



METAL FRAME SCREEN W/ SOLID ACOUSTIC PANEL W/ WOOD LATTICE



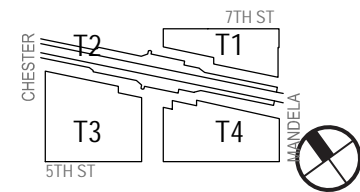
10' TALL GLASS VERTICAL PROTECTION SCREEN



MANDELA STATION
@WEST OAKLAND

BART

1451 7th St, Oakland,
CA 94607



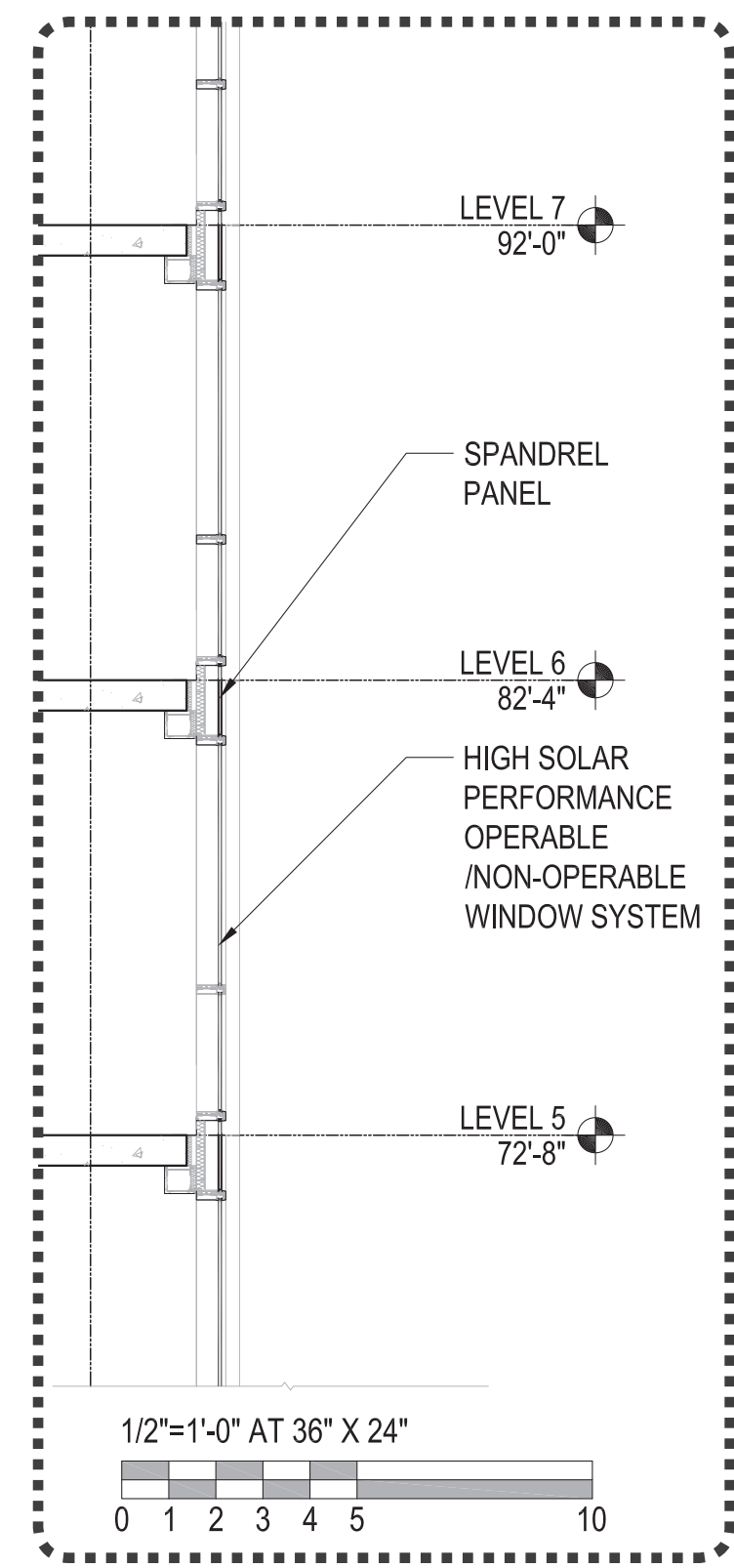
JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

SHEET: MATERIAL PALETTE
A-02.06



TYPICAL CURTAIN WALL DETAIL

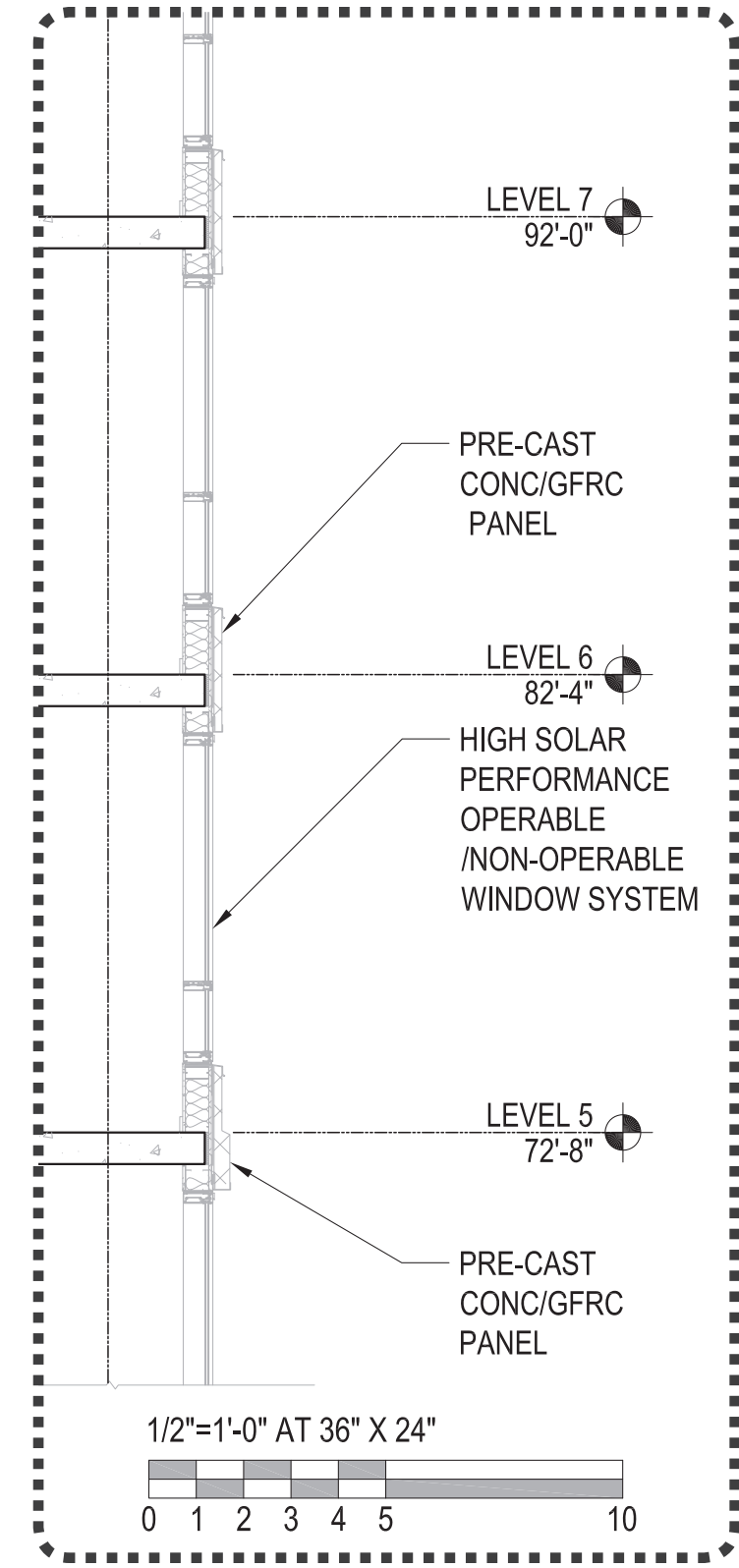
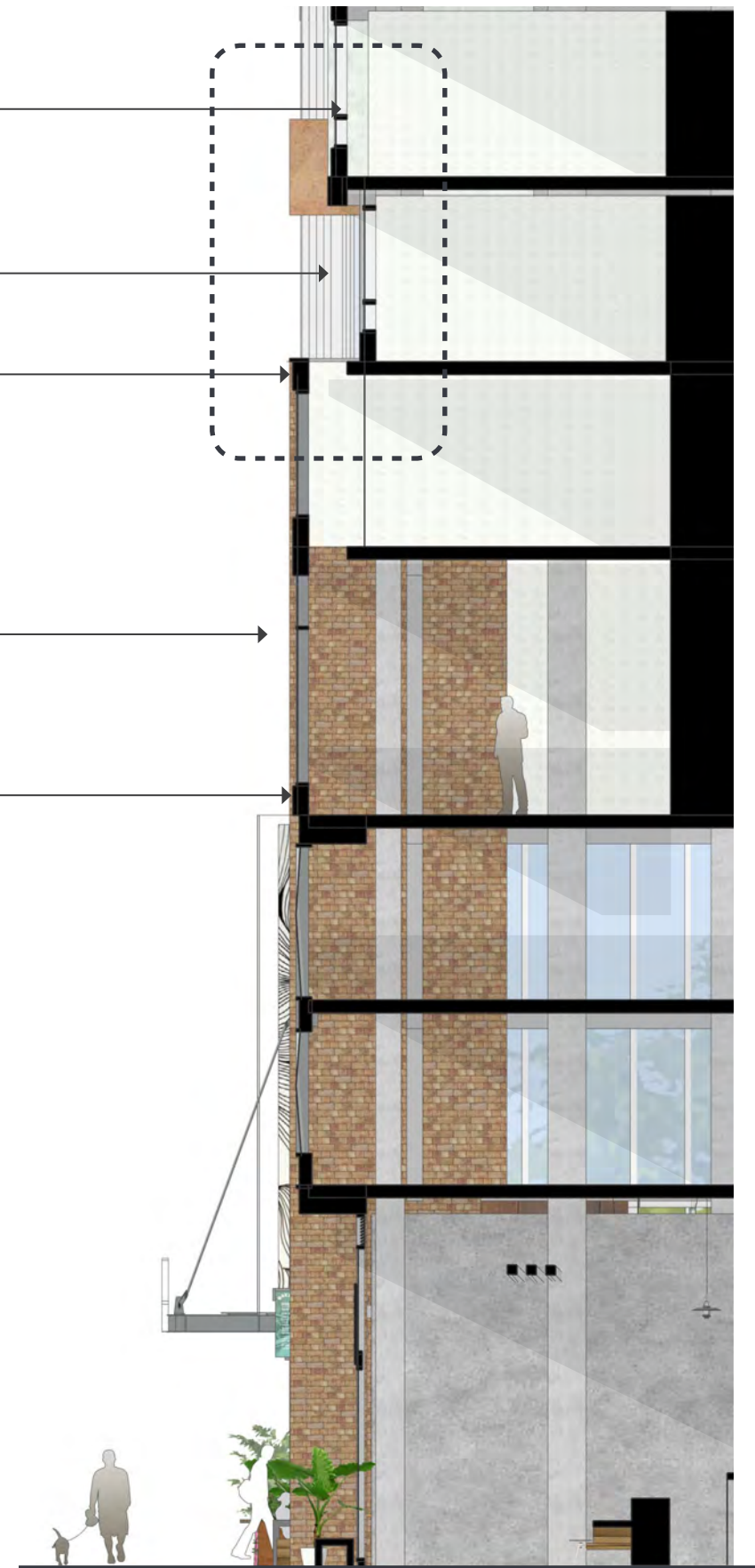
HIGH SOLAR PERFORMANCE
OPERABLE/NON OPERABLE
ALUMINUM WINDOW SYSTEM

ARCHITECTURAL PRECAST PANEL

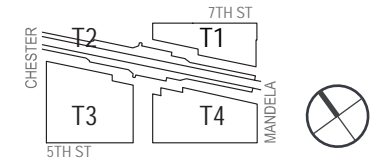
ROUGH TEXTURE MTL PANEL

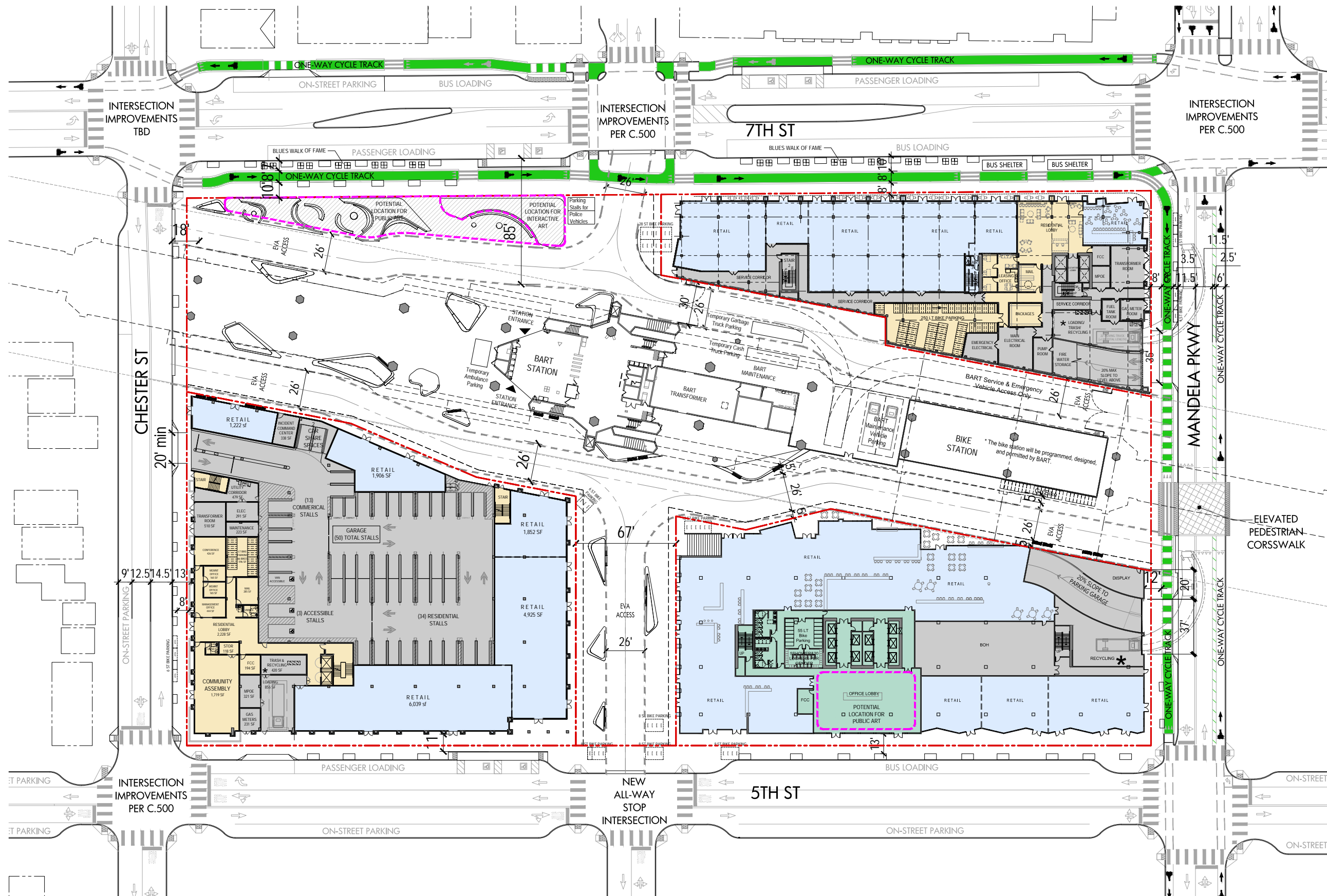
LIGHT GAUGE MTL WALLS W/
THIN BRICK FACE

METAL PANEL

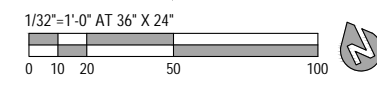


TYPICAL PUNCH OPENING

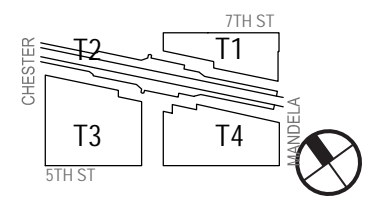




1. The recycling space on T1 site is 1,150 cubic feet minimum, on T3 site is 510 cubic feet minimum, and on T4 site is 647 cubic feet minimum. The total recycling space on site is 2,307 cubic feet minimum.



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607

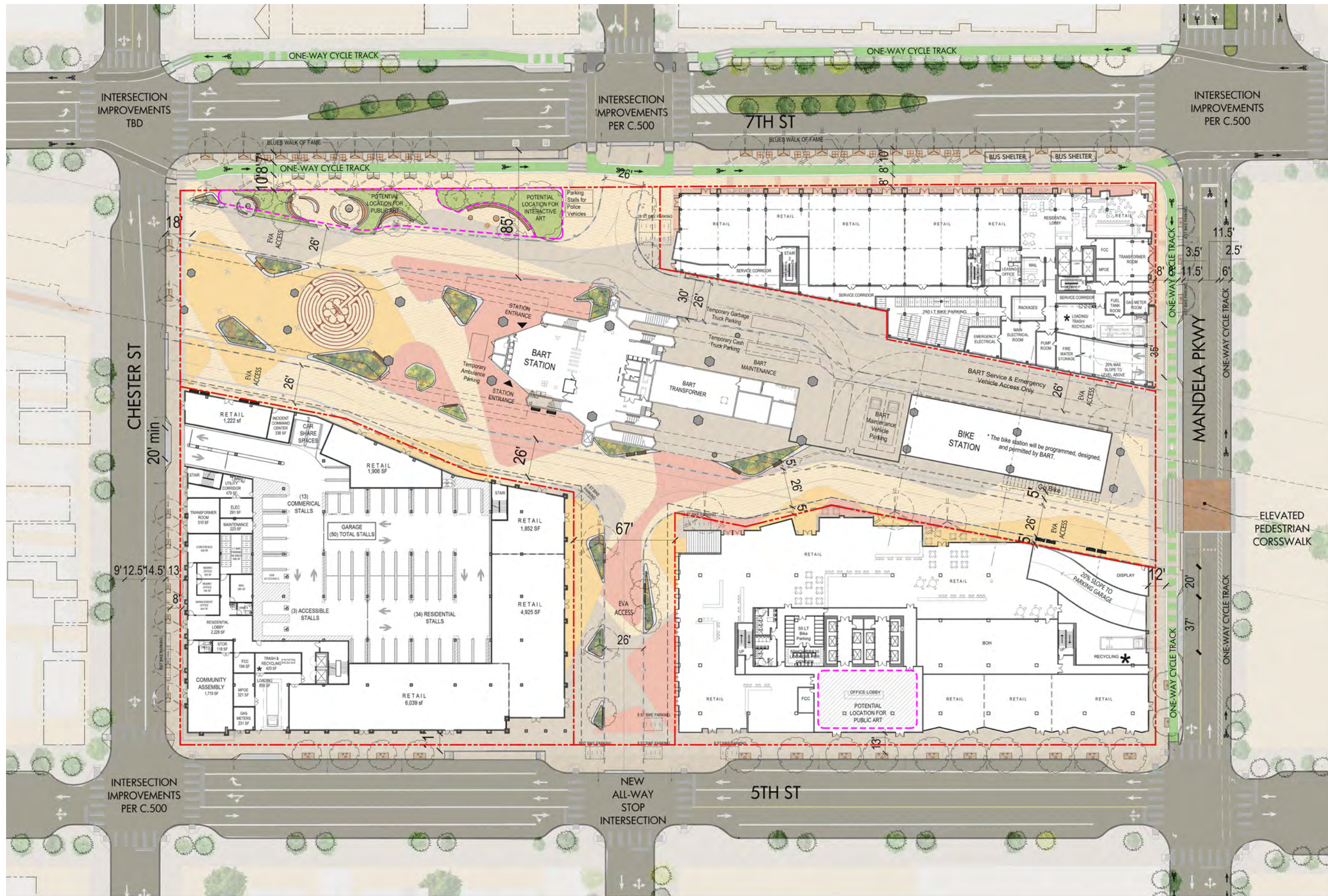


**JRDV URBAN
INTERNATIONAL**
JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: July 24, 2020

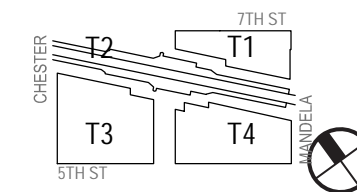
SHEET: SITE PLAN
A-10.01



The recycling space on T1 site is 1,150 cubic feet minimum, on T3 site is 510 cubic feet minimum, and on T4 site is 647 cubic feet minimum. The total recycling space on site is 2,307 cubic feet minimum.



MANDELA STATION
@WEST OAKLAND
BART
 1451 7th St, Oakland,
 CA 94607

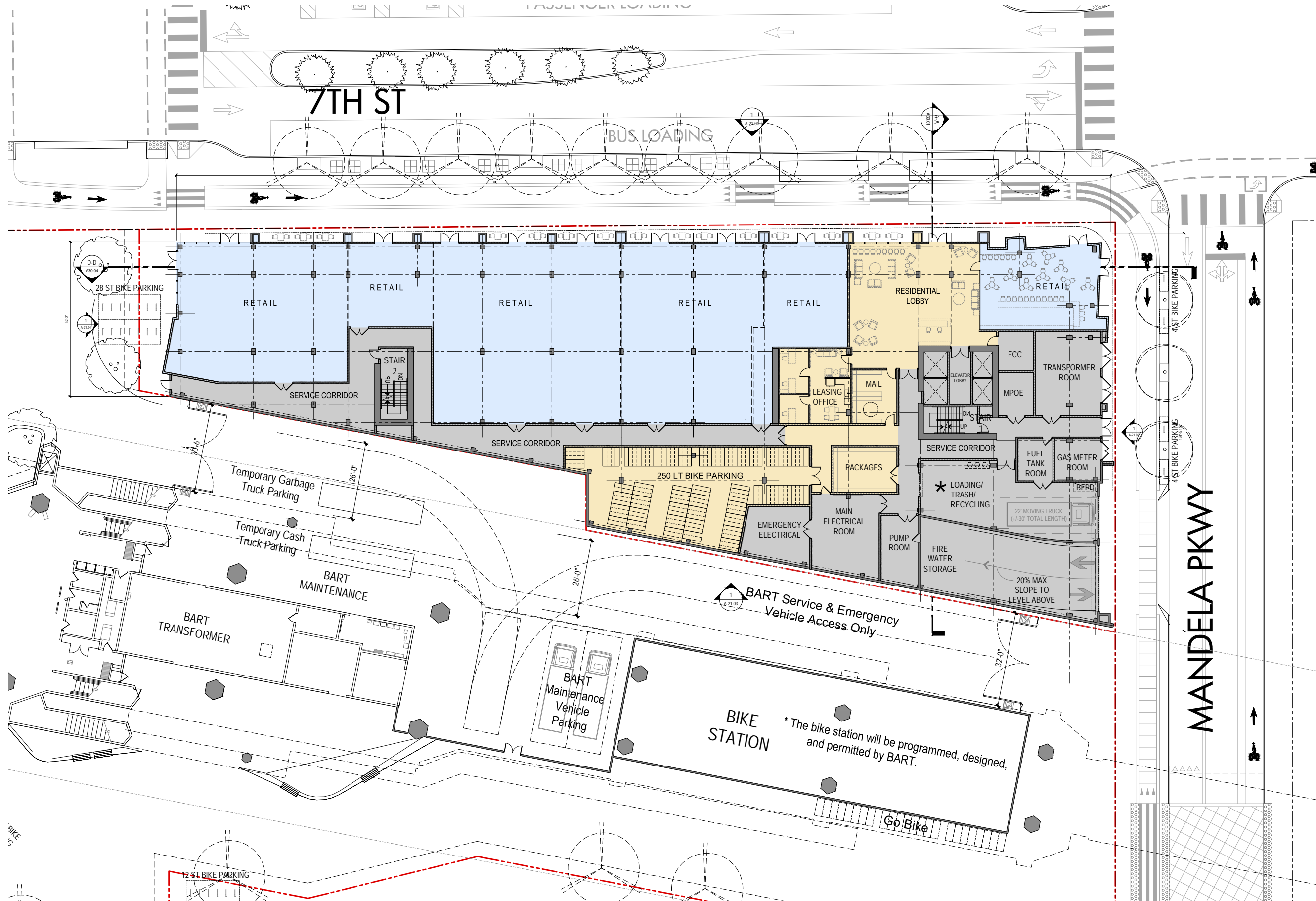


JRDV URBAN
 INTERNATIONAL
 JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com

BKF100+
 YEARS
 ENGINEERS · SURVEYORS · PLANNERS
stök
 PGAdesign
 LANDSCAPE ARCHITECTS

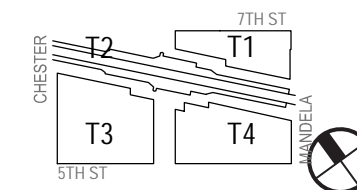
PROJ. # 168-153 WO BART
 DATE: July 24, 2020

SHEET: SITE PLAN
 A-10.01



* 1,150 CUBIC FEET OF RECYCLING STORAGE AND COLLECTION SPACE.

MANDELA STATION
@WEST OAKLAND
BART
 1451 7th St, Oakland,
 CA 94607



JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com

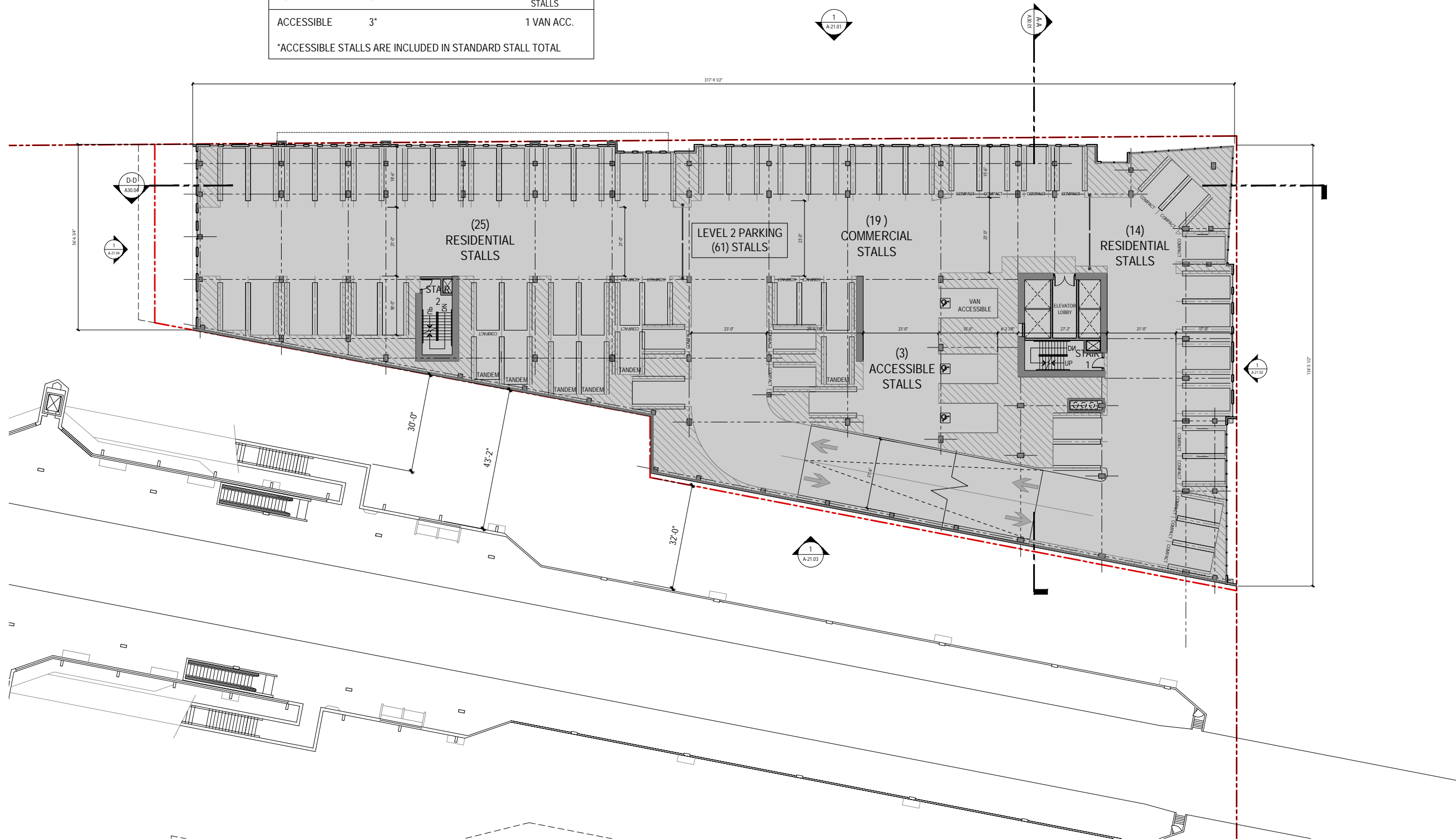
LANDSCAPE ARCHITECTS

PROJ. # 168-153 WO BART
 DATE: July 24, 2020

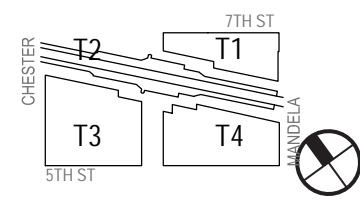
T1
GROUND FLOOR PLAN
 SHEET: A-11.01

LEVEL 2 PARKING SUMMARY			
	NUMBER	PERCENTAGE	NOTE
STANDARD	20	32.8%	
INTERMEDIATE	22	36.1%	
COMPACT	19	31.1%	
TOTAL	61		EXCLUDES TANDEM STALLS
ACCESSIBLE	3*		1 VAN ACC.

*ACCESSIBLE STALLS ARE INCLUDED IN STANDARD STALL TOTAL



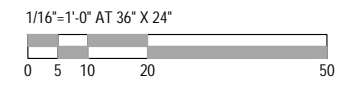
MANDELA STATION
@WEST OAKLAND
BART
 1451 7th St, Oakland,
 CA 94607



JRDV URBAN INTERNATIONAL
 JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com

BKF 100+ YEARS
 ENGINEERS . SURVEYORS . PLANNERS
stök
PGAdesign
 LANDSCAPE ARCHITECTS

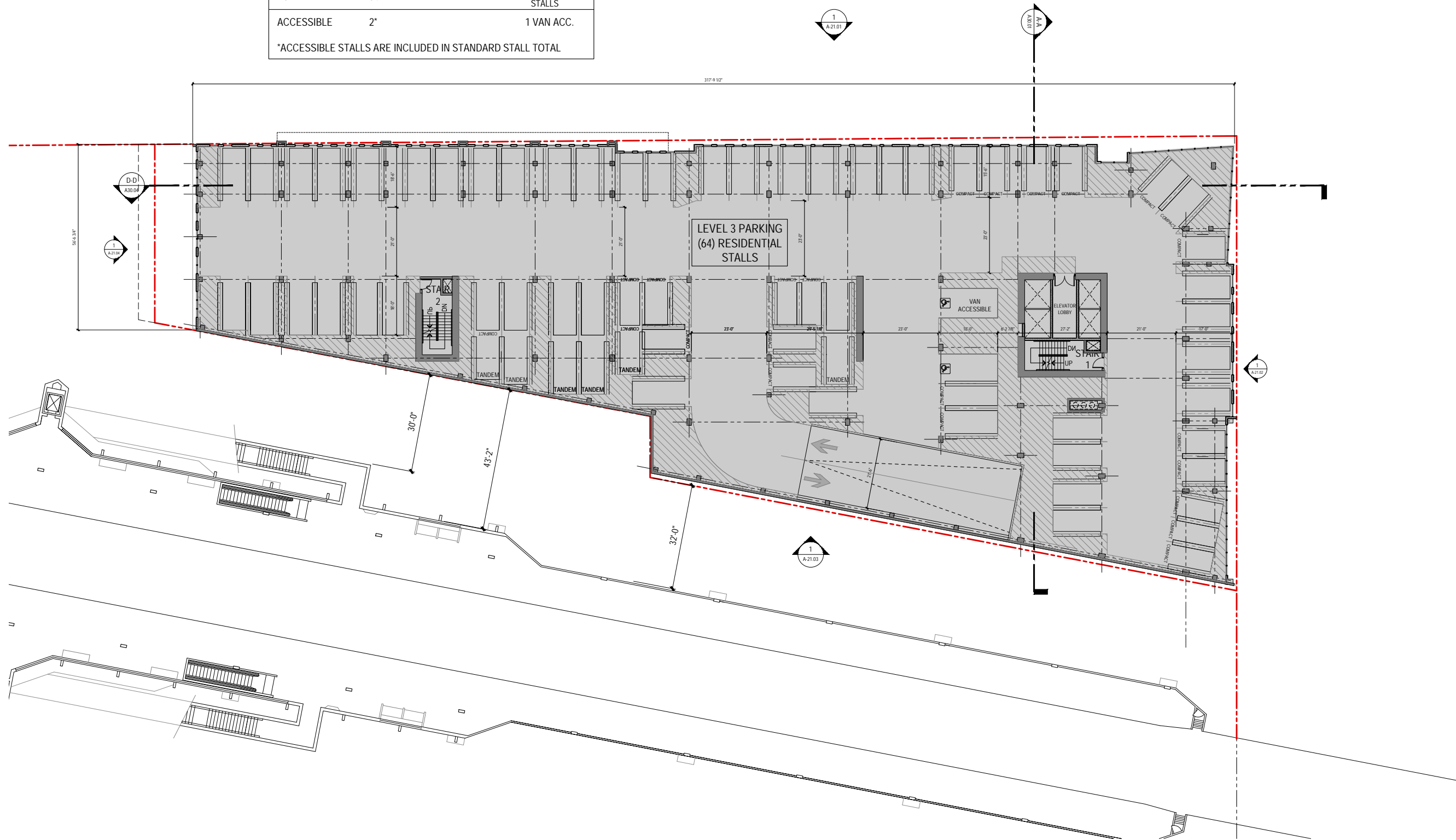
PROJ. # 168-153 WO BART
 DATE: July 24, 2020



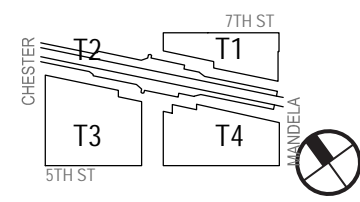
T1
 2ND FLOOR
 PLAN
 SHEET:
 A-11.02

LEVEL 3 PARKING SUMMARY			
	NUMBER	PERCENTAGE	NOTE
STANDARD	19	29.7%	
INTERMEDIATE	24	37.5%	
COMPACT	21	32.8%	
TOTAL	64		EXCLUDES TANDEM STALLS
ACCESSIBLE	2*		1 VAN ACC.

*ACCESSIBLE STALLS ARE INCLUDED IN STANDARD STALL TOTAL



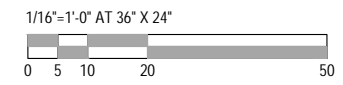
MANDELA STATION
@WEST OAKLAND
BART
 1451 7th St, Oakland,
 CA 94607



JRDV URBAN INTERNATIONAL
 JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com

BKF 100+ YEARS
 ENGINEERS . SURVEYORS . PLANNERS
stök
PGAdesign
 LANDSCAPE ARCHITECTS

PROJ. # 168-153 WO BART
 DATE: July 24, 2020



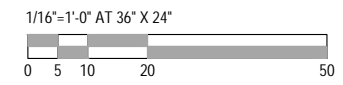
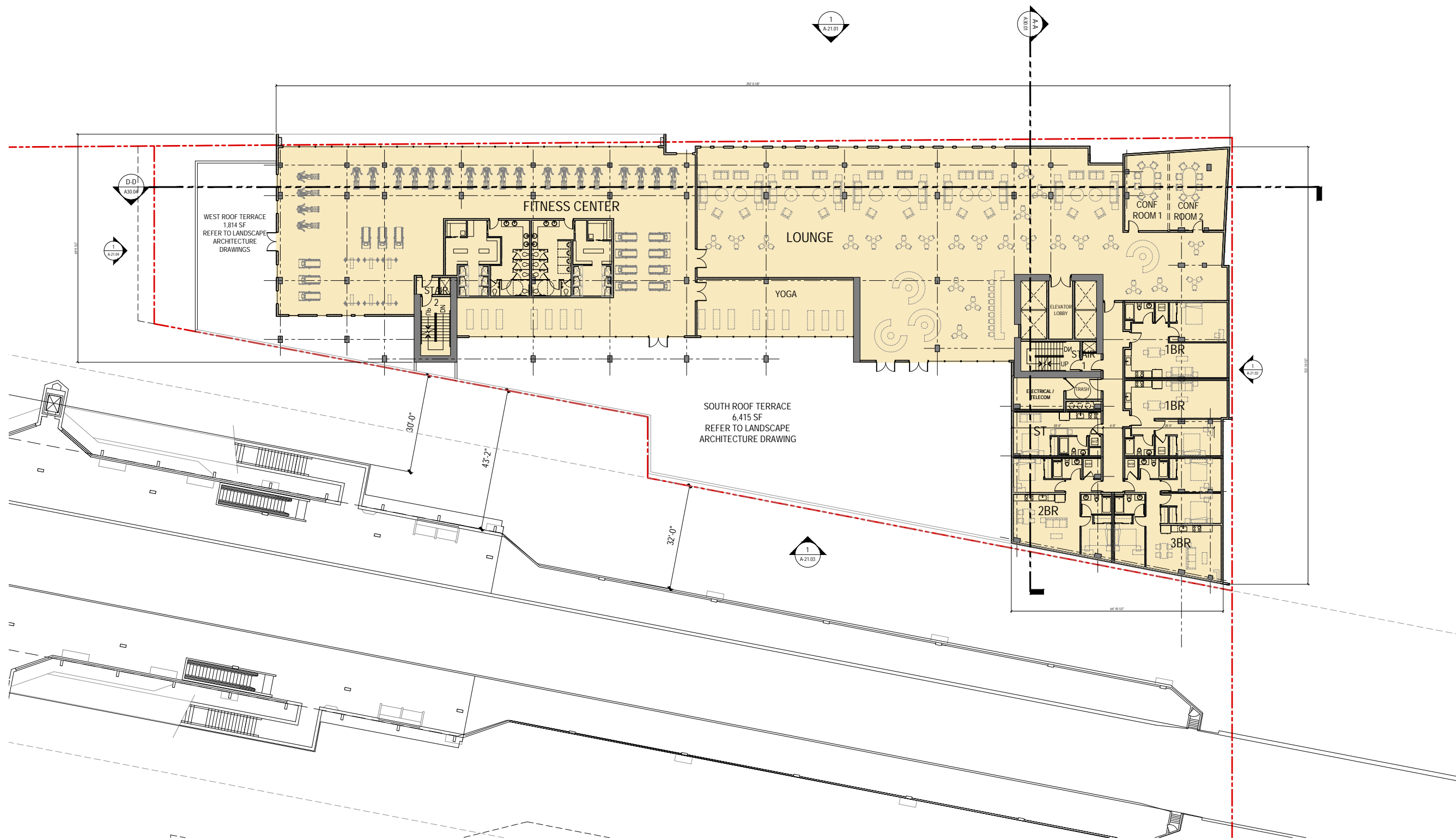
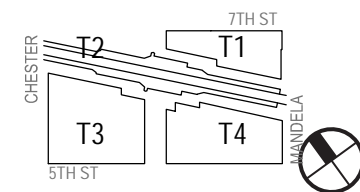
T1
 3RD FLOOR
 PLAN
 SHEET:
 A-11.03



MANDELA STATION @WEST OAKLAND

BART

1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

T1
4TH FLOOR
PLAN

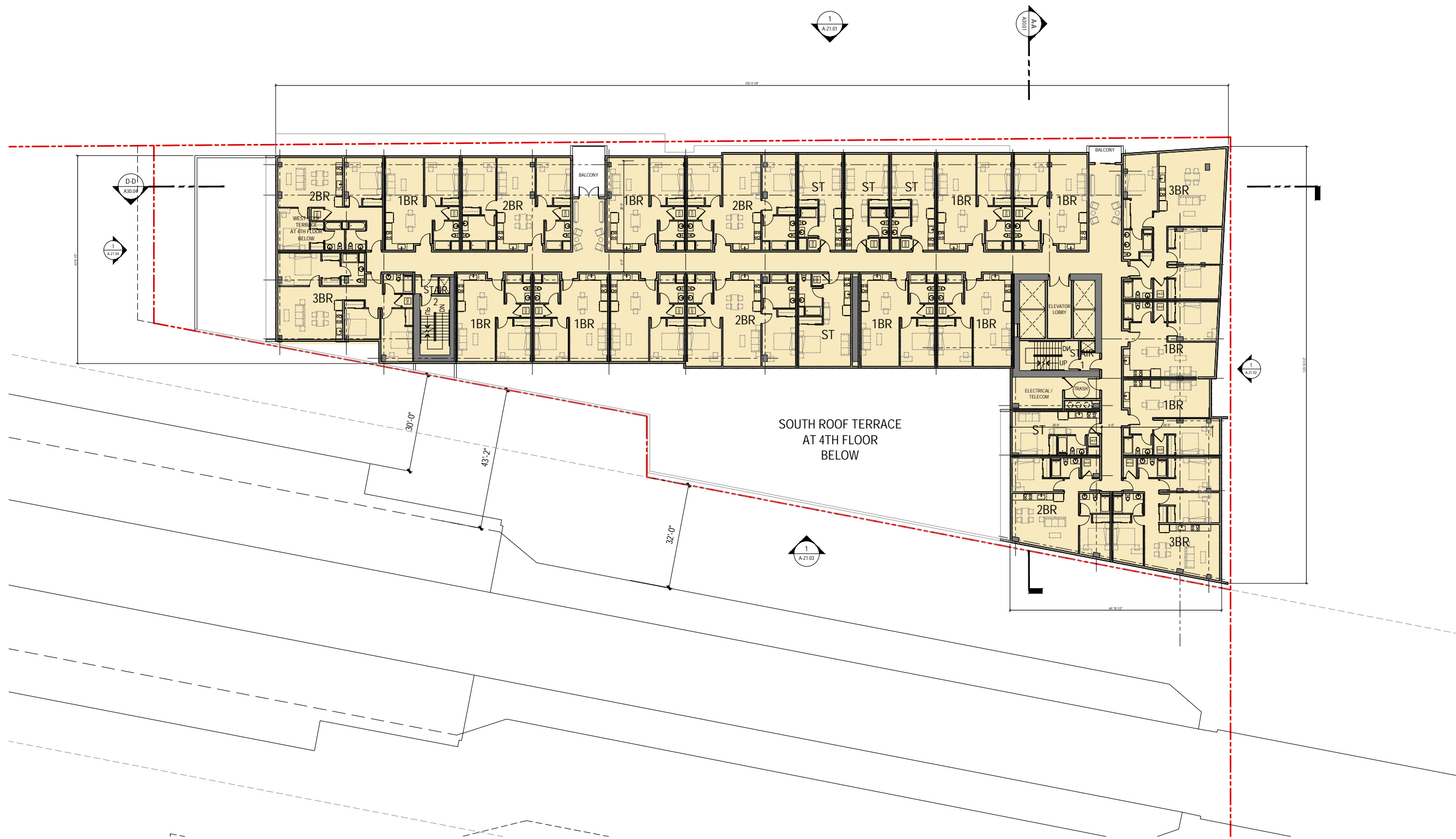
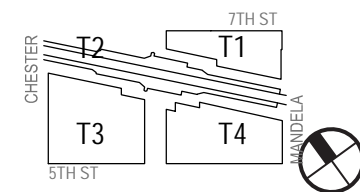
SHEET: A-11.04



MANDELA STATION
@WEST OAKLAND

BART

1451 7th St, Oakland,
CA 94607

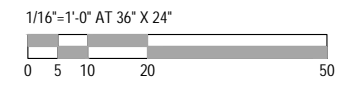


JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020



T1
5TH - 18TH FLOOR
PLAN

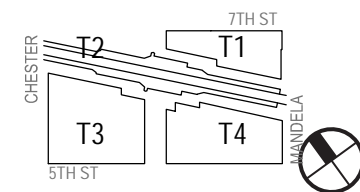
SHEET: A-11.05



MANDELA STATION
@WEST OAKLAND

BART

1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



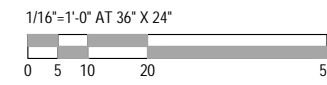
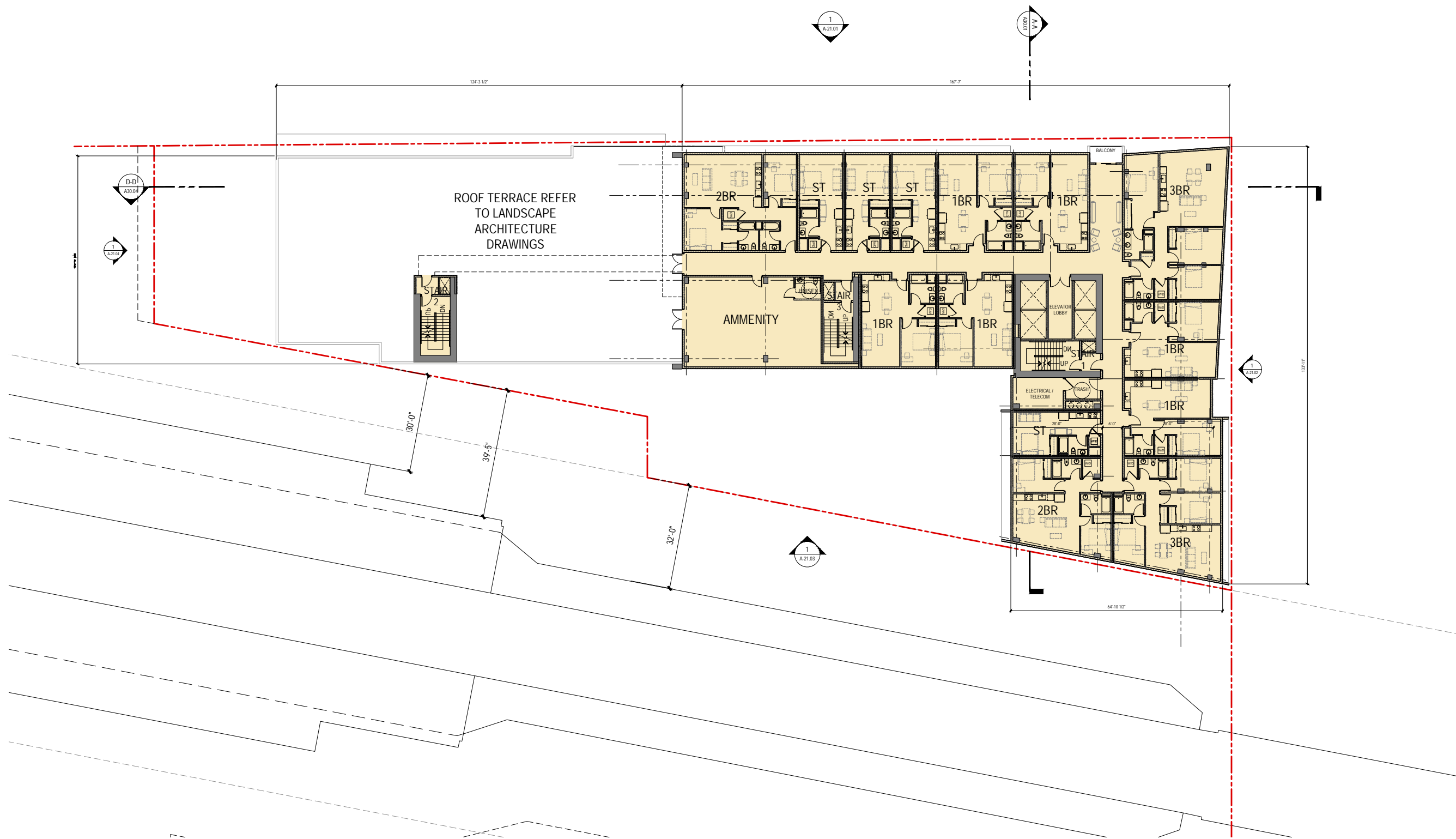
PROJ. # 168-153 WO BART

DATE: July 24, 2020

SHEET:

T1
19TH FLOOR
PLAN

A-11.06

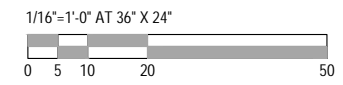
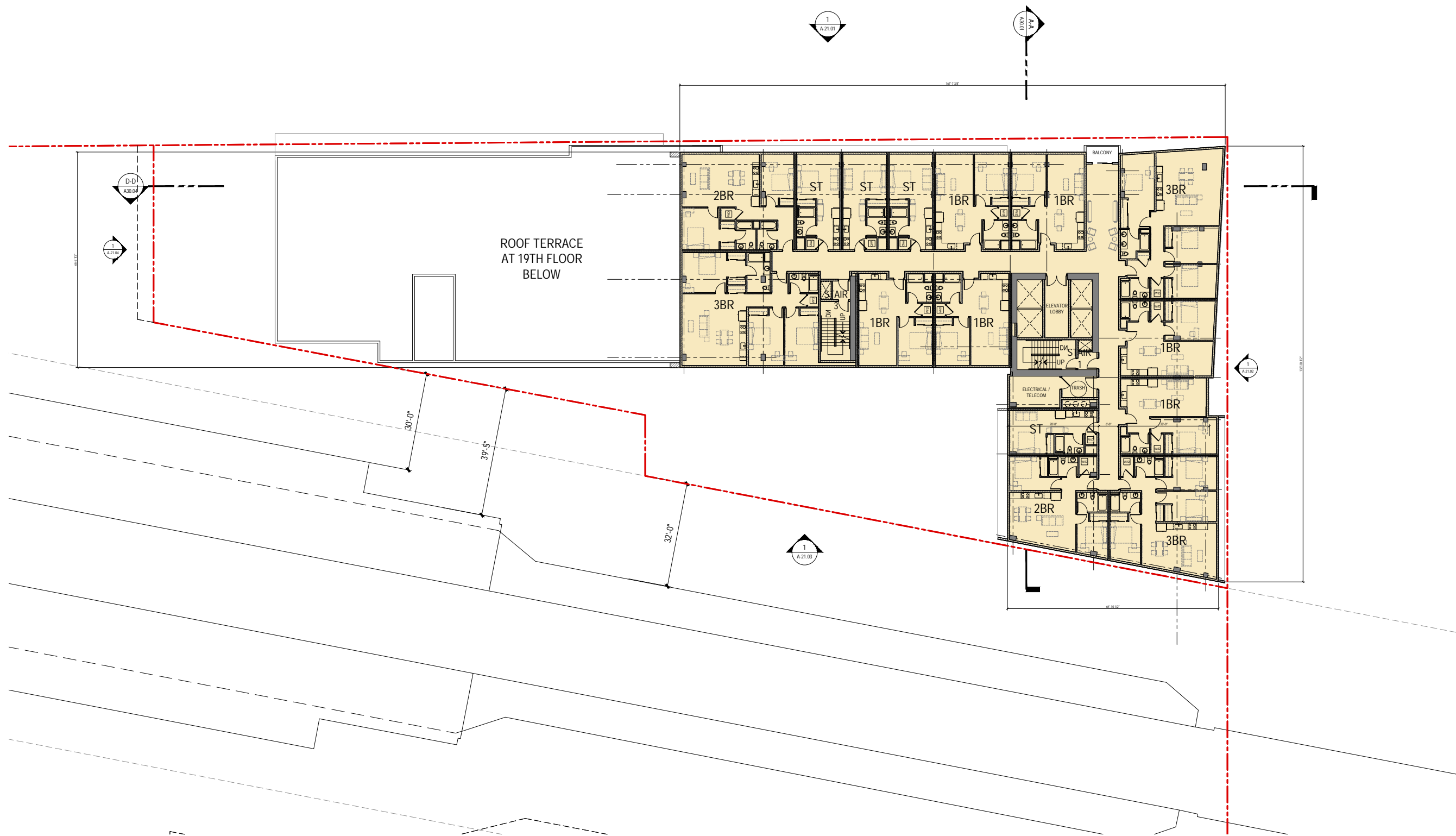
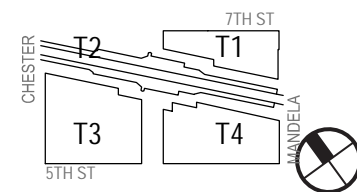




MANDELA STATION
@WEST OAKLAND

BART

1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



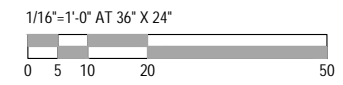
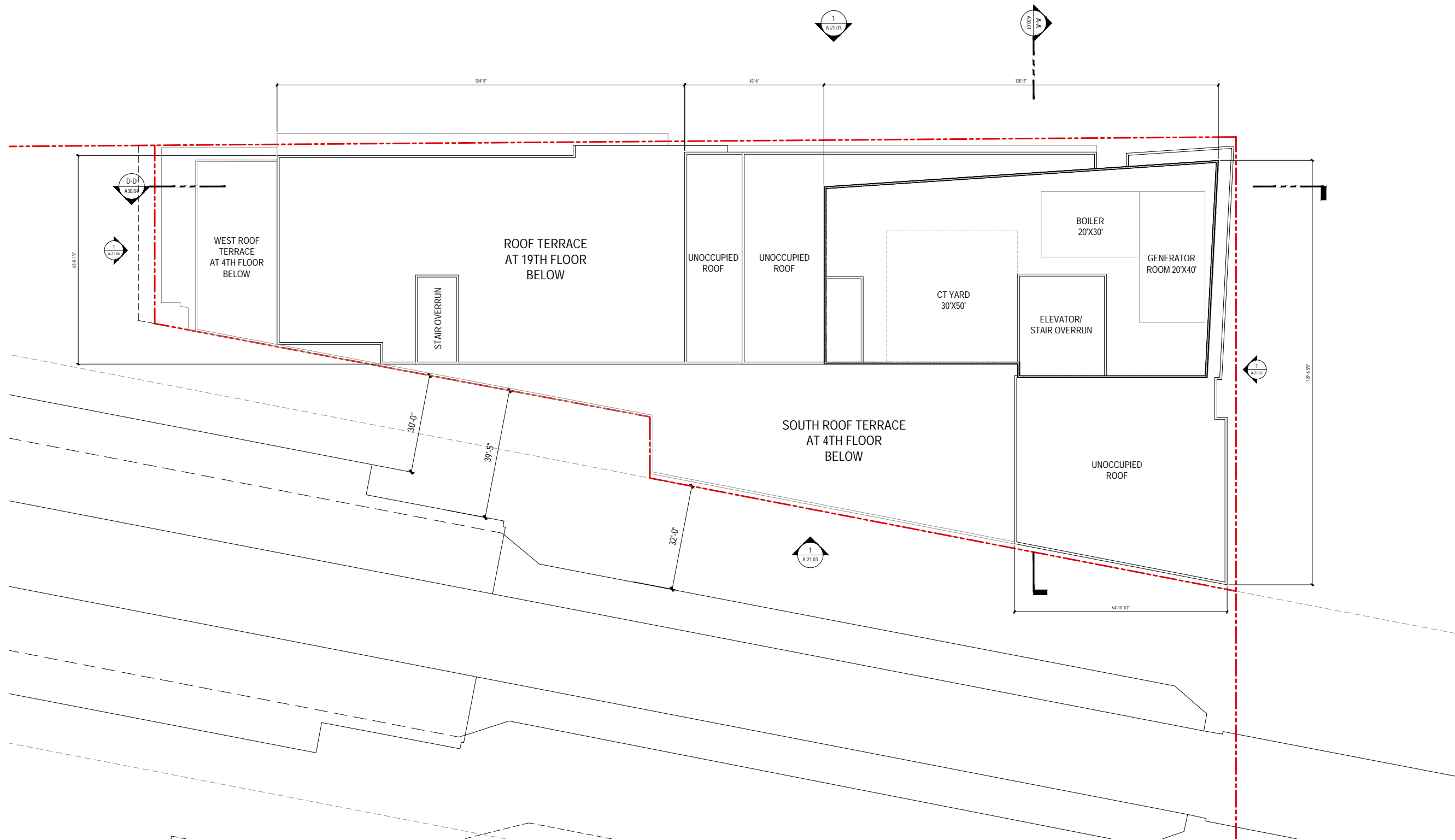
PROJ. # 168-153 WO BART
DATE: July 24, 2020

T1
20TH - 31ST FLOOR
PLAN

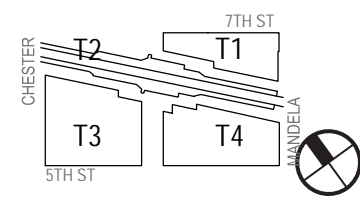
SHEET: A-11.07

NOTES:

1. EQUIPMENT IN MECHANICAL/UTILITY AREAS SHALL BE VISUALLY SCREENED. THESE BOUNDARIES ARE SCHEMATIC AND SUBJECT TO CHANGE AND SHALL BE FINALIZED PRIOR TO BUILDING PERMIT APPLICATION.
2. UNOCCUPIED ROOFS ARE DESIGNATED FOR SOLAR HOT WATER AND PHOTOVOLTAIC ARRAYS. THE EXTENT OF RENEWABLE ENERGY EQUIPMENT WILL BE DETERMINED PRIOR TO BUILDING PERMIT APPLICATION.



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607

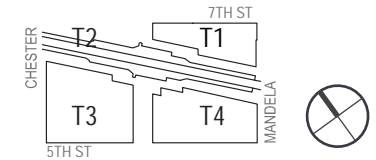
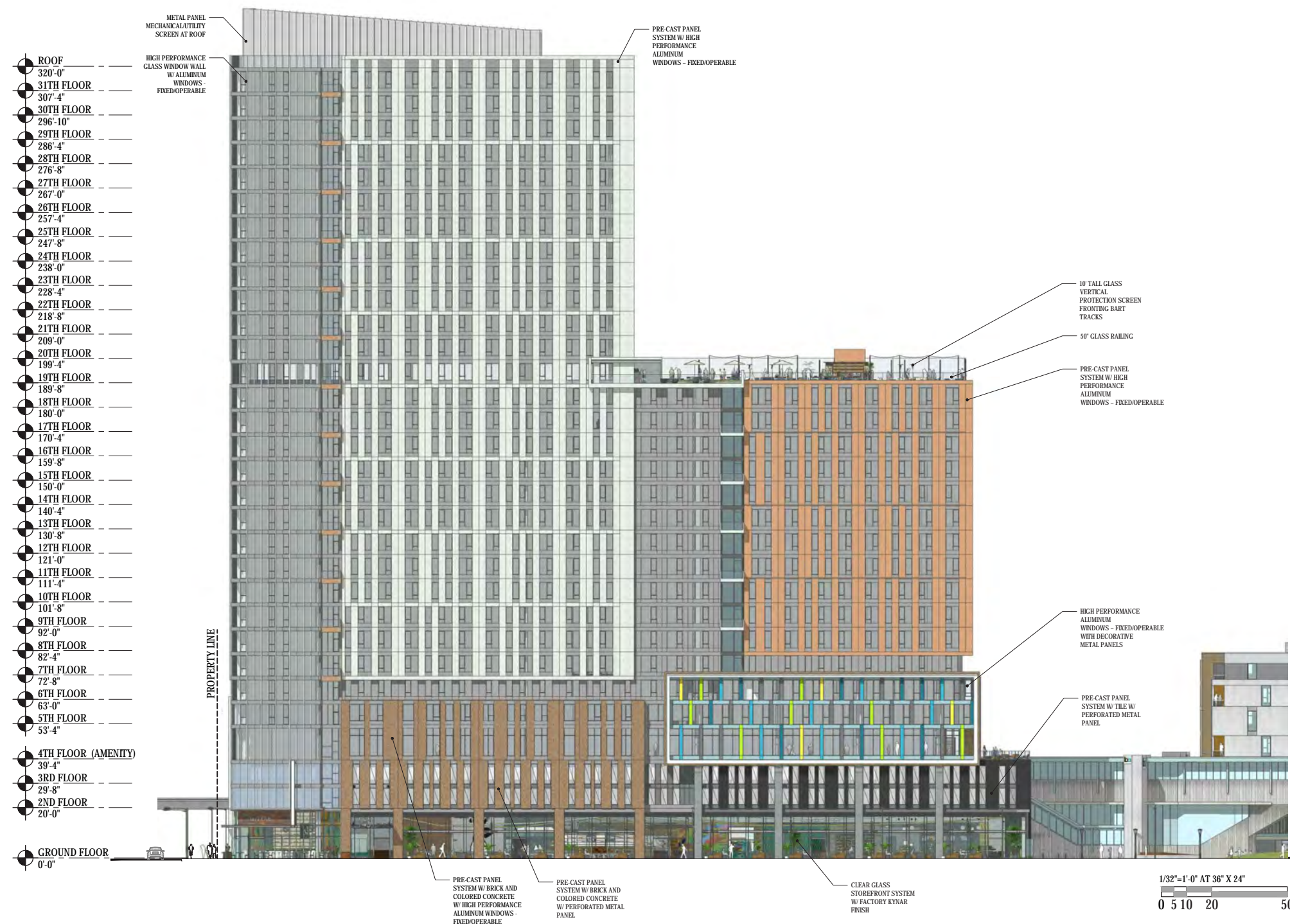


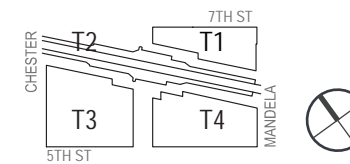
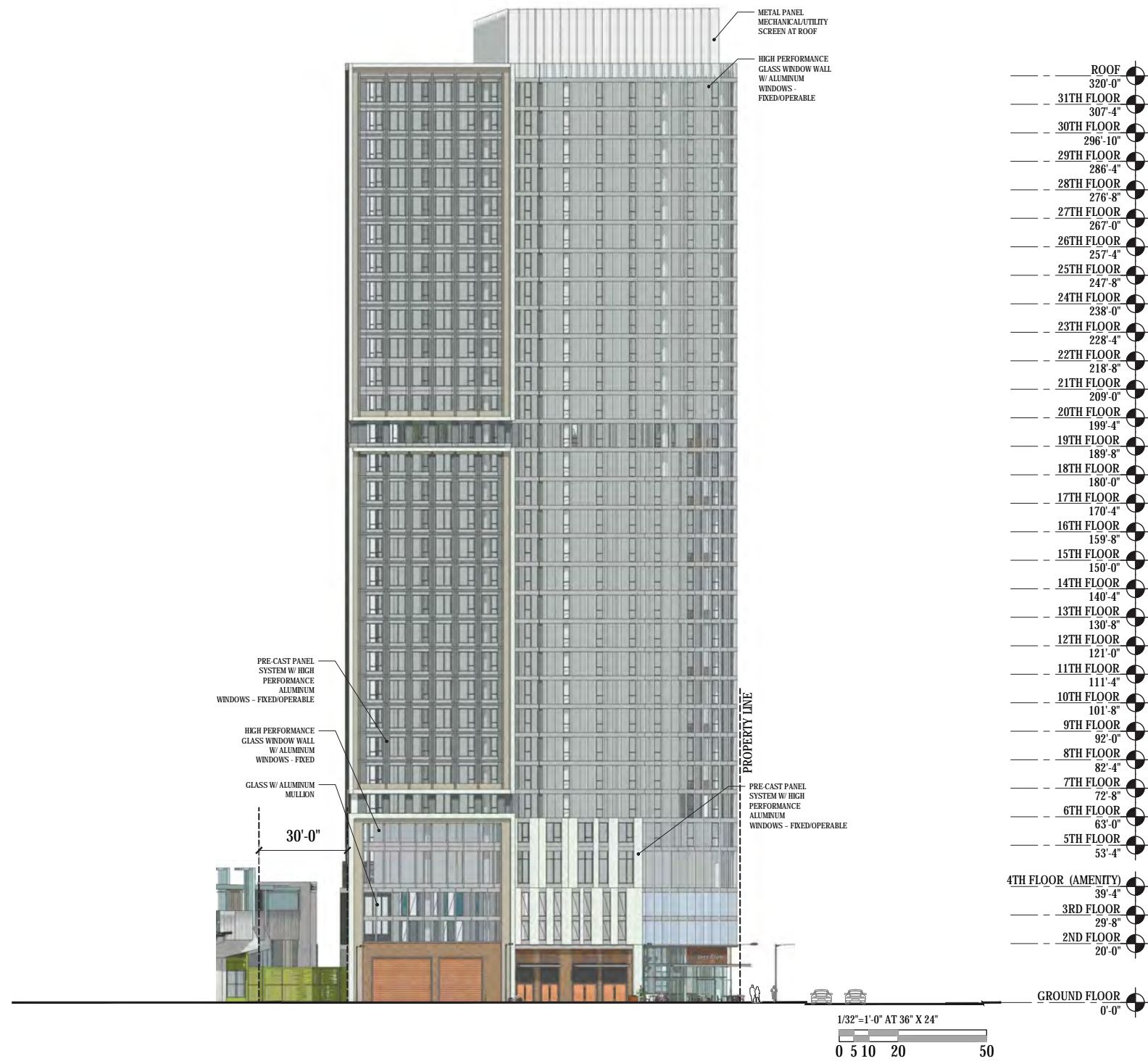
JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com

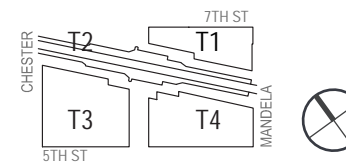


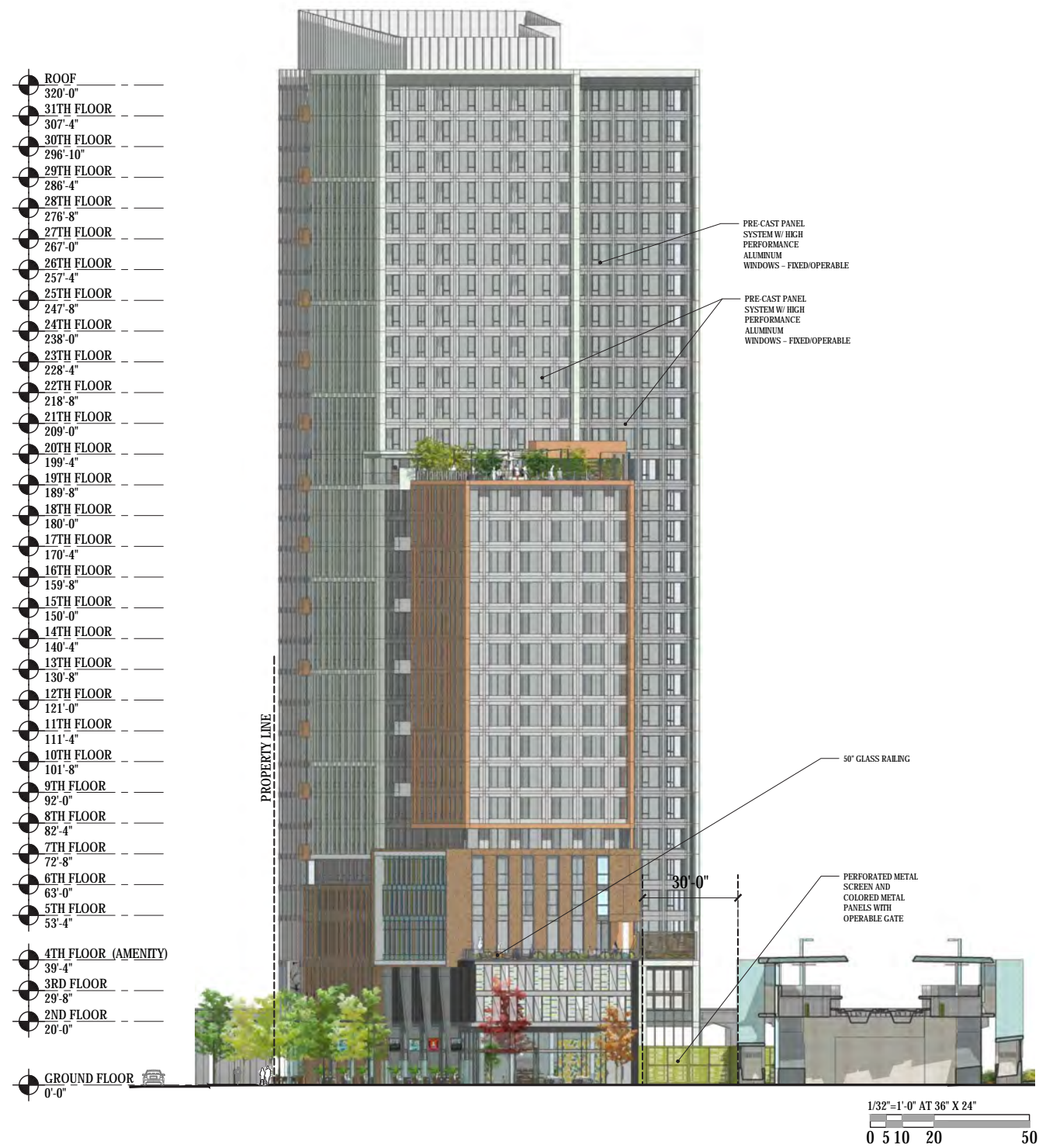
PROJ. # 168-153 WO BART
DATE: July 24, 2020

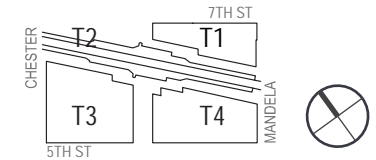
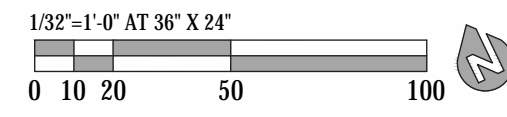
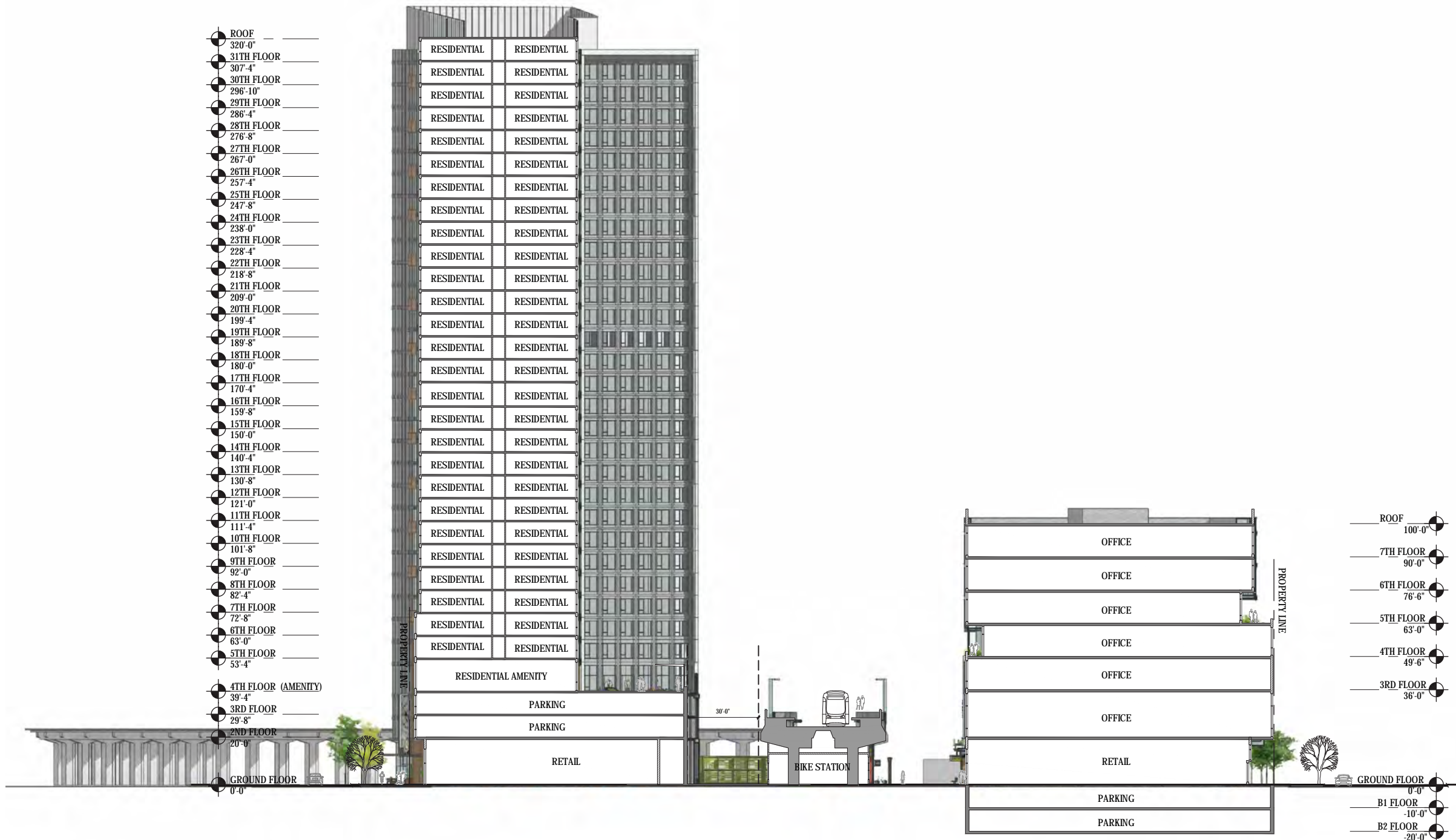
SHEET: T1
ROOF
PLAN
A-11.08

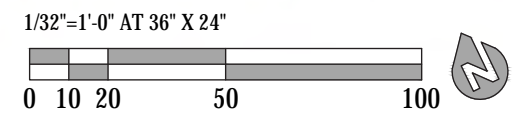
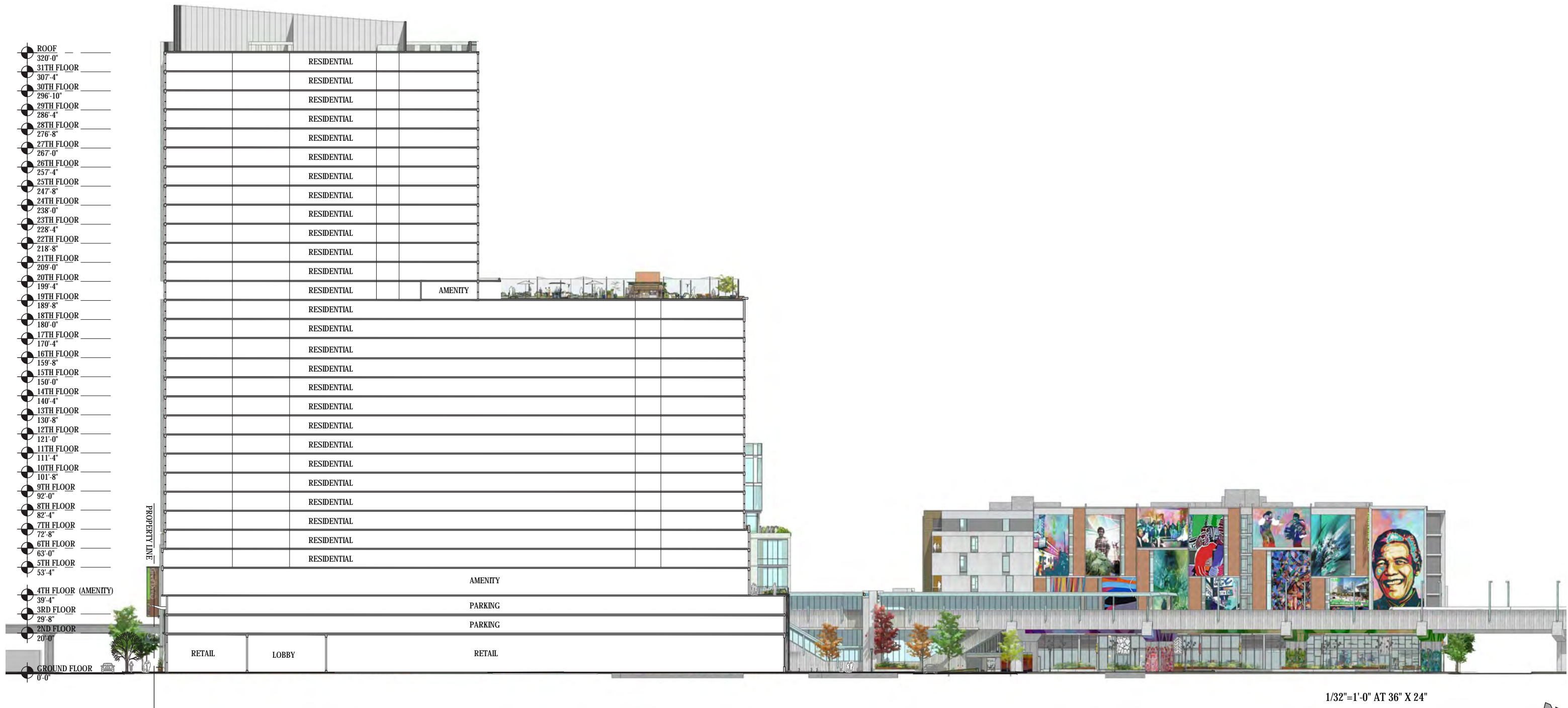




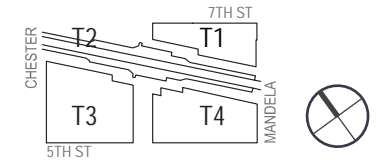








Final Development Plan
 Mandela Station @ West Oakland BART:
 1451 7th St, Oakland, CA 94607
 July 24, 2020



SECTION D-D
 A-31.01

ATTACHMENT C:

Proposed Horizontal Improvements Final Development Plan, dated July 24, 2020

MANDELA STATION

@ West Oakland BART

FINAL DEVELOPMENT PLAN HORIZONTAL IMPROVEMENTS

July 24, 2020



HENSEL PHELPS



WEST OAKLAND BART HORIZONTAL IMPROVEMENT

GENERAL

G100 TITLE SHEET, DRAWING INDEX

CONTEXT INFO

A-00.01 - RENDERINGS
 A-00.07
 A00.08 ZONING INFO
 A00.09 ZONING SUMMARY
 A00.10 PHASING PLAN

PHASING

A11.01 PHASE 1A, CURB RELOCATION
 A11.02 PHASE 1A, REORGANIZED ROUTES
 A11.03 PHASE 1B, T3 SITE PREPARATION
 A11.04 PHASE 1B, REORGANIZED ROUTES
 A11.05 PHASE 2A, T3 SITE EXCAVATION
 A11.06 PHASE 2A, REORGANIZED ROUTES
 A11.07 PHASE 2B, T3 BUILDING CONSTRUCTION
 A11.08 PHASE 2B, REORGANIZED ROUTES
 A11.09 PHASE 2C, FINISH T3 PAVING OF SIDE WALK
 A11.10 PHASE 2C, REORGANIZED ROUTES
 A11.11 PHASE 3A, FINISH T2 PAVING OF SIDE WALK
 A11.12 PHASE 3A, REORGANIZED ROUTES
 A11.13 PHASE 3B, T2 PLAZA CONSTRUCTION
 A11.14 PHASE 3B, REORGANIZED ROUTES
 A11.15 PHASE 4A, T1 SITE PREPARATION
 A11.16 PHASE 4A, REORGANIZED ROUTES
 A11.17 PHASE 4B, T1 BUILDING AND BIKE STATION CONSTRUCTION
 A11.18 PHASE 4B, REORGANIZED ROUTES
 A11.19 PHASE 4C, FINISH T1 PAVING OF SIDE WALK
 A11.20 PHASE 4C, REORGANIZED ROUTES
 A11.21 PHASE 5A, T4 SITE PREPARATION
 A11.22 PHASE 5A, REORGANIZED ROUTES
 A11.23 PHASE 5B, T4 SITE EXCAVATION
 A11.24 PHASE 5B, REORGANIZED ROUTES
 A11.25 PHASE 5C, T4 BUILDING CONSTRUCTION
 A11.26 PHASE 5C, REORGANIZED ROUTES
 A11.27 PHASE 5D, FINISH T4 PAVING OF SIDE WALK
 A11.28 PHASE 5D, REORGANIZED ROUTES
 A11.29 PHASE 6, UNDER TRACK RETAIL CONSTRUCTION
 A11.30 PHASE 6, REORGANIZED ROUTES
 A11.31 PHASE 7, EVERY CONSTRUCTION PHASE DONE

CIVIL PLANS

C1.00 EXISTING CONDITIONS PLAN
 180384 1-5 TOPOGRAPHIC AND BOUNDARY SURVEY
 C-1.01A - TENTATIVE PARCEL MAP
 C-1.01C
 C1.02 LOT MERGER PLAN
 C2.00 PROPOSED GRADING PLAN
 C3.00 STORMWATER MANAGEMENT PLAN
 C3.01 STORMWATER MANAGEMENT DETAILS
 C3.02 STORMWATER MANAGEMENT DETAILS
 C4.00 EROSION CONTROL PLAN
 C4.01 EROSION CONTROL PLAN DETAILS
 C5.00 PROPOSED SITE IMPROVEMENT PLAN
 C5.01 CYCLE TRACK CASE STUDY
 C5.02 CONSTRUCTION DETAILS
 C5.03 CONSTRUCTION DETAILS
 C5.04 CONSTRUCTION DETAILS
 C5.05 CONSTRUCTION DETAILS
 C5.06 CONSTRUCTION DETAILS
 C6.00 PROPOSED UTILITY PLAN

LANDSCAPE PLANS

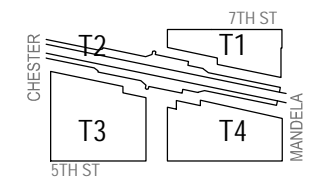
L1.00 TREE REMOVAL PLAN
 L1.01 LAYOUT & MATERIALS PLAN
 L1.01.02 PUBLIC ACCESS PLAN
 L1.02 LANDSCAPE WALL HEIGHT PLAN
 L1.03 LANDSCAPE SECTIONS
 L1.04 LANDSCAPE SECTIONS
 L1.05 STREET SECTIONS
 L1.06 PRELIMINARY LIGHTING PLAN
 L1.07 PLANTING ZONES
 L1.08 LANDSCAPE PLANTS
 L1.09 LANDSCAPE MATERIALS
 L1.10 LIGHTING IMAGES
 L1.11 LIGHT LEVEL GOALS
 L01.12 LANDSCAPE VIEWS

ARCHITECTURAL PLANS, ELEVATIONS, AND DETAILS

A-9.00 SITE PLAN
 A-9.01 PUBLIC SPACE IMPROVEMENT: PUBLIC SPACE DESIGN
 A-9.02 PUBLIC SPACE IMPROVEMENT: MANDELA PLAZA
 A-9.03 PUBLIC SPACE IMPROVEMENT: MANDELA PLAZA
 A-9.04 EVENT SPACE PROGRAM
 A-9.05 - PUBLIC SPACE IMPROVEMENT: UNDER TRACK SPACE
 A-9.07
 A-9.08 - MANDELA PLAZA
 A9.11
 A9.12 PUBLIC SPACE IMPROVEMENT: ART ALLEY
 A-9.14
 A-9.15 - PUBLIC SPACE IMPROVEMENT: CENTER SQUARE
 A-9.19
 A-10.01 SITE PLAN
 A-10.02 ILLUSTRATED SITE PLAN
 A-10.03 - PUBLIC SPACE IMPROVEMENT: CROSSWALKS & INTERSECTIONS
 A-10.03.07
 A-10.04.01 PUBLIC SPACE IMPROVEMENT: SIDEWALKS
 A-10.05 PUBLIC SPACE IMPROVEMENT: BIKES
 A-10.06 PUBLIC SPACE IMPROVEMENT: PASSENGER LOADING
 A-10.07 PUBLIC SPACE IMPROVEMENT: BUS STOPS
 A-10.08 EMERGENCY VEHICLE ACCESS
 A-60.01 EVA GATE DETAIL



**MANDELA STATION
 @WEST OAKLAND
 BART**
 1451 7th St, Oakland,
 CA 94607



**JRDV URBAN
 INTERNATIONAL**
 JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com

**BKF 100+
 YEARS**
 ENGINEERS, SURVEYORS, PLANNERS
stök
PGAdesign
 LANDSCAPE ARCHITECTS

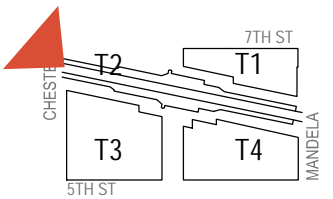
PROJ. # 168-153 WO BART
 DATE: July 24, 2020

**DRAWING
 INDEX**

SHEET:
G-100



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

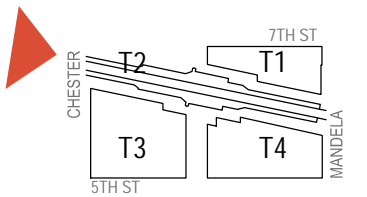
**RENDERING
7TH STREET
LOOKING EAST**

SHEET:

A-00.01



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

**7TH & CHESTER
CORNER
VIEW**

SHEET:

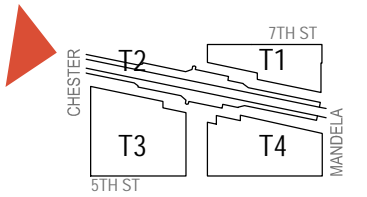
A-00.02



suda
Strategic Urban Development Alliance, LLC



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

**7TH & CHESTER
CORNER
VIEW**

SHEET:
A-00.02



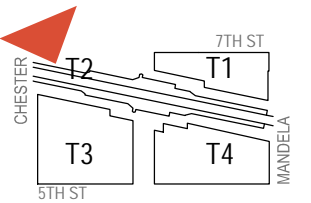
suda
Strategic Urban Development Alliance, LLC



**MANDELA STATION
@WEST OAKLAND**

BART

1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

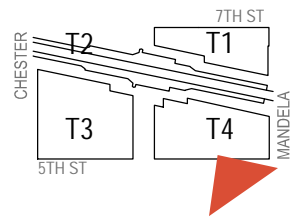
**AERIAL VIEW
LOOKING SOUTH**

SHEET:

A-00.03



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

**5TH & MANDELA
CORNER
VIEW**

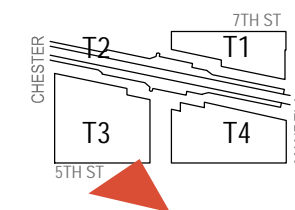
SHEET:

A-00.04



**MANDELA STATION
@WEST OAKLAND
BART**

1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

**AERIAL VIEW
LOOKING NORTH**

SHEET:

A-00.05

5TH & MANDELA



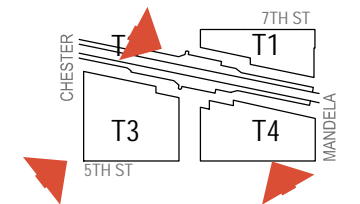
5TH & CHESTER



7TH STREET PLAZA



MANDELA STATION
@WEST OAKLAND
BART
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: July 24, 2020

STREET
VIEWS

SHEET:
A-00.06

5TH & MANDELA



5TH & CHESTER



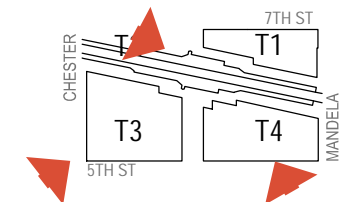
7TH STREET PLAZA



MANDELA STATION
@WEST OAKLAND

BART

1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

STREET
VIEWS

SHEET:

A-00.06



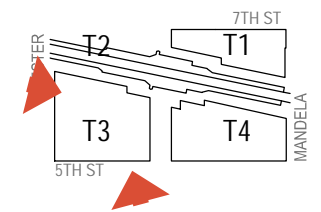
ART ALLEY



CENTER SQUARE



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: July 24, 2020

**STREET
VIEWS**

SHEET:
A-00.07



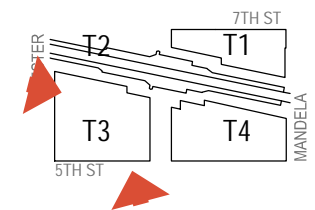
ART ALLEY



CENTER SQUARE



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: July 24, 2020

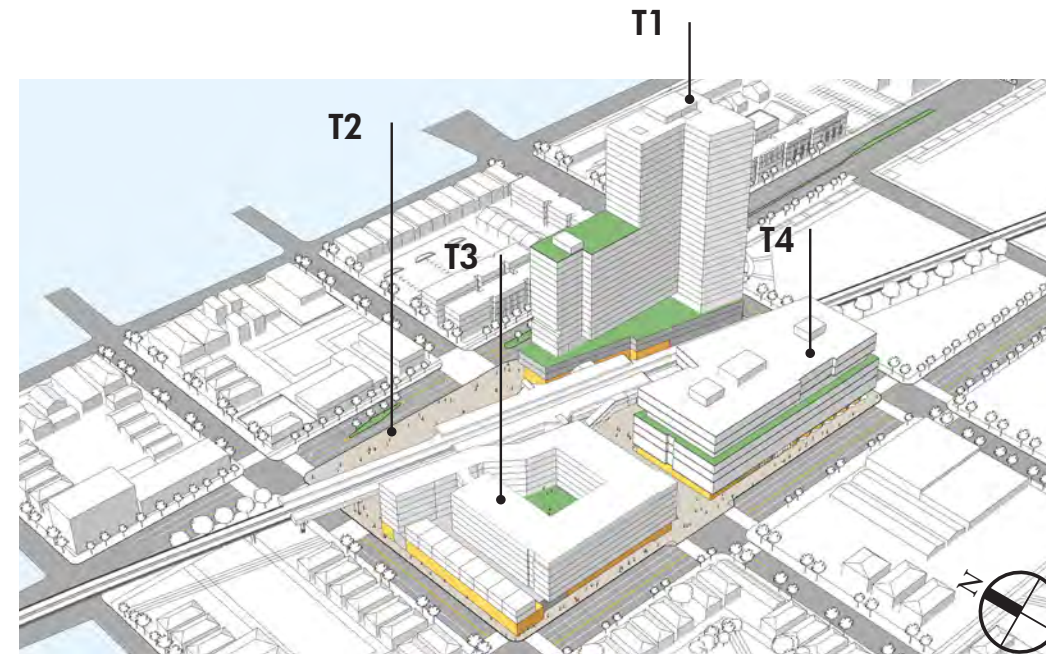
**STREET
VIEWS**

SHEET:
A-00.07

Proposed Program

USES	T1	T2	T3	T4	Program Total
OFFICE				300,000 sf	300,000 sf
RETAIL	14,350 sf	Flexible Kiosk Program	15,944 sf	23,184 sf	53,478 sf
OTHER NON-RESIDENTIAL			2,057 sf	8,540 sf	10,597 sf
RESIDENTIAL	522 units		240 units*		762 units (20% min. affordable)
PARKING	125		50	210	385 spaces

*79 units at 30% AMI, 11 units at 50% AMI, 148 units at 60% AMI, 2 units at 120% AMI



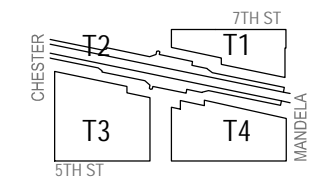
Note: Program is based on the previously approved Conditions of Approval, As approved by the Planning Commission February 6, 2019.

