

Location:	2424 Webster Street (See map on reverse)
Assessor's Parcel Numbers:	008-0656-004-00 & -001-00
Proposal:	Design Review discussion for a proposed development that would include an 11-story commercial building containing approximately 162,000 square feet of office space and approximately 9,500 square feet of ground floor retail.
Applicant:	Elisse Douglass/ Signature Development Group
Owners:	2410 Webster Investors LLC
Planning Permits Required:	Regular Design Review for new construction, Major Conditional Use Permit for D-BV-1 height bonus and to extend building height into adjacent zone.
General Plan:	Central Business District
Zoning:	D-BV-1 (BVDSP Retail Priority Site 3C) D-BV-2
Environmental Determination:	Determination Pending
Historic Status:	2428 Webster Street – OCHS Rating: Ec3 2406 Webster Street – OCHS Rating: C3
City Council District:	3
For further information:	Contact case planner Pete Vollmann at (510) 238-6167 or by email: pvollmann@oaklandca.gov .

SUMMARY

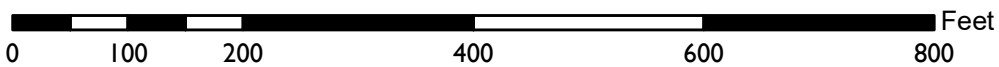
Signature Development Group has filed an application with the Bureau of Planning to develop an 11-story commercial building that would include approximately 162,000 square feet of office space above approximately 9,500 square feet of ground floor retail. The site is located within the Broadway Valdez District Specific Plan (BVDSP) and is requesting a height bonus to exceed the 45-foot base height through providing the required minimum retail square footage for the retail priority site 3C.

Staff requests that the Design Review Committee receive public testimony and provide comments on the proposed design.

PROPERTY DESCRIPTION

The subject property consists of three parcels comprised of 26,450 square feet located on Webster Street, just east of Broadway on the block bounded by Webster, 26th, Valdez, and 24th Streets. The site contains the majority of the street frontage along Webster Street, with a small “dogleg” portion that fronts onto 24th Street. Existing uses in the project vicinity are primarily commercial and multi-family residential.

CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN19148
Applicant: Elisse Douglass/ Signature Development Group
Address: 2424 Webster Street
Zone: D-BV-1 (BVDSP Retail Priority Site 3C), D-BV-2
Height Areas: 85 ft, 45*/3C

PROJECT DESCRIPTION

The Project would demolish the existing buildings on the project site and would construct a 5- to 11-story commercial building with a floor area of 162,720 square feet. The proposed building would have base height of 84 feet across the project site with a tower on the northern part of the site reaching a height of 164 feet. The ground floor and mezzanine level would provide for lobby access and approximately 9,500 square feet of retail fronting onto Webster Street. The upper levels of the building would contain approximately 162,000 square feet of office.

Parking will be provided in a basement level to accommodate 173 off-street parking spaces with access off of Webster Street. The off-street loading berths will be provided in the “dogleg” portion of the site accessed off of 24th Street.

ZONING ANALYSIS

The subject property is located within the D-BV-, Broadway Valdez District Retail Priority Site Commercial-1 Zone and the D-BV-2, Broadway Valdez District Commercial-2 Zone. The intent of the D-BV-1 Zone is to establish Retail Priority Sites in the Broadway Valdez District Specific Plan Area in order to encourage a core of comparison goods retail with a combination of small-, medium-, and large-scale retail stores. The intent of the D-BV-2 Zone is to create, maintain, and enhance areas of the Broadway Valdez District Specific Plan Area for ground-level retail, restaurants, entertainment, and art activities with pedestrian-oriented, active storefront uses. Upper-story spaces are intended to be available for a wide range of Office and Residential Activities. The site is located within both the Height Zone 45* and 85. The Height Zone 45* allows for a permitted height of 45 feet and a commercial FAR of 2.5, but allows an increase in height of up to 200 feet and an FAR of 8.0 if the minimum retail requirement is met for the Retail Priority Site. The Height area 85 allows for a maximum height of 85 feet with an FAR of 4.5. The applicant is requesting a Conditional Use Permit to extend the 200 foot height limit 30 feet into the 85 foot height area as allowed pursuant to Planning Code Section 17.154.060C.

Commercial Intensity

The proposed development site would allow the following commercial intensity based upon the Height Area that it is located within as described in the table below.

Height Zone	Lot Area	Commercial FAR	Max Floor Area	Proposed
45*/200 (retail bonus)	12,500	2.5/8.0	31,250/ 100,000	--
85	13,950	4.5	62,775	--
TOTAL	26,450	--	94,025/ 162,775	162,720

DESIGN REVIEW

Staff requests that the Design Review Committee review the proposed development project and provide comments and/or design recommendations to the applicant and staff prior to the proposal moving forward to the Planning Commission.

The proposed design consists of two distinctly separate building masses with an 11-story tower and a lower five-story element to the east of the tower. The ground floor of the proposed building draws its design aesthetic from the surrounding Broadway Auto Row showrooms with the masonry façade as well as the height and rhythm of the storefront windows. The five-story element of the building shares this architectural building form with the pattern of the upper story windows and is clad in fiber cement panels while the 11 story tower varies by incorporating glass window walls that step in an out floor by floor to create visual interest to the building. The 11-story portion of the building is integrated into the five-story portion by carrying the visibly projecting floor plate lines from the tower across into a section of the five story mass.

Staff has the following comments and recommendations on the proposed design:

Ground Floor and Five Story Mass

Staff feels that the ground floor of the proposal fits in well with the surrounding area with both the older Auto Row Showrooms as well as the new mixed use buildings in the area that have been developed since the adoption of the Broadway Valdez Specific Plan. The portion of the building that projects up to five stories also complements the area with the window pattern and exterior materials. Staff does have concerns about the rooftop projection from the roof deck that extends out from the façade toward Webster Street as it has the feeling of being top heavy and tacked on to the building.

Eleven Story Building Mass

While the design of the proposed 11 story tower has an interesting design concept with the alternating floor plates that project and recede, they result in a very horizontal building façade. The Broadway Valdez District Design Guidelines (Guideline 41) recommends that building elevations contain visual breaks in the massing, in approximately 25-50 foot sections, in order to break down the horizontal planes of building facades. Staff recommends that the applicant look into ways that they can still achieve the design aesthetic with the alternating floor plates while incorporating a vertical break along the façade to break down the visual mass of the tower.

Staff also recommends that the applicant look into adding a more defined top to the building either through a well designed parapet that can add to the prominence of the top floor (as well as screen the rooftop mechanical equipment), or look into using a design feature that pulls the the top two floors into a similar building form to enhance the visual top of the building.

RECOMMENDATION

Staff recommends that the Committee review the proposed project for appropriate site and building design considerations and provide direction to staff and the project applicant.

Prepared by:



PETERSON Z. VOLLMANN
Planner IV

Approved:



CATHERINE PAYNE
Acting Development Planning Manager

Attachments:

- A. Project Plans



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PROJECT TEAM

OWNER:
SIGNATURE DEVELOPMENT GROUP
2335 BROADWAY STE. 200
OAKLAND, CA 94612
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CIVIL:
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GREEN BUILDING:
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2007 BUCHANAN STREET #1
SAN FRANCISCO, CA
CONTACT: PAUL CORREA
(650) 269-3470
PCORREA@CPG-CONSULTANTS.COM

PROJECT INFORMATION

CBC CONSTRUCTION TYPE: TYPE I, SPRINKLERED (HIGH RISE)

CBC OCCUPANCY: B/M (OFFICE/RETAIL)

BUILDING HT. NORTH END: 164' / 12 STORIES

BUILDING HT. SOUTH END: 84' / 6 STORIES

PROJECT DATA

FLOOR	USE	FLOOR AREA*	ROOF DECK
B	PARKING	2,186 sf	0 sf
1	RETAIL/LOBBY/SERVICE	12,565 sf	0 sf
2	UTILITY MEZZANINE	2,202 sf	0 sf
3	OFFICE	19,130 sf	4,095 sf
4	OFFICE	19,130 sf	0 sf
5	OFFICE	19,130 sf	0 sf
6	OFFICE	18,615 sf	215 sf
7	OFFICE	11,762 sf	7,260 sf
8	OFFICE	11,600 sf	0 sf
9	OFFICE	11,600 sf	0 sf
10	OFFICE	11,600 sf	0 sf
11	OFFICE	11,600 sf	0 sf
12	OFFICE	11,600 sf	
TOTAL SQ. FT.		162,720 sf	11,570 sf
MAXIMUM ALLOWABLE FLOOR AREA		162,775 sf	



	REQ'D CAR PARKING (STALLS/SQ.FT.)**	REQ'D CAR PARKING STALLS	REQ'D LONG-TERM BIKE PARKING (STALLS/SQ.FT.)****	REQ'D LONG-TERM BIKE PARKING	REQ'D SHORT-TERM BIKE PARKING (STALLS/SQ.FT.)*** *	REQ'D SHORT-TERM BIKE PARKING STALLS	REQ'D RECYCLING SPACE (CU.FT./SQ.FT.)	REQ'D RECYCLING SPACE (CU.FT.)	REQ'D 12'X33' LOADING STALLS***	
TOTAL RETAIL (GROUND FLOOR):	10,056 SF	1/600	17 STALLS	1/8,000	1 BIKES	1/2,000	5 BIKES	2/1,000	20 CU.FT.	0 STALLS
OFFICE (FLOORS B-2) = 1,209 SF	146,976 SF	1/1,000	147 STALLS	1/8,000	18 BIKES	1/15,000	10 BIKES	2/1,000	294 CU.FT.	2 STALLS
OFFICE (FLOORS 3-12) = 145,767 SF										
◇ TOTAL REQUIRED:			156 STALLS	TOTAL REQUIRED:	19 BIKES	TOTAL REQUIRED:	15 BIKES	TOTAL REQUIRED:	314 CU.FT.	2 STALLS
TOTAL PROVIDED:			173 STALLS	TOTAL PROVIDED:	48 BIKES	TOTAL PROVIDED:	35 BIKES	TOTAL PROVIDED:	432 (16 CU.YD.)	2 STALLS

*FLOOR AREA IS CALCULATED PER OAKLAND ZONING CODE "FLOOR AREA" DEFINITION AND EXCLUDES CAR & BIKE PARKING, TRASH, ROOF DECKS, DRIVEWAYS, LOADING AND SERVICE AREAS.

**PER ZONING CODE 17.116.080

***PER ZONING CODE 17.116.140

****PER ZONING CODE 17.117.110

◇ PARKING COUNT IS REDUCED BY 8 STALLS PER OAKLAND ZONING CODE 17.117.050. $147 + 17 = 164 * 95\% = 156$ STALLS. 8 CAR PARKING STALLS * 6 EXTRA BIKE PARKING STALLS/CAR PARKING STALL = 48 ADD'L BIKE PARKING STALLS (28 LONG TERM & 20 SHORT TERM)

ZONING INFORMATION

PARCEL NOS.:	008-0672-01900, 008-0672-01800 & 008-0672-01401
PROJECT ADDRESS:	2424 WEBSTER STREET
COMBINED SITE AREA:	26,450 SF
ZONE:	MIXED: D-BV-1, D-BV-2, RETAIL PRIORITY SITE 3C (SEE PARCEL/ZONING PLAN)
COMBINED FAR:	100,000 SF + 62,775 SF = 162,775 SF (SEE PARCEL/ZONING PLAN)
SETBACKS:	SIDE & REAR: 0'; FRONT: 0'-5" (PER TABLE 17.101C.03)
MIN. GROUND FLOOR HEIGHT:	15'-0" (PER TABLE 17.101C.03) ACTUAL GROUND FLOOR HEIGHT: 20' (SEE A1.2)
MIN. GROUND FLOOR TRANSPARENCY:	55% (PER TABLE 17.101C.03)
CBC CONSTRUCTION TYPE:	TYPE I, SPRINKLERED (HIGH RISE)
CBC OCCUPANCY:	B/M (OFFICE/RETAIL)

RETAIL PRIORITY ZONE CALCULATION

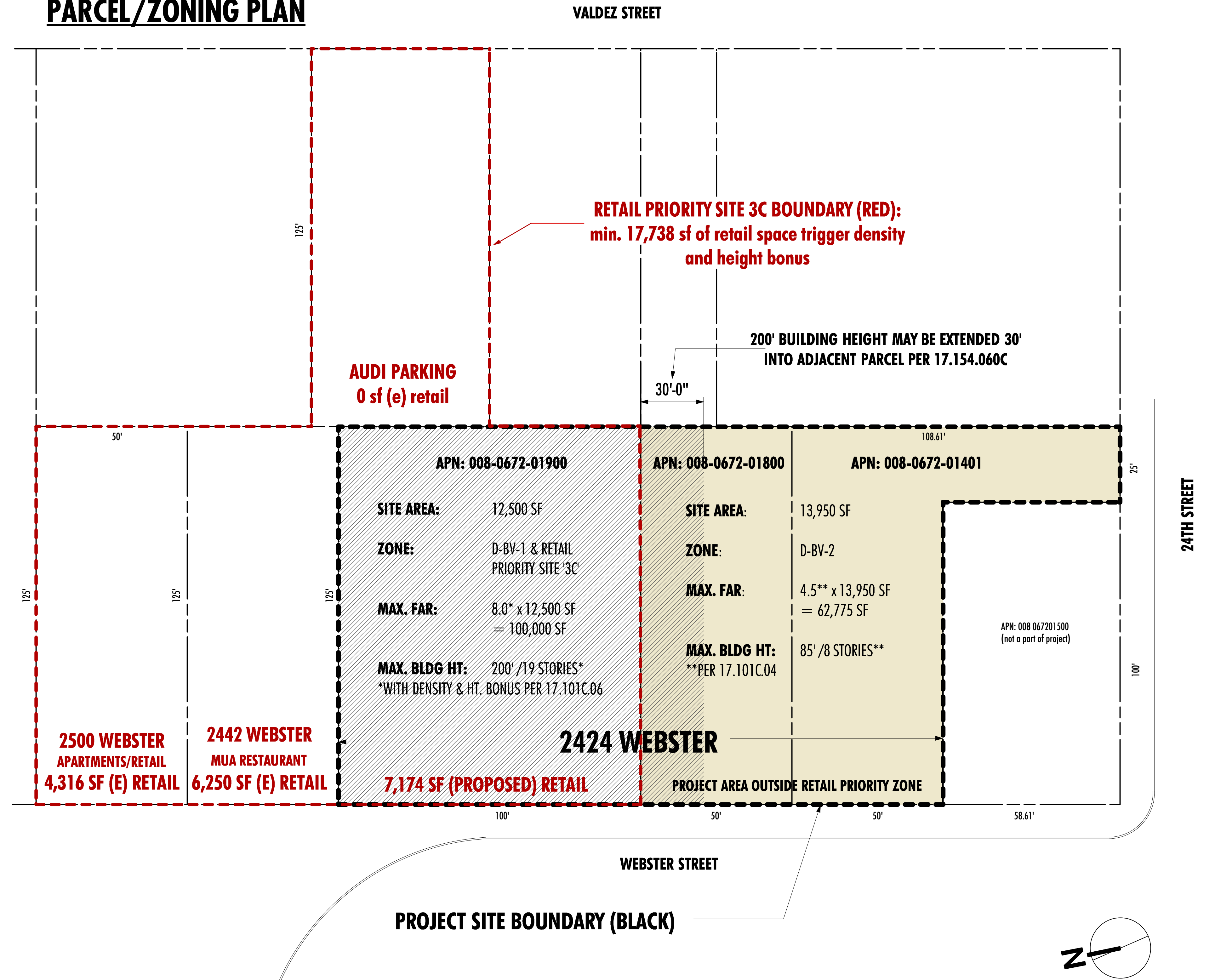
OAKLAND ZONING CODE ALLOWS INCREASE TO 200' HEIGHT AND 8.0 F.A.R. WHEN RETAIL MINIMUM AREA IS MET. WITHIN PRIORITY ZONE 3C, PER TABLE 17.101C.05, 17,738 SF MINIMUM RETAIL MUST BE PROVIDED WITHIN THE ENTIRE RETAIL PRIORITY ZONE.

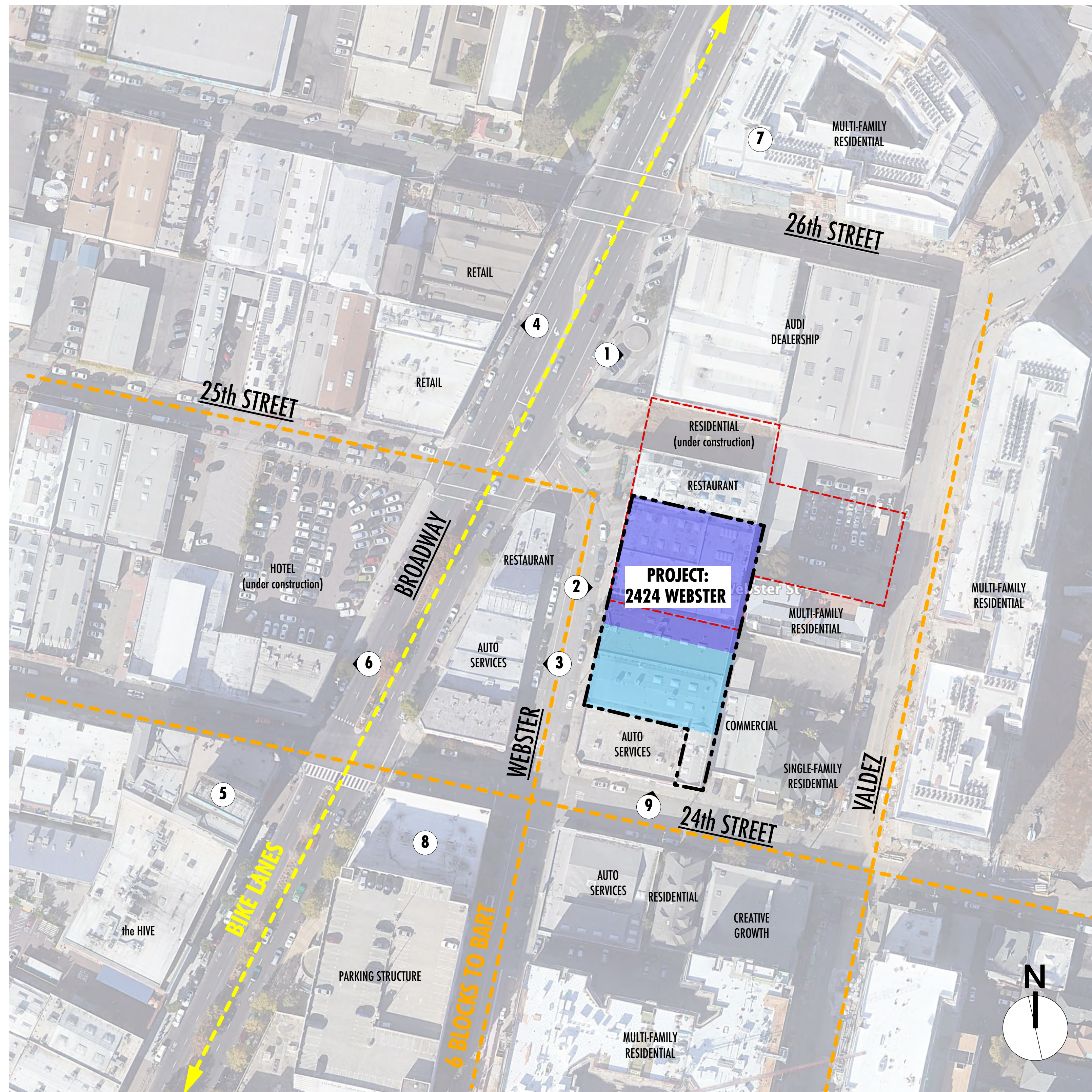
MINIMUM RETAIL SF REQUIRED: 17,738 SF

2500 WEBSTER:	GROUND FLOOR RETAIL:	3386 SF
	MEZZANINE/2ND FL. RETAIL:	930 SF
2442 WEBSTER (MUA):	GROUND FLOOR RETAIL:	6250 SF
2424 WEBSTER (PROJECT):	GROUND FLOOR RETAIL:	7172 SF
AUDI PARKING LOT:	GROUND FLOOR RETAIL:	0 SF

TOTAL RETAIL SF PROVIDED: 17,740 SF > 17,738 SF

PARCEL/ZONING PLAN





LEGEND

- PROPOSED 85' HEIGHT
- PROPOSED 150' HEIGHT
- RETAIL PRIORITY SITE '3C' BOUNDARY
- PROJECT PROPERTY LINE
- PEDESTRIAN-ORIENTED CIRCULATION
- BIKE LANES
- # # NEIGHBORING BUILDINGS - SEE SHEETS A1.2, A1.3 & A1.4



1 2500 BLOCK: WEBSTER STREET

SITE



2 2400 BLOCK: WEBSTER STREET



3 2401 BLOCK: WEBSTER STREET



4 2501 BLOCK: BROADWAY



5 2355 BROADWAY



6 2401 BROADWAY



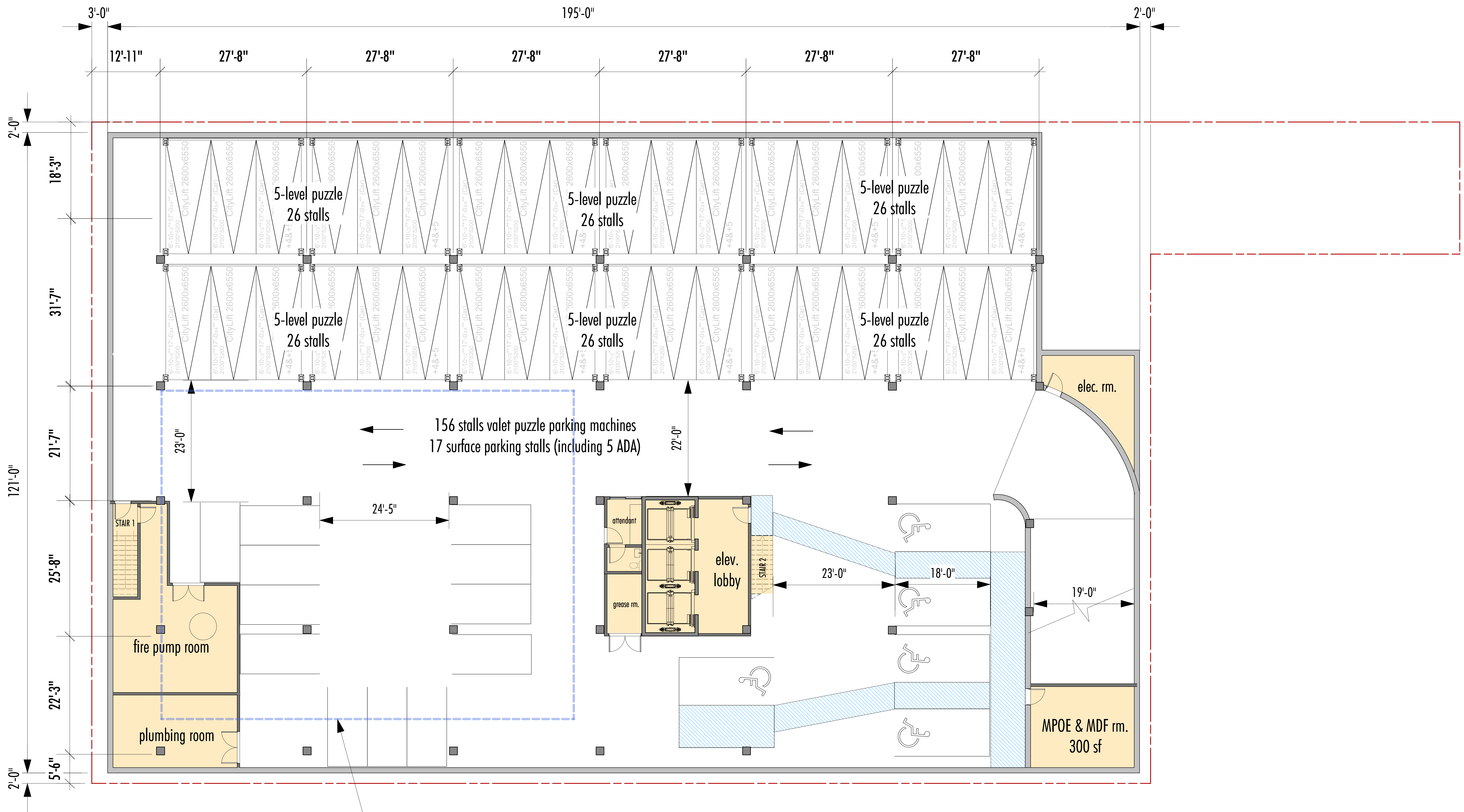
7 26TH ST & BROADWAY: NE CORNER



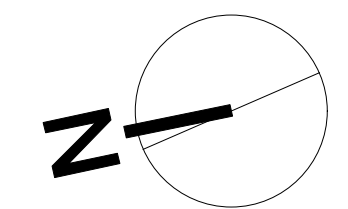
8 24TH ST & WEBSTER: SW CORNER



9 300 BLOCK: 24TH STREET



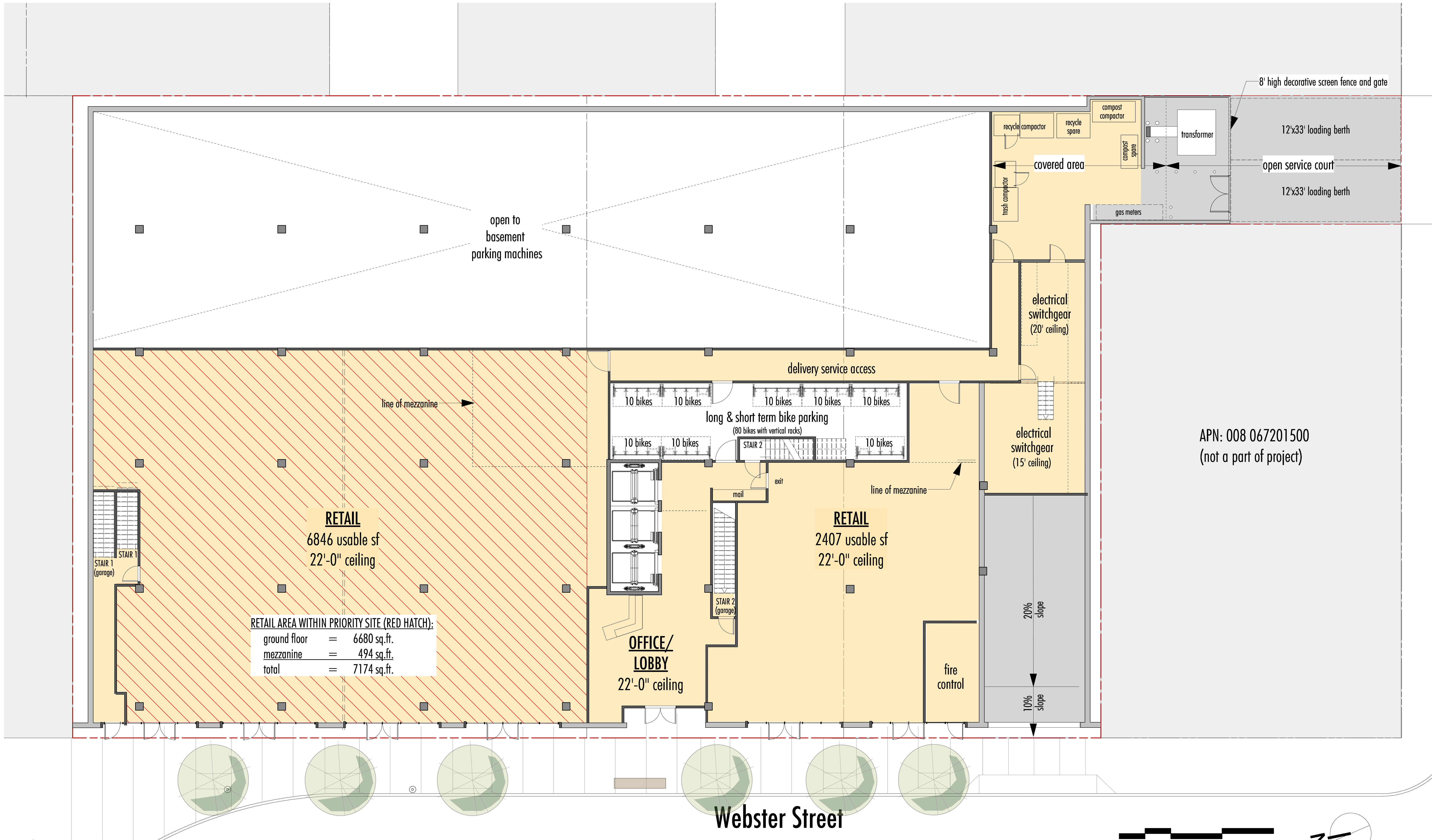
fire water tank 7' below garage floor
± 32,750 cu. ft.

