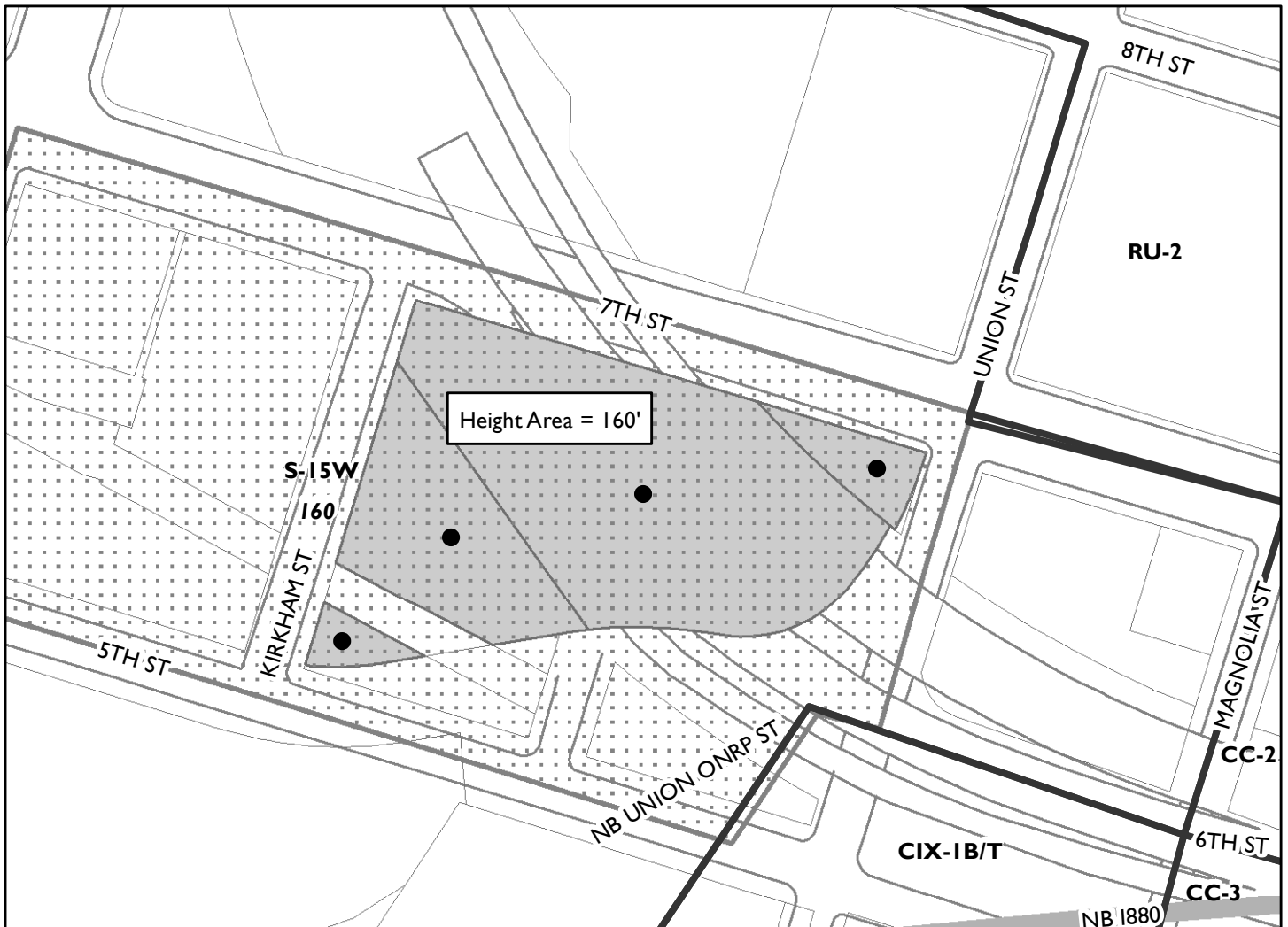


# CITY OF OAKLAND PLANNING COMMISSION



0 100 200 400 600 800 Feet



Case File: PLN17428; PUDF07-PUDF01; PUDF07-PUDF02 & PUDF07-PUDF03  
Applicant: Patrick Kennedy, 500 Kirkham LLC  
Address: 500 Kirkham and 1255 7th Streets  
Zone: S-15W  
Height Area: 160 ft



Patrick Kennedy, Owner  
Panoramic Interests  
1321 Mission Street  
San Francisco, CA 94103

June 25, 2020

Catherine Payne  
Acting Development Planning Manager  
City of Oakland Bureau of Planning  
250 Frank H. Ogawa, Suite 2114  
Oakland, CA 94612

RE: Application Number: PLN17428; Property Location: 500 Kirkham Street; APNs: 004-0049-008-00; 004-0049-009-00; 004-0049-010-00; 004-0051-018-02

Dear Mrs. Payne,

This is a formal request for a three year extension of all planning approvals associated with Planning Application PLN17420. The Planning Commission unanimously approved the project on August 22, 2019, with an expiration date of August 21, 2021. We submitted a complete extension application May 29, 2020, and would like to get to the Planning Commission as soon as possible.

Approximately six months after the project was approved, the World Health Organization declared COVID-19 a global pandemic. The pandemic has created unprecedented volatility and uncertainty in the financial markets, and has frozen investment and lending. During this economically fragile time, building confidence, particularly for a project of this scale, is paramount to a successful delivery of new development. Lenders must have the assurance of a longer timeline to mitigate risk in the current environment.

The justification for our request is based on the impacts of COVID-19 on the lending market, a need to mitigate additional risks through a three year extension, and an urgency to break ground in the fall.

- An entitlement extension is necessary to secure financing. COVID-19 has made investment riskier and construction costs higher.
  - COVID-19 has made investment riskier because it has created a recession and has caused unpredictable economic shutdowns. To consider an investment of this size, lenders require the assurance that our entitlements will not disappear within a year. In the current market, more stability is needed through longer approvals to secure financing.

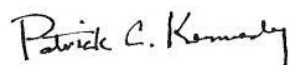
**ATTACHMENT-B**

- In addition, investment risk is higher because COVID-19 has impacted construction costs. These include social distancing measures, temperature checks, hand washing stations, supply chain disruptions, and uncertainty around job site shutdowns. Construction schedules are anticipated to become longer to accommodate health measures. The project cannot absorb these costs, as well as costs from expiring approvals.
- We are requesting an extension of three years.
  - It is necessary to provide confidence to our lenders that our entitlements will remain valid through the foreseeable impacts of COVID-19. While a modern day pandemic is unprecedented, we anticipate this to be a minimum of three years.
  - COVID-19 has lengthened the timeline for a project. Financing is more restricted and takes longer to secure, stay at home orders have caused general delays, and construction schedules are longer to account for uncertainties and health measures. This entitlement comprises three large mixed-use buildings that must be built sequentially. Given the current climate, we cannot deliver the entire project in the original timeline of two years.
- Obtaining an extension is urgent, and we request that the Commission considers our application at the July or August meeting.
  - The monthly carrying costs for a project of this size are extremely high. COVID-19 has already delayed the project, and Building I must break ground in the fall to avoid catastrophic financial impacts. To break ground in the fall, we need to secure financing. To secure construction financing, we must have an extension granted in July or August. If the extension is delayed, the start of construction on Building I will be delayed, and project costs will rise. The project is intended to be workforce housing and cannot accommodate additional financial setbacks from further delays.
  - Furthermore, our original schedule anticipated commencing construction in July to avoid site work during the rainy season. Starting construction beforehand will help construction costs and productivity.

The project at 500 Kirkham will provide 1,032 units of critically needed housing, 35,000 sf of retail space for small local businesses, over 40,000 sf of open space for the public, and extensive community benefits. Given a planning approval extension, the team will have the ability to secure financing, and to deliver the project.

On behalf of the project team, we look forward to continuing to work with the City of Oakland, and appreciate your consideration for a three year planning extension.

Sincerely,



Patrick Kennedy

CC: Mike Rivera, City Planner

# 500 KIRKHAM

500 KIRKHAM STREET  
OAKLAND, CA 94607

REVISED PUD & FDP 1, FDP 2, FDP 3 SUBMITTAL

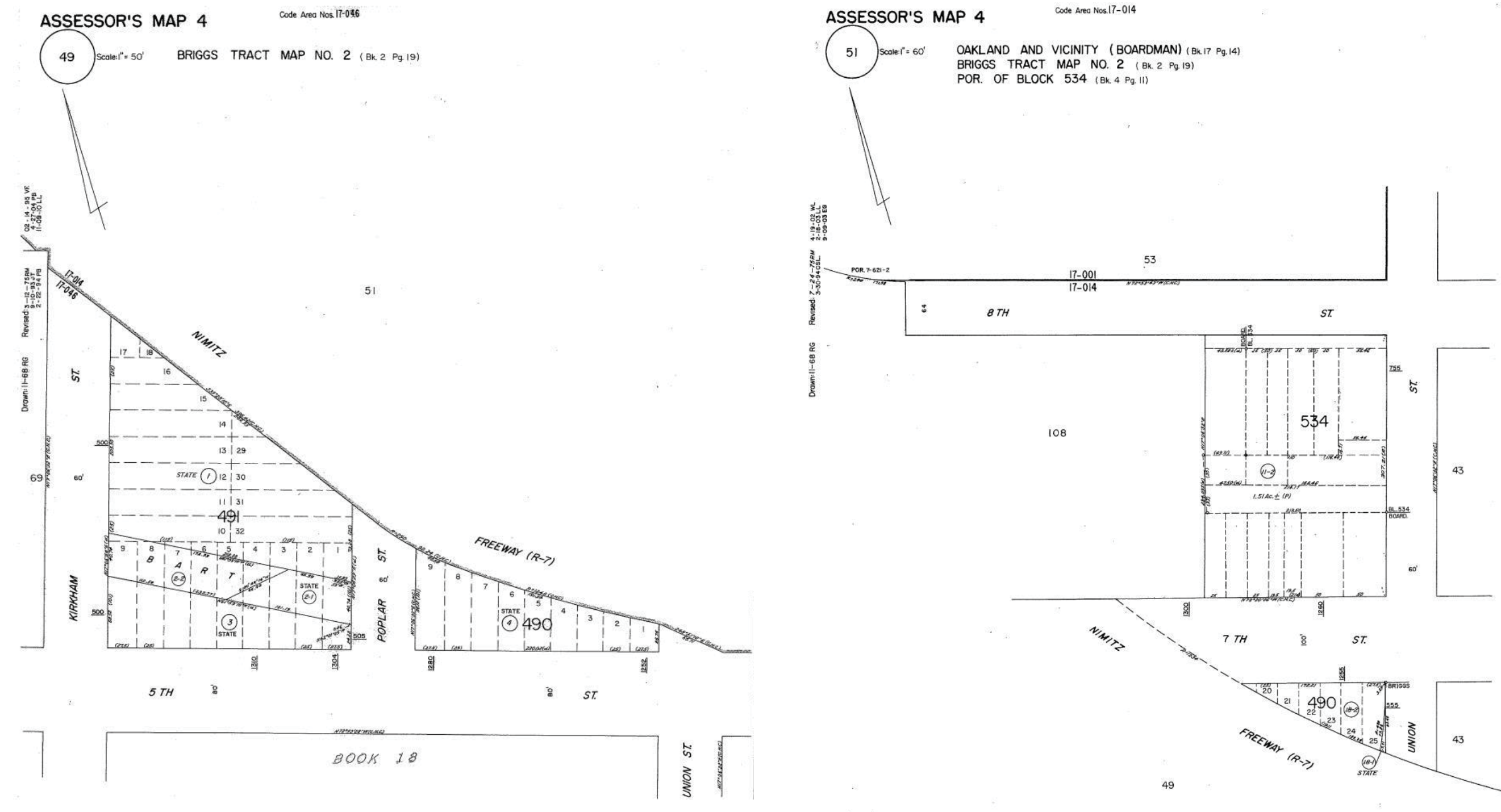
CITY OF OAKLAND PLANNING COMMISSION

CASE FILE NUMBER : PLN17428

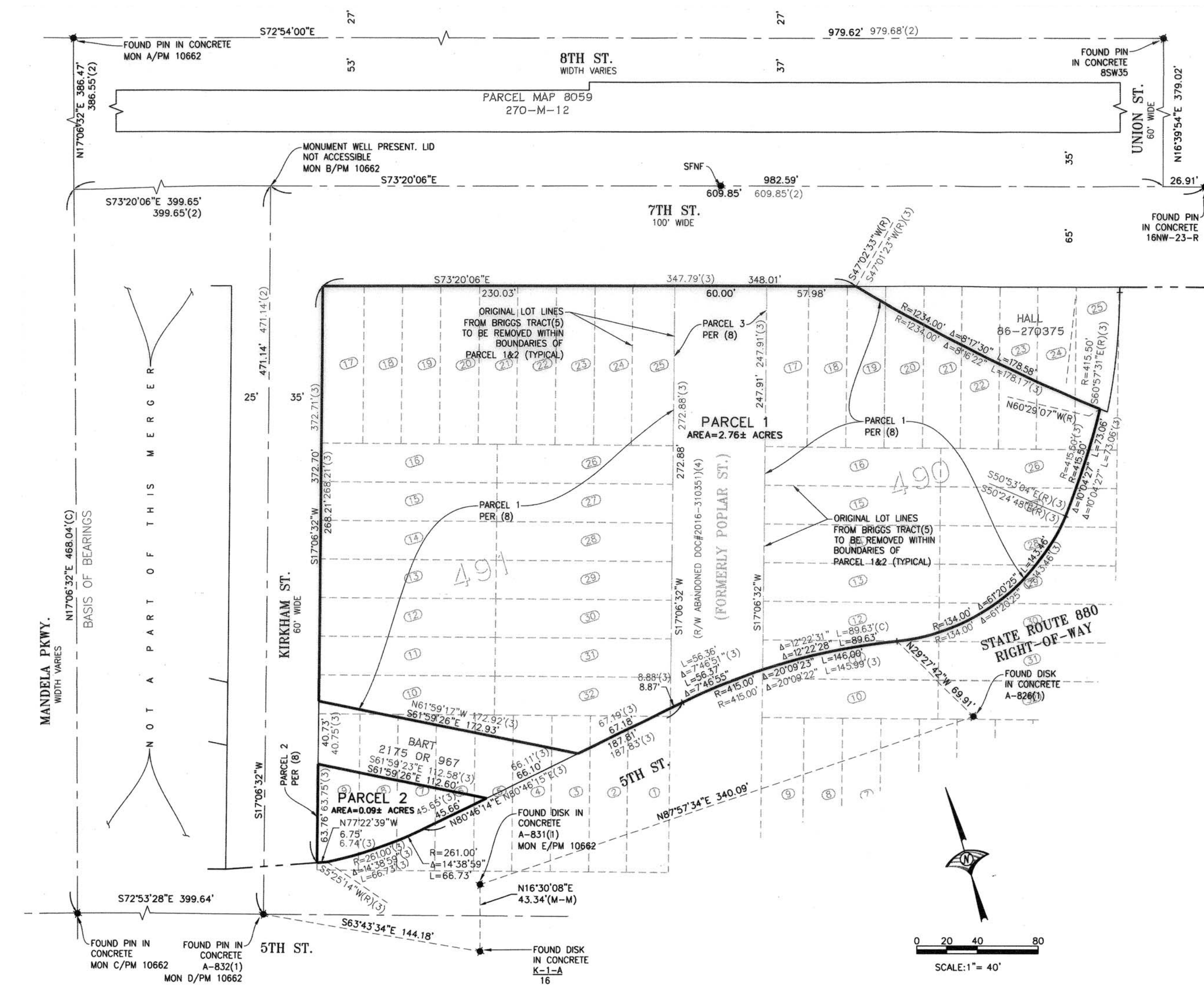
PUD NUMBER: PUDF07



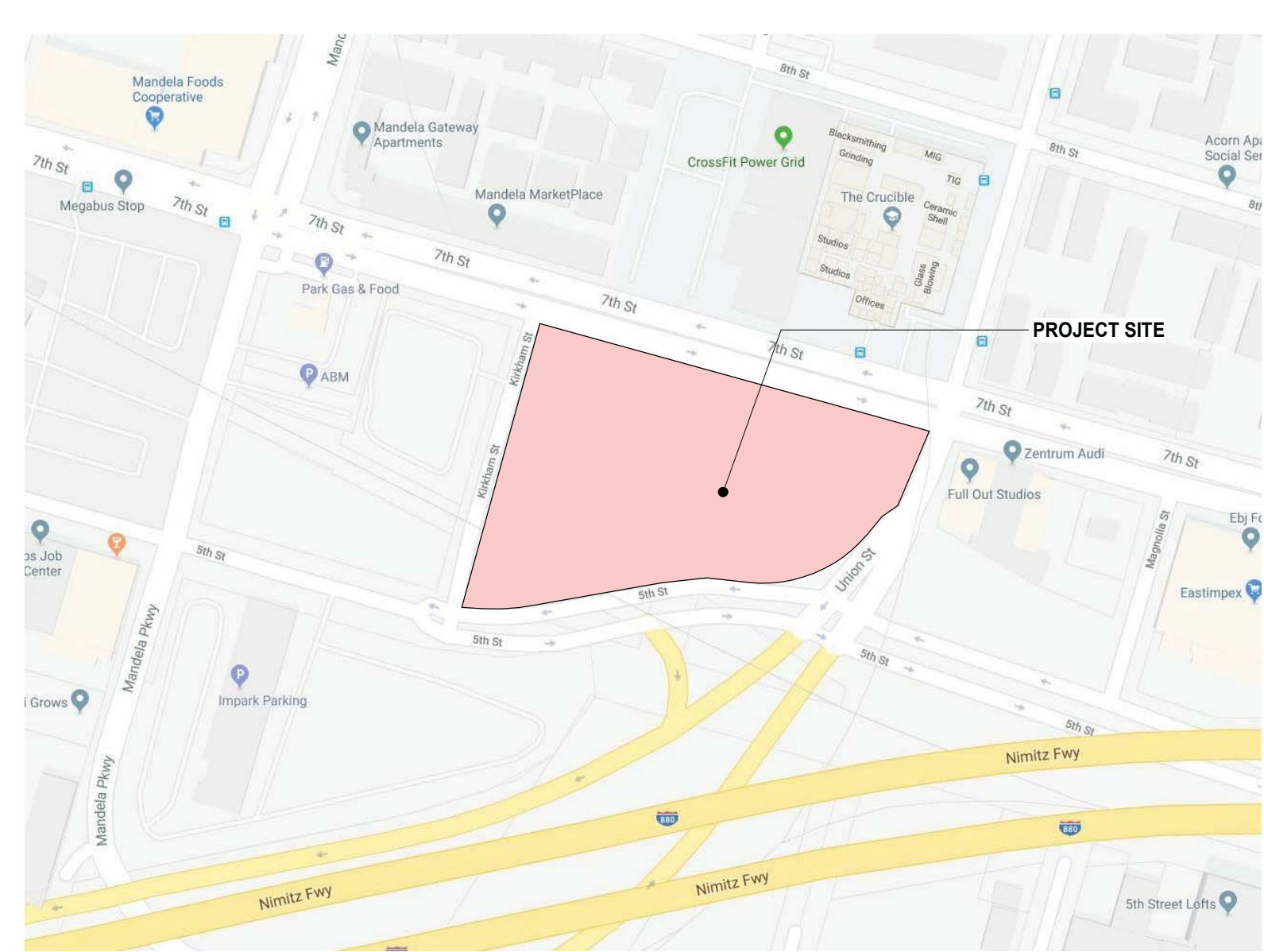
# ASSESSOR'S MAP



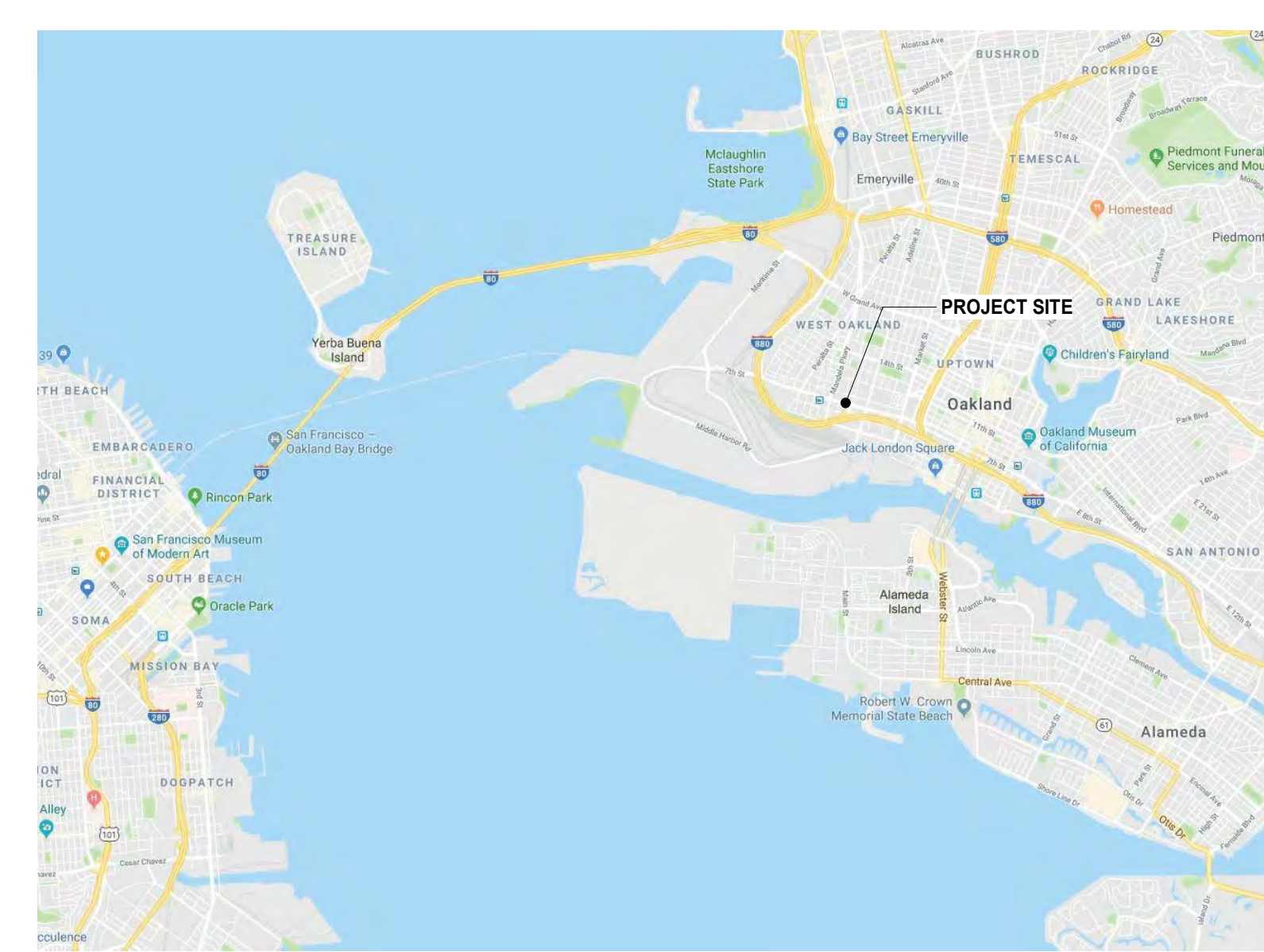
# PARCEL MAP



# VICINITY MAP



# SITE LOCATION MAP



# SHEET INDEX

- |                      |                                   |   |                          |  |                          |                              |                              |                            |                                   |  |   |                                   |  |  |  |   |                                   |                                       |                                 |                               |                               |   |                         |                                       |                              |                             |                     |                   |                             |                               |
|----------------------|-----------------------------------|---|--------------------------|--|--------------------------|------------------------------|------------------------------|----------------------------|-----------------------------------|--|---|-----------------------------------|--|--|--|---|-----------------------------------|---------------------------------------|---------------------------------|-------------------------------|-------------------------------|---|-------------------------|---------------------------------------|------------------------------|-----------------------------|---------------------|-------------------|-----------------------------|-------------------------------|
| <b>GENERAL</b>       | G0.0 COVER SHEET                  | G0.1 PROJECT INFORMATION                              | G0.2 PROJECT INFORMATION | G0.3 PUD ZONING INFORMATION & DIAGRAMS | G0.4 EXISTING CONDITIONS | G0.5 EXISTING CONDITIONS     | G1.0 GPR CHECKLIST           | G1.1 TRASH MANAGEMENT PLAN | G1.2 SERVICE CIRCULATION DIAGRAM  | L1.00 ILLUSTRATIVE LANDSCAPE PLAN            | L2.00 LANDSCAPE PLANTING AND IRRIGATION |                                   |  |  |  |   |                                   |                                       |                                 |                               |                               |   |                         |                                       |                              |                             |                     |                   |                             |                               |
| <b>CIVIL</b>         | C0.1 GENERAL NOTES                | C0.2 EXISTING CONDITIONS (FOR REFERENCE ONLY)         | C1.1 DEMOLITION PLAN     | C2.1 GRADING PLAN                      | C3.1 UTILITY PLAN        | C4.1 STORMWATER CONTROL PLAN | C5.1 EROSION CONTROL PLAN    | C6.1 DETAILS               | C6.2 DETAILS                      | <b>LANDSCAPE</b>                             | L1.01 ILLUSTRATIVE LANDSCAPE PLAN       | L2.01 BUILDING 1 LANDSCAPE PLAN   | L3.00 BUILDING 2 LANDSCAPE PLAN          | L4.00 PEDESTRIAN PATHWAY WEST                  | L4.01 PEDESTRIAN PATHWAY EAST                    | L6.00 BUILDING 3 ROOFTOP LANDSCAPE PLAN | L7.00 PUBLIC REALM PLAN           | L7.1 PUBLIC OPEN SPACE LANDSCAPE PLAN | L8.00 OVERHEAD CANOPY DESIGN    | L8.1 OVERHEAD CANOPY DESIGN   | L9.00 SITE SECTIONS           | L9.1 SITE SECTION                       | L9.2 SITE SECTIONS      | L10.00 TREE PRESERVATION PLAN         |                              |                             |                     |                   |                             |                               |
| <b>ARCHITECTURAL</b> | A0.0 FDP 1, FDP 2, FDP 3 DIAGRAMS | A0.1 FDP 1, FDP 2, FDP 3 BUILDING DELIVERY RENDERINGS | A0.2 LOADING DIAGRAM     | A0.4 SITE SECURITY DIAGRAM             | A1.0 EXISTING SITE PLAN  | A1.3 FDP 2 OVERALL SITE PLAN | A1.4 FDP 3 OVERALL SITE PLAN | A1.5 OVERALL PLAN FLOOR 1  | A2.0 FDP 1 BUILDING 1 FLOOR 1 & 2 | A2.1 FDP 1 BUILDING 1 FLOOR 3 AND FLOORS 4-9 | A2.2 FDP 1 BUILDING 1 ROOF              | A2.3 FDP 2 BUILDING 2 FLOOR 1 & 2 | A2.4 FDP 2 BUILDING 2 FLOOR 3-8 AND ROOF | A2.5 FDP 3 BUILDING 3 GROUND FLOOR & MEZZANINE | A2.6 FDP 3 BUILDING 3 FLOOR 2 - 8 & FLOOR 9 - 32 | <b>LANDSCAPE</b>                        | L1.01 ILLUSTRATIVE LANDSCAPE PLAN | L2.01 BUILDING 1 LANDSCAPE PLAN       | L3.00 BUILDING 2 LANDSCAPE PLAN | L4.00 PEDESTRIAN PATHWAY WEST | L4.01 PEDESTRIAN PATHWAY EAST | L6.00 BUILDING 3 ROOFTOP LANDSCAPE PLAN | L7.00 PUBLIC REALM PLAN | L7.1 PUBLIC OPEN SPACE LANDSCAPE PLAN | L8.00 OVERHEAD CANOPY DESIGN | L8.1 OVERHEAD CANOPY DESIGN | L9.00 SITE SECTIONS | L9.1 SITE SECTION | L9.2 SITE SECTIONS          | L10.00 TREE PRESERVATION PLAN |
| <b>ARCHITECTURAL</b> | A2.7 FDP 3 BUILDING 3 ROOF PLAN   | A3.0 NORTH ELEVATION                                  | A3.1 WEST ELEVATION      | A3.2 SOUTH ELEVATION                   | A3.3 EAST ELEVATION      | A3.4 MATERIAL BOARD          | A4.0 SITE SECTIONS           | A4.1 SITE SECTIONS         | A4.2 FDP 1 BUILDING 1 SECTIONS    | A4.3 FDP 1 BUILDING 1 SECTIONS               | A4.4 FDP 2 BUILDING 2 SECTIONS          | A4.5 FDP 2 BUILDING 2 SECTIONS    | A4.6 FDP 3 BUILDING 3 SECTIONS           | A5.0 TYPICAL UNIT PLANS                        | A7.0 WALL SECTIONS AND DETAILS                   | A7.1 WALL SECTIONS AND DETAILS          | A7.2 SIGNAGE PLAN DIAGRAM         | A7.3 SIGNAGE ELEVATIONS               | A8.0 RENDERINGS                 | A8.1 RENDERINGS               | A8.2 RENDERINGS               | A8.3 RENDERINGS                         | A8.4 RENDERINGS         | A8.5 RENDERINGS                       | A8.6 RENDERINGS              | A8.7 RENDERINGS             | A8.8 RENDERINGS     | <b>LIGHTING</b>   | LT.1 EXTERIOR LIGHTING PLAN | LT.2 EXTERIOR LIGHTING PLAN   |

# PROJECT DIRECTORY

<b>DEVELOPER</b>	<b>PANORAMIC INTERESTS</b>
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	45 FREMONT STREET, 28TH FLOOR SAN FRANCISCO, CA 94105 CORY BANNON 415.989.1004 CORY.BANNON@KPFF.COM
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SAN FRANCISCO  
CA 94103  
P. (415) 677-0966  
CLIENT

**PANORAMIC INTERESTS**  
CREATORS OF CITIESPACES  
CONSULTANT

**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

ISSUE	DATE
PLANNING RESUBMITTAL	08.10.17
PLANNING RESUBMITTAL	08.03.18
PLANNING RESUBMITTAL	03.15.19
PLANNING RESUBMITTAL	04.17.19
PLANNING RESUBMITTAL	04.23.19
PLANNING RESUBMITTAL	05.02.19
PLANNING RESUBMITTAL	07.03.19

# PROJECT INFORMATION

# PROJECT DESCRIPTION & ZONING SUMMARY

## PROJECT DESCRIPTION

The project envisions creating a transit village in the heart of West Oakland. The site is located at a critical junction in Oakland. By location, it would work as a bridge between West Oakland and Downtown Oakland. The massing strategies for the project are a direct response to the West Oakland Specific Plan identifying 500 Kirkham as an "opportunity site" for high density housing. The project offers 1,032 rental apartments and tens of thousands of square feet of commercial space which will create much needed retail and essential services for residents and members of the community alike.

The taller portion of the project is located to relate to Downtown Oakland and Oakland as a whole. The iconic high-rise building is oriented facing 7th Street to reinforce the role of the street as an important boulevard in the district. Moving South-West, the massing steps down to the South-West and creates mid-rise buildings that relate to the industrial past of West Oakland. The Site is intersected by pedestrian alleys, oriented North-South, inviting the neighborhood in to partake in ground floor activities. These pedestrian alleys more than double the retail and flex space frontage of the project, with the goal of activating the ground floor and creating much needed essential services for all residents of the surrounding community. The longer and Western most alley is envisioned as very active, while the Eastern alley will be more passive offering places for families to spend time and access services. The project embraces the opportunity to bring the community into the project site through ample art offerings along 5th street, connected by the two public pedestrian alleys allowing for circulation and connectivity.

## ZONING SUMMARY

	S-15W ZONE REQUIREMENT	PUD REQUIREMENT /WAIVER*	STATE DENSITY BONUS BONUS CONCESSION/WAIVER	PROPOSED PROJECT
MINIMUM LOT AREA	4,000 SF	60,000 SF	--	137,389 SF (3.15 ACRES)
MINIMUM LOT WIDTH AND FRONTAGE	25 FT	--	--	372 - 520 FT
MAXIMUM RESIDENTIAL DENSITY	611 UNITS (225 SF LOT AREA/UNIT)	764 UNITS (+25% BONUS)	1,032 UNITS (+35% BONUS)	1,032 UNITS
MAXIMUM BUILDING HEIGHT	160 FT 75 FT WITHIN 10 FT OF PRINCIPAL ST	75 FT HEIGHT LIMIT WAIVED	338 FT WITH CONCESSION	84 FT 4 IN (BUILDING 1) 84 FT 4 IN (BUILDING 2) 338 FT 0 IN (BUILDING 3)
USABLE OPEN SPACE	206,400 SF (200 SF/DWELLING UNIT)	77,400 SF (75 SF/DU; 15 SF/DU MIN GROUP OS WHEN SUBSTITUTING PRIVATE OPEN SPACE)	WAIVER	27,025 S.F. (67,113 S.F. TOTAL, INCL'D 40,088 S.F. PUBLIC OPEN SPACE)
SETBACKS				
FRONT	0 FT	0 FT	N/A	0 FT TO 5.0 FT
INTERIOR SIDE	0 FT	0 FT	N/A	VARIES
STREET SIDE	0 FT	0 FT	N/A	0 FT
REAR	10 FT	10 FT REAR SETBACK WAIVED	N/A	0 FT TO 16.0 FT
RESIDENTIAL OFF-STREET PARKING REQUIREMENT	258 SPACES (0.5 SPACES/DWELLING UNIT +50% REDUCTION FOR TDM MEASURES**)	--	CONCESSION	59 SPACES
COMMERCIAL OFF-STREET PARKING	0 SPACES	--	--	0 SPACES
RESIDENTIAL LOADING BERTH	1 SPACE	--	--	1 SPACE (BUILDING 1)
COMMERCIAL LOADING BERTH	1 SPACE	--	--	1 SPACE (BUILDING 3)
BICYCLE PARKING				
RESIDENTIAL SHORT TERM	1 SPACE PER 20 DWELLING UNITS (52 BIKE SPACES)	--	--	64 BIKE SPACES
RESIDENTIAL LONG TERM	1 SPACE PER 4 DWELLING UNITS (258 BIKE SPACES)	--	--	621 BIKE SPACES
COMMERCIAL SHORT TERM	1 SPACE PER 2,000 SF	--	--	38 BIKE SPACES
COMMERCIAL LONG TERM	1 SPACE PER 12,000 SF	--	--	5 BIKE SPACES

\* PER OAKLAND PLANNING CODE SECTION 17.142.100, CERTAIN DEVELOPMENT REQUIREMENTS MAY BE WAIVED FOR THE PURPOSE OF PROMOTING AN INTEGRATED SITE PLAN

\*\* PER OAKLAND PLANNING CODE SECTION 17.116.100.C, PARKING REQUIREMENTS MAY BE REDUCED BY UP TO 50% IF THE PROJECT IMPLEMENTS CERTAIN DEMAND MANAGEMENT MEASURES

NOTE 1: REFER TO SUPPLEMENTAL FINDINGS DOCUMENT FOR ADDITIONAL INFORMATION

NOTE 2: PROJECT WILL PROVIDE 8 CAR SHARE SPACES TOTAL AS PART OF FDP 1, FDP 2, & FDP 3. SIX SPACES WILL BE ON-SITE OR ON A NEIGHBORING SITE (DURING CONSTRUCTION OF FDP 3), TWO SPACES WILL BE STREET PARKING, EXACT LOCATIONS TBD BY INTERDEPARTMENTAL CITY REVIEW.

NOTE 3: FROM COMPLETION OF FDP 1 UNTIL CONSTRUCTION OF FDP 3, 59 TEMPORARY SPACES WILL BE PROVIDED ON-SITE. DURING CONSTRUCTION OF FDP 3, 59 TEMPORARY SPACES WILL BE PROVIDED OFF-SITE LOCATED AT 1357 5TH STREET ADJACENT TO THE PROJECT SITE. 59 PERMANENT PARKING SPACES WILL BE PROVIDED IN THE GARAGE OF THE TOWER AFTER COMPLETION OF CONSTRUCTION

NOTE 4: TOTAL OF 10% EV PARKING PROVIDED IN BUILDING 3 PARKING GARAGE.

## LAND USE AREA TABLE

RESIDENTIAL	902,476 S.F.
COMMERCIAL / FLEXIBLE COMMERCIAL	35,017 S.F.
PARKING	9,030 S.F.
OPEN SPACE	67,113 S.F.

# PROJECT SUMMARY

	BUILDING 1	BUILDING 2	BUILDING 3	PROJECT
NUMBER OF STORIES	9	8	32	
HEIGHT	84'-4"	84'-4"	338'-4"	
CONSTRUCTION TYPE	IB	IB	IA	
SPRINKLERED	YES	YES	YES	
OCCUPANCY	R2	R2	R2	
FOOTPRINT AREA	30,777 S.F.	28,391 S.F.	24,289 S.F.	83,751 S.F.

## RESIDENTIAL OPEN SPACE

	BUILDING 1	BUILDING 2	BUILDING 3	PROJECT
GROUP USABLE OPEN SPACE				
ROOFTOP	1,632 S.F. (AT FLOOR 3)		6,584 S.F.	8,216 S.F.
PODIUM			3,986 S.F.	3,986 S.F.
COURTYARD	6,917 S.F.	7,006 S.F.		13,923 S.F.
PRIVATE OPEN SPACE	900 S.F.			900 S.F.
TOTAL	9,449 S.F.	7,006 S.F.	10,570 S.F.	27,025 S.F.

## PUBLIC OPEN SPACE & PEDESTRIAN PATHWAYS

	WEST PEDESTRIAN PATHWAYS (ALLEY)	EAST PEDESTRIAN PATHWAY (ALLEY)	UNDER BART PARK AREA	MISCELLANEOUS PUBLIC OPEN SPACE	TOTAL
	10,086 S.F.	6,792 S.F.	11,536 S.F.	11,674 S.F.	40,088 S.F.

## PARKING

	TEMPORARY RESIDENTIAL (DURING FDP 1, FDP 2, AND FDP 3 CONSTRUCTION)	PERMANENT RESIDENTIAL
	0	0
	59 SPACES (ADJACENT TO LOT DURING FDP 3 CONSTRUCTION)	59 SPACES

## BICYCLE PARKING

	RESIDENTIAL - LONG TERM	RESIDENTIAL - SHORT TERM	COMMERCIAL - LONG TERM	COMMERCIAL - SHORT TERM
	240	24	1	10
	207	16	2	20
	174	24	2	8
	621	64	5	38

## PUD CALCULATIONS

### A. Estimated Poplations:

ESTIMATED POPULATION WOULD BE 2,585 PEOPLE (BASED ON 1 OCCUPANT PER BEDROOM IN ALL UNITS) AND 2,570 PEOPLE (BASED ON AN AVERAGE OF 249 PEOPLE PER HOUSEHOLD PER THE CITY OF OAKLAND 2010 CENSUS)

### B. Land Area to be devoted to various uses:

- RESIDENTIAL (Includes Residential, Lobbies, Circulation, Utilities, and Bike Room)
- COMMERCIAL (Includes Commercial and Flex Commercial)
- PARKING (Garage Parking)
- OPEN SPACE
  - 1) Group Useable O.S. (Roof, Podium, Courtyards)
  - 2) Community Gathering Space (Alley/Pathways)
  - 3) Public Open Space (Park Under/South BART)

### C. Average Residential Density per net acre (excluding dedicated street)

THE TOTAL NUMBER OF PROPOSED UNITS IS 1,032; THE NET ACREAGE IS 3.15 ACRES

### D. Average residential density per net residential acre (exclude dedicated street) and land in uses other than related recreation, circulation and open space

THE TOTAL NUMBER OF PROPOSED UNITS IS 1,032 THE NET RESIDENTIAL ACREAGE IS 1.4 ACRES. THE NET RESIDENTIAL DENSITY IS 737 DU/AC.

# PROJECT STATISTICS

PROJECT AREA AND STATISTICS
CONSTRUCTION TYPE
BUILDING 1 - TYPE IB, 9 FLOORS
BUILDING 2 - TYPE IB, 8 FLOORS
BUILDING 3 - TYPE IA, 32 FLOORS OVER PARKING GARAGE

## DWELLING UNIT COUNT

UNIT TYPE	UNIT SQ FT	BUILDING 1	BUILDING 2	BUILDING 3	PROJECT
1 BR	420	7	0	28	35
BMR #					3
2 BR	425	129	125		254
BMR #					22
2 BR SUITE	660	126	102	242	470
BMR #					38
3 BR	600	7	14	0	21
BMR #					2
4 BR	665	42	24	155	221
BMR #					18
5 BR	880	0	0	31	31
BMR #					2
TOTAL		311	265	456	1,032

\* Below Market Rate Housing Units 11% of Base Project to be evenly distributed throughout the Building

## AFFORDABLE HOUSING UNITS BY BUILDING DELIVERY

PROJECT PHASE	BUILDING 1	BUILDING 2	BUILDING 3	PROJECT
FDP 1	25 Units			
FDP 2		22 Units		
FDP 3			38 Units	
TOTAL				85 Units

## NET SELLABLE AREA BY FLOOR

NET SELLABLE AREA BY FLOOR  
*Calculation from Outside Face of corridor, Centerline of Demising Wall, Outside face of Sheathing/Glass, excluding balconies and decks*

FLOOR	BUILDING 1	BUILDING 2	BUILDING 3	PROJECT
FLOOR 1	5,580	5,654	0	
MEZZANINE	n/a	n/a	0	
FLOOR 2	6,262	6,991	16,662	
FLOOR 3	25,298	23,871	16,983	
FLOOR 4	25,495	23,871	16,983	
FLOOR 5	25,495	23,871	16,983	
FLOOR 6	25,495	23,871	16,983	
FLOOR 7	25,495	23,871	16,983	
FLOOR 8	25,495	23,871	16,933	
FLOOR 9	25,495			
FLOORS 9-32 (BUILDING 3)			229,128	
TOTAL	190,110	155,871	347,638	693,619

## GROSS AREA BY FLOOR

RESIDENTIAL GROSS AREA BY FLOOR  
*(Includes Residential Units, Utilities, Laundry, Storage & Bike Parking Storage)*

FLOOR	BUILDING 1	BUILDING 2	BUILDING 3	PROJECT
FLOOR 1	12,021	12,036	11,610	
MEZZANINE	n/a	n/a	9,670	
FLOOR 2	13,623	13,703	20,512	
FLOOR 3	30,156	29,115	20,563	
FLOOR 4	30,156	29,115	20,563	
FLOOR 5	30,156	29,115	20,563	
FLOOR 6	30,156	29,115	20,563	
FLOOR 7	30,156	29,115	20,563	
FLOOR 8	30,156	29,115	20,512	
FLOOR 9	30,156			
FLOORS 9-32 (BUILDING 3)			288,288	
TOTAL	236,736	200,429	453,407	890,572

## RESIDENTIAL AMENITY, COMMERCIAL & FLEXIBLE COMMERCIAL GROSS AREA BY BUILDING

	RESIDENTIAL AMENITY	COMMERCIAL	FLEXIBLE COMMERCIAL (incl' Trash Staging)	PARKING GARAGE
	2,551	3,660	13,296	
	2,526	3,624	10,821	
	4,814	3,650	9,030	
	9,891	10,934	24,117	9,030

GROSS SQUARE AREA TOTAL	256,243	217,400	470,901	944,544
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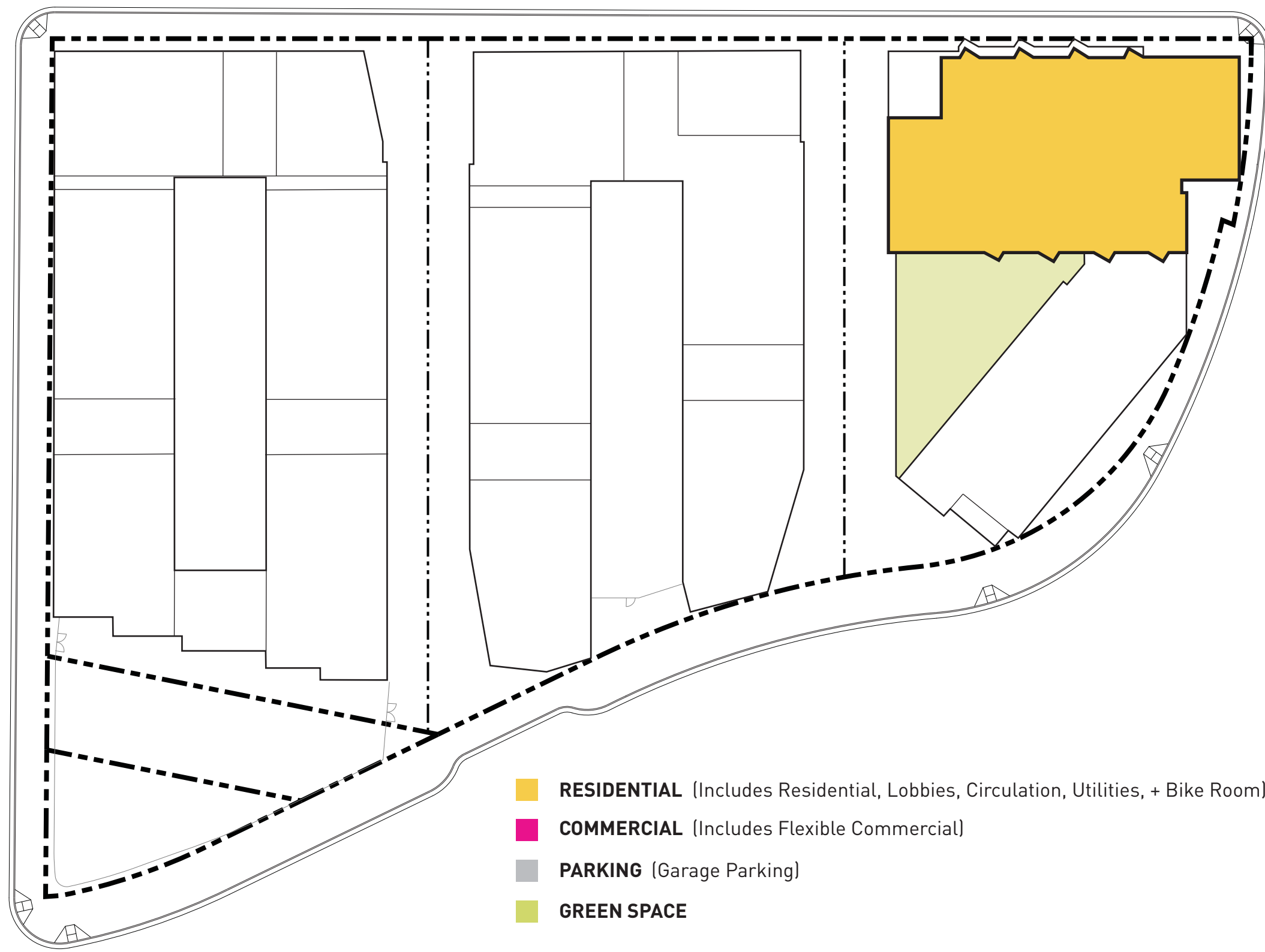
CONSULTANT

500 KIRKHAM  
500 KIRKHAM STREET  
OAKLAND, CA 94607

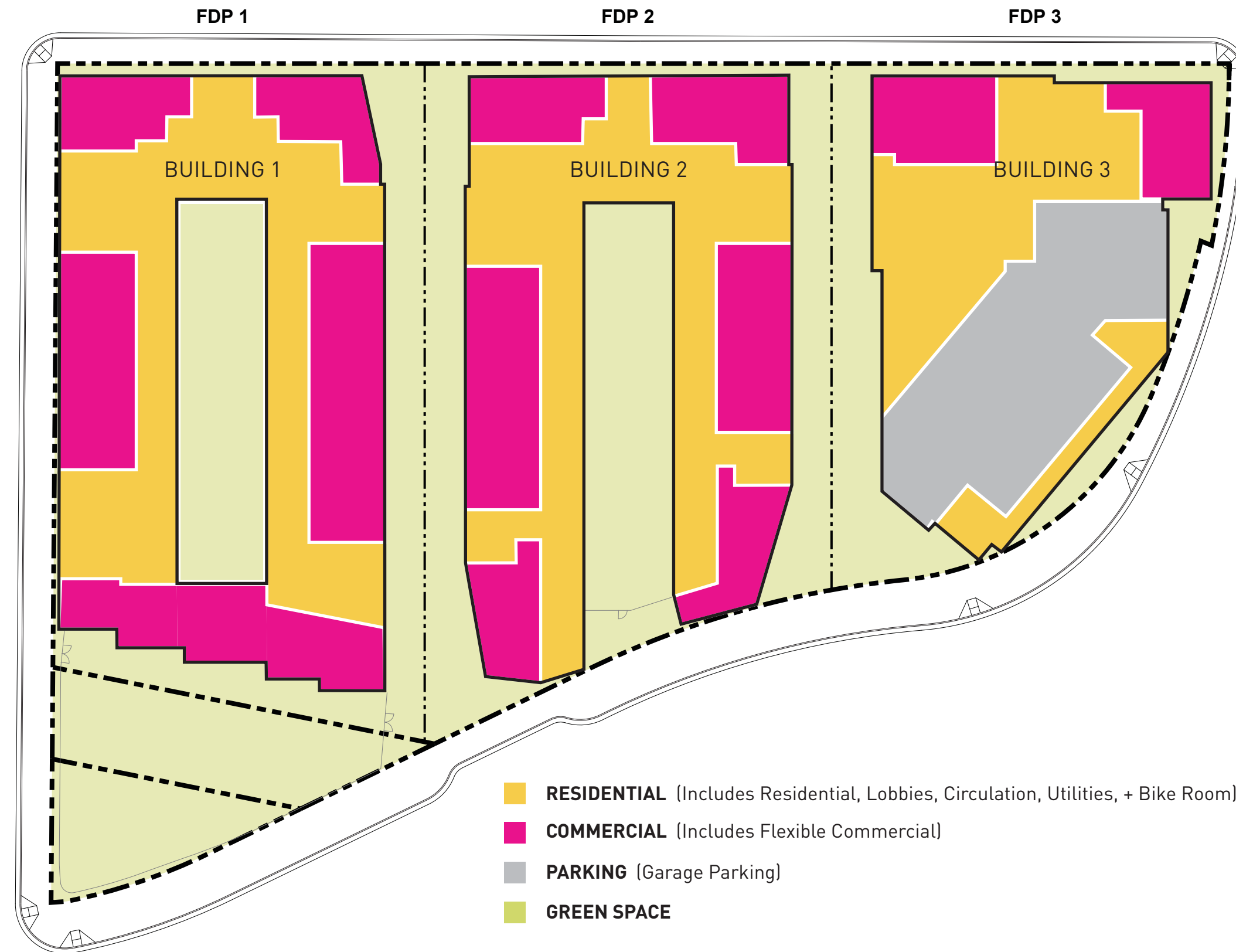
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PROJECT INFORMATION

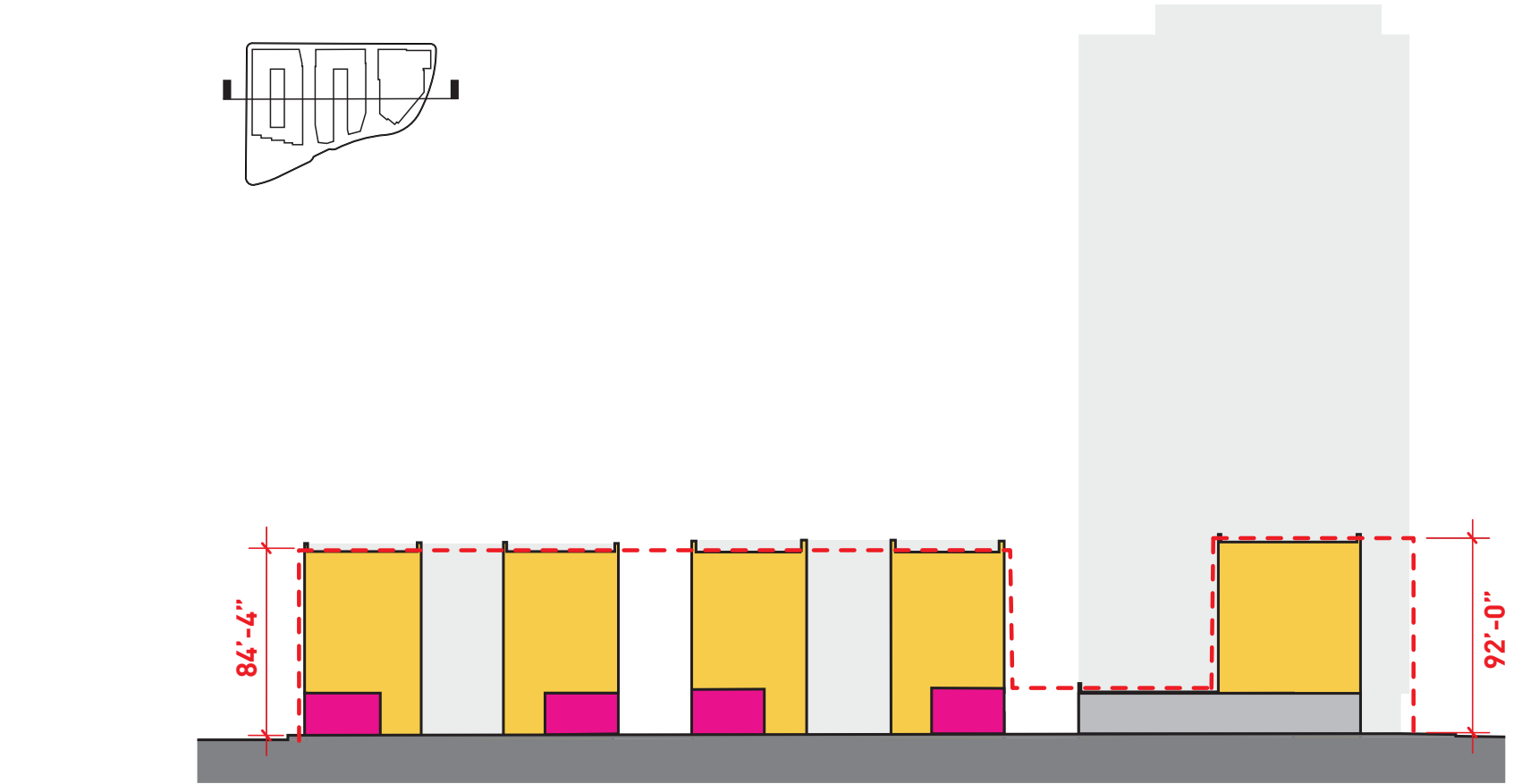
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PLANNING RESUBMITTAL	07.03.19



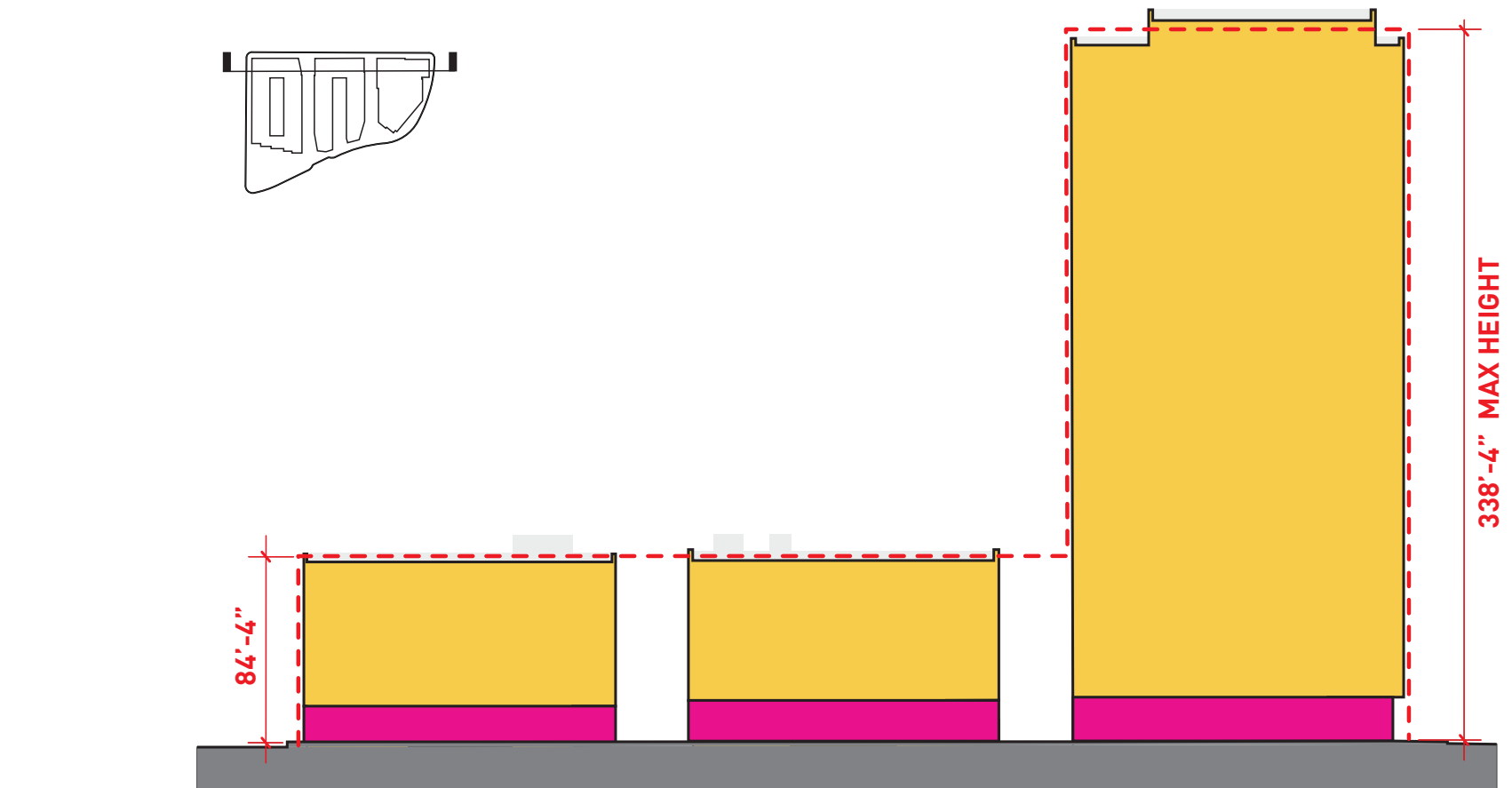
7 BUILDING USE - LEVELS 9 - 32  
SCALE: 1" = 50'



5 BUILDING USE - GROUND LEVEL  
SCALE: 1" = 50'



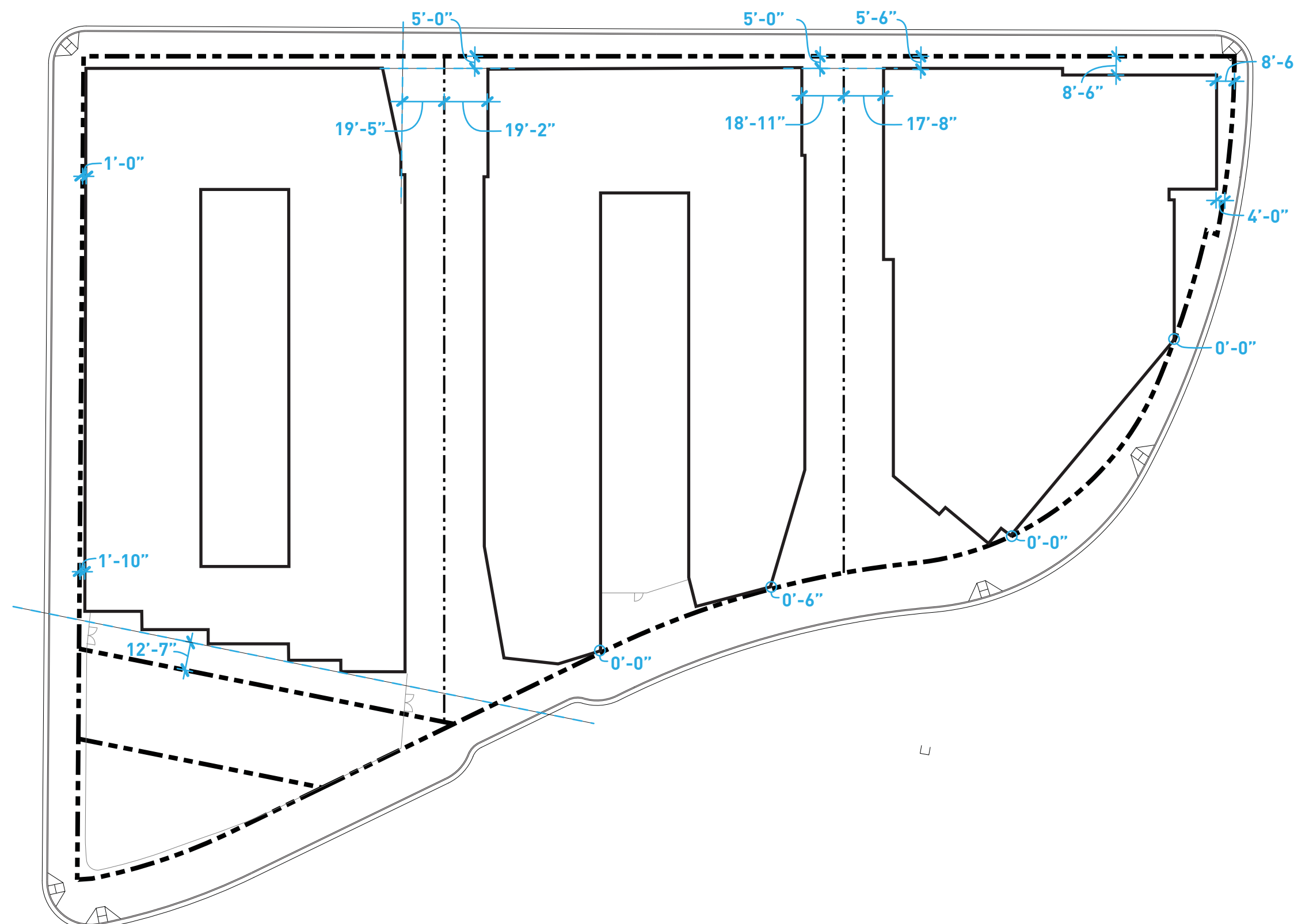
3 ZONING HEIGHT DIAGRAM B WITH SCHEMATIC LAND USE  
SCALE: NTS



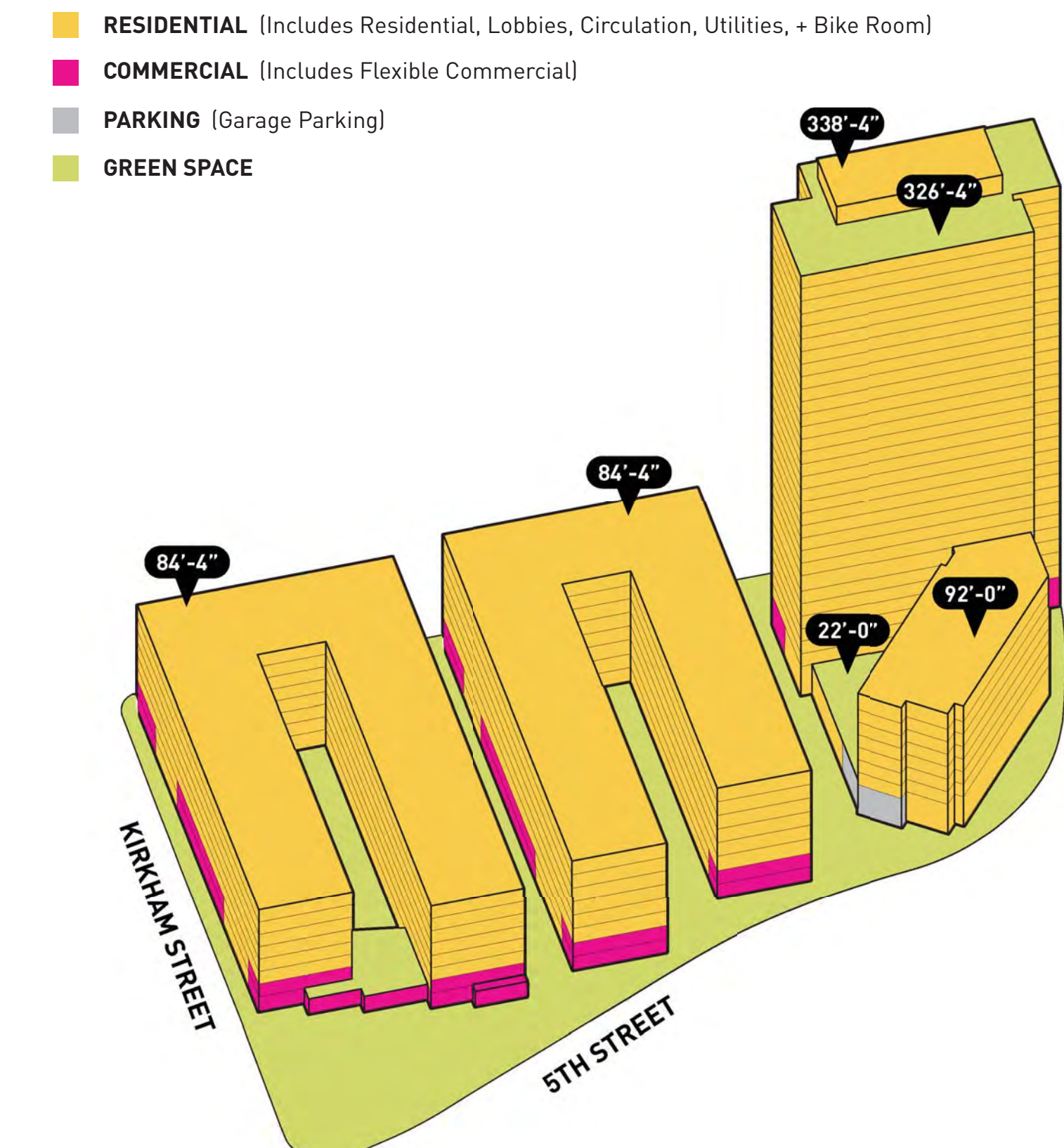
2 ZONING HEIGHT DIAGRAM A WITH SCHEMATIC LAND USE  
SCALE: NTS



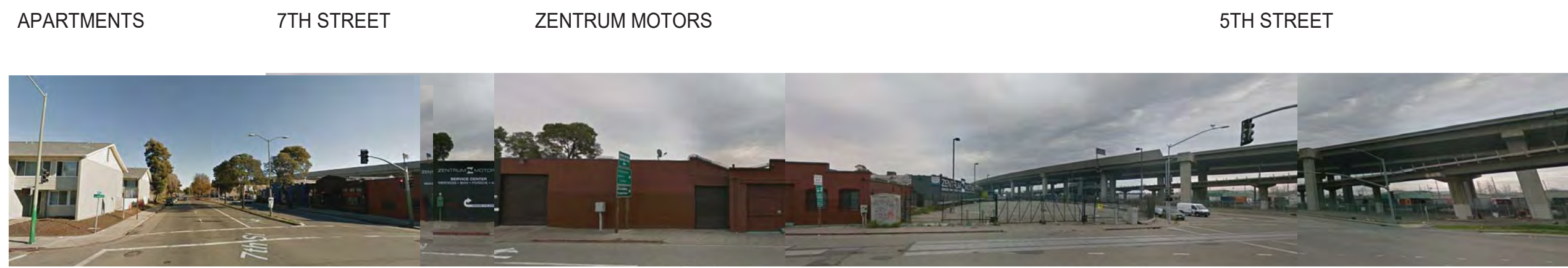
6 BUILDING USE - LEVELS 2 - 8  
SCALE: 1" = 50'



4 SITE PLAN  
SCALE: 1" = 50'

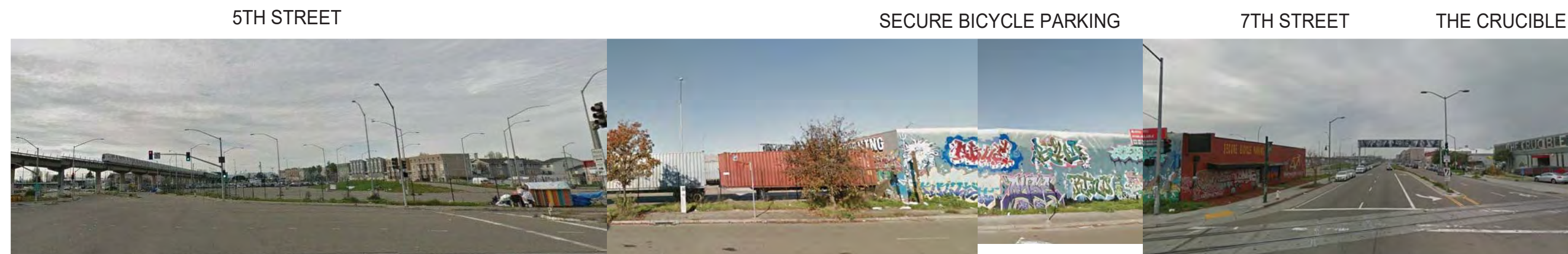


1 AXON ZONING DIAGRAM



UNION STREET - LOOKING EAST

1



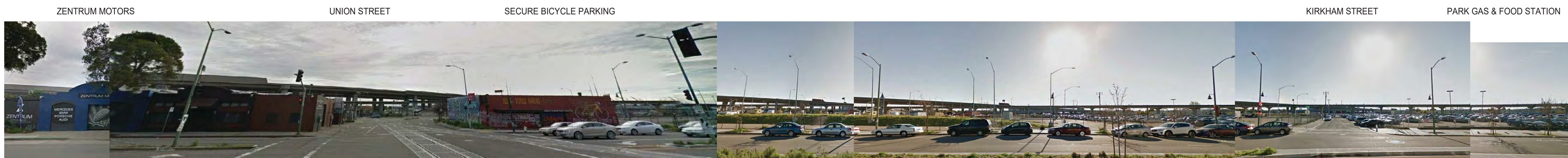
UNION STREET - LOOKING WEST

2



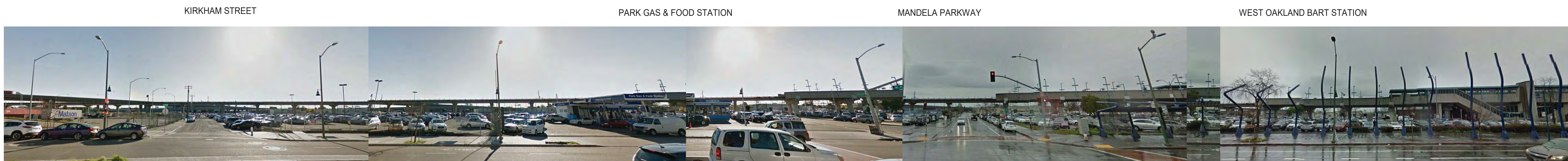
7TH STREET - LOOKING NORTH

3



7TH STREET - LOOKING SOUTH

4



7TH STREET - LOOKING SOUTH

5

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Kirkham Street

KIRKHAM STREET

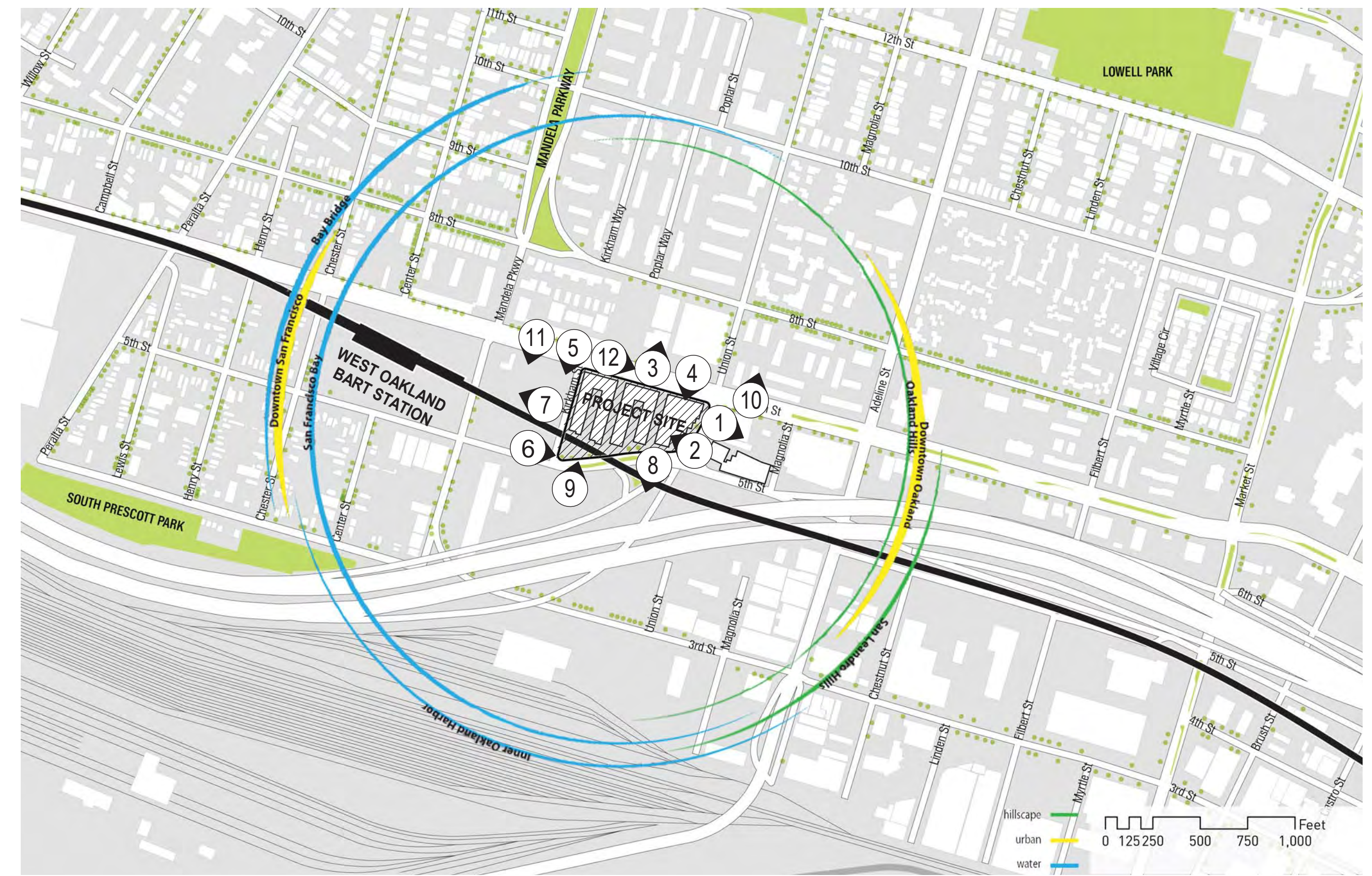
11



7th Street

7TH STREET

12



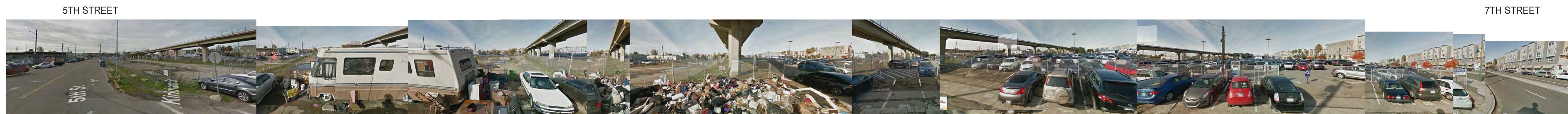
hillscape  
urban  
water

5TH STREET



KIRKHAM STREET - LOOKING EAST

6



KIRKHAM STREET - LOOKING WEST

7



5TH STREET - LOOKING SOUTH

8



5TH STREET - LOOKING NORTH

9



7TH STREET - LOOKING NORTH (CONT.)