Open Space Calculation

Residential Open Space Req		
240 Units	200	48,000 SF
522 Units	200	104,400 SF
Required Open Space		152,400 SF
Open Space Provided		
T1 Open Space		17,648 SF
T3 Open Space		17,501 SF
		35,149* SF
*Open space waiver requested for 117,251 sf for T1 and T3 per Density Bonus Letter.		
Approximate Public Open Space Provided		
Mandela Plaza		30,032 SF
Under Track Plaza		8,464 SF
Art Alley		20,923 SF
Center Square		15,949 SF
		75,368 SF



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: July 24, 2020

**ZONING
INFO**

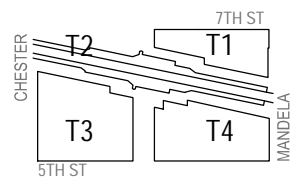
SHEET:

A-00.08

GENERAL ZONING INFORMATION	REFERENCE	NOTES
ASSESORS BLOCK	Survey	See Survey; Tract 8046, Blocks 494 and 493
ZONING USE DISTRICT	Oak GIS	S-15W
PERMITTED AND/OR CONDITIONAL USES	17.97.010-.020	Residential, Community Assembly, General Retail, Full +Limited Service Retail, Parking, Commercial Office permitted
HEIGHT & BULK DISTRICT	17.97	S-15W 60' and S-15W 100'; master plan consistent with zoning requirements
GENERAL PLAN / POLICY PLAN	OAK-GIS	General Commercial; West Oakland Specific Plan
HISTORIC OR LANDMARK STATUS	OAK-GIS	None
LIQUEFACTION HAZARD ZONE	OAK-GIS	Severity 4
CONDO CONVERSION IMPACT AREA	OAK-GIS	None
HEIGHT AND BULK CONTROLS		
SITE AREA	Survey	241,282 SF
FLOOR AREA RATIO (FAR)	17.97.130	S-15W 60' - 3.0; S-15W 100' - 5.0; Master Plan within zoning density requirements
HEIGHT LIMIT	17.97	60' and 100' (Height limit modified to allow 80' and 320' tall building pursuant to State Affordable Housing Exemption)
REQUIRED SETBACKS	17.97.060	No Front Yard Setbacks Required; Interior Lot subject to PUD
REAR YARDS / COURTS		None Required
ADJACENCIES		None Significant
UNIT SEPARATION / EXPOSURE REQUIREMENTS	17.108.080	8' minimum at living room window +2' for each floor above = maximum 10% of It width
DETAILED CONTROLS & REQUIREMENTS		
RESIDENTIAL DENSITY LIMITS	17.97.130	S-15W 60' - 375sf/unit; S-15W100' - 225sf/unit; Density increase per State Affordable Housing and PUD density bonus
OPEN SPACE REQUIREMENTS	17.97.130	S-15W 60' - 150sf/unit; and S-15W 100' - 75sf/unit; Overall master plan within zoning limites
SCREENING & SETBACK OF PARKING & LOADING	17.116.290	All parking garages are screened per zoning requirements
OFF-STREET PARKING - RESIDENTIAL	17.116.060	0.5 parking space per dwelling unit required; Parking meets zoning requirements with approved reductions
OFF-STREET PARKING - RETAIL	17.116.080	1 space/600 Sf of ground floor; Parking meets zoning requirements with approved reductions
OFF-STREET PARKING - COMMERCIAL	17.116.080	None required
OFF-STREET PARKING DIMENSIONS	17.116.200	50-50 compact / standard; or 75% intermediate + 12.5% compact
OFF-STREET DRIVE AISLE DIMENSIONS	17.116.210	21'-24' two way aisle widths
OFF-STREET LOADING - RESIDENTIAL	17.116.120	Loading per zoning requirements
OFF-STREET LOADING - RETAIL	17.116.150	Loading per zoning requirements
LOADING BERTH DIMENSIONS	17.116.220	10'x23', 12' high for residential activities, 10'x25', 8' high for undertaking service commercial activities
BICYCLE REQUIREMENTS - RESIDENTIAL+COMMERCIAL	17.117.090	LT: total 221 spaces; ST: total 54 spaces LT: 1 per 10,000 sf of commercial; ST: 1 per 20,000 sf of commercial LT: 0.25 spaces per dwelling unit; ST: 0.05 per dwelling unit; bicycle parking provide per zoning code
BICYCLE REQUIREMENTS - RETAIL	17.117.110	LT: total 6 spaces; ST: total 28 spaces LT: 1 per 12k; ST: 1 per 2k; bicycle parking provided per zoning code



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



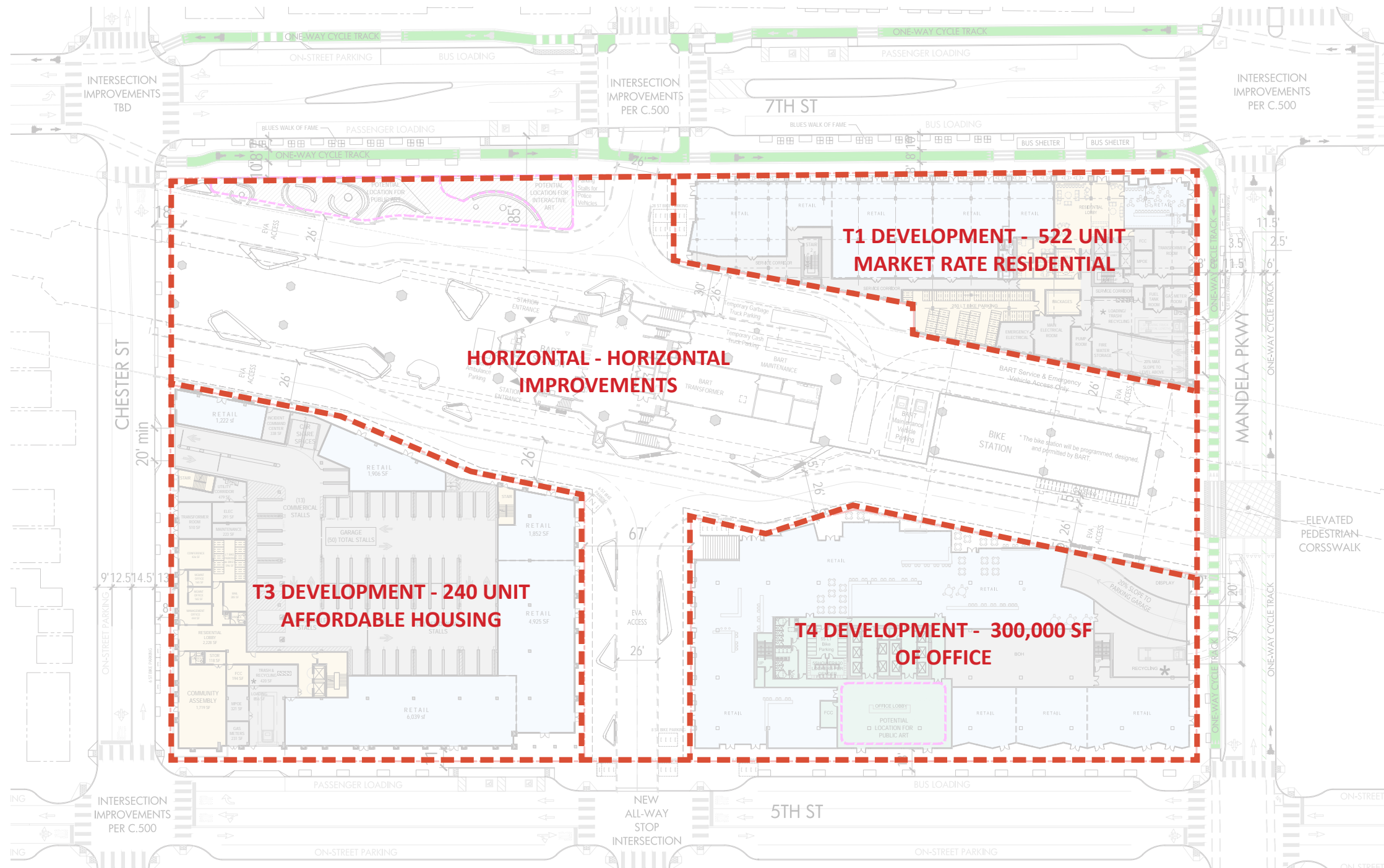
JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: July 24, 2020

ZONING SUMMARY

SHEET: A-00.09



PROJECT SCHEDULE

1. Horizontal

i.	Submit application for Final Development Plan	1 year following PDP approval	
ii.	Anticipated FDP approval date by Agency	1 year following submittal of Horizontal FDP application	
iii.	Commence construction – Initial PX and/or PZ job (additional PX and PZ jobs will be tied to each later phase)	2 years following FDP approval	

2. Phase I – T3 Development (plus PZ/PX for that phase)

i.	Submit application for Final Development Plan	1 year following PDP approval	
ii.	Anticipated FDP approval date by Agency	1 year following submittal of Phase I FDP application	
iii.	Commence construction	2 years following FDP approval (allowing time to secure affordable financing)	

3. Phase II – T1 Development & T2 Development (plus PZ/PX for that phase)

i.	Submit application for Final Development Plan	3 years following PDP approval	
ii.	Anticipated FDP approval date by Agency	1 year following submittal of Phase II FDP application	
iii.	Commence construction	The latter of 2 years following FDP approval or 2 years following Phase I commencement of construction	

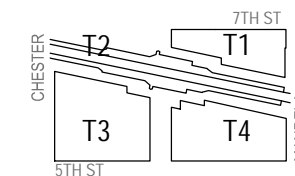
4. Phase III – T4 Development (plus PZ/PX for that phase)

i.	Submit application for Final Development Plan	5 years following PDP approval	
ii.	Anticipated FDP approval date by Agency	1 year following submittal of Phase III FDP application	
iii.	Commence construction	The latter of 2 years following FDP approval or 2 years following Phase II commencement of construction	

All dates are subject to force majeure events



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

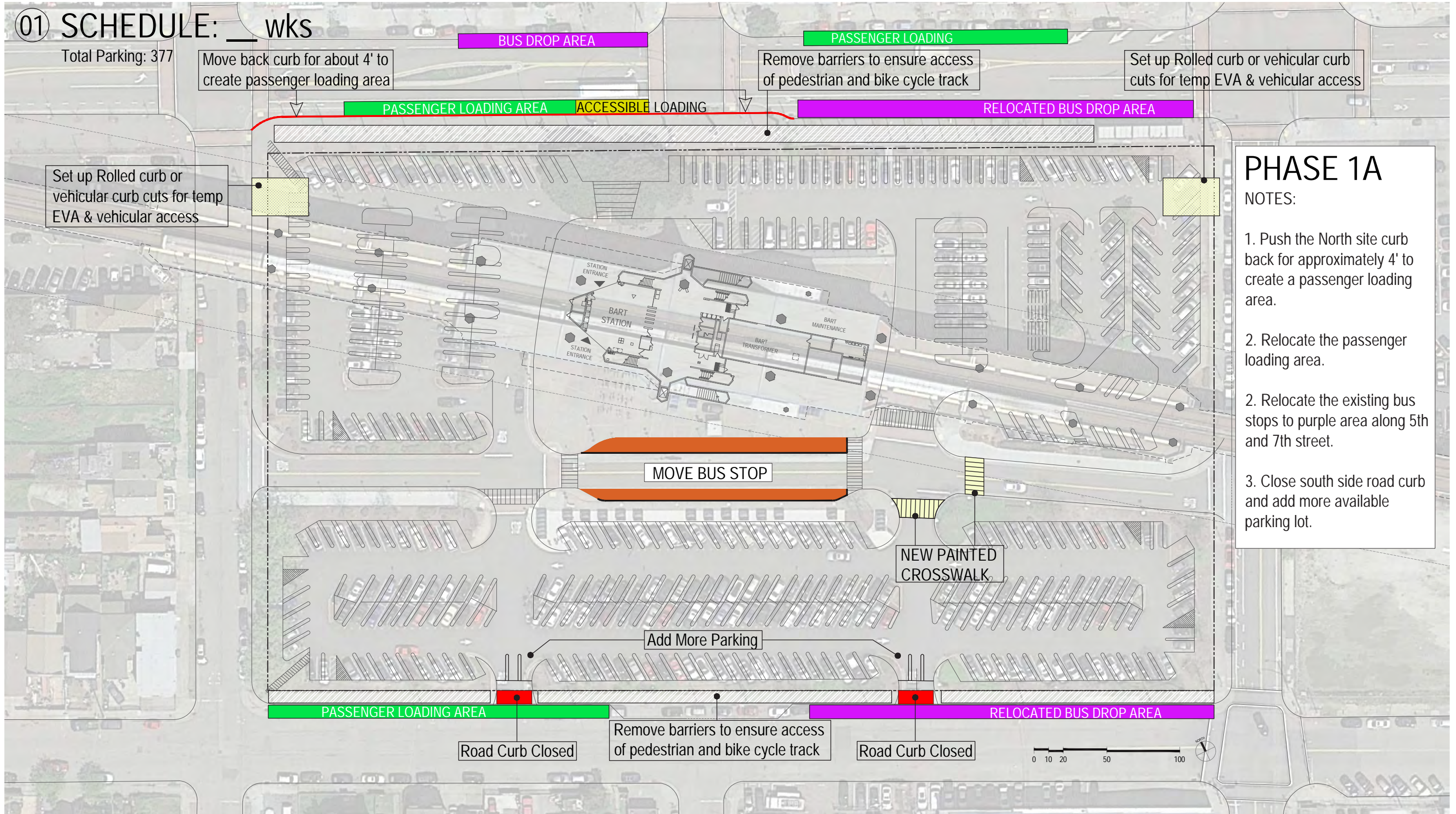
PHASING PLAN

SHEET:

A-00.10

01 SCHEDULE: wks

Total Parking: 377



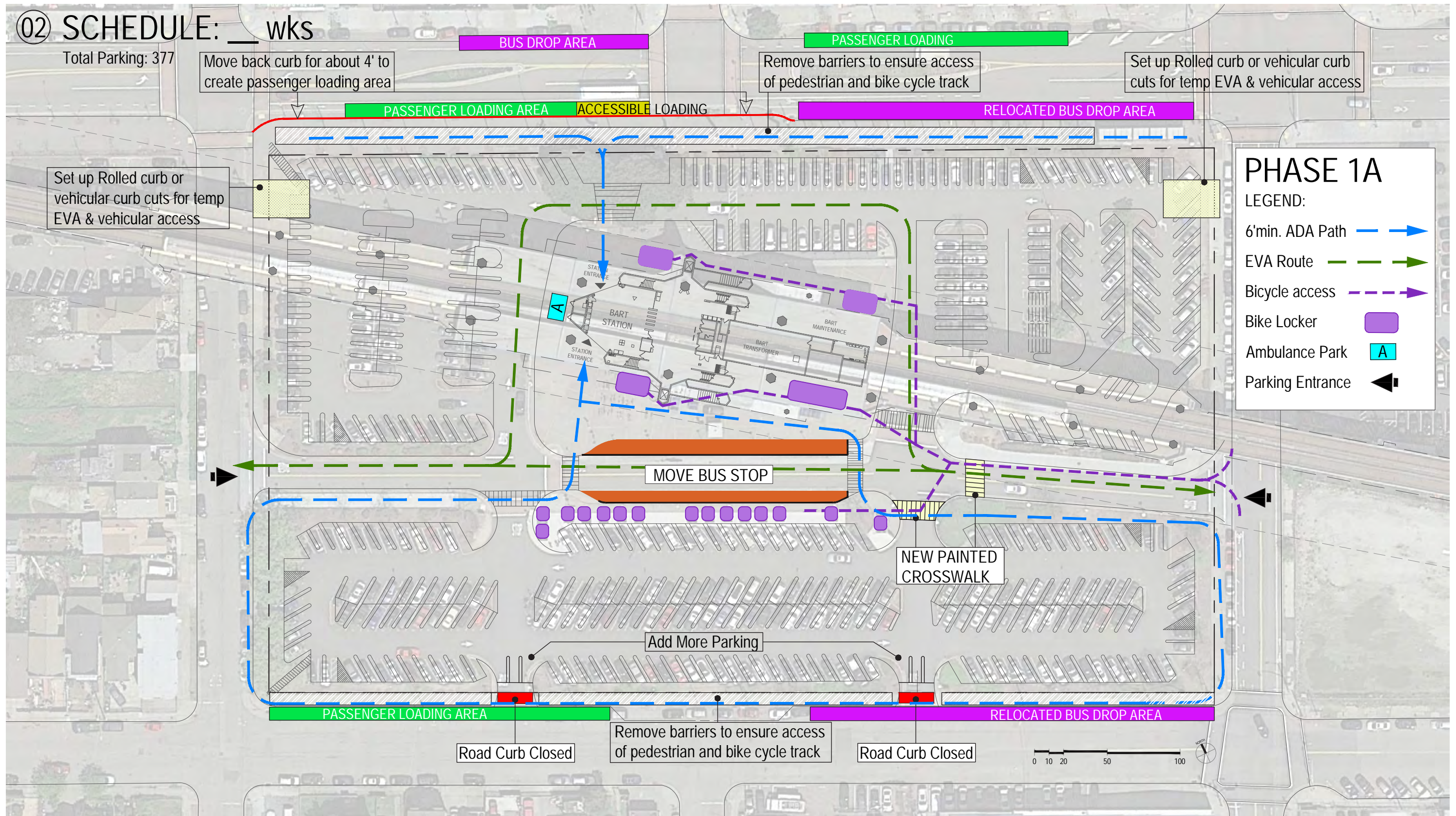
PHASE 1A

- NOTES:
1. Push the North site curb back for approximately 4' to create a passenger loading area.
 2. Relocate the passenger loading area.
 2. Relocate the existing bus stops to purple area along 5th and 7th street.
 3. Close south side road curb and add more available parking lot.

Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

02 SCHEDULE: wks

Total Parking: 377



Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

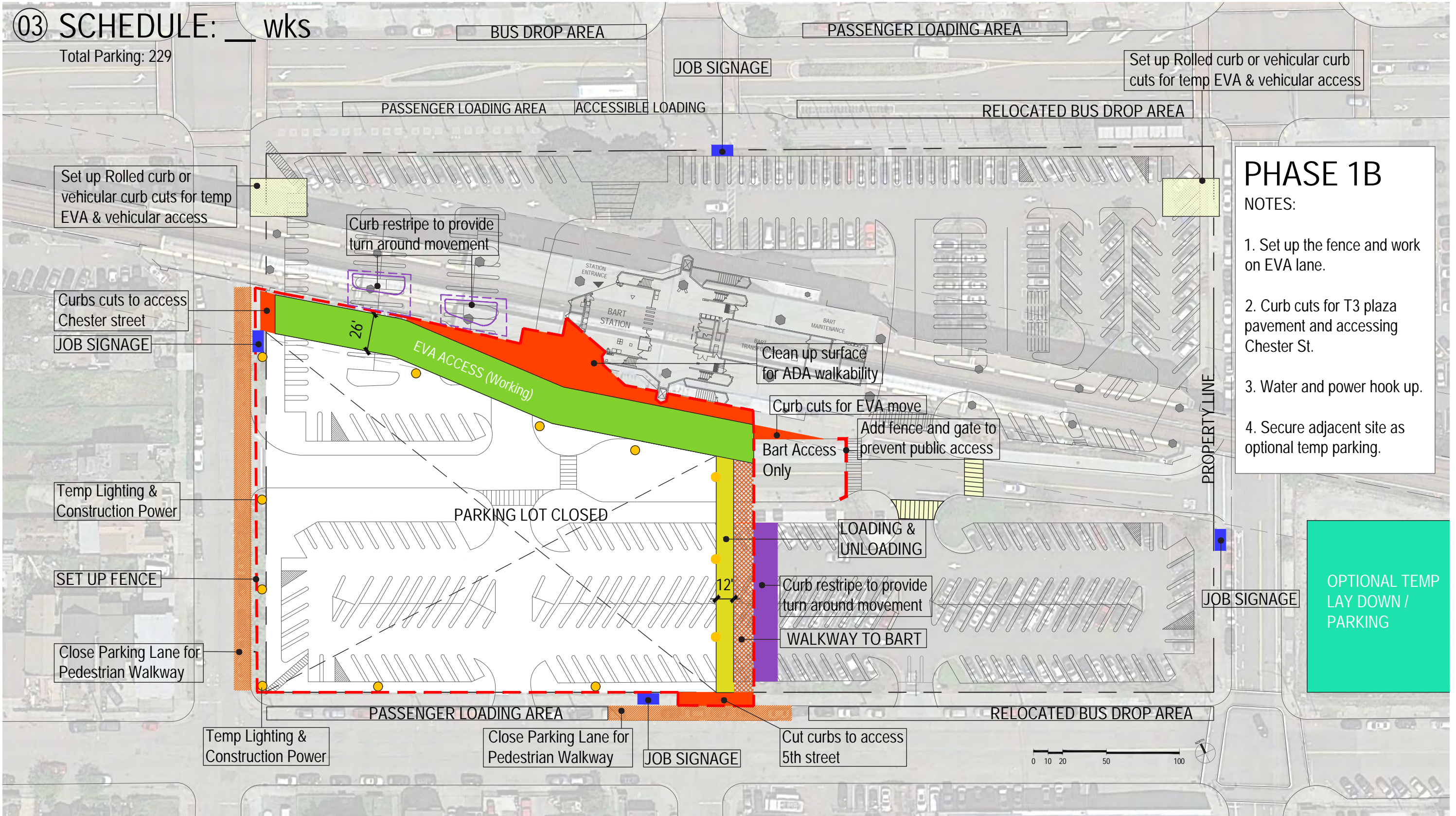
West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 1A
 REORGANIZED ROUTES

A-11.02

03 SCHEDULE: wks

Total Parking: 229



- ### PHASE 1B
- NOTES:
1. Set up the fence and work on EVA lane.
 2. Curb cuts for T3 plaza pavement and accessing Chester St.
 3. Water and power hook up.
 4. Secure adjacent site as optional temp parking.

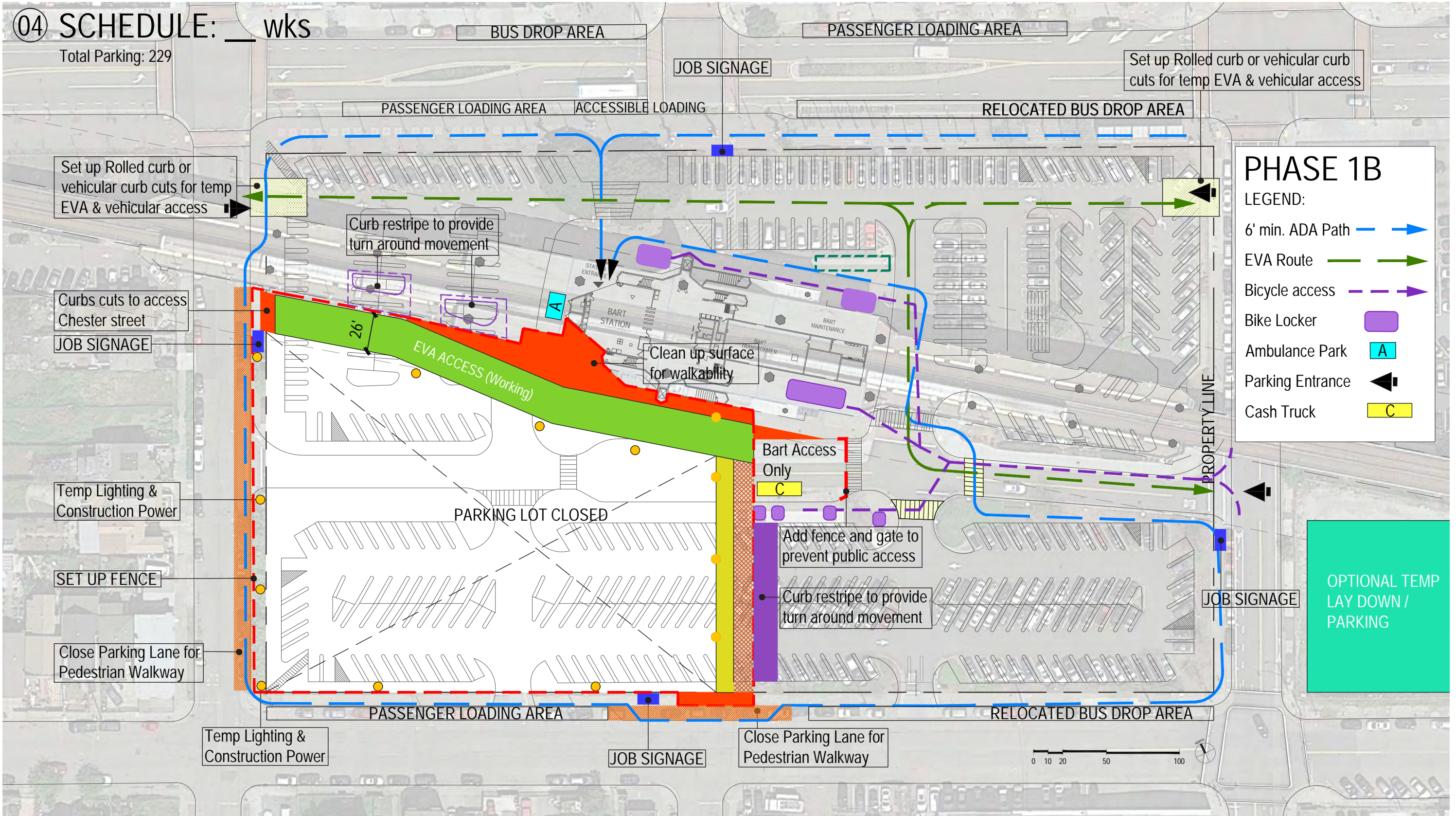
Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 1B
 T3 SITE PREPARATION

04 SCHEDULE: wks

Total Parking: 229



PHASE 1B

LEGEND:

- 6' min. ADA Path —▶
- EVA Route —▶
- Bicycle access - -▶
- Bike Locker ■
- Ambulance Park ■ A
- Parking Entrance ▶
- Cash Truck ■ C

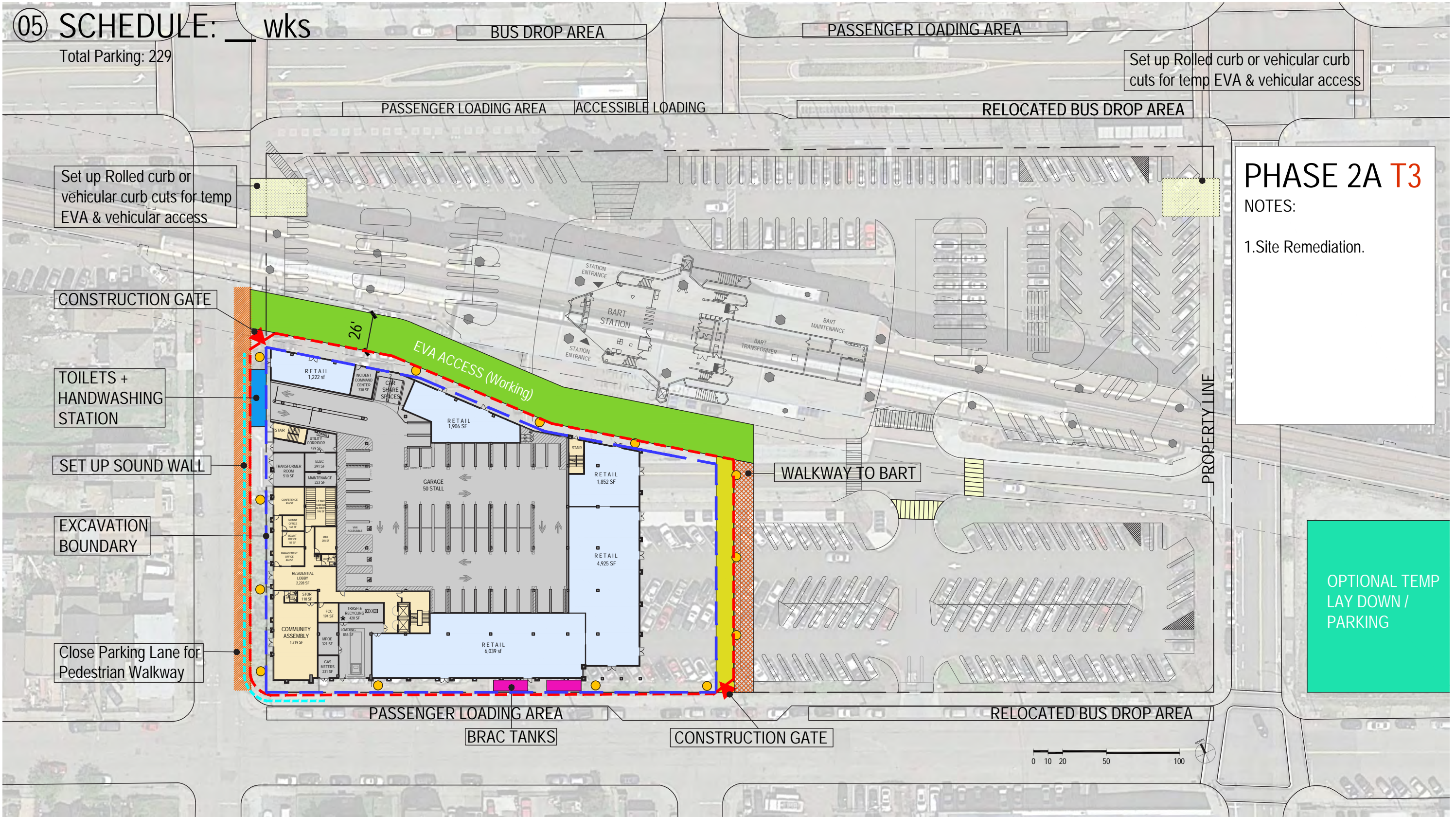
Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

**PHASE 1B
 REORGANIZED ROUTES**

05 SCHEDULE: wks

Total Parking: 229



PHASE 2A T3

NOTES:

- 1. Site Remediation.

Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

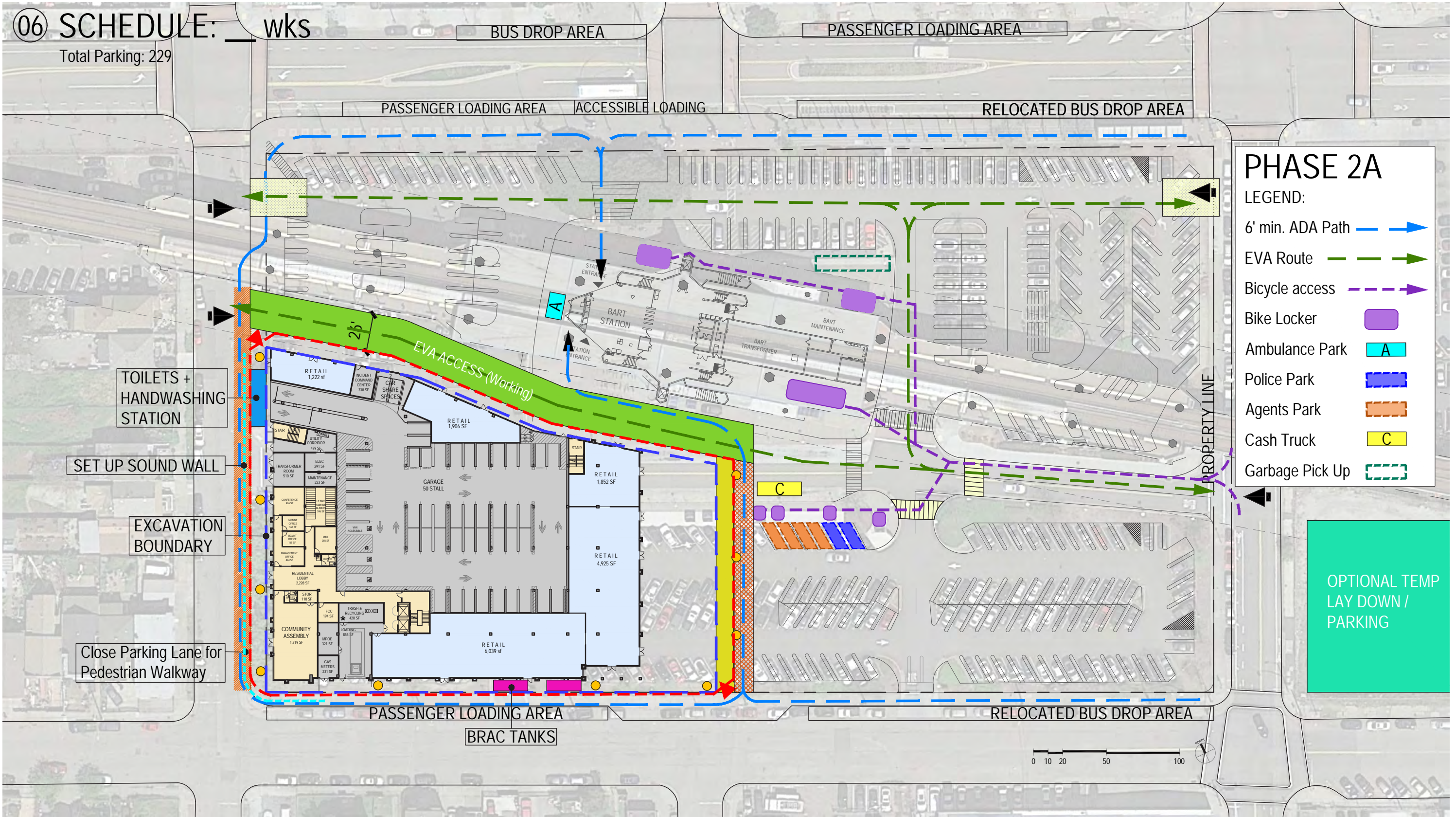
West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 2A
 T3 SITE EXCAVATION

A-11.05

06 SCHEDULE: wks

Total Parking: 229



Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

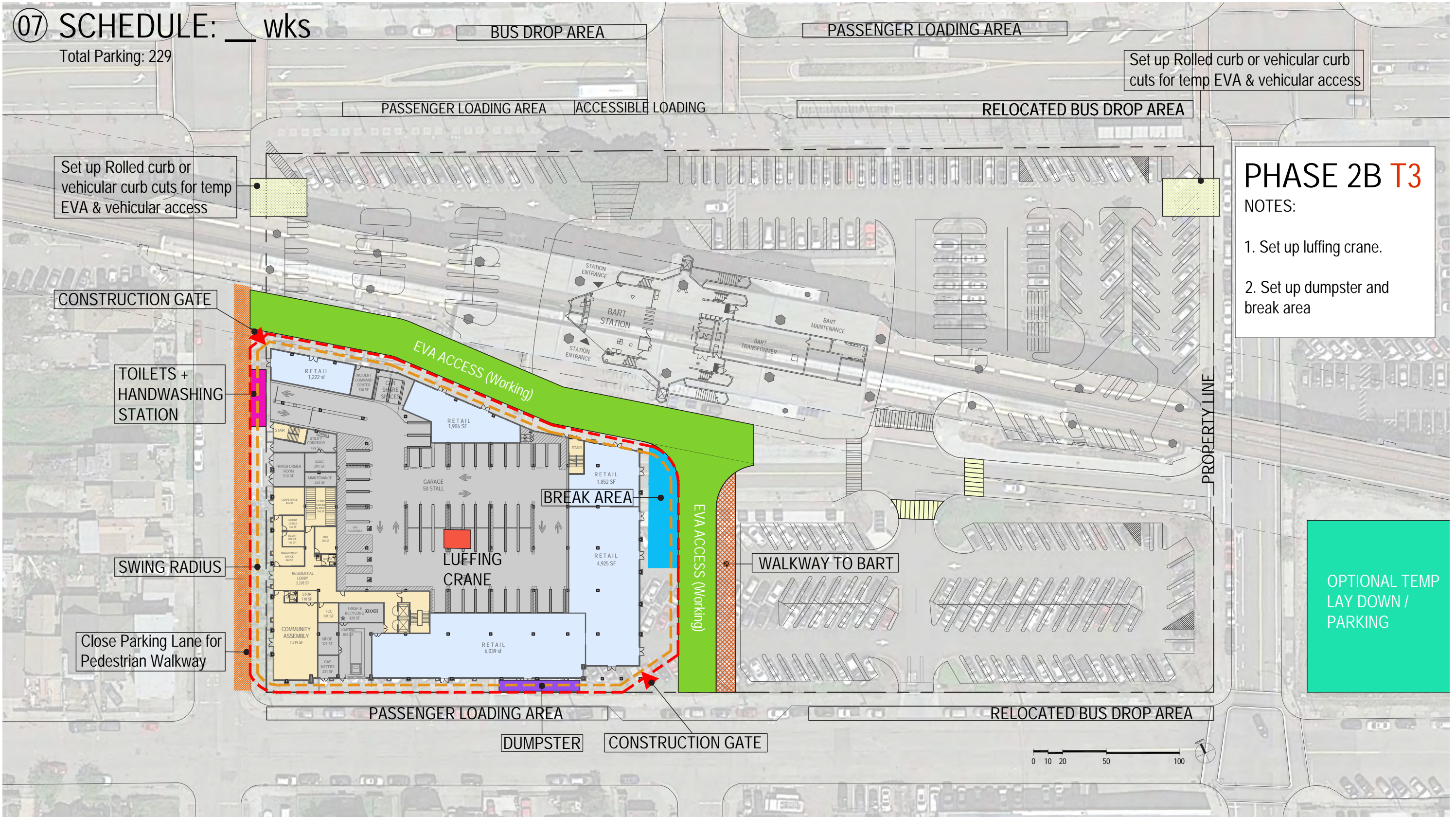
West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 2A
 REORGANIZED ROUTES

A-11.06

07 SCHEDULE: wks

Total Parking: 229



PHASE 2B T3

NOTES:

1. Set up luffing crane.
2. Set up dumpster and break area

Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

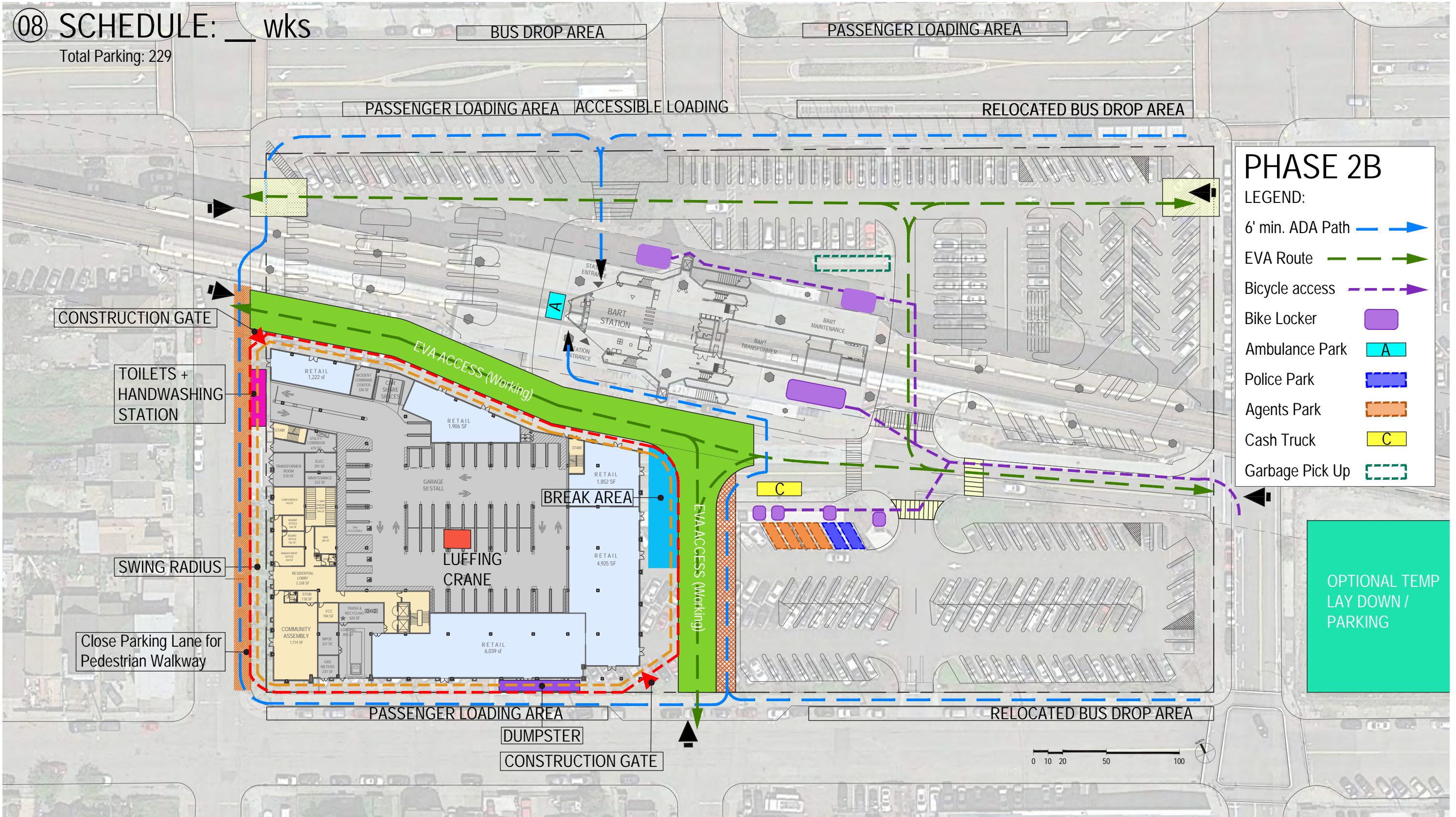
West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

**PHASE 2B
 T3 BUILDING CONSTRUCTION**

A-11.07

08 SCHEDULE: wks

Total Parking: 229



PHASE 2B

LEGEND:

- 6' min. ADA Path —▶
- EVA Route - -▶
- Bicycle access - -▶
- Bike Locker
- Ambulance Park A
- Police Park
- Agents Park
- Cash Truck C
- Garbage Pick Up

OPTIONAL TEMP
LAY DOWN /
PARKING

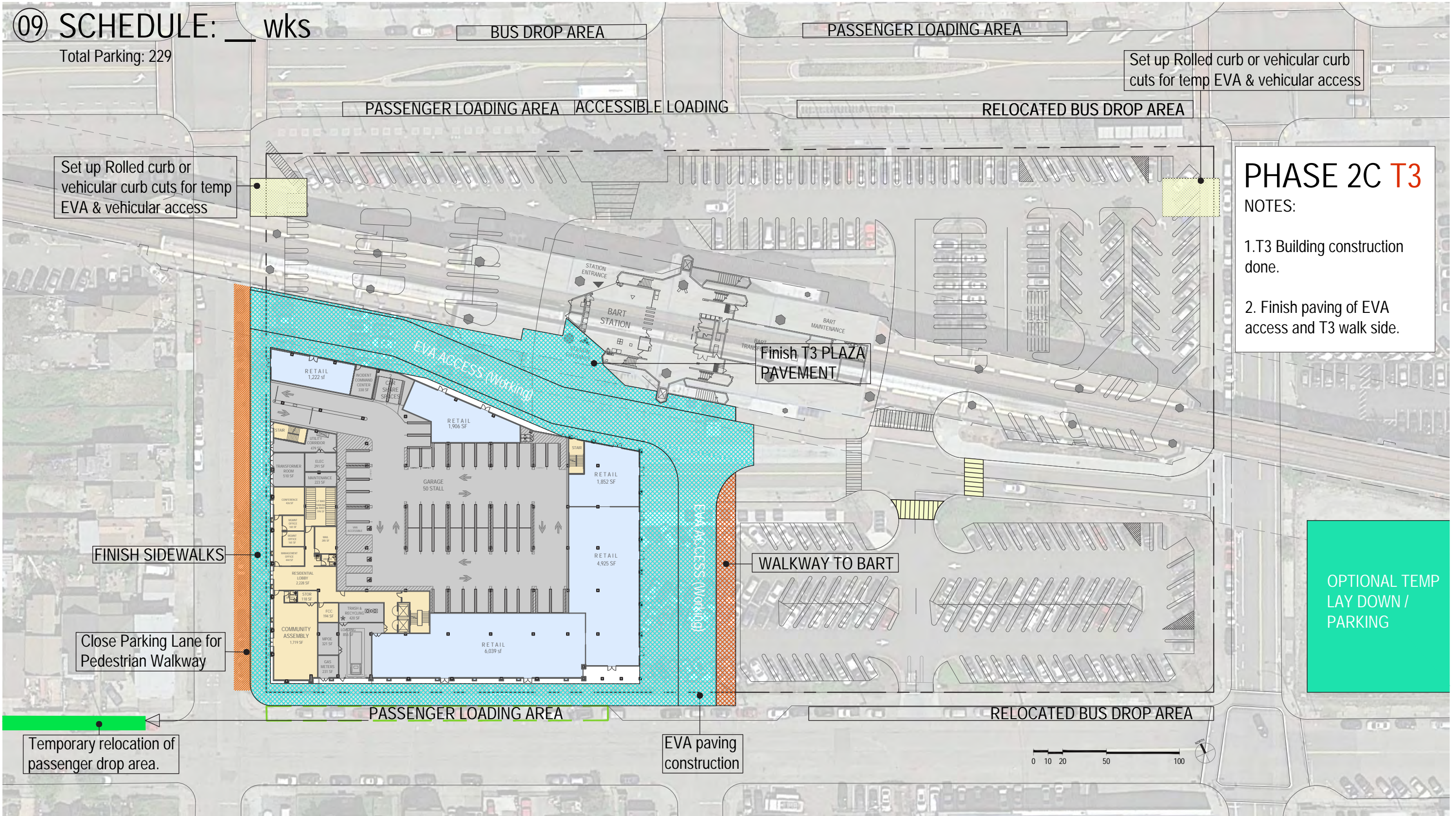
Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
1451 7th St, Oakland, CA 94607
June 05, 2020

**PHASE 2B
REORGANIZED ROUTES**

09 SCHEDULE: wks

Total Parking: 229



Set up Rolled curb or vehicular curb cuts for temp EVA & vehicular access

Set up Rolled curb or vehicular curb cuts for temp EVA & vehicular access

PHASE 2C T3

- NOTES:
1. T3 Building construction done.
 2. Finish paving of EVA access and T3 walk side.

OPTIONAL TEMP LAY DOWN / PARKING

Temporary relocation of passenger drop area.

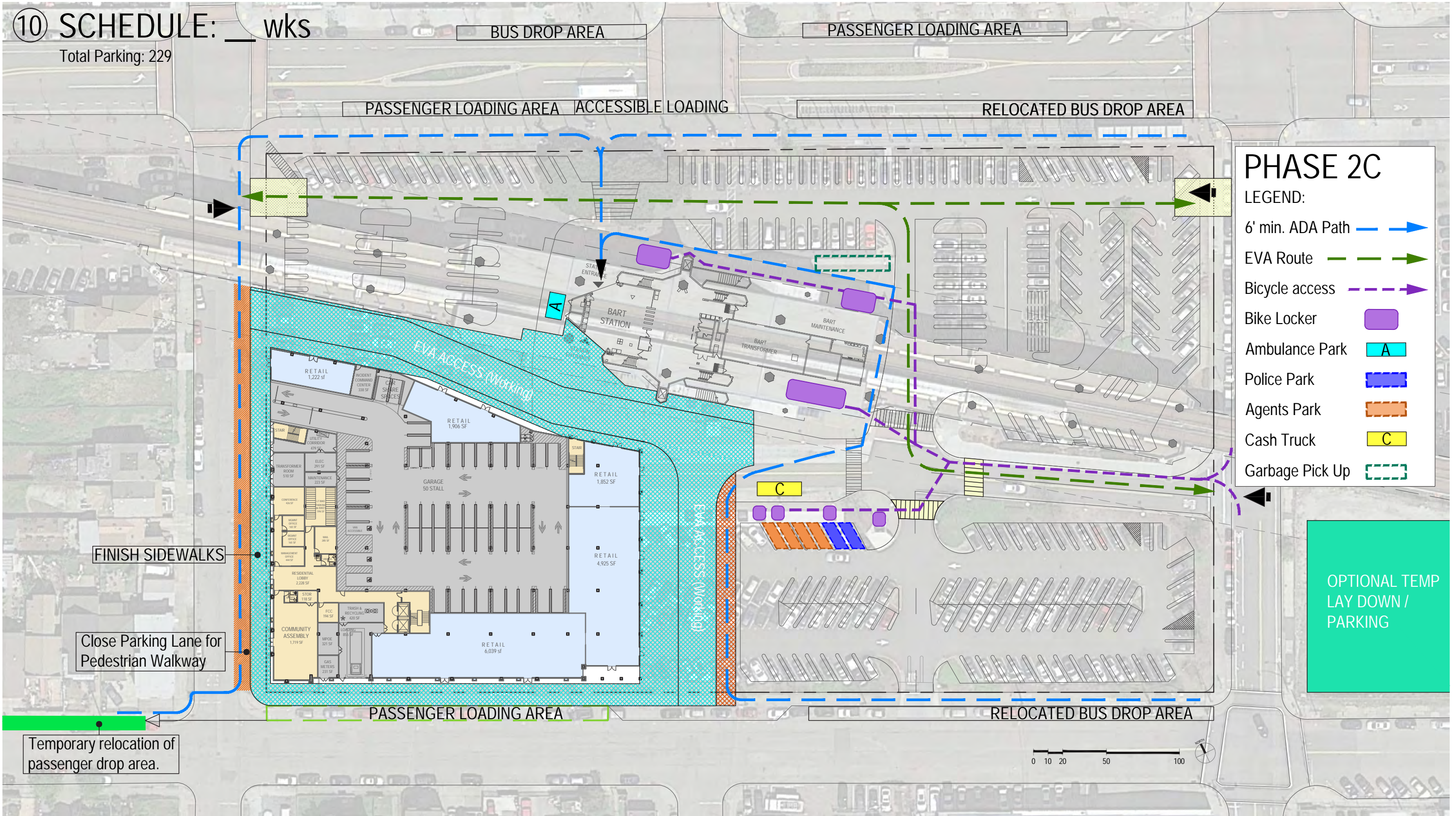
Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland Bart Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

**PHASE 2C FINISHING
 T3 PAVING OF SIDE WALK**

⑩ SCHEDULE: wks

Total Parking: 229



PHASE 2C

LEGEND:

- 6' min. ADA Path — — — — — ➔
- EVA Route — — — — — ➔
- Bicycle access — — — — — ➔
- Bike Locker
- Ambulance Park A
- Police Park
- Agents Park
- Cash Truck C
- Garbage Pick Up

OPTIONAL TEMP
LAY DOWN /
PARKING

Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
1451 7th St, Oakland, CA 94607
June 05, 2020

**PHASE 2C
REORGANIZED ROUTES**

11 SCHEDULE: wks

Total Parking: 229

Temporary relocation of passenger drop area.

BUS DROP AREA

PASSENGER LOADING AREA

RELOCATED BUS DROP AREA

FINISH PLAZA SIDEWALK

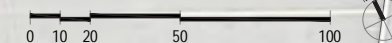
PHASE 3A T2

NOTES:

1. Temporary relocate the passenger drop area.
2. Finish T2 plaza side walk.

OPTIONAL TEMP LAY DOWN / PARKING

Move the curb drop area back to T3 on 5th St.



Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland Bart Station: Construction Staging
1451 7th St, Oakland, CA 94607
June 05, 2020

PHASE 3A FINISH
T2 PAVING OF SIDE WALK

A-11.11

12 SCHEDULE: wks

Total Parking: 229

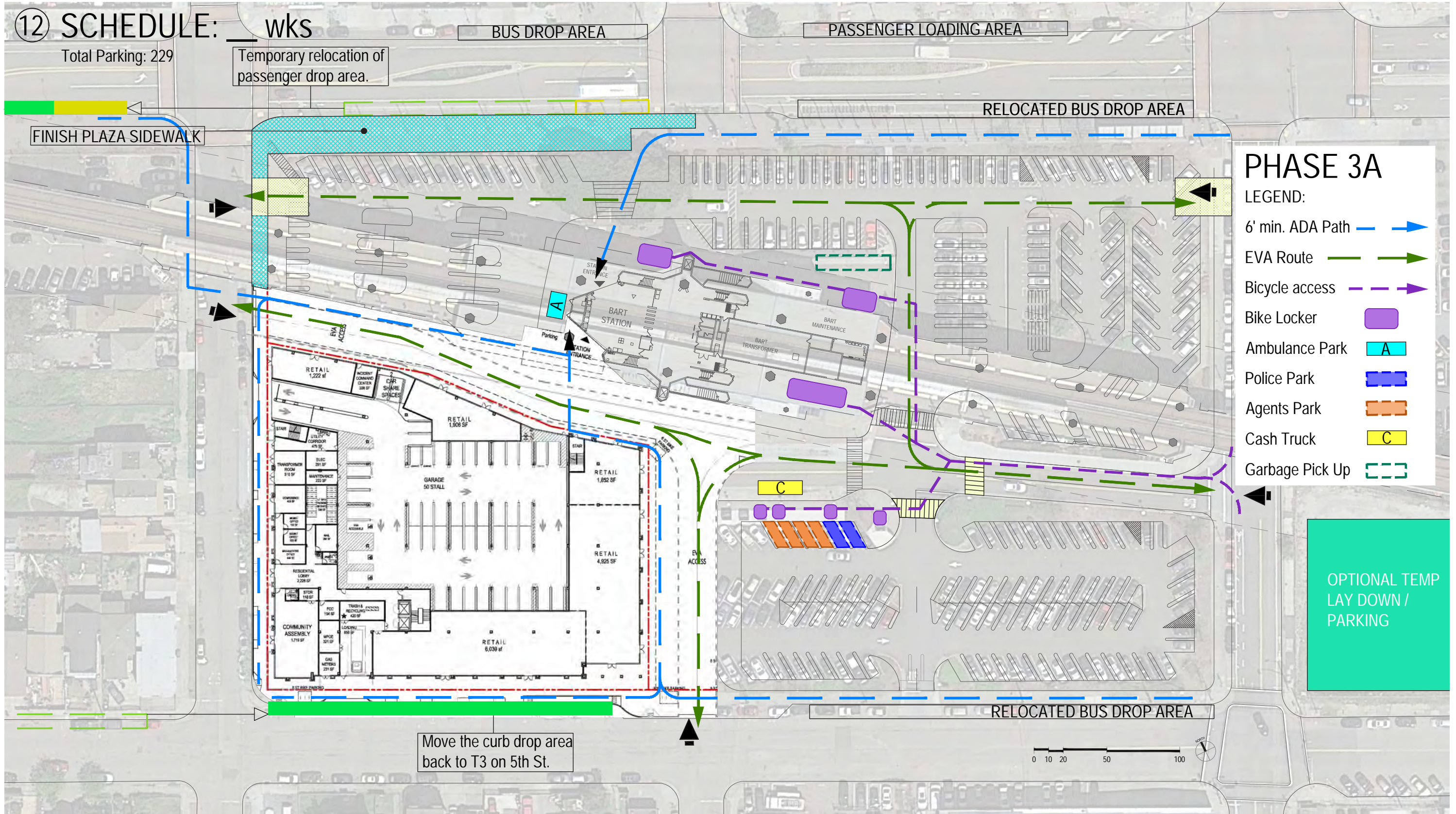
Temporary relocation of passenger drop area.

BUS DROP AREA

PASSENGER LOADING AREA

RELOCATED BUS DROP AREA

FINISH PLAZA SIDEWALK



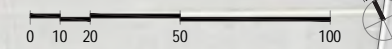
PHASE 3A

LEGEND:

- 6' min. ADA Path ———▶
- EVA Route ———▶
- Bicycle access - - - -▶
- Bike Locker [Purple Box]
- Ambulance Park [Blue Box with 'A']
- Police Park [Blue Box with 'P']
- Agents Park [Orange Box with 'A']
- Cash Truck [Yellow Box with 'C']
- Garbage Pick Up [Dashed Green Box]

OPTIONAL TEMP LAY DOWN / PARKING

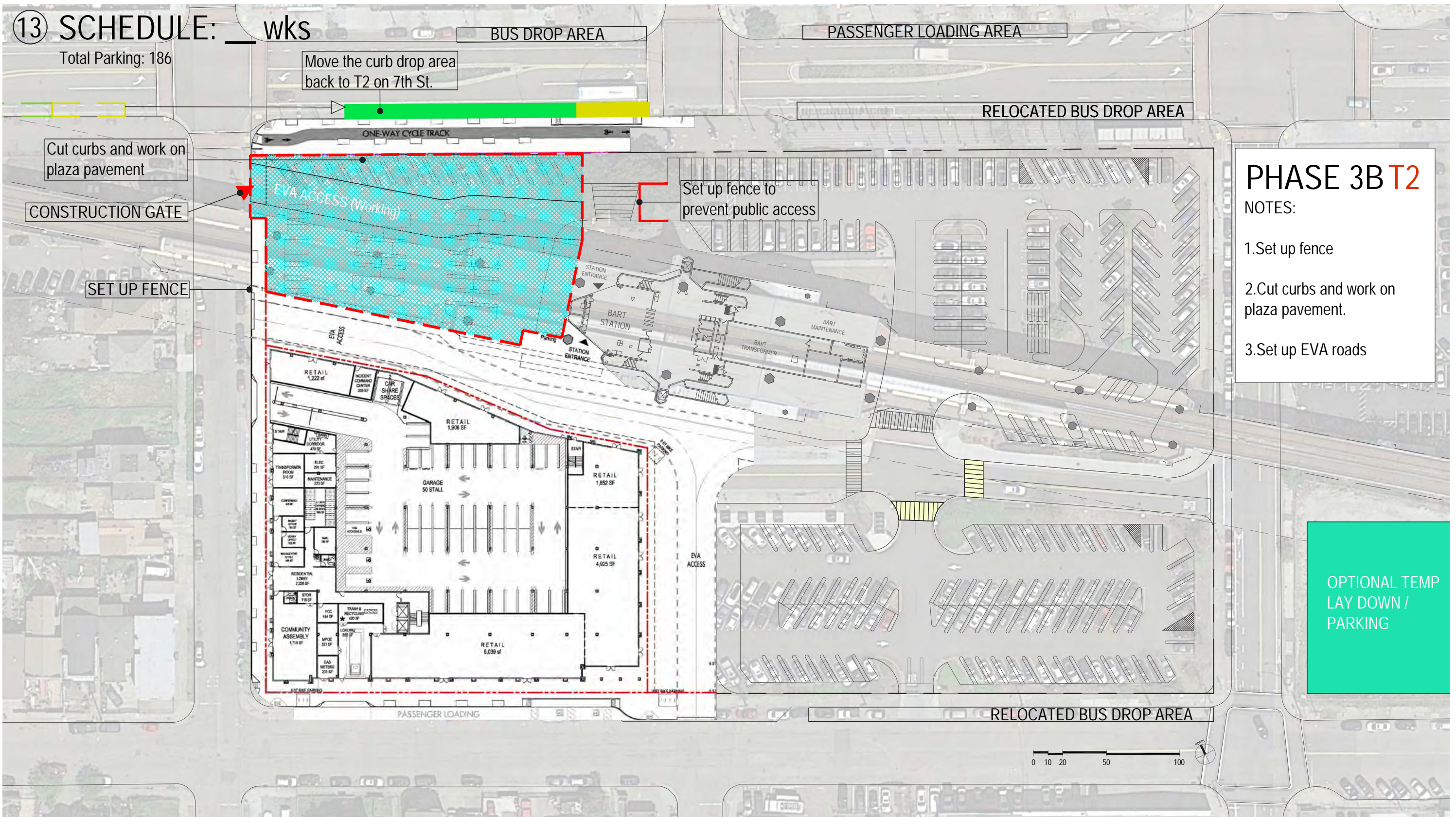
Move the curb drop area back to T3 on 5th St.



Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

13 SCHEDULE: wks

Total Parking: 186



Cut curbs and work on plaza pavement

CONSTRUCTION GATE

SET UP FENCE

Move the curb drop area back to T2 on 7th St.

Set up fence to prevent public access

PHASE 3B T2

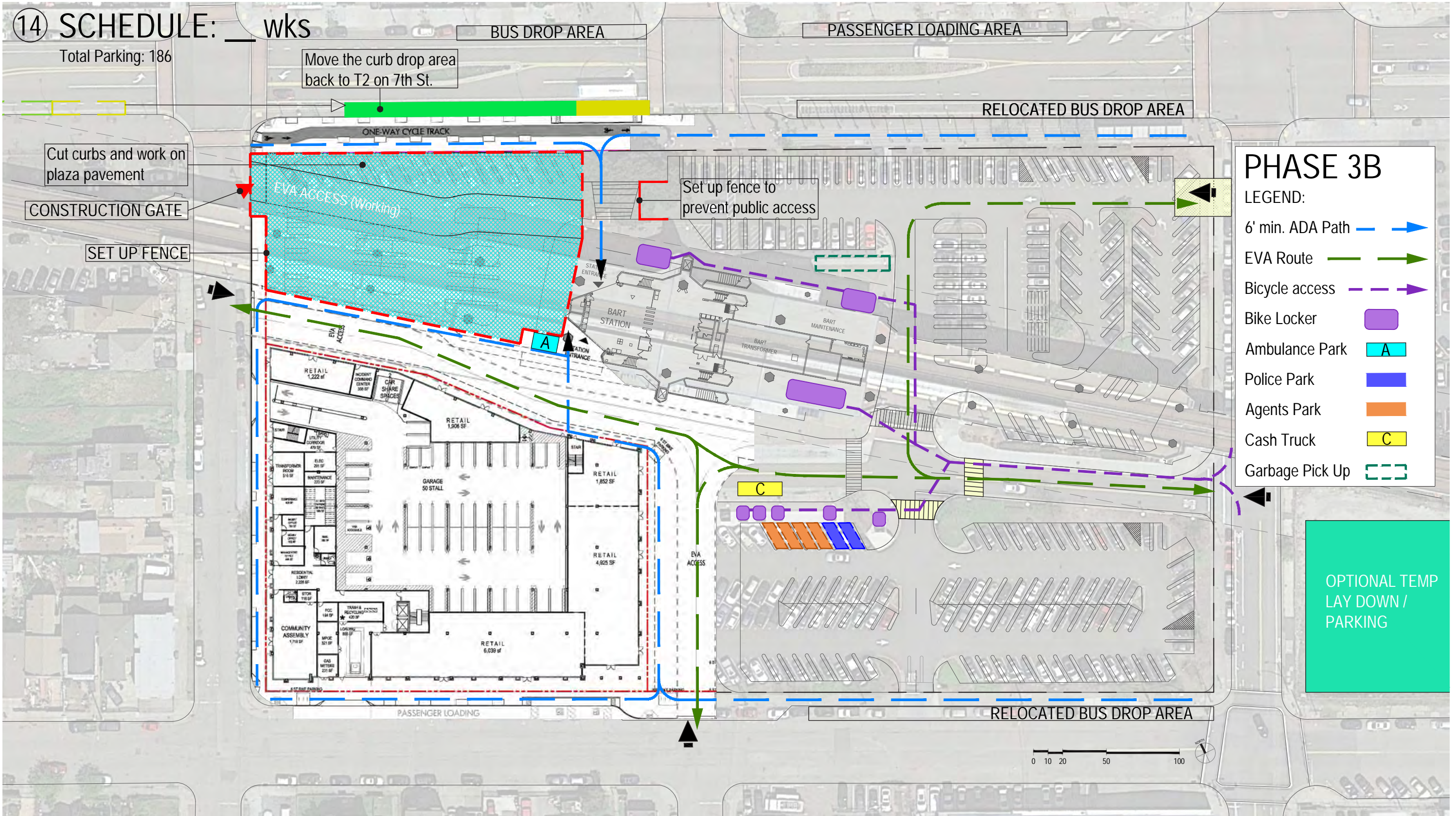
NOTES:

1. Set up fence
2. Cut curbs and work on plaza pavement.
3. Set up EVA roads

OPTIONAL TEMP LAY DOWN / PARKING

14 SCHEDULE: wks

Total Parking: 186



PHASE 3B

LEGEND:

- 6' min. ADA Path —▶
- EVA Route —▶
- Bicycle access - -▶
- Bike Locker ■
- Ambulance Park ■ A
- Police Park ■
- Agents Park ■
- Cash Truck ■ C
- Garbage Pick Up - - -

Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 3B
REORGANIZED ROUTES

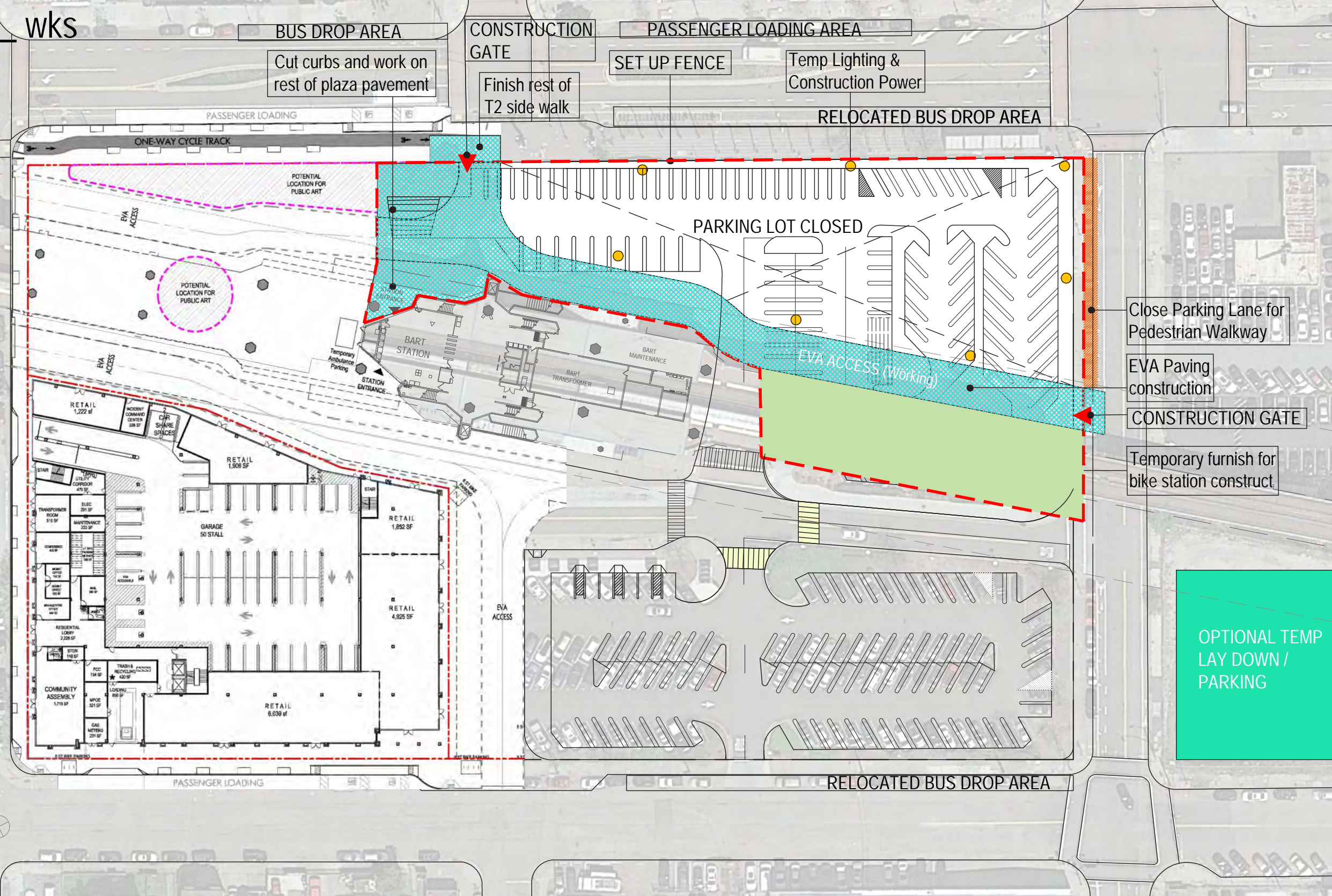
15 SCHEDULE: **wks**

Total Parking: 87

PHASE 4A T2

NOTES:

1. Set up fence
2. Cut curbs and work on rest of plaza pavement.
3. Build up Temp lighting, power and signage.
4. Cut curbs for EVA access to MANDLA PKWY.



Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

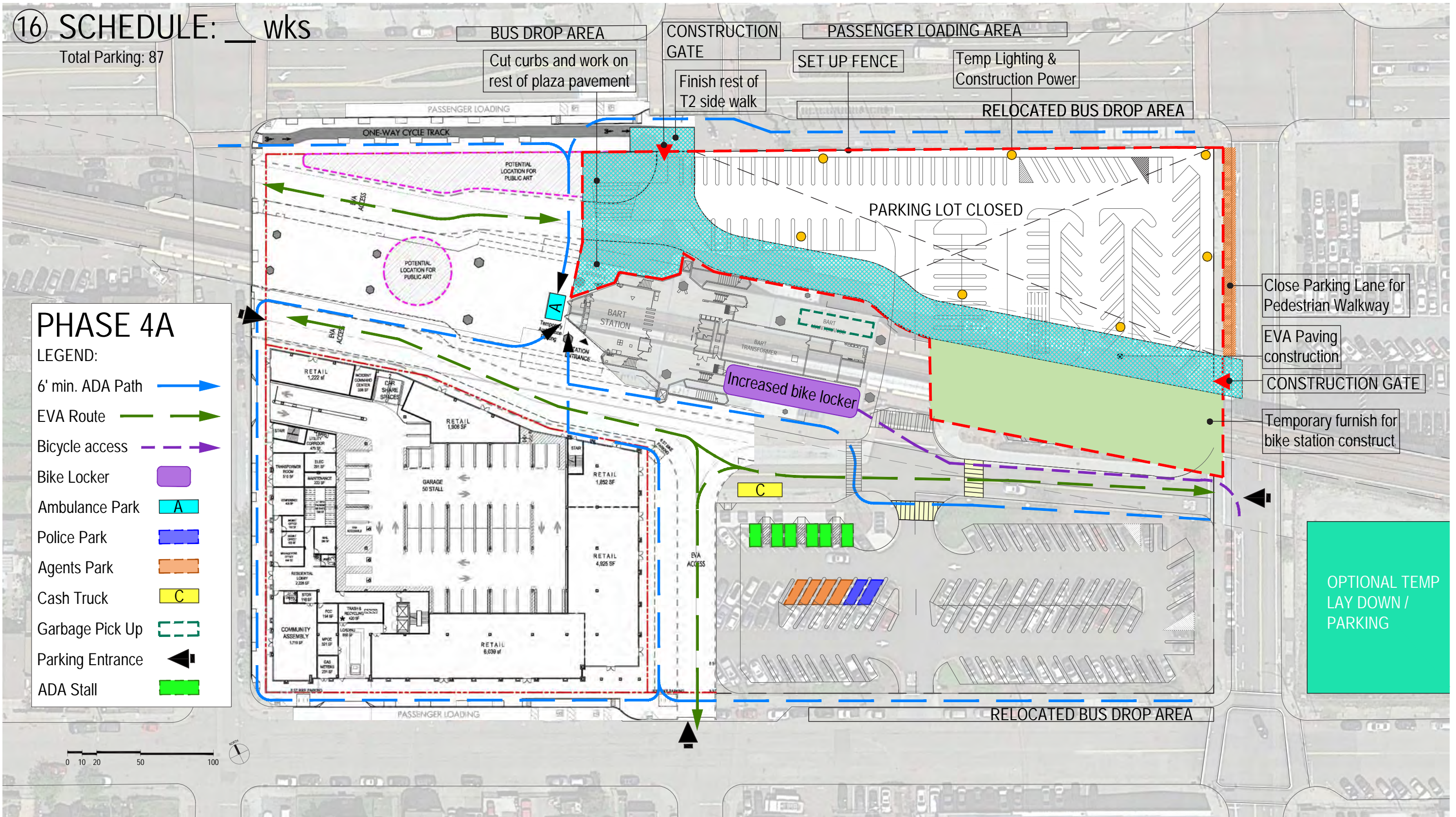
West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

**PHASE 4A
 T1 SITE PREPARATION**

A-11.15

16 SCHEDULE: wks

Total Parking: 87



Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 4A
 REORGANIZED ROUTES

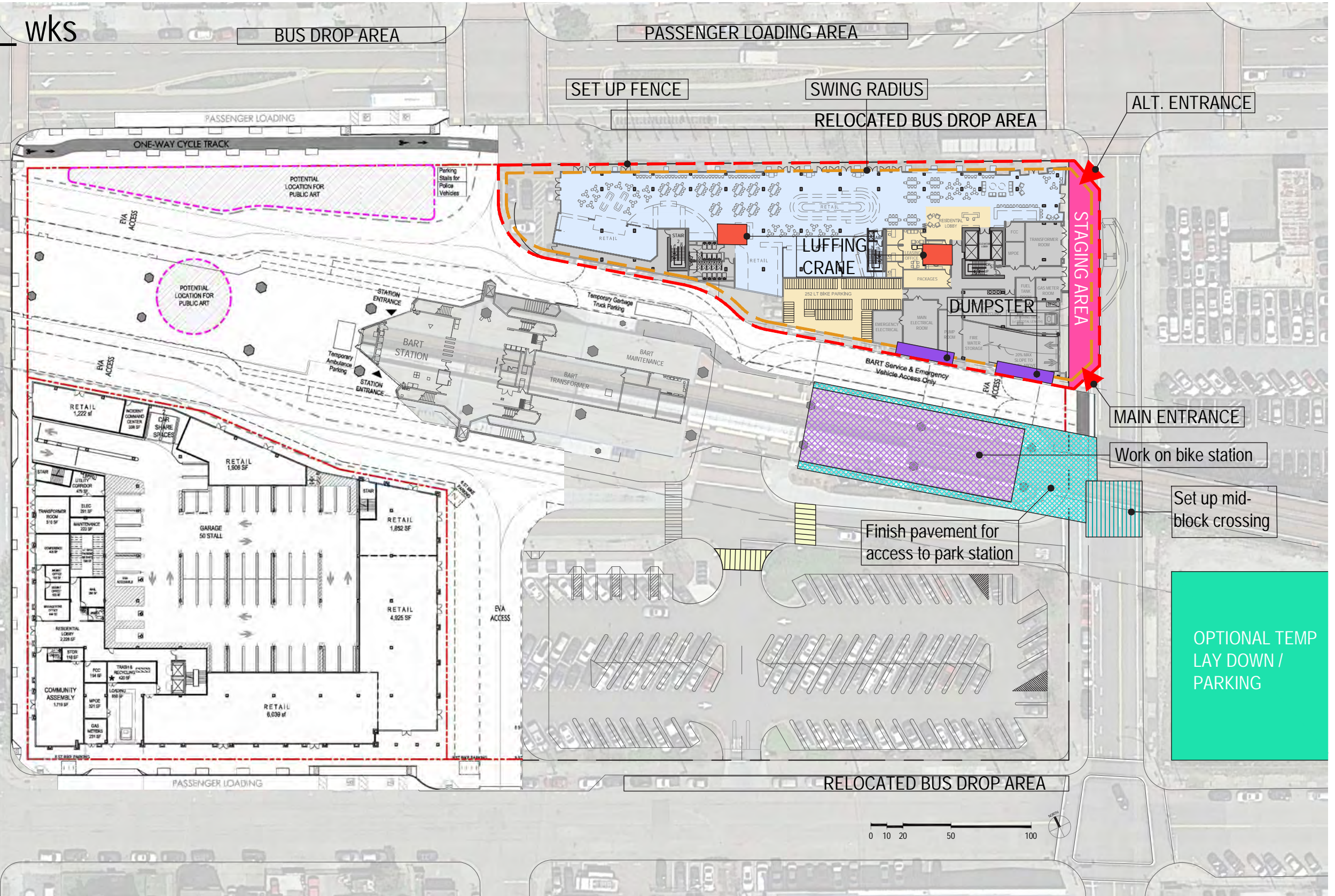
17 SCHEDULE: _____ wks

Total Parking: 87

PHASE 4B T1

NOTES:

1. T2 plaza paving finished.
2. Set up fence and luffing crane.
3. Add one street lane into fence as staging area
4. Work on the bike station while finishing pavement.



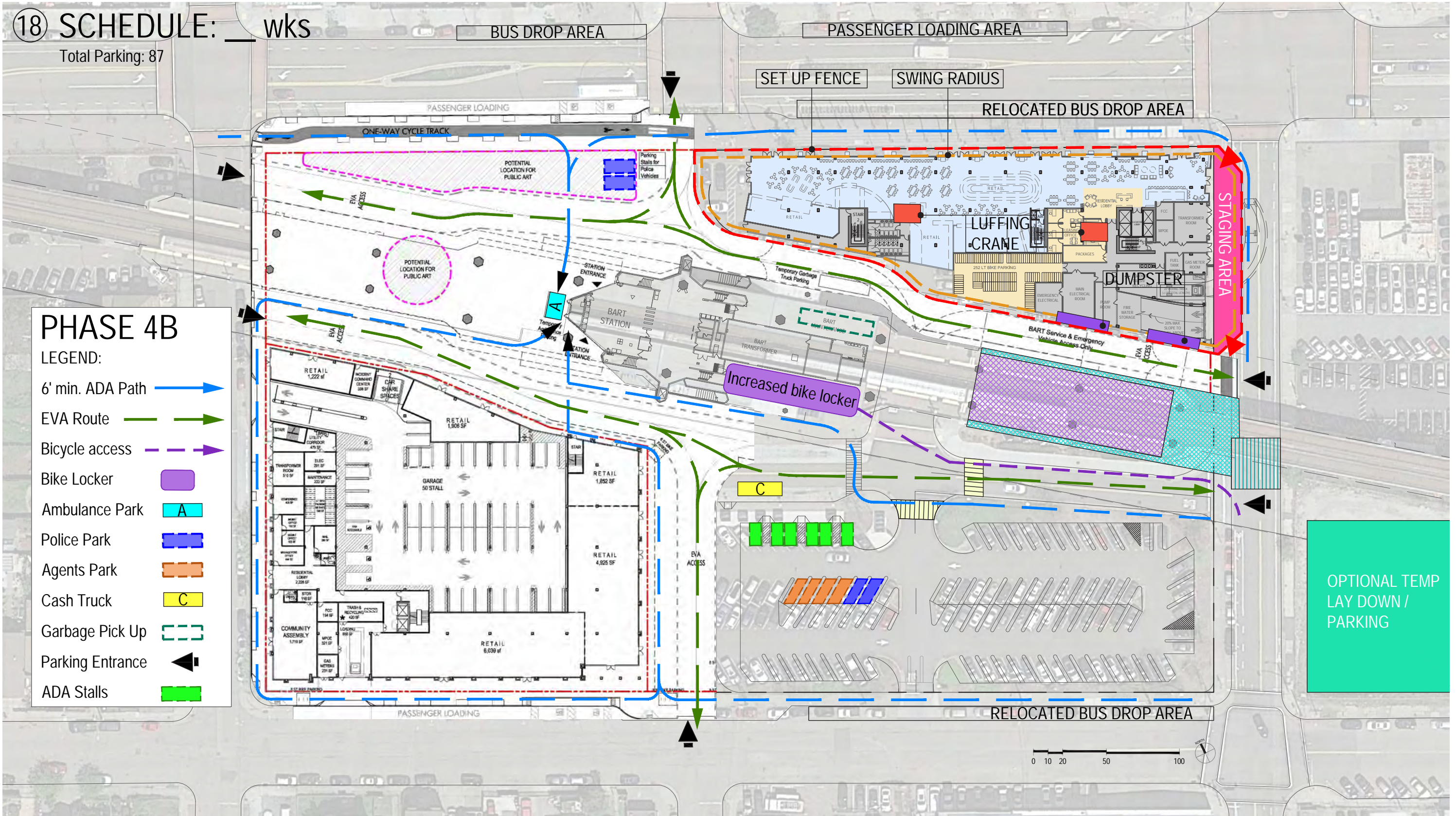
Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 4B T1 BUILDING AND BIKE STATION CONSTRUCTION

18 SCHEDULE: wks

Total Parking: 87



PHASE 4B

LEGEND:

- 6' min. ADA Path →
- EVA Route →
- Bicycle access - - - →
- Bike Locker
- Ambulance Park A
- Police Park
- Agents Park
- Cash Truck C
- Garbage Pick Up
- Parking Entrance ▶
- ADA Stalls

Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 4B
REORGANIZED ROUTES

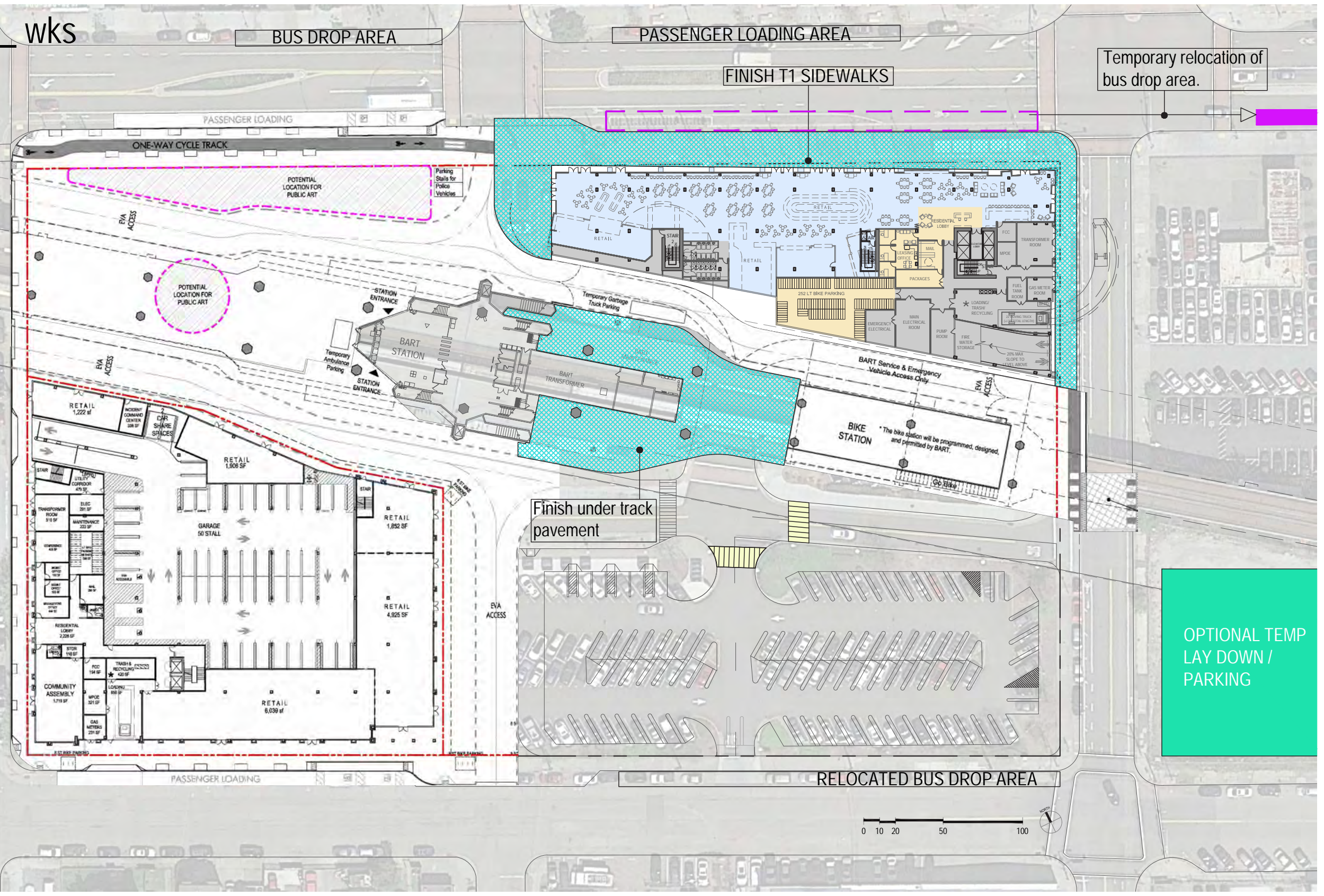
19 SCHEDULE: wks

Total Parking: 87

PHASE 4C T1

NOTES:

1. T1 building construction done.
2. Finish pavement of T1 side walks and under track area.



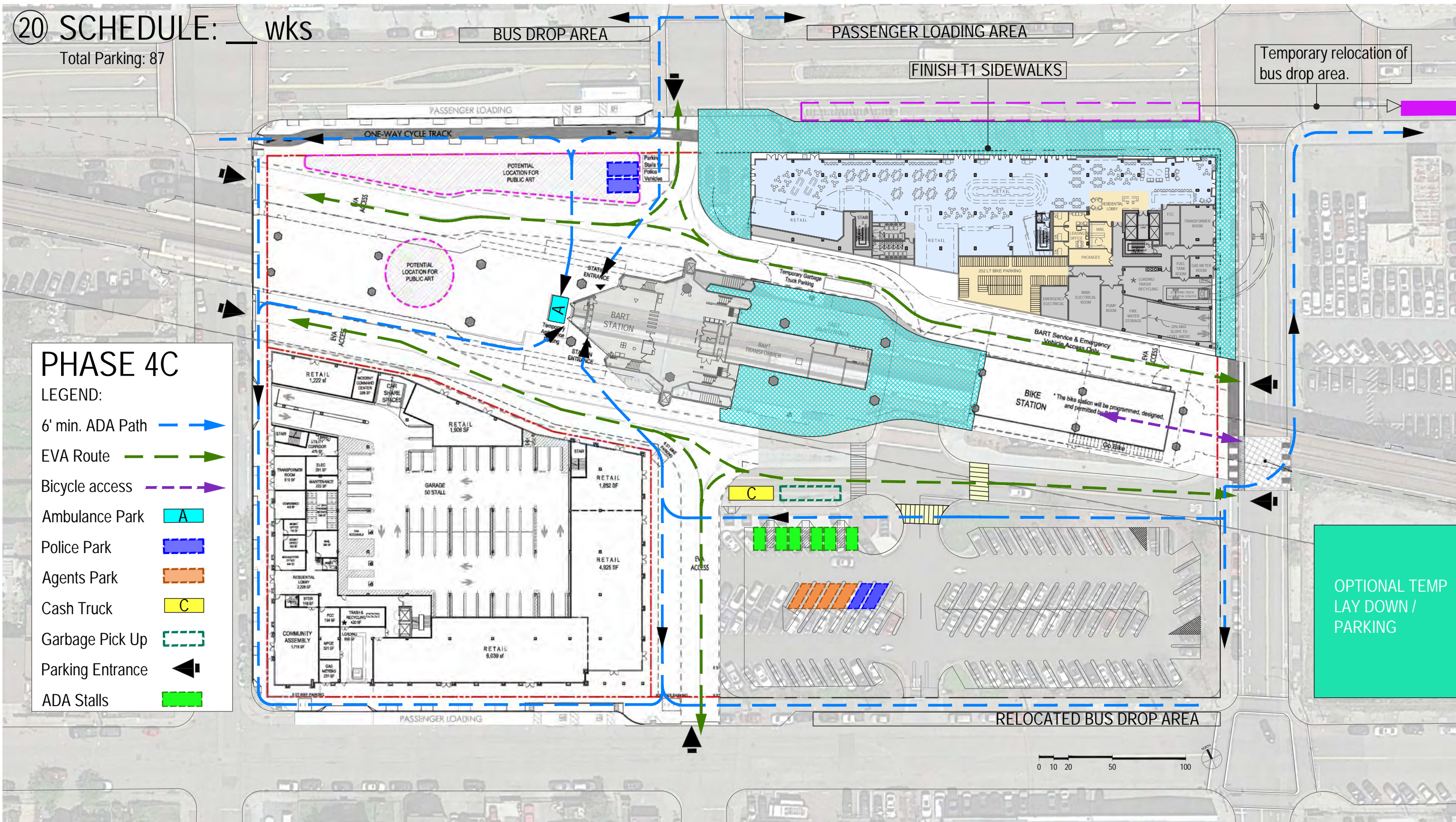
Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 4C FINISH
 T1 PAVING OF SIDE WALK

20 SCHEDULE: wks

Total Parking: 87

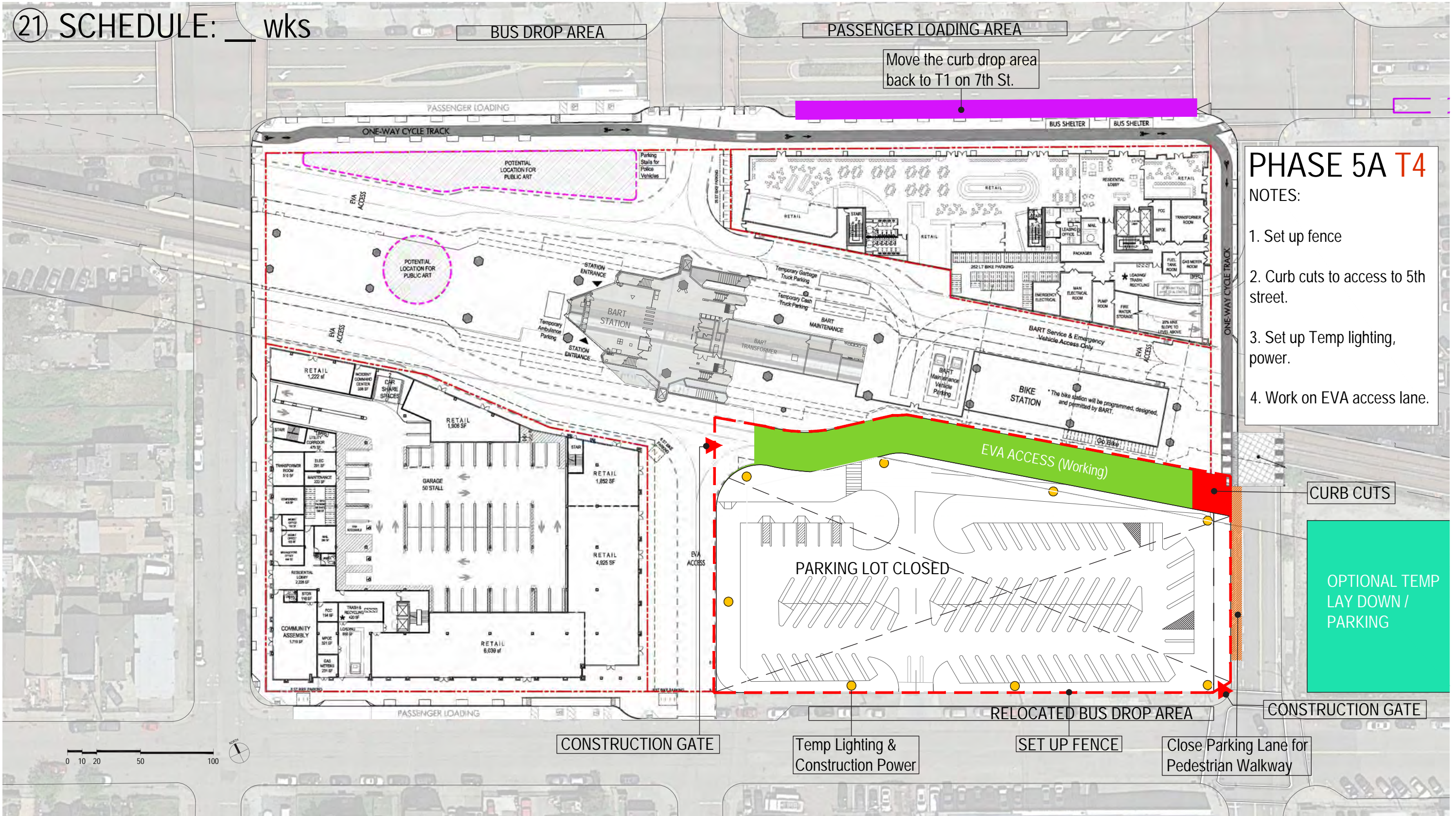


Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 4C REORGANIZED ROUTES

21 SCHEDULE: wks



PHASE 5A T4

- NOTES:
1. Set up fence
 2. Curb cuts to access to 5th street.
 3. Set up Temp lighting, power.
 4. Work on EVA access lane.

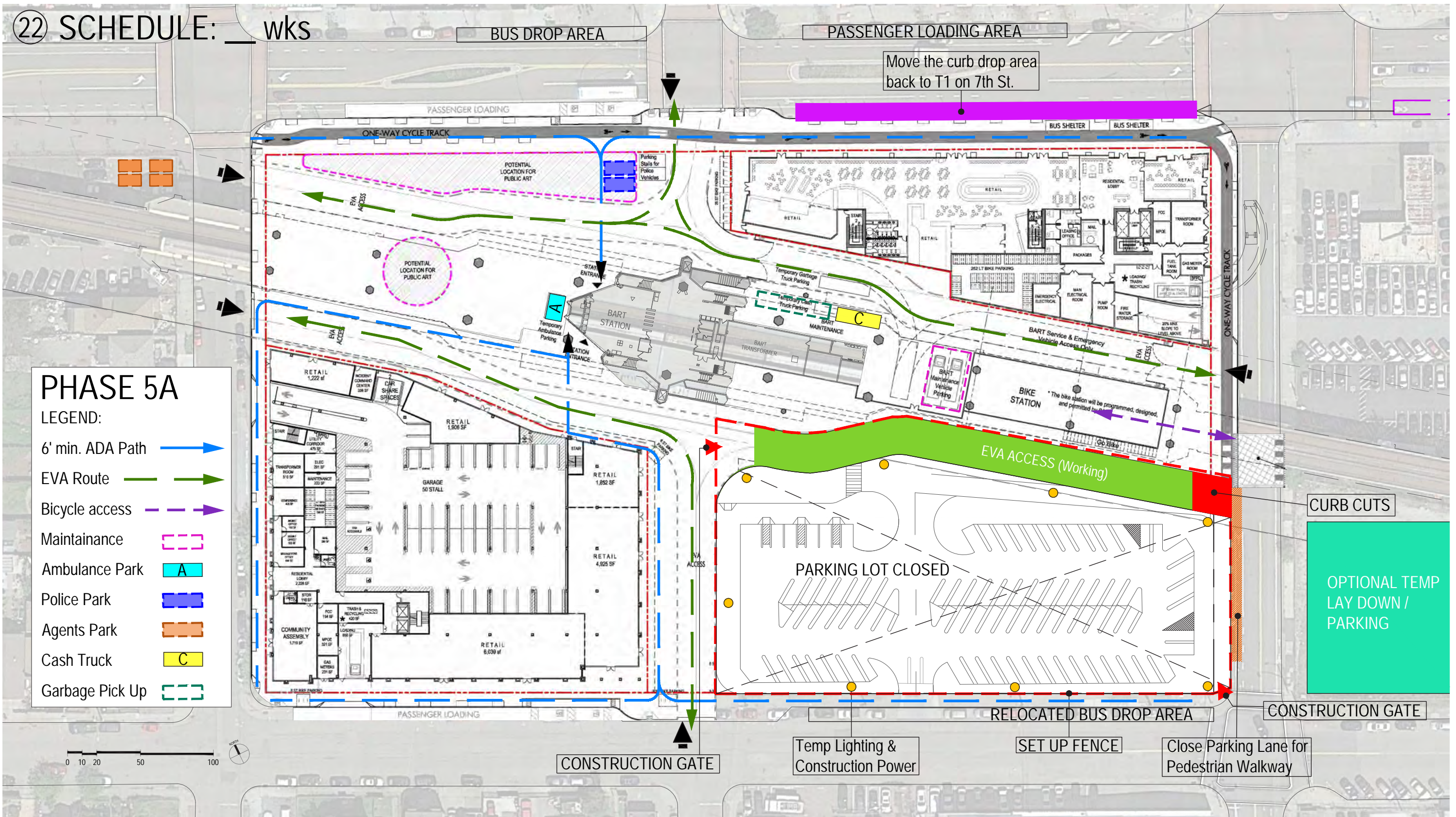
Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

**PHASE 5A
 T4 SITE PREPARATION**

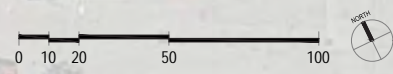
A-11.21

22 SCHEDULE: wks



PHASE 5A
LEGEND:

- 6' min. ADA Path →
- EVA Route →
- Bicycle access →
- Maintainance
- Ambulance Park A
- Police Park
- Agents Park
- Cash Truck C
- Garbage Pick Up

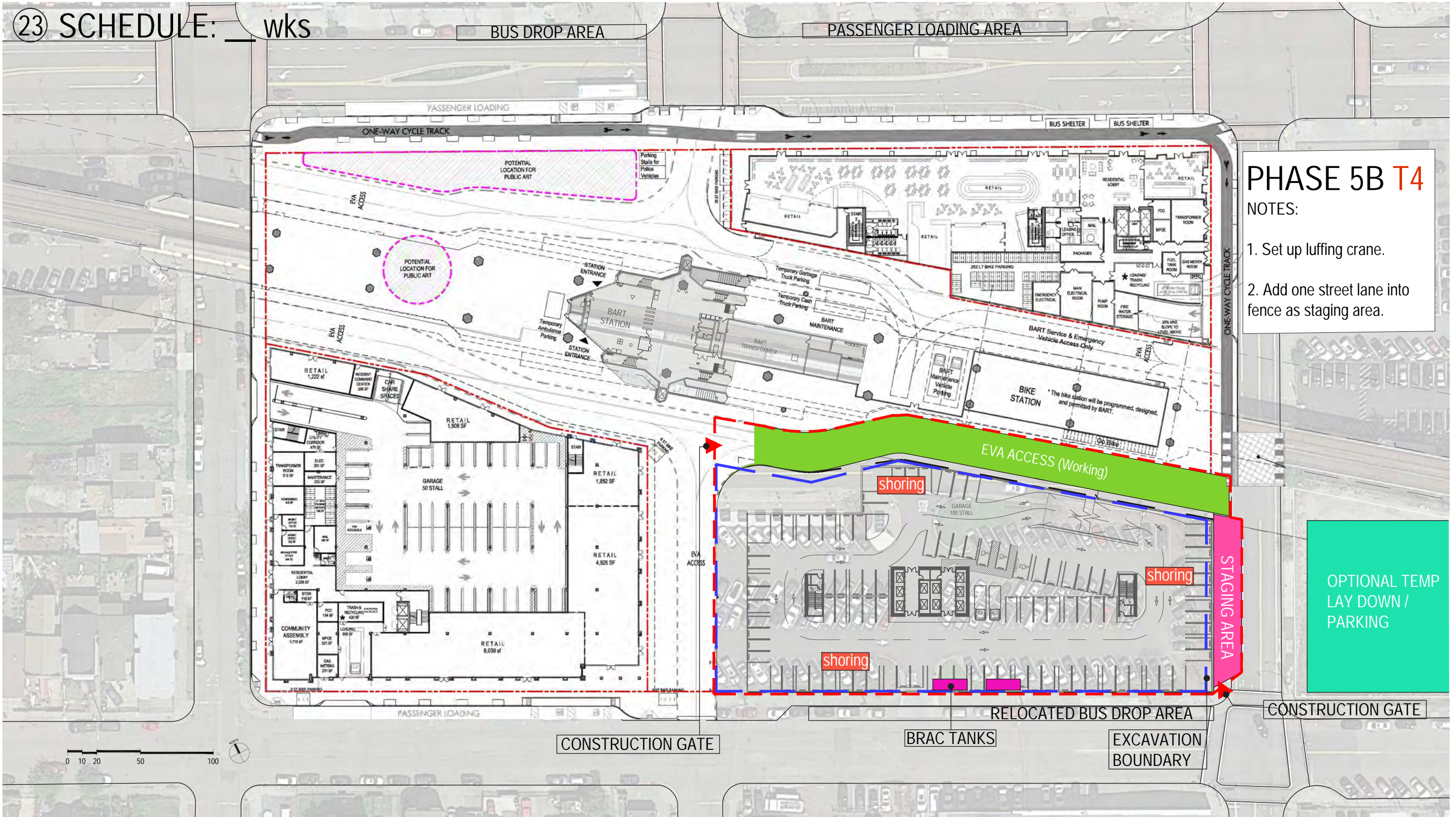


Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 5A
REORGANIZED ROUTES

23 SCHEDULE: wks



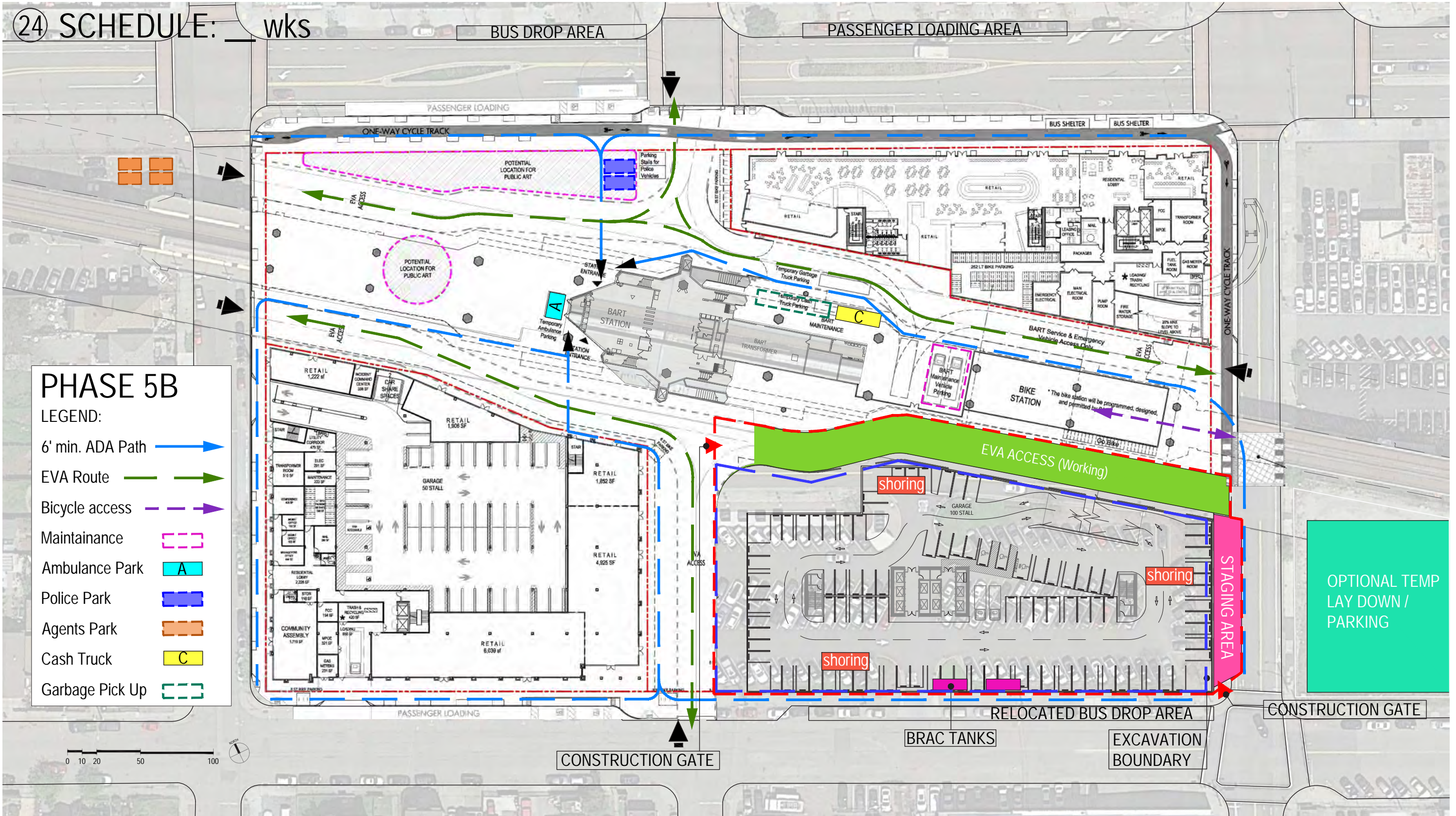
PHASE 5B T4
 NOTES:
 1. Set up luffing crane.
 2. Add one street lane into fence as staging area.

Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 5B
T4 SITE EXCAVATION
 A-11.23

24 SCHEDULE: wks

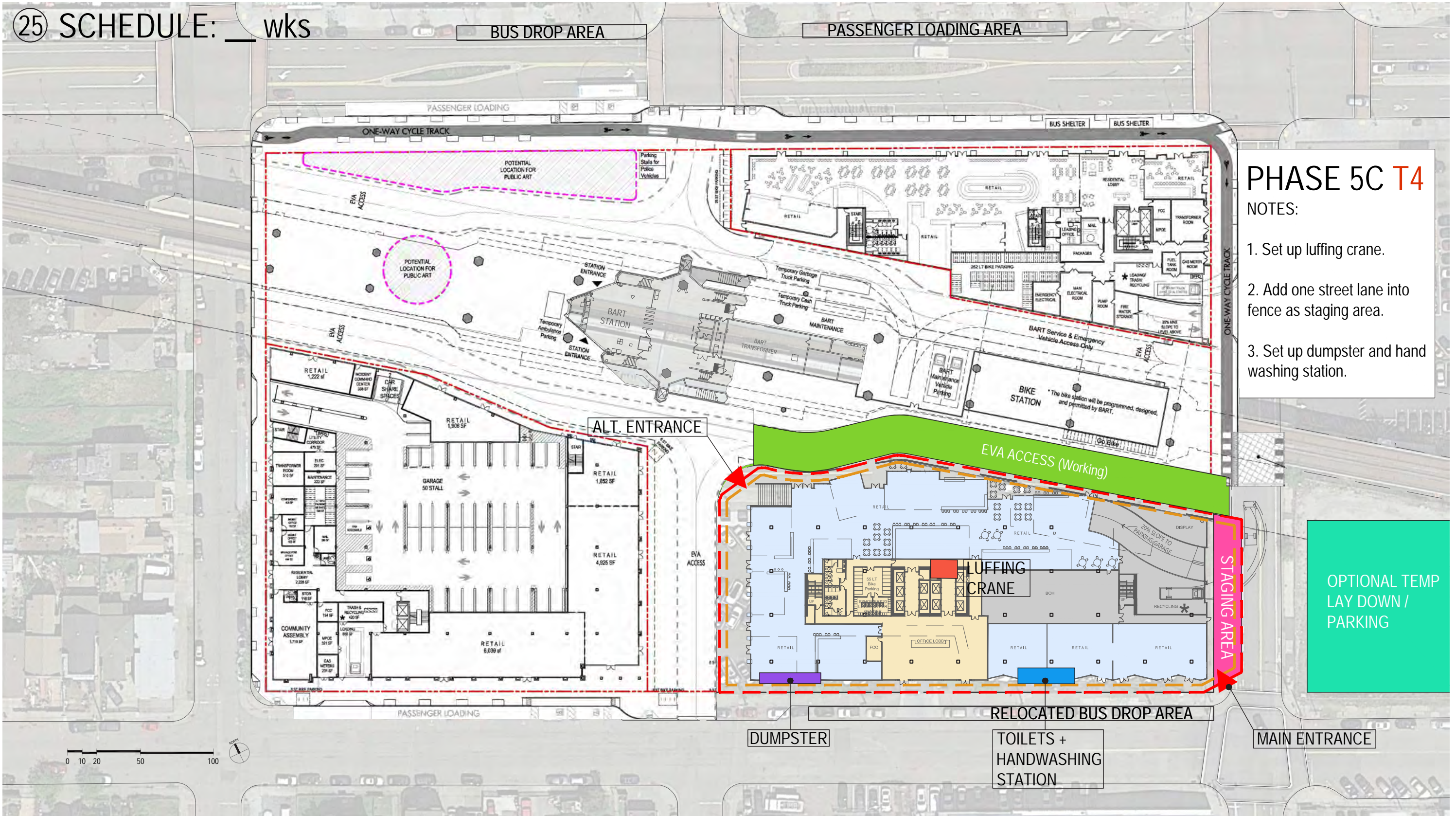


Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 5B REORGANIZED ROUTES

25 SCHEDULE: wks



PHASE 5C T4

NOTES:

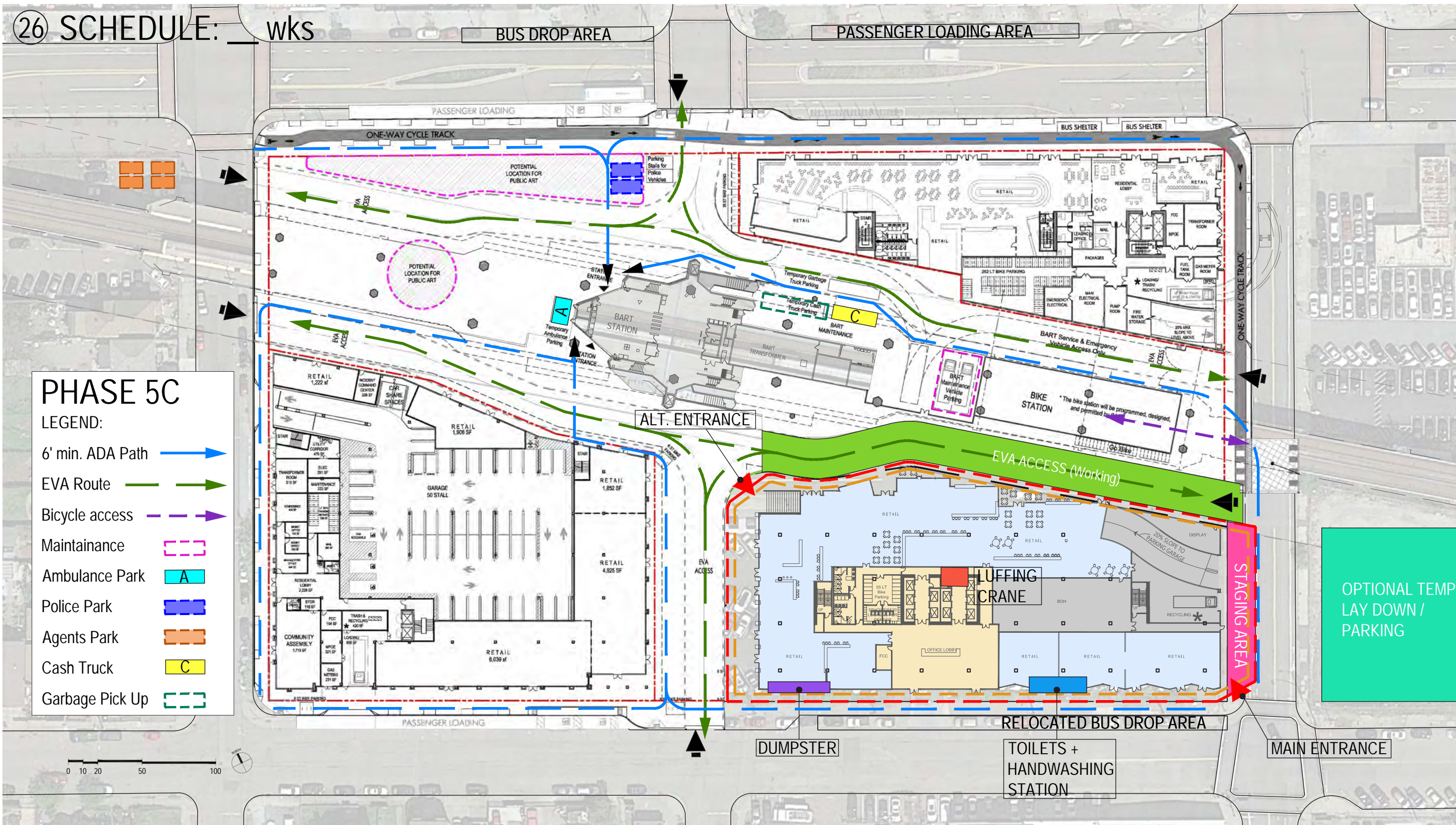
1. Set up luffing crane.
2. Add one street lane into fence as staging area.
3. Set up dumpster and hand washing station.

Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 5C FINISH
 T4 PAVING OF SIDE WALK

26 SCHEDULE: WKS

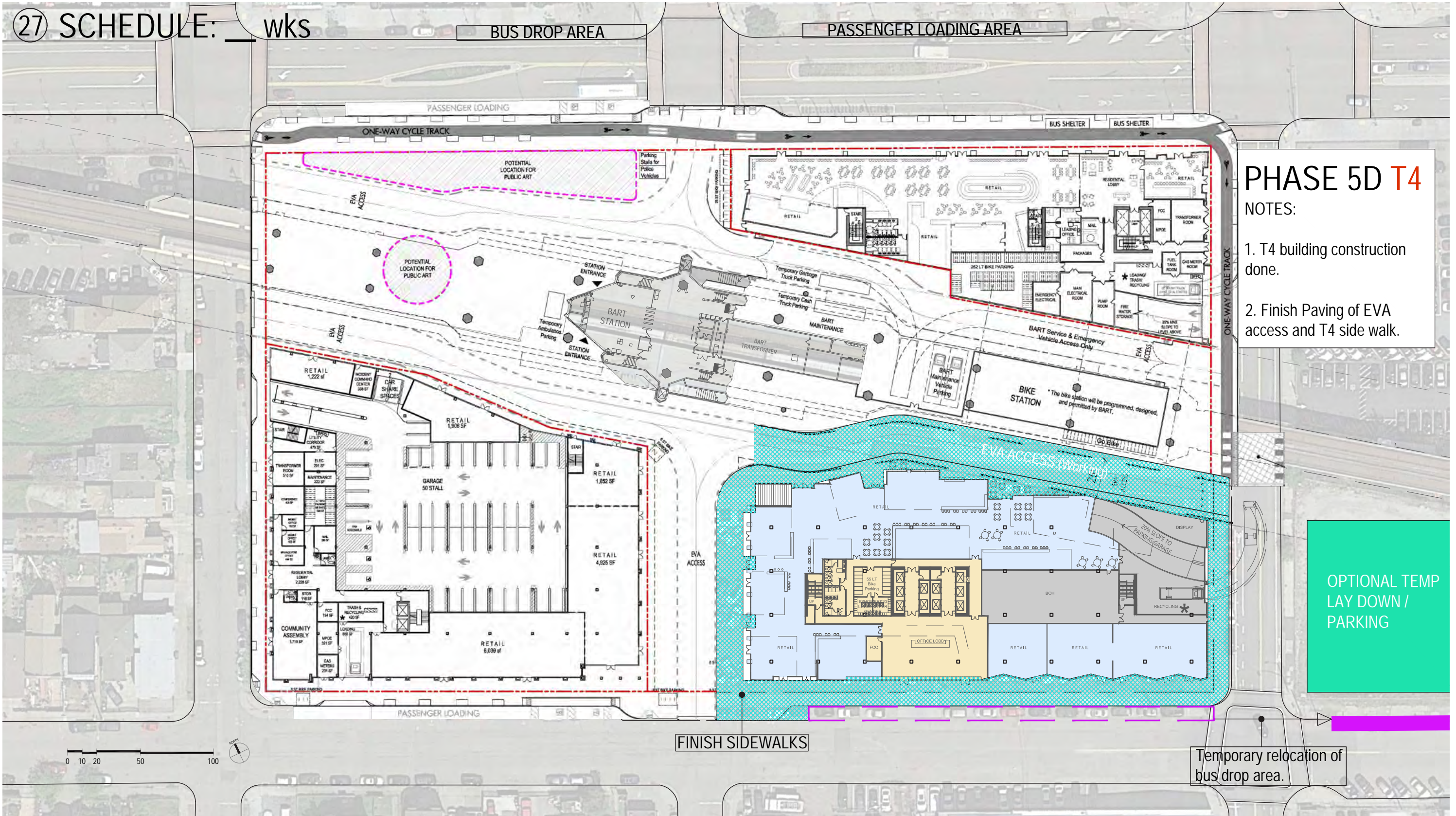


Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 5C
 REORGANIZED ROUTES

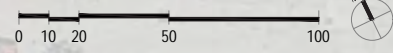
27 SCHEDULE: WKS



PHASE 5D T4

- NOTES:
1. T4 building construction done.
 2. Finish Paving of EVA access and T4 side walk.

OPTIONAL TEMP LAY DOWN / PARKING

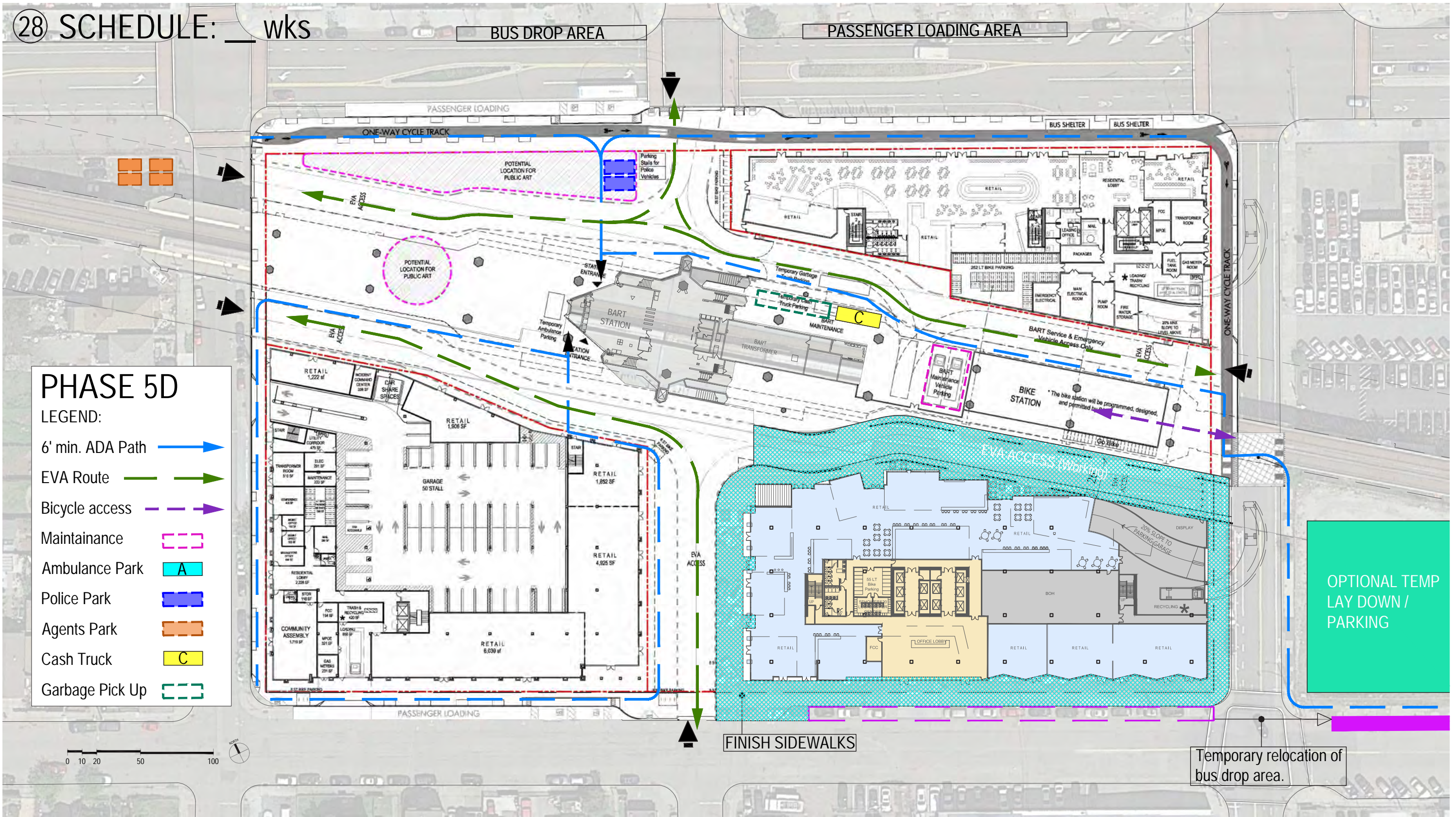


Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

**PHASE 5D FINISH
 T4 PAVING OF SIDE WALK**

28 SCHEDULE: wks



Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

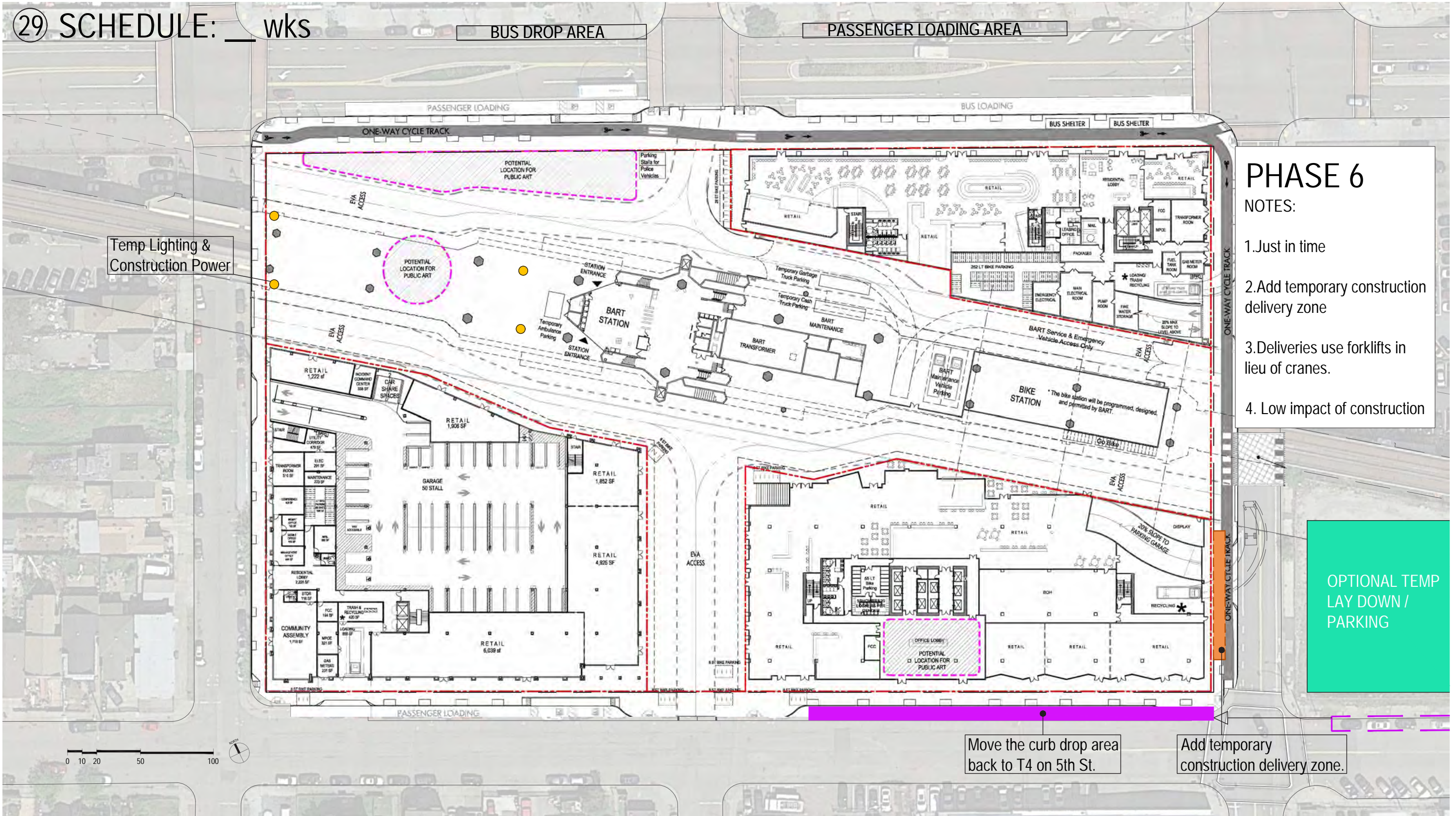
West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

PHASE 5D FINISH
 T4 PAVING OF SIDE WALK

29 SCHEDULE: wks

BUS DROP AREA

PASSENGER LOADING AREA



PHASE 6

NOTES:

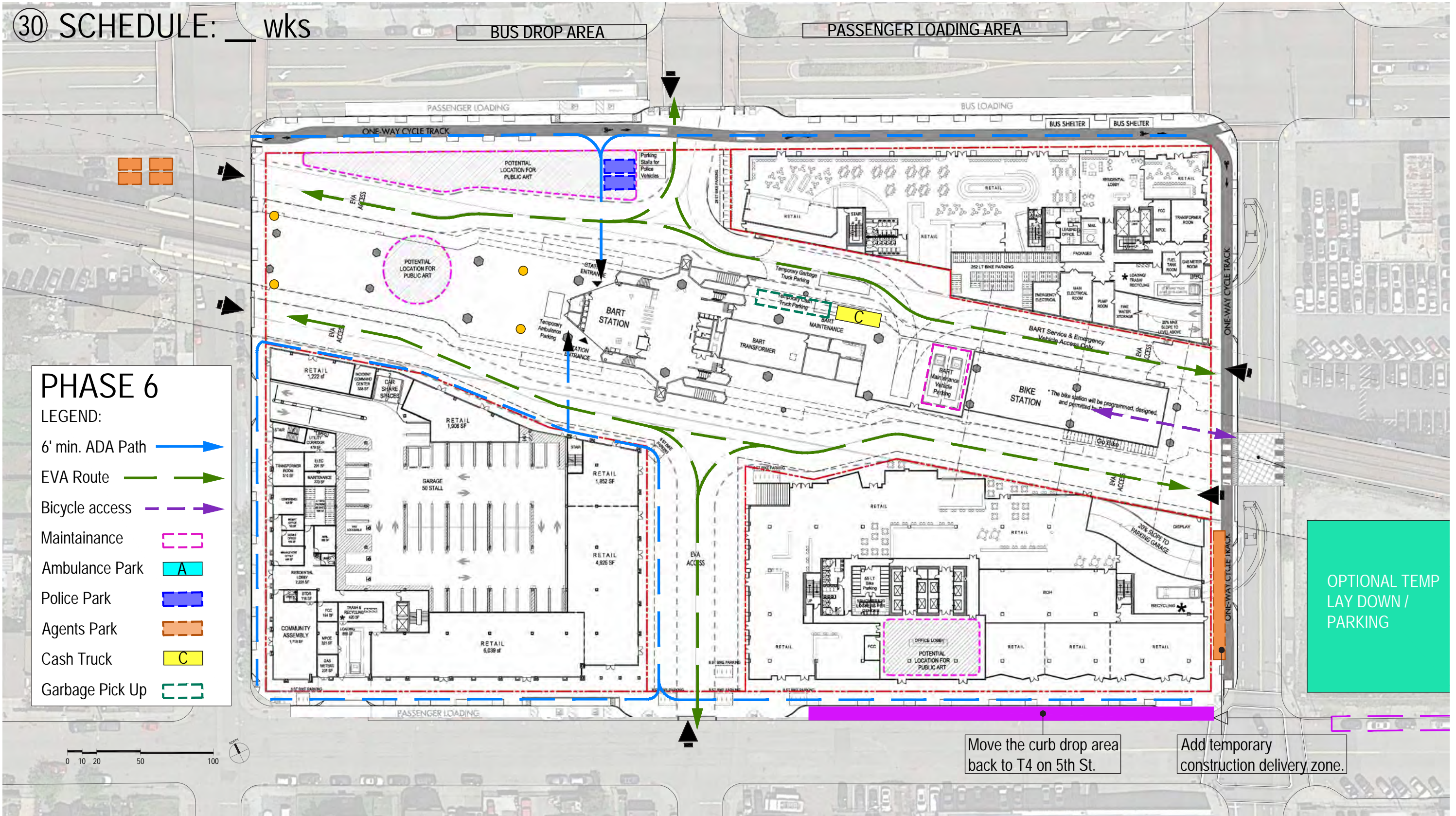
1. Just in time
2. Add temporary construction delivery zone
3. Deliveries use forklifts in lieu of cranes.
4. Low impact of construction

OPTIONAL TEMP LAY DOWN / PARKING

Move the curb drop area back to T4 on 5th St.

Add temporary construction delivery zone.

30 SCHEDULE: wks



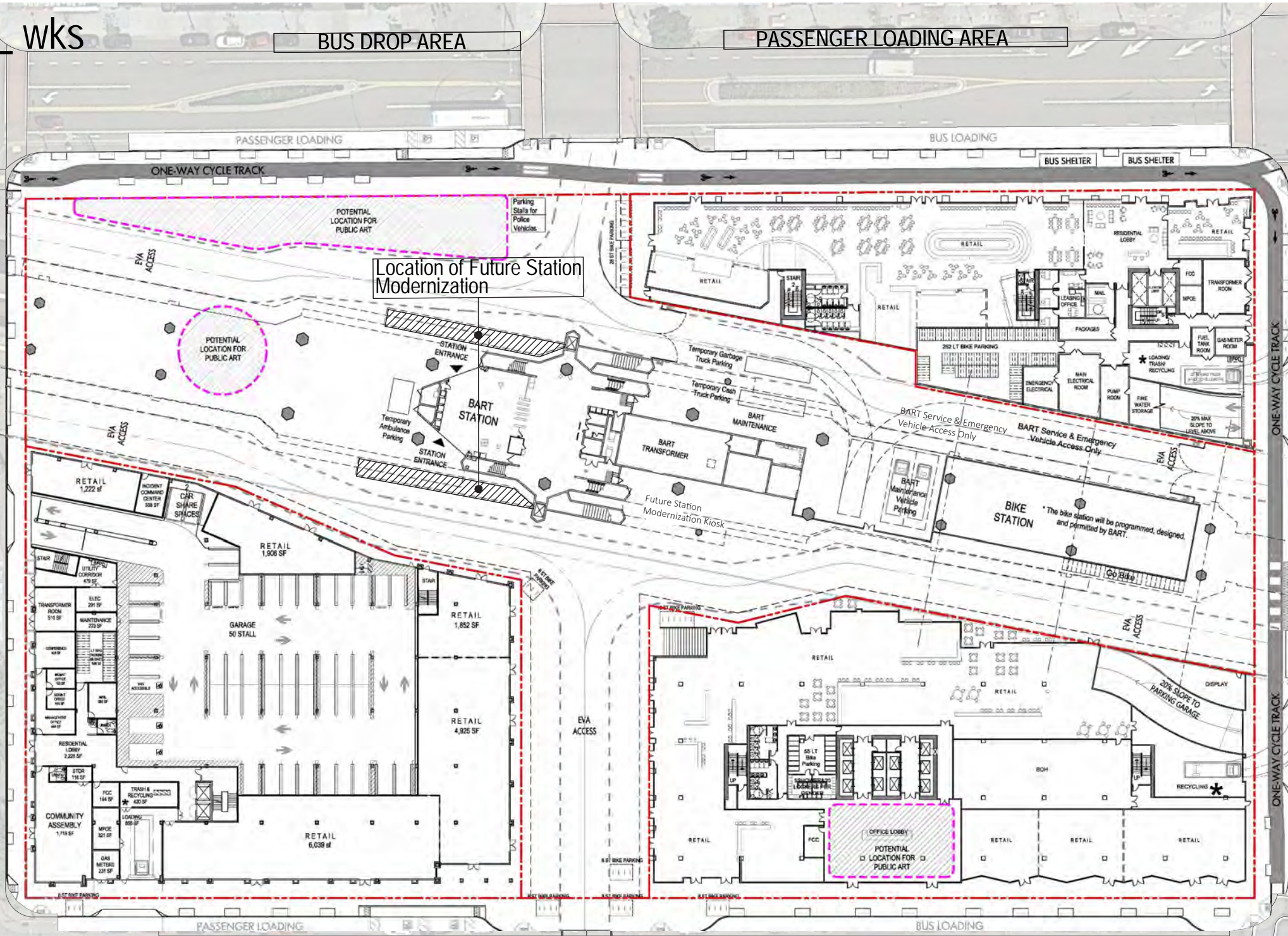
Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

31 SCHEDULE: wks

BUS DROP AREA

PASSENGER LOADING AREA



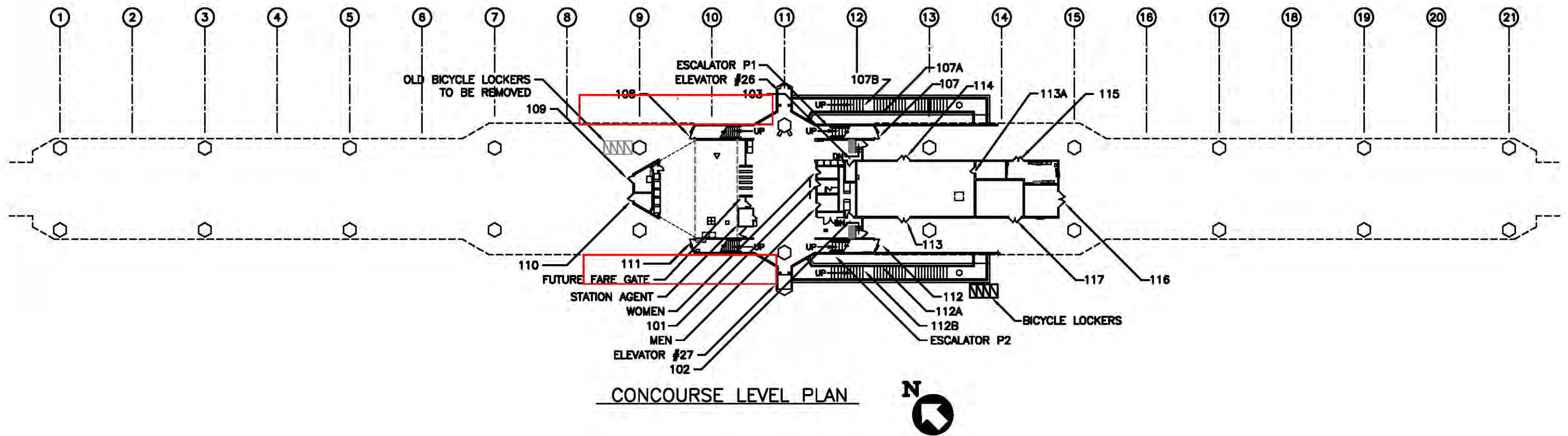
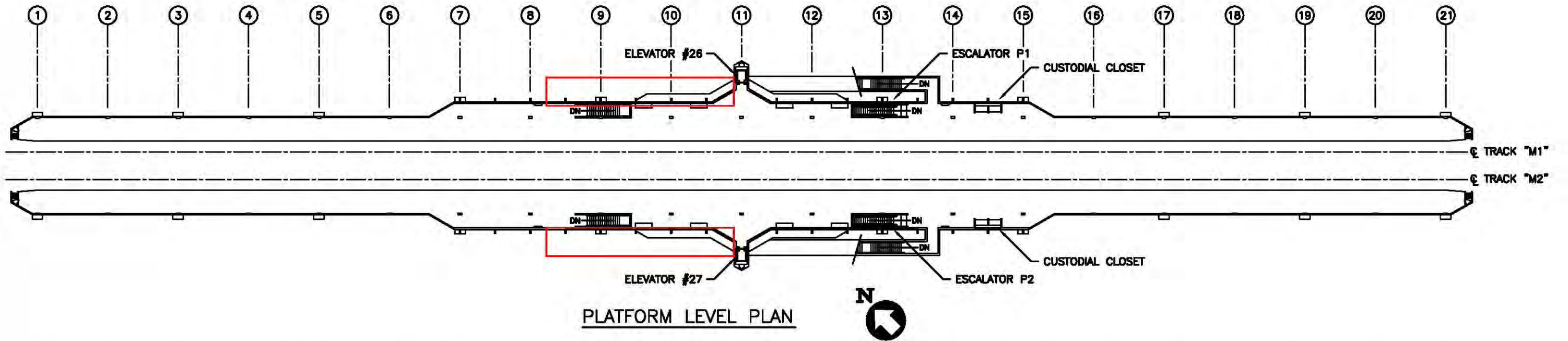
PHASE 7
 NOTES:
 Every phase of construction are finished.

Refinements of the Phasing Plan will be incorporated into the project's CMP and that plan will include refinements to the site logistics plan, traffic control plan, and pedestrian and bike access plan, in order to minimize potential construction impacts and coordinate the various phases. Pursuant to COA #13, the CMP will be submitted to the City for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments, including the Fire Department, Department of Transportation, and the Public Works Department.

West Oakland BART Station: Construction Staging
 1451 7th St, Oakland, CA 94607
 June 05, 2020

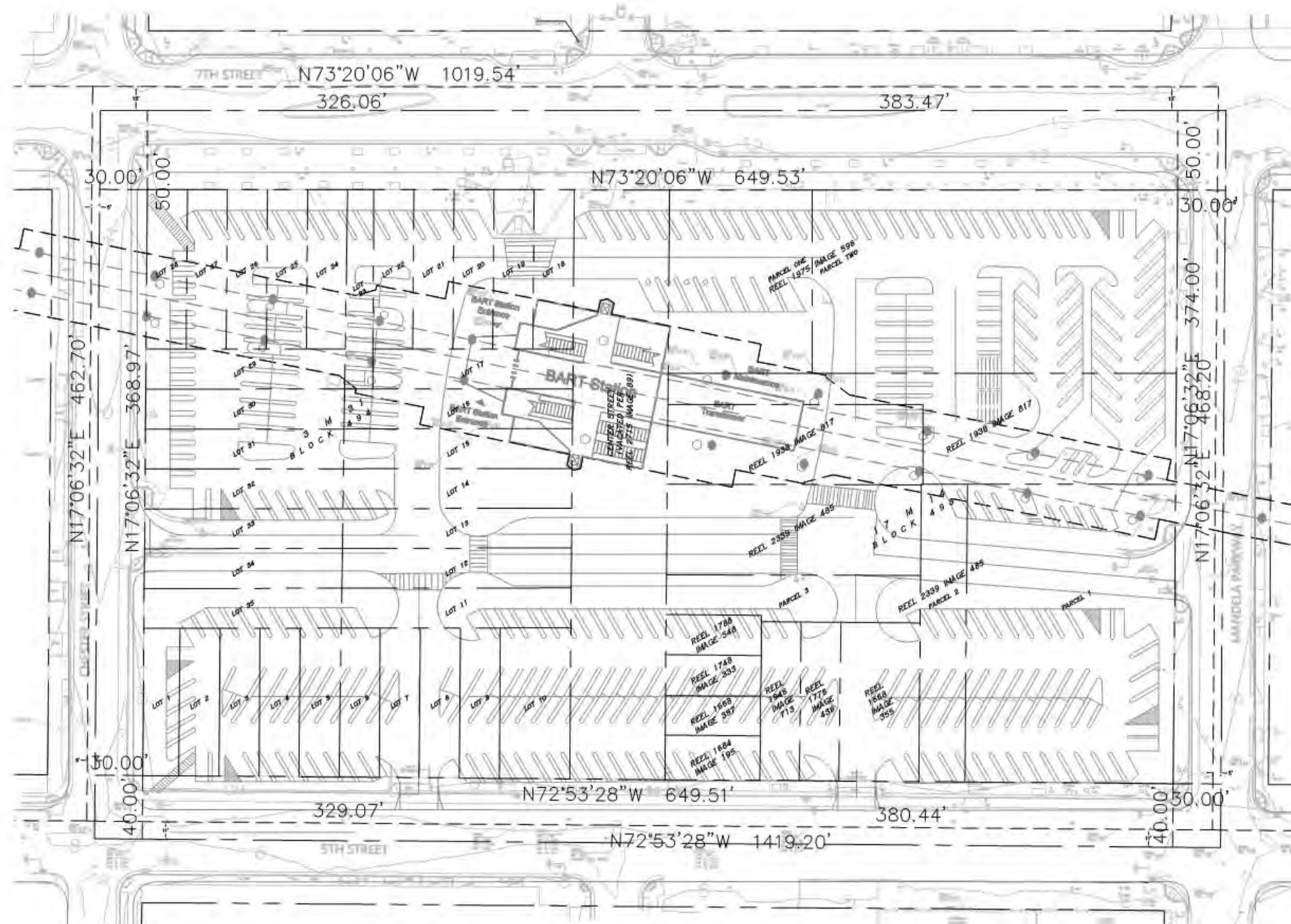
**PHASE 7 EVERY
 CONSTRUCTION PHASE DONE**

A-11.31

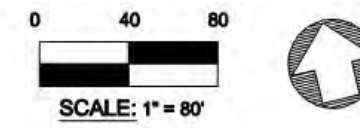


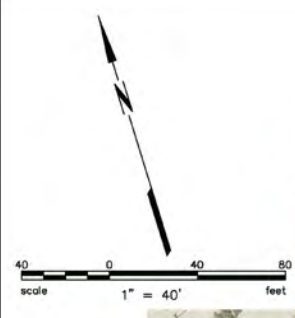
DOOR/ROOM LEGEND					
DR.NO.	USE	DR.NO.	USE	DR.NO.	USE
101	STAFF RESTROOM	109	CUSTODIAN	113A	BATTERY RM.
102	ELEV. EQUIP. RM.	110	STAFF BREAKROOM	114	TRAIN CONTROL
103	STORAGE	111	ELECT. EQUIP.	115	ELECT. EQUIP.
107	STORAGE	112	STORAGE	116	TRANSFORMER
107A	GATE	112A	GATE	117	FAN ROOM
107B	STORAGE	112B	STORAGE		
108	STORAGE	113	TRAIN CONTROL		

**WEST OAKLAND STATION - OWS
"M" LINE - STATION M-10
FLOOR PLANS**



NOTE:
 EXISTING BOUNDARY FROM RECORD INFORMATION FOR
 PLANNING PURPOSES ONLY





BASIS OF BEARINGS

THE BEARING OF NORTH 72°53'28" WEST BETWEEN FOUND MONUMENTS ON 5TH AVENUE BETWEEN HENRY STREET AND KIRKHAM STREET AS SHOWN ON THAT RECORD OF SURVEY, R/S 1687, FILED AUGUST 7, 2000 IN BOOK 25 OF RECORDS OF SURVEY AT PAGES 58-69, INCLUSIVE, ALAMEDA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

THE ELEVATIONS SHOWN HEREON ARE BASED ON A FOUND CITY OF OAKLAND BENCHMARK, DESIGNATION 25/H, BEING A BRONZE DISK STAMPED, "SEC 25 STA H." ELEVATION 10.784 FEET (DATUM = MEAN SEA LEVEL).

NOTES

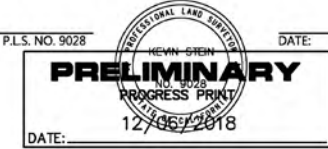
1. THE SURVEY WAS CONDUCTED IN NOVEMBER OF 2018.
2. ALL UNITS ARE IN US SURVEY FEET AND DECIMALS THEREOF.
3. THE TOPOGRAPHIC MAPPING SHOWN HEREON IS A WORKING DOCUMENT. THE TOPOGRAPHIC SURVEY AND MAPPING IS IN PROGRESS AND HAS NOT BEEN COMPLETED OR FINALIZED.

SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.

KEVIN STEIN, P.L.S. NO. 9028

DATE:

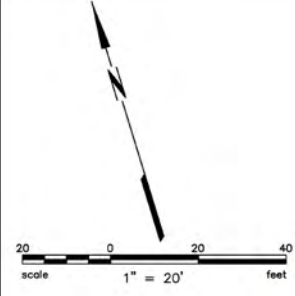


Revisions	
No.	Description

Date: 12/06/2018
 Scale: AS SHOWN
 Design: N/A
 Drawn: ADD
 Approved: KS
 Job No: 180384

Drawing Number:
180384
 1 OF 5

DRAWING NAME: K:\2018\180384_West_Oakland_Bart_TOC_Survey\ASAP\Maping\Topo\180384_L1-180384.dwg
 DATE: 12/06/2018
 12:00:00 PM



SYMBOLS & LEGEND

EXISTING

- FOUND CITY OF OAKLAND MONUMENT
- VALVE
- ⊕ FIRE HYDRANT
- ⊖ BACKFLOW PREVENTION DEVICE
- ⊙ RISER
- ⊘ SIGN
- ⊙ STREET LIGHT (UNLESS NOTED OTHERWISE)
- ⊙ LIGHT POLE (UNLESS NOTED OTHERWISE)
- ⊙ GUY ANCHOR
- ⊙ UTILITY POLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE

--- SUBJECT PROPERTY

--- ADJOINING LOT

--- CENTERLINE

--- SURVEY TIE

--- STORM DRAIN

--- SANITARY SEWER

--- OVERHEAD UTILITY LINE

--- CONCRETE

--- DETECTABLE WARNING

ABBREVIATIONS

AC	ASPHALT CONCRETE
CA	CABLE
CB	CATCH BASIN
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
DI	DROP INLET
DWY	DRIVEWAY
E	ELECTRIC
E	EDGE OF PAVEMENT
FL	SURFACE FLOWLINE
G	GAS
GYP	GUY POLE
INV	BOTTOM INSIDE OF PIPE
LG	LIP OF GUTTER
M	METER
MH	MANHOLE
OH	OVERHEAD UTILITY LINE
SD	STORM DRAIN
SL	STREETLIGHT
SS	SANITARY SEWER
TC	TOP FACE OF CURB
TEL	TELECOMMUNICATION LINE
TG	TOP OF GRATE
TS	TRAFFIC SIGNAL
TV	TELEVISION
UB	UTILITY BOX
V	VALVE
VLT	VAULT
W	WATER
WM	WATER METER



1646 N. CALIFORNIA BLVD.,
SUITE 400
WALNUT CREEK, CA 94596
(925) 940-2200
www.bkf.com



**TOPOGRAPHIC AND BOUNDARY SURVEY
WEST OAKLAND BART**

CALIFORNIA

COUNTY OF ALAMEDA

OAKLAND

Revisions	
No.	Description

Date: 12/06/2018
 Scale: AS SHOWN
 Design: N/A
 Drawn: ADD
 Approved: KS
 Job No: 180384

Drawing Number:
180384

2 OF 5

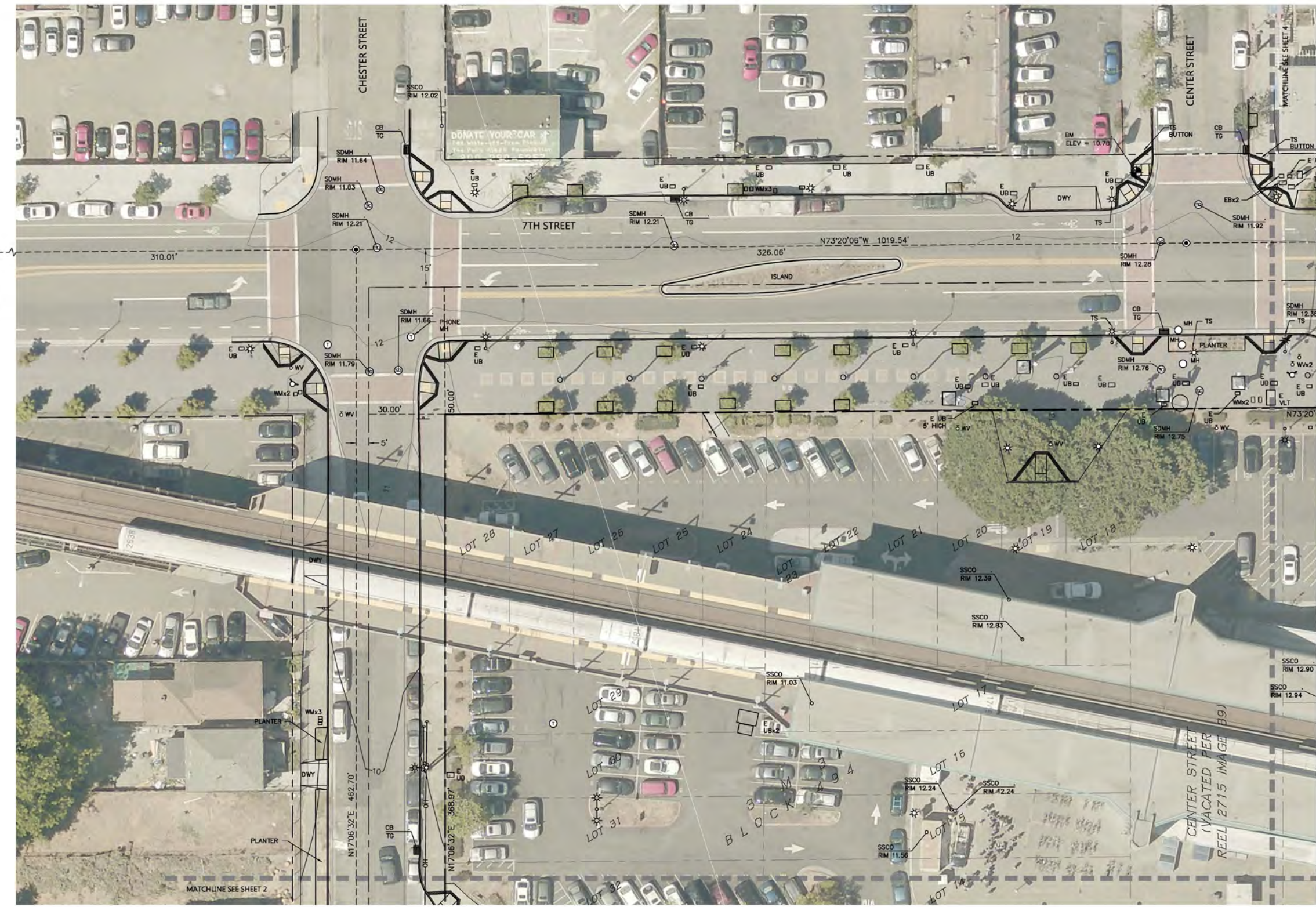
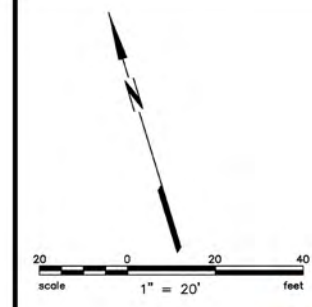
DRAWING NAME: K:\2018\180384\Drawings\180384_BART_Topographic\180384_Topographic.dwg
 DATE: 12/06/2018 10:50:58 AM
 USER: jk

SYMBOLS & LEGEND

- EXISTING**
- FOUND CITY OF OAKLAND MONUMENT
 - VALVE
 - FIRE HYDRANT
 - BACKFLOW PREVENTION DEVICE
 - RISER
 - SIGN
 - STREET LIGHT (UNLESS NOTED OTHERWISE)
 - LIGHT POLE (UNLESS NOTED OTHERWISE)
 - GUY ANCHOR
 - UTILITY POLE
 - TELEPHONE MANHOLE
 - MANHOLE
- NEW**
- SUBJECT PROPERTY
 - ADJOINING LOT
 - CENTERLINE
 - SURVEY TIE
 - STORM DRAIN
 - SANITARY SEWER
 - OVERHEAD UTILITY LINE
 - CONCRETE
 - DETECTABLE WARNING

ABBREVIATIONS

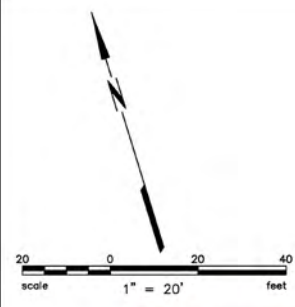
- AC ASPHALT CONCRETE
- CA CABLE
- CB CATCH BASIN
- CO CLEAN OUT
- COMM COMMUNICATION
- CONC CONCRETE
- DI DROP INLET
- DWY DRIVEWAY
- E ELECTRIC
- EP EDGE OF PAVEMENT
- FL SURFACE FLOWLINE
- G GAS
- GYP GUY POLE
- INV BOTTOM INSIDE OF PIPE
- LG LIP OF GUTTER
- M METER
- MH MANHOLE
- OH OVERHEAD UTILITY LINE
- SD STORM DRAIN
- SL STREETLIGHT
- SS SANITARY SEWER
- TC TOP FACE OF CURB
- TEL TELECOMMUNICATION LINE
- TG TOP OF GRATE
- TS TRAFFIC SIGNAL
- TV TELEVISION
- UB UTILITY BOX
- V VALVE
- VLT VAULT
- W WATER
- WM WATER METER



DRAWING NAME: K:\2018\180384_West Oakland_Bart_Center Street_Survey\Aerial\WPA180384_L1-180384.dwg
DWT DATE: 12/06/2018 10:50:58 AM
C:\Users\jerry\AppData\Local\Temp\1\180384_L1-180384.dwg

Date:	12/06/2018	No.:	
Scale:	AS SHOWN		
Design:	N/A		
Drawn:	ADD		
Approved:	KS		
Job No.:	180384		
Revisions:			
Drawing Number:	180384		

- SYMBOLS & LEGEND**
- EXISTING**
- FOUND CITY OF OAKLAND MONUMENT
 - VALVE
 - FIRE HYDRANT
 - BACKFLOW PREVENTION DEVICE
 - RISER
 - SIGN
 - STREET LIGHT (UNLESS NOTED OTHERWISE)
 - LIGHT POLE (UNLESS NOTED OTHERWISE)
 - GUY ANCHOR
 - UTILITY POLE
 - TELEPHONE MANHOLE
 - MANHOLE
- ABBREVIATIONS**
- AC ASPHALT CONCRETE
 - CA CABLE
 - CB CATCH BASIN
 - CO CLEAN OUT
 - COMM COMMUNICATION
 - CONC CONCRETE
 - DI DROP INLET
 - DWY DRIVEWAY
 - E ELECTRIC
 - EP EDGE OF PAVEMENT
 - FL SURFACE FLOWLINE
 - G GAS
 - GYP GUY POLE
 - INV BOTTOM INSIDE OF PIPE
 - LG LIP OF GUTTER
 - M METER
 - MH MANHOLE
 - OH OVERHEAD UTILITY LINE
 - SD STORM DRAIN
 - SL STREETLIGHT
 - SS SANITARY SEWER
 - TC TOP FACE OF CURB
 - TEL TELECOMMUNICATION LINE
 - TG TOP OF GRATE
 - TS TRAFFIC SIGNAL
 - TV TELEVISION
 - UB UTILITY BOX
 - V VALVE
 - VLT VAULT
 - W WATER
 - WM WATER METER



1646 N. CALIFORNIA BLVD.,
SUITE 400
WALNUT CREEK, CA 94596
(925) 940-2200
www.bkf.com

BKF 100 YEARS
ENGINEERS · SURVEYORS · PLANNERS

CALIFORNIA

TOPOGRAPHIC AND BOUNDARY SURVEY
WEST OAKLAND BART

OAKLAND COUNTY OF ALAMEDA

Date:	12/06/2018	No.:	
Scale:	AS SHOWN	Revisions:	
Design:	N/A		
Drawn:	ADD		
Approved:	KS		
Job No.:	180384		
Drawing Number:	180384		
	4 OF 5		

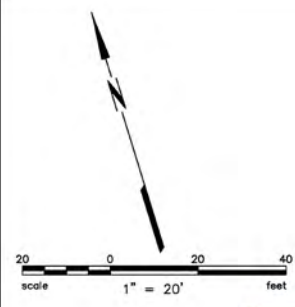
DRAWING NAME: K:\DATA\180384\180384_001\180384_001.dwg
DATE: 12/06/2018 10:00:00 AM
DRAWN BY: KS

SYMBOLS & LEGEND

	EXISTING FOUND CITY OF OAKLAND MONUMENT
	VALVE
	FIRE HYDRANT
	BACKFLOW PREVENTION DEVICE
	RISER
	SIGN
	STREET LIGHT (UNLESS NOTED OTHERWISE)
	LIGHT POLE (UNLESS NOTED OTHERWISE)
	GUY ANCHOR
	UTILITY POLE
	TELEPHONE MANHOLE
	MANHOLE
	SUBJECT PROPERTY
	ADJOINING LOT
	CENTERLINE
	SURVEY TIE
	STORM DRAIN
	SANITARY SEWER
	OVERHEAD UTILITY LINE
	CONCRETE
	DETECTABLE WARNING

ABBREVIATIONS

AC	ASPHALT CONCRETE
CA	CABLE
CB	CATCH BASIN
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
DI	DROP INLET
DWY	DRIVEWAY
E	ELECTRIC
EP	EDGE OF PAVEMENT
FL	SURFACE FLOWLINE
G	GAS
GYP	GUY POLE
INV	BOTTOM INSIDE OF PIPE
LG	LIP OF GUTTER
M	METER
MH	MANHOLE
OH	OVERHEAD UTILITY LINE
SD	STORM DRAIN
SL	STREETLIGHT
SS	SANITARY SEWER
TC	TOP FACE OF CURB
TEL	TELECOMMUNICATION LINE
TG	TOP OF GRATE
TS	TRAFFIC SIGNAL
TV	TELEVISION
UB	UTILITY BOX
V	VALVE
VL	VAULT
W	WATER
WM	WATER METER



1646 N. CALIFORNIA BLVD.,
SUITE 400
WALNUT CREEK, CA 94596
(925) 940-2200
www.bkf.com

BKF 100 YEARS
ENGINEERS · SURVEYORS · PLANNERS

CALIFORNIA
COUNTY OF ALAMEDA

TOPOGRAPHIC AND BOUNDARY SURVEY
WEST OAKLAND BART

Date:	12/06/2018
Scale:	AS SHOWN
Design:	N/A
Drawn:	KS
Approved:	KS
Job No.:	180384

Revisions

No.	
-----	--

Drawing Number:
180384

5 OF 5

DRAWING NAME: K:\Users\BKF\My Documents\BART_TDC_Survey\BART\Maping\Topo\180384.dwg
DATE: 12/06/2018 10:00:00 AM
USER: BKF

VESTING TENTATIVE PARCEL MAP NO. 10940

FOR CONDOMINIUM PURPOSES

SHEET INDEX

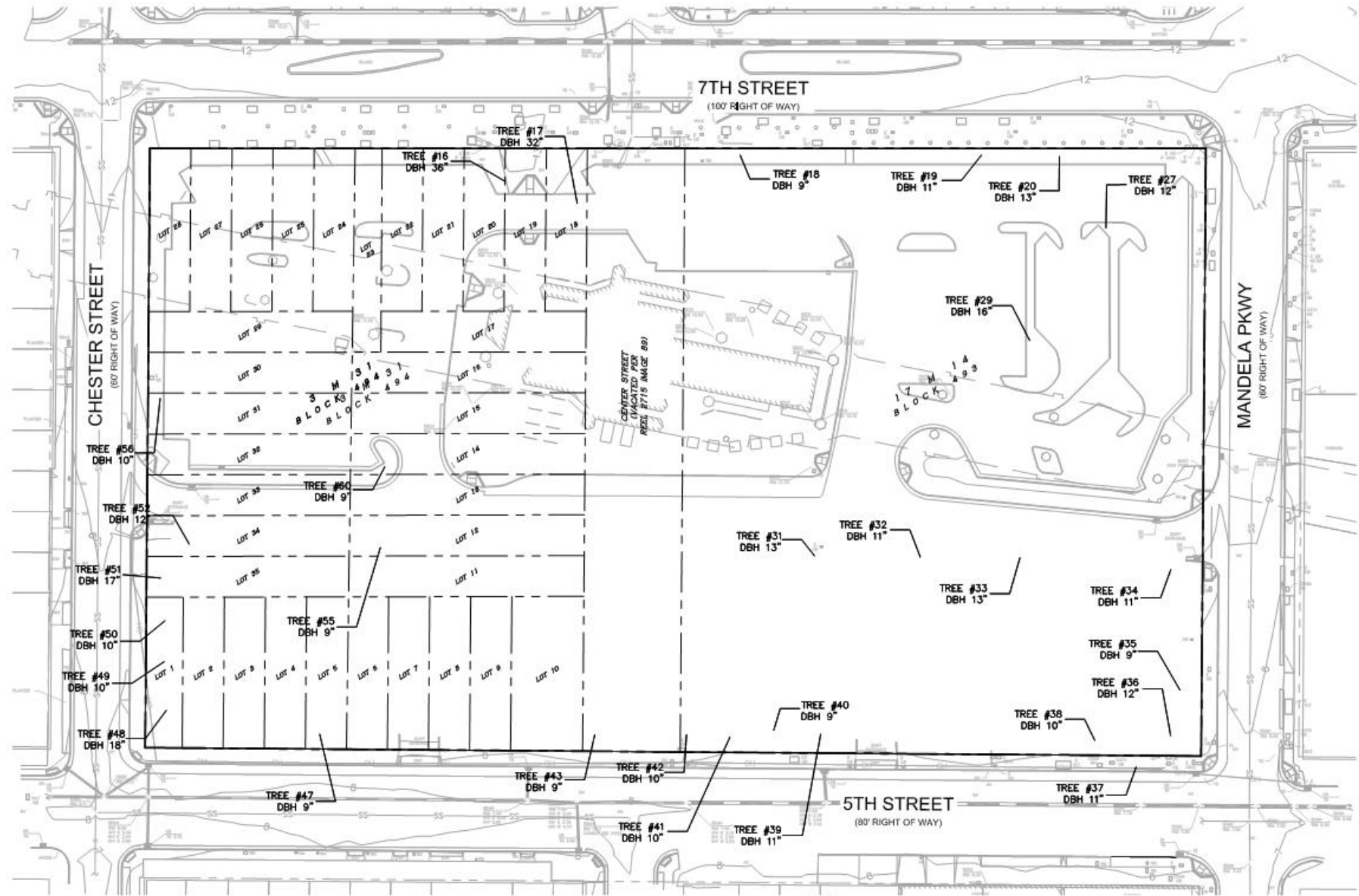
SHEET #	SHEET TITLE
1	TITLE SHEET/EXISTING SITE PLAN
2	PROPOSED SITE PLAN
3	EMERGENCY VEHICLE ACCESS EASEMENT

SYMBOLS & LEGEND

EXISTING	
	VALVE
	FIRE HYDRANT
	BACKFLOW PREVENTION DEVICE
	RISER
	SIGN
	STREET LIGHT
	LIGHT POLE
	GUY ANCHOR
	UTILITY POLE
	TELEPHONE MANHOLE
	MANHOLE
	EXISTING PROPERTY LINE
	ADJOINING LOT CENTERLINE
	SURVEY TIE
	STORM DRAIN
	SANITARY SEWER
	OVERHEAD UTILITY LINE
	CONCRETE
	DETECTABLE WARNING BOUNDARY LINE

ABBREVIATIONS

AC	ASPHALT CONCRETE
CA	CABLE
CB	CATCH BASIN
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
DBH	DIAMETER AT BREAST HEIGHT
DI	DROP INLET
DWY	DRIVEWAY
E	ELECTRIC
EP	EDGE OF PAVEMENT
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
FL	SURFACE FLOWLINE
G	GAS
GYP	GUY POLE
INV	BOTTOM INSIDE OF PIPE
LG	LIP OF GUTTER
M	METER
MH	MANHOLE
MIN	MINIMUM
OH	OVERHEAD UTILITY LINE
PL	PROPERTY LINE
R	RADIUS
SD	STORM DRAIN
SF	SQUARE FEET
SL	STREETLIGHT
SS	SANITARY SEWER
(T)	TOTAL
TC	TOP FACE OF CURB
TEL	TELECOMMUNICATION LINE
TG	TOP OF GRATE
TS	TRAFFIC SIGNAL
TV	TELEVISION
UB	UTILITY BOX
V	VALVE
VLT	VAULT
W	WATER
WM	WATER METER



PROPERTY ADDRESS:

1451 7TH STREET
OAKLAND, CA 94607

OWNER AND SUBDIVIDER:

SAN FRANCISCO BAY AREA RAPID TRANSIT DISTRICT
300 LAKESIDE DRIVE, 22ND FLOOR
OAKLAND, CA 94612
PHONE: 510-597-6300

BASIS OF BEARINGS

THE BEARING OF NORTH 72°53'28" WEST BETWEEN FOUND MONUMENTS ON 5TH STREET BETWEEN HENRY STREET AND KIRKHAM STREET AS SHOWN ON THAT RECORD OF SURVEY, R/S 1687, FILED AUGUST 7, 2000 IN BOOK 25 OF RECORDS OF SURVEY AT PAGES 58-69, INCLUSIVE, ALAMEDA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

THE ELEVATIONS SHOWN HEREON ARE BASED ON A FOUND CITY OF OAKLAND BENCHMARK, DESIGNATION 25/H, BEING A BRONZE DISK STAMPED, "SEC 25 STA H." ELEVATION 10.784 FEET (DATUM = MEAN SEA LEVEL).

NOTES

1. BASED ON INFORMATION CONTAINED IN THE PRELIMINARY TITLE REPORT, ORDER NUMBER NCS-891862-SC, DATED JANUARY 31, 2018, PROVIDED BY FIRST AMERICAN TITLE COMPANY, THE SUBJECT PROPERTY IS OWNED BY SPBART BEING ASSESSOR PARCEL NUMBERS 004-0077-003, 004-0071-003, AND THE VACATION OF CENTER STREET; THERE ARE 36 PARCELS, NOT INCLUDING THE VACATION OF CENTER STREET. THE EXISTING PARCELS WILL BE RECONFIGURED TO CREATE 3 LOTS AND ONE REMAINDER PARCEL VIA PARCEL MAP TO BE PROCESSED.
2. THE INTENT OF THE MAP IS TO MERGE THE 36 PARCELS AND THE VACATED CENTER STREET INTO THE FOUR CONSOLIDATE PARCELS DEFINING THE KEY COMPONENTS OF THE NEW DEVELOPMENT: LOT 1 MARKET RATE RESIDENTIAL TOWER, LOT 2 OFFICE BUILDING, LOT 3 AFFORDABLE HOUSING, AND THE DESIGNATED REMAINDER PARCEL FOR THE EXISTING WEST OAKLAND BART STATION AND NEW ENTRY PLAZAS.
3. THE CONTROL SURVEY WAS CONDUCTED IN NOVEMBER OF 2018.
4. ALL UNITS ARE IN US SURVEY FEET AND DECIMALS THEREOF.
5. THE TOPOGRAPHIC SURVEY IS BASED ON A FIELD SURVEY COMPLETED IN DECEMBER 2018.
6. ALL BUILDINGS TO THE NORTH OF THE BART STATION SHALL BE 30' FROM THE BART PLATFORM, AND ALL BUILDINGS TO THE SOUTH OF THE BART STATION SHALL BE 33' FROM THE BART PLATFORM.
7. ALL EMERGENCY VEHICLE ACCESS EASEMENTS SHALL BE 26' WIDE.
8. LOTS 1, 2 AND 3 ARE ALLOWED UP TO FOUR COMMERCIAL CONDOMINIUMS ON EACH LOT.
9. MULTIPLE MAPS MAY BE FILED FOR THIS PROJECT.

SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.

PAUL KITTRIDGE
PROJECT MANAGER
P.L.S. # 5790



DATE: _____

EXISTING CONDITIONS
SCALE 1"=40'



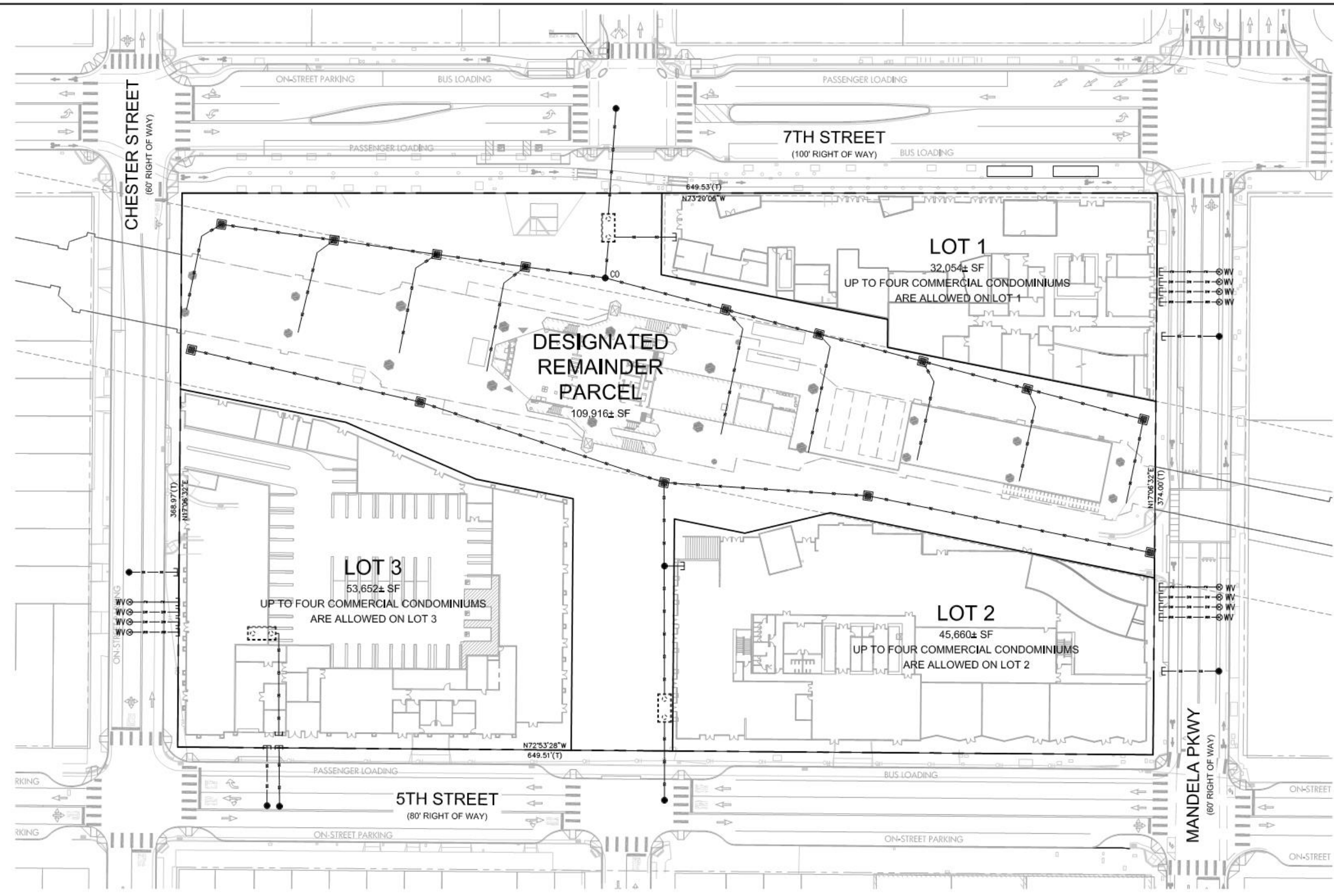
Tree number	DBH (in)	Species Name
16	36	Pinus Pinea
17	32	Pinus Pinea
20	13	Liriodendron Tulipifera
29	12	Maytenus Boaria
29	16	Maytenus Boaria
31	13	Liriodendron Tulipifera
33	13	Liriodendron Tulipifera
36	12	Liriodendron Tulipifera
48	18	Platanus X Acerifolia
51	17	Platanus X Acerifolia
52	12	Liriodendron Tulipifera



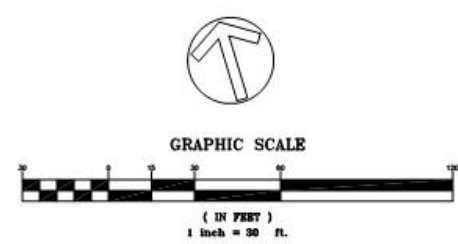
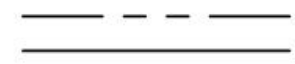
KEY MAP
SCALE 1"=500'



DRAWING NAME: K:\2018\180384_West_Oakland_BART_100_Survey\ENG\TENTATIVE PARCEL MAP\SHEETS\02\02MPL.dwg
PLOT DATE: 04-06-20 PLOTTED BY: mlr



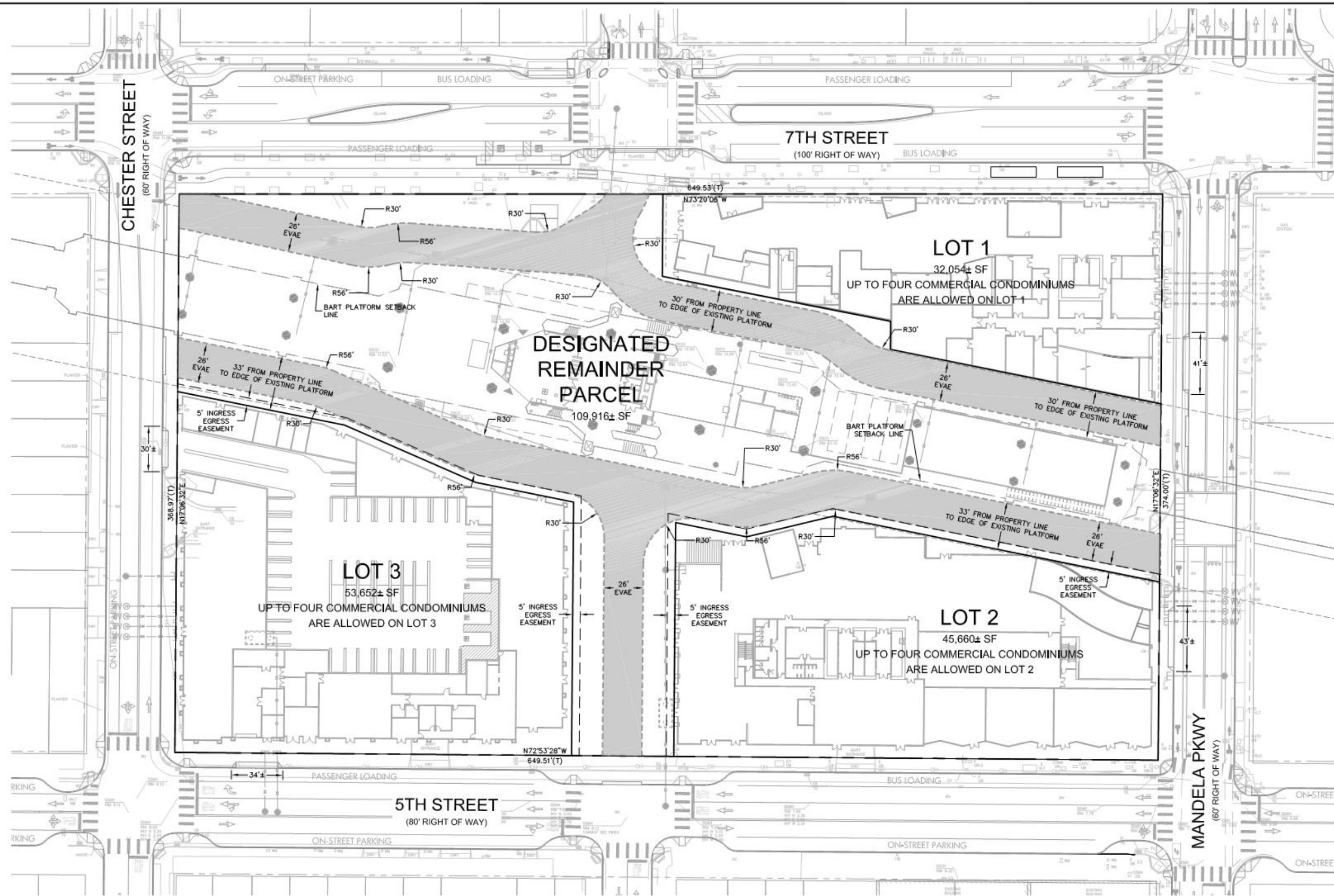
LEGEND
BOUNDARY LINE
PROPOSED PARCEL LINE



TENTATIVE PARCEL MAP C-1.01B

Revisions	No.	Date
AS SHOWN		04/06/2020
BY CG		
IN CC		
ISSUED ES		
No. 20180384		

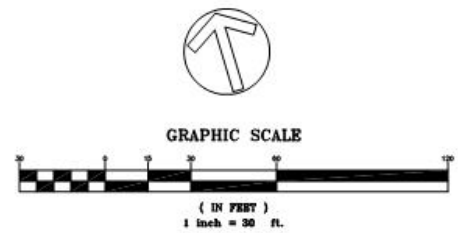
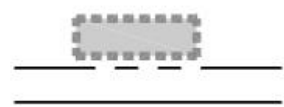
TENTATIVE
PARCEL MAP
C-1.01C



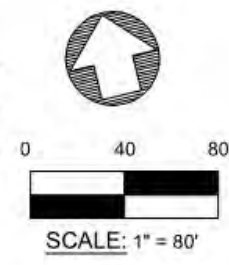
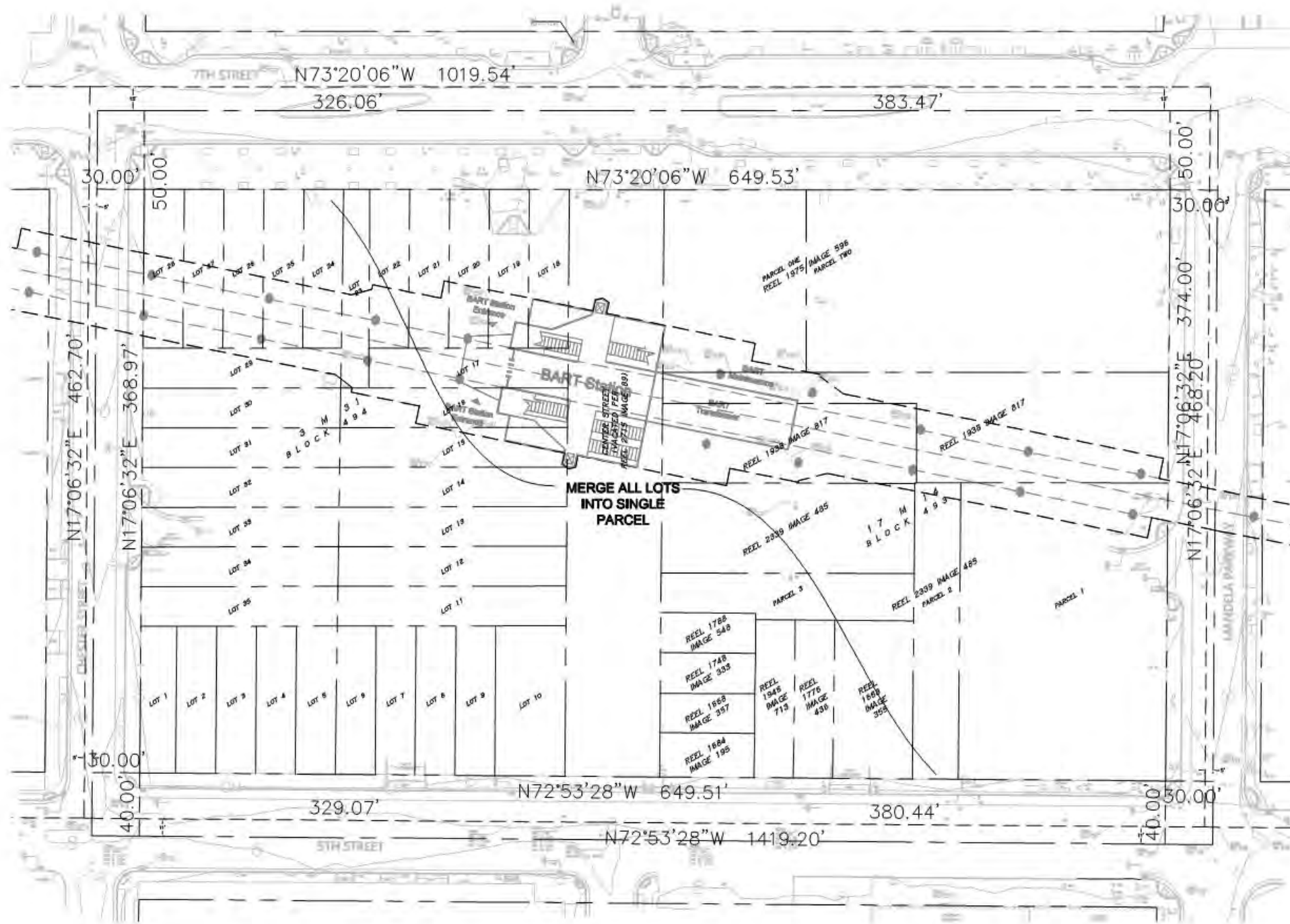
EMERGENCY VEHICLE ACCESS EASEMENT

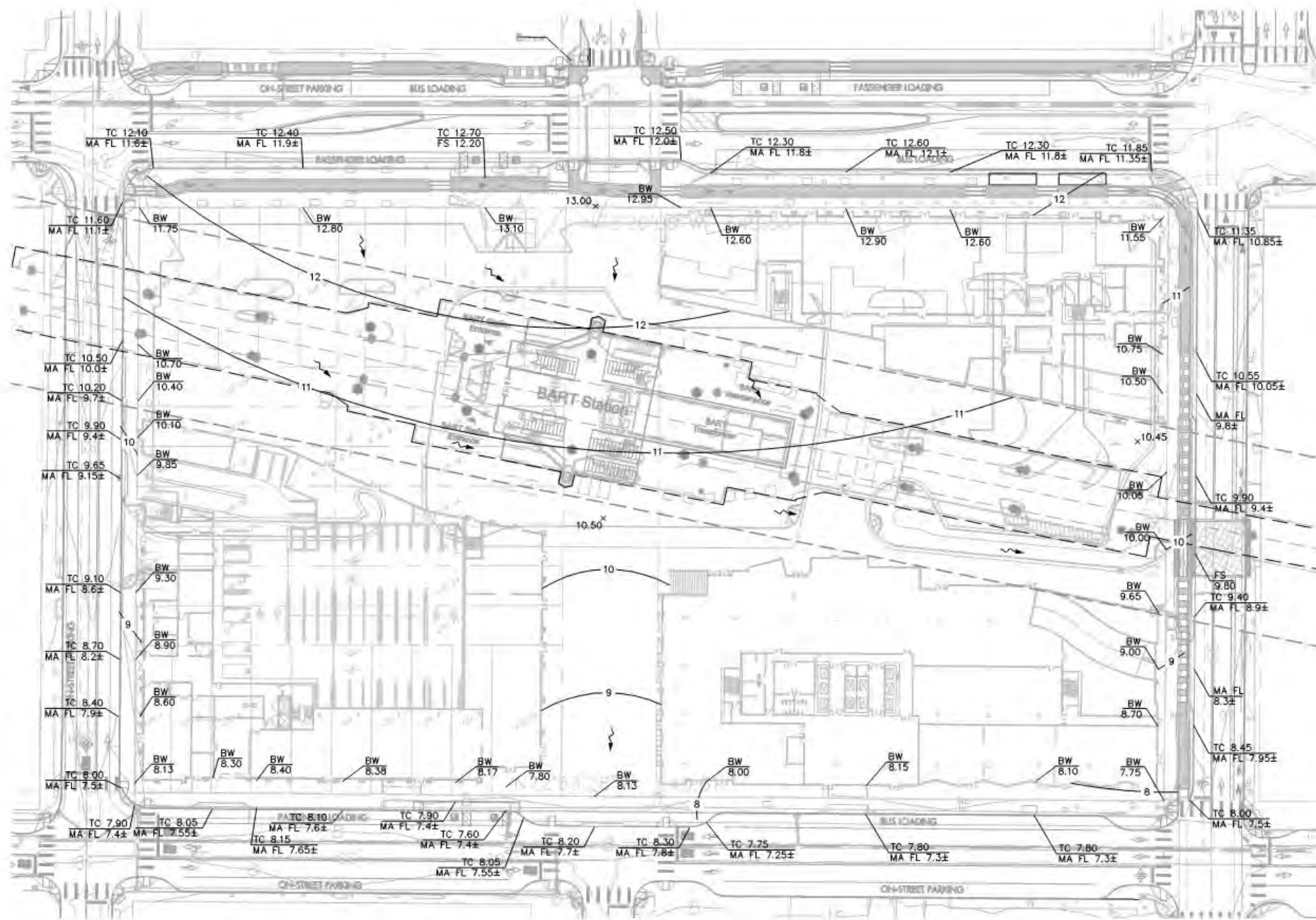
LEGEND

- PROPOSED EVAE
- BOUNDARY LINE
- PROPOSED PARCEL LINE



DRAWING NAME: K:\2018\180384 West_Oakland_BART_100_Survey\ENG\TENTATIVE PARCEL MAP\SHEETS\OSWOB1MEA.dwg
PLOT DATE: 04-06-20 PLOTTED BY: mlr





ABBREVIATIONS:

FF	FINISHED FLOOR
FG	FINISHED GROUND
FS	FINISHED SURFACE
FL	FLOW LINE
MA	MATCH
TC	TOP OF CURB
TS	TOP OF STEP
TW	TOP OF WALL

LEGEND:

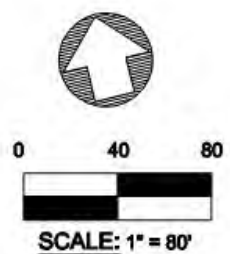
	DIRECTION OF PROPOSED DRAINAGE
	GRADE BREAK
	CONTOUR

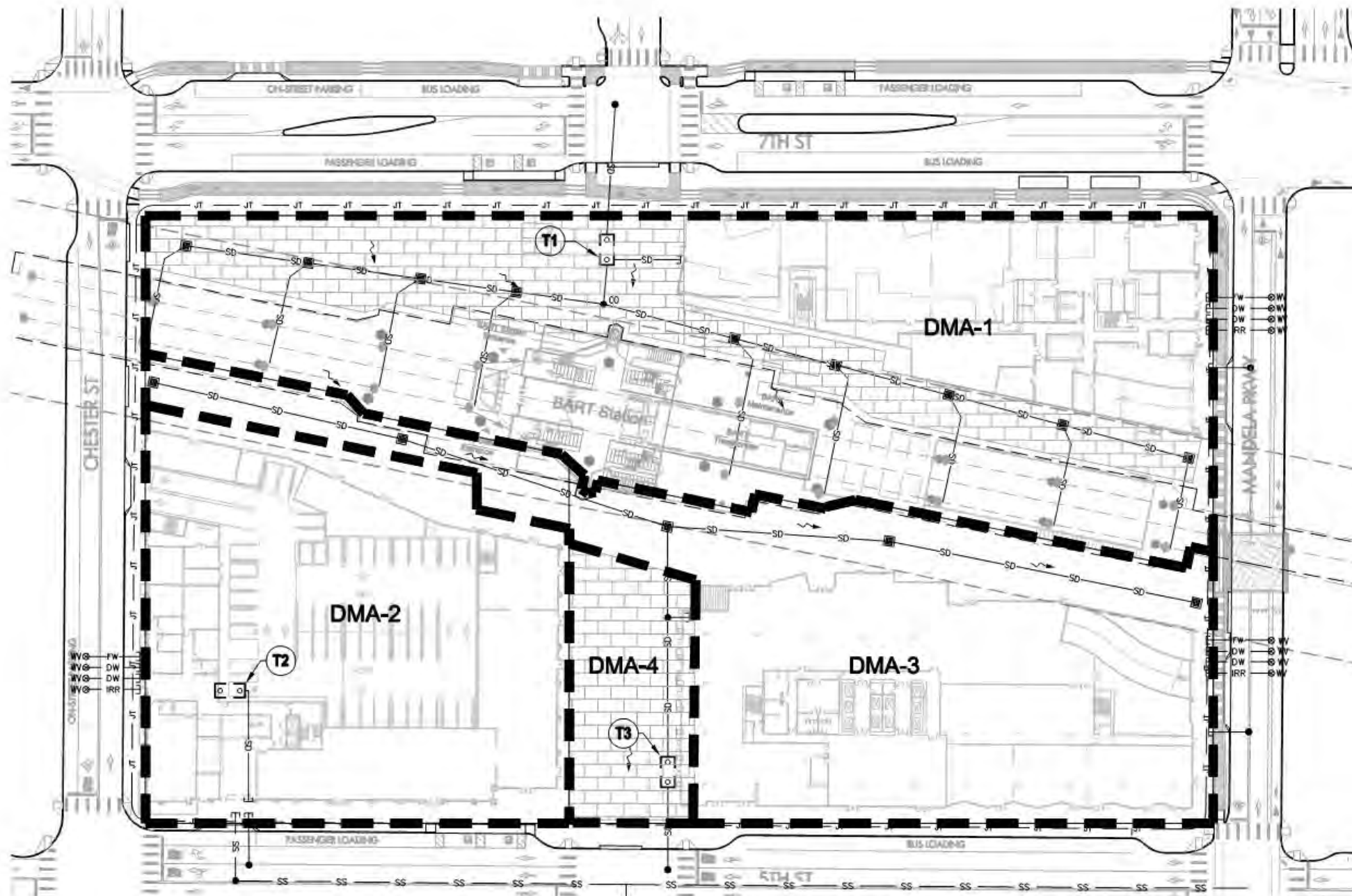
GRADING NOTES:

1. TC ELEVATIONS ARE 6" ABOVE ADJACENT PAVEMENT FL ELEVATIONS, UNLESS OTHERWISE NOTED ON PLAN.

EARTHWORK SUMMARY:

TOTAL EXCAVATION: 51,303 CUBIC YARDS
 TOTAL FILL: 0 CUBIC YARDS
 TOTAL OFFHAUL: 51,303 CUBIC YARDS



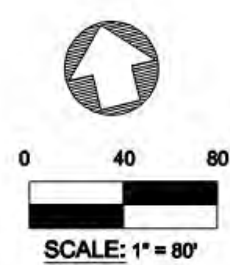


LEGEND:

- DRAINAGE MANAGEMENT AREA (DMA)
- PERMEABLE PAVING
- FILTER VAULT
SEE SHEET C3.01
- TREATMENT AREA LABEL

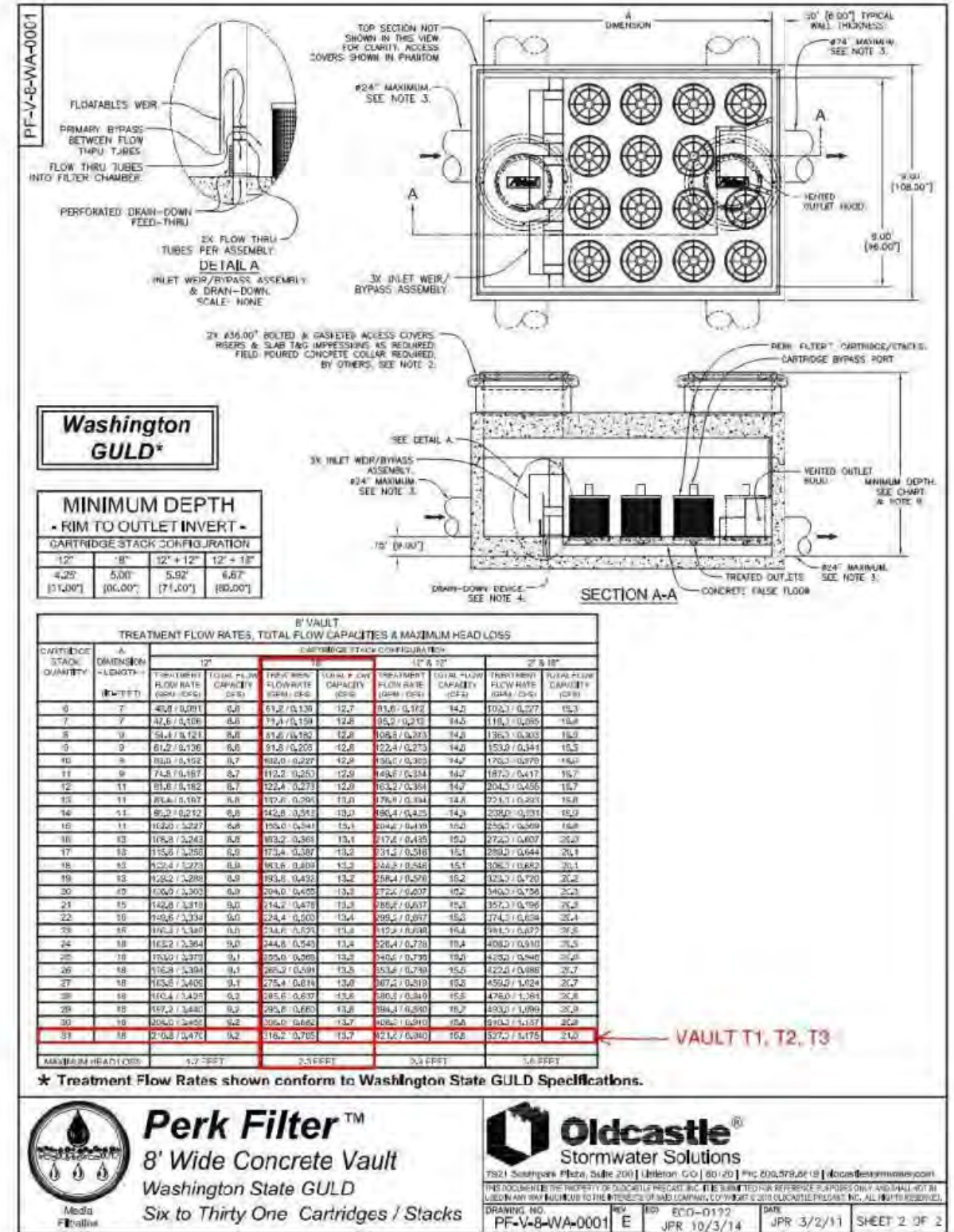
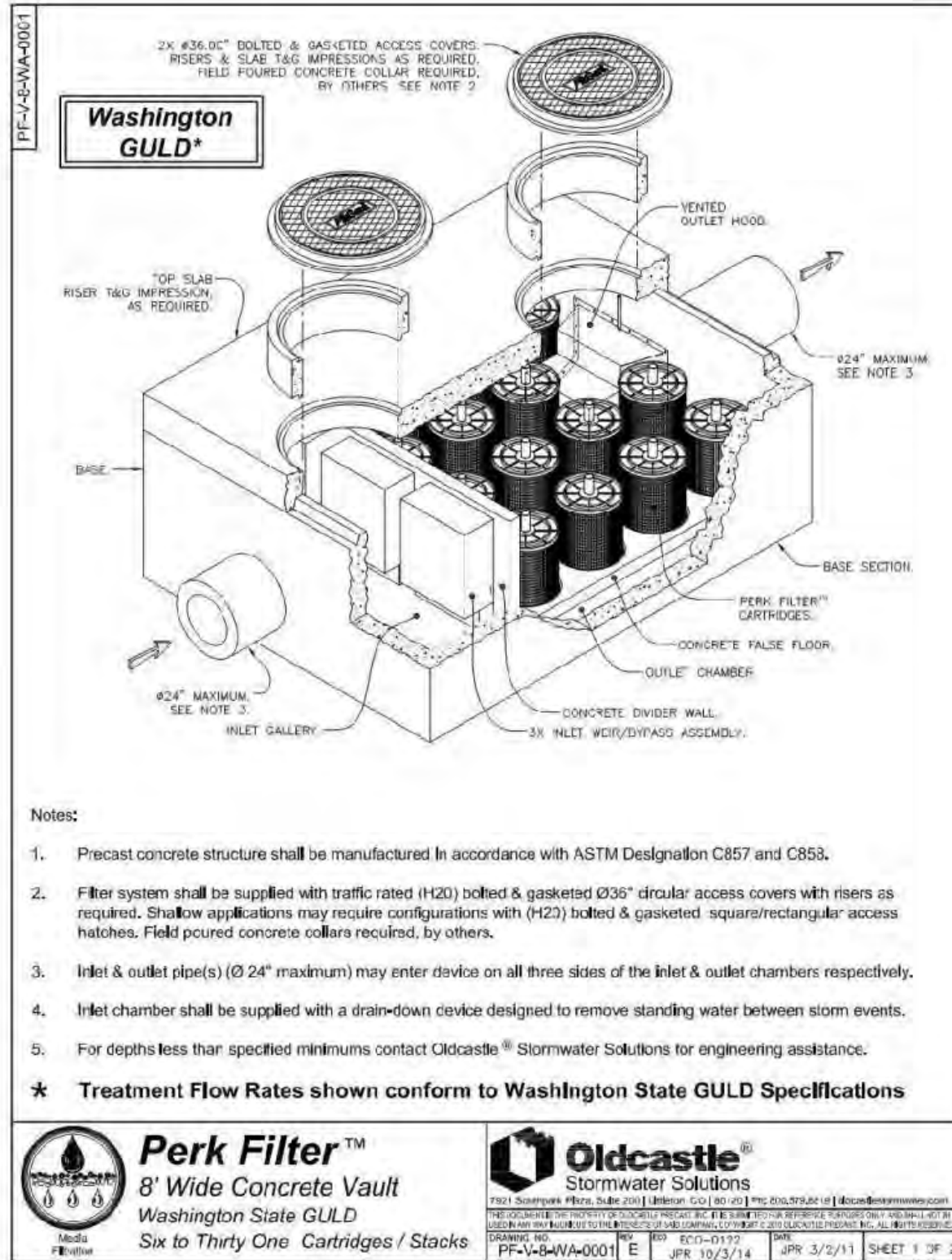
STORMWATER MANAGEMENT NOTES:

1. THE TREATMENT VAULTS WERE SELECTED BASED ON 243,131 SF OF IMPERVIOUS SURFACE AND A TREATMENT INTENSITY OF 0.2 IN/HR. SEE OLD CASTLE WASHINGTON GULF PF-V-8-WA-0001 PERK FILTER DETAIL ON SHEET C3.01. ALL FILTER VAULTS SHOWN ARE COMPRISED OF (31) - 18" CARTRIDGES.



