

Case File Number PLN20060

June 3, 2020

Location:	1495 E. 22nd Street; APN 021 028803101 (See map on the reverse)
Proposal	Conversion of an existing manager's office to a one low-income restricted affordable dwelling unit within an existing 23 moderate-income affordable housing development.
Applicant:	Anthony Tumminello
Phone Number:	(831) 515-8560
Owner:	1495 East 22nd Street 2013 LLC
Case File Number:	PLN20060
Planning Permits Required	Regular Design Review for the creation of a dwelling unit and a Major Conditional Use Permit for a total of seven or more units (24 in total) in the RM-3 Zone.
General Plan	Mixed Housing Type Residential
Zoning	Mixed Housing Type Residential Zone-3 (RM-3) Zone
Environmental Determination	Exempt per CEQA Sections 15301: Existing Facilities and Section 15183.3: Projects consistent with Community Plan, General Plan or Zoning
Historic Status:	Not a Potentially Designated Historic Property; Oakland Cultural Heritage Survey Rating: F3
City Council District:	2
Status:	Pending
Actions to be Taken:	Receive public comments and Planning Commission comments. Planning Commission action based on staff report.
Staff Recommendation:	Approval subject to the attached Conditions
Finality of Decision:	Appealable to the City Council within 10 days.
For Further Information:	Contact project planner Heather Klein at (510) 238-3659 or hklein@oaklandnet.com

SUMMARY

The applicant has submitted a request to convert a manager’s office located at 1495 E. 22nd Street to a low-income restricted affordable housing unit. The unit is located within an affordable housing complex that contains 23 units. The office has been illegally converted and contains a tenant. No changes are proposed to the exterior of the building or the project site.

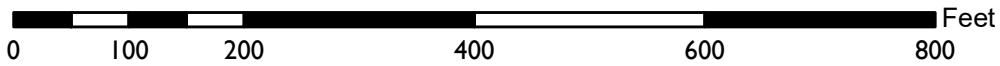
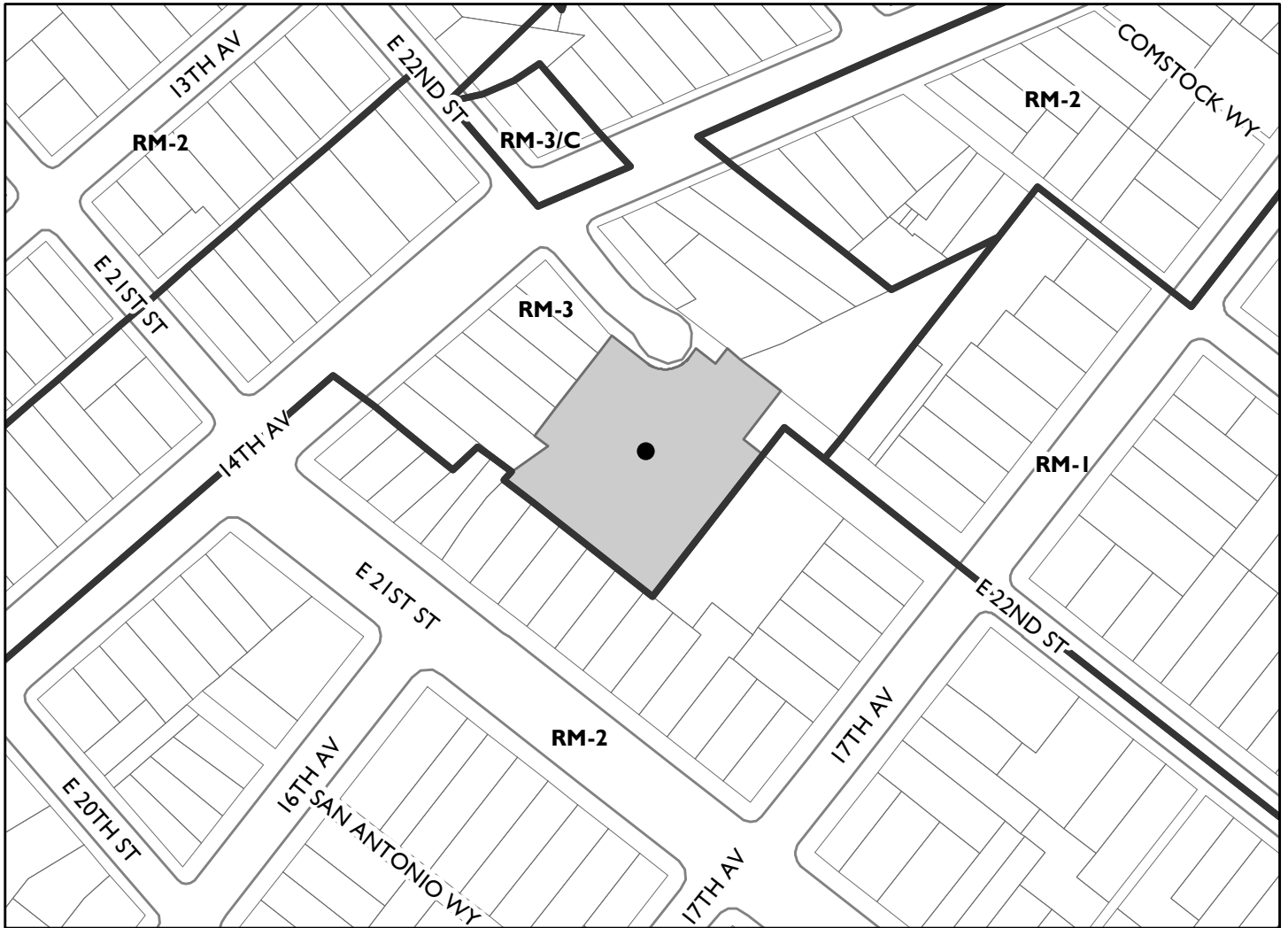
PROJECT DESCRIPTION

The proposal will legalize the conversion of a nonresidential manager’s office, located within the interior of the site, to a 425 square-foot efficiency dwelling unit. The unit will be a low-income restricted for persons that meet an Area Median Income of 50-80%. No changes are proposed to the exterior of the building or the site.

GENERAL PLAN ANALYSIS

The proposed project site is classified as Mixed Housing Type Residential per the General Plan’s Land Use and Transportation Element (LUTE). The intent of this classification is “to create, maintain, and enhance residential areas typically located near the City’s major arterials and characterized by a mix of single family

CITY OF OAKLAND PLANNING COMMISSION



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Zone: RM-3

homes, townhouses, small multi-unit buildings, and neighborhood businesses where appropriate.” This project conforms to the following LUTE objective:

Objective N3

Encourage the construction, and enhancement of housing resources in order to meet the current and future needs of the Oakland community.

This project also conforms to the City’s Housing Element and other objectives and goals of the City to increase the development of affordable housing units. This project will provide one affordable unit for low-income persons.

ZONING ANALYSIS

The Project site is located within the RM-3 Zone which is intended to “create, maintain, and enhance residential areas characterized by a mix of single family homes, duplexes, townhouses, small multi-unit buildings at somewhat higher densities than in RM-2, and neighborhood businesses where appropriate.”

Major Conditional Use Permit

The project applicant is proposing 24 units on the lot. Pursuant to Table 17.17.50 of the City of Oakland Planning Code, the RM-3 Zone permits three or more residential units, with one unit for every 1,500 square feet of lot area, upon approval of a Conditional Use Permit (CUP). The 38,162 square foot subject site would allow for a maximum of 25 units. However, since the project would result in more than seven units on the site, a Major CUP is required per Planning Code Section 17.134.020(A)(1). The required findings for a Major CUP, including the additional required findings for increased density, are attached and included in the *Findings* section of this report as part of staff’s evaluation.

Design Review

Section 17.136.040 of the City of Oakland Planning Code requires Regular Design Review to construct or add a new dwelling unit, as well as for any work requiring a CUP. The required findings for a Regular Design Review are attached and included in the *Findings* section of this report as part of staff’s evaluation.

Parking and Open Space Requirements Other Zoning Issues

Typically, the RM-3 Zone requires one parking space per unit. However, Planning Code Section 17.116.110B allows a reduction in parking spaces for affordable housing units. Specifically, if a project includes very low, low or moderate affordable units and is located in a Transit Accessible Area then the parking is reduced by half. Since the project includes affordable units and is located near 14th Avenue which has a regular AC Transit route, the project can take advantage of this Section and no additional parking is required.

New units are required to provide 300 square feet of group open space or a total of 4,800 square feet for all 24 units unless private open space is substituted. The project would provide over 5,000 square feet of open space with the inclusion of private open space decks meeting this requirement.

No other Zoning requirements are triggered by the project such as height or setbacks, as it is a conversion of interior space only.

ENVIRONMENTAL DETERMINATION

Staff finds that the conversion of the manager’s office to a low-income restricted affordable housing unit within an existing affordable housing development is categorically exempt from the California

Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (existing facilities) The building already exists, and no changes are proposed to the exterior of the building or the site itself. The project involves negligible or no expansion of existing or former use. On a separate and independent basis, staff also finds that the proposal is consistent with CEQA Guideline Section 15303 (conversion or construction of small structures) as the conversion of non-residential space to a residential use. Further, none of the exceptions to use of a use of a CEQA exemption are triggered by the proposal. Finally, on another separate and independent basis, that CEQA Guidelines Section 15183.3 (Projects consistet with a Community Plan, General Plan or Zoning) is also applicable as noted in the *General Plan* and *Zoning* sections above.

KEY ISSUES AND IMPACTS

Staff has not identified any Key Issues or Impacts to the proposal.

RECOMMENDATIONS

1. Affirm staff's environmental determination.
2. Approve the Regular Design Review and Major Conditional Use Permit subject to the attached findings and conditions.

Prepared by:



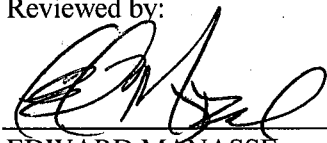
HEATHER KLEIN
Planner IV

Reviewed by:



ROBERT D. MERKAMP
Zoning Manager

Reviewed by:



EDWARD MANASSE
Deputy Director, Bureau of Planning

ATTACHMENTS:

- A. Project Plans

FINDINGS FOR APPROVAL

The proposal meets the required findings under Section 17.134.050 (General Conditional Use Permit Findings); Section 17.17.050A (Additional Conditional Use Permit Findings); and Section 17.136.50A (Residential Design Review Findings) are set forth below. Required findings are shown in **bold type** and the explanation for why the findings can be met is in normal type.

General Conditional Use Permit Findings (17.134.050)

A. That the location, size, design, and operating characteristics of the proposed development will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to harmony in scale, bulk, coverage, and density; to the availability of civic facilities and utilities; to harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity of surrounding streets; and to any other relevant impact of the development;

The project is the conversion of a manager's office into a dwelling unit. No changes are proposed to the location, size, design, or operating characteristics of the property. The property will remain residential. Furthermore, the new unit is located on the interior property, and as such will not affect the livability or appropriate development of the surrounding neighborhood. The new unit will not generate significant traffic over what was occurring as part of the management office.

B. That the location, design, and site planning of the proposed development will provide a convenient and functional living, working, shopping, or civic environment, and will be as attractive as the nature of the use and its location and setting warrant;

The location, design and site planning are not being changed with the proposed project as it is only a conversion of an existing space. Further, no changes are proposed to the exterior of the building.

C. That the proposed development will enhance the successful operation of the surrounding area in its basic community functions, or will provide an essential service to the community or region;

The proposal will enhance the surrounding operation of the area by providing a new affordable housing unit within an existing affordable housing department.

D. That the proposal conforms to all applicable regular design review criteria set forth in the regular design review procedure at Section 17.136.050

See the Regular Design Review Findings below.

E. That the proposal conforms in all significant respects with the Oakland General Plan and with any other applicable guidelines or criteria, district plan or development control map which has been adopted by the Planning Commission or City Council.

The subject site is in the Urban Residential land use classification per the Land Use and Transportation Element (LUTE) of the City of Oakland's General Plan. The Urban Residential classification is intended to create, maintain, and enhance areas of the City appropriate for multi-unit, mid-rise, or high-rise residential structures in locations with good access to transportation and other services.

Objective N3 of the LUTE states: "Encourage the construction, conservation, and enhancement of housing

resources to meet the current and future needs of the Oakland community.” This proposal, to convert a manager’s office into a dwelling unit will add another low income restricted affordable unit for to Oakland’s housing supply.

Since the project is the conversion of a manager’s office into a dwelling unit and no changes are proposed to the exterior of the building, the design guidelines for the area do not apply.

F. For proposals involving a One- or Two-Family Residential Facility: If the conditional use permit concerns a regulation governing maximum height, minimum yards, maximum lot coverage, or maximum floor area ratio, the proposal also conforms with at least one of the following additional criteria:

- 1. The proposal when viewed in its entirety will not adversely impact abutting residences to the side, rear, or directly across the street with respect to solar access, view blockage and privacy to a degree greater than that which would be possible if the residence were built according to the applicable regulation, and, for conditional use permits that allow height increases, the proposal provides detailing, articulation or other design treatments that mitigate any bulk created by the additional height; or**
- 2. At least sixty percent (60%) of the lots in the immediate context are already developed and the proposal would not exceed the corresponding as-built condition on these lots, and, for conditional use permits that allow height increases, the proposal provides detailing, articulation or other design treatments that mitigate any bulk created by the additional height. The immediate context shall consist of the five (5) closest lots on each side of the project site plus the ten (10) closest lots on the opposite side of the street (see illustration I-4b); however, the Director of City Planning may make an alternative determination of immediate context based on specific site conditions. Such determination shall be in writing and included as part of any decision on any conditional use permit.**

This finding is not applicable. The project does not involve a one-two family residential facility but is a new unit as part of a multi-family facility. Furthermore, the project is not related to maximum height, minimum yards, maximum lot coverage, or maximum floor area ratio but to density.

Additional Conditional Use Permit Findings (Section 17.17.050A3)

In the RM-3 Zone, this CUP may only be granted upon determination that the proposal conforms to additional criteria a., d., and e.

a. That the proposed development will not adversely affect adjoining property, nor the surrounding neighborhood, with consideration to be given to density; to the availability of neighborhood facilities and play space to the generation of traffic and the capacity of surrounding streets; and to all other similar, relevant factors;

The proposal will not adversely affect the joining properties or the surrounding neighborhood with consideration given to density. The project will only add one more unit within an existing non-residential space. The new unit will not generate significant traffic, need for play space or availability of neighborhood facilities over what was occurring as part of the management office.

d. That the design and site planning of the buildings, open areas, parking and service areas, and other facilities provide a convenient, attractive, and functional living environment; and that paths,

Findings

stairways, accessways, and corridors are designed to minimize privacy impacts;

The project does not change the site planning, open space, parking, and service areas. The new unit will be within an existing building with no change to the exterior.

e. That lot shape, size, and dimensions allow a development which will provide satisfactory internal living conditions without adversely affecting the privacy, safety, or residential amenity of adjacent residences.

The parcel is approximately 38,000 square feet. The site already contains 23 units, and the site could support a maximum density of 25 units. The size, shape, dimensions and existing site planning of the site already provide satisfactory internal living conditions. The conversion of the existing building will not affect the privacy, safety or residential amenities of adjacent residences.

Regular Design Review Findings 17.136.050A

1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures:

The project is the conversion of a manager's office into a dwelling unit, and no changes are proposed to the exterior of the building including to the scale, bulk, height, materials, or massing. Therefore, the project site already includes 20 residential units. Furthermore, the area, except for directly across the street on International, the area is mostly residential uses.

2. That the proposed design will protect, preserve, or enhance desirable neighborhood characteristics;

The neighborhood characteristics include one to three-story single-family and multi-family buildings along 20th and 21st Street and one to two and a half-story residential and commercial buildings along International. The project enhances this mixed-use neighborhood by adding a new dwelling unit to the site, area, and City's housing supply.

3. That the proposed design will be sensitive to the topography and landscape.

The project is the conversion of a manager's office into a dwelling unit, and no changes are proposed to the exterior of the building. No changes to the grade or existing vegetation is proposed. Therefore, the project will be sensitive to the topography and landscape.

4. That, if situated on a hill, the design and massing of the proposed building relates to the grade of the hill;

The project is the conversion of a manager's office into a dwelling unit, and no changes are proposed to the exterior of the building. Furthermore, the lot is on located on a hill. Therefore, this finding is not applicable.

5. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

See Findings above.

CONDITIONS OF APPROVAL

The proposal is hereby approved subject to the following Conditions of Approval:

1. Approved Use

The project shall be constructed and operated in accordance with the authorized use as described in the approved application materials, and the approved plans dated December 20, 2019 and submitted on March 30, 2020, as amended by the following conditions of approval and mitigation measures, if applicable (“Conditions of Approval” or “Conditions”).

2. Effective Date, Expiration, Extensions and Extinguishment

This Approval shall become effective immediately, unless the Approval is appealable, in which case the Approval shall become effective in ten (10) calendar days unless an appeal is filed. Unless a different termination date is prescribed, this Approval shall expire **two years** the Approval date, or from the date of the final decision in the event of an appeal, unless within such period a complete building permit application has been filed with the Bureau of Building and diligently pursued towards completion, or the authorized activities have commenced in the case of a permit not involving construction or alteration. Upon written request and payment of appropriate fees submitted no later than the expiration date of this Approval, the Director of City Planning or designee may grant a one-year extension of this date, with additional extensions subject to approval by the approving body. Expiration of any necessary building permit or other construction-related permit for this project may invalidate this Approval if said Approval has also expired. If litigation is filed challenging this Approval, or its implementation, then the time period stated above for obtaining necessary permits for construction or alteration and/or commencement of authorized activities is automatically extended for the duration of the litigation.