10

**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

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PLANNING RESUBMITTAL	08.10.17
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EXISTING  
CONDITIONS

**GO.5**

Green Building Compliance Standards Table Beginning July 1, 2014

Project	Threshold	Checklist	Requirements	Review	Condition of Project Approval	Compliance Verification
Multi-Family Dwellings 3+ Units	Any Size	• Build It Green: Multi-Family GPR**	<ul style="list-style-type: none"> <li>Completed GPR checklist</li> <li>Pre-requisites except J5.1: Building Performance Exceeds Title 24, Part 6 and any cool roof requirements</li> <li>Minimum 23 points (3 Community; 6 IAQ/Health; 6 Resources; 8 Water)</li> <li>CALGreen mandatory measures for residential new construction</li> <li>Green Building Compliance Verification (GreenPoint Rater)</li> </ul>	After intake, during case file review	Yes	<ul style="list-style-type: none"> <li>GreenPoint Rater signature</li> <li>Planning and Zoning to verify per COA during plan check</li> <li>Building Services to verify at CO</li> </ul>



**NEW HOME RATING SYSTEM, VERSION 7.0**

**Blueprint Scoresheet**

500 Kirkham		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	Responsible Party	Blueprint Page No.
CALGreen									
Yes	CALGreen Res (REQUIRED)	4		1	1	1	1		
A. SITE									
Yes	A2. Job Site Construction Waste Diversion	2				2			
C. LANDSCAPE									
Yes	C4. Minimal Turf in Landscape	2					2		
E. EXTERIOR									
Yes	E5. Durable Roofing Materials	1				1			
Yes	E5.1 Durable and Fire Resistant Roofing Materials or Assembly	Y	R	R	R	R	R		
Yes	E5.2 Roofing Warranty for Shingle Roofing								
F. INSULATION									
Yes	F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions	1			1				
Yes	F2.1 Walls and Floors	1			1				
Yes	F2.2 Ceilings								
G. PLUMBING									
1.28 gpf	G2. Install Water-Efficient Fixtures	1					2		
	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 600 Grams 1.28gpf OR 1.1 gpf								
H. HEATING, VENTILATION, AND AIR CONDITIONING									
Yes	H1. Sealed Combustion Units	2			2				
Yes	H1.2 Sealed Combustion Water Heater								
Yes	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality	Y	R	R	R	R	R		
Yes	H6.1 Meet ASHRAE Standard 62.2-2010 Ventilation Residential Standards								
J. BUILDING PERFORMANCE AND TESTING									
Option 1: Compliance Over Title 24	J5. Building Performance Exceeds Title 24 Part 6	0		30+					
Option 2: Home Outperforms Title 24	J5.1 Home Outperforms Title 24								
L. FLOORING									
≥25%	L2. LowEmitting Flooring Meets CDPH 2010 Standard Method—Residential	1			3				
M. APPLIANCES AND LIGHTING									
Yes	M1. ENERGY STAR® Dishwasher	1					1		
Yes	M7. Central Laundry								
N. COMMUNITY									
Yes	N1. Smart Development	2	1			1			
600	N1.1 Infill Site	9				9			
2	N1.5 Home Size Efficiency								
2	N2. Home(s)/Development Located Near Transit								
Yes	N2.2. Within 1/2 mile of a Major Transit Stop	2	2						
8	N3. Pedestrian and Bicycle Access								
8	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services	2	2						
3	N3.2. Enter the number of Tier 1 services								
3	N3.3. Enter the number of Tier 2 services								
Yes	N3.5 Bicycle Storage for Residents	1	1						
Yes	N4. Outdoor Gathering Places	1	1						
Yes	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents								
Yes	N11. Mixed-Use Developments	1	1						
Yes	N11.2 At Least 12% of Development Floor Space Supports Mixed Use								
D. OTHER									
Yes	D1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	R		
Yes	D2. Pre-Construction Kickoff Meeting with Rater and Subcontractors	2		0.5		1	0.5		
Yes	D7. Green Appraisal Addendum	Y	R	R	R	R	R		
<b>Summary</b>									
Total Available Points in Specific Categories		369.5	46	95.5	70	94	54		
Minimum Points Required in Specific Categories		50	2	25	6	6	6		
<b>Total Points Targeted</b>		<b>37</b>	<b>1</b>	<b>1.5</b>	<b>1</b>	<b>11</b>	<b>11</b>		

**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

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GPR  
CHECKLIST

**G1.0**



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SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG KIRKHAM STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITIONS OF APPROVAL

BICYCLE AND TRANSIT IMPROVEMENTS SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

BICYCLE AND TRANSIT IMPROVEMENTS SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

BINS STAGED ALONG 7TH STREET SIDEWALK

BINS STAGED ALONG KIRKHAM STREET

ALL RESIDENTIAL TRASH TO BE STAGED IN ROOM ADJACENT TO CORRIDOR.

RESIDENTIAL LOADING AREA (N) CURB CUT FOR RESIDENTIAL TRASH STAGING PICK-UP, S.C.D.

(N) CURB CUT FOR RETAIL TRASH STAGING PICK-UP, S.C.D.

BINS STAGED ALONG KIRKHAM STREET

ALL MICRO-RETAIL TRASH TO BE STAGED IN ROOMS ADJACENT TO STAIRS. RETAILERS WALK BINS TO STAGING AREA

(N) TWO STREET CAR SHARE SPACES, EXACT LOCATIONS TO BE DETERMINED BY INTERDEPARTMENTAL CITY REVIEW

WEST PEDESTRIAN PATHWAY  
SECURITY GATE, OPEN DURING HOURS OF OPERATION

EAST PEDESTRIAN PATHWAY  
SECURITY GATE, OPEN DURING HOURS OF OPERATION

BINS FROM BUILDING 3  
RESIDENTIAL STAGED ALONG UNION STREET

COMMERCIAL LOADING & RESIDENTIAL LOADING AREA

GARAGE ENTRANCE (N) CURB CUT, S.C.D.

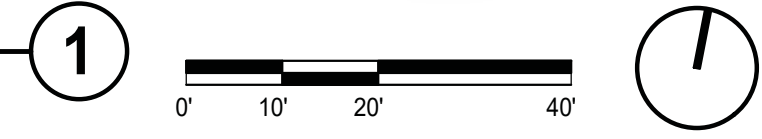
GAS METERS

SAFETY TREATMENTS TO BE ADDED AT THE INTERSECTION PER THE CITY OF OAKLAND INPUT

- LEGEND**
- ROUTE TO CURBSIDE PICKUP
  - ⋯→ ROUTE TO TRASH STAGING
  - CURBSIDE STAGING
  - INDOOR STAGING (TENANT)
  - RESIDENTIAL TRASH STAGING
  - RETAIL TRASH STAGING

REFER TO SHEET G1.1 FOR TRASH MANAGEMENT PLAN, CODE COMPLIANCE INFORMATION, AND CALCULATIONS

SERVICE CIRCULATION DIAGRAM





**500 KIRKHAM**  
500 KIRKHAM STREET  
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ILLUSTRATIVE  
LANDSCAPE  
PLAN

**L1.00**



BICYCLE AND TRANSIT IMPROVEMENTS SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

**SITE LEGEND**

- ① CONCRETE PAVING CITY STANDARD
- ② MORTAR SET COBBLE PAVING
- ③ DOG PARK WITH SYNTHETIC TURF
- ④ PLAYGROUND: 5-12 YRS
- ⑤ FLEXIBLE PLAZA SPACE
- ⑥ FENCE AND GATE
- ⑦ REQUIRED SHORT TERM BICYCLE PARKING, TYP
- ⑧ ROOF TERRACE
- ⑨ ART CANOPY
- ⑩ GATHERING SPACE
- ⑪ STREET TREE
- ⑫ MOVE-ABLE SEATING
- ⑬ BENCH
- ⑭ BART COLUMN/OVERHEAD BART
- ⑮ EXISTING PUBLIC ART GATEWAY

REQUIRED SHORT-TERM BICYCLE PARKING, TYP

STANDARD CITY SIDEWALK  
LOW PLANTING TYP.

BUILDING 1

BUILDING 2

BUILDING 3

ROOF TERRACE AT 3RD FLOOR

ROOF TERRACE AT 2ND FLOOR

STREET TREE, TYP.

AERIAL BART TRACK

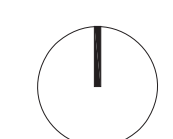
7TH STREET

5TH STREET

KIRKHAM STREET

UNION STREET

0' 10' 20' 40'



ON-SITE PLANTING



*Acer palmatum* spp.  
Japanese Maple



*Chamaedorea seifrizii*  
Bamboo Palm



*Phoenix dactylifera*  
DATE PALM



*Brahia edulis*  
GUADALUPE PALM



*Asparagus densiflorus 'Myers'*  
FOXTAIL FERN



*Matteuccia struthiopteris*  
OSTRICH FERN



*Asarum caudatum*  
WESTERN WILD GINGER



*Hakonechloa macra 'Aureola'*  
HAKONE GRASS

STREET TREES



*Podocarpus gracillior*  
FERN PODOCARPUS



*Quercus virginiana cathedral*  
SOUTHERN LIVE OAK



*Olea europaea 'swan hill'*  
OLIVE



*Cercis occidentalis*  
WESTERN REDBUD



*Acer macrophyllum*  
BIGLEAF MAPLE



*Arbutus 'marina'*  
STRAWBERRY TREE



*Lagerstroemia 'natchez'*  
NATCHEZ GRAPE MYRTLE

PUBLIC REALM TREES

PLANTING CONCEPT STATEMENT

GREENING AND PROVIDING HEALTHY PLANT MATERIAL WITH RICH TEXTURES IS AN IMPORTANT PART OF THE DESIGN FOR THIS SITE ADJACENT TO INDUSTRIAL AND HIGHWAY LANDSCAPES. THE PLANTING DESIGN SHOWCASES DURABLE URBAN PLANTS THAT HAVE BEEN PROVEN TO BE SUCCESSFUL IN OAKLAND. TREES WILL BE INSTALLED AT 24" BOX SIZE. THE DESIGN OF THE PUBLIC OPEN SPACE MELTS WITH THE STREETScape AND PROVIDES VARIETY THROUGHOUT THE SITE. CONCEPTUALLY CONNECTING PLANTING AT GRADE TO ON STRUCTURE ROOF TERRACES AT THE LOWER LEVELS SHOWS VISUAL CONTINUITY OF THE SITE AND BUILDINGS. MICROCLIMATES INFORM THE PLANTING SELECTION AND THE OPPORTUNITY TO SHOWCASE DEEP SHADE UNDERSTORY TROPICAL PLANTINGS FOR A STRONG GARDEN CHARACTER. IN AREAS WITH MORE SUN, LOW WATER PLANTS ARE SHOWCASED AND COMPOSED INTO LARGE AREAS FOR BLOOM, FALL COLOR, AND SCALE.

IRRIGATION CONCEPT STATEMENT

THE IRRIGATION DESIGN FOR THE SITE SHALL COMPLY WITH THE STATE OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (TITLE 23 - DIVISION 2-CHAPTER 2.7) AND THE CITY OF OAKLAND WATER EFFICIENT LANDSCAPE STANDARDS. THE IRRIGATION SYSTEMS WILL BE AUTOMATICALLY CONTROLLED BY AN ET IRRIGATION CONTROLLER CAPABLE OF MULTIPLE PROGRAMMING AND INDEPENDENT TIMING OF INDIVIDUAL IRRIGATION SYSTEMS. THE CONTROLLER WILL HAVE A 24-HOUR CLOCK TO ALLOW MULTIPLE START TIMES AND REPEAT CYCLES TO ADJUST FOR SOIL PERCOLATION RATES. THE IRRIGATION SYSTEMS WILL CONSIST PRIMARILY OF LOW VOLUME, LOW FLOW BUBBLERS FOR TREES, POINT SOURCE DRIP IRRIGATION FOR SHRUBS AND GROUNDCOVERS, AND LOW FLOW IRRIGATION FOR TURF PLANTINGS. PLANTS WILL BE GROUPED ONTO SEPARATE VALVES ACCORDING TO SUN EXPOSURE AND WATER USE TO ALLOW FOR IRRIGATION APPLICATION BY HYDROZONE. THE IRRIGATION SCHEDULING WILL REFLECT THE REGIONAL EVAPO-TRANSPIRATION RATES. THE ENTIRE SITE WILL BE DESIGNED TO RUN DURING NIGHTTIME HOURS WHEN IRRIGATION IS MOST EFFICIENT.



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**GENERAL NOTES:**

- WORK SHOWN HEREON SHALL BE DONE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION," LATEST EDITION AND SUPPLEMENTS, THE UNIFORM BUILDING CODE (EXCAVATION AND GRADING), AND CITY OF OAKLAND LOCAL ORDINANCES AS APPLICABLE.
- EXISTING TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM A SURVEY DATED FEBRUARY 17, 2017 BY WOOD RODGERS.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
- PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS FOR GRADING, DRAINAGE, AND UNDERGROUND FACILITIES INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
- ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
- THE EXISTENCE, LOCATION, AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
- THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
- STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
- ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AS IT IS GENERATED AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
- ALL FILL SOILS OR SOILS DISTURBED OR OVEREXCAVATED DURING CONSTRUCTION SHALL BE COMPACTED PER THE REQUIREMENTS OF THE SOILS REPORT BUT NOT LESS THAN 90% MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D-1557.
- THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER.
- DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
- THRUST BLOCKS SHALL BE INSTALLED AT WATERLINE HORIZONTAL AND VERTICAL BENDS, TEES, CAPPED ENDS AND REDUCERS ACCORDING TO THE DETAILS PROVIDED ON THESE PLANS.
- CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR.
- THE CONTRACTOR SHALL REPLACE ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO MATCH EXISTING, INCLUDING PERMANENT TRENCH RESURFACING.
- CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT (800-227-2600) PRIOR TO EXCAVATION.
- ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
- ALL CURB DIMENSIONS AND RADII ARE TO PAVEMENT FACE OF CURB.
- CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY OF OAKLAND FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR DISCHARGE OF GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.
- IF DEWATERING IS NECESSARY, THE CONTRACTOR SHALL PROVIDE DEWATERING PLAN. DEWATERING PLAN SHALL BE SUBMITTED AND APPROVED PRIOR TO COMMENCING GRADING ACTIVITIES. WATER GENERATED DURING DEWATERING SHALL BE DISCHARGED OR COLLECTED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE REGULATIONS WHICH MAY INCLUDE BUT NOT LIMITED TO OBTAINING APPROPRIATE PERMITS FROM EAST BAY MUNICIPAL UTILITIES DISTRICT TO DISCHARGE THROUGH THE SANITARY SEWER TO THE LOCAL TREATMENT PLANT AND NPDES PERMIT FROM REGIONAL WATER BOARD. WATER MAY NOT BE DISCHARGED DIRECTLY TO NEARBY SURFACE WATER DRAINAGES UNLESS APPROPRIATE PERMITS AND APPROVALS ARE OBTAINED AND CONDITIONS OF THOSE PERMITS AND APPROVALS ARE APPLIED. TEMPORARY DEWATERING PLANS SHALL BE SUBMITTED TO TOXICS MANAGEMENT DIVISION AND PUBLIC WORKS FOR REVIEW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE OR DETERIORATION OCCURRING TO EXISTING CALTRANS IMPROVEMENTS AS A DIRECT RESULT OF CONSTRUCTION ACTIVITY RELATED TO CONSTRUCTION OF THE COMMON IMPROVEMENTS (GRADING, ROAD CONSTRUCTION, UTILITY INSTALLATION, ETC.). REQUIRED REPAIR MAY REQUIRE PATCHING, SEALING, OR OVERLAYING AFFECTED AREAS AS APPROPRIATE TO RETURN THE EXISTING CALTRANS IMPROVEMENTS (ROADS, SIDEWALKS, UTILITIES, ETC.) TO AS GOOD A CONDITION AS THEY WERE PRIOR TO CONSTRUCTION. IF THE CONTRACTOR DOES NOT ACT PRUDENTLY IN A TIMELY MANNER, CALTRANS MAY, AT ITS DISCRETION, PERFORM THE CORRECTION AND CHARGE THE CONTRACTOR FOR ALL COSTS AND OVERHEAD INCURRED.
- BICYCLE AND TRANSIT IMPROVEMENTS ON 7TH STREET SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.
- SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG 5TH STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.
- SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG KIRKHAM STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

**EROSION CONTROL NOTES:**

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.
- A "STANDBY EMERGENCY CREW" SHALL BE ALERTED BY THE PERMITTEE OR THE CONTRACTOR TO PERFORM EMERGENCY WORK DURING RAINSTORMS. THE PARTY TO BE CONTACTED IS (TO BE FILLED IN BY CONTRACTOR):  
 NAME: \_\_\_\_\_  
 PHONE NUMBER: \_\_\_\_\_
- THE RAINY SEASON IS AS DECLARED BY THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) DEPENDING ON THE REGION IN WHICH THE PROJECT IS LOCATED. ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES AND ACTIONS MAY BE NECESSARY DURING THE RAINY SEASON. THE CONTRACTOR IS RESPONSIBLE FOR INCLUDING SUCH MEASURES REQUIRED PER THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA)
- THIS PLAN IS TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED, AS AND WHEN, DIRECTED AS THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
- CONTRACTOR IS RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- EXCEPT WHEN DIRECTED OTHERWISE, ALL DEVICES SHOWN TO BE IN PLACE AT THE END OF EACH WORKING DAY, WHEN RAIN IS FORECASTED, AND MAINTAINED.
- TAKE REASONABLE CARE WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- DURING THE RAINY SEASON, KEEP ALL PAVED AREAS CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
- CONTRACTOR PROVIDES DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- COORDINATE WITH SECTION "311000 SITE CLEARING" OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING DEMOLITION AND EROSION CONTROL.
- FILLED FILTER BAGS SHALL BE STOCKPILED ON SITE, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECASTED, OR WHEN THE INSPECTOR SO DIRECTS.
- CONTRACTOR PROVIDES WATER ONSITE AND USE IT FOR DUST CONTROL DURING CONSTRUCTION.
- INSTALL CONSTRUCTION EXIT PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION EXIT WAYS.
- CONTRACTOR MAINTAINS STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE INSPECTOR.
- INSTALL INLET PROTECTION AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE INSPECTOR OF ANY FIELD CHANGES.
- BEST MANAGEMENT PRACTICES (BMPs) SHOWN ARE OUTLINED IN, BUT NOT LIMITED TO, THE CONSTRUCTION BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA), 2009, OR THE LATEST REVISED EDITION, AND APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS). IN ADDITION, SEE SHEET CX.X.
- MAINTENANCE IS TO BE PERFORMED PER THE CASQA BMP HANDBOOK AND AS FOLLOWS:
  - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION BY THE END OF EACH WORKING DAY.
  - INSPECT SEDIMENT TRAPS, BERMS, AND SWALES PERIODICALLY AND AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - REMOVE SEDIMENT AND RESTORE SEDIMENT BARRIER TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF HALF THE SEDIMENT BARRIER HEIGHT.
  - DEPOSIT SEDIMENT THAT HAS BEEN REMOVED FROM BARRIER SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- CLEAN OUT INLET PROTECTION WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE FILLED FILTER BAG.



**PROJECT SITE**

**LEGEND**

- APPROXIMATE LOCATION OF EXISTING FIRE HYDRANT

**VICINITY MAP**  
NOT TO SCALE

**LEGEND:**

PROPOSED		
CONTOUR	85	CURB AND GUTTER
SPOT ELEVATION	80.00	LIMIT OF DISTURBANCE
EXISTING SPOT ELEVATION	80.00	PROPERTY LINE/R.O.W.
FLOW (DIRECTION AND SLOPE)		GRADE BREAK LINE
EXISTING FLOW (DIRECTION AND SLOPE)		SEDIMENT BARRIER
SANITARY SEWER	SS	TRENCH DRAIN FILTER FABRIC
DOMESTIC WATER	DW	BUILDING FOOTPRINT
STORM DRAIN	SD	CONCRETE PAVEMENT
GAS	G	BIORETENTION AREA
ELECTRIC	E	CONCRETE PAVEMENT REMOVAL
FIRE WATER	FW	DEMOLISH STRUCTURE
TELEPHONE	T	ASPHALT CONCRETE PAVEMENT REMOVAL
COORDINATION POINT		STABILIZED CONSTRUCTION EXIT
STORM DRAIN INLET		
MANHOLE	●	
SEWER CLEANOUT		
AREA DRAIN		
TRENCH DRAIN		
CAP OR PLUG	J	
FIRE HYDRANT		
PVC		
PIV		
WATER VALVE	⊗	
DOUBLE DETECTOR CHECK VALVE	DCDV	
WATER METER		
INLET PROTECTION		
FILTER BAGS		
SAWCUT	-----	

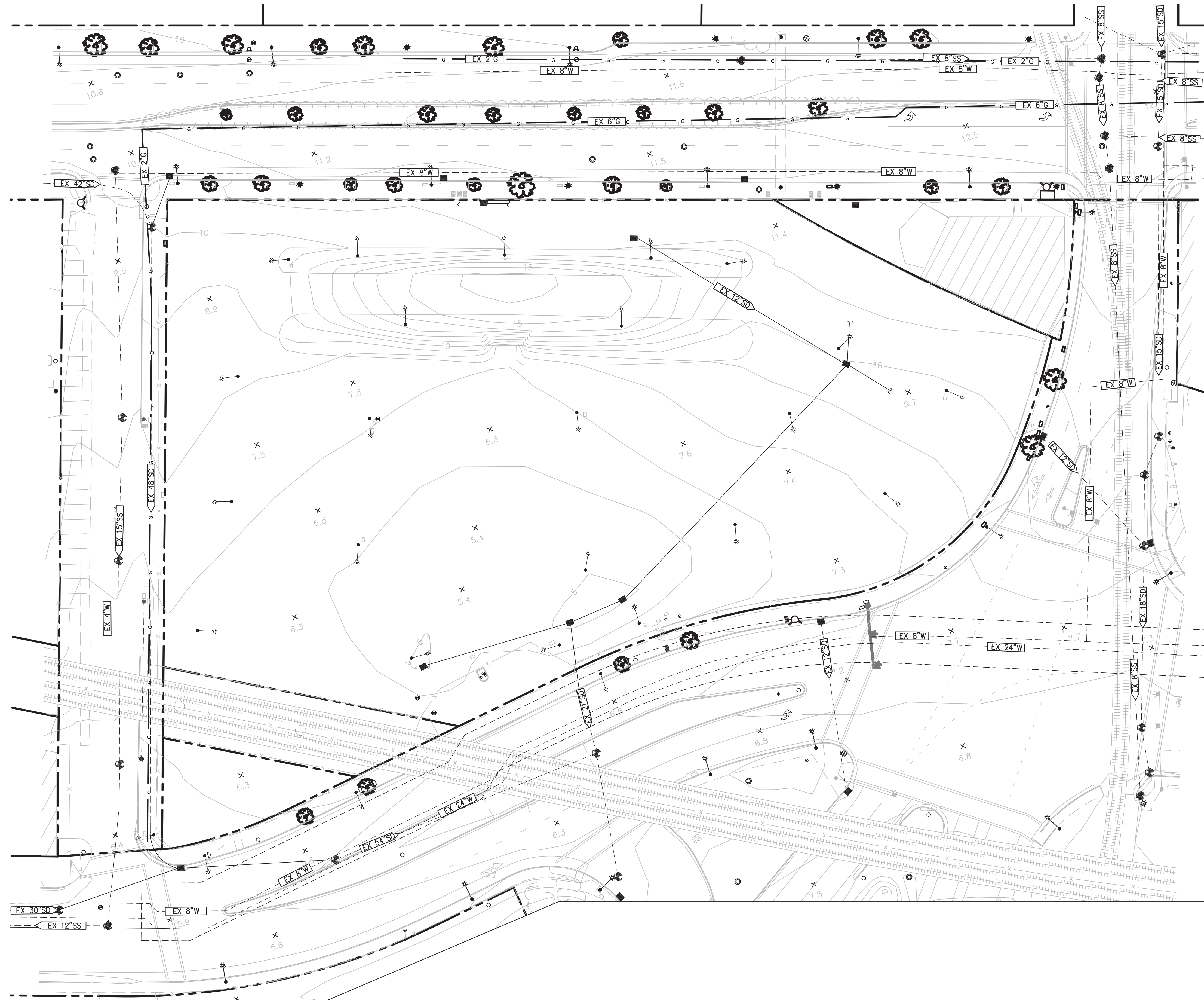
**ABBREVIATIONS:**

AC	ASPHALTIC CONCRETE	MH	MANHOLE
BW	BACK OF WALK	NTS	NOT TO SCALE
BLDG	BUILDING	PA	PLANTER AREA
BM	BENCH MARK	POC	POINT OF CONNECTION
BOS	BOTTOM OF STAIRS	PIV	POST INDICATOR VALVE
CB	CATCH BASIN	PCC	PORTLAND CEMENT CONCRETE
CI	CAST IRON	PRV	PRESSURE REDUCING VALVE
CL	CENTER LINE	PVC	POLYVINYL CHLORIDE
CMU	CONCRETE MASONRY UNIT	R	RADIUS
CO	CLEANOUT	RCIP	RECTANGULAR CAST IRON PIPE
CONC	CONCRETE	RCP	REINFORCED CONCRETE PIPE
CF	CURB FACE	RD	ROOF DRAIN
DI	DROP INLET	SD	STORM DRAIN
DW	DOMESTIC WATER	SSMH	SANITARY SEWER MANHOLE
EL. OR ELEV.	ELEVATION	SS	SANITARY SEWER
ELEC	ELECTRIC, ELECTRICAL	STD	STANDARD
EX. OR EXIST.	EXISTING	SDMH	STORM DRAIN MANHOLE
FDC	FIRE DEPARTMENT CONNECTION	TC	TOP OF CURB
FF	FINISHED FLOOR	TEL	TELEPHONE
FG	FINISHED GRADE (LANDSCAPE)	TG	TOP OF GRATE
FS	FINISHED SURFACE (HARDSCAPE)	TOS	TOP OF STAIRS
FH	FIRE HYDRANT	TW	TOP OF WALL
FL	FLOW LINE	TS	TRAFFIC SIGNAL
FT	FOOT OR FEET	TSB	TRAFFIC SIGNAL BOX
FS	FIRE SERVICE	TYP	TYPICAL
GV	GATE VALVE	TV	TELEVISION
HDPE	HIGH DENSITY POLYETHYLENE	VIF	VERIFY IN FIELD
HP	HIGH POINT	VLT	VAULT
INV.	INVERT	VCP	VITRIFIED CLAY PIPE
LP	LOW POINT	W	WATER
MAX.	MAXIMUM	WM	WATER METER
MIN.	MINIMUM	WV	WATER VALVE

**SHEET INDEX:**

CIVIL DRAWINGS	
C0.1	GENERAL NOTES
C0.2	EXISTING CONDITIONS (FOR REFERENCE ONLY)
C1.1	DEMOLITION PLAN
C2.1	GRADING PLAN
C3.1	UTILITY PLAN
C4.1	STORMWATER CONTROL PLAN
C5.1	EROSION CONTROL PLAN
C6.1	DETAILS
C6.2	DETAILS

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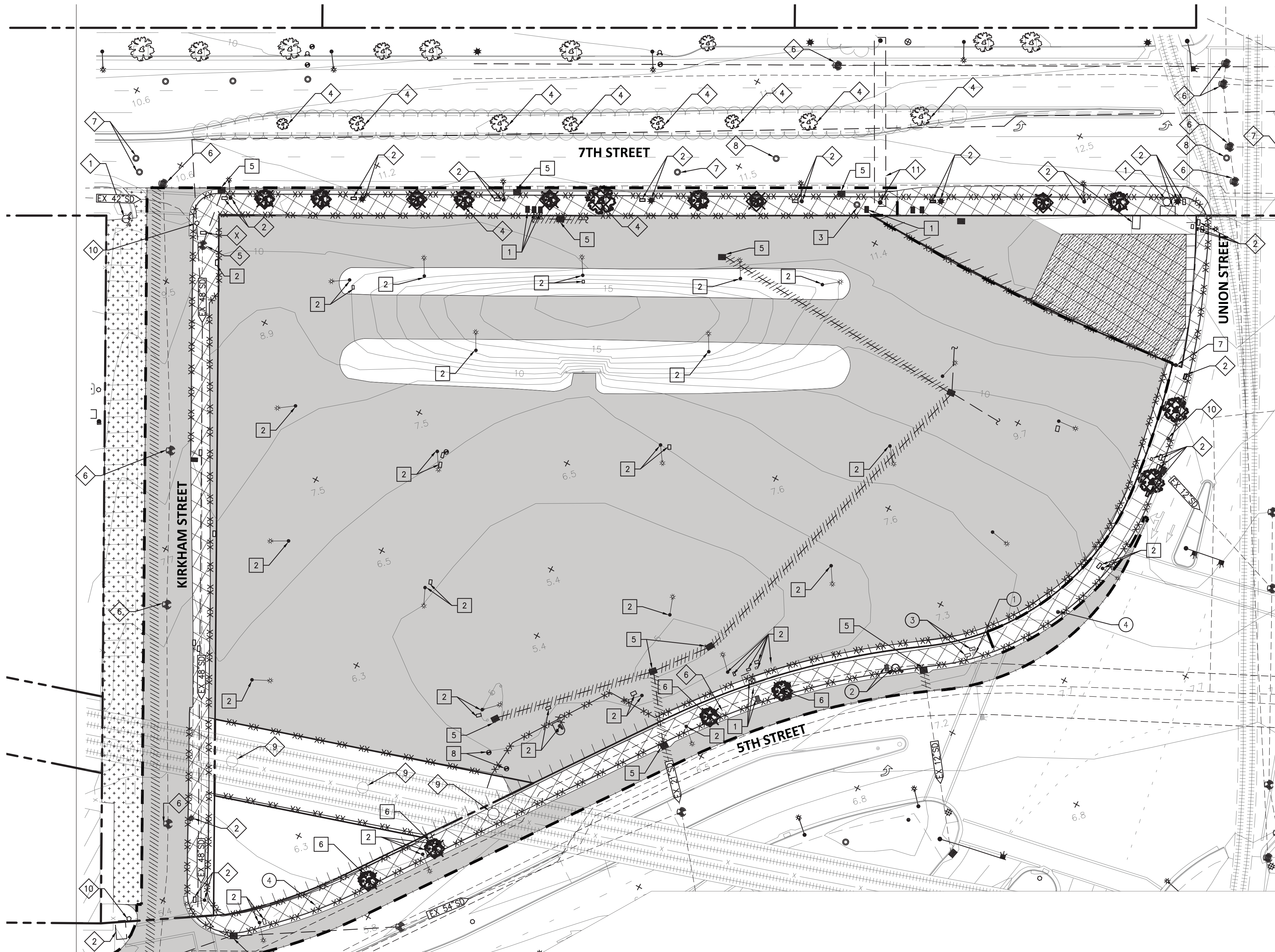


**500 KIRKHAM**  
 500 KIRKHAM STREET  
 OAKLAND, CA 94607

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**EXISTING  
 CONDITIONS**  
 (FOR REFERENCE ONLY)





**DEMOLISH OR ABANDON IN PLACE #**

- 1 WATER STRUCTURE, MAIN, VALVE, METER, APPURTENANCES
- 2 ELECTRICAL STRUCTURE, BOX, MANHOLE, CONDUIT/LINE, EQUIPMENT, APPURTENANCES
- 3 COMMUNICATION STRUCTURE, BOX CONDUIT/LINE, EQUIPMENT, APPURTENANCES
- 4 STREET LIGHT, LIGHT POLE
- 5 STORM DRAIN STRUCTURE, BOX, MANHOLE, PIPE, APPURTENANCES
- 6 TREE
- 7 STREET SIGN
- 8 EBMUD MONITORING WELL. SEE NOTE 8 THIS SHEET.

**PROTECT IN PLACE:**

- 1 WATER STRUCTURE, MAIN, VALVE, METER, APPURTENANCES
- 2 ELECTRICAL STRUCTURE, BOX, MANHOLE, CONDUIT/LINE, EQUIPMENT, APPURTENANCES
- 3 IRRIGATION STRUCTURE OR LINE
- 4 TREE
- 5 STORM DRAIN STRUCTURE, INLET, MANHOLE, PIPE, APPURTENANCES
- 6 SANITARY SEWER STRUCTURE, MANHOLE, PIPE, APPURTENANCES
- 7 COMMUNICATION STRUCTURE, BOX CONDUIT/LINE, EQUIPMENT, APPURTENANCES
- 8 TELEPHONE STRUCTURE, BOX CONDUIT/LINE, EQUIPMENT, APPURTENANCES
- 9 BAY AREA RAPID TRANSIT STRUCTURE
- 10 STREET SIGN. SEE NOTE 7 THIS SHEET.
- 11 MISC. SITE STRUCTURE

**REMOVE AND RELOCATE**

- 1 STREET LIGHT SIGNAL POLE
- 2 WATER STRUCTURE, MAIN, VALVE, METER, HYDRANT, APPURTENANCES
- 3 ELECTRICAL STRUCTURE, BOX, MANHOLE, CONDUIT/LINE, EQUIPMENT, APPURTENANCES
- 4 STREET SIGN

**DEMOLITION LEGEND:**

- ASPHALT CONCRETE PAVEMENT AND BASE REMOVAL
- CONCRETE PAVEMENT AND BASE REMOVAL
- GRIND AND OVERLAY EXISTING AC PAVEMENT
- DEMOLISH BUILDING

---x---x---x--- DEMOLISH CURB & GUTTER/WALL/FENCE

////// DEMOLISH OR ABANDON UTILITY LINE/PIPE

--- LIMIT OF DEMOLITION

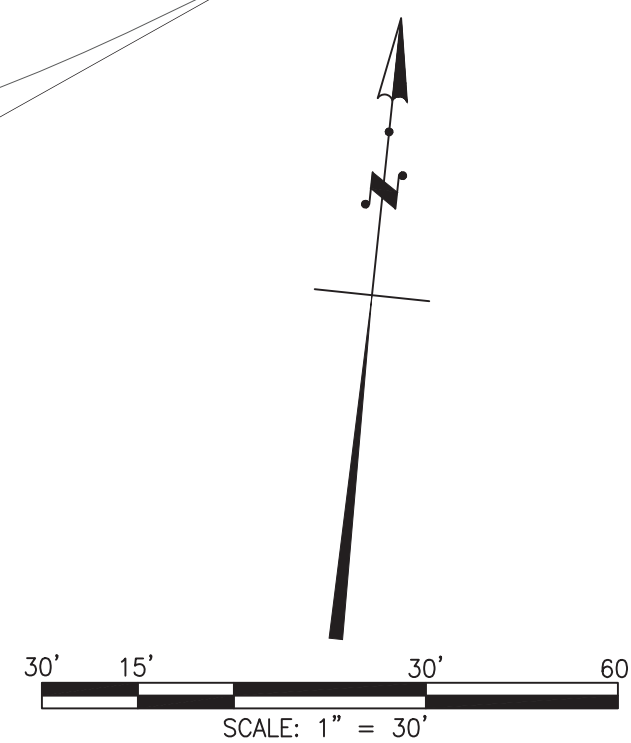
DEMOLISH TREE

**AREA OF DISTURBANCE**

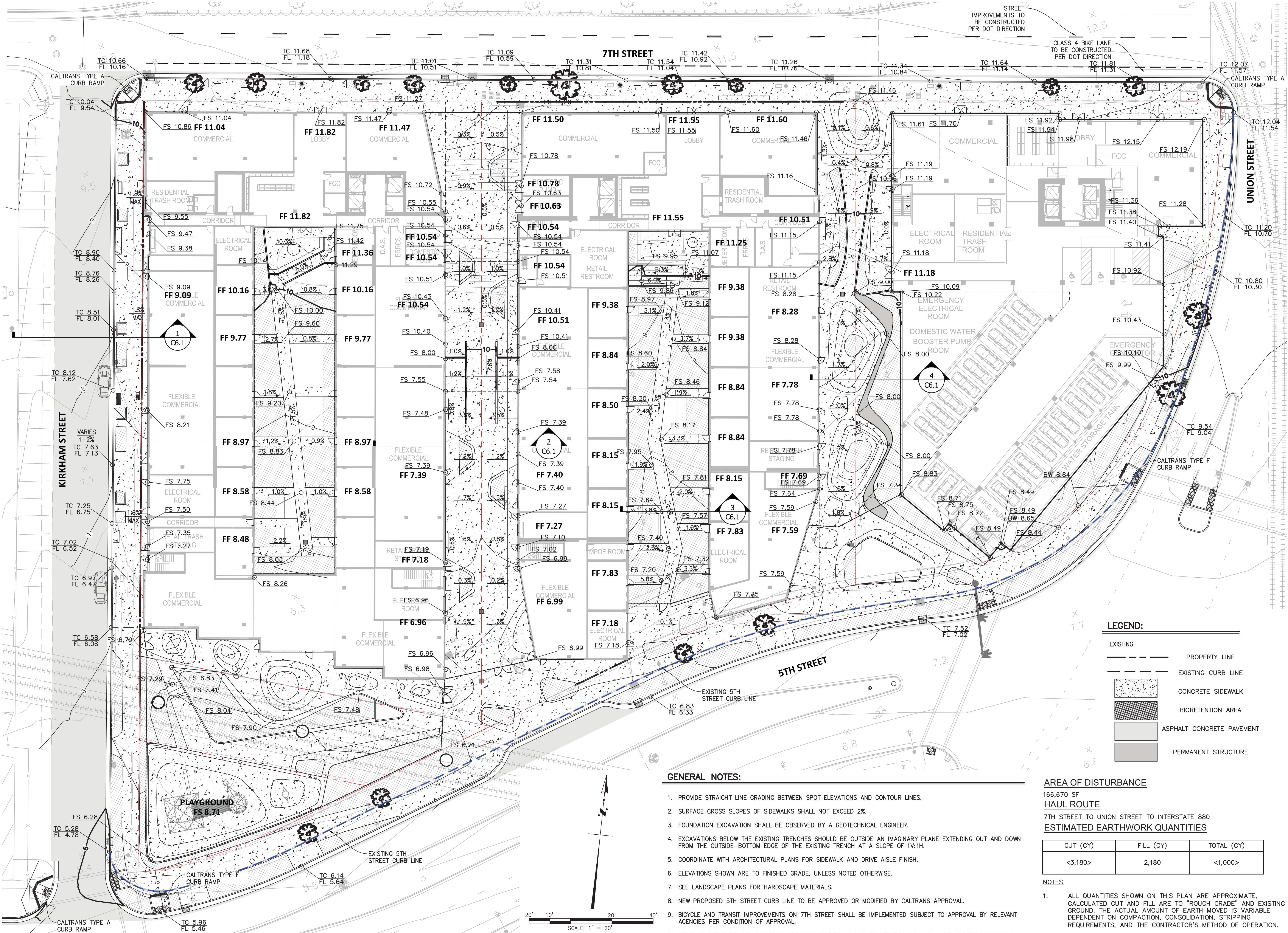
165,000 SF

**GENERAL DEMOLITION NOTES:**

1. CONTRACTOR TO DEMOLISH EXISTING SITE IMPROVEMENTS WITHIN THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITIES, STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.
2. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS. PER BAY-FRIENDLY LANDSCAPE GUIDELINES, TREES SHALL BE REMOVED AND CHIPPED FOR MULCH USE ON SITE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
5. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
6. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
7. CONTRACTOR TO STORE STREET SIGNS TO BE PROTECTED ON-SITE UNTIL CONSTRUCTION OF NEW PUBLIC SIDEWALK IS COMPLETED.
8. CONTRACTOR TO COORDINATE WITH EBMUD FOR REMOVAL/ABANDONMENT OF EXISTING MONITORING WELLS.



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**LEGEND:**

- PROPERTY LINE
- - - EXISTING CURB LINE
- [Stippled Box] CONCRETE SIDEWALK
- [Cross-hatched Box] BIORETENTION AREA
- [Solid Grey Box] ASPHALT CONCRETE PAVEMENT
- [Dark Grey Box] PERMANENT STRUCTURE

**GENERAL NOTES:**

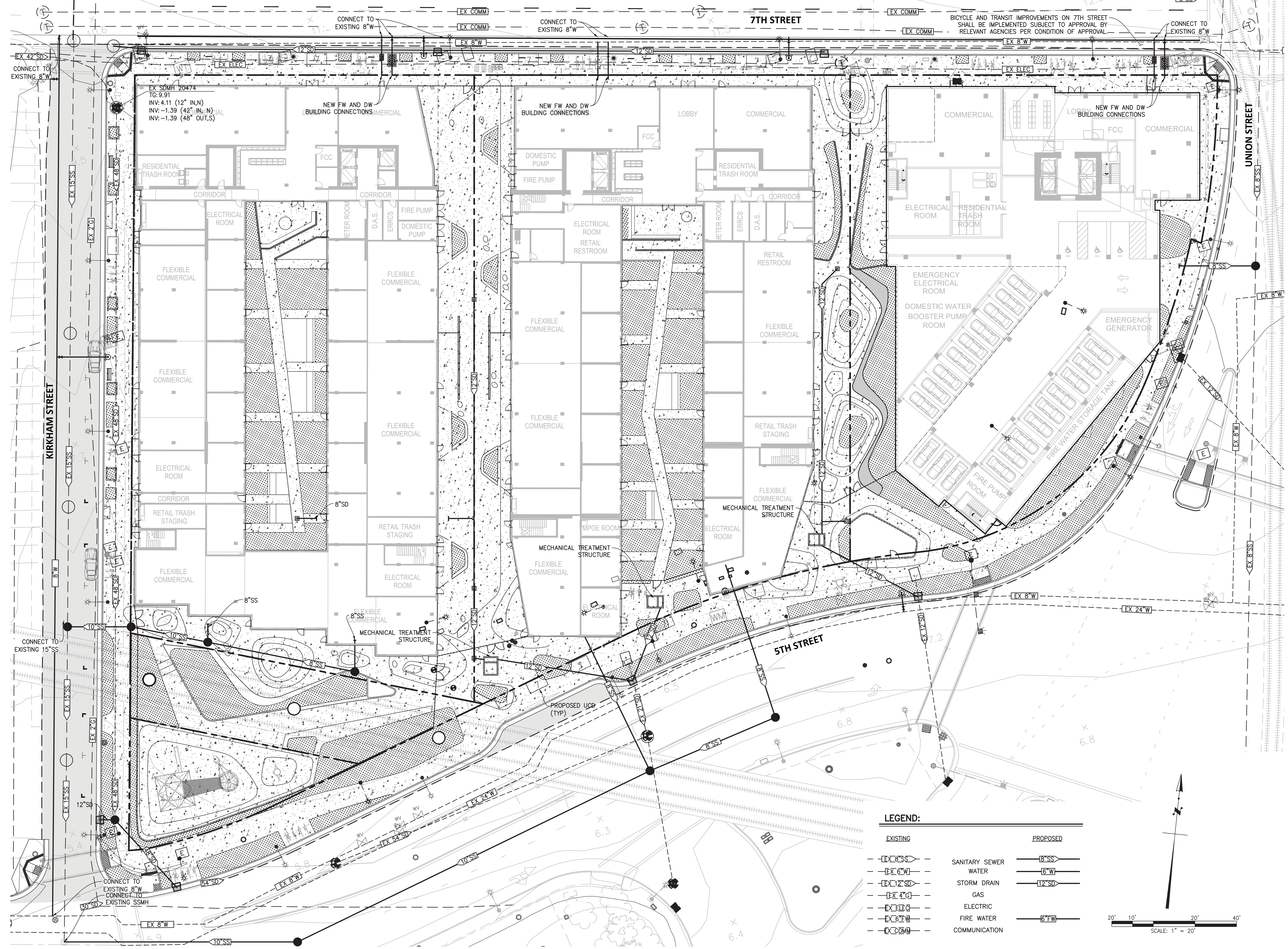
1. PROVIDE STRAIGHT LINE GRADING BETWEEN SPOT ELEVATIONS AND CONTOUR LINES.
2. SURFACE CROSS SLOPES OF SIDEWALKS SHALL NOT EXCEED 2%.
3. FOUNDATION EXCAVATION SHALL BE OBSERVED BY A GEOTECHNICAL ENGINEER.
4. EXCAVATIONS BELOW THE EXISTING TRENCHES SHOULD BE OUTSIDE AN IMAGINARY PLANE EXTENDING OUT AND DOWN FROM THE OUTSIDE-BOTTOM EDGE OF THE EXISTING TRENCH AT A SLOPE OF 1V:1H.
5. COORDINATE WITH ARCHITECTURAL PLANS FOR SIDEWALK AND DRIVE AISLE FINISH.
6. ELEVATIONS SHOWN ARE TO FINISHED GRADE, UNLESS NOTED OTHERWISE.
7. SEE LANDSCAPE PLANS FOR HARDSCAPE MATERIALS.
8. NEW PROPOSED 5TH STREET CURB LINE TO BE APPROVED OR MODIFIED BY CALTRANS APPROVAL.
9. BICYCLE AND TRANSIT IMPROVEMENTS ON 7TH STREET SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.
10. SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG 5TH STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.
11. SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG KIRKHAM STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

**AREA OF DISTURBANCE**  
166,670 SF  
**HAUL ROUTE**  
7TH STREET TO UNION STREET TO INTERSTATE 880  
**ESTIMATED EARTHWORK QUANTITIES**

CUT (CY)	FILL (CY)	TOTAL (CY)
<3,180>	2,180	<1,000>

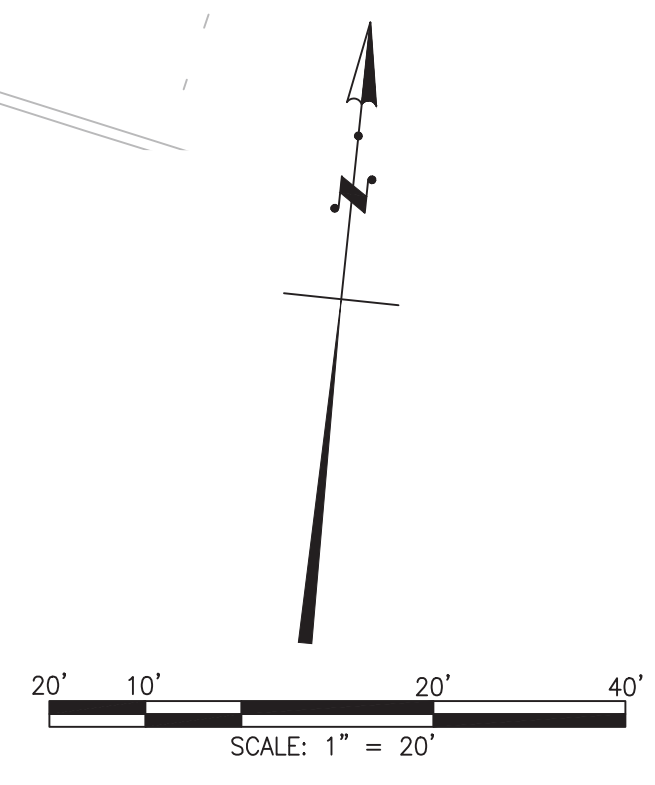
- NOTES**
1. ALL QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE, CALCULATED CUT AND FILL ARE TO "ROUGH GRADE" AND EXISTING GROUND. THE ACTUAL AMOUNT OF EARTH MOVED IS VARIABLE DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING REQUIREMENTS, AND THE CONTRACTOR'S METHOD OF OPERATION.
  2. EARTHWORK QUANTITIES SHOWN DO NOT INCLUDE ADDITIONAL EXCAVATION FOR PAVEMENT AND SIDEWALK STRUCTURAL SECTIONS, BIORETENTION VAULTS, OR UTILITY TRENCH SPOILS.

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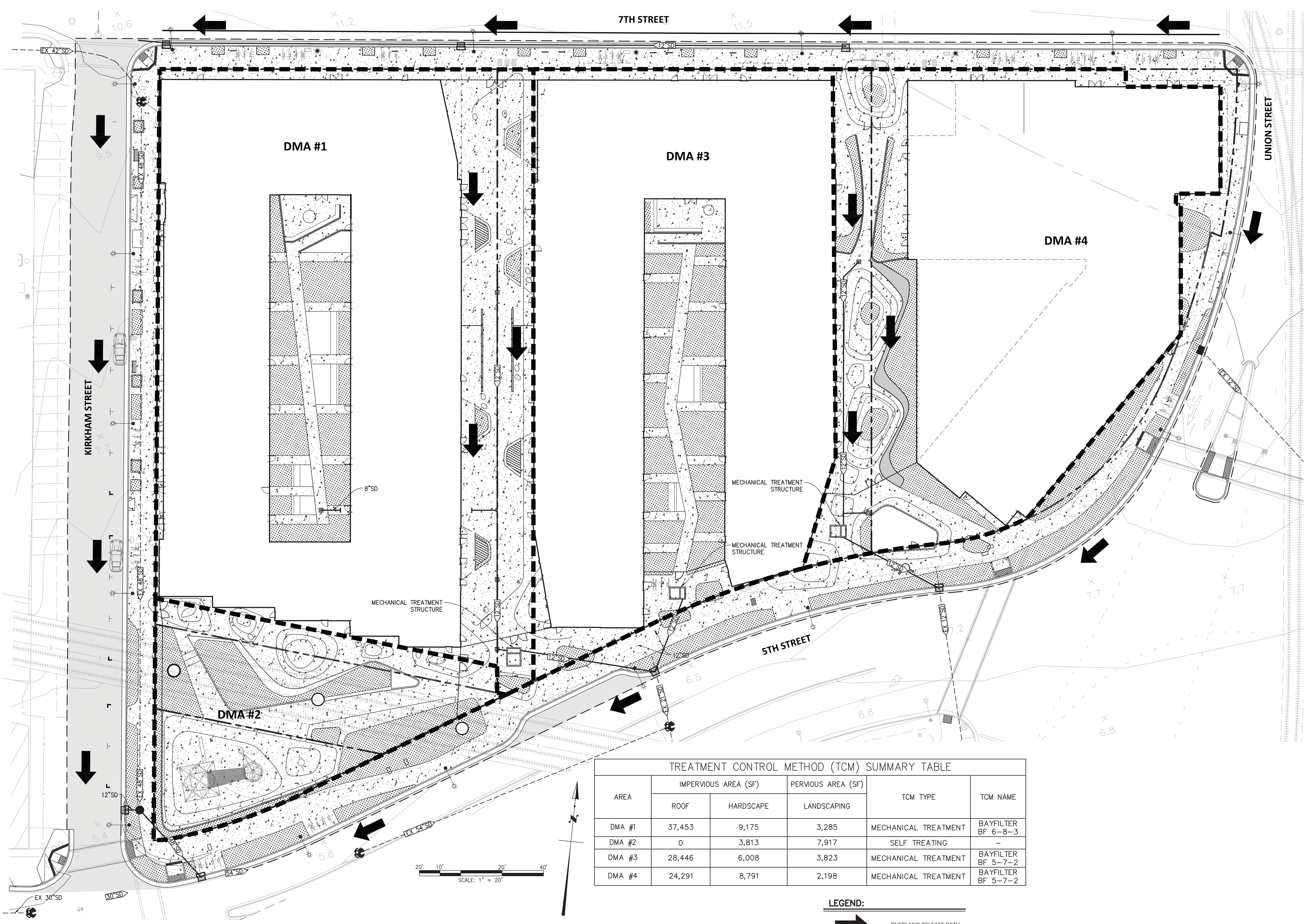
**LEGEND:**

EXISTING		PROPOSED
EX 8"SS	SANITARY SEWER	8"SS
EX 6"W	WATER	6"W
EX 12"SD	STORM DRAIN	12"SD
EX 4"G	GAS	
EX ELEC	ELECTRIC	
EX 6"FW	FIRE WATER	6"FW
EX COMM	COMMUNICATION	



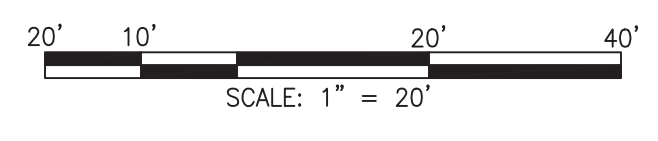
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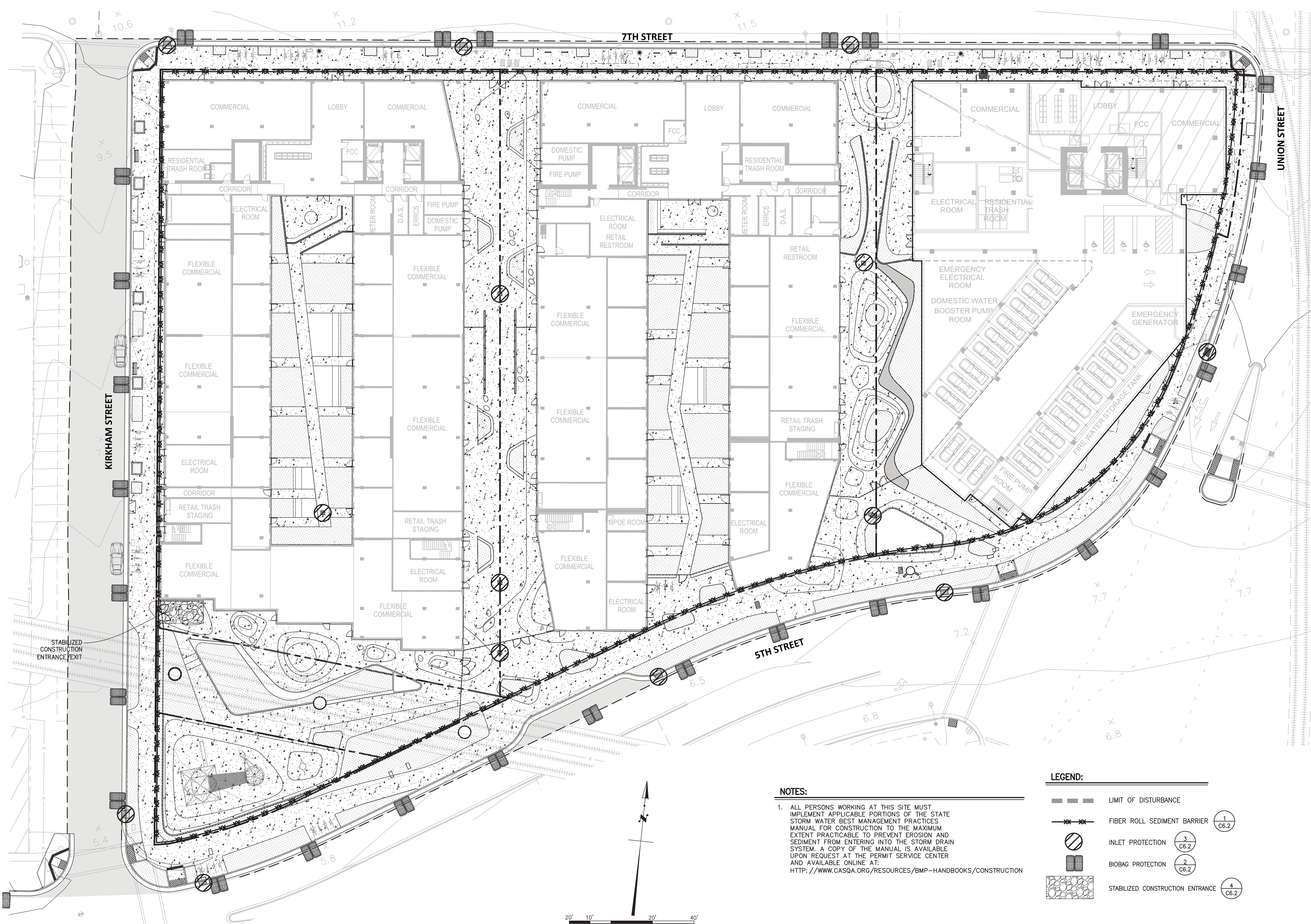
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TREATMENT CONTROL METHOD (TCM) SUMMARY TABLE

AREA	IMPERVIOUS AREA (SF)		PERVIOUS AREA (SF)	TCM TYPE	TCM NAME
	ROOF	HARDSCAPE			
DMA #1	37,453	9,175	3,285	MECHANICAL TREATMENT	BAYFILTER BF 6-8-3
DMA #2	0	3,813	7,917	SELF TREATING	-
DMA #3	28,446	6,008	3,823	MECHANICAL TREATMENT	BAYFILTER BF 5-7-2
DMA #4	24,291	8,791	2,198	MECHANICAL TREATMENT	BAYFILTER BF 5-7-2





**NOTES:**

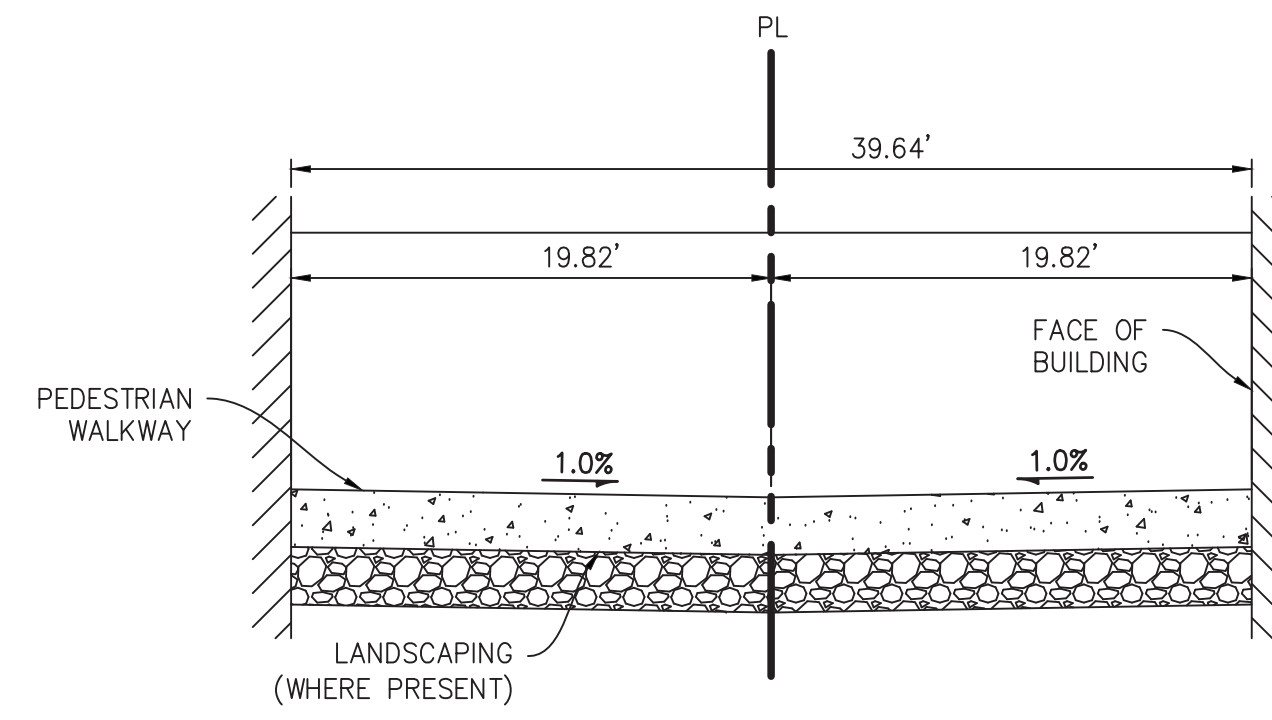
- ALL PERSONS WORKING AT THIS SITE MUST IMPLEMENT APPLICABLE PORTIONS OF THE STATE STORM WATER BEST MANAGEMENT PRACTICES MANUAL FOR CONSTRUCTION TO THE MAXIMUM EXTENT PRACTICABLE TO PREVENT EROSION AND SEDIMENT FROM ENTERING INTO THE STORM DRAIN SYSTEM. A COPY OF THE MANUAL IS AVAILABLE UPON REQUEST AT THE PERMIT SERVICE CENTER AND AVAILABLE ONLINE AT: [HTTP://WWW.CASQA.ORG/RESOURCES/BMP-HANDBOOKS/CONSTRUCTION](http://www.casqa.org/resources/BMP-HANDBOOKS/CONSTRUCTION)

**LEGEND:**

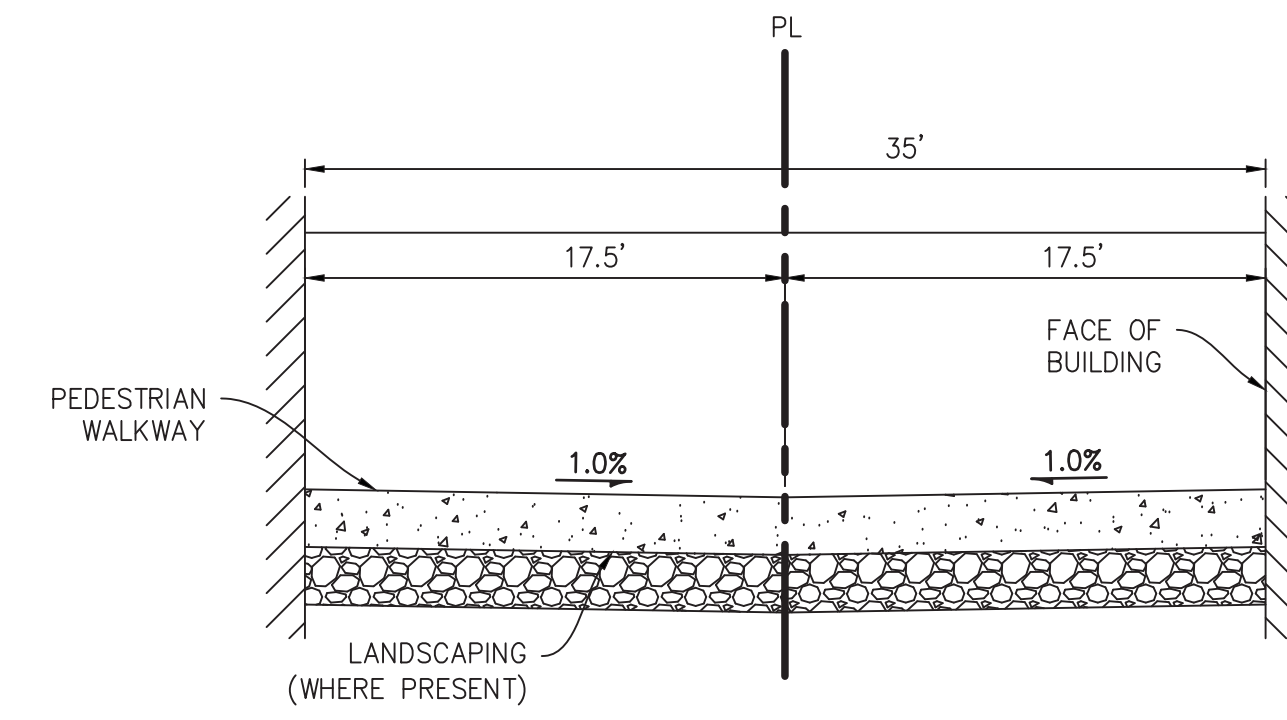
- LIMIT OF DISTURBANCE
- FIBER ROLL SEDIMENT BARRIER (1) C6.2
- ⊗ INLET PROTECTION (3) C6.2
- ⊞ BIOBAG PROTECTION (2) C6.2
- ⊞ STABILIZED CONSTRUCTION ENTRANCE (4) C6.2

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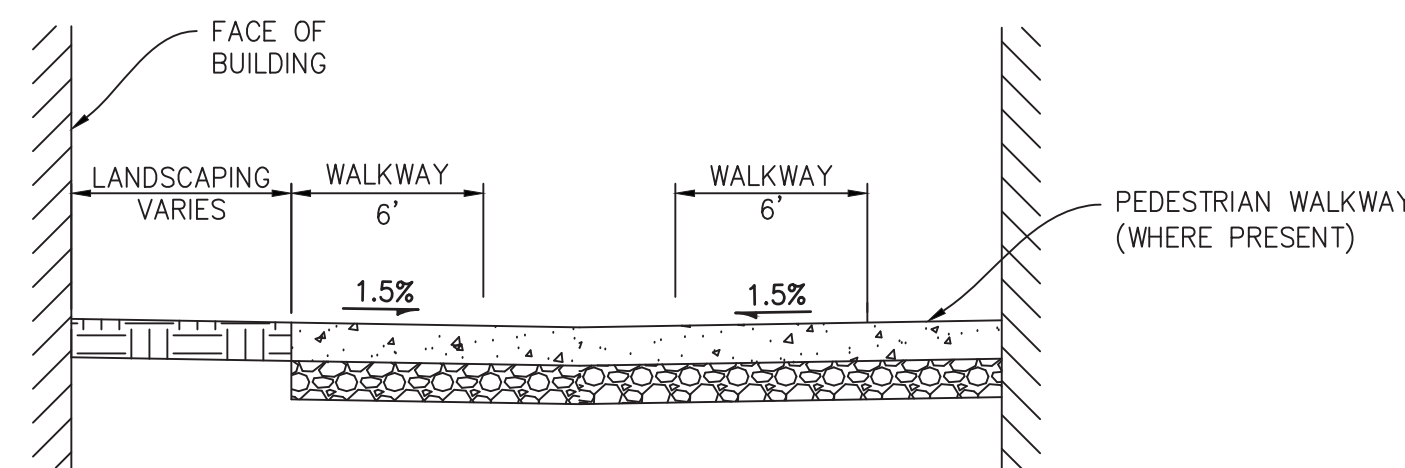
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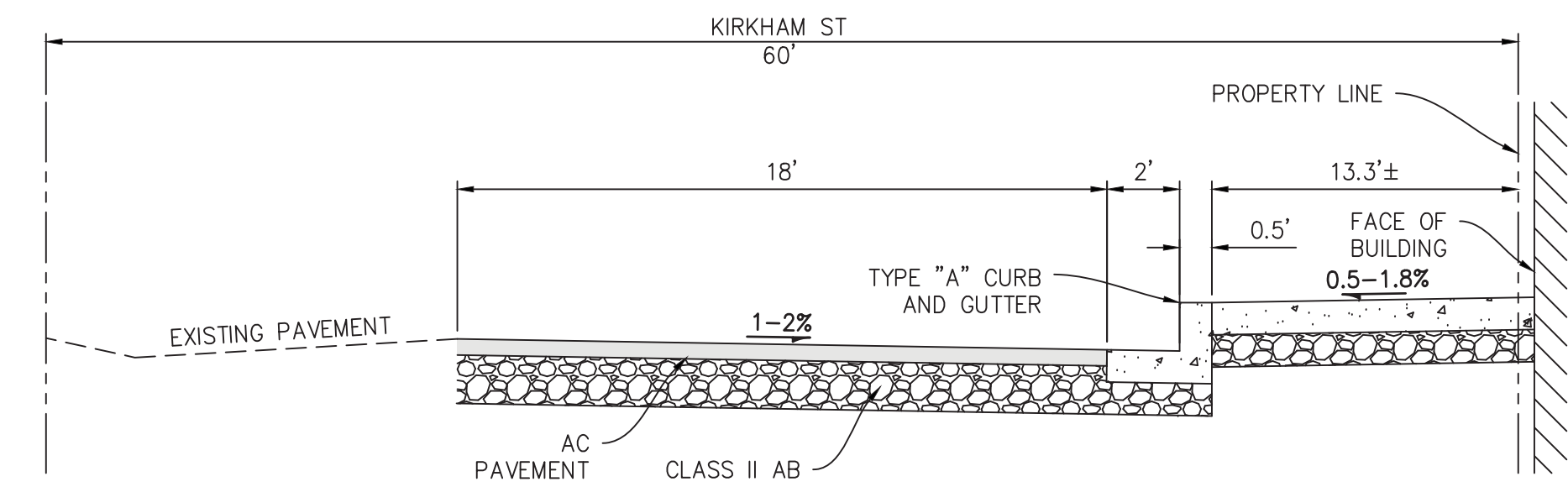
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4 SECTION 4/C2.1



NOT TO SCALE  
2 SECTION 2/C2.1



NOT TO SCALE  
3 SECTION 3/C2.1

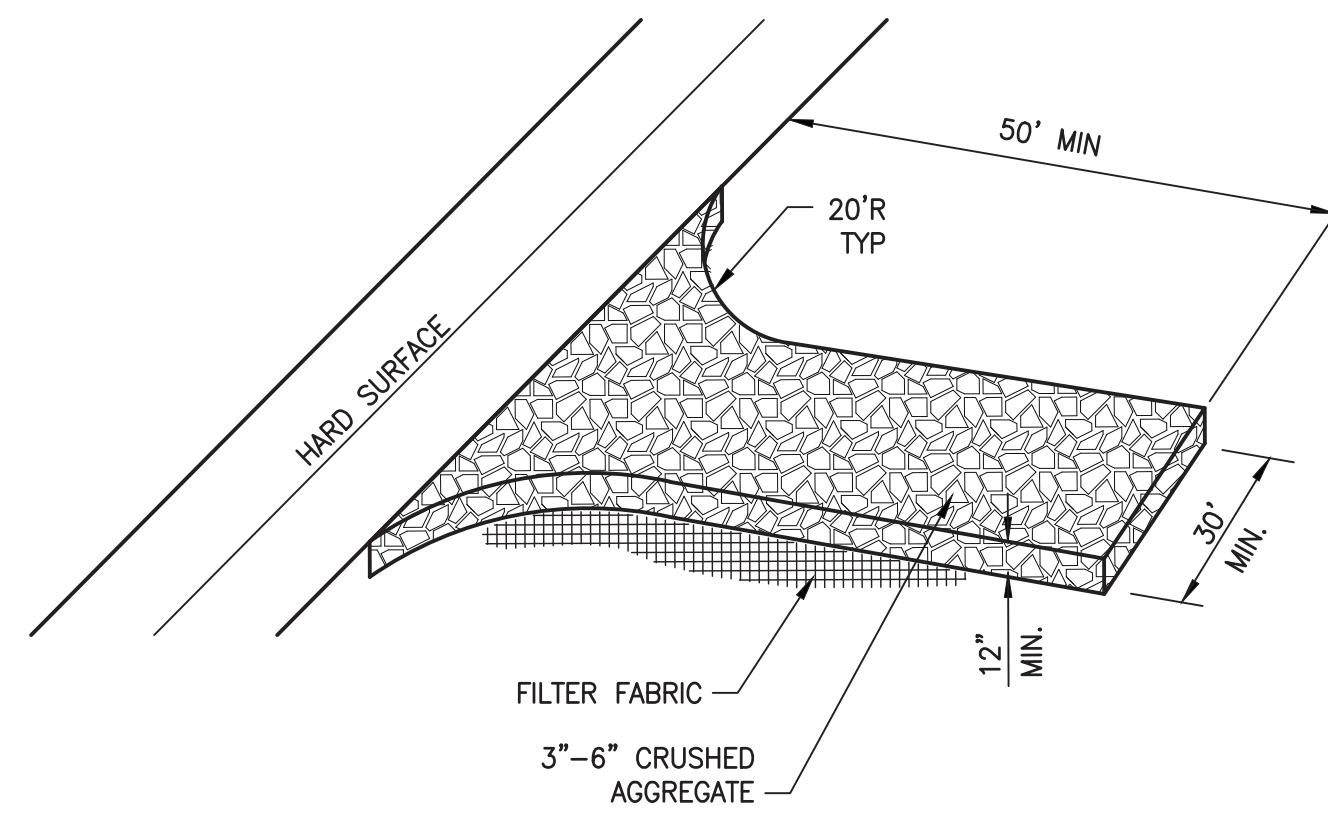


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1 SECTION 1/C2.1

NOT TO SCALE  
6 NOT USED

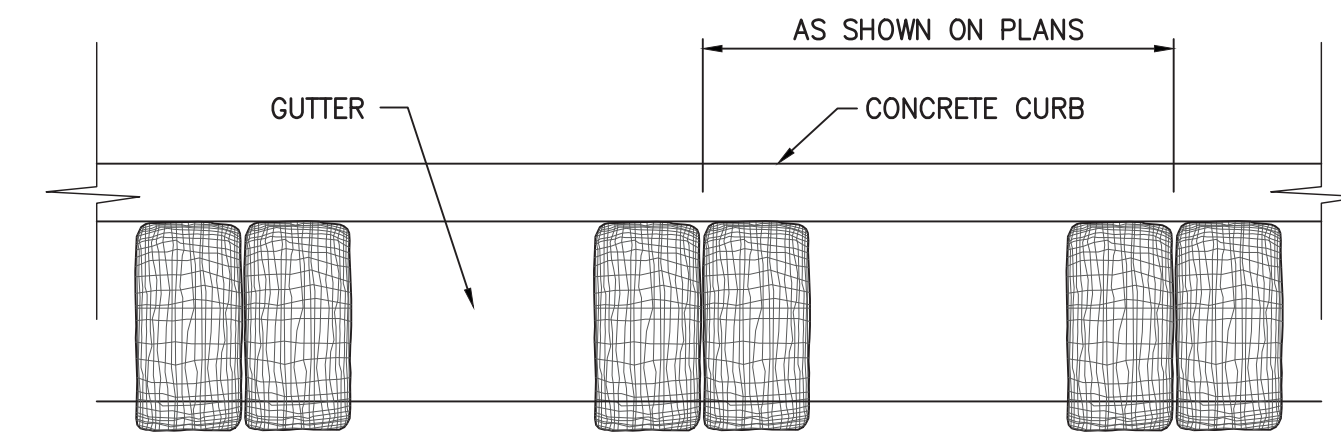
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5 NOT USED

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NOT TO SCALE

4 STABILIZED CONSTRUCTION ENTRANCE

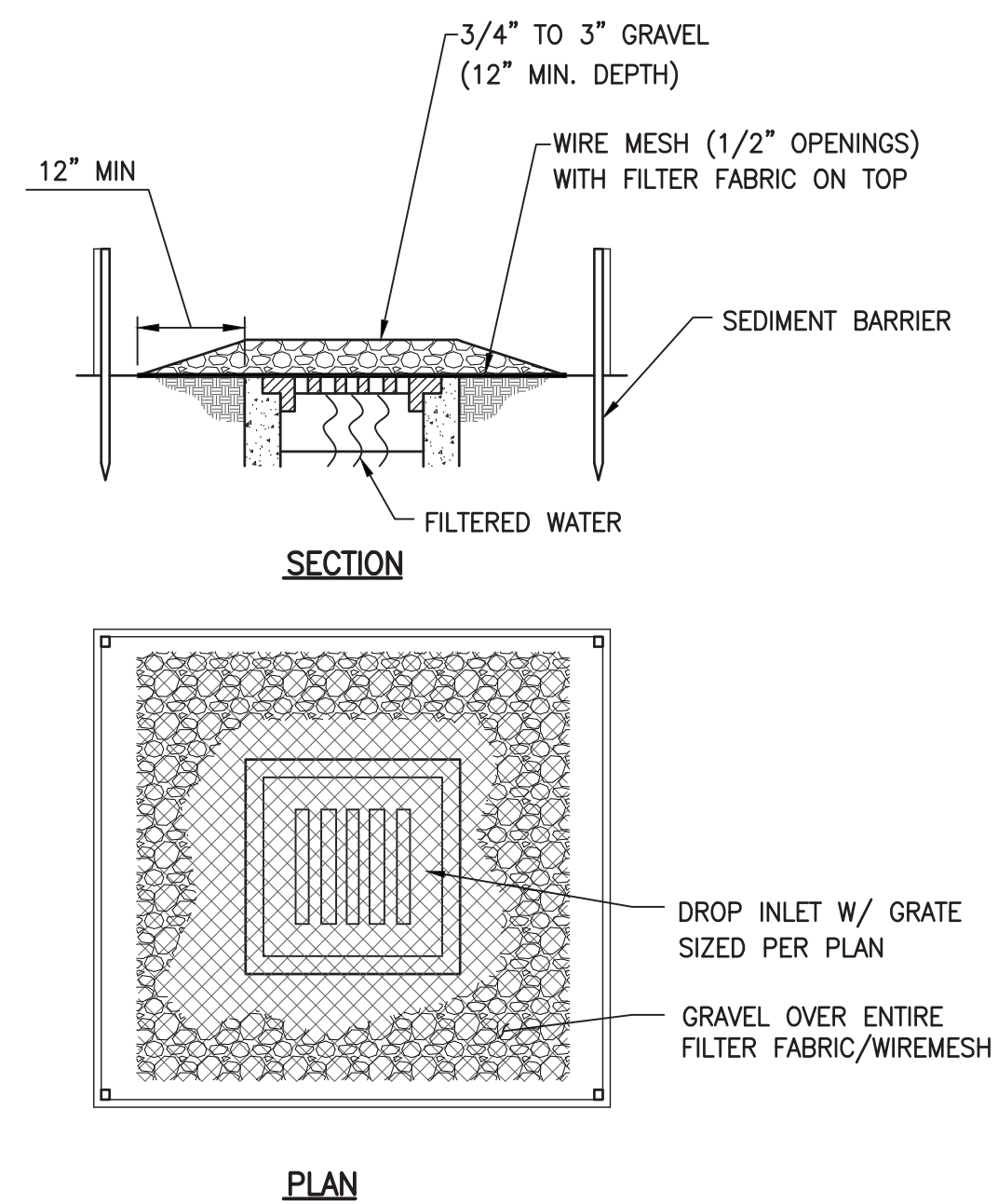


NOTE:

1. PLACE BIOBAG FLUSH AGAINST CURB IN GUTTER
2. BIOBAG SHALL BE CLEAN 100-PERCENT RECYCLED WOOD PRODUCT WASTE. STANDARD SIZE 10X8X30-INCHES, WEIGHT APPROXIMATELY 45-LBS, WITH 1/2-INCH PLASTIC NETTING.

