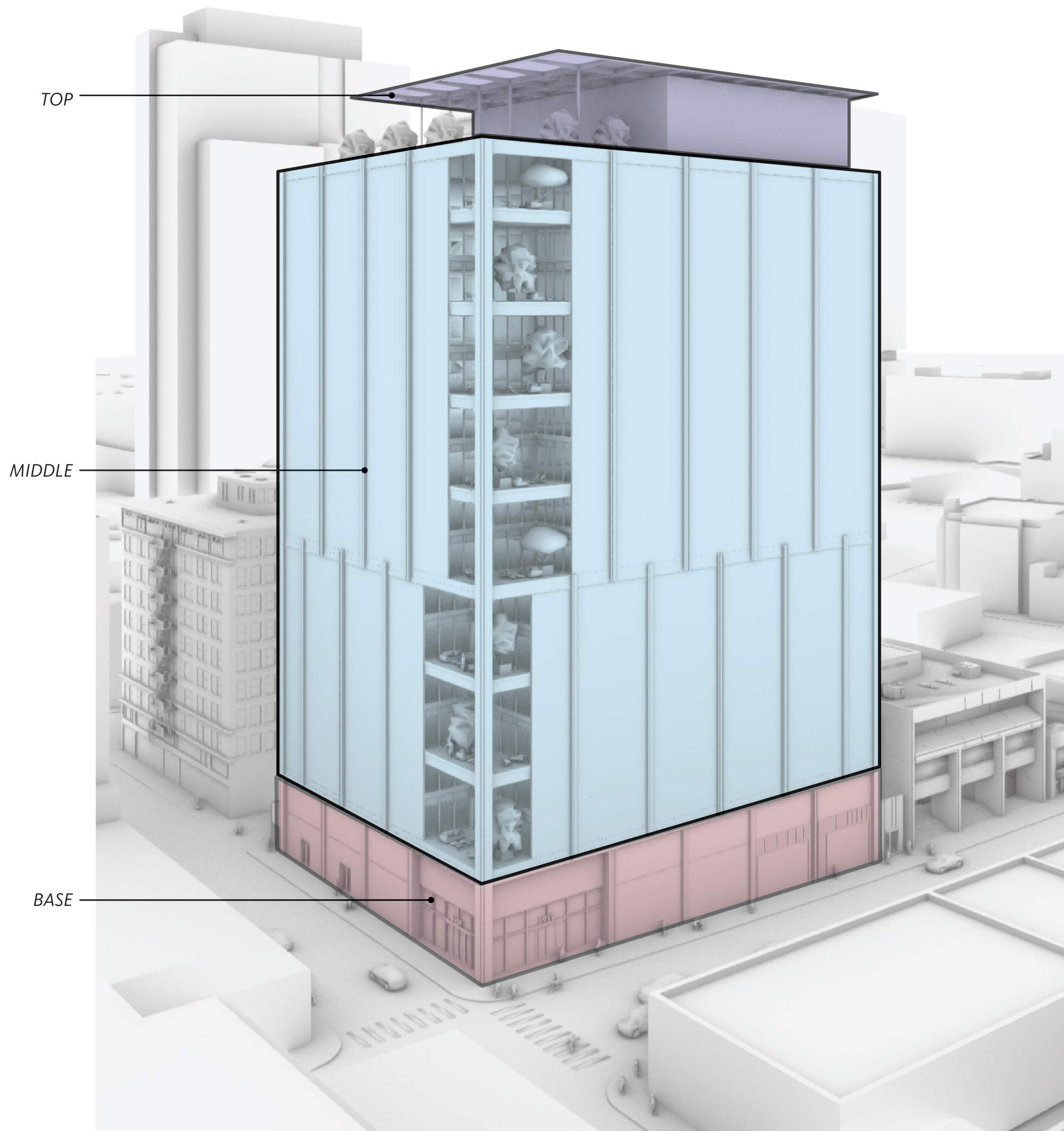
- SIMPLE ABSTRACT FORMS AND VOLUMES
- MODERN HIGH PERFORMANCE MATERIALS
- MAXIMIZING GLASS TO MAXIMIZE DAYLIGHT



CONNECTING TO OAKLAND'S HISTORIC ARCHITECTURE:

- VARIATION OF FACADE MATERIALS
- PLAY OF SHIFTING FENESTRATION PATTERNS
- STRONG HORIZONTALS AND BUILDING TOP

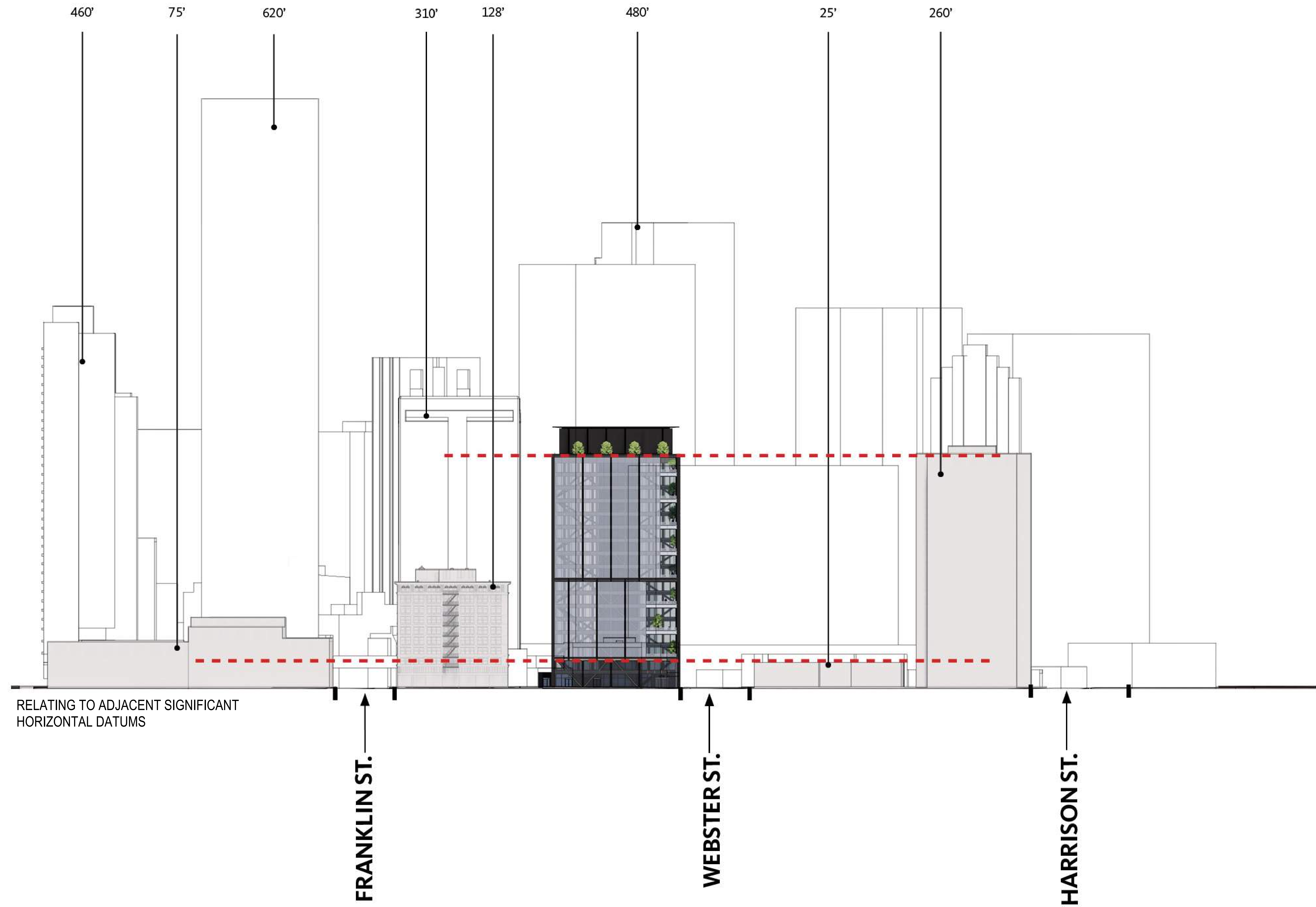


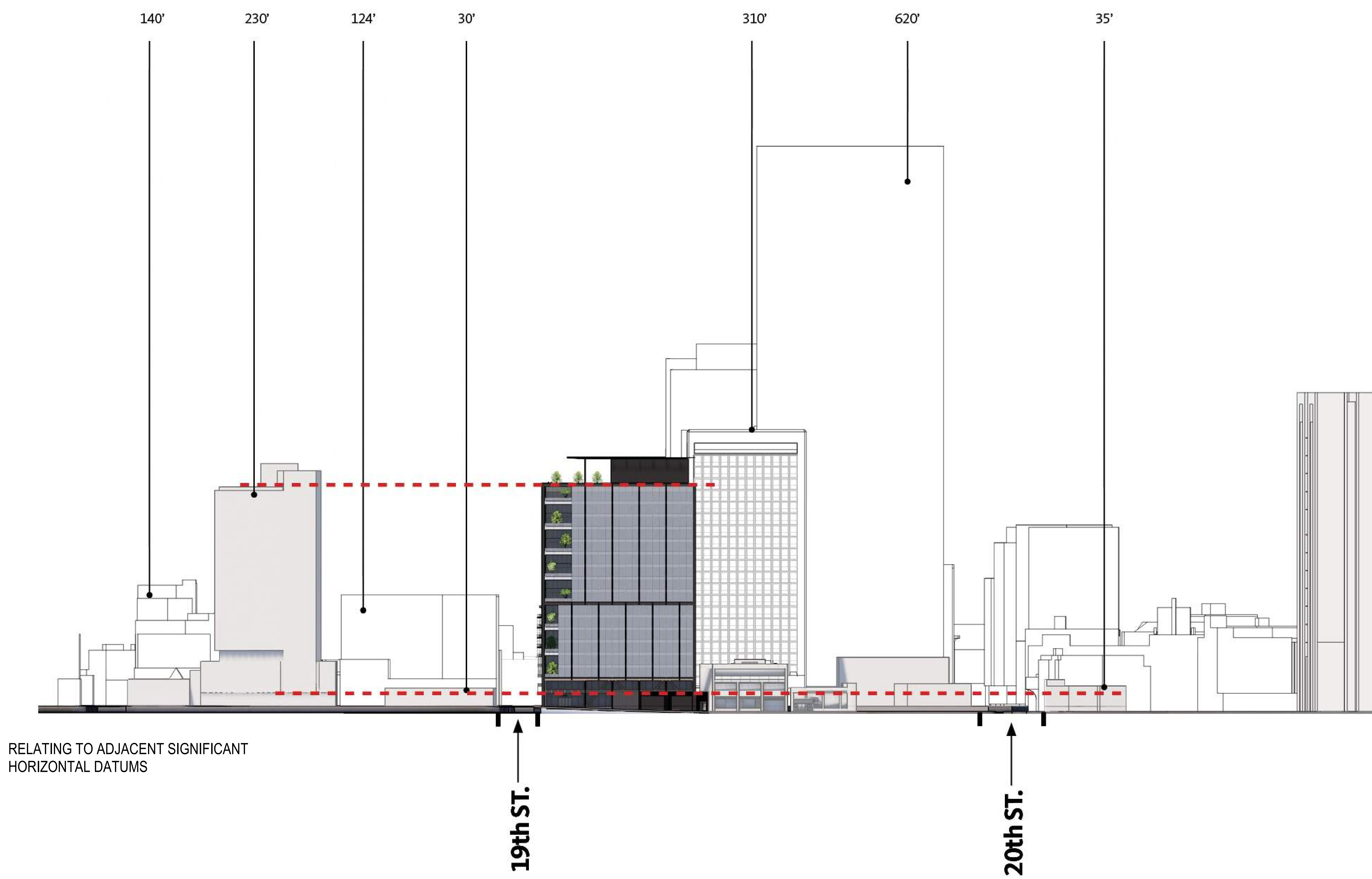




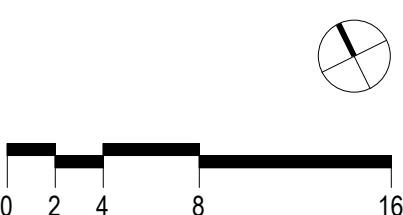
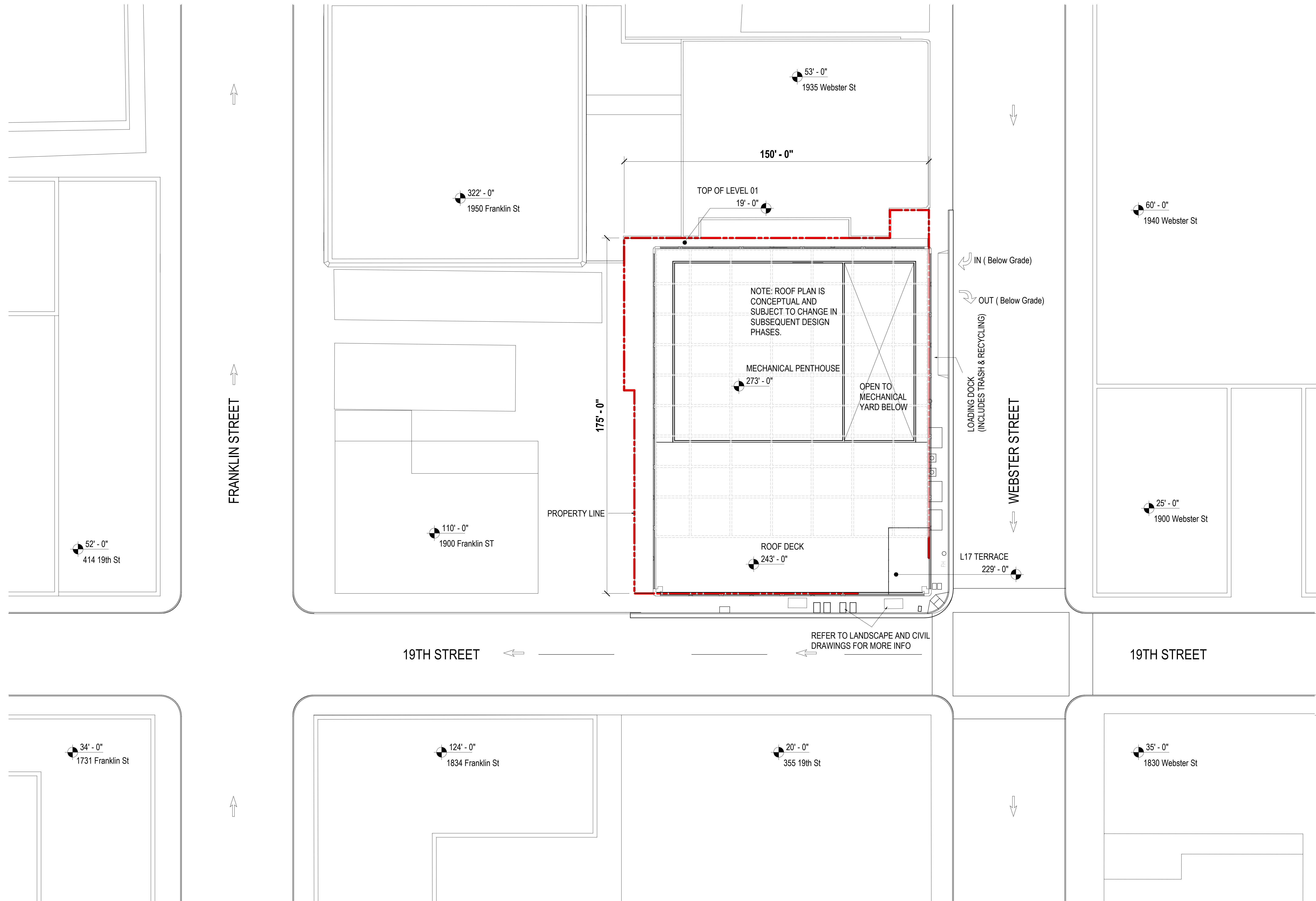