3. Compliance with Other Requirements

The project applicant shall comply with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to those imposed by the City’s Bureau of Building, Fire Marshal, Department of Transportation, and Public Works Department. Compliance with other applicable requirements may require changes to the approved use and/or plans. These changes shall be processed in accordance with the procedures contained in Condition #4.

4. Minor and Major Changes

- a. Minor changes to the approved project, plans, Conditions, facilities, or use may be approved administratively by the Director of City Planning.
- b. Major changes to the approved project, plans, Conditions, facilities, or use shall be reviewed by the Director of City Planning to determine whether such changes require submittal and approval of a revision to the Approval by the original approving body or a new independent permit/approval. Major revisions shall be reviewed in accordance with the procedures required for the original permit/approval. A new independent permit/approval shall be reviewed in accordance with the procedures required for the new permit/approval.

5. Compliance with Conditions of Approval

- a. The project applicant and property owner, including successors, (collectively referred to hereafter as the “project applicant” or “applicant”) shall be responsible for compliance with all the Conditions of Approval and any recommendations contained in any submitted and approved

technical report at his/her sole cost and expense, subject to review and approval by the City of Oakland.

- b. The City of Oakland reserves the right at any time during construction to require certification by a licensed professional at the project applicant's expense that the as-built project conforms to all applicable requirements, including but not limited to, approved maximum heights and minimum setbacks. Failure to construct the project in accordance with the Approval may result in remedial reconstruction, permit revocation, permit modification, stop work, permit suspension, or other corrective action.
- c. Violation of any term, Condition, or project description relating to the Approval is unlawful, prohibited, and a violation of the Oakland Municipal Code. The City of Oakland reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the Approval or alter these Conditions if it is found that there is violation of any of the Conditions or the provisions of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions. The project applicant shall be responsible for paying fees in accordance with the City's Master Fee Schedule for inspections conducted by the City or a City-designated third-party to investigate alleged violations of the Approval or Conditions.

6. Signed Copy of the Approval/Conditions

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times.

7. Blight/Nuisances

The project site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within sixty (60) days of approval, unless an earlier date is specified elsewhere.

8. Indemnification

- a. To the maximum extent permitted by law, the project applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the Oakland City Council, the Oakland Redevelopment Successor Agency, the Oakland City Planning Commission, and their respective agents, officers, employees, and volunteers (hereafter collectively called "City") from any liability, damages, claim, judgment, loss (direct or indirect), action, causes of action, or proceeding (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "Action") against the City to attack, set aside, void or annul this Approval or implementation of this Approval. The City may elect, in its sole discretion, to participate in the defense of said Action and the project applicant shall reimburse the City for its reasonable legal costs and attorneys' fees.
- b. Within ten (10) calendar days of the filing of any Action as specified in subsection (a) above, the project applicant shall execute a Joint Defense Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment, or invalidation of the Approval. Failure to timely execute the Letter of Agreement does not relieve the project applicant of any of the obligations contained in this Condition or other requirements or Conditions of Approval that may be imposed by the City.

9. Severability

The Approval would not have been granted but for the applicability and validity of each and every one of the specified Conditions, and if one or more of such Conditions is found to be invalid by a court of competent jurisdiction this Approval would not have been granted without requiring other valid Conditions consistent with achieving the same purpose and intent of such Approval.

10. Special Inspector/Inspections, Independent Technical Review, Project Coordination and Monitoring

The project applicant may be required to cover the full costs of independent third-party technical review and City monitoring and inspection, including without limitation, special inspector(s)/inspection(s) during times of extensive or specialized plan-check review or construction, and inspections of potential violations of the Conditions of Approval. The project applicant shall establish a deposit with Engineering Services and/or the Bureau of Building, if directed by the Director of Public Works, Building Official, Director of City Planning, Director of Transportation, or designee, prior to the issuance of a construction-related permit and on an ongoing as-needed basis.

11. Public Improvements

The project applicant shall obtain all necessary permits/approvals, such as encroachment permits, obstruction permits, curb/gutter/sidewalk permits, and public improvement (“p-job”) permits from the City for work in the public right-of-way, including but not limited to, streets, curbs, gutters, sidewalks, utilities, and fire hydrants. Prior to any work in the public right-of-way, the applicant shall submit plans for review and approval by the Bureau of Planning, the Bureau of Building, Engineering Services, Department of Transportation, and other City departments as required. Public improvements shall be designed and installed to the satisfaction of the City.

12. Trash and Blight Removal

Requirement: The project applicant and his/her successors shall maintain the property free of blight, as defined in chapter 8.24 of the Oakland Municipal Code. For nonresidential and multi-family residential projects, the project applicant shall install and maintain trash receptacles near public entryways as needed to provide sufficient capacity for building users.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

13. Graffiti Control

Requirement:

- a. During construction and operation of the project, the project applicant shall incorporate best management practices reasonably related to the control of graffiti and/or the mitigation of the impacts of graffiti. Such best management practices may include, without limitation:
 - i. Installation and maintenance of landscaping to discourage defacement of and/or protect likely graffiti-attracting surfaces.
 - ii. Installation and maintenance of lighting to protect likely graffiti-attracting surfaces.
 - iii. Use of paint with anti-graffiti coating.
 - iv. Incorporation of architectural or design elements or features to discourage graffiti defacement in accordance with the principles of Crime Prevention Through Environmental Design (CPTED).
 - v. Other practices approved by the City to deter, protect, or reduce the potential for graffiti defacement.

- b. The project applicant shall remove graffiti by appropriate means within seventy-two (72) hours. Appropriate means include the following:
 - i. Removal through scrubbing, washing, sanding, and/or scraping (or similar method) without damaging the surface and without discharging wash water or cleaning detergents into the City storm drain system.
 - ii. Covering with new paint to match the color of the surrounding surface.
 - iii. Replacing with new surfacing (with City permits if required).

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

14. Dust Controls – Construction Related

Requirement: The project applicant shall implement all of the following applicable dust control measures during construction of the project:

- a. Water all exposed surfaces of active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever feasible.
- b. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e., the minimum required space between the top of the load and the top of the trailer).
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. Limit vehicle speeds on unpaved roads to 15 miles per hour.
- e. All demolition activities (if any) shall be suspended when average wind speeds exceed 20 mph.
- f. All trucks and equipment, including tires, shall be washed off prior to leaving the site.
- g. Site accesses to a distance of 100 feet from the paved road shall be treated with a 6 to 12 inch compacted layer of wood chips, mulch, or gravel.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

15. Criteria Air Pollutant Controls - Construction Related

Requirement: The project applicant shall implement all of the following applicable basic control measures for criteria air pollutants during construction of the project as applicable:

- a. Idling times on all diesel-fueled commercial vehicles over 10,000 lbs. shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to two minutes (as required by the California airborne toxics control measure Title 13, Section 2485, of the California Code of Regulations). Clear signage to this effect shall be provided for construction workers at all access points.
- b. Idling times on all diesel-fueled off-road vehicles over 25 horsepower shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to two minutes and fleet operators must develop a written policy as required by Title 23, Section 2449, of the California Code of Regulations (“California Air Resources Board Off-Road Diesel Regulations”).

- c. All construction equipment shall be maintained and properly tuned in accordance with the manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. Equipment check documentation should be kept at the construction site and be available for review by the City and the Bay Area Air Quality District as needed.
- d. Portable equipment shall be powered by grid electricity if available. If electricity is not available, propane or natural gas generators shall be used if feasible. Diesel engines shall only be used if grid electricity is not available and propane or natural gas generators cannot meet the electrical demand.
- e. Low VOC (i.e., ROG) coatings shall be used that comply with BAAQMD Regulation 8, Rule 3: Architectural Coatings.
- f. All equipment to be used on the construction site shall comply with the requirements of Title 13, Section 2449, of the California Code of Regulations ("California Air Resources Board Off-Road Diesel Regulations") and upon request by the City (and the Air District if specifically requested), the project applicant shall provide written documentation that fleet requirements have been met.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

16. Asbestos in Structures

Requirement: The project applicant shall comply with all applicable laws and regulations regarding demolition and renovation of Asbestos Containing Materials (ACM), including but not limited to California Code of Regulations, Title 8; California Business and Professions Code, Division 3; California Health and Safety Code sections 25915-25919.7; and Bay Area Air Quality Management District, Regulation 11, Rule 2, as may be amended. Evidence of compliance shall be submitted to the City upon request.

When Required: Prior to approval of construction-related permit

Initial Approval: Applicable regulatory agency with jurisdiction

Monitoring/Inspection: Applicable regulatory agency with jurisdiction

17. Construction-Related Permit(s)

Requirement: The project applicant shall obtain all required construction-related permits/approvals from the City. The project shall comply with all standards, requirements and conditions contained in construction-related codes, including but not limited to the Oakland Building Code and the Oakland Grading Regulations, to ensure structural integrity and safe construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

18. Hazardous Materials Related to Construction

Requirement: The project applicant shall ensure that Best Management Practices (BMPs) are implemented by the contractor during construction to minimize potential negative effects on groundwater, soils, and human health. These shall include, at a minimum, the following:

- a. Follow manufacture's recommendations for use, storage, and disposal of chemical products used in construction;
- b. Avoid overtopping construction equipment fuel gas tanks;

Conditions of Approval

- c. During routine maintenance of construction equipment, properly contain and remove grease and oils;
- d. Properly dispose of discarded containers of fuels and other chemicals;
- e. Implement lead-safe work practices and comply with all local, regional, state, and federal requirements concerning lead (for more information refer to the Alameda County Lead Poisoning Prevention Program); and
- f. If soil, groundwater, or other environmental medium with suspected contamination is encountered unexpectedly during construction activities (e.g., identified by odor or visual staining, or if any underground storage tanks, abandoned drums or other hazardous materials or wastes are encountered), the project applicant shall cease work in the vicinity of the suspect material, the area shall be secured as necessary, and the applicant shall take all appropriate measures to protect human health and the environment. Appropriate measures shall include notifying the City and applicable regulatory agency(ies) and implementation of the actions described in the City's Standard Conditions of Approval, as necessary, to identify the nature and extent of contamination. Work shall not resume in the area(s) affected until the measures have been implemented under the oversight of the City or regulatory agency, as appropriate.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

19. Construction Days/Hours

Requirement: The project applicant shall comply with the following restrictions concerning construction days and hours:

- a. Construction activities are limited to between 7:00 a.m. and 7:00 p.m. Monday through Friday, except that pier drilling and/or other extreme noise generating activities greater than 90 dBA shall be limited to between 8:00 a.m. and 4:00 p.m.
- b. Construction activities are limited to between 9:00 a.m. and 5:00 p.m. on Saturday. In residential zones and within 300 feet of a residential zone, construction activities are allowed from 9:00 a.m. to 5:00 p.m. only within the interior of the building with the doors and windows closed. No pier drilling or other extreme noise generating activities greater than 90 dBA are allowed on Saturday.
- c. No construction is allowed on Sunday or federal holidays.

Construction activities include, but are not limited to, truck idling, moving equipment (including trucks, elevators, etc.) or materials, deliveries, and construction meetings held on-site in a non-enclosed area.

Any construction activity proposed outside of the above days and hours for special activities (such as concrete pouring which may require more continuous amounts of time) shall be evaluated on a case-by-case basis by the City, with criteria including the urgency/emergency nature of the work, the proximity of residential or other sensitive uses, and a consideration of nearby residents'/occupants' preferences. The project applicant shall notify property owners and occupants located within 300 feet at least 14 calendar days prior to construction activity proposed outside of the above days/hours. When submitting a request to the City to allow construction activity outside of the above days/hours, the project applicant shall submit information concerning the type and duration of proposed construction activity and the draft public notice for City review and approval prior to distribution of the public notice.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

Conditions of Approval

20. Construction Noise

Requirement: The project applicant shall implement noise reduction measures to reduce noise impacts due to construction. Noise reduction measures include, but are not limited to, the following:

- a. Equipment and trucks used for project construction shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures and acoustically-attenuating shields or shrouds) wherever feasible.
- b. Except as provided herein, impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for project construction shall be hydraulically or electrically powered to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler can lower noise levels from the exhaust by up to about 10 dBA. External jackets on the tools themselves shall be used, if such jackets are commercially available, and this could achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever such procedures are available and consistent with construction procedures.
- c. Applicant shall use temporary power poles instead of generators where feasible.
- d. Stationary noise sources shall be located as far from adjacent properties as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or use other measures as determined by the City to provide equivalent noise reduction.
- e. The noisiest phases of construction shall be limited to less than 10 days at a time. Exceptions may be allowed if the City determines an extension is necessary and all available noise reduction controls are implemented.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

21. Operational Noise

Requirement: Noise levels from the project site after completion of the project (i.e., during project operation) shall comply with the performance standards of chapter 17.120 of the Oakland Planning Code and chapter 8.18 of the Oakland Municipal Code. If noise levels exceed these standards, the activity causing the noise shall be abated until appropriate noise reduction measures have been installed and compliance verified by the City.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

22. Capital Improvements Impact Fee

Requirement: The project applicant shall comply with the requirements of the City of Oakland Capital Improvements Fee Ordinance (chapter 15.74 of the Oakland Municipal Code).

When Required: Prior to issuance of building permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

23. Construction and Demolition Waste Reduction and Recycling

Requirement: The project applicant shall comply with the City of Oakland Construction and Demolition Waste Reduction and Recycling Ordinance (chapter 15.34 of the Oakland Municipal Code) by submitting a Construction and Demolition Waste Reduction and Recycling Plan (WRRP) for City review and approval, and shall implement the approved WRRP. Projects subject to these requirements include all new construction, renovations/alterations/modifications with construction values of \$50,000 or more (except R-3 type construction), and all demolition (including soft demolition) except demolition of type R-3 construction. The WRRP must specify the methods by which the project will divert construction and demolition debris waste from landfill disposal in accordance with current City requirements. The WRRP may be submitted electronically at www.greenhalosystems.com or manually at the City's Green Building Resource Center. Current standards, FAQs, and forms are available on the City's website and in the Green Building Resource Center.

When Required: Prior to approval of construction-related permit

Initial Approval: Public Works Department, Environmental Services Division

Monitoring/Inspection: Public Works Department, Environmental Services Division

24. Residential Tenants

Requirement: The property owner shall comply with all applicable laws and requirements concerning residential tenants, including but not limited to, the City's Rent Adjustment Ordinance (OMC chap. 8.22, Article I), Just Cause Eviction Ordinance (OMC chap. 8.22, Articles II & III), Tenant Protection Ordinance (OMC chap. 8.22, Article V) and Code Compliance Relocation Ordinance (OMC chap. 15.60). Existing and former tenants temporarily or permanently evicted, displaced or relocated due to the project or City action related to the project may be entitled to protections and benefits, including, but not limited to, relocation payments and the right to return to previous units. The property owner may be required to submit evidence of compliance with applicable tenant protection laws upon request of the City. For more information, please contact the Oakland Housing Assistance Center: 250 Frank H. Ogawa Plaza, 6th Floor, Oakland, California, 94612; (510) 238-6182.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: N/A

25. Affordable Residential Rental Units - Agreement and Monitoring

- a. Requirement #1:** Pursuant to Section 17.107 of the Oakland Planning Code and the State Density Bonus Law California Government Code Section 65915 et seq. ("State Density Bonus Law"), the proposed project shall provide 1 target dwelling units available at low income for receiving a density bonus, concession and/or waiver of development standards.
- b. Requirement #2:** The approved residential affordable units that are part of this approval shall remain and continue to be affordable at the specified level in accordance with California Health and Safety Code Section 50053 and its implementing regulations for a term of not less than 55 years or a longer period of time if required by the construction or mortgage finance assistance program, mortgage insurance program, or rental subsidy program. This Condition of Approval must also be in compliance with Section 65915(c)(1) of the State Density Bonus Law specifically, as well as all other applicable provisions of the State Density Bonus Law.
- c. Requirement #3:** Prior to submittal of a construction-related permit, the applicant shall contact the Housing and Community Development Department (Housing Development

Conditions of Approval

Services Division) to enter into a Regulatory Agreement based on the City's model documents, as may be amended from time to time, governing the target dwelling units. The Agreement shall contain restrictive covenants to ensure the continued affordability of the target dwelling units at the specified rent levels for a period of not less than fifty-five (55) years pursuant Section 65915 (c)(1) of the State Density Bonus Law, and restrict the occupancy of those units only to residents who satisfy the affordability requirement as approved for this project. Only households meeting the eligibility standards for the target dwelling units shall be eligible to occupy the target dwelling units.

If the property has an approved condominium map and the developer chooses to rent the affordable units at initial occupancy, the units cannot convert to ownership during the term of the Agreement, even if the market rate units in the development convert to ownership.

The Regulatory Agreement shall be recorded with the Alameda County Recorder's Office as an encumbrance against the property, and a copy of the recorded agreement shall be provided to and retained by the City. The Regulatory Agreement may not be subordinated in priority to any other lien interest in the property.

