

BROOKLYN BASIN - PARCEL E

Planning Commission Submittal



August 16, 2022

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Goals and Vision

SUMMARY

Brooklyn Basin is establishing a vibrant new mixed-use neighborhood on the Oakland Estuary and this project brings a diversity in housing type serving an increasing population of seniors in the region. This unique location puts seniors at close proximity to cultural, commercial, and recreational activities important to their quality of life. The building will offer independent, assisted and memory care housing allowing residents to age-in-place.

DESIGN GOALS

Brooklyn Basin has established urban design principles, concepts and guidelines to carry out their vision. It is our responsibility to see that this is carried out in the immediate context of the block we will occupy.

- Create an appropriate site response to three distinct urban edges

The site is triangular with three very different urban edges.

The north side faces 8th Avenue and opposite to other mixed-use residential buildings. We locate the main entry and atrium toward this urban edge. Vehicular drop-off, reception, offices and other support spaces are located on this side of the building. Two stories of brick, storefront windows, and steel canopies reflect the commercial nature of the use.

The east side of the site fronts a unique, intimately scaled, pedestrian mews which connects to Shoreline Park. Residential flats with small patios are positioned to take advantage of this amenity giving all residents direct access. Some upper level units have decks facing the mews creating activity and “eyes on the street”.

The southwest portion of the site facing 9th Ave and Shoreline Park is the premier elevation with unobstructed views to the Oakland Estuary. Ground level units have small patios and front doors off of 9th giving the building an active/residential streetscape. A series of bays interrupt a two story brick framework giving the appearance of town or row houses.

- Exploit the view

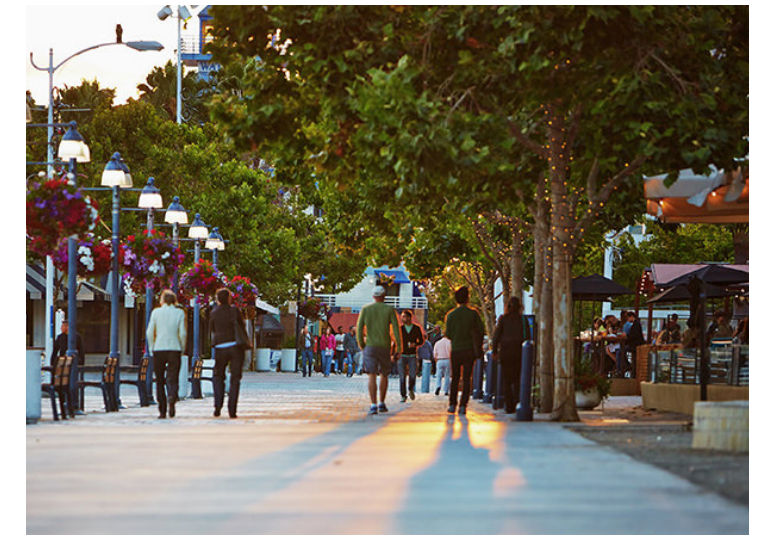
While the first two floors create a urban residential street edge, the upper level massing is pushed away from the view to increase premium view units and to create a large landscaped roof terrace allowing all residents some connection to the view. Resident common amenity space is located on level 3 so bistro, living, and dining all have spill out space to the terrace.

- Connect to Shoreline Park

Shoreline Park is directly to the southwest of our project and is “a grand civic space oriented to the open water of Brooklyn Basin. The park is designed to accommodate large celebrations, concerts, water festivals, as well as day-to-day activities, such as informal play and passive recreation.” It is paramount that our building be connected both visually and physically to this park, so that our senior residents are frequent patrons of the park and all it has to offer. Several building entries are strategically positioned giving residents’ convenient access to the park. Crosswalks connect from the pedestrian mews, mid-block on 9th Ave, and on the corner of 8th and 9th Ave directly to the park. The third level roof terrace has sweeping views of the park.

- Maintain a functional senior community

Senior housing has challenges unique to an aging population. Unlike typical multifamily housing the building contains a full commercial kitchen providing 3 meals a day, a sizeable staff, and many additional amenities for daily living. With such a prominent site we have internalized back-of-house so that the entire streetscape remains active and without blank facades. Deliveries, trash pick-up, and vehicular access is all reduced to one curb cut and discreetly placed to minimize disruption. Residential units and active amenity populates the exterior to enhance the streetscape and maximize resident connection to their greater community.



Design Guidelines Analysis

Code Standard	Guidelines Description	Proposed	Status
Urban Design Principles pg. 3 (5)	Introduce a mix of housing that supports a diverse population of residents and that promotes a day and nighttime environment along the waterfront	Residential Care: R2.1 Senior Assisted Living and Memory Care	Compliant FDP pg. 2
Urban Design Principles pg. 3 (6,7,8)	Maintain and enhance public views to the waterfront. Configure and design buildings to spatially define and reinforce the public character of streets and open spaces. Introduce ground level activities that enliven streets and public spaces.	The first two floors create an urban residential street edge, the upper level massing is pushed away from the view to increase premium view units and to create a large landscape roof terrace allowing all residents some connection to the view.	Compliant FDP pg. 1
Urban Design Principles Public Streets and Pedestrian Ways pg.7,9	Ninth Avenue forms a strong public edge to Shoreline Park and a direct and welcoming entrance to the community from the Embarcadero. Eight Avenue: the Street will have an urban village Character, with tree lined sidewalks defined by ground level lobbies townhouses and loft units Pedestrian Mews: Complementing and extending the public street network, a series of more intimately scaled pedestrian streets will offer additional access through the community and waterfront	The buildings premiere elevation facing 9th ave. has unobstructed views to the Oakland Estuary. Ground level units have small patios and front doors give the building an active/residential streetscape. The main entry and atrium are located on 8th Ave. Vehicular drop-off, reception, offices and other support spaces are located on this side of the building. Two stories of brick, storefront windows, and steel canopies reflect the commercial nature of the use. Intimately scaled residential facades with small patios are positioned to take advantage of the mews giving all residents direct access. Some upper level units have decks facing the mews creating street activity and allowing "eyes on the street".	Compliant FDP pg. 7
Housing Opportunities pg. 11	Townhouse Style Units...activate sidewalks along the pedestrian mews and along the other internal streets of the community. Podium Units... will come in a full range of sizes and such will serve a broad segment of the population including seniors. Many of these units will enjoy direct views to the waterfront and/or internal courtyard open spaces with resident serving amenities.	A series of bays interrupt a two story brick framework at ground level giving the appearance of town or row houses. Unit mix includes Studios, 1 and 2 bedrooms. The massing of the building allows for uninterrupted views at upper levels.	Compliant FDP pg.7/17-23
Spatial Definition pg. 13	Buildings will generally be built to property lines of streets and parks. Building walls will become lively and delightful edges to streets and open spaces through the variation of building materials and planes, and the introduction of architectural elements like balconies, loggias, moldings, step backs, etc.	Setbacks: 8th Ave: 0' 9th Ave: 5' Mews: 20' Wall Materials include brick, lap siding and stucco.	Compliant
Design Intent: pg.15 (b,c)	Corner locations, visual termini, major entries and other visible building frontages should receive spatial emphasis and treatment A varied building silhouette is encouraged through significant changes in massing at rooflines	Main entry is located at 8th Ave within the atrium space. Massing of the building is significantly pushed back on upper levels to create an uninterrupted view for units and a large courtyard on the podium level.	Compliant FDP pg.7
Overall Building Height pg. 19	Predominant building height within the Brooklyn Basin community is 86 feet	Building Height: 85 feet	Compliant FDP pg. 25
Variation in Street Wall Building Volume and Plane pg. 19(1,2)	Building should introduce a differentiated architectural expression and/or step at least 5 feet above a height of 65 feet Significant changes in building massing should be provided above a height of 30 feet.	Level 6 and 7 step back 5ft on mews and 8th Ave side. The upper levels 3-7 are pushed back creating an open space courtyard on level 3.	Compliant FDP pg. 12

Parking Garage Facades pg. 21 (1,2,4)	Parking garage should be architecturally integrated with the façade of the occupied space served by the garage. Patterns of openings at garage facades should be similar in rhythm and scale to other opening within the building Awnings, canopies, sunscreens planters, ornamental railings and other elements should be utilized to provide visual richness.	Residential units and lobby space wrap the parking to create an active streetscape. Openings at garage follow the brick bay pattern set throughout base of building. Elevation on 8th ave includes canopies along façade giving street frontage a commercial feel.	Compliant FDP pg. 10, 31
Windows: pg.22 (4)	Curtain wall glazing should be primarily utilized on the upper portions of buildings where vertical expression is more desirable.	Glazing is provided at courtyard level opening the views of the amenity space and at the atrium space on 8th Ave, creating a grand entrance feel to the building	Compliant FDP pg.7,17-23
Building Orientation and Public Realm: Pg.28-31	Mixed use street: Frontage should include one or more of the following: Residential lobbies with articulated building entries that provide a welcoming gesture to the street. Individual entries with stoops connecting to the public sidewalk are encouraged. Street fronts should incorporate landscaping in the front yard setbacks including planting beds, hedges, planters, etc. Mews Edges: Entries with stoops connection to the public sidewalk should be provided as a primary entrance to the residential unit at intervals no less than 50 feet. The mews should incorporate landscaping along the building fronts between entries including planting beds, hedges, planters, etc. Waterfront/Park Edges: Second level terraces and balconies that overlook the open space and provide a sense of security are also enclosed. Articulated building entries should be provided wherever appropriate, at intervals of at least 200 feet or one per block face.	Lobby is located within the 3 level atrium on 8th Ave. Level 6 and 7 setback 5' from street view. Ground level units have entry doors at street frontage. Mews Street is lined with trees as per master plan. Units at ground level have entries at mews front. Some upper level units have decks facing the mews creating activity and "eyes on the street". Mews landscaping integrates balconies and entrance to design. Ground level units have small patios and front doors off 9th giving the building an active/residential streetscape. Second level fats all have large windows and outdoor decks. A series of bays interrupt a two story brick framework giving the appearance of town or row houses.	Compliant FDP pg. 5
Service Area pg. 33	The aggregate width of service doors should not exceed fifteen feet withing 60 feet of any frontages Doors exceeding 30 square feet in area should be recessed a minimum of six inches from the primary building plane	Garage and Commercial loading entries are recessed and all service areas are wrapped by lobby and residential units	Compliant FDP pg. 7
Waste Handling Areas pg.33	All waste handling areas should be either enclosed in the structure of the building or screened by a wall or fence consistent with the architectural character of the building...	Trash room is located inside parking garage.	Compliant FDP. Pg 7

Project Information

PROJECT DESCRIPTION

The project has a total of 191 units with a mix of studios, one bedroom, two bedroom and memory care units. There is a total of seven levels; levels 1 through 3 are type IA construction and levels 4 through 7 are type IB. This building includes a variety of amenity spaces for its residents, including a landscaped roof terrace on the third and fourth levels.

Site Address: 8th Ave, Oakland, CA. 94606
 Site Area: 51,636 SF
 Total Units: 191 Units

ZONING AND DESIGN GUIDELINES SUMMARY

Zoning: PWD- 4 (D-OTN)

Permitted Use and Density:

As per the PWD-4 zoning regulations, the maximum number of residential units allowed for the entire Brooklyn Basin development is 3,100 units. Unused parcel densities may be transferred to another parcel. The number of dwelling units per parcel may increase or decrease provided that the number of dwelling units being transferred does not exceed more than 33% of the allocation of the development parcel receiving the transferred units.

Table A shows the current approved density distribution across 13 parcels.

Table B shows density transfer to parcel E from parcel M

**The project has 24 memory care units designated as Residential Care, these are included in density calculations.

Building Dimensions:

Height: Max. Allowed: 86 FT
 Proposed: 81 FT

Street Wall Setback:

Mews Required: 20'
 Mews Provided: 20'-6"

Open Space:

Required: 150 SF per residential unit
 191 units x 150 SF = 28,650 SF

Provided:

Group Usable Open Space (Courtyards): 13,110 SF
 Private Open Space (Resident Balconies):
 8,858 SF x 2 (SF credit) = 17,716 SF

Total Open Space: 30,826 SF

Vehicle Parking: Required:

Residential = 1 stall/ unit
 191 Units (167 AL + 24 MC)
 Reduction per. SMC.17.116.110.A.
 Parking for senior housing can be reduced by up to 75%
 191 x 75% Reduction = 48 Stalls
 Employee = 1 stall per 3 employees
 36 employees / 3 = 12 stalls required

Total Required: 60 stalls
 Total Provided: 100 stalls

Bicycle Parking: Required:

Short Term (Visitors): 1 per 20 units (min. 2)
 191/20 = 10 spaces
 Long Term (Employees): Min. 2 spaces or 5% of required parking (whichever is greater).
 5% of 36 = 2 spaces
 Long Term (Residents): 1 per 10 units. Min 2.
 191/10 = 20 spaces

Total required: 32 spaces

Provided:

22 secure bicycle stalls - Wall rack system (48" min. aisle width, 78" max. aisle width)
 10 bicycle stalls (Exterior) at main entrance

Trash/Recycling Storage Areas:

Required:
 Trash: 4.3 Cu. Ft/Unit = 822 Cu. Ft = 31 Cu. Yard
 Recycling: 2 Cu. Ft/Unit = 382 Cu. Ft = 15 Cu. Yds

Provided:

Trash: 32 Cubic Yards
 Recycling: 16 Cubic Yards

PROJECT DATA

PROJECT GROSS FLOOR AREA: (in Square Feet)

Floor Level	parking	residential	leasable storage	common amenity	circulation	BOH/MEP	TOTAL
L1	14,422	15,824		4,603	2,862	4,180	41,891
L2		16,210	1,556	9,605	6,967	2,117	36,455
L3		11,525		10,355	4,272	1,811	27,963
L4		20,352		3,045	4,163	316	27,876
L5		23,997			4,022	337	28,356
L6		21,581		180	4,115	424	26,300
L7		21,760			4,201	337	26,298
TOTAL	14,422	131,249	1,556	27,788	30,602	9,522	215,139

215,139

courtyards	Residential Balconies/ Patios*	# of Balconies/ Patios	Totals
	704	21	704
1,395	526	8	2,447**
10,925	2,036	13	14,997
790	778	13	2,346
	1,518	23	3,036
	3,210	28	6,420
	790	10	1,580
13,110	9,562	116	31,530

* Each square foot of Private Useable Open Space is conforming to the requirements in Section 17.126.040 shall be considered equivalent to two square feet

Total Open Space Required 28,650

**Level 1 Patios do not count towards required open space calculations

UNIT INFORMATION

Unit Distribution

	MC	Studios	1 br	1 br + den	2 br	TOTAL
L1		4	7	1	7	19
L2	24	5	6		1	36
L3		5	8		3	16
L4		4	18		5	27
L5		5	19	1	6	31
L6		5	21		5	31
L7		5	20	1	5	31
TOTAL	24	33	99	3	32	191