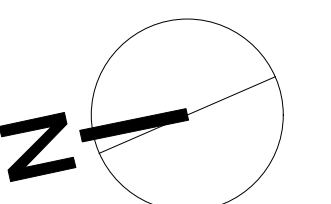
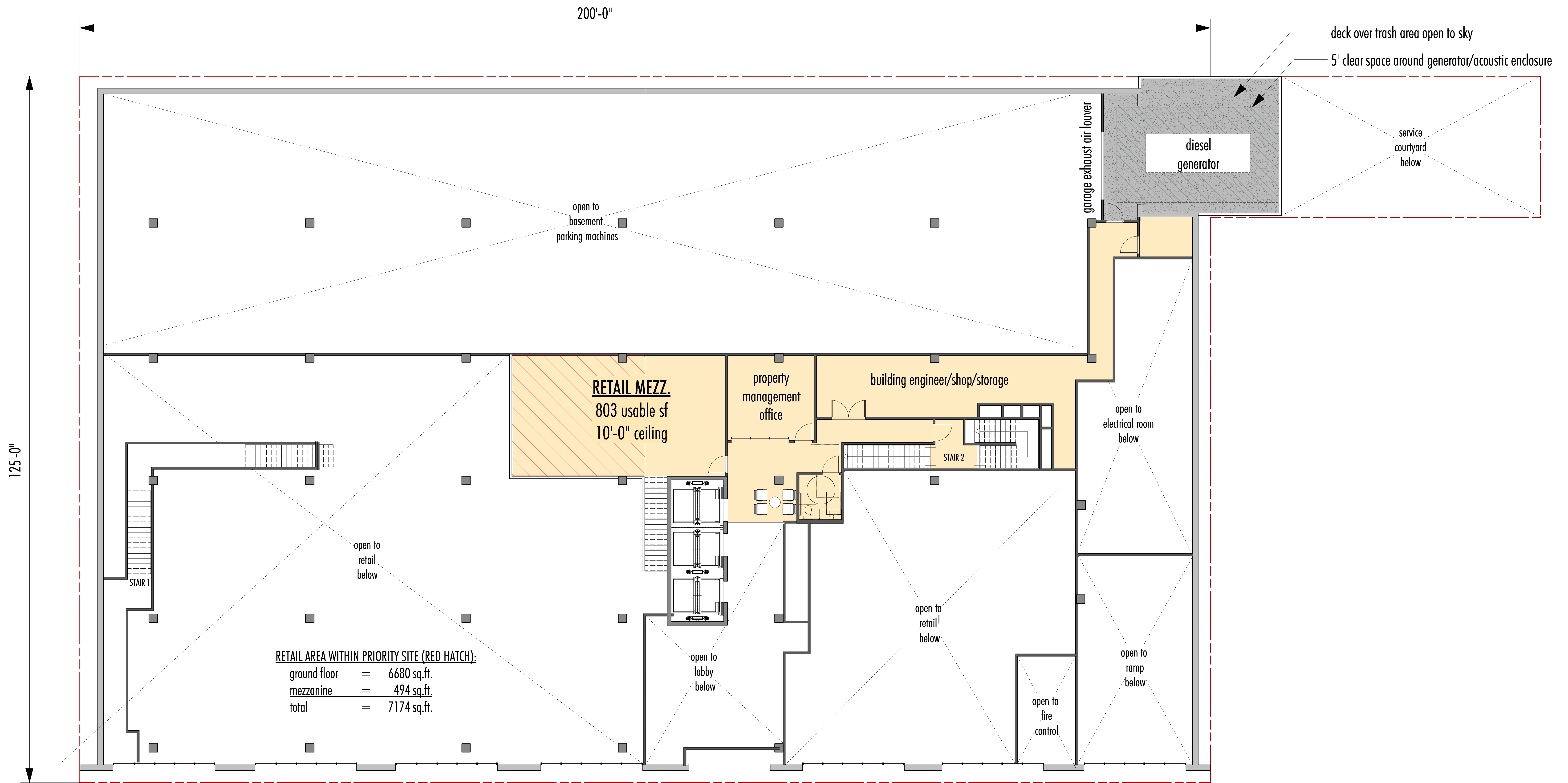


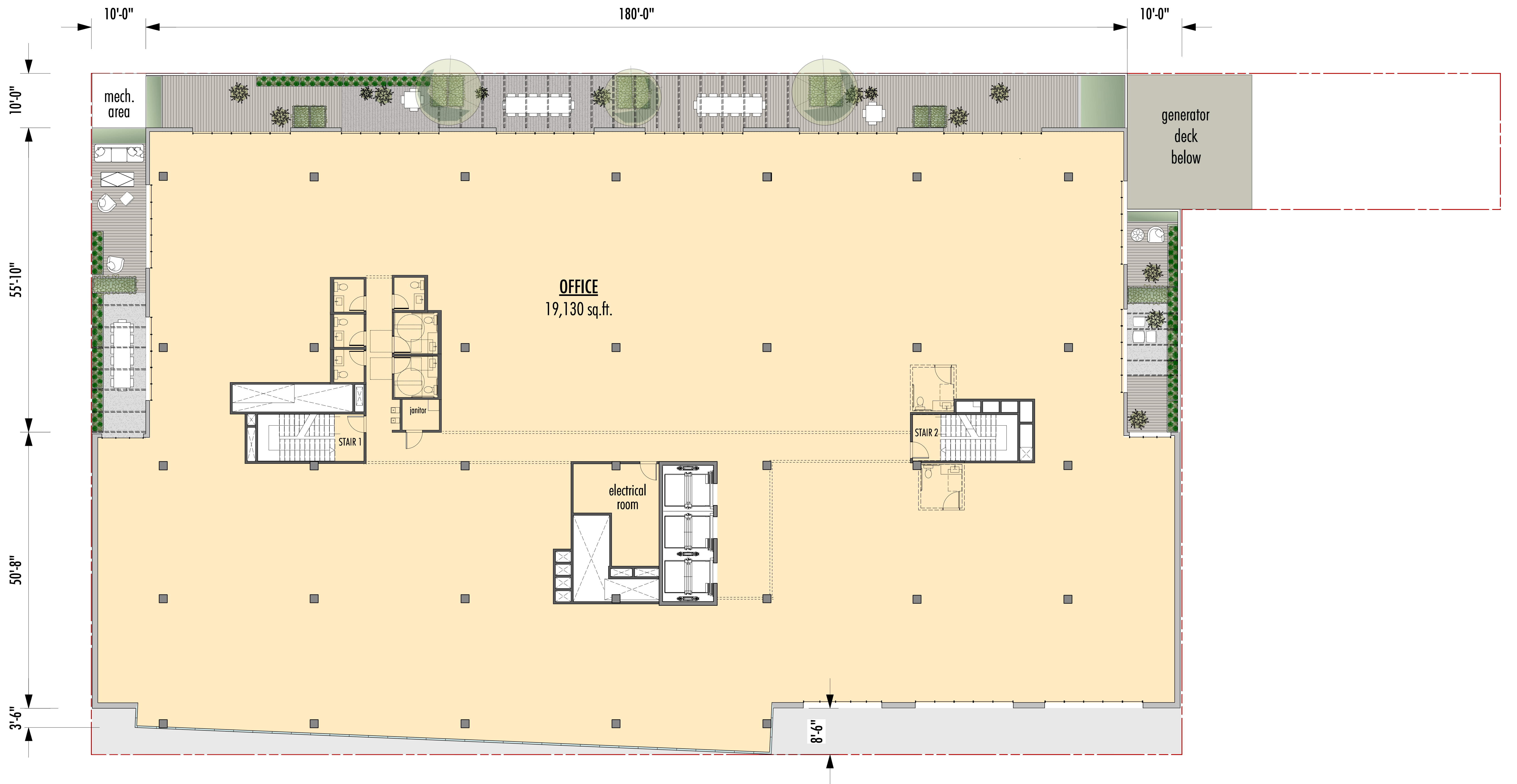
2424 Webster

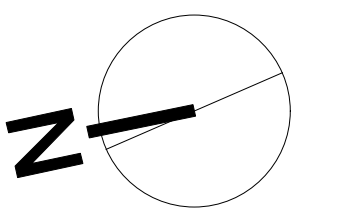
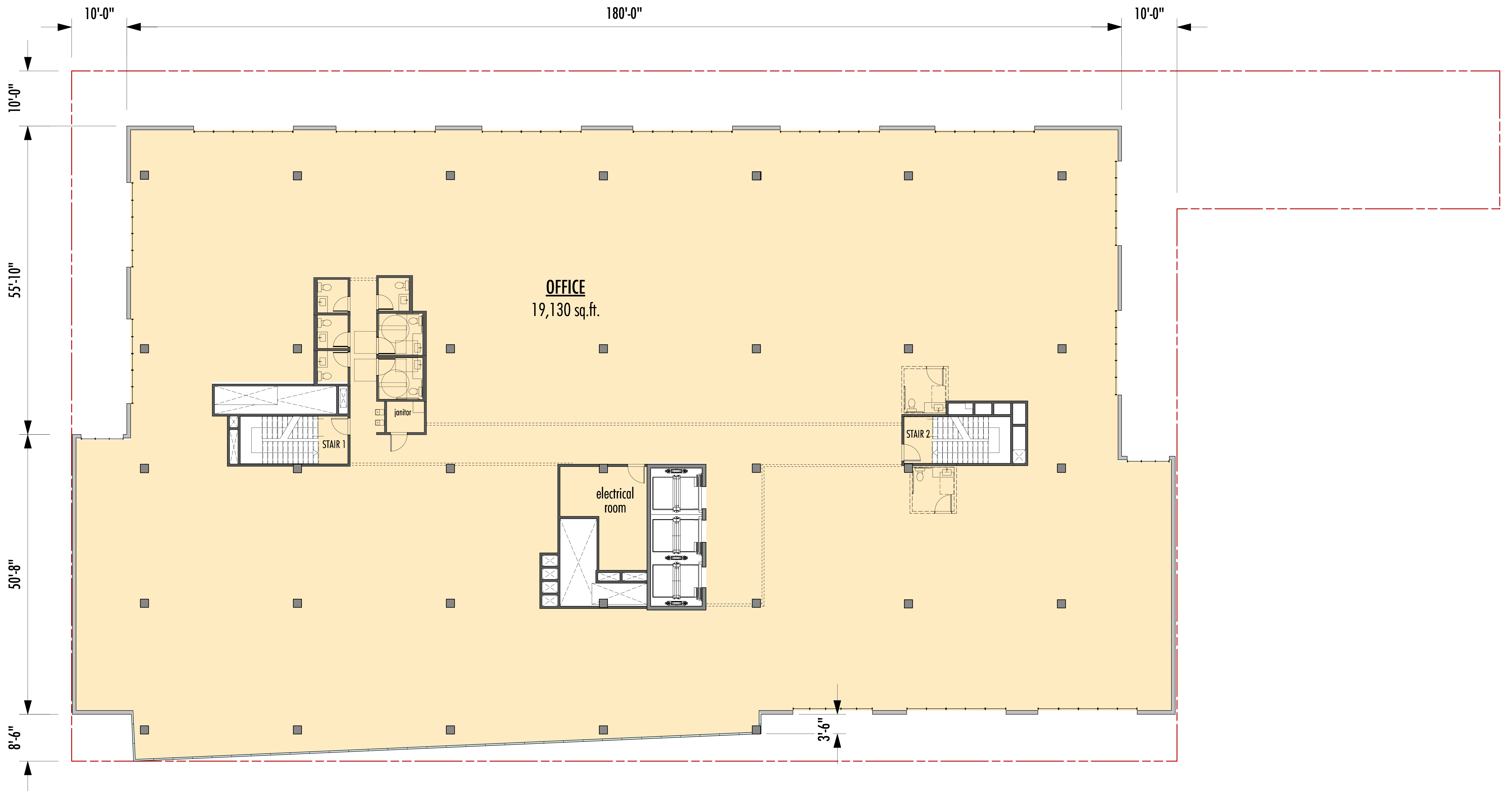
BASEMENT FLOOR PLAN
04/10/20

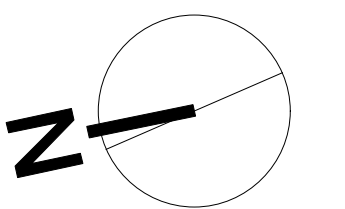
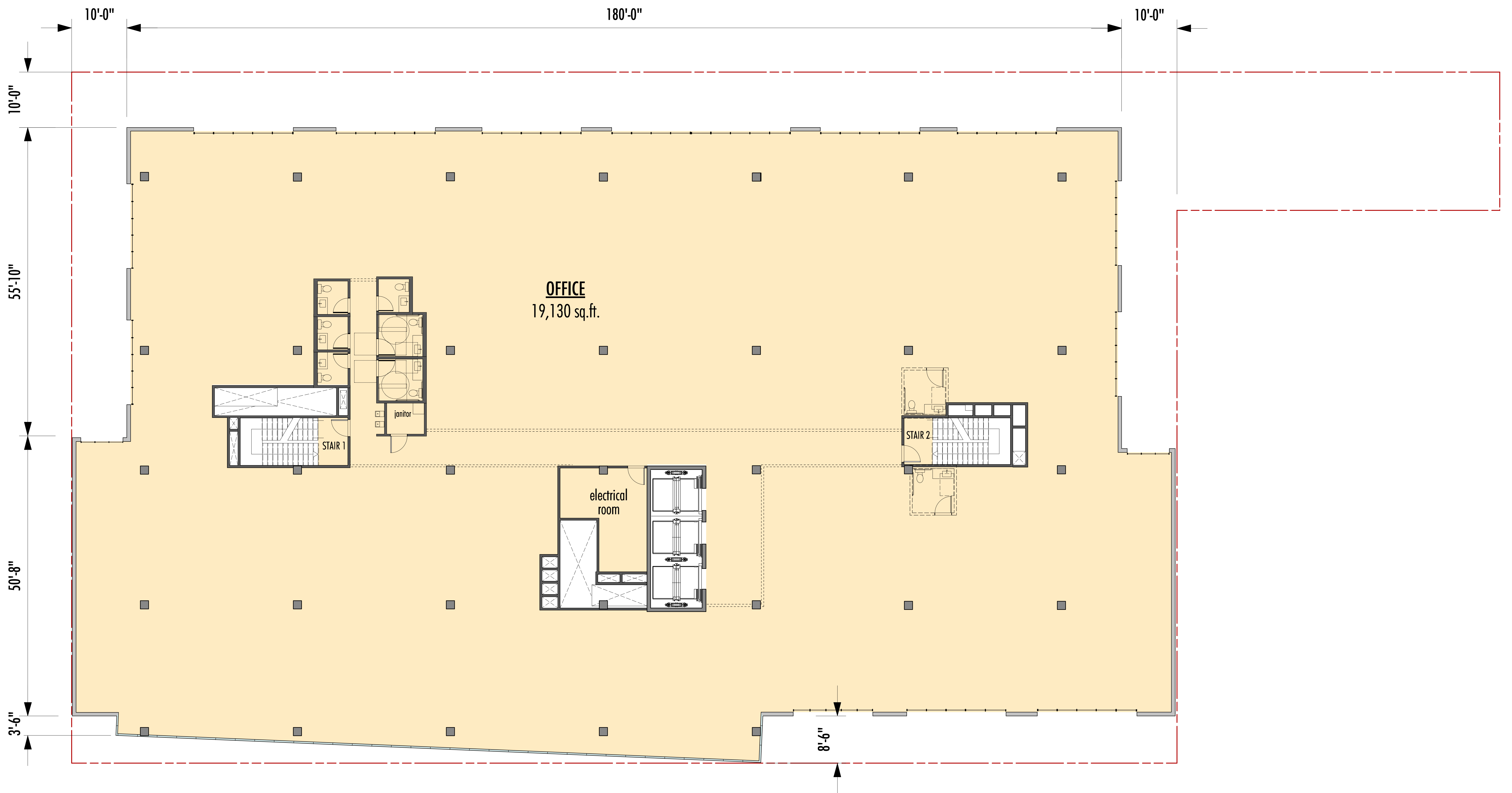
A2.0

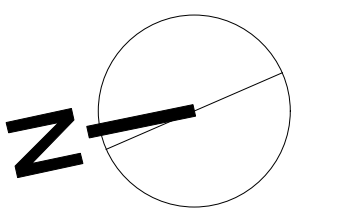
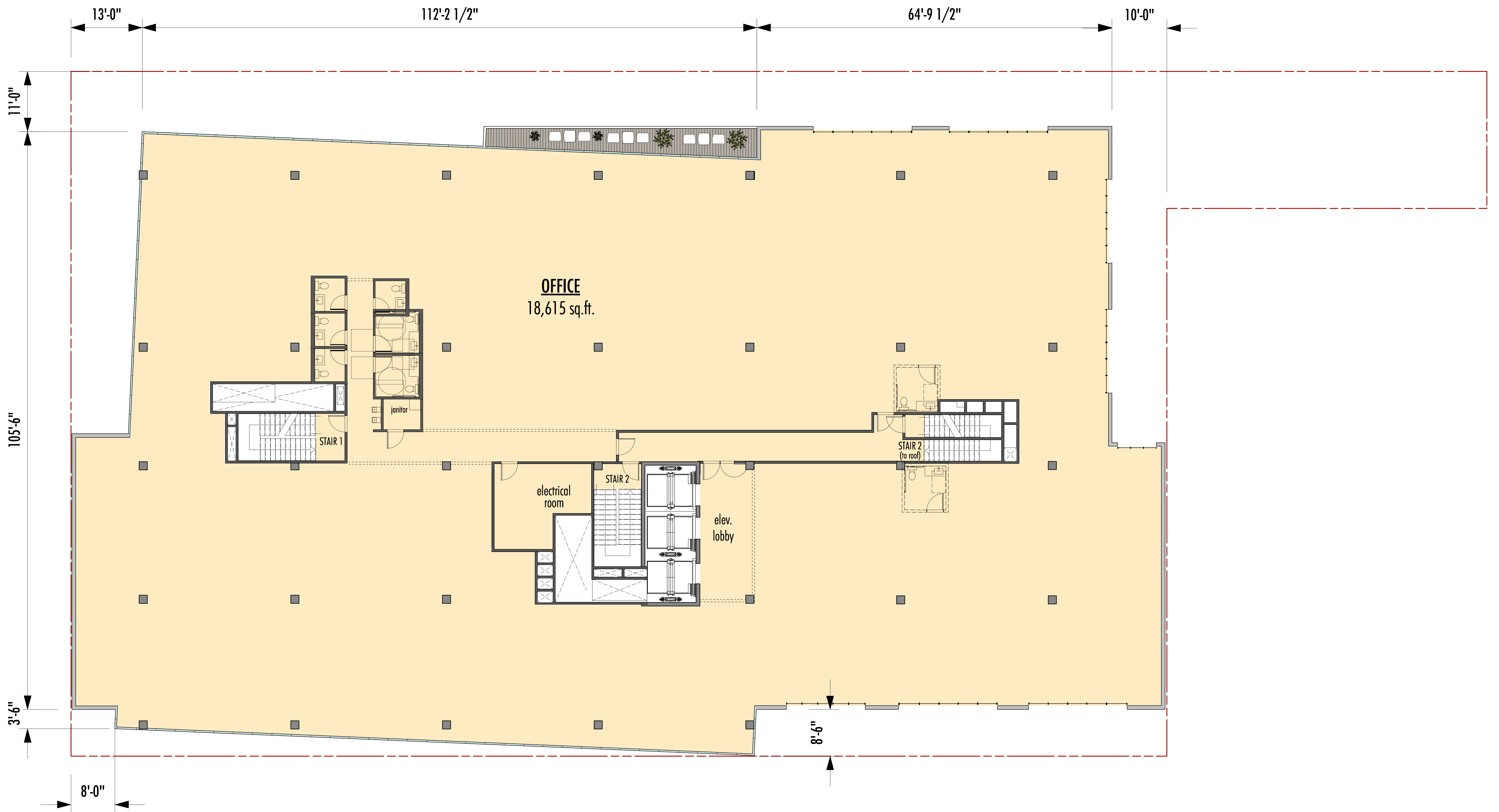


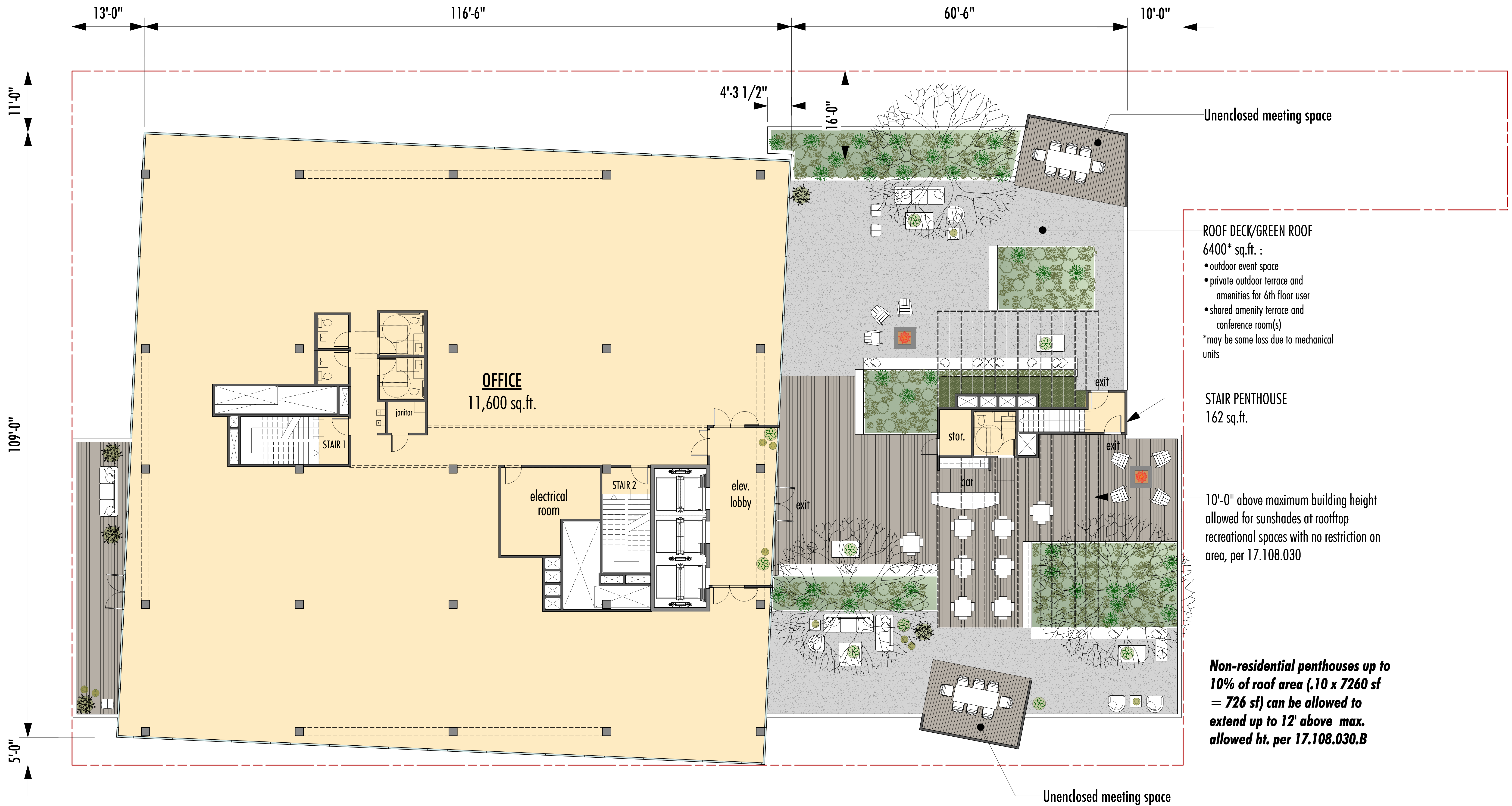


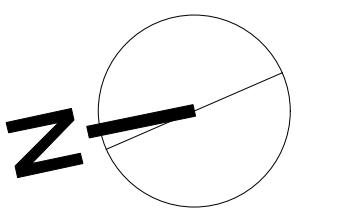
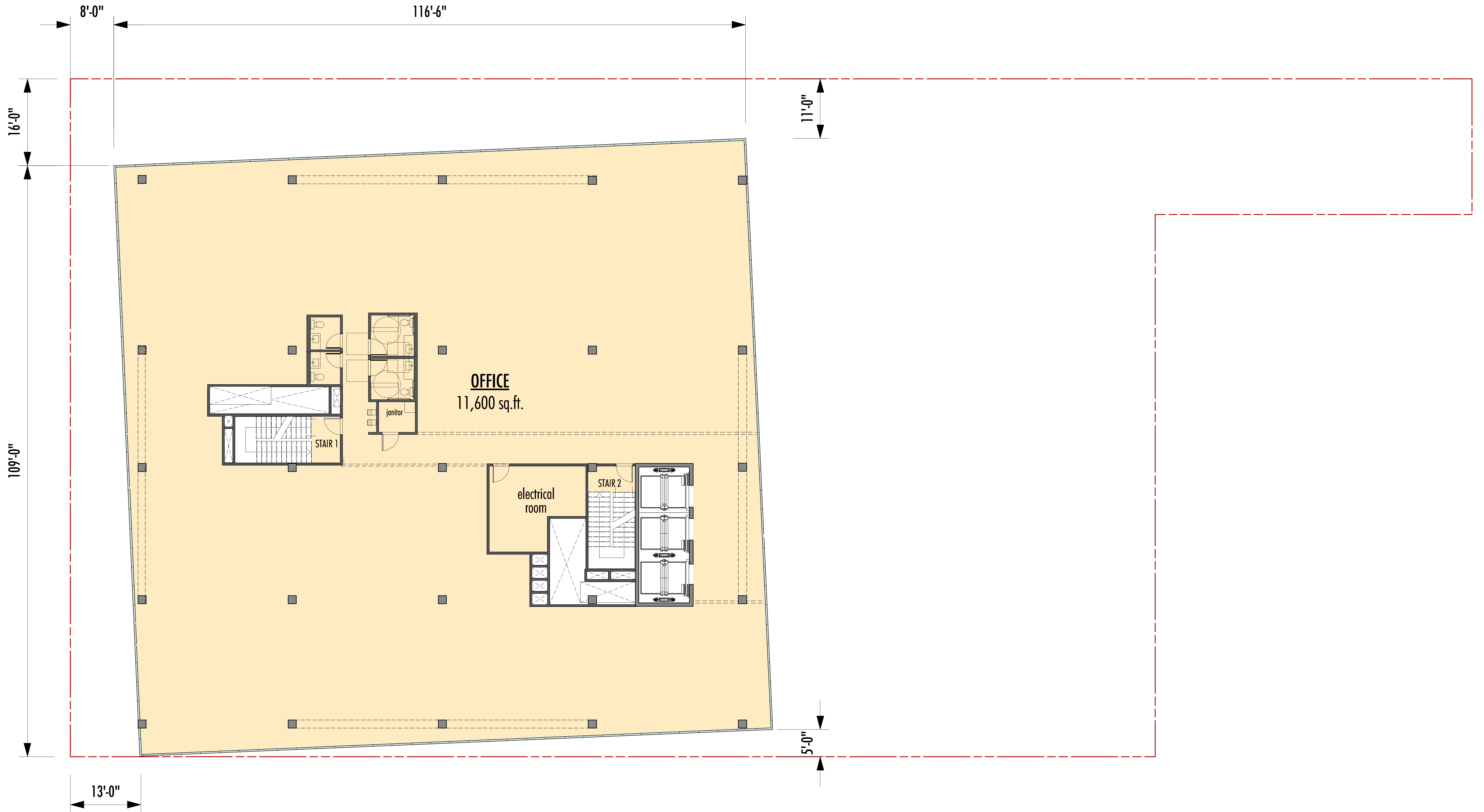


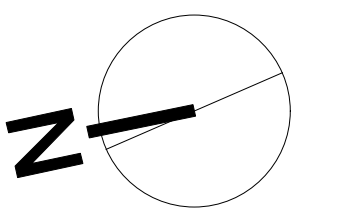
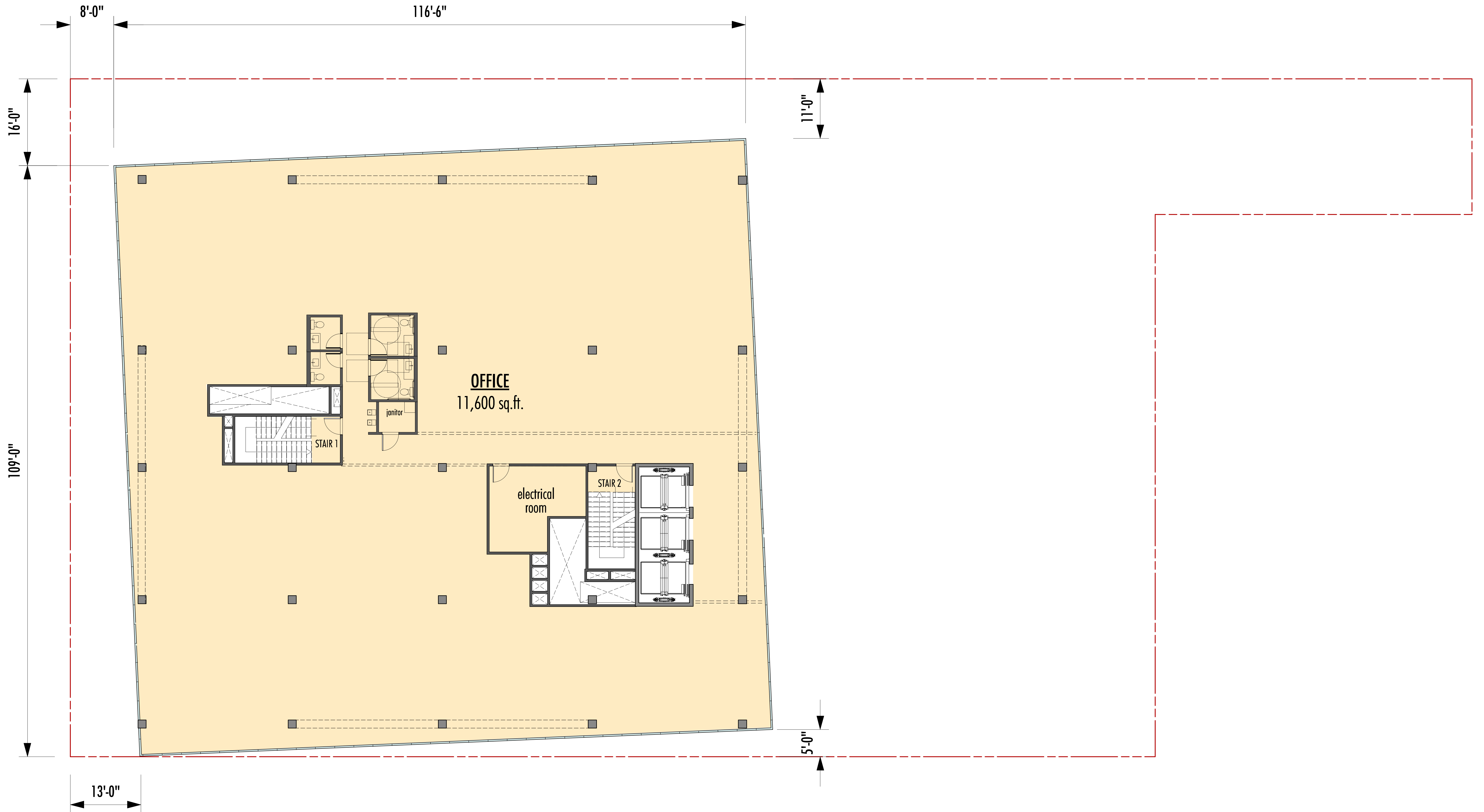


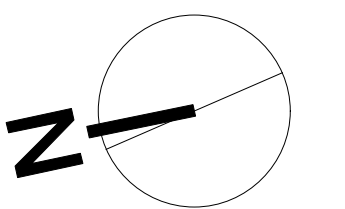
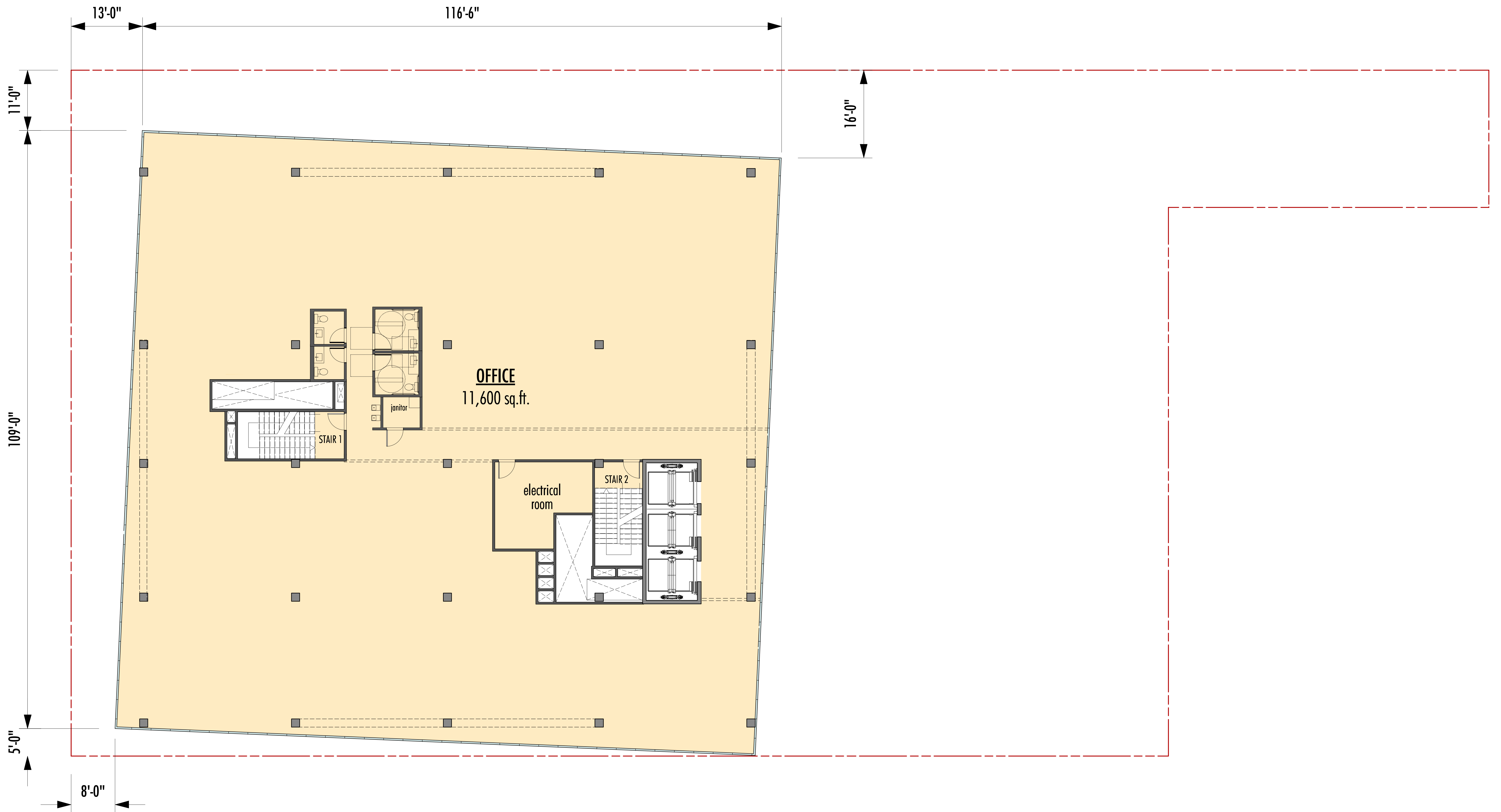