- d.* Requirement #4: Rental target dwelling units shall be managed / operated by the developer or developer's agent or the developer's successor. The developer of rental target dwelling units shall submit for review and approval by the Housing and Community Development Department and any other relevant City departments, an annual report identifying which units are target dwelling units, the monthly rent, vacancy information, monthly income for tenants of each target rental dwelling unit throughout the prior year, and other information required by the City. Said agreement shall maintain the tenants' privacy. The applicant shall pay to the Housing and Community Development Department an annual monitoring fee pursuant to the Master Fee Schedule (updated annually and available from the Budget Office of the City Oakland's Finance Department: <https://www.oaklandca.gov/departments/finance-department>) for City monitoring of target dwelling units.
- e.* Requirement #5: The floor area, number of bedrooms, and amenities (such as fixtures, appliances, location and utilities) of the affordable units shall be shall be substantially equal in size and quality to those of the market rate units. Further, the proportion of unit types (i.e. three-bedroom and four-bedroom, etc.) of the affordable units shall be roughly the same as the project's market rate units.
- f.* Requirement #6: Tenant households in affordable units must have equal access to the project's services and facilities as tenant households in all other units within the project.
- g.* Requirement #7: Affordable units must be evenly distributed throughout the project.
- h.* Requirement #8: Applicant shall comply with the requirements of Section 65915(c)(3)(A) of the State Density Bonus Law requiring, without limitation, replacement units in those circumstances where the parcel subject to the density bonus requests contains or contained affordable units within the last five years.
- i.* Requirement #9: Applicants shall comply with all applicable provisions of State Density Bonus Law and all provisions of the City's density bonus law that are not preempted by state law.
- j.* Requirement #10: Affordable units shall be constructed concurrent with the construction of the market rate units in each phase of the project.

Conditions of Approval

- k. Requirement #11: The City will not issue final certificates of occupancy for more than fifty percent (50%) of the market rate units in any phase of development until final certificates of occupancy are issued for all of the affordable units in that phase.

When Required: First Construction-Related Permit Application and Ongoing

Initial Approval: Housing and Community Development Department – Housing Development Services Division

Ongoing Monitoring/Inspections: Housing Development Services Division

Applicant Statement

I have read and accept responsibility for the Conditions of Approval. I agree to abide by and conform to the Conditions of Approval, as well as to all provisions of the Oakland Planning Code and Oakland Municipal Code pertaining to the project.

Name of Project Applicant

Signature of Project Applicant

Date

HILLSIDE TERRACE APARTMENTS

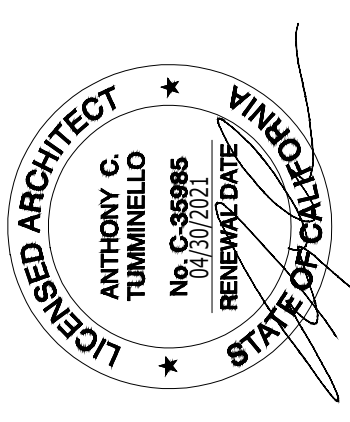
UNIT 24 - CONVERSION

1495 E 22ND STREET, OAKLAND, CA 94605

HILLSIDE TERRACE APARTMENTS
 UNIT 24 - CONVERSION
 1495 E 22ND STREET
 OAKLAND, CALIFORNIA 94605



ARCHITECT
 ARIZE ARCHITECTURE, INC.
 PO BOX 6532
 SCOTTSDALE, ARIZONA 85261
 O: 602.512.1863
 M: 646.418.3990



OWNER/APPLICANT
 OAKLAND VENTURE LP
 2711 N SEPULVEDA BLVD
 MANHATTAN BEACH, CA 90286
 T: 424.999.4598

CONSTRUCTION DOCUMENTS
 20 DECEMBER 2019
 DESIGN REVIEW SUBMITTAL - 3/24/20

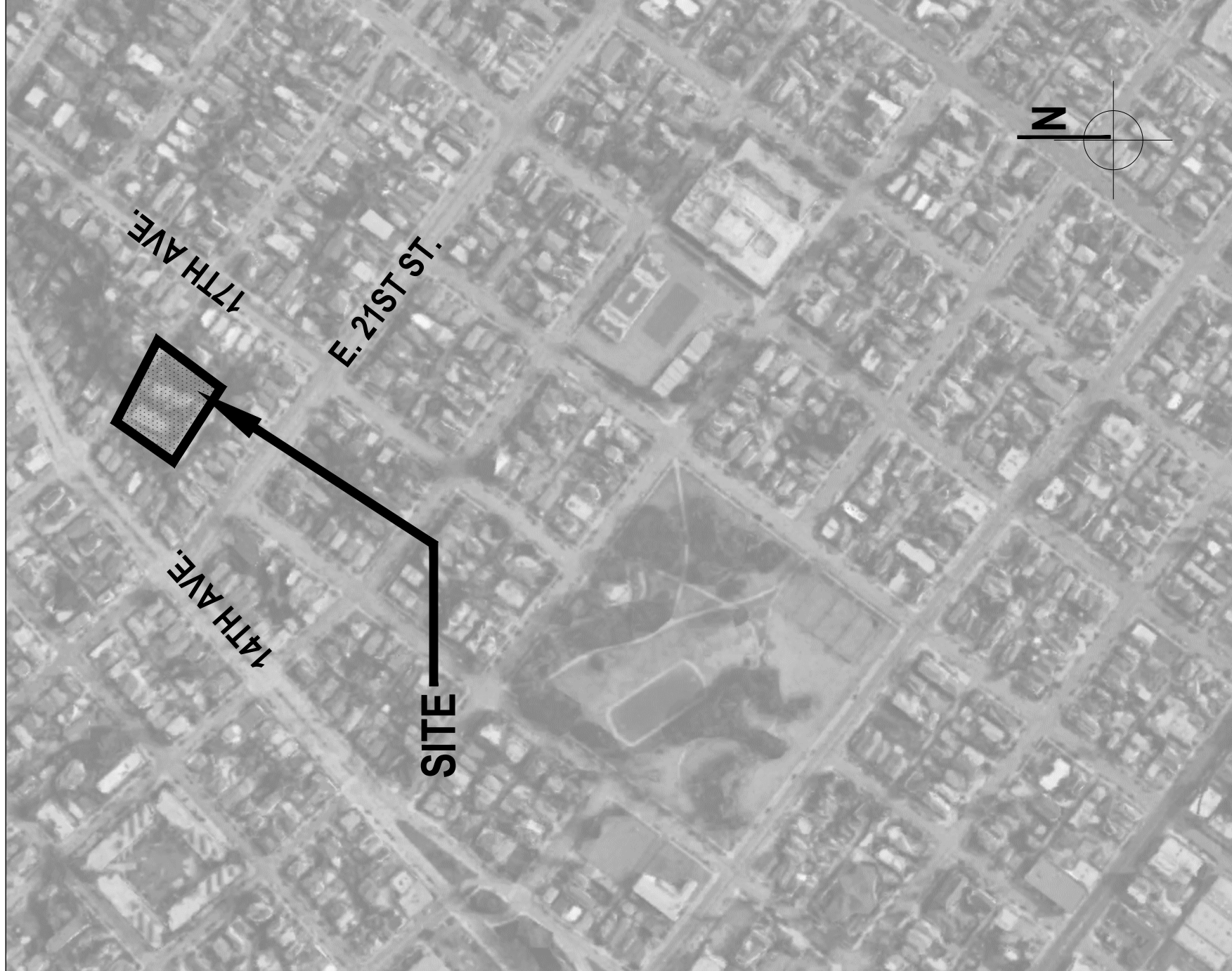
TITLE:
COVER

SCALE: VARIES
 JOB #: 2019-010
 REF: N/A
 SHEET NUMBER:

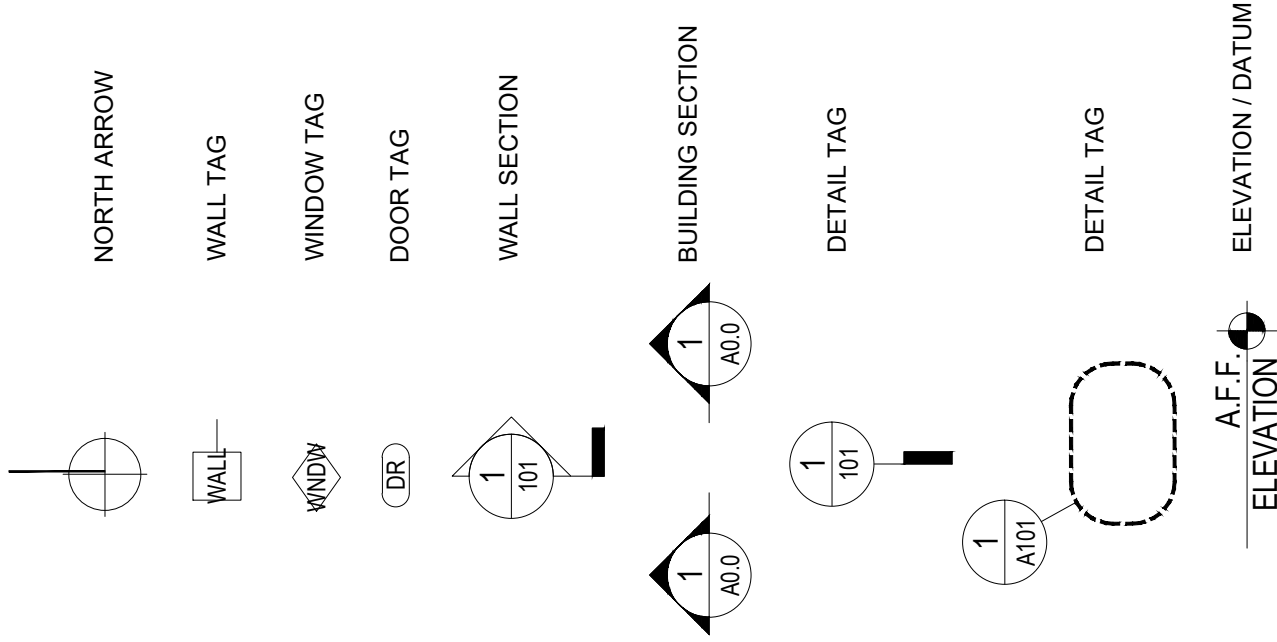
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VICINITY MAP



SYMBOL LEGEND



PROJECT DESCRIPTION

CONVERSION OF EXISTING INTERIOR SPACE INTO A NEW DWELLING UNIT IN AN EXISTING AFFORDABLE HOUSING COMPLEX. THIS SUBMITTAL IS LIMITED TO INTERIOR WORK IN A SINGLE PROPOSED DWELLING UNIT (UNIT #24). ADDITIONAL SITE-WIDE MAINTENANCE AND ENERGY-EFFICIENCY UPGRADES MAY BE SUBMITTED BY SEPARATE PERMIT.

SCOPE OF WORK

WORK INVOLVES NO INCREASES TO BUILDING SIZES, AREAS, OR VOLUME

INTERIOR:

- EXPAND (E) KITCHEN CABINETS FOR BETTER FUNCTIONALITY
- RELOCATE (E) HOT WATER HEATER FROM KITCHEN TO (E) STORAGE CLOSET
- LIKE AND REPLACEMENT OF EXISTING LIGHT FIXTURES
- EXPAND EXISTING CLOSET AREAS
- ELECTRICAL MODIFICATIONS AS NEEDED FOR CURRENT CODE AND TO SERVE NEW KITCHEN LAYOUT.

NO SITE WORK MODIFICATIONS AS PART OF THIS SUBMITTAL

NO STRUCTURAL MODIFICATIONS ANTICIPATED

DRAWING INDEX

- A0.0 COVER / PROJECT INFO
- A0.1 PROJECT NOTES
- SVY SURVEY
- A1.1 SITE PLAN
- A1.2 OPEN SPACE
- A2.1 FIRST FLOOR BUILDING PLAN
- A2.2 SECOND FLOOR BUILDING PLAN
- A2.10 UNIT PLAN / DEMO PLAN
- A3.1 ELEVATIONS / PHOTOS
- M0 MECHANICAL SCHEDULES AND FLOOR PLAN
- P0 PLUMBING TITLE SHEET
- P1 PLUMBING FLOOR PLANS
- E1 GENERAL NOTES
- E2 ELECTRICAL PLANS
- E3 ELECTRICAL SPECIFICATIONS

GENERAL NOTES

- IT IS THE INTENT OF THESE DRAWINGS TO DEFINE A COMPLETE, FINISHED JOB. ANY ITEMS, MATERIALS, OR LABOR, NOT EXPLICITLY CALLED FOR IN THE DRAWINGS, EITHER THROUGH DISCREPANCY OR OMISSION, BUT WHICH WOULD BE REQUIRED TO PROVIDE A COMPLETE, CODE COMPLIANT, FULLY FUNCTIONAL AND FINISHED PRODUCT, OR ANYTHING REQUIRED TO PASS CITY INSPECTION, SHALL BE PROVIDED AND FINISHED AT NO ADDITIONAL COST UNLESS A WRITTEN CHANGE ORDER IS SIGNED BY THE OWNER PRIOR TO START OF ADDITIONAL WORK.
- PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO FURNISH AND INSTALL ALL MATERIALS SHOWN AND TO COMPLETE THE PROJECT IN A WORKMANLIKE MANNER.
- ALL DESIGNS, DRAWINGS AND DETAILS REPRESENT COMPLETED IN-PLACE WORK. ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR OR ANY OTHER PERSON PERFORMING ANY OTHER PORTION OF THE WORK OR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN CONFORMANCE WITH THE CONTRACT DOCUMENTS, OR INSTRUCTIONS FROM THE TENANT.
- ARCHITECT CANNOT AND DOES NOT WARRANT THE SAFETY OR INTEGRITY OF THE EXISTING BUILDING OR ANY OF ITS COMPONENTS OR THAT THE ORIGINAL, EXISTING TENANT SPACE WAS CONSTRUCTED TO CODE. THE ARCHITECT'S INVOLVEMENT WITH THE EXISTING BUILDING IS SOLELY LIMITED TO THE NEW WORK SHOWN IN THIS SET OF ARCHITECTURAL DRAWINGS.
- CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS AND CONDITIONS AND INFORM ARCHITECT OF ANY DISCREPANCY BETWEEN THESE CONTRACT DOCUMENTS AND IN-PLACE CONSTRUCTION PRIOR TO CONSTRUCTION OF THIS PROJECT.
- CONFORM TO APPLICABLE CODES AND TO OTHER APPLICABLE REGULATIONS.
- KEEP SITE CLEAN, REMOVE SURPLUS MATERIALS AND DEBRIS UPON COMPLETION OF THE WORK.
- CONTRACTOR TO PATCH, REPAIR, CAP OFF AND ADAPT AS NECESSARY ALL MECH., PLUMB. AND ELECT. SYSTEMS REQUIRED TO BE ALTERED DUE TO THE EXECUTION OF NEW WORK, AS WELL AS REPAIRING AND CLEANING ALL WORK DAMAGED THROUGHOUT THE COURSE OF CONSTRUCTION.
- CONTRACTOR TO PATCH, REPAIR, AND REFINISH AS NECESSARY ALL EXISTING WALL

PROJECT INFORMATION

PROJECT AREA (BEFORE/AFTER): 425 SF / 425 SF (NO CHANGE)
TOTAL SITE AREA: 41,381 SQ. SF (NO CHANGE)
TOTAL BUILDING AREA: 41,232 SQ. SF (NO CHANGE)
TOTAL # UNITS: (PRE/POST) 23/24 UNITS
CONSTRUCTION TYPE: V/B
OCCUPANCY: (PRE/POST) B/R
FIRE SPRINKLERS: NO
STORIES: 2-3, UNIT 24 LOCATED ON SECOND STORY ABOVE TUCKER UNDER PARKING AND STORAGE
APPLICABLE CODES: 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA FIRE CODE MODEL BUILDING CONSTRUCTION CODES, CITY OF OAKLAND AMENDMENTS TO THE CALIFORNIA MODEL BUILDING CONSTRUCTION CODES
PARKING EXISTING/PROPOSED: 23/23 (NO CHANGE)
RELATED SUBMITTALS: OTHER PROPERTY - WIDE ENERGY IMPROVEMENTS BY SEPARATE PERMIT (TBD)

PROPERTY INFORMATION

PROPERTY ADDRESS
 1495 E 22ND ST
 OAKLAND, CA 94605
OWNER
 OAKLAND VENTURE LP
 2711 N SEPULVEDA BLVD
 MANHATTAN BEACH, CA 90286
PARCEL NUMBER:
 21-298-31-1
JURISDICTION:
 CITY OF OAKLAND
ZONING (CURRENT)
 RM-3

PROJECT TEAM

ARCHITECT:
 ARIZE ARCHITECTURE, INC.
 P.O. BOX 6532
 SCOTTSDALE, ARIZONA 85261
 602.512.1863
 CONTACT: ANTHONY TUMMINELLO, AIA
CONTRACTOR:
 IMFRG-ICON CONSTRUCTION
 2461 SANTA MONICA BLVD.
 SUITE #150
 SANTA MONICA, CA 90404
 310.450.5661
 CONTACT: NICK GARNEATA
MECHANICAL/PLUMBING
 PINNACLE ENGINEERS
 430 SOUTH 4TH ST.
 SAN JOSE, CA 95112
 408.460.6591
 CONTACT: JENSEN LEE
ELECTRICAL
 WINSTON ENGINEERING, LLC
 23905 CLINTON KEITH RD, 114-381
 WILDOMAR, CA 92595
 951.708.6587
 CONTACT: ANTHONY WINSTON III, P.E.