TOTAL SITE AREA (SF)	TOTAL LAND AREA DISTURBED (SF)	TOTAL EXISTING/PRE-PROJECT IMPERVIOUS SURFACE (SF)	REPLACED IMPERVIOUS SURFACE (SF)	NEW IMPERVIOUS SURFACE (SF)	TOTAL POST-PROJECT IMPERVIOUS SURFACE (SF)
243,130	243,130	212,865	177,410	25,135	202,545

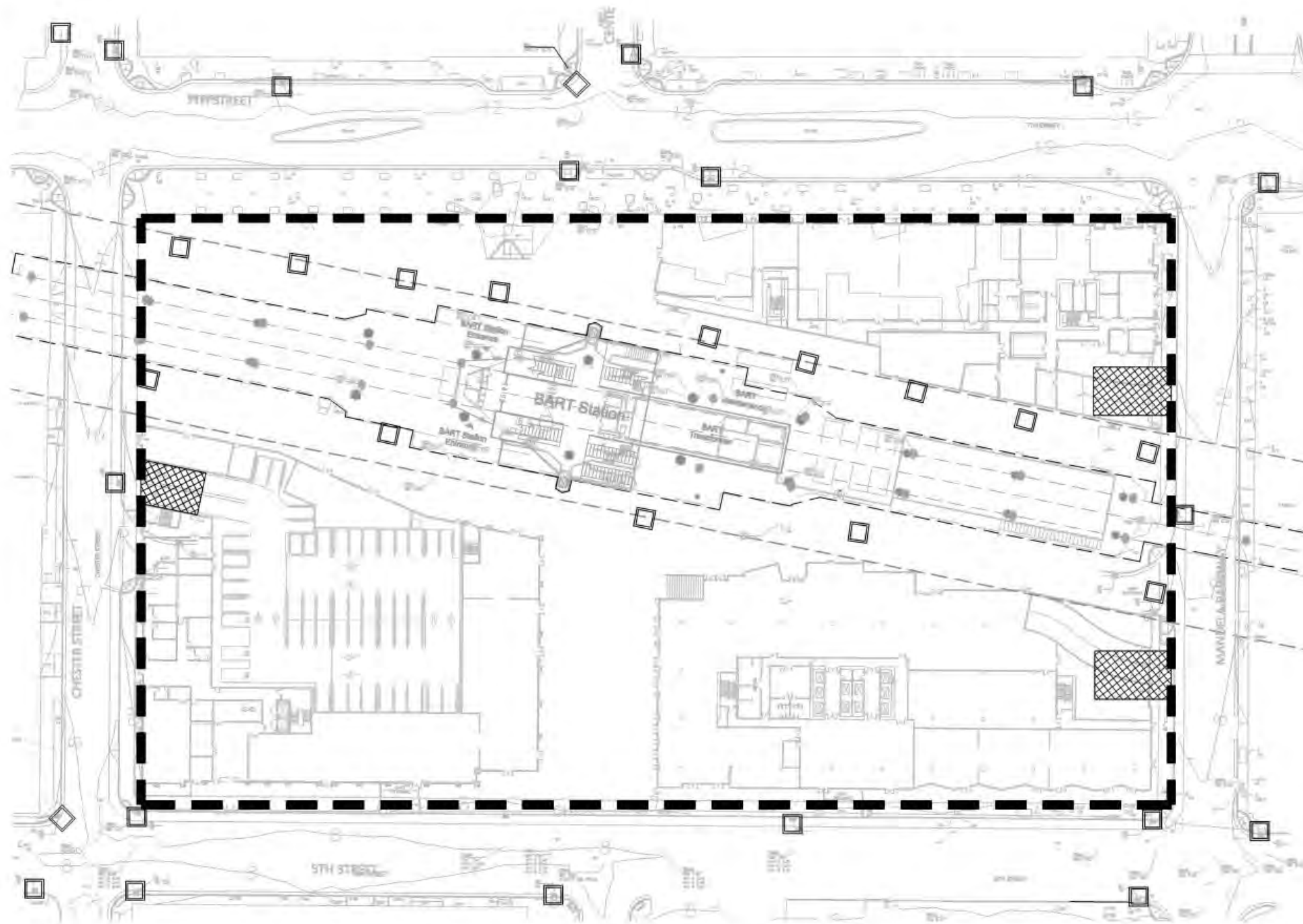
DMA	Impervious Area (SF)	Pervious Area (SF)	Treatment Type	Designated Treatment Area
1	74,600	28,445	Filter Vault	T1
2	58,278	0	Filter Vault	T2
3	69,667	0	Filter Vault	T3
4	0	12,140	Permeable Paving	T4



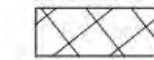


Special Projects

Non-LID Treatment Summary

Category	Impervious Area Created/Replaced (acres)	Site Coverage (%)	Project Density or FAR	Density/Criteria	Allowable Credit (%)	Applied Credit (%)
A			N.A.	N.A.	100%	
B				Res \geq 50 DU/ac or FAR \geq 2:1	50%	
				Res \geq 75 DU/ac or FAR \geq 3:1	75%	
				Res \geq 100 DU/ac or FAR \geq 4:1	100%	
C				Location credit (select one)⁵:		
				Within 1/4 mile of transit hub	50%	50%
				Within 1/2 mile of transit hub	25%	
				Within a planned PDA	25%	
				Density credit (select one):		
				Res \geq 30 DU/ac or FAR \geq 2:1	10%	
				Res \geq 60 DU/ac or FAR \geq 4:1	20%	
				Res \geq 100 DU/ac or FAR \geq 6:1	30%	30%
				Parking credit (select one):		
				\geq 10% at-grade surface parking ⁶	10%	
No surface parking	20%	20%				
TOTAL TOD CREDIT =					100%	



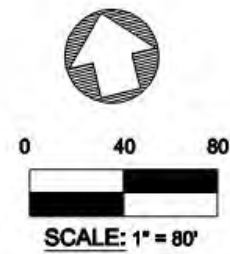
EROSION CONTROL LEGEND:

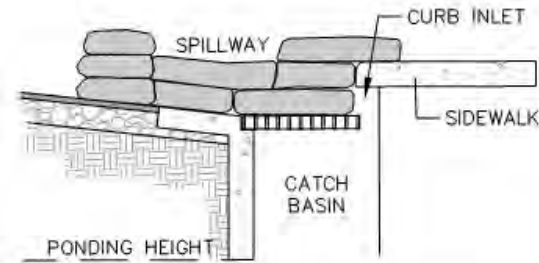
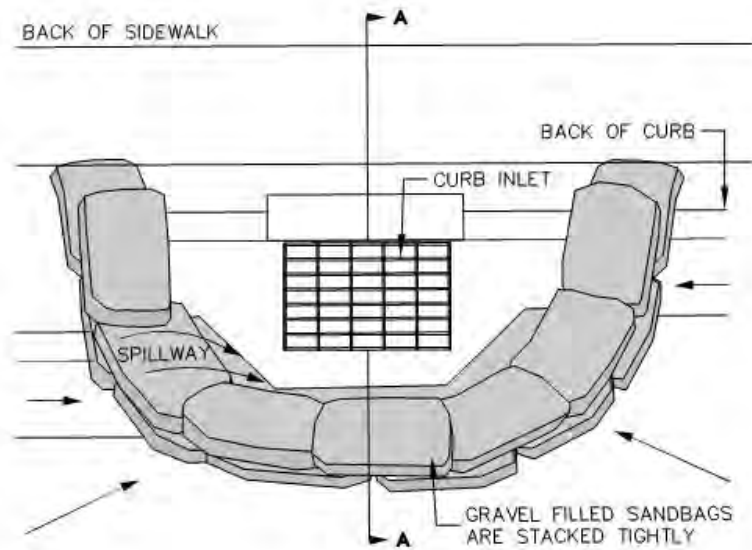
-  STABILIZED CONSTRUCTION ENTRANCE (TC-1)** WITH ENTRANCE/OUTLET TIRE WASH (TC-3)**
-  STORM DRAIN INLET PROTECTION (SC-10)**
-  FIBER ROLL (SC-05)**

**REFER TO SHEET C4.01 FOR DETAILS

EROSION CONTROL NOTES:

1. SITE ACCESS SHOWN ON THIS PLAN IS PROVIDED FOR INFORMATION PURPOSES ONLY. CONTRACTOR SHALL LOCATE CONSTRUCTION ACCESS DRIVEWAYS AS NECESSARY.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT AND MAINTAINED BY THE CONTRACTOR ON A YEAR-ROUND BASIS UNTIL ALL DISTURBED AREAS ARE STABILIZED UNLESS OTHERWISE PERMITTED BY THE COUNTY INSPECTOR.
3. ALL INLETS RECEIVING STORM WATER RUNOFF FROM THE PROJECT AREA MUST BE EQUIPPED WITH REQUIRED INLET PROTECTION.
4. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF ENTERING THE STORM DRAIN SYSTEM.
5. STOCKPILED EARTHEN MATERIAL SHALL BE EITHER COVERED WITH A TARP OR WATERED SUFFICIENTLY TO ELIMINATE DUST.
6. REFERENCE: "CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICE (BMP) HANDBOOK", JANUARY 2015.



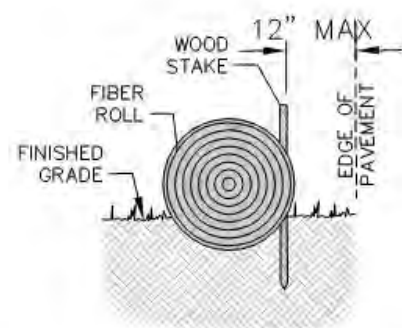


SECTION A-A

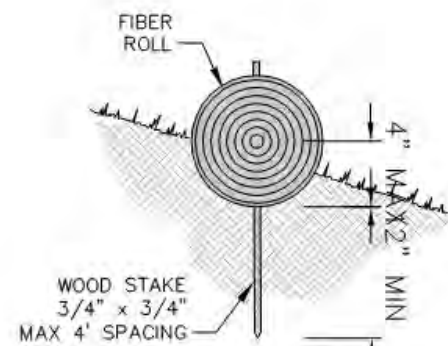
NOTES:

1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
2. SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC, ARE FILLED WITH GRAVEL LAYERED AND PACKED TIGHTLY.
3. LEAVE A ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

1 CURB INLET SEDIMENT BARRIER
NOT TO SCALE



ENTRENCHMENT DETAIL
IN FLAT AREA

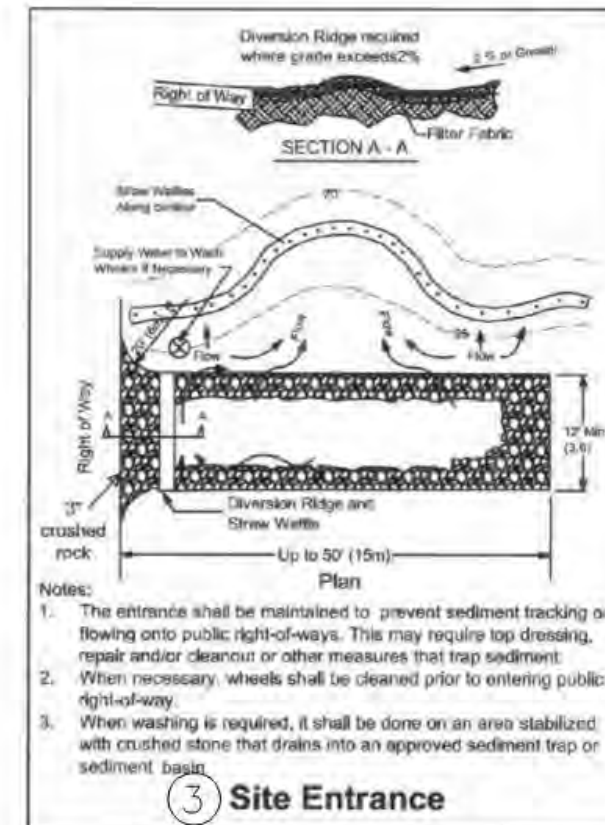


ENTRENCHMENT DETAIL
IN SLOPED AREA

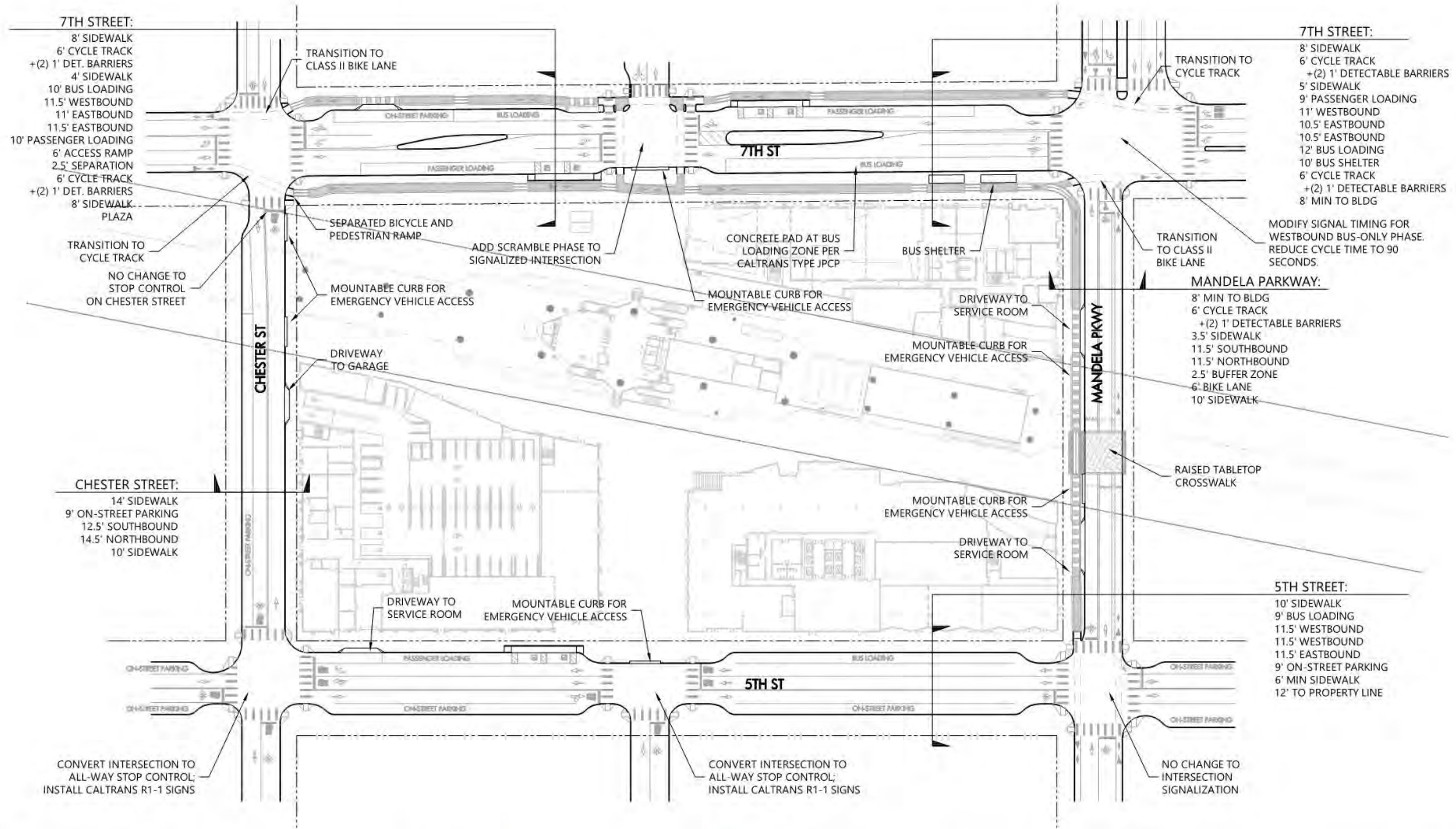
NOTES:

1. FIBER ROLLS ARE TUBES MADE FROM POROUS BIODEGRADABLE FIBER STUFFED IN A PHOTO-DEGRADABLE OPEN WEAVE NETTING. THEY ARE APPROXIMATELY 8" DIAMETER.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH; 2"-4" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL. ROLLS SHOULD BE ABUTTED SECURELY TO PROVIDE A TIGHT JOINT, NOT OVERLAPPED.

2 FIBER ROLL
NOT TO SCALE



3 Site Entrance





CYCLE TRACK CASE STUDY



CYCLE TRACK CASE STUDY

Rendering of Better Market Street with trapezoidal delineator between pedestrians and bicycles

Source:
San Francisco Public Works
Better Market Street Project

Trapezoidal delineator

Enhancing Mobility, Access and Safety for Pedestrians (Part II)

Recommendation
Use a trapezoidal indicator between bicycle and pedestrian sides of a separated bikeway at sidewalk level

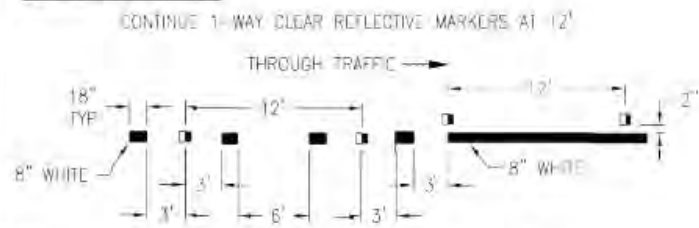
PLAN, Regular Tile: 12.00" (300 mm) width, 12.00" (300 mm) height

PLAN, End Tile: 12.00" (300 mm) width, 12.00" (300 mm) height

SECTION: 10.00" (250 mm) top width, 6.25" (150 mm) bottom width, 1.00" (25 mm) height

DETAIL: 1.875" (48 mm) top width, 1.00" (25 mm) bottom width, 0.75" (19 mm) height, 22° angle

DETAIL 1 - LANE DROP



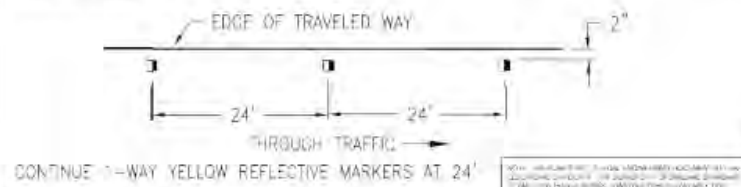
DETAIL 2 - LANE LINE EXTENSIONS THROUGH INTERSECTIONS



DETAIL 3 - CROSSWALKS



DETAIL 4 - LEFT EDGE LINE

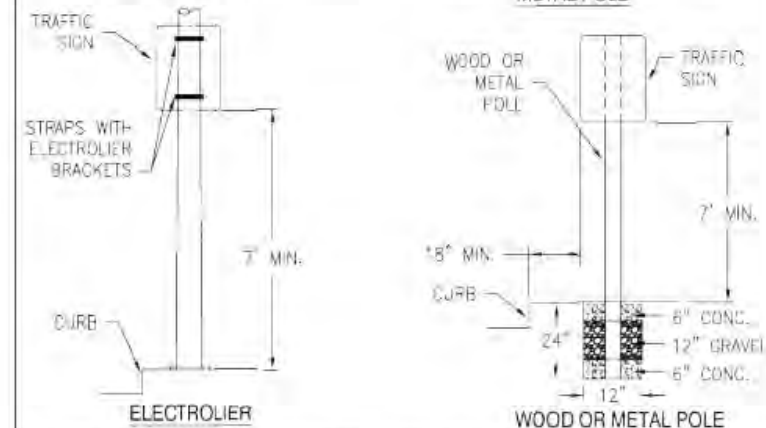
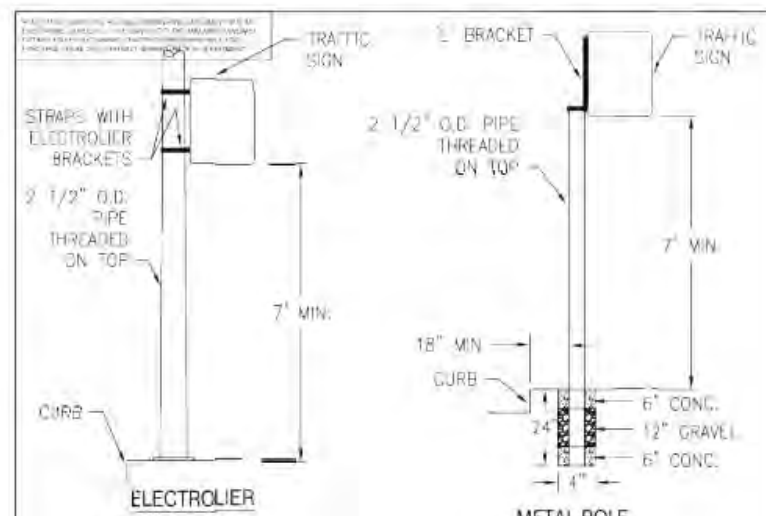


CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT



**PAVEMENT MARKING
DETAIL**

TRANSPORTATION SERVICES MANAGER		
DATE	APPROVED	DATE
REV. DATE		T-3

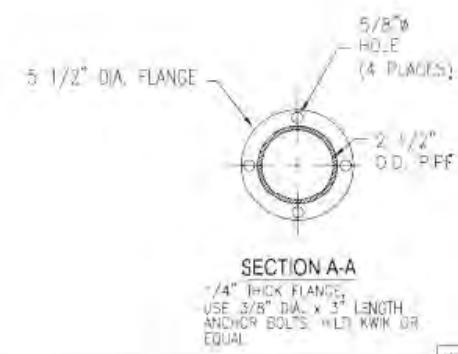
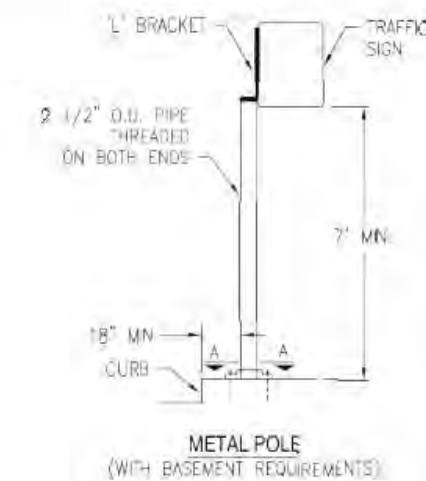


CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT



**SIGN INSTALLATION
DETAILS**

TRANSPORTATION SERVICES MANAGER		
DATE	APPROVED	DATE
REV. DATE		T-4

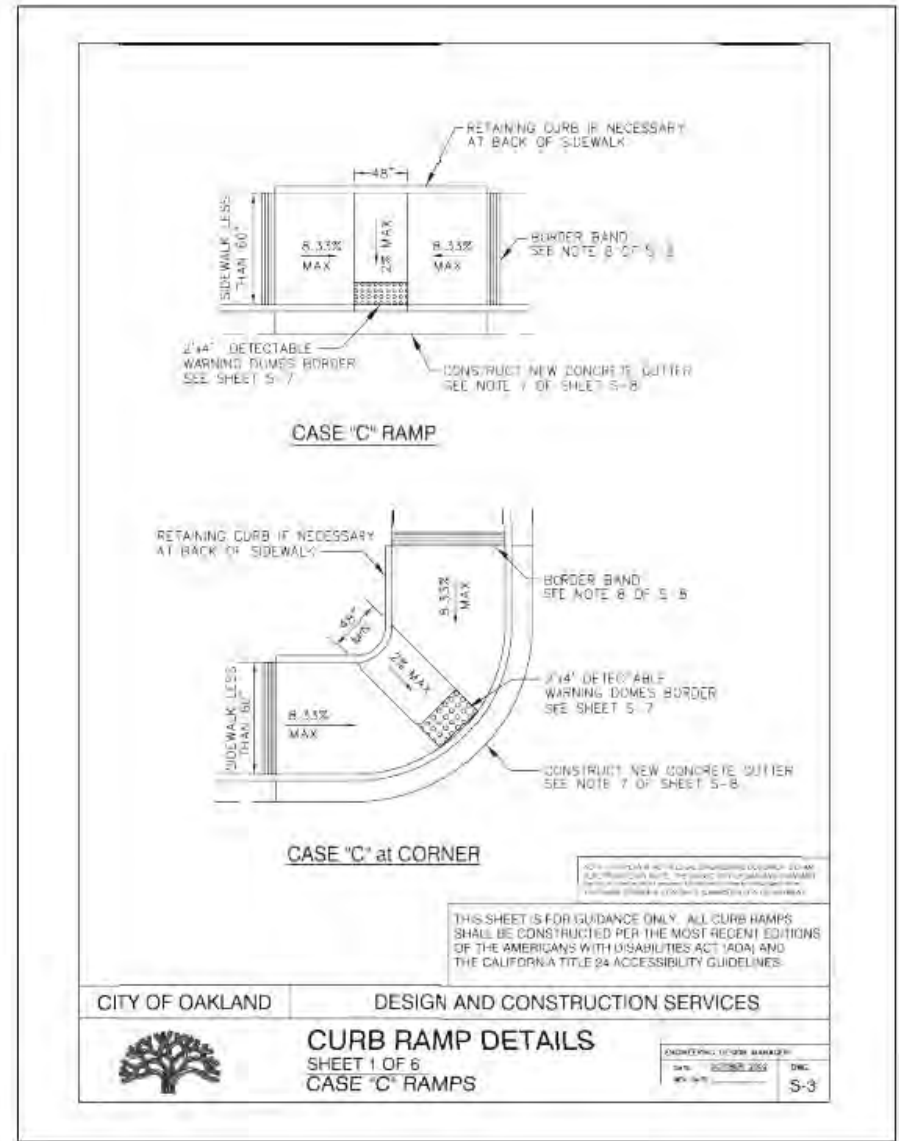
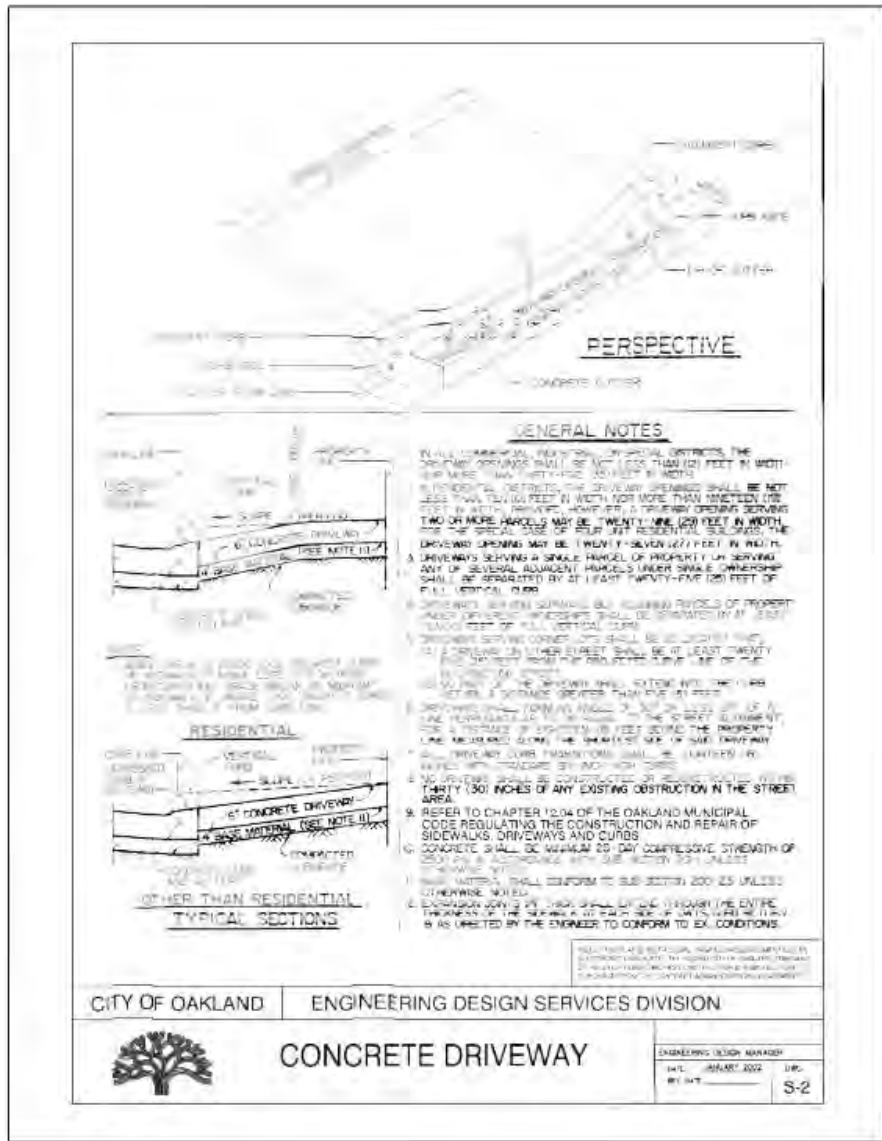
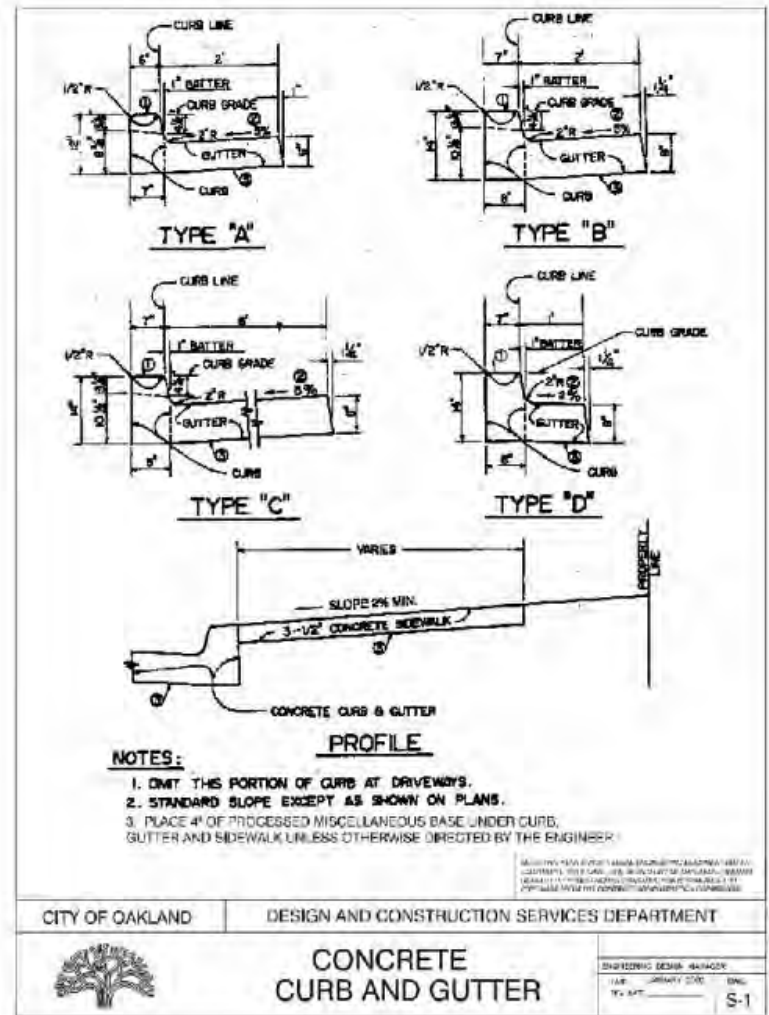


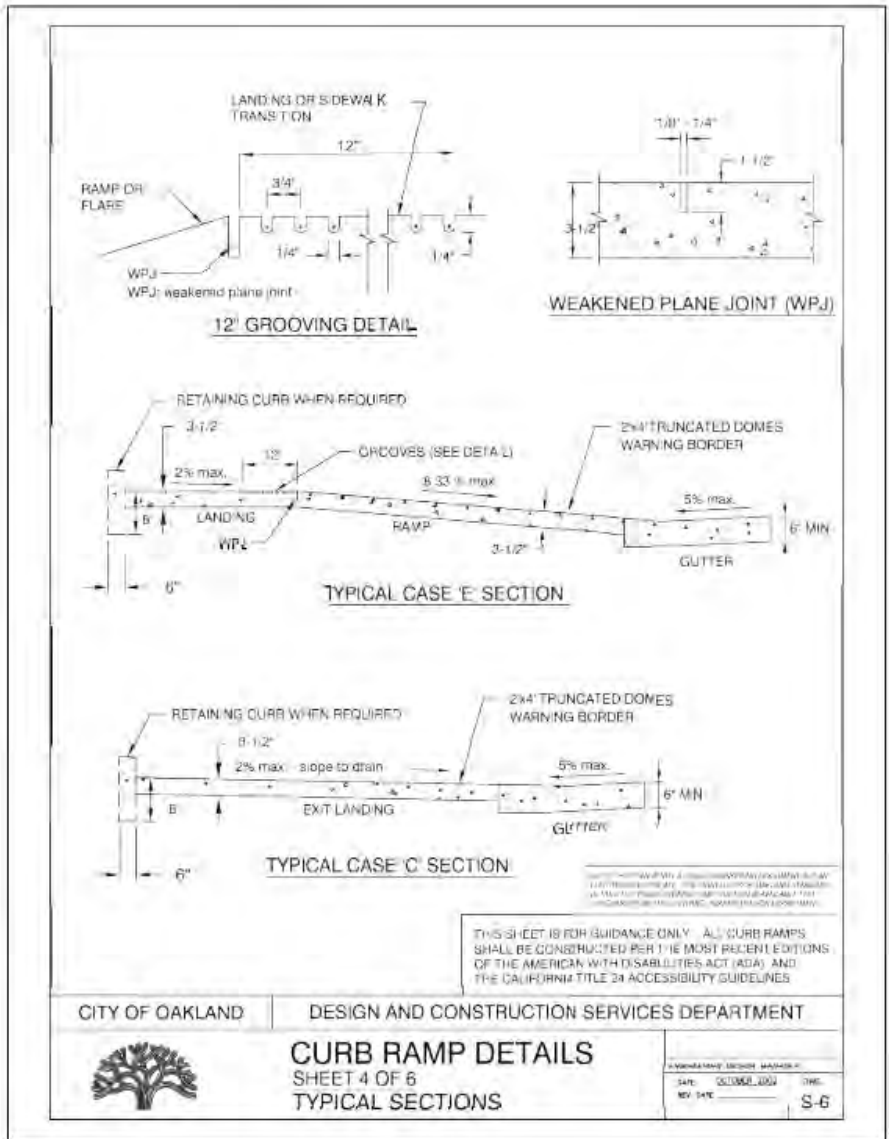
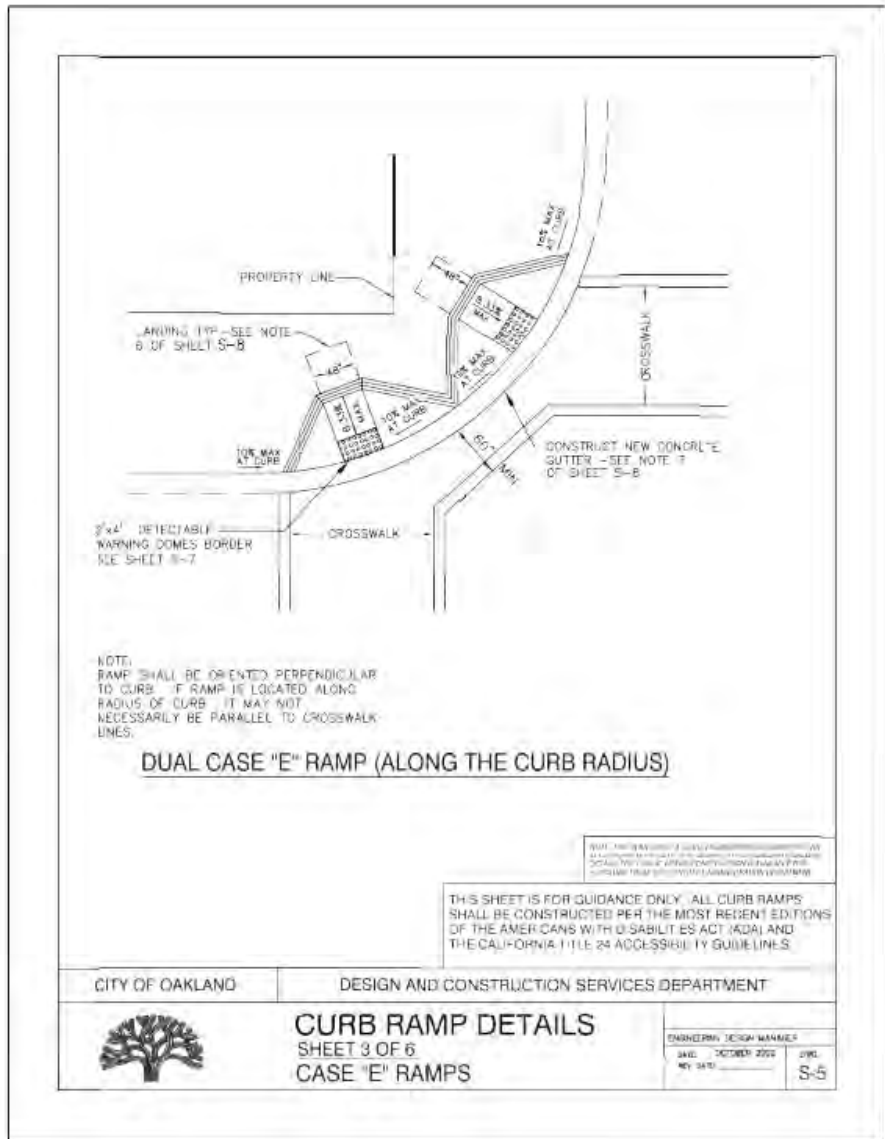
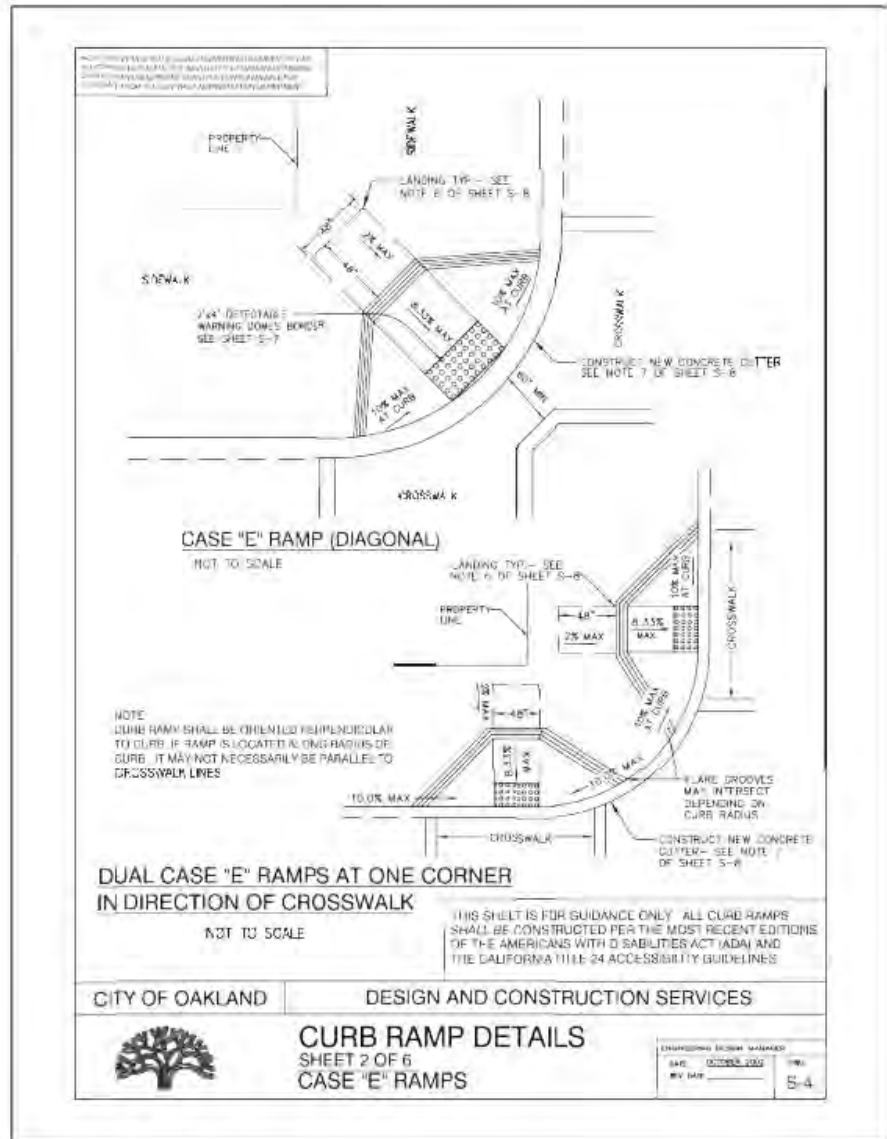
CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT



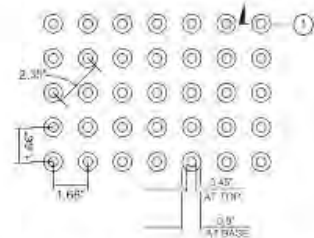
**SIGN INSTALLATION
DETAILS**

TRANSPORTATION SERVICES MANAGER		
DATE	APPROVED	DATE
REV. DATE		T-5



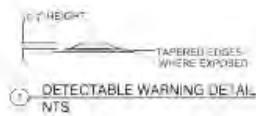


1. Curb ramps shall have 4 ft by 2 ft long detectable warning border centered and squared at the ramp bottom.
2. The detectable warning border shall contrast visually with the adjoining surfaces, either light or dark. The material used to provide contrast shall be an integral part of the walking surface and shall contrast by at least 70 percent. A fully cured 2 ft x 2 ft sample of both the cast-in-place detectable warning border and the adjacent curb ramp shall be submitted to the Engineer for review and approval prior to installation.
3. Dome orientation shall conform to the latest ADA / Title 24 regulations.
4. The closest corner of the truncated dome tile to the street shall be set 6" from the flowline.
5. Detectable dome warning tiles or strips made of materials other than concrete shall only be used with the written approval of the Director of Public Works.
6. Precast concrete detectable warning dome pavers shall be installed on top of a 4 inch thick concrete pad. Mortared joints shall be flush with top surface and finished to provide a smooth surface. Pavers shall be laid such that joints are level with adjoining joints to provide a smooth transition from paver to paver and from paver to concrete surface.



Bottom Diameter = 0.9 inches
 Top Diameter = 0.4 inches
 Height = 0.2 inches
 Center-to-Center Spacing = 2.35 inches

PLAN VIEW OF DETECTABLE WARNING DOMES
 NTS



THIS SHEET IS FOR GUIDANCE ONLY. ALL CURB RAMPS SHALL BE CONSTRUCTED FOR THE MOST RECENT EDITIONS OF THE AMERICAN WITH DISABILITIES ACT (ADA) AND THE CALIFORNIA TITLE 24 ACCESSIBILITY GUIDELINES.

CITY OF OAKLAND	DESIGN AND CONSTRUCTION SERVICES
	CURB RAMP DETAILS SHEET 5 OF 6 DETECTABLE WARNINGS
ENGINEERING DESIGN MANAGER DATE: OCTOBER 2012 REV: NONE	CHECKED: S-7

CASE "C" CURB RAMP NOTES

1. If site conditions do not accommodate a Case E ramp, a Case "C" Curb Ramp shall be constructed.
2. If the sidewalk is less than 5-feet wide, a Case C ramp shall be installed.
3. The maximum slope of the lower landing of a Case C ramp shall be 2%. In all cases the lower landing shall be sloped to drain.
4. No vertical obstructions shall be allowed within a Case C curb ramp.

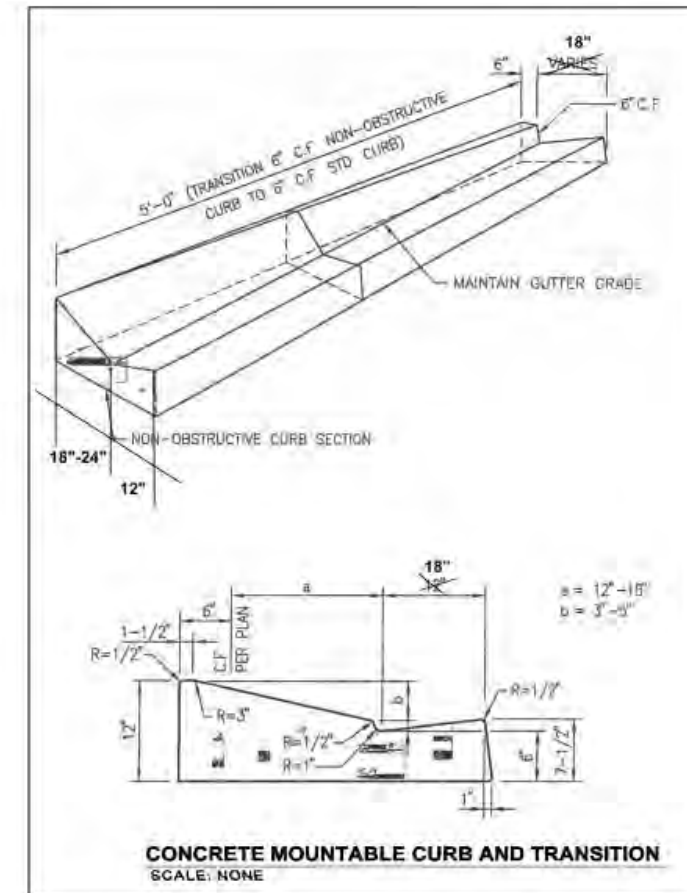
CASE "E" CURB RAMP NOTES:

5. Two ramps shall be provided at each corner of an intersection, unless otherwise allowed by the plans or by the Engineer. The centerline and path of travel of both curb ramps must be perpendicular to the gutter.
6. A level landing (4-ft deep with 2% max. slope) shall be provided at the upper end of each Case E curb ramp over its full width to permit safe exit from the ramp surface. If a level landing cannot be installed, then the side flares of the ramp shall slope less than or equal to 8.33%.

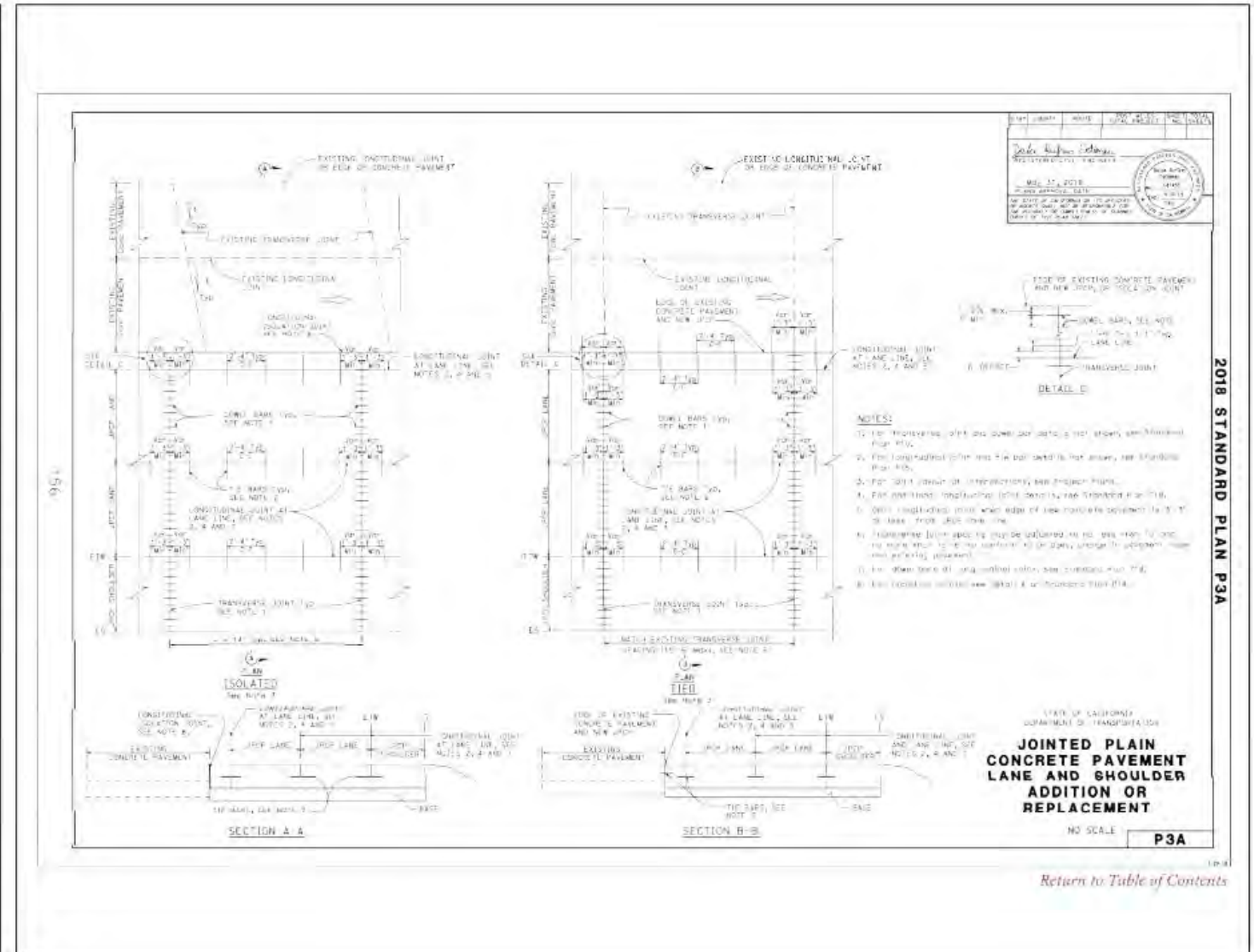
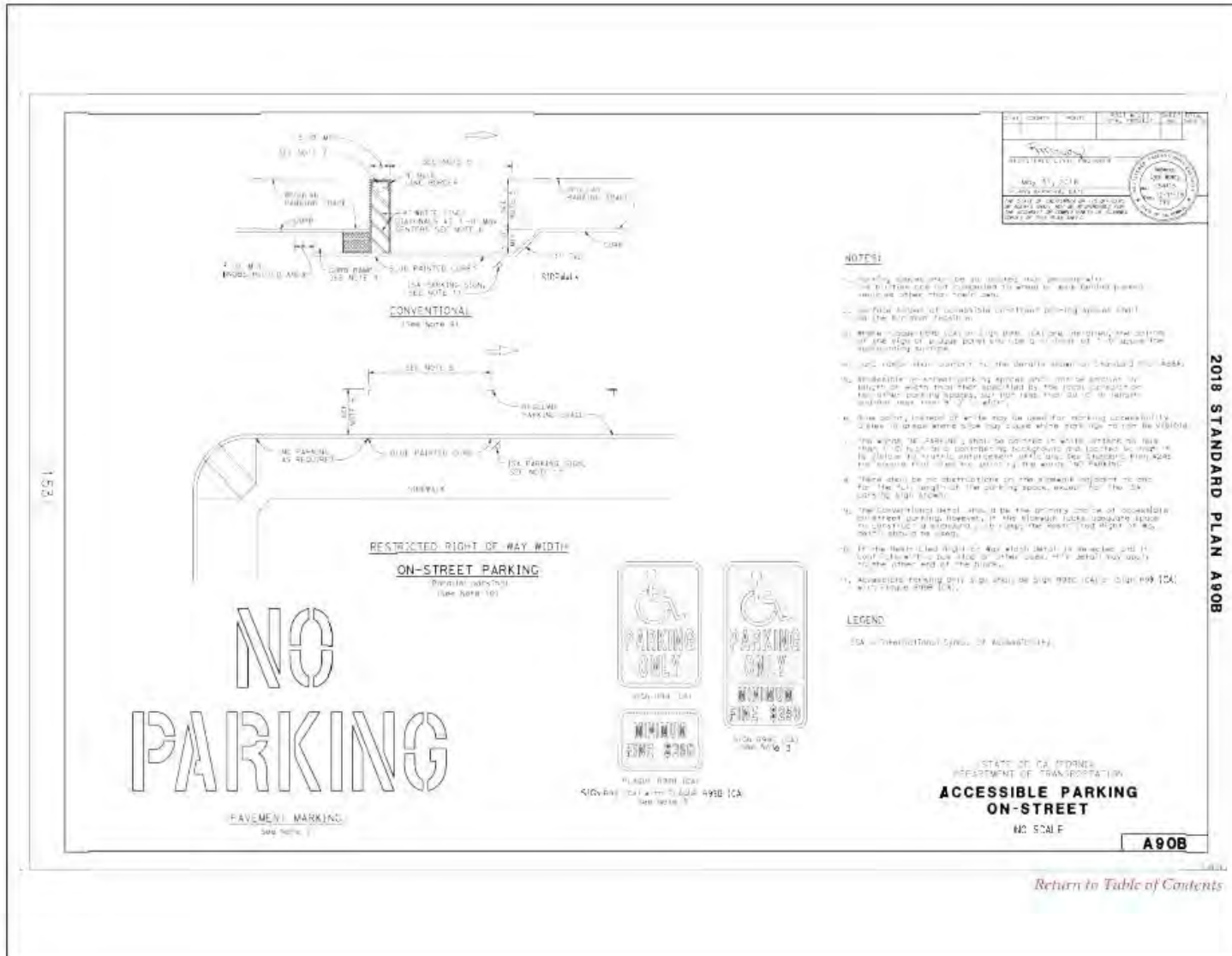
GENERAL CURB RAMP NOTES:

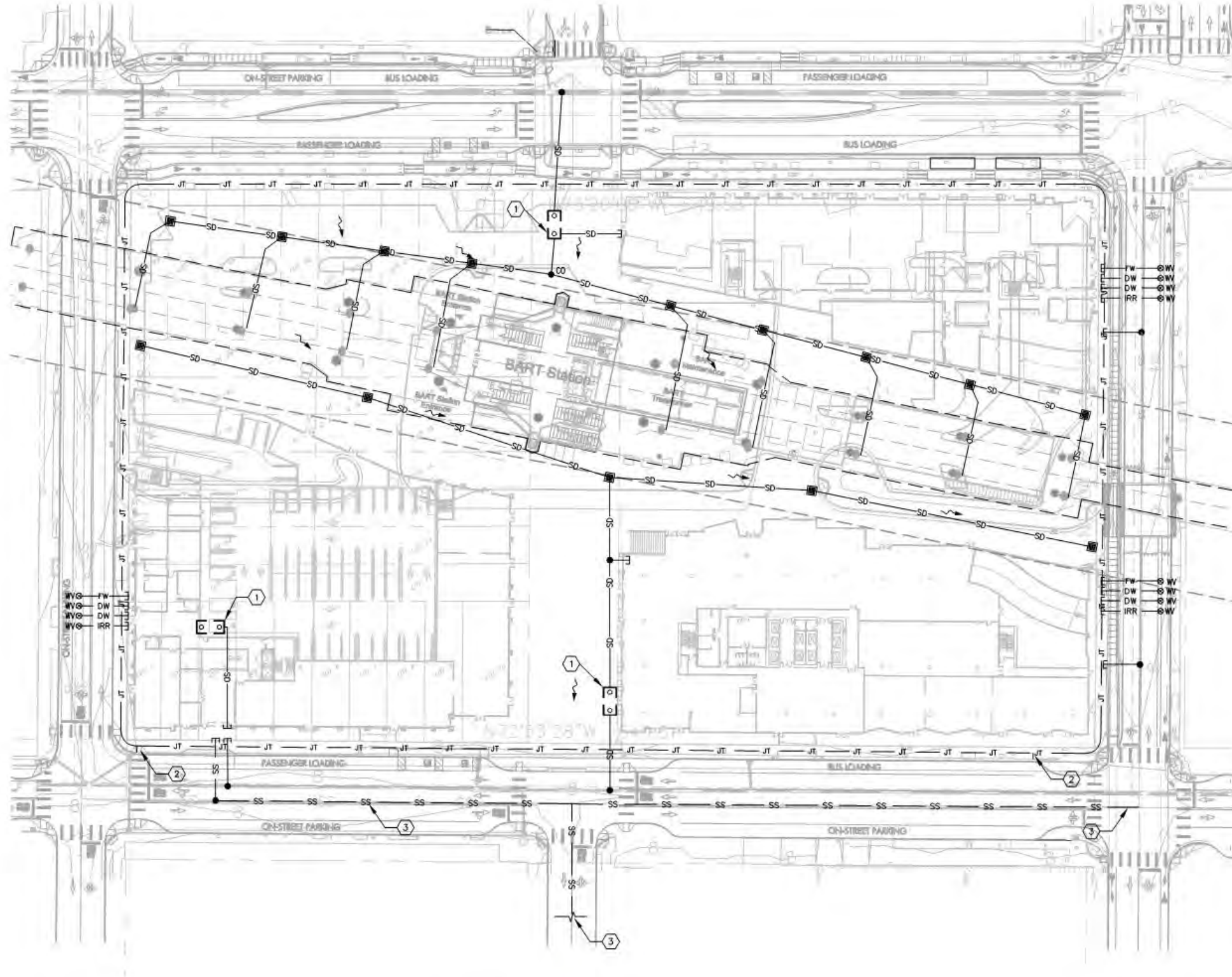
7. When constructing curb ramps, construct concrete gutter to match existing gutter widths. The new gutter shall be flush with the bottom of the curb ramp and the new gutter shall be considered part of the curb ramp construction.
8. Each curb ramp shall be bounded by a 12- inch border band with 1/4 inch deep grooves scored 3/4 inches apart except in the curb and gutter area.
9. Vertical obstructions, such as utility poles and traffic signals, shall only be allowed with the approval of the Engineer.
10. Existing utility boxes and covers shall be adjusted to conform flush with the curb ramp surface. All utility boxes and covers located within the detectable warning border area shall be relocated.

CITY OF OAKLAND	ENGINEERING DESIGN DIVISION
	CURB RAMP DETAILS SHEET 6 OF 6 GENERAL NOTES
ENGINEERING DESIGN MANAGER DATE: OCTOBER 2012 REV: NONE	CHECKED: S-8



CONCRETE MOUNTABLE CURB AND TRANSITION
 SCALE: NONE



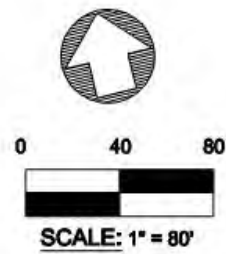


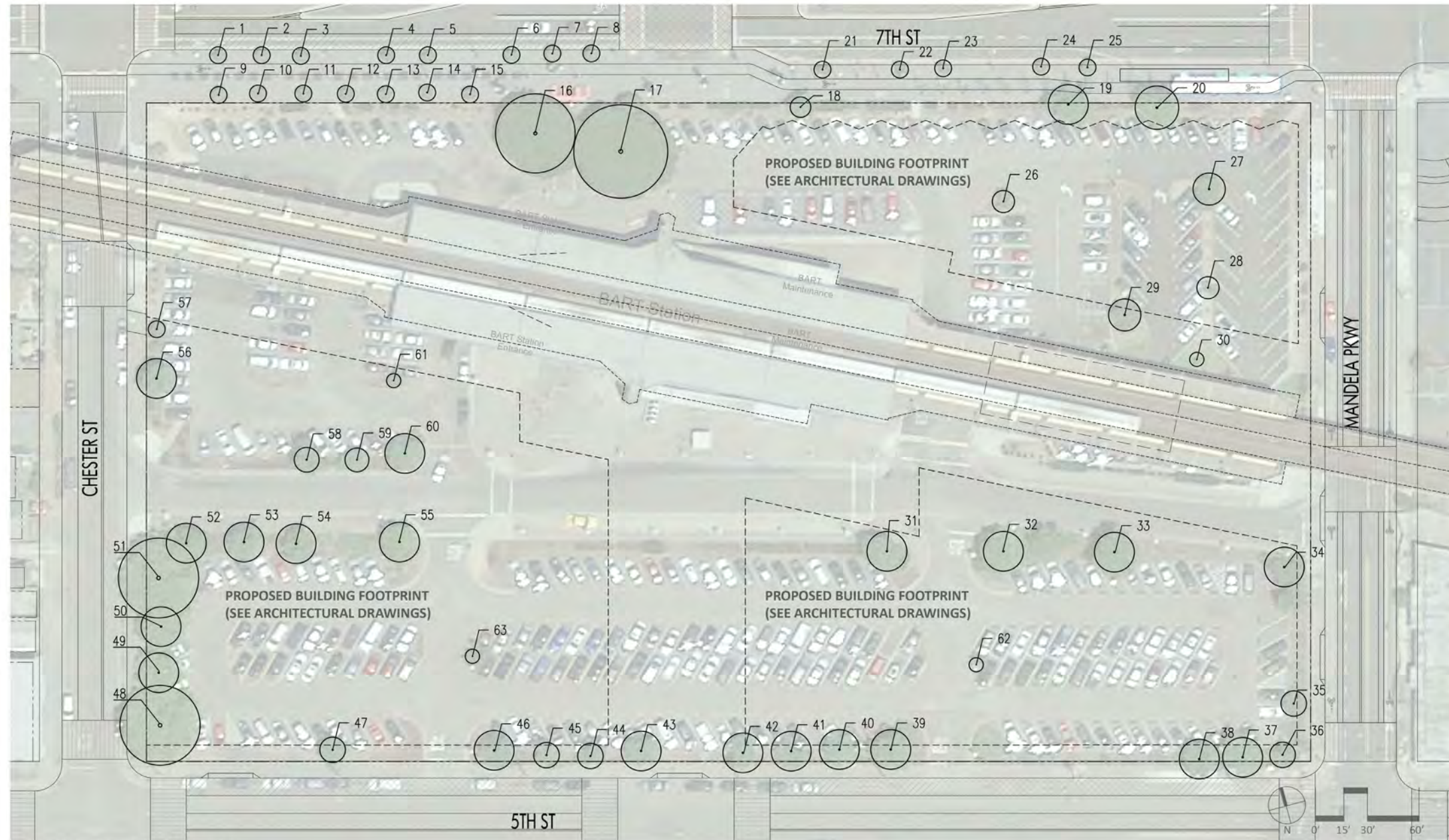
UTILITY KEYNOTES:

- ① NEW OLD CASTLE WASHINGTON GULD PV-V-8-WA-0001 PERK FILTER OR APPROVED EQUAL SEE DETAIL ON SHEET C3.01
- ② POTENTIAL CONNECTION LOCATION FOR ELECTRICAL AND TELECOM
- ③ REBUILD/UPSIZE SANITARY SEWER LINE TO CONNECTION AT CENTER ST x 3RD ST

UTILITY LEGEND:

- SD STORM DRAIN LINE
- IRR IRRIGATION LINE
- FW FIRE WATER LINE
- DW DOMESTIC WATER LINE
- SS SANITARY SEWER LINE
- JT JOINT TRENCH: ELEC + TELECOM
- DOMESTIC WATER MANHOLE PER CITY OF OAKLAND STANDARD DETAIL D-11
- STORM DRAIN MANHOLE
- WV WATER VALVE
- DRAIN INLET





Trees Proposed for Removal

Key	Species	DBH (in)
1	<i>Pistacia chinensis</i>	4
2	<i>Pistacia chinensis</i>	4
3	<i>Pistacia chinensis</i>	4
4	<i>Pistacia chinensis</i>	3
5	<i>Pistacia chinensis</i>	5
6	<i>Pistacia chinensis</i>	4
7	<i>Pistacia chinensis</i>	4
8	<i>Pistacia chinensis</i>	4
9	<i>Pistacia chinensis</i>	4
10	<i>Pistacia chinensis</i>	4
11	<i>Pistacia chinensis</i>	4
12	<i>Pistacia chinensis</i>	4
13	<i>Pistacia chinensis</i>	4

Key	Species	DBH (in)
14	<i>Pistacia chinensis</i>	4
15	<i>Pistacia chinensis</i>	4
16	<i>Pinus pinea</i>	36
17	<i>Pinus pinea</i>	32
18	<i>Liriodendron tulipifera</i>	9
19	<i>Liriodendron tulipifera</i>	11
20	<i>Liriodendron tulipifera</i>	13
21	<i>Pistacia chinensis</i>	4
22	<i>Pistacia chinensis</i>	4
23	<i>Pistacia chinensis</i>	4
24	<i>Pistacia chinensis</i>	4
25	<i>Pistacia chinensis</i>	5
26	<i>Maytenus boaria</i>	7

Key	Species	DBH (in)
27	<i>Maytenus boaria</i>	12
28	<i>Maytenus boaria</i>	5
29	<i>Maytenus boaria</i>	16
30	<i>Maytenus boaria</i>	2
31	<i>Liriodendron tulipifera</i>	13
32	<i>Liriodendron tulipifera</i>	11
33	<i>Liriodendron tulipifera</i>	13
34	<i>Liriodendron tulipifera</i>	11
35	<i>Liriodendron tulipifera</i>	9
36	<i>Liriodendron tulipifera</i>	12
37	<i>Liriodendron tulipifera</i>	11
38	<i>Liriodendron tulipifera</i>	10
39	<i>Liriodendron tulipifera</i>	11

Key	Species	DBH (in)
40	<i>Liriodendron tulipifera</i>	9
41	<i>Liriodendron tulipifera</i>	10
42	<i>Liriodendron tulipifera</i>	10
43	<i>Liriodendron tulipifera</i>	9
44	<i>Liriodendron tulipifera</i>	7
45	<i>Liriodendron tulipifera</i>	8
46	<i>Liriodendron tulipifera</i>	8
47	<i>Liriodendron tulipifera</i>	9
48	<i>Platanus X acerifolia</i>	18
49	<i>Platanus X acerifolia</i>	10
50	<i>Platanus X acerifolia</i>	10
51	<i>Platanus X acerifolia</i>	17
52	<i>Liriodendron tulipifera</i>	12

Key	Species	DBH (in)
53	<i>Liriodendron tulipifera</i>	8
54	<i>Liriodendron tulipifera</i>	8
55	<i>Liriodendron tulipifera</i>	9
56	<i>Liriodendron tulipifera</i>	10
57	<i>Liriodendron tulipifera</i>	5
58	<i>Liriodendron tulipifera</i>	8
59	<i>Liriodendron tulipifera</i>	7
60	<i>Liriodendron tulipifera</i>	9
61	<i>Maytenus boaria</i>	5
62	<i>Maytenus boaria</i>	5
63	<i>Maytenus boaria</i>	7

Bolded trees are protected trees.



BUILDING T1
FDP PACKAGE

PROJECT

WEST OAKLAND BART
1451 7th St, Oakland, CA 94607

ARCHITECT



PROJECT TEAM

BKF ENGINEERS
1608 N. CALIFORNIA
BLVD, SUITE 400
WALNUT CREEK,
CA 94598
(925) 940-2200

PGA DESIGN
444 17th Street
Oakland
CA 94612
(510) 455-1284

STOK
945B Front Street
San Francisco
CA 94111
(415) 329-7100

STAMP

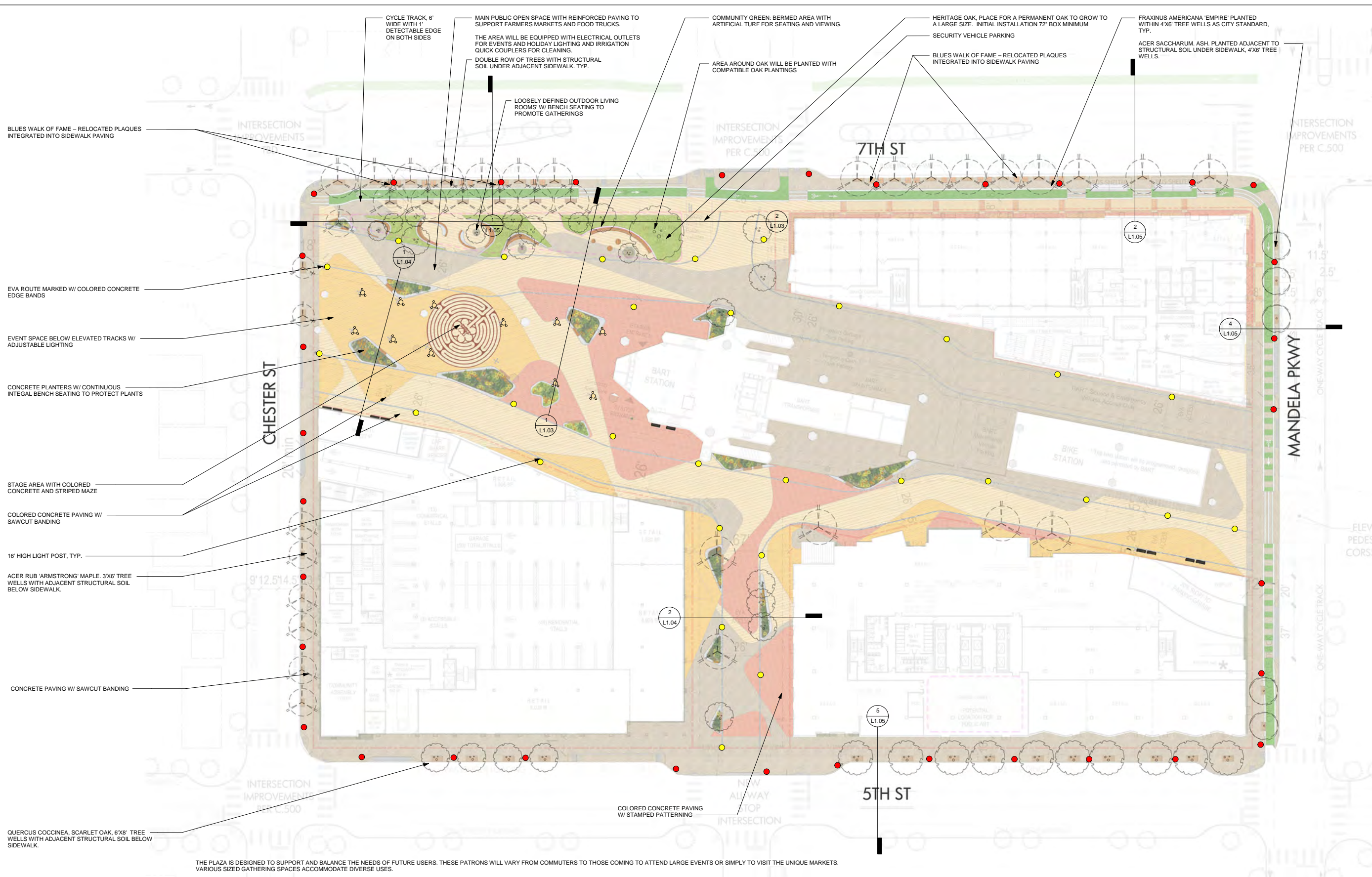
KEY

PROJ #: 168-153 WO BART
DATE: 06/04/20
SCALE: 1"=60' - 0"

TITLE:
**TREE
REMOVAL
PLAN**

SHEET:
L1.00

OWNER
 HENSEL PHELPS
 suda
 BUILDING T1 FDP PACKAGE
 PROJECT
 WEST OAKLAND BART
 1451 7th St, Oakland, CA 94607
 ARCHITECT
 jrdv ARCHITECTS
 PROJECT TEAM
 BKF100
 PGAdesign
 stok
 STAMP
 PROJ.#: 168-153 WO BART
 DATE: 03/26/20
 SCALE: 1"=60' - 0"
 TITLE: LAYOUT & MATERIALS PLAN
 SHEET: L1.01



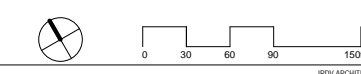
IRRIGATION METHOD & WATER EFFICIENT LANDSCAPE ORDINANCE

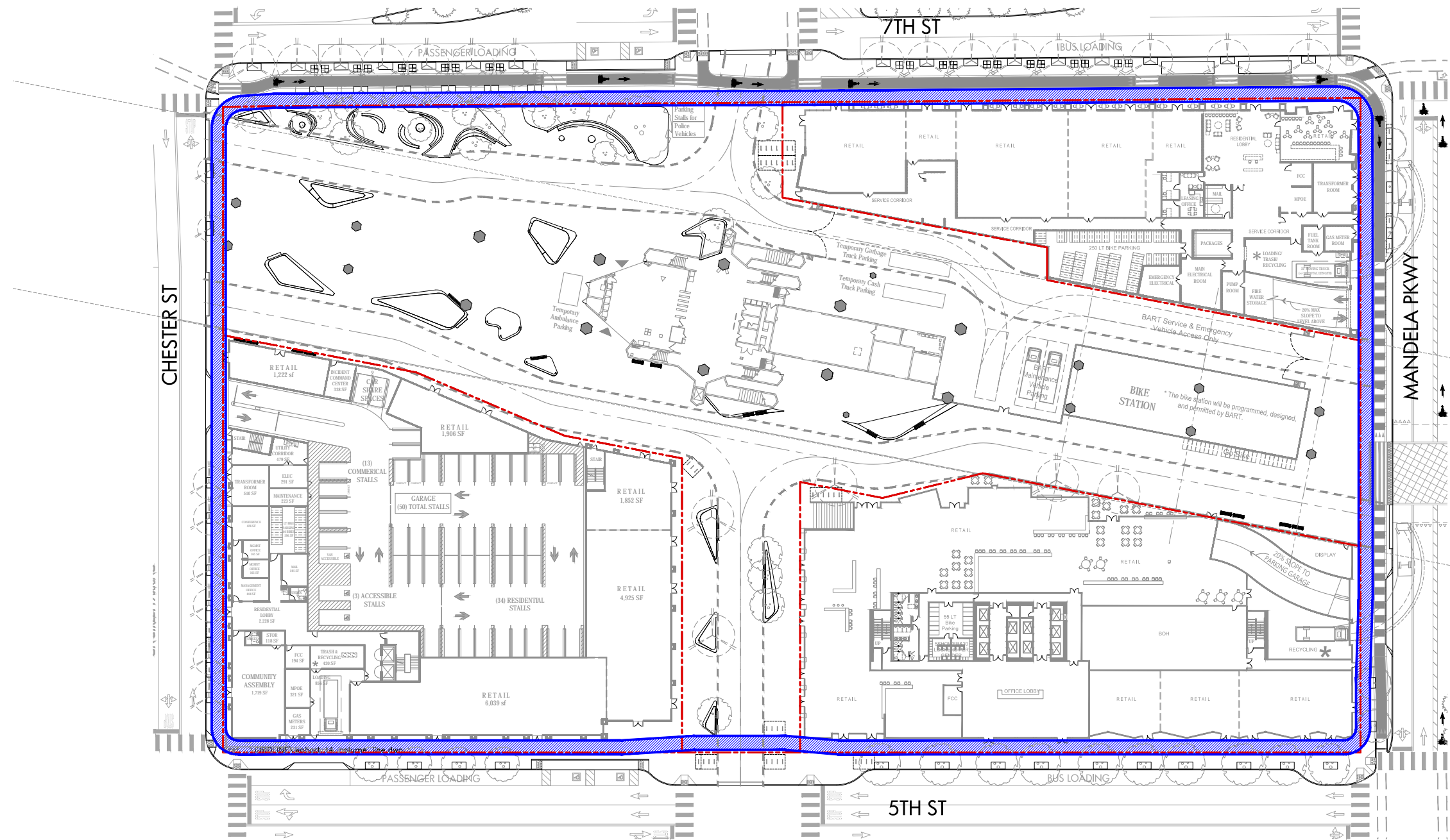
- IRRIGATION SYSTEM WILL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH. ALL SELECTED COMPONENTS TO BE COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE AND MINIMUM MAINTENANCE REQUIREMENT.
- THE SYSTEM WILL BE DRIPLINE IRRIGATION AS APPROPRIATE TO PLANT TYPE, EXPOSURE AND SLOPE CONDITIONS.
- CONTROL OF THE SYSTEM WILL BE VIA A WEATHER-ENABLED CONTROLLER CAPABLE OF DAILY SELF-ADJUSTMENT BASED ON REAL-TIME WEATHER CONDITIONS AS MEASURED BY AN ON-SITE WEATHER SENSOR.
- THE SYSTEM WILL INCLUDE A MASTER CONTROL VALVE AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
- THE LANDSCAPE IS OVER 500 SQUARE FEET OF NEW LANDSCAPING AND WILL THEREFORE MEET THE REQUIREMENTS OF THE WATER EFFICIENCY LANDSCAPE ORDINANCE (WLO): [HTTPS://WATER.CA.GOV/LEGACYFILES/WATERUSEEFFICIENCY/LANDSCAPEORDINANCE/DOCS/TITLE%202023%20EXTRACT%20-%20OFFICIAL%20CCR%20PAGES.PDF](https://water.ca.gov/legacyfiles/wateruseefficiency/landscapeordinance/docs/title%202023%20extract%20-%20official%20ccr%20pages.pdf)

WEST OAKLAND STATION CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN STRATEGIES

- AREA LIGHTING:**
- ALL LOADING, UNLOADING, KISS AND RIDE, DROP OFF, PICK UP AREAS WILL BE LIT TO 5 CANDLE FOOT. SIDEWALKS AROUND THE SITE WILL BE LIT TO 1.25 CANDLE FOOT (CITY STANDARD), BIKE LOCKER AREAS WILL BE LIT TO 10 CANDLE FOOT, AND EXTERIOR PATRON WAITING AREAS OUTSIDE THE BART FAIR GATES WILL BE LIT TO 10 CANDLE FOOT. SEE SHEET L1.07 FOR MORE DETAIL REGARDING THE LOCATION OF THESE AREAS.
 - POLE LIGHTS ARE KEPT 20' CLEAR OF TREES AND LANDSCAPING. LIGHT POLES ARE LESS THAN 22' HIGH. OTHER LIGHTS WILL BE MOUNTED ON BUILDING, ON BOLLARDS OR ALONG OVERHEAD WIRES (<20' HIGH).
 - THE LIGHTING WILL USE A FULL COLOR INDEX IN ORDER TO BETTER DISTINGUISH FORM AND MOVEMENT.
- AREA PLANTING:**
- PLANTINGS, INCLUDING THE RAISED PLANTERS AND BERMS THEY ARE IN, WILL NOT EXCEED 36" IN HEIGHT. TREES WILL BE LIMBED UP TO 7' HIGH. THE INTENTION IS TO AVOID BLIND SPOTS CAUSED BY HIGH PLANTS AND PLANTERS. TREES WILL BE THE TYPE THAT RETAIN A THIN TRUNK AS THEY GROW AND MATURE. THE TREE CANOPIES WILL NOT BE OVERLY DENSE AND WILL ALLOW LIGHT IN FROM ABOVE.

- AREA SITE FURNISHINGS:**
- SITE FURNISHINGS, EARTH FORMS, AND ARTWORK WILL BE DESIGNED NOT TO OBSCURE VISIBILITY. BENCHES HAVE SEPARATORS/ARMRESTS, SO THEY ARE USED FOR SITTING ONLY. PLANTER BOXES AND LANDSCAPE WALLS WILL HAVE GROOVES OR ELEMENTS TO DETER SKATEBOARDERS. FENCES ARE DESIGNED TO RESIST TEMPERING AND CLIMBING.
- AREA SIGNAGE:**
- DIRECTIONAL AND WAYFINDING SIGNAGE WILL BE PLACED AT APPROPRIATE LOCATIONS TO HELP DIRECT THE VISITOR TO THEIR DESTINATION.
- SURVEILLANCE CAMERAS:**
- A SERIES OF SURVEILLANCE CAMERAS WILL BE PLACED TO COVER THE ENTIRE SITE. THESE CAMERAS WILL COMPLY WITH BART FACILITY STANDARDS.

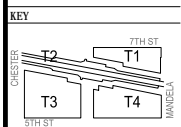




LEGEND

- 8' CLEAR ZONE FOR PEDESTRIAN
- PROPERTY LINE

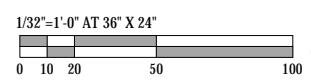
STAMP

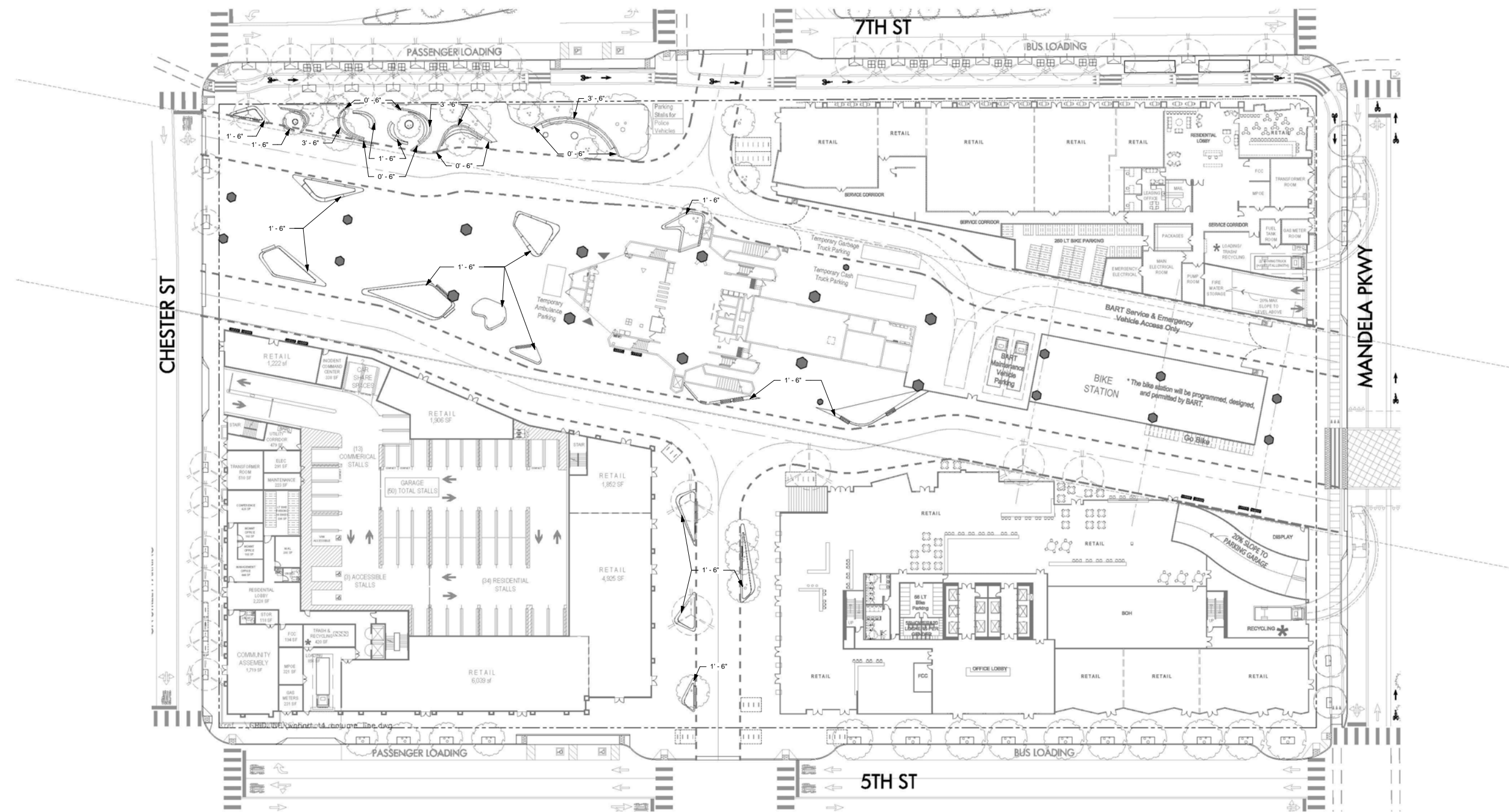


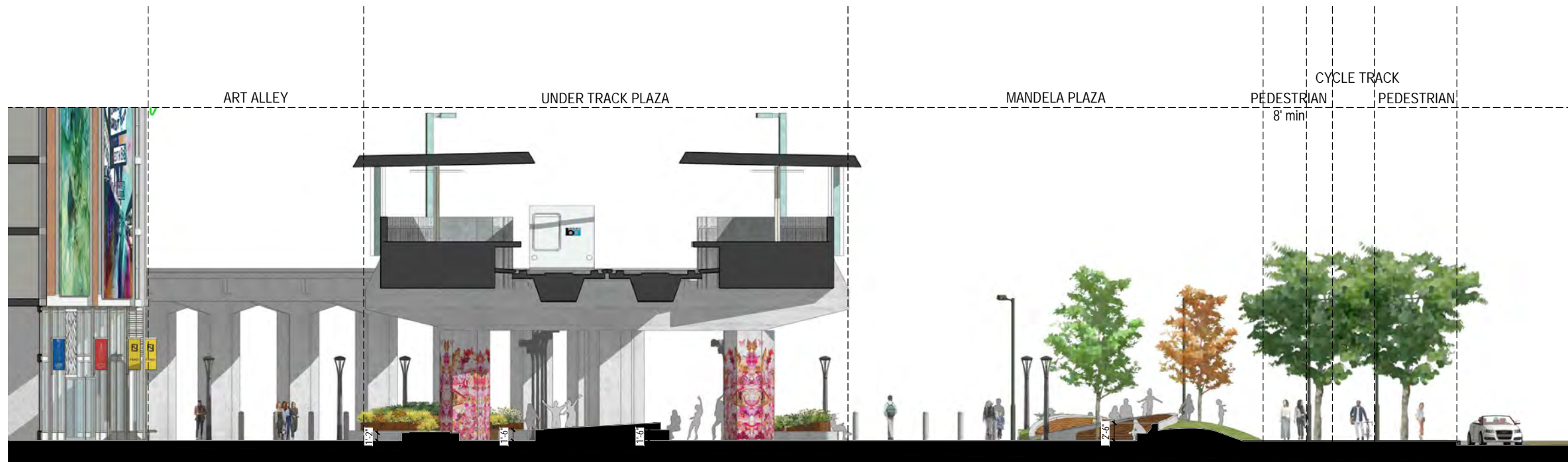
PROJ # 188-153 WO BART
 DATE July 23, 2020
 SCALE 1/32"=1'-0"
 TITLE

PUBLIC ACCESS

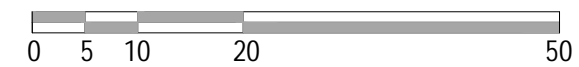
SHEET: **L1.01.02**



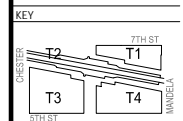


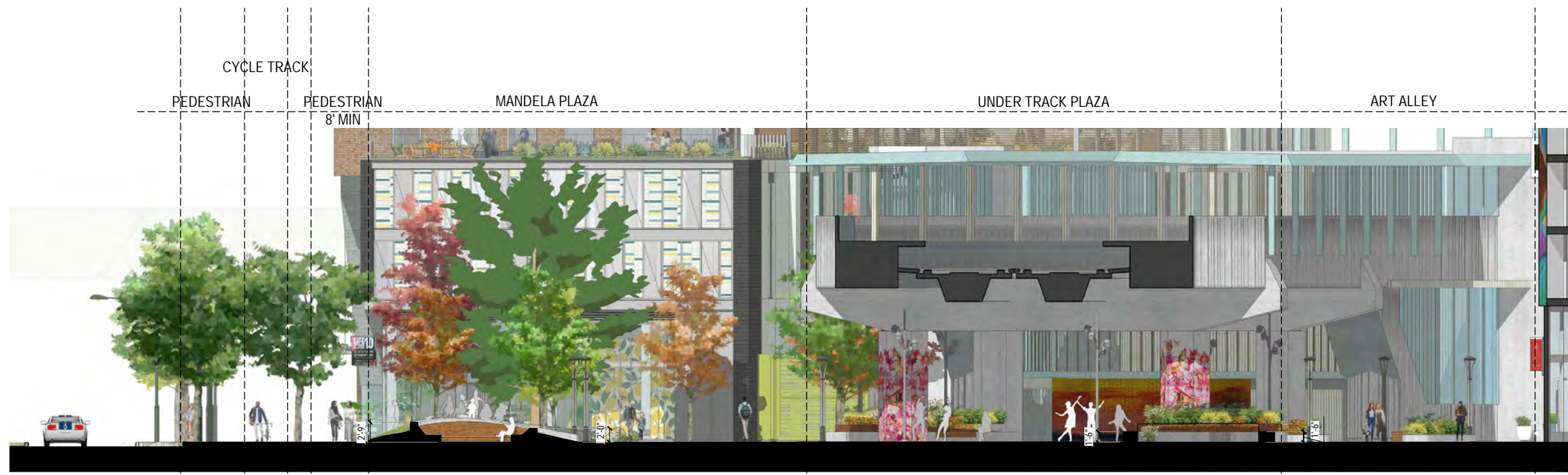


1 SECTION 1
L1.03 1/16" = 1'-0"

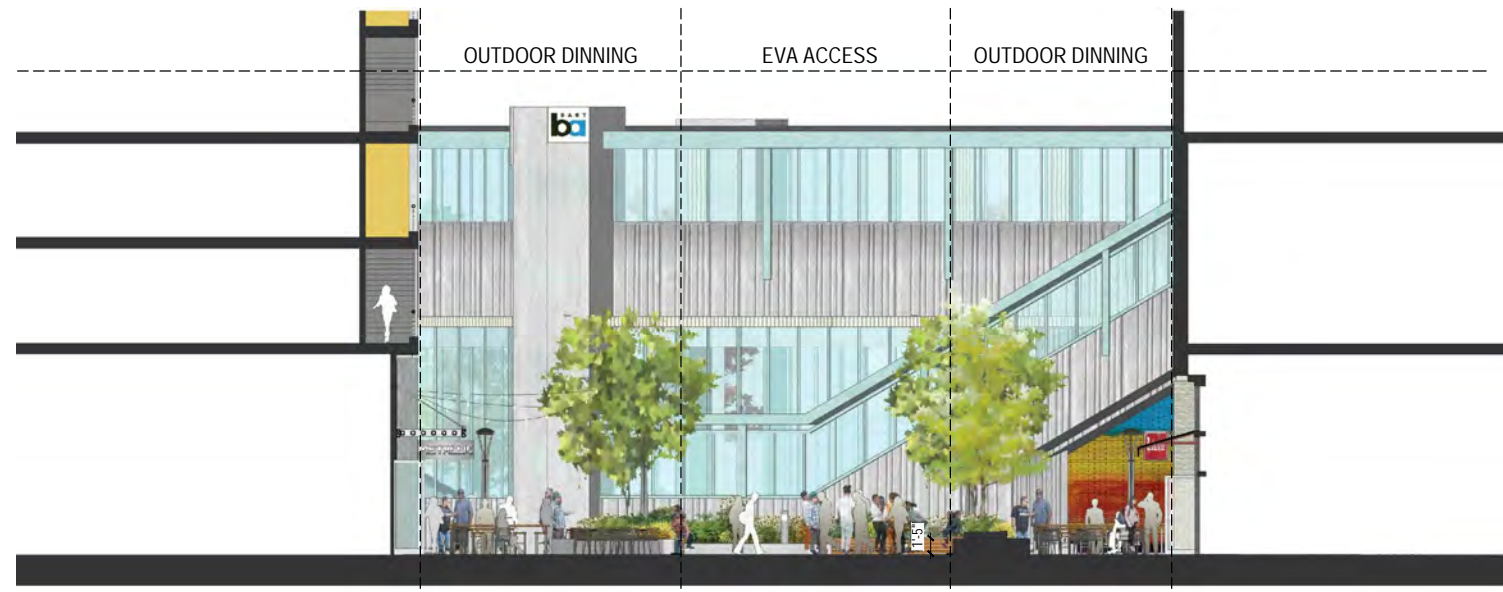


2 SECTION 2
L1.03 1/16" = 1'-0"

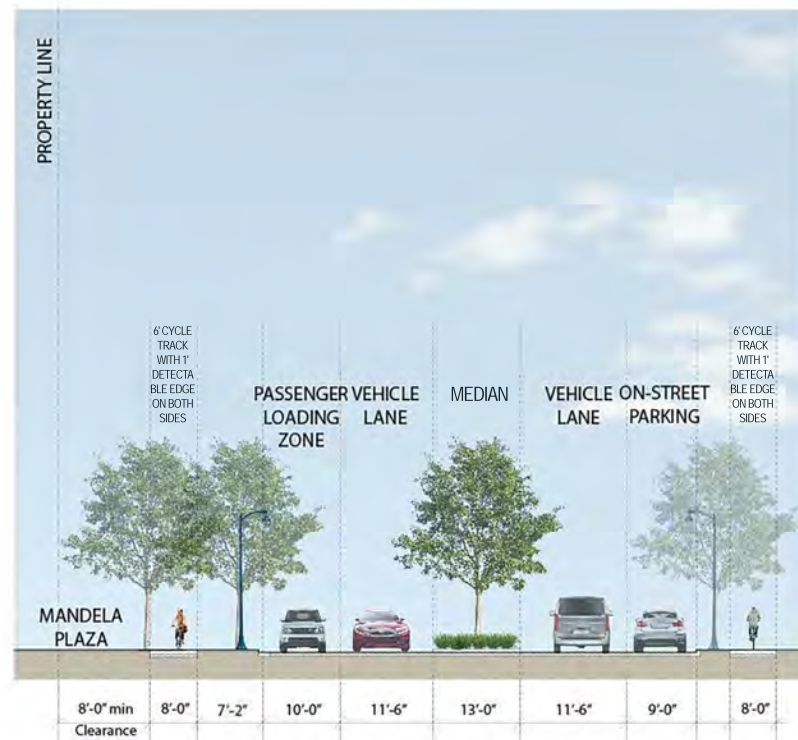




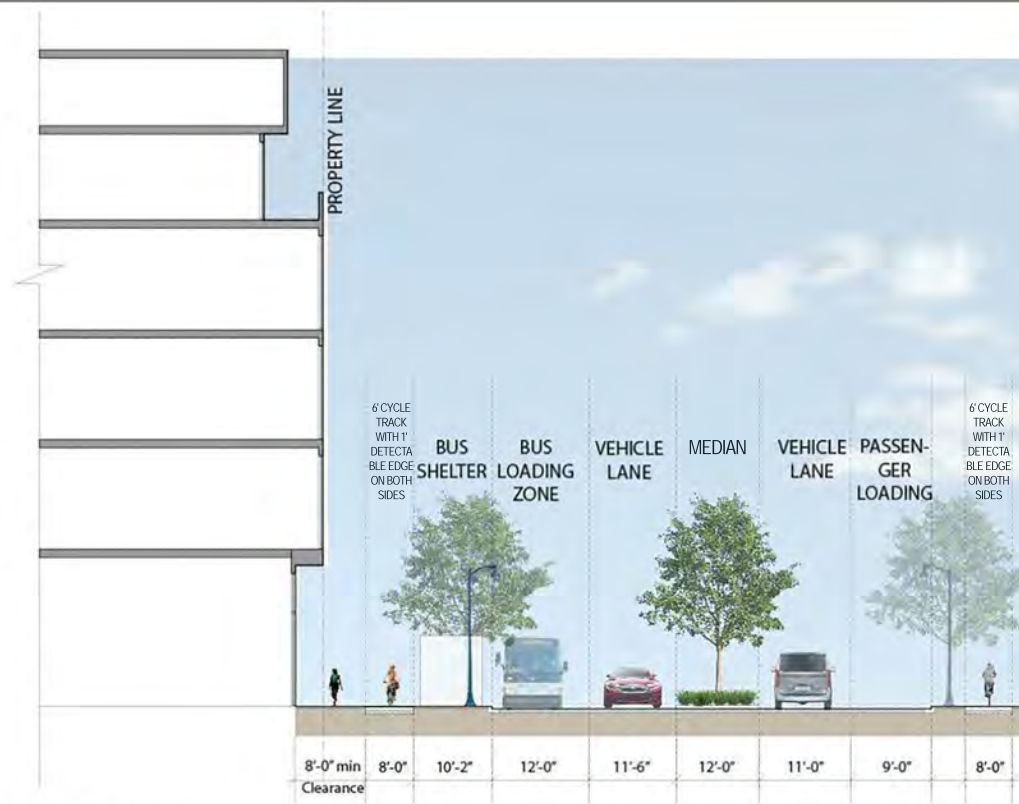
1 SECTION 3
L1.04 1/16" = 1'-0"



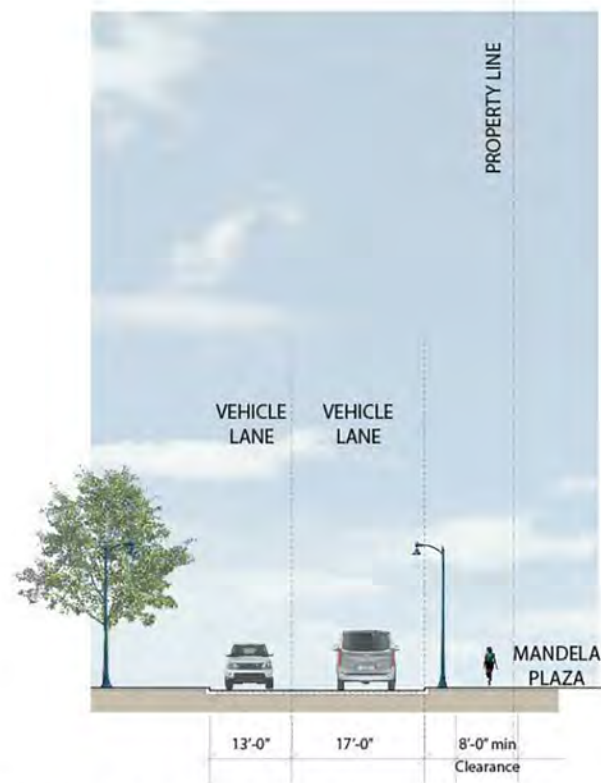
2 SECTION 4
L1.04 1/16" = 1'-0"



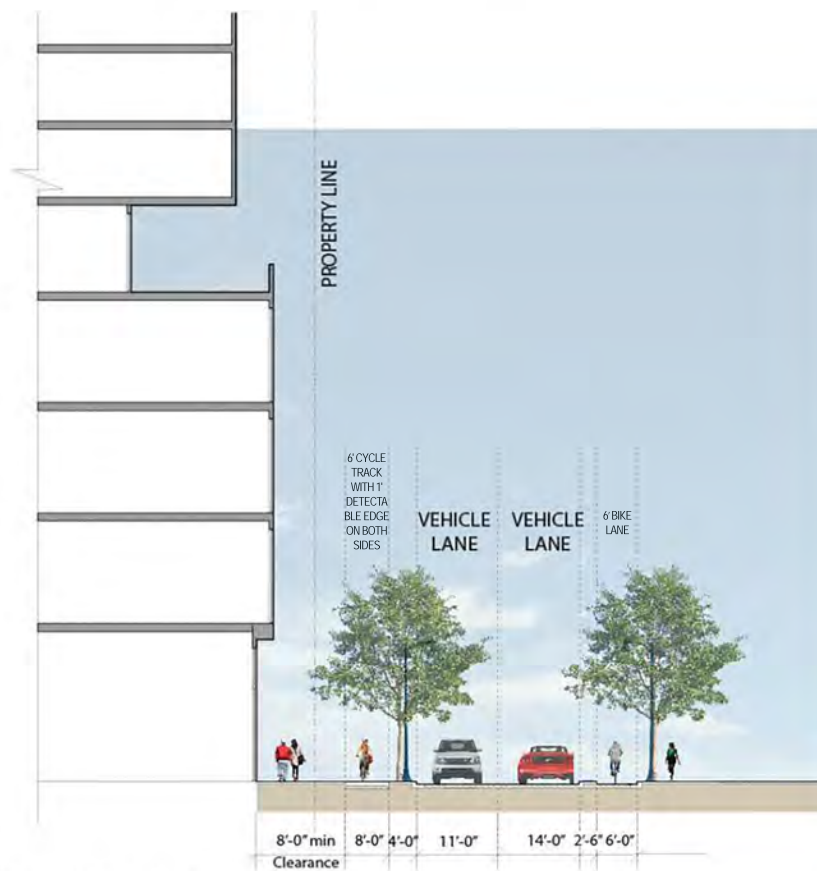
1 7TH STREET WEST SECTION
L1.05 1" = 20'-0"



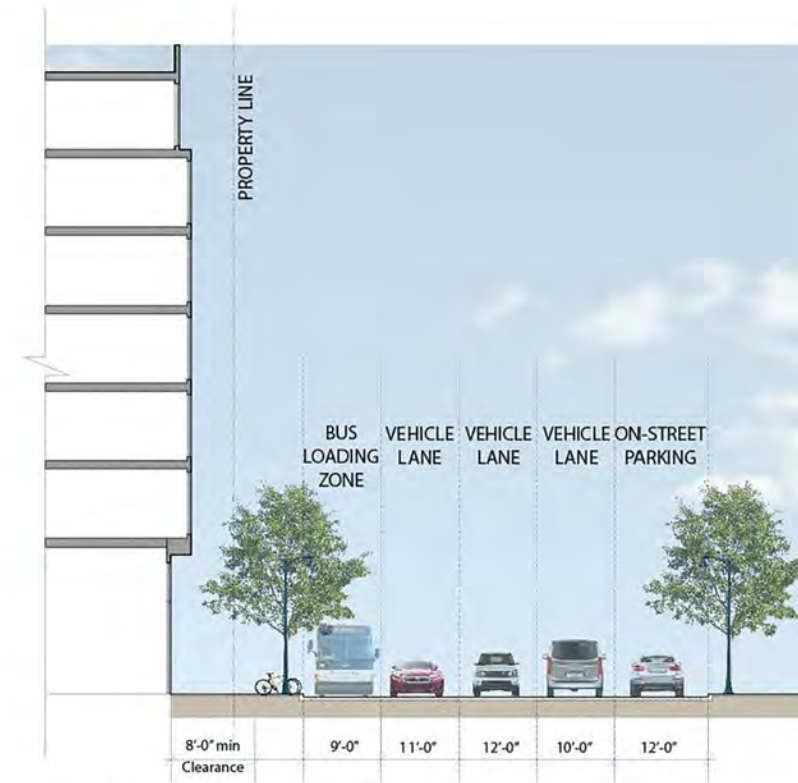
2 7TH STREET EAST SECTION
L1.05 1" = 20'-0"



3 CHESTER STREET SECTION
L1.05 1" = 20'-0"



4 MANDELA PKWY SECTION
L1.05 1" = 20'-0"



5 5TH STREET SECTION
L1.05 1" = 20'-0"



BUILDING T1
FDP PACKAGE

PROJECT

WEST OAKLAND BART
1451 7th St, Oakland, CA 94607



PROJECT TEAM
 BJO BJORNSON
 8075 SUITE 420
 VAN Nuys, CA 91411
 (818) 700-2222
 PGAdesign
 PGAdesign
 1000 17th Street
 Oakland, CA 94612
 (510) 466-0214
 STOK
 948 1st Street
 San Francisco, CA 94111
 (415) 220-7100

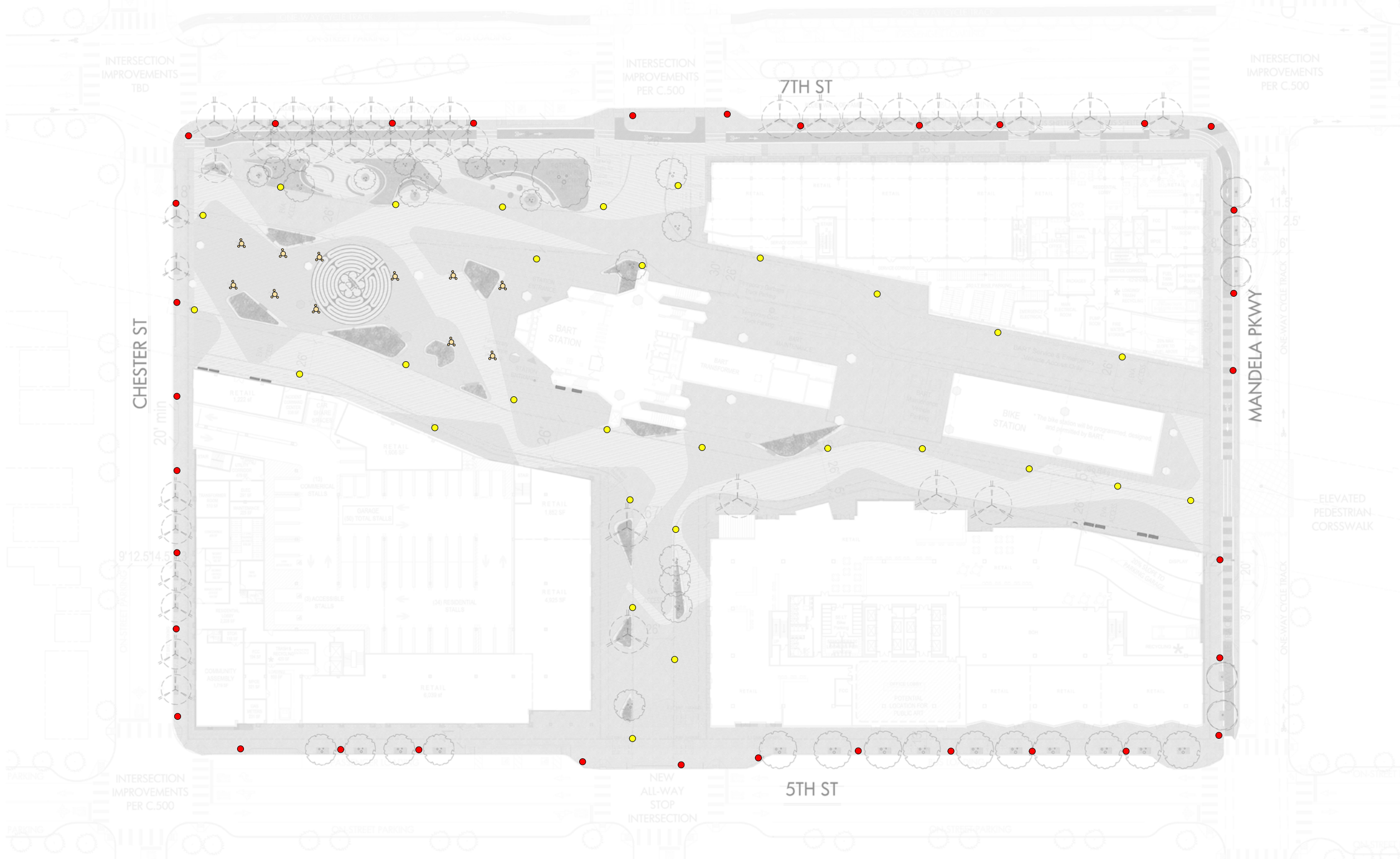
STAMP

KEY

PROJ # 100-150-000-BART
 DATE 06/04/20
 SCALE 1"=20'-0"

TITLE
STREET SECTIONS

SHEET: **L1.05**



LEGEND - LIGHTING PLAN

- AREA LIGHTS FOR PLAZA
- AREA LIGHTS WITH MULTIPLE HEADS FOR EVENT PLAZA
- STREET LIGHTS AS CITY REQUIRED



OWNER
 HEC
 HENSEL PHELPS
 suda
 BUILDING T1
 FDP PACKAGE
 PROJECT
WEST OAKLAND BART
 1451 7th St, Oakland, CA 94607
 ARCHITECT
 jrdv ARCHITECTS
 PROJECT TEAM
 BKF ENGINEERS
 PGA DESIGN
 STOK
 STAMP
 KEY
 PROJ #: 168-153 WO BART
 DATE: 03/26/20
 SCALE: 1"=60' - 0"
 TITLE:
LIGHTING PLAN
 SHEET:
L1.06



PLANTING LEGEND

- | | | |
|---|--|---|
| <p>PLANTING ZONE 1: MANDELA PLAZA ENTRY</p> <ul style="list-style-type: none"> CAREX DIVULSA NANDINA DOMESTICA ALBA 'LEMON-LIME' BERBERIS 'ORANGE ROCKET' IRIS DOUGLASIANA 'CANYON SNOW' MUHLENBERGIA DUBIA 'PINE MUHLY' PITTOSPORUM TOBIRA 'MOJO' PHORMIUM 'YELLOW WAVE' CORDYLINA 'DESIGN-A LINE' DIGIPLIXIS ILLUMINATION 'APRICOT' | <p>PLANTING ZONE 2: SHADE TOLERANT PLANTS BELOW BART TRACKS</p> <ul style="list-style-type: none"> MAHONIA 'SOFT CARESS' MUHLENBERGIA DUBIA 'PINE MUHLY' BLECHNUM SPICANT 'DEER FERN' HELLEBORUS ARGUTIFOLIUS WOODWARDIA FIMBRIATA 'GIANT CHAIN FERN' CORDYLINA 'DESIGN-A LINE' EUPHORBIA CHARACIAS SSP. PHORMIUM 'YELLOW WAVE' | <p>PLANTING ZONE 3: SOUTH FACING ALLEY</p> <ul style="list-style-type: none"> CAREX DIVULSA MUHLENBERGIA DUBIA 'PINE MUHLY' IRIS DOUGLASIANA 'CANYON SNOW' MONARDELLA VILLOSA 'RUSSIAN RIVER' SALVIA SPATHACEA 'HUMMINGBIRD SAGE' SALVIA 'DARA'S CHOICE' |
|---|--|---|

PLEASE SEE RELATED IMAGES ON THE NEXT PAGE

OWNER
HEC
 HENSEL PHELPS
 suda
 BUILDING T1
 FDP PACKAGE
 PROJECT

WEST OAKLAND BART
 1451 7th St, Oakland, CA 94607

ARCHITECT
jrdr
 ARCHITECTS

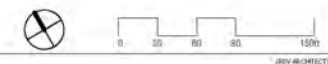
PROJECT TEAM
 CIVIL ENGINEERS: HMR FLORIPOLINA, BLVD, SUITE 400, HAYWARD CREEK, CA 94508, (510) 880-2200
 PLS DESIGN: 244 15th Street, Oakland, CA 94612, (510) 465-1284
 STON: 8489 First Street, San Francisco, CA 94111, (415) 228-7100

STAMP

KEY

PROJ # 198-031 W/O BART
 DATE 05/24/20
 SCALE 1"=60' - 0"
 TITLE **PLANTING ZONE**

SHEET **L1.07**



TREES

STREET TREES



ACER RUBRUM 'ARMSTRONG'



QUERCUS COCCINEA



AFROCARPUS FALCATUS



PISTACIA CHINENSIS

PLAZA TREES



POPULUS DELTOIDES



CHITALPA TASHKENTENSIS



ALBIZIA JULIBRISSIN

SHRUBS & GROUNDCOVER

PLANTING ZONE 1 : ON THE PLAZA



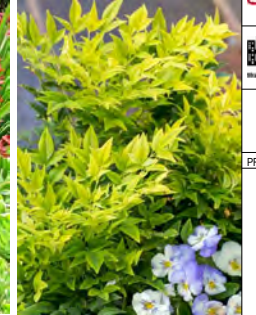
CAREX DIVULSA



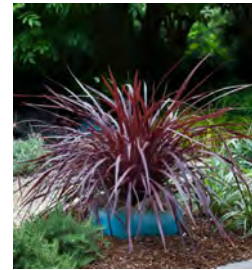
PHORMIUM 'YELLOW WAVE'



BERBERIS 'ORANGE ROCKET' 4'H X 2'W



NANDINA DOMESTICA ALBA 'LEMON-LIME' 4'H X 3'W



CORDYLIN 'DESIGN-A LINE' 3'X3'



PITTIOSPORUM TOBIRA 'MOJO' 3'X3'



DIGIPLEXIS ILLUMINATION 'APRICOT' 2'H X 18"W



IRIS DOUGLASIANA 'CANYON SNOW'



MUHLENBERGIA DUBIA 'PINE MUHLY'

PLANTING ZONE 2 : UNDER THE TRUCK



MAHONIA 'SOFT CARESS' 4'X4'



PHORMIUM 'YELLOW WAVE'



CORDYLIN 'DESIGN-A LINE' 3'X3'



EUPHORBIA CHARACIAS SSP.