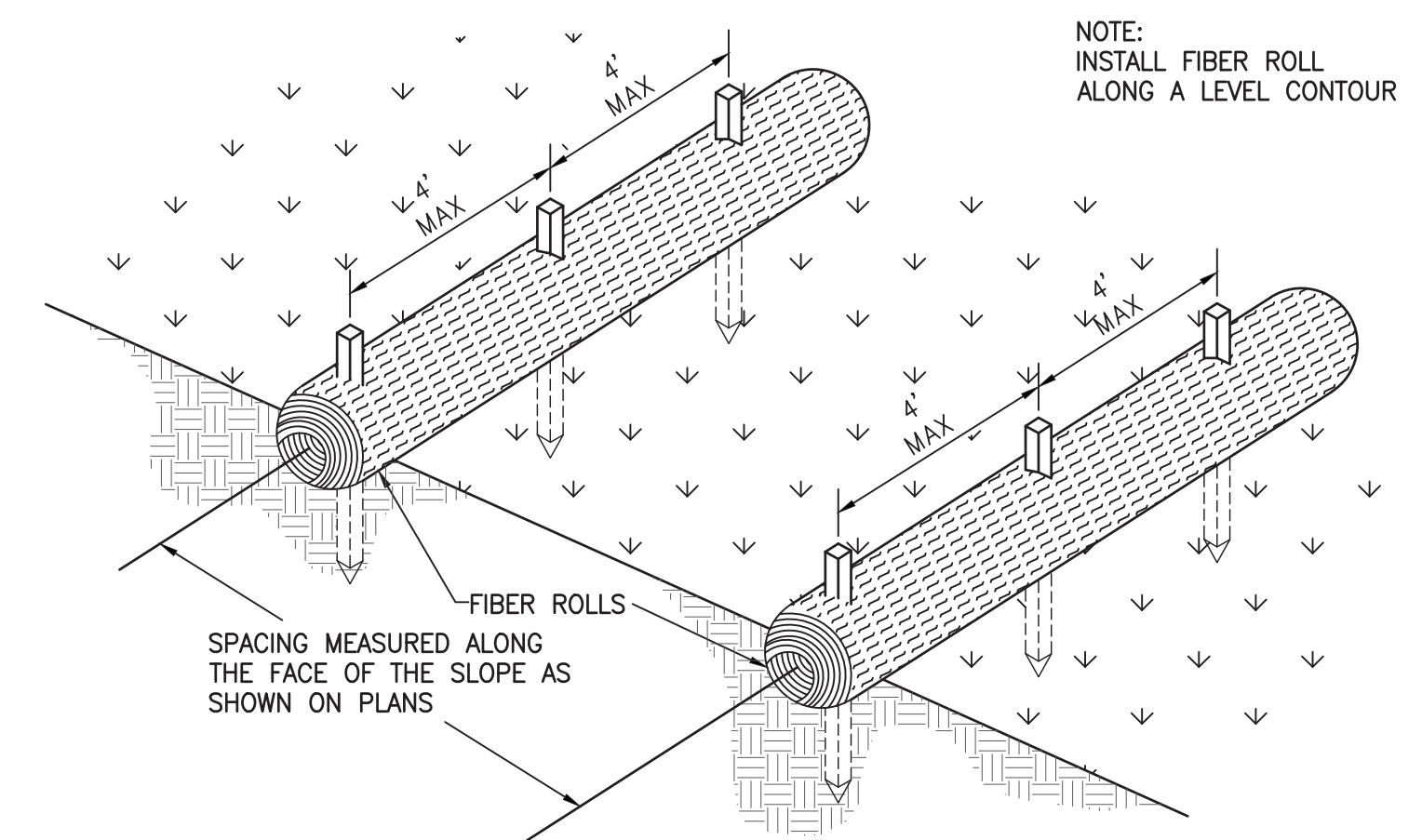
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2 BIOBAG PROTECTION

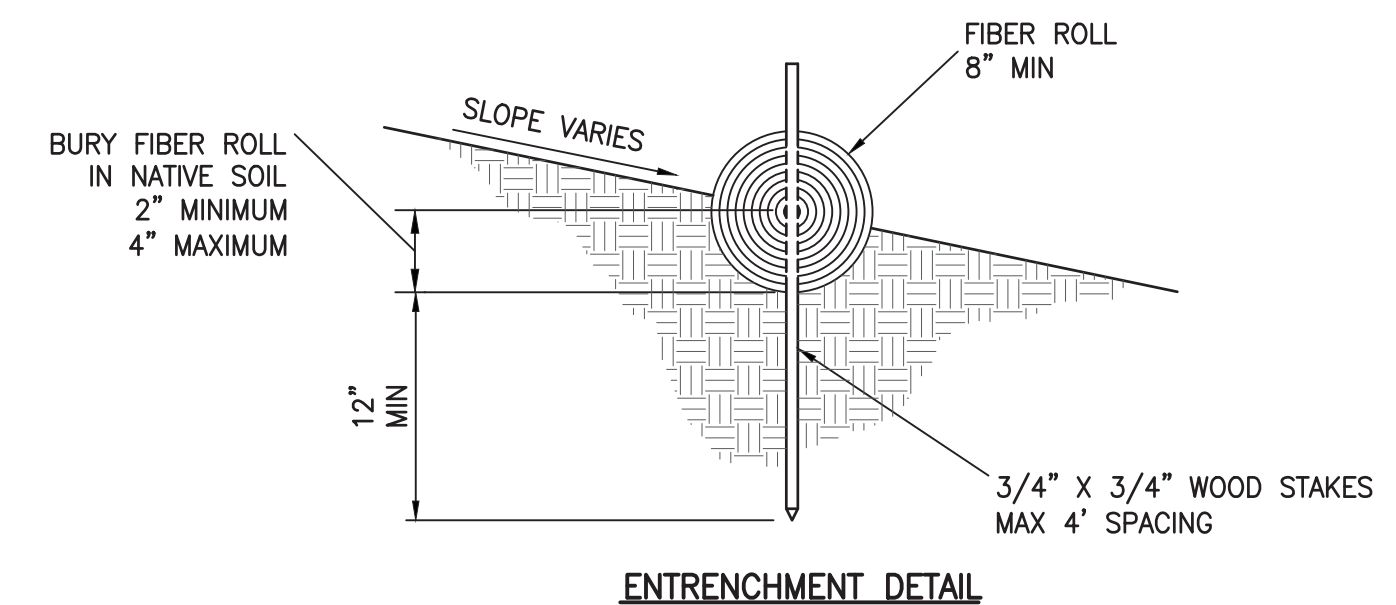


NOTES:

1. PLACE WIRE MESH OVER AND 1' (MINIMUM) BEYOND THE INLET STRUCTURE.
2. PLACE FILTER FABRIC OVER WIRE MESH.
3. PLACE 12" MINIMUM DEPTH OF 3/4" TO 3" GRAVEL OVER THE FILTER FABRIC/WIRE MESH.



TYPICAL FIBER ROLL INSTALLATION



NOT TO SCALE

1 FIBER ROLL SEDIMENT BARRIER

NOT TO SCALE

x NOT USED

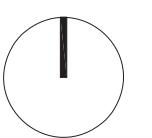
x NOT USED

3 DROP INLET PROTECTION



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PLANNING RESUBMITTAL	08.03.18
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PLANNING RESUBMITTAL	07.03.19





PRECEDENT IMAGERY



*Acer palmatum* spp.  
Japanese Maple



*Chamaedorea seifrizii*  
Bamboo Palm



*Asparagus densiflorus 'Myers'*  
FOXTAIL FERN



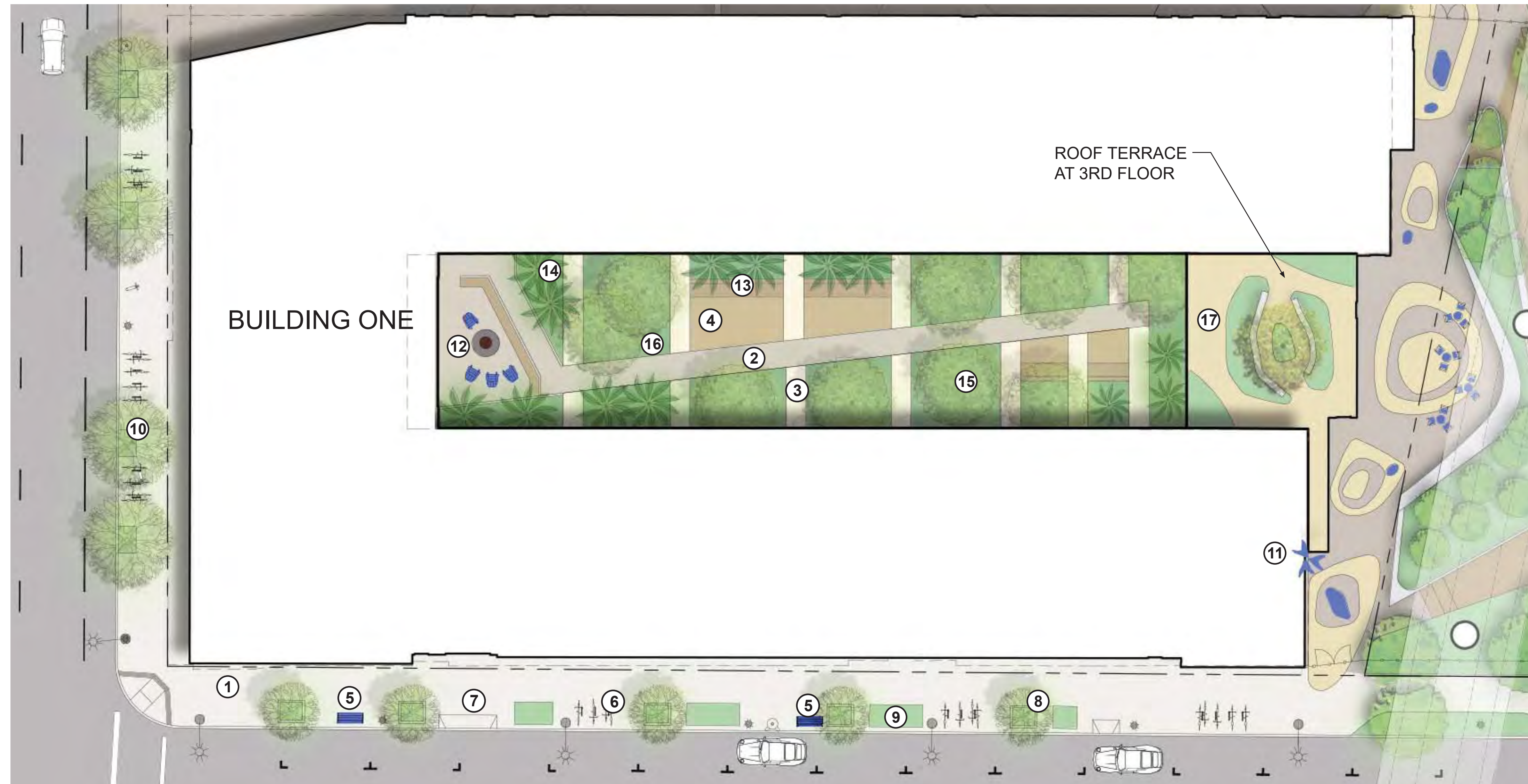
*Matteuccia struthiopteris*  
OSTRICH FERN



PEACEFUL COURTYARD SEATING AREA



FIRE-PIT & SEATING



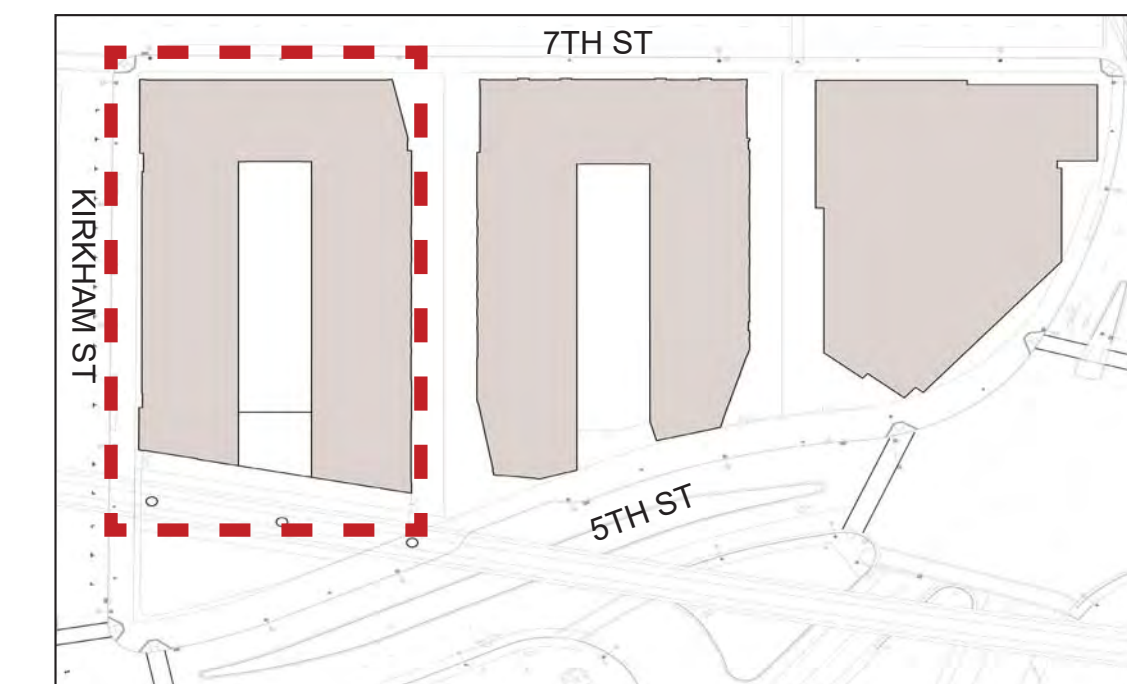
GENERAL NOTES:

1. DRIP IRRIGATION TO BE USED IN ALL LANDSCAPE AREAS.
2. 3" BARK MULCH TO BE USED IN ALL LANDSCAPED AREAS

SITE LEGEND

- |   |   |  |
|---|---|--|
| ① CONCRETE PAVING CITY STANDARD             | ⑧ RAISED PLANTER WITH OLEA EUROPEA TREE ON KIRKHAM ST., MULTISTEM 24" BOX | ⑭ COURTYARD TREE 1, PALM SIZE 15'-0" CLEAR BROWN TRUNK   |
| ② CONCRETE PAVER                            | ⑨ SIDEWALK PLANTER WITH CEANOTHUS YANKEE POINT, TYP.                      | ⑮ COURTYARD TREE 2, JAPANESE MAPLE, SIZE 24" BOX   |
| ③ CONCRETE PAVER                            | ⑩ PODOCARPUS GRACILIOR TREE ON 7TH ST., STANDARD 24" BOX                  | ⑯ LUSH COURTYARD PLANTING, SEE PHOTOS FOR SPECIES, SIZE VARIES BETWEEN 1 GALLON AND 15 GALLON) |
| ④ ADA COMPLIANT GRAVEL PAVE                 | ⑪ FACADE ART PIECE  | ⑰ LEVEL 3 ROOFTOP GARDEN   |
| ⑤ METAL BENCH SEATING                       | ⑫ FIRE PIT SEATING AREA   |  |
| ⑥ REQUIRED SHORT-TERM BICYCLE PARKING, TYP. | ⑬ BUILT IN WOOD BENCH, TYP.   |  |
| ⑦ LOADING DRIVEWAY ACCESS                   |   |  |

KEY PLAN



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PRECEDENT IMAGERY



*Cyathea cooperi*  
TREE FERN



*Brahia edulis*  
GUADALUPE PALM



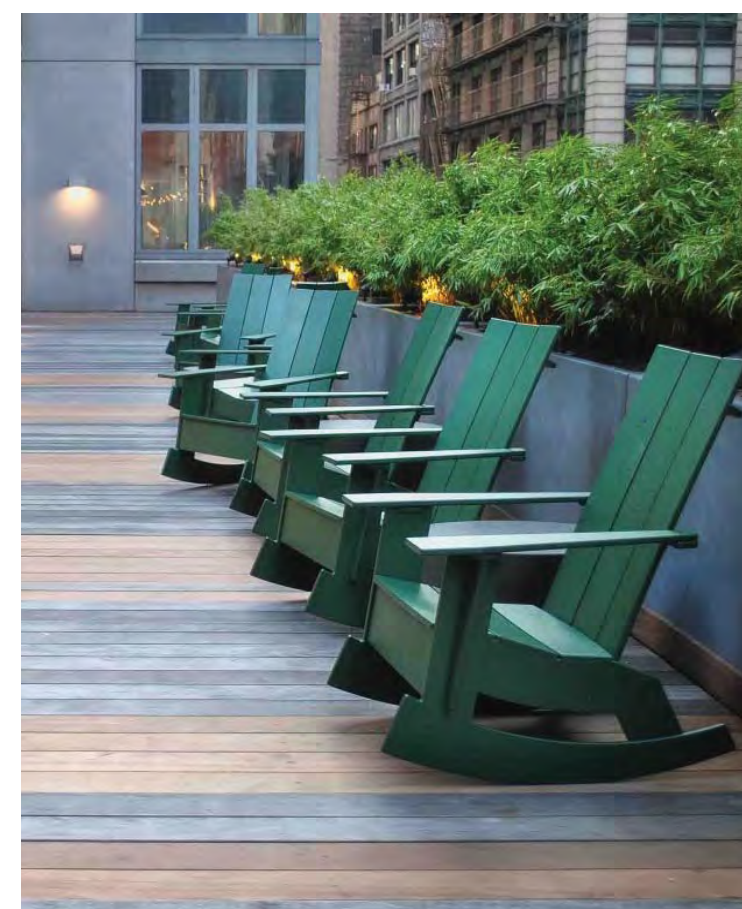
*Asarum caudatum*  
WESTERN WILD GINGER



*Hakonechloa macra 'Aureola'*  
HAONE GRASS



LUSH GARDEN



SOCIAL PORCH



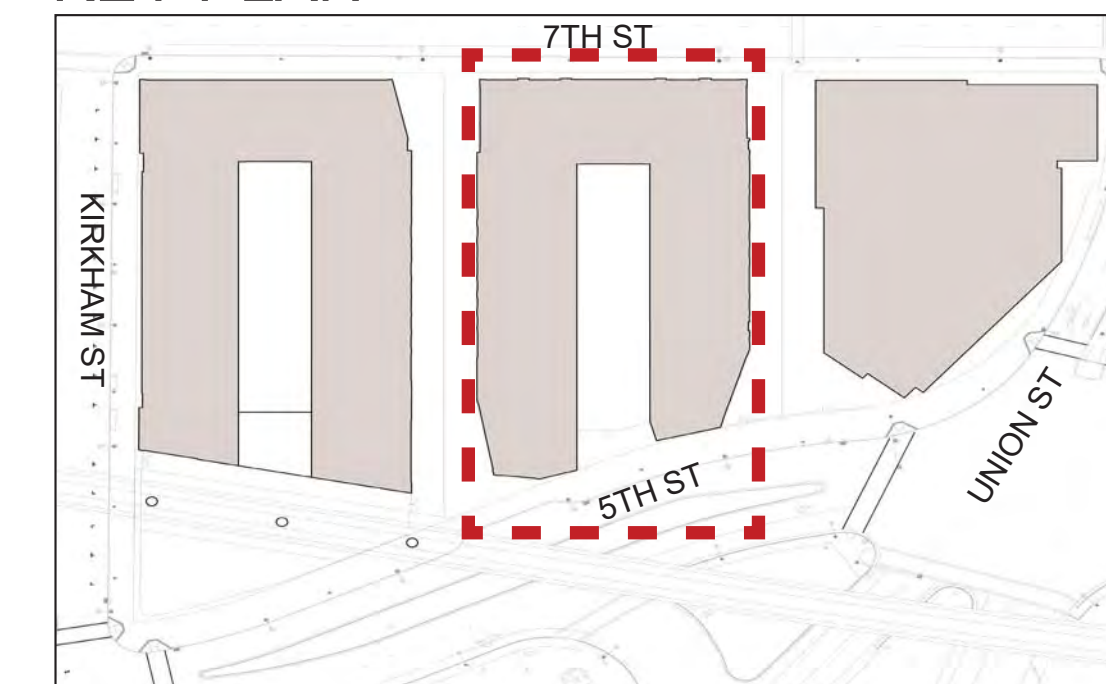
GENERAL NOTES:

1. DRIP IRRIGATION TO BE USED IN ALL LANDSCAPE AREAS.
2. 3" BARK MULCH TO BE USED IN ALL LANDSCAPED AREAS.

SITE LEGEND

- |  |   |
|--|---|
| ① CONCRETE PAVING CITY STANDARD                          | ⑧ BUILT IN WOOD BENCH, TYP.   |
| ② CONCRETE PAVER   | ⑨ COURTYARD FENCE AND GATE  |
| ③ MORTAR SET COBBLESTONES                                | ⑩ COURTYARD TREE 1, PALM SIZE 15'-0" CLEAN BROWN TRUNK  |
| ④ ADA COMPLIANT GRAVEL PAVE                              | ⑪ COURTYARD TREE 2, TREE FERN, 36" BOX  |
| ⑤ PODOCARPUS GRACILIOR TREE ON 7TH ST., STANDARD 24" BOX | ⑫ LUSH COURTYARD PLANTING SEE PHOTOS FOR SPECIES, SIZE VARIES BETWEEN 1 GALLON AND 15 GALLON) |
| ⑥ QUERCUS VIRGINIANA ON 5TH ST., STANDARD 24" BOX        |   |
| ⑦ COMMUNAL TABLE SEATING AREA                            |   |

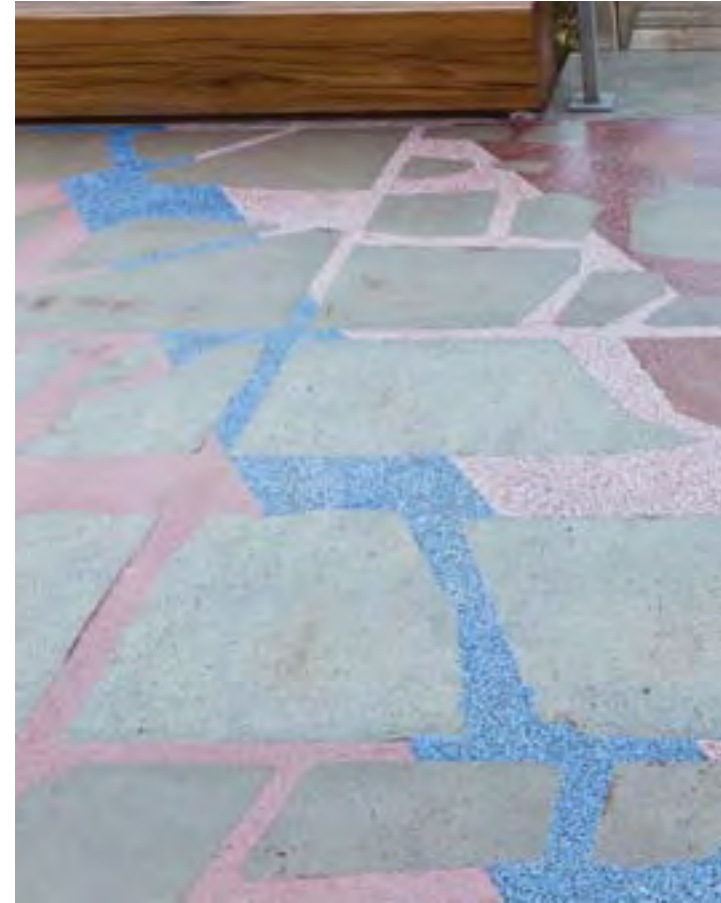
KEY PLAN



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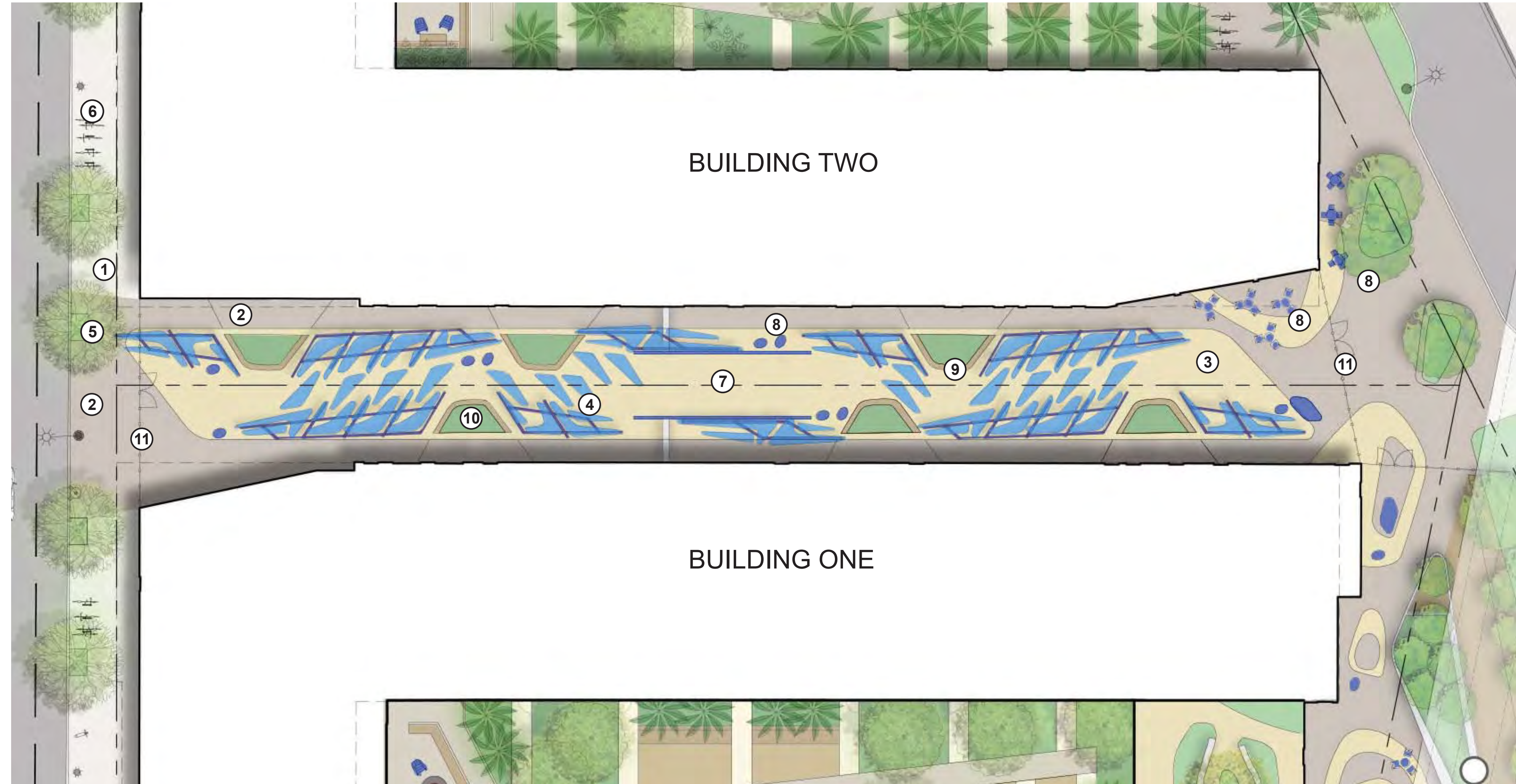
PRECEDENT IMAGERY



SITE PAVING



OVERHEAD TRELLIS STRUCTURE AND SEATING



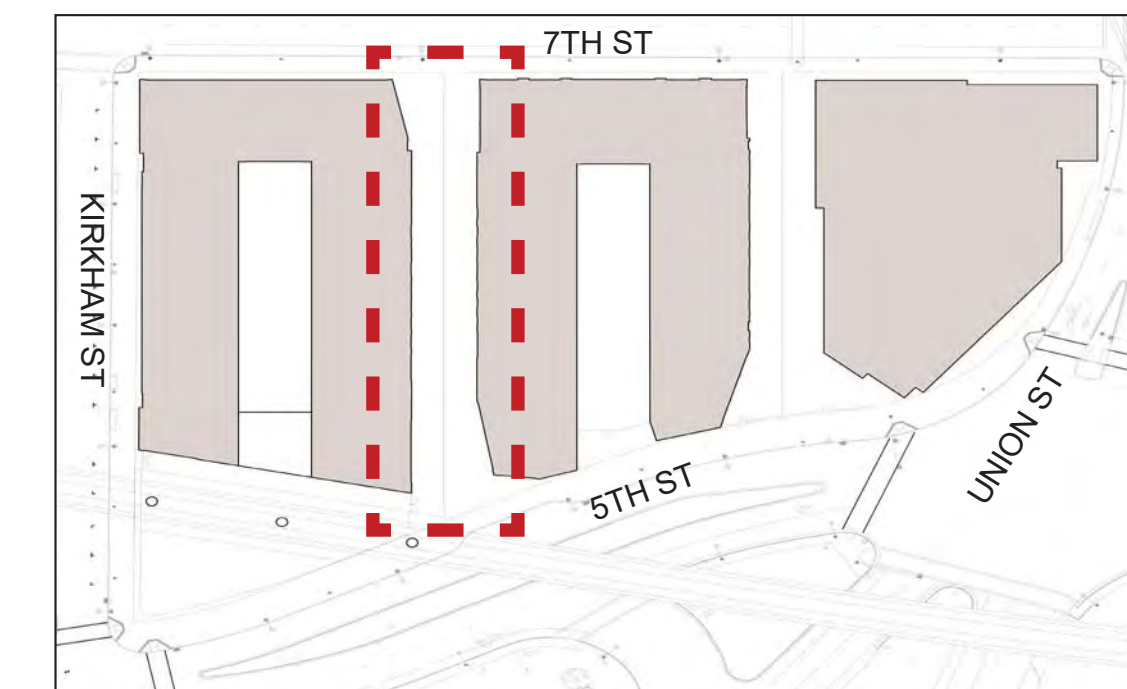
GENERAL NOTES:

1. DRIP IRRIGATION TO BE USED IN ALL LANDSCAPE AREAS.
2. 3" BARK MULCH TO BE USED IN ALL LANDSCAPED AREAS.

SITE LEGEND

- |  |                                      |
|--|--------------------------------------|
| ① CONCRETE PAVING CITY STANDARD  | ⑦ RAMP TO ACCOMMODATE SITE GRADING   |
| ② MORTAR SET COBBLE PAVING   | ⑧ MOVABLE FURNITURE                  |
| ③ FIBER REINFORCED INTEGRALLY COLORED CONCRETE PAVING WITH TOPCAST RETARDER FINISH. -20% CUSTOM TERRAZZO INLAY | ⑨ BUILT IN WOOD BENCH                |
| ④ OVERHEAD ART CANOPY  | ⑩ PLANTER WITH SHRUBS AND PERENNIALS |
| ⑤ PODOCARPUS GRACILIOR TREE ON 7TH ST., 24" BOX SIZE   | ⑪ FENCE AND GATE                     |
| ⑥ REQUIRED SHORT-TERM BICYCLE PARKING, TYP.  |                                      |

KEY PLAN



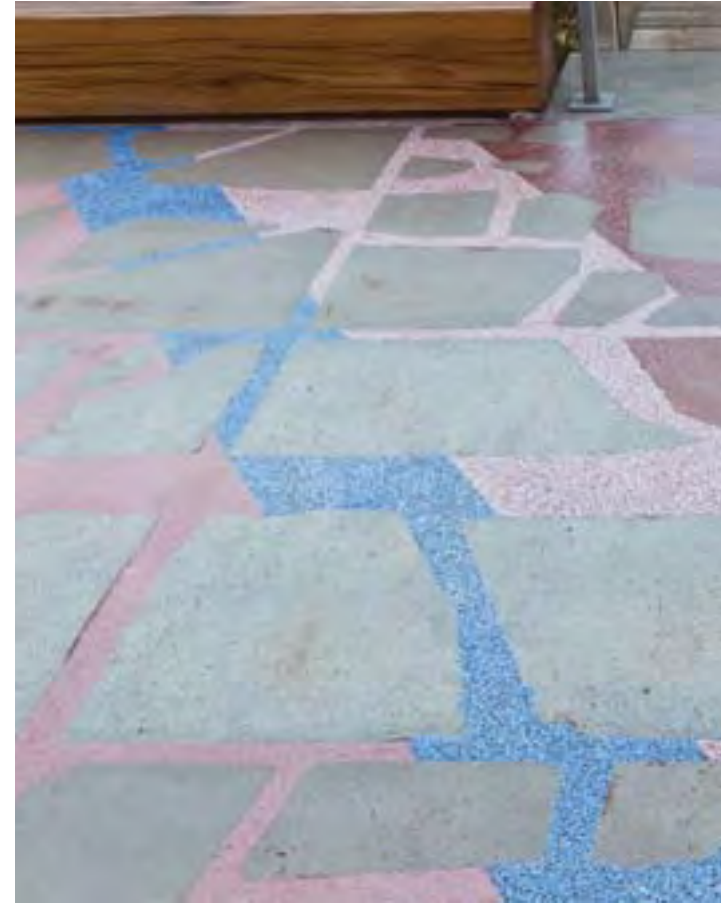
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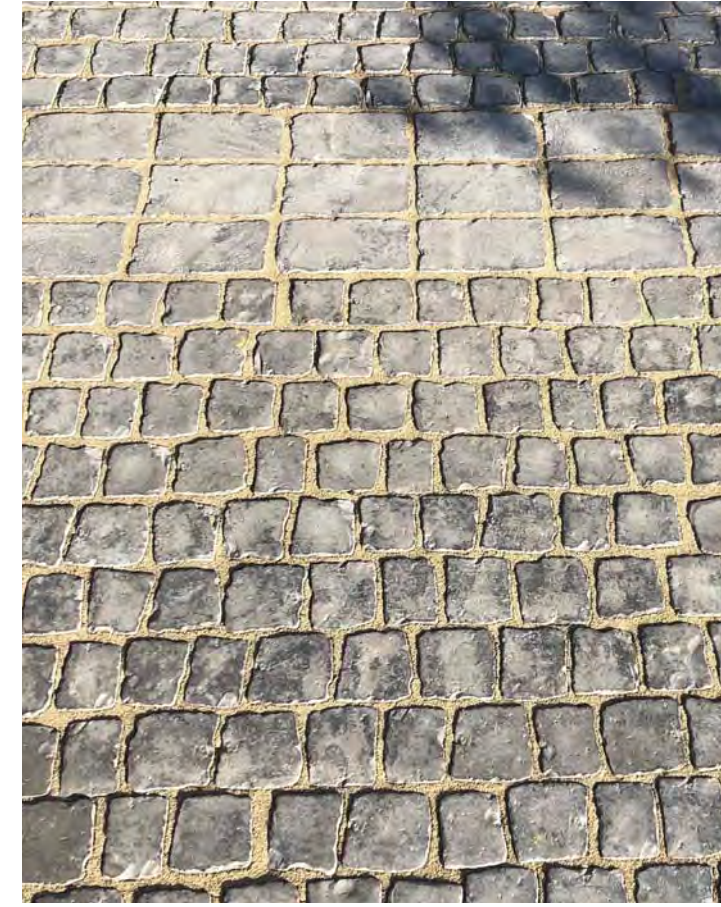


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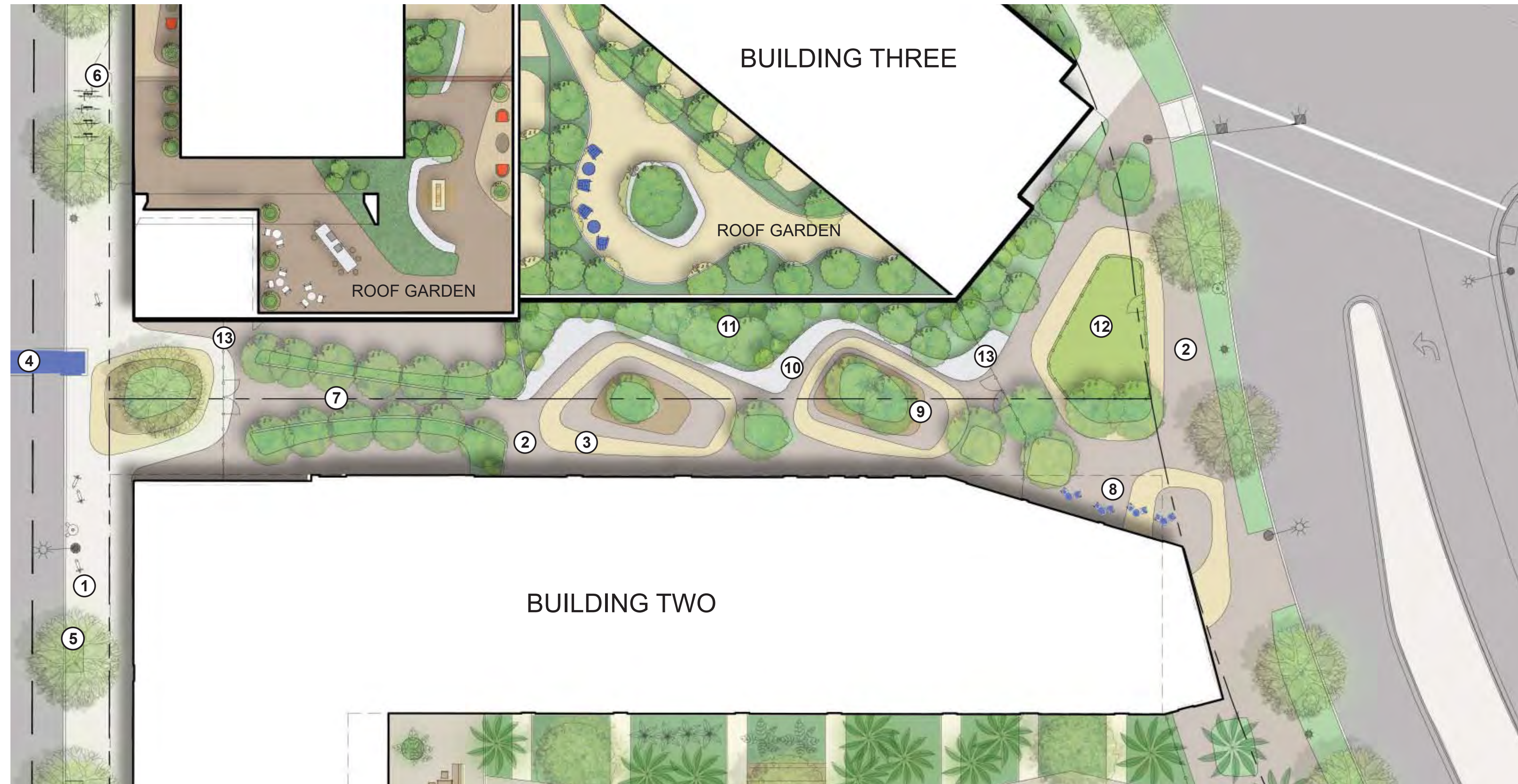
PRECEDENT IMAGERY



SITE PAVING



SEATWALL PLANTERS



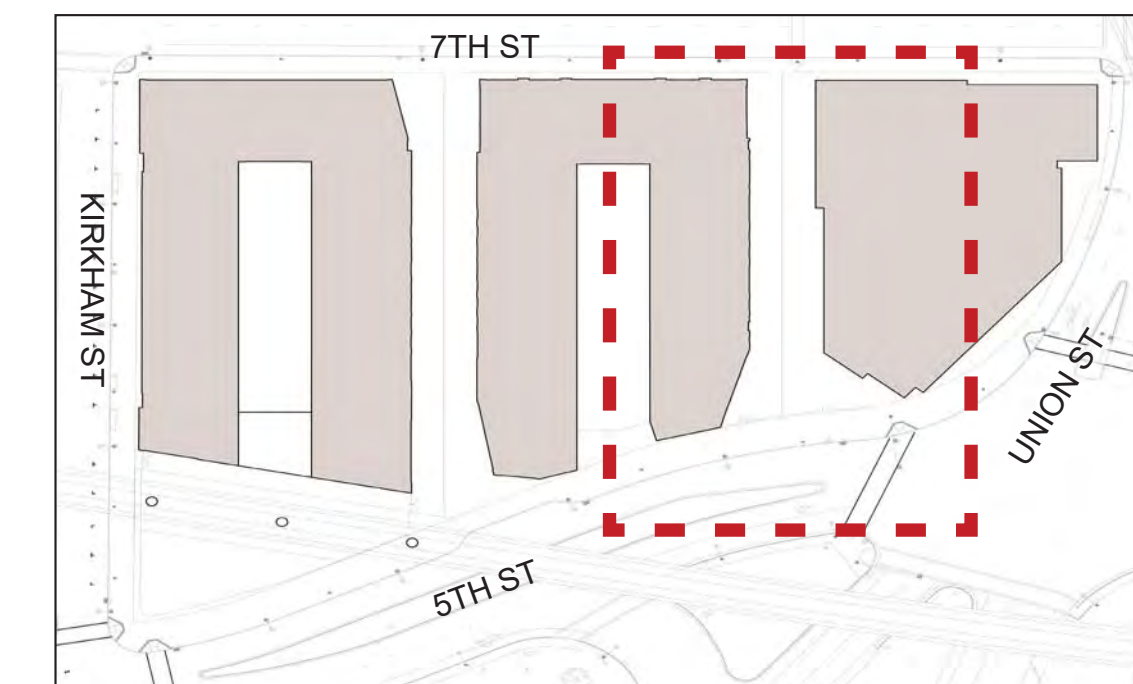
GENERAL NOTES:

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2. 3" BARK MULCH TO BE USED IN ALL LANDSCAPED AREAS.

SITE LEGEND

- |  |  |
|--|--|
| ① CONCRETE PAVING CITY STANDARD  | ⑦ RAMP TO ACCOMMODATE SITE GRADING     |
| ② MORTAR SET COBBLE PAVING   | ⑧ MOVEABLE FURNITURE                   |
| ③ FIBER REINFORCED INTEGRALLY COLORED CONCRETE PAVING WITH TOPCAST RETARDER FINISH. -20% CUSTOM TERRAZZO INLAY | ⑨ BUILT IN WOOD BENCH                  |
| ④ EXISTING ART GATEWAY   | ⑩ BUILT IN CONCRETE BENCH/PLANTER WALL |
| ⑤ PODOCARPUS GRACILIOR TREE ON 7TH ST., 24" BOX MINIMUM SIZE   | ⑪ PLANTER WITH SHRUBS AND PERENNIALS   |
| ⑥ REQUIRED SHORT-TERM BICYCLE PARKING, TYP.  | ⑫ DOG PARK                             |
|  | ⑬ FENCE AND GATE                       |

KEY PLAN



PRECEDENT IMAGERY



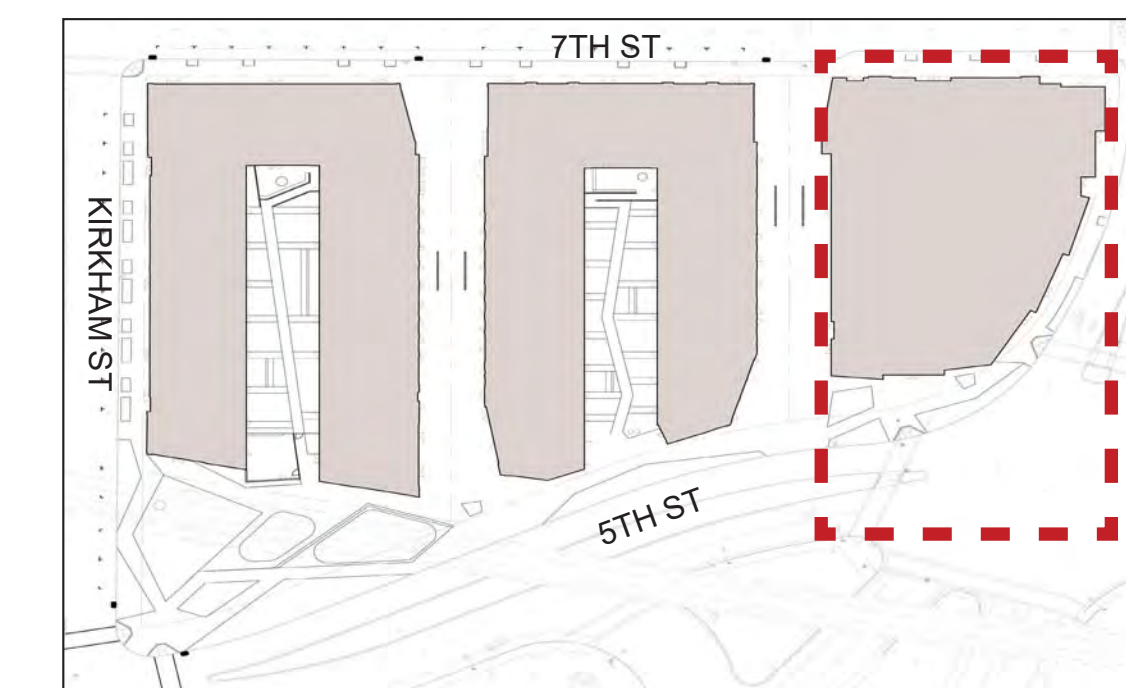
GENERAL NOTES:

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2. 3" BARK MULCH TO BE USED IN ALL LANDSCAPED AREAS.

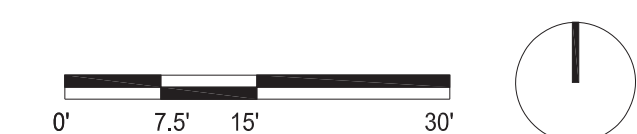
SITE LEGEND

- |                                       |                        |                             |
|---------------------------------------|------------------------|-----------------------------|
| ① PEDESTAL PAVING                     | ⑧ INDOOR LOUNGE        | ⑮ LUSH COURTYARD PLANTING   |
| ② CONCRETE PAVER AT PRIVATE COURTYARD | ⑨ PRIVATE PATIO FENCE  | ⑯ MEADOW ROOFTOP PLANTING   |
| ③ PLANTS IN POTS                      | ⑩ CITY VIEW            | ⑰ OLEA EUROPEA TREE         |
| ④ GLASS RAILING                       | ⑪ MOVABLE SEATING      | ⑱ ROOF PATIO TREE 1         |
| ⑤ BOLLARD LIGHT IN PLANTING           | ⑫ PARTY AREA           | ⑲ METAL FRAME WITH LIGHTING |
| ⑥ RAISED PLANTER                      | ⑬ FIRE PIT LOUNGE AREA |                             |
| ⑦ BUILT IN CONCRETE BENCH             | ⑭ BBQ COUNTER AND SINK |                             |

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**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607



**PRECEDENT IMAGERY**



PLAYGROUND



PASSIVE PARK

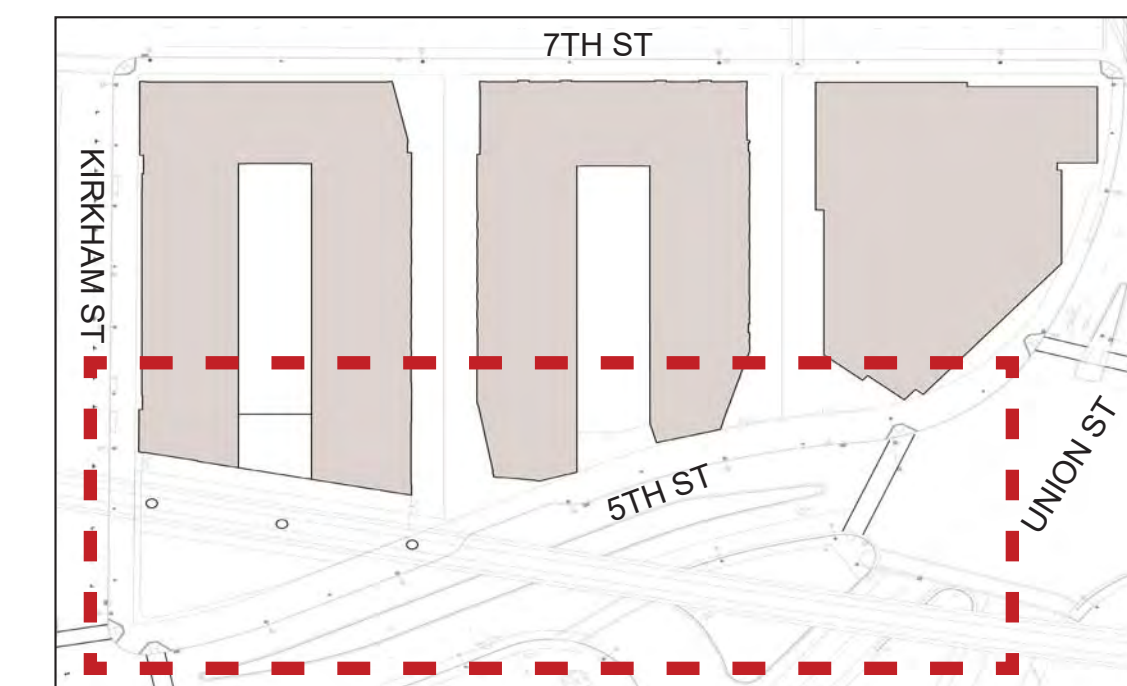
**SITE LEGEND**

- ① CONCRETE PAVING CITY STANDARD
- ② MORTAR SET COBBLE PAVING
- ③ DOG PARK WITH SYNTHETIC TURF
- ④ PLAYGROUND: 5-12 YRS
- ⑤ FLEXIBLE PLAZA SPACE
- ⑥ FENCE AND GATE
- ⑦ REQUIRED SHORT-TERM BICYCLE PARKING, TYP.
- ⑧ OVERHEAD ART CANOPY
- ⑨ QUERCUS VIRGINIANA AT 5TH ST., SIZE 24" BOX
- ⑩ MOVABLE SEATING
- ⑪ BUILT-IN CONCRETE BENCH
- ⑫ BART COLUMN/OVERHEAD BART
- ⑬ SIDEWALK PLANTER WITH LOW SHRUBS
- ⑭ LOW ORNAMENTAL TREE, SIZE 24" BOX

**GENERAL NOTES:**

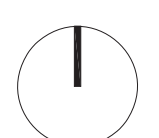
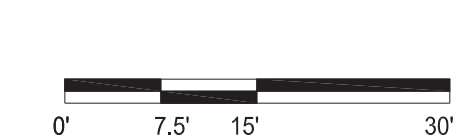
- 1. DRIP IRRIGATION TO BE USED IN ALL LANDSCAPE AREAS.
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**KEY PLAN**



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**PUBLIC REALM PLAN**



**L7.00**



BICYCLE AND TRANSIT IMPROVEMENTS SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

KIRKHAM STREET

7TH STREET

5TH STREET

UNION STREET

AERIAL BART TRACK

REQUIRED SHORT TERM BICYCLE PARKING, TYP.

STANDARD CITY SIDEWALK  
LOW PLANTING TYP.

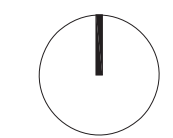
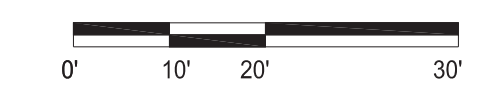
SPECIAL PAVING

STREET TREE, TYP.

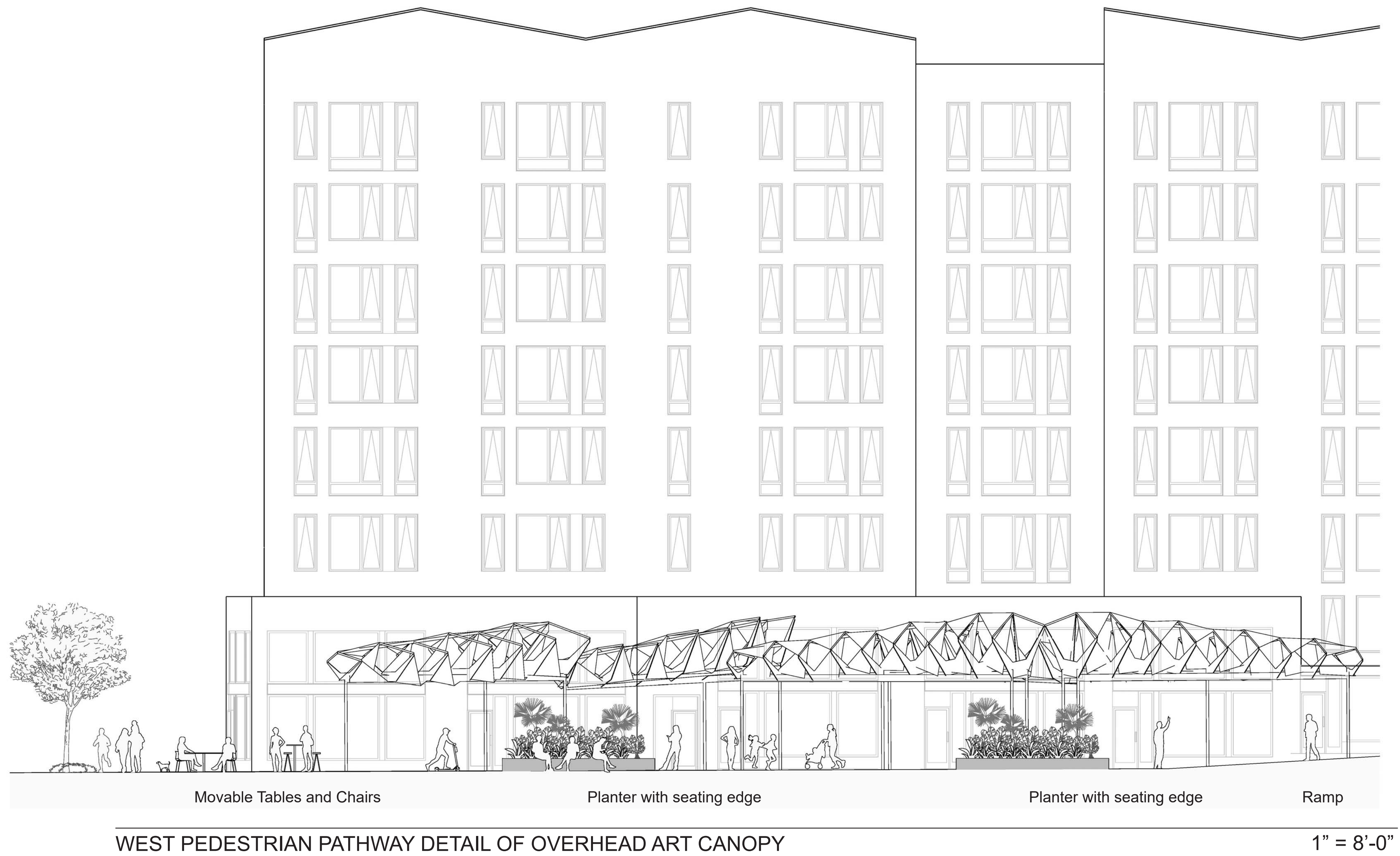
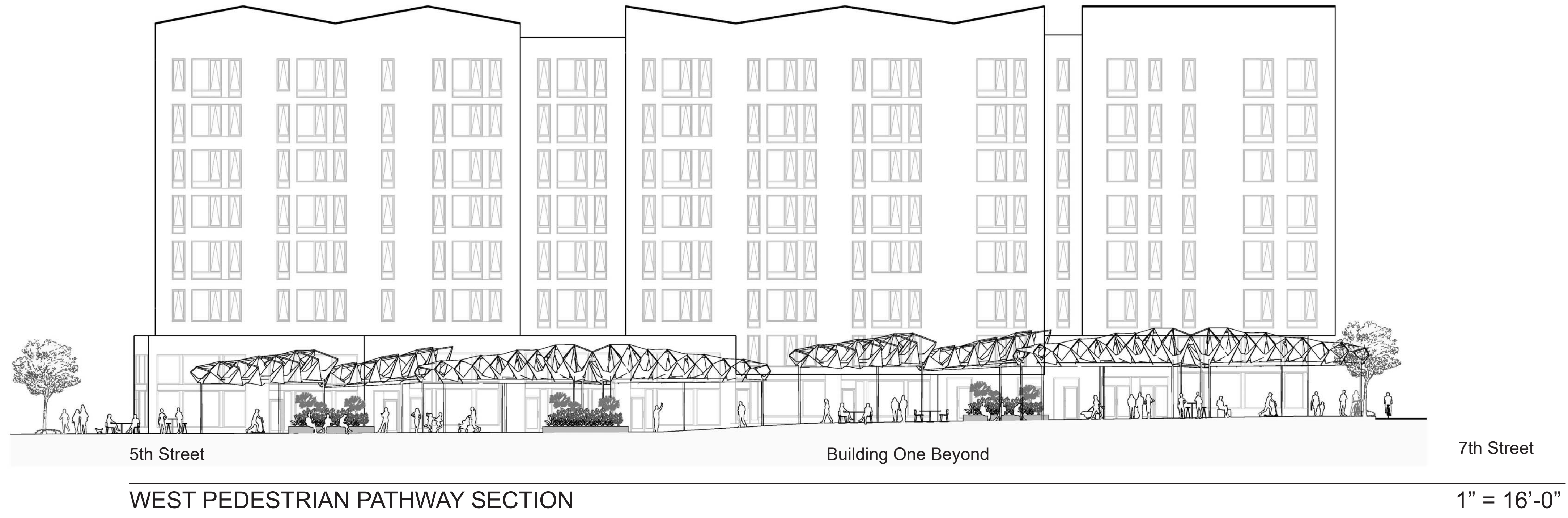
**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

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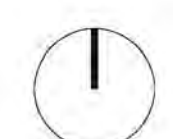
PRIVATE PROPERTY  
FOR PUBLIC USE  
LANDSCAPE  
PLAN



PRECEDENT IMAGERY



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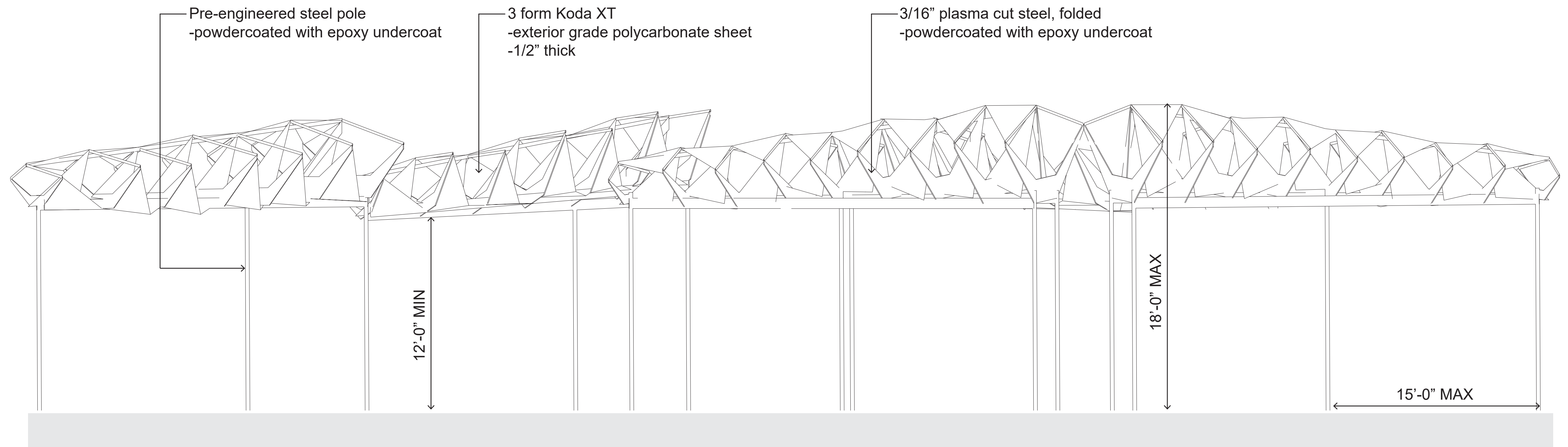




ART CANOPY VIEW FROM 7TH STREET



ART CANOPY MODELS AND SHADOW



OVERHEAD ART CANOPY

3/16" = 1'-0"

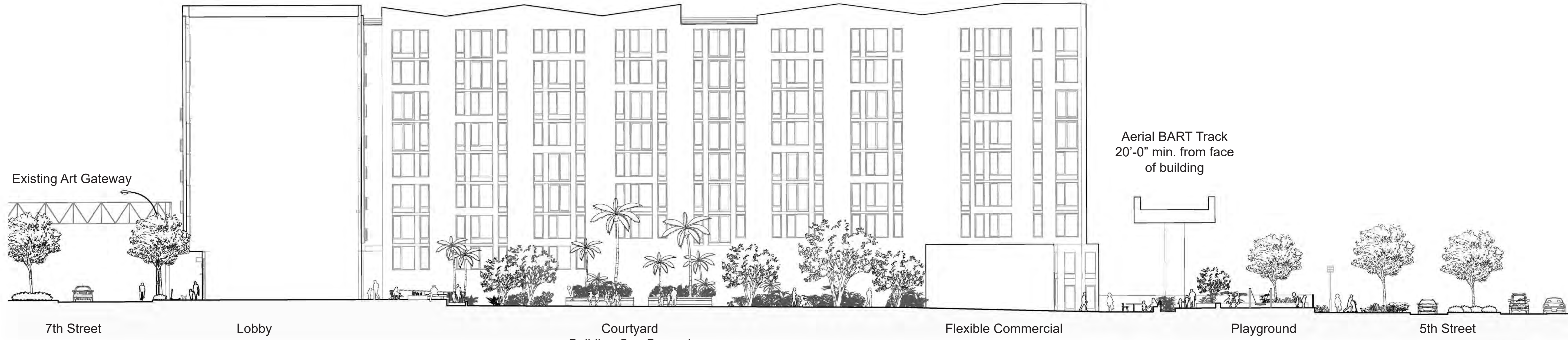


ARTIST WORK "OAK"  
Materials: 3/16" plasma cut steel, folded, and powdercoated with epoxy undercoat and polycarbonate sheet



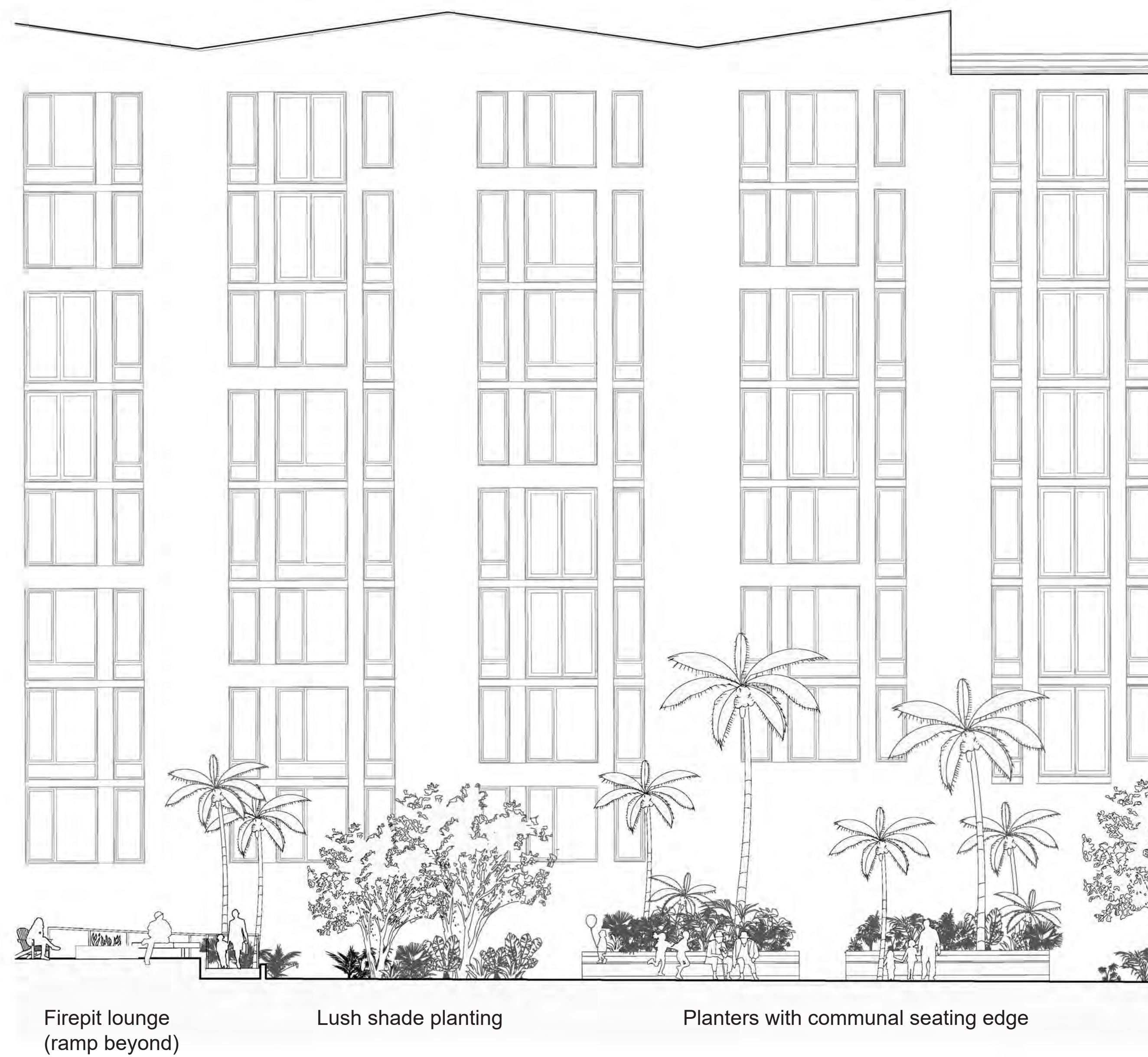
ARTIST WORK "FLIGHT"  
Materials: powdercoated steel, wood, and polycarbonate sheet

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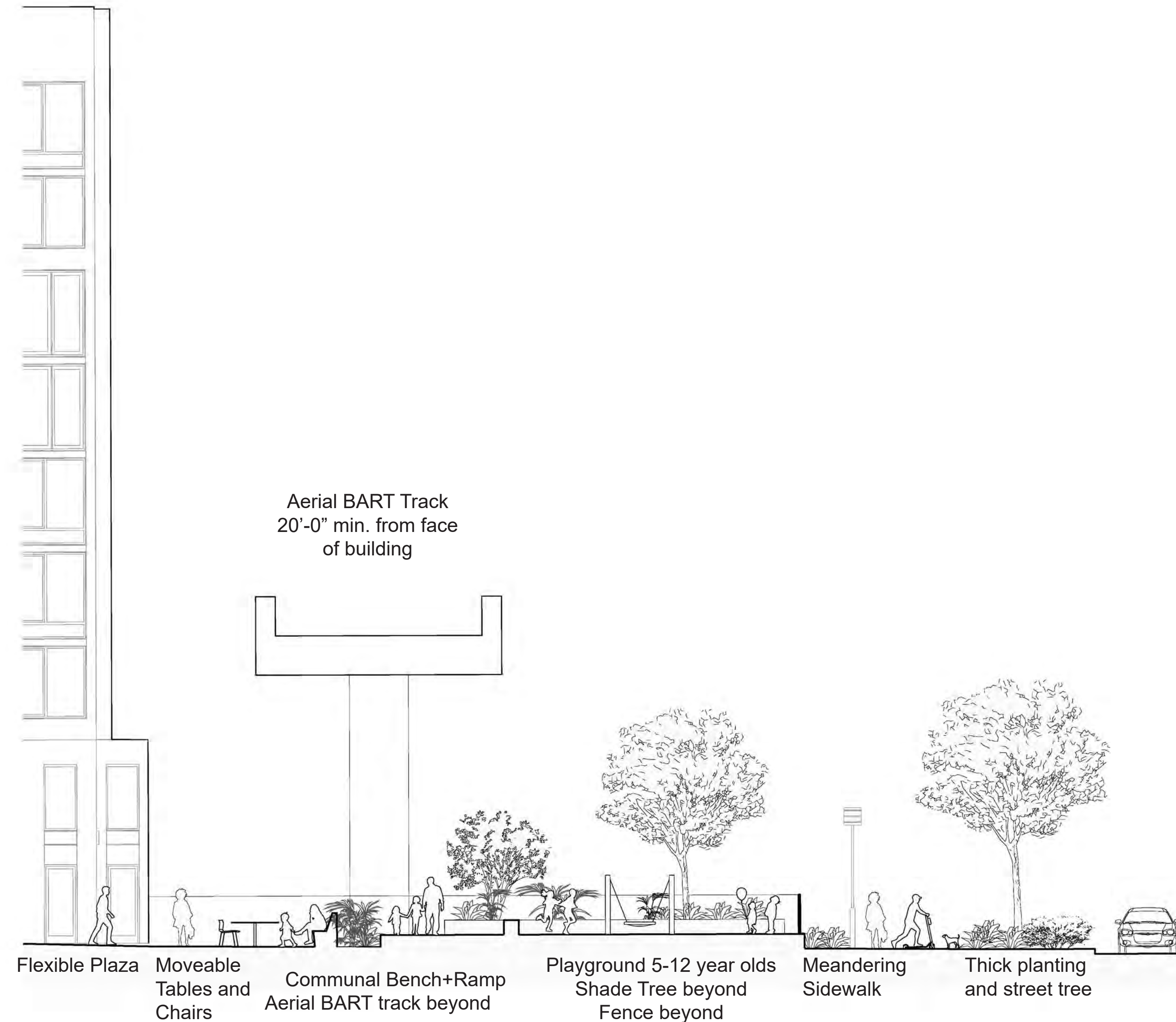
WEST COURTYARD AND OPEN SPACE AND PLAYGROUND SITE SECTION

1" = 16'-0"



WEST COURTYARD SITE DETAIL SECTION

1" = 8'-0"



OPEN SPACE AND PLAYGROUND SITE DETAIL SECTION

1" = 8'-0"

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 500 KIRKHAM STREET  
 OAKLAND, CA 94607

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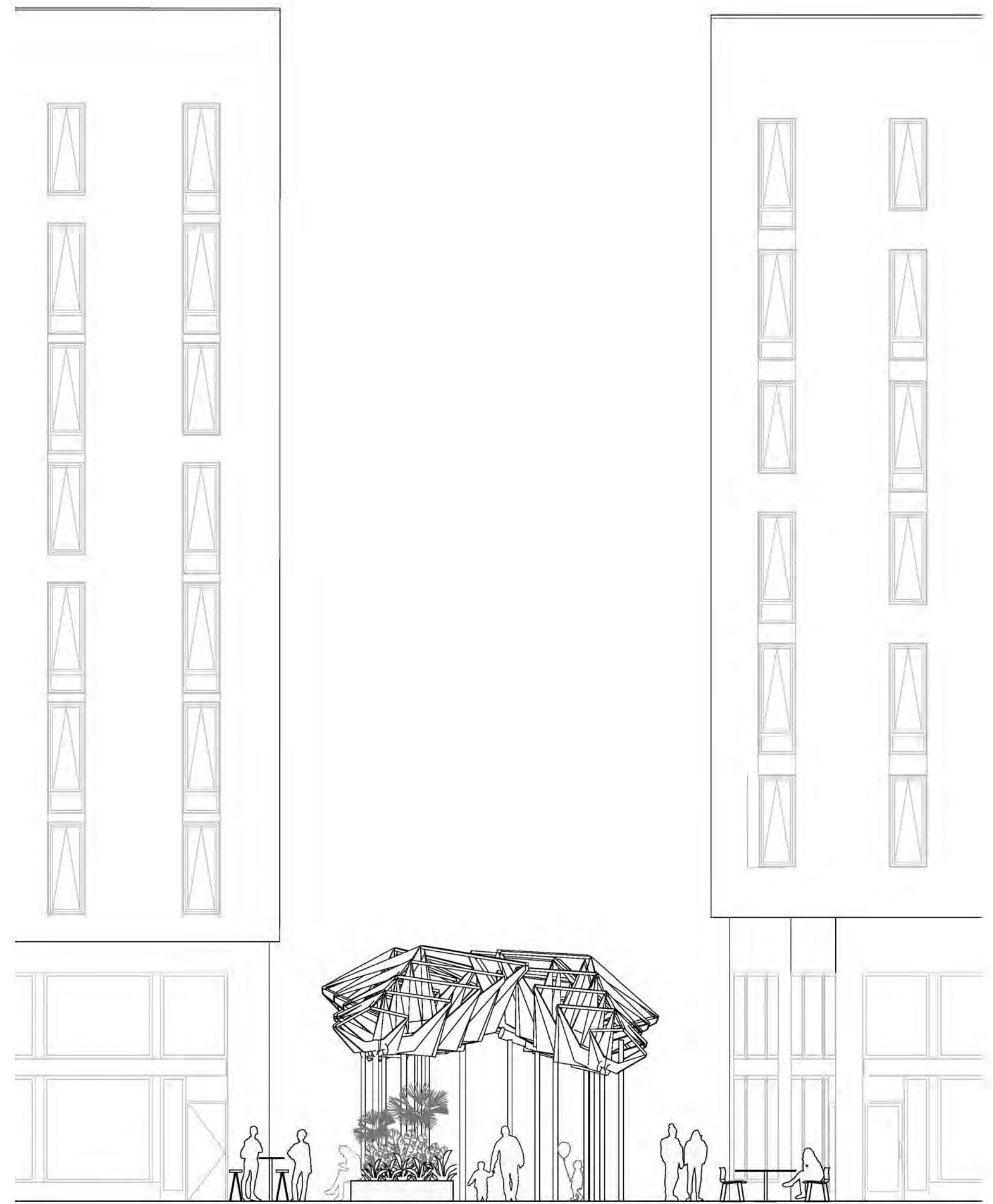
SITE SECTIONS