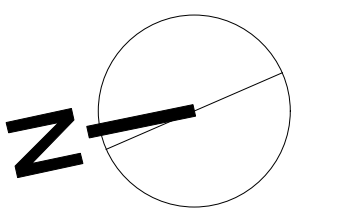
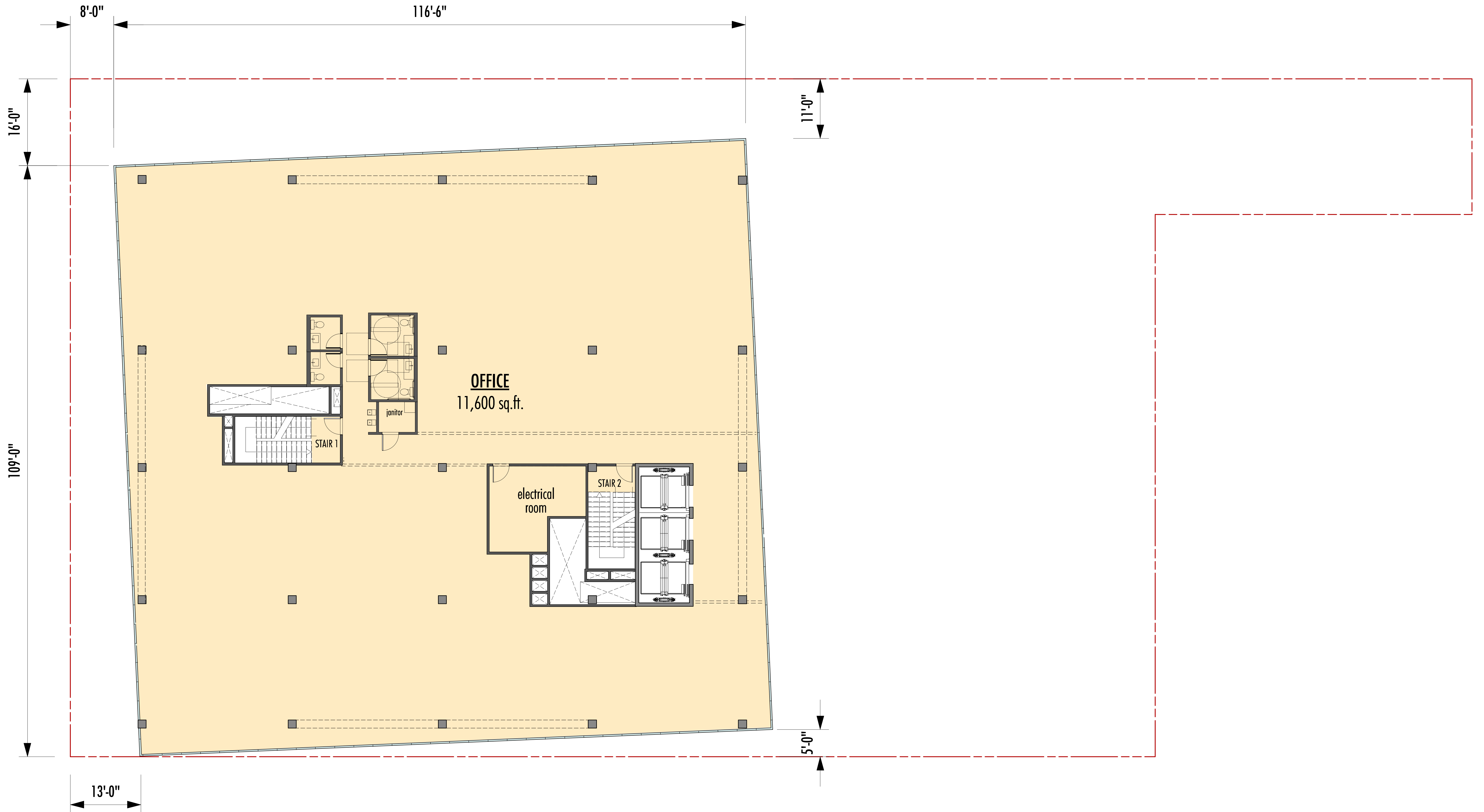


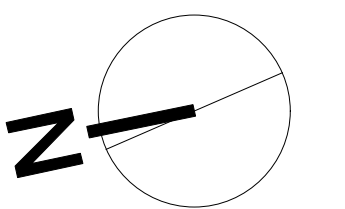
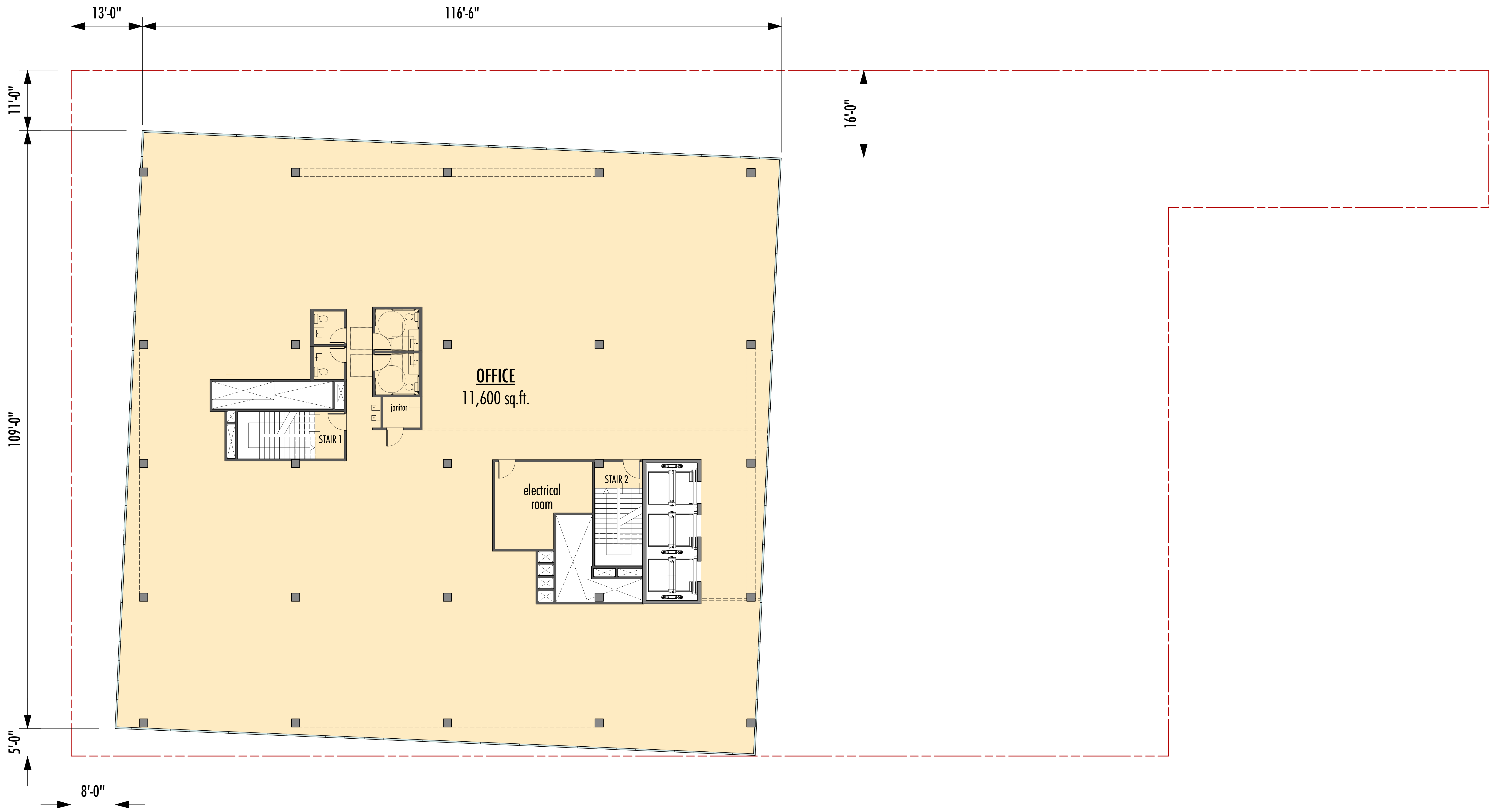
















WEBSTER STREET
FROM BROADWAY LOOKING SOUTHEAST



WEBSTER STREET
GROUND FLOOR RETAIL



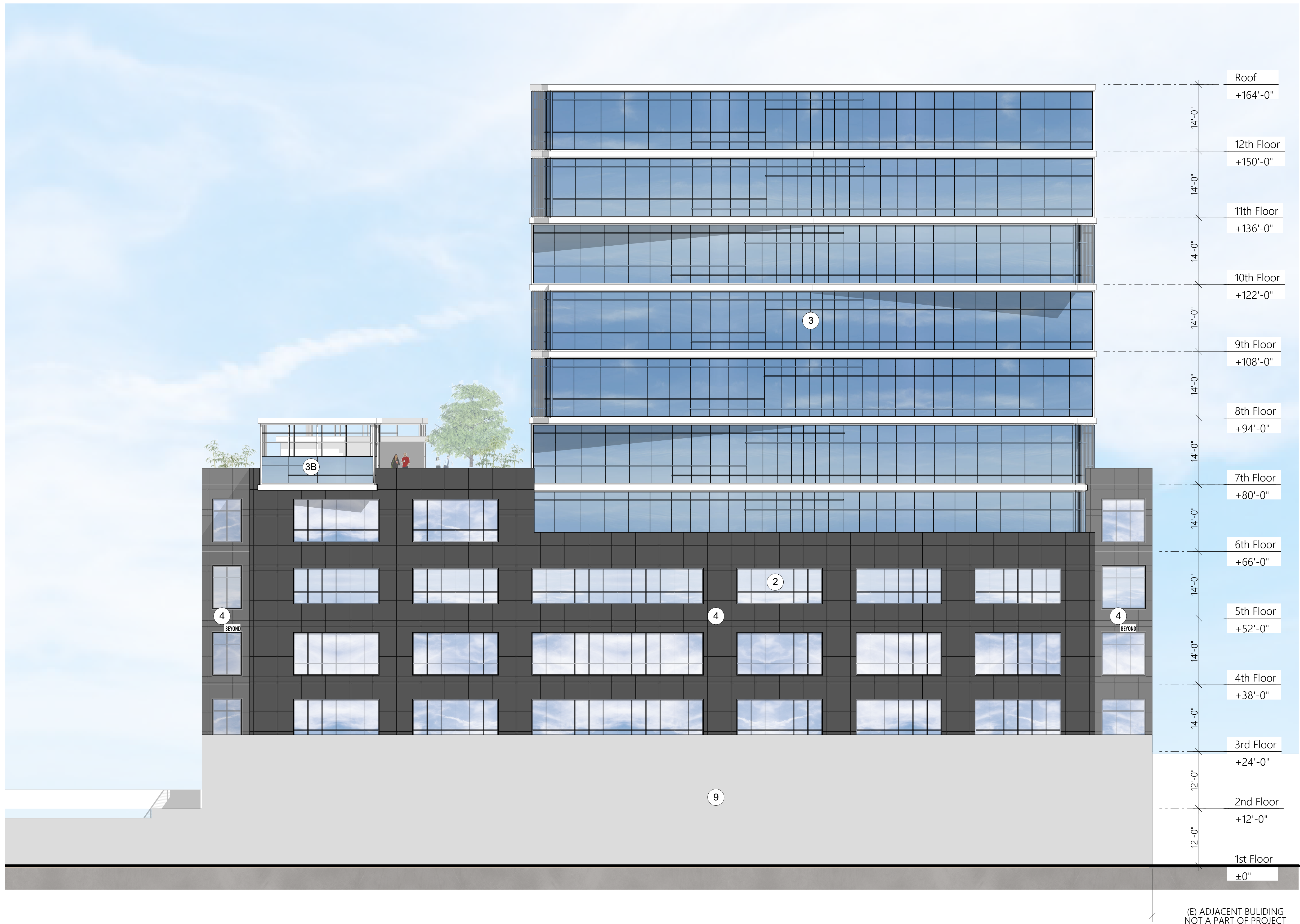
ROOF DECK



WEBSTER STREET
FROM BROADWAY LOOKING NORTHEAST





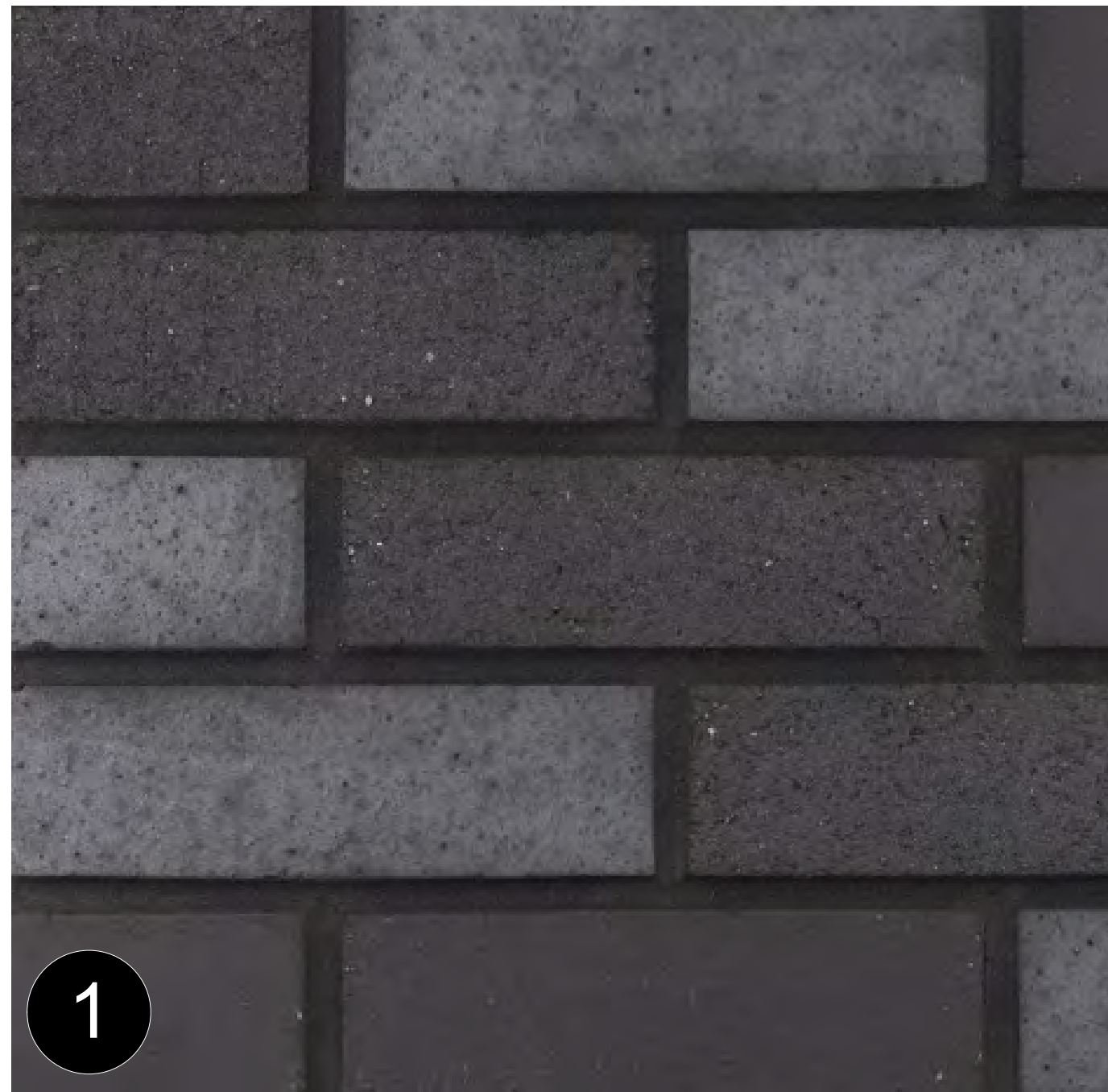


2424 Webster

EXTERIOR ELEVATION: EAST
04/10/20

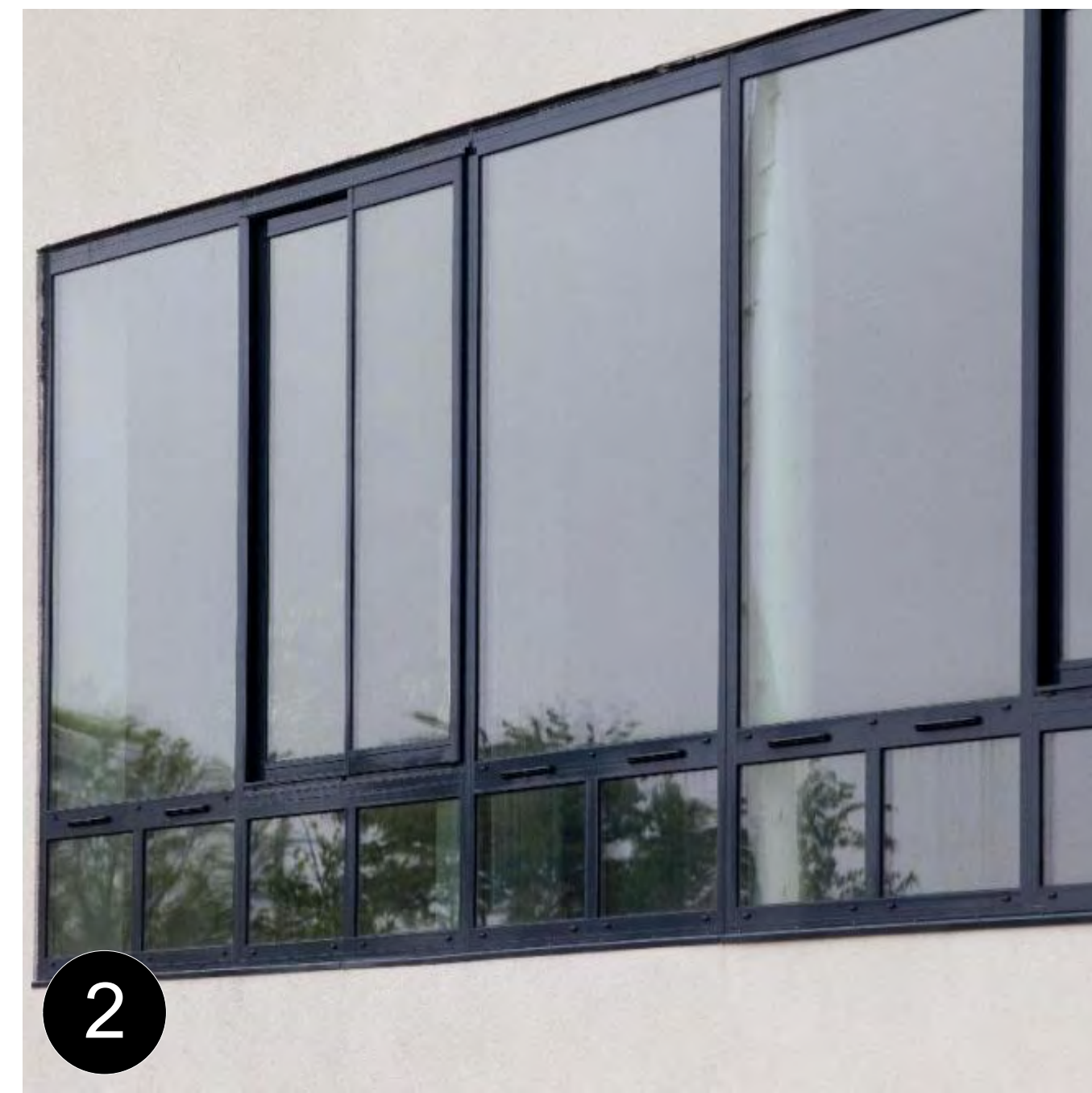
A3.5





1

DARK GREY BRICK



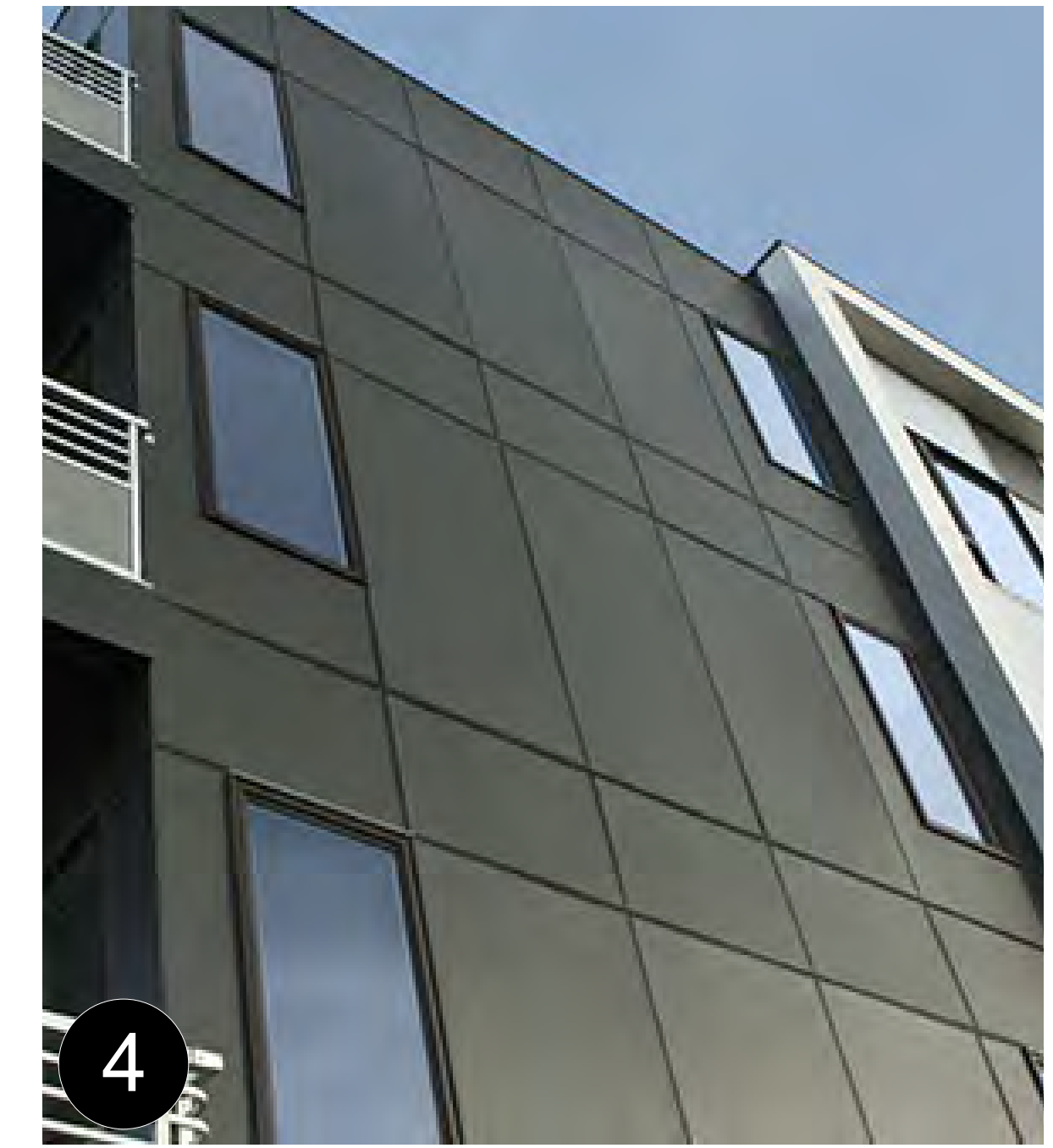
2

BLACK ANODIZED ALUMINUM WINDOWS
AT BRICK BUILDING



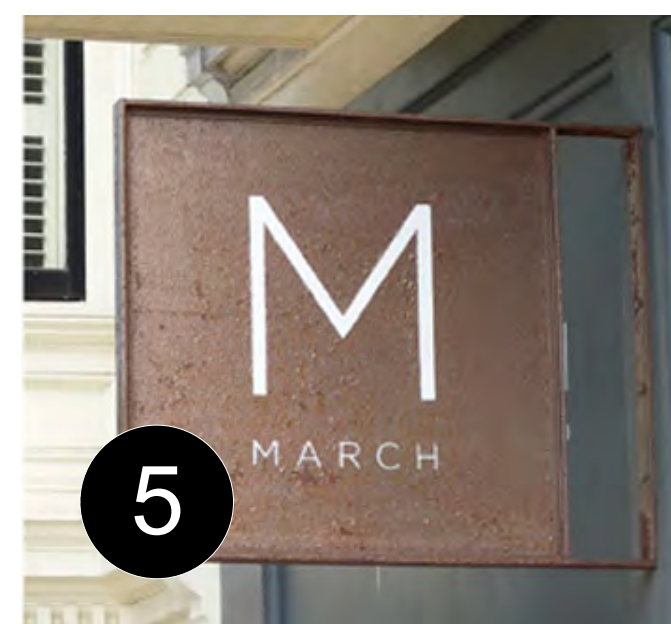
3 3B

BLUE-TINTED GLASS STOREFRONT W/
WHITE ALUMINUM MULLIONS &
FASCIA/PANELS/TRIM;
(3B = 48" HIGH GLASS GUARDRAIL)



4

FIBER CEMENT PANELS, SMOOTH FINISH:
BM #1547 "DRAGON'S BREATH"



5

BLADE SIGN -
WOOD & METAL



6

EXTERIOR LIGHTING -
KICHLER "1-LIGHT SEASIDE"
& "HARVEST RIDGE"



7

BLACK METAL MESH OVERHEAD DOOR



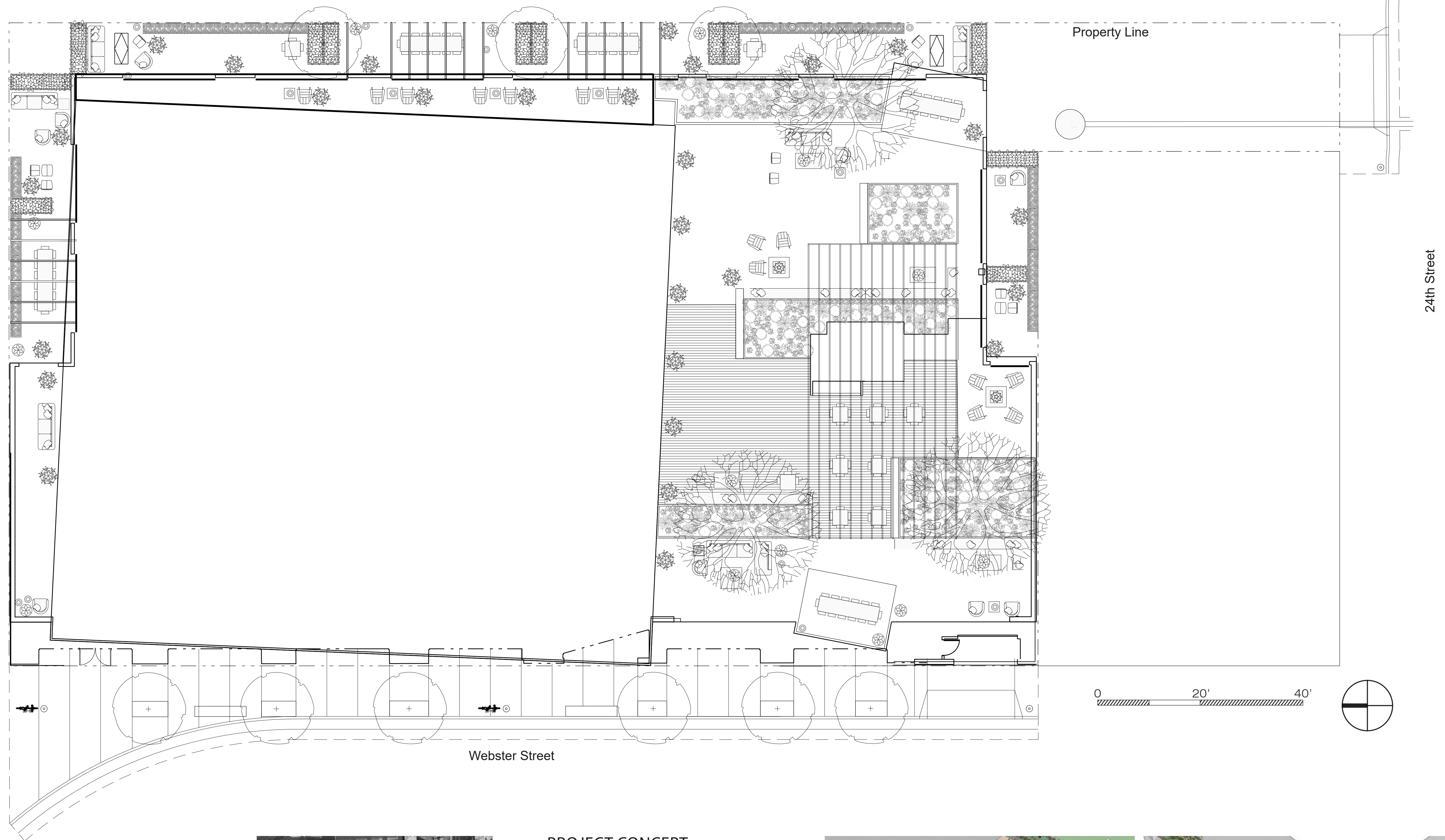
8

ARTISTIC METAL PANEL FENCE W/
SERVICE DOOR



9

CONCRETE



PROJECT CONTEXT

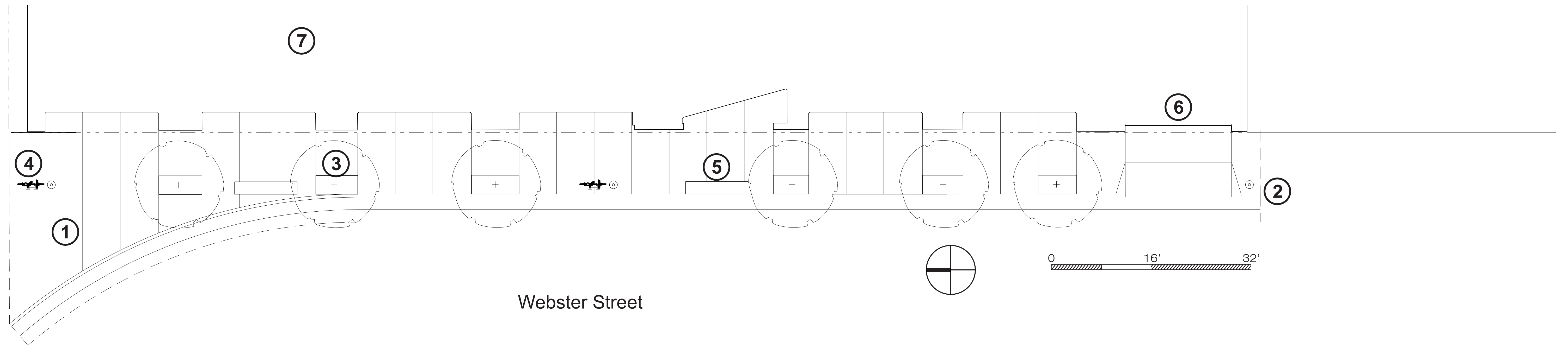
PROJECT CONCEPT:
 A SERIES OF ROOF TERRACES
 MAXIMIZES THE CONNECTION OF
 INTERIOR OFFICE ENVIRONMENTS
 WITH OUTDOOR SPACES. OUTDOOR
 WORKING, SOCIALIZING, AND
 RELAXATION ARE CONSIDERED
 AS INTEGRAL ELEMENTS FOR THE
 NEW OFFICE. GROUND FLOOR
 CONNECTIONS TO THE CITY ARE
 GENEROUS, STRAIGHTFORWARD,
 AND DESIGNED TO AUGMENT
 THE GROUND FLOOR RETAIL
 EXPERIENCE.