BLECHNUM SPICANT 'DEER FERN'



WOODWARDIA FIMBRIATA 'GIANT CHAIN FERN'



HELLEBORUS ARGUTIFOLIUS 3'X3'



MUHLENBERGIA DUBIA 'PINE MUHLY'

PLANTING ZONE 3 : IN THE ALLEY



MUHLENBERGIA DUBIA 'PINE MUHLY'



MONARDELLA VILLOSA 'RUSSIAN RIVER'



IRIS DOUGLASIANA 'CANYON SNOW'



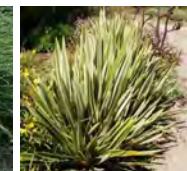
SALVIA SPATHACEA 'HUMMINGBIRD SAGE'



SALVIA "DARA'S CHOICE"



CAREX DIVULSA



PHORMIUM TONY TIGER' 2.5'X2.5

OWNER
 HENSEL PHELPS

BUILDING T1 FDP PACKAGE

PROJECT

WEST OAKLAND BART
 1451 7th St, Oakland, CA 94607

ARCHITECT
 ARCHITECTS

PROJECT TEAM
 BKT ENGINEERS
 1566 K CALIFORNIA BLVD, SUITE 400
 WALNUT CREEK, CA 94599
 (925) 940-2200
 © Robert Perry

PGA DESIGN
 444 17th Street
 Oakland, CA 94612
 (510) 465-1284

STOK
 9426 Front Street
 San Francisco, CA 94111
 (415) 329-7100

STAMP

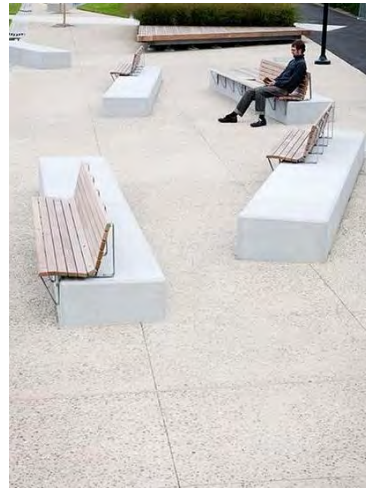
KEY

PROJ #: 168-153 WO BART
 DATE: 06/04/20
 SCALE:
 TITLE:
 LANDSCAPE PLANTS

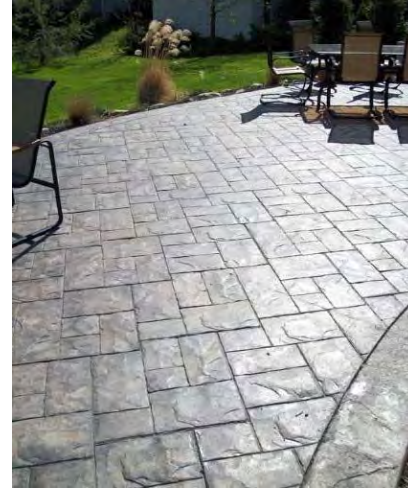
SHEET:
L1.08

JRDV ARCHITECTS INC. COPYRIGHT © 2015. ALL RIGHTS RESERVED.

CAST-IN-PLACE CONCRETE PAVING



COLORED C.I.P w/ SAWCUT BANDING



COLORED C.I.P w/ SAWCUT BANDING



C.I.P w/ SAWCUT BANDING

NOTE: ALL PAVING SHALL BE ADA COMPLIANT AND MINIMIZE UNDULATING AFFECTS WHEN TRAVELING OVER SURFACE

PLANTER WALL



POUR-IN-PLACE CONCRETE WITH SACK FINISH

SITE FEATURES



SLOPED TURF



EVENT PLAZA

SITE FURNITURES



BENCH: MODEL: NEW STANDARD BENCH, MANUFACTURER: STREETLIFE, TEL: 215.247.0148, WEBSITE: <https://www.streetlife.nl/us>



BIKE RACK: MODEL: BOLA BIKE RACK, MANUFACTURER: LANDSCAPEFORMS, TEL: 800.430.6209, WEBSITE: <https://www.landscapeforms.com/en-US>



TRASH BIN: MODEL: CHASE PARK LITTER, MANUFACTURER: LANDSCAPEFORMS, WEBSITE: <https://www.landscapeforms.com/en-US>



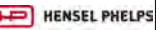
PICNIC TABLE SET: MODEL: GRETCHEN PICNIC TABLE, ADA COMPLIANT STYLE, MANUFACTURER: LANDSCAPE FORMS, TELEPHONE: 800.430.6209, WEBSITE: WWW.LANDSCAPEFORMS.COM



DINING TABLE & CHAIR SET: 21 CHAIR WITH ARMS BY LANDSCAPE FORMS, 4 CHAIRS PER TABLE, CATENA TABLE, 48" DIAMETER, NO UMBRELLA HOLE, ADA COMPLIANT QUAD SUPPORT LEGS, ADJUSTABLE GLIDES. FINISH: LANDSCAPE FORMS PROPRIETARY PANGARD II® POLYESTER POWDERCOAT COLOR: TBD FROM MANUFACTURER'S STANDARD PALETTE MANUFACTURER: LANDSCAPE FORMS, TELEPHONE: 800.430.6209, WEBSITE: WWW.LANDSCAPEFORMS.COM



OWNER



BUILDING T1
FDP PACKAGE

PROJECT

WEST OAKLAND BART
1451 7th St, Oakland, CA 94607

ARCHITECT



PROJECT TEAM



STAMP

KEY

PROJ #: 168-153 WO BART

DATE: 06/04/20

SCALE:

TITLE:

LANDSCAPE MATERIALS

SHEET:

L1.09

STREET LIGHT

Domus Luminaire



Manufacturer(s): Lumec

Catalog #: DM550-HPS-SC3M-5MB-SCITX (Large Domus) DOSHPS-SG3-5MB-SCITX-LMS (Small Domus)

Photometric File: 50105312.ies (Domus DM550, 200-250W) 50206072.ies (Domus DOS, 35-150W)

Application: Domus DM550 - Arterial and/or collector street lighting Domus DOS - Residential street lighting and/or sidewalk side pedestrian lighting

Lamp Type: 35W, 100W, 150W, 250W HPS

Optical System: Type III

Ballast Voltage: Multi-tap 120/240V

Color: Teal Green only

Special Requirements:

Luminaire Cost: \$\$\$

As shown: Domus DOS luminaire w/ 3' arm on 16" octagonal pole.

Color: Teal Green

Location: Coliseum Gardens



Page 19 of 71

PEDESTRIAN ACCENT LIGHT



OVERHEAD CABLE LIGHTS

PEDESTRIAN LIGHTING



PLAZA LIGHTS



landscape lighting

landscape lighting

ALCOTT AREA LIGHT



The Alcott Area Light is a contemporary interpretation of a traditional lantern. Its gently curved form is perfect for a street energy-efficient LED luminaire system with environmental benefits. The Alcott Area Light is constructed with multiple energy-efficient LED directional lighting, reducing light pollution and wasted energy.

General Description

- Offered in 3 standard mounting heights (12', 14' and 16')
- Asymmetrical and symmetrical distribution sizes available
- Mounting hardware and anchor hardware included
- Accurate, complete, installation instructions for installation
- Durable light, 16' standard (14' and 12' optional)
- UL Listed, 16' standard (14' and 12' optional)

Electrical

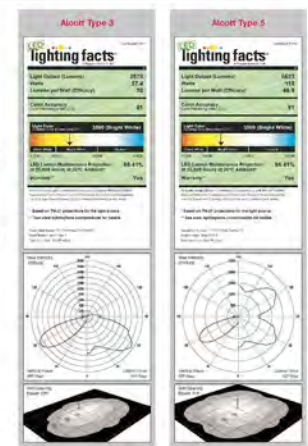
Single pole, 100V-277V (100V) HPS, LED 0-10V dimmer (100V) required with LED luminaire. LED luminaire with ballast of LED luminaire. Includes: 16' standard (14' and 12' optional), 16' standard (14' and 12' optional), 16' standard (14' and 12' optional).

Alcott Type 3

Task 3 (16' standard) 16' standard (14' and 12' optional) and 16' standard (14' and 12' optional) with ballast. Includes: 16' standard (14' and 12' optional), 16' standard (14' and 12' optional), 16' standard (14' and 12' optional).

Alcott Type 5

Task 5 (16' standard) 16' standard (14' and 12' optional) and 16' standard (14' and 12' optional) with ballast. Includes: 16' standard (14' and 12' optional), 16' standard (14' and 12' optional), 16' standard (14' and 12' optional).



ALCOTT AREA LIGHT



Finish

Finish: Powder Coated Steel (16' standard), 16' standard (14' and 12' optional), 16' standard (14' and 12' optional).

To Order

Product	Lamp	Mounting	Color	Height	Weight
AC	100W (HPS)	16' (16')	Teal Green	16'	112 lbs
AC	150W (HPS)	16' (16')	Teal Green	16'	112 lbs
AC	250W (HPS)	16' (16')	Teal Green	16'	112 lbs

Product Modifications

Can't see what you are looking for? Our goal is to ensure you get the product you need. Please contact us for more information.

Warranty

1 Year Limited Warranty

Alcott is designed by Robert A.M. Stone Architects

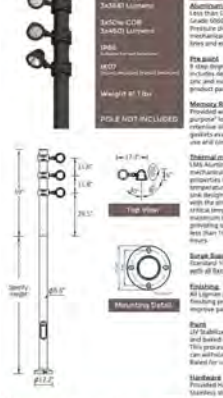


Visit www.ligman.com for more information. Specifications are subject to change without notice.

UNDERTRACK LIGHTING

UZA-20001

Zaab 2 Single Side Cluster Column



LIGMAN LIGHTING USA

Adjustable surface spotlight family. Control, adjust, upgrade, range with a wealth of options and accessories.

Construction: Anodized Aluminum, 16' standard (14' and 12' optional) and 16' standard (14' and 12' optional) with ballast. Includes: 16' standard (14' and 12' optional), 16' standard (14' and 12' optional), 16' standard (14' and 12' optional).

Adjustable surface spotlight family. Control, adjust, upgrade, range with a wealth of options and accessories.

Construction: Anodized Aluminum, 16' standard (14' and 12' optional) and 16' standard (14' and 12' optional) with ballast. Includes: 16' standard (14' and 12' optional), 16' standard (14' and 12' optional), 16' standard (14' and 12' optional).

Adjustable surface spotlight family. Control, adjust, upgrade, range with a wealth of options and accessories.

Construction: Anodized Aluminum, 16' standard (14' and 12' optional) and 16' standard (14' and 12' optional) with ballast. Includes: 16' standard (14' and 12' optional), 16' standard (14' and 12' optional), 16' standard (14' and 12' optional).



OWNER: **HEC** HENSEL PHELPS

suda Strategic Urban Development Solutions, LLC

BUILDING T1 FDP PACKAGE

PROJECT

WEST OAKLAND BART
1451 7th St, Oakland, CA 94607

ARCHITECT: **jrdrv** ARCHITECTS

PROJECT TEAM: **BKF ENGINEERS**, **BKT 100**, **PGA DESIGN**, **PGAdesign**, **stok**

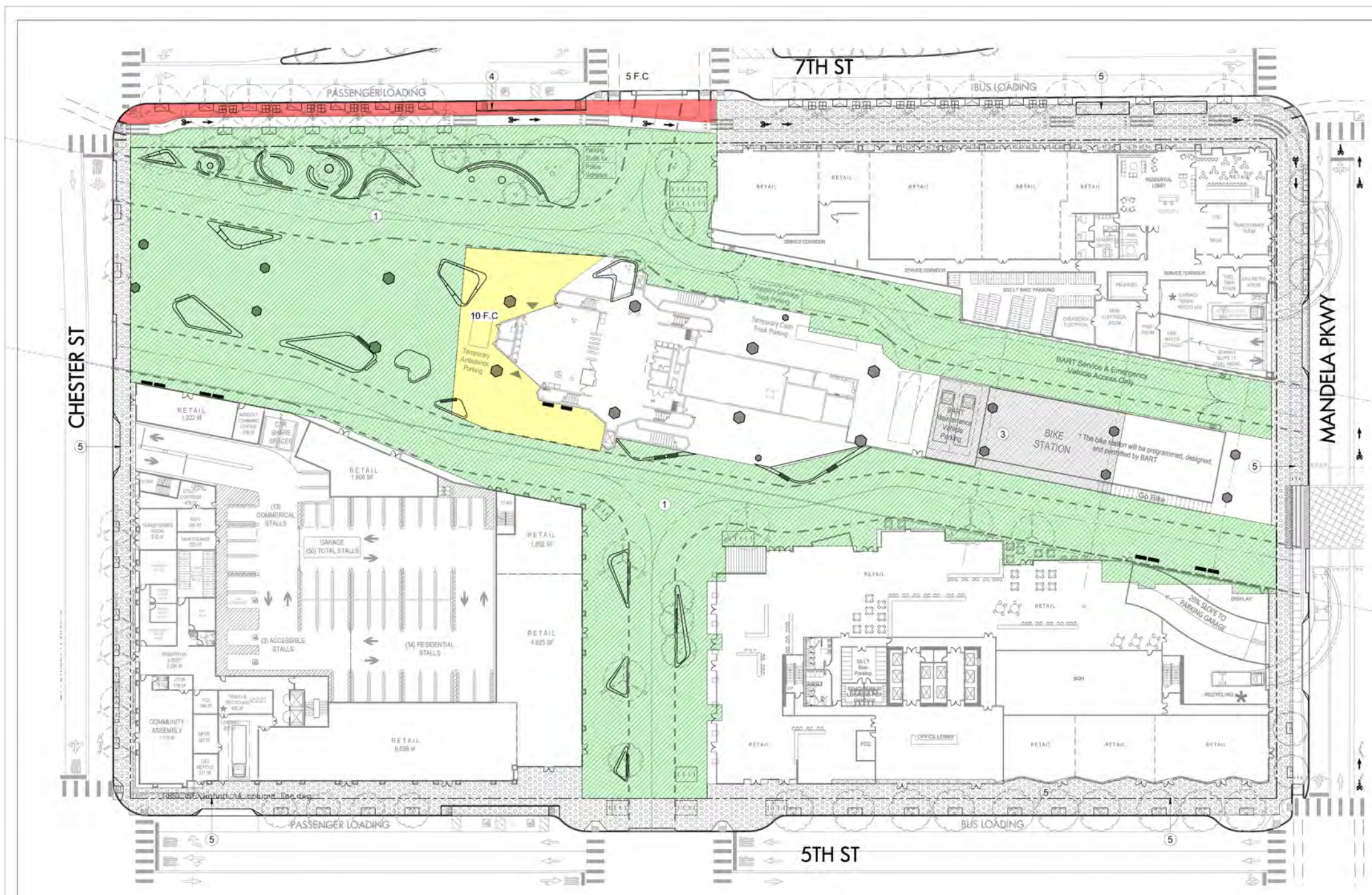
STAMP

KEY

PROJ #: 168-153 WO BART
DATE: 06/04/20
SCALE:
TITLE: LIGHTING IMAGES

SHEET: L1.10

JRDV ARCHITECTS INC. COPYRIGHT © 2015. ALL RIGHTS RESERVED.



STAMP

KEY

LIGHTING PHOTOMETRIC GOALS

AREA	FOOT CANDLE	LIGHT TYPE	CONTROLS
1. PEDESTRIAN WALKWAY	2 MIN	LED	POWER-LINE CARRIER TECHNOLOGY
2. EXTERIOR PATRON WAITING AREA	10	LED	DIMMABLE, TO REDUCE CONTRAST
3. BIKE LOCKER AREA	10	LED	SAME AS SURROUNDING SPACE
4. LOADING, UNLOADING, KISS-AND-RIDE AREAS, AND PEDESTRIAN WALKWAYS	5	LED	PHOTOCELL AND POWER-LINE CARRIER TECHNOLOGY OR WIRELESS CONTROL
5. OTHER EXTERIOR SPACES	1.25	LED	POWER-LINE CARRIER





1 - Mandela Plaza Center Street Entrance



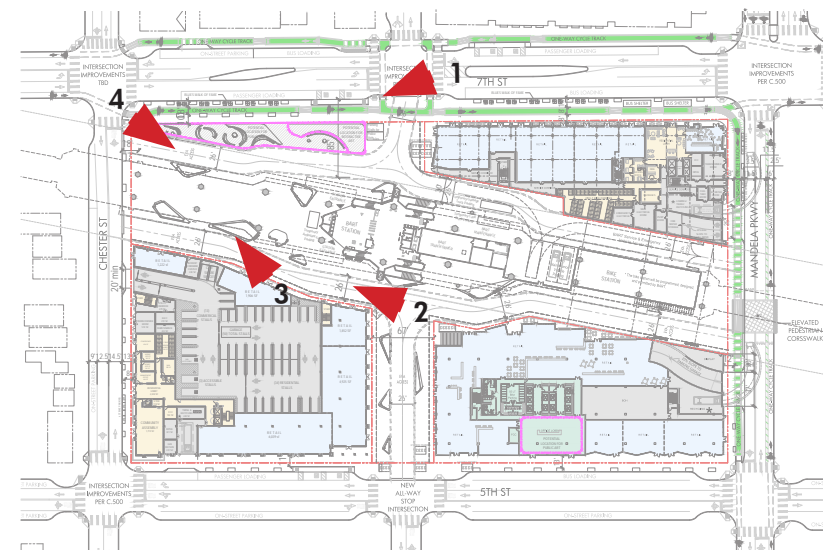
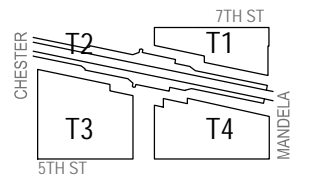
2 - Artwalk from Center Street

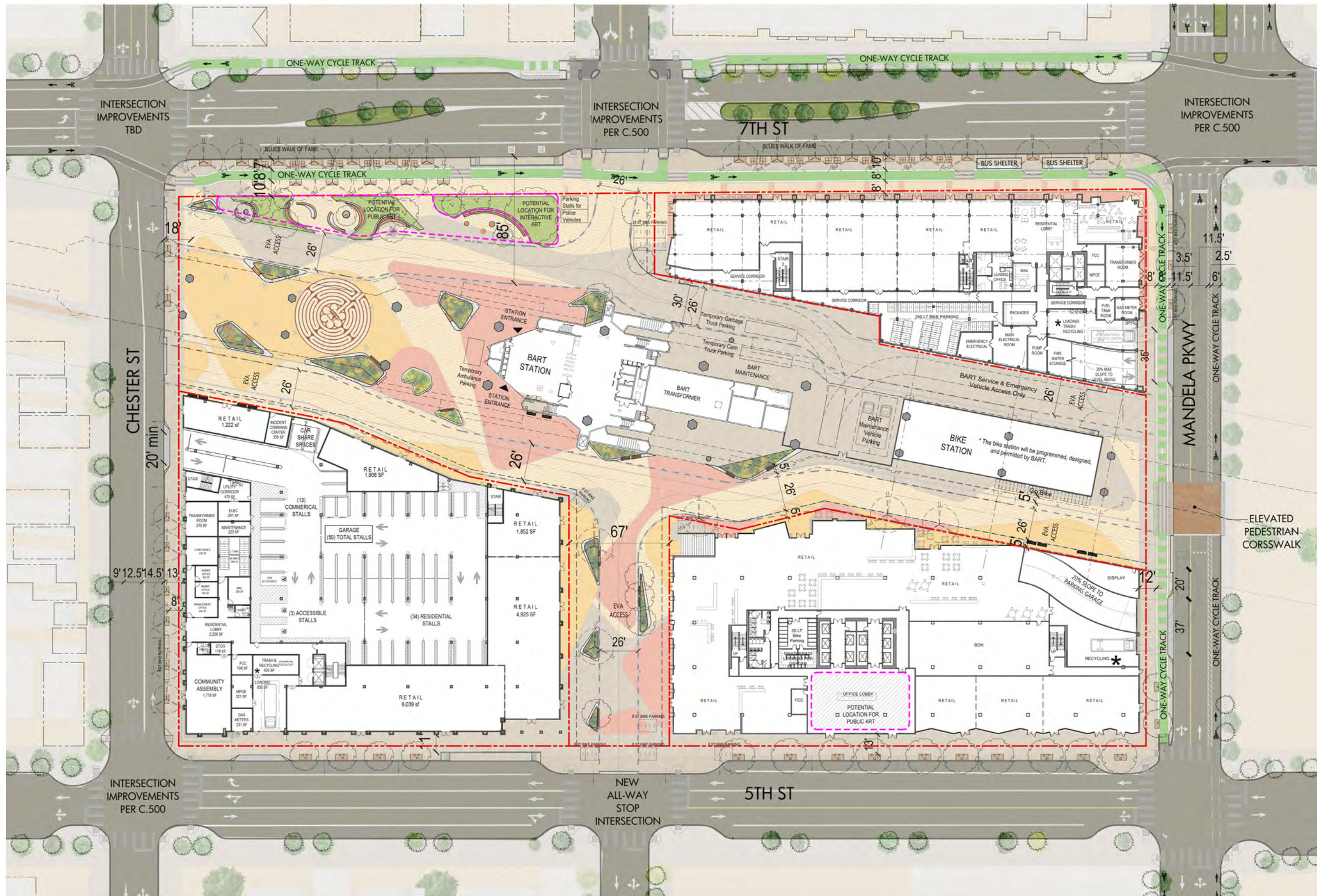


3 - Undertrack Plaza from Artwalk

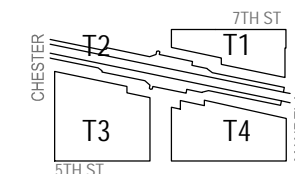


4 - Mandela Plaza Chester Street Entrance and Blues Walk of Fame





**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



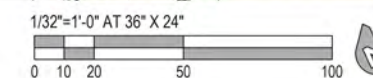
PROJ. # 168-153 WO BART
DATE: July 24, 2020

SITE PLAN

SHEET:

A-9.01

The recycling space on T1 site is 1,150 cubic feet minimum, on T3 site is 510 cubic feet minimum, and on T4 site is 647 cubic feet minimum. The total recycling space on site is 2,307 cubic feet minimum.



Public Space Design

Public Space Improvements:

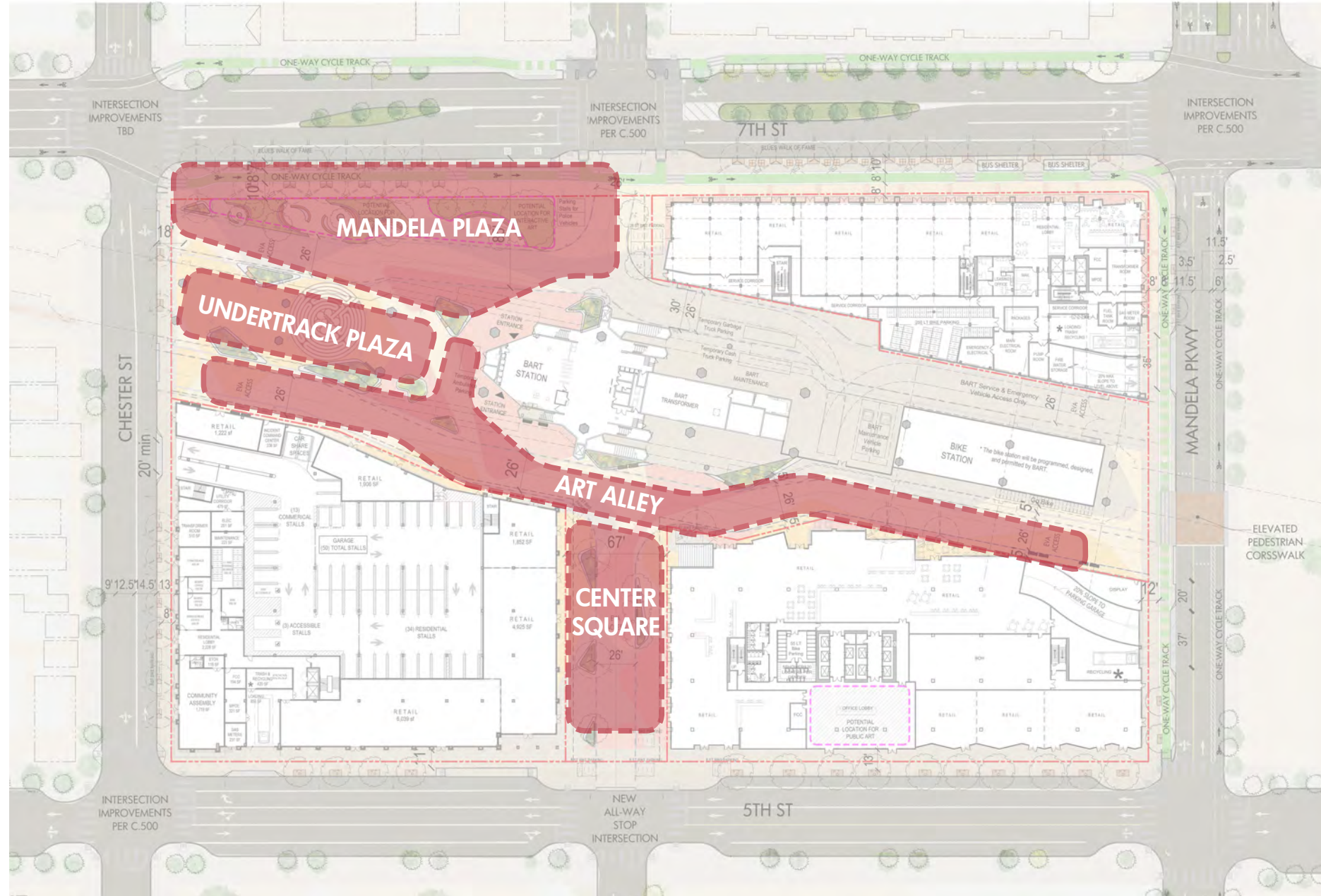
The public spaces for the Mandela Station site are designed to reinforce the vibrant mixed-use development that furthers Oakland’s efforts to promote urban living at key transit sites, and provides an active and delightful center for the West Oakland community.

The site is designed with a series of important civic open spaces, including:

- **Mandela Plaza**, a major community civic plaza at 7th Street fronting BART Station entrance. This plaza is designed with varied paving and green spaces. It is designed with a delightful series of sculptural seating areas arranged to promote community interaction – a “Living Room” for the residents and surrounding neighborhood.
- **Center Square**, a pedestrian plaza replacing the vacated Center Street. This plaza is focused on providing food related tenants along T3 and T4, and will be designed with fixed and permanent seating to become a destination food hub for the neighborhood, BART patrons and the on-site residents.

- **Art Alley**, a pedestrian paseo that activates the area south of the BART tracks. This area is lined with small gallery spaces and will have a expansive “art wall” along the north façade of T3 framing the alley space.

- **Undertrack Area**, a flexible event space that will provide a venue for the programs that activate Mandela Plaza and Art Alley. The under track will feature movable food kiosks, pop-up events, farmers markets, art fairs, live music and other programmed events that will help make Mandela Station a destination location.



Hardscape and Green-scape Design: Landscape plan is designed to enhance the pedestrian public spaces, and to create a high quality of pedestrian experience and civic prominence. The existing trees will be replaced because of conflicts with the access plan. The new tree planting complements the overall landscape strategy of the 7th and 5th Street corridors to ensure a continuous, interesting and varied visual experience.

Landscape Materials: The landscape materials are designed with pavers or stamped concrete and other decorative materials to create a high quality public pedestrian experience and to maximize the types of uses that can occur on site. The landscape is designed to become a catalyst to a larger vision for the 7th Street corridor. The new tree planting complements the overall landscape strategy of the 7th Street corridor to ensure a continuous, interesting and varied visual experience.

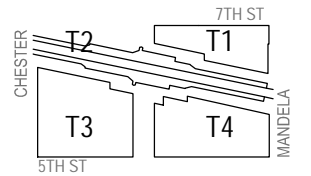
Site Lighting: The Lighting plan is designed to create well lit plazas and pedestrian pathways through the site. The visual security of all pedestrian spaces within the site is facilitated by locating retail and other public activities along all edges of the development. The landscape plan provides adequate lighting to provide a safe environment while conforming to current best practices to mitigate light pollution.



MANDELA STATION
@WEST OAKLAND

BART

1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

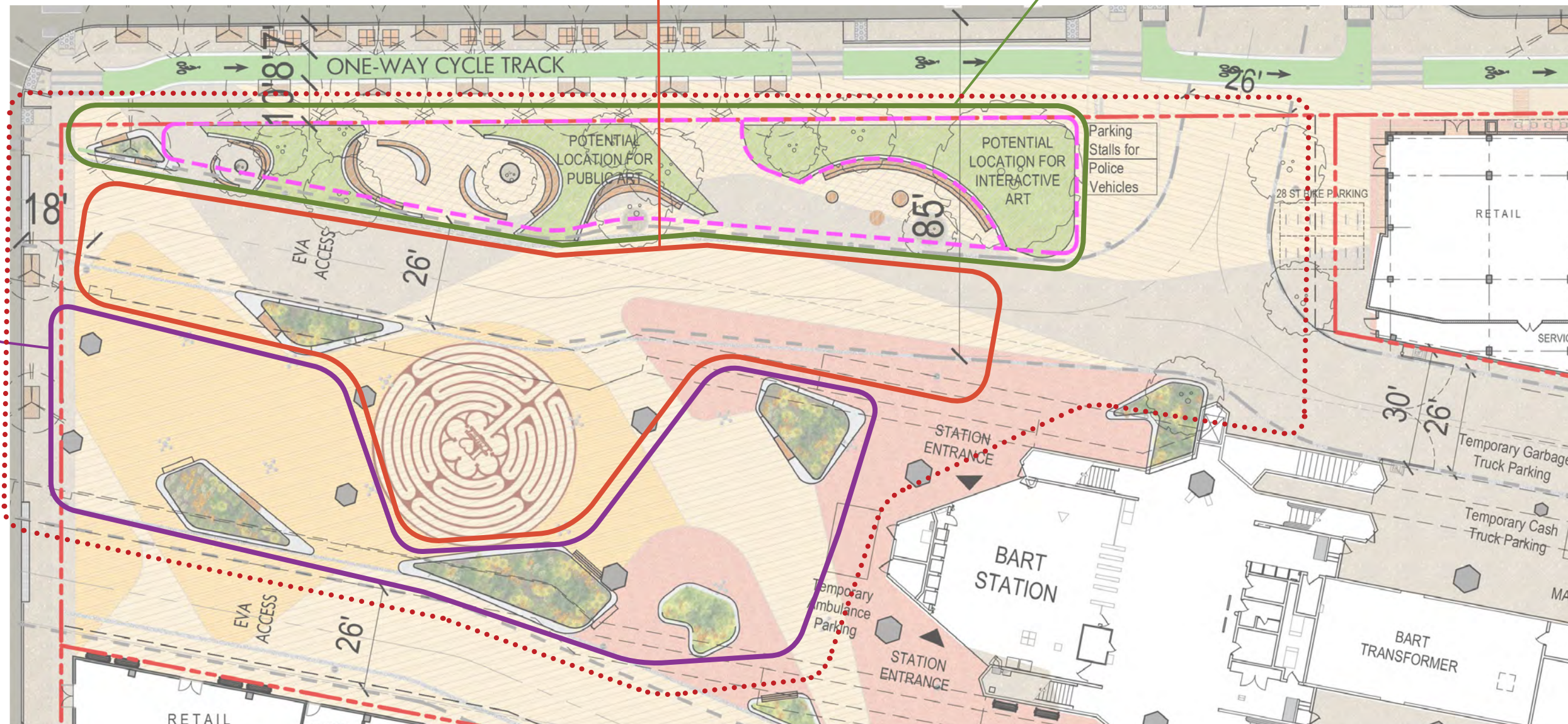
DATE: July 24, 2020

PUBLIC SPACE
IMPROVEMENT:
PUBLIC SPACE
DESIGN

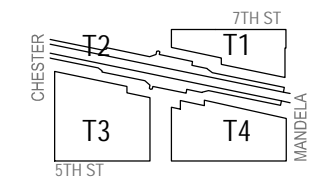
SHEET:

A-9.01

Mandela Plaza



MANDELA STATION
@WEST OAKLAND
BART
 1451 7th St, Oakland,
 CA 94607



JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com

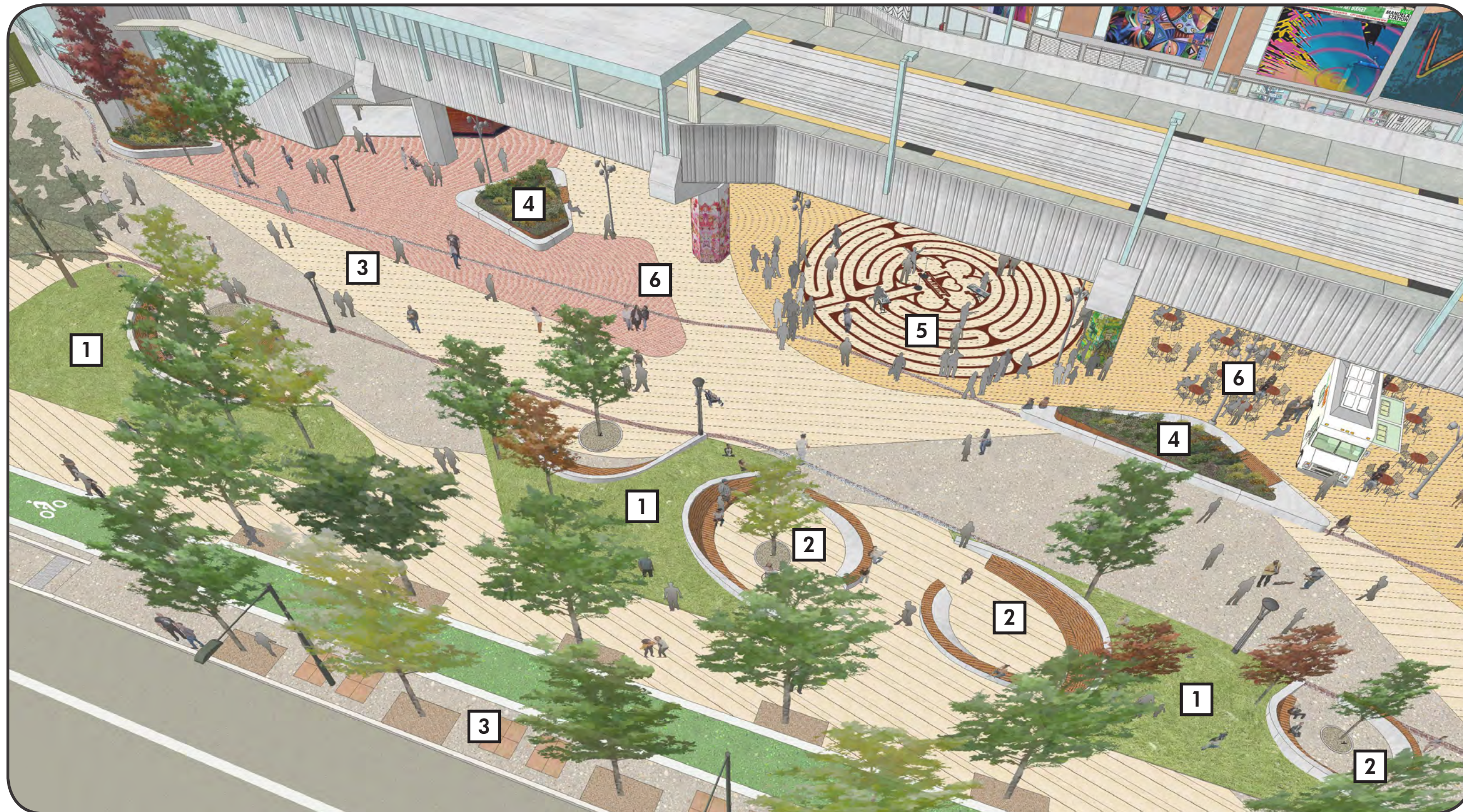


PROJ. # 168-153 WO BART
 DATE: July 24, 2020

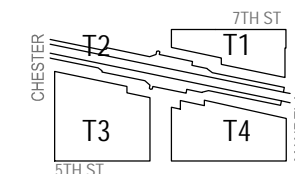
PUBLIC SPACE
IMPROVEMENT:
MANDELA PLAZA

SHEET:
A-9.02

Note: Undertrack painting is optional pending BART's approval.



MANDELA STATION
@WEST OAKLAND
BART
 1451 7th St, Oakland,
 CA 94607



JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com

PROJ. # 168-153 WO BART
 DATE: July 24, 2020

**PUBLIC SPACE
 IMPROVEMENT:
 MANDELA PLAZA**

SHEET:
A-9.03

Mandela Plaza Features

- 1** **SCULPTED BERMS** - Artificial turf berms to promote informal seating and interactive play options for a wide range of age groups.
- 2** **OUTDOOR 'LIVING ROOMS'** - Nodes framed with integral bench seating for small gatherings.
- 3** **BLUES WALK OF FAME** - Relocated plaques cast into 7th Street sidewalk paving north of Mandela Plaza and the T1 building.
- 4** **BENCH PLANTERS** - Concrete planters with consistent, bench-height edge to provide fixed seating option for plaza events.
- 5** **MAZE STRIPING** - Maze for public interaction. This open space is flexible for performances and other event activities.
- 6** **ADDITIONAL OPEN SPACE** - Framed open space for food trucks, outdoor dining, and other temporary programming.

Public Space Programming and Activation

The Developer will provide regular programming in the public plazas of the proposed Mandela Station at West Oakland BART Station as required in the Conditions of Approval (COA #66) approved on February 6, 2019 by the City of Oakland Planning Commission. The purpose of the programming is to provide future BART riders, project-site residents, shoppers and workers, and the larger community of West Oakland with excellent opportunities to relax and enjoy as well as providing local businesses and non-profits to financially support themselves and promote their services and products.

Programmed events may include:

1. Concert events will be held on a monthly schedule in co-operation with the Developer and local non-profit Zoo Labs among others. Zoo Labs empowers music artists as leaders and directs resources toward their ventures.
2. Farmers Market events will be held monthly in collaboration with the Mandela Grocery Cooperative, a worker-owned grocery store that provides nourishing foods and enhanced opportunities for food vendors, including the Freedom Farmers Market weekly from July to November.
3. Local vendor Pop-Ups events will be held monthly and co-sponsored by PopUp Village. Popupvillage.org features opportunities including:
 - Arts and Culture classes and exhibits
 - Food & Agriculture
 - Health & wellness
 - Youth Activities
 - Highlights local retail vendors
 - Performers of music, dance, spoken word
 - Education
 - These are a few of the collaborator of existing programs on 7th Street that as developers we intend to support and expand in collaboration with these organizations.

All program schedules and events will be advertised widely using: BART Station Public Information System, the networks of organizations that participated in the West Oakland Advisory Committee process and the local media outlets.



Community Art Fair



Local Farmers Market



Undertrack Program Events



Food Truck Events



Undertrack Program Events



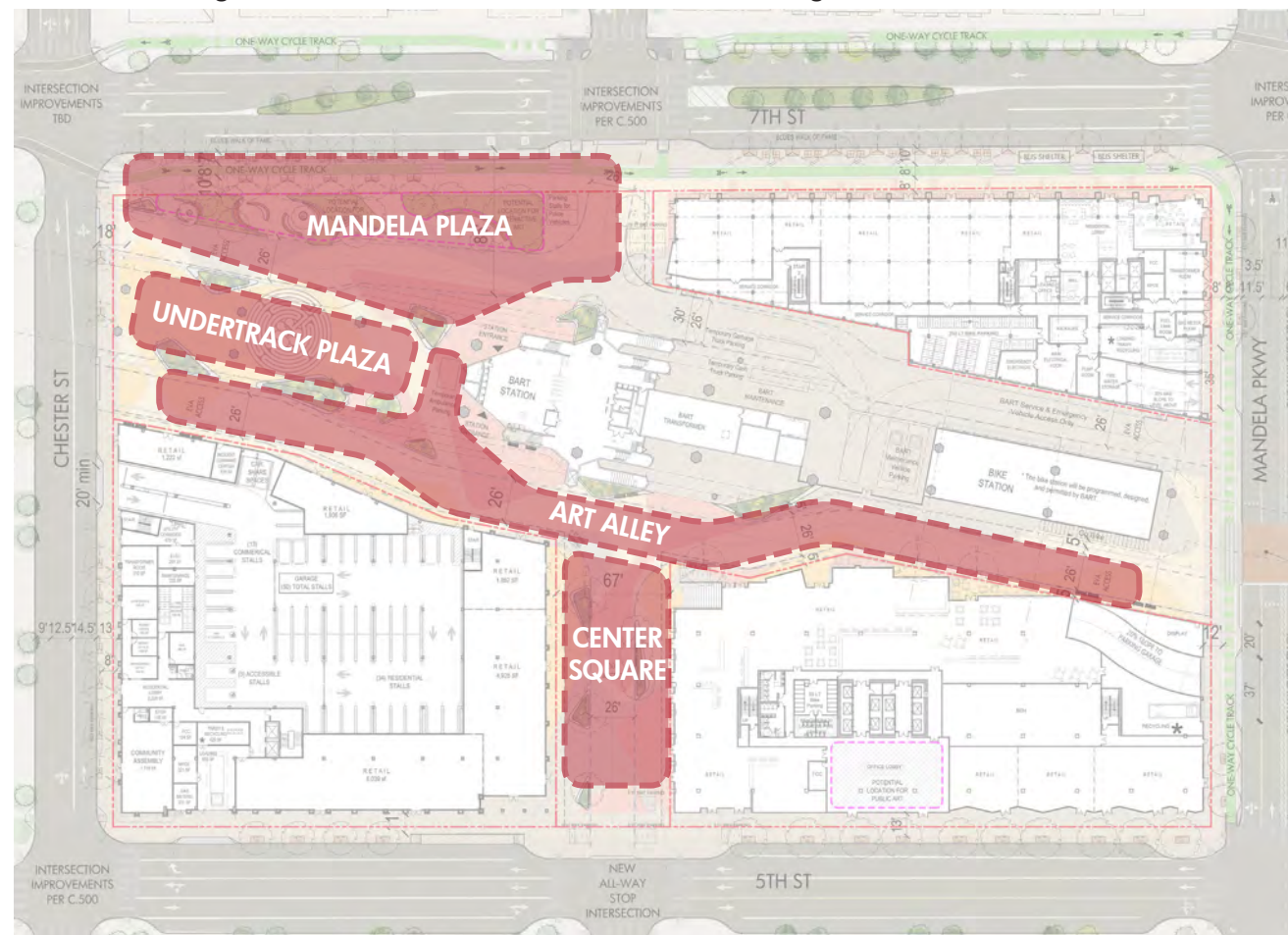
Undertrack Program Events



Food Truck Events



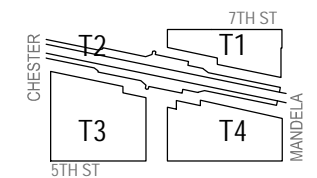
Sunday Music Show



Public Open Space Map



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: July 24, 2020

EVENT SPACE PROGRAM

SHEET:

A-9.04

Under Track Strategy

The Under-Track area is designed to integrate with both Mandela Plaza on 7th Street and Art Alley to the south. These combination of these spaces are planned to be programmed and perceived both separately and as linked spaces.

Programmed Activation. Under-Track area is designed as a flexible and activated space that will support food kiosks, exhibits and a wide range of staged events. The physical space of the Under-Track area serves these programmed activities by creating a defined space with high “ceiling” and significant scale, that is visually connected to the surrounding Public Spaces. The space also functions as an interesting urban plaza when no events are staged. It becomes an delightful and safe passage through the site.

Landscape Paving. The paving patterns are designed to define the space and encourage pedestrians to flow through the space. The variety of paving materials is designed to reduce the scale of the space, by implying nodes and clusters that can contain smaller groups or events. The paving pattern and variety of materials will also create a visually interesting plaza surface that does not require any activation or events.

Seating. Seating is provided with a combination of fixed-seating that is integrated into the planters. And, movable café-seating and tables to be placed and managed by specific events. The goal is to promote this space as both safe pedestrian passage through the site, and as a place to rest or participate in a planned event. The number of movable seats will be managed by the client and will respond to the actual demand.

Lighting. The lighting of the Under-Track area is designed to provide a high level of ambient light and “decorative” feature lighting. The ambient light is provided by a double row of 10’high light standards with a fixture that provide directional up-lighting and ground-lighting. Feature lighting will be provided with either fixtures attached to the BART structure, or fixtures attached to the light standards. This lighting will provide changeable artistically colored lighting that creates a powerful night presence that extends to the plaza and 7th Street. Lighting levels are designed to ensure visual safety for this space at all times.

Decorative Surface Painting. The columns of the BART structure may be painted with a surface graphic that is colorful and visually animates the space. This painted surface will create a delightful backdrop that will enhance the space for events and for the enjoyment of the public.

Note: Undertrack painting is optional pending BART’s approval.



1 - From BART Station North Entrance



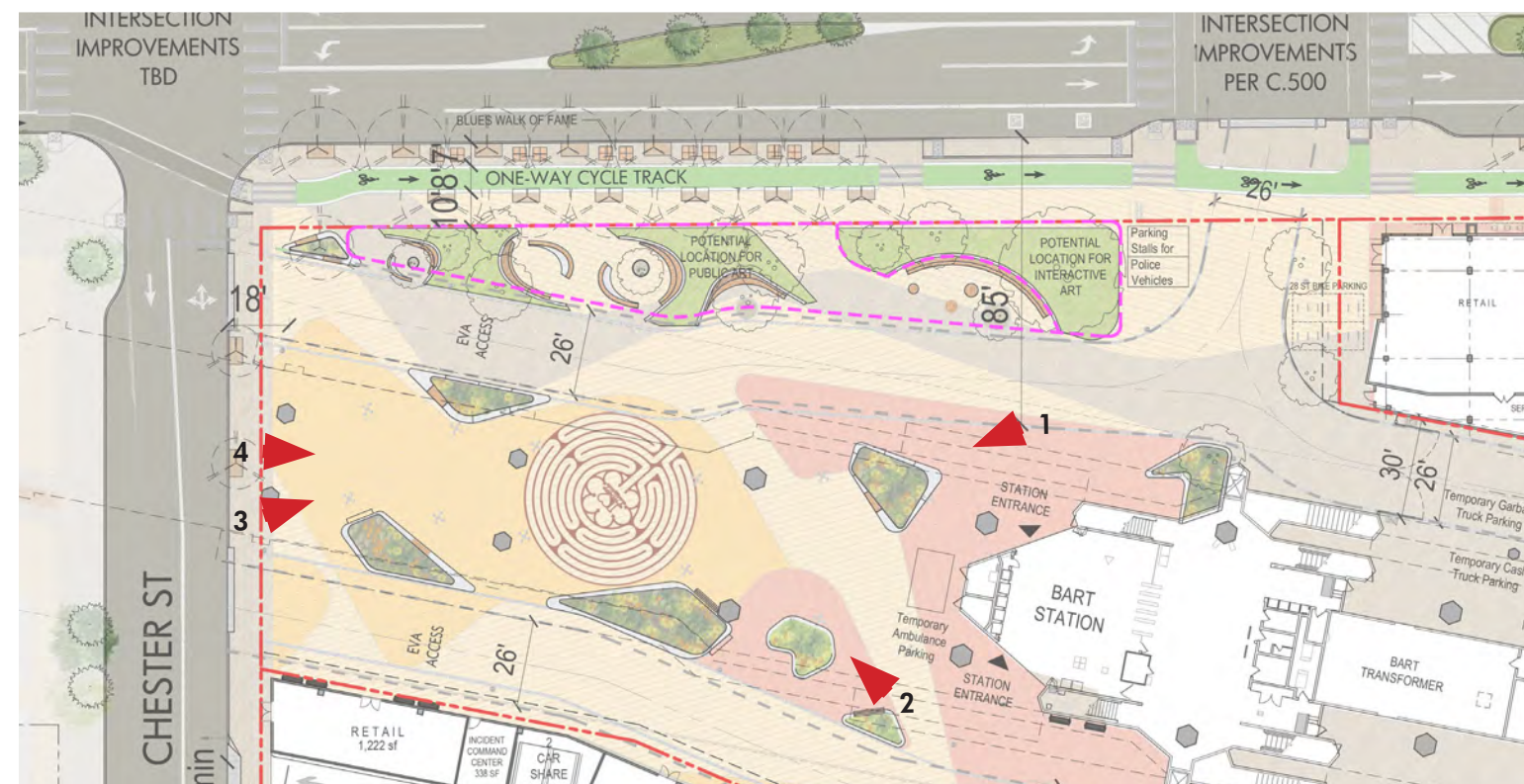
2 - From Art Walk



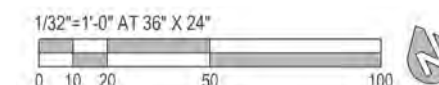
3 - From Mandela Plaza



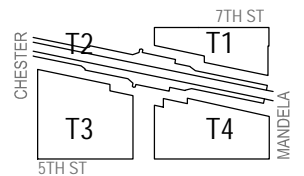
4 - From Under Track Plaza



Partial Site Plan



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

**UNDER TRACK
SPACE**

SHEET:

A-9.05

Under-Track Activation



Farmers Markets



Food Trucks and Mobile Enterprise



Music and Staged Events



Off The Grid Events



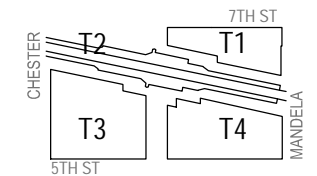
Night Markets



Art Fairs and Pop-up Events



MANDELA STATION
@WEST OAKLAND
BART
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: July 24, 2020

UNDER TRACK
SPACE

SHEET:

A-9.07

Mandela Plaza - Community Civic Space:

This urban plaza creates a major community civic plaza at 7th Street fronting BART Station entrance. It is designed with a delightful series of sculptural seating and green-berm areas arranged to promote community use – a “Living Room” for the residents and surrounding neighborhood. The plaza provides access to the BART station, and also celebrates the civic importance of this site in the community. This plaza is located centrally to the overall site in order to increase its public importance, public access, and public use for community, arts and cultural events. This central plaza is designed to enhance the 7th Street corridor activation and overall public experience.

This plaza is designed with varied paving and green spaces. The Landscape plan is designed to complement the importance and use of the space by the neighborhood and residents on site. The arced cluster seating and green berms along 7th Street create a welcoming pedestrian and community experience.

The new tree planting complements the overall landscape strategy of the 7th Street corridor to ensure a continuous, interesting and varied visual experience. Paving materials are quality pavers or stamped colored concrete and are aesthetically designed to differentiate unique spaces within the pedestrian plazas, promote visual access to the BART station entrance, and to create opportunities for cultural, community and arts events. The landscape plan is designed to create a delightful destination for the West Oakland community and users of the transit hub.



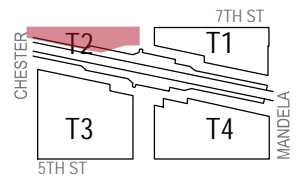
VIEW FROM 7TH STREET



VIEW FROM 7TH STREET



MANDELA STATION
@WEST OAKLAND
BART
 1451 7th St, Oakland,
 CA 94607



JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com



PROJ. # 168-153 WO BART
 DATE: July 24, 2020

MANDELA PLAZA

SHEET:

A-9.08



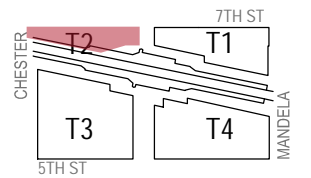
VIEW OF BART ENTRANCE AT 7TH STREET



VIEW FROM CHESTER STREET



MANDELA STATION
 @WEST OAKLAND
 BART
 1451 7th St, Oakland,
 CA 94607



JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com



PROJ. # 168-153 WO BART
 DATE: July 24, 2020

MANDELA PLAZA

SHEET:

A-9.09



VIEW FROM 7TH STREET



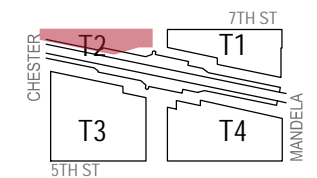
VIEW FROM 7TH STREET



VIEW OF 7TH STREET SIDEWALK AND LANDSCAPED BERM



MANDELA STATION
@WEST OAKLAND
BART
 1451 7th St, Oakland,
 CA 94607



JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com



PROJ. # 168-153 WO BART
 DATE: July 24, 2020

MANDELA PLAZA

SHEET:

A-9.10



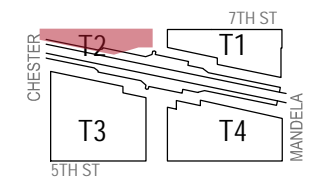
VIEW FROM 7TH STREET



VIEW OF MANDELA PLAZA



MANDELA STATION
@WEST OAKLAND
BART
 1451 7th St, Oakland,
 CA 94607



JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com



PROJ. # 168-153 WO BART
 DATE: July 24, 2020

MANDELA PLAZA

SHEET:

A-9.11

Art Alley

Art Alley: The mid-block passage south of the BART trackway has been designed as an activated pedestrian paseo. This area is lined will have a expansive “art wall” along the north façade of T3 framing the alley space. Along the Art Alley at T3 will be the Art Wall management offices and shop.

Buildings are set back to provide both adequate emergency vehicle access and to create a delightful and activated pedestrian passage through the site to the BART station. The space is lined with public uses that activate the space, including the Under-Track programmed space and the bike station.

Landscape Materials: The landscape materials are designed with pavers or stamped colored concrete and other materials to create a high quality public pedestrian experience and to enhance the pedestrian experience of circulating through the site and to the BART station.

Site Lighting: The Lighting plan has been designed to create well lit plazas and pedestrian pathways through the site. The visual security of all pedestrian spaces within the site is also facilitated by locating well-lit retail and other public activities along all edges of the development. The landscape lighting complements the overall concept to provide a safe environment while conforming to current best practices to mitigate light pollution.



VIEW FROM CHESTER STREET



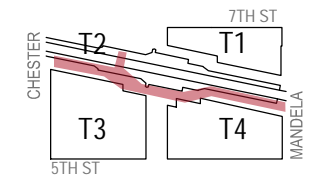
VIEW AT CENTER SQUARE



VIEW FROM MANDELA PARKWAY



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: July 24, 2020

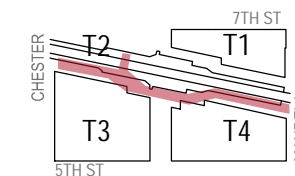
ART ALLEY

SHEET:

A-9.13



MANDELA STATION
 @WEST OAKLAND
 BART
 1451 7th St, Oakland,
 CA 94607



JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com



PROJ. # 168-153 WO BART
 DATE: July 24, 2020

ART ALLEY

SHEET:
 A-9.14

Center Square

Center Square: The vacated Center Street has been transformed into an active urban destination for the neighborhood. This space is both an important pedestrian connection to the BART station and a significant public plaza for the surrounding community. It is lined with a wide variety of local food offerings that showcase the cultural and ethnic diversity of West Oakland. The space creates an inviting place for the neighborhood to shop, dine, and relish a quality community experience.

The landscape materials are designed with high quality paver, brick, finished concrete and other materials to create a high quality public pedestrian experience and to maximize the types of uses that can occur on site.

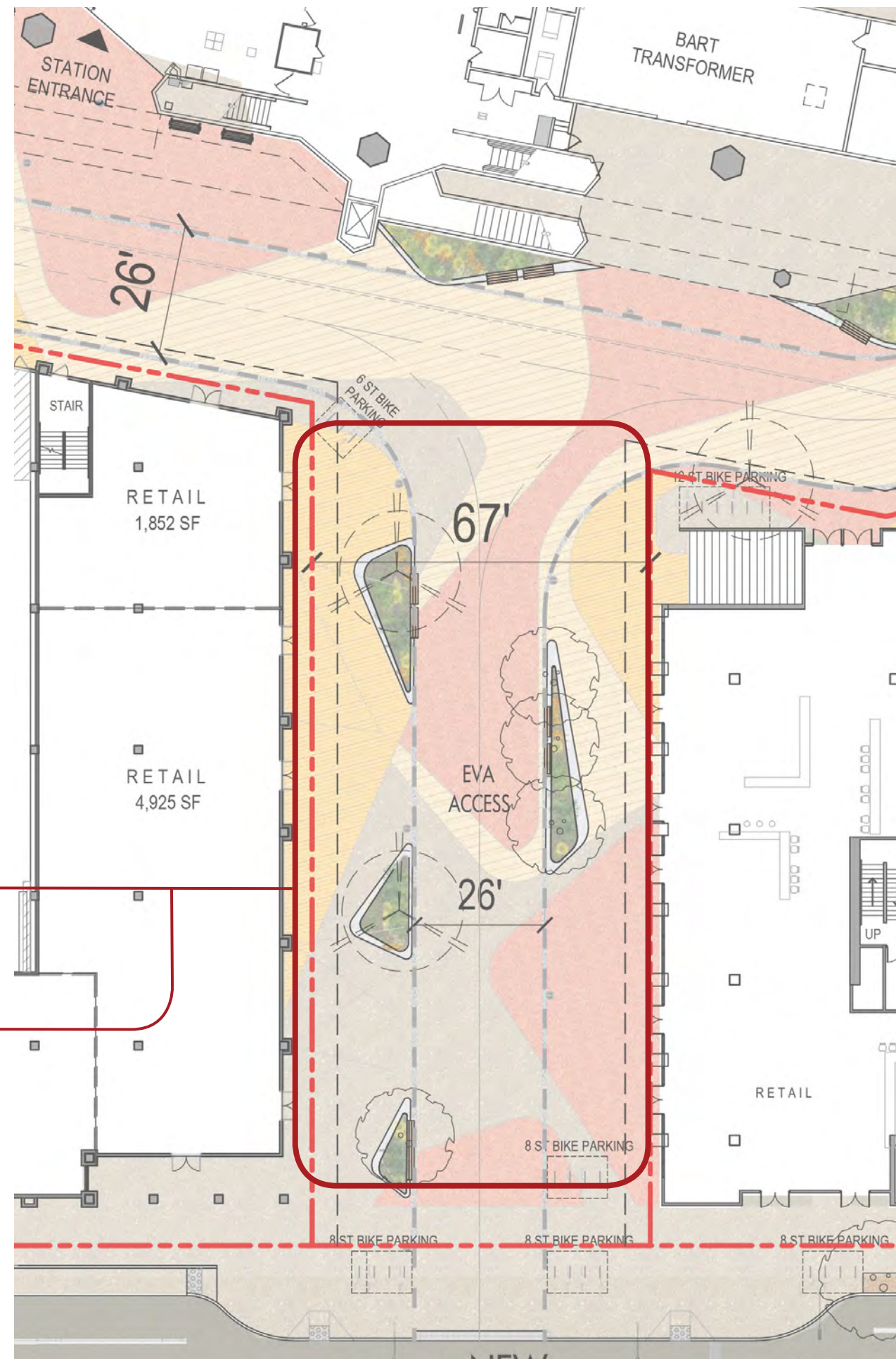
Site Lighting: The Lighting plan has been designed to create a well lit space that connects BART to 5th Street. The visual security of pedestrians within this space is facilitated by locating retail and other public activities along all edges of the development. The landscape plan is designed with adequate lighting to provide a safe environment while conforming to current best practices to mitigate light pollution.



Evening Food Festivals

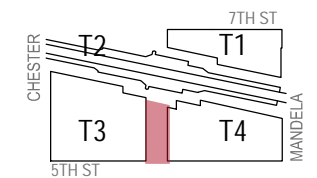


Neighborhood Food Destination



MANDELA STATION
@WEST OAKLAND

BART
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

CENTER
SQUARE

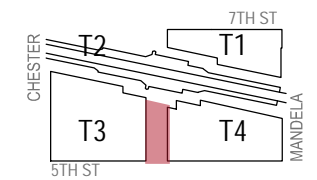
SHEET: A-9.15



BIRDSEYE OF CENTER SQUARE



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

**CENTER
SQUARE**

SHEET:

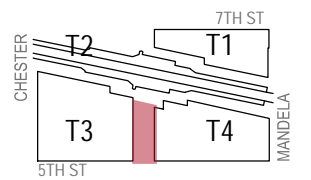
A-9.16



VIEW OF CENTER SQUARE



MANDELA STATION
 @WEST OAKLAND
 BART
 1451 7th St, Oakland,
 CA 94607



JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com



PROJ. # 168-153 WO BART
 DATE: July 24, 2020

CENTER SQUARE

SHEET: A-9.17



VIEW FROM 5TH STREET



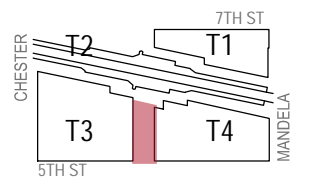
VIEW OF CENTER SQUARE



MANDELA STATION
@WEST OAKLAND

BART

1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

CENTER
SQUARE

SHEET:

A-9.18



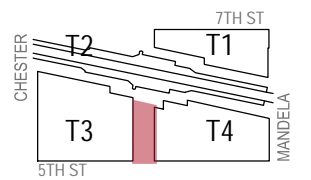
VIEW OF EXTERIOR STAIR



VIEW OF ART ALLEY FROM CENTER SQUARE



MANDELA STATION
@WEST OAKLAND
BART
 1451 7th St, Oakland,
 CA 94607



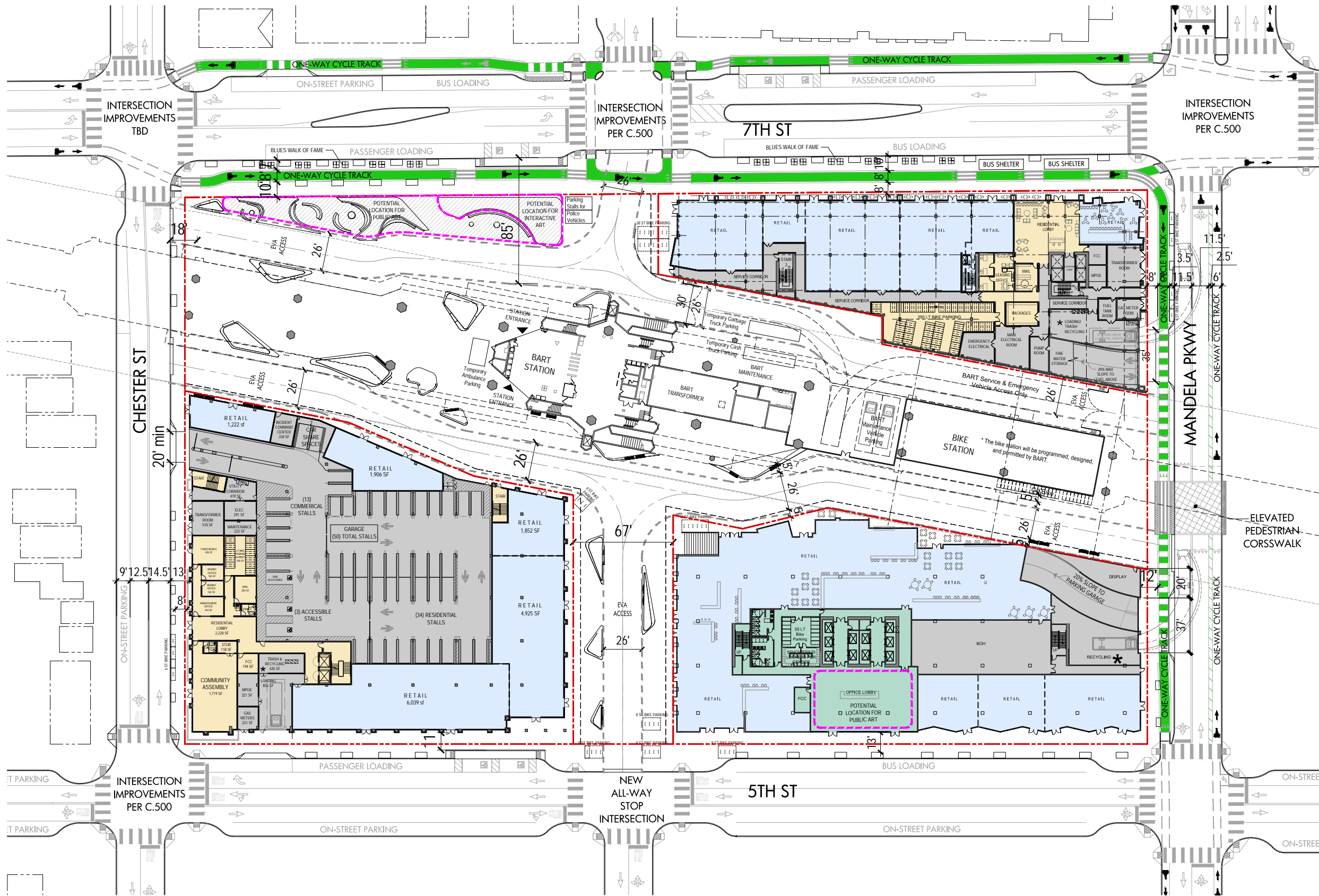
JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com



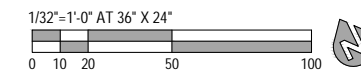
PROJ. # 168-153 WO BART
 DATE: July 24, 2020

SHEET: **CENTER SQUARE**

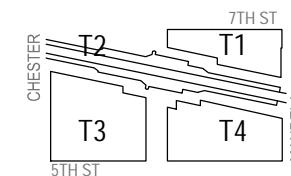
A-9.19



1. The recycling space on T1 site is 1,150 cubic feet minimum, on T3 site is 510 cubic feet minimum, and on T4 site is 647 cubic feet minimum. The total recycling space on site is 2,307 cubic feet minimum.



MANDELA STATION
@WEST OAKLAND
BART
 1451 7th St, Oakland,
 CA 94607



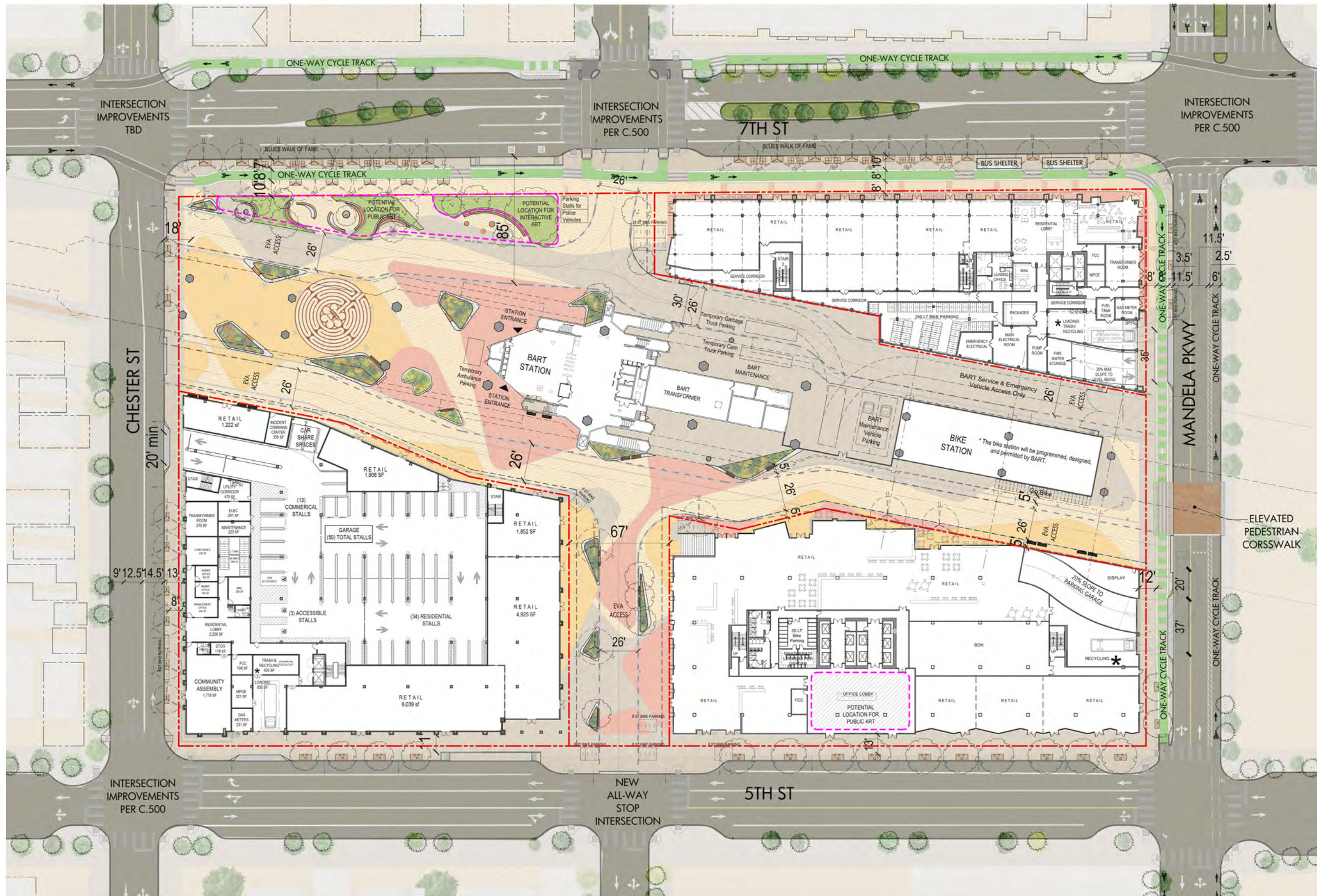
JRDV URBAN INTERNATIONAL
 JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com

BKF100+ YEARS
 ENGINEERS, SURVEYORS, PLANNERS
stök
PGAdesign
 LANDSCAPE ARCHITECTS

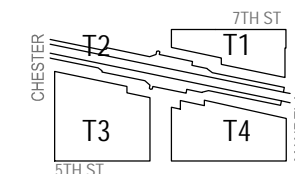
PROJ. # 168-153 WO BART
 DATE: July 24, 2020

SITE PLAN

SHEET:



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



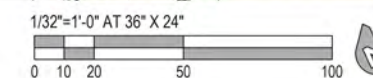
PROJ. # 168-153 WO BART
DATE: July 24, 2020

SITE PLAN

SHEET:

A-10.02

The recycling space on T1 site is 1,150 cubic feet minimum, on T3 site is 510 cubic feet minimum, and on T4 site is 647 cubic feet minimum. The total recycling space on site is 2,307 cubic feet minimum.



Crosswalks & Intersections

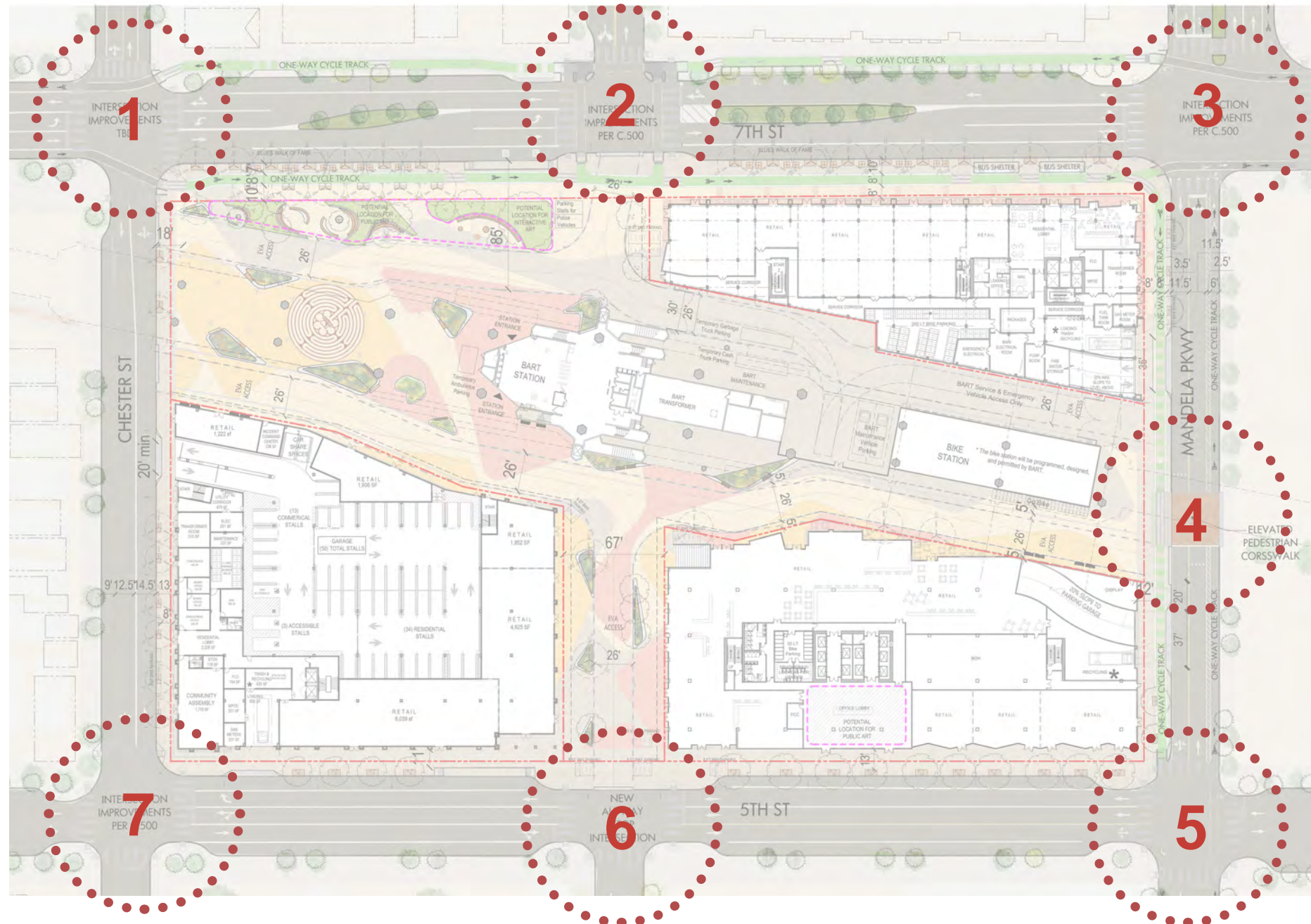
5th Street/Center Street and 5th Street/Chester Street Intersection: High-visibility crosswalks will be installed along with directional, ADA compliant curb ramps.

Chester Street/7th Street Intersection: To facilitate safe pedestrian, bicycle and vehicle movement, the curbs and crosswalks have been engineered to separate pedestrian and bicycle movements with clear non-conflicting pathways.

Bulb-outs have been provided where possible, including the NW, NE, and SW corners. Bus turning requirements prevent this on the SE corner.

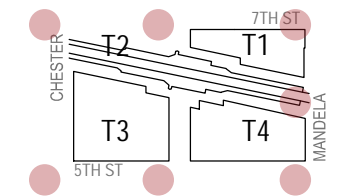
Mandela Parkway/7th Street Intersection: This is a significant bike and pedestrian access point. To facilitate safe pedestrian, bicycle and vehicle movement, the curbs and crosswalks have been engineered to clearly separate pedestrian and bicycle movements with clear non-conflicting pathways. A dedicated bicycle signal phase will be evaluated for further consideration.

Mandela Parkway/5th Street Intersection: The NE, SE and SW crosswalks at this intersection have been bulbed out to minimize pedestrian crossing distances and ADA-compliant, directional curb ramps will be installed. Crosswalks will be reconfigured to create more directional connectivity.



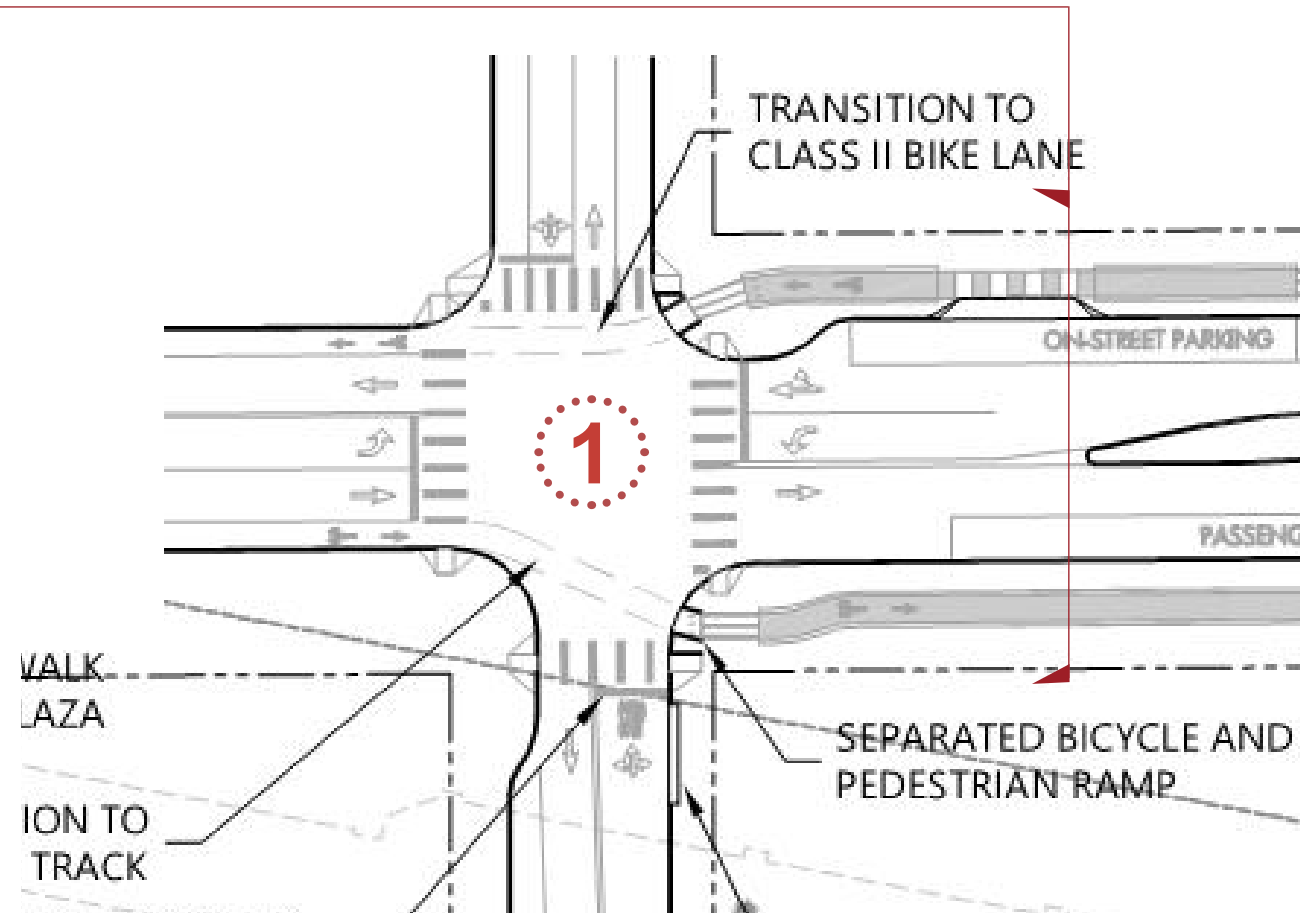
Mid-Block Crossing on Mandela: A high-visibility, mid-block pedestrian crossing will be added on Mandela Parkway between 7th and 5th Streets. The crossing design is raised and coordinated with the design of the two-way cycle track to facilitate safe pedestrian crossing of both the roadway and the cycle track.

7th Street/Center Street Intersection: The intersection crossing will be designed with a scramble pedestrian crossing to facilitate access. Bike and pedestrian access will be designed to prevent conflicts and promote ease of use. A protected intersection design will be provided with separated pedestrian crossing and bikeway crossing.



7TH STREET

8' SIDEWALK
 6' CYCLE TRACK
 +(2) 1' DET. BARRIERS
 4' SIDEWALK
 10' BUS LOADING
 11.5' WESTBOUND
 11' EASTBOUND
 11.5' EASTBOUND
 10' PASSENGER LOADING
 8.5' SEPARATION
 6' CYCLE TRACK
 +(2) 1' DET. BARRIERS
 8' SIDEWALK
 PLAZA



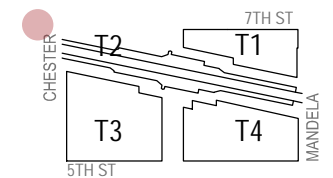
RAMP NOTES:

1. BICYCLE AND PEDESTRIAN RAMPS SHALL BE SEPERATED.
2. DETECTABLE WARNING DOMES SHALL BE INSTALLED AT ALL RAMPS, SEE SHEET C5.03.



MANDELA STATION
 @WEST OAKLAND
 BART

1451 7th St, Oakland,
 CA 94607



JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

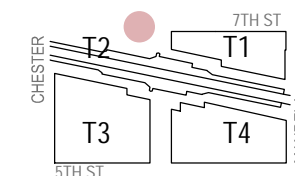
CROSSWALKS &
 INTERSECTIONS

SHEET:

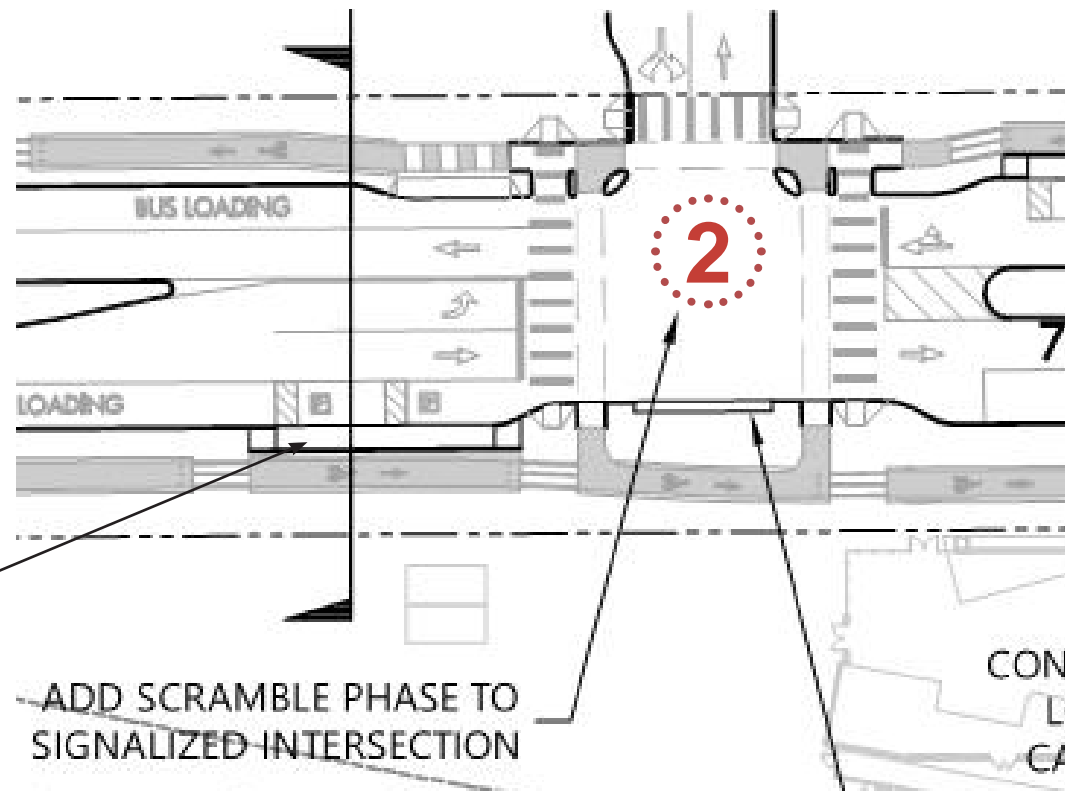
A-10.03.01



MANDELA STATION
@WEST OAKLAND
BART
 1451 7th St, Oakland,
 CA 94607



**6' ACCESSIBLE
LOADING ZONE**



RAMP NOTES:

1. BICYCLE AND PEDESTRIAN RAMPS SHALL BE SEPERATED.
2. DETECTABLE WARNING DOMES SHALL BE INSTALLED AT ALL RAMPS, SEE SHEET C5.03.



JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com



PROJ. # 168-153 WO BART
 DATE: July 24, 2020

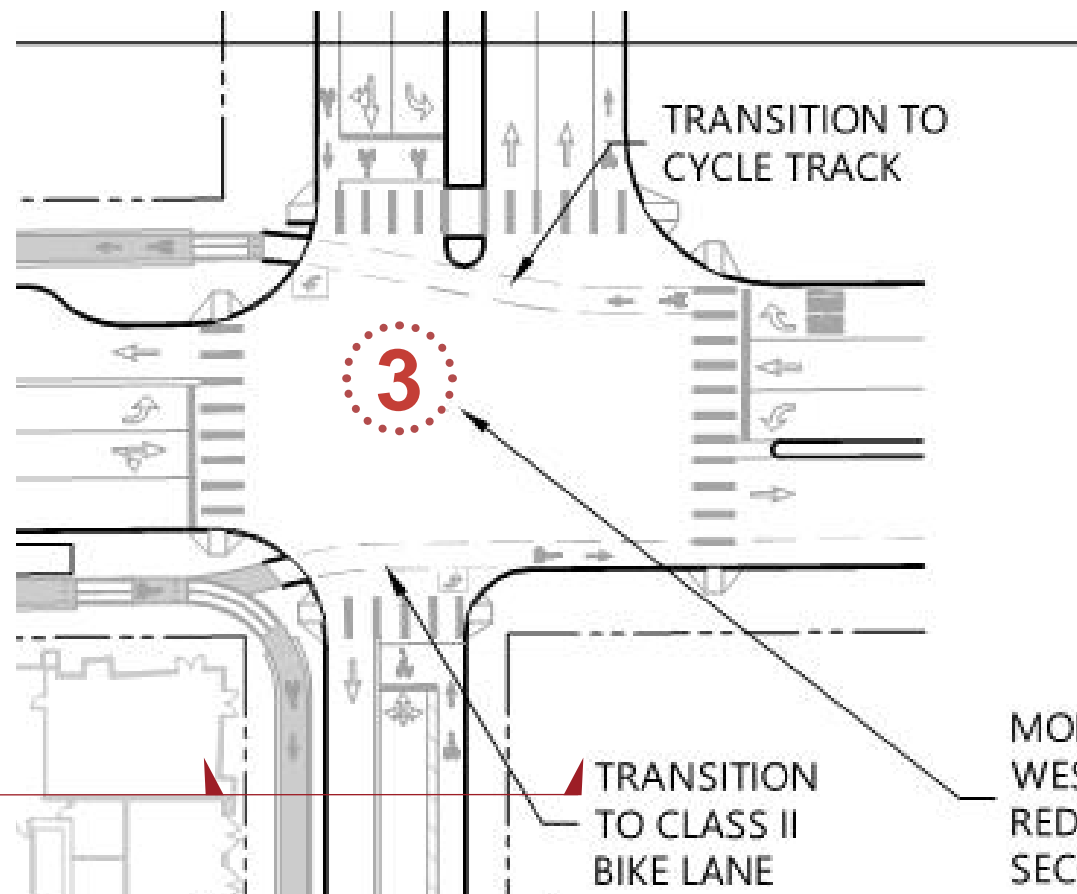
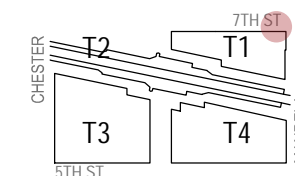
**CROSSWALKS &
INTERSECTIONS**

SHEET:

A-10.03.02



MANDELA STATION
 @WEST OAKLAND
 BART
 1451 7th St, Oakland,
 CA 94607



MANDELA PARKWAY

- 8' MIN. TO BUILDING
- 6' CYCLE TRACK
- +(2) 1' DET. BARRIERS
- 3.5' SIDEWALK
- 11.5' SOUTHBOUND
- 11.5' NORTHBOUND
- 2.5' BUFFER ZONE
- 6' BIKE LANE
- 10' SIDEWALK LANE

RAMP NOTES:

1. BICYCLE AND PEDESTRIAN RAMPS SHALL BE SEPERATED.
2. DETECTABLE WARNING DOMES SHALL BE INSTALLED AT ALL RAMPS, SEE SHEET C5.03.



JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com



PROJ. # 168-153 WO BART
 DATE: July 24, 2020

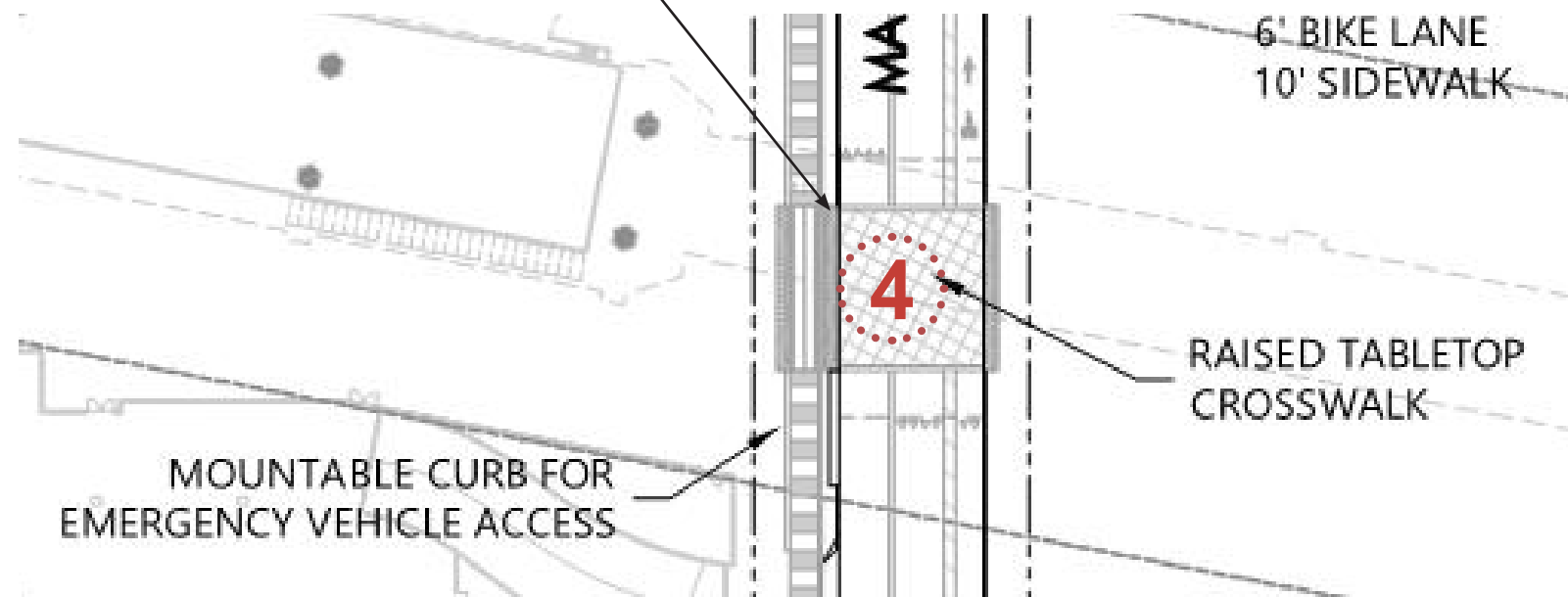
CROSSWALKS & INTERSECTIONS

SHEET:

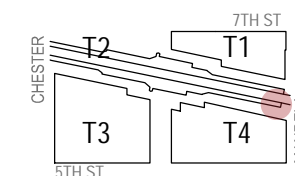
A-10.03.03



DETECTABLE WARNING
DOMES BOTH SIDES



MANDELA STATION
@WEST OAKLAND
BART
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: July 24, 2020

CROSSWALKS & INTERSECTIONS

SHEET:

A-10.03.04

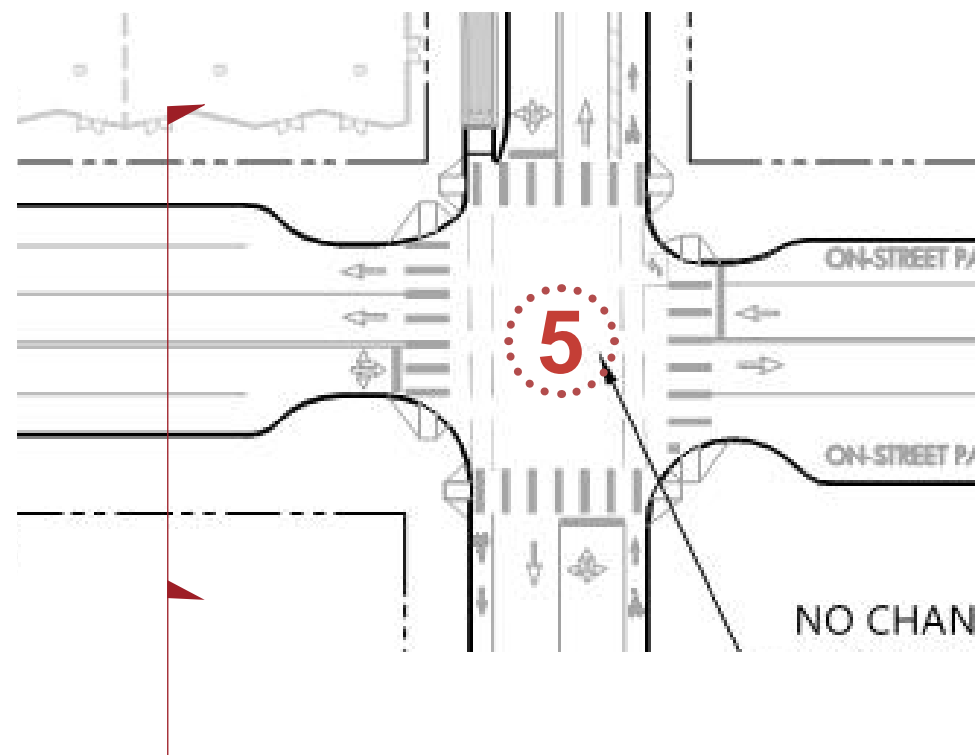
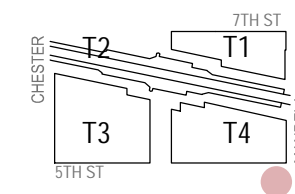


RAMP NOTES:

1. BICYCLE AND PEDESTRIAN RAMPS SHALL BE SEPERATED.
2. DETECTABLE WARNING DOMES SHALL BE INSTALLED AT ALL RAMPS, SEE SHEET C5.03.



MANDELA STATION
@WEST OAKLAND
BART
 1451 7th St, Oakland,
 CA 94607



5TH STREET

- 10' SIDEWALK
- 9' BUS LOADING
- 11.5' WESTBOUND
- 11.5' WESTBOUND
- 11.5' EASTBOUND
- 9' ON-STREET PARKING
- 6' MIN SIDEWALK
- 12' TO PROPERTY LINE



RAMP NOTES:

1. BICYCLE AND PEDESTRIAN RAMPS SHALL BE SEPERATED.
2. DETECTABLE WARNING DOMES SHALL BE INSTALLED AT ALL RAMPS, SEE SHEET C5.03.



JRDV Architects, Inc
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70126
 Oakland, CA 94612 USA
 510 295 4392 T
 www.jrdv.com



PROJ. # 168-153 WO BART
 DATE: July 24, 2020

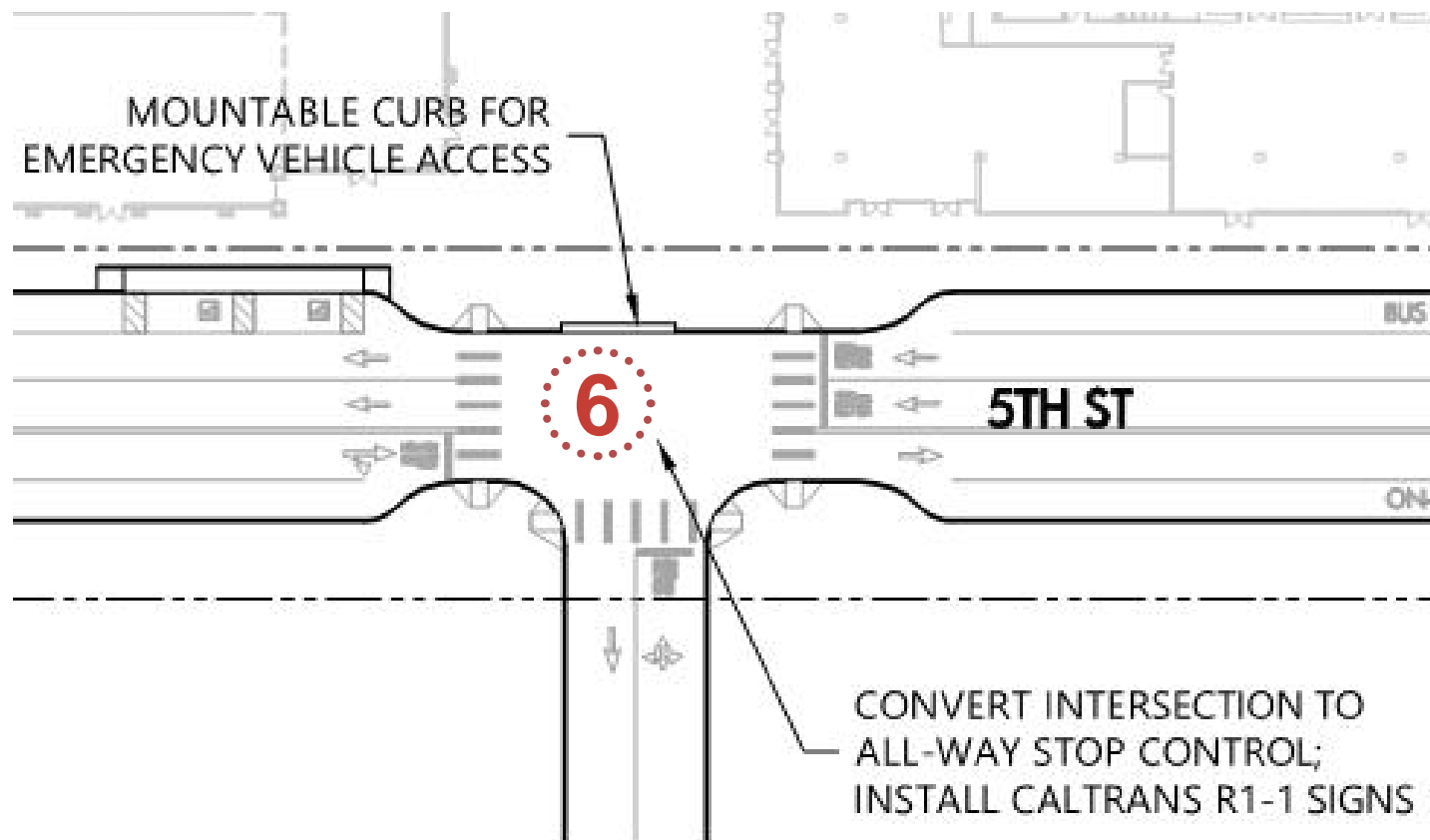
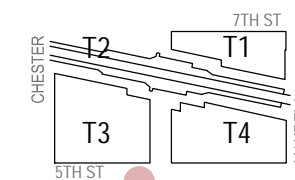
CROSSWALKS & INTERSECTIONS

SHEET:

A-10.03.05



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: July 24, 2020

CROSSWALKS & INTERSECTIONS

SHEET:

A-10.03.06

RAMP NOTES:

1. BICYCLE AND PEDESTRIAN RAMPS SHALL BE SEPERATED.
2. DETECTABLE WARNING DOMES SHALL BE INSTALLED AT ALL RAMPS, SEE SHEET C5.03.



CHESTER STREET

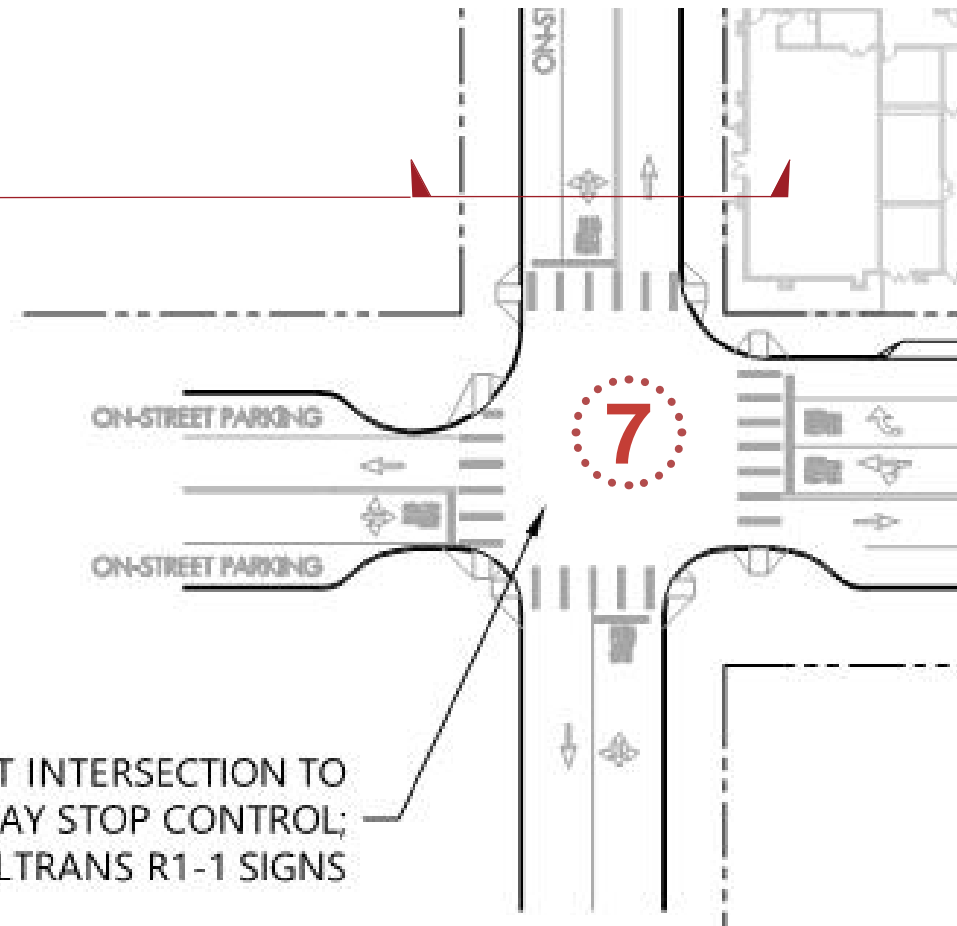
14' SIDEWALK

9' ON-STREET PARKING

12.5' SOUTHBOUND

14.5' NORTHBOUND

10' SIDEWALK



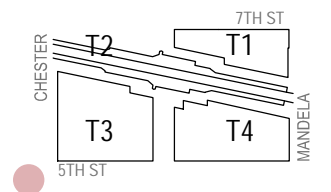
CONVERT INTERSECTION TO ALL-WAY STOP CONTROL; INSTALL CALTRANS R1-1 SIGNS



**MANDELA STATION
@WEST OAKLAND**

BART

1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

**CROSSWALKS &
INTERSECTIONS**

SHEET:

A-10.03.07

RAMP NOTES:

1. BICYCLE AND PEDESTRIAN RAMPS SHALL BE SEPERATED.
2. DETECTABLE WARNING DOMES SHALL BE INSTALLED AT ALL RAMPS, SEE SHEET C5.03.



Sidewalks

7th Street (between Mandela Parkway and Chester Street):

The sidewalk widths are range from 10'-15', and are designed to allow adequate clearances in order to accommodate the needs of pedestrians, bus passengers, and curbside passenger loading. The sidewalk is clear space for passanger loading at the curb, and a protected class 4 cycle track with clearly marked pedestrian crossing indicators.

Street lighting and street trees are located to reinforce the visual experience of the sidewalk space.

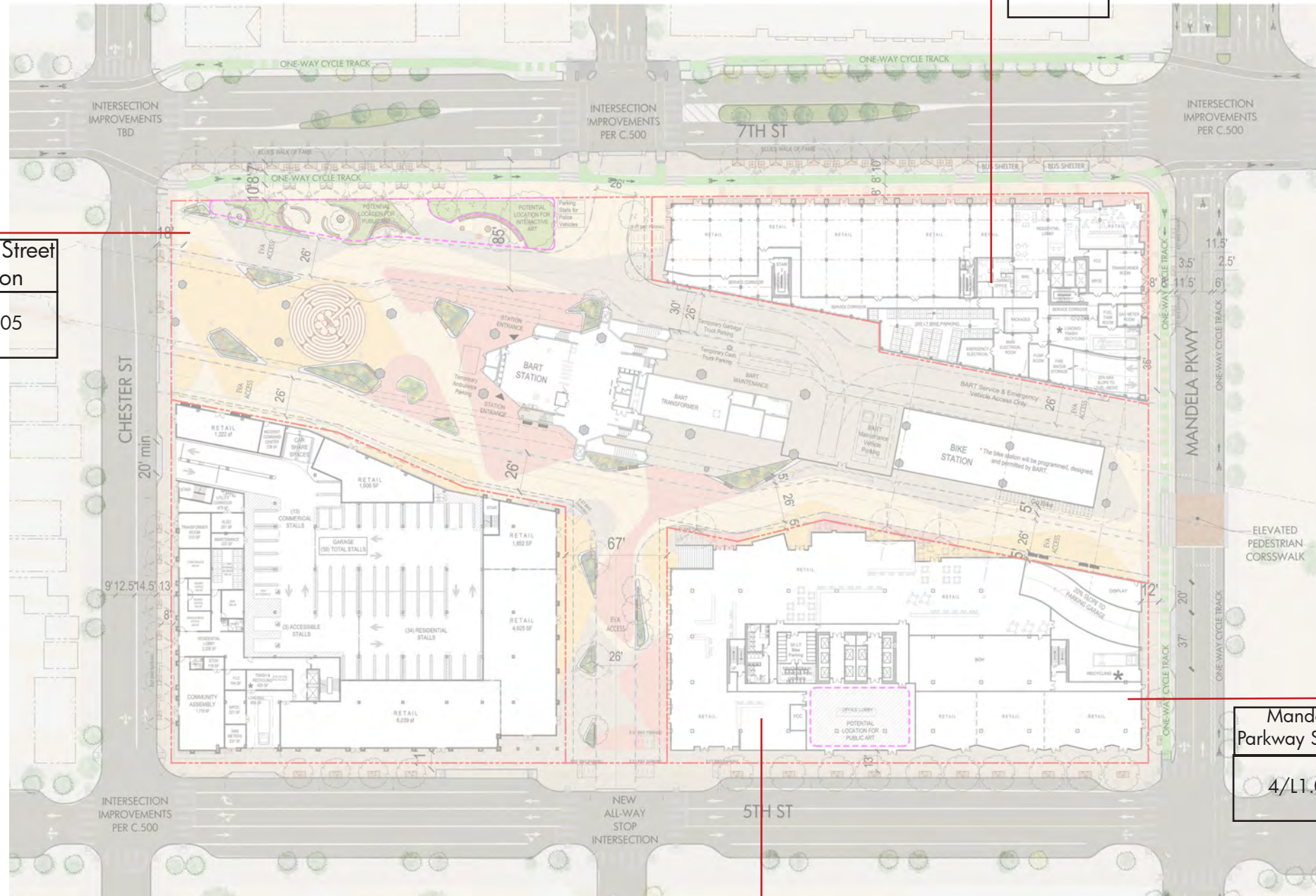
5th Street (between Mandela Parkway and Center Street):

The sidewalk width will be 10-15 feet min. wide in order to accommodate the needs of pedestrians, bus passengers, and curbside passenger loading.

5th Street (between Center and Chester Street):

Between 5th and 7th Streets, sidewalks adjacent to the project site are a minimum of 10 feet wide, and provide 8' clear path. The sidewalk is buffered from adjacent loading and street traffic by street pedestrian-scale lighting and street trees.

Chester Street Section
3/L1.05



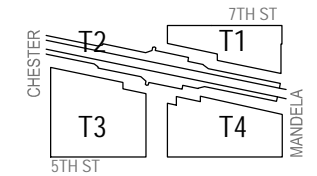
7th Street Section
2/L1.05

Mandela Parkway Section
4/L1.05

5th Street Section
5/L1.05



MANDELA STATION
@WEST OAKLAND
BART
1451 7th St, Oakland,
CA 94607



JRDV ARCHITECTS, INC.
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: July 24, 2020

PUBLIC SPACE
IMPROVEMENT:
SIDEWALKS

SHEET:
A-10.04.01

Parking and Truck Loading Entrances: for the project are designed to provide clear sight lines, and include ADA features such as tactile warning strips, and audible warnings for when vehicles cross the pedestrian path of travel.

Bikeways & Bike Parkings

Mandela Cycle Tracks:

To facilitate bicycle access from the bicycle lanes on Mandela Parkway south of 7th Street and north of 5th Street, two raised, one-way cycle tracks are located along the west and east sides of Mandela Parkway between 7th and 5th Streets.

These one-way cycle tracks are 6 feet wide, with an 8' and 10' separation from face of curb to the edge of the cycle track. In addition to the cycle track, sidewalks with a minimum width of 8' clear are provided.

7th St Cycle Tracks Eastbound:

To facilitate bicycle access in conjunction with passenger loading from vehicles and buses along eastbound 7th Street between Chester Street and Mandela Parkway, a raised, one-way cycle track is provided.

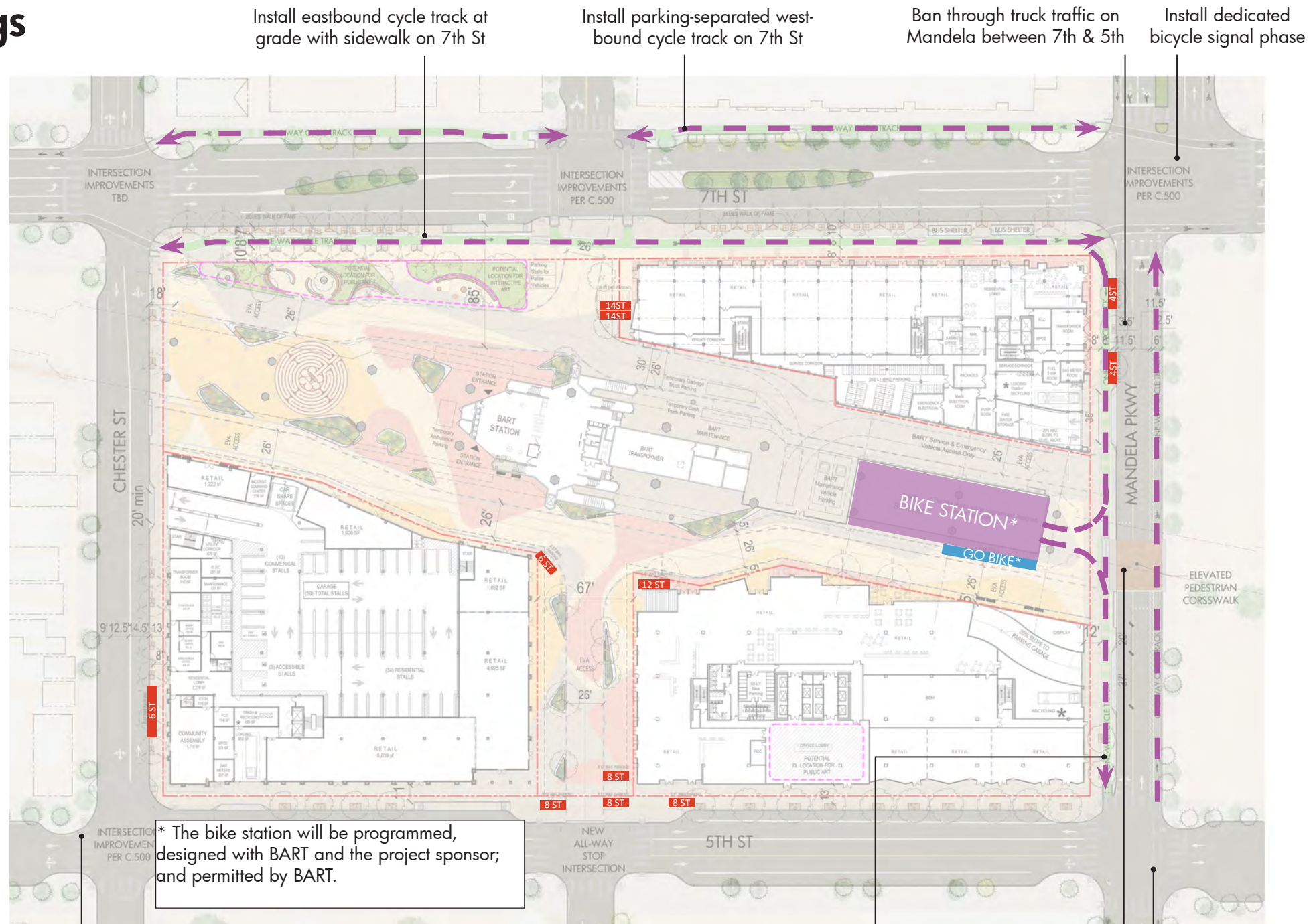
The cycle track travel surface is 6 feet, with an 8'-10' foot setback from sidewalk to the face of curb.

7th St Cycle Tracks Westbound:

On westbound 7th Street between Mandela Parkway and Chester Street, a raised, one-way cycle track is located with a width of 6 feet.

The cycle track is provides an 8' setback sidewalk from the face of curb to the edge of the cycle track to provide adequate space for pedestrian loading.

Ford Go-bike: has been co-relocated with the Bike Station, to provide ease of access, prevent plaza use conflicts and to reinforce the bike station as a central hub for bike users.



Install high-visibility crosswalks, directional curb ramps & pedestrian refuges on 5th St

Install 2 one-way cycle tracks on Mandela between 7th & 5th on grade with sidewalk

Install high-visibility mid-block crosswalk

Install dedicated bicycle signal phase

Bike Station:

The project will include an enhanced bicycle station located on the east side of the station structure. The bike station will be programmed, designed with BART and the project sponsor; and permitted by BART. The city will be responsible for design review.

Additional bicycle parking for BART and commercial patrons is provided throughout the site in the form of bicycle racks. Bicycle parking for the TOD's commercial and residential tenants will also be provided in accordance with City of Oakland requirements.

Bike Parking Account:

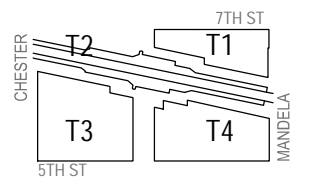
ON SITE SHORT TERM PARKING: 92

BIKE STATION: The bike station will be programmed, designed with BART and the project sponsor; and permitted by BART. The city will be responsible for design review.

GO BIKE PARKING NUMBER: 21



MANDELA STATION @WEST OAKLAND BART
1451 7th St, Oakland, CA 94607



JRDV URBAN INTERNATIONAL
JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: July 24, 2020

PUBLIC SPACE IMPROVEMENT: BIKES

SHEET:

A-10.05

Passenger Loading

7th Street Passenger Loading:

Will be located on the south side of 7th Street west of Center Street. A portion (50 linear feet) of this loading area closest to the intersection with Center Street is designated as a loading space for passengers with disabilities. This area provides the most direct access to the station entrance.

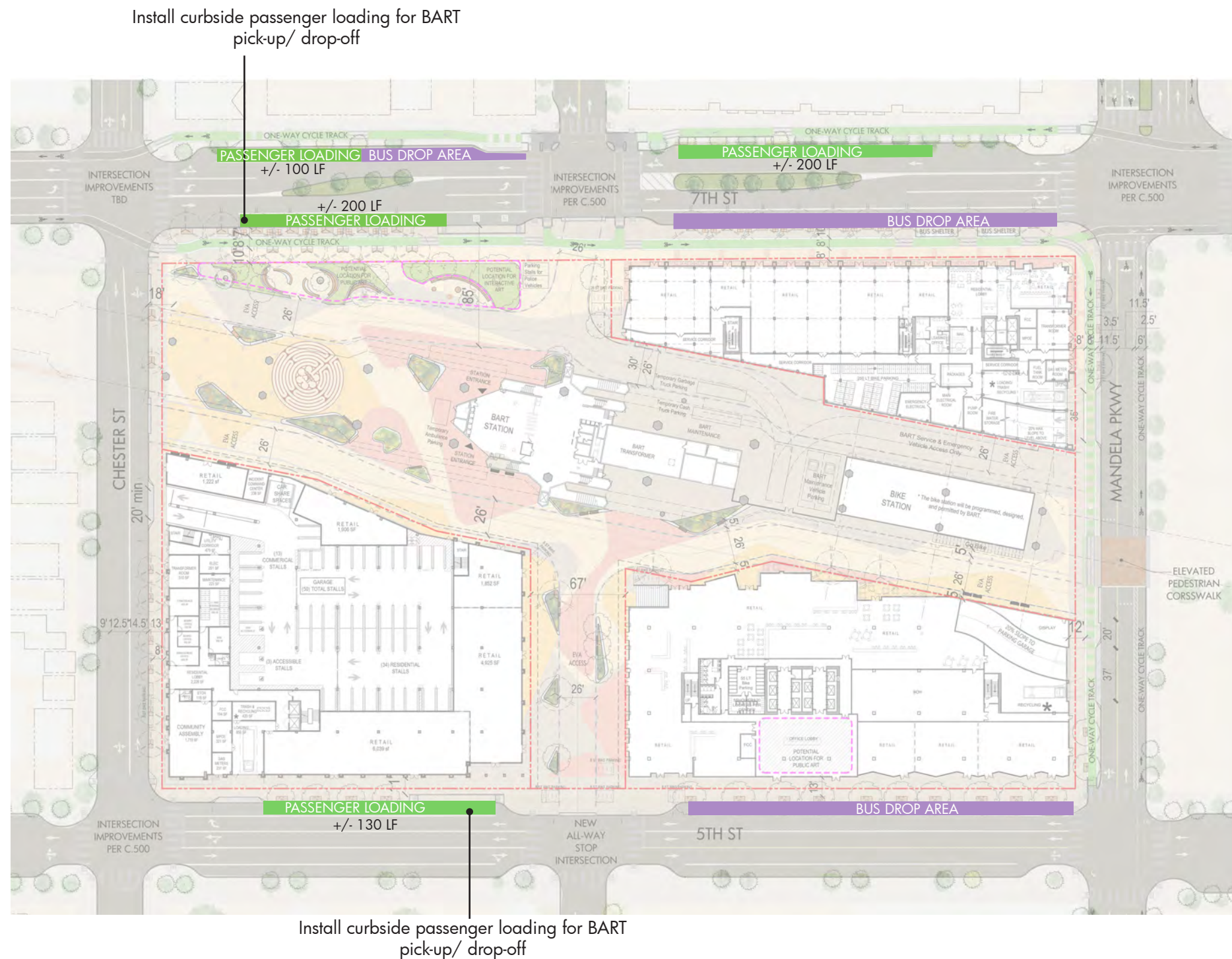
Another 200 feet of linear curb is on north side of 7th Street between Center Street and Mandela Parkway for passenger loading and unloading and 100 feet of linear curb near the Chester Street intersection.

5th Street Passenger Loading:

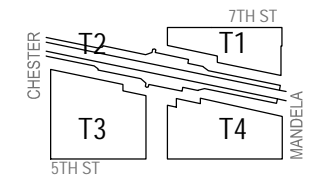
130 feet of linear curb is proposed along westbound 5th Street on the west side of the intersection with Center Street.

Wayfinding:

Signage directing vehicles to loading zones will be provided at key decision points like the Mandela Parkway and 7th Street intersection and the 5th Street and Kirkham or Union Street intersections. Loading zone locations will be incorporated into smartphone mapping and TNC apps to facilitate safe and efficient circulation and access.



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART

DATE: July 24, 2020

**PUBLIC SPACE
IMPROVEMENT:
PASSENGER
LOADING**

SHEET:

A-10.06

Bus Stops

Install bus stop for intercity coaches (Bolt, Megabus) - optional location east of Mandela

Install bus stop for line 29 and Emery-Go-Round

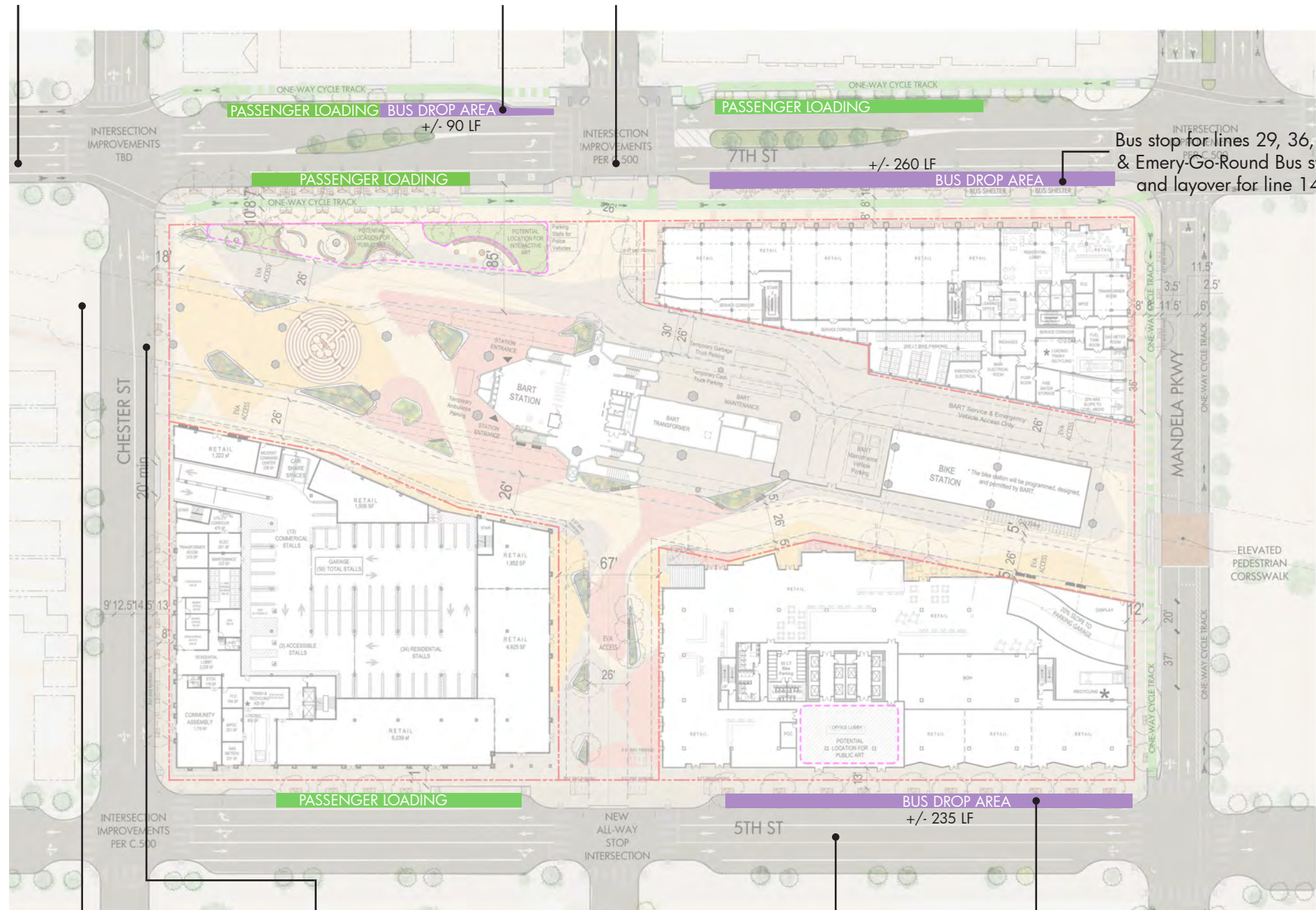
Start sidewalk taper immediately after crosswalk to better accommodate bus access

7th Street Eastbound:

The existing bus stop on eastbound 7th Street will be retained and extended to the intersection with Center Street for an approximate total length of 260 linear feet. This stop would serve AC Transit Lines 29, 36, and 62 and will serve as both a stop and layover space for AC Transit Line 14. If Emery-Go-Round service is extended to the West Oakland Station, this stop could serve Emery-Go-Round vehicles as well.

7th Street Westbound: A new bus stop will be installed on westbound 7th Street to serve AC Transit Line 29 and Emery-Go-Round, if the service is extended to the West Oakland Station. 90 feet of linear curb is provided at this location to accommodate transit vehicles, as well as a concrete bus pad in the roadway.

5th Street Westbound: The bus stop and layover for lines 36 and 62 will be relocated to westbound 5th Street on the far side of the intersection with Mandela Parkway. 235 feet of curb length is provided to accommodate the bus stop and layovers, and a concrete bus pad will be installed in the roadway.



Potential layover space for lines 36 & 62, requires further evaluation

Redesign Chester St cross-section to facilitate buses turning right

Install median barrier to prevent jaywalking to/from bus stop

Bus stop and layover for lines 62 & 36

Intercity & Private Bus Stops: A bus stop for intercity coaches (e.g., Megabus and Bolt) could be installed on 7th Street between Henry and Chester Streets. Private employer shuttle could also utilize this stop. The existing BART surface parking immediately adjacent to this curb could be utilized for bus and shuttle transit passenger pick-up and drop-off (if not utilized as a layover space for AC Transit buses). A option to locate this bus stop east of Mandela Parkway is under consideration.

Passenger Amenities:

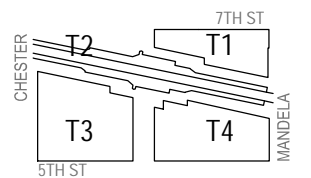
All bus stops are provide with a high level of passenger amenities, including shelters with seating, maps and other information, and real-time bus arrival information; trash receptacles; and lighting.



MANDELA STATION @WEST OAKLAND

BART

1451 7th St, Oakland, CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



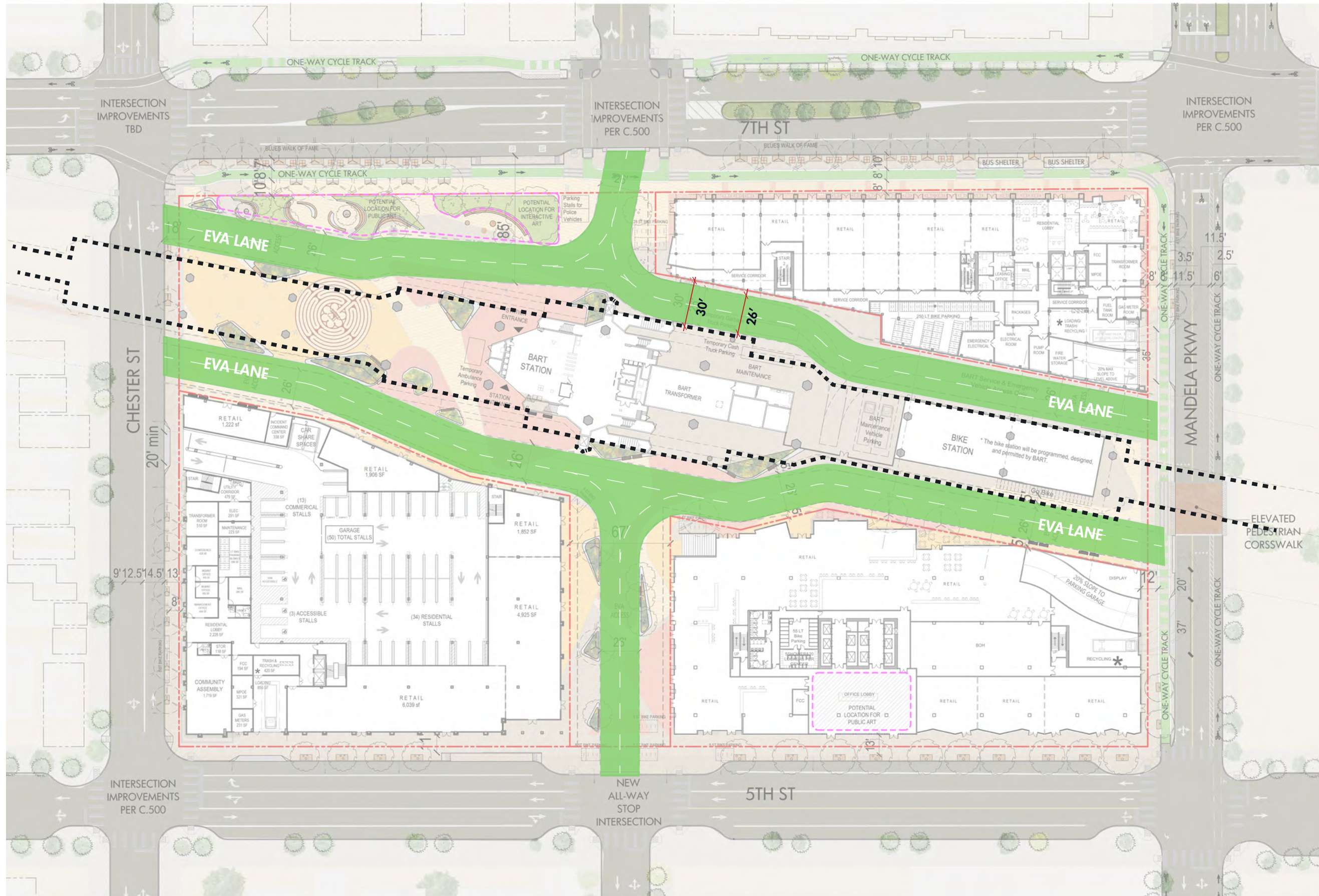
PROJ. # 168-153 WO BART

DATE: July 24, 2020

PUBLIC SPACE IMPROVEMENT: BUS STOPS

SHEET:

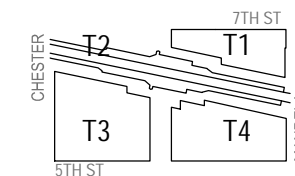
A-10.07



suda
Sustainable Urban Development Alliance, LLC



**MANDELA STATION
@WEST OAKLAND
BART**
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: July 24, 2020

**EMERGENCY
VEHICLE
ACCESS**

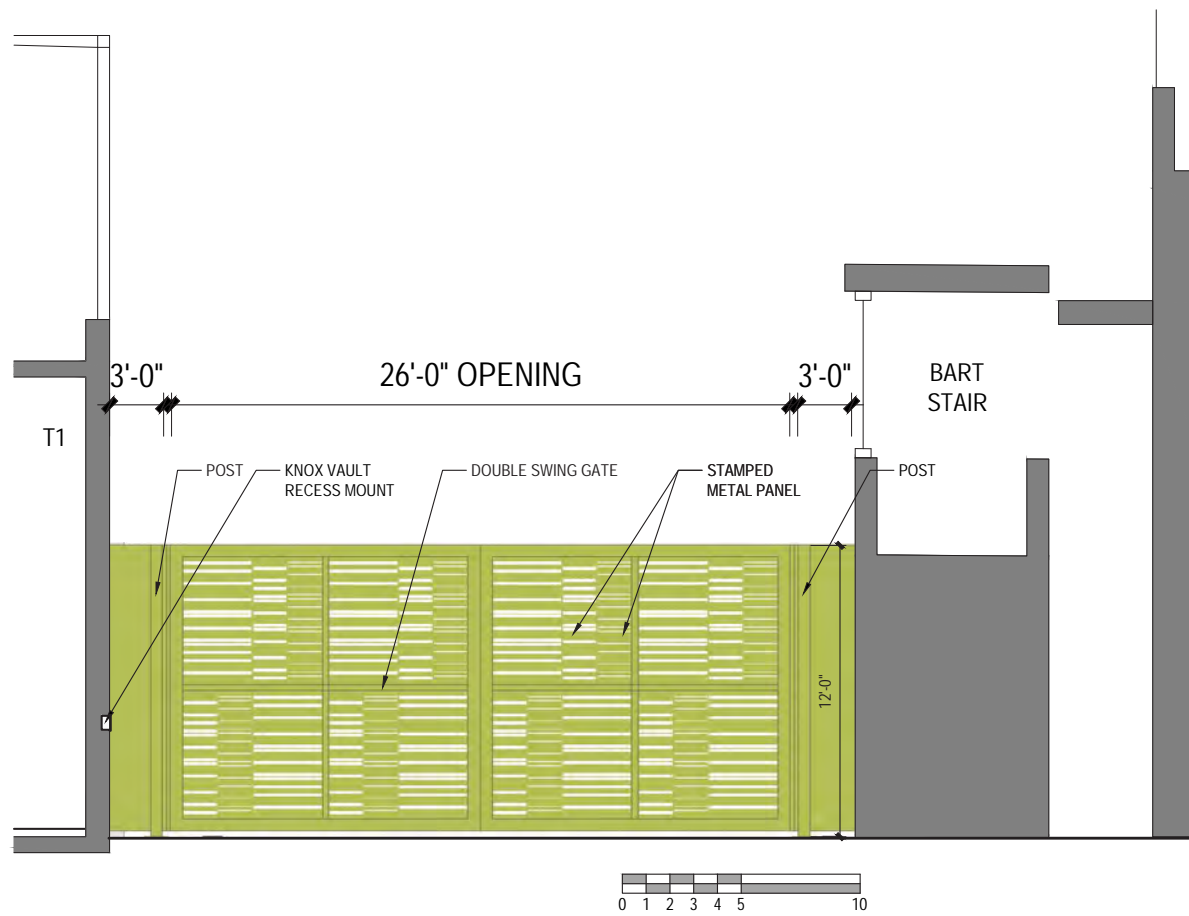
SHEET:

A-10.08

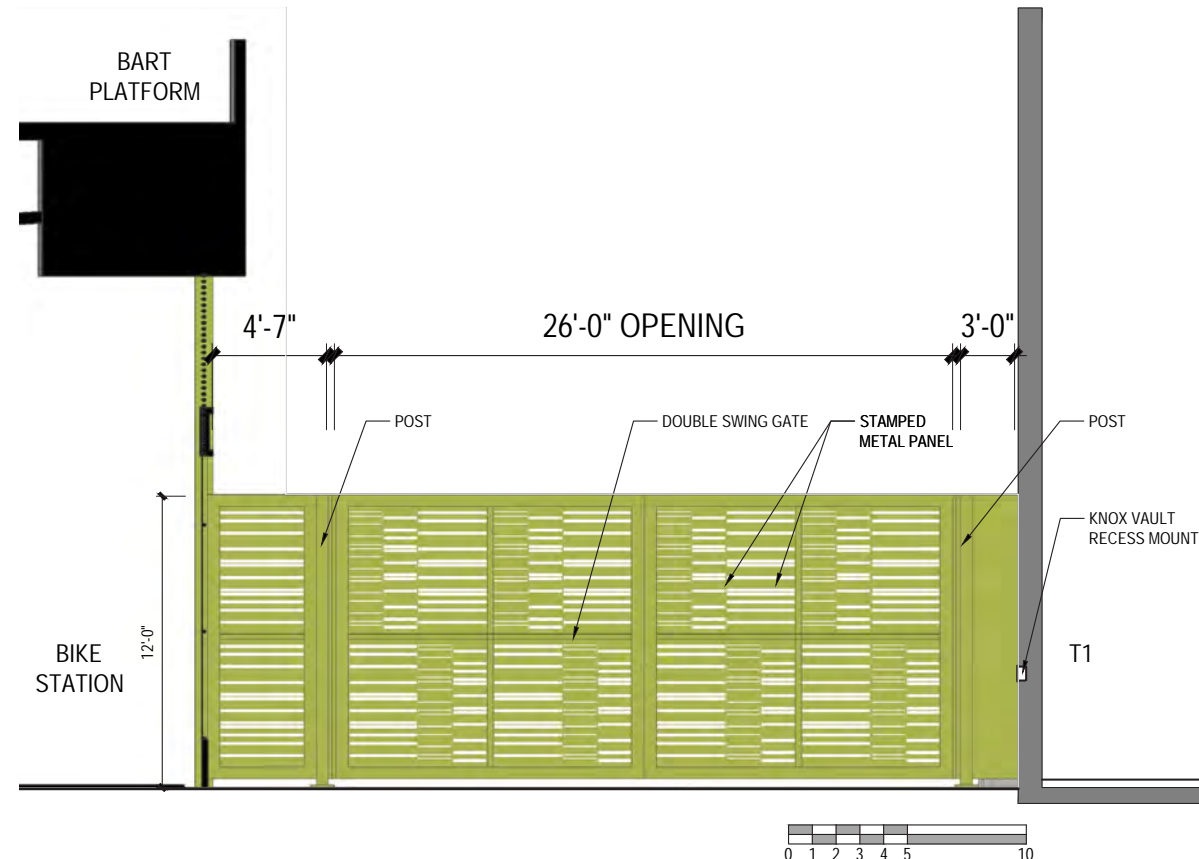
The recycling space on T1 site is 1,150 cubic feet minimum, on T3 site is 510 cubic feet minimum, and on T4 site is 647 cubic feet minimum. The total recycling space on site is 2,307 cubic feet minimum.

* For detail about the gates for EVA, please refer to drawing A-60.01.

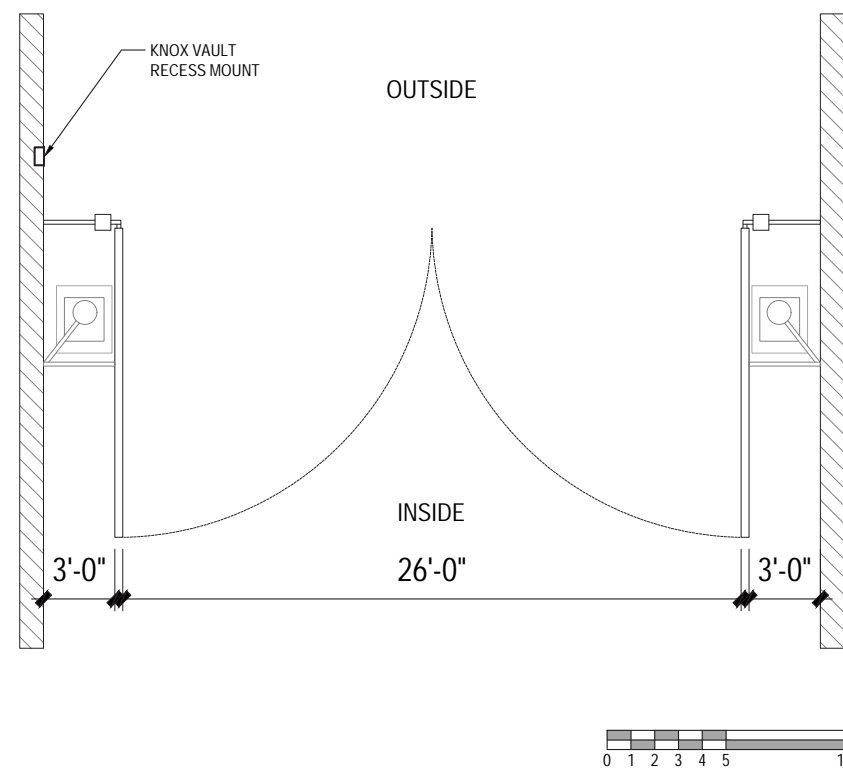




1 EVA ROUATE WEST GATE
1/4" = 1' - 0"



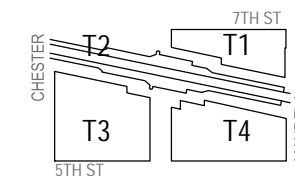
2 EVA ROUATE EAST GATE
1/4" = 1' - 0"



3 TYPICAL EVA ROUATE ENTRANCE PLAN
1/4" = 1' - 0"



MANDELA STATION
@WEST OAKLAND
BART
1451 7th St, Oakland,
CA 94607



JRDV Architects, Inc
The Cathedral Building
Broadway and Telegraph
PO Box 70126
Oakland, CA 94612 USA
510 295 4392 T
www.jrdv.com



PROJ. # 168-153 WO BART
DATE: July 24, 2020

EVA GATE DETAIL

SHEET:

A-60.01

ATTACHMENT D:

Proposed T3 Final Department Plan, dated July 24, 2020

MANDELA STATION

@ West Oakland BART

FINAL DEVELOPMENT PLAN T3

July 24, 2020



HENSEL PHELPS



GENERAL

G100	TITLE SHEET, DRAWING INDEX
A-00.01 -	RENDERINGS
A-00.12 -	

CONTEXT INFO

A-01.01	ZONING INFO
A-01.02	OPEN SPACE ANALYSIS
A-01.03	ZONING SUMMARY
A-01.04	PHASING PLAN
A-01.05	GREENPOINTRATED
A-01.06	CONTEXT MAP
A-01.07	CONTEXT PHOTOS
A-01.08	CONTEXT VIEW
A-01.09	CONTEXT VIEW

CIVIL PLANS

C1.00	EXISTING CONDITIONS PLAN
180384 1-5	TOPOGRAPHIC AND BOUNDARY SURVEY
C-1.01A -	TENTATIVE PARCEL MAP
C-1.01C	
C1.02	LOT MERGER PLAN
C2.00	PROPOSED GRADING PLAN
C3.00	STORMWATER MANAGEMENT PLAN
C4.00	EROSION CONTROL PLAN
C4.01	EROSION CONTROL PLAN DETAILS

LANDSCAPE PLANS

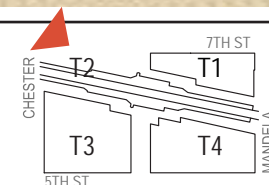
L1.00	TREE REMOVAL PLAN
L1.01	LAYOUT & MATERIALS PLAN
L1.01.02	PUBLIC ACCESS PLAN
L1.02	LANDSCAPE WALL HEIGHT PLAN
L1.03	LANDSCAPE SECTIONS
L1.04	LANDSCAPE SECTIONS
L1.05	STREET SECTIONS
L1.06	PRELIMINARY LIGHTING PLAN
L1.07	PLANTING ZONES
L1.08	LANDCAPE PLANTS
L1.09	LANDSCAPE MATERIALS
L1.10	LIGHTING IMAGES
L1.11	LIGHT LEVEL GOALS
L1.13	PODIUM LAYOUT PLAN T3
L1.14	PODIUM PALETTE T1
L-00.12	LANDSCAPE VIEWS

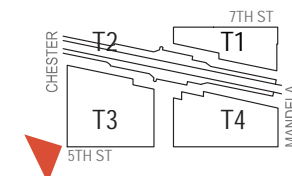
ARCHITECTURAL PLANS, ELEVATIONS, AND DETAILS

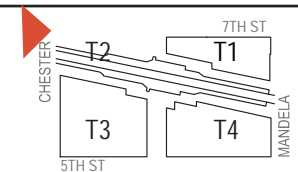
A-9.01	UNDER TRACK STRATEGY
A-9.02	UNDER TRACK REFERENCE
A-9.03	EVENT SPACE PROGRAM
A-9.04	MASSING CONCEPT
A-9.05	7TH ELEV. CONCEPT
A-9.06	ARTWALK ELEVATION CONCEPT
A-9.07	CENTER SQUARE ELEVATION CONCEPT
A-9.08	MASSING DIAGRAM
A-9.09	UNIT MIX
A-9.10	MATERIAL PALETTE
A-9.11	MATERIAL REFERENCE
A53.01	TYPICAL WALL & WINDOW SECTION 1
A53.02	TYPICAL WALL & WINDOW SECTION 2
A10.01	SITE PLAN
A13.01	T3 GROUND FLOOR PLAN
A13.02	T3 2ND FLOOR PLAN
A13.03	T3 3TH FLOOR PLAN
A13.04	T3 4-7TH FLOOR PLAN
A13.05	T3 9TH ROOF PLAN
A23.01	T3 SOUTH ELEVATION
A23.02	T3 EAST ELEVATION
A23.03	T3 NORTH ELEVATION
A-23.03.01	PUBLIC ART REFERENCES - ART EXHIBITION WALL
A23.04	T3 WEST ELEVATION
A33.01	SECTION A-A
A33.02	SECTION B-B

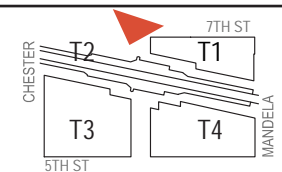


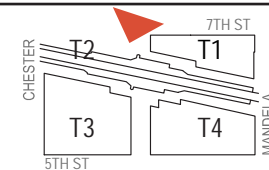
T3 RESIDENTIAL

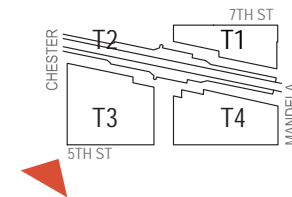


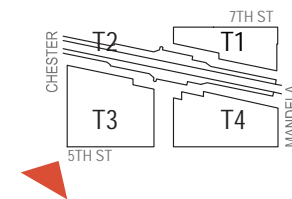


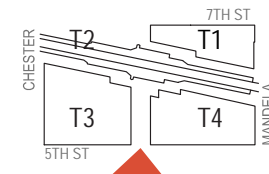


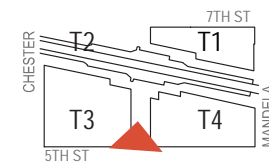


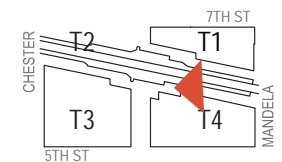


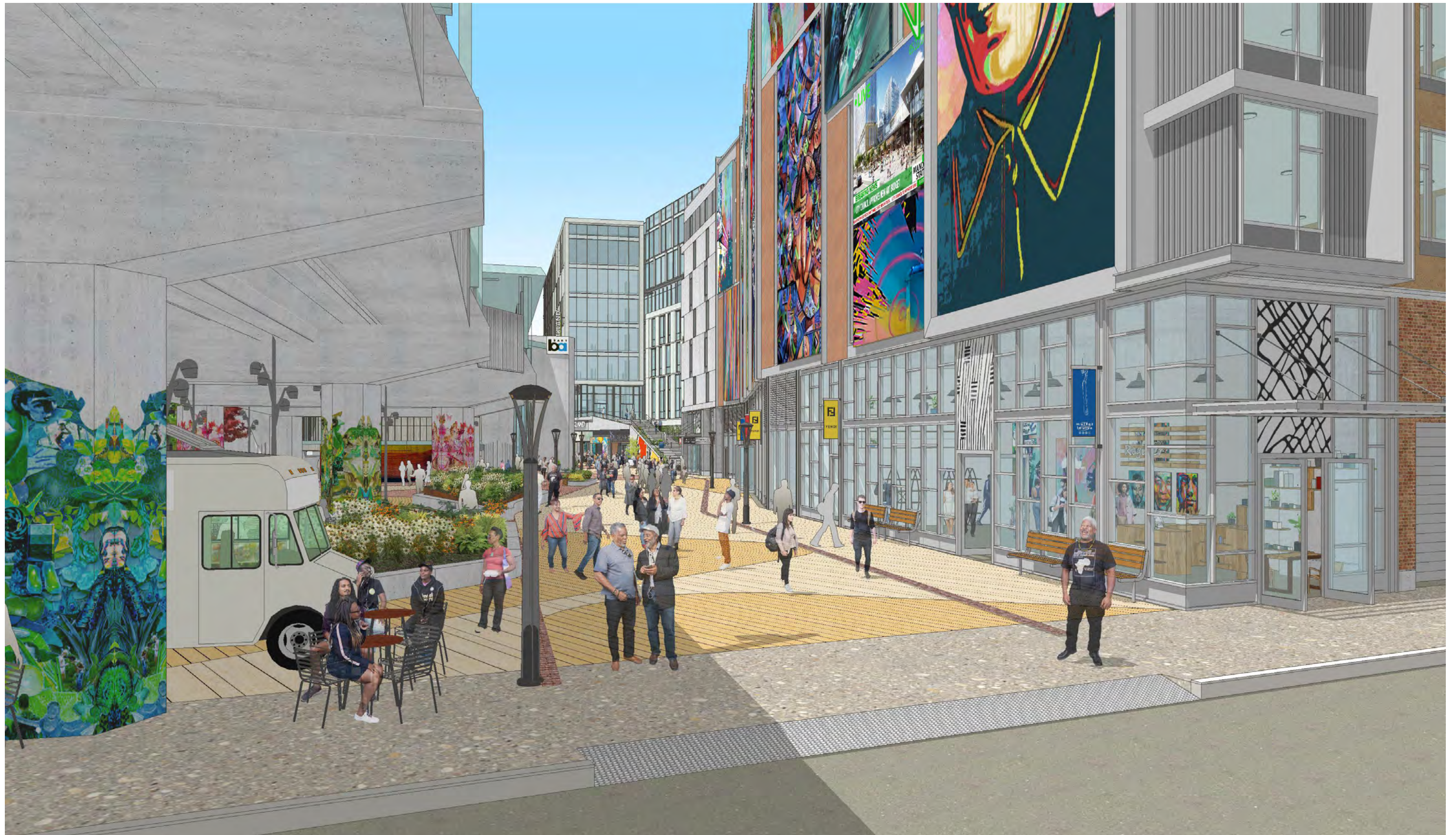


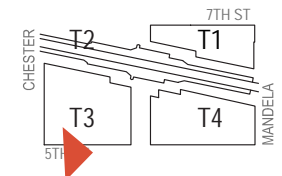


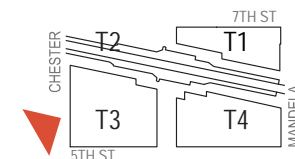










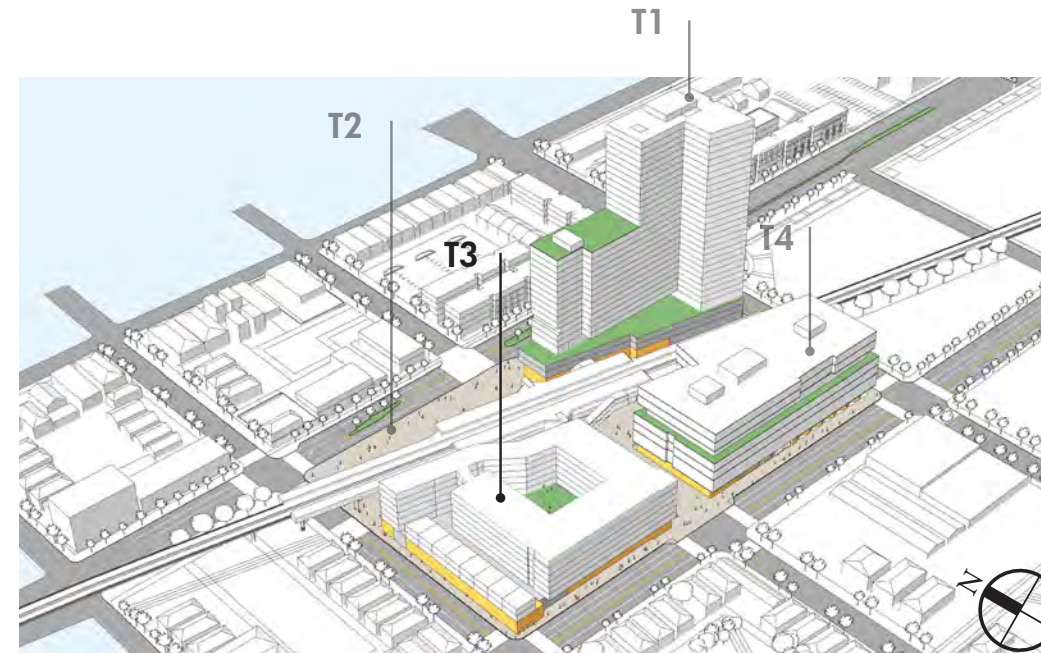


Proposed Program

USES	T1	T2	T3	T4	Program Total
OFFICE				300,000 sf	300,000 sf
RETAIL	14,350 sf	Flexible Kiosk Program	15,944 sf	23,184 sf	53,478 sf
OTHER NON-RESIDENTIAL			2,057 sf	8,540 sf	10,597 sf
RESIDENTIAL	522 units		240 units*		762 units (20% min. affordable)
PARKING	125		50	210	385 spaces

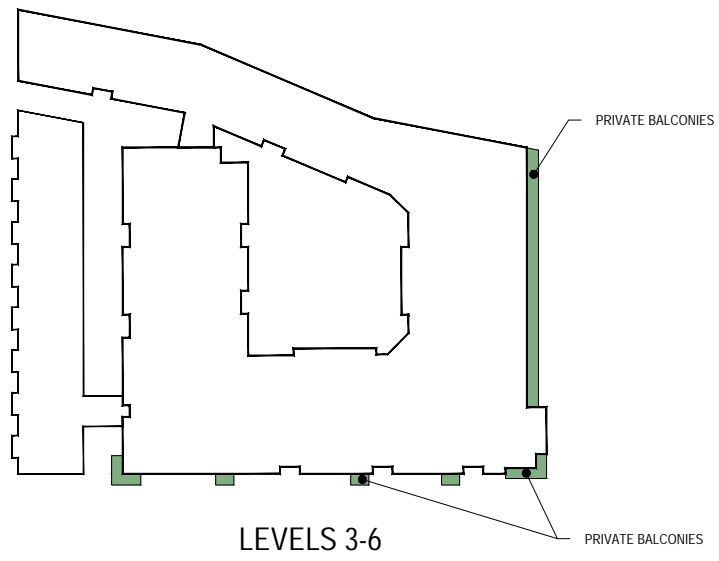
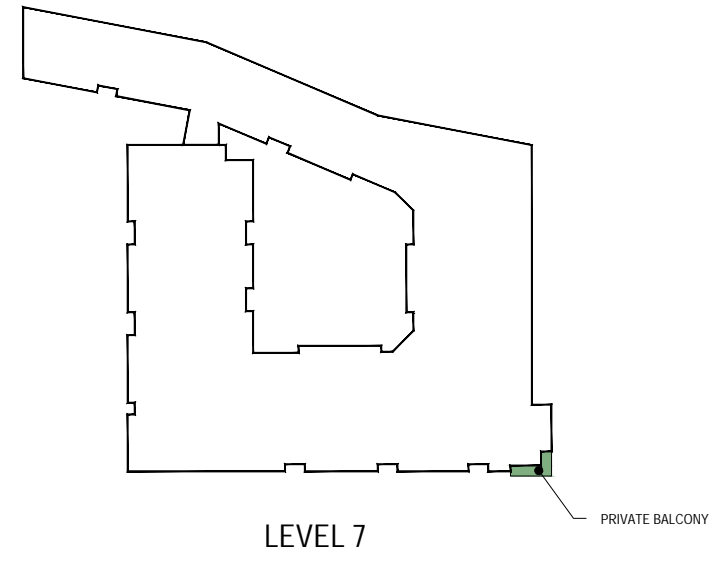
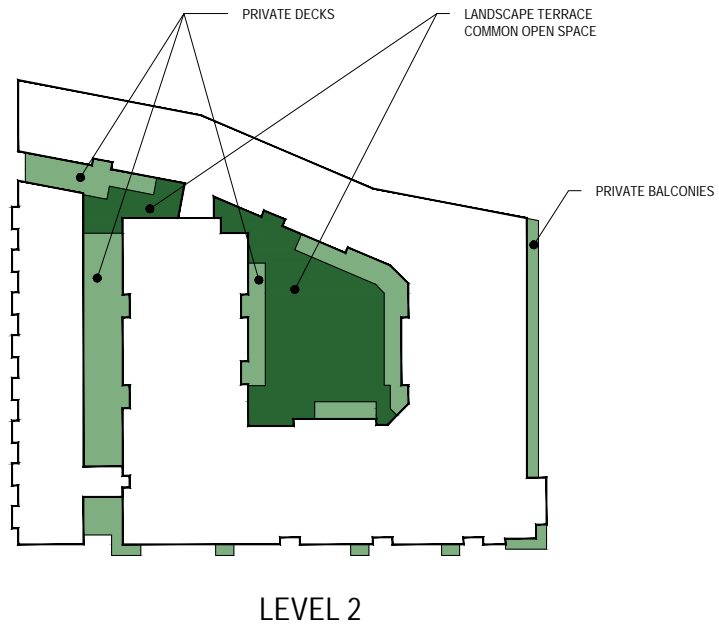
*79 units at 30% AMI, 11 units at 50% AMI, 148 units at 60% AMI, 2 units at 120% AMI

Note: Program is based on the previously approved Conditions of Approval, As approved by the Planning Commission February 6, 2019.



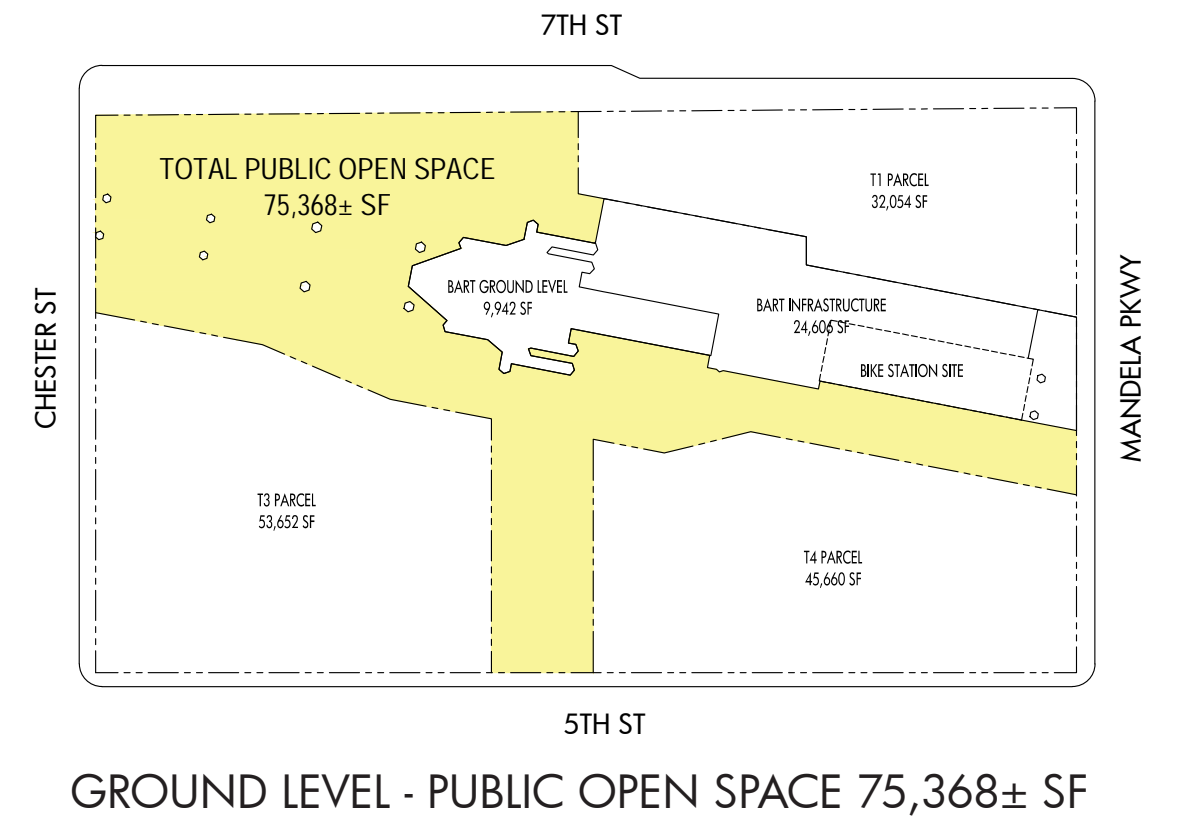
T3 Open Space Calculation and Parking Analysis

Residential Open Space Req				
240 Units	200	48,000 SF		
Required Open Space		48,000 SF		
Open Space Provided				
Private Open Space		11,453		
Common Courtyard		6,048 SF		
		17,501* SF		
*Open space waiver of 30,499 sf requested for T3 per Density Bonus Letter.				
T3 Parking Analysis				
T3 Req. Pkg	240	0.5	120	
Commercial Pkg	15,944	600	22	
Total			142 Spaces	
PKG Reductions				
Transit	0.3		43 Spaces	
Car Share	0.2		29 Spaces	
Residential PKG Req			71 Spaces	
Parking Provided				
T3 Parking			50* Spaces	
*Parking waiver requested for 21 spaces per Density Bonus Letter.				
Bicycle Parking				
	Multi-family Req	Commerical Req	Total Req	Total Provided
Short Term	12	8	20	20
Long Term	64	2	66	68



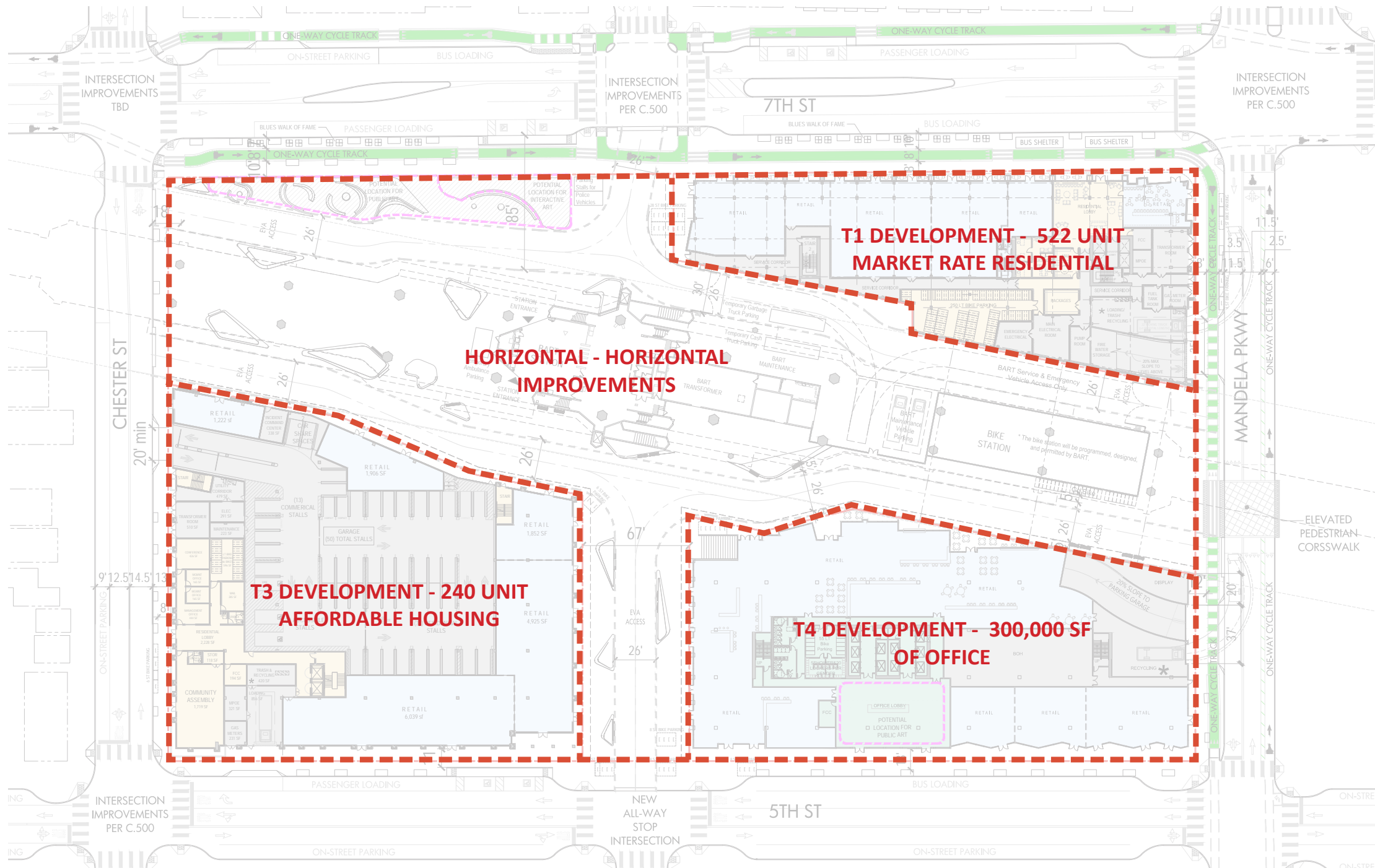
T3 OPEN SPACE SUMMARY		
LEVEL	COMMON	PRIVATE
LV2	6,048 SF	6,667 SF
LV3		1,161 SF
LV4		1,161 SF
LV5		1,161 SF
LV6		1,161 SF
LV7		142 SF
SUBTOTAL	6,048 SF	11,453 SF
TOTAL T3 OPEN SPACE	17,501 SF *	

*Open space waiver of 30,499 sf requested for T3 per Density Bonus Letter.



GENERAL ZONING INFORMATION	REFERENCE	NOTES
ASSESORS BLOCK	Survey	See Survey; Tract 8046, Blocks 494
ZONING USE DISTRICT	Oak GIS	S-15W
PERMITTED AND/OR CONDITIONAL USES	17.97.010-.020	Residential, Community Assembly, General Retail, Full +Limited Service Retail, Parking, Commercial Office permitted
HEIGHT & BULK DISTRICT	17.97	S-15W 60'; master plan consistent with zoning requirements
GENERAL PLAN / POLICY PLAN	OAK-GIS	General Commercial; West Oakland Specific Plan
HISTORIC OR LANDMARK STATUS	OAK-GIS	None
LIQUEFACTION HAZARD ZONE	OAK-GIS	Severity 4
CONDO CONVERSION IMPACT AREA	OAK-GIS	None
HEIGHT AND BULK CONTROLS		
SITE AREA	Survey	54,096 SF
FLOOR AREA RATIO (FAR)	17.97.130	S-15W 60' - 3.0; Master Plan within zoning density requirements
HEIGHT LIMIT	17.97	60' (Height limit modified to allow 80' tall building pursuant to State Affordable Housing Exemption)
REQUIRED SETBACKS	17.97.060	No Front Yard Setbacks Required; Interior Lot subject to PUD
REAR YARDS / COURTS		None Required
ADJACENCIES		None Significant
UNIT SEPARATION / EXPOSURE REQUIREMENTS	17.108.080	8' minimum at living room window +2' for each floor above = maximum 10% of It width
DETAILED CONTROLS & REQUIREMENTS		
RESIDENTIAL DENSITY LIMITS	17.97.130	S-15W 60' - 375sf/unit; Density increase per State Affordable Housing and PUD density bonus
OPEN SPACE REQUIREMENTS	17.97.130	S-15W 60' - 150sf/unit; Overall master plan within zoning limites
SCREENING & SETBACK OF PARKING & LOADING	17.116.290	All parking garages are screened per zoning requirements
OFF-STREET PARKING - RESIDENTIAL	17.116.060	0.5 parking space per dwelling unit required; Parking meets zoning requirements with approved reductions
OFF-STREET PARKING - RETAIL	17.116.080	1 space/600 Sf of ground floor; Parking meets zoning requirements with approved reductions
OFF-STREET PARKING - COMMERCIAL	17.116.080	None required
OFF-STREET PARKING DIMENSIONS	17.116.200	50-50 compact / standard; or 75% intermediate + 12.5% compact
OFF-STREET DRIVE AISLE DIMENSIONS	17.116.210	21'-24' two way aisle widths
OFF-STREET LOADING - RESIDENTIAL	17.116.120	Loading per zoning requirements
OFF-STREET LOADING - RETAIL	17.116.150	Loading per zoning requirements
LOADING BERTH DIMENSIONS	17.116.220	10'x23', 12' high for residential activities
BICYCLE REQUIREMENTS - RESIDENTIAL	17.117.090	LT: total 60 spaces; ST: total 12 spaces LT: 0.25 spaces per dwelling unit; ST: 0.05 per dwelling unit; bicycle parking provide per zoning code
BICYCLE REQUIREMENTS - RETAIL	17.117.110	LT: total 2 spaces; ST: total 8 spaces LT: 1 per 12k; ST: 1 per 2k; bicycle parking provided per zoning code

PROJECT SCHEDULE



1. Horizontal

i.	Submit application for Final Development Plan	1 year following PDP approval	
ii.	Anticipated FDP approval date by Agency	1 year following submittal of Horizontal FDP application	
iii.	Commence construction – Initial PX and/or PZ job (additional PX and PZ jobs will be tied to each later phase)	2 years following FDP approval	

2. Phase I – T3 Development (plus PZ/PX for that phase)

i.	Submit application for Final Development Plan	1 year following PDP approval	
ii.	Anticipated FDP approval date by Agency	1 year following submittal of Phase I FDP application	
iii.	Commence construction	2 years following FDP approval (allowing time to secure affordable financing)	

3. Phase II – T1 Development & T2 Development (plus PZ/PX for that phase)

i.	Submit application for Final Development Plan	3 years following PDP approval	
ii.	Anticipated FDP approval date by Agency	1 year following submittal of Phase II FDP application	
iii.	Commence construction	The latter of 2 years following FDP approval or 2 years following Phase I commencement of construction	

4. Phase III – T4 Development (plus PZ/PX for that phase)

i.	Submit application for Final Development Plan	5 years following PDP approval	
ii.	Anticipated FDP approval date by Agency	1 year following submittal of Phase III FDP application	
iii.	Commence construction	The latter of 2 years following FDP approval or 2 years following Phase II commencement of construction	

All dates are subject to force majeure events

SITE LOCATION



LOCATION OF PROJECT SITE WITHIN WEST OAKLAND NEIGHBORHOOD



1.40 ACRE PROJECT SITE



NEW HOME RATING SYSTEM, VERSION 7.0

Blueprint Scoresheet

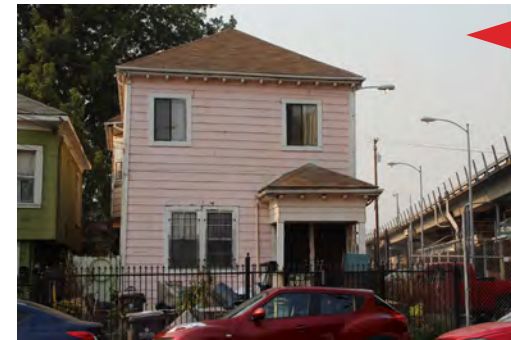
		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	Responsible Party	Blueprint Page No.
		Possible Points							
CALGreen									
Yes	CALGreen Res (REQUIRED)	4		1	1	1	1		
C. LANDSCAPE									
Yes	C1. Plants Grouped by Water Needs (Hydrozoning)	1					1		
C3. Resource Efficient Landscapes									
Yes	C3.1 No Invasive Species Listed by Cal-IPC	1				1			
Yes	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species	1					3		
E. EXTERIOR									
Yes	E4. Durable and Non-Combustible Cladding Materials	1				1			
E5. Durable Roofing Materials									
Yes	E5.2 Roofing Warranty for Shingle Roofing	Y	R	R	R	R	R		
F. INSULATION									
F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content									
Yes	F1.1 Walls and Floors	1				1			
F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions									
Yes	F2.1 Walls and Floors	1			1				
Yes	F2.2 Ceilings	1			1				
G. PLUMBING									
G2. Install Water-Efficient Fixtures									
Yes	G2.1 WaterSense Showerheads 1.8 gpm with Matching Compensation Valve	2					2		
Yes	G2.2 WaterSense Bathroom Faucets with 1.0gpm or less	1					1		
1.28 gpf	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams 1.28gpf OR 1.1 gpf	1					2		
H. HEATING, VENTILATION, AND AIR CONDITIONING									
H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality									
Yes	H6.1 Meet ASHRAE Standard 62.2-2010 Ventilation Residential Standards	Y	R	R	R	R	R		
J. BUILDING PERFORMANCE AND TESTING									
J5. Building Performance Exceeds Title 24 Part 6									
Option 1: Compliance Over Title 24	J5.1 Home Outperforms Title 24	25		25+					
N. COMMUNITY									
N1. Smart Development									
Yes	N1.1 Infill Site	2	1				1		
N2. Home(s)/Development Located Near Transit									
Yes	N2.2. Within 1/2 mile of a Major Transit Stop	2	2						
N3. Pedestrian and Bicycle Access									
N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services									
10	Enter the number of Tier 1 services								
10	Enter the number of Tier 2 services								
Yes	N9.2 Community Location	2	1		1				
O. OTHER									
Yes	O1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	R		
Yes	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors	2		0.5		1	0.5		
Yes	O7. Green Appraisal Addendum	Y	R	R	R	R	R		
P. DESIGN CONSIDERATIONS									
P3. Commissioning									
Yes	P3.1 Design Phase	2		1	1				
Yes	P3.2 Construction Phase	3		2	1				
Yes	P3.3 Post-Construction Phase	3		2	1				
Summary			Community	Energy	IAQ/Health	Resources	Water		
Total Available Points in Specific Categories		375.5	46	110.5	70	95	54		
Minimum Points Required in Specific Categories		50	2	25	6	6	6		
Total Points Targeted		58	6	31.5	7	6	7.5		



Final Development Plan
 Mandela Station @ West Oakland BART: T3
 1451 7th St, Oakland, CA 94607
 July 24, 2020

GREENPOINT RATED CHECKLIST

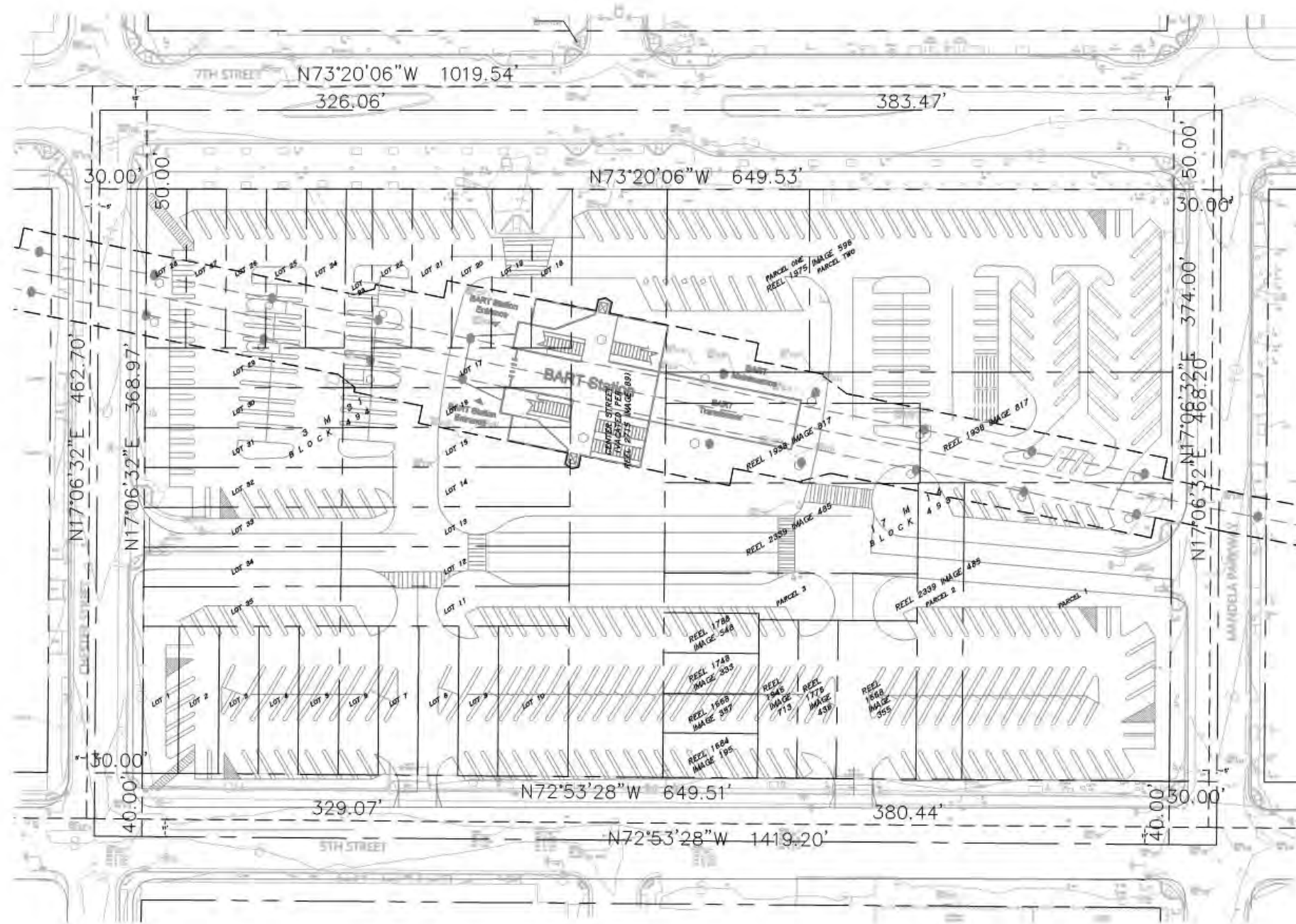
A-01.06



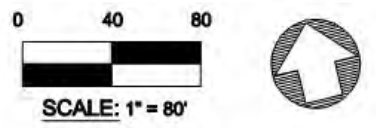
1,2,3,4: VIEW OF WEST RESIDENTIAL HOUSING

5,6: VIEW OF SOUTH RESIDENTIAL HOUSING

7: VIEW OF WEST SIDE OF BART PLAZA



NOTE:
 EXISTING BOUNDARY FROM RECORD INFORMATION FOR
 PLANNING PURPOSES ONLY

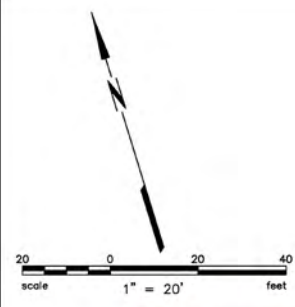


SYMBOLS & LEGEND

- EXISTING**
- FOUND CITY OF OAKLAND MONUMENT
 - VALVE
 - FIRE HYDRANT
 - BACKFLOW PREVENTION DEVICE
 - RISER
 - SIGN
 - STREET LIGHT (UNLESS NOTED OTHERWISE)
 - LIGHT POLE (UNLESS NOTED OTHERWISE)
 - GUY ANCHOR
 - UTILITY POLE
 - TELEPHONE MANHOLE
 - MANHOLE
- BOUNDARY**
- SUBJECT PROPERTY
 - ADJOINING LOT
 - CENTERLINE
 - SURVEY TIE
 - STORM DRAIN
 - SANITARY SEWER
 - OVERHEAD UTILITY LINE
 - CONCRETE
 - DETECTABLE WARNING

ABBREVIATIONS

- AC ASPHALT CONCRETE
- CA CABLE
- CB CATCH BASIN
- CO CLEAN OUT
- COMM COMMUNICATION
- CONC CONCRETE
- DI DROP INLET
- DWY DRIVEWAY
- E ELECTRIC
- EP EDGE OF PAVEMENT
- FL SURFACE FLOWLINE
- G GAS
- GYP GUY POLE
- INV BOTTOM INSIDE OF PIPE
- LG LIP OF GUTTER
- M METER
- MH MANHOLE
- OH OVERHEAD UTILITY LINE
- SD STORM DRAIN
- SL STREETLIGHT
- SS SANITARY SEWER
- TC TOP FACE OF CURB
- TEL TELECOMMUNICATION LINE
- TG TOP OF GRATE
- TS TRAFFIC SIGNAL
- TV TELEVISION
- UB UTILITY BOX
- V VALVE
- VLT VAULT
- W WATER
- WM WATER METER



PARCEL ONE REEL 1075 IMAGE 596
 PARCEL TWO REEL 1075 IMAGE 817
 REEL 1938 IMAGE 817
 REEL 1938 IMAGE 817

DRAWING NAME: K:\DATA\BART\BART_00000000\BART_00000000.dwg DATE: 12/06/2018 10:00:00 AM

Revisions	
No.	Description

Date:	12/06/2018
Scale:	AS SHOWN
Design:	N/A
Drawn:	ADD
Approved:	KS
Job No.:	180384

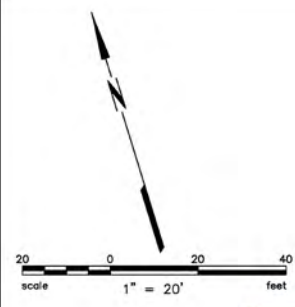
Drawing Number:	180384
Page:	4 OF 5

SYMBOLS & LEGEND

	EXISTING	FOUND CITY OF OAKLAND MONUMENT
	VALVE	VALVE
	FIRE HYDRANT	FIRE HYDRANT
	BACKFLOW PREVENTION DEVICE	BACKFLOW PREVENTION DEVICE
	RISER	RISER
	SIGN	SIGN
	STREET LIGHT (UNLESS NOTED OTHERWISE)	STREET LIGHT (UNLESS NOTED OTHERWISE)
	LIGHT POLE (UNLESS NOTED OTHERWISE)	LIGHT POLE (UNLESS NOTED OTHERWISE)
	UTILITY POLE	UTILITY POLE
	GUY ANCHOR	GUY ANCHOR
	TELEPHONE MANHOLE	TELEPHONE MANHOLE
	MANHOLE	MANHOLE
	SUBJECT PROPERTY	SUBJECT PROPERTY
	ADJOINING LOT	ADJOINING LOT
	CENTERLINE	CENTERLINE
	SURVEY TIE	SURVEY TIE
	STORM DRAIN	STORM DRAIN
	SANITARY SEWER	SANITARY SEWER
	OVERHEAD UTILITY LINE	OVERHEAD UTILITY LINE
	CONCRETE	CONCRETE
	DETECTABLE WARNING	DETECTABLE WARNING

ABBREVIATIONS

AC	ASPHALT CONCRETE
CA	CABLE
CB	CATCH BASIN
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
DI	DROP INLET
DWY	DRIVEWAY
E	ELECTRIC
EP	EDGE OF PAVEMENT
FL	SURFACE FLOWLINE
G	GAS
GYP	GUY POLE
INV	BOTTOM INSIDE OF PIPE
LG	LIP OF GUTTER
M	METER
MH	MANHOLE
OH	OVERHEAD UTILITY LINE
SD	STORM DRAIN
SL	STREETLIGHT
SS	SANITARY SEWER
TC	TOP FACE OF CURB
TEL	TELECOMMUNICATION LINE
TG	TOP OF GRATE
TS	TRAFFIC SIGNAL
TV	TELEVISION
UB	UTILITY BOX
V	VALVE
VL	VAULT
W	WATER
WM	WATER METER



1646 N. CALIFORNIA BLVD.,
SUITE 400
WALNUT CREEK, CA 94596
(925) 940-2200
www.bkf.com

BKF 100 YEARS
ENGINEERS · SURVEYORS · PLANNERS

CALIFORNIA
COUNTY OF ALAMEDA

TOPOGRAPHIC AND BOUNDARY SURVEY
WEST OAKLAND BART

Date:	12/06/2018
Scale:	AS SHOWN
Design:	N/A
Drawn:	KS
Approved:	KS
Job No.:	180384

Revisions

No.	
-----	--

Drawing Number:
180384

5 OF 5

DRAWING NAME: K:\Users\BKF\My Documents\BART_TDC_Survey\BART\Maping\Topo\180384.dwg
DATE: 12/06/2018 10:00:00 AM
USER: BKF

VESTING TENTATIVE PARCEL MAP NO. 10940

FOR CONDOMINIUM PURPOSES

SHEET INDEX

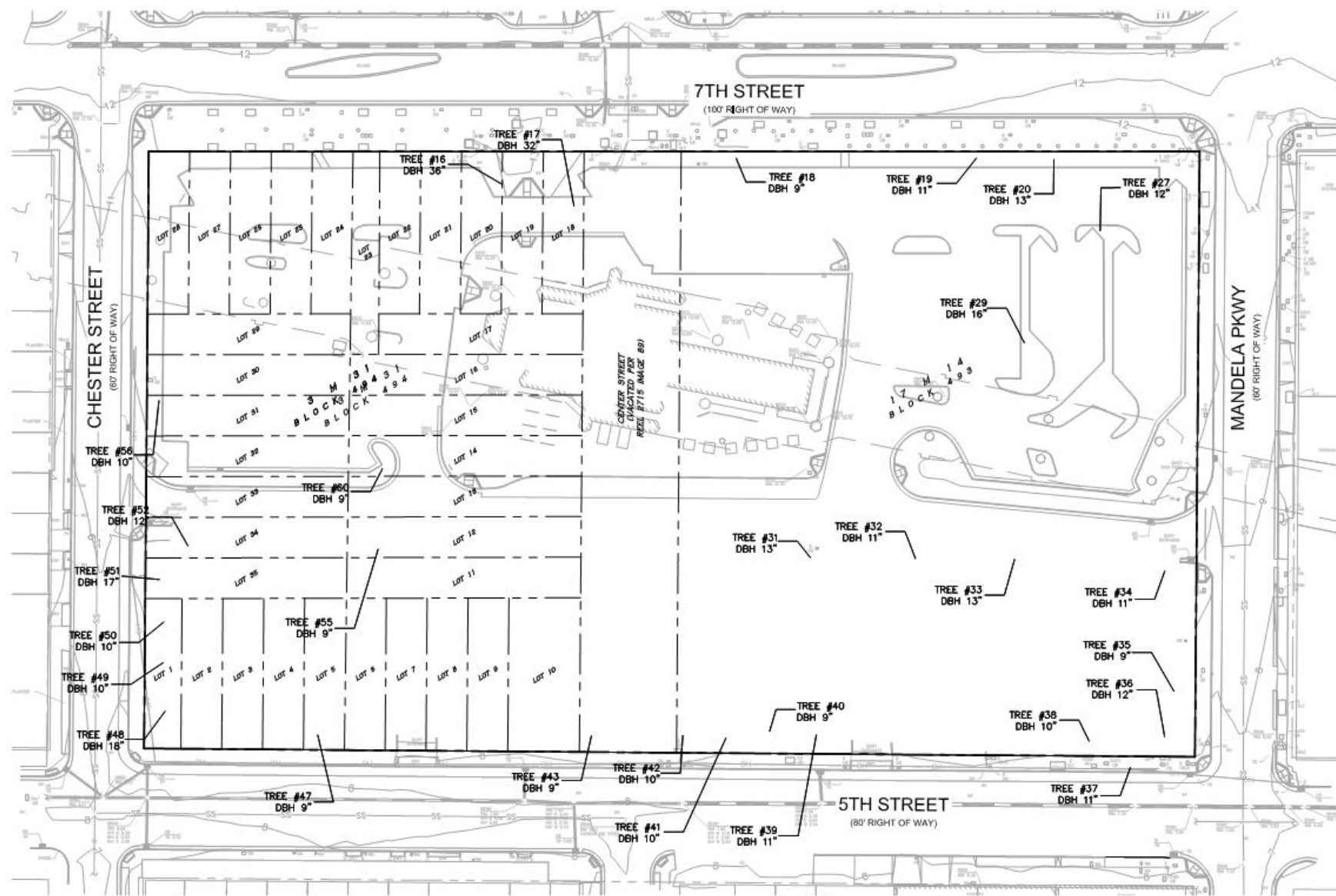
SHEET #	SHEET TITLE
1	TITLE SHEET/EXISTING SITE PLAN
2	PROPOSED SITE PLAN
3	EMERGENCY VEHICLE ACCESS EASEMENT

SYMBOLS & LEGEND

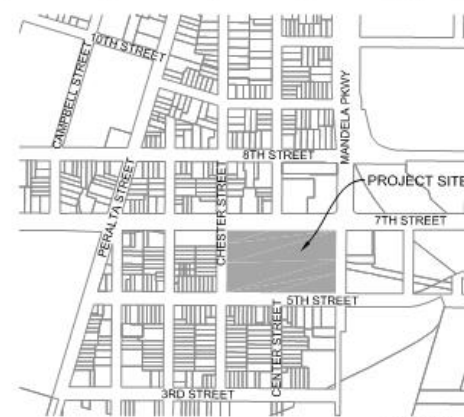
EXISTING	SYMBOL	DESCRIPTION
VALVE		VALVE
FIRE HYDRANT		FIRE HYDRANT
BACKFLOW PREVENTION DEVICE		BACKFLOW PREVENTION DEVICE
RISER		RISER
SIGN		SIGN
STREET LIGHT		STREET LIGHT
LIGHT POLE		LIGHT POLE
GUY ANCHOR		GUY ANCHOR
UTILITY POLE		UTILITY POLE
TELEPHONE MANHOLE		TELEPHONE MANHOLE
MANHOLE		MANHOLE
EXISTING PROPERTY LINE		EXISTING PROPERTY LINE
ADJOINING LOT CENTERLINE		ADJOINING LOT CENTERLINE
SURVEY TRIE		SURVEY TRIE
STORM DRAIN		STORM DRAIN
SANITARY SEWER		SANITARY SEWER
OVERHEAD UTILITY LINE		OVERHEAD UTILITY LINE
CONCRETE		CONCRETE
DETECTABLE WARNING		DETECTABLE WARNING
BOUNDARY LINE		BOUNDARY LINE

ABBREVIATIONS

AC	ASPHALT CONCRETE
CA	CABLE
CB	CATCH BASIN
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
DBH	DIAMETER AT BREAST HEIGHT
DI	DROP INLET
DWY	DRIVEWAY
E	ELECTRIC
EP	EDGE OF PAVEMENT
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
FL	SURFACE FLOWLINE
G	GAS
GYP	GUY POLE
INV	BOTTOM INSIDE OF PIPE
LG	LIP OF GUTTER
M	METER
MH	MANHOLE
MIN	MINIMUM
OH	OVERHEAD UTILITY LINE
PL	PROPERTY LINE
R	RADIUS
SD	STORM DRAIN
SF	SQUARE FEET
SL	STREETLIGHT
SS	SANITARY SEWER
(T)	TOTAL
TC	TOP FACE OF CURB
TEL	TELECOMMUNICATION LINE
TG	TOP OF GRATE
TV	TRAFFIC SIGNAL
TS	TELEVISION
UB	UTILITY BOX
V	VALVE
VT	VAULT
W	WATER
WM	WATER METER



EXISTING CONDITIONS
SCALE 1"=40'



KEY MAP
SCALE 1"=500'

Tree number	DBH (in)	Species Name
16	36	Pinus Pinea
17	32	Pinus Pinea
20	13	Liriodendron Tulipifera
21	12	Maytenus Boaria
29	16	Maytenus Boaria
31	13	Liriodendron Tulipifera
33	13	Liriodendron Tulipifera
36	12	Liriodendron Tulipifera
48	18	Platanus X Acerifolia
51	17	Platanus X Acerifolia
52	12	Liriodendron Tulipifera

PROPERTY ADDRESS:
1451 7TH STREET
OAKLAND, CA 94607

OWNER AND SUBDIVIDER:
SAN FRANCISCO BAY AREA RAPID TRANSIT DISTRICT
300 LAKESIDE DRIVE, 22ND FLOOR
OAKLAND, CA 94612
PHONE: 510-597-6300

BASIS OF BEARINGS

THE BEARING OF NORTH 72°53'28" WEST BETWEEN FOUND MONUMENTS ON 5TH STREET BETWEEN HENRY STREET AND KIRKHAM STREET AS SHOWN ON THAT RECORD OF SURVEY, R/S 1687, FILED AUGUST 7, 2000 IN BOOK 25 OF RECORDS OF SURVEY AT PAGES 58-59, INCLUSIVE, ALAMEDA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

THE ELEVATIONS SHOWN HEREON ARE BASED ON A FOUND CITY OF OAKLAND BENCHMARK, DESIGNATION 25/H, BEING A BRONZE DISK STAMPED, "SEC 25 STA H," ELEVATION 10.784 FEET (DATUM = MEAN SEA LEVEL).