**L9.00**



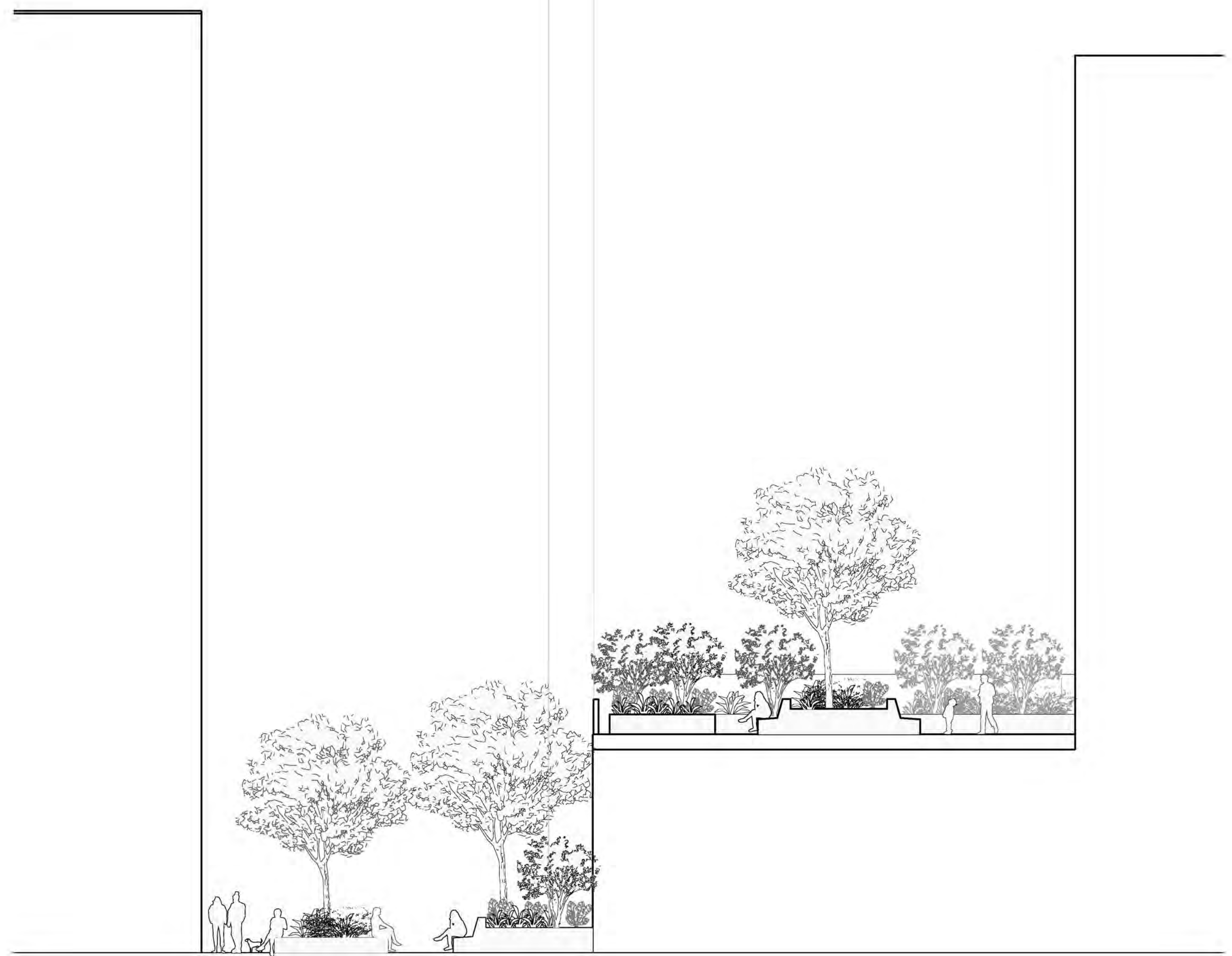
**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

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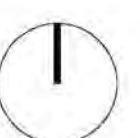
WEST ALLEY SECTION

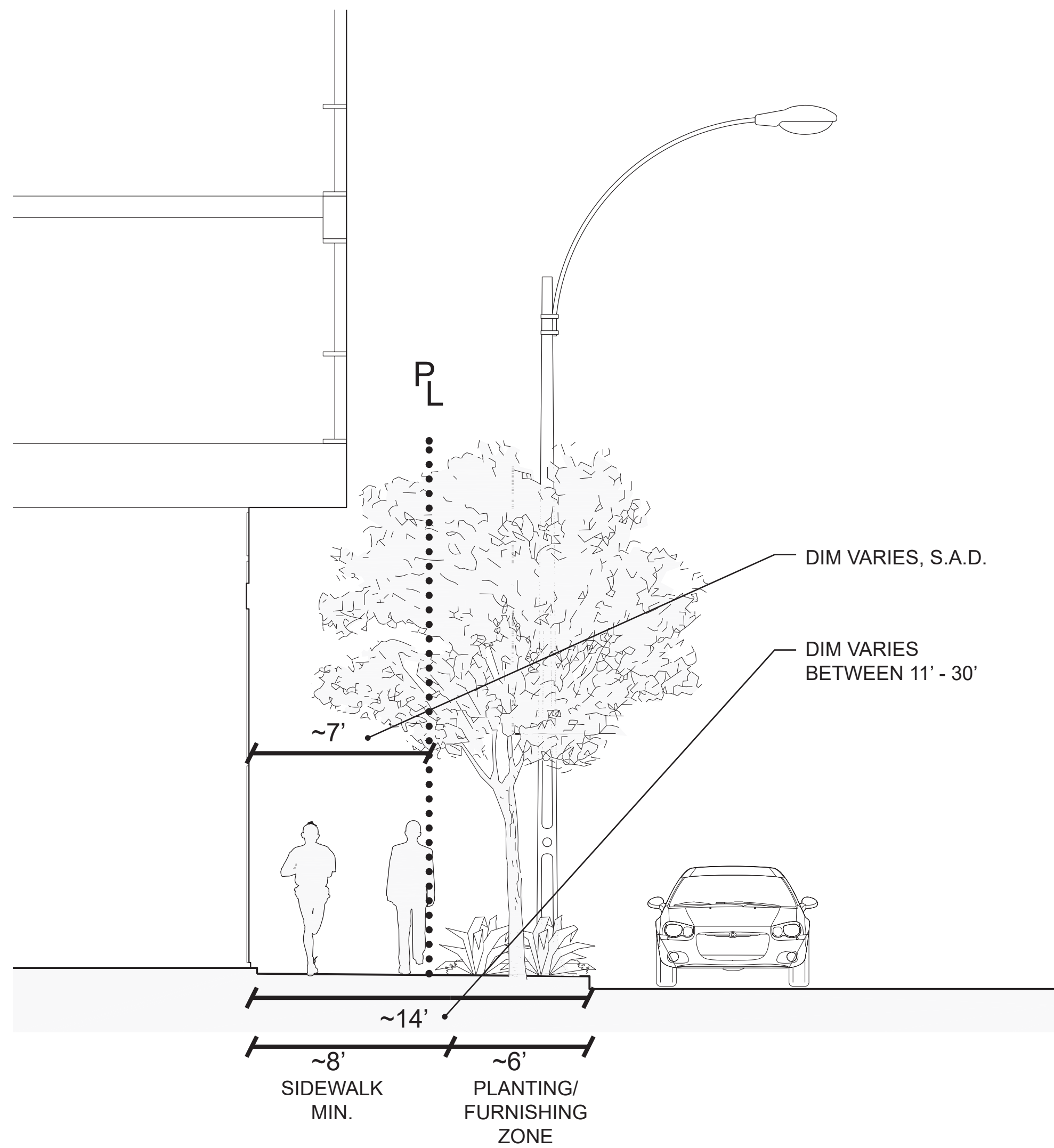
1" = 8'-0"



EAST ALLEY AND PODIUM ROOF GARDEN SECTION

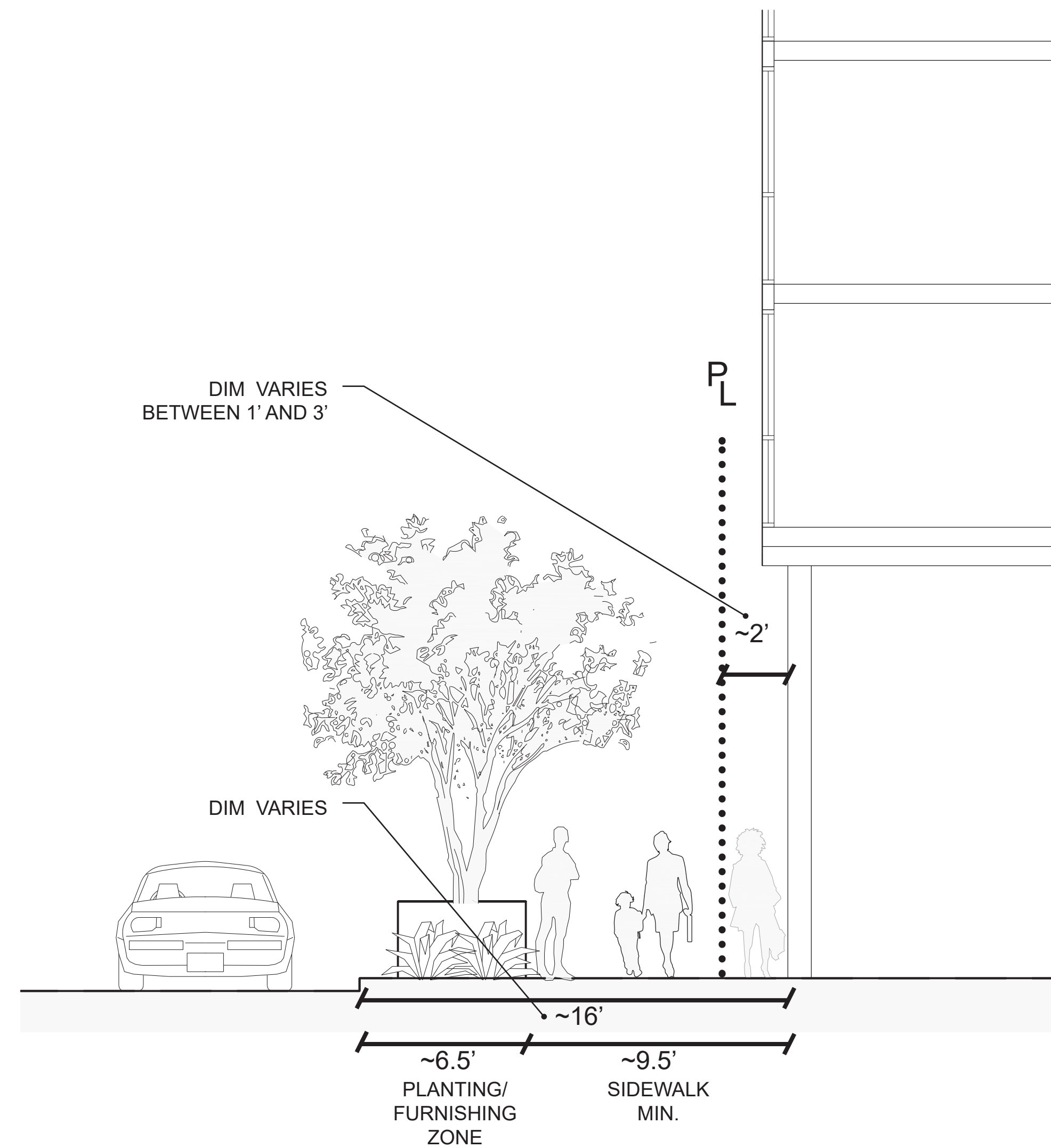
1" = 8'-0"





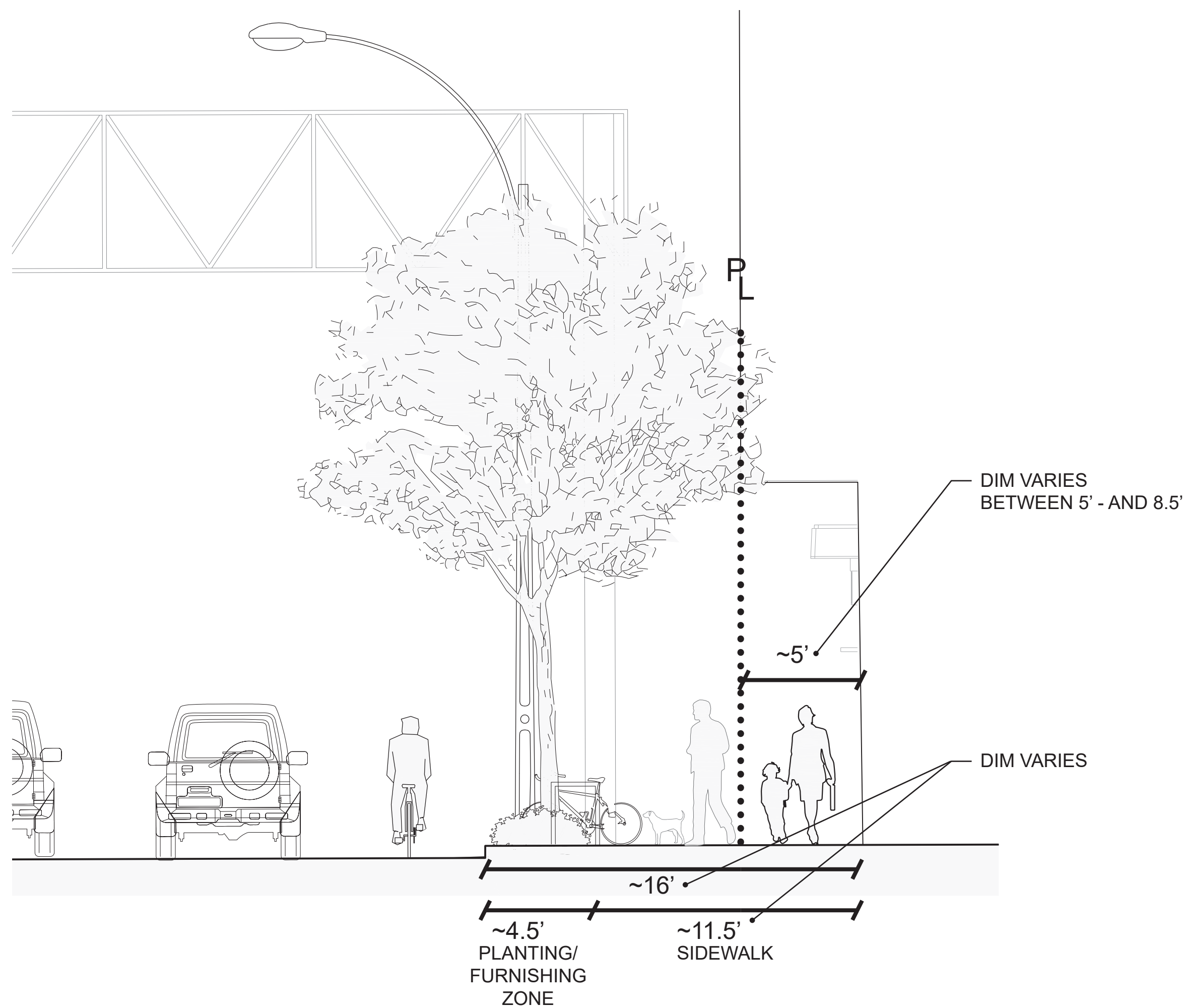
UNION ST. SIDEWALK SECTION AT TOWER

1" = 4'-0"



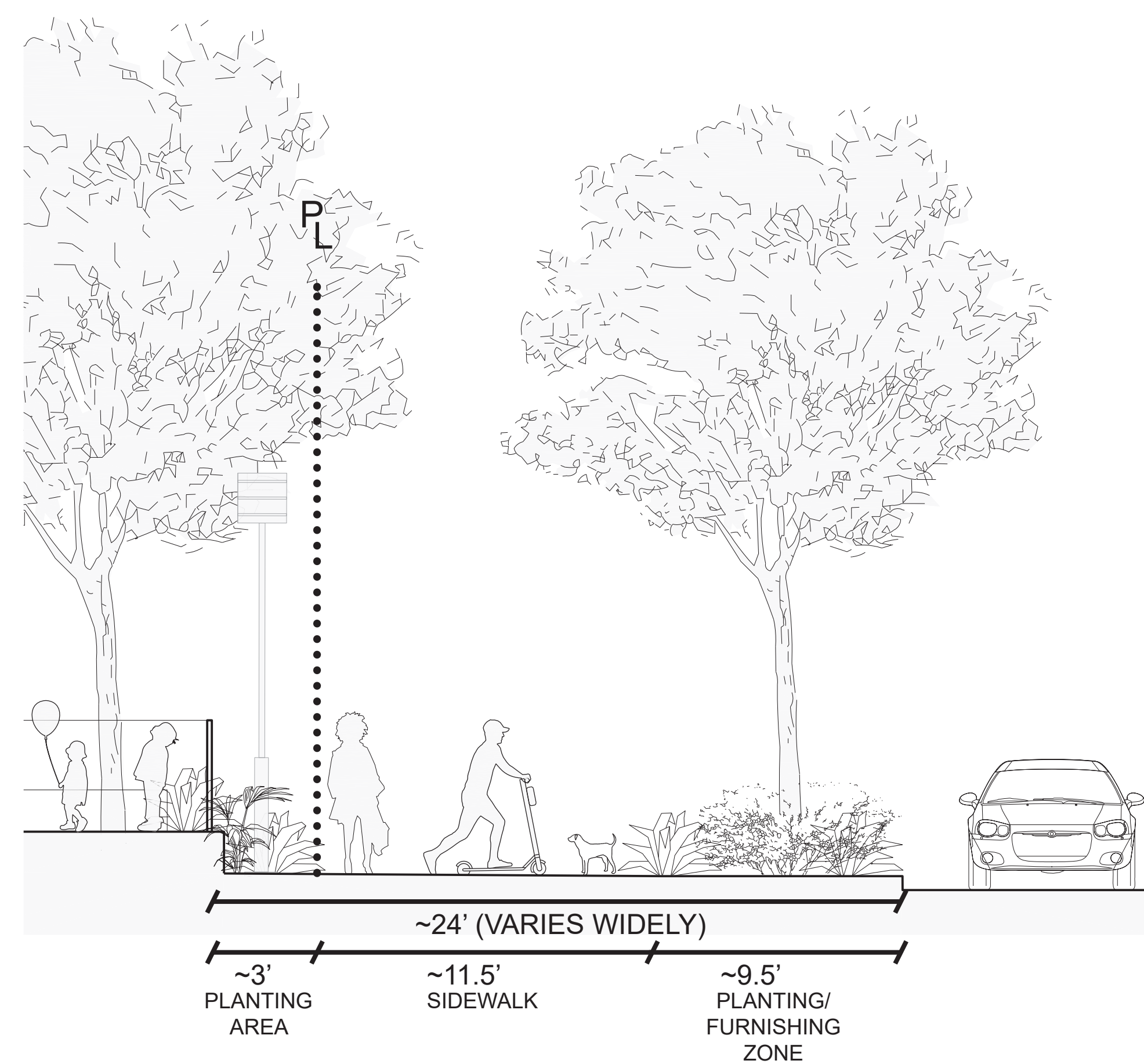
KIRKHAM ST. SIDEWALK SECTION

1" = 4'-0"



7th ST. SIDEWALK SECTION AT BUILDING ONE

1" = 4'-0"



5TH ST. SIDEWALK SECTION

1" = 4'-0"

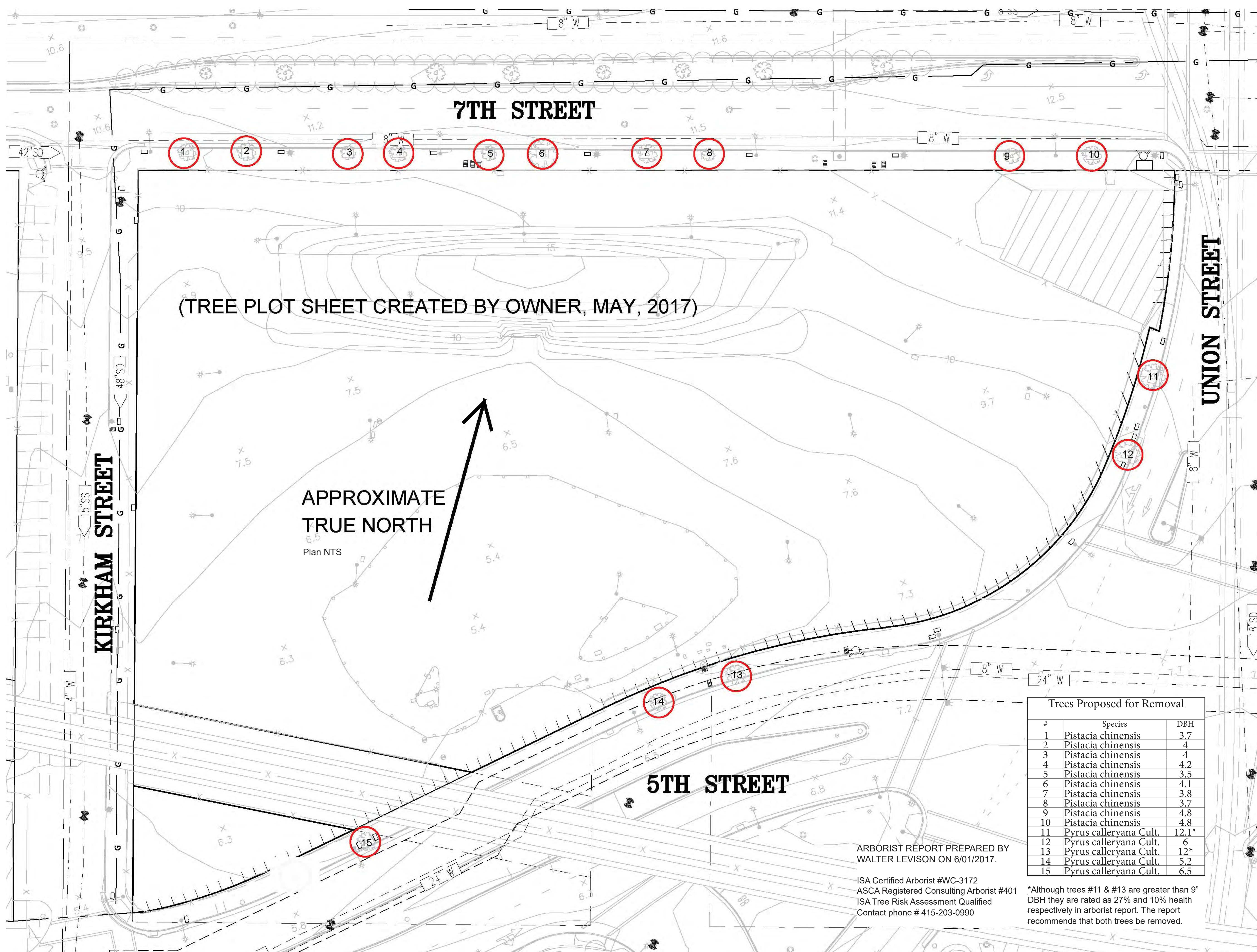
**SHEET NOTES:**

1. SIDEWALK WIDTH AND DISTANCE FROM BUILDING TO PROPERTY LINE VARIES THROUGHOUT THE SITE. SEE ARCHITECTURE PLANS.

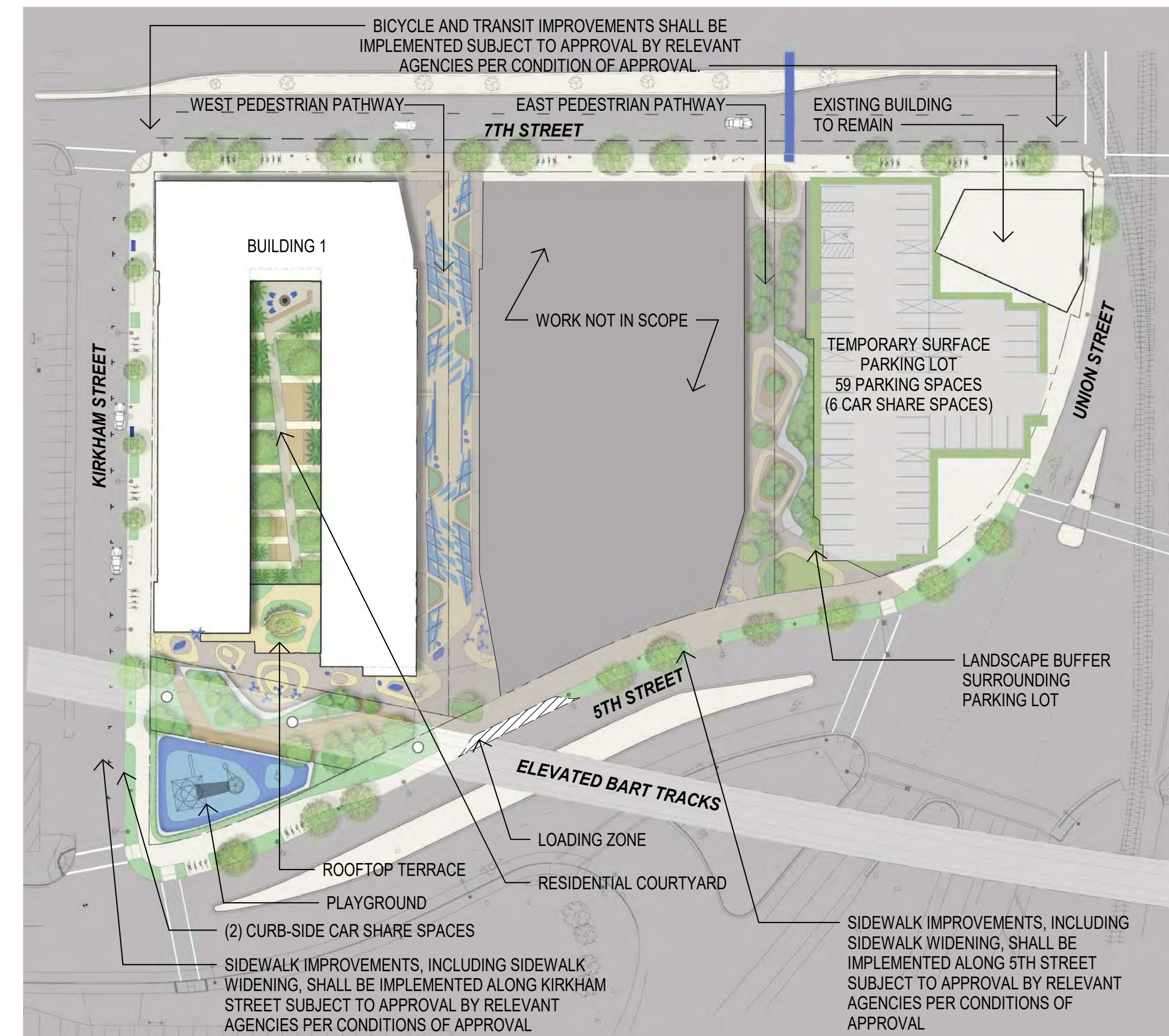
1. TREE WELLS ARE A MINIMUM OF 6'X4' WIDE AND COMPLY WITH CITY STANDARDS.

2. ALL BIKE RACKS LAYED OUT IN SITE FURNISHING ZONES COMPLY WITH CITY OF OAKLAND MINIMUM CLEARANCE STANDARDS.

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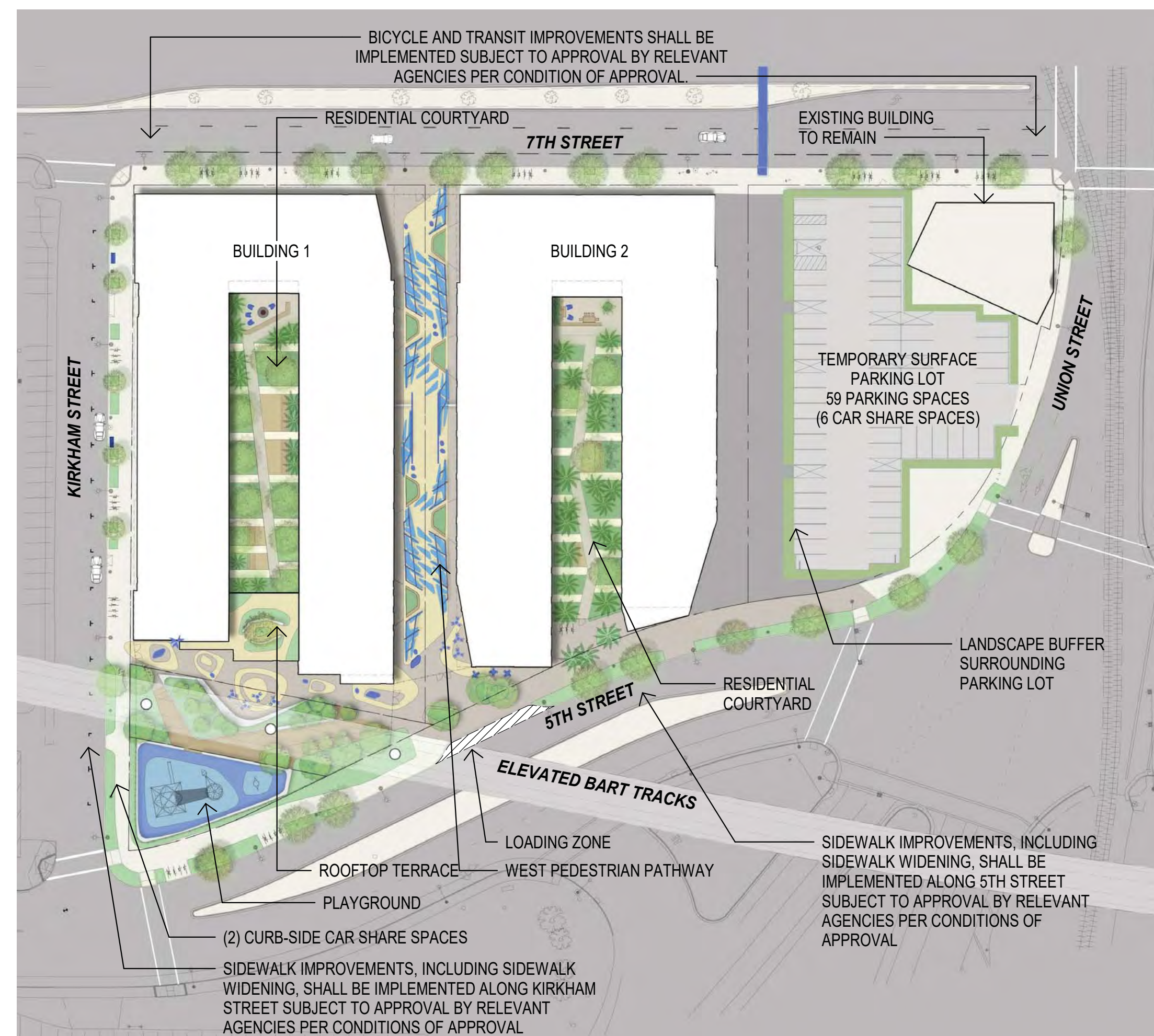


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FDP 1 DIAGRAM

1



FDP 2 DIAGRAM

2



FDP 3 DIAGRAM

3

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BUILDING DELIVERY - FDP 1 ①



BUILDING DELIVERY - FDP 2 ②



BUILDING DELIVERY - FDP 3 ③

7TH STREET  
PRINCIPAL STREET

SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG KIRKHAM STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITIONS OF APPROVAL

BICYCLE AND TRANSIT IMPROVEMENTS SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

BICYCLE AND TRANSIT IMPROVEMENTS SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITION OF APPROVAL.

RESIDENTIAL LOADING AREA (N) CURB CUT FOR RESIDENTIAL TRASH STAGING PICK-UP, S.C.D.

(N) CURB CUT FOR RETAIL TRASH STAGING PICK-UP, S.C.D.

(N) TWO STREET CAR SHARE SPACES, EXACT LOCATIONS TO BE DETERMINED BY INTERDEPARTMENTAL CITY REVIEW

WEST PEDESTRIAN PATHWAY  
SECURITY GATE, OPEN DURING HOURS OF OPERATION

FDP 2  
BUILDING 2

EAST PEDESTRIAN PATHWAY  
SECURITY GATE, OPEN DURING HOURS OF OPERATION

FDP 3  
BUILDING 3

GARAGE LOADING: SERVES TOWER AND EAST ALLEY  
COMMERCIAL LOADING & RESIDENTIAL LOADING AREA

GARAGE ENTRANCE (N) CURB CUT, S.C.D.

GAS METERS

SAFETY TREATMENTS TO BE ADDED AT THE INTERSECTION PER THE CITY OF OAKLAND INPUT

(N) CURB EXTENSION, S.C.D.

DOG PARK WILL BE OPEN TO THE PUBLIC FROM 7AM TO 9PM PURSUANT TO THE CONDITIONS OF APPROVAL, S.L.D.  
SECURITY GATE, OPEN DURING HOURS OF OPERATION

SECURITY GATE/FENCE

SIDEWALK IMPROVEMENTS, INCLUDING SIDEWALK WIDENING, SHALL BE IMPLEMENTED ALONG 5TH STREET SUBJECT TO APPROVAL BY RELEVANT AGENCIES PER CONDITIONS OF APPROVAL

SECURITY GATE, OPEN DURING HOURS OF OPERATION






(N) REMOVEABLE BOLLARD, S.C.D.

(N) CURB LOADING ZONE

(N) CURB CUT, S.C.D.

(N) FENCED AREA, S.L.D.

LEGEND

-  ACCESS FOR HANDCARTS, PALLET TRUCKS, DOLLIES
-  RESIDENTIAL LOADING PATH
-  AUTO LOADING PATH
-  CURBSIDE LOADING ZONE TO SERVE TENANT SPACES
-  OFF-STREET LOADING TO SERVE RESIDENTIAL AND FLEX COMMERCIAL TENANT SPACES (BLDG 3 PARKING GARAGE ONLY)

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PLANNING RESUBMITTAL	07.03.19

LOADING DIAGRAM

1

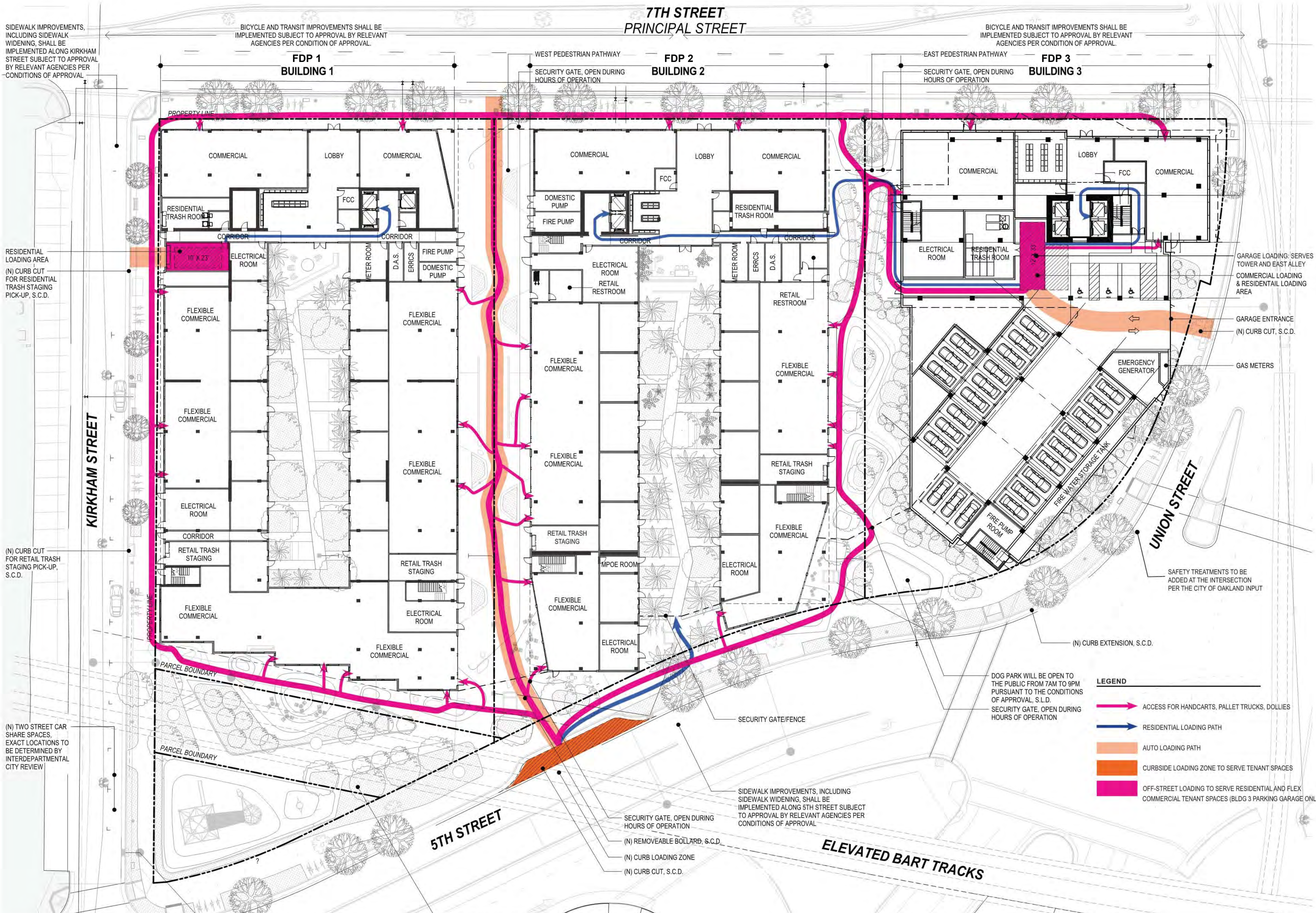
0' 10' 20' 40'

1

LOADING  
DIAGRAM

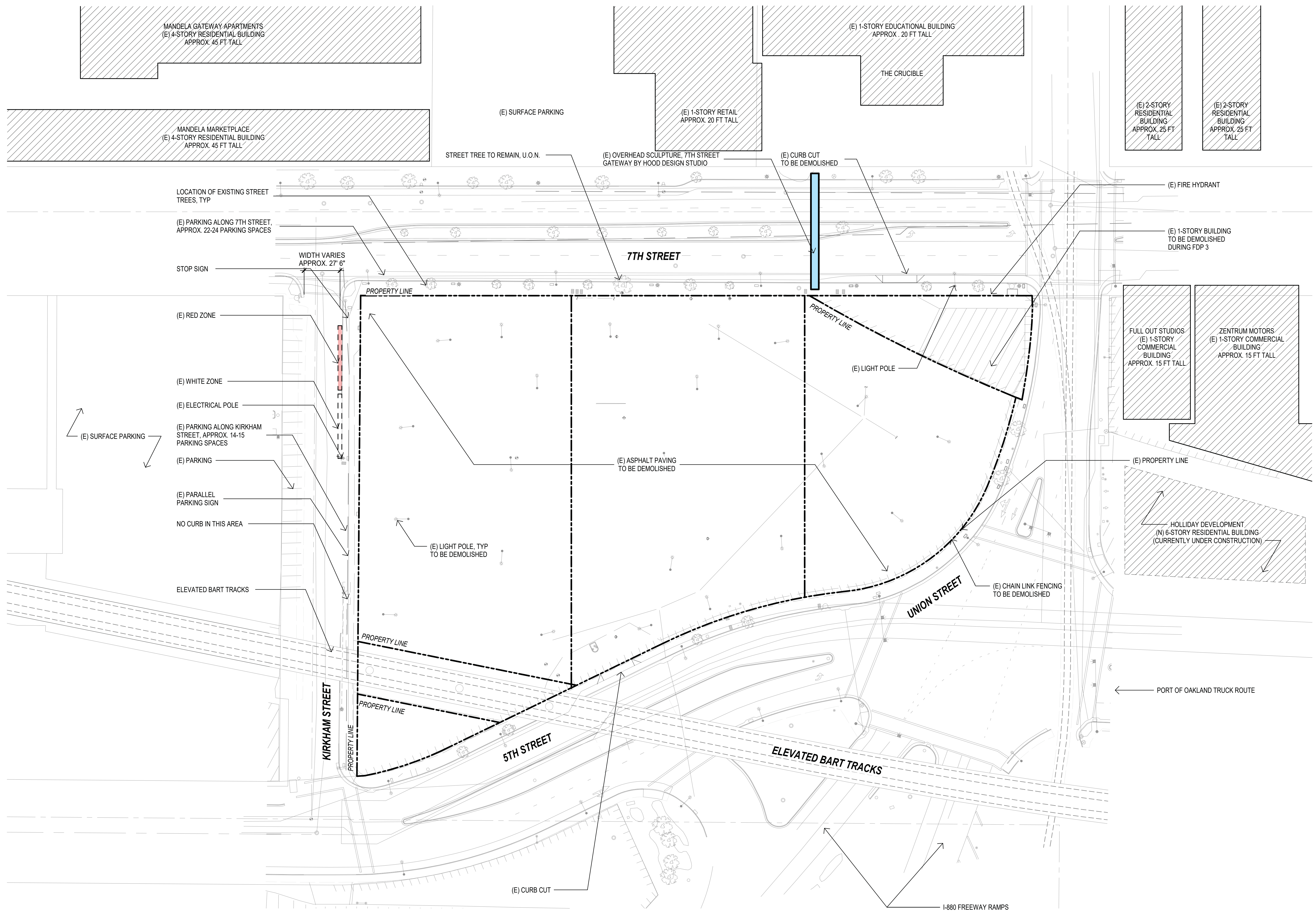
A0.2

500 KIRKHAM  
500 KIRKHAM STREET  
OAKLAND, CA 94607









MANDELA GATEWAY APARTMENTS  
(E) 4-STORY RESIDENTIAL BUILDING  
APPROX. 45 FT TALL

MANDELA MARKETPLACE  
(E) 4-STORY RESIDENTIAL BUILDING  
APPROX. 45 FT TALL

(E) 1-STORY EDUCATIONAL BUILDING  
APPROX. 20 FT TALL

THE CRUCIBLE

(E) 1-STORY RETAIL  
APPROX. 20 FT TALL

(E) 2-STORY  
RESIDENTIAL  
BUILDING  
APPROX. 25 FT  
TALL

(E) 2-STORY  
RESIDENTIAL  
BUILDING  
APPROX. 25 FT  
TALL

LOCATION OF EXISTING STREET  
TREES, TYP

(E) PARKING ALONG 7TH STREET,  
APPROX. 22-24 PARKING SPACES

STOP SIGN

WIDTH VARIES  
APPROX. 27' 6"

**7TH STREET**

(E) FIRE HYDRANT

(E) 1-STORY BUILDING  
TO BE DEMOLISHED  
DURING FDP 3

FULL OUT STUDIOS  
(E) 1-STORY  
COMMERCIAL  
BUILDING  
APPROX. 15 FT TALL

ZENTRUM MOTORS  
(E) 1-STORY COMMERCIAL  
BUILDING  
APPROX. 15 FT TALL

(E) RED ZONE

(E) WHITE ZONE

(E) ELECTRICAL POLE

(E) SURFACE PARKING

(E) PARKING ALONG KIRKHAM  
STREET, APPROX. 14-15  
PARKING SPACES

(E) PARKING

(E) PARALLEL  
PARKING SIGN

NO CURB IN THIS AREA

ELEVATED BART TRACKS

(E) ASPHALT PAVING  
TO BE DEMOLISHED

(E) LIGHT POLE, TYP  
TO BE DEMOLISHED

(E) PROPERTY LINE

HOLLIDAY DEVELOPMENT  
(N) 6-STORY RESIDENTIAL BUILDING  
(CURRENTLY UNDER CONSTRUCTION)

**UNION STREET**

(E) CHAIN LINK FENCING  
TO BE DEMOLISHED

← PORT OF OAKLAND TRUCK ROUTE

**5TH STREET**

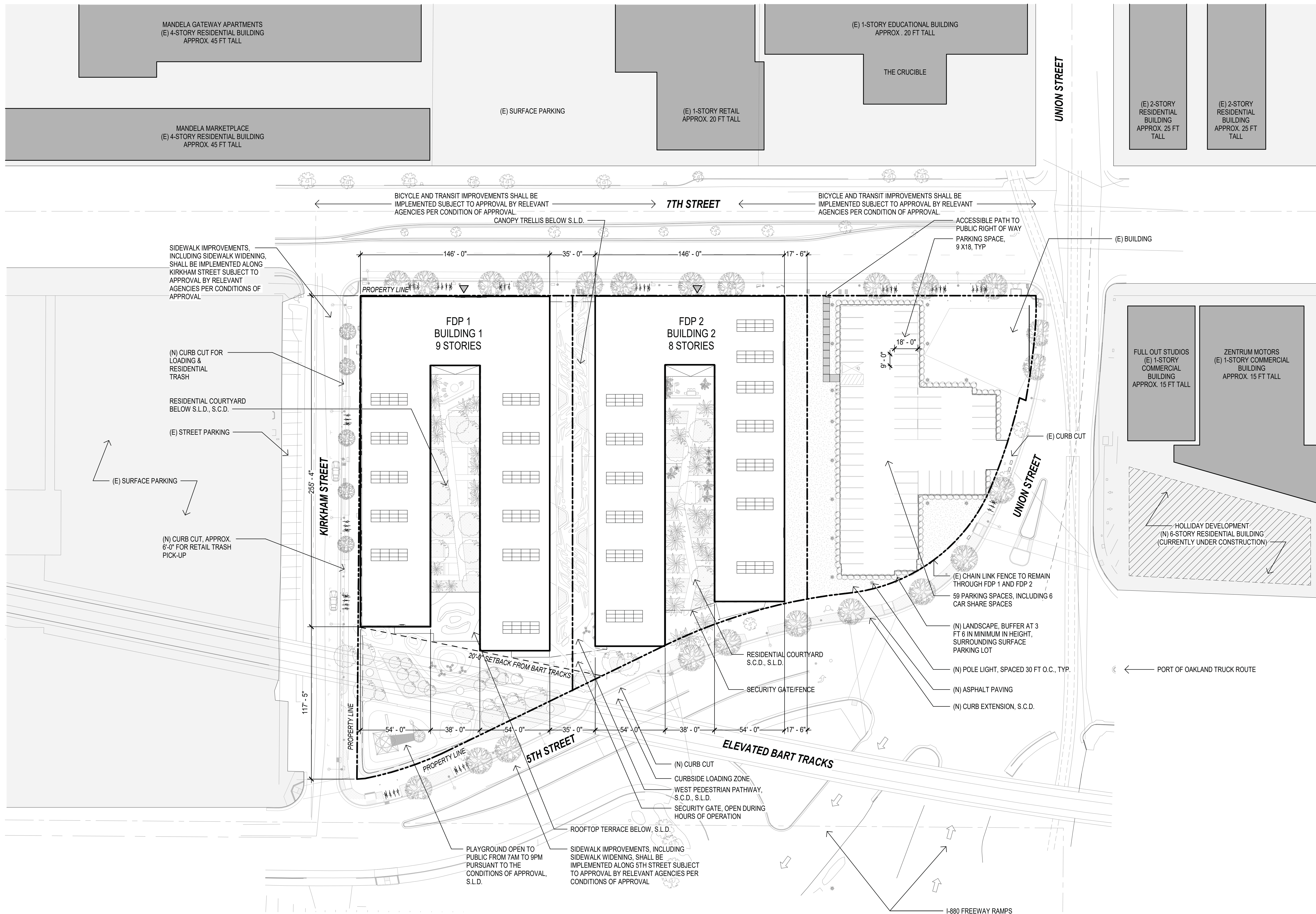
**ELEVATED BART TRACKS**

(E) CURB CUT

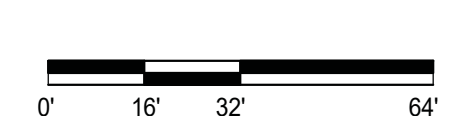
I-880 FREEWAY RAMPS

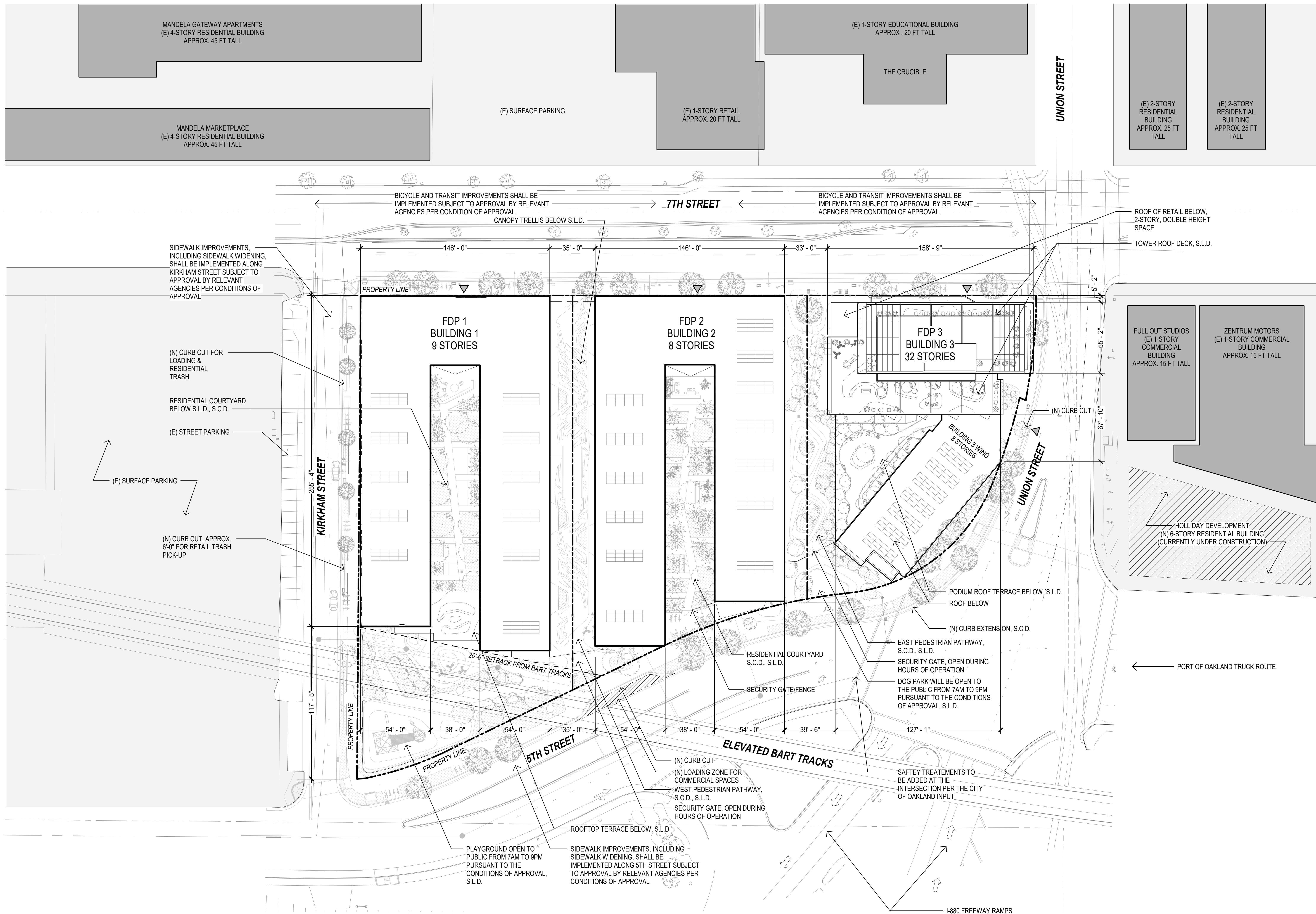
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**SITE PLAN** ①  
1/32" = 1'-0"





**500 KIRKHAM**  
 500 KIRKHAM STREET  
 OAKLAND, CA 94607

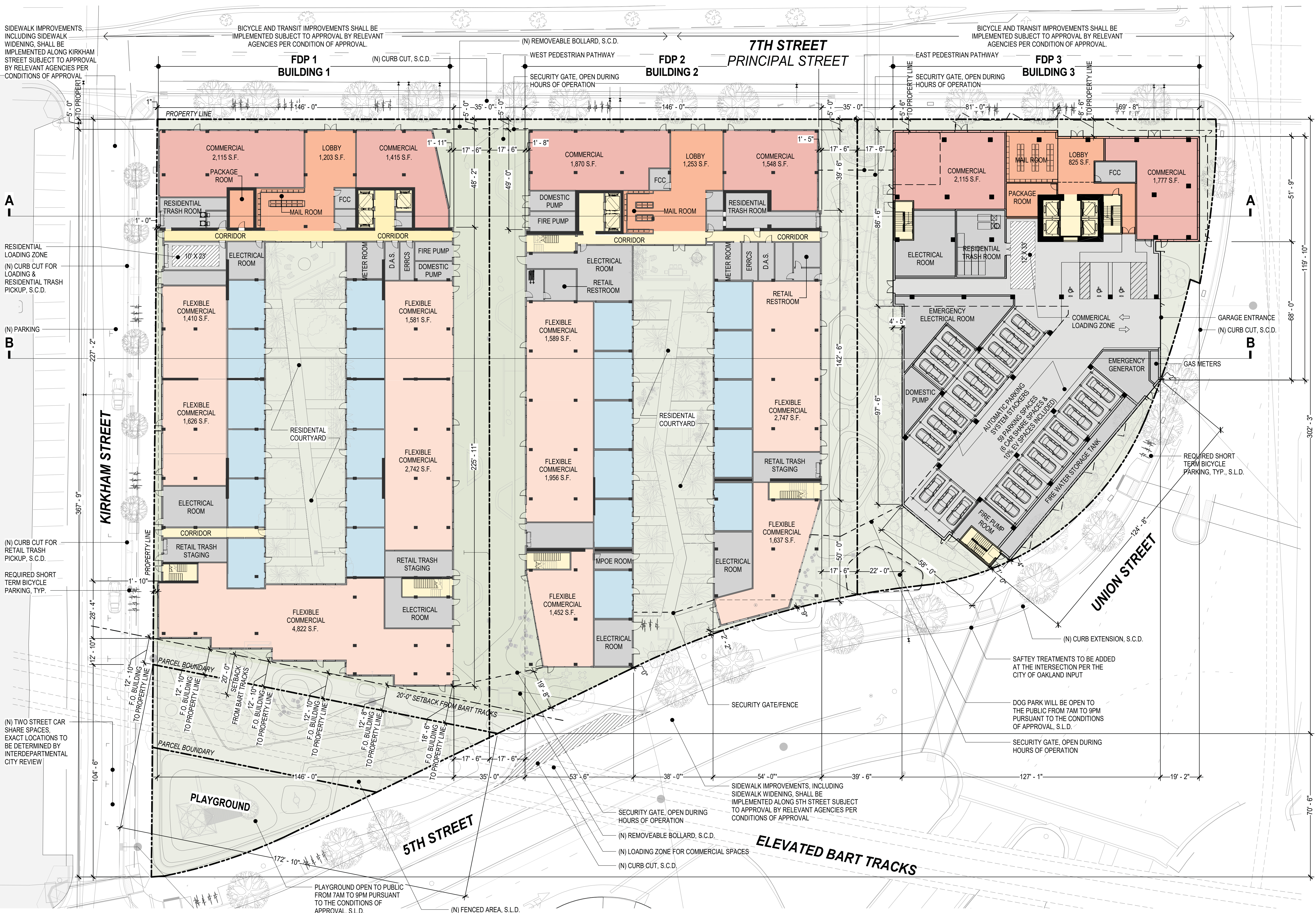
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**FDP 3  
 OVERALL SITE  
 PLAN**

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**500 KIRKHAM**  
 500 KIRKHAM STREET  
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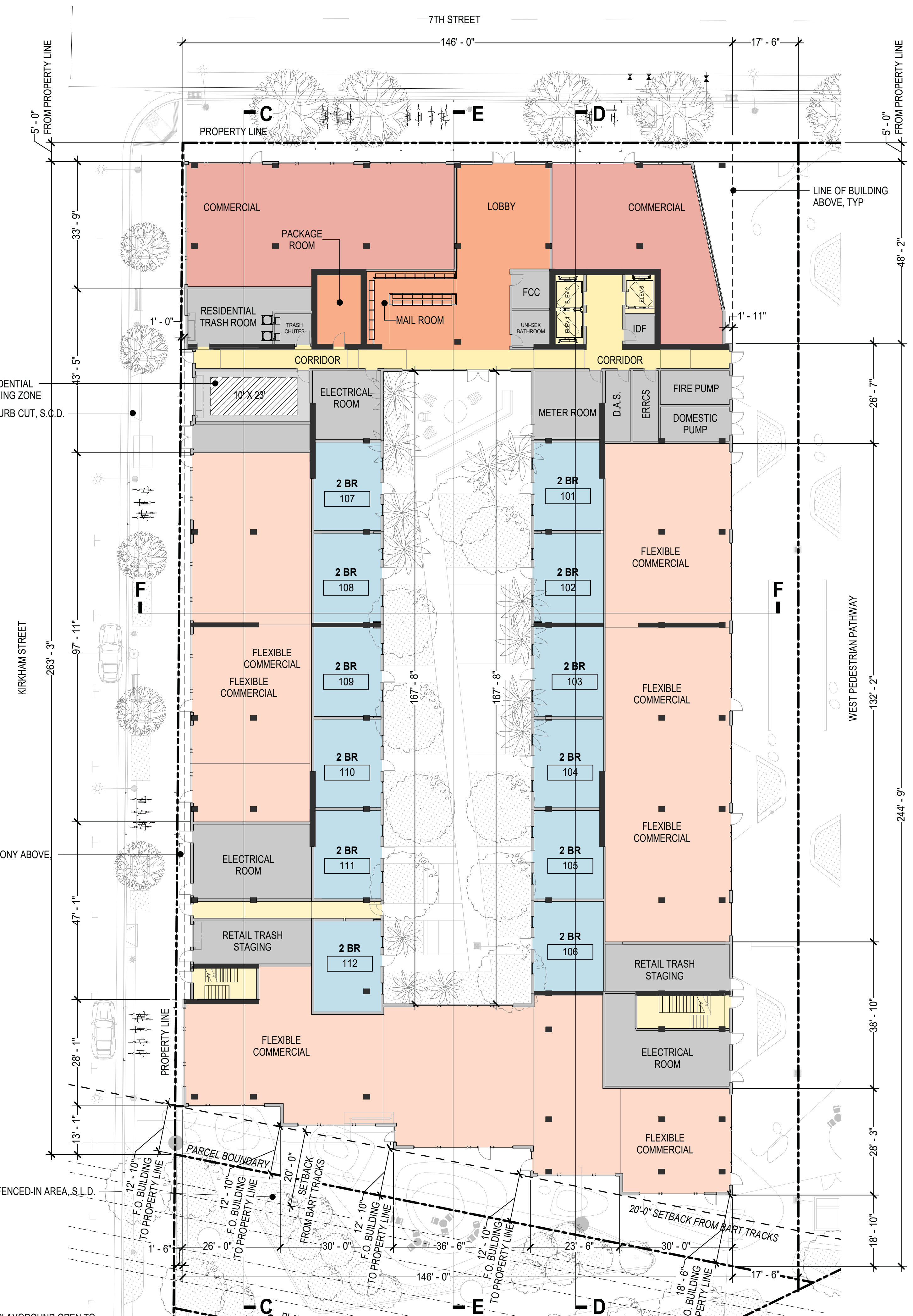
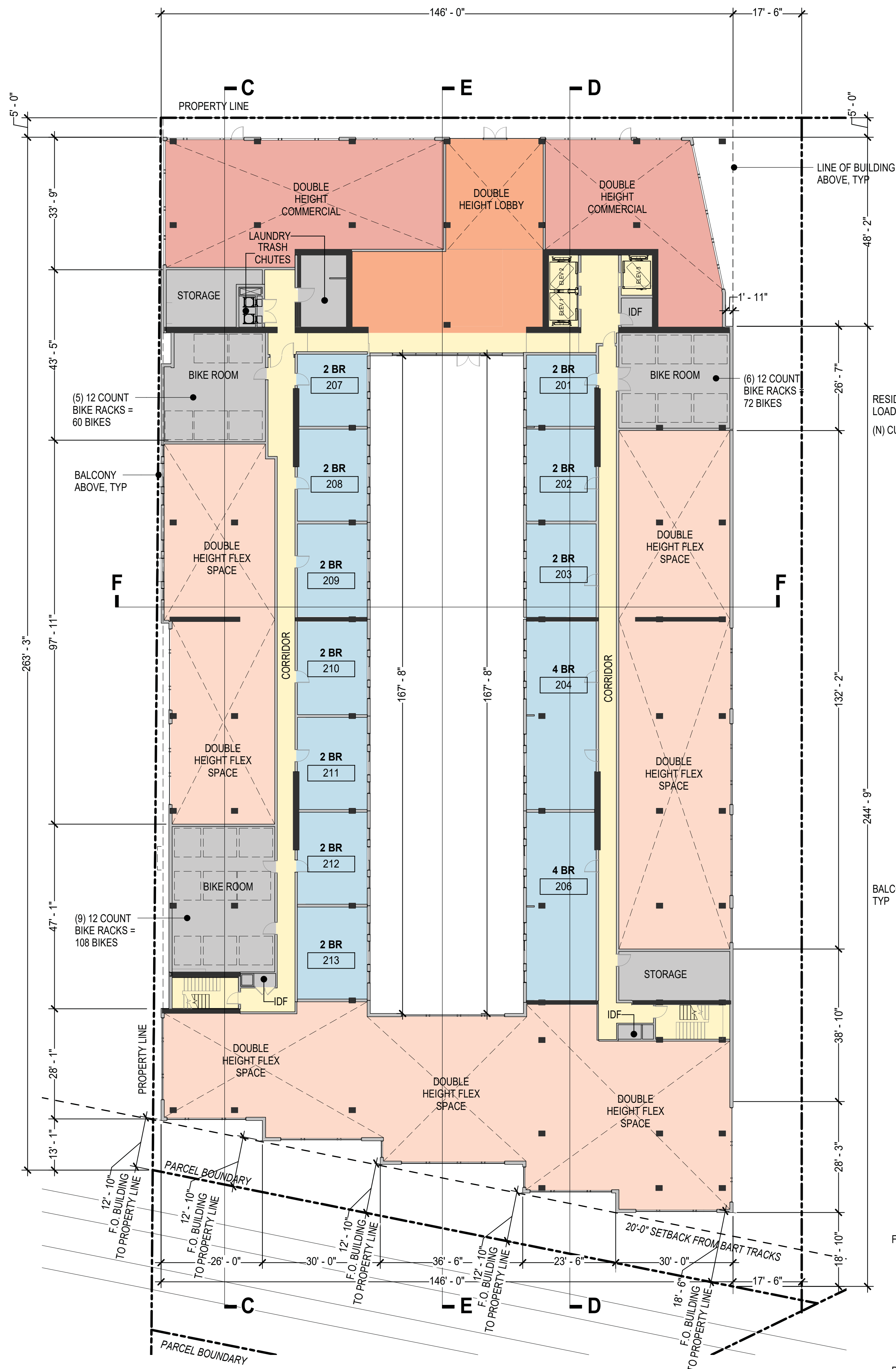
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**OVERALL PLAN FLOOR 1**

**OVERALL PLAN FLOOR 1**  
 1" = 20'-0"



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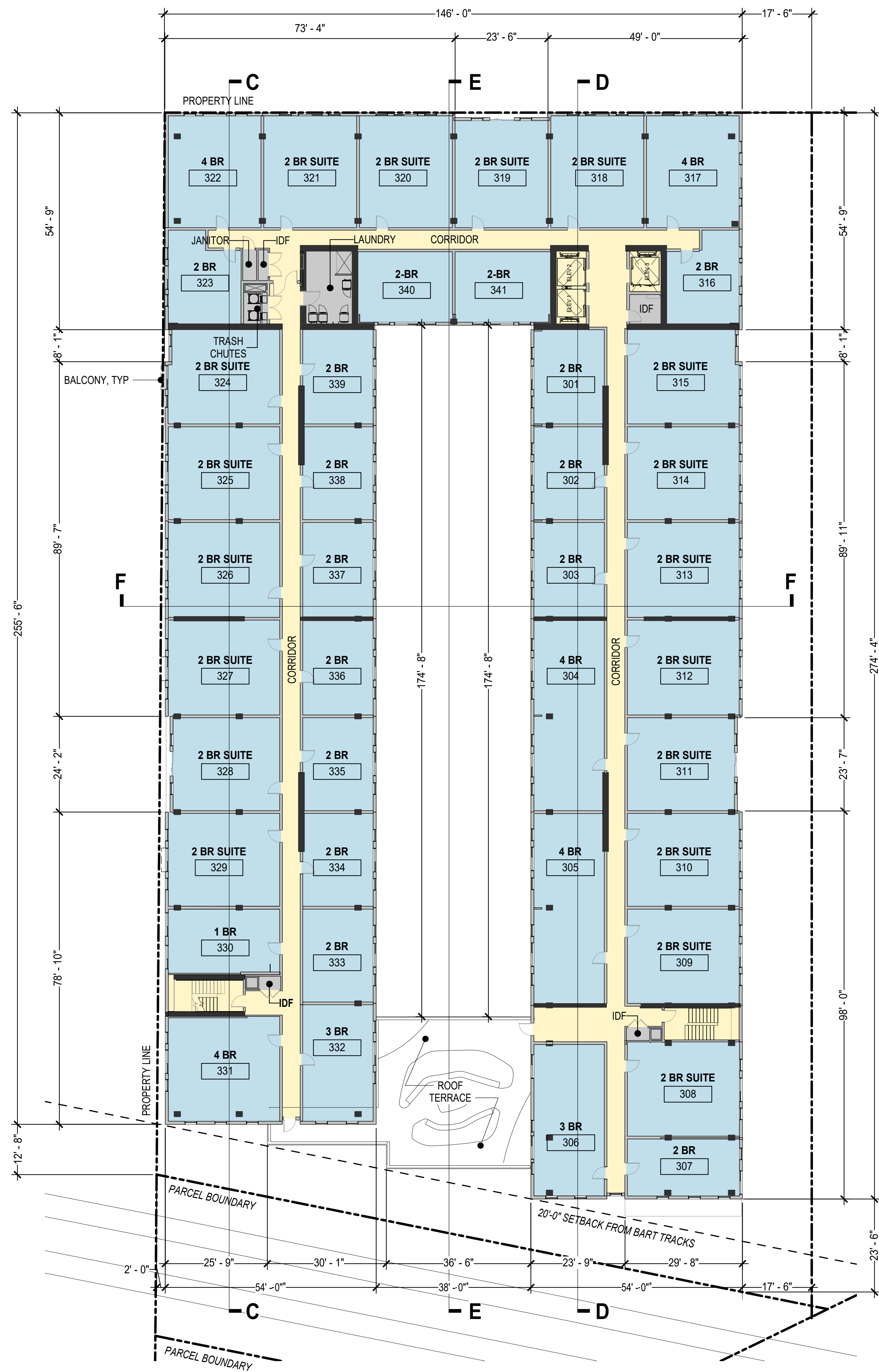


PLAYGROUND OPEN TO PUBLIC FROM 7AM TO 9PM PURSUANT TO THE CONDITIONS OF APPROVAL, S.L.D.