Attachment A

ZONING INFORMATION

AWAITING ZONING REPORT

FLOOD ZONE

A FIELD SURVEY WAS NOT CONDUCTED TO DETERMINE THE FLOOD ZONE AREAS. ANY FLOOD ZONE LINES DISTINGUISHING BETWEEN FLOOD ZONE AREAS ARE LOCATED BY FIELD MEASUREMENTS. UTILITY MAP DRAWINGS, AND FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO DETERMINE OR VERIFY THE LOCATION OF THE FLOOD AREAS. THE SUBJECT PROPERTY'S COMMUNITY DOES PARTICIPATE IN THE PROGRAM. THE SUBJECT PROPERTY'S COMMUNITY PARTICIPATION PANEL NO. 06001006868 DATED 12/21/2018 AND IS NOT IN A FLOOD ZONE AREA.

MISCELLANEOUS NOTES

N1 THE BASIS OF BEARING FOR THIS SURVEY IS THE SOUTH RIGHT OF WAY LINE OF E 21ST ST, WHICH BEARS N 52°10'26" W PER GPS COORDINATE OBSERVATIONS TAKEN ON 07/16/2019 AT CORNER ONE S 140653.

N2 LONGITUDE = 122°14'19.95515" CONVERGENCE ANGLE = -1°03'52.54510" DISTANCES SHOWN ON PLATE ARE GRID. COMBINED SCALE FACTOR (GRID TO GROUND) = 1.00007063

THE TABLE BELOW DESCRIBES THE TYPE AND NUMBER OF PARKING STALLS ENTIRELY WITHIN PROPERTY BOUNDARY. STALLS THAT ARE PARTIALLY WITHIN BOUNDARY ARE LISTED UNDER THE HEADING "PARTIAL". PARTIAL STALLS ARE NOT COUNTED IN THE TOTAL

PARKING			
REGULAR	HANDICAP	TRAILER	TOTAL
13	0	0	13

N3 THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

N4 THERE WERE NO PROPOSED CHANGES IN STREET RIGHT OF WAY OR SIDEWALK WIDTH OR SIDEWALK ADJACENT TO THE SURVEYOR BY THE CONTROLLING JURISDICTION.

N6 NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK AT THE TIME OF SURVEY.

N5 THE NEAREST INTERSECTING STREET IS THE INTERSECTION OF E 22ND STREET AND 14TH AVE, WHICH IS APPROXIMATELY 126' ± FROM THE MOST NORTHWESTERLY CORNER OF THE SUBJECT PROPERTY.

N7 SURVEY PREPARED BY: BLEW & ASSOCIATES, P.A. 3925 N. SHILOH DRIVE FAYETTEVILLE, AR 72703 479-443-4506 EMAIL: SURVEY@BLEWINC.COM

UTILITY NOTE

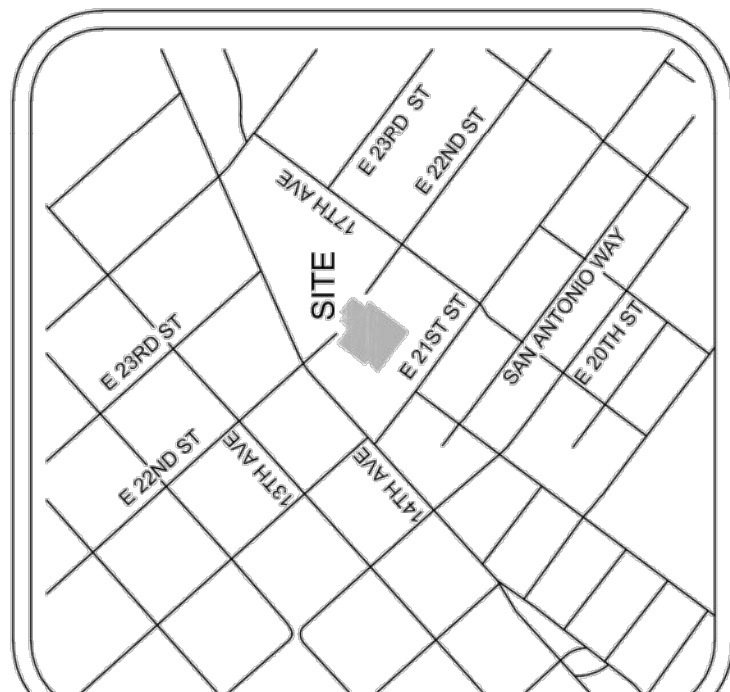
THE UTILITIES SHOWN ON THIS DRAWING HEREON HAVE BEEN LOCATED BY FIELD MEASUREMENTS. UTILITY MAP DRAWINGS, AND ONE CALL UTILITY LOCATE REQUEST. BLEW & ASSOCIATES MAKES NO WARRANTY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE CLIENT TO VERIFY THE LOCATION OF UTILITIES PRIOR TO CONSTRUCTION. CALL CALIFORNIA ONE CALL AT 811 OR 800-642-2444 BEFORE DIGGING.

COMCAST-OAKLAND AFTER HOURS: 888-824-8219
CITY OF OAKLAND CONSTRUCTION DEPT: 510-385-7475
PG&E DISTRICT OAKLAND AFTER HOURS: 800-743-5000

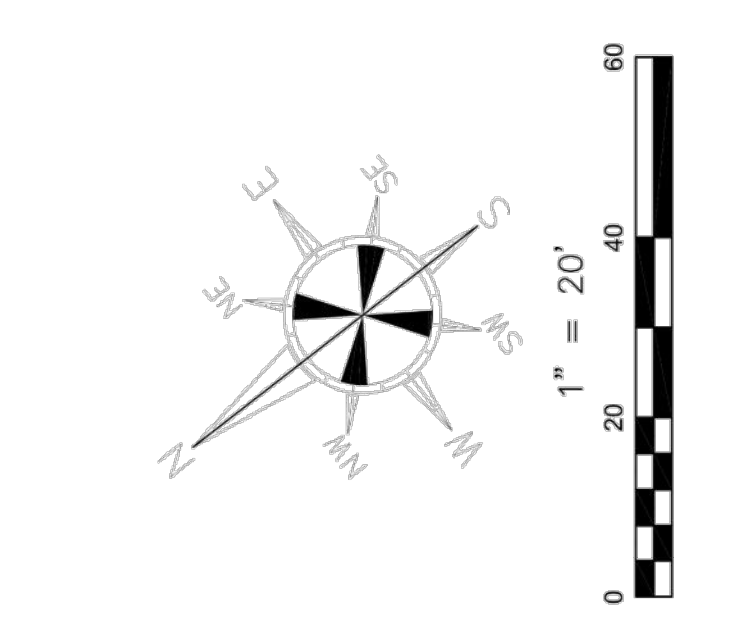
SURVEY RELATED ITEMS CORRESPONDING TO SCHEDULE B TITLE COMMITMENT

- 5 ANY EASEMENTS OR LESSER RIGHTS WHICH MAY BE CLAIMED AS TO A PORTION OF SAID LAND BY THE OWNERS OR USERS, INCLUDING ANY RIGHTS INCIDENTAL HERETO WHICH MAY BE ASCERTAINED BY MAKING INQUIRY OF SUCH OWNERS OR USERS, OF: CITY OF OAKLAND AS DISCLOSED BY SEWER MAP NO. 168 (AFFECTS, AS SHOWN)
- 6 MATTERS AS CONTAINED OR REFERRED TO IN AN INSTRUMENT, ENTITLED: DEED RESERVING EASEMENT APPURTENANT EXECUTED BY: OAKLAND COMMUNITY HOUSING, INC., AND EDWARD ROSENTHAL RECORDED: MAY 31, 1991 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 91-139109
- 7 WHICH AMONG OTHER THINGS PROVIDES: RIGHTS OF MAINTENANCE AND REPAIR. (AFFECTS, PLOTTED AND SHOWN)
- 8 AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES AS PROVIDED IN THE FOLLOWING INSTRUMENT: EASEMENT AGREEMENT GRANTED TO: EDWARD ROSENTHAL FOR: OPEN SPACE AND GARDENING RECORDED: MAY 31, 1991 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 91-139110

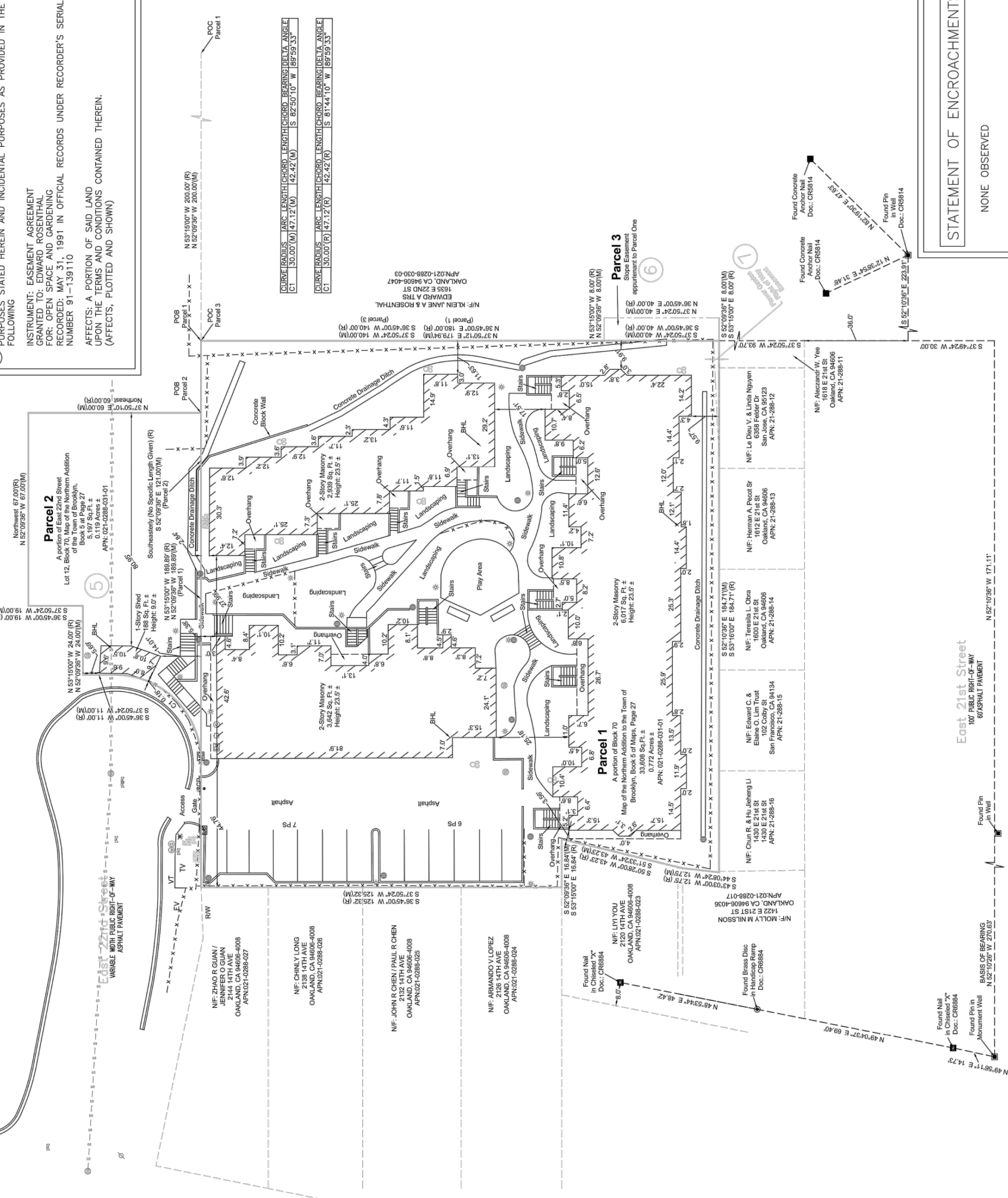
AFFECTS: A PORTION OF SAID LAND UPON THE TERMS AND CONDITIONS CONTAINED THEREIN (AFFECTS, PLOTTED AND SHOWN)



VICINITY MAP



LEGEND



STATEMENT OF ENCROACHMENTS
NONE OBSERVED

TITLE LEGAL DESCRIPTION

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF ALAMEDA, CITY OF OAKLAND, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
PARCEL ONE:

A PORTION OF BLOCK 70, ACCORDING TO THE "MAP OF THE NORTHERN ADDITION TO THE TOWN OF BROOKLYN," FILED MARCH 16, 1868 IN BOOK 5 OF MAPS, PAGE 27, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE SOUTHWESTERN LINE OF EAST 22ND STREET, FORMERLY SAUNDERS STREET, DISTANCE THEREON NORTH 53°15' WEST 200 FEET FROM THE POINT OF INTERSECTION THEREOF, WITH THE NORTHWESTERN LINE OF 17TH AVENUE, FORMERLY BROADWAY, AS SAID STREET AND BROADWAY ARE SHOWN ON SAID MAP; RUNNING THENCE NORTH 53°15' WEST ALONG THE SAID LINE OF EAST 22ND STREET, 189.89 FEET, MORE OR LESS, TO A POINT OF BEGINNING; THENCE SOUTH 36°45' WEST 189.89 FEET, MORE OR LESS, TO A POINT OF BEGINNING; THENCE SOUTH 36°45' WEST 125.32 FEET TO A POINT ON THE NORTHEASTERN BOUNDARY LINE OF THAT CERTAIN PARCEL OF LAND WHICH WAS DEED TO EDWARD ROSENTHAL, A SINGLE MAN, TO CERTAIN TECH NUMBER W-41182 IN BOOK 12866 OF OFFICIAL RECORDS OF ALAMEDA COUNTY, PAGE 239; THENCE ALONG THE SAID LAST MENTIONED LINE SOUTH 53°15' EAST 16.84 FEET TO THE MOST EASTERN CORNER THEREOF; THENCE SOUTH 50°28' WEST 43.23 FEET; THENCE SOUTH 43°03' WEST 12.75 FEET TO A POINT ON A LINE DRAWN PARALLEL, WITH THE NORTHEASTERN LINE OF EAST 21ST STREET, FORMERLY HEPBURN STREET, AS SAID STREET IS SHOWN ON SAID MAP, DISTANT 100 FEET NORTHEASTERLY THEREFROM, MEASURED AT RIGHT ANGLES THERETO; THENCE ALONG THE SAID PARALLEL LINE SO DRAWN, SOUTH 53°15' WEST 180.00 FEET, MORE OR LESS, FROM THE POINT OF BEGINNING; THENCE NORTH 36°45' EAST 180.00 FEET TO THE POINT OF BEGINNING.

PARCEL TWO:
A PORTION OF EAST 22ND STREET, BEGINNING AT THE INTERSECTION OF THE SOUTHWEST LINE OF EAST 22ND STREET WITH THE NORTHWEST LINE OF LOT 12, BLOCK 70, MAP OF THE NORTHERN ADDITION TO THE TOWN OF BROOKLYN, MAP BOOK 5 AT PAGE 27, AS RECORDED IN OFFICIAL RECORDS OF ALAMEDA COUNTY; THENCE FROM SAID POINT OF BEGINNING NORTHEASTERLY ALONG THE EXTENSION OF THE NORTHWEST LINE OF LOT 12, 60.00 FEET TO THE NORTHEAST LINE OF EAST 22ND STREET; THENCE NORTHWESTERLY ALONG THE NORTH LINE OF EAST 22ND STREET, 87.00 FEET; THENCE SOUTH 36°45' EAST 24.10 FEET; THENCE SOUTH 36°45' WEST 11.00 FEET TO THE CENTER LINE OF EAST 22ND STREET; THENCE SOUTHWESTERLY ALONG A TANGENT CURVE CONCAVE TO THE RIGHT WITH A RADIUS OF 30.00 FEET AN ARC DISTANCE OF 47.12 FEET TO A POINT ON THE SOUTHWEST LINE OF EAST 22ND STREET; THENCE SOUTHWESTERLY ALONG THE SOUTHWEST LINE OF EAST 22ND STREET TO THE POINT OF BEGINNING.

PARCEL THREE:
A SLOPE EASEMENT APPURTENANT TO PARCEL ONE AS DESCRIBED AS FOLLOWS:
COMMENCING AT A POINT THAT BEARS SOUTH 36°45' WEST 140.00 FEET FROM THE POINT OF BEGINNING OF PARCEL ONE AS DESCRIBED ABOVE, THENCE SOUTH 36°45' WEST 40.00 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID PARCEL ONE; THENCE SOUTH 53°15' WEST 6.00 FEET; THENCE NORTH 36°45' EAST 40.00 FEET; THENCE NORTH 53°15' WEST 8.00 FEET TO THE POINT OF COMMENCEMENT.