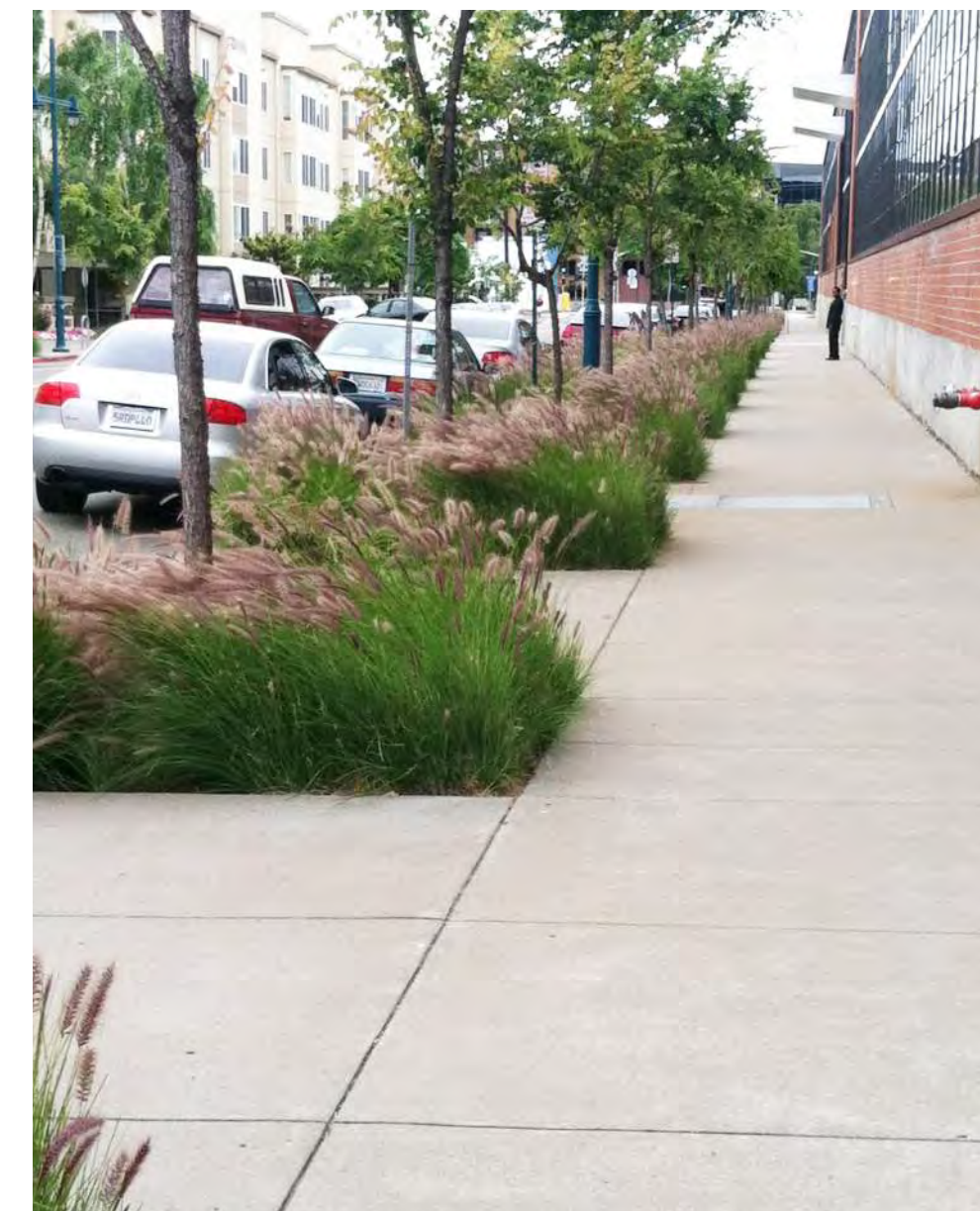
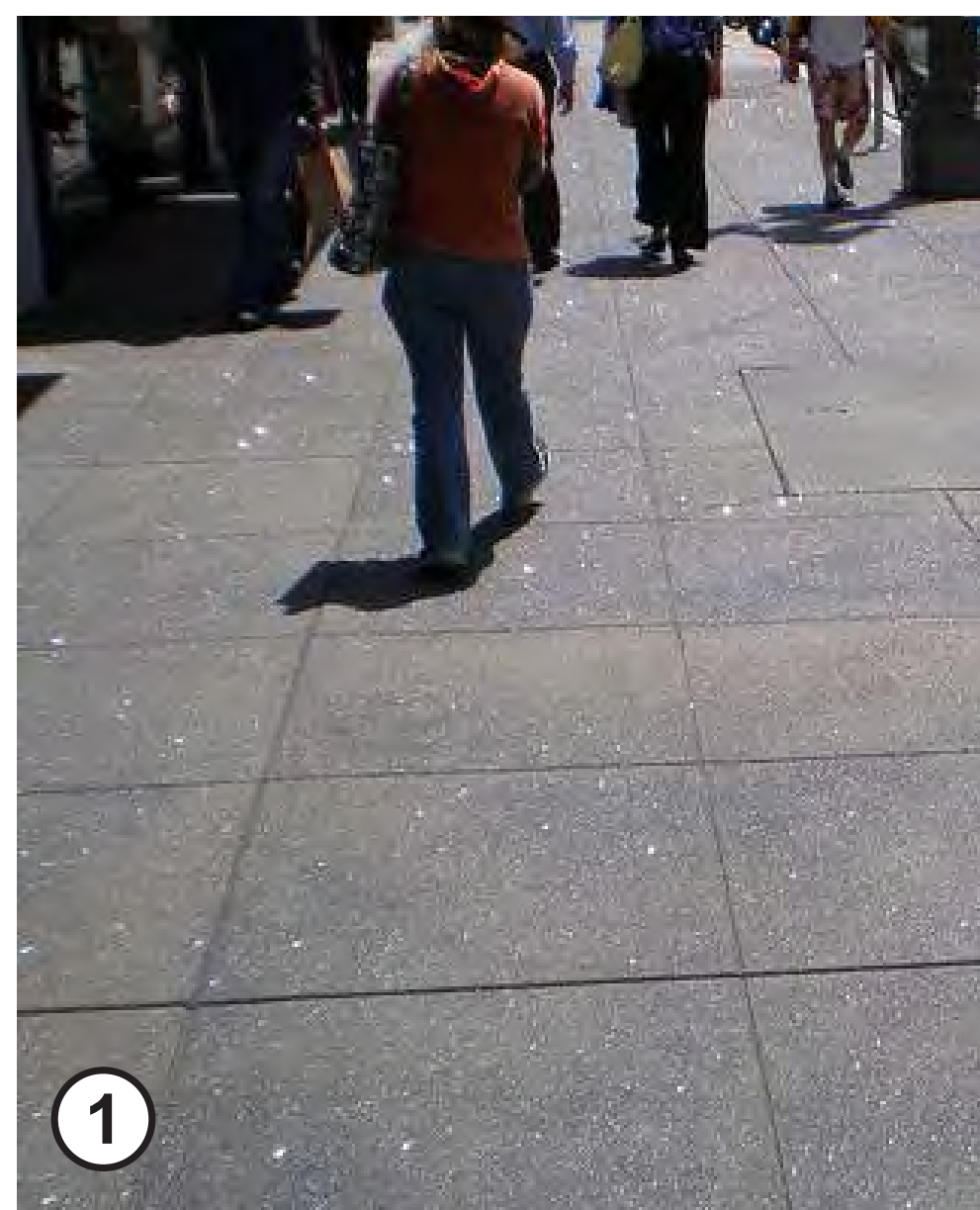
AERIAL - 7TH FLOOR

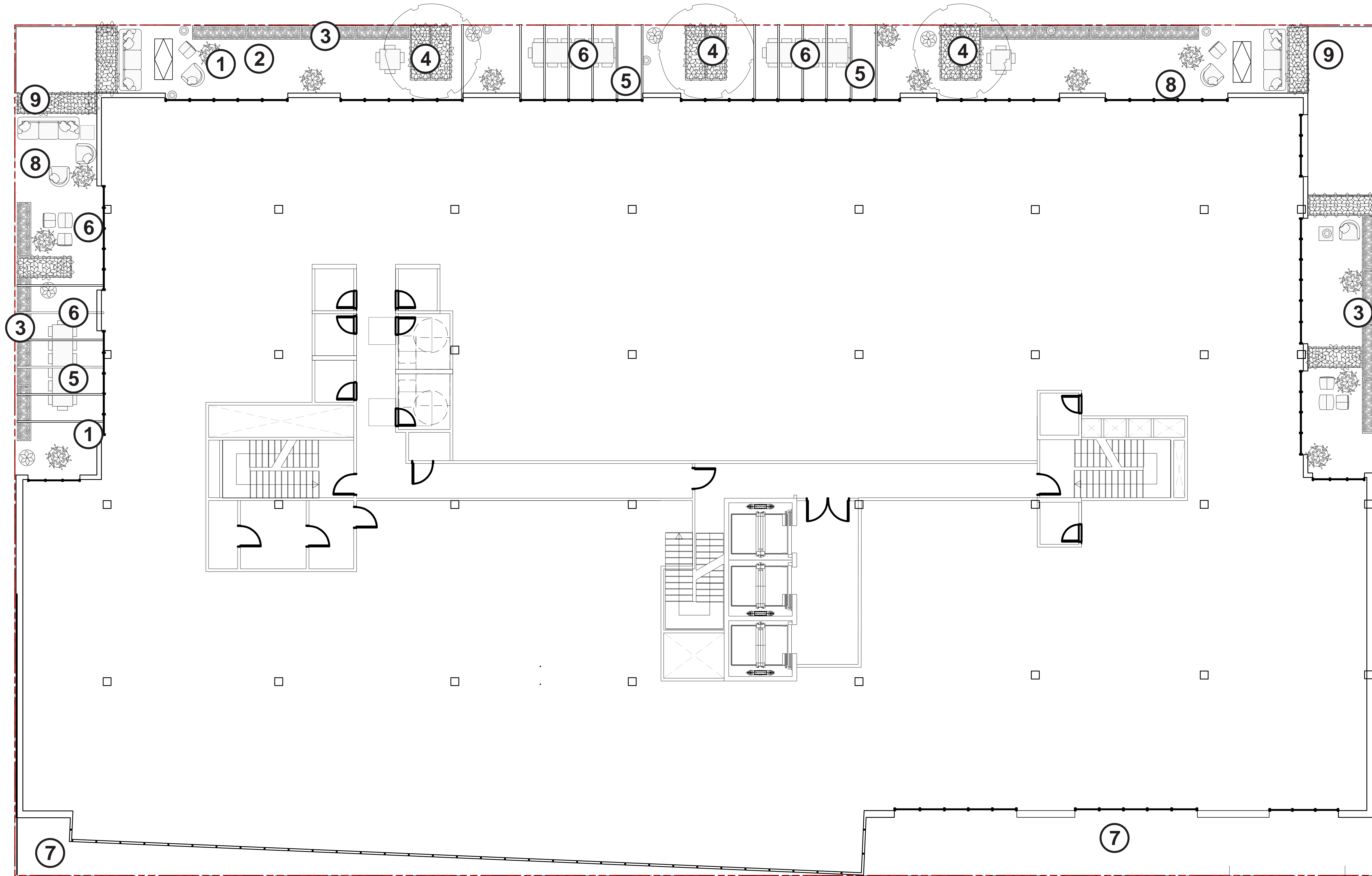


AERIAL - 3RD FLOOR

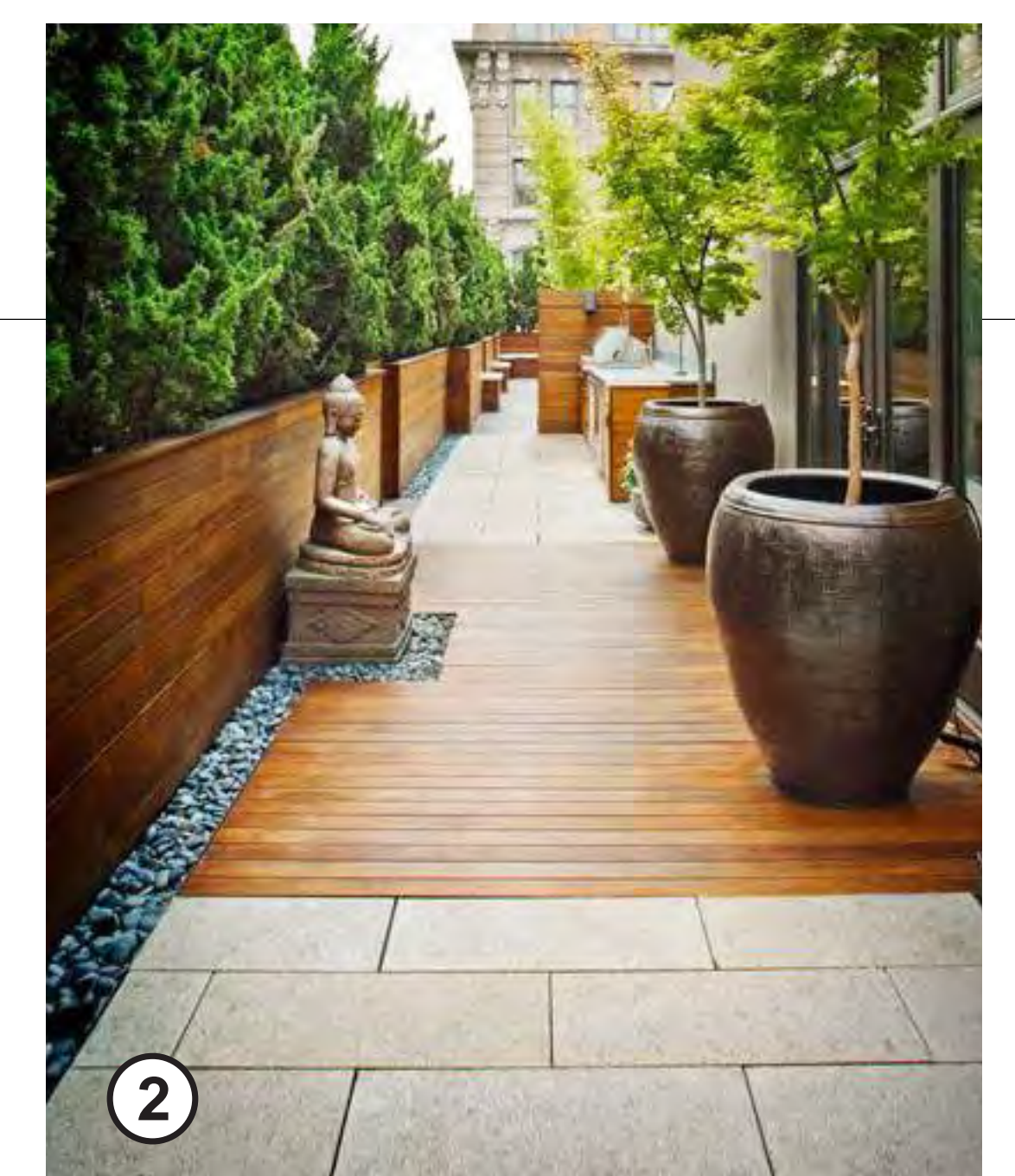
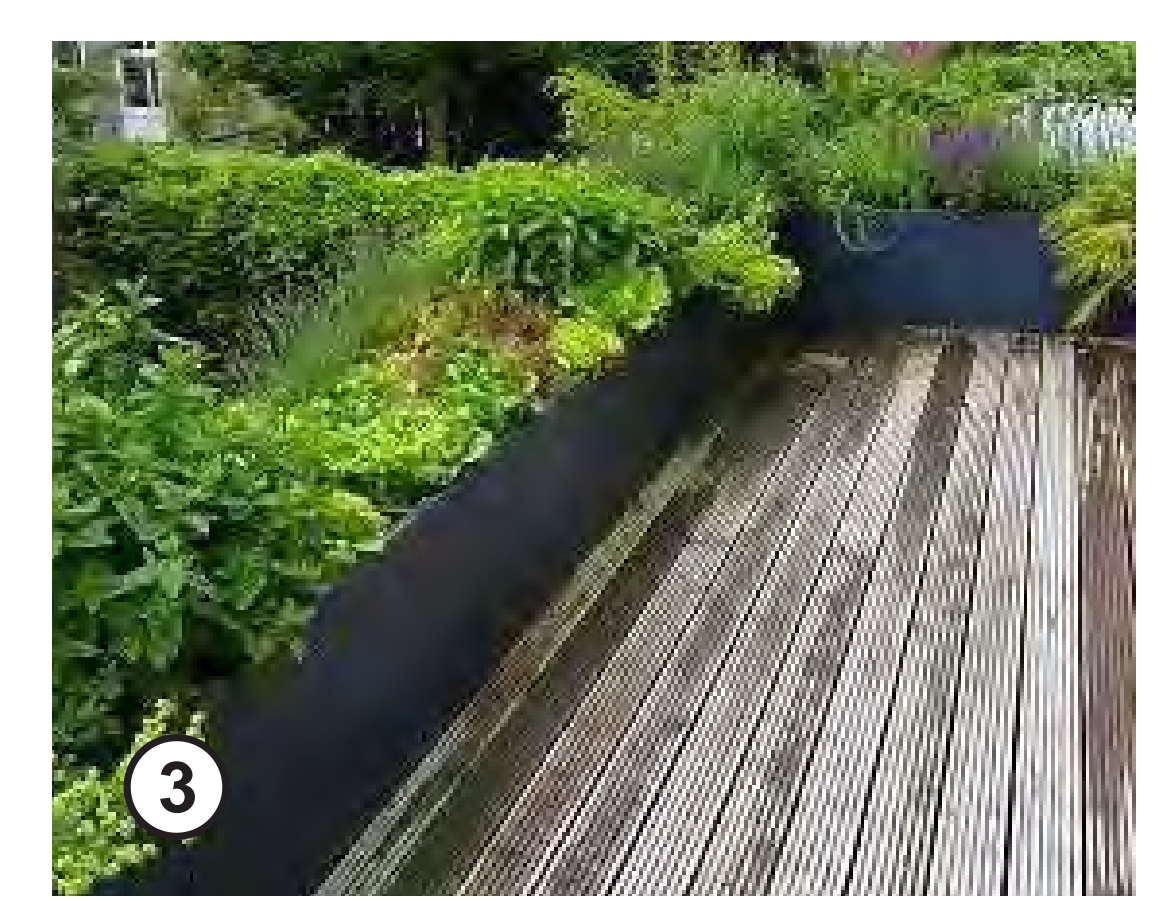
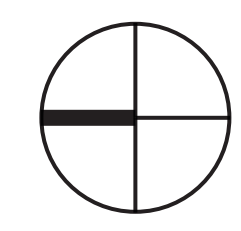


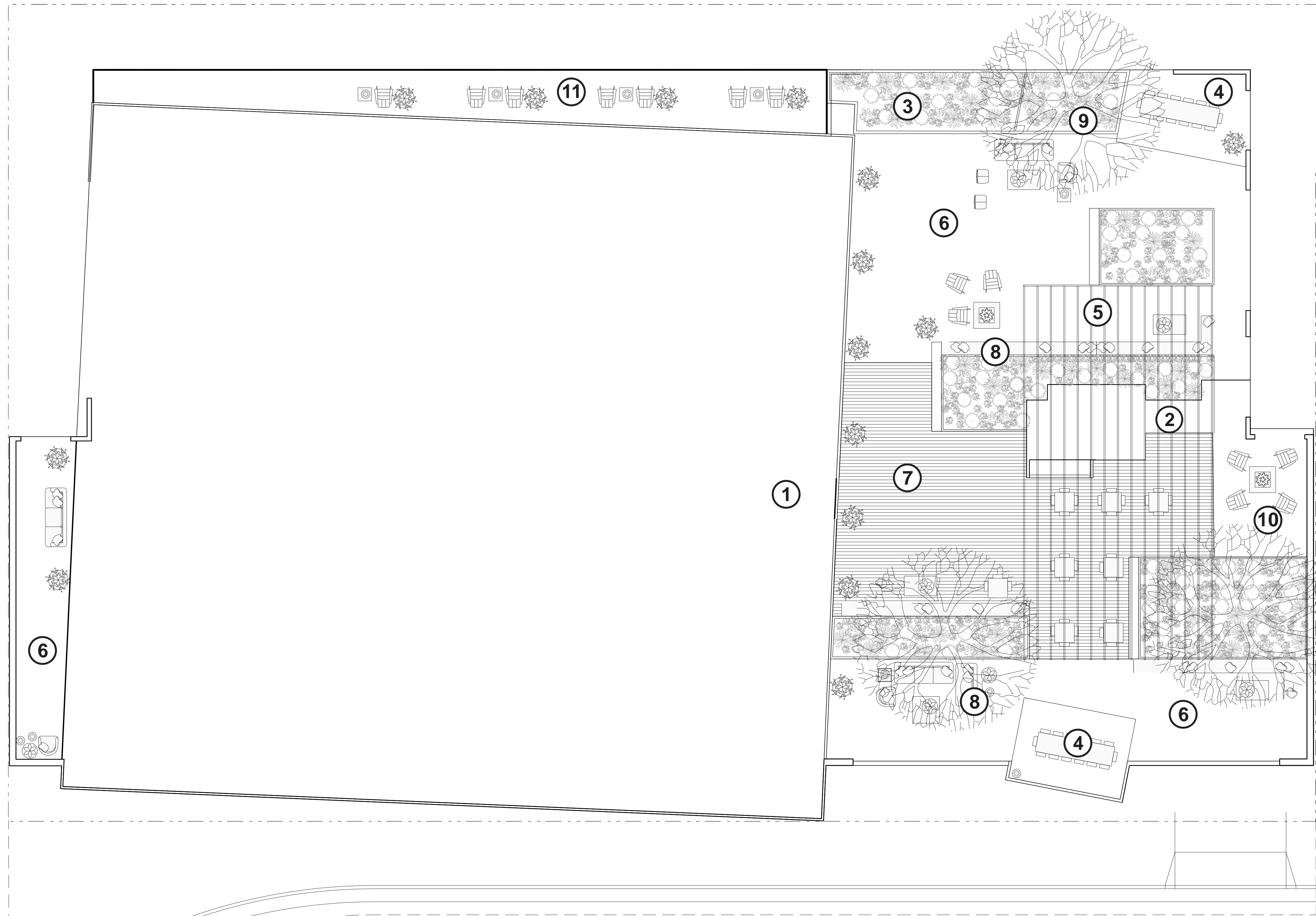
- 1. POURED IN PLACE CONCRETE
- 2. STREET LIGHT
- 3. STREET TREE
- 4. BICYCLE RACK
- 5. BENCH
- 6. ACCESS TO PARKING AND LOADING
- 7. RETAIL





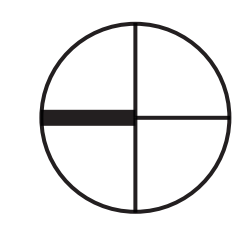
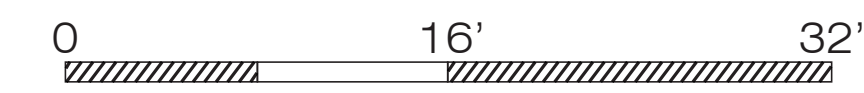
1. PLANTS IN POTS
2. PRECAST PAVERS AND WOOD DECKING
3. LINEAR PLANTERS
4. PLANTER FOR SMALL TREE
5. FRAME TRELLIS
6. OUTDOOR CONFERENCE TABLES
7. BALCONIES
8. FURNITURE
9. STORMWATER TREATMENT PLANTER





- 1. ELEVATOR ACCESS
- 2. EGRESS STAIR
- 3. STORMWATER TREATMENT PLANTER
- 4. CONFERENCE ZONE
- 5. SHADE TRELLIS
- 6. PRECAST PAVERS
- 7. THERMALLY MODIFIED WOOD DECKING
- 8. BUILT IN BENCH

- 9. LARGE OAK TREE
- 10. FIRE PIT
- 11. 6TH FLOOR DECK





7TH FLOOR PATIO



7TH FLOOR PATIO



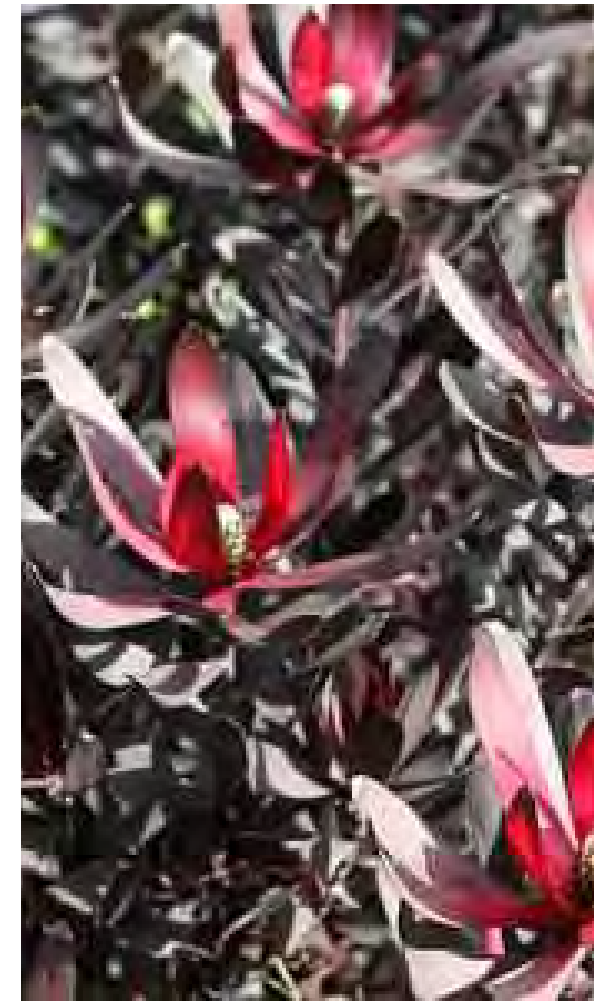
7TH FLOOR PATIO



3RD FLOOR PATIO



LEUCOSPERMUM 'SCARLET RIBBON'
TO 4-12' H X 4-8' W
FULL SUN
EASILY PRUNED SMALLER



LEUCADENDRON EBONY
TO 3-4' H X 3-5' W
FULL SUN
COMPACT



CEANOTHUS GRISEUS
DIAMOND HEIGHTS



PELARGONIUM SIDOIDES



LOTUS BERTHELOTTII



ECHEVERIA CANTE 'WHITE CLOUD'



ECHEVERIA 'AFTERGLOW'



YUCCA LINEARIFOLIA
TO 2-4' H X 2-3' W
FULL SUN



SALVIA MYSTIC BLUE SPIRES
TO 2-3' X 2-3'
FULL SUN
BLOOMS EARLY SUMMER TO FROST
COMPACT, EASY TO GROW



LIMONIUM PEREZII
TO 2-3' X 2-3'
FULL SUN
TOUGH EVERGREEN PERENNIAL / SUBSHRUB
BLOOMS ALMOST YEAR-ROUND, HEAVIEST IN SUMMER



ALOE POLYPHYLLA
TO 2-3' X 2-3'
FULL SUN TO PART SUN
NEEDS GOOD DRAINAGE AND ROOTS COOL.



NEPETA SIX HILLS GIANT
TO 2-3' H X 1-2' W
FULL SUN, PART SUN
GRAY-GREEN FOLIAGE
LOW MAINTENANCE, EASY TO GROW
FRAGRANT



AGAVE BLUE GLOW
TO 18" T X 24" W
PARTIAL TO FULL SUN



AGAVE 'NOVA'
TO 3-4' X 3-4'
SUN OR SHADE



YUCCA PALLIDA
TO 1-2' T X 2-3' W
FULL SUN TO PART SHADE



CORDYLINAE CHA CHA
TO 3-4' X 3-4'
SUN TO PART SHADE



QUERCUS AGRIFOLIA
TO 60' HIGH X 60 FOOT WIDE
SUN TO LIGHT SHADE

PLANTING CONCEPT STATEMENT

Street trees will be installed at a minimum 24" box size and bioswale plantings will comply with c3 requirements. Final planting design may vary from concept species based on plant availability, quality, and overall design cohesiveness based on availability.

IRRIGATION CONCEPT STATEMENT

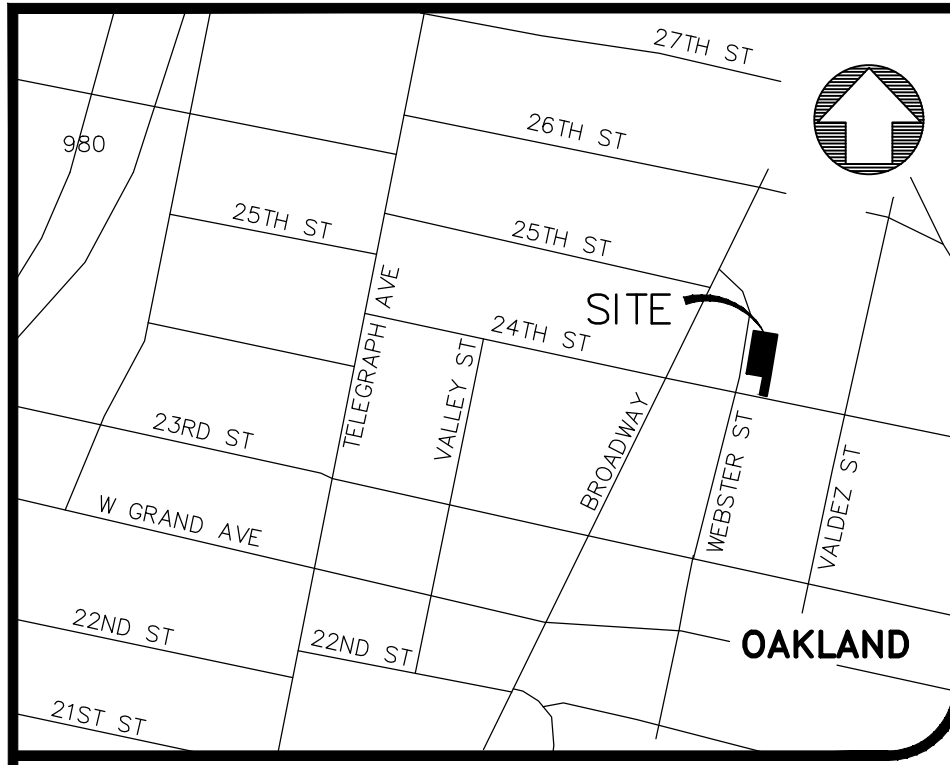
The irrigation design for the site shall comply with the state of California model water efficient landscape ordinance (title 23 - division 2-chapter 2.7) and the city of San Francisco water efficient landscape standards. The irrigation systems will be automatically controlled by an ET irrigation controller capable of multiple programming and independent timing of individual irrigation systems. The controller will have a 24-hour clock to allow multiple start times and repeat cycles to adjust for soil percolation rates. The irrigation systems will consist primarily of low volume, low flow bubblers for trees, point source drip irrigation for shrubs and groundcovers, and low flow irrigation for turf plantings. Plants will be grouped onto separate valves according to sun exposure and water use to allow for irrigation application by hydrozone. The irrigation scheduling will reflect the regional evapo-transpiration rates. The entire site will be designed to run during nighttime hours when irrigation is most efficient.