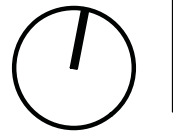
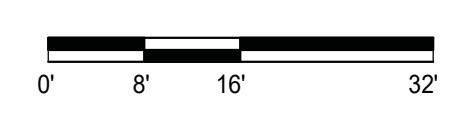


**BUILDING 1 FLOORS 4 - 9**  
1/16" = 1'-0" **3**

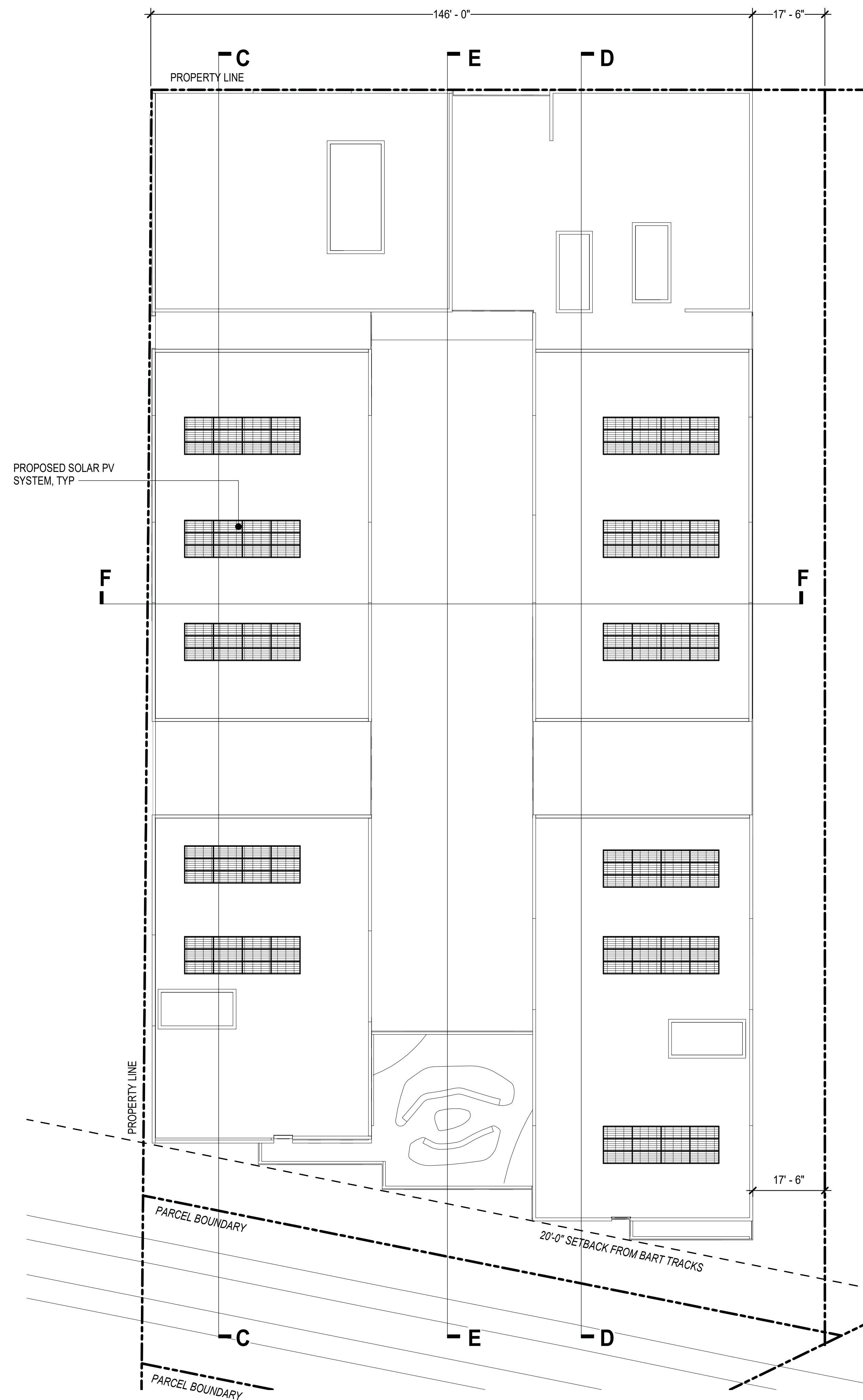


**BUILDING 1 FLOOR 3**  
1/16" = 1'-0" **1**

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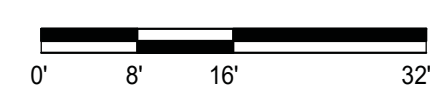


PROPOSED SOLAR PV SYSTEM, TYP

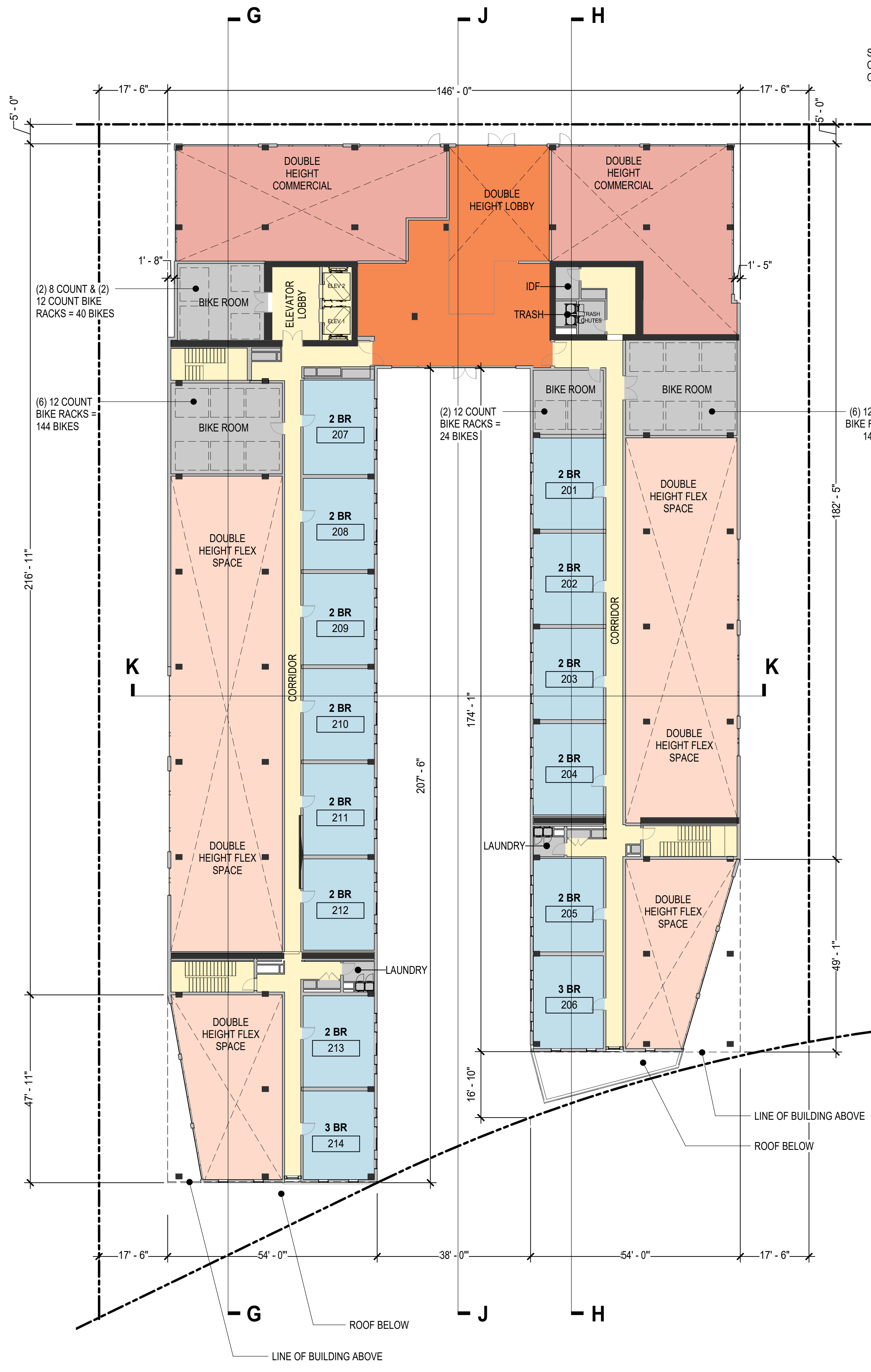
**BUILDING 1 ROOF**

1/16" = 1'-0"

1







**BUILDING 2 FLOOR 2**  
1/16" = 1'-0" **2**

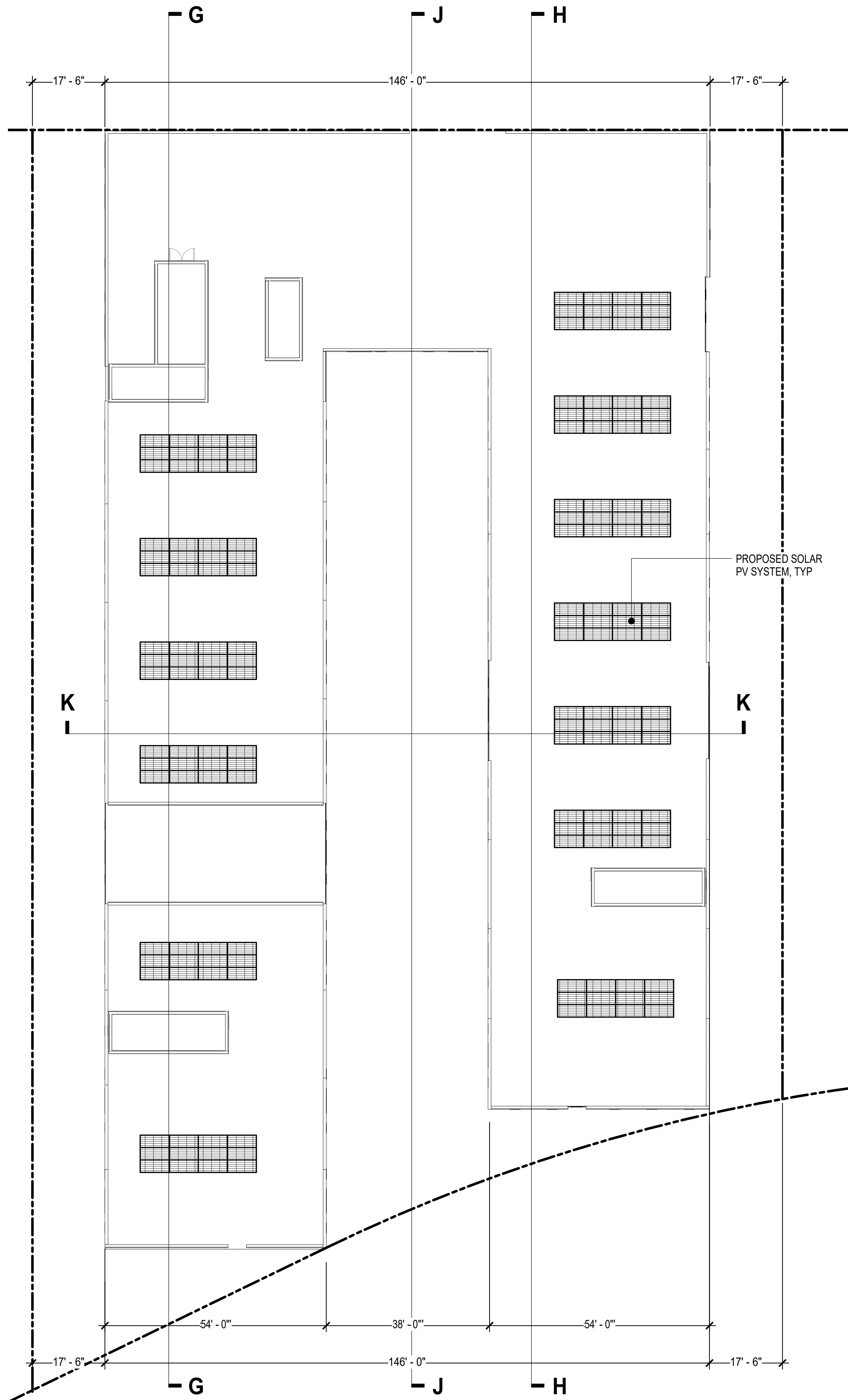


**BUILDING 2 FLOOR 1**  
1/16" = 1'-0" **1**

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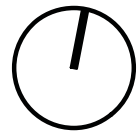
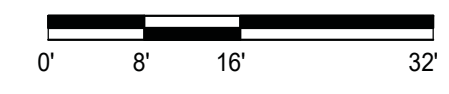
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**BUILDING 2 ROOF**  
1/16" = 1'-0" **2**



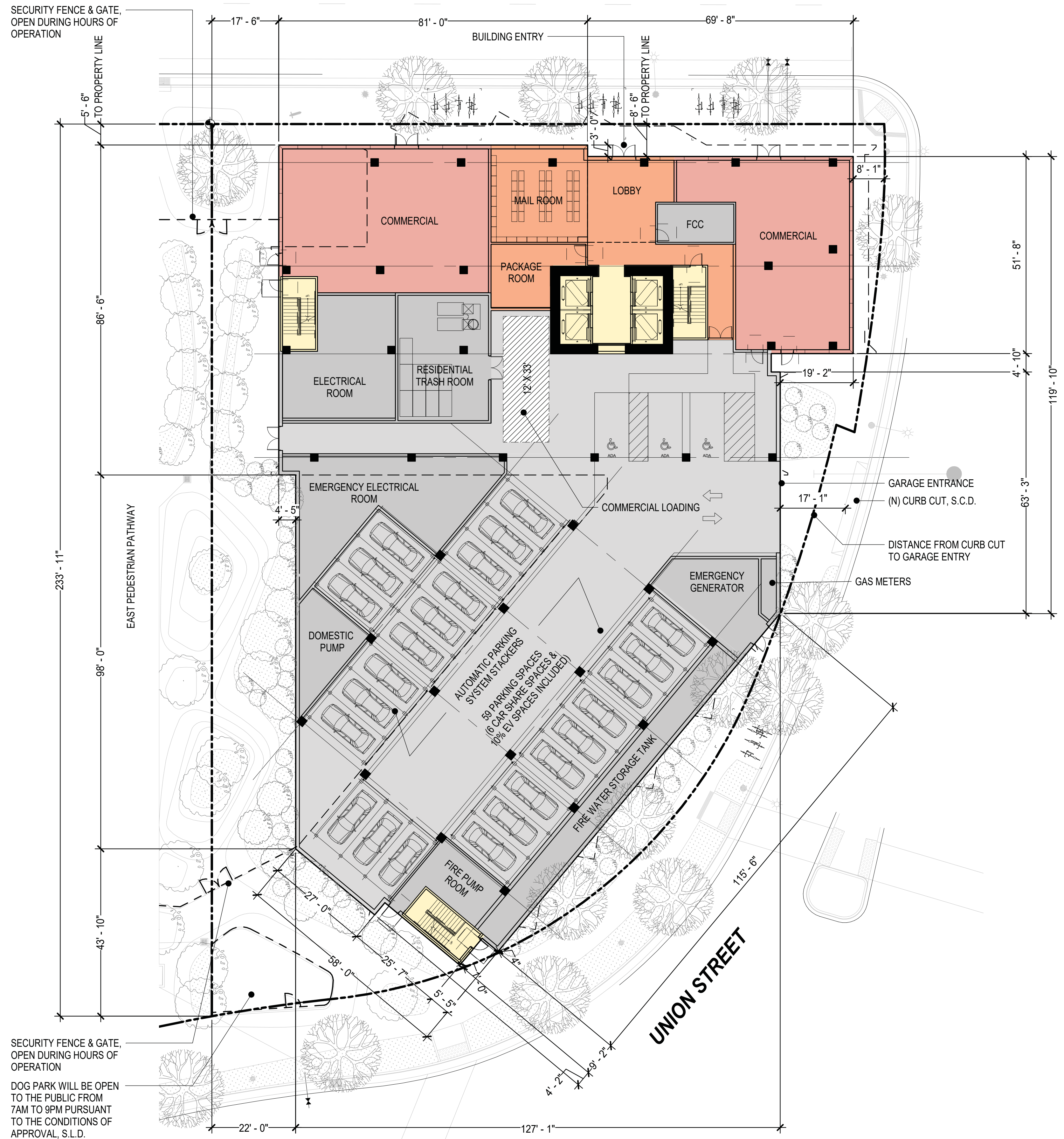
**BUILDING 2 FLOOR 3-8 AND ROOF**  
1/16" = 1'-0" **1**



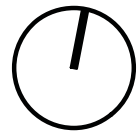
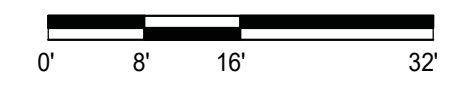
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**BUILDING 3 MEZZANINE** ②  
1/16" = 1'-0"



**BUILDING 3 FLOOR 1** ①  
1/16" = 1'-0"



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FDP 3  
BUILDING 3  
FLOOR 2 - 8 &  
FLOOR 9 - 32

**A2.6**



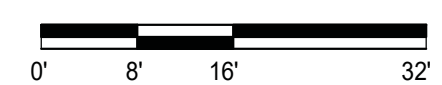
BUILDING 3 FLOOR 9 - 32  
1/16" = 1'-0"

2



BUILDING 3 FLOOR 2 - 8  
1/16" = 1'-0"

1

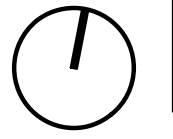
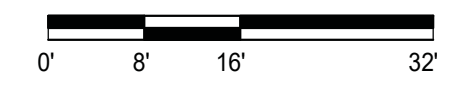




**BUILDING 3 ROOF TERRACE**

1/16" = 1'-0"

1



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**FDP 3**  
**BUILDING 3**  
**ROOF PLAN**

**A2.7**



**MATERIAL BOARD**

1. FACING BRICK AT STOREFRONT
2. VISION GLASS, E-GL-2 – Guardian SunGuard SuperNeutral 68 on Ultraclear or similar
3. VISION GLASS, E-GL-1 – Guardian SunGuard SNR 43 on Clear or similar
4. ACCENT CANOPIES & SIGNAGE
5. VERTICAL PLANK CEMENTITIOUS SIDING; BLENDING TEXTURES
6. METAL ACCENTS & REVEALS; WINDOW FRAME & BALCONY RAILS
7. MECHANICAL PENTHOUSE SCREEN
8. METAL PANEL SIDING & FRAMING ELEMENTS
9. UNITIZED WINDOW WALL + METAL PANEL, E-Win-01 – Quest Ecowall + Shift Grid or similar
10. WOOD ACCENTS

3/64" = 1' 0" @ 36" x 24"

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**NORTH**  
**ELEVATION**

**A3.0**



**MATERIAL BOARD**

1. FACING BRICK AT STOREFRONT
2. VISION GLASS, E-GL-2 – Guardian SunGuard SuperNeutral 68 on Ultraclear or similar
3. VISION GLASS, E-GL-1 – Guardian SunGuard SNR 43 on Clear or similar
4. ACCENT CANOPIES & SIGNAGE
5. VERTICAL PLANK CEMENTITIOUS SIDING; BLENDING TEXTURES
6. METAL ACCENTS & REVEALS; WINDOW FRAME & BALCONY RAILS
7. MECHANICAL PENTHOUSE SCREEN
8. METAL PANEL SIDING & FRAMING ELEMENTS
9. UNITIZED WINDOW WALL + METAL PANEL, E-Win-01 – Quest Ecowall + Shift Grid or similar
10. WOOD ACCENTS

3/64" = 1' 0" @ 36" x 24"

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WEST  
ELEVATION

**MATERIAL BOARD**

1. FACING BRICK AT STOREFRONT
2. VISION GLASS, E-GL-2 – Guardian SunGuard SuperNeutral 68 on Ultraclear or similar
3. VISION GLASS, E-GL-1 – Guardian SunGuard SNR 43 on Clear or similar
4. ACCENT CANOPIES & SIGNAGE
5. VERTICAL PLANK CEMENTITIOUS SIDING; BLENDING TEXTURES
6. METAL ACCENTS & REVEALS; WINDOW FRAME & BALCONY RAILS
7. MECHANICAL PENTHOUSE SCREEN
8. METAL PANEL SIDING & FRAMING ELEMENTS
9. UNITIZED WINDOW WALL + METAL PANEL, E-Win-01 – Quest Ecowall + Shift Grid or similar
10. WOOD ACCENTS



3/64" = 1' 0" @ 36" x 24"

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500 KIRKHAM STREET  
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**SOUTH**  
**ELEVATION**

**A3.2**





CREATORS OF CITYSPACES

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3/4" = 1' 0" @ 36" x 24"



**MATERIAL BOARD**

- FACING BRICK AT STOREFRONT
- VISION GLASS, E-GL-2 – Guardian SunGuard SuperNeutral 68 on Ultraclear or similar
- VISION GLASS, E-GL-1 – Guardian SunGuard SNR 43 on Clear or similar
- ACCENT CANOPIES & SIGNAGE
- VERTICAL PLANK CEMENTITIOUS SIDING; BLENDING TEXTURES.
- METAL ACCENTS & REVEALS; WINDOW FRAME & BALCONY RAILS.
- MECHANICAL PENTHOUSE SCREEN
- METAL PANEL SIDING & FRAMING ELEMENTS.
- UNITIZED WINDOW WALL + METAL PANEL, E-Win-01 – Quest Ecowall + Shift Grid or similar
- WOOD ACCENTS

Visible Light				Solar Heat Gain		Light to
Transmittance	Reflect Out	Reflect In	U-Value	Coefficient	Solar Gain	Solar Gain
43%	28%	14%	.29	.23	1.89	

**SNR 43**  
ON CLEAR - 6 mm/12.7 mm/6 mm

**SuperNeutral® 68**  
ON ULTRACLEAR™ - 6 mm/12.7 mm/6 mm

Visible Light				Solar Heat Gain		Light to
Transmittance	Reflect Out	Reflect In	U-Value	Coefficient	Solar Gain	Solar Gain
71%	11%	13%	.29	.39	1.80	

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MATERIAL BOARD

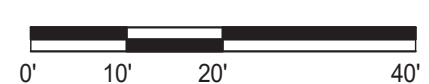
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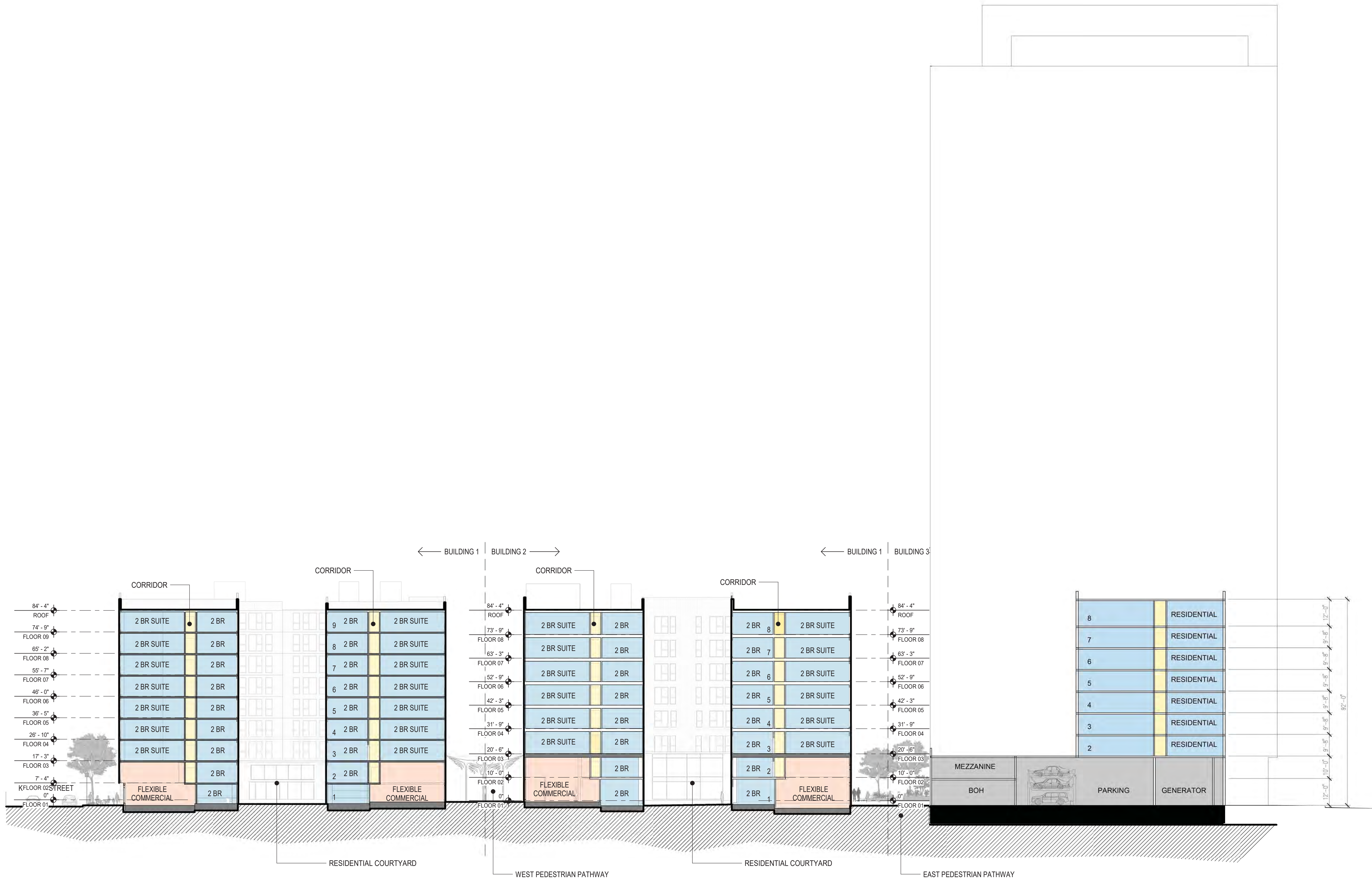


**SITE SECTION A-A**

1" = 20'-0"

1



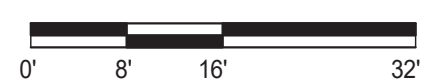


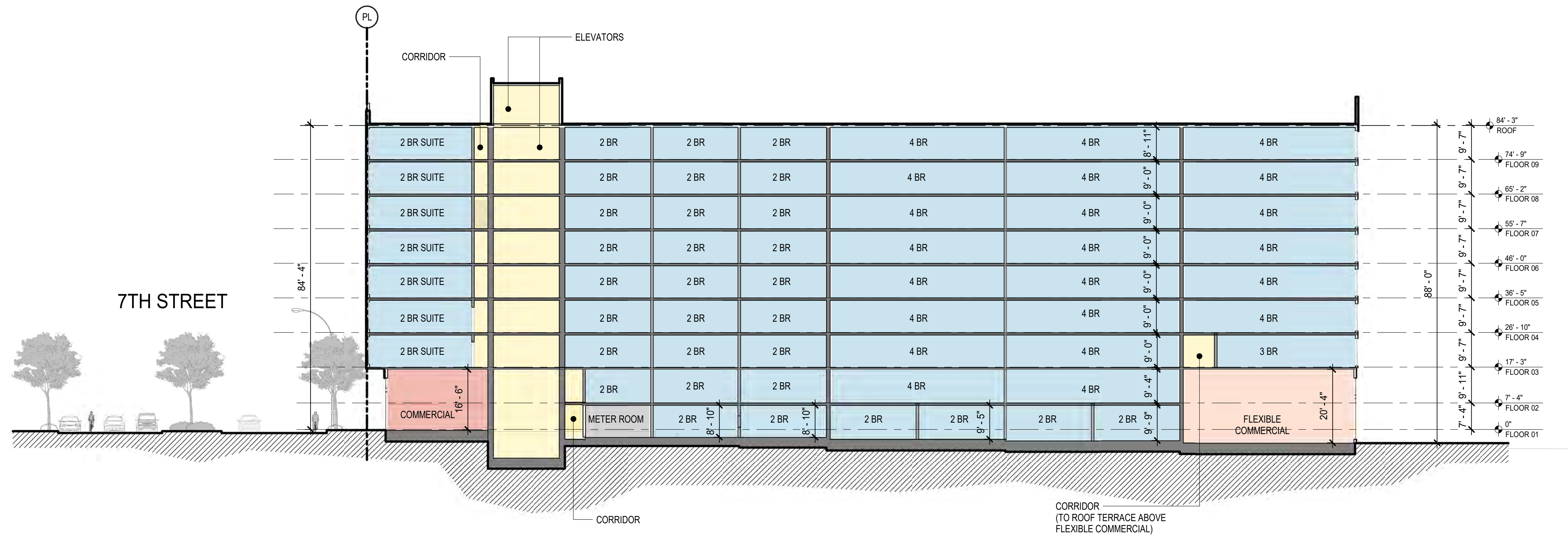
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PLANNING RESUBMITTAL	07.03.19

**SITE SECTION B-B**

1" = 20'-0"

1

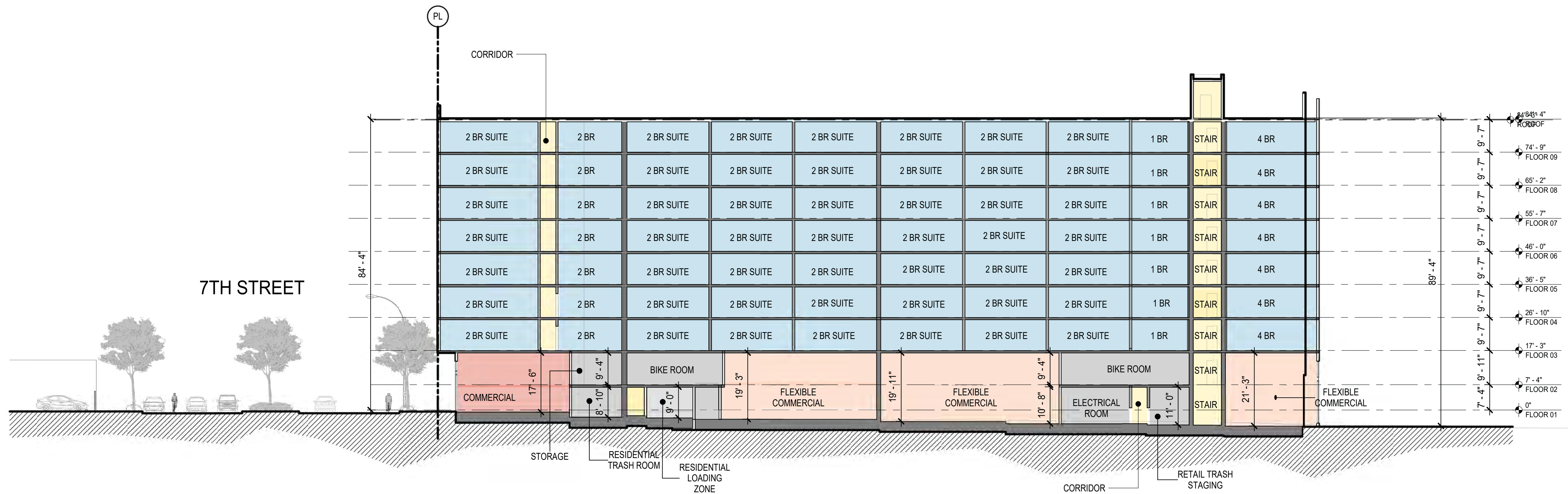




**BUILDING 1 SECTION D-D**

1/16" = 1'-0"

2



**BUILDING 1 SECTION C-C**

1/16" = 1'-0"

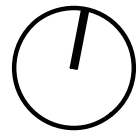
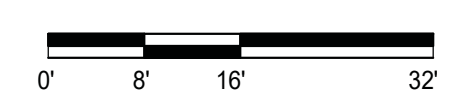
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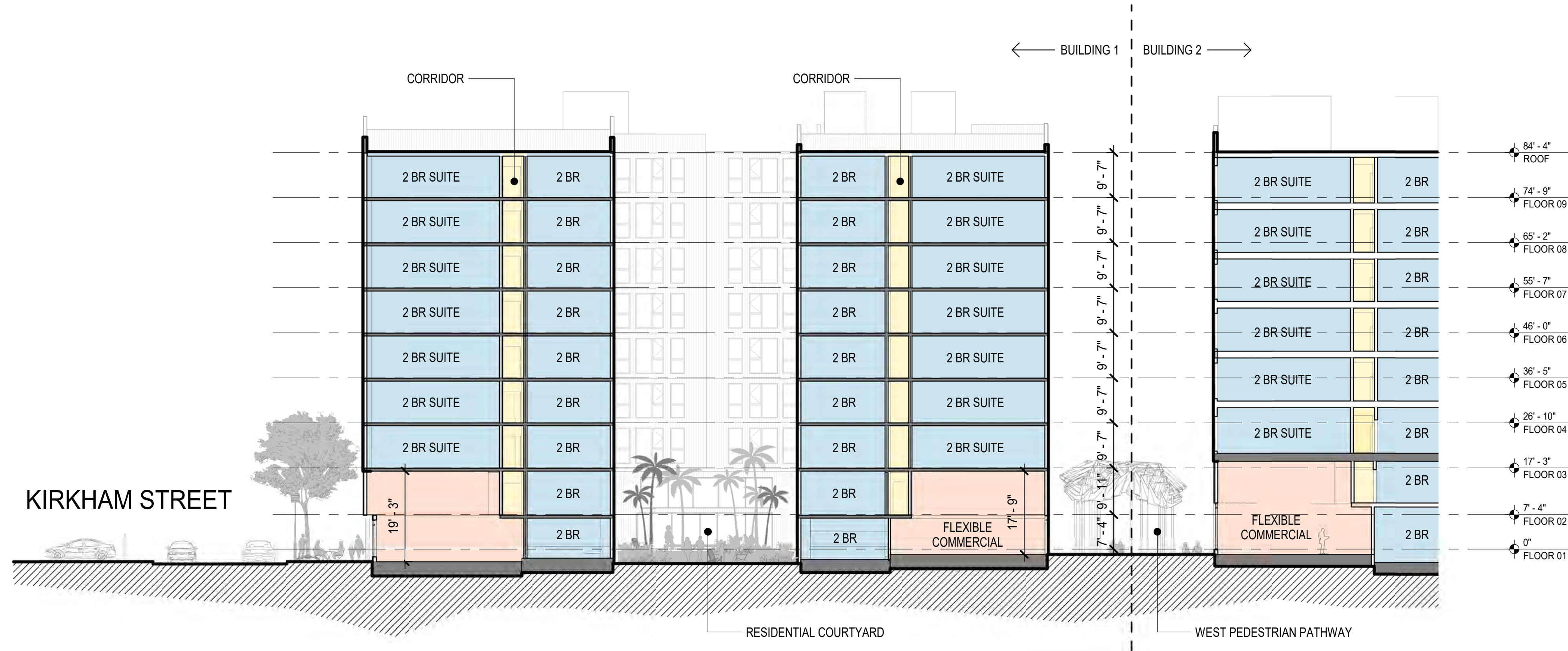
**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

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PLANNING RESUBMITTAL	05.02.19
PLANNING RESUBMITTAL	07.03.19

FDP 1  
BUILDING 1  
SECTIONS

**A4.2**

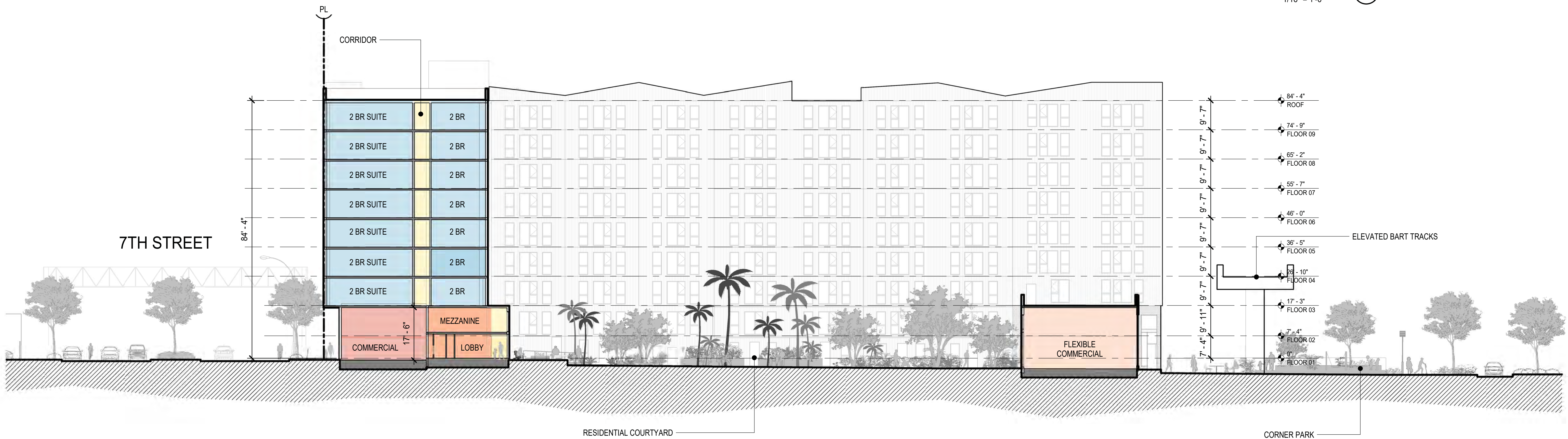




**BUILDING 1 SECTION F-F**

1/16" = 1'-0"

2



**BUILDING 1 SECTION E-E**

1/16" = 1'-0"

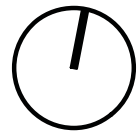
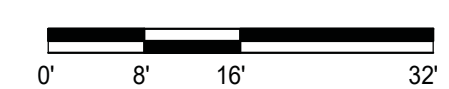
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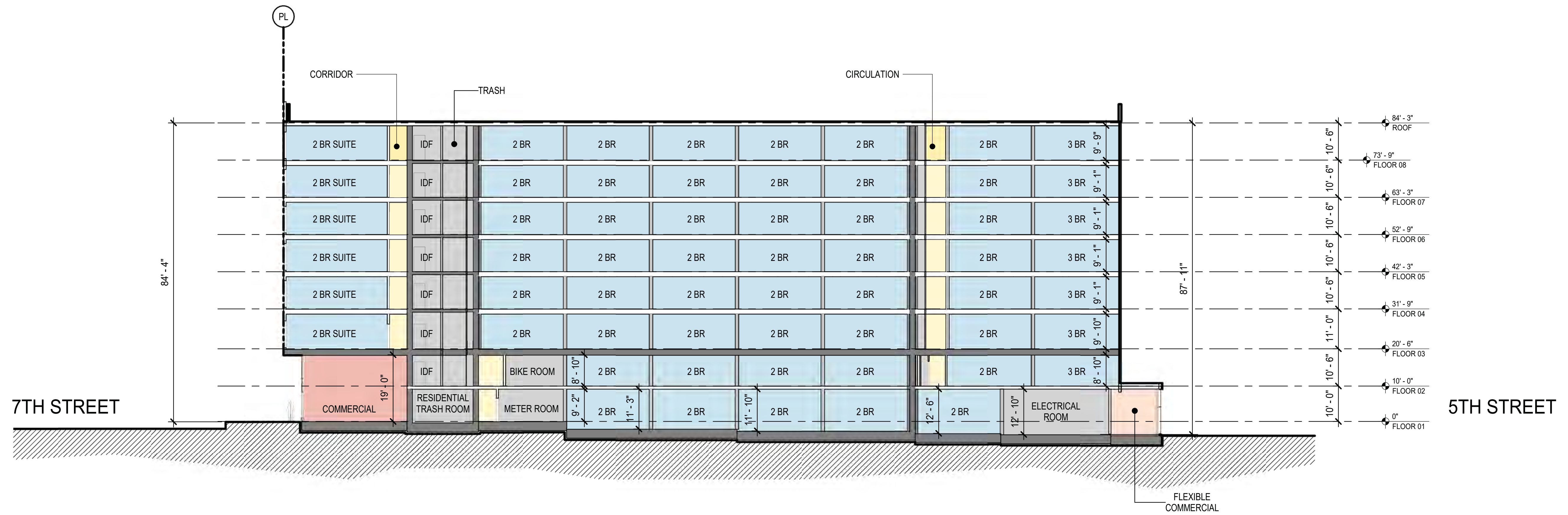
**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

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PLANNING RESUBMITTAL	05.02.19
PLANNING RESUBMITTAL	07.03.19

FDP 1  
BUILDING 1  
SECTIONS

**A4.3**

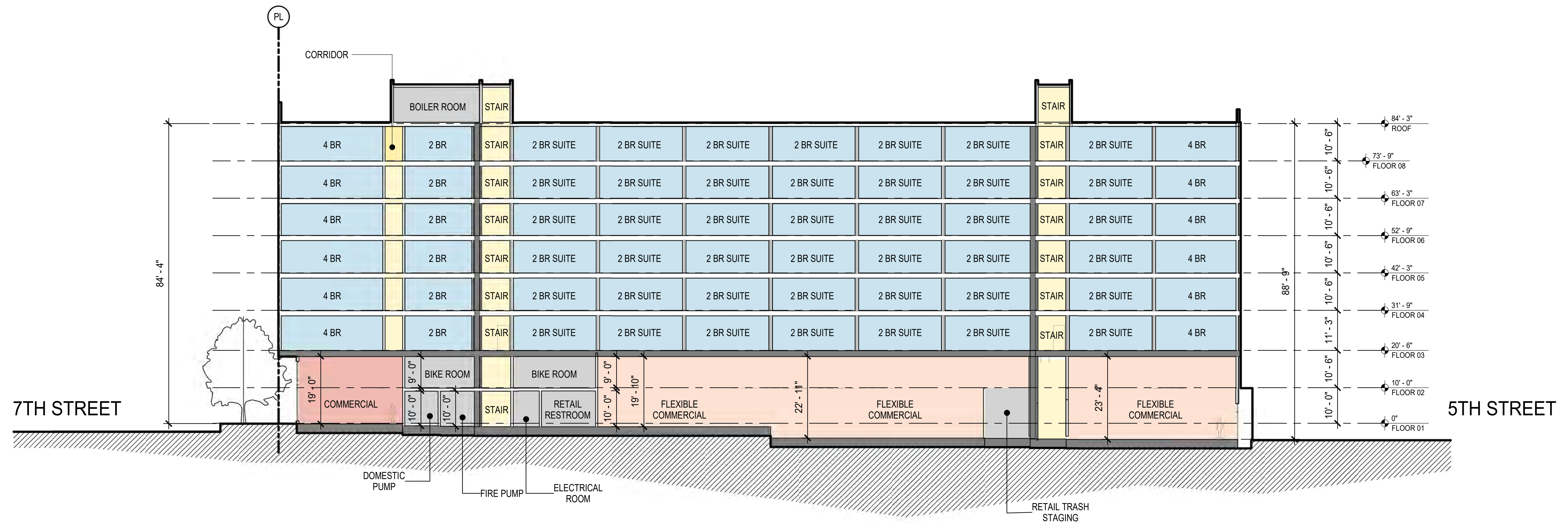




**BUILDING 2 SECTION H-H**

1/16" = 1'-0"

2

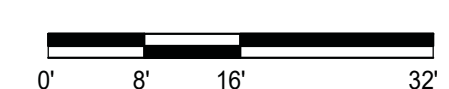


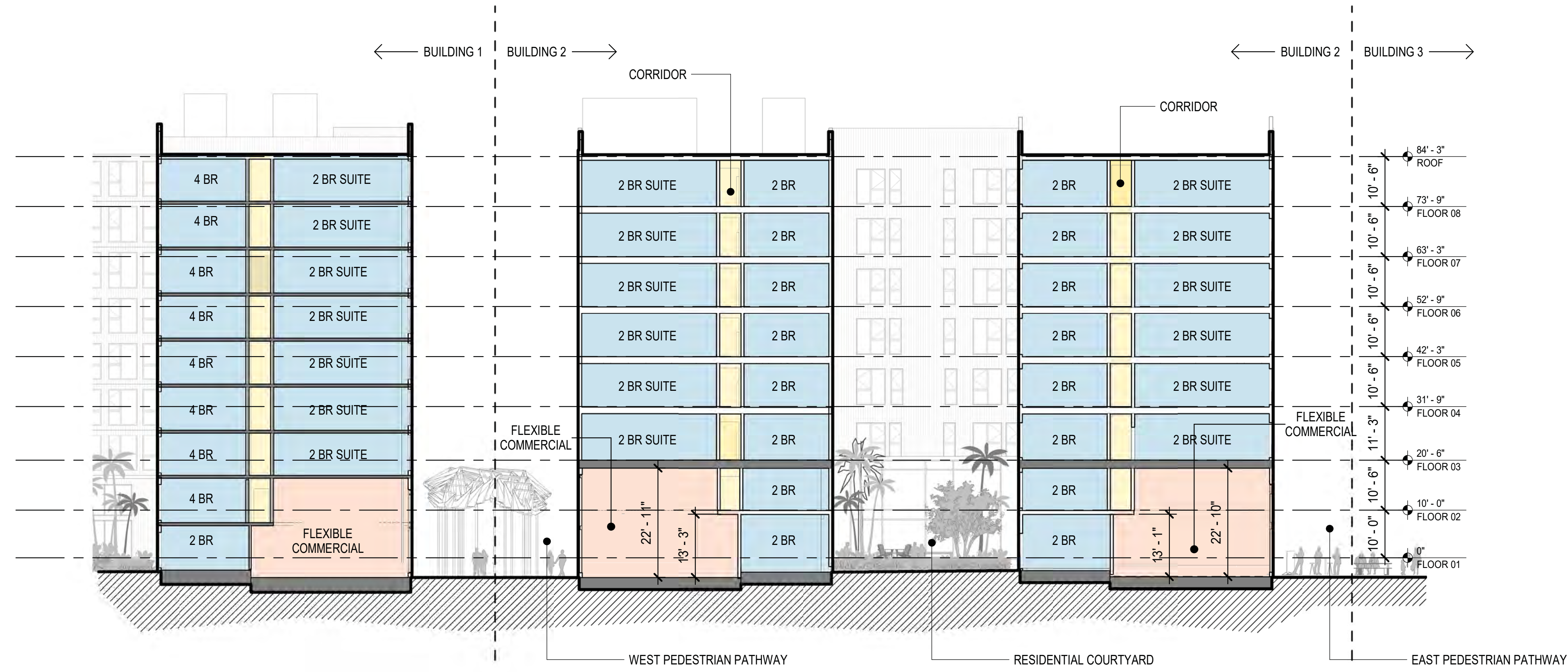
**BUILDING 2 SECTION G-G**

1/16" = 1'-0"

1

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PLANNING RESUBMITTAL	05.02.19
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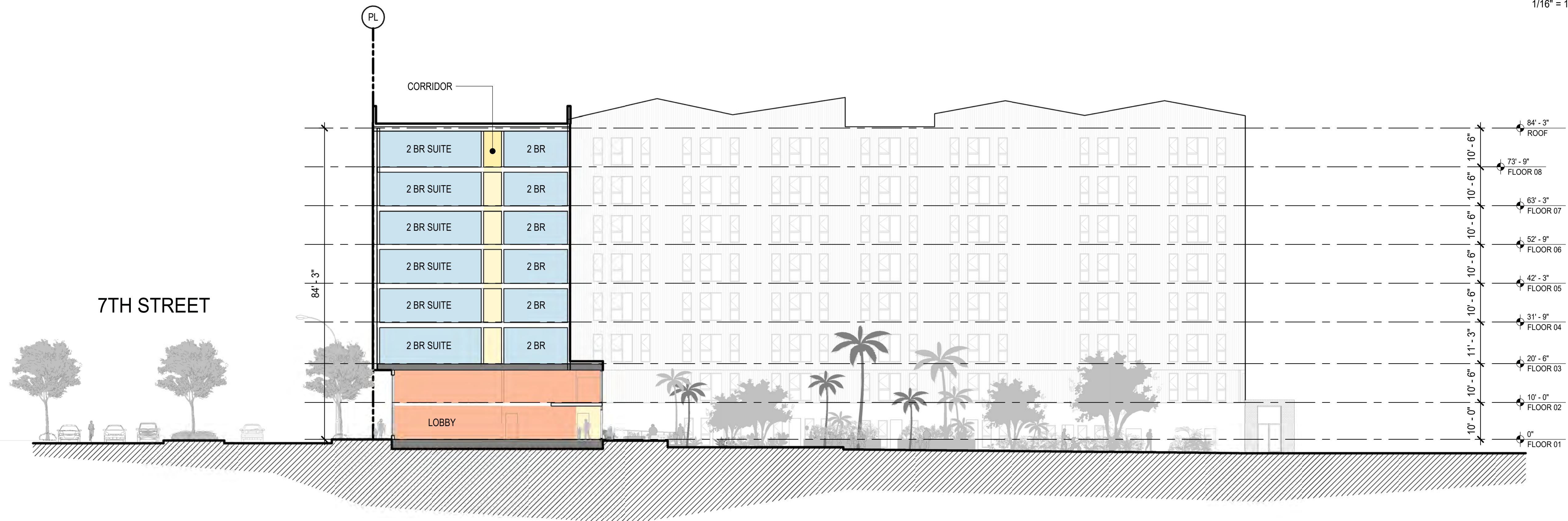




**BUILDING 2 SECTION K-K**

2

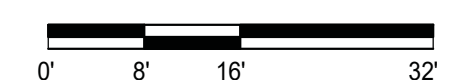
1/16" = 1'-0"



**BUILDING 2 SECTION J-J**

1

1/16" = 1'-0"



**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

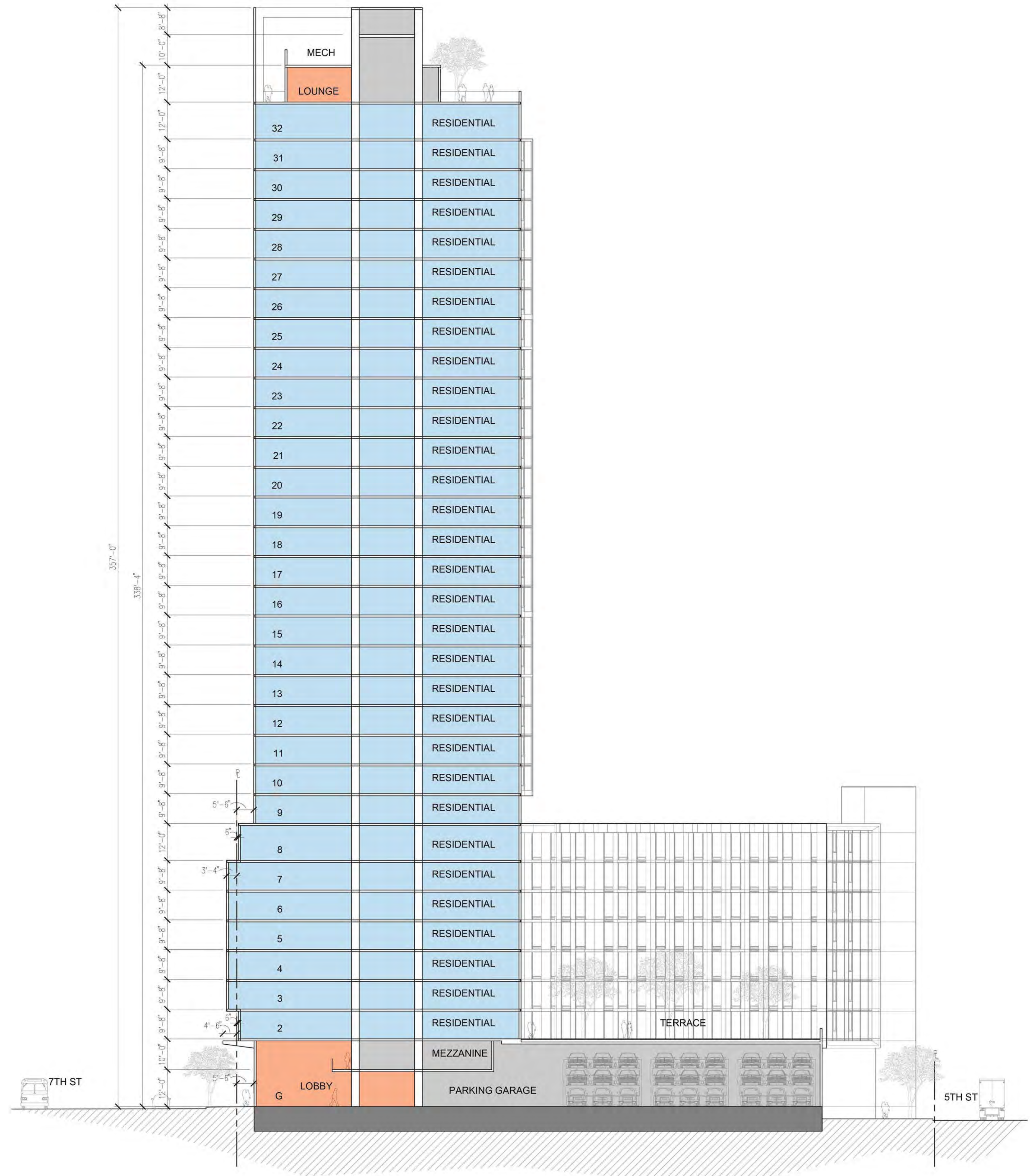
ISSUE	DATE
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FDP 2  
BUILDING 2  
SECTIONS

**A4.5**



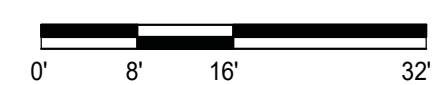
ISSUE	DATE
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PLANNING RESUBMITTAL	05.02.19
PLANNING RESUBMITTAL	07.03.19



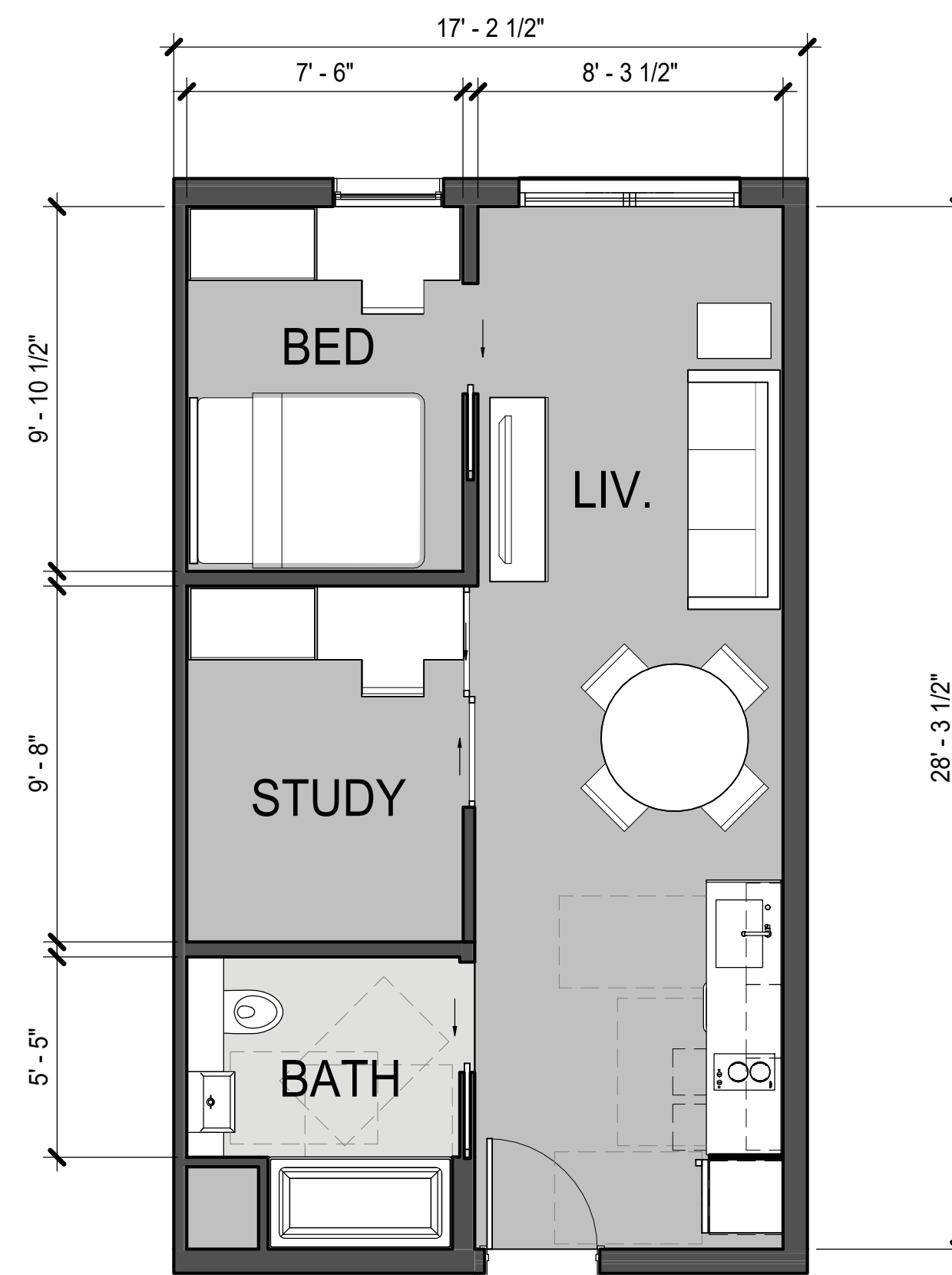
**BUILDING 3 SECTION THROUGH TOWER AT 7TH STREET**

1/16" = 1'-0"

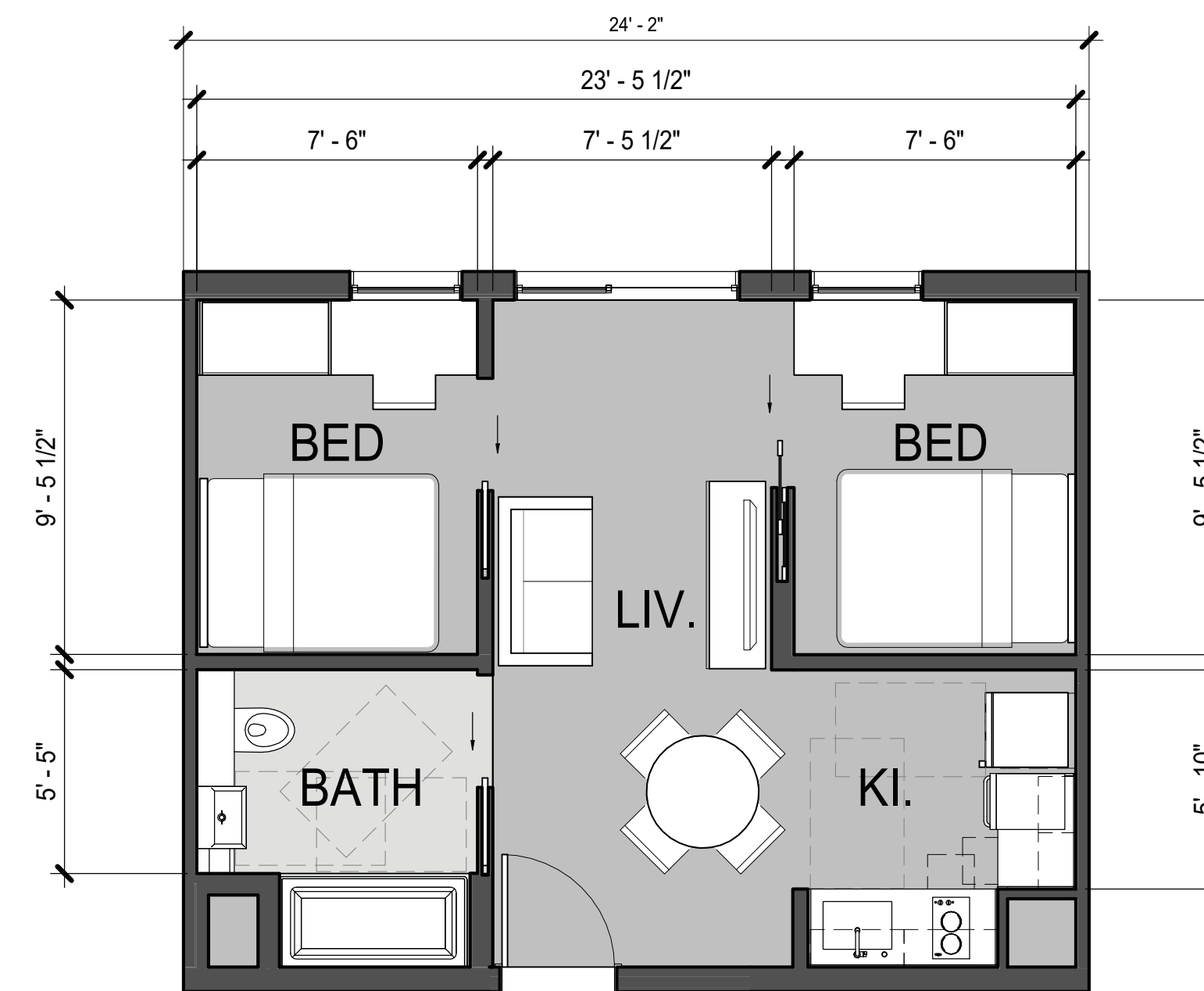
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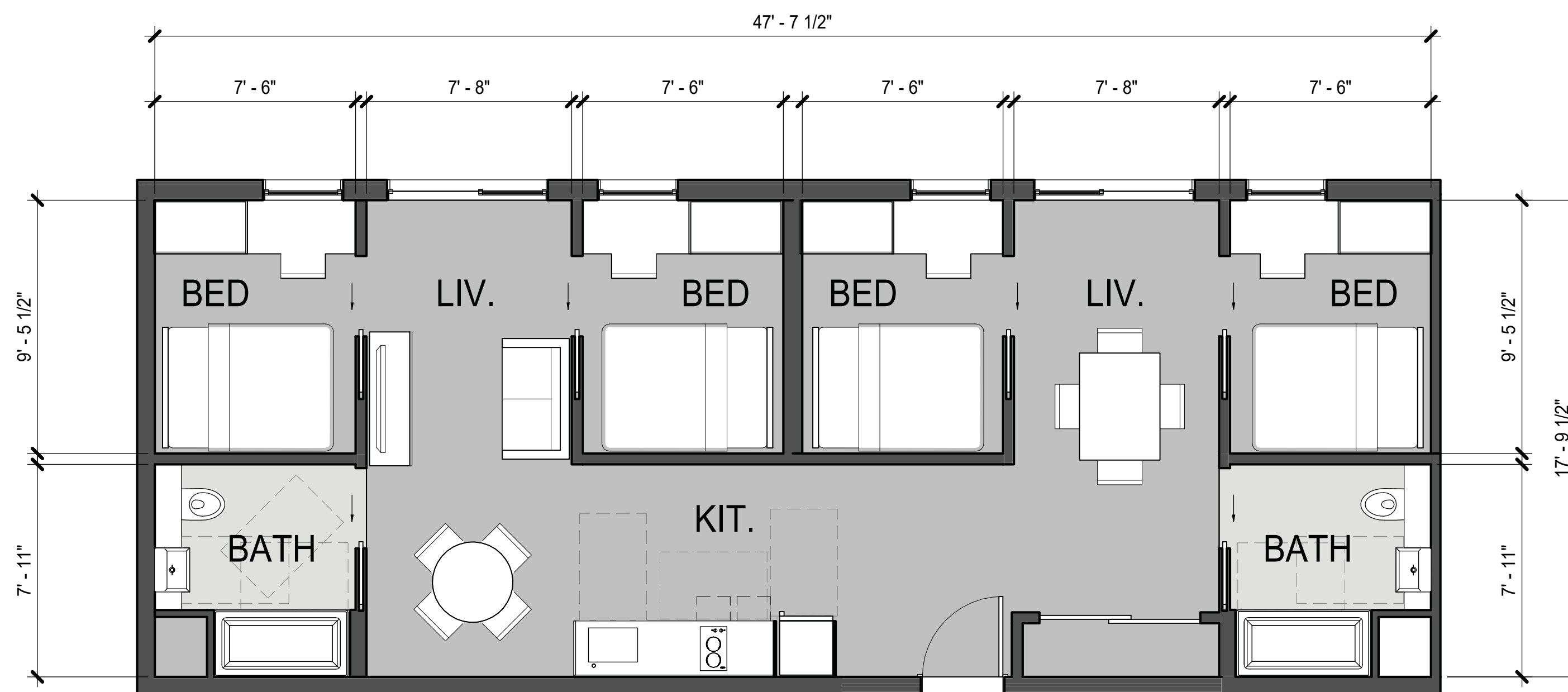
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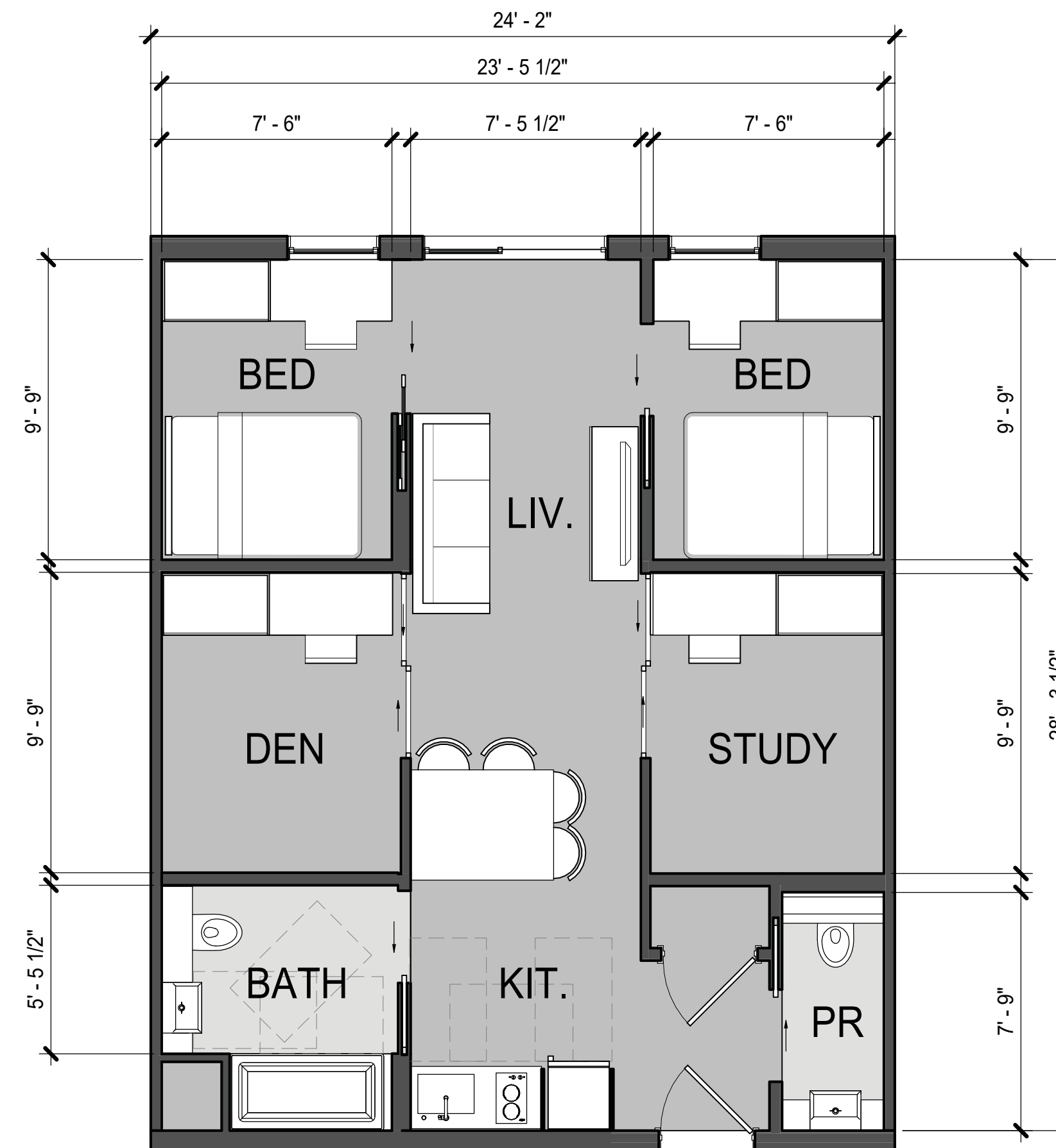
1 BEDROOM UNIT  
460 S.F.



2 BEDROOM UNIT  
425 S.F.



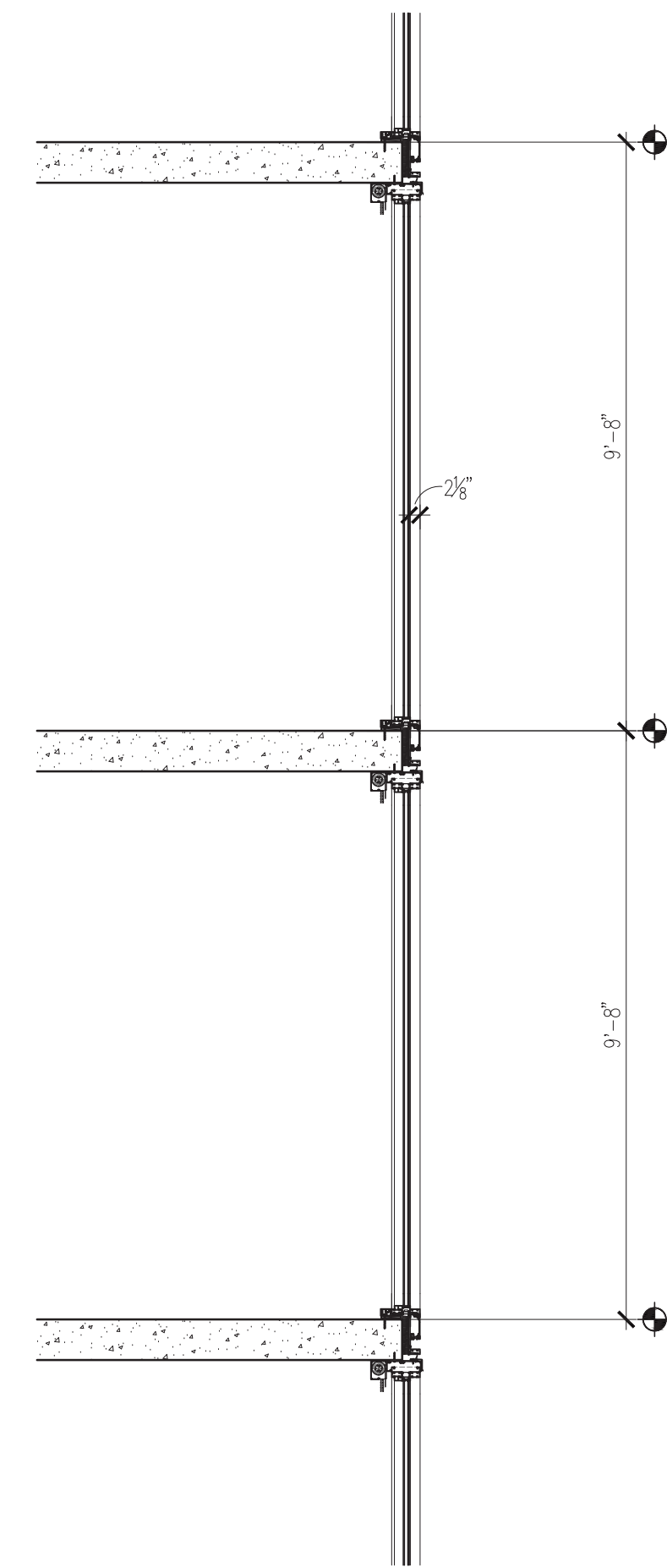
4 BEDROOM UNIT  
860 S.F.



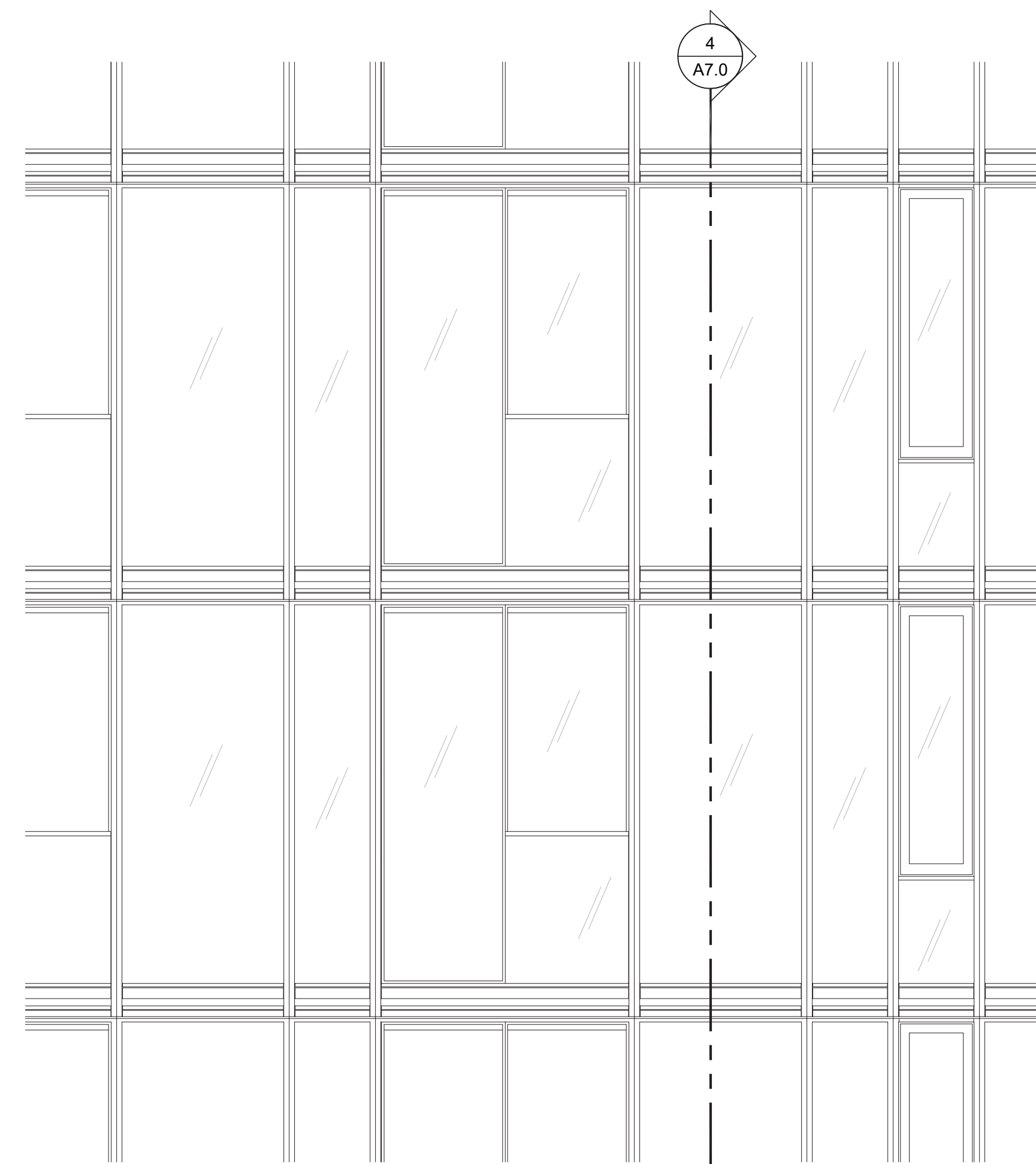
2 BEDROOM SUITE UNIT  
660 S.F.