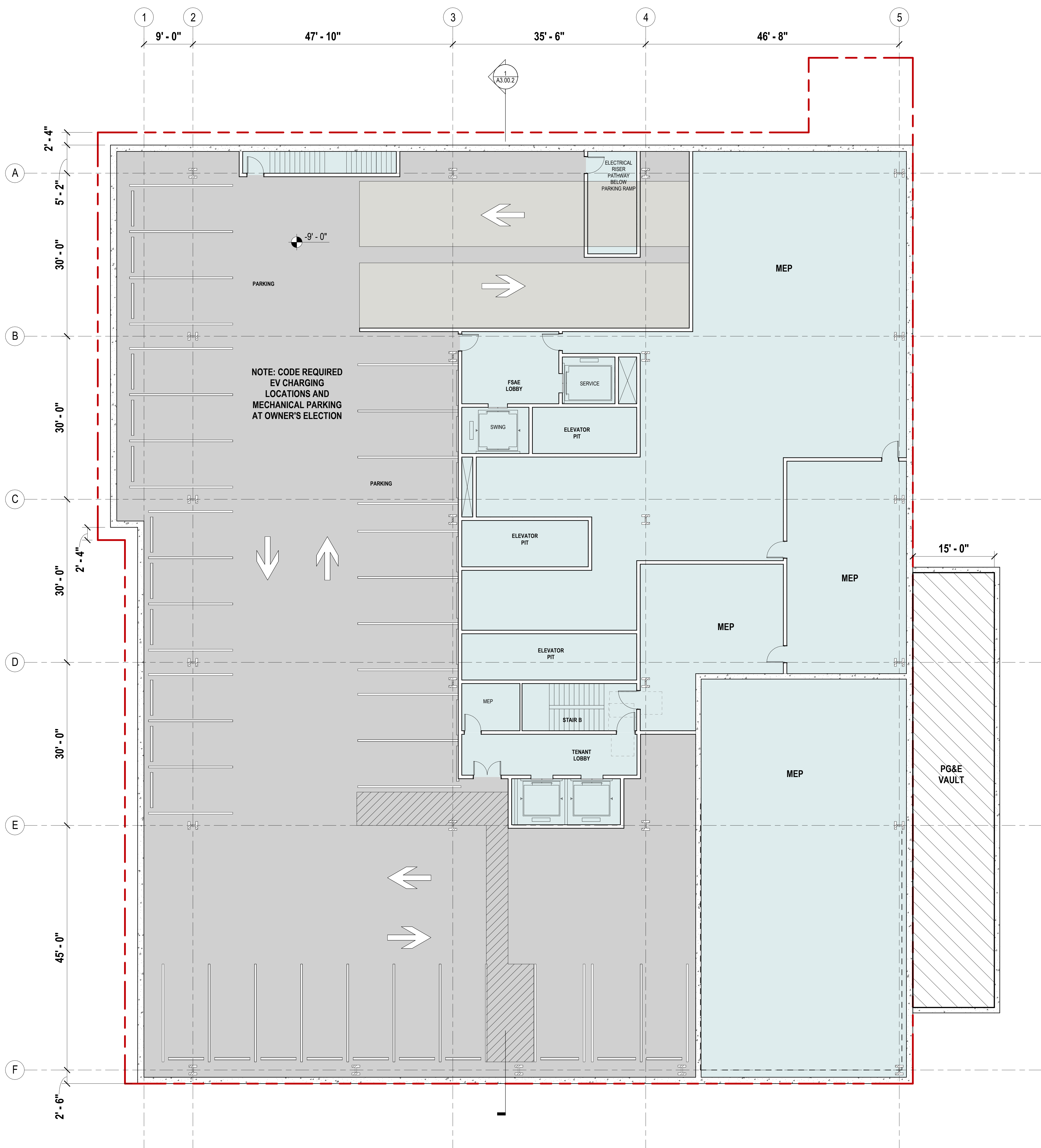


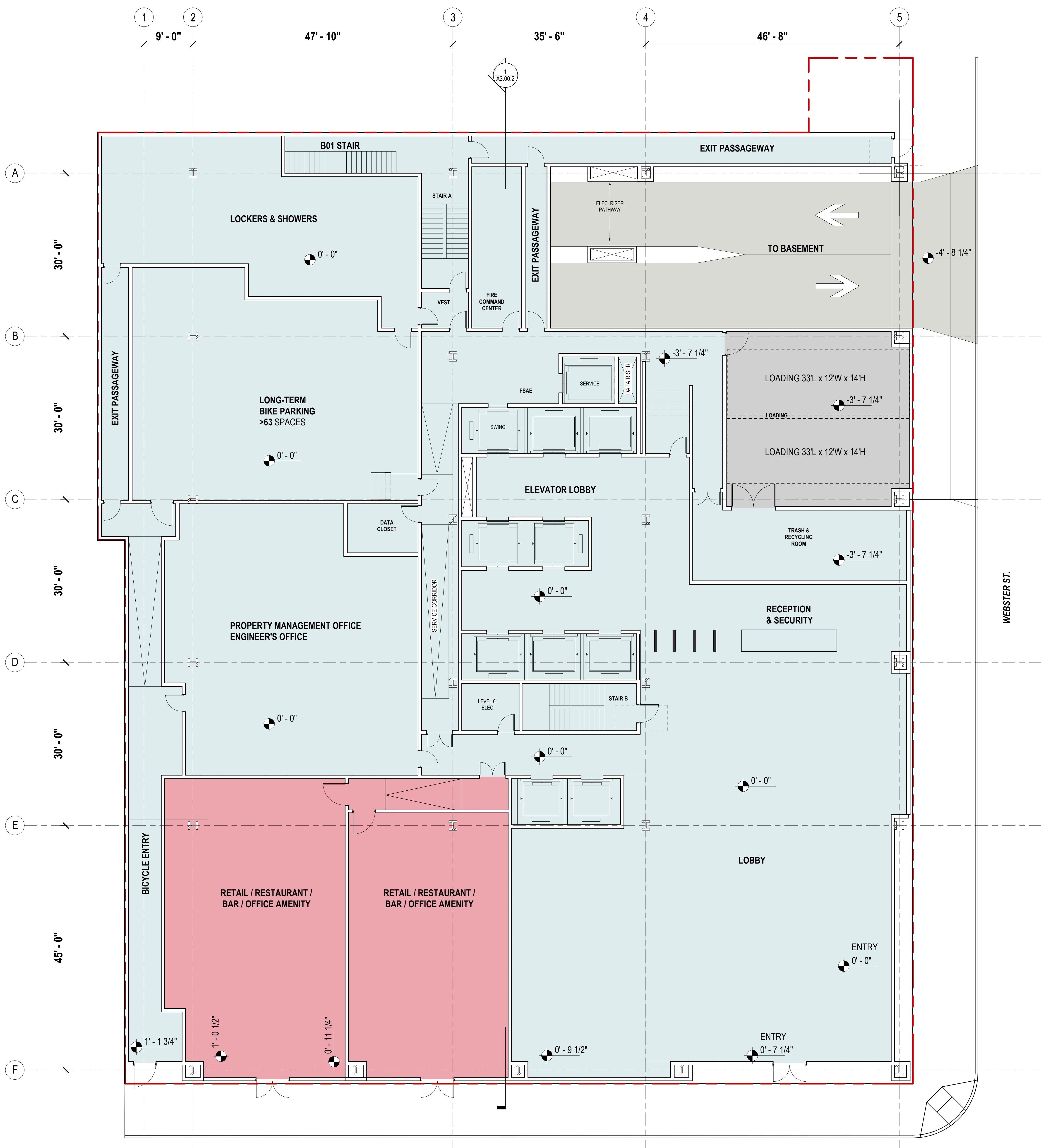






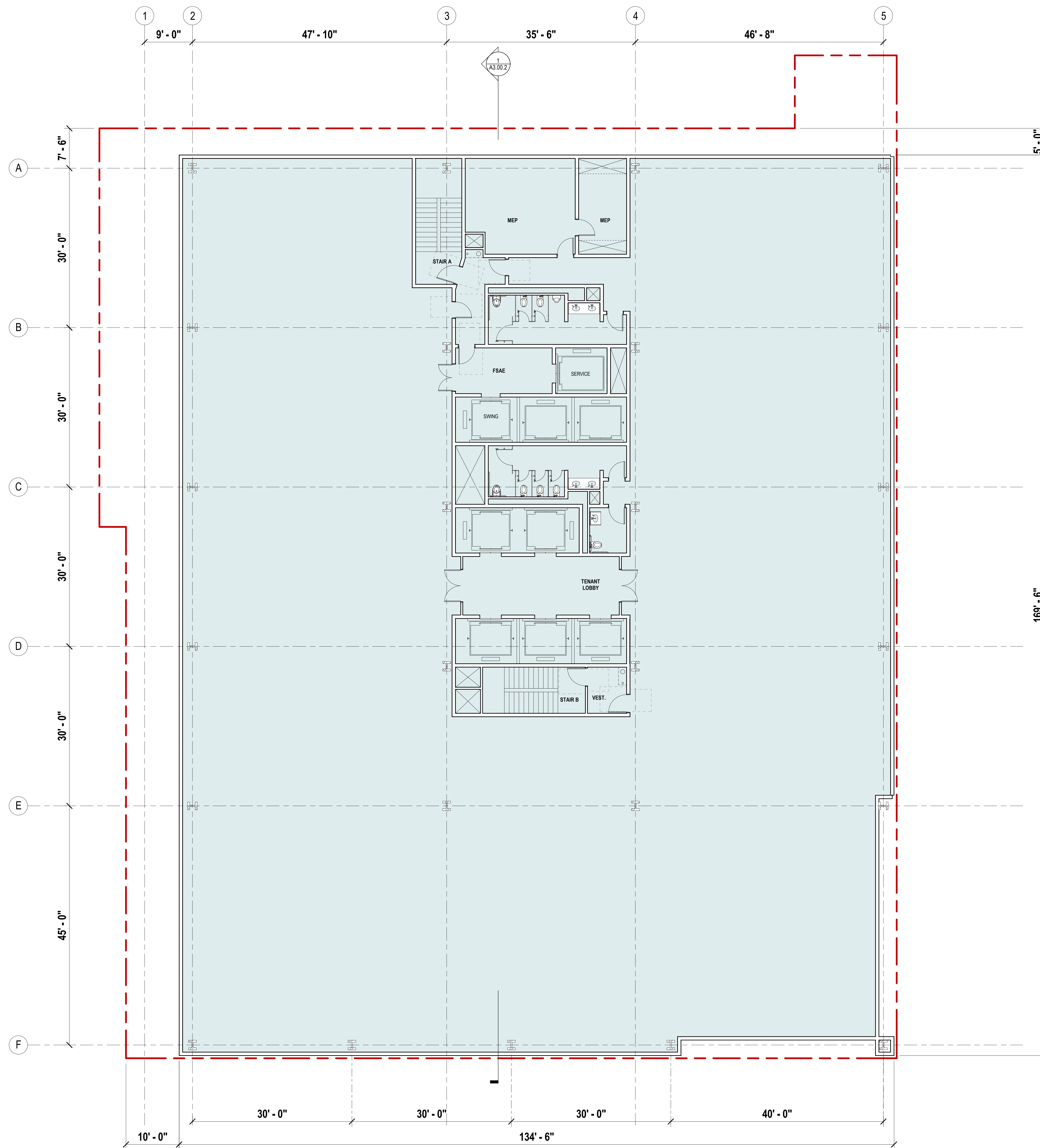
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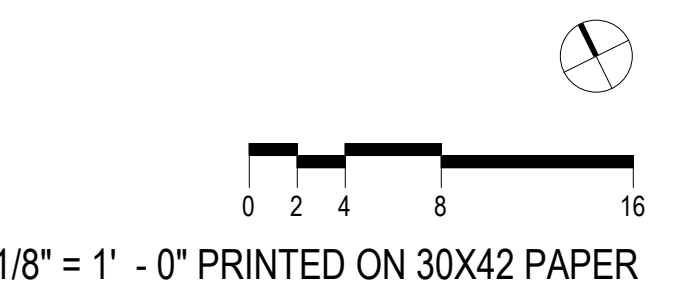
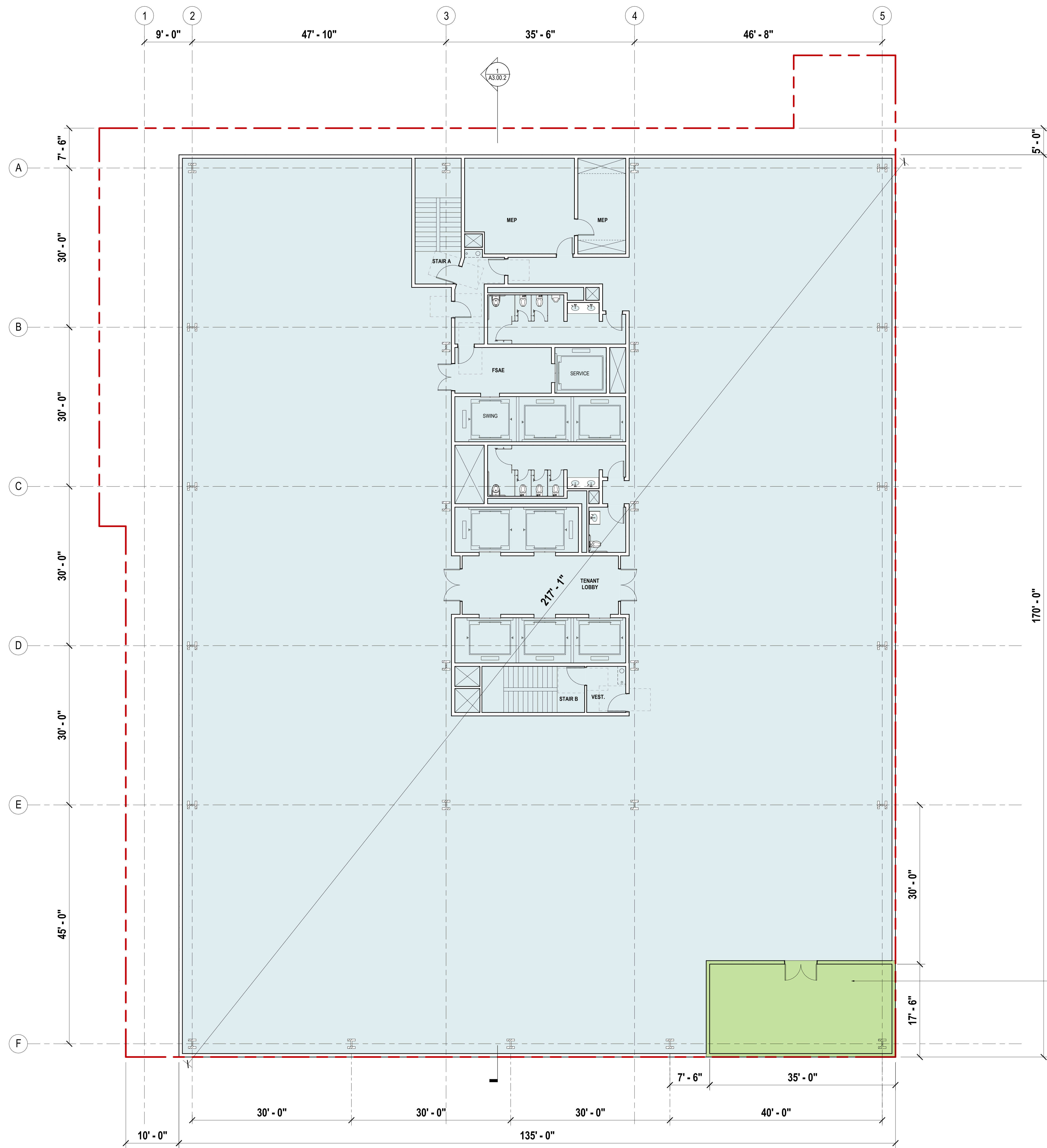


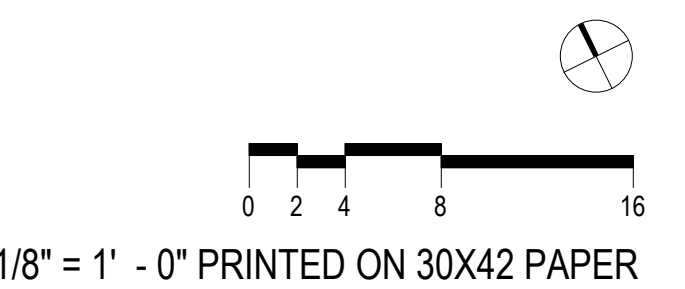
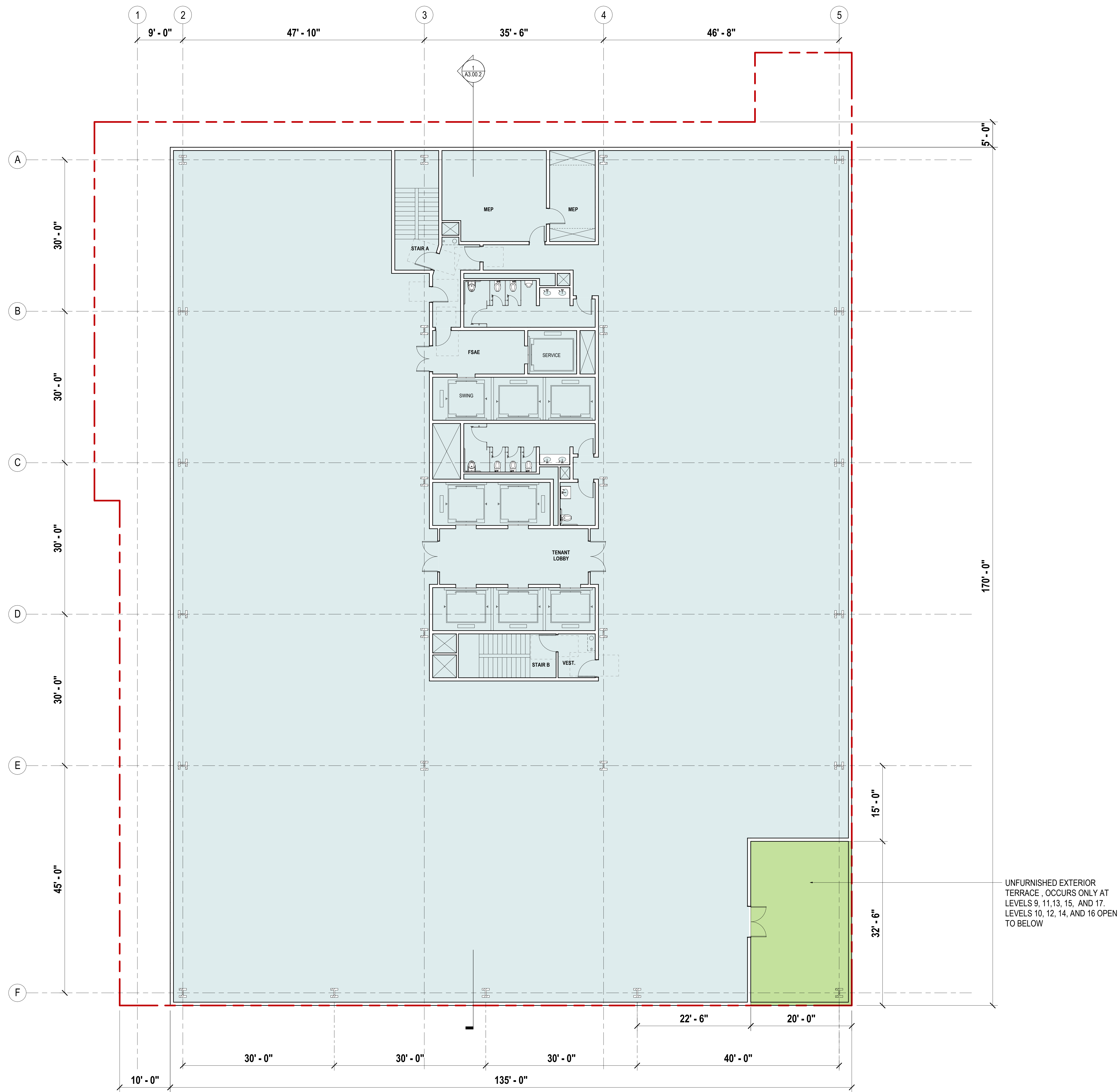


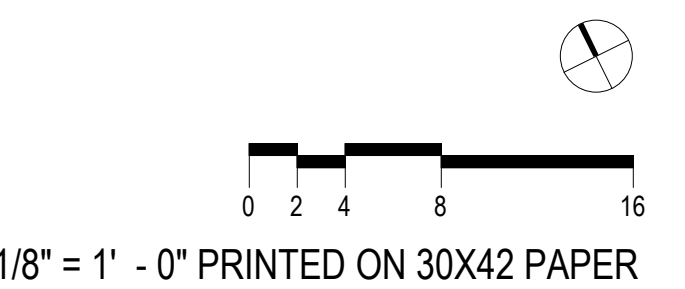
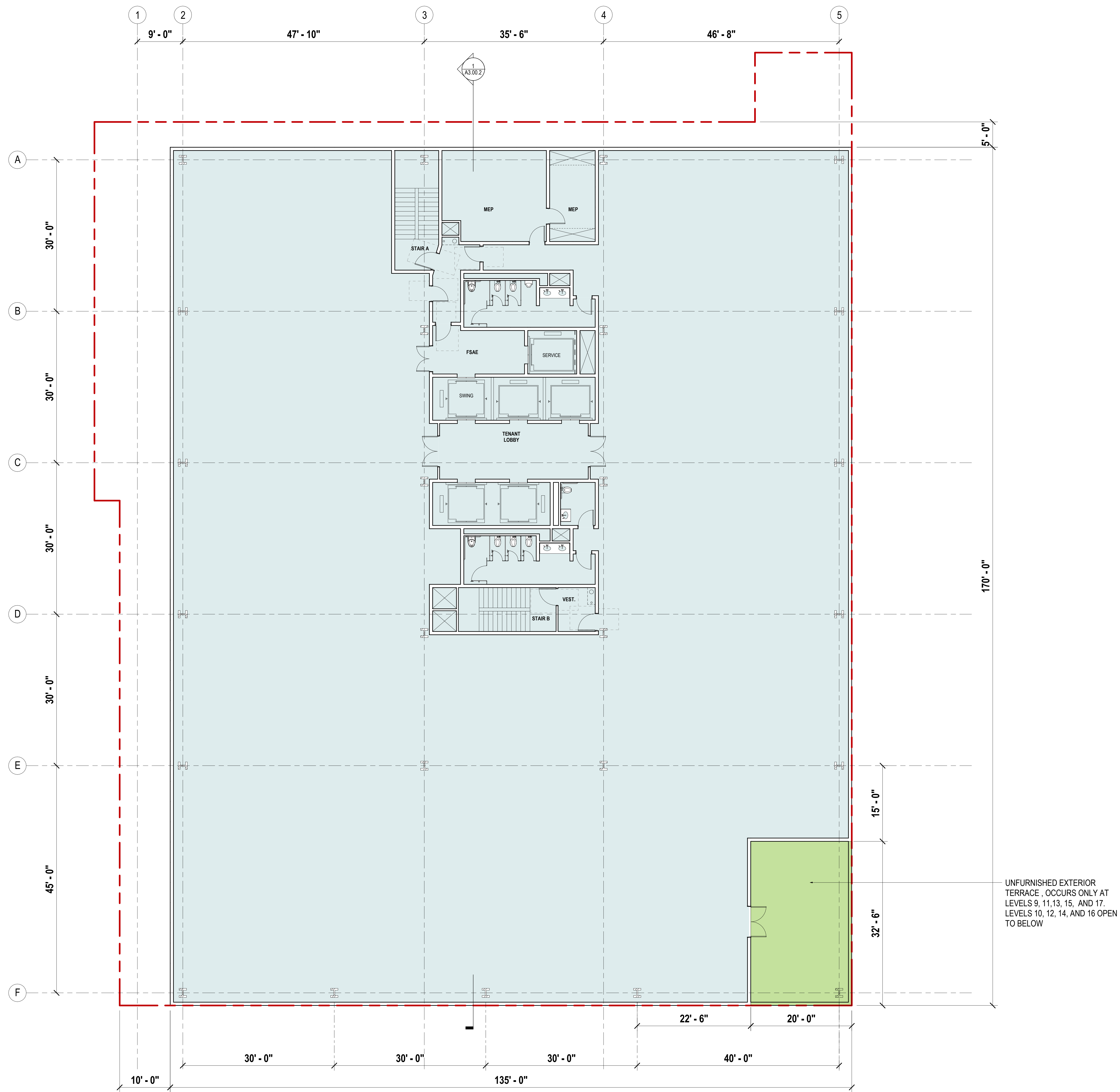
- RETAIL
- OFFICE / AMENITY
- NON-FAR

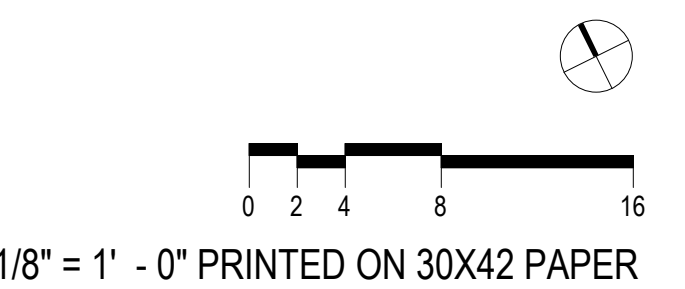
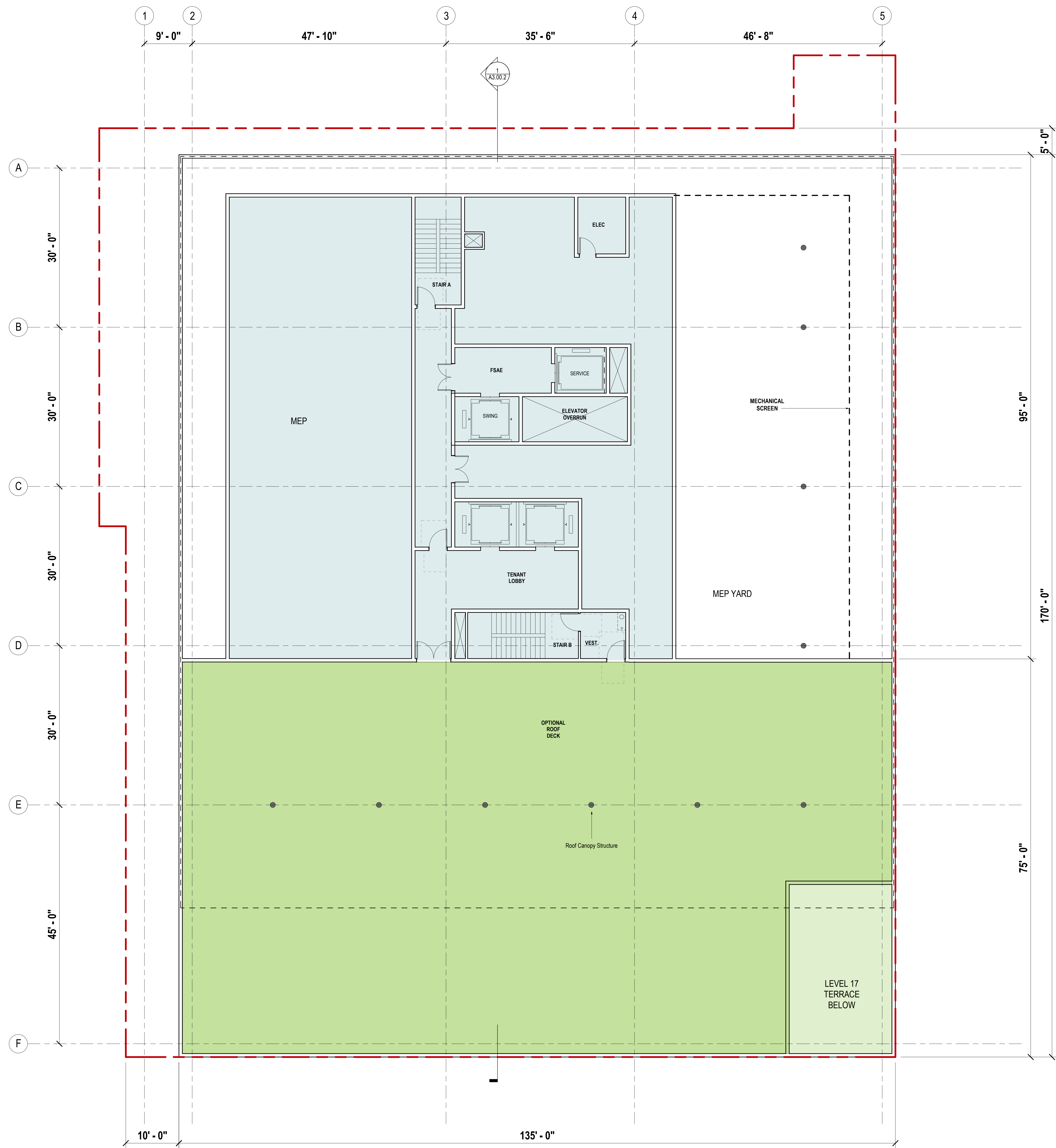