021-0288-031-01

THE ABOVE DESCRIBED PARCEL IS THE SAME LAND DESCRIBED IN OLD REPUBLIC TITLE COMPANY PRELIMINARY REPORT NO. 1117020708--JS WITH AN EFFECTIVE DATE OF JULY 16, 2019, AT 7:30 AM.

ALTA/NSPS LAND TITLE SURVEY
FOR
HILLSIDE TERRACE

PARTNER PROJECT NUMBER 19-251584.1 SITE NUMBER 001
ALTA SURVEY BASED AND RELIED ON OLD REPUBLIC TITLE COMPANY TITLE COMMITMENT, NUMBER 1117020708--JS, CONTAINING AN EFFECTIVE DATE AND TIME OF JULY 16, 2019, AT 7:30 AM

CERTIFICATION

TO 1495 EAST 22ND STREET, 2013, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, OLD REPUBLIC TITLE COMPANY, AND PARTNER ESI:
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS; COUNTY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-3, 4, 6B, 7A, 8B, 1, 7C, 8, 9, 10A, 11, 13, 14, 16, 17 AND 20 OF TABLE A THEREOF.
THE FIELDWORK WAS COMPLETED ON 07/16/2019.

PROPERTY ADDRESS: 1495 EAST 22ND STREET, OAKLAND, CA

PRELIMINARY

SURVEYOR: BUCKLEY D. BLEW
REGISTRATION NUMBER: 92774
STATE OF REGISTRATION: CALIFORNIA
FIELD DATE OF SURVEY: 07/22/2019
LATEST REVISION DATE: 08/07/2019

SIGNATURE

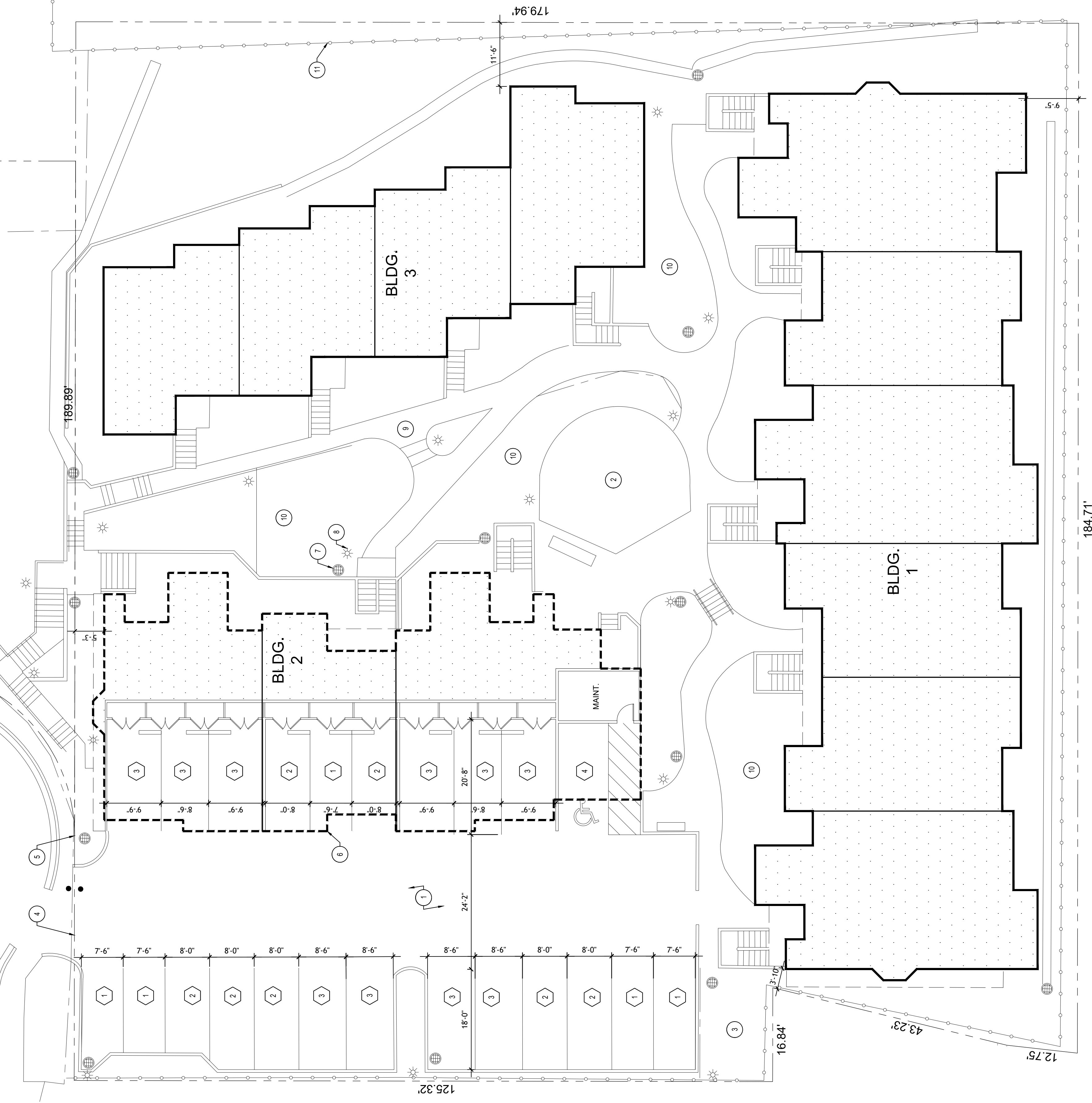
BLEW JOB #19-3717

CAXTON BUILDING
812 HURON RD, SUITE 235
CLEVELAND, OHIO 44115
T 440-987-1001
jdavenport@partneresi.com
http://www.partneresi.com/
PAGE 1 OF 1

PARTNER
Engineering and Science, Inc.

FOR REFERENCE ONLY

E. 22ND ST.



PLAN NOTES

1. ALL UNITS ENTRYWAY DIRECTLY TO EXTERIORS
2. SCALE OF PAVING AND CURB CANTON IS LIMITED TO PROPOSED UNIT 24
3. SEE SURVEY FOR ADDITIONAL INFO.

KEY NOTES

1. (E) PARKING (NO CHANGE)
2. (E) PLAY AREA
3. (E) TRASH ENCLOSURE
4. (E) VEHICULAR GATE
5. (E) LANDSCAPE GATE
6. (E) POLE MOUNTED SITE LIGHT, TYP.
7. (E) AREA DRAIN, TYP.
8. (E) POLE MOUNTED SITE LIGHT, TYP.
9. (E) CONC. WALKWAY, TYP.
10. (E) LANDSCAPE AREA, TYP.
11. (E) WOOD FENCE, TYP.

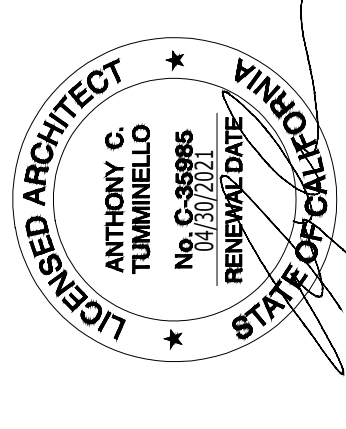
PARKING SPACES

TYPE	COUNT	%
COMPACT (1)	5	22%
INTERMEDIATE (2)	7	31%
REGULAR (3)	10	43%
ACCESSIBLE (4)	1	4%
TOTAL	23	100%

HILLSIDE TERRACE APARTMENTS
 UNIT 24 - CONVERSION
 1495 E 22ND STREET
 OAKLAND, CALIFORNIA 94605



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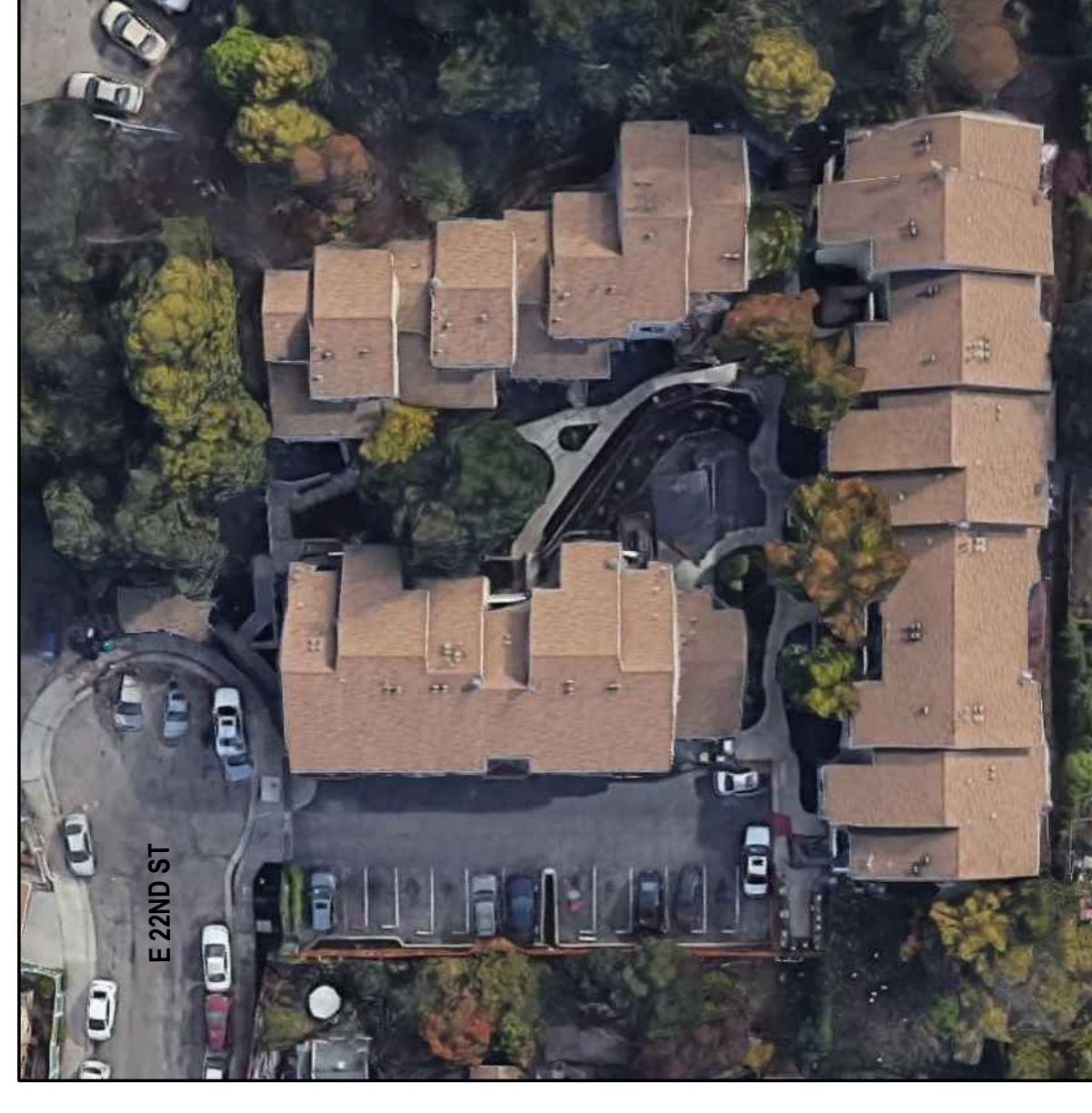
OWNER/APPLICANT
 OAKLAND VENTURE LP
 2711 N SEPULVEDA BLVD
 MANHATTAN BEACH, CA 90266
 T: 424.999.4598

CONSTRUCTION DOCUMENTS
 20 DECEMBER 2019
 DESIGN REVIEW SUBMITTAL - 3/24/20

TITLE:
SITE / GROUND PLAN
 SCALE: VARIES
 JOB #: 2019-010
 REF: N/A
 SHEET NUMBER:

A1.01

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1 NORTH
 2 NORTH



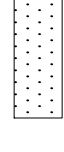
NORTH

1 SITE / GROUND PLAN
 SCALE: 3/32" = 1'-0"

PLAN NOTES

1. ALL UNITS ENTRAINED DIRECTLY TO EXTERIORS
2. SCOPE OF WORK FOR THIS APPLICATION IS LIMITED TO INTERIOR OF PROPOSED UNIT 24

NOT IN SCOPE

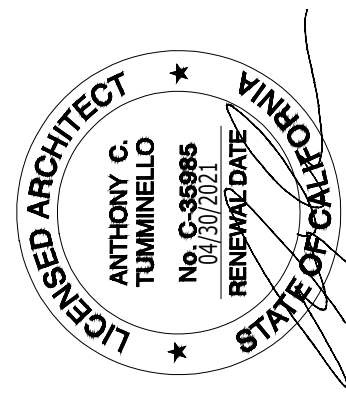


1 FIRST FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

HILLSIDE TERRACE APARTMENTS
UNIT 24 - CONVERSION
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CONSTRUCTION DOCUMENTS
20 DECEMBER 2019
DESIGN REVIEW SUBMITTAL - 3/24/20

TITLE:
FIRST FLOOR PLAN

SCALE: VARIES
JOB #: 2019-010
REF: N/A
SHEET NUMBER:

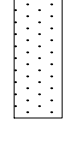
A2.01



PLAN NOTES

1. ALL UNITS ENTRY/EXIT DIRECTLY TO EXTERIORS
2. SCOPE OF WORK FOR THIS APPLICATION IS LIMITED TO INTERIOR OF PROPOSED UNIT 24

NOT IN SCOPE



1 SECOND FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

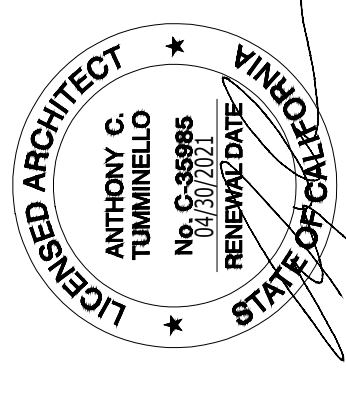


NORTH

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CONSTRUCTION DOCUMENTS
20 DECEMBER 2019
DESIGN REVIEW SUBMITTAL - 3/24/20

TITLE:
SECOND FLOOR PLAN

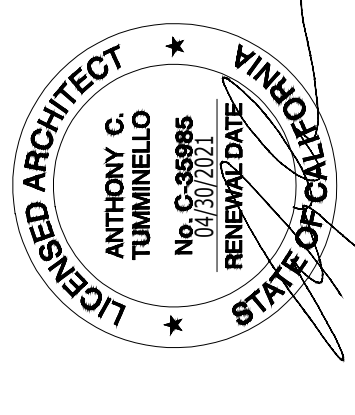
SCALE: VARIES
JOB #: 2019-010
REF: N/A
SHEET NUMBER:

A2.02

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CONSTRUCTION DOCUMENTS
 20 DECEMBER 2019
 DESIGN REVIEW SUBMITTAL - 3/24/20

TITLE:
STUDIO UNIT PLAN

SCALE: VARIES
 JOB #: 2019-010
 REF: N/A
 SHEET NUMBER:

A2.10

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GENERAL PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO THE START OF WORK. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO START OF WORK.
- ALL DIMENSIONS ARE TO FACE OF STUD. U.N.O.
- ALL UNITS ENTRY/EXIT DIRECTLY TO EXTERIOR.
- ALL PLUMBING AND ELECTRICAL INFORMATION SHALL BE COORDINATED WITH THE GENERAL INFORMATION.
- COORDINATE LOCATION OF ALL PLUMBING FIXTURES WITH FINAL CABINET LAYOUTS WHERE MODIFIED.
- ALL NEW APPLIANCES ARE TO BE ENERGY STAR RATED.
- WORK SHALL CONVERT EXISTING BUSINESS USE TYPE (B) TO RESIDENTIAL (R).