SIGNATURE DEVELOPMENT GROUP

2424 WEBSTER

DESIGN REVIEW

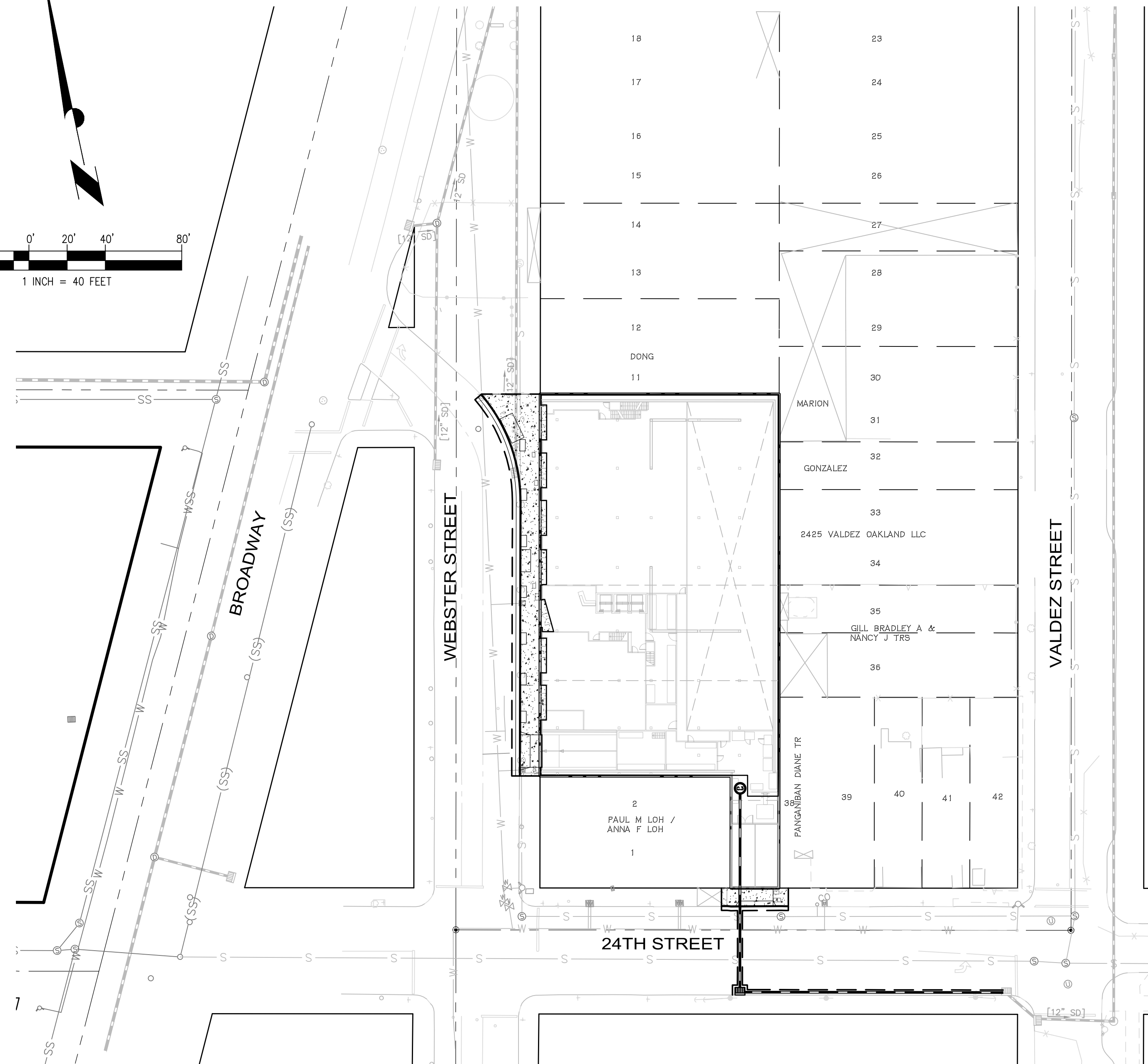
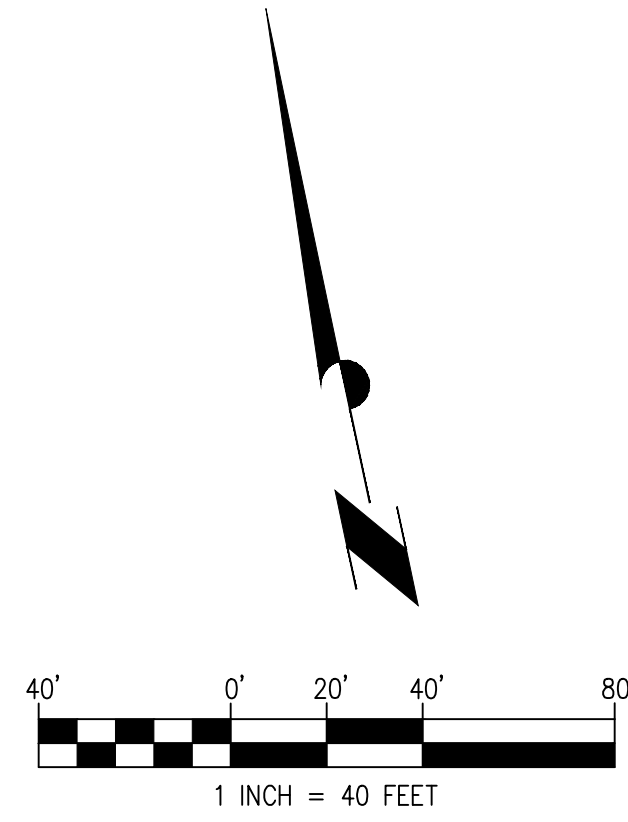
CITY OF OAKLAND, CALIFORNIA



VICINITY MAP
NOT TO SCALE

ABBREVIATIONS

AC	ASPHALT CONCRETE
BFP	BACKFLOW PREVENTER
C&G	CURB & GUTTER
CB	CATCH BASIN
CTV	CABLE TELEVISION
CL	CENTERLINE
CO	CLEANOUT
CONC	CONCRETE
D/W	DRIVEWAY
DIA	DIAMETER
DTL	DETAIL
DWG	DRAWING
EG	EXISTING GRADE
ELEC	ELECTRICAL
EX	EXISTING
FC	FACE OF CURB
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FI	FIELD INLET
FL	FLOW LINE
G	GAS
GB	GRADE BREAK
GR	GRATE
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT
LF	LINEAL FEET
LIP	LIP OF GUTTER
MAX	MAXIMUM
MIN	MINIMUM
MON	MONUMENT
PL	PROPERTY LINE
POC	POINT OF CONNECTION
PVC	POLYVINYL CHLORIDE
REC	RECORD INFORMATION
(R)	RIGHT OF WAY
R/W	RIGHT OF WAY
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SF	SQUARE FEET
SHT	SHEET
S-LAT	SANITARY SEWER LATERAL
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
STD	STANDARD
S/W	SIDEWALK
T	TELEPHONE
TC	TOP OF CURB
TYP	TYPICAL
W	WATER MAIN
W-LAT	WATER LATERAL
[]	RECORD INFORMATION



SITE MAP
SCALE: 1"=40'

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	RIGHT-OF-WAY
---	---	ADJACENT PROPERTY
---	---	MONUMENT LINE, MONUMENT
---	---	CURB AND GUTTER
---	---	GAS LINE (FIELD LOCATED), VALVE
---	---	RECORD UTILITY INFORMATION
---	---	RECORD SANITARY SEWER LINE, MANHOLE, CLEANOUT
---	---	SANITARY SEWER, LATERAL
---	---	STORM DRAIN LINE, MANHOLE, CURB INLET
---	---	C.3 TREATMENT MANHOLE
---	---	WATER LINE (FIELD LOCATED), VALVE, METER, FH
---	---	SAWCUT LINE
---	---	MAJOR CONTOUR LINE
---	---	MINOR CONTOUR LINE
---	---	VEGETATION, TREE
---	---	ELECTROLIER
---	---	BOLLARD
---	---	SIGN
---	---	DRIVEWAY
---	---	CONCRETE SIDEWALK
---	---	LOT NUMBER
---	---	SPOT ELEVATION
---	---	SLOPE

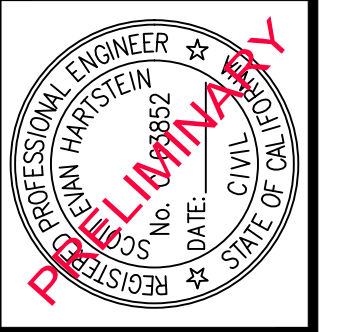
DESIGN TEAM

- DEVELOPER:**
 SIGNATURE DEVELOPMENT GROUP
 2335 BROADWAY, SUITE 200
 OAKLAND, CA 94612
 (510) 251-9276
 CONTACT - ELISSE DOUGLASS
- CIVIL ENGINEER:**
 dk ENGINEERING
 1931 SAN MIGUEL DRIVE, SUITE 100
 WALNUT CREEK, CA 94596
 (925) 932-6868
 CONTACT - SCOTT E. HARTSTEIN
- ARCHITECT:**
 FLYNN ARCHITECTURE
 2335 BROADWAY, SUITE 101
 OAKLAND, CA 94612
 (925) 356-3600
 CONTACT - LUCIA CASTELLO
- LANDSCAPE ARCHITECT:**
 EINWILLERKUEHL LANDSCAPE ARCHITECTURE
 318 HARRISON STREET, SUITE 301
 OAKLAND, CA 94607
 (510) 891-1696

SHEET INDEX

SHEET	DESCRIPTION
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C2.0	DETAILS
C2.1	DETAILS
C3.0	TOPOGRAPHIC SURVEY
C4.0	DEMOLITION PLAN
C5.0	SITE PLAN
C6.0	MASS GRADING PLAN
C6.1	FINE GRADING & DRAINAGE PLAN
C7.0	UTILITY PLAN
C8.0	EROSION CONTROL PLAN
C8.1	EROSION CONTROL NOTES
C9.0	STORMWATER CONTROL PLAN

NO.	DATE	DESCRIPTION	BY	AGENCY



SIGNATURE DEVELOPMENT GROUP
2424 WEBSTER
DESIGN REVIEW

CITY OF OAKLAND
CALIFORNIA



DATE: 11-26-19
SCALE: 1"=20'
HORZ: 1"=20'
VERT: NONE
DESIGNED BY: AMD
REVIEWED BY: SEH
2424 WEBSTER
DESIGN REVIEW

COVER SHEET

C1.0
SHEET 1 OF 13



GENERAL NOTES

1. THE ENGINEER ASSUMES NO RESPONSIBILITY BEYOND THE ADEQUACY OF HIS DESIGN CONTAINED HEREIN.
2. ALL STAKING REQUESTS SHALL BE DIRECTED TO THE ENGINEER AT LEAST TWO (2) WORKING DAYS PRIOR TO ACTUAL NEED. THE PROTECTION OF THOSE STAKES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY ADDITIONAL STAKING OR RESTAKING WILL BE DONE ONLY AS DIRECTED AND AUTHORIZED BY THE OWNER OR HIS AUTHORIZED AGENT.
3. OBSTRUCTIONS INDICATED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. NEITHER THE OWNER NOR THE ENGINEER ASSUMES RESPONSIBILITY THAT THE OBSTRUCTIONS INDICATED WILL ACTUALLY BE THE OBSTRUCTIONS ENCOUNTERED. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (800) 642-2222, TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
4. CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS.
5. THE CONTRACTOR WILL LIMIT CONSTRUCTION ACTIVITIES TO MONDAYS THROUGH FRIDAYS FROM THE HOURS SPECIFIED IN THE ENCROACHMENT PERMIT. CONSTRUCTION WILL NOT BE ALLOWED LATER THAN THESE HOURS AND/OR ON SATURDAYS, SUNDAYS OR FEDERAL HOLIDAYS UNLESS PRIOR APPROVAL IS GRANTED BY THE CITY AFTER CONSULTATION WITH ADJACENT USES.
6. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE CITY, PROJECT ENGINEER, HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF OWNER OR ENGINEER.
7. IF IT APPEARS THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT dk ENGINEERING (925) 932-6868 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
8. ALL EXISTING ELEVATIONS SHOWN ARE AS MEASURED IN THE FIELD, UNLESS OTHERWISE NOTED.
9. THE WORKSITE SHALL BE MAINTAINED IN AN ORDERLY FASHION, FOLLOWING THE CESSATION OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE.
10. THE CONTRACTORS SHALL FIT ALL INTERNAL COMBUSTION ENGINES WITH MUFFLERS AND SHALL LOCATE NOISE-GENERATING EQUIPMENT SUCH AS AIR COMPRESSORS, CONCRETE PUMPERS AND POWER GENERATORS AS FAR AWAY FROM EXISTING RESIDENCES AS POSSIBLE. UNNECESSARY IDLING OF ENGINES SHALL BE PROHIBITED. NEIGHBORS ADJACENT TO CONSTRUCTION AREA SHALL BE NOTIFIED OF THE CONSTRUCTION SCHEDULE IN WRITING. THE TELEPHONE NUMBER OF THE DESIGNATED DISTURBANCE COORDINATOR SHALL BE POSTED AT THE SITE.
11. CONTRACTOR SHALL OBTAIN ALL APPROPRIATE PERMITS FROM REQUIRED AGENCIES OR PUBLIC UTILITIES PRIOR TO COMMENCEMENT OF WORK.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF ALL EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY HIS PERFORMANCE OF THE WORK SHOWN HEREIN AT HIS EXPENSE. SAID REPAIRS SHALL BE PERFORMED AS DIRECTED BY THE CITY ENGINEER.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROMPT CLEAN UP OF ANY MATERIALS SPILLED OR DROPPED ON ANY ADJUTING STREETS DURING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED TO THESE STREETS BY CONSTRUCTION VEHICLES ASSOCIATED WITH SUCH CONSTRUCTION. THE CITY ENGINEER MAY REQUIRE THE OWNER TO POST A CASH DEPOSIT PRIOR TO THE START OF CONSTRUCTION TO CAUSE TIMELY CLEAN UP AND REPAIR OF STREETS.
14. CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS TO PRIVATE PROPERTY ADJACENT TO WORK AREA THROUGHOUT CONSTRUCTION.
15. CONTRACTOR TO PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, AND OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY AND TO MAINTAIN TRAFFIC CONTROL AND AS DIRECTED BY THE CITY TRAFFIC ENGINEER.
16. CONTRACTOR SHALL NOT DISTURB OR DESTROY ANY PERMANENT SURVEY POINTS WITHOUT THE CONSENT OF THE CITY ENGINEER. ANY PERMANENT MONUMENTS OR POINTS DESTROYED SHALL BE REPLACED BY A SURVEYOR AT THE CONTRACTOR'S EXPENSE.
17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 2009 EDITION, THE CITY OF OAKLAND MODIFICATIONS TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND STANDARD DETAILS FOR PUBLIC WORK CONSTRUCTION 2002 EDITION AS AMENDED AND SUPPLEMENTED BY THE CITY OF OAKLAND.

GRADING NOTES

1. IN THE EVENT AN ARCHEOLOGICAL RESOURCE IS DISCOVERED DURING DEMOLITION AND/OR CONSTRUCTION, CONTRACTOR SHALL NOTIFY THE CITY AND EARTHWORK WITHIN 100 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOA AND/OR SOPA HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF DEEMED NECESSARY PRIOR TO COMMENCEMENT OF ACTIVITIES. THE ARCHAEOLOGIST SHALL BE HIRED AT THE APPLICANT'S EXPENSE.
2. IN THE EVENT A UNIQUE PALEONTOLOGICAL RESOURCE OR SITE IS DISCOVERED DURING DEMOLITION AND/OR CONSTRUCTION, THE APPLICANT SHALL STOP WORK IMMEDIATELY AND NOTIFY THE CITY. A CERTIFIED ARCHAEOLOGIST SHALL BE HIRED AT THE APPLICANT'S EXPENSE TO INVESTIGATE THE DISCOVERY AND RECOMMEND FURTHER ACTIONS PRIOR TO COMMENCEMENT OF ACTIVITIES.
3. IN THE EVENT HUMAN REMAINS ARE DISCOVERED DURING DEMOLITION AND/OR CONSTRUCTION, THE APPLICANT SHALL STOP WORK IMMEDIATELY AND NOTIFY THE CITY. A CERTIFIED ARCHAEOLOGIST SHALL BE HIRED AT THE APPLICANT'S EXPENSE TO INVESTIGATE THE DISCOVERY AND RECOMMEND FURTHER ACTIONS PRIOR TO COMMENCEMENT OF ACTIVITIES.
4. IF FOSSILS OF POTENTIAL SCIENTIFIC SIGNIFICANCE ARE FOUND DURING CONSTRUCTION, GRADING WITHIN 50 FEET OF THE FOSSIL LOCATION SHALL BE SUSPENDED UNTIL THE SIGNIFICANCE OF THE FIND HAS BEEN EVALUATED BY A PALEONTOLOGIST. THE CITY SHALL BE NOTIFIED WITHIN 24 HOURS AND ADVISED OF THE EVALUATION OF THE PALEONTOLOGIST. RESUMPTION OF WORK IN THE FOSSIL AREA SHALL REQUIRE WRITTEN APPROVAL FROM THE CITY OF OAKLAND PLANNING DEPARTMENT.
5. ALL CHEMICALS AND PETROLEUM PRODUCTS STORED ON-SITE DURING CONSTRUCTION SHALL BE WITHIN A BERMED CONTAINMENT AREA OR OTHER APPROPRIATE FACILITY. THE HANDLING, STORAGE AND DISPOSAL OF ANY HAZARDOUS MATERIALS USED ON THE SITE WILL BE IN ACCORDANCE WITH A BUSINESS PLAN (OR EQUIVALENT) ON FILE WITH THE CITY HEALTH SERVICES DEPARTMENT, HAZARDOUS MATERIALS DIVISION. ALL REFUELING AND VEHICLE MAINTENANCE ACTIVITY SHALL BE LOCATED AWAY FROM ANY DRAINAGE PATHWAYS. REFER TO EROSION CONTROL PLAN.
6. ALL GRADING, SITE PREPARATION, PLACING AND COMPACTION OF FILL TO BE DONE IN ACCORDANCE WITH CITY OF OAKLAND ORDINANCE; ALSO UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL ENGINEER. SUBSEQUENT TO COMPLETION OF WORK, THE GEOTECHNICAL ENGINEER SHALL SUBMIT TO THE CITY OF OAKLAND ENGINEERING DEPARTMENT A REPORT STATING THAT ALL WORK HAS BEEN DONE TO ITS SATISFACTION.
7. ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE CITY OF OAKLAND ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND DISTRIBUTED BY THE ENGINEERING DEPARTMENT PRIOR TO THE WORK BEING ADVANCED AND ACCEPTANCE OF THE WORK AS COMPLETE.
8. ALL TRENCHES SHALL BE SHORED IN ACCORDANCE WITH CAL-OSHA "CONSTRUCTION SAFETY ORDERS" CURRENT EDITION. ALSO AS SPECIFIED BY THE GEOTECHNICAL ENGINEER. CONTRACTOR MUST HAVE VALID TRENCH SHORING PERMIT ISSUED BY CAL-OSHA.
9. THE EXCAVATION TRENCH WIDTH FOR ALL PIPES, WITH THE EXCEPTION OF C.I.P.P., SHALL BE A MINIMUM OF 24" GREATER THAN THE OUTSIDE DIAMETER OF THE PIPE. ONE-HALF OF THE MINIMUM DIMENSION SHALL BE AVAILABLE ON EITHER SIDE OF THE PIPE. THE SAFETY REQUIREMENTS OF THE OCCUPATION SAFETY AND HEALTH ACT FOR TRENCH SHORING AND BRACING SHALL BE COMPLIED WITH WHERE APPLICABLE.
10. THE CONTRACTOR SHALL PROVIDE THE NECESSARY SAFETY TESTING OF EQUIPMENT AND PERSONNEL.
11. CONTRACTOR'S ATTENTION IS DIRECTED TO THE REQUIREMENTS OF THE DIVISION OF INDUSTRIAL SAFETY PERTAINING TO "CONFINED SPACES". ANY MANHOLES, CULVERT, DROP INLET OR TRENCH WHICH COULD CONTAIN AIR WHICH IS NOT READILY VENTILATED MAY BE CONSIDERED A "CONFINED SPACE"
12. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY NOTIFY THE CITY OF OAKLAND ENGINEERING INSPECTOR AND THE DESIGN ENGINEER UPON DISCOVERY OF ANY FIELD CONFLICTS.
13. ANY DEVIATIONS OR CHANGES IN THESE PLANS WITHOUT OFFICIAL APPROVAL OF THE DESIGN ENGINEER SHALL ABSOLVE THE DESIGN ENGINEER OF ANY AND ALL RESPONSIBILITY OF SAID DEVIATION OR CHANGE.
14. DURING THE GRADING OPERATION THE CONTRACTOR SHALL CONTROL THE GENERATION OF DUST BY FULLY SPRINKLING THE SITE AS DETERMINED TO BE NEEDED BY THE CITY GRADING INSPECTOR IN ACCORDANCE WITH THE CITY GRADING ORDINANCE.
15. TO MINIMIZE AIR QUALITY IMPACTS OF GRADING AND CONSTRUCTION, THE FOLLOWING MITIGATION MEASURES SHALL BE INCORPORATED IN THE PROJECT:
 - A. DUST GENERATED ON THE PROJECT SITE SHALL BE CONTROLLED BY WATERING OR APPLYING APPROVED SIT PALLIATIVE ON ALL EXPOSED AREAS AT LEAST TWICE DAILY DURING EXCAVATION, AND ESPECIALLY DURING CLEARING AND GRADING OPERATIONS. ADDITIONAL WATERING ON WINDY OR HOT DAYS IS REQUIRED TO FURTHER REDUCE DUST EMISSIONS;
 - B. DURING CONSTRUCTION, ACTIVITIES INVOLVING EARTH MOVING OR TRAVEL ON UNPAVED SURFACES SHALL BE DISCONTINUED WHEN WIND SPEEDS EXCEED 20 M.P.H., TO PREVENT EXCESSIVE GENERATION OF DUST;
 - C. PAVING SHALL BE COMPLETED AS SOON AS PRACTICABLE TO REDUCE THE TIME THAT BARE SURFACES AND SOILS ARE EXPOSED. IN AREAS WHERE CONSTRUCTION IS DELAYED FOR AN EXTENDED PERIOD OF TIME, THE GROUND SHALL BE RE-VEGETATED TO MINIMIZE THE GENERATION OF DUST;
 - D. A PERSON SHALL BE DESIGNATED TO OVERSEE THE IMPLEMENTATION OF THE DUST CONTROL PROGRAM MENTIONED ABOVE.
16. COMPACTION TESTS WILL BE PERFORMED ON ALL STREET WORK TO VERIFY THE COMPACTION CONFORMS TO CITY OF OAKLAND STANDARDS. THE TEST OF SUBGRADE TO BE PERFORMED BY THE GEOTECHNICAL ENGINEER. INSPECTION OF ROCK AND PAVING TO BE PERFORMED BY THE CITY OF OAKLAND. (TWO WORKING DAYS NOTICE REQUIRED) WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL AS DIRECTED IN THE FIELD BY THE GEOTECHNICAL ENGINEER. ANY SLIDE REPAIR WORK, SUBDRAIN INSTALLATION, AND LINED DITCH WORK SHALL BE INSPECTED BY THE CITY OF OAKLAND ENGINEERING DEPARTMENT. A REPORT FROM THE GEOTECHNICAL ENGINEER SHALL BE SUBMITTED TO THE CITY OF OAKLAND ENGINEERING DEPARTMENT REGARDING THE SLIDE REPAIR AND/OR SUBDRAIN INSTALLATION. CUT AND GRADED SLOPES SHALL BE PERIODICALLY INSPECTED DURING GRADING OPERATION BY AN ENGINEERING GEOLOGIST OR GEOTECHNICAL ENGINEER WITH PERIODIC PROGRESS REPORTS AND A GRADING COMPLETION REPORT.
17. APPLICANT SHALL COMPLY WITH ALL RULES, REGULATIONS AND PROCEDURES OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM.

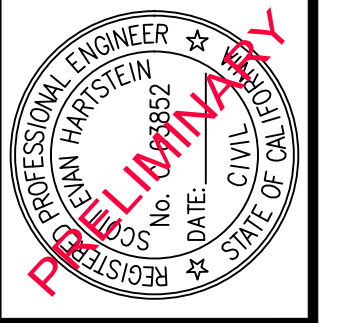
IMPROVEMENT NOTES

1. PRODUCTS AND MATERIALS SPECIFIED ARE SUBJECT TO CHANGE WITH APPROVED EQUIVALENCE. JURISDICTION SHALL REVIEW AND APPROVE PROPOSED SUBSTITUTIONS. SHOULD THE CONTRACTOR REQUEST A CHANGE OF MATERIALS, THE CONTRACTOR SHALL PAY FOR THE COST INVOLVED IN PLAN CHANGES AND PROCESSING THE CHANGE THROUGH THE APPROPRIATE AGENCY.
2. THE CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FOR ALL WORK WITHIN EXISTING CITY RIGHTS OF WAY. APPLICATIONS FOR ENCROACHMENT PERMIT, SUBMITTED MORE THAN 90 DAYS PAST ENGINEERING "REVIEWED" DATE STAMP, MAY REQUIRE ADDITIONAL TIME TO PROCESS. FOR FURTHER PERMIT INFORMATION, CONTACT THE ENGINEERING DEPARTMENT AT (510) 238-3659.
3. TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), PART 6 - TEMPORARY TRAFFIC CONTROL AND THE 2009 EDITION OF MUTCD.
4. IN CONFORM PAVING AREAS, IF A FULL STREET STRUCTURAL SECTION IS NOT FOUND AT THE APPARENT EDGE OF PAVEMENT, FURTHER STREET EXCAVATION WILL BE REQUIRED UNTIL THE FULL SECTION IS ENCOUNTERED. PAVING CONFORMS SHALL BE MADE AT A SMOOTHLY TRIMMED BUTT JOINT. DO NOT OVERLAP EXISTING PAVEMENT.
5. TRENCH BACKFILL, WHICH LIES WITHIN EITHER EXISTING OR NEW ROADWAYS, SHALL CONFORM TO THE CITY OF OAKLAND STANDARD DETAIL D-22 FOR TRENCH BACKFILL.
6. THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING PAVEMENT, SIDEWALK, SURROUNDING LANDSCAPING AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURB AND GUTTER, GRADING, ETC. AND TO AVOID ANY ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.
7. ALL ELECTRICAL AND GAS UTILITIES TO BE PROVIDED BY P.G.& E. AND INSTALLED UNDERGROUND PRIOR TO THE CONSTRUCTION OF CURB, GUTTER AND SIDEWALKS.
8. ANY COST OF RELOCATING UTILITIES DUE TO IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. ALL UNDERGROUND UTILITIES WITHIN THE RIGHT-OF-WAY, INCLUDING MAINS, LATERALS AND CROSSINGS, SHALL BE INSTALLED, BACKFILLED AND COMPLETED PRIOR TO THE COMMENCEMENT OF CURB, GUTTER AND SIDEWALK CONSTRUCTION.
10. ALL UNDERGROUND FACILITIES SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION OF CURB AND FINAL PREPARATION OF SUBGRADE AND PLACEMENT OF BASE MATERIAL. CURB AND GUTTER SHALL BE COMPLETE PRIOR TO THE PLACEMENT OF STREET BASE MATERIAL, UNLESS OTHERWISE APPROVED.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL NECESSARY UTILITY RELOCATION WITH THE APPROPRIATE UTILITY AGENCY.
12. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FINAL GRADE OF CONCRETE UNLESS FORMS ARE CHECKED PRIOR TO POURING.
13. ALL PEDESTRIAN IMPROVEMENTS SHALL CONFORM WITH THE REQUIREMENTS OF TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS AND THE AMERICANS WITH DISABILITIES ACT.
14. ALL WORK SHALL CONFORM TO THE CITY OF OAKLAND STANDARDS.