191

Unit Mix

Unit Type	# of Units	%
MC	24	
Studios	33	19.8%
1 br	99	59.3%
1 br + den	3	1.8%
2 br	32	19.2%
Totals	191	100.00%

Average Unit Size

Res	# of Units	Avg. GSF
131,249	191	687

Average Unit Size

Unit Type	Avg. GSF
MC	336
Studios	478
1 br/ 1 ba	696
1 br + den	1082
2 br/ 2 ba	1097

PARKING INFORMATION - VALET SCHEME

Parking Level	Automated Parking System		
	PARKLIFT	SMALL PARKLIFT	ADA Stalls
L1	78	18	4
TOTALS	78	18	4
	total parking		100

DENSITY ALLOCATION TABLES

TABLE A	Acreage	2009	
		Allocation	Original DU/acre
A	2.38	407	171
B	1.53	175	114
C	1.48	175	118
D	1.46	175	120
E	1.2	131	109
F	1.75	165	94
G	2.7	300	111
H	2.08	375	180
J	1.84	339	184
K	1.69	322	191
L	1.45	146	101
M	2.6	390	150
TOTAL	22.16	3100	

TABLE B	Acreage	Current	% change	Current DU/acre
A	2.38	254	-38%	107
B	1.53	241	38%	158
C	1.48	241	38%	163
D	1.46	232	33%	159
E	1.2	191	46%	159
F	1.75	211	28%	121
G	2.7	371	24%	137
H	2.08	380	1%	183
J	1.84	378	12%	205
K	1.69	231	-28%	137
L	1.45	146	0%	101
M	2.6	224	-43%	86
TOTAL	22.16	3100		140

Development Plan Checklist

	Project Items	Response
1	The location of all public infrastructure that provides water, sewage, and drainage facilities and other utility services	See Civil sheets C2.0 FDP(pages 43&44)
2	The location of all private infrastructure that provides gas, electric and other utility services.	See Civil sheets C2.0 FDP(pages 43&44)
3	The location of all shoreline improvements and remediation plans.	See Master Development Plans and Permits
4	Detailed building plans, elevations, sections and a description of all exterior building materials if a development project is included with the Final development plan. The application for the first building proposed in a phase must show the conceptual building massing, heights, and rooflines of future buildings	See FDP packet; Plans on pages 21-28; Sections on pages 29-30; Materials on page 32; Elevations on pages 33-38
5	Landscape plans, and buffering plans, if required, prepared by a landscape architect, if a development project is included with the Final Development Plan.	See FDP packet; pages 46-50
6	The character and location of signs.	See FDP packet; Page 41
7	Detailed improvement plans for all public and private streets, driveways, sidewalks, pedestrian and bikeways, and off-street parking and loading areas.	See Civil sheets C2.0 FDP (pages 43-44)
8	Detailed improvement plans for all parks and open space areas, including programmed activities and the Bay Trail;	See Master Development Plans and Permits
9	Detailed demolition plans for the appropriate phase;	Not Applicable, vacant site, no proposed demolition
10	Grading and soil remediation plans approved by the appropriate agency, other earth moving plans, if appropriate, including estimated quantities and the grading schedule for the appropriate phase;	See Master Development Plans and Permits; that had a geotech and soil remediation report done for the entire area as part of the Master development plan
11	The public facilities financing plan for the appropriate phase approved as part of the Preliminary Development Plan modified as necessary to reflect changed conditions or new information.	This particular project will be privately financed.
12	Plan references to all improvements for the appropriate phase required for the Vesting Tentative Tract Map 7621 approved on June 20, 2006 and as may be amended.	This project will not be phased; Please see FDP packet; (pages 21-28)

Master Site Plan



Site Context



A. Aerial View Looking North



B. Aerial View Looking at Shoreline Park



C. Aerial View Looking Northwest



D. Aerial View Looking Southeast

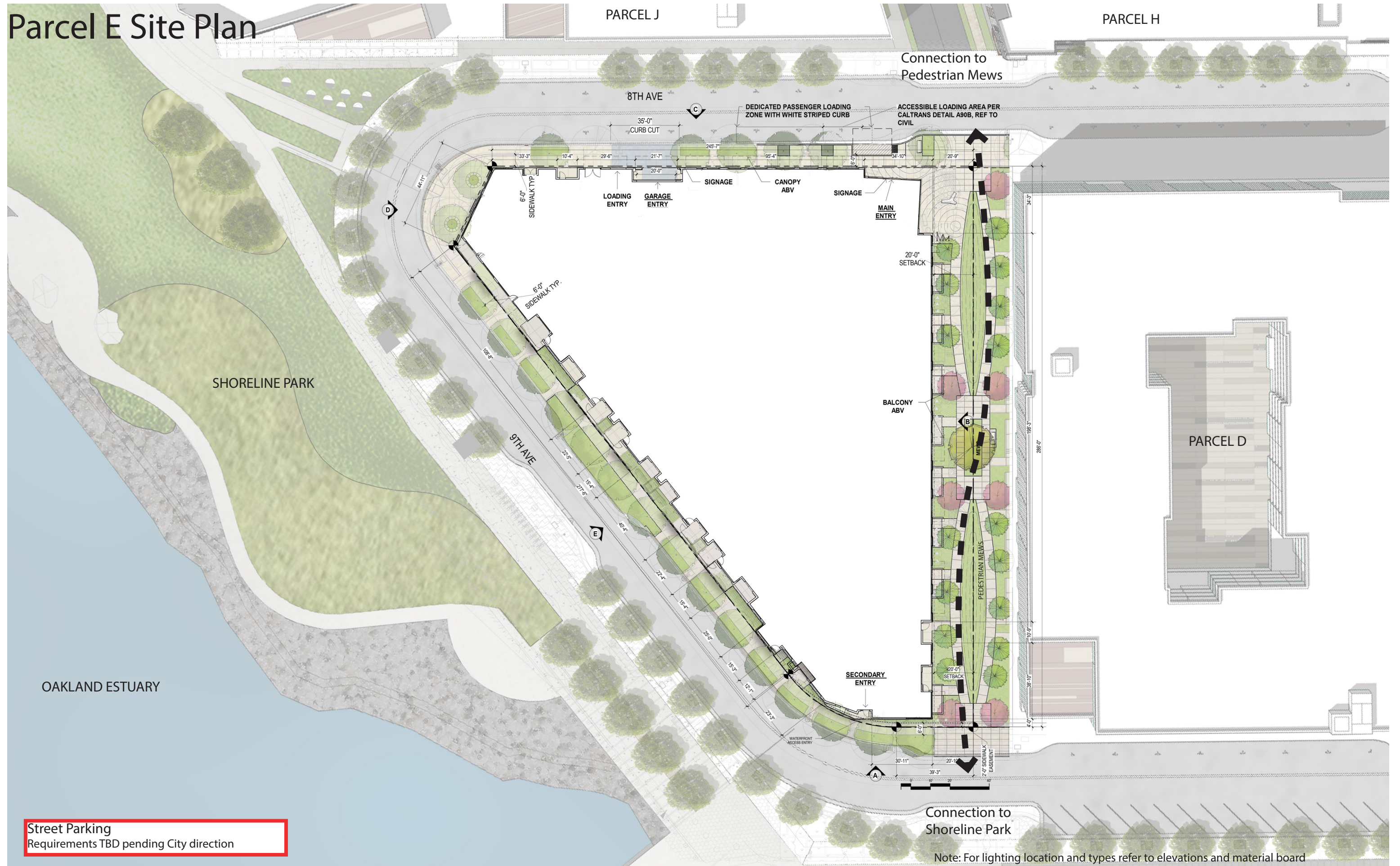


E. Street View Looking Northeast from 8th Ave

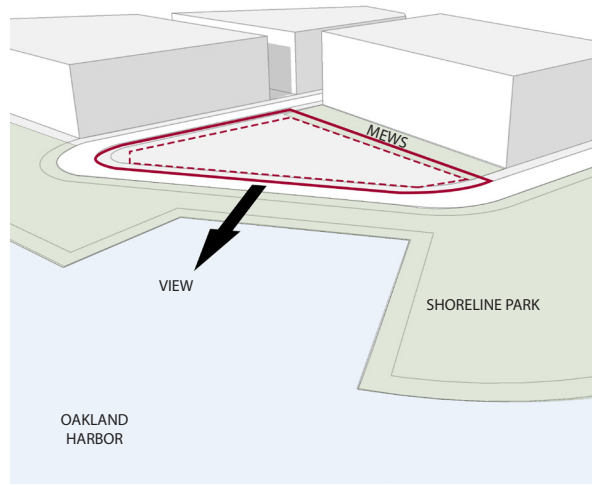


F. Street View Looking East from 9th Ave

Parcel E Site Plan

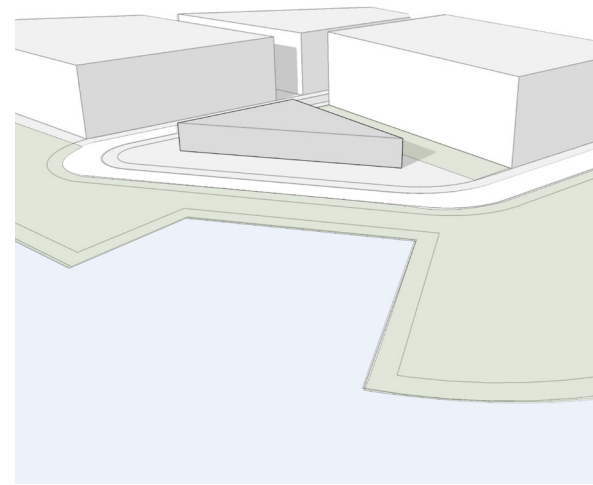


Conceptual Massing Diagram



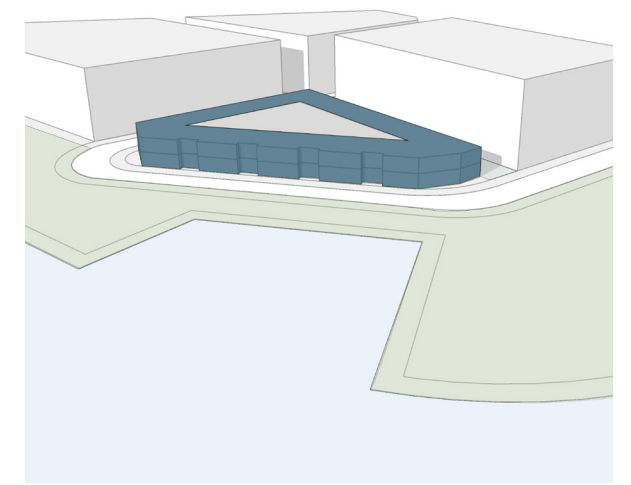
SITE

The site has a prominent location with unobstructed views of the Oakland Inner Harbor and green spaces on three sides



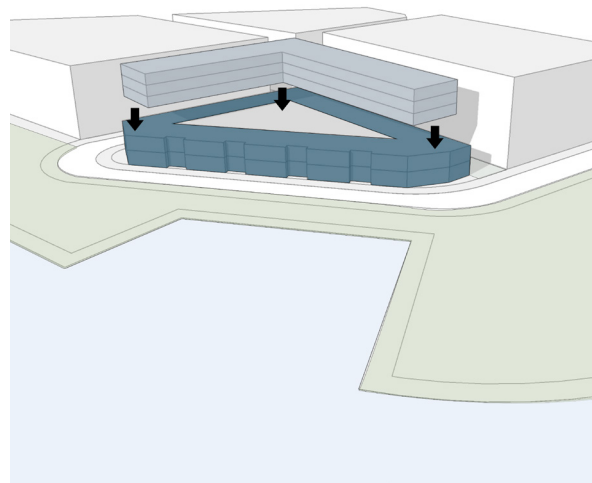
PARKING

Parking is made up of City Lift Parking stackers to minimize its central footprint



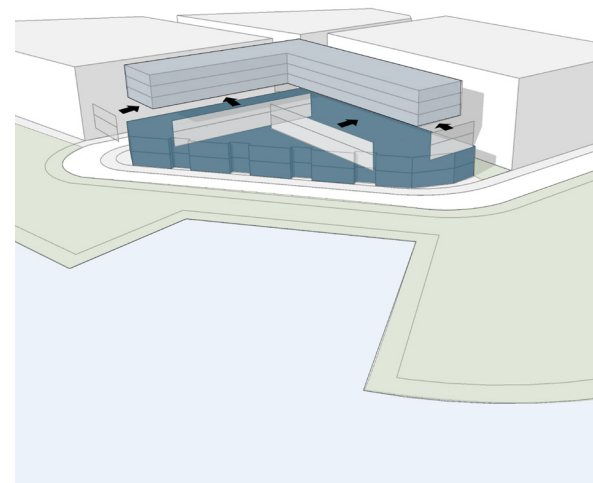
WRAP

Residential units and lobby space wrap the parking to create an active streetscape



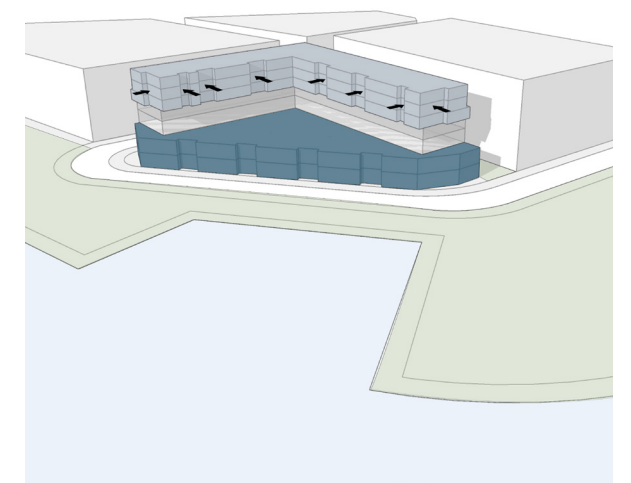
FLOAT

Residential units occupy the top 3 floors and float over the base



VOID

Common amenity spaces are inserted at level 3 and 4 to maximize views and connect to landscaped roof terraces.