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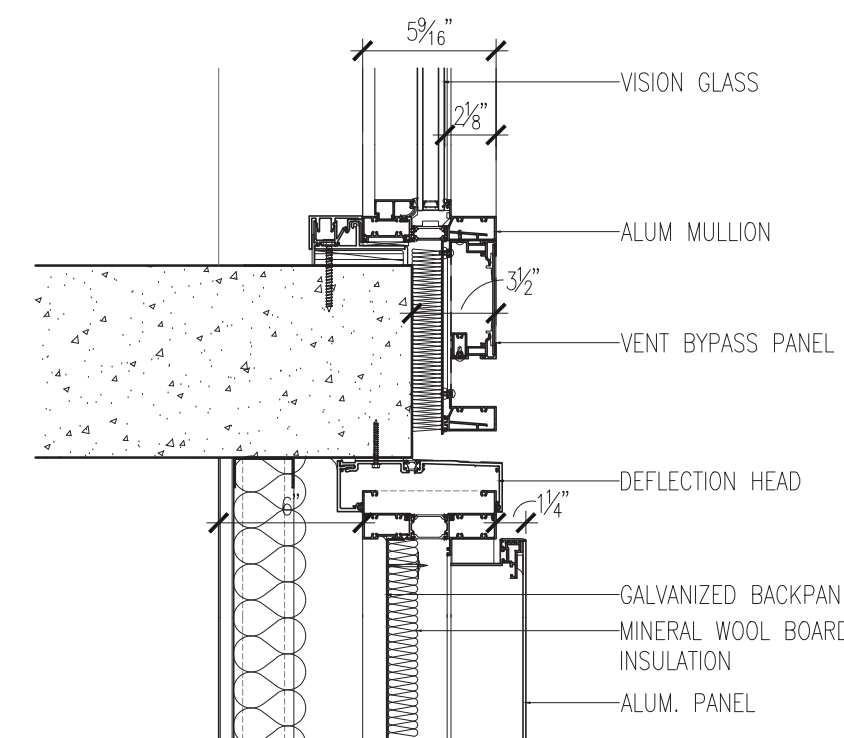
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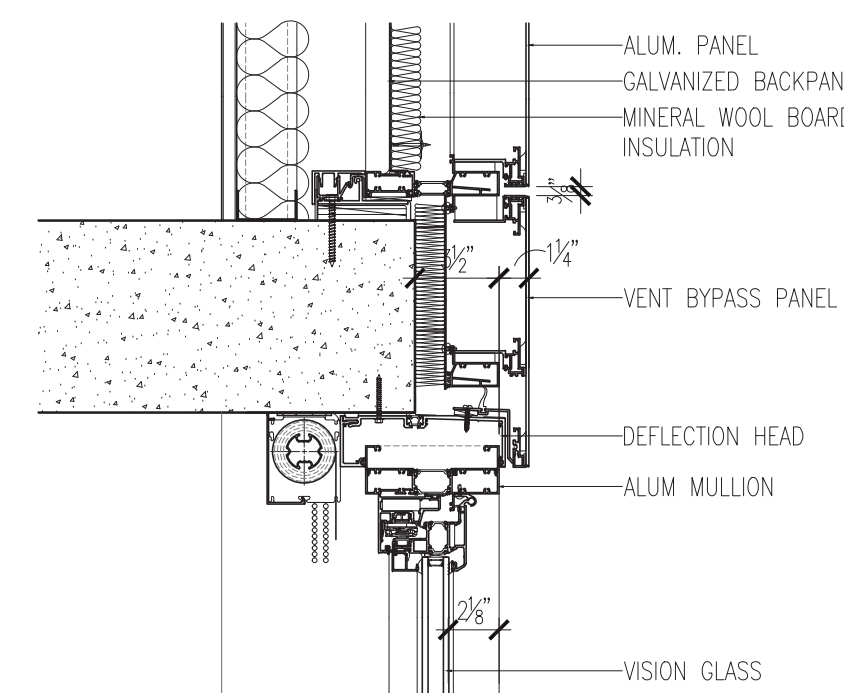
**4 WALL SECTION**  
SCALE: 3/8" = 1'-0"



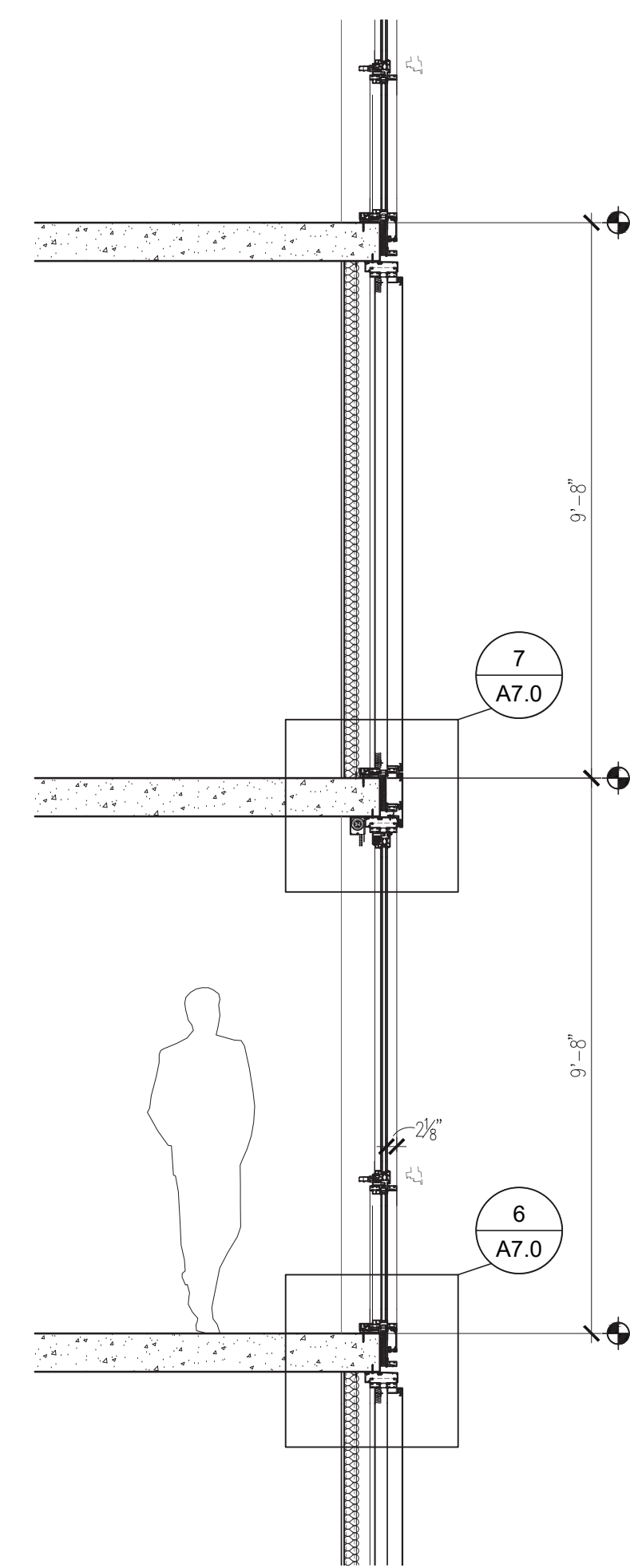
**5 TOWER ELEVATION DETAIL**  
SCALE: 3/8" = 1'-0"



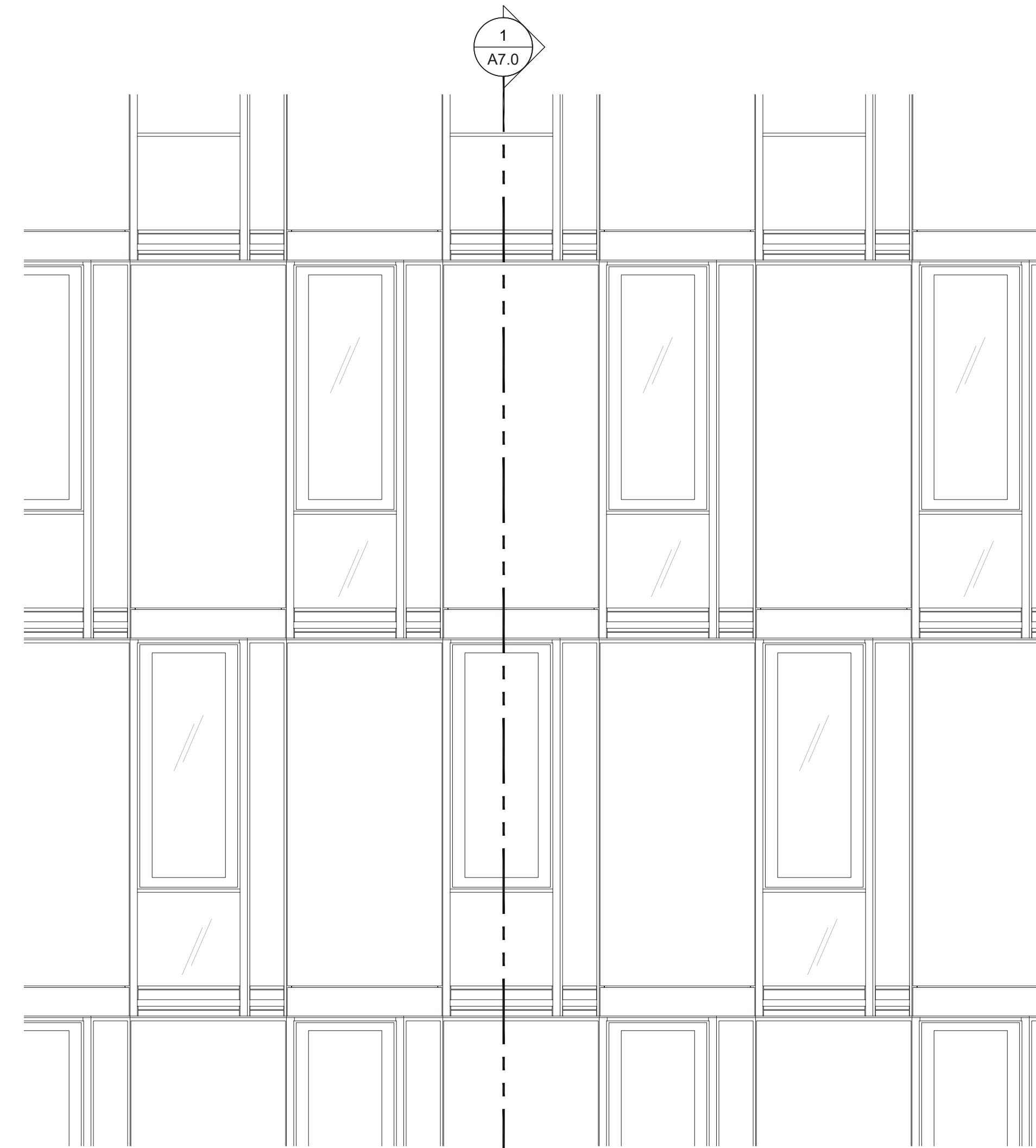
**6 VISION SILL TO ALUM PANEL HEAD DETAIL**  
SCALE: 1 1/2" = 1'-0"



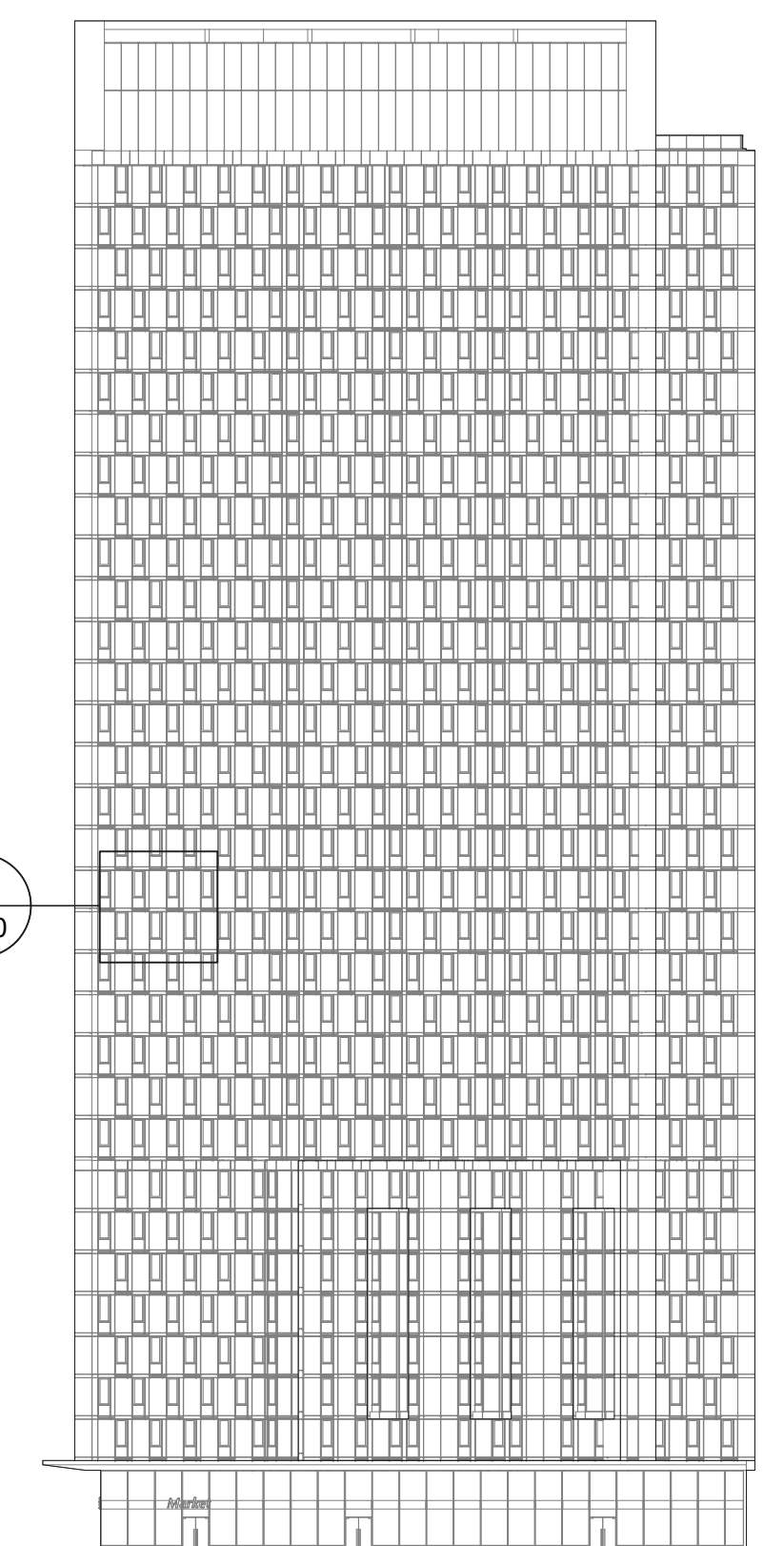
**7 ALUM PANEL SILL TO OPERABLE WINDOW HEAD DETAIL**  
SCALE: 1 1/2" = 1'-0"



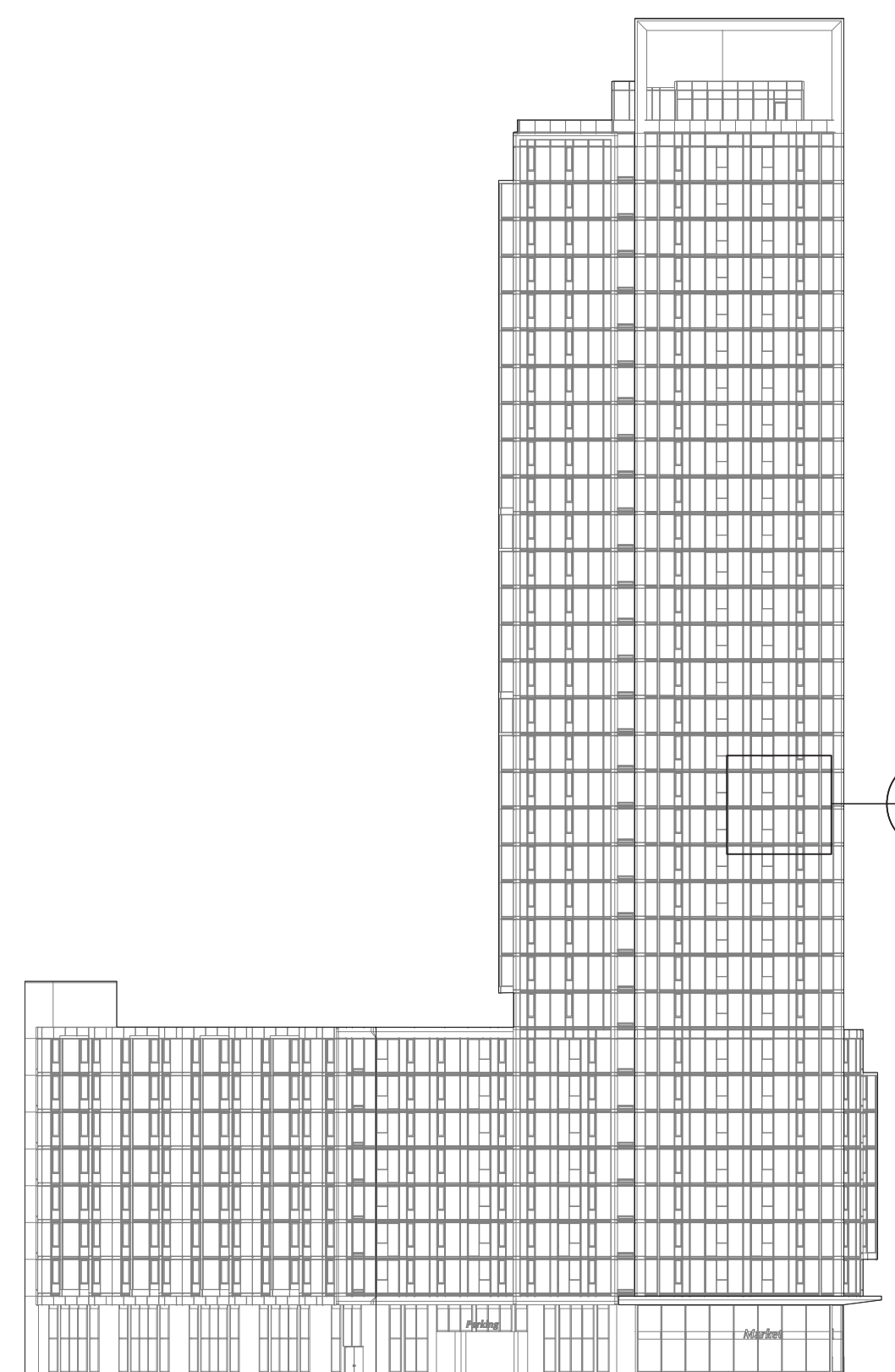
**1 WALL SECTION**  
SCALE: 3/8" = 1'-0"



**2 TOWER ELEVATION DETAIL**  
SCALE: 3/8" = 1'-0"



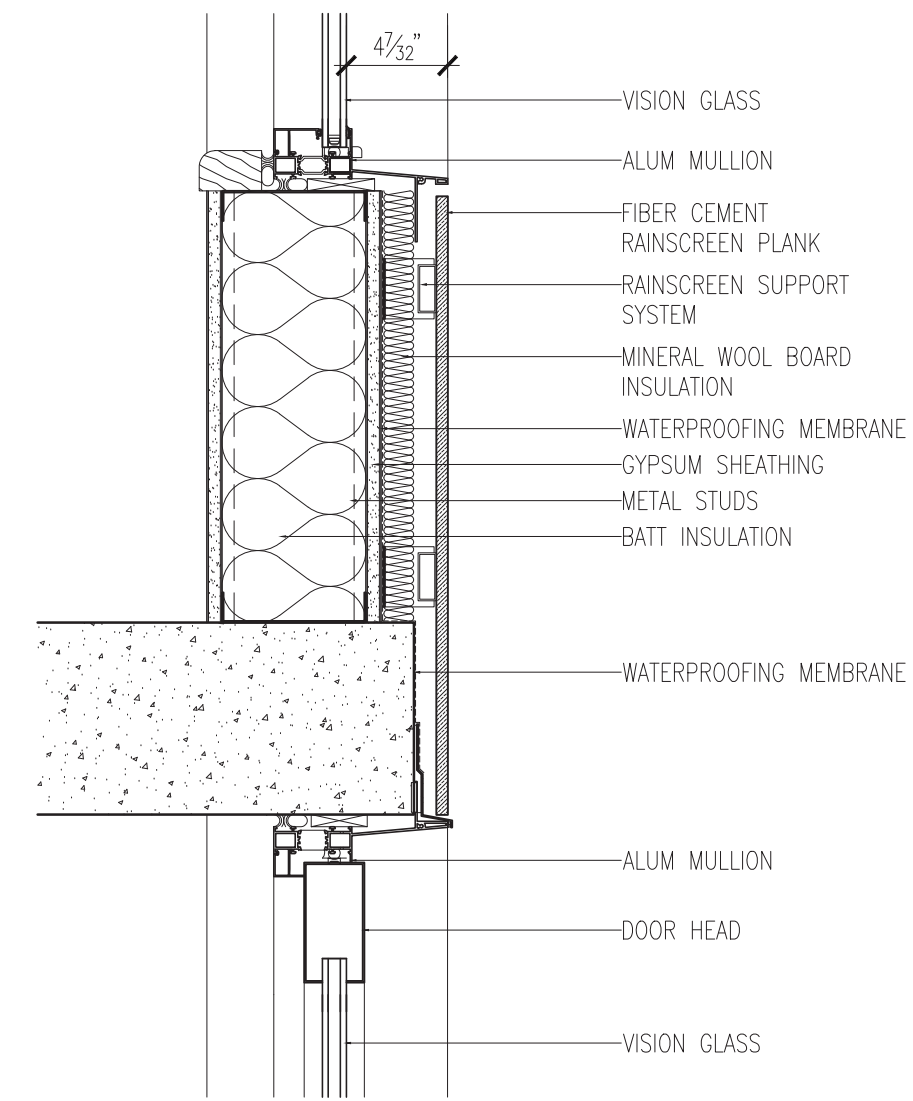
**2**  
A7.0



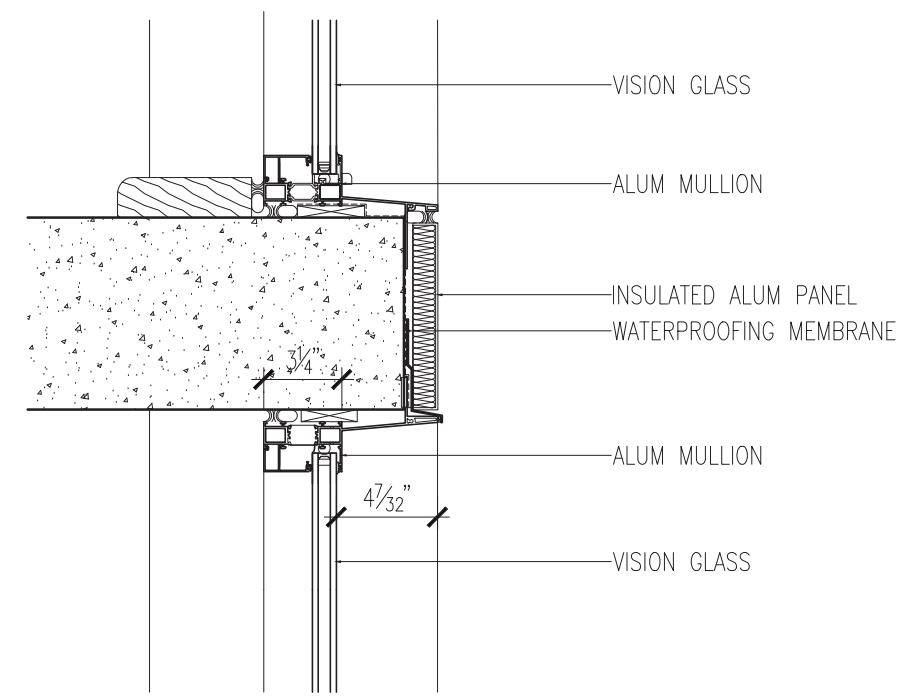
**5**  
A7.0

**3 BLDG 3 KEY ELEVATIONS**  
SCALE: NTS

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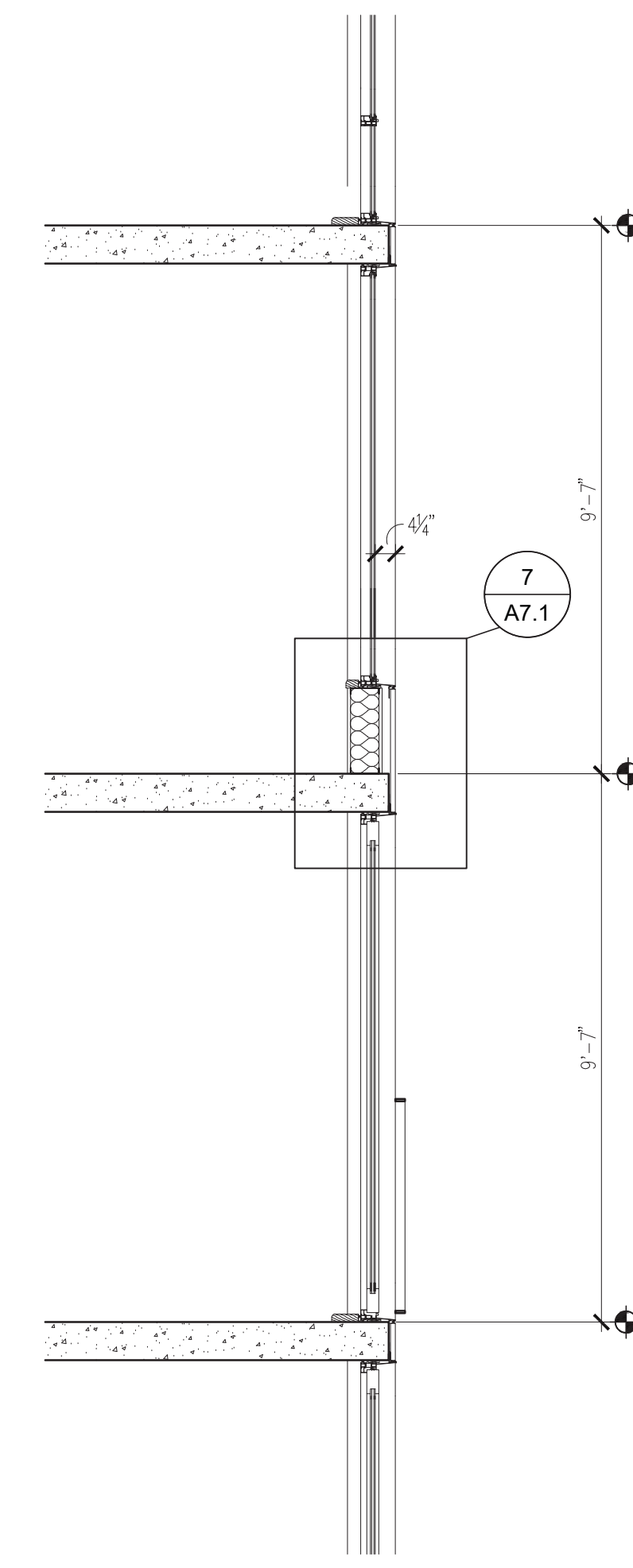
**7** ALUM PANEL SILL TO OPERABLE WINDOW HEAD DETAIL  
SCALE: 1 1/2" = 1'-0"



**6** VISION SILL TO VISION HEAD DETAIL  
SCALE: 1 1/2" = 1'-0"



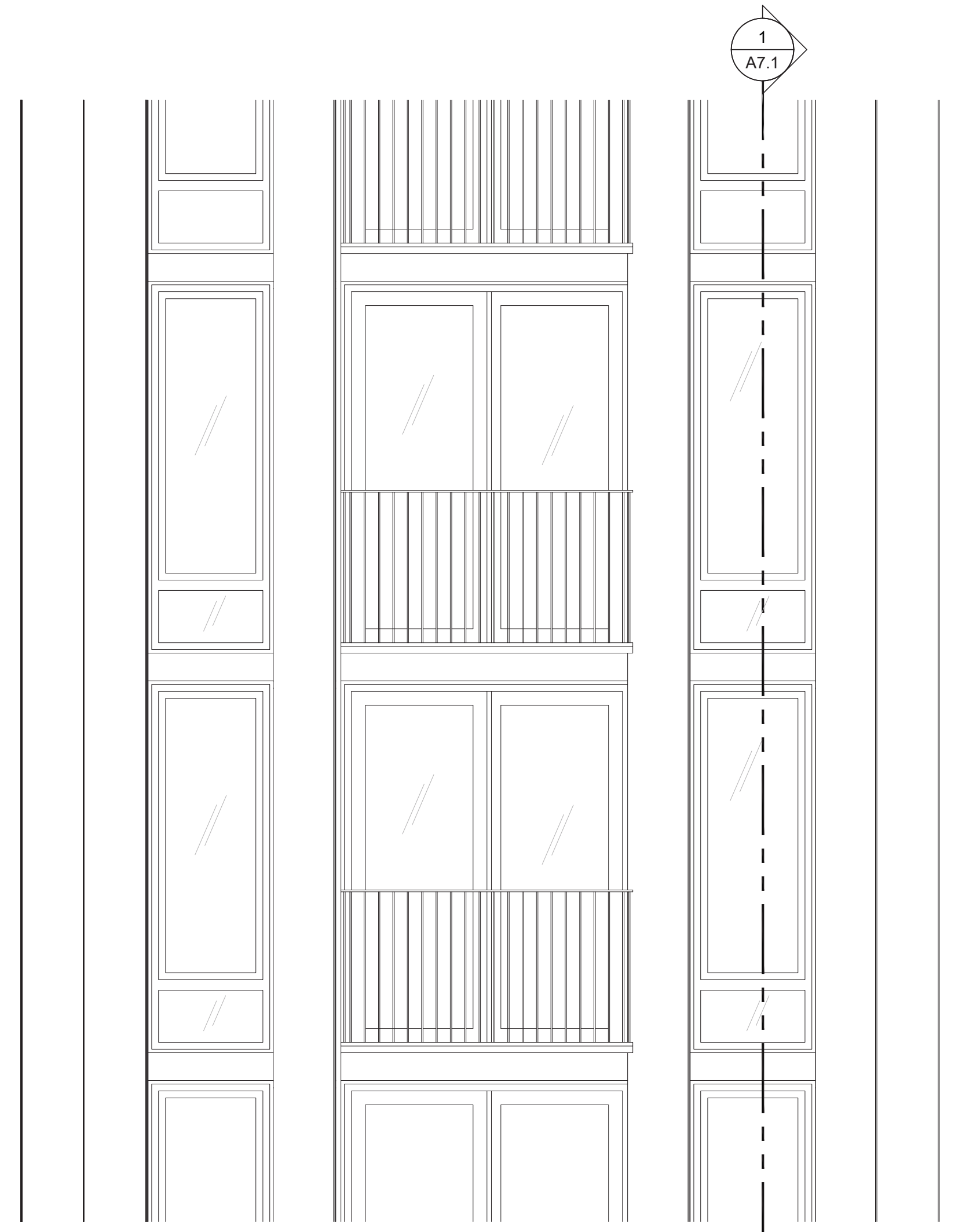
**5** MID-RISE ELEVATION DETAIL  
SCALE: 3/8" = 1'-0"



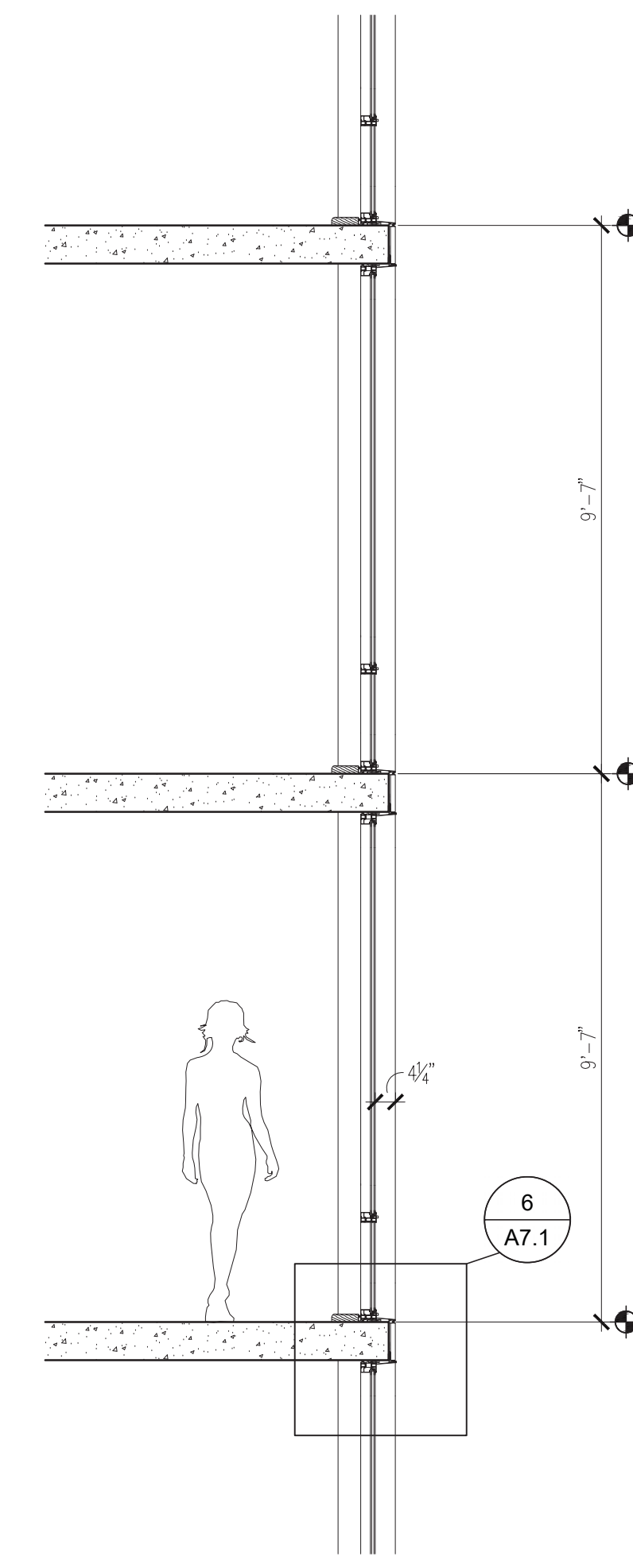
**4** WALL SECTION  
SCALE: 3/8" = 1'-0"



**3** BLDG 1 NORTH KEY ELEVATION  
SCALE: NTS



**2** MID-RISE ELEVATION DETAIL  
SCALE: 3/8" = 1'-0"



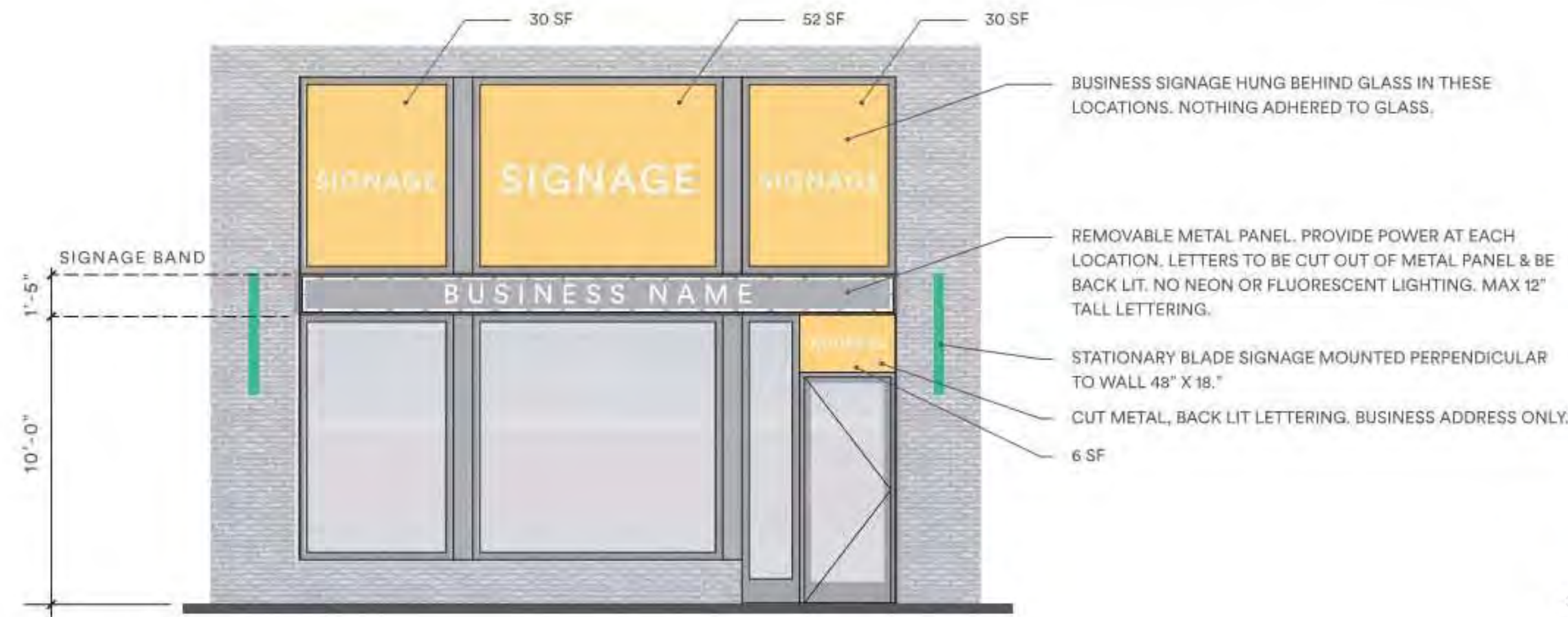
**1** WALL SECTION  
SCALE: 3/8" = 1'-0"



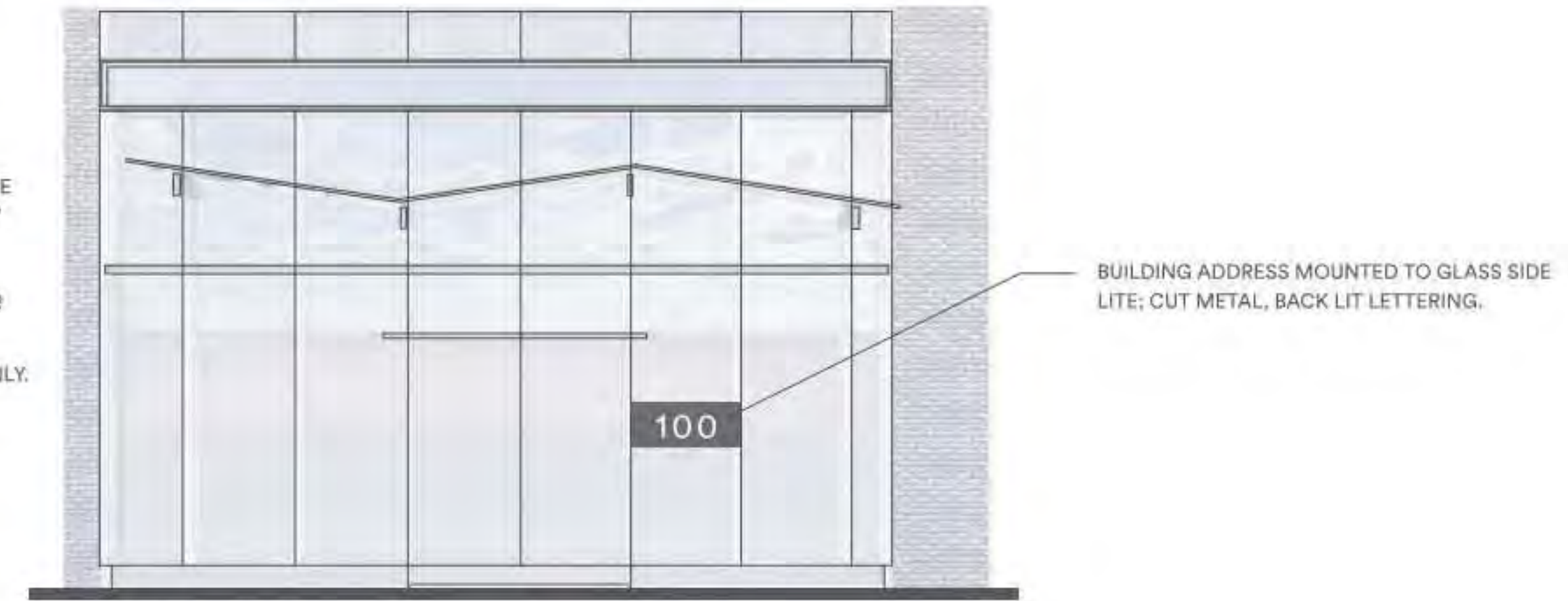
**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

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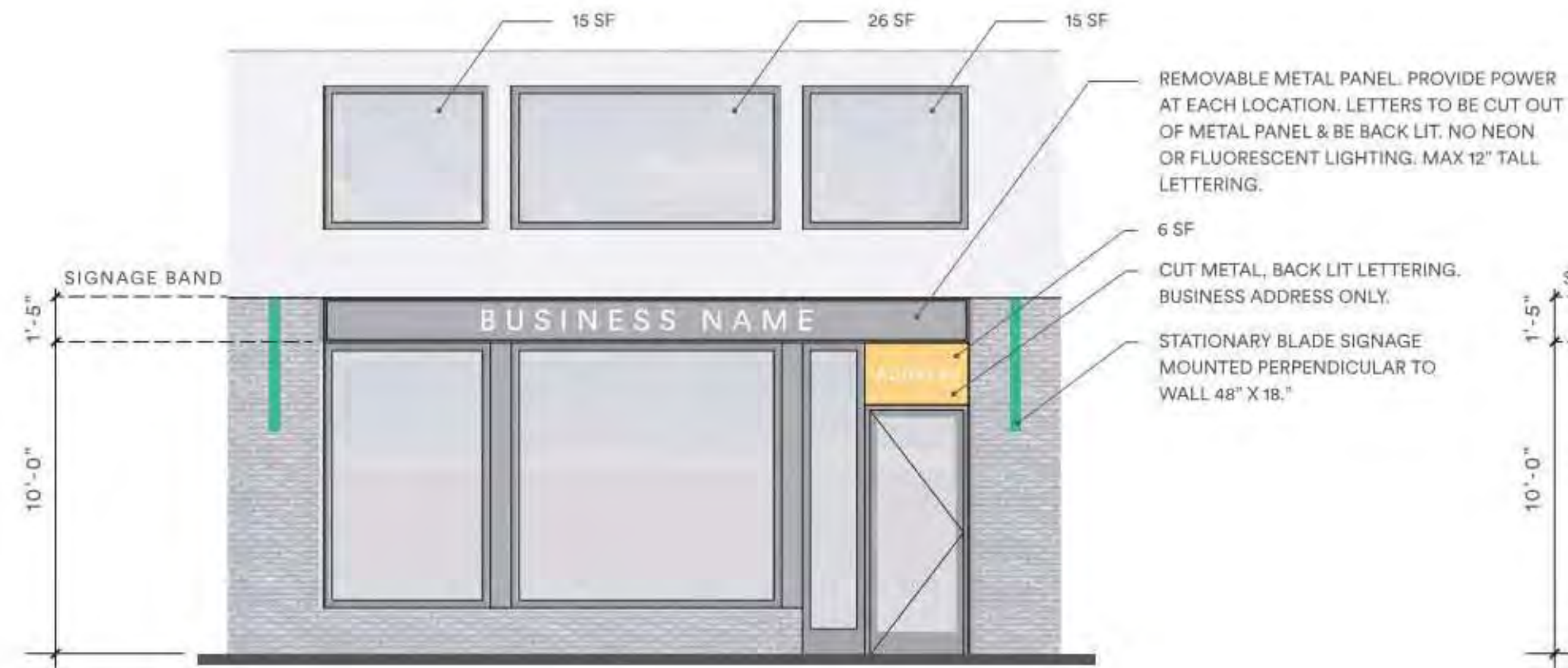
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2, 3, TYPICAL SEVENTH ST. RETAIL BAY



1, TYPICAL RESIDENTIAL LOBBY



4, TYPICAL MID BLOCK RETAIL BAY

EACH BUSINESS TO CONSTRUCT ITS UNIQUE IDENTITY  
PER GUIDELINES SET FORTH BY THE DESIGN TEAM



5, TYPICAL FIFTH ST. RETAIL BAY



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PERSPECTIVE VIEW LOOKING DOWN ALLEY  
12" = 1'-0"

1

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PERSPECTIVE VIEW LOOKING WEST DOWN 7TH STREET



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PERSPECTIVE VIEW LOOKING EAST DOWN 7TH STREET



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PERSPECTIVE VIEW LOOKING AT BUILDING 1 AND BUILDING 2



PERSPECTIVE VIEW AT CORNER OF 7TH STREET AND UNION STREET

1

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PERSPECTIVE VIEW LOOKING EAST DOWN 7TH STREET



PERSPECTIVE VIEW AT CORNER OF 7TH STREET AND UNION STREET

1

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# LIGHTING FIXTURE LEGEND

- 

TYPE E1:  
ILLUMINATED BOLLARD  
BEGA 99 570
- 

TYPE E2:  
WALL MOUNTED DOWNLIGHT SCONCE  
BK LIGHTING EL CAPITAN SERIES
- 

TYPE E3:  
LANDSCAPE UPLIGHT  
BK LIGHTING DENALI SERIES
- 

TYPE E4:  
UNDER BENCH CURRENT LIGHT  
ACOLYTE AC RIBBONLYTE
- 

TYPE E5:  
IN-GRADE UPLIGHT  
TARGETTI KEPLERO
- 

TYPE E6:  
PEDESTRIAN SCALE AREA LIGHT  
BEGA 88 064
- 

TYPE E7:  
SUSPENDED DECORATIVE STRINGLIGHT  
PRIMUS DECOSTRING
- 

TYPE E8:  
WALL MOUNTED SCONCE  
BEGA 24 592
- 

TYPE E9:  
RECESSED DOWNLIGHT  
BEGA 55 826
- 

TYPE E10:  
WALL MOUNTED LINEAR DOWNLIGHT  
LUMENWERX VIA WET
- 

TYPE E11:  
GROUND MOUNTED WALL WASHER  
KIM LIGHTING 4300 SERIES
- 

TYPE E12:  
TRELLIS MOUNTED ADJUSTABLE ACCENT  
B-K LIGHTING DELTA STAR
- 

TYPE E13:  
WALL MOUNTED SCONCE  
BEGA 22 360
- 

TYPE R1:  
ROADWAY COBRA HEAD FIXTURE
- 

TYPE R1A:  
ROADWAY COBRA HEAD FIXTURE WITH MID  
POLE PEDESTRIAN STREETSCAPE AREA  
LIGHT
- 

TYPE R2:  
PEDESTRIAN STREETSCAPE AREA LIGHT



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**LIGHTING FIXTURE LEGEND**

- 

TYPE E1:  
ILLUMINATED BOLLARD  
BEGA 99 570
- 

TYPE E2:  
WALL MOUNTED DOWNLIGHT SCONCE  
BK LIGHTING EL CAPITAN SERIES
- 

TYPE E3:  
LANDSCAPE UPLIGHT  
BK LIGHTING DENALI SERIES
- 

TYPE E4:  
UNDER BENCH CURRENT LIGHT  
ACOLYTE AC RIBBONLYTE
- 

TYPE E5:  
IN-GRADE UPLIGHT  
TARGETTI KEPLERO
- 

TYPE E6:  
PEDESTRIAN SCALE AREA LIGHT  
BEGA 88 064
- 

TYPE E7:  
SUSPENDED DECORATIVE STRINGLIGHT  
PRIMUS DECOSTRING
- 

TYPE E8:  
WALL MOUNTED SCONCE  
BEGA 24 592
- 

TYPE E9:  
RECESSED DOWNLIGHT  
BEGA 55 826
- 

TYPE E10:  
WALL MOUNTED LINEAR DOWNLIGHT  
LUMENWERX VIA WET
- 

TYPE E11:  
GROUND MOUNTED WALL WASHER  
KIM LIGHTING 4300 SERIES
- 

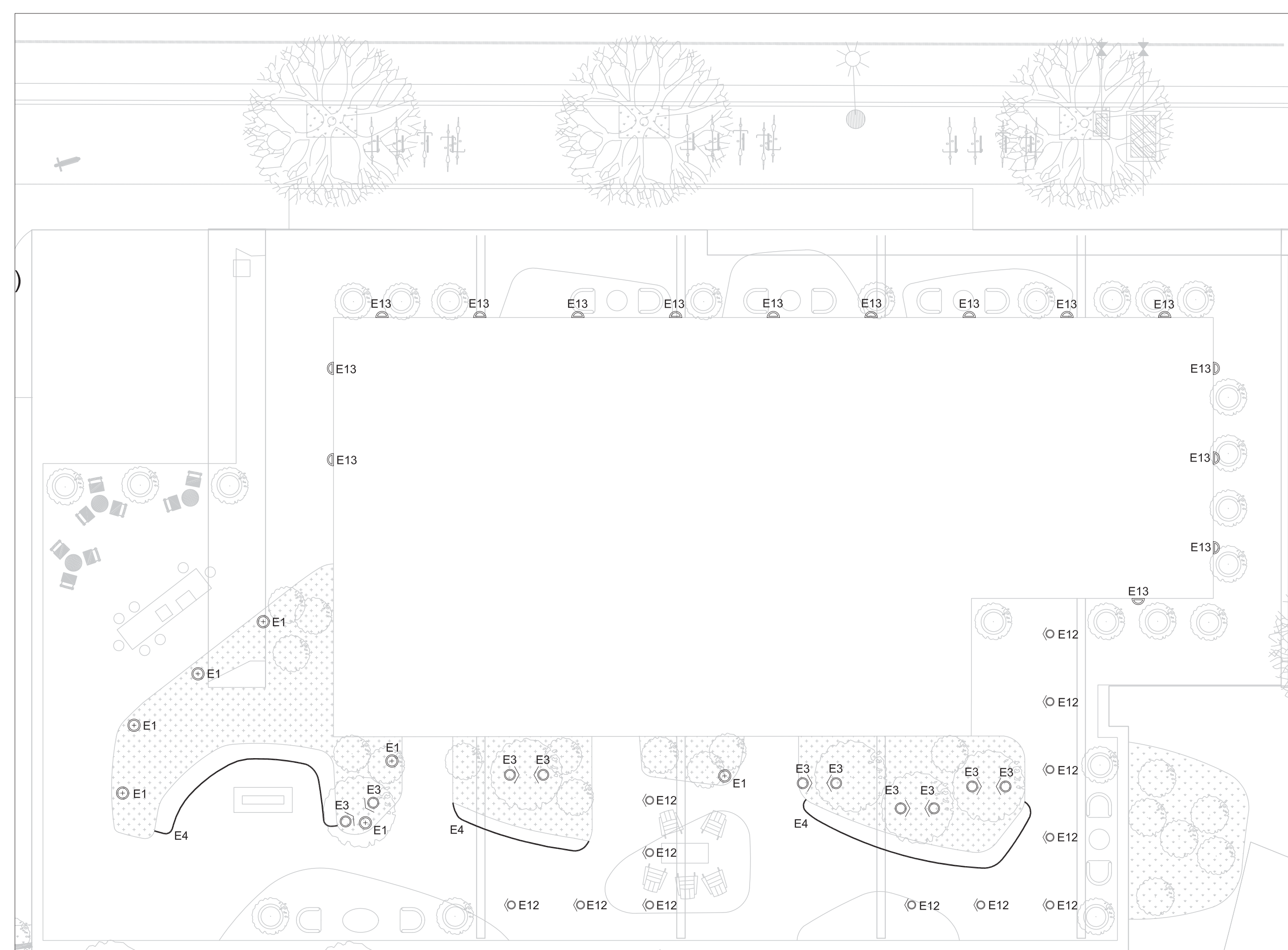
TYPE E12:  
TRELLIS MOUNTED ADJUSTABLE ACCENT  
B-K LIGHTING DELTA STAR
- 

TYPE E13:  
WALL MOUNTED SCONCE  
BEGA 22 360
- 

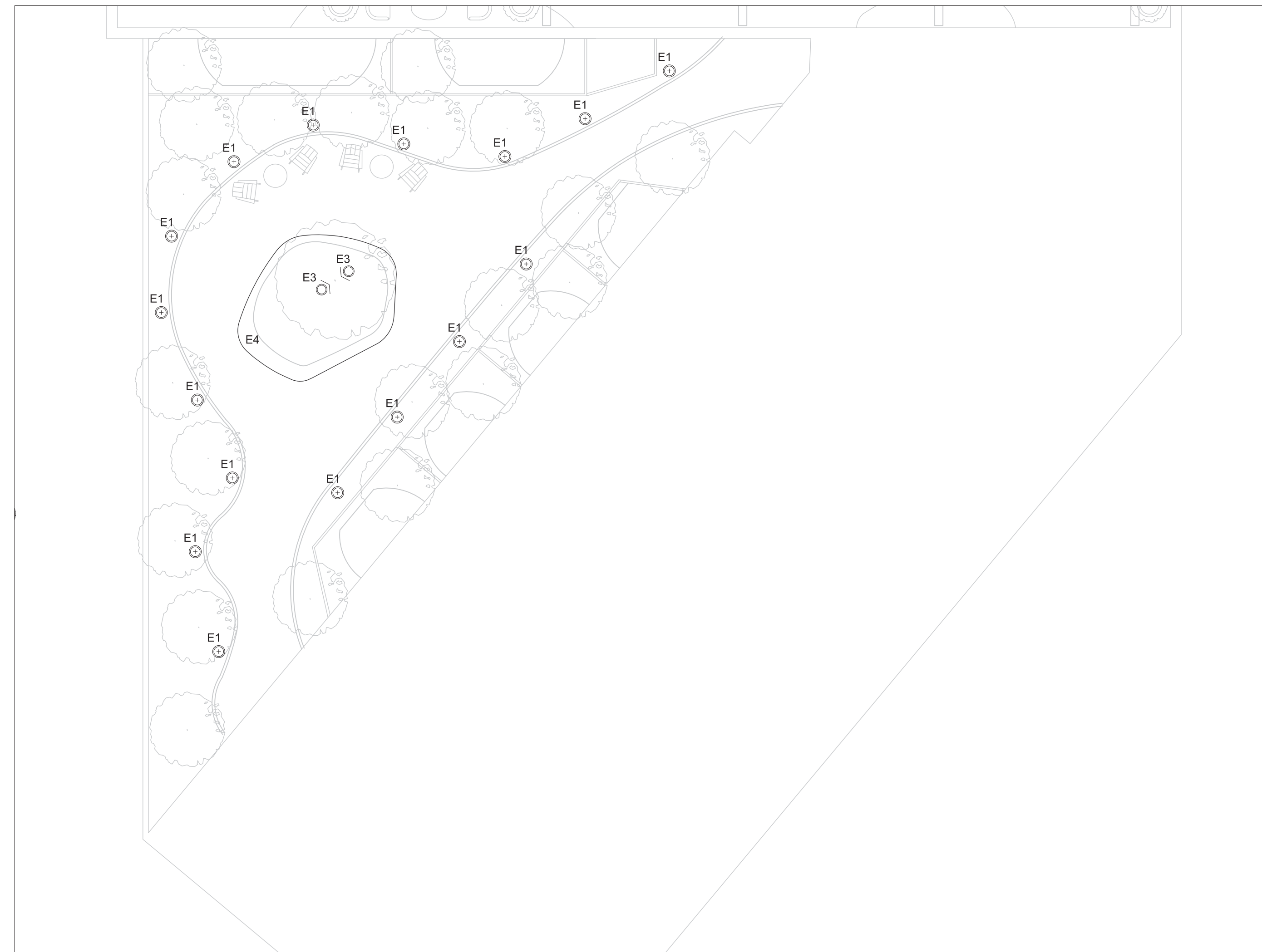
TYPE R1:  
ROADWAY COBRA HEAD FIXTURE
- 

TYPE R1A:  
ROADWAY COBRA HEAD FIXTURE WITH MID  
POLE PEDESTRIAN STREETScape AREA  
LIGHT
- 

TYPE R2:  
PEDESTRIAN STREETScape AREA LIGHT



**1 ROOF TOP TERRACE**  
3/32" = 1' - 0"

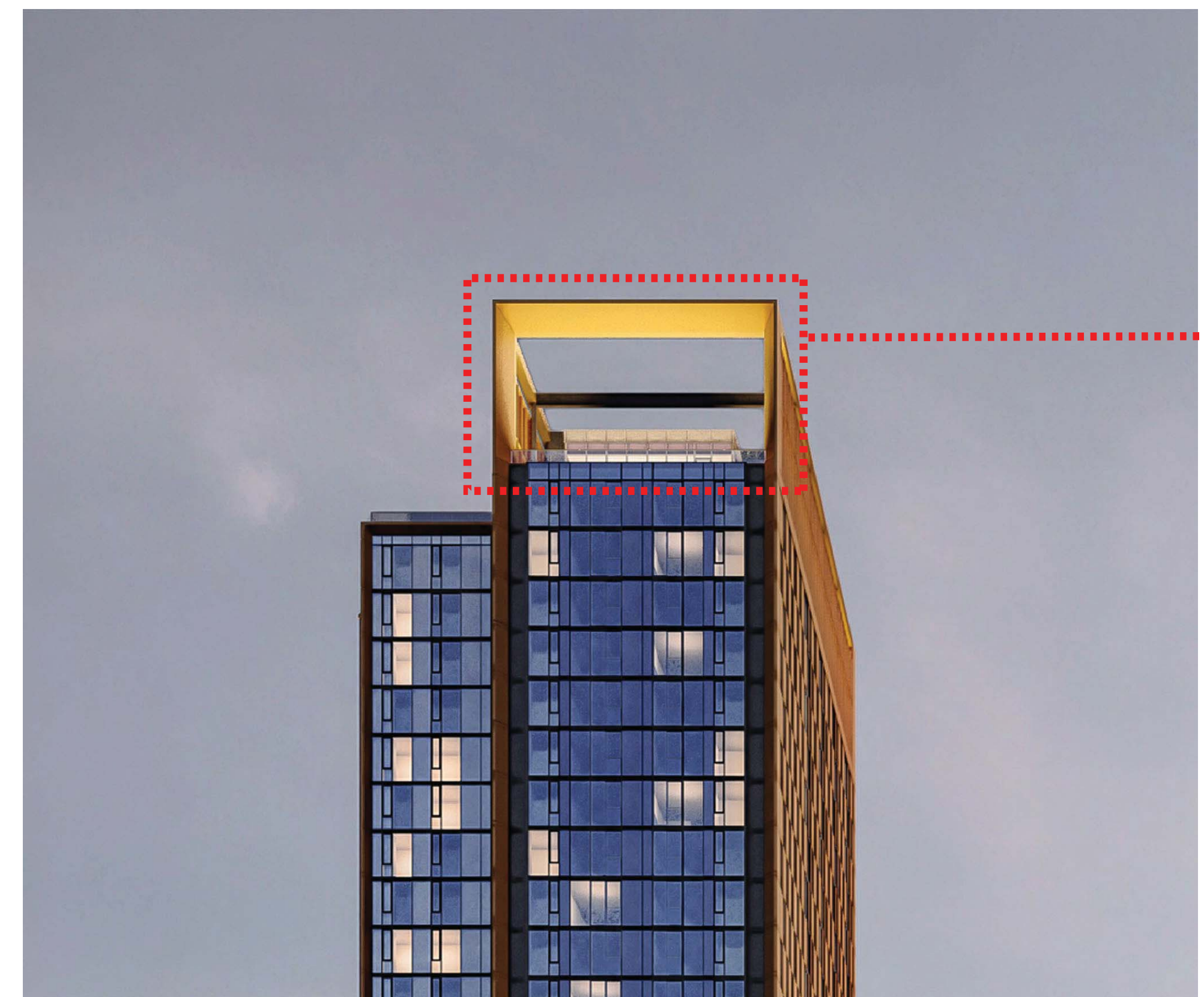


**2 LEVEL 2 - TERRACE**  
3/32" = 1' - 0"



**3 BUILDING 1 - SCULPTURAL ELEMENT**

LIGHTING INTEGRATED INTO SCULPTURAL ELEMENT



**4 BUILDING 3 - CROWN**

LIGHTING INTEGRATED WITH BUILDING CROWN

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DESIGN PRINCIPLE 1

# LEARN FROM THE UNIQUE HISTORY AND CONTEXT OF WEST OAKLAND

NEIGHBORHOOD CONTEXT:

## NEIGHBORHOOD ASSETS

Today, the area of West Oakland is amidst a positive transformation. The Mandela Food Coop, the Grow Incubator Center, which promotes small, local arts businesses, and the Civicorps Job Training and Education Center, all have made tremendous community impact and are setting the direction for the social and physical transformation of the district.



The Crucible



Civicorps



Grow Incubator

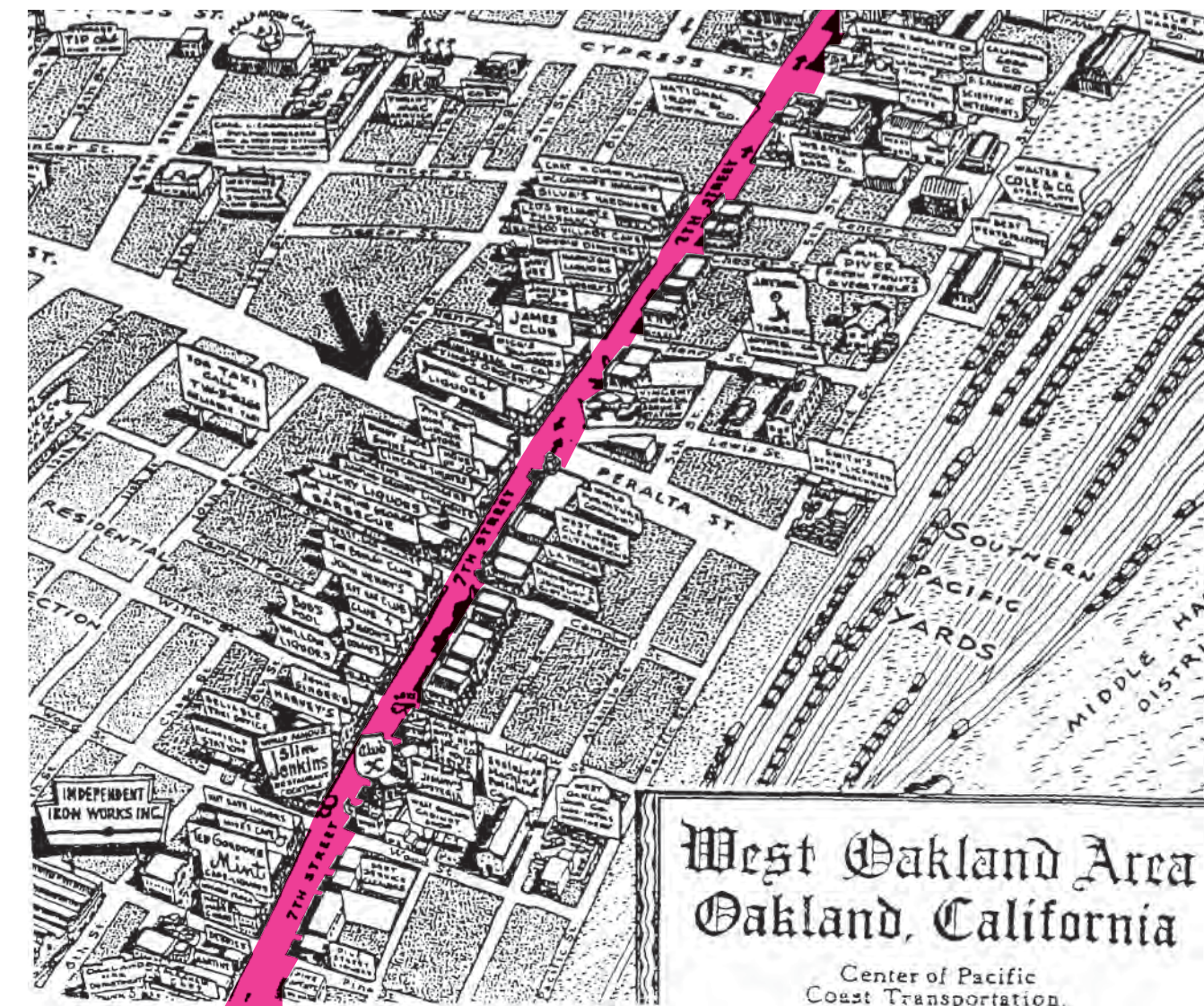


Mandela Food Co-Op

SITE AND WEST OAKLAND HISTORY:

## A LEGACY OF JAZZ: 7TH STREET

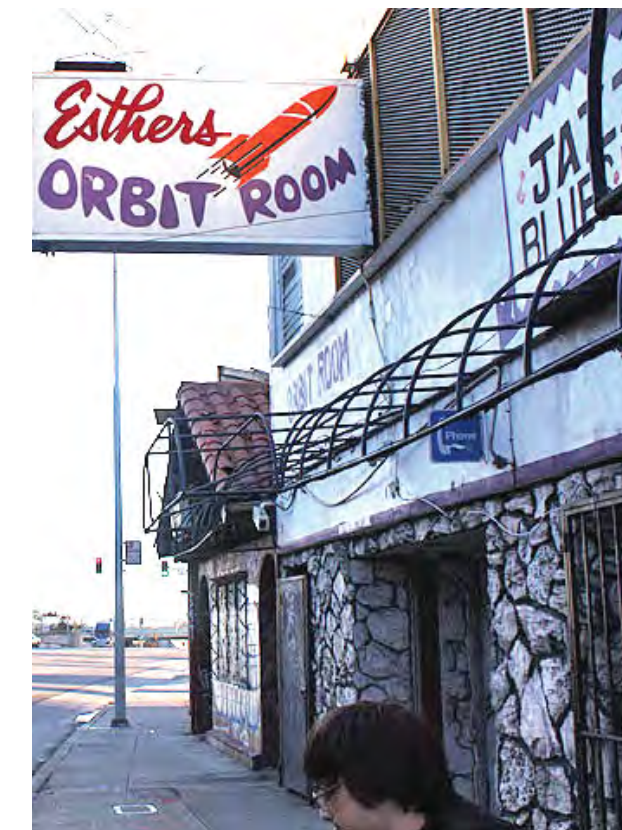
West Oakland's 7th Street was once known as the Harlem of the West, with its rich legacy and high concentration of jazz and blues performance halls. However, in recent times, the construction of the BART line along 7th Street greatly impacted this character and legacy. Now, however, 500 Kirkham, along with its reinforcement of West Oakland assets, can help rebirth 7th Street as the main cultural street of the district.



West Oakland circa 1940's: The West Coast Blues



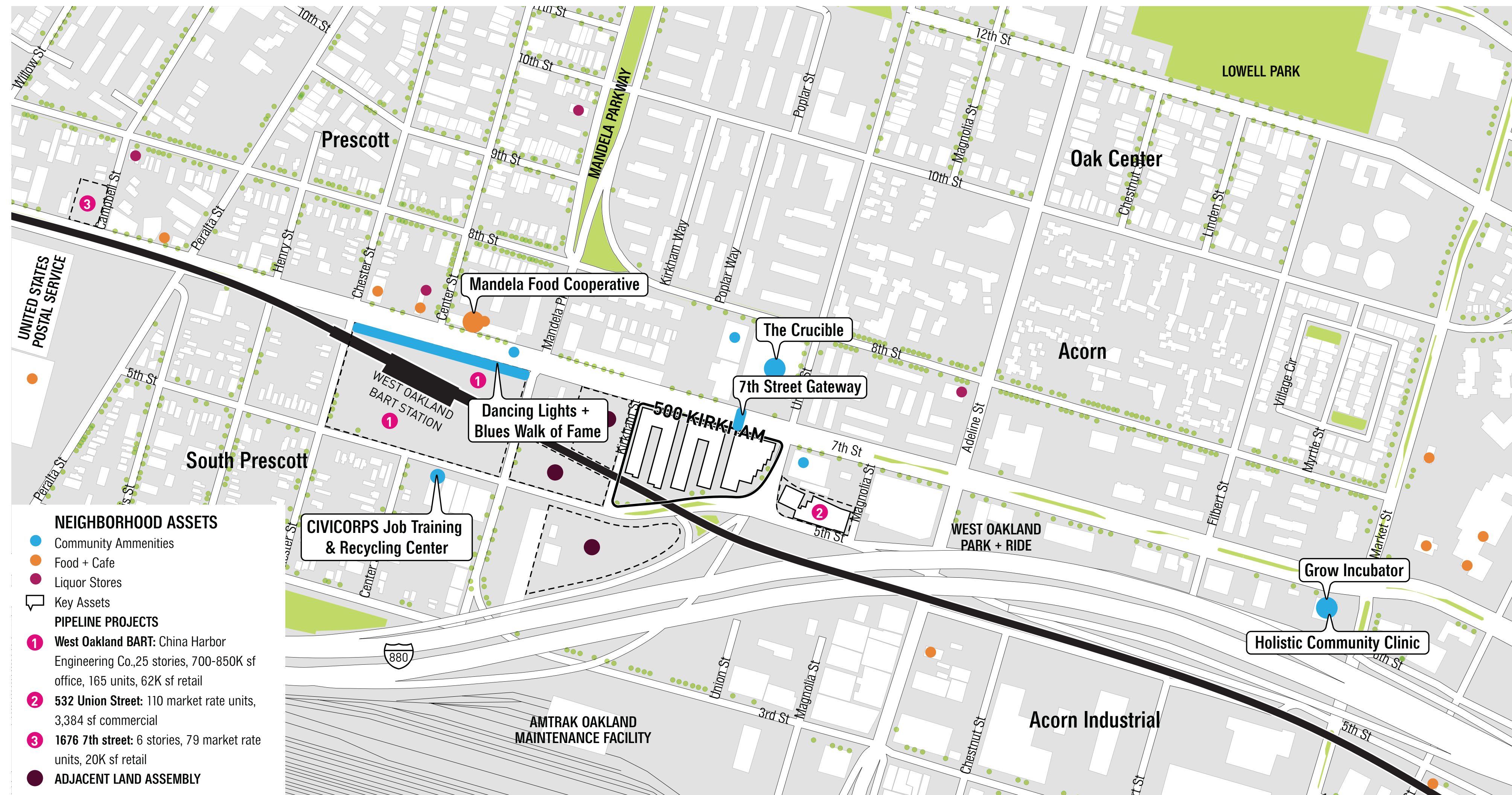
Slim Jenkins



Esthers Orbit Room (closed 2011)

## OAKLAND'S INDUSTRIAL PAST

One of the project's goals is to be anchored to its unique context. West Oakland's rich history is closely associated with the development of the Oakland Port and the ship building activities during the Second World War. The area's history and wide mix of creative uses are key elements that drive the project design and will be celebrated through the incorporation of related materials, finishes, visual references and creative programming.



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# CREATE A LANDMARK ON 7TH STREET AS A GATEWAY TO OAKLAND



View from 7th Street Looking East



View from 7th Street Looking West

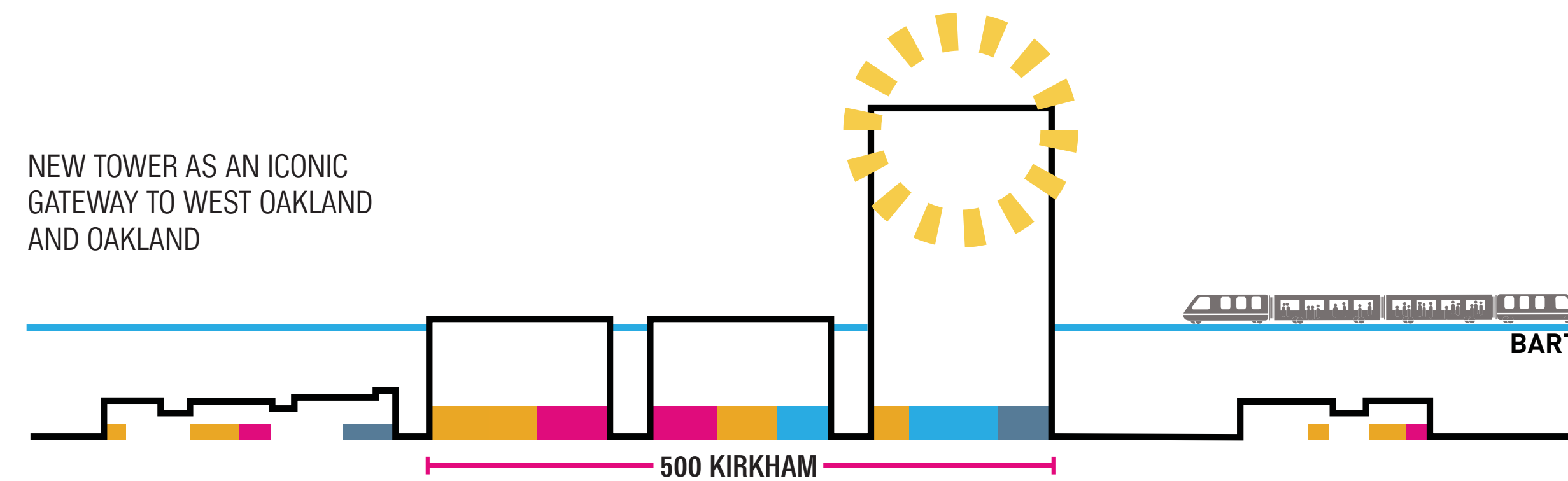
## A CRITICAL JUNCTION FOR OAKLAND

The site is at a critical junction in Oakland. By location, it works as a bridge between West Oakland and Downtown Oakland and the high-rise serves as a gateway to West Oakland and Oakland as a whole, as seen from BART and Highway 880.

BRIDGING MATERIALITY AND SCALE

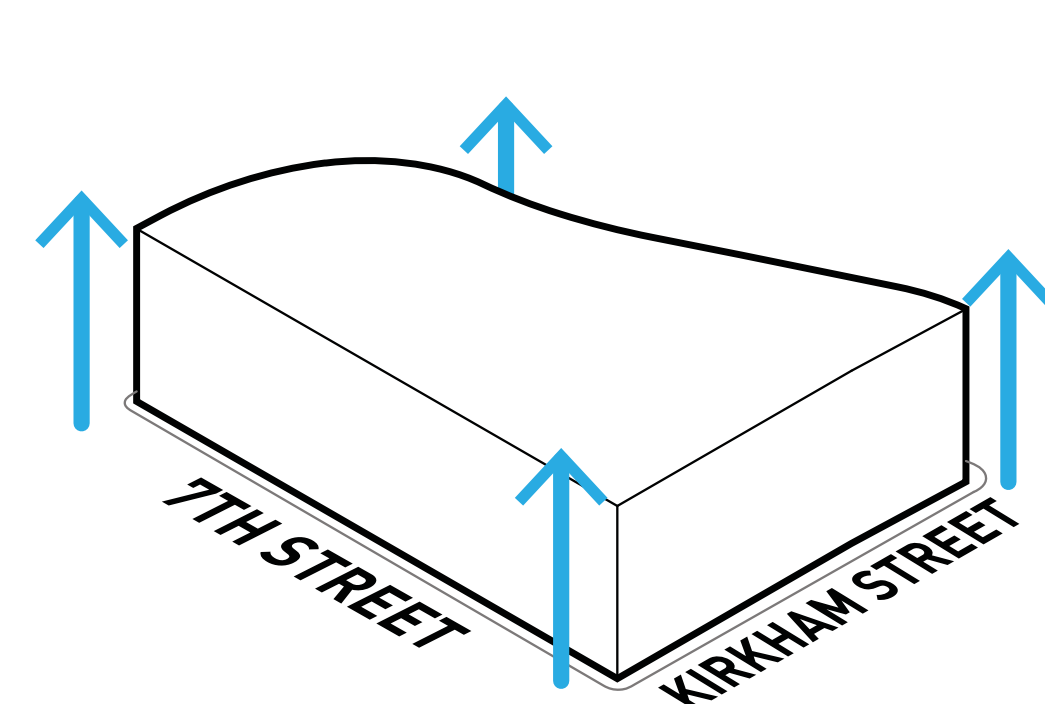


NEW TOWER AS AN ICONIC GATEWAY TO WEST OAKLAND AND OAKLAND

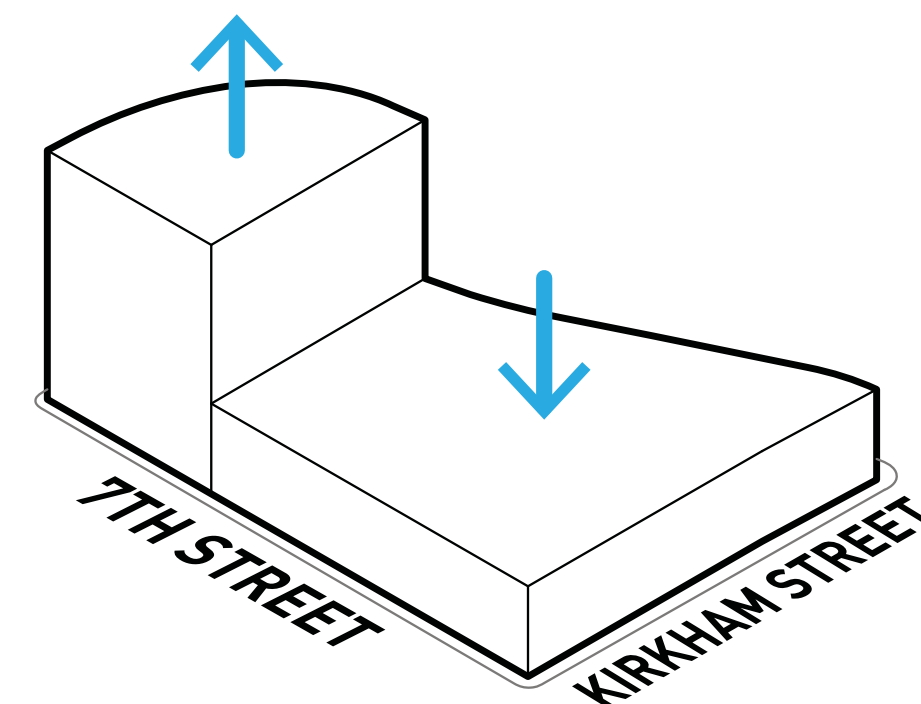


## MORPHOLOGY: CONTEXT RESPONSIVE FORM

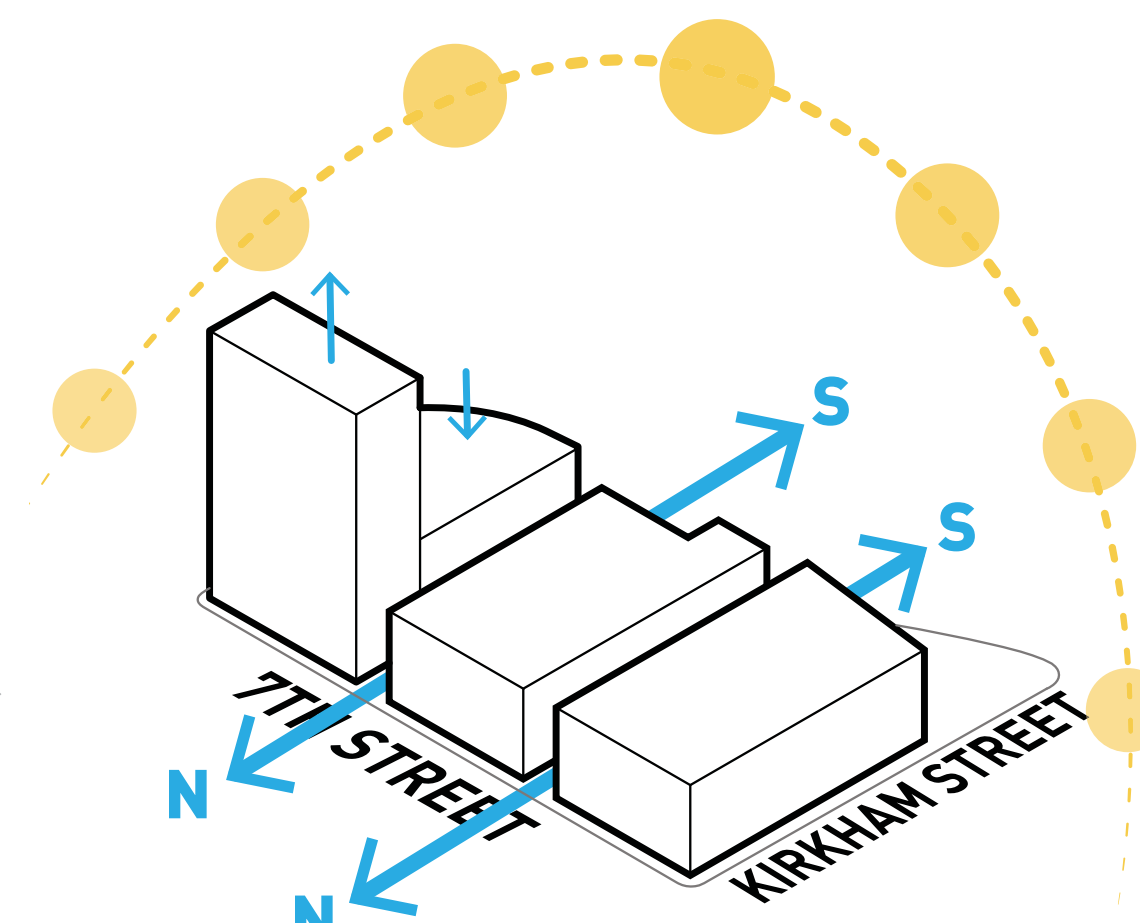
The massing strategies are a direct response to the site location and the potential role the project could play in creating a legible urban environment. The taller portion of the project connects the project to Downtown Oakland and Oakland as a whole. The site is intersected by pedestrian pathway, oriented North-South, inviting the neighborhood in, to partake in the ground floor activities. Residential courtyards are also oriented North-South to be thermally welcoming and comfortable. The iconic high-rise building is oriented facing 7th Street to reinforce the role of the street as an important boulevard in the district.



