

Case File Number DET190031-A01 (DET190031) August 5, 2020

<b>Location:</b>	<b>584 14<sup>th</sup> Street</b>
<b>Assessor's Parcel Number(s):</b>	<b>003 06901700</b>
<b>Proposal:</b>	Appeal of Zoning Manager's Determination filed under DET190031, a status determination on the applicability of Oakland Planning Code Chapter 17.153, demolition, conversion and rehabilitation regulations for residential hotels.
<b>Case File Numbers:</b>	DET190031-A01
<b>Appellants:</b>	Zacks, Freedman, & Patterson, PC
<b>Owner:</b>	584 14 <sup>TH</sup> Street LLC
<b>Planning Determination Required:</b>	Initial Usage Report required if the Zoning Manager's Determination is Upheld
<b>General Plan:</b>	Central Business District
<b>Zoning:</b>	CBD-P
<b>Environmental Determination:</b>	The determination is not considered a project as defined by Section 15378 of the State CEQA guidelines, and therefore does not require CEQA review.
<b>Historic Status:</b>	Local Register, API: Downtown, OCHS Rating: B*1+
<b>City Council District:</b>	3
<b>Staff Recommendation:</b>	Deny the Appeal and uphold the Zoning Manager's Determination to deny the Statement of Exemption
<b>Finality of Decision:</b>	Final Decision, Not Administratively Appealable per Planning Code Section 17.132.030
<b>For Further Information:</b>	Contact Case Planner, Brittany Lenoir at (510) 238-4977 or <a href="mailto:blenoir@oaklandca.gov">blenoir@oaklandca.gov</a> .

**SUMMARY**

Oakland's Residential Hotels represent an increasingly rare form of affordable housing essential to sheltering Oakland's most vulnerable residents. In December 2018, the City Council adopted Ordinance No. 13509 C.M.S. amending the Oakland Planning Code to include Chapter 17.153 Demolition, Conversion and Rehabilitation Regulations for Residential Hotels (the "Regulations") with the overall purpose of preserving the existing supply of Residential Hotel Units and providing protections for the populations that reside in these units.

The Regulations also created a process for property owners of buildings that the City preliminarily determined to be a Residential Hotel to register their property with the City of Oakland via an Initial Usage Report, or alternatively, to provide evidence to the City to try to dispute that determination, by filing a Statement of Exemption.

The property at 584 14th Street was one of the sites that was preliminarily identified to be a Residential Hotel. Applicant and Appellant, 584 14<sup>th</sup> Street, LLC, the owner of the property located at 584 14<sup>th</sup> Street and commonly known as the Sutter Hotel, filed a Statement of Exemption form with the City on April 2, 2019 (**Attachment E-1**). An incomplete letter was sent by Planning Staff on May 1, 2019 (**Attachment A**), supplemental information by the Applicant's representatives was received on May 30, 2019 (**Attachment B**), and a follow-up letter deeming the Exemption request complete was sent on June 26, 2019 (**Attachment C**). A

Determination denying the Exemption request was sent on October 21, 2019 (**Attachment E-2**). After the City denied the Exemption request, a timely Appeal was filed on October 31, 2019 (**Attachment E**).

In this Appeal, the Planning Commission is tasked with reviewing the evidence presented by the Appellant, as well as the evidence collected by the Planning Bureau, to determine whether the Planning Bureau's determination to deny the Appellant's Exemption request is supported by substantial evidence. The appeal is brought pursuant to the procedures in Planning Code Chapter 17.132, which requires the appeal to state specifically wherein it is claimed there was an abuse of discretion by the Director or wherein his or her decision is not supported by the evidence in the record. The appeal must be accompanied by information required to facilitate review.

The Appellant has not demonstrated that the Zoning Manager has made an error or abused discretion, or that his decision was not supported by the evidence provided in the record and subsequently in this Staff Report. This staff report summarizes the comprehensive evidence that the property at 584 14<sup>th</sup> Street is a Residential Hotel, as set forth in Planning Code Chapter 17.153. As a result, Planning Staff is requesting that the Planning Commission deny the appeal and uphold the decision by the Zoning Manager.

## **LEGISLATIVE HISTORY**

The City of Oakland has been monitoring the status of Residential Hotel units, a common form of Single-Room Occupancy (SRO) units, since at least 1985. A city report prepared that year found that SRO units "have been removed from the housing stock at a very rapid rate." The report identified "at least 27 facilities which can be classified as residential hotels (i.e., at least 10% of the units being used for SRO housing)." The 25 hotels that responded to the City's survey included a total of 1,861 rooms available for rent. While a 2004 report identified additional Residential Hotels, a 2015 report found that the City lost approximately 799 Residential Hotel units in Downtown Oakland.

To address these losses, on October 4, 2016, the City Council unanimously passed Resolution No. 86408 C.M.S., which requested the City Planning Commission initiate action to amend Oakland's Planning Code to help preserve the existing supply of Residential Hotel units, and to return to the City Council with proposed amendments. Subsequently, the City Council adopted Ordinance No. 13410 C.M.S., that went into effect on December 13, 2016, which placed a moratorium on actions that would lead to the loss of Residential Hotel units while the Planning Code amendment process was underway. In January of 2017, the moratorium was extended until December 11, 2018 to allow sufficient time for the city to complete the code amendment process. On December 4, 2018, the City Council adopted Ordinance No. 13509 C.M.S., the Residential Hotel Regulations.

Both state law and the Regulations define a "Residential Hotel." Since at least 2005, California Health and Safety Code Section 50519 has defined a Residential Hotel as:

*"any building containing six or more guestrooms or efficiency units, as defined by Section 17958.1, intended or designed to be used, or which are used, rented, or hired out, to be occupied, or which are occupied, for sleeping purposes by guests, which is also the primary residence of those guests, but does not mean any building containing six or more guestrooms or efficiency units, as defined by Section 17958.1, which is primarily used by transient guests who do not occupy that building as their primary residence."*

Similarly, the Regulations state that a “Residential Hotel is defined in accordance with California Health and Safety Code Section 50519,” and means:

*“any building built before 1960 containing six (6) or more Rooming Units, as defined in Section 17.09.040, intended or designed to be used, or which are used, rented, or hired out, to be occupied, or which are occupied, for sleeping purposes by guests, which is also the primary residence of those guests, and where the entrances to the individual units are generally accessed via a shared lobby area.”*

The Planning Code further defines “Rooming Unit” to mean:

*“a room or suite of rooms, not including a kitchen, designed or occupied as separate living quarters, with or without common boarding provisions, but excluding such rooms where they accommodate a total of three (3) or fewer paying guests within a One-Family Dwelling Residential Facility through the main portion of which access may be had to all such rooms; provided that in the case of student dormitories and similar group living arrangements, each two beds shall be deemed a rooming unit.*

The Regulations impose restrictions on certain actions relating to residential hotels, and additionally require a conditional use permit before other specified actions may occur. In particular, any amenity rehabilitation of a Residential Hotel or Residential Hotel Unit is prohibited, as is the conversion or demolition of a Residential Hotel or Residential Hotel Unit if there have been any adjudicated cases evidencing tenant harassment or illegal eviction in the past five years. A conditional use permit is required before the demolition or conversion of a Residential Hotel, which will only be granted upon showing that replacement residential hotel units will be provided elsewhere. Various exceptions to the conditional use permit requirement are outlined in the Regulations. Finally, the Regulations impose a requirement that owners inform the City of notice of a proposed offering for sale or transfer of a residential hotel property and allow the City 90 days to tender an offer to purchase the property.

The Regulations apply to Residential Hotels that the City has specifically identified. The Regulations include a process to ensure that a property owner who contends that their property is not a Residential Hotel has the opportunity to submit evidence explaining why not. Chapter 17.153.030 states that the Planning and Building Department will notify by mail property owners preliminarily determined by the City to be operating a Residential Hotel subject to the Regulations. The property owner then has either 180 days to submit an Initial Usage Report describing the physical and operational characteristics of the property, or 90 days to file a Statement of Exemption. The Director of Planning shall review the documentation submitted, and the property owner may appeal the Director’s determination within 10 calendar days. In reviewing either a Statement of Exemption or Initial Usage Report application, the Regulations require that the Applicant submit and that Planning Staff review information relevant to determine the physical and functional characteristics of the property as of December 13, 2016, which is the date that the City of Oakland first adopted a moratorium prohibiting the conversion of a Residential Hotel.

## **PROPERTY DESCRIPTION**

The subject site is located on the corner of 14<sup>th</sup> Street and Jefferson Street. According to the Oakland Cultural Heritage Survey, the building has a historic rating of B\*1+, and is a contributor to the Downtown (fringe) Area of Primary Importance (API). The Alameda County Commercial Building Record states the structure as having a ground floor commercial space, dwelling units from floors two through seven, and an apartment unit on floor eight.

## **APPEAL ANALYSIS**

A timely appeal was filed on October 31, 2019. To view the appeal in its entirety, refer to **Attachment E** of this Report. In summary, the Appellant raises the following issues:

- The Sutter Hotel does not meet the definition of a Residential Hotel because of prior Transient use of the property.
- The Sutter Hotel was previously “Deemed Approved” as a Hotel and therefore has the right to operate as a commercial hotel.
- The Planning Bureau’s determination that the Sutter Hotel is a Residential Hotel violates appellant’s due process rights, equal protection rights, federal civil rights, and constitutes an unlawful taking.

Below is Staff’s response to the appeal.

### **I. The Sutter Hotel’s Long-Standing Use As A Residential Hotel.**

Planning staff extensively reviewed the information the Applicant provided as well as City of Oakland records and public records to determine the historic use of the Sutter Hotel. This historic information helps to inform staff about the approved physical and functional characteristics of the property as of December 13, 2016. As a result of this review, the Zoning Manager concluded the Sutter Hotel meets the definition of a Residential Hotel, as defined in Section 17.153.020.

Documentation spanning several decades supports Planning staff’s conclusion that the Sutter Hotel meets the definition of a Residential Hotel. In particular, since at least 1954, the building has operated with units available for rent to non-transient residents, and many of those residents lived at the property for extended periods of time as their primary residence, sometimes for periods longer than one year. This documentation provides substantial evidence that the Sutter Hotel is a Residential Hotel. In its appeal, the Applicant does not dispute the accuracy of any of these documents, but instead raises separate arguments addressed below.

### **Alameda County Commercial Building Record**

A Commercial Building Record from the Alameda County Assessor shows that the property has been described as an SRO, or single-room occupancy, building as early as 1954 (**Attachment E-2, ii.**). The Record has input dates ranging from 1954 through 2006. The County shows the building description as “Sutter ‘Hotel’ = SRO/APTS,” placing the word hotel in quotation marks and defining “hotel” as a mix of SRO units and apartments. Further review shows that the County determined that SRO units were located on floors two through seven of the building, and apartment units were located on the eighth floor of the building.

Remarks on the second page of the building record include comments dated from 1955, which state that while the penthouse on top is used as apartments, the hotel rooms did not contain bathrooms, and 96 rooms were available for rent while 6 were kept open to provide for fire escape.

### **City of Oakland Residential Hotel Reports**

The City of Oakland has prepared at least three reports on the status of Residential Hotels in Downtown Oakland, including reports prepared in 1985, 2004, and 2015. The Sutter Hotel is included on the City's list of Residential Hotels in each of these reports.

The 1985 Report identifies the Sutter Hotel as a Residential Hotel (**Attachment E-2, iii.**). At the time that the report was created, the Sutter Hotel was combined with another Residential Hotel, the Dragon Hotel. The 1985 report shows that these two hotels had a total of 167 rooms with 162 available for rent. The Survey included with the report documents that 85.9% of the individuals staying at the Sutter were staying there for purposes other than for business or tourist purposes; none of the rooms had a kitchen; 13 of the tenants had stayed at the property for longer than 1 year; and the number of non-transient residents had increased since 1980. The report further states that the owner at that time gave notice of an intent to convert the building to a tourist hotel in mid-1985. This report clearly furnishes the evidence that the Sutter Hotel included at least six Rooming Units which were used as the primary residence of their occupants.

The 2004 Report does not provide the extensive detail provided in the 1985 report, but it does identify the Sutter Hotel as a Residential Hotel with 86 available rooms and a total of 106 rooms (**Attachment E-2, v.**).

The 2015 Report prepared by the City of Oakland Housing and Community Development Department identifies the Sutter Hotel as a Residential Hotel, and provides further information on its use in an attached Residential Hotel Survey conducted on June 22, 2015 (**Attachment E-2, vii.**). The Survey documents responses to questions provided by the Sutter Hotel's desk clerk, who indicates that the Sutter Hotel had 102 total rooms, 95 of which were occupied. The desk clerk identified 38 rooming units that had been occupied for more than one year, and five rooming units that had been occupied for more than five years. The Survey provides substantial evidence that as recently as 2015, the Sutter Hotel had at least 38 rooming units, and likely many more, that served as the primary residence for its occupant. However, the Survey also indicated that the hotel was no longer accepting new monthly residents. Neither the City nor the Applicant have evidence that the property was ever approved to change this activity prior to December 13, 2016.

### **California Housing and Community Development Regulatory Agreement**

—In 1992, then-owner of the Sutter Hotel, Govinder Singh, entered into a Rehabilitation Loan Agreement for rehabilitation of the Sutter Hotel under the California Natural Disaster Assistance Program ("CALDAP"), pursuant to California Health and Safety Code Sections 50661.5, 50661.7, and 50671.5. CALDAP funds were limited to be used to make loans for repair or refinancing in conjunction with repair of "rental housing developments" that were damaged or destroyed as a result of a natural disaster. (See Health and Safety Code, § 50671.5(b)(1).) Govinder Singh further entered into a Regulatory Agreement "as an inducement to the Department to provide the financial assistance specified in the Rehabilitation Loan Agreement, and has agreed to be regulated and restricted as provided therein." The term of the Agreement was set to commence on September 30, 1992 and remain valid for the following twenty years, unless terminated earlier by the Department of Housing and Community Development (**Attachment E-2, iv.**).

The Regulatory Agreement identifies the Sutter Hotel as a “rental housing development” located at 584 14<sup>th</sup> Street. Health and Safety Code Section 50671.5 defines “rental housing development” to include “multifamily rental dwellings, apartments, residential hotels . . . *that are made available for permanent residency of tenants.*” (See Health and Safety Code, § 50671.5(b)(1).)

Under the terms of the Regulatory Agreement, in exchange for receiving monetary assistance to conduct rehabilitation, the borrower agreed to impose rental restrictions on the “Assisted Units,” which were to be made available to eligible households under the terms of written rental agreements provided by California Department of Housing and Community Development. According to the agreement, these restrictions appeared to be in place for a twenty-year period. Exhibit B to the regulatory agreement identifies 102 SROs as “Assisted Units” subject to restrictions on rent such that initial rents in 17 units were set at \$300 per month and initial rents in 85 units were set at \$389 per month.

The Regulatory Agreement serves as substantial evidence that the prior owner of the Sutter Hotel received financial assistance contingent upon the Sutter Hotel being classified as a Residential Hotel that served as the primary residence for its tenants. As a result, Planning Staff conclude there is incontrovertible evidence that the Property was serving as a Residential Hotel in 1992 and through 2012. Again, neither the City nor the Applicant have evidence that the property was ever approved to change this activity prior to December 13, 2016.

Similarly, the applicant submitted to the city a statement from prior owner Raj Singh, included as an attachment to the supplemental information letter sent May 30, 2019, that confirms that the Sutter Hotel was used for long-term rentals (**Attachment B-7**). Specifically, from 1997-2017, Mr. Singh entered into approximately 15 annual and monthly leases with the Oakland Housing Authority and nonprofit organizations to provide rooms for their clients.

### **Residential Rent Adjustment Program (RRAP) Records**

——City records show several RRAP hearing decisions that support finding that the Sutter Hotel continued to operate as a Residential Hotel through the 1990s and early 2000s (**Attachment E-2, vi.**). For example, an October 3, 2002 hearing decision describes the property as a Residential Hotel with 102 units. The decision relates to a complaint that a tenant’s rent was not decreased after staying in the unit for longer than 30 days to adjust for the fact that hotel taxes would no longer be collected.

——City records additionally show several Three-Day Notices to Pay Rent or Quit delivered to tenants at the Sutter Hotel. Within these records, there is evidence that many, if not all, of the tenants were staying for a longer than monthly basis (**Attachment E-2, vi.**).

### **Transient Occupancy Tax Records**

——Planning staff have reviewed Transient Occupancy Tax records spanning a period from 2010 to 2017 (**Attachment B-2**). While the applicant relies on these records to show that there has been some transient use of the property (see further response to this argument in Section III below), Staff finds that these records actually support the conclusion that the Sutter Hotel has historically operated as a Residential Hotel.

——Oakland Municipal Code Chapter 4.24 requires individuals who occupy space in a hotel for a period of no more than 30 consecutive days to pay a tax charged by the hotel operator and remitted to the City. (See O.M.C. § 4.24.030.) An individual who occupies space in a hotel for more than 30 consecutive days is

considered a “permanent resident” for purposes of paying the Transient Occupancy Tax and is exempt from paying the tax beginning on the 31<sup>st</sup> day of the occupancy.

The City Transient Occupancy Tax (TOT) form requires a property owner to state the gross rent for occupancy of all rooms, and then to state how much of that rent was collected for occupancy by non-transient residents and/or exemptions. Thus, these records provide general information on how much revenue a property raised for transient and non-transient uses, which can be assumed to roughly correspond to the proportion of units occupied by transient and non-transient guests.

———Records provided for the Sutter Hotel show many months where the majority of rents collected were from non-transient (i.e. permanent) residents. The Sutter Hotel was not required and did not pay transient occupancy taxes on these revenues. From February 2010 through August 2010, more than 50% of gross rent was paid by non-transient residents every month. After falling into the 40% range from September 2010 to May 2011, the percent of gross rent paid by non-transient residents per month remained above 50%—and sometimes as high as 75%—from June 2011 through August 2013. The portion of gross rent paid by non-transient residents per month remained substantial (between 20% and 72%) from September 2013 through April 2016. Records are incomplete from April 2016 to September 2016, but records show a precipitous decline in rents paid by non-transient residents per month by October 2016. The fact that the number of long-term residents was declining does not mean the property no longer contained 6 rooming units intended to be used as the primary residence of guests, and instead documents the vulnerability of these units being lost permanently and the importance of the City’s moratorium and Residential Hotel regulations.

———It is important to note that the ratio between rent paid by non-transient guests and rent paid by transient guests is not necessarily equal to ratio between non-transient guests and transient guests. For example, the January 31, 2014 monthly TOT statement for the Sutter Hotel shows that rent for occupancy by non-transient residents totaled \$42,375 while taxable rents (those rents collected for occupancy by transient residents) totaled \$38,046. Thus, while 52.7% of the gross rent was paid by non-transient, permanent residents, the number of permanent residents very likely was not equal to 52.7% of the total guests present during January 2014. If the rent for long-term stays was on average lower than the rent for short-term stays, then the proportion of permanent residents at the Sutter Hotel likely would have been higher than 52.7% during the month of January 2014. Nevertheless, the TOT records indicate that the Sutter Hotel continued to serve as a Residential Hotel—a building with at least 6 rooms serving as the primary residence of its occupants—through the mid-2010s.

### **Building Records**

Bolstering the evidence described above, various building records, provided as Appendix A to the Applicant’s Statement of Exemption application and spanning several decades, indicate that the Sutter Hotel has been used as a Residential Hotel. Among other documents:

- The City of Oakland Department of Building and Housing issued a Report of Residential Building Record for the property in March 1974 (**Attachment D, p. 15**). This report, issued to residential buildings, describes the building as containing 102 dwelling units or apartments and/or 102 hotel or sleeping rooms.
- An Engineering Analysis Report dated May 18, 1995 describes the building as a Residential Hotel consisting of 103 units (**Attachment D, p. 57**).

- Building Record ID 0606066 dated August 23, 2006, Annual Hotel/Motel Inspection, describes the Sutter Hotel as a Residential Hotel (**Attachment D, p. 70**). Additional records from the Inspection Log for 584 14<sup>th</sup> Street show several complaints filed by tenants regarding the condition of the building.
- Building Record ID B1202507 indicates that a Certificate of Occupancy for a Residential Hotel was requested for the property on July 26, 2012 (**Attachment D, p. 79**).
- At least three Zoning Clearance Records, requests from residents of the Sutter Hotel to set up a home office within their rooming units at the property, indicate that several tenants were using their units as their primary residence (**Attachment D, p. 87**).

### **Application for Exemption from Actions Restricted in the Residential Hotel Conversion and Alteration Moratorium**

On December 13, 2016, two years prior to the adoption of the Residential Hotel Regulations, the City put in place a Moratorium under Ordinance No. 13415 C.M.S. prohibiting any alterations at Residential Hotels that would result in the displacement of existing residents or the loss of Residential Hotel Units. In 2018, the Applicant applied for interior and exterior alterations at the property under DRX182227. In conjunction with that permit, the Applicant submitted a request for exceptions/exemptions to the actions restricted in the Moratorium, thereby acknowledging that the property was a Residential Hotel subject to the restrictions of the Moratorium.

In response, on November 29, 2018, the City issued a letter determining that the Sutter Hotel is considered a Residential Hotel, that the alterations were excepted from the Moratorium restrictions because they would not reduce the number of units or displace existing residents, and further found that the City considers the current land use activity at the property to be Semi-Transient Residential. The letter specified that if the applicant disagreed with the determination, the applicant had to file a timely appeal. The applicant did not file an appeal challenging the City's conclusion that the Sutter Hotel is a Residential Hotel operating a Semi-Transient Residential Activity.

**Attachment E-2, viii** shows the application, plans, and responses from the Housing and Community Development Department and Planning Bureau recognizing the Sutter Hotel as a Residential Hotel.

### **II. The Definition of a Residential Hotel Does Not Require Every Unit Be Used by Permanent Residents.**

Appellant argues that the Sutter Hotel cannot be a Residential Hotel because there has historically been *some* transient use at the subject property: "Any transient use of the units at the Property necessarily means that such units are not primary residences which is a required element of a property's use under § 17.153.020's definition of a Residential Hotel." This argument misreads the City's definition of a Residential Hotel.

As described above, the City considers a pre-1960's property to be a Residential Hotel so long as it contains at least six rooming units that serve as the primary residence of its occupant. The fact that there are additional rooms at the property that may or may not have served as the primary residence of its occupants does not alter the conclusion that the building itself is classified as a Residential Hotel. As shown in Section I above, substantial evidence supports the City's conclusion that throughout the Sutter Hotel's history, at least six rooming units and in fact substantially more than six units have served as the primary residence of its occupant.

In addition to relying on tax statements, business certificates, and other documents, the Appellant claims that the Sutter Hotel cannot be a Residential Hotel based on the Activity Classification assigned to the Sutter Hotel. Every property in the City is classified on the basis of common functional characteristics and assigned a facility and activity type. The City has several residential activities, including, as relevant here, Permanent Residential Activity and Semi-Transient Residential Activity. The City additionally classifies some properties as a Transient Commercial Habitation Activity, which is the activity type applicable to Commercial Hotels. Within each of the City's zoning districts, various activity types are either permitted, conditionally permitted upon granting of a CUP, or prohibited. Further, to operate a new business and/or change a business from one activity to another, a property owner is required to apply for and receive a Zoning Clearance from the Planning Bureau to ensure that the proposed activity is permitted within the existing zone.

The Appellant claims that any property that has a Semi-Transient Residential Activity designation cannot be a Residential Hotel because Semi-Transient Residential Activities include up to a 30% transient use. This argument is not persuasive. A property operating as a Semi-Transient Residential Activity by definition must operate with at least 70% of the living units serving as a permanent (30 days or longer) residence. For instance, if a property has 10 rooming units, then at least 7 of those units (70%) would be required to serve as permanent residence to be considered a Semi-Transient Residential Activity and thus the building would meet the definition of a Residential Hotel. This is because at least six units would be used, or are intended to be used, as primary residences for guests. This interpretation is also consistent with the State definition of a Residential Hotel under Health and Safety Code Section 50519, which states that a Residential Hotel "does not mean any building containing six or more guestrooms or efficiency units . . . which is *primarily* used by transient guests who do not occupy that building as their primary residence." In other words, so long as the primary use of the building is for non-transient guests for their primary residence, then the building is classified as a Residential Hotel.

### **III. The City's Deemed Approved Hotel Regulations Do Not Alter the Lawful Activities of the Sutter Hotel.**

The Appellant claims that the Sutter Hotel does not meet the definition of a Residential Hotel because the property was "Deemed Approved" as a "Hotel." The status of a building as "Deemed Approved" is reflective of the City's historic regulation of hotels, motels, and rooming houses, including Residential Hotels, and is not determinative of whether a property is a Commercial or Residential Hotel, and is not a separate land use Activity designation. As stated in the Zoning Manager determination, evidence that the City conferred deemed approved status on the property does not assist in determining whether the building is a Residential Hotel because buildings conferred with deemed approved status included buildings serving permanent populations as well as short-term guests. In practical effect, the designation of a non-conforming property as deemed approved makes no substantive changes with respect to the uses to which the property may lawfully be put, and therefore does not influence the analysis of what that historic underlying use was.

In 1999, in response to a continuing pattern of illegal activity, including prostitution and drug use, stemming from hotels, motels, and rooming houses, the Oakland City Council enacted two ordinances for the express purpose of improving the conditions in and around hotels, motels, and rooming houses. The first ordinance, Ordinance No. 12136, added to the Oakland Municipal Code Chapter 8.03 ("Operating Standards for Hotels, Motels, and Rooming Houses"), which sets forth various operational standards applicable to all hotels, motels,

and rooming houses in the city. The second ordinance, Ordinance No. 12137 created the “Deemed Approved Hotel Regulations” (Planning Code Chapter 17.157). The ordinance legislatively designated as approved uses (thus, “Deemed Approved”) all of those hotels, motels, and rooming houses that previously had “legal nonconforming use” status, and further required that “Deemed Approved” commercial and residential hotels comply with the performance standards established by Ordinance No. 12136. Through this method, the City refashioned the legal nonconforming use status of these businesses such that continued operation would now be conditioned on compliance with new performance standards and revocable if those conditions were not met. As a result, the City had more tools at its disposal to address illegal activity occurring at these properties.

The Deemed Approved Hotel Regulations apply not only to commercial hotels, but also to residential hotels and rooming houses that rent partially or purely on a long-term basis. Section 17.157.020 lists as one of the ordinance’s objectives “to assure that guests *and residents* at Deemed Approved Hotel Activities are provided safe, clean, and secure accommodations.” The regulations apply both to Hotels, as defined in OMC Section 4.24.020, and also to any Rooming Houses housing Semi-Transient Residential Activities and/or Permanent Residential Activities. (See Planning Code Section 17.157.050.) The April 13, 1999 Public Safety Committee staff report (**Attachment F**) acknowledges the wide application of the Regulations:

*“a rooming house is akin to a hotel or motel in that rooms that do not contain kitchens are rented to guests and residents. Management may be responsible for providing furniture and daily or weekly housekeeping services. Rooming houses generally rent to a more permanent population and fewer short term guests than hotels or motels.”*

Additionally, the October 1, 2018 Staff Report relating to the adoption of the Residential Hotel Regulations (available on Oakland Legistar under File No. 18-0963) also acknowledges that Residential Hotels have long been subject to the City’s Deemed Approved Hotel and Rooming House Regulations:

*Residential Hotels may also be subject to Planning Code Chapter 17.157, Deemed Approved Hotel and Rooming House Regulations, which regulates habitability and safety of accommodations for guests in hotels, motels, and rooming houses, along with potential nuisances or blight issues for the surrounding community.*

———The Appellant argues that the Sutter Hotel was Deemed Approved in 1999 under Ordinance No. 12137, and specifically that the Sutter Hotel was deemed approved as a “Hotel,” or commercial hotel, and not as a “Rooming House” conducting a Semi-Transient Activity. There is no evidence of official conferral of a “Deemed Approved” status for the Sutter Hotel. Planning staff determined that, if it had been “Deemed Approved”, it would have been deemed approved as a Rooming House conducting Semi-Transient Residential Activity. These facility and activity types are consistent with the definition of a Residential Hotel.

However, regardless of “Deemed Approved” status, the Sutter Hotel would have been required to comply with the Performance Standards adopted by Ordinance No. 12136 since those standards applied to all hotels, motels, and rooming houses throughout the city. Building records document that an “Annual Hotel/Motel Inspection” first occurred at the property in 2002. However, these inspections regularly occurred at a range of hotels, motels, and rooming houses due to the performance standards of OMC Chapter 8.03 applying to all of these facility and activity types. Subsequent inspections of the property were described in City records as “Annual

Hotel/Motel Inspections,” “Annual Deemed Approved Hotel/Motel Inspections,” and “Deemed Approved Inspections.”

The City has communicated to the property owner that the Sutter Hotel has the right to continue the Activity Designation occurring at the property in 1999, subject to the restrictions in the Residential Hotel Regulations.<sup>1</sup> Just as the City and the appellant have not been able to find documentation that the Sutter Hotel was “Deemed Approved” in 1999, neither have been able to locate documentation issued in 1999 clearly stating the Sutter Hotel’s Activity Designation (i.e., Permanent Residential, Semi-Transient Residential, or Transient Commercial Habitation) at that time. Instead, the City has relied on the additional documentation as described above to conclude that in 1999, the Sutter Hotel made rooms available to guests for both short-term and long-term stays, and therefore was a Semi-Transient Residential Activity. As mentioned in Section I above, the City issued a determination in 2018 finding that the Sutter Hotel was a Semi-Transient Residential Activity, and that determination was not challenged. A “Deemed Approved” designation would not change this activity, but would have legalized what may have previously been a legal non-conforming activity. In practical effect, designating a non-conforming property as “deemed approved” makes no substantive change with respect to the uses to which the property may lawfully be put. (See *Bauer v. City of San Diego* (1999) 75 Cal.App.4<sup>th</sup> 1281, 1292-95 [discussing generally “grandfathered” rights of nonconforming businesses in the deemed approved context].)

For these reasons, even assuming that the Sutter Hotel’s Semi-Transient Residential Activity converted from a legal non-conforming activity to a “Deemed Approved” activity, that conferral has no relevance to the determination of whether the Sutter Hotel meets the definition of a Residential Hotel.

#### **IV. The Appeal of a Residential Hotel Status Determination Is Not the Appropriate Forum for Appellant’s Constitutional Arguments.**

The Appellant raises three constitutional challenges in its appeal—that the Planning Bureau’s Determination that the Property is a Residential Hotel violates Appellant’s due process rights, violates Appellant’s equal protection rights, and is an unlawful taking of Appellant’s property. While veiled as a challenge to the Planning Bureau’s Determination, these claims are largely directed at the City Council’s adoption of the Residential Hotel Regulations themselves, but also include arguments that the Regulations are unlawful as applied to the Sutter Hotel.

To the extent the Appellant is directly challenging the City Council’s adoption of the Residential Hotel Regulations, the Planning Bureau and the Planning Commission have no jurisdiction to consider those claims. The Planning Commission is limited to considering whether, in concluding that the Sutter Hotel meets the

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<sup>1</sup> In an effort to determine whether the Sutter Hotel was conferred a “deemed approved” status, Planning Staff also reviewed the historical designation of the site. The zoning designation applicable to the 584 14th Street in 1999 leads to the conclusion that the Sutter Hotel was a permitted activity and therefore would not have been subject to the Deemed Approved Ordinance, which only conferred deemed approved status to legal nonconforming activities. As early as 1974, the Sutter Hotel was located in the C-51 Zoning District. The Planning Code applicable in 1999 specified that Permanent Residential Activities, Transient Habitation Commercial Activities, and Semi-Transient Residential Activities were all permitted activities in the C-51 Zoning District. It was only in 2009 that the property was rezoned to CBD-P, which requires a conditional use permit for Semi-Transient Residential and Transient Habitation Commercial Activities. Thus, regardless of which of these activities was occurring, the Sutter Hotel would *not* have been operating as a legal non-conforming activity in 1999 and thus would *not* have been subject to the Deemed Approved Regulations upon adoption in 1999.

definition of a Residential Hotel, the Planning Director or his designee committed an error or an abuse of discretion, or his decision was not supported by the evidence in the record. The Planning Commission is not tasked with evaluating the legality of the City Council's legislative enactments.

To the extent that the Appellant contends that the Residential Hotel Regulations are unlawful in their application to the Sutter Hotel, Appellant's challenge is premature. The Planning Bureau's Determination is only that: a determination that the property at issue is a Residential Hotel that will be subject to the restrictions set forth in Planning Code Section 17.153.040 and Conditional Use Permit requirements set forth in Planning Code Section 17.153.050. The Determination does not alter the property's Activity designation. The Regulations preserve the status quo and impose restraints on a property owner's ability to seek Planning Bureau approvals for physical modifications to the building or changes to its lawful activity. If, in the future, the Appellant sought to make physical changes or activity changes to the building that have not previously been approved, the Regulations allow the owner to seek a waiver determination or Conditional Use Permit exception per Planning Code Section 17.153.060(B).

As a result, these constitutional challenges are not relevant to the Planning Bureau's factual determination of whether the property at issue meets the definition of a Residential Hotel, as defined in the Residential Hotel Regulations.

## **CONCLUSION**

The Oakland City Council, in implementing Policy 5.4 (Preservation of Single Room Occupancy Hotels) of the 2015-2023 Housing Element, recognized the need to preserve the supply of Residential Hotels as affordable housing for very low and low-income residents, replacement units and tenant protections through the adoption of the Residential Hotel Regulations (Section 17.153 of the Planning Code). The goal of the Regulations is to protect vulnerable populations that live in affordable Residential Hotel Units throughout Oakland. Vulnerable population such as the low-income, homeless, or formerly incarcerated individuals depend on the availability and affordability of the rapidly diminishing supply of Residential Hotel Unit. The City has preliminarily identified properties such as the Sutter Hotel as a Residential Hotel and created a process to minimize the displacement of the vulnerable population. The Statement of Exemption approval or denial process establishes whether the Sutter Hotel is either a) a protected Residential Hotel with restrictions on rehabilitation or b) a Commercial Hotel that can be converted to any activity, facility, or physical characteristic configuration as allowed by the Planning Code.

Planning Staff requests that the Planning Commission deny the appeal and uphold Staff's decision to deny the Statement of Exemption based on the evidence provided in the Zoning Manager's determination and the information presented in this staff report, and declare the Sutter Hotel as a Residential Hotel that is conducting a Semi-Transient Residential Activity, with at least 70% of tenants staying for longer than seven days. The Appellant has not proven through substantial evidence that the Sutter Hotel is a legal commercial hotel. There has been a history of permanent residential activities at this site, which has been demonstrated through Transient Occupancy Tax records, the 1992 Regulatory Agreement, and Residential Hotel Reports conducted by the City of Oakland Housing and Community Development Department.

RECOMMENDATION

1. Deny the Appeal, thereby upholding the Zoning Manager's Determination to deny the Residential Hotel Statement of Exemption, based on the findings and evidence in the Zoning Manager's Determination, the Staff Report, and the accompanying attachments.

Prepared by:



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BRITTANY LENOIR  
Planner II

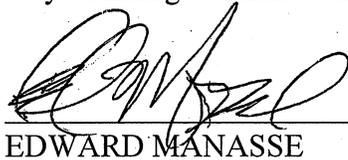
Reviewed by:



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ROBERT MERKAMP  
Zoning Manager

Approved for forwarding to the  
City Planning Commission:



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EDWARD MANASSE  
Deputy Director  
Bureau of Planning

Attachments:

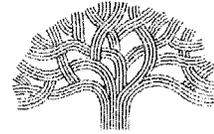
- A. Incomplete letter dated May 1, 2019
- B. Supplemental Information Letter from Alexis Pelosi, representing 584 14<sup>th</sup> Street, LLC, dated May 30, 2019
  1. Alameda County Public Records Request response and correspondence for 584 14<sup>th</sup> Street

2. Documents and Correspondence regarding Transient Occupancy Tax (TOT)
  3. Historic Building Permits for 584 14<sup>th</sup> St
  4. Alameda County Commercial Building Record
  5. Floor Plans and Elevation Plans for the Sutter Hotel
  6. Business Tax Certificates for the Sutter Hotel
  7. Declaration of current owner, Ross Walker, and Declaration of previous owner, Raj Singh, dated May 29, 2019
  8. Sutter Hotel Photos
  9. Historic documents on the Sutter Hotel, including City of Oakland Surveys, photos, and newspaper excerpts
  10. Historic Documents on the Sutter Hotel, including a 1914 Tribune advertisement, 1921 advertisement, and a 1913 personal mention
- C. Completeness Letter dated June 26, 2019
- D. Documents received from Public Records Request on 584 14<sup>th</sup> Street
- E. Appeal of DET190031-A01 dated October 31, 2019
1. Statement of Exemption Application for 584 14<sup>th</sup> Street dated April 2, 2019 and attached documents
    - i. Annual Deemed Approved Hotel and Rooming House Inspections ranging from 2005-2016
    - ii. City of Oakland Business Licenses from 2016-2017
    - iii. TOT submittals from 2014-2017
    - iv. Building Permit related records dating from 1974-1975
    - v. Historical advertisement, news clippings, and city phone directories from 1922-1966
    - vi. Email correspondence regarding Public Records Request #18-782
  2. DET190031, Residential Hotel Status Determination dated October 21, 2019
    - i. 1948 Zoning Code, Excerpt for Definition of "Hotel"
    - ii. County Commercial Building Record
    - iii. Excerpt from 1985 Survey of Residential Hotels in Downtown Oakland, page 10, Coding Key, table datasets 8, 12-13, and Appendix II.
    - iv. Regulatory Agreement – Number CO-R-150, California Natural Disaster Assistance Program
    - v. Excerpt from 2004 Residential Hotels in Central Oakland Report, page 3
    - vi. RRAP Hearing Decision and Three-Day Notice to Pay Rent or Quit
    - vii. Excerpt from 2015 Downtown Residential Hotel Report, page 6
    - viii. Exception from Provisions of Ordinance No. 13415 C.M.S for 584 14th Street
    - ix. Initial Usage Report Application
- F. April 13, 1999 Public Safety Committee Staff Report Regarding Adoption of Deemed Approved Regulations.

**LEGAL NOTICE:**

**ANY PARTY SEEKING TO CHALLENGE THIS DECISION IN COURT MUST DO SO WITHIN NINETY (90) DAYS OF THE ANNOUNCEMENT OF A FINAL DECISION, PURSUANT TO THE CALIFORNIA CODE OF CIVIL PROCEDURE SECTION 1094.6, UNLESS A SHORTER PERIOD APPLIES.**

# CITY OF OAKLAND



DALZIEL BUILDING • 250 FRANK H. OGAWA PLAZA • SUITE 3315 • OAKLAND, CALIFORNIA 94612

Planning and Building Department  
Bureau of Planning

(510) 238-3941  
FAX (510) 238-6538  
TDD (510) 238-3254

May 1, 2019

584 14<sup>th</sup> Street, LLC  
301 N. Canon Drive, Suite 305  
Beverly Hills, CA 90210

Re: **DET190031; 584 14<sup>th</sup> Street; APN: 003 006901700**

Dear Applicant:

This letter is in response to your request for a determination for the property located at 584 14<sup>th</sup> Street. Specifically, you submitted a Residential Hotel Statement of Exemption application, filed before the April 3, 2019 deadline, requesting confirmation that the building is a commercial hotel and not a Residential Hotel as defined per Planning Code §17.153.020.

Planning Code § 17.153.030(C) states that if the Director determines that additional information is needed to make a determination, the Director shall request the additional information in writing.

As such, your application is **INCOMPLETE** and is considered an **INSUFFICIENT FILING**. This letter does not constitute either a granting of a Certificate of Status or Certificate of Exemption. The status determination submission requirements as set forth in Planning Code §17.153.030(B) are listed below. Items in **bold text** were not submitted *or* are insufficient. Please submit all requested items in **bold text** to deem your application complete:

- **A certified copy of the property's tax returns**
- Transient occupancy tax records
  - The tax records that were submitted with the initial Residential Hotel Statement of Exemption received April 2, 2019 were from January 2014 – April 2016 and October 2016 - December 2016. If transient occupancy taxes were paid during other times please provide that documentation; otherwise, Staff will assume transient occupancy taxes were paid only for the months submitted.
- **Residential landlord tax records**
- **Planning and Building Permit records** – Obtain all available Planning and Building Permit records.
- **Alameda County Assessor Records**

- **Floor plans** – Please submit current, non-demolition floorplans for the site. Locations of all walls, doors, site amenities and partitions shall clearly be delineated on the plans. Furthermore, communal facilities such as bathrooms, kitchens, laundry facilities, common areas, lobbies, and commercial spaces should all be shown and labeled. While the plans submitted do show some of the requested floorplan attributes, the submittal of a demolition plan obscures a clear understanding of existing site conditions. Specifically, partitions and walls are obscured.

In addition to the status determination submission requirements per Planning Code §17.153.030(B), the Bureau of Planning is requesting additional information to corroborate with your Statement of Exemption request:

- **Zoning Clearances** – Please submit all available current and historical Zoning Clearances for all businesses at this property.
- **Business Tax Certificates** – Please submit all available current and past business tax certificates for all businesses at this property. For businesses in operation for multiple years, submit all available years of business tax certificates.
  - The business tax certificates that were submitted with the initial Residential Hotel Statement of Exemption dated April 2, 2019 were from the following years: 2002, 2008, 2016, 2017. If a business tax certificate was valid for other operators or years please provide that documentation, otherwise, Staff will assume the business tax certificates were only valid for the years and operators submitted.
- **Lease Agreements and/or Lease Payment Receipts** - Please submit all available lease agreements at this property.
- **Match Information** – Associate the relevant Zoning Clearances to its business tax certificates and lease agreements. Indicate clearly by address and/or by location on the site or floor plan where every business is located. If a business had previously operated in a space that differs from the submitted floor plan, show in a site or floor plan where the business had operated.
- **Years of Operation** – Indicate, to the best of your knowledge, and based on available information, the years of operation of each business at the property.
- **Interior Photographs** – Provide annotated interior photographs that clearly show the interior of the building and the individual rooms, the vantage point of photographic capture or the area of the floorplan the photograph is representing.
- **OCHS (Oakland Cultural Heritage Survey) Information** – Please contact Betty Marvin, the City of Oakland Historic Preservation Planner, at [bmarvin@oakalndca.gov](mailto:bmarvin@oakalndca.gov) or (510) 238-6879 for this information.
- **Any other information** – As applicable, please submit information from phone books, old newspapers, Yelp or other similar business review websites, which indicates the historic or current advertised uses.

In addition, staff requests an opportunity to conduct an exterior and interior site visit after receiving the requested information above. The purpose of the site-visit is to better understand the existing condition in the context of your Statement of Exemption and Initial Usage Report request and additional information submitted.

Per Planning Code §17.153.030(C), the owner shall furnish the requested information, upon receipt of the written request, within thirty (30) calendar days from the date of this letter. If the requested information is not furnished, the Director will issue a Certificate of Status confirming that the building is a Residential Hotel that is composed entirely of individual Residential Hotel Units (OMC §17.153.030(C)).

Please submit the requested information in a digital .PDF format on a USB flash drive as well as on two (2) physical paper copies to my attention. **If any of the items listed above cannot be furnished, provide an explanation for each item as to why it cannot be furnished.** For general inquiries to request records or information, an in-person visit to our offices is recommended. The Planning and Building Department is available at 250 Frank Ogawa Plaza, 2<sup>nd</sup> Floor, Oakland, CA 94612 and the department phone number is (510) 238-3443. The Finance Department: Business Tax Office is available at 250 Frank Ogawa Plaza, Suite 1320, Oakland, CA 94612 and the phone number is (510) 238-3704. Lastly, the Alameda County Assessor's Office is available at 1221 Oak Street, Room 145, Oakland CA 94612 and by phone at (510) 272-3787.

If you have any questions, feel free to contact me, **Brittany Lenoir**, Planner 1, at **(510) 238-4977**, or by e-mail at **[blenoir@oaklandca.gov](mailto:blenoir@oaklandca.gov)**. Thank you for your prompt response to this request.

Sincerely,



*Brittany Lenoir  
Planner I  
Bureau of Planning*

CC: [jbird@hawkinsway.com](mailto:jbird@hawkinsway.com)  
[ross.walker@hawkinsway.com](mailto:ross.walker@hawkinsway.com)



Alexis M. Pelosi  
alexis@pelosilawgroup.com

May 30, 2019

Brittany Lenoir  
Planner I  
Oakland Planning Department  
250 Frank H. Ogawa Plaza, Ste. 3315  
Oakland, CA 94612

**Re: DET190031; 584 14<sup>th</sup> Street; APN: 003 006901700**

Dear Ms. Lenoir:

We are submitting the attached information on behalf of our client, 584 14th Street, LLC, in response to your May 1, 2019 letter indicating that the Residential Hotel Statement of Exemption application (“Application”) for the property located at 584 14<sup>th</sup> Street (“Property”) is incomplete because some of the items were not submitted or were insufficient. As detailed in the below list, we are providing all the information that is currently available to us, which we believe is more than sufficient to deem the Application complete and approve the Application.

As detailed in the Application, the Property is a “Deemed Approved” tourist hotel because it was used as a tourist hotel prior to the enactment of the City’s 1999 zoning ordinance that regulated transient habitation commercial uses and required all new tourist uses to obtain conditional approval. The substantial evidence submitted with the Application and attached to this letter clearly supports this conclusion. For example, the Property’s Hotel/Motel Business Certificate (#00029506) was issued in 1995, before the 1999 “Deemed Approved” date.<sup>1</sup> Since that time, the Property has been licensed as a tourist hotel<sup>2</sup> and has been paying the Transient Occupancy Tax (“TOT”) to the City, with records documenting payment of the TOT at least as early as 1998.<sup>3</sup> Historical building permit records, as well as historical advertisements and news clippings, that were previously provided, combined with new ones attached to this letter, further indicate that the Property was a tourist hotel use prior to 1999. In addition, inspection records submitted with the Application evidence the fact that the Property has been classified by the City as a “Deemed Approved” tourist hotel.

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<sup>1</sup> As noted in our application, we do not have a copy of the 1995 license, but this information was provided to us by City Finance Department staff and is based on the certificate number identified.

<sup>2</sup> Unfortunately, because the prior owner did not keep good records and the City Finance Department purges business tax records after ten (10) years, we only have Business Tax Certificates from 2008 forward.

<sup>3</sup> Because the City Finance Department purges records after ten (10) years, we only have TOT records from 2010 forward. However, as set forth in the below list, correspondence from the City confirms that the TOT was paid in 1998, 1999, 2000 and 2001.



In short, to date, substantial evidence has been provided documenting that the Property’s tourist hotel use is a “Deemed Approved” use pursuant to the City’s Planning Code. No evidence at all, however, has been provided that establishes the Property does not qualify as “Deemed Approved” or was converted from a tourist hotel to a non-tourist hotel use, a change that as noted previously would not impact our “Deemed Approved” status.<sup>4</sup>

The following is a summary of the information requested in the May 1, 2019, letter. Where information was previously provided in the Application, it is noted, and where new information has been located, it is also noted with copies of that information attached. In some instances, we were unable to locate the information requested despite exerting significant time and effort in trying to obtain it. In those instances, we have noted our efforts and provided an explanation regarding why the information is not provided. In addition to the documents noted below, we also received numerous documents from the City in response to Public Records Act requests, but some of these requests remain outstanding. A complete copy of all documents provided by the City in response to those requests is being provided in Appendix A. Documents that are relevant to the issue of the Property’s “Deemed Approved” status are included as attachments.

**I. Certified copy of property tax returns**

On May 3, 2019, a Public Records Act (“PRA”) request was submitted to the Alameda County Assessor’s Office for all documents and records related to the Property, which should have included this information (see Attachment A). In response, the County Assessor-Recorder advised that documents for this address can be reviewed at the Assessor-Recorder’s office, however, only those documents related to 584 14th Street, LLC’s ownership of the Property can be viewed. We cannot view any documents related to a prior owner, even with the prior owner’s permission. Given these records are within the County’s control, to the extent they are required by the Planning Department to deem the Application complete, we request your assistance in obtaining the records.

**II. Additional TOT records**

A. Previously submitted

January 2014 – April 2016

October 2016 – December 2016

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<sup>4</sup> As noted in the Application, even if a change from a tourist hotel use to a non-tourist hotel use did occur after 1999 – which is not indicated by the evidence – a change of use cannot cause a property to lose its “Deemed Approved” status. A “Deemed Approved” use has protections beyond the normal rules for legal nonconforming uses. (“Said business(es) shall no longer be considered a Legal Nonconforming Activity. . . . Deemed Approved Status replaces legal nonconforming status.” CPC § 17.157.050.) Unlike a legal nonconforming use, a property can only lose its “Deemed Approved” status following a formal notice of violation and public hearing. There is no record of such proceedings taking place.



B. New information (Attachment B)

On May 3, 2019, a PRA request was submitted to the City's Finance Department requesting copies of these documents (see Attachment B). To date, we have not received a response. Given these records are within the City's control, to the extent they are required by the Planning Department to deem the Application complete, we request your assistance in obtaining the records. The following information is what we have been able to obtain from the prior property owner.

**Correspondence between City of Oakland and property owner regarding City audit of financial records, pursuant to which the City confirmed the information for the years 1998, 1999, 2000 and 2001 to be substantially correct.<sup>5</sup>**

January – December 2010

January – December 2011

January – December 2012

January – December 2013

January – December 2017

**III. Residential landlord tax records**

On May 3, 2019, a PRA request was submitted to the City's Finance Department requesting copies of these documents (see Attachment B). A response was received on May 13, 2019 stating that the City would not release the information since it was confidential business information. (Oakland Municipal Code Sections 5.04.060, 5.04.140.) The City was subsequently informed that the request was made on behalf of the property owner, and the owner provided written authorization for the release of these records on May 28, 2019. We are awaiting a response.

**IV. Planning and Building Permit records – all available**

A. Previously submitted

Three building permit records from 1974-1975

B. New information (Attachment C)

On May 3, 2019, a PRA request to the City's Planning Department was submitted requesting copies of all available planning and building permit records. A complete copy of the all documents provided from the Planning Department is included in Appendix A. The most relevant documents are listed below and attached.

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<sup>5</sup> This document clearly establishes that during the period in question, the Property was being used as a Tourist Hotel, making it a "Deemed Approved" tourist hotel use.



Buildings permits from 1937, 1945, 1952, 1969 and 1976 that state the existing use to be “hotel”

Building and Housing Department forms from 1974 and 1975 that indicate property has an existing license for a hotel

In addition, the permit history index refers to “Hotel” or “Annual Deemed Approved Hotel/Motel” inspections taking place throughout the time period of 2000–2016. On May 24, 2019 we requested further records related to the Annual Deemed Approved Hotel/Motel Inspections. We are awaiting a response to this request.

**V. Alameda County Assessor Records**

A. Previously submitted

No documents

B. New information (Attachment D)

As noted above, in response to the May 3, 2019 PRA request, the County Assessor-Recorder advised that only documents related to 584 14th Street, LLC’s ownership of the property can be viewed. We cannot view any documents related to a prior owner, even with the prior owner’s permission. Given these records are within the County’s control, to the extent they are required by the Planning Department to deem the Application complete, we request your assistance in obtaining the records. The following information is what we have been able to obtain on our own from the City’s records.

Commercial Building Record for Sutter, ‘Hotel’ – SRO/Apts, with dates going back to 1912.

**VI. Current, non-demolition floor plans**

Copies of the non-demolition floor plans have been prepared and are attached (see Attachment E).

**VII. Zoning clearances – all available current and historical**

On May 3, 2019, a PRA request was submitted to the City’s Planning Department requesting copies of these documents. In the response received to date, these documents were not included. Given these records are within the Planning Department’s control, to the extent they are required by the Planning Department to deem the Application complete, we request your assistance in obtaining the records.



**VIII. Business tax certificates – all available current and past**

A. Previously submitted

Transient Occupancy Registration Certificate issued July 25, 2002

Business Tax Certificate expires December 31, 2008

Business Tax Certificate expires December 31, 2016 (2 accounts)

Business Tax Certificate expires December 31, 2017

B. New information (Attachment F)

On May 3, 2019, a PRA request was submitted to the City's Finance Department requesting copies of these documents. In response, only Business Tax Certificate verification forms from 2017-2019 were provided. Those forms are listed below and included in Attachment F. Given these records are within the City's control, to the extent additional records are required by the Planning Department to deem the Application complete, we request your assistance in obtaining the records. The following information is what we have been able to obtain from the prior property owner and the Finance Department.

Business Tax Certificate expires December 31, 2010 (2 accounts)

Business Tax Certificate expires December 31, 2011 (2 accounts)

Business Tax Certificate expires December 31, 2012 (2 accounts)

Business Tax Certificate expires December 31, 2013

Business Tax Certificate expires December 31, 2014 (2 accounts)

Business Tax Certificate expires December 31, 2015

Business Certificate verification that certificate expires December 31, 2017

Business Certificate verification that certificate expires December 31, 2018

Business Certificate verification that certificate expires December 31, 2019

**IX. Lease agreements and/or lease payment receipts – all available**

In responding to this request, we have presumed that the intent is to obtain copies of any residential lease agreements and/or lease payments. The ground floor is comprised of commercial uses and tenants that have over the years executed commercial leases and have made lease payments. While copies of those commercial leases and lease payments can be provided, we do not believe they are



relevant to determining whether the Property is a “Deemed Approved” tourist hotel use. Please let us know, however, if you would also like copies of this information.

There are currently no residential leases at the Property. The prior owner has executed a signed declaration (Attachment G) testifying to the fact that, throughout the time he owned or was otherwise involved with the Sutter Hotel, it was operated as a transient (tourist) hotel, and the rooms were predominantly rented on a daily or weekly basis. The only limited exception is that during the period of 1997 to 2017, the former owner entered into a small number of leases with the Oakland Housing Authority or nonprofits (approximately 15 in total). Under these leases, **the nonprofits paid the Sutter Hotel** to provide a room for clients in their programs.

This limited use for non-profits does not affect the “Deemed Approved” status of the Sutter Hotel, as that use did not eliminate the underlying tourist hotel use that could only be removed by a public hearing (which has never occurred).

The current owner has also executed a declaration stating no residential leases have been entered into and no lease payments have been received since taking ownership of the Property in 2017. Copies of both declarations are attached as Attachment G.

**X. Match information (i.e., associate zoning clearances to business certificates and lease agreements)**

As noted above, the prior owner entered into a small number of leases, approximately 15 in total over a ten-year period from 1997 through 2017. Unfortunately, the prior owner does not have copies of these leases due to poor record keeping. As a result, we cannot match any information but note that any such leases, as stated above and in our Application, does not affect the “Deemed Approved” status of the Sutter Hotel. Business tax certificates and information has been provided in Attachment F and these certificates cover all use of the Property. Business certificates for the ground floor commercial uses has not been obtained as we not believe it is relevant to determining whether the Property is a “Deemed Approved” tourist hotel use.

**XI. Years of Operation**

This request for information is confusing. The following is our response to the best of our knowledge based on the broad request for information. Based on the business tax certificates provided to date both in our Application and Attachment F, the Property has been licensed and used as a tourist hotel. The prior owner has executed an affidavit stating that he operated the Property from 1995 until 2017 as a tourist hotel and the current owner has executed an affidavit indicating they have also operated the Property as a tourist hotel since taking ownership in 2017. Those affidavits are included as Attachment G.

**XII. Annotated interior photographs**

Interior photographs are attached (Attachment H). For reference, more extensive photos are also included on the thumb drive provided.



**XIII. OCHS information**

A. Previously submitted

No documents.

B. New information (Attachment I)

Historical information from Betty Marvin

Excerpts from book regarding Downtown District – District Contributor

**XIV. Any other information (i.e., phone books, old newspapers, review websites)**

A. Previously submitted

Historical advertisements, etc., from 1922 to 1966

B. New information (Attachment J)

We retained Mark Hulbert from Preservation Architecture to assist in obtaining historic documents and articles related to the Property. The following are the documents he obtained.

Tribute ad from January 1914

UCR personal mention from September 1913 that references Hotel Sutter

UCR personal mention from June 1917

UCR personal mention from July 1921 that references Hotel Sutter

Tribune Article from March 23, 1943

Article from Christmas 1990 regarding fire at Hotel Sutter

Based upon the above, we respectfully request that the City approve our Residential Hotel Statement of Exemption application.

Yours truly,

A handwritten signature in blue ink, appearing to read 'Alexis M. Pelosi'.

Alexis M. Pelosi  
Attachments.

# Attachment A



**OFFICE OF ASSESSOR  
COUNTY OF ALAMEDA**

1221 Oak St., Room 145, County Administration Building  
Oakland, California 94612-4288  
(510) 272-3787 / FAX (510) 272-3803

**PHONG LA  
ASSESSOR**

May 7, 2019

Re: Public Records Request for 584 14<sup>th</sup> St., Oakland, CA. Assessor's Parcel Number: 3-69-17

Ms. Sarah Hoffman  
Zacks, Freedman & Patterson, PC  
235 Montgomery Street, Suite 400  
San Francisco, CA 94104

Dear Ms. Hoffman,

Our office is in receipt of your California Public Records Request sent by you per an email dated May, 3, 2019. As you have subsequently informed me that you are representing the current owner, 584 14<sup>th</sup> Street LLC, we can furnish requested documents pertaining to the current owner. Unfortunately, we cannot provide any documents pertaining to prior owners. Assessor's records pertaining to individual taxpayers are not open for general inspection by the public. Subsections 6254(i) and (k) of the Government Code curtail access to taxpayer's records. Section 408 of the California Revenue and Taxation Code severely restricts the definition of public records open to inspection. Records that relate to the business affairs of another taxpayer may not be disclosed to anyone, even a taxpayer reviewing his own assessment per the R&T Code Section 408(e) (3). Further, any information requested of a taxpayer by the Assessor, furnished in a property statement or provided on a Change in Ownership Statement must be held secret by the Assessor per R&T Code sections 451 and 481.

In addition to the documents pertaining to your client and current owner, 584 14<sup>th</sup> St. LLC, you are entitled to copies of the public records which are not required to be kept or prepared by the Assessor and which are not protected from public disclosure. These records include the assessment roll, Assessor's maps, exemption claims (except homeowners) and property characteristics.

The minimum fee for copies of documents is \$5.00 (includes up to 4 pages) and \$1.00/page thereafter. If you choose, you may come into our office during normal business hours to view the file and select the documents you would like copied. You may also choose to have copies of all documents in the file pertaining to your client. The file is ready for you to view at your convenience. Please give us one-day notice if you plan to come in and view the file.

If you have any questions, I can be reached at (510) 271-5159.

Sincerely,

**John W. Abbott II**  
Supervising Appraiser II  
Assessment Services

## Alexis Pelosi

---

**From:** Abbott II, John, Assessor <john.abbott@acgov.org>  
**Sent:** Thursday, May 16, 2019 11:48 AM  
**To:** Sarah Hoffman  
**Cc:** Johnson, James, Assessor  
**Subject:** RE: Public Records Act Request re: APN 3-6901700 (584-14th Street)

Ms. Hoffman,

I have conferred with County Counsel regarding your request. Unfortunately, we cannot provide access those records even with the authorization of the prior owner. R&T Code section 408 only permits the current assessee has access to records, limited to the records of his or her period of ownership. Thus, a prior assessee would not have access to records of his or her prior ownership and hence, are not in the position to grant permission requested below.

Cordially,

**John W. Abbott II**  
Supervising Appraiser II  
Assessment Services  
Alameda County Assessor's Office  
1221 Oak St., Rm. 145  
Oakland, CA 94612  
(510)271-5159 - phone  
(510)272-3803 - fax

---

**From:** Sarah Hoffman [mailto:sarah@zfplaw.com]  
**Sent:** Monday, May 13, 2019 5:46 PM  
**To:** Abbott II, John, Assessor <john.abbott@acgov.org>  
**Subject:** RE: Public Records Act Request re: APN 3-6901700 (584-14th Street)

Dear Mr. Abbott,

Thank you for your letter, which we received on May 9. If we obtain the permission of the prior owner, would it be possible for us to get records related to their ownership of the property?

Best,

Sarah Hoffman

---

**From:** Abbott II, John, Assessor [mailto:john.abbott@acgov.org]  
**Sent:** Monday, May 06, 2019 7:36 AM  
**To:** Sarah Hoffman  
**Subject:** FW: Public Records Act Request re: APN 3-6901700 (584-14th Street)

Ms. Hoffman,

Your email was forwarded to me by the Clerk of the Board. Please let me know whom you are representing and making this request on behalf of. I need this information to determine which documents/information I can provide per the Revenue and Taxation code.

Cordially,

**John W. Abbott II**

Supervising Appraiser II  
Assessment Services  
Alameda County Assessor's Office  
1221 Oak St., Rm. 145  
Oakland, CA 94612  
(510)271-5159 - phone  
(510)272-3803 - fax

---

**From:** Sarah Hoffman [<mailto:sarah@zfplaw.com>]  
**Sent:** Friday, May 3, 2019 4:05 PM  
**To:** Clerk of the Board <[cbs@acgov.org](mailto:cbs@acgov.org)>  
**Subject:** Public Records Act Request

Good afternoon,

I respectfully request a copy of all documents and records related to APN 003 006901700 (with the associated address of 584 14th Street) in the possession or control of the Alameda County Assessor's office.

This request includes, but is not limited to, files, emails, notes, drafts, memoranda, letters, scans, recordings, text messages, phone calls, faxes, etc., whether sent from, received by, or kept on government-owned, privately owned, or other devices and addresses. If any documents cannot be copied for copyright protection or other reasons, please make such documents available for us to view.

If any documents or records cannot be made available within ten days, please kindly produce all documents and records on a rolling basis.

Very truly yours,

Sarah Hoffman  
Zacks, Freedman & Patterson, PC  
235 Montgomery Street, Suite 400  
San Francisco, CA 94104  
Telephone: (415) 956-8100  
Facsimile: (415) 288-9755  
[sarah@zfplaw.com](mailto:sarah@zfplaw.com)  
[www.zfplaw.com](http://www.zfplaw.com)

This communication and its contents may contain confidential and/or privileged material for the sole use of the intended recipient. Any review or distribution by others is strictly prohibited. If you are not the intended recipient, please contact the sender and delete all copies. Unless expressly stated, nothing in this communication should be regarded as tax advice.

## Alexis Pelosi

---

**From:** Sarah Hoffman <sarah@zfplaw.com>  
**Sent:** Friday, May 3, 2019 4:05 PM  
**To:** cbs@acgov.org  
**Subject:** Public Records Act Request

Good afternoon,

I respectfully request a copy of all documents and records related to APN 003 006901700 (with the associated address of 584 14th Street) in the possession or control of the Alameda County Assessor's office.

This request includes, but is not limited to, files, emails, notes, drafts, memoranda, letters, scans, recordings, text messages, phone calls, faxes, etc., whether sent from, received by, or kept on government-owned, privately owned, or other devices and addresses. If any documents cannot be copied for copyright protection or other reasons, please make such documents available for us to view.

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Facsimile: (415) 288-9755  
sarah@zfplaw.com  
[www.zfplaw.com](http://www.zfplaw.com)

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# Attachment B

Victoria Garrison  
Bookkeeping Services  
P. O. Box 5247  
Walnut Creek, Ca. 94596  
(925) 939-1439

June 27, 2001

Mr. P.K. Mukherjee  
Manager  
Oakland Sutter Hotel LP  
584 - 14<sup>th</sup> Street  
Oakland, Ca. 94612

Re: Transient Occupancy Tax Audit  
Sutter Hotel

Dear Mr. Mukherjee:

I am as surprised as you and Mr. Singh about this issue of "Apartment Tax" raised by the City of Oakland TOT office.

As you are aware, I have been the bookkeeper for this property since 1987, through the change of ownership in 1995, and have been present at previous audits by the City of Oakland. At no time in the past was this issue of "Apartment Tax" raised, either by the auditors or any other City personnel. In 1987, the previous owner, Mr. Berman, and I visited the City of Oakland Business Tax Office to obtain information with regards to city taxes applicable to this property. At that time we were told that the only relevant taxes associated with this property were (1) Property tax, (2) TOT tax and (3) Business License tax. I provided you with this information when Mr. Singh purchased the property in 1995. Furthermore, we filed the change of ownership information with the City in 1995 and were not informed at that time of any additional filing requirements.

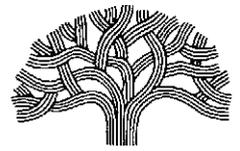
You may want to check with the City of Oakland as this may be a newly legislated tax that you were not informed of. Please let me know if I can be of any further help.

Very Sincerely,



Victoria Garrison

# CITY OF OAKLAND



FINANCIAL SERVICES AGENCY • 150 FRANK H. OGAWA PLAZA, SUITE 5342 • OAKLAND, CALIFORNIA 94612-2093

Revenue Division

(510) 238-2245  
FAX: (510) 238-6431  
TDD: (510) 839-6451

June 11, 2001

Pritin K. Mukherjee  
Oakland Sutter Hotel LP  
584 14<sup>th</sup> Street  
Oakland, CA 94612

Re: Audit Results-A/C # 2273667

This is in response to your letter dated May 31, 2001. In answer to your questions, first, there is no particular form required for filing an appeal, and per your request I forwarded a copy of your letter to the Appeals Board of Review. Second, the business tax for non-transients, which is classified as an "M" account [\$13.95 per \$1,000] is not an additional tax. After the change of ownership, you continued to operate under the previous owner's account number. You should have applied for a new account and the old account should have been deactivated.

Third, Based on the Director of Finance Ruling, Notice is not required to inform tax payers of the delinquency, renewal or any notice or bill (A copy of the Ruling is attached). Besides, this is not a new tax, it has been legislated and adopted by the City of Oakland for at least 20-30 years. As you have requested, I have also attached a copy of the Director of Finance Ruling that clearly states the difference between transient and non-transient tax.

Furthermore, the purpose of the audit is to make sure that everything is in compliance and all the gross receipts are reported correctly.

If you have any more questions, please do not hesitate to contact me at (510) 238-7471.

Sincerely,

  
Shahla Azimi  
Tax Auditor II

CITY OF OAKLAND  
OFFICE OF FINANCE  
REVENUE DIVISION

DIRECTOR OF FINANCE RULING NO. 2  
CLASSIFICATION FOR TAXATION FOR  
HOTEL OR MOTEL BUSINESSES

Reference: Section 5-1.37 and 5-1.49 Oakland Municipal Code

Purpose

Specifies the measure of the tax and the applicable tax rate(s) to be utilized for the taxation of operator(s) of hotel or motel facilities.

BACKGROUND

An audit of the hotels and motels showed that certain hotels "non transient" trade accounted for a substantial (in excess of 20% of total revenues) portion of an operator's "Gross Receipts". The ruling provides guidelines to be used by staff and/or the taxpayer in determining the tax liability.

RULING OF THE DIRECTOR OF FINANCE

Taxpayers engaged in the business of renting or leasing rooms for dwelling, sleeping or lodging shall be classified based upon the following criteria:

1. Gross receipts attributed to short-term transient trade shall be classified as "Rental of Hotel & Motel," and shall be taxed at the rate of \$1.80 per thousand dollars of gross receipts. For purposes of this ruling, "short-term transient trade" is defined as "trade of less than a 30 day duration".
2. Gross receipts attributed to long-term trade shall be classified as "Rental of Residential Property," and shall be taxed at the rate of \$13.95 per thousand dollars of gross receipts. For purposes of this ruling, long-term trade shall mean that the same person remains in the hotel/motel for thirty (30) consecutive days or more, regardless of whether the room is changed during that period.

# OAKLAND SUTTER HOTEL LP

584 14<sup>th</sup> STREET  
OAKLAND, CA. 94612  
Email:rightguys@msn.com  
FAX: 510-451-2559  
TEL: 510-451-2555

May 31, 2001

Ms. Shahla Azimi  
Revenue Audit Section  
Financial Services Agency  
150 Frank Ogawa Plaza  
Oakland, Ca. 94612

**CERTIFIED MAIL**

**Re: Sutter Hotel A/C 003179002**

Dear Sirs:

We are in receipt of your attached notice(statement) dated May 18, 2001 re: the above referenced account. We herewith file an appeal/petition questioning this determination. If there is a specific form that has to be filled out to request this appeal kindly let us know.

During our ownership and operation of the Sutter Hotel we have been provided the enclosed tax computation form by the City of Oakland. These forms have been regularly submitted with the tax payment, calculated per line 4. Furthermore, upon our enquiry from your department ,during the purchase of this property, we were not informed about this additional tax. The previous owner has advised us that during his decade of ownership no such tax was imposed on him. Is this a new tax? When was it legislated/ adopted by the City of Oakland? Could you kindly fax us a copy of the relevant City Resolution or Code section providing details about the nature of this tax?

Thanking you and assuring you of our cooperation a

7000 1530 0000 8097 5672

7000 1530 0000 8097 5696

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

**OFFICIAL USE**  
OAKLAND CA 94612

Postage	\$ 40.55	0072 08 Postmark Here  06/05/2001
Certified Fee	\$1.90	
Return Receipt Fee (Endorsement Required)	\$0.00	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 42.45	

Send To  
City of Oakland/Business Tax Section  
Street, Apt. No., or PO Box No.  
250 Frank Ogawa Plaza Suite 1320  
City/State/ZIP+4  
Oakland CA 94612

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

**OFFICIAL USE**  
OAKLAND CA 94612

Postage	\$ 40.45	0072 08 Postmark Here  06/05/2001
Certified Fee	\$1.90	
Return Receipt Fee (Endorsement Required)	\$0.00	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 42.35	

Send To  
Revenue Audit Section  
Street, Apt. No., or PO Box No.  
Financial Services Agency, 150 Frank Ogawa  
City, State, ZIP+4  
Oakland CA 94612

PS Form 3800, May 2000 See Reverse for Instructions



# OAKLAND SUTTER HOTEL LP

584 14<sup>th</sup> STREET  
OAKLAND, CA. 94612  
Email:rightguys@msn.com  
FAX: 510-451-2559  
TEL: 510-451-2555

May 29, 2001

Business Tax Section  
Budget & Finance Agency  
City of Oakland  
250 Frank Ogawa Plaza, Suite 1320  
Oakland, Ca. 94612

**CERTIFIED MAIL**

**Re: Account 343293**

Dear Sirs:

We are in receipt of your attached notice(statement) dated May 16, 2001 re: the above referenced account.

Please review the front and back of our cancelled checks showing that all the invoiced payments were made in the invoiced years.

Please update your records to show these collections. If you have any further questions please call Mr. Raj Singh at 510-451-2555 or 925-933-5300 at your convenience. If we do not hear from you we will assume that the records have been updated and there is no further action required at our end.

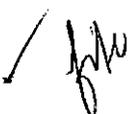
Thanking you and assuring you of our cooperation at all times.

Very Sincerely,

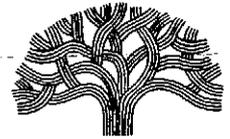


Victoria Garrison  
Accounts

Enc: 7:copies of checks etc



# CITY OF OAKLAND



250 FRANK H. OGAWA PLAZA • SUITE 1320 • OAKLAND, CALIFORNIA 94612

Budget & Finance Agency  
Business Tax Section  
PHONE: (510) 238-3704

(510) 238-3704  
TDD: (510) 839-6451

ACCOUNT NUMBER 343293

STATEMENT DATE 5/16/01

DUE DATE 6/01/01

SUTTER HOTEL  
VICTORIA GARRISON  
PO BOX 5247  
WALNUT CREEK

CA 94596 - 1247

BUSINESS LOCATION:  
584 14TH ST  
OAKLAND

CA 94612 - 1443

	TAX BASE	TAX	PENALTY	INTEREST	AMOUNT DUE
2001	\$530,776.80	\$955.40	\$238.85	\$34.39	
	PAYMENTS	\$0.00	\$0.00	\$0.00	
	REFUNDS	\$0.00	\$0.00	\$0.00	
	ADJUSTMENTS	\$0.00	\$0.00	\$0.00	
	TOTALS	\$955.40	\$238.85	\$34.39	\$1,228.64
2000	\$440,167.26	\$792.30	\$198.08	\$147.31	
	PAYMENTS	\$0.00	\$0.00	\$0.00	
	REFUNDS	\$0.00	\$0.00	\$0.00	
	ADJUSTMENTS	\$0.00	\$0.00	\$0.00	
	TOTALS	\$792.30	\$198.08	\$147.31	\$1,137.69
1999	\$347,879.23	\$626.18	\$156.55	\$210.47	
	PAYMENTS	\$0.00	\$0.00	\$0.00	
	REFUNDS	\$0.00	\$0.00	\$0.00	
	ADJUSTMENTS	\$0.00	\$0.00	\$0.00	
	TOTALS	\$626.18	\$156.55	\$210.47	\$993.20
1998	\$256,679.11	\$462.02	\$115.50	\$224.72	
	PAYMENTS	\$0.00	\$0.00	\$0.00	
	REFUNDS	\$0.00	\$0.00	\$0.00	
	ADJUSTMENTS	\$0.00	\$0.00	\$0.00	
	TOTALS	\$462.02	\$115.50	\$224.72	\$802.24

TAXPAYER ASSISTANCE IS AVAILABLE AT 250 FRANK H. OGAWA PLAZA, 8:00AM TO 4:00PM  
TAX YEAR(S) 2001 2000 1999 1998 TOTAL AMOUNT DUE \$4,161.77

DUE DATE 6/01/01

ACCOUNT NUMBER 343293

PLEASE REMIT THIS STATEMENT WITH PAYMENT  
MAKE CHECKS PAYABLE TO: OAKLAND BUSINESS TAX

REMITTANCE AMOUNT \_\_\_\_\_

CREDIT CARD INFORMATION:

EXPIRATION DATE: \_\_\_\_\_ MO \_\_\_\_\_ YR

\_\_\_ VISA \_\_\_ MASTERCARD \_\_\_ DISCOVER

CARD NO: \_\_\_\_\_

AMOUNT CHARGED TO CREDIT CARD: \$ \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

\*\*\* MAY NOT BE REFLECTED IN THIS STATEMENT \*\*\*

# CITY OF OAKLAND - 2001 BUSINESS TAX DECLARATION

(510) 238-3704

**DUE DATE JANUARY 1, 2001 DELINQUENT IF PAID AFTER MARCH 1, 2001**

2001 RENEWAL TAX

FAX (510) 238-7128

To correct preprinted information, cross out any incorrect information and indicate changes above or beside it. Do not correct Lines 1 & 2.

**SEE ENCLOSED INSTRUCTIONS BEFORE PROCEEDING**

1. ACCOUNT NUMBER 343293 CITY USE ONLY 2. INDUSTRY CODE CITY USE ONLY  
P

**MAILING ADDRESS:**

FORWARDING SERVICE REQUESTED 7066  
SUTTER HOTEL  
VICTORIA GARRISON  
PO BOX 5247  
WALNUT CREEK CA 94596-1247

Check this box if you are making corrections on any preprinted information.



3. BUSINESS NAME SUTTER HOTEL  
4. BUSINESS LOCATION NUMBER 584 STREET 14TH ST SUITE  
CITY OAKLAND STATE CA ZIP 94612-1443  
5. BUSINESS PHONE (510) 451-2555 EXT 6. CONTACT PHONE (510) 939-1439 EXT  
7. BUSINESS START DATE 08-17-87 8. # FULL TIME EMPLOYEES 6

9. (OFFICE USE ONLY) 10. OWNERSHIP TYPE P SEE INSTRUCTIONS  
11. OWNER NAME 1) OAKLAND SUTTER HTL  
12. OWNER NAME 2) OAKLAND SUTTER INC  
13.  
14.  
15. FEDERAL TAX I.D. NUMBER / SSN 770160447 STATE CONTRACTOR'S LICENSE NO.  
16. STATE SELLER'S PERMIT NO.

**STOR!! SEE ENCLOSED INSTRUCTIONS BEFORE PROCEEDING**

17. TAX BASE 2000 GROSS RECEIPTS \$ 530776.80  
18. ~~XXXXXXXXXXXXXXXXXX~~ \$ XXXXXXXXXXXXXXXX  
~~XXXXXXXXXXXXXXXXXX~~ \$ XXXXXXXXXXXXXXXX

20. \$ XXXXXXXXXXXXXXXX  
21. YEAR 2001 RENEWAL TAX LIABILITY (ENTER COMPUTED TAX OR \$60, WHICHEVER IS GREATER) \$ 955.38  
22. TAX DUE (ADD LINES 20 & 21, IF APPLICABLE) \$ 955.38  
23. \$ XXXXXXXXXXXXXXXX  
24. TOTAL TAX DUE (SUBTRACT LINE 23 FROM LINE 22, IF APPLICABLE) \$ 955.38  
25. PENALTY (IF TAX IS PAID AFTER MARCH 1, 2001, SEE INSTRUCTIONS) \$ -  
26. PRIOR AMOUNT (TAX & PENALTY INTEREST ) (SEE INSTRUCTIONS) \$ -  
27. INTEREST (IF TAX IS PAID AFTER MARCH 1, 2001, SEE INSTRUCTIONS) \$ -  
28. TOTAL AMOUNT DUE (ADD LINES 24, 25, 26 & 27) \$ 955.38  
29. PAYMENT ENCLOSED (PAYMENT METHODS - SEE INSTRUCTIONS) \$ 955.38

30. CREDIT CARD INFORMATION: Expiration Date:  Month  Year OFFICE USE ONLY  
 Visa  Master Card  Discover Amount Charged To Credit Card: \$  
Credit Card No. \_\_\_\_\_ Signature \_\_\_\_\_  
31. DATE BUSINESS MOVED OUT OF OAKLAND MO. DAY YR. PLEASE SEE INSTRUCTIONS  
32. DATE BUSINESS  SOLD OR  DISCONTINUED\* MO. DAY YR.  
33. DESCRIBE BUSINESS ACTIVITY  
34. BUSINESS SOLD TO: NAME ADDRESS OFFICE USE ONLY

\*SEE INSTRUCTIONS

I declare under penalty of perjury that to my knowledge all information contained on this declaration is true and complete.

SIGNED [Signature] TITLE Bookkeeper DATE 2,24,01

PLEASE WRITE ACCOUNT NUMBER ON CHECK MADE PAYABLE TO "OAKLAND BUSINESS TAX"

OFFICE USE ONLY

SUTTER HOTEL  
584 - 14TH STREET  
OAKLAND, CA 94612

US BANK  
24-HOUR BANKING  
1-800-673-3555

90-2267/1211

6729

2/26/2001

PAY TO THE  
ORDER OF OAKLAND BUSINESS TAX

\$ \*\*955.38

Nine Hundred Fifty-Five and 38/100\*\*\*\*\* DOLLARS

OAKLAND BUSINESS TAX  
FILE 72918  
PO BOX 61000  
SAN FRANCISCO, CA 94161-2918



ACCT # 343293 2001 RENEWAL TAX

⑆ 121122676⑆ 153402194093⑆ 6729 ⑆0000095538⑆

BIT TO ACCT OF THE WITHIN NAMED PAYEE LAX 318 0005190  
720-01779121900350 057 7291801 025000 2312136 955.38  
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1455 MARKET SF, CA 34  
02/26/01 00000000000000000000  
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121122676 02272001 4067  
S/T 090 ID 02 PKT 4  
ACCT 17100351060560  
1400778574

**SUTTER HOTEL**  
584 - 14TH STREET  
OAKLAND, CA 94612

**US BANK**  
24-HOUR BANKING  
1-800-673-3555

6441

90-2267/1211

2/27/00

PAY TO THE ORDER OF OAKLAND BUSINESS TAX

\*\*792.31

\$

Seven Hundred Ninety-Two and 31/100\*\*\*\*\*

DOLLARS

OAKLAND BUSINESS TAX  
FILE 72918  
PO BOX 61000  
SAN FRANCISCO, CA 94161-2918



ACCT # 343293 2000 RENEWAL TAX

⑆121122676⑆153402194093⑆6441⑆0000079231⑆

⑆121000358⑆  
1435 MARKET SF, CA 94103  
03/02/00 0000000000 CA40

121000358

121000358

3837.23

121000358

3089 76700

PAY TO THE ORDER OF  
BANK OF AMERICA  
OAKLAND, CA 94614  
⑆121000358⑆  
FOR DEPOSIT ONLY  
CITY OF OAKLAND  
OFFICE OF BUDGET AND FINANCE #0872  
1472001719

121122676 03032000 4472  
S/T 090 ID 03 PRT 4  
ACCT 17108351860569

1505672504

**SUTTER HOTEL**  
584 - 14TH STREET  
OAKLAND, CA 94612

**US BANK**  
24-HOUR BANKING  
1-800-673-3555

6339

90-2267/1211

11/1/99

PAY TO THE  
ORDER OF

OAKLAND BUSINESS TAX

\*\*845.31

\$

Eight Hundred Forty-Five and 31/100\*\*\*\*\*

DOLLARS

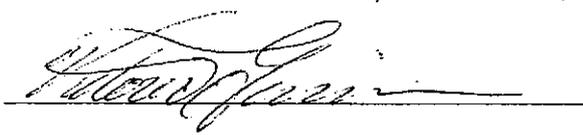
OAKLAND BUSINESS TAX

FILE 72918

PO BOX 61000

SAN FRANCISCO, CA 94161-2918

ACCT # 343293 1999 RENEWAL TAX



⑆121122676⑆153402194093⑆6339 ⑆0000084531⑆

100 10878 498

62210-02219 ⑆ 100

12100358  
CREDIT TO THE ACCOUNT  
OF THE NAMEE PAYEE  
BANK OF AMERICA  
1455 MARKET  
SAN FRANCISCO, CA  
94103  
6198-1

0000000000  
11/01/99 4088  
F 1M 80 0  
0301860500

10207547  
11/05/99 14700179 CA40  
1455 MARKET ST, CA 94  
F1210035843



8808

**SUTTER HOTEL**  
584 - 14TH STREET  
OAKLAND, CA 94612

**U.S. BANK OF CALIFORNIA**  
LAFAYETTE OFFICE  
LAFAYETTE, CALIFORNIA 94549  
90-2267-1211

2/25/98

Y TO THE OAKLAND BUSINESS TAX  
DER OF

\$ \*\*462.00

Four Hundred Sixty-Two and 00/100\*\*\*\*\*

DOLLARS

OAKLAND BUSINESS TAX  
FILE 72918  
PO BOX 61000  
SAN FRANCISCO, CA 94161-2918

MO ACCT # 343293 1998 RENEWAL TAX



MP

⑈008808⑈ ⑆121122676⑆ 904 0007 461⑈ ⑆0000046200⑆

Security features included. Details on back.

ENDORSE HERE

#121000358⑆  
1455 MARKET SF, CA 34  
03/02/98 0000000000 CA40

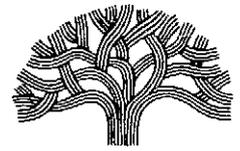
02006581

21122676 03/02/98 4172  
/T 090 ID 01 PKT 2  
ACCT 00008351110900  
1408529771

094 04 1470 00779 060 7291801 010 55 CREDIT TO THE

DO NOT WRITE STAMP OR SIGN BELOW THIS LINE

CITY OF OAKLAND



FINANCIAL SERVICES AGENCY • 150 FRANK H. OGAWA PLAZA • OAKLAND, CALIFORNIA 94612

Revenue Division

(510) 238-2245  
FAX (510) 238-6431  
TDD (510) 839-6451

May 2, 2001

Victoria Garrison  
Sutter Hotel  
PO BOX 5247  
Walnut Creek, CA 94596

**Re: Audit Results TOT - # 003-179-002**

Dear Victoria Garrison:

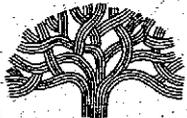
Thank you for the courtesy extended during our recent audit of your financial records. Our examination showed the information submitted on your TOT for the year(s) 1998, 1999, 2000 and 2001 to be substantially correct.

If you have any questions regarding the examination, please contact this office by letter or by telephoning me at (510) 238-7471.

Sincerely,

A handwritten signature in black ink, appearing to read "Shahla Azimi", with a horizontal line drawn through the end of the signature.

Shahla Azimi  
Tax Auditor II



GARY COOK  
TAX AUDITOR II  
REVENUE AUDIT SECTION

(510) 238-7480  
FAX 238-6431  
TDD 839-6451

OGAWA PLAZA, SUITE 5342 • OAKLAND, CALIFORNIA 94612-2093

150 FRANK H. OGAWA PLAZA, 5TH FLOOR, OAKLAND, CA 94612

238-3084  
(510) 238-2245  
FAX: (510) 238-6431  
TDD: (510) 839-6451

April 2, 2001

SUTTER HOTEL  
584 14<sup>th</sup> Street  
Oakland, CA 94612

**RE: Transient Occupancy Tax audit—Sutter Hotel**

Dear Hotel/Motel Operator:

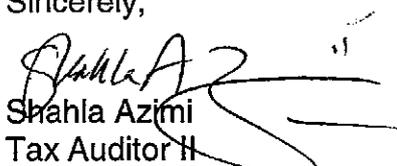
The City of Oakland has implemented a program to exam the records of all Hotels/Motels in the City at least once every three years. Your account is one of those that have been selected for review.

Please contact me at **510/238-7471** by **April 21, 2001**, so that I can make an appointment to meet you or your representative(s) at our office for our examination. Please have the following information available for our review for years **1997, 1998, 1999 and 2000** (year to date):

- ✓ Bank Statements
- N/A TOT Exemption Application(s)
- ✓ Federal Income Tax Returns
- ✓ Daily Cash Sheets
- ✓ Monthly Summaries of Cash Sheets
- Registration Cards
- ✓ Profit & Loss Statements
- N/A Written agreement(s) regarding permanent/long term guest(s) *No Lec*
- Any records that support data on TOT Returns

If you have any questions and/or need additional information, you may call me at the phone number listed above between 9:00 a.m. and 5:00 p.m. Monday through Friday.

Sincerely,

  
Shahla Azimi  
Tax Auditor II



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: December 31, 2010

Must be completed by the hotel Administrator

- MONTHLY      If your previous year's gross rents\* were over \$100,000
- QUARTERLY      If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY      If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms*	\$ <u>46,984.50</u>	
2. Rent for occupancy by non-transient Residents	\$ <u>21,578.50</u>	
2a. Occupancy by transient residents TOT exemptions	\$ <u>-</u>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>25,406.00</u>
4. Tax: 14% of line 3	\$ <u>3556.84</u>	
5. Credit (If previously approved by this office)	\$ <u>-</u>	
6. Net tax (line 4 minus line 5)		\$ <u>3556.84</u>
7. Penalty - 25% for late payment	\$ <u>-</u>	
8. Interest - 1% of tax per month for late payment until paid	\$ <u>-</u>	
9. Payment enclosed - total of lines 6 through 8	\$ <u>3556.84</u>	

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only, No Insurance Coverage Provided)

For delivery information visit our Website at www.usps.com

SPECIAL USE	
Postage	\$ 0.00
Certified Fee	\$ 1.00
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 1.00



San Jo  
City of Oakland - TOT Div.  
Street, Apt. No.  
250 Frank Ogawa Pl. - St #1320  
City, State, Zip  
Oakland, CA 94612-2011

payment and make a copy for your records.

Transient Tax

250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Bring and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No.      Expiration Date

Zip Code of a credit card holder.

Signature: \_\_\_\_\_

7010 2780 0002 2689 0161  
0170 6982 2000 0822 0102

IF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS

TRUE AND CORRECT.  
Signed: [Signature]

Title Bookkeeper Date: 1/1

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: November 30, 2010  
Must be completed by the hotel Administrator

- MONTHLY** If your previous year's gross rents\* were over \$100,000
- QUARTERLY** If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY** If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms*	\$ <u>46,768.00</u>	
2. Rent for occupancy by non-transient Residents	\$ <u>19,400.00</u>	
2a. Occupancy by transient residents TOT exemptions	\$ <u>-</u>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>27,308.00</u>
4. Tax: 14% of line 3	\$ <u>3823.12</u>	
5. Credit (If previously approved by this office)	\$ <u>-</u>	
6. Net tax (line 4 minus line 5)		\$ <u>3823.12</u>
7. Penalty - 25% for late payment		\$ <u>-</u>
8. Interest - 10% of tax		\$ <u>-</u>
9. Total tax		\$ <u>3823.12</u>

7010 2780 0002 2889 0147

US Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only, No Insurance Coverage Provided)  
For delivery information visit www.usps.com

OFFICIAL USE

Postage	\$ 90.44
Certified Fee	\$ 7.90
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 98.34

Sent To: City of Oakland, TOT Div  
Street, Apt. No.: 250 Frank Ogawa Pl. St B20  
City, State, ZIP: Oakland CA 94612-2011

aid  
payment and make a copy for your records.

Occupancy Tax

250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Bring and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_ Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper Date: 12/10

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.





# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: September 30, 2010

Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms\*
2. Rent for occupancy by non-transient Residents
- 2a. Occupancy by transient residents TOT exemptions
3. Taxable rents (line 1 minus lines 2 & 2a)
4. Tax: 14% of line 3
5. Credit (If previously approved by this office)
6. Net tax (line 4 minus line 5)
7. Penalty - 25% for late payment

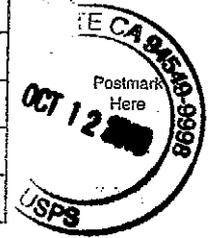
\$ 49,451.00  
 \$ 22,995.00  
 \$ —  
 \$ 3703.84  
 \$ —

\$ 26,456.00  
 \$ 3703.84  
 \$ —  
 \$ 3703.84

7009 2620 0002 4654 5921



Postage	\$	
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	



Sent to: City of Oakland TOT Div.  
 Street, Apt. No.: 250 Frank Ogawa Pl. St. 1320  
 City, State, ZIP+4: Oakland CA 94612-2011

id

Payment and make a copy for your records.

Occupancy Tax

250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Mailing and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper Date: 10/10/10

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: August 31, 2010  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms*	\$ <u>48,820.50</u>	
2. Rent for occupancy by non-transient Residents	\$ <u>29,615.50</u>	
2a. Occupancy by transient residents TOT exemptions	\$ <u>—</u>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>19,205.00</u>
4. Tax: 14% of line 3	\$ <u>2688.70</u>	
5. Credit (If previously approved by this office)	\$ <u>—</u>	
6. Net tax (line 4 minus line 5)		\$ <u>2688.70</u>
7. Penalty - 25% for late payment		\$ <u>—</u>
		\$ <u>2688.70</u>

Bill paid

When payment and make a copy for your records.

Occupancy Tax

on, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_  
Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder.

Signature: \_\_\_\_\_

4165 5914  
7004 2820 0002 4654 2000

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only. No Insurance Coverage Provided)  
For delivery information visit our website at www.usps.com

OAKLAND, CA 94612

Postage	\$ 0.44
Certified Fee	\$ 2.80
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 3.24

0235  
USPS  
Postmark Here  
SEP 10 2010  
LAFAYETTE CA 94501

Sent to  
City of Oakland TOT Rev. Div.  
Street, Apt., P.O.  
250 Frank Ogawa Pl. Suite 1320  
City, State, Zip  
Oakland CA 94612-2011  
See Reverse for Instructions

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signature: \_\_\_\_\_

Title: Bookkeeper

Date: 9/1/10

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: July 31, 2010  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutler Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

### IF MONTHLY

On or before the 10th day following each calendar month

### IF QUARTERLY

On or before the last day of the month following close of each calendar quarter

### IF ANNUALLY

On or before January 31st for previous calendar year

1. Gross rent for occupancy of rooms*	\$ <u>46,187.00</u>	
2. Rent for occupancy by non-transient Residents	\$ <u>26,519.00</u>	
2a. Occupancy by transient residents TOT exemptions	\$ <u>-</u>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>19,668.00</u>
4. Tax: 14% of line 3	\$ <u>2753.52</u>	
5. Credit (If previously approved by this office)	\$ <u>-</u>	
6. Net tax (line 4 minus line 5)		\$ <u>2753.52</u>
7. Penalty - 25% for late payment		\$ <u>-</u>
		\$ <u>2753.52</u>

paid

payment and make a copy for your records.

Occupancy Tax

on, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

owing and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_  
Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder \_\_\_\_\_

Signature: \_\_\_\_\_

7009 2820 0002 4654 5891



Postage	\$ 0.44	0235
Certified Fee	\$ 2.80	
Return Receipt Fee (Endorsement Required)	\$ 0.00	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 3.24	



Sent To: City of Oakland TOT Div.  
 Street, Apt. No.: 250 Frank Ogawa Pl. #1320  
 City, State, ZIP+4: Oakland CA 94612-2011

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper Date: 8/10/10

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: June 30, 2010

Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms*	\$ <u>46,265.00</u>	
2. Rent for occupancy by non-transient Residents	\$ <u>25,081.00</u>	
2a. Occupancy by transient residents TOT exemptions	\$ <del>22,222.00</del>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>21,184.00</u>
4. Tax: 14% of line 3	\$ <u>2965.76</u>	
5. Credit (If previously approved by this office)	\$ <u>-</u>	
6. Net tax (line 4 minus line 5)		\$ <u>2965.76</u>
7. Penalty - 25% for late payment		\$ <u>-</u>
8. Interest - 1% of tax per month for late payment until paid		\$ <u>-</u>
9. Payment enclosed - total of lines 6 through 8		\$ <u>2965.76</u>

Note: Please return completed original return with payment and make a copy for your records.

Please make check payable to: City of Oakland - Transient Occupancy Tax

Mail payment to: City of Oakland, Revenue, Business Tax Section, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

If you choose to pay by credit card, please fill out the following and mail or fax this return to the Business Tax Office at (510) 238-7128.

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS

Title Bookkeeper Date: 7/10/10

FOR OFFICE USE ONLY	

INCOME.

7009 2820 0002 4654 5884

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
*(Domestic Mail Only, No Insurance Coverage Provided)*

For delivery information, visit our website at www.usps.com

**OFFICIAL USE**

Postage	\$ 0.00
Certified Fee	27.85
Return Receipt Fee (Endorsement Required)	43.00
Restricted Delivery Fee (Endorsement Required)	37.00
<b>Total Postage &amp; Fees</b>	<b>\$ 117.85</b>

Postmark: LAURELLE CA 94612 JUL 2 2010

Sent To: City of Oakland TOT DLue  
Street, Apt. No.: Frank Ogawa Plaza Suite 1320  
City, State, ZIP+4: Oakland CA 94612-2011

See Reverse for Instructions



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: May 31, 2010  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms*	\$ <u>43,636-20</u>	
2. Rent for occupancy by non-transient Residents	\$ <u>23,559-20</u>	
2a. Occupancy by transient residents TOT exemptions	\$ <del>20,077-00</del>	\$ <u>20,077-00</u>
3. Taxable rents (line 1 minus lines 2 & 2a)		
4. Tax: 14% of line 3	\$ <u>2810-78</u>	
5. Credit (If previously approved by this office)	\$ <u>—</u>	
6. Net tax (line 4 minus line 5)		\$ <u>2810-78</u>
7. Penalty - 25% for late payment		\$ <u>—</u>
8. Interest - 1% of tax per month for late payment until paid		\$ <u>—</u>
9. Payment enclosed - total of lines 6 through 8		\$ <u>2810-78</u>

Notes:

**Official Service REGISTERED MAIL RECEIPT**  
Mail Only - No Insurance Coverage Provided  
For more information visit our website at www.usps.com  
OAKLAND - CA 94612

payment and make a copy for your records.

Occupancy Tax  
250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.  
Bring and mail or fax this return to the Business Tax Office at  
# \_\_\_\_\_  
Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_  
Zip Code of a credit card holder. \_\_\_\_\_  
Signature: \_\_\_\_\_

7009 2820 0002 46

Postage	\$ 0.44
Certified Fee	\$ 2.80
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 3.24</b>

Postmark Here  
JUN 10 2010  
OAKLAND CA 94612

City of Oakland - TOT Div  
Street, Apt. No. or P.O. Box  
Frank Ogawa Pl # 1320  
City, State, ZIP+4  
Oakland CA 94612-2011

MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS

Signed: [Signature]

Title Bookkeeper Date: 6/10

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: April 30, 2010  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms\* \$ 42,212.00
2. Rent for occupancy by non-transient Residents \$ 25,287.00
- 2a. Occupancy by transient residents TOT exemptions \$ -
3. Taxable rents (line 1 minus lines 2 & 2a) \$ 16,925.00
4. Tax: 14% of line 3 \$ 2369.50
5. Credit (If previously approved by this office) \$ -
6. Net tax (line 4 minus line 5) \$ 2369.50
7. Penalty - 25% for late payment \$ -
8. Interest - 1% of tax per month for late payment until paid \$ -
9. Payment enclosed - total of lines 6 through 8 \$ 2369.50

payment and make a copy for your records.

Occupancy Tax  
250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.  
Bring and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_  
Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_  
Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
Domestic Mail Only. No Insurance Coverage Provided.

For delivery information visit our website at www.usps.com  
OAKLAND CA 94612

Postage	\$ 0.44
Certified Fee	\$ 2.80
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 3.24



Sent To: City of Oakland TOT  
Street Apt. No.: 250 Frank Ogawa Pl. Suite 1320  
City, State, ZIP+4: Oakland CA 94612-2011

THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title: Bookkeeper Date: 5/10/11

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.

9655 4594 2000 0282 6001



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: March 31, 2010  
Must be completed by the hotel Administrator

- MONTHLY** If your previous year's gross rents\* were over \$100,000
- QUARTERLY** If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY** If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

### IF MONTHLY

On or before the 10th day following each calendar month

1. Gross rent for occupancy of rooms\*
2. Rent for occupancy by non-transient Residents
- 2a. Occupancy by transient residents TOT exemptions
3. Taxable rents (line 1 minus lines 2 & 2a)
4. Tax: 14% of line 3
5. Credit (If previously approved by this office)
6. Net tax (line 4 minus line 5)
7. Penalty - 25% for late payment
8. Interest - 1% of tax per month for late payment until paid
9. Payment enclosed - total of lines 6 through 8

### IF QUARTERLY

On or before the last day of the month Following close of each calendar quarter

\$ 47,515.20  
 \$ 26,295.20  
 \$ 0.00  
 \$ 2970.80  
 \$ —

### IF ANNUALLY

On or before January 31st for previous calendar year

\$ 21,220.00  
 \$ 2970.80  
 \$ —  
 \$ —  
 \$ 2970.80

Note: Please return completed original return with payment and make a copy for your records.

Please make check payable to: City of Oakland – Transient Occupancy Tax

Mail payment to: City of Oakland, Revenue, Business Tax Section, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

If you choose to pay by credit card, please fill out the following and mail or fax this return to the Business Tax Office at (510) 238-7128.

# \_\_\_\_\_  
 Credit Card Account No.                      Expiration Date

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

IF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS

Title Bookkeeper                      Date: 4/10/10

FOR OFFICE USE ONLY

TOTAL INCOME. \_\_\_\_\_

7008 1140 0002 3036 4298 9624 9E0E 2000 04TT 8007

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
 (Postage, Mail Only, No Insurance Coverage Provided)  
 For delivery information visit our website at www.usps.com  
 OAKLAND, CA 94612

Postage	\$0.44
Certified Fee	\$2.80
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$3.24</b>

**LAFAYETTE CA**  
 Postmark  
**APR 12 2010**  
 USPS 10

Sent to City of Oakland - TOT Div.  
 Street, Apt. No. 250 Frank Ogawa Pl. #1320  
 City, State, ZIP+4 Oakland CA 94612-2011



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: Feb 28, 2010  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

	IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month Following close of each calendar quarter	IF ANNUALLY On or before January 31st for previous calendar year
1. Gross rent for occupancy of rooms*		\$ <u>41,464.00</u>	
2. Rent for occupancy by non-transient Residents		\$ <u>20,822.00</u>	
2a. Occupancy by transient residents TOT exemptions		\$ <u>-</u>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>2889.88</u>	\$ <u>20,642.00</u>
4. Tax: 14% of line 3		\$ <u>-</u>	
5. Credit (If previously approved by this office)		\$ <u>-</u>	
6. Net tax (line 4 minus line 5)		\$ <u>2889.88</u>	\$ <u>2889.88</u>
7. Penalty - 25% for late payment		\$ <u>-</u>	\$ <u>-</u>
8. Interest - 1% of tax per month for late payment until paid		\$ <u>-</u>	\$ <u>2889.88</u>

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only, No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)  
OAKLAND CA 94612

**OFFICIAL USE**

Postage	\$ 0.44	0235
Certified Fee	\$ 2.80	13
Return Receipt Fee (Endorsement Required)	\$ 0.00	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
<b>Total Postage &amp; Fees</b>	<b>\$ 3.24</b>	

MAR 10 2010  
Postmark Here  
03/10/2010

Sent to: City of Oakland TOT Div.  
City, State, ZIP: 250 Frank Ogawa Pl. St 1320  
Oakland CA 94612-2011

payment and make a copy for your records.

Occupancy Tax

on, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_ Expiration Date \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

7008 1140 0002 3036 4234

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper Date: 3/1/10

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: January 31, 2010

Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms*	\$ <u>42,002.14</u>	
2. Rent for occupancy by non-transient Residents	\$ <u>19,926.14</u>	
2a. Occupancy by transient residents TOT exemptions	\$ <u>—</u>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>22,026.00</u>
4. Tax: 14% of line 3	\$ <u>3083.64</u>	
5. Credit (If previously approved by this office)	\$ <u>—</u>	
6. Net tax (line 4 minus line 5)		\$ <u>3083.64</u>
7. Penalty - 25% for late payment	\$ <u>—</u>	
8. Interest - 1% of tax per month for late payment until paid	\$ <u>—</u>	
9. Payment enclosed - total of lines 6 through 8		\$ <u>3083.64</u>

Note: Please return completed form to:

payment and make a copy for your records.

City of Oakland Business Tax Office  
250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.  
Following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_  
Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS

Signed: [Signature]

Title Bookkeeper Date: 2/10/11

FOR OFFICE USE ONLY	

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.

7006 1140 0002 3036 4229

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only - No Insurance Coverage Provided)  
For delivery information visit our website at www.usps.com  
OAKLAND CA 94612

Postage	\$ 0.44	0235
Certified Fee	\$ 2.80	12
Return Receipt Fee (Endorsement Required)	\$ 0.00	Postmark FEB 10 2010
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 3.24	02/10/2010

Sent to: City of Oakland - TOT DIV.  
Street, Apt. No.: 250 Frank Ogawa Pl. St. 1320  
City, State, ZIP: Oakland, CA 94612-2011

201 Frank H. Ogawa Plaza, Suite 1320  
Oakland, CA 94612



2011 TAX DUE: JANUARY 1, 2011  
DELINQUENT IF PAID OR U.S.  
POSTMARKED AFTER MARCH 1, 2011

Green

Failure to file this declaration by the delinquent date may subject you a \$50 "Failure to File" fee.

2011 RENEWAL TAX

1: ACCOUNT NUMBER: 2275090

2: TAX RATE: \$1.80 per \$1,000

3: INDUSTRY CODE: P

4. Mailing Address

SUTTER HOTEL  
VICTORIA GARRISON  
PO BOX 5247  
WALNUT CREEK, CA 94596-1247

- 4a.  Check this box if you are making corrections on Lines 4-9. See instructions for other changes.
- 4b.  Check this box if you are claiming a Small Business Exemption. Total Gross Receipts must be under \$2,700.00 & you must submit a Form 4506T (<http://www.irs.gov/pub/irs-pdf/t4506t.pdf>). NOTE: Rental properties are not eligible for this exemption.
- 4c.  Check this box if you have discontinued or sold this business or rental property. (You must complete Lines 20 - 22 to close account).
- 4d.  Check this box to request apportionment of your gross receipts. NOTE: Rental properties cannot apportion gross receipts.

5. BUSINESS NAME: SUTTER HOTEL

6. BUSINESS OR RENTAL LOCATION: 584 14TH ST  
OAKLAND, CA 94612-1443

7. BUSINESS PHONE: (510)451-2555

8. CONTACT PHONE:

9. STATE CONTRACTOR'S LICENSE NUMBER:

10. OWNERSHIP TYPE: P

11. OWNER (1): OAKLAND SUTTER HTL

12. OWNER (2):

CALCULATE YOUR 2011 TAX DUE

13. 2011 TAX BASE: (2010 Gross Receipts, rounded up to the next \$1,000, whole dollars):	13. \$ <u>6660,000</u>
14. 2011 TAX DUE: (Multiply Line 13 by .0018 OR enter \$60.00, whichever is grater)	14. \$ <u>1188.</u>
15. PENALTY: (10% of tax if paid between March 2 & May 1, 2011; 25% if paid May 2, 2011 & thereafter):	15. \$ <u>-</u>
16. INTEREST: (1% per month - or fractional part thereof - on tax & penalty, from March 2, 2011 until paid):	16. \$ <u>-</u>
17. PRIOR AMOUNT DUE - Current license may not be issued until paid. See instructions:	17. \$ <u>\$ 0.00</u>
18. TOTAL AMOUNT DUE (Add Lines 14-17) - DO NOT mail cash: - submit 1 (one) check per declaration:	18. \$ <u>1188</u>

Please write your account number on check & make payable to: OAKLAND BUSINESS TAX Check # \_\_\_\_\_

CREDIT CARD INFORMATION:  Visa  Master Card  Discover Expiration Date  Month  Year



Postage	\$ 0.44
Certified Fee	\$ 2.80
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 3.24

c. Cardholder Name: \_\_\_\_\_  
d. Signature: \_\_\_\_\_

ation clearly. Faxed credit card payments are no longer accepted.

Discontinued  Month  Day  Year

rt the total 2011 tax base and pay the 2011 tax, without proration.  
o close account. Check box 4c.

] Month  Day  Year - See instructions (if you will conduct  
pay the tax before account can be closed) Check box 4c.

Address:

contained on this declaration is true and correct.

TITLE: Bookkeeper

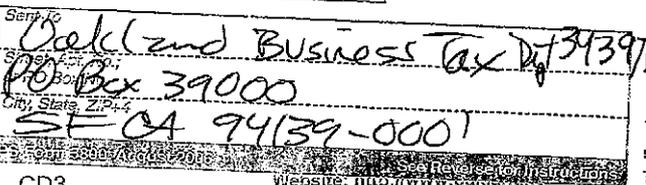
DATE: 2/28/11

s Tax Telephone: (510) 238-3704

ax.html

Email: oaklandbusinesstax@oaklandnet.com

7010 2780 0002 2889 0185



**CITY OF OAKLAND**  
**BUSINESS TAX RENEWAL**

250 Frank H. Ogawa Plaza, Suite 1320  
 Oakland, CA 94612



**2012 BUSINESS TAX DECLARATION**

2012 TAX DUE: JANUARY 1, 2012  
 DELINQUENT IF PAID OR U.S.  
 POSTMARKED AFTER MARCH 1, 2012

**Green**

Failure to file this declaration by the delinquent date may subject you to a \$50 "Failure to File" fee.

**2012 RENEWAL TAX**

1: ACCOUNT NUMBER: 2275090      2: TAX RATE: \$1.80 per \$1,000      3: INDUSTRY CODE: P

4. Mailing Address

SUTTER HOTEL  
 VICTORIA GARRISON  
 PO BOX 5247  
 WALNUT CREEK, CA 94596-1247

5. BUSINESS NAME: SUTTER HOTEL

6. BUSINESS OR RENTAL LOCATION: 584 14TH ST OAKLAND, CA 94612-1443

7. BUSINESS PHONE: (510)451-2555

8. CONTACT PHONE:

9. STATE CONTRACTOR'S LICENSE NUMBER:

10. OWNERSHIP TYPE: Partnership

11. OWNER (1): OAKLAND SUTTER HTL

12. OWNER (2): OAKLAND SUTTER INC

4a.  Check this box if you are making corrections on Lines 4-9. See instructions for other changes.

4b.  Check this box if you are claiming a **Small Business Exemption**. Total Gross Receipts must be under \$2,700.00 & you must submit a **Form 4506T** (<http://www.irs.gov/pub/irs-pdf/t4506t.pdf>). NOTE: This exemption must be claimed before March 1, 2012. Rental property accounts are not eligible for this exemption.

4c.  Check this box if you have discontinued or sold this business or rental property. (you must complete Line 21 to close account)

4d.  Check this box to request apportionment of your gross receipts. NOTE: Rental properties cannot apportion gross receipts.

**CALCULATE YOUR 2012 TAX DUE:**

13. 2012 TAX BASE: (2011 Gross Receipts):	13. \$ <u>825638.51</u>
14. 2012 TAX DUE: (Multiply Line 13 by .0018 OR enter \$60.00, whichever is greater)	14. \$ <u>1486.14</u>
15. PENALTY: (10% of tax if paid between March 2 & May 1, 2012; 25% if paid May 2, 2012 & thereafter):	15. \$ <u>-</u>
16. INTEREST: (1% per month - or fractional part thereof - on tax & penalty, from March 2, 2012 until paid):	16. \$ <u>-</u>
17. PRIOR AMOUNT DUE - Current license may not be issued until paid. See instructions:	17. \$ <u>\$ 0.00</u>
18. IF NOT PAID BY DELINQUENT DATE - ADD \$50.00 FAILURE TO FILE FEE	18. \$ <u>-</u>
	19. \$ <u>1486.14</u>

mail cash: - submit 1 (one) check per declaration:  
 ble to: **OAKLAND BUSINESS TAX**      Check # \_\_\_\_\_

Card  Discover      Expiration Date  Month  Year

c. Cardholder Name: \_\_\_\_\_

d. Signature: \_\_\_\_\_

**ation clearly. Faxed credit card payments are no longer accepted. be processed before March 1, 2012 - see enclosed instructions.**

**ty discontinued? See enclosed instructions.**

Sold to: \_\_\_\_\_

on or before March 1, 2012 to close account and avoid Failure to File Fee.

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**OFFICIAL USE**

Postage	\$ 31.40
Certified Fee	\$ 2.00
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 33.40</b>

Postmark Here: 02/29/2012

Sent To: Oakland Business Tax Dept #130397  
 Street, Apt. No. or P.O. No. Box 39006  
 City, State, ZIP+4 S.F. CA 94139-0001

I declare, under penalty of perjury, that to my knowledge all information contained on this declaration is true and correct.

SIGNED: [Signature]      TITLE: Bookkeeper      DATE: 2/28/12

7011 0470 0002 7590 0676



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: January 31, 2011  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

	IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month following close of each calendar quarter	IF ANNUALLY On or before January 31st for previous calendar year
1. Gross rent for occupancy of rooms*		\$ <u>70,878.00</u>	
2. Rent for occupancy by non-transient residents		\$ <u>33,710.00</u>	
3a. Occupancy by transient residents TOT exemptions		\$ <u>-</u>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>5203.52</u>	\$ <u>37,168.00</u>
4. Tax: 14% of line 3		\$ <u>-</u>	\$ <u>5203.52</u>
5. Credit (If previously approved by this office)		\$ <u>-</u>	\$ <u>-</u>
6. Net tax (line 4 minus line 5)		\$ <u>-</u>	\$ <u>5203.52</u>
7. Penalty - 25% for late payment		\$ <u>-</u>	\$ <u>5203.52</u>

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For delivery information visit our website at [www.usps.com](http://www.usps.com)  
OAKLAND CA 94612

Postage	\$ 10.44	0235
Certified Fee	\$ 2.80	13
Return Receipt Fee (Endorsement Required)	\$ 2.30	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
<b>Total Postage &amp; Fees</b>	<b>\$ 15.54</b>	02/10/2011

Sent To: City of Oakland OT Div.  
Street, Apt. Rm.: 250 Frank Ogawa Pl. St. 1320  
City, State, Zip: Oakland CA 94612-2011

See Reverse for Instructions

7010 2760 0002 2669 0208

til paid

th payment and make a copy for your records.

Occupancy Tax

tion, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bodkeeper Date: 2/10

FOR OFFICE USE ONLY	

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: February 28, 2011  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Suiter Hotel

Account Number: 003-179-002/2275090

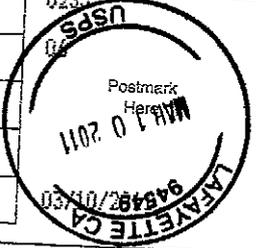
Business Address: 584 14th St

	IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month Following close of each calendar quarter	IF ANNUALLY On or before January 31st for previous calendar year
1. Gross rent for occupancy of rooms*		\$ <u>54,703.00</u>	
2. Rent for occupancy by non-transient residents		\$ <u>26,847.00</u>	
3. Occupancy by transient residents' TOT exemptions		\$ <u>—</u>	\$ <u>27,856.00</u>
4. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>3899.84</u>	
5. Tax: 14% of line 4		\$ <u>—</u>	\$ <u>3899.84</u>
6. Credit (if previously approved by this office)		\$ <u>—</u>	\$ <u>—</u>
7. Net tax (line 4 minus line 5)		\$ <u>—</u>	\$ <u>3899.84</u>
8. Penalty - 25% for late payment		\$ <u>—</u>	\$ <u>—</u>
9. Interest - 1% of tax per month for late payment until paid		\$ <u>—</u>	\$ <u>3899.84</u>

Enclosed - total of lines 6 through 8

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only, No Insurance Coverage Provided)  
For delivery information visit our website at [www.usps.com](http://www.usps.com)  
OAKLAND, CA 94612

Postage	\$ 0.44	0235
Certified Fee	\$ 2.80	00
Return Receipt Fee (Endorsement Required)	\$ 0.00	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
<b>Total Postage &amp; Fees</b>	<b>\$ 3.24</b>	



Sent to City of Oakland TET Div.  
Street, Apt. No. 250 Frank Ogawa Pl. St. 1320  
City, State, Zip Oakland CA 94612-2011

payment and make a copy for your records.

Occupancy Tax

on, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

7010 2780 0002 2684 0215

TRUE AND CORRECT.

Signature: [Handwritten Signature]

Title Bookkeeper Date: 3/10/11

FOR OFFICE USE ONLY	

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: March 31, 2011

Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms*	\$ <u>64,134.00</u>	
2. Rent for occupancy by non-transient Residents	\$ <u>30,902.00</u>	
2a. Occupancy by transient residents' TOT exemptions	\$ <u>—</u>	\$ <u>33,232.00</u>
3. Taxable rents (line 1 minus lines 2 & 2a)		
4. Tax: 14% of line 3	\$ <u>4652.48</u>	
5. Credit (If previously approved by this office)	\$ <u>—</u>	
6. Net tax (line 4 minus line 5)		\$ <u>4652.48</u>
7. Penalty - 25% for late payment	\$ <u>—</u>	
8. Interest - 1% of tax per month for late payment until paid	\$ <u>—</u>	
9. Payment enclosed - total of lines 6 through 8		\$ <u>4652.48</u>

NOTE: Please return completed original return with payment and make a copy for your records.

Please make check payable to: City of Oakland – Transient Occupancy Tax

Mail payment to: City of Oakland, Revenue, Business Tax Section, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

If you choose to pay by credit card, please fill out the following and mail or fax this return to the Business Tax Office at (510) 238-7128.

# \_\_\_\_\_  
Credit Card Account No.      Expiration Date

\_\_\_\_\_  
Zip Code of a credit card holder.

\_\_\_\_\_  
Signature:

BY MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS

Title Bookkeeper      Date: 4/10/11

FOR OFFICE USE ONLY

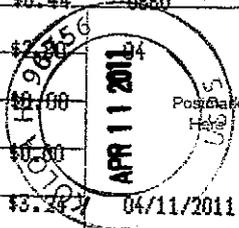
TOTAL INCOME.

7006 1140 0004 3375 2816



OAKLAND, CA 94612  
Postage \$ 10.44 0660

Postage	\$ <u>10.44</u>
Certified Fee	\$ <u>2.95</u>
Restr. Delivery Fee (Endorsement Required)	\$ <u>0.00</u>
Restr. Delivery Fee (Endorsement Required)	\$ <u>0.00</u>
Total Postage & Fees	\$ <u>13.39</u>



City of Oakland TOT Div.  
250 Frank Ogawa Pl. Suite 1320  
Oakland CA 94612-2011



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: April 30, 2011  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

	IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month following close of each calendar quarter	IF ANNUALLY On or before January 31st for previous calendar year
1. Gross rent for occupancy of rooms*		\$ <u>68,101.50</u>	
2. Rent for occupancy by non-transient Residents		\$ <u>33,426.50</u>	
3a. Occupancy by transient residents' TOT exemptions		\$ <del>_____</del>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>4,854.50</u>	\$ <u>34,675.00</u>
4. Tax: 14% of line 3		\$ <u>—</u>	\$ <u>—</u>
5. Credit (If previously approved by this office)		\$ <u>—</u>	\$ <u>—</u>
6. Net tax (line 4 minus line 5)		\$ <u>—</u>	\$ <u>4854.50</u>
7. Penalty - 25% for late payment		\$ <u>—</u>	\$ <u>—</u>
8. Interest - 1% of tax per month for late payment until paid		\$ <u>—</u>	\$ <u>—</u>
			\$ <u>4854.50</u>

ESOT 1852 2000 0470 0002 7587 1052  
7011 0470 0002 7587 1052

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**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

**OFFICIAL USE**

Postage	\$ 0.44	0235
Certified Fee	\$ 2.85	06
Return Receipt Fee (Endorsement Required)	\$ 0.00	05
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	05
<b>Total Postage &amp; Fees</b>	<b>\$ 3.29</b>	05/10/2011

Sent To: City of Oakland - TOT Div.  
Street Apt. No.: 250 Frank Ogawa Pl. Suite 1320  
City/State, ZIP+4: Oakland CA 94612-2011

PS Form 3800, August 2006 See Reverse for Instructions

payment and make a copy for your records.

Occupancy Tax

on, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_ Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signature: [Handwritten Signature]

Title: Bookkeeper Date: 5/10/11

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: May 31, 2011  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

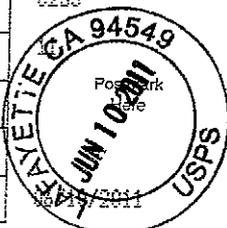
**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms*	\$ <u>54,416.50</u>	
2. Rent for occupancy by non-transient Residents	\$ <u>26,979.50</u>	
3. Occupancy by transient residents' TOT exemptions	\$ <u>          </u>	
4. Taxable rents (line 1 minus lines 2 & 2a)	\$ <u>3841.18</u>	\$ <u>27,437.00</u>
5. Tax: 14% of line 3	\$ <u>          </u>	
6. Credit (If previously approved by this office)	\$ <u>          </u>	\$ <u>3841.18</u>
7. Net tax (line 4 minus line 5)	\$ <u>          </u>	\$ <u>          </u>
8. Penalty - 25% for late payment	\$ <u>          </u>	\$ <u>3841.18</u>



OAKLAND CA 94612

Postage	\$0.44
Certified Fee	\$2.85
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$3.29</b>



paid  
\$  
\$  
\$  
\$  
\$ 3841.18

payment and make a copy for your records.

Occupancy Tax  
on, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.  
Following and mail or fax this return to the Business Tax Office at  
# \_\_\_\_\_  
Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_  
Zip Code of a credit card holder. \_\_\_\_\_  
Signature: \_\_\_\_\_

7010 0290 0000 8149 3453

Sent to City of Oakland - TOT DIV  
Street Apt. No. 250 Frank Ogawa Pl #1320  
City State Zip Oakland CA 94612

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper Date: 6/1/11

FOR OFFICE USE ONLY

\*GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: June 30, 2011  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

- IF MONTHLY  
On or before the 10th day  
following each calendar month
- 1. Gross rent for occupancy of rooms\*
- 2. Rent for occupancy by non-transient residents
- 3. Occupancy by transient residents TOT exemptions
- 4. Taxable rents (line 1 minus lines 2 & 3)
- 5. Tax: 14% of line 4
- 6. Credit (if previously approved by this office)
- 7. Net tax (line 4 minus line 5)
- 8. Penalty - 25% for late payment
- 9. Interest - 1% of tax per month for late payment until paid

IF QUARTERLY  
On or before the last day of the month  
Following close of each calendar quarter

IF ANNUALLY  
On or before January 31st  
for previous calendar year

\$ 61,606.00

\$ 31,015.00

\$ -

\$ 4282.74

\$ -

\$ 30,591.00

\$ 4282.74

\$ -

\$ 4282.74

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)  
For delivery information visit our website at www.usps.com  
OAKLAND, CA 94612  
**OFFICIAL USE**

Postage	\$ 00.44	0345
Certified Fee	\$ 2.85	99
Return Receipt Fee (Endorsement Required)	\$ 0.00	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 03.29	

Sent to: City of Oakland - TOT  
Street, Apt. No.: 250 Frank Ogawa Pl. #1320  
City, State, ZIP: Oakland CA 94612-2011

Postmark Here: 07/11/2011

Payment and make a copy for your records.

Agency Tax

250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Bring and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title: Bookkeeper

Date: 7/10/11

FOR OFFICE USE ONLY

\*GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: July 31, 2011  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

	IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month Following close of each calendar quarter	IF ANNUALLY On or before January 31st for previous calendar year
1. Gross rent for occupancy of rooms*		\$ <u>62,163.50</u>	
2. Rent for occupancy by non-transient Residents		\$ <u>32,498.50</u>	
3. Occupancy by transient residents' TOT exemptions		\$ <u>0</u>	
4. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>4153.10</u>	\$ <u>29,665.00</u>
5. Tax: 14% of line 3		\$ <u>—</u>	\$ <u>4153.10</u>
6. Credit (If previously approved by this office)		\$ <u>—</u>	\$ <u>—</u>
7. Net tax (line 4 minus line 5)		\$ <u>—</u>	\$ <u>4153.10</u>
8. Penalty - 25% for late payment		\$ <u>—</u>	\$ <u>—</u>
9. Interest - 1% of tax per month for late payment until paid		\$ <u>—</u>	\$ <u>—</u>
10. Payment enclosed - total of lines 6 through 8		\$ <u>—</u>	\$ <u>4153.10</u>

Payment and make a copy for your records.

City Tax

250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

ing and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_ Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)  
For delivery information visit our website at [www.usps.com](http://www.usps.com)  
U.S. POSTAGE #4612

Postage	\$ 10.44
Certified Fee	\$ 2.85
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 13.29

OFFICIAL USE

94549  
AUG 10 2011  
USPS

Sent to: City of Oakland - TOT Div  
Street, Apt. No., or P.O. Box No.: 250 Frank Ogawa Pl #1320  
City, State, ZIP+4: Oakland CA 94612-2011

PS Form 3800, August 2006 See Reverse for Instructions.

Signature: [Handwritten Signature]

Title Bookkeeper Date: 8/10/11

FOR OFFICE USE ONLY	

\*GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: August 31, 2011

Must be completed by the hotel Administrator

- IF MONTHLY If your previous year's gross rents\* were over \$100,000
- IF QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- IF ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

	IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month Following close of each calendar quarter	IF ANNUALLY On or before January 31st for previous calendar year
1. Gross rent for occupancy of rooms*		\$ <u>51,787.50</u>	
2. Rent for occupancy by non-transient residents		\$ <u>26,700.50</u>	
3a. Occupancy by transient residents' TOT exemptions		\$ <u>0</u>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>3512.18</u>	\$ <u>25,087.00</u>
4. Tax: 14% of line 3		\$ <u>—</u>	
5. Credit (If previously approved by this office)		\$ <u>—</u>	
6. Net tax (line 4 minus line 5)		\$ <u>—</u>	\$ <u>3512.18</u>

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only, No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OAKLAND CA 94612

**OFFICIAL USE**

Postage	\$ 0.44
Certified Fee	\$ 2.85
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 3.29</b>

Postmark Here: OAKLAND CA 94612 09/12/2011

City of Oakland - TOT Div.  
Street, Apt. No. or Box No. Frank Ogawa Pl. St. 1320  
City, State, ZIP+4 Oakland CA 94612-2011

PS Form 3800, August 2006. See Reverse for Instructions.

paid

payment and make a copy for your records.

Occupancy Tax

at 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Returning and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_  
Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signature: [Signature]

Title: Bookkeeper

Date: 9/10/11

FOR OFFICE USE ONLY	

\*GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: September 30, 2011  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms\*
2. Rent for occupancy by non-transient Residents
- 2a. Occupancy by transient residents' TOT exemptions
3. Taxable rents (line 1 minus lines 2 & 2a)
4. Tax: 14% of line 3
5. Credit (If previously approved by this office)
6. Net tax (line 4 minus line 5)

\$ 55,436.50

\$ 29,292.50

\$ 0

\$ 3660.14

\$ 0

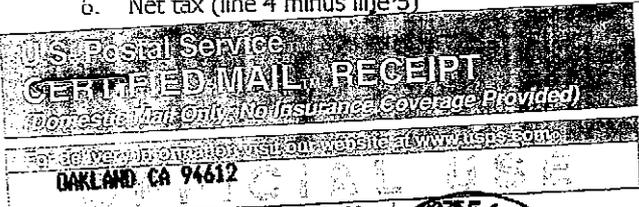
\$ 26,144.00

\$ 0

\$ 0

\$ 0

\$ 3660.14



until paid

with payment and make a copy for your records.