MODULATE

Vertical modulation is introduced to break down the overall massing

Perspective View 1



Aerial View from 9th Ave Looking North

Perspective View 2



Aerial View from 9th Ave Looking Southeast

Perspective View 3



Aerial View Looking South from 8th Ave

Perspective View 4



Aerial View from 9th Ave Looking West

Perspective View 5



Aerial View from 9th Ave Looking North

Perspective View 6



Street View Looking Southeast from the Corner of 8th and 9th Avenues

Perspective View 7



Street View Looking Southwest on 8th Ave

Perspective View 8



Street View from 9th Ave Looking Towards Mews

Perspective View 9



Street View Looking North on 9th Ave

Perspective View 10



Pedestrian View Looking Through Mews

Perspective View 11



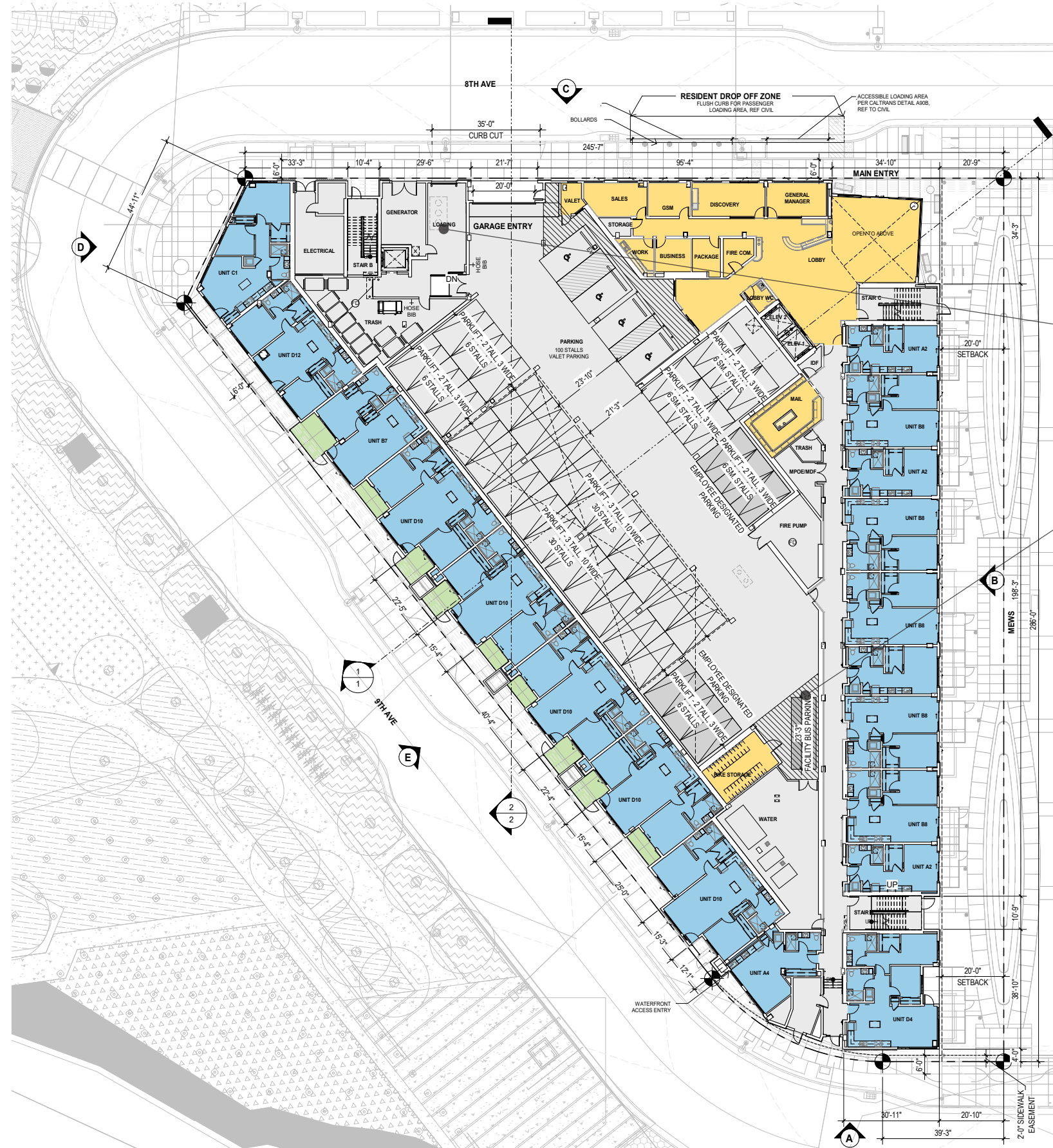
Pedestrian View on 9th Ave

Perspective View 12



Pedestrian View on 8th Ave

1st Level Floor Plan



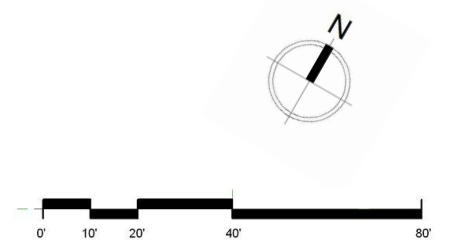
Parking Analysis:
 Total parking stalls provided = 100
 Accessible stalls = 4
 Designated Employee stalls = 12
 Remaining resident stalls = 84

Loading Area:
 The internal loading area will be used for move-ins and move-outs and for food deliveries for the commercial kitchen.

Facility Shuttle Bus:
 The bus is parked within the garage and residents would load and unload at the main entry pedestrian loading area

Street Parking:
 Requirements TBD pending City direction

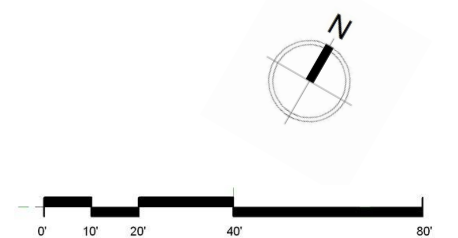
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- PARKING
 - RESIDENTIAL
 - STORAGE
 - COMMON AMENITY
 - CIRCULATION
 - UTILITY
 - OPEN SPACE



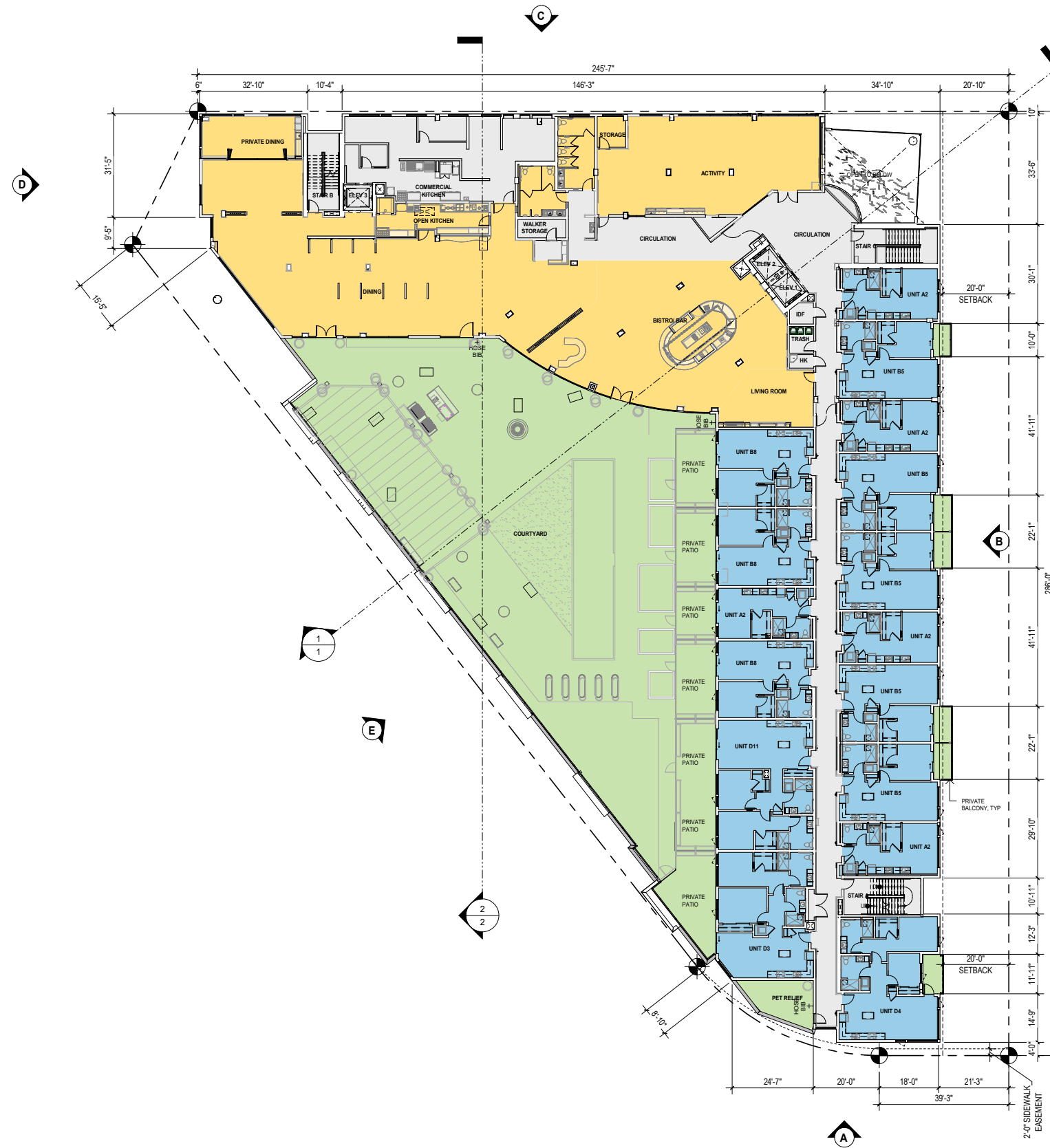
2nd Level Floor Plan



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- PARKING
 - RESIDENTIAL
 - STORAGE
 - COMMON AMENITY
 - CIRCULATION
 - UTILITY
 - OPEN SPACE