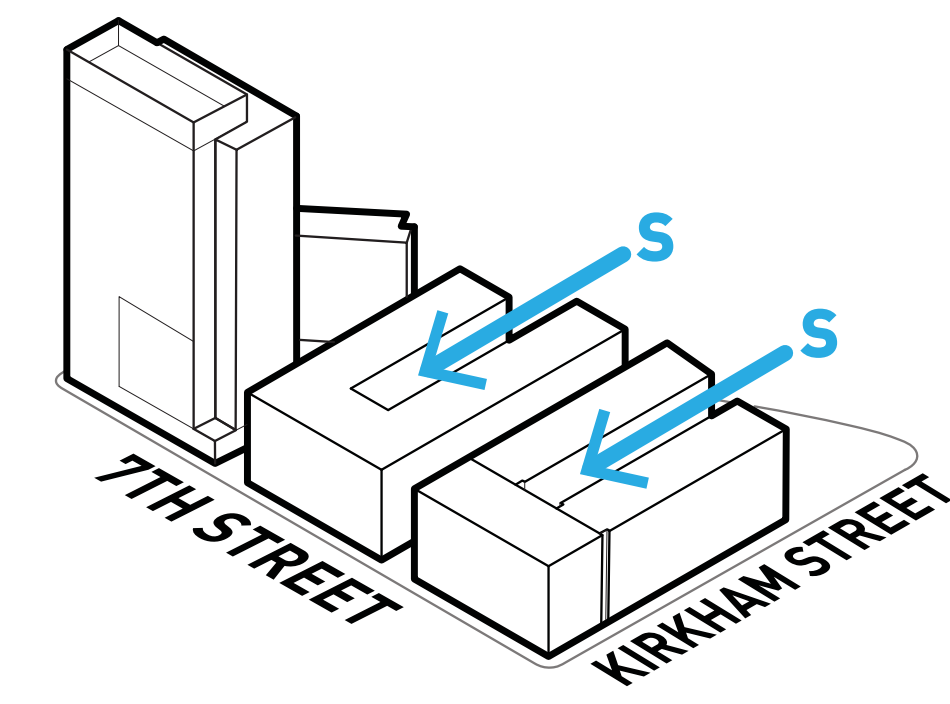
MASSING ENVELOPE



TALLER LANDMARK TOWARDS DOWNTOWN OAKLAND



OPEN SITE WITH NORTH - SOUTH PEDESTRIAN PATHWAYS



FORM OF BUILDINGS REINFORCES ROLE OF 7TH STREET, COURTYARDS OPEN ON TO 5TH STREET

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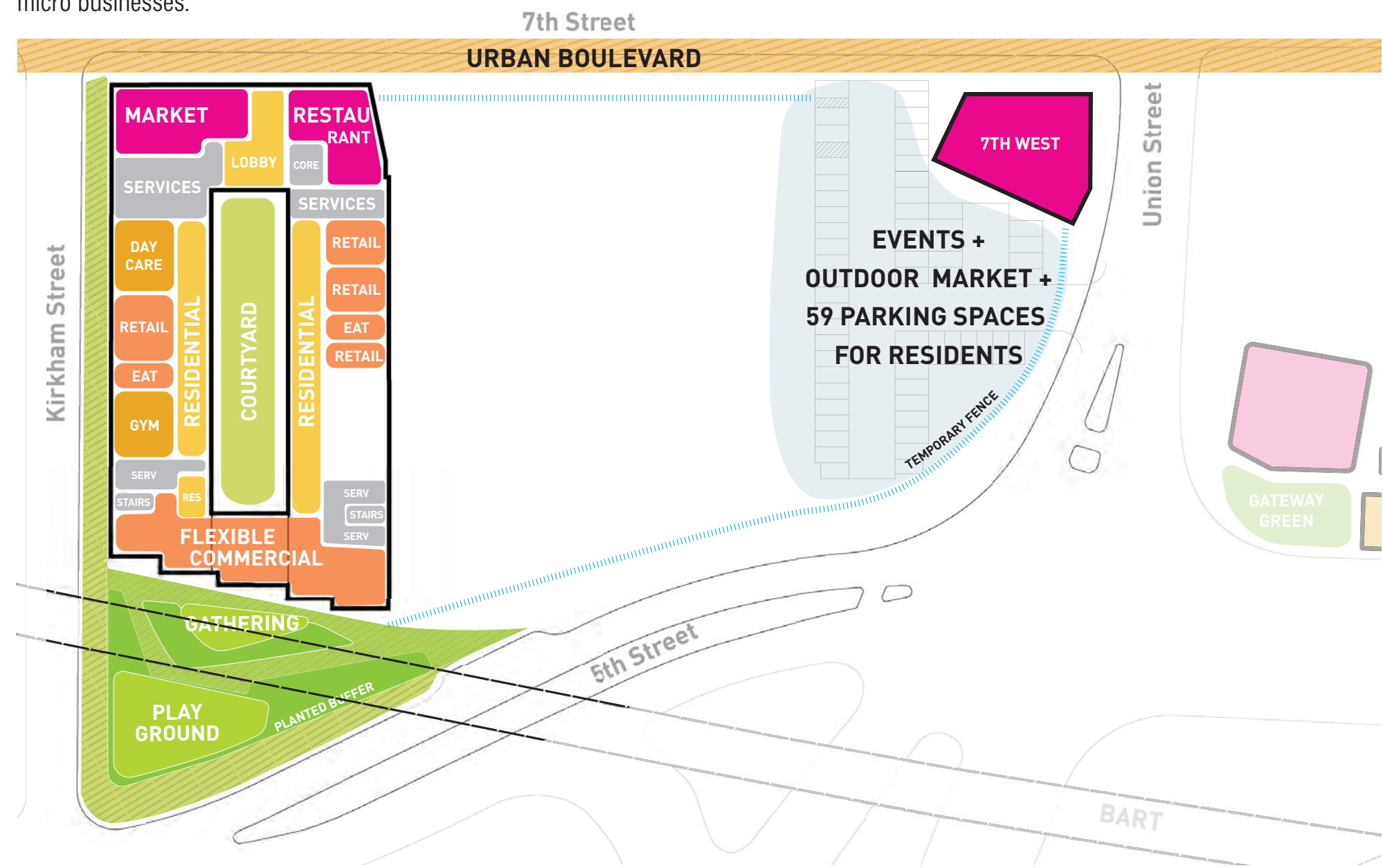
DESIGN PRINCIPLE 3

# PROMOTE AN ACTIVE GROUND PLANE EXPERIENCE

## PROGRAMMING: PHASE 2

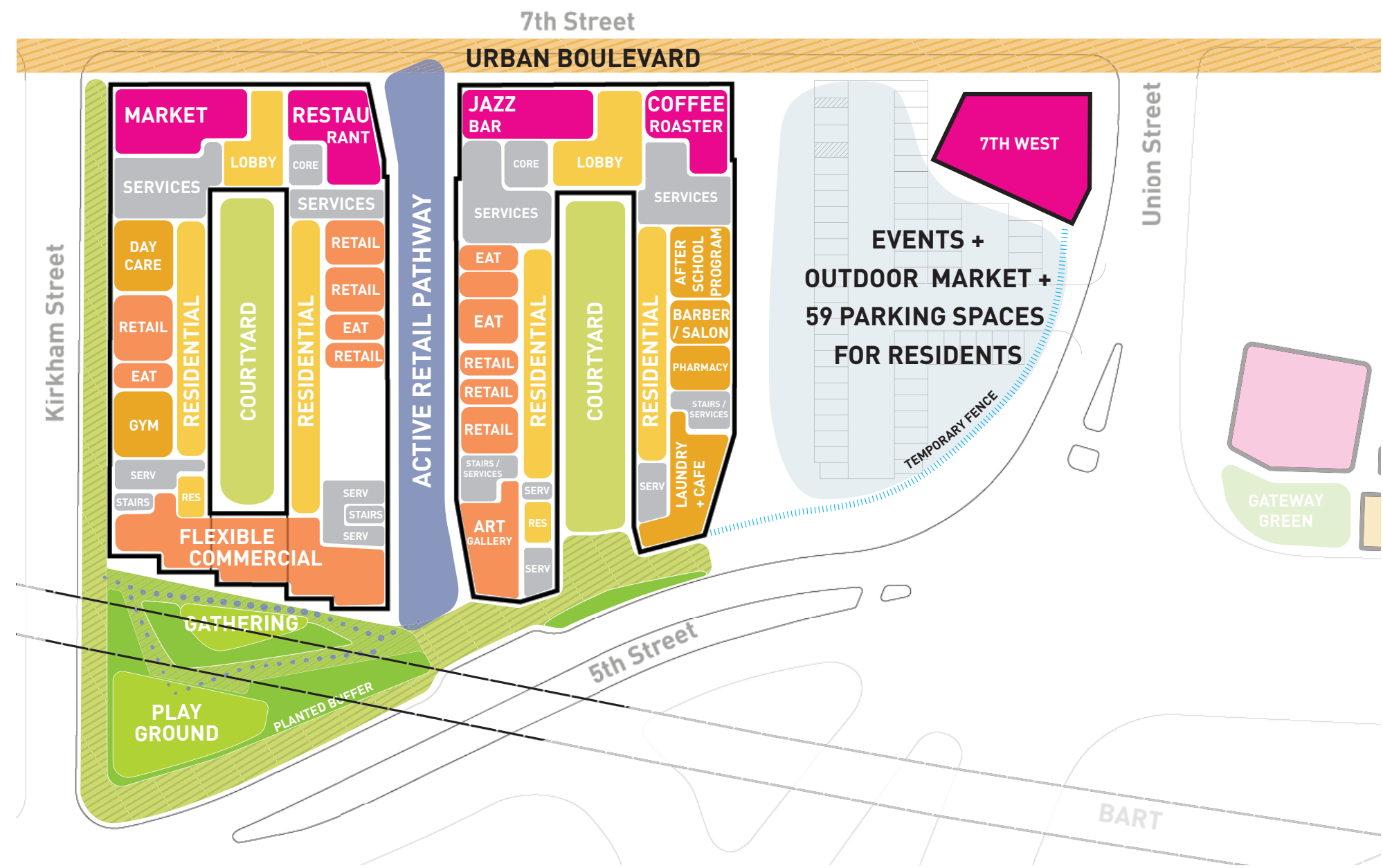
The ground plane diagram indicates how the public realm could begin the transformation of the area in Phase 2 as an attractive and active urban place. Kirkham retail frontage will be the first experience that pedestrians coming from the West Oakland BART station will encounter. The retail frontage on Kirkham will provide a strong connection to the open space located under the BART elevated tracks that is also activated with additional commercial frontage. This new park/open space will become a social destination in the district and will set the tone for the overall transformation of the area.

The surface lots adjacent to the 7th West business (Phase 2 Site) will be used for public events such as a farmers' market, pop-up performances, art shows, movie nights, and other social events to bring 500 Kirkham and surrounding community together even before final project completion. This phase will lay the ground work and connect the site's open space network and active program into a rich and active public realm. The seeds for the active retail pathway will take shape and provide West Oakland with unique opportunities for businesses and micro businesses.



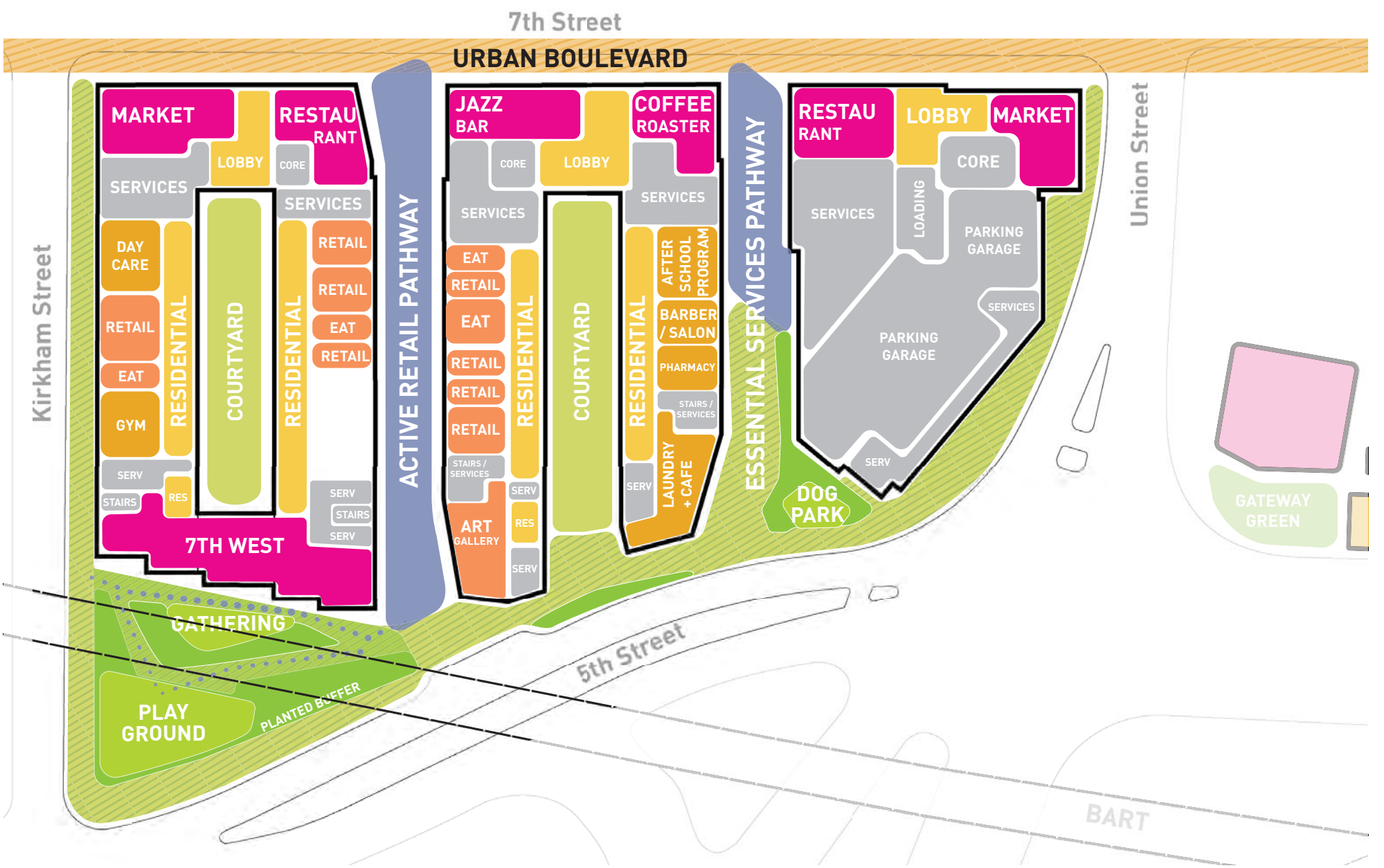
## PROGRAMMING: PHASE 3

Once Phase 2 is complete, two unique pedestrian pathways will contribute to a rich public realm, in addition to the 7th Street and 5th Street active frontages. The "Essential Services Pathway" which by that time will be framed only by one building, focuses on providing residents and neighbors with essential services such as after-school care, laundromat, food market, drugstore, and bike repair while the "Active Retail Pathway" will be a new destination in the district. Between both pathways, a wide range of uses would serve the local population, while the retail and business opportunities would provide much-needed activation to the area.



## PROGRAMMING: PHASE 4

Once Phase 3 is complete, two unique pedestrian pathways will be fully created and will contribute to create a rich public realm in the project, in addition to the 7th Street and Kirkham Street active frontages. In addition to the role of providing amenities for residents, the "Essential Services Pathway" will also be an extension of the open space network along 5th street and provide space for a dog park, encouraging social interaction between the 500 Kirkham residents.

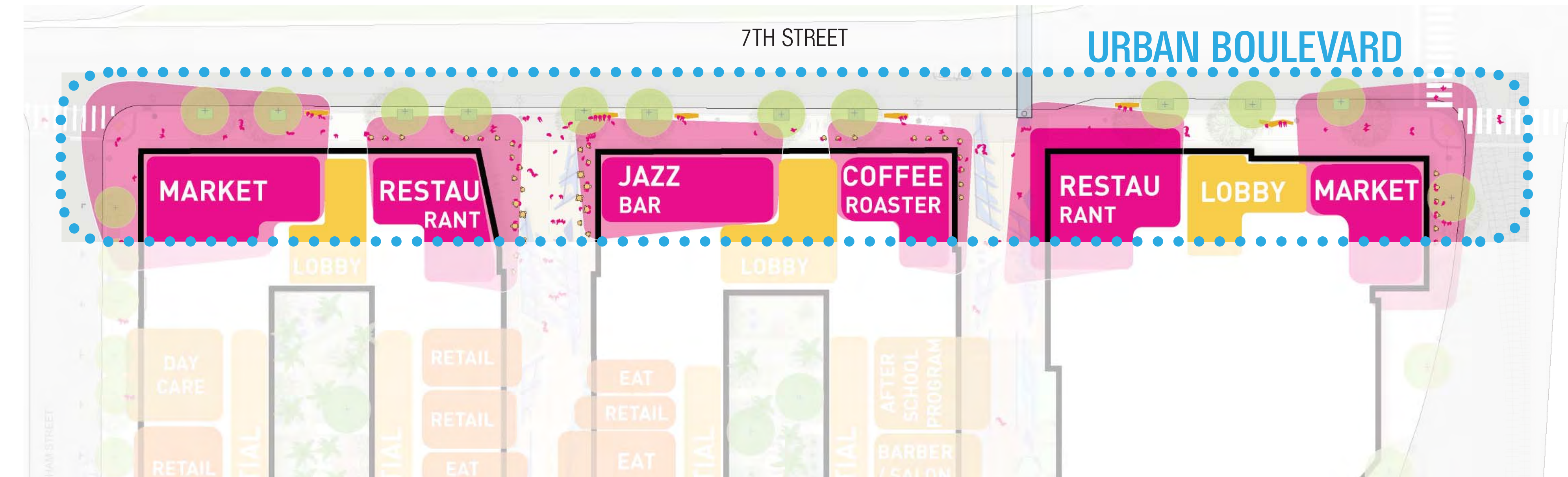


DESIGN PRINCIPLE 4

# REPOSITION 7TH STREET AS THE MAIN BOULEVARD OF WEST OAKLAND

## 7TH STREET AS AN URBAN BOULEVARD

7th Street is repositioned as the main street of West Oakland through significant urban architecture that responds appropriately to the scale of the boulevard and by locating anchor retail tenants along the frontage. The retail frontage is maximized along the length of the boulevard to ensure a vibrant urban experience that builds on the unique heritage of the district, including markets, food destinations, and a jazz performance space. The residential lobbies will have a limited presence on the boulevard and serve primarily as welcoming spaces for social interaction between residents and visitors. The retail storefront design will be open to invite the local neighborhood to engage with the project. The 7th Street sidewalk is designed to be generous in width, accentuated with a recessed ground floor and will include bike parking, outdoor seating, and street trees.



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# CREATE UNIQUE AND COMFORTABLE PEDESTRIAN PATHWAYS TO SUPPORT THE CREATIVE ECONOMY OF WEST OAKLAND

## PATHWAY TYPOLOGIES

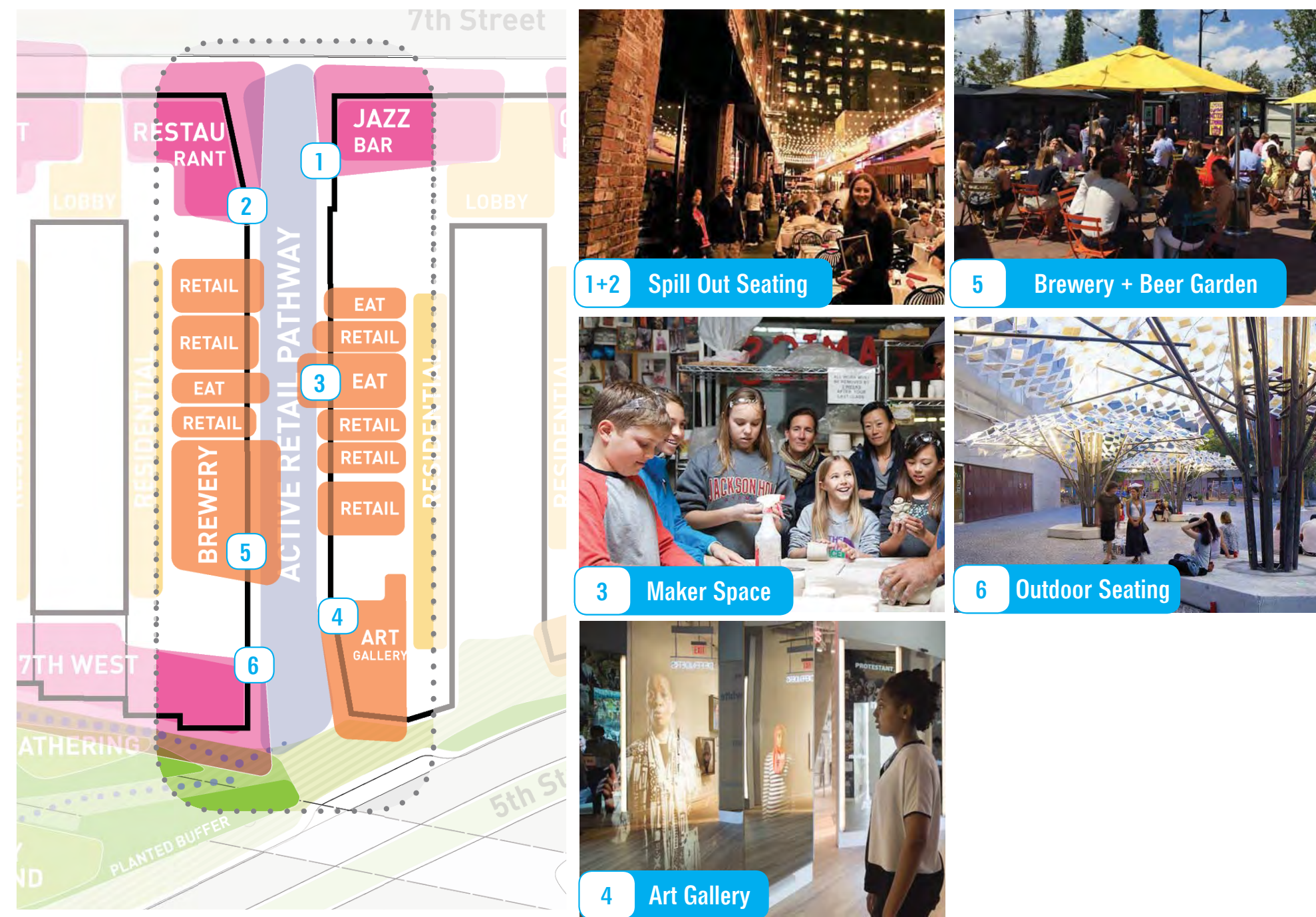
The character and experience of the pedestrian pathways are designed and programmed to provide on-site services for residents as well as a new destination for the people of Oakland. The eclectic mix of proposed uses, materials, façade design, and signage bring a human scale to the walkways. These pathways do not have curb cuts and are designed to be predominantly pedestrian-accessible. However, service and emergency vehicles will have access to them through a combination of rolled curbs and removable bollards. Vehicular access to the pathways will be restricted to non-peak hours for deliveries and/or emergencies.

### ACTIVE RETAIL PATHWAY

The Active Retail Pathway serves as the more prominent, public-facing pedestrian pathway – a new destination for both on-site residents and locals of Oakland. The character of the place intends to be energetic and inviting by providing ample types of outdoor seating, lighting, and various retail uses on both sides. Potential programming includes art galleries, performance spaces, beer garden, cafes, and incubators/makerspaces.

### PASSIVE ESSENTIAL SERVICES PATHWAY

To complement the Active Retail Pathway, the Essential Services Pathway's main purpose is to serve the residents of the project by providing more family-oriented, passive activation zones. Potential retail uses include a children's after-school program, laundromat, a workout space, and shared work spaces. The parking garage in Building 3 will be screened with lush vegetation.



## PATHWAY DEVELOPMENT STRATEGY

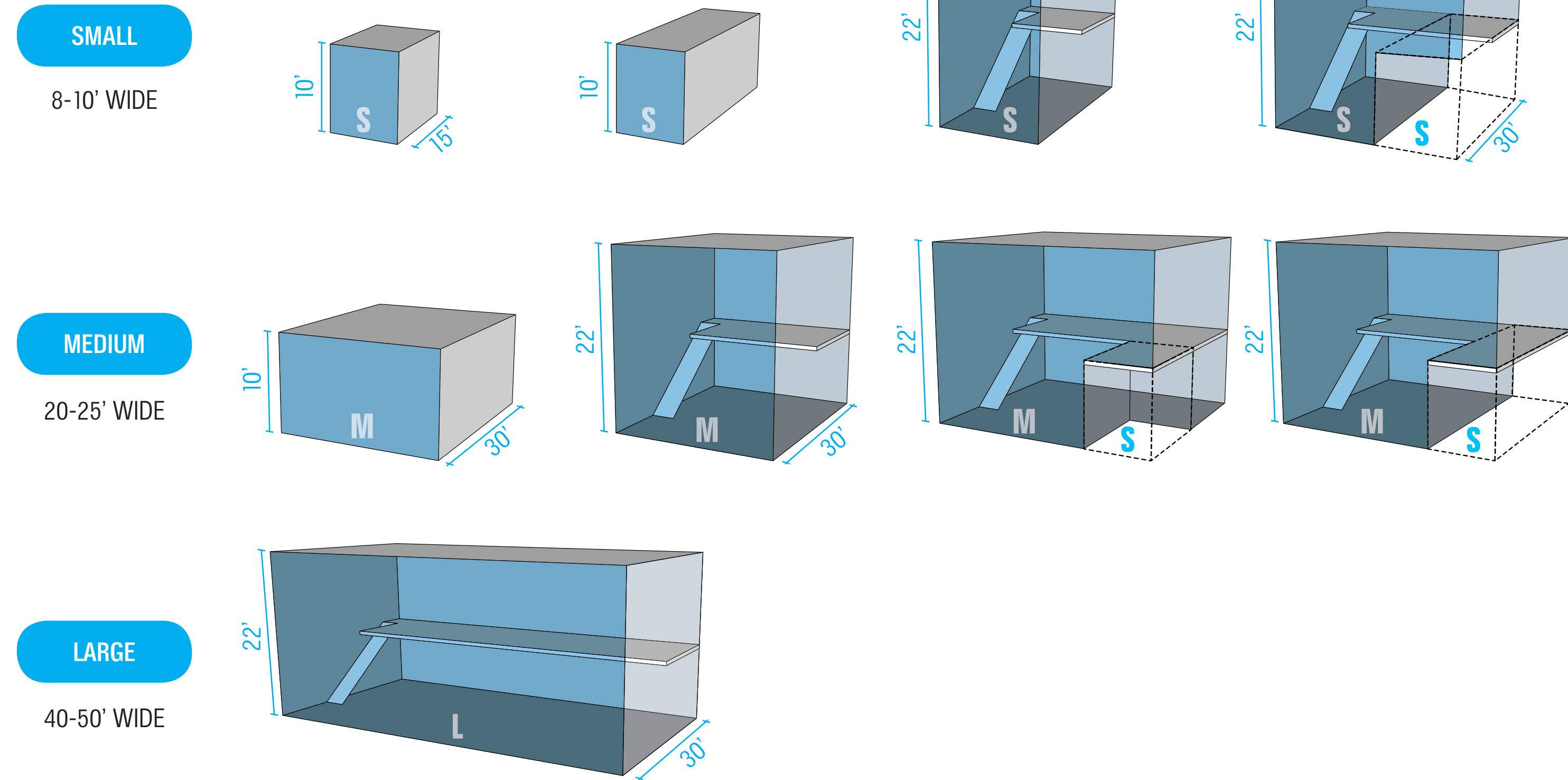
In order to provide human scale and a unique character to each pedestrian way, the façade of the buildings facing the pathways are broken down in scale through material changes and architectural features to visually lower the perceived height of the façades. Finally, at the ground floor, a variation in storefront configurations and a wide range of programming ensures interesting and active frontages along the entire walkways. In addition, a horizontal canopy on the Active Retail Pathway will reinforce a human scale and provide visual interests and a unique destination in the City.



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## STOREFRONT VARIATION

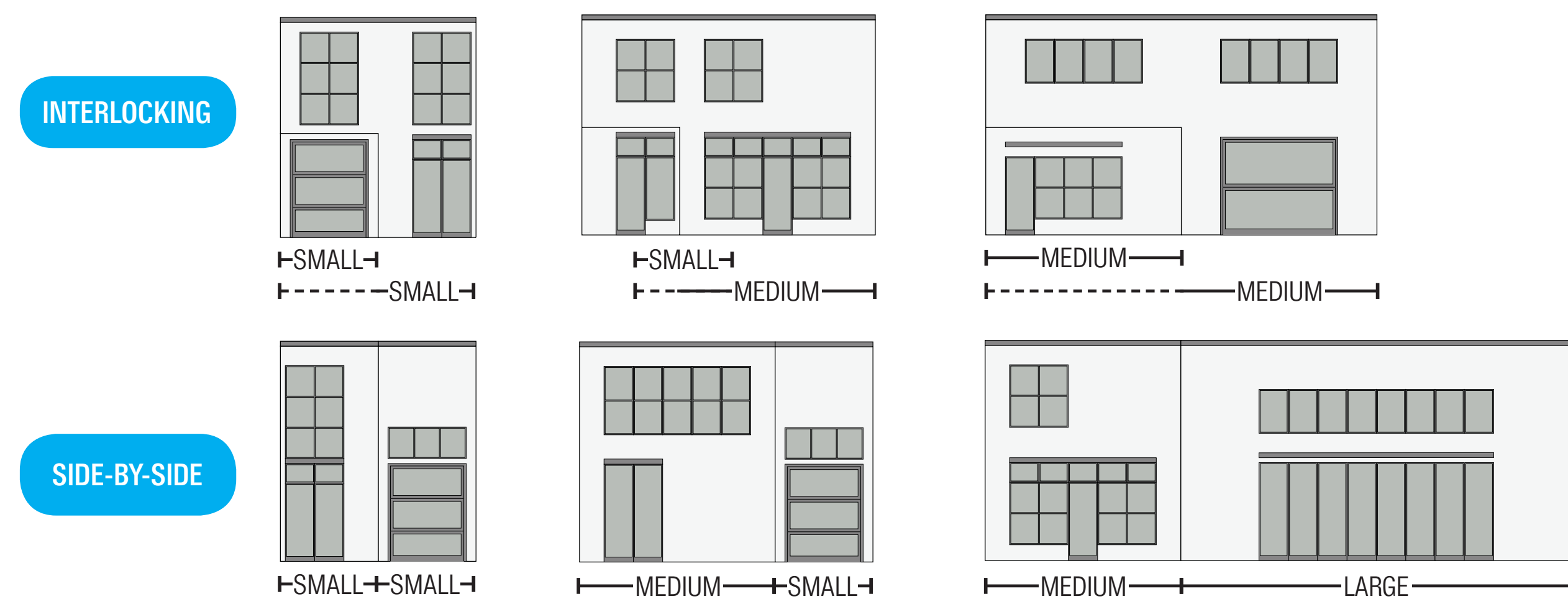
In order to attract diverse retail tenants and provide a vibrant retail environment, the design strategies for the retail frontage provide the ability to adapt the retail frontage to accommodate small (micro-retail), medium, and larger spaces with the goal to create opportunities for incubator retail and art spaces to start, grow, and expand in the pedestrian pathways. Given the taller than average ceiling heights for the ground floor retail spaces, spaces will have the opportunity to build out mezzanine levels as their businesses expand.



RENDER OF ACTIVE RETAIL PEDESTRIAN PATHWAY

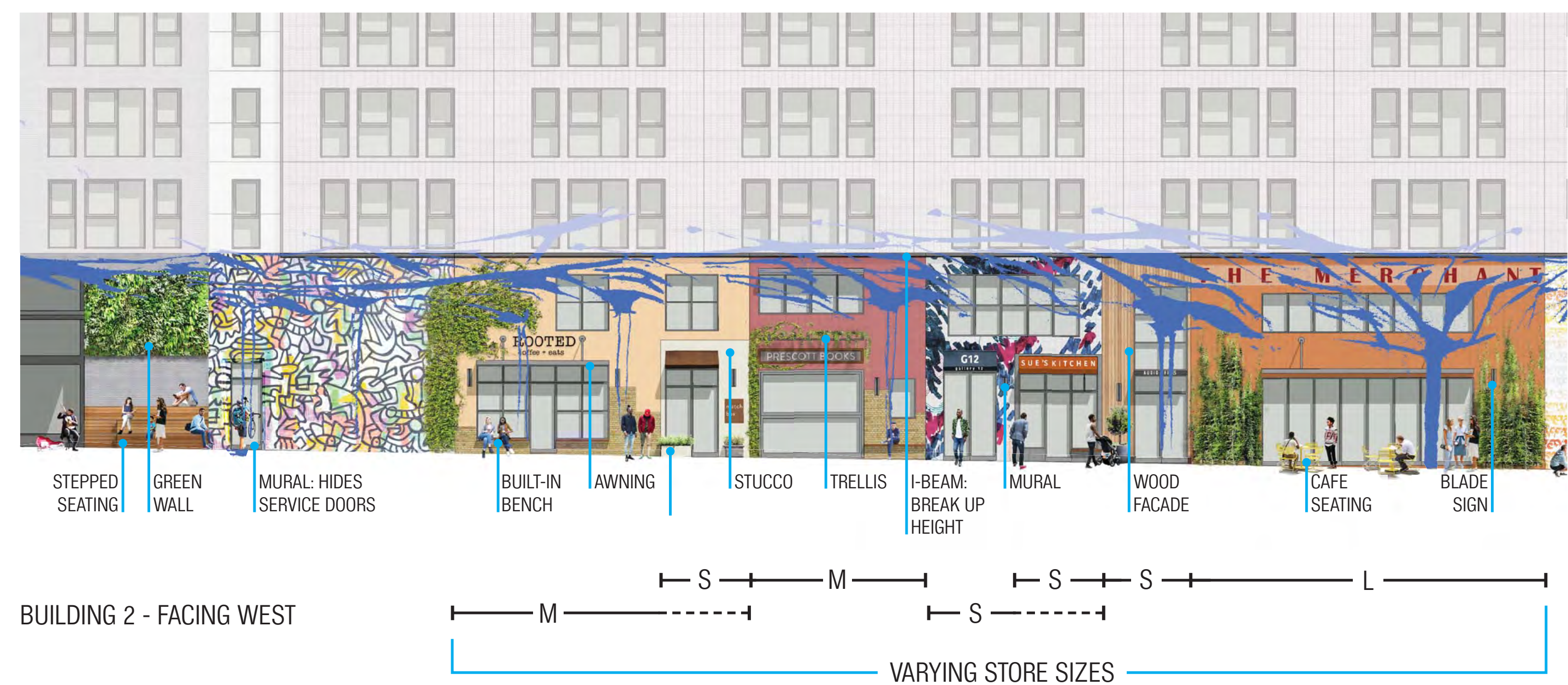
## STOREFRONT COMBINATIONS

Storefronts will be designed individually by each tenant, giving unique character to each space, with the goal that the character of the pedestrian pathways will evolve over time as the businesses grow and expand and the neighborhood is transforming. This strategy invites the West Oakland creative community - specialized users and artists - to be a part of the public realm culture. Small (micro-retail), Medium, and Large stores will provide opportunities for incubator retail and art spaces to start, grow, and expand.



## CONCEPTUAL RETAIL PATHWAY ELEVATION WITH SAMPLE COMBINATION

← VARYING COLORS, TEXTURES, STORE SIZES AND USES TO BREAK UP LENGTH OF PATHWAY →



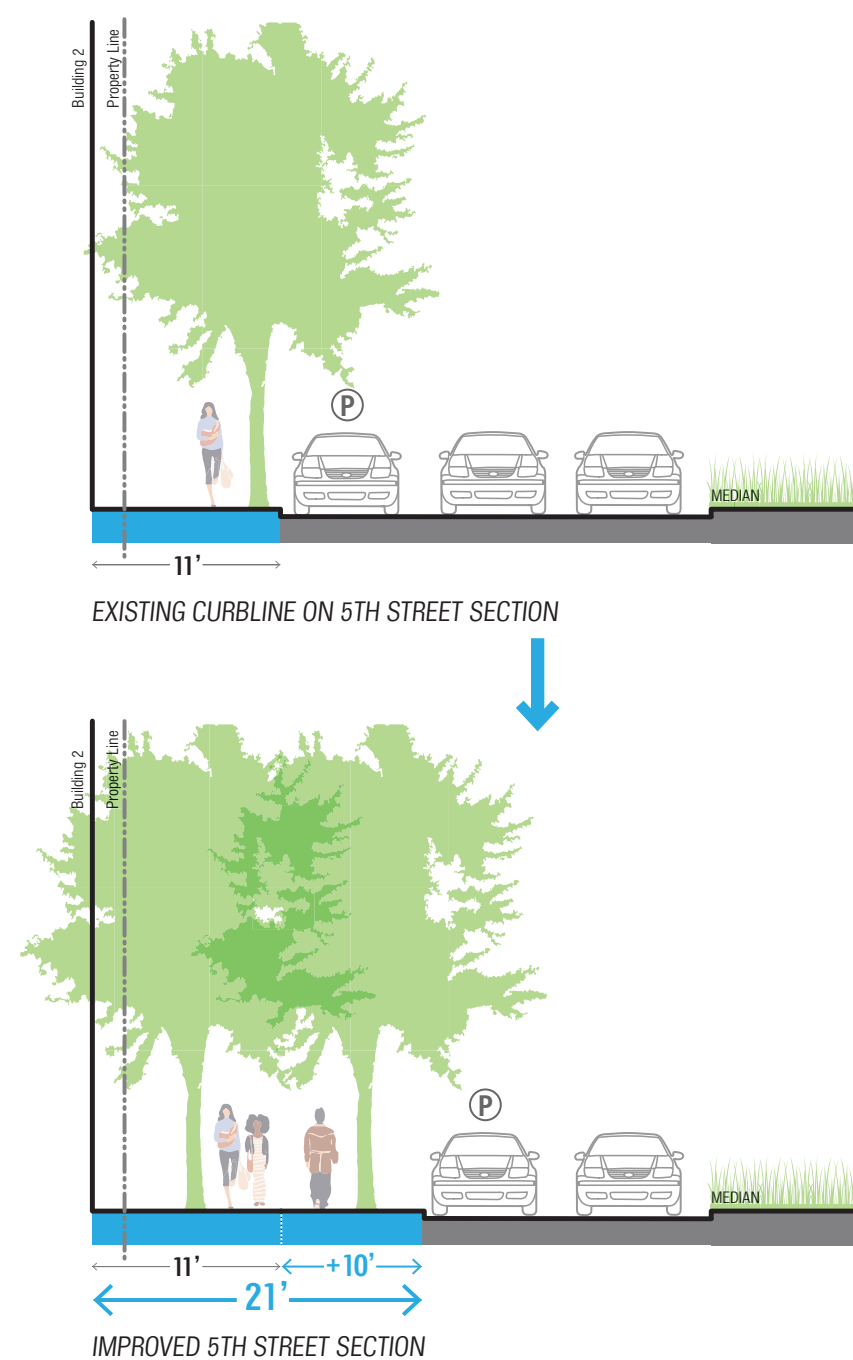
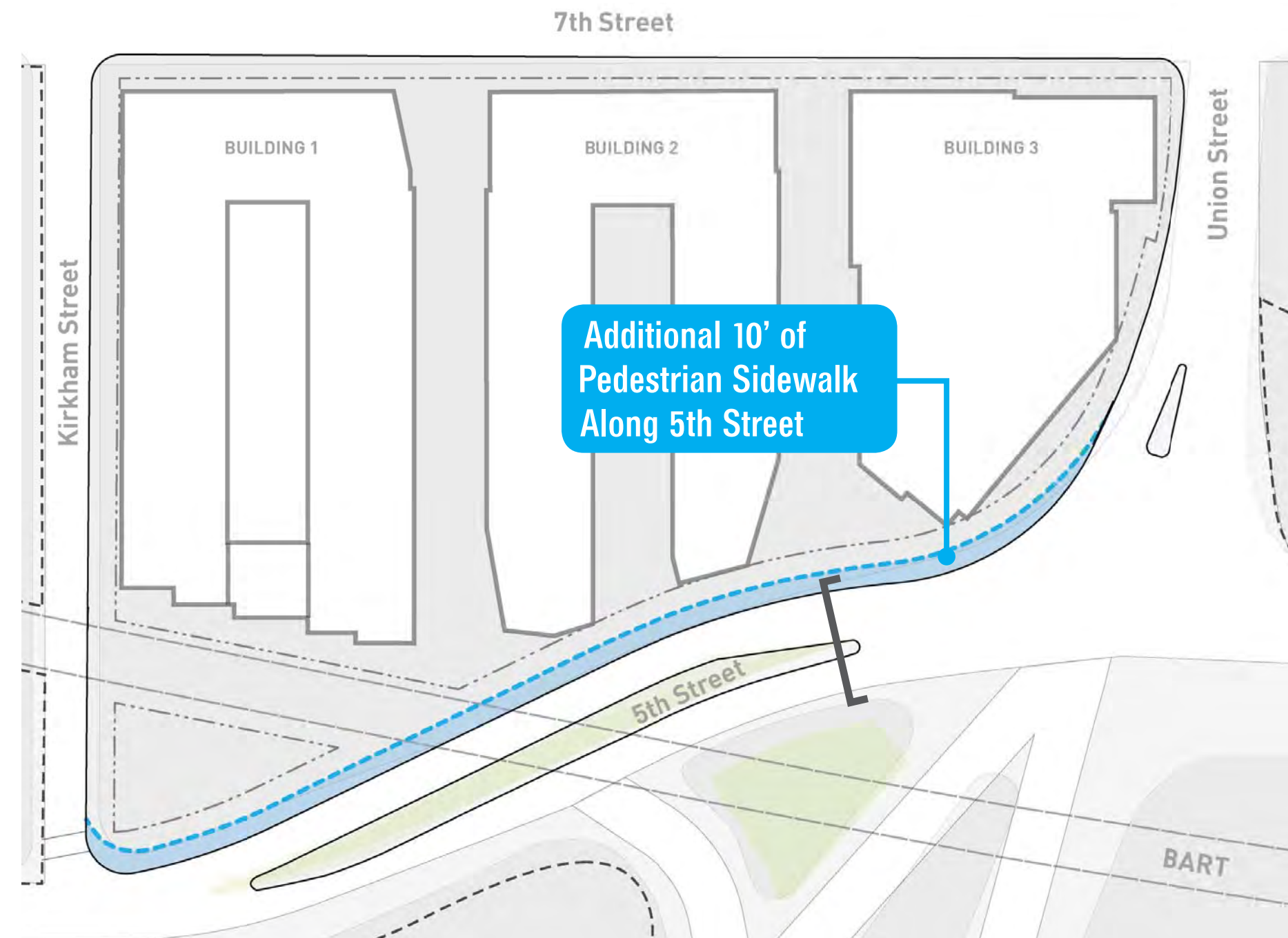
BUILDING 2 - FACING WEST

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# CURATE VARIED PEDESTRIAN EXPERIENCES ALONG 5TH STREET

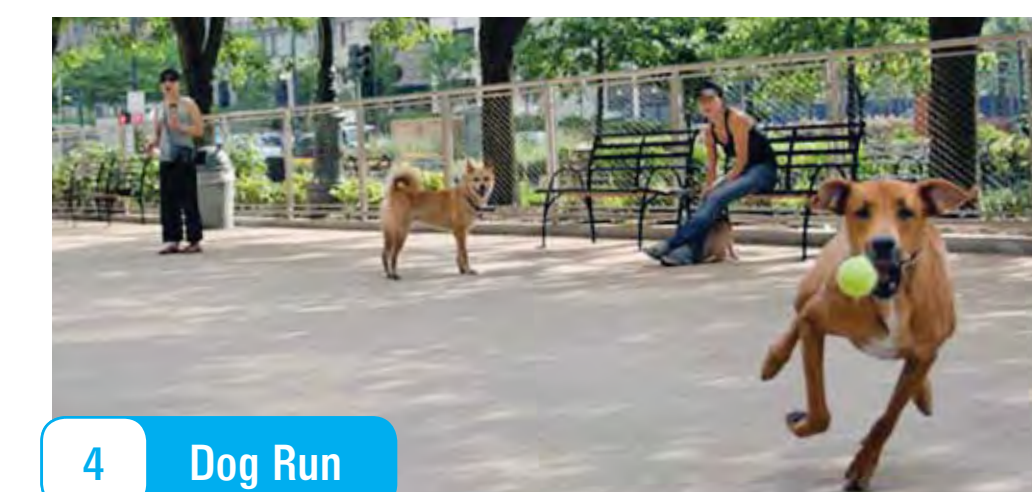
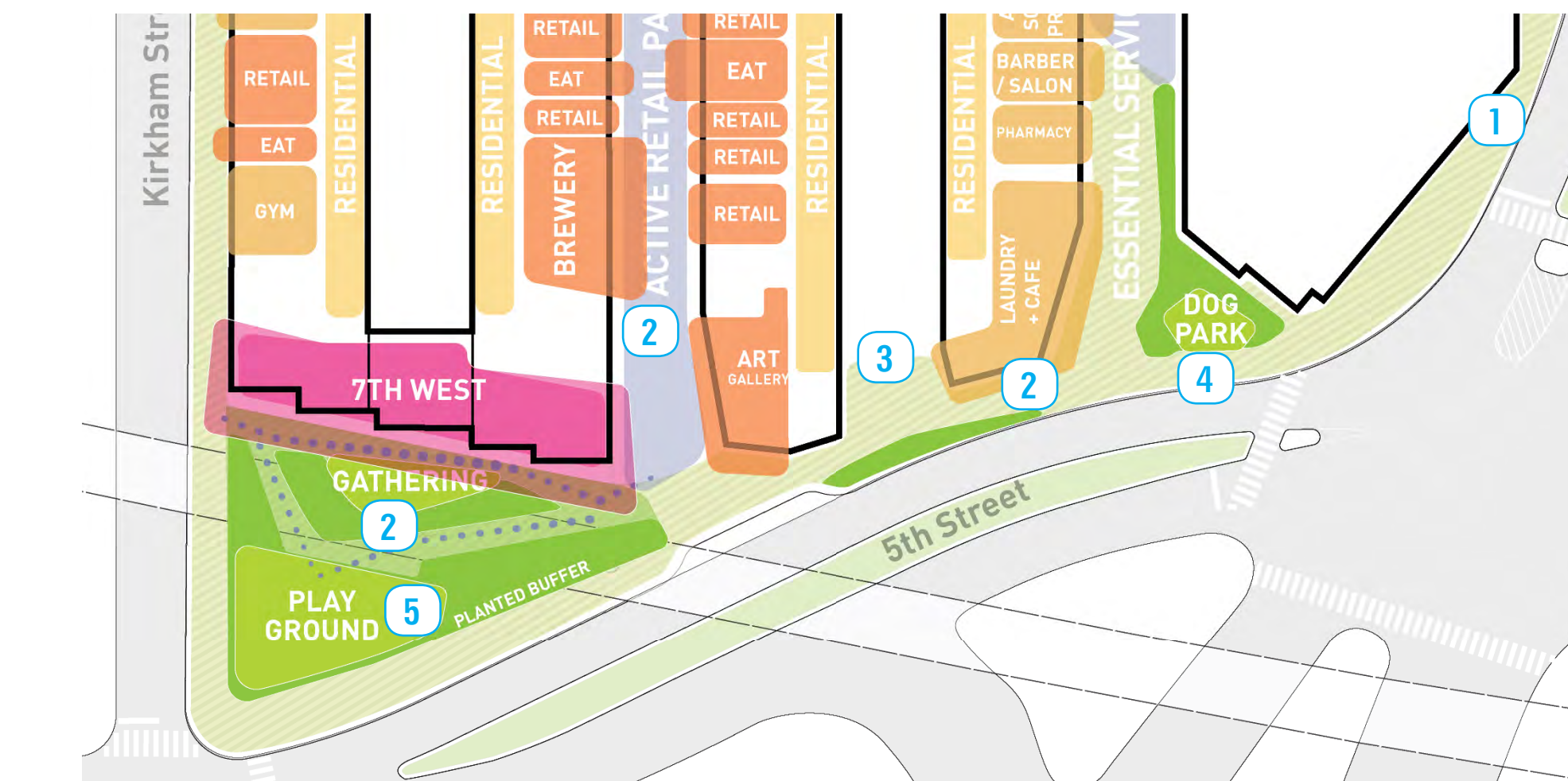
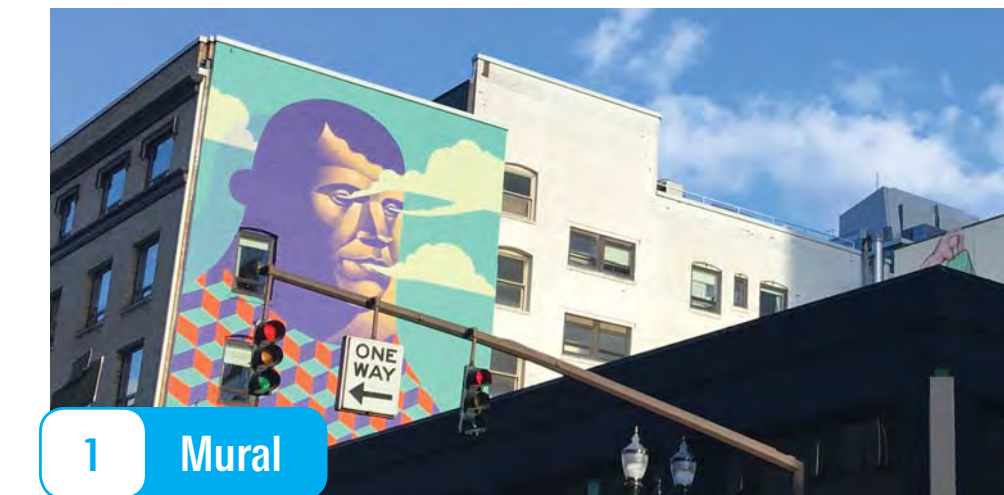
## ROAD DIET

The Project Sponsor intends to expand the sidewalk by reducing the road width along 5th Street at Union Street, in sync with the Road Diet program that the City of Oakland has embarked on, and contingent upon Caltrans and Department of Transportation approval. Additionally, the medians will be extended to create a safer mid-block crossing along 5th Street. This improvement will provide a more enjoyable pedestrian experience for people living, working, and walking in the area.



## 5TH STREET PROGRAMING

The entire open space along 5th Street is broken into subzones featuring a variety of activities and program that relate to adjacent ground floor uses. This experience serves as an additional neighborhood amenity providing a variety of on-site services for the residents and neighborhood including a dog run, groved seating, children's playground, and quality planted areas to buffer from 5th Street and the BART tracks above.



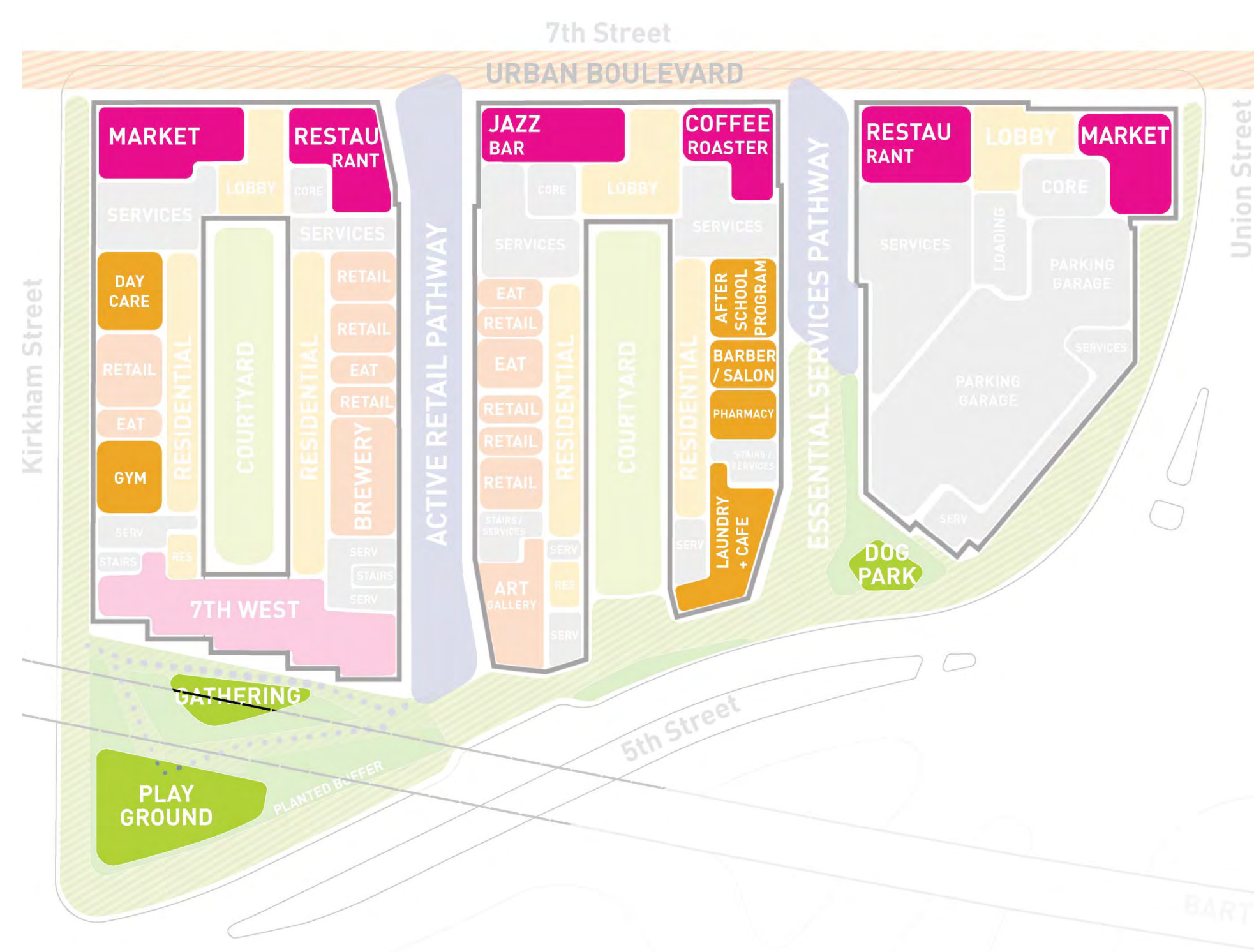
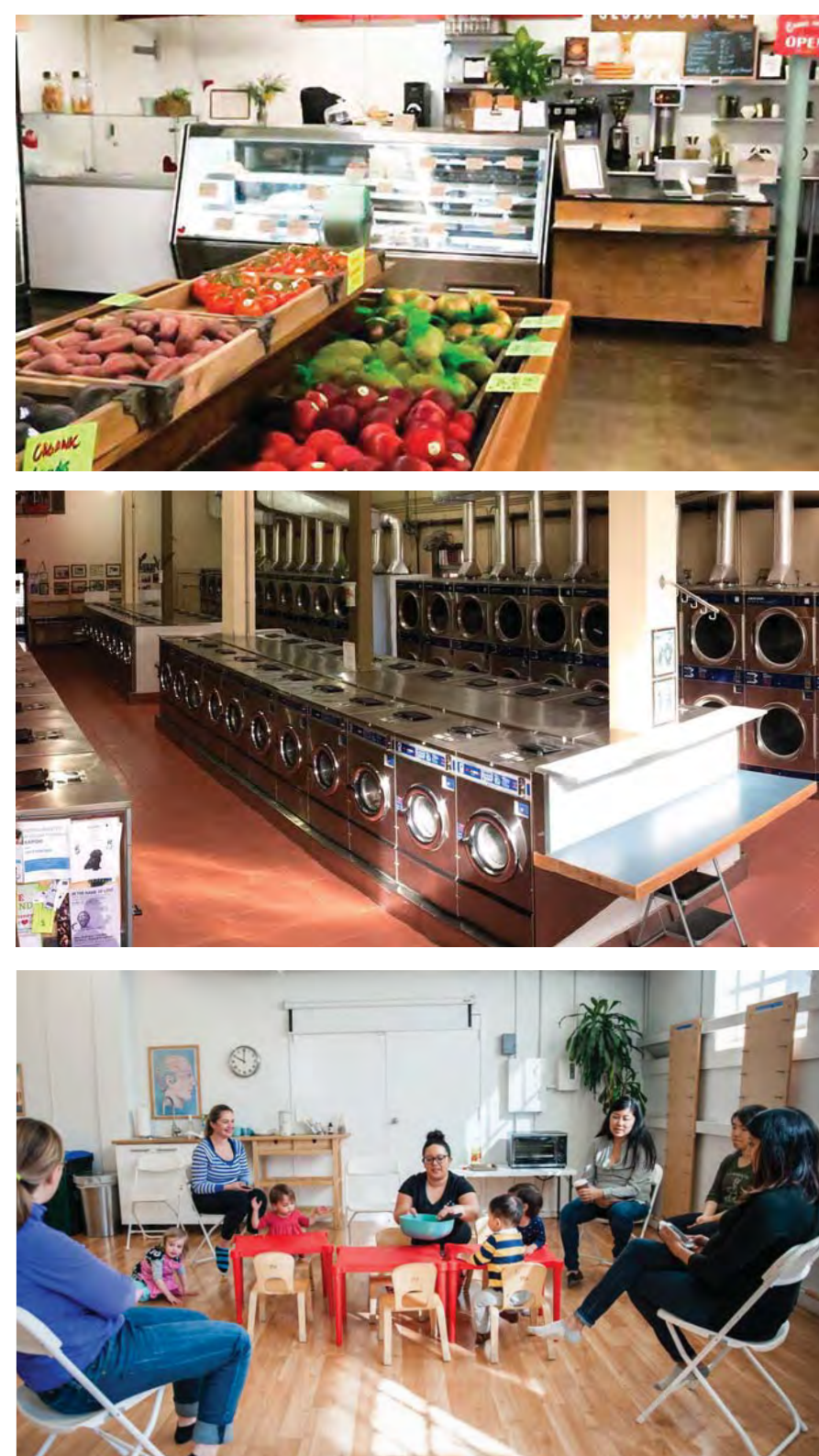
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# MINIMIZE PARKING NEEDS THROUGH ALTERNATIVE MODES OF TRANSPORTATION AND ON-SITE SERVICES

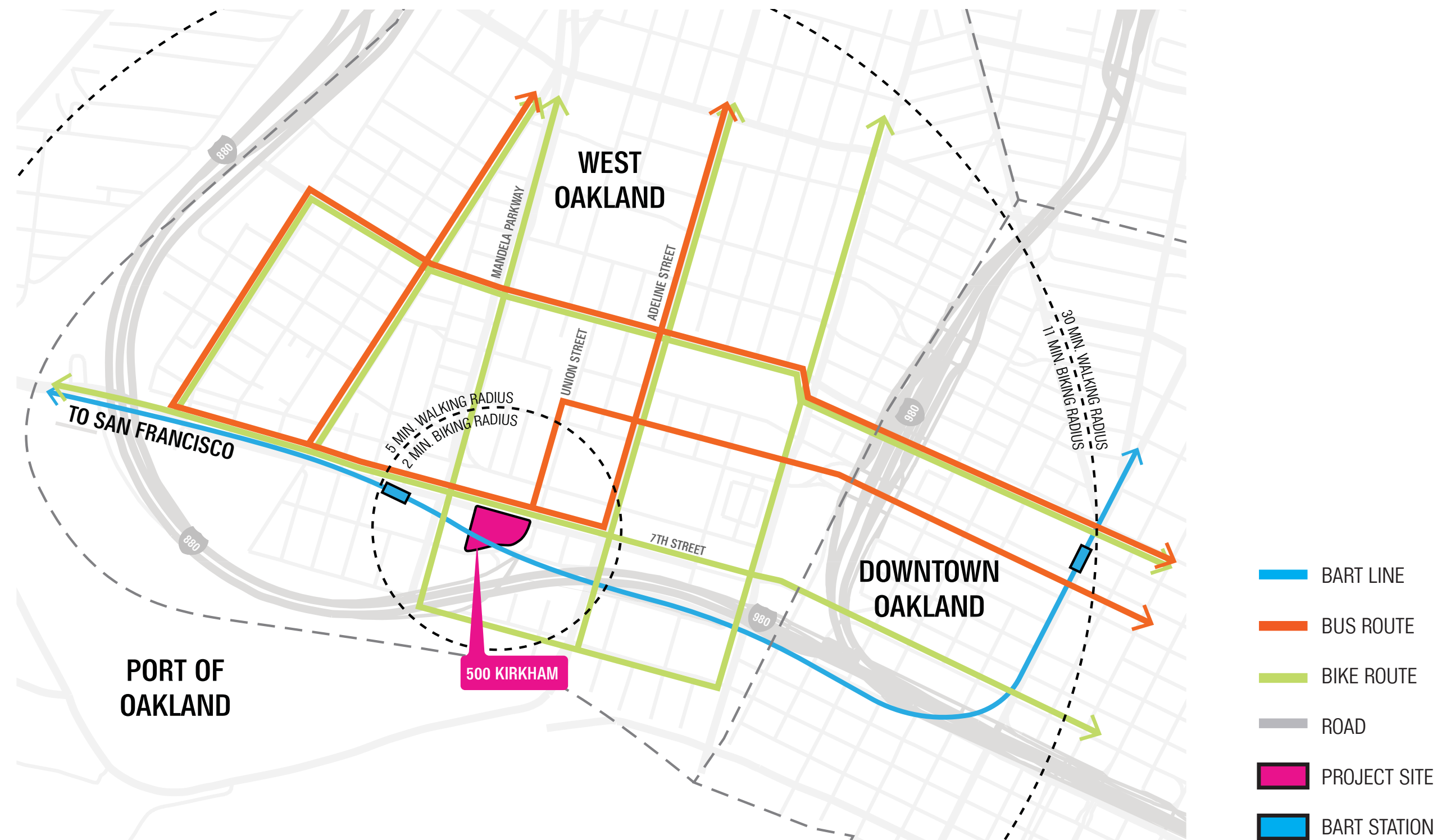
## ON-SITE SERVICES

The project is designed to include essential services on-site as a part of the ground floor activation strategies to further support a car-free lifestyle.



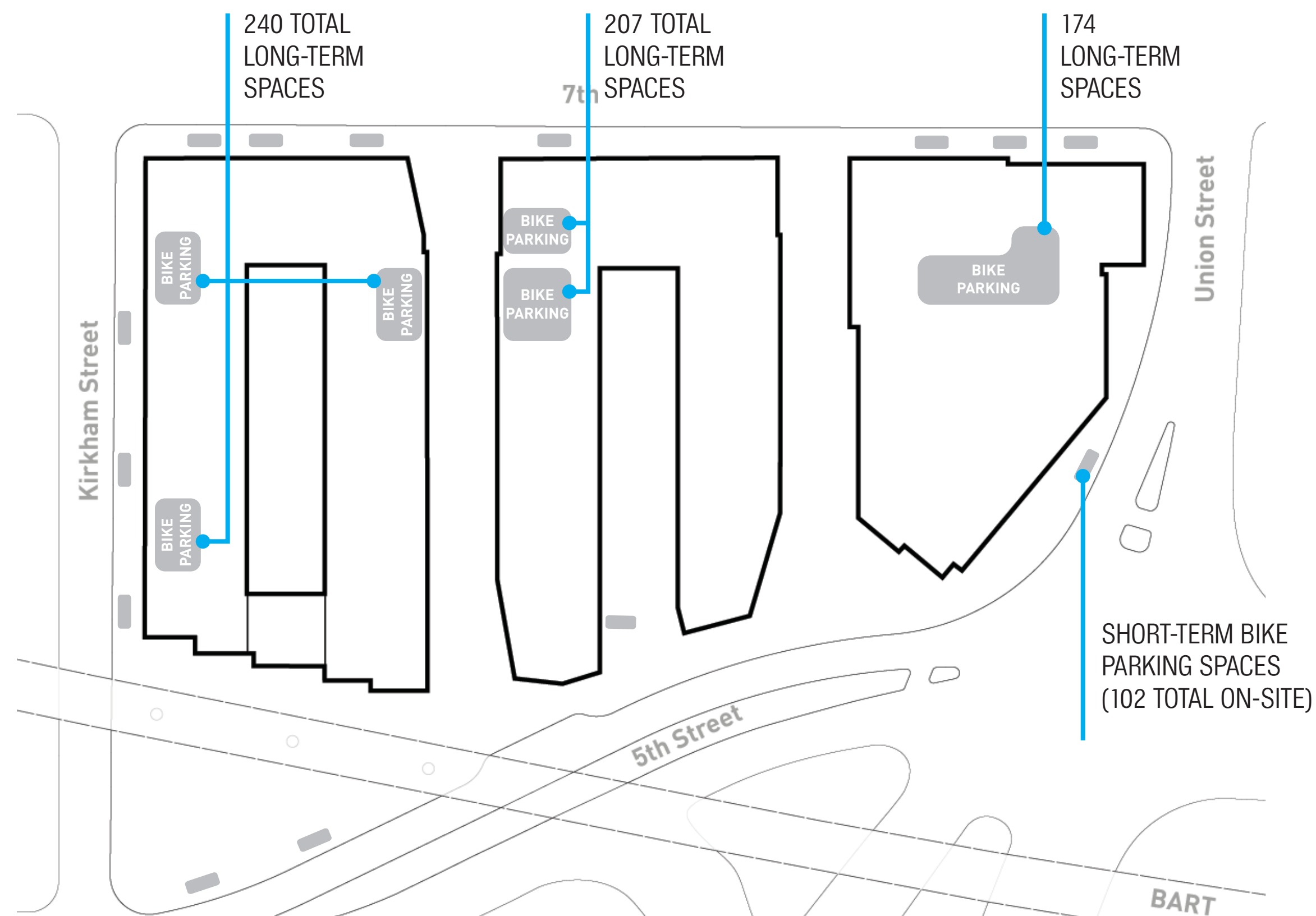
## CONNECTIVITY AND PUBLIC TRANSIT

The site is well-connected to the rest of Oakland and San Francisco through multiple modes of public transportation. With West Oakland BART station being a short walk from the project, San Francisco and Downtown Oakland become very accessible by train. The site is also well-served by existing and proposed bus routes and bike paths.



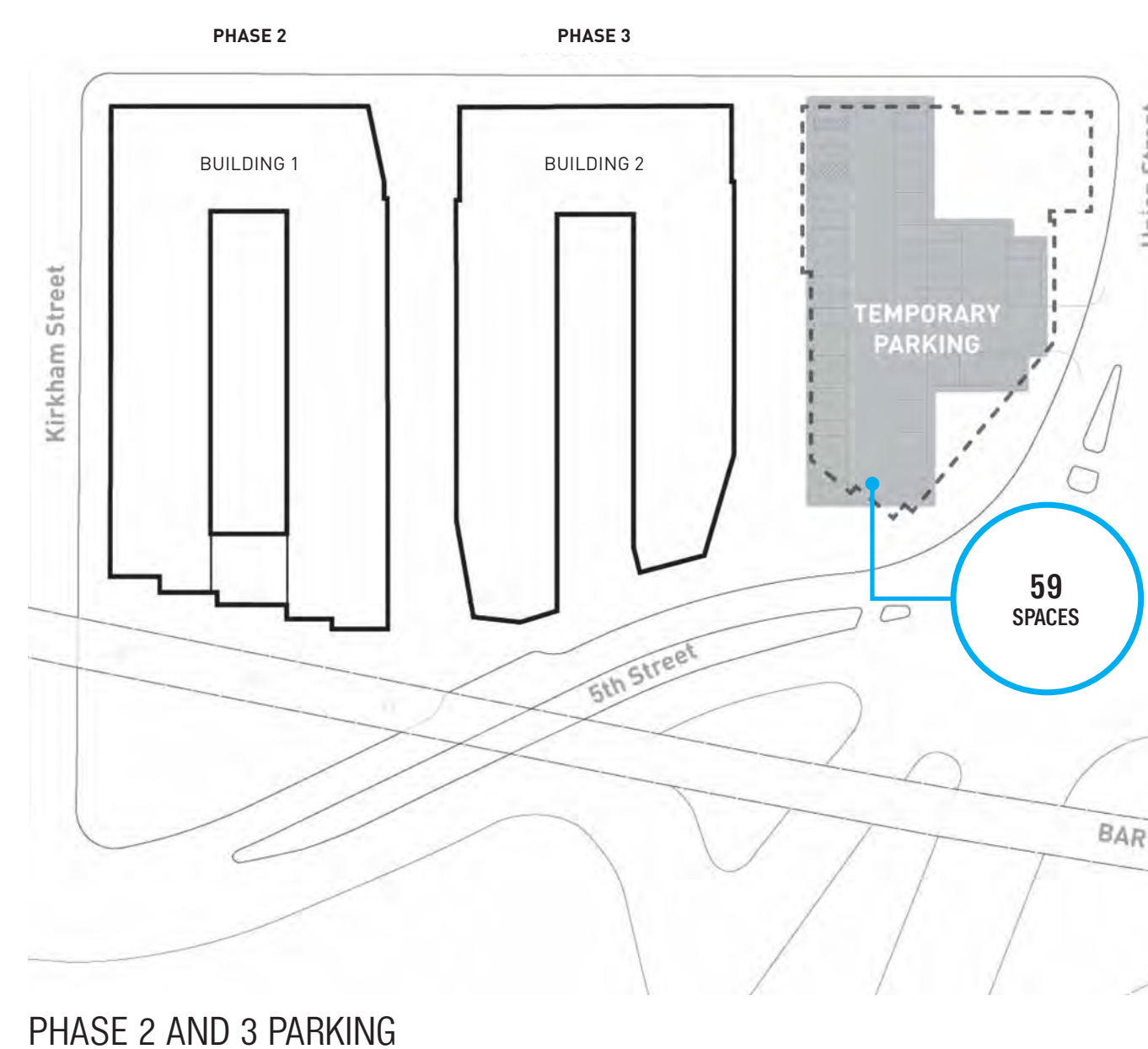
## BICYCLE PARKING

With the site's proximity to multiple modes of public transportation, the project envisions residents to be heavily reliant on public and non-vehicular modes of transport for their daily commute and last-mile connectivity. The project includes 615 bicycle parking spaces for the residents within the three buildings and an additional 102 on-site public bicycle parking provided on sidewalks along 7th, Kirkham, Union and 5th Streets totaling over 700 bicycle parking spaces for the project and exceeding the city requirement by 2.5 times.

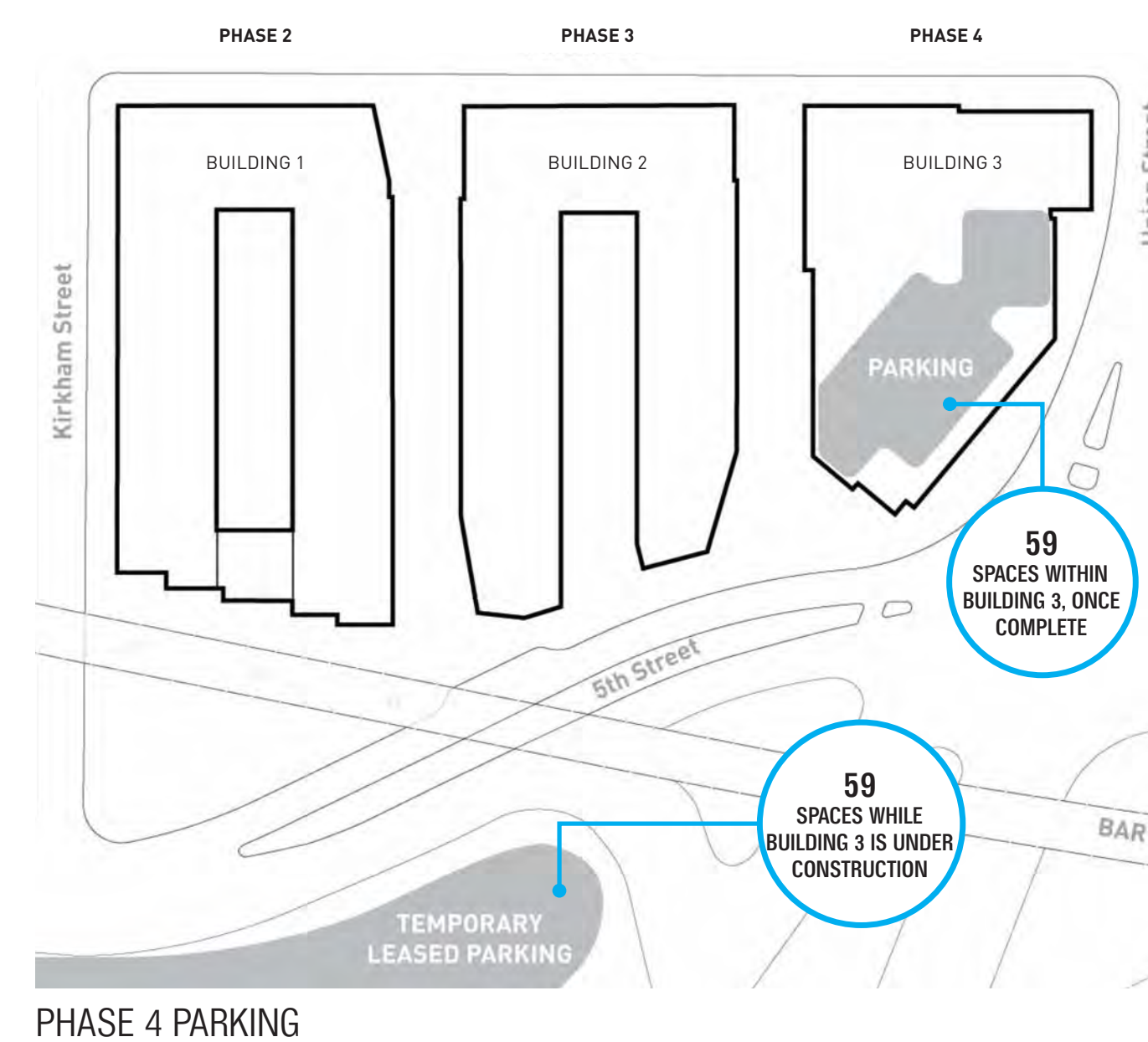


## PARKING

The parking provisions for the project are based on the future advancements in transportation technology, while responding to residents' desire for various transit options and reduced parking needs. Phase 2 and 3 (completion of Building 1 and 2, respectively) would include 59 on-site parking spaces on the existing surface parking lot. In Phase 4, the surface parking lot would be replaced with parking garage with 59 spaces in the ground floor of Building 3. During the construction of Building 3, leased parking across the street would provide 59 spaces.