DEMO KEY NOTES

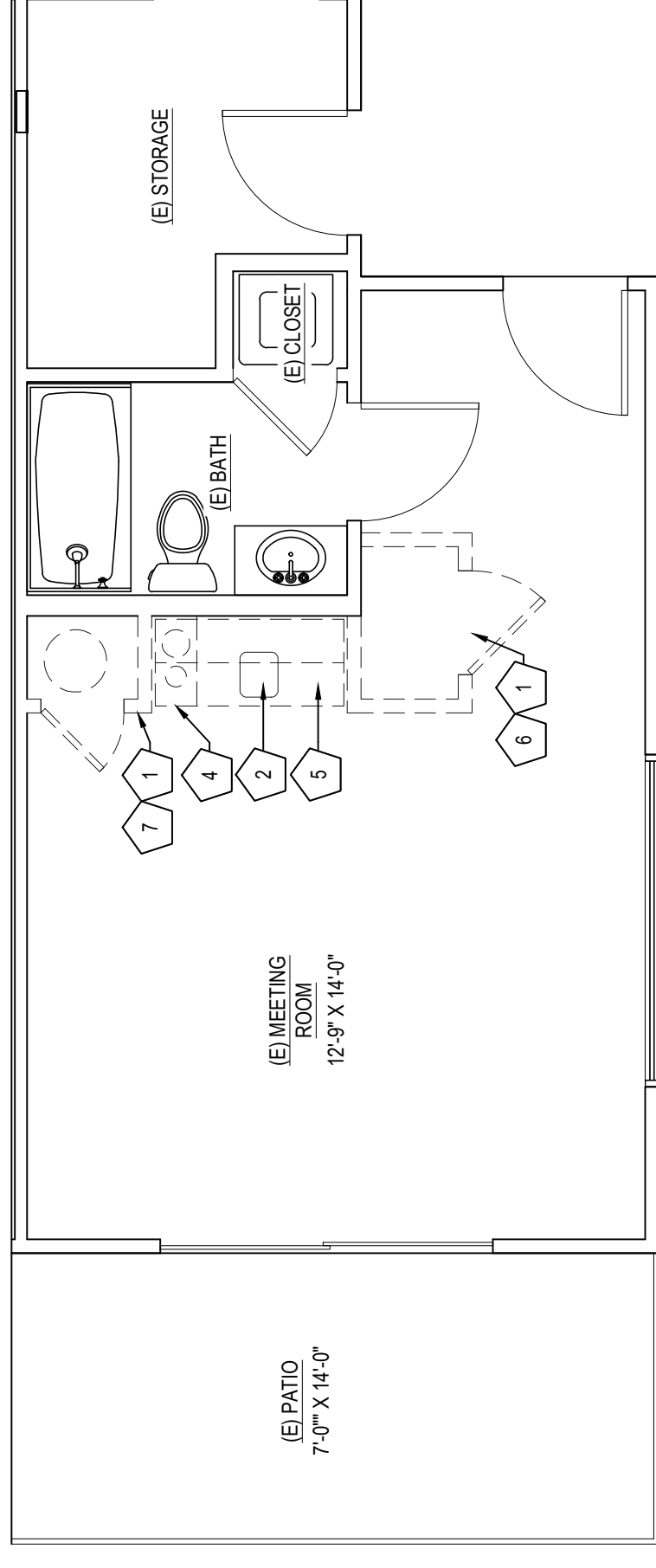
- REMOVE WALL
- REMOVE SINK & COUNTER
- N/A
- REMOVE RANGE/OVEN AND VENT HOOD
- REMOVE ALL MILLWORK & COUNTERTOPS
- REMOVE HWH/ PREP FOR NEW
- REMOVE HWH/ PREP FOR NEW

PLAN KEY NOTES

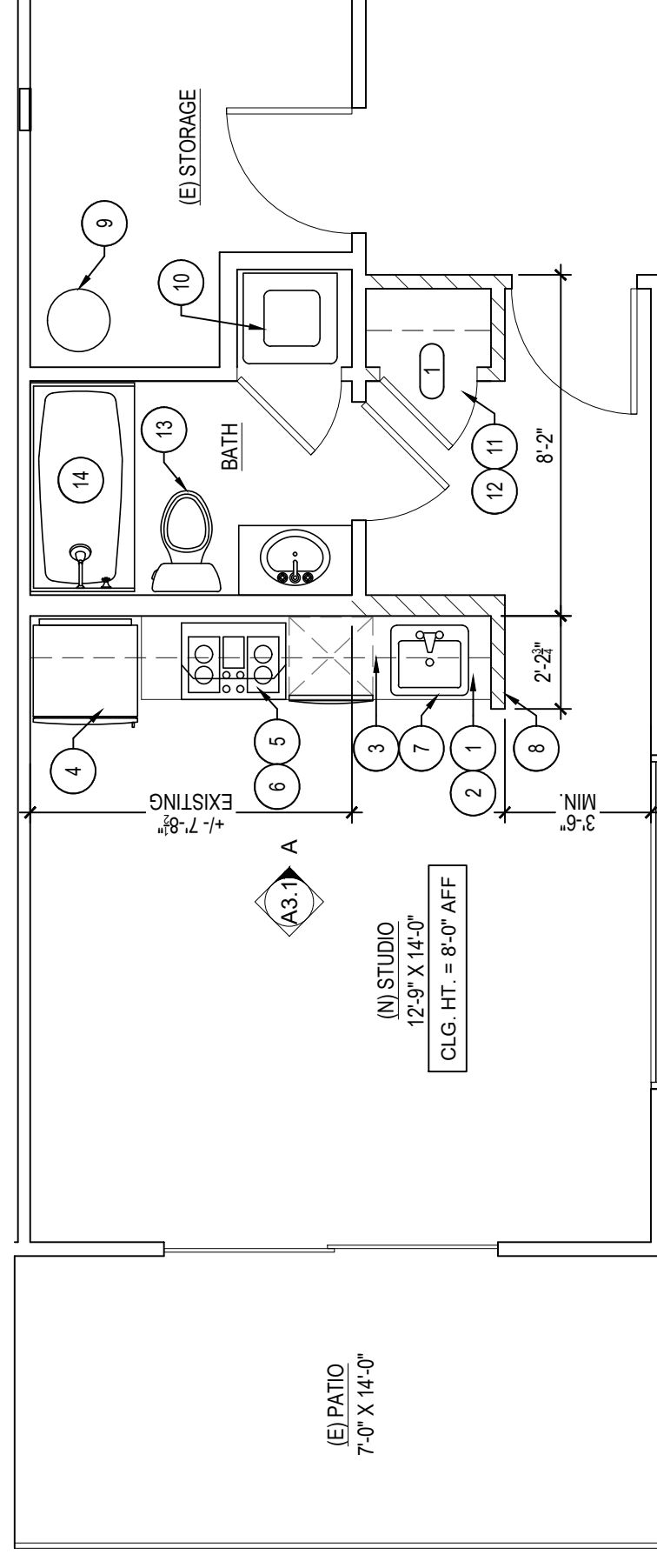
- (N) GRANITE COUNTERTOPS
- (N) CABINETS
- (N) REFR. CABINETS
- (N) REFRIGERATOR
- (N) RANGE
- (N) RANGE HOOD
- (N) SINK
- NEW NON-LOAD BEARING PARTITION WALL
- RELOCATE (N) WATER HEATER
- (N) WATER HEATER
- (N) CLOSET W/ HANG ROD
- (N) 2'-4" CLOSET DOOR
- (E) TOILET
- (E) TUB / SHOWER W/ SURROUND

SYMBOL LEGEND

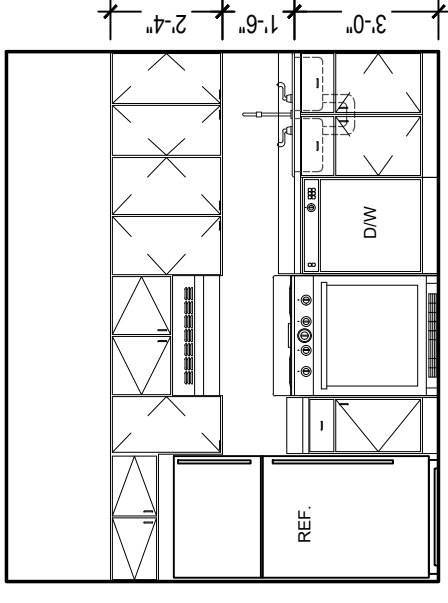
- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED
- (N) INTERIOR PARTITION



1 DEMO PLAN - 425 SF.
 SCALE: 1/4" = 1'-0"

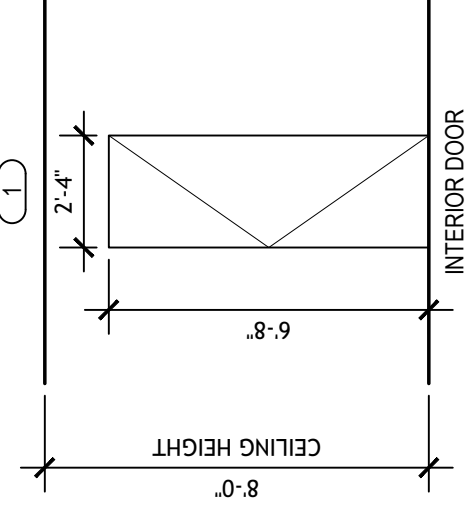


2 STUDIO UNIT PLAN - 425 SF.
 SCALE: 1/4" = 1'-0"



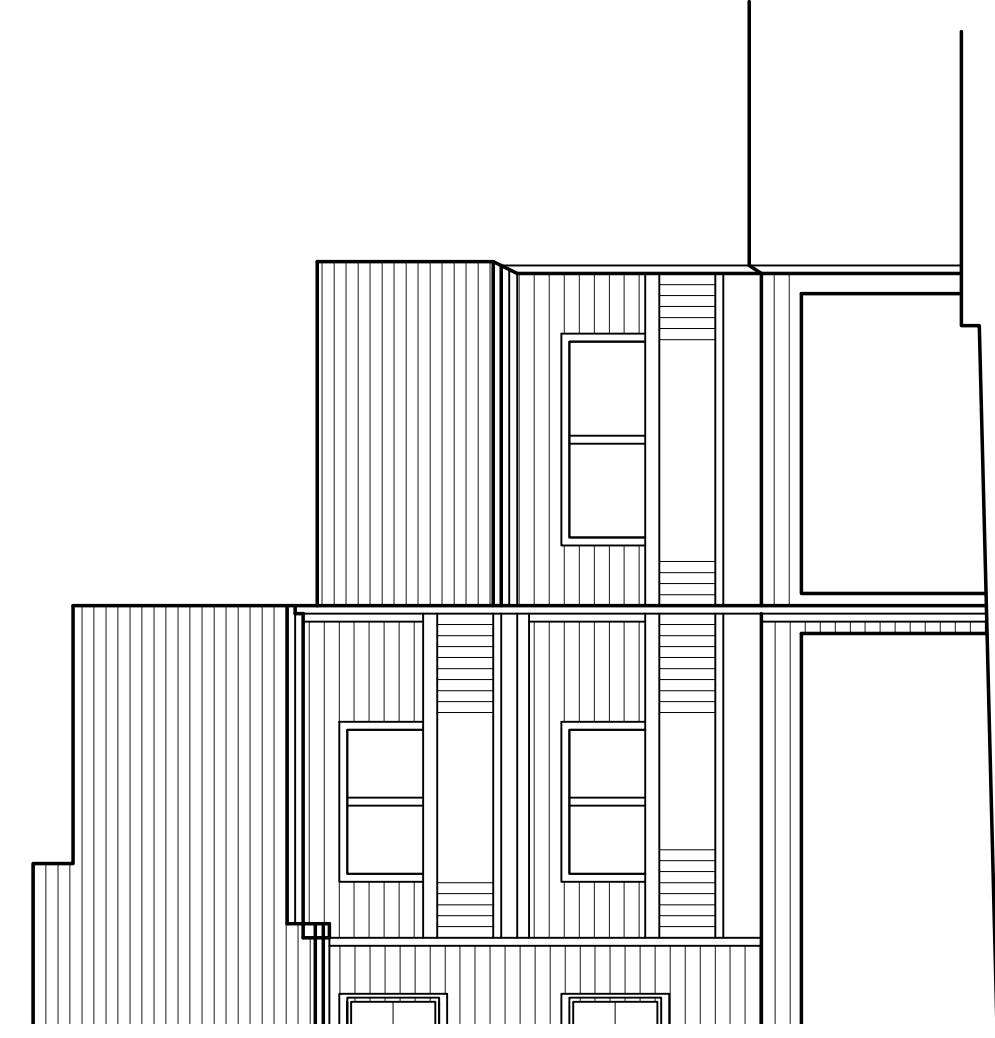
KITCHEN ELEVATION
 SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

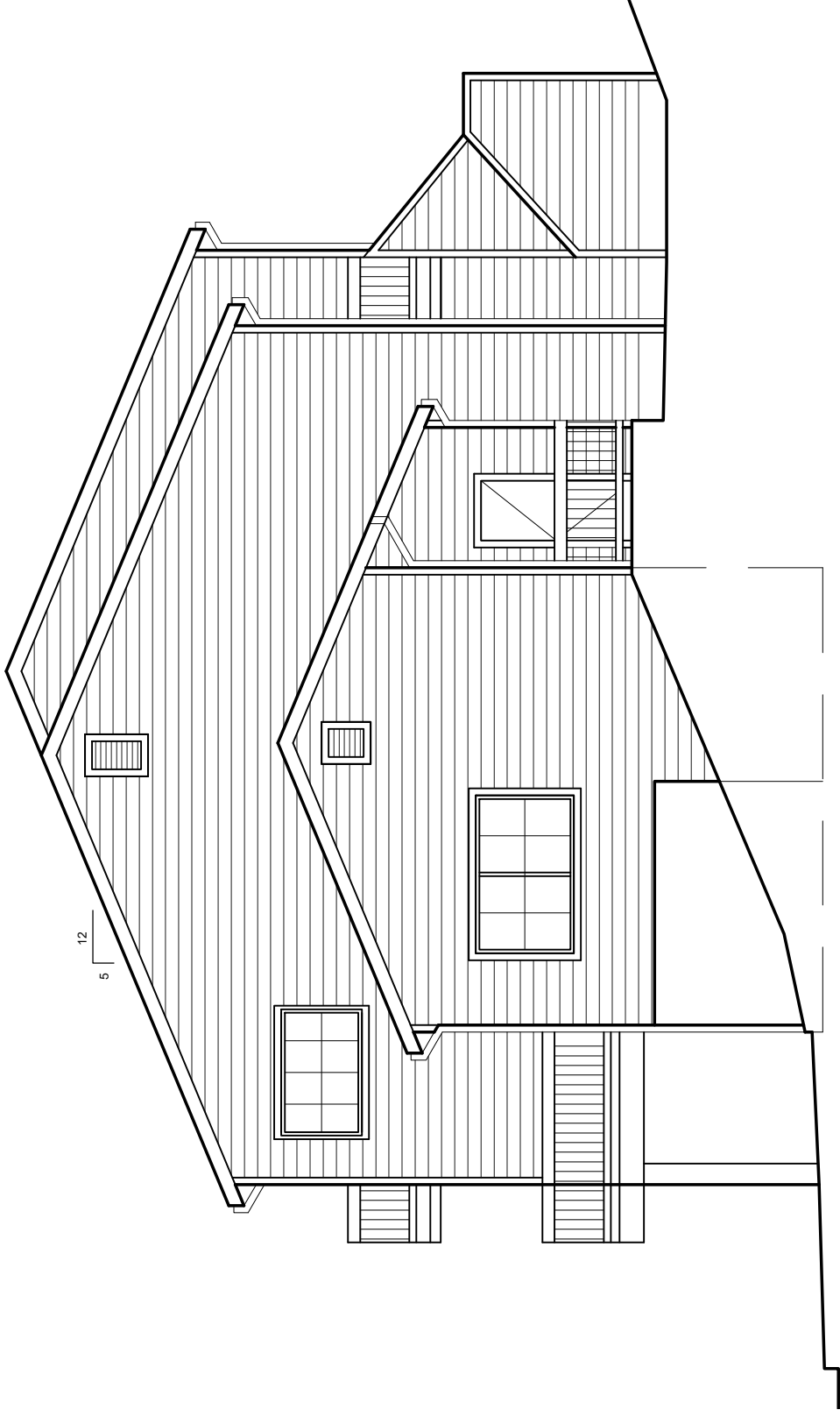


ELEVATION NOTES

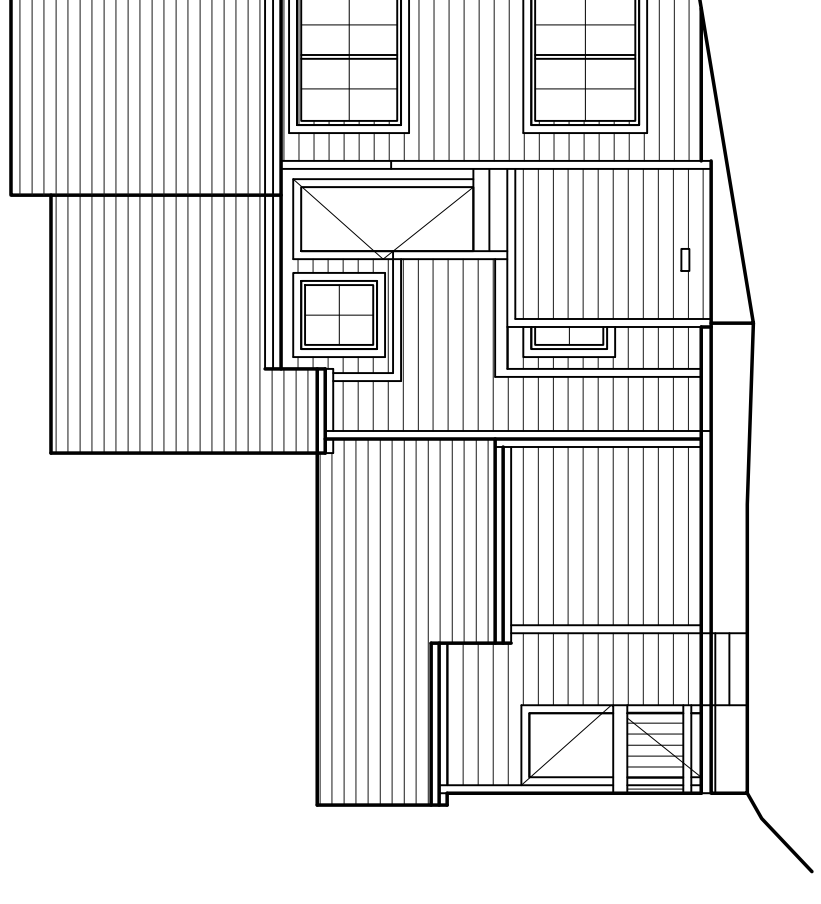
- 1. BUILDING ELEVATIONS SHOWN FOR REFERENCE ONLY. ALL CONSTRUCTION SHOWN IS EXISTING. NO MODIFICATIONS TO BUILDING ELEVATIONS.