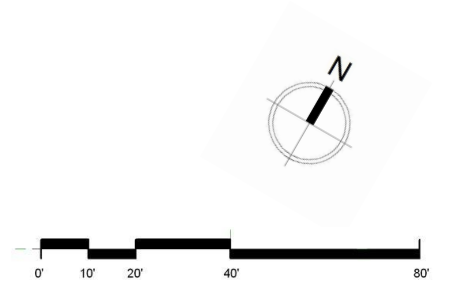


3rd Level Floor Plan



Color Legend

- PARKING
- RESIDENTIAL
- STORAGE
- COMMON AMENITY
- CIRCULATION
- UTILITY
- OPEN SPACE

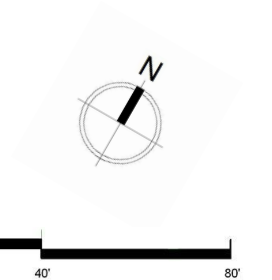


5th Level Floor Plan

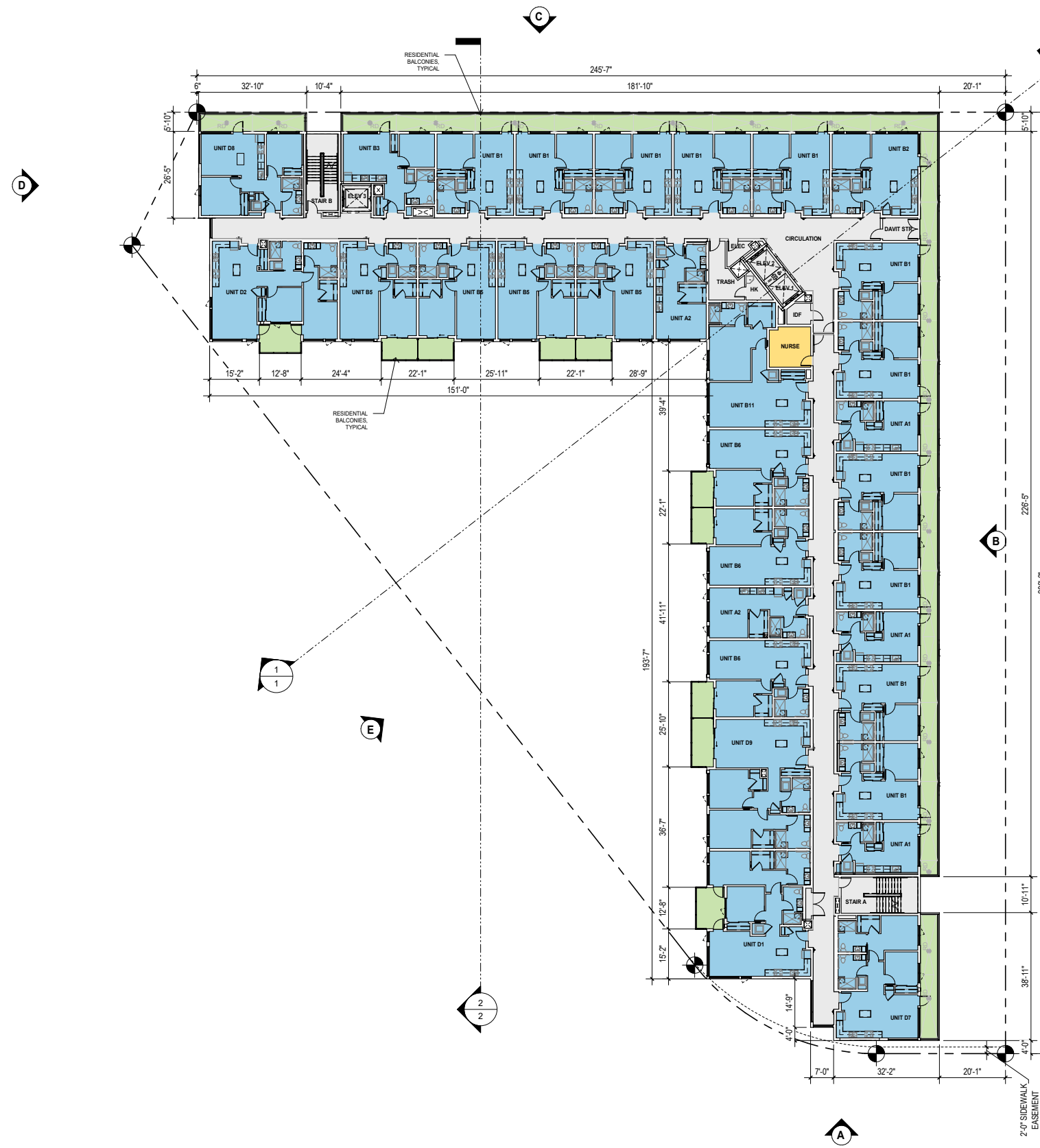


Color Legend

- PARKING
- RESIDENTIAL
- STORAGE
- COMMON AMENITY
- CIRCULATION
- UTILITY
- OPEN SPACE



6th Level Floor Plan

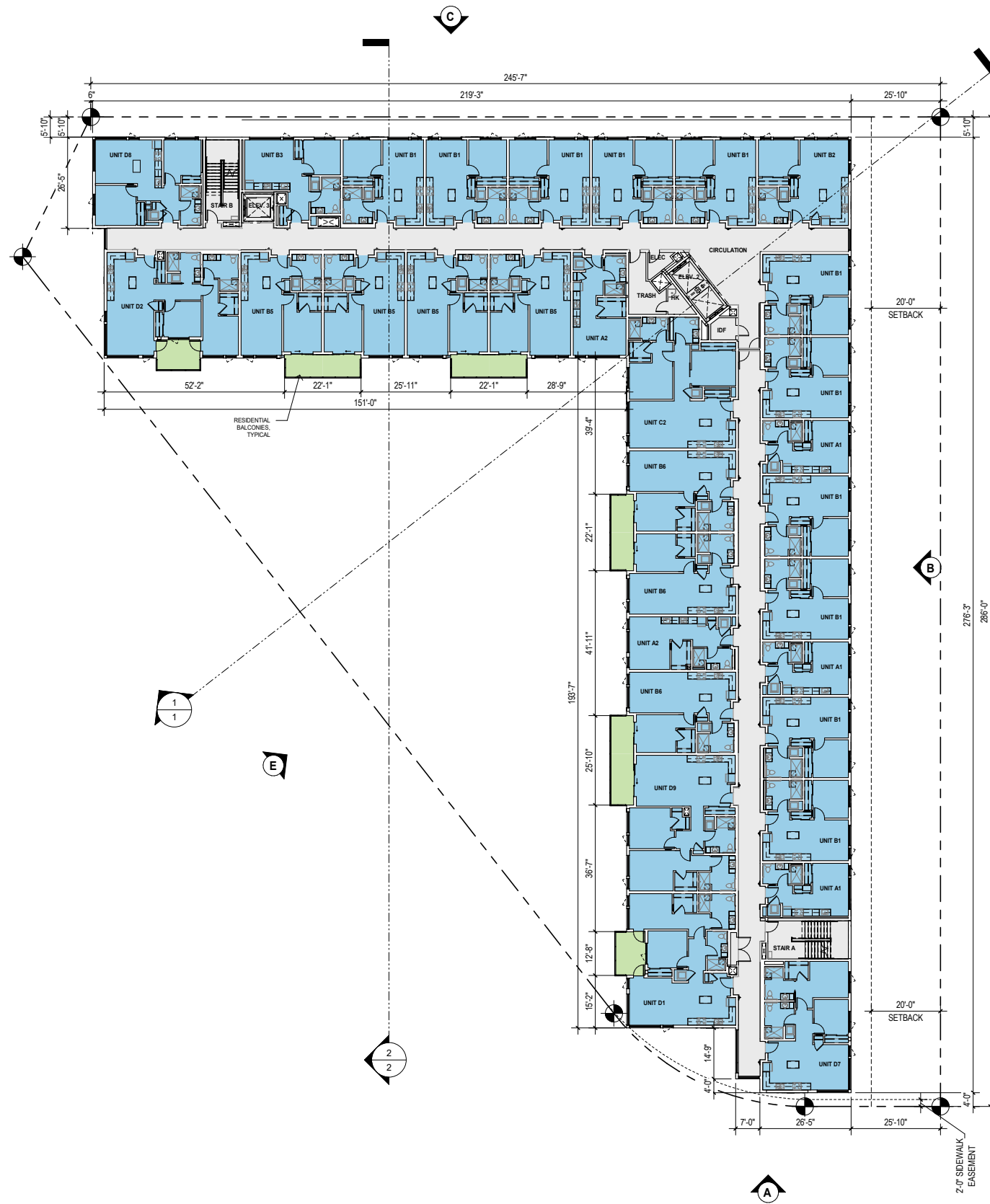


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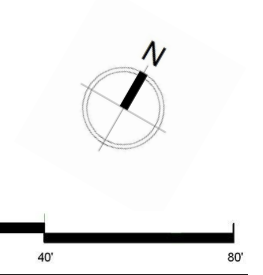
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- RESIDENTIAL
- STORAGE
- COMMON AMENITY
- CIRCULATION
- UTILITY
- OPEN SPACE



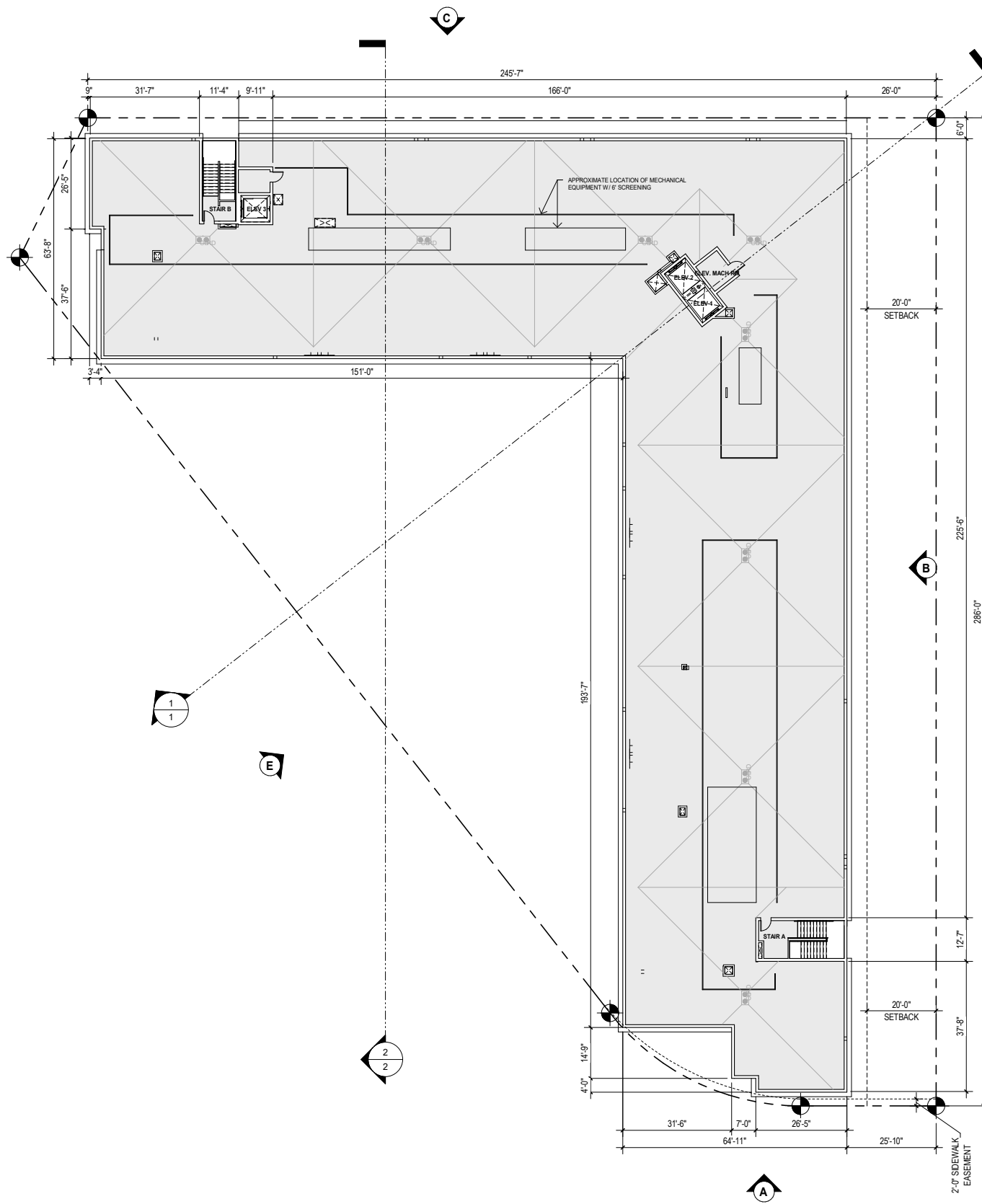
7th Level Floor Plan



- Color Legend**
- PARKING
 - RESIDENTIAL
 - STORAGE
 - COMMON AMENITY
 - CIRCULATION
 - UTILITY
 - OPEN SPACE

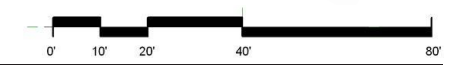


Roof Plan

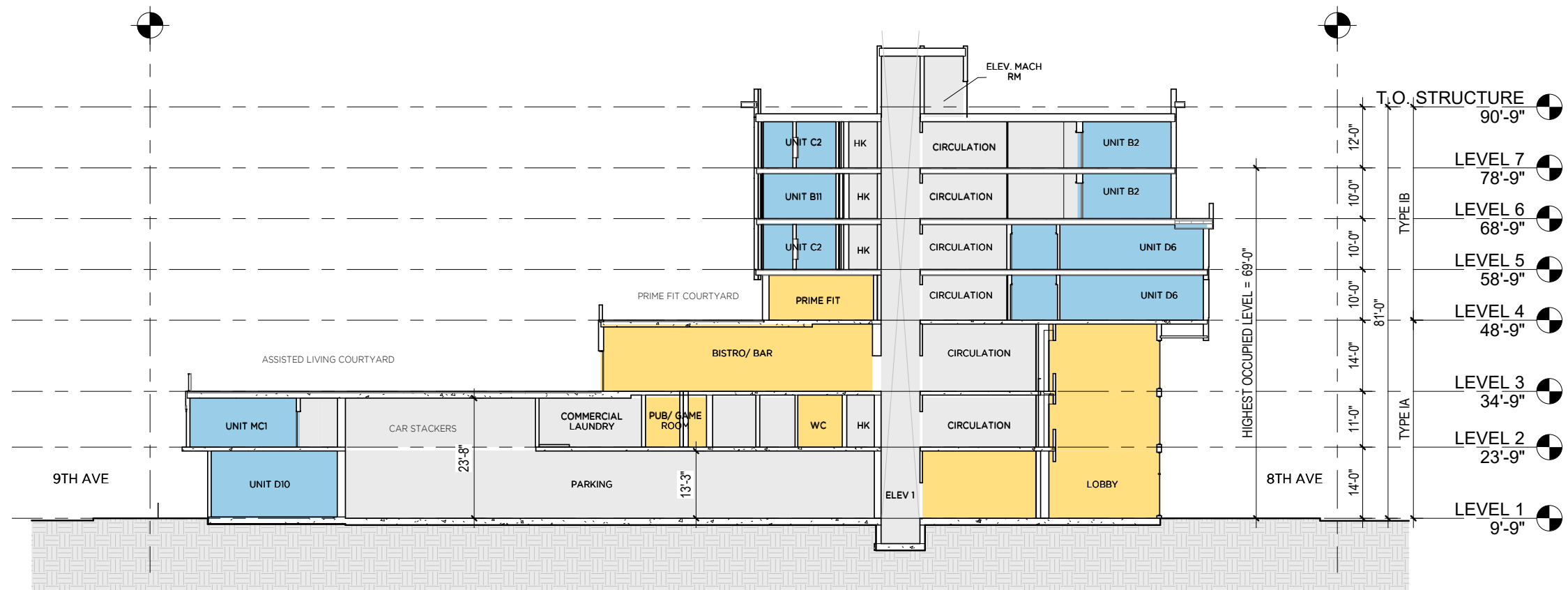


Color Legend

- PARKING
- RESIDENTIAL
- STORAGE
- COMMON AMENITY
- CIRCULATION
- UTILITY
- OPEN SPACE



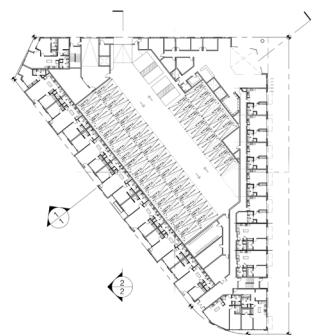
Section 1



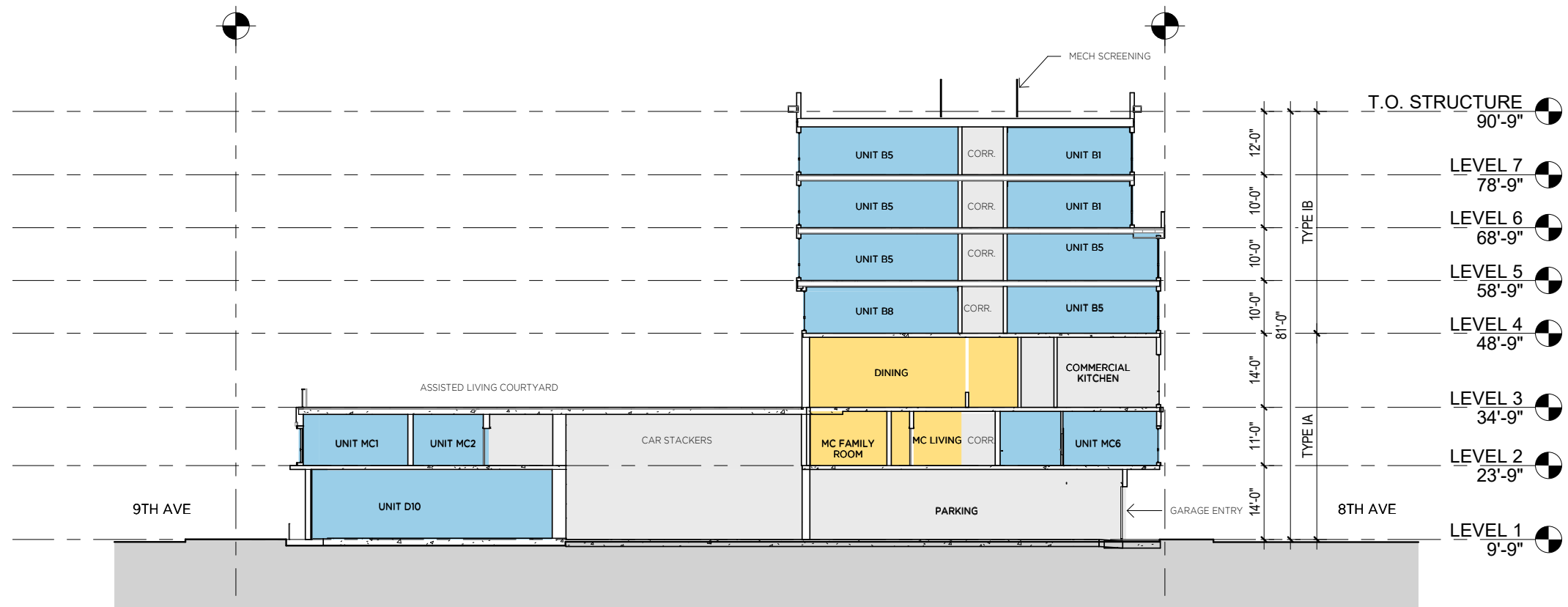
Color Legend

- PARKING
- RESIDENTIAL
- STORAGE
- COMMON AMENITY
- CIRCULATION
- UTILITY
- OPEN SPACE

Key Map



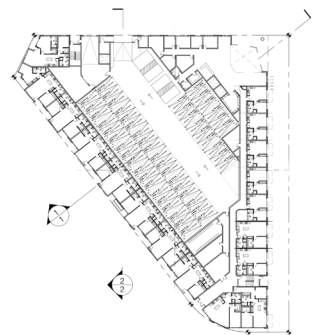
Section 2



Color Legend

- PARKING
- RESIDENTIAL
- STORAGE
- COMMON AMENITY
- CIRCULATION
- UTILITY
- OPEN SPACE

Key Map



Concept Images



Textual Variation in Dark Siding

The proposed design utilizes a similar textural difference through the use of lap siding and smooth stucco finish.