Occupancy Tax

action, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

following and mail or fax this return to the Business Tax Office at

~~\_\_\_\_\_ # \_\_\_\_\_~~

~~Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_~~

~~Zip Code of a credit card holder. \_\_\_\_\_~~

~~Signature: \_\_\_\_\_~~

7010 2780 0003 6717 8984

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: \_\_\_\_\_

Title

Bookkeeper

Date:

10/10/11

FOR OFFICE USE ONLY	

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: October 31, 2011  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms\*
2. Rent for occupancy by non-transient Residents
- 2a. Occupancy by transient residents' TOT exemptions
3. Taxable rents (line 1 minus lines 2 & 2a)
4. Tax: 14% of line 3
5. Credit (If previously approved by this office)
6. Net tax (line 4 minus line 5)
7. Penalty - 25% for late payment
8. Interest - 1% of tax per month for late payment until paid

\$ 57,863.00  
 \$ 30,202.00  
 \$ 0  
 \$ 3872.54  
 \$ 0

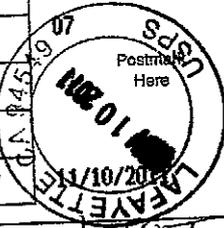
\$ 27,661.00  
 \$ 3872.54  
 \$ 0  
 \$ 0  
 \$ 3872.54

7011 0470 0002 7589 8081

### U.S. Postal Service™ CERTIFIED MAIL™ RECEIPT (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)  
OAKLAND CA 94612

Postage	\$ 0.44	0235
Certified Fee	\$ 2.85	
Return Receipt Fee (Endorsement Required)	\$ 0.00	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 3.29	



Sent via City of Oakland 101 Du  
 Street, Apt. No. or P.O. Box 250 Frank Ogawa Pl #1320  
 City, State, ZIP+4 Oakland CA 94612

th payment and make a copy for your records.

occupancy Tax  
tion, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_ Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_  
 Zip Code of a credit card holder. \_\_\_\_\_  
 Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper Date: 11/16

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: November 30, 2011  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

	IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month Following close of each calendar quarter	IF ANNUALLY On or before January 31st for previous calendar year
1. Gross rent for occupancy of rooms*		\$ <u>56,170.89</u>	
2. Rent for occupancy by non-transient Residents		\$ <u>31,100.89</u>	
2a. Occupancy by transient residents TOT exemptions		\$ <del>25,070.00</del>	\$ <u>25,070.00</u>
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>3509.80</u>	\$ <u>3509.80</u>
4. Tax: 14% of line 3		\$ <u>—</u>	\$ <u>—</u>
5. Credit (If previously approved by this office)		\$ <u>—</u>	\$ <u>—</u>
6. Net tax (line 4 minus line 5)		\$ <u>—</u>	\$ <u>3509.80</u>
7. Penalty - 25% for late payment		\$ <u>—</u>	\$ <u>—</u>
8. Interest - 1% of tax per month for late payment until paid		\$ <u>—</u>	\$ <u>3509.80</u>

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
*(Domestic Mail Only. No Insurance Coverage Provided)*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)  
OAKLAND CA 94612

**OFFICIAL USE**

Postage	\$ 0.44	0235
Certified Fee	\$ 2.85	04
Return Receipt Fee (Endorsement Required)	\$ 0.00	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 3.29	

Postmark Here  
OAKLAND CA 94612  
DEC 12 2011  
USPS

See No. City of Oakland TOT  
Street, Apt. No. or PO Box No. 250 Frank Ogawa Plaza # 1320  
City, State, ZIP+4 Oakland CA 94612-2011

1-800-380-0800 (August 2006) See Reverse for Instructions

payment and make a copy for your records.

Occupancy Tax

on, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper Date: 12/10

FOR OFFICE USE ONLY	

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: December 31, 2011  
Must be completed by the hotel Administ

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day following each calendar month

**IF QUARTERLY**  
On or before the last day of the month Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st for previous calendar year

1. Gross rent for occupancy of rooms\*
2. Rent for occupancy by non-transient Residents
- 2a. Occupancy by transient residents' TOT exemptions
3. Taxable rents (line 1 minus lines 2 & 2a)
4. Tax: -14% of line 3
5. Credit (If previously approved by this office)
6. Net tax (line 4 minus line 5)
7. Penalty - 25% for late payment

\$ 66,936.50  
 \$ 44,162.50  
 \$             
 \$ 3188.36  
 \$           

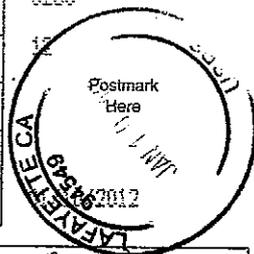
\$ 22,774.00  
 \$ 3188.36  
 \$             
 \$             
 \$ 3188.36

059 2926 2000 0606 0102

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information, visit our website at www.usps.com  
OAKLAND, CA 94612  
**OFFICIAL USE**

Postage	\$ 01.44
Certified Fee	\$ 2.85
Return Receipt Fee (Enclosure Required)	\$ 0.00
Restricted Delivery Fee (Enclosure Required)	\$ 0.00
Total Postage & Fees	\$ 3.29



Send To: City of Oakland TOT Div  
 Street, Apt. No., or PO Box No.: 250 Frank H. Ogawa Pl #1320  
 City, State, ZIP+4: Oakland CA 94612-2011

until paid

with payment and make a copy for your records.

Occupancy Tax  
 action, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.  
 following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_  
 Credit Card Account No.      Expiration Date

Zip Code of a credit card holder.

Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: \_\_\_\_\_

Title Bookkeeper

Date: 1/1

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.

BUSINESS TAX RENEWAL

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland, CA 94612

2013 RENEWAL TAX

pd acc# 90  
2/26/11  
#145448



2013 Tax Due: January 1, 2013  
Delinquent if paid/postmarked after March 1, 2013

OFFICE USE ONLY

ACCOUNT NUMBER: 2275090

TAX RATE: \$1.80 per \$1,000

INDUSTRY CODE: P

PART I. BUSINESS INFORMATION

A. Mailing Address

SUTTER HOTEL  
VICTORIA GARRISON  
PO BOX 5247  
WALNUT CREEK, CA 94596-1247

All Businesses including non-profits, rentals, small business exemptions, apportionments and out of town business are subject to the \$1.00 SB 1186 State Mandated Fee.†

Check the following box(es) if you are:

- 48 Before making changes in Lines 4-11, see instructions.
- 49 Claiming a Small Business Exemption (only for businesses with less than \$500,000 gross & you MUST submit Form 4420 by March 1, 2013 - otherwise you will be subject to the fee).
- 50 Discontinue/sold your business or rental property. Be sure to also complete Part III below.
- 51 Purchasing apportionment of your gross receipts (Only Industry Codes B, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z).

B. Business Name:

SUTTER HOTEL

C. Business Location:

584 14TH ST OAKLAND, CA 94612-1443

D. Business Phone Number:

(510)451-2555

E. Alternate Phone Number:

(510)451-2555

F. State Contractors License Number:

G. Ownership Type:

P

H. Tax Owner's Name:

OAKLAND SUTTER HTL

I. 2nd Owner's Name:

OAKLAND SUTTER INC

PART II. CALCULATE THE 2013 TAX AND 2012 TAXES DUE. (to calculate the tax, multiply Line 13 by .0018 OR enter \$60.00, whichever is greater):

PENALTY & INTEREST IS DUE IF PAID AFTER MARCH 1, 2013

Postal Service  
CERTIFIED MAIL<sup>®</sup> RETURN RECEIPT<sup>®</sup> SERVICE  
Reserve Mail Only. No Insurance.  
Get delivery information visit our website  
www.usps.com

OFFICIAL

Postage \$ 10.35  
Certified Fee \$ 3.00  
Return Receipt Fee (Endorsement Required) \$ 0.00  
Restricted Delivery Fee (Endorsement Required) \$ 0.00  
Total Postage & Fees \$ 13.35

7012 1640 666

Certified Mail:

- A mailing reb OR enter \$60.00:
- A unique id
- A record of

Important Ref:

- Certified Mail
- Certified Mail
- NO INSUR
- For an add
- For an ad
- If a postma

1	\$	807,493
2	\$	1453,48
3	\$	-
4	\$	-
5	\$	-
6	\$	-
7	\$	-
8	\$	-
9	\$	1.00
10	\$	1454,48

Penalty and Interest  
ADD 5% per year delay  
ADD 20% and 21.2% on  
ADD 1% if paid after 2/28/13  
Plus  
Interest (noted separately)  
ADD the amount  
from 3/2/2013 until paid

Statewide mail, or other  
or Declaration, made payable  
to the State of California

Sent To  
City of Oakland Bus  
Street, Apt. No.  
or PO Box No. Box 39000  
City, State ZIP+4  
CA 94139-  
PS Form 3800, August 2010

Was this business or rental property sold or the activity permanently discontinued?  
in Part I and penalty and interest payment. Check Box 49 (above) and complete line 1 or 2, below.

IMPORTANT:  
PS Form 3800, I  
1 1  
1 1

To close the account and avoid the \$50 Failure to File Fee, this declaration must be completed, signed and returned, with payment that is due, on or before March 1, 2013

Signature: *[Signature]* PHONE: (925) 933-5300 DATE: 2/26/11

CREDIT CARD INFORMATION:  Visa  MasterCard  Discover Expiration Date:  Month  Year

1. Amount larger to Credit Card  
2. Amount larger to Cash  
3. Amount larger to both  
Signature: \_\_\_\_\_



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: December 31, 2012  
Must be completed by the hotel Admini

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

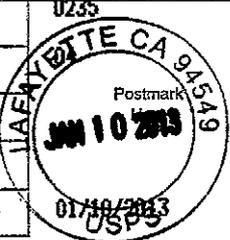
	IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month Following close of each calendar quarter	IF ANNUALLY On or before January 31st for previous calendar year
1. Gross rent for occupancy of rooms*		\$ <u>66,439.00</u>	
2. Rent for occupancy by non-transient Residents		\$ <u>34,150.00</u>	
2a. Occupancy by transient residents' TOT exemptions		\$ <u>—</u>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>4520.46</u>	\$ <u>32,289.00</u>
4. Tax: 14% of line 3		\$ <u>—</u>	\$ <u>—</u>
5. Credit (if previously approved by this office)		\$ <u>—</u>	\$ <u>—</u>
6. Net tax (line 4 minus line 5)		\$ <u>—</u>	\$ <u>4520.46</u>
7. Penalty - 25% for late payment		\$ <u>—</u>	\$ <u>—</u>
8. Interest - 1% of tax per month for late payment until paid		\$ <u>—</u>	\$ <u>—</u>
9. Payment enclosed - total of lines 6 through 8		\$ <u>—</u>	\$ <u>4520.46</u>

7012 2210 0001 7259 2986

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only - No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com  
OAKLAND CA 94612

Postage	\$ 02.45	0235
Certified Fee	\$ 2.95	
Return Receipt Fee (Endorsement Required)	\$ 0.00	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 3.40	



City of Oakland TO T Div.  
Frank H. Ogawa Pl Suite 1320  
Oakland CA 94612-2011

PS Form 3800, August 2006 See Reverse for Instructions

I with payment and make a copy for your records.

Transient Occupancy Tax

Section, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

the following and mail or fax this return to the Business Tax Office at

number \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

Signed:

Title Bookkeeper Date: 1/1

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: November 30, 2012

Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms*	\$ <u>64,696.50</u>	
2. Rent for occupancy by non-transient Residents	\$ <u>37,355.50</u>	
2a. Occupancy by transient residents' TOT exemptions	\$ <u>-</u>	
3. Taxable rents (line 1 minus lines 2 & 2a)	\$ <u>3827.74</u>	\$ <u>27,341</u>
4. Tax: 14% of line 3	\$ <u>-</u>	
5. Credit (If previously approved by this office)	\$ <u>-</u>	
6. Net tax (line 4 minus line 5)	\$ <u>3827.74</u>	\$ <u>3827.74</u>
7. Penalty - 25% for late payment	\$ <u>-</u>	
8. Interest - 1% of tax per month for late payment until paid	\$ <u>-</u>	
9. Payment enclosed - total of lines 6 through 8	\$ <u>3827.74</u>	\$ <u>3827.74</u>

**NOTE: Please return completed original return with payment and make a copy for your records.**

Please make check payable to: City of Oakland - Transient Occupancy Tax

action, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.  
following and mail or fax this return to the Business Tax Office at

or # \_\_\_\_\_  
 Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_  
 Zip Code of a credit card holder. \_\_\_\_\_  
 Signature: \_\_\_\_\_

BY MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS

Title 12/9/12 Bookkeeper Date: \_\_\_\_\_

FOR OFFICE USE ONLY

ET29 9522 1000 0122 2104

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com  
OAKLAND, CA 94612  
**OFFICIAL USE**

Postage	\$ <b>00.45</b>
Certified Fee	\$ <b>2.95</b>
Return Receipt Fee (Endorsement Required)	\$ <b>0.00</b>
Restricted Delivery Fee (Endorsement Required)	\$ <b>0.00</b>
<b>Total Postage &amp; Fees</b>	\$ <b>03.40</b>



See No. City of Oakland TOT DW  
 Street, Apt. No. or PO Box No. 250 Frank Ogawa Pl. 1320  
 City, State, ZIP+4 Oakland CA 94612  
 PS Form 3800, August 2008 See Reverse for Instructions

\*GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: October 31, 2012

Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

	IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month Following close of each calendar quarter	IF ANNUALLY On or before January 31st for previous calendar year
1. Gross rent for occupancy of rooms*		\$ <u>56,606</u>	
2. Rent for occupancy by non-transient Residents		\$ <u>30,299</u>	
2a. Occupancy by transient residents TOT exemptions		\$ <u>0</u>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>3682.99</u>	\$ <u>26,307</u>
4. Tax: 14% of line 3		\$ <u>515.62</u>	
5. Credit (If previously approved by this office)		\$ <u>0</u>	
6. Net tax (line 4 minus line 5)		\$ <u>515.62</u>	\$ <u>3682.98</u>
7. Penalty - 25% for late payment		\$ <u>0</u>	\$ <u>0</u>
		\$ <u>515.62</u>	\$ <u>3682.98</u>

\*Gross rents include all taxes, fees, and charges per month for late payment until paid

7012 2210 0001 7257 6467

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only. No Insurance Coverage Provided)  
For delivery information visit our website at [www.usps.com](http://www.usps.com)  
OAKLAND, CA 94612

	Amount	Postmark
Postage	\$ 40.45	0235
Certified Fee	\$ 2.95	06
Return Receipt Fee (Endorsement Required)	\$ 0.00	NOV 13 2012
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	11/13/2012
Total Postage & Fees	\$ 43.40	

payment and make a copy for your records.

Official Use

1, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

owing and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

Sent To: City of Oakland TUT Div.  
Street, Apt. No. or PO Box No.: 250 Frank Ogawa Pl #1320  
City, State, ZIP+4: Oakland CA 94612

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper Date: 11/16

FOR OFFICE USE ONLY	

\*GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: September 30, 2012  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

	IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month Following close of each calendar quarter	IF ANNUALLY On or before January 31st for previous calendar year
1. Gross rent for occupancy of rooms*		\$ <u>48,408.60</u>	
2. Rent for occupancy by non-transient Residents		\$ <u>31,129.60</u>	
2a. Occupancy by transient residents' TOT exemptions		\$ <u>—</u>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>2419.06</u>	\$ <u>17,279.00</u>
4. Tax: 14% of line 3		\$ <u>—</u>	\$ <u>—</u>
5. Credit (If previously approved by this office)		\$ <u>—</u>	\$ <u>—</u>
6. Net tax (line 4 minus line 5)		\$ <u>—</u>	\$ <u>2419.06</u>
7. Penalty - 25% for late payment		\$ <u>—</u>	\$ <u>—</u>
8. Interest - 1% of tax per month for late payment until paid		\$ <u>—</u>	\$ <u>—</u>
9. Payment enclosed - total of lines 6 through 8		\$ <u>—</u>	\$ <u>2419.06</u>

7012 0470 0002 3364 806J

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

**OFFICIAL USE**

Postage	\$ 30.40
Certified Fee	\$ 2.75
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 33.40</b>

Postmark Here  
**OCT 10 2012**  
 CA 94612  
 10/10/2012  
 USPS

Sent to: City of Oakland TOT Div.  
 Street/ Apt. No.: 250 Frank H Ogawa Pl # 1320  
 City, State, ZIP+4: Oakland CA 94612

PS Form 3800, August 2006 See Reverse for Instructions  
 MAKE AND CORRECT

with payment and make a copy for your records.

Occupancy Tax

Section, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

Signed:

Title

Bookkeeper

Date: 10/11

FOR OFFICE USE ONLY

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\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: August 31, 2012  
 Must be completed by the hotel Adminis

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
 On or before the 10th day  
 following each calendar month

**IF QUARTERLY**  
 On or before the last day of the month  
 Following close of each calendar quarter

**IF ANNUALLY**  
 On or before January 31st  
 for previous calendar year

- 1. Gross rent for occupancy of rooms\*
- 2. Rent for occupancy by non-transient Residents
- 3. Occupancy by transient residents TOT exemptions
- 4. Taxable rents (line 1 minus lines 2 & 2a)
- 5. Tax: 14% of line 3
- 6. Credit (if previously approved by this office)

\$ 58,059.50  
 \$ 43,053.50  
 \$ 0  
 \$ 2100.84  
 \$ 0

\$ 15,006.00  
 \$ 2100.84  
 \$ 0  
 \$ 0  
 \$ 2100.84

7012 0470 0002 3368 6001

**U.S. Postal Service**  
**CERTIFIED MAIL™ RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)  
 For delivery information visit our website at www.usps.com  
 OAKLAND CA 94612  
**OFFICIAL USE**

Postage	\$ 00.45
Certified Fee	\$ 2.95
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 3.40</b>



I paid

h payment and make a copy for your records.

cupancy Tax

ion, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

llowing and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

Sent to City of Oakland TOT Div.

Street, Apt. No., or PO Box No. 250 Frank Ogawa #1320

City, State, ZIP+4 Oakland CA 94612-2011

PS Form 3800, August 2006 See Reverse for Instructions

Amount charged to credit card: \$ \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper

Date: 9/11

FOR OFFICE USE ONLY

--	--

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: July 31, 2012  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutner Hotel  
Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day following each calendar month

**IF QUARTERLY**  
On or before the last day of the month following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st for previous calendar year

- 1. Gross rent for occupancy of rooms\*
- 2. Rent for occupancy by non-transient Residents
- 3a. Occupancy by transient residents' TOT exemptions
- 4. Taxable rents (line 1 minus lines 2 & 3a)
- 5. Tax: 14% of line 4
- 6. Credit (if previously approved by this office)
- 7. Net tax (line 5 minus line 6)
- 8. Penalty - 25% for late payment
- 9. Interest - 1% of tax per month for late payment until paid

\$ 59,204.00  
 \$ 44,062.00  
 \$ 0  
 \$ 2128.28  
 \$ 0

\$ 15,202.00  
 \$ 2128.28  
 \$ 0  
 \$ 0  
 \$ 2128.28



with payment and make a copy for your records.

Occupancy Tax

tion, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

6996 EECT 0000 0710 TT07

Postage	\$ 01.45	0235
Certified Fee	\$ 2.95	11
Return Receipt Fee (Endorsement Required)	\$ 0.00	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 43.40	08/10/2012

Sent to City of Oakland TOT Div  
 Street, Apt. No. or PO Box No. 250 Frank Ogawa Pl. #1320  
 City, State, ZIP+4 Oakland CA 94612-1011

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signature: [Handwritten Signature]

Title Bookkeeper

Date: 8/9

FOR OFFICE USE ONLY	

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: June 30, 2012  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

- 1. Gross rent for occupancy of rooms\*
- 2. Rent for occupancy by non-transient Residents
- 2a. Occupancy by transient residents TOT exemptions
- 3. Taxable rents (line 1 minus lines 2 & 2a)
- 4. Tax: 14% of line 3

\$ 60,546.50  
 \$ 46,495.60  
 \$             
 \$ 1967.14  
 \$           

\$ 14,051.00  
 \$ 1967.14  
 \$             
 \$             
 \$ 1967.14



Postage	\$	3.40
Certified Fee	\$	0.00
Return Receipt Fee (Endorsement Required)	\$	0.00
Restricted Delivery Fee (Endorsement Required)	\$	0.00
Total Postage & Fees	\$	3.40



Sent to: City of Oakland TOT Dept  
 Street, Apt. No. or PO Box No.: 250 Frank Ogawa Plaza Suite 1320  
 City, State, ZIP+4: Oakland CA 94612 2012

il paid

h payment and make a copy for your records.

ccupancy Tax

ion, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

ollowing and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

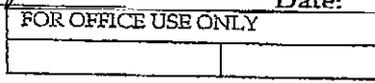
AMOUNT charged to credit card: \$ \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper

Date: 7/11



\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: May 31, 2012

Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

IF MONTHLY  
On or before the 10th day following each calendar month

IF QUARTERLY  
On or before the last day of the month following close of each calendar quarter

IF ANNUALLY  
On or before January 31st for previous calendar year

1. Gross rent for occupancy of rooms\*
2. Rent for occupancy by non-transient Residents
- 2a. Occupancy by transient residents' TOT exemptions
3. Taxable rents (line 1 minus lines 2 & 2a)
4. Tax: 14% of line 3
5. Credit (if previously approved by this office)
6. Net tax (line 4 minus line 5)

\$ 67,133.50  
 \$ 47,733.50  
 \$ 0  
 \$ 2716.00  
 \$ -

\$ 19,400.00  
 \$ 2716.00  
 \$ -  
 \$ 2716.00

7010 1670 0002 2857 6442

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
 (Domestic Mail Only - No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)  
 OAKLAND, CA 94612

**OFFICIAL USE**

Postage	\$ 00.45	0235
Certified Fee	\$ 2.95	12
Return Receipt Fee (Endorsement Required)	\$ 0.00	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	04/11/2012
Total Postage & Fees	\$ 3.40	

Sent To: City of Oakland - TOT DV  
 Street Apt. No. or PO Box: 250 Frank Ogawa Pl. St. 1320  
 City, State, ZIP+4: Oakland CA 94612-2011

paid

payment and make a copy for your records.

Occupancy Tax

on, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title: Bookkeeper Date: 6/11/12

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: April 30, 2012  
Must be completed by the hotel Adminis

- MONTHLY** If your previous year's gross rents\* were over \$100,000
- QUARTERLY** If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY** If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

- IF MONTHLY**  
On or before the 10th day following each calendar month
- Gross rent for occupancy of rooms\*
  - Rent for occupancy by non-transient Residents
  - Occupancy by transient residents' TOT exemptions
  - Taxable rents (line 1 minus lines 2 & 2a)
  - Tax: 14% of line 3
  - Credit (If previously approved by this office)
  - Net tax (line 4 minus line 5)
  - Penalty - 25% for late payment

**IF QUARTERLY**  
On or before the last day of the month following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st for previous calendar year

\$ 52,585.50  
 \$ 38,984.50  
 \$ 0  
 \$ 1904.14  
 \$ —

\$ 13,601  
 \$ 1904.14  
 \$ —  
 \$ 1904.14

until paid

with payment and make a copy for your records.

Occupancy Tax

tion, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

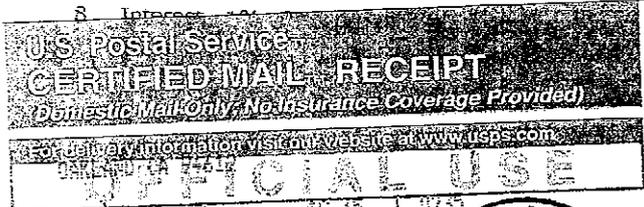
Following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_



7010 1870 0002 2857 6435

Postage	\$ 30.45
Certified Fee	\$ 1.95
Return Receipt Fee (Endorsement Required)	\$ 0.30
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 32.70



Sent to City of Oakland - TOT Rev. Div.

Street, Apt. No. or P.O. Box 250 Frank Ogawa Pl. #1320

City, State, ZIP+4 Oakland CA 94612-2011

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper

Date: 5/19

FOR OFFICE USE ONLY	

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: March 31, 2012

Must be completed by the hotel Adminis

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms\*
2. Rent for occupancy by non-transient Residents
- 2a. Occupancy by transient residents' TOT exemptions
3. Taxable rents (line 1 minus lines 2 & 2a)
4. Tax: 14% of line 3
5. Credit (If previously approved by this office)
6. Net tax (line 4 minus line 5)

\$ 65,559.50  
 \$ 50,012.50  
 \$             
 \$ 2176.58  
 \$           

\$ 15,547  
 \$ 2176.58  
 \$             
 \$             
 \$ 2176.58

Il paid

h payment and make a copy for your records.

ccupancy Tax

tion, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

llowing and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_  
Credit Card Account No.      Expiration Date

Zip Code of a credit card holder.

Signature: \_\_\_\_\_

7011 0470 0002 7590 0692

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
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For delivery information visit our website at www.usps.com  
OFFICIAL USE

Postage	\$	\$0.45
Certified Fee		\$2.95
Return Receipt Fee (Endorsement Required)		\$0.00
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$3.40



Sent to: City of Oakland - TOT Div.  
 Street, Apt. No.: \_\_\_\_\_  
 or P.O. Box No.: 250 Frank Ogawa Pl #1320  
 City, State, ZIP+4: Oakland CA 94612-2011

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper

Date: 4/1

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: February 2012  
Must be completed by the hotel Administrator

- MONTHLY** If your previous year's gross rents\* were over \$100,000
- QUARTERLY** If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY** If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

- IF MONTHLY**  
On or before the 10th day following each calendar month
- Gross rent for occupancy of rooms\*
  - Rent for occupancy by non-transient Residents
  - Occupancy by transient residents' TOT exemptions
  - Taxable rents (line 1 minus lines 2 & 2a)
  - Tax: 14% of line 3
  - Credit (If previously approved by this office)
  - Net tax (line 4 minus line 5)
  - Penalty - 25% for late payment
  - Interest - 1% of tax per month for late payment until paid

**IF QUARTERLY**  
On or before the last day of the month following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st for previous calendar year

\$	<u>6,888.00</u>	
\$	<u>18,075.00</u>	
\$	<u>          </u>	
\$	<u>1,849.82</u>	\$ <u>13,213.00</u>
\$	<u>          </u>	
\$	<u>1,849.82</u>	
\$	<u>          </u>	
\$	<u>1,849.82</u>	

0685 7590 0002 0470 2011

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only. No Insurance Coverage Provided)  
For delivery information visit our website at www.usps.com  
OAKLAND CA 94612  
**OFFICIAL USE**

Postage	\$ 00.45	0103-
Certified Fee	\$ 2.95	20
Return Receipt Fee (Endorsement Required)	\$ 0.00	MAR 10 2012 Postage Here
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 3.40	03/12/2012

Sent To: City of Oakland - TOT Dept  
Street, Apt. No. or P.O. No.: 250 Frank Ogawa Pl. St. 1320  
City, State, ZIP+4: Oakland CA 94612-2011  
See Reverse for Instructions

with payment and make a copy for your records.

Occupancy Tax  
Section, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.  
following and mail or fax this return to the Business Tax Office at  
# \_\_\_\_\_  
Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_  
Zip Code of a credit card holder. \_\_\_\_\_  
Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Revenue Date: 3/1

FOR OFFICE USE ONLY	

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: January 31, 2012  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

	IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month Following close of each calendar quarter	IF ANNUALLY On or before January 31st for previous calendar year
1. Gross rent for occupancy of rooms*		\$ <u>57,995.00</u>	
2. Rent for occupancy by non-transient Residents		\$ <u>40,820.00</u>	
2a. Occupancy by transient residents' TOT exemptions		\$ <u>0</u>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>2404.50</u>	\$ <u>17,175.00</u>
4. Tax: 14% of line 3		\$ <u>0</u>	
5. Credit (If previously approved by this office)		\$ <u>0</u>	
6. Net tax (line 4 minus line 5)			\$ <u>2404.50</u>
7. Penalty: 25% for late payment			\$ <u>0</u>
			\$ <u>2404.50</u>

If paid

th payment and make a copy for your records.

Occupancy Tax

tion, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

allowing and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

7011 0470 0002 7589 5028



OAKLAND CA 94612 OFFICIAL USE

Postage	\$ 00.45	0235 OAKLAND CA 94612 FEB 19 2012 USPS 02/19/2012
Certified Fee	\$ 2.95	
Return Receipt Fee (Endorsement Required)	\$ 0.00	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 3.40	

Sent to City of Oakland - TOT DIV

Street, Apt. No. 250 Frank Ogawa Pl #1320

City, State, ZIP+4 Oakland CA 94612-2011

PS Form 3800 August 2009 See Reverse for Instructions

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper Date: 2/11

FOR OFFICE USE ONLY	

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: January 31, 2013  
Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

	IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month Following close of each calendar quarter	IF ANNUALLY On or before January 31st for previous calendar year
1. Gross rent for occupancy of rooms*		\$ <u>68,063.50</u>	
2. Rent for occupancy by non-transient Residents		\$ <u>39,785.50</u>	
2a. Occupancy by transient residents' TOT exemptions		\$ <u>          </u>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>3958.92</u>	\$ <u>28,278.00</u>
4. Tax: 14% of line 3		\$ <u>          </u>	
5. Credit (If previously approved by this office)		\$ <u>          </u>	
6. Net tax (line 4 minus line 5)			\$ <u>3958.92</u>
7. Penalty - 25% for late payment			\$ <u>          </u>
8. Interest - 1% of tax per month for late payment until paid			\$ <u>          </u>
			\$ <u>3958.92</u>

7012 3050 0000 5623 7955  
5623 7955 0000 0506 2707

**U.S. Postal Service**  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)  
OAKLAND, CA 94612

Postage	\$ 00.46	
Certified Fee	\$ 3.10	
Return Receipt Fee (Endorsement Required)	\$ 0.00	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 03.56	

City of Oakland, TOT Div.  
250 Frank Ogawa Pl. #1320  
Oakland CA 94612-2011

PS Form 3800, August 2006 See Reverse for Instructions

in payment and make a copy for your records.

Occupancy Tax

tion, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper Date: 2/1

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: Feb 28, 2013

Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms\* \$ 66,223
2. Rent for occupancy by non-transient Residents \$ 41,465
- 2a. Occupancy by transient residents TOT exemptions \$ —
3. Taxable rents (line 1 minus lines 2 & 2a) \$ 3466.12
4. Tax: 14% of line 3 \$ —
5. Credit (If previously approved by this office) \$ —
6. Net tax (line 4 minus line 5) \$ —
7. Penalty - 25% for late payment \$ —
8. Interest - 1% of tax per month for late payment until paid \$ —

\$ 66,223  
\$ 41,465  
\$ —  
\$ 3466.12  
\$ —

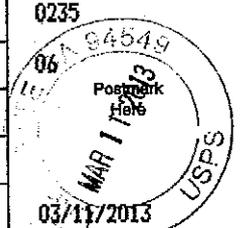
\$ 24,758  
\$ 3466.12  
\$ —  
\$ —  
\$ 3466.12

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

OAKLAND CA 94612  
**OFFICIAL USE**

Postage	\$ 0.46
Certified Fee	\$ 3.10
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 3.56



payment and make a copy for your records.

Occupancy Tax  
on, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

7012 0470 0002 3364 9716

Sent to City of Oakland TOT PW  
Street, Apt No. or PO Box No. 250 Frank Ogawa Pl #1320  
City, State, ZIP+4 Oakland CA 94612-0011

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper

Date: 3/10/13

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: March 31, 2013

Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms\*
2. Rent for occupancy by non-transient Residents
- 2a. Occupancy by transient residents TOT exemptions
3. Taxable rents (line 1 minus lines 2 & 2a)
4. Tax: 14% of line 3
5. Credit (If previously approved by this office)
6. Net tax (line 4 minus line 5)
7. Penalty - 25% for late payment
8. Interest - 1% of tax per month for late payment until paid
9. Payment enclosed - total of lines 6 through 8

\$ 63,895.50  
 \$ 37,304.50  
 \$             
 \$ 3722.46  
 \$           

\$ 26,589.00  
 \$ 3722.46  
 \$             
 \$             
 \$ 3722.46

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

OAKLAND CA 94612

Postage	\$ 40.46
Certified Fee	\$ 3.10
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 43.56

Postmark Here  
**APR 10 2013**  
 WALNUT CREEK CA 94598-9986  
 04/10/2013  
 USPS

Sent to: City of Oakland TOT DN.  
 Street, Apt. No. or PO Box: 250 Frank Ogawa Pl. #1320  
 City, State, ZIP+4: Oakland CA 94612-2011

PS Form 3800, August 2006 See Reverse for Instructions

1 payment and make a copy for your records.

Occupancy Tax

on, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

IF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS

Signed: \_\_\_\_\_

*[Handwritten Signature]*

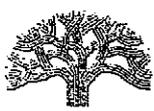
Title Bookkeeper

Date: 4/16

FOR OFFICE USE ONLY	

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.

7012 2920 0001 1744 8590



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: April 30, 2013

Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms*	\$ <u>72,675.00</u>	
2. Rent for occupancy by non-transient Residents	\$ <u>46,643.00</u>	
2a. Occupancy by transient residents' TOT exemptions	\$ <u>—</u>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>26,032.00</u>
4. Tax: 14% of line 3	\$ <u>3644.48</u>	
5. Credit (If previously approved by this office)	\$ <u>—</u>	
6. Net tax (line 4 minus line 5)		\$ <u>3644.48</u>
7. Penalty - 25% for late payment		\$ <u>—</u>

aid

payment and make a copy for your records.

Occupancy Tax

on, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

owing and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

7012 1640 0000 6678 3917

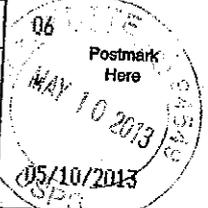
**U.S. Postal Service™**  
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For delivery information visit our website at [www.usps.com](http://www.usps.com)

OAKLAND, CA 94612

**OFFICIAL USE**

Postage	\$ 0.46	0235
Certified Fee	\$ 3.10	
Return Receipt Fee (Endorsement Required)	\$ 0.00	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
<b>Total Postage &amp; Fees</b>	<b>\$ 3.56</b>	



Sent to City of Oakland TOT DM

Street, Apt. No. or P.O. Box No. 250 Frank H. Ogawa Plaza #1320

City, State, Zip+4 Oakland CA 94612-2010

PS Form 3800, August 2006 See Reverse for Instructions

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper

Date: 5/10/13

FOR OFFICE USE ONLY

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\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: May 31, 2013

Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms*	\$ <u>76,016.00</u>	
2. Rent for occupancy by non-transient Residents	\$ <u>45,883.00</u>	
2a. Occupancy by transient residents TOT exemptions	\$ <u>—</u>	
3. Taxable rents (line 1 minus lines 2 & 2a)		\$ <u>30,133.00</u>
4. Tax: 14% of line 3	\$ <u>4218.62</u>	
5. Credit (If previously approved by this office)	\$ <u>—</u>	
6. Net tax (line 4 minus line 5)		\$ <u>4218.62</u>
7. Penalty - 25% for late payment		\$ <u>—</u>
8. Interest - 1% of tax per month for late payment until paid		\$ <u>—</u>
9. Payment enclosed - total of lines 6 through 8		\$ <u>4218.62</u>

7012 1640 0000 6618 2750

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only. No Insurance Coverage Provided)

OFFICIAL USE	
Postage	\$ 45.88
Certified Fee	\$ 3.00
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted-Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 48.88



Sent to: City of Oakland - TOT DIV  
Street, Apt. No.: 250 Frank Ogawa Pl. St 1320  
City, State, ZIP: Oakland, CA 94612-2011

Payment and make a copy for your records.

City Tax

250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Bring and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

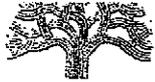
Signed:

MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS

Title Bookkeeper Date: 6/10

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: June 30, 2013

Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

IF MONTHLY  
On or before the 10th day  
following each calendar month

IF QUARTERLY  
On or before the last day of the month  
Following close of each calendar quarter

IF ANNUALLY  
On or before January 31st  
for previous calendar year

- 1. Gross rent for occupancy of rooms\*
- 2. Rent for occupancy by non-transient Residents
- 2a. Occupancy by transient residents' TOT exemptions
- 3. Taxable rents (line 1 minus lines 2 & 2a)
- 4. Tax: 14% of line 3
- 5. Credit (If previously approved by this office)
- 6. Net tax (line 4 minus line 5)

\$ 60,281.00

\$ 31,419.00

\$ —

\$ 4040.68

\$ —

\$ 28,862.00

\$ 4040.68

\$ —

\$ —

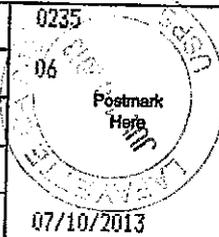
\$ 4040.68

U.S. Postal Service<sup>TM</sup>  
CERTIFIED MAIL<sup>TM</sup> RECEIPT  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

OFFICIAL USE

Postage	\$ 0.46	0235
Certified Fee	\$ 3.10	06
Return Receipt Fee (Endorsement Required)	\$ 0.00	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 3.56	07/10/2013



Sent to  
City of Oakland TOT Rev. Div.  
Street Apt. No. #  
250 Frank Ogawa Pl. # 1320  
City, State, ZIP+4  
Oakland CA 94612

PS Form 3800, August 2006 See Reverse for Instructions

paid

payment and make a copy for your records.

Occupancy Tax

at 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Returning and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_  
Credit Card Account No. Expiration Date :

Zip Code of a credit card holder.

Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bakkeeper

Date: 7/10/13

FOR OFFICE USE ONLY	

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.

7012 1640 0000 6618 2767



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: July 31, 2013

Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day following each calendar month

**IF QUARTERLY**  
On or before the last day of the month following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st for previous calendar year

1. Gross rent for occupancy of rooms\*
2. Rent for occupancy by non-transient Residents
- 2a. Occupancy by transient residents\* TOT exemptions
3. Taxable rents (line 1 minus lines 2 & 2a)
4. Tax: 14% of line 3
5. Credit (If previously approved by this office)
6. Net tax (line 4 minus line 5)
7. Penalty - 25% for late payment
8. Interest - 1% of tax per month for late payment until paid

\$ 67,448.00  
 \$ 35,235.00  
 \$ -  
 \$ 4509.82  
 \$ -

\$ 32,213.00  
 \$ 4509.82  
 \$ -  
 \$ -  
 \$ 4509.82

7012 1640 0000 6618 2774

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
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For additional information visit our website at www.usps.com

OAKLAND CA 94612

**OFFICIAL USE**

Postage	\$ 0.46	0235
Certified Fee	\$ 3.10	04
Return Receipt Fee (Endorsement Required)	\$ 0.00	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 3.56	

Postmark Here  
**AUG 12 2013**  
 08/12/2013  
 USPS

Sent to  
 City of Oakland - TOT Division  
 Street, Apt. No.  
 250 Frank Ogawa Pl. Suite 1320  
 City, State, Zip+4  
 Oakland CA 94612-2011

payment and make a copy for your records.

Occupancy Tax

on, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_

Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Zip Code of a credit card holder. \_\_\_\_\_

Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper

Date: 8/10/13

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: August 31, 2013

Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms\*
2. Rent for occupancy by non-transient Residents
- 2a. Occupancy by transient residents' TOT exemptions
3. Taxable rents (line 1 minus lines 2 & 2a)
4. Tax: 14% of line 3
5. Credit (If previously approved by this office)
6. Net tax (line 4 minus line 5)
7. Penalty - 25% for late payment
8. Interest - 1% of tax per month for late payment until paid

\$ 77,649.56  
 \$ 45,529.56  
 \$ —  
 \$ 4916.80  
 \$ —

\$ 35,120.00  
 \$ 4916.80  
 \$ —  
 \$ —  
 \$ 4916.80

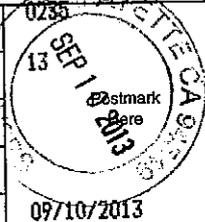
### U.S. Postal Service™ CERTIFIED MAIL™ RECEIPT (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

OAKLAND, CA 94612

## OFFICIAL USE

Postage	\$ 0.46
Certified Fee	\$ 3.10
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 3.56



Sent To: City of Oakland TOT DIV.  
 Street, Apt. No. or PO Box: 250 Frank Ogawa Pl #1320  
 City, State, Zip: Oakland CA 94612-2011

PS Form 3800, August 2006 See Reverse for Instructions

payment and make a copy for your records.

Occupancy Tax  
 on, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.  
 Following and mail or fax this return to the Business Tax Office at  
 # \_\_\_\_\_  
 Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_  
 Zip Code of a credit card holder. \_\_\_\_\_  
 Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title: Bookkeeper

Date: 9/10/13

FOR OFFICE USE ONLY	

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.

7012 2100 0000 5037 2419



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: September 30, 2013  
Must be completed by the hotel Administrator

- MONTHLY** If your previous year's gross rents\* were over \$100,000
- QUARTERLY** If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY** If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

**IF MONTHLY**  
On or before the 10th day  
following each calendar month

**IF QUARTERLY**  
On or before the last day of the month  
Following close of each calendar quarter

**IF ANNUALLY**  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms\*
2. Rent for occupancy by non-transient Residents
- 2a. Occupancy by transient residents TOT exemptions
3. Taxable rents (line 1 minus lines 2 & 2a)
4. Tax: 14% of line 3
5. Credit (If previously approved by this office)
6. Net tax (line 4 minus line 5)
7. Penalty - 25% for late payment

\$ 68,474.00

\$ 32,325.00

\$ 0

\$ 5060.80

\$ 0

\$ 36,149.00

\$ 5060.80

\$ 0

\$ 0

\$ 5060.80

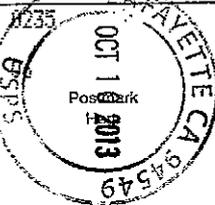
paid

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OAKLAND CA 94612

Postage	\$ 0.44
Certified Fee	\$ 3.10
Return Receipt Fee (Endorsement Required)	\$ 0.30
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 3.56</b>



10/10/2013

Sent To: City of Oakland TOT DW.  
Street, Apt. No., or P.O. Box No.: 250 Frank Ogawa Pl St #1320  
City, State, ZIP+4: Oakland CA 94612-2011

PS Form 3800, August 2006

See Reverse for Instructions

payment and make a copy for your records.

Occupancy Tax

on, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.

Following and mail or fax this return to the Business Tax Office at

# \_\_\_\_\_  
Credit Card Account No.                      Expiration Date

Zip Code of a credit card holder.

Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper

Date: 10/10

FOR OFFICE USE ONLY	

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.

9241 4E05 0000 050E 2F02



# CITY OF OAKLAND

## BUSINESS TAX OFFICE

250 Frank H. Ogawa Plaza, Suite 1320  
Oakland California 94612  
Telephone: 510-238-3704 Fax: 510-238-7128

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: Oct 31, 2013

Must be completed by the hotel Administrator

- MONTHLY If your previous year's gross rents\* were over \$100,000
- QUARTERLY If your previous year's gross rents\* were between \$5,000 and \$99,999
- ANNUALLY If your previous year's gross rents\* were under \$5,000

Business Name: Sutter Hotel

Account Number: 003-179-002/2275090

Business Address: 584 14th St

IF MONTHLY  
On or before the 10th day  
following each calendar month

IF QUARTERLY  
On or before the last day of the month  
Following close of each calendar quarter

IF ANNUALLY  
On or before January 31st  
for previous calendar year

1. Gross rent for occupancy of rooms\*
2. Rent for occupancy by non-transient Residents
- 2a. Occupancy by transient residents TOT exemptions
3. Taxable rents (line 1 minus lines 2 & 2a)
4. Tax: 14% of line 3
5. Credit (If previously approved by this office)
6. Net tax (line 4 minus line 5)
7. Penalty - 25% for late payment

\$ 71,707.00  
 \$ 34,003.00  
 \$ A  
 \$ 5278.56  
 \$ A

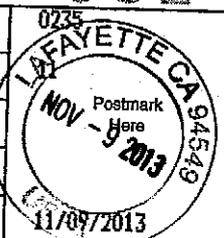
\$ 37,704.00  
 \$ 5278.56  
 \$ —  
 \$ —  
 \$ 5278.56

U.S. Postal Service  
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(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.46
Certified Fee	\$ 3.10
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 3.56



Sent to: City of Oakland TOT  
 Street, Apt. No.: 250 Frank Ogawa Pl. #1320  
 or P.O. Box No.:  
 City, State, ZIP+4: Oakland CA 94612

PS Form 3800, August 2006 See Reverse for Instructions

payment and make a copy for your records.

Occupancy Tax  
 on, 250 Frank H. Ogawa Plaza #1320, and OAKLAND CA 94612.  
 Following and mail or fax this return to the Business Tax Office at  
 # \_\_\_\_\_  
 Credit Card Account No. \_\_\_\_\_ Expiration Date \_\_\_\_\_  
 Zip Code of a credit card holder. \_\_\_\_\_  
 Signature: \_\_\_\_\_

I DECLARE UNDER PENALTY OF PERJURY THAT TO THE BEST OF MY KNOWLEDGE ALL INFORMATION CONTAINED IN THIS STATEMENT IS TRUE AND CORRECT.

Signed: [Signature]

Title Bookkeeper

Date: 11/18/13

FOR OFFICE USE ONLY

\* GROSS RENTS INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL INCOME.

0969 9095 1000 0946 2102



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)

in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: November 30, 2013

Must be completed by the hotel administrator

- Monthly** If your previous year's gross rents\* were over \$100,000
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL

Account Number: 227509

Business Address: 584 14TH ST

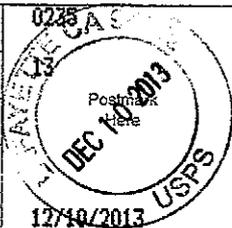
IF MONTHLY	IF QUARTERLY	IF ANNUALLY
On or before the 10th day following each calendar month	On or before the last day of the month following close of each calendar quarter	On or before January 31 st fo previous calendar year

- Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 80,142
- Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 42,082
- Taxable rents (line 1 minus line 2) \$ 38,060
- Tax: 14% of line 3 \$ 5328.40

7012 3460 0001 5606 8407



OFFICIAL USE	
Postage	\$ 0.46
Certified Fee	\$ 3.10
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 3.56



until paid

reporting period and each business location.

- Transient Occupancy Tax"

Sent to  
City of Oakland TOT Div  
Street Apt No.  
150 Frank Ogawa Pl - Suite 5342  
City, State, ZIP+4  
Oakland CA 94612-2011

above address and make a copy for your records. DO NOT change  
Occupancy Tax Declaration.

ment and subsequent Transient Occupancy Return are not BOTH

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 12/10/13

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: December 31, 2013

Must be completed by the hotel administrator

- Monthly** If your previous year's gross rents\* were over \$100,000
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

Account Number: 2275090

IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month following close of each calendar quarter	IF ANNUALLY On or before January 31 st for previous calendar year
--	---	---

1. Gross rent* for occupancy of rooms (round to nearest dollar)*	\$ <u>66,950</u>	
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar)	\$ <u>29,009</u>	
3. Taxable rents (line 1 minus line 2)		\$ <u>37,941</u>
4. Tax: 14% of line 3	\$ <u>5311.74</u>	
5. Credit (If previously approved by this office)	\$ <u>-</u>	
		\$ <u>5311.74</u>
		\$ <u>-</u>
		\$ <u>-</u>
		\$ <u>5311.74</u>

ent until paid

reporting period and each business location.

### and - Transient Occupancy Tax"

Use above address and make a copy for your records. DO NOT change  
Transient Occupancy Tax Declaration.

Payment and subsequent Transient Occupancy Return are not BOTH

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Budkeeper Date: 1/9/14

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.

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For delivery information visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Postage	\$ 0.46
Certified Fee	\$ 3.10
Return Receipt Fee (Endorsement Required)	\$ 0.00
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 3.56</b>

Postmark Here: **LAFAYETTE CA 94606**  
01/09/2014

Sent To: City of Oakland TOT DIV.  
Street, Apt. No. or PO Box No. 150 Frank Ogawa Pl. Sd 5342  
City, State, ZIP+4 Oakland CA 94612

PS Form 3800, August 2006 See Reverse for Instructions

7012 3460 0001 5606 8414



**CITY OF OAKLAND 2014 BUSINESS TAX DECLARATION (green)**

BUSINESS TAX RENEWAL  
250 Frank H. Ogawa Plaza # 1320  
Oakland, CA 94612

2014 RENEWAL TAX



**2014 Tax Due: January 1, 2014**  
**Delinquent if paid/postmarked after March 3, 2014**

OFFICE USE ONLY

1. ACCOUNT NUMBER: 2275090      2. TAX RATE: \$1.80 per \$1,000      3. INDUSTRY CODE : P

**SECTION I - BUSINESS INFORMATION:**

4. Mailing Address

SUTTER HOTEL  
VICTORIA GARRISON SINGH  
PO BOX 5247  
WALNUT CREEK, CA 94596-1247

All Businesses and Rentals are subject to the \$1.00 State Mandated Fee  
**Check the following box(es):**

- 4a. If you are making changes to Lines 4-12, see enclosed instructions.
- 4b. Claiming a Small Business Exemption (total gross receipts must be \$2,800 or less & you MUST submit a Form 4506T (<http://irs.gov/pub/irs-pdf/f4506t.pdf>)  
Note: This exemption must be claimed on or before March 3, 2014 to qualify.)
- 4c. Discontinued or sold your business or rental property:
  - In 2013 - Complete Section III and return signed declaration, or
  - In 2014 - Complete Sections II and III and return signed declaration with 2014 payment due (no proration of tax allowed)
- 4d. Requesting apportionment of your gross receipts. Complete worksheet in the enclosed instructions (only Industry Codes A, B, C, D, E, F, G, I & T may apply)

- 5. Business Name: SUTTER HOTEL
- 6. Business Location: 584 14TH ST OAKLAND, CA 94612-1443
- 7. Business Phone Number: (510)451-2555
- 8. Alternate Phone Number: (925)933-5300 For Book (510)451-2555
- 9. State Contractor's License Number:
- 10. Ownership Type: P
- 11. 1st Owner's Name: OAKLAND SUTTER HOTEL
- 12. 2nd Owner's Name: OAKLAND SUTTER INC



calculate the tax, multiply the amount you write	13. \$	970,671.98
whichever is greater):	14. \$	1747.20
2014):	15. \$	
2014):	16. \$	
d until paid):	17. \$	
olving Fund	18. \$	
tail cash.	19. \$	1.00
	20. \$	1748.20

**PENALTY & INTEREST IS DUE IF PAID AFTER MARCH 3, 2014**  
Penalty (on tax):  
ADD 10% (if paid between 3/4/2014 and 5/1/2014 OR ADD 25% (if paid after 5/1/2014)  
Plus  
Interest (on tax + penalty):  
ADD 1% per month from 3/4/2014 until paid  
**Failure to file this declaration may subject you to a \$50 Failure to File.**  
\*See explanation on the reverse side  
Please submit 1 one check per declaration made payable to: \*Oakland Business Tax

Sent To: City of Oakland Business Tax  
Street, Apt. No. or P.O. Box: 434397 PO Box 39000  
City, State, ZIP+4: SF CA 94139-0001  
See Reverse for Instructions

Is business or rental property sold or the activity permanently discontinued? (if applicable). Check Box 4c (above) and complete Line 1 or 2 (below):  
  
To close the account, this declaration must be completed, signed and returned, with any payment that is due, on or before March 3, 2014.

I declare, under penalty of perjury, that all information contained on this declaration is true and correct.  
SIGNED: [Signature] PHONE: (925)933-5300 DATE: 2/27/14

CREDIT CARD INFORMATION:  Visa  Master Card  Discover      Expiration Date:  Month  Year  
a. Credit Card No.              
b. Amount Charged to Credit Card: \$ \_\_\_\_\_      c. Cardholder Name: \_\_\_\_\_

IMPORTANT! Please print all credit card information clearly and completely. Declined and invalid credit cards may result in a delay in processing your payment. Penalties and interest will be assessed on all late payments.  
d. Signature: \_\_\_\_\_

pd ck# 9285  
2/27/14  
1748.20



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)

in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: January 31, 2017

Must be completed by the hotel administrator

- Monthly** If your previous year's gross rents\* were over \$100,000
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL

Account Number: 2275090

Business Address: 584 14TH ST

<b>IF MONTHLY</b> On or before the 10th day following each calendar month	<b>IF QUARTERLY</b> On or before the last day of the month following close of each calendar quarter	<b>IF ANNUALLY</b> On or before January 31 st for previous calendar year
---	--	--

- 1. Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 27,287
- 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 0
- 3. Taxable rents (line 1 minus line 2) \$ 27,287
- 4. Tax: 14% of line 3 \$ 3820.18
- 5. Credit (If previously approved by this office) \$ -
- 6. Net tax (line 4 minus line 5) \$ 3820.18.
- 7. Penalty - 25% for late \$ -
- 8. Interest - 1% of tax per month for late payment until paid \$ -
- 9. Payment enclosed - total of lines 6 through 8 \$ 3820.18

**Note: A separate return must be filed for each reporting period and each business location.**

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not **BOTH** received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 2/9/17

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year) in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: 2/28/17

- Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

Account Number: 2275090

<b>IF MONTHLY</b> On or before the 10th day following each calendar month	<b>IF QUARTERLY</b> On or before the last day of the month following close of each calendar quarter	<b>IF ANNUALLY</b> On or before January 31 st for previous calendar year
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1. Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 27,386
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 2,122
3. Taxable rents (line 1 minus line 2) \$ 25,264
4. Tax: 14% of line 3 \$ 3,536.96
5. Credit (If previously approved by this office) \$ —
6. Net tax (line 4 minus line 5) \$ 3,536.96
7. Penalty - 25% for late \$ —
8. Interest - 1% of tax per month for late payment until paid \$ —
9. Payment enclosed - total of lines 6 through 8 \$ 3,536.96

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not **BOTH** received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 3/9/17

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year) in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: 3/31/17

**Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator  
 **Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999  
 **Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

Account Number: 2275090

<b>IF MONTHLY</b> On or before the 10th day following each calendar month	<b>IF QUARTERLY</b> On or before the last day of the month following close of each calendar quarter	<b>IF ANNUALLY</b> On or before January 31 st for previous calendar year
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- Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 28,842
- Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 965
- Taxable rents (line 1 minus line 2) \$ 27,877
- Tax: 14% of line 3 \$ 3902.78
- Credit (If previously approved by this office) \$ -
- Net tax (line 4 minus line 5) \$ 3902.78.
- Penalty - 25% for late \$ -
- Interest - 1% of tax per month for late payment until paid \$ -
- Payment enclosed - total of lines 6 through 8 \$ 3902.78

**Note: A separate return must be filed for each reporting period and each business location.**

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not **BOTH** received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 4/8/17

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: April 30, 2017

**Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator  
 **Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999  
 **Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

Account Number: 2275090

<b>IF MONTHLY</b> On or before the 10th day following each calendar month	<b>IF QUARTERLY</b> On or before the last day of the month following close of each calendar quarter	<b>IF ANNUALLY</b> On or before January 31 st for previous calendar year
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- |  |                   |                   |
|--|-------------------|-------------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                 | \$ <u>30,081</u>  |                   |
| 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) | \$ <u>1267</u>    |                   |
| 3. Taxable rents (line 1 minus line 2)   |                   | \$ <u>28,814</u>  |
| 4. Tax: 14% of line 3  | \$ <u>4033.96</u> |                   |
| 5. Credit (If previously approved by this office)  | \$ <u>—</u>       |                   |
| 6. Net tax (line 4 minus line 5)   |                   | \$ <u>4033.96</u> |
| 7. Penalty - 25% for late  |                   | \$ <u>—</u>       |
| 8. Interest - 1% of tax per month for late payment until paid                                    |                   | \$ <u>—</u>       |
| 9. Payment enclosed - total of lines 6 through 8   |                   | \$ <u>4033.96</u> |

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not **BOTH** received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 5/9/17

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: May 31, 2017

- Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

Account Number: 2275090

<u>IF MONTHLY</u> On or before the 10th day following each calendar month	<u>IF QUARTERLY</u> On or before the last day of the month following close of each calendar quarter	<u>IF ANNUALLY</u> On or before January 31 st for previous calendar year
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- |  |    |                |
|--|----|----------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                 | \$ | <u>35,973</u>  |
| 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) | \$ | <u>743</u>     |
| 3. Taxable rents (line 1 minus line 2)   | \$ | <u>35,230</u>  |
| 4. Tax: 14% of line 3  | \$ | <u>4932.20</u> |
| 5. Credit (If previously approved by this office)  | \$ | <u>—</u>       |
| 6. Net tax (line 4 minus line 5)   | \$ | <u>4932.20</u> |
| 7. Penalty - 25% for late  | \$ | <u>—</u>       |
| 8. Interest* - 1% of tax per month for late payment until paid                                   | \$ | <u>—</u>       |
| 9. Payment enclosed - total of lines 6 through 8   | \$ | <u>4932.20</u> |

**Note: A separate return must be filed for each reporting period and each business location.**

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Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

*A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.*

*I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.*

Signed: [Signature] Title: Bookkeeper Date: 6/8/17

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)

in which you discontinued operation of the business location listed below. 6/9/17

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: June 9, 2017

- Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator  
 **Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999  
 **Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL

Account Number: 2275090

Business Address: 584 14TH ST

<b>IF MONTHLY</b> On or before the 10th day following each calendar month	<b>IF QUARTERLY</b> On or before the last day of the month following close of each calendar quarter	<b>IF ANNUALLY</b> On or before January 31 st for previous calendar year
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- |  |    |                |
|--|----|----------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                 | \$ | <u>7341</u>    |
| 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) | \$ | <u>75</u>      |
| 3. Taxable rents (line 1 minus line 2)   | \$ | <u>7266</u>    |
| 4. Tax: 14% of line 3  | \$ | <u>1017.24</u> |
| 5. Credit (if previously approved by this office)  | \$ | <u>-</u>       |
| 6. Net tax (line 4 minus line 5)   | \$ | <u>1017.24</u> |
| 7. Penalty - 25% for late  | \$ | <u>-</u>       |
| 8. Interest - 1% of tax per month for late payment until paid                                    | \$ | <u>-</u>       |
| 9. Payment enclosed - total of lines 6 through 8   | \$ | <u>1017.24</u> |

**Note: A separate return must be filed for each reporting period and each business location.**

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not **BOTH** received on or before the due date.

*I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.*

Signed: [Signature] Title: Bookkeeper Date: 7/5/17

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



Please send completed Tax Return with Payment to :

**CITY OF OAKLAND**  
**REVENUE DIVISION**  
**150 Frank H Ogawa Plaza, Suite 5342**  
**Oakland, California 94612**



If this is your final month's return, check here and provide the effective date (month, day, year) in which you discontinued operation of the hotel/motel listed below: \_\_\_\_\_.

↑ For Office Use Only ↑

**RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING:** June 30, 2017  
**Must be completed by the hotel Administrator**

- MONTHLY** If your annual gross rents\* are \$100,000 +
- QUARTERLY** If your annual gross rents\* are between \$5,000 and \$99,999
- ANNUALLY** If your annual gross rents\* are under \$5,000

**Business Name:** Sutter Hotel **Account Number:** 00197159  
**Business Address:** 584 14th Street, Oakland CA 94612

Frequency is assigned by City Staff. Any change from Monthly must be approved.

<b>IF MONTHLY</b> On or before the 10th day following each calendar month	<b>IF QUARTERLY</b> On or before the last day of the month following close of each calendar quarter	<b>IF ANNUALLY</b> On or before January 31st for previous calendar year
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1. Gross rent for occupancy of rooms (round to nearest dollar) *	\$ <u>36,083</u>	
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar)	\$ <u>0</u>	
3. Taxable rents (line 1 minus line 2)		\$ <u>36,083</u>
4. Tax: 14% of line 3	\$ <u>5,051.53</u>	
5. Credit (If previously approved by this office)	\$ <u>0</u>	
6. Net tax (line 4 minus line 5)		\$ <u>5,051.53</u>
7. Penalty - 25% for late payment		\$ <u>0</u>
8. Interest - 1% of tax plus penalty per month, for late payment, until paid		\$ <u>0</u>
9. Adjusted amount due (add lines 6 through 8):		\$ <u>5,051.53</u>
9. Payment enclosed:		\$ <u>5,051.53</u>

**Note: A separate return must be filed for each reporting period and each business location.**

Please make check payable to: "**City of Oakland – Transient Occupancy Tax**"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

*A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.*

**I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.**

Signed: \_\_\_\_\_ Title: Accounting Date: 7/6/2017

\* Gross rent includes the total of Transient **plus** Residential (non-transient) income.

For Office Use Only



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**CITY OF OAKLAND**  
**REVENUE DIVISION**  
**150 Frank H Ogawa Plaza, Suite 5342**  
**Oakland, California 94612**



If this is your final month's return, check here and provide the effective date (month, day, year) in which you discontinued operation of the hotel/motel listed below: \_\_\_\_\_

↑ For Office Use Only ↑

**RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING:** July 31, 2017  
**Must be completed by the hotel Administrator**

- MONTHLY** If your annual gross rents\* are \$100,000 +
- QUARTERLY** If your annual gross rents\* are between \$5,000 and \$99,999
- ANNUALLY** If your annual gross rents\* are under \$5,000

**Business Name:** Sutter Hotel **Account Number:** 00197159  
**Business Address:** 584 14th Street, Oakland CA 94612

Frequency is assigned by City Staff. Any change from Monthly must be approved.

<b>IF MONTHLY</b> On or before the 10th day following each calendar month	<b>IF QUARTERLY</b> On or before the last day of the month following close of each calendar quarter	<b>IF ANNUALLY</b> On or before January 31st for previous calendar year
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1. Gross rent for occupancy of rooms (round to nearest dollar) *	\$ <u>81,993</u>	
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar)	\$ <u>494</u>	
3. Taxable rents (line 1 minus line 2)		\$ <u>81,499</u>
4. Tax: 14% of line 3	\$ <u>11,409.80</u>	
5. Credit (If previously approved by this office)	\$ <u>0</u>	
6. Net tax (line 4 minus line 5)		\$ <u>11,409.80</u>
7. Penalty - 25% for late payment		\$ <u>0</u>
8. Interest - 1% of tax plus penalty per month, for late payment, until paid		\$ <u>0</u>
9. Adjusted amount due (add lines 6 through 8):		\$ <u>11,409.80</u>
9. Payment enclosed:		\$ <u>11,409.80</u>

**Note: A separate return must be filed for each reporting period and each business location.**

Please make check payable to: "**City of Oakland – Transient Occupancy Tax**"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

*A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.*

**I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.**

**Signed:** Jemma Shaulov (424) 291-5865 **Title:** Accounting Manager **Date:** 8/7/2017

\* Gross rent includes the total of Transient **plus** Residential (non-transient) income.

For Office Use Only



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**CITY OF OAKLAND**  
**REVENUE DIVISION**  
**150 Frank H Ogawa Plaza, Suite 5342**  
**Oakland, California 94612**

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If this is your final month's return, check here and provide the effective date (month, day, year) in which you discontinued operation of the hotel/motel listed below: \_\_\_\_\_

**RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING:** August 31, 2017  
**Must be completed by the hotel Administrator**

- MONTHLY** If your annual gross rents\* are \$100,000 +
- QUARTERLY** If your annual gross rents\* are between \$5,000 and \$99,999
- ANNUALLY** If your annual gross rents\* are under \$5,000

**Business Name:** Sutter Hotel **Account Number:** 00197159  
**Business Address:** 584 14th Street, Oakland CA 94612

Frequency is assigned by City Staff. Any change from Monthly must be approved.

<u>IF MONTHLY</u> On or before the 10th day following each calendar month	<u>IF QUARTERLY</u> On or before the last day of the month following close of each calendar quarter	<u>IF ANNUALLY</u> On or before January 31st for previous calendar year
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1. Gross rent for occupancy of rooms (round to nearest dollar) *	\$ <u>95,006</u>	
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar)	\$ <u>(1,212)</u>	
3. Taxable rents (line 1 minus line 2)		\$ <u>93,794</u>
4. Tax: 14% of line 3	\$ <u>13,131.13</u>	
5. Credit (If previously approved by this office)	\$ <u>0</u>	
6. Net tax (line 4 minus line 5)		\$ <u>13,131.13</u>
7. Penalty - 25% for late payment		\$ <u>0</u>
8. Interest - 1% of tax plus penalty per month, for late payment, until paid		\$ <u>0</u>
9. Adjusted amount due (add lines 6 through 8):		\$ <u>13,131.13</u>
9. Payment enclosed:		\$ <u>13,131.13</u>

**Note: A separate return must be filed for each reporting period and each business location.**

Please make check payable to: **"City of Oakland – Transient Occupancy Tax"**

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

*A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.*

*I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.*

Signed: \_\_\_\_\_ Title: Accounting Date: 9/6/2017

\* Gross rent includes the total of Transient **plus** Residential (non-transient) income.

For Office Use Only



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**CITY OF OAKLAND**  
**REVENUE DIVISION**  
**150 Frank H Ogawa Plaza, Suite 5342**  
**Oakland, California 94612**

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If this is your final month's return, check here and provide the effective date (month, day, year) in which you discontinued operation of the hotel/motel listed below: \_\_\_\_\_

**RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING:** September 30, 2017  
**Must be completed by the hotel Administrator**

- MONTHLY** If your annual gross rents\* are \$100,000 +
- QUARTERLY** If your annual gross rents\* are between \$5,000 and \$99,999
- ANNUALLY** If your annual gross rents\* are under \$5,000

**Business Name:** Sutter Hotel **Account Number:** 00197159  
**Business Address:** 584 14th Street, Oakland CA 94612

Frequency is assigned by City Staff. Any change from Monthly must be approved.		
<b><u>IF MONTHLY</u></b> On or before the 10th day following each calendar month	<b><u>IF QUARTERLY</u></b> On or before the last day of the month following close of each calendar quarter	<b><u>IF ANNUALLY</u></b> On or before January 31st for previous calendar year

1. Gross rent for occupancy of rooms (round to nearest dollar) *	\$ <u>109,440</u>	
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar)	\$ <u>0</u>	
3. Taxable rents (line 1 minus line 2)		\$ <u>109,440.28</u>
4. Tax: 14% of line 3	\$ <u>15,321.64</u>	
5. Credit (If previously approved by this office)	\$ <u>0</u>	
6. Net tax (line 4 minus line 5)		\$ <u>15,321.64</u>
7. Penalty - 25% for late payment		\$ <u>0</u>
8. Interest - 1% of tax plus penalty per month, for late payment, until paid		\$ <u>0</u>
9. Adjusted amount due (add lines 6 through 8):		\$ <u>15,321.64</u>
9. Payment enclosed:		\$ <u>15,321.64</u>

**Note: A separate return must be filed for each reporting period and each business location.**

Please make check payable to: **"City of Oakland – Transient Occupancy Tax"**

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

*A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not **BOTH** received on or before the due date.*

*I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.*

Signed:  Title: Accounting Date: 10/5/2017

\* Gross rent includes the total of Transient **plus** Residential (non-transient) income.

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**150 Frank H Ogawa Plaza, Suite 5342**  
**Oakland, California 94612**



If this is your final month's return, check here and provide the effective date (month, day, year) in which you discontinued operation of the hotel/motel listed below: \_\_\_\_\_

↑ For Office Use Only ↑

**RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING:** October 31, 2017  
**Must be completed by the hotel Administrator**

- MONTHLY** If your annual gross rents\* are \$100,000 +
- QUARTERLY** If your annual gross rents\* are between \$5,000 and \$99,999
- ANNUALLY** If your annual gross rents\* are under \$5,000

**Business Name:** Sutter Hotel **Account Number:** 00198838  
**Business Address:** 584 14th Street, Oakland CA 94612

Frequency is assigned by City Staff. Any change from Monthly must be approved.

<b>IF MONTHLY</b> On or before the 10th day following each calendar month	<b>IF QUARTERLY</b> On or before the last day of the month following close of each calendar quarter	<b>IF ANNUALLY</b> On or before January 31st for previous calendar year
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1. Gross rent for occupancy of rooms (round to nearest dollar) *	\$ <u>104,302</u>	
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar)	\$ <u>0</u>	
3. Taxable rents (line 1 minus line 2)		\$ <u>104,302.48</u>
4. Tax: 14% of line 3	\$ <u>14,602.35</u>	
5. Credit (If previously approved by this office)	\$ <u>0</u>	
6. Net tax (line 4 minus line 5)		\$ <u>14,602.35</u>
7. Penalty - 25% for late payment		\$ <u>0</u>
8. Interest - 1% of tax plus penalty per month, for late payment, until paid		\$ <u>0</u>
9. Adjusted amount due (add lines 6 through 8):		\$ <u>14,602.35</u>
9. Payment enclosed:		\$ <u>14,602.35</u>

**Note: A separate return must be filed for each reporting period and each business location.**

Please make check payable to: **"City of Oakland – Transient Occupancy Tax"**

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

*A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.*

**I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.**

Signed: \_\_\_\_\_ Title: Accounting Date: 11/3/2017

\* Gross rent includes the total of Transient **plus** Residential (non-transient) income.

For Office Use Only



Please send completed Tax Return with Payment to :

**CITY OF OAKLAND**  
**REVENUE DIVISION**  
**150 Frank H Ogawa Plaza, Suite 5342**  
**Oakland, California 94612**

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If this is your final month's return, check here and provide the effective date (month, day, year) in which you discontinued operation of the hotel/motel listed below: \_\_\_\_\_

**RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING:** November 30, 2017  
**Must be completed by the hotel Administrator**

- MONTHLY** If your annual gross rents\* are \$100,000 +
- QUARTERLY** If your annual gross rents\* are between \$5,000 and \$99,999
- ANNUALLY** If your annual gross rents\* are under \$5,000

**Business Name:** Sutter Hotel **Account Number:** 00198838  
**Business Address:** 584 14th Street, Oakland CA 94612

Frequency is assigned by City Staff. Any change from Monthly must be approved.

<u>IF MONTHLY</u> On or before the 10th day following each calendar month	<u>IF QUARTERLY</u> On or before the last day of the month following close of each calendar quarter	<u>IF ANNUALLY</u> On or before January 31st for previous calendar year
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1. Gross rent for occupancy of rooms (round to nearest dollar) *	\$ <u>76,636</u>	
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar)	\$ <u>0</u>	
3. Taxable rents (line 1 minus line 2)		\$ <u>76,635.50</u>
4. Tax: 14% of line 3	\$ <u>10,728.97</u>	
5. Credit (If previously approved by this office)	\$ <u>0</u>	
6. Net tax (line 4 minus line 5)		\$ <u>10,728.97</u>
7. Penalty - 25% for late payment		\$ <u>0</u>
8. Interest - 1% of tax plus penalty per month, for late payment, until paid		\$ <u>0</u>
9. Adjusted amount due (add lines 6 through 8):		\$ <u>10,728.97</u>
9. Payment enclosed:		\$ <u>10,728.97</u>

**Note: A separate return must be filed for each reporting period and each business location.**

Please make check payable to: **"City of Oakland – Transient Occupancy Tax"**

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

*A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not **BOTH** received on or before the due date.*

**I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.**

Signed:  Title: Accounting (424) 291-5865 Date: 12/05/2017

\* Gross rent includes the total of Transient **plus** Residential (non-transient) income.

For Office Use Only



Please send completed Tax Return with Payment to :

**CITY OF OAKLAND**  
**REVENUE DIVISION**  
**150 Frank H Ogawa Plaza, Suite 5342**  
**Oakland, California 94612**

↑ For Office Use Only ↑

If this is your final month's return, check here and provide the effective date (month, day, year) in which you discontinued operation of the hotel/motel listed below: \_\_\_\_\_

**RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING:** December 31, 2017  
**Must be completed by the hotel Administrator**

- MONTHLY** If your annual gross rents\* are \$100,000 +
- QUARTERLY** If your annual gross rents\* are between \$5,000 and \$99,999
- ANNUALLY** If your annual gross rents\* are under \$5,000

**Business Name:** Sutter Hotel **Account Number:** 00198838  
**Business Address:** 584 14th Street, Oakland CA 94612

Frequency is assigned by City Staff. Any change from Monthly must be approved.		
<b><u>IF MONTHLY</u></b> On or before the 10th day following each calendar month	<b><u>IF QUARTERLY</u></b> On or before the last day of the month following close of each calendar quarter	<b><u>IF ANNUALLY</u></b> On or before January 31st for previous calendar year

1. Gross rent for occupancy of rooms (round to nearest dollar) *	\$	<u>57,151.14</u>
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar)	\$	<u>0</u>
3. Taxable rents (line 1 minus line 2)	\$	<u>57,151.14</u>
4. Tax: 14% of line 3	\$	<u>8,001.16</u>
5. Credit (If previously approved by this office)	\$	<u>0</u>
6. Net tax (line 4 minus line 5)	\$	<u>8,001.16</u>
7. Penalty - 25% for late payment	\$	<u>0</u>
8. Interest - 1% of tax plus penalty per month, for late payment, until paid	\$	<u>0</u>
9. Adjusted amount due (add lines 6 through 8):	\$	<u>8,001.16</u>
9. Payment enclosed:	\$	<u>8,001.16</u>

**Note: A separate return must be filed for each reporting period and each business location.**

Please make check payable to: **"City of Oakland – Transient Occupancy Tax"**

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

*A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not **BOTH** received on or before the due date.*

**I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.**

Signed:  Title: Accounting (424) 291-5865 Date: 01/05/2018

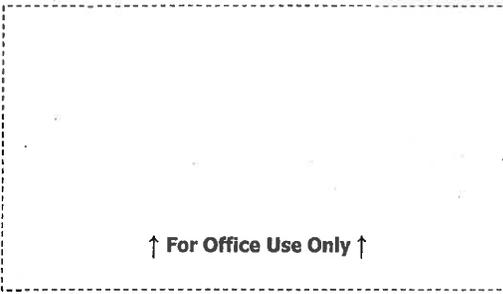
\* Gross rent includes the total of Transient **plus** Residential (non-transient) income.

For Office Use Only



Please send completed Return with Payment to:

**CITY OF OAKLAND**  
**OAKLAND TOURISM BID 2015**  
**150 Frank H Ogawa Plaza, Suite 5342**  
**Oakland, California 94612**



If this is your final month's remittance, check here and provide the effective date (month, day, year) in which you discontinued operation of the hotel/motel listed below: \_\_\_\_\_

↑ For Office Use Only ↑

**OAKLAND TOURISM BUSINESS IMPROVEMENT DISTRICT 2015 ASSESSMENT REMITTANCE FORM**

Pursuant to the City of Oakland Resolution adopted by the Oakland City Council on July 21, 2015 and effective as of August 1, 2015, the Oakland Tourism Business Improvement District 2015 ("OTBID") Assessment is assessed on all hotels/motels with 50 OR MORE GUEST ROOMS located within the city of Oakland.

The OTBID Assessment is \$1.50 per occupancy per night. The OTBID Assessment is not assessed on 1) the portion of stays exceeding thirty (30) consecutive days; 2) on stays by any officer or employee of a foreign or domestic government on official business, provided billing is made directly to and payment is received from the government agency qualifying for the exemption; and 3) room rentals pursuant to contracts executed prior to August 1, 2015. **This form, accompanied by the payment, must be filed on or before the 10<sup>th</sup> day following the close of the month.**

**BUSINESS NAME:** 584 14th Street LLC DBA Sutter Hotel **ACCOUNT NUMBER:** 00197159

**BUSINESS ADDRESS:** 584 14th Street, Oakland CA 94612 **PERIOD ENDING:** December 31, 2017

1. Total Number of Occupied Rooms for the reporting period	<u>1025</u>
2. Total Number of Exempt Occupied Rooms (see explanation above)	<u>0</u>
3. Total Number of Occupied Rooms subject to OTBID Assessment (Subtract line 2 from line 1)	<u>1025</u>
4. OTBID Assessment (Multiple line 3 by \$1.50)	<u>\$ 1,537.50</u>
5. Credit (if previously approved by this office)	<u>\$ 0</u>
6. Net OTBID Assessment (Subtract line 5 from line 4)	<u>\$ 1,537.50</u>
7. Penalty – 10% for late payment	<u>\$ 0</u>
8. Interest – 0.50% of fee plus penalty per month or fraction thereof, for late payment, until paid	<u>\$ 0</u>
9. Adjusted OTBID Assessment Due (add lines 6 through 8)	<u>\$ 1,537.50</u>
10. Payment Enclosed	<u>\$ 1,537.50</u>

**Note: A separate return must be filed for each reporting period and each business location.**

Please make check payable to: **City of Oakland, Oakland Tourism BID 2015**

Mall original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Oakland Tourism Business Improvement District 2015 Return.

A payment is considered delinquent if both the payment and subsequent OTBID Remittance form are not **BOTH** received on or before the due date.

**I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.**

Signed:  Title: Accounting Manager Date: 01/05/2018

**For Office Use Only**

# Request #19-2264

 OPEN

As of May 6, 2019, 10:41am

## Details

---

I respectfully request a copy of all documents and records related to APN 003 006901700 (with the associated address of 584 14th Street) in the possession or control of the Finance Department. This request includes, but is not limited to, files, emails, notes, drafts, memoranda, letters, scans, recordings, text messages, phone calls, faxes, etc., whether sent from, received by, or kept on government-owned, privately owned, or other devices and addresses. If any documents or records cannot be made available within three days, please kindly produce all documents and records on a rolling basis.

---

### *Received*

**May 3, 2019** via web

---

### *Due*

**May 13, 2019**

---

### *Departments*

**Finance Department — Revenue & Business Tax**

## Documents

---

(none)

## Staff

---

### *Point of Contact*

**Shahla Azimi**

## Timeline

**Department Assignment**

Public

Finance Department — Revenue & Business Tax

*May 3, 2019, 3:53pm*

---

**Request Opened**

Public

Request received via web

*May 3, 2019, 3:53pm*

---

# Request #19-2262

 OPEN

As of May 6, 2019, 10:41am

## Details

---

Good afternoon,

I respectfully request a copy of the following documents and records related to APN 003 006901700 (with the associated address of 584 14th Street) in the possession or control of the Finance Department:

- All residential landlord tax records from January 1, 1995 to May 3, 2019.
- All transient occupancy tax records from January 1, 1995 to May 3, 2019.
- All Business Tax Certificates from January 1, 1995 to May 3, 2019.

This request includes, but is not limited to, files, emails, notes, drafts, memoranda, letters, scans, recordings, text messages, phone calls, faxes, etc., whether sent from, received by, or kept on government-owned, privately owned, or other devices and addresses. If any documents or records cannot be made available within three days, please kindly produce all documents and records on a rolling basis.

Very truly yours,

— [Read less](#)

---

*Received*

**May 3, 2019** via web

---

*Due*

**May 13, 2019**

---

*Departments*

**Finance Department — Revenue & Business Tax**

## Documents

---

(none)

## Staff

---

*Point of Contact*

**Shahla Azimi**

## Timeline

---

**Department Assignment**

Public

Finance Department — Revenue & Business Tax

*May 3, 2019, 3:41pm*

---

**Request Opened**

Public

Request received via web

*May 3, 2019, 3:41pm*

---

# Attachment C

FLOT PLAN

REPORT OF INVESTIGATOR

No. 4.2251

3-6-37 - not started - H  
3-18-37 - good Prog. - H

APPLICATION

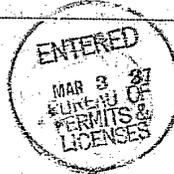
Permit for Alteration

At 584 14 St  
(House Number)

A. C. Morris Owner  
W. Mulligan Contractor

Cost \$ 300.00 Fee \$ 2.00

Issued \_\_\_\_\_



Permission is hereby granted to erect, alter or repair the building described in this application in accordance with the Building Ordinances of the City of Oakland, and to the satisfaction of the Building Inspector.

Approved [Signature] E. U. ROUSSELL  
By \_\_\_\_\_ Building Inspector

Issued \_\_\_\_\_

F.O.K. \_\_\_\_\_

R.O.K. \_\_\_\_\_

W.O.K. \_\_\_\_\_

L.O.K. \_\_\_\_\_

PLASTER O.K. \_\_\_\_\_

FINAL O.K. 4-12-37 \_\_\_\_\_

PLANS CHECKED

- Zoning
- Setback Line
- Fire Limits
- Area Limit
- Court Areas
- Height Limit
- Garage Area
- Ventilation
- Chimneys and Flues
- Type of Frame
- Exterior Walls
- Floor Construction
- Soil
- Foundation
- Retaining Walls
- Engineering

APPROVED: \_\_\_\_\_  
Plan Checker

AFFIDAVIT

I hereby make affidavit that the information contained in this application and on the plans and specifications is true and contains a correct description of the proposed work. All said work is to be done in accordance with the State Housing Act. I am authorized to act as agent for the owner.

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 1937

Deputy City Clerk

WRITE IN INK—FILE TWO COPIES

# APPLICATION FOR A BUILDING PERMIT

APPLICATION IS HEREBY MADE TO THE BUILDING DEPARTMENT OF THE CITY OF OAKLAND FOR PERMISSION TO DO THE FOLLOWING WORK AT

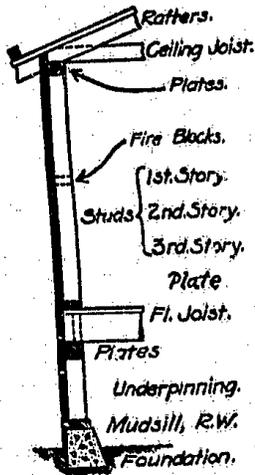
NUMBER 584 14 ST

STREET  
AVE.

WRITE PLAINLY FULL DESCRIPTION OF WORK TO BE DONE  
ALL NEW CONSTRUCTION MUST BE DESCRIBED AS TO SIZE, SPAN AND SPACING

*Remove 20' rest area stud partitioning  
Put 2 arches & lower stop front  
install Base plugs  
2nd & 3rd Bldg*

Roof Covering.



ENTIRE COST OF WORK (THIS MUST INCLUDE EVERYTHING NECESSARY FOR COMPLETE CONSTRUCTION OF WORK) \$ 300.00

BUILDING NOW USED AS Hotel  
BUILDING TO BE USED AS " BY "

I HEREBY AGREE TO WAIVE, INDEMNIFY AND KEEP HARMLESS THE CITY OF OAKLAND AND ITS OFFICERS, EMPLOYEES AND AGENTS AGAINST ALL LIABILITIES, JUDGMENTS, COSTS AND EXPENSES WHICH MAY IN ANY WISE ACCRUE AGAINST THE CITY IN CONSEQUENCE OF THE GRANTING OF THIS PERMIT, OR FROM THE USE OR OCCUPANCY OF ANY SIDEWALK, STREET OR SUB-SIDEWALK, OR OTHERWISE BY VIRTUE THEREOF, AND WILL IN ALL THINGS STRICTLY COMPLY WITH THE CONDITIONS UNDER WHICH THIS PERMIT IS GRANTED.

CONTRACTOR OR ARCHT. J. Miller } OWNER H.C. Morris  
ADDRESS 1416 Jefferson } ADDRESS 1416 Jefferson  
DESIGNER None } BY J. Miller  
ADDRESS \_\_\_\_\_

ORDINANCE 188 I.S., SECTION 88: "WHEN A BUILDING IS READY FOR LATHING OR SHEATHING ON THE INSIDE, THE BUILDING INSPECTOR SHALL BE NOTIFIED. THE ROUGH STUDDING SHALL NOT BE COVERED OR IN ANY WAY CONCEALED FROM VIEW UNTIL INSPECTION HAS BEEN MADE AND THE WRITTEN APPROVAL OF THE BUILDING INSPECTOR OBTAINED."

THE DEPARTMENT WILL CALL UP TELEPHONE NO. 541-2100 IF ANY ALTERATIONS OR CHANGES ARE NECESSARY ON THE PLANS SUBMITTED.

STATE LICENSE NO. \_\_\_\_\_ CITY LICENSE NO. \_\_\_\_\_

PLOT PLAN

REPORT OF INVESTIGATOR

No. **B 8270**

R. O. K.

**APPLICATION**

Permit for *alter*

R. O. K.

At *584-146<sup>th</sup> St.*  
(House Number)

W. O. K.

*Winters & Son* Owner  
*W. M. Smith* Contractor  
Cost \$ *200* Fee \$ *29*

L. O. K.

Issued **OCT 31 1925**

PLASTER O. K.

FINAL O. K. *4/21/26*

PLANS CHECKED

- Zoning
- Schack Line
- Fire Limits
- Area Limit
- Court Areas
- Height Limit
- Garage Area
- Ventilation
- Chimneys and Flues
- Type of Frame
- Exterior Walls
- Floor Construction
- Soil
- Foundation
- Reinforcing Walls
- Engineering

**AFFIDAVIT**

I hereby make affidavit that the information contained in this application and on the plans and specifications is true and contains a correct description of the proposed work. All said work is to be done in accordance with the State Housing Act. I am authorized to act as agent for the owner.

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 194\_\_\_\_\_

Deputy City Clerk

APPROVED: \_\_\_\_\_ Plan Checker

Permission is hereby granted to erect, alter or repair the building described in this application in accordance with the Building Ordinances of the City of Oakland, and to the satisfaction of the Building Inspector.

Approved

**E. U. ROUSSELL**  
Chief Building Inspector

By *MP*  
**THIS PERMIT DOES NOT COVER ANY ELECTRICAL OR PLUMBING WORK.**

WRITE IN INK—FILE TWO COPIES

# APPLICATION FOR A BUILDING PERMIT

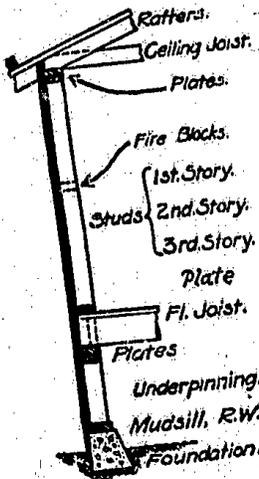
APPLICATION IS HEREBY MADE TO THE BUILDING DEPARTMENT OF THE CITY OF OAKLAND FOR PERMISSION TO DO THE FOLLOWING WORK AT \_\_\_\_\_ Street Ave.

Number 7 E. Cor. Jefferson and 14th Streets

WRITE PLAINLY FULL DESCRIPTION OF WORK TO BE DONE  
All new construction must be described as to size, span and spacing

Remove partition in lobby, between Gents side and Parlor (now bearing partitions)

Roof Covering



\$200.00

Entire cost of work  
(This must include everything for complete construction of work)

Building now used as Hotel By Hotel Sutter

Building to be used as Hotel

I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit, or from the use or occupancy of any sidewalk, street or sub-sidewalk or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.

Contractor W. M. Louie (if any) Owner Wastens & Armand

Address 283 9th Oakland, Cal. Address Hotel Sutter

Architect Same By J. P. Reid

Address \_\_\_\_\_

Ordinance 1485 N.S., Section 86: "When a building is ready for lathing or sheathing on the inside, the Building Inspector shall be notified. The rough STUDDING SHALL NOT BE COVERED or in any way concealed from view until inspection has been made and the written approval of the Building Inspector obtained."  
The department will call up Telephone No. TE-1657 if any alterations or changes are necessary on the plans submitted.

STATE LICENSE No. 2239 CITY LICENSE No. 1223f

FLOT PLAN

REPORT OF INVESTIGATOR

No. B 8439

APPLICATION

Permit for *Alter*

At *584-14th St*  
(House Number)

*M. Proctor* Owner  
*W. G. Fairlee* Contractor

Cost \$ *1000* Fee \$ *40*

Issued *NOV 13 1945*

*Copy Tear and etc 11/17/45 GCS*  
R. O. K.

R. O. K.

W. O. K.

L. O. K.

PLASTER O. K.

FINAL O. K. *11/17/45 GCS*

PLANS CHECKED

AFFIDAVIT

I hereby make affidavit that the information contained in this application and on the plans and specifications is true and contains a correct description of the proposed work. All said work is to be done in accordance with the State Housing Act. I am authorized to act as agent for the owner.

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 194\_\_\_\_  
Deputy City Clerk

- Zoning
- Setback Line
- Fire Limits
- Area Limit
- Court Areas
- Height Limit
- Garage Area
- Ventilation
- Chimneys and Flues
- Type of Frame
- Exterior Walls
- Floor Construction
- Soil
- Foundation
- Retaining Walls
- Engineering

APPROVED: \_\_\_\_\_ Plan Checker

Permission is hereby granted to erect, alter or repair the building described in this application in accordance with the Building Ordinances of the City of Oakland, and to the satisfaction of the Building Inspector.

Approved *E. U. ROUSSELL*  
Chief Building Inspector

By *WMO*  
THIS PERMIT DOES NOT COVER ANY ELECTRICAL OR PLUMBING WORK.



WRITE IN INK—FILE TWO COPIES

# APPLICATION FOR A BUILDING PERMIT

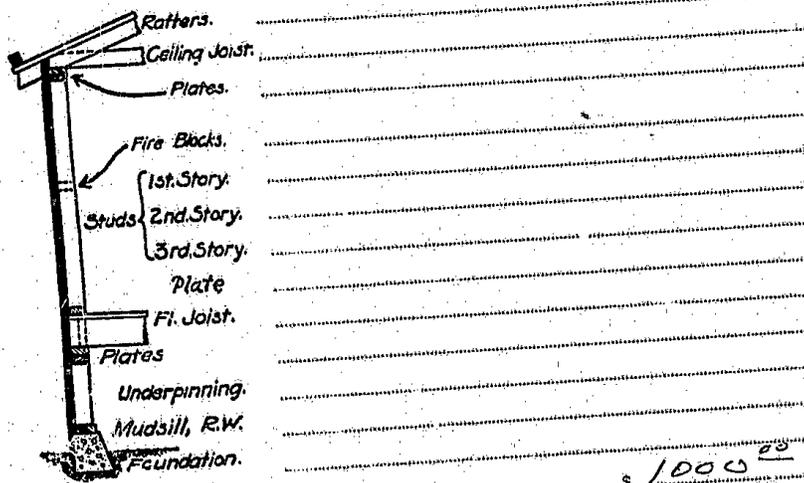
APPLICATION IS HEREBY MADE TO THE BUILDING DEPARTMENT OF THE CITY OF OAKLAND FOR PERMISSION TO DO THE FOLLOWING WORK AT

Number Hotel suites 14th Jefferson Street Ave

WRITE PLAINLY FULL DESCRIPTION OF WORK TO BE DONE  
All new construction must be described as to size, span and spacing

install steel for masonry

Roof Covering.



\$ 1000.00

Entire cost of work  
(This must include everything for complete construction of work)

Building now used as Hotel By Hotel

Building to be used as Hotel

I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit, or from the use or occupancy of any sidewalk, street or sub-sidewalk or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.

Contractor W.C. Tait Co. (if any) Owner W. Wooten

Address 461 Market St. Address 14th Jefferson St.

Architect Clarence S. ... By W.C. Tait Co.

Address ...

Ordinance 1485 N.S., Section 86: "When a building is ready for lathing or sheathing on the inside, the Building Inspector shall be notified. The rough STUDDING SHALL NOT BE COVERED or in any way concealed from view until inspection has been made and the written approval of the Building Inspector obtained."  
The department will call up Telephone No. suites 1522 if any alterations or changes are necessary on the plans submitted.

Form C10 STATE LICENSE No. 74151 CITY LICENSE No. 5-31-41

PLOT PLAN

REPORT OF INVESTIGATOR

No.

B 8914

78

P. O. K.

APPLICATION

Permit for

At

Cost \$

Issued

Extension to

14th Jefferson St

584-14th Street

B. Weston Owner

Wentworth Contractor

800.00 Fee \$ 4.00

DEC 18 1945

R. O. K.

W. O. K.

L. O. Y.

PLASTER O. K.

FINAL O. K.

PLANS CHECKED

- Zoning
- Setback Line
- Fire Limits
- Area Limit
- Court Areas
- Height Limit
- Garage Area
- Ventilation
- Chimneys and Flues
- Type of Frame
- Exterior Walls
- Floor Construction
- Soil
- Foundation
- Retaining Walls
- Engineering

AFFIDAVIT

I hereby make affidavit that the information contained in this application and on the plans and specifications is true and contains a correct description of the proposed work. All said work is to be done in accordance with the State Housing Act. I am authorized to act as agent for the owner.

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 194\_\_\_\_\_

Deputy City Clerk

APPROVED:

Plan Checker



Permit is hereby granted to erect, alter or repair the building described in this application in accordance with the Building Ordinances of the City of Oakland, and to the satisfaction of the Building Inspector.

Approved

E. U. ROUSSELL  
Chief Building Inspector

By

THIS PERMIT DOES NOT COVER ANY ELECTRICAL OR PLUMBING WORK

Handwritten notes: "Permit 12-27-45 1089 78"

Handwritten initials: "5/16/46 6089 14"

Handwritten initials: "32" and "5118-187"

WRITE IN INK—FILE TWO COPIES

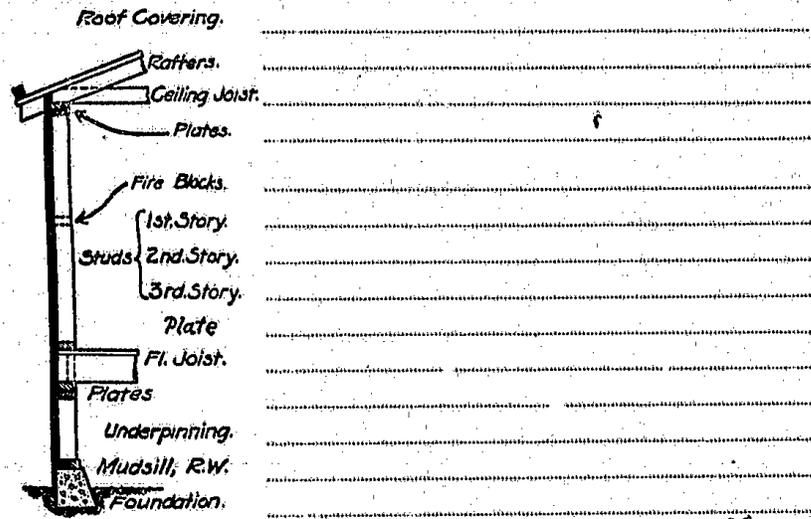
### APPLICATION FOR A BUILDING PERMIT

APPLICATION IS HEREBY MADE TO THE BUILDING DEPARTMENT OF THE CITY OF OAKLAND FOR PERMISSION TO DO THE FOLLOWING WORK AT

Number 14th & Jefferson 584 - 14th St Street Ave

WRITE PLAINLY FULL DESCRIPTION OF WORK TO BE DONE  
All new construction must be described as to size, span and spacing

Expansion to Marquee Hotel cutter



Entire cost of work (This must include everything for complete construction of work) \$ 800.00

Building now used as Hotel  
Building to be used as Hotel By \_\_\_\_\_

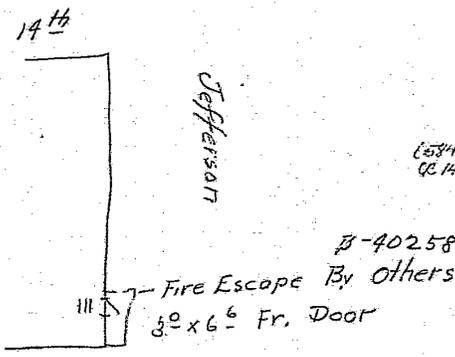
I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit, or from the use or occupancy of any sidewalk, street or sub-sidewalk or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.

Contractor W.C. Faust Co. Owner B. Wosten  
 Address 461 Market St SF Address 14th & Jefferson  
 Architect Charles Hays Hotel Cutter  
 Address 687 Market St SF By J. S. [Signature]

Ordinance 1485 N.S., Section 26: "When a building is ready for lathing or sheathing on the inside, the Building Inspector shall be notified. The rough STUDDING SHALL NOT BE COVERED or in any way concealed from view until inspection has been made and the written approval of the Building Inspector obtained."  
 The department will call up Telephone No. 6522 if any alterations or changes are necessary on the plans submitted.

Form C10 STATE LICENSE No. 244571 CITY LICENSE No. \_\_\_\_\_

PLOT PLAN



Remove Window and  
add doors & Steps  
6 Floors.

B 40258

Inspected No. B40466

APPLICATION FOR A PERMIT TO  
ALTER, REPAIR, ADD TO OR  
WRECK A BUILDING

Case No. \_\_\_\_\_  
Via. Co. \_\_\_\_\_

B. Wooda Owner

(584-88 Ad. Lt)  
96 H.C.C. 16 Jefferson St.  
L.V. Cantrell Contractor

No. 584 14th St.

14th & Jefferson

Cost \$ 1220.00 Fee \$ 12.-

Cost of work to be checked before final inspection  
JAN 27 1952

Date Jan. 21, 1952

R.O.K.

info 2-1-52 RRY

R.O.K.

W.O.K.

L.O.K.

PLASTER O.K.

Permission is hereby granted to alter, repair, add to or wreck the building or structure described in this application in accordance with Ordinance No. 2749 C.M.S., and all other Ordinances related thereto in the City of Oakland, and to the satisfaction of the Building Inspector.

Approved M. P. KITCHEL  
Building Inspector.

By NON

FINAL O.K. 2-1-52 RRY

\*WARNING: This proposed construction may be in violation of National Production Authority Orders, or other Federal restrictions or prohibitions. You are cautioned to consult with appropriate Federal authorities before commencing the work authorized by this permit.

Above Warning Noted: \_\_\_\_\_

Permittee

Case No. ....  
Plan. Com.

City Manager's  
Permit .....

WRITE IN INK — FILE TWO COPIES

Application to Alter, Repair, Add to Or Wreck a Building  
CITY OF OAKLAND, BUILDING DEPARTMENT

Number 589 14<sup>th</sup> Avenue \_\_\_\_\_ Street \_\_\_\_\_

- 1. Type of Building I, II, III, IV, V
- 2. Type of Occupancy A, B, C, D, E, F, G, H, I, J
- 3. City Zone A, B, C, D, E, F, G, H, I
- 4. Fire Zone 1, 2, 3, 4
- 5. If in Port Area, file three applications.

For Office Use Only

6. Present use of building Hotel Sutter Families \_\_\_\_\_ Rooms \_\_\_\_\_  
(Store, Dwelling, Apartment House, Hotel or other purposes)

7. Proposed use of Building \_\_\_\_\_ Families \_\_\_\_\_ Rooms \_\_\_\_\_  
(Store, Dwelling, Apartment House, Hotel or other purposes)

8. State how many buildings now on lot and give use of each \_\_\_\_\_  
(Store, Dwelling, Apartment House, Hotel or other purposes)

9. Size of existing Building \_\_\_\_\_ x \_\_\_\_\_ Number of stories high \_\_\_\_\_

10. Describe briefly all proposed construction work:

Remove window and install door and steps on six floors - one hand rail required. Wall will be 3' w. wide - 3 steps - 8" max. riser, 9" max. tread  
OK. J. J. 1/21/52

Footings: Width \_\_\_\_\_ Depth in Ground \_\_\_\_\_ Width of Wall \_\_\_\_\_ Mudsill \_\_\_\_\_

11. Size of Studs \_\_\_\_\_ @ \_\_\_\_\_ Size of Floor Joists \_\_\_\_\_ @ \_\_\_\_\_

Size of Rafters \_\_\_\_\_ @ \_\_\_\_\_ Roof Covering \_\_\_\_\_

12. VALUATION OF PROPOSED WORK:

Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electric wiring and elevator equipment therein or thereon, \$ \_\_\_\_\_ COST OF WORK TO BE CHECKED BEFORE FINAL INSPECTION

I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, em, Joyees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street or sub-sidewalk, or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.

Contractor (if any) L. V. Cantrell

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City ordinances and State laws regulating building construction.  
Signature of \_\_\_\_\_

Address 1833 El Dorado Ave. Berk

Certified Architect \_\_\_\_\_ State License No. \_\_\_\_\_

Owner R. Woodin

Licensed Engineer \_\_\_\_\_ State License No. \_\_\_\_\_

Address Hotel Sutter  
Authorized Agent 14<sup>th</sup> & Jeff

Do not lath, sheath, or otherwise conceal any portion of walls or ceiling until the inspection card has been signed by the ELECTRICAL and PLUMBING INSPECTORS. Following the approval of the ELECTRICAL and PLUMBING INSPECTORS, call the BUILDING INSPECTOR before proceeding further with the work.

The Department will call up Telephone No. 296-2323 if any alterations or changes are necessary on the plans submitted. 5726

CONTRACTOR'S STATE LICENSE No. 103251 AND CITY LICENSE No. 11768

If the work herein described is not commenced within sixty (60) days after the issuing of this permit, this permit becomes null and void as provided in Section 19 of Part 1 of Ordinance 2745 C.M.S.

*Take approval  
to  
Housing*

**FOR OFFICE USE ONLY**

HOUSING DIVISION *William F. Adams*

FIRE MARSHAL APPROVAL *W. Adams*

CITY MANAGER PERMIT NO. \_\_\_\_\_

MOVING PERMIT NO. \_\_\_\_\_

POINT OF OAKLAND APPROVAL \_\_\_\_\_

PLUMBING PERMIT NO. \_\_\_\_\_

HEALTH DEPT. APPROVAL \_\_\_\_\_

8 OF E & A ITEM NO. \_\_\_\_\_

H A & A RES. NO. \_\_\_\_\_

ZONING OR PLANNING NO. \_\_\_\_\_

**BUILDING & HOUSING DEPARTMENT — CITY OF OAKLAND**  
WRITE IN INK - FILE ALL COPIES

DATE FILED \_\_\_\_\_

DATE ISSUED JUN 13 1969 PERMIT NO. 028037 Inspected

**APPLICATION FOR PERMIT TO:**

ALTER  ADD TO  NEW CONSTR.

REPAIR  WRECK  OTHER

JOB LOCATION 584-1475 St.

OWNER'S NAME Mr. B. Wiest

OWNER'S ADDRESS Same As Above

OWNER'S PHONE NO. TE-1620

FIELD CHECK BY \_\_\_\_\_ DATE \_\_\_\_\_

Approved YES \_\_\_\_\_

REMARKS (conditions noted) \_\_\_\_\_

**FOR OFFICE USE ONLY**

584-1475 St.

VALUE: \$250.00

Address Fee \$ \_\_\_\_\_

General Fee \$ 500

Checking Fee \$ \_\_\_\_\_

**ADDITIONAL COST:** TOTAL FEES \$ 500

Add'l Fee \$ \_\_\_\_\_

Check'g Fee \$ \_\_\_\_\_

**TOTAL VALUE:** TOTAL FEES \$ 250.00

PLAN FILED Yes  No  SURVEYS FILED Yes  No

MAP NO. 78 TRACT NAME/NO. \_\_\_\_\_

TYPE OF BUILDING  I  II  III  IV  V H.T.  N

OCCUPANCY GROUP A  B  C  E  F  G  I

ZONING DISTRICT R-2.3 C M S

FIRE ZONE 023 C M S

**ADDITION ALTERATION REPAIR**

**NEW CONSTRUCTION**

Size of new building \_\_\_\_\_ x \_\_\_\_\_

Height to highest point \_\_\_\_\_

No. of Stories \_\_\_\_\_

Specific type of Occupancy \_\_\_\_\_

State how many buildings now on lot \_\_\_\_\_ and give use of each \_\_\_\_\_

Footing Width \_\_\_\_\_ Depth in Ground \_\_\_\_\_

Studs \_\_\_\_\_ cfr. Floor Joists \_\_\_\_\_ Width of Wall \_\_\_\_\_ Mudjill \_\_\_\_\_

Rafters \_\_\_\_\_ cfr. Roof Covering \_\_\_\_\_ cfr. Ceiling Joists \_\_\_\_\_ cfr. \_\_\_\_\_

Material of Exterior Walls \_\_\_\_\_

**VALUATION OF PROPOSED WORK: \$ \_\_\_\_\_**

Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electric wiring and elevator equipment therein or thereon.

**COST OF WORK TO BE CHECKED BEFORE FINAL INSPECTION.**

Permission is hereby granted to do the work described in this application in accordance with the provisions of the Oakland Building Code and related ordinances.

Approved: LAWRENCE A. LANE  
By: [Signature]

**TO BE SIGNED ONLY WHEN ISSUED TO OWNER.**

I hereby certify that I am the applicant for a Building Permit, and that in the performance of the work for which such permit is issued, I will not employ any person or persons in any manner so as to become subject to the provisions of the Labor Code of the State of California relating to workmen's compensation insurance.

**CONSTRUCTION LEADER**  
(if none, write none)

Name W. Adams

Branch \_\_\_\_\_

Street Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Signature of Owner \_\_\_\_\_

Present use of building Hotel Families \_\_\_\_\_ Rm. \_\_\_\_\_

Proposed use of building Hotel Families \_\_\_\_\_ Rm. \_\_\_\_\_

Size of existing building \_\_\_\_\_ Number of stories high \_\_\_\_\_

Describe briefly all proposed construction work: Install one Partition in Room 209 to gain Access to Fire Escape. Partition to be constructed with original 5x8 steel beam and metal studs.

Contractor: (if any) L. W. Miller Certified Architect

Address: 1948 - 42nd Ave. Oakland

Phone No. 861-6787 Licensed Civil Engineer

State License No. 129236 City License No. Dec. 1969

I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street or sub-sidewalk, or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.

[Signature]  
Signature of Applicant

339-6 (10-66) DEPARTMENT COPY

FOR INSPECTIONS TELEPHONE 273-3441

PLOT PLAN

APPROVAL REQUIRED BY STREET AND ENGINEERING DEPARTMENT:  
There are no PROPOSED STREET OPENINGS, PUBLIC EASEMENTS OF RECORD

or  
in this Department which are in conflict with this application.  
REMARKS:

STREET AND ENGINEERING DEPARTMENT  
By: \_\_\_\_\_ Date: \_\_\_\_\_

FORMS OK

FIREPLACE OK

WIRE (EXT.) OK

LATH (INT.) OK

GYPSUM OK  
PLASTER

ROUGH OK 6-16-69 *MS*

FINAL OK 6-26-69 *MS*

Representative \_\_\_\_\_ Reference Number \_\_\_\_\_

BUILDING AND HOUSING DEPARTMENT

1. Address #1 584-588 - 14th St. SW Date 3/8/74  
Address #2 \_\_\_\_\_

2. Zone District C-51 Fire District #1 Sanborn Map Number 78

3. Block Book # \_\_\_\_\_ Page \_\_\_\_\_ Lot # \_\_\_\_\_ Lot Size \_\_\_\_\_  
Tract and Block \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Distance 7 1/2 corner of 14th and Jefferson

4. W.P.A. Survey: Yr. Built \_\_\_\_\_ Type \_\_\_\_\_  
Stories \_\_\_\_\_ Room \_\_\_\_\_ Families \_\_\_\_\_ Roomers \_\_\_\_\_ Bath \_\_\_\_\_ W.C. \_\_\_\_\_  
Garages \_\_\_\_\_ Basement \_\_\_\_\_ Cellar \_\_\_\_\_ Attic \_\_\_\_\_ Accessory Bldg. \_\_\_\_\_

5. BOOK #1  
Owner ADOLPH & MULLER Amount \$ 130,000  
# 32590 Date 2/26/13 For 75, Steel frame hotel

BOOK #2  
Owner M. Freideman Amount \$3,500  
# A66241 Date 9/11/37 For Alterations - interior & exterior  
ceement floor in basement, electric wiring Finalled - Cancel

Owner H. C. Morris Amount \$300.00  
# A66491 Date 3/3/37 For Alterations - remove partitions  
cut two arches, alter store front Finalled - Cancel

Owner B. Wooten Amount \$200.00  
# A98943 Date 5/19/43 For Repairs - To doors and windows  
in northhouse Finalled - Cancel

## B3072 H. J. Arnaud & B. Wooten 7/10/44 \$1,000  
Alterations - Remove plate glass  
windows and replace glass F

B6229 B. Wooten 6/9/45 \$4,000  
Complete restaurant & bar F

B8270 Wooten & Arnaud 10/31/45 \$200.00  
Alteration, remove partition F

B8439 W. Wooten 11/13/45 \$1,000  
install steel for mezzanine F

B8914 B. Wooten 12/18/45 \$800.00  
Owner B. Wooten Amount \$2,183  
# B40258 Date 1/2/52 For Fire escape balcony one  
roof ladder Finalled - Cancel

Owner B. Woodin Amount \$1,220  
# B40466 Date 1/21/52 For Remove windows and install  
door and steps on six floors Finalled - Cancel

Sign Permit Inc Martin Amount \$95.00  
# 40885 Date 5/4/60 For Sign Permit

6. VARIANCES  
Zoning # N2200 Date \_\_\_\_\_ For \_\_\_\_\_  
Building # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Housing # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_

7. Survey: Yes  No \_\_\_\_\_ Permit # \_\_\_\_\_ Plans in File: Yes \_\_\_\_\_ No PERMANENT FILE Permit No. \_\_\_\_\_

8. CERTIFICATE OF OCCUPANCY  
Yes \_\_\_\_\_ No  Date \_\_\_\_\_ For \_\_\_\_\_

9. CITY LICENSE  
Yes  No \_\_\_\_\_ Type Hotel Knicker Hotel (96rooms) Date 4/28/74  
Issued to Wooten, B Address \_\_\_\_\_

10. ADDITIONAL INFORMATION 115y. Late still open 9-13-68

owner Mr. B. Wooten Unit #250  
# C 48537 Date 6-13-67 For alter  
102 habitable room Finalled  
6-26-69

Representative H. Kent Managers Reference Number 4419

BUILDING AND HOUSING DEPARTMENT

1. Address #1 524 1/2 St. East Date 5/15/75  
Address #2 \_\_\_\_\_

2. Zone District C-51 Fire District 1 Sanborn Map Number 27

3. Block Book # \_\_\_\_\_ Page \_\_\_\_\_ Lot # \_\_\_\_\_ Lot Size \_\_\_\_\_  
Tract and Block \_\_\_\_\_  
Owner \_\_\_\_\_  
Distance \_\_\_\_\_ Address \_\_\_\_\_

4. W.P.A. Survey: Yr. Built \_\_\_\_\_  
Stories \_\_\_\_\_ Room \_\_\_\_\_ Families \_\_\_\_\_ Roomers \_\_\_\_\_ Type \_\_\_\_\_  
Garages \_\_\_\_\_ Basement \_\_\_\_\_ Cellar \_\_\_\_\_ Attic \_\_\_\_\_ Bath \_\_\_\_\_ W.C. \_\_\_\_\_  
Accessory Bldg. \_\_\_\_\_

5. BOOK #1 210-1-1-1 Hall  
Owner #32370 Date 3/16/74 Amount \$120.00  
For Alterations

BOOK #2  
Owner M. F. ...  
# 366711 Date 3-10-74 Amount 11.00 Finald - Cancel  
For Alterations

BOOK #2  
Owner H. P. ...  
# 416451 Date 3-3-77 Amount 11.00 Finald - Cancel  
For Alterations

Owner B. ...  
# 492913 Date 5-17-73 Amount 1.500 Finald - Cancel  
For Repairs

CNRD  
Owner H.T.H. ...  
# 83679 Date 7-11-70 Amount 1.000 Finald - Cancel  
For Alterations

CARDS  
Owner L. ...  
# 80254 Date 1-7-71 Amount 1.400 Finald - Cancel  
For Alterations

Owner H. ...  
# 88270 Date 10-31-75 Amount 4.300 Finald - Cancel  
For Alterations

Owner H. ...  
# 82439 Date 11-13-75 Amount 1.000 Finald - Cancel  
For Alterations

6. VARIANCES  
Zoning # 51 Date \_\_\_\_\_ For \_\_\_\_\_  
Building # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Housing # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_

7. Survey: Yes \_\_\_\_\_ No X Permit # \_\_\_\_\_ Plans in File: Yes X No \_\_\_\_\_ Permit No. \_\_\_\_\_

8. CERTIFICATE OF OCCUPANCY  
Yes \_\_\_\_\_ No X Date \_\_\_\_\_ # \_\_\_\_\_ For \_\_\_\_\_

9. CITY LICENSE  
Yes X No \_\_\_\_\_ Type Hotel  
Issued to \_\_\_\_\_ Address \_\_\_\_\_ Date \_\_\_\_\_

10. ADDITIONAL INFORMATION  
dated 9-12-72  
46305 Managers

W. Cater

Representative Kentofraks 3124 Reference Number 41005  
BUILDING AND HOUSING DEPARTMENT

1. Address #1 584-14th Street Date 10-17-75  
Address #2 \_\_\_\_\_

2. Zone District C-51 Fire District 1 Sanborn Map Number \_\_\_\_\_  
Page \_\_\_\_\_ Lot # \_\_\_\_\_ Lot Size \_\_\_\_\_

3. Block Book # \_\_\_\_\_ Tract and Block \_\_\_\_\_  
Owner \_\_\_\_\_ Distance \_\_\_\_\_ Address \_\_\_\_\_

4. W.P.A. Survey: Yr. Built \_\_\_\_\_  
Stories \_\_\_\_\_ Room \_\_\_\_\_ Families \_\_\_\_\_ Roomers \_\_\_\_\_ Type \_\_\_\_\_  
Garages \_\_\_\_\_ Basement \_\_\_\_\_ Cellar \_\_\_\_\_ Attic \_\_\_\_\_ Bath \_\_\_\_\_ W.C. \_\_\_\_\_  
Accessory Bldg. \_\_\_\_\_

5. BOOK #1 Morris & Muller Amount \$139,000  
Owner M. Friedman For 7<sup>th</sup> steel frame Hotel  
# 32598 Date 2-26-73 Finaled - Cancel

BOOK #2 M. Friedman Amount \$5500  
Owner M. Friedman For Alterations  
# A66241 Date 2-10-37 Finaled - Cancel

BOOK #3 H. C. Morris Amount \$300  
Owner H. C. Morris For Alteration  
# A66491 Date 3-3-37 Finaled - Cancel  
5-22-37

BOOK #4 B. Wooten Amount \$200  
Owner B. Wooten For Repairs  
# A98443 Date 5-19-43 Finaled - Cancel  
4-13-37

CARDS H. J. Demand & B. Wooten Amount \$1000  
Owner H. J. Demand & B. Wooten For Alterations  
# B3077 Date 2-10-44 Finaled - Cancel  
12-7-43

CARDS B. Wooten Amount \$4000  
Owner B. Wooten For Alteration  
# B3229 Date 6-7-45 Finaled - Cancel  
4-17-46

CARDS B. Wooten & Demand Amount \$200  
Owner B. Wooten & Demand For Alteration  
# B2076 Date 10-31-45 Finaled - Cancel  
4-13-46

CARDS W. Wooten Amount \$1000  
Owner W. Wooten For Alteration  
# B2134 Date 11-13-45 Finaled - Cancel  
4-25-46

6. VARIANCES None Finaled - Cancel  
Zoning # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Building # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Housing # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
4-27-46

7. Survey: Yes \_\_\_\_\_ No  Permit # \_\_\_\_\_ Plats in File: Yes  No  Permit No. 33540

8. CERTIFICATE OF OCCUPANCY  
Yes \_\_\_\_\_ No  Date \_\_\_\_\_ # \_\_\_\_\_ For \_\_\_\_\_

9. CITY LICENSE  
Yes  No \_\_\_\_\_ Type Hotel  
Issued to W. Wooten Address \_\_\_\_\_ Date 4-27-76

10. ADDITIONAL INFORMATION outstanding housing letter dated  
9-29-75 Sign Permit # 40385

FOR OFFICE USE ONLY

HOUSING DIVISION \_\_\_\_\_  
 FIRE MARSHAL APPROVAL \_\_\_\_\_  
 SPECIAL ACTIVITY PERMIT NO. \_\_\_\_\_  
 MOVING PERMIT NO. \_\_\_\_\_  
 PORT OF OAKLAND APPROVAL \_\_\_\_\_  
 PLUMBING PERMIT NO. \_\_\_\_\_  
 HEALTH DEPT. APPROVAL \_\_\_\_\_  
 B O F E & A ITEM NO. \_\_\_\_\_  
 H A R A B RES. NO. \_\_\_\_\_  
 ZONING OR PLANNING NO. \_\_\_\_\_

BUILDING & HOUSING DEPARTMENT - CITY OF OAKLAND  
 WRITE IN INK - FILE ALL COPIES

DATE FILED FEB -3 1976 PERMIT NO. (87821)  
 DATE ISSUED \_\_\_\_\_ APPLICATION FOR PERMIT TO:  
 ALTER ADD TO NEW CONSTR.  
 REPAIR WRECK OTHER \_\_\_\_\_  
 JOB LOCATION 584 14th St.  
 OWNER'S NAME Bill BASINET  
 OWNER'S ADDRESS 610 Bldg.  
 OWNER'S PHONE NO. 832-1628  
 FIELD CHECK BY \_\_\_\_\_ DATE \_\_\_\_\_  
 Approved YES \_\_\_\_\_  
 REMARKS (conditions noted) \_\_\_\_\_

584-88 14th St (Roof)  
 Receipt No.

VALUE: B. R. Tax \$ \_\_\_\_\_  
 SMIP \$ 20  
 Address Fee \$ \_\_\_\_\_  
 General Fee \$ 24  
 Checking Fee \$ 14.40  
 TOTAL FEES \$ 38.40  
 ADDITIONAL COST: Add'l Fee \$ \_\_\_\_\_  
 Add'l \$ \_\_\_\_\_  
 Add'l \$ \_\_\_\_\_  
 Add'l SMIP \$ \_\_\_\_\_  
 TOTAL VALUE: TOTAL FEES \$ \_\_\_\_\_  
 PLAN FILED Yes \_\_\_\_\_ No \_\_\_\_\_ SURVEYS FILED Yes \_\_\_\_\_ No \_\_\_\_\_  
 MAP NO. 78 TRACT NAME/NO. \_\_\_\_\_  
 TYPE OF BUILDING (1) II III IV V HT. 1 br. N  
 OCCUPANCY GROUP A B C D E (F) (H) I J  
 ZONING DISTRICT R C M S  
 FIRE ZONE (2) 3

NEW CONSTRUCTION

Size of new building \_\_\_\_\_ Number of Families \_\_\_\_\_  
 Height to highest point \_\_\_\_\_ Size of Lot \_\_\_\_\_  
 No. of Stories \_\_\_\_\_ Material of Exterior Walls \_\_\_\_\_  
 Specific type of Occupancy \_\_\_\_\_  
 State how many buildings now on lot \_\_\_\_\_  
 and give use of each \_\_\_\_\_  
 Footing Width \_\_\_\_\_ Depth to Ground \_\_\_\_\_ Width of Wall \_\_\_\_\_ Mudfill \_\_\_\_\_  
 Studs \_\_\_\_\_ ctrs. Floor Joists \_\_\_\_\_ ctrs. Ceiling Joists \_\_\_\_\_ ctrs.  
 Rafters \_\_\_\_\_ ctrs. Roof Covering \_\_\_\_\_

VALUATION OF PROPOSED WORK: \$ 2600.00  
 Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electric wiring and elevator equipment therein or thereon.

COST OF WORK TO BE CHECKED BEFORE FINAL INSPECTION.  
 Permission is hereby granted to do the work described in this application in accordance with the provisions of the Oakland Building Code and related ordinances.

Approved: DANIEL W. FINEMANN  
 Chief Building Inspector  
 By: [Signature]

TO BE SIGNED ONLY WHEN ISSUED TO OWNER. I hereby certify that I am the applicant for a Building Permit, and that in the performance of the work for which such permit is issued, I will not employ any person or persons in any manner so as to become subject to the provisions of the Labor Code of the State of California relating to workmen compensation insurance.	CONSTRUCTION LENDER (If none, write none)		
	Name _____	City _____	State _____ Zip _____
Signature of Owner _____	Branch _____	Street Address _____	

ADDITION ALTERATION REPAIR  
 Present use of building HOTEL Families 103  
 Proposed use of building HOTEL Families 103  
 Size of existing building \_\_\_\_\_ Number of stories high 7  
 Describe briefly all proposed construction work: REMOVE 8 WOODEN DOORS  
 AND REPLACE WITH ALUMINUM 4" INSERT SLIDING  
 REMOVE AND REPLACE 2-3'0" 6" EXT. DOORS AND  
 REPLACE CLOSE OFF 1-3'17" AREA  
 CLOSE OFF 1-4'17" AREA Pen's House  
 Contractor: (if any) LAM CONSTRUCTION Certified Architect  
 Address 1623 MACARTHUR BLVD. Licensed Civil Engineer  
 Phone No. 562-8624  
 State License No. 18088 City License Exp. Jan 31 1976  
 I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any way accrue against the City in consequence of the granting of this permit or from its use or occupancy of any sidewalk, street or sub-tidewalk, or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.  
 E.A. Jani  
 Signature of Applicant

FOR INSPECTIONS TELEPHONE 233-3441

DEPARTMENT COPY

APPROVAL REQUIRED BY OFFICE OF PUBLIC WORKS:  
There are no PROPOSED STREET OPENINGS, PUBLIC EASEMENTS OF RECORD

or  
In this Office which are in conflict with this application.  
REMARKS:

OFFICE OF PUBLIC WORKS

By \_\_\_\_\_ Date \_\_\_\_\_

PLOT PLAN

FORMS OK

FIREPLACE OK

WIRE (EXT.) OK 2-20-76 *CSW*

LATH (INT.) OK

ROUGH OK 2-6-76 *CSW*

GYPSUM SD. OK 2-20-76 *CSW*  
PLASTER OK

2-25-76 *Job complete means  
to them.*

2-9-76 *Willboard siding  
in east pm CSW*

FINAL OK 3-10-76 *CSW*

## Attachment D

**SUTTER 'HOTEL' = 500/APTS**

**COMMERCIAL BUILDING RECORD**  
 584 1/2 588 - 14<sup>TH</sup> STREET  
 ADDRESS 1414 JEFFERSON ST.

PARCEL 3-67-17  
 SHEET 1 OF 2 SHEETS

**DESCRIPTION OF BUILDING**

CLASS & SHAPE	CONSTRUCTION	STRUCTURAL	EXTERIOR			FRONT		LIGHTING		AIR CONDITION		ROOM AND FINISH DETAIL																	
			Light	Sub-Standard	Frame	F	L	R	B	X	Flat	Wiring	X	Heating	Cooling	ROOMS	FLOORS			FLOOR FINISH		TRIM	INTERIOR FINISH						
ARCHITECTURE	Standard	Concrete						X	Recessed	K.T.	X	Conduit	X	Forced	Clean'g	Store	B	1	2	3	Typ	Top	Material	Grade	TRIM	Walls	Ceilings		
A 6 A.	Sub-Standard	Concrete						X	Recessed			X	Conduit	X	Forced	Clean'g	Store						AST. T. 1/4 W. W. CRT	A	OP.	PL-PT	PL-PT		
	Heavy	X Brick 13+17"	X	X					Transom:	X	Bx.	Cable		Gravity	Humid.	ALL.			X	X	X	X	W. W. CRT	A-G.	OP.	PL-PAFT	PL-PAFT		
8 Stories	Special	Reinforced							Terra Cotta	X	Plate Glass in	Few	Cheap	Floor Unit		Office													
USE TYPE		Pilasters							Stucco	X	Sheet Glass in	X	Avg.	X	Med.	Zone Unit	Lobby						TERRAZZO	A.					
Apartment X 8 <sup>TH</sup> FL.	FOUNDATION	Ct. Bond Beam							X	Metal	Wood	Many	Good	Central"		Hall													
Garage	X	Concrete							Curtain Walls	X	Bulkhead: METAL					Lavatory													
Hotel (X) 2 To 7		X							Partitions: 16'		ROOF	X	STANDARD GLASS		PLUMBING	X	Steam												
Loft	Reinforced	X							HGT. 17'	X	Flat				Poor	Good	Hot Water												
Market		Partly Wall							Trusses		Back Trim:																		
Office	Light	Heavy										X	273	Fixtures	Oil Burner	Bath													
Store 1 <sup>ST</sup> FL.		X							Conc. Floor						Water Heater	GAS, M-B.T.U.	Kitchen						1	LINO	A.				
Theatre		Wood Floor							X	Composition & R.	Lighting				Gas	Electric	B.S.M.T.								CONC.	B.	OP.	S.P.L.	UNT.
		Sub Floor							Tile	Trim	Drop Ceiling				Water Softener														

CONSTRUCTION RECORD				EFFEC. APPR. NORMAL % GOOD				RATING (E,G,A,F,P)						BATH & LAVATORY DETAIL													
Permit		Amount	Date	YEAR	YEAR	Age	Remaining Life	Table	%	Cond	Arch. Attr.	Func. Plan	Con-form	Storage Space	Work-ship	Fl. No.	FINISH			FIXTURES				SHOWER			
No.	For															Floors	Walls	Wc.	La.	Tub	Ur.	Type	Grade	St.	Q.T.	6.D.	Finish
			1912E	1912	1953	41	31	04.76	75	A-F	A	A	A		A-G.	44	6	T.I. W. ASD. YI	PL-PT	8	6	3	MOD.	STD.			
			1912E	1912	1958	46	27	02.70	67						A	2	14	T.I.	PL-PT	14	16	6	MOD.	STD.	5		METAL.
			1912	1976	64	17	02.70	48	A	A	A	A		A	3.45	70	T.I.	PL-PT	70	80	30	MOD.	STD.	25		METAL.	
57832	ALT	2200	2-4-76	1949	2017										9	3	2-LINO 1-TI	SH. TR. PT	3	3	3	MOD.	STD.				
757221	ALT	2600	2-3-76																								
157	FIN	-	10-17-77																								
31597	ALT	15,600	5-20-84																								
FIELD	ALT	#	10/18/89																								
1470435	T.I.	75,000	12-8-04																								

**SPECIAL FEATURES**  
 Refrigeration: \_\_\_\_\_ Built-in Beds: \_\_\_\_\_  
 Elevators: 1-8 PASSENGER - 1000 LBS. - CABLE  
 2-2 SIDE WALK LIFTS.  
 Sprinklers: NO

**COMPUTATION**

Appraiser & Date	REA - 10 - 1-54	Lomba 2-5-59	TANAKA 6-24-76	Unit Cost												
1 <sup>ST</sup>	51.50	8.50	43,775	12.00	61,800	19.10	98,365									
FRONT #2 & 10 <sup>TH</sup> FL.	50	70.00	4500	100.00	5000	214.00	10700									
FRONT 1 & 2	100	40.00	4000	50.00	5000	107.00	10700									
B.S.M.T.	7254	4.00	29016	4.00	29016	6.40	46425									
2 <sup>ND</sup> FL.	4727	10.80	51,051	13.70	62,396	21.70	102,575									
3 INC. 7 + 4%	23635	11.20	264,712	13.70	323,799	22.60	534,151									
TENTHOUSE 8 <sup>TH</sup> FL.	2062	7.00	14,434	8.50	17,527	13.90	28,661									
A.C.	35574	.80	28,459	1.00	35,574	1.43	50,870									
ELEVATOR	1	33,500.00	33,500		11,000		37,000									
ELEVATOR	2	1500.00	3,000	2000.00	4,000	6100.00	12,200									
PARTITION	132	16.00	2,112	17.60	2,323	25.60	3,379									
<b>TOTAL</b>																
<b>NORMAL % GOOD</b>																
<b>R.C.L.N.D.</b>																

I certify that the information is from a record on file in the Office of Assessor, County of Alameda, as of 03/05/19.  
 Attest:  
 PHONG LA. ASSESSOR  
 COUNTY OF ALAMEDA  
 BY: \_\_\_\_\_

Structure	Found	Cons.	Ext.	Roof	Floor	Int.	Size, etc.
SIGN A	N.E.	N	4 x 7 1/2	1 x 5			2
SIGN B	N.E.	N	4 x 2 1/2				1
SIGN C	N.E.	N	4 x 8 1/2				1
BALCONY	FIRE ESCAPE	GROUND LADDERS	STAIRS				6
STAIRS A.	FIRE ESCAPE	BETWEEN BALCONIES					5
LADDER.	FIRE ESCAPE	TO ROOF					1
STAIRS B.	FIRE ESCAPE	COUNTER BALANCE					1
C-FLAT		NONE					N.V.