3 UNIT 24 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



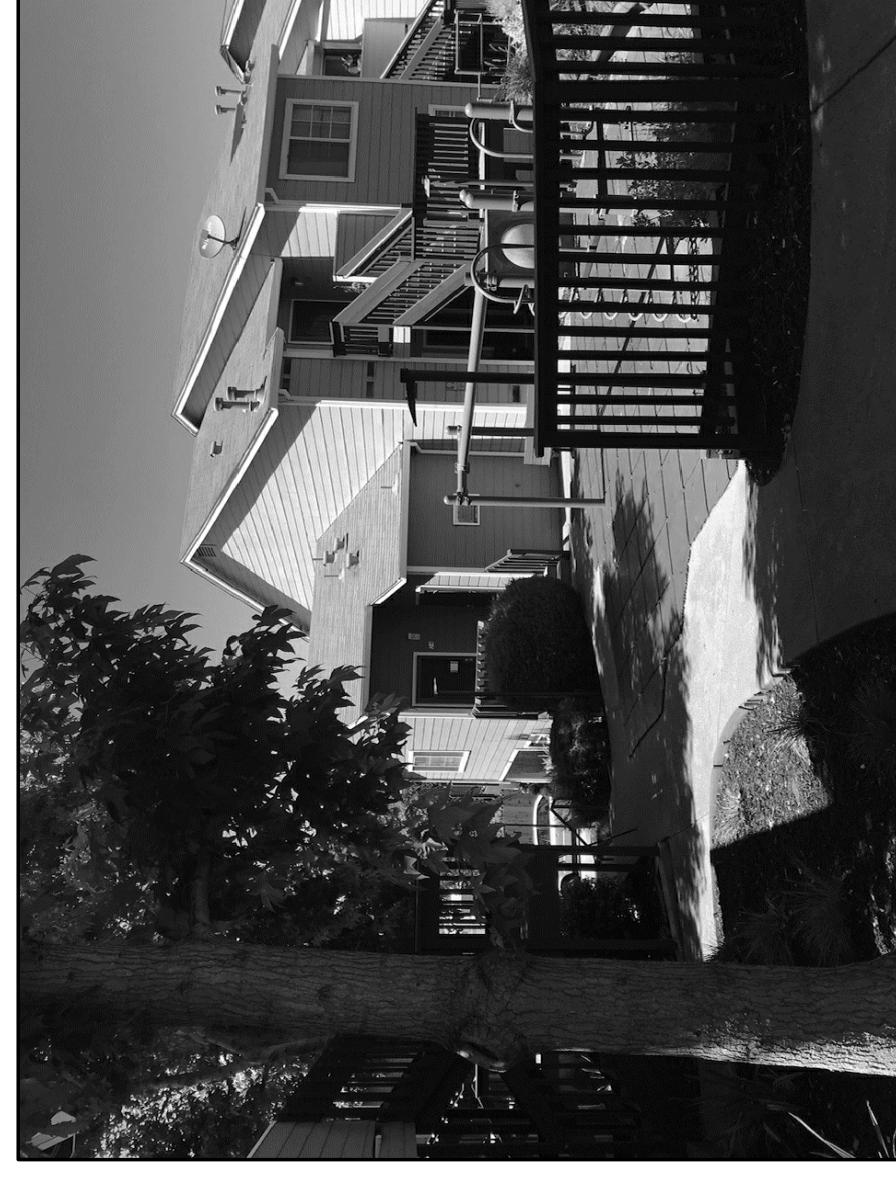
2 UNIT 24 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 UNIT 24 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



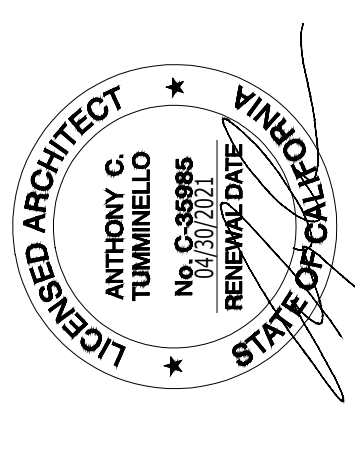
4 UNIT 24 - PHOTOS OF EXISTING
SCALE: N/A



HILLSIDE TERRACE APARTMENTS
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CONSTRUCTION DOCUMENTS
20 DECEMBER 2019
DESIGN REVIEW SUBMITTAL - 3/24/20

TITLE:

ELEVATIONS

SCALE: VARIES
JOB #: 2019-010
REF: N/A
SHEET NUMBER:

A3.01

GAS FURNACE SCHEDULE								
MARK	TYPE	MANUFACTURER AND MODEL NO.	SERVICE	WT. (LBS)	HEATING (MBH) INPUT OUTPUT	TEMP. RISE	AFUE	REMARKS
(E) (F) (T)	GAS WALL FURNACE DIRECT VENT	WILLIAMS 300V-55	UNIT 24	-	30 21	52°F	80%	-

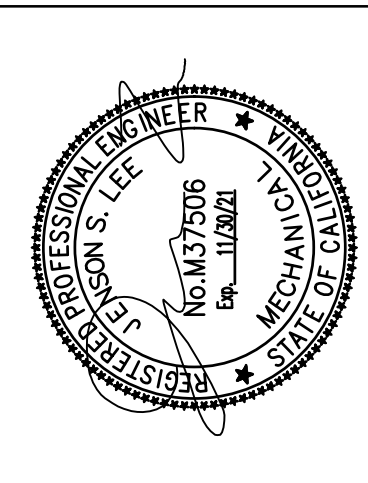
EXHAUST FAN SCHEDULE									
MARK	MANUFACTURER AND MODEL NO.	SERVICE	FAN			MOTOR		WT. (LBS)	REMARKS
			CFM	E.S.P. (IN.W.G.)	RPM	DRIVE	H.P.		
(E) (F) (T)	-	BATHROOM EXHAUST	110	0.25	-	-	17.5	120/1/60	20
(E) (Z)	BRON 42000 SERIES 30"	RANGE HOOD	190	0.1	-	-	-	120/1	40

- ### NOTES
- INSTALL ALL DUCTWORK AND PIPING TO BEST SUIT FIELD CONDITIONS AND COORDINATE WITH THE INSTALLATION WORK OF OTHER TRADES. THE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED TO DETERMINE THE EXACT LOCATION OF SINGLE LINE DUCTS.
 - THIS CONTRACTOR SHALL REFER TO ELECTRICAL CONTRACT DOCUMENTS TO OBTAIN THE INFORMATION OF STARTERS, VOLTAGE, PHASE, INTERLOCKING CONTROLS & MISCELLANEOUS EQUIPMENT SUCH AS RELAYS IN STARTERS, ETC., SO THAT ALL ELECTRICAL EQUIPMENT SHALL FULLY COMPLY WITH ELECTRICAL AND CONTROL REQUIREMENTS.
 - THIS CONTRACTOR WILL PROVIDE THREE COPIES OF OPERATING AND MAINTENANCE INSTRUCTIONS TO THE OWNER (IN VINYL COVER).
 - ALL DUCTS PASSING THROUGH FIRE SEPARATIONS SHALL HAVE DAMPERS WHICH CONFORM WITH NFPA STANDARD * 90 SECTION 1.35
 - ACCESS OPENINGS FOR DAMPERS SHALL BE INSTALLED IN DUCTWORK WHEREVER FIRE DAMPERS OCCUR.
 - DUCT SIZES WITH LINING SHOWN ARE NET, CLEAR INSIDE DIMENSIONS.
 - PROVIDE HVAC DUCT INSULATION IN ACCORDANCE WITH THE CURRENT ISSUE OF THE CALIFORNIA MECHANICAL CODE.
 - ALL SQUARE ELBOW TURNS IN DUCTWORK SHALL HAVE TURNING VANES.
 - ALL CURBS AND SLEEPERS FOR AC EQUIPMENT, EXHAUST FANS AND CURBED DUCT PENETRATIONS TO BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. ALL CURBS AND SLEEPERS TO BE INSTALLED LEVEL WITH FINISH FLOOR.
 - FURNISH AND INSTALL NOISE AND VIBRATION ISOLATION DEVICES ON DUCTWORK AND EQUIPMENT.
 - FLEXIBLE DUCT WORK SHALL NOT BE MORE THAN 6 FEET IN LENGTH FOR ANY ONE APPLICATION.
 - ALL HVAC AND PLUMBING SUPPORTS SHALL BE PER SMCA STANDARD DETAILS.
 - PROVIDE STARTERS FOR ALL MECHANICAL EQUIPMENT, DISCONNECT SWITCH BY ELECTRICAL.
 - FABRICATE AND INSTALL RECTANGULAR AND ROUND DUCTWORK WITH GALVANIZED STEEL, IN ACCORDANCE WITH SMACNA "HVAC DUCT CONSTRUCTION STANDARDS" OF THE LATEST EDITION.
 - MECHANICAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER REQUIREMENTS.
 - COORDINATE DUCT ROUTING AND HEIGHTS WITH GENERAL CONTRACTOR. VERIFY ALL CLEARANCES BEFORE STARTING WORK.
 - THE CONTRACTOR FOR THIS DIVISION OF WORK IS REQUIRED TO READ THE SPECIFICATIONS AND REVIEW DRAWINGS FOR ALL DIVISIONS OF WORK AND IS RESPONSIBLE FOR THE COORDINATION OF THIS WORK AND THE WORK OF ALL SUBCONTRACTORS WITH ALL DIVISIONS OF WORK AND THE WORK OF ALL SUBCONTRACTORS. PROVIDE ALL SUBCONTRACTORS WITH A COMPLETE SET OF BID DOCUMENTS.
 - CONTRACTOR SHALL NOTE THE CRITICAL SPACE AVAILABLE ABOVE CEILINGS, PROVIDE TRANSITION PIECES AT CROSSOVERS, UNDER BEAMS, OVER/UNDER PRESS., AS REQUIRED TO ACCOMMODATE DUCTS WITHIN SPACE AVAILABLE. COORDINATE CLOSELY WITH OTHER SECTIONS TO REDUCE NECESSITY OF TRANSITIONS TO A MINIMUM. NO ADDITIONAL COSTS WILL BE PAID FOR ANY REQUIRED TRANSITIONS OR OTHER SPECIAL CHANGE SHAPE PIECES.
 - RUN ALL DUCTS AS TIGHT AS POSSIBLE TO STRUCTURE.
 - ALL WORK TO COMPLY WITH THE FOLLOWING CODES:
 - 2019 CALIFORNIA MECHANICAL CODE
 - 2019 CALIFORNIA BUILDING CODE
 - 2019 CALIFORNIA FIRE CODE
 - LOCAL CODES AND REGULATIONS
 - NFPA-90A AIR CONDITIONING AND VENTILATION SYSTEMS
 - SMACNA LOW VELOCITY DUCT CONSTRUCTION STANDARDS
 - HOOD REQUIRES AIR BALANCE REPORT FOR FINAL INSPECTION.

HILLSIDE TERRACE APARTMENTS
 UNIT 24 - RENOVATIONS
 1495 E 22ND STREET
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 108 STANDARD STREET
 EL SEGUNDO, CA 90245
 T: 424.989.4588

PERMIT SET DRAWINGS
 18 DECEMBER 2019

TITLE:
MECHANICAL SCHEDULES & FLOOR PLAN

SCALE:
 JOB #: 2019-010
 REF:
 SHEET NUMBER:

MO

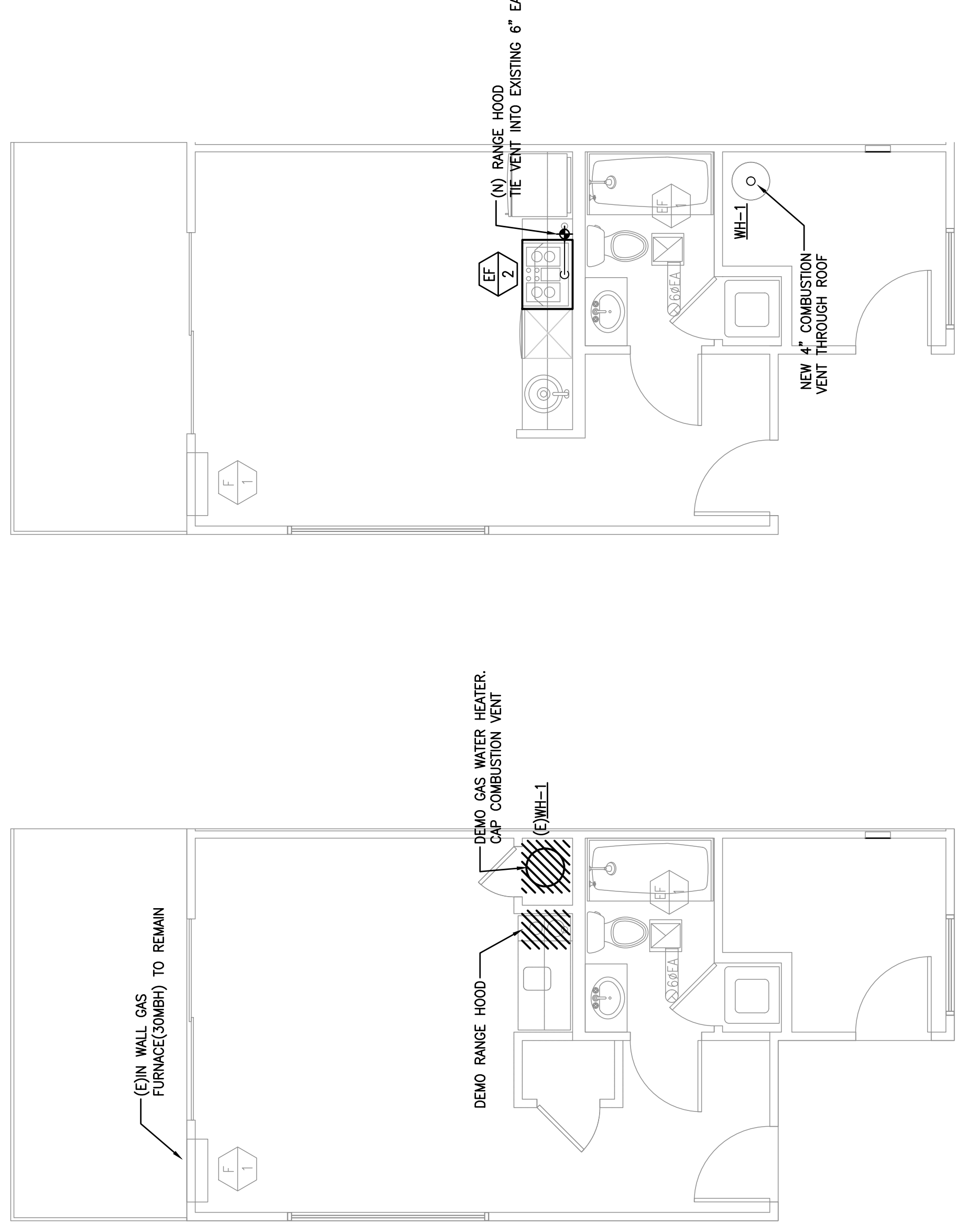
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LEGEND

SYMBOL	ABBR.	DESCRIPTION
	S.A.	SUPPLY AIR DUCT UP
	E.X.	EXHAUST AIR DUCT UP
	R.A.	RETURN AIR DUCT UP
		RETURN/EXHAUST/SUPPLY DUCT
		RETURN/EXHAUST/SUPPLY DAMPER
		FLEXIBLE DUCT, 6'-0" LONG MAX.
	SD	CEILING SUPPLY DIFFUSER
	EX	CEILING EXHAUST REGISTER
	RG	CEILING RETURN REGISTER
		ACoustically INSulated DUCT
	TSTAT	THERMOSTAT
	SENS	SENSOR
	SD	SMOKE DETECTOR
		DEMOLISH
	POC	POINT OF CONNECTION
	AC	AIR CONDITIONING
	AFF	ABOVE FINISH FLOOR
	AHU	AIR HANDLING UNIT
	CB	CIRCUIT BREAKER
	CLG.	CEILING
	CD	CONDENSATE DRAIN
	CONN.	CONNECT/CONNECTION
	CONT.	CONTINUATION
	CFM	CUBIC FEET PER MINUTE
	DET.	DETAIL
	DISC.	DISCONNECT
	DIR	DOWN THRU ROOF
	EF	EXHAUST FAN
	(E)	EXISTING
	E.S.P.	EXTERNAL STATIC PRESSURE
	GA.	GAGE/GAUGE
	G.C.	GENERAL CONTRACTOR
	HP	HEAT PUMP
	HVAC	HEATING, VENT., & AIR CONDITIONING
	LL/L.L.	LANDLORD
	MAU	MAKE-UP AIR UNIT
	MCA	MINIMUM CIRCUIT AMPACITY
	MECH.	MECHANICAL
	MFR.	MANUFACTURER
	MCCP	MAXIMUM OVER CURRENT PROTECTION
	(N)	NEW
	OA/O5A	OUTSIDE AIR
	OBD	OPPOSED BLADE DAMPER

MECHANICAL SCOPE OF WORK

SCOPE OF WORK INVOLVES PERMITTING AN EXISTING STUDIO UNIT. RELOCATE GAS WATER HEATER AND PROVIDE NEW RANGE HOOD.