NOTES

- BASED ON INFORMATION CONTAINED IN THE PRELIMINARY TITLE REPORT, ORDER NUMBER NCS-891862-SC, DATED JANUARY 31, 2018, PROVIDED BY FIRST AMERICAN TITLE COMPANY, THE SUBJECT PROPERTY IS OWNED BY SFBART BEING ASSESSOR PARCEL NUMBERS 004-0077-003, 004-0071-003, AND THE VACATION OF CENTER STREET; THERE ARE 36 PARCELS, NOT INCLUDING THE VACATION OF CENTER STREET, THE EXISTING PARCELS WILL BE RECONFIGURED TO CREATE 3 LOTS AND ONE REMAINDER PARCEL VIA PARCEL MAP TO BE PROCESSED.
- THE INTENT OF THE MAP IS TO MERGE THE 36 PARCELS AND THE VACATED CENTER STREET INTO THE FOUR CONSOLIDATE PARCELS DEFINING THE KEY COMPONENTS OF THE NEW DEVELOPMENT; LOT 1 MARKET RATE RESIDENTIAL TOWER, LOT 2 OFFICE BUILDING, LOT 3 AFFORDABLE HOUSING, AND THE DESIGNATED REMAINDER PARCEL FOR THE EXISTING WEST OAKLAND BART STATION AND NEW ENTRY PLAZAS.
- THE CONTROL SURVEY WAS CONDUCTED IN NOVEMBER OF 2018.
- ALL UNITS ARE IN US SURVEY FEET AND DECIMALS THEREOF.
- THE TOPOGRAPHIC SURVEY IS BASED ON A FIELD SURVEY COMPLETED IN DECEMBER 2018.
- ALL BUILDINGS TO THE NORTH OF THE BART STATION SHALL BE 30' FROM THE BART PLATFORM, AND ALL BUILDINGS TO THE SOUTH OF THE BART STATION SHALL BE 33' FROM THE BART PLATFORM.
- ALL EMERGENCY VEHICLE ACCESS EASEMENTS SHALL BE 26' WIDE.
- LOTS 1, 2 AND 3 ARE ALLOWED UP TO FOUR COMMERCIAL CONDOMINIUMS ON EACH LOT.
- MULTIPLE MAPS MAY BE FILED FOR THIS PROJECT.

SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.

PAUL KITTRIDGE
PROJECT MANAGER
P.L.S. # 5790



DATE:

1646 N. CALIFORNIA BLVD., SUITE 400
WALNUT CREEK, CA 94596
(925) 940-2200
www.bkf.com

BKF100
YEARS
ENGINEERS • SURVEYORS • PLANNERS

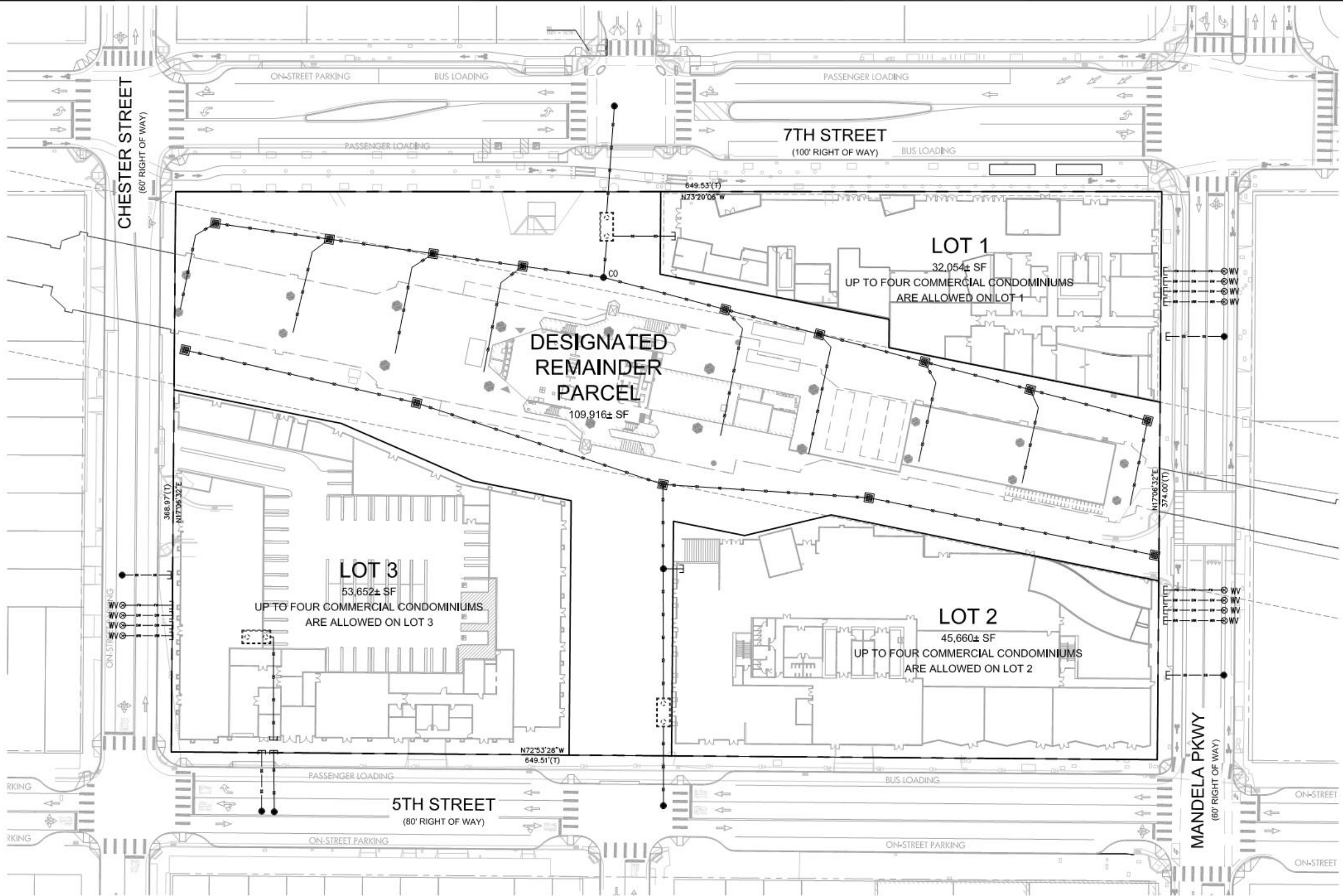
VESTING TENTATIVE PARCEL MAP NO. 10940
TITLE SHEET
 COUNTY OF ALAMEDA
 CITY OF OAKLAND

Revisions	No.	Date	Description
AS SHOWN		04/06/2020	
CC			
ES			

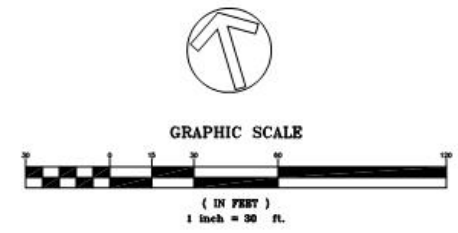
TENTATIVE PARCEL MAP C-1.01A

DRAWING NAME: K:\2018\190384_WestOakland_BART_TOD_Survey\ENG\TENTATIVE PARCEL MAP\SHEETS\01\WOBTMS.dwg
 PLOT DATE: 04-06-20 PLOTTED BY: mitr

DRAWING NAME: K:\2018\190384_WestOakland_BART_TOD_Survey\ENG\TENTATIVE PARCEL MAP\SHEETS\02\0201MPL.dwg
PLOT DATE: 04-06-20 PLOTTED BY: mitr



LEGEND
BOUNDARY LINE
PROPOSED PARCEL LINE

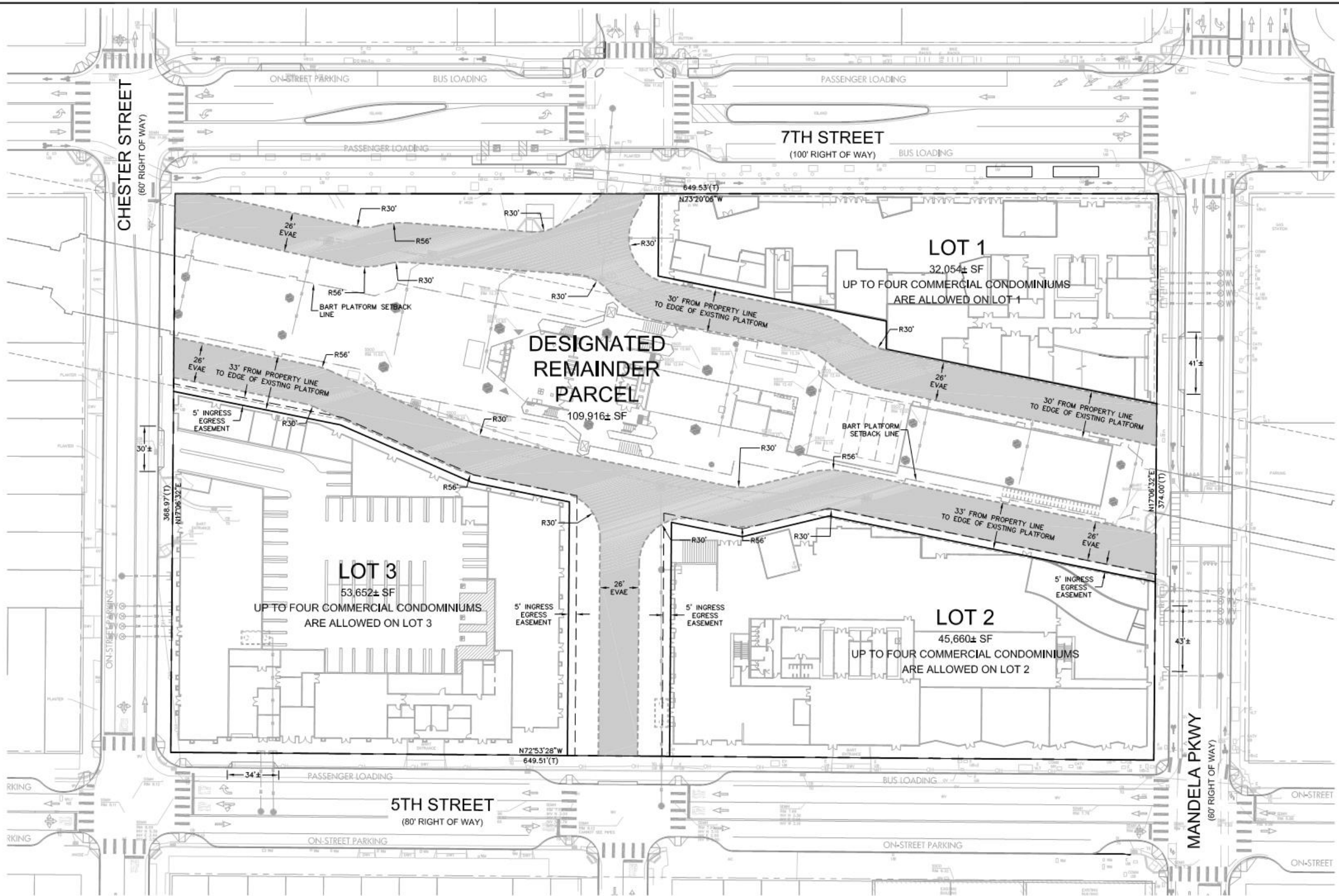


Revisions	No.	Date
AS SHOWN		04/06/2020
IN CC		
REVISED		
NO. 20180384		

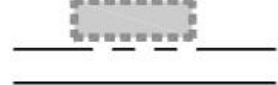
Revisions	No.	Date
AS SHOWN		04/06/2020
CC		
ES		
ES		
No. 20180384		

TENTATIVE
PARCEL MAP
C-1.01C

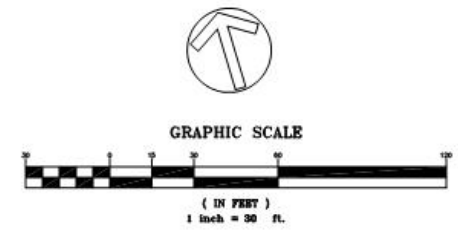
DRAWING NAME: K:\2018\190384_WestOak\ond_BART_TOD_Survey\ENG\TENTATIVE PARCEL MAP\SHEETS\05WOBTMEA.dwg
PLOT DATE: 04-06-20 PLOTTED BY: mitr

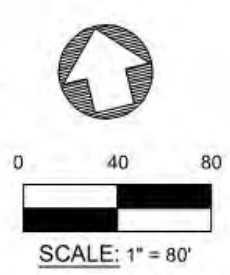
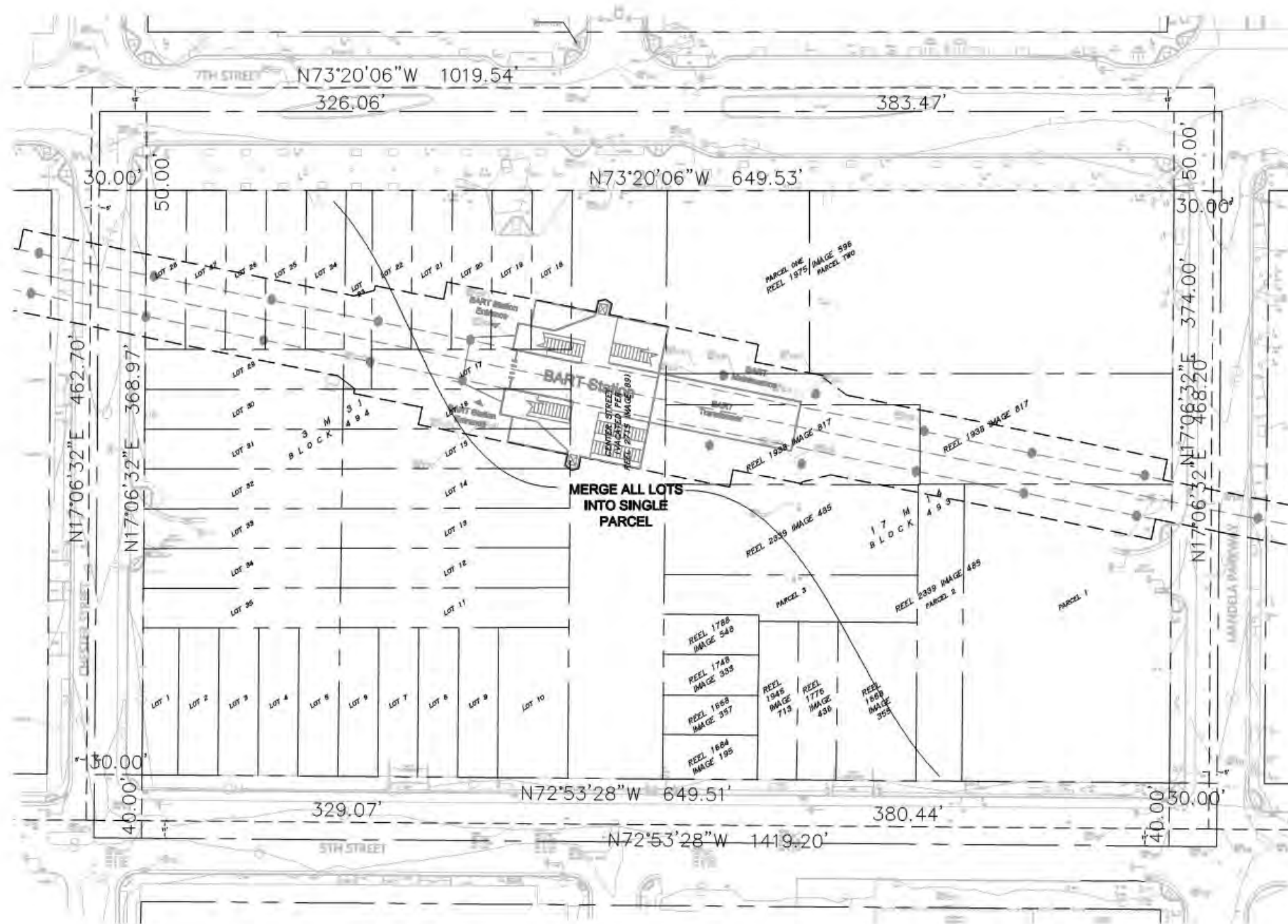


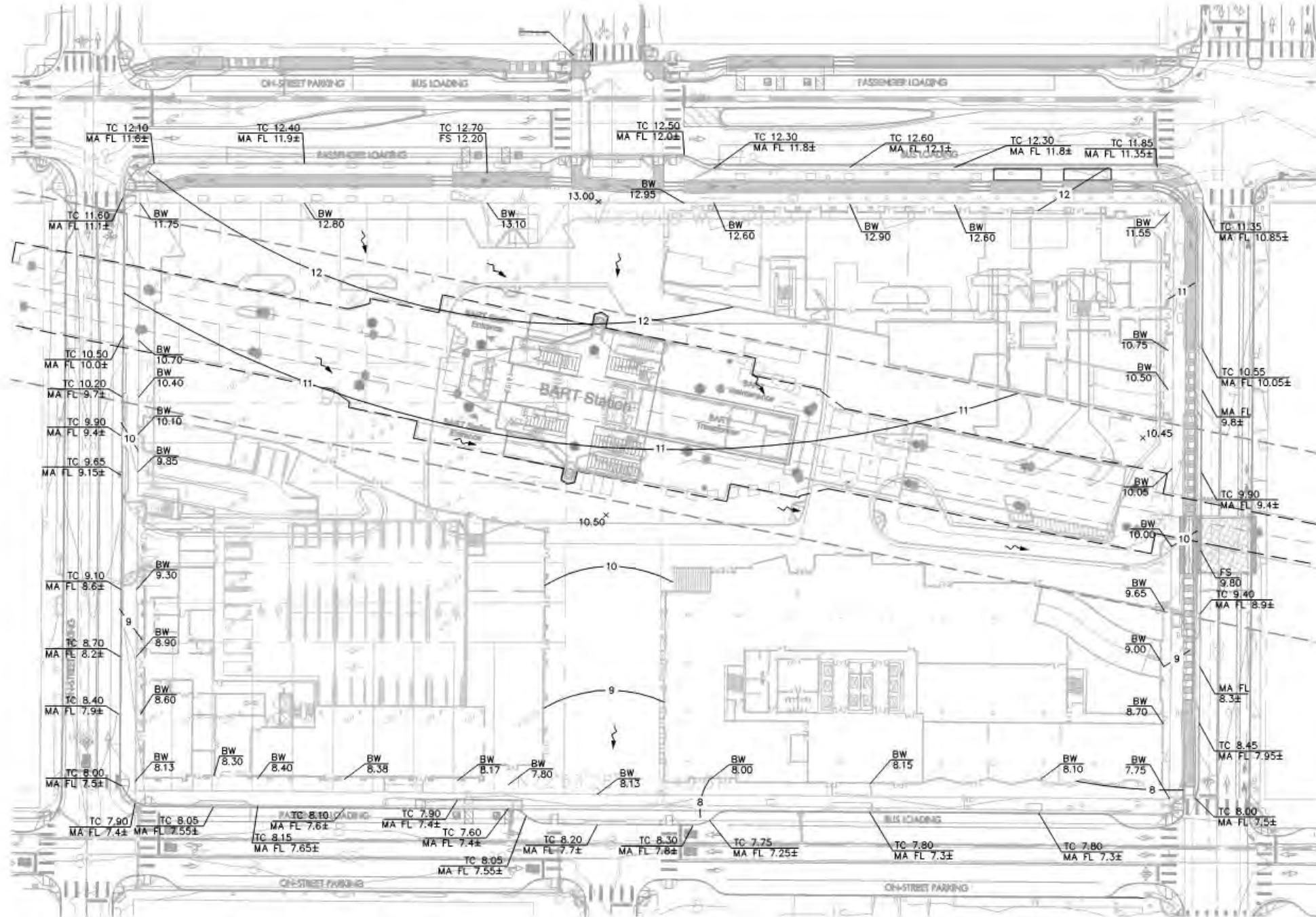
- LEGEND**
- PROPOSED EVAE
 - BOUNDARY LINE
 - PROPOSED PARCEL LINE



EMERGENCY VEHICLE ACCESS EASEMENT







ABBREVIATIONS:

FF	FINISHED FLOOR
FG	FINISHED GROUND
FS	FINISHED SURFACE
FL	FLOW LINE
MA	MATCH
TC	TOP OF CURB
TS	TOP OF STEP
TW	TOP OF WALL

LEGEND:

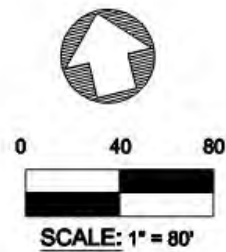
	DIRECTION OF PROPOSED DRAINAGE
	GRADE BREAK
	CONTOUR

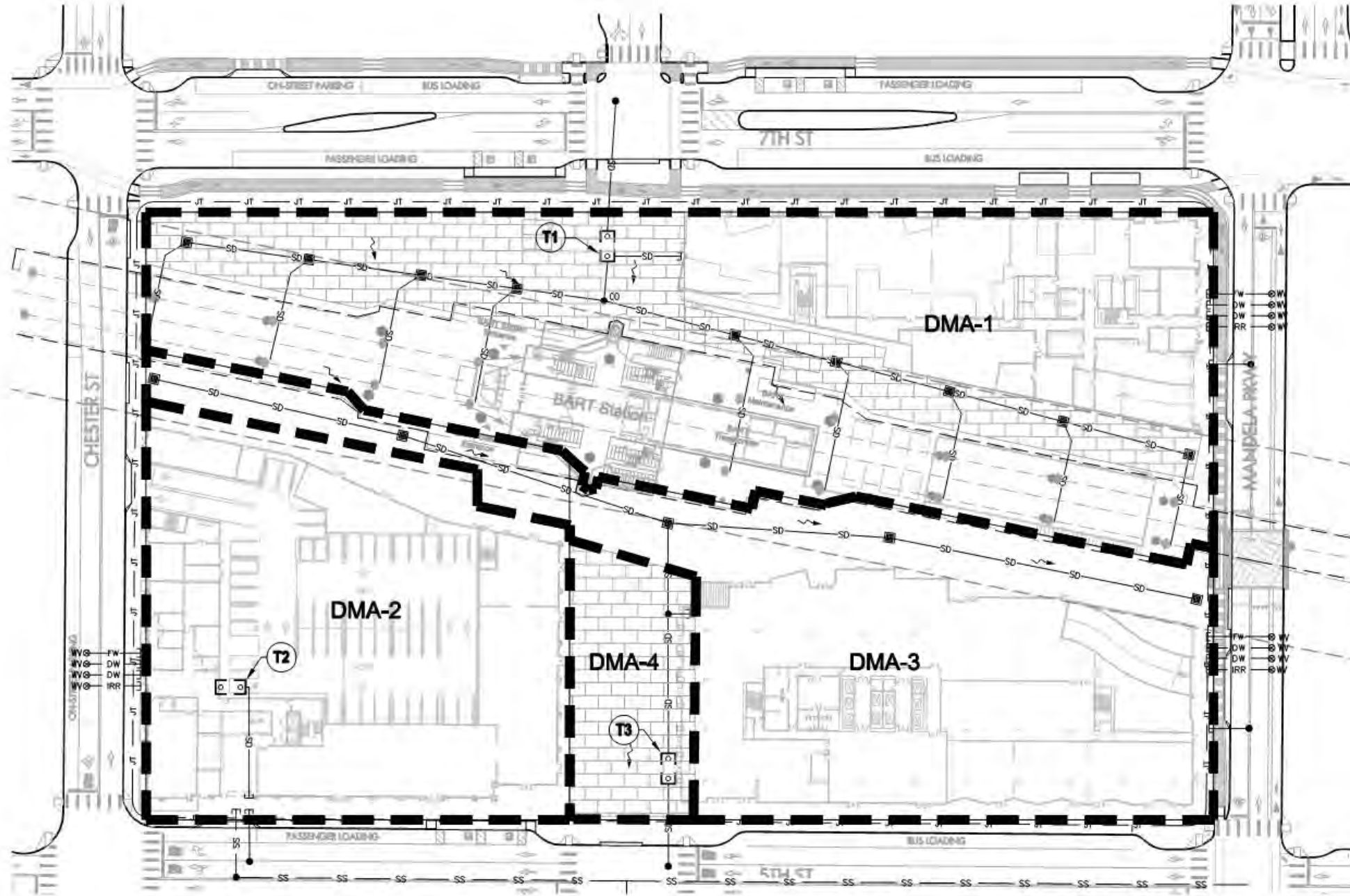
GRADING NOTES:

1. TC ELEVATIONS ARE 6" ABOVE ADJACENT PAVEMENT FL ELEVATIONS, UNLESS OTHERWISE NOTED ON PLAN.

EARTHWORK SUMMARY:

TOTAL EXCAVATION: 51,303 CUBIC YARDS
 TOTAL FILL: 0 CUBIC YARDS
 TOTAL OFFHAUL: 51,303 CUBIC YARDS



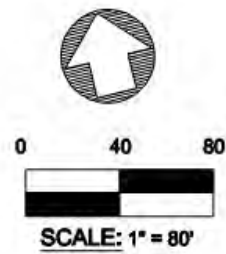


LEGEND:

- DRAINAGE MANAGEMENT AREA (DMA)
- PERMEABLE PAVING
- FILTER VAULT
SEE SHEET C3.01
- TREATMENT AREA LABEL

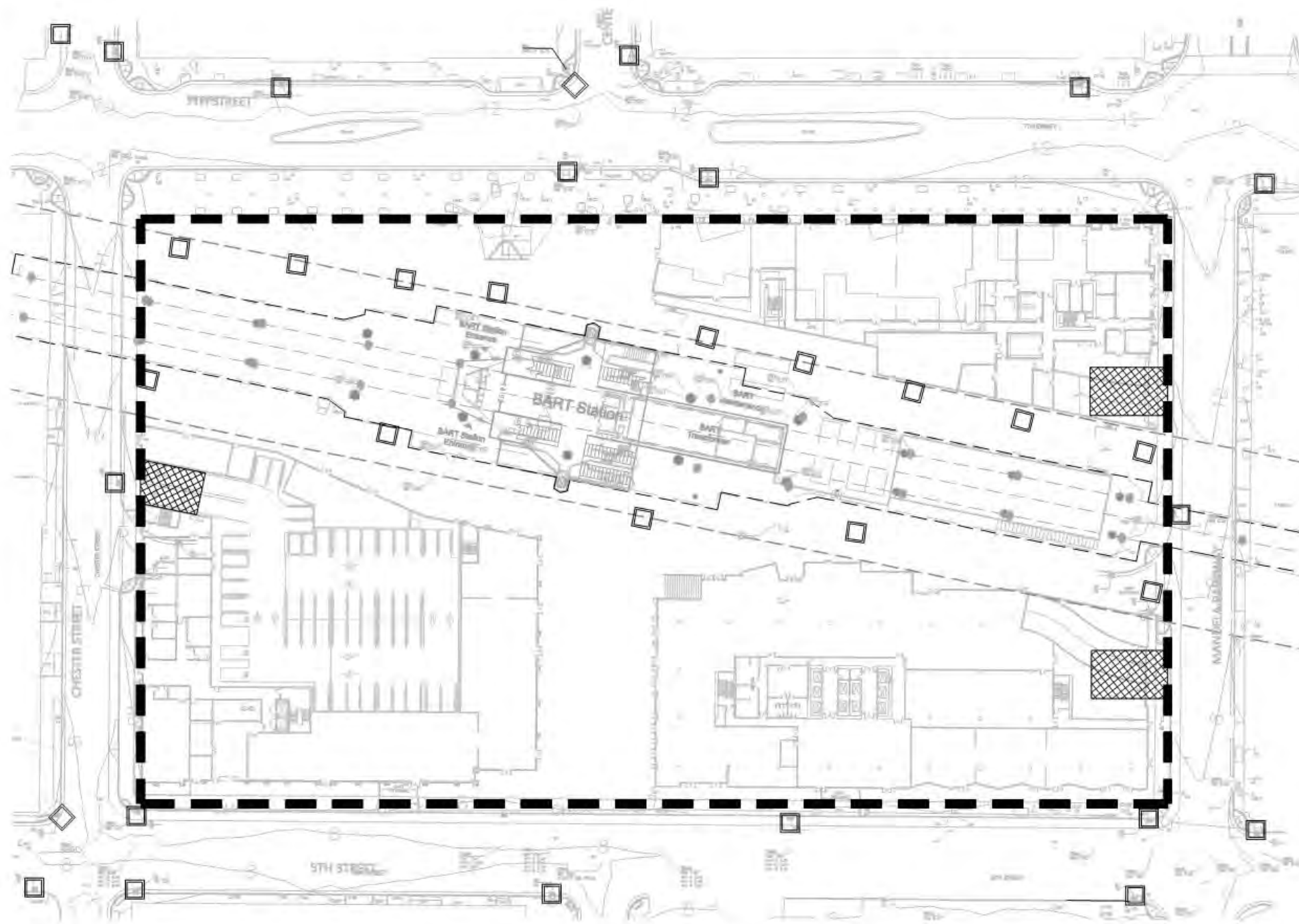
STORMWATER MANAGEMENT NOTES:

1. THE TREATMENT VAULTS WERE SELECTED BASED ON 243,131 SF OF IMPERVIOUS SURFACE AND A TREATMENT INTENSITY OF 0.2 IN/HR. SEE OLD CASTLE WASHINGTON CULD PF-V-8-WA-0001 PERK FILTER DETAIL ON SHEET C3.01. ALL FILTER VAULTS SHOWN ARE COMPRISED OF (31) - 18" CARTRIDGES.






TOTAL SITE AREA (SF)	TOTAL LAND AREA DISTURBED (SF)	TOTAL EXISTING/PRE-PROJECT IMPERVIOUS SURFACE (SF)	REPLACED IMPERVIOUS SURFACE (SF)	NEW IMPERVIOUS SURFACE (SF)	TOTAL POST-PROJECT IMPERVIOUS SURFACE (SF)
243,130	243,130	212,865	177,410	25,135	202,545

DMA	Impervious Area (SF)	Pervious Area (SF)	Treatment Type	Designated Treatment Area
1	74,600	28,445	Filter Vault	T1
2	58,278	0	Filter Vault	T2
3	69,667	0	Filter Vault	T3
4	0	12,140	Permeable Paving	T4



EROSION CONTROL LEGEND:

-  STABILIZED CONSTRUCTION ENTRANCE (TC-1)** WITH ENTRANCE/OUTLET TIRE WASH (TC-3)**
-  STORM DRAIN INLET PROTECTION (SC-10)**
-  FIBER ROLL (SC-05)**

**REFER TO SHEET C4.01 FOR DETAILS

EROSION CONTROL NOTES:

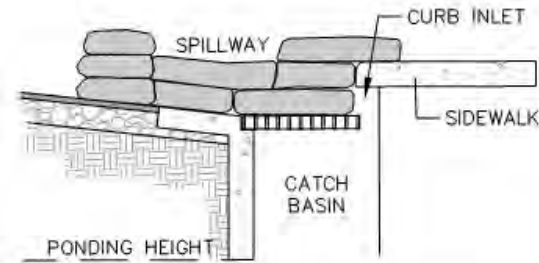
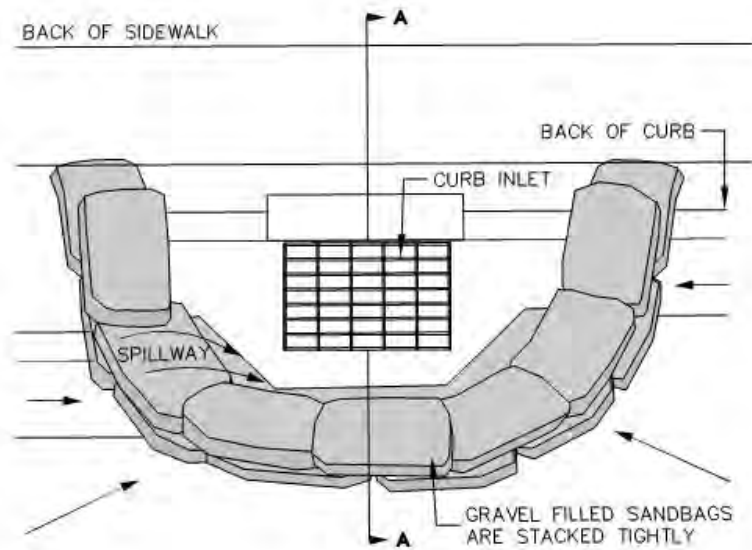
1. SITE ACCESS SHOWN ON THIS PLAN IS PROVIDED FOR INFORMATION PURPOSES ONLY. CONTRACTOR SHALL LOCATE CONSTRUCTION ACCESS DRIVEWAYS AS NECESSARY.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT AND MAINTAINED BY THE CONTRACTOR ON A YEAR-ROUND BASIS UNTIL ALL DISTURBED AREAS ARE STABILIZED UNLESS OTHERWISE PERMITTED BY THE COUNTY INSPECTOR.
3. ALL INLETS RECEIVING STORM WATER RUNOFF FROM THE PROJECT AREA MUST BE EQUIPPED WITH REQUIRED INLET PROTECTION.
4. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF ENTERING THE STORM DRAIN SYSTEM.
5. STOCKPILED EARTHEN MATERIAL SHALL BE EITHER COVERED WITH A TARP OR WATERED SUFFICIENTLY TO ELIMINATE DUST.
6. REFERENCE: "CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICE (BMP) HANDBOOK", JANUARY 2015.



0 40 80



SCALE: 1" = 80'

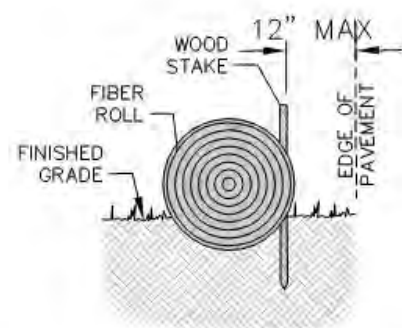


SECTION A-A

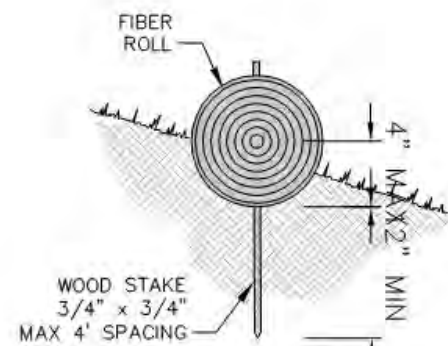
NOTES:

1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
2. SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC, ARE FILLED WITH GRAVEL LAYERED AND PACKED TIGHTLY.
3. LEAVE A ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

1 CURB INLET SEDIMENT BARRIER
NOT TO SCALE



ENTRENCHMENT DETAIL
IN FLAT AREA

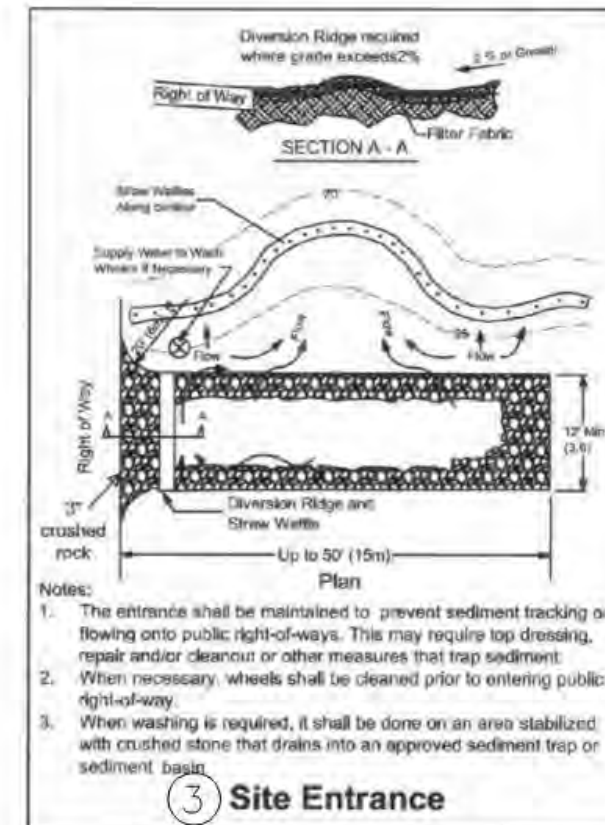


ENTRENCHMENT DETAIL
IN SLOPED AREA

NOTES:

1. FIBER ROLLS ARE TUBES MADE FROM POROUS BIODEGRADABLE FIBER STUFFED IN A PHOTO-DEGRADABLE OPEN WEAVE NETTING. THEY ARE APPROXIMATELY 8" DIAMETER.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH; 2"-4" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL. ROLLS SHOULD BE ABUTTED SECURELY TO PROVIDE A TIGHT JOINT, NOT OVERLAPPED.

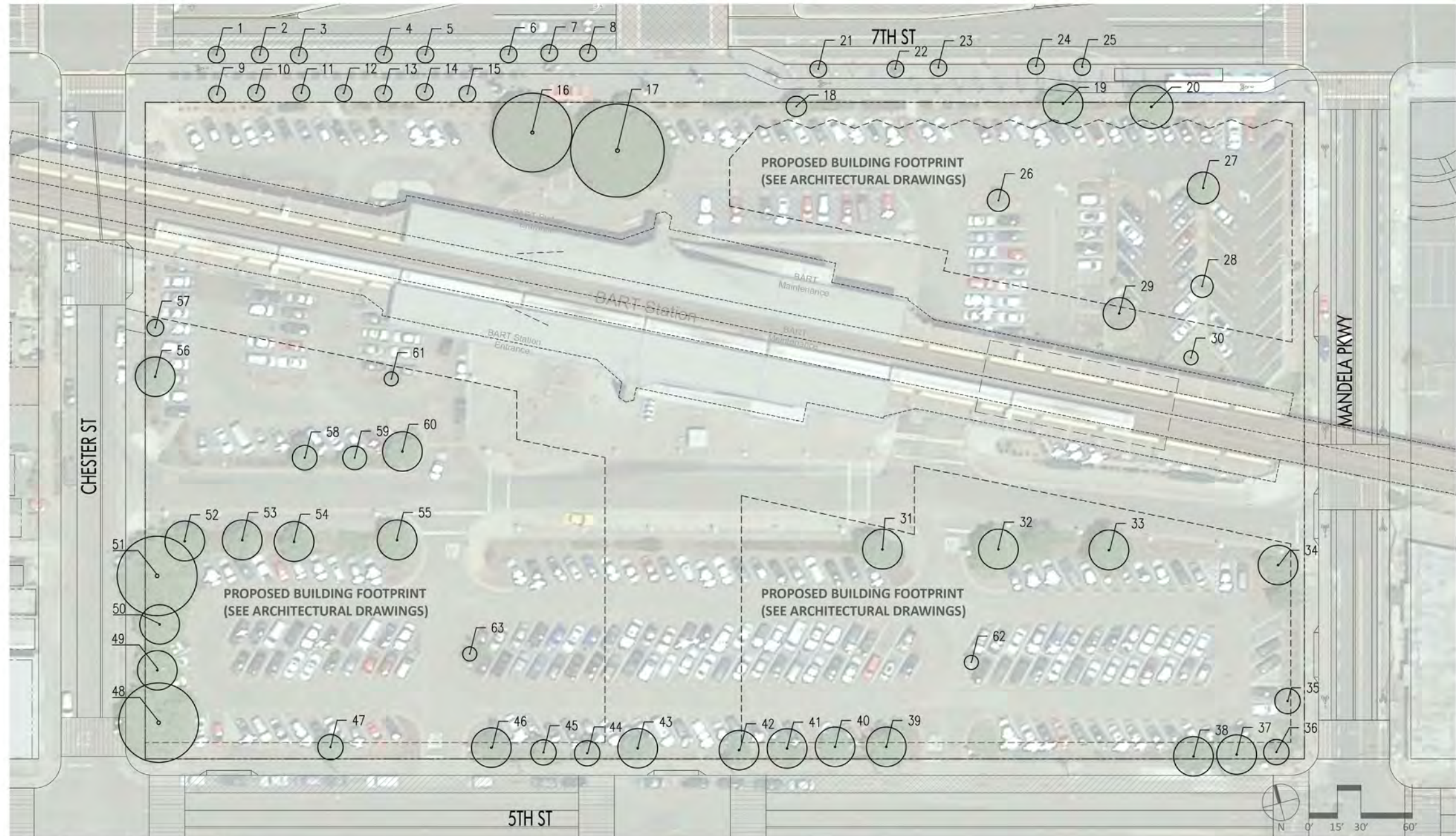
2 FIBER ROLL
NOT TO SCALE



Notes:

1. The entrance shall be maintained to prevent sediment tracking or flowing onto public right-of-ways. This may require top dressing, repair and/or cleanout or other measures that trap sediment.
2. When necessary, wheels shall be cleaned prior to entering public right-of-way.
3. When washing is required, it shall be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin.

3 Site Entrance



Trees Proposed for Removal

Key	Species	DBH (in)
1	Pistacia chinensis	4
2	Pistacia chinensis	4
3	Pistacia chinensis	4
4	Pistacia chinensis	3
5	Pistacia chinensis	5
6	Pistacia chinensis	4
7	Pistacia chinensis	4
8	Pistacia chinensis	4
9	Pistacia chinensis	4
10	Pistacia chinensis	4
11	Pistacia chinensis	4
12	Pistacia chinensis	4
13	Pistacia chinensis	4

Key	Species	DBH (in)
14	Pistacia chinensis	4
15	Pistacia chinensis	4
16	Pinus pinea	36
17	Pinus pinea	32
18	Liriodendron tulipifera	9
19	Liriodendron tulipifera	11
20	Liriodendron tulipifera	13
21	Pistacia chinensis	4
22	Pistacia chinensis	4
23	Pistacia chinensis	4
24	Pistacia chinensis	4
25	Pistacia chinensis	5
26	Maytenus boaria	7

Key	Species	DBH (in)
27	Maytenus boaria	12
28	Maytenus boaria	5
29	Maytenus boaria	16
30	Maytenus boaria	2
31	Liriodendron tulipifera	13
32	Liriodendron tulipifera	11
33	Liriodendron tulipifera	13
34	Liriodendron tulipifera	11
35	Liriodendron tulipifera	9
36	Liriodendron tulipifera	12
37	Liriodendron tulipifera	11
38	Liriodendron tulipifera	10
39	Liriodendron tulipifera	11

Key	Species	DBH (in)
40	Liriodendron tulipifera	9
41	Liriodendron tulipifera	10
42	Liriodendron tulipifera	10
43	Liriodendron tulipifera	9
44	Liriodendron tulipifera	7
45	Liriodendron tulipifera	8
46	Liriodendron tulipifera	8
47	Liriodendron tulipifera	9
48	Platanus X acerifolia	18
49	Platanus X acerifolia	10
50	Platanus X acerifolia	10
51	Platanus X acerifolia	17
52	Liriodendron tulipifera	12

Key	Species	DBH (in)
53	Liriodendron tulipifera	8
54	Liriodendron tulipifera	8
55	Liriodendron tulipifera	9
56	Liriodendron tulipifera	10
57	Liriodendron tulipifera	5
58	Liriodendron tulipifera	8
59	Liriodendron tulipifera	7
60	Liriodendron tulipifera	9
61	Maytenus boaria	5
62	Maytenus boaria	5
63	Maytenus boaria	7

Bolded trees are protected trees.

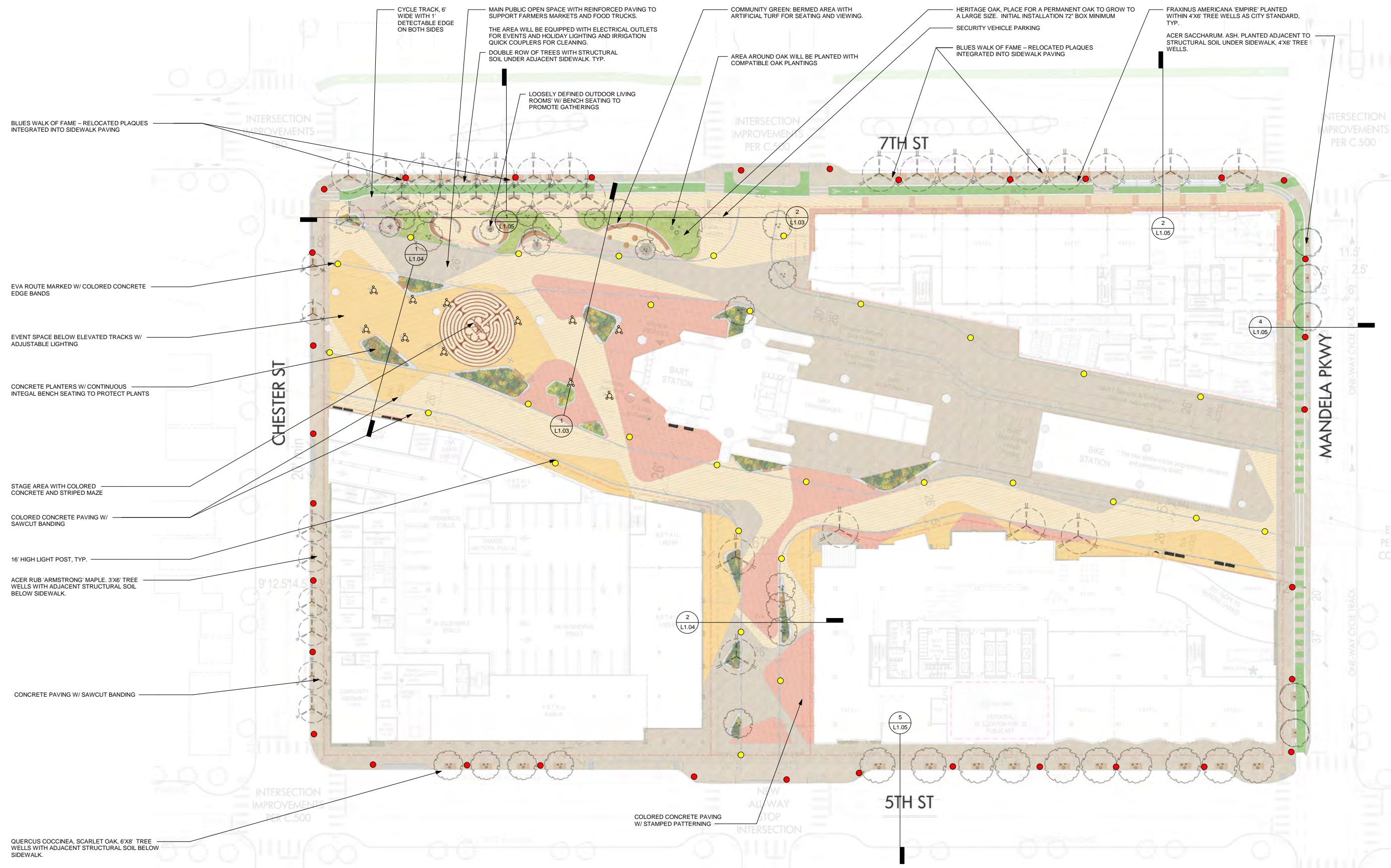
STAMP

KEY

PROJ #: 168-153 WO BART
 DATE: 06/04/20
 SCALE: 1"=60' - 0"
 TITLE:

**TREE
 REMOVAL
 PLAN**

SHEET: **L1.00**



THE PLAZA IS DESIGNED TO SUPPORT AND BALANCE THE NEEDS OF FUTURE USERS. THESE PATRONS WILL VARY FROM COMMUTERS TO THOSE COMING TO ATTEND LARGE EVENTS OR SIMPLY TO VISIT THE UNIQUE MARKETS. VARIOUS SIZED GATHERING SPACES ACCOMMODATE DIVERSE USES.

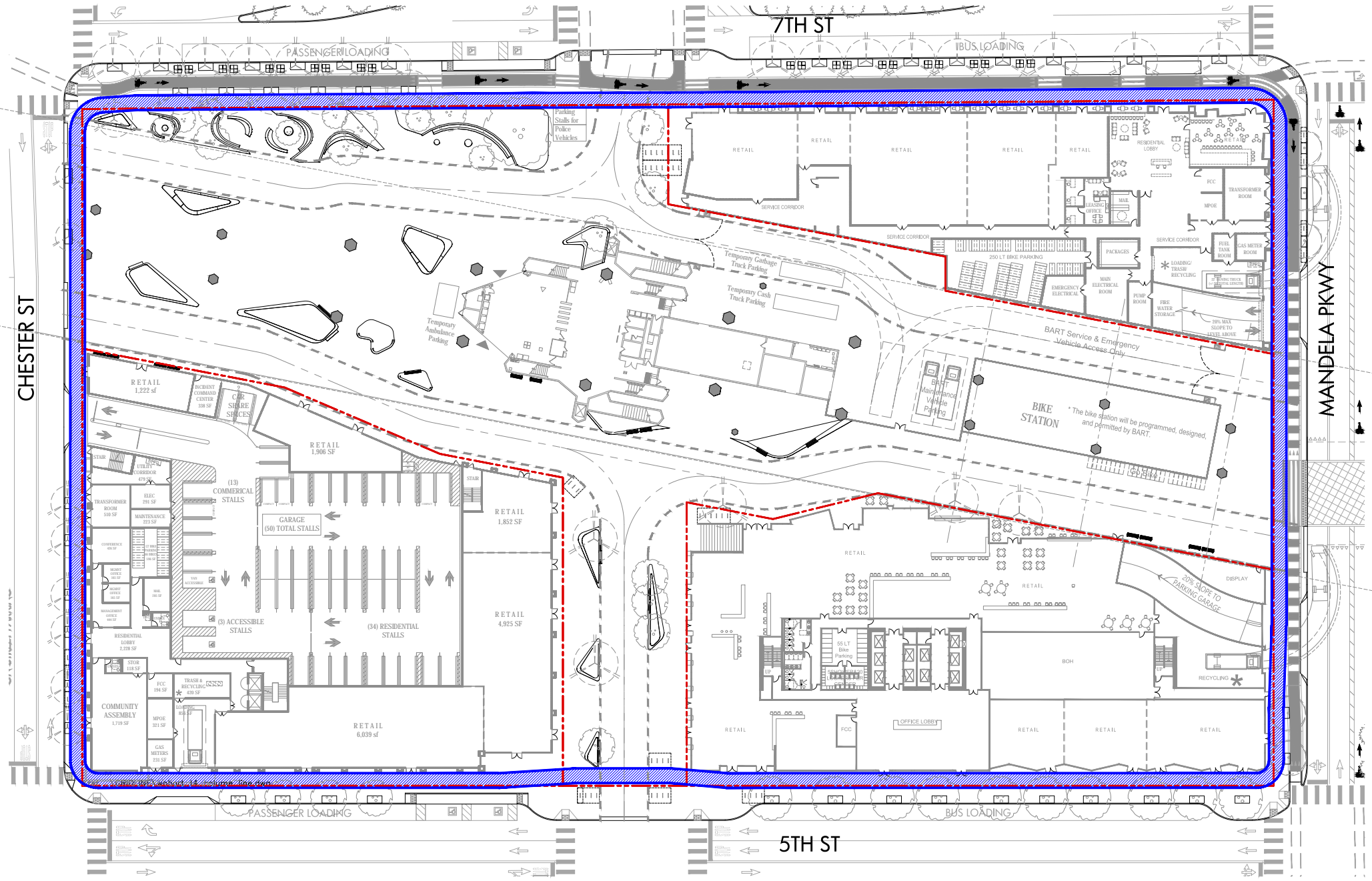
IRRIGATION METHOD & WATER EFFICIENT LANDSCAPE ORDINANCE

- IRRIGATION SYSTEM WILL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH. ALL SELECTED COMPONENTS TO BE COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE AND MINIMUM MAINTENANCE REQUIREMENT.
- THE SYSTEM WILL BE DRIPLINE IRRIGATION AS APPROPRIATE TO PLANT TYPE, EXPOSURE AND SLOPE CONDITIONS.
- CONTROL OF THE SYSTEM WILL BE VIA A WEATHER-ENABLED CONTROLLER CAPABLE OF DAILY SELF-ADJUSTMENT BASED ON REAL-TIME WEATHER CONDITIONS AS MEASURED BY AN ON-SITE WEATHER SENSOR.
- THE SYSTEM WILL INCLUDE A MASTER CONTROL VALVE AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
- THE LANDSCAPE IS OVER 500 SQUARE FEET OF NEW LANDSCAPING AND WILL THEREFORE MEET THE REQUIREMENTS OF THE WATER EFFICIENCY LANDSCAPE ORDINANCE (WELO): [HTTPS://WATER.CA.GOV/LEGACYFILES/WATERUSEEFFICIENCY/LANDSCAPEORDINANCE/DOCS/TITLE%202023%20EXTRACT%20-%20OFFICIAL%20OCR%20PAGES.PDF](https://water.ca.gov/legacy/files/wateruseefficiency/landscapeordinance/docs/title%202023%20EXTRACT%20-%20OFFICIAL%20OCR%20PAGES.PDF)

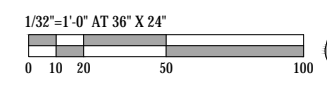
WEST OAKLAND STATION CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN STRATEGIES

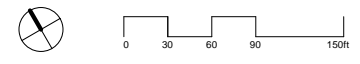
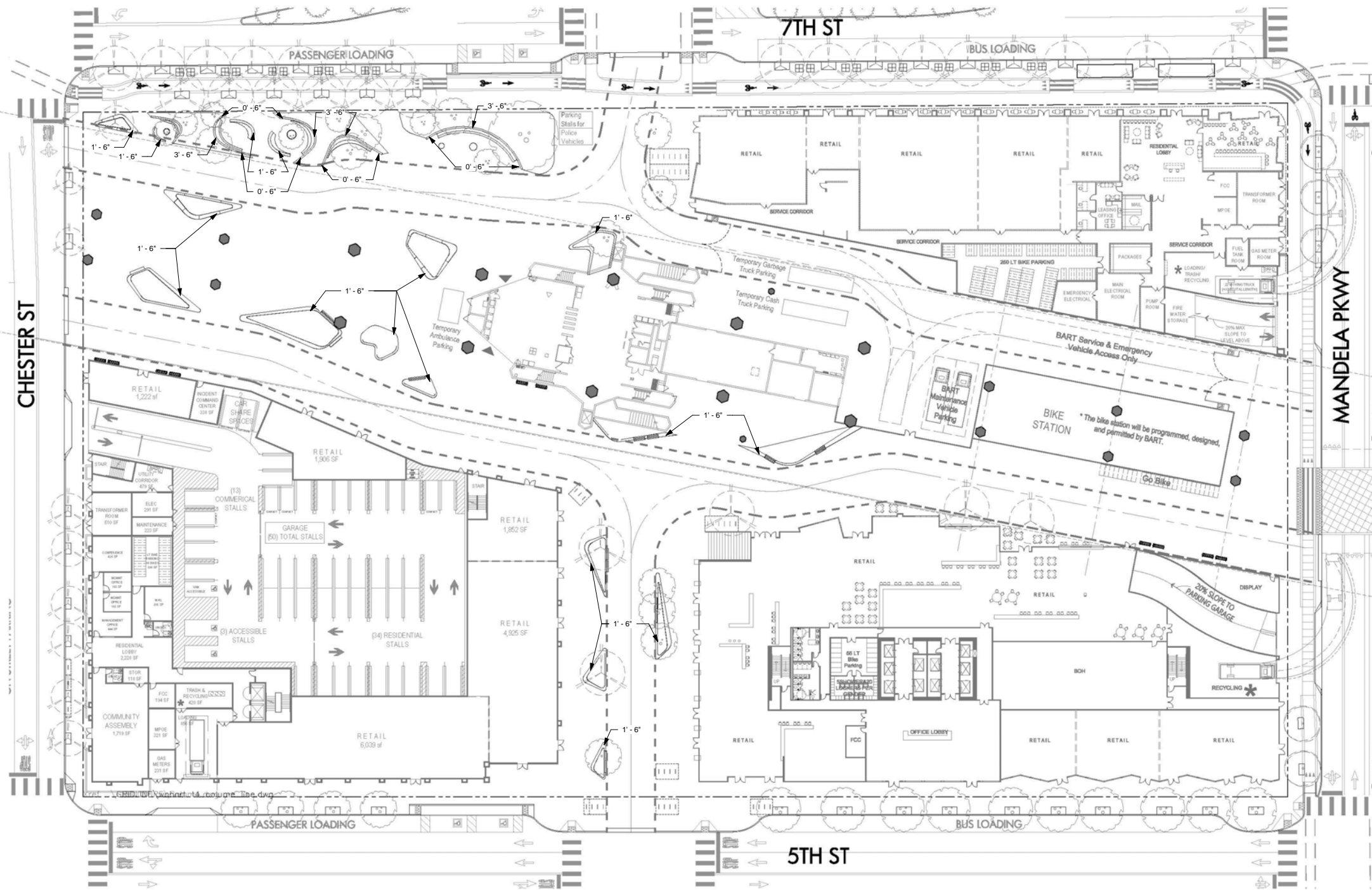
- AREA LIGHTING:**
- ALL LOADING, UNLOADING, KISS AND RIDE, DROP OFF, PICK UP AREAS WILL BE LIT TO 5 CANDLE FOOT. SIDEWALKS AROUND THE SITE WILL BE LIT TO 1.25 CANDLE FOOT (CITY STANDARD), BIKE LOCKER AREAS WILL BE LIT TO 10 CANDLE FOOT, AND EXTERIOR PATRON WAITING AREAS OUTSIDE THE BART FAIR GATES WILL BE LIT TO 10 CANDLE FOOT. SEE SHEET L1.07 FOR MORE DETAIL REGARDING THE LOCATION OF THESE AREAS.
 - POLE LIGHTS ARE KEPT 20' CLEAR OF TREES AND LANDSCAPING. LIGHT POLES ARE LESS THAN 22' HIGH. OTHER LIGHTS WILL BE MOUNTED ON BUILDING, ON BOLLARDS OR ALONG OVERHEAD WIRES (<20' HIGH).
 - THE LIGHTING WILL USE A FULL COLOR INDEX IN ORDER TO BETTER DISTINGUISH FORM AND MOVEMENT.
- AREA PLANTING:**
- PLANTINGS, INCLUDING THE RAISED PLANTERS AND BERMS THEY ARE IN, WILL NOT EXCEED 36" IN HEIGHT. TREES WILL BE LIMBED UP TO 7' HIGH. THE INTENTION IS TO AVOID BLIND SPOTS CAUSED BY HIGH PLANTS AND PLANTERS. TREES WILL BE THE TYPE THAT RETAIN A THIN TRUNK AS THEY GROW AND MATURE. THE TREE CANOPIES WILL NOT BE OVERLY DENSE AND WILL ALLOW LIGHT IN FROM ABOVE.

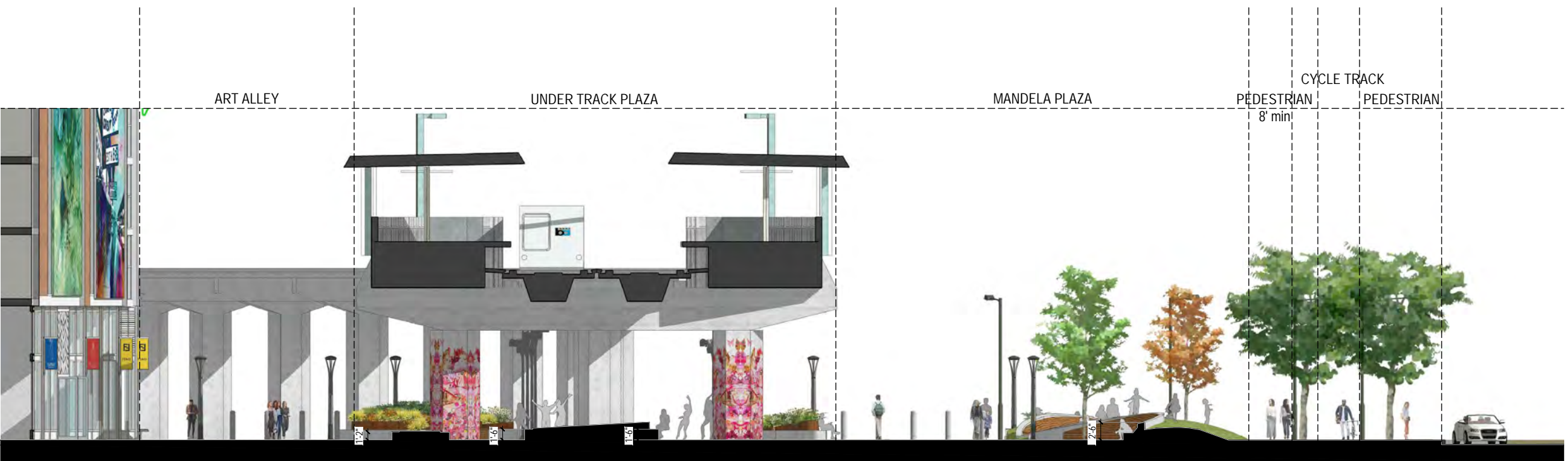
- AREA SITE FURNISHINGS:**
- SITE FURNISHINGS, EARTH FORMS, AND ARTWORK WILL BE DESIGNED NOT TO OBSCURE VISIBILITY. BENCHES HAVE SEPARATORS/ARMRESTS, SO THEY ARE USED FOR SITTING ONLY. PLANTER BOXES AND LANDSCAPE WALLS WILL HAVE GROOVES OR ELEMENTS TO DETER SKATEBOARDERS. FENCES ARE DESIGNED TO RESIST TEMPERING AND CLIMBING.
- AREA SIGNAGE:**
- DIRECTIONAL AND WAYFINDING SIGNAGE WILL BE PLACED AT APPROPRIATE LOCATIONS TO HELP DIRECT THE VISITOR TO THEIR DESTINATION.
- SURVEILLANCE CAMERAS:**
- A SERIES OF SURVEILLANCE CAMERAS WILL BE PLACED TO COVER THE ENTIRE SITE. THESE CAMERAS WILL COMPLY WITH BART FACILITY STANDARDS.



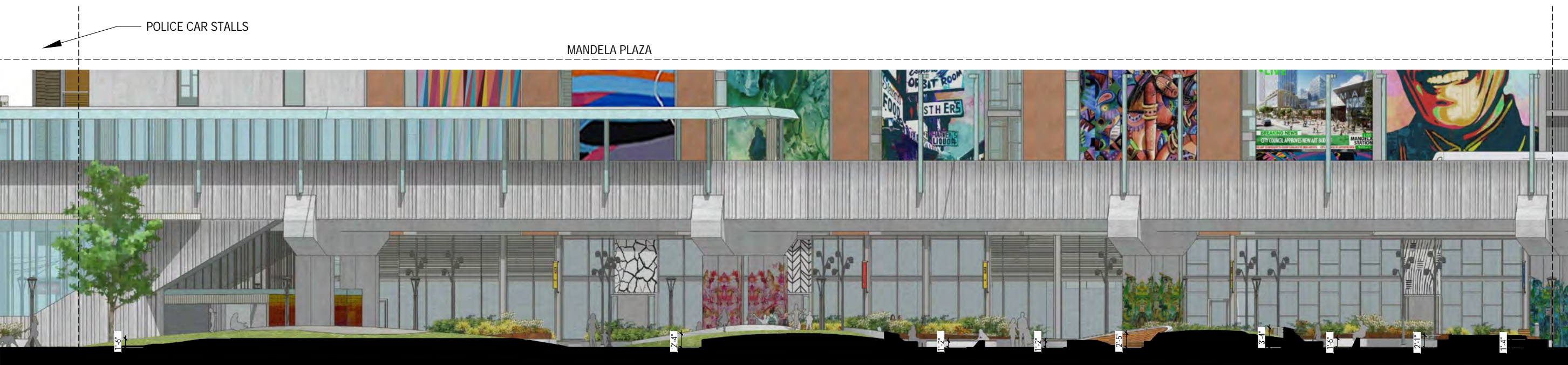
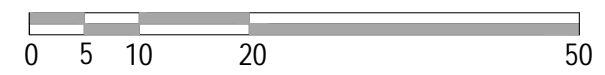
LEGEND
 8' CLEAR ZONE FOR PEDESTRIAN
 PROPERTY LINE





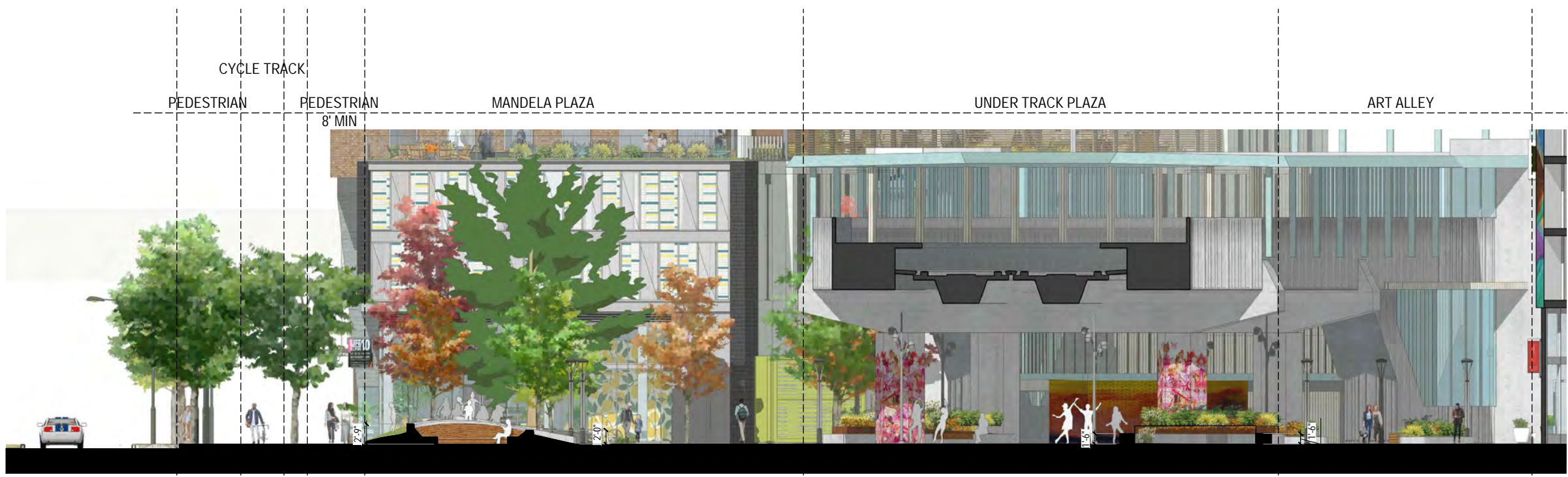


1 SECTION 1
 L1.03 1/16" = 1'-0"

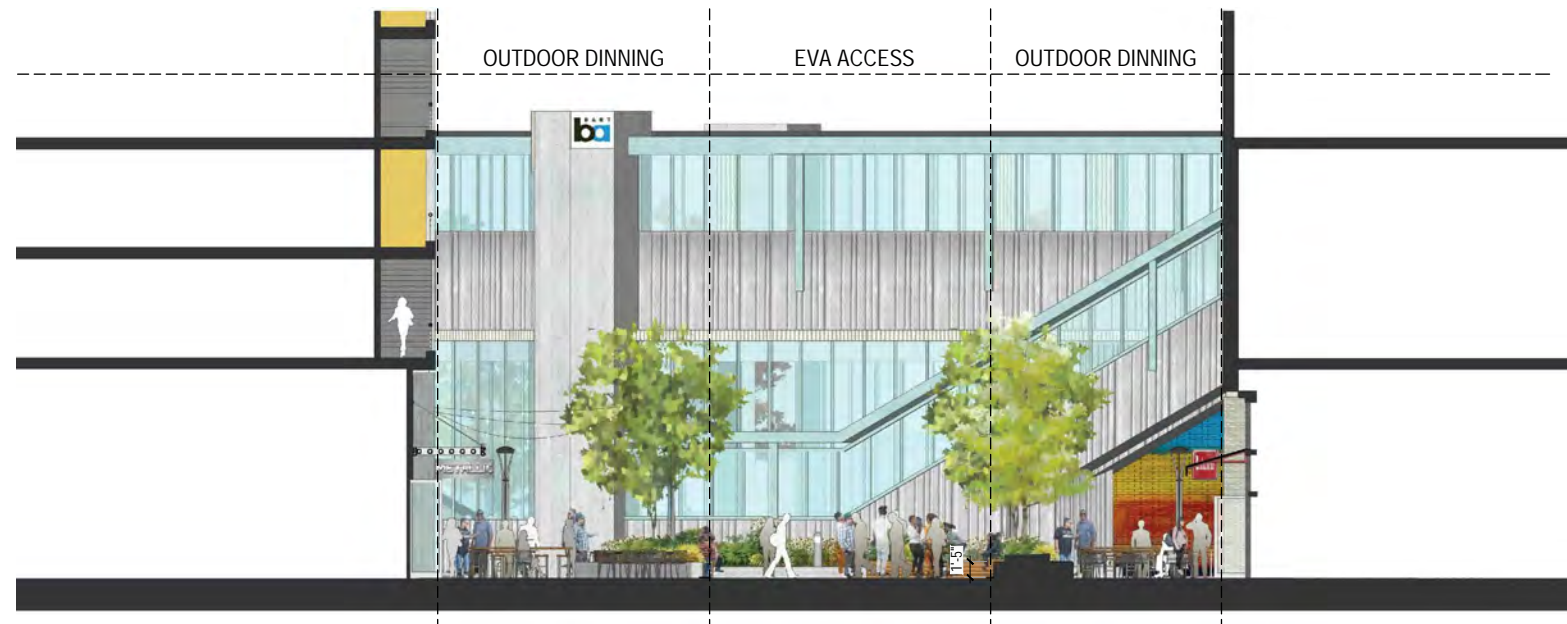


2 SECTION 2
 L1.03 1/16" = 1'-0"



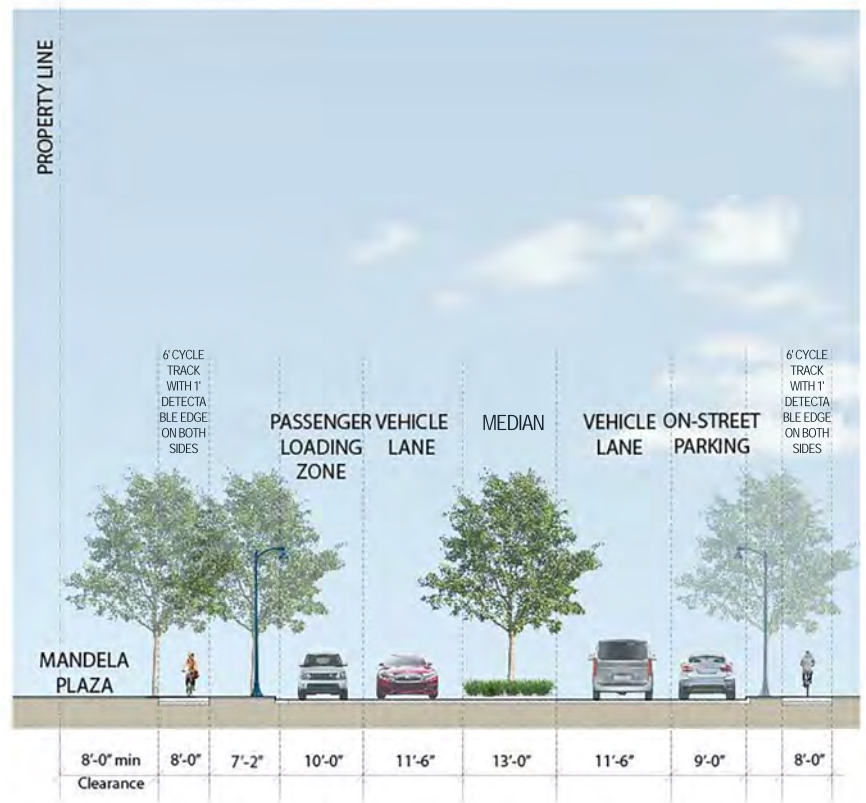


1 SECTION 3
L1.04 1/16" = 1'-0"

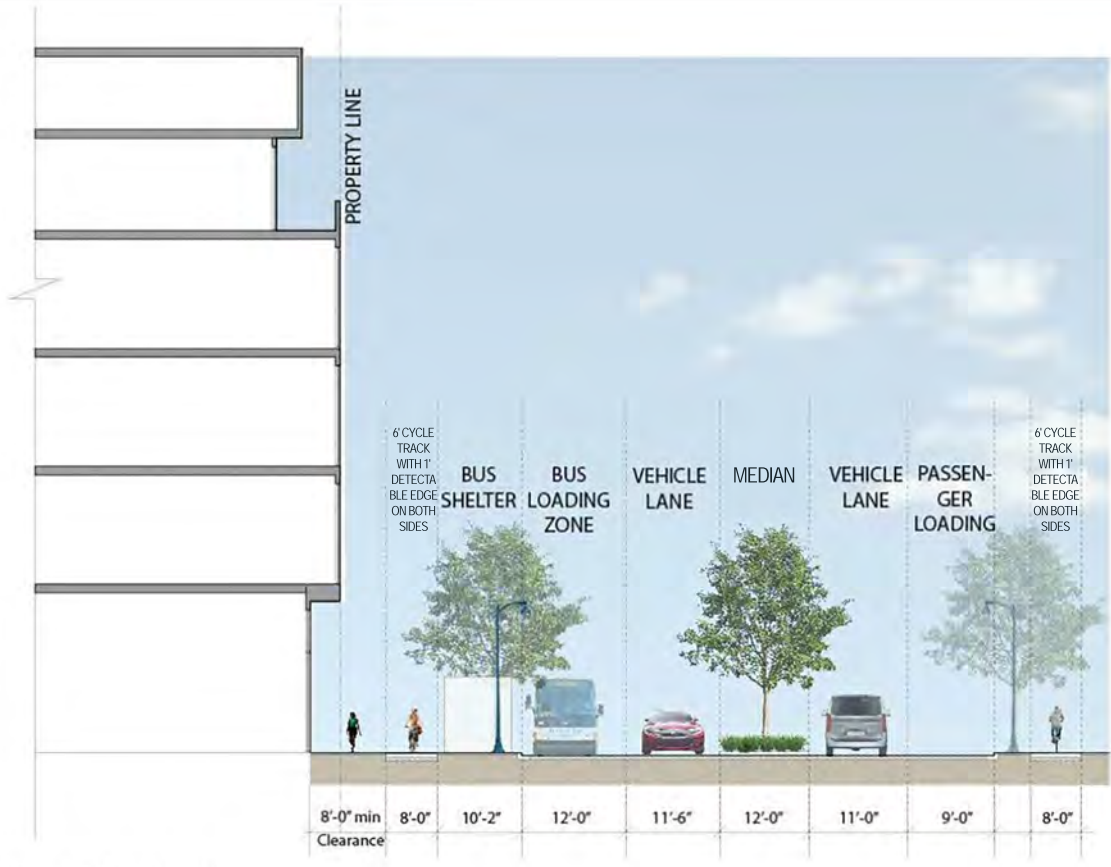


2 SECTION 4
L1.04 1/16" = 1'-0"

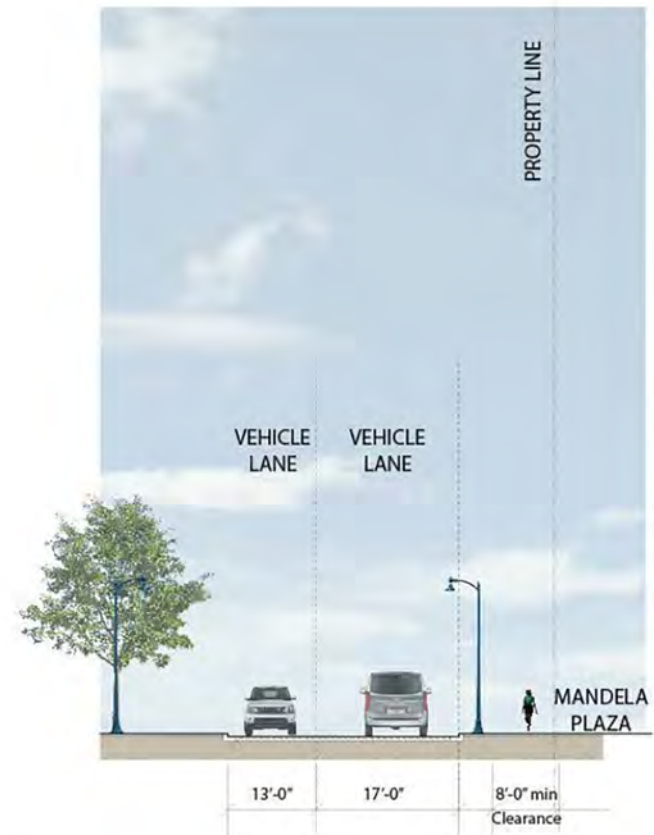




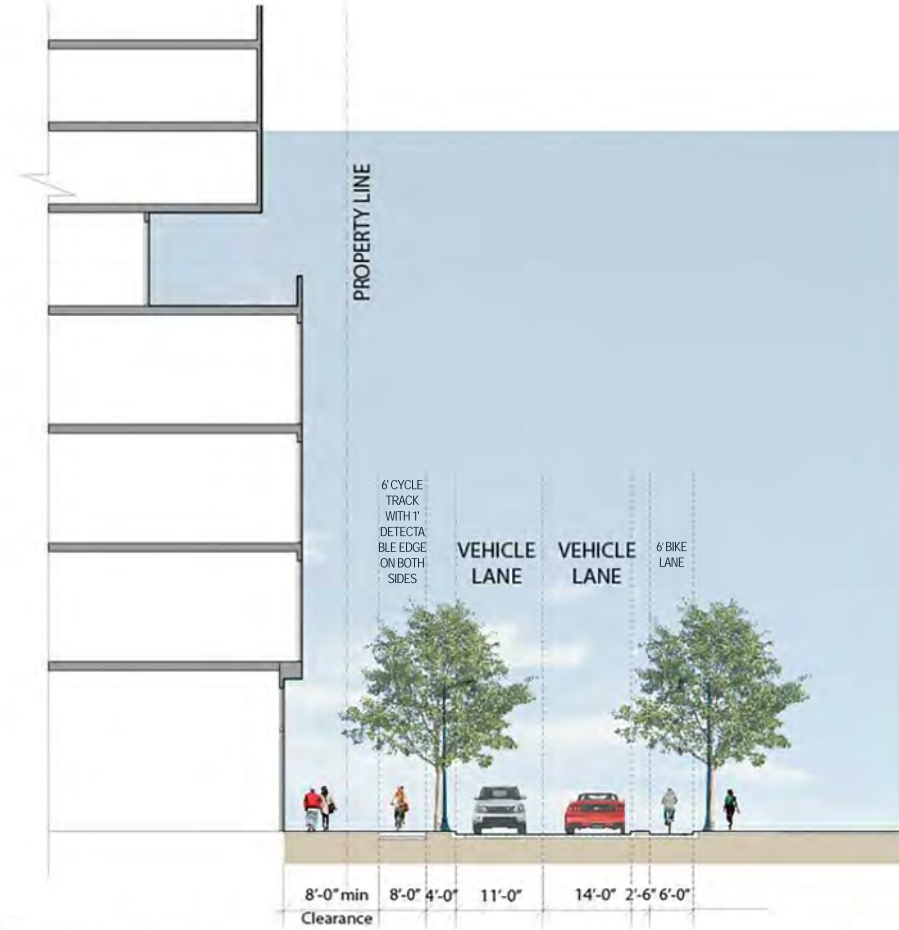
1 7TH STREET WEST SECTION
 L1.05 1" = 20'-0"



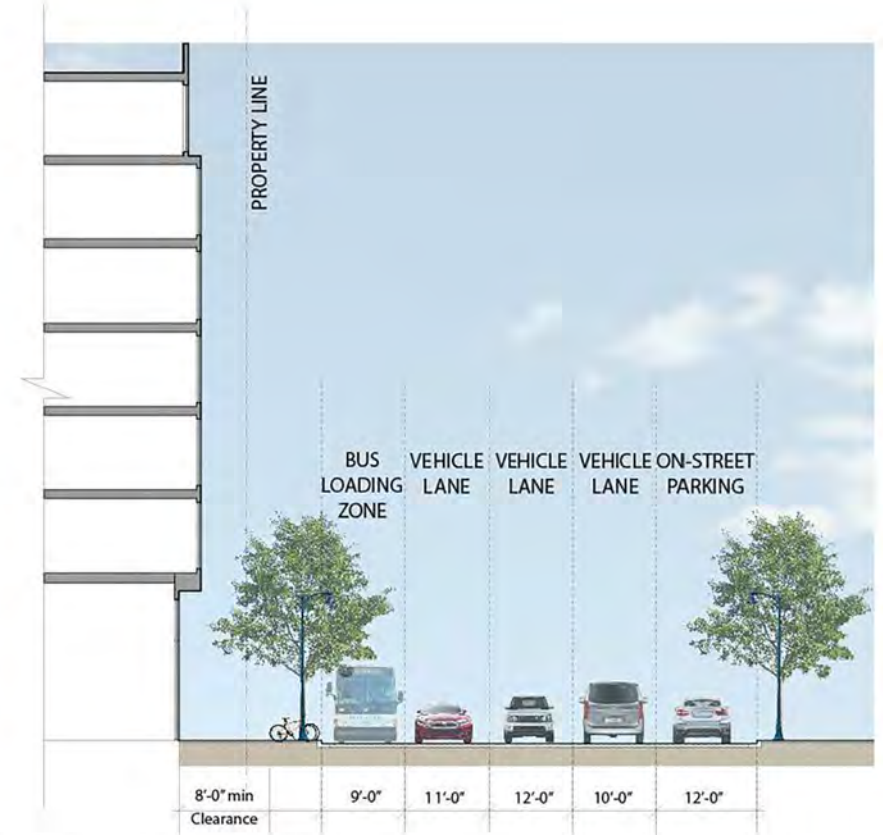
2 7TH STREET EAST SECTION
 L1.05 1" = 20'-0"



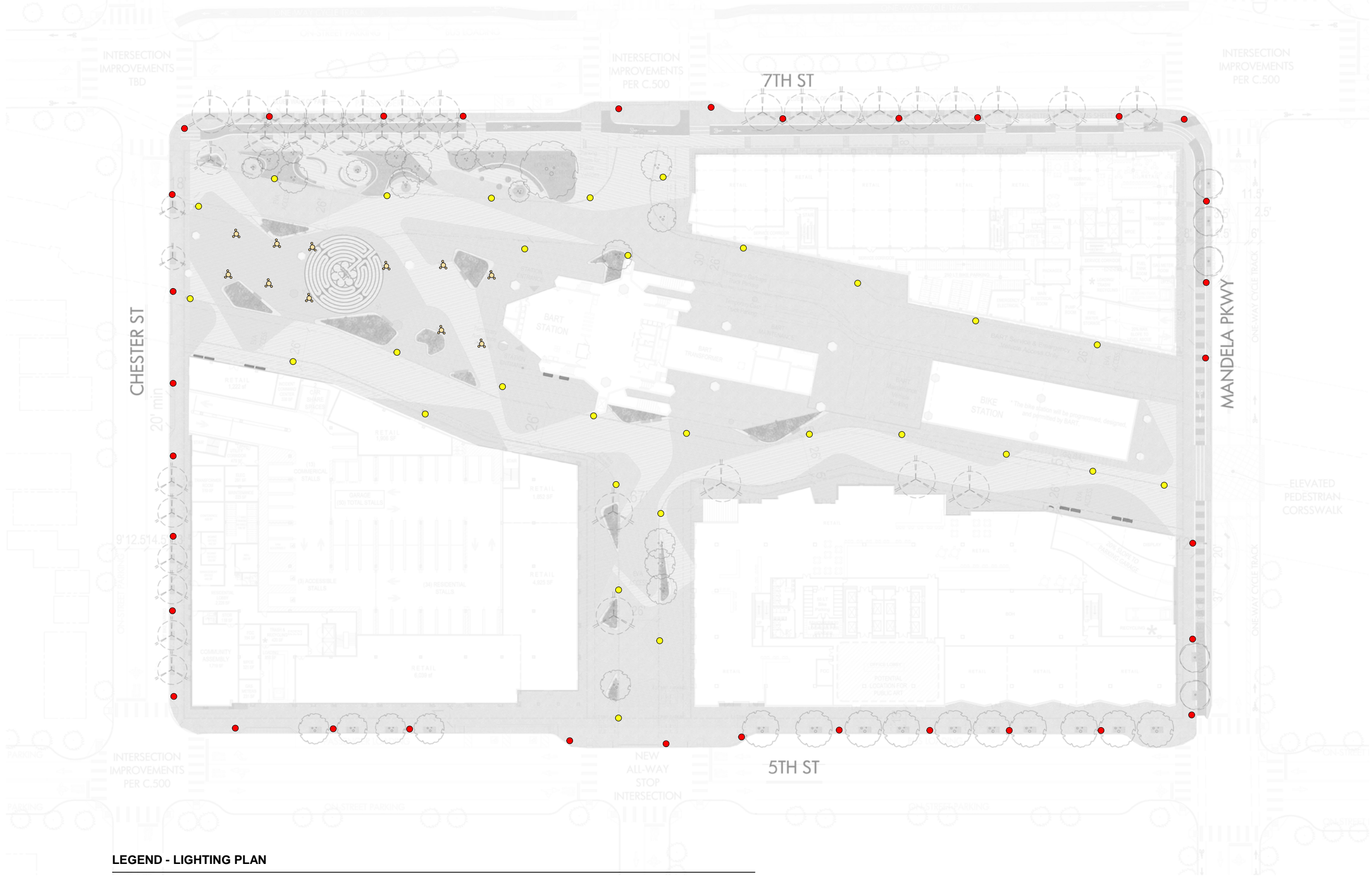
3 CHESTER STREET SECTION
 L1.05 1" = 20'-0"



4 MANDELA PKWY SECTION
 L1.05 1" = 20'-0"



5 5TH STREET SECTION
 L1.05 1" = 20'-0"



LEGEND - LIGHTING PLAN

- AREA LIGHTS FOR PLAZA
- AREA LIGHTS WITH MULTIPLE HEADS FOR EVENT PLAZA
- STREET LIGHTS AS CITY REQUIRED

OWNER
 HEC
 HENSEL PHELPS
 suda
 Building Urban Development Alliance, LLC

BUILDING T3
 FDP PACKAGE
 PROJECT

WEST OAKLAND BART
 1451 7th St, Oakland, CA 94607

ARCHITECT
 jrdv ARCHITECTS
 JRDV Architects, Inc.
 The Commercial Building
 Broadway and Telegraph
 Oakland, CA 94612 USA
 (510) 281-4300
 www.jrdv.com

PROJECT TEAM
 BKF ENGINEERS
 1646 N CALIFORNIA
 BLVD, SUITE 400
 WALNUT CREEK
 CA 94596
 (925) 940-3200
 PGA DESIGN
 444 17th Street
 Oakland
 CA 94612
 (510) 465-1284
 STOK
 9458 Front Street
 San Francisco
 CA 94111
 (415) 329-7100

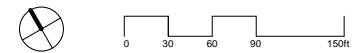
STAMP

KEY

PROJ #: 168-153 WO BART
 DATE: 03/26/20
 SCALE: 1"=60' - 0"
 TITLE:

LIGHTING PLAN

SHEET: **L1.06**





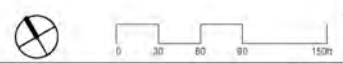
PLANTING LEGEND

<p>PLANTING ZONE 1: MANDELA PLAZA ENTRY</p> <ul style="list-style-type: none"> CAREX DIVULSA NANDINA DOMESTICA ALBA 'LEMON-LIME' BERBERIS 'ORANGE ROCKET' IRIS DOUGLASIANA 'CANYON SNOW' MUHLENBERGIA DUBIA 'PINE MUHLY' PITTIOSPORUM TOBIRA 'MOJO' PHORMIUM 'YELLOW WAVE' CORDYLINA 'DESIGN-A LINE' DIGIPLIXIS ILLUMINATION 'APRICOT' 	<p>PLANTING ZONE 2: SHADE TOLERANT PLANTS BELOW BART TRACKS</p> <ul style="list-style-type: none"> MAHONIA 'SOFT CARESS' MUHLENBERGIA DUBIA 'PINE MUHLY' BLECHNUM SPICANT 'DEER FERN' HELLEBORUS ARGUTIFOLIUS WOODWARDIA FIMBRIATA 'GIANT CHAIN FERN' CORDYLINA 'DESIGN-A LINE' EUPHORBIA CHARACIAS SSP. PHORMIUM 'YELLOW WAVE' 	<p>PLANTING ZONE 3: SOUTH FACING ALLEY</p> <ul style="list-style-type: none"> CAREX DIVULSA MUHLENBERGIA DUBIA 'PINE MUHLY' IRIS DOUGLASIANA 'CANYON SNOW' MONARDELLA VILLOSA 'RUSSIAN RIVER' SALVIA SPATHACEA 'HUMMINGBIRD SAGE' SALVIA 'DARA'S CHOICE'
--	--	---

PLEASE SEE RELATED IMAGES ON THE NEXT PAGE

OWNER
HEC
HENSEL PHELPS
suda
 T3
 BUILDING T1
 FDP PACKAGE
 PROJECT
WEST OAKLAND BART
 1451 7th St, Oakland, CA 94607
 ARCHITECT
jrdv
 ARCHITECTS
 PROJECT TEAM
 SHF ENGINEERS
 1566 W. CALIF. STREET
 SUITE 300
 WALNUT CREEK
 CA 94596
 (925) 940-2200
 POA DESIGN
 444 17th Street
 Oakland
 CA 94612
 (510) 465-1214
 STOK
 3405 Fjord Street
 San Francisco
 CA 94111
 (415) 229-7160

STAMP
 PROJ # 168-153 WO BART
 DATE 06/04/20
 SCALE 1"=60' - 0"
 TITLE **PLANTING ZONE**
 SHEET **L1.07**



TREES

STREET TREES



ACER RUBRUM 'ARMSTRONG'

QUERCUS COCCINEA



AFROCARPUS FALCATUS



PISTACIA CHINENSIS

PLAZA TREES



POPULUS DELTOIDES



CHITALPA TASHKENTENSIS



ALBIZIA JULIBRISSIN

SHRUBS & GROUNDCOVER

PLANTING ZONE 1 : ON THE PLAZA



CAREX DIVULSA



PHORMIUM 'YELLOW WAVE'



BERBERIS 'ORANGE ROCKET' 4'H X 2'W



NANDINA DOMESTICA ALBA 'LEMON-LIME' 4'H X 3'W



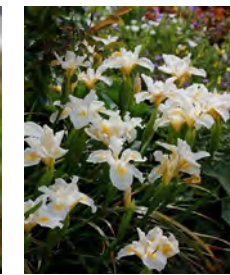
CORDYLINE 'DESIGN-A LINE' 3'X3'



PITTOSPORUM TOBIRA 'MOJO' 3'X3'



DIGIPLEXIS ILLUMINATION 'APRICOT' 2'H X 18"W



IRIS DOUGLASIANA 'CANYON SNOW'



MUHLENBERGIA DUBIA 'PINE MUHLY'

PLANTING ZONE 2 : UNDER THE TRUCK



MAHONIA 'SOFT CARESS' 4'X4'



PHORMIUM 'YELLOW WAVE'



CORDYLINE 'DESIGN-A LINE' 3'X3'



EUPHORBIA CHARACIAS SSP.