### COMPUTATIONS

1st		Penthouse 8th	
50 x 103 =	5150	34 x 10 =	340
		43 x 12 =	516
2nd Fl.		34 x 27 =	918
50 x 103 =	5150	24 x 12 =	288
	- 422		2062
	4727	Canopy	
2nd to 7th		32 x 8 =	256
50 x 103 =	5150		
	- 422		
	4727 x 5 =		23635
Permit.			
62 x 117 =	7254		

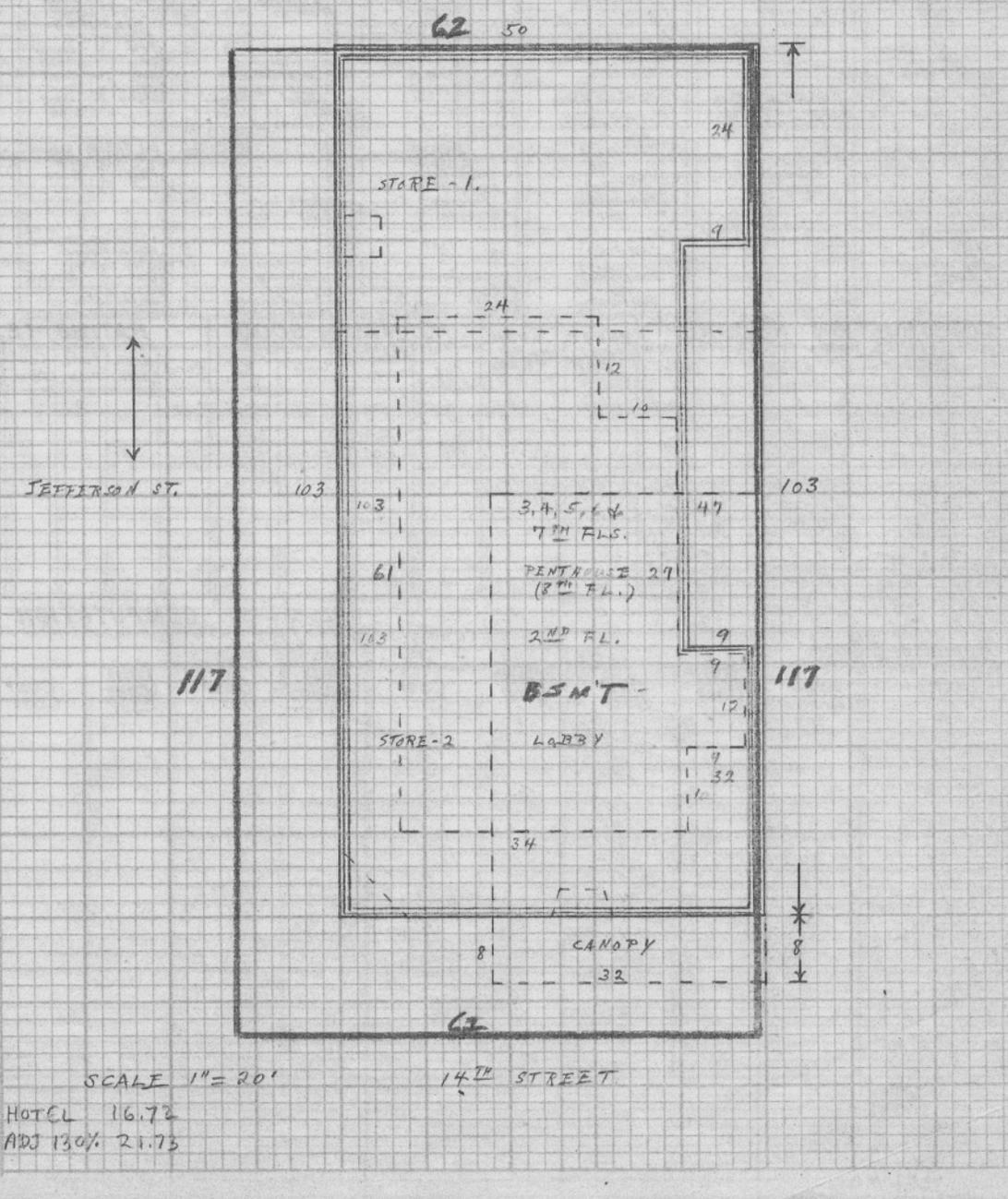
**Remarks:** PENTHOUSE OR 8<sup>TH</sup> FL. IS "D" CONSTRUCTION. THE PARTITIONS ARE SINGLE WALL PLYWD. OR SH. RK & PA. YPT. ORIGINALLY A TRADM ACCORDING TO OWNER - NOW USED AS AN APT. & HAS 3 COMPL. BATHS. HOTEL RM. & BATH INFORMATION OBTAINED FROM OWNER. 96 RMS. TO RENT - 6 RMS OPEN FOR FIRE ESCAPE.

% GOOD LOWERED FOR ECON. OBSOL. - FLMS 3-8-55  
 " " " " " - VANBUSKIRK 10-5-55

Physical condition considered of upper story in overall 44% Good lower 8-5-59  
 ADJ. 1<sup>ST</sup> FL. (HGT OR. AREA ST. & A CONST. + 25%) + 25%  
 ADJ. 2<sup>ND</sup> FL. HOTEL = "A" CONST. + 25% (1100)

#B1587 Int. Alt. OK Claril 1-6-59  
 Filed 10/18/59 OWNER WANTS TO RMDL THE HOTEL. DID SOME REPAIRS BUT NO MAJOR WORK DONE BECAUSE DID NOT GET THE FUNDING FROM THE LENDER. OK AS IS. FRANCISCO 11/3/01 will need to take out Permit For Work To Be Done D.L. 11/1/01

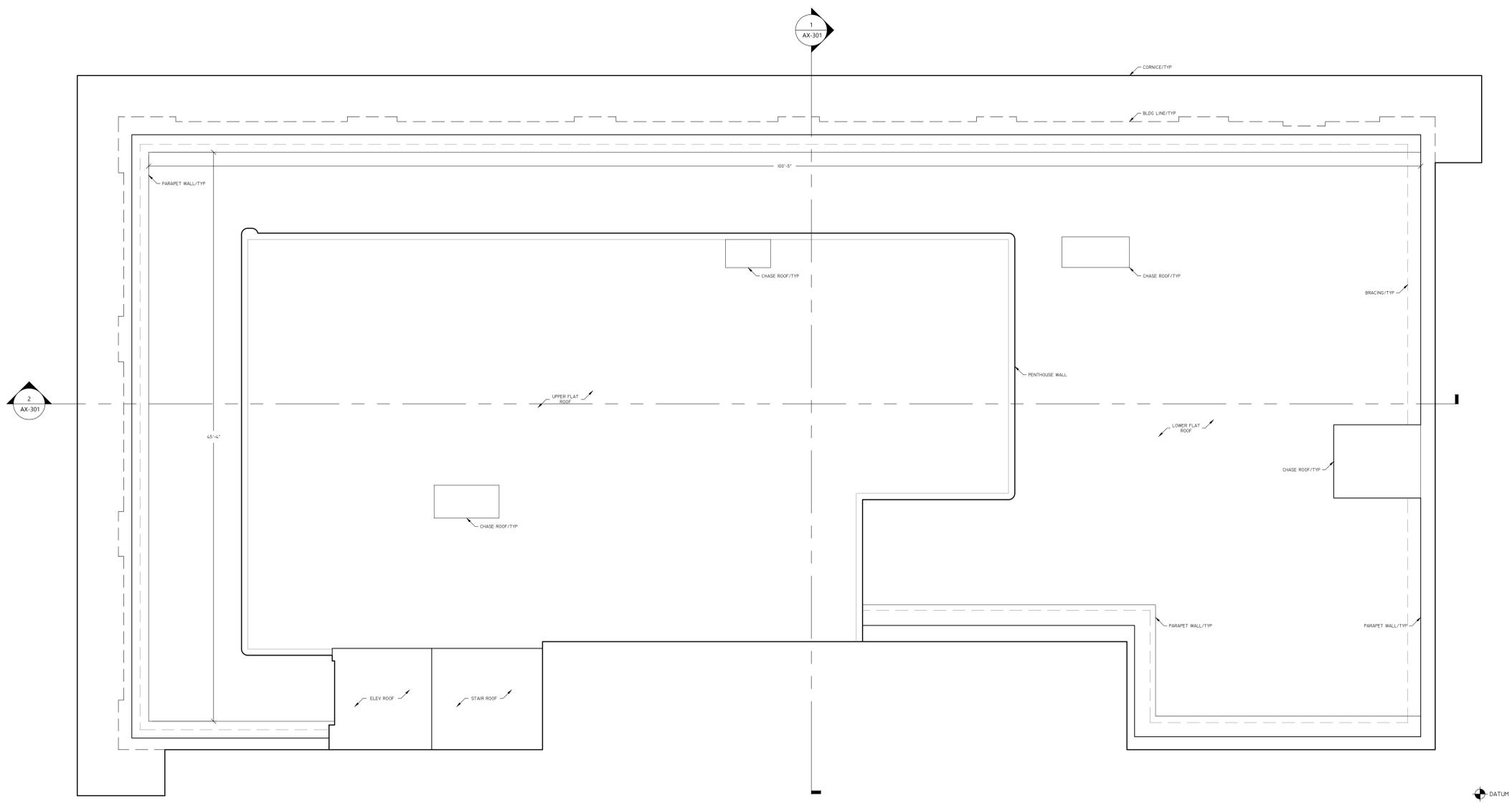
# 204-80495: 113 FROM 12-30-03, PER C.O. PRIOR USE WAS RESTAURANT AND THIS IS REPLACEMENT OF PRIOR USE FOR NEW TENANT. LANSON 1-3-06



SCALE 1" = 20'  
 HOTEL 16.72  
 ADJ 130% 21.73



Attachment E



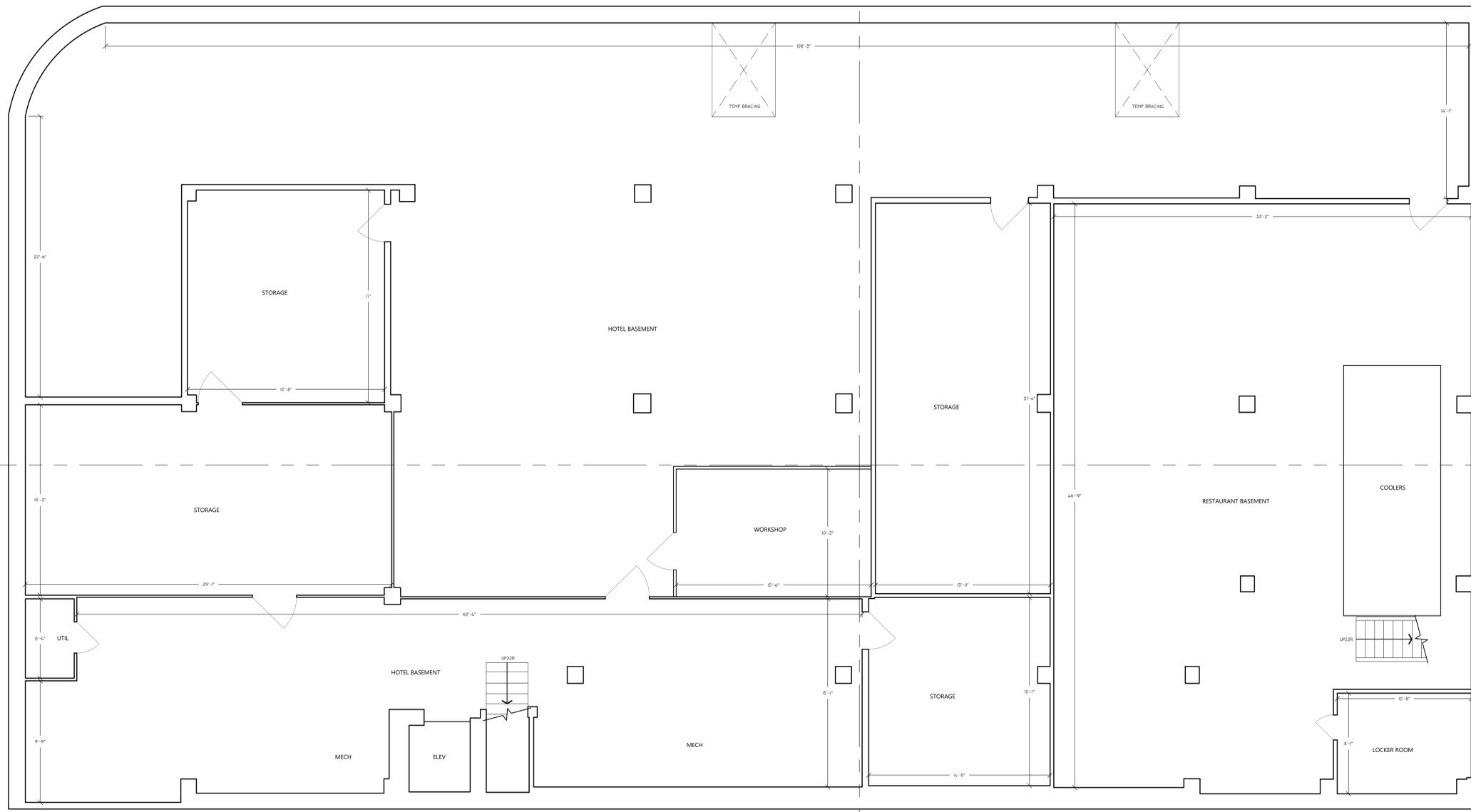
1 EXISTING ROOF PLAN  
5,480 SQFT ROOF PLAN

GUTTERS AND DOWNSPOUTS NOT SHOWN, UNLESS NOTED OTHERWISE.

584 14TH ST OAKLAND, CA	
<small>THIS DRAWING IS A RECORD OF REAL PROPERTY THAT IS GENERALLY ACCEPTED TO BE SETTABLE FOR USE IN PLANNING, DESIGN, LEASE AND GENERAL ASSET MANAGEMENT. IT SHOULD NOT BE USED TO DETERMINE EXACT MEASUREMENTS OF SPACES OR ARTIFACTS FOUND HEREIN FOR ANY PURPOSE.</small> <small>EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY. THIS IS NOT A SURVEY.</small>	 <b>ASBUILT SERVICES</b> FOR THE RECORD SINCE 1990 1-800-318-0099 ASBUILTSERVICES.COM
EXISTING ROOF PLAN	
REF: 584st_Oak_Hotel REV: 0 DRAWN BY: JRJ AUDITED BY: JK	SHEET SIZE: 30x42 SCALE: 1/4"=1'-0" FIELD MEASURE: 9/18/16
<b>AX-100</b> <small>1 OF 24</small>	

1  
AX-101

2  
AX-301



1 EXISTING BASEMENT LEVEL FLOOR PLAN  
7,498 SQFT GROSS MEASURED AREA

INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL  
SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING  
DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

584 14TH ST  
OAKLAND, CA

THIS DRAWING IS A RECORD OF REAL PROPERTY THAT IS GENERALLY ACCEPTED TO BE RELIABLE FOR USE IN PLANNING, DESIGN, LEASE AND GENERAL ASSET MANAGEMENT. IT SHOULD NOT BE USED TO DETERMINE EXACT MEASUREMENTS OF SPACES OR ARTIFACTS FOUND HEREIN FOR ANY PURPOSE.  
EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY - THIS IS NOT A SURVEY.

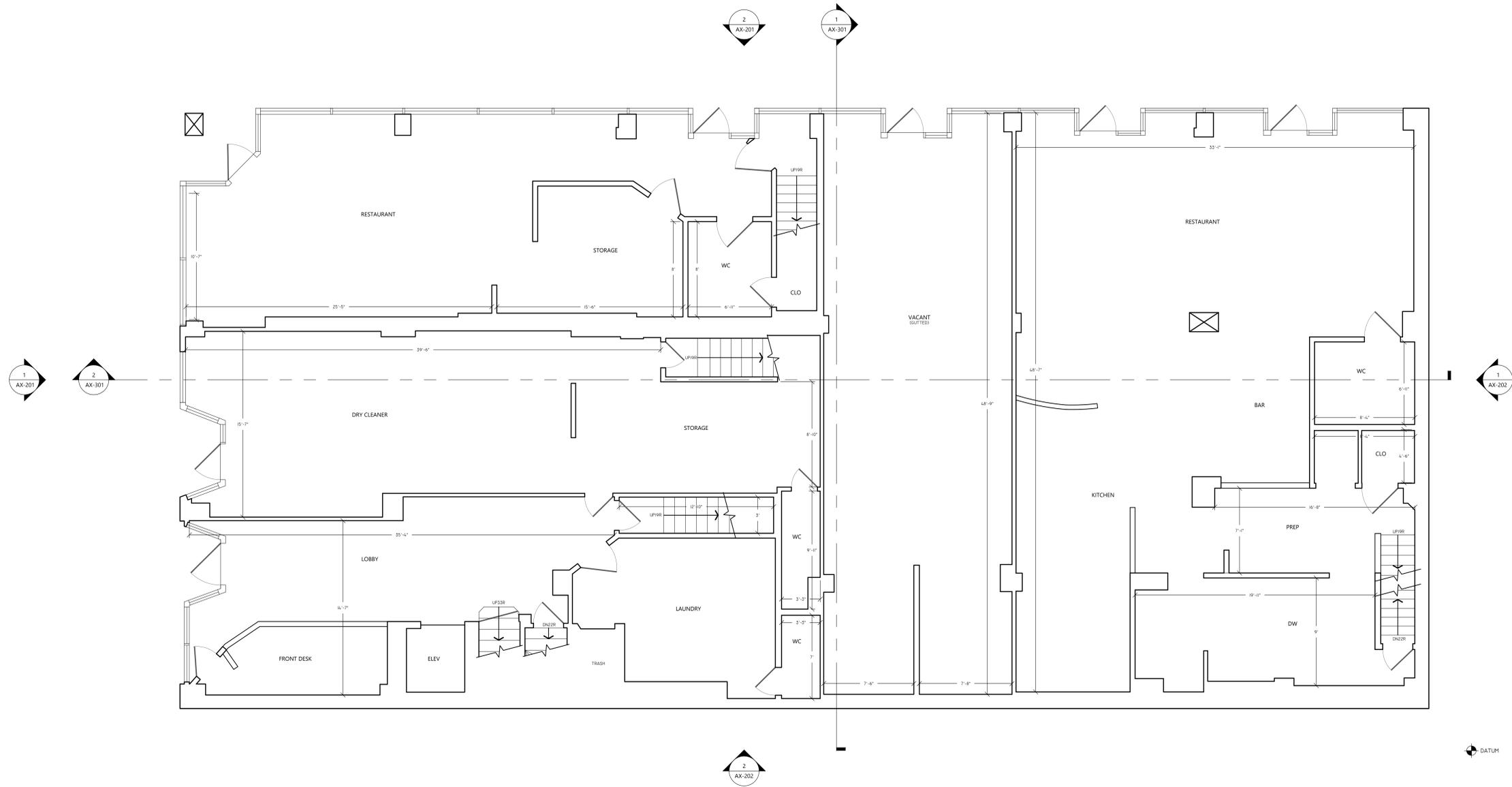


EXISTING FLOOR PLAN

REF: 584st\_Oak\_Hotel  
REV: 0  
DRAWN BY: JRJ  
AUDITED BY: JK

SHEET SIZE: 30x42  
SCALE: 1/4"=1'-0"  
FIELD MEASURE:  
9/18/16

AX-101  
2 OF 24



1 EXISTING ENTRY LEVEL FLOOR PLAN  
5,108 SQFT GROSS MEASURED AREA

INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL  
SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING  
DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL

584 14TH ST  
OAKLAND, CA

THIS DRAWING IS A RECORD OF REAL PROPERTY THAT IS GENERALLY ACCEPTED TO BE SUITABLE FOR USE IN PLANNING, DESIGN, LEASE AND GENERAL ASSET MANAGEMENT. IT SHOULD NOT BE USED TO DETERMINE EXACT MEASUREMENTS OF SPACES OR ARTIFACTS FOUND HEREIN FOR ANY PURPOSE.

EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY - THIS IS NOT A SURVEY.

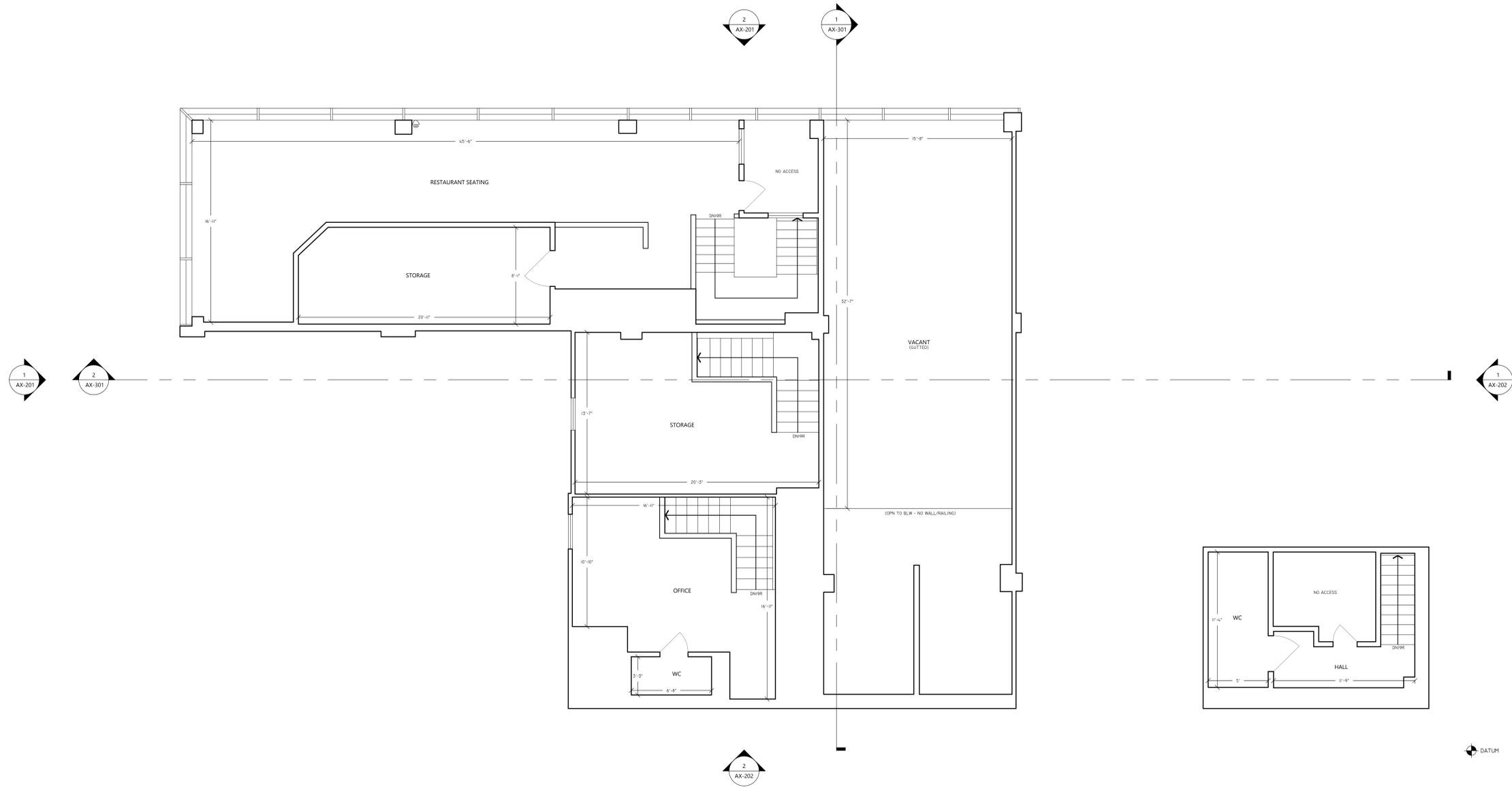


EXISTING FLOOR PLAN

REF: 584st\_Oak\_Hotel  
REV: 0  
DRAWN BY: JRV  
AUDITED BY: JK

SHEET SIZE: 30x42  
SCALE: 1/4"=1'-0"  
FIELD MEASURE:  
9/18/16

AX-102  
3 OF 24



1 EXISTING MEZZANINE LEVEL FLOOR PLAN  
2,732 SQFT GROSS MEASURED AREA

INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL  
SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING  
DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL

584 14TH ST  
OAKLAND, CA

THIS DRAWING IS A RECORD OF REAL PROPERTY THAT IS GENERALLY ACCEPTED TO BE SUITABLE FOR USE IN PLANNING, DESIGN, LEASE AND GENERAL ASSET MANAGEMENT. IT SHOULD NOT BE USED TO DETERMINE EXACT MEASUREMENTS OF SPACES OR ARTIFACTS FOUND HEREIN FOR ANY PURPOSE.  
EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY - THIS IS NOT A SURVEY.

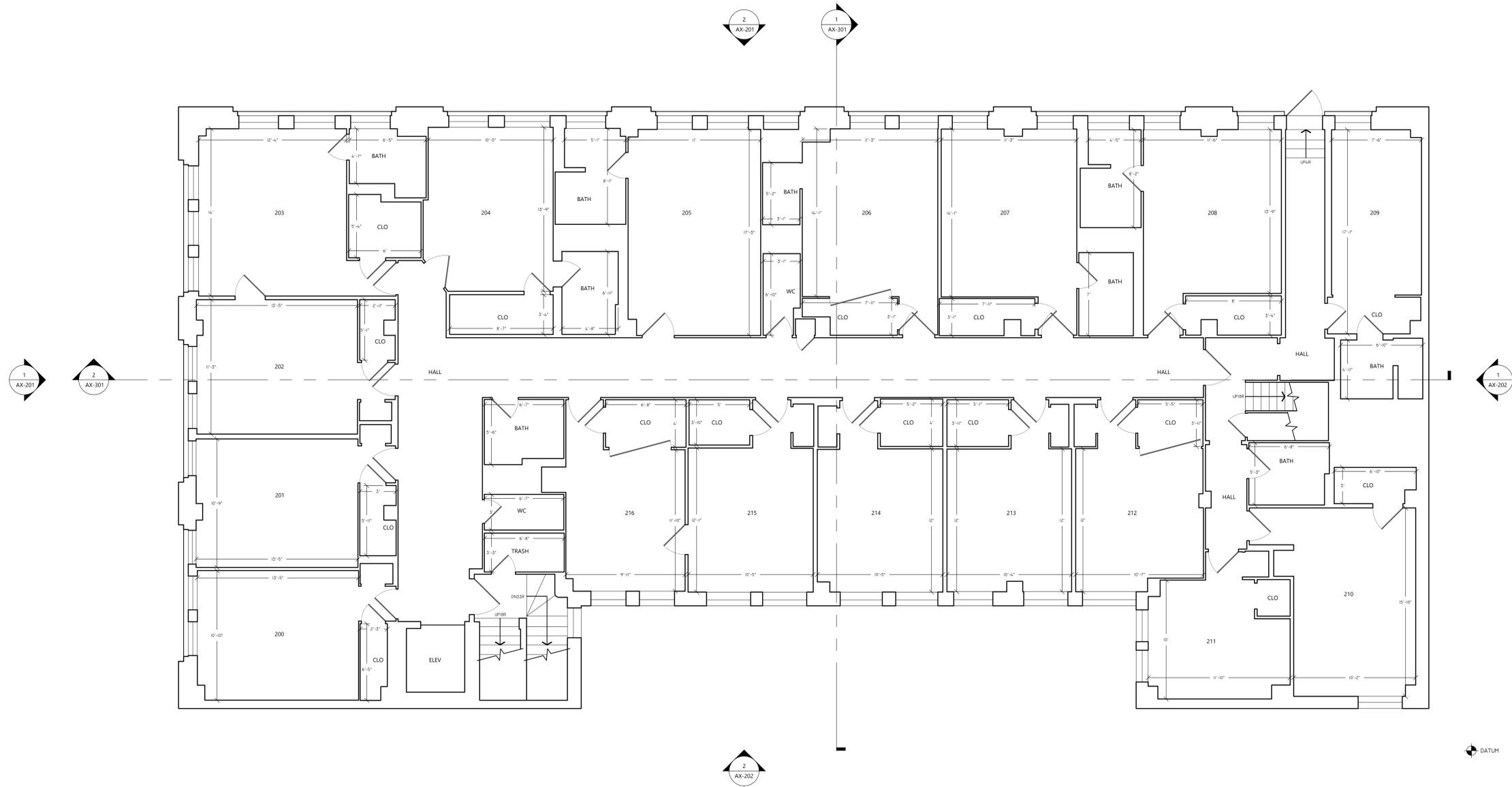


EXISTING FLOOR PLAN

REF: 584st\_Oak\_Hotel  
REV: 0  
DRAWN BY: JRV  
AUDITED BY: JK

SHEET SIZE: 30x42  
SCALE: 1/4"=1'-0"  
FIELD MEASURE:  
9/18/16

AX-103  
4 OF 24



1 EXISTING SECOND LEVEL FLOOR PLAN  
4,800 SQFT GROSS MEASURED AREA

CHASE WINDOWS INACCESSIBLE  
INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL  
SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING  
DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

584 14TH ST  
OAKLAND, CA

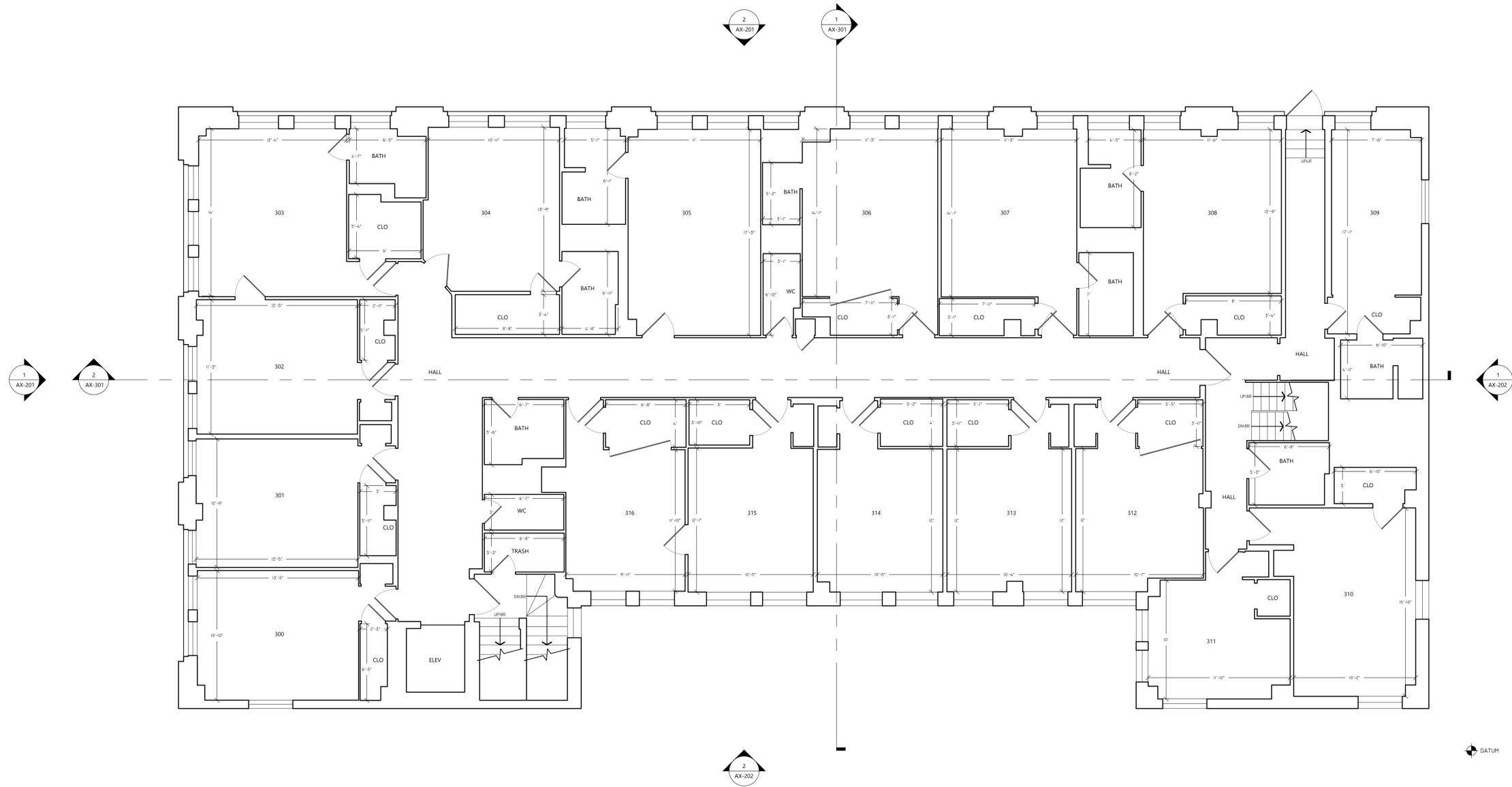


EXISTING FLOOR PLAN

REF: 584st\_Oak\_Hotel  
REV: 0  
DRAWN BY: JRV  
AUDITED BY: JK

SHEET SIZE: 30x42  
SCALE: 1/4"=1'-0"  
FIELD MEASURE:  
9/18/16

AX-104  
5 OF 24



1 EXISTING THIRD LEVEL FLOOR PLAN  
4,800 SQFT GROSS MEASURED AREA

CHASE WINDOWS INACCESSIBLE  
INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL  
SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING  
DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

584 14TH ST  
OAKLAND, CA



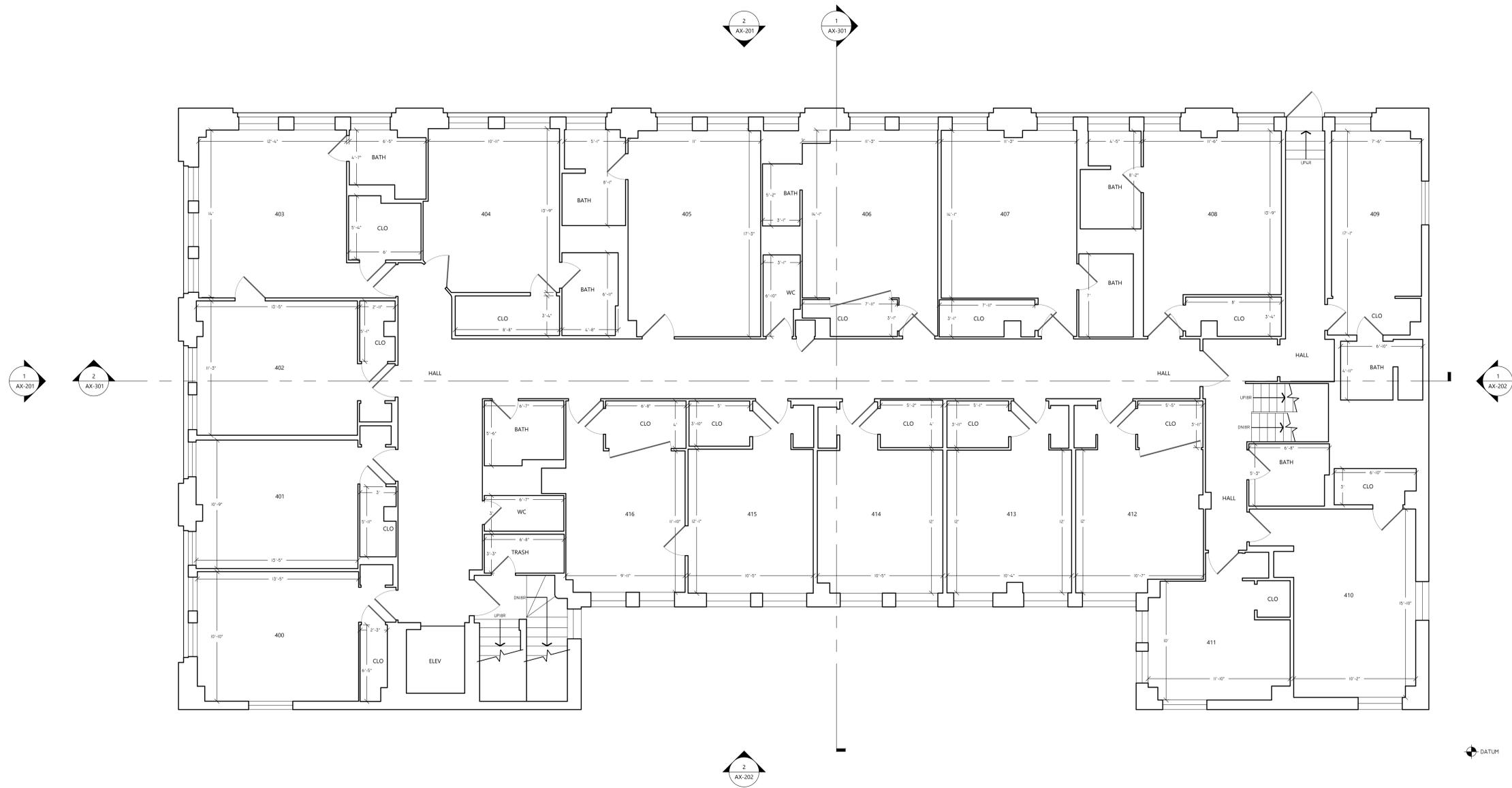
THIS DRAWING IS A RECORD OF REAL PROPERTY THAT IS GENERALLY ACCEPTED TO BE SUFFICIENT FOR USE IN PLANNING, DESIGN, LEASE AND GENERAL ASSET MANAGEMENT. IT SHOULD NOT BE USED TO DETERMINE EXACT MEASUREMENTS OF SPACES OR ARTIFACTS FOUND HEREIN FOR ANY PURPOSE.  
EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY - THIS IS NOT A SURVEY.

EXISTING FLOOR PLAN

REF: 584st\_Oak\_Hotel  
REV: 0  
DRAWN BY: JRJ  
AUDITED BY: JK

SHEET SIZE: 30x42  
SCALE: 1/4"=1'-0"  
FIELD MEASURE:  
9/18/16

AX-105  
6 OF 24



1 EXISTING FOURTH LEVEL FLOOR PLAN  
4,800 SQFT GROSS MEASURED AREA

CHASE WINDOWS INACCESSIBLE  
INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL  
SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING  
DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

584 14TH ST  
OAKLAND, CA



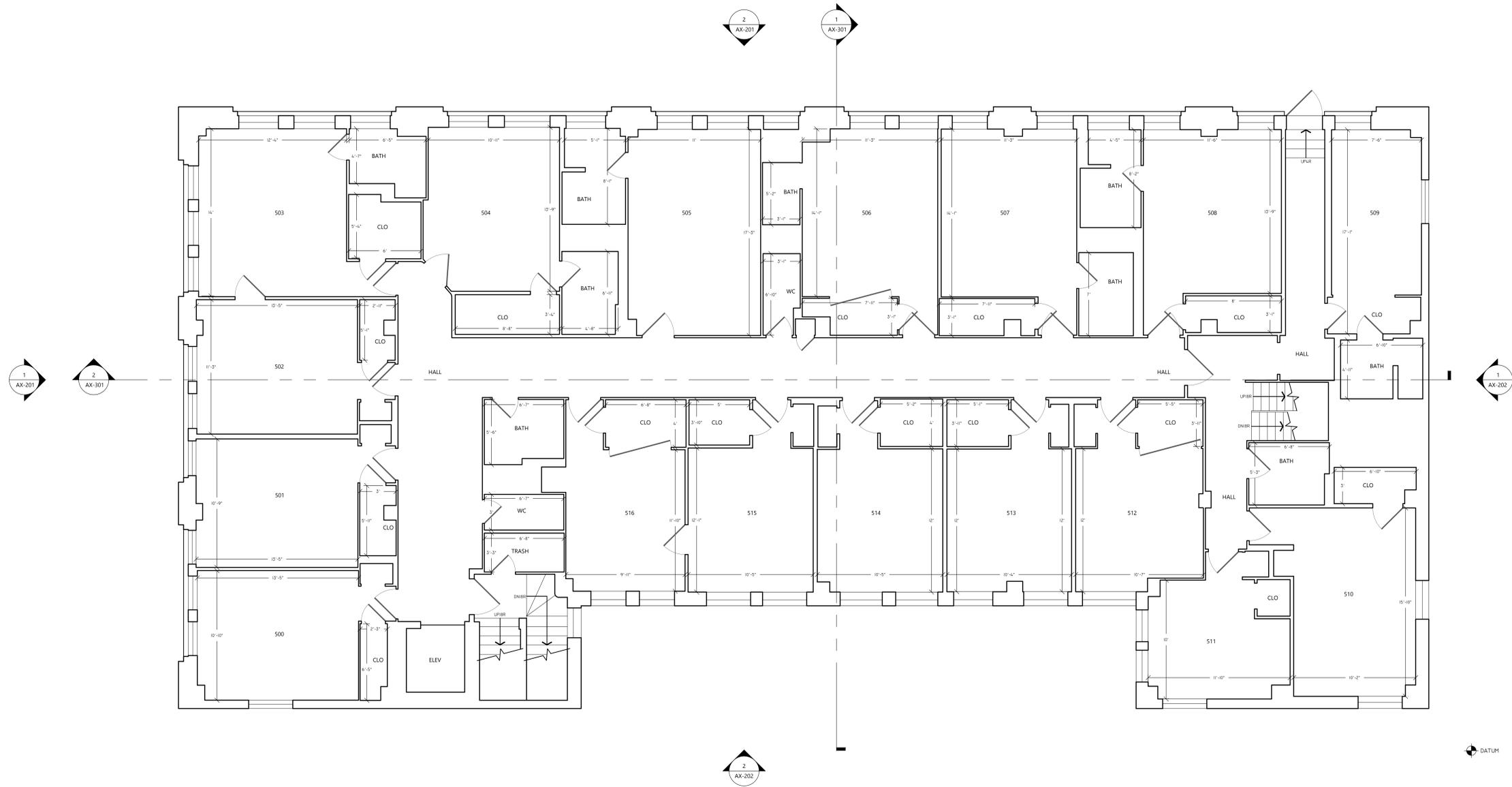
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EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY. THIS IS NOT A SURVEY.

EXISTING FLOOR PLAN

REF: 584st\_Oak\_Hotel  
REV: 0  
DRAWN BY: JRV  
AUDITED BY: JK

SHEET SIZE: 30x42  
SCALE: 1/4"=1'-0"  
FIELD MEASURE:  
9/18/16

AX-106  
7 OF 24



1 EXISTING FIFTH LEVEL FLOOR PLAN  
4,800 SQFT GROSS MEASURED AREA

CHASE WINDOWS INACCESSIBLE  
INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL  
SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING  
DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

584 14TH ST  
OAKLAND, CA



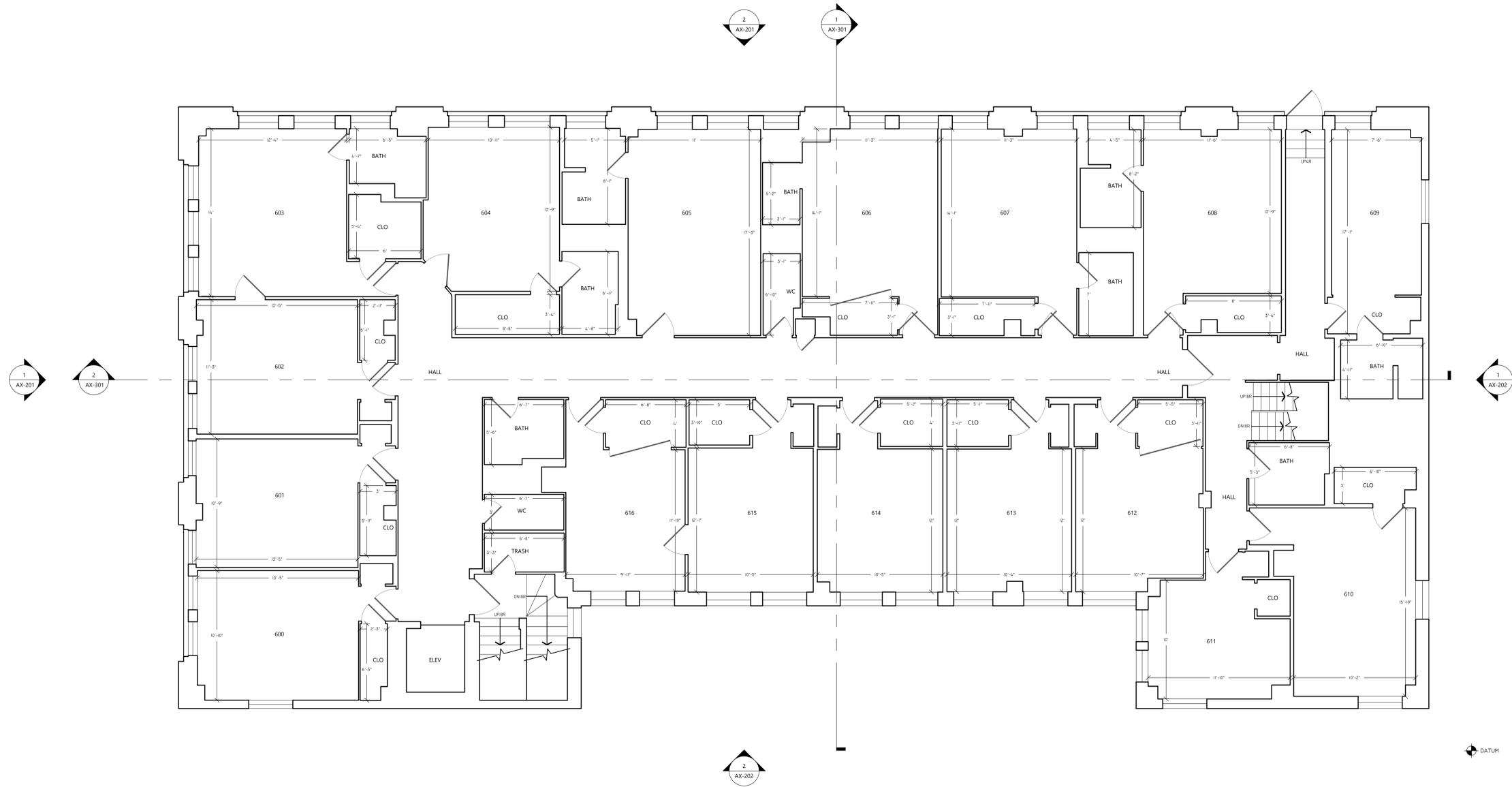
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EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY - THIS IS NOT A SURVEY.

EXISTING FLOOR PLAN

REF: 584st\_Oak\_Hotel  
REV: 0  
DRAWN BY: JRJ  
AUDITED BY: JK

SHEET SIZE: 30x42  
SCALE: 1/4"=1'-0"  
FIELD MEASURE:  
9/18/16

**AX-107**  
8 OF 24



1 EXISTING SIXTH LEVEL FLOOR PLAN  
4,800 SQFT GROSS MEASURED AREA

CHASE WINDOWS INACCESSIBLE  
INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL  
SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING  
DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

584 14TH ST  
OAKLAND, CA



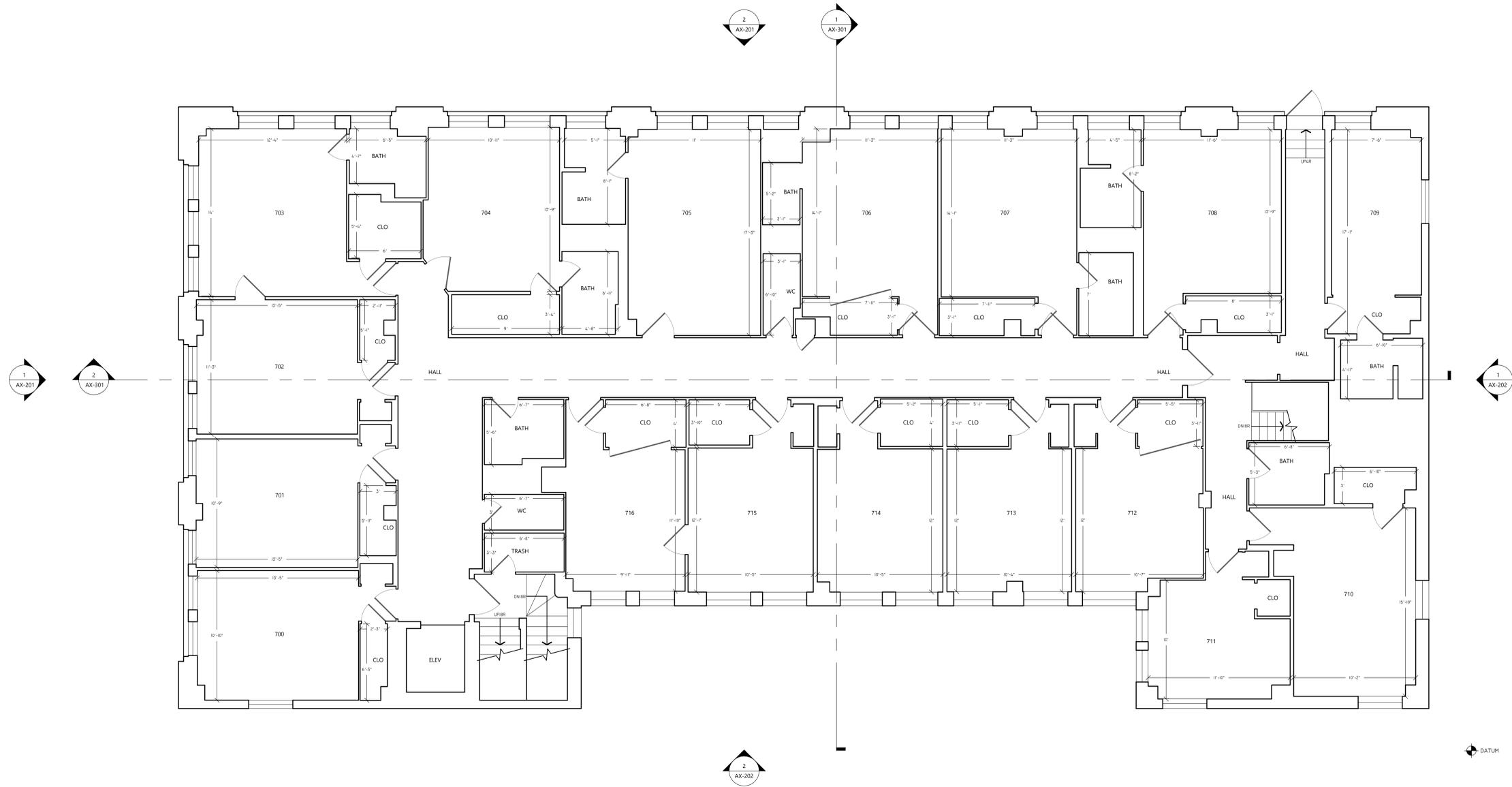
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EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY - THIS IS NOT A SURVEY.

EXISTING FLOOR PLAN

REF: 584st\_Oak\_Hotel  
REV: 0  
DRAWN BY: JRV  
AUDITED BY: JK

SHEET SIZE: 30x42  
SCALE: 1/4"=1'-0"  
FIELD MEASURE:  
9/18/16

AX-108  
9 OF 24



1 EXISTING SEVENTH LEVEL FLOOR PLAN  
4,800 SQFT GROSS MEASURED AREA

CHASE WINDOWS INACCESSIBLE  
INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL  
SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING  
DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

584 14TH ST  
OAKLAND, CA



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EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY - THIS IS NOT A SURVEY.

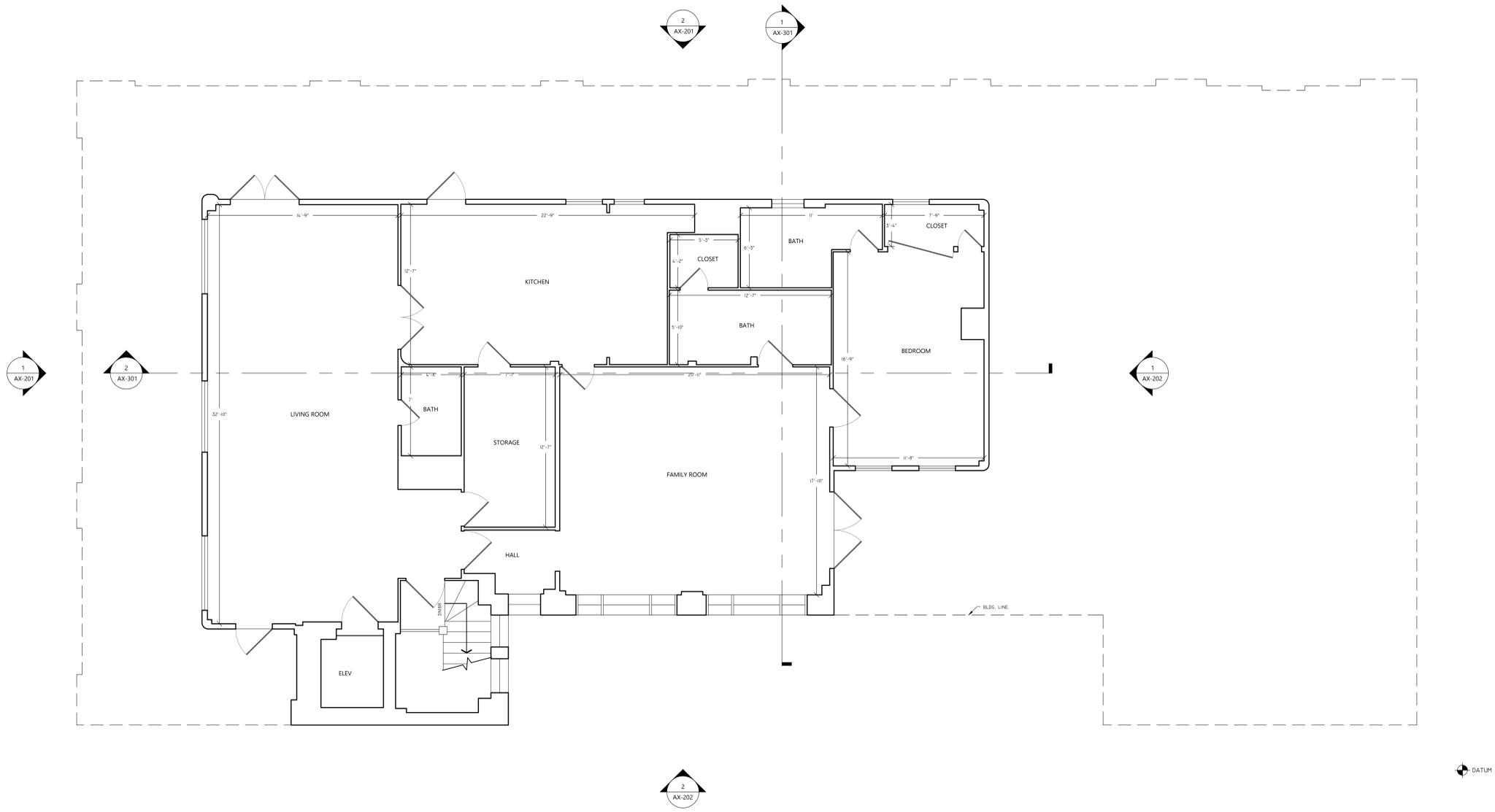
1-800-318-0099 ASBUILTSERVICES.COM

EXISTING FLOOR PLAN

REF: 584st\_Oak\_Hotel  
REV: 0  
DRAWN BY: JRV  
AUDITED BY: JK

SHEET SIZE: 30x42  
SCALE: 1/4"=1'-0"  
FIELD MEASURE:  
9/18/16

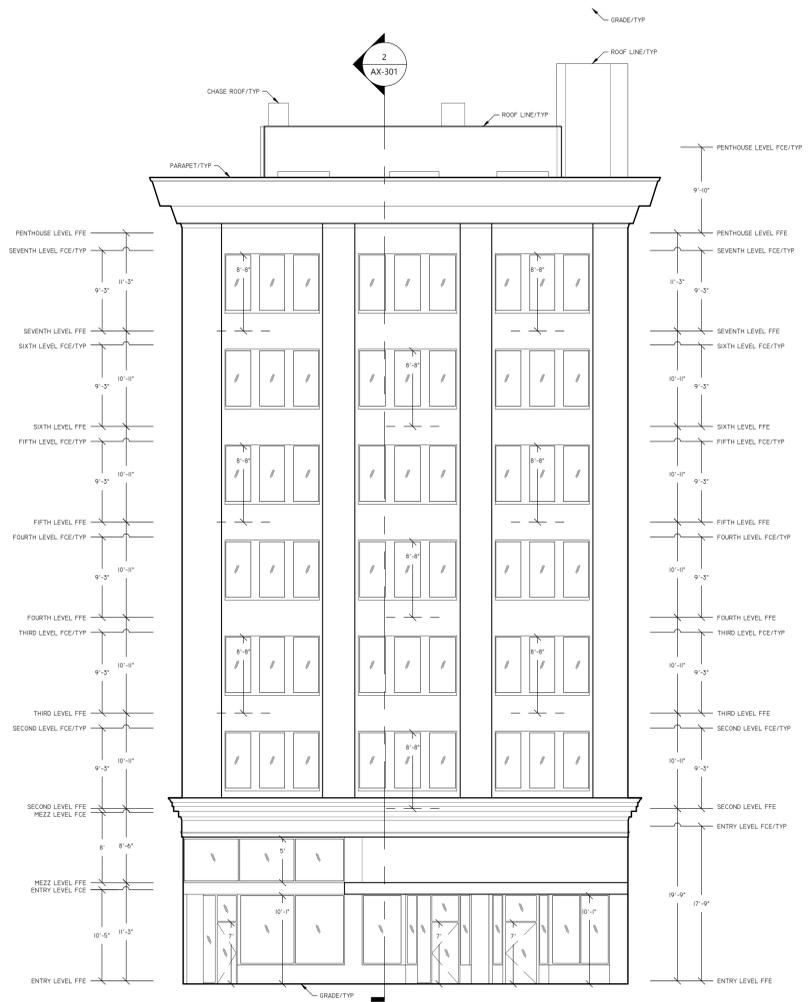
AX-109  
10 OF 24



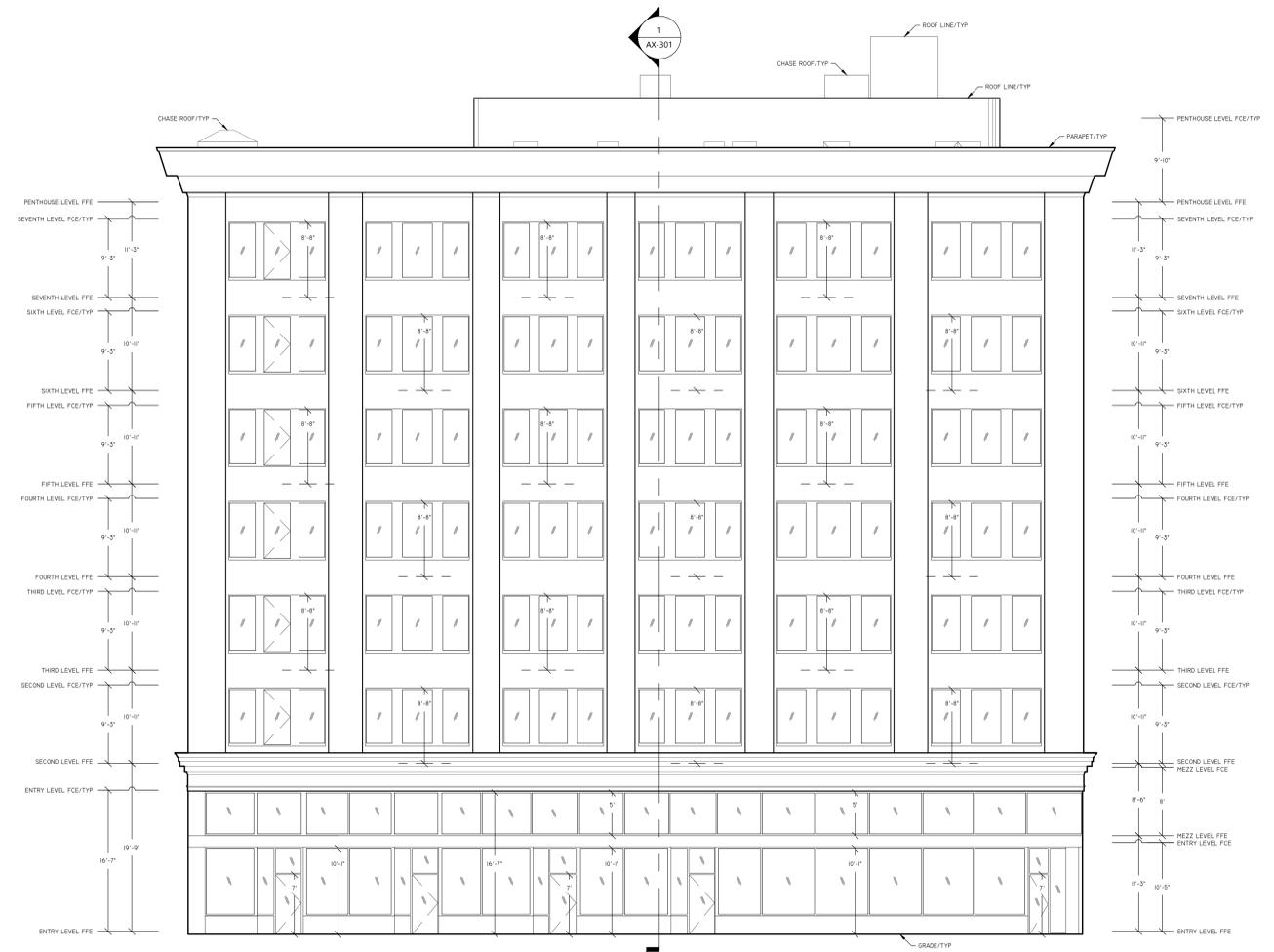
1 EXISTING EIGHTH LEVEL FLOOR PLAN  
2,002 SQFT GROSS MEASURED AREA

INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL  
SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING  
DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

584 14TH ST OAKLAND, CA	
<small>THIS DRAWING IS A RECORD OF REAL PROPERTY THAT IS GENERALLY ACCEPTED TO BE RELIABLE FOR USE IN PLANNING, DESIGN, LEASE AND GENERAL ASSET MANAGEMENT. IT SHOULD NOT BE USED TO DETERMINE EXACT MEASUREMENTS OR SPACES OR ARTIFACTS FOUND HEREIN FOR ANY PURPOSE. EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY. THIS IS NOT A SURVEY.</small>	 <b>ASBUILT SERVICES</b> FOR THE RECORD SINCE 1990 1-800-318-0099 ASBUILTSERVICES.COM
EXISTING FLOOR PLAN	
REF: 584st_Oak_Hotel REV: 0 DRAWN BY: JRJ AUDITED BY: JK	SHEET SIZE: 30x42 SCALE: 1/4"=1'-0" FIELD MEASURE: 9/18/16
<b>AX-110</b> <small>11 OF 24</small>	



1 EXISTING SOUTH ELEVATION



2 EXISTING WEST ELEVATION

OVERHEAD/ OUT OF REACH ITEMS SHOWN AS TYPICAL  
 INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL  
 DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

584 14TH ST  
 OAKLAND, CA

THIS DRAWING IS A RECORD OF REAL PROPERTY THAT IS GENERALLY ACCEPTED TO BE SETTABLE POLICE IN PLANNING, LOCAL, STATE AND FEDERAL ASSET MANAGEMENT. IT SHOULD NOT BE USED TO DETERMINE EXACT MEASUREMENTS OF SPACES OR ARTIFACTS FOUND HEREIN FOR ANY PURPOSE.

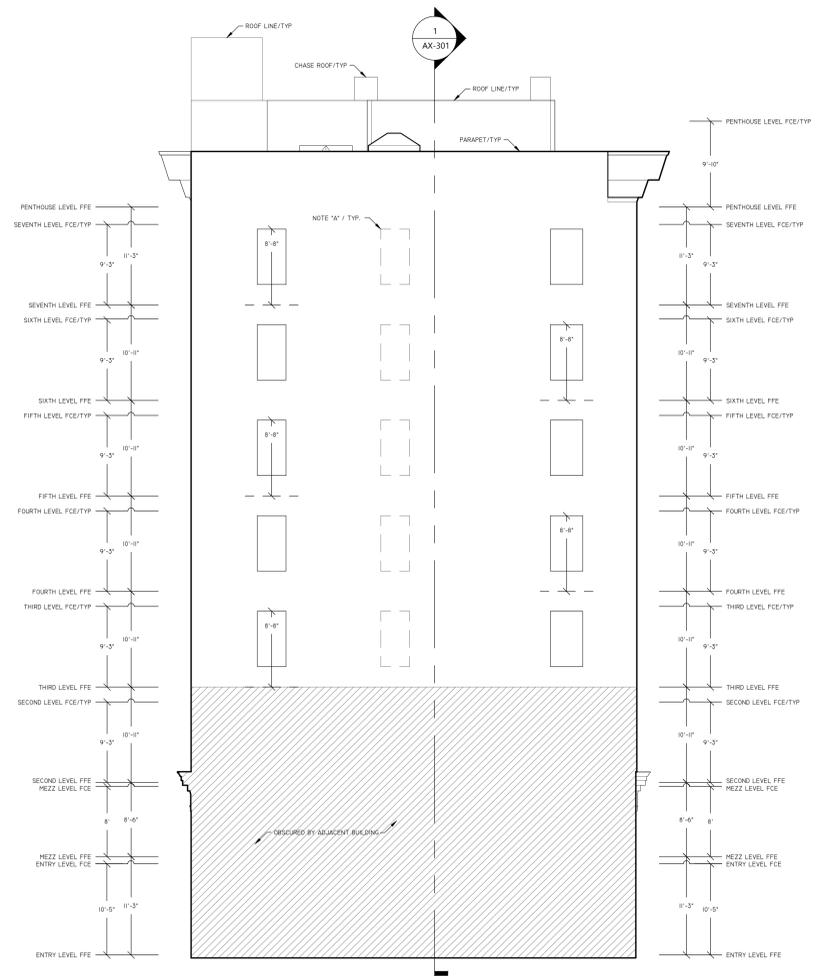


EXISTING EXTERIOR ELEVATIONS

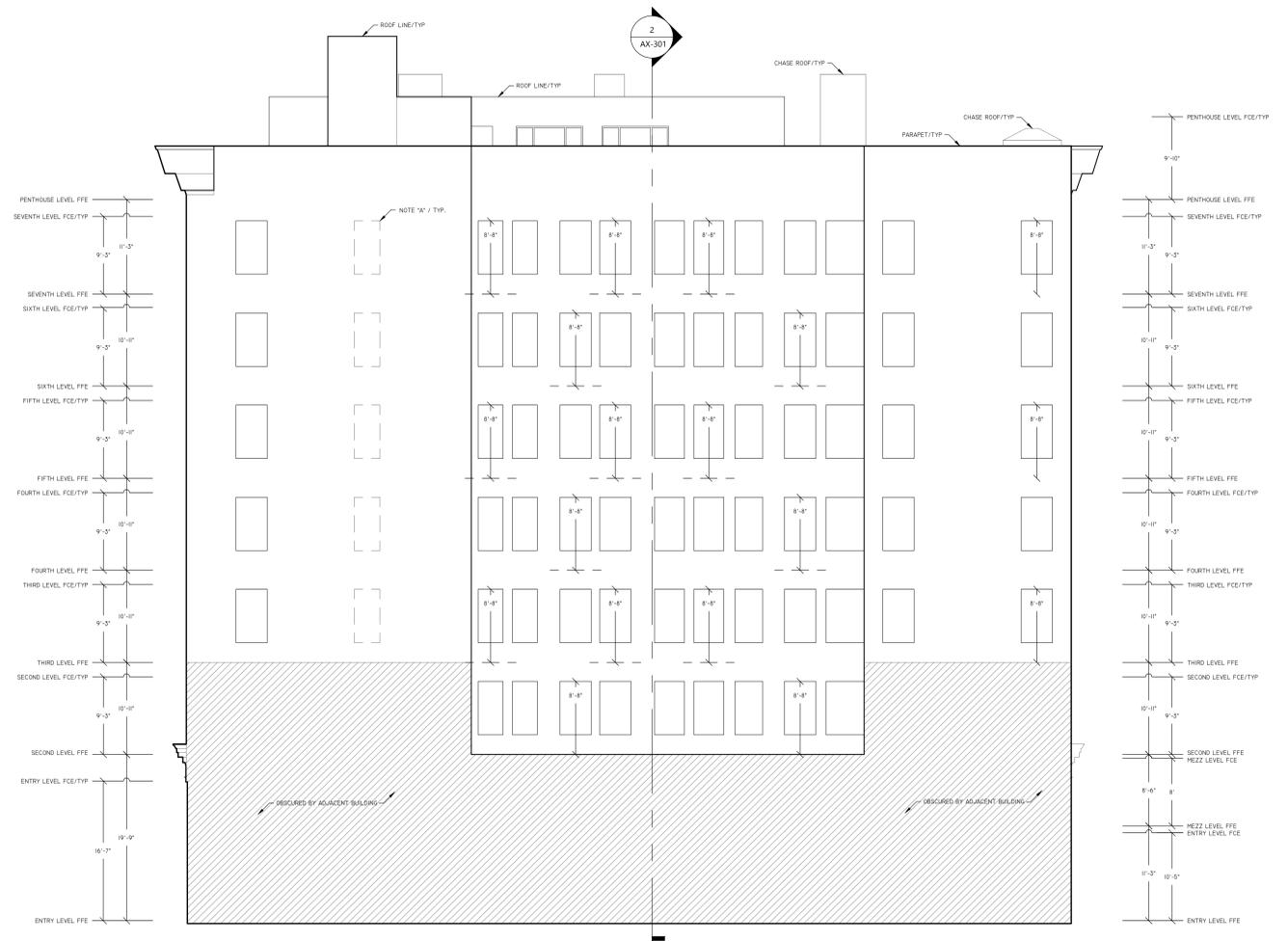
REF: 584st\_Oak\_Hotel  
 REV: 0  
 DRAWN BY: JRV  
 AUDITED BY: JK

SHEET SIZE: 30x42  
 SCALE: 1/8"=1'-0"  
 FIELD MEASURE:  
 9/18/16

AX-201  
 12 OF 24



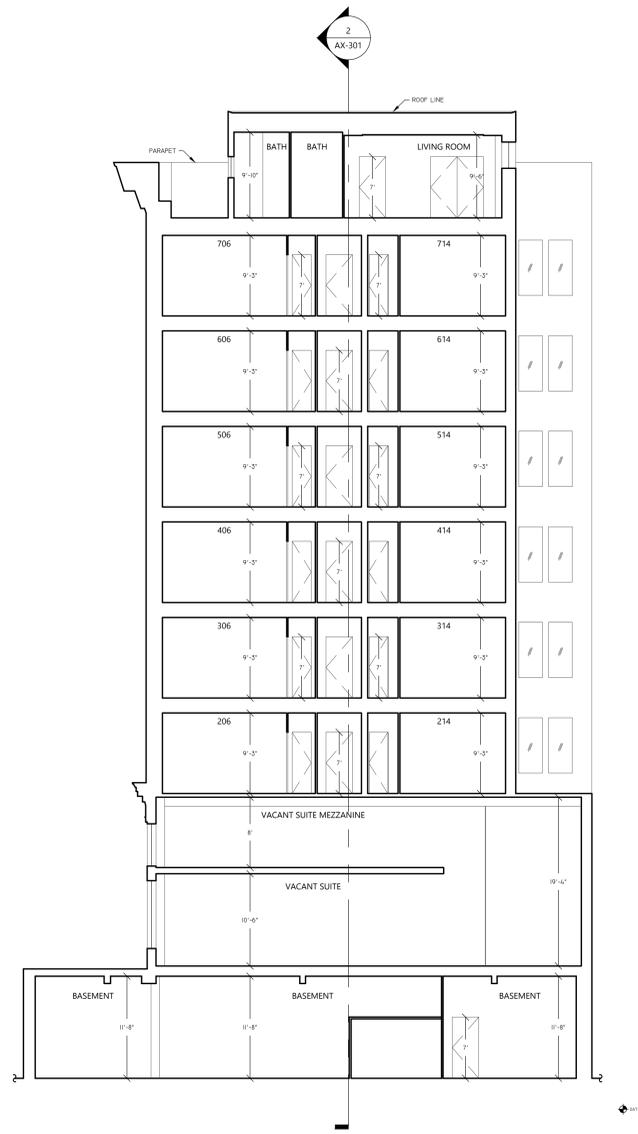
1 EXISTING NORTH ELEVATION



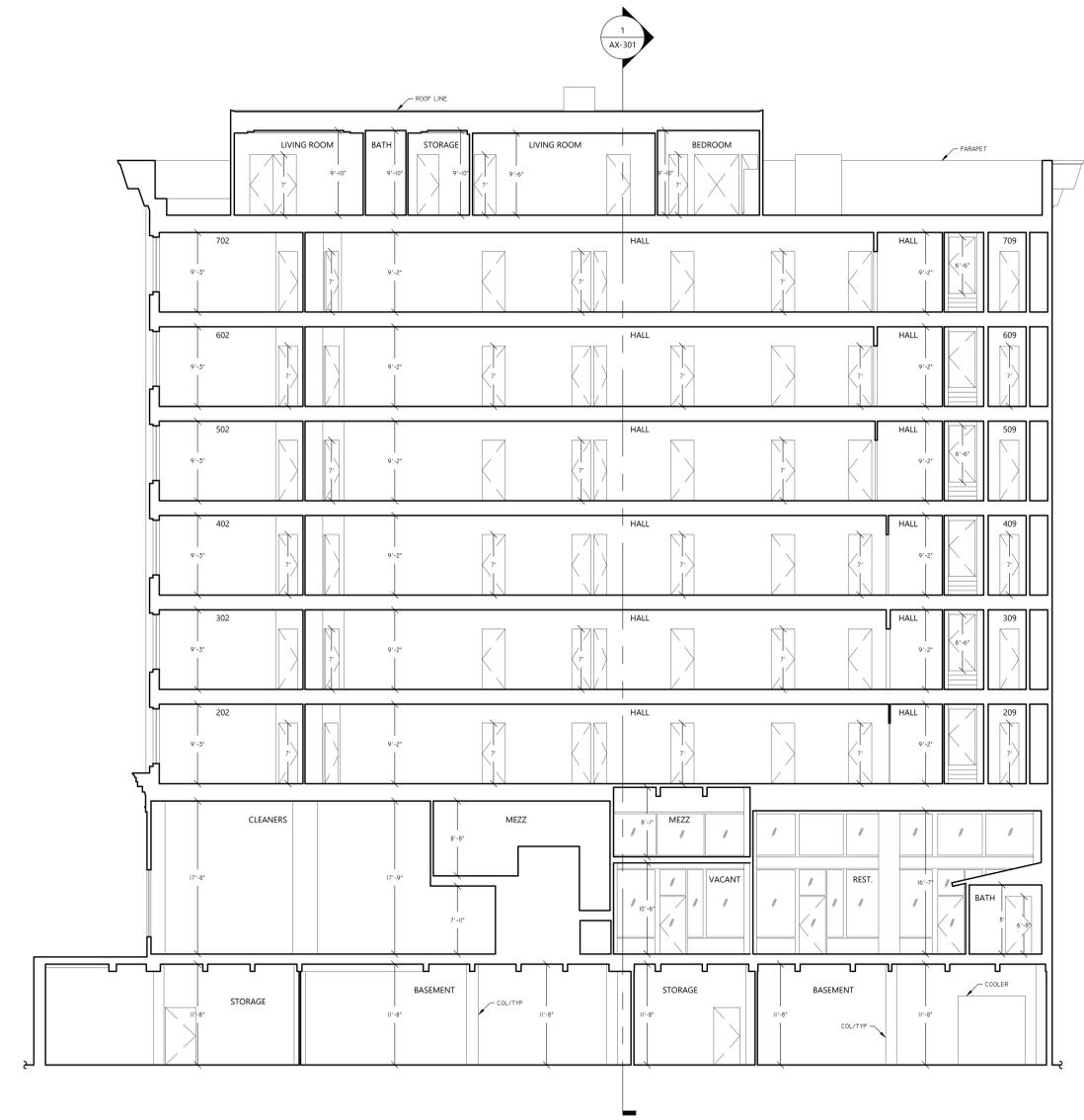
2 EXISTING EAST ELEVATION

OVERHEAD/ OUT OF REACH ITEMS SHOWN AS TYPICAL  
 NOTE A: EXTERIOR CHASE WINDOWS INACCESSIBLE - SHOWN AS TYPICAL  
 INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL  
 DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

584 14TH ST OAKLAND, CA	
<small>THIS DRAWING IS A RECORD OF REAL PROPERTY THAT IS GENERALLY ACCEPTED TO BE DETAIL FOR USE IN PLANNING, DESIGN, LEASE AND GENERAL ASSET MANAGEMENT. IT SHOULD NOT BE USED TO DETERMINE EXACT MEASUREMENTS OR SPACES OR ARTIFACTS FOUND HEREIN FOR ANY PURPOSE.          EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY - THIS IS NOT A SURVEY.</small>	 <b>ASBUILT SERVICES</b> FOR THE RECORD SINCE 1990 1-800-318-0099 ASBUILTSERVICES.COM
EXISTING EXTERIOR ELEVATIONS	
REF: 584st_Oak_Hotel REV: 0 DRAWN BY: JRJ AUDITED BY: JK	SHEET SIZE: 30x42 SCALE: 1/8"=1'-0" FIELD MEASURE: 9/18/16
<b>AX-202</b> <small>13 OF 24</small>	



1 EXISTING CROSS SECTION



2 EXISTING LONGITUDINAL SECTION

- OVERHEAD/ OUT OF REACH ITEMS SHOWN AS TYPICAL
- CHASE WINDOWS INACCESSIBLE - NOT SHOWN
- LIMITED VIEW OF BASEMENT CEILING
- INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL
- SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING
- DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

584 14TH ST  
OAKLAND, CA

THIS DRAWING IS A RECORD OF REAL PROPERTY THAT IS GENERALLY ACCEPTED TO BE RELIABLE FOR USE IN PLANNING, LEGAL, BANK AND OTHER ASSET MANAGEMENT. IT SHOULD NOT BE USED TO DETERMINE EXACT MEASUREMENTS OF SPACES OR ARTIFACTS FOUND HEREIN FOR ANY PURPOSE.

**ASBUILT SERVICES**  
FOR THE RECORD SINCE 1990  
1-800-318-0099 ASBUILTSERVICES.COM

EXISTING BUILDING SECTIONS

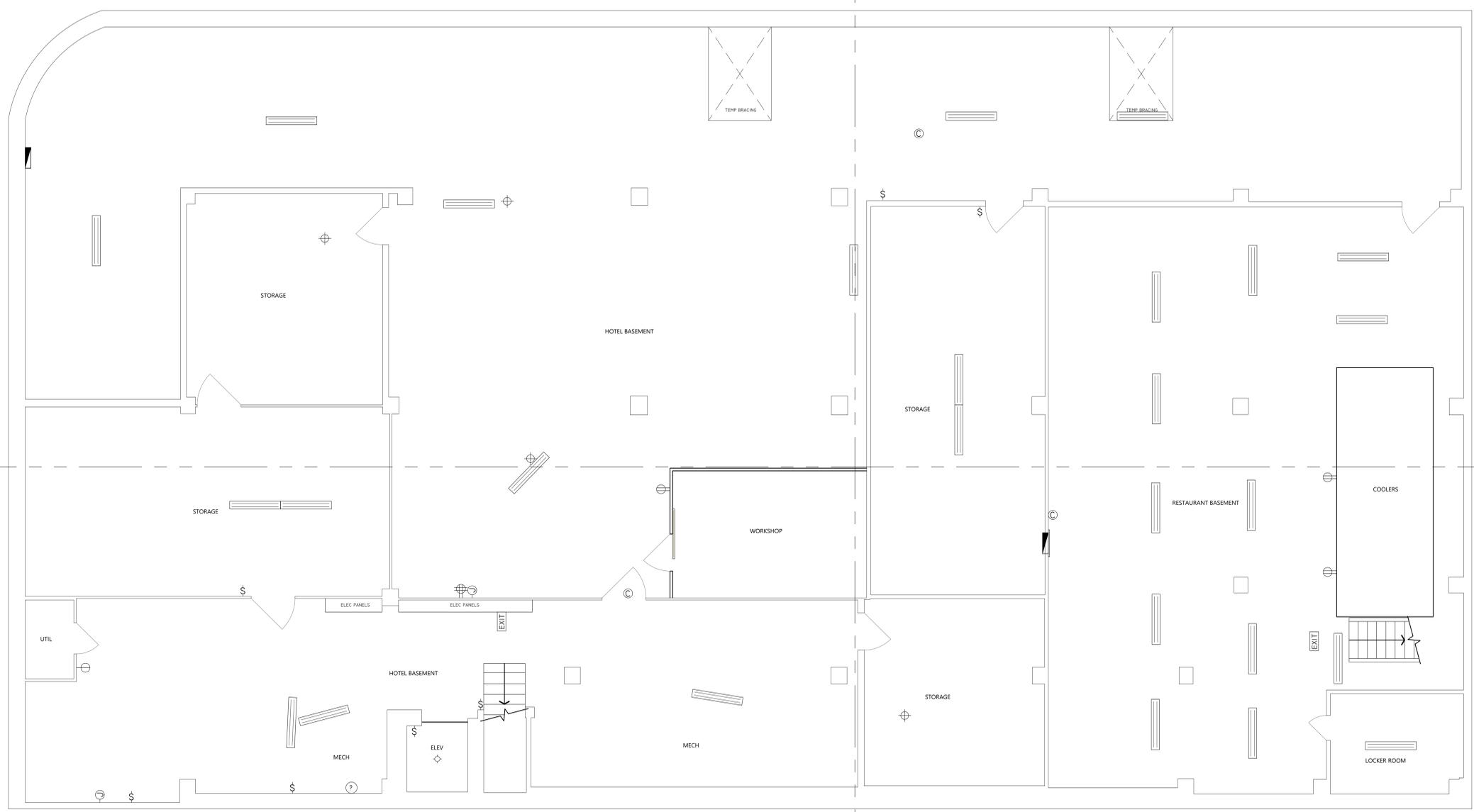
REF: 584st\_Oak\_Hotel  
REV: 0  
DRAWN BY: JRJ  
AUDITED BY: JK

SHEET SIZE: 30x42  
SCALE: 1/8"=1'-0"  
FIELD MEASURE:  
9/18/16

**AX-301**  
14 OF 24

1  
AX-301

2  
AX-301



LEGEND	
SWITCH	SWITCH - TWO GANG, ETC
DIMMER SWITCH	
RECEPTACLE	
QUAD RECEPTACLE	
220 RECEPTACLE	
GROUND FAULT INTERRUPTER	
FLOOR RECEPTACLE	
FACE PLATE/JUNCTION BOX	
RECEPTACLE/SWITCH UNIT	
INTERCOM UNIT	
RECESSED LIGHTING	
CHANDELIER	
SURFACE/CLG MOUNT	
WALL MOUNT	
HANGING LIGHT	
SPOT LIGHT	
LOW VOLTAGE LIGHTING	
FLUORESCENT LIGHT (2 TUBE)	
FLUORESCENT LIGHT (MULTI TUBE)	
TRACK LIGHTING	
VANITY LIGHTING	
FLOOD LIGHT	
PHONE JACK	
NETWORK JACK	
INTERNET	
CABLE TV JACK	
SPEAKER	
ALARM	
SECURITY PANEL	
SMOKE DETECTOR	
THERMOSTAT	
FAN	
POWER PATH	
UNKNOWN DEVICE	
CONTROL PANEL	
DOOR BELL	
EXIT SIGN	
GARAGE MOTOR	
SPRINKLER	
ACCESS PANEL	
12" HVAC CEILING REGISTER	
24" HVAC CEILING REGISTER	
2'x4' HVAC CEILING REGISTER	
2'x4' FLUORESCENT CEILING PANEL	
2'x4' FLUORESCENT LIGHT CEILING PANEL	
CEILING FAN	
CEILING FAN W/LIGHT	
REPRESENTS THAT FIXTURE IS ON CLG	

1 EXISTING BASEMENT LEVEL ELECTRICAL & LIGHTING PLAN

DUE TO ACCESS / VISUAL RESTRICTIONS, SOME ELECTRICAL FIXTURES MAY NOT BE REPRESENTED. FIXTURES MAY HIDDEN ON SITE BY FURNITURE, ARCHITECTURE, LUGGAGE, TENANT BELONGINGS, ETC

CHASE WINDOWS INACCESSIBLE

INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL

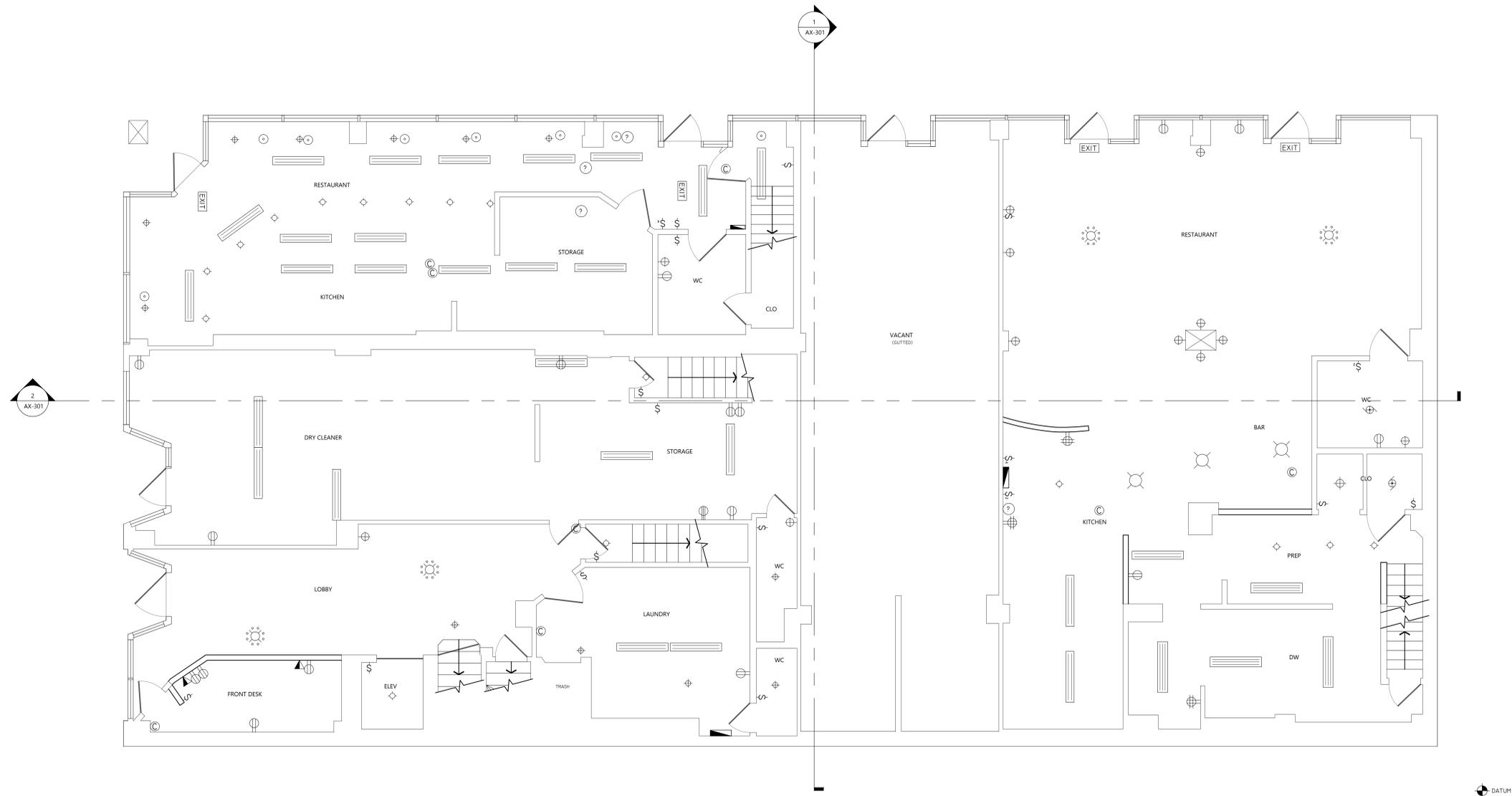
SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING

DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL

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OAKLAND, CA

FOR THE RECORD SINCE 1990  
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EXISTING ELECTRICAL & LIGHTING PLAN		EX-109 15 OF 24
REF: 584st_Oak_Hotel REV: 0 DRAWN BY: JRV AUDITED BY: JK	SHEET SIZE: 30x42 SCALE: 1/4"=1'-0" FIELD MEASURE: 9/18/16	



LEGEND	
⊕	SWITCH ⊕ = TWO GANG, ETC
⊖	DIMMER SWITCH
⊕	RECEPTACLE
⊕	QUAD RECEPTACLE
⊕	220 RECEPTACLE
⊕	GROUND FAULT INTERRUPTER
⊕	FLOOR RECEPTACLE
⊕	FACE PLATE/JUNCTION BOX
⊕	RECEPTACLE/SWITCH UNIT
⊕	INTERCOM UNIT
⊕	RECESSED LIGHTING
⊕	CHANDELIER
⊕	SURFACE/CLG MOUNT
⊕	WALL MOUNT
⊕	HANGING LIGHT
⊕	SPOT LIGHT
⊕	LOW VOLTAGE LIGHTING
⊕	FLUORESCENT LIGHT (2 TUBE)
⊕	FLUORESCENT LIGHT (MULTI TUBE)
⊕	TRACK LIGHTING
⊕	VANITY LIGHTING
⊕	FLOOD LIGHT
⊕	PHONE JACK
⊕	NETWORK JACK
⊕	INTERNET
⊕	CABLE TV JACK
⊕	SPEAKER
⊕	ALARM
⊕	SECURITY PANEL
⊕	SMOKE DETECTOR
⊕	THERMOSTAT
⊕	FAN
⊕	POWER PATH
⊕	UNKNOWN DEVICE
⊕	CONTROL PANEL
⊕	DOOR BELL
⊕	EXIT SIGN
⊕	GARAGE MOTOR
⊕	SPRINKLER
⊕	ACCESS PANEL
⊕	12" HVAC CEILING REGISTER
⊕	24" HVAC CEILING REGISTER
⊕	2'x4' HVAC CEILING REGISTER
⊕	2'x4' FLUORESCENT CEILING PANEL
⊕	2'x4' FLUORESCENT LIGHT CEILING PANEL
⊕	CEILING FAN
⊕	CEILING FAN W/LIGHT
⊕	REPRESENTS THAT FIXTURE IS ON CLG

1 EXISTING ENTRY LEVEL ELECTRICAL & LIGHTING PLAN

DUE TO ACCESS / VISUAL RESTRICTIONS, SOME ELECTRICAL FIXTURES MAY NOT BE REPRESENTED. FIXTURES MAY HIDDEN ON SITE BY FURNITURE, ARCHITECTURE, LUGGAGE, TENANT BELONGINGS, ETC

CHASE WINDOWS INACCESSIBLE

INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL

SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING

DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

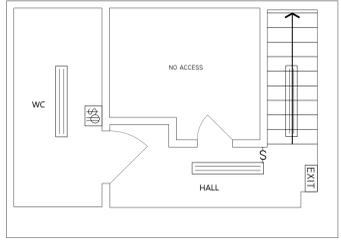
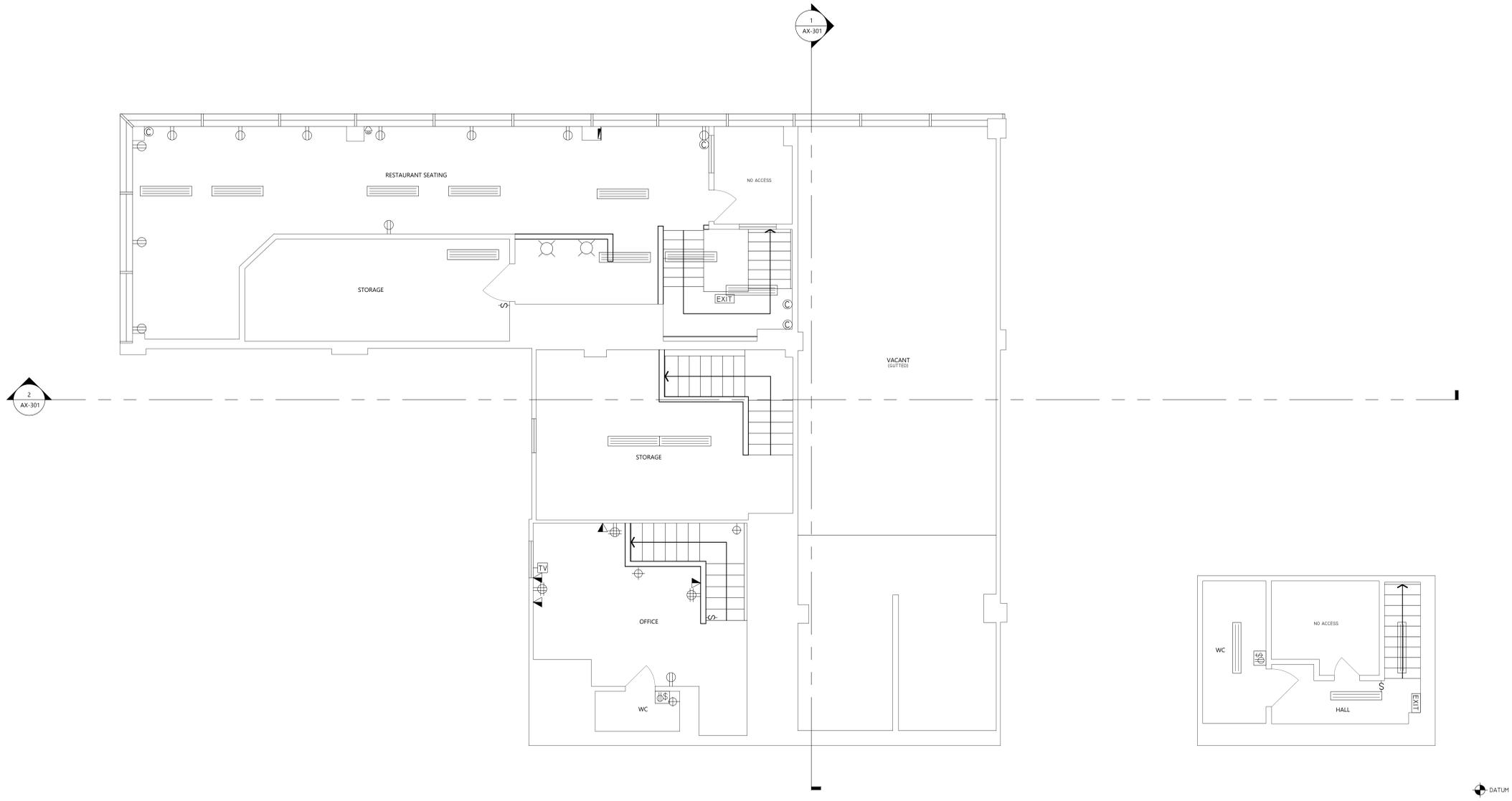
584 14TH ST  
OAKLAND, CA



EXISTING ELECTRICAL & LIGHTING PLAN

REF: 584st\_Oak\_Hotel SHEET SIZE: 30x42  
REV: 0 SCALE: 1/4"=1'-0"  
DRAWN BY: JRV FIELD MEASURE: 9/18/16  
AUDITED BY: JK

EX-102  
16 OF 24



LEGEND	
	SWITCH
	DIMMER SWITCH
	RECEPTACLE
	QUAD RECEPTACLE
	220 RECEPTACLE
	GROUND FAULT INTERRUPTER
	FLOOR RECEPTACLE
	FACE PLATE/JUNCTION BOX
	RECEPTACLE/SWITCH UNIT
	INTERCOM UNIT
	RECESSED LIGHTING
	CHANDELIER
	SURFACE/CLG MOUNT
	WALL MOUNT
	HANGING LIGHT
	SPOT LIGHT
	LOW VOLTAGE LIGHTING
	FLUORESCENT LIGHT (2 TUBE)
	FLUORESCENT LIGHT (MULTI TUBE)
	TRACK LIGHTING
	VANITY LIGHTING
	FLOOD LIGHT
	PHONE JACK
	NETWORK JACK
	INTERNET
	CABLE TV JACK
	SPEAKER
	ALARM
	SECURITY PANEL
	SMOKE DETECTOR
	THERMOSTAT
	FAN
	POWER PATH
	UNKNOWN DEVICE
	CONTROL PANEL
	DOOR BELL
	EXIT SIGN
	GARAGE MOTOR
	SPRINKLER
	ACCESS PANEL
	12" HVAC CEILING REGISTER
	24" HVAC CEILING REGISTER
	24" HVAC CEILING REGISTER
	24" FLUORESCENT CEILING PANEL
	24" FLUORESCENT LIGHT CEILING PANEL
	CEILING FAN
	CEILING FAN W/LIGHT
	REPRESENTS THAT FIXTURE IS ON CLG

1 EXISTING MEZZANINE LEVEL ELECTRICAL & LIGHTING PLAN

DUE TO ACCESS / VISUAL RESTRICTIONS, SOME ELECTRICAL FIXTURES MAY NOT BE REPRESENTED. FIXTURES MAY HIDDEN ON SITE BY FURNITURE, ARCHITECTURE, LUGGAGE, TENANT BELONGINGS, ETC.

CHASE WINDOWS INACCESSIBLE

INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL

SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING

DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

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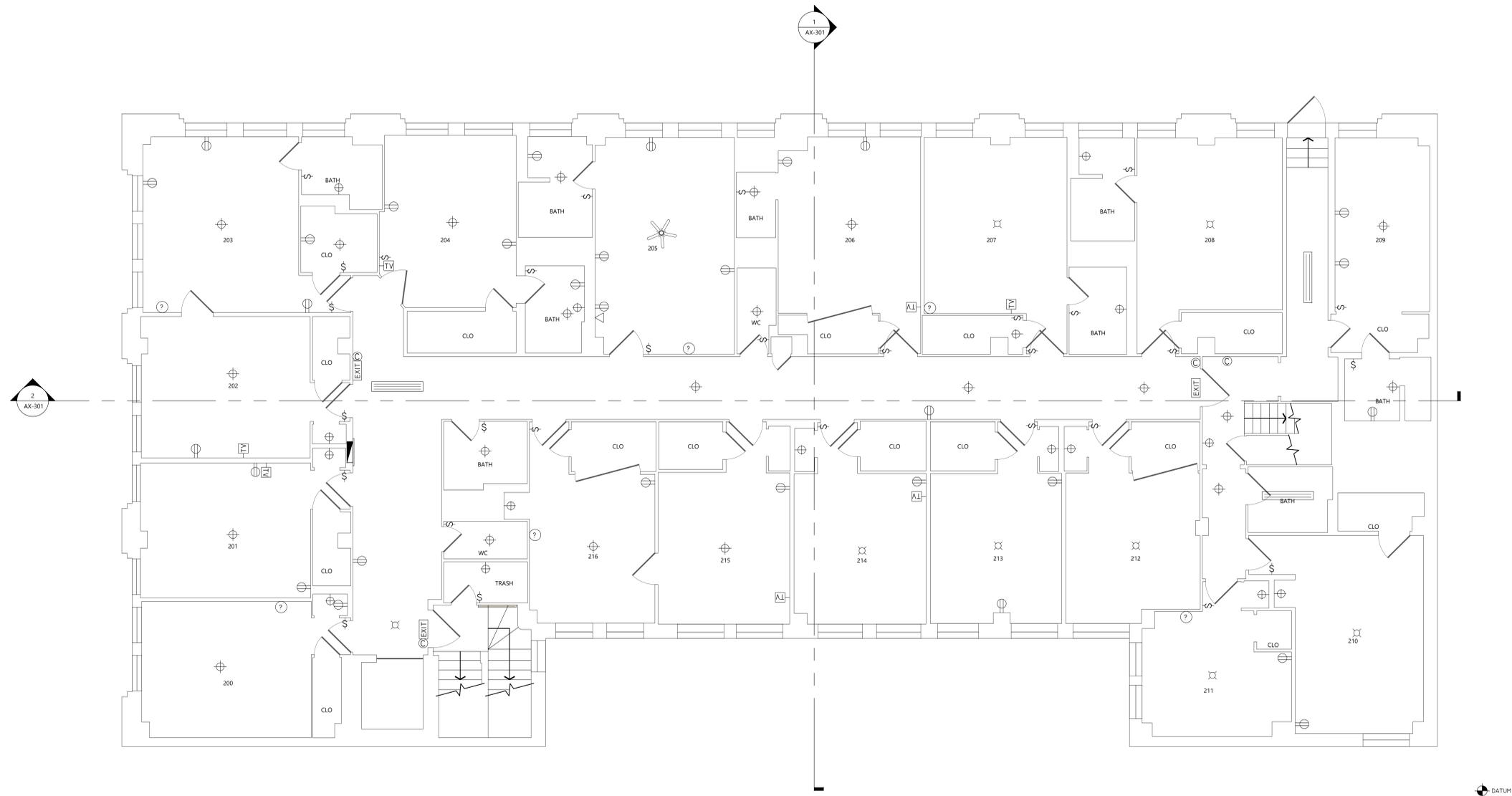
EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY. THIS IS NOT A SURVEY.

EXISTING ELECTRICAL & LIGHTING PLAN

REF: 584st\_Oak\_Hotel  
REV: 0  
DRAWN BY: JRJ  
AUDITED BY: JK

SHEET SIZE: 30x42  
SCALE: 1/4"=1'-0"  
FIELD MEASURE:  
9/18/16

EX-103  
17 OF 24



LEGEND	
⊕	SWITCH ⊕ = TWO GANG, ETC
⊕	DIMMER SWITCH
⊕	RECEPTACLE
⊕	QUAD RECEPTACLE
⊕	220 RECEPTACLE
⊕	GROUND FAULT INTERRUPTER
⊕	FLOOR RECEPTACLE
⊕	FACE PLATE/JUNCTION BOX
⊕	RECEPTACLE/SWITCH UNIT
⊕	INTERCOM UNIT
⊕	RECESSED LIGHTING
⊕	CHANDELER
⊕	SURFACE/CLG MOUNT
⊕	WALL MOUNT
⊕	HANGING LIGHT
⊕	SPOT LIGHT
⊕	LOW VOLTAGE LIGHTING
⊕	FLUORESCENT LIGHT (2 TUBE)
⊕	FLUORESCENT LIGHT (MULTI TUBE)
⊕	TRACK LIGHTING
⊕	VANITY LIGHTING
⊕	FLOOD LIGHT
⊕	PHONE JACK
⊕	NETWORK JACK
⊕	INTERNET
⊕	CABLE TV JACK
⊕	SPEAKER
⊕	ALARM
⊕	SECURITY PANEL
⊕	SMOKE DETECTOR
⊕	THERMOSTAT
⊕	FAN
⊕	POWER PATH
⊕	UNKNOWN DEVICE
⊕	CONTROL PANEL
⊕	DOOR BELL
⊕	EXIT SIGN
⊕	GARAGE MOTOR
⊕	SPRINKLER
⊕	ACCESS PANEL
⊕	12" HVAC CEILING REGISTER
⊕	24" HVAC CEILING REGISTER
⊕	2'x4" HVAC CEILING REGISTER
⊕	2'x4" FLUORESCENT CEILING PANEL
⊕	2'x4" FLUORESCENT LIGHT CEILING PANEL
⊕	CEILING FAN
⊕	CEILING FAN W/LIGHT
⊕	REPRESENTS THAT FIXTURE IS ON CLG

1 EXISTING SECOND LEVEL ELECTRICAL & LIGHTING PLAN

DUE TO ACCESS / VISUAL RESTRICTIONS, SOME ELECTRICAL FIXTURES MAY NOT BE REPRESENTED. FIXTURES MAY BE HIDDEN ON SITE BY FURNITURE, ARCHITECTURE, LUGGAGE, TENANT BELONGINGS, ETC

CHASE WINDOWS INACCESSIBLE

INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL

SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING

DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL

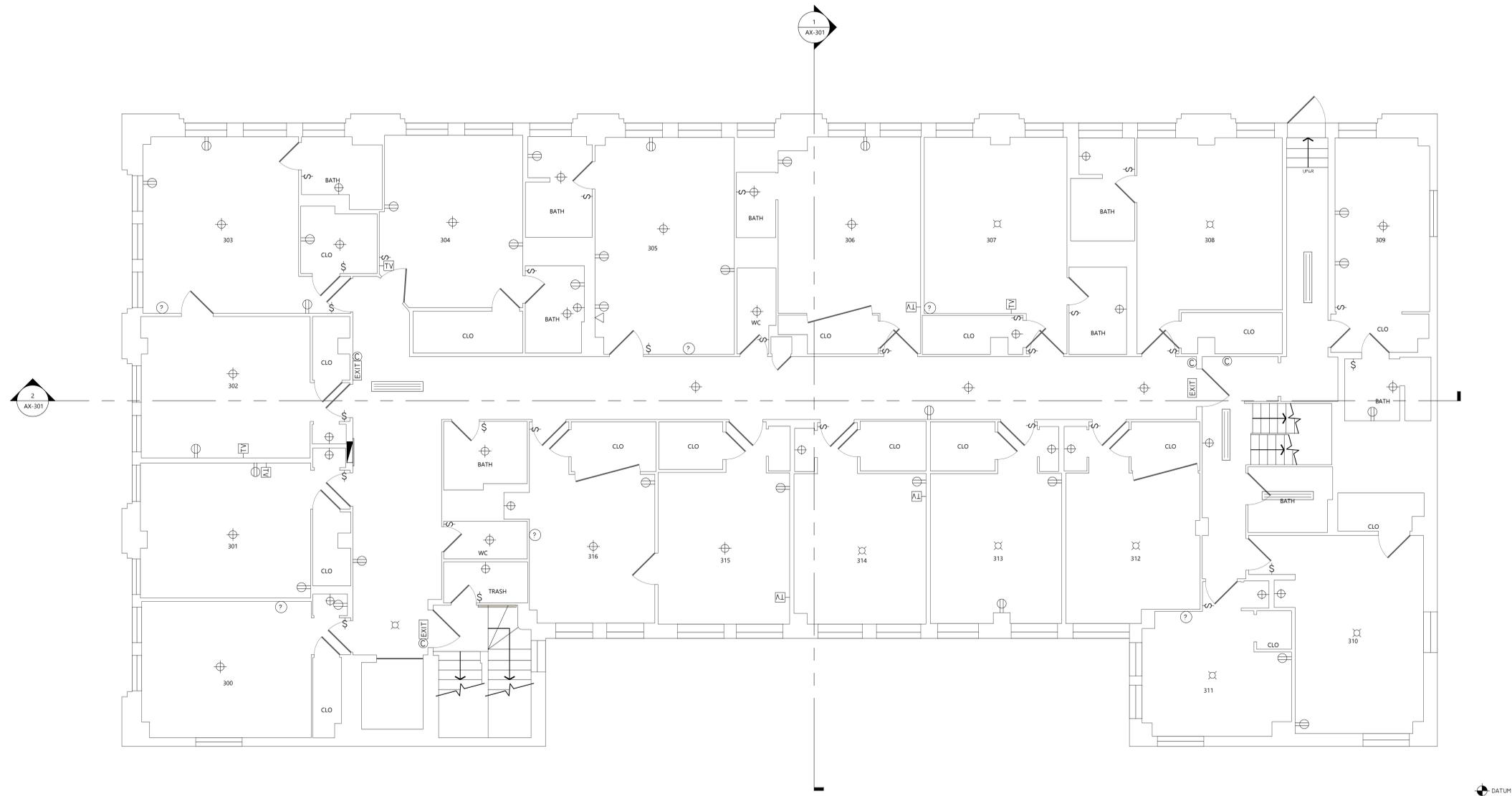
584 14TH ST  
OAKLAND, CA

FOR THE RECORD SINCE 1990  
1-800-318-0099 ASBUILTSERVICES.COM

EXISTING ELECTRICAL & LIGHTING PLAN

REF: 584st\_Oak\_Hotel SHEET SIZE: 30x42  
REV: 0 SCALE: 1/4"=1'-0"  
DRAWN BY: JRV FIELD MEASURE:  
AUDITED BY: JK 9/18/16

EX-104  
18 OF 24



LEGEND	
⊞	SWITCH ⊞ = TWO GANG, ETC
⊞	DIMMER SWITCH
⊞	RECEPTACLE
⊞	QUAD RECEPTACLE
⊞	220 RECEPTACLE
⊞	FLOOR RECEPTACLE
⊞	GROUND FAULT INTERRUPTER
⊞	FACE PLATE/JUNCTION BOX
⊞	RECEPTACLE/SWITCH UNIT
⊞	INTERCOM UNIT
⊞	RECESSED LIGHTING
⊞	CHANDELIER
⊞	SURFACE/CLG MOUNT
⊞	WALL MOUNT
⊞	HANGING LIGHT
⊞	SPOT LIGHT
⊞	LOW VOLTAGE LIGHTING
⊞	FLUORESCENT LIGHT (2 TUBE)
⊞	FLUORESCENT LIGHT (MULTI TUBE)
⊞	TRACK LIGHTING
⊞	VANITY LIGHTING
⊞	FLOOD LIGHT
⊞	PHONE JACK
⊞	NETWORK JACK
⊞	INTERNET
⊞	CABLE TV JACK
⊞	SPEAKER
⊞	ALARM
⊞	SECURITY PANEL
⊞	SMOKE DETECTOR
⊞	THERMOSTAT
⊞	FAN
⊞	POWER PATH
⊞	UNKNOWN DEVICE
⊞	CONTROL PANEL
⊞	DOOR BELL
⊞	EXIT SIGN
⊞	GARAGE MOTOR
⊞	SPRINKLER
⊞	ACCESS PANEL
⊞	12" HVAC CEILING REGISTER
⊞	24" HVAC CEILING REGISTER
⊞	2'x4" HVAC CEILING REGISTER
⊞	2'x4" FLUORESCENT CEILING PANEL
⊞	2'x4" FLUORESCENT LIGHT CEILING PANEL
⊞	CEILING FAN
⊞	CEILING FAN W/LIGHT
⊞	REPRESENTS THAT FIXTURE IS ON CLG

1 EXISTING THIRD LEVEL ELECTRICAL & LIGHTING PLAN

DUE TO ACCESS / VISUAL RESTRICTIONS, SOME ELECTRICAL FIXTURES MAY NOT BE REPRESENTED. FIXTURES MAY HIDDEN ON SITE BY FURNITURE, ARCHITECTURE, LUGGAGE, TENANT BELONGINGS, ETC

CHASE WINDOWS INACCESSIBLE

INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL

SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING

DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL

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OAKLAND, CA



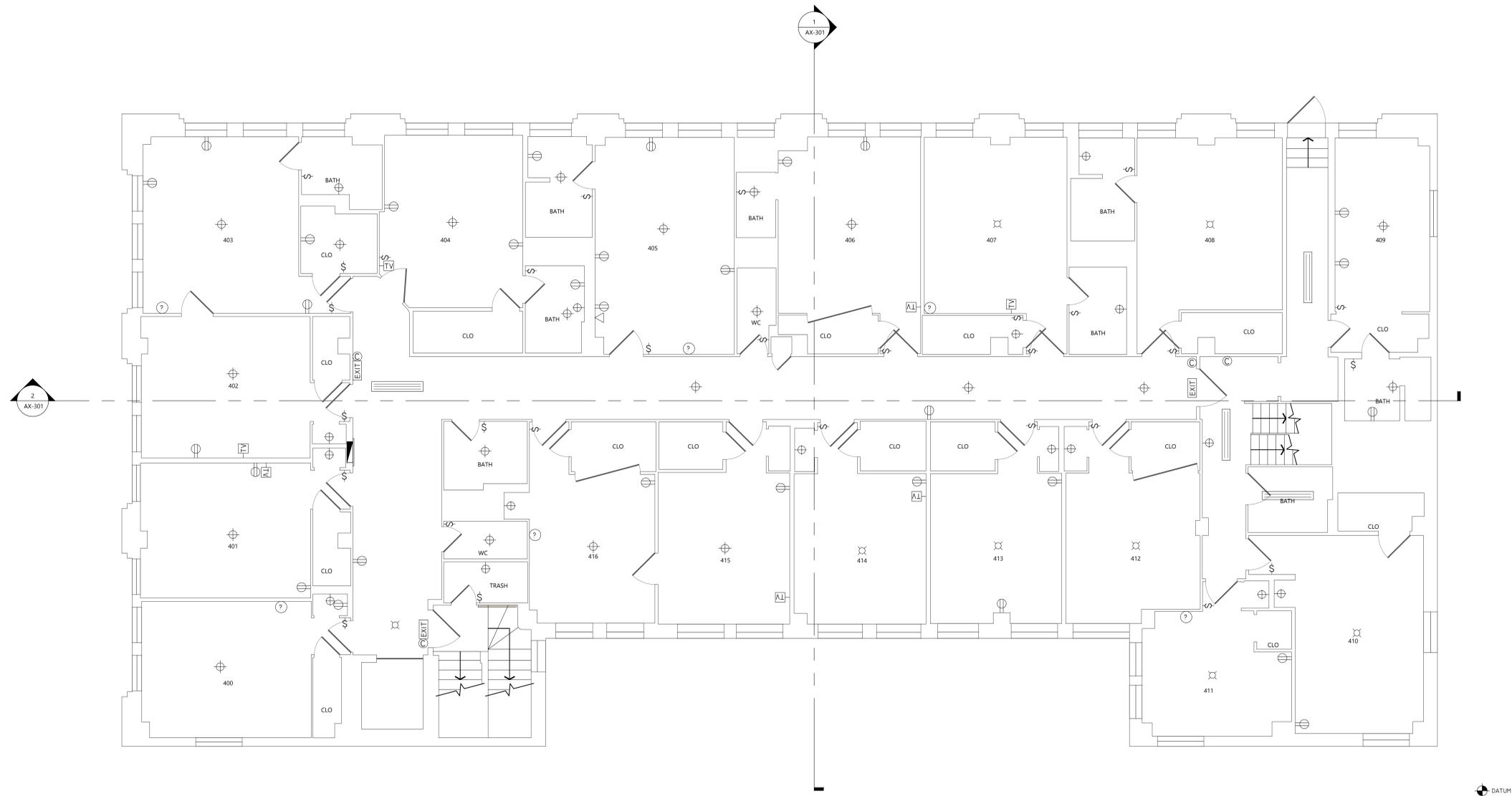
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EXISTING ELECTRICAL & LIGHTING PLAN

REF: 584st\_Oak\_Hotel  
REV: 0  
DRAWN BY: JRV  
AUDITED BY: JK

SHEET SIZE: 30x42  
SCALE: 1/4"=1'-0"  
FIELD MEASURE:  
9/18/16

EX-105  
19 OF 24



LEGEND	
⊕	SWITCH ⊕ = TWO GANG, ETC
⊕	DIMMER SWITCH
⊕	RECEPTACLE
⊕	QUAD RECEPTACLE
⊕	220 RECEPTACLE
⊕	FLOOR RECEPTACLE
⊕	GROUND FAULT INTERRUPTER
⊕	FACE PLATE/JUNCTION BOX
⊕	RECEPTACLE/SWITCH UNIT
⊕	INTERCOM UNIT
⊕	RECESSED LIGHTING
⊕	CHANDELER
⊕	SURFACE/CLG MOUNT
⊕	WALL MOUNT
⊕	HANGING LIGHT
⊕	SPOT LIGHT
⊕	LOW VOLTAGE LIGHTING
⊕	FLUORESCENT LIGHT (2 TUBE)
⊕	FLUORESCENT LIGHT (MULTI TUBE)
⊕	TRACK LIGHTING
⊕	VANITY LIGHTING
⊕	FLOOD LIGHT
⊕	PHONE JACK
⊕	NETWORK JACK
⊕	INTERNET
⊕	CABLE TV JACK
⊕	SPEAKER
⊕	ALARM
⊕	SECURITY PANEL
⊕	SMOKE DETECTOR
⊕	THERMOSTAT
⊕	FAN
⊕	POWER PATH
⊕	UNKNOWN DEVICE
⊕	CONTROL PANEL
⊕	DOOR BELL
⊕	EXIT SIGN
⊕	GARAGE MOTOR
⊕	SPRINKLER
⊕	ACCESS PANEL
⊕	12" HVAC CEILING REGISTER
⊕	24" HVAC CEILING REGISTER
⊕	2"X4" HVAC CEILING REGISTER
⊕	24" FLUORESCENT CEILING PANEL
⊕	2"X4" FLUORESCENT LIGHT CEILING PANEL
⊕	CEILING FAN
⊕	CEILING FAN W/LIGHT
⊕	REPRESENTS THAT FIXTURE IS ON CLG

1 EXISTING FOURTH LEVEL ELECTRICAL & LIGHTING PLAN

DUE TO ACCESS / VISUAL RESTRICTIONS, SOME ELECTRICAL FIXTURES MAY NOT BE REPRESENTED. FIXTURES MAY BE HIDDEN ON SITE BY FURNITURE, ARCHITECTURE, LUGGAGE, TENANT BELONGINGS, ETC.