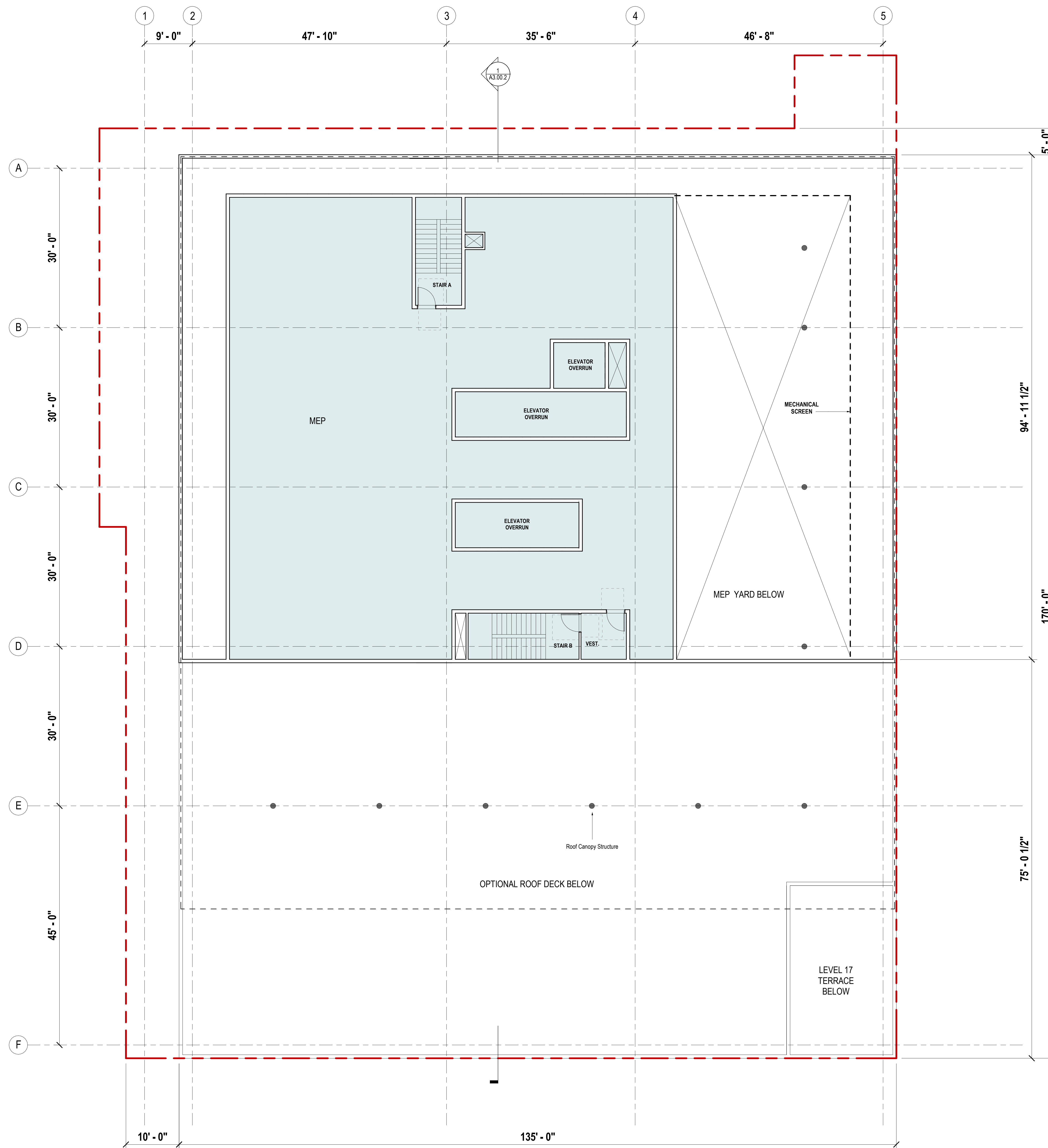




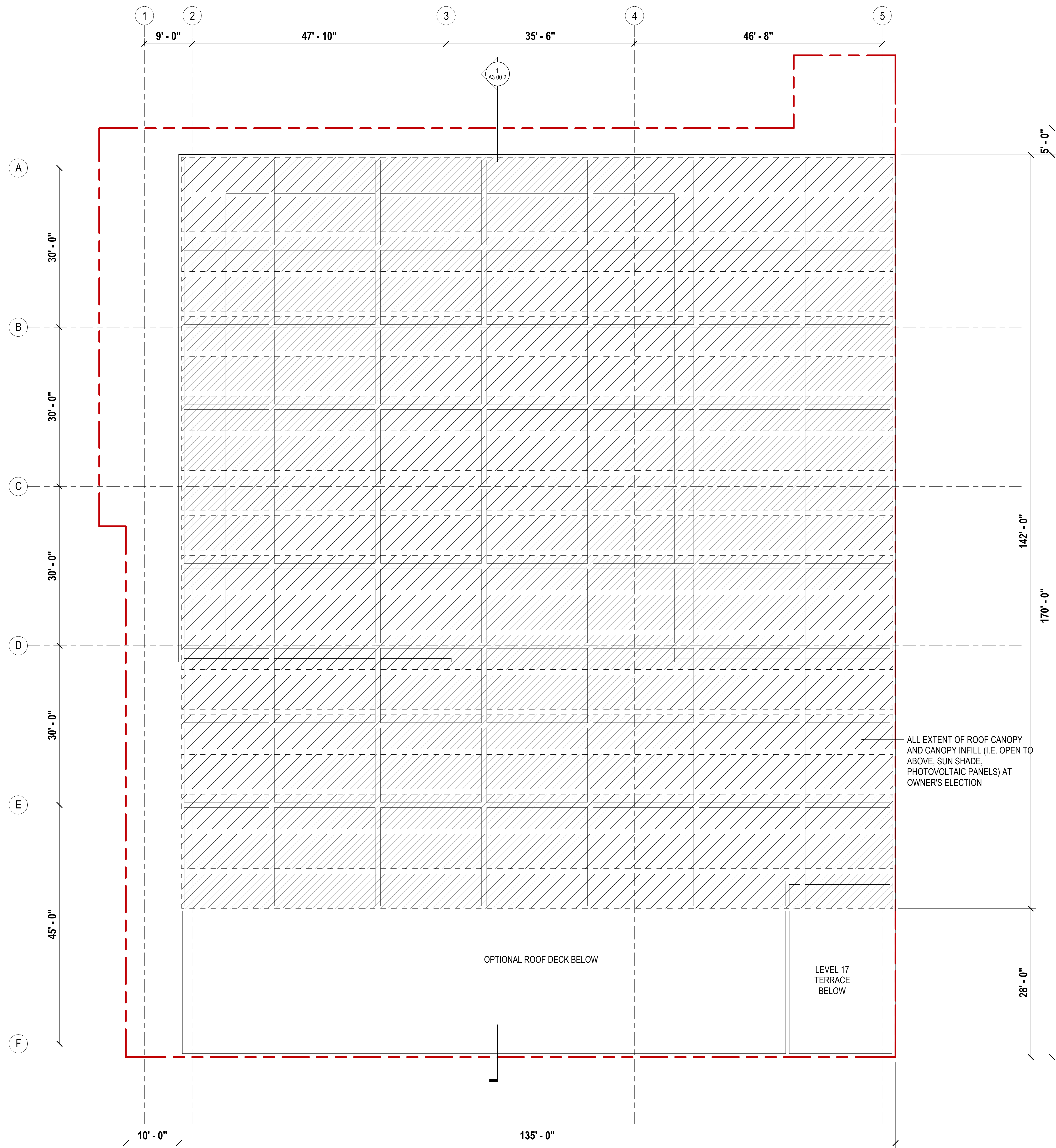


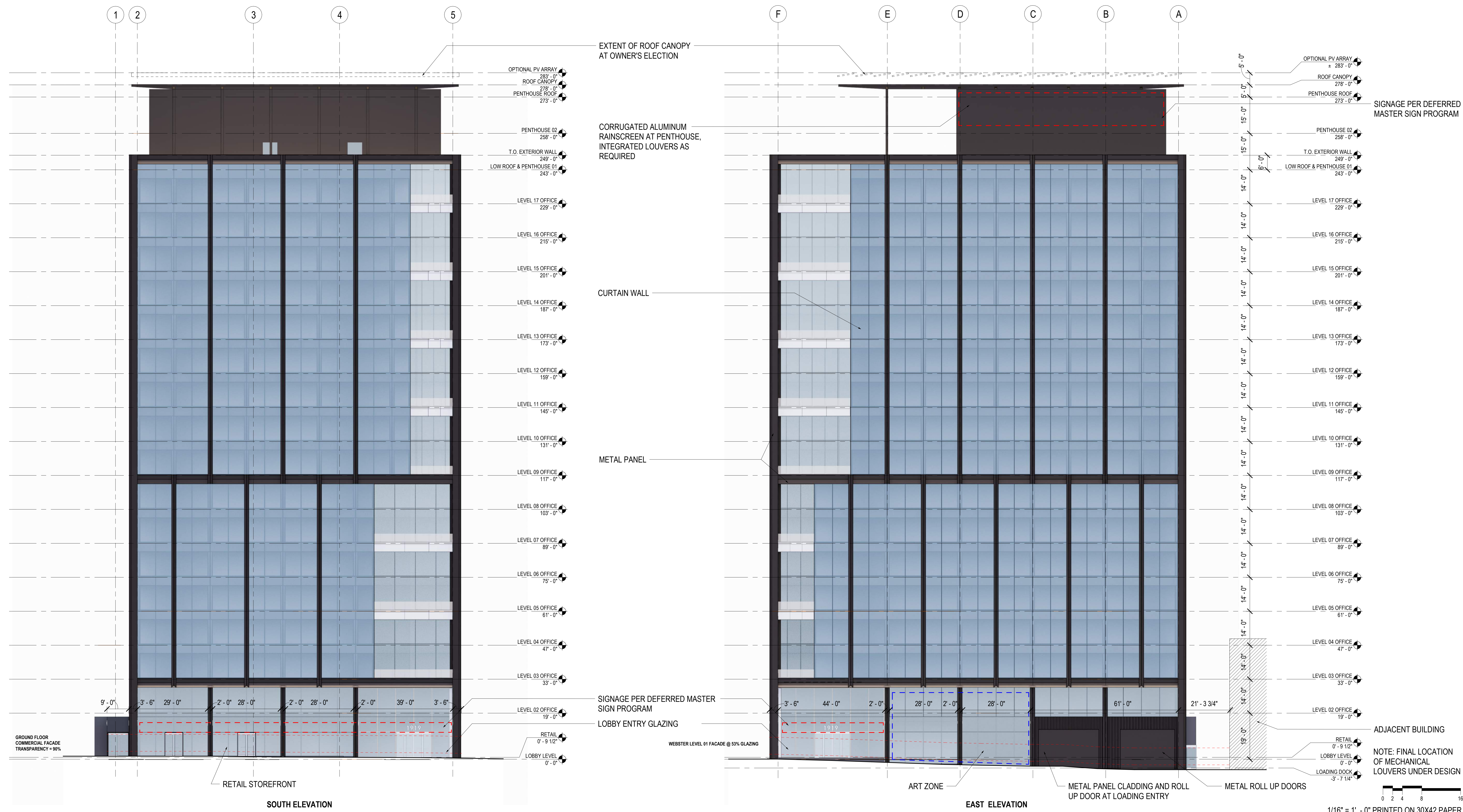


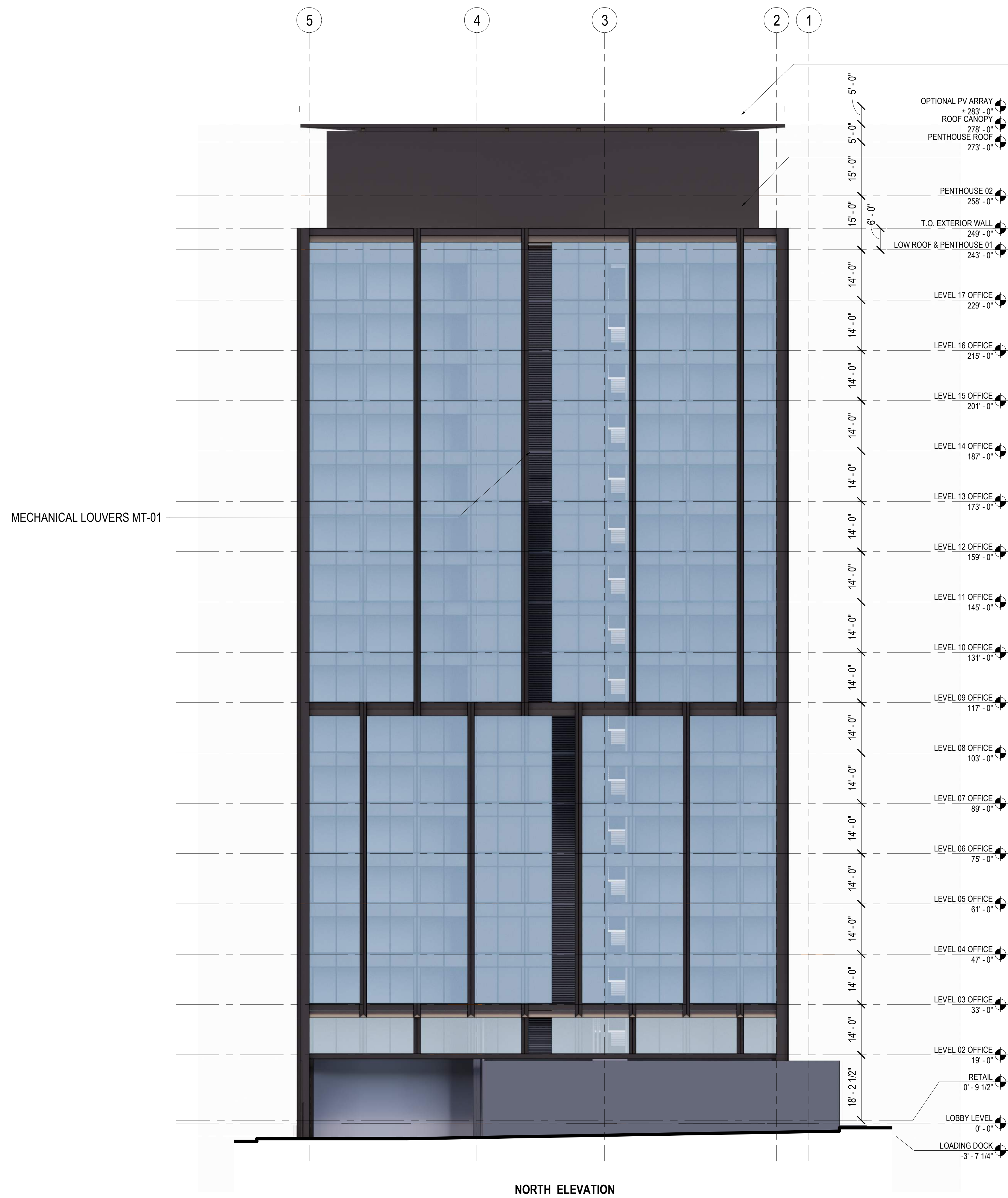




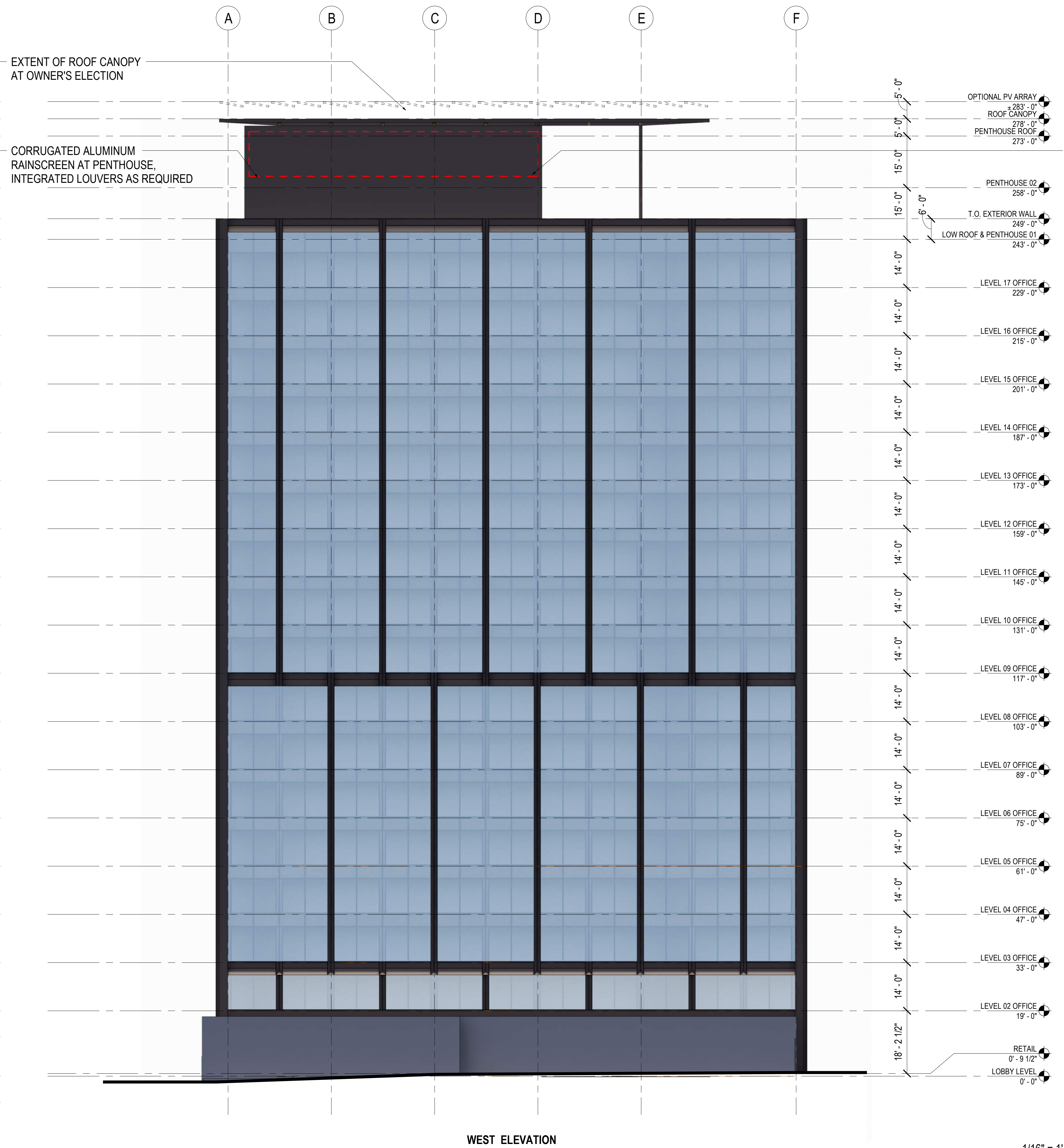
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NORTH ELEVATION