Color Contrast

The color contrast in the siding illustrated in the project above is similar to the proposed design of Brooklyn Basin Parcel E.



Setbacks at Upper Levels

The massing in the proposed design utilizes the same upper level setback design as the above project image



Brick Base w/Modulated Base

The massing and material use in the above image is similar to our pedestrian scaled design along the base of the building.



Glass Rail System

This design is similar to the proposed balcony design using metal and glass railings



Floating Upper Levels

The above project photo is a good representation of the building massing with the "floating" upper levels.

Material Board



Knotwood Architectural Panel;
Light Oak; or Approved Equal



Stucco - Smooth Finish



Sherwin Williams Colors



Vinyl Windows



Concrete



Storefront Windows



Glass Rail System



Metal Frame W/Wood Panel Railing



Brick
Mutual Materials; Ebony-Mission



Lap Siding



Lighting Fixture (A)
Eureka; Plaza Ceiling Suspended



Lighting Fixture (B) - Wall Sconce

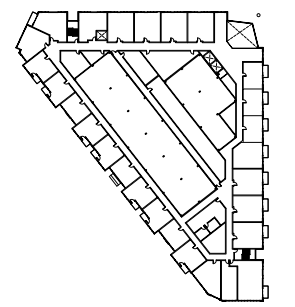
Elevation A



Material Legend

- | | | |
|------------------------------|--|---|
| 1 CONCRETE | 8 METAL DOWNSPOUT | 14 OVERHEAD SECTIONAL GARAGE DOOR W/ PERFORATED METAL PANEL |
| 2 BRICK | 9 STOREFRONT WINDOWS | 15 SECTIONAL OVERHEAD CANOPY |
| 3 LAP SIDING | 10 METAL OVERHEAD CANOPY | 16 BUILDING SIGN |
| 4 STUCCO - SMOOTH FINISH | 11 KNOTWOOD METAL SLATS SCREEN | 17 6'-0" MECHANICAL SCREEN |
| 5 VINYL WINDOWS | 12 WOOD SLAT ON METAL FRAME DECK DIVIDER | |
| 6 GLASS RAILING SYSTEM | 13 LIGHTING FIXTURES | |
| 7 BOLT ON METAL DECK W/GLASS | | |

Key Map



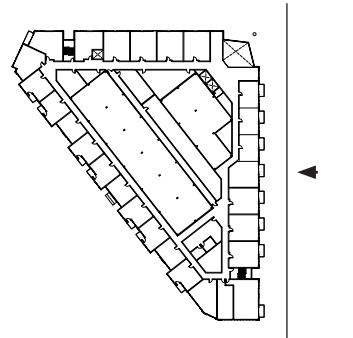
Elevation B



Material Legend

- | | | |
|------------------------------|--|---|
| 1 CONCRETE | 8 METAL DOWNSPOUT | 14 OVERHEAD SECTIONAL GARAGE DOOR W/ PERFORATED METAL PANEL |
| 2 BRICK | 9 STOREFRONT WINDOWS | 15 SECTIONAL OVERHEAD CANOPY |
| 3 LAP SIDING | 10 METAL OVERHEAD CANOPY | 16 BUILDING SIGN |
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Key Map



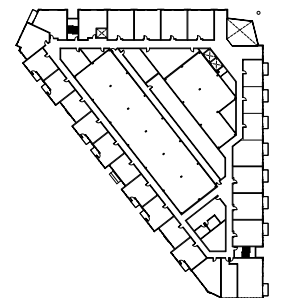
Elevation C



Material Legend

- | | | |
|------------------------------|--|---|
| 1 CONCRETE | 8 METAL DOWNSPOUT | 14 OVERHEAD SECTIONAL GARAGE DOOR W/ PERFORATED METAL PANEL |
| 2 BRICK | 9 STOREFRONT WINDOWS | 15 SECTIONAL OVERHEAD CANOPY |
| 3 LAP SIDING | 10 METAL OVERHEAD CANOPY | 16 BUILDING SIGN |
| 4 STUCCO - SMOOTH FINISH | 11 KNOTWOOD METAL SLATS SCREEN | 17 6'-0" MECHANICAL SCREEN |
| 5 VINYL WINDOWS | 12 WOOD SLAT ON METAL FRAME DECK DIVIDER | |
| 6 GLASS RAILING SYSTEM | 13 LIGHTING FIXTURES | |
| 7 BOLT ON METAL DECK W/GLASS | | |

Key Map

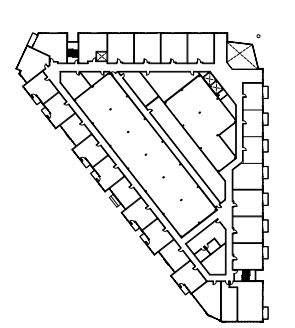


Elevation D



Material Legend

- | | | |
|--------------------------|--|---|
| 1 CONCRETE | 8 METAL DOWNSPOUT | 14 OVERHEAD SECTIONAL GARAGE DOOR W/ PERFORATED METAL PANEL |
| 2 BRICK | 9 STOREFRONT WINDOWS | 15 SECTIONAL OVERHEAD CANOPY |
| 3 LAP SIDING | 10 METAL OVERHEAD CANOPY | 16 BUILDING SIGN |
| 4 STUCCO - SMOOTH FINISH | 11 KNOTWOOD METAL SLATS SCREEN | 17 6'-0" MECHANICAL SCREEN |
| 5 VINYL WINDOWS | 12 WOOD SLAT ON METAL FRAME DECK DIVIDER | |
| 6 GLASS RAILING SYSTEM | 13 LIGHTING FIXTURES | |



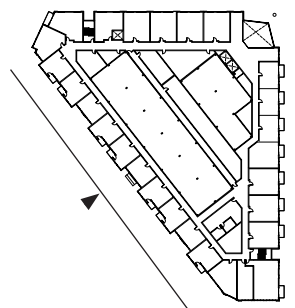
Elevation E



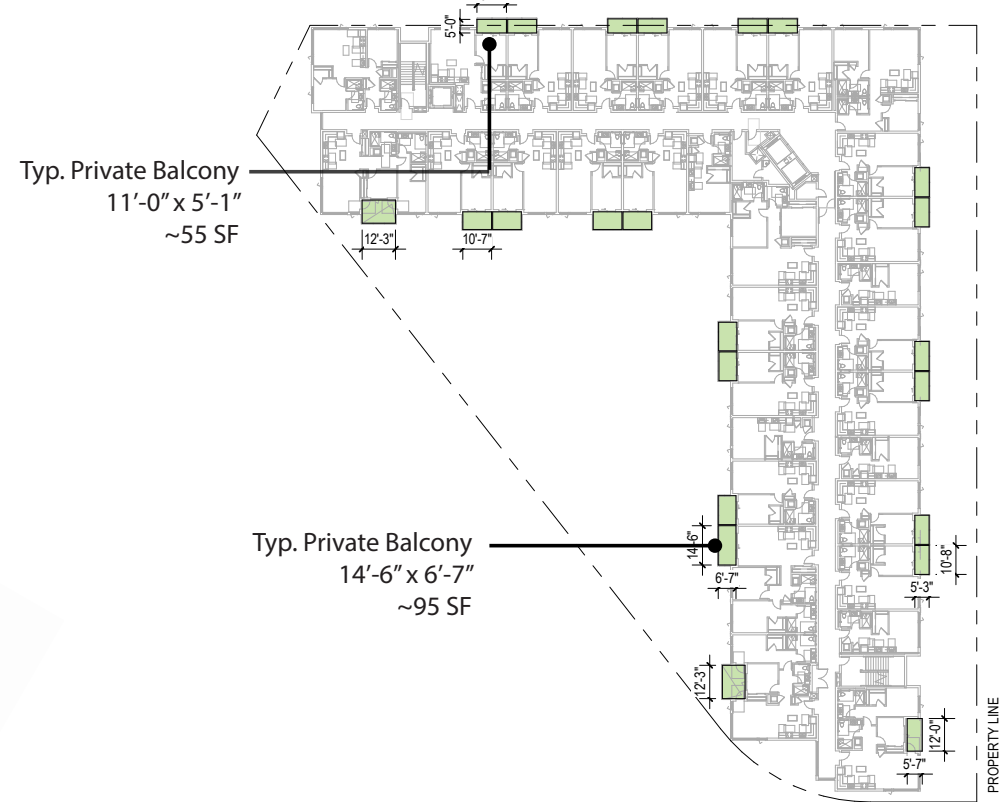
Material Legend

- | | | |
|------------------------------|--|---|
| 1 CONCRETE | 8 METAL DOWNSPOUT | 14 OVERHEAD SECTIONAL GARAGE DOOR W/ PERFORATED METAL PANEL |
| 2 BRICK | 9 STOREFRONT WINDOWS | 15 SECTIONAL OVERHEAD CANOPY |
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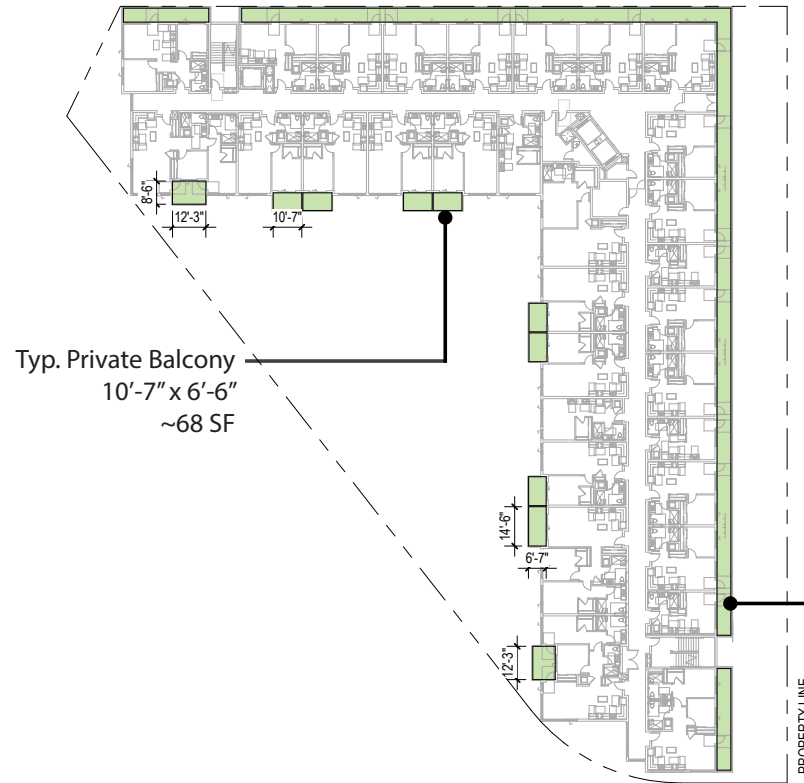
Key Map