CHASE WINDOWS INACCESSIBLE

INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL

SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING

DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

584 14TH ST  
OAKLAND, CA



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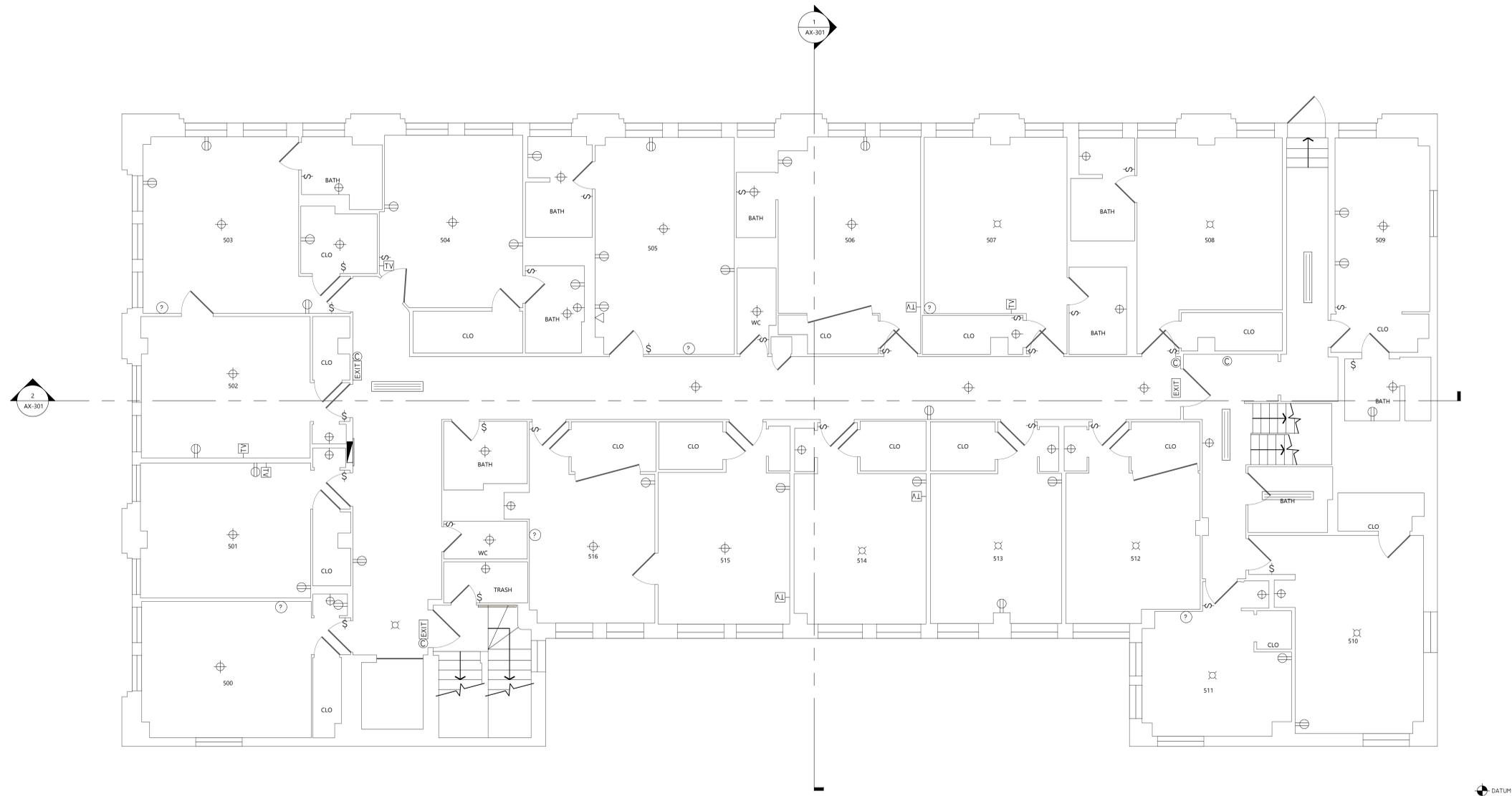
FOR THE RECORD SINCE 1990  
1-800-318-0099 ASBUILTSERVICES.COM

EXISTING ELECTRICAL & LIGHTING PLAN

REF: 584st\_Oak\_Hotel SHEET SIZE: 30x42 SCALE: 1/4"=1'-0" FIELD MEASURE: 9/18/16

REV: 0 DRAWN BY: JRV AUDITED BY: JK

EX-106  
20 OF 24



LEGEND	
⊕	SWITCH ⊕ = TWO GANG, ETC
⊕	DIMMER SWITCH
⊕	RECEPTACLE
⊕	QUAD RECEPTACLE
⊕	220 RECEPTACLE
⊕	GROUND FAULT INTERRUPTER
⊕	FLOOR RECEPTACLE
⊕	FACE PLATE/JUNCTION BOX
⊕	RECEPTACLE/SWITCH UNIT
⊕	INTERCOM UNIT
⊕	RECESSED LIGHTING
⊕	CHANDELER
⊕	SURFACE/CLG MOUNT
⊕	WALL MOUNT
⊕	HANGING LIGHT
⊕	SPOT LIGHT
⊕	LOW VOLTAGE LIGHTING
⊕	FLUORESCENT LIGHT (2 TUBE)
⊕	FLUORESCENT LIGHT (MULTI TUBE)
⊕	TRACK LIGHTING
⊕	VANITY LIGHTING
⊕	FLOOD LIGHT
⊕	PHONE JACK
⊕	NETWORK JACK
⊕	INTERNET
⊕	CABLE TV JACK
⊕	SPEAKER
⊕	ALARM
⊕	SECURITY PANEL
⊕	SMOKE DETECTOR
⊕	THERMOSTAT
⊕	FAN
⊕	POWER PATH
⊕	UNKNOWN DEVICE
⊕	CONTROL PANEL
⊕	DOOR BELL
⊕	EXIT SIGN
⊕	GARAGE MOTOR
⊕	SPRINKLER
⊕	ACCESS PANEL
⊕	12" HVAC CEILING REGISTER
⊕	24" HVAC CEILING REGISTER
⊕	2"X4" HVAC CEILING REGISTER
⊕	24" FLUORESCENT CEILING PANEL
⊕	2"X4" FLUORESCENT LIGHT CEILING PANEL
⊕	CEILING FAN
⊕	CEILING FAN W/LIGHT
⊕	REPRESENTS THAT FIXTURE IS ON CLG

1 EXISTING FIFTH LEVEL ELECTRICAL & LIGHTING PLAN

DUE TO ACCESS / VISUAL RESTRICTIONS, SOME ELECTRICAL FIXTURES MAY NOT BE REPRESENTED. FIXTURES MAY HIDDEN ON SITE BY FURNITURE, ARCHITECTURE, LUGGAGE, TENANT BELONGINGS, ETC

CHASE WINDOWS INACCESSIBLE

INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL

SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING

DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL

584 14TH ST  
OAKLAND, CA



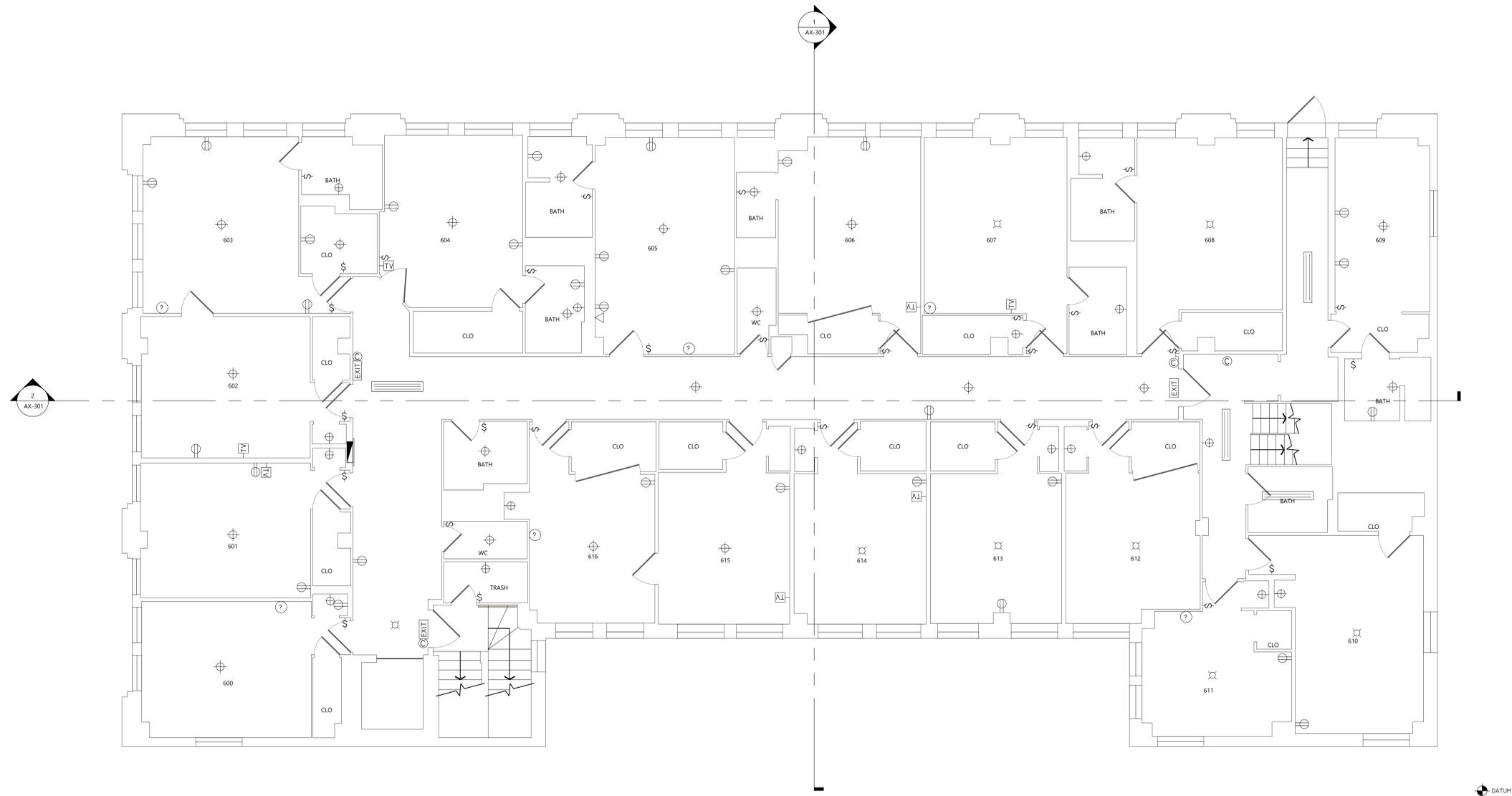
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FOR THE RECORD SINCE 1990  
1-800-318-0099 ASBUILTSERVICES.COM

EXISTING ELECTRICAL & LIGHTING PLAN

REF: 584st\_Oak\_Hotel SHEET SIZE: 30x42  
REV: 0 SCALE: 1/4"=1'-0"  
DRAWN BY: JRJ FIELD MEASURE:  
AUDITED BY: JK 9/18/16

EX-107  
21 OF 24



LEGEND	
⊕	SWITCH ⊕ = TWO GANG, ETC
⊕	DIMMER SWITCH
⊕	RECEPTACLE
⊕	QUAD RECEPTACLE
⊕	220 RECEPTACLE
⊕	GROUND FAULT INTERRUPTER
⊕	FLOOR RECEPTACLE
⊕	FACE PLATE/JUNCTION BOX
⊕	RECEPTACLE/SWITCH UNIT
⊕	INTERCOM UNIT
⊕	RECESSED LIGHTING
⊕	CHANDELER
⊕	SURFACE/CLG MOUNT
⊕	WALL MOUNT
⊕	HANGING LIGHT
⊕	SPOT LIGHT
⊕	LOW VOLTAGE LIGHTING
⊕	FLUORESCENT LIGHT (2 TUBE)
⊕	FLUORESCENT LIGHT (MULTI TUBE)
⊕	TRACK LIGHTING
⊕	VANITY LIGHTING
⊕	FLOOD LIGHT
⊕	PHONE JACK
⊕	NETWORK JACK
⊕	INTERNET
⊕	CABLE TV JACK
⊕	SPEAKER
⊕	ALARM
⊕	SECURITY PANEL
⊕	SMOKE DETECTOR
⊕	THERMOSTAT
⊕	FAN
⊕	POWER PATH
⊕	UNKNOWN DEVICE
⊕	CONTROL PANEL
⊕	DOOR BELL
⊕	EXIT SIGN
⊕	GARAGE MOTOR
⊕	SPRINKLER
⊕	ACCESS PANEL
⊕	12" HVAC CEILING REGISTER
⊕	24" HVAC CEILING REGISTER
⊕	2"X4" HVAC CEILING REGISTER
⊕	24" FLUORESCENT CEILING PANEL
⊕	2"X4" FLUORESCENT LIGHT CEILING PANEL
⊕	CEILING FAN
⊕	CEILING FAN W/LIGHT
⊕	REPRESENTS THAT FIXTURE IS ON CLG

1 EXISTING SIXTH LEVEL ELECTRICAL & LIGHTING PLAN

DUE TO ACCESS / VISUAL RESTRICTIONS, SOME ELECTRICAL FIXTURES MAY NOT BE REPRESENTED. FIXTURES MAY HIDDEN ON SITE BY FURNITURE, ARCHITECTURE, LUGGAGE, TENANT BELONGINGS, ETC

CHASE WINDOWS INACCESSIBLE

INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL

SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING

DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

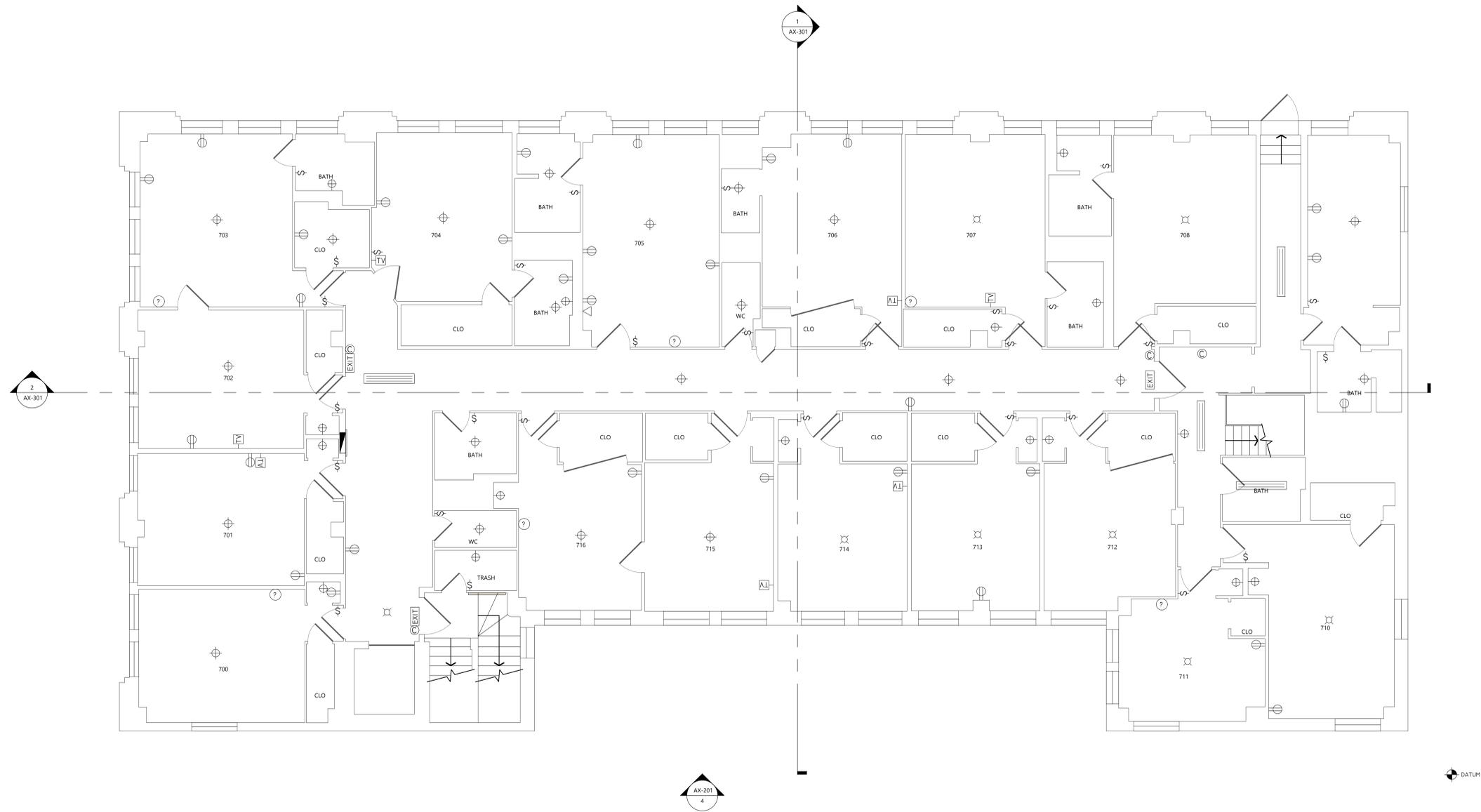
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OAKLAND, CA



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EXISTING ELECTRICAL & LIGHTING PLAN

REF: 584st\_Oak\_Hotel SHEET SIZE: 30x42 SCALE: 1/4"=1'-0" FIELD MEASURE: 9/18/16  
 REV: 0 DRAWN BY: JRV AUDITED BY: JK  
 EX-108 22 OF 24



LEGEND	
⊕	SWITCH ⊕ = TWO GANG, ETC
⊕	DIMMER SWITCH
⊕	RECEPTACLE
⊕	QUAD RECEPTACLE
⊕	220 RECEPTACLE
⊕	GROUND FAULT INTERRUPTER
⊕	FLOOR RECEPTACLE
⊕	FACE PLATE/JUNCTION BOX
⊕	RECEPTACLE/SWITCH UNIT
⊕	INTERCOM UNIT
⊕	RECESSED LIGHTING
⊕	CHANDELER
⊕	SURFACE/CLG MOUNT
⊕	WALL MOUNT
⊕	HANGING LIGHT
⊕	SPOT LIGHT
⊕	LOW VOLTAGE LIGHTING
⊕	FLUORESCENT LIGHT (2 TUBE)
⊕	FLUORESCENT LIGHT (MULTI TUBE)
⊕	TRACK LIGHTING
⊕	VANITY LIGHTING
⊕	FLOOD LIGHT
⊕	PHONE JACK
⊕	NETWORK JACK
⊕	INTERNET
⊕	CABLE TV JACK
⊕	SPEAKER
⊕	ALARM
⊕	SECURITY PANEL
⊕	SMOKE DETECTOR
⊕	THERMOSTAT
⊕	FAN
⊕	POWER PATH
⊕	UNKNOWN DEVICE
⊕	CONTROL PANEL
⊕	DOOR BELL
⊕	EXIT SIGN
⊕	GARAGE MOTOR
⊕	SPRINKLER
⊕	ACCESS PANEL
⊕	12" HVAC CEILING REGISTER
⊕	24" HVAC CEILING REGISTER
⊕	2"X4" HVAC CEILING REGISTER
⊕	24" FLUORESCENT CEILING PANEL
⊕	2"X4" FLUORESCENT LIGHT CEILING PANEL
⊕	CEILING FAN
⊕	CEILING FAN W/LIGHT
⊕	REPRESENTS THAT FIXTURE IS ON CLG

1 EXISTING SEVENTH LEVEL ELECTRICAL & LIGHTING PLAN

DUE TO ACCESS / VISUAL RESTRICTIONS, SOME ELECTRICAL FIXTURES MAY NOT BE REPRESENTED. FIXTURES MAY BE HIDDEN ON SITE BY FURNITURE, ARCHITECTURE, LUGGAGE, TENANT BELONGINGS, ETC.

CHASE WINDOWS INACCESSIBLE

INACCESSIBLE ROOMS/ AREAS SHOWN AS TYPICAL

SOME ARCHITECTURAL ELEMENTS AND DETAILS MAY BE HIDDEN BY ITEMS STORED IN THE BUILDING

DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

584 14TH ST  
OAKLAND, CA

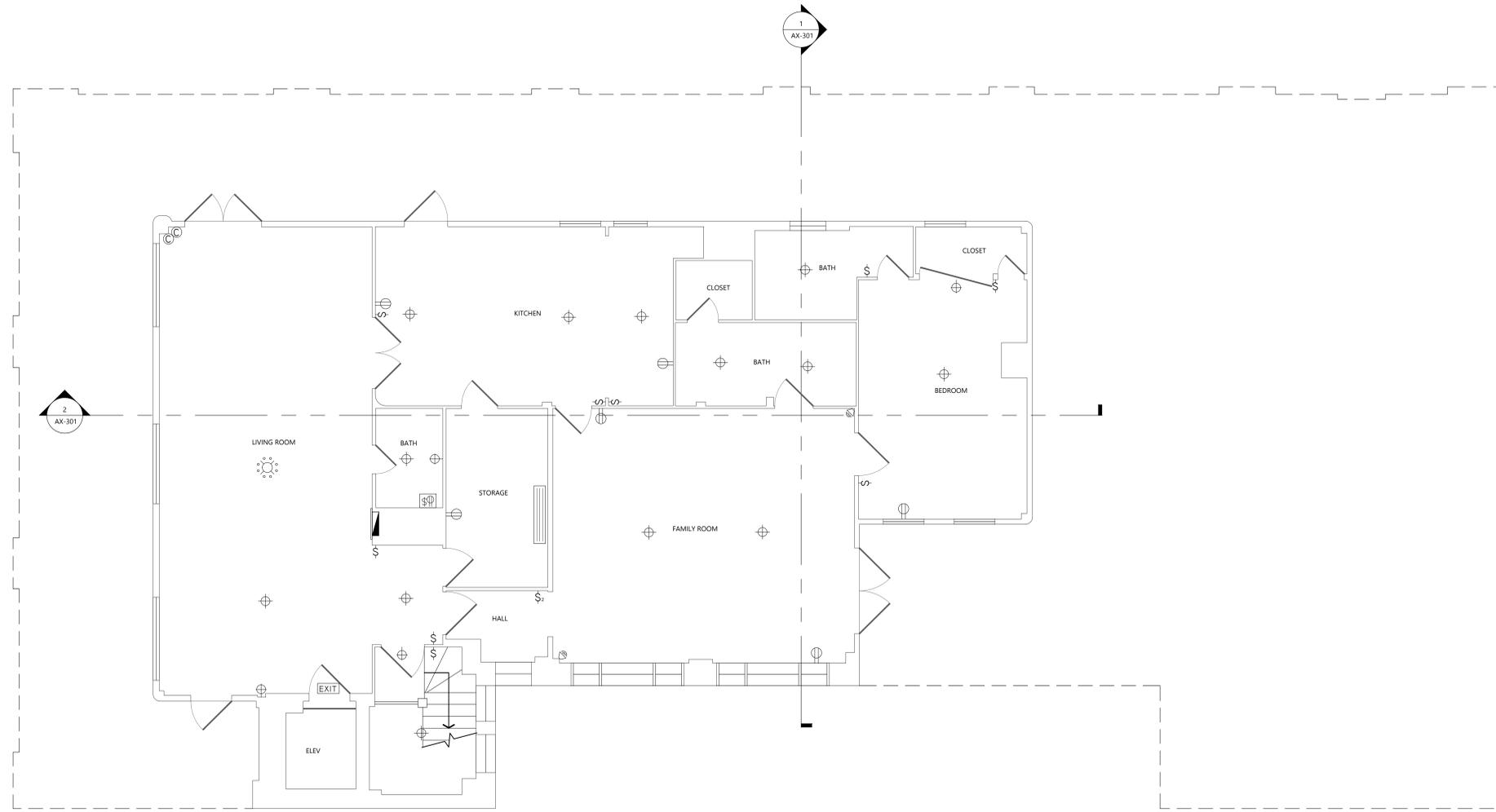


THIS DRAWING IS A RECORD OF REAL PROPERTY THAT IS GENERALLY ACCEPTED TO BE SUITABLE FOR USE IN PLANNING, DESIGN, LEASE AND GENERAL ASSET MANAGEMENT. IT SHOULD NOT BE USED TO DETERMINE EXACT MEASUREMENTS OR SPACES OR ARTIFACTS FOUND HEREIN FOR ANY PURPOSE. EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY. THIS IS NOT A SURVEY.

EXISTING ELECTRICAL & LIGHTING PLAN

REF: 584st\_Oak\_Hotel SHEET SIZE: 30x42  
REV: 0 SCALE: 1/4"=1'-0"  
DRAWN BY: JRV FIELD MEASURE: 9/18/16  
AUDITED BY: JK

EX-109  
23 OF 24



LEGEND	
Ⓢ	SWITCH Ⓢ - TWO GANG, ETC
Ⓢ	DIMMER SWITCH
Ⓢ	RECEPTACLE
Ⓢ	QUAD RECEPTACLE
Ⓢ	220 RECEPTACLE
Ⓢ	GROUND FAULT INTERRUPTER
Ⓢ	FLOOR RECEPTACLE
Ⓢ	FACE PLATE/JUNCTION BOX
Ⓢ	RECEPTACLE/SWITCH UNIT
Ⓢ	INTERCOM UNIT
Ⓢ	RECESSED LIGHTING
Ⓢ	CHANDELIER
Ⓢ	SURFACE/CLG MOUNT
Ⓢ	WALL MOUNT
Ⓢ	HANGING LIGHT
Ⓢ	SPOT LIGHT
Ⓢ	LOW VOLTAGE LIGHTING
Ⓢ	FLUORESCENT LIGHT (2 TUBE)
Ⓢ	FLUORESCENT LIGHT (MULTI TUBE)
Ⓢ	TRACK LIGHTING
Ⓢ	VANITY LIGHTING
Ⓢ	FLOOD LIGHT
Ⓢ	PHONE JACK
Ⓢ	NETWORK JACK
Ⓢ	INTERNET
Ⓢ	CABLE TV JACK
Ⓢ	SPEAKER
Ⓢ	ALARM
Ⓢ	SECURITY PANEL
Ⓢ	SMOKE DETECTOR
Ⓢ	THERMOSTAT
Ⓢ	FAN
Ⓢ	POWER PATH
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Ⓢ	CONTROL PANEL
Ⓢ	DOOR BELL
Ⓢ	EXIT SIGN
Ⓢ	GARAGE MOTOR
Ⓢ	SPRINKLER
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Ⓢ	12" HVAC CEILING REGISTER
Ⓢ	24" HVAC CEILING REGISTER
Ⓢ	2'x4' HVAC CEILING REGISTER
Ⓢ	2'x4' FLUORESCENT CEILING PANEL
Ⓢ	2'x4' FLUORESCENT LIGHT CEILING PANEL
Ⓢ	CEILING FAN
Ⓢ	CEILING FAN W/LIGHT
Ⓢ	REPRESENTS THAT FIXTURE IS ON CLG

1 EXISTING EIGHTH LEVEL ELECTRICAL & LIGHTING PLAN

DUE TO ACCESS / VISUAL RESTRICTIONS, SOME ELECTRICAL FIXTURES MAY NOT BE REPRESENTED. FIXTURES MAY HIDDEN ON SITE BY FURNITURE, ARCHITECTURE, LUGGAGE, TENANT BELONGINGS, ETC

CHASE WINDOWS INACCESSIBLE

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DUE TO DEVIATIONS IN WALL ANGLES AND SURFACES, SOME WALL LENGTHS ARE REPRESENTED AS TYPICAL.

584 14TH ST  
OAKLAND, CA

ASBUILT SERVICES  
FOR THE RECORD SINCE 1990  
1-800-318-0099 ASBUILTSERVICES.COM

EXISTING ELECTRICAL & LIGHTING PLAN

REF: 584st\_Oak\_Hotel  
REV: 0  
DRAWN BY: JRJ  
AUDITED BY: JK

SHEET SIZE: 30x42  
SCALE: 1/4"=1'-0"  
FIELD MEASURE:  
9/18/16

EX-110  
24 OF 24



# Exhibit F

THIS DOCUMENT HAS A "VERIFY FIRST" TRUE WATERMARK AND VISIBLE FIBERS DISCERNIBLE FROM BOTH SIDES

CITY OF OAKLAND

BUSINESS TAX CERTIFICATE

ACCOUNT NUMBER

00929479

The issuing of a Business Tax Certificate is for revenue purposes only. It does not relieve the taxpayer from the responsibility of complying with the requirements of any other agency of the City of Oakland and/or any other ordinance, law or regulation of the State of California, or any other governmental agency. The Business Tax Certificate expires on December 31st of each year. Per Section 85.04.199A, of the O.M.C. you are allowed a renewal grace period until March 1st of the following year.

OAKLAND SUTTER HOTEL L.P.



EXPIRATION DATE

12/31/2017

BUSINESS LOCATION

584 13TH ST  
OAKLAND, CA 94612-1443

BUSINESS TYPE

N Rental-Commercial

NAME

SUTTER HOTEL

MAILING ADDRESS

VICTORIA GARRISON  
PO BOX 5247  
WALNUT CREEK, CA 94596-1247

A BUSINESS TAX CERTIFICATE IS REQUIRED FOR EACH BUSINESS LOCATION AND IS NOT VALID FOR ANY OTHER ADDRESS.

ALL OAKLAND BUSINESSES MUST OBTAIN A VALID ZONING CLEARANCE TO OPERATE YOUR BUSINESS LEGALLY. RENTAL OF REAL PROPERTY IS EXCLUDED FROM ZONING.

PUBLIC INFORMATION ABOVE THIS LINE TO BE CONSPICUOUSLY POSTED!

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**CITY OF OAKLAND  
BUSINESS TAX CERTIFICATE**

The issuing of a Business Tax Certificate is for revenue purposes only. It does not relieve the taxpayer from the responsibility of complying with the requirements of any other agency of the City of Oakland and/or any other ordinance, law or regulation of the State of California, or any other governmental agency. The Business Tax Certificate expires on December 31st of each year. Per Section 85.04.190A of the O.M.C. you are allowed a renewal grace period until March 1st the following year.

**ACCOUNT NUMBER**  
2275090

**SUTTER HOTEL**

**EXPIRATION DATE**  
12/31/2016

**BUSINESS LOCATION**  
584 14TH ST  
OAKLAND, CA 94612-1443

**BUSINESS TYPE**  
P Rental Hotel/Motel



**NAME**  
SUTTER HOTEL  
**MAILING ADDRESS**  
PO BOX 5247  
WALNUT CREEK, CA, 94596-1247



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A BUSINESS TAX CERTIFICATE IS REQUIRED FOR EACH BUSINESS LOCATION AND IS NOT VALID FOR ANY OTHER ADDRESS.

YOU MAY BE REQUIRED TO OBTAIN A VALID ZONING CLEARANCE TO OPERATE YOUR BUSINESS LEGALLY. RENTAL OF REAL PROPERTY IS EXCLUDED FROM ZONING.

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**CITY OF OAKLAND  
BUSINESS TAX CERTIFICATE**

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**ACCOUNT NUMBER**  
2273667

**OAKLAND SUTTER HOTEL LP**

**EXPIRATION DATE**  
12/31/2016

**BUSINESS LOCATION**  
584 14TH ST  
OAKLAND, CA 94612-1443

**BUSINESS TYPE**  
N Rental Commercial/Industrial



**NAME**  
SUTTER HOTEL  
**MAILING ADDRESS**  
PO BOX 5247  
WALNUT CREEK, CA, 94596-1247



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**CITY OF OAKLAND  
BUSINESS TAX CERTIFICATE**

**ACCOUNT  
NUMBER**

2275090

The issuing of a Business Tax Certificate is for revenue purposes only. It does not relieve the taxpayer from the responsibility of complying with the requirements of any other agency of the City of Oakland and/or any other ordinance, law or regulation of the State of California, or any other governmental agency. The Business Tax Certificate expires on December 31st of each year. Per Section 85,04,190A, of the O.M.C. you are allowed a renewal grace period until March 1st the following year.

**SUTTER HOTEL**

**EXPIRATION DATE**

12/31/2015

**BUSINESS LOCATION**

584 14TH ST  
OAKLAND, CA 94612-1443

**BUSINESS TYPE**

P Rental Hotel/Motel



**NAME**

**SUTTER HOTEL**

**MAILING ADDRESS**

PO BOX 5247  
WALNUT CREEK, CA, 94596-1247



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A BUSINESS TAX  
CERTIFICATE IS REQUIRED  
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OPERATE YOUR BUSINESS  
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REAL PROPERTY IS  
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**CITY OF OAKLAND  
BUSINESS TAX CERTIFICATE**

**ACCOUNT  
NUMBER**

2273667

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**BUSINESS LOCATION**

OAKLAND SUTTER HOTEL L.P.  
584 14TH ST  
OAKLAND, CA 94612-1443

**EXPIRATION DATE**

12/31/2014

**BUSINESS TYPE**

N Rental Commercial/Industrial



**NAME  
MAILING ADDRESS**

SUTTER HOTEL  
PO BOX 5247  
WALNUT CREEK, CA, 94596-1247



**CITY OF OAKLAND  
BUSINESS TAX CERTIFICATE**

**ACCOUNT  
NUMBER**

2275090

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**BUSINESS LOCATION**

SUTTER HOTEL  
584 14TH ST  
OAKLAND, CA 94612-1443

**EXPIRATION DATE**

12/31/2014

**BUSINESS TYPE**

P Rental Hotel/Motel



**NAME  
MAILING ADDRESS**

SUTTER HOTEL  
PO BOX 5247  
WALNUT CREEK, CA, 94596-1247



**CITY OF OAKLAND  
BUSINESS TAX CERTIFICATE**

**ACCOUNT  
NUMBER**

2275090

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**SUTTER HOTEL**

**EXPIRATION DATE**

12/31/2013

**BUSINESS LOCATION**

584 14TH ST

OAKLAND, CA 94612-1443

**BUSINESS TYPE**

P Rental Hotel/Motel



A BUSINESS TAX  
CERTIFICATE IS REQUIRED  
FOR EACH BUSINESS  
LOCATION AND IS NOT  
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ADDRESS.

YOU MAY BE REQUIRED  
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ZONING CLEARANCE TO  
OPERATE YOUR BUSINESS  
LEGALLY. RENTAL OF  
REAL PROPERTY IS  
EXCLUDED FROM ZONING.

**NAME  
MAILING ADDRESS**

**SUTTER HOTEL**

PO BOX 5247

WALNUT CREEK, CA, 94596-1247



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**CITY OF OAKLAND  
BUSINESS TAX CERTIFICATE**

**ACCOUNT  
NUMBER**  
2275090

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**EXPIRATION DATE**  
12/31/2012

**BUSINESS LOCATION** SUTTER HOTEL  
584 14TH ST  
OAKLAND, CA 94612-1443

**BUSINESS TYPE** P Rental Hotel/Motel



**NAME** SUTTER HOTEL  
**MAILING ADDRESS** PO BOX 5247  
WALNUT CREEK, CA, 94596-1247



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**CITY OF OAKLAND  
BUSINESS TAX CERTIFICATE**

**ACCOUNT  
NUMBER**  
2273667

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**EXPIRATION DATE**  
12/31/2012

**BUSINESS LOCATION** SUTTER HOTEL  
584 14TH ST  
OAKLAND, CA 94612-1443

**BUSINESS TYPE** N Rental Commercial/Industrial



**NAME** SUTTER HOTEL  
**MAILING ADDRESS** PO BOX 5247  
WALNUT CREEK, CA, 94596-1247



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**CITY OF OAKLAND  
BUSINESS TAX CERTIFICATE**

**ACCOUNT  
NUMBER**  
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**BUSINESS LOCATION** SUTTER HOTEL  
584 14TH ST  
OAKLAND, CA 94612-1443

**EXPIRATION DATE**  
12/31/2011

**BUSINESS TYPE** N Rental Commercial/Industrial



**NAME** SUTTER HOTEL  
**MAILING ADDRESS** PO BOX 5247  
WALNUT CREEK, CA, 94596-1247



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**CITY OF OAKLAND  
BUSINESS TAX CERTIFICATE**

**ACCOUNT  
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**BUSINESS LOCATION** SUTTER HOTEL  
584 14TH ST  
OAKLAND, CA 94612-1443

**EXPIRATION DATE**  
12/31/2011

**BUSINESS TYPE** P Rental Hotel/Motel



**NAME** SUTTER HOTEL  
**MAILING ADDRESS** PO BOX 5247  
WALNUT CREEK, CA, 94596-1247



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**CITY OF OAKLAND  
BUSINESS TAX CERTIFICATE**

**ACCOUNT  
NUMBER**  
2275090

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**BUSINESS LOCATION**  
SUTTER HOTEL  
584 14TH ST  
OAKLAND, CA 94612-1443

**EXPIRATION DATE**  
12/31/2010

**BUSINESS TYPE** P Rental Hotel/Motel



**NAME** SUTTER HOTEL  
**MAILING ADDRESS** PO BOX 5247  
WALNUT CREEK, CA, 94596-1247

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to be conspicuously posted!

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**CITY OF OAKLAND  
BUSINESS TAX CERTIFICATE**

**ACCOUNT  
NUMBER**  
2273667

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**BUSINESS LOCATION**  
SUTTER HOTEL  
584 14TH ST  
OAKLAND, CA 94612-1443

**EXPIRATION DATE**  
12/31/2010

**BUSINESS TYPE** N Rental Commercial/Industrial



**NAME** SUTTER HOTEL  
**MAILING ADDRESS** PO BOX 5247  
WALNUT CREEK, CA, 94596-1247

Public information above this line  
to be conspicuously posted!

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**CITY OF OAKLAND**  
Finance Department  
Revenue Management Bureau  
250 Frank H. Ogawa Plaza, Suite 1320  
Oakland, CA 94612  
(510) 238-3704 TDD (510) 238-3254  
www.oaklandnet.com

---

**BUSINESS CERTIFICATE VERIFICATION**

**Date:** May 13, 2019



**DBA:** 584 14TH STREET LLC.  
**Business Address:** 584 14TH ST  
OAKLAND, CA 94612-1487

**Owner(s)** SURI, KARAN  
**Business Certificate #:** 00197159  
**Expire Date:** 12/31/2017  
**Industry Code:** P - HOTEL/MOTEL

To Whom It May Concern:

This letter serves as notice that the above named business has a current business certificate with the City of Oakland, valid through 12/31/2017.

Sincerely,

Shahla Azimi | (510)-238-2972  
City of Oakland Business Tax Section.



# CITY OF OAKLAND

Finance Department  
Revenue Management Bureau  
250 Frank H. Ogawa Plaza, Suite 1320  
Oakland, CA 94612  
(510) 238-3704 TDD (510) 238-3254  
www.oaklandnet.com

---

## BUSINESS CERTIFICATE VERIFICATION

**Date:** May 13, 2019



**DBA:** 584 14TH STREET LLC.  
**Business Address:** 584 14TH ST  
OAKLAND, CA 94612-1487

**Owner(s)** SURI, KARAN  
**Business Certificate #:** 00197159  
**Expire Date:** 12/31/2018  
**Industry Code:** P - HOTEL/MOTEL

To Whom It May Concern:

This letter serves as notice that the above named business has a current business certificate with the City of Oakland, valid through 12/31/2018.

Sincerely,

Shahla Azimi | (510)-238-2972  
City of Oakland Business Tax Section.



# CITY OF OAKLAND

Finance Department  
Revenue Management Bureau  
250 Frank H. Ogawa Plaza, Suite 1320  
Oakland, CA 94612  
(510) 238-3704 TDD (510) 238-3254  
www.oaklandnet.com

---

## BUSINESS CERTIFICATE VERIFICATION

**Date:** May 13, 2019



**DBA:** 584 14TH STREET LLC.  
**Business Address:** 584 14TH ST  
OAKLAND, CA 94612-1487

**Owner(s)** SURI, KARAN  
**Business Certificate #:** 00197159  
**Expire Date:** 12/31/2019  
**Industry Code:** P - HOTEL/MOTEL

To Whom It May Concern:

This letter serves as notice that the above named business has a current business certificate with the City of Oakland, valid through 12/31/2019.

Sincerely,

Shahla Azimi | (510)-238-2972  
City of Oakland Business Tax Section.

# Attachment G

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**DECLARATION OF ROSS WALKER**

I, Ross Walker, declare as follows:

1. I am the Manager of 584 14th Street, LLC, which is the current owner of the Sutter Hotel. I am over the age of 18 years. I have personal knowledge of the facts stated herein and, if called as a witness, could and would testify competently thereto.

2. 584 14th Street, LLC has owned and operated the Sutter Hotel, located at 584 14th Street, Oakland, since around June 2017.

3. For the entire time 584 14th Street, LLC has owned the Sutter Hotel, it has been operated as a transient (tourist) hotel with daily and weekly rental periods. The only leases entered into with occupants of the Sutter Hotel were for commercial tenants located along the ground floor.

4. 584 14th Street, LLC has not entered into any residential lease agreements, or accepted any payments of rent on a monthly or yearly basis, for the hotel rooms at the Sutter Hotel. All hotel rooms have been rented on a daily or weekly basis.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct, and that this was executed on May 29, 2019.

  
Ross Walker

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**DECLARATION OF RAJ SINGH**

I, Raj Singh, declare as follows:

1. I am a former beneficial owner of the Sutter Hotel. I am over the age of 18 years. I have personal knowledge of the facts stated herein and, if called as a witness, could and would testify competently thereto.

2. I assisted with the operation of the Sutter Hotel, located at 584 14th Street, Oakland, from around August 1987 through June 2017. From late 1987 to November 1995, my brother in law Govinder Singh and his associate Lester Berman owned the Sutter Hotel.

3. I took over ownership of the Sutter Hotel in around November 1995, and was its sole owner and operator from 1995 to 2017.

4. For the entire time I owned the Sutter Hotel, it was operated as a transient (tourist) hotel with daily, weekly, and monthly rental periods. The Sutter Hotel held a transient hotel license issued by the City of Oakland, and transient occupancy taxes were collected and remitted to the City every month. I no longer have complete tax records in my possession, but have produced the records I could find. The Sutter Hotel rooms were predominantly rented on a daily or weekly basis.

5. During the period of 1997 to 2017, I occasionally entered into annual/monthly leases for hotel rooms with the Oakland Housing Authority and a few nonprofit organizations. I entered into approximately 15 of these leases throughout this time period. Under these leases, nonprofits paid the Sutter Hotel to provide a room for clients in their programs.

6. To the best of my recollection, the only leases I entered into directly with tenants (rather than government or nonprofit organizations) were with commercial tenants located along the ground floor of the Sutter Hotel.



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7. In or around 1999, I recall receiving a letter from the City of Oakland confirming that the Sutter Hotel is a "Deemed Approved" transient/tourist hotel.

8. The Sutter Hotel was subject to annual Deemed Approved transient/tourist hotel inspections by City inspectors during my period of ownership. The inspections reviewed the Hotel's bedding, carpeting, cleanliness, general condition, etc.

9. At no time was I told that there were restrictions or limitations on my operation of the rooms at the Hotel. I was never told that the Sutter Hotel was not a transient/tourist hotel, and I was never told not to use Hotel rooms for short-term occupants.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct, and that this was executed on May 29<sup>th</sup>, 2019.

  
\_\_\_\_\_  
Raj Singh

# Attachment H

## **SUTTER HOTEL PHOTOS**

- Exterior
- Lobby
- Seventh Floor Rooms
- Seventh Floor Corridor
- Penthouse Floor

Exterior 1



Exterior 2



Lobby 1



Lobby 2



**Seventh Floor Room 1**



**Seventh Floor Room 2**



Seventh Floor Room 3



Seventh Floor Room 4



Seventh Floor Room 5



Seventh Floor Room 6



**Seventh Floor Corridor 1**



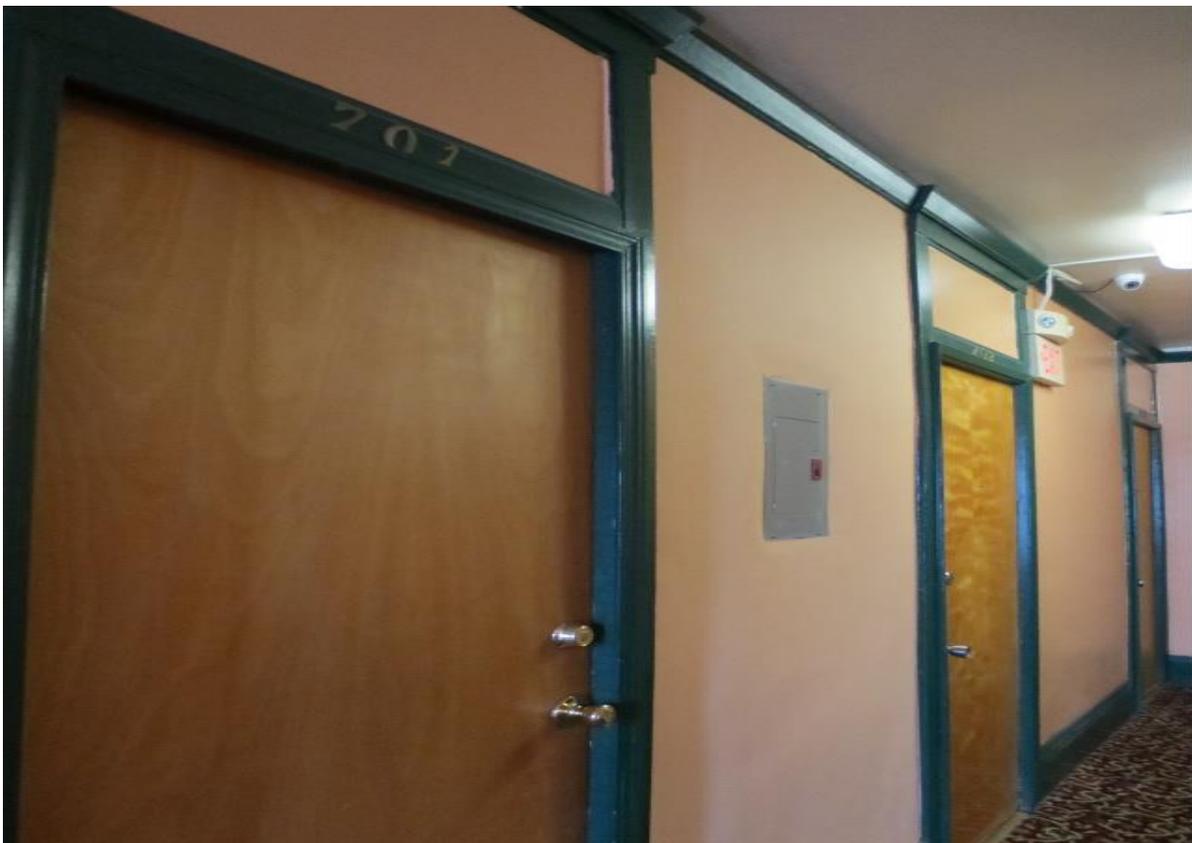
**Seventh Floor Corridor 2**



**Seventh Floor Corridor 3**



**Seventh Floor Corridor 4**



**Eighth Floor Penthouse 1**



**Eighth Floor Penthouse 2**



**Eighth Floor Penthouse 3**



**Eighth Floor Penthouse 4**



**Eighth Floor Penthouse 5**



**Eighth Floor Penthouse 6**



# Attachment I

DOWNTOWN DISTRICT  
District Contributor

Ser. No. \_\_\_\_\_  
HABS \_\_\_\_\_ HAER \_\_\_\_\_ NR3D/4b SHL \_\_\_\_\_ Loc \_\_\_\_\_  
UTM: A \_\_\_\_\_ B \_\_\_\_\_  
C \_\_\_\_\_ D \_\_\_\_\_

## IDENTIFICATION

1. Common name: Hotel Sutter
2. Historic name: Same
3. Street or rural address: 584-88 14th St./1400-16 Jefferson Street  
City Oakland Zip 94612 County Alameda
4. Parcel number: 3-69-17
5. Present Owner: Lappalainen, Aarre Address: 584 14th St.  
City Oakland Zip 94612 Ownership is: Public \_\_\_\_\_ Private X
6. Present Use: Hotel Original use: Hotel

## DESCRIPTION

- 7a. Architectural style: Early 20th century commercial with Renaissance/Baroque ornamentation
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

The Hotel Sutter is a 7-story and mezzanine steel-frame brick hotel building on a southwest-facing corner lot at the edge of the Downtown Oakland district. Its three-part vertical composition consists of a top-floor capital with a wide metal(?) modillion-block cornice and inset marble patterns in the brick wall surfaces, divided by a belt course of molding from a simple brick 5-story shaft whose smooth pilasters and slightly recessed spandrels frame groups of 3 double-hung windows, atop a second modillion-block cornice over the 1½-story base. The base, originally glazed bays and transoms and a terra-cotta framed hotel entrance, was remodelled in 1944-6 as a stream-lined bar, with small porthole windows, glass blocks, and tile or vitrolite facing. The transom appears to be covered rather than removed. The building is 6 bays wide on Jefferson Street, 3 bays on 14th. The hotel lobby occupies the east 2 bays on 14th Street. Only the street facades are finished; the east side, visible over lower buildings, reveals a shallow light court and painted wall signs. There is also a corner neon "Hotel" sign 3 stories high.



8. Construction date: Estimated \_\_\_\_\_ Factual 1913-14
9. Architect C.M. Burrell
10. Builder Muller & Morris
11. Approx. property size (in feet)  
Frontage 50 Depth 103.5  
or approx. acreage \_\_\_\_\_
12. Date(s) of enclosed photograph(s)  
\_\_\_\_\_

151-30A 584-88 14th St./1400-16  
Jefferson St. 3-82

13. Condition: Excellent \_\_\_ Good X Fair \_\_\_ Deteriorated \_\_\_ No longer in existence \_\_\_
14. Alterations: Extensive to first floor
15. Surroundings: (Check more than one if necessary) Open land \_\_\_ Scattered buildings \_\_\_ Densely built-up X  
Residential \_\_\_ Industrial \_\_\_ Commercial X Other: \_\_\_
16. Threats to site: None known X Private development \_\_\_ Zoning \_\_\_ Vandalism \_\_\_  
Public Works project \_\_\_ Other: \_\_\_
17. Is the structure: On its original site? X Moved? \_\_\_ Unknown? \_\_\_
18. Related features: None

## SIGNIFICANCE

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

Permit 32590, issued August 22, 1913, describes this as a \$130,000 7-story Class A steel frame hotel building, architect C.N. Burrell, owners and builders Morris & Muller. Henry C. Morris (d.c.1938) was an "Oakland financier and real estate operator," in partnership through the 1910's and 20's with Frederick A. Muller (b.1875, formerly operator of an Oakland planing mill) in a building construction firm headquartered in the Realty Syndicate Building (1420 Broadway). Oakland architect Clay Burrell (1882-1958) also worked with Morris and Muller on the nearby Hotels Woodrow (644-48 14th Street, 1912) and Oaks (585-89 15th Street, 1914-15), as well as on Muller's family's pickle factory (1917-19: see SHRI form, 200 Grove Street). The Sutter was managed in its first years (1914-16 directories) by J.T. Redmon who also operated the nearby Savoy, Rex, and Avalon - further indication of an interrelated hotel district. The Sutter is architecturally distinguished by its monumental use of Beaux Arts and Chicago style elements. The tallest building in its immediate vicinity, it continues the rhythm of skyscrapers on southwest facing corners established by the bank buildings east of Broadway. It is also part of a notable group of hotels at Jefferson, 14th, and 15th Streets, and the ground floor bar alteration is typical of the development of the neighborhood in the 1940's. The Sutter is contributory to a potential downtown Oakland historic district.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)  
Architecture 1 Arts & Leisure \_\_\_  
Economic/Industrial \_\_\_ Exploration/Settlement \_\_\_  
Government \_\_\_ Military \_\_\_  
Religion \_\_\_ Social/Education \_\_\_
21. Sources (List books, documents, surveys, personal interviews and their dates).  
Oakland Tribune, March 23 & Nov. 22, 1943;  
Yearbook, 1914, p. 15  
J.M. Guinn, History of California, 1904,  
p. 1417-18.
22. Date form prepared May 31, 1984  
By (name) Staff  
Organization Oakland Cultural Heritage Survey  
Address: City Planning Dept., City Hall  
Oakland Zip 94612  
Phone: (415) 273-3941



13. Condition: Excellent \_\_\_ Good X Fair \_\_\_ Deteriorated \_\_\_ No longer in existence \_\_\_
14. Alterations: Extensive to first floor
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 Public Works project \_\_\_ Other: \_\_\_
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 Address: City Planning Dept., City Hall  
 City Oakland Zip 94612  
 Phone: (415) 273-3941



© 1985 City of Oakland

140-15A 184-88 14th St. 11-1-85  
 Source: Oakland Museum  
 Commercial Bank

DOWNTOWN DISTRICT  
District Contributor

Continuation page 121 of 220

Ser. No. \_\_\_\_\_  
HABS \_\_\_\_\_ HAER \_\_\_\_\_ NR 3D/4b \_\_\_\_\_ SWL \_\_\_\_\_ Loc. 61+, SL  
UTM: A \_\_\_\_\_ B \_\_\_\_\_  
C \_\_\_\_\_ D \_\_\_\_\_

IDENTIFICATION

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8. Construction date: 1913-14  
Estimated \_\_\_\_\_ Factual \_\_\_\_\_
9. Architect: C.M. Burrell
10. Builder: Muller & Morris
11. Approx. property size (in feet)  
Frontage 50 Depth 103.5  
or approx. acreage \_\_\_\_\_
12. Date(s) of enclosed photograph(s) \_\_\_\_\_

S P E C I F I C A T I O N S .

Of labor and materials required in the erection and completion of a seven story, Class A, steel frame, hotel building, on the Northeast corner of Fourteenth and Jefferson Streets, in the City of Oakland, County of Alameda, State of California, for

H. C. MORRIS and F. A. MULLER,

According to the accompanying plans, prepared for the same by

C. H. Burrell,  
Albany Bldg.,  
Oakland, Cal.

----- 0 -----

And more particularly described as:-

Address: 584-88 14TH ST/1400 JEFFERSON

A.P. no: 3- 69- 17- 0

UTM: 10/ /

Sanborn 78 Prelim. B+1+

Serial No. 366

Common name: Hotel Sutter  
Historic name: Hotel Sutter

Evaluated by Chris Buckley on 03/18/82  
Tallied (or re-tallied) by computer; printed on 03/21/94

#### Description

584-88 14TH ST is a Beaux Arts derivative-Renaissance revival hotel building in the Downtown district. It is seven stories, rectangular plan, on a corner lot. Present use is hotel, Hotel Sutter. The building is in good condition; its integrity is good.

#### Significance

584-88 14TH ST, the Hotel Sutter, is a very good example of a Beaux Arts derivative-Renaissance revival hotel building. This building appears eligible for the National Register of Historic Places as a primary contributor to the character of the National Register eligible Downtown district. The visual quality of this building helps establish the character of the district. At present this building is not considered eligible for individual listing on the National Register. However if its architectural integrity is carefully restored, its individual eligibility should be reevaluated. It is designated by the City of Oakland as a Study List property (per Study List list dated 6/7/93).

It was built in 1913-14, architect C.N. Burrell and builder Morris & Muller. It is dated by building permit 32590; it was originally valued at \$130,000. Plans are on file with the City of Oakland. Historically the building reflects the city-wide building boom of the Earthquake era, April 1906 to c.1914, and downtown Oakland business and commercial development.

#### Notes:

1913 \$130,000 5 stores, 1 office. 88974 marquee. B8439+584--SSinfo: 7.0 stories; 35000 sf; ORANGE/STEEL FRAME; SUTTER HOTEL///BLDG=HOTEL; 2ND-7TH FLS=ROOMS; PENTHOUSE=PRI.OWNED; 1ST FL=LOBBY/RECEPT; CONC.COL.W/REINF STEEL BEAM; BSMT STORAGE ONLY; LOTS COSMETIC DAMAGE INSIDE/#29590 on green #map (prob in error)--SSaddr: 584-88 14TH ST./ /584 14TH ST



Tribune Mar. 23, 1948 <sup>3</sup>

# Hotel Sold In Court Here

Tribune MAR 29 '48

*O. Hotels*  
The Hotel Sutter, 14th and Jefferson Streets, Oakland, owned by the estate of Mrs. H. C. Morris, was sold on a bid of \$102,000 today in the court of Superior Judge John D. Murphey. The buyers are H. J. Armund and Raymond Wootten, local hotel operators.

An original bid of \$85,000 had been received by the court from Harry D. Marshall, but the property went to Armund and Wootten when they boosted the bid \$1000 at a time in court.

Mrs. Morris, widow of H. C. Morris, Oakland financier and real estate operator who died here about five years ago, died May 13, 1942. Attorney George Clark of Berkeley, who is handling the estate, said today that a complete inventory of the estate holdings should total more than \$1,000,000.

The estate is still in probate, but sale of the hotel property was approved by the court. Armund and Raynard handled the purchase negotiations through F. Bruce Warden & Co here.

Morris came to Oakland some 20 years ago from the East, investing a private fortune in real estate and building ventures. Mrs. Morris, formerly her husband's secretary, was a lawyer and later handled the property left when her husband died. The family home was at MacArthur Boulevard and Vernon Street in Oakland.

*437  
455  
(5.8.48)*

*check out.*

TRIBUNE

MORRIS AND MEYER  
N.E. CORNER FOURTH  
JEFFERSON



*RS*



# Attachment J

# 150 flee 2 hotel fires, only one person hurt

By Harry Harris  
The Tribune

Fires at two Oakland hotels yesterday morning forced the evacuation of more than 150 occupants but only one person was slightly injured, authorities said.

The most spectacular, and also the biggest, was a three-alarm fire that erupted about 10:15 a.m. in a fourth floor room at the Hotel Sutter at 14th and Jefferson streets.

Authorities said the fire was started by a "careless smoker."

The old hotel, which is now home to lower-income, long-term residents, was undergoing repairs from last year's Loma Prieta earthquake.

More than 100 residents of the seven-story building were evacuated. At least 25 being alerted and led to safety by three Oakland police officers who spotted the fire and went floor to floor knocking on doors.

Another 40 occupants of the Park Plaza Hotel on Hegenberger Road got an early wakeup call about 5:30 a.m. when they were forced outside into sub-freezing temperatures by a smoky fire that started in a telephone equipment storeroom.

When the first of 53 firefighters arrived at the Sutter Hotel, bright orange flames were leaping out the window of the fourth floor room, the fire's origin. Black smoke was blowing all

over downtown.

Police Officers Rich Andreotti, Gus Galindo and Andre Rachal were driving by when they saw the flames. They rushed inside and started rousting occupants.

Andreotti said the upper floors were "pitch black" from smoke and their concern was making sure everyone was awake and out of their rooms "before the smoke got them."

The officers did have to lead one man who suffered an asthma attack to a fire escape. He was later taken to a local hospital as a precaution.

The fire was contained in about 20 minutes after firefighters wearing breathing apparatus put out the flames in the two rooms.

Assistant Fire Chief Don Matthews put the damage in excess of \$25,000. Most of the occupants were allowed to return to their rooms but the Red Cross had to find shelter for about a dozen people.

The fire at the Park Plaza Hotel was started by a carelessly discarded match in a ground-floor supply, authorities said.

Battalion Chief Neil Honeycutt said the fire had smoldered for a long time but 20 firefighters kept it from extending to other parts of the six-floor building.



By Dexter Dong, Special to The Tribune

Smoke billows from the fourth floor of the downtown Hotel Sutter.

Xmas '90

PERSON  
NO  
URN #366

Tribune p. 15

TRIBUNE

January, 1914

MORRIS AND MEYER BUILDING  
NE CORNER FOURTEENTH AND  
JACKSON



2/1/14

check out



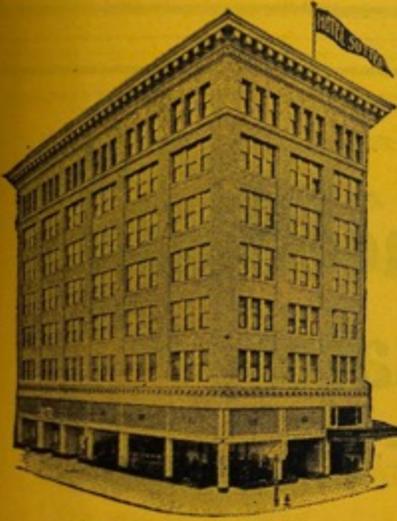
RS  
PR  
ON

p 15

**STRICTLY MODERN**

Special Weekly and Monthly Rates to Permanent Guests  
1st-Class Restaurant in Connection

Handy to Garage



# **HOTEL SUTTER**

**ABSOLUTELY FIREPROOF**

**A REAL HIGH CLASS HOTEL  
MODERN IN EVERY RESPECT**

Rates \$1.50 to \$3.50 Per Day

S. C. WILLIAMS, Prop.

14th St. at Jefferson

Phone Lakeside 1620

OAKLAND, CALIF.

63

mit/Complaint Histor

## PERSONAL MENTION

Text

Why may this text contain mistakes?

Correct this text

## PERSONAL MENTION

A. W. Johnson of San Diego is spending a few days in this city. F. W. Wansner of **Oakland** registered at the **Hotel Sutter** yesterday. A. N. Harvey and wife of Nevada City are visiting friends in Sacramento. C. H. Prank and F. R. Short of San Francisco are stopping at the **Hotel Sutter**. Miss F. M. White and Miss A. E. White of **Oakland** are registered at the Hotel Sacramento. James Parker and M. M. Potts of Butte City registered at the Golden Eagle hotel yesterday. Fred Hartsook, J. R. Allen, C. C. Haskell and son of San Francisco are registered at the Hotel Land. J. Johnson and wife of Fremont, O., who are touring the coast, are stopping at the Golden Eagle hotel. Mrs. F. H. Oakes and her daughter Miss Margaret Oakes of **Oakland** are stopping at the Golden Eagle hotel. J. S. Danner and wife of Placerville registered at the **Hotel Sutter** yesterday, en route from Sisson to their home. V. C. Bryant of Berkeley who is in this city on business connected with the coming state fair is registered at the **Hotel Sutter**. L. A. Irish and wife from Hollywood are stopping at the Hotel Sacramento. G. A. Slacke of San Francisco is at the Hotel Sacramento. Mrs. Sarah A. Bates with her daughters, Mrs. Eliza Devin and Mrs. E. Bucknell, are enjoying their vacation in their bungalow at Oceano beach.

Comments (0)

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Page 2 Advertisements Column 1

Text

Why may this text contain mistakes?  
Correct this text

Can You Imagine It you who bake and sizzle where the heat climbs up to 100? Here the summers are perfect—cooled by ocean breezes. No better vacation resort in all the state—with ideal city life—where the hotels are most satisfactory and the rates reasonable. Write or wire for accommodations today

**IDEAL HOTELS**  
 Hotel Athens Hotel Oellin  
 Hotel Hurri.mn Key Route Inn Berkeley Inn  
**OAKLAND** Hotel St. Mark Hotel Menlo  
 Hotel Oaks Hotel **Oakland** BERKELEY Hotel  
 01 armont Hotel Sun Pablo **Hotel Sutter**  
 Hotel Touraine Hotel W oodrow Hotel Whil  
 eollon Hotel Berkeley Hotel Carlton the real  
 vacation cities Goto SAN FRANCISCO for a  
 Cool, Interesting and Inexpensive Vacation  
 Stop at HOTEL STEWART Excellent  
 accommodations, homelike comfort and  
 high class service at moderate rate\*. The  
 heat known meals in the Unltvl States.  
 Room rates furnished ?E\*lll r \*. (i ue j t 'l  
 definite reservation before arrival is advised.  
 The a LWART on Geary Street, just off Union  
 Square la close to everything we-th while.  
 Municipal car Kno passes the door. Stewart  
 Motor Bus meets principal trains and  
 steamers. Chas. A. and Margaret Stewart.  
 Proprietors,

Comments (0)

Please log in to add comments.

Tags (0)

Please log in to add tags.

*Where the Mercury averages 59°*

*Can You Imagine It*  
 you who bake and sizzle where the heat climbs up to 100? Here the summers are perfect—cooled by ocean breezes. No better vacation resort in all the state—with ideal city life—where the hotels are most satisfactory and the rates reasonable. Write or wire for accommodations today

**IDEAL HOTELS** *Reasonable Rates*

<b>OAKLAND</b>		
Hotel Athens	Hotel St. Mark	Hotel San Pablo
Hotel Crellin	Hotel Menlo	<b>Hotel Sutter</b>
Hotel Harrison	Hotel Oaks	Hotel Touraine
Key Route Inn	Hotel <b>Oakland</b>	Hotel Woodrow
<b>BERKELEY</b>		
Berkeley Inn	Hotel Claremont	Hotel Whitecotton
Hotel Berkeley	Hotel Carlton	

**Oakland and Berkeley**  
*the real vacation cities*

Issue Article

PERSONAL MENTION

Text

Why may this text contain mistakes?

Correct this text

PERSONAL MENTION

Mr. and Mrs. H. C. Martin, who were married in **Oakland** on June 2, are spending their honeymoon in this city and are registered at the Hotel Land. The groom is connected with one of the **Oakland** newspapers.

Another pair of newlyweds at the same hotel are Mr. and Mrs. William Vestal, who are also from **Oakland**. With them are Miss Louise Grandt, Mrs. M. Bruce and I. Burke, the entire party enjoying a motor trip to Lincoln and through the surrounding country on Sunday.

Other guests at the Hotel Land are P. G. McKenna, a tourist from Chicago; C. M. Harlan, a Willow stock raiser; J. H. Freeman, a mining man from Lovelock, Nev.; Mr. and Mrs. H. Sparks of Liberty, Mo.; Dr. and Mrs. E. E. Wilson and little daughter of Walnut Grove; Mr. and Mrs. J. O. Liggett of San Francisco; Mrs. Eva Conger, a school teacher of Chico; Mrs. J. W. Gillespie of El Paso, Tex.; Miss M. P. Andrews and Miss M. C. Barkley, school teachers of Placerville.

Dr. Henry Harris, an eminent specialist of San Francisco, is a guest at the Hotel Sacramento, while others are R. H. Baldwin, lecturer of San Francisco, and Mrs. Baldwin; F. F. Cooper, a dredger operator of San Francisco; C. C. Donovan, hop grower from Santa Rosa; George C. Kite, rancher, and his wife, from Courtland; R. A. McCabe, a business man of Fresno; W. J. Miller of San Francisco, the architect who planned the Native Sons' building; Mrs. M. W. Figg of Walnut Grove, and an automobile party from Piedmont including Mr. and Mrs. J. S. McCandless, Mrs. E. A. Harger, Miss R. L. Harger, Allen Harger and Robert Hoover.

Several automobile parties have been registered at the **Hotel Sutter** these last two days. One includes Mr. and Mrs. C. C. Evans of Los Angeles; an-



On Mar 8, 2019, at 11:38 AM, Alexis Pelosi <[alexis@pelosilawgroup.com](mailto:alexis@pelosilawgroup.com)> wrote:

Mark,

Any update? Thanks

Alexis

**Alexis M. Pelosi**  
Principal Attorney  
(415) 273-9670 ext. 1 (o)  
(415) 290-4774 (c)  
[alexis@pelosilawgroup.com](mailto:alexis@pelosilawgroup.com)  
[www.pelosilawgroup.com](http://www.pelosilawgroup.com)

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**From:** mark hulbert  
**Sent:** Monday, March 4, 2019 10:08 AM  
**To:** Alexis Pelosi  
**Subject:** Re: Oakland Research  
**Importance:** High

CITY OF OAKLAND



DALZIEL BUILDING • 250 FRANK H. OGAWA PLAZA • SUITE 3315 • OAKLAND, CALIFORNIA 94612

Planning and Building Department  
Bureau of Planning

(510) 238-3941  
FAX (510) 238-6538  
TDD (510) 238-3254

June 26, 2019

584 14<sup>th</sup> Street, LLC  
301 N. Canon Drive, Suite 305  
Beverly Hills, CA 90210

Re: **DET190031; 584 14<sup>th</sup> Street; APN: 003 006901700**

Dear Applicant:

This letter is in response to your submission of supplemental documentation for a Residential Hotel Statement of Exemption following an Incomplete Letter dated May 1, 2019. After a review of the documents your application has been deemed **COMPLETE**. This letter does not constitute either a granting of a Certificate of Status or Certificate of Exemption.

Per the Planning Code, Section 17.153.030E, "The Director shall review the Initial Usage Report or Statement of Exemption and evidence submitted. Within 120 days of receipt of a complete Statement of Exemption or Initial Usage Report, supported by evidence, the Director shall certify the information provided in the Initial Usage Report or certify an Exemption. If the property is deemed a Residential Hotel, the Certificate of Status, including a graphic floor plan, shall be posted permanently in the lobby or entranceway of the Residential Hotel."

If you have any questions, feel free to contact me, **Brittany Lenoir**, Planner 1, at (510) 238-4977, or by e-mail at [blenoir@oaklandca.gov](mailto:blenoir@oaklandca.gov).

Sincerely,

A handwritten signature in black ink, appearing to read "Brittany Lenoir", written in a cursive style.

*Brittany Lenoir*  
*Planner I*  
*Bureau of Planning*

CC: Alexis M. Pelosi, [alexis@pelosilawgroup.com](mailto:alexis@pelosilawgroup.com)  
[jbird@hawkinsway.com](mailto:jbird@hawkinsway.com)  
[ross.walker@hawkinsway.com](mailto:ross.walker@hawkinsway.com)

FLOT PLAN

REPORT OF INVESTIGATOR

No. 4.1251

3-6-37 - not started - H  
3-18-37 - good Prog. - H

APPLICATION

Permit for Alteration

At 584 14 St  
(House Number)

A. C. Morris Owner

W. Mullin Contractor

Cost \$ 300.00 Fee \$ 2.00

Issued \_\_\_\_\_



Permission is hereby granted to erect, alter or repair the building described in this application in accordance with the Building Ordinances of the City of Oakland, and to the satisfaction of the Building Inspector.

Approved [Signature] E. U. ROUSSELL  
By \_\_\_\_\_ Building Inspector

Issued \_\_\_\_\_

F.O.K. \_\_\_\_\_

R.O.K. \_\_\_\_\_

W.O.K. \_\_\_\_\_

L.O.K. \_\_\_\_\_

PLASTER O.K. \_\_\_\_\_

FINAL O.K. 4-12-37 \_\_\_\_\_

PLANS CHECKED

- Zoning
- Setback Line
- Fire Limits
- Area Limit
- Court Areas
- Height Limit
- Garage Area
- Ventilation
- Chimneys and Flues
- Type of Frame
- Exterior Walls
- Floor Construction
- Soil
- Foundation
- Retaining Walls
- Engineering

APPROVED: \_\_\_\_\_  
Plan Checker

AFFIDAVIT

I hereby make affidavit that the information contained in this application and on the plans and specifications is true and contains a correct description of the proposed work. All said work is to be done in accordance with the State Housing Act. I am authorized to act as agent for the owner.

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 1937

Deputy City Clerk

WRITE IN INK—FILE TWO COPIES

# APPLICATION FOR A BUILDING PERMIT

APPLICATION IS HEREBY MADE TO THE BUILDING DEPARTMENT OF THE CITY OF OAKLAND FOR PERMISSION TO DO THE FOLLOWING WORK AT

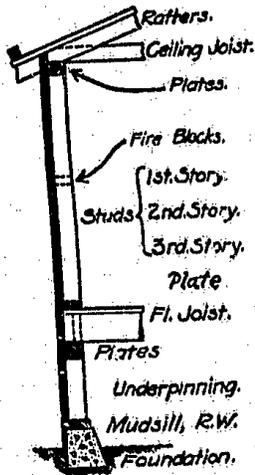
NUMBER 584 14 ST

STREET  
AVE.

WRITE PLAINLY FULL DESCRIPTION OF WORK TO BE DONE  
ALL NEW CONSTRUCTION MUST BE DESCRIBED AS TO SIZE, SPAN AND SPACING

*Remove 20' rest area stud partition  
cut 2 arches & install stop front  
install Base plugs  
2nd & 3rd Bldg*

Roof Covering.



ENTIRE COST OF WORK (THIS MUST INCLUDE EVERYTHING NECESSARY FOR COMPLETE CONSTRUCTION OF WORK) \$ 300.00

BUILDING NOW USED AS Hotel  
BUILDING TO BE USED AS " BY "

I HEREBY AGREE TO WAIVE, INDEMNIFY AND KEEP HARMLESS THE CITY OF OAKLAND AND ITS OFFICERS, EMPLOYEES AND AGENTS AGAINST ALL LIABILITIES, JUDGMENTS, COSTS AND EXPENSES WHICH MAY IN ANY WISE ACCRUE AGAINST THE CITY IN CONSEQUENCE OF THE GRANTING OF THIS PERMIT, OR FROM THE USE OR OCCUPANCY OF ANY SIDEWALK, STREET OR SUB-SIDEWALK, OR OTHERWISE BY VIRTUE THEREOF, AND WILL IN ALL THINGS STRICTLY COMPLY WITH THE CONDITIONS UNDER WHICH THIS PERMIT IS GRANTED.

CONTRACTOR OR ARCHT. J. Miller } OWNER J.C. Morris  
ADDRESS 1416 Jefferson } ADDRESS 1416 Jefferson  
DESIGNER None } BY J.C. Morris  
ADDRESS \_\_\_\_\_

ORDINANCE 188 I.S., SECTION 88: "WHEN A BUILDING IS READY FOR LATHING OR SHEATHING ON THE INSIDE, THE BUILDING INSPECTOR SHALL BE NOTIFIED. THE ROUGH STUDDING SHALL NOT BE COVERED OR IN ANY WAY CONCEALED FROM VIEW UNTIL INSPECTION HAS BEEN MADE AND THE WRITTEN APPROVAL OF THE BUILDING INSPECTOR OBTAINED."

THE DEPARTMENT WILL CALL UP TELEPHONE NO. 541-2100 IF ANY ALTERATIONS OR CHANGES ARE NECESSARY ON THE PLANS SUBMITTED.

STATE LICENSE NO. \_\_\_\_\_ CITY LICENSE NO. \_\_\_\_\_

PLOT PLAN

REPORT OF INVESTIGATOR

No. **B 8270**

R. O. K.

**APPLICATION**

Permit for *alter*

R. O. K.

At *584-146<sup>th</sup> St.*  
(Block Number)

W. O. K.

*Wentworth's through* Owner  
*W. M. Smith* Contractor  
Cost \$ *200* Fee \$ *29*

L. O. K.

Issued **OCT 31 1945**

PLASTER O. K.

FINAL O. K. *4/21/46*

PLANS CHECKED

- Zoning
- Schack Line
- Fire Limits
- Area Limit
- Court Areas
- Height Limit
- Garage Area
- Ventilation
- Chimneys and Flues
- Type of Frame
- Exterior Walls
- Floor Construction
- Soil
- Foundation
- Reinforcing Walls
- Engineering

AFFIDAVIT

I hereby make affidavit that the information contained in this application and on the plans and specifications is true and contains a correct description of the proposed work. All said work is to be done in accordance with the State Housing Act. I am authorized to act as agent for the owner.

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 194\_\_\_\_\_

Deputy City Clerk

APPROVED: \_\_\_\_\_ Plan Checker

Permission is hereby granted to erect, alter or repair the building described in this application in accordance with the Building Ordinances of the City of Oakland, and to the satisfaction of the Building Inspector.

Approved

**E. U. ROUSSELL**  
Chief Building Inspector

By *MP*  
**THIS PERMIT DOES NOT COVER ANY ELECTRICAL OR PLUMBING WORK.**

WRITE IN INK—FILE TWO COPIES

# APPLICATION FOR A BUILDING PERMIT

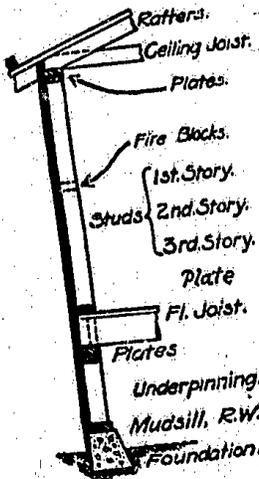
APPLICATION IS HEREBY MADE TO THE BUILDING DEPARTMENT OF THE CITY OF OAKLAND FOR PERMISSION TO DO THE FOLLOWING WORK AT \_\_\_\_\_ Street Ave.

Number 7 E. Cor. Jefferson and 14th Streets

WRITE PLAINLY FULL DESCRIPTION OF WORK TO BE DONE  
All new construction must be described as to size, span and spacing

Remove partition in lobby, between Gent's side and Parlor (now bearing partitions)

Roof Covering



\$200.00

Entire cost of work \_\_\_\_\_  
(This must include everything for complete construction of work)

Building now used as Hotel By Hotel Sutter

Building to be used as Hotel

I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit, or from the use or occupancy of any sidewalk, street or sub-sidewalk or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.

Contractor W. M. Louie (if any) Owner Wastens & Armand

Address 283 9th Oakland, Cal. Address Hotel Sutter

Architect Same By J. R. Reid

Address \_\_\_\_\_

Ordinance 1485 N.S., Section 86: "When a building is ready for lathing or sheathing on the inside, the Building Inspector shall be notified. The rough STUDDING SHALL NOT BE COVERED or in any way concealed from view until inspection has been made and the written approval of the Building Inspector obtained."  
The department will call up Telephone No. TE-1657 if any alterations or changes are necessary on the plans submitted.

STATE LICENSE No. 2239 CITY LICENSE No. 1223f

FLOT PLAN

REPORT OF INVESTIGATOR

No. B 8439

APPLICATION

Permit for *Alter*

At *584-14th St*  
(House Number)

*M. Proctor* Owner  
*W. G. Fairlee* Contractor

Cost \$ *1000* Fee \$ *40*

Issued *NOV 13 1945*

*Copy Tear and etc 11/13/45 GCS*  
R. O. K.

R. O. K.

W. O. K.

L. O. K.

PLASTER O. K.

FINAL O. K. *11/13/45 GCS*

PLANS CHECKED

AFFIDAVIT

I hereby make affidavit that the information contained in this application and on the plans and specifications is true and contains a correct description of the proposed work. All said work is to be done in accordance with the State Housing Act. I am authorized to act as agent for the owner.

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 194\_\_\_\_  
Deputy City Clerk

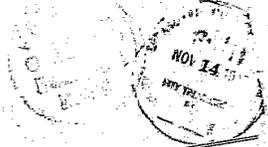
- Zoning
- Setback Line
- Fire Limits
- Area Limit
- Court Areas
- Height Limit
- Garage Area
- Ventilation
- Chimneys and Flues
- Type of Frame
- Exterior Walls
- Floor Construction
- Soil
- Foundation
- Retaining Walls
- Engineering

APPROVED: \_\_\_\_\_ Plan Checker

Permission is hereby granted to erect, alter or repair the building described in this application in accordance with the Building Ordinances of the City of Oakland, and to the satisfaction of the Building Inspector.

Approved *E. U. ROUSSELL*  
Chief Building Inspector

By *WMO*  
THIS PERMIT DOES NOT COVER ANY ELECTRICAL OR PLUMBING WORK.



WRITE IN INK—FILE TWO COPIES

# APPLICATION FOR A BUILDING PERMIT

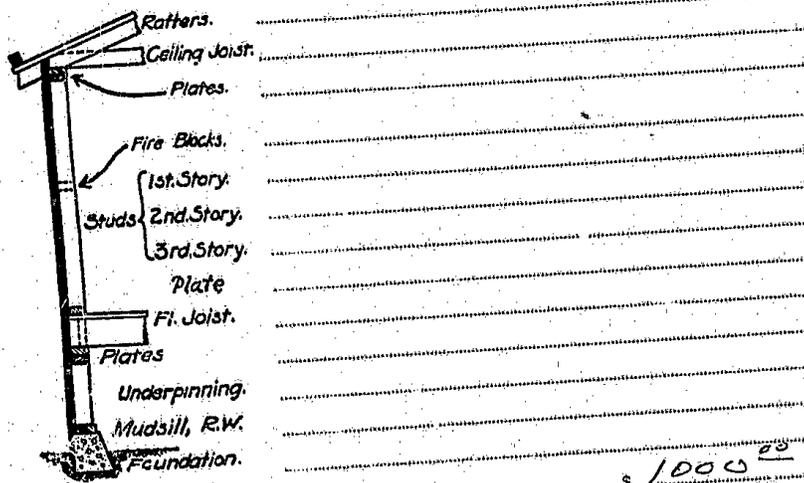
APPLICATION IS HEREBY MADE TO THE BUILDING DEPARTMENT OF THE CITY OF OAKLAND FOR PERMISSION TO DO THE FOLLOWING WORK AT

Number Hotel suites 14th Jefferson Street Ave

WRITE PLAINLY FULL DESCRIPTION OF WORK TO BE DONE  
All new construction must be described as to size, span and spacing

install steel for masonry

Roof Covering.



\$ 1000.00

Entire cost of work  
(This must include everything for complete construction of work)

Building now used as Hotel By Hotel

Building to be used as Hotel

I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit, or from the use or occupancy of any sidewalk, street or sub-sidewalk or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.

Contractor W.C. Tait Co. (if any) Owner W. Wooten

Address 461 Market St. Address 14th Jefferson St.

Architect Charles George By W.C. Tait Co.

Address \_\_\_\_\_

Ordinance 1485 N.S., Section 86: "When a building is ready for lathing or sheathing on the inside, the Building Inspector shall be notified. The rough STUDDING SHALL NOT BE COVERED or in any way concealed from view until inspection has been made and the written approval of the Building Inspector obtained."  
The department will call up Telephone No. suites 1522 if any alterations or changes are necessary on the plans submitted.

STATE LICENSE No. 74151 CITY LICENSE No. 5-31-41

PLOT PLAN

REPORT OF INVESTIGATOR

No.

B 8914

78

P. O. K.

APPLICATION

Permit for Extension to  
Marquette

R. O. K.

At 14<sup>th</sup> Jefferson St  
(House Number)

W. O. K.

584-14<sup>th</sup> Street

B. Weston Owner

Wentworth Contractor

L. O. Y.

Cost \$ 800.00 Fee \$ 4.00

Issued DEC 18 1945

PLASTER O. K.

PLANS CHECKED

- Zoning
- Setback Line
- Fire Limits
- Area Limit
- Court Areas
- Height Limit
- Garage Area
- Ventilation
- Chimneys and Flues
- Type of Frame
- Exterior Walls
- Floor Construction
- Soil
- Foundation
- Retaining Walls
- Engineering

AFFIDAVIT

I hereby make affidavit that the information contained in this application and on the plans and specifications is true and contains a correct description of the proposed work. All said work is to be done in accordance with the State Housing Act. I am authorized to act as agent for the owner.

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 194\_\_\_\_\_

Deputy City Clerk

APPROVED: \_\_\_\_\_ Plan Checker



Permit is hereby granted to erect, alter or repair the building described in this application in accordance with the Building Ordinances of the City of Oakland, and to the satisfaction of the Building Inspector.

Approved E. U. ROUSSELL  
Chief Building Inspector

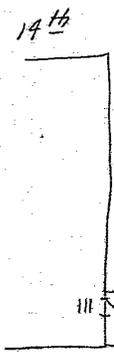
By [Signature]  
THIS PERMIT DOES NOT COVER ANY ELECTRICAL OR PLUMBING WORK

FINAL O. K. 5/16/60

32  
5118-187



PLOT PLAN



Remove Window and  
add doors & Steps  
6 Floors.

B 40258

(584-88 Ad. Lt)  
96 H.C.C. 16 Jefferson St.

Inspected No. B40466

APPLICATION FOR A PERMIT TO  
ALTER, REPAIR, ADD TO OR  
WRECK A BUILDING

Case No. \_\_\_\_\_  
Via. Co. \_\_\_\_\_

Owner B. Wooda

Contractor L.V. Cantrell

Job Location No. 584 14th St.

14th & Jefferson

Cost \$ 1220.00 Fee \$ 12.-

Cost of work to be checked before final inspection

JAN 27 1952  
Date Jan. 21, 1952

Permission is hereby granted to alter, repair, add to  
or wreck the building or structure described in this  
application in accordance with Ordinance No. 2749  
C.M.S., and all other Ordinances related thereto in  
the City of Oakland, and to the satisfaction of the  
Building Inspector.

Approved M. P. KITCHEL  
Building Inspector.

By NON

R.O.K. \_\_\_\_\_

info 2-1-52 RRY

R.O.K. \_\_\_\_\_

W.O.K. \_\_\_\_\_

L.O.K. \_\_\_\_\_

PLASTER O.K. \_\_\_\_\_

FINAL O.K. 2-1-52 RRY

\*WARNING: This proposed construction may be  
in violation of National Production Authority Orders,  
or other Federal restrictions or prohibitions. You are  
cautioned to consult with appropriate Federal authori-  
ties before commencing the work authorized by this  
permit.

Above Warning Noted: \_\_\_\_\_  
Permittee

Case No. ....  
Plan. Com.

City Manager's  
Permit .....

WRITE IN INK — FILE TWO COPIES

Application to Alter, Repair, Add to Or Wreck a Building  
CITY OF OAKLAND, BUILDING DEPARTMENT

Number 589 14<sup>th</sup> Avenue Street

- 1. Type of Building I, II, III, IV, V
- 2. Type of Occupancy A, B, C, D, E, F, G, H, I, J
- 3. City Zone A, B, C, D, E, F, G, H, I
- 4. Fire Zone 1, 2, 3, 4
- 5. If in Port Area, file three applications.
- 6. Present use of building Hotel Sutter Families..... Rooms.....  
(Store, Dwelling, Apartment House, Hotel or other purposes)
- 7. Proposed use of Building..... Families..... Rooms.....  
(Store, Dwelling, Apartment House, Hotel or other purposes)
- 8. State how many buildings now on lot and give use of each.....  
(Store, Dwelling, Apartment House, Hotel or other purposes)
- 9. Size of existing Building..... Number of stories high.....

For Office Use Only

10. Describe briefly all proposed construction work:  
Remove window and install door and steps on six floors - one hand rail required. Hall wall be 3' w. width - 3 steps - 8" max. riser, 9" max. tread  
OK. 2/14/52

Footings: Width..... Depth in Ground..... Width of Wall..... Mudsill.....  
11. Size of Studs..... Size of Floor Joists.....  
Size of Rafters..... Roof Covering.....

12. VALUATION OF PROPOSED WORK:  
Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electric wiring and elevator equipment therein or thereon, \$.....  
COST OF WORK TO BE CHECKED BEFORE FINAL INSPECTION

I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, em, Joyees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street or sub-sidewalk, or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.

Contractor (if any) L. V. Cantrell  
Address 1833 El Dorado Ave. Berk  
Certified Architect..... State License No.....  
Licensed Engineer..... State License No.....

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City ordinances and State laws regulating building construction.  
Signature of R. Woodin  
Owner.....  
Address Hotel Sutter  
Authorized Agent 14<sup>th</sup> & Jeff

Do not lath, sheath, or otherwise conceal any portion of walls or ceiling until the inspection card has been signed by the ELECTRICAL and PLUMBING INSPECTORS. Following the approval of the ELECTRICAL and PLUMBING INSPECTORS, call the BUILDING INSPECTOR before proceeding further with the work.

The Department will call up Telephone No. 296-2323 if any alterations or changes are necessary on the plans submitted. 5726

CONTRACTOR'S STATE LICENSE No. 103251 AND CITY LICENSE No. 11768

If the work herein described is not commenced within sixty (60) days after the issuing of this permit, this permit becomes null and void as provided in Section 19 of Part 1 of Ordinance 2745 C.M.S.

*Take approval  
to  
Housing*

**FOR OFFICE USE ONLY**

HOUSING DIVISION *William F. Adams*

FIRE MARSHAL APPROVAL *W. Adams*

CITY MANAGER PERMIT NO. \_\_\_\_\_

MOVING PERMIT NO. \_\_\_\_\_

POINT OF OAKLAND APPROVAL \_\_\_\_\_

PLUMBING PERMIT NO. \_\_\_\_\_

HEALTH DEPT. APPROVAL \_\_\_\_\_

8 OF E & A ITEM NO. \_\_\_\_\_

H A & A RES. NO. \_\_\_\_\_

ZONING OR PLANNING NO. \_\_\_\_\_

**BUILDING & HOUSING DEPARTMENT — CITY OF OAKLAND**  
WRITE IN INK - FILE ALL COPIES

DATE FILED \_\_\_\_\_

DATE ISSUED JUN 13 1969 PERMIT NO. 028037 Inspected

**APPLICATION FOR PERMIT TO:**

ALTER  ADD TO  NEW CONSTR.

REPAIR  WRECK  OTHER

JOB LOCATION 584-1475 St

OWNER'S NAME Mr. B. Wiest

OWNER'S ADDRESS Same As Above

OWNER'S PHONE NO. TE-1620

FIELD CHECK BY \_\_\_\_\_ DATE \_\_\_\_\_

Approved YES \_\_\_\_\_

REMARKS (conditions noted) \_\_\_\_\_

**FOR OFFICE USE ONLY**

584-1475 St

**VALUE:**

\$ 250 Address Fee \$ \_\_\_\_\_

General Fee \$ 500 Receipt No. \_\_\_\_\_

Checking Fee \$ \_\_\_\_\_

**ADDITIONAL COST:** TOTAL FEES \$ 500

Add'l Fee \$ \_\_\_\_\_

Check'g Fee \$ \_\_\_\_\_

**TOTAL VALUE:** TOTAL FEES \$ 250

PLAN FILED Yes  No  SURVEYS FILED Yes  No

MAP NO. 78 TRACT NAME/NO. \_\_\_\_\_

TYPE OF BUILDING  I  II  III  IV  V H.T.  N

OCCUPANCY GROUP A  B  C  E  F  G  I

ZONING DISTRICT R 2 3 C M S

FIRE ZONE 0 2 3 C M S

**ADDITION ALTERATION REPAIR**

**NEW CONSTRUCTION**

Size of new building \_\_\_\_\_ x \_\_\_\_\_

Height to highest point \_\_\_\_\_

No. of Stories \_\_\_\_\_

Specific type of Occupancy \_\_\_\_\_

State how many buildings now on lot \_\_\_\_\_ and give use of each \_\_\_\_\_

Footing Width \_\_\_\_\_ Depth in Ground \_\_\_\_\_

Studs \_\_\_\_\_ cfr. Floor Joists \_\_\_\_\_ Width of Wall \_\_\_\_\_ Mudfill \_\_\_\_\_

Rafters \_\_\_\_\_ cfr. Roof Covering \_\_\_\_\_ cfr. Ceiling Joists \_\_\_\_\_ cfr. \_\_\_\_\_

Material of Exterior Walls \_\_\_\_\_

**VALUATION OF PROPOSED WORK: \$ \_\_\_\_\_**

Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electric wiring and elevator equipment therein or thereon.

**COST OF WORK TO BE CHECKED BEFORE FINAL INSPECTION.**

Permission is hereby granted to do the work described in this application in accordance with the provisions of the Oakland Building Code and related ordinances.

Approved: LAWRENCE A. LANE  
By: [Signature]

**TO BE SIGNED ONLY WHEN ISSUED TO OWNER.**

I hereby certify that I am the applicant for a Building Permit, and that in the performance of the work for which such permit is issued, I will not employ any person or persons in any manner so as to become subject to the provisions of the Labor Code of the State of California relating to workmen's compensation insurance.

**CONSTRUCTION LEADER**  
(if none, write none)

Name [Signature]

Branch \_\_\_\_\_

Street Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Signature of Owner \_\_\_\_\_

Present use of building Hotel Families \_\_\_\_\_ Rm. \_\_\_\_\_

Proposed use of building Hotel Families \_\_\_\_\_ Rm. \_\_\_\_\_

Size of existing building \_\_\_\_\_ Number of stories high \_\_\_\_\_

Describe briefly all proposed construction work: Install one Partition in Room 209 to gain Access to Fire Escape. Partition to be constructed with original 5x8 steel beam and metal studs.

Contractor: (if any) L. W. Miller Certified Architect

Address: 1948 - 42nd Ave. Oakland

Phone No. 861-6787 Licensed Civil Engineer

State License No. 129236 City License No. Dec. 1969

I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any wise accrue against the City in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street or sub-sidewalk, or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.

[Signature]  
Signature of Applicant

339-6 (10-66) DEPARTMENT COPY

FOR INSPECTIONS TELEPHONE 273-3441

PLOT PLAN

APPROVAL REQUIRED BY STREET AND ENGINEERING DEPARTMENT:  
There are no PROPOSED STREET OPENINGS, PUBLIC EASEMENTS OF RECORD  
or  
in this Department which are in conflict with this application.  
REMARKS:

By: \_\_\_\_\_  
STREET AND ENGINEERING DEPARTMENT  
Date: \_\_\_\_\_

FORMS OK

FIREPLACE OK

WIRE (EXT.) OK

LATH (INT.) OK

GYPSUM OK  
PLASTER

ROUGH OK 6-16-69 *MS*

FINAL OK 6-26-69 *MS*

FOR OFFICE USE ONLY

HOUSING DIVISION \_\_\_\_\_  
 FIRE MARSHAL APPROVAL \_\_\_\_\_  
 SPECIAL ACTIVITY PERMIT NO. \_\_\_\_\_  
 MOVING PERMIT NO. \_\_\_\_\_  
 PORT OF OAKLAND APPROVAL \_\_\_\_\_  
 PLUMBING PERMIT NO. \_\_\_\_\_  
 HEALTH DEPT. APPROVAL \_\_\_\_\_  
 B O F E & A ITEM NO. \_\_\_\_\_  
 H A R A B RES. NO. \_\_\_\_\_  
 ZONING OR PLANNING NO. \_\_\_\_\_

BUILDING & HOUSING DEPARTMENT - CITY OF OAKLAND  
 WRITE IN INK - FILE ALL COPIES

DATE FILED FEB -3 1976 PERMIT NO. 87821  
 DATE ISSUED \_\_\_\_\_ APPLICATION FOR PERMIT TO:  
 ALTER ADD TO NEW CONSTR.  
 REPAIR WRECK OTHER \_\_\_\_\_  
 JOB LOCATION 584 14th St.  
 OWNER'S NAME BILL BASINET  
 OWNER'S ADDRESS 610 Bldg.  
 OWNER'S PHONE NO. 832-1628  
 FIELD CHECK BY \_\_\_\_\_ DATE \_\_\_\_\_  
 Approved YES \_\_\_\_\_  
 REMARKS (conditions noted) \_\_\_\_\_

584-88 14th St (Roof)  
 Receipt No.

VALUE: B. R. Tax \$ \_\_\_\_\_  
 SMIP \$ 20  
 Address Fee \$ \_\_\_\_\_  
 General Fee \$ 24  
 Checking Fee \$ 14.40  
 TOTAL FEES \$ 38.40  
 ADDITIONAL COST: Add'l Fee \$ \_\_\_\_\_  
 Add'l \$ \_\_\_\_\_  
 Date \_\_\_\_\_  
 Checking Fee \$ \_\_\_\_\_  
 Add'l SMIP \$ \_\_\_\_\_  
 TOTAL VALUE: TOTAL FEES \$ \_\_\_\_\_  
 PLAN FILED Yes \_\_\_\_\_ No \_\_\_\_\_ SURVEYS FILED Yes \_\_\_\_\_ No \_\_\_\_\_  
 MAP NO. 78 TRACT NAME/NO. \_\_\_\_\_  
 TYPE OF BUILDING (1) II III IV V HT. 1 br. N  
 OCCUPANCY GROUP A B C D E (F) (H) I  
 ZONING DISTRICT 2 C M S  
 FIRE ZONE (2) 3

NEW CONSTRUCTION

Size of new building \_\_\_\_\_ Number of Families \_\_\_\_\_  
 Height to highest point \_\_\_\_\_ Size of Lot \_\_\_\_\_  
 No. of Stories \_\_\_\_\_ Material of Exterior Walls \_\_\_\_\_  
 Specific type of Occupancy \_\_\_\_\_  
 State how many buildings now on lot \_\_\_\_\_  
 and give use of each \_\_\_\_\_  
 Footing Width \_\_\_\_\_ Depth to Ground \_\_\_\_\_ Width of Wall \_\_\_\_\_ Mudfill \_\_\_\_\_  
 Studs \_\_\_\_\_ ctrs. Floor Joists \_\_\_\_\_ ctrs. Ceiling Joists \_\_\_\_\_ ctrs.  
 Rafters \_\_\_\_\_ ctrs. Roof Covering \_\_\_\_\_

VALUATION OF PROPOSED WORK: \$ 2600.00  
 Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing,  
 fire sprinkler, electric wiring and elevator equipment therein or thereon.  
 COST OF WORK TO BE CHECKED BEFORE FINAL INSPECTION.  
 Permission is hereby granted to do the work described in this application in accordance with the provisions of the Oakland Building Code and related ordinances.

Approved: DANIEL W. FINEMANN  
 Chief Building Inspector  
 By: [Signature]

TO BE SIGNED ONLY WHEN ISSUED TO OWNER.  
 I hereby certify that I am the applicant for a Building Permit, and that in the performance of the work for which such permit is issued, I will not employ any person or persons in any manner so as to become subject to the provisions of the Labor Code of the State of California relating to workmen compensation insurance.  
 Signature of Owner \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

CONSTRUCTION LENDER (If none, write none)  
 Name \_\_\_\_\_  
 Branch \_\_\_\_\_  
 Street Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

ADDITION ALTERATION REPAIR

Present use of building HOTEL Families 103  
 Proposed use of building HOTEL Families 103  
 Size of existing building \_\_\_\_\_ Number of stories high 7  
 Describe briefly all proposed construction work: REMOVE 8 WOODEN DOORS  
 AND REPLACE WITH ALUMINUM 4" INSERT SLIDING  
 REMOVE AND REPLACE 2-3'0" 6" EXT. DOORS AND  
 REPLACE CLOSE OFF 1-3'17" AREA  
 CLOSE OFF 1-4'7" AREA Pen. House  
 Contractor: (if any) LAM'S CONSTRUCTION Certified Architect  
 Address 1623 MACARTHUR BLVD.  
 Phone No. 562-8624 Licensed Civil Engineer  
 State License No. 18088 City License Exp. Jan 31 1976  
 I hereby agree to save, indemnify and keep harmless the City of Oakland and its officers, employees and agents against all liabilities, judgments, costs and expenses which may in any way accrue against the City in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street or sub-tidewalk, or otherwise by virtue thereof, and will in all things strictly comply with the conditions under which this permit is granted.  
 E.A. Jani  
 Signature of Applicant

FOR INSPECTIONS TELEPHONE 233-3441

APPROVAL REQUIRED BY OFFICE OF PUBLIC WORKS:  
There are no PROPOSED STREET OPENINGS, PUBLIC EASEMENTS OF RECORD

or  
In this Office which are in conflict with this application.  
REMARKS:

OFFICE OF PUBLIC WORKS

By \_\_\_\_\_ Date \_\_\_\_\_

PLOT PLAN

FORMS OK

FIREPLACE OK

WIRE (EXT.) OK 2-20-76 *CSW*

LATH (INT.) OK

ROUGH OK 2-6-76 *CSW*

GYPSUM SD. OK 2-20-76 *CSW*

PLASTER OK

2-25-76 *Job complete - means to [unclear]*

2-9-76 *Willboard siding in east pm CSW*

FINAL OK 3-10-76 *CSW*

Ed Lewis  
41005

CITY DEPARTMENT OF BUILDING AND HOUSING, OAKLAND, CALIFORNIA  
APPLICATION FOR REPORT OF RESIDENTIAL BUILDING RECORD

Sections 100, 108.1 and 108.3 of Oakland Housing Code  
PLEASE INCLUDE FEE AT TIME OF APPLICATION

Please TYPE or PRINT all information

DEPARTMENT USE ONLY	
Report Number	93055
Date Submitted	3/4/74
Fee Receipt No.	93055
Date Completed	3/8/74
By	Mrs. Thibaux

- Address of RESIDENTIAL BUILDING to be Reported on is:  
584 - 14th Street, Oakland, California  
(This application is for one residential building only)
- Name of Owner: Bayard Wooten  
Address: 584 - 14th Street, Oakland, Ca.
- Name of Applicant: Bayard Wooten  
(Shall be authorized Agent or Owner)
- Total number of Habitable Buildings on Premises: one
- Total Number of Accessory Buildings on Premises: one
- Existing Basement or Cellar Yes  No  Existing Attic Yes  No  Habitable Attic Yes  No
- Habitable Basement or Cellar Yes  No  8. Number of Stories: seven
- Building type (wood frame, stucco, brick, etc.) Steel, concrete, brick (Class "A") 10. Owner-occupied Yes  No
- Number of Dwelling Units or Apartments: 102 Number of Housekeeping Units: Apt. One  
(cooking and sleeping in one room)
- Number of Hotel or Sleeping Rooms: 102 TOTAL Number of Kitchens: one
- TOTAL Number of Habitable Rooms (Exclude bath, toilet, laundry, utility rooms and closets): 102

14. CERTIFICATE  
I certify that I am the APPLICANT named herein, that I have familiarized myself with the Residential Building with respect to preparing and filing this application; that the answers herein contained are in all respects true and accurate to the best of my knowledge and belief.

Date: 3/4/74 Signature: /s/ Bayard Wooten  
Telephone No. 832-2075 Mailing Address: c/o Martin & Wood Realty Co.  
308 - 13th Street  
Oakland, California 94612  
City Zone State

PLEASE DO NOT WRITE BELOW THIS LINE (Department use only) PLEASE LEAVE FORM INTACT WITH CARBONS

REPORT OF RESIDENTIAL BUILDING RECORD

This is NOT to be construed that Residential Building complies with all applicable laws of the City and only sets forth the Report as of the DATE COMPLETED shown above

- Report on Residential Building Located at: 584/588 - 14th Street
- Zone District: C-51 Fire District: 1 3. Date of Original Building Construction: 2/26/1913 Type: Hotel
- Original Occupancy or Use: Seven-story, Steel Frame Hotel.
- Building Permits Issued: Permit No. 32590 Date 2/26/13 b. Special Conditions (Variances, etc.) NONE Date: ---  
Original A66241 Date 2/11/37 Alters. B3072 Date 7/10/44  
Alters. A66491 Date 3/3/37 Alters. (re-frame) R3229 Date 6/9/45  
Alters. B8270 Date 10/31/45  
Repairs B8439 Date 11/13/45  
7. Survey on File. No  Yes  Plans on File No  Yes  Alters. (extension (to Marquee) B8914 12/18/45
- Certificate of Occupancy Issued No  Yes  Date: --- Number: --- See next page for other permits.
- Total Number of Habitable Buildings on Premises: ONE (compare with Item No. 4 of Application)
- Total Number of Accessory Buildings on Premises: NONE (compare with Item No. 5 of Application)
- TOTAL Number of Habitable Rooms: One-hundred & two (compare with Item 13 of Application)
- City License Issued No  Yes  For: Hotel.

CAUTION: A license issued shall not be construed to mean a permit to operate Residential Building of that Residential Building complies with all applicable laws of the City.

13. PRESENT AUTHORIZED OCCUPANCY OR USE (Insofar as ascertainable from City Records)  
One-hundred and two guest-rooms and six habitable apartment rooms in the Penthouse of the Seven-story Hotel. NOTE: Outstanding Housing Letter dated 9/18/68. Violations have not been corrected

This Report of Residential Building Record shall not be construed as authority to violate, cancel, alter or set aside any of the provisions or requirements of any laws or ordinances of the City of Oakland nor shall such issuance thereafter prevent acquiring corrections of such violations, or any applicable law or ordinance of the City of Oakland. This report contains information insofar as ascertainable from City records.

It shall be unlawful for the owner, or the authorized agent of the owner, to sell this Residential Building without first delivering to the Buyer this Report of Residential Building Record prior to the consummation of sale, the receipt postal card if for the BUYER'S convenience.

Housing Division By: Ed Lewis  
Mrs. Thibaux  
HOUSING DIVISION OFFICIAL  
Mrs. Thibaux

Kent & Jacks  
41005

CITY DEPARTMENT OF BUILDING AND HOUSING, OAKLAND, CALIFORNIA  
APPLICANT FOR REPORT OF RESIDENTIAL BUILDING RECORD  
Sections 106, 108, and 108.3 of Oakland Housing Code  
PLEASE INCLUDE FEE AT TIME OF APPLICATION

DEPARTMENT USE ONLY  
Report Number 11702  
Date Submitted Oct. 10, 1975  
Fee Receipt No. 11702  
Date Completed Oct. 20, 1975  
By Nyann Cater

Please TYPE or PRINT all information

- Address of RESIDENTIAL BUILDING to be Reported on is: 584 - 14th Street
- Name of Owner: B. Wooten  
Address: 584 - 14th St., Oakland
- Name of Applicant: Fanciel Financial Center Realty  
(shall be authorized Agent or Owner)
- Total number of Habitable Buildings on Premises: 1
- Total Number of Accessory Buildings on Premises: 7
- Existing Basement or Collar Yes  No   
Existing Attic Yes  No
- Habitable Basement or Collar Yes  No   
Habitable Attic Yes  No
- Building type (wood frame, stucco, brick, etc.): Steel & Concrete
- Number of Dwelling Units or Apartments: 103 rooms
- Number of Housekeeping Units: none  
(cooling and sleeping in one room)
- TOTAL Number of Kitchens: none
- Number of Hotel or Sleeping Rooms: 103
- TOTAL Number of Hotel or Sleeping Rooms (Exclude bath, toilet, laundry, utility rooms and closets): 103
- TOTAL Number of Habitable Rooms (Exclude bath, toilet, laundry, utility rooms and closets): 103

14. CERTIFICATE

I certify that I am the APPLICANT named herein, that I have familiarized myself with the Residential Building with respect to preparing and filing this application and that the answers herein contained are in all respects true and accurate to the best of my knowledge and belief.  
Date 10-10-75  
Telephone No. 992-0992

Signature /s/ James E. Johnson  
Mailing Address 362 Kearny St.  
San Francisco, Calif.  
City Number Street Zone State

PLEASE DO NOT WRITE BELOW THIS LINE (Department use only) PLEASE LEAVE FORM INTACT WITH CARBONS  
REPORT OF RESIDENTIAL BUILDING RECORD  
This is NOT to be construed that Residential Building complies with all applicable laws of the City and only sets forth the Report as of the DATE COMPLETED shown above  
584 - 14th Street

- Report on Residential Building Located at: 584 - 14th Street
- Zone District: C-51 Fire District: 1
- Date of Original Building Construction: 2-26-13 Type: Hotel
- Original Occupancy or Use: Seven-Story, Steel Frame Hotel
- Building Permits Issued: Permit No. 32590 Date 2-26-13  
Original Alterations: A66241 Date 2-10-37  
Alteration: A66491 Date 3-3-37 (See attached)  
Repairs: A98943 Date 5-19-43  
Plans in File No  Yes
- Special Conditions (Variances, etc.): NONE
- Survey on File No  Yes
- Certificate of Occupancy Issued No  Yes  Date: \_\_\_\_\_ Number: \_\_\_\_\_ (compare with Item No. 4 of Application)
- Total Number of Habitable Buildings on Premises: One (compare with Item No. 4 of Application)
- Total Number of Accessory Buildings on Premises: None (compare with Item No. 5 of Application)
- TOTAL Number of Habitable Rooms: Unknown (compare with item 13 of Application)
- City License Issued No  Yes  For: Hotel  
CAUTION: A license issued shall not be construed to mean a permit to operate residential building or that residential building complies with all applicable laws of the City.

13. PRESENT AUTHORIZED OCCUPANCY OR USE (insofar as ascertainable from City Records)  
Seven-Story, Steel Frame Hotel.  
NOTE: Outstanding Housing Letter dated 9-29-75.  
This Report of Residential Building Record shall not be construed as authority to violate, cancel, alter or set aside any of the provisions or requirements of any laws or ordinances of the City of O., and nor shall such issuance thereafter prevent corrections of such violations, or any applicable law or ordinance of the City of Oakland. This report contains information insofar as ascertainable from City Records.  
It shall be unlawful for the owner, or the authorized agent of the owner, to sell this Residential Building without first delivering to the buyer this Report of Residential Building Record prior to the consummation of sale. The recipient must read it for the BUYER'S convenience.

Housing Division By: Nyann Cater  
HOUSING DIVISION OFFICIAL  
Nyann Cater

**CROSS REFERENCE SHEET**

Name or Subject 584-88 14th Street

File No. 0

Regarding

Additional information

Date

**SEE**

Name or Subject 1400-16 Jefferson Street

File No.

File cross reference form Under name or subject at top of the sheet and by the latest date of papers. Describe matter for identification purposes. The papers themselves should be filed under name or subject after "SEE."

CITY DEPARTMENT OF BUILDING AND HOUSING, OAKLAND, CALIFORNIA  
 APPLICATION FOR REPORT OF RESIDENTIAL BUILDING RECORD

Sections 108, 108.1 and 108.3 of Oakland Housing Code  
 PLEASE INCLUDE FEE AT TIME OF APPLICATION

4002  
 Kent + Jacks  
 41005  
 BR 3-4-74

Please TYPE or PRINT all information

DEPARTMENT USE ONLY

1. Address of RESIDENTIAL BUILDING to be Reported on is:

584-14th Street

(This application is for one Residential Building only)

2. Name of Owner: B. Weaten

Address: 584-14th St. Oakland

3. Name of Applicant: Emerald Center Realty

(shall be authorized Agent or Owner)

4. Total number of Habitable Buildings on Premises: 1

5. Total Number of Accessory Buildings on Premises: \_\_\_\_\_

6. Existing Basement or Cellar Yes  No  7. Habitable Basement or Cellar Yes  No  8. Number of Stories 7

Existing Attic Yes  No  Habitable Attic Yes  No

9. Building type (wood frame, stucco, brick, etc.) Steel & concrete 10. Owner occupied Yes  No

11. Number of Dwelling Units or Apartments 203 Rooms Number of Housekeeping Units None

(cooking and sleeping in one room)

12. Number of Hotel or Sleeping Rooms 103 TOTAL Number of Kitchens None

13. TOTAL Number of Habitable Rooms (Exclude bath, toilet, laundry, utility rooms and closets) 103

14. CERTIFICATE

I certify that I am the APPLICANT named herein, that I have familiarized myself with the Residential Building with respect to preparing and filing this application; that the answers herein contained are in all respects true and accurate to the best of my knowledge and belief.

Date 10-10 1975

Signature James E. Johnson

Telephone No. 992-0992

Mailing Address 367 Kearny St.

397-3783

557 Franklin Calif. 94108

530-78 (9/61)

City

State

please call when ready to pick up

CITY DEPARTMENT OF BUILDING AND HOUSING, OAKLAND, CALIFORNIA  
APPLICATION FOR REPORT OF RESIDENTIAL BUILDING RECORD

Sections 108, 108.1 and 108.3 of Oakland Housing Code  
PLEASE INCLUDE FEE AT TIME OF APPLICATION

Ed Sawyer  
41005  
127 - 9-18-68  
Sh. 11 open

Please TYPE or PRINT all information

1. Address of RESIDENTIAL BUILDING to be Reported on is:

584 14th Street Oakland, Calif.

(This application is for one Residential Building only)

2. Name of Owner: Bayard Wooten

Address: 584 14th Street Oakland, Calif.

3. Name of Applicant: Bayard Wooten

(shall be authorized Agent or Owner)

4. Total number of Habitable Buildings on Premises: One 5. Total Number of Accessory Buildings on Premises: one

6. Existing Basement or Cellar Yes  No  7. Habitable Basement or Collar Yes  No  8. Number of Stories: SEVEN  
Existing Attic Yes  No  Habitable Attic Yes  No

9. Building type (wood frame, stucco, brick, etc.): Steel, Concrete, Brick (Class A) 10. Owner occupied Yes  No

11. Number of Dwelling Units or Apartments: 102 Number of Housekeeping Units: One  
(cooking and sleeping in one room)

12. Number of Hotel or Sleeping Rooms: 102 TOTAL Number of Kitchens: One

13. TOTAL Number of Habitable Rooms (Exclude bath, toilet, laundry, utility rooms and closets): 102

14. CERTIFICATE

I certify that I am the APPLICANT named herein, that I have familiarized myself with the Residential Building with respect to preparing and filling this application that the answers herein contained are in all respects true and accurate to the best of my knowledge and belief.

Date: March 4 1974

Signature: Bayard Wooten

Telephone No. 832-2075

Mailing Address: c/o Martin & Wood Realty Co.  
308 13th Street, Oakland, Calif. 94612

Number Street

City Zone State

March 8, 1974

REPORT OF RESIDENTIAL RECORD CONTINUED...

Regarding: 584/588 - 14th Street

Building Permits Issued: Permit No.

Fire Escape B40258 Date 1/02/52

Alterations B40466 Date 1/21/52

Alterations C48837 Date 2/13/69

CITY OF OAKLAND  
BUILDING AND HOUSING DEPARTMENT

JACK E. TAYLOR, ADMINISTRATOR

BUILDING DIVISION  
LAWRENCE A. LANE  
BUILDING INSPECTOR

CITY HALL  
OAKLAND, CALIFORNIA 94612  
273-3381

HOUSING DIVISION  
ENRICO LA BARBERA  
URBAN RENEWAL

September 18, 1968

Code No. 19 Downtown  
Address 584 - 14th Street  
Occ. H-F2 F. Zone 1 Stories 7  
Type III Z. Zone C-50 Survey CS

Mr. Baynard Wooten  
584 - 14th Street  
Oakland, California, 94612

Dear Mr. Wooten:

Your property at 584 - 14th Street, Oakland, California, was surveyed on August 20, 1968, by personnel of this Department. Similar surveys are being conducted throughout the City for the purpose of bringing about a healthier, safer and more pleasing urban environment, by the elimination of undesirable and/or illegal housing and building conditions.

The survey revealed the existence of certain code violations. These violations are listed on the attached page(s) and are numbered 1 through #16.

The attached list of violations includes suggested methods of corrections. Other legal and appropriate means of correcting or abating the cited violations may be used. These matters and any other problems connected with the survey should be discussed with your Urban Renewal Representative, Mr. Robert Andersen, who may be reached at 273-3381 between 8:30 and 9:30 a.m., Monday through Friday. Our office is on the 6th floor of the City Hall, Room 615, Oakland.

Your attention is called to Section 211 of the Oakland Housing Code which provides for your right to appeal to the Housing Advisory and Appeals Board. It is recommended that this matter be fully discussed with your Urban Renewal Representative who will be most happy to fully advise you on the standard operational procedure of application to this Board.

The possession of a valid permit is essential to the satisfactory correction of most building, plumbing, heating and electrical violations.

A progress check of your property will be made on October 10, 1968 or soon afterwards. At this time you will be required to present a reasonable timetable for the elimination of any violations that have not as yet been corrected.

Please do not hesitate to call upon us for further information or assistance.

cc: Nathan Goldwater  
Goldwater and Hurcell  
Central Building  
Oakland, California

RSB  
RKA (2)  
BLDG. DIV.

EL:RSB:11

H-7 Date File

807-18 (11/68)

RECEIVED

SEP 18 1968

Building and Housing Department  
Building Division

Sincerely,

ENRICO LA BARBERA  
Housing Division Official

ROBERT ANDERSEN  
Urban Renewal Representative

Mr. Baynard Wooten  
584 - 14th Street  
September 16, 1968  
Page two

(RE: 584 - 14th Street)

The survey inspection was completed of the seven-story, Type III, 50' x 104' masonry-sided building occupying the entire lot, and which was erected as a hotel, under building permit #32590 issued on February 26, 1913. At the time of the survey the building was being occupied as originally intended.

The following deficiencies were noted and must be corrected:

1. The electric fuses in the fuse panel boxes (all floors) are unapproved for use with the size of wire being used. Section 1103.5 OHC, Table 210-25 NEC. Replace the existing fuses to conform with these requirements. (Type S non-temperable fuses recommended.)
2. The electric wall switch in the bathroom of Room #707 is readily accessible from the tub or shower. Sections 1103.3 OHC and 410-95 NEC. Relocate or properly ground.
3. Electrical violations of a hazardous nature exists throughout the structure. These violations consist of unapproved pull chain, unapproved stapled wiring and illegal outlets, defective outlets and defective light fixtures. Sections 1103.5 OHC and 110-a OEC. Correct immediately these hazardous conditions.
4. The traps serving hand basins (numerous locations) are defective. Sections 1102 OHC and 318, 319 OPC. Repair or replace.
5. The use of the units (covers) are prohibited for cooking purposes. Section 601.1 OHC. Discontinue the use of this area for cooking purposes.
6. The following conditions are of a maintenance nature and are in violation of Section 1001.1 OHC as to maintenance and repair:
  - a. The walls and ceilings in various rooms, (including portions of public hallways and public bath and toilet rooms) are not maintained in an approved manner. (Paint peeling, etc.) Correct.
  - b. Room carpeting (numerous rooms) and portions of the public hall carpeting are in a state of deterioration and disrepair.
  - c. Several windows warrant repair to sash and replacement of broken glass (now in process of correcting).
7. An accumulation of rubbish and debris existing in the cellar area, (old furniture, etc.) Section 1002.4 OHC. Remove.
8. The elevator shaft is open in the cellar area and is not enclosed as required. Enclose with proper materials of construction. Section 807.1 OHC. Correct.

Mr. Baynard Wooten  
584 - 14th Street  
September 16, 1968  
Page three

(RA: 584 - 14th Street)

9. The public hallway at the 2nd floor level lacks the required minimum one-hour fire-resistant construction due to a window and a non-approved type door opening from the vertical shaft abutting the hall. Section 507.1 OHC. Enclose with proper materials of construction or in case of door provide approved 1 3/8" solid core door.

10. The laundry chute is open at all floor levels. Section 807.1 OHC. Properly seal off or close chute opening door at each floor.

11. The building is in violation of Section 803.8 OHC, in that rooms (guest rooms, etc.) abut public corridors and are equipped with transoms over doorways. Permanently close all transoms and cover the transoms with either 5/8" gypsum board or 3/4" plywood.

12. The residential portion is in violation of Section 802.4 OHC, in that the continuous exit to the fire escapes on the west side of the structure is obstructed by locked guest rooms. Provide an approved passageway to the west side fire escapes.

13. The residential portion of the building is in violation of Section 804.2 OHC in that red lights are missing or improperly located in the hallways. Install red lights that are required fire escape signs denoting change in exit direction and fire escape. Proper white light shall also be provided to illuminate required signs.

14. The door from the stairway leading to the roof is locked. Section 803.10 OHC. No scuttle or penthouse door in any hotel shall at any time be locked with a key, but may be fastened by an accessible movable bolt or lock.

15. The water closet compartments on most floors are not distinctly marked to designate sex. Section 901.3 OHC. Provide required signs.

16. An open waste line exists in the fire extinguisher cabinet, 7th floor. Section 319 OHC. Properly cap.

Several guest rooms and the penthouse were not open for inspection when this survey was made. Should any violations or deficiencies exist in these areas, they shall become a component part of this report and shall be corrected in an approved manner.

Upon completion of all required work, a Certificate of Occupancy will be issued by this Department. Your Representative, name \_\_\_\_\_, will make periodic call-back visits to assist you and answer any questions you may have regarding this report.

Realizing the inconvenience to owners and tenants in housing surveys, we thank you for your cooperation during the survey was in progress.

BUILDING DIVISION  
LAWRENCE A. LANE  
BUILDING INSPECTOR

CITY OF OAKLAND  
BUILDING AND HOUSING DEPARTMENT  
JACK E. TAYLOR, ADMINISTRATOR  
CITY HALL  
OAKLAND 12, CALIFORNIA  
XXXXXXXXXXXX  
CR 3-3381

RECEIVED

FEB 20 1963

HOUSING DIVISION

ENRICO LA BARBERA  
Building and Housing Department

February 19, 1963  
Code no. 19-1  
Address 584 - 14th Sts  
Occ. F-2 P. Zone 1 St. Ids 7  
Type H-1 Z. Zone G Survey CS

B. Wooten  
584 - 14th Street  
Oakland, California

Dear Mr. Wooten:

Your property at 584 - 14th Street, Oakland, California, was surveyed on February 11, 1963, by personnel of this Department. Similar surveys are being conducted throughout the City for the purpose of bringing about a healthier, safer and more pleasing urban environment, by the elimination of undesirable and/or illegal housing and building conditions.

The survey revealed the existence of certain code violations. These violations are listed on the attached page(s) and are numbered 1 through 14.

The attached list of violations includes suggested methods of corrections. Other legal and appropriate means of correcting or abating the cited violations may be used. These matters and any other problems connected with the survey should be discussed with your Urban Renewal Representative, Mr. Vincent A. O'Connell, who may be reached at CR 3-3381 between 8:30 and 9:30 a.m., Monday through Friday. Our office is on the 6th floor of the City Hall, room 615, Oakland.

Your attention is called to Section 211 of the Oakland Housing Code which provides for your right to appeal to the Housing Advisory and Appeals Board. It is recommended that this matter be fully discussed with your Urban Renewal Representative who will be most happy to fully advise you on the standard operational procedure of application to this Board.

The possession of a valid permit is essential to the satisfactory correction of most building, plumbing, heating and electrical violations.

A progress check of your property will be made on March 10, 1963, or soon afterwards. At this time you will be required to present a reasonable timetable for the elimination of any violations that have not as yet been corrected.

Please do not hesitate to call upon us for further information or assistance.

cc: Bldg. Div.  
RCW  
VAD  
Date file  
Form letter H-7

Sincerely,

ENRICO LABARBERA  
Housing Division Official

RCW:VAD:sc

URSSELING-URBAN RE  
Renewal  
Representative

Page two  
B. Wooten      Re: 584 - 14th St.  
February 19, 1967

Comment:

Subject hotel and stores were built in 1913-15 on a 50' x 103.75' lot. No significant change is indicated. At present there are 102 guest rooms and six (6) habitable apartment rooms in the penthouse.

Violations:

1. The exterior trim and sash of several windows and doors of the penthouse and of several windows on other floors lack weather protection. Sections 401.19 (a), 1402 and 1001.1 OHC. Provide weather protection. Your attention is directed to the beginning deterioration of exposed wood due to lack of proper maintenance. It is recommended that the exterior masonry siding be repainted.
2. The window in the women's water closet on the 7th floor is not operable. Section 701.3 and 1001.1 OHC. Repair or replace.
3. The water closet compartments on most floors are not distinctly marked to designate sex. Section 901.3 OHC. Provide required signs.
4. The electric fuses serving all floors are unapproved for use with the size of wire being used. Table 310-12 NEC, Section 230-1 OEC requires the use of 15 and 20 ampere fuses with number 14 and 12 wire respectively for proper overcurrent protection. Replace the existing fuses to conform with these requirements. (Type S non-amberable fuse recommended.)
5. Electrical violations of a hazardous nature exist throughout the structure. These violations consist of defective outlets and stapled cords. Sections 1103.5 OHC and 110 (a) OEC. Correct immediately these hazardous conditions.
6. The fixtures in the sink in the penthouse are defective. Sections 1102 OHC and 8-10.01 OPC. Replace or remove and cap drain opening to prevent sewer gas from escaping.
7. The walls and ceilings in the various rooms are not covered in an approved manner (paint peeling, etc.) Section 1001.5 OHC. Apply required materials as often as necessary to maintain the surfaces in a clean and sanitary condition.
8. The stored materials in the basement have created a fire hazard. Section 1002.7 OHC. Remove and maintain.
9. The residential portion is in violation of Section 802.4 OHC in that the exit ways to the fire escapes on the west side are obstructed by locked guest rooms. Provide an approved passageway to the west fire escapes.

Page three  
B. Woolen  
February 19, 1963

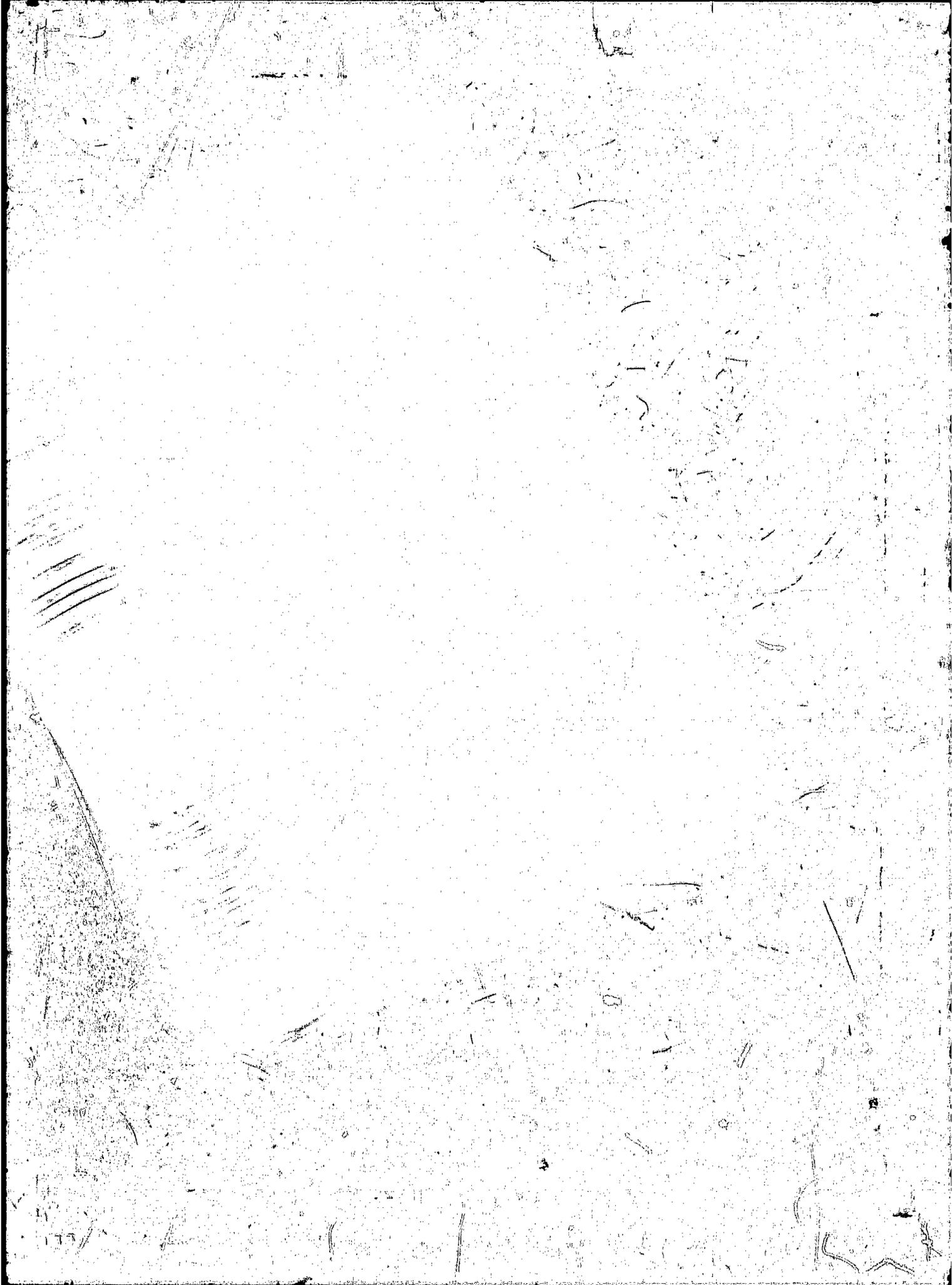
Ret: 584 - 14th St.

10. The building is in violation of Section 803.8 OMC in that guest rooms contain transoms. Permanently close all transoms and cover the transoms with either 5/8" gypsum board or 3/4" plywood.
11. The residential portion of the building is in violation of Section 804.2 OMC in that red lights are missing or improperly located in the hallways. Install red lights that are near required fire escape stairs, such lights and signs to be readily visible from each hallway, and insure that such red lights burn from sunset to sunrise.
12. The residential portion of the building is in violation of section 805.2 OMC in that the stairway door to the roof is not of one-hour fire-resistive construction. Provide such door.
13. The residential portion of the building is in violation of Section 807.1 OMC in that the laundry chute, a vertical opening is not enclosed for fire protection. Properly close off the unused laundry chute at the second floor, and repair the ceiling in this room.
14. The pull chains for the light switches over most of the wash basins (lavatories) lack an insulating link. (Sections 1103.5 OMC and 110.1a) OEC. Provide proper pull chains with insulating links.