1 MECHANICAL FLOOR PLAN EXISTING
 SCALE: 1/4" = 1'-0"

2 MECHANICAL FLOOR PLAN NEW
 SCALE: 1/4" = 1'-0"

APPLICABLE CODES & STANDARDS

- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA BUILDING STANDARDS CODE - TITLE 24, PART II CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN).
- CALIFORNIA HEALTH AND SAFETY CODE, SECTION 118775(b)-CALIFORNIA LEAD-FREE PLUMBING LAW AB. 1953.
- STATE OF CALIFORNIA ENERGY CONSERVATION STANDARDS, TITLE 24
- 2019 CBC, CHAPTER 119, "ACCESSIBILITY TO PUBLIC BUILDINGS, PUBLIC ACCOMMODATIONS, COMMERCIAL BUILDINGS AND PUBLICLY FUNDED HOUSING"

PLUMBING INSULATION SCHEDULE

PIPE SIZE: 1" & SMALLER 1 1/4" - 6" 8" & LARGER
 INSULATION THICKNESS 3/4" 1 1/2" 1 1/2"

ALL INSULATION SHALL BE W/R VALUES OF 4.0 TO 4.6

PLUMBING GENERAL NOTES:

- A WATER HEATER, PRESSURE AND TEMPERATURE RELIEF DRAIN THAT TERMINATES OUTSIDE THE BUILDING SHALL COMPLY WITH SECTION 608.5 CPC.
- PROVIDE EXPANSION TANK OR OTHER APPROVED METHOD OF RELIEVING PRESSURE PER SECTION 608.3 CPC.
- LAVATORY FACETS IN COMMON RESTROOMS SHALL BE THE SELF CLOSING TYPE AND SHALL NOT EXCEED A WATER FLOW RATE OF 0.20 GAL/USE.
- EACH PLUMBING FIXTURE THE CONNECTS TO THE SANITARY SEWER SYSTEM SHALL BE PROPERLY TRAPPED AND VENTED IN ACCORDANCE WITH THE 2019 CALIFORNIA PLUMBING CODE.
- ALL SANITARY SYSTEM MATERIALS SHALL BE LISTED BY AN APPROVED LISTING AGENCY
- EACH VENT SHALL RISE VERTICALLY TO A POINT NOT LESS THAN SIX(6) INCHES ABOVE THE FLOOD-LEVEL RIM OF THE FIXTURE SERVED BEFORE OFFSETTING HORIZONTALLY OR BEFORE BEING CONNECTED TO ANY OTHER VENT.
- EACH SHOWERHEAD SHALL NOT EXCEED A WATER FLOW OF 2.0 GPM
- BUILDING DRAIN AND VENT PIPING MATERIALS SHALL COMPLY WITH SECTIONS 701.0 AND 903.0 OF THE CALIFORNIA PLUMBING CODE.
- SLOPE OF SANITARY SEWER PIPING TO BE MINIMUM 1/4" PER FOOT

PLUMBING FIXTURE SCHEDULE

ITEM	DESCRIPTION	W	V	CW	HW	GAS	INSTALL	SPECIFICATIONS AND REMARKS
WE-1	GRAB WATER HEATER	--	--	3/4"	3/4"	3/4"	P.C.	A.G. SMIT GAS WATER HEATER MODEL 65-40 40 GALLONS. INPUT=40 MBH. 1ST HOUR RATING=70 GALLONS. UEF=0.84
SK-1	KITCHEN SINK	1-1/2"	1-1/2"	1/2"	1/2"	--	P.C.	BLACK BRASS MODEL # 85331719 3-HOLE ADA COMPLIANT FACET. PROFLO #FX288932P (1 & 2) OR EQUAL

PLUMBING PIPE MATERIAL SCHEDULE

SERVICE:	SYSTEM:	FITTINGS:		SHUTOFF VALVES:		JOINTS:	DESCRIPTION:
		SIZE (IN)	DESCRIPTION:	SIZE (IN)	DESCRIPTION:		
SANITARY WASTE AND VENT PIPING ABOVE/BELOW GRADE DOMESTIC WATER NATURAL GAS (NON-WEATHER EXPOSED, ABOVE GROUND)	WV	ALL	CAST IRON SOIL PIPE, NO HUB CSP-301	ALL	CAST IRON NO HUB CSP 310		MECHANICAL
	CW	ALL	ASTM B88 TYPE "L" COPPER TUBING, DRAWN (HARD)	ALL	WROUGHT COPPER BRAZED AND SOLDERED JOINTS ANSI B16.22	3" & SMALLER: BALL VALVE LARGER THAN 3": GATE VALVE	SOLDER OR BRAZE, PRESSURE FITTINGS
	NG	ALL	BLACK STEEL, SCHEDULE 40, ASTM A 53, WELDED OR SEAMLESS	ALL	BLACK STEEL, SCHEDULE 40	HOMESTED FIG. 602 2" & LARGER	SCREWED FITTINGS FOR NPS 3 OR SMALLER, AND BUTT-WELDED FOR NPS 4 AND LARGER

LEGEND

SYMBOL	ABBR.	DESCRIPTION
---	SS/W	SANITARY SEWER/WASTE - BURIED
---	SS/W	SANITARY SEWER/WASTE-ABOVE GRADE
---	IW	INDIRECT WASTE
---	V	SANITARY VENT
---	CW	DOMESTIC COLD WATER
---	CWS	SOFTENED COLD WATER
---	HW	DOMESTIC 140°F HOT WATER
---	THW	DOMESTIC 120°F HOT WATER SUPPLY
---	HMR	DOMESTIC 120°F HOT WATER RETURN
---	CD	CONDENSATE DRAIN LINE
---	G	NATURAL FUEL GAS
---	6V/6V	GATE VALVE OR BALL VALVE
---	CKV	CHECK VALVE
---	UN	UNION FITTING
---	DN	PIPE DOWN
---	UP	PIPE UP
---	BFP	BACKFLOW PREVENTER
---	CO	CLEANOUT - END OF LINE
---	FCO	CLEANOUT - FLOOR TYPE
---	CTG	CLEANOUT TO GRADE
---	WCO	CLEANOUT - WALL TYPE
---	FD	FLOOR DRAIN W/ P--TRAP
---	HB	HOSE BIBB
---	VTR	VENT THROUGH ROOF
---	BLV	BALANCING VALVE
---	(E)	EXISTING
---	(N)	NEW
---	VR	VENT RISER
---	P.C.	PLUMBING CONTRACTOR
---	G.C.	GENERAL CONTRACTOR
---	FS	FLOOR SINK
---	B6/BF	BELOW GRADE
---	CLG	CEILING
---	P.O.C.	POINT OF CONNECTION

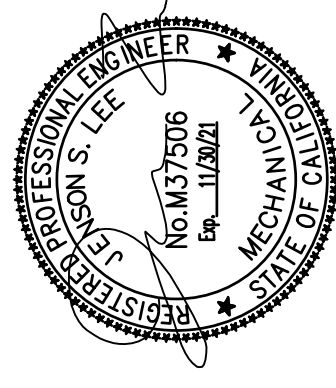
PLUMBING SCOPE OF WORK

SCOPE OF WORK INVOLVES PERMITTING AN EXISTING STUDIO UNIT IN HILLSIDE TERRACE APARTMENTS.
 RELOCATE WATER HEATER AND PROVIDE NEW KITCHEN SINK AND DISHWASHER.

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PERMIT SET
DRAWINGS
 18 DECEMBER 2019

TITLE:
PLUMBING
TITLE SHEET

SCALE:
 JOB #: 2019-010
 REF:
 SHEET NUMBER:

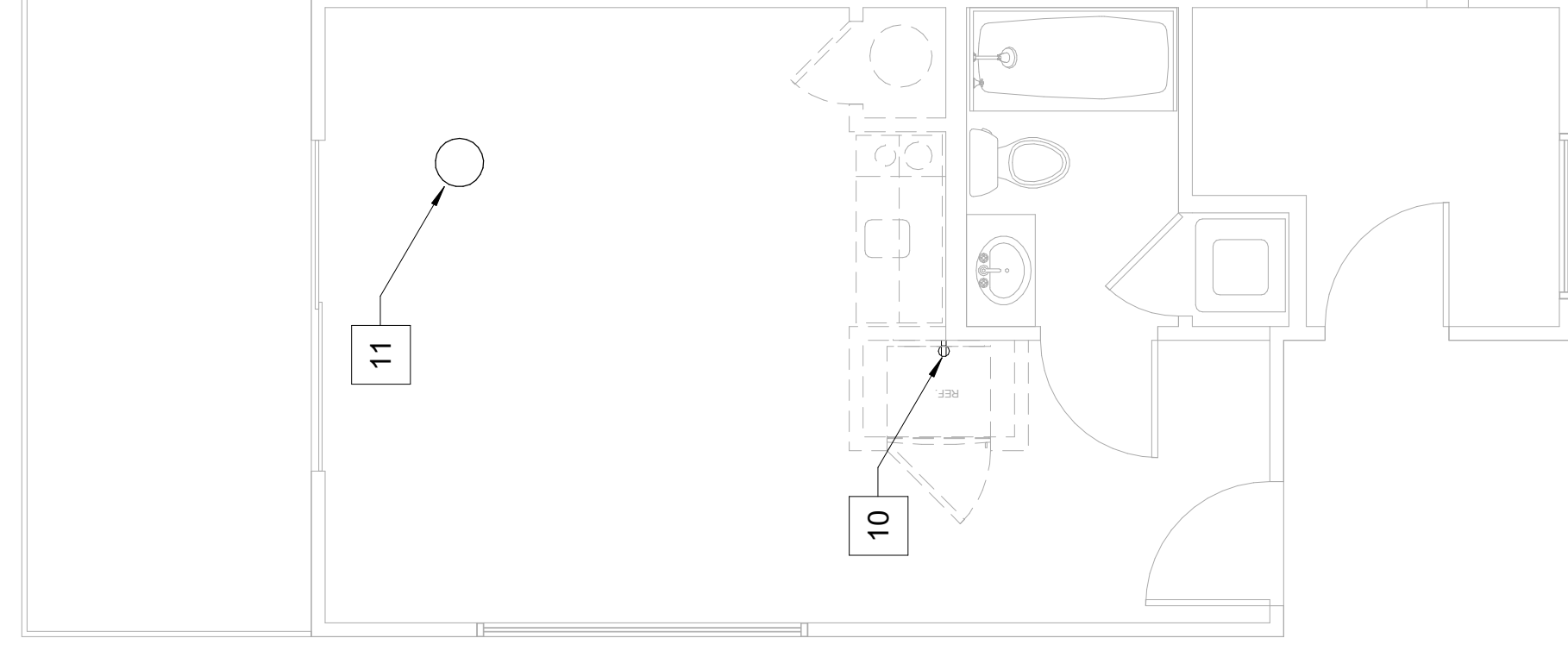
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GENERAL NOTES

- REFER TO SYMBOL LEGEND AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- AS APPLICABLE, FIELD VERIFY AND COORDINATE WITH ALL CONDITIONS PRIOR TO ANY WORK BEING PERFORMED.
- FIELD VERIFY LOCATION OF EXISTING ELECTRICAL EQUIPMENT AND DEVICES SHOWN OR MENTIONED IN THIS PLAN. INFORM THE ENGINEER IMMEDIATELY FOR ANY CONFLICTS AND ERRORS.
- MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE NATIONAL ELECTRICAL CODE ADOPTED BY THE AUTHORITY HAVING JURISDICTION AND WITH LOCAL REQUIREMENTS.
- REFER TO ARCHITECTURAL PLAN FOR THE EXTENT OF DEMOLITION AREA AND ADDITIONAL SCOPE OF WORK.
- CONNECT ALL RECEPTACLES AND LIGHTING TO EXISTING CIRCUITS.
- RELOCATED STOVE RECEPTACLE IF APPLICABLE.

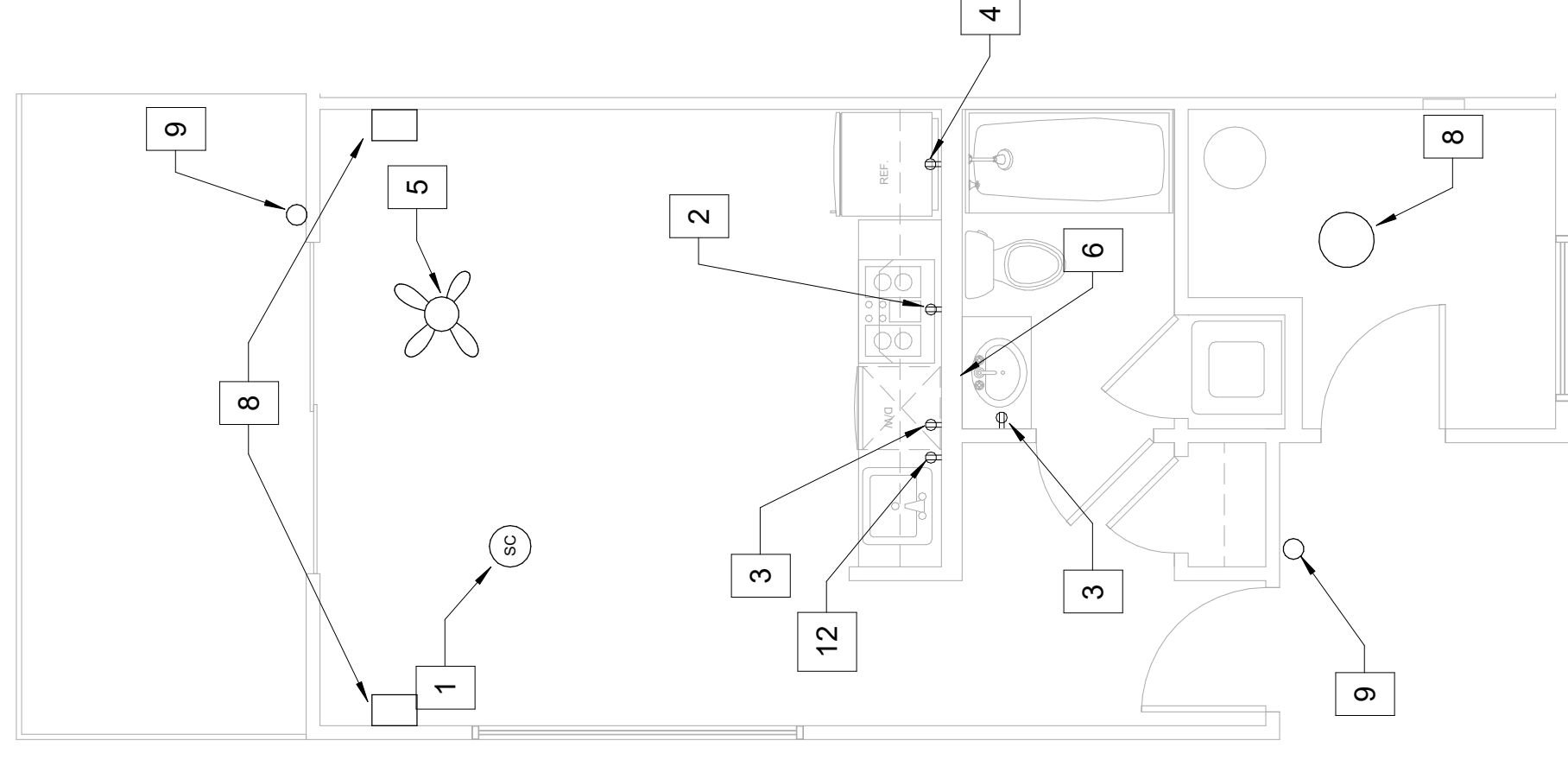
PLAN NOTES

- NEW HARDWIRED SMOKE/CO2 COMBO.
- NEW RECEPTACLE FOR RANGE HOOD. FIELD VERIFY HEIGHT AND CONNECT TO EXISTING COUNTERTOP RECEPTACLE CIRCUIT.
- NEW GFCI RECEPTACLE. CONNECT TO EXISTING CIRCUIT.
- NEW RELOCATED RECEPTACLE.
- NEW CEILING FAN WITH LIGHT KIT IN DINING ROOM.
- NEW LED VANITY LIGHT FIXTURE.
- NOT USED.
- NEW LED CLOSET/HALL LIGHT FIXTURE.
- NEW LED ENTRY FIXTURE.
- RELOCATE REFRIGERATOR RECEPTACLE.
- EXISTING PENDANT LIGHT.
- NEW GFCI DISHWASHER CIRCUIT INSTALLED BELOW COUNTER.



1 STUDIO UNIT - DEMO PLAN

Scale: 1/4" = 1'-0"



2 STUDIO UNIT - ELECTRICAL PLAN

Scale: 1/4" = 1'-0"

HILLSIDE TERRACE APARTMENTS
 UNIT 24 - CONVERSION
 1495 E 22ND STREET
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STAMP



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PERMIT DRAWINGS
 18 DECEMBER 2019
 SUBMITTAL DATE

TITLE:
 ELECTRICAL PLANS

SCALE: AS INDICATED
 JOB #: 301-1
 REF:
 SHEET NUMBER:

E2.0