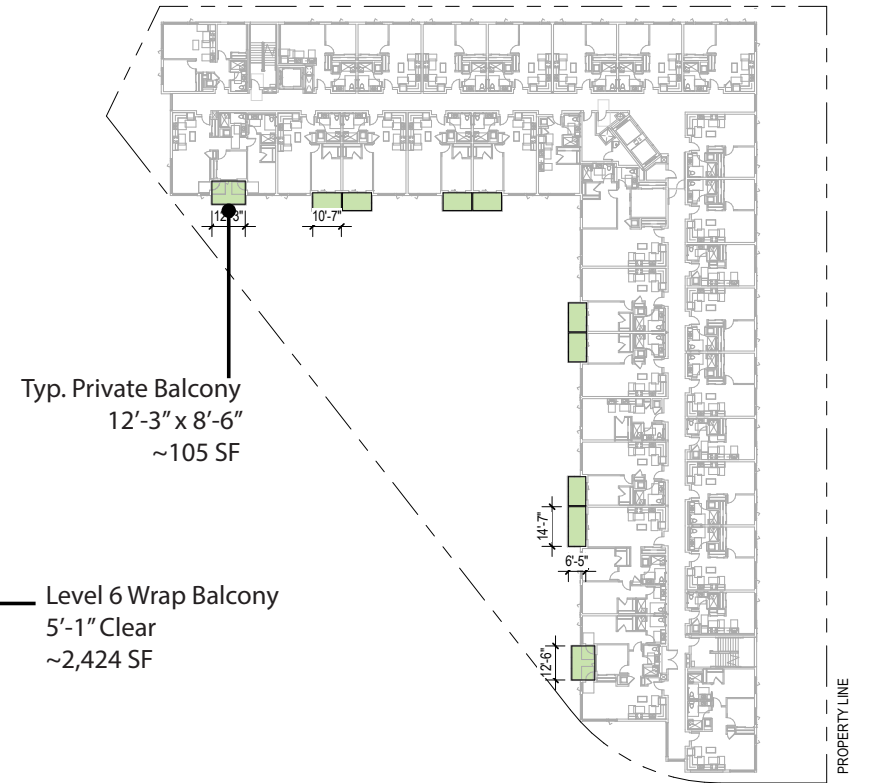
Open Space Diagrams



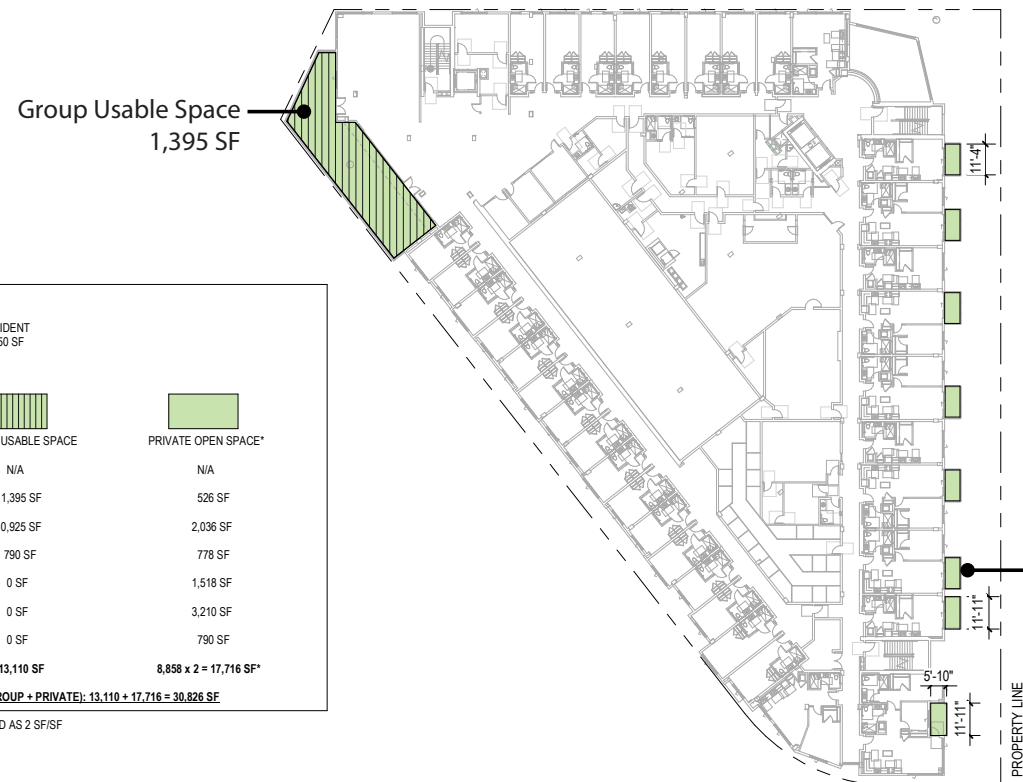
OPEN SPACE DIAGRAM - LEVEL 5



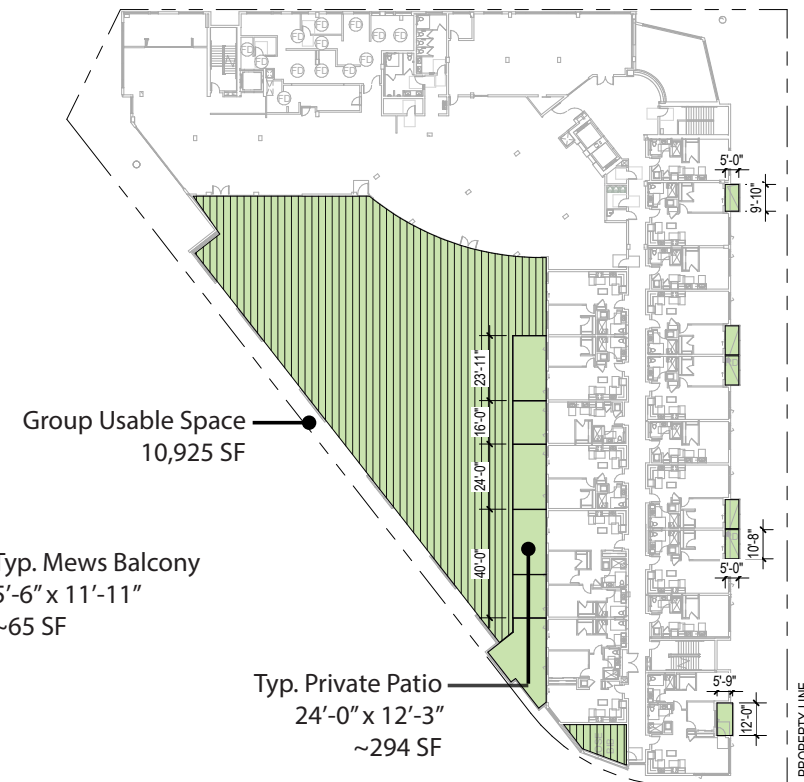
OPEN SPACE DIAGRAM - LEVEL 6



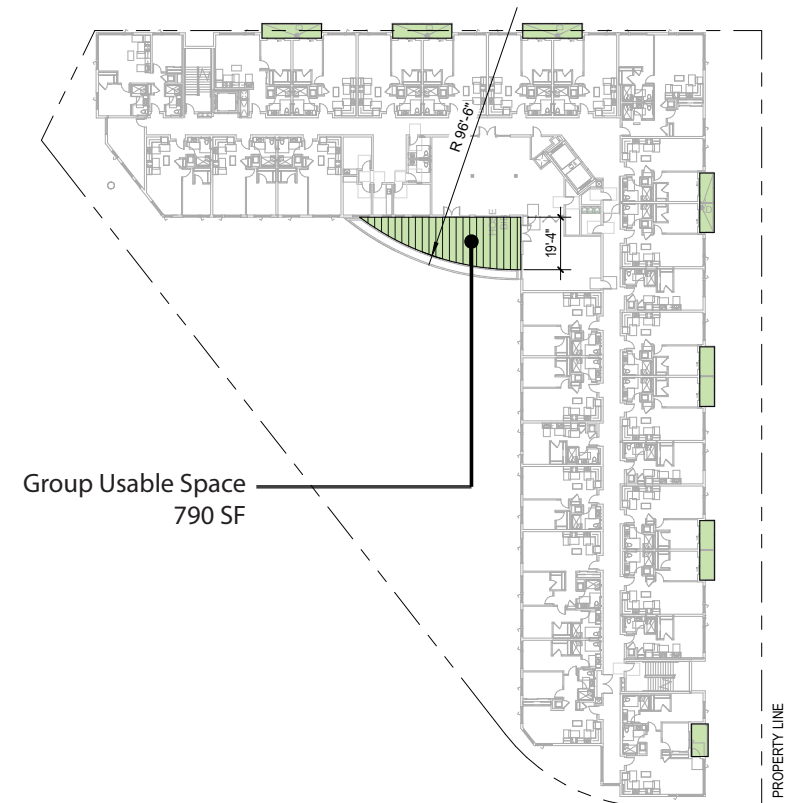
OPEN SPACE DIAGRAM - LEVEL 7



OPEN SPACE DIAGRAM - LEVEL 2



OPEN SPACE DIAGRAM - LEVEL 3



OPEN SPACE DIAGRAM - LEVEL 4

OPEN SPACE COMPLIANCE

TOTAL REQUIRED - 150 SF PER RESIDENT
- 191 X 150 = 28,650 SF

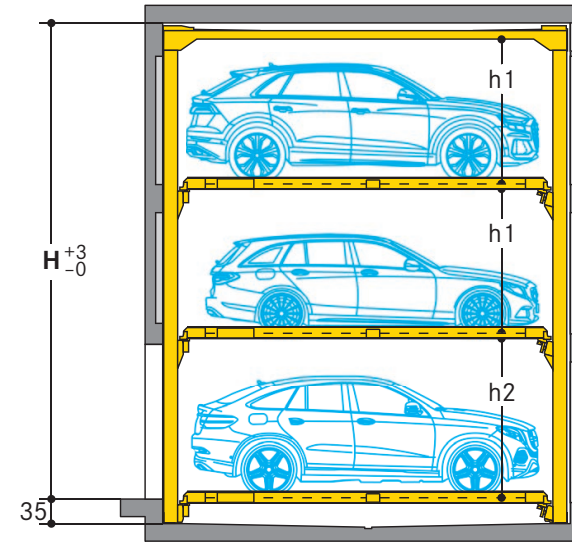
	GROUP USABLE SPACE	PRIVATE OPEN SPACE*
LEVEL 1	N/A	N/A
LEVEL 2	1,395 SF	526 SF
LEVEL 3	10,925 SF	2,036 SF
LEVEL 4	790 SF	778 SF
LEVEL 5	0 SF	1,518 SF
LEVEL 6	0 SF	3,210 SF
LEVEL 7	0 SF	790 SF
TOTAL	13,110 SF	8,858 x 2 = 17,716 SF*
TOTAL OPEN SPACE PROVIDED (GROUP + PRIVATE): 13,110 + 17,716 = 30,826 SF		

* PRIVATE OPEN SPACE IS COUNTED AS 2 SF/SF

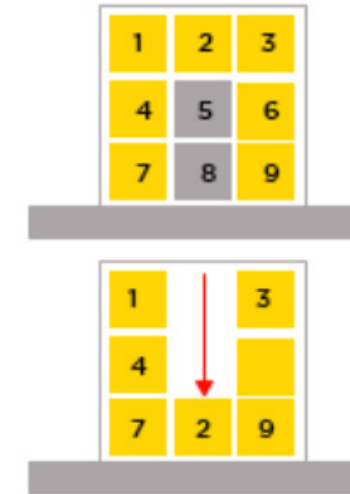
Car Stacker Exhibit

BASIS OF DESIGN: HARDING STEEL; PARKLIFT 421 (2 AND 3 UP)

City of Oakland Standard Parking Stall Dimensions
8'-6" x 18'-0"



Same concept is applied to 2 up system



The vehicle on parking space 2 is requested. Parking spaces 5 and 8 are emptied

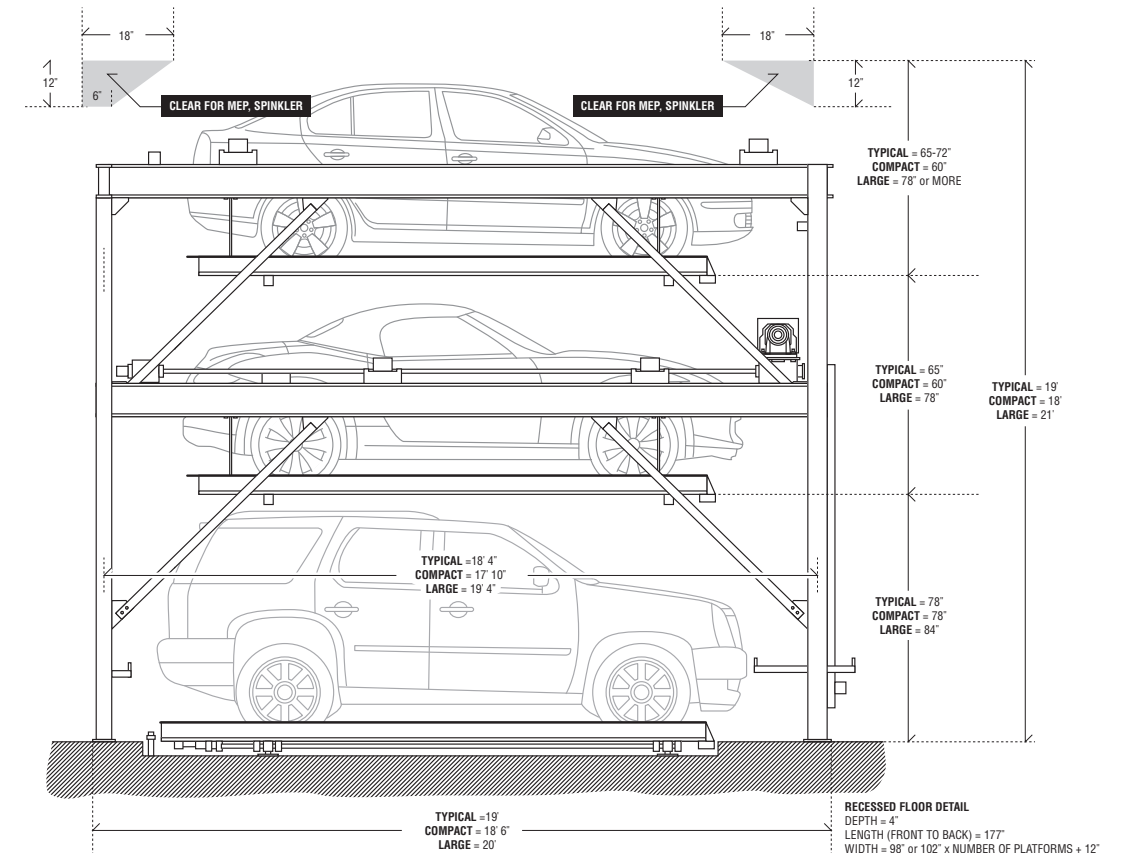
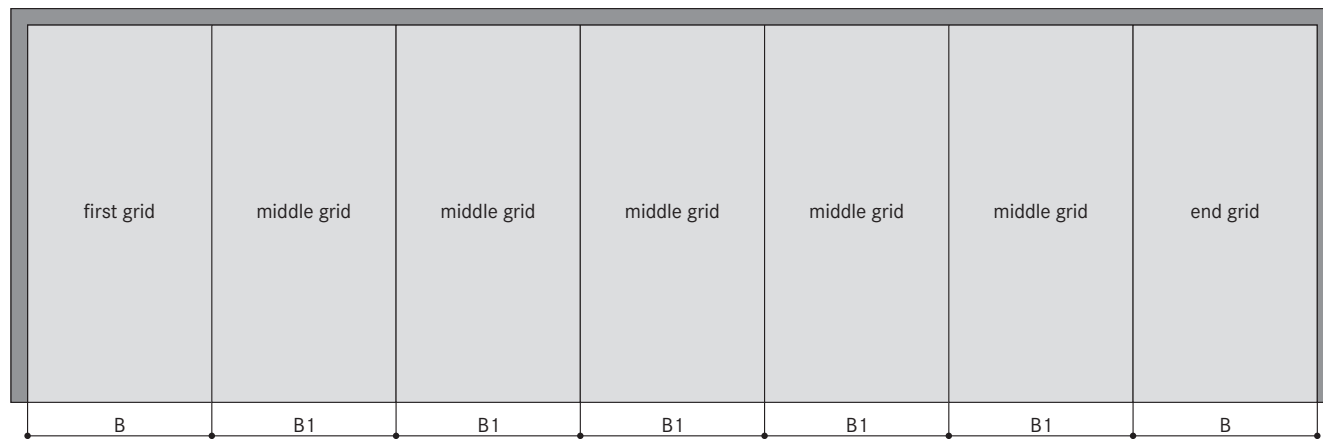
Parking space 2 is lowered to the entrance level, the vehicle is now ready to exit.