It is further recommended that stricter maintenance be applied to the building in general as many minor deficiencies were pointed out to you at the time of the survey in addition to the major deficiencies listed herein.

Realizing the inconvenience to owners and tenants in conducting housing surveys, we thank you for your cooperation during the time that the survey was in progress.

You are again reminded that the Urban Renewal Representative must be advised of your intentions to correct all violations with proper permits if they have not already been corrected prior to the re-survey date of March 19, 1963.



# CORRECTION

THIS DOCUMENT  
HAS BEEN REPHOTOGRAPHED  
TO ASSURE LEGIBILITY

TO: City of Oakland, Building and Housing Department  
14th and Washington Streets, City Hall  
Oakland, California 94612

7/30/75  
(date)

REQUEST TO INSPECT PUBLIC RECORDS FOR 584 - 4<sup>th</sup> St. 41400-16 Jaffer  
(address) San. St.  
Oakland, California

I wish to examine the Building Records (indicate type) records which may exist in the City of Oakland, Building and Housing Department, pertaining to the above address and which records are subject to inspection under the California Public Records Act.

My purpose for making this request is that I would like to  
buy the said property.

I wish to examine the records on: \_\_\_\_\_ 1970  
(date)

\_\_\_\_\_  
(please print name)

\_\_\_\_\_  
(signature)

\_\_\_\_\_  
(address)

\_\_\_\_\_  
(City, State)

Phone: 452-1715

The City of Oakland, Building and Housing Department's public records are available for inspection between the hours of 9:00 a.m., and 4:00 p.m. each working day.

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I have examined the file on 7/30/75  
(date)

Signed: J. M. Water

City Form

TO: City of Oakland, Building and Housing Department  
14th and Washington Streets, City Hall  
Oakland, California 94612

6-16-75  
(date)

REQUEST TO INSPECT PUBLIC RECORDS FOR 584-14th St. Oakland  
(address)  
Oakland, California

I wish to examine the Building Records (indicate type) records which may exist in the City of Oakland, Building and Housing Department, pertaining to the above address and which records are subject to inspection under the California Public Records Act.

My purpose for making this request is FOR SALE OF PROPERTY

I wish to examine the records on: \_\_\_\_\_ 1970  
(date)

\_\_\_\_\_  
(please print name)

\_\_\_\_\_  
(signature)

\_\_\_\_\_  
(address)

\_\_\_\_\_  
(City, State)

Phone: \_\_\_\_\_

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I have examined the file on \_\_\_\_\_  
(date)

Signed: Anna T. La Tore

Martin J Wood Realty  
308-13th St. Oakland

City Form P32-2021

REPORT OF RESIDENTIAL BUILDING RECORD

Item #5:

Alterations	Permit No. B3072	Date: 7-10-44
Alterations	B6229	6-9-45
Alterations	B8270	10-31-45
Alterations	B8439	11-13-45
Extension to Marquee	B8914	12-18-45
Fire Escape Balcony	B40258	1-2-52
Alterations	B40466	1-21-52
Alterations	C48837	6-13-69

CITY OF OAKLAND



CITY HALL • 14TH AND WASHINGTON STREETS • OAKLAND, CALIFORNIA 94612

Building and Housing Department

Code No. 01001  
Address 804 - 14th Street  
Occ. 1 F. Zone 2 Stories 7  
Type III Z. Zone Survey C

Mr. John Eslic - Executor, Estate  
of: Raymond Weston  
804 - 14th Street  
Oakland, California 94612

Dear Mr. Eslic:

Your property at 804 - 14th Street, Oakland, California, was surveyed on May 16, & Sept. 24, 1975 by personnel of this Department. Similar surveys are being conducted throughout the City for the purpose of bringing about a healthier, safer and more pleasing urban environment, by the elimination of undesirable and/or illegal housing and building conditions.

The survey revealed the existence of certain code violations. These violations are listed on the attached page(s) and are numbered 1 through 6.

The attached list of violations includes suggested methods of corrections. Other legal and appropriate means of correcting or abating the cited violations may be used. These matters and any other problems connected with the survey should be discussed with your Urban Renewal Representative, Mr. Jeffrey G. West, who may be reached at 273-3381 between 8:30 and 9:30 a.m., Monday through Friday. Our office is on the 6th floor of the City Hall, Room 615, Oakland.

Your attention is called to Section 211 of the Oakland Housing Code which provides for your right to appeal to the Housing Advisory and Appeals Board. It is recommended that this matter be fully discussed with your Urban Renewal Representative who will be most happy to fully advise you on the standard operational procedure of application to this Board.

The possession of a valid permit is essential to the satisfactory correction of most building, plumbing, heating and electrical violations.

A progress check of your property will be made on November 7, 1975 or soon afterwards. At this time you will be required to present a reasonable timetable for the elimination of any violations that have not as yet been corrected.

Please do not hesitate to call upon us for further information or assistance.

Enc: 11. cont (2), SIG. (3)  
Plan (1), Misc. (1)  
Sara Marshall (2), W. Wilson  
William Gold Water, Central Building  
Oakland, California 94612 (1)  
Date File (1)

Sincerely,  
ENRICO LA BARBERA  
Housing Division Official

RECEIVED  
SEP 30 1975  
ENRICO LA BARBERA  
Supervising Urban Renewal Representative  
Building and Housing Department  
Building Division

Re: 584 - 14th Street

- 2 -

September 29, 1975

The survey inspection was completed of the seven-story, Type III, 50 x 104, brick and masonry-sided building which was erected as a Hotel under building permit # 32590 issued on February 26, 1913. At the time of the survey the building was being occupied as originally intended.

**NOTE:** This letter indicates only those deficiencies that were visible during the survey. Alterations, repairs, or additions to the structure involving building, electrical, plumbing, or mechanical changes may disclose further work to be completed before this structure meets all applicable codes and is eligible for a Certificate of Occupancy.

The following deficiencies were noted and must be corrected:

- I. The following conditions are in violation of the fire safety regulations pertaining to protection of stairways and corridors in Hotels three (3) or more stories in height, Chapter 8 OMC.
  - a. The interior stairways are not protected in accordance with one of the following alternatives. Provide one of three approved methods. Section H-805 (b) OMC.
    - (1) The proper enclosure of all interior stairways with not less than one hour fire resistive construction on all walls and ceilings.
    - (2) Each story shall be properly separated from the floor below and above by one-hour doors, or walls or both.
    - (3) Provide an automatic fire extinguishing system (sprinklers) as approved by the City of Oakland Fire Marshal.
  - b. The transoms above doors to all guest rooms are improperly covered. All existing openings shall be fixed closed and covered with a minimum of 3/4" plywood or 1/2" gypsum wall board or equivalent material. Section H-803 (b) OMC.
  - c. The door leading to the roof and entrance to the penthouse is locked. Provide an easily openable latch on the roof door with a separated hall or access directly onto the roof. Section H-803 (k) OMC.

Ref: 584 - 14th Street

September 29, 1975

STATE  
AS 12  
1605

- d. Access to the fire escape is blocked by unauthorized doors on the third through seventh floors. Provide properly marked exits with unobstructed hallways to the fire escape on each floor. Section H-804 OHC.
- e. The light shaft (inter court) the rear stairway is covered. Remove the cover or provide one-hour fire protective covering over all windows or install wire glass to meet current code. Section H-807 and Section H-805 (b) OHC.
- f. The small wooden door and window that opens to the inner court next to the men's toilet on the 14th Street side must be protected with one-hour fire resistive material. Provide a door 1 3/4" thick or a 3/4 hour rated door with a self closer, or cover over door and window with one-hour wall. Section H-805 (b) OHC.
- g. The hallways lack proper directional signs to the fire escape. Provide signs, Section H-804 OHC.
2. The public bath and toilet windows open into covered shafts. Remove the covers to provide proper light and ventilation. Section H-504 OHC.
3. The court adjacent to the rear stairs is covered. Remove the cover. Section H-504 OHC.
4. The following items refer to maintenance. Section H-527 OHC.
  - a. The outer and inner courts are littered with debris. Remove debris.
  - b. The walls and ceilings in most rooms, public baths and halls are chipped, display peeling paint and are generally dirty. Clean, repair and restore proper covering.
  - c. The window trim and sash throughout is deteriorated. Repair and putty, reglaze, seal as necessary.
  - d. The grout sealant around most tubs, hand basins, and toilets is deteriorated. RegROUT.
  - e. The tubs, toilets, hand basins and showers inspected were extremely dirty, rusty and in a general state of disrepair. Restore the fixtures to good working order and sanitary condition.

Re: 584 - 14th Street

- 4 -

September 29, 1975

- f. There are many taped traps and hand basins. Remove tape and replace with water tight traps as necessary.
  - g. Many of the public and private toilet seats and water closet covers are broken or deteriorated. Replace.
  - h. Floor coverings throughout are torn, dirty, missing or deteriorated. Clean, remove, replace as necessary.
  - i. Several mirrors over hand basins are broken. Replace.
5. The vents serving the kitchen of the closed restaurant are broken, loose and may fall into the outer court. Remove or repair as necessary. Section R-527 OHC.
6. The following are electrical violations. Refer Section R-701 (b) OHC.
- a. The branch circuit panels in the halls contain 30 amp fuses. Replace with 15 and 20 amp fuses.
  - b. There are numerous switches and light fixtures loose and broken. Repair and replace as necessary.
  - c. Several rooms exhibit stapled cord wiring serving unapproved receptacles. Remove all stapled or unapproved wiring.
  - d. Most of the insulating links on pull chain fixtures are missing. Replace links.
  - e. There are unapproved multiple adapters in some light sockets. Remove.
7. Some tenants in occupied rooms are cooking in violation of Section R-509 OHC. Cooking is authorized only in a room designed for that purpose.
8. The fire hoses in the hall are generally deteriorated, with parts missing. Fire extinguishers are missing and inspection tags are outdated. Provide all necessary fire safety equipment. Section R-901 OHC.
- The occupancies and penthouse were not open for inspection when this survey was made. Should any violations or deficiencies exist in these areas they shall become a component part of this report and shall be corrected in an approved manner.

Re: 584 - 14th Street

- 5 -

September 29, 1975

The restaurant and bar were closed. However, the ceiling appeared to be in good repair. Any damage to the occupancy separation (walls and ceilings) should be repaired with suitable material under proper permit when the commercial areas are opened.

The basement area was empty and used for storage only.

**IMPORTANT NOTICE** -- (Applicable to rental housing)

The conditions set forth in this letter are in violation of local codes dealing with health, safety, or building. If said conditions are not corrected within a six-month period or if you have not received an exemption due to lack of financing for repairs, the City of Oakland will mail a notice of noncompliance to the California State Franchise Tax Board as required by Sections 17299 and 24436.5 of the Revenue and Taxation Code.

Should you have any questions, please call Harvey O. Kent at 273-3361 any weekday from 8 to 9:30 a.m.

HOK:mrh

TO: City of Oakland, Inspectional Services Department  
14th and Washington Streets, City Hall  
Oakland, California 94612

12-13-77  
(date)

REQUEST TO INSPECT PUBLIC RECORDS FOR 581-588 HHS ST ~~14th St~~  
(address)  
Oakland, California

I wish to examine the Building (indicate type) records which may exist in the City of Oakland, Inspectional Services Department, pertaining to the above address and which records are subject to inspection under the California Public Records Act.

My purpose for making this request is REAL ESTATE APPRAISAL

I wish to examine the records on: 12-13 19 77  
(date)

Thomas R. ALLEN  
(please print name)

Chas R Allen  
(signature)

2716 TELEGRAPH AVE  
(address)

BERKELEY CA 94706  
(city, state)

Phone: 548 1210

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I have examined the file on 12-13-77  
(date)

Signed: Chas R Allen

TO: City of Oakland, Inspectional Services Department  
14th and Washington Streets, City Hall  
Oakland, California 94612

May 31, 1977  
(date)

REQUEST TO INSPECT PUBLIC RECORDS FOR 584-14<sup>th</sup> Street Oakland  
(address)  
Oakland, California

I wish to examine the \_\_\_\_\_ (indicate type) records  
which may exist in the City of Oakland, Inspectional Services Depart-  
ment, pertaining to the above address and which records are subject to  
inspection under the California Public Records Act.

My purpose for making this request is: Assessment Appeals Hearing

I wish to examine the records on: May 31 1977  
(date)

Harold K. Friedmann  
(please print name)

Harold K. Friedmann  
(signature)

3 1/2 Lakeside Ave.  
(address)

Oakland Calif.  
(City, State)

Phone: 872-6777

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are available for inspection between the hours of 9:00 a.m., and 4:00  
p.m. each working day.

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records will be available for inspection. If copies are requested, a  
charge per page will be made in accordance with the master fee schedule.  
This department will make public records available for your inspection  
on the date requested or at the earliest possible date. Please enclose  
a self-addressed and stamped envelope, so we may notify you that the  
record is available subject to inspection under the California Public  
Records Act and when the records can be made available.

I have examined the file on \_\_\_\_\_ (date)

Signed: \_\_\_\_\_

CITY OF OAKLAND  
BUILDING AND HOUSING DEPARTMENT  
INTER-DEPARTMENTAL CORRESPONDENCE

To: Jim Marshall Attention: Tom O'Brien Date: 3-8-76  
From: Curt Switzer Division: City  
Re: Address 584-88 - 14th St  
Owner Bill Burnett Address \_\_\_\_\_ Phone 832-1620  
Contractor Loni Coast Address 10231 MacArthur Phone 562-8624

Please Reply to Following:

Do you have any objection to a final  
on the alteration (new windows & doors in Penthouse)  
at the above address -

Signed Curt Switzer  
Title Bldg Insp.

REPLY

No objection to a final on this.

RECEIVED  
MAY 1976  
BUILDING DEPARTMENT

ORIGINAL—RETURN TO OFFICE OF ORIGIN

339-3 (7/60)

Signed Thomas O'Brien  
Title Gen Insp  
Date 3-10-76

Representative \_\_\_\_\_ Reference Number \_\_\_\_\_

BUILDING AND HOUSING DEPARTMENT

1. Address #1 584-588 - 14th St. SW Date 3/8/74  
Address #2 \_\_\_\_\_

2. Zone District C-51 Fire District 4 Sanborn Map Number 78

3. Block Book # \_\_\_\_\_ Page \_\_\_\_\_ Lot # \_\_\_\_\_ Lot Size \_\_\_\_\_  
Tract and Block \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Distance 7 1/2 corner of 14th and Jefferson

4. W.P.A. Survey: Yr. Built \_\_\_\_\_ Type \_\_\_\_\_  
Stories \_\_\_\_\_ Room \_\_\_\_\_ Families \_\_\_\_\_ Roomers \_\_\_\_\_ Bath \_\_\_\_\_ W.C. \_\_\_\_\_  
Garages \_\_\_\_\_ Basement \_\_\_\_\_ Cellar \_\_\_\_\_ Attic \_\_\_\_\_ Accessory Bldg. \_\_\_\_\_

5. BOOK #1  
Owner ADOLPH & MULLER Amount \$ 130,000  
# 32590 Date 2/26/13 For 73, Steel frame hotel

BOOK #2  
Owner M. Freideman Amount \$3,500  
# A66241 Date 9/11/37 For Alterations - interior & exterior  
ceement floor in basement, electric wiring Finald - Cancel

Owner H. C. Morris Amount \$300.00  
# A66491 Date 3/3/37 For Alterations - remove partitions  
cut two arches, alter store front Finald - Cancel

Owner B. Wooten Amount \$200.00  
# A98943 Date 5/19/43 For Repairs - To doors and windows  
in nouthouse Finald - Cancel

\*\* B3072 H. J. Arnaud & B. Wooten 7/10/44 \$1,000  
Alterations - Remove plate glass  
windows and replace glass F

B6229 B. Wooten 6/9/45 \$4,000  
Complete restaurant & bar F

B8270 Wooten & Arnaud 10/31/45 \$200.00  
Alteration, remove partition F

B8439 W. Wooten 11/13/45 \$1,000  
Install steel for mezzanine F

B8914 B. Wooten 12/18/45 \$800.00  
Owner B. Wooten Amount \$2,183  
# B40258 Date 1/2/52 For Fire escape balcony one  
roof ladder Finald - Cancel

Owner B. Woodin Amount \$1,220  
# B40466 Date 1/21/52 For Remove windows and install  
door and steps on six floors Finald - Cancel

Sign Permit Inc Martin Amount \$95.00  
# 40885 Date 5/4/60 For Sign Permit

6. VARIANCES  
Zoning # N222 Date \_\_\_\_\_ For \_\_\_\_\_  
Building # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Housing # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_

7. Survey: Yes  No \_\_\_\_\_ Permit # \_\_\_\_\_ Plans in File: Yes \_\_\_\_\_ No PERMANENT FILE Permit No. \_\_\_\_\_

8. CERTIFICATE OF OCCUPANCY  
Yes \_\_\_\_\_ No  Date \_\_\_\_\_ For \_\_\_\_\_

9. CITY LICENSE  
Yes  No \_\_\_\_\_ Type Hotel Knicker Hotel (96rooms) Date 4/28/74  
Issued to Wooten, B Address \_\_\_\_\_

10. ADDITIONAL INFORMATION 115y. Late still open 9-13-68

owner Mr. B. Wooten Unit #250  
# C 48537 Date 6-13-67 For alter  
102 habitable room Finald  
6-26-69

owner B. Wooten Amt. 4,000<sup>00</sup>

# B. 6227 Date 6-9-45 For: Completion of Redament and Por  
finished  
4-13-46

owner - Wooten & Arnold Amt. - 200<sup>00</sup>

# B8270 Date 10-31-45 For: Glass - remove partition in lobby,  
between South side and porch finished  
4-25-46

owner - W. Wooten Amt. 1,000<sup>00</sup>

# B8439 Date 11-13-45 For: ...

17  
6  
8

4 17km  
6 on 6  
10 2 approx  
floor

Representative \_\_\_\_\_ Reference Number \_\_\_\_\_

BUILDING AND HOUSING DEPARTMENT

1. Address #1 584-88 - 14th Street Date OCT 6 1961  
Address #2 1400-12-14-16 - Jefferson

2. Zone District G Fire District 4 Sanborn Map Number 78

3. Block Book # 3 Page 207 Lot # 12 Lot Size 50 X 103.75  
Tract and Block In Casserly's Tract on 14th Street  
84/51 Owner Bayard Wooten Address 584 - 14th Street  
Distance NE corner of 14th & Jefferson

4. W.P.A. Survey: Yr. Built 1915 Type Business w/dwellings  
Stories 7 Rooms 9 Families 1 Roomers 9 Bath 1 W.C. 1  
Garages No Basement yes Cellar --- Attic --- Accessory Bldg. -

5. BOOK #1  
Owner Morris Mueller Amount \$130,000  
# 32590 Date 2/26/13 For Seven-story, steel frame hotel  
Finalled - Cancel

Owner \_\_\_\_\_ Amount \_\_\_\_\_  
# \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Finalled - Cancel

BOOK #2  
Owner M. Freideman Amount \$3,500  
# 466241 Date 2/11/37 For Alterations - interior & exterior  
cement floor in basement, electric wiring Finalled - Cancel

Owner H. C. Morris Amount \$300.00  
# A66491 Date 3/3/37 For Alterations - remove partitions  
cut two arches, alter store front Finalled - Cancel

Owner B. Wooten Amount \$200.00  
# A98943 Date 5/19/43 For Repairs - To doors and windows  
in penthouse Finalled - Cancel

CARDS  
Owner B. Wooten Amount \$2,183  
# 840258 Date 1/2/52 For Fire escape balcony one  
roof ladder Finalled - Cancel

Owner B. Woodin Amount \$1,220  
# 840466 Date 1/21/52 For Remove windows and install  
door and steps on six floors Finalled - Cancel

Owner Joe Martin Amount \$95.00  
# 40885 Date 5/4/40 For Sign Permit  
Finalled - Cancel

6. VARIANCES  
Zoning # None Date \_\_\_\_\_ For \_\_\_\_\_  
Building # None Date \_\_\_\_\_ For \_\_\_\_\_  
Housing # None Date \_\_\_\_\_ For \_\_\_\_\_

7. Survey: Yes \_\_\_\_\_ No X Permit # \_\_\_\_\_ plans in file: Yes X NO  
Permit No. 36970

8. CERTIFICATE OF OCCUPANCY  
Yes \_\_\_\_\_ No X Date \_\_\_\_\_ # \_\_\_\_\_ For \_\_\_\_\_

9. CITY LICENSE  
Yes X No \_\_\_\_\_ Type \_\_\_\_\_ Date \_\_\_\_\_  
Issued to B. Wooten Address \_\_\_\_\_

ADDITIONAL INFORMATION \_\_\_\_\_

B3072	H. J. Arnaud & B. Wooten 7/10/44	\$1,000 Alterations - Remove plate glass windows and replace glass	F
B6229	B. Wooten 6/9/45	\$4,000 Complete restaurant & bar	F
B8270	Wooten & Arnaud 10/31/45	\$200.00 Alteration, remove partition	F
B8439	W. Wooten 11/13/45	\$1,000 Install steel for mezzanine	F
B8914	B. Wooten 12/18/45	\$800.00 Extension to Marquee	

Representative H. Kent Managers Reference Number 4417

BUILDING AND HOUSING DEPARTMENT

1. Address #1 524 1/2 St. East Date 5/15/75  
Address #2 \_\_\_\_\_

2. Zone District C-51 Fire District 1 Sanborn Map Number 27

3. Block Book # \_\_\_\_\_ Page \_\_\_\_\_ Lot # \_\_\_\_\_ Lot Size \_\_\_\_\_  
Tract and Block \_\_\_\_\_  
Owner \_\_\_\_\_  
Distance \_\_\_\_\_ Address \_\_\_\_\_

4. W.P.A. Survey: Yr. Built \_\_\_\_\_  
Stories \_\_\_\_\_ Room \_\_\_\_\_ Families \_\_\_\_\_ Roomers \_\_\_\_\_ Type \_\_\_\_\_  
Garages \_\_\_\_\_ Basement \_\_\_\_\_ Cellar \_\_\_\_\_ Attic \_\_\_\_\_ Bath \_\_\_\_\_ W.C. \_\_\_\_\_  
Accessory Bldg. \_\_\_\_\_

5. BOOK #1 210-1-1-1 Hall  
Owner #32370 Date 3/16/74 Amount 212.00  
For Alteration

Owner M. F. ...  
# 32370 Date 3-10-74 Amount 11.00 Final - Cancel  
For Alteration

BOOK #2  
Owner H. P. ... Final - Cancel  
# 41849 Date 3-3-77 Amount 11.00  
For Alteration

Owner B. ...  
# 492913 Date 5-17-73 Amount 1.500 Final - Cancel  
For Repair

Owner H. T. ...  
# 32370 Date 7-11-70 Amount 1.000 Final - Cancel  
For Alteration

CARDS  
Owner L. ... Final - Cancel  
# 10004 Date 1-7-71 Amount 1.400  
For Alteration

Owner H. ...  
# 32370 Date 10-31-75 Amount 4.300 Final - Cancel  
For Alteration

Owner L. ...  
# 32439 Date 11-13-75 Amount 1.000 Final - Cancel  
For Alteration

6. VARIANCES  
Zoning # 51 Date \_\_\_\_\_ For \_\_\_\_\_  
Building # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Housing # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_

7. Survey: Yes \_\_\_\_\_ No X Permit # \_\_\_\_\_ Plans in File: Yes X No \_\_\_\_\_ Permit No. \_\_\_\_\_

8. CERTIFICATE OF OCCUPANCY  
Yes \_\_\_\_\_ No X Date \_\_\_\_\_ # \_\_\_\_\_ For \_\_\_\_\_

9. CITY LICENSE  
Yes X No \_\_\_\_\_ Type Hotel  
Issued to \_\_\_\_\_ Address \_\_\_\_\_ Date \_\_\_\_\_

10. ADDITIONAL INFORMATION  
listed 9-12-72 46305 Managers

Representative H. Kenner Reference Number 71113  
**BUILDING AND HOUSING DEPARTMENT**

1. Address #1 1411 14th St Date 1/1/20  
Address #2 \_\_\_\_\_

2. Zone District \_\_\_\_\_ Fire District \_\_\_\_\_ Sanborn Map Number \_\_\_\_\_

3. Block/Book # \_\_\_\_\_ Page \_\_\_\_\_ Lot # \_\_\_\_\_ Lot Size \_\_\_\_\_  
Tract and Block \_\_\_\_\_ Address \_\_\_\_\_  
Owner \_\_\_\_\_  
Distance \_\_\_\_\_

4. W.P.A. Survey: Yr. Built \_\_\_\_\_  
Stories \_\_\_\_\_ Room \_\_\_\_\_ Families \_\_\_\_\_ Roomers \_\_\_\_\_ Type \_\_\_\_\_  
Garages \_\_\_\_\_ Basement \_\_\_\_\_ Cellar \_\_\_\_\_ Attic \_\_\_\_\_ Bath \_\_\_\_\_ W.C. \_\_\_\_\_  
Accessory Bldg. \_\_\_\_\_

5. BOOK #1  
Owner # \_\_\_\_\_ Date \_\_\_\_\_ Amount \_\_\_\_\_  
For \_\_\_\_\_  
Owner # \_\_\_\_\_ Date \_\_\_\_\_ Amount \_\_\_\_\_  
For \_\_\_\_\_ Finaled - Cancel

BOOK #2  
Owner # \_\_\_\_\_ Date \_\_\_\_\_ Amount \_\_\_\_\_  
For \_\_\_\_\_ Finaled - Cancel  
Owner # \_\_\_\_\_ Date \_\_\_\_\_ Amount \_\_\_\_\_  
For \_\_\_\_\_ Finaled - Cancel

CHARGES  
Owner M. L. ... Date 11-11-20 Amount 2,500  
For Return on the ... Finaled - Cancel

GARDS  
Owner M. L. ... Date 1-2-20 Amount 1,500  
For ... Finaled - Cancel

Owner M. L. ... Date 1-2-20 Amount 1,500  
For ... Finaled - Cancel

Owner M. L. ... Date 6-12-19 Amount ...  
For ... Finaled - Cancel

6. VARIANCES  
Zoning # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Building # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Housing # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_

7. Survey: Yes \_\_\_\_\_ No \_\_\_\_\_ Permit # \_\_\_\_\_ Plans in File: Yes \_\_\_\_\_ No \_\_\_\_\_ Permit No. \_\_\_\_\_

8. CERTIFICATE OF OCCUPANCY  
Yes \_\_\_\_\_ No \_\_\_\_\_ Date \_\_\_\_\_

9. CITY LICENSE  
Yes \_\_\_\_\_ No \_\_\_\_\_ Type \_\_\_\_\_  
Issued to \_\_\_\_\_ Address \_\_\_\_\_ Date \_\_\_\_\_

10. ADDITIONAL INFORMATION \_\_\_\_\_  
Address \_\_\_\_\_ Date \_\_\_\_\_

W. Cater

Representative Rent of Fraks 312 Reference Number 41005  
BUILDING AND HOUSING DEPARTMENT

1. Address #1 534-14th Street Date 10-17-75  
Address #2 \_\_\_\_\_

2. Zone District C-51 Fire District 1 Sanborn Map Number \_\_\_\_\_  
Page \_\_\_\_\_ Lot # \_\_\_\_\_ Lot Size \_\_\_\_\_

3. Block Book # \_\_\_\_\_ Tract and Block \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Distance \_\_\_\_\_

4. W.P.A. Survey: Yr. Built \_\_\_\_\_  
Stories \_\_\_\_\_ Room \_\_\_\_\_ Families \_\_\_\_\_ Type \_\_\_\_\_  
Garages \_\_\_\_\_ Basement \_\_\_\_\_ Cellar \_\_\_\_\_ Roomers \_\_\_\_\_ Bath \_\_\_\_\_ W.C. \_\_\_\_\_  
Attic \_\_\_\_\_ Accessory Bldg. \_\_\_\_\_

5. BOOK #1 Morris & Muller Amount \$139,000  
Owner \_\_\_\_\_ Date 2-26-73 For 7<sup>th</sup> steel frame Hotel  
# 32598 Finaled - Cancel

BOOK #2 M. Friedman Amount \$5500  
Owner \_\_\_\_\_ Date 2-10-37 For Alterations  
# A66241 Finaled - Cancel

BOOK #3 H. C. Morris Amount \$300  
Owner \_\_\_\_\_ Date 3-3-37 For Alteration  
# A66491 Finaled - Cancel  
5-22-37

BOOK #4 B. Wooten Amount \$200  
Owner \_\_\_\_\_ Date 5-19-43 For Repairs  
# A98943 Finaled - Cancel  
11-13-37

CARDS H. J. Demand & B. Wooten Amount \$1000  
Owner \_\_\_\_\_ Date 2-10-44 For Alterations  
# B3072 Finaled - Cancel  
12-7-43

CARDS B. Wooten Amount \$4000  
Owner \_\_\_\_\_ Date 6-7-45 For Alteration  
# B3229 Finaled - Cancel  
4-17-46

CARDS B. Wooten & Demand Amount \$200  
Owner \_\_\_\_\_ Date 10-31-45 For Alteration  
# B2076 Finaled - Cancel  
4-13-46

CARDS W. Wooten Amount \$1000  
Owner \_\_\_\_\_ Date 11-13-45 For Alteration  
# B2134 Finaled - Cancel  
4-25-46

6. VARIANCES None Finaled - Cancel  
Zoning # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Building # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Housing # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
4-27-46

7. Survey: Yes \_\_\_\_\_ No  Permit # \_\_\_\_\_ Plats in File: Yes  No  Permit No. 33590

8. CERTIFICATE OF OCCUPANCY  
Yes \_\_\_\_\_ No  Date \_\_\_\_\_ # \_\_\_\_\_ For \_\_\_\_\_

9. CITY LICENSE  
Yes  No \_\_\_\_\_ Type Hotel  
Issued to W. Wooten Address \_\_\_\_\_ Date 4-27-76

10. ADDITIONAL INFORMATION outstanding housing letter dated  
9-29-75 Sign Permit # 40385

Representative Rent & Jackson 3rd Reference Number 211005

BUILDING AND HOUSING DEPARTMENT

1. Address #1 584-14th St. Date 10-17-75  
Address #2 \_\_\_\_\_

2. Zone District \_\_\_\_\_ Fire District \_\_\_\_\_ Sanborn Map Number \_\_\_\_\_

3. Block Book # \_\_\_\_\_ Page \_\_\_\_\_ Lot # \_\_\_\_\_ Lot Size \_\_\_\_\_  
Tract and Block \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Distance \_\_\_\_\_

4. W.P.A. Survey: Yr. Built \_\_\_\_\_ Type \_\_\_\_\_  
Stories \_\_\_\_\_ Room \_\_\_\_\_ Families \_\_\_\_\_ Rcomers \_\_\_\_\_ Bath \_\_\_\_\_ W.C. \_\_\_\_\_  
Garages \_\_\_\_\_ Basement \_\_\_\_\_ Cellar \_\_\_\_\_ Attic \_\_\_\_\_ Accessory Bldg. \_\_\_\_\_

5. BOOK #1  
Owner \_\_\_\_\_ Amount \_\_\_\_\_  
# \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Finaled - Cancel

Owner \_\_\_\_\_ Amount \_\_\_\_\_  
# \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Finaled - Cancel

BOOK #2  
Owner \_\_\_\_\_ Amount \_\_\_\_\_  
# \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Finaled - Cancel

Owner \_\_\_\_\_ Amount \_\_\_\_\_  
# \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Finaled - Cancel

CARDS Owner B. Wosten Amount \$800-  
# 28914 Date 12-18-45 For Extension to garage  
Finaled - Cancel  
5-8-76

CARDS Owner Mr B. Wosten Amount \$9125-  
# 240257 Date 7-2-52 For 7. w. wrap balcony  
Finaled - Cancel  
9-1-52

Owner B. Wosten Amount \$1320-  
# 240466 Date 7-21-52 For Alteration  
Finaled - Cancel  
9-2-52

Owner Mr B. Wosten Amount \$350-  
# 248877 Date 6-13-69 For Alteration  
Finaled - Cancel  
3-26-69

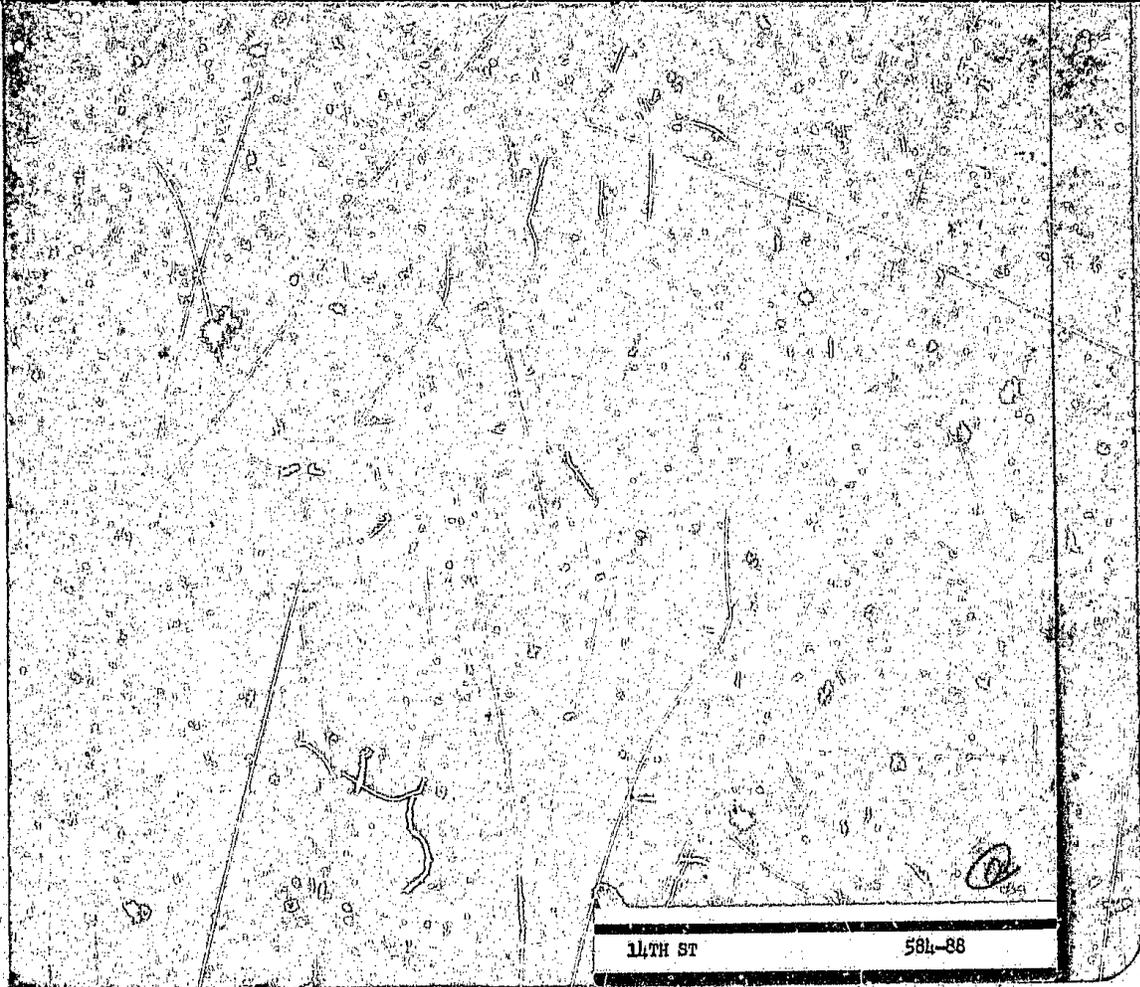
6. VARIANCES  
Zoning # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Building # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_  
Housing # \_\_\_\_\_ Date \_\_\_\_\_ For \_\_\_\_\_

7. Survey: Yes \_\_\_ No \_\_\_ Permit # \_\_\_\_\_ Plans in File: Yes \_\_\_ No \_\_\_ Permit No. \_\_\_\_\_

8. CERTIFICATE OF OCCUPANCY  
Yes \_\_\_ No \_\_\_ Date \_\_\_\_\_ # \_\_\_\_\_ For \_\_\_\_\_

9. CITY LICENSE  
Yes \_\_\_ No \_\_\_ Type \_\_\_\_\_ Date \_\_\_\_\_  
Issued to \_\_\_\_\_ Address \_\_\_\_\_

10. ADDITIONAL INFORMATION \_\_\_\_\_



11TH ST

584-88

CITY OF OAKLAND



DEVELOPMENT SERVICES DEPARTMENT • 1330 BROADWAY • OAKLAND, CALIF. 94612

TELEPHONE (415) 778-3000

NBW-P1-366

January 6, 1994

TO: SINGH GOVINDER  
P O BOX 5247  
WALNUT CREEK CA 94596

FROM: Office of Planning and Building  
Seismic Safety Division  
1330 Broadway, Suite 800  
Oakland, CA 94612

SUBJECT: Building Located at: **584-88 14TH ST, OAKLAND**

City of Oakland records indicate that you are the owner of an unreinforced masonry (URM) building located at the subject address. URM buildings are generally buildings constructed without adequate steel reinforcing bars embedded in the masonry walls and are considered the most susceptible to earthquake damage among existing building types.

Recognizing this potential hazard, in 1986, the State of California enacted a law, which mandated that local jurisdictions identify URM buildings and implement a mitigation program to enhance the seismic safety of these buildings.

On July 27, 1993, the Oakland City Council adopted the Unreinforced Masonry Building Ordinance No. 11613 C.M.S. to comply with the state law.

This ordinance was developed after several years of deliberation with a community coalition convened by the Oakland Chamber of Commerce and a detailed socioeconomic study to analyze the impact of various retrofit alternatives. The adopted retrofit standards carefully balance desired public safety and economic limitations.

**As the owner of a URM building, you are required to comply with the mandatory provisions of this ordinance. The ordinance and a summary of the ordinance are enclosed. You are required to file an acceptable engineering analysis report (EAR) along with a \$500 filing fee with the City's Seismic Safety Division. The report must include an analysis of potential exterior falling hazards and formatted in accordance with Sections 18-6.10(C)(1) and 18.6.10(D)**

of the Ordinance: If your building does not currently comply with the applicable mandatory retrofit standard in Section 18-6.08 or 18-6.09 of the ordinance, you must also file acceptable plans and a building permit application to retrofit your building along with your EAR, and complete the retrofit work within the timeframe specified below. A summary of the building permit process is enclosed.

The Planning Department will require Design Review, prior to Building Permit approval, for Historic Buildings and other buildings that are subject to Design Review. Other planning permits may also be required for certain projects which go beyond compliance with URM Ordinance requirements (i.e. additions, change of use, etc.). To determine if your building has a historic designation, and for information related to Design Review and other planning permits, please contact the permit counter at (510) 238-3443. When calling this number, please state that you are inquiring about an URM building.

The schedule for compliance with the ordinance is based on the priority levels established by Section 18-6.07(A) of the ordinance, and on whether your building is an URM bearing wall building or an URM non-bearing wall building (framed building with URM infill walls and building with only URM veneer). Based on City records, your building has been designated a *priority level 1* and is most likely to be an *URM non-bearing wall* building. However, it is the building owner's responsibility to obtain a qualified engineer or architect to substantiate the actual type of URM construction and to comply with the applicable schedule as follows:

**DEADLINE TO COMPLY WITH ORDINANCE**

	URM Bearing Wall Building	URM Non-Bearing Wall Building
File EAR and Necessary Building Permit Application	February 1, 1995	February 1, 1997
Complete Mandatory Retrofit Work	February 1, 1996	February 1, 1999

If your building is an URM non-bearing wall building, compliance with the mandatory requirement will remove your building from the City's potentially hazardous URM buildings list.

If your building is an URM bearing wall building, compliance with these requirements will satisfy the mandatory provisions of the ordinance, but your building will remain on the City's potentially hazardous URM buildings list until the building is fully retrofitted to the voluntary standards in Section 18-6.08(B) of the ordinance.

It is the intent of the ordinance's mandatory standard to mitigate only potential exterior falling hazards. The voluntary standards for bearing wall buildings are intended to be the minimum

standards to protect building occupants by reducing the potential of a collapsed building in a severe earthquake.

Building owners, who fail to comply with the mandatory provisions for the City's URM Ordinance, will be subject to monetary penalties and after three years of non-compliance, possible revocation of occupancy for their building.

In addition, State Assembly Bill 1963, which became effective on March 31, 1993, requires that owners of URM buildings be responsible for posting the following sign on their URM buildings:

**THIS IS AN UNREINFORCED MASONRY BUILDING.  
UNREINFORCED MASONRY BUILDINGS MAY BE  
UNSAFE IN THE EVENT OF A MAJOR EARTHQUAKE.**

*This sign shall be posted in a conspicuous place at the entrance of the building. The sign shall be not less than 5" x 7", containing the above statement, printed in not less than 30-point bold type. This sign must be posted until your building has been removed from the City's potentially hazardous URM buildings list. The State law does not require the posting of this sign for URM non-bearing wall buildings with concrete or steel frame.*

Owners of URM buildings assigned a priority level 1 or 2 can appeal the priority assignment to the Board of Examiners and Appeals in accordance with Section 18-6.16(B) of the ordinance, if they believe the Building Official made an error in determining the priority level or they can demonstrate their inability to obtain financing to perform the mandatory work within the specified timeframe. The priority levels for this ordinance are based on the use, occupant load, height, soil condition, public traffic, and historic significance of the building. Pedestrian and vehicle traffic levels and the soil conditions for each building are based on various city-wide studies. The permitted use, allowable occupant load, height, and historic designation of each building are based on the specific permit records and site visits for each building. **The appeal form, along with a \$500 filing fee, must be filed with the Seismic Safety Division by May 6, 1994.** Appeal forms can be obtained from the Seismic Safety Division.

The City's Office of Finance is developing a city-wide special assessment district to assist owners in obtaining loans to comply with the ordinance. It is anticipated that all qualified applicants for financing will receive approval to participate in the initial program by April 29, 1994. **Enclosed are the description, schedule, and preliminary application for the proposed loan program.** For additional information or questions, contact the Office of Finance at (510) 238-6735.

**Also enclosed are guidelines to assist you in hiring architects and engineers.** You may wish to refer to these documents before you contract these services.

For general information on how to select a qualified licensed contractor, you may wish to contract the Contractors State License Board at (510) 577-2429.

Some URM building owners have expressed a desire to work with other owners to develop a cost savings cooperative program for engineering, design, and construction services. If any owners are interested in organizing such a program, please contact the Seismic Safety Division.

Owners, who need further clarification of the URM Ordinance and Finance program, are invited to attend an owner informational meeting.

The meeting will be held at:

**The Oakland Museum, James Moore Theater  
1000 Oak Street, Oakland**

**Thursday, January 27, 1993, 7:00 p.m. to 9:00 p.m.**

**Additional information about the owner informational meeting is provided in the enclosed announcement.**

Please RSVP to the Seismic Safety Division if you are planning to attend this meeting. This will assist the City in insuring sufficient seating and handout material at the meeting.

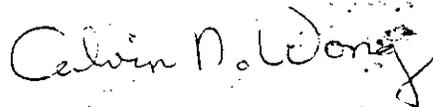
Your building may be exempted from this ordinance if it meets one of the exceptions permitted in Section 18-6.03, or if the building is not an URM building as defined in Section 18-6.06(O) and (P) in the ordinance. If you believe your building meets one of these exemptions, you may submit evidence to the Seismic Safety Division to substantiate your claim.

**If you are not the current owner of the subject building, please immediately advise the Seismic Safety Division.**

If you have any questions, or wish to RSVP, please contact the Seismic Safety Division at (510) 238-3293 or by Fax at (510) 238-6445.

Your efforts in response to Oakland's seismic hazard mitigation program are greatly appreciated. Through your cooperation, we can greatly enhance the community's public safety from major impending seismic events.

Very truly yours,



**CALVIN N. WONG**  
Seismic Safety Division Manager

Is your RETURN ADDRESS completed on the reverse side?

**SENDER:**

- Complete items 1 and/or 2 for additional services.
- Complete items 3, and 4a & b.
- Print your name and address on the reverse of this form so that we can return this card to you.
- Attach this form to the front of the mailpiece, or on the back if space does not permit.
- Write "Return Receipt Requested" on the mailpiece below the article number.
- The Return Receipt will show to whom the article was delivered and the date delivered.

I also wish to receive the following services (for an extra fee):

- 1.  Addressee's Address
- 2.  Restricted Delivery

Consult postmaster for fee.

3. Article Addressed to:

SINGH GOVINDER  
 P O BOX 5247  
 WALNUT CREEK CA 94596  
 RE: 584-88 14TH ST; SEQ:366

4a. Article Number

**RETURN RECEIPT REQUESTED**

4b. Service Type

- Registered  Insured
- Certified  COD
- Express Mail  Return Receipt for Merchandise

Date of Delivery

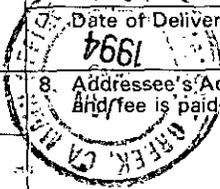
7/66/

5. Signature (Addressee)

6. Signature (Agent)

*[Handwritten Signature]*

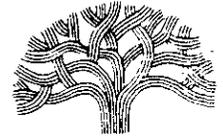
8. Addressee's Address (Only if requested and fee is paid)



Thank you for using Return Receipt Service.



CITY OF OAKLAND



OFFICE OF PLANNING & BUILDING • 1330 BROADWAY • OAKLAND, CALIFORNIA 94612

Administration	238-7200	Building Services	238-3587	Planning	238-3941
Engineering Services	238-2110	Operations	238-3443	Zoning	238-7206

May 22, 1995

Govinder Singh  
584 14th Street  
Oakland, California 94612

**RE: Building located at 584 14th Street, Oakland**

Dear Mr. Singh:

The Seismic Safety Division of the City of Oakland has reviewed and approved the report submitted by Mr. Gregory Miller, S.E. The report indicates that the subject building is a steel framed building with masonry infills, and all the mandatory seismic retrofit requirements were completed under building permit #B9301087. Therefore, we are removing the subject building from the list of buildings subject to the Unreinforced Masonry Buildings Hazard Mitigation Ordinance No. 11613 C.M.S. Furthermore, we confirm that the building has also complied with the requirements of the Earthquake Repair Ordinance No. 11217 C.M.S.

If you have any questions please contact Emad Mirsaeidi at 238-6440 between 8:30 a.m. and 4:00 p.m.

Sincerely,

Philip Grubstick  
Manager Plan Check/  
Engineering Services

B9204307

**THE RIGHT GUYS**  
GENERAL ENGINEERING CONTRACTORS  
LICENSED, INSURED, BONDED  
LICENSE 584635

P.O. BOX 5247  
WALNUT CREEK, CA 94596  
(510) 933-5300  
FAX:939-1244

May 19, 1995

Seismic Safety Division  
Office of Planning and Building  
1330 Broadway  
Oakland, Ca. 94612

Re: Engineering Analysis Report  
Sutter Hotel  
584 14th Street  
Oakland.

Gentlemen:

Enclosed is an EAR prepared for the Sutter Hotel at 584 Fourteenth Street. The Sutter is a frame building with masonry infill walls and falls under Section 18-6.09 of the City of Oakland URM Ordinance enacted in the recent past.

This is to inform you that the mandatory retrofit standards required under the Ordinance, for this building, have now been complied with. All parapet masonry and bracing work has been completed and inspected by Valley Inspection Services and the City of Oakland Building Inspection Department under Permit No: B 9301087.

It is herewith requested that you now remove this building from the City's potentially hazardous URM list. Please let us know your decision as soon as possible

Very Sincerely,



Raj Singh

5/19/95

Oakland Building Department  
Department of Building Inspection  
Oakland, CA 94612

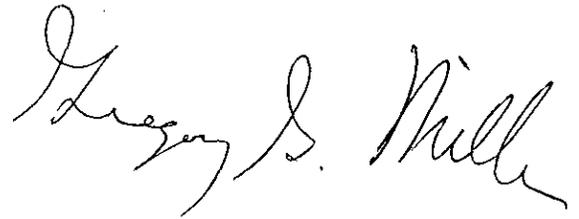
Re: Engineering Report for the Sutter Hotel, 584 14th Street, Oakland, CA

Gentlemen:

The Sutter Hotel was surveyed for possible hazardous conditions due to seismic activity in April, 1994. The building is a seven story steel framed structure with non-load bearing unreinforced brick masonry infill panels. The only hazard noted was a six foot high unreinforced brick parapet at the roof level. This condition was mitigated by adding structural steel beams and posts to laterally support the parapet for lateral loads due to wind and earthquakes. The two enclosed stairwells do not represent a hazard.

Sincerely,

Greg Miller, S.E.



*expires 12/31/97*

## ENGINEERING ANALYSIS REPORT (EAR)

**a)Date of Report: May 18, 1995**

**b)584 14th Street  
Oakland.  
APN: 3-69-17**

**c)Sutter Hotel**

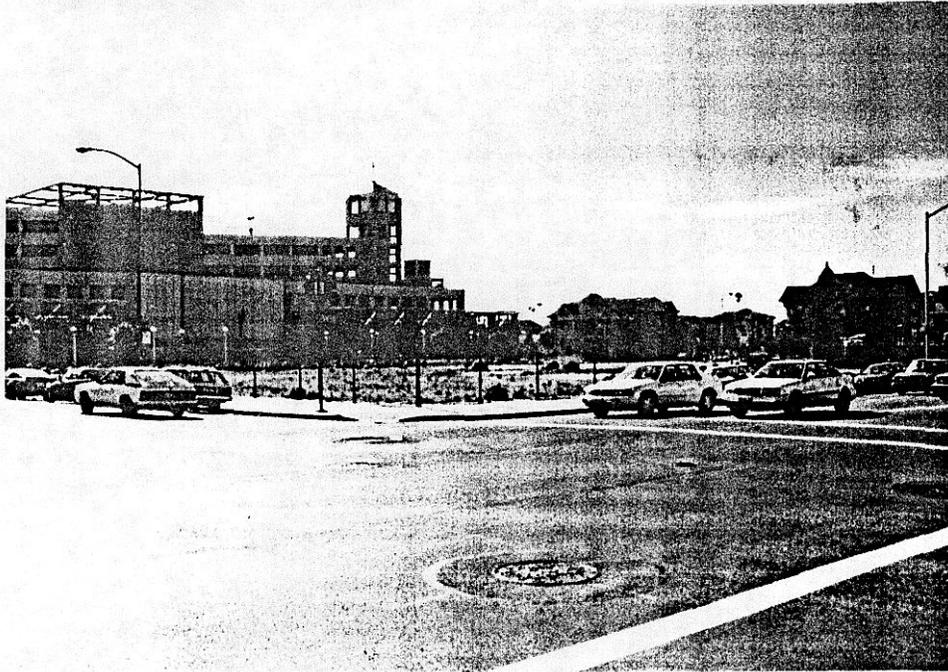
**d)Govinder Singh  
584 14th Street  
Oakland.  
510-451-2555**

**g)The building is a residential Hotel consisting of 103 Units with one large commercial unit at street level.**

**h-j)The date of original design, construction, name of designer, Architect and Contractor are unavailable. Original plans are not available.**

**k)Scaled plan to show footprint of buiding in relation to property line etc. is attatched.**

**l)Photos/sketches of elevation to show adjacent buildings are attached.**



VIEW FROM SUTTER HOTEL  
14TH and JEFFERSON STREETS  
SOUTH WESTERLY DIRECTION



COMMERCIAL and RETAIL BUILDING  
JEFFERSON STREET  
ADJACENT SUTTER HOTEL - NORTH FACE



COMMERCIAL and RETAIL BUILDING  
ADJACENT TO SUTTER HOTEL  
EAST SIDE-14TH STREET



VIEW OF SUTTER HOTEL  
14TH and JEFFERSON STREETS

LIQUOR STORE

JEFFERSON STREET

FEDERAL BUILDING

SIDEWALK

103'-9"

SUITER HOTEL  
584 - 14TH STREET

RETA  
&  
OFF  
1418  
JEFF  
SON

RETAIL & OFFICE  
570 - 14TH STREET

14TH STREET

SITE PLAN

584 - 14TH STREET

SCALE: 1" = 20'-0"

CITY  
CENTER  
(PROPOSED)

To Fwy  
↑  
980

LIQUOR  
STORE

PARKING  
LOT

JEFFERSON ST.

FEDERAL  
BUILDING  
(CITY CENTER)

14<sup>th</sup> STREET

584

SUTTER

HOTEL

1418  
OFFICE  
\*  
RETAIL

RETAIL  
AND  
OFFICE

←  
CITY  
HALL

CITY OF OAKLAND



CITY HALL • ONE CITY HALL PLAZA, • OAKLAND, CALIFORNIA 94612

December 7, 1990

Office of Public Works

T TY 839-6451

TO: BERMAN LESTER A & SINGH GOVINDER  
346 N LARCHMONT BL  
LOS ANGELES CA 90004

FROM: Office of Public Works  
Development Services Department  
Seismic Safety Division  
1330 Broadway, Suite 800  
Oakland, CA 94612

RE: BUILDING LOCATED AT: 584 14TH ST

Dear BERMAN LESTER A & SINGH GOVINDER,

This letter informs you of a State of California law which may apply to your property. Widespread concerns over earthquake safety in California caused the State Legislature to pass the Unreinforced Masonry Law, Senate Bill 547 (SB 547) in 1986. Enclosed is a copy of the law.

The law requires jurisdictions in highly active earthquake areas to identify buildings which were constructed of brick or masonry prior to enactment of building codes containing earthquake requirements. It also requires that the City adopt a mitigation program to enhance their structural safety. These buildings are commonly called unreinforced masonry (URM) buildings, and include structures constructed primarily of brick or masonry (referred to as bearing wall buildings), and structures constructed of steel or concrete frame which have brick or masonry walls (referred to as infill buildings). Buildings constructed with unreinforced masonry have performed poorly in every damaging earthquake and are considered the most susceptible to earthquake damage among existing building types.

In Oakland the law applies to unreinforced masonry buildings constructed, or for which building permits were applied for, prior to November 26, 1948, the effective date of the building code requiring earthquake resistant design of buildings. The City has completed the task of identifying these buildings, and has compiled a PRELIMINARY DRAFT list of 1759 unreinforced masonry buildings in Oakland. The building referenced at the beginning of this letter is on this PRELIMINARY DRAFT list. This letter is an initial notification to recorded owners of such buildings.

If you are not in ownership of the building at 584 14TH ST, please complete the enclosed "Current Owner Information Form" and return it to our office.

The City is in the process of developing an ordinance that will be part of a mitigation program. The ordinance will stipulate such things as structural strengthening requirements and time frame to complete work. It is expected that Oakland's proposed ordinance will be developed by the spring of 1991.

Before an ordinance is adopted by the City, several public hearings and workshops will be held to answer questions and hear comments from the community about the program. You will be notified of the place, date and time of the hearing.

After the ordinance is adopted, a copy will be mailed to you. At that time, you will have an opportunity to determine whether the ordinance applies to your building and evaluate how specific requirements relate to your individual situation. Community workshops will be scheduled with property owners to discuss the provisions of the ordinance and the process for implementation.

If you wish to begin reinforcing your building before the unreinforced masonry ordinance is adopted next year, you may initiate such a building improvement by filing an application for a building permit under the City's "Interim Seismic Upgrade Ordinance". Please contact the Seismic Safety Division for a copy of the interim ordinance.

The City is developing the proposed URM ordinance in conjunction with a coalition of groups including: the Oakland Chamber of Commerce, the Oakland Association of Realtors, the American Institute of Architects; and representatives from engineering, architectural, historic preservation, real estate, and property owner organizations. As part of this effort, the City is exploring financial assistance opportunities which would help owners with the cost of building modifications.

If there are any questions regarding the City's URM program or the SB 547 law, please call the Seismic Safety Division in the Office of Public Works at 287-6435. The office hours are from 8:00 a.m. to 4:00 p.m., Monday thru Friday. The division is located at 1330 Broadway, 8th Floor, Suite 800.

Sincerely,

Randall A. Lum  
Deputy Public Works Director  
and Building Official

encles.

DOWNTOWN DISTRICT  
District Contributor

Ser. No. \_\_\_\_\_  
HABS \_\_\_\_\_ HAER \_\_\_\_\_ NR3D/4b SHL \_\_\_\_\_ Loc \_\_\_\_\_  
UTM: A \_\_\_\_\_ B \_\_\_\_\_  
C \_\_\_\_\_ D \_\_\_\_\_

## IDENTIFICATION

1. Common name: Hotel Sutter
2. Historic name: Same
3. Street or rural address: 584-88 14th St./1400-16 Jefferson Street  
City Oakland Zip 94612 County Alameda
4. Parcel number: 3-69-17
5. Present Owner: Lappalainen, Aarre Address: 584 14th St.  
City Oakland Zip 94612 Ownership is: Public \_\_\_\_\_ Private X
6. Present Use: Hotel Original use: Hotel

## DESCRIPTION

- 7a. Architectural style: Early 20th century commercial with Renaissance/Baroque ornamentation
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

The Hotel Sutter is a 7-story and mezzanine steel-frame brick hotel building on a southwest-facing corner lot at the edge of the Downtown Oakland district. Its three-part vertical composition consists of a top-floor capital with a wide metal(?) modillion-block cornice and inset marble patterns in the brick wall surfaces, divided by a belt course of molding from a simple brick 5-story shaft whose smooth pilasters and slightly recessed spandrels frame groups of 3 double-hung windows, atop a second modillion-block cornice over the 1½-story base. The base, originally glazed bays and transoms and a terra-cotta framed hotel entrance, was remodelled in 1944-6 as a stream-lined bar, with small porthole windows, glass blocks, and tile or vitrolite facing. The transom appears to be covered rather than removed. The building is 6 bays wide on Jefferson Street, 3 bays on 14th. The hotel lobby occupies the east 2 bays on 14th Street. Only the street facades are finished; the east side, visible over lower buildings, reveals a shallow light court and painted wall signs. There is also a corner neon "Hotel" sign 3 stories high.



8. Construction date: Estimated \_\_\_\_\_ Factual 1913-14
9. Architect C.M. Burrell
10. Builder Muller & Morris
11. Approx. property size (in feet)  
Frontage 50 Depth 103.5  
or approx. acreage \_\_\_\_\_
12. Date(s) of enclosed photograph(s)  
\_\_\_\_\_

151-30A 584-88 14th St./1400-16  
Jefferson St. 3-82

13. Condition: Excellent \_\_\_ Good X Fair \_\_\_ Deteriorated \_\_\_ No longer in existence \_\_\_
14. Alterations: Extensive to first floor
15. Surroundings: (Check more than one if necessary) Open land \_\_\_ Scattered buildings \_\_\_ Densely built-up X  
Residential \_\_\_ Industrial \_\_\_ Commercial X Other: \_\_\_
16. Threats to site: None known X Private development \_\_\_ Zoning \_\_\_ Vandalism \_\_\_  
Public Works project \_\_\_ Other: \_\_\_
17. Is the structure: On its original site? X Moved? \_\_\_ Unknown? \_\_\_
18. Related features: None

## SIGNIFICANCE

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

Permit 32590, issued August 22, 1913, describes this as a \$130,000 7-story Class A steel frame hotel building, architect C.N. Burrell, owners and builders Morris & Muller. Henry C. Morris (d.c.1938) was an "Oakland financier and real estate operator," in partnership through the 1910's and 20's with Frederick A. Muller (b.1875, formerly operator of an Oakland planing mill) in a building construction firm headquartered in the Realty Syndicate Building (1420 Broadway). Oakland architect Clay Burrell (1882-1958) also worked with Morris and Muller on the nearby Hotels Woodrow (644-48 14th Street, 1912) and Oaks (585-89 15th Street, 1914-15), as well as on Muller's family's pickle factory (1917-19: see SHRI form, 200 Grove Street). The Sutter was managed in its first years (1914-16 directories) by J.T. Redmon who also operated the nearby Savoy, Rex, and Avalon - further indication of an interrelated hotel district. The Sutter is architecturally distinguished by its monumental use of Beaux Arts and Chicago style elements. The tallest building in its immediate vicinity, it continues the rhythm of skyscrapers on southwest facing corners established by the bank buildings east of Broadway. It is also part of a notable group of hotels at Jefferson, 14th, and 15th Streets, and the ground floor bar alteration is typical of the development of the neighborhood in the 1940's. The Sutter is contributory to a potential downtown Oakland historic district.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)  
Architecture 1 Arts & Leisure \_\_\_  
Economic/Industrial \_\_\_ Exploration/Settlement \_\_\_  
Government \_\_\_ Military \_\_\_  
Religion \_\_\_ Social/Education \_\_\_
21. Sources (List books, documents, surveys, personal interviews and their dates).  
Oakland Tribune, March 23 & Nov. 22, 1943;  
Yearbook, 1914, p. 15  
J.M. Guinn, History of California, 1904,  
p. 1417-18.
22. Date form prepared May 31, 1984  
By (name) Staff  
Organization Oakland Cultural Heritage Survey  
Address: City Planning Dept., City Hall  
Oakland Zip 94612  
Phone: (415) 273-3941





Address History with Inspection Log

CONTACT\_TYPE = Complainant, Neighbor, Tenant/Occupant, Applicant, Lienee  
 CONTACT\_TYPE = Blank  
 STREET\_NBR = 584  
 STREET\_NAME : Begins With 14TH  
 STREET\_TYPE : Begins With  
 APN = ----  
 DATE\_OPENED >= 1/1/1995  
 DATE\_OPENED <= 5/3/2019  
 RECORD\_TYPE\_SUBTYPE <> Soft Story Retrofit Validation  
 RECORD\_TYPE\_TYPE <> Lien

**Record ID: 0000827**

Address: 584 14TH ST

APN: 003 006901700

Unit #:

Description: LIGHTS GO OUT/LEAKS IN CEILING/ELEVATOR MAY NOT BE UP TOCODE/ROACHES

Date Opened: 1/28/2000

Record Status: Open

Record Status Date:

Job Value: \$0.00

Requestor:

:

Business Name:

License #:

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
1/31/2000		1st Inspection	Unable to Verify	

**Record ID: 0002306**

Address: 584 14TH ST

APN: 003 006901700

Unit #:

Description: ANNUAL INSPECTION - HOUSING KEEPING STANDARDSSUTTER HOTEL

Date Opened: 3/14/2000

Record Status: Open

Record Status Date:

Job Value: \$0.00

Requestor:

:

Business Name:

License #:

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: 0009157**

Address: 584 14TH ST

APN: 003 006901700

Unit #:

Description: FIRE ESCAPE IS NOT OPERABLE ON 8TH FLOOR-GARBAGE BEING STORED INBASEMENT-POSSIBLE BUIDLING WORK W/O PERMIT

Date Opened: 9/19/2000

**Record Status: Abated****Record Status Date: 10/20/2000****Job Value: \$0.00****Requestor: ROBERT MUSARD**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
9/20/2000		OMC - BLIGHT ABATEMENT OMC- Injurious OMC-1	Viol. verified / not corrected	
9/20/2000		OMC - BLIGHT ABATEMENT OMC- Injurious OMC-1	Referred to another Agency	
10/20/2000		1st Inspection	Violation Verified	Auto scheduled from "62" result of insp 09/20/00

**Record ID: [0009814](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: 584,586,588-14TH ST;NEW SPACE 586-DRY CLEANING BUSINESS INSTALLEDWITHOUT REQUIRED ZONING&amp;BULDING,PLUMB,MECH PMT;NEW WOODEN STAIRS SPACE

**Date Opened: 10/17/2000****Record Status: Violation Verified****Record Status Date:****Job Value: \$0.00****Requestor: PORTER-STAFF**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
10/18/2000	DAVID CARRILLO	1st Inspection	No Violations	
10/18/2000	DAVID CARRILLO	1st Inspection	Violation Verified	
11/3/2000	DAVID CARRILLO	1st Inspection	Violation Verified	Scheduled from date specified on DAR
12/4/2000	DAVID CARRILLO	1st Inspection	Violation Verified	Reinsp requested from insp result 81 on 11/03/00
6/19/2001	DAVID CARRILLO	1st Inspection	Violation Verified	NO BLDG INSPECTION PROGRESS, NEEDS FOLLOW UP, SEE M.MILLET
6/27/2001		1st Inspection	No Entry	Scheduled inspection voided by result code 98 on 11/29/01
10/19/2001	DAVID CARRILLO	1st Inspection	Violation Verified	
10/26/2001		1st Inspection	Violation Verified	Reinsp requested from insp result 93 on 10/19/01
11/5/2001		1st Inspection	Violation Verified	Reinsp generated from insp result 93 on 10/26/01
11/13/2001	DAVID CARRILLO	1st Inspection	Violation Verified	Reinsp generated from insp result 82 on 11/05/01
11/21/2001		1st Inspection	Violation Verified	Reinsp generated from insp result 93 on 11/13/01
11/29/2001		OMC - BLIGHT ABATEMENT OMC- Injurious OMC-1	Complaint ABated	Reinsp generated from insp result 82 on 11/21/01
1/28/2002		1st Inspection	No Entry	Scheduled inspection voided by result code 98 on 11/29/01
11/26/2002		1st Inspection	No Entry	MEET HOLLIS ON SITE TO POSSIBLY REASSIGN CASE PER M.MILLET
12/4/2002		1st Inspection	No Entry	Reinsp generated from insp result 86 on 11/26/02
12/12/2002		1st Inspection	Unable to Verify	Reinsp generated from insp result 85 on 12/04/02

**Record ID: [0010421](#)****Address: 584 14TH ST, #302****APN: 003 006901700****Unit #: 302**

Description: RAT INFESTATION - HOT WATER IS NOT ADEQUATE

**Date Opened: 11/9/2000****Record Status: Abated****Record Status Date: 11/10/2000****Job Value: \$0.00****Requestor: T/SOWERS, DEBRA**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
11/10/2000		1st Inspection	No Entry	T/DEBRA 562-2904

**Record ID:** [0105970](#)**Address:** 584 14TH ST, ##303**APN:** 003 006901700**Unit #:** #303**Description:** RAT'S COMING OUT THROUGH THE WALLS, ROACHES.**Date Opened:** 7/12/2001**Record Status:** Abated**Record Status Date:** 9/17/2002**Job Value:** \$0.00**Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
7/13/2001		1st Inspection	No Entry	Scheduled inspection voided by result code 98 on 09/17/02
7/13/2001	DAVID CARRILLO	1st Inspection	Violation Verified	
8/10/2001		1st Inspection	No Entry	Scheduled inspection voided by result code 98 on 09/17/02
8/16/2002		1st Inspection	No Entry	RESCHEDULED FOR 9/17/02
9/17/2002		1st Inspection	Violation Verified	CHECK COMPLAINT STATUS

**Record ID:** [0202037](#)**Address:** 584 14TH ST**APN:** 003 006901700**Unit #:****Description:** ANNUAL HOTEL/MOTEL INSPECTION**Date Opened:** 3/13/2002**Record Status:** Open**Record Status Date:****Job Value:** \$0.00**Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
4/5/2002		1st Inspection	Unable to Verify	

**Record ID:** [0305672](#)**Address:** 584 14TH ST**APN:** 003 006901700**Unit #:****Description:** ELEVATOR IS NOT WORKING**Date Opened:** 8/12/2003**Record Status:** Abated**Record Status Date:** 8/13/2003**Job Value:** \$0.00**Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
8/13/2003		1st Inspection	No Entry	

**Record ID:** [0402557](#)**Address:** 584 14TH ST, #401**APN:** 003 006901700**Unit #:** 401**Description:** DIRT UNDER THE BASEBOARD OF THE SINK, CHIPPED LEAD PAINT, NO CARPET IS MOUNTED & FILTHY. CERAMIC IS CHIPPED IN THE SINK, RUSTY WATER.**Date Opened:** 5/14/2004**Record Status:** Intake - Completed**Record Status Date:****Job Value:** \$0.00**Requestor:** GERRET SASHINGER

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
5/17/2004		OMC - BLIGHT ABATEMENT OMC- Injurious OMC-1	Inspection re- scheduled	LEFT MESSAGE FOR MANAAGER ON ONE AVAILABLE TO SHOW
6/15/2004		OMC - BLIGHT ABATEMENT OMC- Injurious OMC-1	Inspection re- scheduled	Reinsp generated from insp result 82 on 05/17/04
7/2/2004		OMC - BLIGHT ABATEMENT OMC- Injurious OMC-1	Inspection re- scheduled	Reinsp generated from insp result 82 on 06/15/04
8/10/2004		1st Inspection	Unable to Verify	Reinsp generated from insp result 82 on 07/02/04

**Record ID:** [0405996](#)**Address:** 584 14TH ST, #411**APN:** 003 006901700**Unit #:** 411**Description:** SUTTER HOTEL - WATER DOES NOT WORK, MICE, & ELECTRICAL PROBLEM C**Date Opened:** 11/30/2004**Record Status:** Abated**Record Status Date:** 12/3/2004**Job Value:** \$0.00**Requestor:** CALVIN MORRIS

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
12/3/2004		1st Inspection	Violation Verified	CALVIN MORRIS 472-6070

**Record ID:** [0502376](#)**Address:** 584 14TH ST**APN:** 003 006901700**Unit #:****Description:** BATHROOMS NOT WORKING PROPERLY, FIREHOSES MISSING, STRUCTURAL PROBLEMSHEATER NOT WORKING.**Date Opened:** 6/1/2005**Record Status:** Open**Record Status Date:****Job Value:** \$0.00**Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
6/3/2005		1st Inspection	No Entry	NO COMMENT
6/30/2005		1st Inspection	No Entry	Reinsp requested from insp result 82 on 06/03/05
7/22/2005		1st Inspection	Unable to Verify	Reinsp requested from insp result 82 on 06/30/05

**Record ID:** [0503005](#)**Address:** 584 14TH ST**APN:** 003 006901700**Unit #:****Description:** ANNUAL DEEMED APPROVED HOTEL/MOTEL INSPECTION - SUTTER HOTELCONTACT: MGR. 510-451-2555.**Date Opened:** 6/27/2005**Record Status:** Closed**Record Status Date:** 7/18/2012**Job Value:** \$0.00**Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
7/26/2005	PERMIT TRACKING CODE	OHC - UND DWELL UNIT (-57) OHC- SubstandardOHC-1	Inspection voided	Inspection voided 07/18/12 - complaint closed 07/18/12
8/17/2005	ALAN D ALBEE	1st Inspection	Violation Verified	

8/23/2005 PERMIT TRACKING OHC - UND DWELL Inspection voided Inspection voided 07/18/12 - complaint closed 07/18/12  
 CODE UNIT (-57) OHC-  
 SubstandardOHC-1

**Record ID: [0606066](#)****Address: 584 14TH ST****APN: 003 006901700**

Unit #:

Description: RESIDENTIAL HOTEL; EXEMPT FROM DEEMED APPROVED HOTEL/MOTEL ANNUALINSPECTIONS; REMOVE FROM LIST.

**Date Opened: 8/23/2006****Record Status: Abated****Record Status Date: 9/26/2006****Job Value: \$0.00****Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
9/26/2006	WING LOO	1st Inspection	No Entry	

**Record ID: [0801137](#)****Address: 584 14TH ST****APN: 003 006901700**

Unit #:

Description: ELEVATOR BROKEN AT HOTEL/FAULTY WIRING IN ROOM 504/LOW WATER PRESSURE

**Date Opened: 2/14/2008****Record Status: Abated****Record Status Date: 4/7/2008****Job Value: \$0.00****Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
2/15/2008	DAVID C MILES	1st Inspection	No Entry	Scheduled inspection voided by result code 97 on 04/07/08
3/27/2008	DAVID C MILES	1st Inspection	No Entry	Scheduled inspection voided by result code 97 on 04/07/08
3/27/2008	DAVID C MILES	1st Inspection	Unable to Verify	LEFT VOICEMAIL MESSAGE
4/7/2008	DAVID C MILES	1st Inspection	No Entry	COMPLAINT WITHDRAWN BY MS. WINDER
4/9/2008	DAVID C MILES	1st Inspection	No Entry	VIOLATION NOT VERIFIED COMPLAINT WITHDRAWN

**Record ID: [0802917](#)****Address: 584 14TH ST, #504****APN: 003 006901700**

Unit #: 504

Description: TENANT COMPLAINT. FAULTY WIRING.

**Date Opened: 4/25/2008****Record Status: No Violation Found****Record Status Date:****Job Value: \$0.00****Requestor: MS. WINDER**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
4/28/2008	EUGENE MARTINELLI	OMC - BLIGHT ABATEMENT OMC- Injurious OMC-1	Complaint Not Applicable	NO VIOLATION FOUND

**Record ID: [0806953](#)****Address: 584 14TH ST****APN: 003 006901700**

Unit #:

Description: SUTTER HOTEL- ROOM 400- THE HOT WATER WILL NOT TURN OFF.

**Date Opened: 9/26/2008****Record Status: No Violation Found****Record Status Date:**

**Job Value: \$0.00****Requestor: ROBERT BURTON**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
9/29/2008	EUGENE MARTINELLI	OMC - BLIGHT ABATEMENT OMC- Injurious OMC-1	Complaint Not Applicable	NO VIOLATION FOUND

**Record ID: [1103196](#)****Address: 584 14TH ST, #604****APN: 003 006901700****Unit #: 604****Description: TENANT COMPLAINT- WEAK ELECTRICITY IN UNIT, PLUMBING PROBLEMS, BROKENHANDRAILS IN STAIRWAYS, FRAMES MISSING ON WINDOWS****Date Opened: 4/29/2011****Record Status: Abated****Record Status Date: 6/16/2011****Job Value: \$0.00****Requestor: AVERY MITCHELL**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
5/2/2011	WING LOO	1st Inspection	No Entry	Scheduled inspection voided by result code 98 on 06/16/11
6/16/2011	WING LOO	1st Inspection	Violation Verified	CORRECTED BY OWNER

**Record ID: [1105156](#)****Address: 584 14TH ST, #408****APN: 003 006901700****Unit #: 408****Description: TENANT COMPLAINT- POOR WATER PRESSURE, RAT HOLES IN UNIT.****Date Opened: 7/15/2011****Record Status: Abated****Record Status Date: 7/19/2011****Job Value: \$0.00****Requestor: MARQUIS CHATMAN**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
7/18/2011	MARTIN FLORES	1st Inspection	No Entry	Scheduled inspection voided by result code 97 on 07/19/11
7/19/2011	MARTIN FLORES	1st Inspection	No Entry	

**Record ID: [1200358](#)****Address: 584 14TH ST, #203****APN: 003 006901700****Unit #: 203****Description: ELECTRICAL ISSUES INSIDE UNIT****Date Opened: 1/31/2012****Record Status: Abated****Record Status Date: 7/27/2012****Job Value: \$0.00****Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
2/2/2012	PERMIT TRACKING CODE	1st Inspection	No Entry	Inspection voided 07/27/12 - NA disposition on 07/27/12

**Record ID: [1200642](#)****Address: 584 14TH ST, #206****APN: 003 006901700****Unit #: 206****Description: WINDOWS DO NOT LOCK; ELECTRICITY IS FAULTY; ISSUES WITH TRASH BACKINGUP IN TRASH SHUTE**

**Date Opened:** 2/22/2012**Record Status:** Abated**Record Status Date:** 3/5/2012**Job Value:** \$0.00**Requestor:** MARQUIS CHATMAN

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
2/23/2012	MARTIN FLORES	1st Inspection	Unable to Verify	NO COMMENT
3/5/2012	MARTIN FLORES	1st Inspection	No Entry	NON ACTIONALBE

**Record ID:** [1201243](#)**Address:** 584 14TH ST, #206**APN:** 003 006901700**Unit #:** 206**Description:** WINDOWS DO NOT LOCK; ELECTRICITY IS FAULTY; ISSUES WITH TRASH BACKINGUP IN TRASH SHUTE; BED BUGS**Date Opened:** 3/26/2012**Record Status:** Open**Record Status Date:****Job Value:** \$0.00**Requestor:** MARQUIS CHATMAN

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID:** [1202924](#)**Address:** 584 14TH ST, #317**APN:** 003 006901700**Unit #:** 317**Description:** CARPET IS DIRTY & HAS ODORS, GARBAGE ROOM HAS GARBAGE OVERFLOWING**Date Opened:** 6/18/2012**Record Status:** Notice to Proceed**Record Status Date:** 8/14/2012**Job Value:** \$0.00**Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
8/16/2012	MARTIN FLORES	1st Inspection	No Entry	
8/29/2012	MARTIN FLORES	1st Inspection	Violation Verified	Reinsp generated from insp result 86 on 08/16/12

**Record ID:** [1203568](#)**Address:** 584 14TH ST, #307**APN:** 003 006901700**Unit #:** 307**Description:** WINDOWS DO NOT LOCK; ELECTRICITY IS FAULTY; ISSUES WITH TRASH BACKINGUP IN TRASH SHUTE; BED BUGS**Date Opened:** 7/20/2012**Record Status:** Abated**Record Status Date:** 8/14/2012**Job Value:** \$0.00**Requestor:** MARQUIS CHATMAN

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
7/23/2012	ANTHONY L HARBAUGH	1st Inspection	No Entry	Scheduled inspection voided by result code 97 on 08/14/12
8/14/2012	ANTHONY L HARBAUGH	1st Inspection	No Entry	

**Record ID:** [1203732](#)**Address:** 584 14TH ST**APN:** 003 006901700**Unit #:****Description:** CREATED TO RELEASE THE DECLARATION OF SUBSTANDARD PUBLIC NUISANCEDOCUMENT RECORDED 04/22/1994 RECORDATION # 94158998

**Date Opened: 7/27/2012****Record Status: Open****Record Status Date:****Job Value: \$0.00****Requestor:**

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**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [1205712](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:****Description: ANNUAL DEEMED APPROVED HOTEL/MOTEL INSPECTION****Date Opened: 10/25/2012****Record Status: Abated****Record Status Date: 11/14/2012****Job Value: \$0.00****Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
11/14/2012	WING LOO	1st Inspection	No Entry	SRO EXEMPT

**Record ID: [1301188](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:****Description: REMODELING LAUNDRY ROOM: MODIFIED CEILING AND GAS LINES; NEW DRYERS****Date Opened: 3/4/2013****Record Status: Violation Verified****Record Status Date:****Job Value: \$0.00****Requestor: AVERY MITCHELL**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
3/5/2013	DAVID C MILES	1st Inspection	No Entry	Scheduled inspection voided by result code 81 on 04/15/13
3/7/2013	DAVID C MILES	1st Inspection	Violation Verified	
3/15/2013	DAVID C MILES	1st Inspection	Violation Verified	Reinsp generated from insp result 93 on 03/07/13
4/15/2013	DAVID C MILES	1st Inspection	Violation Verified	Reinsp requested from insp result 93 on 03/15/13
5/15/2013	DAVID C MILES	1st Inspection	No Violations	B1300885
6/28/2013	DAVID C MILES	1st Inspection	Unable to Verify	Reinsp requested from insp result 95 on 05/15/13
12/12/2013	DAVID C MILES	1st Inspection	No Violations	PERMIT B1300885 LEEFT VOICEMAIL FOR CHARLES
12/13/2013	ED LABAYOG	1st Inspection	Unable to Verify	
12/30/2013	DAVID C MILES	1st Inspection	Violation Verified	NO COMMENT
1/7/2014	DAVID C MILES	1st Inspection	Violation Verified	PERMIT B1300885
1/14/2014	DAVID C MILES	1st Inspection	Violation Verified	RESCHEDULE TO MATCH NOV
	DAVID C MILES	1st Inspection	Scheduled	Reinsp requested from insp result 93 on 01/07/14
	DAVID C MILES	1st Inspection	Scheduled	
	DAVID C MILES	1st Inspection	Scheduled	Reinsp requested from insp result 82 on 01/14/14

**Record ID: [1401782](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:****Description: PLUMBING ISSUES, WATER NOT REACHING THE 6TH FLOOR****Date Opened: 5/1/2014****Record Status: Abated****Record Status Date: 5/12/2014****Job Value:****Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
5/2/2014	Anthony Harbaugh	1st Inspection	No Entry	No access to verify.
5/12/2014	Anthony Harbaugh	1st Inspection	No Violations	Water was running at time of inspection,

**Record ID:** [1402634](#)**Address:** 584 14TH ST**APN:** 003 006901700**Unit #:****Description:** DEEMED APPROVED INSPECTION**Date Opened:** 7/10/2014**Record Status:** Closed**Record Status Date:** 8/24/2014**Job Value:****Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID:** [1503415](#)**Address:** 584 14TH ST**APN:** 003 006901700**Unit #:****Description:** Dumpster/trash receptacles in street blocking parking spaces and overflowing with trash.**Date Opened:** 9/24/2015**Record Status:** Closed**Record Status Date:** 9/24/2015**Job Value:** \$0.00**Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
	Gene Martinelli	1st Inspection	Cancelled	

**Record ID:** [1602109](#)**Address:** 584 14TH ST**APN:** 003 006901700**Unit #:****Description:** backed up floor drain in the bathroom, feces coming up out of the drain**Date Opened:** 6/9/2016**Record Status:** Non-Actionable**Record Status Date:** 6/10/2016**Job Value:** \$0.00**Requestor:**

: Cordell Thompson

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
	Wing Loo	1st Inspection	Scheduled	

**Record ID:** [1603742](#)**Address:** 584 14TH ST**APN:** 003 006901700**Unit #:****Description:** ANNUAL DEEMED APPROVED INSPECTION**Date Opened:** 9/29/2016**Record Status:** Non-Actionable**Record Status Date:** 11/15/2016**Job Value:** \$0.00**Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
11/10/2016	Wing Loo	1st Inspection	Violation Verified	see comments
	Wing Loo	1st Inspection	Cancelled	

**Record ID: [1803740](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: room numbers 204, 209, 505, 709- broken lights, heater not functioning, water leak in the bathroom-leaking toilets, damaged ceiling, no elevator, only stairs for access within the building are narrow and blighted with trash, emergency exits are locked, and there are flies coming up the bathtub.

**Date Opened: 10/12/2018****Record Status: Non-Actionable****Record Status Date: 11/1/2018****Job Value: \$0.00****Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
10/18/2018	Wing Loo	1st Inspection	Unable to Verify	

**Record ID: [9501543](#)****Address: 584 14TH ST, #700****APN: 003 006901700****Unit #: 700**

Description: TOILETS OR OVERFLOODING DOOR LOCK FALLING OFF

**Date Opened: 2/27/1995****Record Status: Closed****Record Status Date: 3/21/1995****Job Value: \$0.00****Requestor: ROBERT**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [9501564](#)****Address: 584 14TH ST, #712****APN: 003 006901700****Unit #: 712**

Description: SOMETHING IS MOVING INSIDE OF THE MATTRESS

**Date Opened: 2/27/1995****Record Status: Closed****Record Status Date: 3/6/1995****Job Value: \$0.00****Requestor: MARTHA WILLIAMS**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [9501938](#)****Address: 584 14TH ST, #306****APN: 003 006901700****Unit #: 306**

Description: TOILET DOES WORK RATS IN BATHROOMINVESTIGATED AND FOUND SEVERAL VIOLATION

**Date Opened: 3/17/1995****Record Status: Closed****Record Status Date: 7/6/1995****Job Value: \$0.00****Requestor: YVONNE JOHNSON**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [9502272](#)**

**Address: 584 14TH ST, #700****APN: 003 006901700****Unit #: 700****Description: BATHROOM SINK DOES NOT HAVE MIRROR OVER IT. BATHTUB DRAIN LEVER DOES NOT WORK.****Date Opened: 4/5/1995****Record Status: Closed****Record Status Date: 7/19/1999****Job Value: \$0.00****Requestor: ROBERT SWOOPES**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [9602231](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:****Description: HOTEL SUTTER- NO LIT EXIT SIGNS; NO FIRE DOORS ON EACH FLOOR; ROACHES, NO LID ON TRASH BINS, MOUSE & RAT TRAPS ON 2ND FL, GARBAGE STORED IN BSMT****Date Opened: 5/6/1996****Record Status: Closed****Record Status Date: 7/16/1999****Job Value: \$0.00****Requestor: JAKKEE BRYSON**

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**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [9605520](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:****Description: SUTER HOTEL: ROACHES, DIRTY IN HALLWAYS.****Date Opened: 10/8/1996****Record Status: Closed****Record Status Date: 12/26/1996****Job Value: \$0.00****Requestor: WILMA GRANT**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [9704669](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:****Description: ASSIGNED PTS NO. TO SUBSTANDARD CASE #3901. BLDG. OCCUPIED-CURRENTLY HANDLED BY TEAM. FILING CASE.****Date Opened: 6/16/1997****Record Status: Closed****Record Status Date: 6/16/1997****Job Value: \$0.00****Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [9705674](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:****Description: ELEVATOR NOT WORKING PROPERTY NOT WORKING PROPERLY - TRANSPORT GARBAGE ON ELEVATORS, NO SMOKE ALARMS, ROACHES, SINK STOPPED UP****Date Opened: 8/4/1997****Record Status: Open****Record Status Date:**

**Job Value: \$0.00****Requestor: DONALD PEOPLES**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [9707767](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:****Description: NO EMERGENCY LIGHTING IN HALLWAY;NO FIRE EXTINGUISHERS;ROACHES;NO SMOKEALARM WORKING;EARTHQUAKE DAMAGE IN BASEMENT****Date Opened: 12/8/1997****Record Status: Closed****Record Status Date: 2/18/1998****Job Value: \$0.00****Requestor: BRUCE VIDLER**

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**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [9804016](#)****Address: 584 14TH ST, #202****APN: 003 006901700****Unit #: 202****Description: SUTTER HOTEL-SINK STOP UP****Date Opened: 5/26/1998****Record Status: Open****Record Status Date:****Job Value: \$0.00****Requestor: WILLIE MATTHEWS**

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**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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7/6/1998

1st Inspection

Unable to Verify

**Record ID: [9804091](#)****Address: 584 14TH ST, ##207****APN: 003 006901700****Unit #: #207****Description: SINK IN APARTMENT IS FLOODED****Date Opened: 5/27/1998****Record Status: Open****Record Status Date:****Job Value: \$0.00****Requestor: ELTON CAMPBELL**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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7/10/1998

1st Inspection

Unable to Verify

**Record ID: [9808130](#)****Address: 584 14TH ST, ##311****APN: 003 006901700****Unit #: #311****Description: BATHROOM HAS HOLE IN CEILING, WATER IN ROOM****Date Opened: 10/21/1998****Record Status: Open****Record Status Date:****Job Value: \$0.00****Requestor: LISA JOSEY**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
10/22/1998		1st Inspection	Unable to Verify	

**Record ID: [9809590](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: OCCUPIED HOTEL, HOTEL SUTTER, PLUMBING PROBLEM, TOILET STOPAGE,ELECTRICAL PROBLEM, BROKEN WINDOW, PIGEON FEASES.

**Date Opened: 12/29/1998****Record Status: Open****Record Status Date:****Job Value: \$0.00****Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
1/4/1999		1st Inspection	Unable to Verify	

**Record ID: [9809592](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: CONSTRUCTED LAUNDRY ROOM,BUILT NEW FRONT DESK;BUILT UPSTAIRS OFFICEABOVE LAUNDRY ROOM WITHOUT PERMIT

**Date Opened: 12/29/1998****Record Status: Open****Record Status Date:****Job Value: \$0.00****Requestor:**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [9902428](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: PLUMBING FAULTY/SHOWER HAS PAINT CHIPSAND RUSTED/WINDOW NOT SILL/FOULSMELL FROM SINK TOILET BACK UP

**Date Opened: 3/29/1999****Record Status: Abated****Record Status Date: 5/20/1999****Job Value: \$0.00****Requestor: WAYNE HAYES**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
3/30/1999		1st Inspection	No Violations	
3/31/1999		1st Inspection	No Violations	
4/16/1999	PERMIT TRACKING CODE	1st Inspection	No Entry	Inspection voided 11/01/00 - complaint abated
4/16/1999		1st Inspection	No Violations	
4/19/1999		1st Inspection	No Violations	Scheduled from date specified on DAR
5/3/1999		1st Inspection	No Violations	
5/20/1999		1st Inspection	Violation Verified	Scheduled from DAR Code four weeks out
5/20/1999		1st Inspection	Violation Verified	Scheduled from DAR Code two weeks out

**Record ID: [B0004776](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: Repair dry rotted windows, shower walls, tile shower, water proof shower, install new doors in existing opening.

**Date Opened: 10/16/2000****Record Status: Expired****Record Status Date: 2/8/2002****Job Value: \$10,000.00**

**Requestor: THE RIGHT GUYS**

:

**Business Name:****License #: 584635**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
11/21/2000		ROUGH 03P	CORRECTION NOTICE	C/N TO OPEN WALLS, P&E ROUGHS

**Record ID: [B0004982](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: Install partition walls to create new dry cleaner's shop; Build new accessible restroom, staircase to second floor, Install coin-op laundry machines.

**Date Opened: 10/27/2000****Record Status: Expired****Record Status Date: 2/8/2002****Job Value: \$20,000.00****Requestor: THE RIGHT GUYS**

:

**Business Name:****License #: 584635**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
11/3/2000		FIELD CHECK 00N	APPROVED	

**Record ID: [B0302566](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: FACADE IMPROVEMENT &amp; interior remodel/repair work including new h/c ada bthrm, metal stairs. Scope includes wall parti-tions for lobby &amp; dry cleaner space; plus final B0004776

**Date Opened: 5/27/2003****Record Status: Expired****Record Status Date: 7/28/2006****Job Value: \$200,000.00****Requestor: THE RIGHT GUYS**

:

**Business Name:****License #: 584635**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
5/28/2003		FIELD CHECK 00N	APPROVED	
8/11/2003		FIELD CHECK 00N	NO ACCESS/NO PLANS	RAJ NOT ON SITE - UNABLE TO CONTACT MESSAGE ONLY
8/12/2003		FIELD CHECK 00N	APPROVED	
3/10/2004		FTG/SLAB/EMBED 01P	APPROVED	WALLS OK TO POUR
6/24/2004		ROUGH 03P	PARTIAL APPROVAL	WALL AND CEILING
7/7/2004		WALLBRD/SHINGLE 03N	PARTIAL APPROVAL	1ST FK & DEMISING WALL S/R OK
11/17/2004	STEVE J BRANDEBERRY	ROUGH 03P	APPROVED	STEEL/CONCRETE/ROG 925-933-5300
5/6/2005	STEVE J BRANDEBERRY	FINAL BUILDING 04P	NO ACCESS/NO PLANS	FINAL/RAJ 925-933-5300 RAJ NOT ON SITE
5/10/2005	STEVE J BRANDEBERRY	FINAL BUILDING 04P	CORRECTION NOTICE	SEE C/N
7/5/2005	STEVE J BRANDEBERRY	FINAL BUILDING 04P	PARTIAL APPROVAL	PARTIAL SEE REVISED C/N & JOB CARD

**Record ID: [B1202507](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: C.O. for residential hotel

**Date Opened: 7/26/2012****Record Status: Expired****Record Status Date: 2/28/2013****Job Value: \$1,001.00****Requestor: THE RIGHT GUYS**

:

**Business Name:****License #: 584635**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
7/27/2012	DAVID E VELEZ	Frame	No Status	RAJ 575 571-0048

**Record ID: [B1300885](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration.

**Date Opened: 3/8/2013****Record Status: Expired****Record Status Date: 10/13/2013****Job Value: \$900.00****Requestor: OAKLAND SUTTER HOTEL L.P.**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
3/12/2013	WILLIAM M BERGSTROM	ROUGH 03P	APPROVED	C/N
3/14/2013	WILLIAM M BERGSTROM	FINAL 04M	INSP CANCELLED	CANCEL
3/28/2013		ROUGH 03P	CORRECTION NOTICE	CN- LAUNDRY NEEDS 1 HR RATING

**Record ID: [B1400264](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration. Renew expired permit #B1300885.

**Date Opened: 1/24/2014****Record Status: Final****Record Status Date: 5/12/2015****Job Value: \$1,000.00****Requestor: OAKLAND SUTTER HOTEL L.P.**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
7/22/2014	Dave Velez	Frame	Partial	Need to complete shaft frame and exterior sheet rock.
8/5/2014	Dave Velez	Frame	Not Pass	Need to complete exterior sheetrock on shaft. Need to pre-fill gaps in sheet rock.
8/12/2014	Dave Velez	Frame	Partial	Shaft frame and outer layer of sheet rock ok
8/15/2014	Ken Palmer	Frame	Partial	Interior layer gyp ok for dryer vent shaft,access opening to be completed after ducts inspected
11/25/2014	Steve Brandeberry	Final Building	Not Pass	Date: 11/25/2014 Need 1 hour rated door in lobby opening for new laundry room In existing un- sprinkled mid rise bldg not required by stupid plan check done without a field check. See job card notes.
5/12/2015	Steve Brandeberry	Final Building	Pass	Date: 5/12/2015 -One hour door not required by plans has been installed. -Final okay.
		Frame	Pending	

**Record ID: [B1804834](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: Interior and exterior renovations of 8-story building with basement and mezzanine to add private bathrooms to each unit, add communal kitchen to floors 2 through 8, remove a rooming unit on floors 2 through 7 (6 total); convert a dwelling unit into 6 rooming units on floor 8; at existing hotel (SRO).

**Date Opened: 11/30/2018****Record Status: On Hold****Record Status Date: 5/6/2019****Job Value: \$4,500,000.00****Requestor: Sandra Chow-LOA**

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**Business Name: Stanton Architecture****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [DET160127](#)****Address: 584 14TH ST****APN: 003 006901700**

Unit #:  
 Description: Zoning Determination Letter  
**Date Opened: 10/6/2016**  
**Record Status: Complete**  
**Record Status Date: 10/6/2016**  
**Job Value: \$0.00**  
**Requestor:**  
 : Nick Baldwin  
**Business Name:**  
**License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [DET190031](#)**

**Address: 584 14TH ST**  
**APN: 003 006901700**

Unit #:  
 Description: Residential Hotel Statement of Exemption  
**Date Opened: 4/2/2019**  
**Record Status: Under Review**  
**Record Status Date: 4/12/2019**  
**Job Value: \$0.00**  
**Requestor:**  
 : Alexis Pelosi  
**Business Name: The Pelosi Law Group**  
**License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [DRX120849](#)**

**Address: 584 14TH ST**  
**APN: 003 006901700**

Unit #:  
 Description: Following inspector's suggestion to add exterior supportive brackets grease duct  
**Date Opened: 8/7/2012**  
**Record Status: TBD**  
**Record Status Date:**  
**Job Value: \$0.00**  
**Requestor: RAJ SINGH**  
 :  
**Business Name:**  
**License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [DRX182227](#)**

**Address: 584 14TH ST**  
**APN: 003 006901700**

Unit #:  
 Description: Interior and exterior renovations of 8-story building with basement and mezzanine to add private bathrooms to each unit, add communal kitchen to floors 2 through 8, remove a rooming unit on floors 2 through 7 (6 total); convert dwelling unit 6 rooming units on floor 8; keep existing number of rooming units (102); exterior changes (see plans) - restore ground floor storefront on 14th Street to match existing façades on Jefferson Street; remove fire escape if no longer functional, remove doors and replace with wood, double-hung windows with wood trim to match other windows; windows on interior side will have vent installed on upper portion but sash shall remain wood with lower sash with same dimension as other windows; Residential Hotel Moratorium Exception Request GRANTED on 11/21/2018 (ZW1801160)

**Date Opened: 11/14/2018**  
**Record Status: Approved**  
**Record Status Date: 11/27/2018**  
**Job Value: \$0.00**  
**Requestor: Sandra Chow**

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**Business Name: Stanton Architecture**  
**License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [DS050058](#)**

**Address: 584 14TH ST**  
**APN: 003 006901700**

Unit #:  
 Description: New sign for JJ's Fish restaurant.  
**Date Opened: 6/17/2005**  
**Record Status: Approved**

**Record Status Date: 6/17/2005****Job Value: \$0.00****Requestor: RON BERNSTEIN**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [DS130148](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: Small project design review for new sign (less than 5sf)

**Date Opened: 6/6/2013****Record Status: Approved****Record Status Date: 6/6/2013****Job Value: \$0.00****Requestor: REBEKAH DONOVAN**

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**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [E0003614](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: Electrical for repairs Related electrical repairs for (e) hotel common area bathrms

**Date Opened: 10/16/2000****Record Status: Expired****Record Status Date: 2/8/2002****Job Value: \$0.00****Requestor: THE RIGHT GUYS**

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**Business Name:****License #: 584635**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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12/5/2000

ROUGH 03P

INSP CANCELLED

CANCEL

**Record ID: [E0302774](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: Electrical for interior remodel. 5 receptacles.

**Date Opened: 7/29/2003****Record Status: Expired****Record Status Date: 12/28/2004****Job Value: \$0.00****Requestor: THE RIGHT GUYS**

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**Business Name:****License #: 584635**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [E1300722](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration.

**Date Opened: 3/8/2013****Record Status: Expired****Record Status Date: 10/13/2013****Job Value: \$0.00****Requestor: OAKLAND SUTTER HOTEL L.P.**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
3/12/2013	JOEL C GARCIA	ROUGH 03P	CORRECTION NOTICE	C/N
3/28/2013		ROUGH 03P	PARTIAL APPROVAL	ROUGH LESS BREAKER & LABELS

**Record ID: [E1300723](#)**

Address: 584 14TH ST

APN: 003 006901700

Unit #:

Description: Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration.

Date Opened: 3/8/2013

Record Status: Withdraw

Record Status Date: 3/8/2013

Job Value: \$0.00

Requestor: OAKLAND SUTTER HOTEL L.P.

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Business Name:

License #:

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [E1400244](#)**

Address: 584 14TH ST

APN: 003 006901700

Unit #:

Description: Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration. Renew expired permit #E1300722.

Date Opened: 1/24/2014

Record Status: Final

Record Status Date: 7/1/2014

Job Value: \$0.00

Requestor: OAKLAND SUTTER HOTEL L.P.

:

Business Name:

License #:

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
7/1/2014	Joel Garcia	Final Electrical	Pass	Final OK. Work consists of 2 circuits and 2 receptacles
	Joel Garcia	Frame	Cancelled	

**Record ID: [E1900116](#)**

Address: 584 14TH ST

APN: 003 006901700

Unit #:

Description: Electrical/ Interior and exterior renovations of 8-story building with basement and mezzanine to add private bathrooms to each unit, add communal kitchen to floors 2 through 8, remove a rooming unit on floors 2 through 7 (6 total); convert a dwelling unit into 6 rooming units on floor 8; at existing hotel (SRO).

Date Opened: 1/8/2019

Record Status: On Hold

Record Status Date: 2/28/2019

Job Value: \$0.00

Requestor: Mark Robinson

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Business Name: Stanton Architecture

License #:

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [E9600230](#)**

Address: 584 14TH ST

APN: 003 006901700

Unit #:

Description: Change fuses to circuit breakers in three subpanels.

Date Opened: 1/25/1996

Record Status: Final

Record Status Date: 3/3/1997

Job Value: \$0.00

Requestor: THE RIGHT GUYS

:

Business Name:

License #: 584635

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
2/14/1996		FINAL ELECTRICAL 04P	INSP CANCELLED	CANCEL

2/16/1996	FINAL ELECTRICAL 04P	CORRECTION NOTICE	C/N
3/6/1996	FINAL ELECTRICAL 04P	CORRECTION NOTICE	C/N
10/30/1996	ROUGH 03P	INSP CANCELLED	CANCEL
2/3/1997	FINAL ELECTRICAL 04P	CORRECTION NOTICE	C/N
3/3/1997	FINAL ELECTRICAL 04P	APPROVED	FINAL OK

**Record ID: [FDB19-00839](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description:

**Date Opened: 4/24/2019****Record Status:****Record Status Date:****Job Value: \$0.00****Requestor:**

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**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [M0501060](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: Mechanical - bath exhaust fan

**Date Opened: 6/3/2005****Record Status: Expired****Record Status Date: 4/21/2006****Job Value: \$0.00****Requestor: THE RIGHT GUYS**

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**Business Name:****License #: 584635**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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6/30/2005		FINAL MECHANICAL 04P	INSP CANCELLED	SEE JOB CARD
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**Record ID: [M1400275](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: Mechanical-Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration. Renew expired permit #B1300885.

**Date Opened: 4/23/2014****Record Status: Expired****Record Status Date: 12/12/2015****Job Value: \$0.00****Requestor: OAKLAND SUTTER HOTEL L.P.**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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5/19/2014	David Carrillo	Frame	Not Pass	Hand written correction for laundry room. Needs to follow duct installation per pages #15-17 of manual. Dryer duct to be in one hour shaft. And make up air for a total of 800 cfm.
7/8/2014	William Moriarty	Frame	Not Pass	Previous building inspection results indicate that laundry room is 1 hour rated and exhaust, ventilation, and make-up air would require a 1 hour rated shaft to extend to the roof underside. Duct/s are not shafted and no ventilation to the space is installed.
8/12/2014	William Moriarty	Frame	Cancelled	
9/26/2014	David Carrillo	Frame	Pass	Dryer duct in one hour shaft and fire damper o.k. Three foot candy cane on exhaust outlet to come.
11/25/2014	William Moriarty	M86 FINAL MECHANICAL	Pass	Final mechanical as in-office approval.
		M86 FINAL	Pending	

MECHANICAL

Final Mechanical

Pending

**Record ID: [M1900102](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: Mechanical / Interior and exterior renovations of 8-story building with basement and mezzanine to add private bathrooms to each unit, add communal kitchen to floors 2 through 8, remove a rooming unit on floors 2 through 7 (6 total); convert a dwelling unit into 6 rooming units on floor 8; at existing hotel (SRO).

**Date Opened: 1/8/2019****Record Status: On Hold****Record Status Date: 4/16/2019****Job Value: \$0.00****Requestor: Mark Robinson**

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**Business Name: Stanton Architecture****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [OB040021](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: FACADE IMPROVEMENT &amp; interior remodel/repair work including new h/c ada bthrm, metal stairs. Scope includes wall parti- Reserve meters on Jefferson J-1402; -1404

**Date Opened: 1/12/2004****Record Status: Permit Issued****Record Status Date: 1/12/2004****Job Value: \$0.00****Requestor: THE RIGHT GUYS**

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**Business Name:****License #: 584635**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [OB040493](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: reserve for construction per approved traffic plan include meters 14-574;-572;-568

**Date Opened: 8/16/2004****Record Status: Permit Issued****Record Status Date: 8/16/2004****Job Value: \$0.00****Requestor: BIGGE CRANE**

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**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [OB040494](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: reserve meters 14-574;-572;-568

**Date Opened: 8/16/2004****Record Status: Permit Issued****Record Status Date: 8/16/2004****Job Value: \$0.00****Requestor: BIGGE CRANE**

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**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [P0002748](#)****Address: 584 14TH ST****APN: 003 006901700**

**Unit #:**

Description: Plumbing for repairs Related plumbing repairs for (e) hotel common area bathrms

**Date Opened: 10/16/2000****Record Status: Expired****Record Status Date: 2/8/2002****Job Value: \$0.00****Requestor: THE RIGHT GUYS**

:

**Business Name:****License #: 584635**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
12/4/2000		ROUGH 03P	INSP CANCELLED	CANCELLED NPIF

**Record ID: [P1300584](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration.

**Date Opened: 3/8/2013****Record Status: Expired****Record Status Date: 10/13/2013****Job Value: \$0.00****Requestor: OAKLAND SUTTER HOTEL L.P.**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
3/12/2013	WILLIAM M MORIARTY	GAS TEST 04N	NO PROGRESS	GAS TEST REQUIRED / LAUNDRY ABS & INCORRECT
3/28/2013	WILLIAM M MORIARTY	ROUGH 03P	CORRECTION NOTICE	C/N ON ABS DWV, GAS CALC & TEST
3/28/2013	WILLIAM M MORIARTY	ROUGH 03P	CORRECTION NOTICE	C/N ON ABS DWV, GAS CALC & TEST

**Record ID: [P1400191](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration. Renew expired permit #P1300584.

**Date Opened: 1/24/2014****Record Status: Final****Record Status Date: 11/30/2014****Job Value: \$0.00****Requestor: OAKLAND SUTTER HOTEL L.P.**

:

**Business Name:****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
3/27/2014	William Moriarty	P32 WATER PIPING/SERVICE	Pass	Plumbing work under this scope of work is completed. ABS pipe removed and replaced with CI pipe. Found mechanical corrections will be required for dryer exhaust, ceiling exhaust ducting, obtain a mechanical permit and have corrections inspected.
8/12/2014	William Moriarty	Frame	Cancelled	
11/30/2014	William Moriarty	Final Plumbing	Pass	Final plumbing inspections completed.

**Record ID: [P1900084](#)****Address: 584 14TH ST****APN: 003 006901700****Unit #:**

Description: Plumbing/ Interior and exterior renovations of 8-story building with basement and mezzanine to add private bathrooms to each unit, add communal kitchen to floors 2 through 8, remove a rooming unit on floors 2 through 7 (6 total); convert a dwelling unit into 6 rooming units on floor 8; at existing hotel (SRO).

**Date Opened: 1/8/2019****Record Status: On Hold****Record Status Date: 4/16/2019****Job Value: \$0.00****Requestor: Mark Robinson**

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**Business Name: Stanton Architecture****License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [SL1702069](#)**

Address: 584 14TH ST

APN: 003 006901700

Unit #:

Description: Trenchless Sewer Lateral W723701314

Date Opened: 8/25/2017

Record Status: Final

Record Status Date: 10/19/2017

Job Value: \$0.00

Requestor: Gregory Martin

: Gregory Martin

Business Name:

License #: 672250

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [ZC011662](#)**

Address: 584 14TH ST

APN: 003 006901700

Unit #:

Description: Import/export business. Only phone calls at home. No storage at home.

Date Opened: 8/13/2001

Record Status: Approved

Record Status Date: 8/13/2001

Job Value: \$0.00

Requestor: JACQUELINE E. BAILEY

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Business Name:

License #:

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [ZC031782](#)**

Address: 584 14TH ST

APN: 003 006901700

Unit #:

Description: Restaurant (General Food Sales Commercial Activity).

Date Opened: 6/19/2003

Record Status: Approved

Record Status Date: 6/19/2003

Job Value: \$0.00

Requestor: BESSERY HASSAN

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Business Name:

License #:

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [ZC062656](#)**

Address: 584 14TH ST, #603

APN: 003 006901700

Unit #: 603

Description: Home office for handyman.

Date Opened: 10/10/2006

Record Status: Approved

Record Status Date: 10/10/2006

Job Value: \$0.00

Requestor: ARCHIE GATES

:

Business Name:

License #:

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID: [ZC141558](#)**

Address: 584 14TH ST

APN: 003 006901700

Unit #:

Description: Home office for community service support information center. (Unit #515)

**Date Opened:** 6/24/2014  
**Record Status:** Approved  
**Record Status Date:** 6/24/2014  
**Job Value:** \$0.00  
**Requestor:**  
: Anita Loche  
**Business Name:**  
**License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID:** [ZP170086](#)

**Address:** 584 14TH ST

**APN:** 003 006901700

**Unit #:**

**Description:** To review interior alterations to existing transient hotel and site improvements/changes in the PROW.

**Date Opened:** 9/18/2017  
**Record Status:** Complete  
**Record Status Date:** 2/11/2019

**Job Value:** \$0.00

**Requestor:**  
: SANDRA CHOW /ERIC GONZALEZ STANTON ARCHITECTURE  
**Business Name:**  
**License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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**Record ID:** [ZW1801160](#)

**Address:** 584 14TH ST

**APN:** 003 006901700

**Unit #:**

**Description:** SRO Moratorium Exception Determination GRANTED on 11/21/2018 for the following scope of work (see attached documents): SELECTIVE REMODEL OF AN EXISTING 8 STORY RESIDENTIAL HOTEL BUILDING WITH BASEMENT AND MEZZANINE. THE SPECIFIC WORK WILL INCLUDE RECONFIGURING THE EXISTING BASEMENT, GROUND LEVEL, MEZZANINE, AND PENTHOUSE FLOORS. LEVELS 2 - 7 WILL HAVE PRIVATE BATHROOMS ADDED TO THE EXISTING ROOMS AND COMMUNAL KITCHENS ADDED ON EACH FLOOR. A ROOMING UNIT WILL BE REMOVED FROM FLOORS 2 THRU 7 (6 TOTAL); AND A REGULAR DWELLING UNIT ON FLOOR 8 WILL BE CONVERTED TO 6 NEW ROOMING UNITS WITH A COMMUNAL KITCHEN; THE BUILDING SYSTEMS AND LIFE SAFETY WILL BE UPGRADED. NEW STAIRS, ELEVATOR, AND FIRE SPRINKLERS WILL ALSO BE ADDED. THIS RENOVATION WILL NOT REDUCE THE NUMBER OF UNITS AND WILL REMODEL RETAIL TENANT SPACES ALONG 14TH AND JEFFERSON STREET.

**Date Opened:** 11/26/2018  
**Record Status:** Complete  
**Record Status Date:** 11/26/2018

**Job Value:**

**Requestor:** Sandra Chow

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**Business Name:** Stanton Architecture

**License #:**

Inspection Date	Inspector Name	Inspection Type	Status / Result	Result Comments
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### Permit/Complaint History ≈ 1987 - Current

Address			Record #	Status	Filed Date	Status Date	Description
1414	JEFFERSON	ST	1403222	Non-Actionable	8/27/2014	9/26/2014	Trash dumpsters left out in public view 7 days a week.
1414	JEFFERSON	ST	S1300095	Final	6/6/2013	7/8/2013	Install 1 blade sign (non-illuminated)
1410	JEFFERSON	ST	DS130148	Approved	6/6/2013	6/6/2013	Small project design review for new sign (less than 5sf)
1410	JEFFERSON	ST	ZC130365	Approved	2/13/2013	2/13/2013	restaurant = outright permitted
1410	JEFFERSON	ST	OB120256	Permit Issued	3/20/2012	3/20/2012	Reserve meters for film per Film Office map. See map. No impact on traffic lane or sidewalk allowed. Weekend non-metered film rate.
1410	JEFFERSON	ST	DS050052	Approved	6/9/2005	6/9/2005	Small design Review to install 14" x 19'-6" indiviual letter signs for new restaurant (la cucina Italiana)
1410	JEFFERSON	ST	S0500112	Final	6/9/2005	2/10/2006	install new letter sign for resturant,"La Cucina Italiana"
1410	JEFFERSON	ST	OB050119	Permit Issued	2/1/2005	2/1/2005	reserve meters for film J-1502 thru -1508 plus -1409 thru - 1414 on Jefferson 7 total
1410	JEFFERSON	ST	1 FL E0404571	Final	12/13/2004	12/15/2005	Electrical/Tenant Improvement for a new restaurant.
1410	JEFFERSON	ST	1 FL P0403617	Final	12/13/2004	12/13/2005	Plumbing/Tenant Improvement for a new restaurant.
1410	JEFFERSON	ST	1 FL M0401862	Final	9/23/2004	12/27/2005	Tenant Improvement for a new restaurant. Install new commer cial hood.
1410	JEFFERSON	ST	1 FL B0404295	Final	9/23/2004	1/4/2006	Tenant Improvement for a new restaurant.
1410	JEFFERSON	ST	ZC042474	Approved	8/25/2004	8/25/2004	Zoning clearance for new restaurant
1414	JEFFERSON	ST	OB020603	Permit Issued	9/12/2002	9/12/2002	FILMING
1400	JEFFERSON	ST	X0200760	Application Approved	7/25/2002		upgrade downtown oakland circuits
1402	JEFFERSON	ST	OB000010	Final	1/5/2000	1/19/2000	RESERVE PARKING METER NOS. J-1402,1404,1406,1408,1410,1412, 1414,1416, J-1502,1504,1506,1508,1510,1512,1514,1516
1400	JEFFERSON	ST	OB990399	Final	6/25/1999	7/2/1999	park film production vehicles meter nos. J-1309,11,13,15, 17,1402,3,4,5,6,7,8,10,12,15 & 16, 14-560,2,4,6,8,72,& 74
1400	JEFFERSON	ST	OB990326	Final	6/7/1999	6/21/1999	reserve meter nos:14-560,562,564,566,568. j-1301 to 1317, 9 meters. 14-601 to 14-623, 12 meters. for filming purposes.
1400	JEFFERSON	ST	X9701456	Permit Issued	12/10/1997	12/10/1997	trenching to install electrical conduits.
1414	JEFFERSON	ST	P9300269	Final	1/25/1993	10/13/1993	METER RELOCATION
1414	JEFFERSON	ST	B8800078	Final	1/7/1988	3/2/1988	CUSTOM BUILD & INSTALL A NEW CANVAS AWNING

### Permit/Complaint History ≈ 1987 - Current

Address	Record #	Status	Filed Date	Status Date	Description



## Address History (Beginning ≈ 1987)

584, 14TH, ST

APN	Unit #	Record ID	Date Opened ▼	Status	Status Date	Description
003 006901700		<a href="#">FDB19-00839</a>	4/24/2019			
003 006901700		<a href="#">DET190031</a>	4/2/2019	Under Review	4/12/2019 12:00:00 AM	Residential Hotel Statement of Exemption
003 006901700		<a href="#">P1900084</a>	1/8/2019	On Hold	4/16/2019 12:00:00 AM	Plumbing/ Interior and exterior renovations of 8-story building with basement and mezzanine to add private bathrooms to each unit, add communal kitchen to floors 2 through 8, remove a rooming unit on floors 2 through 7 (6 total); convert a dwelling unit into 6 rooming units on floor 8; at existing hotel (SRO).
003 006901700		<a href="#">E1900116</a>	1/8/2019	On Hold	2/28/2019 12:00:00 AM	Electrical/ Interior and exterior renovations of 8-story building with basement and mezzanine to add private bathrooms to each unit, add communal kitchen to floors 2 through 8, remove a rooming unit on floors 2 through 7 (6 total); convert a dwelling unit into 6 rooming units on floor 8; at existing hotel (SRO).
003 006901700		<a href="#">M1900102</a>	1/8/2019	On Hold	4/16/2019 12:00:00 AM	Mechanical/ / Interior and exterior renovations of 8-story building with basement and mezzanine to add private bathrooms to each unit, add communal kitchen to floors 2 through 8, remove a rooming unit on floors 2 through 7 (6 total); convert a dwelling unit into 6 rooming units on floor 8; at existing hotel (SRO).
003 006901700		<a href="#">B1804834</a>	11/30/2018	On Hold	5/6/2019 12:00:00 AM	Interior and exterior renovations of 8-story building with basement and mezzanine to add private bathrooms to each unit, add communal kitchen to floors 2 through 8, remove a rooming unit on floors 2 through 7 (6 total); convert a dwelling unit into 6 rooming units on floor 8; at existing hotel (SRO).
003 006901700		<a href="#">ZW1801160</a>	11/26/2018	Complete	11/26/2018 12:00:00 AM	SRO Moratorium Exception Determination GRANTED on 11/21/2018 for the following scope of work (see attached documents): SELECTIVE REMODEL OF AN EXISTING 8 STORY RESIDENTIAL HOTEL BUILDING WITH BASEMENT AND MEZZANINE. THE SPECIFIC WORK WILL INCLUDE RECONFIGURING THE EXISTING BASEMENT, GROUND LEVEL, MEZZANINE, AND PENTHOUSE FLOORS. LEVELS 2 - 7 WILL HAVE PRIVATE BATHROOMS ADDED TO THE EXISTING ROOMS AND COMMUNAL KITCHENS ADDED ON EACH FLOOR. A ROOMING UNIT WILL BE REMOVED FROM FLOORS 2 THRU 7 (6 TOTAL); AND A REGULAR DWELLING UNIT ON FLOOR 8 WILL BE CONVERTED TO 6 NEW ROOMING UNITS WITH A COMMUNAL KITCHEN; THE BUILDING SYSTEMS AND LIFE SAFETY WILL BE UPGRADED. NEW STAIRS, ELEVATOR, AND FIRE SPRINKLERS WILL ALSO BE ADDED. THIS RENOVATION WILL NOT REDUCE THE NUMBER OF UNITS AND WILL REMODEL RETAIL TENANT SPACES ALONG 14TH AND JEFFERSON STREET.

## 584, 14TH, ST

APN	Unit #	Record ID	Date Opened ▼	Status	Status Date	Description
003 006901700		<a href="#">DRX182227</a>	11/14/2018	Approved	11/27/2018 12:00:00 AM	Interior and exterior renovations of 8-story building with basement and mezzanine to add private bathrooms to each unit, add communal kitchen to floors 2 through 8, remove a rooming unit on floors 2 through 7 (6 total); convert dwelling unit 6 rooming units on floor 8; keep existing number of rooming units (102); exterior changes (see plans) - restore ground floor storefront on 14th Street to match existing façades on Jefferson Street; remove fire escape if no longer functional, remove doors and replace with wood, double-hung windows with wood trim to match other windows; windows on interior side will have vent installed on upper portion but sash shall remain wood with lower sash with same dimension as other windows; Residential Hotel Moratorium Exception Request GRANTED on 11/21/2018 (ZW1801160)
003 006901700		<a href="#">1803740</a>	10/12/2018	Non-Actionable	11/1/2018 12:00:00 AM	room numbers 204, 209, 505, 709- broken lights, heater not functioning, water leak in the bathroom-leaking toilets, damaged ceiling, no elevator, only stairs for access within the building are narrow and blighted with trash, emergency exits are locked, and there are flies coming up the bathtub.
003 006901700		<a href="#">ZP170086</a>	9/18/2017	Complete	2/11/2019 12:00:00 AM	To review interior alterations to existing transient hotel and site improvements/changes in the PROW.
003 006901700		<a href="#">SL1702069</a>	8/25/2017	Final	10/19/2017 12:00:00 AM	Trenchless Sewer Lateral W723701314
003 006901700		<a href="#">DET160127</a>	10/6/2016	Complete	10/6/2016 12:00:00 AM	Zoning Determination Letter
003 006901700		<a href="#">1603742</a>	9/29/2016	Non-Actionable	11/15/2016 12:00:00 AM	ANNUAL DEEMED APPROVED INSPECTION
003 006901700		<a href="#">1602109</a>	6/9/2016	Non-Actionable	6/10/2016 12:00:00 AM	backed up floor drain in the bathroom, feces coming up out of the drain
003 006901700		<a href="#">1503415</a>	9/24/2015	Closed	9/24/2015 12:00:00 AM	Dumpster/trash receptacles in street blocking parking spaces and overflowing with trash.
003 006901700		<a href="#">1402634</a>	7/10/2014	Closed	8/24/2014 12:00:00 AM	DEEMED APPROVED INSPECTION
003 006901700		<a href="#">ZC141558</a>	6/24/2014	Approved	6/24/2014 12:00:00 AM	Home office for community service support information center. (Unit #515)
003 006901700		<a href="#">1401782</a>	5/1/2014	Abated	5/12/2014 12:00:00 AM	PLUMBING ISSUES, WATER NOT REACHING THE 6TH FLOOR
003 006901700		<a href="#">M1400275</a>	4/23/2014	Expired	12/12/2015 1:13:11 AM	Mechanical-Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration. Renew expired permit #B1300885.
003 006901700		<a href="#">B1400264</a>	1/24/2014	Final	5/12/2015 12:00:00 AM	Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration. Renew expired permit #B1300885.
003 006901700		<a href="#">P1400191</a>	1/24/2014	Final	11/30/2014 12:00:00 AM	Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration. Renew expired permit #P1300584.
003 006901700		<a href="#">E1400244</a>	1/24/2014	Final	7/1/2014 12:00:00 AM	Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration. Renew expired permit #E1300722.
003 006901700		<a href="#">DS130148</a>	6/6/2013	Approved	6/6/2013 12:00:00 AM	Small project design review for new sign (less than 5sf)
003 006901700		<a href="#">E1300723</a>	3/8/2013	Withdraw	3/8/2013 12:00:00 AM	Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration.
003 006901700		<a href="#">B1300885</a>	3/8/2013	Expired	10/13/2013 12:00:00 AM	Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration.

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## 584, 14TH, ST

APN	Unit #	Record ID	Date Opened	Status	Status Date	Description
003 006901700		<a href="#">P1300584</a>	3/8/2013	Expired	10/13/2013 12:00:00 AM	Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration.
003 006901700		<a href="#">E1300722</a>	3/8/2013	Expired	10/13/2013 12:00:00 AM	Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration.
003 006901700		<a href="#">1301188</a>	3/4/2013	Violation Verified		REMODELING LAUNDRY ROOM: MODIFIED CEILING AND GAS LINES; NEW DRYERS
003 006901700		<a href="#">1205712</a>	10/25/2012	Abated	11/14/2012 12:00:00 AM	ANNUAL DEEMED APPROVED HOTEL/MOTEL INSPECTION
003 006901700		<a href="#">DRX120849</a>	8/7/2012	TBD		Following inspector's suggestion to add exterior supportive brackets grease duct
003 006901700		<a href="#">1203732</a>	7/27/2012	Open		CREATED TO RELEASE THE DECLARATION OF SUBSTANDARD PUBLIC NUISANCEDOCUMENT RECORDED 04/22/1994 RECORDATION # 94158998
003 006901700		<a href="#">B1202507</a>	7/26/2012	Expired	2/28/2013 12:00:00 AM	C.O. for residential hotel
003 006901700	307	<a href="#">1203568</a>	7/20/2012	Abated	8/14/2012 12:00:00 AM	WINDOWS DO NOT LOCK; ELECTRICITY IS FAULTY; ISSUES WITH TRASH BACKINGUP IN TRASH SHUTE; BED BUGS
003 006901700	317	<a href="#">1202924</a>	6/18/2012	Notice to Proceed	8/14/2012 12:00:00 AM	CARPET IS DIRTY & HAS ODORS, GARBAGE ROOM HAS GARBAGE OVERFLOWING
003 006901700	206	<a href="#">1201243</a>	3/26/2012	Open		WINDOWS DO NOT LOCK; ELECTRICITY IS FAULTY; ISSUES WITH TRASH BACKINGUP IN TRASH SHUTE; BED BUGS
003 006901700	206	<a href="#">1200642</a>	2/22/2012	Abated	3/5/2012 12:00:00 AM	WINDOWS DO NOT LOCK; ELECTRICITY IS FAULTY; ISSUES WITH TRASH BACKINGUP IN TRASH SHUTE
003 006901700	203	<a href="#">1200358</a>	1/31/2012	Abated	7/27/2012 12:00:00 AM	ELECTRICAL ISSUES INSIDE UNIT
003 006901700	408	<a href="#">1105156</a>	7/15/2011	Abated	7/19/2011 12:00:00 AM	TENANT COMPLAINT- POOR WATER PRESSURE, RAT HOLES IN UNIT.
003 006901700	604	<a href="#">1103196</a>	4/29/2011	Abated	6/16/2011 12:00:00 AM	TENANT COMPLAINT- WEAK ELECTRICITY IN UNIT, PLUMBING PROBLEMS, BROKENHANDRAILS IN STAIRWAYS, FRAMES MISSING ON WINDOWS
003 006901700		<a href="#">0806953</a>	9/26/2008	No Violation Found		SUTTER HOTEL- ROOM 400- THE HOT WATER WILL NOT TURN OFF.
003 006901700	504	<a href="#">0802917</a>	4/25/2008	No Violation Found		TENANT COMPLAINT. FAULTY WIRING.
003 006901700		<a href="#">0801137</a>	2/14/2008	Abated	4/7/2008 12:00:00 AM	ELEVATOR BROKEN AT HOTEL/FAULTY WIRING IN ROOM 504/LOW WATER PRESSURE
003 006901700	603	<a href="#">ZC062656</a>	10/10/2006	Approved	10/10/2006 12:00:00 AM	Home office for handyman.
003 006901700		<a href="#">0606066</a>	8/23/2006	Abated	9/26/2006 12:00:00 AM	RESIDENTIAL HOTEL; EXEMPT FROM DEEMED APPROVED HOTEL/MOTEL ANNUALINSPECTIONS; REMOVE FROM LIST.
003 006901700		<a href="#">0503005</a>	6/27/2005	Closed	7/18/2012 12:00:00 AM	ANNUAL DEEMED APPROVED HOTEL/MOTEL INSPECTION - SUTTER HOTELCONTACT: MGR. 510-451-2555.