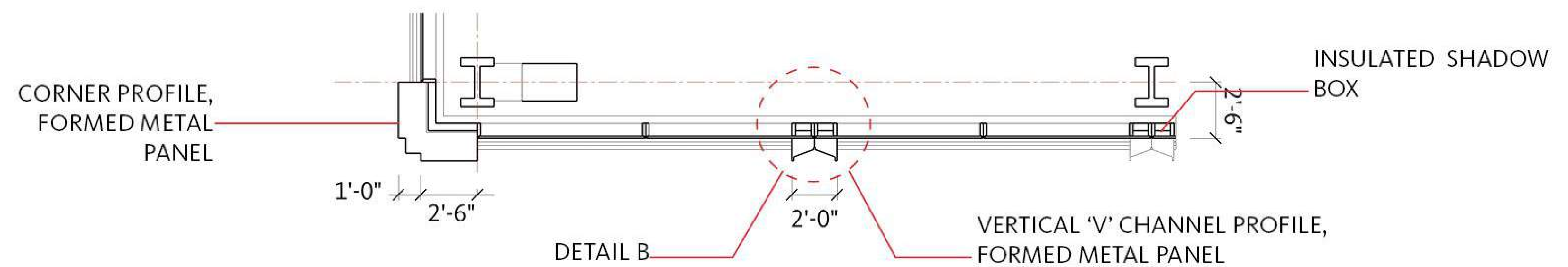
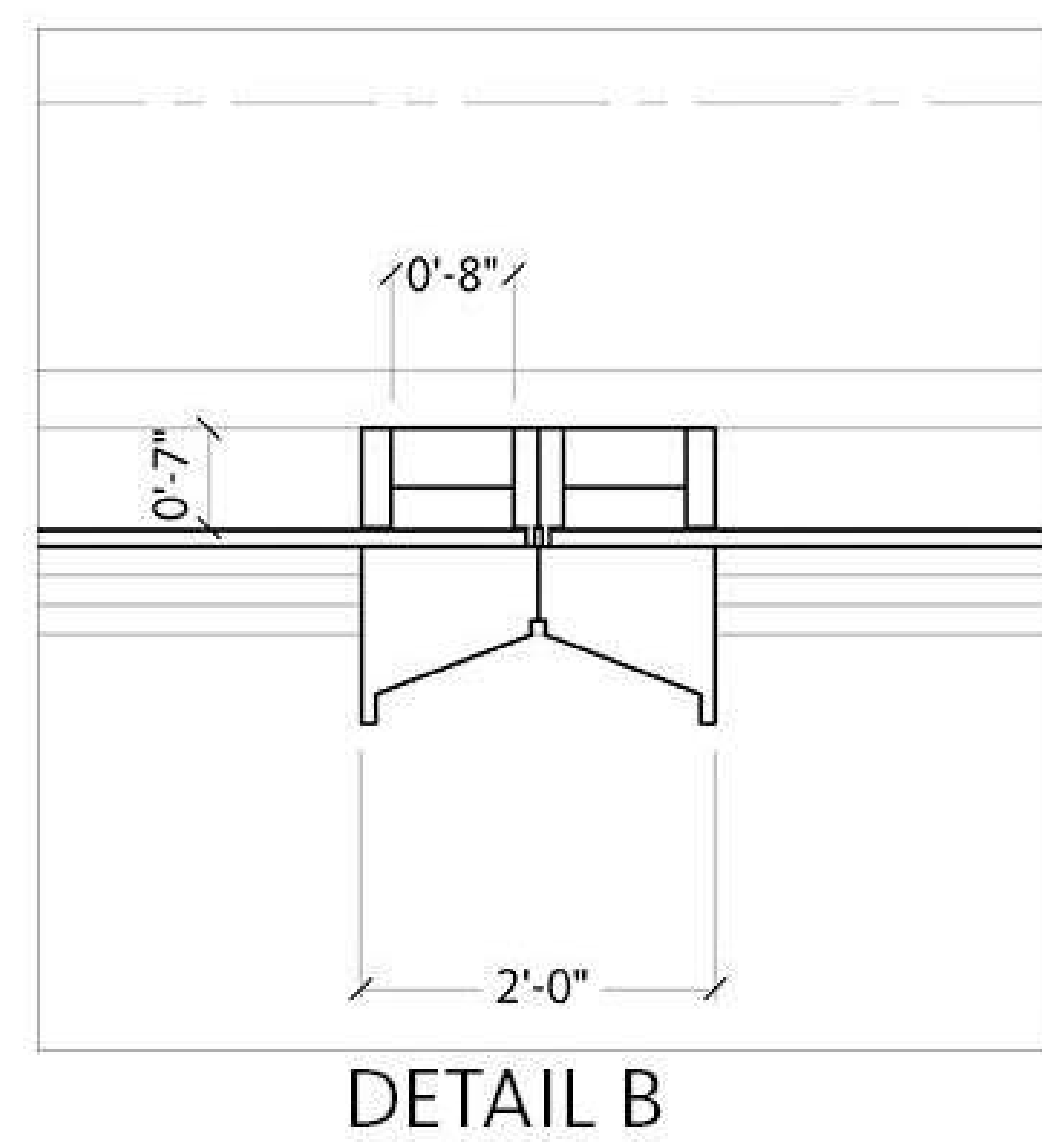
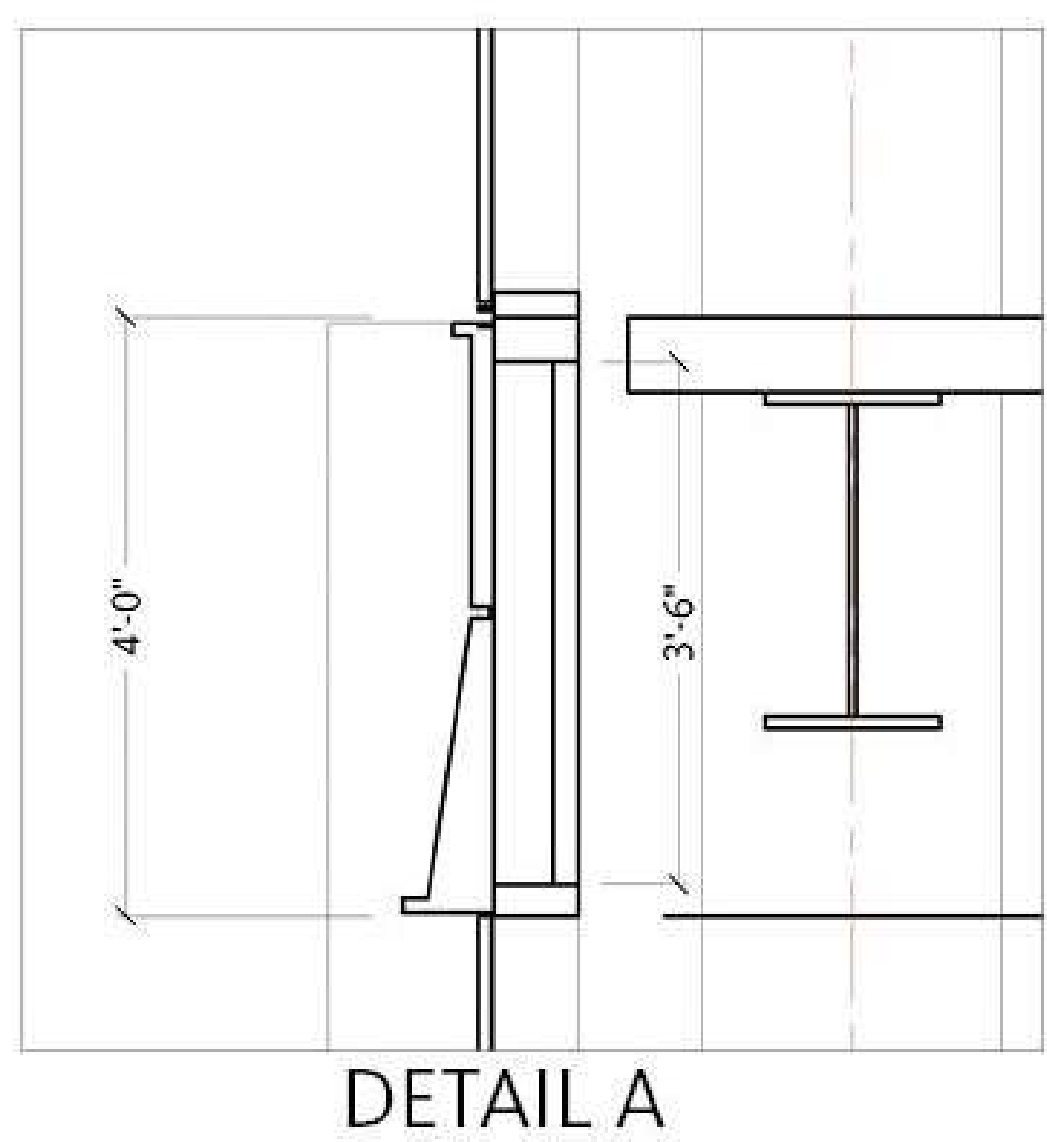
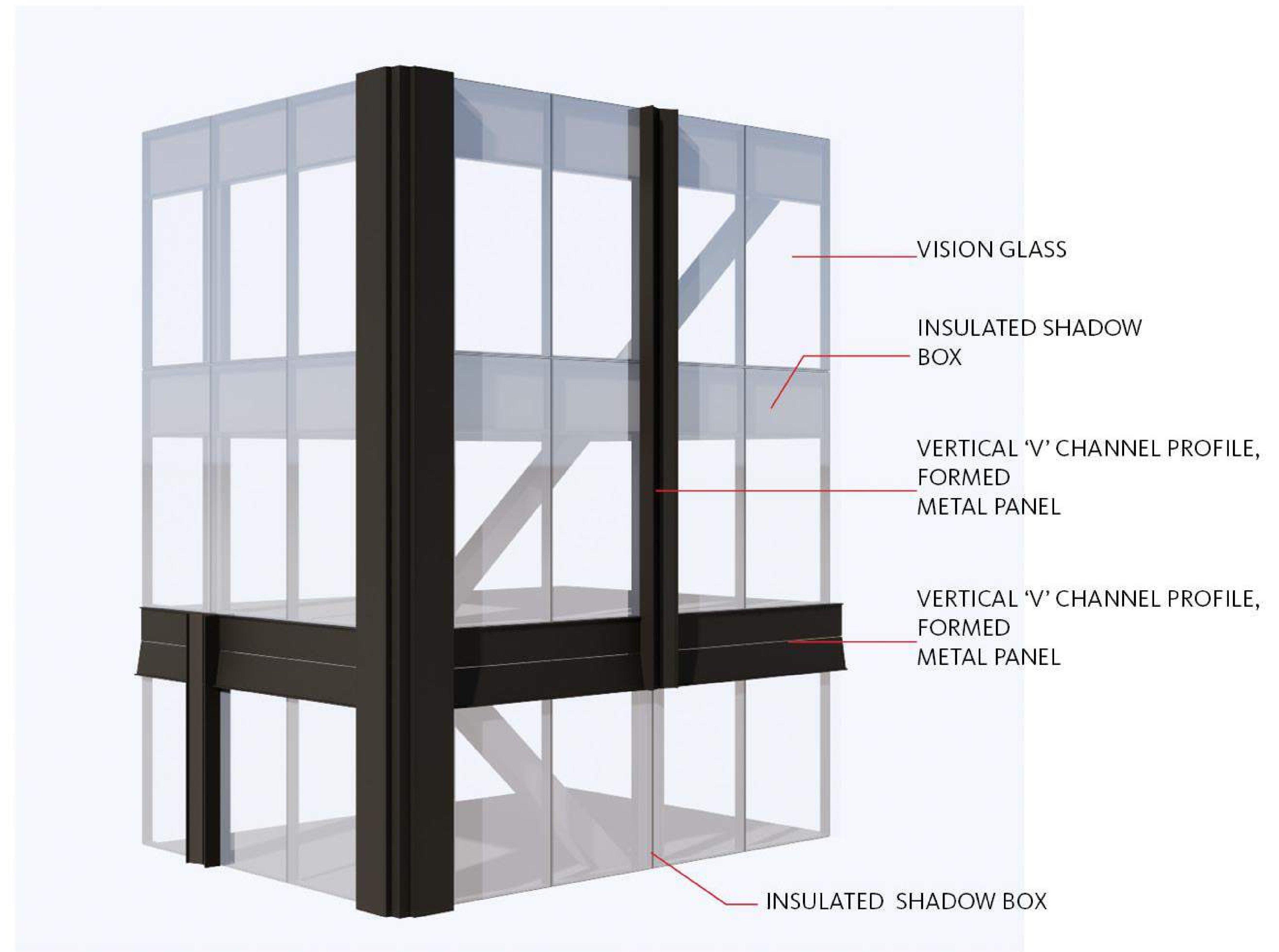
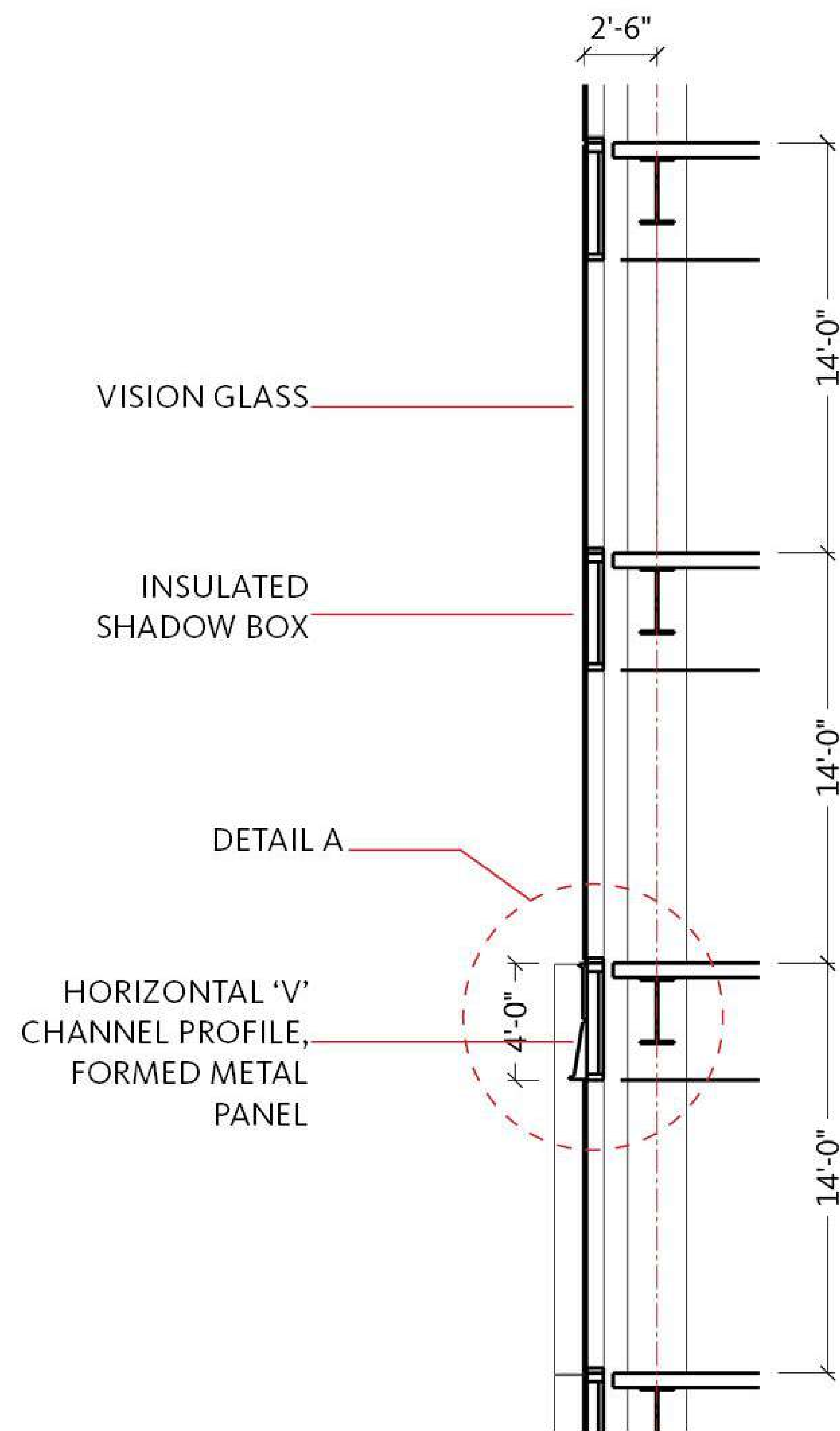


WEST ELEVATION

SIGNAGE PER DEFERRED MASTER SIGN PROGRAM

NOTE: FINAL LOCATION OF MECHANICAL LOUVERS UNDER DESIGN







MT-01
DARK PAINTED METAL PANEL



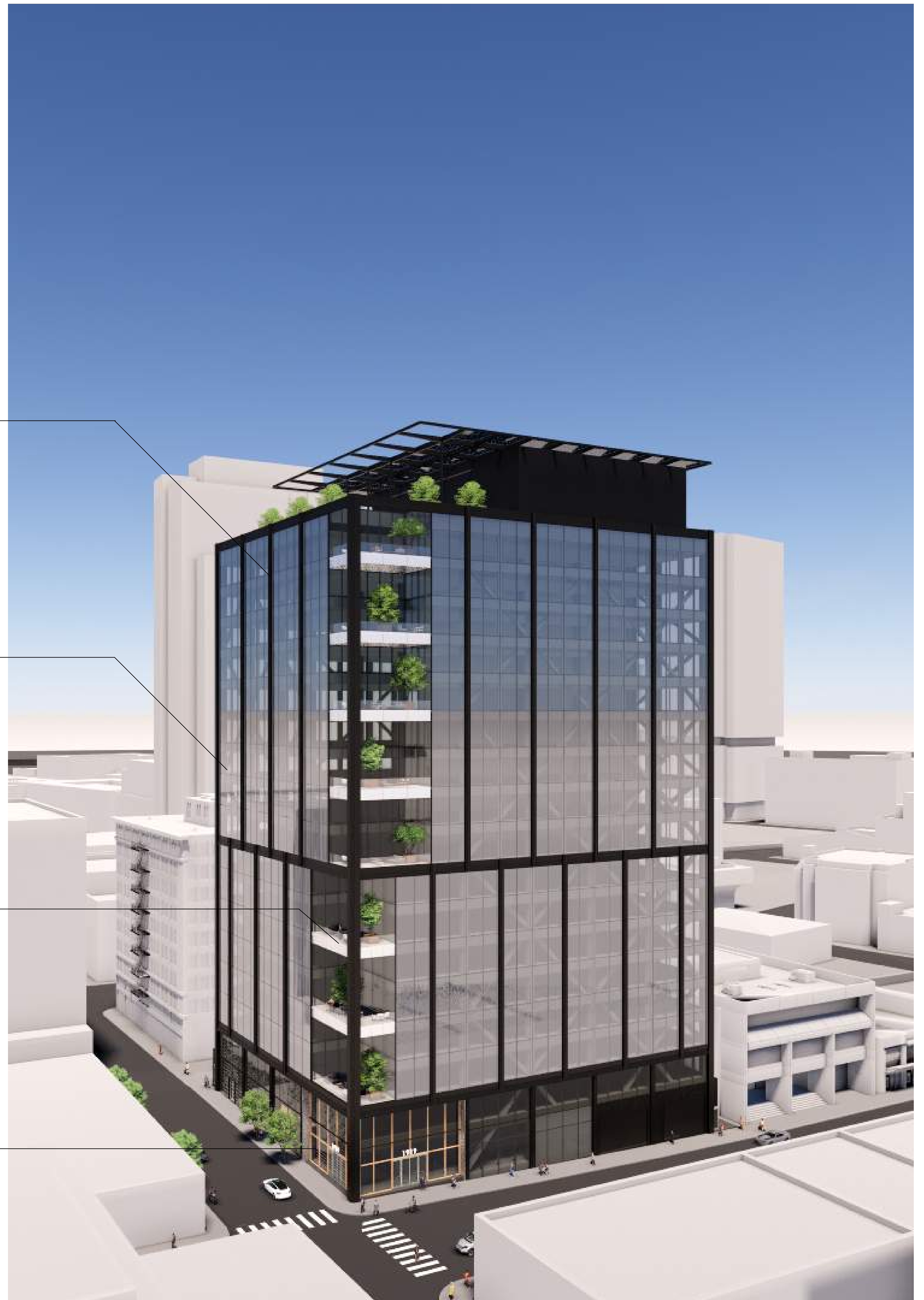
GL-01
INSULATED GLASS UNIT WITH HIGH PERFORMANCE
LOW-E COATING



BALCONY FASCIA AND SOFFIT
METAL PANEL



LOBBY AND RETAIL GLASS





MT-01
DARK PAINTED METAL PANEL



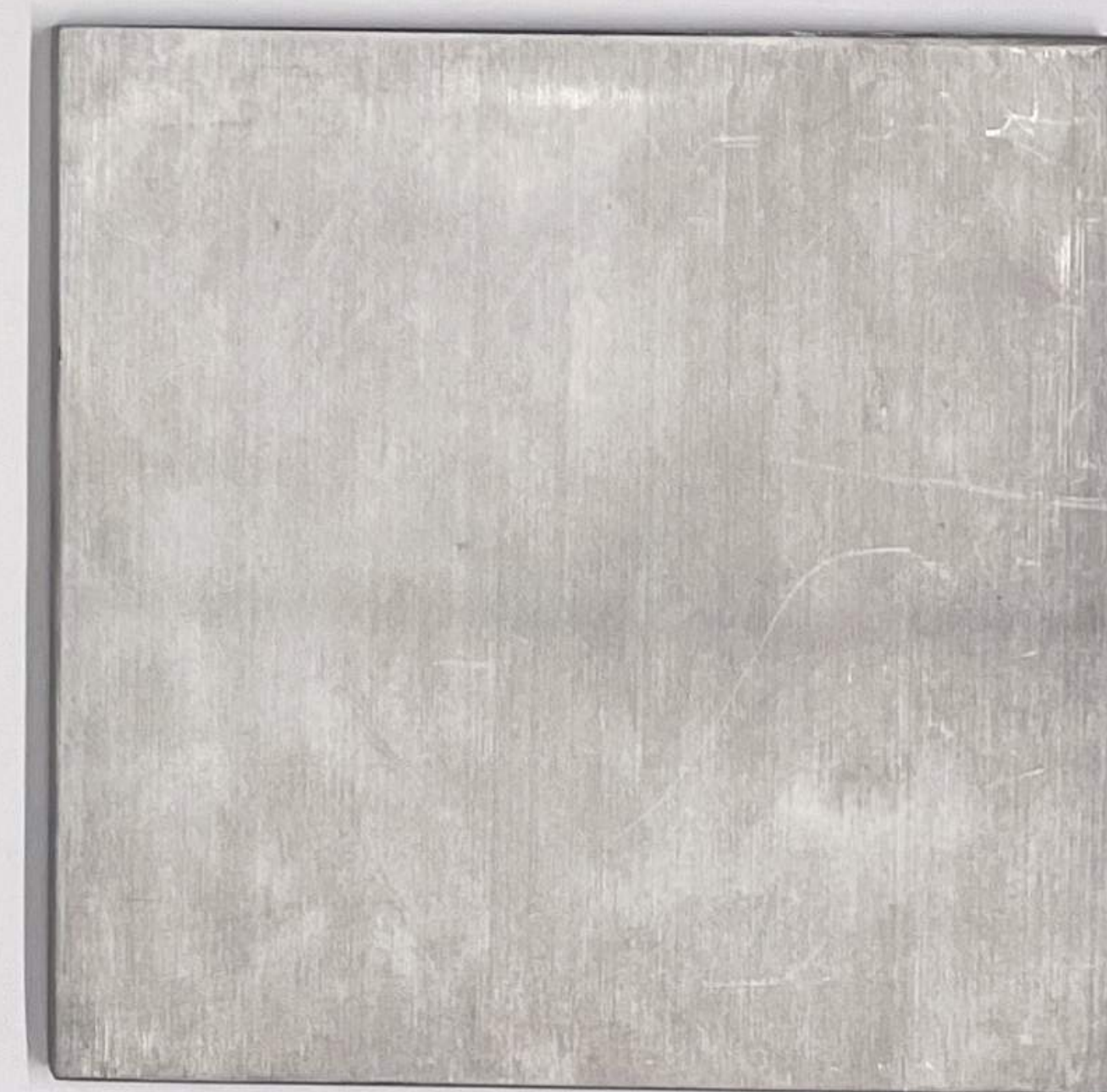
BALCONY FASCIA AND SOFFIT
METAL PANEL



GL-01
INSULATED GLASS UNIT WITH HIGH PERFORMANCE
LOW-E COATING

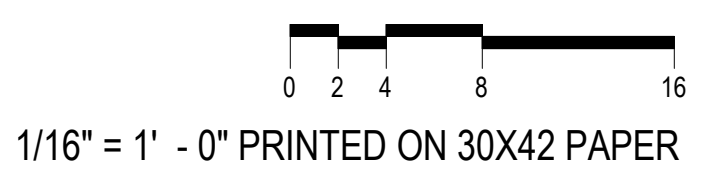
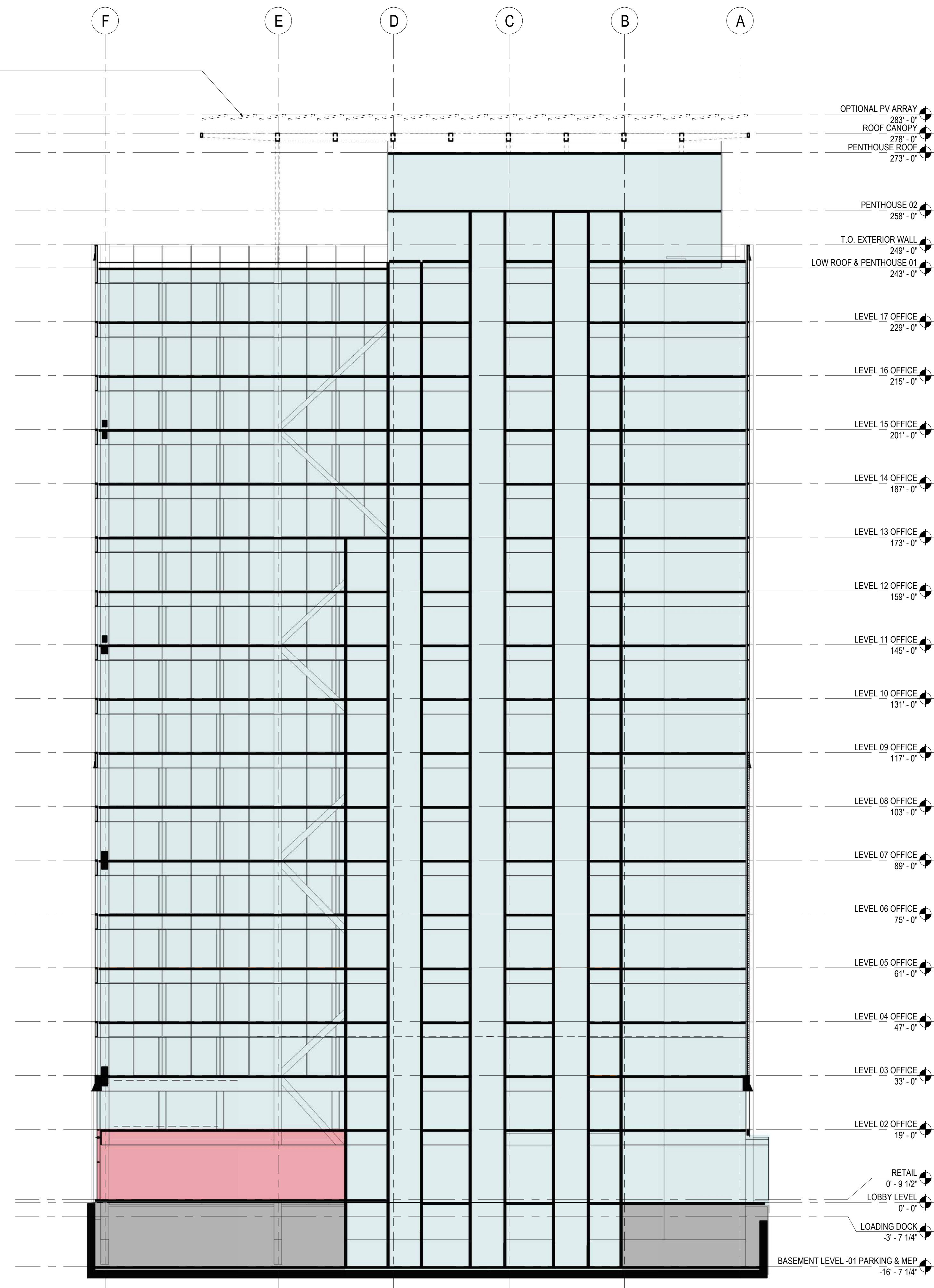