F:\PROJECTS\2018\18-1065 WEBSTER.DWG DESIGN REVIEW

dk JOB NO: 18-1065-10

NO.	DATE	DESCRIPTION	dk	AGENCY



SIGNATURE DEVELOPMENT GROUP
2424 WEBSTER
 DESIGN REVIEW



DATE: 11-26-19

SCALE
 HORZ: 1"=20'
 VERT: NONE

DESIGNED BY: AMD

REVIEWED BY: SEH

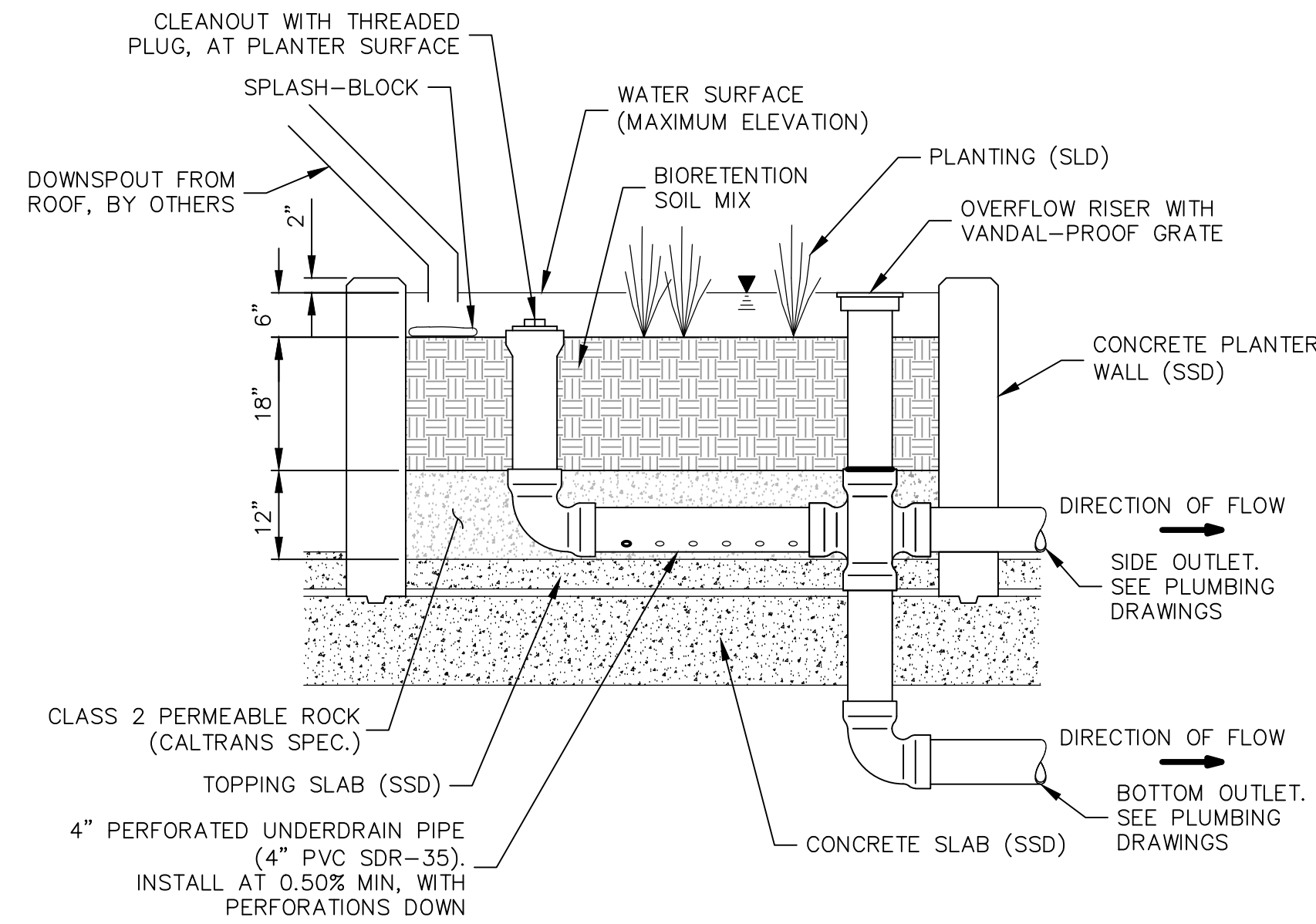
2424 WEBSTER
 DESIGN REVIEW

GENERAL NOTES

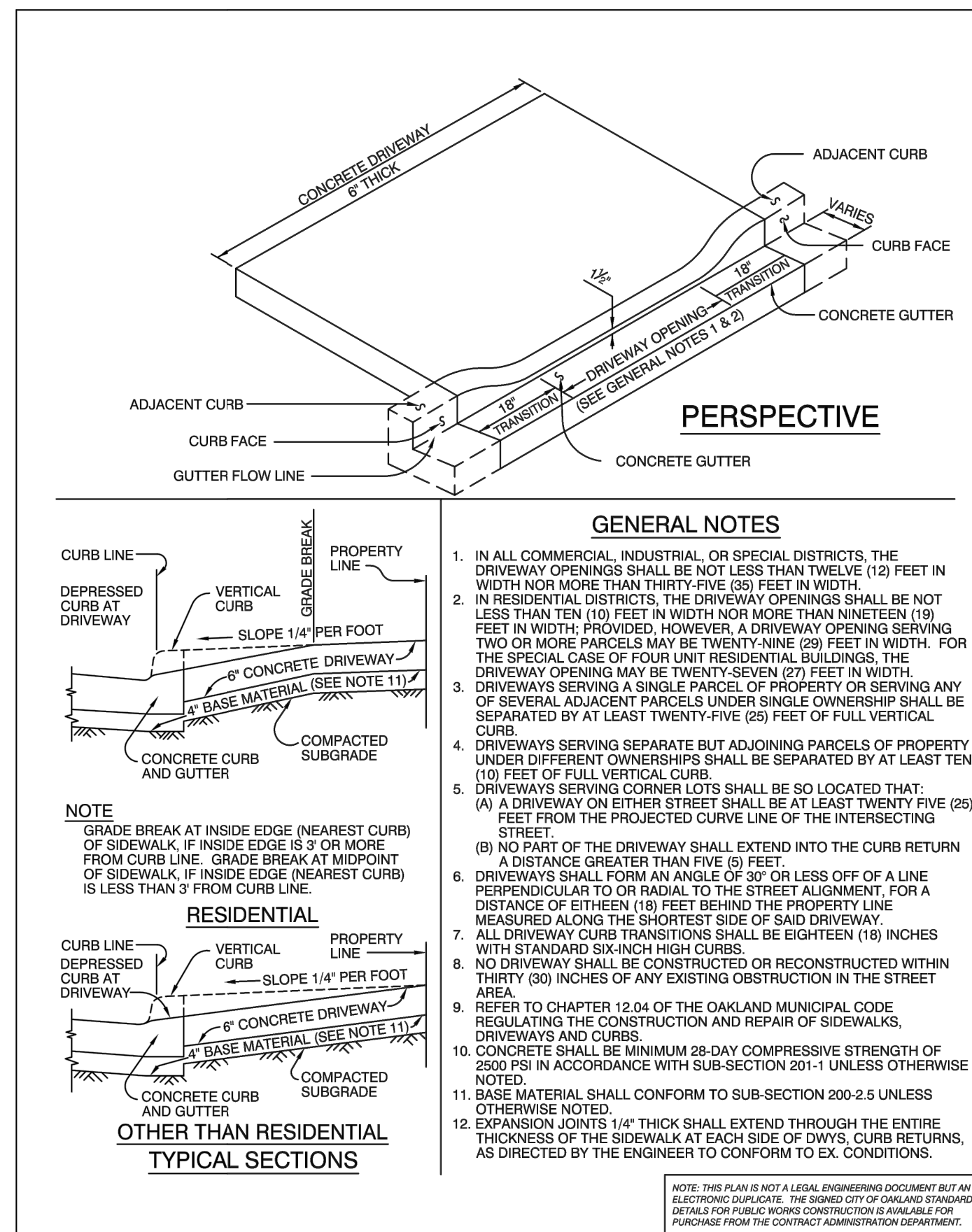
PRELIMINARY NOT FOR CONSTRUCTION

CALIFORNIA

CITY OF OAKLAND



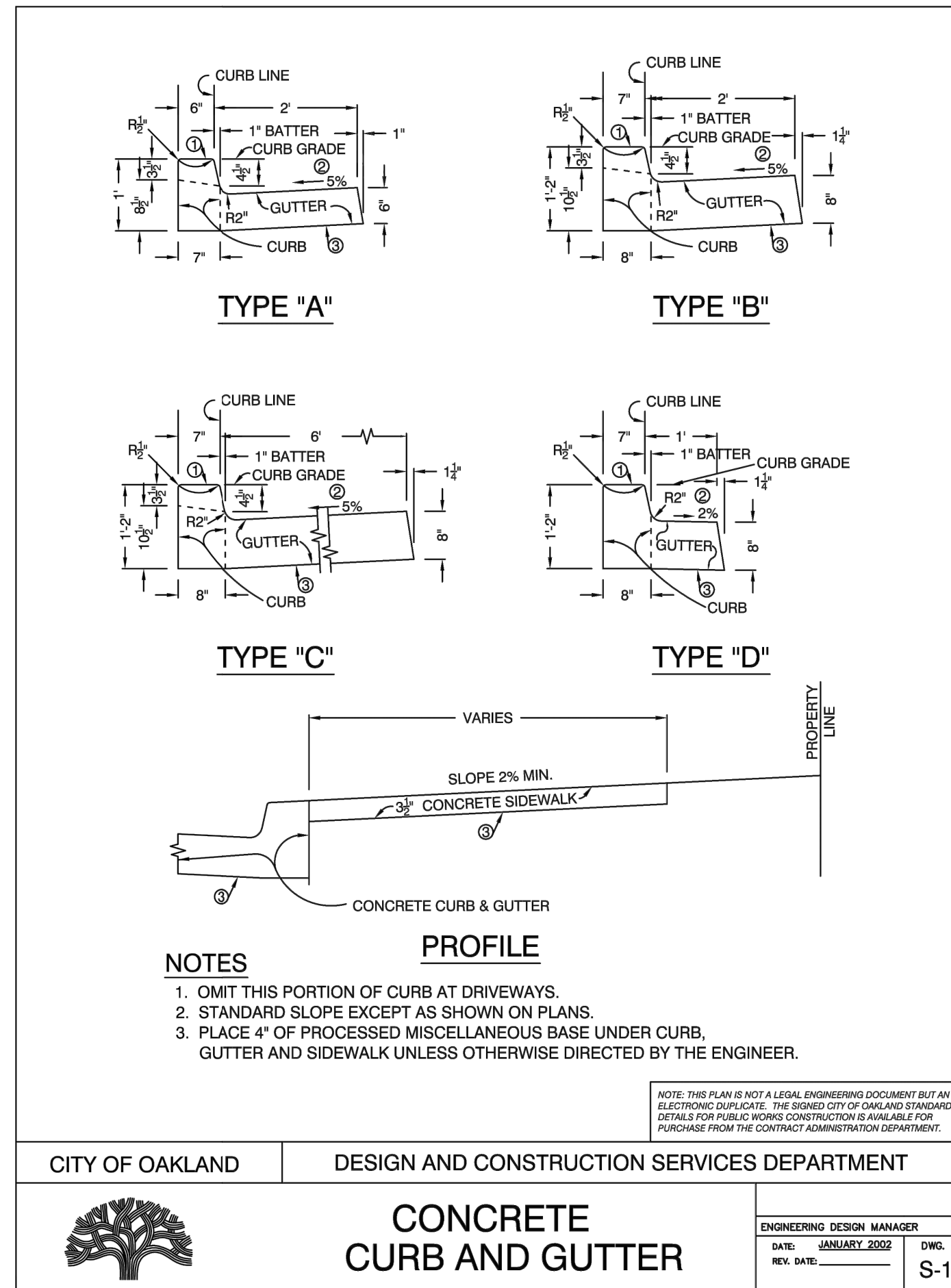
BIORETENTION PLANTER DETAIL
NOT TO SCALE



CITY OF OAKLAND | ENGINEERING DESIGN SERVICES DIVISION

CONCRETE DRIVEWAY

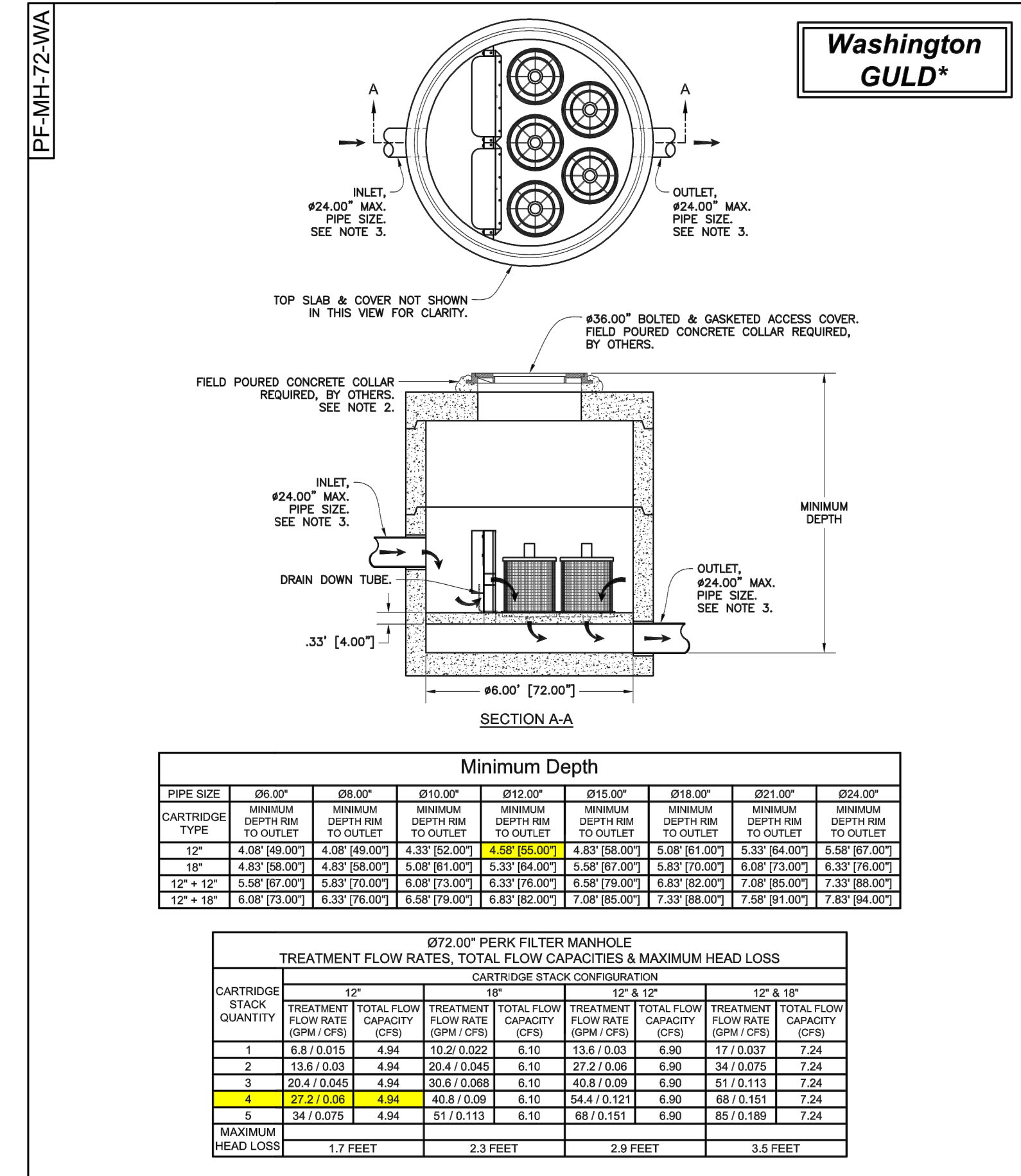
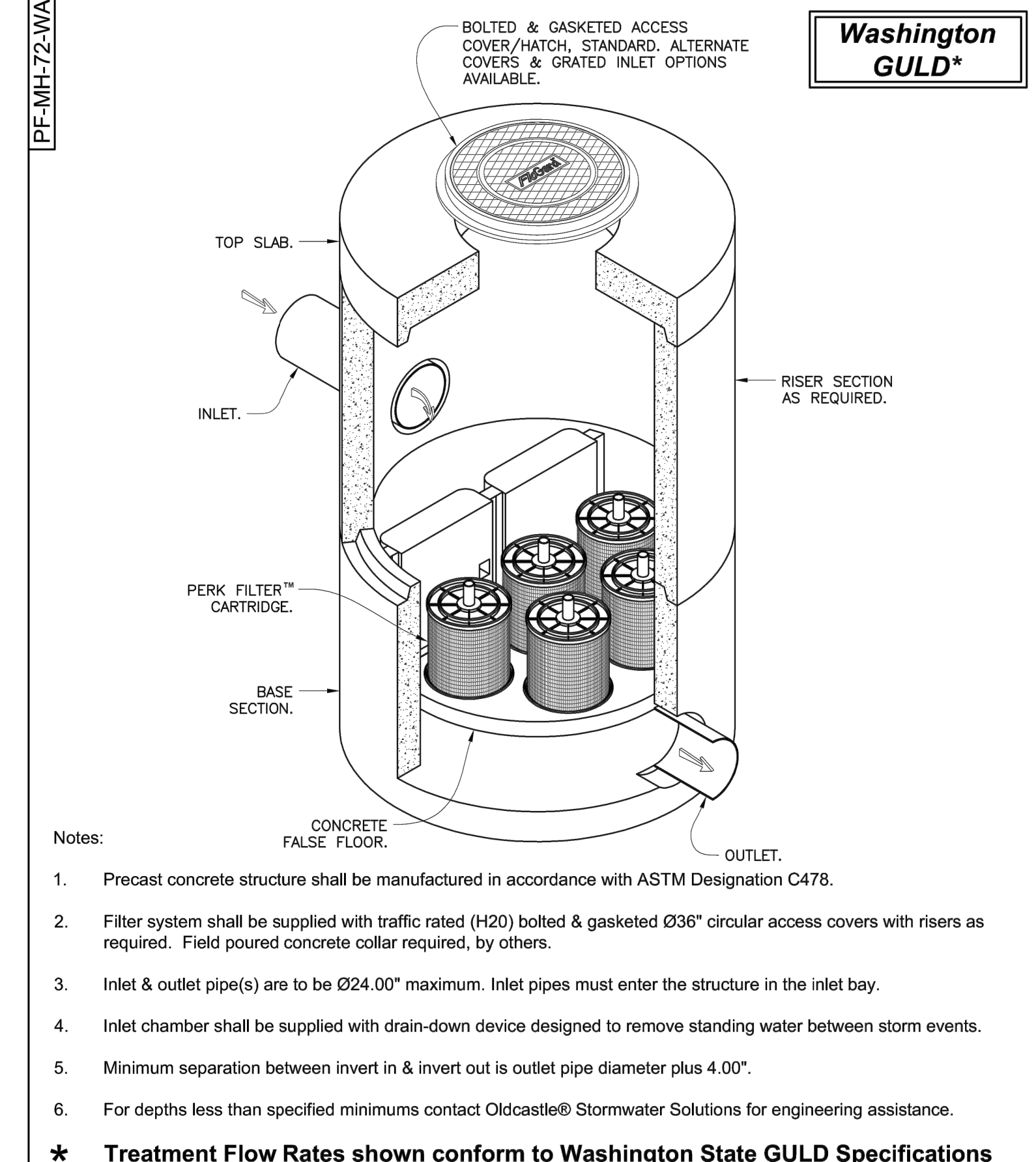
ENGINEERING DESIGN MANAGER: [Signature]
 DATE: JANUARY 2022
 DWG NO: S-2



Perk Filter™
 072.00" Manhole
 Washington State GULD
 One to Five Cartridges / Stacks

Oldcastle®
 Stormwater Solutions
 7921 Southpark Plaza, Suite 200 | Littleton, CO 80120 | Ph: 800.579.8819 | oldcastlestormwater.com

DESIGNING NO: PF-MH-72-WA NR
 DATE: 4/27/15
 SHEET 1 OF 2



CITY OF OAKLAND | ENGINEERING DESIGN SERVICES DIVISION

CONCRETE DRIVEWAY

ENGINEERING DESIGN MANAGER: [Signature]
 DATE: JANUARY 2022
 DWG NO: S-2

PRELIMINARY NOT FOR CONSTRUCTION

DESCRIPTION: [Blank]
 DATE: [Blank]
 NO.: [Blank]

CITY OF OAKLAND

SIGNATURE DEVELOPMENT GROUP
2424 WEBSTER
 DESIGN REVIEW

CITY OF OAKLAND

40+ YEARS
 ENGINEERING • PLANNING
 SURVEYING • PLANNING

PHONE: (303) 800-6666
 1303 GAVIN AVENUE, DR. #100
 WASHINGTON GREEN, CO 80504

DATE: 11-26-19

SCALE: HORIZ: NONE
 VERT: NONE

DESIGNED BY: AMD
 REVIEWED BY: SEH

2424 WEBSTER
 DESIGN REVIEW

DETAILS

C2.0
 SHEET 3 OF 13

GENERAL NOTES

- TYPE "A" INLET IS NO LONGER USED ON NEW CONSTRUCTION
- INSTALL NEW GRATE DETAIL TO RETROFIT TYPE "A" INLET - BIKE PROOF GRATE PER GRATE DETAIL
- LOCATION AND DIRECTION OF CONDUITS ENTERING OR LEAVING INLETS TO BE SHOWN ON GENERAL PLANS.
- GRATE AND FRAME SHALL BE ASSEMBLED AND MADE TO FIT BEFORE DELIVERY.
- THE GRATE SHALL BE HOT-DIP GALVANIZED IN ACCORDANCE WITH ASTM A-123.
- ALL BEARING BARS AND CROSS BARS OF GRATE SHALL BE RESISTANCE WELDED OR ELECTROFORGED INTO A ONE PIECE CONSTRUCTION.
- ALL METAL SHALL BE STRUCTURAL GRADE STEEL IN ACCORDANCE WITH ASTM A-36.
- A VEE CHANNEL 4" DEEP SHALL JOIN TWO OR MORE CONDUITS ENTERING AN INLET.
- CONSTRUCT STEPS IN INLETS WITH A DEPTH OF 4" OR GREATER

SECTION E-E
SECTION F-F
SECTION A-A
SECTION C-C
ELEVATION B-B
SECTION G-G
SECTION H-H

NOTE: THIS PLAN IS NOT A LEGAL ENGINEERING DOCUMENT BUT AN ELECTRONIC DUPLICATE. THE BIDDING CITY OF OAKLAND STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION IS AVAILABLE FOR PURCHASE FROM THE CONTRACT ADMINISTRATION DEPARTMENT.

CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT

TYPE "A" INLET

ENGINEERING DESIGN MANAGER
 DATE: JANUARY 2020
 REV. DATE: _____ DRAWING: D-3

NOTES:

- Excavated material shall not be used to fill voids caused by overexcavation; such voids shall be filled with compacted bedding material. Unless directed by the Engineer, no separate payment will be made for overexcavation.
- Import backfill material shall conform to Subsection 306-1.3.1
- Aggregate base shall conform to crushed miscellaneous base (Section 200-2.4) or better. The existing pavement may differ from the replacement Pavement Type (A to F) indicated on the plans.
- The streets of Oakland are generally paved with either AC, PCC, or a combination of the two. The existing pavement may differ from the replacement Pavement Type (A to F) indicated on the plans.
- Compaction by jetting is not permitted.
- When flexible pipe (HDPE, etc.) is used, pipe shall be backfilled to the spring line, compacted and backfill tested prior to completing initial backfill.
- The compacted temporary resurfacing shall be a minimum of 2" thick placed on the required base, and shall be removed prior to placing the permanent paving.
- Backfill testing is required and results shall be approved by the Engineer prior to paving.
- No longitudinal joints or seams are allowed in bike lanes. If a longitudinal joint is constructed due to the Contractor's work or this requirement, the Contractor shall remove a minimum of 2" of asphalt from the pavement across the entire bike lane using a method approved by the City and then resurface the bike lane to the Engineer's satisfaction.
- During backfill operations, the trench shall be backfilled, compacted, and tested to the spring line of any utilities crossing the trench before proceeding with further backfill.
- Unless specified otherwise, measurement for payment of additional bedding, imported backfill and temporary paving (when listed as separate pay items) shall be based upon the trench widths defined on this detail. The lower trench width for 8" pipe shall be 30".
- Clean and tuckcoat sides of excavation and between paving courses with spray application of SS-1 emulsion before placing asphalt-concrete pavement section.
- If the distance to the edge of gutter is less than 3' from one trench edge, the pavement replacement shall extend to the edge of existing gutter.
- In areas where existing paving consists of rubberized AC, the trench area should be repaved with the equivalent pavement section of rubberized AC. As an alternate, a dense graded AC section equivalent to two-times the thickness of the rubberized AC may be substituted.

PAVEMENT TYPES

TYPE A	TYPE B	TYPE C	TYPE D	TYPE F
6" P.C.C. PER SECTION 201-1.1.2	3" A.C. PER SECTION 306-1.5.2	4" A.C. PER SECTION 306-1.5.2	3" A.C. PER SECTION 306-1.5.2	VARIABLE DEPTH A.C. PER SECTION 306-1.5.2
18" A.B. PER SECTION 306-1.3.1	12" A.B. PER SECTION 306-1.3.1	18" A.B. PER SECTION 306-1.3.1	18" A.B. PER SECTION 306-1.3.1	

NOTE: THIS PLAN IS NOT A LEGAL ENGINEERING DOCUMENT BUT AN ELECTRONIC DUPLICATE. THE BIDDING CITY OF OAKLAND STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION IS AVAILABLE FOR PURCHASE FROM THE CONTRACT ADMINISTRATION DEPARTMENT.

SAWCUT FULL DEPTH PCC PAVEMENT - CONSTRUCT A MIN. 6" PAVEMENT SECTION

CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT

TRENCH DETAIL

ENGINEERING DESIGN MANAGER
 DATE: JANUARY 2020
 REV. DATE: _____ DWG: D-22.1

PAVEMENT TYPES

TYPE A	TYPE B	TYPE C	TYPE D	TYPE F
6" P.C.C. PER SECTION 201-1.1.2	3" A.C. PER SECTION 306-1.5.2	4" A.C. PER SECTION 306-1.5.2	3" A.C. PER SECTION 306-1.5.2	VARIABLE DEPTH A.C. PER SECTION 306-1.5.2
18" A.B. PER SECTION 306-1.3.1	12" A.B. PER SECTION 306-1.3.1	18" A.B. PER SECTION 306-1.3.1	18" A.B. PER SECTION 306-1.3.1	

NOTE: THIS PLAN IS NOT A LEGAL ENGINEERING DOCUMENT BUT AN ELECTRONIC DUPLICATE. THE BIDDING CITY OF OAKLAND STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION IS AVAILABLE FOR PURCHASE FROM THE CONTRACT ADMINISTRATION DEPARTMENT.

SAWCUT FULL DEPTH PCC PAVEMENT - CONSTRUCT A MIN. 6" PAVEMENT SECTION

CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT

TRENCH DETAIL

ENGINEERING DESIGN MANAGER
 DATE: JANUARY 2020
 REV. DATE: _____ DWG: D-22.0

PRELIMINARY NOT FOR CONSTRUCTION

NO. _____ DATE _____

DESCRIPTION _____

AGENCY _____

REGISTERED PROFESSIONAL ENGINEER
 SCOTT L. WEBSTER
 No. 100992
 DATE: _____
 CIVIL
 STATE OF CALIFORNIA

CALIFORNIA

SIGNATURE DEVELOPMENT GROUP
2424 WEBSTER
 DESIGN REVIEW

CITY OF OAKLAND
 1103 GAY MARBLE DR., #100
 WAKULUT GREEN, CA 94612
 PHONE: (925) 832-6668
 EMAIL: INFO@SDFG.COM

DATE: 11-26-19

SCALE
 HORIZ: NONE
 VERT: NONE

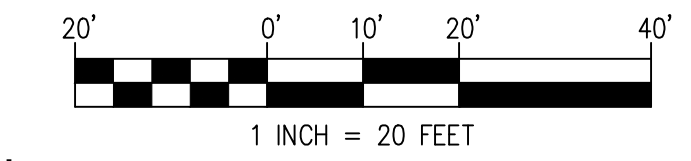
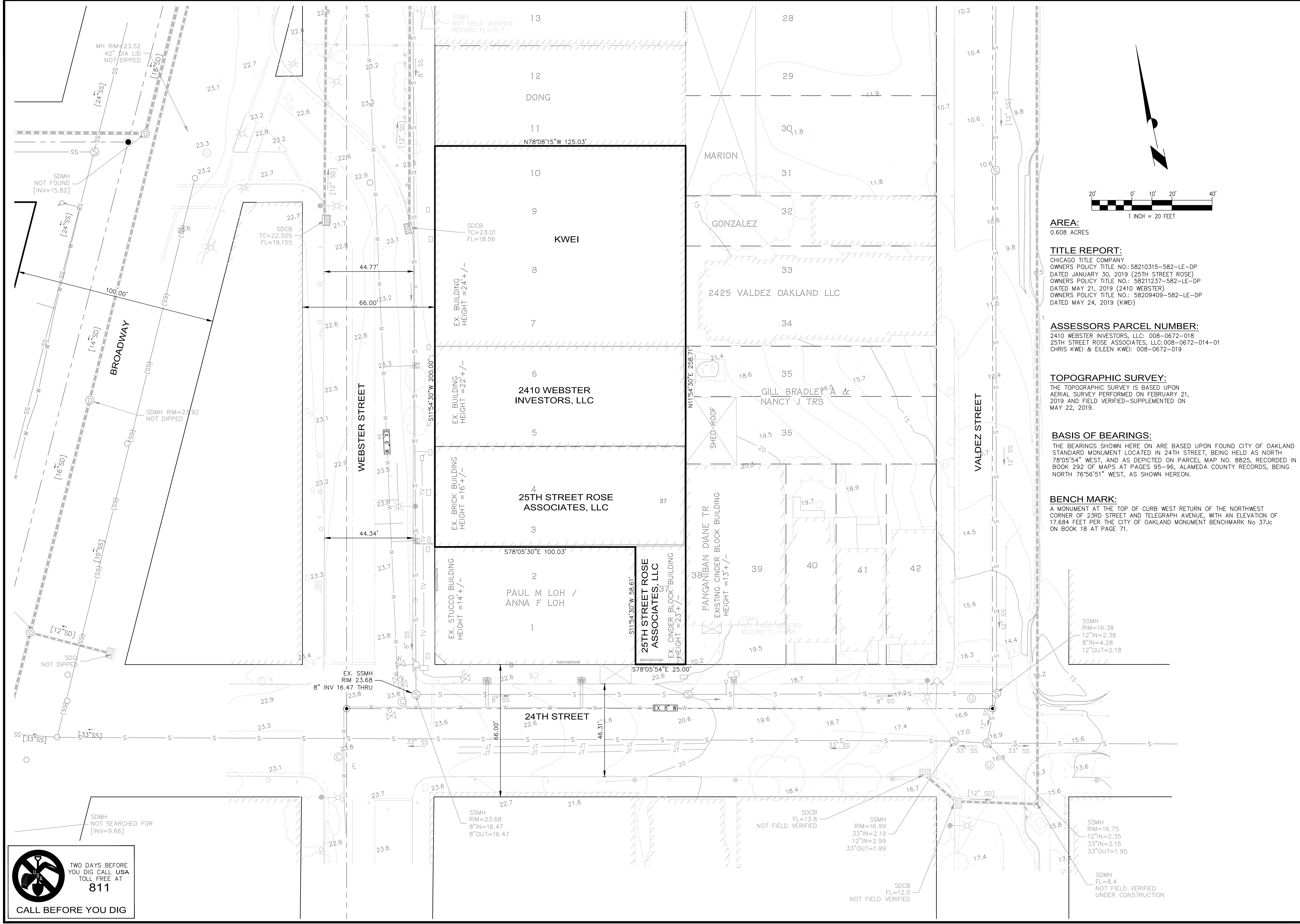
DESIGNED BY: AMD

REVIEWED BY: SEH

2424 WEBSTER
 DESIGN REVIEW

DETAILS

C2.1
 SHEET 4 OF 13



AREA:
0.608 ACRES

TITLE REPORT:
CHICAGO TITLE COMPANY
OWNERS POLICY TITLE NO.: 58210315-582-LE-DP
DATED JANUARY 30, 2019 (25TH STREET ROSE)
OWNERS POLICY TITLE NO.: 58211237-582-LE-DP
DATED MAY 21, 2019 (2410 WEBSTER)
OWNERS POLICY TITLE NO.: 58209409-582-LE-DP
DATED MAY 24, 2019 (KWEI)

ASSESSORS PARCEL NUMBER:
2410 WEBSTER INVESTORS, LLC: 008-0672-018
25TH STREET ROSE ASSOCIATES, LLC: 008-0672-014-01
CHRIS KWEI & EILEEN KWEI: 008-0672-019

TOPOGRAPHIC SURVEY:
THE TOPOGRAPHIC SURVEY IS BASED UPON AERIAL SURVEY PERFORMED ON FEBRUARY 21, 2019 AND FIELD VERIFIED-SUPPLEMENTED ON MAY 22, 2019.

BASIS OF BEARINGS:
THE BEARINGS SHOWN HERE ON ARE BASED UPON FOUND CITY OF OAKLAND STANDARD MONUMENT LOCATED IN 24TH STREET, BEING HELD AS NORTH 78°05'54" WEST, AND AS DEPICTED ON PARCEL MAP NO. 8825, RECORDED IN BOOK 292 OF MAPS AT PAGES 95-96, ALAMEDA COUNTY RECORDS, BEING NORTH 76°56'51" WEST, AS SHOWN HEREON.

BENCH MARK:
A MONUMENT AT THE TOP OF CURB WEST RETURN OF THE NORTHWEST CORNER OF 23RD STREET AND TELEGRAPH AVENUE, WITH AN ELEVATION OF 17.684 FEET PER THE CITY OF OAKLAND MONUMENT BENCHMARK No 37Jc ON BOOK 18 AT PAGE 71.