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## 584, 14TH, ST

APN	Unit #	Record ID	Date Opened	Status	Status Date	Description
003 006901700		<a href="#">DS050058</a>	6/17/2005	Approved	6/17/2005 12:00:00 AM	New sign for JJ's Fish restaurant.
003 006901700		<a href="#">M0501060</a>	6/3/2005	Expired	4/21/2006 12:00:00 AM	Mechanical - bath exhaust fan
003 006901700		<a href="#">0502376</a>	6/1/2005	Open		BATHROOMS NOT WORKING PROPERLY, FIREHOSES MISSING, STRUCTURAL PROBLEMSHEATER NOT WORKING.
003 006901700	411	<a href="#">0405996</a>	11/30/2004	Abated	12/3/2004 12:00:00 AM	SUTTER HOTEL - WATER DOES NOT WORK, MICE, & ELECTRICAL PROBLEMC
003 006901700		<a href="#">OB040493</a>	8/16/2004	Permit Issued	8/16/2004 12:00:00 AM	reserve for construction per approved traffic plan include meters 14-574;-572;-568
003 006901700		<a href="#">OB040494</a>	8/16/2004	Permit Issued	8/16/2004 12:00:00 AM	reserve meters 14-574;-572;-568
003 006901700	401	<a href="#">0402557</a>	5/14/2004	Intake - Completed		DIRT UNDER THE BASEBOARD OF THE SINK, CHIPPED LEAD PAINT, NO CARPET ISMOUNTED & FILTHY. CERAMIC IS CHIPPED IN THE SINK, RUSTY WATER.
003 006901700		<a href="#">OB040021</a>	1/12/2004	Permit Issued	1/12/2004 12:00:00 AM	FACADE IMPROVEMENT & interior remodel/repair work including new h/c ada bthrm, metal stairs. Scope includes wall parti- Reserve meters on Jefferson J-1402; -1404
003 006901700		<a href="#">0305672</a>	8/12/2003	Abated	8/13/2003 12:00:00 AM	ELEVATOR IS NOT WORKING
003 006901700		<a href="#">E0302774</a>	7/29/2003	Expired	12/28/2004 12:00:00 AM	Electrical for interior remodel. 5 receptacles.
003 006901700		<a href="#">ZC031782</a>	6/19/2003	Approved	6/19/2003 12:00:00 AM	Restaurant (General Food Sales Commercial Activity).
003 006901700		<a href="#">B0302566</a>	5/27/2003	Expired	7/28/2006 12:00:00 AM	FACADE IMPROVEMENT & interior remodel/repair work including new h/c ada bthrm, metal stairs. Scope includes wall parti- tions for lobby & dry cleaner space; plus final B0004776
003 006901700		<a href="#">0202037</a>	3/13/2002	Open		ANNUAL HOTEL/MOTEL INSPECTION
003 006901700		<a href="#">ZC011662</a>	8/13/2001	Approved	8/13/2001 12:00:00 AM	Import/export business. Only phone calls at home. No storage at home.
003 006901700	#303	<a href="#">0105970</a>	7/12/2001	Abated	9/17/2002 12:00:00 AM	RAT'S COMING OUT THROUGH THE WALLS, ROACHES.
003 006901700	302	<a href="#">0010421</a>	11/9/2000	Abated	11/10/2000 12:00:00 AM	RAT INFESTATION - HOT WATER IS NOT ADEQUATE
003 006901700		<a href="#">B0004982</a>	10/27/2000	Expired	2/8/2002 12:00:00 AM	Install partition walls to create new dry cleaner's shop; Build new accessible restroom, staircase to second floor, Install coin-op laundry machines.
003 006901700		<a href="#">0009814</a>	10/17/2000	Violation Verified		584,586,588-14TH ST;NEW SPACE 586-DRY CLEANING BUSINESS INSTALLEDWITHOUT REQUIRED ZONING&BULDING,PLUMB,MECH PMT;NEW WOODEN STAIRS SPACE
003 006901700		<a href="#">B0004776</a>	10/16/2000	Expired	2/8/2002 12:00:00 AM	Repair dry rotted windows, shower walls, tile shower, water proof shower, install new doors in existing opening.
003 006901700		<a href="#">P0002748</a>	10/16/2000	Expired	2/8/2002 12:00:00 AM	Plumbing for repairs Related plumbing repairs for (e) hotel common area bathrms
003 006901700		<a href="#">E0003614</a>	10/16/2000	Expired	2/8/2002 12:00:00 AM	Electrical for repairs Related electrical repairs for (e) hotel common area bathrms

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## 584, 14TH, ST

APN	Unit #	Record ID	Date Opened	Status	Status Date	Description
003 006901700		<a href="#">0009157</a>	9/19/2000	Abated	10/20/2000 12:00:00 AM	FIRE ESCAPE IS NOT OPERABLE ON 8TH FLOOR-GARBAGE BEING STORED INBASEMENT-POSSIBLE BUIDLING WORK W/O PERMIT
003 006901700		<a href="#">0002306</a>	3/14/2000	Open		ANNUAL INSPECTION - HOUSING KEEPING STANDARDSSUTTER HOTEL
003 006901700		<a href="#">0000827</a>	1/28/2000	Open		LIGHTS GO OUT/LEAKS IN CEILING/ELEVATOR MAY NOT BE UP TOCODE/ROACHES
003 006901700		<a href="#">9902428</a>	3/29/1999	Abated	5/20/1999 12:00:00 AM	PLUMBING FAULTY/SHOWER HAS PAINT CHIPSAND RUSTED/WINDOW NOT SILL/FOULSMELL FROM SINK TOILET BACK UP
003 006901700		<a href="#">9809590</a>	12/29/1998	Open		OCCUPIED HOTEL, HOTEL SUTTER, PLUMBING PROBLEM, TOILET STOPAGE,ELECTRICAL PROBLEM, BROKEN WINDOW, PIGEON FEASES.
003 006901700		<a href="#">9809592</a>	12/29/1998	Open		CONSTRUCTED LAUNDRY ROOM,BUILT NEW FRONT DESK;BUILT UPSTAIRS OFFICEABOVE LAUNDRY ROOM WITHOUT PERMIT
003 006901700	#311	<a href="#">9808130</a>	10/21/1998	Open		BATHROOM HAS HOLE IN CEILING, WATER IN ROOM
003 006901700	#207	<a href="#">9804091</a>	5/27/1998	Open		SINK IN APARTMENT IS FLOODED
003 006901700	202	<a href="#">9804016</a>	5/26/1998	Open		SUTTER HOTEL-SINK STOP UP
003 006901700		<a href="#">9707767</a>	12/8/1997	Closed	2/18/1998 12:00:00 AM	NO EMERGENCY LIGHTING IN HALLWAY;NO FIRE EXTINGUSHERS;ROACHES;NO SMOKEALARM WORKING;EARTHQUAKE DAMAGE IN BASEMENT
003 006901700		<a href="#">9705674</a>	8/4/1997	Open		ELEVATOR NOT WORKING PROPERTY NOT WORKING PROPERLY - TRANSPORT GARBAGEON ELEVATORS , NO SMOKE ALARMS,ROACHES, SINK STOPPED UP
003 006901700		<a href="#">9704669</a>	6/16/1997	Closed	6/16/1997 12:00:00 AM	ASSIGNED PTS NO. TO SUBSTANDARD CASE #3901. BLDG. OCCUPIED-CURRENTLYHANDLED BY TEAM. FILING CASE.
003 006901700		<a href="#">9605520</a>	10/8/1996	Closed	12/26/1996 12:00:00 AM	SUTER HOTEL: ROACHES, DIRTY IN HALLWAYS.
003 006901700		<a href="#">9602231</a>	5/6/1996	Closed	7/16/1999 12:00:00 AM	HOTEL SUTTER- NO LIT EXIT SIGNS;NO FIRE DOORS ON EACH FLOOR; ROACHES,NO LID ON TRSH BINS,MOUSE & RAT TRAPS ON 2ND FL,GARABGE STORED IN BSMT
003 006901700		<a href="#">E9600230</a>	1/25/1996	Final	3/3/1997 12:00:00 AM	Change fuses to circuit breakers in three subpanels.
003 006901700	700	<a href="#">9502272</a>	4/5/1995	Closed	7/19/1999 12:00:00 AM	BATHROOM SINK DOES NOT HAVE MIRROW OER IT. BATHTUB DRAIN LEVERDOESNOT WORK.
003 006901700	306	<a href="#">9501938</a>	3/17/1995	Closed	7/6/1995 12:00:00 AM	TOILET DOES WORK RATS IN BATHROOMINVESTIGATED AND FOUND SEVERAL VIOLATION
003 006901700	700	<a href="#">9501543</a>	2/27/1995	Closed	3/21/1995 12:00:00 AM	TOILETS OR OVERFLOODING DOOR LOCK FALLING OFF
003 006901700	712	<a href="#">9501564</a>	2/27/1995	Closed	3/6/1995 12:00:00 AM	SOMETHING IS MOVING INSIDE OF THE MATTRESS

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### Permit/Complaint History ≈ 1987 - Current

Address		Record #	Status	Filed Date	Status Date	Description	
584	14TH	ST	FDB19-00839	4/24/2019			
584	14TH	ST	DET190031	Under Review	4/2/2019	4/12/2019	Residential Hotel Statement of Exemption
588	14th	ST	P1900084	On Hold	1/8/2019	4/16/2019	Plumbing/ Interior and exterior renovations of 8-story building with basement and mezzanine to add private bathrooms to each unit, add communal kitchen to floors 2 through 8, remove a rooming unit on floors 2 through 7 (6 total); convert a dwelling unit into 6 rooming units on floor 8; at existing hotel (SRO).
588	14th	ST	E1900116	On Hold	1/8/2019	2/28/2019	Electrical/ Interior and exterior renovations of 8-story building with basement and mezzanine to add private bathrooms to each unit, add communal kitchen to floors 2 through 8, remove a rooming unit on floors 2 through 7 (6 total); convert a dwelling unit into 6 rooming units on floor 8; at existing hotel (SRO).
588	14th	ST	M1900102	On Hold	1/8/2019	4/16/2019	Mechanical/ / Interior and exterior renovations of 8-story building with basement and mezzanine to add private bathrooms to each unit, add communal kitchen to floors 2 through 8, remove a rooming unit on floors 2 through 7 (6 total); convert a dwelling unit into 6 rooming units on floor 8; at existing hotel (SRO).
588	14th	ST	B1804834	On Hold	11/30/2018	5/6/2019	Interior and exterior renovations of 8-story building with basement and mezzanine to add private bathrooms to each unit, add communal kitchen to floors 2 through 8, remove a rooming unit on floors 2 through 7 (6 total); convert a dwelling unit into 6 rooming units on floor 8; at existing hotel (SRO).

### Permit/Complaint History ≈ 1987 - Current

Address	Record #	Status	Filed Date	Status Date	Description
584 14TH ST	ZW1801160	Complete	11/26/2018	11/26/2018	SRO Moratorium Exception Determination GRANTED on 11/21/2018 for the following scope of work (see attached documents): SELECTIVE REMODEL OF AN EXISTING 8 STORY RESIDENTIAL HOTEL BUILDING WITH BASEMENT AND MEZZANINE. THE SPECIFIC WORK WILL INCLUDE RECONFIGURING THE EXISTING BASEMENT, GROUND LEVEL, MEZZANINE, AND PENTHOUSE FLOORS. LEVELS 2 - 7 WILL HAVE PRIVATE BATHROOMS ADDED TO THE EXISTING ROOMS AND COMMUNAL KITCHENS ADDED ON EACH FLOOR. A ROOMING UNIT WILL BE REMOVED FROM FLOORS 2 THRU 7 (6 TOTAL); AND A REGULAR DWELLING UNIT ON FLOOR 8 WILL BE CONVERTED TO 6 NEW ROOMING UNITS WITH A COMMUNAL KITCHEN; THE BUILDING SYSTEMS AND LIFE SAFETY WILL BE UPGRADED. NEW STAIRS, ELEVATOR, AND FIRE SPRINKLERS WILL ALSO BE ADDED. THIS RENOVATION WILL NOT REDUCE THE NUMBER OF UNITS AND WILL REMODEL RETAIL TENANT SPACES ALONG 14TH AND JEFFERSON STREET.
588 14th ST	DRX182227	Approved	11/14/2018	11/27/2018	Interior and exterior renovations of 8-story building with basement and mezzanine to add private bathrooms to each unit, add communal kitchen to floors 2 through 8, remove a rooming unit on floors 2 through 7 (6 total); convert dwelling unit 6 rooming units on floor 8; keep existing number of rooming units (102); exterior changes (see plans) - restore ground floor storefront on 14th Street to match existing façades on Jefferson Street; remove fire escape if no longer functional, remove doors and replace with wood, double-hung windows with wood trim to match other windows; windows on interior side will have vent installed on upper portion but sash shall remain wood with lower sash with same dimension as other windows; Residential Hotel Moratorium Exception Request GRANTED on 11/21/2018 (ZW1801160)
584 14TH ST	1803740	Non-Actionable	10/12/2018	11/1/2018	room numbers 204, 209, 505, 709- broken lights, heater not functioning, water leak in the bathroom-leaking toilets, damaged ceiling, no elevator, only stairs for access within the building are narrow and blighted with trash, emergency exits are locked, and there are flies coming up the bathtub.

### Permit/Complaint History ≈ 1987 - Current

Address			Record #	Status	Filed Date	Status Date	Description
588	14TH	ST	ZP170086	Complete	9/18/2017	2/11/2019	To review interior alterations to existing transient hotel and site improvements/changes in the PROW.
584	14TH	ST	SL1702069	Final	8/25/2017	10/19/2017	Trenchless Sewer Lateral W723701314
584	14TH	ST	DET160127	Complete	10/6/2016	10/6/2016	Zoning Determination Letter
584	14TH	ST	1603742	Non-Actionable	9/29/2016	11/15/2016	ANNUAL DEEMED APPROVED INSPECTION
584	14TH	ST	1602109	Non-Actionable	6/9/2016	6/10/2016	backed up floor drain in the bathroom, feces coming up out of the drain
588	14TH	ST	1503980	No Violation Found	11/3/2015	11/5/2015	Garbage bins obstructing the right of way without permit and left in public view.
584	14TH	ST	1503415	Closed	9/24/2015	9/24/2015	Dumpster/trash receptacles in street blocking parking spaces and overflowing with trash.
588	14TH	ST	1502449	Intake - Completed	7/14/2015	9/21/2015	Garbage bins obstructing the right of way without permit and left in public view. view.
1414	JEFFERSON	ST	1403222	Non-Actionable	8/27/2014	9/26/2014	Trash dumpsters left out in public view 7 days a week.
584	14TH	ST	1402634	Closed	7/10/2014	8/24/2014	DEEMED APPROVED INSPECTION
584	14TH	ST	ZC141558	Approved	6/24/2014	6/24/2014	Home office for community service support information center. (Unit #515)
584	14TH	ST	1401782	Abated	5/1/2014	5/12/2014	PLUMBING ISSUES, WATER NOT REACHING THE 6TH FLOOR
584	14TH	ST	M1400275	Expired	4/23/2014	12/12/2015	Mechanical-Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration. Renew expired permit #B1300885.
584	14TH	ST	E1400244	Final	1/24/2014	7/1/2014	Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration. Renew expired permit #E1300722.
584	14TH	ST	B1400264	Final	1/24/2014	5/12/2015	Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration. Renew expired permit #B1300885.
584	14TH	ST	P1400191	Final	1/24/2014	11/30/2014	Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration. Renew expired permit #P1300584.
1414	JEFFERSON	ST	S1300095	Final	6/6/2013	7/8/2013	Install 1 blade sign (non-illuminated)
1410	JEFFERSON	ST	DS130148	Approved	6/6/2013	6/6/2013	Small project design review for new sign (less than 5sf)
584	14TH	ST	E1300722	Expired	3/8/2013	10/13/2013	Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration.

### Permit/Complaint History ≈ 1987 - Current

Address			Record #	Status	Filed Date	Status Date	Description
584	14TH	ST	E1300723	Withdraw	3/8/2013	3/8/2013	Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration.
584	14TH	ST	P1300584	Expired	3/8/2013	10/13/2013	Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration.
584	14TH	ST	B1300885	Expired	3/8/2013	10/13/2013	Legalize laundry room code case #1301188; light fixture, gas and plumbing alteration.
584	14TH	ST	1301188	Violation Verified	3/4/2013		REMODELING LAUNDRY ROOM: MODIFIED CEILING AND GAS LINES; NEW DRYERS
1410	JEFFERSON	ST	ZC130365	Approved		41318	41318 restaurant = outright permitted
584	14TH	ST	1205712	Abated		41207	41227 ANNUAL DEEMED APPROVED HOTEL/MOTEL INSPECTION
588	14TH	ST	M1201158	Expired		41129	41350 Complete M0301185 / T.I. for cafe
584	14TH	ST	DRX120849	TBD		41128	Following inspector's suggestion to add exterior supportive brackets grease duct CREATED TO RELEASE THE DECLARATION OF SUBSTANDARD PUBLIC NUISANCEDOCUMENT RECORDED 04/22/1994
584	14TH	ST	1203732	Open		41117	RECORDATION # 94158998
584	14TH	ST	B1202507	Expired		41116	41333 C.O. for residential hotel
584	14TH	ST	307	1203568	Abated	41110	41135 WINDOWS DO NOT LOCK; ELECTRICITY IS FAULTY; ISSUES WITH TRASH BACKINGUP IN TRASH SHUTE; BED BUGS
584	14TH	ST	317	1202924	Notice to Proceed	41078	41135 CARPET IS DIRTY & HAS ODORS, GARBAGE ROOM HAS GARBAGE OVERFLOWING
584	14TH	ST	206	1201243	Open	40994	41135 WINDOWS DO NOT LOCK; ELECTRICITY IS FAULTY; ISSUES WITH TRASH BACKINGUP IN TRASH SHUTE; BED BUGS
1410	JEFFERSON	ST	OB120256	Permit Issued		40988	40988 Reserve meters for film per Film Office map. See map. No impact on traffic lane or sidewalk allowed. Weekend non-metered film rate.
584	14TH	ST	206	1200642	Abated	40961	40973 WINDOWS DO NOT LOCK; ELECTRICITY IS FAULTY; ISSUES WITH TRASH BACKINGUP IN TRASH SHUTE
584	14TH	ST	203	1200358	Abated	40939	41117 ELECTRICAL ISSUES INSIDE UNIT

### Permit/Complaint History ≈ 1987 - Current

Address		Record #	Status	Filed Date	Status Date	Description
584 14TH	ST	408	1105156 Abated	40739	40743	TENANT COMPLAINT- POOR WATER PRESSURE, RAT HOLES IN UNIT.
584 14TH	ST	604	1103196 Abated	40662	40710	TENANT COMPLAINT- WEAK ELECTRICITY IN UNIT, PLUMBING PROBLEMS, BROKENHANDRAILS IN STAIRWAYS, FRAMES MISSING ON WINDOWS
584 14TH	ST		806953 No Violation Found	39717		SUTTER HOTEL- ROOM 400- THE HOT WATER WILL NOT TURN OFF.
584 14TH	ST	504	802917 No Violation Found	39563		TENANT COMPLAINT. FAULTY WIRING.
584 14TH	ST		801137 Abated	39492	39545	ELEVATOR BROKEN AT HOTEL/FAULTY WIRING IN ROOM 504/LOW WATER PRESSURE
584 14TH	ST	603	ZC062656 Approved	39000	39000	Home office for handyman.
584 14TH	ST		606066 Abated	38952	38986	RESIDENTIAL HOTEL; EXEMPT FROM DEEMED APPROVED HOTEL/MOTEL ANNUALINSPECTIONS; REMOVE FROM LIST.
584 14TH	ST		503005 Closed	38530	41108	ANNUAL DEEMED APPROVED HOTEL/MOTEL INSPECTION - SUTTER HOTELCONTACT: MGR. 510-451-2555.
584 14TH	ST		DS050058 Approved	38520	38520	New sign for JJ's Fish restaurant.
1410 JEFFERSON	ST		DS050052 Approved	38512	38512	Small design Review to install 14" x 19'-6" individual letter signs for new restaurant (la cucina Italiana)
1410 JEFFERSON	ST		S0500112 Final	38512	38758	install new letter sign for resturant,"La Cucina Italiana"
584 14TH	ST		M0501060 Expired	38506	38828	Mechanical - bath exhaust fan
584 14TH	ST		502376 Open	38504		BATHROOMS NOT WORKING PROPERLY, FIREHOSES MISSING, STRUCTURAL PROBLEMSHEATER NOT WORKING.
1410 JEFFERSON	ST		OB050119 Permit Issued	38384	38384	reserve meters for film J-1502 thru -1508 plus -1409 thru -1414 on Jefferson 7 total
1410 JEFFERSON	ST	1 FL	E0404571 Final	38334	38701	Electrical/Tenant Improvement for a new restaurant.
1410 JEFFERSON	ST	1 FL	P0403617 Final	38334	38699	Plumbing/Tenant Improvement for a new restaurant.
584 14TH	ST	411	405996 Abated	38321	38324	SUTTER HOTEL - WATER DOES NOT WORK, MICE, & ELECTRICAL PROBLEMC

### Permit/Complaint History ≈ 1987 - Current

Address		Record #	Status	Filed Date	Status Date	Description
1410 JEFFERSON	ST	1 FL M0401862	Final	38253	38713	Tenant Improvement for a new restaurant. Install new commercial hood.
1410 JEFFERSON	ST	1 FL B0404295	Final	38253	38721	Tenant Improvement for a new restaurant. reserve for construction per approved traffic plan include meters 14-574;-572;-568
584 14TH	ST	OB040493	Permit Issued	38215	38215	reserve meters 14-574;-572;-568
584 14TH	ST	OB040494	Permit Issued	38215	38215	reserve meters 14-574;-572;-568
584 14TH	ST	401 402557	Intake - Completed	38121		DIRT UNDER THE BASEBOARD OF THE SINK, CHIPPED LEAD PAINT, NO CARPET IS MOUNTED & FILTHY. CERAMIC IS CHIPPED IN THE SINK, RUSTY WATER.
584 14TH	ST	OB040021	Permit Issued	37998	37998	FACADE IMPROVEMENT & interior remodel/repair work including new h/c ada bthrm, metal stairs. Scope includes wall parti- Reserve meters on Jefferson J-1402; -1404
584 14TH	ST	305672	Abated	37845	37846	ELEVATOR IS NOT WORKING
584 14TH	ST	E0302774	Expired	37831	38349	Electrical for interior remodel. 5 receptacles.
584 14TH	ST	ZC031782	Approved	37791	37791	Restaurant (General Food Sales Commercial Activity). Electrical for T.I. of "Central Cafe" . Health approval on page
588 14TH	ST	E0302260	Final	37791	38400	A.2 of B0303017.
588 14TH	ST	B0303017	Expired	37791	38926	T.I. for new restaurant "Central cafe" . Health approval on page A.2.
588 14TH	ST	M0301185	Expired	37791	38926	Mechanical for T.I. of "Central Cafe" . Health approval on page A.2 of B0303017.
588 14TH	ST	P0301805	Expired	37791	38926	Plumbing for T.I. of "Central Cafe" . Health approval on page A.2 of B0303017.
584 14TH	ST	B0302566	Expired	37768	38926	FACADE IMPROVEMENT & interior remodel/repair work including new h/c ada bthrm, metal stairs. Scope includes wall parti- tions for lobby & dry cleaner space; plus final B0004776
584 14TH	ST	202037	Open	37328		ANNUAL HOTEL/MOTEL INSPECTION
584 14TH	ST	L015463	Lien Release Recorded	37252	37816	

### Permit/Complaint History ≈ 1987 - Current

Address		Record #	Status	Filed Date	Status Date	Description
584 14TH	ST	ZC011662	Approved	37116	37116	Import/export business. Only phone calls at home. No storage at home.
584 14TH	ST	#303 105970	Abated	37084	37516	RAT'S COMING OUT THROUGH THE WALLS, ROACHES.
584 14TH	ST	302 10421	Abated	36839	36840	RAT INFESTATION - HOT WATER IS NOT ADEQUATE
584 14TH	ST	B0004982	Expired	36826	37295	Install partition walls to create new dry cleaner's shop; Build new accessible restroom, staircase to second floor, Install coin-op laundry machines.
584 14TH	ST	9814	Violation Verified	36816		584,586,588-14TH ST;NEW SPACE 586-DRY CLEANING BUSINESS INSTALLEDWITHOUT REQUIRED ZONING&BULDING,PLUMB,MECH PMT;NEW WOODEN STAIRS SPACE
584 14TH	ST	P0002748	Expired	36815	37295	Plumbing for repairs Related plumbing repairs for (e) hotel common area bathrms
584 14TH	ST	B0004776	Expired	36815	37295	Repair dry rotted windows, shower walls, tile shower, water proof shower, install new doors in existing opening.
584 14TH	ST	E0003614	Expired	36815	37295	Electrical for repairs Related electrical repairs for (e) hotel common area bathrms
584 14TH	ST	9157	Abated	36788	36819	FIRE ESCAPE IS NOT OPERABLE ON 8TH FLOOR-GARBAGE BEING STORED INBASEMENT-POSSIBLE BUIDLING WORK W/O PERMIT
584 14TH	ST	2306	Open	36599		ANNUAL INSPECTION - HOUSING KEEPING STANDARDSSUTTER HOTEL
584 14TH	ST	827	Open	36553		LIGHTS GO OUT/LEAKS IN CEILING/ELEVATOR MAY NOT BE UP TOCODE/ROACHES
584 14TH	ST	9902428	Abated	36248	36300	PLUMBING FAULTY/SHOWER HAS PAINT CHIPSAND RUSTED/WINDOW NOT SILL/FOULSMELL FROM SINK TOILET BACK UP
584 14TH	ST	9809590	Open	36158		OCCUPIED HOTEL, HOTEL SUTTER, PLUMBING PROBLEM, TOILET STOPAGE,ELECTRICAL PROBLEM, BROKEN WINDOW, PIGEON FEASES.

### Permit/Complaint History ≈ 1987 - Current

Address		Record #	Status	Filed Date	Status Date	Description
584 14TH	ST	9809592	Open	36158		CONSTRUCTED LAUNDRY ROOM,BUILT NEW FRONT DESK;BUILT UPSTAIRS OFFICEABOVE LAUNDRY ROOM WITHOUT PERMIT
584 14TH	ST	#311 9808130	Open	36089		BATHROOM HAS HOLE IN CEILING, WATER IN ROOM
584 14TH	ST	#207 9804091	Open	35942		SINK IN APARTMENT IS FLOODED
584 14TH	ST	202 9804016	Open	35941		SUTTER HOTEL-SINK STOP UP NO EMERGENCY LIGHTING IN HALLWAY;NO FIRE EXTINGUISHERS;ROACHES;NO SMOKEALARM
584 14TH	ST	9707767	Closed	35772	35844	WORKING;EARTHQUAKE DAMAGE IN BASEMENT ELEVATOR NOT WORKING PROPERTY NOT WORKING PROPERLY - TRANSPORT GARBAGEON ELEVATORS , NO SMOKE ALARMS,ROACHES, SINK STOPPED UP
584 14TH	ST	9705674	Open	35646		ASSIGNED PTS NO. TO SUBSTANDARD CASE #3901. BLDG. 35597 OCCUPIED-CURRENTLYHANDLED BY TEAM. FILING CASE.
584 14TH	ST	9704669	Closed	35597		
584 14TH	ST	9605520	Closed	35346	35425	SUTER HOTEL: ROACHES, DIRTY IN HALLWAYS. HOTEL SUTTER- NO LIT EXIT SIGNS;NO FIRE DOORS ON EACH FLOOR; ROACHES,NO LID ON TRSH BINS,MOUSE & RAT TRAPS
584 14TH	ST	9602231	Closed	35191	36357	ON 2ND FL,GARABGE STORED IN BSMT
584 14TH	ST	E9600230	Final	35089	35492	Change fuses to circuit breakers in three subpanels. BATHROOM SINK DOES NOT HAVE MIRROW OER IT. BATHTUB
584 14TH	ST	700 9502272	Closed	34794	36360	DRAIN LEVERDOESNOT WORK. TOILET DOES WORK RATS IN BATHROOMINVESTIGATED AND
584 14TH	ST	306 9501938	Closed	34775	34886	FOUND SEVERAL VIOLATION
584 14TH	ST	712 9501564	Closed	34757	34764	SOMETHING IS MOVING INSIDE OF THE MATTRESS
584 14TH	ST	700 9501543	Closed	34757	34779	TOILETS OR OVERFLOODING DOOR LOCK FALLING OFF



**CITY OF OAKLAND**  
**APPEAL FORM**  
**FOR DECISION TO PLANNING COMMISSION, CITY**  
**COUNCIL OR HEARING OFFICER**

**PROJECT INFORMATION**

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Case No. of Appealed Project: DET190031

Project Address of Appealed Project: 584 14th Street, Oakland CA

Assigned Case Planner/City Staff: Brittany Lenoir, Robert Merkapp

**APPELLANT INFORMATION:**

Printed Name: Zacks, Freedman & Patterson, PC Phone Number: 415-956-8100

Mailing Address: 235 Montgomery St. #400 Alternate Contact Number: \_\_\_\_\_

City/Zip Code San Francisco, CA 94104 Representing: 584 14TH STREET, LLC

Email: ryan@zfplaw.com; sarah@zfplaw.com; emily@zfplaw.com

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**An appeal is hereby submitted on:**

**AN ADMINISTRATIVE DECISION (APPEALABLE TO THE CITY PLANNING COMMISSION OR HEARING OFFICER)**

**YOU MUST INDICATE ALL THAT APPLY:**

- Approving an application on an Administrative Decision
- Denying an application for an Administrative Decision
- Administrative Determination or Interpretation by the Zoning Administrator
- Other (please specify) Denial of applictaion for certification for exemption

**Please identify the specific Administrative Decision/Determination Upon Which Your Appeal is Based Pursuant to the Oakland Municipal and Planning Codes listed below:**

- Administrative Determination or Interpretation (OPC Sec. 17.132.020)
- Determination of General Plan Conformity (OPC Sec. 17.01.080)
- Design Review (OPC Sec. 17.136.080)
- Small Project Design Review (OPC Sec. 17.136.130)
- Minor Conditional Use Permit (OPC Sec. 17.134.060)
- Minor Variance (OPC Sec. 17.148.060)
- Tentative Parcel Map (OMC Section 16.304.100)
- Certain Environmental Determinations (OPC Sec. 17.158.220)
- Creek Protection Permit (OMC Sec. 13.16.450)
- Creek Determination (OMC Sec. 13.16.460)
- City Planner's determination regarding a revocation hearing (OPC Sec. 17.152.080)
- Hearing Officer's revocation/impose or amend conditions (OPC Sec. 17.152.150 &/or 17.156.160)
- Other (please specify) OPC Section 17.153.070D

*(Continued on reverse)*

(Continued)

- A DECISION OF THE CITY PLANNING COMMISSION (APPEALABLE TO THE CITY COUNCIL)**       Granting an application to:      **OR**       Denying an application to:

**YOU MUST INDICATE ALL THAT APPLY:**

**Pursuant to the Oakland Municipal and Planning Codes listed below:**

- Major Conditional Use Permit (OPC Sec. 17.134.070)
- Major Variance (OPC Sec. 17.148.070)
- Design Review (OPC Sec. 17.136.090)
- Tentative Map (OMC Sec. 16.32.090)
- Planned Unit Development (OPC Sec. 17.140.070)
- Environmental Impact Report Certification (OPC Sec. 17.158.220F)
- Rezoning, Landmark Designation, Development Control Map, Law Change (OPC Sec. 17.144.070)
- Revocation/impose or amend conditions (OPC Sec. 17.152.160)
- Revocation of Deemed Approved Status (OPC Sec. 17.156.170)
- Other (please specify) \_\_\_\_\_

**FOR ANY APPEAL:** An appeal in accordance with the sections of the Oakland Municipal and Planning Codes listed above shall state specifically wherein it is claimed there was an error or abuse of discretion by the Zoning Administrator, other administrative decisionmaker or Commission (Advisory Agency) or wherein their/its decision is not supported by substantial evidence in the record, or in the case of Rezoning, Landmark Designation, Development Control Map, or Law Change by the Commission, shall state specifically wherein it is claimed the Commission erred in its decision. The appeal must be accompanied by the required fee pursuant to the City's Master Fee Schedule.

**You must raise each and every issue you wish to appeal on this Appeal Form (or attached additional sheets). Failure to raise each and every issue you wish to challenge/appeal on this Appeal Form (or attached additional sheets), and provide supporting documentation along with this Appeal Form, may preclude you from raising such issues during your appeal and/or in court.** However, the appeal will be limited to issues and/or evidence presented to the decision-maker prior to the close of the public hearing/comment period on the matter.

**The appeal is based on the following:** *(Attach additional sheets as needed.)*

PLEASE SEE ATTACHED.

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**Supporting Evidence or Documents Attached.** *(The appellant must submit all supporting evidence along with this Appeal Form; however, the appeal will be limited evidence presented to the decision-maker prior to the close of the public hearing/comment period on the matter.*

(Continued on reverse)

(Continued)



Emily L. Brough, Zacks, Freedman & Patterson, PC

October 31, 2019

*Signature of Appellant or Representative of  
Appealing Organization*

*Date*

***TO BE COMPLETED BY STAFF BASED ON APPEAL TYPE AND APPLICABLE FEE***

APPEAL FEE:           \$ \_\_\_\_\_

Fees are subject to change without prior notice. The fees charged will be those that are in effect at the time of application submittal. All fees are due at submittal of application.

**Below For Staff Use Only**

**Date/Time Received Stamp Below:**

**Cashier's Receipt Stamp Below:**

October 31, 2019

Planning and Building Department  
Dalziel Building  
250 Frank H. Ogawa Plaza, Suite 3315  
Oakland, CA 94612

*Re: DET190031; 584 14<sup>th</sup> Street; APN: 003 006901700  
Letter of Authorization for Agent*

To Whom It May Concern:

We hereby authorize the attorneys of Zacks, Freedman & Patterson, PC to file an appeal of the Residential Hotel Status Determination issued on October 21, 2019.

Signed,

584 14<sup>th</sup> STREET LLC



---

By: Joshua Bird  
Its: General Counsel

1 RYAN J. PATTERSON (SBN 277971)  
EMILY L. BROUGH (SBN 284943)  
2 SARAH M.K. HOFFMAN (SBN 308568)  
3 ZACKS, FREDMAN & PATTERSON, PC  
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6 ryan@zfplaw.com  
emily@zfplaw.com  
7 sarah@zfplawcom

8 Attorneys for Appellant,  
9 584 14TH STREET, LLC

10 **CITY OF OAKLAND PLANNING COMMISSION**

11  
12 584 14TH STREET, LLC,

13  
14 Appellant,

15 vs.

16 CITY OF OAKLAND, CITY OF OAKLAND  
PLANNING DEPARTMENT,

17 Respondents.  
18

Appeal No.: DET190031

**APPELLANT'S BRIEF**

Subject Address: 584 14<sup>th</sup> Street, Oakland CA

ZACKS, FREDMAN & FALKENSON, PC  
235 MONTGOMERY STREET, SUITE 400  
SAN FRANCISCO, CALIFORNIA 94104

1 **MEMORANDUM IN SUPORT OF APPEAL**

2 **A. The Transient Use of the Property Removes it From the Definition of Residential**  
3 **Hotel as a Matter of Law.**

4 Pursuant to OPC section 17.153.020 (“§ 17.153.020”), “Residential Hotel” is defined as:

5 . . . any building built before 1960 containing six (6) or more Rooming Units . . .  
6 intended or designed to be used, or which are used, rented, or hired out, to be  
7 occupied, or which are occupied, for sleeping purposes by guests, **which is also**  
8 **the primary residence of those guests**, and where the entrances to the individual  
9 units are generally accessed via a shared lobby area.

10 That is, under § 17.153.020, Residential Hotels are limited to use by those individuals with no  
11 other primary residence but their Rooming Unit at that Residential Hotel. Here, the subject  
12 property (“Property”) cannot be a Residential Hotel as a matter of law, because there is, and has  
13 historically been, transient use of the subject property, as shown on the tax statements, business  
14 certificates, and all other evidence submitted by Appellant. (Ex. A) Any transient use of the  
15 units at the Property necessarily means that such units are not primary residences which is a  
16 required element of a property’s use under § 17.153.020’s definition of a Residential Hotel.

17 The City states that the historical use of this Property is “Semi-Transient Residential.”  
18 While this is not true, even if it were, because a “Semi-Transient Residential” use is one that  
19 includes up to 30% transient use (OPC § 17.10.120), a property with Semi-Transient  
20 Residential use cannot also be defined as a Residential Hotel because even the 30% (or less)  
21 transient nature of this use necessarily means that all units are not also primary residences.  
22 Thus, even if the Property were Semi-Transient Residential (which it is not) it cannot also be a  
23 “Residential Hotel” per § 17.153.020 as a matter of law.

24 **B. The Planning Department Abused its Discretion in Finding the Property Falls**  
25 **Within the Definition of a Residential Hotel.**

26 **1. The Property Was Deemed Approved as a Hotel and There is No Substantial**  
27 **Evidence that it is a Residential Hotel.**

28 Even if the transient use of the Property did not necessarily remove it from §  
17.153.020’s definition of a Residential Hotel as a matter of law, the Planning Department  
nonetheless abused its discretion in finding that the Property fell into the definition of a  
“Residential Hotel” because there is substantial evidence that the Property was “Deemed  
Approved” as a “Hotel.”

1 As set forth in Appellant’s Statement of Exemption and attached exhibits (Ex. A), the  
2 Property was “Deemed Approved” under OPC section 17.157 in or about 1999. The Deemed  
3 Approval process was enacted to approve previously legal nonconforming uses of property,  
4 including situations where a Residential Hotel had undergone a change in use, so that it was  
5 operated as a Hotel. OPC § 17.157.050 provides that “Deemed Approved Status means the  
6 status conferred upon a Deemed Approved Hotel Activity. Deemed Approved Status replaces  
7 legal nonconforming status.” In other words, a “Deemed Approved” hotel, including the  
8 Property, is legally operating as a transient Hotel rather than a Residential Hotel.

9 The City admits in its Letter of Determination that the Property was Deemed Approved,  
10 but erroneously states “[e]vidence that the City conferred deemed approved status on the  
11 property does not assist in determining whether the building is a Residential Hotel.” (Ex. B p.4)  
12 The Planning Department bases its contention on the fact that the Deemed Approved status  
13 under OPC section 17.157 can also apply to “Rooming Houses,” in addition to “Hotels.”  
14 “Rooming Houses” are residential facilities that house Permanent Residential Activities (OPC  
15 Section 17.10.110) or Semi-Transient Residential Activities (OPC Section 17.10.120). (OPC  
16 §§ 8.03.040, 17.157.050) Hotels are any private or public spaces for “transient” occupancy  
17 (OPC §§ 17.157.050, 8.03.040, 4.24.020). While it is true that the Deemed Approved status  
18 may be given to either Hotels or Rooming Houses, there is substantial evidence that it was  
19 Deemed Approved as the former, and not the latter.

20 The Property was not Deemed Approved as a “Rooming House” that houses Permanent  
21 Residential Activities, because there is transient use of the Property (Ex. A). (OPC § 17.10.110  
22 [“Permanent Residential Activities include the occupancy of living accommodations on a  
23 thirty (30) days or longer basis, **with none of the living units under the same ownership or  
24 management on the same lot being occupied on a shorter basis . . .** “] Nor was the  
25 Property Deemed Approved as a “Rooming House” that houses “Semi-Transient Residential  
26 Activities.” “Semi-Transient Residential Activities” are defined as “the occupancy of living  
27 accommodations partly on a thirty (30) days or longer basis and partly for a shorter time  
28 period, but **with less than thirty percent (30%) of the living units under the same  
ownership or management on the same lot being occupied on a less-than-thirty-days**

1 **basis.”** As shown on Appellant’s 2014-2016 transient tax records, over 30%<sup>1</sup> of its income has  
2 consistently been based upon *transient* use of the Property (i.e. under 30 days, OPC §  
3 17.10.440), and thus there is substantial evidence that its use does not qualify as Semi-Transient  
4 Residential. Rather, its use classification when it was Deemed Approved was not as a Rooming  
5 House that housed either permanent or semi-transient residential activities, but as a “Hotel”  
6 pursuant to OPC sections 17.157.050 & 4.24.020 (also see, § 17.10.440). This is shown both  
7 by the Property’s transient tax statements and under its Deemed Approved status of “Hotel” in  
8 its 2002 “Transient Occupancy Registration Certificate.” (Ex. A)

9 **2. Even if the Property was Deemed Approved as a Rooming House, there is**  
10 **Substantial Evidence of Transient Use Which Disqualifies it from The Definition**  
11 **of a Residential Hotel.**

12 Even if the Property were Deemed Approved as a Rooming House with Semi-Transient  
13 Residential Activities, however, there is still not substantial evidence that this use also subjects  
14 it to a Residential Hotel use under § 17.153.020. Because there is plainly transient use at the  
15 Property, there is substantial evidence that such use disqualifies it from a Residential Hotel,  
16 where the use is limited *solely* to primary residences. Thus, the Planning Department abused its  
17 discretion in finding the Property is a Residential Hotel.

18 **3. Even if the Property Was Not Deemed Approved, there is Substantial Evidence**  
19 **of Transient Use Which Disqualifies it from The Definition of a Residential**  
20 **Hotel.**

21 As set forth in Appellant’s Statement of Exemption, there is substantial evidence that the  
22 Property was Deemed Approved, which the Planning Department appears to concede. But even  
23 to the extent that the Property was not Deemed Approved, there is substantial evidence that  
24 there was transient use, both historically, and to date at the Property. (See, Ex. A) Because  
25 there is transient use of the Property, there is substantial evidence that such use disqualifies it  
26 from a Residential Hotel, where the use is limited *solely* to primary residences. Thus, the  
27 Planning Department abused its discretion in finding so.

28 **C. The Planning Department’s Determination that the Property is a Residential Hotel**  
**Violates Appellant’s Due Process rights.**

Under OPC section 17.157.080, a Hotel that is “Deemed Approved” acquires a legal  
status which allows the use to continue indefinitely. Deemed Approved Status can only be lost

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<sup>1</sup> With the exception of one month.

1 if a public hearing is held and a hearing officer formally revokes the status due to violation of  
2 the “Deemed Approved Hotel performance standards.” (CPC §§ 17.157.100-120.) Appellant  
3 has neither violated any such standard, nor does the Planning Department contend it has. The  
4 Planning Department’s finding that the Property is a Residential Hotel unlawfully revokes the  
5 above-stated Deemed Approved status without due process. (Cal. Const. article I, § 7(a))

6 Appellant has statutorily-conferred benefits existing by virtue of its longstanding, and  
7 ongoing, lawful operation and usage under the terms of the Planning Code. These benefits  
8 include, but are not limited to, the right to rent rooms to individuals who have another, primary  
9 residence, and to sell the Property without being required to first offer it to the City.  
10 Respondents' application of the Amendments violated the Appellant's due process rights insofar  
11 as it failed to offer any meaningful process whereby Appellant could seek redress for  
12 deprivation of its statutorily-conferred benefits. (Cal. Const. article I, § 7(a))

13 **D. The Planning Department’s Determination that the Property is a Residential Hotel  
14 is an Unlawful Taking of Appellant’s Property.**

15 The U.S. Constitution and California Constitution prohibit the government from taking  
16 or damaging private property for the public use unless just compensation is paid. (Cal. Const.  
17 article I, § 19; U.S. Const. 5<sup>th</sup> Amend.; *Knick v. Township of Scott, Pennsylvania* (2019) 139  
18 S.Ct. 2162) When a government entity eliminates an otherwise lawful nonconforming use, it  
19 may only do so by providing just compensation or a reasonable amortization period. The  
20 application of § 17.153 et. seq. (“Amendments”) on Appellant deprives Appellant of its vested  
21 rights to operate as lawfully authorized by its property’s existing zoning. Residential Hotels in  
22 Oakland have always been allowed by law to rent rooms to occupants who have another,  
23 “primary residence.” The proposed Amendments fundamentally change this lawful business  
24 model into something different and less profitable. (§ 17.153.020) In other words, the  
25 enforcement of the Amendments on Appellant terminates Appellant’s right to engage in its  
26 existing business model. This immediate termination of a non-nuisance business, without  
27 compensation or a reasonable amortization period, constitutes an unreasonable, unjustified, and  
28 unconstitutional exercise of the City's police power.

The Amendments further amended the Planning Code to include a 90-day notice period  
before a Residential Hotel Owner may sell its property. This confers on the City a right of first  
refusal to purchase any Residential Hotel, and it would prohibit the sale of such private property

1 to anyone other than the City (or a nonprofit chosen by the City) for this time-period This  
2 mandatory right of first refusal constitutes an unlawful taking under Constitutional law. The  
3 California Supreme Court has ruled that a purchase option is a “sufficiently strong interest in ...  
4 property to require compensation if the government takes it in eminent domain,” and that  
5 compelling a developer to give a city a purchase option is an “exaction.” (*Sterling Park, L.P. v.*  
6 *City of Palo Alto* (2013) 57 Cal.4<sup>th</sup> 1193, citing *County of San Diego v. Miller* (1975) 13 Cal.3d  
7 684, 691-693.) The Supreme Court's reasoning applies with equal force to the right of first  
8 refusal here. By applying the Amendments to Appellant, and thereby eliminating the ability of  
9 Appellant to freely sell its property, the Planning Department has unlawfully taken Appellant’s  
10 property rights without just compensation.

11 **E. The Planning Department’s Determination that the Property is a Residential Hotel  
12 Violates Appellant’s Equal Protection Rights.**

13 The U.S. and California Equal Protection Clause guarantees that a person may not be  
14 denied equal protection of law. (U.S. Constitution, Art. 14, California Constitution § 7.)  
15 Appellant is entitled to the protection of this clause. (*Village of Willowbrook v. Olech* (2000)  
16 528 U.S. 562; *Sioux City Bridge Co. v. Dakota County* (1923) 260 U.S. 441; *Allegheny*  
17 *Pittsburgh Coal Co. v. Commission of Webster Cty.* (1989) 488 U.S. 336.) The Planning  
18 Department’s enforcement of the Amendments creates zoning regulations which, if applied,  
19 prohibit Appellant from renting rooms to individuals who have another, primary residence, and  
20 to sell the Property for a period of 180 days, during which time period Appellant must first offer  
21 the Property to the City.

22 In enforcing the Amendments on Appellant, the Planning Department chose not to affect  
23 other properties (and their owners) that are functionally similar to properties such as the  
24 Property owned by Appellant. Appellant’s units, to the extent they have lawfully operated for  
25 decades under the Planning Code, are the functional equivalent of other, non-Residential Hotel  
26 units. Among other reasons, the Appellant has paid, and does pay, taxes for any tourist-based  
27 usage. The Amendments single out Appellant and other such owners of pre-1960 hotels in the  
28 Downtown area for disparate treatment not accorded to similarly situated property owners.  
Further, the Planning Department has offered no valid justification for the Amendments, or for  
the manner in which they discriminate between Residential Hotel owners and other hotel  
owners.

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**F. The Planning Department’s Determination that the Property is a Residential Hotel Violates Appellant’s Federal Civil Rights.**

The Planning Department enforcement of the Amendments on Appellant violates the Fifth and Fourteenth Amendments of the United States Constitution. (42 USC § 1983) The above-described deprivation of Appellant's vested rights to operate their Property as historically permitted, without notice or an opportunity to be heard, and without regard to the severe economic impact of the Amendments on Appellant's hotel operations, violates its rights to due process of law under the 5th and 14th Amendments to the United States Constitution, and constitute a taking of Appellant’s Property without just compensation. (*Knick, supra*; *Loretto v. Teleprompter Manhattan CATV* (1982) 458 U.S. 419; *Penn Central v. New York* (1978) 438 U.S. 104; *Koontz v St. Johns River Management District* (2013) 133 S.Ct. 2586; *Levin v San Francisco* (N.D. Cal. 2016) 71 F.Supp.3d 1072.)

**CONCLUSION**

Pursuant to the above, the Planning Commission should reverse the Planning Department’s denial of Appellant’s application for a certification of exemption from the Amendments. Appellant reserves the right to supplement its evidence and arguments up to, and including, at the hearing of this appeal.

Date: October 31, 2019

ZACKS, FREEDMAN & PATTERSON, PC

By:   
\_\_\_\_\_  
EMILY L. BROUGH  
Attorneys for Appellant  
584 14th STREET LLC

# EXHIBIT A



# RESIDENTIAL HOTEL STATEMENT OF EXEMPTION

Planning and Building Department  
250 Frank H. Ogawa Plaza  
2<sup>nd</sup> Floor, Suite 2114  
Oakland, CA 94612  
Tel (510) 238-3911  
Fax (510) 238-4730

### Instructions

As established by Ordinance No. 13509 C.M.S., if you believe you have evidence that your property is not a Residential Hotel, as defined in Planning Code Section 17.153.020 (see page 4 of this form), you must submit this Statement of Exemption form along with required supporting documentation in person to the Zoning Permit Counter on the 2<sup>nd</sup> floor of 250 Frank H. Ogawa or via mail to the Planning and Building Department by **April 3, 2019**. If more space is needed, the form provides additional pages.

Statement of Exemption Form No. 255  
reserves the right to use the information provided for other purposes.  
The Pelosi Law Group, Inc.  
12 Geary St 8th FL  
San Francisco CA 94108-5704

96-505/1232

If the Planning and Building Department grants an Initial Use Exemption under Planning Code Section 17.153.020, the applicant shall be required to pay a fee of \$473.92.

4/2/19 Date

Pay to the Order of City of Oakland Planning and Building \$ 473.92  
four hundred and seventy three dollars and 92/100

1. GENERAL INFORMATION  
Name of Applicant  
Mailing Address  
Site Address  
Site Assessment

UMPQUA BANK  
1-866-4UMPQUA (1-866-486-7782)  
584 14th St LLC  
For Statement of Exemption  
0255  
005-0069-017-00

Office Use Only  
Receive Date: \_\_\_\_\_

This document is a statement of exemption from the residential hotel definition and does not constitute a zoning permit. It is subject to the provisions of the Planning Code and the Zoning Ordinance. The applicant is responsible for providing the required supporting documentation. The Planning and Building Department reserves the right to require additional information or to deny the exemption if the applicant fails to provide the required documentation or if the exemption is found to be invalid.





## RESIDENTIAL HOTEL STATEMENT OF EXEMPTION

**Planning and Building Department**  
 250 Frank H. Ogawa Plaza  
 2<sup>nd</sup> Floor, Suite 2114  
 Oakland, CA 94612  
 Tel (510)238-3911  
 Fax (510)238-4730

**Instructions**

As established by Ordinance No. 13509 C.M.S., if you believe you have evidence that your property is not a Residential Hotel, as defined in Planning Code Section 17.153.020 (see page 4 of this form), you must submit this Statement of Exemption form along with required supporting documentation in person to the Zoning Permit Counter on the 2<sup>nd</sup> floor of 250 Frank H. Ogawa or via mail to the Planning and Building Department by **April 3, 2019**. If more space is needed than the form provides, additional pages may be attached. Please include the payment of fees (\$473.92) required to process the Statement of Exemption. In order to make the necessary determinations and verify information provided, the City also reserves the right to do inspections of the property, subject to the applicable fees.

If the Planning and Building Director determines that the property is not a Residential Hotel, the fee for filing a Statement of Exemption and any inspection fees will be reimbursed. If the Statement of Exemption is denied, you will need to file an Initial Usage Report form within the remainder of the 180 days allotted for submittal of the Initial Usage Report per Code Section 17.153.030(B)(1).

I. GENERAL INFORMATION	
Name of Applicant: <b>584 14<sup>TH</sup> STREET, LLC</b>	Contact Number: <b>424.291.58107</b>
Mailing Address: <b>301 N Canon Drive, Suite 305, Beverly Hills, CA 90210</b>	Email Address: <b>JBird@HawthornWay.com</b>
Site Address: <b>584 14<sup>th</sup> Street, Oakland, CA 94612</b>	
Site Assessor's Parcel Number: <b>003-0069-017-00</b>	
<i>Office Use Only</i>	
Receive Date: _____  _____  _____	

This form is required to be filed with the Planning and Building Department, 250 Frank H. Ogawa Plaza, Oakland, CA 94612. The fee for filing this form is \$473.92. The fee for processing this form is \$473.92. The fee for processing this form is \$473.92. The fee for processing this form is \$473.92.

2. PROPERTY OWNER AND APPLICANT INFORMATION

Owner: 584 14<sup>TH</sup> STREET, LLC  
Owner Mailing Address: 301 N Canon Dr., Suite 305  
City/State: Beverly Hills, CA Zip: 90210  
Phone No.: 424.291.5860 Fax No.: 424.291.5867 E-mail: Ross.Walker@Hawkinsway.com

To be completed only if Applicant is not the Property Owner:

I authorize the applicant indicated below to submit the application on my behalf.

Applicant (Authorized Agent), if different from Owner: \_\_\_\_\_

Applicant Mailing Address: \_\_\_\_\_

City/State: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone No.: \_\_\_\_\_

Fax No.: \_\_\_\_\_

E-mail: \_\_\_\_\_

I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies may result in the revocation of determinations, as decided by the Planning and Building Director. I further certify that I am the owner or purchaser (or option holder) of the property involved in this application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature above.

I certify that statements made to me about the time it takes to review and process this application are general. I am aware that the City has attempted to request everything necessary for an accurate and complete review of my proposal; however, that after my application has been submitted and reviewed by City staff, it may be necessary for the City to request additional information and/or materials. I understand that any failure to submit the additional information and/or materials in a timely manner may render the application inactive and that periods of inactivity do not count towards statutory time limits applicable to the processing of this application.

I HEREBY CERTIFY, UNDER PENALTY OF PERJURY, THAT ALL THE INFORMATION PROVIDED ON THIS APPLICATION IS TRUE AND CORRECT.

Signature of Owner or Authorized Agent

Date



4/2/2019

### 3. STATEMENT OF EXEMPTION

The owner has the burden of proving by a preponderance of the evidence that the property is exempt from the provisions of Ordinance No. 13509 C. M.S.

The **STATEMENT OF EXEMPTION** shall be accompanied by evidence, such as:

- A certified copy of the property's tax returns
- Transient occupancy tax records
- Residential landlord tax records
- Planning and Building Permit records
- Alameda County Assessor records
- Floor plans (following standards described below)
- Any other evidence necessary to prove the property does not meet the afore-mentioned definition of Residential Hotel or that individual units do not meet the definition of a Residential Hotel Unit, as set forth in Section 17.153.020.

Please explain why you believe the provided evidence demonstrates that your property is not a Residential Hotel, as defined in Planning Code Section 17.153.020:

Our property is a "Deemed Approved" tourist hotel use, and under City Planning Code section 17.157.080, a hotel considered "Deemed Approved" acquires legal status that allows that use to continue indefinitely.

Further, "Deemed Approved" status cannot be lost by Planning Department statements or determinations or by statements of property owners related to prior uses. "Deemed Approved" status can only be lost if a public hearing is held and a hearing officer formally revokes the status due to violation of the "Deemed Approved Hotel performance Standards." (CPC §§ 17.157.160-120)

As no public hearing has been held and no hearing officer has revoked the property's "Deemed Approved" status, the property remains a Tourist Hotel use. Facts and evidence that show the property is a "Deemed Approved" tourist hotel are presented in the attached Supplement.

4. **DEFINITIONS** - Planning Code Section 17.153.020, 17.09, 17.10 *(for reference only)*

**“Commercial Activities”** include the distribution and sale or rental of goods; the provision of services other than those classified as Civic Activities; and the administrative and research operations of private, profit-oriented firms, other than public utility firms. This classification also includes certain activities accessory to the above, as specified in Section 17.10.040.

**“Commercial Hotel”** means a hotel that operates as a Commercial Activity, as defined in Section 17.10.260, which provides lodging to guests that is not used or is not intended to be used as a primary residence.

**“Commercial Hotel Unit”** means a Rooming Unit or Efficiency Unit, as defined in Section 17.09.040 of the Oakland Planning Code, that operates within a Commercial Hotel or has been granted a Conditional Use Permit for Conversion, as set forth in Section 17.153.050.

**“Efficiency dwelling unit”** means a dwelling unit containing only a single habitable room other than a kitchen, or containing a total of less than five hundred (500) square feet of floor area.

**“Owner”** means an owner of record of a Residential Hotel, or an entity or individual with a long-term lease or some form of equitable interest in a Residential Hotel.

**“Permanent Residential Activities”** include the occupancy of living accommodations on a thirty (30) days or longer basis, with none of the living units under the same ownership or management on the same lot being occupied on a shorter basis; but exclude institutional living arrangements other than state-licensed Residential Care Facilities for six (6) or fewer residents. However, such state-licensed Residential Care Facilities shall be subject to the three hundred (300) foot separation requirement in Section 17.103.010.B. This classification also includes certain activities accessory to the above, as specified in Section 17.10.040.

**“Residential Hotel”** is defined in accordance with California Health and Safety Code Section 50519, and means any building built before 1960 containing six (6) or more Rooming Units, as defined in Section 17.09.040, intended or designed to be used, or which are used, rented, or hired out, to be occupied, or which are occupied, for sleeping purposes by guests, which is also the primary residence of those guests, and where the entrances to the individual units are generally accessed via a shared lobby area. See also the process for Status Determination in Section 17.153.030. Any building or units that are constructed to satisfy the requirements of Section 17.153.050(A) shall be subject to the provisions of this Chapter.

**“Residential Hotel Unit”** means a Rooming Unit or Efficiency Dwelling Unit, as those terms are defined in Section 17.09.040 of the Oakland Planning Code, intended or designed to be used, or which are used, rented, or hired out, to be occupied, or which are occupied, for sleeping purposes by guests, which is also the primary residence of those guests, and are located within a Residential Hotel. Any unit that is constructed to satisfy the requirements of Section 17.153.050(A) shall be subject to the provisions of this Chapter.

**“Rooming Unit”** means a room or suite of rooms, not including a kitchen, designed or occupied as separate living quarters, with or without common boarding provisions, but excluding such rooms where they accommodate a total of three (3) or fewer paying guests within a One Family Dwelling Residential Facility through the main portion of which access may be had to all such rooms; provided that in the case of student dormitories and similar group living arrangements, each two beds shall be deemed a rooming unit.

**“Semi-Transient Residential Activities”** include the occupancy of living accommodations partly on a thirty (30) days or longer basis and partly for a shorter time period, but with less than thirty percent (30%) of the living units under the same ownership or management on the same lot being occupied on a less-than-thirty (30) day basis; but exclude institutional living arrangements involving the provision of a special kind of care or forced residence, such as in nursing homes, orphanages, asylums, and prisons. This classification also includes certain activities accessory to the above, as specified in Section 17.10.040.

**“Transient Habitation Commercial Activities”** include the provision of lodging services to transient guests on a less-than thirty (30) day basis, other than in the case of activities classified by Section 17.10.120 Semi-Transient Residential Activities or Section 17.10.125 Bed and Breakfast Residential Activities. Examples include hotels and motels. This classification also includes certain activities accessory to the above, as specified in Section 17.10.040.

584 14<sup>th</sup> Street – Statement of Exemption  
Supplemental Information

*Please explain why you believe the provided evidence demonstrates that your property is not a Residential Hotel, as defined in Planning Code Section 17.153.020:*

584 14th Street, the Sutter Hotel (i.e., “Property”) is not a Residential Hotel, as defined in Planning Code Section 17.153.020, because it is a “Deemed Approved” tourist hotel. Evidence in support of this conclusion is attached and summarized below.

To qualify as a “Deemed Approved” use, the Property must have been used as a tourist hotel prior to the enactment of the City of Oakland (City) 1999 zoning ordinance that regulated transient habitation commercial uses and required all new tourist uses to obtain conditional use approval.

Pursuant to City Planning Code section 17.157.080, a hotel considered “Deemed Approved” acquires a legal status which allows the use to continue indefinitely. Deemed Approved Status can only be lost if a public hearing is held and a hearing officer formally revokes the status due to violation of the “Deemed Approved Hotel performance standards.”<sup>1</sup> (CPC §§ 17.157.100-120.)

Substantial evidence exists that the Property is a Deemed Approved tourist hotel. In addition, **more than a decade of City inspection records show that the City has subjected the Property to routine Deemed Approved tourist hotel inspections.** As the City does not maintain a “Deemed Approved” list of transient hotel properties<sup>2</sup>, a review of the Property’s history is the only method to establish the Property’s tourist use as “Deemed Approved.”

We have conducted a thorough document review of the Property. It indicates that the Property has been classified by the City as a “Deemed Approved” tourist hotel for routine Deemed Approved inspections. The documents we located are attached as **Exhibit A** and are summarized as follows:

- 6/27/2005: Property subject to Annual Deemed Approved Hotel/Motel Inspection
- 8/23/2006: Property exempt from Annual Deemed Approved Inspection
- 10/25/2012: Property subject to Annual Deemed Approved Inspection
- 07/10/2014: Property subject to Annual Deemed Approved Inspection
- 09/26/2016: Property subject to Annual Deemed Approved Inspection

As shown in the public records, there were at least four inspections since 2005 where the Property was classified as “Deemed Approved.” One inspection did occur where the Property was slated for exemption from “Deemed Approved” inspection, but this August 23, 2006 inspection was subsequently followed by additional inspections which continued to classify the Property as “Deemed Approved.” Moreover, the August 2006 inspection **did not result in the Property’s removal from the “Deemed Approved” list as a hearing was never held, which would have been required to revoke the Property’s Deemed Approved Status under CPC §§ 17.157.100-120.**

**Absent a record of a hearing officer revoking the Property’s Deemed Approved Status, by operation of law, its status continues today.**

In addition to the “Deemed Approved” history, the Property is licensed as a tourist hotel and paid Transient Occupancy Tax (TOT) to the City. The City of Oakland Finance Department has also

<sup>1</sup> “Deemed Approved” status cannot be lost by a written determination of the Planning Department or statements by a property owner.

<sup>2</sup> Evidence of this is included in **Exhibit F**.

confirmed that the Property's Hotel/Motel Business Certificate (#00029506) was issued in 1995, before the 1999 "Deemed Approved" date.<sup>3</sup> The Property's business licenses and the payment of the TOT, which is only applied to tourist hotels, reinforces the status of the Property as a tourist hotel. Copies of the business licenses are included as **Exhibit B** and the TOT submittals from 2014-2017 are included as **Exhibit C**.<sup>4</sup>

To further investigate the status of the Property as a "Deemed Approved" tourist hotel, we enlisted assistance from Mark Hulbert of Preservation Architecture, a historical architect and cultural resources consulting firm, to obtain and review historical building permit history and other historical records related to the Property. Through his review of microfiche permit records, he uncovered three building permit related records from 1974-1975, attached as **Exhibit D**, that clearly indicate that the use of the Property was as a tourist hotel. In addition, he reviewed historical advertisements, news clippings and City phone directories from 1922 to 1966 that clearly identify the Property as a traditional transient tourist hotel. Several of these documents are attached as **Exhibit E**.

Based on Mr. Hulbert's review of the Property history and discussions with City Finance Department staff, he concluded that there is substantial evidence that the Property was a tourist hotel prior to 1999. He also concluded that there is no record indicating that the historical tourist use of the Property was changed prior to 1999 to any other use. **Based on this evidence, a tourist hotel use was established prior to 1999, which qualifies the tourist hotel use of the Property as a "Deemed Approved" use.**

By contrast, in our permit review history we have located no evidence that establishes the Property did not qualify as a "Deemed Approved" tourist hotel in 1999 nor any documentation that the Property was converted from a tourist hotel to a non-tourist hotel use.<sup>5</sup> Regardless, even if there had been a change from a tourist hotel use to a non-tourist hotel use after 1999 – which is not indicated by the evidence – **a change of use cannot cause a property to lose its Deemed Approved Status. A Deemed Approved use has protections beyond the normal rules for legal nonconforming uses.** ("Said business(es) shall no longer be considered a Legal Nonconforming Activity. . . . Deemed Approved Status replaces legal nonconforming status." CPC § 17.157.050.) **Unlike a legal nonconforming use, a property can only lose its Deemed Approved status following a formal notice of violation and public hearing.** There is no record of such proceedings taking place.

We purchased the property in 2017. In talking with the prior owner, he has stated that he recalls receiving a letter in the "late 1990s or early 2000s" from City<sup>6</sup> indicating the Property was "Deemed Approved." He also has stated that during his ownership the Property was rented daily. This recollection is consistent with the evidence set forth above and taken as whole indicates that the

---

<sup>3</sup> We were unable to locate a copy of the 1995 building license because the prior owner did not keep good records and the City Finance Department purges business tax records after ten years. The 1995 date was provided to Mark Hulbert of Preservation Architecture from City Finance Department staff and is based on the certificate number identified.

<sup>4</sup> As noted above, the prior owner did not keep good records. For this reason, some of the records included are not "complete" in that they do not cover every year or every month. Regardless, the body of information collected supports that the Property was used as a tourist hotel and is a "Deemed Approved" tourist hotel use.

<sup>5</sup> As noted in Footnote #1 above, written determination by Planning Department staff or statements by the property owner cannot change a "Deemed Approved" use.

<sup>6</sup> He is no longer able to locate a copy of the letter, some 20 years later.

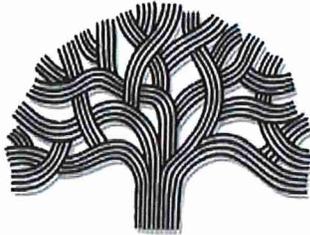
Property qualified as a “Deemed Approved” property in 1999 and has operated continuously since then as a tourist hotel.

In sum, the public records that exist clearly indicate that the Property’s tourist hotel use is a “Deemed Approved” use pursuant to the City’s Planning Code. There is no substantial evidence to conclude otherwise. When balancing the rights of the Property owner to continue the “Deemed Approved” tourist hotel use against the lack of evidence to the contrary, the Property’s tourist use should clearly be considered “Deemed Approved.”

**Exhibit A**



Update Results



CITY OF OAKLAND

Record Detail with Comments

**Record ID:** [0503005](#)

**Description:** ANNUAL DEEMED APPROVED HOTEL/MOTEL INSPECTION - SUTTER HOTEL CONTACT: MGR. 510-451-2555.

**APN:** 003 006901700

**Address:** 584 14TH ST

**Unit #:**

**Date Opened:** 6/27/2005

**Record Status:** Closed

**Record Status Date:** 7/18/2012

**Job Value:** \$0.00

**Requestor:**

:

**Business Name:**

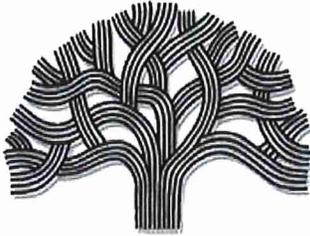
**License #:**

Comment Date	Commenter	Comment
6/27/2005 12:00:00 AM	PTS	ANNUAL DEEMED APPROVED HOTEL/MOTEL INSPECTION - SUTTER HOTEL CONTACT: MGR. 510- [REDACTED]
1/21/2014 8:39:31 PM	PTS	[8/17/05: No manager was available for inspection scheduled for today]at 1:00PM. Inspection cancelled at 12:55PM. Called hotel clerk and[informed him that the manager should contact me as soon as possible]to make a new appointment. Inspection to be completed within seven[days]Alan Albee x3207]>>> 08/17/2005 15:32:11 ALBEE#A 0159

For real-time, direct access to information via the Internet, 24 hours a day - <https://aca.accela.com/oakland>



Update Results



CITY OF OAKLAND

Record Detail with Comments

**Record ID:** 0606066

**Description:** RESIDENTIAL HOTEL; EXEMPT FROM DEEMED APPROVED HOTEL/MOTEL ANNUAL INSPECTIONS; REMOVE FROM LIST.

**APN:** 003 006901700

**Address:** 584 14TH ST

**Unit #:**

**Date Opened:** 8/23/2006

**Record Status:** Abated

**Record Status Date:** 9/26/2006

**Job Value:** \$0.00

**Requestor:**

:

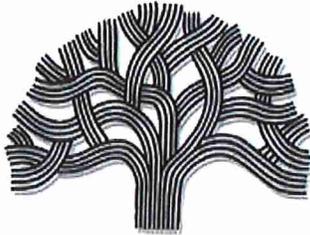
**Business Name:**

**License #:**

Comment Date	Commenter	Comment
8/23/2006 12:00:00 AM	PTS	RESIDENTIAL HOTEL; EXEMPT FROM DEEMED APPROVED HOTEL/MOTEL ANNUAL INSPECTIONS; REMOVE FROM LIST.

For real-time, direct access to information via the Internet, 24 hours a day - <https://aca.accela.com/oakland>

 Update Results



CITY OF OAKLAND

Record Detail with Comments

**Record ID:** [1205712](#)

**Description:** ANNUAL DEEMED APPROVED HOTEL/MOTEL INSPECTION

**APN:** 003 006901700

**Address:** 584 14TH ST

**Unit #:**

**Date Opened:** 10/25/2012

**Record Status:** Abated

**Record Status Date:** 11/14/2012

**Job Value:** \$0.00

**Requestor:**

:

**Business Name:**

**License #:**

<b>Comment Date</b>	<b>Commenter</b>	<b>Comment</b>
10/25/2012 12:00:00 AM PTS		ANNUAL DEEMED APPROVED HOTEL/MOTEL INSPECTION

For real-time, direct access to  
information via the Internet, 24 hours a  
day - <https://aca.accela.com/oakland>

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

OAKLAND SUTTER HOTEL L.P.  
 PO BOX 5247  
 WALNUT CREEK, CA 94596-1247  
 RE: 584 14<sup>TH</sup> STREET  
 09/19/12/TC/RDR PROGRAM

1205712

2. Article Number  
(Transfer from service label)

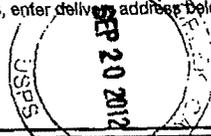
7009 2250 0001 8641 4971

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature  Agent  
 Addressee

B. Received by (Printed Name) C. Date of Delivery  
 Victoria Singh

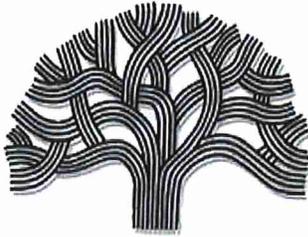
D. Is delivery address different from Item 1?  Yes  
 If YES, enter delivery address below:  No



3. Service Type  
 Certified Mail  Express Mail  
 Registered  Return Receipt for Merchandise  
 Insured Mail  C.O.D.

4. Restricted Delivery? (Extra Fee)  Yes

 Update Results



CITY OF OAKLAND

Record Detail with Comments

**Record ID:** [1402634](#)

**Description:** DEEMED APPROVED INSPECTION

**APN:** 003 006901700

**Address:** 584 14TH ST

**Unit #:**

**Date Opened:** 7/10/2014

**Record Status:** Closed

**Record Status Date:** 8/24/2014

**Job Value:**

**Requestor:**

:

**Business Name:**

**License #:**

Comment Date	Commenter	Comment
12/10/2014 1:17:08 PM	SFORD	Ownership verified and a notice was mailed to owner on 07/14/2014
12/10/2014 1:27:33 PM	AMEEKINS	NOTICE OF INSPECTION- HOTEL/MOTEL ROOMING HOUSE PERFORMANCE STANDARDS- RIGHT OF ENTRY MAILED 7/14/14.

For real-time, direct access to  
information via the Internet, 24 hours a  
day - <https://aca.accela.com/oakland>

 Update Results



CITY OF OAKLAND

Record Detail with Comments

**Record ID:** [1603742](#)

**Description:** ANNUAL DEEMED APPROVED INSPECTION

**APN:** 003 006901700

**Address:** 584 14TH ST

**Unit #:**

**Date Opened:** 9/29/2016

**Record Status:** Violation Verified

**Record Status Date:** 11/10/2016

**Job Value:** \$0.00

**Requestor:**

:

**Business Name:**

**License #:**

Comment Date	Commenter	Comment
10/7/2016 2:09:09 PM	SBROWN	OWNERSHIP VERIFIED THROUGH COUNTY ASSESSOR, NOTICE OF INSPECTION MAILED REG & CERT WITH INSPECTION DATE 11/10/2016 CERT 7015 0640 0003 5386 3683
11/15/2016 3:09:31 PM	WLOO	11/10/16 - met manager Oliver Shevies, [REDACTED]; the following units were inspected: 208, 312,409, 410, 603, 605, 606, 703, 705, 707; all rooms were missing room postings; #703 - damaged plug cover; #603 - lower sash didn't open, use of extension cord; 4th floor rear bath, loose; some rooms have excessive use of roach powder; gave list to manager.
11/15/2016 3:27:27 PM	WLOO	the manager said they are converting all SRO's to hotel rooms; there are 9 units which still have the SRO tenants.

For real-time, direct access to information via the Internet, 24 hours a day - <https://aca.accela.com/oakland>

Exhibit B

POST IN A  
CONSPICUOUS  
PLACE  
NOT TRANSFERRABLE

**TRANSIENT OCCUPANCY  
REGISTRATION CERTIFICATE**

CITY OF OAKLAND

ISSUED JULY 25, 2002.

ACCOUNT NUMBER 003-179-002  
OPERATOR NAME SUTTER MOTEL  
BUSINESS NAME SUTTER MOTEL  
ADDRESS 584 14<sup>TH</sup> STREET, OAKLAND, CA 94612

KIND OF BUSINESS HOTEL

THE ISSUING OF A TRANSIENT OCCUPANCY REGISTRATION CERTIFICATE IS FOR REVENUE PURPOSES ONLY. IT DOES NOT RELIEVE LICENSEE FROM THE RESPONSIBILITY OF COMPLYING WITH THE REQUIREMENTS OF ANY OTHER DEPARTMENT OF THE CITY OF OAKLAND AND/OR ANY OTHER ORDINANCE, LAW OR REGULATION OF THE CITY OF OAKLAND, STATE OF CALIFORNIA, OR ANY OTHER GOVERNMENTAL AGENCY.



POST IN A  
CONSPICUOUS  
PLACE

## BUSINESS TAX CERTIFICATE

CITY OF OAKLAND

The issuing of a Business Tax Certificate is for revenue purposes only. It does not relieve the taxpayer from the responsibility of complying with the requirements of any other agency of the City of Oakland and/or any other ordinance, law or regulation of the State of California, or any other governmental agency. This certificate is void if non-payable instruments are tendered to obtain it. The Business Tax Certificate expires on December 31st, and you have until March 1st of the following year to renew it.



EXPIRES

December 31, 2008

ACCOUNT NUMBER

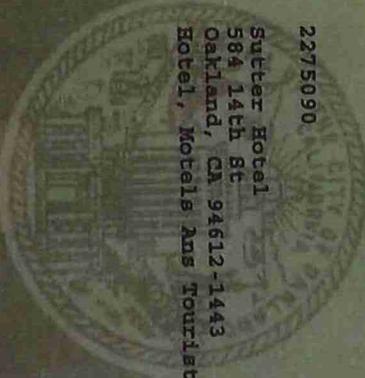
2275090

BUSINESS NAME  
ADDRESS

Sutter Hotel  
584 14th St  
Oakland, CA 94612-1443  
Hotel, Motels And Tourist Court

BUSINESS CLASSIFICATION

**YOU MAY BE REQUIRED TO OBTAIN A VALID ZONING CLEARANCE TO OPERATE YOUR BUSINESS LEGALLY. RENTAL OF REAL PROPERTY IS EXCLUDED FROM ZONING.**



THIS DOCUMENT HAS A "VERIFY FIRST" TRUE WATERMARK AND VISIBLE FIBERS DISCERNIBLE FROM BOTH SIDES

CITY OF OAKLAND  
BUSINESS TAX CERTIFICATE

ACCOUNT NUMBER

2275090

The issuing of a Business Tax Certificate is for revenue purposes only. It does not relieve the taxpayer from the responsibility of complying with the requirements of any other agency of the City of Oakland and/or any other ordinance, law or regulation of the State of California, or any other governmental agency. The Business Tax Certificate expires on December 31st of each year. Per Section 85.04, 190A, of the O.M.C. you are allowed a renewal grace period until March 1st of the following year.

SUTTER HOTEL

EXPIRATION DATE

12/31/2016

BUSINESS LOCATION

584 14TH ST

OAKLAND, CA 94612-1443

BUSINESS TYPE

PT - (Rental Hotel/Motel)



NAME

SUTTER HOTEL

MAILING ADDRESS

PO BOX 5247

WALNUT CREEK, CA, 94596-1247



THIS DOCUMENT IS ALTERATION PROTECTED AND REFLECTS FLUORESCENT FIBERS UNDER UV LIGHT

A BUSINESS TAX CERTIFICATE IS REQUIRED FOR EACH BUSINESS LOCATION AND IS NOT VALID FOR ANY OTHER ADDRESS.

YOU MAY BE REQUIRED TO OBTAIN A VALID ZONING CLEARANCE TO OPERATE YOUR BUSINESS LEGALLY. RENTAL OF REAL PROPERTY IS EXCLUDED FROM ZONING.

PUBLIC INFORMATION ABOVE THIS LINE TO BE CONSPICUOUSLY POSTED!

THIS DOCUMENT HAS A "VERIFY FIRST" TRUE WATERMARK AND VISIBLE FIBERS DISCERNIBLE FROM BOTH SIDES

CITY OF OAKLAND  
BUSINESS TAX CERTIFICATE

ACCOUNT NUMBER

2273667

The issuing of a Business Tax Certificate is for revenue purposes only. It does not relieve the taxpayer from the responsibility of complying with the requirements of any other agency of the City of Oakland and/or any other ordinance, law or regulation of the State of California, or any other governmental agency. The Business Tax Certificate expires on December 31st of each year. Per Section 85.04, 190A, of the O.M.C. you are allowed a renewal grace period until March 1st of the following year.

OAKLAND SUTTER HOTEL LP

EXPIRATION DATE

12/31/2016

BUSINESS LOCATION

584 14TH ST

OAKLAND, CA 94612-1443

BUSINESS TYPE

NI - (Rental Commercial/Industrial)



NAME

SUTTER HOTEL

MAILING ADDRESS

PO BOX 5247

WALNUT CREEK, CA, 94596-1247



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A BUSINESS TAX CERTIFICATE IS REQUIRED FOR EACH BUSINESS LOCATION AND IS NOT VALID FOR ANY OTHER ADDRESS.

YOU MAY BE REQUIRED TO OBTAIN A VALID ZONING CLEARANCE TO OPERATE YOUR BUSINESS LEGALLY. RENTAL OF REAL PROPERTY IS EXCLUDED FROM ZONING.

PUBLIC INFORMATION ABOVE THIS LINE TO BE CONSPICUOUSLY POSTED!

THIS DOCUMENT HAS A "VERIFY FIRST" TRUE WATERMARK AND VISIBLE FIBERS DISCERNIBLE FROM BOTH SIDES

**CITY OF OAKLAND**  
**BUSINESS TAX CERTIFICATE**

**ACCOUNT  
NUMBER**

00197159

The issuing of a Business Tax Certificate is for revenue purposes only. It does not relieve the taxpayer from the responsibility of complying with the requirements of any other agency of the City of Oakland and/or any other ordinance, law or regulation of the State of California, or any other governmental agency. The Business Tax Certificate expires on December 31st of each year. Per Section 8504190A, of the OMC, you are allowed a renewal grace period until March 1st the following year.

584 14TH STREET, LLC

**BUSINESS LOCATION**

584 14TH STREET  
OAKLAND, CA 94612



**EXPIRATION DATE**

12/31/2017

**BUSINESS TYPE**

P Hotel, Motel

**NAME**

584 14TH STREET, LLC

**MAILING ADDRESS**

HAWKINS WAY ACCOUNTING  
11328 LA GRANGE AVENUE  
LOS ANGELES, CA 90025

A BUSINESS TAX  
CERTIFICATE IS REQUIRED  
FOR EACH BUSINESS  
LOCATION AND IS NOT VALID  
FOR ANY OTHER ADDRESS.

ALL OAKLAND BUSINESSES  
MUST OBTAIN A VALID  
ZONING CLEARANCE TO  
OPERATE YOUR BUSINESS  
LEGALLY. RENTAL OF REAL  
PROPERTY IS EXCLUDED  
FROM ZONING.

PUBLIC INFORMATION  
ABOVE THIS LINE TO BE  
CONSPICUOUSLY POSTED

THIS DOCUMENT IS ALTERATION PROTECTED AND REFLECTS FLUORESCENT FIBERS UNDER UV LIGHT

**Exhibit C**



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year) \_\_\_\_\_  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: January 31, 2014

Must be completed by the hotel administrator

- Monthly** If your previous year's gross rents\* were over \$100,000
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Account Number: 2275090

Business Name: SUTTER HOTEL

Business Address: 584 14TH ST

IF MONTHLY	IF QUARTERLY	IF ANNUALLY
On or before the 10th day following each calendar month	On or before the last day of the month following close of each calendar quarter	On or before January 31 st for previous calendar year

1. Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 80,421
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 42,375
3. Taxable rents (line 1 minus line 2) \$ 38,046
4. Tax: 14% of line 3 \$ 5326.44
5. Credit (If previously approved by this office) \$ —
6. Net tax (line 4 minus line 5) \$ 5326.44
7. Penalty - 25% for late \$ —
8. Interest - 1% of tax per month for late payment until paid \$ —
9. Payment enclosed - total of lines 6 through 8 \$ 5326.44

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature]

Title: Bookkeeper

Date: 2/19/14

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year) \_\_\_\_\_  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: Feb 28 2014

**Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator  
 **Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999  
 **Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

Account Number: 2275090

IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month following close of each calendar quarter	IF ANNUALLY On or before January 31 st for previous calendar year
--	---	---

- 1. Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 67,245
- 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 34,133
- 3. Taxable rents (line 1 minus line 2) \$ 33,112
- 4. Tax: 14% of line 3 \$ 4635.68
- 5. Credit (if previously approved by this office) \$ -
- 6. Net tax (line 4 minus line 5) \$ 4635.68
- 7. Penalty - 25% for late \$ -
- 8. Interest - 1% of tax per month for late payment until paid \$ -
- 9. Payment enclosed - total of lines 6 through 8 \$ 4635.68

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

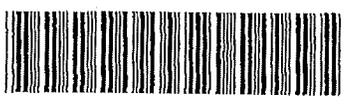
Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 3/10/14

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)

in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: March 31, 2014

Must be completed by the hotel administrator

- Monthly** If your previous year's gross rents\* were over \$100,000
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Account Number: 2275090

Business Name: SUTTER HOTEL

Business Address: 584 14TH ST

IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month following close of each calendar quarter	IF ANNUALLY On or before January 31 st for previous calendar year
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- |   |                   |                   |
|---|-------------------|-------------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                    | \$ <u>127,265</u> |                   |
| 2. Rent for occupancy by non-transient residents<br>and/or TOT exemptions (round to nearest dollar) | \$ <u>91,883</u>  |                   |
| 3. Taxable rents (line 1 minus line 2)  |                   | \$ <u>35,382</u>  |
| 4. Tax: 14% of line 3   | \$ <u>4953.48</u> |                   |
| 5. Credit (If previously approved by this office)   | \$ <u>0</u>       |                   |
| 6. Net tax (line 4 minus line 5)  |                   | \$ <u>4953.48</u> |
| 7. Penalty - 25% for late   |                   | \$ <u>—</u>       |
| 8. Interest - 1% of tax per month for late payment until paid                                       |                   | \$ <u>—</u>       |
| 9. Payment enclosed - total of lines 6 through 8  |                   | \$ <u>4953.48</u> |

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 4/10/14

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year) \_\_\_\_\_  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: April 30, 2014

- Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

Account Number: 2275090

IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month following close of each calendar quarter	IF ANNUALLY On or before January 31 st for previous calendar year
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- |  |    |                |
|--|----|----------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                 | \$ | <u>83,362</u>  |
| 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) | \$ | <u>46,778</u>  |
| 3. Taxable rents (line 1 minus line 2)   | \$ | <u>36,584</u>  |
| 4. Tax: 14% of line 3  | \$ | <u>5121.76</u> |
| 5. Credit (If previously approved by this office)  | \$ | <u>0</u>       |
| 6. Net tax (line 4 minus line 5)   | \$ | <u>5121.76</u> |
| 7. Penalty - 25% for late  | \$ | <u>—</u>       |
| 8. Interest - 1% of tax per month for late payment until paid                                    | \$ | <u>—</u>       |
| 9. Payment enclosed - total of lines 6 through 8   | \$ | <u>5121.76</u> |

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 5/9/14

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: May 31, 2014

Must be completed by the hotel administrator

- Monthly** If your previous year's gross rents\* were over \$100,000
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Account Number: 2275090

Business Name: SUTTER HOTEL

Business Address: 584 14TH ST

<b>IF MONTHLY</b> On or before the 10th day following each calendar month	<b>IF QUARTERLY</b> On or before the last day of the month following close of each calendar quarter	<b>IF ANNUALLY</b> On or before January 31 st for previous calendar year
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- 1. Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 77,117
- 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 36,055
- 3. Taxable rents (line 1 minus line 2) \$ 41,062
- 4. Tax: 14% of line 3 \$ 5748.68
- 5. Credit (If previously approved by this office) \$ 0
- 6. Net tax (line 4 minus line 5) \$ 5748.68
- 7. Penalty - 25% for late \$ 0
- 8. Interest - 1% of tax per month for late payment until paid \$ 0
- 9. Payment enclosed - total of lines 6 through 8 \$ 5748.68

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 6/10/14

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year) \_\_\_\_\_  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: JUNE 30, 2014

**Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator  
 **Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999  
 **Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL

Account Number: 2275090

Business Address: 584 14TH ST

<u>IF MONTHLY</u> On or before the 10th day following each calendar month	<u>IF QUARTERLY</u> On or before the last day of the month following close of each calendar quarter	<u>IF ANNUALLY</u> On or before January 31 st for previous calendar year
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- |  |                   |                   |
|--|-------------------|-------------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                 | \$ <u>72,056</u>  |                   |
| 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) | \$ <u>31,582</u>  |                   |
| 3. Taxable rents (line 1 minus line 2)   |                   | \$ <u>40,474.</u> |
| 4. Tax: 14% of line 3  | \$ <u>5666.36</u> |                   |
| 5. Credit (If previously approved by this office)  | \$ <u>0</u>       |                   |
| 6. Net tax (line 4 minus line 5)   |                   | \$ <u>5666-36</u> |
| 7. Penalty - 25% for late  |                   | \$ <u>0</u>       |
| 8. Interest - 1% of tax per month for late payment until paid                                    |                   | \$ <u>0</u>       |
| 9. Payment enclosed - total of lines 6 through 8   |                   | \$ <u>5666-36</u> |

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 7/10/14

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

pd ce # 9397  
8/10/14  
6230.84

If this is your final months return, please check here and provide the effective date (month, day, year) \_\_\_\_\_  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: July 31, 2014

**Monthly** If your previous year's gross rents\* were over \$100,000  
 **Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999  
 **Annually** If your previous year's gross rents\* were under \$5,000

Must be completed by the hotel administrator

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

Account Number: 2275090

IF MONTHLY	IF QUARTERLY	IF ANNUALLY
On or before the 10th day following each calendar month	On or before the last day of the month following close of each calendar quarter	On or before January 31 st for previous calendar year

- Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 77,113
- Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 32,607
- Taxable rents (line 1 minus line 2) \$ 44,506
- Tax: 14% of line 3 \$ 6230.84
- Credit (If previously approved by this office) \$ -
- Net tax (line 4 minus line 5) \$ 6230.84
- Penalty - 25% for late \$ -
- Interest - 1% of tax per month for late payment until paid \$ -
- Payment enclosed - total of lines 6 through 8 \$ 6230.84

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not **BOTH** received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 8/10/14

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year) in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: August 31, 2014

- Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL

Business Address: 584 14TH ST

Account Number: 2275090

<u>IF MONTHLY</u> On or before the 10th day following each calendar month	<u>IF QUARTERLY</u> On or before the last day of the month following close of each calendar quarter	<u>IF ANNUALLY</u> On or before January 31 st for previous calendar year
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- |  |    |                |
|--|----|----------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                 | \$ | <u>99,485</u>  |
| 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) | \$ | <u>45,990</u>  |
| 3. Taxable rents (line 1 minus line 2)   | \$ | <u>53,495</u>  |
| 4. Tax: 14% of line 3  | \$ | <u>7489.30</u> |
| 5. Credit (If previously approved by this office)  | \$ | <u>0</u>       |
| 6. Net tax (line 4 minus line 5)   | \$ | <u>7489.30</u> |
| 7. Penalty - 25% for late  | \$ | <u>—</u>       |
| 8. Interest - 1% of tax per month for late payment until paid                                    | \$ | <u>—</u>       |
| 9. Payment enclosed - total of lines 6 through 8   | \$ | <u>7489.30</u> |

**Note: A separate return must be filed for each reporting period and each business location.**

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 8/10/14

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: September 30, 2014  
Must be completed by the hotel administrator

- Monthly** If your previous year's gross rents\* were over \$100,000
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Account Number: 2275090

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

<b>IF MONTHLY</b> On or before the 10th day following each calendar month	<b>IF QUARTERLY</b> On or before the last day of the month following close of each calendar quarter	<b>IF ANNUALLY</b> On or before January 31 st for previous calendar year
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- |  |                   |
|--|-------------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                 | \$ <u>77,230</u>  |
| 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) | \$ <u>26,632</u>  |
| 3. Taxable rents (line 1 minus line 2)   | \$ <u>50,598</u>  |
| 4. Tax: 14% of line 3  | \$ <u>7083.72</u> |
| 5. Credit (If previously approved by this office)  | \$ <u>0</u>       |
| 6. Net tax (line 4 minus line 5)   | \$ <u>7083.72</u> |
| 7. Penalty - 25% for late  | \$ <u>0</u>       |
| 8. Interest - 1% of tax per month for late payment until paid                                    | \$ <u>0</u>       |
| 9. Payment enclosed - total of lines 6 through 8   | \$ <u>7083.72</u> |

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 10/10/14

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year) \_\_\_\_\_  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: October 31, 2014

**Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator  
 **Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999  
 **Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL

Account Number: 2275090

Business Address: 584 14TH ST

<b>IF MONTHLY</b> On or before the 10th day following each calendar month	<b>IF QUARTERLY</b> On or before the last day of the month following close of each calendar quarter	<b>IF ANNUALLY</b> On or before January 31 st for previous calendar year
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- |  |    |                |
|--|----|----------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                 | \$ | <u>85,987</u>  |
| 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) | \$ | <u>29,743</u>  |
| 3. Taxable rents (line 1 minus line 2)   | \$ | <u>56,244</u>  |
| 4. Tax: 14% of line 3  | \$ | <u>7874.16</u> |
| 5. Credit (If previously approved by this office)  | \$ | <u>0</u>       |
| 6. Net tax (line 4 minus line 5)   | \$ | <u>7874.16</u> |
| 7. Penalty - 25% for late  | \$ | <u>-</u>       |
| 8. Interest - 1% of tax per month for late payment until paid                                    | \$ | <u>-</u>       |
| 9. Payment enclosed - total of lines 6 through 8   | \$ | <u>7874.16</u> |

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not **BOTH** received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 11/10/14

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

pd cl # 9477  
# 7420  
12/10/14

If this is your final months return, please check here and provide the effective date (month, day, year) \_\_\_\_\_  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: November 30, 2014

- Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL

Account Number: 2275090

Business Address: 584 14TH ST

<u>IF MONTHLY</u> On or before the 10th day following each calendar month	<u>IF QUARTERLY</u> On or before the last day of the month following close of each calendar quarter	<u>IF ANNUALLY</u> On or before January 31 st for previous calendar year
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- |  |    |                |
|--|----|----------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                 | \$ | <u>80,377-</u> |
| 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) | \$ | <u>27,377</u>  |
| 3. Taxable rents (line 1 minus line 2)   | \$ | <u>53,000</u>  |
| 4. Tax: 14% of line 3  | \$ | <u>7420</u>    |
| 5. Credit (If previously approved by this office)  | \$ | <u>-</u>       |
| 6. Net tax (line 4 minus line 5)   | \$ | <u>7420</u>    |
| 7. Penalty - 25% for late  | \$ | <u>-</u>       |
| 8. Interest - 1% of tax per month for late payment until paid                                    | \$ | <u>-</u>       |
| 9. Payment enclosed - total of lines 6 through 8   | \$ | <u>7420</u>    |

**Note: A separate return must be filed for each reporting period and each business location.**

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

*I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.*

Signed: [Signature] Title: Bookkeeper Date: 12/10/14

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year) in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: December 31, 2014

- Monthly** If your previous year's gross rents\* were over \$100,000
  - Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
  - Annually** If your previous year's gross rents\* were under \$5,000
- Must be completed by the hotel administrator

Business Name: SUTTER HOTEL

Business Address: 584 14TH ST

Account Number: 2275090

IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month following close of each calendar quarter	IF ANNUALLY On or before January 31 st for previous calendar year
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- |  |                   |                   |
|--|-------------------|-------------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                 | \$ <u>85,226</u>  |                   |
| 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) | \$ <u>32,465</u>  |                   |
| 3. Taxable rents (line 1 minus line 2)   |                   | \$ <u>52,761</u>  |
| 4. Tax: 14% of line 3  | \$ <u>7386.54</u> |                   |
| 5. Credit (If previously approved by this office)  | \$ <u>—</u>       |                   |
| 6. Net tax (line 4 minus line 5)   |                   | \$ <u>7386.54</u> |
| 7. Penalty - 25% for late  |                   | \$ <u>—</u>       |
| 8. Interest - 1% of tax per month for late payment until paid                                    |                   | \$ <u>—</u>       |
| 9. Payment enclosed - total of lines 6 through 8   |                   | \$ <u>7386.54</u> |

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 1/19/15

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year) in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: January 31, 2015

- Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

Account Number: 2275090

IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month following close of each calendar quarter	IF ANNUALLY On or before January 31 st for previous calendar year
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1. Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 84,335
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 30,200
3. Taxable rents (line 1 minus line 2) \$ 54,055
4. Tax: 14% of line 3 \$ 7567.70
5. Credit (If previously approved by this office) \$ -
6. Net tax (line 4 minus line 5) \$ 7567.70
7. Penalty - 25% for late \$ -
8. Interest - 1% of tax per month for late payment until paid \$ -
9. Payment enclosed - total of lines 6 through 8 \$ 7567.70

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 2/9/15

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: February 28, 2015

**Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator  
 **Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999  
 **Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL

Account Number: 2275090

Business Address: 584 14TH ST

<u>IF MONTHLY</u> On or before the 10th day following each calendar month	<u>IF QUARTERLY</u> On or before the last day of the month following close of each calendar quarter	<u>IF ANNUALLY</u> On or before January 31 st for previous calendar year
---	--	--

- |  |    |                |
|--|----|----------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                 | \$ | <u>84,029</u>  |
| 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) | \$ | <u>30,076</u>  |
| 3. Taxable rents (line 1 minus line 2)   | \$ | <u>53,953</u>  |
| 4. Tax: 14% of line 3  | \$ | <u>7553.42</u> |
| 5. Credit (If previously approved by this office)  | \$ | <u>—</u>       |
| 6. Net tax (line 4 minus line 5)   | \$ | <u>7553.42</u> |
| 7. Penalty - 25% for late  | \$ | <u>—</u>       |
| 8. Interest - 1% of tax per month for late payment until paid                                    | \$ | <u>—</u>       |
| 9. Payment enclosed - total of lines 6 through 8   | \$ | <u>7553.42</u> |

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not **BOTH** received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 3/10/15

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: March 31, 2015  
Must be completed by the hotel administrator

- Monthly** If your previous year's gross rents\* were over \$100,000
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Account Number: 2275090

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month following close of each calendar quarter	IF ANNUALLY On or before January 31 st for previous calendar year
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- 1. Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 95,379
- 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 32,211
- 3. Taxable rents (line 1 minus line 2) \$ 63,168
- 4. Tax: 14% of line 3 \$ 8843.52
- 5. Credit (If previously approved by this office) \$ 0
- 6. Net tax (line 4 minus line 5) \$ 8843.52
- 7. Penalty - 25% for late \$ 0
- 8. Interest - 1% of tax per month for late payment until paid \$ 0
- 9. Payment enclosed - total of lines 6 through 8 \$ 8843.52

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 4/9/15

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

2504 Day

If this is your final months return, please check here and provide the effective date (month, day, year)

in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: April 30, 2015

- Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

Account Number: 2275090

IF MONTHLY	IF QUARTERLY	IF ANNUALLY
On or before the 10th day following each calendar month	On or before the last day of the month following close of each calendar quarter	On or before January 31 st for previous calendar year

- 1. Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 88,847
- 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 31,116
- 3. Taxable rents (line 1 minus line 2) \$ 57,731
- 4. Tax: 14% of line 3 \$ 8082.34
- 5. Credit (if previously approved by this office) \$ —
- 6. Net tax (line 4 minus line 5) \$ 8082.34
- 7. Penalty - 25% for late \$ —
- 8. Interest - 1% of tax per month for late payment until paid \$ —
- 9. Payment enclosed - total of lines 6 through 8 \$ 8082.34

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not **BOTH** received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Buck keeper Date: 5/8/15

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



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# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)

in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: May 31 2015

Must be completed by the hotel administrator

- Monthly If your previous year's gross rents\* were over \$100,000
- Quarterly If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually If your previous year's gross rents\* were under \$5,000

Account Number: 2275090

Business Name: SUTTER HOTEL

Business Address: 584 14TH ST

IF MONTHLY	IF QUARTERLY	IF ANNUALLY
On or before the 10th day following each calendar month	On or before the last day of the month following close of each calendar quarter	On or before January 31 st for previous calendar year

1. Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 88,614
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 27,088
3. Taxable rents (line 1 minus line 2) \$ 61,526
4. Tax: 14% of line 3 \$ 8613.64
5. Credit (If previously approved by this office) \$ -
6. Net tax (line 4 minus line 5) \$ 8613.64
7. Penalty - 25% for late \$ -
8. Interest - 1% of tax per month for late payment until paid \$ -
9. Payment enclosed - total of lines 6 through 8 \$ 8613.64

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 6/10/15

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTIAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: June 30, 2015

**Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator  
 **Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999  
 **Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL

Account Number: 2275090

Business Address: 584 14TH ST

<u>IF MONTHLY</u> On or before the 10th day following each calendar month	<u>IF QUARTERLY</u> On or before the last day of the month following close of each calendar quarter	<u>IF ANNUALLY</u> On or before January 31 st for previous calendar year
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- |  |                   |                   |
|--|-------------------|-------------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                 | \$ <u>96,145</u>  |                   |
| 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) | \$ <u>31,911</u>  |                   |
| 3. Taxable rents (line 1 minus line 2)   |                   | \$ <u>64,234</u>  |
| 4. Tax: 14% of line 3  | \$ <u>8992.76</u> |                   |
| 5. Credit (If previously approved by this office)  | \$ <u>—</u>       |                   |
| 6. Net tax (line 4 minus line 5)   |                   | \$ <u>8992.76</u> |
| 7. Penalty - 25% for late  |                   | \$ <u>—</u>       |
| 8. Interest - 1% of tax per month for late payment until paid                                    |                   | \$ <u>—</u>       |
| 9. Payment enclosed - total of lines 6 through 8   |                   | \$ <u>8992.76</u> |

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 7/8/15

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: July 31, 2015

- Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

Account Number: 2275090

IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month following close of each calendar quarter	IF ANNUALLY On or before January 31 st for previous calendar year
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1. Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 103,664
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 36,148
3. Taxable rents (line 1 minus line 2) \$ 67,516
4. Tax: 14% of line 3 \$ 9452.24
5. Credit (If previously approved by this office) \$ —
6. Net tax (line 4 minus line 5) \$ 9452.24
7. Penalty - 25% for late \$ —
8. Interest - 1% of tax per month for late payment until paid \$ —
9. Payment enclosed - total of lines 6 through 8 \$ 9452.24

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

*A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.*

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 8/10/15

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: August 31, 2015

- Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL

Account Number: 2275090

Business Address: 584 14TH ST

<u>IF MONTHLY</u> On or before the 10th day following each calendar month	<u>IF QUARTERLY</u> On or before the last day of the month following close of each calendar quarter	<u>IF ANNUALLY</u> On or before January 31 st for previous calendar year
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1. Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 95,945
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 26,777
3. Taxable rents (line 1 minus line 2) \$ 69,168
4. Tax: 14% of line 3 \$ 9683.52
5. Credit (If previously approved by this office) \$ —
6. Net tax (line 4 minus line 5) \$ 9683.52
7. Penalty - 25% for late \$ —
8. Interest - 1% of tax per month for late payment until paid \$ —
9. Payment enclosed - total of lines 6 through 8 \$ 9683.52

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 9/9/15

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: September 30, 2015  
Must be completed by the hotel administrator

- Monthly** If your previous year's gross rents\* were over \$100,000
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Account Number: 2275090

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

IF MONTHLY On or before the 10th day following each calendar month	IF QUARTERLY On or before the last day of the month following close of each calendar quarter	IF ANNUALLY On or before January 31 st for previous calendar year
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1. Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 96,606
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 31,150
3. Taxable rents (line 1 minus line 2) \$ 65,456
4. Tax: 14% of line 3 \$ 9163.84
5. Credit (If previously approved by this office) \$ 6
6. Net tax (line 4 minus line 5) \$ 9163.84
7. Penalty - 25% for late \$ -
8. Interest - 1% of tax per month for late payment until paid \$ -
9. Payment enclosed - total of lines 6 through 8 \$ 9163.84

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 10/8/15

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: October 31, 2015

**Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator  
 **Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999  
 **Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL

Account Number: 2275090

Business Address: 584 14TH ST

<u>IF MONTHLY</u> On or before the 10th day following each calendar month	<u>IF QUARTERLY</u> On or before the last day of the month following close of each calendar quarter	<u>IF ANNUALLY</u> On or before January 31 st for previous calendar year
---	--	--

- |  |    |                  |
|--|----|------------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                 | \$ | <u>98,242</u>    |
| 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) | \$ | <u>25,596</u>    |
| 3. Taxable rents (line 1 minus line 2)   | \$ | <u>72,646</u>    |
| 4. Tax: 14% of line 3  | \$ | <u>10,170.44</u> |
| 5. Credit (If previously approved by this office)  | \$ | <u>-</u>         |
| 6. Net tax (line 4 minus line 5)   | \$ | <u>10,170.44</u> |
| 7. Penalty - 25% for late  | \$ | <u>-</u>         |
| 8. Interest - 1% of tax per month for late payment until paid                                    | \$ | <u>-</u>         |
| 9. Payment enclosed - total of lines 6 through 8   | \$ | <u>10,170.44</u> |

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 11/10/15

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)

in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: November 30, 2015

Must be completed by the hotel administrator

- Monthly** If your previous year's gross rents\* were over \$100,000
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL

Account Number: 2275090

Business Address: 584 14TH ST

<u>IF MONTHLY</u> On or before the 10th day following each calendar month	<u>IF QUARTERLY</u> On or before the last day of the month following close of each calendar quarter	<u>IF ANNUALLY</u> On or before January 31 st for previous calendar year
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1. Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 81,246
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 22,535
3. Taxable rents (line 1 minus line 2) \$ 58,711
4. Tax: 14% of line 3 \$ 8219.54
5. Credit (If previously approved by this office) \$ 0
6. Net tax (line 4 minus line 5) \$ 8219.54
7. Penalty - 25% for late \$ -
8. Interest - 1% of tax per month for late payment until paid \$ -
9. Payment enclosed - total of lines 6 through 8 \$ 8219.54

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 12/18/15

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year) in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: December 31, 2015

- Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL

Business Address: 584 14TH ST

Account Number: 2275090

IF MONTHLY	IF QUARTERLY	IF ANNUALLY
On or before the 10th day following each calendar month	On or before the last day of the month following close of each calendar quarter	On or before January 31 st for previous calendar year

1. Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 99,156.80
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 32,349.00
3. Taxable rents (line 1 minus line 2) \$ 66,807.80
4. Tax: 14% of line 3 \$ 9352.98
5. Credit (If previously approved by this office) \$ —
6. Net tax (line 4 minus line 5) \$ 9352.98
7. Penalty - 25% for late \$ —
8. Interest - 1% of tax per month for late payment until paid \$ —
9. Payment enclosed - total of lines 6 through 8 \$ 9352.98

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: bookkeeper Date: 1/9/16

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: January 31, 2016

**Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator  
 **Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999  
 **Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

Account Number: 2275090

<u>IF MONTHLY</u> On or before the 10th day following each calendar month	<u>IF QUARTERLY</u> On or before the last day of the month following close of each calendar quarter	<u>IF ANNUALLY</u> On or before January 31 st for previous calendar year
---	--	--

- |  |    |                |
|--|----|----------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                 | \$ | <u>84,624</u>  |
| 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) | \$ | <u>16,910</u>  |
| 3. Taxable rents (line 1 minus line 2)   | \$ | <u>67,714</u>  |
| 4. Tax: 14% of line 3  | \$ | <u>9479.96</u> |
| 5. Credit (If previously approved by this office)  | \$ | <u>—</u>       |
| 6. Net tax (line 4 minus line 5)   | \$ | <u>9479.96</u> |
| 7. Penalty - 25% for late  | \$ | <u>—</u>       |
| 8. Interest - 1% of tax per month for late payment until paid                                    | \$ | <u>—</u>       |
| 9. Payment enclosed - total of lines 6 through 8   | \$ | <u>9479.96</u> |

**Note: A separate return must be filed for each reporting period and each business location.**

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 2/10/16

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

FEB

If this is your final months return, please check here and provide the effective date (month, day, year) in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: February 29, 2016

**Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator  
 **Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999  
 **Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

Account Number: 2275090

<b>IF MONTHLY</b> On or before the 10th day following each calendar month	<b>IF QUARTERLY</b> On or before the last day of the month following close of each calendar quarter	<b>IF ANNUALLY</b> On or before January 31 st for previous calendar year
--	--	---

1. Gross rent* for occupancy of rooms (round to nearest dollar)*	\$ <u>88,963</u>	
2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar)	\$ <u>28,384</u>	
3. Taxable rents (line 1 minus line 2)		\$ <u>60,579</u>
4. Tax: 14% of line 3	\$ <u>8481.06</u>	
5. Credit (If previously approved by this office)	\$ <u>-</u>	
6. Net tax (line 4 minus line 5)		\$ <u>8481.06</u>
7. Penalty - 25% for late		\$ <u>-</u>
8. Interest - 1% of tax per month for late payment until paid		\$ <u>-</u>
9. Payment enclosed - total of lines 6 through 8		\$ <u>8481.06</u>

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not **BOTH** received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 3/9/16

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only

MARK



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: March 31, 2016 Must be completed by the hotel administrator

- Monthly** If your previous year's gross rents\* were over \$100,000
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Account Number: 2275090

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

<b>IF MONTHLY</b> On or before the 10th day following each calendar month	<b>IF QUARTERLY</b> On or before the last day of the month following close of each calendar quarter	<b>IF ANNUALLY</b> On or before January 31 st for previous calendar year
--	--	---

- 1. Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 93,997
- 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 29,145
- 3. Taxable rents (line 1 minus line 2) \$ 64,852
- 4. Tax: 14% of line 3 \$ 9079.28
- 5. Credit (If previously approved by this office) \$ -
- 6. Net tax (line 4 minus line 5) \$ 9079.28
- 7. Penalty - 25% for late \$ -
- 8. Interest - 1% of tax per month for late payment until paid \$ -
- 9. Payment enclosed - total of lines 6 through 8 \$ 9079.28

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not **BOTH** received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 4/10/16

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only

4/10/16 was Sunday



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year) in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: April 30, 2016

- Monthly** If your previous year's gross rents\* were over \$100,000 Must be completed by the hotel administrator
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

Account Number: 2275090

<b>IF MONTHLY</b> On or before the 10th day following each calendar month	<b>IF QUARTERLY</b> On or before the last day of the month following close of each calendar quarter	<b>IF ANNUALLY</b> On or before January 31 st for previous calendar year
--	--	---

- |  |                     |
|--|---------------------|
| 1. Gross rent* for occupancy of rooms (round to nearest dollar)*                                 | \$ <u>92,218.50</u> |
| 2. Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) | \$ <u>18,435.50</u> |
| 3. Taxable rents (line 1 minus line 2)   | \$ <u>73,783.00</u> |
| 4. Tax: 14% of line 3  | \$ <u>10,329.62</u> |
| 5. Credit (if previously approved by this office)  | \$ <u>—</u>         |
| 6. Net tax (line 4 minus line 5)   | \$ <u>10,329.62</u> |
| 7. Penalty - 25% for late  | \$ <u>—</u>         |
| 8. Interest - 1% of tax per month for late payment until paid                                    | \$ <u>—</u>         |
| 9. Payment enclosed - total of lines 6 through 8   | \$ <u>10,329.62</u> |

Note: A separate return must be filed for each reporting period and each business location.

Please make check payable to: "City of Oakland - Transient Occupancy Tax"

Mail original completed return with payment to the above address and make a copy for your records. DO NOT change any of the pre-printed information on this Transient Occupancy Tax Declaration.

A payment is considered delinquent if both the payment and subsequent Transient Occupancy Return are not BOTH received on or before the due date.

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 5/9/16

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)

in which you discontinued operation of the business location listed below. \_\_\_\_\_

## RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: October 31, 2016

- Monthly** If your previous year's gross rents\* were over \$100,000
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Must be completed by the hotel administrator

Business Name: SUTTER HOTEL

Account Number: 2275090

Business Address: 584 14TH ST

IF MONTHLY	IF QUARTERLY	IF ANNUALLY
On or before the 10th day following each calendar month	On or before the last day of the month following close of each calendar quarter	On or before January 31 st for previous calendar year

- Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 80,162
- Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 5,435
- Taxable rents (line 1 minus line 2) \$ 74,727
- Tax: 14% of line 3 \$ 10,461.78

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OAKLAND, CA 94612

Certified Mail Fee \$2.30

Extra Services & Fees (check box, add fee to postage)

- Return Receipt (hardcopy) \$0.00
- Return Receipt (electronic) \$0.00
- Certified Mail Restricted Delivery \$0.00
- Adult Signature Required \$0.00
- July Signature Restricted Delivery \$0.00

Postage \$0.47

Total Postage and Fees \$3.77

Sent To: City of Oakland - OT Div

Street and Apt. No., or PO Box No. 150 Frank Ogawa Pl. Suite 5342

City, State, ZIP+4® Oakland CA 94612

PS Form 3800, April 2015 PSN 7530-02-000-9007 See Reverse for Instructions

: until paid

reporting period and each business location.

**- Transient Occupancy Tax**

above address and make a copy for your records. DO NOT change Occupancy Tax Declaration.

ment and subsequent Transient Occupancy Return are not **BOTH**

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 11/10/16

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)

in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: November 30, 2016

Must be completed by the hotel administrator

- Monthly** If your previous year's gross rents\* were over \$100,000
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL

Account Number: 2275090

Business Address: 584 14TH ST

IF MONTHLY	IF QUARTERLY	IF ANNUALLY
On or before the 10th day following each calendar month	On or before the last day of the month following close of each calendar quarter	On or before January 31 st for previous calendar year

- Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 77,071
- Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 2246
- Taxable rents (line 1 minus line 2) \$ 74825
- Tax: 14% of line 3 \$ 10,475.50

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**OFFICIAL USE**

Certified Mail Fee \$ \_\_\_\_\_

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$ \_\_\_\_\_
- Return Receipt (electronic) \$ \_\_\_\_\_
- Certified Mail Restricted Delivery \$ \_\_\_\_\_
- Adult Signature Required \$ \_\_\_\_\_
- Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

City of Oakland, CA 94612  
150 Frank H. Ogawa Pl. Suite 5342  
Oakland CA 94612

PS Form 3800, April 2015 PSN 7530-02-000-907 See Reverse for Instructions

WALNUT CREEK CA 94598  
DEC - 9 2016

until paid

reporting period and each business location.

**Transient Occupancy Tax**

above address and make a copy for your records. DO NOT change Occupancy Tax Declaration.

present and subsequent Transient Occupancy Return are not BOTH

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 12/9/16

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only



# CITY OF OAKLAND

REVENUE DIVISION  
150 Frank H. Ogawa Plaza, Suite 5342  
Oakland California 94612

If this is your final months return, please check here and provide the effective date (month, day, year)  
in which you discontinued operation of the business location listed below. \_\_\_\_\_

RETURN OF TRANSIENT OCCUPANCY TAX FOR THE PERIOD ENDING: December 31, 2016

Must be completed by the hotel administrator

- Monthly** If your previous year's gross rents\* were over \$100,000
- Quarterly** If your previous year's gross rents\* were between \$5,000 and \$99,999
- Annually** If your previous year's gross rents\* were under \$5,000

Business Name: SUTTER HOTEL  
Business Address: 584 14TH ST

Account Number: 2275090

IF MONTHLY	IF QUARTERLY	IF ANNUALLY
On or before the 10th day following each calendar month	On or before the last day of the month following close of each calendar quarter	On or before January 31 st for previous calendar year

- Gross rent\* for occupancy of rooms (round to nearest dollar)\* \$ 52,501
- Rent for occupancy by non-transient residents and/or TOT exemptions (round to nearest dollar) \$ 360
- Taxable rents (line 1 minus line 2) \$ 52,141.
- Tax: 14% of line 3 \$ 7299.74

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OAKLAND, CA 94612

**PROHIBITED USE**

Certified Mail Fee \$3.30 0235 06

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$0.00
- Return Receipt (electronic) \$0.00
- Certified Mail Restricted Delivery \$0.00
- Adult Signature Required \$0.00
- Adult Signature Restricted Delivery \$0.00

Postage \$0.47

Total Postage and Fees \$3.77

Sent to City of Oakland - TOT PW  
Street and Apt. No., or PO Box No. 150 Frank Ogawa A. Suite 5342  
City, State, ZIP+4® Oakland CA 94612

Postmark Here: 01/09/2017

until paid

\$ 7299.74

\$ 7299.74

reporting period and each business location.

**- Transient Occupancy Tax -**

above address and make a copy for your records. DO NOT change Occupancy Tax Declaration.

rent and subsequent Transient Occupancy Return are not **BOTH**

I declare under penalty of perjury that to the best of my knowledge all information contained in this statement is true and correct.

Signed: [Signature] Title: Bookkeeper Date: 1/9/17

\* GROSS RENT INCLUDES THE TOTAL OF TRANSIENT PLUS RESIDENTAL (NON-TRANSIENT) INCOME.



For Office Use Only

**Exhibit D**

43/27

APPLICANT'S REPORT OF RESIDENTIAL BUILDING RECORD

Form TYPE - FRONT of Information

1. Address of RESIDENTIAL BUILDING to be Reported on is: **504 - 14th Street, Oakland, California**

2. Name of Owner: **Rayard Mooton**

3. Name of Applicant: **Rayard Mooton**

4. Total number of Habitable Buildings on Premises: **ONE**

5. Total Number of Accessory Buildings or Porches: **ONE**

6. Existing Basement or Celler Yes  No  7. Habitable Basement or Celler Yes  No  8. Number of Stories: **SEVEN**

9. Building Type (wood frame, stone, brick, etc.): **Small concrete brick (Class "A")**

10. Owner occupied Yes  No

11. Number of Dwelling Units or Apartments: **102** Number of Housekeeping Units/Apts.: **ONE**

12. Number of Hotel or Sleeping Rooms: **102** TOTAL Number of Bedrooms: **ONE**

13. TOTAL Number of Habitable Rooms (includes bath, toilet, laundry, utility rooms and closets): **102**

DEPARTMENT USE ONLY

Report Number: **93055**

Date Submitted: **3/9/74**

Fee Receipt No: **51003**

Date Completed: **3/8/74**

By: **SEA - Willmore**

14. CERTIFICATE

I certify that I am the APPLICANT named herein, that I have furnished correct and true information regarding the residential building with respect to planning and zoning, and that the information herein furnished is true and correct to the best of my knowledge and belief.

Date: **3/9/74** Signature: **/s/ Rayard Mooton**

Telephone No.: **832-2079** Mailing Address: **c/o Martin & Wood Realty Co. 309 - 12th Street Oakland, California 94612**

PLEASE DO NOT WRITE BELOW THIS LINE (Department use only). PLEASE LEAVE FORM INTACT WITH CARBON!

REPORT OF RESIDENTIAL BUILDING RECORD

1. Report on Residential Building Located at: **504/505 - 14th Street**

2. Zone District: **C-51** Fire District: **1** 3. Date of Original Building Construction: **2/26/1913** Type: **Hotel**

4. Original Occupancy or Use: **Seven-story, Steel Frame Hotel.**

5. Building Permits Issued:

Permit No.	Date	Special Conditions (Variances, etc.)	Permit No.	Date	
Original	32590	Date 2/26/13	Alters.	33072	Date 7/10/44
Alters.	36634	Date 2/11/37	Alters.	36329	Date 6/9/45
Alters.	36641	Date 3/3/37	Alters.	38370	Date 8/31/45
Alters.	39884	Date 3/13/41	Alters.	38619	Date 11/13/45

6. Survey on File: Yes  No  7. Certificate of Occupancy issued: Yes  No  Date: **---** Number: **---** See next page for other permits.

8. Total Number of Habitable Buildings on Premises: **ONE**

9. Total Number of Accessory Buildings or Porches: **NONE**

10. Total Number of Habitable Rooms: **One-hundred & two**

11. City Zone District No.: **C-51** Fire District: **1**

12. City: **Oakland** State: **Calif.** Type: **Hotel**

13. PRESENT AUTHORIZED OCCUPANCY OR USE (based on occupancy from City Records): **One-hundred and two guest-rooms and six habitable apartment rooms in the Penthouse of the Seven-story Hotel. NOTE: Outstanding Building Letter dated 7/10/44. Violations have not been corrected.**

RECORDING DIVISION OFFICIAL  
SEA - Willmore

Re: 584 - 14th Street

- 2 -

September 29, 1975

The survey inspection was completed of the seven-story, Type III, 50 x 104, brick and masonry-sided building which was erected as a Hotel under building permit # 12590 issued on February 26, 1913. At the time of the survey the building was being occupied as originally intended.

NOTE: This letter indicates only those deficiencies that were visible during the survey. Alterations, repairs, or additions to the structure involving building, electrical, plumbing, or mechanical changes may disclose further work to be completed before this structure meets all applicable codes and is eligible for a Certificate of Occupancy.

The following deficiencies were noted and must be corrected:

1. The following conditions are in violation of the fire safety regulations pertaining to protection of stairways and corridors in Hotels three (3) or more stories in height. Chapter 8 OBC.
  - a. The interior stairways are not protected in accordance with one of the following alternatives. Provide one of three approved methods. Section H-805 (b) OBC.

Mr. Baynard Wooten  
524 14th Street  
September 16, 1968  
Page two

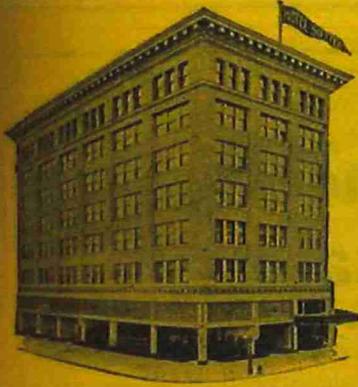
(RE: 584 - 14th Street)

The survey inspection was completed of the seven-story, Type III, 50' x 104' masonry-sided building occupying the entire lot, and which was erected as a hotel, under building permit #32590 issued on February 26, 1913. At the time of the survey the building was being occupied as originally intended.

The following deficiencies were noted and must be corrected:

1. The electric fuses in the fuse panel boxes (all floors) are unapproved for use with the size of wire being used. Section 1103.5 OMC, Table 210-25 NEC. Replace the existing fuses to conform with these requirements. (Type S non-tamperable fuses recommended.)
2. The electric wall switch in the bathroom of Room #707 is readily accessible from the tub or shower. Sections 1103.3 OMC and 410-95 NEC. Relocate or properly ground.
3. Electrical violations of a hazardous nature exists throughout the structure. These violations consist of unapproved pull chain, unapproved stapled wiring and illegal outlets, defective outlets and defective light fixtures. Sections 1103.5 OMC and 1103.5 NEC.

**Exhibit E**



# HOTEL SUTTER

ABSOLUTELY FIREPROOF

A REAL HIGH CLASS HOTEL  
MODERN IN EVERY RESPECT

Rates \$1.50 to \$3.50 Per Day

S. C. WILLIAMS, Prop.

14th St. at Jefferson

Phone Lakeside 1620

OAKLAND, CALIF.

PERSONAL MENTION

Text

Why may this text contain mistakes?  
Correct this text

PERSONAL MENTION

A. W. Johnson of San Diego is spending a few days in this city. F. W. Wansner of Oakland registered at the Hotel Sutter yesterday. A. N. Harvey and wife of Nevada City are visiting friends in Sacramento. C. H. Frank and F. R. Short of San Francisco are stopping at the Hotel Sutter. Miss F. M. White and Miss A. E. White of Oakland are registered at the Hotel Sacramento. James Parker and M. M. Potts of Butte City registered at the Golden Eagle hotel yesterday. Fred Hartsook, J. R. Allen, C. C. Haskell and son of San Francisco are registered at the Hotel Land. J. Johnson and wife of Fremont, O., who are touring the coast, are stopping at the Golden Eagle hotel. Mrs. F. H. Oakes and her daughter Miss Margaret Oakes of Oakland are stopping at the Golden Eagle hotel. J. S. Danner and wife of Placerville registered at the Hotel Sutter yesterday, en route from Sisson to their home. V. C. Bryant of Berkeley who is in this city on business connected with the coming state fair is registered at the Hotel Sutter. L. A. Irish and wife from Hollywood are stopping at the Hotel Sacramento. G. A. Slacke of San Francisco is at the Hotel Sacramento. Mrs. Sarah A. Bates with her daughters, Mrs. Eliza Devin and Mrs. E. Bucknell, are enjoying their vacation in their bungalow at Oceano beach.

Comments (0)

PERSONAL MENTION

A. W. Johnson of San Diego is spending a few days in this city.

F. W. Wansner of Oakland registered at the Hotel Sutter yesterday.

A. N. Harvey and wife of Nevada City are visiting friends in Sacramento.

C. H. Frank and F. R. Short of San Francisco are stopping at the Hotel Sutter.

Miss F. M. White and Miss A. E. White of Oakland are registered at the Hotel Sacramento.

James Parker and M. M. Potts of Butte City registered at the Golden Eagle hotel yesterday.

Fred Hartsook, J. R. Allen, C. C. Haskell and son of San Francisco are registered at the Hotel Land.

J. Johnson and wife of Fremont, O., who are touring the coast, are stopping at the Golden Eagle hotel.

Mrs. F. H. Oakes and her daughter Miss Margaret Oakes of Oakland are stopping at the Golden Eagle hotel.

J. S. Danner and wife of Placerville registered at the Hotel Sutter yesterday, en route from Sisson to their home.

V. C. Bryant of Berkeley who is in this city on business connected with the coming state fair is registered at the Hotel Sutter.

## **Exhibit F**

**From:** [Beth Noah](#)  
**To:** [Alexis Pelosi](#)  
**Subject:** FW: Your Oakland, CA public records request 18-782 has been closed.  
**Date:** Wednesday, May 2, 2018 4:21:26 PM

---

See Below...no "deemed approved" list

**From:** Oakland CA Public Records <support@nextrequest.com>  
**Sent:** Wednesday, May 2, 2018 3:14 PM  
**To:** Beth Noah <beth@pelosilawgroup.com>  
**Subject:** Your Oakland, CA public records request 18-782 has been closed.

-- Write ABOVE THIS LINE to post a message that will be sent to staff. --

### [Oakland, CA Public Records](#)

Record request #18-782 has been closed. The closure reason supplied was:

There is no official "deemed approved" hotel list. Thank you.

[View Request #18-782](#)

*Too many emails?* [Change your email settings here](#)

*Trouble with the request button?* Copy the URL below into your web browser:

<http://oaklandca.nextrequest.com/requests/18-782>

*Questions about your request?* Reply to this email or sign in to contact staff at Oakland, CA.

*Technical support:* See our [help page](#)

# EXHIBIT B

# CITY OF OAKLAND



DALZIEL BUILDING • 250 FRANK H. OGAWA PLAZA • SUITE 3315 • OAKLAND, CALIFORNIA 94612

Planning and Building Department  
Bureau of Planning

(510) 238-3941  
FAX (510) 238-6538  
TDD (510) 238-3254

## RESIDENTIAL HOTEL STATUS DETERMINATION

October 21, 2019

584 14<sup>th</sup> Street, LLC  
301 N. Canon Drive, Suite 305  
Beverly Hills, CA 90210

Re: **DET190031; 584 14<sup>th</sup> Street; APN: 003 006901700**

Dear Applicant,

This letter provides a determination regarding the status of the preliminarily identified Residential Hotel located at 584 14<sup>th</sup> Street, currently known as the Sutter Hotel, pursuant to Planning Code Section 17.153.030.