PHASE 2 AND 3 PARKING



PHASE 4 PARKING

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TOWER | MASSING ANALYSIS

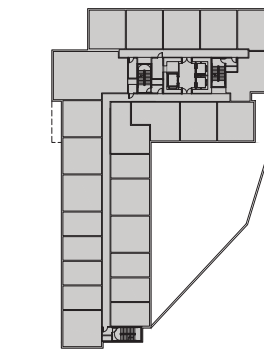
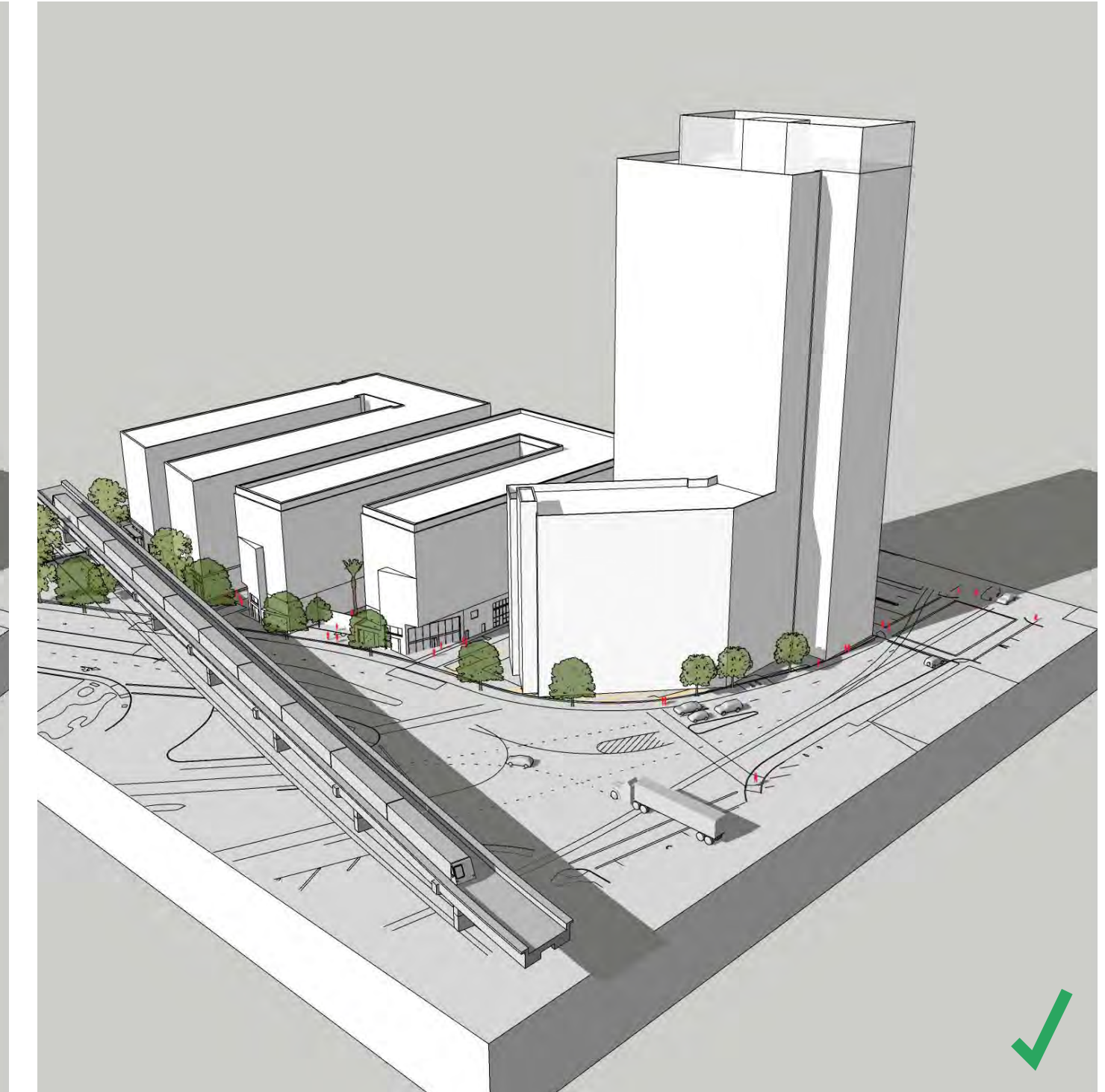


- BULKY
- UNFORGIVING

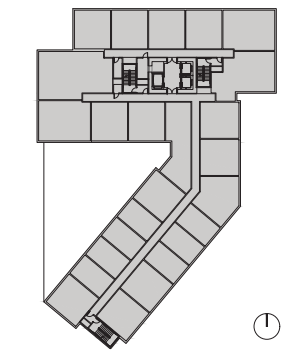


- REDISTRIBUTE MASSING
- SLENDER TOWER, SHORTER PODIUM
  - DIFFERENTIATION BETWEEN TOWER AND PODIUM
  - BETTER LIGHT PENETRATION

TOWER | MASSING ANALYSIS



- PLAN ANALYSIS
- ACTIVATE STREET WALL ON UNION ST
  - BETTER LIGHT PENETRATION INTO THE ALLEY



TOWER | MASSING ANALYSIS

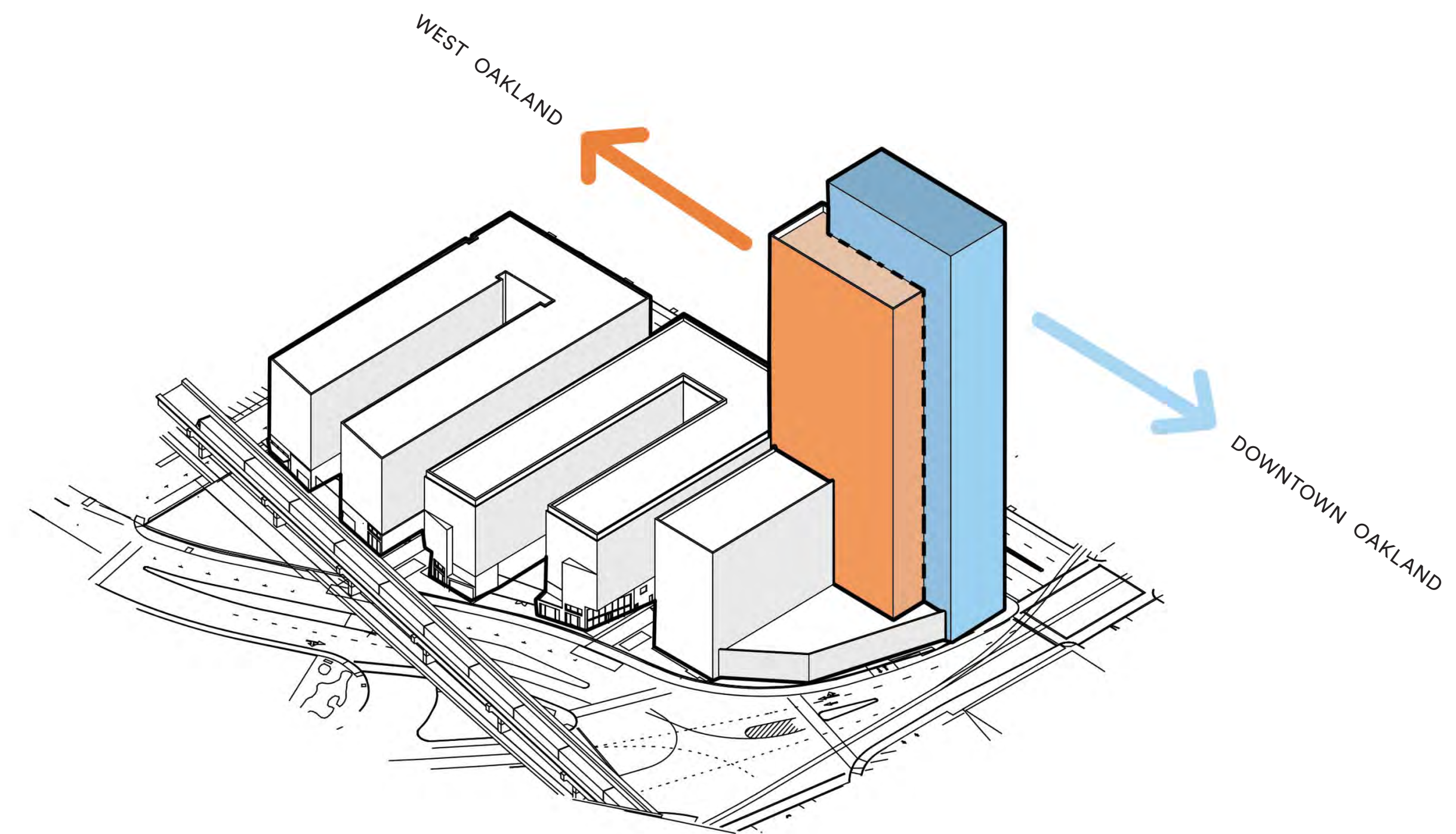


- TOWER MEETS GROUND

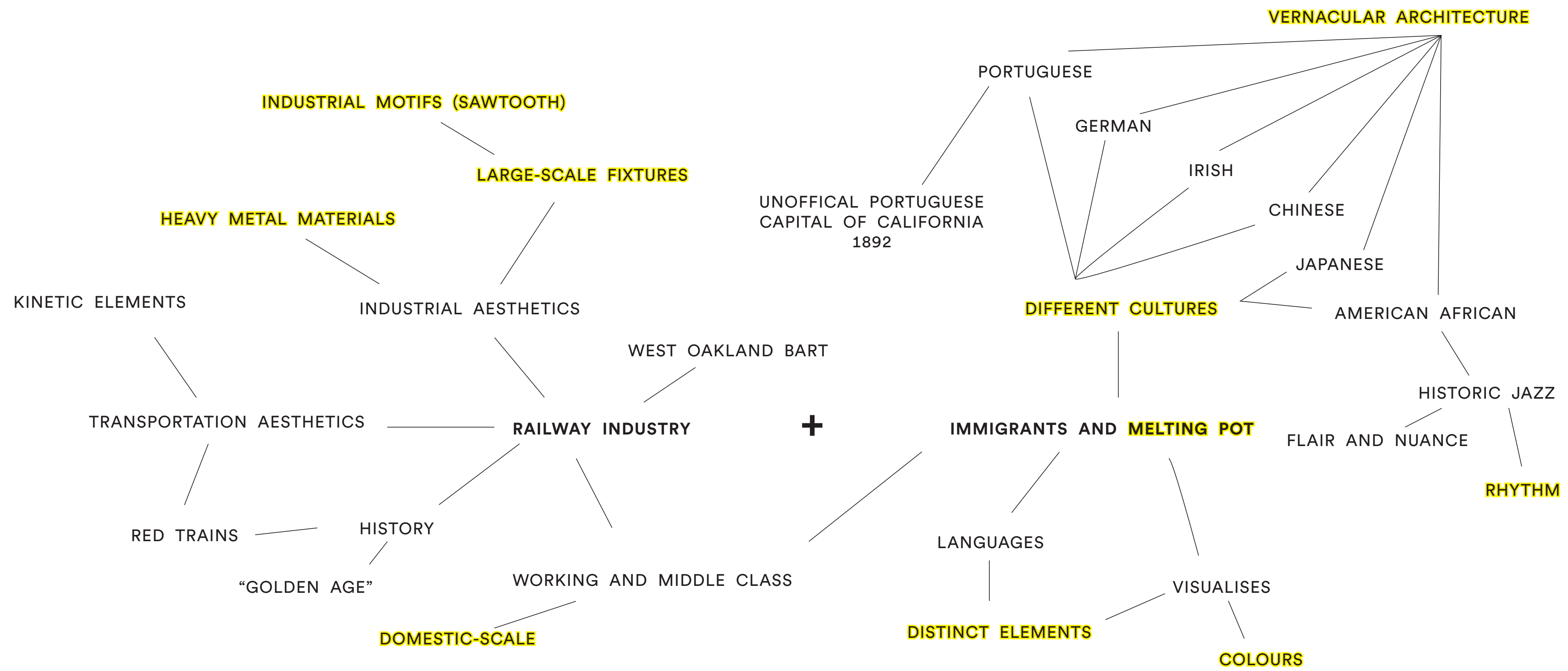


- TOWER STEPS BACK AT 75' PER DRC COMMENT
- RECESS GROUND FLOOR INBOARD
- MARKS RETAIL AND LOBBY DATUM TO BLDG 1+2
- CANOPY MITIGATES DOWNWARD WINDS
- FACADE DESIGN STRENGTHENS STREET WALL EXPRESSION

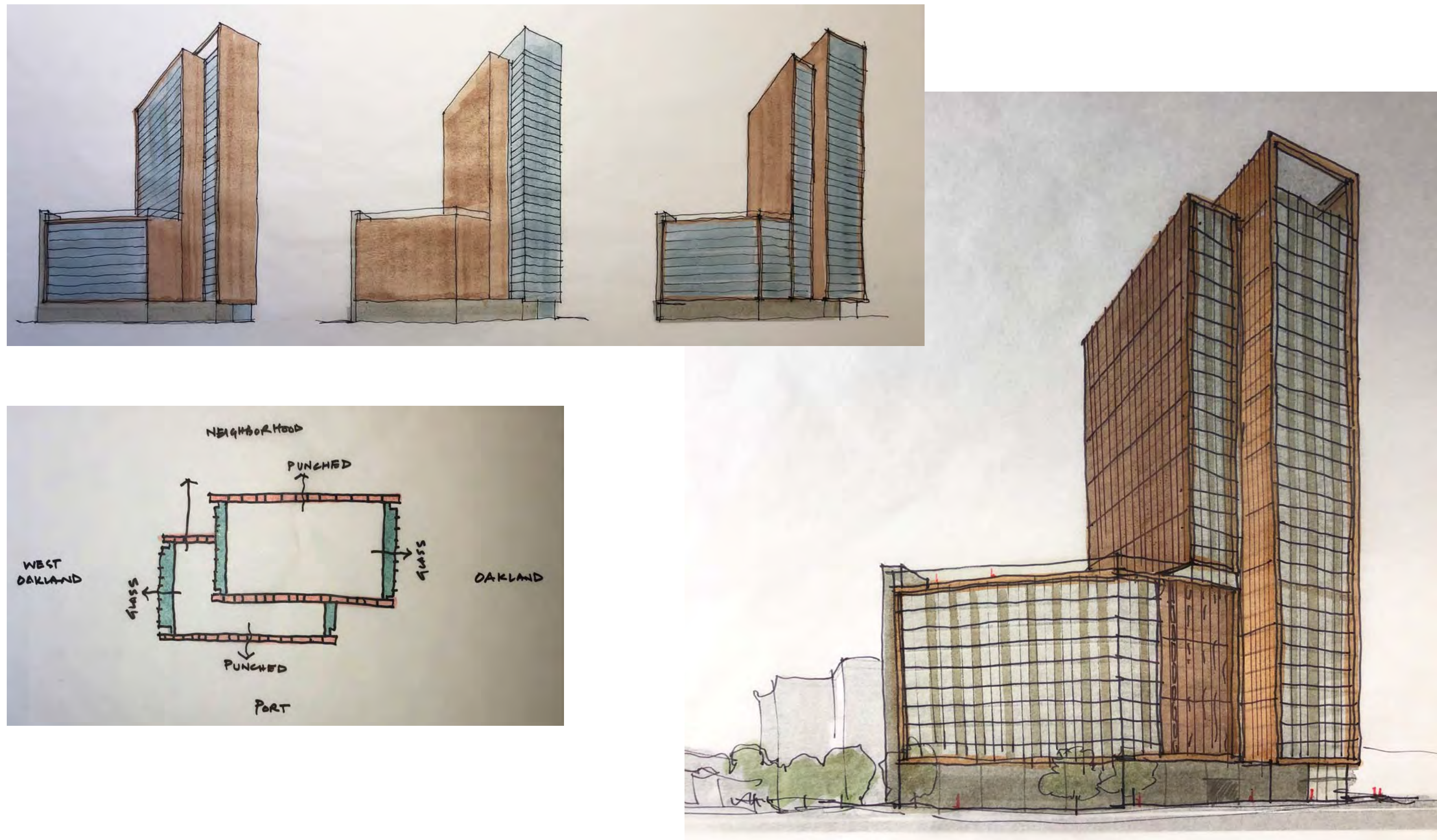
MASSING | RELATIONSHIP TO CONTEXT



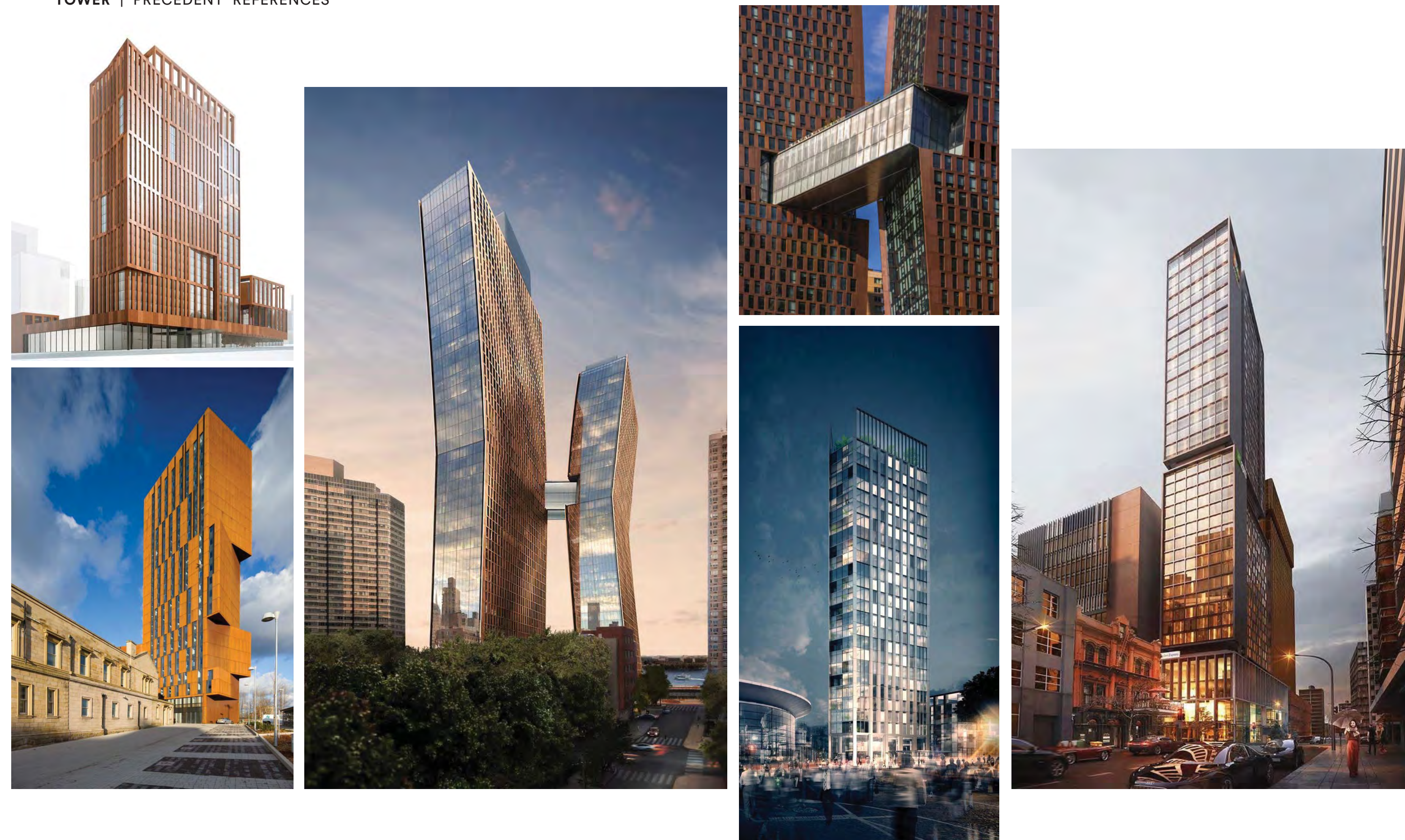
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TOWER | SKETCH STUDIES



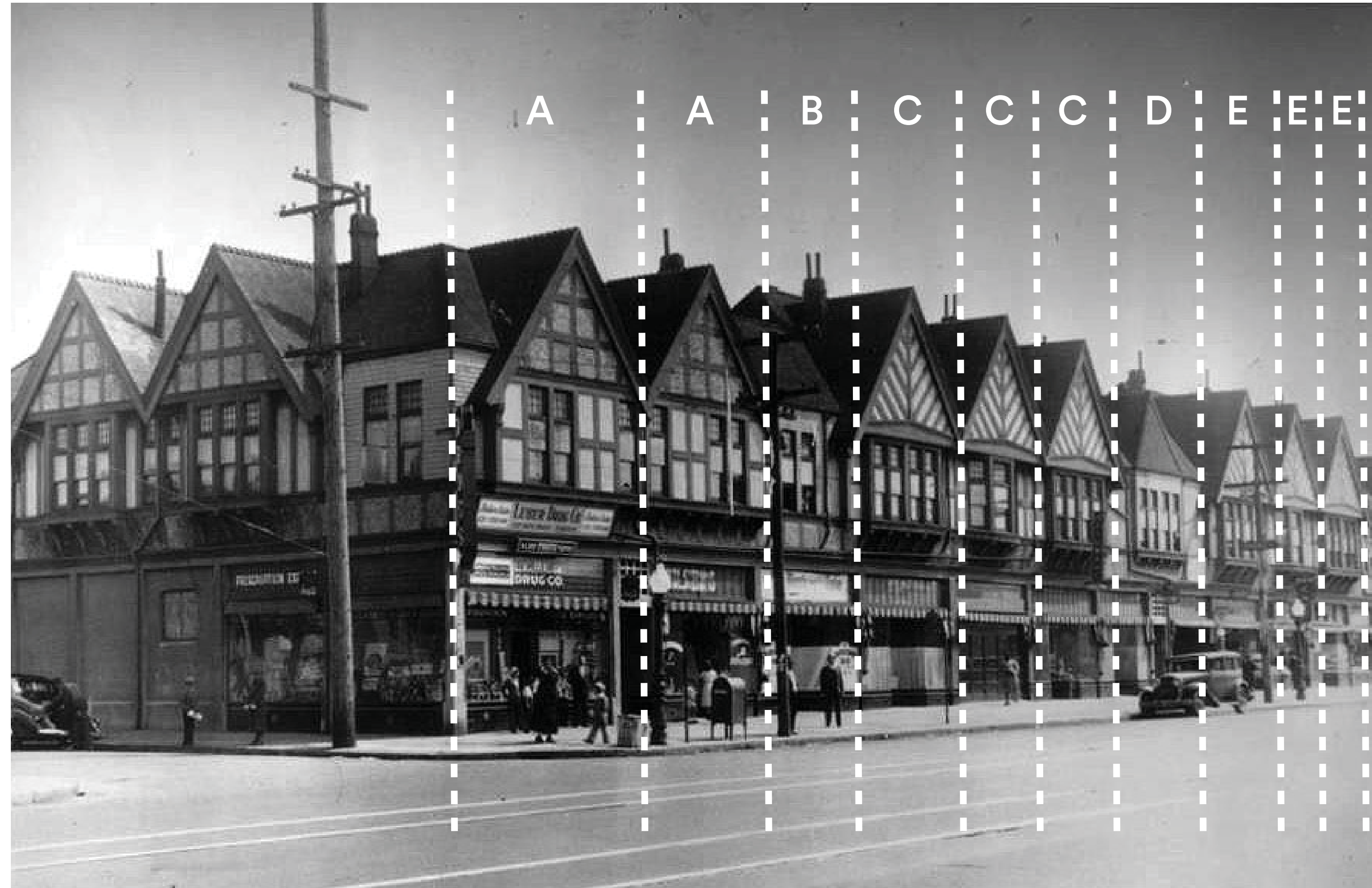
TOWER | PRECEDENT REFERENCES



**500 KIRKHAM**  
500 KIRKHAM STREET  
OAKLAND, CA 94607

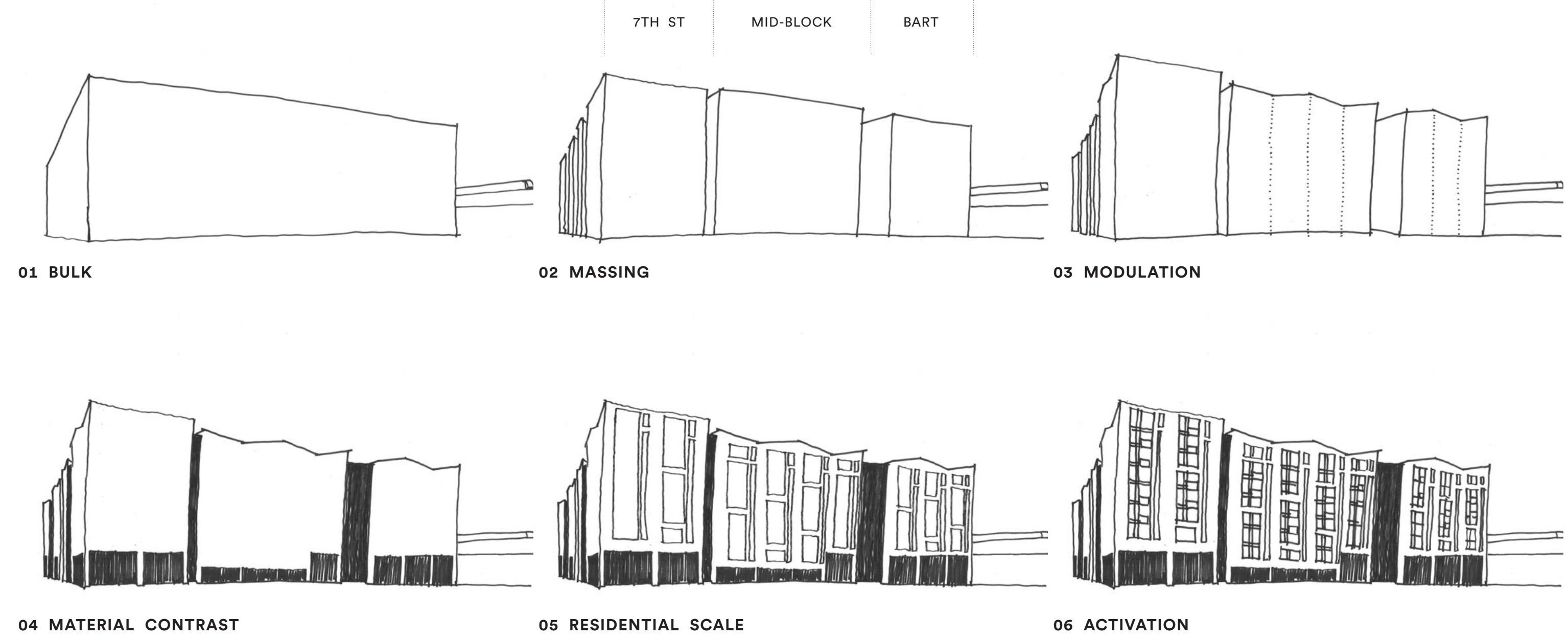
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DESIGN PRINCIPLE

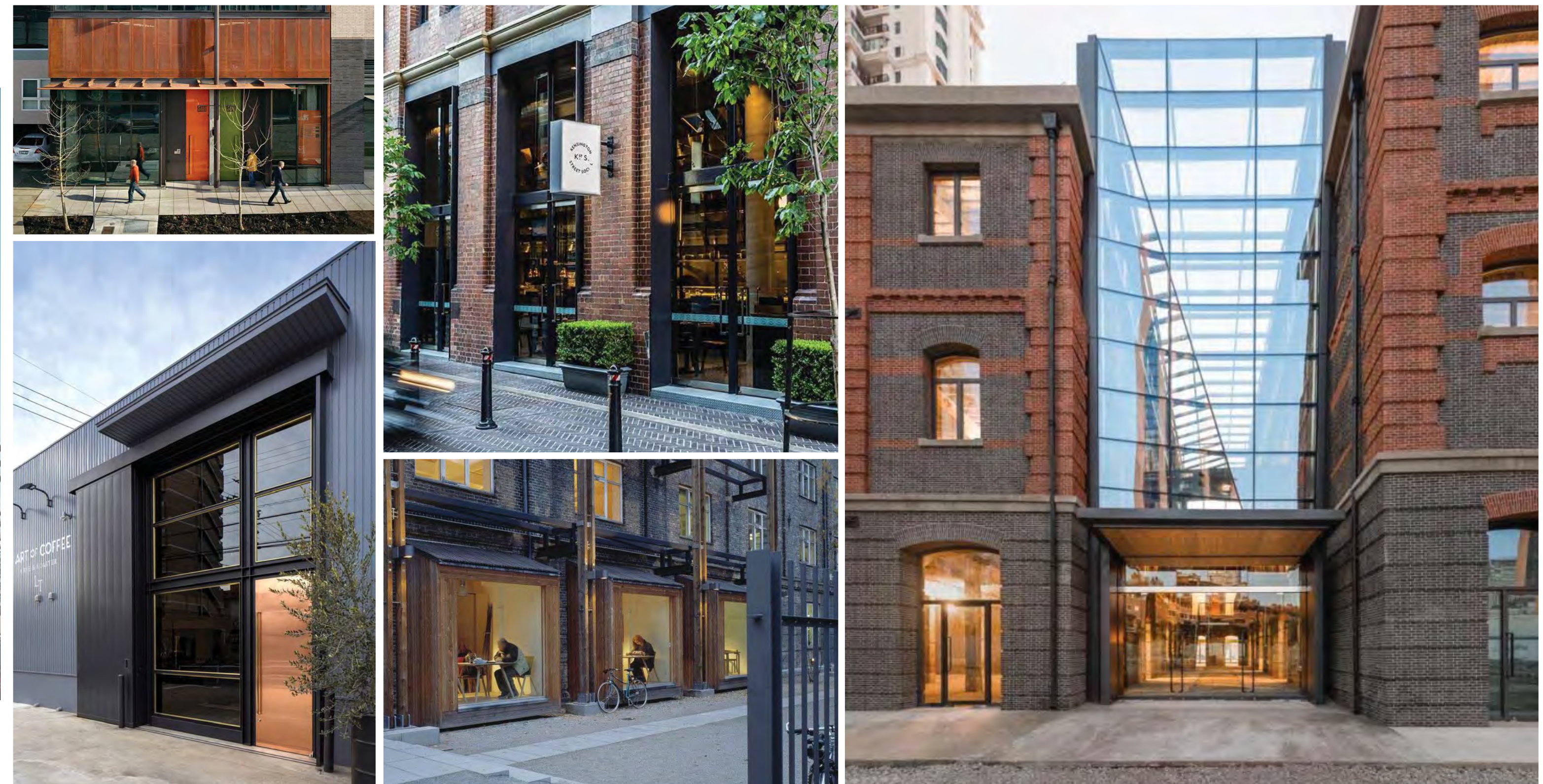


FACADE STUDY - PRECEDENTS

KIRKHAM FACADE STUDY



STOREFRONT - PRECEDENTS



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# TITLE SHEET

# 500 KIRKHAM STREET

CITY OF OAKLAND, CALIFORNIA

MARCH 2018  
 (REVISED: MAY 2018)  
 (REVISED: AUGUST 2018)  
 (REVISED: MARCH 2019)  
 (REVISED: APRIL 2019)  
 (REVISED: MAY 2019)  
 (REVISED: JULY 2019)  
 SHEET 1 OF 6

SHEET INDEX	
C01	TITLE SHEET
C02	VESTING TENTATIVE TRACT MAP
C03	EXISTING CONDITIONS
C04	SITE GRADING EXHIBIT
C05	SITE UTILITY EXHIBIT
C06	STREET CROSS SECTIONS

(PLN17428 / PUDF07)



**CITY OF OAKLAND**  
**TENTATIVE TRACT MAP**  
**SUPPLEMENTAL SUBMITTAL REQUIREMENTS**

PROJECT TEAM

**APPLICANT**  
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 SAN FRANCISCO, CA 94103  
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 PHONE: 415 701-7002



**ENGINEER**  
 KPFF  
 45 FREMONT STREET, 28th FLOOR  
 SAN FRANCISCO, CA 94105  
 CONTACT: CORY BANNON  
 PHONE: 415 268-1086



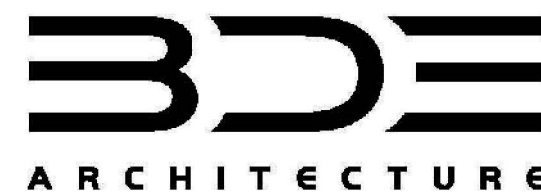
**ARCHITECT**  
 SCB  
 255 CALIFORNIA STREET,  
 SAN FRANCISCO, CA 94111  
 CONTACT: BEN WRIGLEY  
 PHONE: 415 216-2450



**LANDSCAPE ARCHITECT**  
 EINWILLER KUEHL  
 318 HARRISON STREET, SUITE 301  
 OAKLAND, CA 94607  
 CONTACT: LAUREN McCLURE  
 PHONE: 510 891-1696



**ARCHITECT**  
 BDE ARCHITECTURE  
 934 HOWARD ST.,  
 SAN FRANCISCO, CA 94103  
 CONTACT: SARAH PETRI  
 PHONE: 415 677-0966



**URBAN PLANNERS**  
 SITE LAB urban studio  
 660 MISSION STREET, SUITE 200  
 SAN FRANCISCO, CA 94105  
 CONTACT: MICHEL ST. PIERRE  
 PHONE: 415 852-6940



**SURVEYOR**  
 WOOD RODGERS  
 4670 WILLOW ROAD, SUITE 125  
 PLEASANTON, CA 94588  
 CONTACT: RYAN SEXTON  
 PHONE: 925 847-1556

**TENTATIVE TRACT MAP**  
**(5 or more lots/condominium conversions)**

**Supplemental Submittal Requirements:**

- Obtain the Tract Map Number from the Mapping Division of the Alameda County Recorder's Office. Please call (510) 208-9857 to determine what information they need in order to assign a Parcel Map number. **Applications cannot be accepted without this information.**
- Twelve (12) **full-size** copies of the proposed Tentative Tract Map prepared by a California State licensed Land Surveyor or by a Civil Engineer with a license number below 33966 (licensed prior to January 1, 1982). Each copy must be folded to a size of no larger than 9" x 12". Maps must be no more than 3 years old from the time of submittal.
- Two (2) **reduced** (8½" x 11" or 11" x 17") copies of the proposed Tentative Tract Map.
- Prevalent lot size information:
  - a map of all parcels within or partially within 200' of the site perimeter (all using the same map scale).
  - a sequential list of all the parcels within or partially within 200' of the site perimeter, in order of lot area (including a notation of the median lot area).
  - a sequential list of all the parcels within or partially within 200' of the site perimeter, in order of lot width (including a notation of the median lot width).

*Prevalent lot size information is not required for the following project types:*

  - Creation of new condominiums
  - Condominium conversions
  - Mini-lot developments with also involve a Conditional Use Permit pursuant to Section 17.102.320 O.P.C.
  - Planned Unit Developments (PUD's)
  - Subdivisions between existing principal buildings which also involve a Conditional Use Permit to waive the lot area and lot width requirements pursuant to Sections 17.102.330 and 17.106.010(B) O.P.C.
  - Projects which also involve a rezoning, or the creation of a Specific Plan or Development Control Map.
- For condominium conversions only: 60-day tenant notification as required by Sections 16.36.020-16.36.020 O.M.C.
- For condominium conversions only: Copy of 3R report from Building Services documenting number of legal units.
- For condominium conversions only: If units are vacant, a notarized letter stating when the units were vacant (must be at least 60 days).

**Map Content:**

- |                                     |   |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | 1. Name and address of record property owner(s), the subdivider, and the licensed engineer or surveyor preparing the map.   |
| <input checked="" type="checkbox"/> | 2. Wet stamp and signature of the Land Surveyor or Civil Engineer who prepared the survey.  |
| <input checked="" type="checkbox"/> | 3. The Tract Map number assigned by the real estate records of the Alameda County Recorder's Office.  |
| <input checked="" type="checkbox"/> | 4. Contours with intervals of five (5) feet or less referred to City of Oakland datum, north arrow, date and scale.   |
| <input checked="" type="checkbox"/> | 5. Original lot boundaries with lot numbers, as shown on earlier tracts or parcel maps (or names of record owners for unsubdivided land), within and adjacent to boundary of proposed land division.  |
| <input checked="" type="checkbox"/> | 6. The location, width, improvement status, purpose, and names of all existing or platted streets (including distance to nearest intersecting street), easements, railroad rights-of-way, other public ways, and buildings within or adjacent to the tract. |
| <input checked="" type="checkbox"/> | 7. Location of all political subdivision lines, corporation lines, water courses, and other physical features.  |
| <input checked="" type="checkbox"/> | 8. Location, type, and trunk diameter of trees measuring at least 9-inch diameter (4" diameter if Coast Live Oaks) at a location 4½' above grade.   |
| <input checked="" type="checkbox"/> | 9. Existing sewers, culverts or other underground structures within the tract and immediately adjacent thereto with pipe sizes, grades and location indicated.  |
| <input checked="" type="checkbox"/> | 10. The layout, numerical or alphabetic designation, dimensions, and square footage of all proposed lots, with the boundary lines accurate in scale.  |
| <input checked="" type="checkbox"/> | 11. Proposed vehicular access (including driveway width and slope) and building site location for each parcel.  |
| <input checked="" type="checkbox"/> | 12. The layout, names, and proposed width of streets, alleys and easements.   |
| <input checked="" type="checkbox"/> | 13. The profile of each street with tentative grades.   |
| <input checked="" type="checkbox"/> | 14. All parcels of land intended to be dedicated for public use or reserved for the use of property owners in the proposed subdivision, together with the purpose of any conditions or limitation of such reservation.                                      |
| <input checked="" type="checkbox"/> | 15. The cross sections of proposed streets showing roadway widths and sidewalk location and width.  |
| <input checked="" type="checkbox"/> | 16. A plan and profile of proposed sanitary and storm water sewers and other public utilities, with grades and sizes indicated.   |
| <input checked="" type="checkbox"/> | 17. Signed statement by subdivider indicating amount of street grading, paving, curbing, sidewalk and storm, sanitary and other improvements proposed to be constructed.  |
| <input checked="" type="checkbox"/> | 18. Statement of restrictions to be imposed by subdivider as to use or occupancy of land, building setbacks, yard areas, value of construction and any other restrictions.  |

**These supplemental submittal requirements are in addition to the submittal requirements listed in the Basic Application**

L:\Zoning Counter Files\Subdivisions (TPM, TTM, PMW, PUD)\TTM supplemental requirements (01-14-11) revision.doc

Revised: 01/14/11

## Attachment-D (2 of 2)



# LAND USE SUMMARY

LAND USE	NET AREA (SF.)	NET AREA (AC.)
PARCEL 1	46,768	1.07
PARCEL 2	47,713	1.10
PARCEL 3	33,275	0.76

# LEGEND

PROPOSED	EXISTING
PROJECT BOUNDARY	PROPERTY LINE
EASEMENT LINE	CENTERLINE
BUILDING	HARDSCAPE

# TRACT MAP 8525

## VESTING TENTATIVE TRACT MAP

### FOR SUBDIVISION AND CONDOMINIUM PURPOSES

# 500 KIRKHAM STREET

CITY OF OAKLAND, CALIFORNIA

MARCH 2018

(REVISED: MAY 2018)

(REVISED: AUGUST 2018)

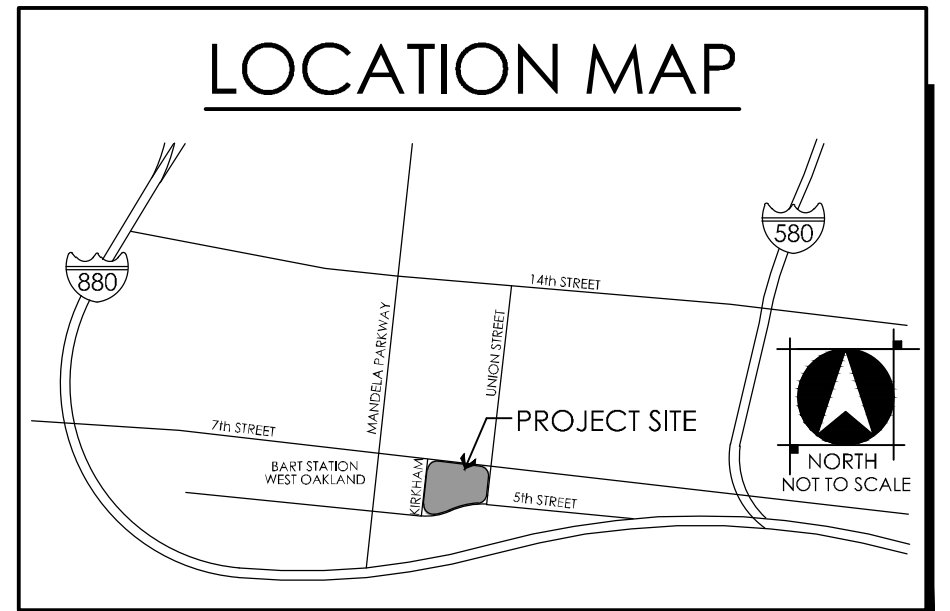
(REVISED: MARCH 2019)

(REVISED: APRIL 2019)

(REVISED: MAY 2019)

(REVISED: JULY 2019)

SHEET 2 OF 6



# PROJECT NOTES

**APPLICANT/SUBDIVIDER**  
 PANORAMIC INTERESTS  
 1321 MISSION STREET, SUITE 101  
 SAN FRANCISCO, CA 94103  
 CONTACT: MICHAEL THOMAS  
 PHONE: (415) 701-7006

**OWNERS**  
 500 KIRKHAM, LLC.  
 1321 MISSION STREET, SUITE 101  
 SAN FRANCISCO, CA 94103

**SURVEYOR/ENGINEER**  
 WOOD RODGERS INC.  
 4670 WILLOW ROAD, SUITE 125  
 PLEASANTON, CA 94588  
 CONTACT: RYAN SEXTON, LS / KARRIE MOSCA, PE  
 PHONE: (925) 398-7916 / (925) 847-1547

**ASSESSOR'S PARCEL NO.** 004-0049-008, -009 & 04-051-018-02  
**No. OF PROPOSED LOTS** 3 LOTS

**No. OF PROPOSED CONDOMINIUMS**  
 PARCEL 1: 1 COMMERCIAL CONDOMINIUM, 1 RESIDENTIAL CONDOMINIUM  
 PARCEL 2: 1 COMMERCIAL CONDOMINIUM, 1 RESIDENTIAL CONDOMINIUM  
 PARCEL 3: 1 COMMERCIAL CONDOMINIUM, 1 RESIDENTIAL CONDOMINIUM, AND 1 GARAGE CONDOMINIUM

**EXISTING GENERAL PLAN | ZONING**  
 COMMUNITY COMMERCIAL | TRANSIT ORIENTED WEST OAKLAND (S-15W)

**EXISTING USE** VACANT, BART TRACKS, PARKING & COMMERCIAL BUILDING  
**PROPOSED USE** GROUND FLOOR COMMERCIAL WITH RESIDENTIAL ABOVE; GROUND FLOOR RESIDENTIAL (BLDG 1 & 2)

**BENCHMARK**  
 THE BENCHMARK FOR THIS SURVEY IS A PIN IN A MONUMENT WELL LOCATED AT THE CENTERLINE INTERSECTION OF 5TH STREET AND MANDELA PARKWAY (FORMERLY CYPRESS STREET), CITY OF OAKLAND MONUMENT 16NW05 (1192). CITY DATUM, ELEVATION=3.693 FEET

**BASIS OF BEARINGS**  
 THE BEARING 17°06'32" BETWEEN FOUND MONUMENTS ON MANDELA PARKWAY WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

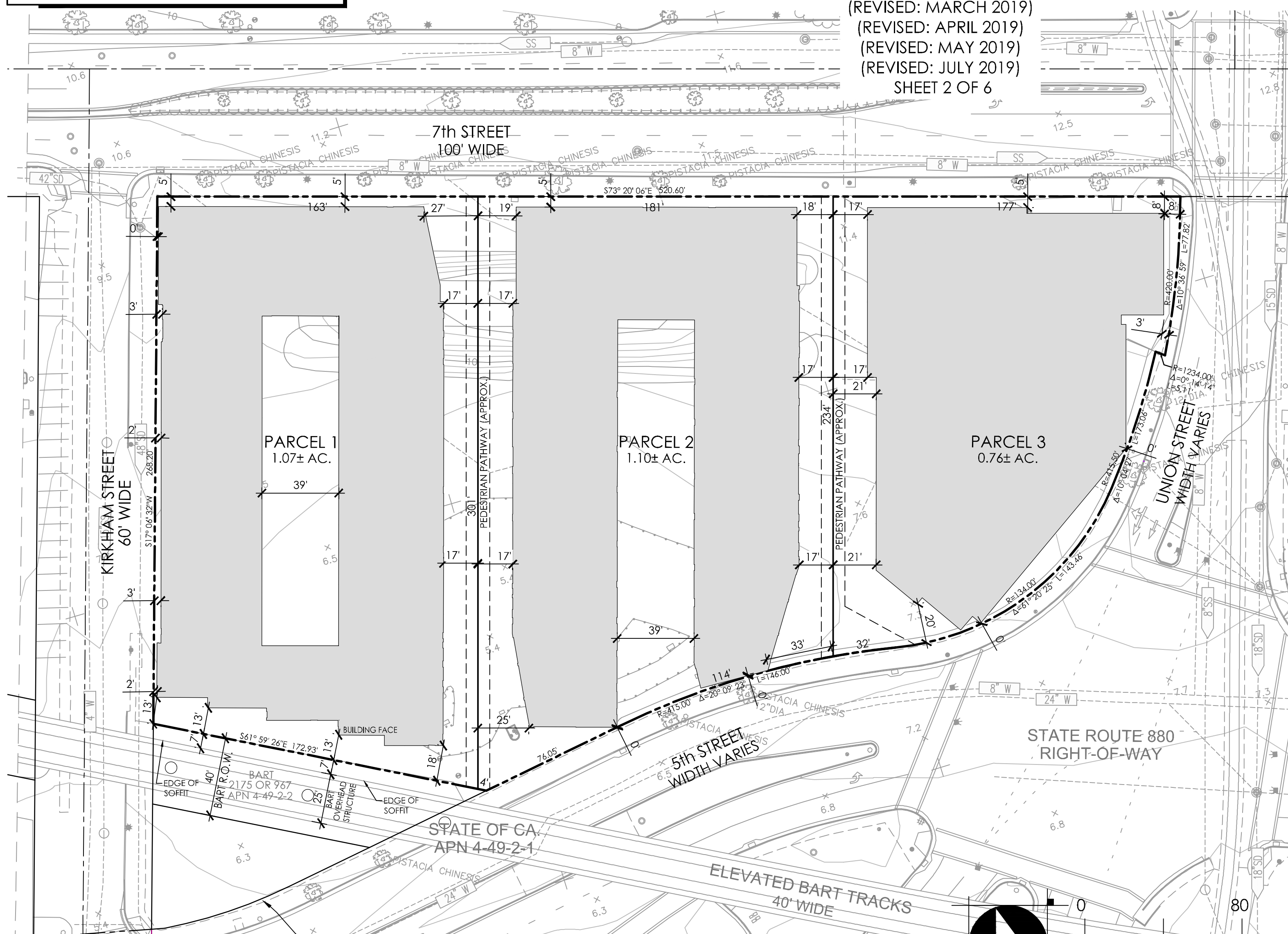
**FLOOD ZONE**  
 "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. MAP NUMBER: 06001C0066G, EFFECTIVE DATE: AUGUST 3, 2009 FEMA DATUM: NORTH AMERICAN VERTICAL DATUM (NAVD88)

**WATER** EAST BAY MUNICIPAL UTILITY DISTRICT  
**GAS & ELECTRIC** PG&E

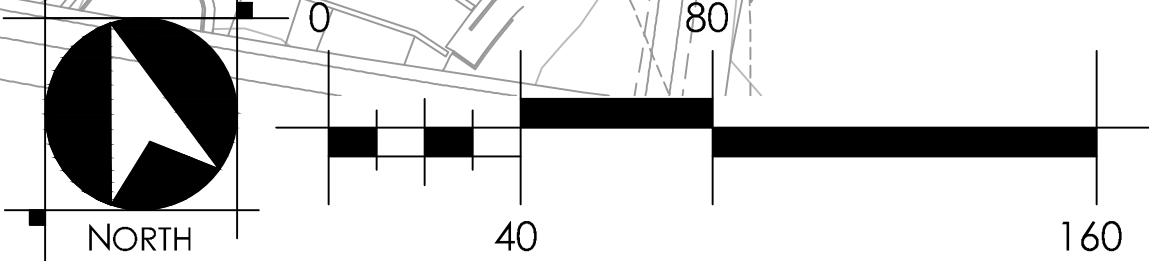
**STORM** CITY OF OAKLAND  
**TELEPHONE** AT&T / COMCAST

**SEWER** CITY OF OAKLAND  
**CABLE TV** COMCAST

- NOTES**
- THIS IS AN APPLICATION FOR A DEVELOPMENT PERMIT PER THE PERMIT STREAMLINING ACT (SECTION 65920 ET SEQ OF THE GOVERNMENT CODE).
  - SUBDIVIDER INTENDS TO FILE MULTIPLE FINAL MAPS PURSUANT TO SECTION 66456.1 AND SECTION 66452.6(a)(1) OF THE SUBDIVISION MAP ACT.
  - ALL EXISTING STRUCTURES TO BE REMOVED AND ALL EXISTING WELLS TO BE ABANDONED.
  - THIS EXHIBIT IS FOR TENTATIVE MAP PURPOSES ONLY. ALL SITE CHARACTERISTICS ARE TO BE VERIFIED.
  - THE PEDESTRIAN PATHWAYS, AND RELATED OPEN SPACE, SHOWN HEREON WILL BE OPEN TO THE PUBLIC SUBJECT TO THE TERMS AND CONDITIONS OF THE FOLLOWING DOCUMENT: DEED RESTRICTION & DECLARATION OF COVENANT, RECORDED ON \_\_\_\_\_ AS DOC. NO. \_\_\_\_\_
  - A LOT MERGER AND 3 LOT RE-SUBDIVISION FOR CONDOMINIUM PURPOSES (3 COMMERCIAL CONDOMINIUMS, 3 RESIDENTIAL CONDOMINIUMS AND 1 GARAGE CONDOMINIUM) OF PARCEL 1 ON PARCEL MAP 10662, IN BOOK 336 OF PARCEL MAPS, AT PAGES 47 THROUGH 48, WITH A PORTION OF LOTS 19 TO 25 INCLUSIVE, BLOCK 490, MAP NO. 2 OF THE BRIGGS TRACT, MAP BOOK 2, AT PAGE 19, ALAMEDA COUNTY RECORDS CITY OF OAKLAND APRIL 2019 COUNTY OF ALAMEDA.

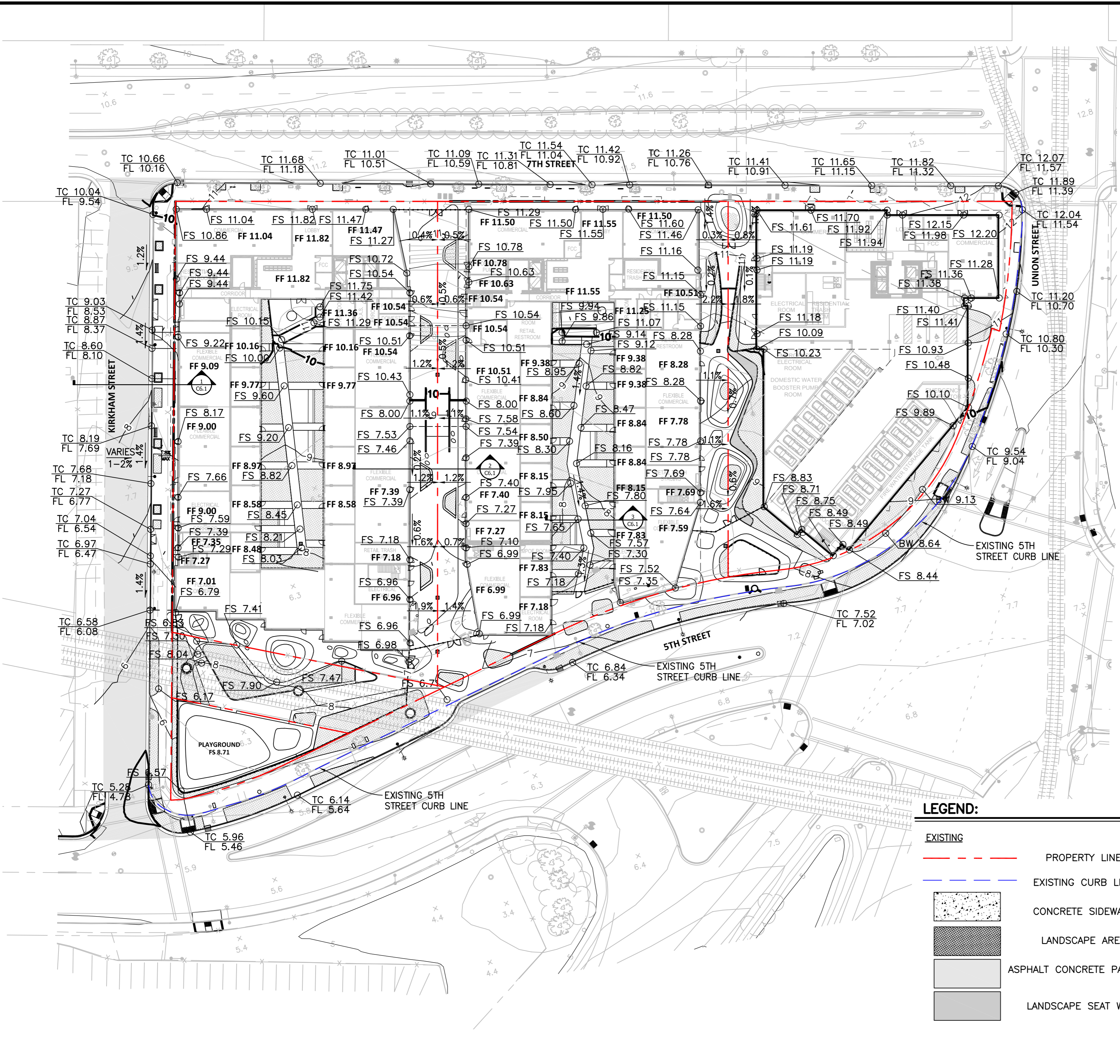


APN 004-049-010 IS A SEPARATE LEGAL PARCEL THAT IS A PART OF THE DEVELOPMENT PROJECT TO BE ENTITLED BY THIS VESTING TENTATIVE PARCEL MAP AND WILL BE OPEN TO THE PUBLIC SUBJECT TO THE TERMS AND CONDITIONS OF THE DEED OF RESTRICTIONS AND DECLARATION OF COVENANT, RECORDED ON \_\_\_\_\_ AS DOC. NO. \_\_\_\_\_, BUT IS NOT TO BE FURTHER SUBDIVIDED OR MERGED BY THIS MAP.



4670 WILLOW ROAD STE 125 TEL 925.847.1556  
 PLEASANTON, CA 94588 FAX 925.847.1557





**GRADING GENERAL NOTES:**

1. PROVIDE STRAIGHT LINE GRADING BETWEEN SPOT ELEVATIONS AND CONTOUR LINES.
2. SURFACE CROSS SLOPES OF SIDEWALKS SHALL NOT EXCEED 2%.
3. FOUNDATION EXCAVATION SHALL BE OBSERVED BY A GEOTECHNICAL ENGINEER.
4. EXCAVATIONS BELOW THE EXISTING TRENCHES SHOULD BE OUTSIDE AN IMAGINARY PLANE EXTENDING OUT AND DOWN FROM THE OUTSIDE-BOTTOM EDGE OF THE EXISTING TRENCH AT A SLOPE OF 1V:1H.
5. COORDINATE WITH ARCHITECTURAL PLANS FOR SIDEWALK AND DRIVE AISLE FINISH.
6. ELEVATIONS SHOWN ARE TO FINISHED GRADE, UNLESS NOTED OTHERWISE.
7. SEE LANDSCAPE PLANS FOR HARDSCAPE MATERIALS.

**SUBDIVIDER'S STATEMENT**

EXISTING STREET GRADES WILL BE MAINTAINED. PAVING, CURBING, AND SIDEWALK EXTENSIONS WILL BE INSTALLED AROUND THE PERIMETER OF THE SITE AS SPECIFIED IN PLANNING COMMISSION CONDITIONS OF APPROVAL #17. STORM DRAIN IMPROVEMENTS CONSIST OF ON-SITE CAPTURE AND CONVEYANCE OF STORMWATER TO THE PUBLIC STORM DRAIN ON 5TH STREET. SANITARY IMPROVEMENTS INCLUDE A SEWER MAIN EXTENSION ON 5TH STREET TO SERVE THE DEVELOPMENT OCCUPYING PARCEL TWO IN ADDITION TO CONNECTIONS TO THE PUBLIC SANITARY SEWER SYSTEM ON KIRKHAM STREET AND UNION STREET FROM PARCELS ONE AND THREE.

**AREA OF DISTURBANCE**

166,670 SF  
**HAUL ROUTE**  
 7TH STREET TO UNION STREET TO INTERSTATE 880

**ESTIMATED EARTHWORK QUANTITIES**

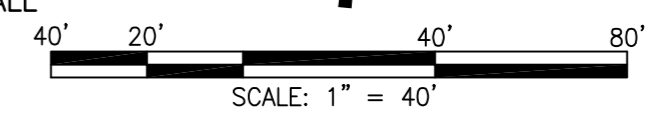
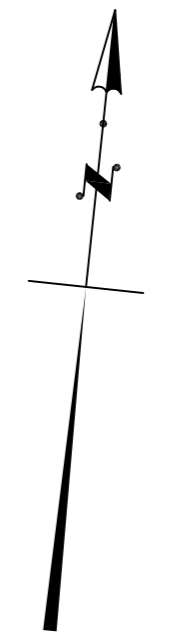
CUT (CY)	FILL (CY)	TOTAL (CY)
<3,180>	2,180	<1,000>

**NOTES**

1. ALL QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE, CALCULATED CUT AND FILL ARE TO "ROUGH GRADE" AND EXISTING GROUND. THE ACTUAL AMOUNT OF EARTH MOVED IS VARIABLE DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING REQUIREMENTS, AND THE CONTRACTOR'S METHOD OF OPERATION.
2. EARTHWORK QUANTITIES SHOWN DO NOT INCLUDE ADDITIONAL EXCAVATION FOR PAVEMENT AND SIDEWALK STRUCTURAL SECTIONS, BIORETENTION VAULTS, OR UTILITY TRENCH SPOILS.

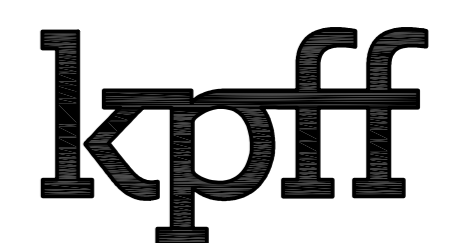
**LEGEND:**

- EXISTING
- PROPERTY LINE
- EXISTING CURB LINE
- CONCRETE SIDEWALK
- LANDSCAPE AREA
- ASPHALT CONCRETE PAVEMENT
- LANDSCAPE SEAT WALL



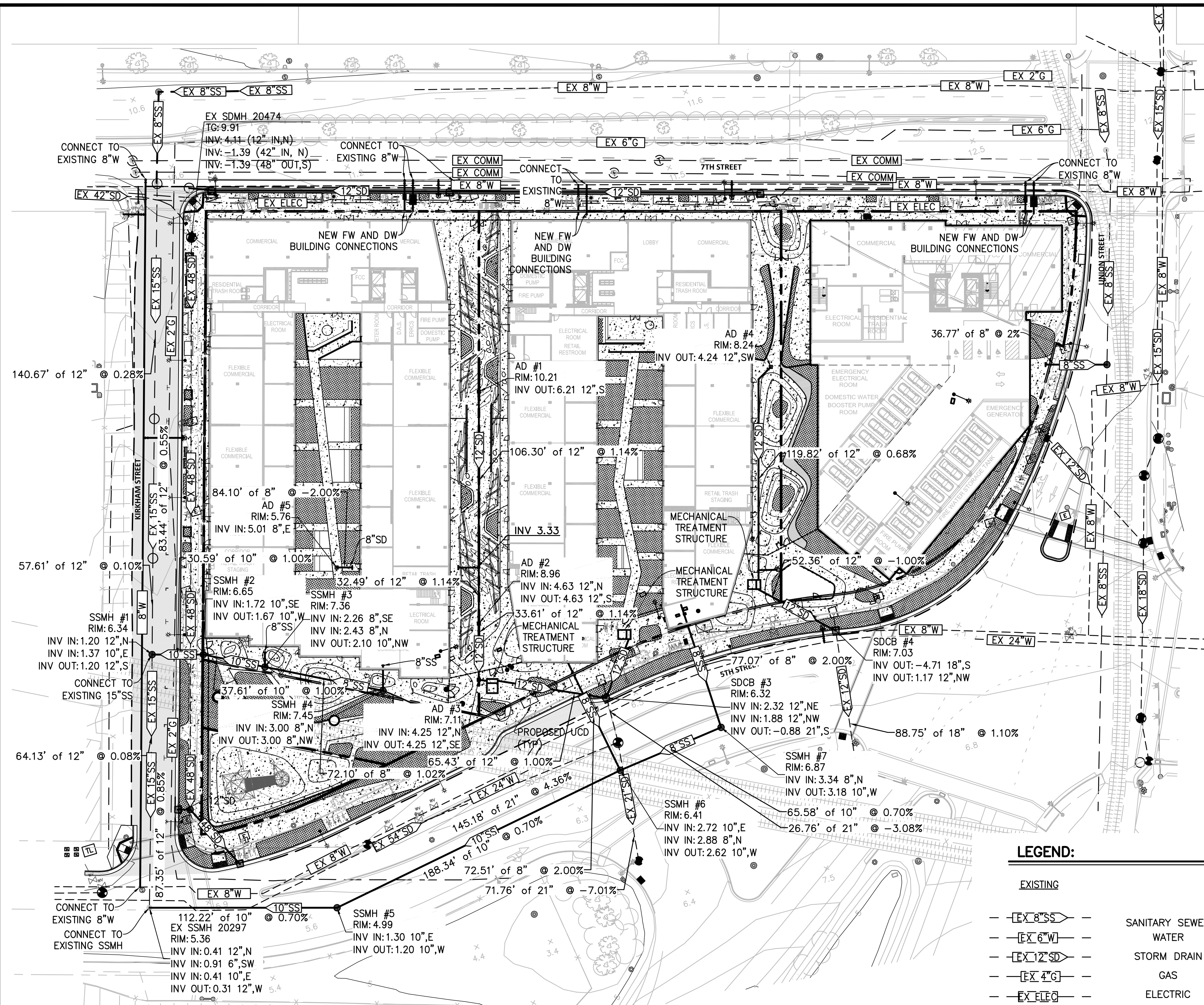
**SITE GRADING EXHIBIT**

500 KIRKHAM



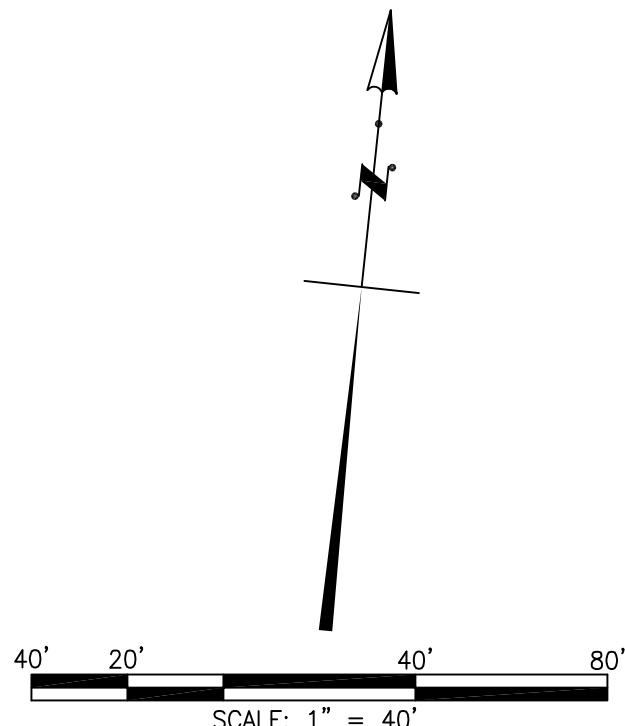
45 Fremont Street, 28th Floor  
 San Francisco, CA 94105  
 415.989.1004 | kpff.com





**SUBDIVIDER'S STATEMENT**

EXISTING STREET GRADES WILL BE MAINTAINED. PAVING, CURBING, AND SIDEWALK EXTENSIONS WILL BE INSTALLED AROUND THE PERIMETER OF THE SITE AS SPECIFIED IN PLANNING COMMISSION CONDITIONS OF APPROVAL #17. STORM DRAIN IMPROVEMENTS CONSIST OF ON-SITE CAPTURE AND CONVEYANCE OF STORMWATER TO THE PUBLIC STORM DRAIN ON 5TH STREET. SANITARY IMPROVEMENTS INCLUDE A SEWER MAIN EXTENSION ON 5TH STREET TO SERVE THE DEVELOPMENT OCCUPYING PARCEL TWO IN ADDITION TO CONNECTIONS TO THE PUBLIC SANITARY SEWER SYSTEM ON KIRKHAM STREET AND UNION STREET FROM PARCELS ONE AND THREE.

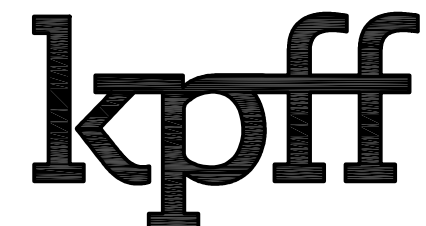


**LEGEND:**

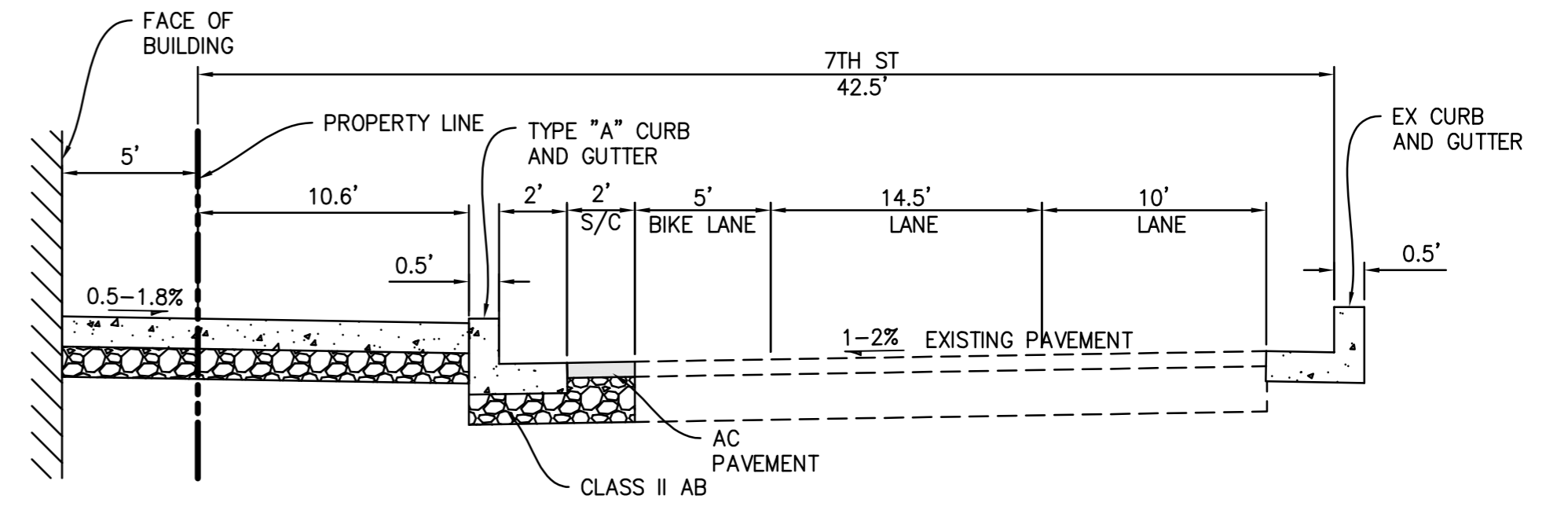
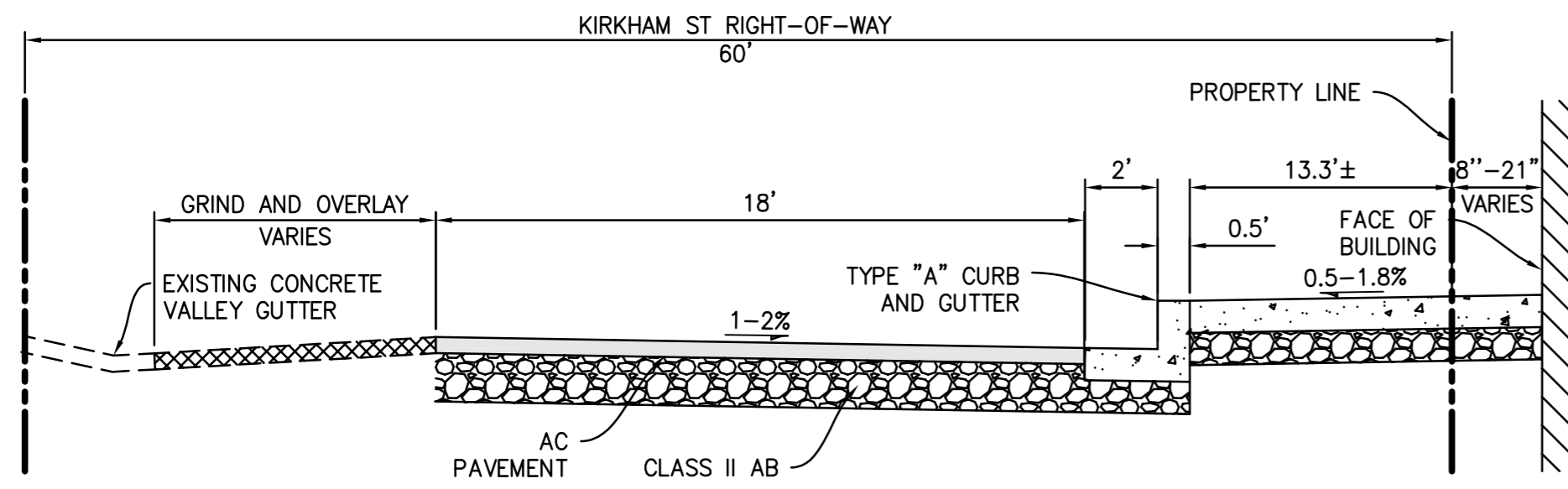
EXISTING		PROPOSED
— EX 8"SS —	SANITARY SEWER	— 8"SS —
— EX 6"W —	WATER	— 6"W —
— EX 12"SD —	STORM DRAIN	— 12"SD —
— EX 4"G —	GAS	
— EX ELEC —	ELECTRIC	
— EX 6"FW —	FIRE WATER	— 6"FW —
— EX COMM —	COMMUNICATION	

**SITE UTILITY EXHIBIT**

500 KIRKHAM



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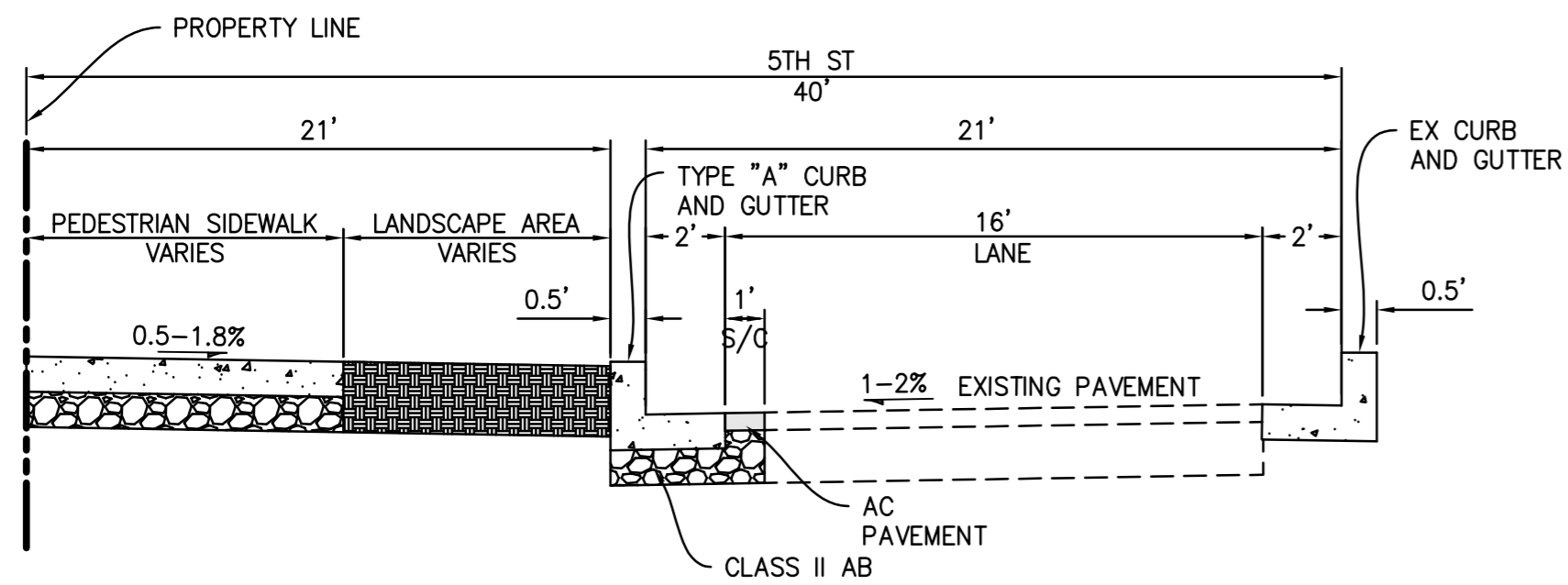


NOT TO SCALE

NOT TO SCALE

1 KIRKHAM STREET SECTION

2 EASTBOUND 7TH STREET SECTION

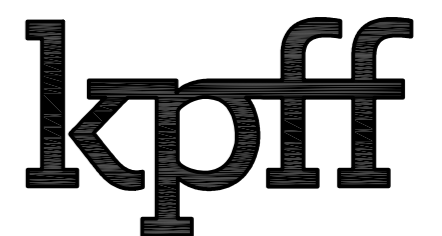


NOT TO SCALE

3 WESTBOUND 5TH STREET SECTION

# STREET SECTIONS EXHIBIT

500 KIRKHAM



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JOB NUMBER: 1700033

DATE: JUNE 27, 2019