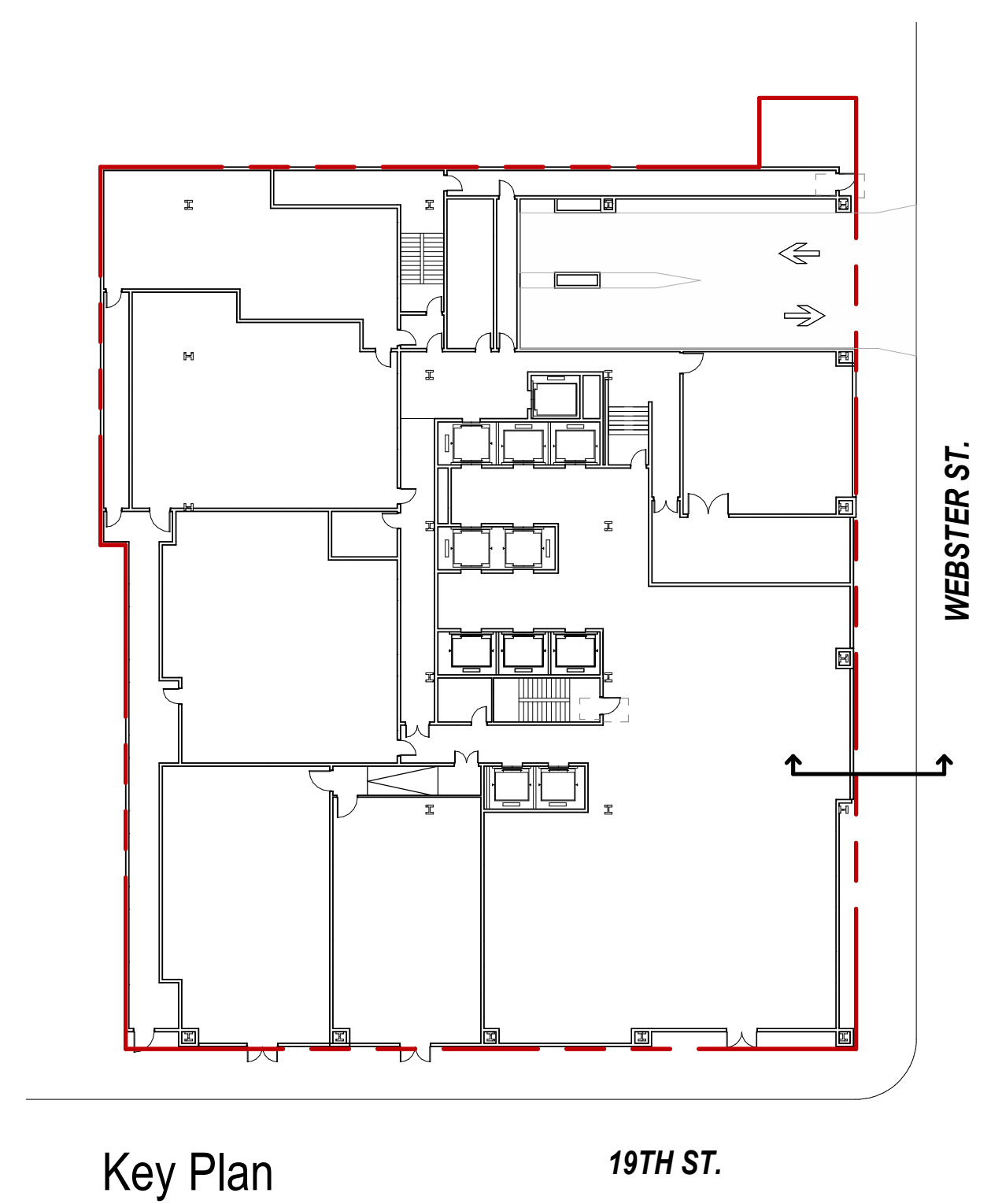
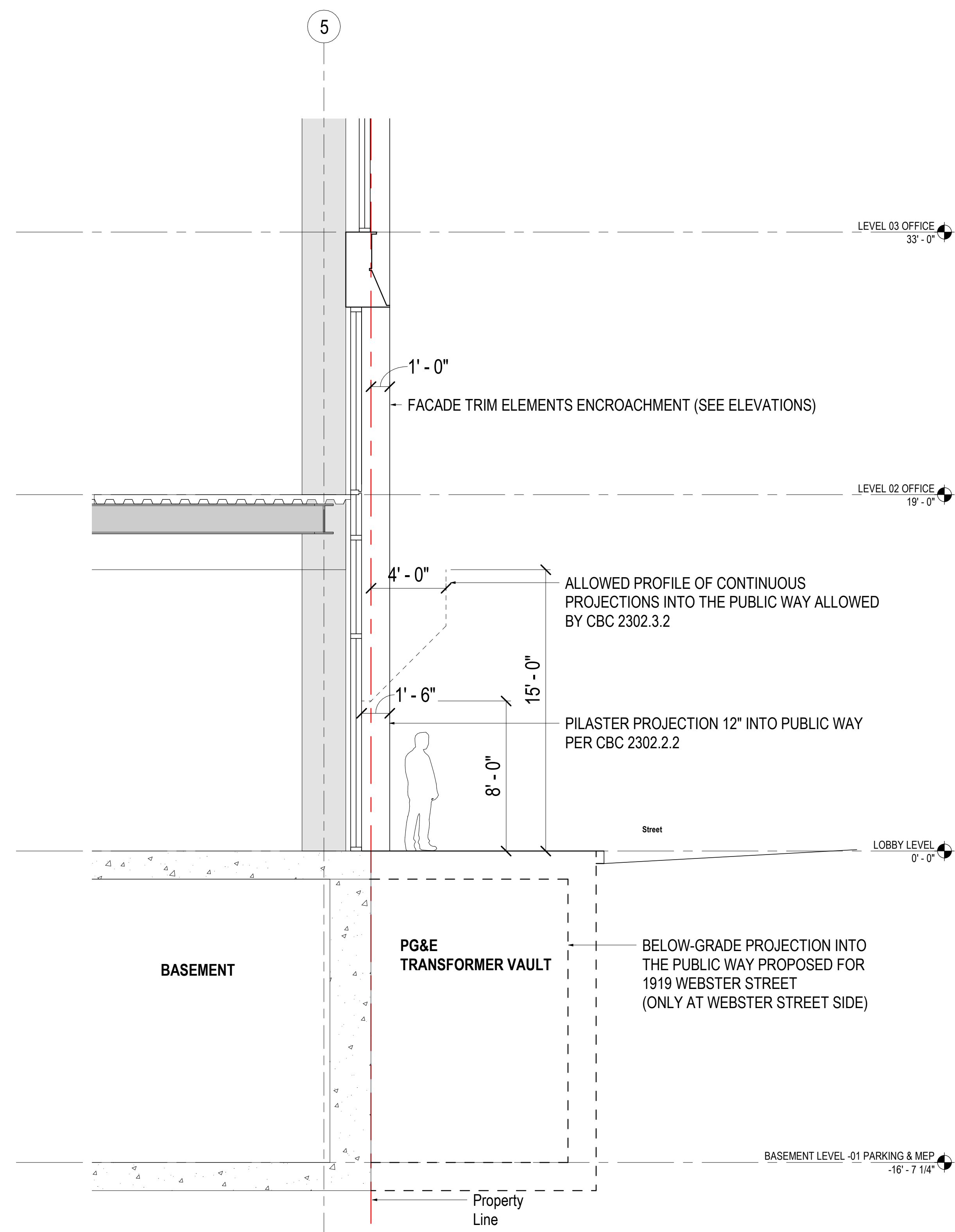
LOBBY AND RETAIL GLASS

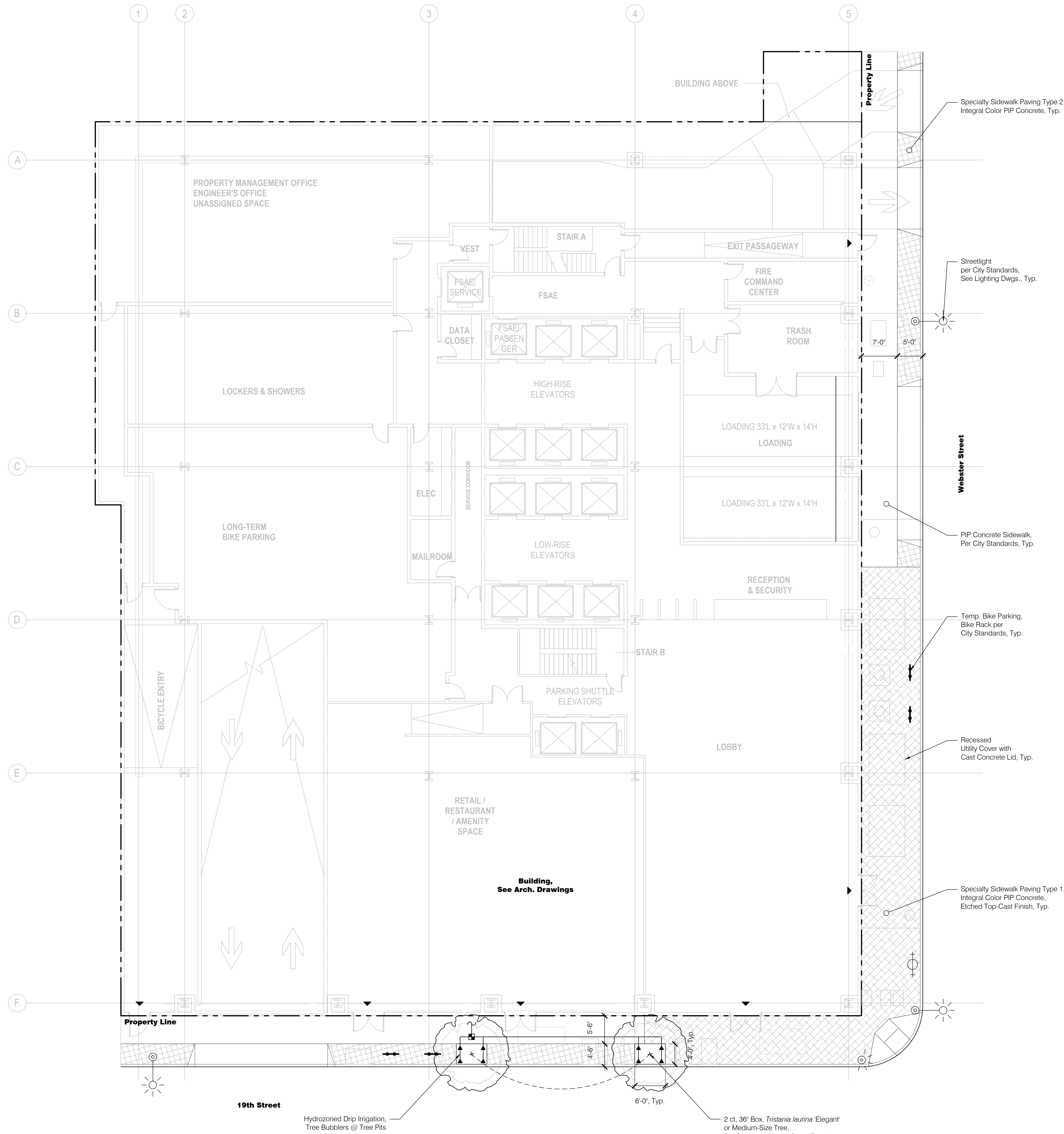


STAINLESS STEEL

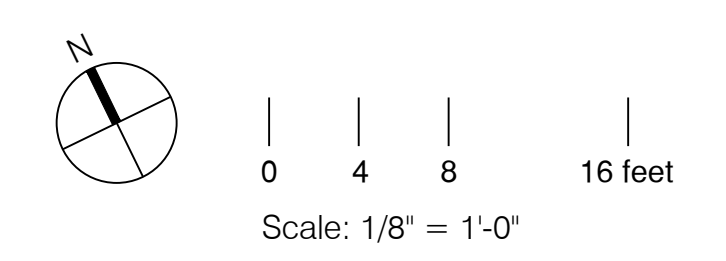
EXTENT OF ROOF CANOPY AND CANOPY INFILL (I.E. OPEN TO ABOVE, SUN SHADE, PHOTOVOLTAIC PANELS) AT OWNER'S ELECTION

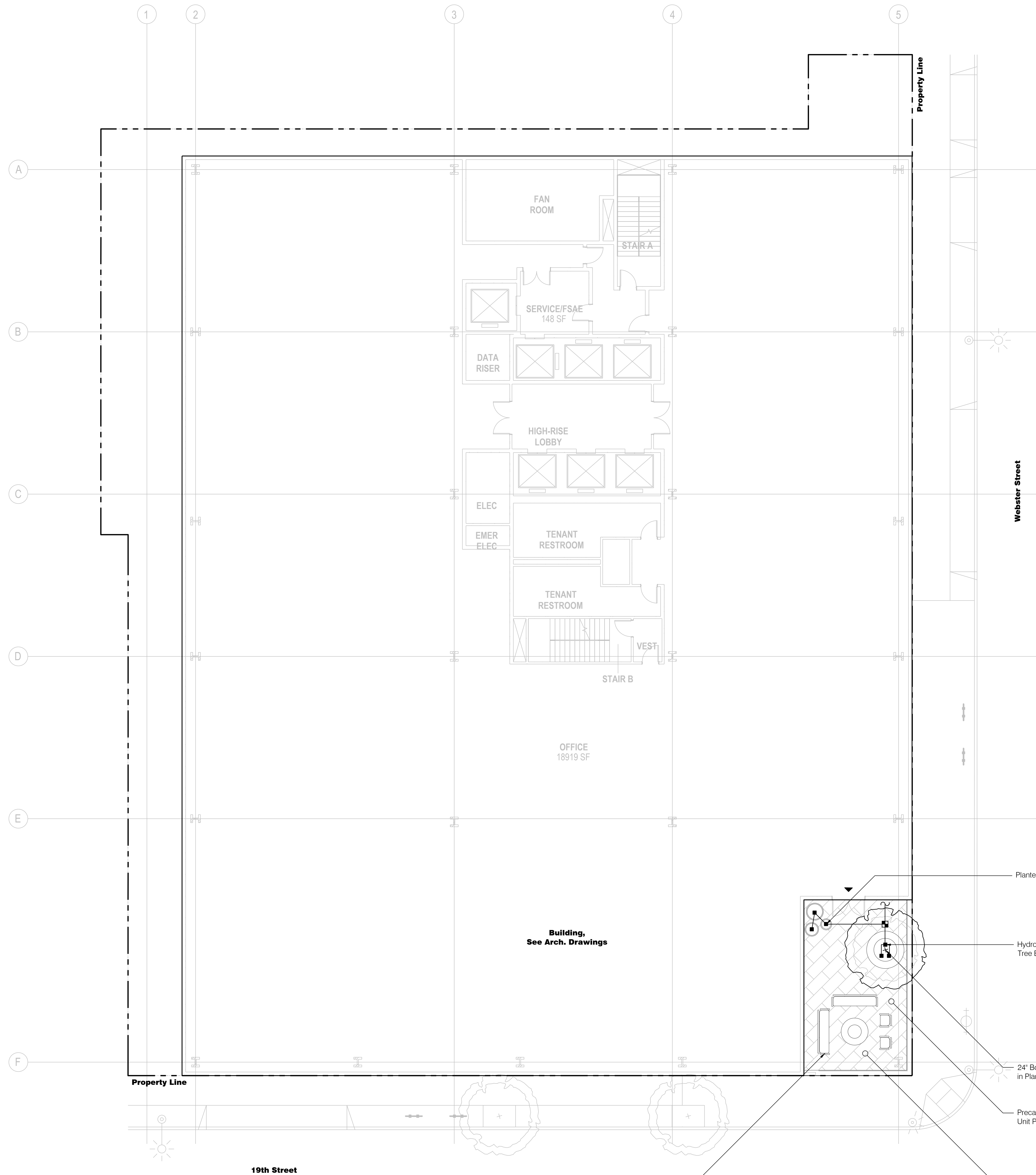






- Landscape Design Notes**
- No landscape exists in present condition. Refer to Civil Drawings for Survey.
 - Street Trees shall be installed in compliance with the City's Standard Specifications for Street Tree Planting.
- Irrigation Notes**
- Landscape Design shall be compliant with the California Model Water Efficient Landscape Ordinance (MWELO).
 - Drip irrigation will be provided for all planting areas and hydrozoned for optimal plant maintenance and water efficiency.
 - Tree bubblers will be provided for all proposed trees.
- Legend**
- Property Line
 - - - Structure Above
 - ➔ Egress from Building
 - ☀ Streetlight (See Civil Plans)
 - ⊕ Traffic Light (See Civil Plans)
 - ⊕ Fire Hydrant (See Civil Plans)
 - ➔ Proposed Bike Rack
 - ⊕ Proposed Tree
 - ⊕ Proposed Shrub





General Notes

- Furnishings and Plantings to Be Determined by Prospective Owner

Landscape Design Notes

- No landscape exists in present condition. Refer to Civil Drawings for Survey.
- Street Trees shall be installed in compliance with the City's Standard Specifications for Street Tree Planting.

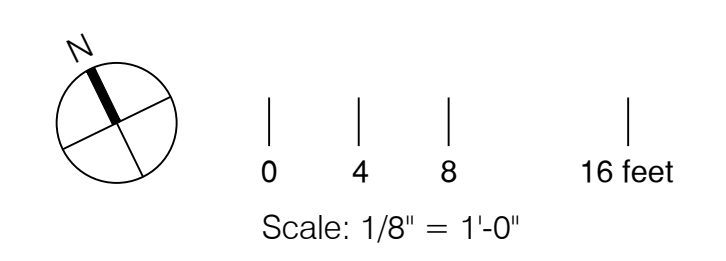
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- Landscape Design shall be compliant with the California Model Water Efficient Landscape Ordinance (MWELO).
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Legend

- Property Line
- Structure Above
- Egress from Building
- Streetlight (See Civil Plans)
- Traffic Light (See Civil Plans)
- Fire Hydrant (See Civil Plans)
- Proposed Bike Rack
- Proposed Tree
- Proposed Shrub

- Planter, Typ.
- Hydrozoned Drip Irrigation, Tree Bubblers @ Trees
- 24" Box Tree in Planter
- Precast Concrete Unit Pavers, Typ.
- Occupiable Area: See Arch. Schedule



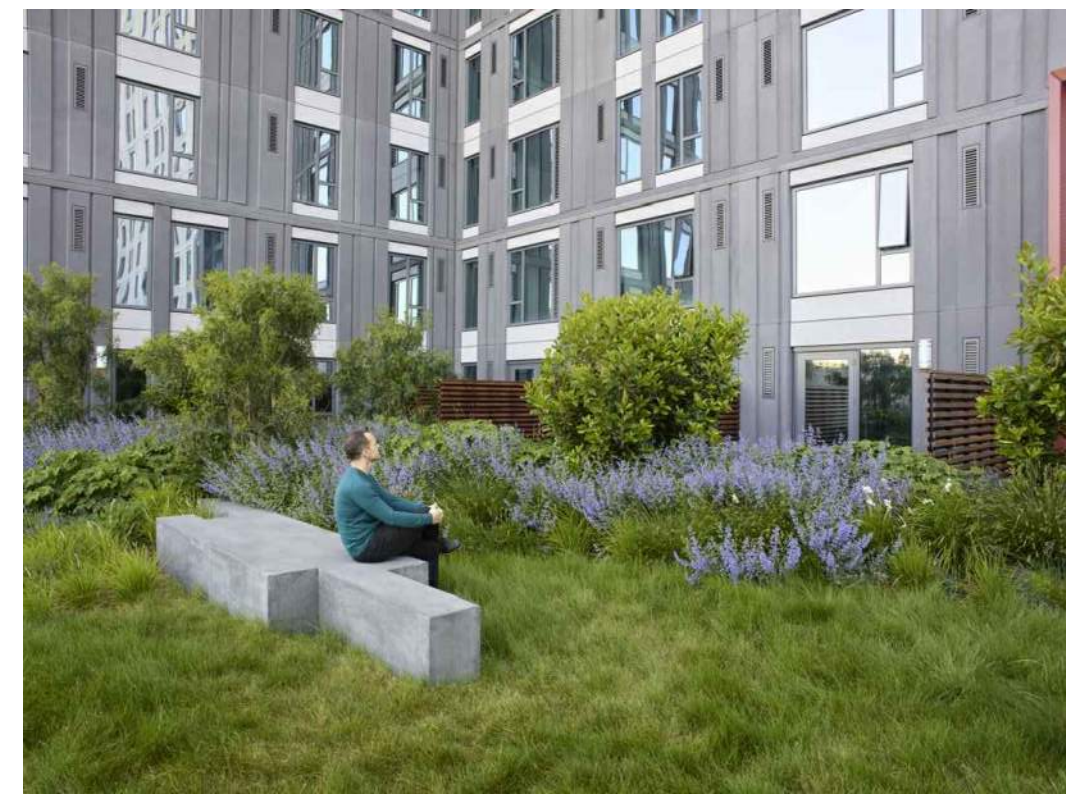
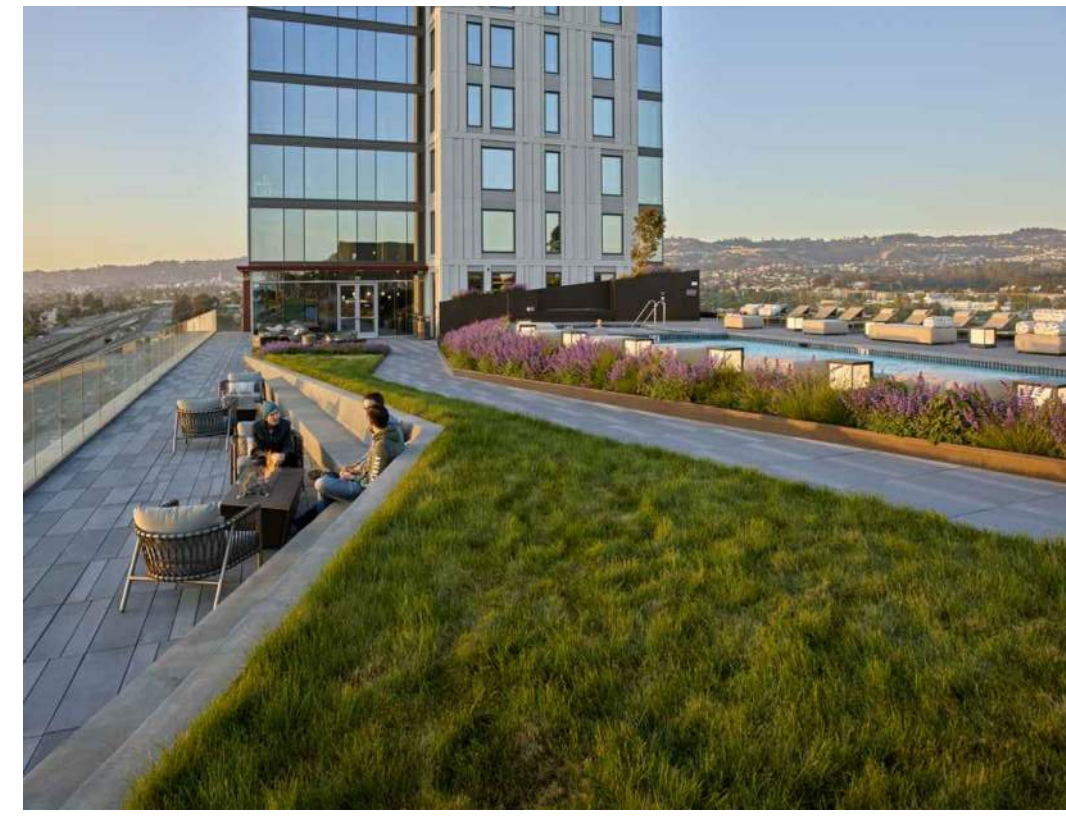
SHEET IS IDENTICAL TO SCHEME 1 PLANS
1919 WEBSTER ST.