The City received your timely application for a Statement of Exemption on April 2, 2019. After the City issued a follow-up incomplete letter, you provided additional information. Based on the information you have provided as well as additional City records as described in the analysis below, the Bureau of Planning has determined that the building at 584 14<sup>th</sup> Street is a Residential Hotel, as defined in Planning Code Section 17.153.020, and is subject to the regulations in Planning Code Chapter 17.153. Therefore, the application for the certification of an Exemption has been **DENIED** and you are **required to file an Initial Usage Report** by **January 20, 2020**. Additional details regarding the analysis and requirements are included below.

### DISCUSSION

As outlined below, the building at 584 14<sup>th</sup> Street has had a long history as a Residential Hotel, and has been identified in multiple reports by the Oakland Housing and Community Development Department as being a Residential Hotel:

- The 1985 City of Oakland Cultural Heritage Survey shows that this building was built in 1913 as a hotel. The earliest available Oakland Planning Code, adopted February 5, 1935 and revised to June 1, 1948, provides a definition of Hotel, which "*is a building or portion thereof containing six (6) or more sleeping rooms which are occupied for compensation by individuals and in which rooms no provision is made for cooking.*" The definition does not limit or restrict the length of stay, as is seen in later definitions, and therefore is silent as to whether guests could utilize the sleeping rooms as their primary residence. (Attachment A).

- The Commercial Building Record from Alameda County, which has input dates ranging from 1954 to 2006, labels the property as “Sutter ‘Hotel’ = SRO/APTS” (Attachment B). The single room occupancy (SRO) units are indicated as being on floors two through seven, with the apartment units on the eighth floor.
- A 1985 report entitled “Residential Hotels in Downtown Oakland” and prepared by the City of Oakland Office of Community Development identifies the Sutter Hotel as being a Residential Hotel. At the time this report was created, the Sutter Hotel was combined with another Residential Hotel, the Dragon Hotel. This report found that the Sutter/Dragon Hotel had 167 total rooms and 162 available rooms for rent. The Residential Hotel Survey included in the report documents that 85.9% of individuals staying at the Sutter Hotel were for purposes other than for business or tourist purposes; that 0 of the 167 rooms included a kitchen; that 13 tenants (9.6%) had stayed for longer than 1 year; and that the number of non-transient residents had increased since 1980. The report further states that the owner at that time gave notice of an intent to convert the building to a tourist hotel in mid-1985. (Attachment C).
- In 1992, the owner of 584 14<sup>th</sup> Street, Govinder Singh, signed a Regulatory Agreement with the California Department of Housing and Community Development, for rehabilitation of the building. This Agreement defines 584 14<sup>th</sup> Street as a “rental housing development” and described it as having 102 SROs and one 3-bedroom unit. Under the Regulatory Agreement, the assisted units were subject to rent restrictions and were available for eligible households under the terms of written rental agreements on a form approved by the California Department of Housing and Community Development (Attachment D).
- The Sutter Hotel is also identified in the 2004 Report by Community and Economic Development for Residential Hotels in Central Oakland, and was documented to have 86 available rooms and 106 total rooms (Attachment E).
- A statement from prior owner Raj Singh, included as an attachment to the supplemental information letter sent May 30, 2019, confirms that the Sutter Hotel was used for daily, weekly, and monthly rentals. Specifically, from 1997-2017, Mr. Singh entered into approximately 15 annual and monthly leases with the Oakland Housing Authority and nonprofit organizations to provide rooms for their clients.
- City Records show a number of Residential Rent Adjustment Program (RRAP) Hearing Decisions that support finding that the Sutter Hotel has operated as a Residential Hotel (Attachment F). For example, the hearing decision for T01-0266 (October 3, 2002) describes the property as a Residential Hotel with 102 units and relates to a tenant who resided in Room #404 of the Sutter Hotel for at least three months. Similarly, the hearing decision for T02-0170 (November 14, 2002) describes the property as a Residential Hotel with 102 units and relates to a tenant residing in Room #501 who complains that their rent was not decreased after staying in the unit for longer than 30 days to adjust for the fact that hotel taxes would no longer be collected. These RRAP hearing decisions coincide with the time that the property was owned by Raj Singh.
- City Records additionally show several Three-Day Notices to Pay Rent or Quit delivered to tenants at the Sutter Hotel. Within these records, there is evidence that many, if not all, of the tenants were staying for a longer than monthly basis. In particular, tenants occupied Room #606 for at least 14 weeks in 2012, tenants occupied Room #303 for at least 14 months in 2012-2013, and a tenant occupied Room #314 for at least 10 weeks in 2014.

- Evidence of long-term rentals can also be seen in the Transient Occupancy Tax records. An individual who occupies a hotel room for more than 30 consecutive days is considered a permanent resident for purposes of paying the Transient Occupancy Tax and is exempt from the tax beginning on Day 31. To clarify, per the Oakland Municipal Code, Section 5.34.010, related to "Hotel Rates and Registration Requirements":

*"Transient" means any person who, for any period of not more than thirty consecutive days, either at his own expense or at the expense of another, obtains the right to use space for sleeping or overnight accommodations in any hotel as defined in subsection A of this section for which a charge is made therefor.*

Monthly Transient Occupancy Tax records from 2010 to 2017 were submitted, and many months during this period show rent for occupancy by non-transient residents to be a majority of the gross rent for occupancy of rooms. From February 2010 through August 2010, more than 50% of gross rent was paid by non-transient residents every month. After falling into the 40% range from September 2010 to May 2011, the percent of gross rent paid by non-transient residents per month remained above 50%--and sometimes as high 65%, 70%, or 75%--from June 2011 through August 2013. The portion of gross rent paid by non-transient residents per month remained substantial (between 20% and 72%) from September 2013 through April 2016. Records are incomplete from April 2016 to September 2016, but records show a precipitous decline in non-transient residents per month by October 2016.

- Various building records, provided as Appendix A to the Statement of Exemption application, indicate that the Sutter Hotel has been used as a Residential Hotel.
  - An application for an alteration permit dated June 13, 1969 describes the proposed use of the building at "Hotel" with an occupancy group designation of "H." (Appendix A, p. 11). Under the 1961 Uniform Code, a Type H occupancy includes hotels, apartment houses, dormitories, and lodging houses, and thus does not distinguish between stays by transient and non-transient residents.
  - The City Department of Building and Housing issued a Report of Residential Building Record for the property in March 1974 (Appendix A, p. 15). This report, issued to residential buildings, describes the building as containing 102 dwelling units or apartments and/or 102 hotel or sleeping rooms.
  - An Engineering Analysis Report dated May 18, 1995 for the Sutter Hotel describes the building as a Residential Hotel consisting of 103 units (Appendix A, p. 57).
  - Building Record ID 0606066 dated August 23, 2006, Annual Hotel/Motel Inspection describes the Sutter Hotel as a Residential Hotel (Appendix A, p. 70). Additional records from the Inspection Log for 584 14th Street show several complaints filed by tenants regarding the condition of the building. The Sutter Hotel continued to receive Hotel/Motel Inspections prior and after this date, including Enforcement Record IDs: 0503005 dated June 27, 2005, 1205712 dated October 25, 2012, 1402634 dated July 10, 2014, and 1603742 dated September 29, 2016.
  - Building Record ID B1202507 indicates that a Certificate of Occupancy for a residential hotel was requested for the property on July 26, 2012 (Appendix A, p. 79).
  - Zoning Clearance Records ZC011662, ZC062656, and ZC141558, requests for residents of the Sutter Hotel to set up a home office within their rooming units at the property, indicate that several tenants were using their units as their primary residence (Appendix A, p. 87).

- A 1990 article in the Oakland Tribune regarding a fire at the Sutter Hotel states that the building is “now home to lower-income, long-term residents” and that more than 100 residents of the building were evacuated during the fire.
- A 2015 Report prepared by the City of Oakland Housing and Community Development Department entitled “Downtown Oakland’s Residential Hotels” identifies the Sutter Hotel as a Residential Hotel. The Residential Hotel Survey conducted on June 22, 2015 and providing support for the 2015 Report states that the Sutter Hotel had 102 total rooms, 95 of which were occupied. Although no new monthly residents were accepted at that time, the report identifies 38 rooming units occupied for more than one year, and five rooming units occupied for more than five years. These statistics were based on an interview with Peter Allen, the desk clerk (Attachment G).
- In 2018, an application for interior and exterior alterations was submitted under DRX182227. Due to a Moratorium under Ordinance No. 13415 C.M.S, a request for exceptions/exemptions to the moratorium needed to be submitted to the Housing and Community Development Department and the Bureau of Planning for review to confirm the alterations would not result in the displacement of existing residents or the loss of residential hotel units. Attachment H shows the application, plans, and responses from the Housing and Community Development Department and Bureau of Planning recognizing the Sutter Hotel as a Residential Hotel.
- Evidence that the City conferred deemed approved status on the property does not assist in determining whether the building is a Residential Hotel. When enacted, the City’s Deemed Approved Hotel and Rooming House Regulations, Planning Code Chapter 17.157, automatically conferred deemed approved status on all existing legal nonconforming hotels as well as to all legal nonconforming rooming houses within the city. Thus, buildings conferred with deemed approved status included buildings serving permanent populations as well as short-term guests. In practical effect, the designation of a non-conforming property as deemed approved made no substantive changes with respect to the uses to which the property may lawfully be put, and therefore does not influence the analysis of what that historic underlying use was. The Deemed Approved Regulations further make clear that the right to maintain non-conforming uses applies to properties previously conferred deemed approved status. This right continues after adoption of the Residential Hotel Regulations such that 584 14<sup>th</sup> Street may continue its previously recognized activity, Semi-Transient Residential, consistent with the definition existing at the time the building was deemed approved.

In sum, there is substantial evidence demonstrating that since at least 1985 tenants were occupying units on a longer than 30-day basis. This conflicts with the current definition of hotel, which is intended for Transient Habitation Commercial Activities, determined by a length of stay of less than 30 days. In addition, due to longer than 30-day length of stay, many of these tenants are utilizing the Sutter Hotel as their primary residence which is also consistent with the definition of Residential Hotel.

## CONCLUSION

**The Statement of Exemption to Residential Hotel Demolition, Conversion, and Rehabilitation for the property at 584 14<sup>th</sup> Street has been denied.** Follow-up action includes submitting all required information and documentations for an Initial Usage Report to confirm the following required information as outlined in Section 17.153.030B of the Planning Code (Attachment I):

- a) Floor plans showing all the legal units, communal facilities such as bathrooms, kitchens, laundry facilities or other shared amenities, as well as any ground floor commercial space and lobby area, as of December 13, 2016.
- b) The floor plans shall also indicate the legal number and location of private bathrooms, and the number and location of communal bathrooms, including shower, toilet and sink facilities, as of December 13, 2016.

If no Initial Usage Report is filed within **91 days** from date of this letter, on **January 20, 2020**, this property will be flagged, and a notice will be applied to restrict any planning, building, etc. permits until the Initial Usage Report is submitted and processed. Additional fees will apply to the application for an Initial Usage Report.

If you, or any interested party, seeks to challenge this determination, an appeal **must** be filed by no later than ten calendar (10) days from the date of this letter, by **4:00 pm on October 31, 2019 as stated in O.M.C Section 17.153.070D**. An appeal shall be on a form provided by the Bureau of Planning of the Planning and Building Department, and submitted to the same at 250 Frank H. Ogawa Plaza, Suite 2114, to the attention of **Brittany Lenoir, Planner 1**. The appeal shall state specifically wherein it is claimed there was error or abuse of discretion by the Zoning Manager or wherein his/her decision is not supported by substantial evidence and must include payment of **\$1,622.57** in accordance with the City of Oakland Master Fee Schedule. Failure to timely appeal will preclude you, or any interested party, from challenging the City's decision in court. The appeal itself must raise each and every issue that is contested, along with all the arguments and evidence in the record which supports the basis of the appeal; failure to do so may preclude you, or any interested party, from raising such issues during the appeal and/or in court. However, the appeal will be limited to issues and/or evidence presented to the Zoning Manager prior to the close of the previously noticed public comment period on the matter.

Finally, please note that this Determination only addresses the status of the building as a Residential Hotel. Confirmation of the allowable uses as provided for by the Oakland General Plan and the Oakland Planning Code can be sought through a separate Zoning Manager Determination request.

Thank you for the opportunity to review this project. If you have any questions, feel free to contact me, **Brittany Lenoir**, Planner 1, at **(510) 238-4977**, or by e-mail at **blenoir@oaklandca.gov**. Thank you for your prompt response to this request.

Sincerely,



Robert Merkamp  
Zoning Manager  
Bureau of Planning

Attachments:

- A. 1948 Zoning Code, Excerpt for Definition of "Hotel"
- B. County Commercial Building Record
- C. Excerpt from 1985 Survey of Residential Hotels in Downtown Oakland, page 10, Coding Key, table datasets 8, 12-13, and Appendix II.
- D. Regulatory Agreement – Number CO-R-150, California Natural Disaster Assistance Program
- E. Excerpt from 2004 Residential Hotels in Central Oakland Report, page 3

- F. RRAP Hearing Decision and Three-Day Notice to Pay Rent or Quit
- G. Excerpt from 2015 Downtown Residential Hotel Report, page 6
- H. Exception from Provisions of Ordinance No. 13415 C.M.S for 584 14<sup>th</sup> Street
- I. Initial Usage Report Application

cc: Alexis M. Pelosi, [alexis@pelosilawgroup.com](mailto:alexis@pelosilawgroup.com)  
[jbird@hawkinsway.com](mailto:jbird@hawkinsway.com)  
[ross.walker@hawkinsway.com](mailto:ross.walker@hawkinsway.com)

# **EXHIBIT A**

**ZONING LAWS**  
**ORDINANCES 474-475 C.M.S.**

Adopted February 5, 1935

**OAKLAND, CALIFORNIA**

TEXT OF ORDINANCES AND MAPS  
REVISED TO JUNE 1, 1948, INCLUDING SEC. 214

SEC. 7-1.01 (k) "HEIGHT OF BUILDING" is the vertical distance from the average elevation of the adjoining ground level to the lowest point of the finished ceiling of the topmost story.

SEC. 7-1.01 (l) "HOME OCCUPATION" is a use carried on in a dwelling by a resident thereof and which use is merely incidental to the residential use of the dwelling and shall include the practice of a dentist, physician, chiropractor and osteopath when not more than one assistant is employed.

Other home occupations permitted where no assistants are employed shall include a dressmaker, milliner, music teacher, portrait or landscape painter and writer.

No signs advertising a home occupation may be displayed in any residential district other than one name plate not exceeding one square foot in area. (As amended by Ord. No. 2140 C.M.S. passed March 21, 1946.)

SEC. 7-1.01 (m) "HOTEL" is a building or portion thereof containing six (6) or more sleeping rooms which are occupied for compensation by individuals and in which rooms no provision is made for cooking.

SEC. 7-1.01 (n) "LOT" is a parcel of land occupied or capable of being occupied by a building and its accessory buildings together with such open spaces as are required by this Article, and which has its principal frontage upon a street.

"CORNER LOT" is a lot situated at the junction of two (2) or more streets.

"INTERIOR LOT" is a lot other than a corner lot.

"THROUGH LOT" is an interior lot having a frontage on two (2) streets.

SEC. 7-1.01 (o) "NON-CONFORMING USE" is a use that does not conform with the regulations of the district in which it is situated.

SEC. 7-1.01 (p) "STORY" is that portion of a building included between the surface of any floor and the surface of the floor next above it, or if there be no floor above it, then the space between such floor and the ceiling next above it.

"STORY, HALF" is a story under a gable, hip or gambrel roof, the wall plates of which on at least two (2) opposite exterior walls are not more than two (2) feet above the floor of such story.

SEC. 7-1.01 (q) "STREET" is a public or private thoroughfare which affords the principal means of access to abutting property.

SEC. 7-1.01 (r) "STRUCTURE" is anything constructed or erected, having location on the ground or attached to something having location on the ground.

"STRUCTURAL ALTERATION" is any change in the supporting members of a building, such as bearing walls, columns, beams or girders.

SEC. 7-1.01 (s) "USE" is the purpose to which a building or structure or land or anything on land, may be put.

SEC. 7-1.01 (t) "YARD" is an open space on the same lot with a building, unoccupied and unobstructed from the ground upward, and shall be a front yard, a rear yard, or a side yard.

"YARD, FRONT" is a yard extending across the front of the lot between the inner side yard lines. A front yard shall have a depth equal to the shortest distance between the building and the front lot line.

"YARD, REAR" is a yard between the building and the rear lot line and extending across the full width of the lot. A rear yard shall have a depth equal to the shortest distance between the building and the rear lot line.

"YARD, SIDE" is a yard between the building and the side lot line and extending from the street line to the rear yard. A side yard shall have a width equal to the shortest distance between the building and the side lot line.

# **EXHIBIT B**

COMMERCIAL BUILDING RECORD

SUPER HOTEL = 600 APARTS

PARCEL 3-67-17  
SHEET 1 OF 3 SHEETS

DESCRIPTION OF BUILDING									
CLASS & SHAPE	CONSTRUCTION	STRUCTURAL	EXTERIOR	FRONT	LIGHTING	AP. EQUIPMENT	ROOMS	FLOORS	ROOM AND FINISH DETAIL
1. Type	2. Substrate	3. Finish	4. Material	5. Height	6. Type	7. Heating	8. No.	9. No.	10. Finish
1. Concrete	2. Reinforced	3. Brick	4. Brick	5. 10	6. Fluorescent	7. Radiator	8. Living	9. 1	10. Wood
1. Concrete	2. Reinforced	3. Brick	4. Brick	5. 10	6. Fluorescent	7. Radiator	8. Living	9. 1	10. Wood
1. Concrete	2. Reinforced	3. Brick	4. Brick	5. 10	6. Fluorescent	7. Radiator	8. Living	9. 1	10. Wood
1. Concrete	2. Reinforced	3. Brick	4. Brick	5. 10	6. Fluorescent	7. Radiator	8. Living	9. 1	10. Wood
1. Concrete	2. Reinforced	3. Brick	4. Brick	5. 10	6. Fluorescent	7. Radiator	8. Living	9. 1	10. Wood

BATH & LAVATORY DETAIL									
PLUMBING	ELECTRICAL	MECHANICAL	PAINT	GLASS	IRONING	SEWAGE	WATER	HEATING	VENTILATION
1. Type	2. Material	3. Equipment	4. Color	5. Thickness	6. Type	7. Type	8. Type	9. Type	10. Type
1. Copper	2. Galvanized	3. Radiator	4. White	5. 1/2"	6. Electric	7. Sewer	8. Hot Water	9. Radiator	10. Mechanical
1. Copper	2. Galvanized	3. Radiator	4. White	5. 1/2"	6. Electric	7. Sewer	8. Hot Water	9. Radiator	10. Mechanical
1. Copper	2. Galvanized	3. Radiator	4. White	5. 1/2"	6. Electric	7. Sewer	8. Hot Water	9. Radiator	10. Mechanical
1. Copper	2. Galvanized	3. Radiator	4. White	5. 1/2"	6. Electric	7. Sewer	8. Hot Water	9. Radiator	10. Mechanical
1. Copper	2. Galvanized	3. Radiator	4. White	5. 1/2"	6. Electric	7. Sewer	8. Hot Water	9. Radiator	10. Mechanical

RATING (E.G.A.F.P.I.)									
ARCHITECTURE	MECHANICAL	ELECTRICAL	PLUMBING	PAINT	GLASS	IRONING	SEWAGE	WATER	HEATING
1. Type	2. Material	3. Equipment	4. Color	5. Thickness	6. Type	7. Type	8. Type	9. Type	10. Type
1. Good	2. Fair	3. Poor	4. Fair	5. Good	6. Fair	7. Poor	8. Fair	9. Good	10. Fair
1. Good	2. Fair	3. Poor	4. Fair	5. Good	6. Fair	7. Poor	8. Fair	9. Good	10. Fair
1. Good	2. Fair	3. Poor	4. Fair	5. Good	6. Fair	7. Poor	8. Fair	9. Good	10. Fair
1. Good	2. Fair	3. Poor	4. Fair	5. Good	6. Fair	7. Poor	8. Fair	9. Good	10. Fair
1. Good	2. Fair	3. Poor	4. Fair	5. Good	6. Fair	7. Poor	8. Fair	9. Good	10. Fair

SPECIAL FEATURES									
1. Type	2. Material	3. Equipment	4. Color	5. Thickness	6. Type	7. Type	8. Type	9. Type	10. Type
1. None	2. None	3. None	4. None	5. None	6. None	7. None	8. None	9. None	10. None
1. None	2. None	3. None	4. None	5. None	6. None	7. None	8. None	9. None	10. None
1. None	2. None	3. None	4. None	5. None	6. None	7. None	8. None	9. None	10. None
1. None	2. None	3. None	4. None	5. None	6. None	7. None	8. None	9. None	10. None
1. None	2. None	3. None	4. None	5. None	6. None	7. None	8. None	9. None	10. None

I certify that the information is from a record on file in the Office of Assessor, County of Alameda, as of 12/15/70.

PHONG H. A. ASSESSOR  
COUNTY OF ALAMEDA

BY: 

TOTAL  
NORMAL % GOOD  
P.C.L.M.D.  
FORM 813-A



# **EXHIBIT C**

Table A

RESIDENTIAL HOTELS IN THE CENTRAL DISTRICT

#	HOTEL NAME	NUMBER STREET	# OF ROOMS	# OF AVAILABLE ROOMS
1	ALEDAL GUEST HOME	278 JAYNE	10	10
2	ALICE CLUB HOTEL	1428 ALICE	76	76
3	AVONDALE HOTEL	540 28TH STREET	55	55
4	BALDWIN HOTEL	529 8TH STREET	50	49
5	CLARIDGE HOTEL	634 15TH STREET	198	135
6	FERN'S HOTEL	415 15TH STREET	32	31
7	FREMONT HOTEL	524 8TH STREET	33	31
8	HIREN HOTEL	583 8TH STREET	44	8
9	HARRISON HOTEL	1415 HARRISON	90	89
10	HOTEL MENLO	344 13TH	90	90
11	HOTEL PALM	641 W. GRAND	60	60
12	HOTEL SAN PABLO	1955 SAN PABLO	160	158
13	HOTEL TOURAINE	559 16TH STREET	108	106
14	HOTEL TRAVELERS	392 11TH STREET	87	87
15	HOTEL WESTERNER	1954 SAN PABLO	19	19
16	JACKSON RESIDENCE CLUB	1448 JACKSON	22	22
17	LAKE MERRITT LODGE	2332 HARRISON	147	147
18	LAKEHURST RESIDENCE CLUB	1569 JACKSON	72	72
19	LIBERTY HOTEL	805 WASHINGTON	55	45
20	MILTON HOTEL	1109 WEBSTER	58	58
21	SUTTER/DRAGON HOTEL	584 14TH STREET	167	162
22	WILL ROGERS HOTEL	371 13TH STREET	96	96
23	WILSON HOTEL	414 7TH STREET	39	38
24	WOODROW HOTEL	644 14TH STREET	75	75
25	YMCA	2101 TELEGRAPH AVE	160	142

NOTE: "Available rooms" are rooms which are currently available for rent; regardless of whether they are currently occupied.

"Total rooms" includes rooms which are not available for rent.

CODING KEY FOR RESIDENTIAL HOTEL SURVEY

#	NAME	VARIABLE	CODING
0	MANLENG	MANAGER: TIME EMPLOYED	YEARS
1	TOTROOMS	TOTAL ROOMS	
2	VACROOMS	NUMBER OF VACANT ROOMS	
3	AVROOMS	NUMBER OF RENTABLE VACANT ROOMS	
4	OCCUPIED	NUMBER OF OCCUPIED ROOMS	
5	SUPPLY	NUMBER OF RENTABLE ROOMS	
6	VACRATE	VACANCY RATE	
7	PERSONS	NUMBER OF PEOPLE IN HOTEL	
8	ELEVATOR	PRESENCE OF ELEVATOR	NO/YES
9	ELEVWORK	WORKING ELEVATOR	NO/YES
10	LDRENT85	LOWEST DAILY RENT IN 1985	DOLLARS
11	HDRENT85	HIGHEST DAILY RENT IN 1985	DOLLARS
12	ADRENT85	AVERAGE DAILY RENT IN 1985	DOLLARS
13	LWRENT85	LOWEST WEEKLY RENT IN 1985	DOLLARS
14	HWRENT85	HIGHEST WEEKLY RENT IN 1985	DOLLARS
15	AWRENT85	AVERAGE WEEKLY RENT IN 1985	DOLLARS
16	LMRENT85	LOWEST MONTHLY RENT IN 1985	DOLLARS
17	HMRENT85	HIGHEST MONTHLY RENT IN 1985	DOLLARS
18	AMRENT85	AVERAGE MONTHLY RENT IN 1985	DOLLARS
19	LDRENT80	LOWEST DAILY RENT IN 1980	DOLLARS
20	HDRENT80	HIGHEST DAILY RENT IN 1980	DOLLARS
21	ADRENT80	AVERAGE DAILY RENT IN 1980	DOLLARS
22	LWRENT80	LOWEST WEEKLY RENT IN 1980	DOLLARS
23	HWRENT80	HIGHEST WEEKLY RENT IN 1980	DOLLARS
24	AWRENT80	AVERAGE WEEKLY RENT IN 1980	DOLLARS
25	LMRENT80	LOWEST MONTHLY RENT IN 1980	DOLLARS
26	HMRENT80	HIGHEST MONTHLY RENT IN 1980	DOLLARS
27	AMRENT80	AVERAGE MONTHLY RENT IN 1980	DOLLARS
28	KITCHEN	ANY ROOMS WITH OWN KITCHEN?	NO/YES
29	NKIT	NUMBER OF ROOMS WITH OWN KITCHEN	
30	HOTPLATE	HOTPLATES ALLOWED?	NO/YES
31	COMKIT	COMMUNITY KITCHEN?	NO/YES
32	DINING	COMMON DINING AREA?	NO/YES
33	MAIL	CAN TENANTS RECEIVE MAIL?	NO/YES
34	PHONES	PHONES IN ROOMS?	NO/YES
35	SAFE	FIREPROOF SAFE AVAILABLE?	NO/YES
36	MAID	MAID AND LINEN SERVICE?	NO/YES
37	RECROOM	IS THERE A RECREATION ROOM?	NO/YES
38	NBATH	NUMBER OF PRIVATE BATHS	
39	PBATH	% OF UNITS WITH PRIVATE BATH	
40	CHECK	CHECKCASHING SERVICES?	NO/YES
41	SERVCHAN	CHANGE IN SERVICES SINCE '80	NO/YES
42	NTRANS	NUMBER OF TRANSIENT OCCUPANTS	
43	PTRANS	% OF OCCUPANTS WHO ARE TRANSIENT	
44	NONEYR	# OF OCCUPANTS STAYING > 1 YEAR	
45	PONEYR	% OF OCCUPANTS STAYING > 1 YEAR	
46	NFIVEYR	# OF OCCUPANTS STAYING > 5 YEARS	
47	PFIVEYR	% OF OCCUPANTS STAYING > 5 YEARS	
48	NTOUR	# OF TRANSIENTS WHO ARE BUS./TOURIST VISITORS	
49	PTOUR	% OF TRANSIENTS WHO ARE BUS./TOURIST VISITORS	
50	NPERM	# OF OCCUPANTS WHO ARE NOT BUS./TOURIST	

NAME	28 KITCHEN	29 NKIT	30 HOTPLATE	31 COMKIT
ALEDAL GUEST HOME	0	0	0	1
ALICE CLUB HOTEL	0	0	0	0
AVONDALE HOTEL	1	10	0	0
BALDWIN HOTEL	0	0	1	1
CLARIDGE HOTEL	0	0	0	0
FERN'S HOTEL	0	0	0	0
FREMONT HOTEL	0	0	0	1
HARRISON HOTEL	0	0	0	0
HIREN HOTEL	0	0		0
JACKSON RESIDENCE CLUB	0	0	0	1
LAKE MERRIT LODGE	0		0	1
LAKEHURST RESIDENCE CLUB	0		0	1
LIBERTY HOTEL	0		0	0
MENLO HOTEL	0		0	0
MILTON HOTEL	0	0	0	0
PALM HOTEL	0	0	0	0
SAN PABLO HOTEL	0	0	0	0
SUTTER/Dragon HOTEL	0	0	0	0
TOURAINÉ HOTEL	0	0	0	0
TRAVELERS HOTEL	0	0	0	0
WESTERNER HOTEL				
WILL ROGERS HOTEL	1	1	0	0
WILSON HOTEL	0	0	0	1
WOODROW HOTEL	0		0	0
YMCA	0		1	0

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Number of responses:	24	18	23	24
(column total / Average:	8.3%	0.61	8.7%	29.2%
column count)				
Minimum:	0	0	0	0
Maximum:	1	10	1	1
Total:	2	11	2	7
GLOBAL AVERAGE:		0.5%	10.5%	

NAME	44 NONEYR	45 PONEYR	46 NFIVEYR	47 PFIVEYR
ALEDAL GUEST HOME	1	11.1%	0	0.0%
ALICE CLUB HOTEL	76	100.0%	61	80.3%
AVONDALE HOTEL	13	30.2%	5	11.6%
BALDWIN HOTEL	40	87.0%	8	17.4%
CLARIDGE HOTEL	20	18.2%	3	2.7%
FERN'S HOTEL	13	41.9%	8	25.8%
FREMONT HOTEL	20	71.4%	0	0.0%
HARRISON HOTEL	30	34.1%	2	2.3%
HIREN HOTEL	0	0.0%	0	0.0%
JACKSON RESIDENCE CLUB	0	0.0%	0	0.0%
LAKE MERRIT LODGE	70	53.4%	14	10.7%
LAKEHURST RESIDENCE CLUB	62	86.1%	50	69.4%
LIBERTY HOTEL	0	0.0%	0	0.0%
MENLO HOTEL	15	18.3%	0	0.0%
MILTON HOTEL	25	44.6%	5	8.9%
PALM HOTEL	30	66.7%	5	11.1%
SAN PABLO HOTEL	14	10.0%	3	2.1%
SUTTER/Dragon HOTEL	13	9.6%	0	0.0%
TOURAINÉ HOTEL	5	5.7%	0	0.0%
TRAVELERS HOTEL	0	0.0%	0	0.0%
WESTERNER HOTEL				
WILL ROGERS HOTEL	25	27.8%	0	0.0%
WILSON HOTEL	28	73.7%	0	0.0%
WOODROW HOTEL	60	82.2%	60	82.2%
YMCA	41	29.9%	12	8.8%

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Number of responses:	24	24	24	24
(column total / Average:	25.04	37.59%	9.83	13.89%
column count)				
Minimum:	0	0.00%	0	0
Maximum:	76	100.00%	61	82.19%
Total:	601		236	
GLOBAL AVERAGE:		36.6%		14.4%

NAME	48 NTOUR	49 PTOUR	50 NPERM	51 PPERM
ALEDAL GUEST HOME	2	22.2%	7	77.8%
ALICE CLUB HOTEL	0	0.0%	76	100.0%
AVONDALE HOTEL	10	33.3%	33	76.7%
BALDWIN HOTEL	0	0.0%	46	100.0%
CLARIDGE HOTEL	0	0.0%	110	100.0%
FERN'S HOTEL	0	0.0%	31	100.0%
FREMONT HOTEL	0	0.0%	28	100.0%
HARRISON HOTEL	0	0.0%	88	100.0%
HIREN HOTEL	0	0.0%	8	100.0%
JACKSON RESIDENCE CLUB	0	0.0%	20	100.0%
LAKE MERRIT LODGE	0	0.0%	131	100.0%
LAKEHURST RESIDENCE CLUB	0	0.0%	72	100.0%
LIBERTY HOTEL	0	0.0%	35	100.0%
MENLO HOTEL	0	0.0%	82	100.0%
MILTON HOTEL	10	50.0%	46	82.1%
PALM HOTEL	0	0.0%	45	100.0%
SAN PABLO HOTEL	0	0.0%	140	100.0%
SUTTER/DAGON HOTEL	19	100.0%	116	85.9%
TOURAIN HOTEL	35	100.0%	52	59.8%
TRAVELERS HOTEL	0	0.0%	63	100.0%
WESTERNER HOTEL				
WILL ROGERS HOTEL	0	0.0%	90	100.0%
WILSON HOTEL	0	0.0%	38	100.0%
WOODROW HOTEL	3	42.9%	70	95.9%
YMCA	10	18.2%	127	92.7%

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Number of responses:	24	24	24	24
(column total / Average:	3.71	15.27%	64.75	94.62%
column count)				
Minimum:	0	0.00%	7	59.77%
Maximum:	35	100.00%	140	100.00%
Total:	89		1554	
 GLOBAL AVERAGE:		25.7%		94.6%

**APPENDIX II: CONVERSIONS AND CLOSINGS OF HOTELS IN OAKLAND**

1. Excerpt from memorandum to Oakland Planning Commission from Residential Hotel Task Force members Bob Chastain, Ed Lee, Lynette Lee, and Mike Rawson.
2. Advertisement for Jefferson Plaza Hotel (currently the Sutter/Dragon Hotel).

RESIDENTIAL HOTEL ROOMS LOST  
or in the PROCESS OF BEING LOST

February 19, 1985

I. Those Recently or Currently Being Vacated

1. Hotel Sherman, 808 Webster Street, 71 rooms, transient hotel but many permanent residents, many elderly who had lived there for years such that the hotel manager took care of funeral arrangements for those who passed away, all tenants moved out and all furniture removed by October 31, 1984.
2. 809 Webster Street, 26 rooms, all permanent residents, some had lived there as long as 7 years all tenants given final notice to vacate by February 15, 1985, or the building owner will "knock it down", as stated in their notice.
3. 371 -12th Street, 24 rooms, permanent residents, all tenants evicted by January 1985.
4. Hotel Fremont, 524 -8th Street, 36 rooms and 1 apartment, all permanent residents, all tenants given notice to vacate by March 1, 1985.
5. Hotel Sutter, on 14th Street. Owners have given notice that they plan to convert to a tourist hotel in mid 1985.
6. The Leamington Hotel, had become a residential/transient hotel in its later years. The new owners received City assistance in getting a UDAG to convert it to an office building. All tenants moved out prior to construction.
7. 1448 Jackson, 25 rooms, majority permanent residents, new owners evicted all tenants, did some remodelling, and now being rented as student housing.

II. Attempts

1. The Claridge Hotel- In 1983 the owner sought City assistance in getting a UDAG to upgrade and convert to a tourist hotel. The City Council voted against it.

III. Less Recent Evictions and Conversions

1. The Hotel Ebony, Franklin Street between 8th and 9th, approximately 24 rooms, vacated years ago, new plans to convert in to office space.
2. 357 -12th Street, 24 unit rooming house, tenants vacated in

1977, converted to office space.

3. In addition to these, there are many others lost over the years. For example, it is suspected that the offices above Wonder Bakery, on Webster at the corner of 8th, were once a rooming house. So was the empty building next to the Moulin Rouge Theatre. This building has been purchased by a lawyer who plans to eventually convert it into his law office.

We do not know for what reason the California Hotel, representing 143 rooms and six apartments, was vacated.

Chinatown alone, over the last three decades, has suffered a net loss of 534 units, (not counting those stated in Section I above, we have not had time to research how many of these were rooming houses or hotels) while downtown Oakland has suffered a net loss of over 1500 units in the area including Chinatown, Old Oakland, and the area near City Hall, during that same time period.

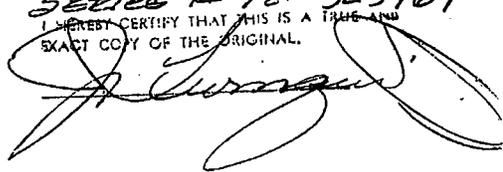
No replacement housing was provided for the units lost through the Victorian Row/Old Oakland project, the Convention Center, development of BART Stations, Nimitz Freeway, etc..

# **EXHIBIT D**

Free recording in accordance with  
California Government Code  
Sections 6103 and 27383

Recording requested by  
and when recorded mail to:

Department of Housing and Community Development  
California Natural Disaster Assistance Program-Rental  
Attention: Deborah Menendez  
P.O. Box 952054 (CALDAP-R)  
Sacramento, CA 94252-2054

RECORDED-10-6-92  
SERIES # 92-323969  
I HEREBY CERTIFY THAT THIS IS A TRUE AND  
EXACT COPY OF THE ORIGINAL.  


**REGULATORY AGREEMENT - NUMBER CO-R-150**  
**CALIFORNIA NATURAL DISASTER ASSISTANCE PROGRAM**  
(For Projects with 17 or More Units)

This Regulatory Agreement (hereinafter the "Agreement"), dated September 30, 1992 is made and entered into by and between the Department of Housing and Community Development, a public agency of the State of California (hereinafter "Department"), and Govinder Singh (hereinafter "Borrower").

**RECITALS**

Borrower has applied to the Department for a loan for the rehabilitation or acquisition and rehabilitation, of a rental housing development located at 584 14th Street, City of Oakland, County of Alameda, California (hereinafter the "Development"). The Department has provided said loan under the California Natural Disaster Assistance Program (hereinafter the "Program") pursuant to Sections 50661.5, 50661.7 and 50671.5 of the California Health and Safety Code and the guidelines established thereunder.

Borrower and the Local Agency have entered into a Rehabilitation Loan Agreement dated September 30, 1992, regarding the Development and the financial assistance to be provided therefore. Borrower agrees to abide by all provisions of the Rehabilitation Loan Agreement with respect to the Development. Borrower has also agreed to enter into this Agreement as an inducement to the Department to provide the financial assistance specified in the Rehabilitation Loan Agreement, and has agreed to be regulated and restricted as provided therein.

Borrower shall also execute a promissory note evidencing its obligation to repay the Program funds, including interest, advanced by the Department for the rehabilitation or acquisition and rehabilitation of the Development. Said promissory note will be secured by

a deed of trust naming the Department as beneficiary. Borrower agrees to be bound by all terms and conditions of the promissory note and deed of trust.

NOW, THEREFORE, the parties hereto agree as follows:

1. Recitals. The foregoing recitals are a part of this Agreement.
2. Property. Borrower has agreed to rehabilitate, or acquire and rehabilitate and the Department has made a commitment of loan funds for the rehabilitation or acquisition and rehabilitation of the Development located on the real property described in Exhibit A, attached hereto and incorporated herein.
3. Compliance with Program Requirements. The Borrower agrees that at all times its acts regarding the Development and the use of funds provided herein shall be in conformity with all provisions of the Program including the statutes, rules and regulations and such policies and procedures of the Department pertaining thereto. The Borrower acknowledges that it is familiar with such applicable provisions for the purpose of enabling the Borrower to fully comply with such provisions.
4. Term of Agreement. The term of this Agreement shall commence on the date set forth above and remain in full force and effect and shall apply to the Development through and including the date which is twenty (20) years following that date regardless of any prepayment of the Program loan or sale, assignment, transfer or conveyance of the Development, unless terminated earlier by the Department pursuant to the terms of this Agreement or extended by the mutual consent of the parties.
5. Initial Assisted Unit Schedule.
  - a. Assisted Units shall at least be equal to the proportion of Development costs financed under the Program to the total eligible Development costs. Upon initial occupancy following the completion of rehabilitation, the Borrower shall rent Assisted Units only in accordance with the Initial Schedule of Assisted Units set forth in Exhibit B attached hereto and incorporated herein.
  - b. Where a loan under this section funds only the rehabilitation of a rental housing development, Assisted Units shall remain restricted only until such time as the initial occupant following the completion of rehabilitation voluntarily vacates the Assisted Unit. An occupant shall be deemed to have voluntarily vacated a unit when:
    - (i) the occupant voluntarily terminates the rental agreement or abandons the leased premises or

(ii) the tenancy is terminated for good cause as specified in herein.

- c. Where a loan under this section funds both rehabilitation and acquisition or refinancing of a Rental Housing Development, all Units are designated as Assisted Units and shall remain restricted as provided in this section for the entire original term of the loan.

6. Tenant Selection Standards.

- a. Any loan under the Program for the rehabilitation of units where the Borrower maintains all of the Assisted Units at affordable rents for lower income households, the Borrower shall rent units in the Development only to persons who meet the income criteria as defined by Section 50079.5 of the Health and Safety Code. The only exception to the income criteria applies to those initial tenants that were displaced from the Development as a result of the natural disaster or the rehabilitation, and then return to the rehabilitated unit.
- b. First priority for occupancy shall be given to tenants displaced from the rehabilitated property by the natural disaster or repairs required by damage caused by the natural disaster. Second priority shall be given to persons displaced from other housing units damaged by the natural disaster or disaster-related repairs. These priorities are required until the end of the first year following initial occupancy after rehabilitation.

7. Non-Discrimination. Borrower shall not discriminate against any prospective tenant on the basis of race, religion, sex, age, disability, marital status, nor any other arbitrary factor in violation of any state, federal or local law governing discrimination in rental housing.

8. Rental Agreement and Occupancy Procedures.

- a. Each eligible household selected to occupy a unit in the Development shall enter into a written rental agreement with the Borrower on a form approved by the Department and containing such provisions as are required by the Program Guidelines.
- b. The Borrower may establish reasonable rules of conduct and occupancy. Such rules shall be consistent with State law. Said rules shall be in writing and shall be given to each tenant upon occupancy. Any change shall become effective no less than 30 days after giving written notice thereof to each household.
- c. The rental agreement shall provide that Borrower shall not terminate the tenancy except for good cause as described below.

d. The following shall constitute good cause for termination of tenancy:

- (i) material noncompliance with the rental agreement or material failure to carry out obligations under State law.

"Material noncompliance with the rental agreement" includes one or more substantial violations of the rental agreement or habitual minor violations of the rental agreement which:

- (1) Interfere with the use, possession or quiet enjoyment of their units by other tenants of the Development;
- (2) Adversely affect the health or safety of any person;
- (3) Substantially interfere with the management, maintenance or operation of the Development; or
- (4) Result from the failure or refusal to pay rent or other charges due in a timely fashion.

Nonpayment of rent or any other financial obligation under the rental agreement after a three-day notice to pay rent or quit will constitute material noncompliance with the rental agreement, but payment during such a period will constitute a minor violation.

- (ii) The death of the tenant or abandonment of the premises by the tenant.

9. Rents.

- a. For not less than one year of occupancy following the completion of rehabilitation, Borrower shall charge rents for Assisted Units in accordance with the terms of the rent schedule set forth in Exhibit B. Maximum rent for each of the Assisted Units in the Development shall not exceed the rent charged immediately prior to the natural disaster, plus any allowable rent increases permitted by the Department.
- b. Borrowers shall submit to the Department all proposed rent adjustments, after one year of initial occupancy, and annually thereafter. The rents for the Assisted Units may be increased by the Borrower at a rate not to exceed the most recently published annual average percentage change in the U.S. Department of Labor Bureau of Labor Statistics, Consumer Price Index, Residential Rent for all Urban Consumers for the West (CPI). In the event this particular CPI index is no longer published, Department shall select a similar index for this purpose. Borrowers may appeal to Department for a

greater adjustment in rents if necessary to ensure the fiscal integrity of the rental housing development. Borrowers shall submit all requests for rent adjustments, including all information and documentation as Department may require, at least 60 days prior to the anticipated implementation of the rent increase. In the event that the Department does not act on a request for a rent increase within 60 days from receipt of the request, the request shall be deemed approved.

- c. If the rehabilitated units are located in a community that has adopted a rent stabilization ordinance that would require a lower increase in rents, the local provisions shall apply. Additionally, if a Borrower is participating in the Housing and Urban Development (HUD) Section 8 Moderate Rehabilitation Program, then HUD's standards for allowable rent increases shall prevail.

10. Non-Assisted Units and Common Area.

- a. Borrower shall establish and implement a rent structure and operations budget for non-Assisted Residential Units which ensures the fiscal integrity of the Development.
- b. Borrower shall maintain and repair both Assisted and non-Assisted Units equally without regard to their designation as Assisted or non-Assisted.
- c. Tenant selection practices for non-Assisted Units shall comply with State and Federal anti-discrimination laws.
- d. Borrower shall ensure that the exterior walls, windows, lighting, walkways, mailboxes, landscaping, commercial space, equipment, and other common areas of the Development be safe, clean, well maintained, and in good working order.

11. Optional Low-Income Restrictions.

- a. Borrowers who agree to maintain 100 percent (100%) of the rental units in the Development affordable to and occupied by, lower income households (as defined in Section 50079.5 of the Health and Safety Code) may be eligible to have a portion of the loan amount forgiven. Affordable rents must be maintained for a minimum of ten years. Loan forgiveness is only applicable to the rehabilitation portion of the loan amount, and accrued interest thereon. Any acquisition cost or refinancing expenses are not eligible for forgiveness. The percentage of loan forgiveness is based on the ratio of the original loan term to the number of years during which the rents are maintained at affordable levels. Example:

<u>Original Loan Term</u>	<u>Number of Years Affordable</u>	<u>Percentage of Forgiveness</u>
20	10	50%
	15	75%
	20	100%
30	10	30%
	15	50%
	30	100%

- b. If a Borrower maintains the rehabilitated units at affordable rents for not less than 10 years and subsequently sells the project to a nonprofit organization, the loan forgiveness percentage amount shall not be less than the ratio of 15 years to the original term of the loan.
- c. Eligible households, regardless of income level, must be allowed to reoccupy their units upon completion of the rehabilitation. However, when the initial tenant voluntarily vacates the unit, the Borrower is required to fill the unit with a lower income household. If the income of a tenant upon recertification exceeds the upper limit for lower-income households, Borrower shall terminate the tenant's tenancy effective six months from the date of recertification.
- d. Affordable rents for the purposes of this section shall mean those rents described in Section 7683 of the California Administrative Code as set forth in part below:

"(1) Rents for units reserved for occupancy by lower income households shall not exceed 30 percent of 60 percent of the monthly area median income for the household size specified in subsection (a) (2) below at the time of initial occupancy. Rents for units reserved for occupancy by very low-income households shall not exceed 30 percent of 50 percent of the monthly area median income for the household size specified in subsection (a) (2) below at the time of initial occupancy. In no case shall rents for any assisted unit in a residential hotel exceed 30 percent of 50 percent of the area median income at the time of initial occupancy. The term "area median income" shall mean the same as used in Section 50093 of the Health and Safety Code."

BORROWER DOES X DOES NOT  
 exercise the low-income option with the  
 restrictions and benefits described  
 above. M Borrower's Initials

12. Maintenance and Management.

- a. The Borrower is responsible for all maintenance, repair, and management functions, including without limitation, selection of tenants, recertification of family income, evictions, collection of rents, routine and extraordinary repairs and replacement of capital items.
- b. The Borrower shall maintain a Management Plan which is to be submitted to and approved by the Department prior to Program loan closing. All amendments to the Management Plan shall require prior Department approval.
- c. The Management Plan shall: 1) detail actions to be taken by Borrower to affirmatively market vacant units in a manner which will maximize the opportunity of all persons, regardless of race, sex, religion, national origin, marital status, or place of residence to reside in the Development; 2) specify reasonable criteria for determination of tenant eligibility; 3) require that eligible tenants be selected based on criteria set forth in the Program Guidelines; 4) require ineligible applicants to be notified of the reason for their ineligibility; 5) specify procedures through which applicants deemed to be ineligible may appeal this determination; 6) require maintenance of a waiting list of eligible applicants; and 7) in cases where the Borrower maintains all of the Assisted Units at affordable rents for lower income households, specify procedures for obtaining information regarding prospective tenants' incomes as necessary to certify that such income does not exceed the lower or very-low income limit.
- d. With the prior approval of the Department, the Borrower may contract with a private or public entity for performance of the functions required in subparagraph (a) above and Paragraph 11 of the Regulatory Agreement. However, such an arrangement shall not relieve the Borrower of responsibility for proper performance of these functions.
- e. Any contract executed pursuant to subparagraph (d) shall contain a provision allowing the Borrower to terminate the contract, without penalty, upon not less than 30 days prior written notice. Upon a determination by the Department that the contractor performing the functions required in subparagraph (a) has failed to operate the Development in accordance with this Agreement, the Borrower shall exercise such right of termination forthwith and shall make immediate arrangements for the continuing performance of the functions required by this Agreement.

13. Hazard and Liability Insurance. The Borrower shall at all times keep the Development insured against loss by fire and such other hazards, casualties, liabilities and contingencies as set forth in the attached Exhibit C. All insurance policies and renewals thereof shall be issued by a carrier and in a form acceptable to the Department. Property insurance policies shall name the Department as an additional loss payee and liability insurance policies shall name the Department as additionally insured.
14. Annual Operating Budget.
- a. The fiscal year for the Project shall commence on July 1 and conclude on June 30.
  - b. Prior to closing of the Program loan the Borrower shall provide to the Department for its approval a First Year Operating Budget for the Development on a form provided by the Department. Such budget shall show all anticipated income and expenses for management, operations, reserves and maintenance for the first year.
  - c. Not less than 60 days prior to the beginning of each subsequent fiscal year of the Development, the Borrower shall submit to the Department a Proposed Operating Budget in a form provided by the Department. The Proposed Operating Budget shall set forth the Borrower's estimate of the Development's income and operating expenses for the upcoming year and proposed rent adjustments.
15. Operating Reserve Account. Commencing no later than the end of the second month following the completion of rehabilitation, the Borrower shall establish an Operating Reserve Account. Borrower may transfer funds from this account only to alleviate cash shortages resulting from unusually high maintenance expenses, seasonal fluctuations in utility costs, abnormally high vacancies, and other unforeseen expenses. The Borrower shall not withdraw or transfer funds from this account for any other purpose without the prior written approval of the Department. The Borrower shall make monthly deposits from project income to the Operating Reserve Account in amounts as specified in the Initial Year Operating Budget and subsequent approved annual operating budgets.
16. Replacement Reserve Account. Commencing no later than the end of the second month following the completion of rehabilitation, the Borrower shall establish a segregated interest-bearing Replacement Reserve Account in a F.D.I.C. or F.S.L.I.C. insured financial institution. During the first fiscal year of the Development, the Borrower shall make monthly deposits from project income to the Replacement

Reserve Account in an amount not less than 0.6 percent (0.6%) of replacement value excluding land. Withdrawals from the Replacement Reserve Account shall be made only for capital improvements such as replacing structural elements, furniture, fixtures or equipment of the Development which are reasonably required to preserve the property.

17. Accounting Records. Borrower shall maintain an accrual basis, general ledger accounting system that accurately and fully shows all assets, liabilities, income and expenses of the Development. All records and books relating to this system shall be kept for at least seven years in a fireproof and locked file or safe and shall be subject to Department inspection and audit pursuant to Paragraph 13 (b) of the Regulatory Agreement.
18. Annual Report. The Borrower shall file with the Department an annual report, in a form approved by the Department, no later than 60 days after the end of each fiscal year established for the Development. The report shall contain a certification by the Borrower as to such information as the Department may require including, but not limited to, the following:
  - a. The fiscal condition of the Development, including a financial statement for the previous fiscal year that includes a balance sheet and a profit and loss statement indicating any surplus or deficit in operating accounts; a detailed itemized listing of income and expenses; and the amount of any fiscal reserves. Such financial statement shall be prepared in accordance with the requirements of the Department.
  - b. A description of any major repair or maintenance work undertaken or needed in the previous and current fiscal years. Such statement shall describe what steps the Borrower has taken in order to maintain the Development in a safe and sanitary condition in accordance with applicable housing and building codes.
  - c. The occupancy of the Development indicating:
    - (1) The income of each current resident, if loan forgiveness option has been exercised.
    - (2) The current rents charged each resident in an Assisted Unit, and whether these rents include utilities.
  - d. A summary of the information received from the recertification of tenants' incomes, if loan forgiveness option has been exercised.

- e. Evidence of a currently paid hazard and liability insurance policy pursuant to Paragraph 12 of the Regulatory Agreement.

19. Department Review and Inspections.

- a. At any time during the term of the loan, the Department or its designee with reasonable notice to Borrower may enter and inspect the physical premises and inspect all accounting records pertaining to the rehabilitation or operation of the Development. Upon request by the Department, the Borrower shall notify occupants of upcoming inspections of their units in accordance with State law.
- b. The Department may perform or cause to be performed audits of any and all phases of the Borrower's activities related to the Development. At the Department's request, the Borrower shall provide, at its own expense, an audit of the financial condition of the Development certified by an independent certified public accountant.
- c. The Department may request any other reasonable information that it deems necessary to monitor compliance with requirements set forth in this Agreement. Such information shall be promptly provided by the Borrower.

20. Displacement and Relocation. If the rehabilitation of the Development will result in the temporary displacement of persons, the Borrower shall provide for relocation payments and assistance in accordance with the Relocation Plan which is to be submitted to and approved by the Department prior to closing of the Program loan. Such plan shall ensure at least the following benefits in accordance with the provisions of the Program Guidelines.

- a. The difference between the rent of the damaged unit and the replacement unit for the number of months the tenant will be displaced; and
- b. The rental deposit and/or first and last month's rent that may be required to relocate tenant; and
- c. Reasonable moving costs not to exceed \$500, per household.

21. Restrictions on Sale, Encumbrance, and Other Acts.

- a. The Borrower shall not make any sale, encumbrance, assignment, refinancing, conveyance, or transfer in any other form, of the Development or of any of its interest therein, except with the prior written approval of the Department.
- b. The Borrower shall not add to, reconstruct, or demolish any part of the Development without the prior written approval of the Department.
- c. The Borrower shall not permit the use of the Development for any purpose other than that permitted by this Agreement without the prior written approval of the Department.
- d. The Borrower shall not incur any liability or obligation in connection with the Development, other than for current operating, management and maintenance costs and for the indebtedness evidenced by the Note with the Department, nor incur any liability or obligation whatsoever that is secured in whole or in part by any interest in or lien or encumbrance on the Development, without the prior written approval of the Department.
- e. The Borrower shall not enter into any contract relating to rehabilitating or managing the Development, except as authorized by the Department.
- f. Borrower shall not enter into any master lease or ground lease of the Development or any interest therein without prior written Department approval. Such lease shall allow for termination within 30 days upon request by the Department.
- g. If the Borrower or its successors in interest is a partnership, it shall not discharge or replace any general partner or amend, modify or add to its partnership agreement without prior written Department approval, except that it may transfer limited partnership interests without such approval.

22. Violation of Regulatory Agreement by Borrower. In the event of the violation or breach of any of the provisions of this Regulatory Agreement by the Borrower, the Department may give written notice thereof to the Borrower by certified mail addressed to the Borrower at the address stated in this Regulatory Agreement, or to such other address as may have been designated by the Borrower. If the violation is not corrected to the satisfaction of the Department within 30 days after the date such notice is mailed, the Department may declare in writing a default under this Regulatory Agreement and may at its sole discretion:

- a. Collect all rents, and income in connection with the operation of the Development and use the same and the reserve funds for the operation and maintenance of the Development.

- b. Take possession of the Development and bring any action necessary to enforce any rights of the Borrower growing out of the operation of the Development, and operate the Development in accordance with the terms of this Regulatory Agreement until such time as the Department, in its sole discretion, shall determine that the Borrower is again in a position to operate the Development in accordance with the terms of this Regulatory Agreement.
- c. Apply to any court, State or Federal, for specific performance of this Regulatory Agreement; for the appointment of a receiver to take over and operate the Development in accordance with the terms of this Regulatory Agreement; or for such other relief as may be appropriate. It is agreed by the Borrower that the injury to the Department arising from a default under any of the terms of this Regulatory Agreement would be irreparable and that the amount of compensation which would provide adequate relief to the Department, in light of the purposes of the program, would be impossible to ascertain.
- d. Declare the loan, including all principal and interest thereon, to be immediately due and payable and demand payment thereof.

The Department may in the event of default elect any or all the remedies listed above at its sole discretion. The failure of the Department in the event of breach to declare a default shall not constitute a waiver by the Department of such breach or any subsequent breach.

- 23. Amendment. This Regulatory Agreement shall not be altered or amended except in writing, executed between all the parties.
- 24. Recording Agreement. This Agreement, and all amendments thereto, shall be executed by each of the parties. This Agreement, or memorandum therefore, shall be recorded against the subject Property in the official records of the county in which the Development is situated.
- 25. Binding on Successors-in-Interest. This Agreement shall be binding for the full term hereof on all assigns, successors-in-interest or transferees of Borrower. The term "Borrower" as used in this Agreement shall include all such assigns, successor-in-interest or transferees.
- 26. Hold Harmless. Borrower and its successor in interest agree to indemnify, defend, and hold harmless the Department and its respective agents, employees and officers from any and all claims, losses, liabilities or causes of action (including reasonable

attorneys' fees) arising from or in connection with Borrower's management, maintenance or operation of the Development.

**BORROWER**

*Govinder Singh*

By: Govinder Singh

**DEPARTMENT**

Department of Housing and  
Community Development  
California Natural Disaster  
Assistance Program  
P.O. Box 952054  
Sacramento, CA 94252-2054

By: *Michael D. Carroll 9/14/92*

Michael D. Carroll  
Program Manager

**ACKNOWLEDGEMENT:**

STATE OF CALIFORNIA }  
COUNTY OF SACRAMENTO } ..

On this 4<sup>th</sup> day of September in the year 1992  
before me, Rosalie Moreno a Notary Public, State of  
California, personally appeared Michael D. Carroll  
proved to me on the basis of satisfactory evidence to be the person whose name is  
subscribed to this instrument as  
Senior Program Manager  
of the Department of Housing and Community Development, State of California,  
and acknowledged to me that the Department of Housing and Community  
Development, State of California, executed it.



*Rosalie Moreno*  
Notary Public

Through the courtesy of -  
**Fidelity National Title**  
INSURANCE COMPANY

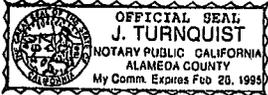


STATE OF CALIFORNIA )  
 ) ss. (Acknowledgement)  
County of Alameda )  
On this 30th day of September, in the year 19 92, before me, J. Turnquist,  
a Notary Public in and for the said County and State, residing therein, duly commissioned and sworn, personally  
appeared GOVINDER SINGH

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s):  
 INDIVIDUAL) Whose name is subscribed to this instrument, and acknowledged  
that he (she or they) executed it.  
 CORPORATION) Who executed the within instrument as \_\_\_\_\_ president and  
\_\_\_\_\_ secretary, on behalf of the corporation therein named, and  
acknowledged to me that such corporation executed the within  
instrument pursuant to its articles and by-laws and a resolution of  
its Board of Directors.  
 PARTNERSHIP) That \_\_\_\_\_ executed the within instrument on behalf of the part-  
nership, and acknowledged to me that the partnership executed it.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, in and for said County and State,  
the day and year first above written.

J. Turnquist  
Notary Public in and for said County and State of California  
My commission expires: 2-28-95



FD-1B

**EXHIBIT A  
LEGAL DESCRIPTION**

The land is situated in the State of California, City of Oakland, County of Alameda, and is described as follows:

Beginning at the intersection of the Northern line of 14th Street with the Eastern line of Jefferson Street; and thence easterly along said line of 14th Street 50 feet; thence northerly and parallel with said line of Jefferson Street 103 feet 9 inches; thence westerly parallel with said line of 14th Street 50 feet to the eastern line of Jefferson Street; and thence southerly along said last named line 103 feet 9 inches to the point of beginning.

Assessor's Parcel No. 003-0069-017

**EXHIBIT B  
INITIAL SCHEDULE OF ASSISTED UNITS**

**RENTS:**

<u># of Units</u>	<u>Pre-Disaster Rents</u>	<u>Initial Rents</u>
102 SROs	\$360.00	17 @ \$300.00
One 3-bedroom	\$0	85 @ \$389.00
		\$0

Where the Assisted Units are rent restricted as a condition of local funding program assistance, the initial rent for those Assisted Units and subsequent rent increases, shall be the lower of those permitted under the Department or the local funding program..

Initial rents based upon average pre-disaster rent (\$360.00 based on rent survey) and \$360.00 x 4.6% (1990 CPI increase) x 3.1% (1992 CPI increase) = \$389.00 maximum rent per room.

**NOTE: Returning tenants may be entitled to relocation benefits, including limitations on rents. Borrower is solely responsible for providing the assistance and benefits as set forth in state relocation law, commencing with Section 7260 of the Government Code.**

**EXHIBIT C**

**Department of Housing and Community Development  
California Natural Disaster Assistance Program - Rental**

**Insurance Requirements**

At close of escrow the Department must receive a one year prepaid Certificate of Insurance policy (or a binder followed by a certificate within 30 days of loan closing) evidencing the following coverage:

**1. HAZARD (PROPERTY)**

**Perils:** All risks or  
Fire & Lightning, Extended Coverage, Vandallism & Mallicious Mischief.

**Covered Property:** Structure; and  
All risk contents coverage.

**Amount:** Replacement value (or less if approved by Department)

**Coinurance:** Not less than 90%.

**Deductible:** \$2,500 Max. deductible per occurrence; or  
\$1,000 Maximum deductible per occurrence if the completed project value is less than \$300,000.

**Endorsement:** Lenders Loss Payable Endorsement required insuring the Department.

**OTHER PROPERTY INSURANCE**

**Flood Insurance:** Coverage required to 80% of replacement cost if the property is located in a 100-year flood plain.

**Steam Boiler & Related Machinery:** (When applicable) 80% of replacement cost coverage is required.

**2. COMPREHENSIVE GENERAL LIABILITY:**

**Minimum Amount:** \$1,000,000 per occurrence; or  
\$2,000,000 per occurrence for buildings with elevators.

**3. OTHER COVERAGE:**

**Loss of Rents:** Coverage shall insure 75% of annual gross rents.

**Workers Compensation:** Required by State law if employees are involved.

---

**ALL POLICIES MUST INCLUDE THE FOLLOWING**

**Named Insured:** Borrower.

**Additional Insured:** The Department of Housing and Community Development and its officers, agents, employees and servants must be named as additional insureds.

**Cancellation Clause:** The Department must be notified 30 days prior to cancellation of the insurance policy.

**HCD Notification:** The Department must be notified prior to cancellation or lapse of coverage or in the event of any claim.

The Department should be identified on all insurance documents as follows:

**The Department of Housing and Community Development  
California Natural Disaster Assistance Program - Rental  
P.O. Box 952054  
Sacramento, CA 94252-2054**

# **EXHIBIT E**

**Table 1: Residential Hotels in the Central District**

<b>NO.</b>	<b>HOTEL NAME</b>	<b>NUMBER</b>	<b>STREET</b>	<b>TOTAL ROOMS</b>	<b>AVAILABLE ROOMS</b>
1	Alendale Guest Home * †	278	Jayne Street	10	10
2	Alice Arts Center	1428	Alice Street	74	74
3	Asasha Hotel *	2541	San Pablo Avenue	Closed	N/A
4	Avondale Hotel	540	28th Street	52	52
5	Aztec Hotel	583	8th Street	59	59
6	C.L. Dellums Apartments	644	14th Street	72	68
7	California Hotel	3501	San Pablo Avenue	149	149
8	Fern's Hotel †	415	15th Street	32	31
9	Fremont Hotel	524	8th Street	38	38
10	Hamilton Hotel	2101	Telegraph Avenue	92	92
11	Harrison Hotel * †	1415	Harrison Street	90	89
12	Hotel Oakland	270	13th Street	315	315
			West Grand		
13	Hotel Palm	641	Avenue	69	69
14	Hotel Travelers	392	11th Street	88	78
15	Hotel Westerner * †	1954	San Pablo Avenue	19	19
16	Jefferson Inn	1424	Jefferson Street	65	55
17	Lake Merritt Lodge	2332	Harrison Street	157	157
18	Lakehurst Residence	1569	Jackson Street	127	127
19	Madrone Hotel	477	8th Street	31	30
20	The Menlo	344	13th Street	96	96
21	Milton Hotel * †	1109	Webster Street	58	58
22	Moor Hotel *	2351	San Pablo Avenue	Closed	N/A
23	Oaks Hotel	587	15th Street	84	84
24	Old Oakland Hotel	805	Washington Street	38	37
25	Ridge Hotel	634	15th Street	200	200
26	San Pablo Hotel	1955	San Pablo Avenue	144	144
27	Silver Dollar Hotel *	2330	San Pablo Avenue	Unknown	Unknown
28	Sutter Hotel	584	14th Street	106	86
29	Twin Peaks Hotel	2333	San Pablo Avenue	20	20
30	Will Rogers Hotel *	371	13th Street	Closed	N/A
31	Hotel Royal *	2000	San Pablo Avenue	Closed	N/A
<b>NO. OF SRO UNITS</b>				<b>2,285</b>	<b>2,237</b>

\* Hotel did not participate in 2002 survey.

† Room count based on 1985 survey.

Note: “Total rooms” includes units that are not available for rent.  
 “Available rooms” are rooms that are available for rent, regardless of whether they are currently occupied.

# **EXHIBIT F**

**CITY OF OAKLAND**  
**Community and Economic Development Agency**  
**250 Frank H. Ogawa Plaza, Suite 5313**  
**Oakland, CA 94612**  
**(510) 238-3721**

**Residential Rent  
Adjustment Program (RRAP)**

**HEARING DECISION**

**CASE NUMBER:** Tart v. Singh, T02-0170

**PROPERTY ADDRESS:** 584 14<sup>th</sup> Street, Room 501, Oakland

**HEARING DATE:** November 14, 2002

**PARTIES PRESENT:**

Sumter Tartt	Tenant
Raj Singh	Landlord
P.K. Mukherjee	Landlord

**INTRODUCTION**

This matter involves a petition filed on June 7, 2002 by Sumter Tartt (Tenant) who contests a rent increase he claims exceeds the Annual Permissible Rent Increase authorized by the Oakland Municipal Code [O.M.C.] Title 8, Chapter 8.22.060 and Resolution No. 71518 C.M.S. Rules and Procedures, 7.4 [Rules].

The persons listed above appeared at the hearing and were given full opportunity to present relevant evidence and argument. Everyone who testified did so under oath.

**FINDINGS OF FACT AND CONCLUSIONS OF LAW**

1. **Background Information:** The property is located at 584 14<sup>th</sup> Street, in Oakland and consists of a residential hotel with 102 units. Tenant Tartt originally moved into room 501 at an initial rent of \$183.44 a week. As this property is a residential hotel, the \$183.44 includes a City of Oakland Hotel Tax that the owners pay to the City of Oakland. After the unit has been occupied for thirty days, the City of Oakland no longer collects a hotel tax on the unit. However, the owners do not adjust the rate of the unit, and after thirty days Mr. Tartt was still charged \$183.44 a week. Mr. Tartt's complaint to the Residential Rent Adjustment Program (RRAP) is that failing to decrease his rent

Hearing Officer, Oakland  
Rent Adjustment Program



CITY OF OAKLAND

P.O. BOX 70243, OAKLAND, CA 94612-2043  
Department of Housing and Community Development  
Rent Adjustment Program

(510) 238-3721  
FAX (510) 238-6181  
TDD (510) 238-3254

**HEARING DECISION**

**CASE NUMBER:** T14-0375, Dahan v. Singh  
**PROPERTY ADDRESS:** 584 14<sup>th</sup> Street, #607, Oakland, CA  
**DATE OF HEARING:** January 5, 2015  
**DATE OF DECISION:** January 5, 2015  
**APPEARANCES:** Kyrha Dahan Tenant  
No appearance by Owner

**SUMMARY OF DECISION**

The tenant's petition is dismissed.

**CONTENTIONS OF THE PARTIES**

The tenant filed a petition on September 2, 2014, alleging that she received rent increases that exceed the *CPI* and are unjustified; that the rent was raised illegally after the unit was vacated; that no written notice of the Rent Program (*RAP Notice*) was given to her together with the rent increase notices; that no *RAP Notice* was given to her at least 6 months prior to the effective date of the rent increase; that her housing services have decreased; that at present there exists a health, safety, fire or building code violation in her unit; that the notice of rent increase based upon capital improvements did not contain the enhanced notice requirements; that her rent was not reduced after the expiration date of a capital improvement rent increase; and, that the proposed rent increase would exceed an overall increase of greater than 30% in 5 years.

The owner filed a timely response to the tenant petition claiming that there had been no rent increase and no decrease in housing services.

///

## THE ISSUES

1. Does the Rent Adjustment Program have jurisdiction?

## EVIDENCE

The tenant testified that an *Unlawful Detainer* action had been filed against her in Superior Court by the owner of the subject property. In response to the *Unlawful Detainer* the tenant filed documents in court in which she raised the same issues she raised in her tenant petition. These issues include that the owner breached the implied warranty of habitability.

The tenant further testified that a *Judgment*<sup>1</sup> was entered against her in the court proceedings. The *Judgment* specified that the tenant owed the owner of the property \$10,421.43 in back rent, holdover damages and costs. The tenant moved out of the property in November of 2014.

The tenant sought to testify about illegal activities of the owner of the property, that the Court did not allow her to bring forward all of her claims and that fraud was perpetuated by the owner. The tenant's testimony was limited by the Hearing Officer because the RAP does not have jurisdiction of this claim (See below.)

## FINDINGS OF FACT AND CONCLUSIONS OF LAW

### Jurisdiction

Under the Oakland Rent Ordinance, a decrease in housing services is considered to be an increase in rent<sup>2</sup> and may be corrected by a rent adjustment.<sup>3</sup> The decrease may be either the elimination or reduction of an existing service or a serious violation of the housing or building code which affects the habitability of the tenant's unit.

The owner and tenant were parties to an Unlawful Detainer action in Alameda County Superior Court, Case No. RG14-728890. In that case, the owner sought to evict the tenant based upon non-payment of rent. One of the tenant's defenses was that the owner had breached the implied warranty of habitability. Such a defense is recognized under State law:

In an unlawful detainer proceeding involving residential premises after default in payment of rent and in which the tenant has raised as an affirmative defense a breach of the landlord obligations . . . of any warranty of habitability, the court shall determine whether a substantial breach of these obligations has occurred.

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<sup>1</sup> Exhibit I.

<sup>2</sup> O.M.C. Section 8.22.070(F)

<sup>3</sup> O.M.C. Section 8.22.110(E)

If the court finds that a substantial breach has occurred, the court (1) shall determine the reasonable rental value of the premises (4) shall order that the monthly rent be limited to the reasonable rental value of the premises until repairs are completed.<sup>4</sup>

Both the Rent Adjustment Ordinance and the Code of Civil Procedure provide that rent for a residential unit may be reduced if the owner has breached the implied warranty of habitability. However, the same issue cannot be litigated in two places. The Superior Court assumed jurisdiction over all issues in the Rent Adjustment case, including the amount of rent owed. Therefore, the tenant petition must be dismissed.

### ORDER

1. The tenant's petition is dismissed.
2. Right to Appeal: This decision is the final decision of the Rent Adjustment Program Staff. Either party may appeal this decision by filing a properly completed appeal using the form provided by the Rent Adjustment Program. The appeal must be received within twenty (20) days after service of the decision. The date of service is shown on the attached Proof of Service. If the Rent Adjustment Office is closed on the last day to file, the appeal may be filed on the next business day.

Dated: January 5, 2015



Barbara M. Cohen  
Hearing Officer  
Rent Adjustment Program

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<sup>4</sup> Code of Civil Procedure, Section 1174.2

## PROOF OF SERVICE

Case Number T14-0375

I am a resident of the State of California at least eighteen years of age. I am not a party to the Residential Rent Adjustment Program case listed above. I am employed in Alameda County, California. My business address is 250 Frank H. Ogawa Plaza, Suite 5313, 5<sup>th</sup> Floor, Oakland, California 94612.

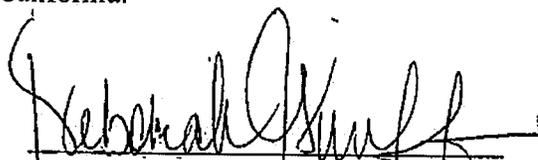
Today, I served the attached **Hearing Decision** by placing a true copy of it in a sealed envelope in City of Oakland mail collection receptacle for mailing on the below date at 250 Frank H. Ogawa Plaza, Suite 5313, 5<sup>th</sup> Floor, Oakland, California, addressed to:

Rameet Raj Singh  
584 14<sup>th</sup> Street  
Oakland, CA 94612

Kyrha Dahan  
584 14<sup>th</sup> Street #607  
Oakland, CA 94612

I am readily familiar with the City of Oakland's practice of collection and processing correspondence for mailing. Under that practice an envelope placed in the mail collection receptacle described above would be deposited in the United States mail with the U.S. Postal Service on that same day with first class postage thereon fully prepaid in the ordinary course of business.

I declare under penalty of perjury under the laws of the State of California that the above is true and correct. Executed on **January 7, 2015** in Oakland, California.

  
Deborah Griffin  
Oakland Rent Adjustment Program

**CITY OF OAKLAND**  
**Community and Economic Development Agency**  
**250 Frank H. Ogawa Plaza, Suite 5313**  
**Oakland, CA 94612**  
**(510) 238-3721**

**Residential Rent  
Adjustment Program (RRAP)**

**HEARING DECISION**

**CASE NUMBER:** Hanks v. Singh, T01-0266

**PROPERTY ADDRESS:** 584 14<sup>th</sup> Street, room 404, Oakland

**HEARING DATE:** October 3, 2002

**PARTIES PRESENT:** Raj Singh, Landlord

**INTRODUCTION**

This matter involves a petition filed on May 15, 2001 by Naomi Hanks (Tenant) who contests a rent increase she claims exceeds the Annual Permissible Rent Increase authorized by the Oakland Municipal Code [O.M.C.] Title 8, Chapter 8.22.060 and Resolution No. 71518 C.M.S. Rules and Procedures, 7.4 [Rules].

Mr. Singh, one of the owners of the property in question, appeared at the hearing and was given full opportunity to present relevant evidence and argument. He testified under oath. Ms. Hanks did not appear at the hearing.

**FINDINGS OF FACT**

The property is located at 584 14<sup>th</sup> Street, in Oakland and consists of a residential hotel with 102 units. Tenant Hanks originally moved into room 404 on February 6, 2001 at an initial rent of \$245.60 a week. The tenant was served with a rent increase notice on April, 16, 2001. In that notice of increase, the landlord proposed to increase the rent from \$245.60 to \$248.00 a week (.9%) effective May 16, 2001.

At the time the tenant moved into the property she was not given notice of the existence and scope of the Rent Adjustment Program (RAP). The landlord had posted a copy of the notice of the Ordinance in the lobby of the hotel but had not delivered it individually to

either this tenant or any other tenant. Additionally, at the time the notice of rent increase was delivered to this tenant, she was not concurrently served with notice of the RAP.

The petition in this case was filed on May 15, 2001. At the hearing the landlord provided evidence that at the time the petition was filed, Ms. Hanks was not current on her rent.

### CONCLUSIONS OF LAW

1. Jurisdiction: The HRRRB only has jurisdiction to examine the actions of a landlord when a rent increase is higher than the Annual Permissible Rent Increase. [O.M.C. Chapter 8.22.080 A; Rules 6.2] Here the rent increase contested by Ms. Hanks is less than 3%. Therefore, the tenant's claim must be dismissed.

While the tenant's claim is dismissed there were other issues raised by the landlord and the tenant that are being addressed below so that the parties better understand the Ordinance.

2. Filing and Response Requirements: Pursuant to O.M.C. Chapter 8.22.080 C, a tenant petitioner **who is current on the rent** is allowed 30 days from the date a notice of rent increase is received, or 30 days from the date notice of the existence and scope of the Rent Ordinance is received, **whichever is later**, to file a petition. The tenant petition was filed timely in accordance with the Ordinance because it was filed within 30 days of her receipt of the rent increase notice. However, the landlord provided proof at the hearing that the tenant had not paid her rent in full at the time she filed the petition. Since being current on the rent is required to be eligible to file a petition, the tenant's claim must be dismissed on this basis as well.

3. Notice Requirements: Pursuant to O.M.C. Chapter 8.22.060 E (5), a landlord is required to give notice of the existence and scope of the Rent Ordinance including the tenant's right to petition against rent increases, both (1) on or before the commencement of the tenancy and (2) concurrent with any notice of an increase in rent.

Here, the landlord admitted at the hearing that he does not give notice of the Ordinance directly to his tenants at the time they move in to the building; rather he has one copy of the notice posted in the lobby of the building. While the landlord in this case is faced with an unusual situation in that his tenants are not immediately subject to the law unless they stay more than thirty days, the notice requirements are not met by the simple posting of the notice in the lobby. All tenants must be individually provided with a notice either before or at the time they become covered by the law.

Additionally, the landlord failed to provide the tenant with notice of the Ordinance concurrent with providing her a copy of the rent increase notice. The failure to provide such notice would make the rent increase notice invalid if the tenant's petition did not have to be dismissed.

4. Anniversary Date: The Residential Rent Arbitration Program allows only one rent increase each year for any tenant covered by the law. Raising the rent before the tenant has been residing in the unit for at least one year violates the rule permitting only one rent increase a year. Therefore, the rent increase notice was invalid. However, since the tenant's petition must be dismissed, the HRRRB has no jurisdiction to remedy the violation.

### **ORDER**

Wherefore, all the evidence having been heard and considered, it is the order of this Hearing Officer that:

1. Petition T01-0266 is denied. The tenant's petition is dismissed because the rent increase was not more than 3% and because her rent was not current at the time the petition was filed. The HRRRB has no jurisdiction over the tenant's claims.
2. Right to Appeal: This decision is final unless the Rent Board vacates the decision following an appeal to the Board. Either party may appeal the Hearing Officer's decision within fifteen (15) days after service of the notice of decision by filing with the Rent Adjustment Program a written notice on a form prescribed by the Rent Adjustment Program setting forth the grounds for the appeal. [New OMC. 8.22.120 A. 1]
3. Retaliation: The landlord may not recover possession of a rental unit in retaliation against a tenant for exercising his/her right pursuant to this ordinance.

Dated: November \_\_\_\_, 2002

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**BARBARA M. COHEN**  
Hearing Officer, Oakland  
Rent Adjustment Program

BMC:bh

THREE DAY NOTICE TO PAY RENT OR QUIT

TO MARIE MAY NG & MARIC FLORES tenant(s) in possession.  
WITHIN THREE DAYS, after service upon you of this notice, you are hereby required to pay the rent of the premises hereinafter described, of which you now hold possession, amounting to the sum of \$ 750.00 Dollars which became due on the dates indicated:

<u>DATE</u>	<u>RENT</u>	<u>AMOUNT</u>
7-29-11 thru 8/4/11	250 -	
8-5-11 thru 8/11/11	250 -	
8-12-11 thru 8/18/11	250 -	

2011 AUG 29 AM 9:55

or you are hereby required to deliver up possession of the hereinafter described premises, within THREE DAYS after service on you of this notice, to Front Desk Hotel clerk who is authorized to receive the same, or the undersigned will institute legal proceedings against you to declare the forfeiture of the lease or rent agreement under which you occupy the hereinbelow described property, and to recover possession of said premises with past due rent and damages. The premises herein referred to are situated at:

584-14<sup>th</sup> St, # 605, Oakland, Ca. 94612

You are further notified that the undersigned does hereby elect to declare the forfeiture of the lease or rental agreement under which you hold possession of the above described premises.

Rent may be paid to Hotel Front Desk clerk at 584-14<sup>th</sup> St, Oakland, CA  
between the hours of 7am - 11 pm  
( ) Mon thru Fri ( ) Mon thru Sat (X) Mon thru Sun Phone No. (510) 451-2555

IF THE TENANCY TERMINATES PURSUANT TO THIS THREE DAY NOTICE, you have the legal right request an initial inspection of your unit and be present during the inspection. The purpose of this inspection is to allow you the opportunity to correct any deficiencies in the unit in order to avoid deductions from the security deposit. Please contact the Owner/Agent as directed below to request an initial inspection.

If you request the inspection, THE INSPECTION WILL TAKE PLACE ON: CALL TO SCHEDULE \_\_\_\_\_ (time), which is at least 48 hours after service of this notice. Please contact the Owner/Agent if you wish to reschedule the inspection for another day or time prior to the termination of your tenancy. This Notice serves as you 48 hour notice prior to Owner/Agent's entry into your unit.

This notice is given in good faith with honest intent and with no ulterior motive pursuant to Section 6.A(1) of Oakland Just Cause for Eviction Ordinance.

DATED: 8/19/11 8/19/11

[Signature] 8/19/11

Advice is available from the Residential Rent Adjustment Board also known as the Rent Board and the Housing Residential Rent and Relocation Board located as of January 2003 at 250 Frank J. Ogawa Plaza, Suite 3315, Oakland CA 94612.

cc: Oakland Rent Board

THREE DAY NOTICE TO PAY RENT OR OUT

o VIRGINIA TERRY / MARK BROWN tenant(s) in possession.  
WITHIN THREE DAYS, after service upon you of this notice, you are hereby required to pay the rent of the premises hereinafter described, of which you now hold possession, amounting to the sum of \$ 3325- Dollars which became due on the dates indicated:

DATE	RENT	AMOUNT
2/22/12 — 3/6/12	\$ 475-	
3/7/12 — 3/20/12	475-	
3/21/12 — 4/3/12	475-	
4/4/12 — 4/17/12	475-	
4/18/12 — 5/1/12	475-	
5/2/12 — 5/15/12	475-	
5/16/12 — 5/29/12	475-	
		<u>\$ 3325-</u>

RECEIVED  
CITY OF OAKLAND  
RENT ARBITRATION PROGRAM  
2012 JUN 15 PM 3:12

or you are hereby required to deliver up possession of the hereinafter described premises, within THREE DAYS after service on you of this notice, to Hotel Front Desk clerk who is authorized to receive the same, or the undersigned will institute legal proceedings against you to declare the forfeiture of the lease or rent agreement under which you occupy the hereinbelow described property, and to recover possession of said premises with past due rent and damages. The premises herein referred to are situated at:

584-14<sup>th</sup> St # 606, Oakland, Ca. 94612

You are further notified that the undersigned does hereby elect to declare the forfeiture of the lease or rental agreement under which you hold possession of the above described premises.

Rent may be paid to Hotel Front Desk clerk at 584-14<sup>th</sup> St, Oakland, Ca.  
between the hours of 7AM - 11 PM  
( ) Mon thru Fri ( ) Mon thru Sat (x) Mon thru Sun Phone No. (510) 451-2555

IF THE TENANCY TERMINATES PURSUANT TO THIS THREE DAY NOTICE, you have the legal right request an initial inspection of your unit and be present during the inspection. The purpose of this inspection is to allow you the opportunity to correct any deficiencies in the unit in order to avoid deductions from the security deposit. Please contact the Owner/Agent as directed below to request an initial inspection.

If you request the inspection, THE INSPECTION WILL TAKE PLACE ON: CALL TO SCHEDULE (time), which is at least 48 hours after service of this notice. Please contact the Owner/Agent if you wish to reschedule the inspection for another day or time prior to the termination of your tenancy. This Notice serves as you 48 hour notice prior to Owner/Agent's entry into your unit.

This notice is given in good faith with honest intent and with no ulterior motive pursuant to Section 6.A(1) of Oakland Just Cause for Eviction Ordinance.

DATED: 6/7/12

Ray [Signature]

Advice is available from the Residential Rent Adjustment Board also known as the Rent Board and the Housing Residential Rent and Relocation Board located as of January 2003 at 250 Frank J. Ogawa Plaza, Suite 3315, Oakland CA 94612.

cc: Oakland Rent Board

THREE DAY NOTICE TO PAY RENT OR OUIT

TO SETH SPROGE & SHELLY YOUNG tenant(s) in possession.  
WITHIN THREE DAYS, after service upon you of this notice, you are hereby required to pay the rent of the premises hereinafter described, of which you now hold possession, amounting to the sum of \$ 17,364.48 Dollars which became due on the dates indicated:

RECEIVED  
CITY OF OAKLAND  
RENT ARBITRATION PROGRAM  
2013 SEP 20 PM 4:44

<u>DATE</u>	<u>RENT</u>	<u>AMOUNT</u>
June 21, 2012 — Sep 12, 2012	\$ 3255.84	
Sep 13, 2012 — Dec 5, 2012	3255.84	
Dec 6, 2012 — Feb 27, 2013	3255.84	
Feb 28, 2013 — May 22, 2013	3255.84	
May 23, 2013 — Aug 14, 2013	3255.84	
Aug 15, 2013 — Sep 11, 2013	1085.28	
		<u>\$ 17,364.48</u>

or you are hereby required to deliver up possession of the hereinafter described premises, within THREE DAYS after service on you of this notice, to Hotel Front Desk Clerk who is authorized to receive the same, or the undersigned will institute legal proceedings against you to declare the forfeiture of the lease or rent agreement under which you occupy the hereinbelow described property, and to recover possession of said premises with past due rent and damages. The premises herein referred to are situated at:

584-14<sup>th</sup> St # 303, Oakland, California

You are further notified that the undersigned does hereby elect to declare the forfeiture of the lease or rental agreement under which you hold possession of the above described premises.

Rent may be paid to Hotel Front Desk Clerk at 584-14<sup>th</sup> St, Oakland, Ca  
between the hours of 7am - 11 pm  
 Mon thru Fri  Mon thru Sat  Mon thru Sun  
Phone No. (510) 451-2555

IF THE TENANCY TERMINATES PURSUANT TO THIS THREE-DAY NOTICE, you have the legal right request an initial inspection of your unit and be present during the inspection. The purpose of this inspection is to allow you the opportunity to correct any deficiencies in the unit in order to avoid deductions from the security deposit. Please contact the Owner/Agent as directed below to request an initial inspection.

If you request the inspection, THE INSPECTION WILL TAKE PLACE ON: CALL TO SCHEDULE (time), which is at least 48 hours after service of this notice. Please contact the Owner/Agent if you wish to reschedule the inspection for another day or time prior to the termination of your tenancy. This Notice serves as you 48 hour notice prior to Owner/Agent's entry into your unit.

This notice is given in good faith with honest intent and with no ulterior motive pursuant to Section 6.A(1) of Oakland Just Cause for Eviction Ordinance.

DATED: 9/12/13

[Signature]

Advice is available from the Residential Rent Adjustment Board also known as the Rent Board and the Housing Residential Rent and Relocation Board located as of January 2003 at 250 Frank J. Ogawa Plaza, Suite 3315, Oakland CA 94612.

cc: Oakland Rent Board

THREE DAY NOTICE TO PAY RENT OR QUIT

CITY OF OAKLAND  
RENT ARBITRATION PROGRAM  
tenant(s) in possession

TO ~~EDDIE~~ EDDIE DICKERSON

WITHIN THREE DAYS, after service upon you of this notice, you are hereby required to pay the rent of the premises hereinafter described, of which you now hold possession, amounting to the sum of \$ 1875 Dollars which became due on the dates indicated:

<u>DATE</u>	<u>RENT</u>	<u>AMOUNT</u>
4/21/14 - 5/4/14 (2 wks)	\$ 375 -	
5/5/14 - 6/1/14 (4 wks)	\$ 750 -	
6/2/14 - 6/29/14 (4 wks)	\$ 750 -	\$ 1875 -

or you are hereby required to deliver up possession of the hereinafter described premises, within THREE DAYS after service on you of this notice, to Hotel Front Desk Clerk who is authorized to receive the same, or the undersigned will institute legal proceedings against you to declare the forfeiture of the lease or rental agreement under which you occupy the hereinbelow described property, and to recover possession of said premises with past due rent and damages. The premises herein referred to are situated at:

584 - 14<sup>th</sup> St # 314, Oakland, California

You are further notified that the undersigned does hereby elect to declare the forfeiture of the lease or rental agreement under which you hold possession of the above described premises.

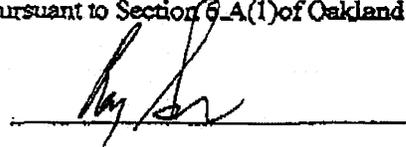
Rent may be paid to Hotel Front Desk Clerk at 584-14<sup>th</sup> St, Oakland, Calif  
between the hours of 7am - 11pm  
 Mon thru Fri  Mon thru Sat  Mon thru Sun Phone No. (570) 451-2555

IF THE TENANCY TERMINATES PURSUANT TO THIS THREE DAY NOTICE, you have the legal right request an initial inspection of your unit and be present during the inspection. The purpose of this inspection is to allow you the opportunity to correct any deficiencies in the unit in order to avoid deductions from the security deposit. Please contact the Owner/Agent as directed below to request an initial inspection.

If you request the inspection, THE INSPECTION WILL TAKE PLACE ON: CALL TO SCHEDULE (time), which is at least 48 hours after service of this notice. Please contact the Owner/Agent if you wish to reschedule the inspection for another day or time prior to the termination of your tenancy. This Notice serves as you 48 hour notice prior to Owner/Agent's entry into your unit.

This notice is given in good faith with honest intent and with no ulterior motive pursuant to Section 6.4(1) of Oakland Just Cause for Eviction Ordinance.

DATED: 6/30/14



Advice is available from the Residential Rent Adjustment Board also known as the Rent Board and the Housing Residential Rent and Relocation Board located as of January 2003 at 250 Frank J. Ogawa Plaza, Suite 3315, Oakland CA 94612.

cc: Oakland Rent Board

**THREE DAY NOTICE TO PAY RENT OR OUT**

TO CHARLES & JULIE SWIFT tenant(s) in possession.  
WITHIN THREE DAYS, after service upon you of this notice, you are hereby required to pay the rent of the premi hereinafter described, of which you now hold possession, amounting to the sum of \$ 590.52 Doll; which became due on the dates indicated:

<u>DATE</u>	<u>RENT</u>	<u>AMOUNT</u>
11/26/08 - 11/26/08	\$ 295.26	\$ 590.52
11/27/08 - 12/3/08	\$ 295.26	

RECEIVED  
CITY OF OAKLAND  
RENT ARBITRATION PROGRAM  
2008 DEC 10 PM 3:38

or you are hereby required to deliver up possession of the hereinafter described premises, within THREE DA after service on you of this notice, to Front Desk Clerk who is authorized to receive 1 same, or the undersigned will institute legal proceedings against you to declare the forfeiture of the lease or ren agreement under which you occupy the hereinbelow described property, and to recover possession of said premis with past due rent and damages. The premises herein referred to are situated at:

584-14<sup>th</sup> St, # 703, Oakland, CA 94612

You are further notified that the undersigned does hereby elect to declare the forfeiture of the lease or rental agreemnt under which you hold possession of the above described premises.

Rent may be paid to Front Desk Clerk at 584-14<sup>th</sup> Street,  
Oakland between the hours of 7am - 11 pm  
( ) Mon thru Fri ( ) Mon thru Sat (X) Mon thru Sun Phone No. (510) 451-2555

IF THE TENANCY TERMINATES PURSUANT TO THIS THREE DAY NOTICE, you have the legal right request an initial inspection of your unit and be present during the inspection. The purpose of this inspection is to allc you the opportunity to correct any deficiencies in the unit in order to avoid deductions from the security deposit. Plea contact the Owner/Agent as directed below to request an initial inspection.

If you request the inspection, THE INSPECTION WILL TAKE PLACE ON: CALL TO SCHEDULE \_\_\_\_\_ (time), which is at least 48 hours after service of this notice. Please contact the Owner/Agent if you wi to reschedule the inspection for another day or time prior to the termination of your tenancy. This Notice serves as yo 48 hour notice prior to Owner/Agent's entry into your unit.

This notice is given in good faith with honest intent and with no ulterior motive pursuant to Section 6.A(1) of Oakland Just Cause for Eviction Ordinance.

DATED: 12/8/08

[Signature]

Advice is available from the Residential Rent Adjustment Board also known as the Rent Board and the Housin Residential Rent and Relocation Board located as of January 2003 at 250 Frank J. Ogawa Plaza, Suite 3315, Oaklan CA 94612.

cc: Oakland Rent Board

# **EXHIBIT G**

\$676.

The average rates in 2002 were \$35 daily, \$199 weekly, and \$544 monthly. (These figures have not been adjusted for inflation.) After adjusting for inflation, daily rates have increased 34%. Weekly rates have actually decreased 4.6%, and monthly rates have decreased 6.4% after adjusting for inflation.

Looking back to the 1985 study, the average rates then were \$18.50 daily, \$77 weekly, and \$246.50 monthly. Over the past 30 years, this represents an inflation-adjusted increase of 51% at the daily rate, 46% at the weekly rate, and 29% at the monthly rate.

Most residents of Oakland's SROs are permanent tenants. A full 85% of current residents have occupied their rooms at least one month, and 65% have been tenants for at least one year. An estimated 26% of residents have been tenants for five years or more.

Several hotels do not accept new guests on a monthly basis. Local residents who do not have permanent housing must shuttle around between different hotels every 30 days or less in order to comply with this policy. (Preexisting permanent tenants must be grandfathered in to this policy. For more information about tenancy regulations, see the "Relevant Legal Statutes for Regulation of SROs" chart.) The maximum stay for new guests at the Hotel Travelers, for example, is 28 days. Because the weekly rate at the Hotel Travelers is \$270, the effective monthly rate is \$1,080 per month. This is a full 50% higher than the average monthly rate for those that do accept monthly guests.

Permanent residents of SROs do not necessarily pay the market average for rent. Oakland's rent adjustment ordinance limits rent increases for permanent residents to the cost of inflation. Depending on when a resident has

Table 1

## Downtown Oakland's Residential Hotels

	Hotel	Address	Total Units	Total Available Units	Occupied Units	Occupancy Rate
1	Avondale Hotel	540 28th St	55	55	55	100%
2	The C.L. Dellums	644 14th St	72	72	70	97%
3	Claridge (formerly Ridge Hotel)	634 15th St	197	197	130	65%
4	Empyrean Towers (formerly Menlo Hotel)	344 13th St	96	96*	96*	unknown
5	Fremont Hotel	524 8th St	41	39*	39*	unknown
6	Grand Hotel (formerly Palm Hotel)	641 W. Grand Ave	77	32	32	100%
7	Harrison Hotel	1415 Harrison St	81	81	78	96%
8	Hotel Travelers	392 11th St	70	65	65	100%
9	Lakehurst Residential Hotel	1569 Jackson St	120	120	95	79%
10	Madrone Hotel	477 8th St	31	23	23	100%
11	Malonga Casquelourd Center for the Arts (formerly Alice Arts Center)	1428 Alice St	75	75	45†	60%†
12	Milton Hotel	1109 Webster St	40	20	20	100%
13	Old Oakland	805 Washington St	37	35	35	100%
14	San Pablo Hotel	1955 San Pablo Ave	144	144	137	95%
15	Silver Dollar Hotel	2329 San Pablo Ave	20	20	18	90%
16	Sutter Hotel	584 14th St	102	100	95	95%
17	The New Fern's Hotel	415 15th St	33	30	30	100%
18	Twin Peaks Hotel	2333 San Pablo Ave	20	20	9	45%
<b>Totals</b>			<b>1311</b>	<b>1224</b>	<b>1072</b>	<b>88%</b>

**\*Estimated number, based on visual observations or news accounts.**  
**† Recently renovated. Still in the process of securing tenants.**

moved in, market rents may have increased faster than inflation, and the resident may thus be paying below-market rent.

An individual paying more than 30% of his or her gross income in rent is typically classified as "rent-burdened," and an individual

paying more than 50% is classified as "severely rent-burdened." In order to not be rent-burdened, an individual would need to earn at least \$28,120 per year to afford the monthly rate. To afford the weekly rate on a yearly basis, an individual would need to earn \$40,160

# **EXHIBIT H**



DALZIEL BUILDING • 250 FRANK H. OGAWA PLAZA, SUITE 5313 • OAKLAND, CALIFORNIA 94612-2034

Community and Economic Development Agency  
Housing Development

(510) 238-3502  
FAX (510) 238-3691  
TDD (510) 238-3254

November 29, 2018

Sandra Chow  
Stanton Architecture  
1501 Mariposa Street, Ste 328  
San Francisco, CA 94107

Re: Exception from Provisions of Ordinance No. 13415 C.M.S. for 584 14<sup>th</sup> Street

Dear Ms. Chow:

Thank you for your petition dated 9/25/2018 ("**Petition**") (**Attachment A**) requesting an exception to Ordinance No. 13415 C.M.S. ("**Moratorium**") in order to perform a remodel of the Sutter Hotel, located at 584 14<sup>th</sup> Street ("**Building**"). As stated in a letter written to you on June 7, 2018 from the City of Oakland ("**June 7<sup>th</sup> Letter**") (**Attachment B**), Staff has determined that the subject property is considered a Residential Hotel, as defined in Sections 3.c and b in the Residential Hotel Moratorium (13410/13415 C.M.S.). For the reasons explained in the findings that follow, and subject to certain conditions included in this response, the City will proceed with processing Application No. DRX182227 ("**Application**"). This letter supersedes a previous exception letter (**Attachment C**) issued by the City of Oakland on November 21, 2018, providing important clarifications regarding the Conditions.

The findings regarding the Application below are based entirely on information and representations provided by the applicant in the Application and Petition. If the applicant has knowledge that any facts recited below are incorrect, the applicant is required to alert the City within ten (10) calendar days of the issuance of this determination letter.

**Findings Regarding Permit No. DRX182227**

Permit No. DRX182227, which supersedes ZP170086 that was referenced in the Petition, and seeks approval for interior and exterior modifications, including a restored ground floor storefront, new bathrooms in every Rooming Unit, removing one Rooming Unit on floors 2 through 7 (total of six), adding a communal kitchen to floors 2 through 7, converting a one-bedroom penthouse unit into six new Rooming Units and a communal kitchen, and reconfiguring the mezzanine and ground floor retail/lobby areas. Apart from the Rooming Units being converted to communal kitchens, no wall on the perimeter of any unit are proposed for demolition and the overall number of Rooming Units would remain the same - 102 Rooming Units.

The proposed scope of work ***is excepted*** from the Moratorium's restrictions on rehabilitation, demolition and conversion, because of the following:

- Rehabilitation – The Moratorium restricts rehabilitation of Residential Hotel Units, as set forth in Sections 3(f), 4(c) and 4(d), as a broad range of actions, including reconfiguration, reconstruction, renovation, repair or other improvements. However, it excludes actions that *do not result in displacement of existing residents for more than two (2) weeks,*

*According to the Petition in **Attachment A** on page 2, the applicant checks the box “No” when answering the question “Do you anticipate that any resident(s) may be displaced for any length of time by the proposed work?”. Therefore, as long as this statement remains true and correct, the proposed scope of work would not be considered rehabilitation. Condition of Petition Approval #4 would also therefore apply (see next page).*

- Demolition – The Moratorium restricts the Demolition of Residential Hotel Units, as set forth in Sections 3(d) and 4(b), as an action that *reduces the number* of Residential Hotel Units

*According to the proposed plans, and as described above, there is no proposed reduction in the total number of Residential Hotel Units in the Sutter Hotel. While existing Rooming Units will be demolished, new Rooming Units will also be created, and there will be no net loss of Rooming Units after completion of the project (a total of 102 Residential Hotel Units would remain), therefore the proposed scope of work would not be considered Demolition.*

- Conversion – The Moratorium restricts the Conversion of Residential Hotel Units, as set forth in Sections 3(c) and 4(a), as any action that converts one or more existing Residential Hotel Units to be used for other Residential or Commercial Activities, as defined in the Oakland Planning Code.

*As noted in the June 7th Letter (Attachment B), the Bureau of Planning considers the current land use activity to be Semi-Transient Residential based on City records, coupled with the history of use at the property and the hotel’s Transient Occupancy Tax and Rent Adjustment Program filings. According to the letter from the Pelosi Group dated January 31, 2018, there is evidence that the Sutter Hotel started operating as a Transient Habitation Commercial Activity in 2002. However, since July 28, 2000, the City required the granting of a Conditional Use Permit, with special findings, to begin a Transient Habitation Commercial Activity in the C-51 zone. A Conditional Use Permit has continued to be required for Transient Habitation Commercial Activity when the site was rezoned to CBD-P in July 21, 2009. City of Oakland records indicate that the City has never granted a Conditional Use Permit for Transient Habitation Commercial Activities for the site. Semi-Transient is defined in Section 17.10.120 of the Oakland Planning Code:*

*“Semi-Transient Residential Activities include the occupancy of living accommodations partly on a weekly or longer basis and partly for a shorter time period, but with less than thirty percent (30%) of the living units under the same ownership or management on the same lot being occupied on a less-than-weekly basis; but exclude institutional living arrangements involving the provision of a special kind of care or forced residence, such as in nursing homes, orphanages, asylums, and prisons...” [emphasis added]*

*The proposed scope of work constitutes physical changes to the building and the applicant does not describe the proposed length of stay for future residents. On page 2 of the submitted Form (Attachment A), the applicant does add a note that 30% of the units are meant to be Semi-transient. By approving Application No. DRX182227, the City is allowing for the continuation of the Semi-Transient Residential land use activity, and is **not** approving conversion to a Transient Habitation Commercial land use activity.*

### **Conditions of Petition Approval**

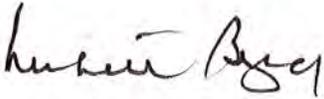
The Conditions of Petition Approval are in addition to any conditions of approval imposed by the Planning and Building Department or any other City department with jurisdiction over the Building, and any and all conditions of approval imposed in connection with Application No. DRX182227 are hereby incorporated by reference.

- 1) All work to be conducted pursuant to the Application shall be conducted in accordance with all provisions of the Oakland Municipal Code, except as otherwise explicitly modified by this Petition approval, as well as applicable state and federal laws.
- 2) Prior to commencing any work related to the Application, the applicant shall obtain Building Permit approval for the individual permits.
- 3) None of the work to be conducted pursuant to the Application may result in the displacement of any existing residents for more than two (2) weeks.
- 4) The work to be conducted shall maintain the same number of Residential Hotel Units, pursuant to the Application.
- 5) If any substantial or major revisions need to be made to the scope of work in order to conform with Building Codes, or for any other reason, the proposals will need to be re-evaluated based on the regulations in place at the time.
- 6) The proposed project shall only receive a certificate of occupancy for any of the Residential Hotel Units upon verification that 102 Residential Hotel Units remain in the building.
- 7) Per the letter previously issued to the applicant on June 7, 2018, a maximum of 30% of the units are allowed to be occupied on a less than weekly basis at this time.
- 8) The City shall have the authority to revoke the Petition or any subsequent permits and approvals issued in accordance with the Petition in the event that the applicant fails to comply with any of the above conditions or in the event that the City determines that the factual basis for granting the Petition is incorrect or materially different from what is included in these findings.

As noted above, the Conditions of Petition Approval are in addition to any conditions the Planning and Building Department imposes in connection with the issuance of permits, and this approval does not indicate that the City has approved the Application. Rather, the City has approved your Petition to except the Application from the Moratorium. Accordingly, you may continue to work with the City's Planning and Building Department to finalize information they may need to process and approve the Application.

Should you wish to challenge the determination on your Petition, you must appeal to the City Council within ten (10) calendar days of the date from which this determination was issued by following the procedures established under Section 6(c) of the Moratorium.

Sincerely,



Michele Byrd, Director  
Housing & Community Development Department

cc: William A. Gilchrist, Director, Planning and Building Department  
Sabrina B. Landreth, City Administrator

Attachments:

- A. Petition for Exception to Moratorium
- B. Letter to Applicant from the City of Oakland, Dated June 7, 2018
- C. Previous Letter of Exception from the City of Oakland, Dated November 21, 2018 (voided)



**EXCEPTIONS/ EXEMPTIONS  
TO MORATORIUM  
ESTABLISHED BY  
ORDINANCE NO. 13415 C.M.S.**

**Housing & Community Development Dept.**

250 Frank H. Ogawa Plaza  
5th Floor, Suite 5313  
Oakland, CA 94612  
Tel (510) 238-3015  
Fax (510) 238-2087  
TDD (510) 238-3254

**Instructions**

If you would like to file a petition for relief for an exemption from the moratorium established by the adoption of Ordinance No. 13415 C.M.S. or you would like to claim an exception to the Ordinance, please complete the form below. Please submit this form along with any supporting documentation to Attention: Director of the Housing and Community Development Department at 250 Frank H. Ogawa Plaza, Suite 5313. If more space is needed than the form provides, an additional page(s) may be attached.

If you are filing a petition for relief for an exemption, please include the payment of fees required (\$1,622.67 made payable to the City of Oakland).

Notice to Applicants: If an existing resident(s) is displaced by the proposed work, property owners may be required to pay relocation assistance under the Code Compliance Relocation Ordinance (O.M.C. 15.60.070) and the resident(s) may have rights under Oakland's Just Cause for Eviction Ordinance (O.M.C. 8.22.300, et seq.).

<b>Name of Applicant:</b> SANDRA CHOW	<b>Contact Number:</b> 415.865.9600
<b>Mailing Address:</b> STANTON ARCHITECTURE, 1501 MARIPOSA ST, STE 328, SAN FRANCISCO, CA 94107	
<b>Site Address:</b> 584 14TH STREET, OAKLAND, CA 94612	
<b>Assessor's Parcel Number:</b> 3-69-17	
<b>Please indicate if you have an existing or pending permit/application or if you are filing for an exception/exemption for proposed work.</b>	
1. <input type="checkbox"/> Permit #: _____ <input checked="" type="checkbox"/> Application #: <u>ZP170086</u> <input type="checkbox"/> Proposed Work	
Status: <u>COMPLETED</u> Scope: <u>THIS PROJECT PROPOSES A SELECTIVE REMODEL OF AN EXISTING 8 STORY BUILDING WITH BASEMENT AND MEZZANINE. THE SPECIFIC WORK WILL INCLUDE RECONFIGURING THE EXISTING BASEMENT, GROUND LEVEL, MEZZANINE, AND PENTHOUSE FLOORS. LEVELS 2 - 7 WILL HAVE PRIVATE BATHROOMS ADDED TO THE EXISTING ROOMS AND COMMUNAL KITCHENS ADDED ON EACH FLOOR. THE BUILDING SYSTEMS AND LIFE SAFETY WILL BE UPGRADED. NEW STAIRS, ELEVATOR, AND FIRE SPRINKLERS WILL ALSO BE ADDED.</u>	
2. <input type="checkbox"/> Permit #: _____ <input type="checkbox"/> Application #: _____ <input type="checkbox"/> Proposed Work	
Status: _____ Scope: _____	
Description: _____	
_____	
_____	

3.  Permit #: \_\_\_\_\_  Application #: \_\_\_\_\_  Proposed Work  
 Status: \_\_\_\_\_ Scope: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
**Description:** \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

4.  Permit #: \_\_\_\_\_  Application #: \_\_\_\_\_  Proposed Work  
 Status: \_\_\_\_\_ Scope: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
**Description:** \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

5.  Permit #: \_\_\_\_\_  Application #: \_\_\_\_\_  Proposed Work  
 Status: \_\_\_\_\_ Scope: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
**Description:** \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

<b>Current Number of Residential Hotel Units at Specified Site:</b> 102 (30% semi-transient)	<b>Proposed Number of Residential Hotel Units at Specified Site:</b> 102 (30% semi-transient)	<b>Number of Impacted Tenants:</b> 0
---	--	---

**Do you anticipate that any resident(s) may be displaced for any length of time by the proposed work?**  
 No  
 Yes. The anticipated duration of the displacement is \_\_\_\_\_.

**Reason for submitting this form:** (Please check the appropriate box)  
 I am claiming an **EXCEPTION** to the ordinance applies under Section 5 of Ordinance No. 13415 C.M.S.  
 I am filing a petition for relief to be considered for an **EXEMPTION** from the moratorium under Section 6.

**If claiming an EXCEPTION:**  
 Please specify which of the following exceptions to the ordinance apply by checking the appropriate box and describe how the exception applies (indicate the permit/application number(s) or if the work is proposed, wherever applicable).  
 **Owner possesses an established, vested right not to be subject to the Ordinance pursuant to Section 17.114.030 of the Oakland Planning Code.**  
 Please indicate the applicable permit/application number(s) and date(s) of issuance and/or describe how this exception otherwise applies: \_\_\_\_\_  
 ZP170086 - 06/07/2018 PLANNING MEMO: ORDINANCE DOES NOT APPLY SINCE PROJECT WILL NOT DISPLACE ANY EXISTING RESIDENTS FROM RESIDENTIAL HOTEL UNITS AND THERE WILL NOT BE ANY LOSS OF RESIDENTIAL HOTEL UNITS.

- The residential hotel has been or will be turned into an Affordable Housing Project (as determined by the City of Oakland Housing and Community Development Department).**

Please describe when the residential hotel became an Affordable Housing Project or explain when this will occur: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- The residential hotel must comply with a City order to (1) repair or demolish an unsafe, uninhabitable or substandard condition; (2) rebuild due to destruction by fire, earthquake, or other natural disaster; or (3) comply with administrative nuisance abatement proceedings.**

Please detail specifically what work must be done and why: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- The Chief Building Official has determined the proposed repairs (1) are necessary for health and safety purposes; OR (2) do not result in displacement of existing residents from residential hotel units or the loss of residential hotel units.**

Please detail specifically what work must be done for health and safety purposes OR how the applicant will ensure the work will not result in displacement of existing residents: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**If filing a petition for relief to be considered for an EXEMPTION:**

Please use the space below to provide a complete and specific statement of how the moratorium as applied to the applicant would be unlawful under and/or in conflict with Federal, State, or local law or regulation, OR how it would amount to a hardship to the property owner.

*(Large empty rectangular area for document content)*

**Please check the appropriate box:**

- 2 # of additional pages have been attached
- No additional space needed

**I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.**

*[Handwritten Signature]*

09/25/2018

**Signature of Applicant**

**Date**

*Office Use Only*

Receive Date: \_\_\_\_\_

Written Determination Dated: \_\_\_\_\_

Administrative Determination:

- Exception Confirmed     NO Exception Available

Notes:

- Exemption Approved     Exemption Denied

Notes:

\_\_\_\_\_  
Signature of Recommending Party

\_\_\_\_\_  
Signature of Supervisor (if necessary)

CITY OF OAKLAND



DALZIEL BUILDING • 250 FRANK H. OGAWA PLAZA • SUITE 2114 • OAKLAND,  
CALIFORNIA 94612

Planning and Building Department  
Bureau of Planning

(510) 238-3911  
FAX (510) 238-4730  
TDD (510) 238-3254

June 7, 2018

Sandra Chow  
Stanton Architecture  
1501 Mariposa Street, Suite 328  
San Francisco, CA 94107

Re: Sutter Hotel

Dear Ms. Chow,

This letter is in response to your most recent plan submittal, received by the Bureau of Planning April 27, 2018, for renovations of the Sutter Hotel at 584-588 14th Street that show new bathrooms in every unit, adding a kitchen to every floor, and creating eight new penthouse units. Apart from the units being converted to kitchens, no wall on the perimeter of any unit are proposed for demolition.

Staff has determined that the subject property is considered a Residential Hotel, as defined in Sections 3.c and b in the Residential Hotel Moratorium (13410/13415 C.M.S.). However, the proposed scope of work is exempt from the Residential Hotel Moratorium (13410/13415 C.M.S.), assuming that the remaining permanent resident in the hotel is not displaced because of any work performed at the Sutter for any period longer than two weeks.

The emergency moratorium set forth under Oakland Ordinance Numbers 13410/13415 C.M.S., which together established and then extended a temporary moratorium on the conversion, demolition, reconfiguration and rehabilitation of residential hotels, was initially adopted on December 13, 2016 and will remain effective through December 11, 2018 or whenever permanent regulations are adopted and become effective, whichever comes first. Section 5 of 13415 C.M.S. states that the ordinance shall not apply to: "...Any repairs that, as determined by the Chief Building Official, ...do not result in displacement of existing residents from residential hotel units or the loss of residential hotel units." According to evidence presented in the January 31, 2018 letter from the Pelosi Law Group, there was only one resident of the Sutter Hotel as of the effective date of the ordinance (the resident still resides there). Although six units will be lost because of the

Sutter Hotel  
June 7, 2018  
Page 2

installation of a kitchen on every floor, the eight additional penthouse rooming units will result in a net increase of two rooming units after completion of the project.

City records, coupled with the history of use at the property and the hotel's Transient Occupancy Tax and Rent Adjustment Program filings, reflect that the Sutter is considered a Semi-Transient Residential Activity type. According to the letter from the Pelosi Group dated January 31, 2018, there is evidence that the Sutter Hotel started operating as a Transient Habitation Commercial Activity in 2002. However, since July 28, 2000, the City has required the granting of a Conditional Use Permit, with special findings, to begin a Transient Habitation Commercial Activity in the C-51 zone. A Conditional Use Permit has continued to be required for this activity when the site was rezoned to CBD-P. City of Oakland records indicate that the City has never granted a Conditional Use Permit for Transient Habitation Commercial Activities for the site. Accordingly, the Sutter is currently authorized to operate with up to a maximum of 30% of the rooming units designated for the provision of lodging services to transient guests on a less-than-weekly basis. Any use of more than 30% of the rooming units at the Sutter for provision of lodging on a less-than-weekly basis is illegal and should cease operation.

Please contact me at (510)238-3878 or [ngray@oaklandnet.com](mailto:ngray@oaklandnet.com) if you have any questions.

Sincerely,



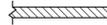
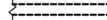
Neil Gray  
Planner IV

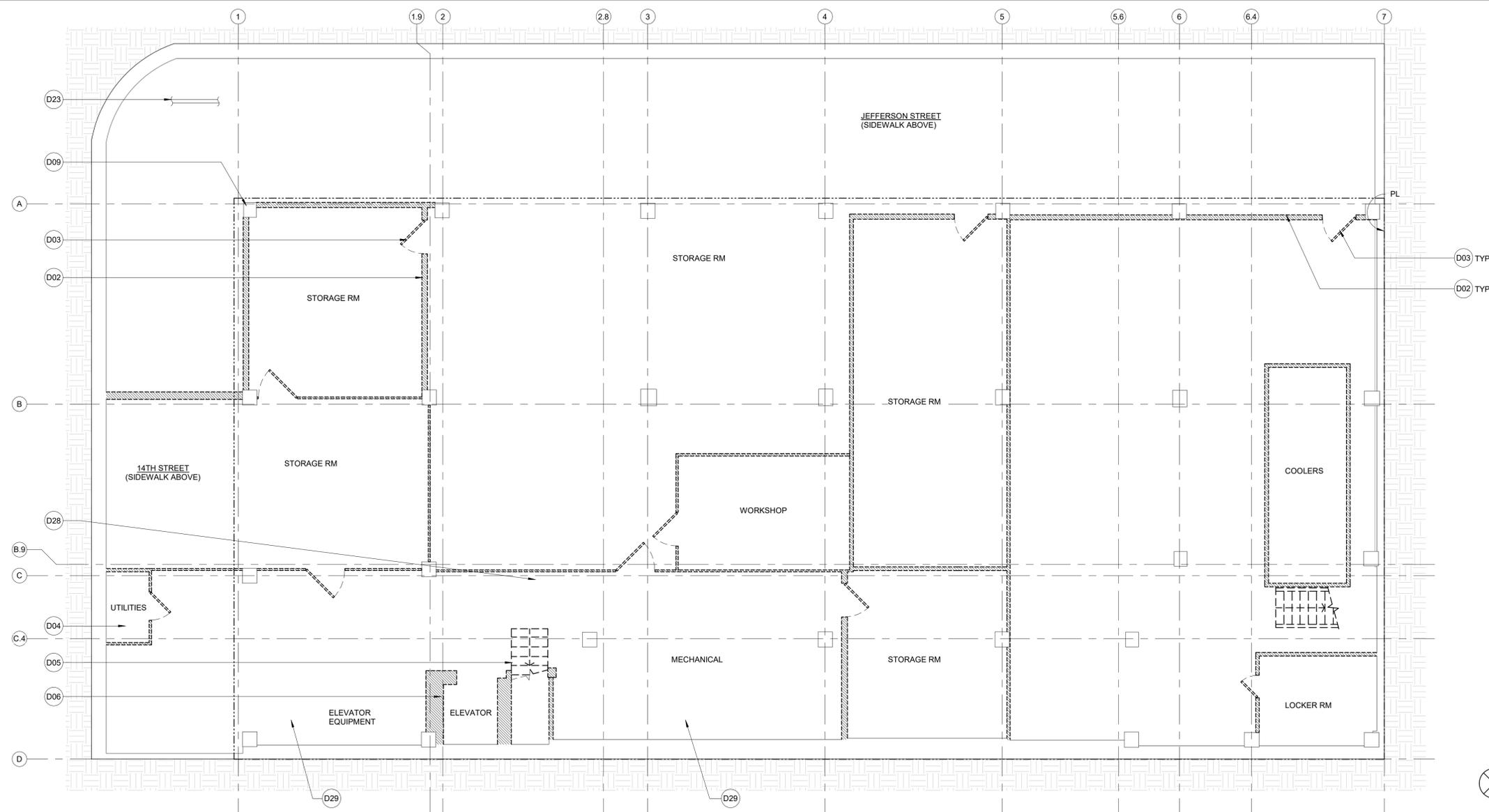
Cc: Christina Ferracane  
Ed Manasse  
Peter Spoerl

NOTES

D02	REMOVE EXISTING WALL PARTITION IN ITS ENTIRETY FROM FLOOR TO CEILING TO THE EXTENT SHOWN
D03	REMOVE EXISTING DOOR, FRAME AND HARDWARE. PROTECT AND SALVAGE ADJACENT FINISH AND SURFACES AS NEEDED. REPAIR WALL, FLOOR AND ADJACENT SURFACES IF APPLICABLE, TO MATCH EXISTING FINISH
D04	EXISTING GAS METER TO REMAIN
D05	REMOVE EXISTING STAIR IN ITS ENTIRETY FROM FLOOR TO CEILING INCLUDING ATTACHMENTS TO ADJACENT SURFACES AND COLUMNS, INCLUDING BUT NOT LIMITED TO WALKING SURFACE, HANDRAILS, STEM WALL. REPAIR WALL IF APPLICABLE TO MATCH EXISTING FINISH
D06	DEMOLISH EXISTING ELEVATOR, ELEVATOR EQUIPMENT OVERRIDE AND SHAFT.
D09	REMOVE COLUMN SURROUND TO EXISTING CONCRETE. COORDINATE WITH STRUCTURAL DRAWINGS FOR EXTENT TO BE REMOVED
D23	EXISTING SEWER LATERAL TO REMAIN, REPLACED
D28	REMOVE EXISTING ELECTRIC PANELS. COORDINATE EXTENTS AND/OR RELOCATION WITH ELECTRICAL DRAWINGS
D29	REMOVE ALL EXISTING MECHANICAL EQUIPMENT

LEGEND

-  (E) WALL TO REMAIN
-  WALL TO BE DEMOLISHED
-  DOOR TO BE DEMOLISHED
-  FLOOR AREA TO BE DEMOLISHED
-  CEILING AREA TO BE DEMOLISHED



**SUTTER**  
**HOTEL**

584 14TH ST  
OAKLAND, CA 94612



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NO.	DATE	ISSUE

DRAWING TITLE  
**LEVEL 0 DEMOLITION PLAN**

STATUS

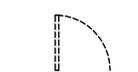
JOB NO.	16013
DRAWN BY	SC
SHEET NO.	

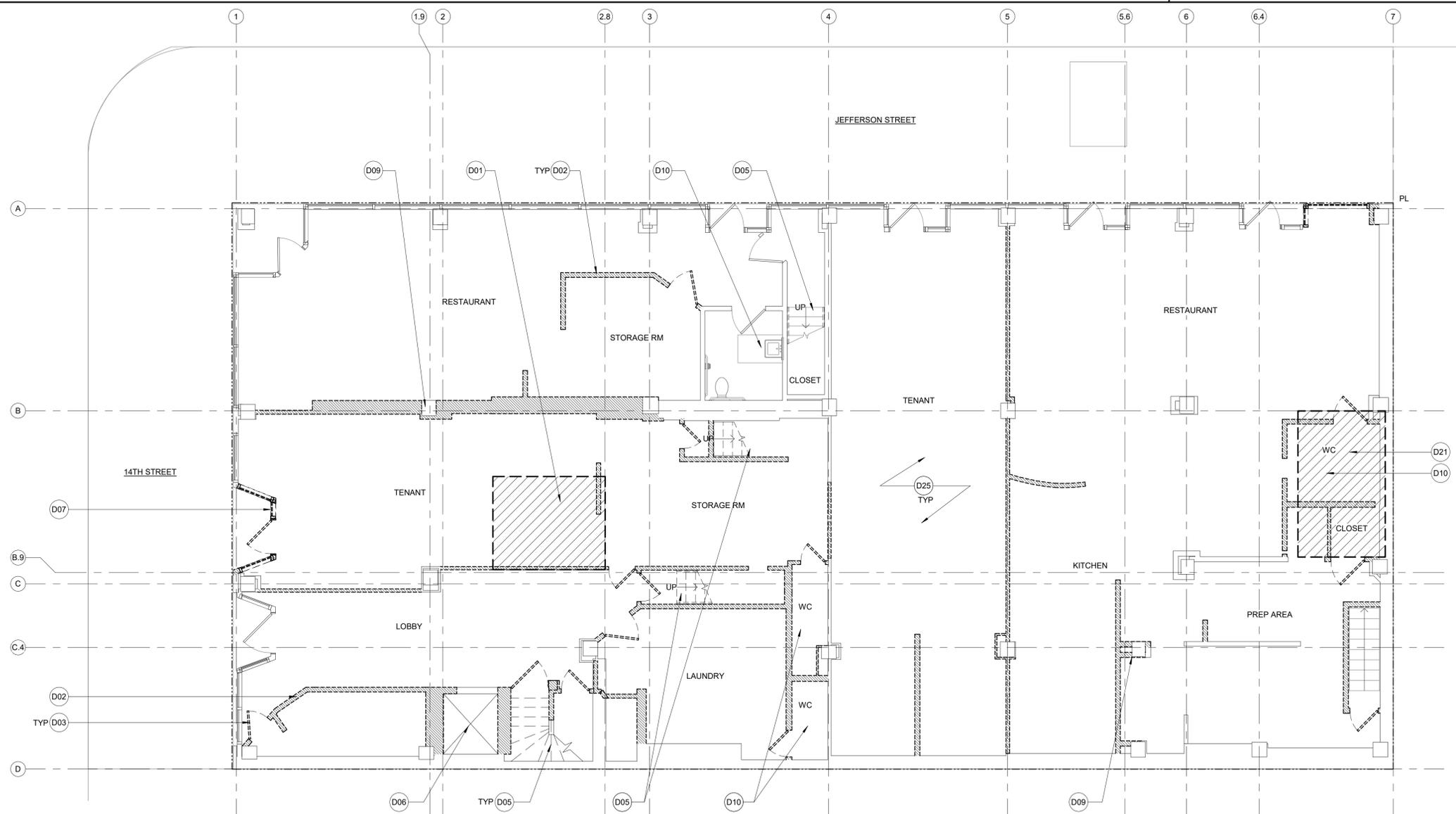
**A200**

NOTES

D01	DEMOLISH FLOOR AREA TO THE EXTENT SHOWN FOR NEW ELEVATOR OPENING AND ELEVATOR. COORDINATE OPENING WITH STRUCTURAL DRAWINGS
D02	REMOVE EXISTING WALL PARTITION IN ITS ENTIRETY FROM FLOOR TO CEILING TO THE EXTENT SHOWN
D03	REMOVE EXISTING DOOR, FRAME AND HARDWARE. PROTECT AND SALVAGE ADJACENT FINISH AND SURFACES AS NEEDED. REPAIR WALL, FLOOR AND ADJACENT SURFACES IF APPLICABLE. TO MATCH EXISTING FINISH
D05	REMOVE EXISTING STAIR IN ITS ENTIRETY FROM FLOOR TO CEILING INCLUDING ATTACHMENTS TO ADJACENT SURFACES AND COLUMNS, INCLUDING BUT NOT LIMITED TO WALKING SURFACE, HANDRAILS, STEM WALL. REPAIR WALL IF APPLICABLE TO MATCH EXISTING FINISH
D06	DEMOLISH EXISTING ELEVATOR, ELEVATOR EQUIPMENT OVERRIDE AND SHAFT.
D07	DEMO EXISTING STOREFRONT
D09	REMOVE COLUMN SURROUND TO EXISTING CONCRETE. COORDINATE WITH STRUCTURAL DRAWINGS FOR EXTENT TO BE REMOVED
D10	DEMO EXISTING PLUMBING FIXTURES AND CONNECTIONS
D21	DEMO FLOOR AREA FOR NEW COMPLIANT STAIR FROM BASEMENT TO LEVEL 8
D25	REMOVE EXISTING FINISH FLOORING AND WALL BASE TO THE EXTENT SHOWN. PREPARE SUBFLOOR TO RECEIVE NEW FLOOR

LEGEND

-  (E) WALL TO REMAIN
-  WALL TO BE DEMOLISHED
-  DOOR TO BE DEMOLISHED
-  FLOOR AREA TO BE DEMOLISHED
-  CEILING AREA TO BE DEMOLISHED



**SUTTER  
HOTEL**

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OAKLAND, CA 94612



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NO. DATE ISSUE

DRAWING TITLE  
LEVEL 1 DEMOLITION PLAN

STATUS

JOB NO. 16013  
DRAWN BY SC  
SHEET NO.