BLECHNUM SPICANT 'DEER FERN'



WOODWARDIA FIMBRIATA 'GIANT CHAIN FERN'



HELLEBORUS ARGUTIFOLIUS 3'X3'



MUHLENBERGIA DUBIA 'PINE MUHLY'

PLANTING ZONE 3 : IN THE ALLEY



MUHLENBERGIA DUBIA 'PINE MUHLY'



MONARDELLA VILLOSA 'RUSSIAN RIVER'



IRIS DOUGLASIANA 'CANYON SNOW'



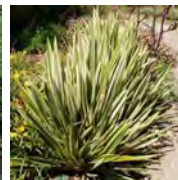
SALVIA SPATHACEA 'HUMMINGBIRD SAGE'



SALVIA 'DARA'S CHOICE'

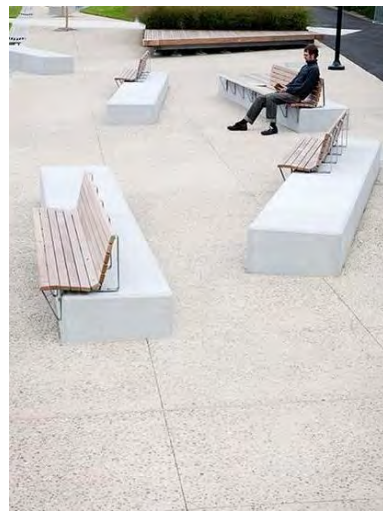


CAREX DIVULSA

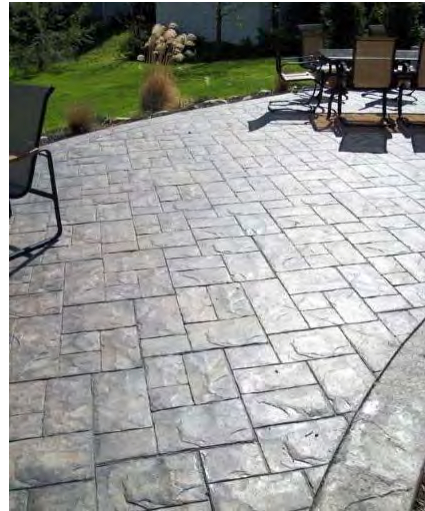


PHORMIUM 'TONY TIGER' 2.5'X2.5

CAST-IN-PLACE CONCRETE PAVING



COLORED C.I.P w/ SAWCUT BANDING



COLORED C.I.P w/ SAWCUT BANDING



C.I.P w/ SAWCUT BANDING

NOTE: ALL PAVING SHALL BE ADA COMPLIANT AND MINIMIZE UNDULATING AFFECTS WHEN TRAVELING OVER SURFACE

PLANTER WALL



POUR-IN-PLACE CONCRETE WITH SACK FINISH

SITE FEATURES



SLOPED TURF



EVENT PLAZA

SITE FURNITURES



BENCH: MODEL: NEW STANDARD BENCH, MANUFACTURER: STREETLIFE, TEL: 215.247.0148, WEBSITE: <https://www.streetlife.nl/us>



BIKE RACK: MODEL: BOLA BIKE RACK, MANUFACTURER: LANDSCAPEFORMS, TEL: 800.430.6209, WEBSITE: <https://www.landscapeforms.com/en-US>



TRASH BIN: MODEL: CHASE PARK LITTER, MANUFACTURER: LANDSCAPEFORMS, WEBSITE: <https://www.landscapeforms.com/en-US>



PICNIC TABLE SET: MODEL: GRETCHEN PICNIC TABLE, ADA COMPLIANT STYLE, MANUFACTURER: LANDSCAPE FORMS, TELEPHONE: 800.430.6209, WEBSITE: WWW.LANDSCAPEFORMS.COM



DINING TABLE & CHAIR SET: 21 CHAIR WITH ARMS BY LANDSCAPE FORMS, 4 CHAIRS PER TABLE, CATENA TABLE, 48" DIAMETER, NO UMBREALLA HOLE, ADA COMPLIANT QUAD SUPPORT LEGS, ADJUSTABLE GLUIDES. FINISH: LANDSCAPE FORMS PROPRIETARY PANGARD II® POLYESTER POWDERCOAT COLOR: TBD FROM MANUFACTURER'S STANDARD PALETTE MANUFACTURER: LANDSCAPE FORMS, TELEPHONE: 800.430.6209, WEBSITE: WWW.LANDSCAPEFORMS.COM



OWNER

 BUILDING T3
 FDP PACKAGE

WEST OAKLAND BART
 1451 7th St, Oakland, CA 94607

ARCHITECT

 PROJECT TEAM

STAMP
 KEY
 PROJ #: 168-153 WO BART
 DATE: 06/04/20
 SCALE:
 TITLE:
LANDSCAPE MATERIALS
 SHEET: **L1.09**

Domus Luminaire



Manufacturer(s): Lumec

Catalog #:
DMS50-HPS-SC3M-SMB-SCITX (Large Domus)
DOSHP5-5G3-SMB-SCITX-LMS (Small Domus)

Photometric File:
50105312.ies (Domus DMS50, 200-250W)
50206071.ies (Domus DOS, 35-150W)

Application:
Domus DMS50 - Arterial and/or collector street lighting
Domus DOS - Residential street lighting and/or sidewalk side pedestrian lighting

Lamp Type: 35W, 100W, 150W, 250W HPS

Optical System: Type III

Ballast Voltage: Multi-tap 120/240V

Color: Teal Green only

Special Requirements:

Luminaire Cost: \$\$\$



As shown: Domus DOS luminaire w/ 3' arm on 36" octagonal pole.
Color: Teal Green
Location: Coliseum Gardens
Public Works Agency
Electrical Services Division
Dept of Infrastructure and Operations

Page 19 of 71

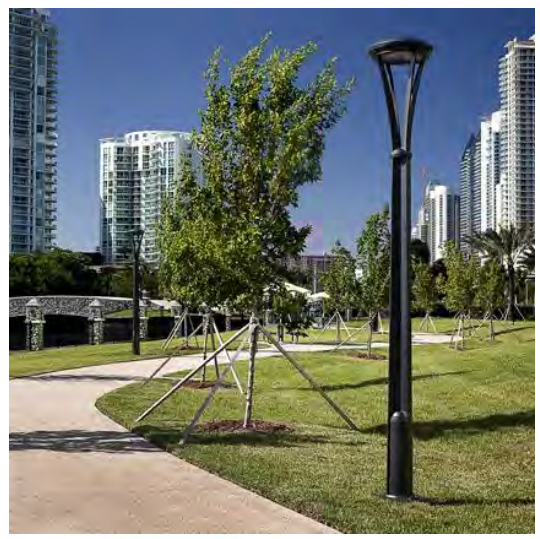
STREET LIGHTS



PLAZA LIGHTS



landscape lighting



landscape lighting

ALCOTT AREA LIGHT



General Description

- Offered in 3 standard mounting heights (10', 14' and 18')
- Asymmetrical and symmetrical distribution types available
- Mounting brackets and arm on outdoor models available
- Mount height is adjustable, unless noted for installation
- Cast in light translucent Cast Polypropylene
- U.S. Limited, suitable for wet locations

Lighting Facts	Alcott Type 3	Alcott Type 5
Light Output	2815 lm	4422 lm
Beam Spread	100°	100°
Color Temperature	3000K	3000K
Power	100W	150W
Current	0.9A	1.1A
Life Span	50,000 hrs	50,000 hrs
Material	Aluminum	Aluminum
Finish	Black	Black
Weight	15 lbs	20 lbs
Dimensions	10" H x 10" W	14" H x 14" W

www.ligman.com | 800.571.5461 | 1900 Milligan Ave., Edmonds, WA 98026

UZA-20001

Zaab 2 Single Side Cluster Column

Adjustable surface spotlight family. Conical, stylish spotlight range with a wealth of options and accessories.

A decorative Event Column using cast shaped LED floodlights with various beam spreads and a selection of accessories.

Ideal for precise lighting of facades, sculptures, signage and architectural details. The floodlights can be aimed in different directions to highlight specific features or accessories in the structure, as well as provide security when illuminating dark areas on campuses and parks. This luminaire is adjustable and allows the customer to specify Zaab luminaires with different beam spreads to be installed on the pole to suit specific requirements. These floodlights can be individually aimed and controlled.

These luminaires are available with a selection of optional attachments that include: anti-glare screens, anti-glare froths, computer ring luminaires, and linear spread lenses. To add color to the lighting design, we are also able to provide different lenses.

As a standard product this is offered in a 5' fixture configuration. However the fixture quantities, positions and beam spreads can be manufactured to suit designer's specifications. Please contact the factory for your specific floodlight requirements.

The Zaab Cluster adds to Ligman's comprehensive range of event pole cluster luminaires with anti-glare froths, fog shields, signs and banners. For a Ligman website for other floodlight options including RGBW.

Depending on pole height and the conditions, an untreated aluminum or steel column is manufactured to customer height requirements provided with both the pole and luminaire. The Zaab floodlights are fully adjustable and adjustable with a beam spread mechanism. The Zaab can also be provided on a 20' or 30' pole system.

Additional Options (Contact Factory For Pricing)

- Anti-Glare Froth
- Anti-Glare Screen
- Fog Shield
- Sign and Banner
- RGBW Floodlight

Zaab Product Family

These floodlights are offered with a special anti-glare froth designed to prevent glare of the floodlights, due to its extremely low beam spread, beam management and protection.

Crystal Clear Anti-Glare Froth Lens

Prevents glare from floodlights, ensuring a clear view of the illuminated area. The anti-glare froth lens is made of clear polycarbonate.

Options & LED

Provide a range of options including: computer ring, anti-glare froth and linear spread lenses. LED CCT - 3000K

Lenses - Macadamian Life

LED CCT - 3000K. Macadamian Life lenses have a beam spread of 100° and a beam width of the LED pole approx 80% of their original beam.



OVERHEAD CABLE LIGHTS

Lumens LED Contemporary

selux

Specifications

Luminaire Housing/Plunge: Die-cast aluminum housing, made from low-iron glass for maximum LED performance and life. 22" diameter, 10" height, 10" depth. Plunge depth: 10".

LED Driver: LEDs are driven by 80V compatible constant current programmable LED driver. Driver includes 50V over-voltage protection for 50% safety margin.

Surge Protection: 300V transient surge protection designed to protect luminaire from electrical surge up to 20kA.

Power Cord: 10' standard, 15' optional. 10' power cord is standard in factory. Please specify power cord length available in 1' increments from 2' to 30'.

5 Year Limited LED Luminaire Warranty: Selux offers a 5 Year Limited Warranty for our original product that the Lumens LED luminaire will be free from defects in material and workmanship for up to five (5) years from date of shipment. This limited warranty covers the LED chip and LED driver only. Installation and optional accessories are not covered. For details, please refer to the Selux website.

LED Optics: Clear or half frosted LED technology to create subtle or more dramatic lighting effects. Technical details: R1, R2, R3, R4, R5 and R6 are the same as the original product. Diffuser: Clear (C) or frosted (F). LED light engine has a reported lumen maintenance of 70% at 50,000 hours. L70 maintenance greater than 50,000 hours.

LED Array: Die-cast housing. High flux LEDs mounted to metal case PCB and interfaced to aluminum heat sink for maximum LED performance and life. 22" diameter, 10" height, 10" depth. LED light engine has a reported lumen maintenance of 70% at 50,000 hours. L70 maintenance greater than 50,000 hours.

LED Driver: LEDs are driven by 80V compatible constant current programmable LED driver. Driver includes 50V over-voltage protection for 50% safety margin.

Surge Protection: 300V transient surge protection designed to protect luminaire from electrical surge up to 20kA.

Power Cord: 10' standard, 15' optional. 10' power cord is standard in factory. Please specify power cord length available in 1' increments from 2' to 30'.

5 Year Limited LED Luminaire Warranty: Selux offers a 5 Year Limited Warranty for our original product that the Lumens LED luminaire will be free from defects in material and workmanship for up to five (5) years from date of shipment. This limited warranty covers the LED chip and LED driver only. Installation and optional accessories are not covered. For details, please refer to the Selux website.

LED Optics: Clear or half frosted LED technology to create subtle or more dramatic lighting effects. Technical details: R1, R2, R3, R4, R5 and R6 are the same as the original product. Diffuser: Clear (C) or frosted (F). LED light engine has a reported lumen maintenance of 70% at 50,000 hours. L70 maintenance greater than 50,000 hours.

LED Array: Die-cast housing. High flux LEDs mounted to metal case PCB and interfaced to aluminum heat sink for maximum LED performance and life. 22" diameter, 10" height, 10" depth. LED light engine has a reported lumen maintenance of 70% at 50,000 hours. L70 maintenance greater than 50,000 hours.

OWNER
HEC
HENSEL PHELPS
suda
BUILDING T3
FDP PACKAGE
PROJECT

WEST OAKLAND BART
1451 7th St, Oakland, CA 94607

ARCHITECT
jrdv ARCHITECTS
1451 7th St, Oakland, CA 94607
www.jrdv.com

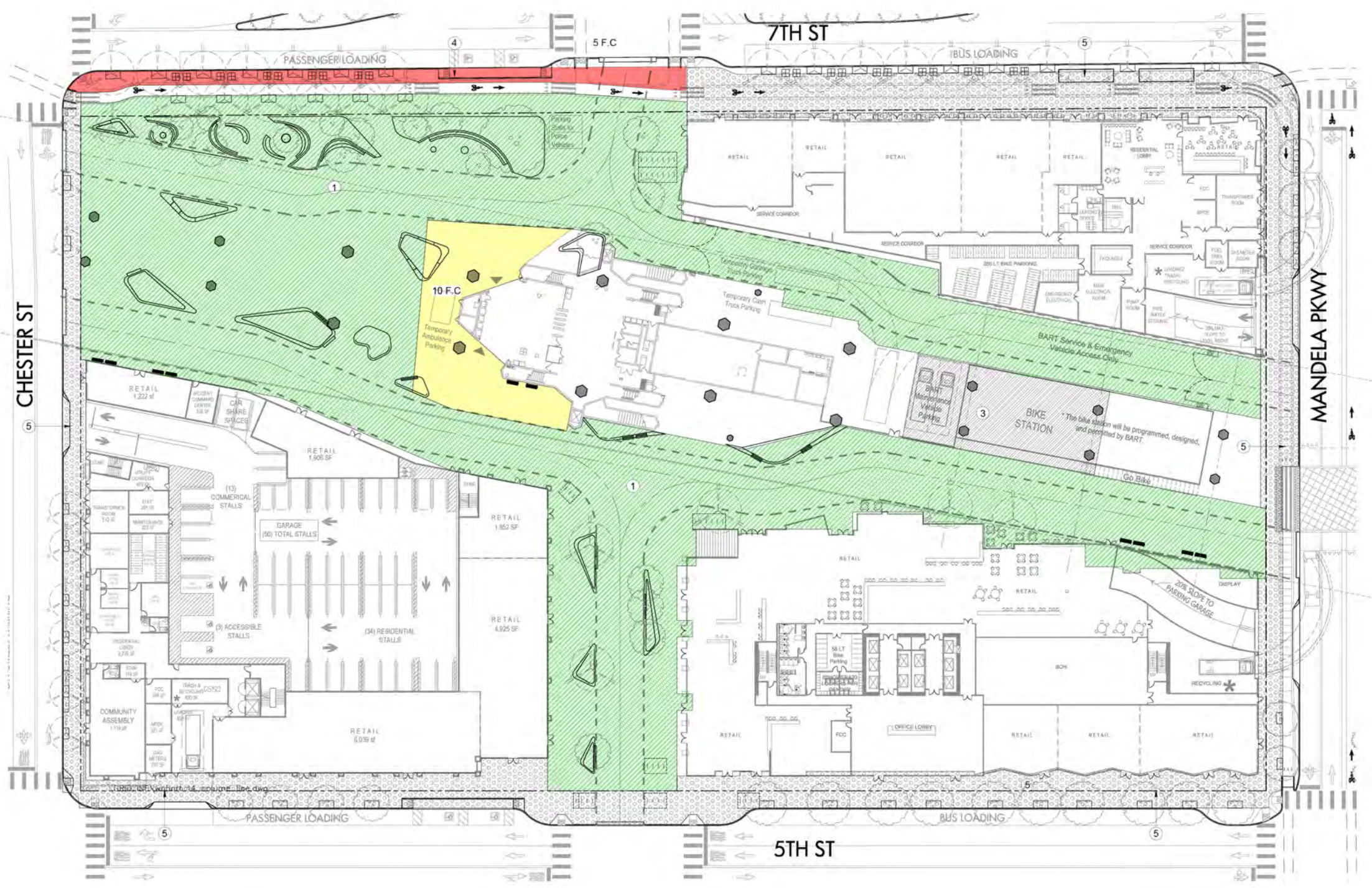
PROJECT TEAM
BKF ENGINEERS
1648 N. CALIFORNIA BLVD, SUITE 400
WALNUT CREEK, CA 94596
(925) 940-2200
PGA DESIGN
444 17th Street
Oakland, CA 94612
(510) 465-1284
STOK
9408 Front Street
San Francisco, CA 94111
(415) 329-7100

STAMP

KEY

PROJ #: 168-153 WO BART
DATE: 06/04/20
SCALE:
TITLE: LIGHTING IMAGES

SHEET: L1.10



LIGHTING PHOTOMETRIC GOALS

AREA	FOOT CANDLE	LIGHT TYPE	CONTROLS
1. PEDESTRIAN WALKWAY	2 MIN	LED	POWER-LINE CARRIER TECHNOLOGY
2. EXTERIOR PATRON WAITING AREA	10	LED	DIMMABLE, TO REDUCE CONTRAST
3. BIKE LOCKER AREA	10	LED	SAME AS SURROUNDING SPACE
4. LOADING, UNLOADING, KISS-AND-RIDE AREAS, AND PEDESTRIAN WALKWAYS	5	LED	PHOTOCELL AND POWER-LINE CARRIER TECHNOLOGY OR WIRELESS CONTROL
5. OTHER EXTERIOR SPACES	1.25	LED	POWER-LINE CARRIER

WEST OAKLAND BART
 4784# 城市/街 编号/地址: 793

ARCHITECT
jrdv Architects, Inc.
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70108
 Oakland, CA 94612 USA
 510 238 4382 T
 www.jrdv.com

PROJECT TEAM
RFK ENGINEERS
 1546 N CALIFORNIA
 BLVD SUITE 400
 WALNUT CREEK,
 CA 94596
 (925) 940-2200

PGA DESIGN
 444 17th Street
 OAKLAND
 CA 94612
 (510) 465-1284

STOK
 9426 Frank Street
 SAN FRANCISCO
 CA 94111
 (415) 329-7100

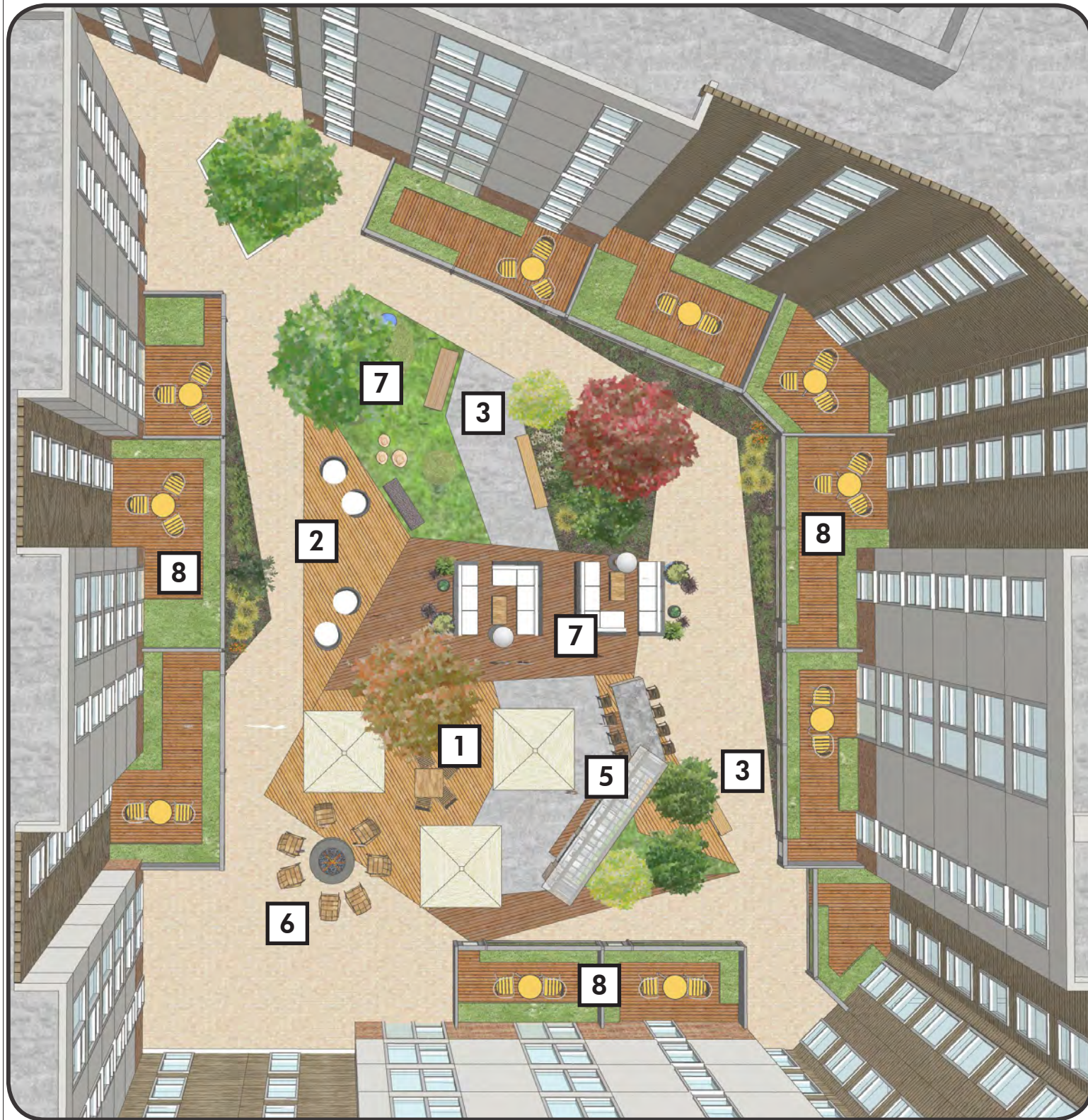
STAMP

KEY

PROJ # 168-153 WO BART
 DATE 03/26/20
 SCALE 1"=60'-0"
 TITLE LIGHT LEVEL GOALS

SHEET **L1.11**





Courtyard Terrace Features

- | | | |
|--------------------------------|------------------------------|------------------------------|
| 1 OUTDOOR DINING | 4 LOUNGE SEATING AREA | 7 CHILDRENS PLAY AREA |
| 2 WOOD LOUNGE PLATFORMS | 5 BBQ AREA | 8 PRIVATE DECKS |
| 3 BENCH SEATING AREA | 6 GAS FIRE PIT | |



BBQ AND OUTDOOR DINING AREA



CHILDRENS PLAY AREA

PODIUM PALETTE_T3

AMENITIES



ADA COMPLIANT OUTDOOR KITCHEN



SEATING WITH FIRE PIT



LOUNGE AREA WITH ADA COMPLIANCE
COMMUNITY TABLE

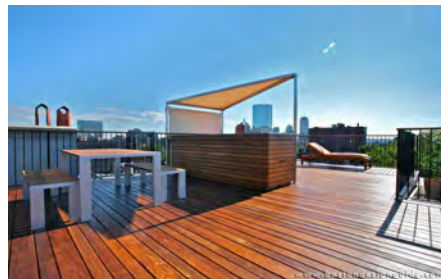


DOG PARK



BOCCIE COURT

PAVING MATERIALS



WOOD DECKING



STEPSTONE PAVERS

SITE FURNISHINGS



MOVABLE LOUNGE CHAIRS



SEATING ALONG PLANTER



PLANTERS



BUILT IN FURNISHINGS



DINING AREA



ARBOR



ACCESSIBLE PLAY STRUCTURES



PLANTING PALETTE



PHORMIUM 'DARK DELIGHT'



CEANOTHUS X PALLIDUS 'MARIE SIMON'



ANIGOZANTHOS 'BUSH GOLD'



KNIPHOFIA 'NANCY'S RED'



JUNCUS PATENS



VERBENA BONARIENSIS



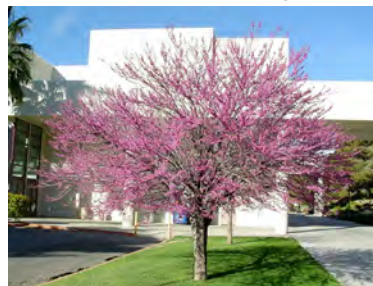
NYALLA LOMANDRA



SENECIO MANDRALISCAE



ACER RUBRUM



CERCIS OCCIDENTALIS



ARBUTUS 'MARINA'



FEIJOA SELLOWIANA

OWNER
 HEC
 HENSEL PHELPS
 suda
 BUILDING T3
 FDP PACKAGE
 PROJECT

WEST OAKLAND BART
 1451 7th St, Oakland, CA 94607

ARCHITECT
 jrdrv ARCHITECTS
JRDRV Architects, Inc.
 The Cathedral Building
 Broadway and Telegraph
 PO Box 70128
 Oakland, CA 94612 USA
 510 285 4382 T
 www.jrdrv.com

PROJECT TEAM
 BKF ENGINEERS
1646 N. CALIFORNIA
 BLVD, SUITE 400
 WALNUT CREEK,
 CA 94596
 (925) 940-2200
 PGA DESIGN
424 17th Street
 Oakland
 CA 94612
 (510) 465-1284
 STOK
9408 Front Street
 San Francisco
 CA 94111
 (415) 328-7100

STAMP
 KEY

PROJ #: 168-153 WO BART
 DATE: 06/04/20
 SCALE:
 TITLE:
**PODIUM
 PALETTE_T3**
 SHEET:
L1.14



1 - Mandela Plaza Center Street Entrance



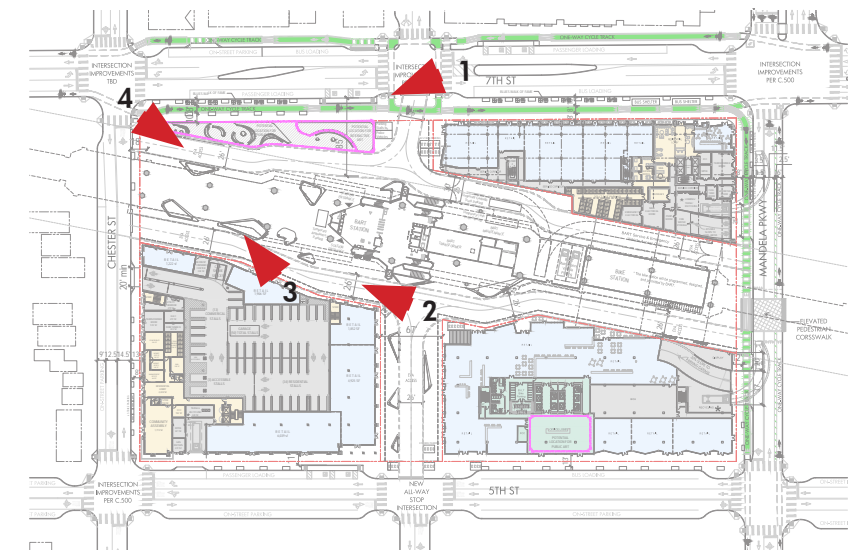
2 - Artwalk from Center Street



3 - Undertrack Plaza from Artwalk



4 - Mandela Plaza Chester Street Entrance and Blues Walk of Fame



Under Track Strategy

The Under-Track area is designed to integrate with both Mandela Plaza on 7th Street and Art Alley to the south. These combination of these spaces are planned to be programmed and perceived both separately and as linked spaces.

Programmed Activation. Under-Track area is designed as a flexible and activated space that will support food kiosks, exhibits and a wide range of staged events. The physical space of the Under-Track area serves these programmed activities by creating a defined space with high “ceiling” and significant scale, that is visually connected to the surrounding Public Spaces. The space also functions as an interesting urban plaza when no events are staged. It becomes an delightful and safe passage through the site.

Landscape Paving. The paving patterns are designed to define the space and encourage pedestrians to flow through the space. The variety of paving materials is designed to reduce the scale of the space, by implying nodes and clusters that can contain smaller groups or events. The paving pattern and variety of materials will also create a visually interesting plaza surface that does not require any activation or events.

Seating. Seating is provided with a combination of fixed-seating that is integrated into the planters. And, movable café-seating and tables to be placed and managed by specific events. The goal is to promote this space as both safe pedestrian passage through the site, and as a place to rest or participate in a planned event. The number of movable seats will be managed by the client and will respond to the actual demand.

Lighting. The lighting of the Under-Track area is designed to provide a high level of ambient light and “decorative” feature lighting. The ambient light is provided by a double row of 10’high light standards with a fixture that provide directional up-lighting and ground-lighting. Feature lighting will be provided with either fixtures attached to the BART structure, or fixtures attached to the light standards. This lighting will provide changeable artistically colored lighting that creates a powerful night presence that extends to the plaza and 7th Street. Lighting levels are designed to ensure visual safety for this space at all times.

Decorative Surface Painting. The columns of the BART structure may be painted with a surface graphic that is colorful and visually animates the space. This painted surface will create a delightful backdrop that will enhance the space for events and for the enjoyment of the public.

Note: Undertrack painting is optional pending BART’s approval.



1 - From BART Station North Entrance



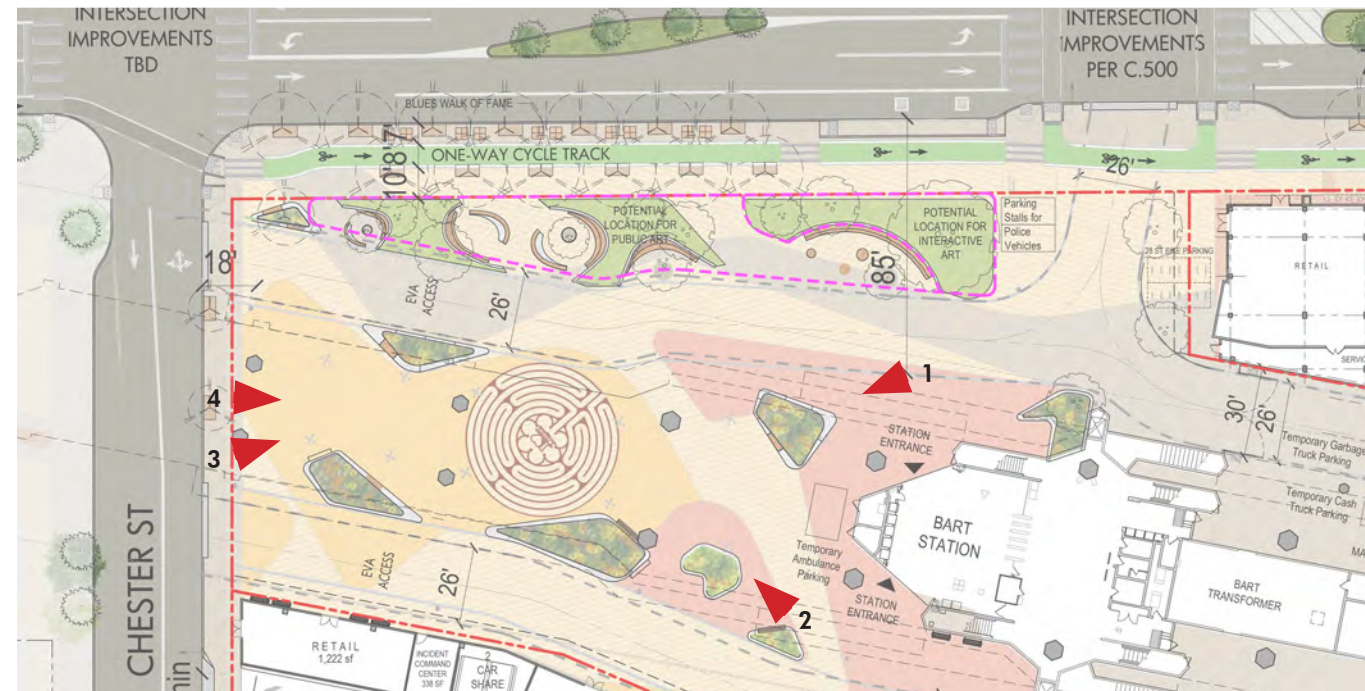
2 - From Art Walk



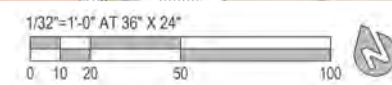
3 - From Mandela Plaza



4 - From Under Track Plaza



Partial Site Plan



Public Space Programming and Activation

The Developer will provide regular programming in the public plazas of the proposed Mandela Station at West Oakland BART Station as required in the Conditions of Approval (COA #66) approved on February 6, 2019 by the City of Oakland Planning Commission. The purpose of the programming is to provide future BART riders, project-site residents, shoppers and workers, and the larger community of West Oakland with excellent opportunities to relax and enjoy as well as providing local businesses and non-profits to financially support themselves and promote their services and products.

Programmed events may include:

1. Concert events will be held on a monthly schedule in co-operation with the Developer and local non-profit Zoo Labs among others. Zoo Labs empowers music artists as leaders and directs resources toward their ventures.
2. Farmers Market events will be held monthly in collaboration with the Mandela Grocery Cooperative, a worker-owned grocery store that provides nourishing foods and enhanced opportunities for food vendors, including the Freedom Farmers Market weekly from July to November.
3. Local vendor Pop-Ups events will be held monthly and co-sponsored by PopUp Village. popupvillage.org features opportunities including:
 - Arts and Culture classes and exhibits
 - Food & Agriculture
 - Health & wellness
 - Youth Activities
 - Highlights local retail vendors
 - Performers of music, dance, spoken word
 - Education
 - These are a few of the collaborator of existing programs on 7th Street that as developers we intend to support and expand in collaboration with these organizations.

All program schedules and events will be advertised widely using: BART Station Public Information System, the networks of organizations that participated in the West Oakland Advisory Committee process and the local media outlets.



Community Art Fair



Local Farmers Market



Undertrack Program Events



Food Truck Events



Undertrack Program Events



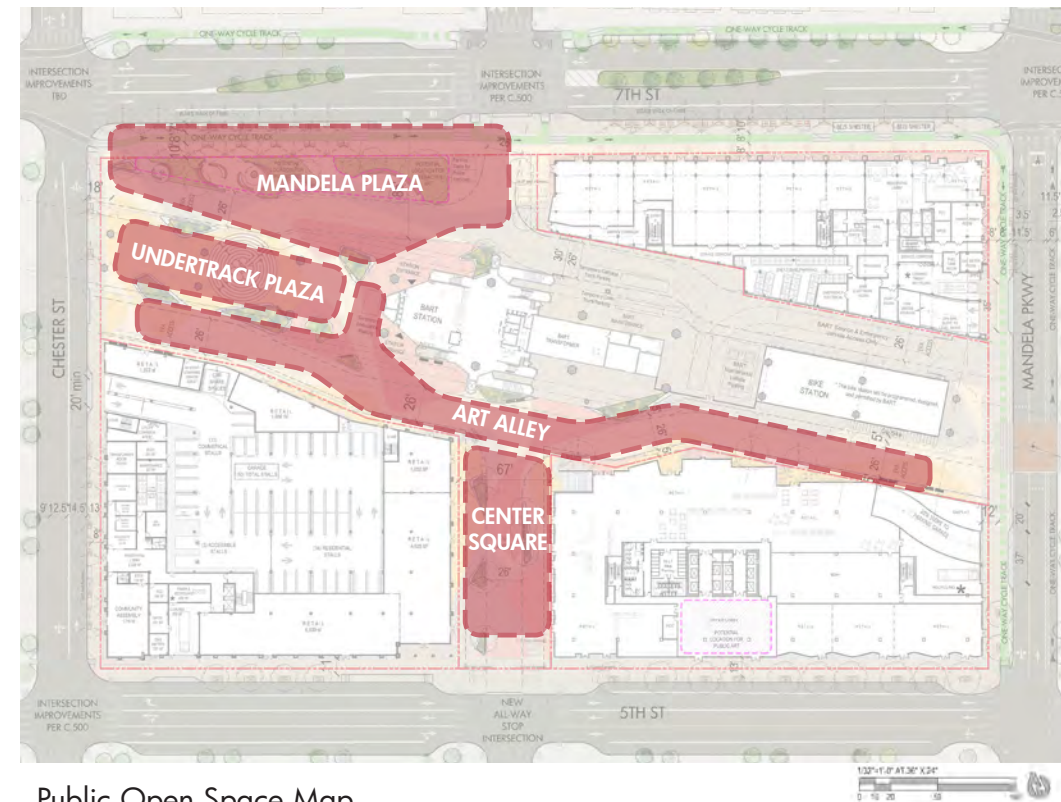
Undertrack Program Events



Food Truck Events



Sunday Music Show



Public Open Space Map



5TH STREET ELEVATION OF T3 AFFORDABLE HOUSING

STEPPING DOWN FROM HEIGHT DENSITY TO LOW DENSITY



5TH STREET ELEVATION OF T3 AFFORDABLE HOUSING



CANAL DISTRICT, SLUSEHOLMEN, DENMARK



LICHTENBERG TOWNHOUSES, BERLIN, GERMANY

BREAKING DOWN THE FACADE VERTICALLY IN RESPONSE TO TRADITIONAL URBAN FABRIC



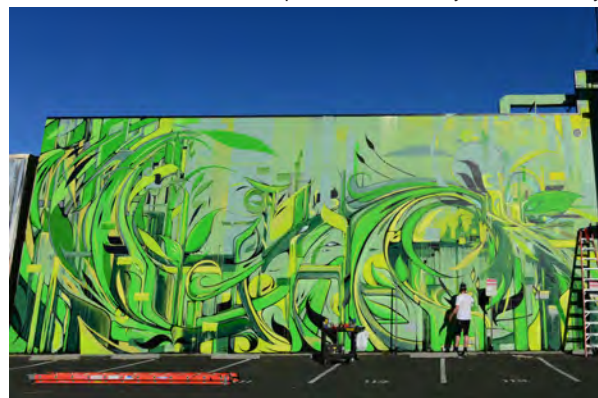
ART WALK ELEVATION



Mural that emphasizes the identity of a community



Mural that backdrops an event



Mural that fills an empty facade



Mural that decorates the sidewalk

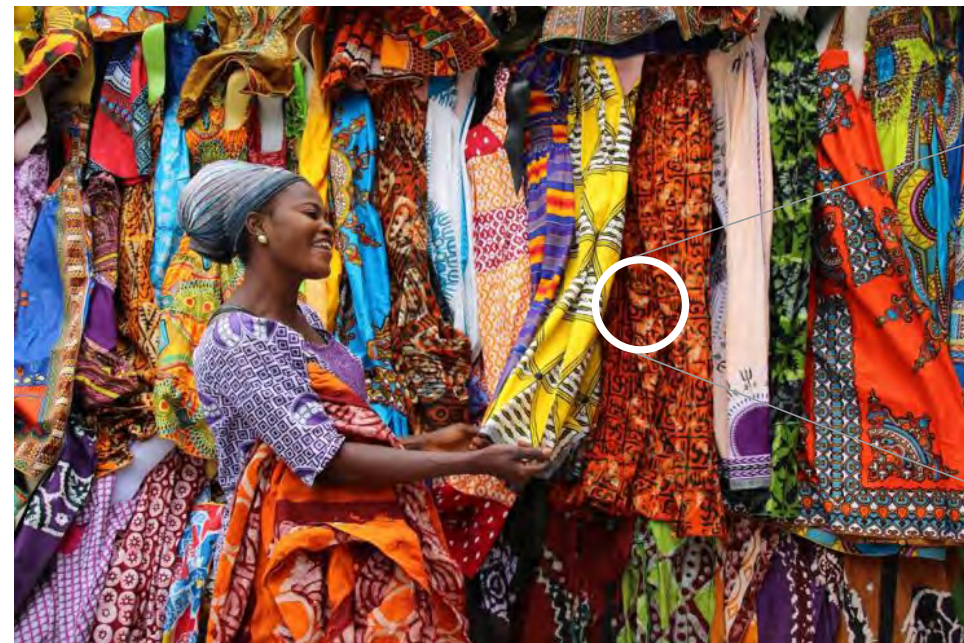


Mural that backgrounds a selfie

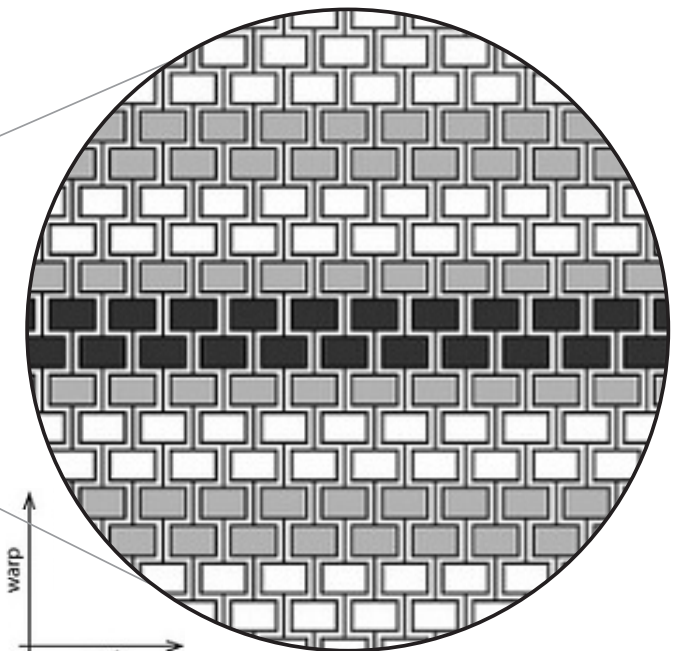
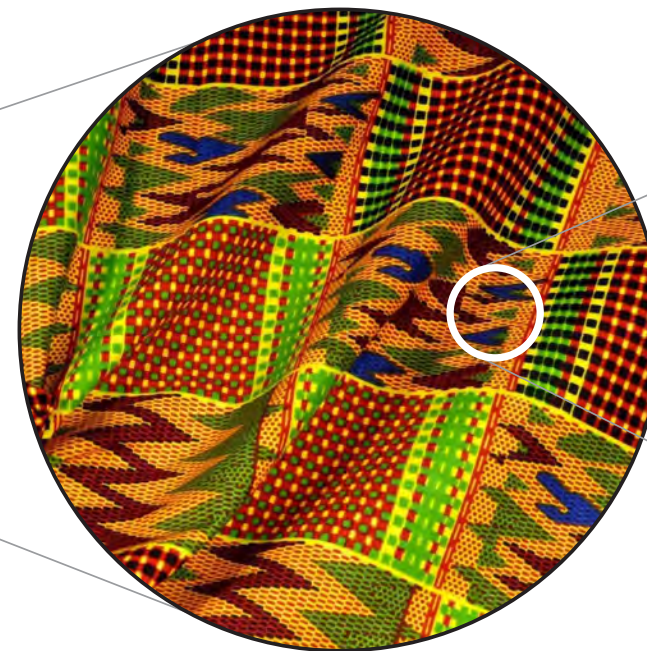
ART WALL REFERENCE



CENTER SQUARE ELEVATION

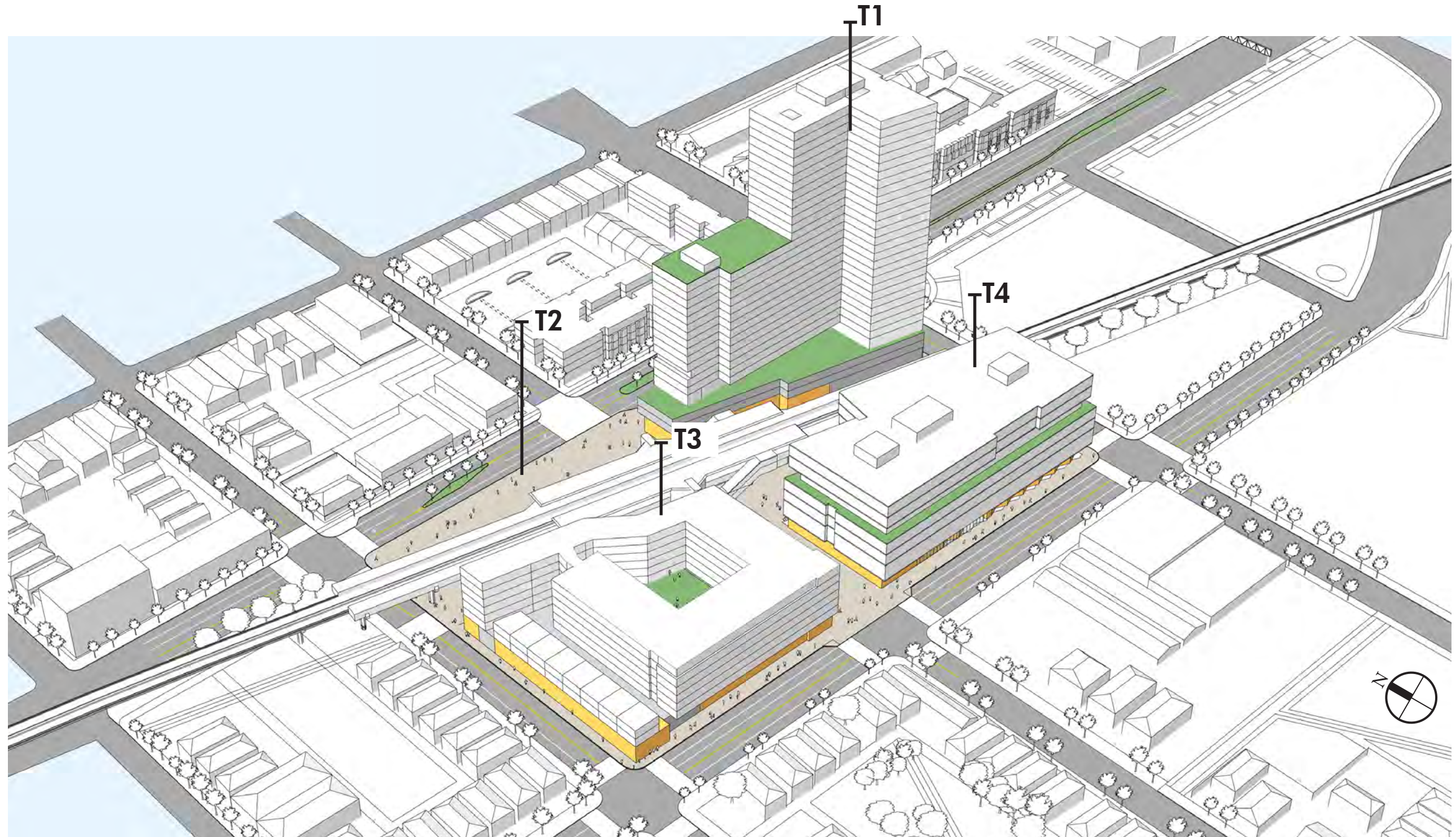


Wax, the Pan African Cloth



Weaving Construction

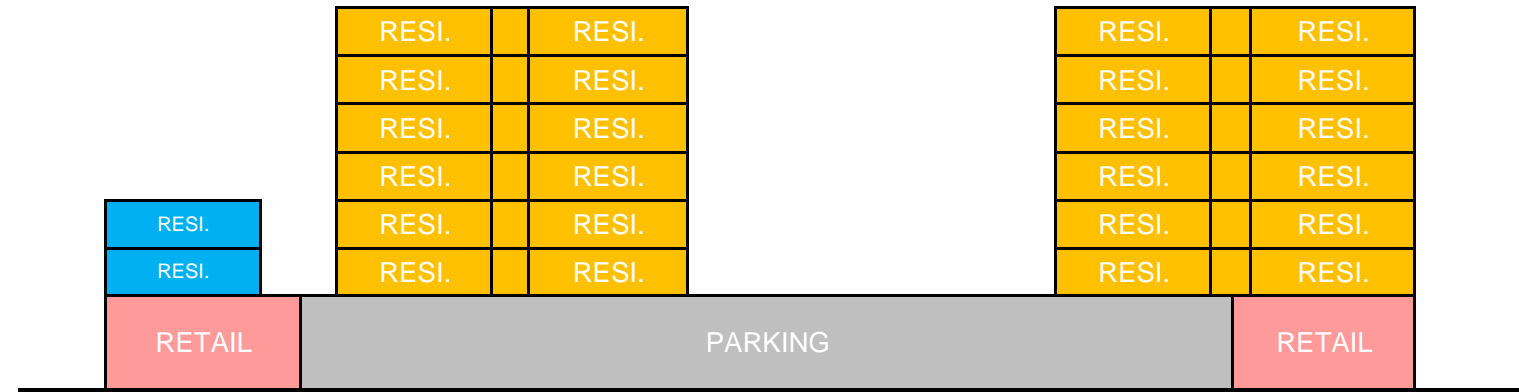
WEAVING CONSTRUCTION



T3 RESIDENTIAL

FLRS **F/F** **FLR.**
HGT. **ELEV.**

Roof		+80.0
7	10.0'	+70.0
6	10.0'	+60.0
5	10.0'	+50.0
4	10.0'	+40.0
3	10.0'	+30.0
2	10.0'	+20.0
1	20.0'	+0.0



COMBINED HOUSING UNITS MIX

FLRS	F/F HGT.	FLR. ELEV.	UNIT TYPE BATH #	1178 SF				945 SF		635 SF		423 SF		Incident Command Center	Amenity Spaces	Circulation & UNIT		RES. GSF	EFF.	Retail Space GSF	PARKING		FLOOR AREA GSF	FLOOR AREA (PLANNING)	TOTAL BRS
				3B	2B	1B	ST	BOH	NSF	SPACES	GSF														
Roof		+80.0																							
7	10.0'	+70.0	39 unit	1 unit	8 unit	23 unit	7 unit			5,448 sf	26,466 sf	31,914 sf	82.93%									31,914 sf	31,914 sf		
6	10.0'	+60.0	39 unit	1 unit	8 unit	23 unit	7 unit			5,448 sf	26,466 sf	31,914 sf	82.93%									31,914 sf	31,914 sf		
5	10.0'	+50.0	39 unit	1 unit	8 unit	23 unit	7 unit			5,448 sf	26,466 sf	31,914 sf	82.93%									31,914 sf	31,914 sf		
4	10.0'	+40.0	39 unit	1 unit	8 unit	23 unit	7 unit			5,448 sf	26,466 sf	31,914 sf	82.93%									31,914 sf	31,914 sf		
3	10.0'	+30.0	43 unit	5 unit	8 unit	23 unit	7 unit			6,839 sf	31,389 sf	38,228 sf	82.11%									38,228 sf	38,228 sf		
2	10.0'	+20.0	41 unit	5 unit	7 unit	22 unit	7 unit				1,224 sf	7,172 sf	29,832 sf	78.04%								38,228 sf	38,228 sf		
1	20.0'	+0.0								338 sf	1,838 sf	3,402 sf					6,833 sf		15,957 sf	50 stall	21,333 sf	23,128 sf	44,461 sf		
TOTAL UNITS				3B	2B	1B	ST	GSF	GSF	GSF	NSF	GSF		GSF	GSF	GSF	SPACES	GSF	GSF	GSF	GSF	TOTAL BEDROOMS			
240 unit				14 unit	47 unit	137 unit	42 unit	338 sf	3,062 sf	39,205 sf	167,085 sf	210,945 sf		15,957 sf	50 stall	21,333 sf	227,240 sf	248,573 sf	323 bedrooms						

UPPER FLOORS

SOUTH AND WEST ELEVATION



MULTIPLE COLOR, 3-COAT CEMENT PLASTER SYSTEM

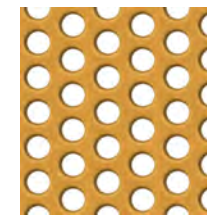


DECORATIVE PANEL

RAILING SYSTEM



PAINTED STEEL RAILING

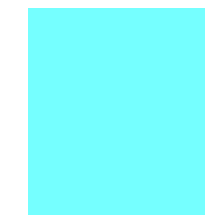


PERFORATED METAL PANEL

WINDOW SYSTEM



ALUMINUM WINDOW MULLION SYSTEM



HIGH PERFORMANCE INSULATED GLAZING UNIT - LIGHT GREEN

EAST AND NORTH ELEVATION



METAL PANEL WALL SYSTEM



MULTIPLE COLOR, 3-COAT CEMENT PLASTER SYSTEM



DECORATIVE PANEL

EAST AND SOUTH ELEVATION



FIBER CEMENT WITH WOOD TEXTURE

TOP FLOOR



2 COLOR METAL PANEL WALL SYSTEM

GROUND FLOOR

SOUTH AND WEST ELEVATION

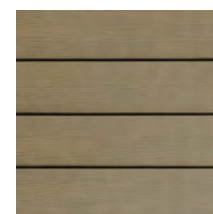


BRICK PILASTERS



PRECAST CONC BASE

EAST, SOUTH, AND WEST ELEVATION



FIBER CEMENT W/ WOOD TEXTURE

STOREFRONT SYSTEM



WINDOW MULLION W/ KYNAR FINISH



CLEAR GLASS STOREFRONT SYSTEM

VINE TRELLIS WEST ELEVATION

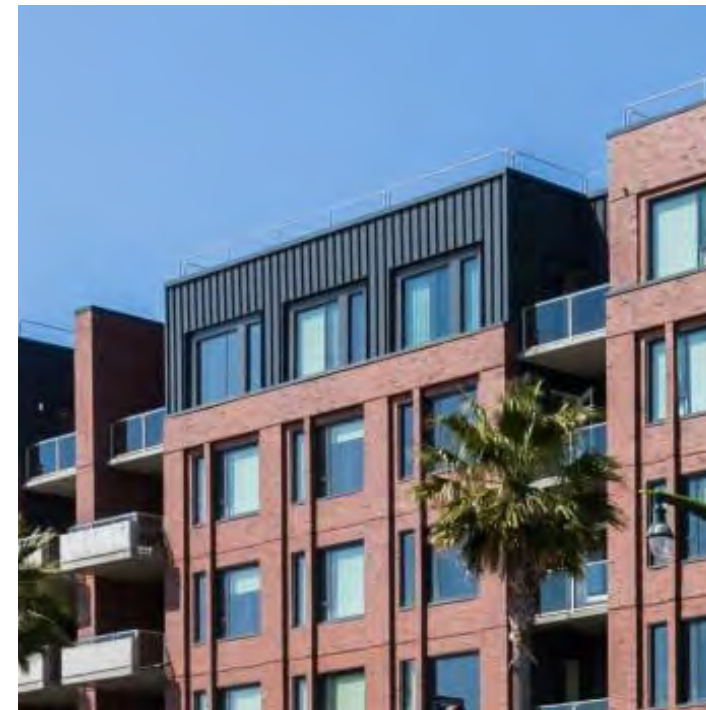




GLASS WALL + HIGH TRANSPARENCY WINDOW SYSTEM



WALL SYSTEM
FIBER CEMENT LAP SIDING + CORRUGATED METAL PANEL

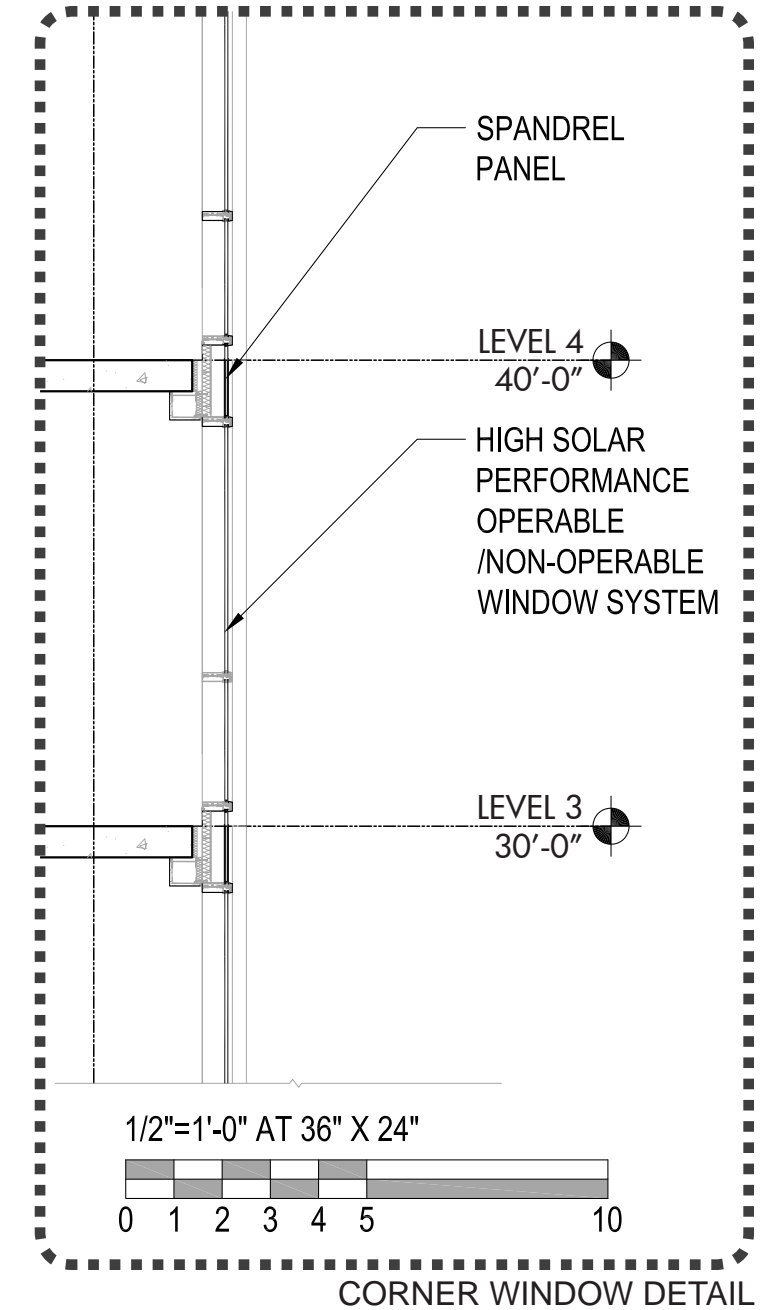


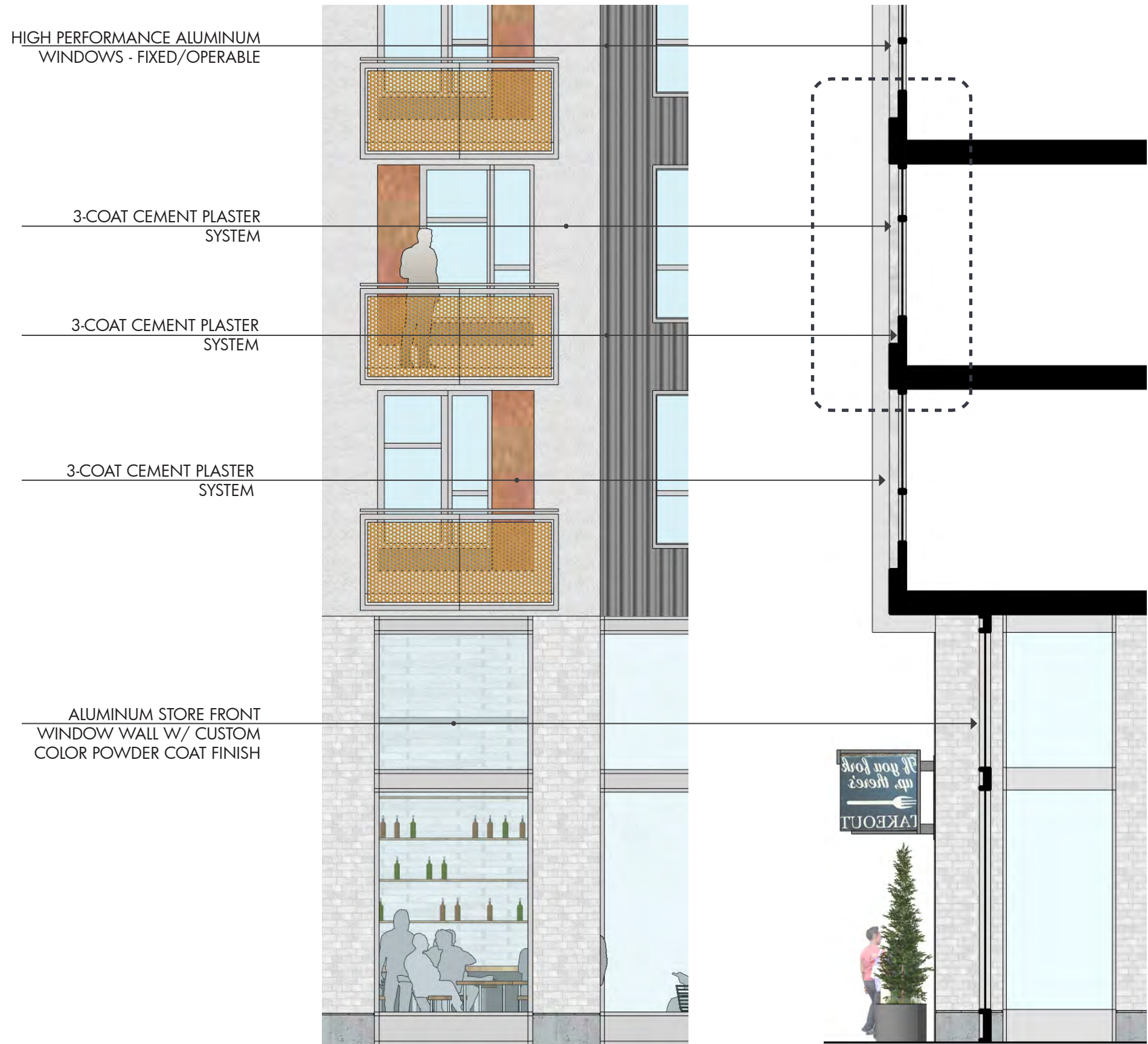
HIGH PERFORMANCE ALUMINUM
WINDOWS - FIXED/OPERABLE

METAL RAILING W/
PERFORATED METAL PANEL

ALUMINUM WINDOW WALL
SYSTEM W/ CUSTOM COLOR
FINISH AND HIGH PERFORMANCE
INSULATED GLASS

ALUMINUM STORE FRONT
WINDOW WALL W/ CUSTOM
COLOR POWDER COAT FINISH





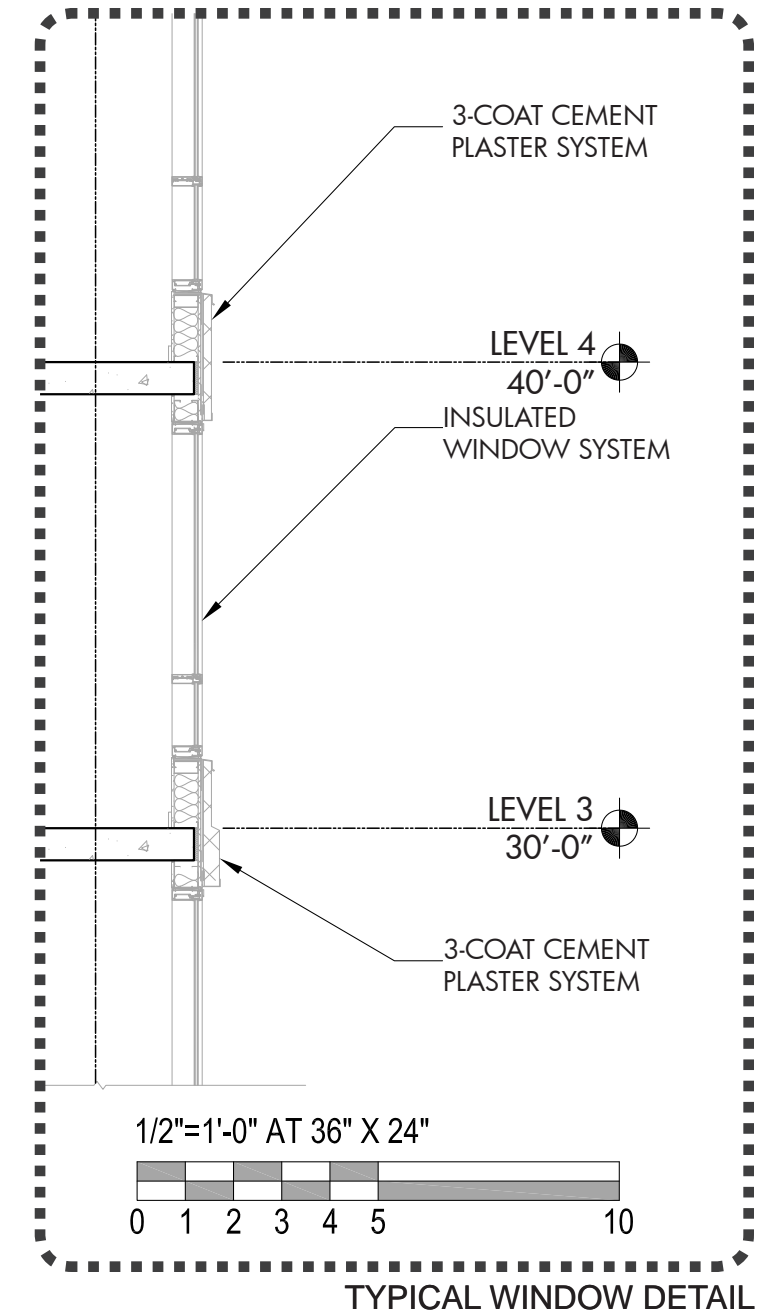
HIGH PERFORMANCE ALUMINUM
WINDOWS - FIXED/OPERABLE

3-COAT CEMENT PLASTER
SYSTEM

3-COAT CEMENT PLASTER
SYSTEM

3-COAT CEMENT PLASTER
SYSTEM

ALUMINUM STORE FRONT
WINDOW WALL W/ CUSTOM
COLOR POWDER COAT FINISH



3-COAT CEMENT
PLASTER SYSTEM

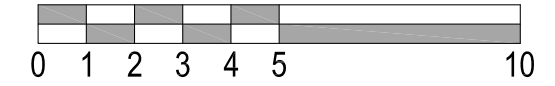
LEVEL 4
40'-0"

INSULATED
WINDOW SYSTEM

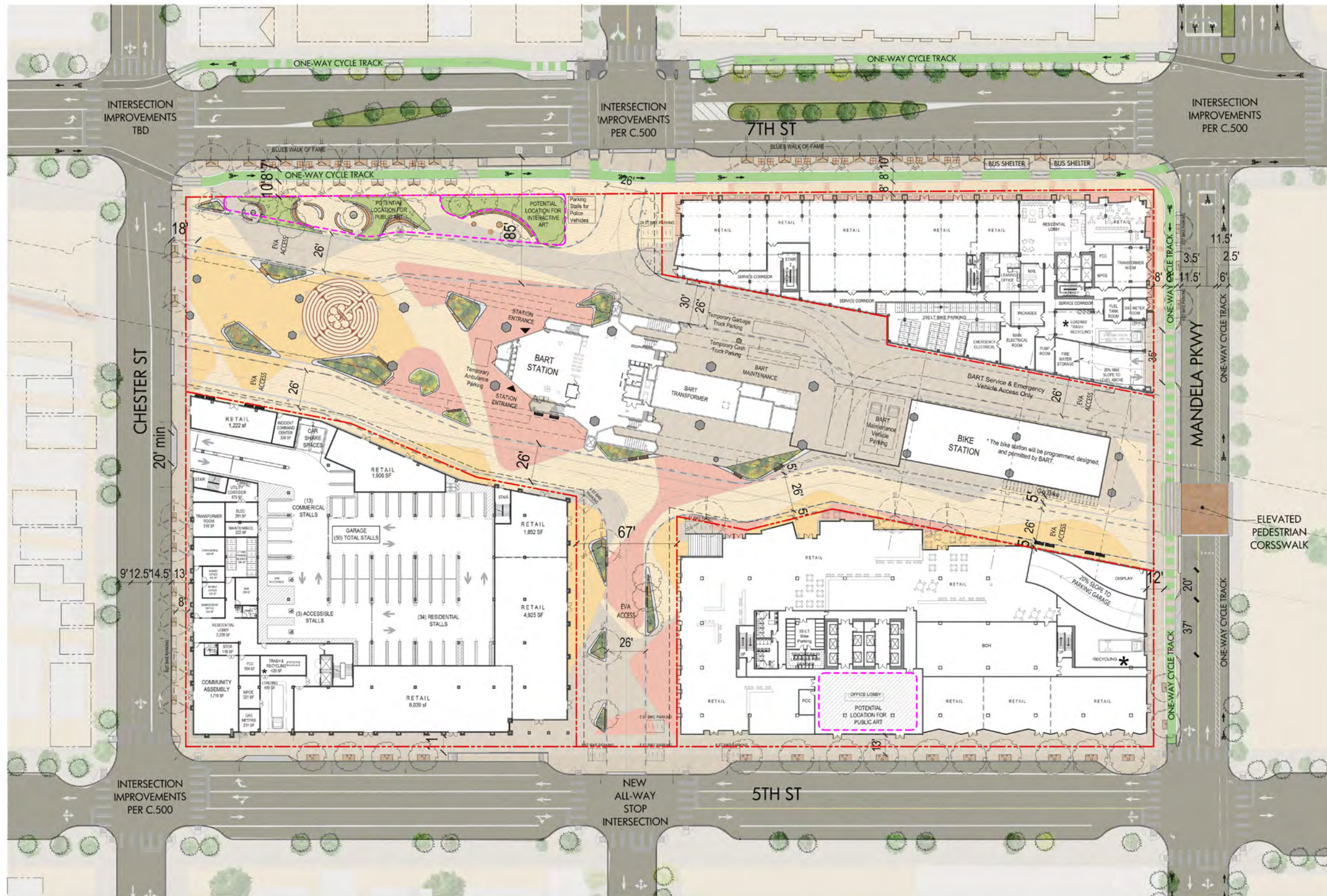
LEVEL 3
30'-0"

3-COAT CEMENT
PLASTER SYSTEM

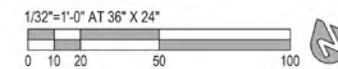
1/2"=1'-0" AT 36" X 24"

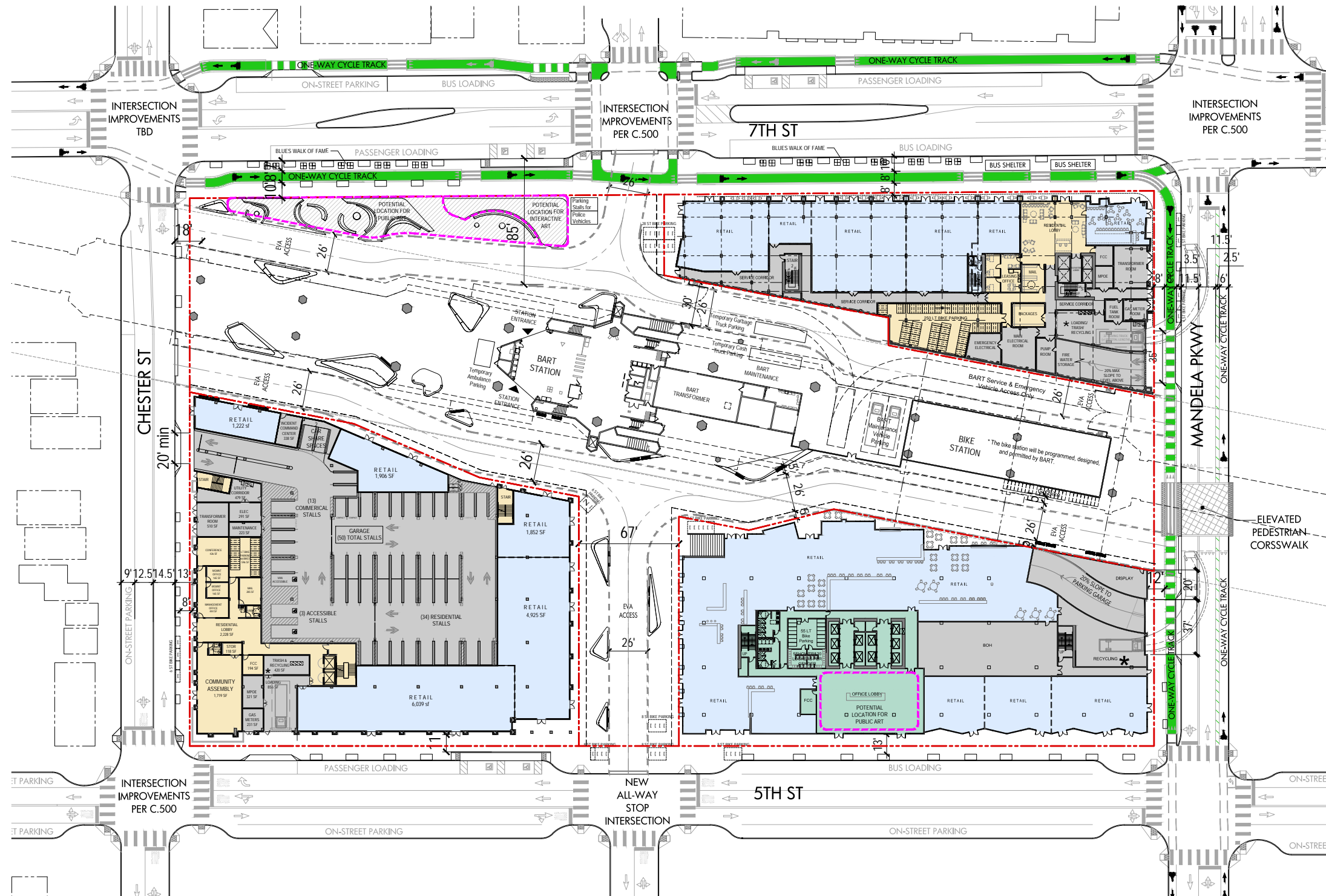


TYPICAL WINDOW DETAIL

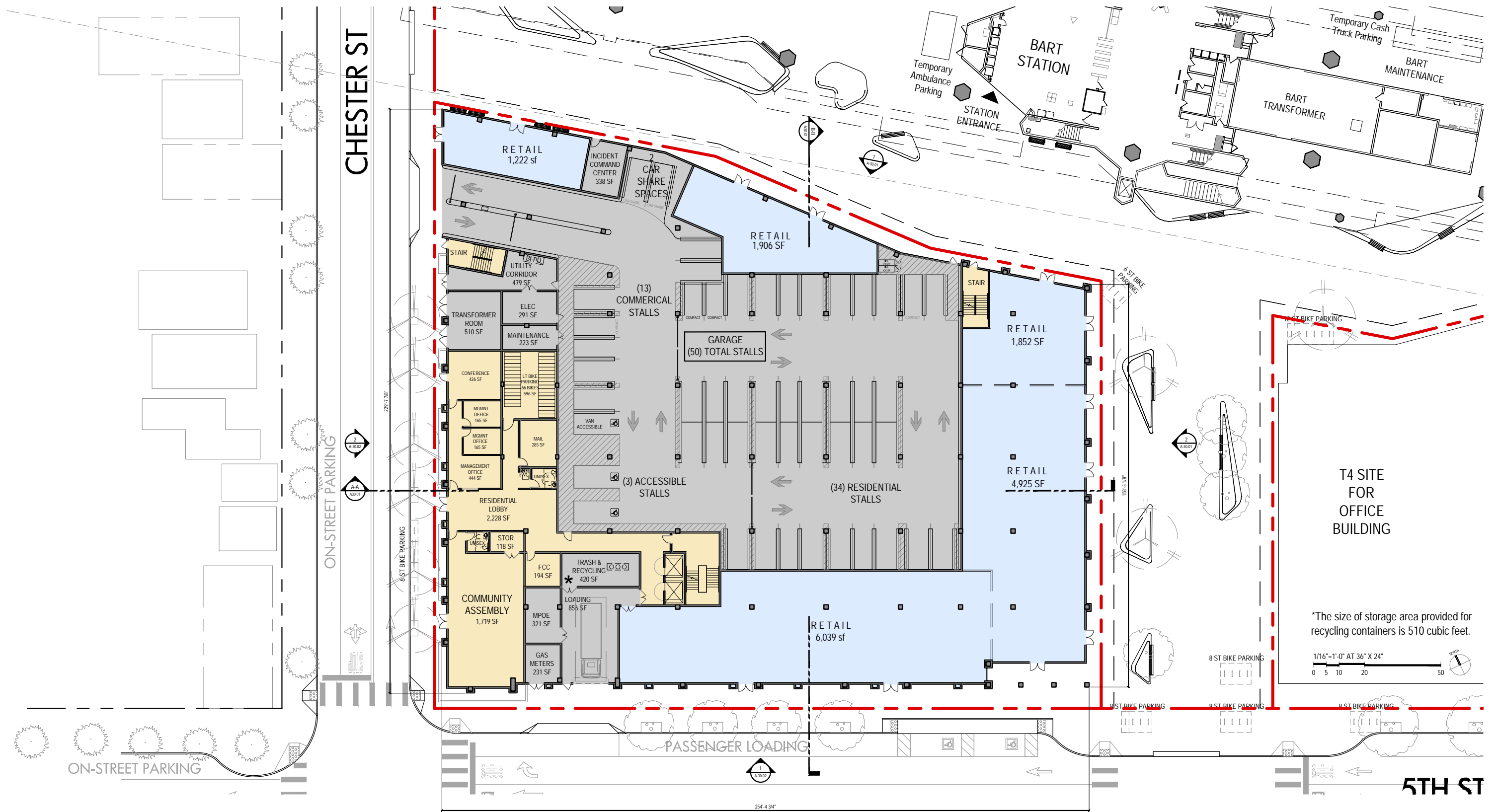


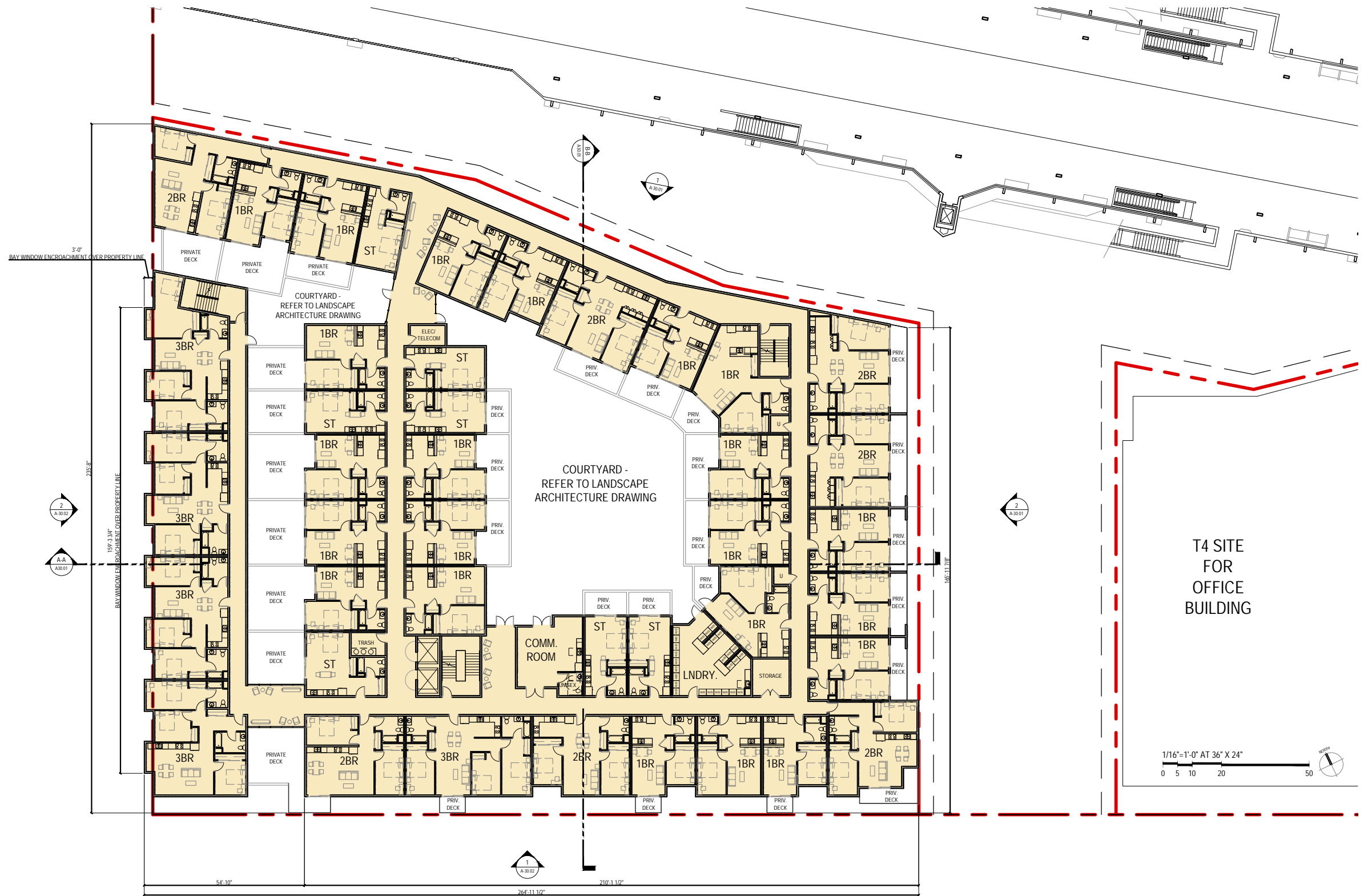
1. The recycling space on T1 site is 1,150 cubic feet minimum, on T3 site is 510 cubic feet minimum, and on T4 site is 647 cubic feet minimum. The total recycling space on site is 2,307 cubic feet minimum.





1. The recycling space on T1 site is 1,150 cubic feet minimum, on T3 site is 510 cubic feet minimum, and on T4 site is 647 cubic feet minimum. The total recycling space on site is 2,307 cubic feet minimum.

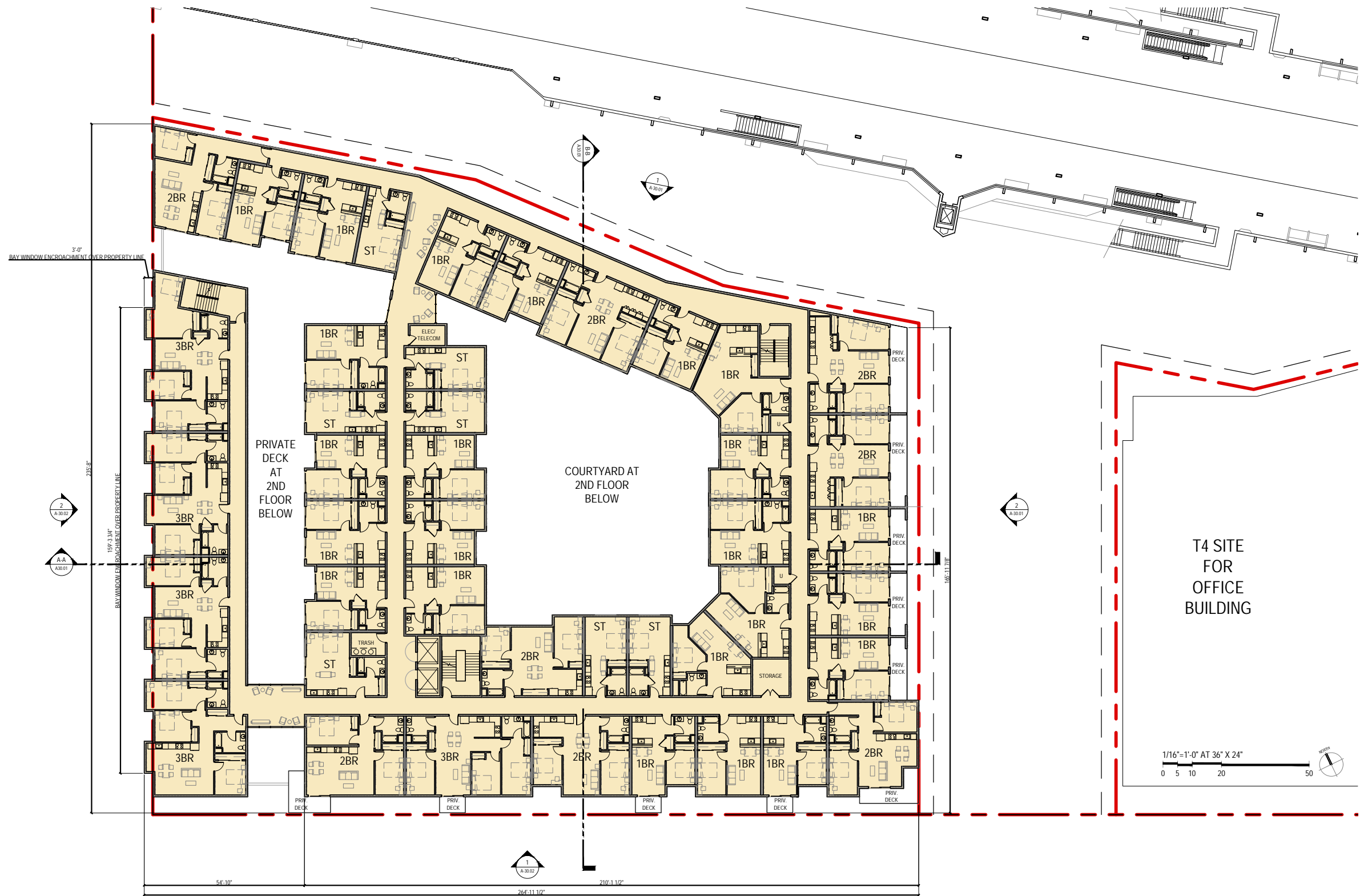




T4 SITE
FOR
OFFICE
BUILDING

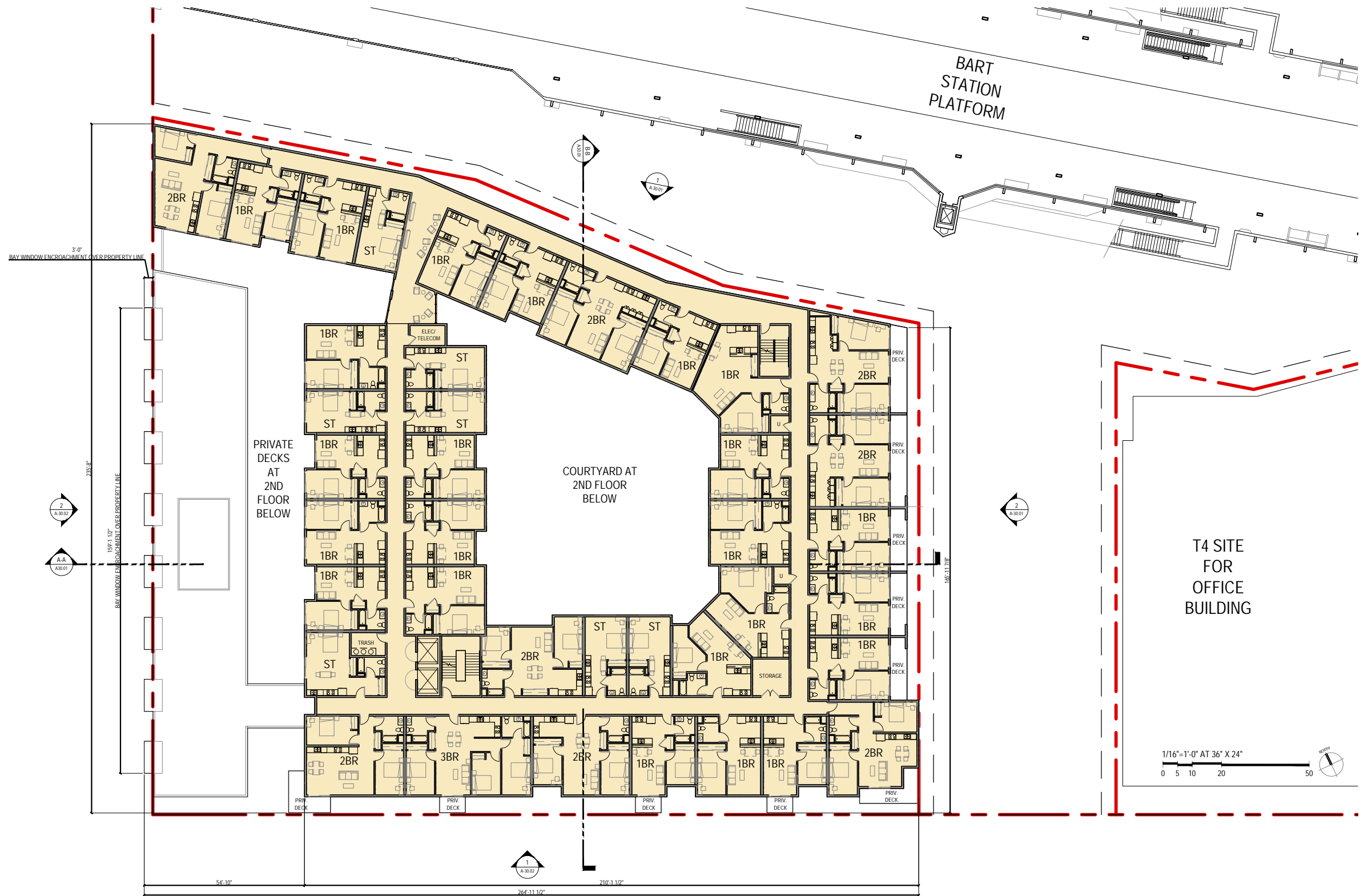
1/16"=1'-0" AT 36" X 24"

0 5 10 20 50



T4 SITE
FOR
OFFICE
BUILDING

1/16"=1'-0" AT 36" X 24"
0 5 10 20 50





NOTES:
 1. EQUIPMENT IN MECHANICAL/UTILITY AREAS SHALL BE VISUALLY SCREENED. THESE BOUNDARIES ARE SCHEMATIC AND SUBJECT TO CHANGE AND SHALL BE FINALIZED PRIOR TO BUILDING PERMIT APPLICATION.
 2. UNOCCUPIED ROOFS ARE DESIGNATED FOR SOLAR HOT WATER AND PHOTOVOLTAIC ARRAYS. THE EXTENT OF RENEWABLE ENERGY EQUIPMENT WILL BE DETERMINED PRIOR TO BUILDING PERMIT APPLICATION.

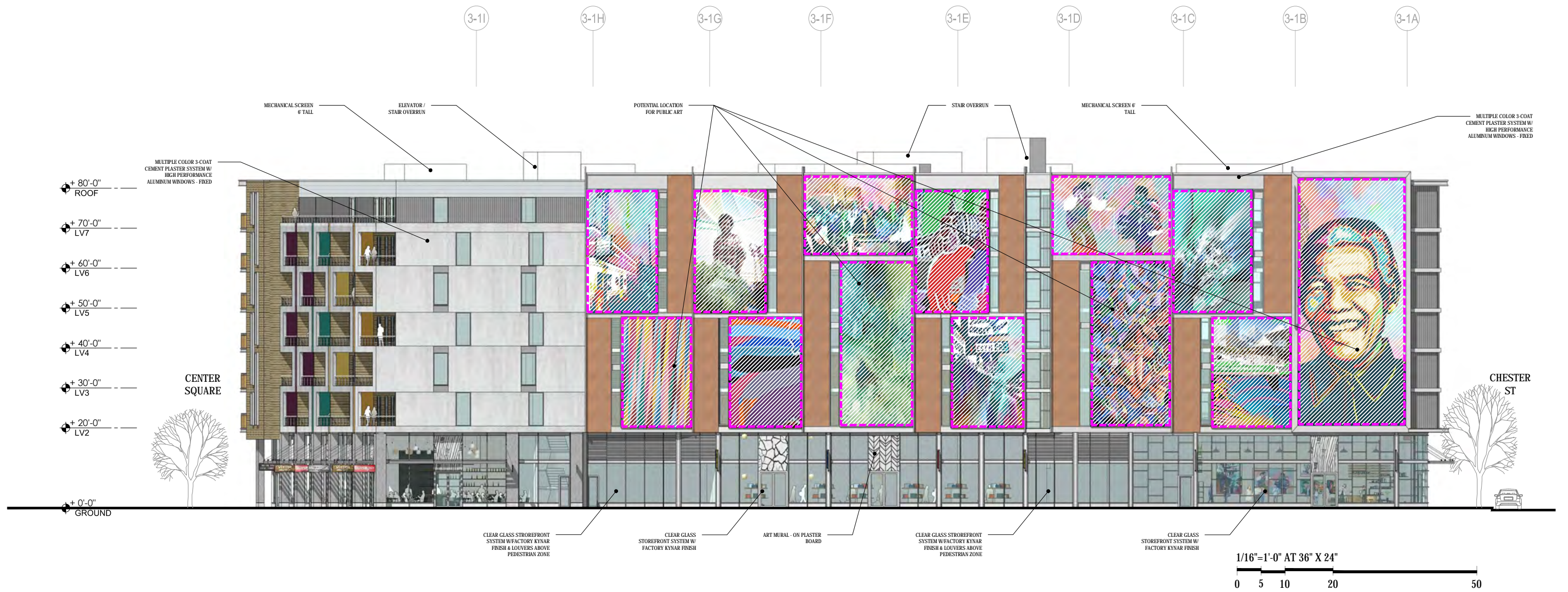


- ### General Elevation Notes
1. Refer to A-53.01, A-53.02 for window detail
 2. Refer to A-02.03 for additional information about material
 3. Refer to Landscape Architect & Civil Drawings for additional information.



General Elevation Notes

1. Refer to A-53.01, A-53.02 for window detail
2. Refer to A-02.03 for additional information about material
3. Refer to Landscape Architect & Civil Drawings for additional information.



- ### General Elevation Notes
1. Refer to A-53.01, A-53.02 for window detail
 2. Refer to A-02.03 for additional information about material
 3. Refer to Landscape Architect & Civil Drawings for additional information.



VINYL WALL MOUNTED MURAL

Tiffin Metal Products developed the Wall Mount Bracket System as a cost effective means of attaching vinyl to walls.

WALL MOUNT BRACKET SYSTEM

This system includes stationary and adjustable wall mount brackets manufactured from 12 gauge galvanized material. The adjustable wall mount brackets include an 8" full thread shoulder bolt to tension the vinyl. To complete the package, 3/4" diameter fiberglass rods are available in 10', 12' and 14' lengths.

Note: Mounting hardware supplied by customer.

TIFFIN METAL PRODUCTS

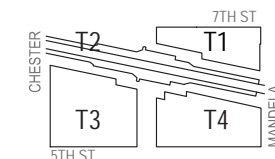
TIFFIN METAL PRODUCTS CO.™
450 Wall Street · Tiffin, Ohio 44883
800-537-0983 · www.tiffinmetal.com

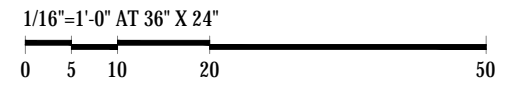
CONCEALED BRACKET SYSTEM



ACCESS & INSTALLATION SYSTEM

Public Art References – Art Exhibition Wall





General Elevation Notes

1. Refer to A-53.01, A-53.02 for window detail
2. Refer to A-02.03 for additional information about material
3. Refer to Landscape Architect & Civil Drawings for additional information.