Landscape Site Plan - Typ. Balcony

APPLICATION FOR DEVELOPMENT REVIEW

* Copyright 2021 SurfaceDesign, Inc. All Rights Reserved

Reference Images



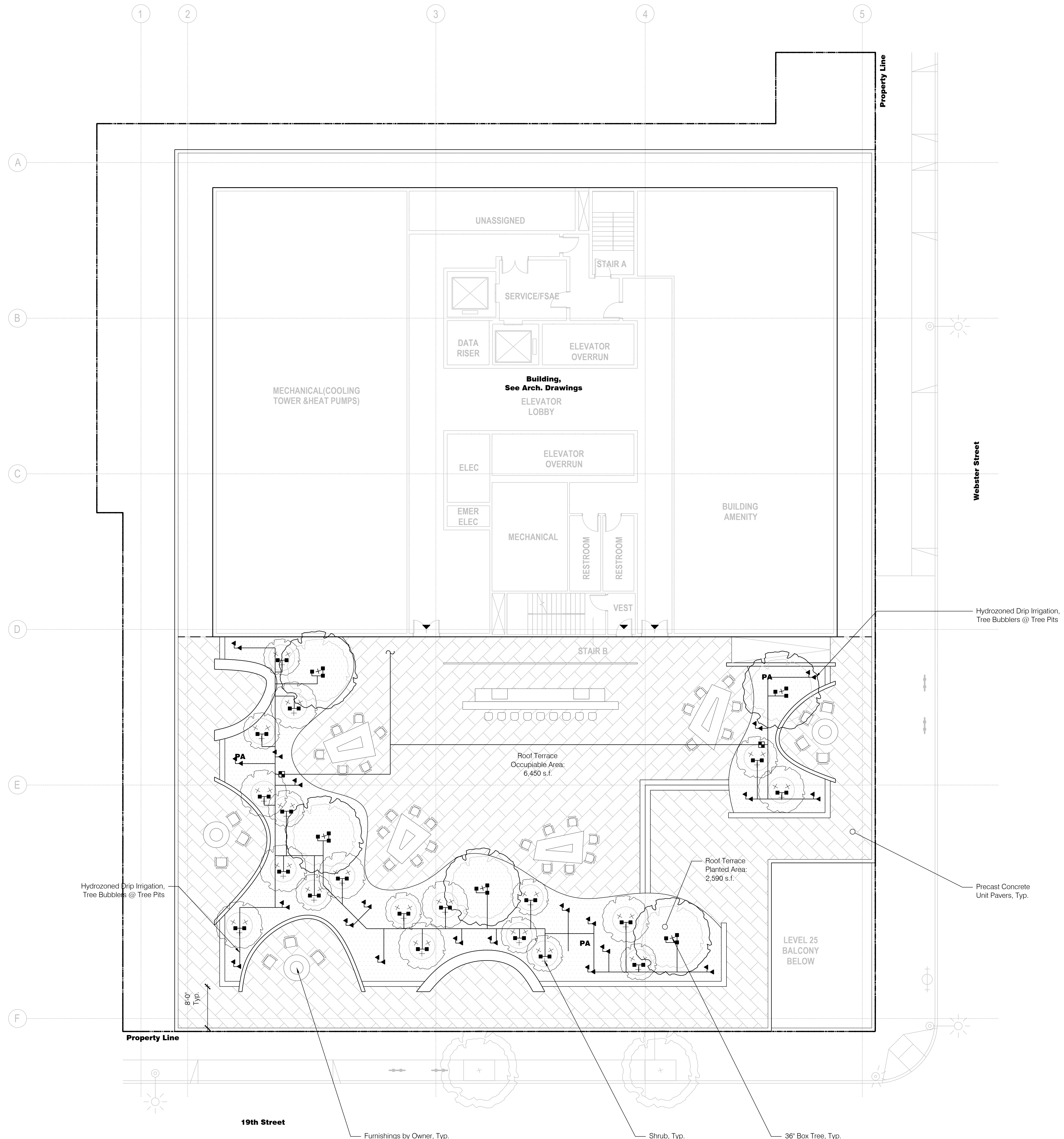
Skylyne Apartments, Oakland, CA - Surfacedesign, Inc.



Russell Investments Center, Seattle, WA - EFS Studio



Manhattan Loft Gardens, London, UK - Martha Schwartz and Randle Siddeley



General Notes

- Roof Terrace at Owner's Election.

Landscape Design Notes

- No landscape exists in present condition. Refer to Civil Drawings for Survey.
- Street Trees shall be installed in compliance with the City's Standard Specifications for Street Tree Planting.

Irrigation Notes

- Landscape Design shall be compliant with the California Model Water Efficient Landscape Ordinance (MWELO).
- Drip irrigation will be provided for all planting areas and hydrozoned for optimal plant maintenance and water efficiency.
- Tree bubblers will be provided for all proposed trees.

Legend

- Property Line
- - - Structure Above
- ☀ Egress from Building
- ☀ Streetlight (See Civil Plans)
- ☀ Traffic Light (See Civil Plans)
- ☀ Fire Hydrant (See Civil Plans)
- 🚲 Proposed Bike Rack
- 🌳 Proposed Tree
- 🌿 Proposed Shrub
- PA Planted Area

Hydrozoned Drip Irrigation, Tree Bubblers @ Tree Pits

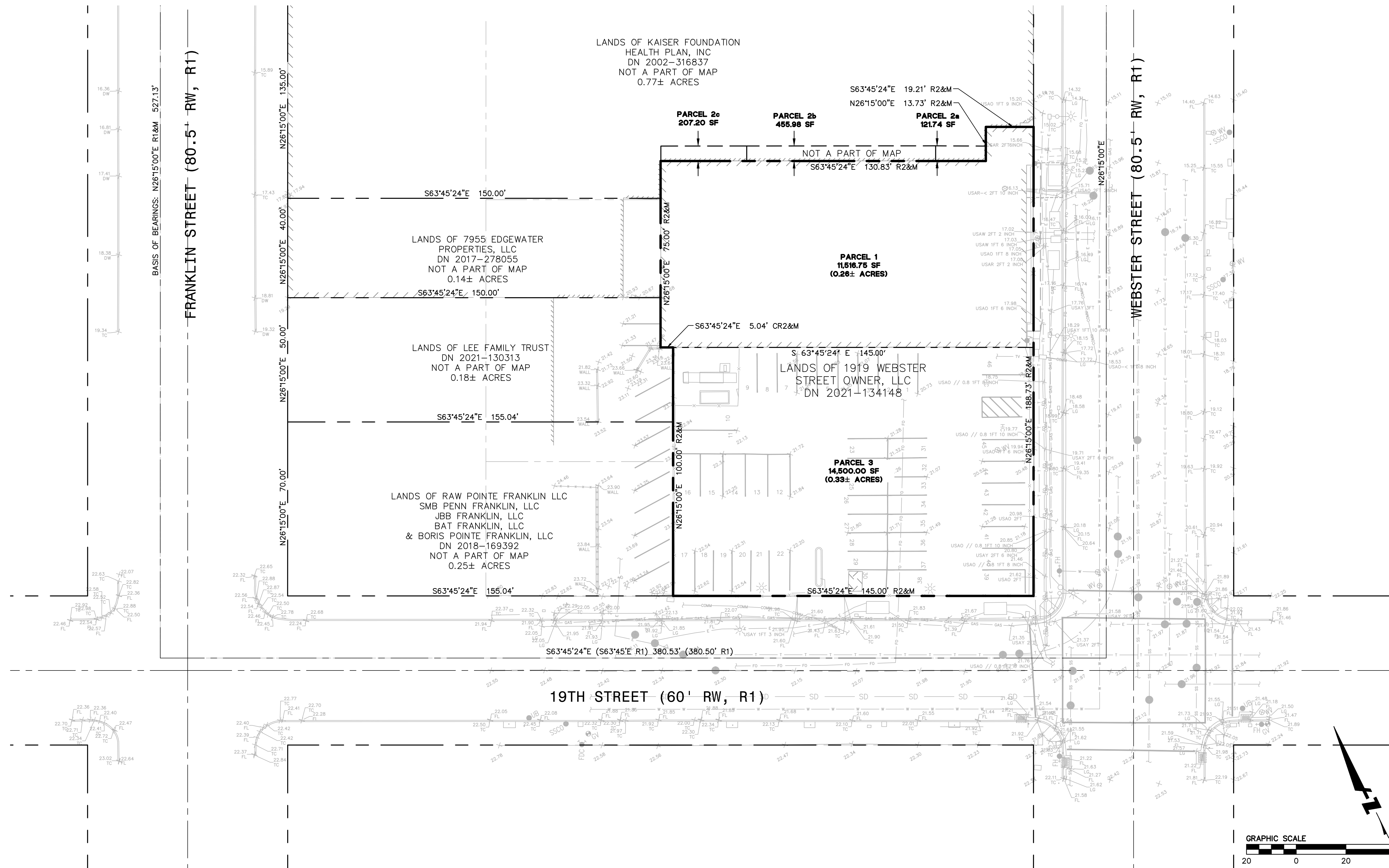
Hydrozoned Drip Irrigation, Tree Bubblers @ Tree Pits

Precast Concrete Unit Pavers, Typ.

Furnishings by Owner, Typ.

Shrub, Typ.

36" Box Tree, Typ.



BASIS OF BEARING

THE BEARING OF NORTH 26°15'00" EAST, AS SHOWN AS THE MONUMENT LINE OF FRANKLIN STREET, SHOWN CITY OF OAKLAND MONUMENT MAP 1488B 480.

BENCHMARK STATEMENT

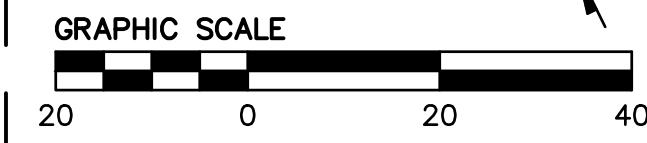
BENCHMARK: K-7 S.F.B.A.R.T.D. MONUMENT IN WELL, ELEVATION OF 17.243, AT THE INTERSECTION OF BROADWAY AVENUE AND 21ST STREET. SEA LEVEL DATUM OF 1929, RENAMED TO NGVD 29 ON MAY 10TH, 1973. FOR THIS PROJECT, THIS VALUE HAS BEEN CONVERTED TO CITY OF OAKLAND DATUM BY ADDING 3.00', RESULTING IN AN ELEVATION = 20.243' (CITY OF OAKLAND DATUM)

DATUM SUMMARY

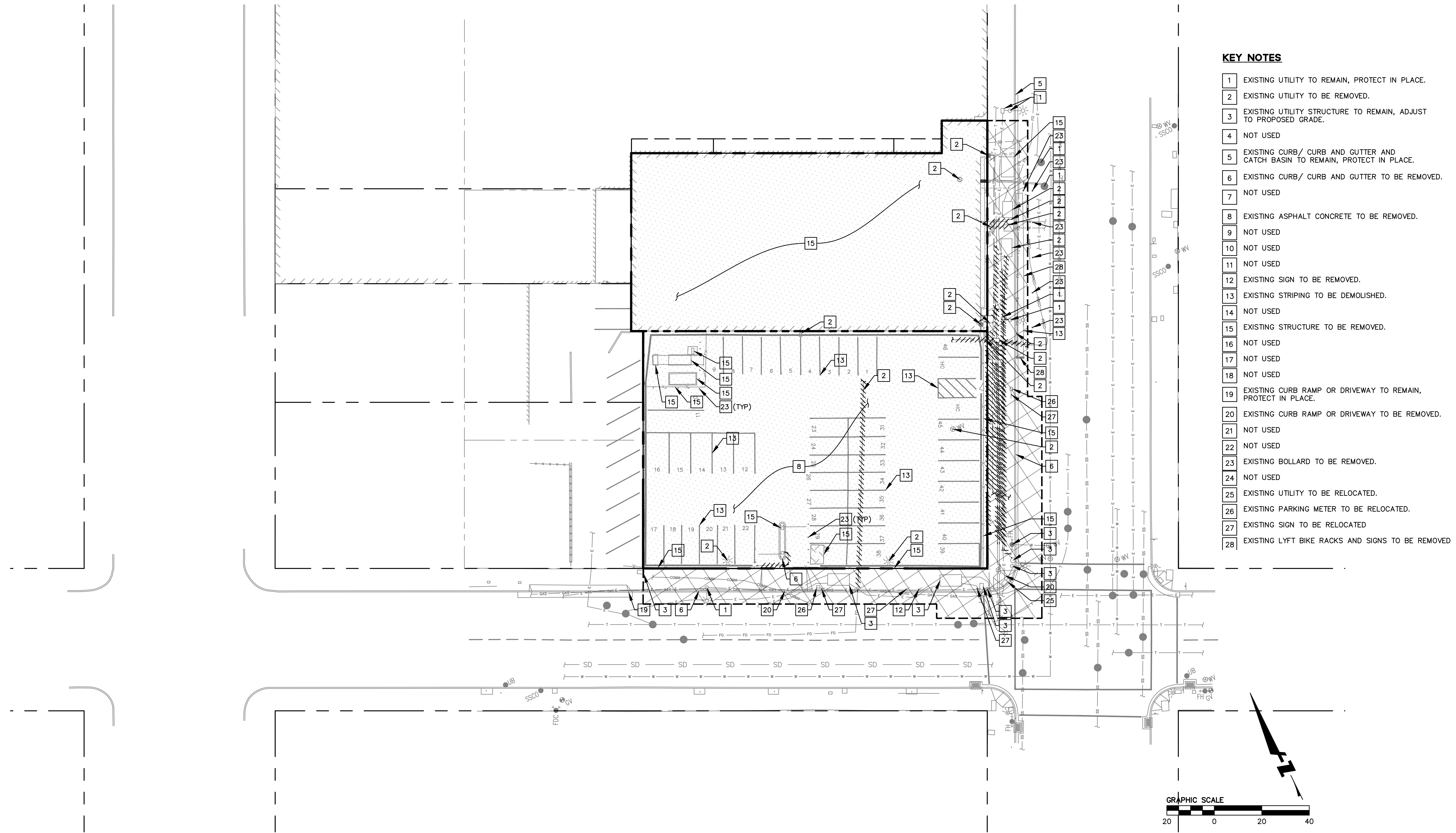
PROJECT DATUM: CITY OF OAKLAND
 BENCHMARK ELEVATION = 20.243'
 CITY OF OAKLAND = NGVD 29 + 3.00'

LINE LEGEND

- PROJECT PROPERTY LINE
- - - OFFSITE PROPERTY LINE
- - - OFFSITE PARCEL AND EASEMENT SEE TITLE REPORT



SHEET IS IDENTICAL TO SCHEME 1 PLANS
1919 WEBSTER ST.



KEY NOTES

- 1 EXISTING UTILITY TO REMAIN, PROTECT IN PLACE.
- 2 EXISTING UTILITY TO BE REMOVED.
- 3 EXISTING UTILITY STRUCTURE TO REMAIN, ADJUST TO PROPOSED GRADE.
- 4 NOT USED
- 5 EXISTING CURB/ CURB AND GUTTER AND CATCH BASIN TO REMAIN, PROTECT IN PLACE.
- 6 EXISTING CURB/ CURB AND GUTTER TO BE REMOVED.
- 7 NOT USED
- 8 EXISTING ASPHALT CONCRETE TO BE REMOVED.
- 9 NOT USED
- 10 NOT USED
- 11 NOT USED
- 12 EXISTING SIGN TO BE REMOVED.
- 13 EXISTING STRIPING TO BE DEMOLISHED.
- 14 NOT USED
- 15 EXISTING STRUCTURE TO BE REMOVED.
- 16 NOT USED
- 17 NOT USED
- 18 NOT USED
- 19 EXISTING CURB RAMP OR DRIVEWAY TO REMAIN, PROTECT IN PLACE.
- 20 EXISTING CURB RAMP OR DRIVEWAY TO BE REMOVED.
- 21 NOT USED
- 22 NOT USED
- 23 EXISTING BOLLARD TO BE REMOVED.
- 24 NOT USED
- 25 EXISTING UTILITY TO BE RELOCATED.
- 26 EXISTING PARKING METER TO BE RELOCATED.
- 27 EXISTING SIGN TO BE RELOCATED
- 28 EXISTING LYFT BIKE RACKS AND SIGNS TO BE REMOVED

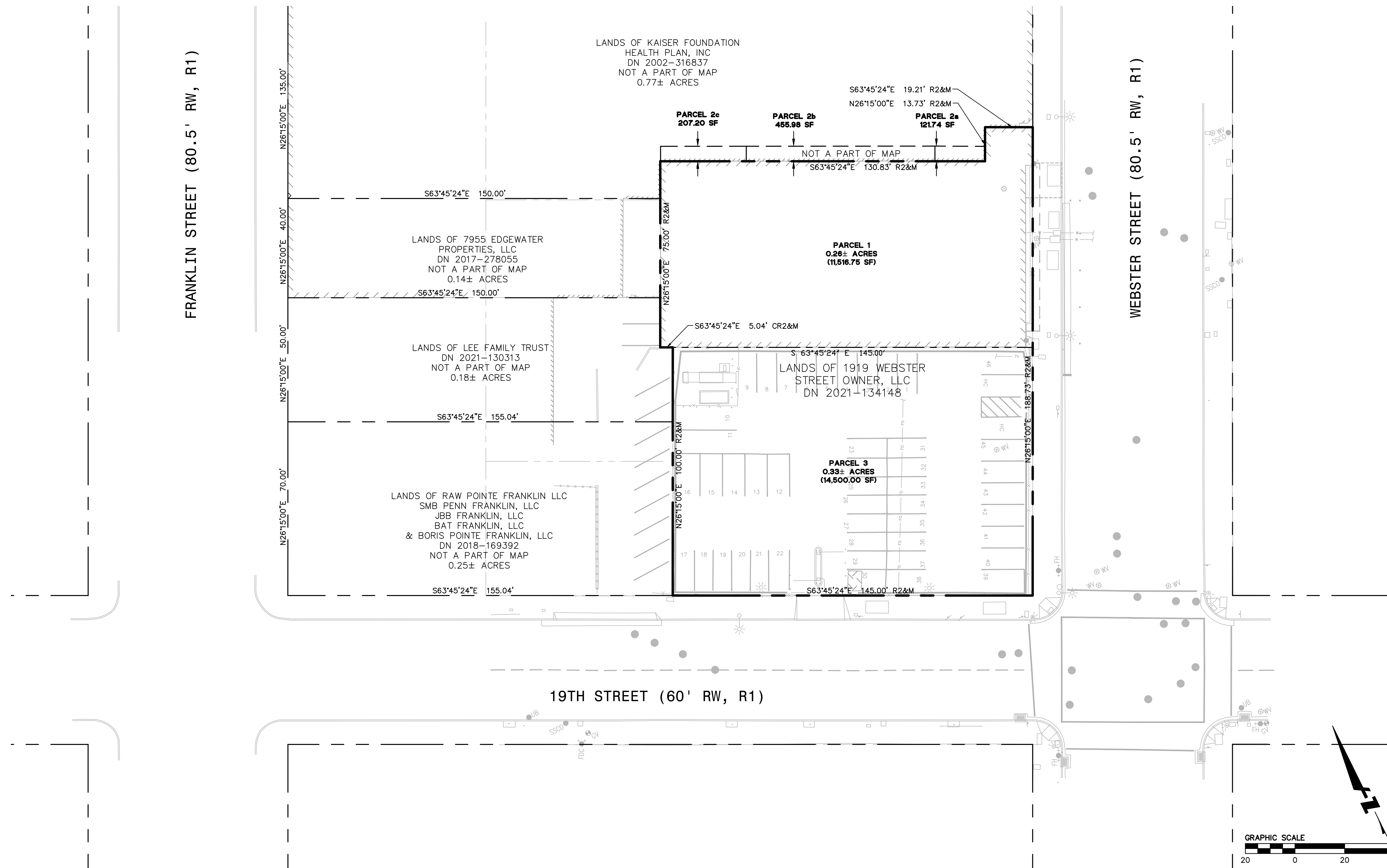
LINE LEGEND

- PROJECT PROPERTY LINE
- OFFSITE PROPERTY LINE
- OFFSITE PARCEL AND EASEMENT SEE TITLE REPORT
- SAWCUT/LIMIT OF WORK
- UTILITY LINE TO BE REMOVED

HATCH LEGEND

- AREA OF EXISTING ONSITE DEMOLITION. ALL SURFACE IMPROVEMENTS, BUILDINGS, UNDERGROUND AND OVERHEAD UTILITIES TO BE REMOVED.
- AREA OF OFFSITE DEMOLITION. REMOVE SIDEWALK, CURB AND GUTTER, AND AC PAVEMENT.