**A201**

NOTES

- D02 REMOVE EXISTING WALL PARTITION IN ITS ENTIRETY FROM FLOOR TO CEILING TO THE EXTENT SHOWN
- D03 REMOVE EXISTING DOOR, FRAME AND HARDWARE. PROTECT AND SALVAGE ADJACENT FINISH AND SURFACES AS NEEDED. REPAIR WALL, FLOOR AND ADJACENT SURFACES IF APPLICABLE, TO MATCH EXISTING FINISH
- D05 REMOVE EXISTING STAIR IN ITS ENTIRETY FROM FLOOR TO CEILING INCLUDING ATTACHMENTS TO ADJACENT SURFACES AND COLUMNS, INCLUDING BUT NOT LIMITED TO WALKING SURFACE, HANDRAILS, STEM WALL. REPAIR WALL IF APPLICABLE TO MATCH EXISTING FINISH
- D06 DEMOLISH EXISTING ELEVATOR, ELEVATOR EQUIPMENT OVERRIDE AND SHAFT.
- D09 REMOVE COLUMN SURROUND TO EXISTING CONCRETE. COORDINATE WITH STRUCTURAL DRAWINGS FOR EXTENT TO BE REMOVED
- D10 DEMO EXISTING PLUMBING FIXTURES AND CONNECTIONS
- D13 DEMO WALL, WINDOW AND WINDOW FRAME
- D25 REMOVE EXISTING FINISH FLOORING AND WALL BASE TO THE EXTENT SHOWN. PREPARE SUBFLOOR TO RECEIVE NEW FLOOR
- D30 DEMOLISH EXISTING NON-BEARING MEZZANINE FLOOR EXTENTS. ALL EXISTING COLUMNS TO REMAIN. PROTECT DURING DEMOLITION. PREP FOR NEW MEZZANINE FLOOR EXTENSION

LEGEND

-  (E) WALL TO REMAIN
-  WALL TO BE DEMOLISHED
-  DOOR TO BE DEMOLISHED
-  FLOOR AREA TO BE DEMOLISHED
-  CEILING AREA TO BE DEMOLISHED

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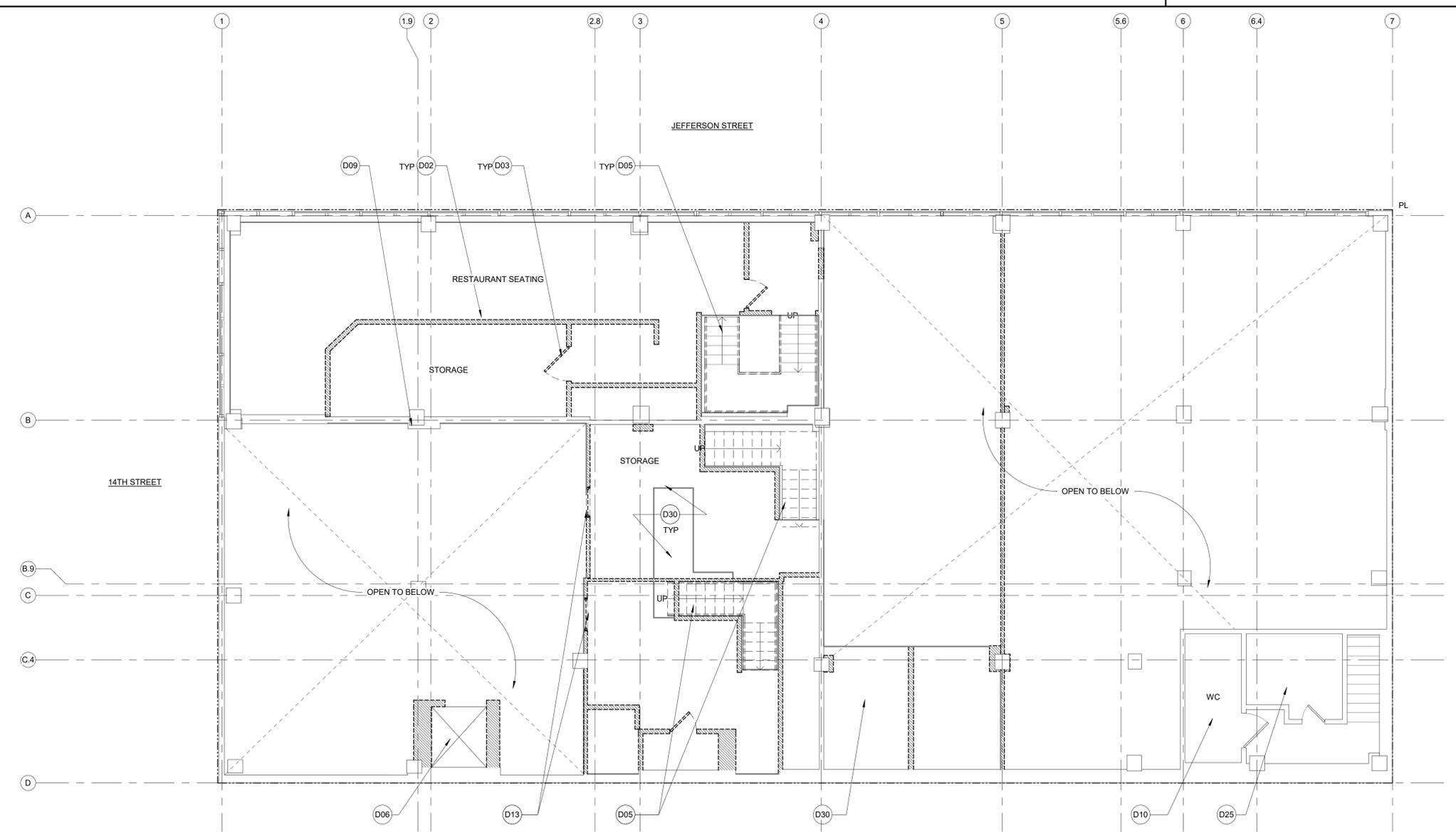
NO.	DATE	ISSUE

DRAWING TITLE  
**LEVEL 1 MEZZANINE DEMOLITION PLAN**

STATUS

JOB NO. 16013  
 DRAWN BY SC  
 SHEET NO.

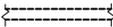
# A202

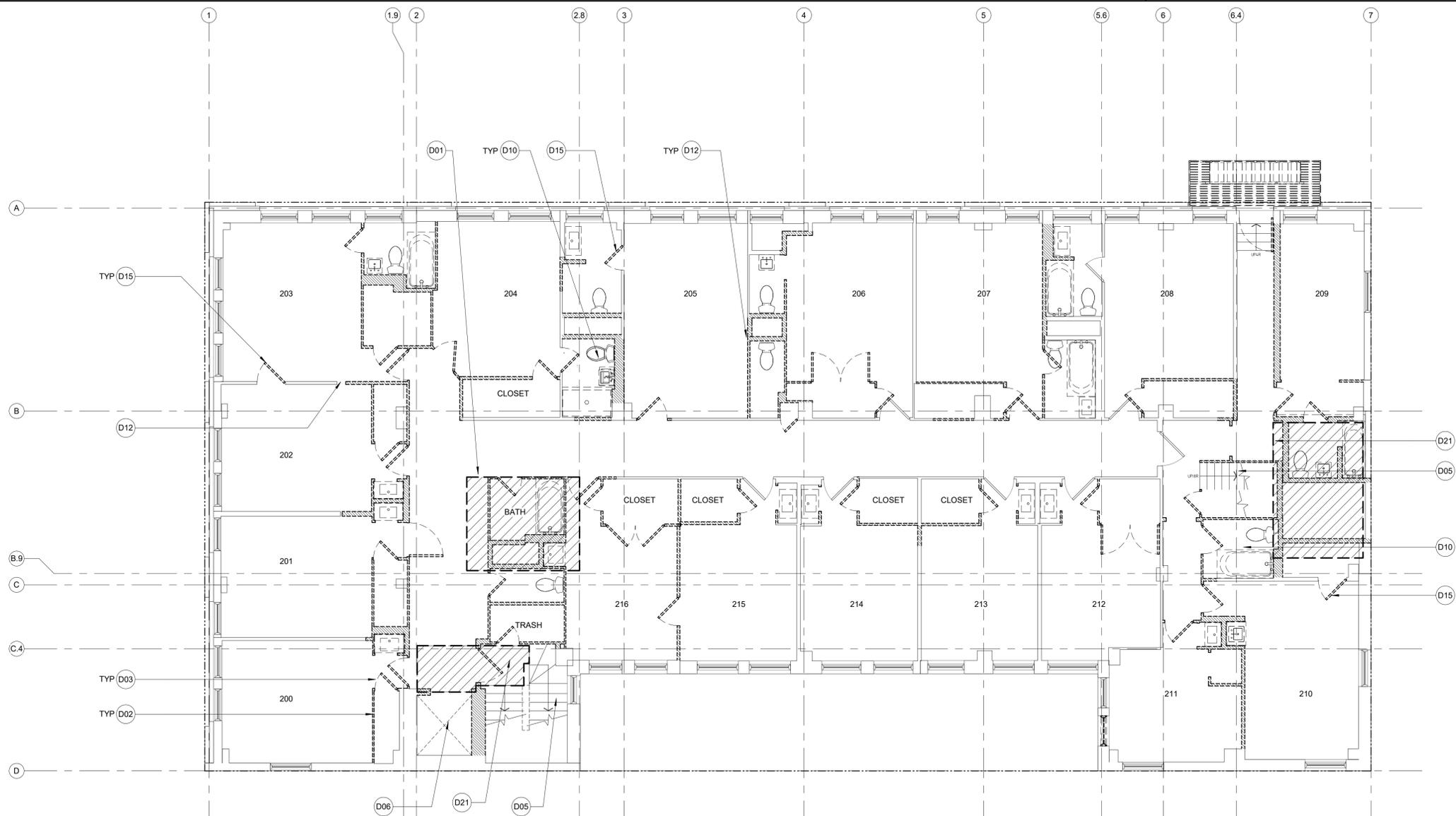


NOTES

D01	DEMOLISH FLOOR AREA TO THE EXTENT SHOWN FOR NEW ELEVATOR OPENING AND ELEVATOR. COORDINATE OPENING WITH STRUCTURAL DRAWINGS
D02	REMOVE EXISTING WALL PARTITION IN ITS ENTIRETY FROM FLOOR TO CEILING TO THE EXTENT SHOWN
D03	REMOVE EXISTING DOOR, FRAME AND HARDWARE. PROTECT AND SALVAGE ADJACENT FINISH AND SURFACES AS NEEDED. REPAIR WALL, FLOOR AND ADJACENT SURFACES IF APPLICABLE, TO MATCH EXISTING FINISH
D05	REMOVE EXISTING STAIR IN ITS ENTIRETY FROM FLOOR TO CEILING INCLUDING ATTACHMENTS TO ADJACENT SURFACES AND COLUMNS, INCLUDING BUT NOT LIMITED TO WALKING SURFACE, HANDRAILS, STEM WALL. REPAIR WALL IF APPLICABLE TO MATCH EXISTING FINISH
D06	DEMOLISH EXISTING ELEVATOR, ELEVATOR EQUIPMENT OVERRIDE AND SHAFT.
D10	DEMO EXISTING PLUMBING FIXTURES AND CONNECTIONS
D12	DEMO PORTION OF WALL. KEEP EXISTING WALLS AS INDICATED ON PLANS
D15	DEMO EXISTING DOOR AND FRAME. PATCH AND INFILL WALL TO MATCH ADJACENT CONSTRUCTION TYPE AND FINISH
D21	DEMO FLOOR AREA FOR NEW COMPLIANT STAIR FROM BASEMENT TO LEVEL 8

LEGEND

-  (E) WALL TO REMAIN
-  WALL TO BE DEMOLISHED
-  DOOR TO BE DEMOLISHED
-  FLOOR AREA TO BE DEMOLISHED
-  CEILING AREA TO BE DEMOLISHED



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**LEVELS 2 - 7 DEMOLITION PLAN**

STATUS

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 DRAWN BY SC  
 SHEET NO.

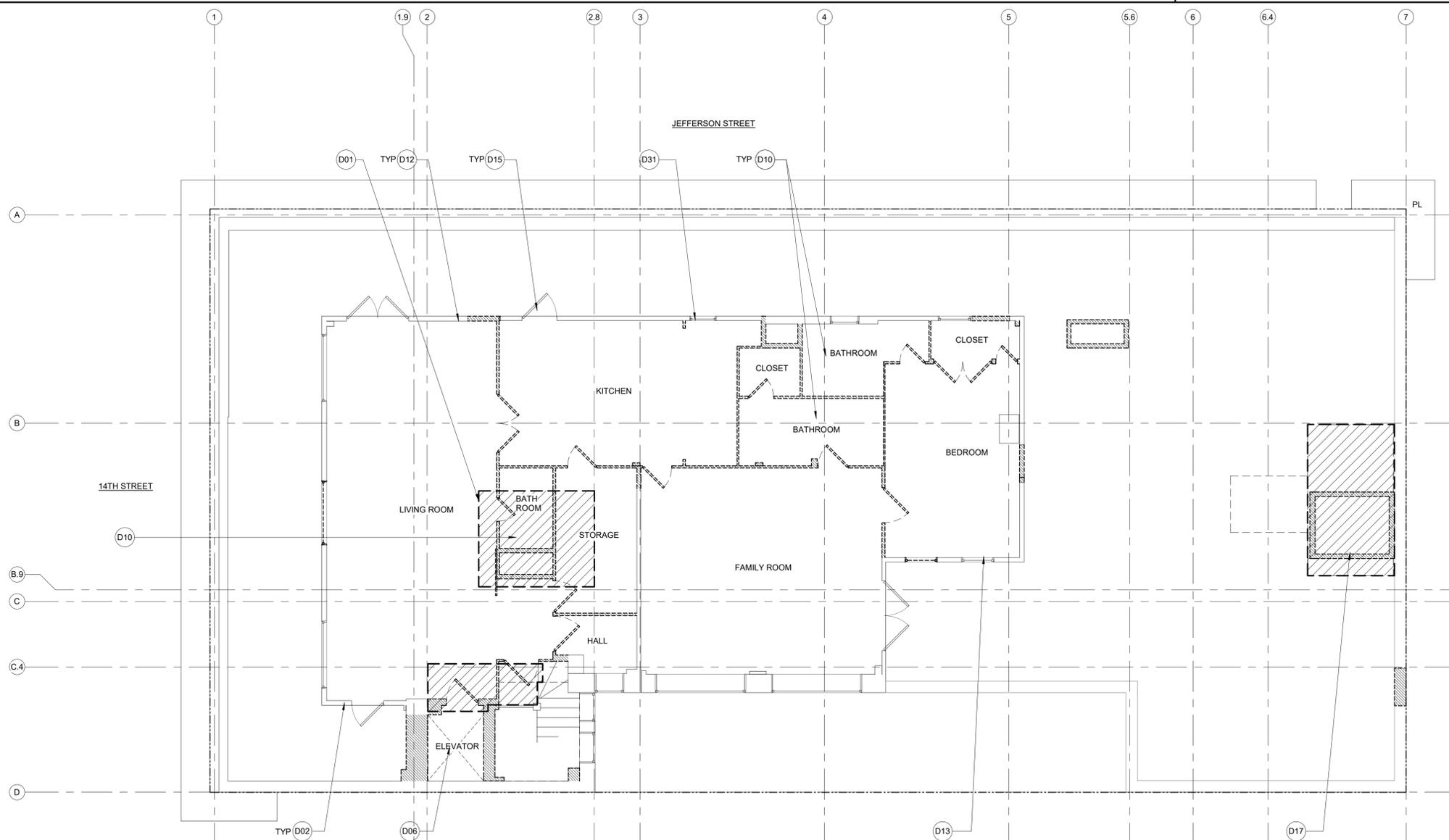
**A203**

NOTES

- D01 DEMOLISH FLOOR AREA TO THE EXTENT SHOWN FOR NEW ELEVATOR OPENING AND ELEVATOR. COORDINATE OPENING WITH STRUCTURAL DRAWINGS
- D02 REMOVE EXISTING WALL PARTITION IN ITS ENTIRETY FROM FLOOR TO CEILING TO THE EXTENT SHOWN
- D06 DEMOLISH EXISTING ELEVATOR, ELEVATOR EQUIPMENT OVERRIDE AND SHAFT.
- D10 DEMO EXISTING PLUMBING FIXTURES AND CONNECTIONS
- D12 DEMO PORTION OF WALL. KEEP EXISTING WALLS AS INDICATED ON PLANS
- D13 DEMO WALL, WINDOW AND WINDOW FRAME
- D15 DEMO EXISTING DOOR AND FRAME. PATCH AND INFILL WALL TO MATCH ADJACENT CONSTRUCTION TYPE AND FINISH
- D17 DEMO EXISTING TPO ROOFING MEMBRANE. DEMOLISH OPENING IN ROOF SLAB FOR NEW STAIR OPENING. SEE STRUCTURAL DRAWINGS
- D31 DEMOLISH EXISTING WINDOW. INFILL WALL AND PATCH TO MATCH ADJACENT FINISH AND CONSTRUCTION

LEGEND

-  (E) WALL TO REMAIN
-  WALL TO BE DEMOLISHED
-  DOOR TO BE DEMOLISHED
-  FLOOR AREA TO BE DEMOLISHED
-  CEILING AREA TO BE DEMOLISHED



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**LEVEL 8 DEMOLITION PLAN**

STATUS

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 SHEET NO.

**A204**

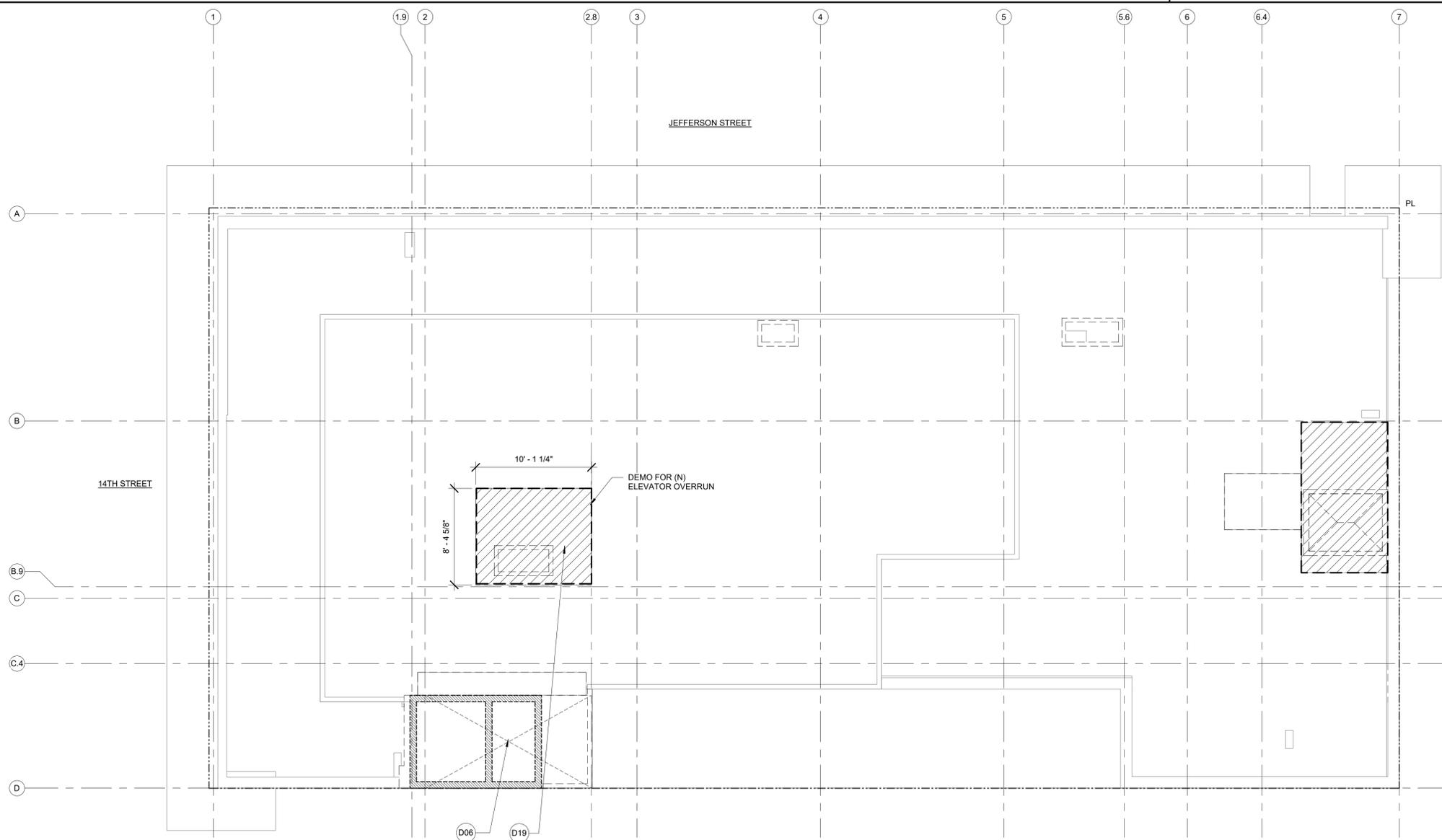
NOTES

D06	DEMOLISH EXISTING ELEVATOR, ELEVATOR EQUIPMENT OVERRIDE AND SHAFT.
D19	DEMO EXISTING ROOF FOR (N) ELEVATOR OVERRUN OPENING, SEE STRUCTURAL DRAWINGS

LEGEND

-  (E) WALL TO REMAIN
-  WALL TO BE DEMOLISHED
-  DOOR TO BE DEMOLISHED
-  FLOOR AREA TO BE DEMOLISHED
-  CEILING AREA TO BE DEMOLISHED

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**ROOF DEMOLITION PLAN**

STATUS

JOB NO.	16013
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SHEET NO.	

**A205**

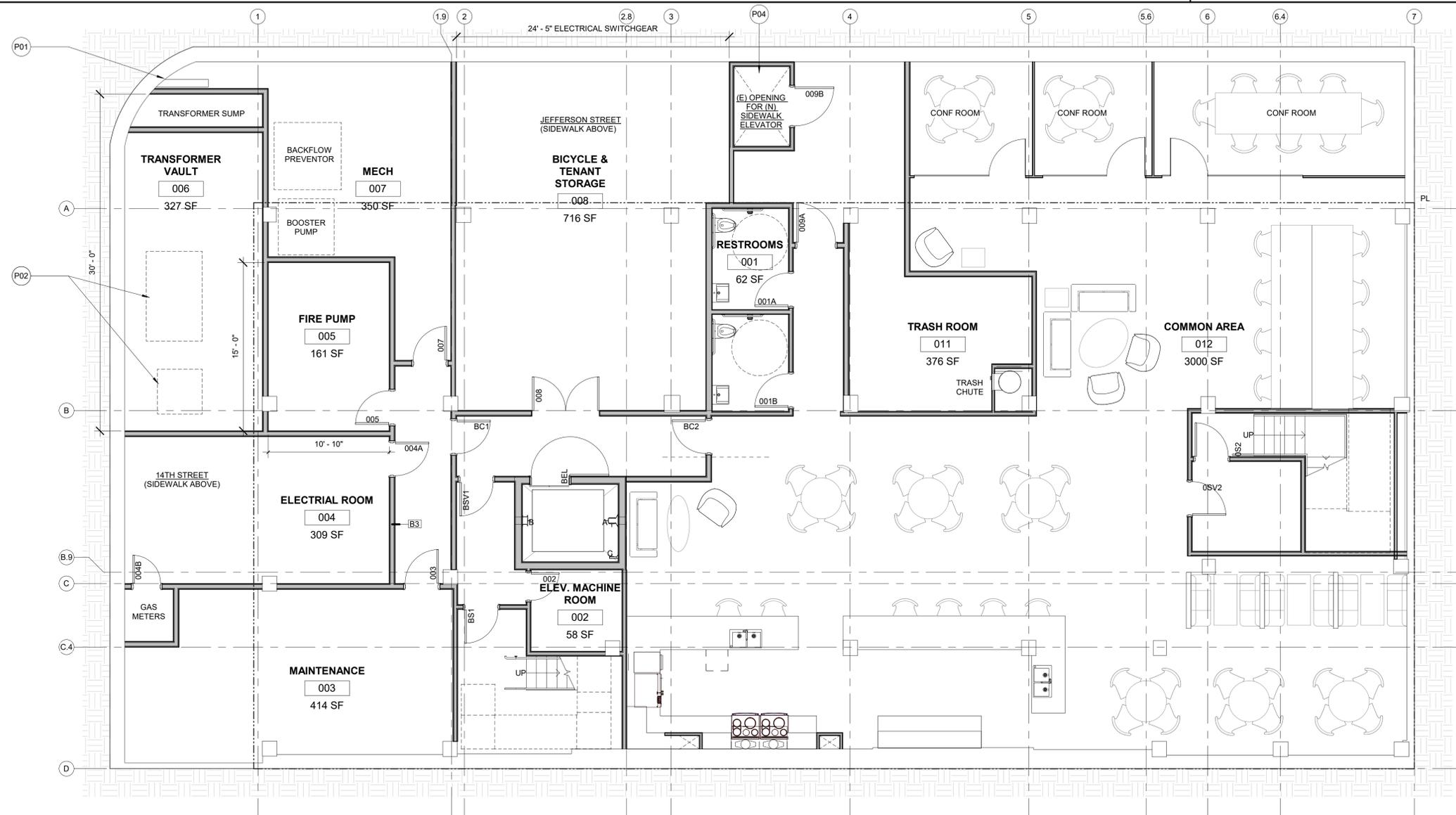
NOTES

P01	(E) SEWER CONNECTION TO BE REUSED, VERIFY LOCATION IN FIELD AND PROTECT DURING DEMOLITION
P02	(N) OPENINGS IN SIDEWALK ABOVE FOR TRANSFORMER VAULT ACCESS HATCHES
P04	MAINTAIN (E) OPENING FOR (N) SIDEWALK ELEVATOR. EXACT MODEL TBD.

LEGEND

-  (E) WALL TO REMAIN
-  (N) WALL
-  (E) DOOR TO REMAIN
-  (N) DOOR
-  (N) CEILING

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DRAWING TITLE  
**LEVEL 0 PLAN**

STATUS

JOB NO.	16013
DRAWN BY	SC
SHEET NO.	

**A210**



NOTES

P02	(N) OPENINGS IN SIDEWALK ABOVE FOR TRANSFORMER VAULT ACCESS HATCHES
P04	MAINTAIN (E) OPENING FOR (N) SIDEWALK ELEVATOR. EXACT MODEL TBD.
P05	(N) STOREFRONT INFILL TO MATCH EXISTING STOREFRONT
P06	(N) GAS METER AT GRADE
P07	(N) FLOOR FINISH AS SCHEDULED. SEE FINISH SCHEDULE
P11	PROVIDE PLUMBING CONNECTIONS AND FIXTURES AS INDICATED.

LEGEND

-  (E) WALL TO REMAIN
-  (N) WALL
-  (E) DOOR TO REMAIN
-  (N) DOOR
-  (N) CEILING

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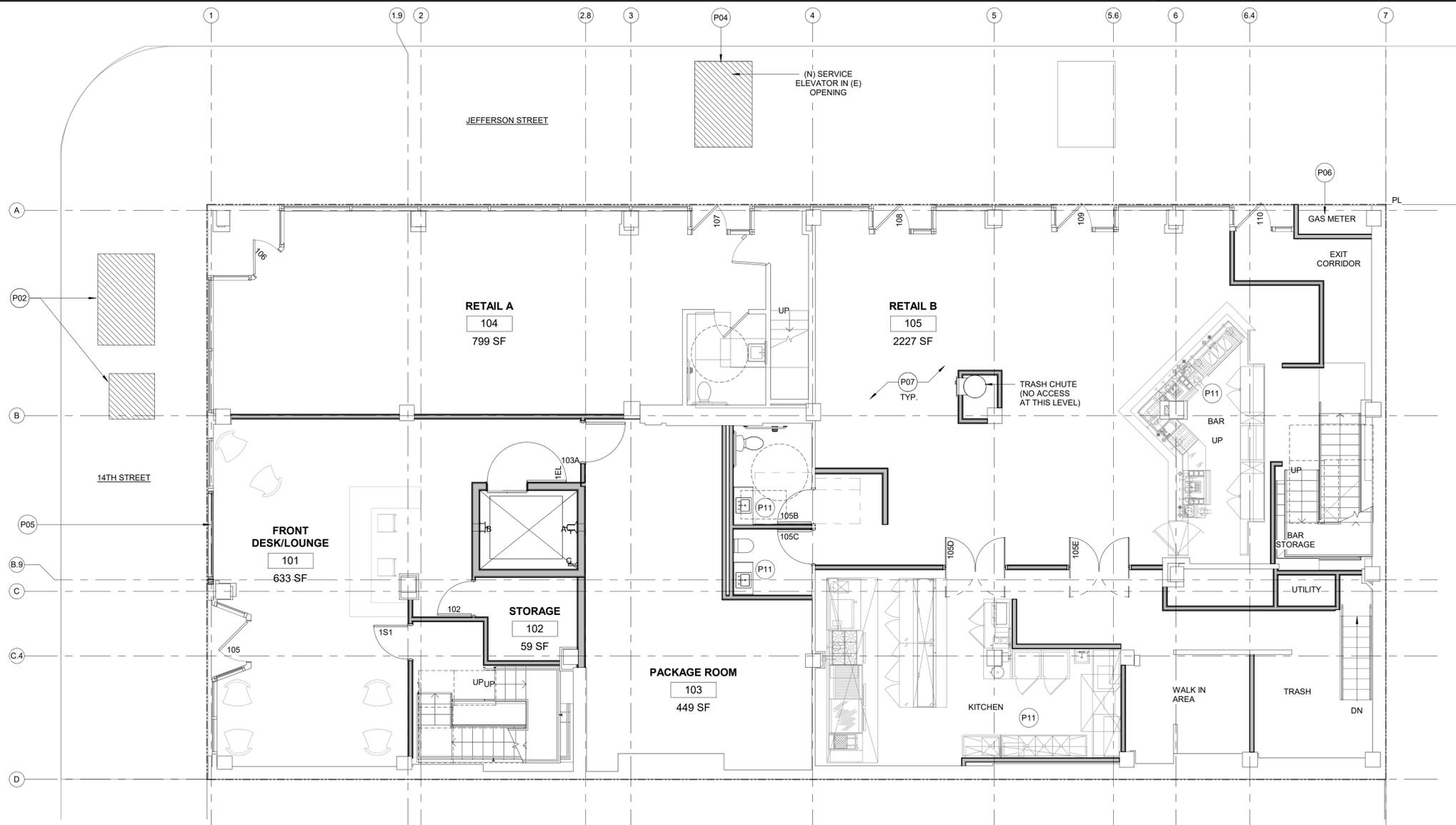
NO. DATE ISSUE

DRAWING TITLE  
LEVEL 1 PLAN

STATUS

JOB NO. 16013  
DRAWN BY SC  
SHEET NO.

**A211**



LEVEL 1 PLAN  
3/16" = 1'-0" 1

NOTES

P09 EXTEND (N) MEZZANINE FLOOR TO EXTERIOR WALLS, SSD.

LEGEND

-  (E) WALL TO REMAIN
-  (N) WALL
-  (E) DOOR TO REMAIN
-  (N) DOOR
-  (N) CEILING

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# SUTTER HOTEL

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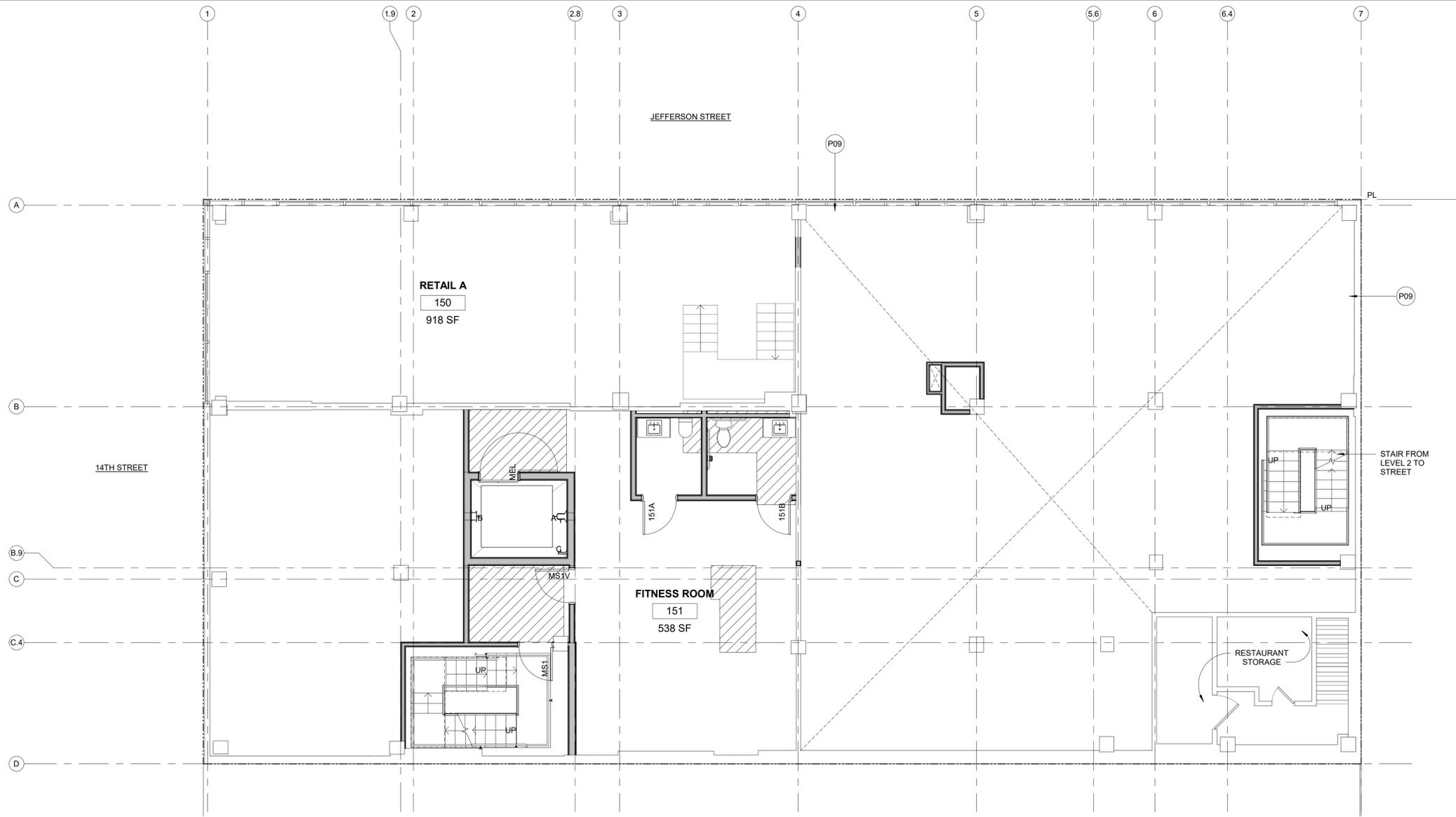
NO.	DATE	ISSUE

DRAWING TITLE  
**LEVEL 1 MEZZANINE PLAN**

STATUS

JOB NO. 16013  
 DRAWN BY SC  
 SHEET NO.

# A212



NOTES

P10	PROVIDE LAUNDRY FACILITIES AS INDICATED. PROVIDE PLUMBING AND MECHANICAL VENTS AS REQD. SEE MEP SET.
P13	PROVIDE SHAFT TO ROOF FOR TYPE 1 HOOD

LEGEND

-  (E) WALL TO REMAIN
-  (N) WALL
-  (E) DOOR TO REMAIN
-  (N) DOOR
-  (N) CEILING

**SA**  
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**LEVELS 2 - 7 PLAN**

STATUS

JOB NO. 16013  
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 SHEET NO.

**A213**



LEVELS 2 - 7 PLAN  
 3/16" = 1'-0" 1



CITY OF OAKLAND



DALZIEL BUILDING • 250 FRANK H. OGAWA PLAZA • SUITE 2114 • OAKLAND,  
CALIFORNIA 94612

Planning and Building Department  
Bureau of Planning

(510) 238-3911  
FAX (510) 238-4730  
TDD (510) 238-3254

June 7, 2018

Sandra Chow  
Stanton Architecture  
1501 Mariposa Street, Suite 328  
San Francisco, CA 94107

Re: Sutter Hotel

Dear Ms. Chow,

This letter is in response to your most recent plan submittal, received by the Bureau of Planning April 27, 2018, for renovations of the Sutter Hotel at 584-588 14th Street that show new bathrooms in every unit, adding a kitchen to every floor, and creating eight new penthouse units. Apart from the units being converted to kitchens, no wall on the perimeter of any unit are proposed for demolition.

Staff has determined that the subject property is considered a Residential Hotel, as defined in Sections 3.c and b in the Residential Hotel Moratorium (13410/13415 C.M.S.). However, the proposed scope of work is exempt from the Residential Hotel Moratorium (13410/13415 C.M.S.), assuming that the remaining permanent resident in the hotel is not displaced because of any work performed at the Sutter for any period longer than two weeks.

The emergency moratorium set forth under Oakland Ordinance Numbers 13410/13415 C.M.S., which together established and then extended a temporary moratorium on the conversion, demolition, reconfiguration and rehabilitation of residential hotels, was initially adopted on December 13, 2016 and will remain effective through December 11, 2018 or whenever permanent regulations are adopted and become effective, whichever comes first. Section 5 of 13415 C.M.S. states that the ordinance shall not apply to: "...Any repairs that, as determined by the Chief Building Official, ...do not result in displacement of existing residents from residential hotel units or the loss of residential hotel units." According to evidence presented in the January 31, 2018 letter from the Pelosi Law Group, there was only one resident of the Sutter Hotel as of the effective date of the ordinance (the resident still resides there). Although six units will be lost because of the

Sutter Hotel  
June 7, 2018  
Page 2

installation of a kitchen on every floor, the eight additional penthouse rooming units will result in a net increase of two rooming units after completion of the project.

City records, coupled with the history of use at the property and the hotel's Transient Occupancy Tax and Rent Adjustment Program filings, reflect that the Sutter is considered a Semi-Transient Residential Activity type. According to the letter from the Pelosi Group dated January 31, 2018, there is evidence that the Sutter Hotel started operating as a Transient Habitation Commercial Activity in 2002. However, since July 28, 2000, the City has required the granting of a Conditional Use Permit, with special findings, to begin a Transient Habitation Commercial Activity in the C-51 zone. A Conditional Use Permit has continued to be required for this activity when the site was rezoned to CBD-P. City of Oakland records indicate that the City has never granted a Conditional Use Permit for Transient Habitation Commercial Activities for the site. Accordingly, the Sutter is currently authorized to operate with up to a maximum of 30% of the rooming units designated for the provision of lodging services to transient guests on a less-than-weekly basis. Any use of more than 30% of the rooming units at the Sutter for provision of lodging on a less-than-weekly basis is illegal and should cease operation.

Please contact me at (510)238-3878 or [ngray@oaklandnet.com](mailto:ngray@oaklandnet.com) if you have any questions.

Sincerely,



Neil Gray  
Planner IV

Cc: Christina Ferracane  
Ed Manasse  
Peter Spoerl

## CITY OF OAKLAND



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Community and Economic Development Agency  
Housing Development

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TDD (510) 238-3254

Sandra Chow  
Stanton Architecture  
1501 Mariposa Street, Ste 328  
San Francisco, CA 94107

Re: Exception from Provisions of Ordinance No. 13415 C.M.S. for 584 14<sup>th</sup> Street

Dear Ms. Chow:

Thank you for your petition dated 9/25/2018 ("**Petition**") (**Attachment A**) requesting an exception to Ordinance No. 13415 C.M.S. ("**Moratorium**") in order to perform a remodel of the Sutter Hotel, located at 584 14<sup>th</sup> Street ("**Building**"). As stated in a letter written to you on June 7, 2018 from the City of Oakland ("**June 7<sup>th</sup> Letter**") (**Attachment B**), Staff has determined that the subject property is considered a Residential Hotel, as defined in Sections 3.c and b in the Residential Hotel Moratorium (13410/13415 C.M.S.). For the reasons explained in the findings that follow, and subject to certain conditions included in this response, the City will proceed with processing Application No. DRX182227 ("**Application**").

The findings regarding the Application below are based entirely on information and representations provided by the applicant in the Application and Petition. If the applicant has knowledge that any facts recited below are incorrect, the applicant is required to alert the City within ten (10) calendar days of the issuance of this determination letter.

Findings Regarding Permit No. DRX182227

Permit No. DRX182227, which supersedes ZP170086 that was referenced in the Petition, and seeks approval for interior and exterior modifications, including a restored ground floor storefront, new bathrooms in every Rooming Unit, removing one Rooming Unit on floors 2 through 7 (total of six), adding a communal kitchen to floors 2 through 7, converting a one-bedroom penthouse unit into six new Rooming Units and a communal kitchen, and reconfiguring the mezzanine and ground floor retail/lobby areas. Apart from the Rooming Units being converted to communal kitchens, no wall on the perimeter of any unit are proposed for demolition and the overall number of Rooming Units would remain the same - 102 Rooming Units.

The proposed scope of work *is excepted* from the Moratorium's restrictions on rehabilitation, demolition and conversion, because of the following:

- Rehabilitation – The Moratorium restricts rehabilitation of Residential Hotel Units, as set forth in Sections 3(f), 4(c) and 4(d), as a broad range of actions, including reconfiguration,

reconstruction, renovation, repair or other improvements. However, it excludes actions that *do not result in displacement of existing residents for more than two (2) weeks,*

*According to the Petition in **Attachment A** on page 2, the applicant checks the box "No" when answering the question "Do you anticipate that any resident(s) may be displaced for any length of time by the proposed work?". Therefore, as long as this statement remains true and correct, the proposed scope of work would not be considered rehabilitation. Condition of Petition Approval #4 would also therefore apply (see next page).*

- Demolition – The Moratorium restricts the Demolition of Residential Hotel Units, as set forth in Sections 3(d) and 4(b), as an action that *reduces the number of Residential Hotel Units*

*According to the proposed plans, and as described above, there is no proposed reduction in the total number of Residential Hotel Units in the Sutter Hotel. While existing Rooming Units will be demolished, new Rooming Units will also be created, and there will be no net loss of Rooming Units after completion of the project (a total of 102 Residential Hotel Units would remain), therefore the proposed scope of work would not be considered Demolition.*

- Conversion – The Moratorium restricts the Conversion of Residential Hotel Units, as set forth in Sections 3(c) and 4(a), as any action that converts one or more existing Residential Hotel Units to be used for other Residential or Commercial Activities, as defined in the Oakland Planning Code.

*As noted in the June 7<sup>th</sup> Letter (**Attachment B**), the Bureau of Planning considers the current land use activity to be Semi-Transient Residential based on City records, coupled with the history of use at the property and the hotel's Transient Occupancy Tax and Rent Adjustment Program filings. According to the letter from the Pelosi Group dated January 31, 2018, there is evidence that the Sutter Hotel started operating as a Transient Habitation Commercial Activity in 2002. However, since July 28, 2000, the City required the granting of a Conditional Use Permit, with special findings, to begin a Transient Habitation Commercial Activity in the C-51 zone. A Conditional Use Permit has continued to be required for Transient Habitation Commercial Activity when the site was rezoned to CBD-P in July 21, 2009. City of Oakland records indicate that the City has never granted a Conditional Use Permit for Transient Habitation Commercial Activities for the site. Semi-Transient is defined in Section 17.10.120 of the Oakland Planning Code:*

*"Semi-Transient Residential Activities include the occupancy of living accommodations partly on a weekly or longer basis and partly for a shorter time period, but with less than thirty percent (30%) of the living units under the same ownership or management on the same lot being occupied on a less-than-weekly basis; but exclude institutional living arrangements involving the provision of a special kind of care or forced residence, such as in nursing homes, orphanages, asylums, and prisons..." [emphasis added]*

*The proposed scope of work constitutes physical changes to the building and the applicant does not describe the proposed length of stay for future residents. On page 2 of the submitted Form*

*(Attachment A), the applicant does add a note that 30% of the units are meant to be Semi-transient. By approving Application No. DRX182227, the City is allowing for the continuation of the Semi-Transient Residential land use activity, and is **not** approving conversion to a Transient Habitation Commercial land use activity.*

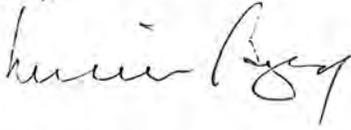
#### Conditions of Petition Approval

- 1) The Conditions of Petition Approval are in addition to any conditions of approval imposed by the Planning and Building Department or any other City department with jurisdiction over the Building, and any and all conditions of approval imposed in connection with Application No. DRX182227 are hereby incorporated by reference.
- 2) All work to be conducted pursuant to the Application shall be conducted in accordance with all provisions of the Oakland Municipal Code, except as otherwise explicitly modified by this Petition approval, as well as applicable state and federal laws.
- 3) Prior to commencing any work related to the Application, the applicant shall obtain Building Permit approval for the individual permits.
- 4) None of the work to be conducted pursuant to the Application may result in the displacement of any existing residents for more than two (2) weeks.
- 5) None of the work to be conducted pursuant to the Application may result in the reduction in number, size, or quality of any residential units in the Building.
- 6) If any changes need to be made to the specific work proposal in order to conform with Planning and Building Codes, or for any other reason, a new Residential Hotel Moratorium Exception/Exemption Request Form must be filed, so that the revised proposal may be evaluated.
- 7) The proposed project must be phased so that no demolition of Residential Hotel Units (on floors 2 through 7) can occur before the new Residential Hotel Units (on floor 8) receive a certificate of occupancy.
- 8) Per the letter previously issued to the applicant on June 7, 2018, a maximum of 30% of the units are allowed to be occupied on a less than weekly basis at this time.
- 9) The City shall have the authority to revoke the Petition or any subsequent permits and approvals issued in accordance with the Petition in the event that the applicant fails to comply with any of the above conditions or in the event that the City determines that the factual basis for granting the Petition is incorrect or materially different from what is included in these findings.

As noted above, the Conditions of Petition Approval are in addition to any conditions the Planning and Building Department imposes in connection with the issuance of permits, and this approval does not indicate that the City has approved the Application. Rather, the City has approved your Petition to except the Application from the Moratorium. Accordingly, you may continue to work with the City's Planning and Building Department to finalize information they may need to process and approve the Application.

Should you wish to challenge the determination on your Petition, you must appeal to the City Council within ten (10) calendar days of the date from which this determination was issued by following the procedures established under Section 6(c) of the Moratorium.

Sincerely,



Michele Byrd, Director  
Housing & Community Development Department

cc: William A. Gilchrist, Director, Planning and Building Department  
Sabrina B. Landreth, City Administrator

Attachments:

- A. Petition for Exception to Moratorium
- B. Letter to Applicant from the City of Oakland, Dated June 7, 2018



VOID

# **EXHIBIT I**



# RESIDENTIAL HOTEL INITIAL USAGE REPORT

**Planning and Building Department**  
 250 Frank H. Ogawa Plaza  
 2<sup>nd</sup> Floor, Suite 2114  
 Oakland, CA 94612  
 Tel (510) 238-3911  
 Fax (510) 238-4730

**Instructions**

As established by Ordinance No. 13509 C.M.S., properties preliminarily identified as Residential Hotels must file an Initial Usage Report. Please submit this Initial Usage Report form along with required supplemental documents in person to the Zoning Permit Counter on the 2<sup>nd</sup> floor of 250 Frank H. Ogawa or via mail to the Planning and Building Department by **July 2, 2019**. If more space is needed than the form provides, additional pages may be attached. Please include the payment of fees (\$473.92) required to process the Initial Usage Report. In order to make the necessary determinations and verify information provided, the City also reserves the right to do inspections of the property, subject to the applicable fees.

<b>1. GENERAL INFORMATION</b>	
<b>Name of Applicant:</b>	<b>Contact Number:</b>
<b>Mailing Address:</b>	<b>Email Address:</b>
<b>Site Address:</b>	
<b>Site Assessor's Parcel Number:</b>	
<i>Office Use Only</i>	
<i>Receive Date:</i> _____	

Para un intérprete en español u otra ayuda, por favor envíe un correo electrónico [cferracane@oaklandnet.com](mailto:cferracane@oaklandnet.com) o llame al (510) 238-3903.

你需要手語, 西班牙語, 粵語或國語翻譯服務嗎? 請在會議前五個工作天電郵 [dthai@oaklandnet.com](mailto:dthai@oaklandnet.com) 或致電 (510) 238-3584

**2. PROPERTY OWNER AND APPLICANT INFORMATION**

**Owner:** \_\_\_\_\_

**Owner Mailing Address:** \_\_\_\_\_

**City/State:** \_\_\_\_\_ **Zip:** \_\_\_\_\_

**Phone No.:** \_\_\_\_\_ **Fax No.:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**To be completed only if Applicant is not the Property Owner:**

*I authorize the applicant indicated below to submit the application on my behalf.* \_\_\_\_\_

**Applicant (Authorized Agent), if different from Owner:** \_\_\_\_\_

**Applicant Mailing Address:** \_\_\_\_\_

**City/State:** \_\_\_\_\_ **Zip:** \_\_\_\_\_

**Phone No.:** \_\_\_\_\_ **Fax No.:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

*I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies may result in the revocation of determinations, as decided by the Planning and Building Director. I further certify that I am the owner or purchaser (or option holder) of the property involved in this application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature above.*

*I certify that statements made to me about the time it takes to review and process this application are general. I am aware that the City has attempted to request everything necessary for an accurate and complete review of my proposal; however, that after my application has been submitted and reviewed by City staff, it may be necessary for the City to request additional information and/or materials. I understand that any failure to submit the additional information and/or materials in a timely manner may render the application inactive and that periods of inactivity do not count towards statutory time limits applicable to the processing of this application.*

**I HEREBY CERTIFY, UNDER PENALTY OF PERJURY, THAT ALL THE INFORMATION PROVIDED ON THIS APPLICATION IS TRUE AND CORRECT.**

\_\_\_\_\_  
**Signature of Owner or Authorized Agent**

\_\_\_\_\_  
**Date**

### 3. INITIAL USAGE REPORT

The **INITIAL USAGE REPORT** shall be accompanied by evidence of legal status, as of December 13, 2016, such as:

- A certified copy of the property's tax returns
- Transient occupancy tax records
- Residential landlord tax records
- Planning and Building Permit records
- Alameda County Assessor records
- Floor plans (following standards described below)
- Other \_\_\_\_\_

**Floor Plans must be submitted** to confirm the number, location and size for the following facilities:

- a) Legal dwelling units, including their square footage and dimensions
- b) Communal facilities such as bathrooms, kitchens, laundry facilities or other shared amenities
- c) Ground floor commercial space and lobby area
- d) Number and location of private bathrooms
- e) Communal shower, toilet and sink facilities

#### **Floor Plan Standards**

- Two (2)** stapled and folded sets of full-sized plans and **Two (2)** additional sets of reduced plans (11" x 17") are required for all applications and **Two (2)** electronic sets - one (1) low resolution and one (1) high resolution in PDF format. Fold plans to 9" x 12" maximum size. Plans must be on sheets no greater than 24" x 36".
- Include complete floor plan of all floors of entire building
- Label all rooms (e.g. bedroom, kitchen, bathroom), and include dimensions of room sizes.
- Show the location of all existing doors, windows, and walls.
- Include north arrow, date prepared, and scale.
- Acceptable drawing scales are: 1/4" = 1', 3/16" = 1', 1/8" = 1', and 1" = 10'. Other scales may be appropriate, but should be discussed with Planning staff before filing. Also, please limit the range of scales used, so Planning staff can more easily analyze your project in relation to adjacent properties.
- Include the name and phone number of person preparing the plan(s).

#### **Summary of Characteristics of Property:**

1. Number of Residential Hotel Rooming Units: \_\_\_\_\_
2. Total Number of Rooming Units with Private Bathrooms: \_\_\_\_\_
3. Number of Residential Hotel Efficiency Units: \_\_\_\_\_
4. Number of Commercial Hotel Units: \_\_\_\_\_
5. Number of Other Dwelling Units: \_\_\_\_\_
6. Total Number of Dwelling Units: \_\_\_\_\_
7. Total Number of Communal Bathroom Facilities: \_\_\_\_\_
8. Total Number of Communal Kitchen Facilities: \_\_\_\_\_

#### 4. DEFINITIONS - Planning Code Section 17.153.020, 17.09, 17.10 (for reference)

**“Commercial Activities”** include the distribution and sale or rental of goods; the provision of services other than those classified as Civic Activities; and the administrative and research operations of private, profit-oriented firms, other than public utility firms. This classification also includes certain activities accessory to the above, as specified in Section 17.10.040.

**“Commercial Hotel”** means a hotel that operates as a Commercial Activity, as defined in Section 17.10.260, which provides lodging to guests that is not used or is not intended to be used as a primary residence.

**“Commercial Hotel Unit”** means a Rooming Unit or Efficiency Unit, as defined in Section 17.09.040 of the Oakland Planning Code, that operates within a Commercial Hotel or has been granted a Conditional Use Permit for Conversion, as set forth in Section 17.153.050.

**"Efficiency dwelling unit"** means a dwelling unit containing only a single habitable room other than a kitchen, or containing a total of less than five hundred (500) square feet of floor area.

**“Owner”** means an owner of record of a Residential Hotel, or an entity or individual with a long-term lease or some form of equitable interest in a Residential Hotel.

**“Permanent Residential Activities”** include the occupancy of living accommodations on a thirty (30) days or longer basis, with none of the living units under the same ownership or management on the same lot being occupied on a shorter basis; but exclude institutional living arrangements other than state-licensed Residential Care Facilities for six (6) or fewer residents. However, such state-licensed Residential Care Facilities shall be subject to the three hundred (300) foot separation requirement in Section 17.103.010.B. This classification also includes certain activities accessory to the above, as specified in Section 17.10.040.

**“Residential Hotel”** is defined in accordance with California Health and Safety Code Section 50519, and means any building built before 1960 containing six (6) or more Rooming Units, as defined in Section 17.09.040, intended or designed to be used, or which are used, rented, or hired out, to be occupied, or which are occupied, for sleeping purposes by guests, which is also the primary residence of those guests, and where the entrances to the individual units are generally accessed via a shared lobby area. See also the process for Status Determination in Section 17.153.030. Any building or units that are constructed to satisfy the requirements of Section 17.153.050(A) shall be subject to the provisions of this Chapter.

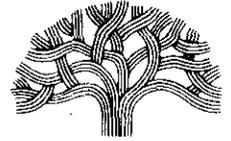
**“Residential Hotel Unit”** means a Rooming Unit or Efficiency Dwelling Unit, as those terms are defined in Section 17.09.040 of the Oakland Planning Code, intended or designed to be used, or which are used, rented, or hired out, to be occupied, or which are occupied, for sleeping purposes by guests, which is also the primary residence of those guests, and are located within a Residential Hotel. Any unit that is constructed to satisfy the requirements of Section 17.153.050(A) shall be subject to the provisions of this Chapter.

**"Rooming Unit"** means a room or suite of rooms, not including a kitchen, designed or occupied as separate living quarters, with or without common boarding provisions, but excluding such rooms where they accommodate a total of three (3) or fewer paying guests within a One Family Dwelling Residential Facility through the main portion of which access may be had to all such rooms; provided that in the case of student dormitories and similar group living arrangements, each two beds shall be deemed a rooming unit.

**“Semi-Transient Residential Activities”** include the occupancy of living accommodations partly on a thirty (30) days or longer basis and partly for a shorter time period, but with less than thirty percent (30%) of the living units under the same ownership or management on the same lot being occupied on a less-than-thirty (30) day basis; but exclude institutional living arrangements involving the provision of a special kind of care or forced residence, such as in nursing homes, orphanages, asylums, and prisons. This classification also includes certain activities accessory to the above, as specified in Section 17.10.040.

**“Transient Habitation Commercial Activities”** include the provision of lodging services to transient guests on a less-than thirty (30) day basis, other than in the case of activities classified by Section 17.10.120 Semi-Transient Residential Activities or Section 17.10.125 Bed and Breakfast Residential Activities. Examples include hotels and motels. This classification also includes certain activities accessory to the above, as specified in Section 17.10.040.

# CITY OF OAKLAND



CITY HALL • ONE CITY HALL PLAZA • OAKLAND, CALIFORNIA 94612

Office of City Manager  
Robert C. Bobb  
City Manager

(510) 238-3301  
FAX (510) 238-2223  
TTY/TDD (510) 238-3724

April 13, 1999

Public Safety Committee  
Oakland, CA

Re: A report and proposal to adopt an enforcement program to address crime, nuisance and housekeeping conditions at hotels, motels and rooming houses, including two ordinances amending: 1) the Municipal Code to adopt operating standards and add specific record keeping requirements and 2) the Planning Code to adopt a Deemed Approved Hotel Program; and including consideration of applying a \$600 Education, Monitoring and Enforcement Program annual fee to hotels, motels and rooming houses

Chairperson Miley and Members of the Committee:

## SUMMARY

In response to community concerns, a team of City staff has focused for over two years on reducing crime and nuisances at hotels, motels and rooming houses<sup>1</sup>. A series of multi-agency (SMART) inspections have been held utilizing City codes and regulations, primarily the Housing Code. Within the past year, three hotels/motels have been closed, one of which has been demolished. The violations found at these properties were severe – in fact, the Fire Marshall and Building Official posted Eminent Hazard warnings at the properties and required the emergency relocation of all residents.

Many other properties, while not classified as Eminent Hazards, are nevertheless poorly maintained and are the source of blight and public nuisance activity. Experience has revealed that existing City regulations do not adequately address problems at businesses that are marginally better than those that required immediate closure. As a result, staff is proposing the adoption of specific operating standards to be applied to all hotels, motels, and rooming houses (Chapter 8.03 of the Municipal Code) and the creation of a Deemed Approved Hotel Program (Chapter 17.157 of the Planning Code) be created and modeled after the program currently in effect for businesses that sell alcohol.

## FISCAL IMPACT

According to Budget and Finance Agency (BFA) tax records, approximately 80-90 hotels, motels, and rooming houses exist citywide. A few additional rooming houses may exist, but do not report Transient Occupancy Tax to BFA because they only rent rooms on a long

<sup>1</sup>A rooming house is akin to a hotel or motel in that rooms that do not contain kitchens are rented to guests and residents. Management may be responsible for providing furniture and daily or weekly housekeeping services. Rooming houses generally rent to a more permanent population and fewer short term guests than hotels or motels.

*Item D-D.2* PUBLIC SAFETY CMTE. *4-13-99*

term basis. Field inspections will need to be made to determine where additional rooming houses exist.

Enforcement of the new operating standards and Deemed Approved program will involve staff from the Code Compliance Division of the Community and Economic Development Agency (CEDA), Oakland Police Department (OPD), and Office of the City Attorney (CAO). All departments currently are investing time in enforcing various aspects of the current codes. As a result, the CAO and Code Compliance Division have indicated they can implement the program without additional staffing resources. Consideration is being given as to how OPD resources can best be utilized in light of the department's crime suppression priorities.

However, it should be recognized that businesses which sell alcohol pay a \$600 fee for the "Education, Monitoring and Enforcement Program" associated with the Deemed Approved Alcohol Regulations. This is used to fund a staff unit focused on alcoholic beverage sales. In exchange for the fee, City staff provide information to licensees during site inspections, at seminars, and through brochures. With over 500 licensees, annual fees collected exceed \$225,000. If a comparable fee and educational program were created for the approximately 80-90 hotels, motels and rooming houses, the annual fees collected would be considerably lower (see Table A) than the program for alcohol and would be insufficient to create a specific unit to work on the program.

Should the Council elect to apply the fee to this program, the proposed uses of the projected revenue would be as follows:

#### **Projected Revenue - Annual Fee**

85 businesses x \$600 annual fee = \$51,000 annual revenue

<b>Table A: Use of Fee Revenue</b>				
<b>Use</b>	<b>Salary/O&amp;M/Benefits</b>	<b>FTE</b>	<b>Cost</b>	<b>Rationale</b>
Administrative Hearing Officer		as needed	\$5,000	To hear cases and make determination on conditions or revocation.
Deputy City Attorney II	\$101,725	.10	\$10,200	To assist in hearings and further actions.
Sergeant of Police	\$130,447	.15	\$19,000	To help guide OPD enforcement.
Code Compliance Supervisor	\$118,000	.10	\$11,800	To schedule inspections and assist in hearings.
Training & Educational Materials			\$3,000	
Registration Forms			\$2,000	City will be reimbursed through fees paid by operators.
<b>TOTAL</b>			<b>\$51,000</b>	

If the Council adopts the fee, additional staff time within the Budget and Finance Agency would be needed to collect and process the payments. This is funded through a \$60 late payment that would be added if payments are not made on time.

If a fee were not adopted, the staff time and overhead costs would be absorbed by each of the respective departments implementing the program. The only revenues that would

continue to be needed would be a total of \$7,000 -- \$5,000 for the Administrative Hearing Officer and \$2,000 for registration forms. The cost of the registration form would be returned to the City through fees (currently \$40 for 1,400 forms). The \$7,000 can be funded through the unanticipated revenues collected as a result of audits of many of the hotels and motels (see page 4).

## **BACKGROUND**

For many years, community members across the City have been concerned with crime and nuisances stemming from hotels, motels and rooming houses. Their concerns include prostitution, drug dealing, visual blight, and uninhabitable conditions of rooms. In response, for the past two years, the City has enhanced enforcement at hotels, motels and rooming houses as follows:

- In September 1997, the City Council adopted an ordinance prepared by the City Attorney enhancing the registration requirements used at all businesses that rent to transient guests and making violations of the requirements subject to the City's civil penalties program. The amendments also allow the issuance of administrative citations to hold all responsible parties accountable, including owners as well as operators. This went into effect in January 1998 and requires that all individuals who rent rooms in Oakland provide a form of identification at time of check in. Additionally, businesses must either use the registration form provided by the City or have their computer registration system approved by OPD. Operators have indicated that this requirement has reduced the number of problem guests staying at their properties.
- Beginning in the spring of 1998, a series of multi-agency (SMART) inspections were scheduled at hotels, motels and rooming houses across the City. As a result, two properties in the downtown (Royal Hotel and Silver Dollar Motel) were shut down under an emergency order by the Building Official and Fire Marshall. Along the MacArthur corridor in East Oakland, the City Attorney obtained a court order closing the Farm House Motel due to substandard building conditions. The hotel structure has since been demolished. Numerous other properties received violation notices.
- Zoning regulations have been used as enforcement tools. Since a number of the hotels and motels are legal nonconforming, they must maintain at least 30% of the rooms rented on a short term basis. Using tax records, staff has found several businesses that have "crossed the line" and converted to another use. For example, the Lake Merritt Lodge, 2332 Harrison Street, lost its nonconforming status and is now considered a rooming house. It cannot convert back to a hotel without proper zoning approval. The Twin Peaks Hotel, 2333 San Pablo Avenue lost its status and applied for and received a minor variance to operate a rooming house. Last, the Bel Aire Court, 10031 MacArthur Blvd has converted to permanent residential use without benefit of permit. The owner is on notice that a Major Conditional Use Permit, at a minimum, is needed to legalize the operation.
- The Oakland Police Department has collaborated with the City Attorney to develop training for patrol officers to familiarize them with registration and posting requirements and has developed a process to refer potential code violations to the Code Compliance unit for enforcement action. OPD has also hosted two free training sessions for operators to inform them about registration and eviction procedures. The department is presently preparing a training on identifying and preventing prostitution.

- Since July 1997, the Budget and Finance Agency (BFA) has been auditing hotels and motels for payment of Transient Occupancy Taxes and Business License Taxes. To date, they have audited 41 businesses and found approximately \$230,000 in underpaid taxes<sup>2</sup>. Nearly \$80,000 has been collected to date. Staff is undertaking collection efforts on a number of the businesses at this time.

## **KEY ISSUES AND IMPACTS**

### **Identified Crime, Nuisance and Blight Conditions Associated with Operation**

Complaints related to physical conditions at hotels, motels and rooming houses are subject to enforcement by Code Compliance, while complaints regarding crime and nuisances are generally directed to the police department. Data gathered from the Code Compliance Division has found that nearly 60% of the 80-90 identified properties have been the subject of one or more complaints during the past two years. Three received ten (10) or more complaints during that time period. Given the fact that Code Compliance is only one repository for complaints and that a system to refer potential code violations from OPD to Code Compliance was only recently instituted, the figures cited by Code Compliance are conservative at best.

During the past year, the City has worked with neighborhood groups in many areas to address specific problems with hotel/motel locations. These groups include Adams Point Preservation Society, Beat 22X (Dimond Commercial area) Crime Prevention Council, the MacArthur Corridor (which contributed to the closure of Farm House Motel), the Uptown Neighborhood Crime Prevention Council (Beat 8 - formerly Mosswood Alliance and 37<sup>th</sup> Street Neighbors), and others. Complaints include prostitution activity in the vicinity, drug dealing, violence on the property, late night noise, and harboring parole violators and other undesirable guests. Specific crime statistics included in Table B (Attachment A) indicate the volume of crime reports written at various hotel, motel or rooming house properties. As noted on the attachment, arrests for prostitution and drug dealing at hotel/motel properties are limited because they generally advertise for customers within one to two blocks of a hotel/motel and then bring them back to the property once a deal has been struck. Therefore, not all arrests associated with hotels/motels actually occur on the premises.

During the early 1990's, drug and prostitution activity at Oakland hotel and motel sites became so prevalent that the Oakland Police Department requested assistance from the City Attorney to take legal action to abate the problems. The City Attorney has filed in excess of ten narcotics nuisance and red light abatement cases against individual motels since 1993. Despite a class action suit filed against the City by a coalition of hotel/motel operators seeking to end civil enforcement against them, injunctions have been obtained in a number of these cases, and several cases are currently pending. The City Attorney has found that, even in cases where OPD has had to exert considerable effort to curb prostitution and drug activity, the owners and operators have typically taken inadequate steps to address the problems at their sites. In several cases, twelve or more drug and prostitution arrests per year were recorded, the owner duly notified of the problem, and still little or no action was taken, forcing the City to file civil litigation. Despite instances where twenty or thirty or more arrests were made, there was no administrative mechanism to force

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<sup>2</sup> The following are in arrears and not making payments toward owed taxes: Asasha Hotel, Farm House Motel, Menlo Hotel, Silver Dollar Hotel, Townhouse Travel Inn, and Westwind Lodge. Additional businesses. Several other businesses have committed to a payment plan and are current on their payments.

the owner or operator to stop renting to known drug dealers and prostitutes.

Civil actions based on narcotics and prostitution nuisance have proven to be less than ideal remedies in relation to conditions at hotel and motel sites for several reasons. First, the litigation heavily impacts police and attorney resources, so that the sheer number of "problem" hotels/motels precludes aggressive civil litigation in every case. Second, the remedy provided by statute, a court order to close the establishment for a limited period, is not broad enough to address problems specific to hotels/motels. And, a motel site with a large number of individual rooms that has been closed by court order could become a bigger source of nuisance activity for the community, since a boarded and fenced property would attract trespassing and vandalism, would become more of a visual blight in the community and would require additional City resources to monitor and maintain.

### **Need for Change in Regulations**

Although progress has been made, City staff and community members remain dissatisfied with the level and rate of change. This is largely due to two factors.

First, while inspectors have increased enforcement power as a result of the City's civil penalties program, they are hard pressed to cite code sections addressing specific minimum maintenance and housekeeping standards even when it is clear that undesirable conditions exist. This is due to the fact that the existing code requirements, primarily the Housing Code, does not adequately address the specific attributes of the hospitality industry. The Housing Code is designed to identify and remedy problems at permanent residences and focuses on the systems (plumbing, heating, electrical, etc.) within a building and its structural integrity. The Blight Code can be useful, but relates primarily to the exterior of the property. Neither successfully addresses the unique characteristics of the hospitality industry. These include:

- housekeeping issues (cleanliness of linens, carpets, bathrooms, etc.);
- room furnishings (beds, lamps, clothing storage, etc.);
- security within guest rooms (deadbolt locks, view ports, etc.); and
- criminal and nuisance behavior (prostitution, drug dealing, noise, etc.).

The second factor is that some operators have found it cost effective to defer maintenance and upkeep, minimally meet the existing requirements, and/or absorb the cost of any reinspection fees that are issued, but are unwilling to make substantial changes. As a result, the overall quality of the operation never rises to the level of satisfaction of the community and City. Staff believe that only if the business owner is truly held accountable, (as is with a Deemed Approved Program) will City inspections be taken seriously and substantial change take place.

### **Proposed Regulations**

Three distinct areas of City regulations are proposed to be amended as follows:

- **Add Chapter 8.03 "Hotel, Motel & Rooming House Operating Standards" to the Oakland Municipal Code** - if adopted, this section would create specific standards related to the hospitality industry. Some of the standards address housekeeping conditions (mold/mildew, linen cleanliness, bathroom cleanliness, mattress condition, etc.), room security (deadbolt locks and viewports), furnishings, exterior maintenance (provision of

landscaping, garbage storage, lighting, etc.) and crime and nuisance activity (prostitution, drug dealing, etc.). The standards were drafted using the Automobile Association of America (AAA) ratings system as a guide. Those provisions of the Housing Code that are applicable to this industry would continue to be in effect. This includes plumbing, heating, and electrical requirements, etc.

- **Amend Chapter 5.34 “Hotel Rates and Registration Requirements” of the Oakland Municipal Code** - this chapter contains the registration requirements that went into effect in January 1998. The proposed amendments would also require business operators to provide guests with receipts differentiating between the room rate and Transient Occupancy Tax collected and that receipts be numbered in sequential order. An exception can be granted for those businesses with computerized registration and billing systems provided that the business can certify that payments are properly recorded and an audit trail is created.
- **Add Chapter 17.157 “Deemed Approved Hotel Regulations” to the Oakland Planning Code** - this chapter would duplicate, with minor amendments, the Deemed Approved program currently in effect for businesses that sell alcohol, thereby establishing a specific enforcement program for those hotel businesses that are legal nonconforming. The Performance Standards that will be applied to the “Deemed Approved” businesses include the Hotel, Motel and Rooming Operating Standards, Hotel Rates and Registration Requirements, the Housing Code, Blight Ordinance, and other applicable regulations. The regulations would provide all legal nonconforming businesses with a new title – “Deemed Approved” – that would be retained provided that the business complied with the identified Performance Standards.

In the event an operator violated the Performance Standards, a public hearing before an independent Administrative Hearing Officer would be held. City staff, the operator and legal counsel and other interested community members could testify at the hearing. If the Hearing Officer finds that the Performance Standards have been violated, he/she could add conditions to the operation of the business. If the conditions are violated and the business continues to be out of compliance with the Performance Standards, a second hearing could be scheduled at which time the Hearing Officer could decide to remove the business’ Deemed Approved status. Revoking a business’ Deemed Approved status does not result in immediate closure. Instead, the City would be required to secure a court order to do so. The only instance a business could be closed absent a court order is if an imminent hazard exists as determined by the Fire Marshal and/or Building Official as is currently authorized under the City’s existing police powers.

At each point in the process, the business owner or interested party could appeal the decision of the Administrative Hearing Officer. Appeals regarding operating conditions would be heard by the City Planning Commission, while appeals to the revocation of the Deemed Approved status could be appealed to the City Planning Commission and then to the City Council. This will provide ample opportunity for the business owner to be heard and for positive change to take place.

### **Implementation / Inspection Procedures**

The effective date of the proposed ordinance will be September 10, 1999, approximately five months after passage. This will allow staff adequate time to be trained in the new operating standards and enforcement procedures. Additionally, the City will offer

comprehensive inspections prior to the effective date of the ordinance in order to make owners aware, in advance, of potential future violations. Since the ordinance will not be in effect, no formal violation notices would be sent based upon the new codes, nor would reinspection fees be charged. This is to assist businesses in meeting the new standards before any enforcement action is needed and will only apply to additional conditions imposed by the new ordinance. Existing code requirements will continue to be enforced during this period.

Enforcement of the ordinance will take effect through an annual inspection of the property, coupled with inspections performed in response to complaints. The annual inspection will likely involve the Code Compliance Division, Fire Marshall, and Oakland Police Department, among others. Out of recognition that other agencies regularly inspect many of the hotels and motels, and hold those businesses to a higher standard than that proposed for adoption by the City of Oakland, the City may allow, pursuant to the development of appropriate administrative guidelines, the acceptance of an independent and established monitoring agency such as AAA or Mobil in lieu of a City inspection when reviewing the business' compliance with the enhanced operating standards in Chapter 8.03. However, the inspector, at his or her discretion, could elect to perform the inspection and, under no circumstance, will another agency's inspection be accepted by the Fire Marshall.

### **Legal Foundation for Legislation**

The City Attorney has reviewed the draft legislation and considers that all constitutional and procedural requirements have been met in the preparation of the ordinances. In particular, hotel/motel operators would be provided procedural due process before any action affecting their property rights would be taken by the City as part of any enforcement process, including the Deemed Approved Program. In fact, the enforcement scheme is modeled after the City's successful Deemed Approved program for alcoholic beverage establishments, which withstood challenge and has been upheld by the California Court of Appeal.

### **Planning Commission Recommendation**

On March 17, 1999, the City Planning Commission unanimously voted to recommend that the City Council adopt the proposed Operating Standards and Deemed Approved Enforcement Program. The issue of the fee was not before the Commission, therefore no position was taken on that issue. The ordinance has been changed to include the Commission recommendation that a standard related to pests and vermin be added. In addition, the Deemed Approved language has been slightly modified to address legal concerns raised at the Commission meeting. The ordinance reviewed by the Commission has been divided into two separate ordinances, one related to Operating Standards and the other related to the Deemed Approved program.

### **Community Input**

Staff has been diligent in working with hotel, motel and rooming house operators in the development of the proposed legislation. Monthly meetings have been held with the operators since September 1998, with the proposed standards and Deemed Approved Program being discussed on at least four occasions. All operators are invited to the meetings and 20-30 participants attended each meeting where the proposed legislation was discussed. In addition, staff has met with the Hotel subcommittee of the Oakland Chamber

of Commerce on two occasions. Multiple changes have been made in response to the feedback received from both groups.

In addition, the proposed operating standards and Deemed Approved Program have been discussed in with Neighborhood Crime Prevention Councils in areas of the City most impacted by hotels and motels. Sentiment toward enhanced standards has been consistently positive and considerable correspondence in favor of the program has been received.

### **Annual Review of Program**

It is recommended that an annual review take place during the first two years of the program. The purpose will be to review the extent of change promoted by the program and operating standards and determine if any modifications should be made.

### **RECOMMENDATION AND RATIONALE**

Crime, nuisances and blight associated with many hotels and motels in Oakland have been longstanding community concerns. The proposed ordinance creating Operating Standards for hotels, motels and rooming houses and establishing a Deemed Approved Hotel Program for legal nonconforming businesses will help address those concerns through regulations crafted specific to the industry. Additionally, successful implementation of the program will provide potential visitors to Oakland an assurance of a minimum quality of stay. This could ultimately help encourage the City's attractiveness as a destination point for travelers.

### **REQUESTED ACTION**

1. Adopt the attached ordinance amending the Municipal Code to establish operating standards and add specific record keeping requirements for hotels, motels and rooming houses.
2. Adopt the attached ordinance amending the Planning Code to create a "Deemed Approved Hotel Program" applied to all legal non-conforming hotels, motels and rooming houses.

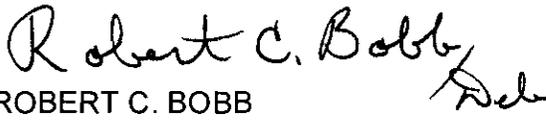
### **AND**

- 3a. Direct the City Manager to have the Community and Economic Development Agency incorporate \$14,000 in expenditures (\$7,000 per year for FY 99-01) in the Agency's budget proposal for FY 99-01 for the Deemed Approved Hotel Program in order to fund the services of an Administrative Hearing Officer and the purchase of Hotel Registration forms.

### **OR**

- 3b. Direct the City Manager to prepare legislation to create a \$600 Deemed Approved Program hotel, motel and rooming house fee with associated \$200 reinspection fee and appropriating the revenue collected to the Education, Monitoring and Enforcement program for hotels, motels and rooming houses.

Respectfully submitted,

  
ROBERT C. BOBB  
City Manager

Attachments

- A - Table B: Part I and Other Crimes
- B - Letter from Boston Avenue Neighbors Association
- C - Letter from Johanna Fox
- D - Letter from Ann Nomura

Table B: <b>PART I &amp; OTHER CRIMES</b> <b>January 1997 - December 1998 (24 months)</b>							
	300-899 W. Mac Blvd	01-100 Mac Blvd	2300-2499 Mac Blvd	3200-3299 Mac Blvd	10000-10099 Mac Blvd	10400-10499 Mac Blvd	5700-5799 E 14 <sup>th</sup> Street
Robbery (211, 212.5)	14		5	4	2	3	2
Grand Theft (487)	2		2	2			1
Assault w/deadly weapon (PC 245)	7		5	6	3	2	1
Burglary (PC 459)	15	1	4	1		4	4
Carjacking (PC 215)							1
Auto Theft (PC 10851)	22	2	1	7	2	5	1
Petty Theft (PC 484)	13		2	1	1	3	
Prostitution (PC 647 B)	5				7	13	
Drug Related (PC 11350- 11390)	51	1	16	14	7	16	3
Battery (PC 242-243)	20	1	3	1	6	4	6
Weapon (PC 12021-25)		1					
<b>TOTAL</b>	<b>278</b>	<b>6</b>	<b>38</b>	<b>36</b>	<b>28</b>	<b>50</b>	<b>19</b>
Number of motels	13	1	1	2	1	2	1
Incidents per motel*	21.4	6	38	18	28	25	19

\* Note: The crime analysis only includes reports written for activity that occurred on the premises of a hotel or motel. Additional activity is occurring in proximity to these properties that could be tied to a hotel/motel property on a case by case basis, but for the purposes of this report that nexus has not yet been drawn. However, it is important to recognize that prostitutes generally work one block on either side of the hotel/motel and direct their customers to the selected motel. This can also hold true for drug dealers. Therefore, the data in the table is a very conservative representation of activity associated with hotel or motel operations.

LOCATIONS

300-899 West MacArthur Blvd -	Bayview Motel, Capri Motel, Imperial Inn, MacArthur Motel, M/B Motor Inn, Mosswood Motel, Nights Inn Motel, Palms Motel, Rio Motel, Sleepy Hollow Motel, Townhouse Travel Inn, Townlodge Motel, Westwind Lodge
01-100 MacArthur Blvd -	Motel 5
2300-2499 MacArthur Blvd -	Hillcrest Motel
3200-3299 MacArthur Blvd -	Highlander Motel, Oaks Motel
10000-10099 MacArthur Blvd -	Starlite Motel
10400-10499 MacArthur Blvd -	Farm House Motel (demolished), Harris Motel
5700-5799 International Blvd -	Melrose Motel

Yu-Ming and Yu-Fong Chou  
October 21, 1997  
Page 2



BOSTON AVENUE NEIGHBORS ASSOCIATION  
c/o P.O. Box 27355  
Oakland, CA 94602

October 21, 1997

Yu-Ming Chou and Yu-Fong Chou  
Owners, Hillcrest Motel  
45 Joyce Road  
Hillsborough, CA 94010-7316

Dear Yu-Ming and Yu-Fong Chou

We are an association representing 22 households who are your neighbors on Boston Avenue, up the block toward the cul-de-sac. We would like to have your cooperation in working to make the area around the motel cleaner and more habitable. Specifically, there are a number of conditions around the motel which we would like you to take care of. They are:

- 1) Residents of the motel continually leave shopping carts on Boston Avenue in the area in front of the motel.
- 2) There is a significant amount of debris left by residents of the motel in the median strip along the West side of Boston Avenue.
- 3) Residents of the motel appear to be dumping garbage in the trash receptacle at the corner of Boston and MacArthur. There appear to be inadequate trash bins on the motel property to accommodate their needs.
- 4) A significant amount of debris is left by residents on the MacArthur side of the motel, including used condoms, beer bottles, and other items which create a nuisance.
- 5) The landscaping on both the Boston Avenue and the MacArthur sides of the motel is often left unkempt and uncared for.

We hope that you will assist us in making Boston Avenue a better place to live, both for yourself, for the residents of the motel, and for us, your Boston Avenue neighbors

Thanks for your cooperation. Please address your response to the attention of Tito Tayco

Sincerely,

Boston Avenue Neighbors  
See Attached Page for Signatures  
cc: ✓ Dimond Improvement Association - Janet

Michael & Shelly Huey  
*Michael & Shelly Huey*

Mary Lee, Chao Wei Wong  
*Chao Wei Wong*

S Holston  
*S Holston*

Kevin and Darlene Carter  
*Kevin and Darlene Carter*

Jonathan Austin & Mary Mazzocco  
*Jonathan Austin & Mary Mazzocco*

Philip Ma  
*Philip Ma*

J. Christensen  
*J. Christensen*

Alberto & Elma Quiroz  
*Alberto & Elma Quiroz*

Vai Valuch  
*Vai Valuch*

Marilyn Miller & Gisela Merker  
*Marilyn Miller & Gisela Merker*

Thuy Tran & Long Ma  
*Thuy Tran & Long Ma*

H. Schroeder  
*H. Schroeder*

Judy, Hector, Linda & Tony Chow  
*Judy, Hector, Linda & Tony Chow*

Gerri Haslett & Marcel DeGross  
*Gerri Haslett & Marcel DeGross*

Tito & Eleanor Tayco  
*Tito & Eleanor Tayco*

Sunday, November 08, 1998

Dick Spees  
Council member  
City of Oakland  
#1 City Hall Plaza  
Oakland, CA 94612

Dear Council member Spees :

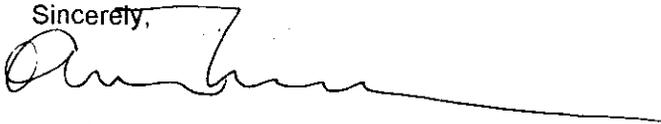
Thank you for sending your staff, Niccolo Deluca, to our Neighborhood Crime Prevention Council meetings. He has been a wonderful resource for our neighborhood. The Hillcrest Motel has come up at all of these meetings.

The Hillcrest Motel is of deep concern to this neighborhood and very little is being done by the City of Oakland to improve the current situation. I work with a woman who lives on Boston Avenue directly across the street from the Hillcrest Motel. In the last year: a bag of guns and drugs were found on her block, she complained of having prostitutes and their clients on her street, she could not get into her house because men were hanging out selling drugs at her front gate, a man passed out in front of her house and she had to call 911, and there were numerous home and car burglaries. She has a daughter and no longer feels that the Dimond is a safe neighborhood for children. She wants to move out of Oakland.

The Hillcrest Motel creates a hazard for our neighborhood and our children. It is located only two blocks from the Sequoia Elementary School. In spite of the many complaints by neighbors, the City of Oakland has no plans to close the Hillcrest Motel or to stop it from bringing prostitution, drugs and crime into our neighborhood.

As a taxpaying, voting, Dimond resident- I want you to close the Hillcrest Motel now.

Sincerely,



Ann Nomura

p.s. The Hillcrest Motel has been discussed at DIA meetings, at NCPC meetings and just between neighbors. Dimond residents are fed up with the Hillcrest Motel.

cc: Traci Corcran  
Dimond Neighborhood Association  
MacArthur Metro  
Oakland Tribune  
Montclarion

*Item D-D.2*  
PUBLIC SAFETY CMTE.  
*4-13-99*

**ATTACHMENT D**

*Patrick Tracy*  
CITY ATTORNEY

INTRODUCED BY COUNCILMEMBER \_\_\_\_\_

**ORDINANCE No. \_\_\_\_\_ C. M. S.**

AN ORDINANCE AMENDING THE OAKLAND MUNICIPAL CODE TO CREATE CHAPTER 8.03 "OPERATING STANDARDS FOR HOTELS, MOTEL AND ROOMING HOUSES" AND ADD SPECIFIC RECORD KEEPING REQUIREMENTS IN CHAPTER 5.34

**DRAFT**

WHEREAS, tax and revenue records indicate that there are currently over eighty hotels, motels and rooming houses in the City of Oakland; and

WHEREAS, individuals who reside in these facilities are dependent upon the management for the provision of safe and sanitary lodging conditions; and

WHEREAS, the existing Housing Code does not directly address the unique aspects of the hospitality industry and the need to provide for specific minimum standards related to room furnishings, linens, housekeeping services and security; and

WHEREAS, a concentration of illegal activity has been tied to the operation of many of the problem businesses, as evidenced by a pattern of multiple and continuous arrests at and within various businesses for prostitution and narcotics use which has been fully documented by the Oakland Police Department; and

WHEREAS, the Oakland Police Department has expended an inordinate amount of time and resources in policing certain of these businesses, in order to limit or control widespread use of the properties for the purpose of narcotics and prostitution activity; and

WHEREAS, the City Attorney has filed ten or more civil abatement actions against operators of these businesses over the past seven years, in an attempt to enjoin the illegal activities at the problem properties; and

WHEREAS, individual actions for injunctive relief and/or closure are not effective substitutes for proper ongoing and regular maintenance and adequate property management; and

WHEREAS, evidence provided by the community in actions filed by the City Attorney strongly support the conclusion that the operators of problem properties take minimal action to screen or to monitor the activities of their patrons, and allow the open use of the property for drug and prostitution activity all hours of the day and night; and

WHEREAS, the activities of patrons engaged in illegal activities at problem properties affect the health and safety of area residents, create a climate of fear and apprehension, and diminish the value of real property in the surrounding area; and

*Item D.1*  
PUBLIC SAFETY CMTE.  
*4-13-99*

Sunday, March 21, 1999

Dick Spees  
City of Oakland  
#1 City Hall Plaza  
Oakland, CA 94612

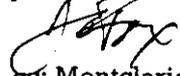
Dear Council Member Spees:

I have recently moved out of the Dimond ( the district you were elected to represent ) because of the crime on my block. Most of the crime on my street was associated with the Hillcrest Motel. I truly enjoyed the Dimond business district and most of the neighborhood, but as I was living on Boston Avenue less than a block from the Hillcrest Motel. The crime, drug trafficking, drug use, and prostitution associated with the Hillcrest has a profound affect on the surrounding neighborhood. Transient Hillcrest Motel guests loiter in the surrounding streets. I have arrived home at night and been unable to enter my house because of strange men selling drugs in front of my home. A man passed out in front of my house and I had to call 911, friends refused to visit me because they felt unsafe. My daughter could not be allowed outside the house and I worried about her constantly. My car was burglarized, as was my landlord's and our neighbor's home was burglarized. These neighbors are also planning to relocate, out of your district and away from the Hillcrest Motel.

I liked my apartment, my landlord and my neighbors, but I could not put myself and daughter at such risk. If you live near the Hillcrest Motel, you will become a victim of the crime the Motel brings to your doorstep. The Hillcrest Motel makes the Dimond an unsafe and unattractive place to live. As the council member who represents this area, I urge you to act and close this Motel before more neighbors are hurt.

Sincerely,

Johanna Fox



cc: Montclarion  
Dimond Neighborhood Association  
Jewels Marcus

ATTACHMENT C

**DRAFT**

WHEREAS, police surveillance undertaken over the past five years shows that prostitution and drug activity at many of the problem sites takes place openly during all hours of the day and night, and in full view of the operators, who take no significant action to curb the unlawful activities; and

WHEREAS, records show the City has determined over the past five years that a number of problem locations are poorly maintained and structurally unsound, or contain unsanitary and dangerous conditions that threaten the health and safety of lodgers; and

WHEREAS, the City has documented numerous and frequent complaints from the community regarding the visual blight associated with certain poorly maintained problem properties; and

WHEREAS, there is a correlation between high levels of drug and prostitution activity and the existence of substandard and public nuisance conditions at the problem properties; and

WHEREAS, in 1986, the Oakland City Council amended the Planning Code to eliminate the "Travel Accommodation Combining" zone which made those hotels or motels outside of the downtown, waterfront and airport areas legal nonconforming businesses; and

WHEREAS, it is in the best interest of the Oakland community and visitors that the City adopt common standards of maintenance, housekeeping, and security that are designed to protect the health, safety and welfare of residents and visitors, reduce crime and nuisances associated with the operation of hotels, motels and rooming houses; and

WHEREAS, the requirements of the California Environmental Quality Act (CEQA) of 1970, the Guidelines as prescribed by the California State Secretary for Resources, and the City's Environmental Review Regulations have been satisfied, and that in accordance with Section 15061(b)(3) or Section 15301 of the California Code of Regulations this project is exempt from the provisions of the California Environmental Quality Act; now, therefore, be it

RESOLVED, THAT THE COUNCIL OF THE CITY OF OAKLAND DOES ORDAIN AS FOLLOWS:

**Section 1.** The City Council determines that this Ordinance complies with California Environmental Quality Act and directs the Review Officer to file a Notice of Exemption with the Alameda County Clerk.

**Section 2.** Chapter 8.03 of the Oakland Municipal Code is hereby added to read:

**"Chapter 8.03**

**HOTEL, MOTEL AND ROOMING HOUSE OPERATING STANDARDS**

**8.03.010 Title.**

These regulations shall be know as Hotel, Motel and Rooming House Operating Standards.

**8.03.020 Purpose.**

The general purpose of these regulations are to promote the health, safety, comfort, convenience, prosperity, and general welfare by requiring that businesses that offer shelter to visitors, transient guests, and other residents provide a minimum level of cleanliness, quality, and security.

**8.03.030 Scope.**

These provisions shall apply to businesses such as hotels, motels, and rooming houses which provide shelter, furniture, linens, and housekeeping services, etc. within the guest room(s) and throughout the property. These provisions shall not apply to permanent residential facilities wherein the owner is responsible for providing the shelter, but does not provide furniture, linens, or housekeeping services or with Residential Care Facilities as defined in Oakland Planning Code (OPC) Section 17.10.210.

**8.03.040 Definitions.**

For the purposes of this chapter certain words and phrases are defined, and certain provisions shall be construed, as herein set out unless it shall be apparent from the context that they have a different meaning:

"Hotel" means any facility as defined in Oakland Municipal Code (OMC) Section 4.24.020.

"Rooming House" means any Rooming House Residential Facility as defined in Section 17.10.690 that houses a Permanent Residential Activity (OPC Section 17.10.110) or Semi-Transient Residential Activity (OPC Section 17.10.120)

**8.03.050 Management Practices.**

- A. Room rates. Room rates shall be posted in a prominent location in the reception area and in the guest rooms. Guests shall not be charged in excess of posted rates. A range of rates is acceptable.
- B. Management Accessibility. A property management representative shall be accessible, in person or by telephone, on a 24-hour basis. (Also see OMC Section 5.34.051.)
- C. Guest Complaints. The telephone number and address for the City of Oakland Building Official shall be posted in a prominent location in the reception area and/or guest rooms.

**8.030.60 Inspection of Records and Facilities.**

- A. Other Records and Hotel Facilities Subject to Inspection, Review and Audit. Upon a showing of probable cause therefor by the Director of Finance or his or her designee, or

by any police officer, code compliance, fire or zoning inspector of the City of Oakland, the City Attorney shall issue an administrative subpoena compelling the inspection of rooms and facilities, and/or the production of guest registers and other records necessary to determine compliance with all applicable regulations, including but not limited to building, fire, health, occupancy, and blight codes, and to verify collection and payment to the City of all taxes owed.

- B. Independent Agency Inspections. The City shall conduct annual or bi-annual inspections of all businesses subject to the regulations specified in this Chapter. The City Manager or designee is authorized to promulgate administrative regulations to allow the acceptance of satisfactory ratings conferred by recognized, independent agencies in lieu of a City inspection, provided that the independent inspection is based upon performance and facility standards equal to or in excess of the standards commemorated in this chapter.

**8.03.070 Property Security.**

- A. Guest Room Locks. On or after September 10, 1999, the following is required:

Install and maintain an operable dead bolt lock on each main swinging entry door of a dwelling unit. The dead bolt lock shall be installed in accordance with the manufacturer's specifications and shall comply with applicable state and local codes including, but not limited to, those provisions relating to fire and life safety and accessibility for the disabled. When in the locked position, the bolt shall extend a minimum of 13/16 of an inch in length beyond the strike edge of the door and protrude into the doorjamb.

This section shall not apply to horizontal sliding doors. Existing dead bolts of at least one-half inch in length shall satisfy the requirements of this section.

Existing locks with a thumb-turn deadlock that have a strike plate attached to the doorjamb and a latch bolt that is held in a vertical position by a guard bolt, a plunger, or an auxiliary mechanism shall also satisfy the requirements of this section. These locks, however, shall be replaced with a dead bolt at least 13/16 of an inch in length the first time after July 1, 1999 that the lock requires repair or replacement.

- B. Viewports. Each door shall have a viewport or window convenient to the door. Properties with Fire Resistive Construction rated ("Fire Rated") doors, at the time of the adoption of this ordinance, are exempt from this provision to the extent that installing a viewport would negatively affect the fire rating.
- C. Connecting Doors. Each door connecting two guest units that share a common wall shall be equipped with a functional deadbolt lock.
- D. Window Locks. All windows designed to be opened shall have an operable window security or locking device. Louvered windows, casement windows, and ail windows more than 12 feet vertically from the ground are excluded from this subdivision, except where the window is within 8 feet horizontally of a roof or any other platform area.
- E. Exit Doors. See Section 15.08.240 of the Oakland Municipal Code.

- C. Bathroom Fixtures. Private bathrooms shall have a functioning water closet (e.g., toilet), lavatory (e.g., sink), shower receptor and/or bathtub. This should not be construed to prevent a sink from being placed in a guest room that does not have full bathroom facilities.
- D. Shared Bathroom Facilities. Guests in facilities with shared bathrooms shall have access to a functioning water closet (e.g., toilet), lavatory (e.g., sink), shower receptor and/or bathtub. Showering or bathing areas shall be able to be securely locked from the inside. Separate facilities shall be provided for men and women or the facilities shall be able to be locked for individual use. Signs shall be posted indicating that "Children under 12 years of age who use this shared bathroom should be accompanied by an adult at all times."
- E. Hot/Cold Water. Hot and cold running water shall be provided for all plumbing facilities.
- F. Telephone Rates. Telephone rates shall be posted in every room that has a private phone and be adhered to by management.
- G. Emergency Telephone Access. Guests shall have 24-hour emergency access to a telephone (a payphone is adequate) on the property. However, such telephone shall not be made generally available to the public so as to become a public nuisance.
- H. Clothes Storage. Space shall be provided in good working order for hanging clothes and/or storing personal belongings.

### **8.30.100 Exterior of Property.**

- A. Windows. Exterior window glass shall be without cracks, chips or holes.
- B. Exterior Lighting. The exterior of the property, including adjacent public sidewalks and parking lots under the control of the operator, shall be illuminated during all hours of darkness during which the property is open for business in a manner so that persons standing in those areas at night are identifiable from the street. However, the required illumination shall be placed so as to minimize interference with the quiet enjoyment of nearby residents of their property.
- C. Painting. See OMC Chapter 8.24 "Property Blight".
- D. Landscaping. All areas on the property designated for landscaping, i.e., lawns, planter beds, and other unsurfaced locations, shall be maintained with properly trimmed living plant materials and without collecting litter or debris.
- E. Directional Signs. Directional signs shall be posted as appropriate to ensure that emergency personnel can find guest rooms in a timely manner.
- F. Exterior Trash/Garbage Storage. All containers used for the storage of trash, garbage, or recycled materials and placed on the exterior of the building(s) shall be maintained in a locked and screened enclosure. Also See OMC Chapter 8.24 "Property Blight" and OMC Section 15.08.230.

### **8.03.110 Common Areas.**

- A. Elevators. Guest service elevators need to be fully functional and pass appropriate agency inspections. The name and telephone of the inspection agency shall be posted in

**8.03.080 Housekeeping Conditions in excess of normal "Wear and Tear" (also see Chapter 15.08 "Housing Code")**

- A. **Mattress Condition/Cleanliness.** Mattresses shall be free of stains, holes, rips or odors in excess of normal wear and tear, and maintained in a sanitary, non-defective condition (e.g., without broken springs, indentations, sags, etc.).
- B. **Linen Condition/Cleanliness.** Where provided by management, linens shall be free of stains, holes, rips or odors in excess of normal wear and tear and shall be cleaned at change of occupancy or at least once a week when occupancy does not change. Linens shall be cleaned in hot water at least 43°C (110° F) for a minimum of 25 minutes.
- C. **Bathroom Condition/Cleanliness.** Bathroom fixtures (e.g., toilet, bathtub, sink, mirror) shall be maintained without significant cracks, chips, or stains. Floors shall be washed with hot water and a sanitizer at change of occupancy or at least once a week when occupancy does not change. Daily cleaning schedules shall be maintained in the manager's office.
- D. **Carpet Condition/Cleanliness.** Carpeting shall be free of stains, holes, rips or odors in excess of normal wear and tear, and maintained in a sanitary, non-defective condition.
- E. **Floor Condition/Cleanliness.** Floor surfaces shall be made of non-absorbent material. All surfaces and tile grouting shall be maintained without cracks, rips or missing elements.
- F. **Wall Condition/Cleanliness.** Wall surfaces shall be maintained without spots, stains, flakes, chips, holes, etc. and maintained in a clean and sanitary condition.
- G. **Mold/Mildew.** All surfaces, including carpeting and flooring, and fixtures shall be free from mold, mildew, or bubbling conditions.
- H. **Plumbing.** See OMC Section 15.04.
- I. **Electrical Equipment.** For the purposes of this section, electrical equipment shall include furniture items installed by management, including televisions, lamps, etc. See OMC Section 15.08.270.
- J. **Water Leakage/Water Stains.** All fixtures shall be maintained without leaks or drips. Water damage shall be immediately repaired.
- K. **Furniture Condition.** All furniture items provided by management shall be maintained in proper working order.
- L. **Condition of Shades/Draperies/Blinds.** Shades, draperies, blinds, etc. shall be free of stains, holes, rips or odors in excess of normal wear and tear, and maintained in a sanitary, non-defective condition.
- M. **Vector Control.** *The premises shall be kept clean in every part and free from garbage, rubbish, rodents, vermin and other offensive matter.*

**8.03.090 Room Furnishings.**

- A. **Privacy.** Privacy coverings such as shades, draperies or blinds shall be appropriately hung to cover all windows.
- B. **Room Light.** An active, fully functional light switch shall be located at the main entry to the guest unit.

all of the elevators. Elevators shall be operational on a 24-hour-a-day basis (as of January 1, 2000).

- B. Hallway Lighting. Any lobby area or other public space shall be maintained in a sanitary condition, free of garbage or debris.

**8.03.120 Criminal and Nuisance Activity.**

- A. Nuisance Activity. The operation of the property shall not result in repeated nuisance activities on the property or contribute to nuisance activities in close proximity to the property, including but not limited to disturbance of the peace, illegal drug activity, prostitution, public drunkenness, drinking in public other than at a licensed facility, harassment of passers by, gambling, sale of stolen goods, public urination, theft, assaults, batteries, acts of vandalism, illegal parking, excessive loud noises, especially in the late night or early morning hours, traffic violations, curfew violations, lewd conduct, or police detentions and arrests.
- B. Graffiti. All graffiti shall be removed on a continuous basis within 48 hours of application.
- C. Litter. Litter shall be removed daily from the premises, including adjacent public sidewalks and all parking lots under control of the operator. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis to control debris.

**8.03.130 Duplicated Regulation.**

Whenever any provisions of this Chapter and any other provision of law, whether set forth in this code, or in any other law, ordinance, or resolution of any kind, imposes overlapping or contradictory regulations, or contains restrictions covering any same subject matter, that provision which is more restrictive or imposes higher standards shall control, except as otherwise expressly provided in these regulations.

**8.03.140 Separate Offenses.**

Each violation of this chapter shall constitute a separate offence.

**8.03.150 Enforcement by Alternative Methods of Code Enforcement**

Any violation of this article may be prosecuted as a misdemeanor, may be charged as a civil penalty or an infraction, or may be pursued as a violation of the Chapter 17.157 Deemed Approved Hotel Regulations. Additionally, the use of the property may be encumbered, as authorized by the Oakland Municipal Code, Chapter 1, Articles 6, 7 and 8. Enforcement action specifically authorized by this article may be utilized in conjunction with, or in addition to, any other statutory, code, administrative or regulatory procedure applicable to the regulation of buildings, structures, or property. In addition, nothing in this article shall be interpreted to preclude or limit the City from seeking injunctive or other judicial relief.

**DRAFT**

**8.03.160 Abatement – Imminent Danger**

A. Any condition which is reasonably believed to be imminently dangerous to the life, limb, health or safety of the occupants of the property or to the public, upon reasonable notice provided the owner or responsible person, may be immediately abated by the Fire Marshal and/or the Building Official or their designees.

B. Actions taken to abate imminently dangerous conditions may include, but are not limited to, repair or removal of the condition creating the danger and/or the restriction from use of occupancy of the property on which the dangerous condition exists or any other abatement action determined by the Fire Marshal or Building Official to be necessary. In the event use of occupancy is restricted, the owner or his or her agent shall discontinue the use within the time prescribed by the Fire Marshal or Building Official after receipt of such notice.

C. If entry onto property and access to rooms or units constituting an imminently dangerous condition in violation of this article is denied the Building Official and/or the Fire Marshal by the owner of the property or his or her agent, the Building Official and/or the Fire Marshal may seek a court order and/or inspection and abatement warrant from a court of competent jurisdiction to authorize the immediate abatement of the imminently dangerous conditions.

**8.03.170 Recovery of Abatement Costs**

Costs for any abatement performed by, or on behalf of, the City, including the cost of extraordinary police services provided, shall be recoverable by the City.

Costs incurred in relocating occupants of the property shall be recovered by the City pursuant to the provisions of Chapter 15.08 Oakland Housing Code and the provisions of the City's Relocation Assistance Program."

**Section 3.** Section 5.34.025 of the Oakland Municipal Code is hereby added to read:

**"5.34.025 Guest Receipts.**

- A. Receipts. Receipts shall be issued for all cash and non-cash payments at the time paid. Transient Occupancy Tax and any charges other than room rental charges shall be listed separately.
- B. Receipts shall be pre-numbered and in sequential order. Receipts may be in sequential order based upon date/time, when a reservation was made, or based upon date/time of registration.
- C. Room Numbers. Room numbers shall be included on all receipts, bills and registration cards, with any changes noted.
- D. Telephone Charges. Income from telephone charges is taxable and shall be reported.
- E. In the event the hotel utilizes a computerized pre-arrival registration and/or billing procedure, the hotel shall not be required to comply with subdivision (B) of this section; provided, however, that the pre-arrival registration and/or billing procedure must be submitted to and approved by the City Manager or his designee, and the hotel be able to certify that payments are properly tracked and recorded so as to create an audit trail."

**DRAFT**

Section 4. That the effective date of this ordinance shall be September 10, 1999.

IN COUNCIL, OAKLAND, CALIFORNIA, \_\_\_\_\_, 1999

**PASSED BY THE FOLLOWING VOTE:**

AYES- BRUNNER, CHANG, MILEY, NADEL, REID, RUSSO, SPEES AND PRESIDENT DE LA FUENTE

NOES-

ABSENT-

ABSTENTION-

ATTEST: \_\_\_\_\_

CEDA FLOYD  
City Clerk and Clerk of the Council of the  
City of Oakland, California

*Item D.1*  
PUBLIC SAFETY CMTE.

*4-13-99*

*Patrick Toney*  
CITY ATTORNEY

**ORDINANCE No. \_\_\_\_\_ C. M. S.**

AN ORDINANCE AMENDING THE OAKLAND  
PLANNING CODE TO CREATE A "DEEMED  
APPROVED HOTEL PROGRAM" AT CHAPTER 17.157

**DRAFT**

WHEREAS, tax and revenue records indicate that there are currently over eighty hotels, motels and rooming houses in the City of Oakland; and

WHEREAS, individuals who reside in these facilities are dependent upon the management for the provision of safe and sanitary lodging conditions; and

WHEREAS, a concentration of illegal activity has been tied to the operation of many of the problem businesses, as evidenced by a pattern of multiple and continuous arrests at and within various businesses for prostitution and narcotics use which has been fully documented by the Oakland Police Department; and

WHEREAS, the Oakland Police Department has expended an inordinate amount of time and resources in policing certain of these businesses, in order to limit or control widespread use of the properties for the purpose of narcotics and prostitution activity; and

WHEREAS, the City Attorney has filed ten or more civil abatement actions against operators of these businesses over the past seven years, in an attempt to enjoin the illegal activities at the problem properties; and

WHEREAS, individual actions for injunctive relief and/or closure are not effective substitutes for proper ongoing and regular maintenance and adequate property management; and

WHEREAS, evidence provided by the community in actions filed by the City Attorney strongly support the conclusion that the operators of problem properties take minimal action to screen or to monitor the activities of their patrons, and allow the open use of the property for drug and prostitution activity all hours of the day and night; and

WHEREAS, the activities of patrons engaged in illegal activities at problem properties affect the health and safety of area residents, create a climate of fear and apprehension, and diminish the value of real property in the surrounding area; and

WHEREAS, police surveillance undertaken over the past five years shows that prostitution and drug activity at many of the problem sites takes place openly during all hours of the day and night, and in full view of the operators, who take no significant action to curb the unlawful activities; and

WHEREAS, records show the City has determined over the past five years that a number of problem locations are poorly maintained and structurally unsound, or contain unsanitary and dangerous conditions that threaten the health and safety of lodgers; and

*Item D.2*  
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WHEREAS, the City has documented numerous and frequent complaints from the community regarding the visual blight associated with certain poorly maintained problem properties; and

WHEREAS, there is a correlation between high levels of drug and prostitution activity and the existence of substandard and public nuisance conditions at the problem properties; and

WHEREAS, in 1986, the Oakland City Council amended the Planning Code to eliminate the "Travel Accommodation Combining" zone which made those hotels or motels outside of the downtown, waterfront and airport areas legal nonconforming businesses; and

WHEREAS, few or none of the legal nonconforming businesses have land use permits with associated conditions that can be revoked for violations of the conditions or public nuisance-related activities; and

WHEREAS, it is in the best interest of the Oakland community and visitors that the City adopt common standards of maintenance, housekeeping, and security that are designed to protect the health, safety and welfare of residents and visitors, reduce crime and nuisances associated with the operation of hotels, motels and rooming houses; and

WHEREAS, the requirements of the California Environmental Quality Act (CEQA) of 1970, the Guidelines as prescribed by the California State Secretary for Resources, and the City's Environmental Review Regulations have been satisfied, and that in accordance with Section 15061(b)(3) or Section 15301 of the California Code of Regulations this project is exempt from the provisions of the California Environmental Quality Act; now, therefore, be it

RESOLVED, THAT THE COUNCIL OF THE CITY OF OAKLAND DOES ORDAIN AS FOLLOWS:

**Section 1.** The City Council determines that this Ordinance complies with California Environmental Quality Act and directs the Review Officer to file a Notice of Exemption with the Alameda County Clerk.

**Section 2.** Chapter 17.157 of the Oakland Planning Code is hereby added to read:

**"Chapter 17.157**

**DEEMED APPROVED HOTEL & ROOMING HOUSE REGULATIONS**

**Article I. Title and Scope**

**17.157.010 Title.**

The provisions of this chapter shall be known as the Deemed Approved Hotel regulations.

**17.157.020 Purpose of Deemed Approved Hotel regulations.**

The general purposes of the Deemed Approved Hotel regulations are to protect and promote the public health, safety, comfort, convenience, prosperity, and general welfare by requiring that Hotels and Rooming Houses that were Legal Nonconforming Activities immediately prior to the effective date of the Deemed Approved Hotel regulations comply with the Deemed Approved performance standards at Article III, Section 17.157.060 of this chapter and to achieve the following objectives:

- A. To protect residential, commercial, industrial and civic areas and minimize the adverse impacts of nonconforming and incompatible uses;
- B. To provide opportunities for Deemed Approved Hotel Activities to operate in mutually beneficial relationship to each other and to other commercial and civic services;
- C. To regulate those businesses that provide over night or short term accommodations in order to provide a standard of quality commonly expected of the hospitality industry;
- D. To provide that Deemed Approved Hotel Activities are not the source of undue public nuisances or visual blight in the community;
- E. To provide for properly maintained Deemed Approved Hotel Activities so that negative impacts generated by these activities are not harmful to the surrounding environment in any way;
- F. To monitor that Deemed Approved Hotel Activities do not substantially change in mode or character of operation.
- G. To assure that guests and residents at Deemed Approved Hotel Activities are provided safe, clean, and secure accommodations.

**17.157.030 Applicability of Deemed Approved Hotel regulations.**

- A. To Which Property Applicable. The Deemed Approved Hotel regulations shall apply, to the extent permissible under other laws, to all Legal Nonconforming Hotels and Rooming Houses within the City.
- B. Duplicated Regulation. Whenever any provisions of the Deemed Approved Hotel regulations and any other provision of law, whether set forth in this code, or in any other law, ordinance, or resolution of any kind, imposes overlapping or contradictory regulations, or contains restrictions covering any same subject matter, that provision which is more restrictive or imposes higher standards shall control, except as otherwise expressly provided in the Deemed Approved Hotel regulations.
- C. Relationship to the Zoning Regulations. The Nonconforming Use provisions of the zoning regulations including, but not limited to, OPC Section 17.114.020, 17.114.070(A)(4), 17.114.080(A)(1) and (2), shall apply to the Deemed Approved Hotel regulations.

**17.157.040 Administrative Hearing Officer.**

There is created a Hotel Administrative Hearing Officer. The Hotel Administrative Hearing Officer shall conduct public hearings and establish findings and conditions intended to encourage and achieve compliance with the Hotel Performance Standards at Section 17.157.060 of particular

sites as appropriate. This section is not intended to restrict the powers and duties otherwise pertaining to other city officers or bodies, in the field of monitoring and ensuring the harmony of Deemed Approved Hotel activities in the city. These parties shall have the powers and duties assigned to them by the City of Oakland codes and ordinances, by the City Charter, or by valid administrative authority.

## **Article II. Definitions**

### **17.157.050 Definitions.**

As used in this chapter:

"Condition of approval" means a requirement which must be carried out by the activity in order to retain its Deemed Approved Status.

"Deemed Approved Hotel Activity" means any Hotel or Rooming House that is legal nonconforming and in existence immediately prior to the effective date of the Deemed Approved Hotel regulations. Said business(es) shall be considered a Deemed Approved Hotel Activity as long as it complies with the Deemed Approved Hotel performance standards as set forth in Section 17.157.060 of this Chapter. Said business(es) shall no longer be considered a Legal Nonconforming Activity.

"Deemed Approved Status" means the status conferred upon a Deemed Approved Hotel Activity. Deemed Approved Status replaces legal nonconforming status.

"Illegal activity" means any activity which has been finally determined to be in noncompliance with the Deemed Approved performance standards in Section 17.157.060. Such an activity shall lose its Deemed Approved Status and shall no longer be considered a Deemed Approved Hotel Activity.

"Hotel" shall mean any activity as described in OMC Section 4.24.020.

"Legal Nonconforming Hotel Activity" shall mean any Hotel or Rooming House which was a nonconforming use pursuant to the Nonconforming Use Regulations in OPC Chapter 17.114 at a time immediately prior to the effective date of the Deemed Approved Hotel regulations. Such an Activity shall be considered a Deemed Approved Activity, and shall no longer be considered a Legal Nonconforming Activity, except such activity shall be subject to those zoning regulations relating to nonconforming uses as specified in OPC Section 17.157.030(C), as of the effective date of the Deemed Approved Hotel regulations.

"Officer" means Administrative Hearing Officer, as provided for at Section 17.157.040.

"Performance standards" means regulations prescribed in the Deemed Approved Performance Standards set forth in Section 17.157.060.

"Permanent Residential Activity" shall mean any activity described in OPC Section 17.10.110.

"Rooming House" shall mean any facility described in OPC Section 17.10.690 housing Semi-Transient Residential Activities and/or Permanent Residential Activities.

"Semi-Transient Residential Activity" shall mean any activity described in OPC Section 17.10.120.

"Transient Habitation Commercial Activity" shall mean any activity described in OPC Section 17.10.440.

## **Article III. Deemed Approved Performance Standards**

**17.157.060 Performance Standards and Deemed Approved Hotel Activities.**

An activity shall retain its Deemed Approved Status only if it conforms with the provisions of Chapter 5.34 Hotel Rates and Registration Requirements; Chapter 8.03 Hotel, Motel, and Rooming House Operating Standards; Chapter 15.08 Oakland Housing Code, and any applicable provisions of this Code.

**Article IV. Deemed Approved Status Procedure****17.157.070 Purpose and applicability.**

The purpose of the provisions of this article is to: (A) provide notice of Deemed Approved Status upon Hotels and Rooming Houses that were Legal Nonconforming Activities immediately prior to the effective date of the Deemed Approved Hotel regulations; (B) prescribe the procedure for the imposition of conditions of approval upon those activities; and (C) prescribe the procedure for appealing conditions of approval or the revocation of a Deemed Approved Status.

**17.157.080 Automatic Deemed Approved Status.**

All Hotels and Rooming Houses that were Legal Nonconforming Activities immediately prior to the effective date of the Deemed Approved Hotel regulation shall automatically become Deemed Approved Hotel Activities as of the effective date of the Deemed Approved Hotel regulations and shall no longer be considered Legal Nonconforming Activities. Each such Deemed Approved Activity shall retain its Deemed Approved Status as long as it complies with the Deemed Approved performance standards at Section 17.157.070.

**17.157.090 Notification of owners of Deemed Approved Hotel Activities.**

The City shall notify the owner of each Deemed Approved Hotel Activity, and also the property owner if not the same, of the activity's Deemed Approved Status. Such notice shall be sent via certified return receipt mail; shall include a copy of the performance standards of Article III of this chapter; notification that the activity is required to comply with all these same performance standards; that a review fee is required, and the amount of such fee provided in the master fee schedule; and that the activity is required to comply with all other aspects of the Deemed Approved Hotel regulations. Should the notice be returned, then the notice shall be sent via regular U.S. Mail.

**17.157.100 Procedure for consideration - Intent.**

The provisions of Sections 17.157.100 through 17.157.160 shall outline the process by which Deemed Approved Hotel Activities are required to be reviewed.

**17.157.110 Procedure for consideration of violations to performance standards.**

As a result of an annual or bi-annual inspection pursuant to OMC Section 8.030.60(B) or upon receiving a complaint from the public, Police Department, or any other interested party that a

Deemed Approved Hotel Activity is in violation of the performance standards at Section 17.157.060, and once it is determined by the city that violations appear to be occurring, then the Deemed Approved Status of the Deemed Approved Hotel Activity in question shall be reviewed by the Administrative Hearing Officer at a public hearing. Notification of the public hearing shall be in accordance with Section 17.157.150.

The purpose of the public hearing is to receive testimony on whether the operating methods of the Deemed Approved Hotel Activity is in violation of the performance standards at Section 17.157.060, are causing undue negative impacts in the surrounding area, and/or whether the property is not being maintained in a manner to be habitable by guests or residents. At the public hearing, the Administrative Hearing Officer shall determine whether the Deemed Approved Activity conforms to the Deemed Approved Performance Standards set forth in Section 17.157.060 and to any other applicable criteria, and may continue the Deemed Approved Status for the activity in question or require such changes or impose such reasonable Conditions of Approval as are in the judgement of the Administrative Hearing Officer necessary to ensure conformity with said criteria and such conditions shall be based on the evidence before the Officer. The decision of the Officer shall be based upon information compiled by staff and testimony from the business owner and all other interested parties. New conditions of approval shall be made a part of the Deemed Approved Status and the Deemed Approved Hotel Activity shall be required to comply with these conditions. The determination of the Officer shall become final ten calendar days after the date of decision unless appealed to the City Planning Commission in accordance with Section 17.157.130.

#### **17.157.120 Procedure for consideration of violations of conditions of approval.**

In the event of a violation of any of the provisions set forth in Sections 17.157.010 through 17.157.110 of these regulations, or upon evidence that there has been a failure to comply with any prescribed condition of approval, the Officer may hold a public hearing. Notification of the public hearing shall be in accordance with Section 17.157.150.

The purpose of this public hearing is to receive testimony and determine whether violations to any conditions of approval attached to the site have occurred. The officer may add to or amend the existing conditions of approval based upon the evidence presented; or alternatively may revoke the Deemed Approved Hotel Activity's Deemed Approved Status. The determination of the Administrative Hearing Officer shall become final ten calendar days after the date of decision unless appealed to the City Planning Commission in accordance with Section 17.157.130. The decision of the City Planning Commission shall be final unless appealed to the City Council in accordance with Section 17.157.140.

#### **17.157.130 Appeal to City Planning Commission.**

Within ten calendar days after imposition of conditions of approval on a Deemed Approved Hotel Activity or the revocation of Deemed Approved Status, an appeal may be taken to the City Planning Commission by the Deemed Approved Activity owner or any other interested party. In the event the last date of appeal falls on a weekend or a holiday when city offices are closed, the next date such offices are open for business shall be the last date of appeal. Such appeal shall be made on a form prescribed by the city. The appeal shall state specifically wherein it is claimed there was an error or abuse of discretion by the Officer or wherein its decision is not supported by the evidence

in the record. The appeal shall be accompanied by such information as may be required to facilitate review. Upon receipt of the appeal and the required appeal fee in accordance with Section 17.157.160 the Secretary of the City Planning Commission shall set a date for consideration thereof. The Secretary of the City Planning Commission shall, not less than ten days prior thereto, give written notice to: the owner of the Deemed Approved Hotel Activity; the property owner; the appellant in those cases where the appellant is not the owner; the adverse party or parties, or to the attorney, spokesperson, or representative of such party or parties; other interested groups and neighborhood associations who have requested notification; and to similar groups and individuals as appropriate, of the date and place of the hearing on the appeal.

In considering the appeal, the City Planning Commission shall determine whether the Deemed Approved Hotel Activity conforms to the applicable Deemed Approved performance standards and/or conditions of approval, and may continue or revoke a Deemed Approved Status; or require such changes in the existing use or impose such reasonable conditions of approval as are, in its judgement, necessary to ensure conformity to said performance standards.

The City Planning Commission shall vote on the appeal within thirty (30) days after its first hearing of the appeal. If the Commission is unable to decide on the appeal at that meeting, it shall appear for a vote on each regular meeting of the Commission thereafter until decided. The decision of the City Planning Commission on the appeal to the conditions of approval imposed by the Administrative Hearing Officer shall be final.

**17.157.140 Appeal on the revocation of a Deemed Approved Status to the City Council.**

Within ten calendar days after the date of a decision by the City Planning Commission to revoke a Deemed Approved Status, an appeal from said decision may be taken to the City Council by any interested party. In the event the last date of appeal falls on a weekend or a holiday when city offices are closed, the next date such offices are open for business shall be the last date of appeal. Such appeal shall be made on a form prescribed by the City Planning Commission and shall be filed with the City Clerk. The appeal shall state specifically wherein it is claimed there was an error or abuse of discretion by the Commission or wherein its decision is not supported by the evidence in the record. Upon receipt of the appeal and an appeal fee in accordance with Section 17.157.160, the Council shall set the date for consideration thereof. The City Clerk shall notify the Secretary of the City Planning Commission of the receipt of said appeal and the date set for consideration thereof; and said Secretary shall, not less than ten days prior thereto, give written notice to: the owner of the Deemed Approved Hotel Activity; the property owner; the appellant in those cases where the appellant is not the owner; the adverse party or parties, or to the attorney, spokesperson, or representative of such party or parties; other interested groups and neighborhood associations who have requested notification; and to similar groups and individuals as appropriate, of the date and place of the hearing on the appeal.

In considering the appeal, the Council shall determine whether the Deemed Approved Hotel Activity conforms to the applicable Deemed Approved performance standards and/or conditions of approval, and may approve or disapprove the revocation of the Deemed Approved Status; or require such changes to the existing use or impose such reasonable conditions of approval as are, in its judgement, necessary to ensure conformity to said performance standards.

The decision of the City Council shall be made by resolution and shall be final. The City Council shall vote on the appeal within thirty (30) days after its first hearing on the appeal. If the

Council is unable to decide the appeal at that meeting, it shall appear for a vote on each regular meeting of the Council thereafter until decided.

**17.157.150 Notification of public hearing before Administrative Hearing Officer.**

The Officer shall notify the owner of each Deemed Approved Activity, and also the property owner if not the same, of the time and place of the public hearing. Such notice shall be sent via certified return receipt mail, and shall include notification that the Deemed Approved Status of the Deemed Approved Hotel Activity will be considered by the Officer. The public hearing shall be noticed by posting notices within three hundred (300) feet of the subject property; notice shall also be given by mail or delivery to all persons shown on the last available equalized assessment roll as owning real property in the city within three hundred (300) feet of the subject property. Such notices shall be given not less than ten days prior to the date set for the hearing, if such is to be held. Fees for notification shall be in accordance with Section 17.157.- and paid for by the Deemed Approved Hotel Activity in question.

- A. Notice on Site. A city-provided notice of a minimum eight and one-half (8 ½ ) by eleven (11) inches in dimension shall also be posted on the premises of the subject activity, placed in the window of the activity (if a window facing the street is not present, then the placard will be required to be posted onto the exterior of the building). All notices shall advertise the time, date, purpose and location of the public hearing for each particular site. All notices shall be given not less than ten days prior to the date set for the hearing.
- B. Notice by Mail. Notice by mail is deemed given on the date the notice is placed into the U.S. Mail system.

**17.157.160 Fee Schedule.**

Fee, and regulations pertaining to fees, including the review, notification, appeal, and reinspection of Deemed Approved Hotel Activities shall be in accordance with the city master fee scheduled.

**Article V. Enforcement Procedure**

**17.157.170 Official action.**

All officials, departments, and employees of the city vested with the authority to issue permits, certificates, or licenses shall adhere to, and require conformance with, the Deemed Approved Hotel regulations.

**17.157.180 Violations and penalties.**

- A. Infractions. Any person who violates, causes or permits another person to violate any provision of these regulations is guilty of an infraction unless otherwise provided.
- B. Separate Offenses for Each Day. Any violator shall be guilty of a separate offense for each and every day during any portion of which any violation of any provision of these regulations is committed, continued, permitted, or caused by such violator and shall be

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- punished accordingly.
- C. Any Violation a Public Nuisance. In addition to the penalties provided in this section, any use or condition caused or permitted to exist in violation of any of the provisions of this chapter shall be and is declared to be a public nuisance and may be summarily abated as such by the city *after appropriate notice and opportunity to be heard*.
- D. Injunction as Additional Remedy. Any violation of any provision of these regulations shall be and is declared to be contrary to the public interest and shall, at the discretion of the city, create a cause of action for injunctive relief.
- E. Penalties. Any person convicted of an infraction under the provisions of this section shall be punishable by a fine to the maximum permitted under state law. Any violation beyond the second conviction within a one-year period may be charged by the City Attorney or District Attorney as a misdemeanor, and the penalty for conviction shall be punishable by a fine or imprisonment to the maximum permitted under state law.
- F. Liability for Expenses. In addition to the punishment provided by law, a violator is liable for such costs, expenses, and disbursements paid or incurred by the city or any of its contractors in correction, abatement, and prosecution of the violation. Reinspection fees to ascertain compliance with previously noticed or cited violations shall be charged against the owner of the Deemed Approved Hotel Activity. Fees shall be in the amount described in Section 17.157.160 for charged reinspections. The inspection official shall give the owner or other responsible party of such affected premises a written notice showing the itemized cost of such chargeable service and requesting payment thereof. Should the bill not be paid in the required time, the charges shall be placed as a lien against the property.

**17.157.190 Enforcement.**

The city shall designate the appropriate personnel to enforce the provisions of these regulations."

Section 3. That the effective date of this ordinance shall be September 10, 1999.

IN COUNCIL, OAKLAND, CALIFORNIA, \_\_\_\_\_, 1999

**PASSED BY THE FOLLOWING VOTE:**

AYES- BRUNNER, CHANG, MILEY, NADEL, REID, RUSSO, SPEES AND PRESIDENT DE LA FUENTE

NOES-

ABSENT-

ABSTENTION-

ATTEST: \_\_\_\_\_  
CEDA FLOYD  
City Clerk and Clerk of the Council of the  
City of Oakland, California

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**PUBLIC SAFETY CMTE.**  
*4-13-99*