NO.	DATE	DESCRIPTION	dk	AGENCY

PRELIMINARY NOT FOR CONSTRUCTION

SIGNATURE DEVELOPMENT GROUP
2424 WEBSTER
DESIGN REVIEW

CITY OF OAKLAND

40 YEARS
ENGINEERING • PLANNING

GR

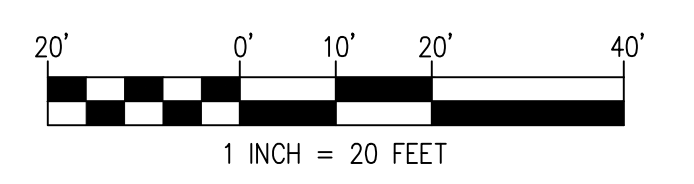
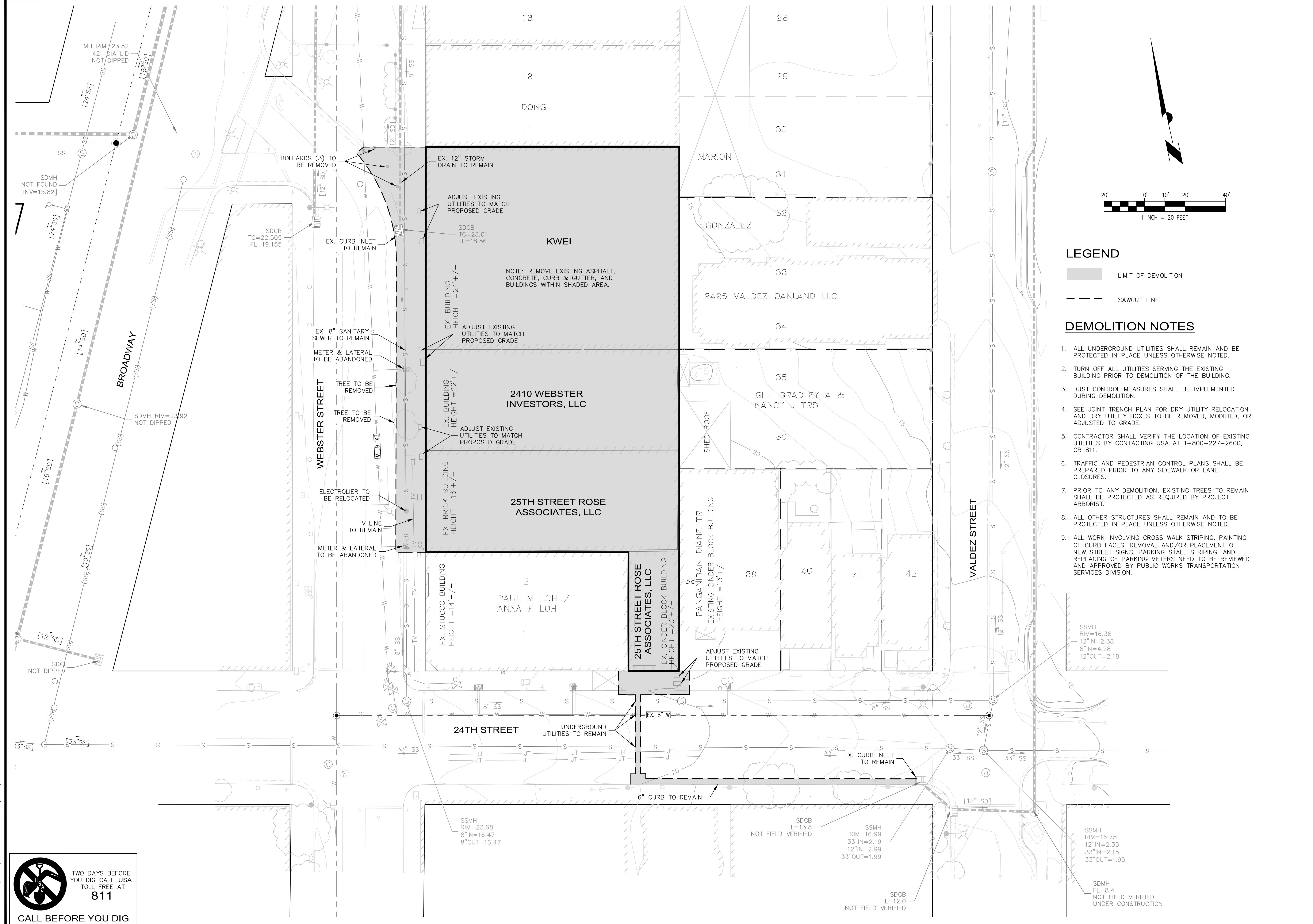
PHONE: (925) 932-0000
WWW.GRPLANNING.COM
1000 BAY STREET, SUITE 200
OAKLAND, CA 94612

DATE: 11-26-19
SCALE: HORZ: 1"=20'
VERT: NONE
DESIGNED BY: AMD
REVIEWED BY: SEH
2424 WEBSTER
DESIGN REVIEW

TOPOGRAPHIC SURVEY

C3.0
SHEET 5 OF 13





LEGEND

- LIMIT OF DEMOLITION
- SAWCUT LINE

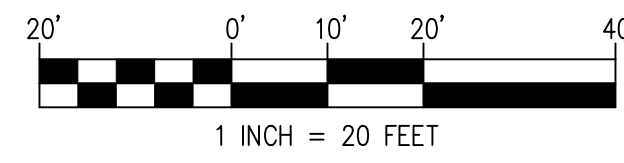
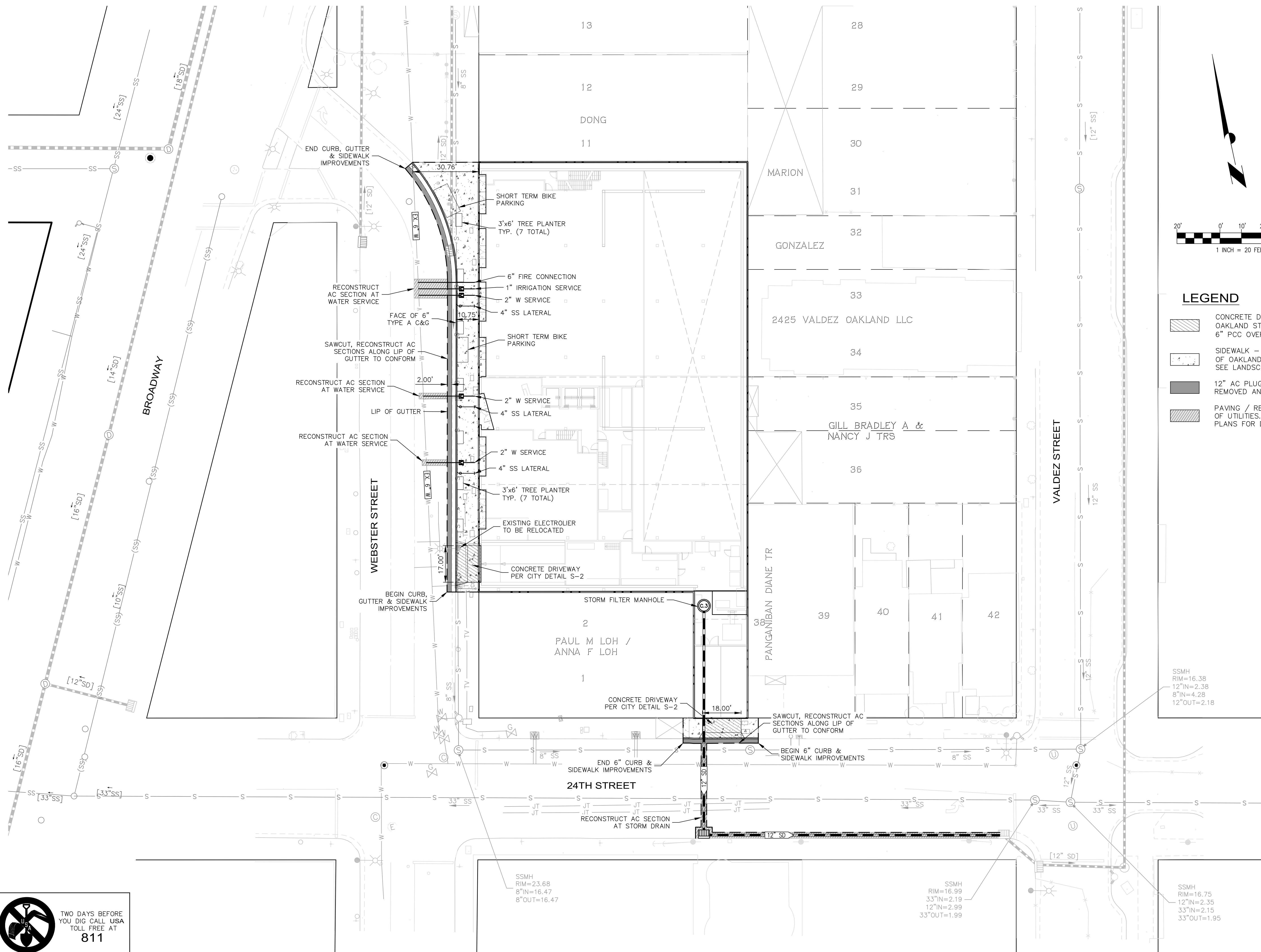
DEMOLITION NOTES

1. ALL UNDERGROUND UTILITIES SHALL REMAIN AND BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED.
2. TURN OFF ALL UTILITIES SERVING THE EXISTING BUILDING PRIOR TO DEMOLITION OF THE BUILDING.
3. DUST CONTROL MEASURES SHALL BE IMPLEMENTED DURING DEMOLITION.
4. SEE JOINT TRENCH PLAN FOR DRY UTILITY RELOCATION AND DRY UTILITY BOXES TO BE REMOVED, MODIFIED, OR ADJUSTED TO GRADE.
5. CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING USA AT 1-800-227-2600, OR 811.
6. TRAFFIC AND PEDESTRIAN CONTROL PLANS SHALL BE PREPARED PRIOR TO ANY SIDEWALK OR LANE CLOSURES.
7. PRIOR TO ANY DEMOLITION, EXISTING TREES TO REMAIN SHALL BE PROTECTED AS REQUIRED BY PROJECT ARBORIST.
8. ALL OTHER STRUCTURES SHALL REMAIN AND TO BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED.
9. ALL WORK INVOLVING CROSS WALK STRIPING, PAINTING OF CURB FACES, REMOVAL AND/OR PLACEMENT OF NEW STREET SIGNS, PARKING STALL STRIPING, AND REPLACING OF PARKING METERS NEED TO BE REVIEWED AND APPROVED BY PUBLIC WORKS TRANSPORTATION SERVICES DIVISION.

	<p>PRELIMINARY NOT FOR CONSTRUCTION</p>
<p>SIGNATURE DEVELOPMENT GROUP 2424 WEBSTER DESIGN REVIEW</p>	<p>NO. DATE</p>
<p>40+ YEARS ENGINEERING SURVEYING • PLANNING</p>	<p>DESCRIPTION</p>
<p>PHONE: (925) 932-6868 WWW.40YEARS.COM</p>	<p>DATE: 11-26-19</p>
<p>1301 GAY MARQUEL DR., #100 WALNUT GREEN, CA 94596</p>	<p>SCALE: 1" = 20'</p>
<p>DESIGNED BY: AMD</p>	<p>VERT: NONE</p>
<p>REVIEWED BY: SEH</p>	<p>2424 WEBSTER DESIGN REVIEW</p>
<p>DEMOLITION PLAN</p>	<p>C4.0</p>
<p>SHEET 6 OF 13</p>	<p>1</p>

TWO DAYS BEFORE YOU DIG CALL USA TOLL FREE AT 811
CALL BEFORE YOU DIG

F:\PROJECTS\2018\18-1065 WEBSTER.DWG DESIGN REVIEW



LEGEND

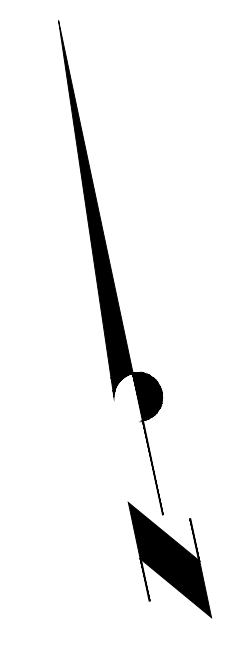
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- SIDEWALK - PEDESTRIAN RATED (CITY OF OAKLAND STANDARD DRAWING S-1). SEE LANDSCAPE PLANS.
- 12" AC PLUG ALONG CURB TO BE REMOVED AND REPLACED
- PAVING / REPAVING AFTER CONSTRUCTION OF UTILITIES. SEE ALSO JOINT TRENCH PLANS FOR DRY UTILITIES NOT SHOWN.

SSMH RIM=16.38
12"IN=2.38
8"IN=4.28
12"OUT=2.18

SSMH RIM=23.68
8"IN=16.47
8"OUT=16.47

SSMH RIM=16.99
33"IN=2.19
12"IN=2.99
33"OUT=1.99

SSMH RIM=16.75
12"IN=2.35
33"IN=2.15
33"OUT=1.95



DATE: 11-26-19
SCALE: 1"=20'
VERT: NONE
DESIGNED BY: AMD
REVIEWED BY: SEH
2424 WEBSTER DESIGN REVIEW

SITE PLAN

C5.0
SHEET 7 OF 13

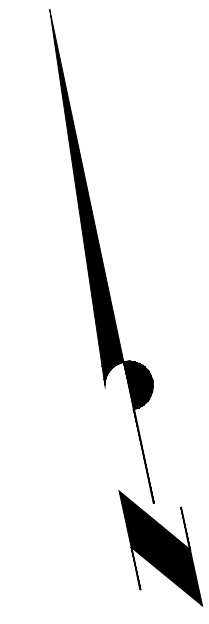
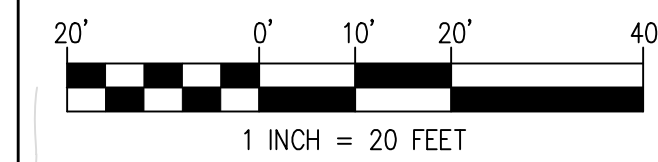
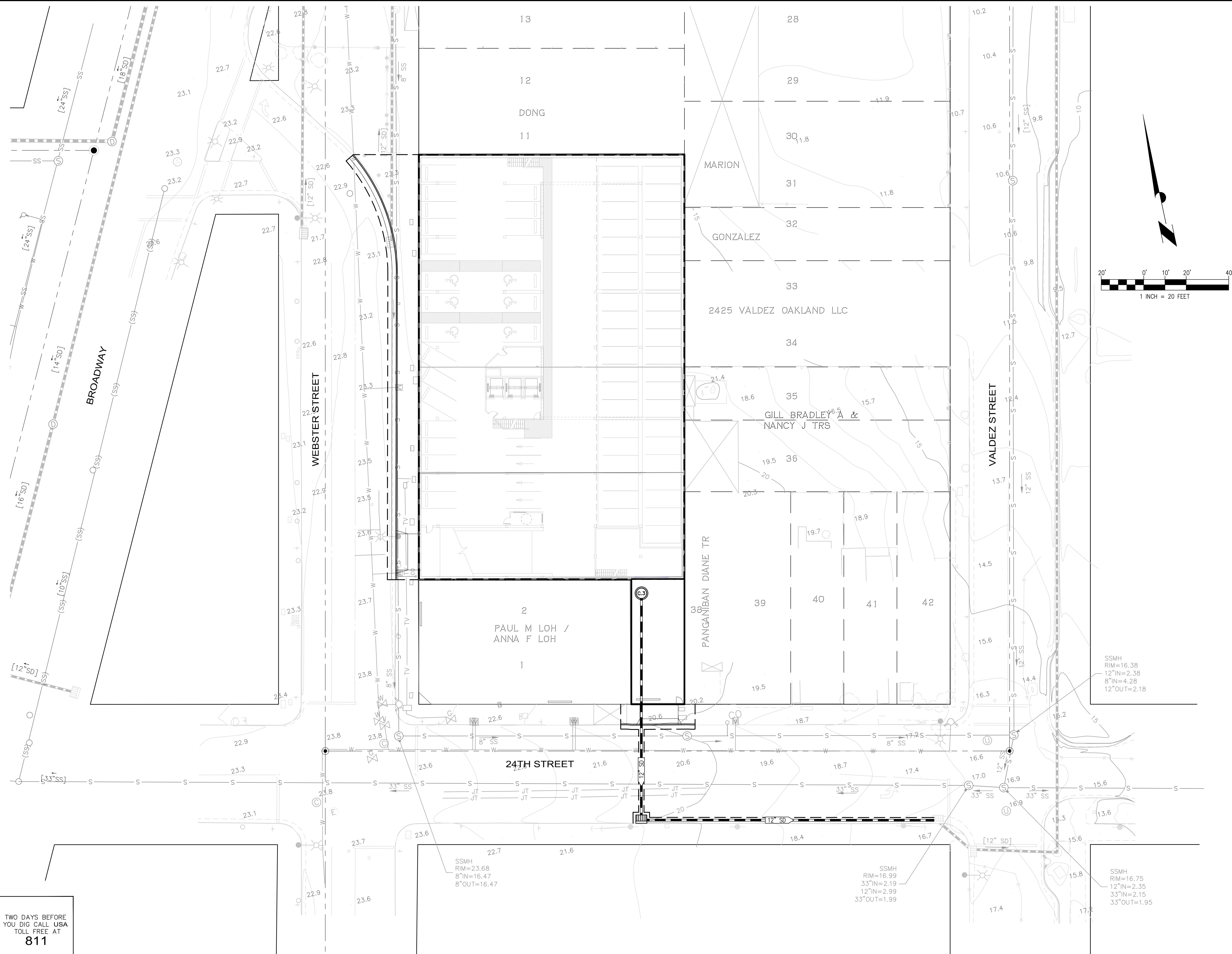
PROFESSIONAL ENGINEER
SCOTT L. WEBSTER
No. 49992
DATE: 11/26/19
CIVIL
STATE OF CALIFORNIA

SIGNATURE DEVELOPMENT GROUP
2424 WEBSTER
DESIGN REVIEW

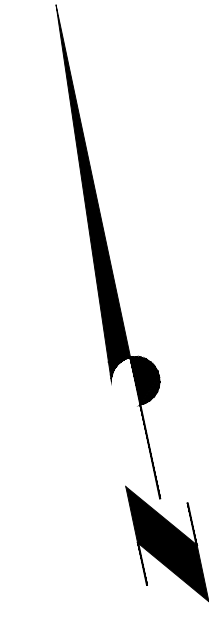
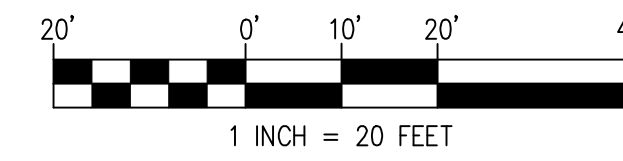
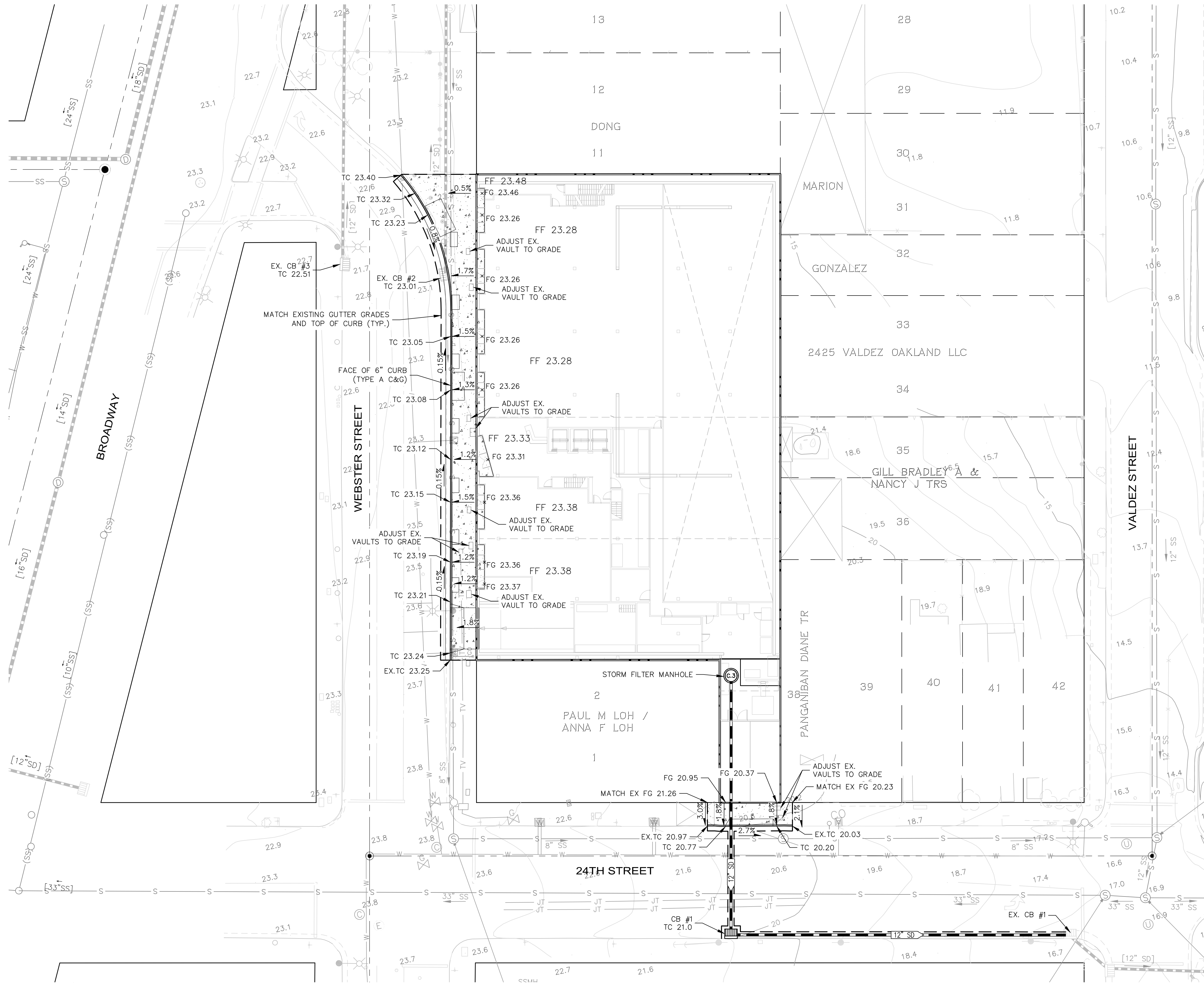
CITY OF OAKLAND
CALIFORNIA

DESCRIPTION
NO.
DATE
NO.
DATE

PRELIMINARY NOT FOR CONSTRUCTION



NO.	DATE
DESCRIPTION	AGENCY
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CITY OF OAKLAND CALIFORNIA	
DATE: 11-26-19 SCALE: HORIZ: 1"=20' VERT: NONE DESIGNED BY: AMD REVIEWED BY: SEH 2424 WEBSTER DESIGN REVIEW MASS GRADING PLAN	
C6.0 SHEET 8 OF 13	



NO.	DATE	DESCRIPTION	BY	AGENCY

PRELIMINARY NOT FOR CONSTRUCTION

REGISTERED PROFESSIONAL ENGINEER
 SCOTT HANFSTEN
 No. 49932
 DATE: 11/26/19
 CIVIL
 STATE OF CALIFORNIA

SIGNATURE DEVELOPMENT GROUP
2424 WEBSTER
 DESIGN REVIEW

CITY OF OAKLAND CALIFORNIA

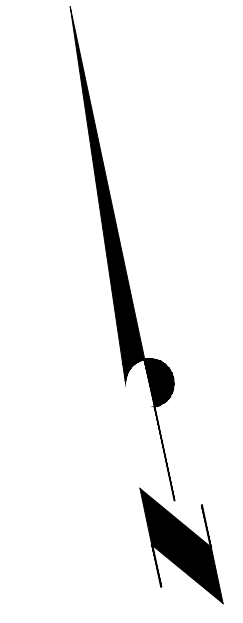
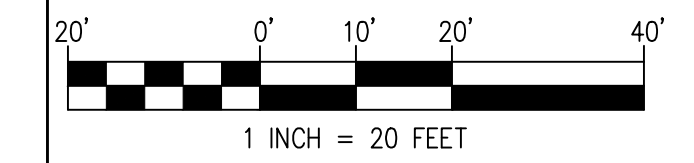
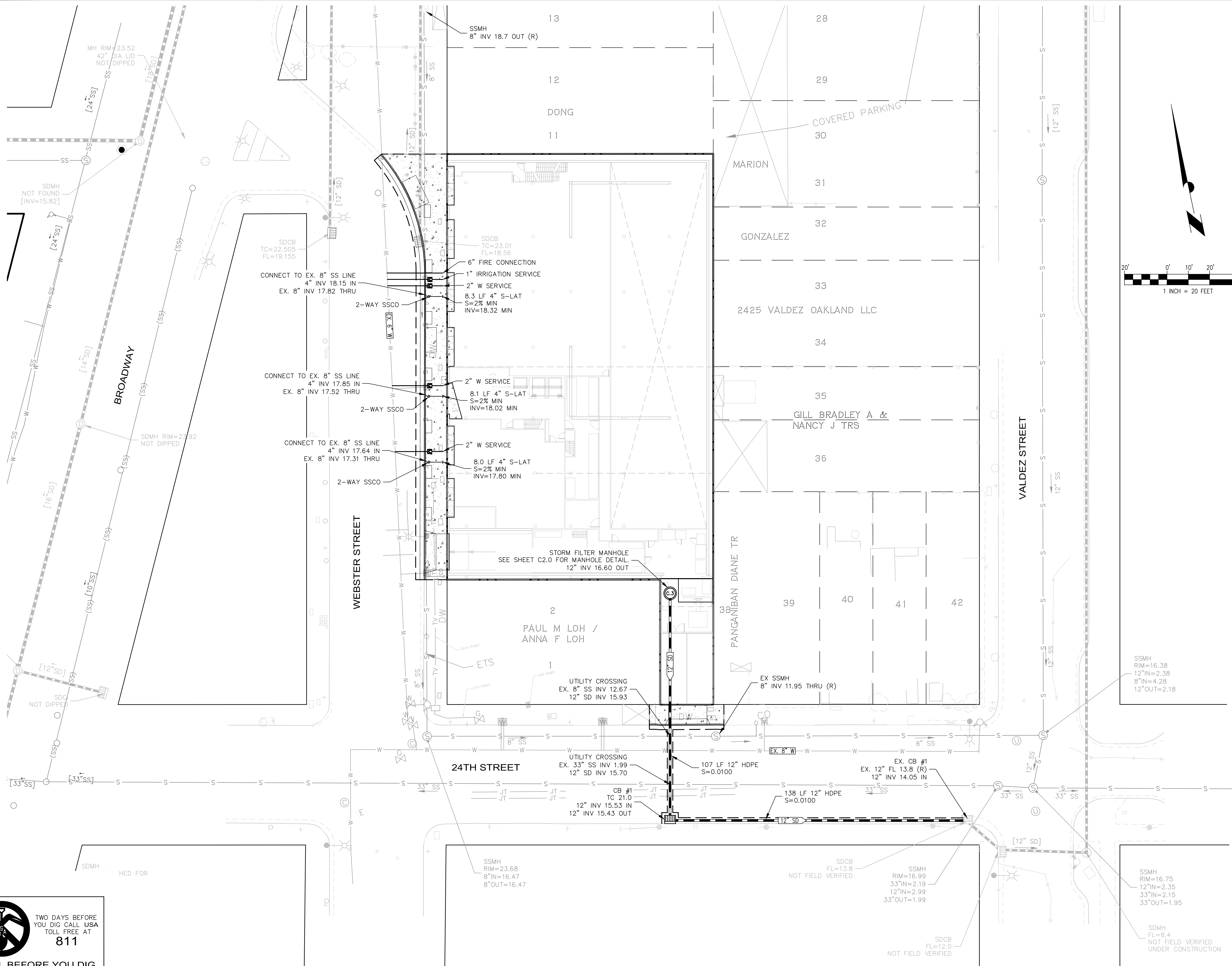
40+ YEARS
 ENGINEERING
 SURVEYING • PLANNING

PHONE: (925) 932-6668
 1101 SAN MARINO DR., #100
 WALNUT GREEN, CA 94596

DATE: 11-26-19
 SCALE: HORIZ: 1"=20'
 VERT: NONE
 DESIGNED BY: AMD
 REVIEWED BY: SEH
 2424 WEBSTER
 DESIGN REVIEW

FINE GRADING &
 DRAINAGE PLAN

C6.1
 SHEET 9 OF 13



NO.	DATE	DESCRIPTION	dk	AGENCY

PRELIMINARY NOT FOR CONSTRUCTION

REGISTERED PROFESSIONAL ENGINEER
 SCOTT L. WEBSTER
 No. 49952
 DATE: 01/11/2018
 CIVIL
 STATE OF CALIFORNIA

SIGNATURE DEVELOPMENT GROUP
2424 WEBSTER
 DESIGN REVIEW

CITY OF OAKLAND CALIFORNIA

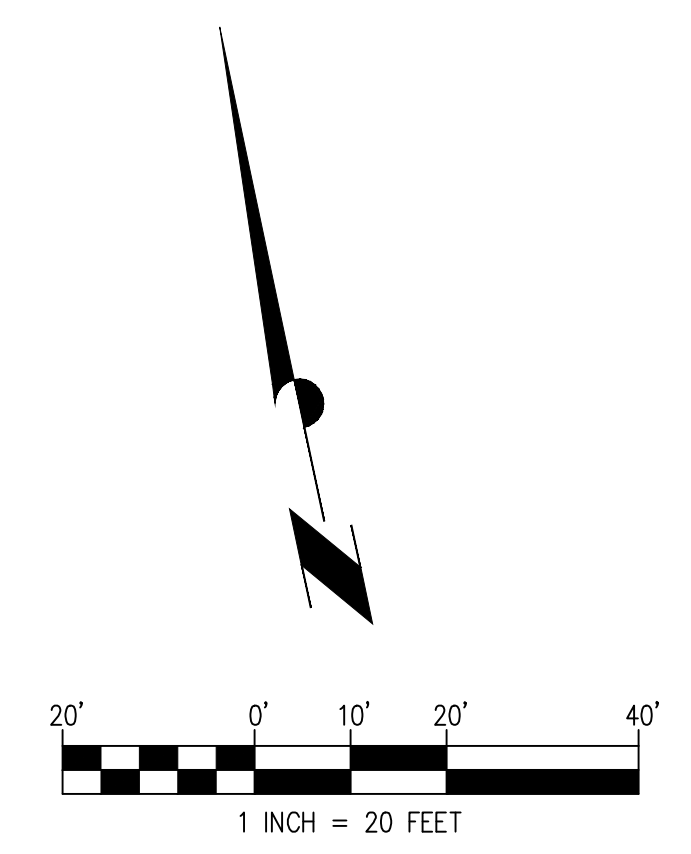
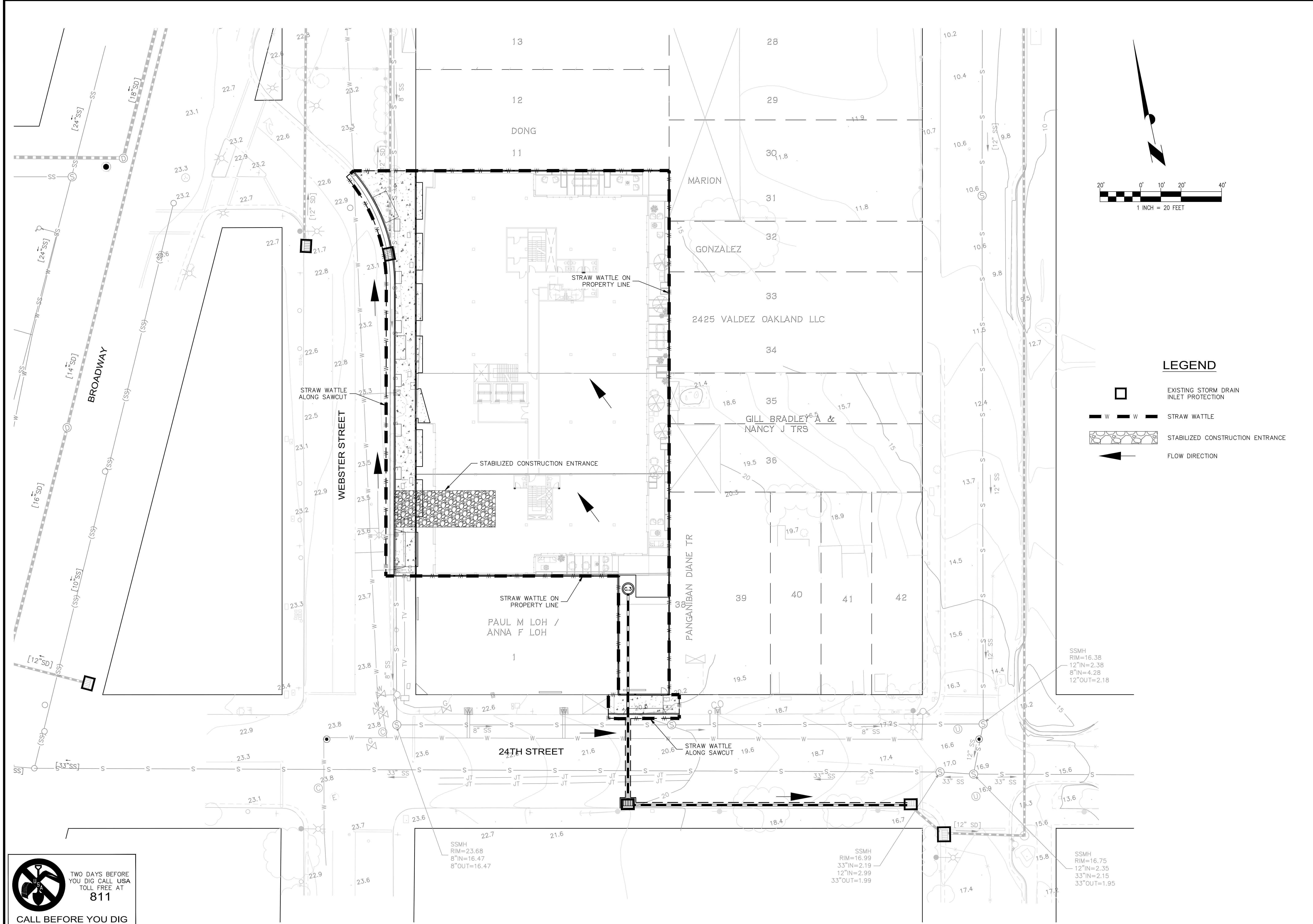
40 YEARS
 ENGINEERING
 SURVEYING • PLANNING