SHEET IS IDENTICAL TO SCHEME 1 PLANS
1919 WEBSTER ST.
 DEMOLITION PLAN

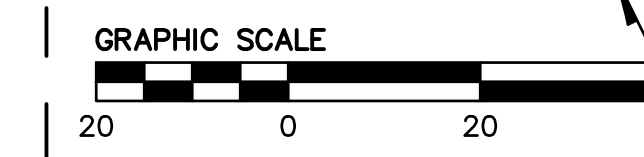


NOTES:

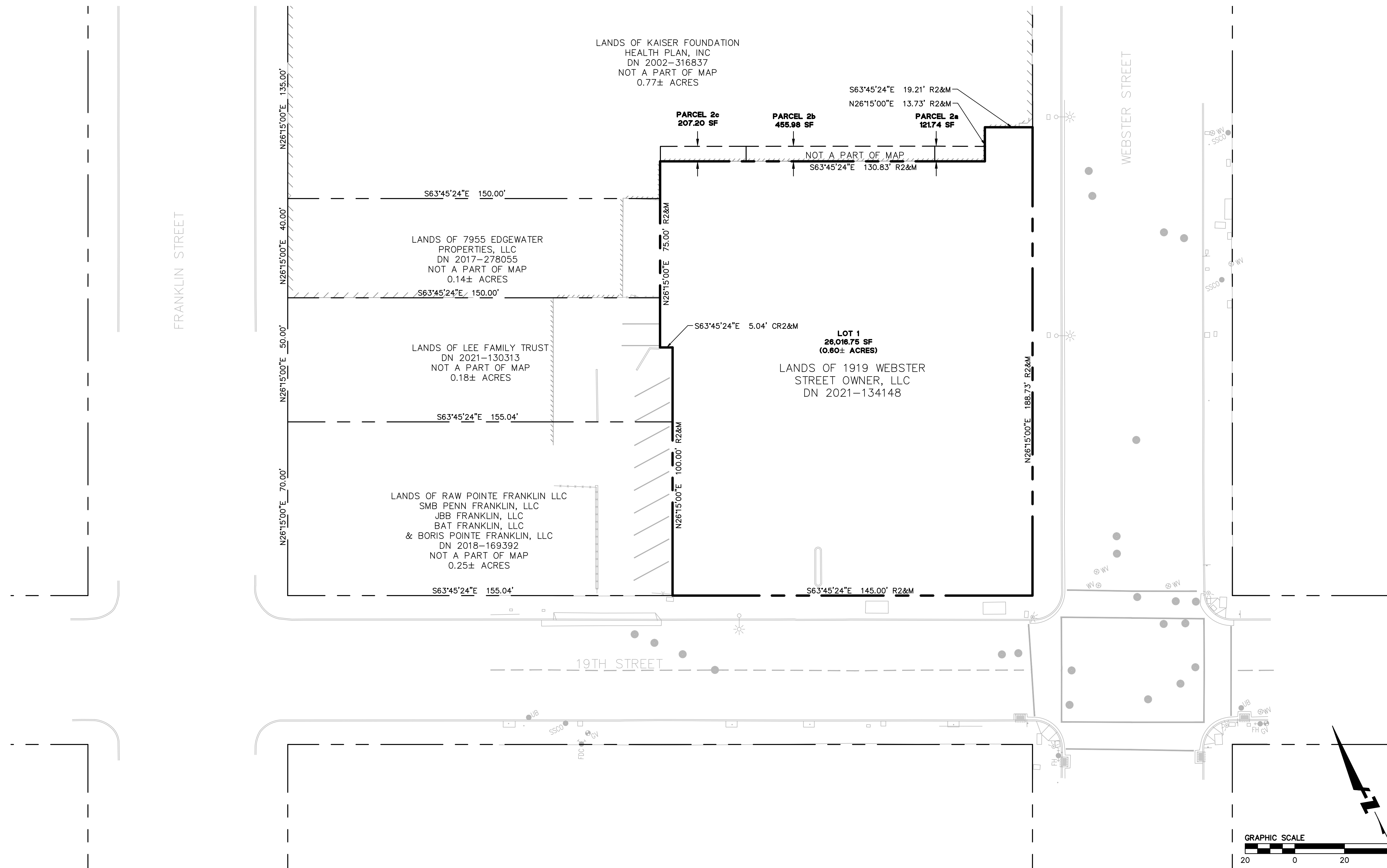
1. **VESTING TENTATIVE PARCEL MAP:**
THIS VESTING TENTATIVE PARCEL MAP IS BEING FILED IN ACCORDANCE WITH CHAPTER 3, ARTICLE 2, SECTION 66452 OF THE SUBDIVISION MAP ACT.
2. **LOT MERGER:**
ALL EXISTING INTERIOR LOTS (PARCELS 1 AND 3) WILL BE MERGED INTO ONE DEVELOPMENT PARCEL.
3. **BOUNDARY:**
BOUNDARY INFORMATION IS BASED ON AN ALTA/ACSM LAND TITLE SURVEY COMPLETED BY BKF ENGINEERS, DATED MARCH 15, 2021.

LINE LEGEND

- PROJECT PROPERTY LINE
- - - OFFSITE PROPERTY LINE
- - - OFFSITE PARCEL AND EASEMENT
SEE TITLE REPORT



SHEET IS IDENTICAL TO SCHEME 1 PLANS
1919 WEBSTER ST.



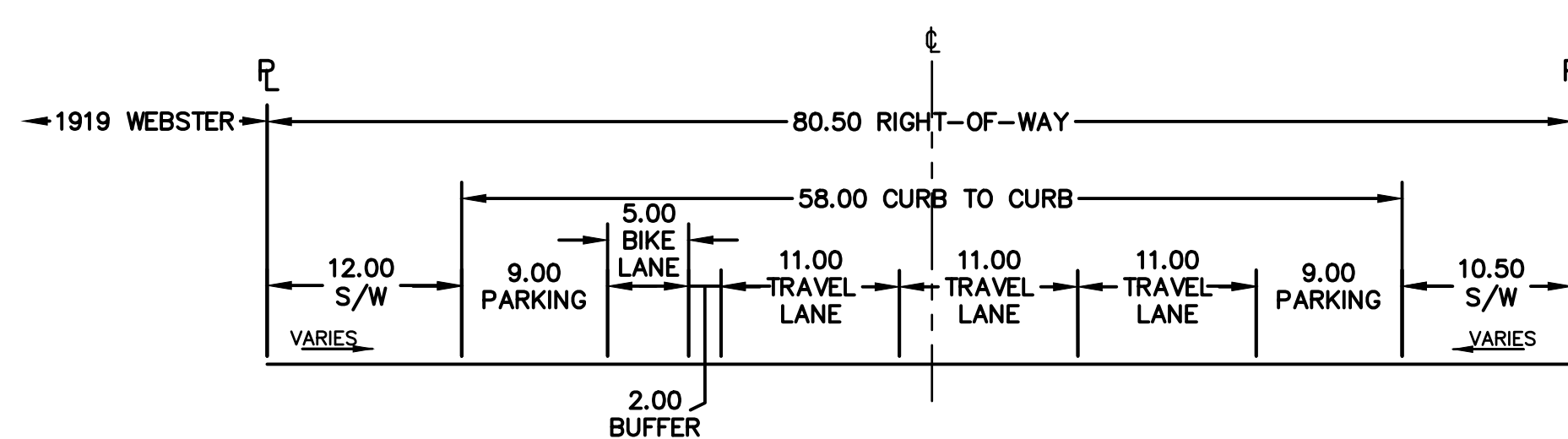
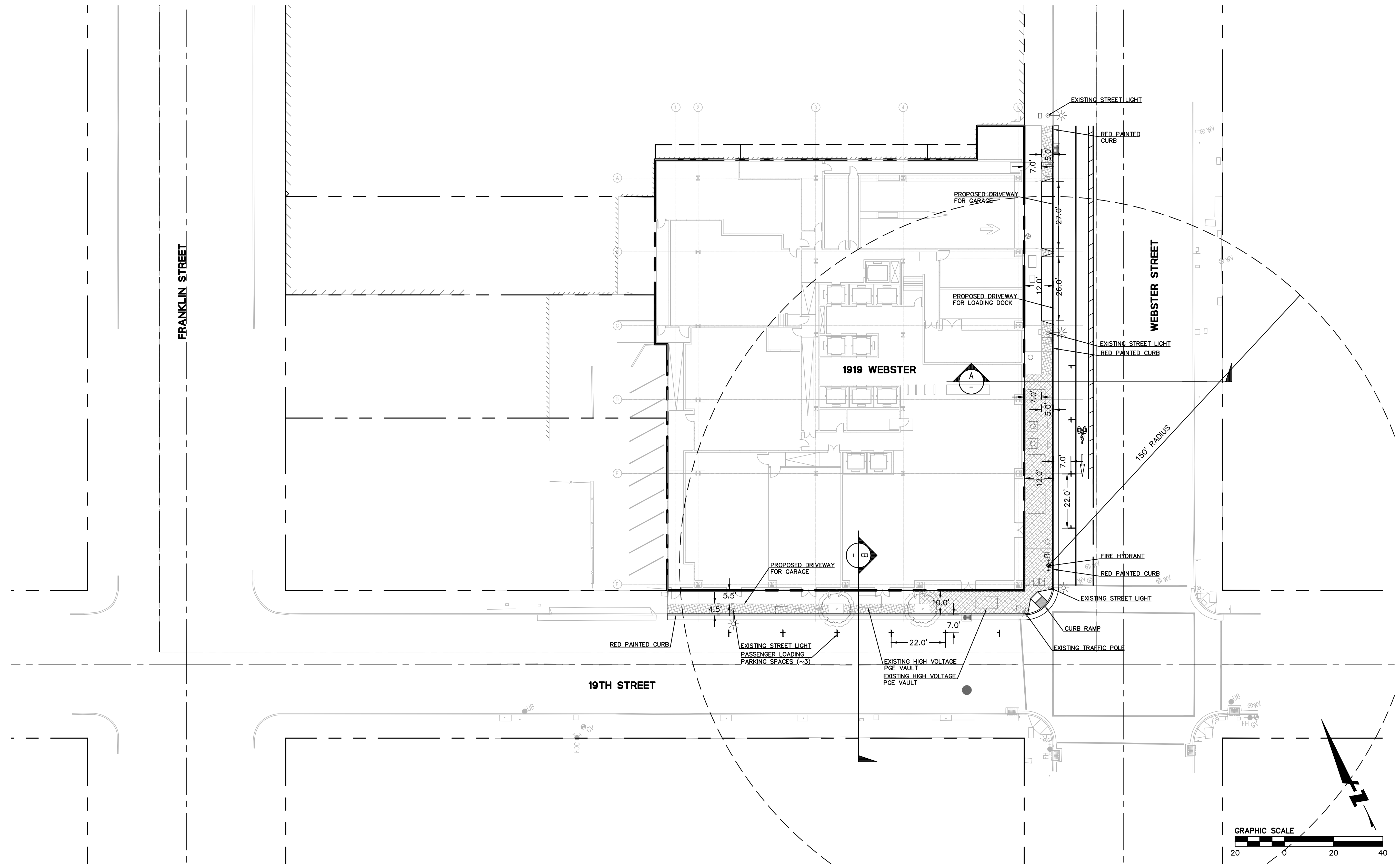
NOTES:

1. **VESTING TENTATIVE PARCEL MAP:**
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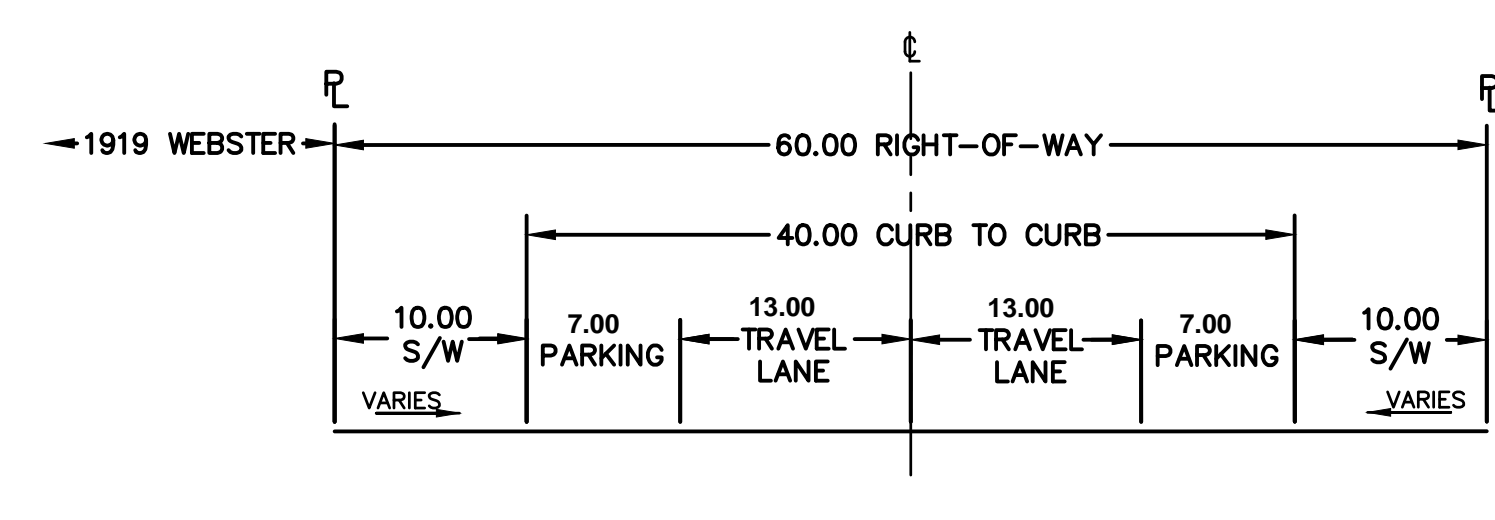
LINE LEGEND

- PROJECT PROPERTY LINE
- OFFSITE PROPERTY LINE
- OFFSITE PARCEL AND EASEMENT
SEE TITLE REPORT

SHEET IS IDENTICAL TO SCHEME 1 PLANS
1919 WEBSTER ST.



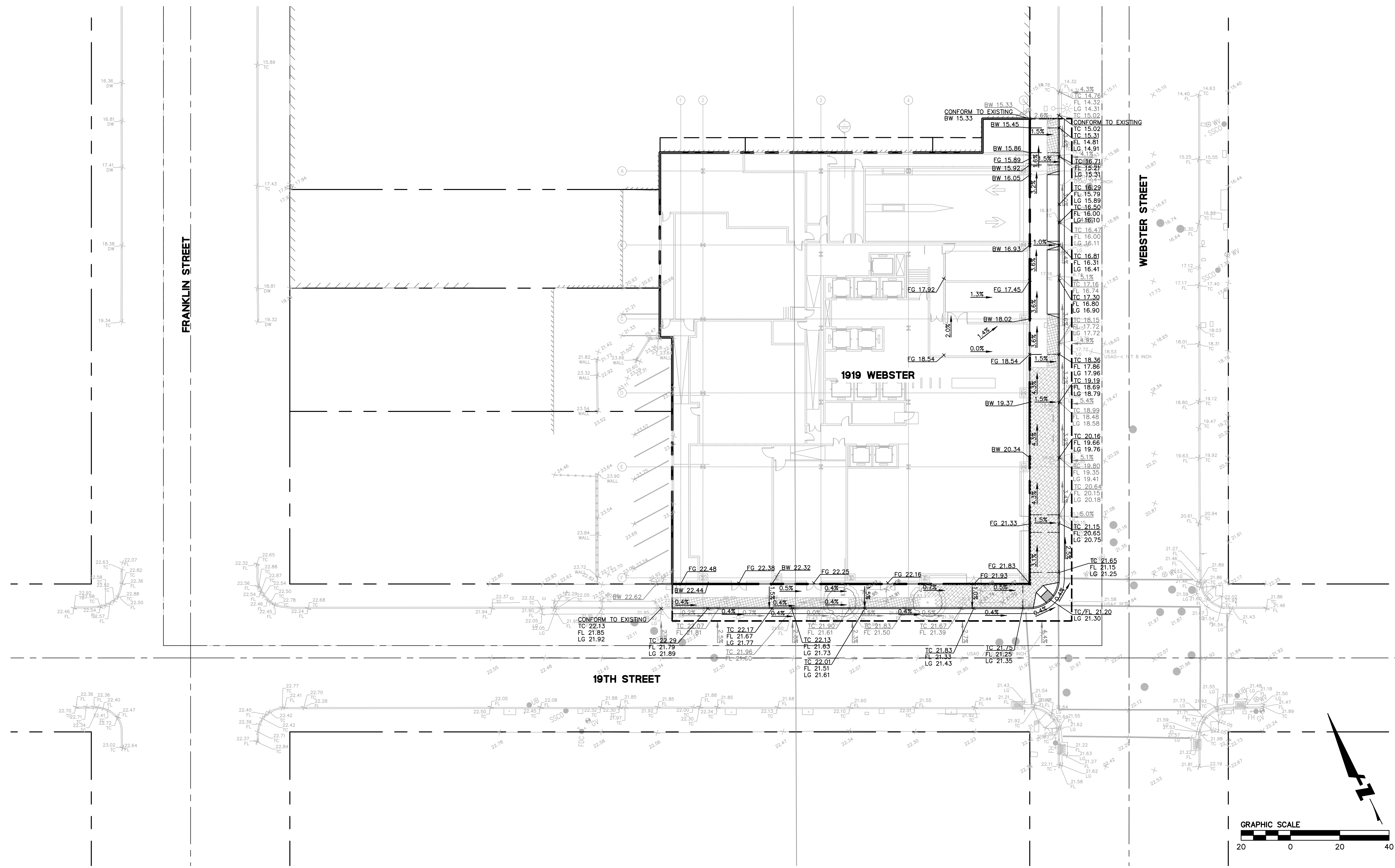
A
 WEBSTER STREET
 SCALE 1"=10'
 (PUBLIC STREET)



B
 19TH STREET
 SCALE 1"=10'
 (PUBLIC STREET)

LINE LEGEND

- PROJECT PROPERTY LINE
- OFFSITE PROPERTY LINE
- OFFSITE PARCEL AND EASEMENT SEE TITLE REPORT



LEGEND

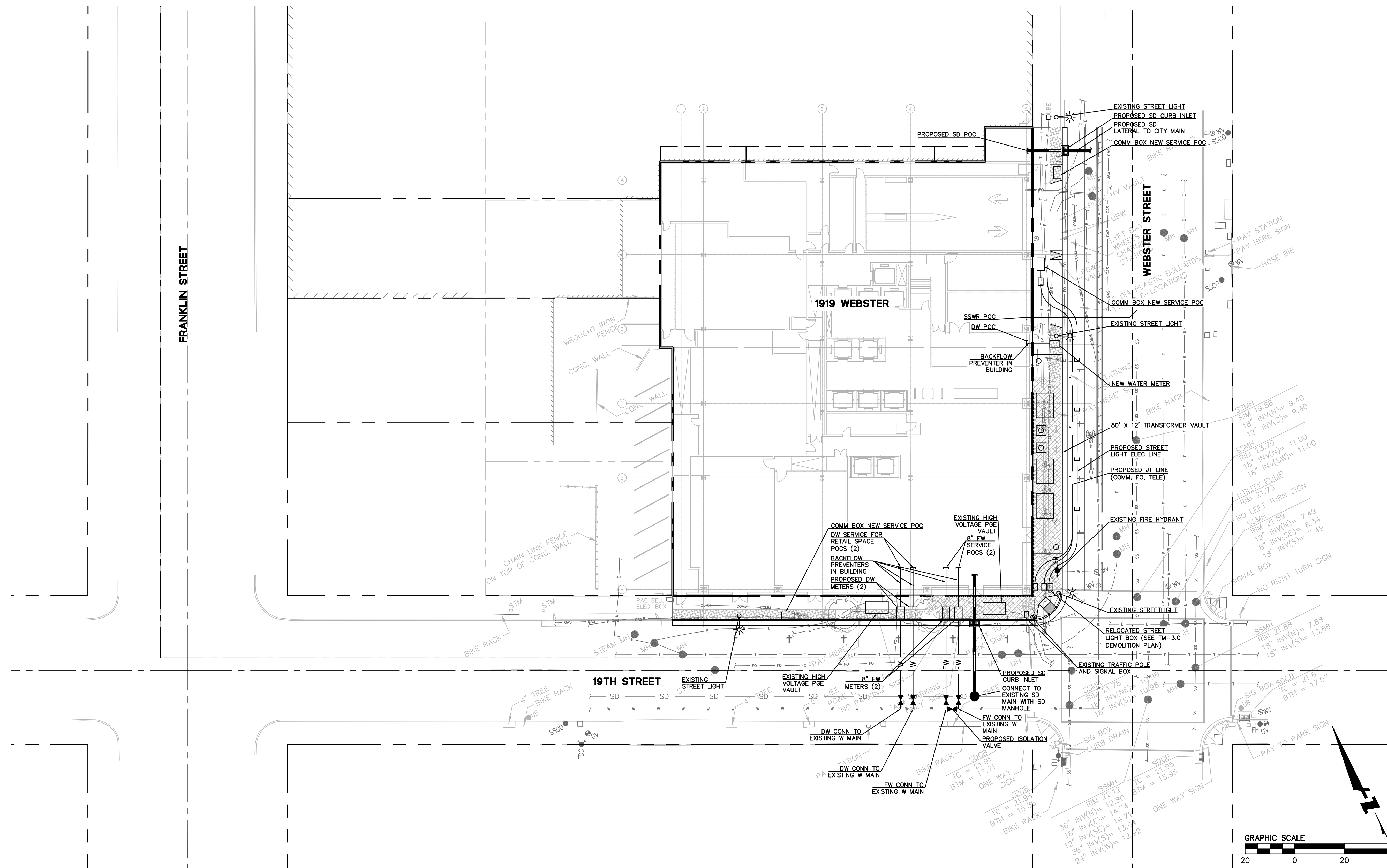
- BW BACK OF WALK
- FFE FINISHED FLOOR ELEVATION
- FG FINISHED GRADE
- FL FLOWLINE
- LG LIP OF GUTTER
- SW SIDEWALK
- TC TOP OF CURB
- X.XX% EXISTING SLOPE
- FG.XX.XX% EXISTING ELEVATION
- X.XX% PROPOSED SLOPE
- FG.XX.XX% PROPOSED ELEVATION
- GRADE BREAK
- SAWCUT/LIMIT OF WORK