CombiParker Parking Stall Compliance

Standard Stall Length = 19'-0"

CombiParker Standard Stall Width = B - 10'-0"
B1 - 9'-6"

CombiParker Clear Platform Width = 8'-10"



Trash and Recycling Exhibit

Level 1 - Trash/ Recycling Room - 856 SF

Space Requirements:

Trash: 4.3 Cubic Feet/Unit
 4.3 x 191 units
 = 822 Cubic Feet
 = 31 Cubic Yards

Recycling: 2 Cubic Feet/Unit
 2 x 191 units
 = 382 Cubic Feet
 = 15 Cubic Yards

Space Provided:

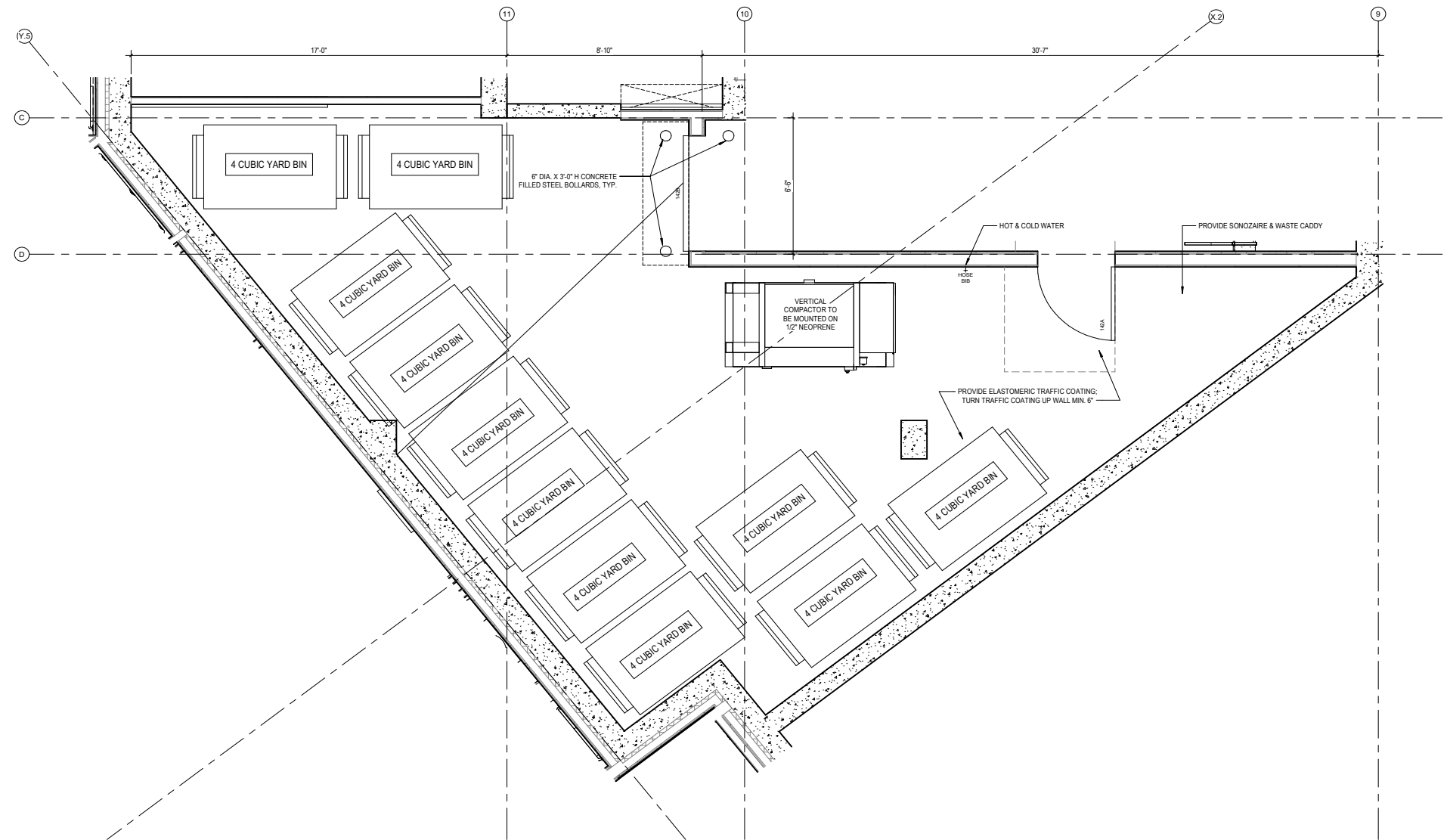
Trash: 8 x 4 Cubic Yard Bins
 = 32 Cubic Yards

Recycling: 4 x 4 Cubic Yard Bins
 = 16 Cubic Yards

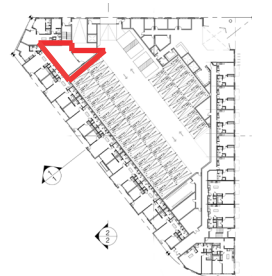


*Dimensions based on Oakland Waste Management Standard 4 Cubic Yard Bin

5'-10" W
 5'-1" H
 4'-2" D



Key Map



Signage Exhibit

BUILDING ENTRANCE SIGNAGE

Location:
Main Entry on 8th Ave.

Sign Details:
Wall Mounted Sign
Material: Aluminum
Method of lighting: Spot light

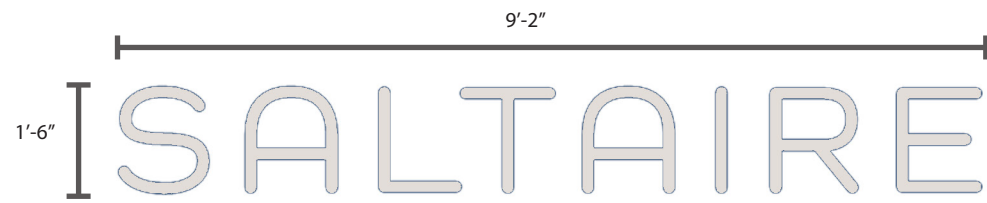
Proposed Sign Size:
1'-6" tall X 9'-2" wide

PARKING SIGNAGE

Location:
Parking Garage Entry on 8th Ave.

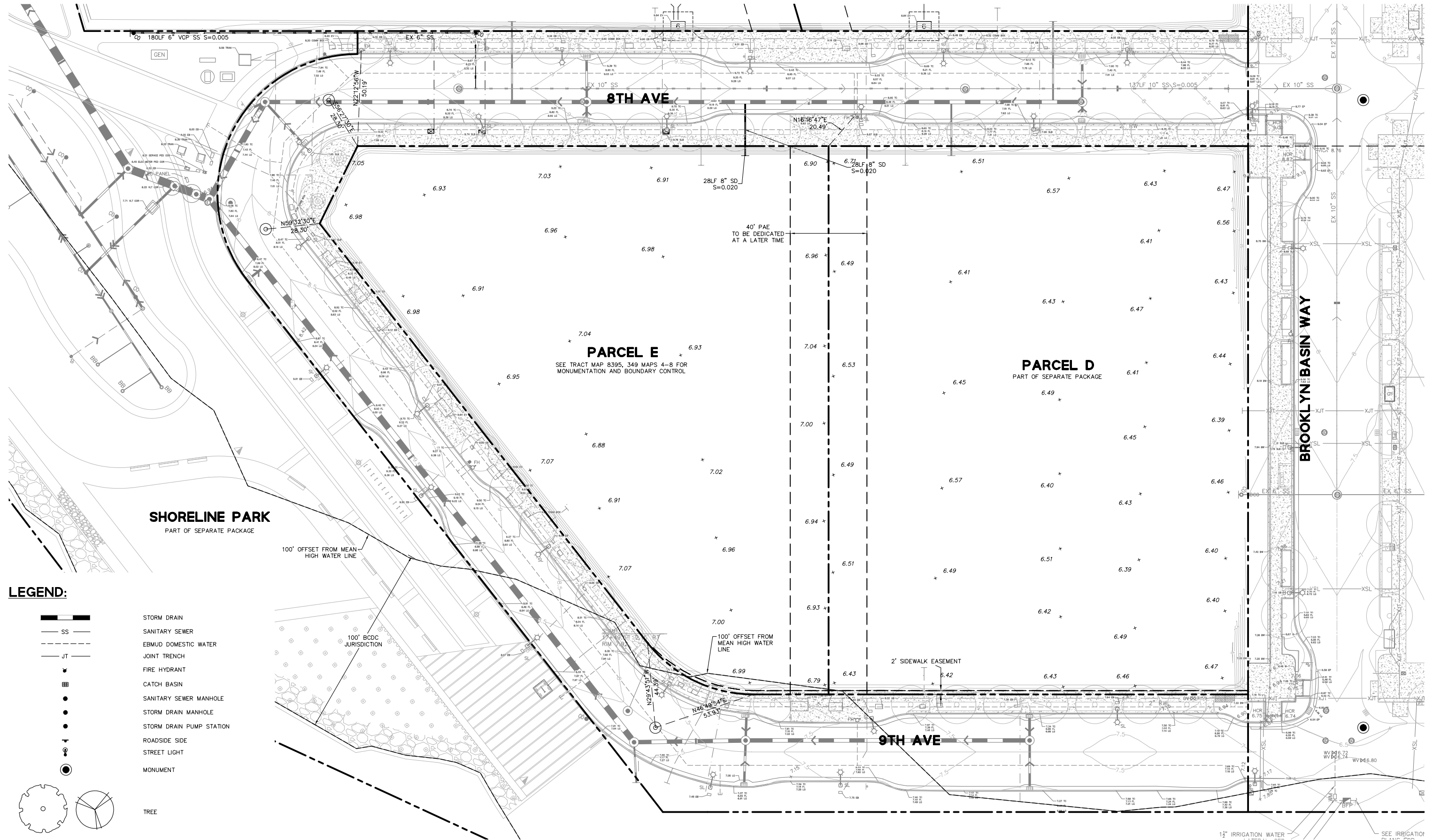
Sign Details:
Wall Mounted Sign
Material: Aluminum
Not Illuminated

Proposed Sign Size:
0'-9" tall X 3'-5" wide

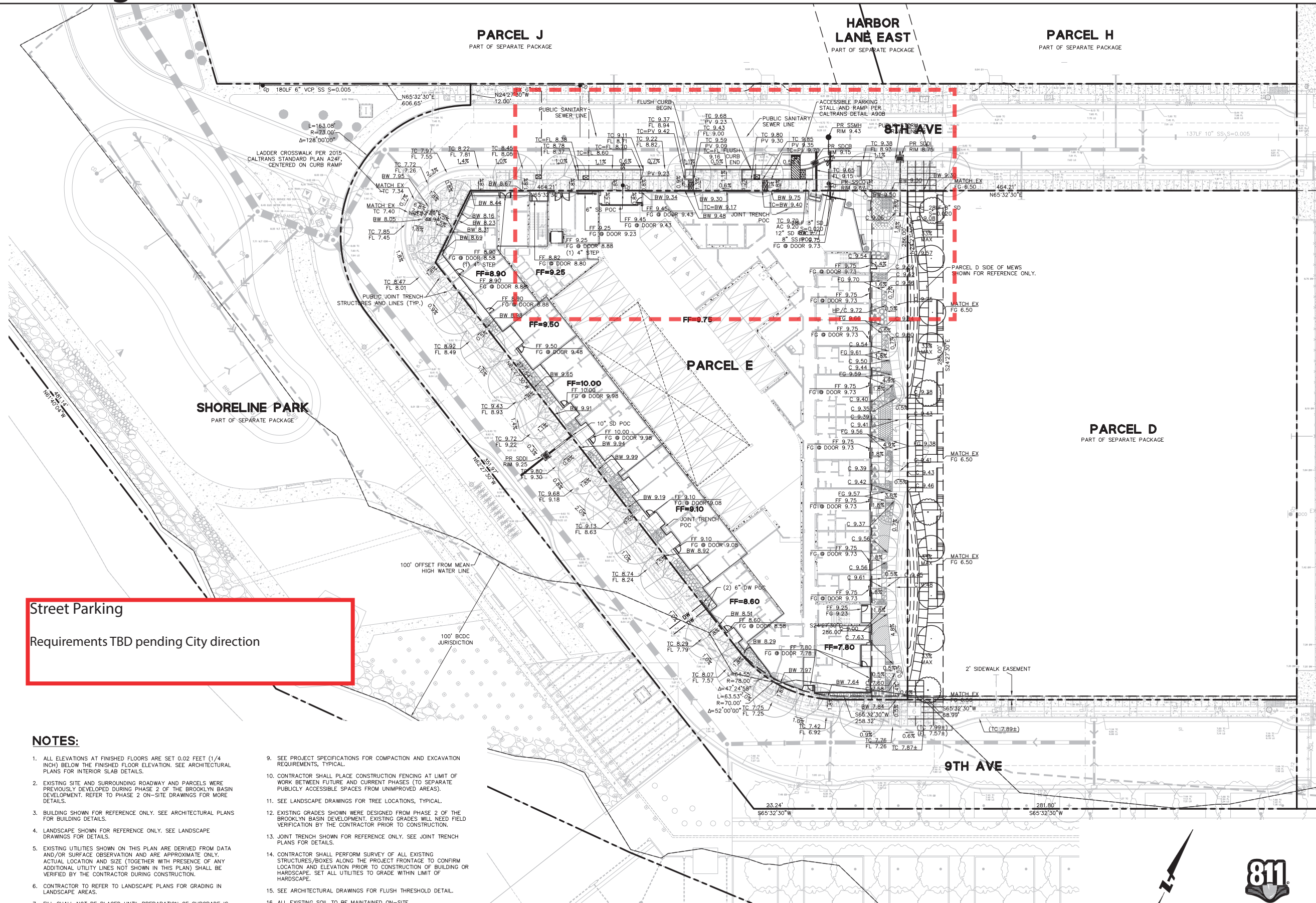


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Civil - Existing Conditions and Survey



Civil - Grading Plan

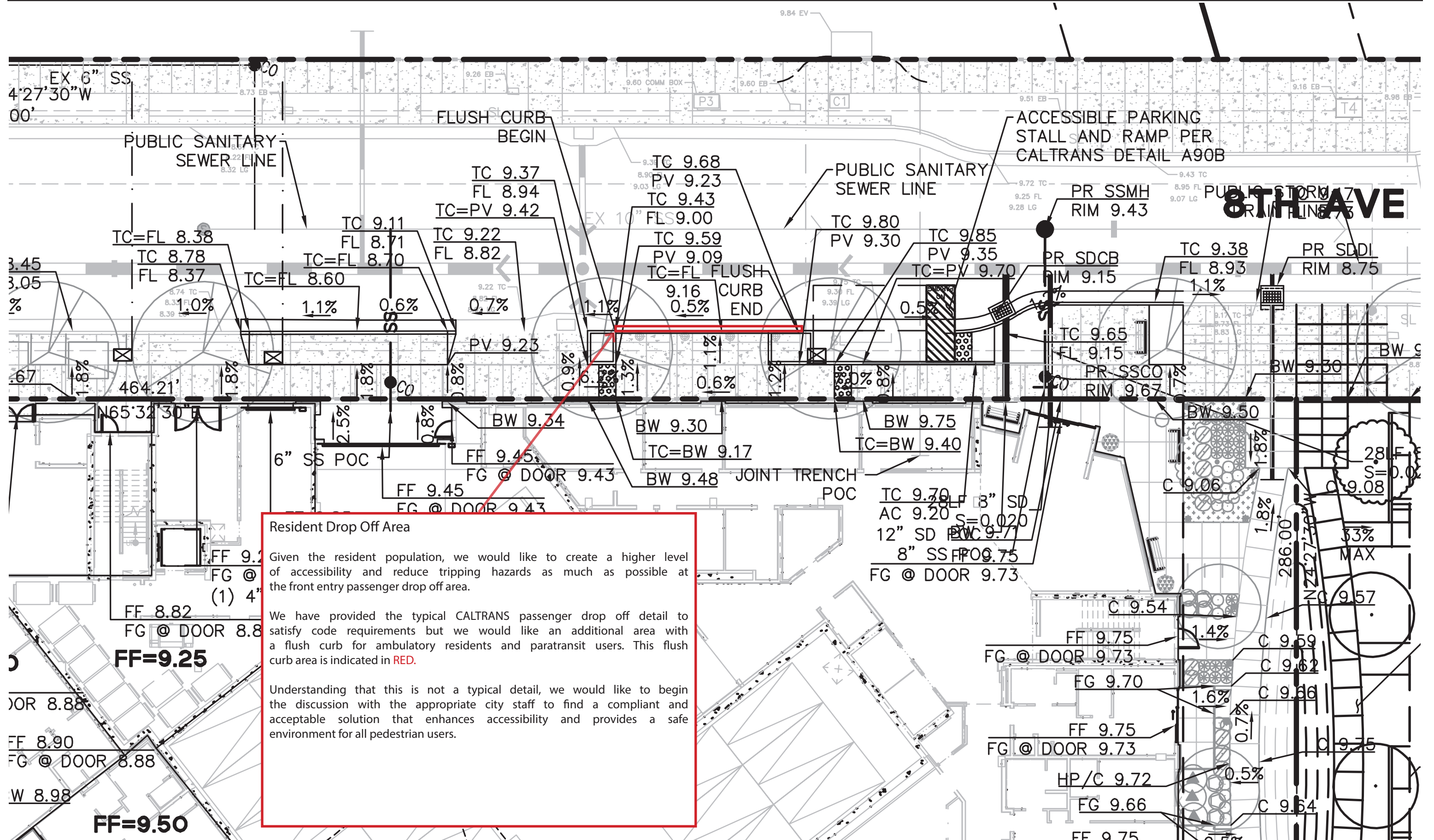


Street Parking
Requirements TBD pending City direction

NOTES:

- ALL ELEVATIONS AT FINISHED FLOORS ARE SET 0.02 FEET (1/4 INCH) BELOW THE FINISHED FLOOR ELEVATION. SEE ARCHITECTURAL PLANS FOR INTERIOR SLAB DETAILS.
- EXISTING SITE AND SURROUNDING ROADWAY AND PARCELS WERE PREVIOUSLY DEVELOPED DURING PHASE 2 OF THE BROOKLYN BASIN DEVELOPMENT. REFER TO PHASE 2 ON-SITE DRAWINGS FOR MORE DETAILS.
- BUILDING SHOWN FOR REFERENCE ONLY. SEE ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- LANDSCAPE SHOWN FOR REFERENCE ONLY. SEE LANDSCAPE DRAWINGS FOR DETAILS.
- EXISTING UTILITIES SHOWN ON THIS PLAN ARE DERIVED FROM DATA AND/OR SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE (TOGETHER WITH PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN IN THIS PLAN) SHALL BE VERIFIED BY THE CONTRACTOR DURING CONSTRUCTION.
- CONTRACTOR TO REFER TO LANDSCAPE PLANS FOR GRADING IN LANDSCAPE AREAS.
- FW SHALL NOT BE PLACED WITH OBSTRUCTION OF SUBGRADE IS
- SEE PROJECT SPECIFICATIONS FOR COMPACTION AND EXCAVATION REQUIREMENTS, TYPICAL.
- CONTRACTOR SHALL PLACE CONSTRUCTION FENCING AT LIMIT OF WORK BETWEEN FUTURE AND CURRENT PHASES (TO SEPARATE PUBLICLY ACCESSIBLE SPACES FROM UNIMPROVED AREAS).
- SEE LANDSCAPE DRAWINGS FOR TREE LOCATIONS, TYPICAL.
- EXISTING GRADES SHOWN WERE DESIGNED FROM PHASE 2 OF THE BROOKLYN BASIN DEVELOPMENT. EXISTING GRADES WILL NEED FIELD VERIFICATION BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- JOINT TRENCH SHOWN FOR REFERENCE ONLY. SEE JOINT TRENCH PLANS FOR DETAILS.
- CONTRACTOR SHALL PERFORM SURVEY OF ALL EXISTING STRUCTURES/BOXES ALONG THE PROJECT FRONTAGE TO CONFIRM LOCATION AND ELEVATION PRIOR TO CONSTRUCTION OF BUILDING OR HARDSCAPE. SET ALL UTILITIES TO GRADE WITHIN LIMIT OF HARDSCAPE.
- SEE ARCHITECTURAL DRAWINGS FOR FLUSH THRESHOLD DETAIL.
- ALL EXISTING SOIL TO BE MAINTAINED ON-SITE.

Civil - Pedestrian Loading Zone



Resident Drop Off Area

Given the resident population, we would like to create a higher level of accessibility and reduce tripping hazards as much as possible at the front entry passenger drop off area.

We have provided the typical CALTRANS passenger drop off detail to satisfy code requirements but we would like an additional area with a flush curb for ambulatory residents and paratransit users. This flush curb area is indicated in RED.

Understanding that this is not a typical detail, we would like to begin the discussion with the appropriate city staff to find a compliant and acceptable solution that enhances accessibility and provides a safe environment for all pedestrian users.

Landscape Context



Landscape - Ground Level

- ① ENHANCED PAVING & SEATING
- ② BIKE RACKS, TYP (10 STALLS TOTAL)
- ③ PEDESTRIAN PASEO
- ④ PATIO W/GATE AT MEWS, TYP
- ⑤ FENCED PATIO ON 9TH AVE, TYP
- ⑥ OFF-SITE IMPROVEMENTS, MODIFICATIONS TO BE COORDINATED
- ⑦ DROP-OFF CURB & ACCESS AISLE, SCD
- ⑧ BOLLARD, TYP
- ⑨ BENCH, TYP
- ⑩ PLANTER W/ANNUAL COLOR
- ⑪ STREET TREE AND PLANTER STRIP BY OTHERS, TYP
- ⑫ WARNING TILES, TYP



LANDSCAPE CONCEPT - GROUND LEVEL

Landscape Concept - Level 2

- ① BENCH
- ② PRECAST PLANTER, TYP
- ③ LOOSE FURNISHINGS PER INTERIORS



LANDSCAPE CONCEPT - LEVEL 2

Landscape Concept - Level 3

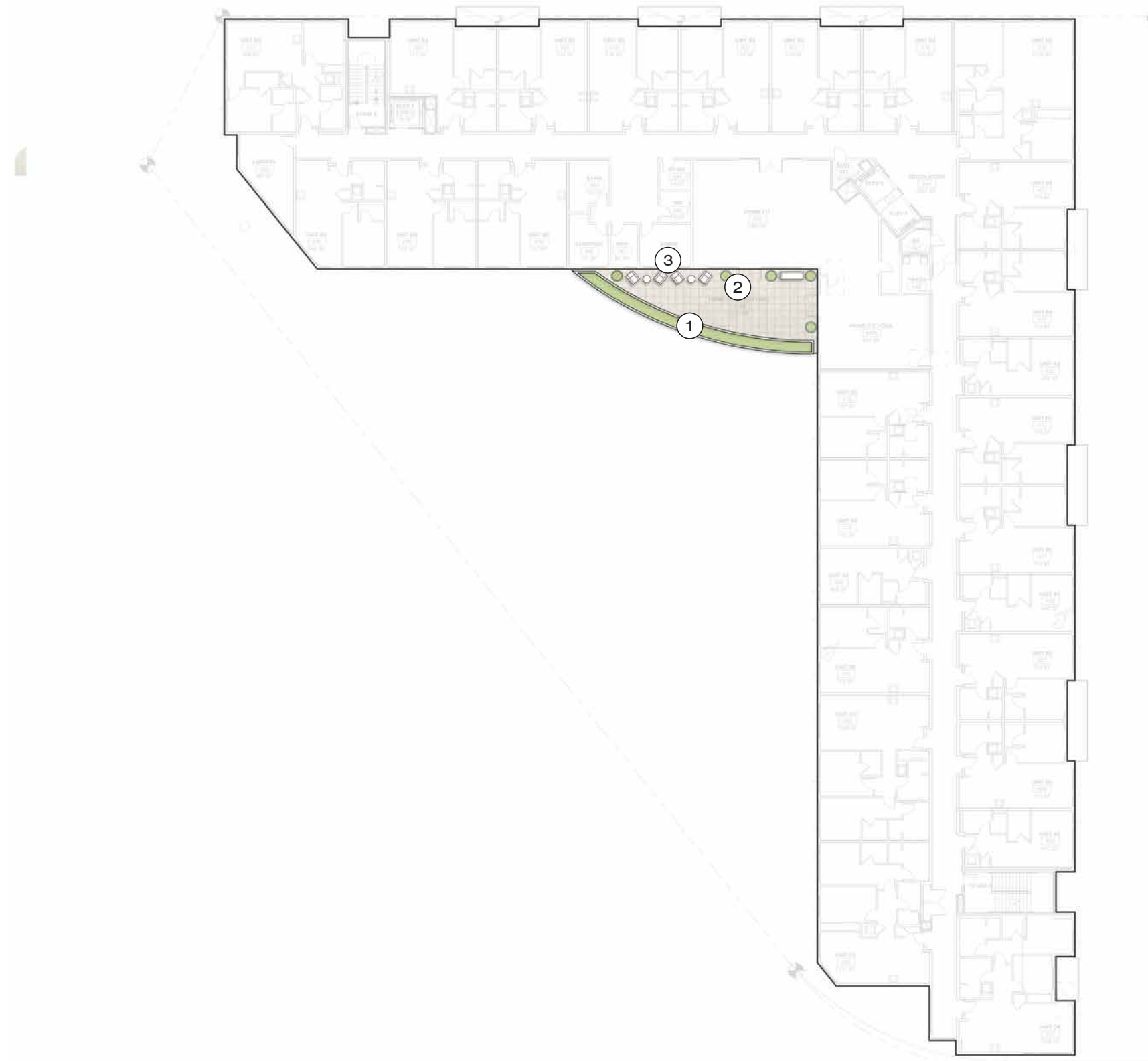
- ① LOOSE FURNISHINGS PER INTERIORS
- ② BISTRO HERB PLANTERS
- ③ RAISED PLANTER, TYP
- ④ PRIVATE PATIO W/GATE & SCREEN, TYP
- ⑤ OUTDOOR KITCHEN
- ⑥ PRECAST PLANTER, TYP
- ⑦ DOG LOUNGE
- ⑧ ARBOR WITH VINES
- ⑨ GREENROOF PLANTING
- ⑩ GAME AREA W/SYNTHETIC TURF FOR CROQUET, PUTTING
- ⑪ RAISED VEGETABLE PLANTERS, TYP
- ⑫ BOCCE COURT
- ⑬ STRING LIGHTING



LANDSCAPE CONCEPT - LEVEL 3

Landscape Concept - Level 4

- ① PARAPET PLANTER
- ② PRECAST PLANTER, TYP
- ③ LOOSE FURNISHINGS PER INTERIORS



LANDSCAPE CONCEPT - LEVEL 4

Landscape - Preliminary Plant Palette



TREES



SHRUBS & GRASSES



VINES & GROUNDCOVERS

PRELIMINARY PLANTING PALETTE:

TREES - 24" BOX SIZE PROPOSED

- ACER PALMATUM - JAPANESE MAPLE
- ARBUTUS UNEDO 'MARINA' - STRAWBERRY TREE
- CERCIS CANADENSIS - EASTERN REDBUD
- FAGUS SYLVATICA - FASTIDGIATE BEECH
- LOPHOSTEMON CONFERTA - BRISBANE BOX
- MICHELIA CHAMPACA 'ALBA' - WHITE FRAGRANT CHAMPACA

SHRUBS & GRASSES

- ANIGOZANTHOS 'BUSH GOLD' - YELLOW KANGAROO PAW
- ASPIDISTRA ELATIOR - CAST IRON PLANT
- CALAMAGROSTIS 'KARL FOESTER' - FEATHER REED GRASS
- DIETES 'ORANGE DROP' - ORANGE DROP FORTNIGHT LILY
- ECHEVERIA IMBRICATA - BLUE ROSE ECHEVERIA
- HELICHTOTICHON SEMPERVIRENS - BLUE OAT GRASS
- HEUCHERA MAXIMA - CORAL BELLS
- IRIS DOUGLASIANA - DOUGLAS IRIS
- LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' - ENGLISH LAVENDER
- LIMONIUM PEREZII - SEA LAVENDER
- MIMULUS 'JELLYBEAN GOLD' - JELLYBEAN GOLD MONKEYFLOWER
- MUHLENBERGIA RIGENS - DEER GRASS
- NANDINA DOMESTICA - HEAVENLY BAMBOO
- PHORMIUM 'RAINBOW MAIDEN' - RAINBOW MAIDEN FLAX
- PODOCARPUS M. MAKI - SHRUBBY YEW PINE
- POLYSTICHUM MUNITUM - SWORD FERN
- RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' - COFFEEBERRY
- RIBES SANGUINEUM GLUTINOSUM - PINK-FLOWERING CURRANT
- SEDUM RUPESTRE 'ANGELINA' - ANGELINA STONECROP

VINES

- PARTHENOCISSUS QUINQUEFOLIA - VIRGINIA CREEPER

GROUNDCOVERS

- ACHILLEA MILLEFOLIUM 'PAPRIKA' - YARROW
- ARCTOSTAPHYLOS EDMUNDSII 'EMERALD CARPET' - MANZANITA
- CEANOTHUS GRISEUS 'HORIZONTALIS' - CALIFORNIA LILAC
- LIRIOPE SPITICA - CREEPING LILY TURF

GENERAL PLANTING AND IRRIGATION NOTES:

1. LANDSCAPE AND IRRIGATION PLANS SHALL COMPLY WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENCY ORDINANCE AND APPLY THOSE CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.
2. WELO CALCULATIONS WILL BE PROVIDED FOR BUILDING PERMIT PLANS.
2. LANDSCAPE AND IRRIGATION PLANS SHALL COMPLY WITH ALL APPLICABLE CITY CODES AND ORDINANCES.
3. ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF ORGANIC, UN-DYED MULCH RECYCLED FROM LOCAL ORGANIC MATERIALS SUCH AS TREE TRIMMINGS, PLANT, OR CLEAN WOOD WASTE.
4. 50% OF ALL SHRUBS AND GROUNDCOVER SHALL BE A MINIMUM OF 5-GALLON SIZE OR LARGER.
5. IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC WEATHER-BASED SYSTEM USING LOW FLOW DRIP AND BUBBLER SYSTEM.
6. STREET TREES SHALL BE TIED INTO IRRIGATION SYSTEM.

PRELIMINARY PLANT PALETTE

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DESIGN GOALS

Create an appropriate site response to three distinct urban edges

Connect to Shoreline Park & Township Commons

Exploit the view

STREET VIEW FROM 9TH AVE LOOKING TOWARDS MEWS

DRC Comment:

9th Ave. (at turn): Blank wall is a missed opportunity to engage with Township Commons and the public right-of-way. Options to consider: richer facade treatment; breaking down scale of blank wall with emphasis on rich materials on bottom of wall.



Design Response:

The design has been revised at the base of the building to include wood slats, extra large storefront windows and a change in the paint color in an effort to reduce the perceived mass of the building at the pedestrian scale and to add a material richness to the base.

STREET VIEW - CORNER OF 8TH AND 9TH

DRC Comment:

8th/ 9th Avenue Corner: The entrance does not relate to the arrangement and scale of building elements at this corner.



Design Response:

The design language at the corner of 8th and 9th has been revised to match the corner of 9th and the paseo with wood slats, extra large storefront windows and a change in paint color from the above massing in an effort to add a material richness to the base.

STREET VIEW LOOKING SW ON 8TH AVE

DRC Comment:

8th Avenue: Exterior column does not support glass entry element; consider moving column behind glass wall or otherwise providing integrated design that is not located behind a utilitarian element.



Design Response:

Integrated the column into the design of the building by altered the angles of the butt-glazed curtain wall at the lobby to encompass it.