PHONE: (925) 932-6668
 1101 GAY MARQUE DR., #100
 WAKULUT GREEN, CA 94608





DATE: 11-26-19
 SCALE: 1"=20'
 HORZ: NONE
 VERT: NONE
 DESIGNED BY: AMD
 REVIEWED BY: SEH
 2424 WEBSTER
 DESIGN REVIEW

UTILITY PLAN

C7.0
 SHEET 10 OF 13

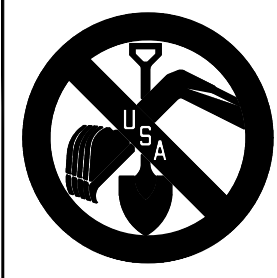


LEGEND

-  EXISTING STORM DRAIN INLET PROTECTION
-  STRAW WATTLE
-  STABILIZED CONSTRUCTION ENTRANCE
-  FLOW DIRECTION

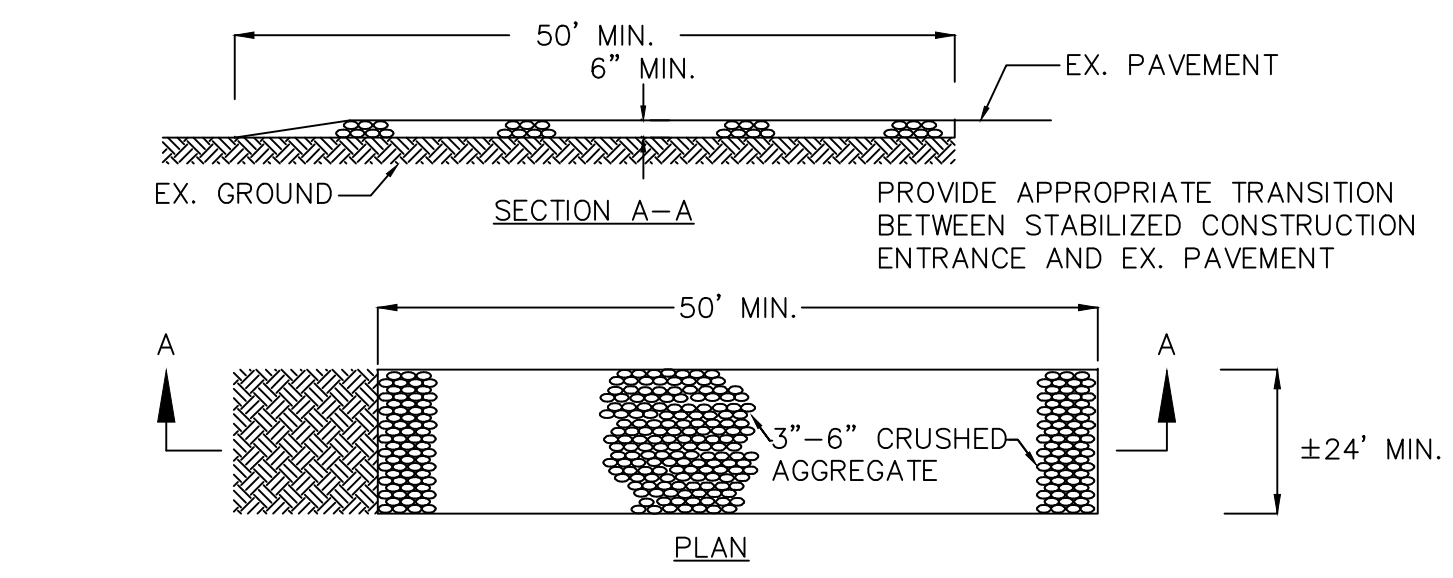
<p>PROFESSIONAL ENGINEER LARRY L. WEBSTER No. 103352 DATE: CIVIL STATE OF CALIFORNIA</p>	<p>DESCRIPTION NO. DATE NO. DATE</p>
<p>SIGNATURE DEVELOPMENT GROUP 2424 WEBSTER DESIGN REVIEW</p>	
<p>CITY OF OAKLAND CALIFORNIA</p>	
<p>PHONE: (925) 332-0000 WWW.LAWRYENGINEERING.COM 40+ YEARS ENGINEERING • PLANNING</p>	
<p>DATE: 11-26-19 SCALE: 1"=20' HORIZ: NONE VERT: NONE DESIGNED BY: AMD REVIEWED BY: SEH 2424 WEBSTER DESIGN REVIEW</p>	
<p>EROSION CONTROL PLAN</p>	
<p>C8.0 SHEET 11 OF 13</p>	

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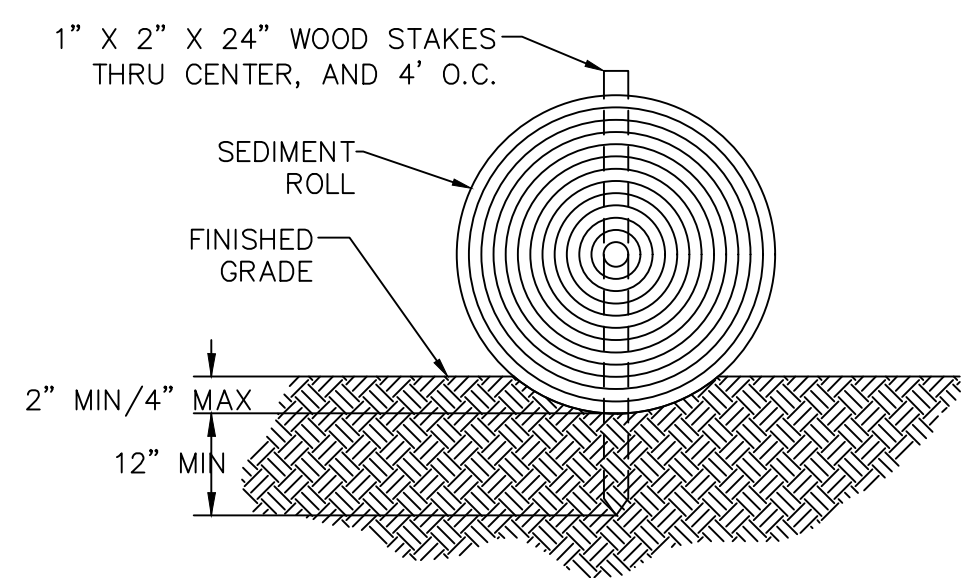


TWO DAYS BEFORE
 YOU DIG CALL USA
 TOLL FREE AT
811
 CALL BEFORE YOU DIG

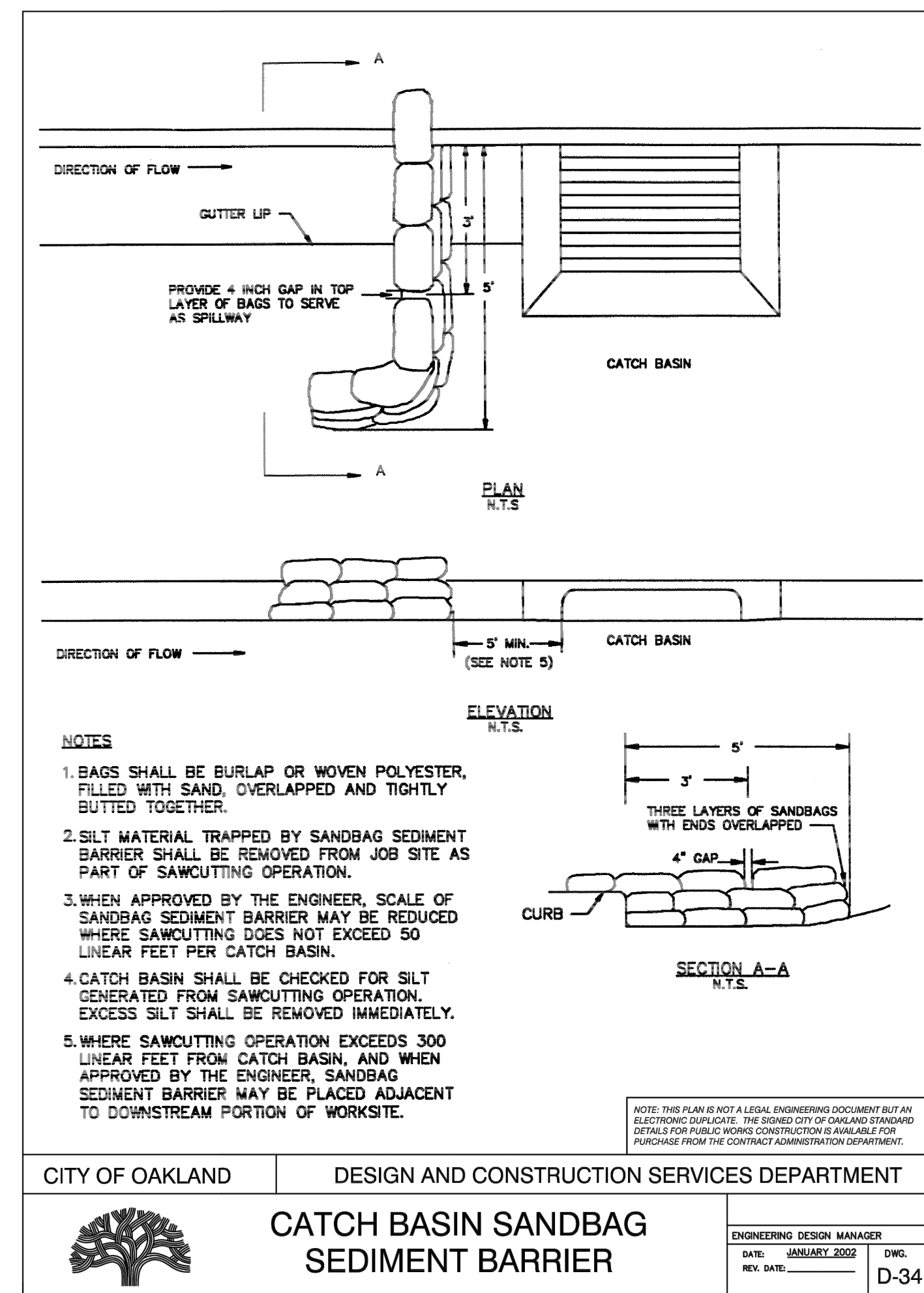
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STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



STRAW WATTLES DETAIL
NOT TO SCALE



CITY OF OAKLAND	DESIGN AND CONSTRUCTION SERVICES DEPARTMENT
CATCH BASIN SANDBAG SEDIMENT BARRIER	
ENGINEERING DESIGN MANAGER	
DATE: JANUARY 2022	DWG. NO. D-34

EROSION CONTROL NOTES

- TEMPORARY EROSION CONTROL DEVICES SHOWN ON GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
- EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON AND MAINTAINED DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15).
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG) "MANUAL OF STANDARDS FOR EROSION AND SEDIMENT CONTROL MEASURES" UNLESS OTHERWISE STATED WITHIN THESE GENERAL NOTES. CONTROL MEASURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DIVISION OF THE PUBLIC SERVICES DEPARTMENT. SCHEDULE AN ENGINEERING INSPECTION BY CALLING 925-943-5839 AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.
- ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- A CONCRETE WASHOUT IS REQUIRED FOR ALL CONCRETE WORK. THE WASHOUT SHALL CONSIST OF A CONTAINMENT AREA ENCLOSED BY AN EARTHEN DIKE. PLASTIC TARP, COVERING THE CONTAINMENT AREA AND EARTHEN DIKE, SHALL BE STAKED IN AT OUTSIDE EDGE OF EARTHEN DIKE.
- ADDITIONAL CONTAINMENT METHODS MUST BE PROVIDED FOR ANY WASTE STORAGE AREA, STOCKPILE/MATERIAL STORAGE AREA AND/OR CONSTRUCTION TOILET AREA.
- STAND-BY CREWS SHALL BE ALERTED BY THE PERMITTEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.
- AFTER OCTOBER 1, ALL EROSION CONTROL MEASURES WILL BE INSPECTED DAILY AND AFTER EACH STORM. AFTER OCTOBER 1, BREACHES IN DIKES AND SWALES WILL BE REPAIRED AT THE CLOSE OF EACH DAY AND WHENEVER RAIN IS FORECAST.
- AS A PART OF THE EROSION CONTROL MEASURES, UNDERGROUND STORM DRAIN FACILITIES AND CONCRETE SHALL BE INSTALLED COMPLETE AS SHOWN ON THE GRADING PLAN.
- IF ANY GRADING OPERATIONS, OTHER THAN LOT FINISH GRADING, ARE TO BE PERFORMED DURING THE RAINY SEASON, OCTOBER 1 THROUGH APRIL 15, AN EROSION CONTROL PLAN MUST BE SUBMITTED BY SEPTEMBER 1 AND THE PLAN MUST BE APPROVED BY THE CITY OF OAKLAND PRIOR TO THE COMMENCEMENT OF ANY SUCH GRADING OPERATIONS.
- SANDBAGS, STRAW WATTLES AND/OR STRAW BALES SHALL BE STOCKPILED ON SITE AND PLACED AT INTERVALS SHOWN ON EROSION CONTROL PLANS, WHEN THE RAIN FORECAST IS 40% OR GREATER, OR WHEN DIRECTED BY THE INSPECTOR.
- SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL. APPROVED SANDBAG FILL MATERIALS ARE DECOMPOSED GRANITE AND/OR GRAVEL, OR OTHER MATERIALS APPROVED BY THE INSPECTOR.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THESE PLANS IN THE FIELD, SUBJECT TO APPROVAL OF THE CITY ENGINEER.
- EROSION CONTROL STRUCTURES SHALL BE ADJUSTED BY THE CONTRACTOR TO REFLECT ALL CHANGES IN DRAINAGE AS STREETS AND BUILDING PADS ARE BEING INSTALLED.

AGENCY	dk
DESCRIPTION	
DATE	
NO.	

SIGNATURE DEVELOPMENT GROUP
2424 WEBSTER
 DESIGN REVIEW

CITY OF OAKLAND
 CALIFORNIA

40+ YEARS
ENGINEERING
 SURVEYING • PLANNING

PHONE: (925) 832-6668
 1101 GAY MARQUEL DR., #100
 WALNUT CREEK, CA 94596

DATE:	11-26-19
SCALE:	HORZ: NONE
	VERT: NONE
DESIGNED BY:	AMD
REVIEWED BY:	SEH
2424 WEBSTER DESIGN REVIEW	
EROSION CONTROL NOTES	
C8.1	
SHEET 12 OF 13	

PRELIMINARY NOT FOR CONSTRUCTION

NOTES

1. ROOF LEADERS WILL DIRECT STORMWATER RUNOFF TO C.3 TREATMENT DEVICES.
2. ADDITIONAL PROPOSED SITE CONTROL MEASURES:
 - MINIMIZE IMPERVIOUS SURFACE AREAS.
 - DIRECT ROOD RUNOFF ONTO VEGETATED AREAS.
3. PROPOSED SOURCE CONTROL MEASURES:
 - PLUMB INTERIOR FLOOR DRAINS TO SANITARY SEWER.
 - PLUMB INTERIOR PARKING GARAGE FLOOR DRAINS TO SANITARY SEWER.

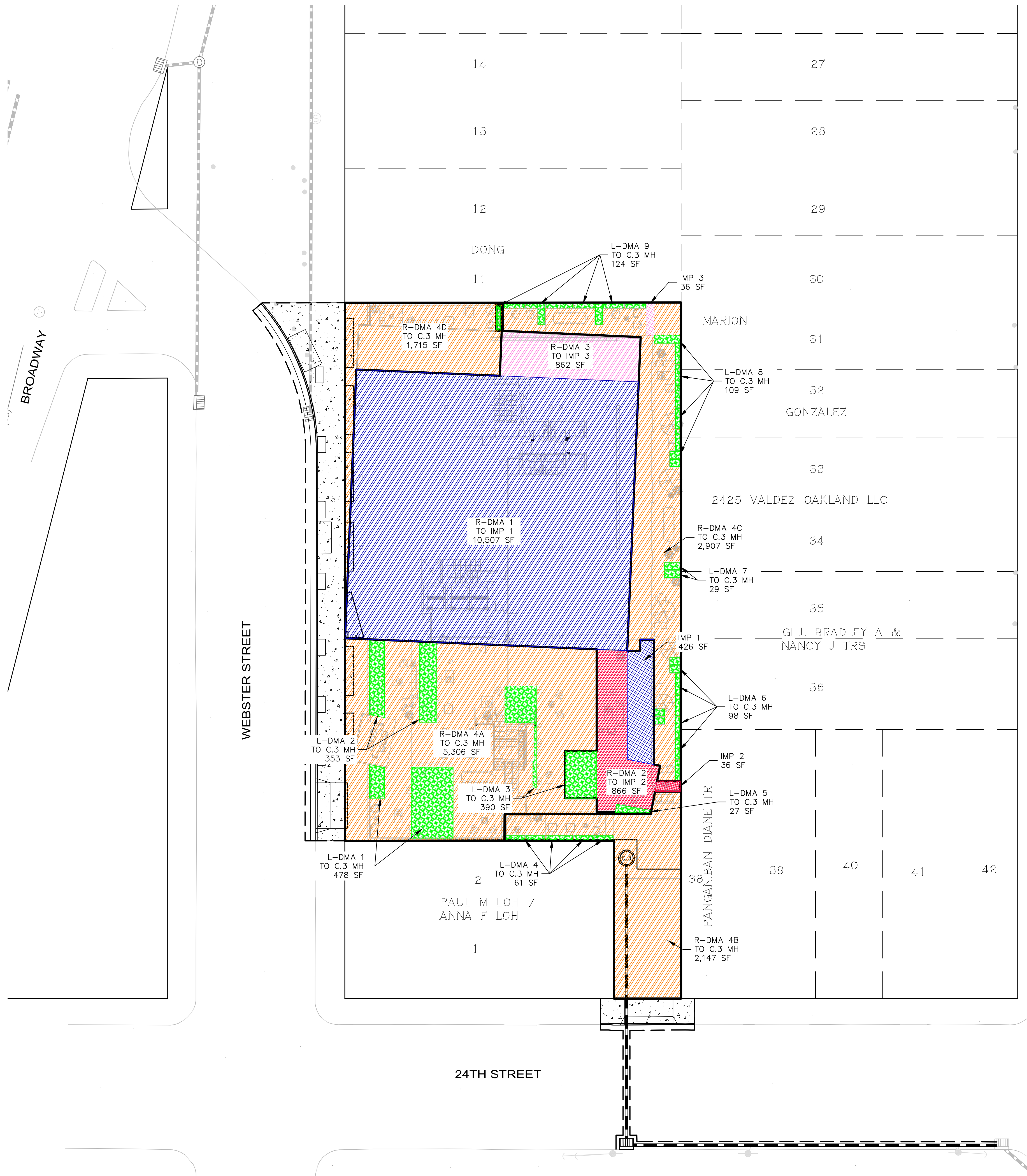
C.3 STORMWATER CONTROL EXHIBIT NOTES

1. CALCULATIONS ARE BASED ON THE ALAMEDA COUNTY CLEAN WATER PROGRAM'S "C.3 STORMWATER TECHNICAL GUIDANCE", VERSION 6, OCTOBER 31, 2017 (GUIDEBOOK).
 2. THE PROJECT TOTAL SITE AREA IS 0.61 ACRES AND THE TOTAL AREA OF LAND DISTURBED IS 0.70 ACRES.
 3. THIS PROJECT PROPOSES TO REPLACE 0.557 ACRES OF EXISTING IMPERVIOUS SURFACE AREA ON-SITE. THE TOTAL PRE-PROJECT IMPERVIOUS SURFACE AREA IS 0.608 ACRES ON-SITE. THE TOTAL POST-PROJECT IMPERVIOUS SURFACE AREA IS 0.557 ACRES ON-SITE. THERE IS A REDUCTION OF ON-SITE IMPERVIOUS AREA DUE TO THE ADDITIONS OF C.3 PLANTERS AND OTHER LANDSCAPING LOCATED ON LEVEL 3 AND LEVEL 7.
- IN ADDITION, THE PROJECT PROPOSES TO REPLACE 3,991 SQUARE FEET OF EXISTING OFF-SITE IMPERVIOUS AREA, INCLUDING THE PUBLIC STREETS (SIDEWALK, DRIVEWAYS, AND ROAD). THE PRE-PROJECT OFF-SITE IMPERVIOUS AREA IS 4,117 SQUARE FEET, INCLUDING PUBLIC STREETS (ROAD AND SIDEWALK). THERE IS A REDUCTION OF OFF-SITE IMPERVIOUS AREA DUE TO THE ADDITIONS OF TREE GRATES OR PLANTERS ALONG WEBSTER STREET.
4. THIS PROJECT QUALIFIES AS A SPECIAL PROJECT UNDER CATEGORY B IN ACCORDANCE WITH THE ALAMEDA COUNTY CLEAN WATER PROGRAM'S "C.3 STORMWATER TECHNICAL GUIDANCE", VERSION 6.
 5. PROVISION C.3 PROJECT REQUIREMENTS FOR CATEGORY B: LARGER INFILL PROJECTS UNDER APPENDIX J.3 INCLUDE:
 - 5.1. BE BUILT AS PART OF THE MUNICIPALITY'S STATED OBJECTIVE TO PRESERVE OR ENHANCE A PEDESTRIAN-ORIENTED TYPE OF URBAN DESIGN.
 - 5.2. BE LOCATED IN A PERMITTEE'S DESIGNATED CENTRAL BUSINESS DISTRICT, DOWNTOWN CORE AREA OR DOWNTOWN CORE ZONING DISTRICT, NEIGHBORHOOD BUSINESS DISTRICT OR COMPARABLE PEDESTRIAN ORIENTED COMMERCIAL DISTRICT, OR HISTORIC PRESERVATION SITE AND/OR DISTRICT.
 - 5.3. CREATE AND/OR REPLACE GREATER THAN ONE-HALF ACRE BUT NO MORE THAN 2 ACRES OF IMPERVIOUS SURFACE AREA.
 - 5.4. INCLUDE NO SURFACE PARKING, EXCEPT FOR INCIDENTAL SURFACE PARKING. INCIDENTAL SURFACE PARKING IS ALLOWED ONLY FOR EMERGENCY VEHICLE ACCESS, ADA ACCESSIBILITY, AND PASSENGER AND FREIGHT LOADING ZONES.
 - 5.5. HAVE AT LEAST 85% COVERAGE FOR THE ENTIRE PROJECT SITE BY PERMANENT STRUCTURES. THE REMAINING 15% PORTION OF THE SITE IS TO BE USED FOR SAFETY ACCESS, PARKING STRUCTURE ENTRANCES, TRASH AND RECYCLING SERVICE, UTILITY ACCESS, PEDESTRIAN CONNECTIONS, PUBLIC USES, LANDSCAPING AND STORMWATER TREATMENT.
 6. THERE IS A TOTAL OF 24,310 SQUARE FEET OF POST-PROJECT IMPERVIOUS SURFACE AREA ON-SITE. THE LANDSCAPED AREAS ON-SITE ARE APPROXIMATELY 1,669 SQUARE FEET, AND C.3 PLANTERS ARE 498 SQUARE FEET.
 7. UNDER CATEGORY B PER CITY OF OAKLAND STORMWATER SUPPLEMENTAL FORM, 100% OF THE TOTAL POST-PROJECT IMPERVIOUS SURFACE AREA (24,310 SQUARE FEET) CAN BE TREATED WITH NON-LID TREATMENT MEASURES.
 8. THE ACTUAL POST-PROJECT IMPERVIOUS SURFACE AREA ON-SITE TO BE TREATED BY HIGH FLOW-RATE MEDIA FILTERS IS 12,075 SQUARE FEET. AS A RESULT, 50% OF THE TOTAL POST-PROJECT IMPERVIOUS AREA ON-SITE IS TREATED WITH NON-LID TREATMENT MEASURES. THE PROPOSED IMPERVIOUS SURFACE AREA ON-SITE TO BE TREATED BY C.3 PLANTERS IS 12,235 SQUARE FEET. AS A RESULT, 50% OF THE TOTAL POST-PROJECT IMPERVIOUS AREA ON-SITE IS TREATED WITH LID MEASURES. THEREFORE, THE PROPOSED PROJECT PROVIDES MORE LID TREATMENT THAN IS REQUIRED.
 9. DESIGN CRITERIA
 - 9.1. MEAN ANNUAL PRECIPITATION = 24 INCHES PER ALAMEDA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT, ATTACHMENT 6
 - 9.2. HYDRAULIC DESIGN CRITERIA: 0.2 INCHES PER HOUR RAINFALL INTENSITY

DMA SUMMARY TO C.3 PLANTERS (LID FACILITIES)					
DMA NAME	DESCRIPTION	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	PERVIOUS AREA X0.1 (SF)	EFFECTIVE IMPERVIOUS AREA (EIA) (SF)
R-DMA 1 TO IMP 1	ROOF	10,507	0	0	10,507
R-DMA 2 TO IMP 2	ROOF	866	0	0	866
R-DMA 3 TO IMP 3	ROOF	862	0	0	862

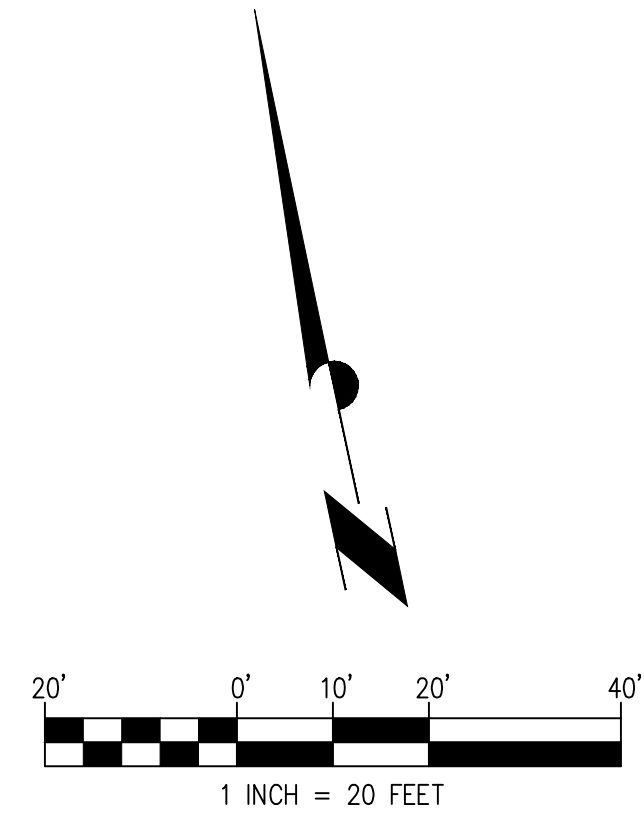
SIZING OF C.3 PLANTERS			
DMA NAME	TOTAL EIA (SF)	REQUIRID C.3 PLANTER SIZE (EIA X 0.04) (SF)	PROVIDED C.3 PLANTER SIZE (SF)
R-DMA 1 TO IMP 1	10,507	420	426
R-DMA 2 TO IMP 2	866	35	36
R-DMA 3 TO IMP 3	862	34	36
TOTALS (SF)	12,235	489	498

DMA SUMMARY TO C.3 STORM FILTER MANHOLE (NON-LID)			
DMA NAME	DESCRIPTION	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)
R-DMA 4A	ROOF	5,306	0
R-DMA 4B	ROOF	2,147	0
R-DMA 4C	ROOF	2,907	0
R-DMA 4D	ROOF	1,715	0
L-DMA	LANDSCAPE	0	1,669
TOTAL (SF)		12,075	1,669



LEGEND

- C.3 TREATMENT AREA (IMP)
- AREAS DRAINING TO IMP 1
- AREAS DRAINING TO IMP 2
- AREAS DRAINING TO IMP 3
- AREAS DRAINING TO C.3 MANHOLE
- LANDSCAPING



F:\PROJECTS\2018\18-1065 WEBSTER.DWG DESIGN REVIEW

	<p>PRELIMINARY NOT FOR CONSTRUCTION</p>
<p>SIGNATURE DEVELOPMENT GROUP 2424 WEBSTER DESIGN REVIEW</p>	<p>CITY OF OAKLAND CALIFORNIA</p>
<p>40+ YEARS ENGINEERING SURVEYING • PLANNING</p>	<p>DATE: 11-26-19 SCALE: 1"=20' VERT: NONE DESIGNED BY: AMD REVIEWED BY: SEH 2424 WEBSTER DESIGN REVIEW</p>
<p>STORMWATER CONTROL PLAN</p>	<p>C9.0 SHEET 13 OF 13</p>



LEED v4 for BD+C: New Construction and Major Renovation

Project Checklist

Project Name: 2424 Webster Street

Date: 6/13/19

Y ? N

1			Credit	Integrative Process	1
13	0	0	Location and Transportation		16
			Credit	LEED for Neighborhood Development Location	16
			Credit	Sensitive Land Protection	1
			Credit	High Priority Site	2
5			Credit	Surrounding Density and Diverse Uses	5
5			Credit	Access to Quality Transit	5
1			Credit	Bicycle Facilities	1
1			Credit	Reduced Parking Footprint	1
1			Credit	Green Vehicles	1
6	0	0	Sustainable Sites		10
Y			Prereq	Construction Activity Pollution Prevention	Required
			Credit	Site Assessment	1
			Credit	Site Development - Protect or Restore Habitat	2
			Credit	Open Space	1
3			Credit	Rainwater Management	3
2			Credit	Heat Island Reduction	2
1			Credit	Light Pollution Reduction	1
5	0	0	Water Efficiency		11
Y			Prereq	Outdoor Water Use Reduction	Required
Y			Prereq	Indoor Water Use Reduction	Required
Y			Prereq	Building-Level Water Metering	Required
1			Credit	Outdoor Water Use Reduction	2
3			Credit	Indoor Water Use Reduction	6
			Credit	Cooling Tower Water Use	2
1			Credit	Water Metering	1
14	0	0	Energy and Atmosphere		33
Y			Prereq	Fundamental Commissioning and Verification	Required
Y			Prereq	Minimum Energy Performance	Required
Y			Prereq	Building-Level Energy Metering	Required
Y			Prereq	Fundamental Refrigerant Management	Required
3			Credit	Enhanced Commissioning	6
8			Credit	Optimize Energy Performance	18
1			Credit	Advanced Energy Metering	1
2			Credit	Demand Response	2
			Credit	Renewable Energy Production	3
			Credit	Enhanced Refrigerant Management	1
			Credit	Green Power and Carbon Offsets	2

2	0	0	Materials and Resources		13
Y			Prereq	Storage and Collection of Recyclables	Required
Y			Prereq	Construction and Demolition Waste Management Planning	Required
			Credit	Building Life-Cycle Impact Reduction	5
			Credit	Building Product Disclosure and Optimization - Environmental Product Declarations	2
			Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
			Credit	Building Product Disclosure and Optimization - Material Ingredients	2
2			Credit	Construction and Demolition Waste Management	2
9	0	0	Indoor Environmental Quality		16
Y			Prereq	Minimum Indoor Air Quality Performance	Required
Y			Prereq	Environmental Tobacco Smoke Control	Required
1			Credit	Enhanced Indoor Air Quality Strategies	2
2			Credit	Low-Emitting Materials	3
1			Credit	Construction Indoor Air Quality Management Plan	1
2			Credit	Indoor Air Quality Assessment	2
1			Credit	Thermal Comfort - ASHRAE Standard 55-2010	1
1			Credit	Interior Lighting	2
			Credit	Daylight	3
			Credit	Quality Views	1
1			Credit	Acoustic Performance	1
1	0	0	Innovation		6
			Credit	Innovation	5
1			Credit	LEED Accredited Professional	1
1	0	0	Regional Priority		4
1			Credit	Regional Priority: Specific Credit	1
			Credit	Regional Priority: Specific Credit	1
			Credit	Regional Priority: Specific Credit	1
			Credit	Regional Priority: Specific Credit	1

52	0	0	TOTALS		Possible Points: 110
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Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110