LINE LEGEND

- PROJECT PROPERTY LINE
- OFFSITE PROPERTY LINE
- OFFSITE PARCEL AND EASEMENT SEE TITLE REPORT

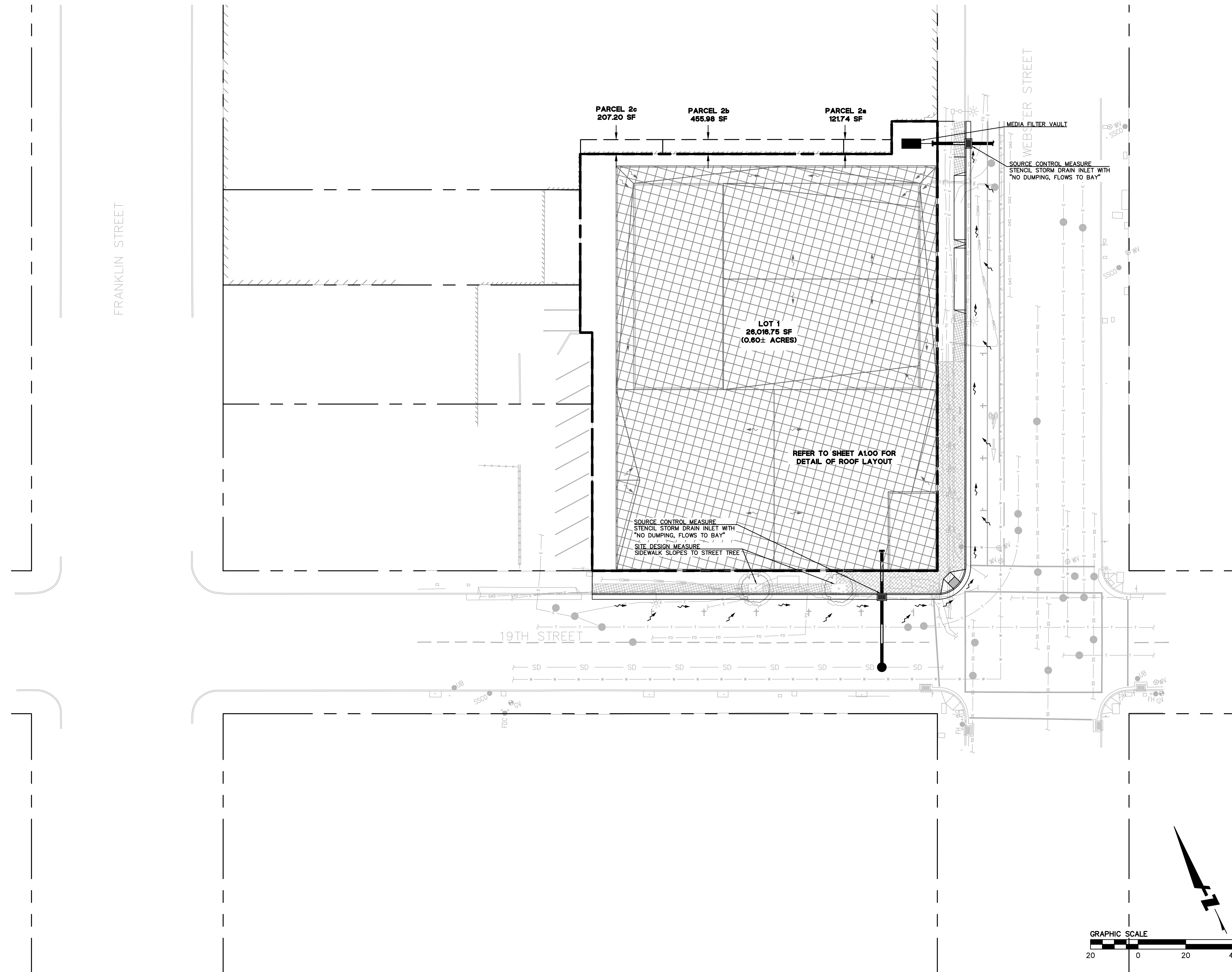
EARTHWORK ESTIMATE:

CUT: 13,500± CY
 FILL: 0 CY
 DELTA: 13,500± CY (CUT)



LINE LEGEND

—	PROJECT PROPERTY LINE
- - -	OFFSITE PROPERTY LINE
- - - - -	OFFSITE PARCEL AND EASEMENT SEE TITLE REPORT



DESIGN RAINFALL INTENSITIES
 $T_c = 5$ MIN
 $i_{10\text{-YEAR}} = 3.48$ in/hr
 $i_{25\text{-YEAR}} = 4.19$ in/hr
 $i_{100\text{-YEAR}} = 5.19$ in/hr

PRE-DEVELOPMENT HYDROLOGY				
SURFACE	AREA (SF)	AREA (AC)	COEFF.	C*A
BUILDING ROOFS	11,517	0.264	0.90	10,365
ASPHALT PAVEMENT	14,500	0.333	0.90	13,050
CONCRETE PAVEMENT	-	-	0.90	-
LANDSCAPE AREA	-	-	0.30	-
TOTAL	26,017	0.597	0.90	23,415

RATIONAL METHOD $Q=CIA$
 $PEAK FLOW_{10\text{-YEAR-EX}} = (0.90)(3.48)(0.597) = 1.871$ CFS
 $PEAK FLOW_{25\text{-YEAR-EX}} = (0.90)(4.19)(0.597) = 2.252$ CFS
 $PEAK FLOW_{100\text{-YEAR-EX}} = (0.90)(5.19)(0.597) = 2.790$ CFS

POST-DEVELOPMENT HYDROLOGY				
SURFACE	AREA (SF)	AREA (AC)	COEFF.	C*A
BUILDING ROOFS	26,017	0.597	0.90	23,415
ASPHALT PAVEMENT	-	-	0.90	-
CONCRETE PAVEMENT	-	-	0.90	-
LANDSCAPE AREA	-	-	0.30	-
TOTAL	26,017	0.597	0.90	23,415

RATIONAL METHOD $Q=CIA$
 $PEAK FLOW_{10\text{-YEAR-PD}} = (0.90)(3.48)(0.597) = 1.871$ CFS
 $PEAK FLOW_{25\text{-YEAR-PD}} = (0.90)(4.19)(0.597) = 2.252$ CFS
 $PEAK FLOW_{100\text{-YEAR-PD}} = (0.90)(5.19)(0.597) = 2.790$ CFS

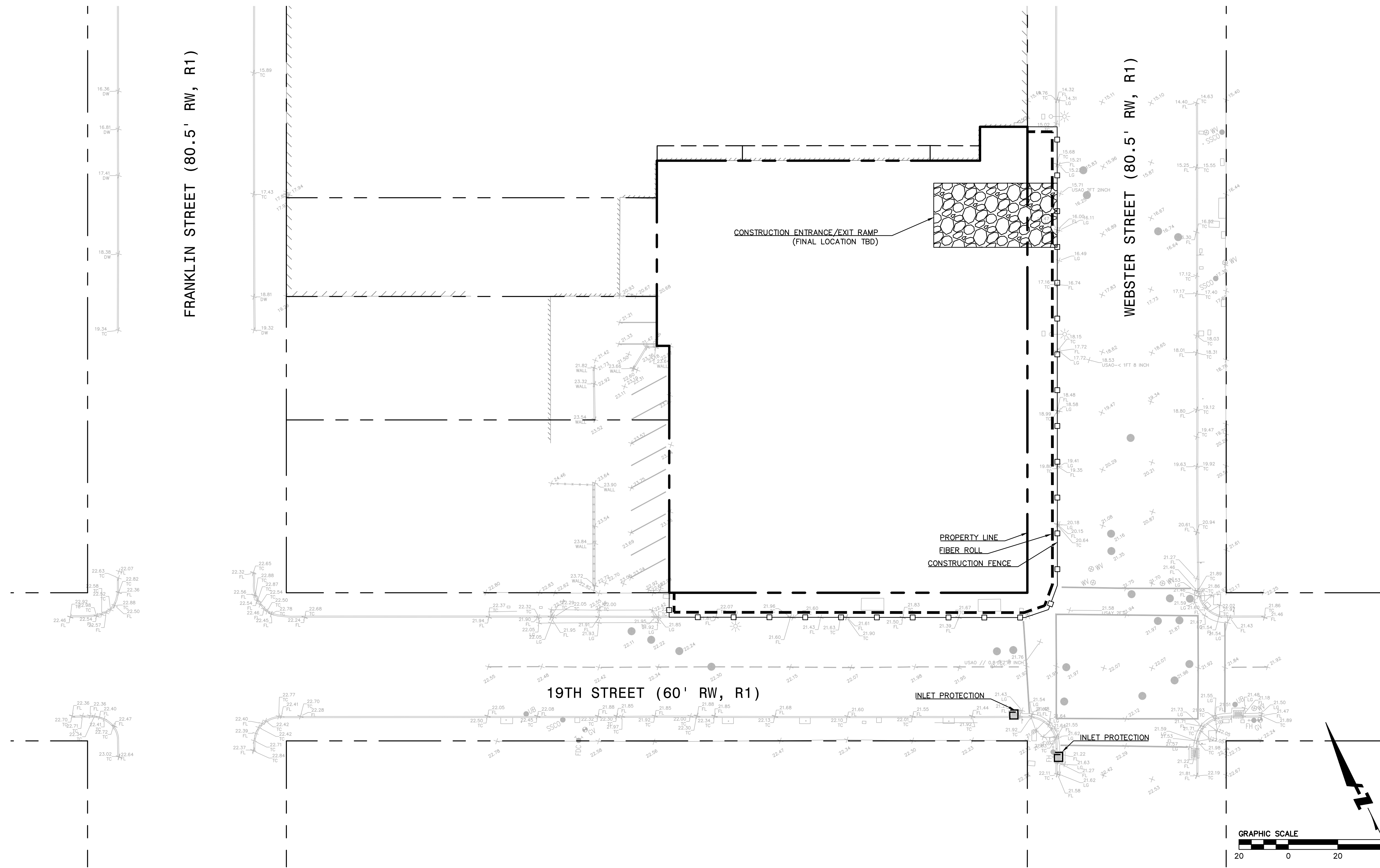
DETENTION VOLUME - 10% FLOW REDUCTION
 $V_{DET\ REQUIRED} = (Q_{PD} - (0.90)Q_{EX}) \frac{1}{2} T_c$
 $V_{DET\ REQUIRED} = (1.871\ CFS - 1.684\ CFS) \frac{1}{2} (5\ MIN)(60\ SEC/MIN)$
 $V_{DET\ REQUIRED} = 85\ CF$
 $V_{DET\ PROVIDED} = 85\ CF$ (DETENTION PROVIDED BY DETENTION TANK IN BUILDING)

ONSITE DRAINAGE MANAGEMENT AREA# 1 SIZING - MEDIA VAULT FILTER
 RUNOFF INFLOW OF 0.2 INCH-PER-HOUR SHALL BE TREATED PER THE ALAMEDA COUNTY COUNTY C.3 GUIDANCE MANUAL. SEE STORMWATER SUPPLEMENTAL FORM FOR ADDITIONAL DETAILS.


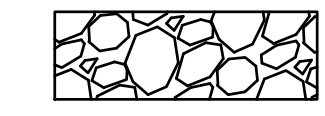
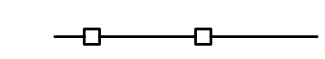

DESIGN RAINFALL INTENSITIES
 $i_{c,3} = 0.20$ in/hr
 RATIONAL METHOD $Q=CIA$
 REQUIRED TREATMENT $FLOW_{c,3} = (0.943)(0.20)(0.597) = 0.108$ CFS

PROVIDED BY 5-CARTRIDGE STACK 4' WIDE CONCRETE VAULT.
 LOCATED WITHIN PROPERTY
 TREATMENT FLOW CAPACITY = 0.114 CFS > REQUIRED TREATMENT FLOW = 0.108 CFS


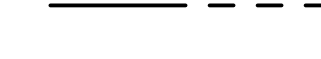

- LEGEND**
- PROJECT BOUNDARY
 - - - STORMWATER MANAGEMENT AREA BOUNDARY
 - ▨ PROPOSED ROOF
 - ◁ STORM DRAIN FLOW DIRECTION
 - ◻ CURB INLET
 - MANHOLE
 - ↘ SURFACE RUNOFF FLOW DIRECTION



EROSION CONTROL LEGEND:

-  FIBER ROLL
-  STABILIZED CONSTRUCTION ENTRANCE/EXIT
-  CONSTRUCTION FENCE
-  INLET PROTECTION

LINE LEGEND

-  PROJECT PROPERTY LINE
-  OFFSITE PROPERTY LINE
-  OFFSITE PARCEL AND EASEMENT SEE TITLE REPORT

EROSION CONTROL NOTES:

1. PROTECT DOWNSTREAM INLETS ON WEBSTER STREET (INLETS NOT SHOWN ON PLAN).

**Design Review Conformance
1919 Webster St. (PLN22006)**

This is a proposal for a 26-floor office tower building with parking garage one level below grade and three above. A series of outdoor balconies are proposed for the corner of the tower at the office floors and a rooftop terrace will also be provided.

Property Development Standards: This property is in both the CBD-P Central Business District Pedestrian Retail Zone and CBD-C Central Business District General Commercial Zone.

	Zone Specific Standards (Sec. 17.58.060 A)			
	CBD-P Zone	CBD-C Zone	Proposed	Compliance Analysis
Permitted and conditionally permitted activities	Administrative Commercial Activity ¹ ; General Retail Sales Commercial Activity; Full-Service Restaurant and Limited Service Restaurant and Café Activities		Office; Retail/ Restaurant/Amenity Space	The Administrative Commercial is a permitted activity. General Retail and Full-Service Restaurant and Limited-Service Restaurant and Cafe activities are permitted in this location.
Permitted and conditionally permitted facilities	Nonresidential Facilities		Enclosed office building	Permitted.

	Permitted/Required			
	CBD-P Zone	CBD-C Zone	Proposed	Compliance Analysis
<u>Minimum and Maximum Setbacks</u>				
Minimum front	0 ft.	0 ft.	0 ft.	Complies
Maximum front and street side for the first story	5 ft.	5 ft.	0 ft.	Complies
Maximum front and street side for the second	5 ft.	5 ft.	0 ft.	Complies

¹ If located both on the ground floor of a building and within thirty (30) feet from any street-abutting property line, these activities are only permitted upon the granting of a conditional use permit (see [Chapter 17.134](#) for the CUP procedure). Incidental pedestrian entrances that lead to one of these activities elsewhere in the building are exempted from this conditional use permit requirement. In addition to the criteria contained in [Section 17.134.050](#), these conditionally permitted ground floor proposals must also meet each of the following criteria: *a.* The proposal will not impair a generally continuous wall of building facades; *b.* The proposal will not weaken the concentration and continuity of retail facilities at ground-level, and will not impair the retention or creation of an important shopping frontage; and *c.* The proposal will not interfere with the movement of people along an important pedestrian street.

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and third stories or 35 ft., whatever is lower				
Minimum interior side	0 ft.	0 ft.	0 ft.	Complies
Minimum corner side	0 ft.	0 ft.	0 ft.	Complies
Rear	0 ft.	0 ft.	0 ft.	Complies
Design Regulations				
Ground floor commercial facade transparency ²	65%	55%	67% on 19 th Street side; 57% on the Webster Street side	Complies
Minimum height of ground floor Nonresidential Facilities	15 ft.	15 ft.	19.8 ft.	Complies
Minimum separation between the grade and ground floor living space	N/A	N/A	No living space is proposed for the commercial building.	Not applicable.
Design Standards Applying to All [CBD] Zones (Sec. 17.58.060 B)				
	CBD-P Zone	CBD-C Zone	Proposed	Compliance Analysis
1. Entrance	Newly constructed principal buildings shall have at least one prominent pedestrian entrance facing the principal street. Entrances at building corners facing the principal street may be used to satisfy this requirement. Building entrances include doors to one or more shops, businesses, lobbies, or living units. Entrances shall be made prominent through some combination of projecting or recessing the door area, change in material, an awning above a door, additional detailing, stairs leading to the door, and/or other features. The		Floor plans show at least one door per street frontage at grade.	Does not comply

² This percentage of transparency is only required for principal buildings that include ground floor Nonresidential Facilities, and only applies to the facade facing the principal street. On all other street facing facades, the requirement is one-half (½) the standard for the facade facing the principal street. The area of required transparency is between two (2) feet and nine (9) feet in height of the ground floor and must be comprised of clear, non-reflective windows that allow views out of indoor commercial space or lobbies. Glass block does not qualify as a transparent window.

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	entrance for Nonresidential Facilities shall be at grade.		
2. Ground Floor Treatment	All ground-floor building materials shall be durable, of high quality, and display a sense of permanence. Such materials include, but are not limited to stone, tile, brick, metal panel systems, glass, and/or other similar materials. Further, the ground level of a newly constructed building shall be designed to enhance the visual experience for pedestrians and distinguish it from upper stories... For buildings with nonresidential ground floor space, visual interest shall also be achieved through modulating the ground floor into a regular cadence of storefront sized windows and entrances.	Material and Color Board lists glass for the exterior of the ground floor lobby, metal screens on the roll-up doors for loading docks, and screen-laminated, frosted glass fins at the parking level screen.	Does not comply
3. Active Space Requirement	For newly-constructed principal buildings, parking spaces, locker areas, mechanical rooms, and other non-active spaces shall not be located within thirty (30) feet from the front of the ground floor of the principal building except for incidental entrances to such activities elsewhere in the building. Driveways, garage entrances, or other access to parking and loading facilities may be located on the ground floor of this area as regulated by Subsection [B4].	The non-active spaces have been located more than 30 feet from the front of the ground floor of the building.	Complies
4. Parking and Loading Location	For newly constructed principal buildings, access to parking and loading facilities through driveways, garage doors, or other means shall not be from the principal street when alternative access is feasible from another location such as a secondary frontage or an alley. Open parking areas shall not be located between the sidewalk and a principal building.	Garage driveways are proposed for both 19 th Street and Webster Street.	Does not comply
5. Massing	The mass of newly-constructed principal buildings shall be broken up into smaller forms to reduce the	The design is a rectangular, glass column with	Complies

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	scale and enhance the visual interest of the streetscape. The massing requirements contained in this note shall be applied on all visible facades and achieved through some coordinated combination of changes in plane, building articulation, varied materials, contrasting window patterns and treatments, varying roof heights, separating upper-story floor area into two or more towers, contrasting colors, a distinct base, middle, and top, or other methods.	balconies that straddle the corner of the building.	
6. Upper Story Windows	An ample placement of windows above the ground floor is required at all street-fronting façades. To create visual interest, the placement and style of windows shall contribute to a coherent and appealing composition on the facade. Less window space is only permitted in exceptional cases if it contributes to a specific objective of the visual style and aesthetic effect of the building. Whenever possible, windows should be on all sides of a tower.	The proposed design includes ample window placement above the ground floor on street-fronting façades.	Complies
7. Building Terminus	The top of each newly-constructed principal building shall include an element that provides a distinct visual terminus. The visual terminus shall be integrated into the design concept of the building. Examples include, but are not limited to, curvilinear or stepped forms that soften the truncated tops of buildings, cornices, and other architectural forms. These rooftop elements shall be sized, shaped, and sited to screen all rooftop mechanical equipment from view.	The roof features a visible trellis/canopy and a terrace.	Complies
8. Utility Storage	For newly-constructed buildings, areas housing trash, storage, or other utility services shall be located in the garage or be otherwise completely concealed from view of the public right-of-way. Backflow prevention devices shall be located	Proposed subsurface transformer vault to be located under the public right-of-way of Webster Street.	Complies.

**Design Review Conformance
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	in a building alcove, landscaped area, or utility room within the building, outside of the public right-of-way, and completely screened from view from the public right-of-way unless required otherwise by a department of the City.			
	Height/Bulk/Intensity Area (Sec. 17.58.060 C)			
	Height Area 7		Proposed	Compliance Analysis
Maximum Height – Building base	120 ft.		63.9 ft.	Complies.
Maximum Height - Total	No height limit		400.8 ft.	Complies.
Minimum Height- New principal buildings	45 ft.		400.8 ft.	Complies.
<u>Maximum Lot Coverage</u>				
Building base (for each story)	100% of site area		Approx. 97%	Complies.
Average per story lot coverage above the building base ³	85% of site area or 10,000 sf., whichever is greater		Approx. 92 % (24,000 sf)	A minor variance would be required for the proposed average per story lot coverage above the building base.
<u>Tower Regulations</u>				
Maximum average area of floor plates	No maximum		22,472 sf	Complies
Maximum tower elevation length	No maximum		337 ft.	Complies
Maximum diagonal length	No maximum		217 ft	Complies
Minimum distance between towers on the same lot	No minimum		N/A	N/A
Off-street Parking Requirements Commercial Activities (Sec. 17.116.080)				
Regulation/Standard	CBD-P Zone	CBD-C Zone	Proposed	Compliance Analysis
Minimum Total Parking Required	None	None	158 spaces	Complies. The proposed parking spaces exceed the minimum parking required.
Off-street Loading Commercial Activities (Sec. 17.116.140)				

³ Additional Regulation #6. The average floor plate of an individual tower cannot exceed this area, with the following qualifications: a. The floor area of an individual tower floor plate cannot be more than fifteen percent (15%) greater than the maximum average tower floor plate; b. An individual tower floor plate that is more than fifteen percent (15%) less than the maximum average tower floor plate is not included in the maximum average tower floor plate area calculation.

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Commercial Activity and Floor Area of Facilities Occupied (Administrative)	160,000 square feet or more three (3) berths are required	Two loading berths are proposed.	A minor variance would be required.	
Bicycle Parking Requirements Commercial Activities (Sec. 17.111.110)				
Regulation/Standard	CBD-P Zone	CBD-C Zone	Proposed	Compliance Analysis
<u>Office</u>				
Long-term Bicycle Parking Requirement - Administrative	1 space for each 10,000 square feet of floor area. Minimum citywide requirement is 2 spaces.		Approx. 82	Complies
Short-term Bicycle Parking Requirement - Administrative	1 space for each 10,000 square feet of floor area. Minimum citywide requirement is 2 spaces.		8 spaces; A minor variance is proposed.	Does not comply. The proposed number of short-term bike spaces does not comply, nor is shown on the plans. Minor variance is required.
<u>Retail</u>				
Long-term Bicycle Parking Requirement	1 space for each 12,000 square feet of floor area. Minimum citywide requirement is 2 spaces.		82	Complies
Short-term Bicycle Parking Requirement	1 space for each 12,000 square feet of floor area. Minimum citywide requirement is 2 spaces.		8 spaces; A variance is proposed.	Does not comply. The proposed number of short-term bicycle parking has not provided. Minor variance is required.
Regular Design Review Criteria for Non-Residential Design Review Findings (Sec. 17.136.050 (B))				
Regulation/Standard			Proposed	Analysis
1. That the proposal will help achieve or maintain a group of facilities which are well related to one another and which, when taken together, will result in a well-composed design, with consideration given to site, landscape, bulk, height, arrangement, texture, materials, colors, and appurtenances; the			The proposal includes landscaping at the roof and a contemporary design.	Does not meet this finding. The elevations need enhanced or more refined details for the louvered windows and entrance of the base and design should exhibit a clear relationship to the surrounding structures,

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<p>relation of these factors to other facilities in the vicinity; and the relation of the proposal to the total setting as seen from key points in the surrounding area. Only elements of design which have some significant relationship to outside appearance shall be considered, except as otherwise provided in Section 17.136.060;</p>			<p>especially in relation to the nearby historic buildings and retail/commercial buildings.</p>
<p>2. That the proposed design will be of a quality and character which harmonizes with, and serves to protect the value of, private and public investments in the area;</p>		<p>The design of the building proposes metal and glass, column or box-like design.</p>	<p>Does not meet this finding. The proposed design lacks ornamentation or details of same on the elevations making the quality and character of the design unclear how it may serve to protect the value of private and public investments in the area.</p>
<p>3. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.</p>			<p>Does not meet this finding. The design conforms to the criteria of the General Plan, but more detail on the base of the building is required for staff to discern if the proposal conforms with CBD design guidelines.</p>